



PIKE ■ McFARLAND ■ HALL  
ASSOCIATES, INC.  
ARCHITECTS AND PLANNERS

**ADDENDUM NO. 5**

**ALTERATIONS & ADDITIONS TO:  
POLICE ANNEX TRAINING CENTER  
MARKET COMMON**

Myrtle Beach, South Carolina  
January 24, 2020

NOTE: ADDENDUM NO. 5 HAS BEEN SENT TO GENERAL CONTRACTORS ONLY. GENERAL CONTRACTORS ARE RESPONSIBLE FOR COMMUNICATION OF THE ITEMS CONTAINED WITHIN THIS ADDENDUM TO APPROPRIATE SUB-CONTRACTORS.

THIS ADDENDUM CONTAINS:

- SEVEN (7) PAGES OF WRITTEN ADDENDUM
- FOUR (30) PAGES OF SPECIFICATIONS
- TWO (2) PAGES OF BULLETIN DRAWINGS
- TWO (2) PAGES OF FULL SIZE DRAWINGS
- FIVE (5) PAGES OF PRE-BID SIGN IN

**QUESTIONS AND ANSWERS**

**Q1. IS BIDDING LIMITED TO THE SUB-CONTRACTORS THAT ATTENDED THE FIRST PRE-BID?**

A1. *In an effort to increase competitive bids, The City of Myrtle Beach scheduled the Pre-Bid Conference of January 21, 2020. The intention was to allow the attending General Contractors to solicit bids from qualified and properly licensed sub-contractors in addition to those who attended the Pre-Bid Conference on December 3, 2019.*

**Q2. CONFIRM LOCATION FOR OF DELIVER BIDS.**

A2. *Location for delivery of Bids remains the same: Purchasing Department, 3231 Mr. Joe White Avenue, Myrtle Beach, SC 29577. Date: January 30<sup>th</sup>, 2020. Bid time: 2:00 p.m., local time.*

**Q3. WILL THERE BE STAFF IN THE BUILDING AND HOW WILL GC BE ABLE TO ACCESS THE BUILDING?**

A3. *The Detective 'wing' of the building will be vacated. There will be a minimum of 20 staff in the remainder of the building, if any at all. Public access will be from the Corsair Street side. GC will have all other entrances available for access. The logistics of building access will be further discussed at the Pre-Construction meeting.*

**Q4. IS IT POSSIBLE TO HAVE A PORTION OF THE ROAD CLOSED TEMPORARILY TO ALLOW FOR CRANE ACCESS IF NECESSARY?**

A4. *Yes, this is to be coordinated with Captain Knipes and Bruce Boulineau.*

**Q5. IS THERE A NEED FOR A LIST OF WORKERS THAT WILL BE ON SITE AND IN THE BUILDING?**

A5. *No.*

**Q6. HAS AN ASBESTOS REPORT BEEN DONE AND IF ANY ASBESTOS WAS FOUND HAS IT BEEN ADDRESSED?**

A6. *The report has been completed and is clean of Asbesto. See attached report dated December 3, 2019.*

**Q7. WHAT IS IN THE 3 CONDUITS UNDER THE MEZZANINE OF THE VEHICLE BAYS?**

A7. *Two conduits are electrical for the units servicing the Firing Range. The third conduit is a main electrical feed.*

**Q8. IS THE GC TO SUPPLY AND INSTALL THE ACOUSTICAL WALL PANELS FOR THE FIRING RANGE?**

A8. *The acoustical wall panels for the firing range are to be supplied and installed by the equipment vendor.*

**Q9. THERE DOES NOT APPEAR TO BE A SPECIFICATION OR DESIGNATION ON THE DRAWINGS FOR INSULATING THE BACK WALL OF THE (2) STORY ADDITION, BELOW WHERE THE NEW ROOF SADDLE/OVERBUILD TIE OCCURS. THE BEST ILLUSTRATED IN DRAWING 1-A7.0. THE AREA OF EXISTING ROOF NEXT TO THE NEW (2) STORY BACK WALL IS RECEIVING (8) S.F. OF VENTING, MEANING THE SPACE ABOVE THE EXISTING CEILING IS INSULATED, WHILE VENTED AIR FLOWS THROUGH THE OLD FRAMING OF THE ROOF. THE INSIDE/FINISHED SIDE OF THE BLOCK WALL IS TO BE EXPOSED PAINTED CONCRETE BLOCK, WHILE THE OTHER SIDE IS OPEN AND EXPOSED TO THE ATTIC. SINCE WE ARE PUTTING OUTSIDE AIR CONDITIONS AGAINST THE BACK WALL, WHAT MEANS AND METHODS ARE WE TO USE TO INSULATE THAT AREA. THERE IS VERY LIMITED ACCESS TO THIS AREA AND IF THE VENT HOLES ARE CUT IN THE SHEETING OF THE OLD ROOF IN CONJUNCTION WITH THE NEW SADDLE/OVERBUILD, ACCESS TO THIS AREA IS EVEN MORE REMOTE.**

A9. *Reference Bulletin Drawings B4 and B5 attached for clarification regarding providing a complete thermal barrier at locations indicated.*

**Q10. SPEC. SECTION 013233 1.3 A REFERENCES PHOTOGRAPHER QUALIFICATIONS. CAN YOU PLEASE CONFIRM THAT A COMPETENT EMPLOYEE OF THE GENERAL CONTRACTOR WILL BE ACCEPTABLE FOR PHOTOGRAPHY IN LIEU OF A PROFESSIONAL PHOTOGRAPHER?**

A10. *A competent employee is acceptable for photography in lieu of a professional photographer.*

**Q11. AS PER DRAWING FP-1 OVERALL FLOOR PLAN – THE LOCATION OF THE “FDC”, IS CLEARLY MARKED, BUT AFTER THAT WE ARE NOT FINDING THE INFORMATION AS TO WHERE THE CONNECTION IS TO BE MADE FOR THE MAIN. THE NOTES READ “WATER SUPPLY FROM MAIN UTILITY, SEE CIVIL”, AS WELL AS “PIPING INSTALLED BY SITE CONTRACTOR, SEE CIVIL PLANS”. PLEASE ADVISE AS TO LOCATION OF PIPING AND BACKFLOW PREVENTOR/VAULT LOCATION.**

- A11. *Add new 8" x 6" tap (to be coordinated with the City of Myrtle Beach). Add 25 LF of a 6" pvc waterline, 1 new fire hydrant and a 6" backflow preventer (WATTS 709DDC) in a concrete vault. Add 100 LF of ductile iron fireline. Add 4" ductile iron fireline and an FDC connection. AMES Riser to be used for the piping under the building. There will be minor demolition and replacing of asphalt and curbing in order to install the new fireline. See attached revised drawings C5 and C6.*
- Q12. [E1.1] IS THERE TO BE AN ANNUNCIATOR PANEL (FAAP) LOCATED INSIDE THE NEW ADDITION? IF SO, LOCATION?**
- A12. *The annunciator panel is to be located on the back wall of the reception area. The exact location is to be coordinated with Owner.*
- Q13. [E1.1] FIRE ALARM TIE-IN WITH NEW ADDITION TO EXISTING FACP, NEW FAAP, OR BASED UPON VENDOR DESIGN?**
- A13. *See Fire Alarm Notes and Fire Alarm System Riser Diagram on Sheet E1.1.*
- Q14. [E2.2 SYTEM DETAIL] WHICH UTILITY SYSTEMS SHALL REQUIRE THEIR OWN RACEWAY? TELE/DATA/CATV?**
- A14. *All data/tele/TV locations shall have 1" conduit stubbed to above accessible ceiling or attic as indicated in Telephone/Data/CATV system detail sheet E2.2.*
- Q15. [E2.2 SYSTEM DETAIL NOTE 4] NOTE STATES FOR EACH UTILITY TO BE ROUTED TO STREET PROPERTY LINE. IS THERE A SPECIFIC STREET LOCATION OR SHALL THE SIMPLEST ROUTE BE USED TO REACH OUTSIDE THE BUILDING FOOTPRINT (IE UNDERGROUND FROM THE NEW ADDITION)?**
- A15. *Building has existing utilities. Contractor is advised to omit Note 4 Telephone/Data/CATV System Detail Diagram in its entirety*
- Q16. [E1.3 @ DATA ROOM] THE CONDUIT STUB FOR FIBER OPTIC TO BE ONE 4" CONDUIT OR A SPECIFIC WALL SLEEVE?**
- A16. *Provide (1) 4" conduit as shown on drawing E1.3.*
- Q17. [E1.3 @ DATA ROOM] NO SYMBOL IS SHOWN IN THIS ROOM FOR TELEPHONE PLYWOOD. ASKING LOCATION AND NUMBER OF BOARDS REQUIRED FOR THE APPLICATION.**
- A17. *Provide two (2) 4'x8'x3/4" fire retardant plywood backer board in Data Room A185A. Location to be coordinated with Owner.*
- Q18. [A1.3] IS THE LIGHTING IN THE FIRING RANGE TO HANG DOWN OR SURFACE MOUNT TO NEW GYPSUM BOARD?**
- A18. *New fixtures in firing range are surface mounted. Refer to Architectural Reflected Ceiling plan A3.0 and Electrical sheet E1.1.*
- Q19. [E1.1] ARE THERE ANY DIMENSIONS FOR THE LIGHTING LAY-OUT IN THE FIRING RANGE?**
- A19. *Fixtures are to be mounted in between the baffles and are to be centered in the space between the baffles. Electrical sub-contractor to coordinate with Firing Range Equipment vendor. Refer to A1.3 and A1.4 for section at Firing Range.*

**Q20. [E2.2 PENETRATION DETAIL] ASKING THE LOCATION, IF ANY, OF ANY FIRE RATED WALLS OTHER THAN THE STAIRWELLS.**

A20. *Fire rated walls are indicated on Architectural plans.*

**Q21. [E2.1] EXISTING PANEL MPE DOES NOT APPEAR HAVE ANY SPARE BREAKERS OR SPACES, ARE ANY EXISTING LOADS TO BE REMOVED? IF NOT, MAY NEED ADDITIONAL ELECTRICAL COMPONENTS TO FEED NEW PANEL G.**

A21. *Provide a fuse dis-connect or circuit break to feed new panel 'G'. Dis-connect / breaker to be tapped off existing panel lugs.*

**Q22. [E2.1] EXISTING PANEL MP DOES NOT HAVE ANY SPARE BREAKERS (HAS EMPTY SPACES), WILL WE NEED TO PROVISION FOR THE ADDITION OF NEW BEAKERS IN OUR ELECTRICAL PROPOSAL?**

A22. *Concur, a circuit breaker will be required to feed new panel H and I.*

**Q23. SHEET DM1.1 SHOWS AH-7(E) AND DUCTWORK ASSOCIATED WITH AH-12(E) NOT TO BE REMOVED. HOWEVER, THE EXISTING TRUSS SYSTEM OVER THE FIRING RANGE IS BEING REMOVED AND REPLACED. SHOULD AH-7(E) AND DUCTWORK ASSOCIATES WITH AH-12(E) BE REMOVED AND REINSTALLED OR WILL A NEW AIR HANDLER AND NEW DUCT BE REQUIRED TO BE INSTALLED?**

A23. *Remove/Demolish AH-12(E) and all associated ductwork, grilles, etc. Relocate AH-7(E) in the attic and reconnect all components or remove and re-install AH-7(E) components. The AH-7(E) system is in use and will need to be fully functional after the "work" is complete.*

**Q24. IS DRAFTSTOPPING REQUIRING IN THE ATTIC?**

A24. *No additional draftstopping is required in the attic as the building and attic are fully sprinklered.*

**CLARIFICATIONS**

1. Contractors are advised there will be 1 LAST Site visit for this project. Attendance is **optional** and open to all trades. Site visit will be held on Monday, January 27, 2020 at 11:00 AM located at 3340 Mustang Street, Myrtle Beach, SC.

**SPECIFICATIONS**

1. 004113 – BID FORM – STIPULATED SUM (SINGLE-PRIME CONTRACT)
  - A. Contractor's attention is directed to 004113 – BID FORM. Contractor is advised to omit in its entirety and replace with Document 004413 – BID FROM (attached herewith), consisting of 4 pages.
2. 02011 – EXISTING HAZARDOUS MATERIAL INFORMATION
  - A. Contractor's attention is directed to 02011 – EXISTING HAZARDOUS MATERIAL INFORMATION. Contractor is advised to insert 02011 – EXISTING HAZARDOUS MATERIAL INFORMATION this item to the manual as a new specification (attached herewith) consisting of 26 pages.

**DRAWINGS**

1. SHEET A7.0 – WALL SECTIONS and A7.1 – WALL SECTIONS
  - A. Contractor’s attention is directed to Detail 2/A7.0. Contractor is advised to revise per Bulletin Drawing B4 (attached herewith) consisting of 1 page dated 1/24/2020 for thermal barrier.
  - B. Contractor’s attention is directed to Detail 1/A7.1. Contractor is advised to revise per Bulletin Drawing B4 (attached herewith) consisting of 1 page dated 1/24/2020 for thermal barrier.
2. SHEET A7.0 – WALL SECTIONS
  - A. Contractor’s attention is directed to Detail 1/7.0. Contractor is advised to revise per Bulletin Drawing B5 (attached herewith) consisting of 1 page dated 1/24/2020 for thermal barrier.
3. SHEET C5 – FIRELINE PLAN
  - A. Contractor’s attention is directed to SHEET C5 – FIRELINE PLAN. Contractor is advised to insert SHEET C5 – FIRELINE PLAN (attached herewith), consisting on 1 page and dated 1/24/2020.
4. SHEET C6 – FIRELINE DETAILS
  - A. Contractor’s attention is directed to SHEET C6 – FIRELINE DETAILS. Contractor is advised to insert SHEET C6 – FIRELINE DETAILS (attached herewith), consisting on 1 page and dated 1/24/2020.

**AGENDA FOR PRE-BID CONFERENCE OF January 21, 2020**

**I. SIGN-IN LOG**

**II. INTRODUCTIONS**

- A. CITY OF MYRTLE BEACH REPRESENTATIVES:  
Jay Hood, Capitol Projects Director  
Bruce Boulineau, Special Projects  
Doug Furlong, Police Captain  
Marty Brown, Assistant Police Chief  
Ruth Garigen, Buyer
- B. PIKE - McFARLAND - HALL ASSOCIATES, INC. REPRESENTATIVES:  
Joseph C. Pike, AIA, Project Architect  
Diane Price, AIA, Project Manager

**III. PROJECT SCOPE**

- A. The Work of Project is defined by the Contract Documents and consists of the following:
  1. Approximately 11,399 square foot 2-story addition consisting of bar joist, wood trusses, masonry exterior walls with brick and EFIS. Alterations to portions of the existing building; new stud walls, finishes and lighting. Installation of sprinkler system in new construction and existing building. Existing Firing Range to receive new equipment, i.e.: baffles, bullet trap, target rails, etc. Minor plumbing, HVAC and electrical work will be required in the existing building.

2. Code classification for Occupancy = Mixed use – Not separated, Sprinklered, A3/B multi-story 2 floors.
3. Construction type = IIIB

#### IV. SCHEDULE

- A. Construction Duration: Three hundred Sixty-five (365) Calendar Days from the date of Commencement.

#### V. BIDS, BID DATE AND LOCATION

- A. **Thursday, January 30, 2020** no later than **2:00 PM Local time.**
- B. Deliver bids to **the Purchasing Department for the City of Myrtle Beach, 3231 Joe White Avenue, Myrtle Beach, SC 29577 until 2:00 PM.**
- C. Original sealed bids to be hand delivered or received via carrier service by time and date stipulated above. Bids submitted after the time and date set for the receipt will be returned to the Bidder unopened.
- D. No facsimile, email or telephone bids will be accepted.

#### VI. INSTRUCTIONS TO BIDDERS

##### A. Addenda

1. Four (4) addenda have been issued to date.
2. The deadline for submitting questions is **Wednesday January 22<sup>nd</sup>, 2020 at 2:00 PM.**
3. The last addenda will be issued **Friday January 24<sup>th</sup>, 2020.**

##### B. Preparation of Bids

1. Bids shall be submitted on BID FORM contained in Specification Section 004113 with all blanks filled in:
  - a. Bidders Name
  - b. Base Bid Price
  - c. Bid Guarantee Price
  - d. Alternate Pricing
  - e. **Listing of Sub-Contractors**
  - f. Unit Pricing
  - g. Acknowledgement of Addenda
  - h. Contractor's Information
  - i. Federal ID Number
2. BID FORM shall be submitted with:
  - a. Bid Form Supplement – Unit Prices
  - b. Bid Form Supplement – Allowances
  - c. Bid Form Supplement – Bid Bond
  - d. Bid Form Supplement – Local Vendor Preference
  - e. Bid Form Supplement – Bid Bond or a Certified Check
  - f. Bid Form Supplement – Bidder's Representation
  - g. Bid Form Supplement – Non-Collusion Affidavit of Prime Bidder
  - h. Bid Form Supplement – Statement of Experience of the Bidder

- i. Bid Form Supplement – Project Superintendence
    - j. Bid Form Supplement – Statement of License Certificate
  3. Duration of Offer: Bids will be binding for sixty (60) days after the bid closing date
- C. Bid Bond
  1. Bid Bond of five percent (5%) of the bidder's Base Bid price (excluding alternates and/or optional bid items) is required to be submitted with bidder's bid.
- D. Performance & Payment Bonds
  1. Successful bidder will be required to furnish:
    - a. Performance Bond
    - b. Labor and Material Payment Bond

## **VII. QUESTIONS**

### **IN ATTENDANCE AT PRE-BID CONFERENCE**

Contractor's attention is directed to the Pre-Bid Sign-In Sheet (attached herewith) and consisting of 5 pages.

**END OF ADDENDUM NO. 5**

DOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: \_\_\_\_\_.
- B. Project Name: Alterations & Additions to: Police Annex Training Center Market Common
- C. Project Location: 3340 Mustang Street, Myrtle Beach, SC 29577.
- D. Owner: City of Myrtle Beach, South Carolina.
- E. Owner Project Number: EFB-20-B0028.
- F. Architect: Pike - McFarland - Hall Associates, Inc.
- G. Architect Project Number: 18024.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Pike - McFarland - Hall Associates, Inc. and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
  - 1. \_\_\_\_\_ Dollars  
(\$\_\_\_\_\_).
  - 2. The above amount may be modified by amounts indicated by the Bidder on the attached Document 004322 "Unit Prices Form" and Document 004323 "Alternates Form."

1.3 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 60 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:
  - 1. \_\_\_\_\_ Dollars  
(\$\_\_\_\_\_).
- B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.



1.4 ALTERNATES

- A. Description of Alternates herein are for identification purposes only; the Work to be performed under the particular Alternate(s) is described in Division 1 - General Requirements - Section 012300 "Alternates" of this Project Manual.

\*The Owner shall have the right to accept Alternates in any order or combination, and to determine the low bidder on the basis of the sum of the Base Bid and alternates accepted.

ALTERNATE NUMBER 1 Add \$ \_\_\_\_\_  
PAINTING IN EXISTING SPACES

ALTERNATE NUMBER 2 Add \$ \_\_\_\_\_  
RELOCATE EXISTING BULLET TRAPS

ALTERNATE NUMBER 3 Add \$ \_\_\_\_\_  
NEW INSULATED RIGID METAL DUCTWORK

1.5 THE FOLLOWING SUBCONTRACTORS ARE LISTED:

The following companies shall execute subcontracts for the portions of the Work indicated:

SITE WORK \_\_\_\_\_  
Name, Address and License Number

PLUMBING \_\_\_\_\_  
Name, Address and License Number

HVAC \_\_\_\_\_  
Name, Address and License Number

ELECTRICAL \_\_\_\_\_  
Name, Address and License Number

FIRE SPRINKLER \_\_\_\_\_  
Name, Address and License Number

ROOFING \_\_\_\_\_  
Name, Address and License Number

Bidder understands that the Owner reserves the right to reject any or all bids and to waive any informalities in the bidding.

If any portion of the General Contracting Company submitting this bid has ownership of any portion of any of the subcontractor Companies listed above, this must be disclosed on this form.

- 1.6 UNIT/INCREMENTAL PRICING: (The City is requesting unit pricing for information purposes only in the event a Change Order/Directive is necessary due to unforeseen circumstances. The Owner reserves the right to negotiate any of the unit prices listed with the lowest responsive and responsible Bidder. These unit or incremental prices shall be the installed price including all costs to the City such as, by way of illustration and not limitation, materials, labor, equipment, fees, taxes, insurance, bonding, overhead, profit or other such items.) Bidders shall indicate costs below or provide Bid Form Supplement - alternate Prices (Document 004322 - Unit Prices Form)

ITEM	UNIT	ADD WORK
1. Unsuitable Soils Removal	cy.	\$ _____
2. Structural Fill Material Placement	cy.	\$ _____
3. Cutting and patching of concrete floor slabs	cy	\$ _____

1.7 TIME OF COMPLETION/LIQUIDATED DAMAGES

- A. TIME OF COMPLETION: If notified of the acceptance of the Bid or any Alternate Bids within sixty (60) days after the date fixed for opening of the Bids, the undersigned agrees to execute and deliver the specified contract and contractor's bonds within ten (10) days. The undersigned agrees, if awarded the contract within sixty (60) days from the date fixed for opening of bids to commence work within thirty (30) days and faithfully and properly complete the work no later than Three Hundred Sixty-Five (365) calendar days from the date of commencement; all work consistent with the best interest of the Owner, the safety of the public and in accordance with first-class workmanship.
- B. LIQUIDATED DAMAGES: Should the Contractor fail to substantially complete the work under this contract within the stipulated time as he has set forth in "Time of Completion" paragraph above, plus any additional days that may result from extension of time granted by the Architect/Engineer, he agrees that the Owner may retain the sum of \$500.00 per day for each succeeding calendar day that the Owner is deprived of full use of any or all phases of the project. This amount is agreed upon as a reasonable and proper measure of Liquidated Damages which the Owner sustains per day by failure of the contractor to complete the work within the time stipulated; it being recognized by the Owner, the Contractor, and the Architect that the injury to the Owner which could result from failure by the contractor to complete on schedule is uncertain and insusceptible to certain computation, and this sum is not to be construed in any sense as a penalty.

1.8 ACKNOWLEDGEMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:  
  
Addendum No. 1, dated \_\_\_\_\_.  
Addendum No. 2, dated \_\_\_\_\_.  
Addendum No. 3, dated \_\_\_\_\_.  
Addendum No. 4, dated \_\_\_\_\_.  
Addendum No. 5, dated \_\_\_\_\_.

1.9 BID SUPPLEMENTS

- A. The following supplements are a part of this Bid Form and are attached hereto.  
  
Bid Form Supplement - Unit Prices.  
  
Bid Form Supplement - Allowances.

Bid Form Supplement - Bid Bond Form (AIA Document A310).

Bid Form Supplement - Local Vendor Preference

Bid Form Supplement - Bid Bond OR a certified check for the amount required.

Bid Form Supplement - Bidder's Representation.

Bid Form Supplement - Non-collusion Affidavit of Prime Bidder.

Bid Form Supplement - Statement of Experience of the Bidder.

Bid Form Supplement - Project Superintendence.

#### 1.10 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Myrtle Beach, South Carolina, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

#### 1.11 SUBMISSION OF BID

- A. Respectfully submitted this \_\_\_\_ day of \_\_\_\_\_, 2020.
- B. Submitted By \_\_\_\_\_ (Name of bidding firm or corporation).
- C. Authorized Signature: \_\_\_\_\_ (Handwritten signature).
- D. Signed By: \_\_\_\_\_ (Type or print name).
- E. Title: \_\_\_\_\_ (Owner/Partner/President/Vice President).
- F. Witness By: \_\_\_\_\_ (Handwritten signature).
- G. Attest: \_\_\_\_\_ (Handwritten signature).
- H. By: \_\_\_\_\_ (Type or print name).
- I. Title: \_\_\_\_\_ (Corporate Secretary or Assistant Secretary).
- J. Street Address: \_\_\_\_\_.
- K. City, State, Zip \_\_\_\_\_.
- L. Phone: \_\_\_\_\_.
- M. License No.: \_\_\_\_\_.
- Federal ID No.: \_\_\_\_\_ (Affix Corporate Seal Here).

END OF DOCUMENT 004113

DOCUMENT 02011 - EXISTING HAZARDOUS MATERIAL INFORMATION

PART 1 - GENERAL

1.1 EXISTING HAZARDOUS MATERIAL INFORMATION

- A. This Document with its referenced attachments is part of the Procurement and Contracting Requirements for Project. They provide Owner's information for Bidders' convenience and are intended to supplement rather than serve in lieu of Bidders' own investigations. They are made available for Bidders' convenience and information, but are not a warranty of existing conditions. This Document and its attachments are part of the Contract Documents.
- B. An existing asbestos report for Project, prepared by Applied Environmental Solutions, dated December 2, 2019, and is attached for your use and reference.
- C. Related Requirements:
  - 1. Section 02010 - "Geotechnical Data" for reports and soil-boring data from geotechnical investigations that are made available to bidders.
  - 2. Section 024119 "Selective Demolition" for notification requirements if materials suspected of containing hazardous materials are encountered.

END OF DOCUMENT 02011

# Applied Environmental Solutions

AES - Asbestos Division  
P.O. Box 2669  
Murrells Inlet, SC 29576  
843.222.5305

[appliedenvironmentalsolutions@gmail.com](mailto:appliedenvironmentalsolutions@gmail.com)



**Working Today...  
...For a Cleaner Tomorrow**



## Asbestos Inspection

**Public Facility**  
3340 Mustang St.  
Myrtle Beach, SC  
*Police Annex Training Center  
Market Common*

**AES Job # AS-19138**



## Prepared For

**City of Myrtle Beach**  
Attn: Construction Services  
921 North Oak Street  
Myrtle Beach, SC 29577

**December 02, 2019**

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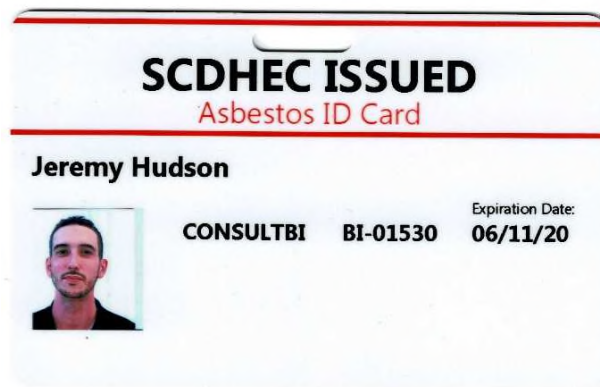
### **Appendices**

Site Plan  
Photographs  
Laboratory Results

## 1.0 Signature Page

As authorized by our client, Jay Hood, of City of Myrtle Beach – Construction Services, Applied Environmental Solutions (AES) has completed an Asbestos Building Inspection on the Public Facility located at 3340 Mustang St. in Myrtle Beach, South Carolina. The inspection was conducted by and the report was prepared and reviewed by the undersigned.

<b>Inspection Conducted By:</b>	<b>SCDHEC #</b>	<b>License Expiration Date</b>	<b>Signature</b>	<b>Date</b>
Jeremy Hudson	BI-01530	06/11/2020		10/31/2019
<b>Report Prepared By:</b>	<b>SCDHEC #</b>	<b>License Expiration Date</b>	<b>Signature</b>	<b>Date</b>
Jeremy Hudson	BI-01530	06/11/2020		12/02/2019



## 2.0 Executive Summary

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As authorized by Jay Hood of City of Myrtle Beach – Construction Services, AES conducted an Asbestos Survey at the facility on Thursday October 31, 2019. The structure was occupied during the sampling phase of this inspection and is scheduled for future renovations. The purpose of this survey is to identify any Asbestos Containing Building Materials (ACBM's), within the structure, prior to renovation. Only suspect materials within areas subject to the scope of this renovation are addressed in this assessment.

### Site Description

The subject building, totaling approximately 26,903 Sq Ft± is a single story structure that was originally built for military use at the former Myrtle Beach Air Force Base, but is currently used as a Police Precinct / Training Facility. There were no indications that it had ever been utilized for the manufacturing and/or storage of materials that would be considered a threat to human health. Information gained would indicate that the building was originally constructed in the 1930s, and underwent a significant renovation in 2000. Information provided by site contact suggested that ACBM Floor Tiles were originally present, but were properly abated in the 2000 renovation. \*No physical records provided.

### Sampling Methods

During the asbestos survey, a total of twenty (20) samples of suspect/unknown building materials were collected and submitted for laboratory analysis by Polarized Light Microscopy (PLM) and Transmission Electron Microscopy (TEM) methods. Materials with a \* were suspected of containing asbestos, sampled and were sent for laboratory analysis (There were materials suspected of being Asbestos Containing Building Materials found within the facility).

A visual description of building materials found within the facility's scope of renovations would include Ceiling coverings of \*2x2 Textured Ceiling Tiles throughout the facility. Interior walls consisted of \*Sheetrock w/associated \*Joint Compound. There was non-suspect fiberglass batted insulation observed within some interior wall cavities. The roof consisted of a hip-type roof system with \*Asphalt Shingles and a wooden substrate. It should be noted that multiple suspect flooring materials were present throughout the facility, but were not included in the scope of renovations, and therefore, were not analyzed in this inspection.

### Limitations and Exceptions

The purpose of this survey is to identify any ACBM's, within the structure, prior to renovation. Only suspect materials within areas subject to the scope of this renovation are addressed in this assessment and were analyzed for asbestos. Current renovations will include, and be limited to, changes to interior walls, ceilings, electrical/plumbing fixtures, and a two-story addition that will be constructed in the center courtyard area, which will affect roofing materials. Only materials sampled or otherwise addressed in this assessment should be disturbed (see 4.0 - Material Data Tables). If materials not addressed in this assessment are discovered and are to be part of the current renovation, or if the scope of this renovation changes at any time, work should stop and the property should be re-assessed.

This report is based on a semi-destructive survey of an unfamiliar site. Every effort was made to locate the presence of ACBM's within the areas included in the survey. It is recognized that construction techniques often create/uncover inaccessible voids, which without destructive sampling techniques being employed,

*Applied Environmental Solutions*

**Job Number AS-19138**



would not be accessed during the sampling phase of the assessment. It must therefore be assumed that ACBM's other than those identified in the survey may exist within the facility. For the reasons set above, we cannot give assurances that all asbestos containing materials have been located, and as such, we recommend that further sampling be undertaken should these areas become accessible during the course of any future renovation and/or demolition activities.

## **Findings**

- ❖ Asbestos Containing Building Materials (ACBMs) WERE NOT identified within the facility

*Jeremy Hudson*

Consultant  
SCDHEC # BI-01530

## **3.0 Scope of Work**

---

Applied Environmental Solutions utilized only SCDHEC licensed and AHERA certified asbestos building inspectors, management planners and/or project designers, as needed, to complete the project. The laboratory utilized, EHS Laboratories, is accredited IAW 40 CFR 163 & FR/ Vol. 52. No. 210\_763.91 Analysis.

### **Visual Inspection**

An initial building walk-through was attempted to determine the presence and condition of suspect materials that were accessible and/or exposed. Excessive structural damage and debris within the interior spaces made it impossible to conduct a thorough walk-through of the building. Materials which were visually similar in color, texture, and general appearance, and which appeared to have been installed at the same time were grouped into homogeneous sampling areas. Such materials are termed "homogeneous materials" by the EPA. During this walk-through, the approximate locations of the observed homogeneous materials were noted. Only materials that were accessible and/or exposed and suspected to contain asbestos were identified. Following the EPA inspection protocol, each identified suspect homogeneous material may be placed in one of the following EPA classifications:

- Surfacing Materials (spray or trowel applied to building members)
- Thermal System Insulation (materials generally applied to various mechanical systems)
- Miscellaneous Materials (any materials which do not fit either of the above categories)

### **Sampling Procedures**

Following the visual survey, the inspector collected representative samples of exposed and/or accessible materials identified as suspect ACM. Sampling was limited to those accessible materials not involving wholesale destruction of walls, other building elements, physical barriers, or the structural integrity of the component being tested.

General EPA guidelines were used to determine the sampling protocol. Sampling locations were chosen to be representative of the homogeneous materials.

### **Quantification**

Quantities of accessible and/or exposed building materials that were identified as suspect asbestos-containing materials were estimated. This estimation was conducted by taking approximate measurements in the field.

Quantities are estimates should be confirmed by an engineering survey if demolition activities are contemplated. The level of detail provided by an engineering survey, which is required for a construction estimate, is beyond the scope of the present survey.

### **Material Assessment**

The condition of the suspect material is an indication of the likelihood that it may release asbestos fibers in to the environment. The combination of its current condition coupled with the potential for damage to the material in the future determines which EPA response priority is appropriate for that material.

*Applied Environmental Solutions*

**Job Number AS-19138**

The condition of each homogeneous suspect material identified within the facility was assessed using the EPA decision tree approach. The friability of each material was determined and then its condition and potential for future damage was assessed using the following criteria:

**Source and type of damage**

- Physical contact
- Water or air erosion
- Deterioration or material delamination

**Extent of damage:**

- Good: No damage or little damage
- Damaged: Less than 10% damage, evenly distributed over the entire material or less than 25% damage confined to a localized area of the material.
- Significantly damaged: 10% or more damage distributed evenly over the entire material or 25% or more damage within a localized area of the material

**Potential for future damage:**

- Frequency of access to material
- Height of material
- Location of material in a plenum
- Exposure of material
- Accessibility
- Presence in an area of air movement, vibrations, loud noises

## 4.0 Material Data Tables

### 4.1 Suspect Material Data Table

**Project Name:** AS19138 – Public Facility  
**Site:** 3340 Mustang St. Myrtle Beach, SC

**Inspector Name:** Jeremy Hudson  
**Date:** 02 December, 2019

HA #	AC M	MATERIAL DESCRIPTION	CATEGORY	FRIABLE F/NF	QUANTITY SQ FT±	NO. SAMPLE TAKEN	PRESENT CONDITION	POTENTIAL FOR DISTURBANCE	POSITIVE (P) OR NON DETECTED (ND)
20	ND	SHEETROCK WALLS	SURF	--	80,700 SQ FT±	7	G	LPD	ND
	LOCATION: ALL ROOMS/AREAS						NOTE:		
30	ND	2X2 TEXTURED CEILING TILES	SURF	--	26,900 SQ FT±	3	G	LPD	ND
	LOCATION: ALL ROOMS/AREAS						NOTE:		
40	ND	JOINT COMPOUND	SURF	--	80,700 SQ FT±	7	G	LPD	ND
	LOCATION: ALL ROOMS/AREAS						NOTE:		
80	ND	ROOFING MATERIALS – ASPHALT SHINGLES	MISC	--	29,500 SQ FT±	3	G	LPD	ND
	LOCATION: ENTIRE ROOF – SINGLE LAYER						NOTE:		
	LOCATION:						NOTE:		
	LOCATION:						NOTE:		
	LOCATION:						NOTE:		

(ACM) ASBESTOS FINDINGS P = POSITIVE (%) ND = NON DETECT  
**PRESENT CONDITION**  
 G = GOOD (VERY LOCALIZED LIMITED DAMAGE)  
 D = DAMAGED (DAMAGE < 10% DISTRIBUTED OR < 25% LOCALIZED)  
 SD = SIGNIFICANTLY DAMAGED (DAMAGE = OR > 10% DISTRIBUTED / 25% LOCALIZED)  
**CATEGORY** (SURF) SURFACING, TSI, (MISC) MISCELLANEOUS  
**POTENTIAL FOR FUTURE DISTURBANCES**  
 LPD = LOW POTENTIAL FOR DISTURBANCE (CONTACT/VIBRATION/AIEROSION ALL OF LOW CONCERN) HA# = HOMOGENOUS AREA NUMBER  
 PD = POTENTIAL FOR DAMAGE (CONTACT/ VIBRATION/ AIR EROSION OF MODERATE CONCERN)  
 PSD = POTENTIAL FOR SIGNIFICANT DAMAGE (CONTACT/VIBRATION/AIR EROSION OF HIGH CONCERN)

## 4.2 Building Materials

**Project Name:** AS19138 – Public Facility  
**Site:** 3340 Mustang St. Myrtle Beach, SC

**Inspector Name:** Jeremy Hudson  
**Date:** 02 December, 2019

<b>Floors:</b>	All	<b>Building Size:</b>	26,903 SQ FT±
<b><u>BUILDING MATERIALS/ CONSTRUCTION</u></b>	<b>SQ FT</b>	<b>* Tested for ACM's</b>	
<b><i>EXTERIOR</i></b>			
STRUCTURE:		CONCRETE FOUNDATION, CONCRETE BLOCK WALLS	
EXTERIOR COVERING:		BRICK & MORTAR	
EXTERIOR COATING:		PAINT	
DOORS:		METAL / GLASS	
WINDOWS:		METAL / GLASS	
ROOF MATERIALS:		*ASPHALT SHINGLES, WOODEN SUBSTRATE	
ROOF INSULATION:		N/A	
EAVES:		WOOD	
ROOF DRAIN:		N/A	
<b><i>INTERIOR</i></b>			
FLOOR COVERING:		WHITE 12X12 FLOOR TILES W/MASTIC, BEIGE 12X12 FLOOR TILES W/MASTIC, BLUE 12X12 FLOOR TILES W/MASTIC, CARPET W/MASTIC, NON-SUSPECT CERAMIC TILE (ALL FLOORING NOT INCLUDED IN SCOPE OF RENOVATION)	
WALL COVERING:		*SHEETROCK W/ASSOCIATED *JOINT COMPOUNDS	
CEILING MATERIALS:		*2X2 TEXTURED CEILING TILES	
WATERPROOFING:		N/A	
FIRE DOORS:		N/A	
<b><i>MECHANICAL</i></b>			
FURNACE/ BOILER JACKET:		N/A	
EXHAUST BREECHING:		N/A	
PIPE INSULATION		N/A	
FITTING INSULATION:		N/A	
HEAT SHIELDS:		N/A	
EXPANSION TANK INSULATION:		N/A	
PIPE INSULATION:		N/A	
FITTING INSULATION:		N/A	
HVAC DUCTWORK:		N/A	
FLEX CONNECTORS:		N/A	
<b>NOTE: THERE WERE NO OTHER SUSPECT MATERIALS IDENTIFIED</b>			

## **5.0 Conclusion**

---

A visual inspection and sampling survey of impacted materials within the facility was conducted in accordance with the general Environmental Protection Agency (EPA) / Asbestos Hazard Emergency Response Act (AHERA) sampling guidelines to determine the presence of exposed and/or accessible suspect asbestos-containing materials.

During the asbestos survey, a total of twenty (20) samples of suspect/unknown building materials were collected and submitted for laboratory analysis by Polarized Light Microscopy (PLM) and the Transmission Electron Microscope (TEM) methods.

### **Findings**

- ❖ Asbestos Containing Building Materials (ACBMs) WERE NOT identified within the facility

## **6.0 Recommendations**

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It is recommended that notification of the lack of presence of ACBMs be provided to personnel engaged in day-to-day activities within the structure.

During renovation activities, if additional materials suspect of containing asbestos are identified, suspend work activities immediately, and contact Jeremy Hudson @ 843.742.1344 for further assessment.

*Jeremy Hudson*

Jeremy Hudson  
SCDHEC # BI-01530

# **GRAPHICS**

## **GRAPHICS – SITE PLANS**



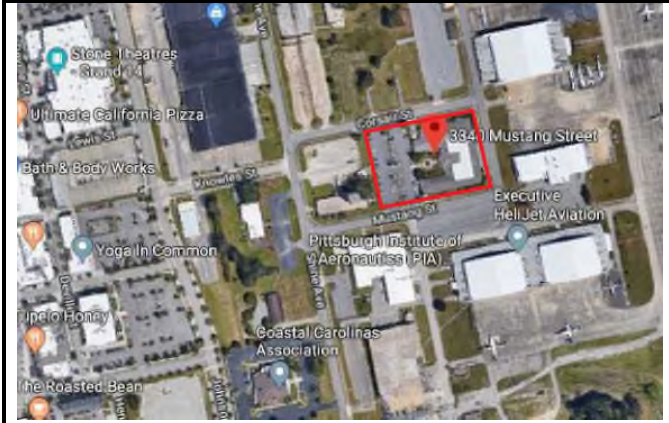


# PHOTOGRAPHS

**PHOTOGRAPHS**

PICTURES

PROJECT No. AS-19138



Picture 1 – Property Map



Picture 2 – Property Map



Picture 3 – Front of Building



Picture 4 – White 12x12 Floor Tiles w/Mastic (Not Included in Scope of Renovation)



Picture 5 – White 12x12 Floor Tiles w/Mastic (Not Included in Scope of Renovation)



Picture 6 – White 12x12 Floor Tiles w/Mastic (Not Included in Scope of Renovation)

PICTURES

PROJECT No. AS-19138



Picture 7 – Beige 12x12 Floor Tiles w/Mastic (Not Included in Scope of Renovation)



Picture 8 – Blue Carpet w/Mastic (Not Included in Scope of Renovation)



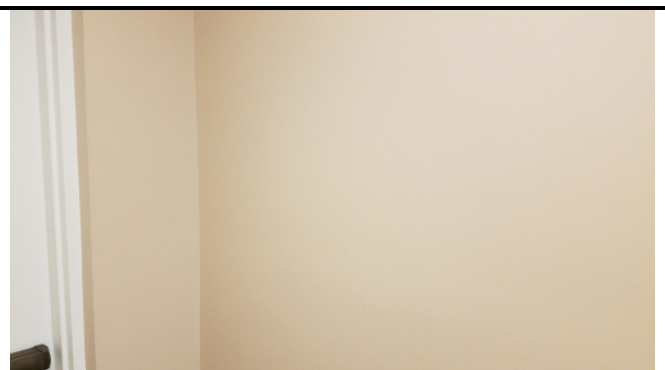
Picture 9 – Blue 12x12 Floor Tiles w/Mastic (Not Included in Scope of Renovation)



Picture 10 – \*HA20 Sheetrock Walls



Picture 11 – \*HA20 Sheetrock Walls



Picture 12 – \*HA20 Sheetrock Walls

PICTURES

PROJECT No. AS-19138



Picture 13 – \*HA30 2x2 Textured Ceiling Tiles



Picture 14 – \*HA30 2x2 Textured Ceiling Tiles



Picture 15 – \*HA30 2x2 Textured Ceiling Tiles



Picture 16 – \*HA40 Joint Compound

# **CHAIN OF CUSTODY AND LABORATORY RESULTS**

**CHAIN OF CUSTODY  
&  
LABORATORY RESULTS**



# Asbestos Chain-of-Custody

ALTERATIONS & ADDITIONS TO:  
POLICE ANNEX TRAINING CENTER  
MARKET COMMON  
PMH #18024 - ADDENDUM No. 5

COMPANY USE ONLY

Environmental Hazards Services, LLC  
[www.lead.com](http://www.lead.com) 7469 Whitepine Rd  
 (800) 347-4010 Richmond, VA 23237  
 (804) 275-4907 (fax)

Company Name: Applied Environmental Solutions Address: PO Box 2669 City/State/Zip: Murrells Inlet, SC 29576  
 Phone: (843) 902 -1768 Fax: \_\_\_\_\_ E-mail: appliedenvironmentalsolutions@gmail.com Acct. Number: 201625  
 Project Name / Testing Address: Public Property – 3340 Mustang St. City/State (Required): Myrtle Beach, SC  
 Collected by: Jeremy Hudson *MBPD – Market Common Police Annex* Purchase Order No. AS19138

**Turn Around Times:** X 1-Day \_\_\_\_\_ 2-Day \_\_\_\_\_ 3-Day \_\_\_\_\_ Same Day (Must call ahead) \_\_\_\_\_ Weekend (Must call ahead) \_\_\_\_\_

**If No TAT is specified, sample(s) will be processed and charged as 3-day TAT.**

No.	Client Sample ID	Date Collected	ASBESTOS							AIR					COMMENTS
			PLM	PLM Point Count 400	PLM Point Count 1000	PLM NY Protocol	PCM	TEM (Chatfield Bulk)	TEMAHERA (Air)	Time On	Time Off	Flow Rate (L/Min)	Total Time (minutes)	Volume (Total Liters)	
1	20-S1	10/31/19	X												Sheetrock Walls
2	20-S2		X												Sheetrock Walls
3	20-S3		X												Sheetrock Walls
4	20-S4		X												Sheetrock Walls
5	20-S5		X												Sheetrock Walls
6	20-S6		X												Sheetrock Walls
7	20-S7		X												Sheetrock Walls
8	30-C1		X												2x2 Acoustical Ceiling Tiles
9	30-C2		X												2x2 Acoustical Ceiling Tiles
10	30-C3		X												2x2 Acoustical Ceiling Tiles

Released by: <u>Jeremy Hudson</u>	Signature: <u>Jeremy Hudson</u>	1 OF 2 PAGES	Date/Time: <u>11/7/2019 1600 hrs</u>
EXISTING HAZARDOUS MATERIAL INFORMATION Received by: _____	Signature: _____		Date/Time: _____



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			PLM	PLM Point Count 400	PLM Point Count 1000	PLM NY Protocol	PCM	TEM (Chatfield Bulk)	TEMAHERA (Air)	Time On	Time Off	Flow Rate (L/Min)		Total Time (minutes)
11	40-J1	10/31/19	X											Joint Compound
12	40-J2		X											Joint Compound
13	40-J3		X											Joint Compound
14	40-J4		X											Joint Compound
15	40-J5		X											Joint Compound
16	40-J6		X											Joint Compound
17	40-J7		X											Joint Compound
18	80-R1		X											Roofing Materials – Asphalt Shingles
19	80-R2		X											Roofing Materials – Asphalt Shingles
20	80-R3							X						Roofing Materials – Asphalt Shingles

Released by: Jeremy Hudson Signature: *Jeremy Hudson* 2 OF 2 PAGES Date/Time: 11/7/2019 1600 hrs

EXISTING HAZARDOUS MATERIAL INFORMATION  
 Received by: \_\_\_\_\_

Signature: \_\_\_\_\_ Date/Time: \_\_\_\_\_



## Asbestos Bulk Analysis Report

Environmental Hazards Services, L.L.C.

7469 Whitepine Rd  
 Richmond, VA 23237

Telephone: 800.347.4010

Report Number: 19-11-01497

Client: Applied Environmental Solutions  
 P.O. Box 2669  
 Garden City, SC 29576

Received Date: 11/12/2019  
 Analyzed Date: 11/13/2019  
 Reported Date: 11/13/2019

Project/Test Address: Public Property; 3340 Mustang St.; Myrtle Beach, SC

Client Number:  
 201625

Fax Number:

# Laboratory Results

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
19-11-01497-001	20-S1		White Chalky; Brown Fibrous; Inhomogeneous	NAD	10% Cellulose 2% Fibrous Glass 88% Non-Fibrous
19-11-01497-002	20-S2		White Chalky; Brown Fibrous; Inhomogeneous	NAD	15% Cellulose 2% Fibrous Glass 83% Non-Fibrous
19-11-01497-003	20-S3		White Chalky; Brown Fibrous; Inhomogeneous	NAD	15% Cellulose 2% Fibrous Glass 83% Non-Fibrous
19-11-01497-004	20-S4		White Chalky; Brown Fibrous; Inhomogeneous	NAD	15% Cellulose 2% Fibrous Glass 83% Non-Fibrous
19-11-01497-005	20-S5		White Chalky; Brown Fibrous; Inhomogeneous	NAD	15% Cellulose 2% Fibrous Glass 83% Non-Fibrous



Environmental Hazards Services, L.L.C.

Client Number: 201625  
 Project/Test Address: Public Property; 3340 Mustang St.; Myrtle Beach, SC

Report Number: 19-11-01497

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
19-11-01497-006	20-S6		White Chalky; Brown Fibrous; Inhomogeneous	NAD	15% Cellulose 2% Fibrous Glass 83% Non-Fibrous
19-11-01497-007	20-S7		White Chalky; Brown Fibrous; Inhomogeneous	NAD	15% Cellulose 2% Fibrous Glass 83% Non-Fibrous
19-11-01497-008	30-CT1		Gray/White Fibrous; Inhomogeneous	NAD	55% Cellulose 35% Fibrous Glass 10% Non-Fibrous
19-11-01497-009	30-CT2		Gray/White Fibrous; Inhomogeneous	NAD	55% Cellulose 35% Fibrous Glass 10% Non-Fibrous
19-11-01497-010	30-CT3		Gray/White Fibrous; Inhomogeneous	NAD	55% Cellulose 35% Fibrous Glass 10% Non-Fibrous
19-11-01497-011	40-J1		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous
19-11-01497-012	40-J2		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous

Environmental Hazards Services, L.L.C.

Client Number: 201625  
 Project/Test Address: Public Property; 3340 Mustang St.; Myrtle Beach, SC

Report Number: 19-11-01497

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
19-11-01497-013	40-J3		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous
19-11-01497-014	40-J4		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous
19-11-01497-015	40-J5		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous
19-11-01497-016	40-J6		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous
19-11-01497-017	40-J7		White Chalky; Beige Paint-Like; Inhomogeneous	NAD	100% Non-Fibrous
19-11-01497-018	80-R1		Black Tar-Like; Black/Brown Aggregate; Inhomogeneous	NAD	15% Fibrous Glass 85% Non-Fibrous
19-11-01497-019	80-R2		Black Tar-Like; Black/Brown Aggregate; Inhomogeneous	NAD	15% Fibrous Glass 85% Non-Fibrous

Environmental Hazards Services, L.L.C.

Client Number: 201625  
Project/Test Address: Public Property; 3340 Mustang St.; Myrtle Beach, SC

Report Number: 19-11-01497

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
-------------------	----------------------	------------	-----------------------	----------	-----------------

QC Sample: 35-M22014-4  
QC Blank: SRM 1866 Fiberglass  
Reporting Limit: 1% Asbestos  
Method: EPA Method 600/R-93/116, EPA Method 600/M4-82-020  
Analyst: Kathy Fletcher



Reviewed By Authorized Signatory:

Tasha Eaddy  
QA/QC Clerk

The condition of the samples analyzed was acceptable upon receipt per laboratory protocol unless otherwise noted on this report. Each distinct component in an inhomogeneous sample was analyzed separately and reported as a composite. Results represent the analysis of samples submitted by the client. Sample location, description, area, volume, etc., was provided by the client. This report cannot be used by the client to claim product endorsement by NVLAP or any agency of the U.S. Government. This report shall not be reproduced except in full, without the written consent of the Environmental Hazards Service, L.L.C. California Certification #2319 NY ELAP #11714 NVLAP #101882-0 VELAP 460172. All information concerning sampling location, date, and time can be found on Chain-of-Custody. Environmental Hazards Services, L.L.C. does not perform any sample collection.

Environmental Hazards Services, L.L.C. recommends reanalysis by point count (for more accurate quantification) or Transmission Electron Microscopy (TEM), (for enhanced detection capabilities) for materials regulated by EPA NESHAP (National Emission Standards for Hazardous Air Pollutants) and found to contain less than ten percent (<10%) asbestos by polarized light microscopy (PLM). Both services are available for an additional fee.

400 Point Count Analysis, where noted, performed per EPA Method 600/R-93/116 with a Reporting Limit of 0.25%.

\* All California samples analyzed by Polarized Light Microscopy, EPA Method 600/M4-82-020, Dec. 1982.

LEGEND: NAD = no asbestos detected



# Asbestos Chain-of-Custody

19-11-01497



Due Date:  
11/13/2019  
(Wednesday) AE

19 AM

Environmental Hazards Services, LLC  
www.lead.com 7469 Whitepine Rd  
(800) 347-4010 Richmond, VA 23237  
(804) 275-4907 (fax)

Company Name: Applied Environmental Solutions Address: PO Box 2669 City/State/Zip: Murrells Inlet, SC 29576  
Phone: (843) 902-1768 Fax: \_\_\_\_\_ E-mail: appliedenvironmentalsolutions@gmail.com Acct. Number: 201625  
Project Name / Testing Address: Public Property – 3340 Mustang St. City/State (Required): Myrtle Beach, SC  
Collected by: Jeremy Hudson MBPD – Market Common Police Annex Purchase Order No. AS19138

**Turn Around Times:**

**If No TAT is specified, sample(s) will be processed and charged as 3-day TAT.**

1-Day  2-Day  3-Day  Same Day (Must call ahead)  Weekend (Must call ahead)

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			PLM	PLM Point Count 400	PLM Point Count 1000	PLM NY Protocol	PCM	TEM (Chatfield Bulk)	TEM/AHERA (Air)	Time On	Time Off		Flow Rate (L/Min)	Total Time (minutes)
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3	20-S3		X											Sheetrock Walls
4	20-S4		X											Sheetrock Walls
5	20-S5		X											Sheetrock Walls
6	20-S6		X											Sheetrock Walls
7	20-S7		X											Sheetrock Walls
8	30-C1		X											2x2 Acoustical Ceiling Tiles
9	30-C2		X											2x2 Acoustical Ceiling Tiles
10	30-C3		X											2x2 Acoustical Ceiling Tiles

\* Sample bags labeled  
30-CT-1, 30-CT-2 +  
30-CT-3 11/13/19

POSITIVE STOP: STOP  
OTHER POSITIVE BY  
ASSOCIATION

Released by: Jeremy Hudson Signature: Jeremy Hudson 1 OF 2 PAGES Date/Time: 11/7/2019 1600 hrs  
Received by: TStone Signature: TStone Date/Time: 11/12/19 10:48am



Environmental Hazards Services, LLC  
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 (804) 275-4907 (fax)

# Asbestos Chain-of-Custody

ALTERATIONS & ADDITIONS TO:  
 POLICE ANNEX TRAINING CENTER  
 MARKET COMMON  
 PMH #18024 - ADDENDUM No. 5

1497

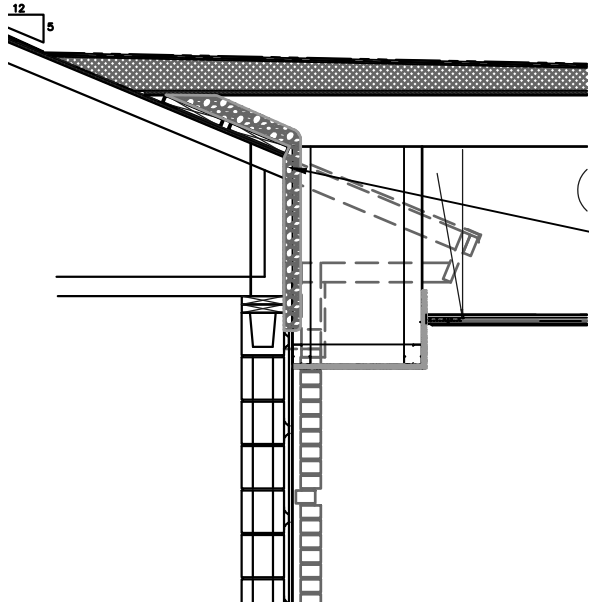
COMPANY USE ONLY

Company Name: Applied Environmental Solutions Address: PO Box 2669 City/State/Zip: Murrells Inlet, SC 29576  
 Phone: (843) 902 -1768 Fax: \_\_\_\_\_ E-mail: appliedenvironmentalsolutions@gmail.com Acct. Number: 201625  
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**Turn Around Times:**  1-Day  2-Day  3-Day  Same Day (Must call ahead)  Weekend (Must call ahead)  
**If No TAT is specified, sample(s) will be processed and charged as 3-day TAT.**

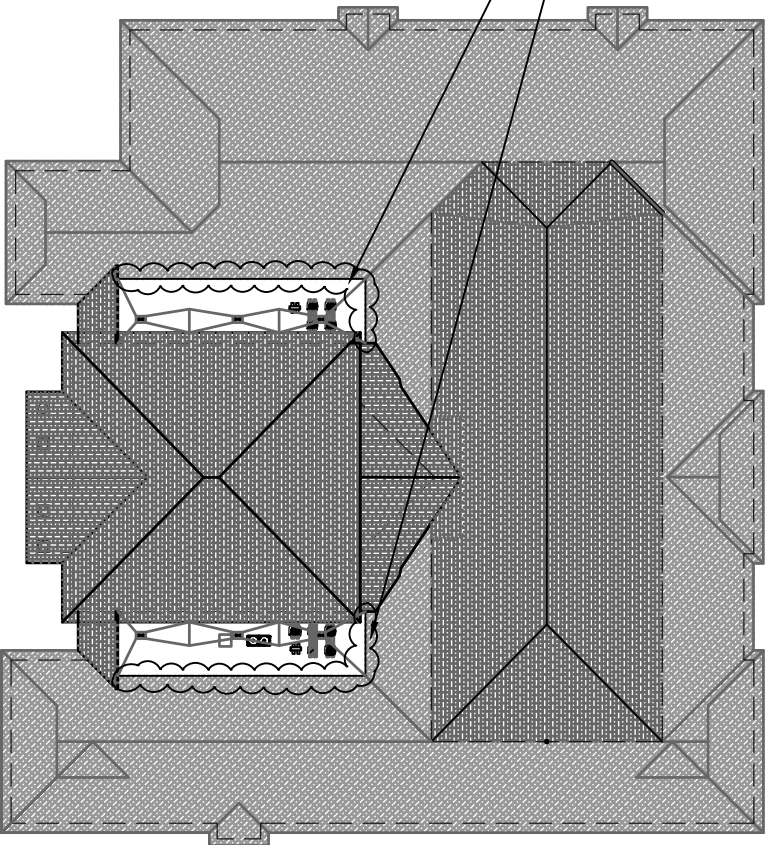
No.	Client Sample ID	Date Collected	ASBESTOS					AIR				COMMENTS		
			PLM	PLM Point Count 400	PLM Point Count 1000	PLM NY Protocol	PCM	TEM (Chatfield Bulk)	TEM AHERA (Air)	Time On	Time Off		Flow Rate (L/Min)	Total Time (minutes)
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12	40-J2		X											Joint Compound
13	40-J3		X											Joint Compound
14	40-J4		X											Joint Compound
15	40-J5		X											Joint Compound
16	40-J6		X											Joint Compound
17	40-J7		X											Joint Compound
18	80-R1		X											Roofing Materials – Asphalt Shingles
19	80-R2		X											Roofing Materials – Asphalt Shingles
20	80-R3													Roofing Materials – Asphalt Shingles

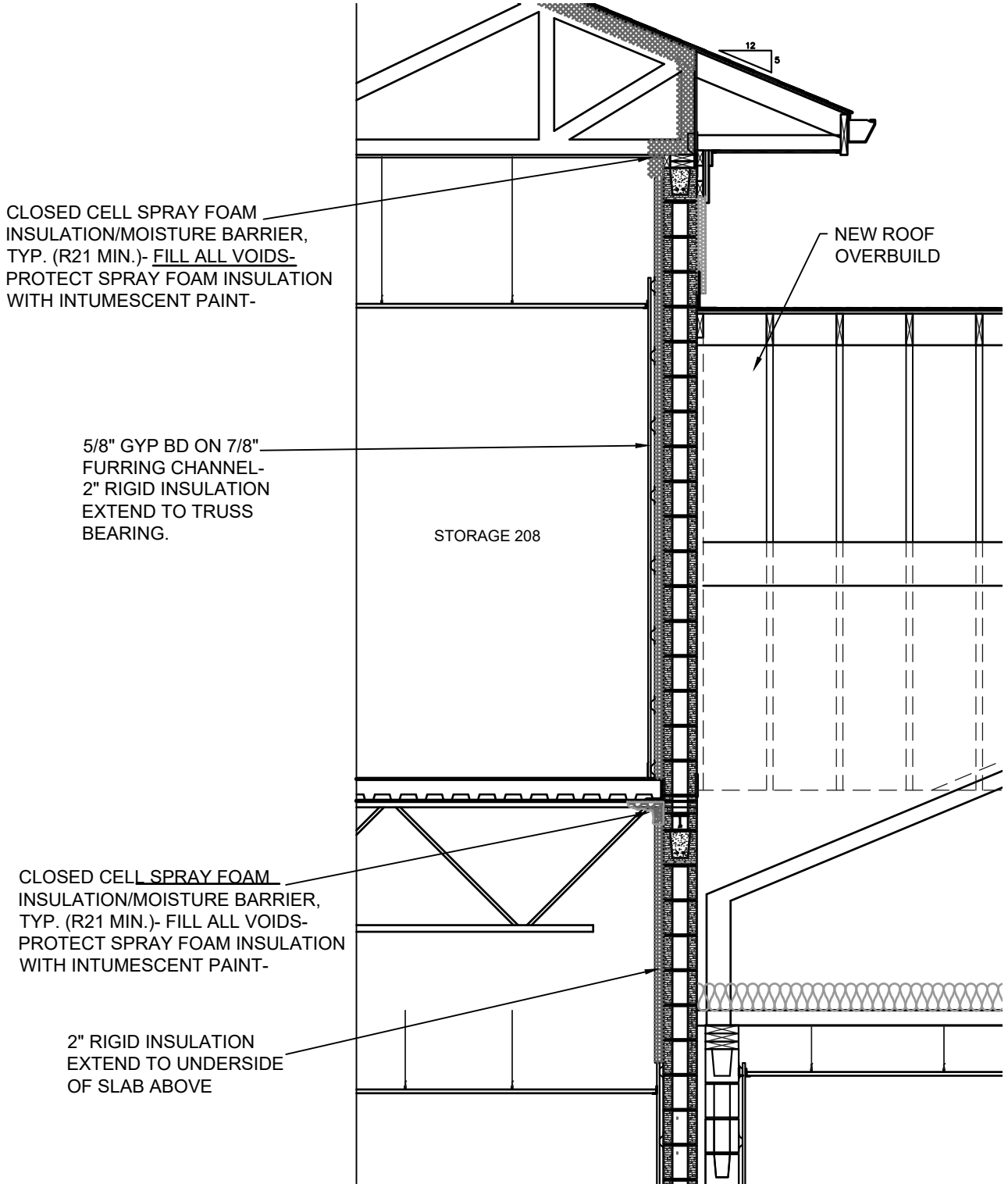
Released by: Jeremy Hudson Signature: Jeremy Hudson 2 OF 2 PAGES Date/Time: 11/7/2019 1600 hrs  
 Received by: Tstone Signature: Tstone Date/Time: 11/12/19 10:48am



CLOSED CELL SPRAY FOAM INSULATION/MOISTURE BARRIER, TYP. (R21 MIN.)- FILL ALL VOIDS- PROTECT SPRAY FOAM INSULATION WITH INTUMESCENT PAINT-TYPICAL AT LOCATIONS WHERE NEW LOW ROOF JOINS EXISTING ROOF  
 INTENT IS TO PROVIDE A COMPLETE THERMAL BARRIER AT EXISTING AND NEW CONSTRUCTION

**1**  
**B4** **NEW LOW ROOF TO EXISTING**  
 SCALE: 3/8"=1'-0"





CLOSED CELL SPRAY FOAM INSULATION/MOISTURE BARRIER, TYP. (R21 MIN.)- FILL ALL VOIDS- PROTECT SPRAY FOAM INSULATION WITH INTUMESCENT PAINT-

NEW ROOF OVERBUILD

5/8" GYP BD ON 7/8" FURRING CHANNEL- 2" RIGID INSULATION EXTEND TO TRUSS BEARING.

STORAGE 208

CLOSED CELL SPRAY FOAM INSULATION/MOISTURE BARRIER, TYP. (R21 MIN.)- FILL ALL VOIDS- PROTECT SPRAY FOAM INSULATION WITH INTUMESCENT PAINT-

2" RIGID INSULATION EXTEND TO UNDERSIDE OF SLAB ABOVE

**1** **2-STORY WALL AT ROOF BUILT OVER**  
**B5** SCALE: 3/8"=1'-0"

PIKE ■ McFARLAND ■ HALL ASSOCIATES, INC. -- ARCHITECTS & PLANNERS -- 1300 PROFESSIONAL DRIVE, SUITE 201, MYRTLE BEACH, SOUTH CAROLINA 29577 -- PHONE: (843) 497-0272 FAX: (843) 497-0271

BULLETIN NO.: B5 - Addendum #5

REFERENCE DRAWING: 1/A7.0

SHEET  
**B5**  
 OF 1

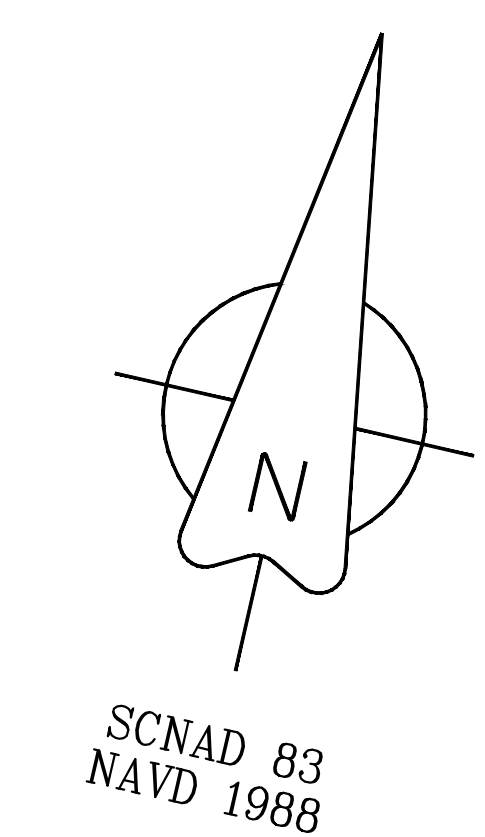
COMM: 18024  
 DWG.: XX  
 DRAWN BY: DP  
 PLOT: FULL  
 DATE: 1-24-20  
 REV:

ALTERATIONS and ADDITIONS TO:  
**MYRTLE BEACH POLICE ANNEX TRAINING CENTER**  
 MYRTLE BEACH, SOUTH CAROLINA



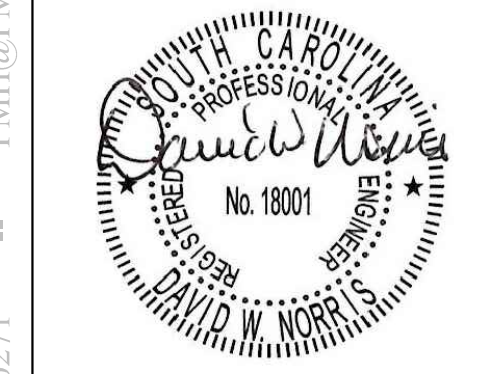
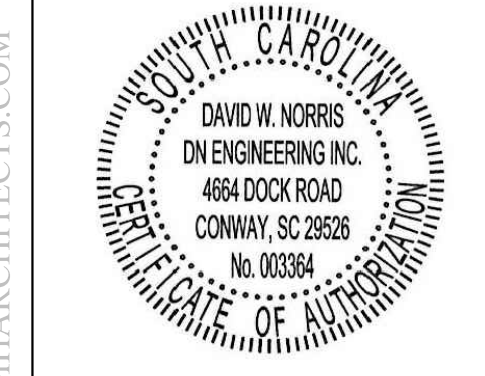
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N 77°02'13" E 364.77'



**PMH**

PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC.  
ARCHITECTS & PLANNERS



PROJECT

ALTERATIONS & ADDITIONS TO:  
**POLICE ANNEX TRAINING CENTER**  
**MARKET COMMON**  
SOUTH CAROLINA  
MYRTLE BEACH,

**FIRELINE PLAN**

CHECKED BY:  
COMM: 18024  
FILE: 18024-1  
DRAWN BY: MJN  
PLOT: 1  
DATE: 11-13-19  
REV: 01-24-20

ADDENDUM #5

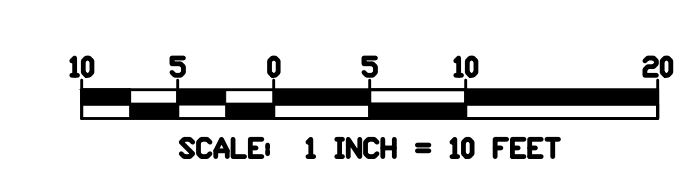
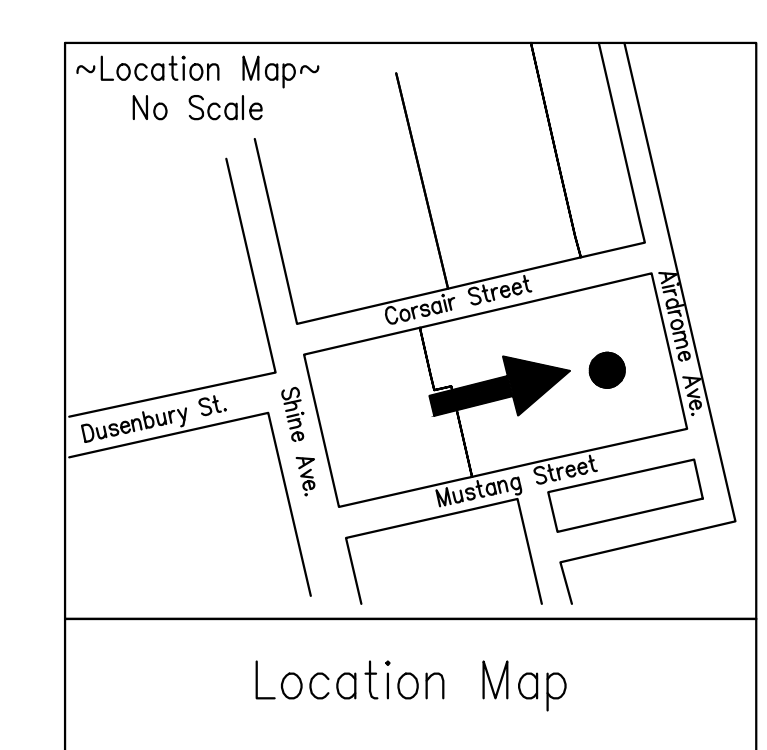
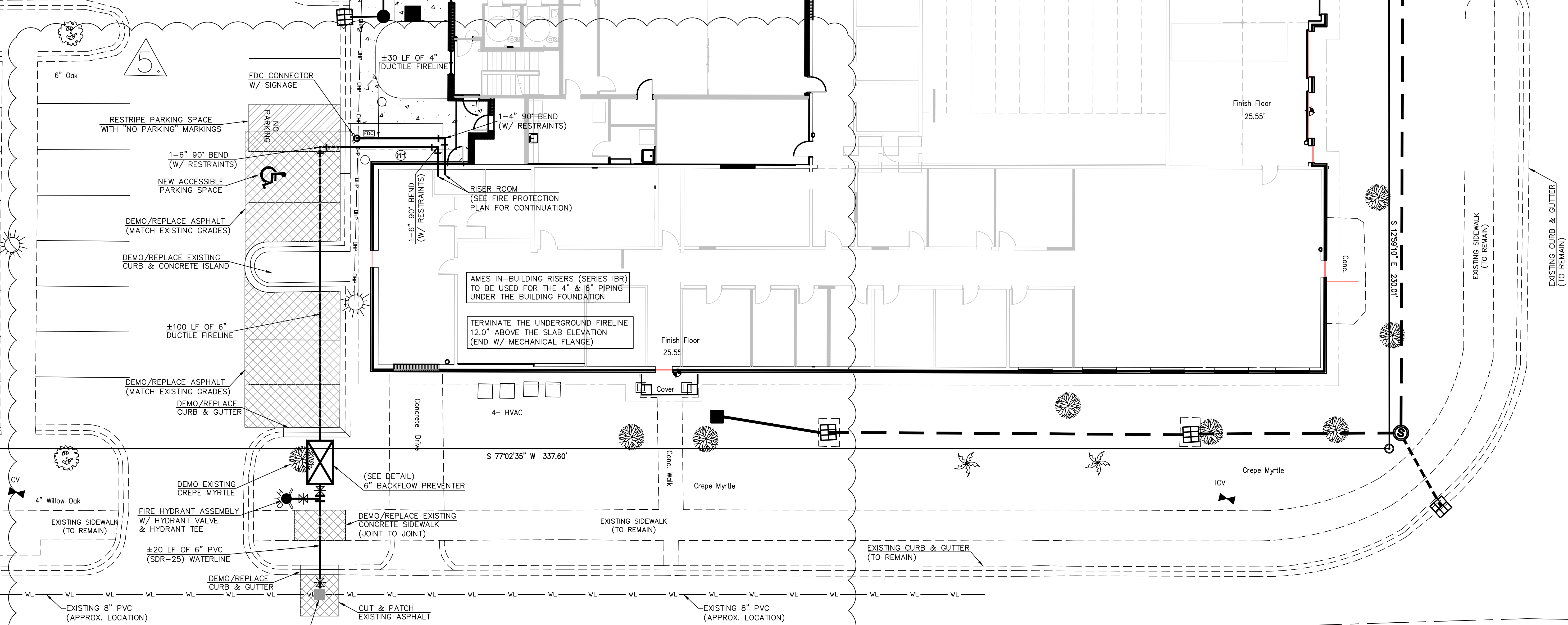
SHEET

**C5**

Airdrome Avenue (50' Public R/W)

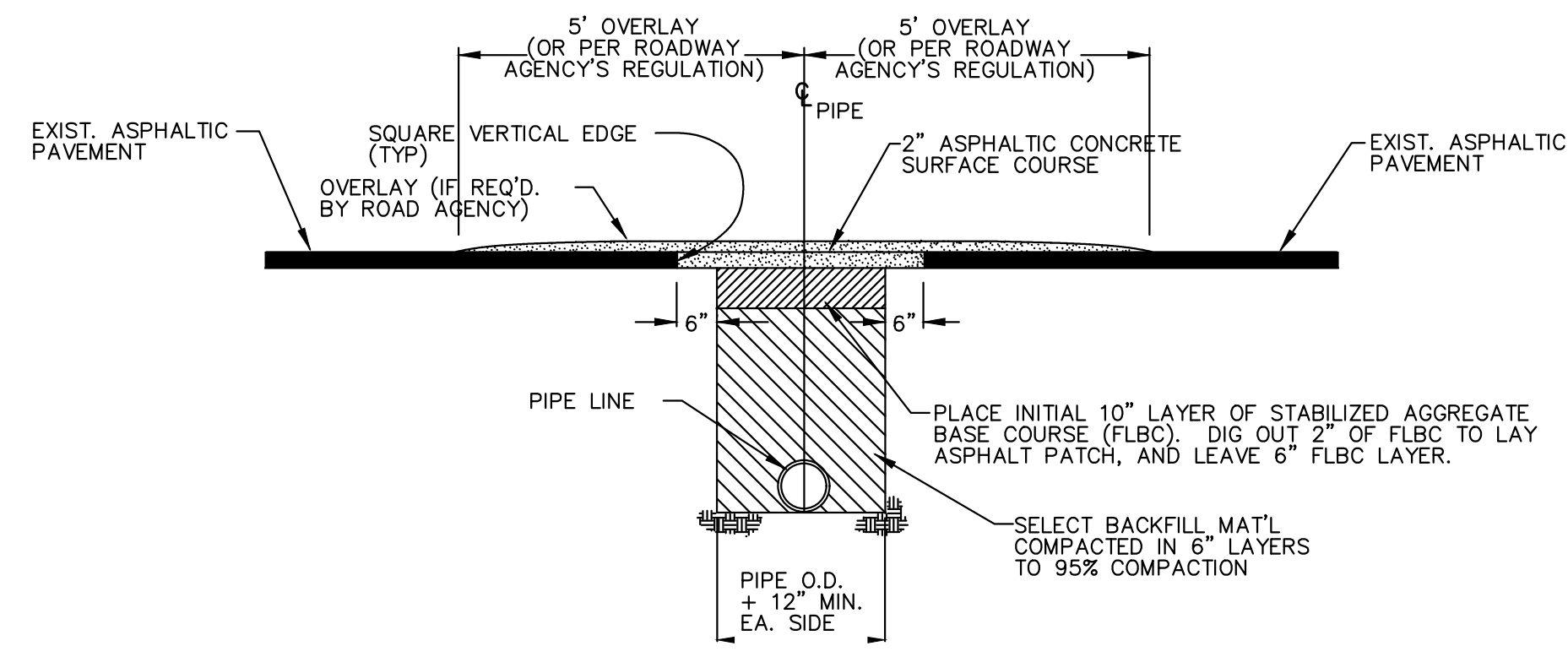
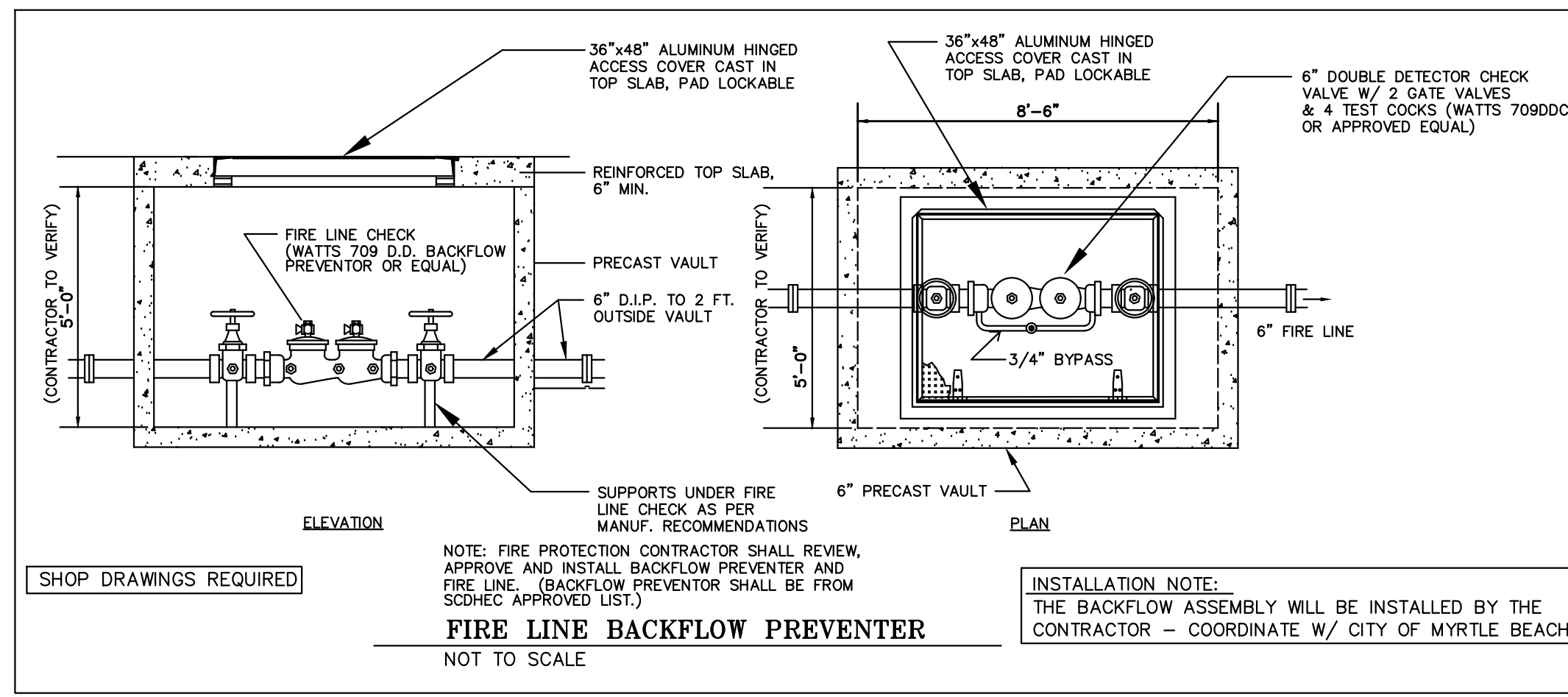
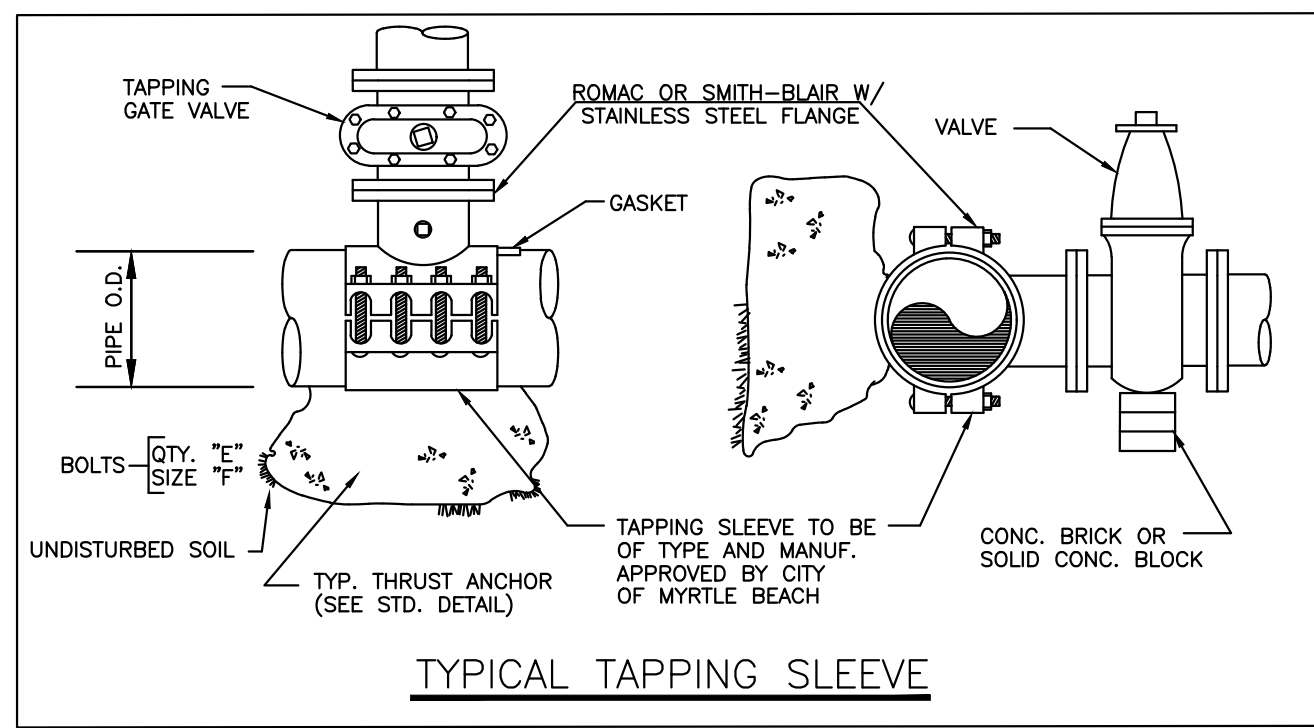
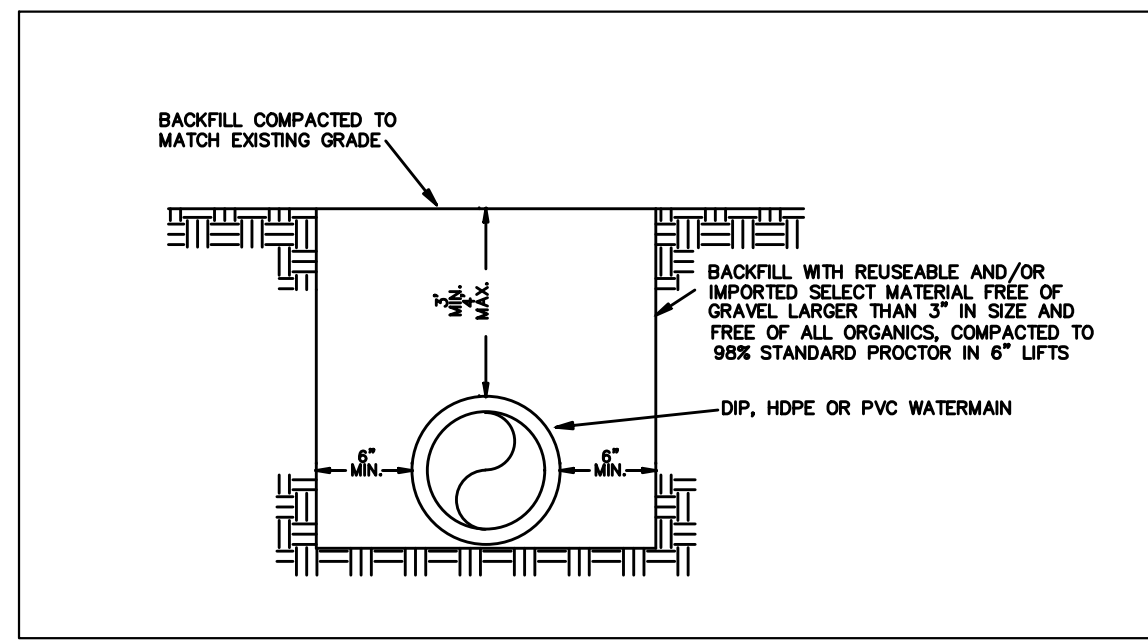
Mustang Street (70' Public R/W)

NOTE:  
CONTRACTOR TO VERIFY LOCATION, DEPTH,  
& SIZE OF EXISTING UTILITIES PRIOR TO  
INSTALLATION OF THE NEW FIRELINE





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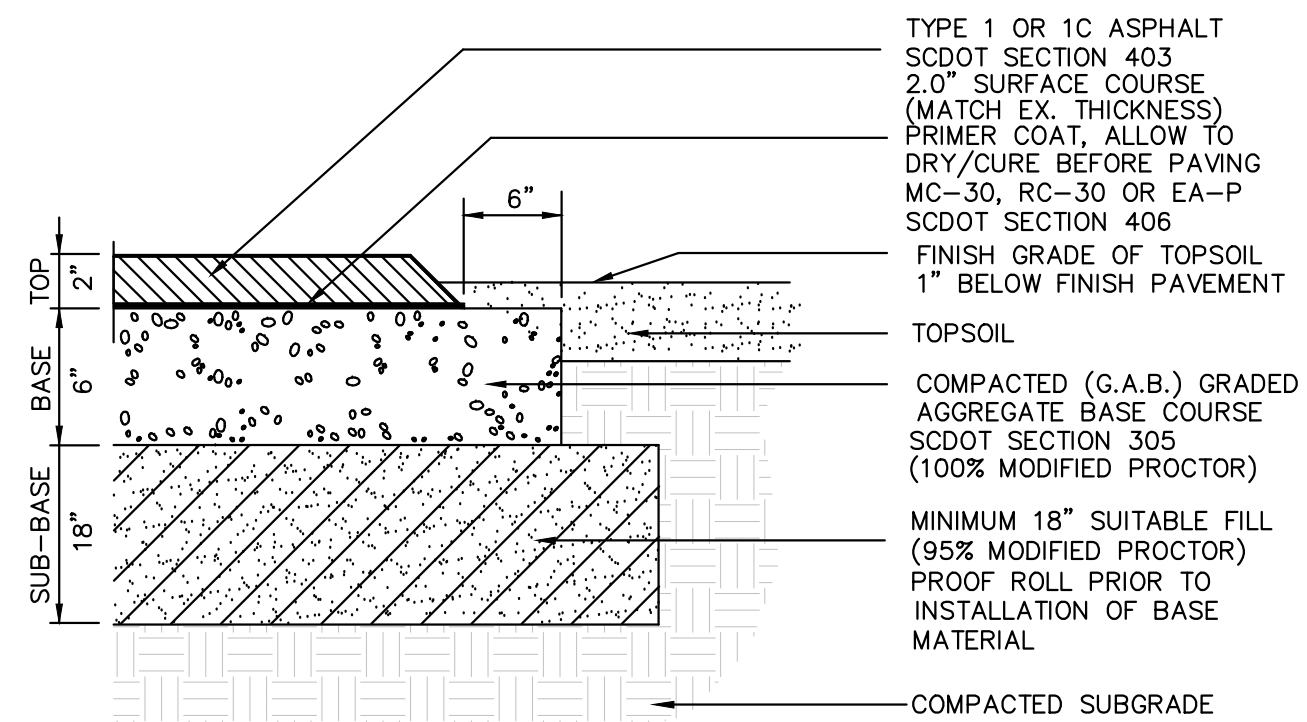
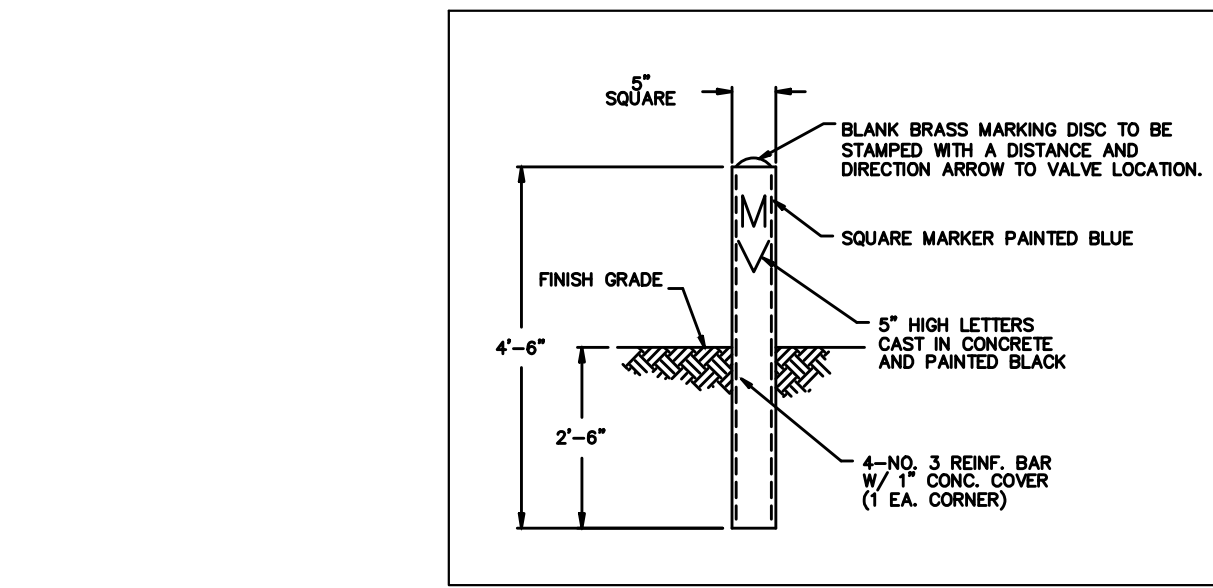
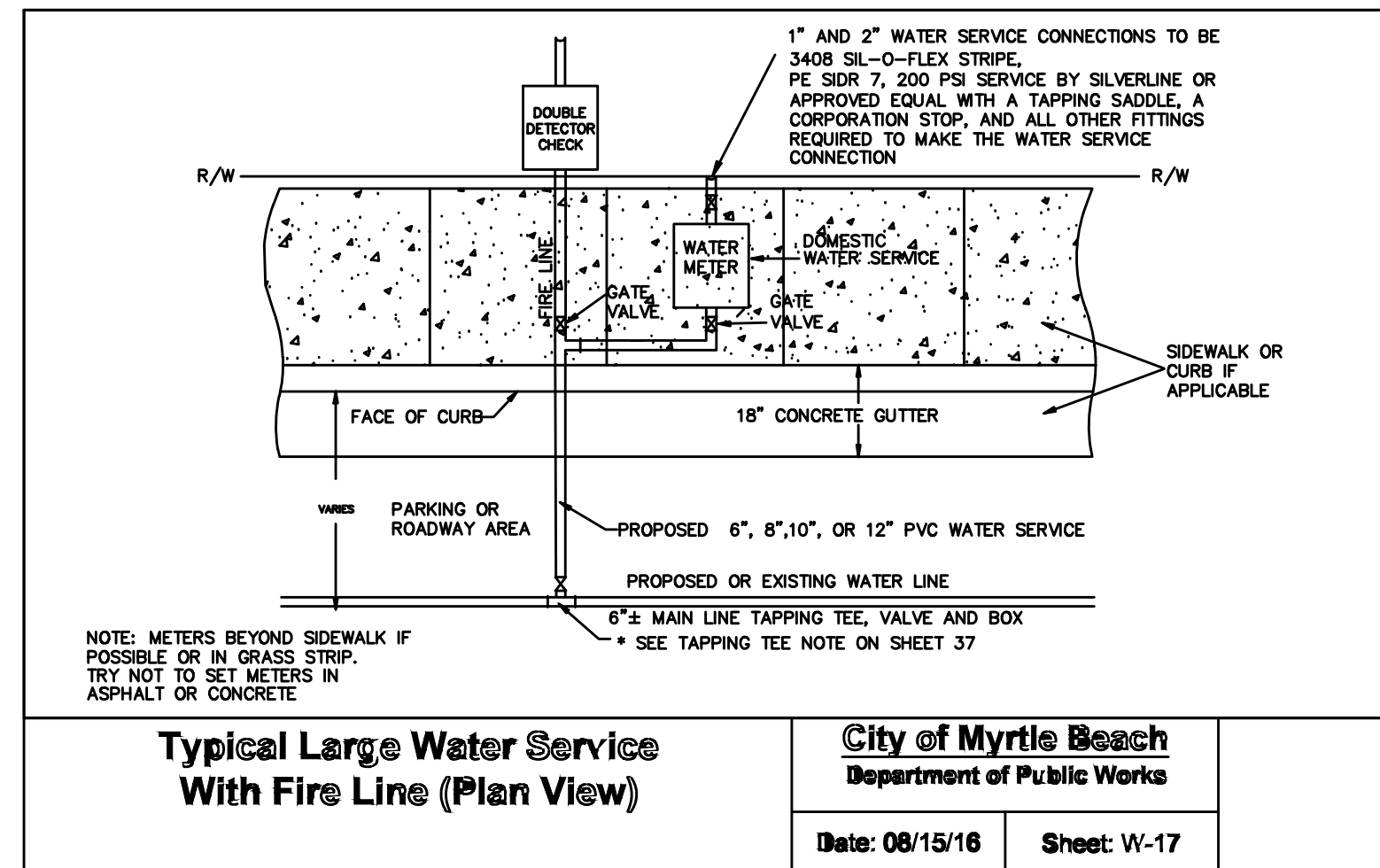


**NOTES:**  
 1) PAVEMENT CUT TO EXTEND 6" BEYOND EDGES OF TRENCH AS SHOWN. PAVEMENT SHALL BE CUT TO TRUE LINE AND REMOVED BEFORE TRENCH IS CUT. ALL PAVEMENT REPAIRS TO BE IN ACCORDANCE WITH ROAD AGENCY SPEC'S.  
 2) ROAD AGENCY MAY REQUIRE A CUT & PATCH OF TRENCH AREA AND AN OVERLAY OF ENTIRE APRON OR ENTRANCE FROM THE EDGE OF THE MAIN ROAD TO THE EDGE OF THE ROAD RIGHT-OF-WAY (SEE ENCROACHMENT PERMIT).  
 3) WHERE EXISTING PAVEMENT IS INSUFFICIENT THICKNESS TO DEVELOP TIGHT SEAL WITH NEW SURFACE, NEW PAVEMENT SHALL LAP EXISTING SURFACE WITH AT LEAST A 10' OVERLAP ON BOTH SIDES FOR SMOOTH TRANSITION OR AS PER SPEC'S. OF ROAD AGENCY.

**FIRE DESIGN NOTE:**  
 1. SEE THE BUILDING FIRE PROTECTION PLANS FOR EXACT LOCATION OF THE FIRE SPRINKLER ROOM. THE SITE FIRE PROTECTION CONTRACTOR SHALL COORDINATE WITH THE BLDG. SPRINKLER CONTRACTOR THE INSTALLATION & TESTING OF THE PROPOSED FIRE SYSTEM.

**DESIGN AND INSTALLATION NOTES:**  
 1. SIZE OF THE MAINLINE: 8" PVC  
 STATIC PRESSURE: 57 PSI  
 RESIDUAL PRESSURE: 52 PSI  
 TEST DATE: 08/05/2019  
 DISTANCE BETWEEN HYDRANTS: ±400 FT.  
 2. TYPE OF PIPING: DUCTILE IRON (AWWA C-151)  
 SDR-18 PVC AWWA C900-CLASS 200 PSI  
 3. MINIMUM PIPE COVER: 36.0" (3 FEET)  
 4. ALL VALVES TO MUELLER IRON BODY GATE VALVE BACKFLOW DEVICE: 4" WATTS SERIES 774 DCA DOUBLE DETECTOR CHECK IN CONCRETE VAULT.  
 5. FIRE HYDRANTS: 5 1/4" MUELLER CENTURION W/ GATE VALVE THAT OPENS/CLOSES THE ENTIRE HYDRANT. (3 OUTLETS/NO HOSE HOUSE OR OTHER EQUIPMENT ASSOCIATE W/ THE HYDRANT)  
 6. NO STANDPIPE RISERS OR MONITOR NOZZLES REQUIRED (BACKFLOW DEVICE STRAIGHT INTO THE BUILDING).  
 7. FDC CONNECTION TO BE LOCATED A MAXIMUM 100.0 FT. FROM AN EXISTING FIRE HYDRANT.  
 8. THRUST BLOCKS TO BE USED FOR RESTRAINTS—SEE DETAIL.  
 9. THE DESIGN AND INSTALLATION OF THE UNDERGROUND FIRELINE SHALL MEET THE REQUIREMENTS OF NFPA 24.

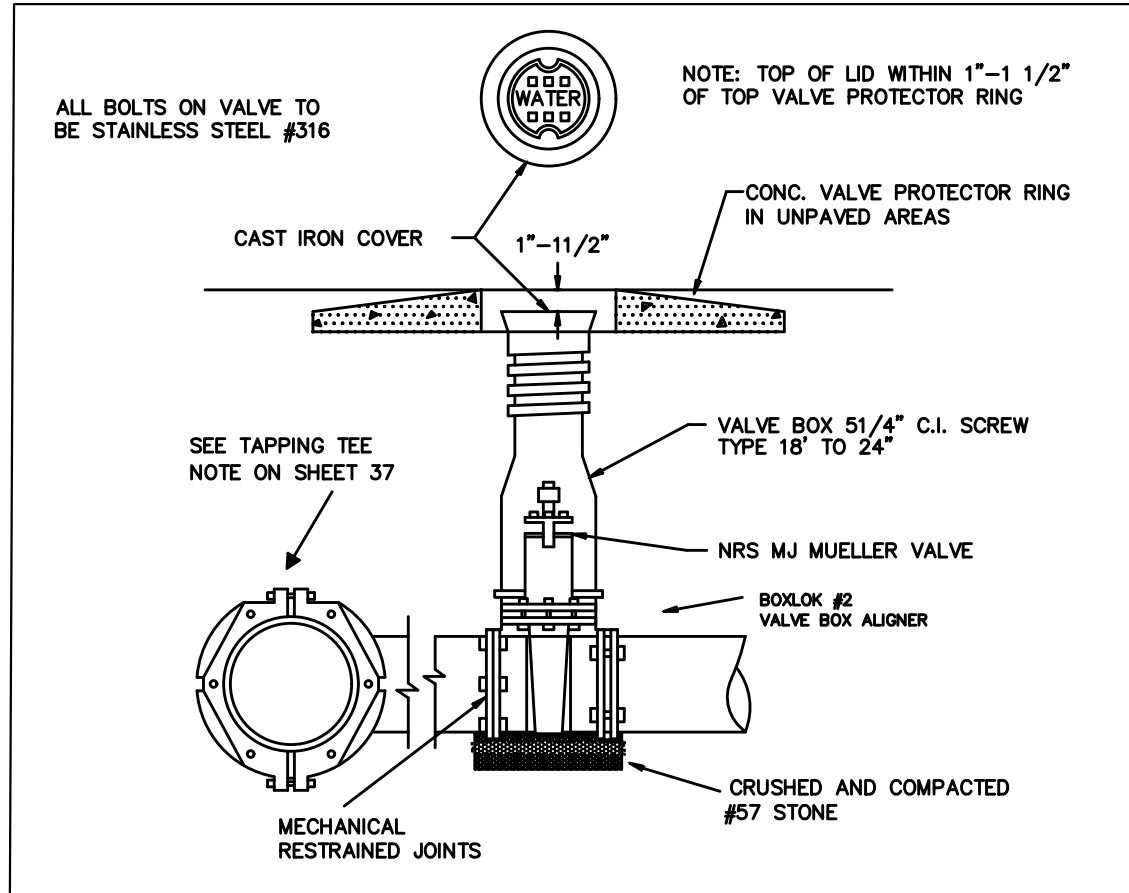
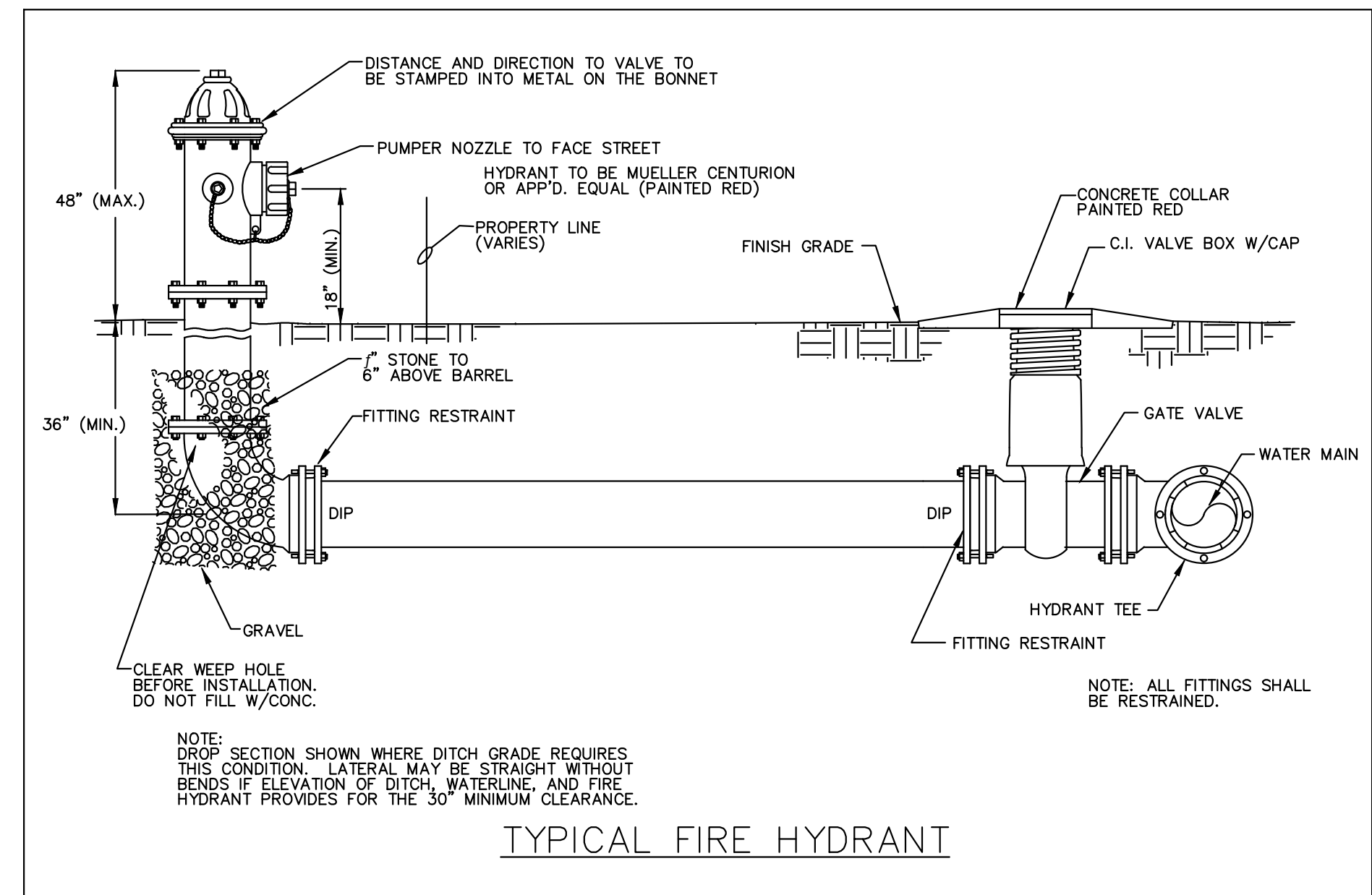
**WATER & SEWER NOTES:**  
 1. THE CONTRACTOR SHALL VERIFY LOCATION, DEPTH, AND SIZE OF THE EXISTING WATER & SEWER SERVICES AND NOTIFY THE ENGINEER ANY DISCREPANCIES FROM THE APPROVED CONSTRUCTION PLANS.  
 2. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF MYRTLE BEACH THE INSTALLATION OF THE WATER SERVICES FOR THIS PROJECT.  
 3. SHOP DRAWINGS FOR WATER MATERIAL MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION CAN BEGIN.  
 4. WHERE THERE IS A CROSSING WITH A DRAIN-LINE, THERE MUST BE MINIMUM 18" SEPARATION WITH THE RCP OR DUCTILE IRON PIPE MUST BE USED. THERE SHALL BE A MINIMUM 10' HORIZONTAL & 18" VERTICAL SEPARATION BETWEEN WATER LINE.  
 5. IT IS THE CONTRACTOR SOLE RESPONSIBILITY TO REPAIR AND/OR REPLACE ALL EXISTING UTILITIES THAT MAY BECOME DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT.  
 6. #12 TRACER WIRE SHALL BE PLACED IN THE TRENCH ABOVE ALL PLASTIC WATER LINES FOR EASE OF LOCATION.



**NOTES:**  
 1. ALL MATERIALS SHALL MEET APPLICABLE STANDARDS SET FORTH IN THE SCDOT CONSTRUCTION STANDARDS, LATEST EDITION.  
 2. SUB-BASE SHALL BE FREE OF ALL ROCKS AND DEBRIS LARGER THAN 1" DIAMETER. CERTIFIED COMPACTION TESTS MUST BE SUBMITTED TO ENGINEER PRIOR TO APPLICATION OF BASE MATERIAL.  
 3. SUB-BASE SHALL BE FILL MATERIAL OF SOIL TYPES 'SP', 'SM' AND 'SC' WITH FINES HAVING LIQUID LIMITS LESS THAN 45%, PLACED IN MAXIMUM LIFT THICKNESSES OF 8 INCHES AND COMPACTION TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.  
 4. SUBGRADE SHALL BE GRADED AND SLOPED TOWARD DRAINAGE STRUCTURES AND DITCHES TO PREVENT THE ENTRAPMENT OF WATER WITHIN SUB-BASE AND BASE MATERIAL. SUBGRADE SHALL BE INSPECTED AND APPROVED BY OWNERS REPRESENTATIVE PRIOR TO THE INSTALLATION OF SUB-BASE.

**STANDARD-DUTY ASPHALT SECTION**  
 NOT TO SCALE

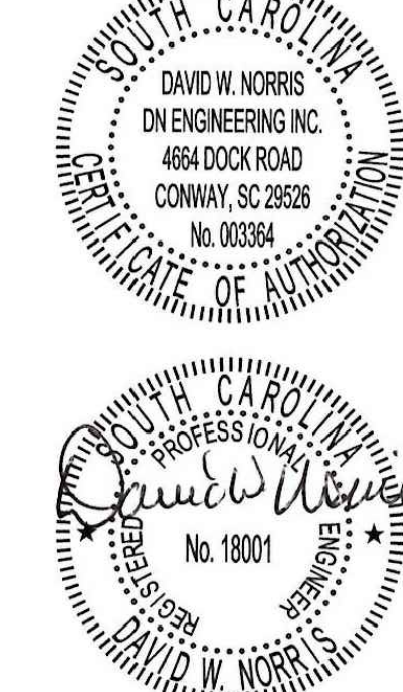
**CONTRACTOR TO VERIFY ALL QUANTITIES & THICKNESS OF EXISTING ASPHALT**



\*\*\*CAUTION\*\*\*

**PALMETTO UTILITY LOCATION SERVICE**  
 3 DAYS BEFORE DIGGING CALL  
 TOLL FREE 1-800-922-0983  
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY.

**FIRE-LINE INSTALLATION.**  
 1. THE FIRE LINE SHALL BE INSTALLED PER THE FIRE CODE REQUIREMENTS OF THE IBC 2018 CODE & NATIONAL FIRE PROTECTION ASSOCIATION-NFPA 24 (2010 EDITION).  
 2. ALL MATERIALS & FITTINGS SHALL HAVE A MINIMUM 250 PSI RATING AND MEET ALL APPLICABLE FIRE CODE REQUIREMENTS.  
 3. THE FIRE-LINE SHALL BE C900 - 200 PSI PRESSURE CLASS PVC AND/OR DUCTILE IRON PIPE.  
 4. ALL FIRE DEPARTMENTS CONNECTIONS (FDC) SHALL BE WITHIN 100 FT OF A FIRE HYDRANT. THE FDC CONNECTION SHALL BE LOCATED WHERE EASILY VISIBLE FROM THE MAIN PARKING - NOT TO BE LOCATED IN FRONT OF PARKING STALLS AND/OR OTHER OBSTRUCTIONS.  
 5. ALL VALVES DOWNSTREAM OF THE BACKFLOW PREVENTOR SHALL BE POST INDICATOR VALVES.  
 6. THE CHECK VALVE TO BE IN CONCRETE VAULT PER THE FIRE CODE - UNLESS LOCATED INSIDE THE BUILDING.  
 7. ALL FITTINGS, VALVES, BENDS, ETC SHALL BE RESTRAINED TO WITHSTAND A MINIMUM 250 PSI OF PRESSURE.



OWNER

**ALTERATIONS & ADDITIONS TO:**  
**POLICE ANNEX TRAINING CENTER**  
**MARKET COMMON**  
 MYRTLE BEACH, SOUTH CAROLINA

**FIRELINE DETAILS**

CHECKED BY:

COMM: 18024  
 FILE: 18024-1  
 DRAWN BY: MJN  
 PLOT: 1  
 DATE: 11-13-19  
 REV: 01-24-20

ADDENDUM #5

SHEET

# **Pre-Bid Documentation**

**City of Myrtle Beach**  
**South Carolina**

**Bid:**

**Bid Opening Date:**

**Mandatory Pre-Bid:**

Please sign in:

**Company Name**

**Representative**

1. Mashburn Construction Chris Setter

Signature

843-729-3151 Chris Setter

Phone/Fax

Print

csetter@mashburnconstruction.com

Email Address

2. Rhino Demolition Steve Yount

Signature

843-655-7745 STEVE YOUNT

Phone/Fax

Print

Steve Yount Rhino Demolition.com

Email Address

3. Masons Demolition Wm A. Sanford

Signature

William A Sanford Manual Man

Phone/Fax

Print

910-538-0184 BSANB@Masons.com

Email Address

**Company Name**

**Representative**

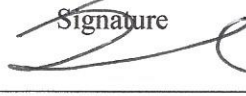
4. Jamie Passarello

843-438-3484 Signature JAMIE PASSARELLO

Phone/Fax JAMIE.PASS@HRAHLOW.COM Print

Email Address

5. STEWART McINTYRE FBI CONSTRUCTION

843-234-4324 Signature 

Phone/Fax ASHLEY.WORK@FBI.CONSTRUCTION.COM Print


Email Address

6. PATRICK RYAN - TUNGSTEN

843.839.1650 Signature Patrick Ryan

Phone/Fax pryan@tungstencorporation.com Print


Email Address

7. RC JACOBS INC Roger W Jacobs 

843-527-2404 Signature

Phone/Fax RCJACOBSINC@aol.com Print

Email Address

# 8) Company Name ELECTRIC SERVICE OF THE CAROLINAS Representative DON DANIELS 

PH 843-347-9800 DON@ESCAROLINAS.COM  
FAX 843-347-1999

8. STEPHEN FITZPATRICK

*Stephen Fitzpatrick*

Signature

919.337.2816

ESTIMATOR BWV Builders

Phone/Fax

Print

genforddevelopmentllc@gmail.com

Email Address

9. Bradley Sweeney

*Bradley Sweeney*

Signature

843-283-4692

BWV Builders

Phone/Fax

Print

MRHOMEEXPERT@gmail.com

Email Address

10. BRAD HARING

*Brad Haring*

Signature

843 839 1650

TONGSTEN CORPORATION

Phone/Fax

Print

BHARING@TONGSTEN CORPORATION .COM

Email Address

11. CONSENSUS CONSTRUCTION  
DAVID SISK

*David Sisk*

Signature

843 544 2667

DAVID SISK

Phone/Fax

Print

hids@consensusconstruction.com

Email Address

CONSENSUS CONSTRUCTION LLC

Company Name

Representative

12. COASTAL STRUCTURES Corp.



(843) 546-4491 (843) 546-6569

Signature

MARSHALL EASTERLING


Phone/Fax

Print

MARSHALL@COASTALSTRUCTURES.COM

Email Address

13. Chancel HRT



843-234-6510/843-234-6512

Signature

McKENZIE JORDA

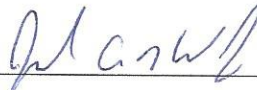
Phone/Fax

Print

McKENZIE@CHANCELHRT.COM

Email Address

14. ~~Chancel~~ Chancel HRT



843-234-6510

Signature

JOSEPH HOLMES

Phone/Fax

Print

JHOLMES@CHANCELHRT.COM

Email Address

15.

Signature

Phone/Fax

Print

Email Address