



**Addendum #3**  
**Doug Shaw Stadium Improvements**  
**December 21, 2016**

*Proposer shall be responsible for acknowledging receipt of this amendment in the Proposal Form. Failure to do so will result in the proposal being rejected by the City of Myrtle Beach. This amendment is also posted on the City's official website: [www.cityofmyrtlebeach.com](http://www.cityofmyrtlebeach.com).*

1. Please see attached structural repair drawings S1.0 and S2.0 for the existing concrete grandstand.
2. Please see attached coating schedule for existing home grandstand.
3. Please see attached Figure A-101 showing area of concrete paving under existing home grandstand to be included in Alternate #1.
4. Please see attached revision to precast permeable pavers detail (Detail 7 - Sheet C-600).
5. **Question:** Specification 10 14 23 details Applied Letter (Chemically Welded) Panel Signage. Construction Drawings do not provide any signage drawings or a schedule of the required signage. Please provide drawings and a schedule of the required Panel Signage for this project.  
**Answer:** This specification section is no longer required.
6. **Question:** Specification 10 14 23 Details Field Applied, Vinyl-Character Signs. No Field Applied, Vinyl-Character Signs are drawn or detailed in the construction drawings. Please provide additional details and drawings of all Field Applied, Vinyl-Character Signs to be included in this project's signage package.  
**Answer:** This specification section is no longer required.
7. **Question:** Clarify the method of attachment for the new bleachers. Is it not possible to use the existing, bolted "Z" clips; therefore reducing the amount of point-up and patch work required? This will also allow the recoating activity to commence sooner.  
**Answer:** New bleacher benches shall be attached using new bolted "Z" clips and should be priced accordingly. Re-use of existing "Z" clips will be considered dependent on condition of clips and acceptability to the seating manufacturer's bench seating system.
8. **Question:** What product is to be used to re-coat the concrete structure of the grandstand? Is the existing coat to be removed or covered?  
**Answer:** Please see attached coating specification.
9. **Question:** There is a note on Drawing A101 that states "Existing Concrete Grandstand – Repair and Recoat". Additionally, there is a specification Section 030130 Maintenance of Cast In Place Concrete which I assume is for the repair of the Grandstand.

- a. Can you provide a quantity for the repairs? Or better yet provide an allowance so we are all bidding the same amount?
- b. What type of material are we to use to recoat the grandstand?
- c. Are we to recoat underneath existing brackets?

**Answer:** Please see attached drawings S1.0 and S2.0 providing scope and details of the grandstand repairs. Please see attached coating specification for type of material to recoat the grandstand. The coating specification requires removal of the existing brackets and grandstand coating.

10. **Question:** Was informed by Tim Huber at the City that the video board and head end would also be replaced. Did not see those items listed in the City notice...can you confirm?

**Answer:** The scoreboard will be replaced and is covered by the allowance for Scoreboard Replacement.

11. **Press Box Questions:**

- a. What is the wind load for Myrtle Beach?

**Answer:** Refer to sheet S-002 for loading information.

- b. Are there any local governing codes for the school district?

**Answer:** Refer to sheet A-000 for code information.

- c. Please confirm that double hung aluminum windows are acceptable.

**Answer:** As noted on sheet A-203 windows are to be single hung.

- d. We're assuming the filming area is open air exterior. The floor will need to slope 1/4" per foot from back to front which will create a step up from the corridor to the filming area. Is this acceptable?

**Answer:** Refer to section 1/A-303 and plan 2/A-105. The north wall of the filming area will be provided with a coiling overhead door and is fully covered by roof. No floor slope is required.

- e. Is construction type VB acceptable?

**Answer:** Per sheet A-000 of Addendum #2, the construction type shall be IIB.

- f. Can we move the elevator forward to eliminate the gap between the elevator wall and the modular unit that follows column line F?

**Answer:** No. Pressbox construction shall extend to the face of the elevator shaft.

- g. Is the 2' x 2' "chase" shown in Box 1 required and is it an actual chase?

**Answer:** Yes, it is required as it conceals refrigerant lines routing from above the ceiling to the concourse level below.

12. **Question:** Existing skirt on visitor bleacher is not currently a standard product. I am trying to source the original panels but the color maybe different due to fading of the material on site. Do you want the entire skirt replaced or will color variation be acceptable?

**Answer:** The entire skirt does not need to be replaced. New skirt shall be color-matched as closely as possible to the existing skirt on the visitor bleachers.

13. **Question:** Are riser mounted brackets for the homeside seating desired? Plans show tread mounted z brackets, specs specifically state that is not acceptable. Riser mounted brackets can be set to a better constant elevation to eliminate the waves in existing seatboards and keep a consistent bench height for patrons.

**Answer:** Riser mounted brackets are not preferred due to potential conflicts with tendons in precast double T's. Please disregard prohibition of "Z" brackets in specification 12 71 13 section 2.2C and refer to answer to Question #7 above.

14. **Question:** Are we to be pricing these METPAR shower enclosures? There is a spec but Detail 1 on A-403 shows nothing but block.

**Answer:** No. Shower enclosures are not to be provided.

15. **Question:** There are several questions pertaining to the Drivable Grass:

a. Can you please provide more details pertaining to the edging for the drivable grass paving system, such as size?

b. Does the concrete header go around the entire perimeter?

c. The Drivable Grass detail doesn't provide the depth of the road base or if the filter fabric is required. It states per the soils engineer for both. Please advise.

**Answer:** Edging shall be 6"x 6" concrete curb. Header/edging shall be provided at outer edge adjacent to soil. No edging/header shall be provided adjacent to the concrete walk. See answer #25 from previous Addendum #2.

16. **Question:** Please provide a specification for the hardware sets for the doors and what is required at each door.

**Answer:** A door hardware allowance will be provided in a revised bid form. Door hardware sets specification and a revised door hardware schedule will be provided at a later date. Please note that door hardware for the press box is covered in the press box specification and is not included in this allowance.

17. **Question:** The specifications for the lockers 105113 states single tier lockers, but Drawing A403 Detail 2 shows 5-tier lockers. Please advise.

**Answer:** In Addendum #2, the original sheet A-403 has been eliminated. Provide single tier lockers as specified.

18. **Question:** Are the allowances to be included in the Total Base Bid price to be entered at the bottom of bid form page 9? The bid form indicates they are not part of the base bid. On page 10 the allowances are listed separately and appear to be in addition and separate from the base bid price.

**Answer:** Allowances listed on the bid form are to be included in the Total Base Bid price. A revised bid form will be provided.

19. **Question:** The project documents show new fire alarm panels in the home support & concourse press box buildings but not in the visitor support building. Fire alarm riser drawing E-702 shows new panels for the home support & visitor support buildings. Are all buildings to have its own panel and then be networked. If not provide clarification as to which buildings will have its own panel.

**Answer:** Delete FACP indicated in Home Support building rm. H104. All fire alarm devices indicated in Home Support building to be wired back to main fire alarm control panel (FACP) located in Press Box building rm. #P105. Fire alarm control panels to be networked as indicated on detail 2/E-702.

20. **Question:** For the press box/concourse building will elevator recall interface from a fire alarm standpoint be required?

**Answer:** Yes. Elevator recall shall be initiated by pressbox FACP.

21. **Question:** The fire alarm drawings do not indicate any duct detectors on the drawings but do on the riser. Additionally the mechanical schedule indicates that AHU's 1 & 3 along with ERU's 1 & 2 produce over 2000 CFM. Shall duct detectors be provided for these units?

**Answer:** Duct smoke detectors for AHU-1,2 & 3 and ERU-1&2 are shown on mechanical

drawings. Duct detectors are to be furnished and wired by electrical contractor and installed by mechanical contractor.

22. **Question:** Is the symbol in the family room V107 of the home support building a visual only symbol as it is not indicated on the legend.

**Answer:** In Home Support building "Family" toilet room #H107 revised combination horn/strobe to a fire alarm strobe unit.

23. **Question:** What is the extent of the concrete under Grandstands for Alternate #1?

**Answer:** Please see attached Figure A-101 showing area of concrete paving under existing home grandstand to be included in Alternate #1.

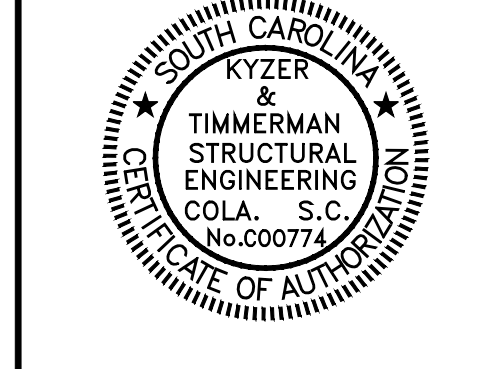
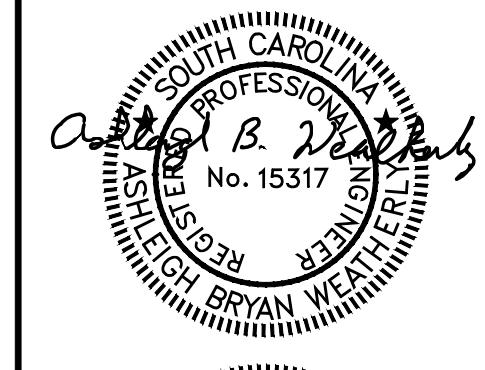
24. **Question:** Install all storm drainage per Civil even if Visitor Support is not a part of Base Bid?

**Answer:** No, all storm drainage on visitor's side shall be included in Alternate #3.

25. **Question:** Has there been a spec provided for what material we are to use for the Grandstand Recoat? Some subs are telling us that it needs to be sand blasted... If it is possible, can an Allowance be established for this? Also, to what extent is "Grandstand Repair"

**Answer:** Please see attached coating specification.

**End of Addendum #3**



**KYZER & TIMMERMAN**  
STRUCTURAL ENGINEERS  
600 Citrus Drive, Myrtle Beach, SC 29577-4511 Fax: 843.779.4522

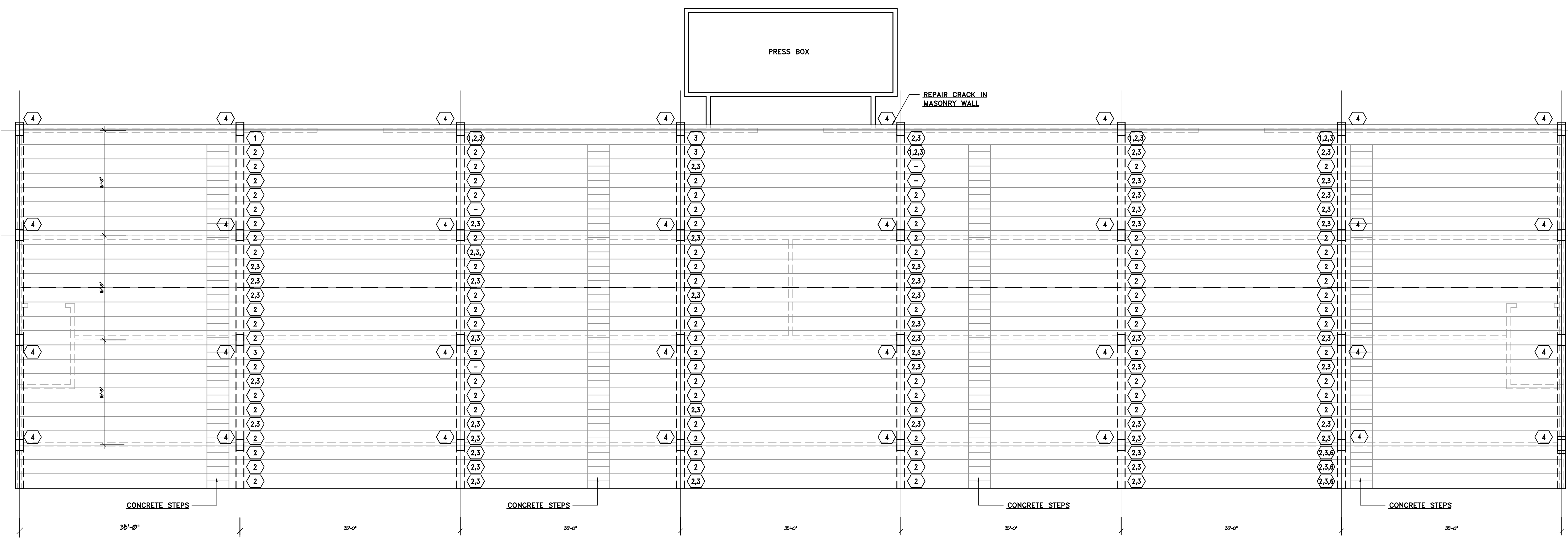
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER OR REPAIR ANY PART OF AN EXISTING STRUCTURE OR TO ALTER ANY ITEM BY ANY MEANS IF AN EXISTING STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INDICATE THE NOTATION "ALTERED BY FOLLOWING THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

DOUG SHAW STADIUM IMPROVEMENTS  
MYRTLE BEACH, SOUTH CAROLINA

No.	Submittal / Revision	App'd	By	Date

KT - 16-318  
Designed By: ABW  
Drawn By: AGB  
Issue Date: 12/01/16  
Checked By: AGB  
Project No: 31949  
Scale:

Drawing No.: **S1.0**



## STADIUM SEATING LAYOUT REPAIR PLAN

SCALE ===== 1/8" = 1'-0"

# - NUMBER INDICATES LOCATION OF REPAIR 1 THRU 4 AND 6.

**NOTE:**

REPAIR 5 - ASSUME FIVE LOCATIONS.

REPAIR 1 - ALL STEMS OF DOUBLE-TEE CONNECTION TO RAKER BEAM. (ONLY ONE STEM IS CONNECTED, THE OTHER STEM BEARS ON ADJACENT DOUBLE-TEE)

REPAIR 6 - OCCURS ON UNDERSIDE OF DOUBLE-TEE SEATING. CONTRACTOR SHOULD VISIT SITE TO DETERMINE QUANTITY OF REPAIR.

**GENERAL:**

- THESE DRAWINGS COVER THE CONCRETE REPAIR FOR THE PRE-CAST STADIUM SEATING.
- THE ENTIRE TOP SIDE OF THE DECK IS TO HAVE THE DECK COATING REMOVED BY SAND BLASTING OR HYDRO BLASTING.
- COAT ENTIRE TOP SIDE OF DECK WITH "FERROGARD 403".
- PERFORM REPAIR ITEMS 1 THRU 6 OUTLINED IN THESE DRAWINGS.
- FOR EACH APPLICATION OF "SIKA" PRODUCT, READ AND EMPLOY DIRECTIONS AND INFORMATION IN "SIKA'S" PRODUCT DATA.
- AT THE BEGINNING OF THE PROJECT CONTACT "SIKA'S" LOCAL REPRESENTATIVE, JIM HADLEY (704)405-5036 FOR SITE VISIT AND CONFIRMATION OF PROPER PRODUCT APPLICATION.
- CONTRACTOR SHOULD READ REPORT ON CONCRETE REPAIR PREPARED BY KYZER & TIMMERMAN LLC, DATED 8/10/15.

File: Z:\2016 OBS\16-318 DOUG SHAW STADIUM RENOVATIONS\STRUCTURAL\16-318 PLANS & NOTES.DWG  
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## **Doug Shaw Stadium Improvements**

### **Existing Concrete Grandstand Surface Preparation and Coating Schedule**

Note: All surface preparation and repairs shall be coordinated with structural repair drawings S1.0 and S2.0.

#### **Exterior Concrete (Underside of Double T's, Columns, Raker Beam, etc.)**

##### **COATING SCHEDULE:**

1<sup>st</sup> Coat: Apply one full coat of Tnemec Series 151-1051 Elasto-Grip FC @ 1.0-1.5 mils DFT.

Detail: Fill hairline cracks less than 1/64 inch (.4 mm) wide by brushing Series 156 into them prior to applying Series 156 over the entire area to be coated. Most business cards are about 1/64 inch (.4 mm) thick. For cracks wider than 1/64 inch (.4 mm) and/or moving cracks, gaps and expansion joints use Series 152 Tneme-Tape. Refer to Series 152 product data sheet for details.

Note: Use Series 156 to embed Tneme-Tape prior to topcoating.

2<sup>nd</sup> Coat: Apply one full coat of Tnemec Series 156 Enviro-Crete @ 6.0-8.0 mils DFT.

3<sup>rd</sup> Coat: Apply one full coat of Tnemec Series 156 Enviro-Crete @ 6.0-8.0 mils DFT.

Note: For spalls and patching Tnemec Series 218 MortarClad may be utilized.

#### **Existing Previously Painted Structural Steel or Railings:**

##### **SURFACE PREPARATION:**

All previously painted surfaces shall initially be pressure washed with sufficient pressure to remove dirt, debris, loose paint, chalk and all other foreign contamination. Cleaning unit shall also be equipped with a "zero degree" oscillating tip. Following pressurized cleaning, prepare all ferrous metals surfaces where loose rust, rust scale, loose paint and underfilm corrosion exists per SSPC SP #2 / #3 Hand/Power Tool Cleaning Standards. Remaining, intact existing coated surfaces shall be uniformly sanded with #60-#80 grit abrasive, non-metallic, sandpaper. Following sanding, remove all sanding debris prior to coating.

##### **COATING SCHEDULE:**

Spot Primer: Apply one spot prime coat of Tnemec Series 1 Omnithane to all cleaned to bare metal surfaces at 4.0-5.0 mils.

Full Intermediate Coat: Apply one full coat of Tnemec Series 135 Chem-Build to all surfaces scheduled for coating at 4.0-6.0 mils DFT.

Full Finish Coat: Apply one full coat of Tnemec Series 73 EnduraShield to all surfaces scheduled for coating at 2.0-3.0 mils DFT.

#### **Concrete Floors (Stadium Seating):**

##### **SURFACE PREPARATION:**

All surfaces scheduled for painting shall initially be power washed in accordance with SSPC-SP12 (LP WC) WJ-4 Condition (4,000 psi), washing system containing a suitable solution of an environmentally approved cleaning agent to remove all surface contamination and be equipped with an oscillating tip. Same surfaces shall be clean water rinsed to remove all cleaning residue. Allow surfaces to dry completely. Following Cleaning procedures all areas of bare metal shall be cleaned in accordance with SSPC-SP2 or SP3 Hand or Power Tool Cleaning and primed with RD Elastometal at 6-7 mils DFT.

**COATING SCHEDULE:**

Primer Coat: RD Coatings E-Deck (diluted 10-15% with water) applied at 4-6 mils DFT.

Detail: Fill all cracks first with RD Acrykit acrylic caulking material. Following caulking cut and lay RD Octagonal reinforcing fleece on all concrete surfaces tacking down one end with RD E-Deck. Roll out the length of mesh require and embed the mesh rolling through the mesh with RD-Edeck at 10-12 mils DFT.

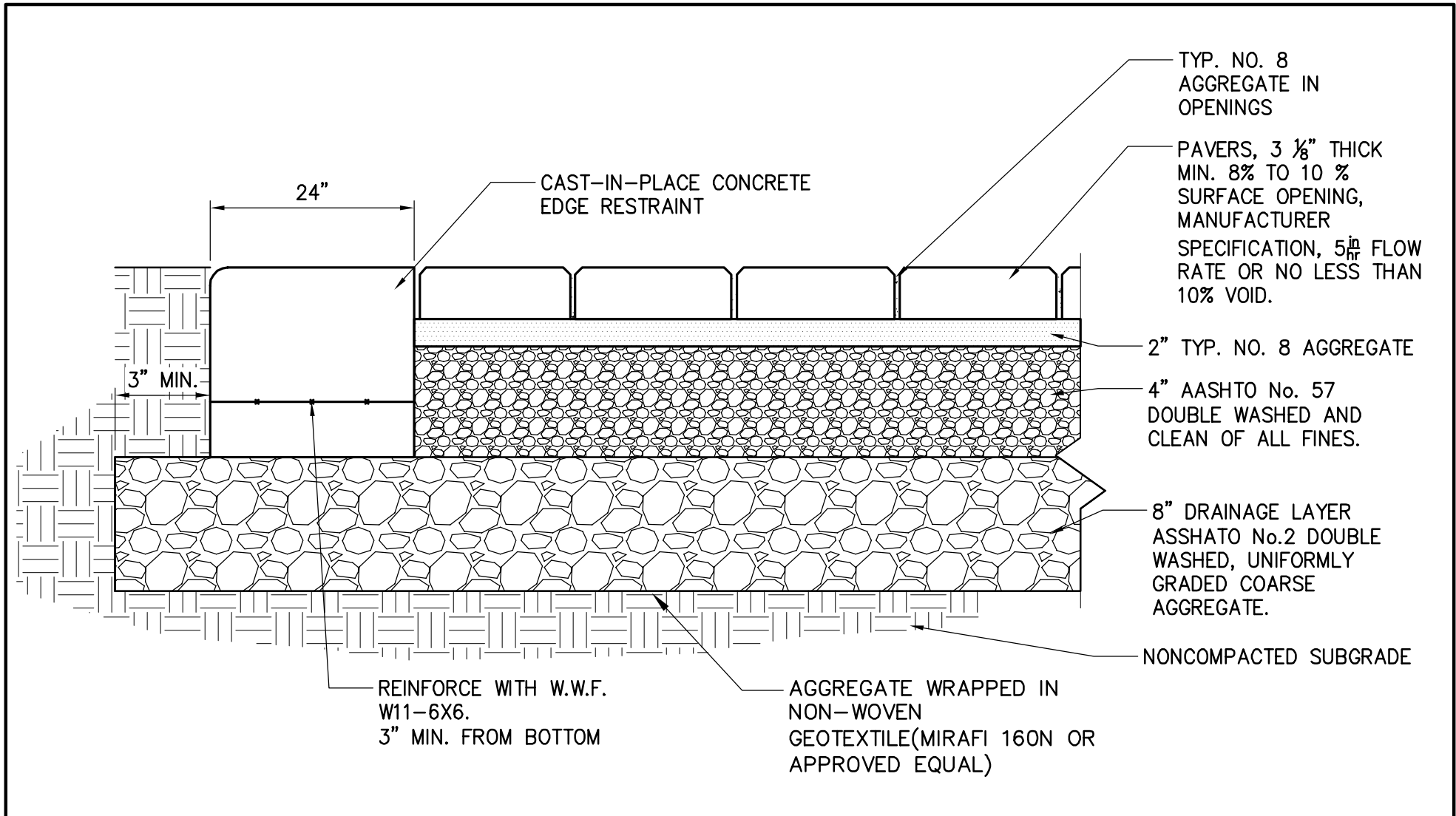
Intermediate Coat: Apply one full coat of RD E-Deck at 10-12 mils DFT to all surfaces to full encapsulate the mesh.


Waterproof Membrane: Apply one full coat of RD E-Deck Slurry to all surfaces applied at 18-20 mils DFT. Broadcast 1/8lb of sand into the wet film.

Finish Coat: Apply one full coat of RD Monograff Pigmented Acrylic Polyurethane to all surfaces at 2-3 mils DFT.







7	PRECAST PERMEABLE PAVERS		SCALE: N.T.S.
	SECTION		
	Drawing Copyright © 2016  9020 Stony Point Parkway, Suite 160 Richmond, VA 23235 804.897.3564 · www.chacompanies.com	DOUG SHAW STADIUM IMPROVEMENTS MYRTLE BEACH, SOUTH CAROLINA ADDENDUM #3	PROJECT NO. 31949 <hr/> DATE: 12/21/16 <hr/> C-600