

# Northgate Terrace Renovation

4301 Whittle Springs Road  
Knoxville, TN 37917

August 23, 2021



Knoxville's Community Development Corporation  
901 N. Broadway Knoxville, TN 37917

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Project Architect

Owner

MEP

Owner Representative

General Contractor

SITE MAP

Studio A Architecture

KCDC

Genesis Engineering Group, Inc

Management Solutions

TBD

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Knoxville, TN 37917  
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134 4th Avenue North  
Franklin, TN 37064  
615.628.7270

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865.963.0400

Address  
502.867.5309

### Building Code Information

### Accessibility Notes

### Building Analysis

### Revision Schedule

**PROJECT:** NORTHGATE TERRACE RENOVATION  
**ADDRESS:** 4301 WHITTLE SPRINGS ROAD, KNOXVILLE, TN 37917

1. THIS PROJECT IS SUBJECT TO THE FOLLOWING CODES WITH REGIONAL AMENDMENTS:  
1.01 2018 INTERNATIONAL BUILDING CODE (IBC)  
1.02 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
1.03 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
1.04 2018 INTERNATIONAL MECHANICAL CODE (IMC)  
1.05 2018 INTERNATIONAL PLUMBING CODE (IPC)  
1.06 2018 INTERNATIONAL FIRE CODE (IFC)  
1.07 2017 NATIONAL ELECTRICAL CODE (NEC)  
1.08 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
1.09 MINIMUM PROPERTY STANDARDS FOR HOUSING 1994 EDITION #P10.1  
1.10 2009 AND 12 L.A. ACCESSIBLE & USABLE BUILDINGS PER CHAPTER 11 OF IBC FAIR HOUSING ACCESSIBILITY GUIDELINES  
1.11 2015 ADA AMERICANS WITH DISABILITIES ACT

2. **ACCESSIBILITY STANDARDS**  
2.1 2009 AND 12 L.A. ACCESSIBLE & USABLE BUILDINGS PER CHAPTER 11 OF IBC FAIR HOUSING ACCESSIBILITY GUIDELINES  
2.2 FAIR HOUSING ACCESSIBILITY GUIDELINES  
2.3 2015 ADA AMERICANS WITH DISABILITIES ACT

PROJECT DESCRIPTION	BUILDING	DESCRIPTION	USE GROUP	CONSTRUCTION TYPE
3.1	NORTHGATE TERRACE	14 FLOORS: 274 UNITS (EXISTING) BASEMENT	R-2 (EXISTING)	3A (EXISTING)

4. **AREA**  
4.1 EXISTING AREA 156,000

- ACCESSIBLE UNITS SHALL COMPLY WITH THE ACCESSIBLE GUIDELINES (A PORTION OF THESE GUIDELINES ARE LISTED BELOW).
- CHANGES IN LEVEL GREATER THAN 1/2" ARE NOT ALLOWED. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- ALL SWITCHES AND CONTROLS SHALL BE LOCATED AT A MAXIMUM OF 48" A.F.F. IF SWITCHES ARE MOUNTED OVER AN OBSTRUCTION, A MAXIMUM HEIGHT OF 46" A.F.F. IS ALLOWED. ALL ELECTRICAL OUTLETS SHALL BE LOCATED AT A MINIMUM OF 18" AND A MAXIMUM OF 48" A.F.F. IF OUTLETS ARE MOUNTED OVER AN OBSTRUCTION, A MAXIMUM HEIGHT OF 46" A.F.F. IS ALLOWED AND IT MUST BE LOCATED A MINIMUM OF 36" FROM A CORNER.
- WALLS IN BATHROOMS MUST BE REINFORCED FOR THE ADDITION OF GRAB BARS. FOR MORE INFORMATION, SEE PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS.
- WIDE ANGLE PEEP HOLES FOR USE BY SEATED INDIVIDUALS SHALL BE PROVIDED IN ENTRY DOORS.
- AUXILIARY VISUAL ALARMS ALERTING OCCUPANTS OF INCOMING TELEPHONE CALLS AND DOOR KNOCK OR BELL, SHALL BE PROVIDED IN ACCORDANCE TO ACCESSIBLE REQUIREMENTS.

**PROPERTY BUILDING IMPROVEMENT SQUARE FOOTAGE TABULATION**

**NORTHGATE TERRACE RENOVATION**  
Location: Knoxville, TN 37917

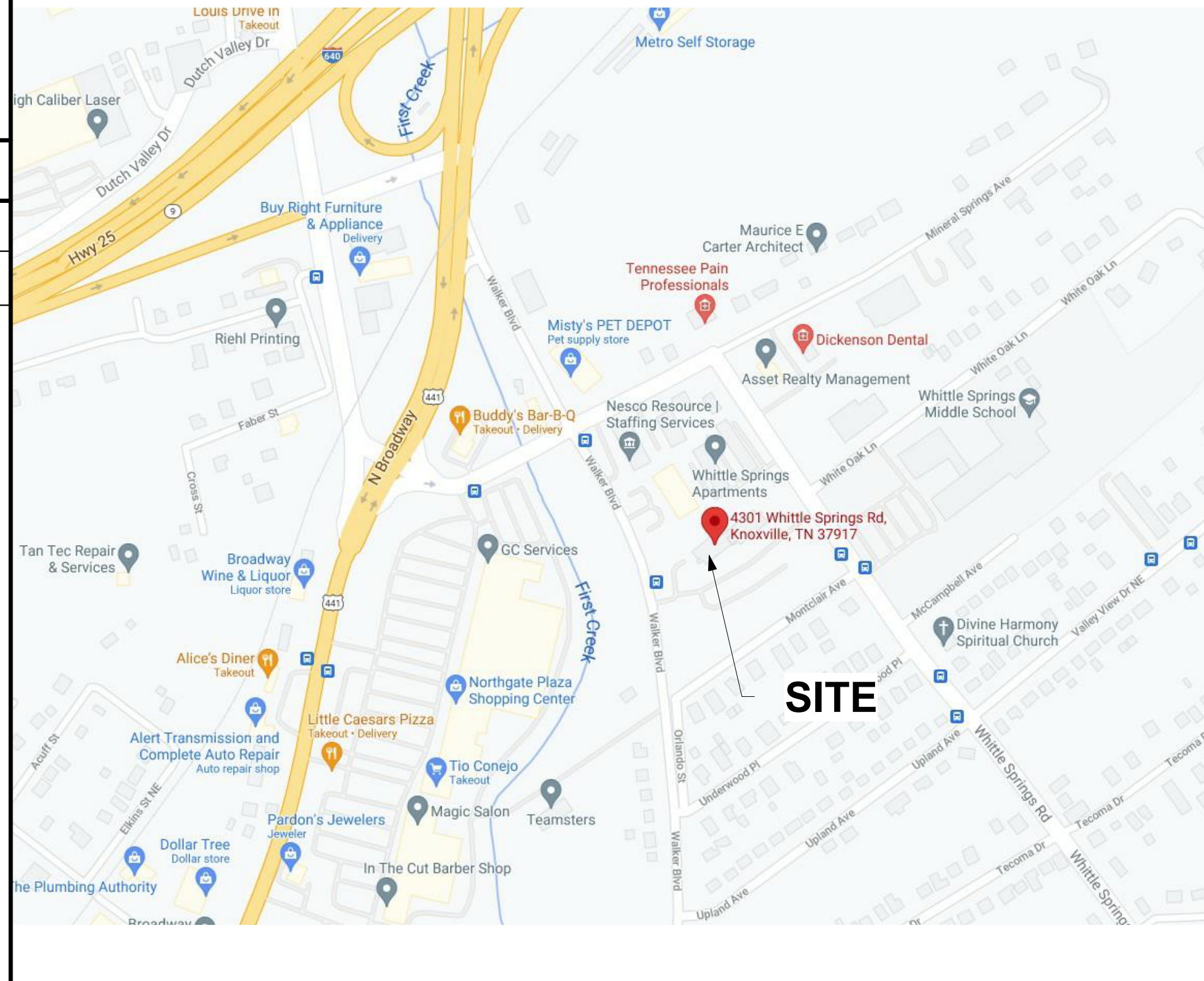
FLOORS	UNITS TYPES - AFTER RENOVATION						ESTIMATED - PER FLOOR				
	Studio-1	Studio-2	Studio-3	Studio-4	Studio-5	1BR	1BR-4C	2BR	TOTAL	HUD MSFP	HUD GSF
INT.FLOOR	0	0	0	0	0	0	0	0	2 UNITS	1,244 MSFP	1,372 GSF
1ST FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,719 MSFP	8,721 GSF
2ND FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
3RD FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
4TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
5TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
6TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
7TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
8TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
9TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
10TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
11TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
12TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
13TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
14TH FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,714 MSFP	8,716 GSF
ROOF FLOOR	7	1	0	0	1	1	0	0	11 UNITS	4,558 MSFP	4,761 GSF
<b>Total:</b>	<b>175</b>	<b>25</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>11</b>	<b>13</b>	<b>13</b>	<b>274 UNITS</b>	<b>191,626 MSFP</b>	<b>193,804 GSF</b>

UNIT TYPES	HUD MSFP	HUD GSF	Unit Description	Notes:
STUDIO-1	337	422	1 Studio, 1 Bath	
STUDIO-2	311	408	1 Studio, 1 Bath	
STUDIO-3	354	411	1 Studio, 1 Bath	
STUDIO-4	377	442	1 Studio, 1 Bath	
STUDIO-5	362	426	1 Studio, 1 Bath	Existing Standard Units
1BR	472	544	1 BR, 1 Bath	
1BR-4C	458	544	1 BR, 1 Bath, Accessible	
2BR	772	828	2 BR, 1 Bath	

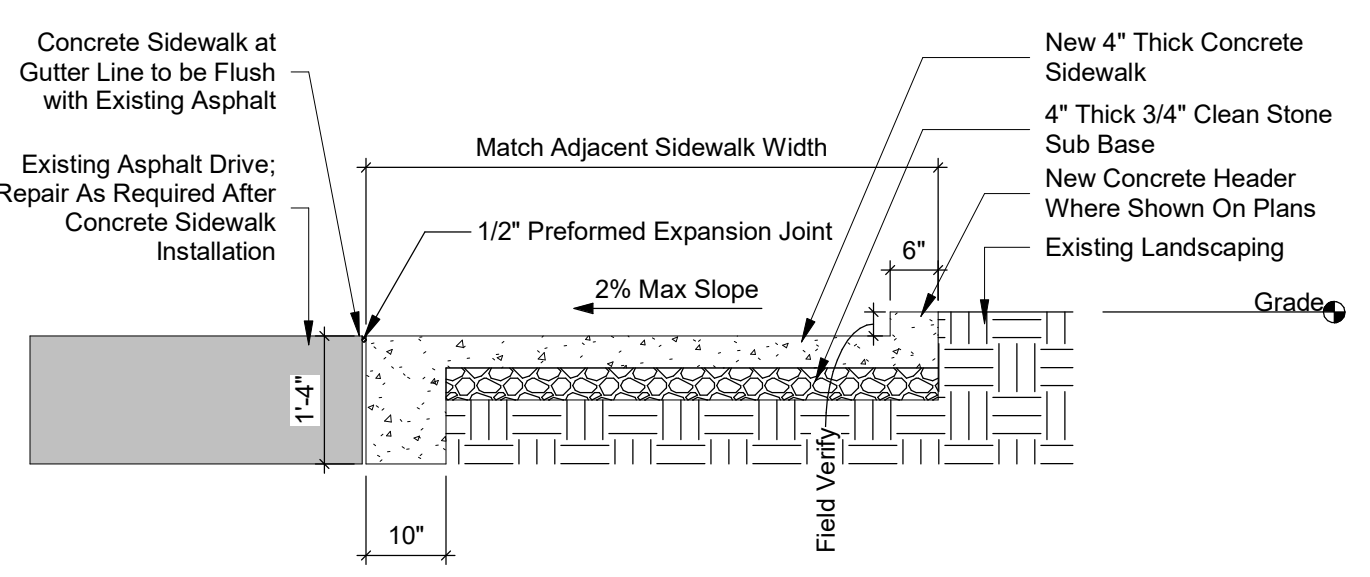
Total Dwelling Units Figures	
Studio Units	247 UNITS
1 Bedroom Units	26 UNITS
2 Bedroom Units	2 UNITS
Existing Units, Total (HUD MSFP)	274 UNITS
Dwelling Units, Total (HUD GSF)	193,804 GSF

Accessibility	5% Required	2% Provided	5% Required	2% Provided
137%	137%	137%	137%	137%

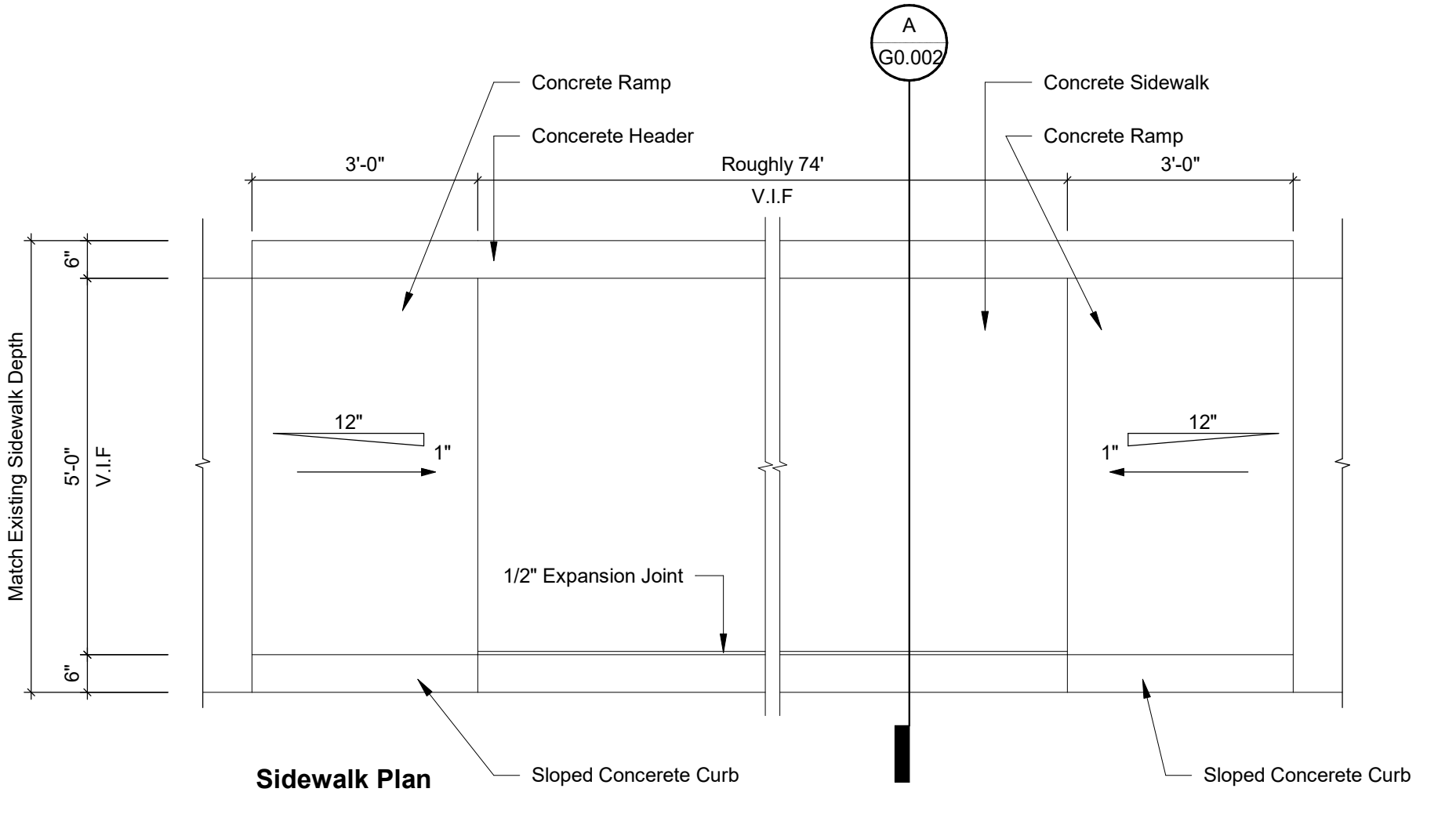
Revision Number	Revision Description	Revision Date



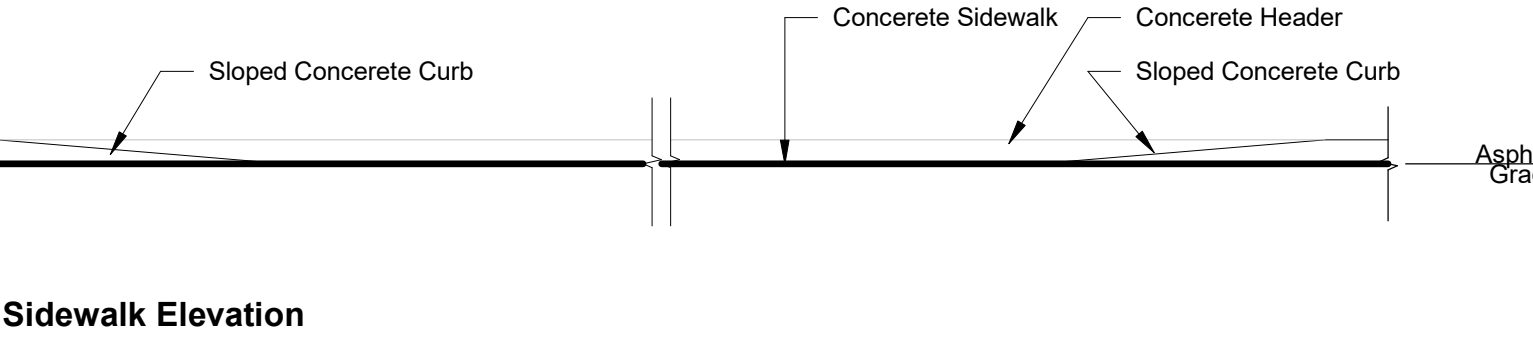




**A Sidewalk Section**  
GO.002 1/2" = 1'-0"



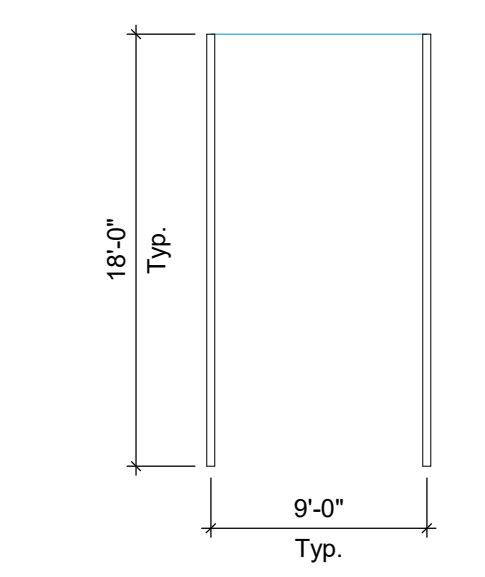
**Sidewalk Plan**



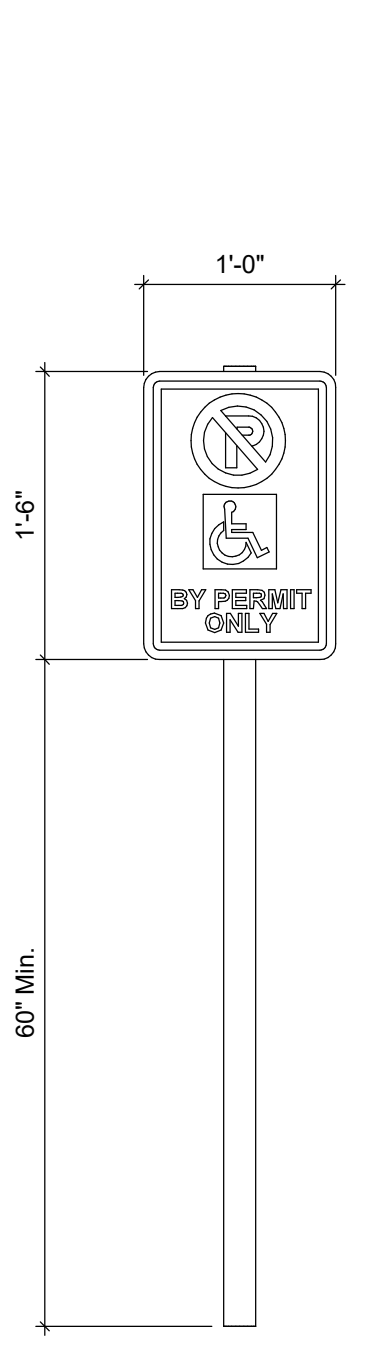
**Sidewalk Elevation**

Note:  
G.C. to verify height of existing sidewalk above existing asphalt drive to determine height of concrete curb.

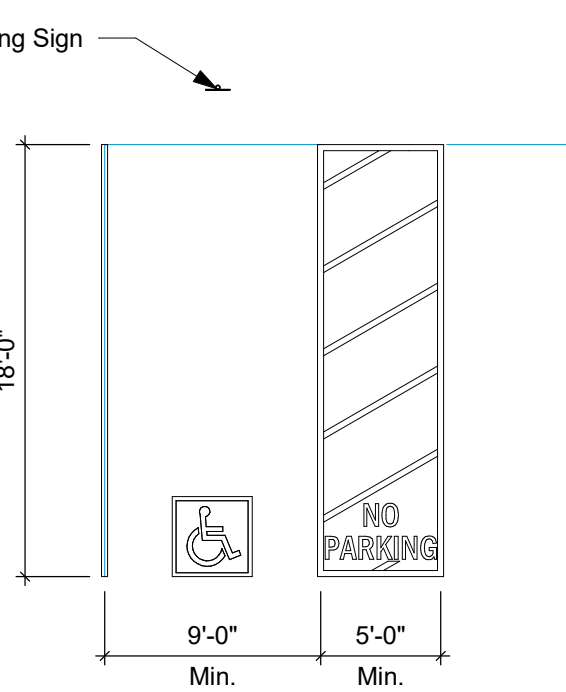
**Sidewalk Detail**  
1/2" = 1'-0"



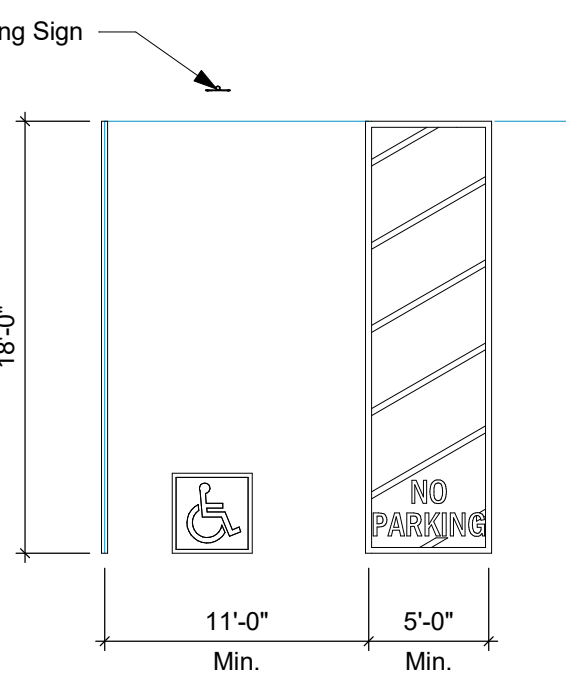
**Typical Parking Space**  
1/8" = 1'-0"



**ADA Parking Sign**  
1" = 1'-0"

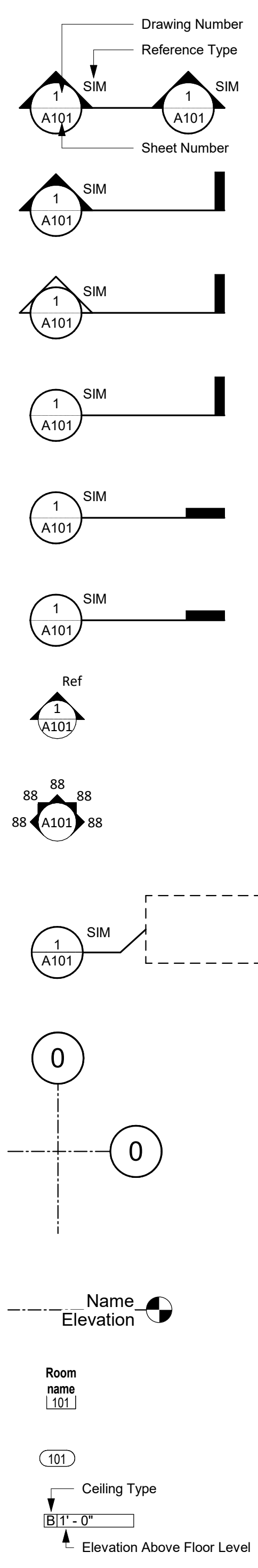


**Car Parking Space**



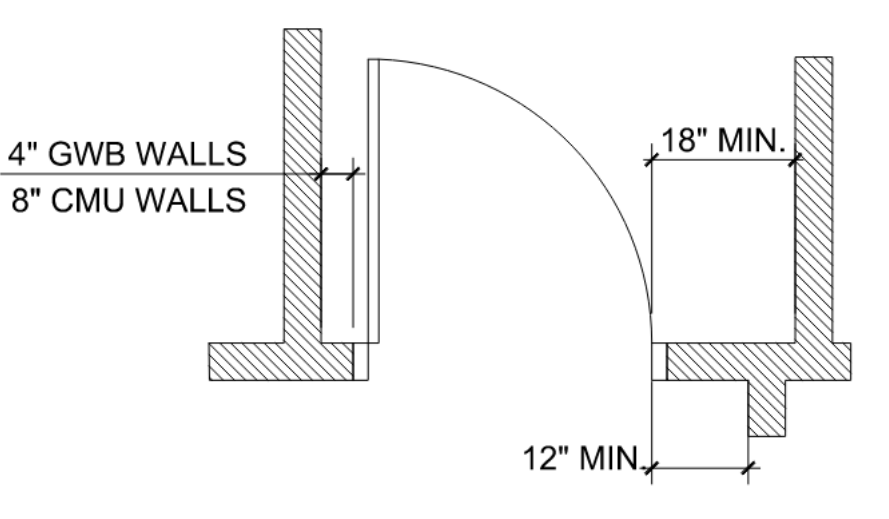
**Van Parking Space**

**ADA Parking**  
1/8" = 1'-0"



**Symbol Legend**  
1/2" = 1'-0"

**NOTE:**  
UNLESS OTHERWISE DIMENSIONED ON PLANS, INSTALL DOORS PER THE FOLLOWING DIMENSIONS LISTED BELOW (FACE OF FINISH WALL TO FACE OF FINISH WALL)



**Codes and Standards**

- THE INTERNATIONAL BUILDING CODE AND/OR STATE, COUNTY, CITY AND OTHER LAWS, CODES, ORDINANCES AND REGULATIONS, AS EACH MAY APPLY ACCORDING TO THE RULINGS OF THE CONTROLLING PUBLIC OFFICIAL, AGENT OR OTHER PERSON.
- APPLICABLE STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION, THE NATIONAL ELECTRIC CODE, APPLICABLE STATE PLUMBING CODES AND AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS.

**General Notes**

- AT ALL TIMES DURING THE PERFORMANCE OF THIS CONTRACT AND UNTIL THE WORK IS COMPLETED AND ACCEPTED, THE CONTRACTOR SHALL DIRECTLY SUPERINTEND THE WORK.
- IT SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ISOLATE ALL WORK AREAS IN SUCH A WAY AS TO PROTECT ADJACENT PROPERTY.
- CONFINE OPERATIONS TO AREA IMMEDIATELY ADJACENT TO CONSTRUCTION. KEEP WORK AREA, INCLUDING STORAGE AREAS, FREE FROM ACCUMULATION OF TRASH, DEBRIS, AND WASTE MATERIALS.
- ALL DEBRIS SHALL BE REMOVED FROM CONSTRUCTION SITE BY A RESPONSIBLE SUBCONTRACTOR AND ALL AREAS SHALL BE LEFT IN A CLEAN (ROOM) CONDITION AT ALL TIMES. PROVIDE A MINIMUM 20 YD CONSTRUCTION DUMPSTER FOR DISPOSAL OF DEBRIS.
- ALL MATERIALS TO BE INCORPORATED INTO CONSTRUCTION SHALL BE NEW.
- INSTALL MATERIALS, PRODUCTS, AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS.
- PROVIDE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- PROVIDE AND PAY FOR TEMPORARY UTILITIES.
- CONTRACTOR SHALL MAKE ALL NECESSARY PRECAUTIONS TO INSURE SAFETY ON THE JOB SITE AT ALL TIMES. PROTECT LIVES, HEALTH, AND SAFETY OF OTHERS.
- PREVENT DAMAGE TO PROPERTY, MATERIALS, SUPPLIES, AND EQUIPMENT. REPAIR ALL DAMAGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN (1) ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- AFTER CONTRACT IS AWARDED, PRODUCTS MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE OWNER. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS AND THE OWNER.
- ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- IT SHALL BE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH EXECUTION OF THE WORK.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMAN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF RED LINED PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE IN CARE OF THE JOB SUPERINTENDENT. "AS-BUILT" SETS OF DRAWINGS ARE TO BE TURNED OVER TO OWNER AT THE COMPLETION OF THE JOB.
- ALL EQUIPMENT ITEMS ARE CONTRACTOR FURNISHED. CONTRACTOR INSTALLED (UNLESS OTHERWISE NOTED), BACKING, ROUGHING AND HOOKUPS ARE BY GENERAL CONTRACTOR, G.C. TO REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL EXISTING STRUCTURAL MEMBERS TO REMAIN. CONTRACTOR TO PROTECT STRUCTURAL MEMBERS DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING SMOKE DETECTORS TO BE REPLACED WITH HUD COMPLIANT SMOKE DETECTORS.
- ALL EXISTING SHAFT OPENINGS ARE TO REMAIN. SHAFTS ARE TO BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING WINDOWS ARE TO REMAIN AS IS.
- ALL DOOR HARDWARE IN RESIDENT UNITS ARE TO BE REPLACED. ALL HARDWARE IN COMMON AREAS AND OFFICE AREAS ARE TO REMAIN AS IS. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- REMOVE ALL RANGE HOODS AND CORRESPONDING WALL SWITCHES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO REFER TO MATRIX FOR QUANTITY OF PTAC UNITS THAT ARE TO BE REMOVED AND REPLACED. CONTRACTOR TO PROVIDE GENERAL CLEANUP OF PTAC UNITS THAT ARE TO REMAIN. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- "AS-BUILT" DRAWINGS ARE AVAILABLE UPON REQUEST. DRAWINGS ARE FOR REFERENCE ONLY. G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. G.C. TO CONTACT OWNER FOR AS BUILT DRAWINGS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF APPLIANCES AS DIRECTED BY OWNER.

**Deduct Alternates**

- G.C. TO PROVIDE BID DEDUCT ALTERNATE FOR 3/4" PAINTED WOOD DOORS AND DRAWER FRONTS IN LIEU OF THERMOFOIL DOORS AND DRAWER FRONTS.

Northgate Terrace											
COVER PLATES	SINGLE GANGE BLANK		SINGLE GANGE OUTLET		SINGLE GANGE BLANK		SINGLE GANGE SWITCH		SINGLE GANGE SWITCH		SINGLE GANGE COVER
	W/O BUSH	W/ BUSH	W/O BUSH	W/ BUSH	W/O BUSH	W/ BUSH	W/O BUSH	W/ BUSH	W/O BUSH	W/ BUSH	
BR	7	10	3	3	7	3	3	1	1	1	1
BR	13	31	26	26	31	3	3	13	24	24	24
BR-HC	85	130	26	26	32	134	13	3	24	24	24
BR	1202	2002	201	201	202	1202	3	3	200	200	200
TOTAL	135	221	185	185	244	149	13	1	200	200	200

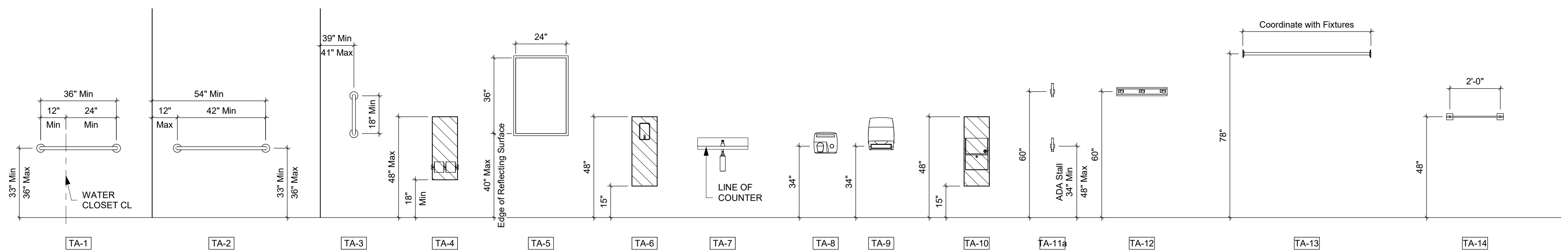
Common Area	Northgate Terrace						
	PTAC		MINI SPLIT UNIT	SPLIT HVAC CENTRAL UNIT	MISSING SCREEN FRAMES	REMOVE BASEGRADED HTR	FLOOR WITH DROP CEILING
	OLD	NEW					
14th Floor	3					1	
13th Floor	3			2		1	
12th Floor	3			1		1	
11th Floor	3			2		1	
10th Floor	3			2		1	
9th Floor	3			1		1	
8th Floor	3			3		1	
7th Floor	3			1		1	1
6th Floor	3					1	
5th Floor	3			1		1	
4th Floor	3					1	
3rd Floor	3			1		1	
2nd Floor	3					1	
1st Floor	10	6				1	1
Basement	0		2	3		1	
TOTAL	49	9	2	3	14	15	2

Floor Totals	Northgate Terrace																					
	REPLACE DOOR		REMOVE ACCORD DOOR		PTAC		SPLIT HVAC		WTR HTR		SND		BCK		ZEEP		ZEEF		DEBRIS DAMAGE			
	YES	LOC	YES	LOC	CLD	SETH	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	LOC		
1st Floor	1		0	3	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2nd Floor	11		18	3	21	11	2	0	1	0	0	0	0	0	0	0	0	0	0	0	0	
3rd Floor	4		20	4	19	6	3	1	0	0	0	0	0	0	0	0	0	0	0	0	0	
4th Floor	3		19	4	16	0	2	0	2	0	0	0	0	0	0	0	0	0	0	0	0	
5th Floor	4		19	1	20	0	1	0	3	0	0	0	0	0	0	0	0	0	0	0	0	
6th Floor	3		20	3	21	11	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	
7th Floor	0		18	2	22	13	2	0	2	0	0	0	0	0	0	0	0	0	0	0	0	
8th Floor	4		20	3	21	15	4	0	2	0	0	0	0	0	0	0	0	0	0	0	0	
9th Floor	3		19	4	16	0	0	1	1	0	0	0	0	0	0	0	0	0	0	0	0	
10th Floor	0		17	0	24	10	1	4	0	0	0	0	0	0	0	0	0	0	0	0	0	
11th Floor	7		20	3	21	15	1	3	2	0	0	0	0	0	0	0	0	0	0	0	0	
12th Floor	1		19	2	22	19	1	1	1	0	0	0	0	0	0	0	0	0	0	0	0	
13th Floor	4		20	3	21	15	1	4	1	0	0	0	0	0	0	0	0	0	0	0	0	
14th Floor	3		19	0	12	6	0	0	1	1	0	0	0	0	0	0	0	0	0	0	0	
51 Entry Doors																						
51 Interior Doors																						
TOTAL	70		229	41	222	142	18	35	17	0	0	0	0	0	0	0	0	0	0	0	0	

UNIT ACCESSORIES	Northgate Terrace									
	DOOR KNOB		DOOR STOP		BATHROOM		LIGHTS			
							BEDROOM	KITCHEN	LIVING ROOM	OTHER
EFFICIENCY			2	Fluorescent, Sgl			2	Fluorescent, Dbl		
1BR	2	2	2	Fluorescent, Sgl	12" BR, Closet		2	Fluorescent, Dbl	12"	8" Hall Closet
1BR-HC	4	3	2	Fluorescent, Sgl	12" BR, Closet		2	Fluorescent, Dbl	12"	8" Hall and Bath Closet
2 BR			2	Fluorescent, Sgl			4	Fluorescent, Dbl	2 - 12"	
TOTAL	6	5	6		6		6		0	0

Sch-Toilet Accessories		
Toilet Accessory Schedule		
Type Mark	Type Comments	Comments
TA-1	1-1/2" Dia. Grab Bar	
TA-2	1-1/2" Dia. Grab Bar	
TA-3	1-1/2" Dia. Grab Bar	
TA-4	Surface Mounted Toilet Tissue Dispenser	
TA-5	Surface Mounted Mirror; Refer To Elevations For More Information	
TA-6	Surface Mounted Soap Dispenser	
TA-7	Under Counter Soap Dispenser	
TA-8	Surface Mounted Hand Dryer	
TA-9	Surface Mounted Paper Towel Dispenser	
TA-10	Surface Mounted Sanitary Napkin Disposal	
TA-11a	Coat Hook	
TA-11b	Coat Hook - Accessible Height	
TA-12	Mop Holder	
TA-13	Shower Curtain Rod	
TA-14	Towel Bar	

- SCHEDULE IS PROVIDED FOR REFERENCE ONLY. REFER TO CONSTRUCTION DOCUMENTS FOR QUANTITIES AND LOCATIONS
- NOT ALL SCHEDULED EQUIPMENT MAY BE USED.
- FINAL PRODUCT SELECTION BY OWNER
- PROVIDE BLOCKING PER MFR. INSTALLATION INSTRUCTIONS
- ALL ITEMS TO BE INSTALLED PER APPLICABLE BUILDING CODES AND ADA



**Typical Mounting Heights**  
3/8" = 1'-0"

Consultants

Project Name  
**Northgate Terrace Renovation**

4301 Whittle Springs Road Knoxville, TN 37917

Client  
**Knoxville's Community Development Corporation**

901 N. Broadway Knoxville, TN 37917



Revisions		
No.	Description	Date
1	Addendum 1	Sep. 10, 2021

Project Notes & Legends

Project number 21KC01  
Date Aug. 23, 2021

**GO.002**

Scale As indicated









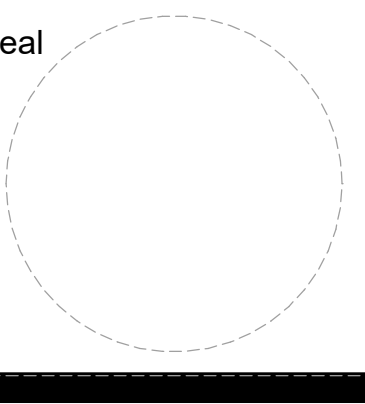










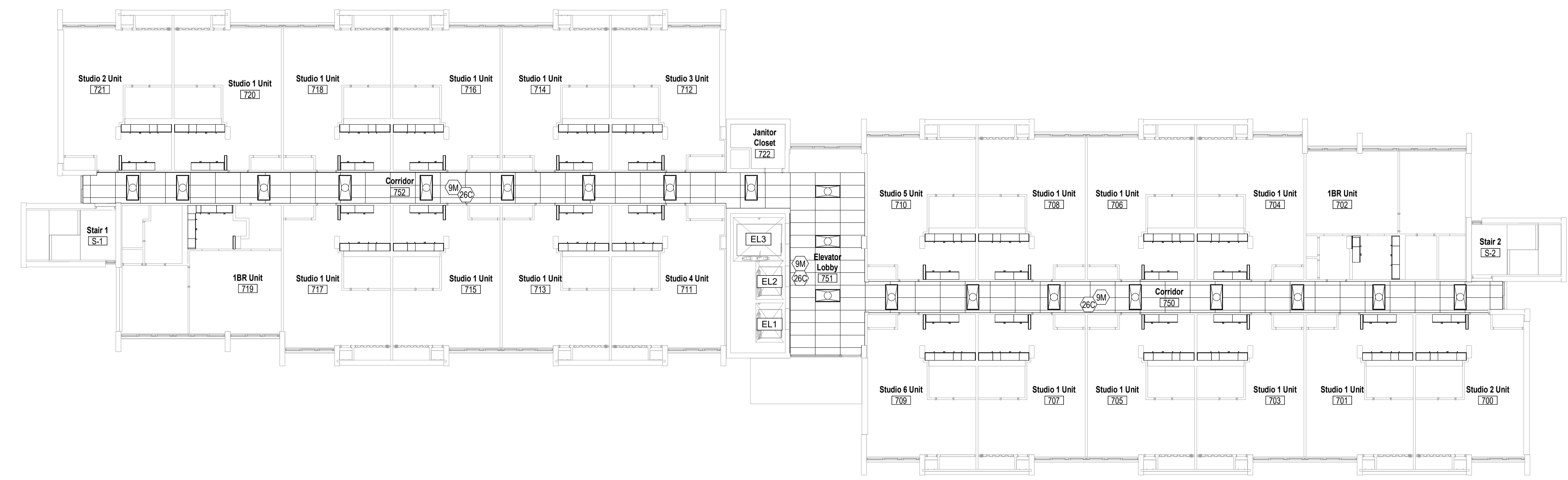


Revisions		
No.	Description	Date
1	Addendum 1	Sep. 10, 2021

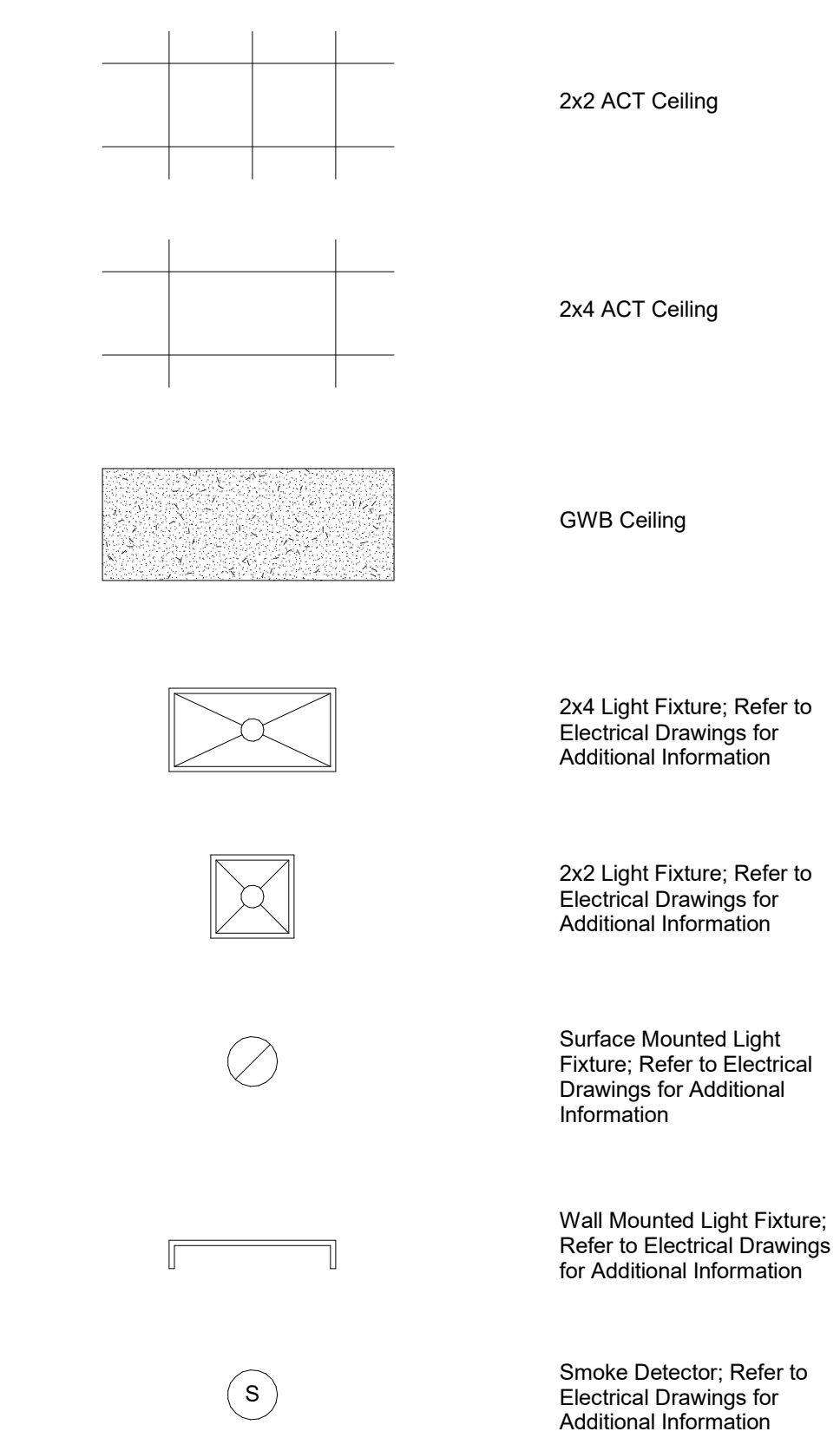
**Level 1 & 7 Overall Reflected Ceiling Plan**

Project number 21KC01  
Date Aug. 23, 2021

**A1.401**  
Scale As indicated



**2 Overall RCP- Level 7**  
A1.401 3/32" = 1'-0"



**RCP Symbol Legend**  
1/2" = 1'-0"

Selective ceiling tile replacement. Ceiling tile to match adjacent ceiling tile. Use salvaged ceiling tiles from Recreation Office 109 & 110.



**A: Existing Elevator Lobby 153 ceiling lights to remain.**

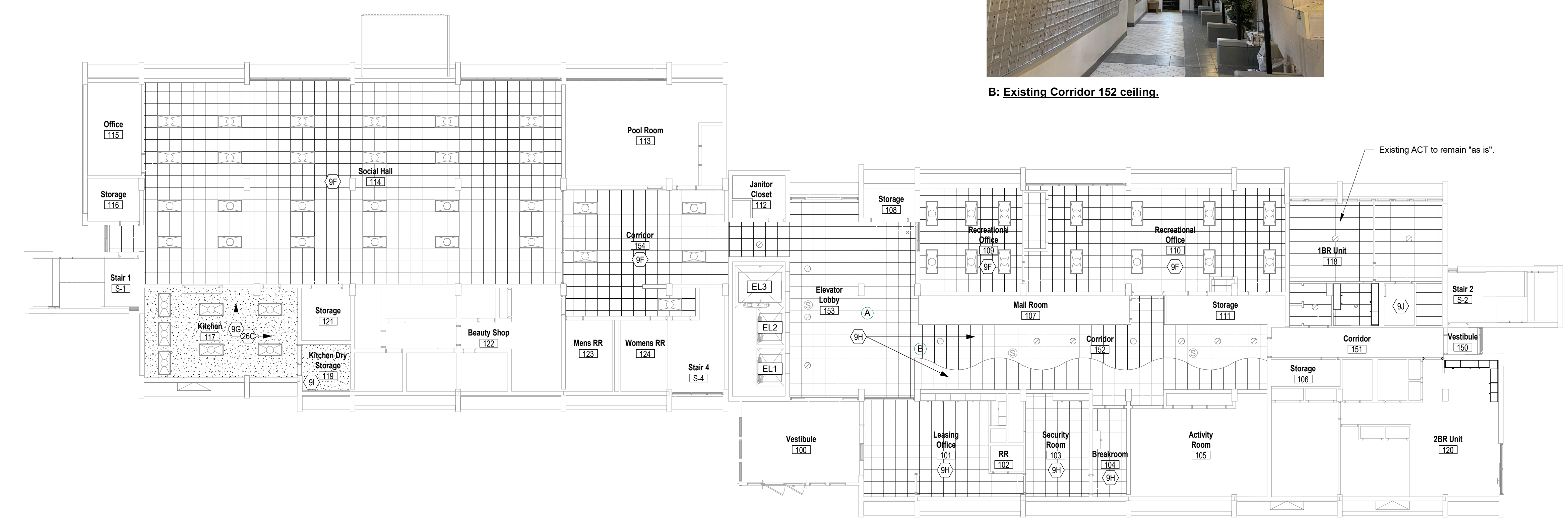


**B: Existing Corridor 152 ceiling.**

Selective ceiling tile replacement. Ceiling tile to match adjacent ceiling tile. Use salvaged ceiling tiles from Recreation Office 109 & 110.

Selective ceiling tile replacement. Ceiling tile to match adjacent ceiling tile (Color: Black on right side of Soffit).

- Reflected Ceiling Plan - Notes**
- REPLACE ALL LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - WHERE NO CEILING TAG OR CEILING FINISH IS SHOWN, NO WORK IS TO BE DONE. G.C. TO COORDINATE WITH OWNER.
  - G.C. TO VERIFY ALL LIGHT FIXTURE LOCATIONS.
  - IF ANY CEILINGS ARE DAMAGED AND ARE NOT IDENTIFIED ON THE UNIT MATRIX, G.C. TO CONTACT OWNER & ARCHITECT.
  - ALL NEW CEILINGS ARE TO BE INSTALLED AT THE SAME HEIGHT AS EXISTING CEILING.
  - REPLACEMENT OF A MINIMUM OF 100 CEILING TILES IN ELEVATOR LOBBY 153 AND CORRIDOR 152. G.C. TO PROVIDE UNIT PRICE FOR REPLACEMENT OF CEILING TILES IN ELEVATOR LOBBY 153 AND CORRIDOR 152.
  - ON FLOORS 2-13, IN RESIDENTIAL UNITS, REMOVE PART OF EXISTING CEILING IN RESTROOMS AS REQUIRED TO REMOVE AND REPLACE SANITARY LINES IN RESIDENTIAL UNITS ABOVE. PATCH, REPAIR, AND PAINT TO MATCH ADJACENT CEILING AFTER INSTALLATION OF NEW SANITARY LINES.
- | Key Value | Keynote Text   |
|-----------|--|
| 9I        | PAINT EXISTING CEILING (PAINT COLOR: WHITE)  |
| 9M        | NEW ACT CEILING; CEILING TO BE INSTALLED AT SAME HEIGHT AS EXISTING CEILING  |
| 26C       | NEW LED LIGHT FIXTURE; INSTALL IN SAME LOCATIONS AS EXISTING LIGHT FIXTURES; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION |



**1 Overall RCP- Level 1**  
A1.401 3/32" = 1'-0"

Existing ACT to remain "as is".



**Deduct Alternates**

1 G.C. TO PROVIDE BID DEDUCT ALTERNATE FOR 3/4" PAINTED WOOD DOORS AND DRAWER FRONTS IN LIEU OF THERMOFOIL DOORS AND DRAWER FRONTS

**Reflected Ceiling Plan - Notes**

1 REPLACE ALL LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

2 WHERE NO CEILING TAG OR CEILING FINISH IS SHOWN, NO WORK IS TO BE DONE. G.C. TO COORDINATE WITH OWNER

3 G.C. TO VERIFY ALL LIGHT FIXTURE LOCATIONS

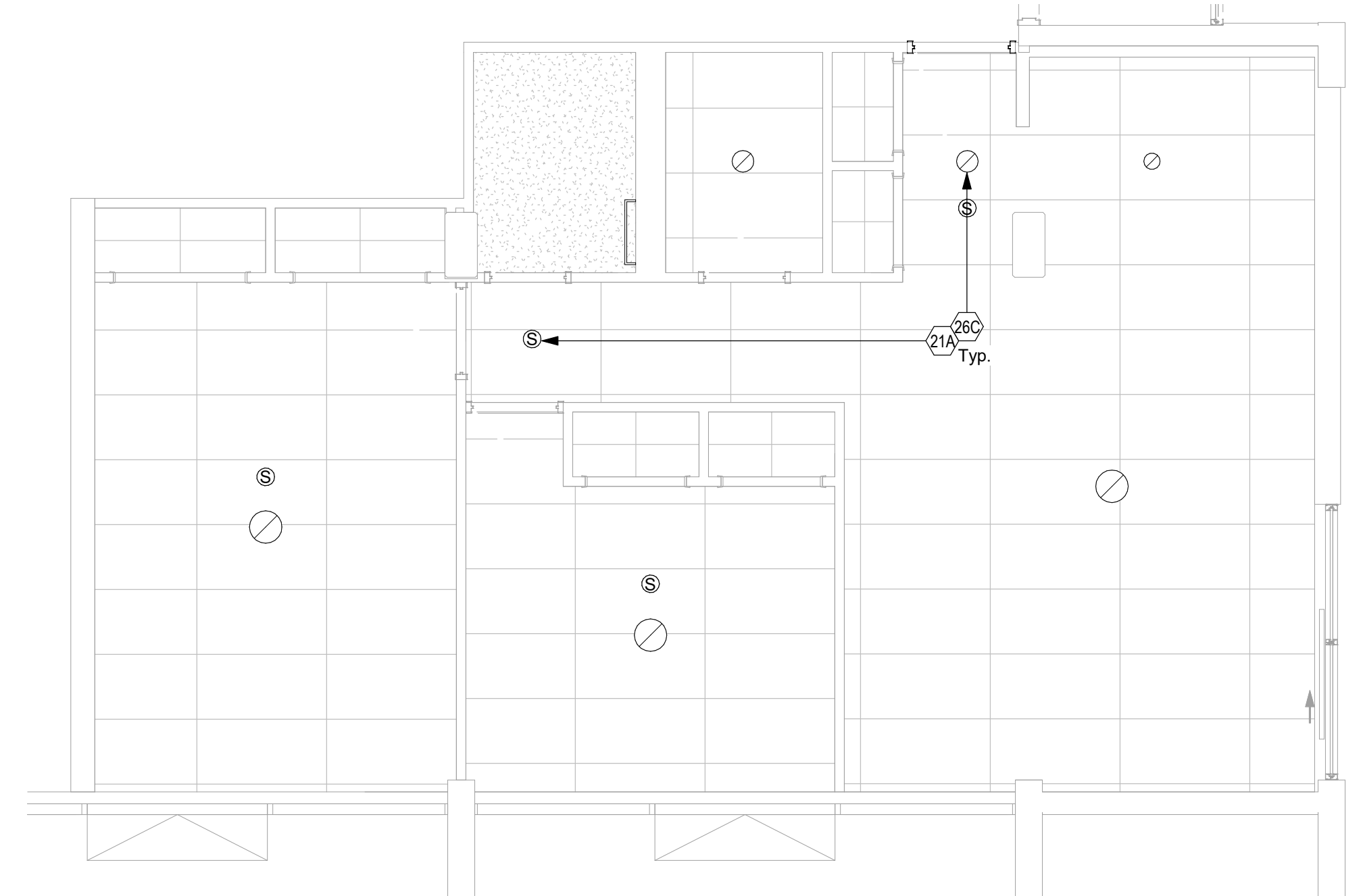
4 IF ANY CEILINGS ARE DAMAGED AND ARE NOT IDENTIFIED ON THE UNIT MATRIX, G.C. TO CONTACT OWNER & ARCHITECT

5 ALL NEW CEILINGS ARE TO BE INSTALLED AT THE SAME HEIGHT AS EXISTING CEILING

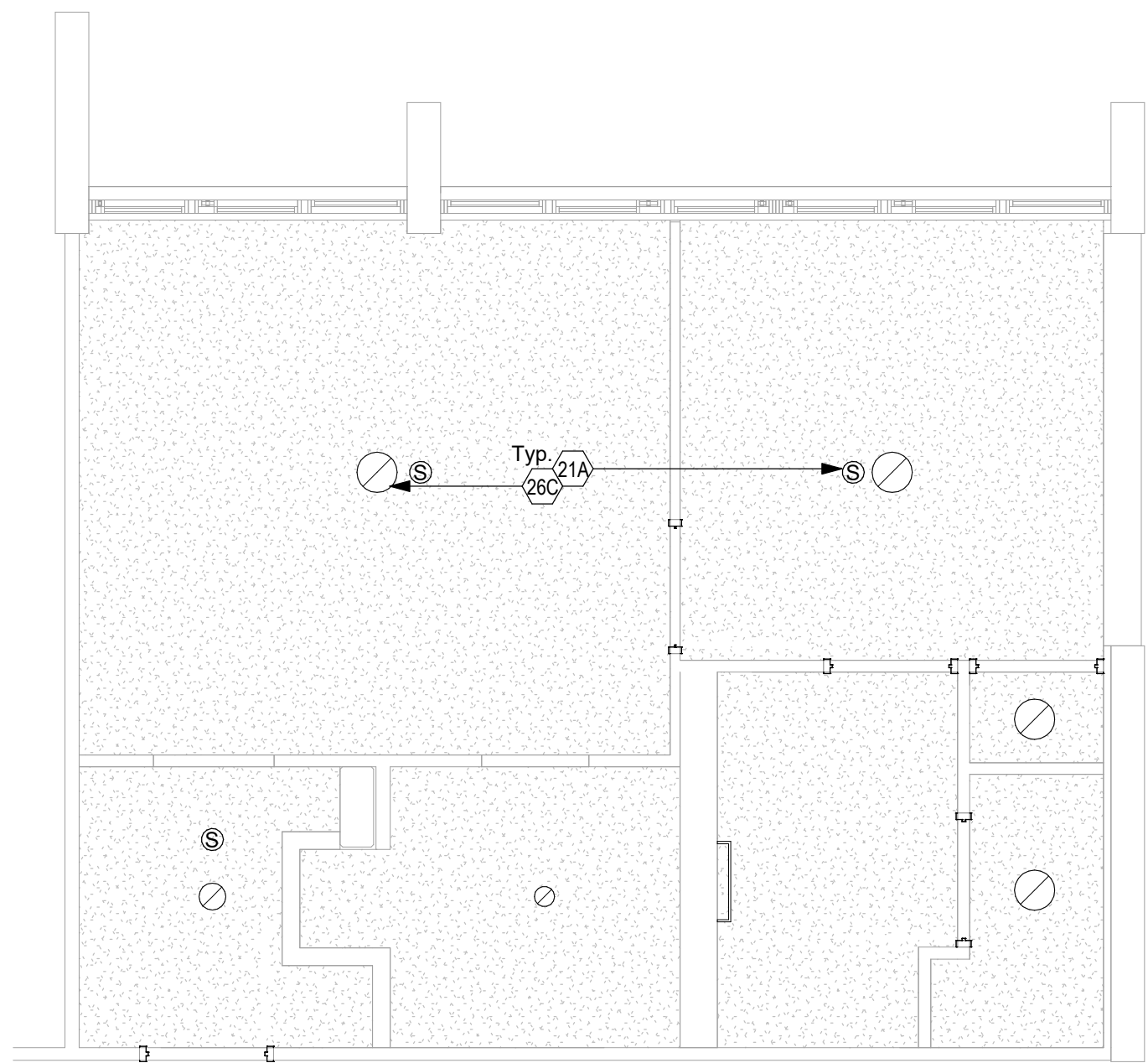
6 REPLACEMENT OF OF A MINIMUM OF 100 CEILING TILES IN ELEVATOR LOBBY 153 AND CORRIDOR 152. G.C. TO PROVIDE UNIT PRICE FOR REPLACEMENT OF CEILING TILES IN ELEVATOR LOBBY 153 AND CORRIDOR 152

7 ON FLOORS 2-13, IN RESIDENTIAL UNITS, REMOVE PART OF EXISTING CEILING IN RESTROOMS AS REQUIRED TO REMOVE AND REPLACE SANITARY LINES IN RESIDENTIAL UNITS ABOVE. PATCH, REPAIR, AND PAINT TO MATCH ADJACENT CEILING AFTER INSTALLATION OF NEW SANITARY LINES

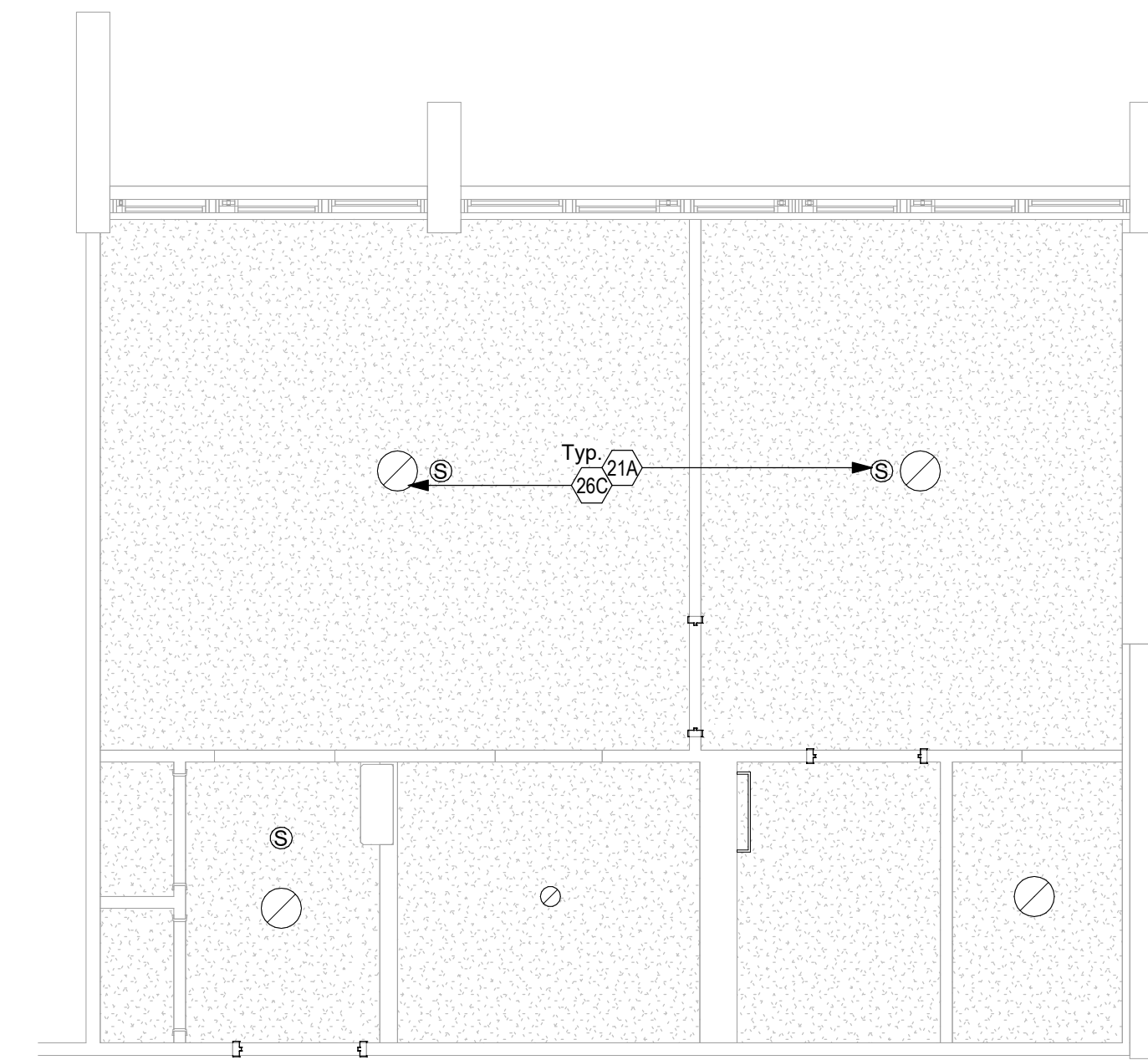
Key Value	Keynote Text
5A	NEW 5/8" GWB OVER 3-5/8" METAL STUD FRAMING AT 16" O.C., EXTEND NEW STUD WALL TO CEILING STRUCTURE ABOVE
8A	INSTALL NEW DOOR AND DOOR HARDWARE IN EXISTING DOOR FRAME PER UNIT MATRIX; REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
9A	NEW LVT FLOOR FINISH TO BE INSTALLED OVER EXISTING VINYL TILE OR CERAMIC TILE; INSTALL PER MANUFACTURER RECOMMENDATIONS; REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
9J	PATCH, REPAIR, AND PAINT EXISTING GWB CEILING AS REQUIRED PER UNIT MATRIX
9L	PATCH, REPAIR, AND SAND EXISTING GWB WALLS AS REQUIRED TO RECEIVE LEVEL 4 FINISH; PAINT EXISTING WALLS; REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION
11C	INSTALL NEW ADA VERTICAL GRAB BAR PER ADA GUIDELINES; REFER TO SHEET G0.002 FOR MOUNTING HEIGHTS
11D	NEW RANGE PER UNIT MATRIX; REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION
11E	NEW REFRIGERATOR PER UNIT MATRIX
12A	NEW KITCHEN CABINETS AND PLASTIC LAMINATE COUNTER TOPS; REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
21A	NEW HUD COMPLIANT BATTERY SMOKE DETECTOR; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
22B	INSTALL NEW KITCHEN SINK AND FAUCET
22C	INSTALL NEW HAND-HELD SHOWER HEADS
22D	INSTALL NEW WATER HEATER PER UNIT MATRIX
23A	THROUGH-WALL PTAC UNIT; INSTALL PTAC UNIT IN SAME OPENING AS THE PTAC UNIT THAT WAS REMOVED; CONTRACTOR TO VERIFY WITH OWNER ON WHICH PTACS ARE TO BE REMOVED AND REPLACED; REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
26A	NEW ELECTRICAL PANEL; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
26C	NEW LED LIGHT FIXTURE, INSTALL IN SAME LOCATIONS AS EXISTING LIGHT FIXTURES; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
26E	PROVIDE NEW ELECTRICAL OUTLET AS REQUIRED FOR NEW REFRIGERATOR; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
27A	PULL-CORD SYSTEM. G.C. TO COORDINATE WITH MANUFACTURER ON LOCATION. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION



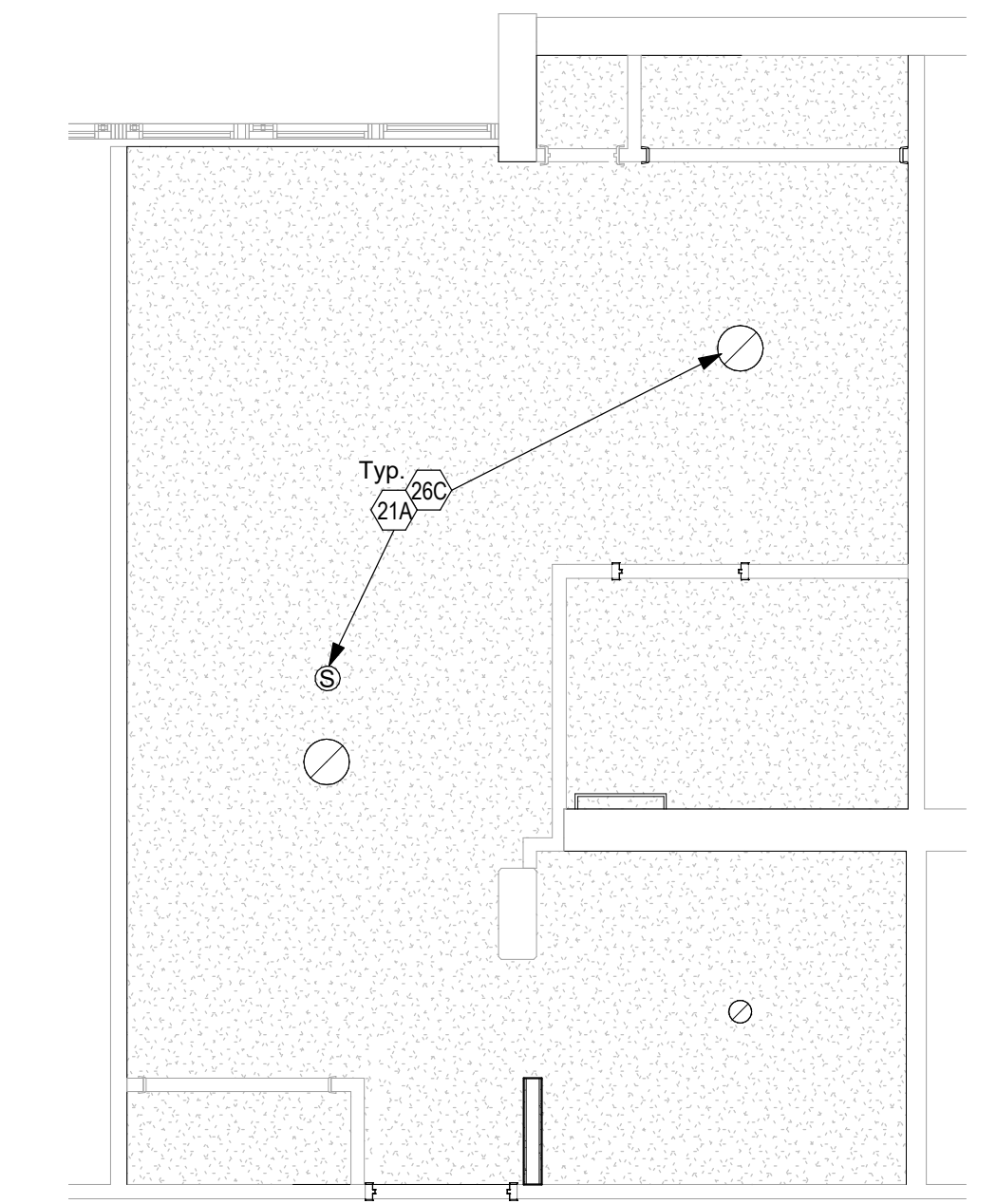
8 Enlarged RCP- Custodian Unit- 2BR  
A1.601 1/4" = 1'-0"



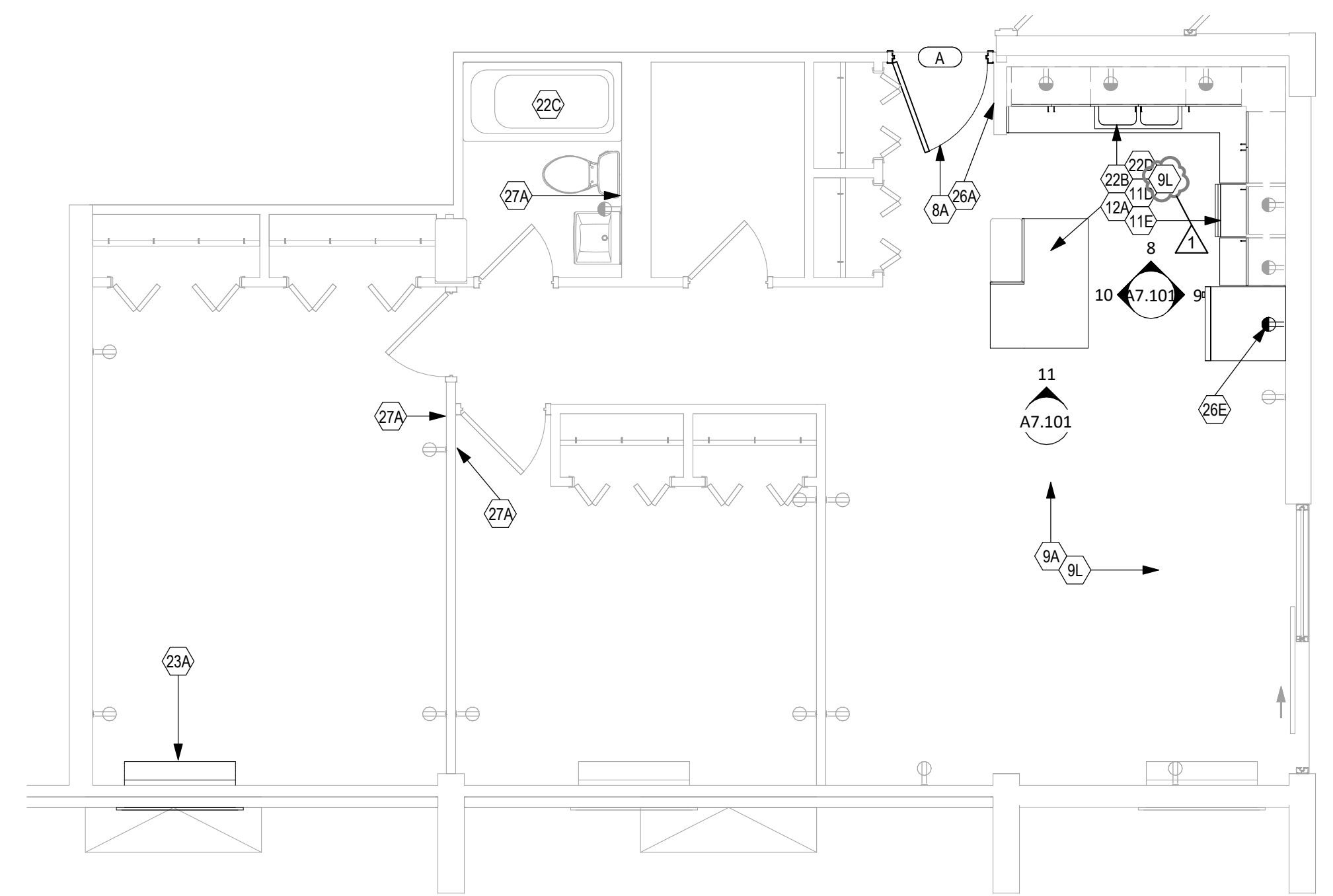
7 Enlarged RCP- 1BR ADA  
A1.601 1/4" = 1'-0"



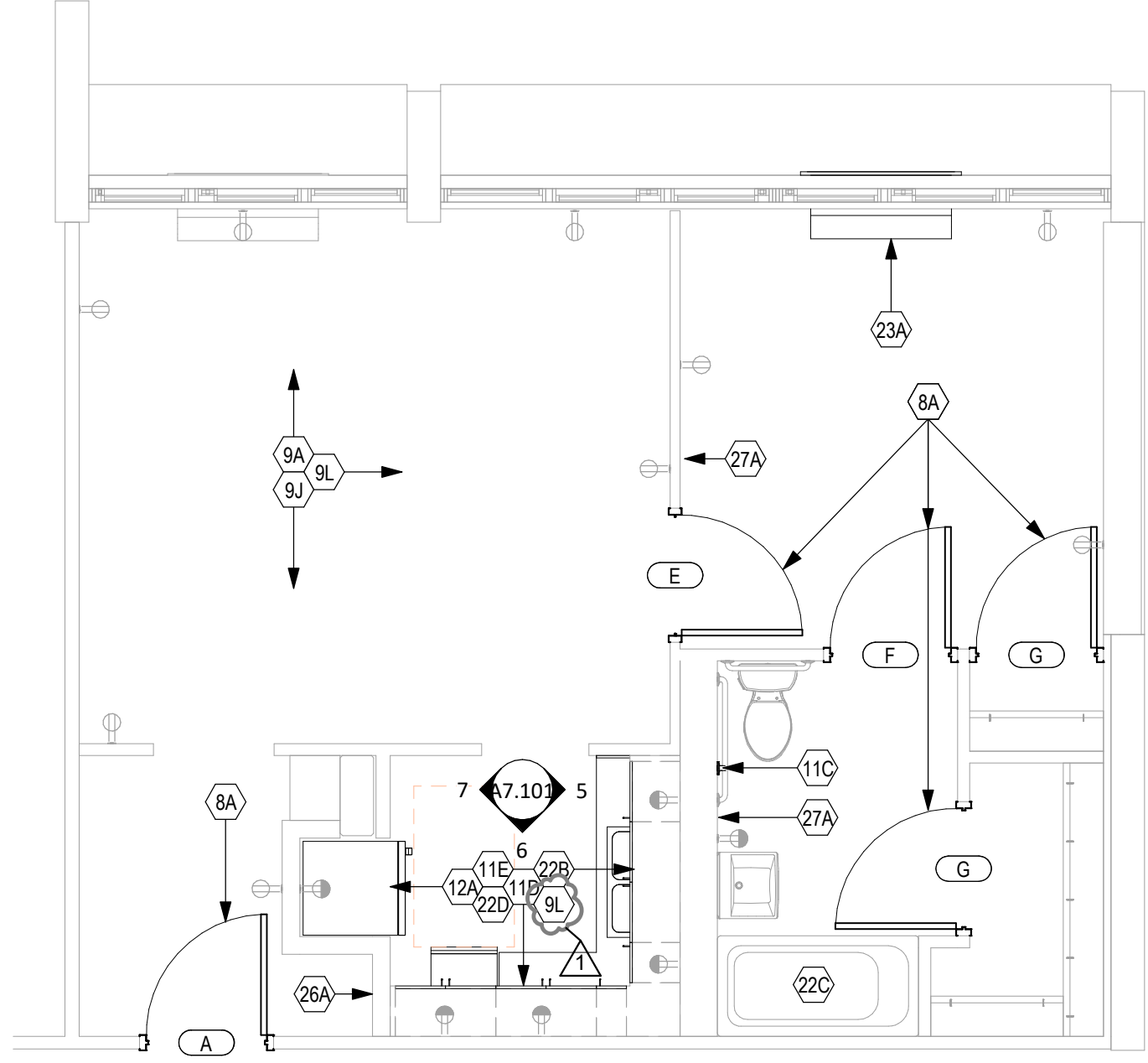
6 Enlarged RCP- 1BR  
A1.601 1/4" = 1'-0"



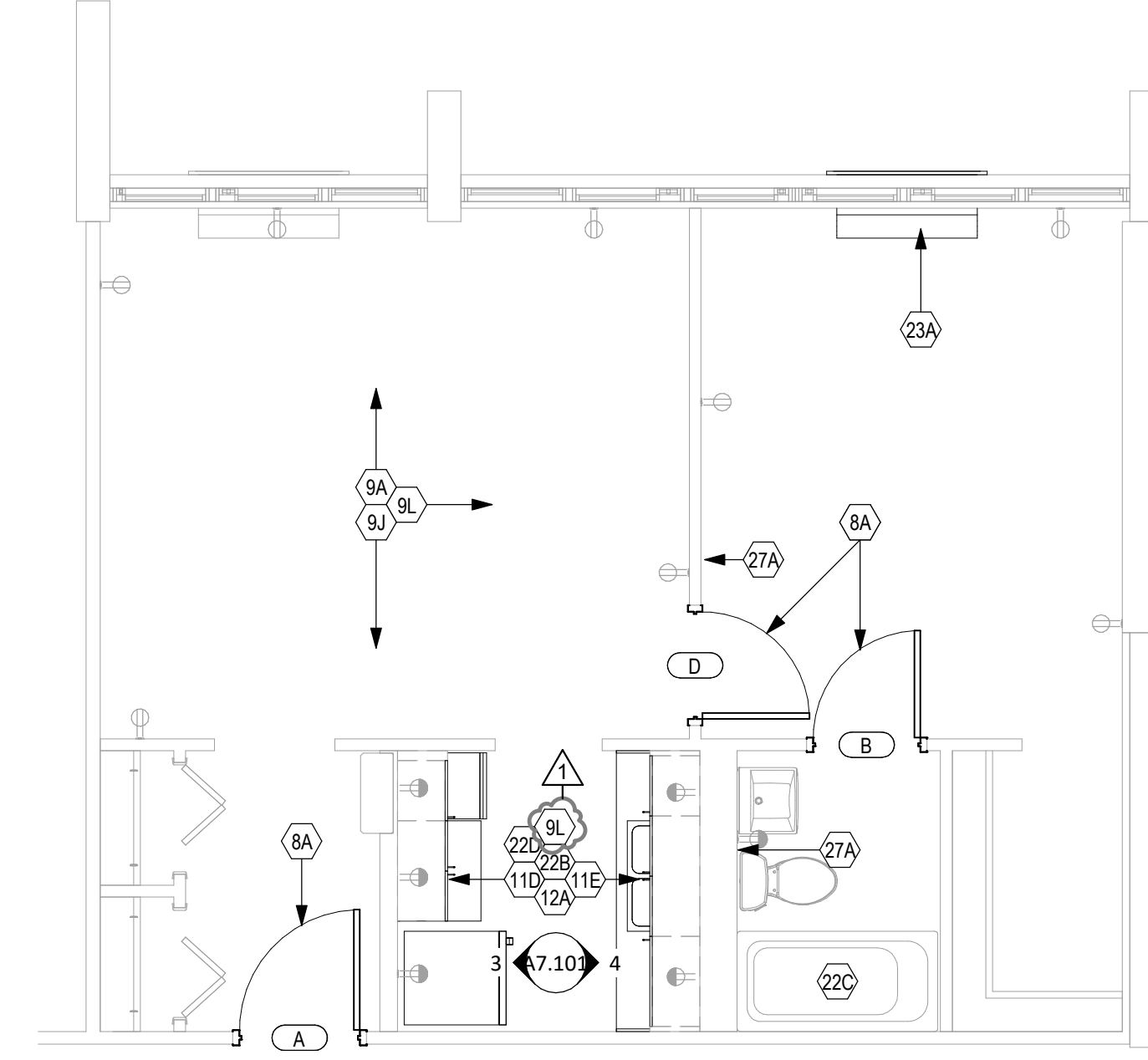
5 Enlarged RCP- Studio 1  
A1.601 1/4" = 1'-0"



4 Enlarged Plan- Custodian Unit- 2BR  
A1.601 1/4" = 1'-0"



3 Enlarged Plan-1BR ADA  
A1.601 1/4" = 1'-0"







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Consultants

Project Name

**Northgate  
Terrace  
Renovation**

4301 Whittle Springs Road  
Knoxville, TN 37917

Client

**Knoxville's  
Community  
Development  
Corporation**

901 N. Broadway Knoxville, TN  
37917

Seal

Revisions

No.	Description	Date
1	Addendum 1	Sep. 10, 2021

**Room & Door  
Schedule**

Project number 21KC01  
Date Aug. 23, 2021

**A3.101**

Scale As indicated

### INTERIOR FINISHES

FINISH	NO.	MATERIAL TYPE	REMARKS
LUXURY VINYL TILE (LVT)	1	Manufacturer: Mohawk Pattern/Style: Hayward Color: Talbot Size: 7.5' x 48"	"Or equal" - G.C. to provide sample to owner for final selection if they are providing a different product
CONCRETE	2	Stained Concrete	Refer to Specifications
BASE	3	Manufacturer: Mohawk Pattern/Style: Quarter Round Color: Talbot Size: 1/4"	"Or equal" - G.C. to provide sample to owner for final selection if they are providing a different product
PAINTED GWB	4A	PPG Color: KCDC Beige Love Towers Finish: Eggshell	
	4B	Paint color to match existing	G.C. to coordinate with owner on paint color
PAINTED CEILING	5	PPG Color: KCDC Beige Love Towers Finish: Eggshell	
CASEWORK	6	HUD Severe Wood Cabinets (Painted) Thermafoll Doors and Drawer Fronts Wirepull Hardware	Color TBD Deduct Alternate 1
COUNTERTOPS	7	Wilsonart 4882-38 "Oiled Soapstone" Post Formed Radius Edge	"Or equal" - G.C. to provide sample to owner for final selection if they are providing a different product
CEILING TILE	8A	Manufacturer: Armstrong Pattern/Style: Square Edge Color: White Size: 24"x24"	G.C. to provide sample to owner for final selection for black ceiling tiles
	8B	Ceiling tile to match adjacent existing ceiling tiles	G.C. to verify existing ceiling tiles

### UNIT FINISH SCEDULE

ROOM NAME	WALL	CEILING	MISC	DOORS	REMARKS
STUDIO	FLOORING				
1BR	1 3 4A	5	6 7 4A	4A	
1BR-ADA	1 3 4A	5	6 7 4A	4A	
2BR	1 3 4A	8A	6 7 4A	4A	

### ROOM FINISH SCEDULE

ROOM NAME	WALL	CEILING	MISC	REMARKS
CORRIDOR 050	2	4B		
KITCHEN 117		4B		
KITCHEN DRY STORAGE 119		4B		
SOCIAL HALL 114	1 3	4B	8A	
CORRIDOR 152		4B	8B	B
ELEVATOR LOBBY 153		4B	8B	B
CORRIDOR 154		4B	8A	
RECREATIONAL OFFICE 109		4B	8A	
RECREATIONAL OFFICE 110		4B	8A	
CORRIDOR 151	1 3	4B	4B	
CORRIDOR X50, X52	1 3	4B	8A	A
ELEVATOR LOBBY X51	1 3	4B	8A	A
ATRIUM 223	1 3			

#### FINISH GENERAL NOTES

- ALL LVT FLOORS ARE TO BE INSTALLED OVER EXISTING FLOOR FINISH. INSTALL LVT FLOOR PER MANUFACTURER RECOMMENDATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- WHERE ROOM NAME HAS X##, X REFERS TO FLOORS 2-14.

#### DEDUCT ALTERNATE

- G.C. TO PROVIDE BID DEDUCT ALTERNATE FOR 3/4" PAINTED WOOD DOORS AND DRAWER FRONTS IN LIEU OF THERMOFOLL DOORS AND DRAWER FRONTS.

#### REMARKS

- CEILING TILE IS ON 7TH FLOOR ONLY; REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION
- SELECTIVE CEILING TILE REPLACEMENT. CEILING TILES TO MATCH ADJACENT CEILING TILES. USE SALVAGED CEILING TILES FROM RECREATION OFFICE 109 & 110. G.C. TO VERIFY EXISTING CEILING TILES.

### DOOR SCHEDULE

DOOR TAG	ROOM NAME AND NUMBER	DOOR		FRAME		RATING	HARDWARE SET	REMARKS	
		TYPE	WIDTH	HEIGHT	TYPE				MATERIAL
RESIDENTIAL UNITS									
A	RESIDENTIAL UNITS	D1	3'-0"	6'-8"	WD	-	20MIN	1 OR 4	1,2,3,4
B		D1	2'-8"	6'-8"	WD	-	-	2	1,2,3
C		D2	PR 2'-9"	6'-8"	WD	F2	WD	5	1,2,3
D		D1	2'-8"	6'-8"	WD	-	-	2	1,2,3
E		D1	3'-0"	6'-8"	WD	-	-	2	1,2,3
G		D1	3'-0"	6'-8"	WD	-	-	3	1,2,3

### REMARKS

- G.C. TO VERIFY ALL EXISTING DOOR SIZES AND MATERIAL; G.C. TO CONTACT ARCHITECT IF DOORS VARY FROM DOOR SCHEDULE
- G.C. TO VERIFY DOOR SIZE WILL WORK WITH NEW FLOOR FINISH BEFORE INSTALLING NEW DOORS. G.C. TO CONTACT ARCHITECT IF DOOR SIZES WILL NOT WORK WITH NEW FLOOR FINISH
- G.C. TO REFER TO UNIT MATRIX FOR WHICH DOORS ARE TO BE REMOVED AND REPLACED
- ADA ENTRANCE DOORS ARE TO GET HARDWARE SET 4

### GENERAL NOTES

- ALL LATCHSETS AND LOCKSETS ARE TO HAVE ADA HANDLES
- ALL ACCORDION DOORS ARE TO BE REMOVED AND REPLACED WITH BI-FOLDING DOORS
- ENTRANCE DOORS ARE TO BE MASTER KEYED
- EXISTING DOOR FRAMES ARE TO REMAIN UNLESS NOTED
- HARDWARE FINISH TO BE SATIN NICKEL

### LEGEND

WD	SOLID CORE WOOD
----	-----------------

### HARDWARE SET

#### SET 1: SINGLE DOOR ENTRANCE

- 3 HINGES
- 1 LATCH SET (PRIVACY)
- 1 DEADBOLT
- 1 CLOSER
- 3 SILENCERS
- 1 WALL STOP

#### SET 2: SINGLE DOOR PRIVACY

- 3 HINGES
- 1 LATCH SET (PRIVACY)
- 3 DOOR SILENCERS

#### SET 3: STORAGE

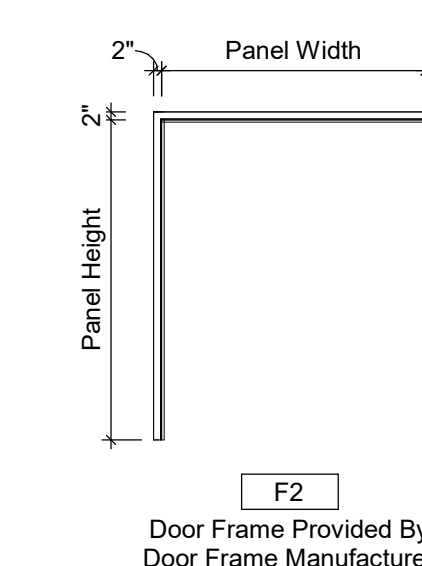
- 3 HINGES
- 1 LATCH SET (STORAGE)
- 3 SILENCERS

#### SET 4: SINGLE DOOR ENTRANCE ADA

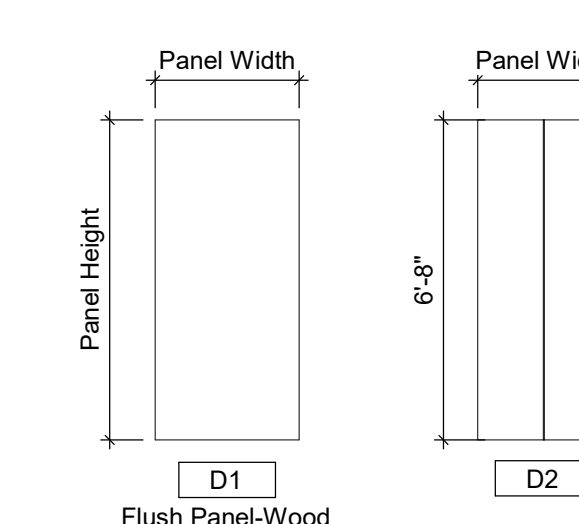
- 3 HINGES
- 1 LATCH SET (PRIVACY)
- 1 DEADBOLT
- 1 CLOSER
- 3 SILENCERS
- 1 WALL STOP
- 1 PEEP HOLE

#### SET 5: BI-FOLDING DOOR

HARDWARE PROVIDED BY DOOR MANUFACTURER



**3** Frame Legend  
A3.101 1/4" = 1'-0"



**2** Panel Legend  
A3.101 1/4" = 1'-0"