

Addendum A

May 12, 2021

Project: Anderson County High School Girls Locker Room Renovation

To: Prime contractors and all others to whom drawings and specifications have been issued. This Addendum forms part of the Contract Documents. It supplements and modifies them as follows:

A. Questions & Answers:

1. Question: Spec 01 10 00 Summary, Part 1.12, directs us to include a 3%(5%) discretionary fund. Which is it? 3% or 5%
a. Answer: See revised Section 01 10 00 – Summary.
2. Question: Sheet F101, extent and height of wall tile WT1 & WT2?
a. Answer: See revised drawing sheet F101 Finish Plan, Toilet Wall Elevation, and Finish Schedule.
3. Question: Finishes on schedule, but not noted on plan - FT2, SC, QT1, TP1, CG
a. Answer: See revised drawing sheet F101 Finish Plan and Finish Schedule.
4. Question: How far does the plumbing in the demoed showers need to be taken out?
a. Answer: Remove plumbing and sawcut as necessary to install new items as shown on sanitary and water plans.
5. Question: Please confirm floor finishes in each room.
a. Answer: Floor finishes shall be as noted on drawings. Coach's office: Finishes will remain, floor to remain concrete for Owner finish.
6. Question: Does the existing cmu partition wall that is not removed, on either side of the walkway infill, need to be infilled to the ceiling deck as well?
a. Answer: In addition to infilling the door, infill top of wall to ceiling deck with CMU to match existing wall.
7. Question: Do the new CMU walls go to the deck?
a. Answer: Yes. See Wall Type ID on drawing sheet A601.
8. Question: Where are corner guards to be installed?
a. Answer: No corner guards, since exterior corners of CMU are specified to be rounded/bullnose. Corner guards removed from drawing sheet F101 Finish Schedule.
9. Question: Indicate signage locations.
a. Answer: See revised drawing sheet A601 Enlarged Floor Plan.
10. Question: There is no quartz drawn but it is listed in the finish schedule. Where is quartz to be installed?
a. Answer: See revised drawing sheet F101 Finish Plan and Finish Schedule.
11. Question: Detail 1 on P201 shows existing water and sanitary in the wall but is currently wall mounted. Are we to leave the existing exposed plumbing exposed?
a. Answer: Yes, leave existing exposed plumbing exposed.

Job Number: 200042.01
Anderson County Bid #2123

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Architecture: AA26000828
Interiors: IB26000665

12. Question: Please provide elevations for wall finishes. Multiple wall finishes are listed for a single room but not elevations to determine where the finishes go.
 - a. Answer: See revised drawing sheet F101 Finish Plan, Toilet Wall Elevation, and Finish Schedule.

13. Question: We would like to request an extension to the bid day.
 - a. Answer: Bid day cannot be delayed due to tight construction window.

B. Drawings:

Architectural Drawings:

A101 Construction Floor Plan & Door Type_Addendum A
A601 Enlarged Plan and Details_Addendum A
F101 Finish Plan and Elevations_Addendum A

C. Specifications:

Section 01 10 00 - Summary_ADD A

End of Addendum

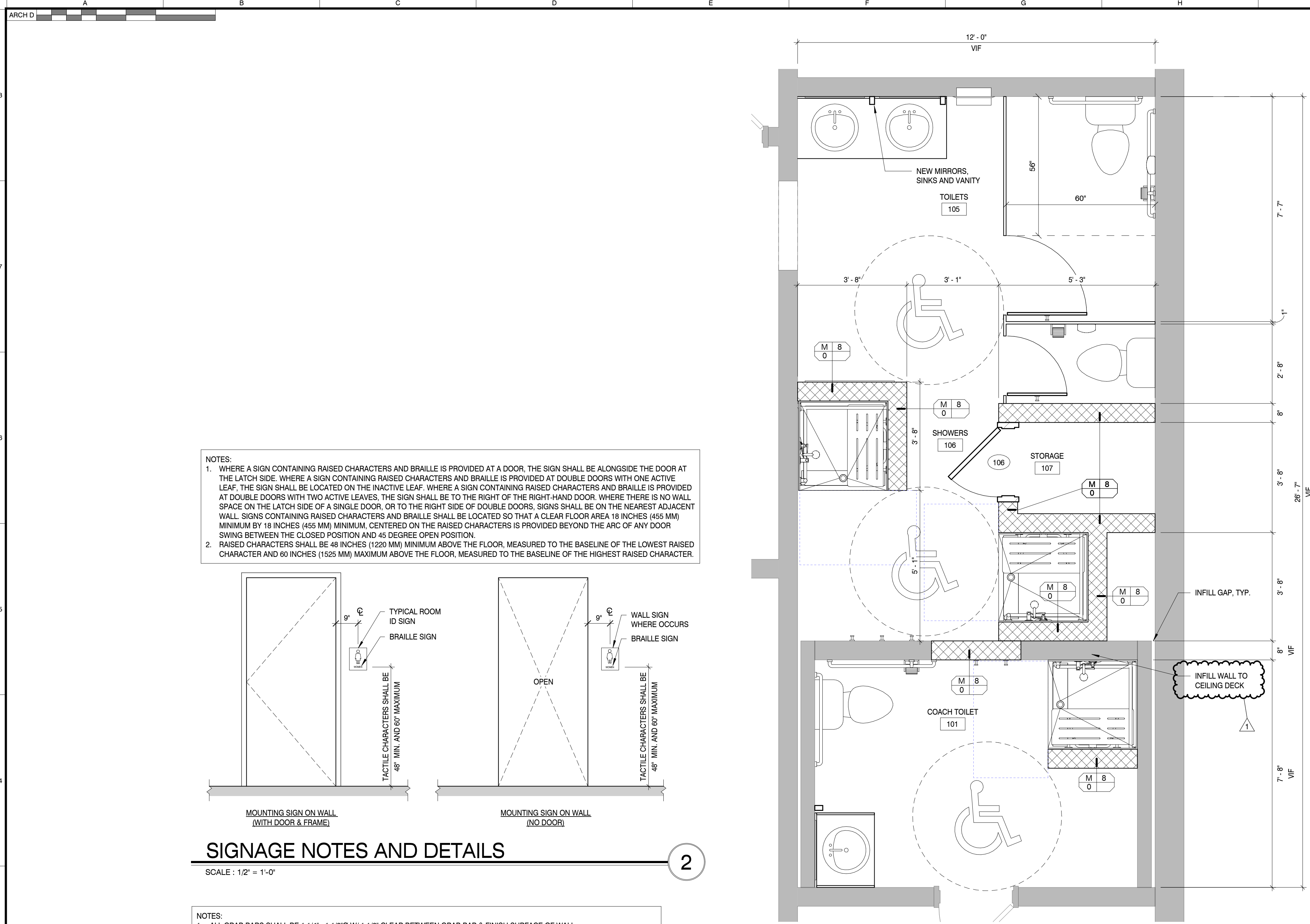
Job Number: 200042.01
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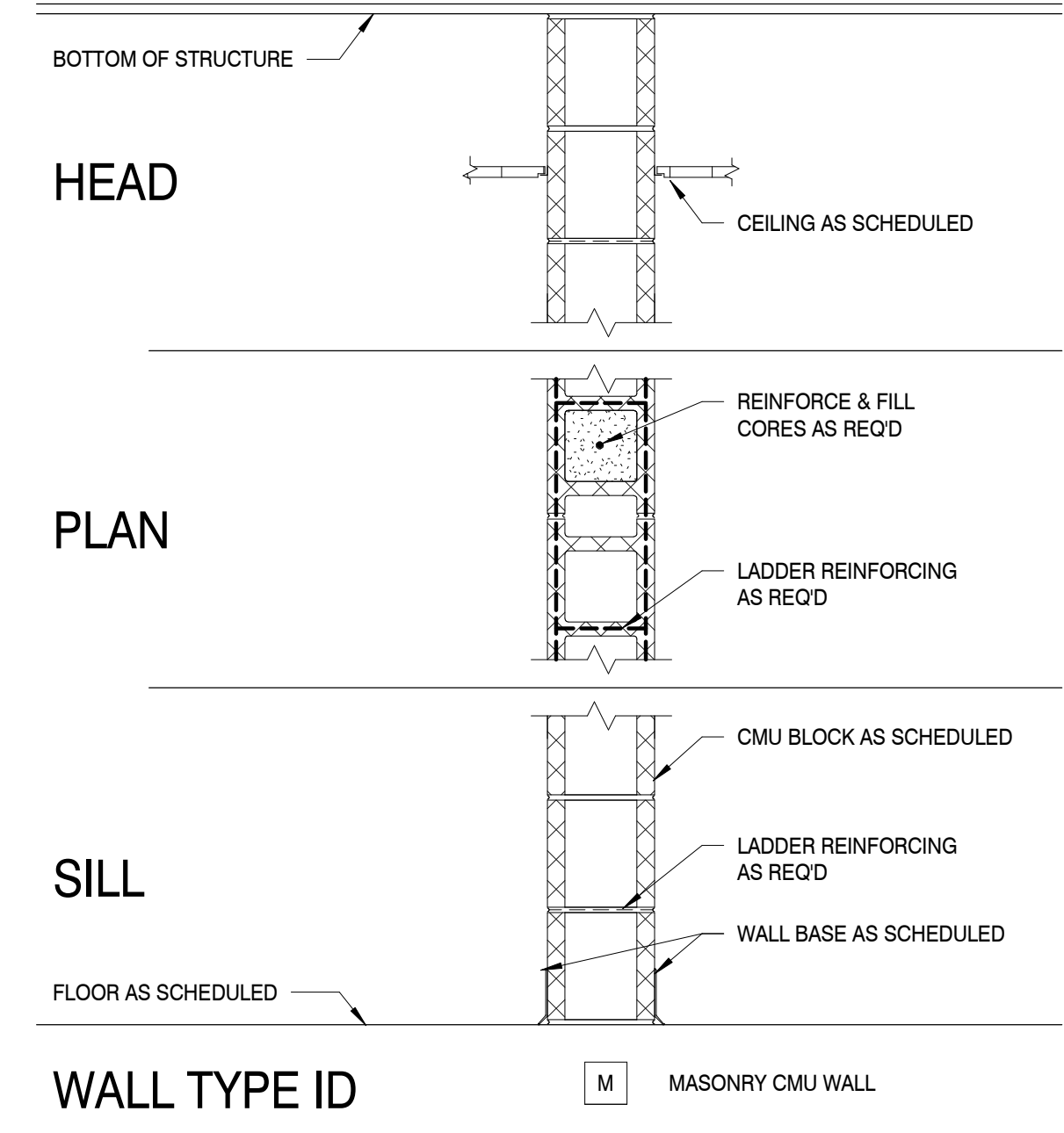


WALL TYPE NOTES:

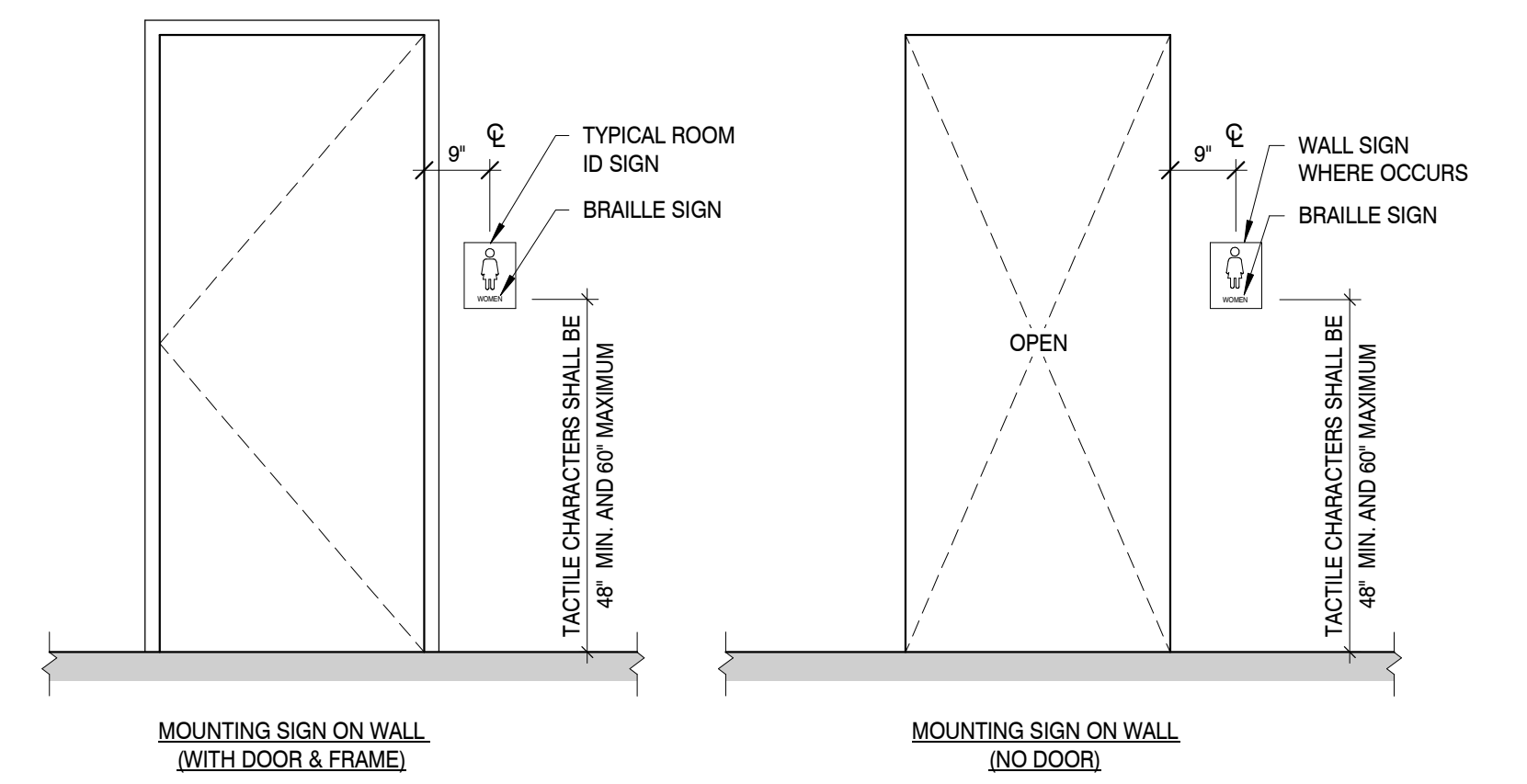
WALL TYPE TAG	WALL TYPE ID
WALL TYPE ID	M = MASONRY / CMU
CORE THICKNESS	CORE THICKNESS
FIRE RATING	MASONRY
ADDITIONAL COMPONENTS	4 = 4" CMU
	6 = 6" CMU
	8 = 8" CMU
	12 = 12" CMU
WALL RATING	STUD WALL CONSTRUCTION
0 = NO FIRE RATING	GWB AS SHOWN
1 = 1 HOUR FIRE RATING	GWB AS SHOWN
2 = 2 HOUR FIRE RATING	2 LAYERS GWB EACH SIDE
3 = 3 HOUR FIRE RATING	3 LAYERS GWB EACH SIDE
4 = 4 HOUR FIRE RATING	4 LAYERS GWB EACH SIDE
S = SMOKE BARRIER	GWB AS SHOWN

NOTES:
 1. COORDINATE LOCATIONS OF EXPANSION JOINTS IN MASONRY WALLS WITH STRUCT DWGS
 2. WALL TYPES INDICATED ARE INDEPENDENT OF APPLIED FINISHES. SEE FINISH PLANS FOR ADDITIONAL INFORMATION.

INTERIOR WALL TYPE LEGEND



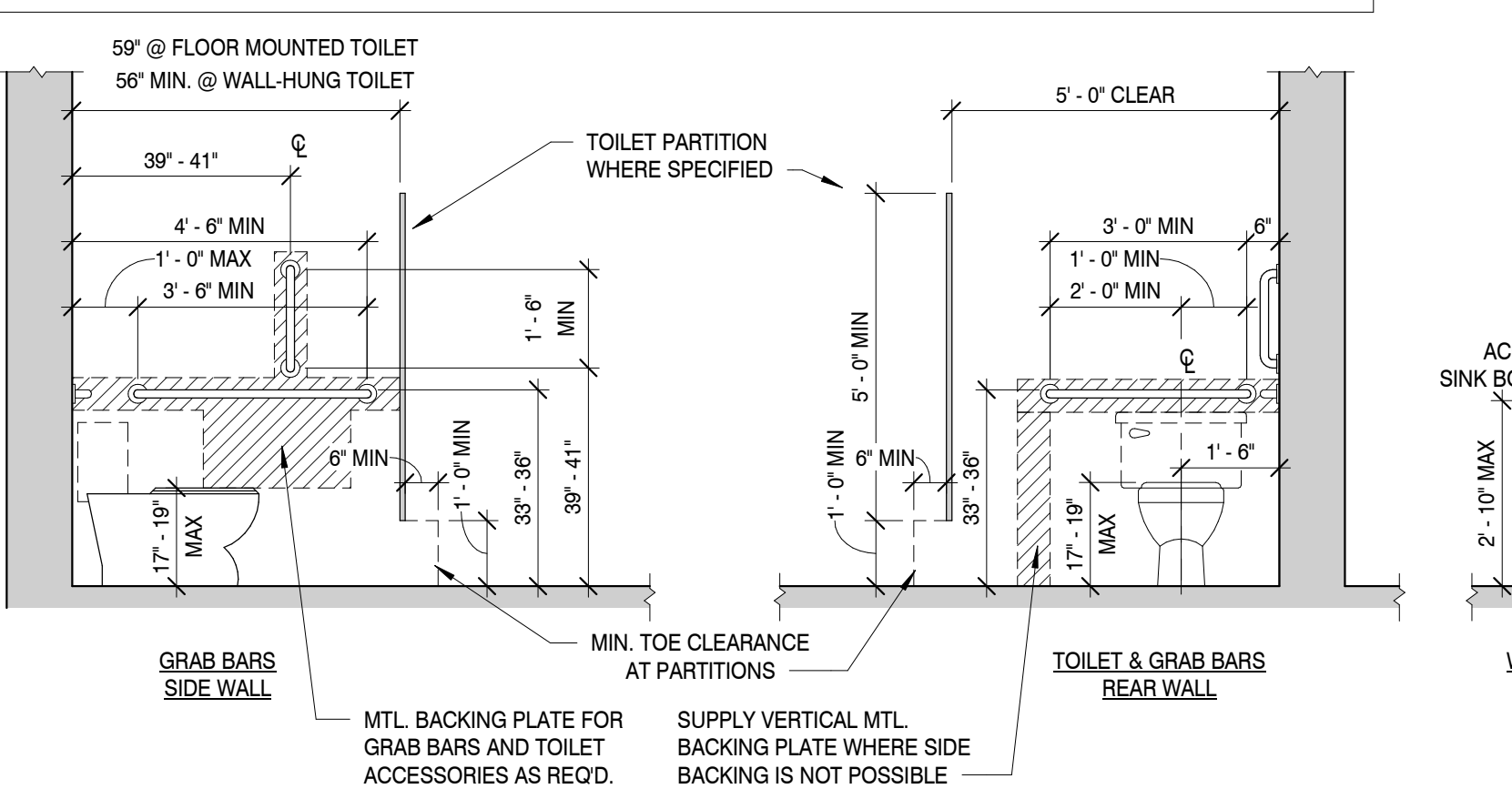
- NOTES:**
- WHERE A SIGN CONTAINING RAISED CHARACTERS AND BRAILLE IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A SIGN CONTAINING RAISED CHARACTERS AND BRAILLE IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A SIGN CONTAINING RAISED CHARACTERS AND BRAILLE IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA 18 INCHES (455 MM) MINIMUM BY 18 INCHES (455 MM) MINIMUM, CENTERED ON THE RAISED CHARACTERS IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.
 - RAISED CHARACTERS SHALL BE 48 INCHES (1220 MM) MINIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE LOWEST RAISED CHARACTER AND 60 INCHES (1525 MM) MAXIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE HIGHEST RAISED CHARACTER.



SIGNAGE NOTES AND DETAILS

SCALE: 1/2" = 1'-0"

- NOTES:**
- ALL GRAB BARS SHALL BE 1 1/4" - 1 1/2" O W / 1 1/2" CLEAR BETWEEN GRAB BAR & FINISH SURFACE OF WALL.
 - FIXED SIDE WALL GRAB BARS SHALL BE 42" MIN. IN LENGTH, LOCATED 12" MAX. FROM REAR WALL AND EXTENDING 54" MIN. FROM REAR WALL. IN ADDITION, A VERT. GRAB BAR 18" MIN. IN LENGTH SHALL BE MOUNTED WITH THE BOTTOM OF THE BAR BETWEEN 39" - 41" A.F.F. AND THE CENTER LINE OF THE BAR LOCATED BETWEEN 39" - 41" FROM REAR WALL. [ANSI 604.5.1]
 - REAR WALL GRAB BAR SHALL BE 36" MIN. IN LENGTH, AND EXTEND FROM THE CENTERLINE OF THE WATER CLOSET 12" MIN. ON SIDE CLOSEST TO WALL, AND 24" MIN. ON THE TRANSFER SIDE. [ANSI 604.5.2]
 - ALLOWABLE STRESS SHALL NOT BE EXCEED FOR MATERIALS USED WHERE A VERT. OR HORIZ. FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE. [ANSI 609.8]
 - GRAB BARS SHALL BE INSTALLED IN A HORIZ. POSITION, 33" MIN. - 36" MAX. A.F.F. MEASURED TO THE TOP OF THE GRIPPING SURFACE. [ANSI 609.4]

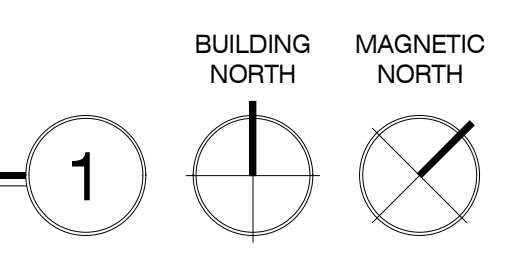


PLUMBING FIXTURES DETAILS

SCALE: 3/8" = 1'-0"

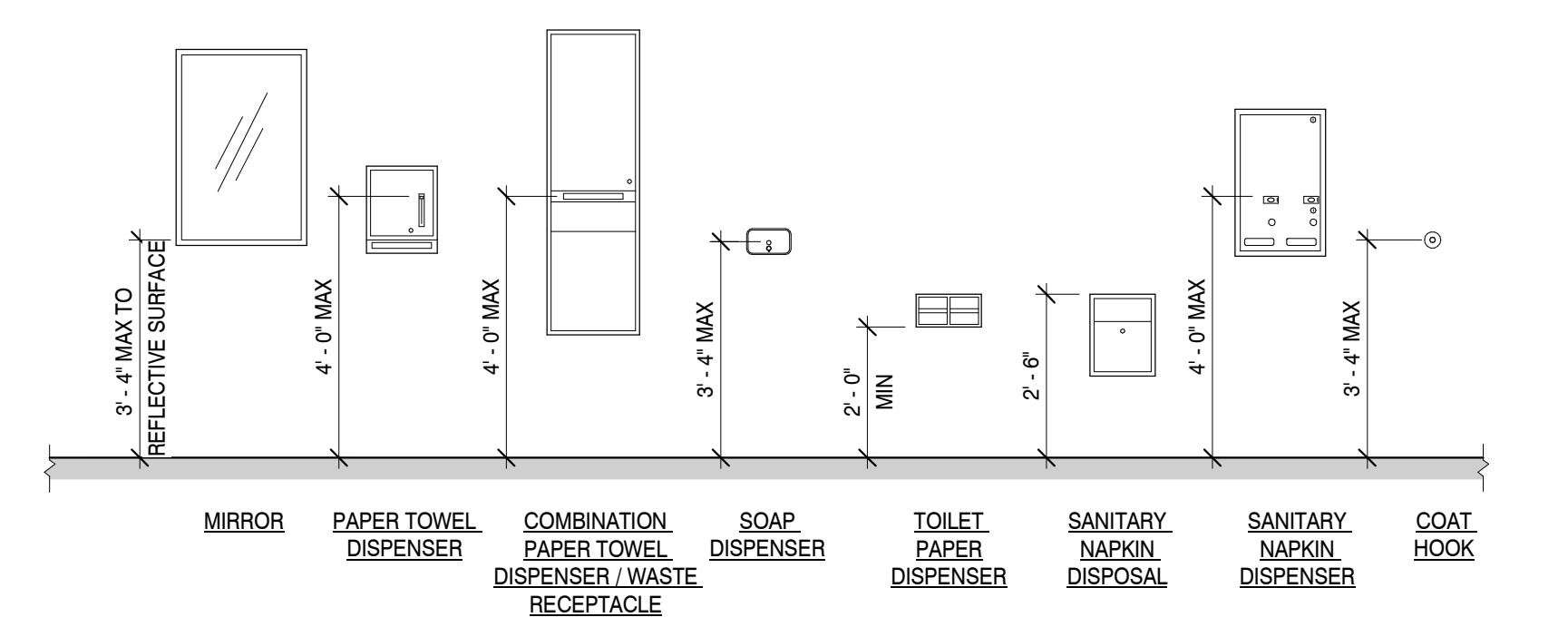
ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"



GENERAL PLUMBING NOTES

- ALL PLUMBING MATERIAL AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- SEE PLUMBING DRAWINGS FOR LOCATIONS AND SIZES OF ACCESS PANELS.
- ALL FIXTURES AND ACCESSORIES SHALL COMPLY WITH THE CURRENT A.D.A., STATE OR LOCAL REGULATIONS FOR MOUNTING HEIGHTS AND CLEARANCES.
- ALL HOT WATER AND DRAIN PIPES SHALL BE INSULATED PER A.D.A. REQUIREMENTS. MINIMUM HOT WATER SUPPLY INSULATION SHALL BE PRE-MOLDED FIBERGLASS PIPE INSULATION WITH WHITE ALL SERVICE JACKET. INSULATION THICKNESS SHALL BE MIN. 1". SEE PLUMBING DRAWINGS.
- ALL GRAB BARS IN NEW CONSTRUCTION SHALL BE INSTALLED WITH CONCEALED ANCHOR PLATES.
- THE FLUSH ACTIVATOR SHALL BE LOCATED ON THE WIDE CLEARANCE SIDE OF HANDICAPPED UNITS AND SHALL BE LEVER TYPE. THE FORCE TO ACTIVATE SHALL NOT EXCEED 5 POUNDS. ACTIVATION SHALL BE WITHIN 40" OF FIN. FLOOR.
- LAVATORY FAUCET CONTROLS SHALL BE LEVER TYPE AND THE FORCE TO ACTIVATE SHALL NOT EXCEED 5 POUNDS.
- CONTRACTOR TO COORDINATE WITH SPECIFIED FIXTURES AND FINISHES TO ENSURE RIM OF LAVATORIES TO BE 34" A.F.F. MAX.



RESTROOM ACCESSORY MOUNTING HEIGHTS

SCALE: 3/8" = 1'-0"

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PROJECT INFORMATION
 PROJECT: ANDERSON COUNTY HIGH SCHOOL GIRLS LOCKER ROOM RENOVATION
 PROJECT ADDRESS: 130 MAVERICK CIRCLE, CLINTON, TN 37716
 PROJECT NO.: 200042.01

ACTIVE DESIGN PHASE

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<input type="checkbox"/>	FOR PERMITTING ONLY
<input type="checkbox"/>	SCHEMATIC DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input type="checkbox"/>	CONSTRUCTION BIDDING
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	09/12/2021	ADDENDUM A

KEY PLAN

SHEET INFORMATION
 SHEET ISSUED: 04/16/2021
 DESIGNED BY: KEF
 DRAWN BY: KEF
 REVIEWED BY: CMG
 SHEET TITLE: ENLARGED PLAN AND DETAILS

A601



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PROJECT INFORMATION

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**ANDERSON COUNTY
HIGH SCHOOL GIRLS
LOCKER ROOM
RENOVATION**

PROJECT ADDRESS:

130 MAVERICK CIRCLE
CLINTON, TN 37716

PROJECT NO.: 200042.01

ACTIVE DESIGN PHASE

- FOR REVIEW ONLY
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- AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	05/12/2021	Addendum A

KEY PLAN

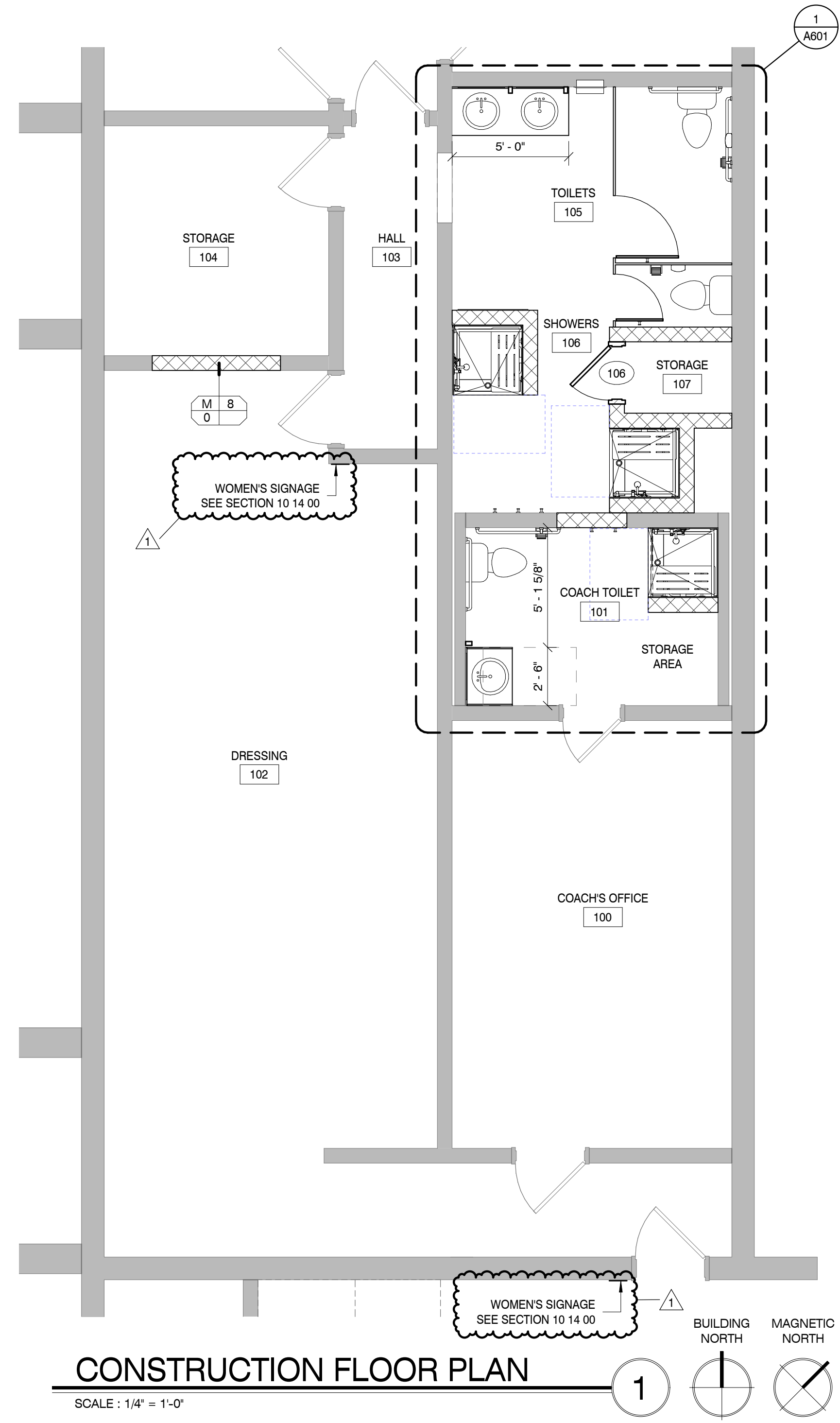
SHEET INFORMATION

SHEET ISSUED: 04/16/2021
DESIGNED BY: KEF
DRAWN BY: KEF
REVIEWED BY: CMG
SHEET TITLE:

**CONSTRUCTION
FLOOR PLAN & DOOR
TYPE**

SHEET NO.:

A101



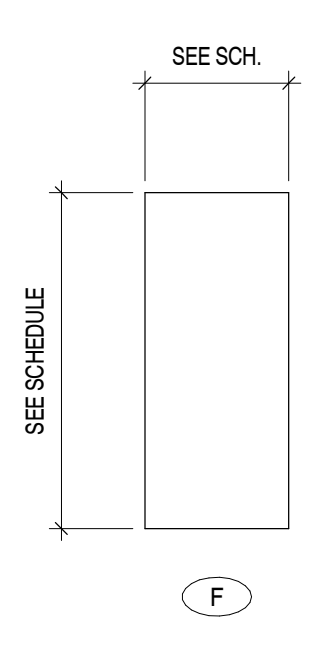
CONSTRUCTION FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOORS										FRAMES			DETAILS				REMARKS
NUMBER	D-TYPE	D-MATL	FULL WIDTH	PANELS	HEIGHT	THICK	FINISH	LABEL	F-TYPE	F-MATL	F-FINISH	HEAD	JAMB	T-HOLD	H-WARE		
106	NN	HM	2'-4"	SINGLE	7'-0"	1 3/4"	PAINT	-	1	HM	PAINT	2/A101	3/A101	-	001		

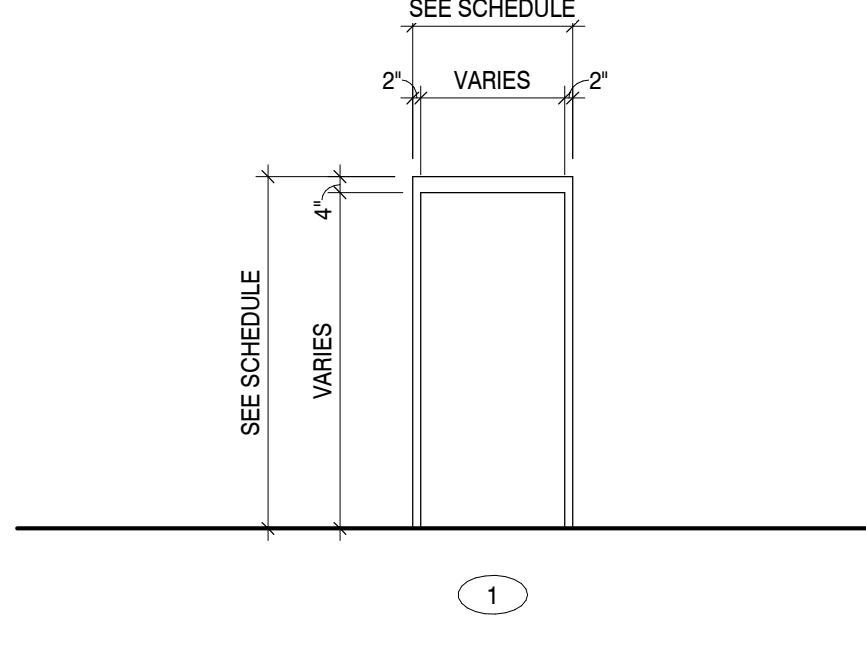
GENERAL DOOR NOTE

1. HOLLOW METAL DOORS AND FRAMES ARE TO BE FACTORY PRIMED AND FIELD PAINTED.



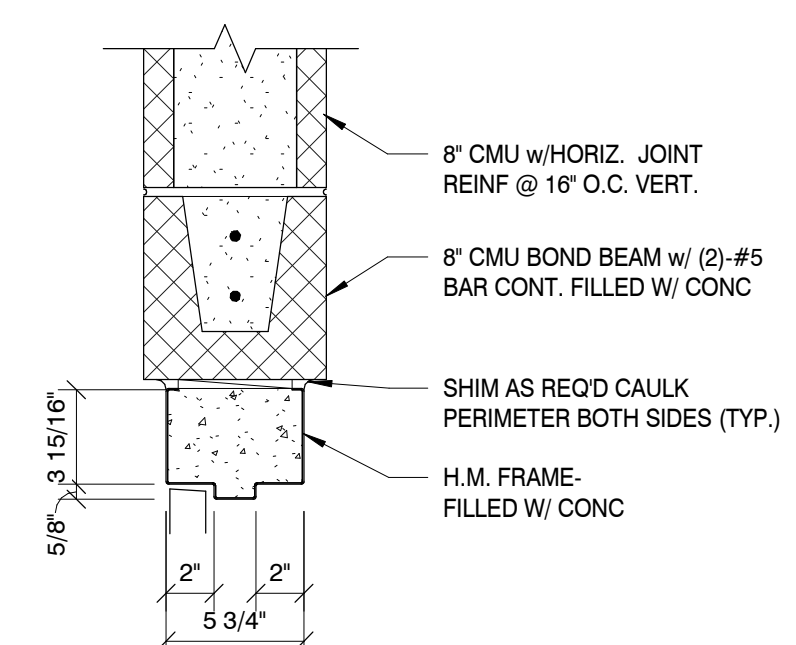
DOOR TYPE

SCALE: 1/4" = 1'-0"



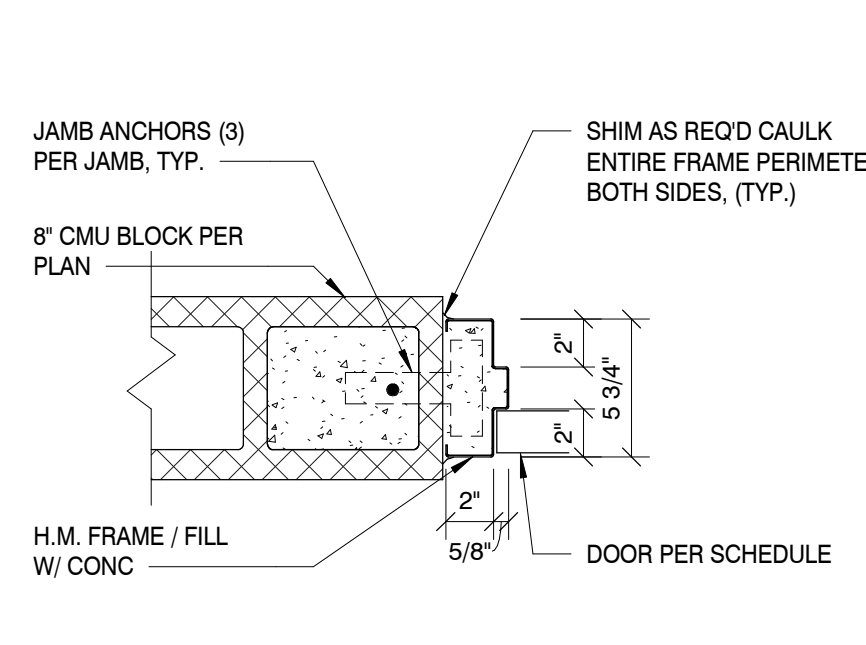
DOOR FRAME TYPE

SCALE: 1/4" = 1'-0"



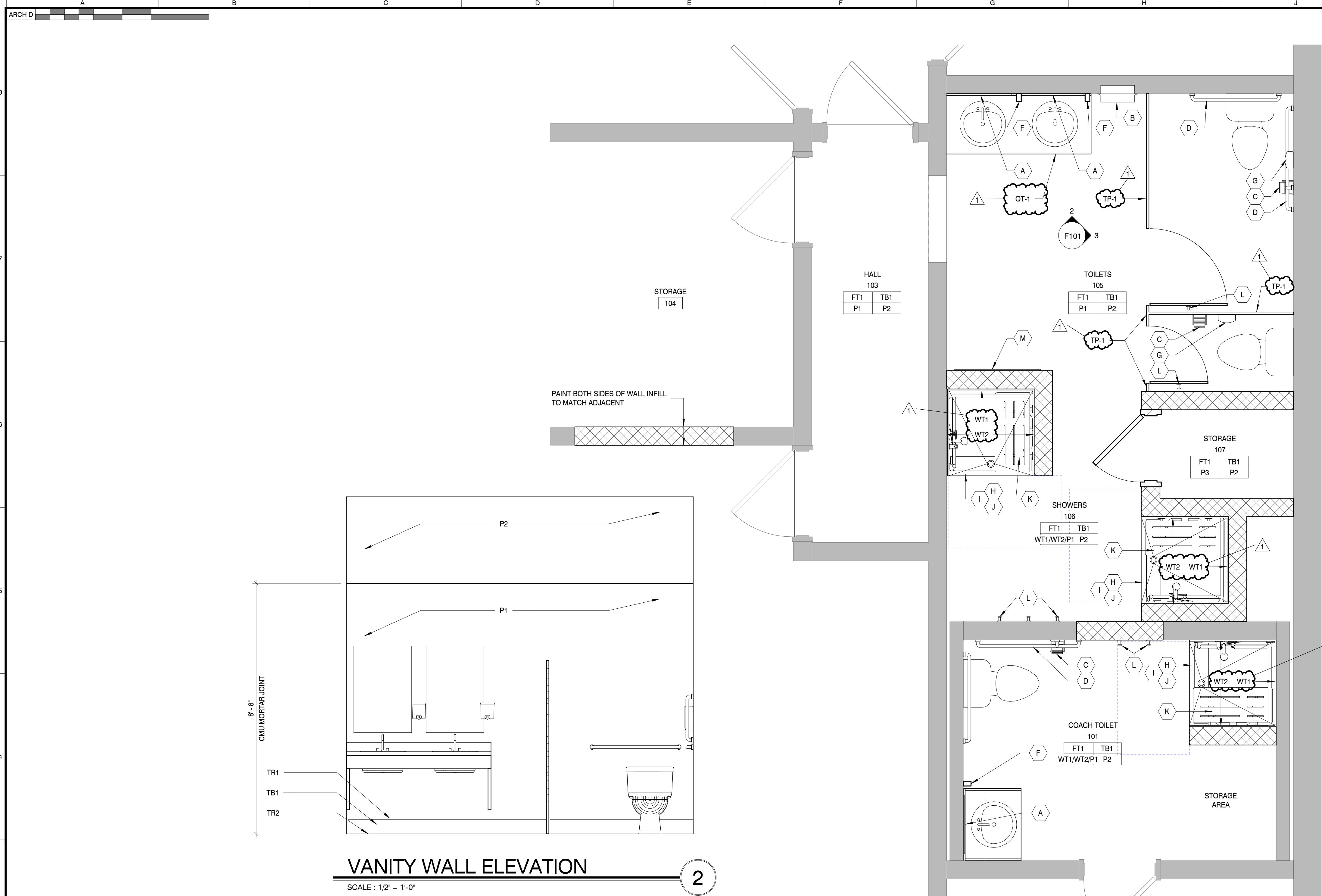
HEAD DETAIL

SCALE: 1 1/2" = 1'-0"



JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



RESTROOM ACCESSORIES

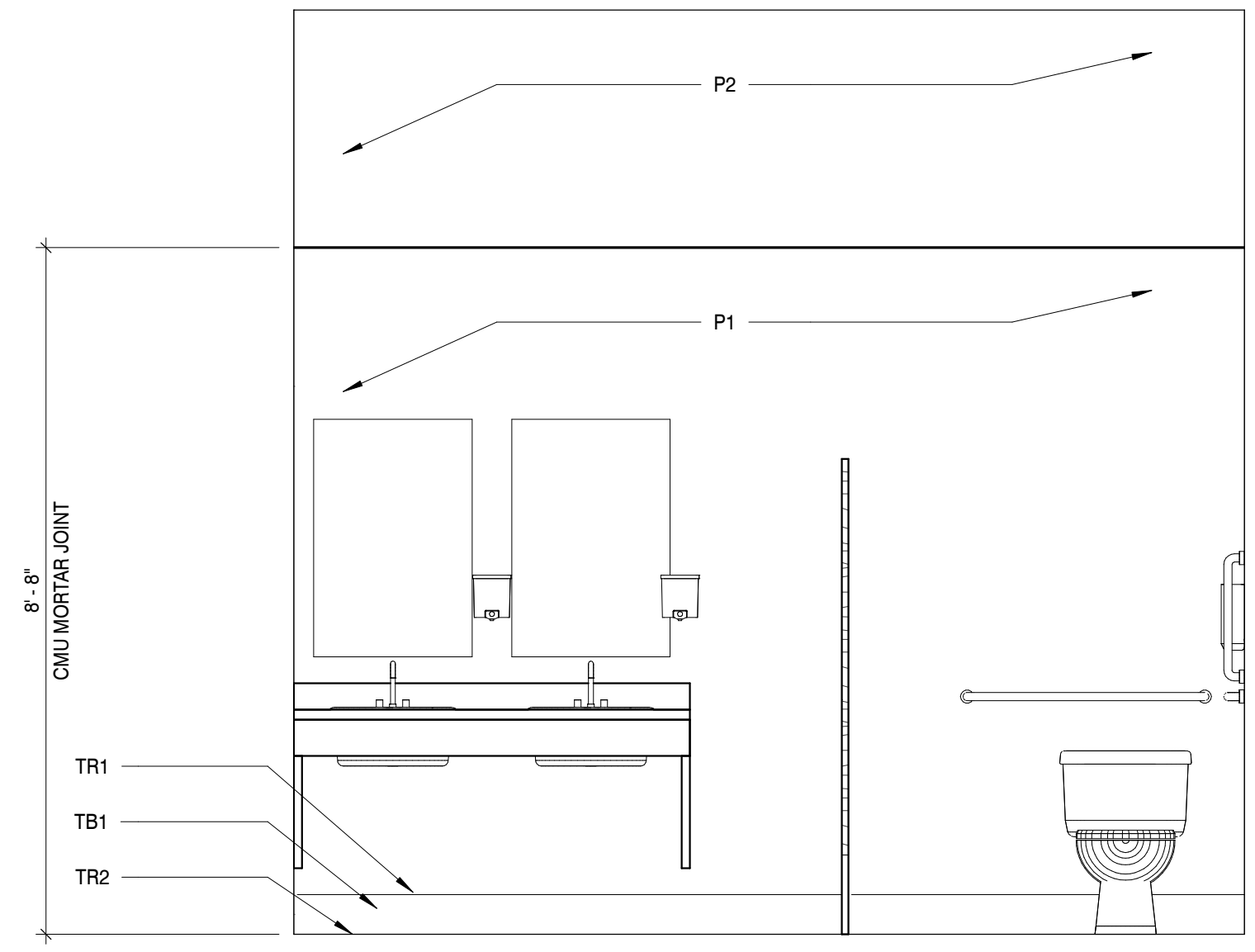
- A. 24" x 36" FRAMELESS MIRROR W/ 1/4" FLOAT PLATE SET IN SILICONE. (40" A.F.F. TO BOTTOM OF REFLECTIVE SURFACE).
- B. PAPER TOWEL DISPENSER
- C. TOILET TISSUE DISPENSER (WALL MOUNTED). DISPENSER SHALL BE LOCATED ITHIN 12" OF THE FRONT EDGE OF THE TOILET SEAT. (1 PER STALL)
- D. 42" & 36" HORIZ. AND 18" VERT. STAINLESS STEEL GRAB BAR, (SURFACE MOUNTED). 1 1/4" - 1 1/2" O MOUNTED 1 1/2" FROM WALL.
- E. 36" MOP RACK
- F. SOAP DISPENSER
- G. FEMININE NAPKIN RECEPTACLE
- H. SHOWER CURTAIN ROD
- I. VINYL SHOWER CURTAIN
- J. SHOWER CURTAIN HOOKS
- K. SHOWER SEAT
- L. COAT / ROBE HOOK
- M. 24" x 72" FRAMELESS MIRROR W/ 1/4" FLOAT PLATE SET IN SILICONE.

FINISH SCHEDULE

CODE	ITEM	MANUFACTURER	DESCRIPTION
	FLOORING		NOTE: LOCATE THE FLOOR FINISH CHANGE AT DOOR OPENINGS AT THE CENTERLINE OF THE DOOR LEAF
FT1	FLOOR TILE	LOUISVILLE TILE	AMERICAN OLEAN, MERIT, LIGHT GRAY ME08, 12" X 24", INSTALLATION TO BE IN A 1/3 OFFSET PATTERN GROUT: TEC 927 LIGHT PEWTER, POWER GROUT, 1/8" GROUT JOINT
FT2	FLOOR TILE	DALTILE	FLOOR OF ALL SHOWERS: KEYSTONES, NAVY SPECKLE- D208, 2" HEXAGON MOSAIC (DOT MOUNTED) GROUT: TEC 927 LIGHT PEWTER, POWER GROUT, 1/8" GROUT JOINT
	WALL BASE		
TB1	TILE WALL BASE	LOUISVILLE TILE	AMERICAN OLEAN, MERIT, LIGHT GRAY ME08, 12" X 24" TILE CUT TO 6" HIGH AND CAPPED OFF AT WALL WITH TR1 GROUT: TEC 927 LIGHT PEWTER, POWER GROUT, 1/8" GROUT JOINT OR LESS
	WALLS		
P1	PAINT	SHERWIN WILLIAMS	CLIENT TO PROVIDE PAINT COLOR (WHITE) (SEMI-GLOSS WALL PAINT U.N.O.)
P2	PAINT	SHERWIN WILLIAMS	CLIENT TO PROVIDE PAINT COLOR (NAVY) (HOLLOW METAL PAINT U.N.O. AND CEILING)
P3	PAINT	SHERWIN WILLIAMS	CLIENT TO PROVIDE PAINT COLOR (GREY) (ACCENT)
WT1	WALL TILE	LOUISVILLE TILE	REAR WALL OF ALL SHOWERS: PORTOBELLO AMERICAN, PADDINGTON, PADDINGTON NAVY 4" X 16" MATTE, INSTALLATION TO BE IN A VERTICAL STACK PATTERN STARTING FROM THE CENTER OF THE WALL TOWARD THE CORNERS GROUT: TEC 939 MIST, POWER GROUT, 1/8" GROUT JOINT OR LESS
WT2	WALL TILE	LOUISVILLE TILE	SIDE WALLS OF ALL SHOWERS: PORTOBELLO AMERICAN, PADDINGTON, PADDINGTON GRAY, 4" X 16" MATTE BOLD, 25231E, INSTALLATION TO BE IN A VERTICAL STACK PATTERN GROUT: TEC 939 MIST, POWER GROUT, 1/8" GROUT JOINT OR LESS
	TRANSITIONS		
TR1	TRANSITION	LOUISVILLE TILE	SCHLUTER, RONDEC-DB, AE FINISH WALL TILE BASE TO WALL TRANSITION
TR2	TRANSITION	LOUISVILLE TILE	SCHLUTER, DILEX-AHK, AE FINISH FLOOR TILE TO WALL TILE BASE
TR3	TRANSITION	LOUISVILLE TILE	SCHLUTER, RONDEC-AE FINISH WALL TILE EDGE TO WALL TILE EDGE TRANSITION
TR4	TRANSITION	LOUISVILLE TILE	SCHLUTER, RONDEC-AE FINISH WALL TILE EDGE TO WALL TILE EDGE TRANSITION
TR5	TRANSITION	LOUISVILLE TILE	SCHLUTER, RENO-U, AE FINISH FLOOR TILE TO CONCRETE TRANSITION
	MISC.		
QT1	QUARTZ COUNTERTOP	WILSONART	LYRA Q2001, 3 CM EASED EDGE WITH A 4" APRON
TP1	TOILET PARTITION	SCRANTON PRODUCTS	HINY HIDER PARTITIONS, CHARCOAL GREY, HDPE ORANGE PEEL FINISH, HEAVY DUTY HEADRAIL, CONTINUOUS, 66" STAINLESS STEEL SPRING LOADED HINGE, 72" HIGH PARTITIONS, OCCUPANCY INDICATOR, STAINLESS STEEL SHOE

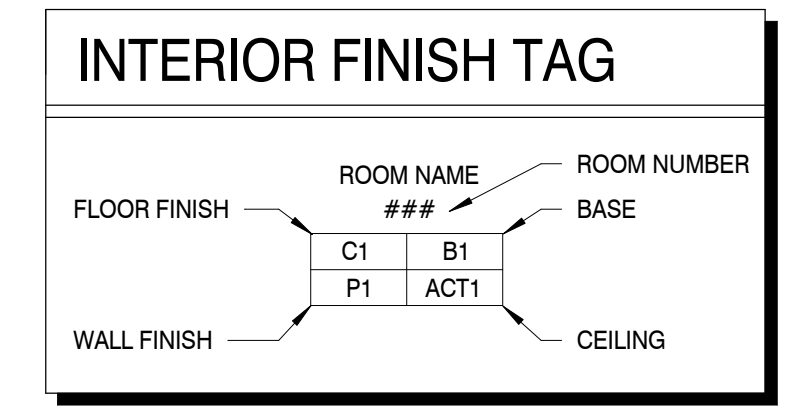
VANITY WALL ELEVATION

SCALE: 1/2" = 1'-0"



FINISH PLAN

SCALE: 1/2" = 1'-0"

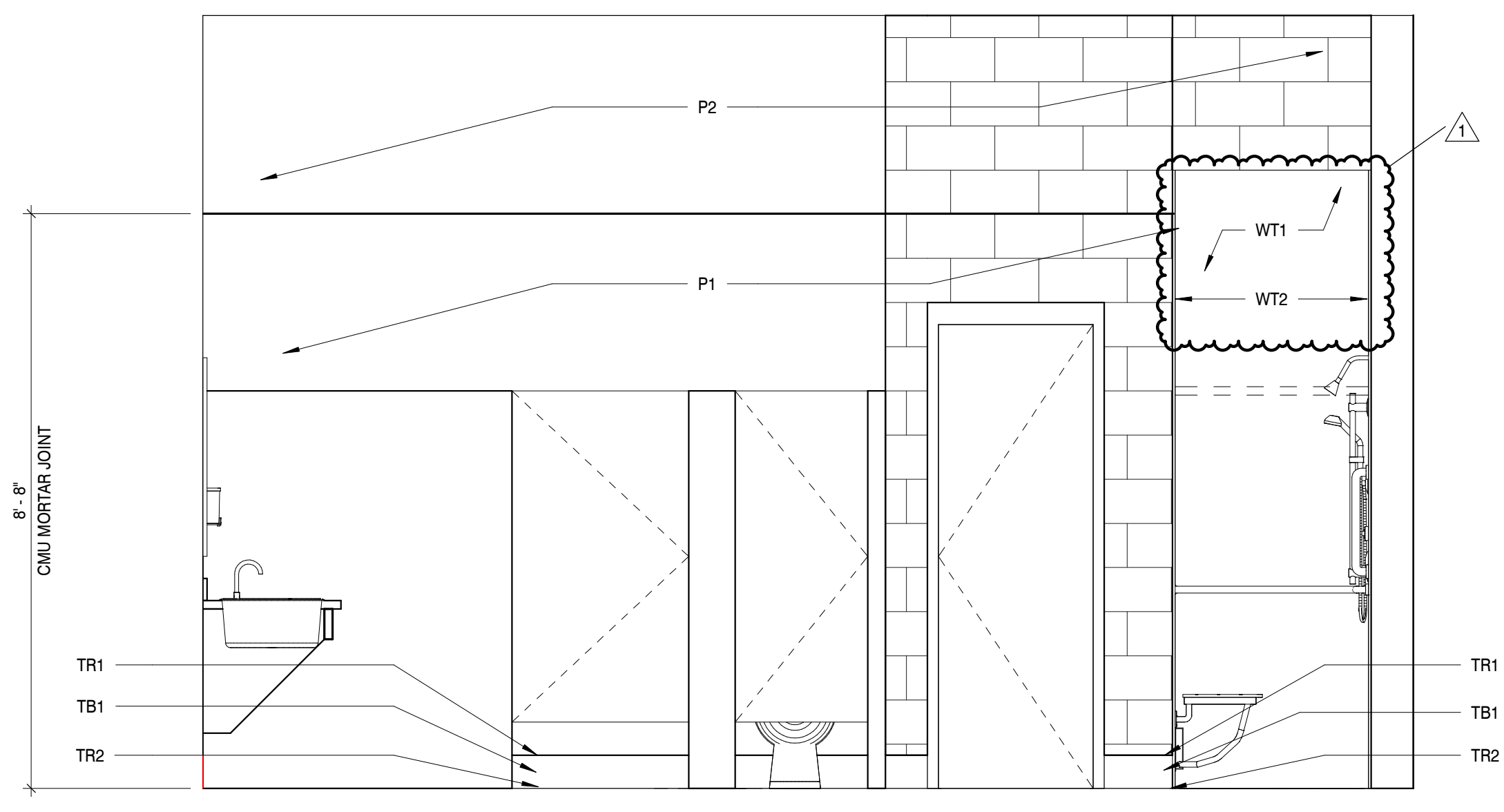


GENERAL INTERIOR NOTES

- ALL FURR DOWNS TO BE PAINTED P1 UNLESS OTHERWISE NOTED
- ALL HOLLOW METAL PAINT SHALL HAVE SEMI-GLOSS FINISH
- CONTRACTOR TO PROVIDE APPROPRIATE TRANSITIONS AS REQUIRED
- PRIOR TO CONSTRUCTION, CONTRACTOR TO SUBMIT ALL SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL
- ALL GYPSUM WALL BOARD TO BE PAINTED
- CONTRACTOR SHALL PROVIDE APPROPRIATE GROUT & SEALANT FOR ALL FLOOR & WALL TILE APPLICATIONS

TOILET WALL ELEVATION

SCALE: 1/2" = 1'-0"



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PROJECT INFORMATION
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ANDERSON COUNTY HIGH SCHOOL GIRLS LOCKER ROOM RENOVATION
PROJECT ADDRESS:
130 MAVERICK CIRCLE
CLINTON, TN 37716

PROJECT NO.: 200042.01

ACTIVE DESIGN PHASE

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NO.	DATE	DESCRIPTION
1	05/12/2021	Addendum A

KEY PLAN

SHEET INFORMATION
SHEET ISSUED: 04/16/2021
DESIGNED BY: KEF
DRAWN BY: TS
REVIEWED BY: CMG
SHEET TITLE:

FINISH PLAN AND ELEVATIONS

SHEET NO.: **F101**

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PART 1 GENERAL

1.01 WORK INCLUDED

- A. Furnish all labor, materials, and equipment, and perform all work to construct, as specified herein and as shown on the accompanying drawings entitled "Anderson County High School Girls Locker Room Renovation, 130 Maverick Circle, Clinton, TN 37716." The renovation shall be constructed complete and ready for occupancy except for the items specifically excluded in "Work Not Included".
- B. The work shall include selective demolition, building construction, plumbing, heating, ventilating and air conditioning; electrical work; special equipment as specified, as shown and specified.
- C. Patch any existing work damaged by construction.

1.02 WORK NOT INCLUDED

- A. The following items of work will be provided by the Owner or by others under separate contracts:
 - 1. Wayfinding signage.
 - 2. Toilet accessories not included on drawings: OFCI.
 - 3. Movable furniture unless specifically shown on the drawings and specifications.
 - 4. Security System Equipment.
 - 5. Telephone System Equipment.
 - 6. Computer System Equipment.
 - 7. Any other items noted on the drawings as Not in Contract (NIC); or Owner Furnished Contractor Installed (OFICI).
- B. The following work in connection with the items listed in paragraph 1.02A preceding shall be part of the General Contract work:
 - 1. Verification of correct location of electrical receptacles, telephone outlets, water and waste connections and similar outlets to suit equipment arrangement.
 - 2. Provision of telephone outlet boxes and conduit turned out above ceiling for use by owner's telephone contractor.

1.03 OCCUPANCY OF THE BUILDING DURING CONSTRUCTION

- A. The Contractor shall schedule and organize his work in such a manner and use such methods that will interfere as little as possible with other work in progress on the site and with the operation of adjacent buildings.
- B. The Building will be occupied during the course of construction. The Contractor shall schedule his work in a manner to minimize disruption of use of existing facilities by his construction activities.
 - 1. Contractor shall accomplish all Work during Summer break, with Substantial Completion before Fall sessions resume.

1.04 CONTRACTOR'S USE OF PREMISES

- A. Before construction is started the Contractor shall confer with the Architect and the Owner and arrange for available trucking and storage space for the delivery of materials, storage space for materials and equipment, and parking space for his workmen.
- B. Construction operations and storage of materials and equipment shall be restricted to areas of the site mutually agreed upon and in such a manner as not to block access of fire fighting equipment to the building and facilities.

- C. Construction vehicular traffic and the operation of construction equipment such as cranes, bulldozers, and other similar equipment shall be carefully supervised and controlled to avoid damage to existing structures and facilities which are to remain in place.

1.05 VERIFICATION OF DIMENSIONS

- A. Dimensions, elevations, and locations shown on the drawings in reference to existing structures and utilities are the best available data obtainable but are not guaranteed by the Architect or the Owner and the Architect and the Owner will not be responsible for their accuracy.
- B. Before proceeding with any work dependent upon the data involved, the Contractor shall field check and verify all dimensions, grades, line levels, or other conditions of limitations at the site and building to avoid construction errors. If any work is performed by the Contractor or by his Subcontractors prior to adequate verification of applicable data, any resultant extra cost for adjustment of work to conform to existing limitations shall be borne by the Contractor without reimbursement or compensation by the Owner.

1.06 CONTROL POINTS AND LAYOUT

- A. The initial lines, grades, and dimensions necessary for the location and control of the work under the Contract are shown on the Contract Drawings.
- B. The Contractor shall provide for himself all additional and supplementary lines and grades as may be necessary to layout the work and ensure proper control of the work until completed. It shall be the Contractor's responsibility to satisfy himself as to the accuracy of all measurements before construction.

1.07 SUBSTANTIAL COMPLETION OF THE WORK

- A. Upon substantial completion of any phase of the work, the Owner shall assume complete responsibility for the maintenance and operation of the heating, ventilating and air conditioning system and service utilities in that portion of the project.
- B. The Owner shall also become responsible for all other maintenance and damage and ordinary wear and tear and, with the exception of items under guarantee, the cost of repairs or restoration during the period between substantial and final completion.
- C. The Owner shall have the responsibility to have in effect all necessary insurance for protection against any losses not directly attributable to the Contractor's negligence.
- D. Upon substantial completion, payments for work in the substantially complete portion of the work shall be released to the Contractor, except for the retainage and an amount to cover the cost of the incomplete or deficient items included in the punch list made at the inspection to determine substantial completion. This amount shall be approximately the value of the punch list items as estimated by the Architect.
- E. The Contractor shall arrange a schedule so that punch list items are completed in the designated time by working during regular working hours. The Contractor shall be afforded access to the occupied portion of the building to perform this work during regular working hours.

1.08 ENVIRONMENTAL HAZARDOUS PRODUCTS, MATERIALS, WASTE

- A. Do not incorporate in the Work hazardous materials or products as currently defined in the Resource Conservation and Recovery Act of 1976 (RCRA), the Comprehensive Environmental Response, Compensation, and Liability Act of 1980 (CERCLA), or Environmental Protection Agency (EPA) regulations, rules, or requirements, as amended, unless the Contract Documents give no other option than to provide a material or product which contains a hazardous material, component, constituent, waste, or leachate. In studying the Contract Documents and carrying out the Work, report at once to the Designer the

discovery of a product or material which contains hazardous materials, components, constituents, waste, or leachate.

- B. Do not incorporate in the Work a product or material which contains concentrations of a constituent, component, or material above the threshold levels which would require adherence to hazardous waste disposal regulations as currently defined or could cause a release or threat of release of a hazardous substance at a level that would require a remedial response or removal action as currently defined by RCRA, CERCLA, or the EPA.
- C. Select materials and products meeting specified requirements which comply with EPA requirements as regards hazardous materials content. In making requests for substitutions, determine that materials and products proposed for substitution comply with RCRA, CERCLA, and EPA requirements.

1.09 BUILDING PRODUCTS USE

- A. It is the responsibility of the Contractor to inform himself concerning the application of the products he uses to follow the directions of the Architect and manufacturer.
- B. In the event of disagreement between the Contract Documents and the manufacturer's directions, the Contractor will obtain written instructions from the Architect before proceeding with the installation.
- C. If the Contractor has knowledge of or reason to believe the likelihood of failure, he will transmit such knowledge to the Architect, and ask for written instructions before proceeding with the work.

1.10 OWNERSHIP OF REMOVED MATERIALS AND EQUIPMENT

- A. All removed existing materials and equipment designated to be removed which are not to remain the property of the Owner or are not noted to be reused in the new work shall become the property of the Contractor and shall be removed from the premises and site and disposed of by him.

1.11 SEPARATE CONTRACTS

- A. The Owner may award separate contracts in connection with the project. The work in any such separate contracts may proceed simultaneously with the execution of this Contract. The Contractor shall coordinate operations with any separate contractors. The Contractor will be required in the arrangement for the storage of materials and in the detailed execution of the work. The Contractor, including his subcontractors, shall keep himself informed of the progress and the detailed work of separate contractors and shall notify the Architect immediately of the lack of progress or defective workmanship that will interfere with his own operations. Failure of the Contractor to keep informed of the work progressing on the site and failure to give notice of lack of progress or defective workmanship by separate contractors shall be construed as acceptance of him of the state of the work as being satisfactory for proper coordination with his own work.
- B. The separate contractors will provide competent foremen or supervisors for the installation of their equipment and they are to confer with the Contractor and his subs and other separate contractors where required in regard to connections and installations.

1.12 DISCRETIONARY FUND

- A. The General Contractor shall include in the base bid an amount equal to **three percent (3%)** of the Base Bid amount which shall constitute a discretionary fund. This fund shall be used at the discretion of the Architect and the Owner. Upon completion of the work, the Contractor shall credit his final request for payment in the amount of all or any unused portion of this fund.

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SECTION 01 10 00
SUMMARY

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION