

# Northgate Terrace Renovation

4301 Whittle Springs Road  
Knoxville, TN 37917

August 23, 2021



Knoxville's Community Development Corporation  
901 N. Broadway Knoxville, TN 37917

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Project Architect

Owner

MEP

Owner Representative

General Contractor

SITE MAP

Studio A Architecture

KCDC

Genesis Engineering Group, Inc

Management Solutions

TBD

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Louisville, KY 40206  
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Knoxville, TN 37917  
865.403.1168

134 4th Avenue North  
Franklin, TN 37064  
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2202 Award Winning Way, Suite 201  
Knoxville, TN 37932  
865.963.0400

Address  
502.867.5309

### Building Code Information

### Accessibility Notes

### Building Analysis

### Revision Schedule

**PROJECT:** NORTHGATE TERRACE RENOVATION  
**ADDRESS:** 4301 WHITTLE SPRINGS ROAD, KNOXVILLE, TN 37917

1. THIS PROJECT IS SUBJECT TO THE FOLLOWING CODES WITH REGINAL AMENDMENTS:  
1.01 2018 INTERNATIONAL BLDG CODE (IBC)  
1.02 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
1.03 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
1.04 2018 INTERNATIONAL MECHANICAL CODE (IMC)  
1.05 2018 INTERNATIONAL PLUMBING CODE (IPC)  
1.06 2018 INTERNATIONAL FIRE CODE (IFC)  
1.07 2021 NATIONAL ELECTRICAL CODE (NEC)  
1.08 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
1.09 MINIMUM PROPERTY STANDARDS FOR HOUSING 1994 EDITION #P10.1  
1.10 2009 AND 12 L.A. ACCESSIBLE & USABLE BUILDINGS PER CHAPTER 11 OF IBC FAIR HOUSING ACCESSIBILITY GUIDELINES  
1.11 2015 ADA AMERICANS WITH DISABILITIES ACT

2. **ACCESSIBILITY STANDARDS**  
2.1 2009 AND 12 L.A. ACCESSIBLE & USABLE BUILDINGS PER CHAPTER 11 OF IBC FAIR HOUSING ACCESSIBILITY GUIDELINES  
2.2 FAIR HOUSING ACCESSIBILITY GUIDELINES  
2.3 2015 ADA AMERICANS WITH DISABILITIES ACT

PROJECT DESCRIPTION	BLDG	DESCRIPTION	USE GROUP	CONSTRUCTION TYPE
3.1	NORTHGATE TERRACE	14 FLOORS: 274 UNITS (EXISTING) BASEMENT	R-2 (EXISTING)	3A (EXISTING)

4. **AREA**  
4.1 EXISTING AREA 156,000

- ACCESSIBLE UNITS SHALL COMPLY WITH THE ACCESSIBLE GUIDELINES (A PORTION OF THESE GUIDELINES ARE LISTED BELOW).
- CHANGES IN LEVEL GREATER THAN 1/2" ARE NOT ALLOWED. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- ALL SWITCHES AND CONTROLS SHALL BE LOCATED AT A MAXIMUM OF 48" A.F.F. IF SWITCHES ARE MOUNTED OVER AN OBSTRUCTION, A MAXIMUM HEIGHT OF 46" A.F.F. IS ALLOWED. ALL ELECTRICAL OUTLETS SHALL BE LOCATED AT A MINIMUM OF 18" AND A MAXIMUM OF 48" A.F.F. IF OUTLETS ARE MOUNTED OVER AN OBSTRUCTION, A MAXIMUM HEIGHT OF 46" A.F.F. IS ALLOWED AND IT MUST BE LOCATED A MINIMUM OF 36" FROM A CORNER.
- WALLS IN BATHROOMS MUST BE REINFORCED FOR THE ADDITION OF GRAB BARS. FOR MORE INFORMATION, SEE PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS.
- WIDE ANGLE PEEP HOLES FOR USE BY SEATED INDIVIDUALS SHALL BE PROVIDED IN ENTRY DOORS.
- AUXILIARY VISUAL ALARMS ALERTING OCCUPANTS OF INCOMING TELEPHONE CALLS AND DOOR KNOCK OR BELL, SHALL BE PROVIDED IN ACCORDANCE TO ACCESSIBLE REQUIREMENTS.

**PROPERTY BUILDING IMPROVEMENT SQUARE FOOTAGE TABULATION**

**NORTHGATE TERRACE RENOVATION**  
Location: Knoxville, TN 37917

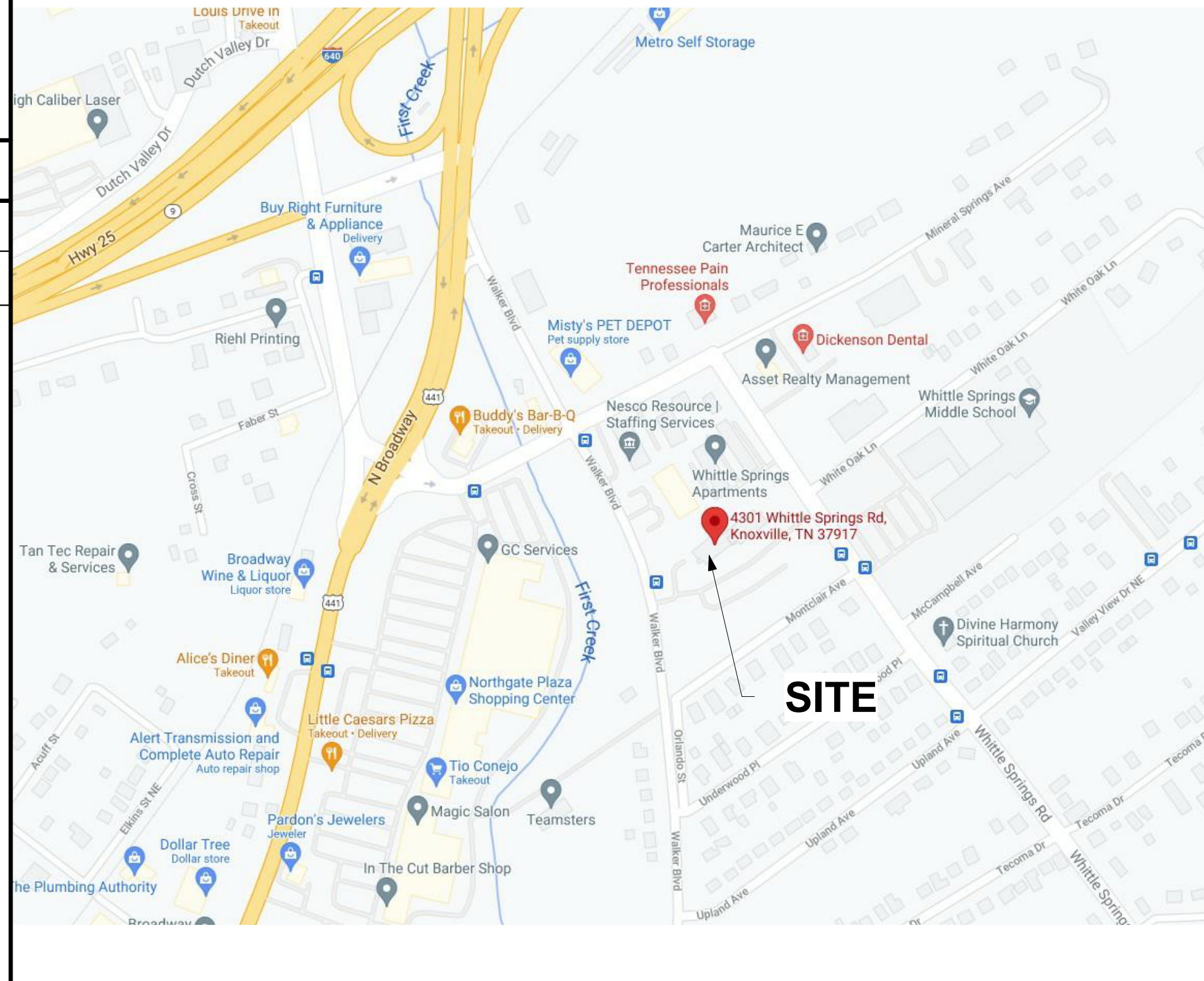
FLOORS	UNITS TYPES - AFTER RENOVATION						ESTIMATED - PER FLOOR				
	Studio-1	Studio-2	Studio-3	Studio-4	Studio-5	1BR	1BR-4C	2BR	TOTAL	HUD MSFP	HUD GSF
INT.FLOOR	0	0	0	0	0	0	0	0	2 UNITS	1,244 MSFP	1,372 GSF
1ST FLOOR	14	2	1	1	1	0	0	0	20 UNITS	7,719 MSFP	8,721 GSF
2ND FLOOR	14	2	1	1	1	0	0	0	21 UNITS	7,744 MSFP	8,756 GSF
3RD FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
4TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
5TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
6TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
7TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
8TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
9TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
10TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
11TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
12TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
13TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
14TH FLOOR	14	2	1	1	1	0	0	0	22 UNITS	8,132 MSFP	9,238 GSF
ROOF FLOOR	7	1	0	0	1	1	0	0	11 UNITS	4,588 MSFP	4,761 GSF
<b>Total:</b>	<b>175</b>	<b>25</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>11</b>	<b>13</b>	<b>13</b>	<b>274 UNITS</b>	<b>191,626 MSFP</b>	<b>119,804 GSF</b>

UNIT TYPES	HUD MSFP	HUD GSF	Unit Description	Notes:
STUDIO-1	357	422	1 Studio, 1 Bath	
STUDIO-2	351	408	1 Studio, 1 Bath	
STUDIO-3	358	411	1 Studio, 1 Bath	
STUDIO-4	377	442	1 Studio, 1 Bath	
STUDIO-5	362	426	1 Studio, 1 Bath	Existing Standard Units
1BR	472	544	1 BR, 1 Bath	
1BR-4C	458	544	1 BR, 1 Bath, Accessible	
2BR	172	818	2 BR, 1 Bath	

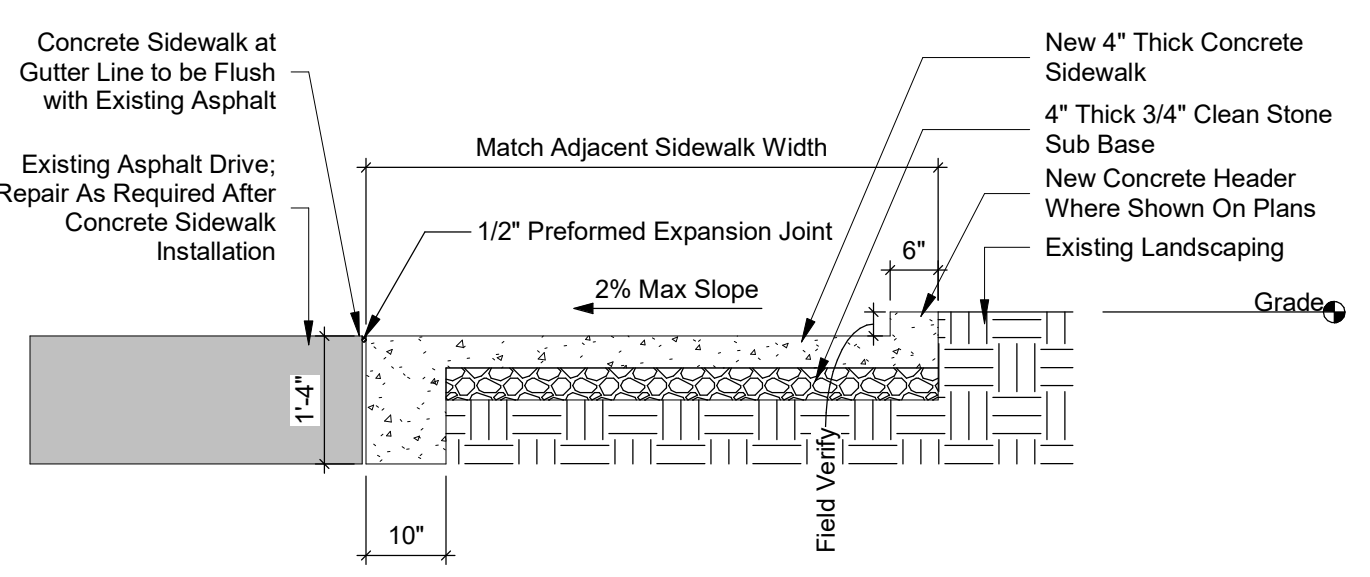
Total Dwelling Units Figures	
Studio Units	247 UNITS
1 Bedroom Units	26 UNITS
2 Bedroom Units	1 UNITS
Existing Units, Total (HUD MSFP)	274 UNITS
Dwelling Units, Total (HUD GSF)	119,804 GSF

Accessibility	5% Required	2% Required	5% Provided	2% Provided
157	13	5	5	6

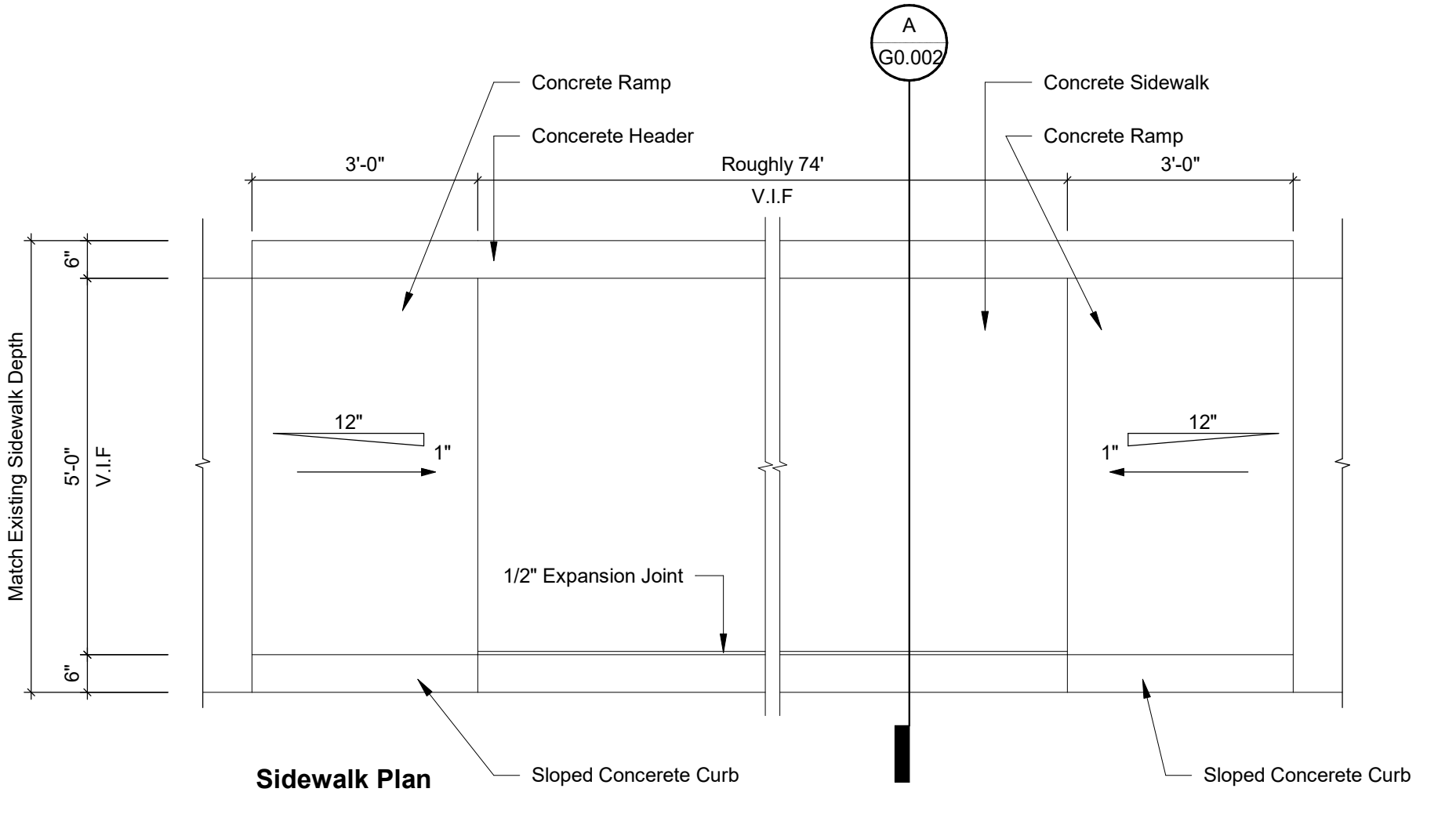
Revision Number	Revision Description	Revision Date
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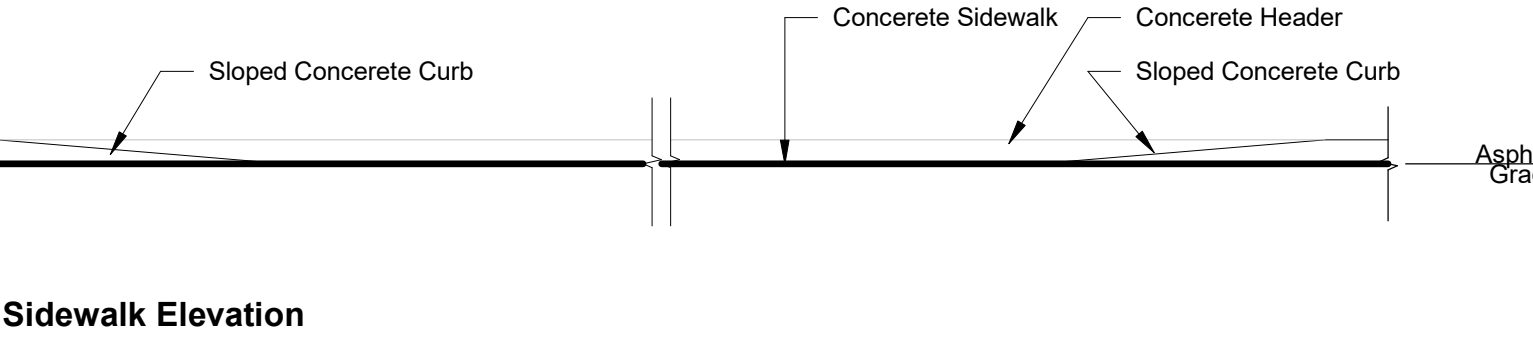




**A Sidewalk Section**  
GO.002 1/2" = 1'-0"



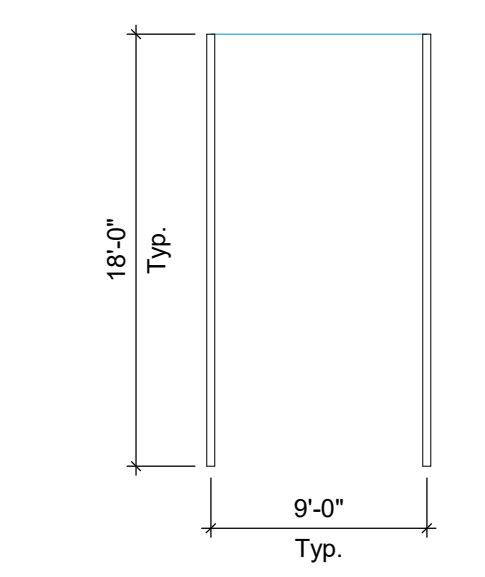
**Sidewalk Plan**



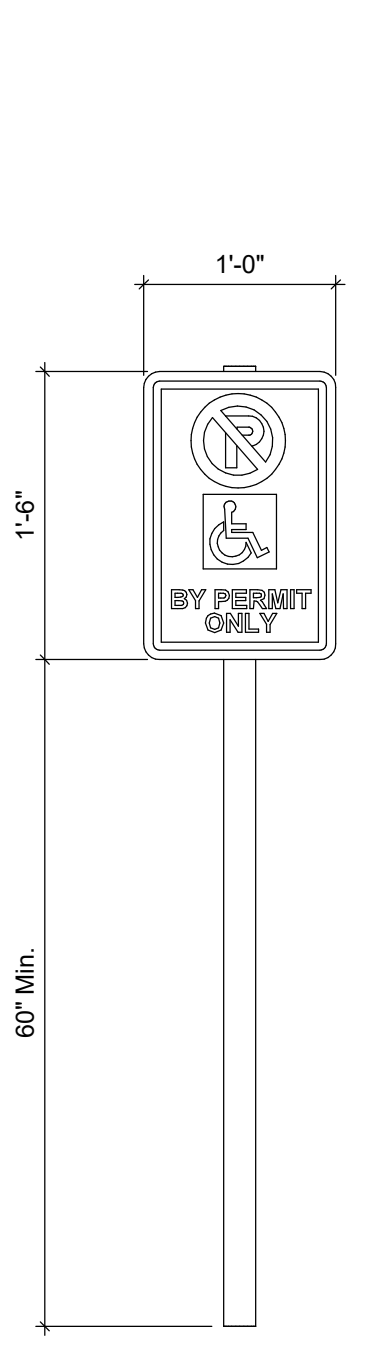
**Sidewalk Elevation**

Note:  
G.C. to verify height of existing sidewalk above existing asphalt drive to determine height of concrete curb.

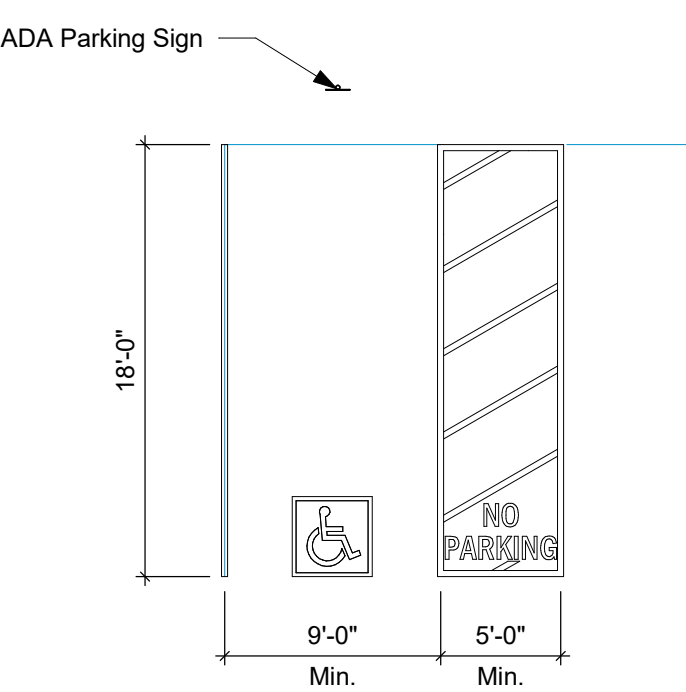
**Sidewalk Detail**  
1/2" = 1'-0"



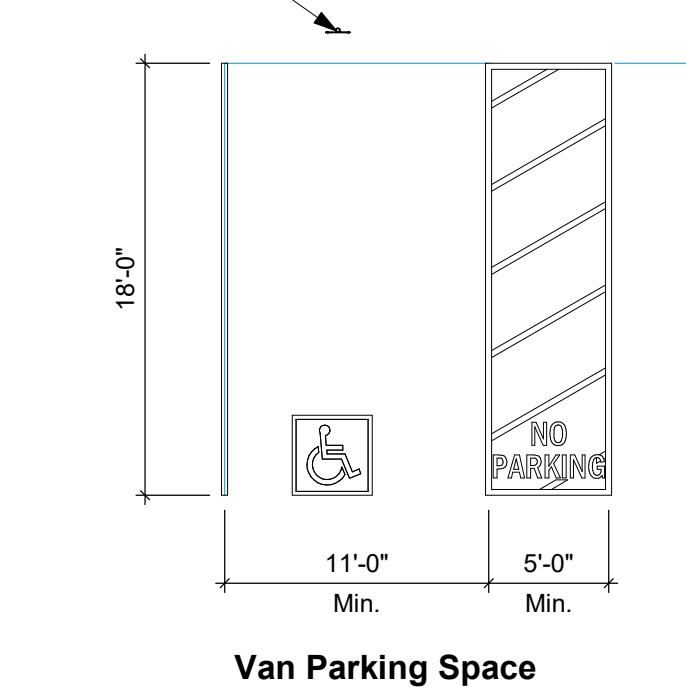
**Typical Parking Space**  
1/8" = 1'-0"



**ADA Parking Sign**  
1" = 1'-0"

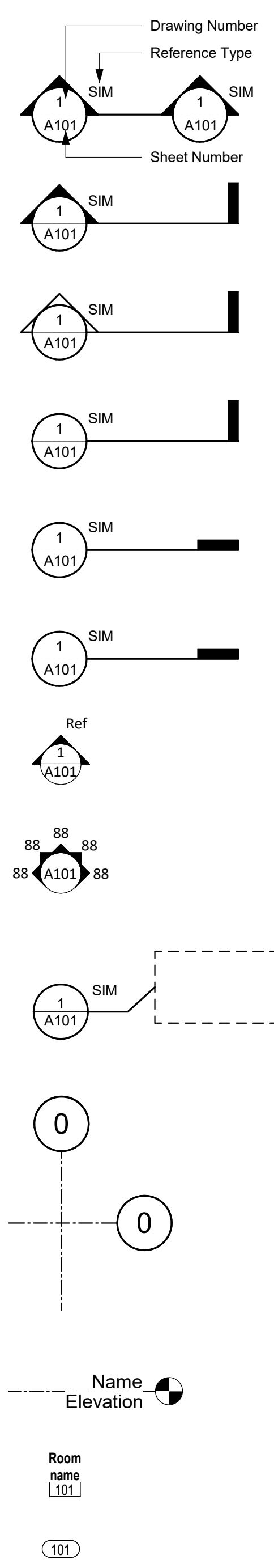


**Car Parking Space**



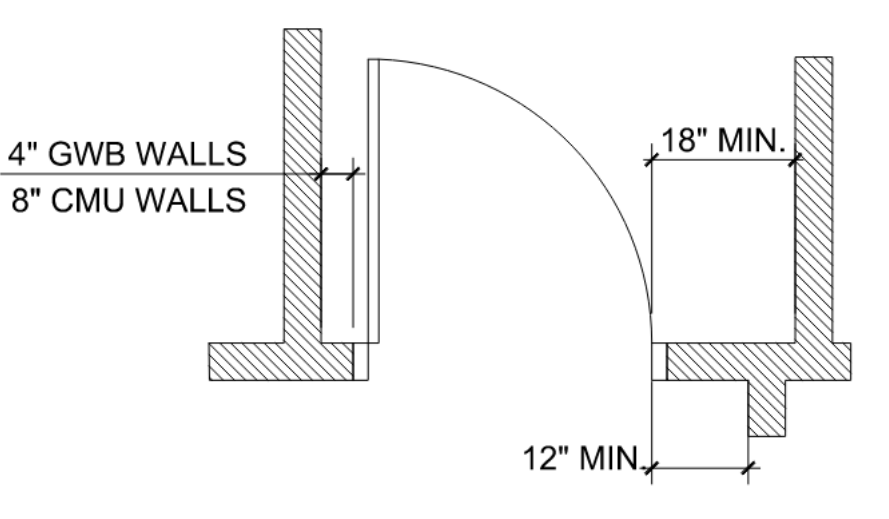
**Van Parking Space**

**ADA Parking**  
1/8" = 1'-0"



**Symbol Legend**  
1/2" = 1'-0"

**NOTE:**  
UNLESS OTHERWISE DIMENSIONED ON PLANS, INSTALL DOORS PER THE FOLLOWING DIMENSIONS LISTED BELOW (FACE OF FINISH WALL TO FACE OF FINISH WALL)



**Codes and Standards**

- 1 THE INTERNATIONAL BUILDING CODE AND/OR STATE, COUNTY, CITY AND OTHER LAWS, CODES, ORDINANCES AND REGULATIONS, AS EACH MAY APPLY ACCORDING TO THE RULINGS OF THE CONTROLLING PUBLIC OFFICIAL, AGENT OR OTHER PERSON.
- 2 APPLICABLE STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION, THE NATIONAL ELECTRIC CODE, APPLICABLE STATE PLUMBING CODES AND AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS.

**General Notes**

- 1 AT ALL TIMES DURING THE PERFORMANCE OF THIS CONTRACT AND UNTIL THE WORK IS COMPLETED AND ACCEPTED, THE CONTRACTOR SHALL DIRECTLY SUPERINTEND THE WORK.
- 2 IT SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ISOLATE ALL WORK AREAS IN SUCH A WAY AS TO PROTECT ADJACENT PROPERTY.
- 3 CONFINE OPERATIONS TO AREA IMMEDIATELY ADJACENT TO CONSTRUCTION. KEEP WORK AREA, INCLUDING STORAGE AREAS, FREE FROM ACCUMULATION OF TRASH, DEBRIS, AND WASTE MATERIALS.
- 4 ALL DEBRIS SHALL BE REMOVED FROM CONSTRUCTION SITE BY A RESPONSIBLE SUBCONTRACTOR AND ALL AREAS SHALL BE LEFT IN A CLEAN (ROOM) CONDITION AT ALL TIMES. PROVIDE A MINIMUM 20 YD CONSTRUCTION DUMPSTER FOR DISPOSAL OF DEBRIS.
- 5 ALL MATERIALS TO BE INCORPORATED INTO CONSTRUCTION SHALL BE NEW.
- 6 INSTALL MATERIALS, PRODUCTS, AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS.
- 7 PROVIDE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- 8 PROVIDE AND PAY FOR TEMPORARY UTILITIES.
- 9 CONTRACTOR SHALL MAKE ALL NECESSARY PRECAUTIONS TO INSURE SAFETY ON THE JOB SITE AT ALL TIMES. PROTECT LIVES, HEALTH, AND SAFETY OF OTHERS.
- 10 PREVENT DAMAGE TO PROPERTY, MATERIALS, SUPPLIES, AND EQUIPMENT. REPAIR ALL DAMAGES.
- 11 THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN (1) ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- 12 AFTER CONTRACT IS AWARDED, PRODUCTS MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE OWNER. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS AND THE OWNER.
- 13 ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 14 IT SHALL BE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH EXECUTION OF THE WORK.
- 15 APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMAN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF RED LINED PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE IN CARE OF THE JOB SUPERINTENDENT. "AS-BUILT" SETS OF DRAWINGS ARE TO BE TURNED OVER TO OWNER AT THE COMPLETION OF THE JOB.
- 16 ALL EQUIPMENT ITEMS ARE CONTRACTOR FURNISHED. CONTRACTOR INSTALLED (UNLESS OTHERWISE NOTED), BACKING, ROUGHING AND HOOKUPS ARE BY GENERAL CONTRACTOR, G.C. TO REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 17 ALL EXISTING STRUCTURAL MEMBERS TO REMAIN. CONTRACTOR TO PROTECT STRUCTURAL MEMBERS DURING ALL PHASES OF CONSTRUCTION.
- 18 ALL EXISTING SMOKE DETECTORS TO BE REPLACED WITH HUD COMPLIANT SMOKE DETECTORS.
- 19 ALL EXISTING SHAFT OPENINGS ARE TO REMAIN. SHAFTS ARE TO BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
- 20 ALL EXISTING WINDOWS ARE TO REMAIN AS IS.
- 21 ALL DOOR HARDWARE IN RESIDENT UNITS ARE TO BE REPLACED. ALL HARDWARE IN COMMON AREAS AND OFFICE AREAS ARE TO REMAIN AS IS. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 22 REMOVE ALL RANGE HOODS AND CORRESPONDING WALL SWITCHES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 23 CONTRACTOR TO REFER TO MATRIX FOR QUANTITY OF PTAC UNITS THAT ARE TO BE REMOVED AND REPLACED. CONTRACTOR TO PROVIDE GENERAL CLEANUP OF PTAC UNITS THAT ARE TO REMAIN. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 24 "AS-BUILT" DRAWINGS ARE AVAILABLE UPON REQUEST. DRAWINGS ARE FOR REFERENCE ONLY. G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. G.C. TO CONTACT OWNER FOR AS BUILT DRAWINGS.
- 25 CONTRACTOR IS TO REMOVE AND DISPOSE OF APPLIANCES AS DIRECTED BY OWNER.

**Deduct Alternates**

- 1 G.C. TO PROVIDE BID DEDUCT ALTERNATE FOR 3/4" PAINTED WOOD DOORS AND DRAWER FRONTS IN LIEU OF THERMOFOIL DOORS AND DRAWER FRONTS.

Northgate Terrace											
COVER PLATES	SINGLE GANGE BLANK		SINGLE GANGE OUTLET		SINGLE GANGE BLANK		SINGLE GANGE SWITCH		SINGLE GANGE SWITCH		SINGLE GANGE COVER
	W/O BRN	W/O BRN	W/O BRN	W/O BRN	W/O BRN	W/O BRN	W/O BRN	W/O BRN	W/O BRN		
BR	7	10	3	3	7	3	3	1	1	1	1
BR	13	31	26	26	26	31	3	3	13	24	24
BR-HC	85	130	26	32	32	34	13	3	3	25	25
BR	1202	2002	201	201	201	201	3	3	200	200	200
TOTAL	1305	2231	185	184	184	185	13	3	200	200	200

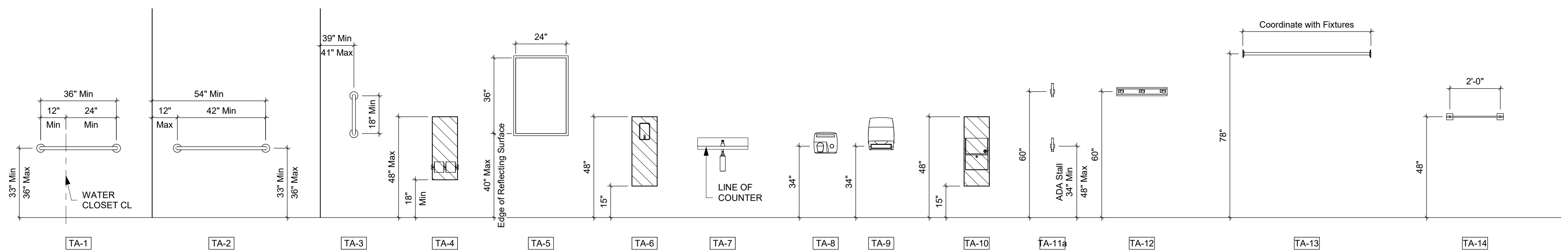
Common Area	PTAC		MINI SPLIT UNIT		SPLIT HVAC CENTRAL UNIT		MISSING SCREEN FRAMES		REMOVE BASEGRADED HTR		FLOOR WITH DROP CEILING	
	OLD	NEW										
14th Floor	3									1		
13th Floor	3						2			1		
12th Floor	3						1					
11th Floor	3						2			1		
10th Floor	3						2			1		
9th Floor	3						1			1		
8th Floor	3						3			1		
7th Floor	3						1			1		
6th Floor	3									1		
5th Floor	3						1			1		
4th Floor	3									1		
3rd Floor	3						1			1		
2nd Floor	3									1		
1st Floor	10	6								1	1	
Basement	0			2		3				1		
TOTAL	49	9	2	3	14	15	2					

Floor Totals	REPLACE DOOR		REMOVE ACCORD DOOR		PTAC		MINI SPLIT		SPLIT HVAC		MISSING FRAMES		REMOVE BASEGRADED HTR		FLOOR WITH DROP CEILING	
	YES	LOC	YES	LOC	YES	LOC	YES	LOC	YES	LOC	YES	LOC	YES	LOC	YES	LOC
1st Floor	1		0	3	2	0	0	0	0	0	0	0	0	0	0	0
2nd Floor	11		18	3	21	11	2	0	1	0	5	4	17			
3rd Floor	4		20	4	19	6	3	1	0	0	5	1	23			
4th Floor	3		19	4	16	0	2	0	2	4	3	24				
5th Floor	4		19	1	20	0	1	3	3	0	1	21				
6th Floor	3		20	3	21	11	1	0	1	0	0	21				
7th Floor	0		18	2	22	13	2	0	2	0	5	3	15			
8th Floor	4		20	3	21	15	4	3	2	3	1	14				
9th Floor	3		19	4	16	0	0	1	1	4	2	0				
10th Floor	0		17	0	24	10	1	4	0	1	3	0				
11th Floor	7		20	3	21	15	1	3	2	0	5	1	0			
12th Floor	1		19	2	22	19	1	1	1	2	1	7				
13th Floor	4		20	3	21	15	1	4	1	4	1	9				
14th Floor	3		19	0	12	0	0	1	1	2	2	2				
51 Entry Doors																
51 Interior Doors																
TOTAL	70		229	41	222	143	18	35	17	41	22	170				

UNIT ACCESSORIES	DOOR		BATHROOM		BEDROOM		KITCHEN		LIVING ROOM		OTHER	
	DOOR KNOB	DOOR STOP										
EFFICIENCY			2	Fluorescent, Sgl			2	Fluorescent, Dbl				
1BR	2	2	2	Fluorescent, Sgl	12" BR, Closet		2	Fluorescent, Dbl	12"		8" Hall Closet	
1BR-HC	4	3	2	Fluorescent, Sgl	12" BR, Closet		2	Fluorescent, Dbl	12"		8" Hall and Bath Closet	
2 BR			2	Fluorescent, Sgl			4	Fluorescent, Dbl	2 - 12"			
TOTAL	6	5	0	0	0	0	0	0	0	0	0	

Sch-Toilet Accessories		
Toilet Accessory Schedule		
Type Mark	Type Comments	Comments
TA-1	1-1/2" Dia. Grab Bar	
TA-2	1-1/2" Dia. Grab Bar	
TA-3	1-1/2" Dia. Grab Bar	
TA-4	Surface Mounted Toilet Tissue Dispenser	
TA-5	Surface Mounted Mirror; Refer To Elevations For More Information	
TA-6	Surface Mounted Soap Dispenser	
TA-7	Under Counter Soap Dispenser	
TA-8	Surface Mounted Hand Dryer	
TA-9	Surface Mounted Paper Towel Dispenser	
TA-10	Surface Mounted Sanitary Napkin Disposal	
TA-11a	Coat Hook	
TA-11b	Coat Hook - Accessible Height	
TA-12	Mop Holder	
TA-13	Shower Curtain Rod	
TA-14	Towel Bar	

- 1 SCHEDULE IS PROVIDED FOR REFERENCE ONLY. REFER TO CONSTRUCTION DOCUMENTS FOR QUANTITIES AND LOCATIONS
- 2 NOT ALL SCHEDULED EQUIPMENT MAY BE USED.
- 3 FINAL PRODUCT SELECTION BY OWNER
- 4 PROVIDE BLOCKING PER MFR. INSTALLATION INSTRUCTIONS
- 5 ALL ITEMS TO BE INSTALLED PER APPLICABLE BUILDING CODES AND ADA



**Typical Mounting Heights**  
3/8" = 1'-0"

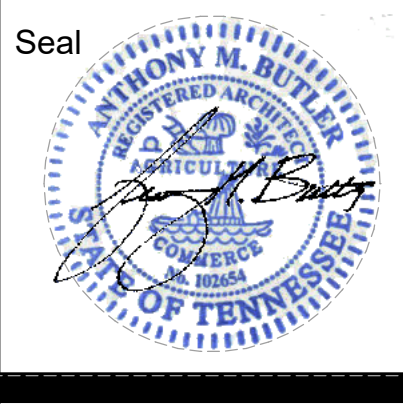
Consultants

Project Name  
**Northgate Terrace Renovation**

4301 Whittle Springs Road Knoxville, TN 37917

Client  
**Knoxville's Community Development Corporation**

901 N. Broadway Knoxville, TN 37917



No.	Description	Date
1	Addendum 1	Sep. 10, 2021

Project Notes & Legends

Project number 21KC01  
Date Aug. 23, 2021

**GO.002**

Scale As indicated























**Deduct Alternates**

1 G.C. TO PROVIDE BID DEDUCT ALTERNATE FOR 3/4" PAINTED WOOD DOORS AND DRAWER FRONTS IN LIEU OF THERMOFOIL DOORS AND DRAWER FRONTS

**Reflected Ceiling Plan - Notes**

1 REPLACE ALL LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

2 WHERE NO CEILING TAG OR CEILING FINISH IS SHOWN, NO WORK IS TO BE DONE. G.C. TO COORDINATE WITH OWNER

3 G.C. TO VERIFY ALL LIGHT FIXTURE LOCATIONS

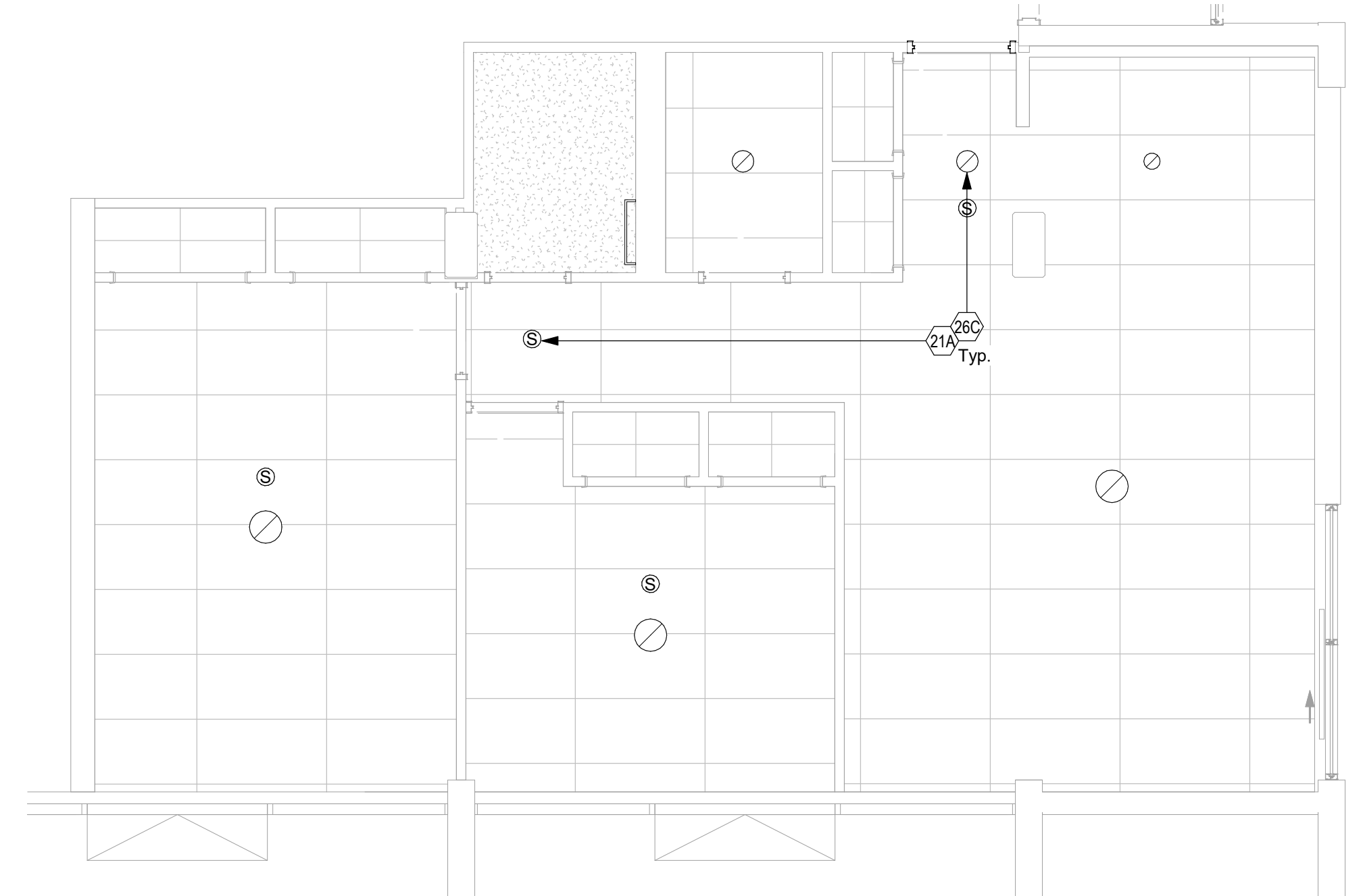
4 IF ANY CEILINGS ARE DAMAGED AND ARE NOT IDENTIFIED ON THE UNIT MATRIX, G.C. TO CONTACT OWNER & ARCHITECT

5 ALL NEW CEILINGS ARE TO BE INSTALLED AT THE SAME HEIGHT AS EXISTING CEILING

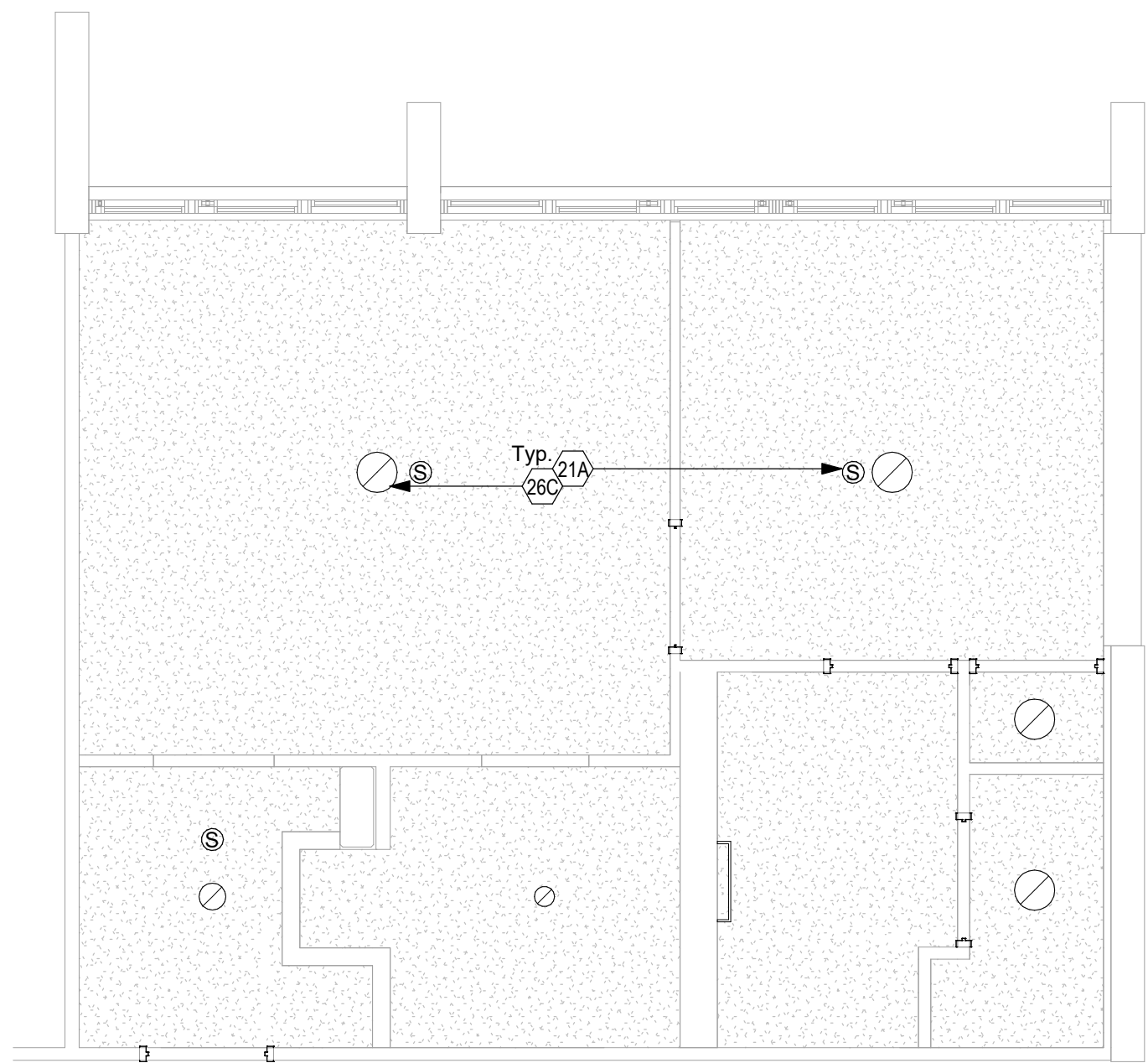
6 REPLACEMENT OF OF A MINIMUM OF 100 CEILING TILES IN ELEVATOR LOBBY 153 AND CORRIDOR 152. G.C. TO PROVIDE UNIT PRICE FOR REPLACEMENT OF CEILING TILES IN ELEVATOR LOBBY 153 AND CORRIDOR 152

7 ON FLOORS 2-13, IN RESIDENTIAL UNITS, REMOVE PART OF EXISTING CEILING IN RESTROOMS AS REQUIRED TO REMOVE AND REPLACE SANITARY LINES IN RESIDENTIAL UNITS ABOVE. PATCH, REPAIR, AND PAINT TO MATCH ADJACENT CEILING AFTER INSTALLATION OF NEW SANITARY LINES

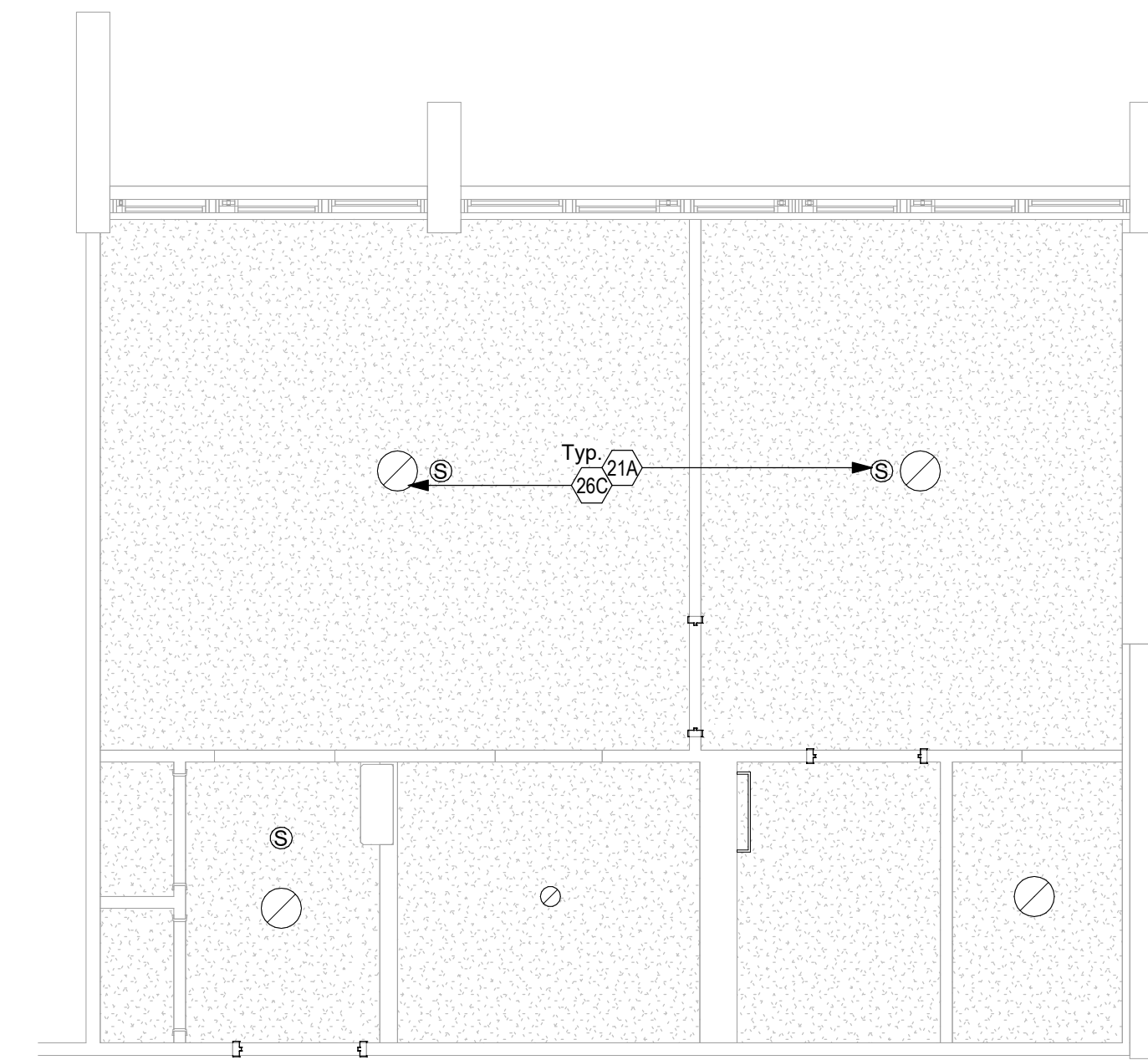
Key Value	Keynote Text
5A	NEW 5/8" GWB OVER 3-5/8" METAL STUD FRAMING AT 16" O.C., EXTEND NEW STUD WALL TO CEILING STRUCTURE ABOVE
8A	INSTALL NEW DOOR AND DOOR HARDWARE IN EXISTING DOOR FRAME PER UNIT MATRIX; REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
9A	NEW LVT FLOOR FINISH TO BE INSTALLED OVER EXISTING VINYL TILE OR CERAMIC TILE; INSTALL PER MANUFACTURER RECOMMENDATIONS; REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION
9L	PATCH, REPAIR, AND PAINT EXISTING GWB CEILING AS REQUIRED PER UNIT MATRIX
9U	PATCH, REPAIR, AND SAND EXISTING GWB WALLS AS REQUIRED TO RECEIVE LEVEL 4 FINISH; PAINT EXISTING WALLS; REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION
11C	INSTALL NEW ADA VERTICAL GRAB BAR PER ADA GUIDELINES; REFER TO SHEET G0.002 FOR MOUNTING HEIGHTS
11D	NEW RANGE PER UNIT MATRIX; REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION
11E	NEW REFRIGERATOR PER UNIT MATRIX
12A	NEW KITCHEN CABINETS AND PLASTIC LAMINATE COUNTER TOPS; REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
21A	NEW HUD COMPLIANT BATTERY SMOKE DETECTOR; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
22B	INSTALL NEW KITCHEN SINK AND FAUCET
22C	INSTALL NEW HAND-HELD SHOWER HEADS
22D	INSTALL NEW WATER HEATER PER UNIT MATRIX
23A	THROUGH-WALL PTAC UNIT; INSTALL PTAC UNIT IN SAME OPENING AS THE PTAC UNIT THAT WAS REMOVED; CONTRACTOR TO VERIFY WITH OWNER ON WHICH PTACS ARE TO BE REMOVED AND REPLACED; REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
26A	NEW ELECTRICAL PANEL; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
26C	NEW LED LIGHT FIXTURE, INSTALL IN SAME LOCATIONS AS EXISTING LIGHT FIXTURES; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
26E	PROVIDE NEW ELECTRICAL OUTLET AS REQUIRED FOR NEW REFRIGERATOR; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
27A	PULL-CORD SYSTEM, G.C. TO COORDINATE WITH MANUFACTURER ON LOCATION; REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION



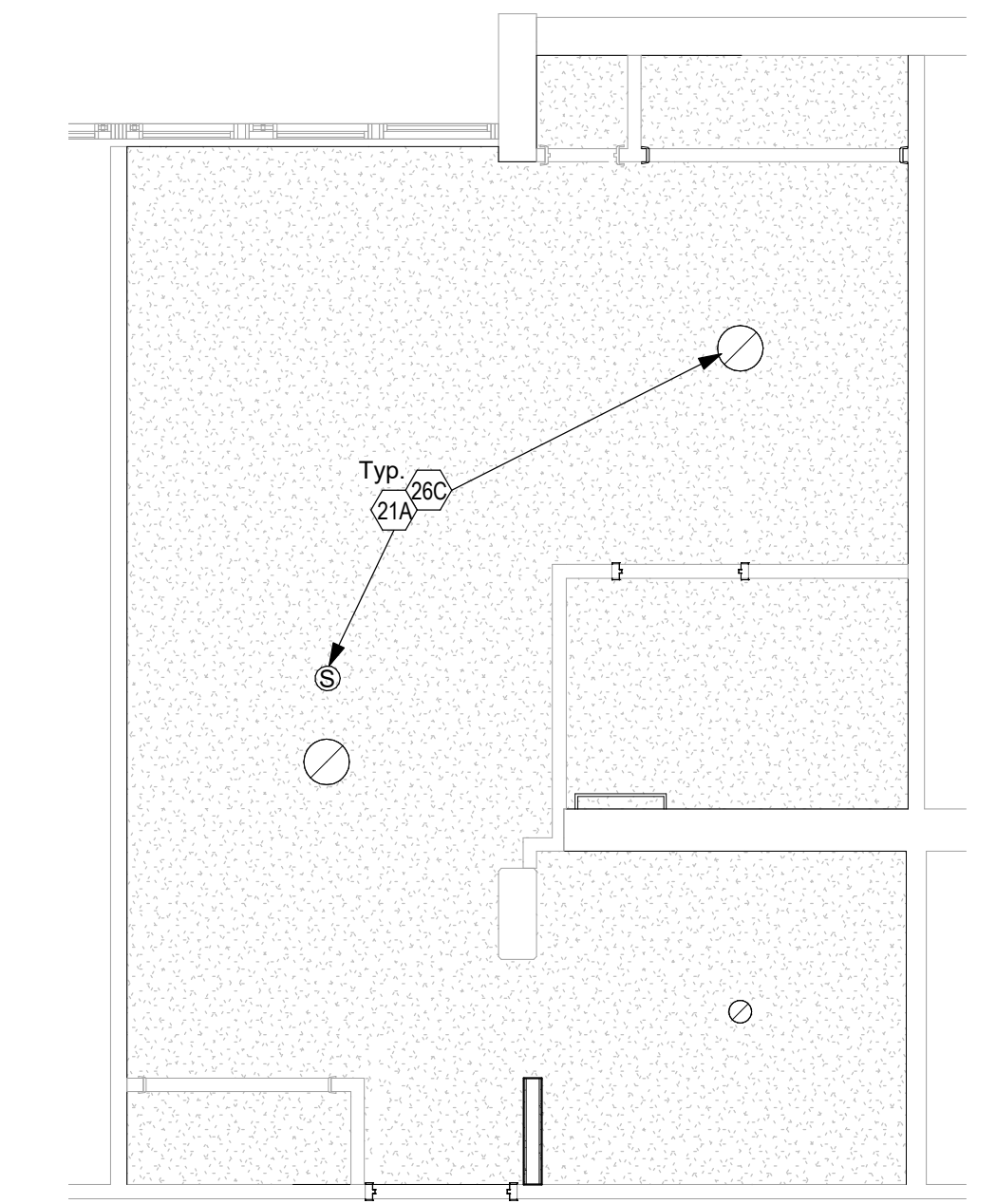
8 Enlarged RCP- Custodian Unit- 2BR  
A1.601 1/4" = 1'-0"



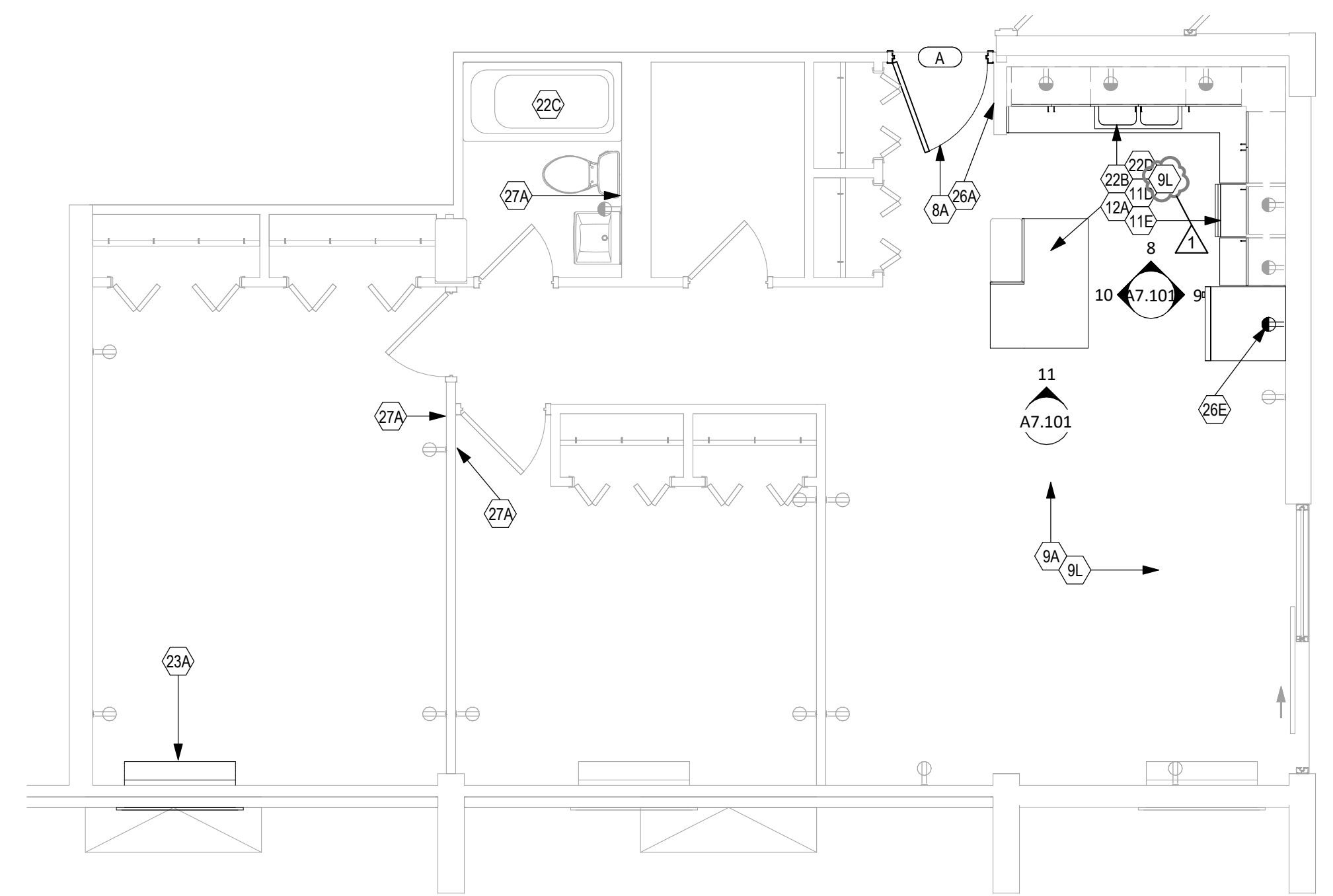
7 Enlarged RCP- 1BR ADA  
A1.601 1/4" = 1'-0"



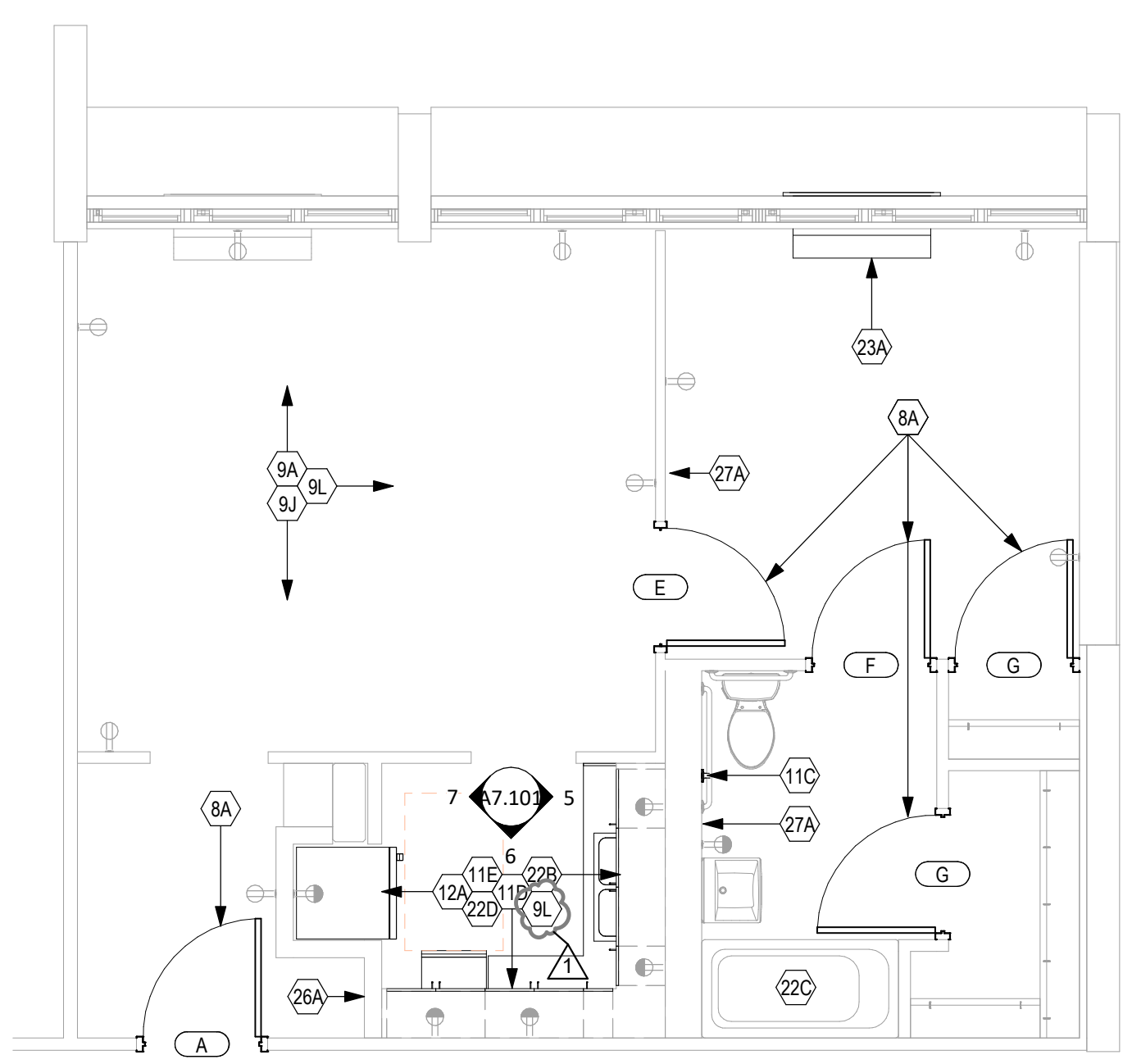
6 Enlarged RCP- 1BR  
A1.601 1/4" = 1'-0"



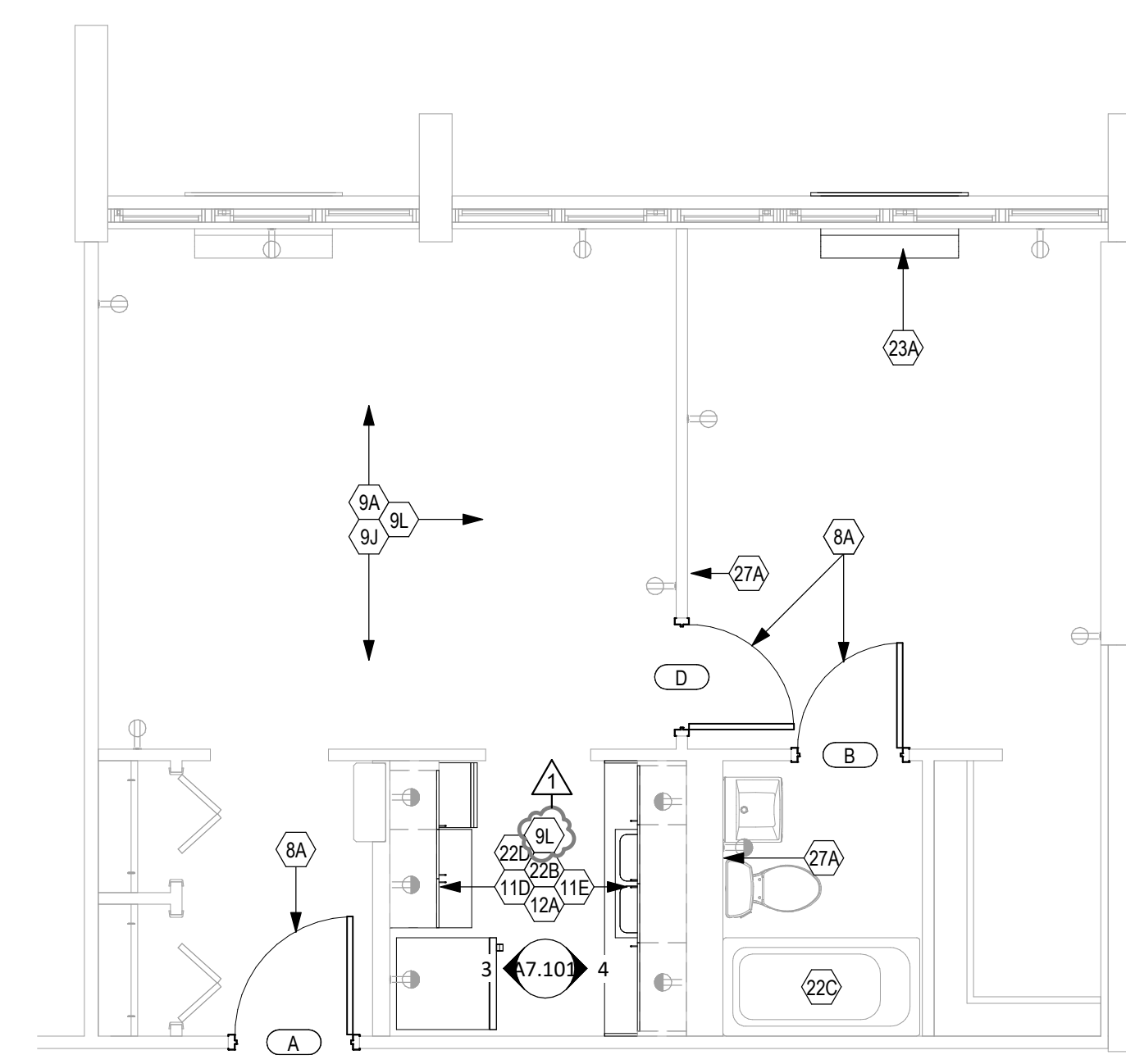
5 Enlarged RCP- Studio 1  
A1.601 1/4" = 1'-0"



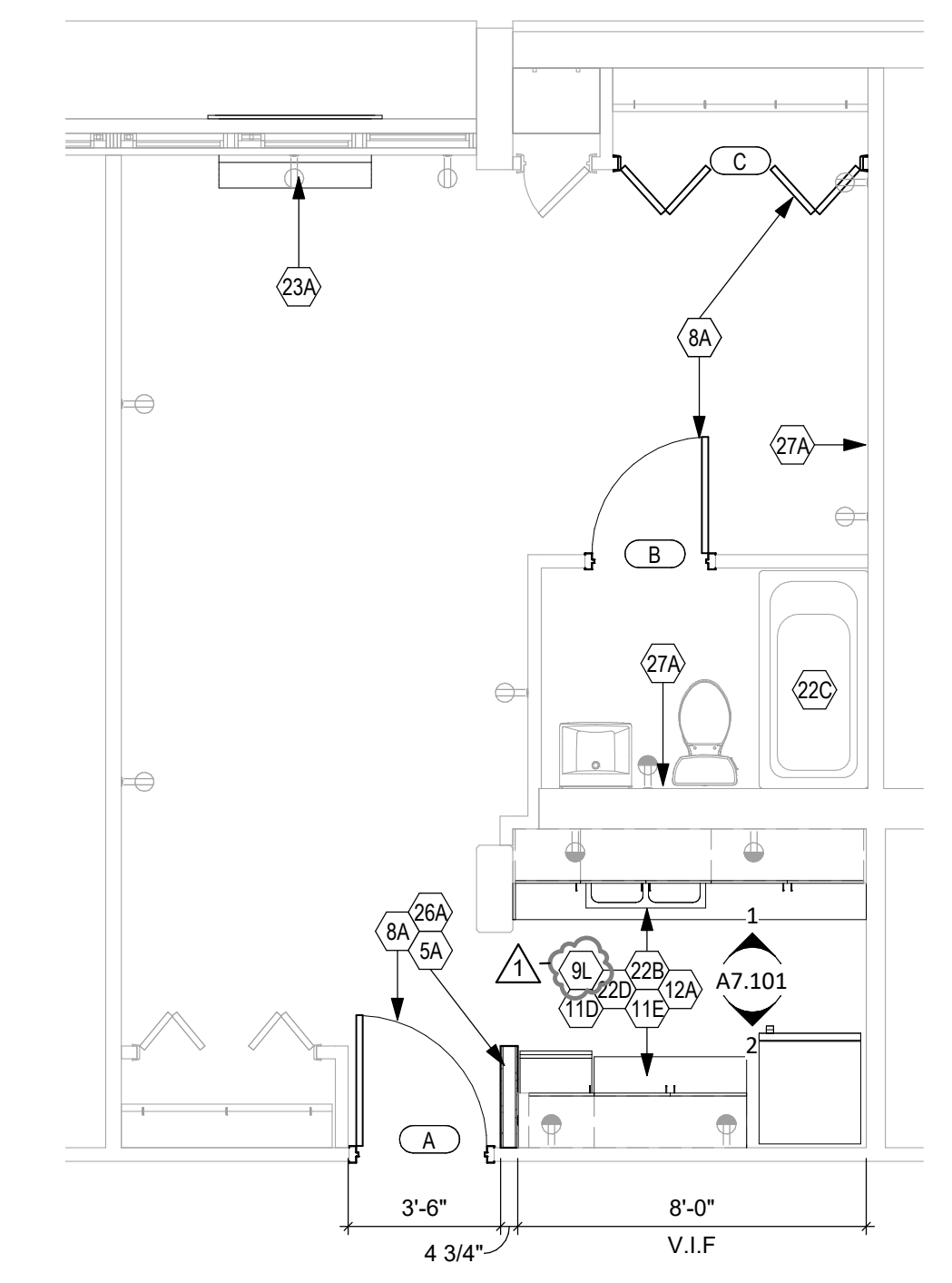
4 Enlarged Plan- Custodian Unit- 2BR  
A1.601 1/4" = 1'-0"



3 Enlarged Plan-1BR ADA  
A1.601 1/4" = 1'-0"



2 Enlarged Plan- 1BR  
A1.601 1/4" = 1'-0"



1 Enlarged Plan- Studio 1  
A1.601 1/4" = 1'-0"



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Consultants

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Project Name

**Northgate Terrace Renovation**

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4301 Whittle Springs Road  
Knoxville, TN 37917

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Client

**Knoxville's Community Development Corporation**

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901 N. Broadway Knoxville, TN 37917

---




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Revisions		
No.	Description	Date
1	Addendum 1	Sep. 10, 2021

---

**Enlarged Unit Plans**

---

Project number 21KC01  
Date Aug. 23, 2021

**A1.601**

Scale 1/4" = 1'-0"







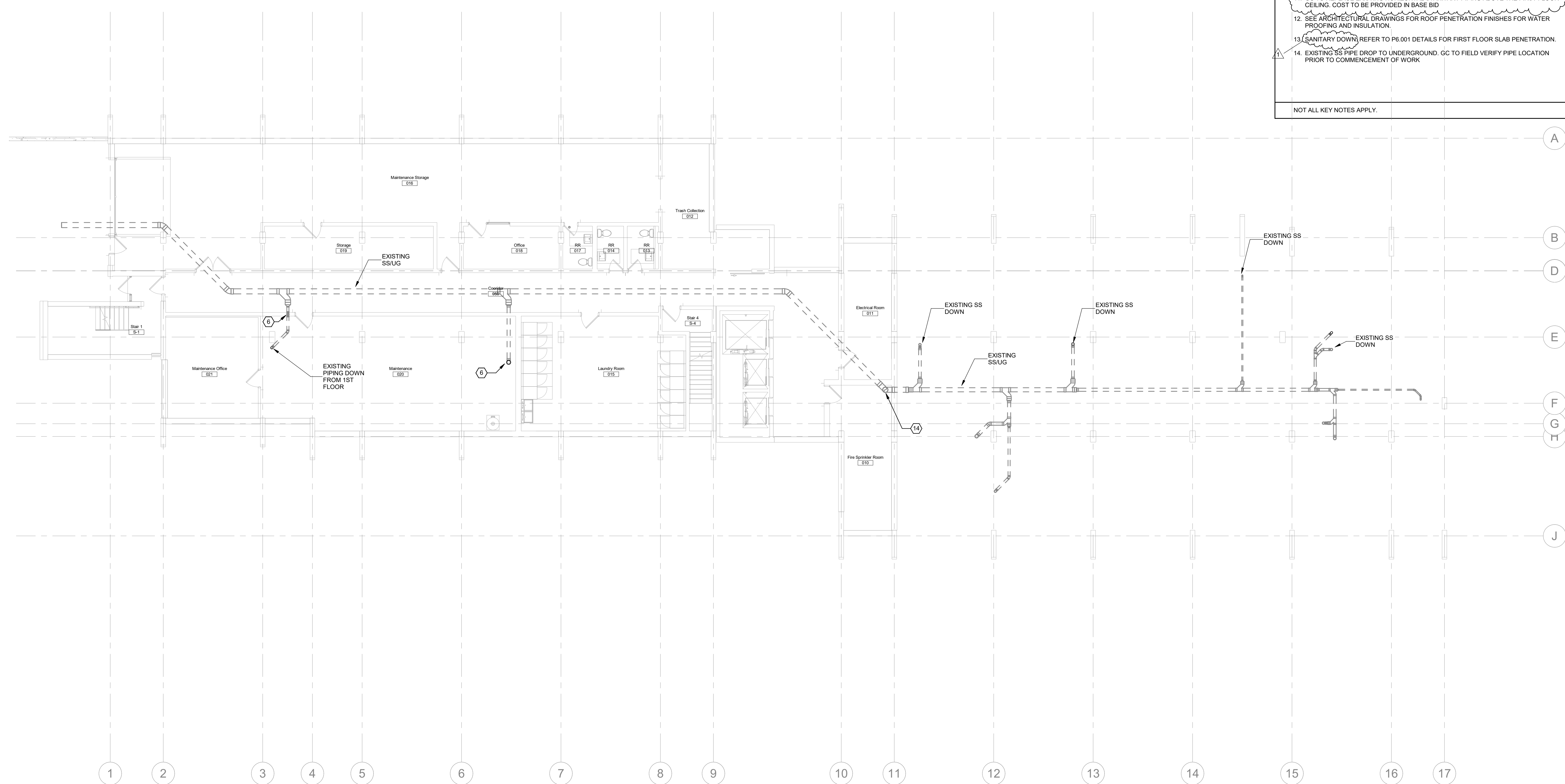
**GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY SANITARY RISER PIPE LOCATION PRIOR TO REMOVING ANY PIPE.

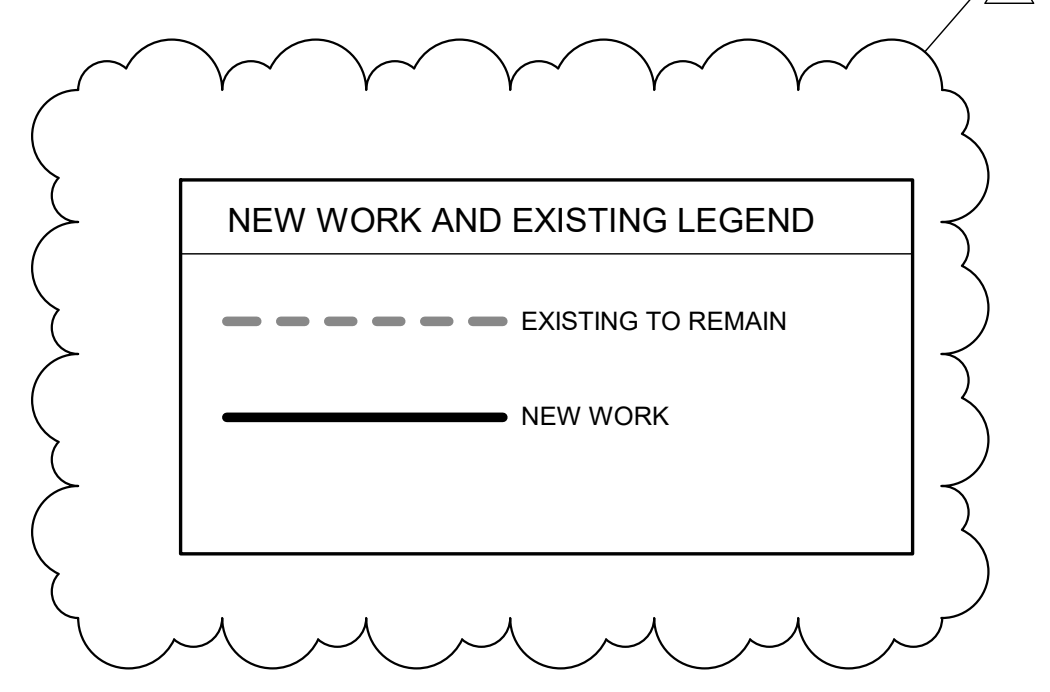
**KEYED NOTES**

- REFER TO ENLARGED UNIT PLAN SHEET P4.001 FOR TYPICAL UNIT PLAN PIPING LAYOUT COORDINATION.
- REMOVE EXISTING WATER HEATER, AND EXISTING GATE VALVE. PROVIDE NEW WATER HEATER AND BALL VALVE. REFER TO SHEET P6.001 FOR WATER HEATER SCHEDULE AND DETAILS.
- REMOVE EXISTING SANITARY AND VENT RISER, AND PROVIDE NEW SANITARY AND VENT RISER. REFER TO RISER DIAGRAM SHEETS P9.001-P9.002 FOR CONTINUATION.
- NEW 4" SANITARY RISER DOWN FROM FLOOR ABOVE.
- REMOVE EXISTING WATER COOLER, AND REPLACE WITH NEW WATER COOLER. REFER TO PLUMBING SCHEDULE FOR MORE INFO. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE ANY ADDITIONAL PIPING AS REQUIRED.
- SANITARY DOWN TO UNDERGROUND. REFER TO P6.001 DETAILS FOR BASEMENT FLOOR SLAB PENETRATION.
- REFER TO P9.001 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "A & B".
- REFER TO P9.001 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "C".
- REFER TO P9.002 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "D & E".
- REFER TO P9.002 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "F".
- GC TO REPLACE EXISTING HORIZONTAL STANTARY PIPING ABOVE THE FIRST FLOOR CEILING. COST TO BE PROVIDED IN BASE BID.
- SEE ARCHITECTURAL DRAWINGS FOR ROOF PENETRATION FINISHES FOR WATER PROOFING AND INSULATION.
- (SANITARY DOWN) REFER TO P6.001 DETAILS FOR FIRST FLOOR SLAB PENETRATION.
- EXISTING SS PIPE DROP TO UNDERGROUND. GC TO FIELD VERIFY PIPE LOCATION PRIOR TO COMMENCEMENT OF WORK.

NOT ALL KEY NOTES APPLY.



**1 LEVEL U1 - NEW WORK FLOOR PLAN**  
 P1.100 1/8" = 1'-0"



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 project 21K-001

**Project Name**

**Northgate Terrace Renovation**

4301 Whittle Springs Road  
 Knoxville, TN 37917

**Client**

**Knoxville's Community Development Corporation**

901 N. Broadway Knoxville, TN 37917

Seal  
 VICTORIA W. ROBERSON  
 REGISTERED ENGINEER  
 STATE OF TENNESSEE  
 No. 11000

**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

**BASEMENT LEVEL - FLOOR PLAN**

Project number 21K001  
 Date Aug. 23, 2021

**P1.100**

Scale 1/8" = 1'-0"



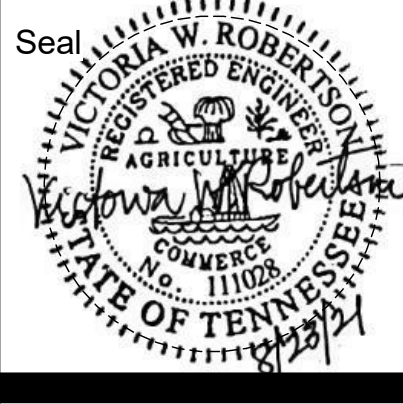
**GENERAL NOTES**

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**KEYED NOTES**

- REFER TO ENLARGED UNIT PLAN SHEET P4.001 FOR TYPICAL UNIT PLAN PIPING LAYOUT COORDINATION.
- REMOVE EXISTING WATER HEATER, AND EXISTING GATE VALVE. PROVIDE NEW WATER HEATER AND BALL VALVE. REFER TO SHEET P6.001 FOR WATER HEATER SCHEDULE AND DETAILS.
- REMOVE EXISTING SANITARY AND VENT RISER, AND PROVIDE NEW SANITARY AND VENT RISER. REFER TO RISER DIAGRAM SHEETS P9.001-P9.002 FOR CONTINUATION.
- NEW 4" SANITARY RISER DOWN FROM FLOOR ABOVE.
- REMOVE EXISTING WATER COOLER, AND REPLACE WITH NEW WATER COOLER. REFER TO PLUMBING SCHEDULE FOR MORE INFO. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE ANY ADDITIONAL PIPING AS REQUIRED.
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- REFER TO P9.001 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "C".
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- EXISTING SS PIPE DROP TO UNDERGROUND. GC TO FIELD VERIFY PIPE LOCATION PRIOR TO COMMENCEMENT OF WORK.

NOT ALL KEY NOTES APPLY.



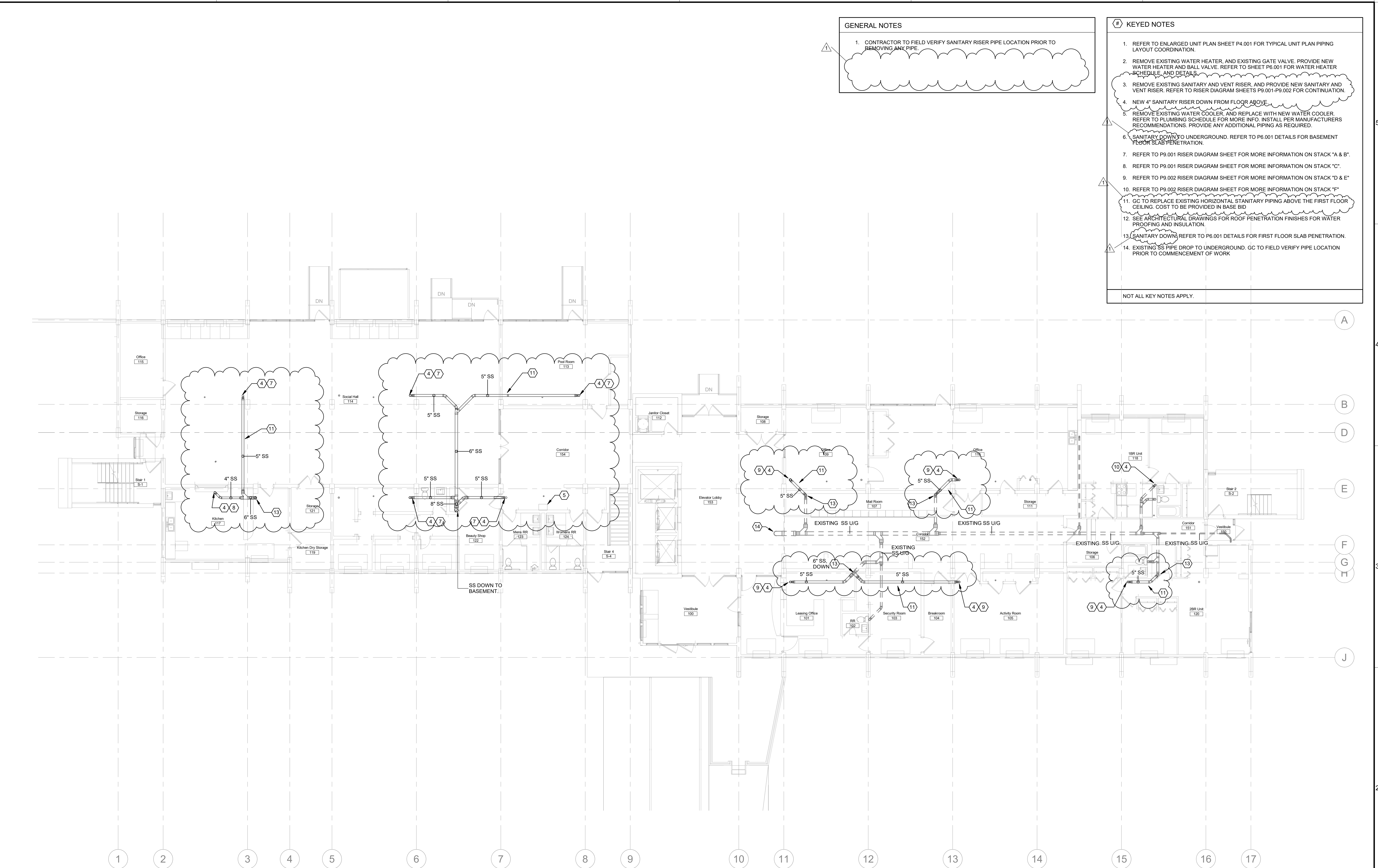
**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

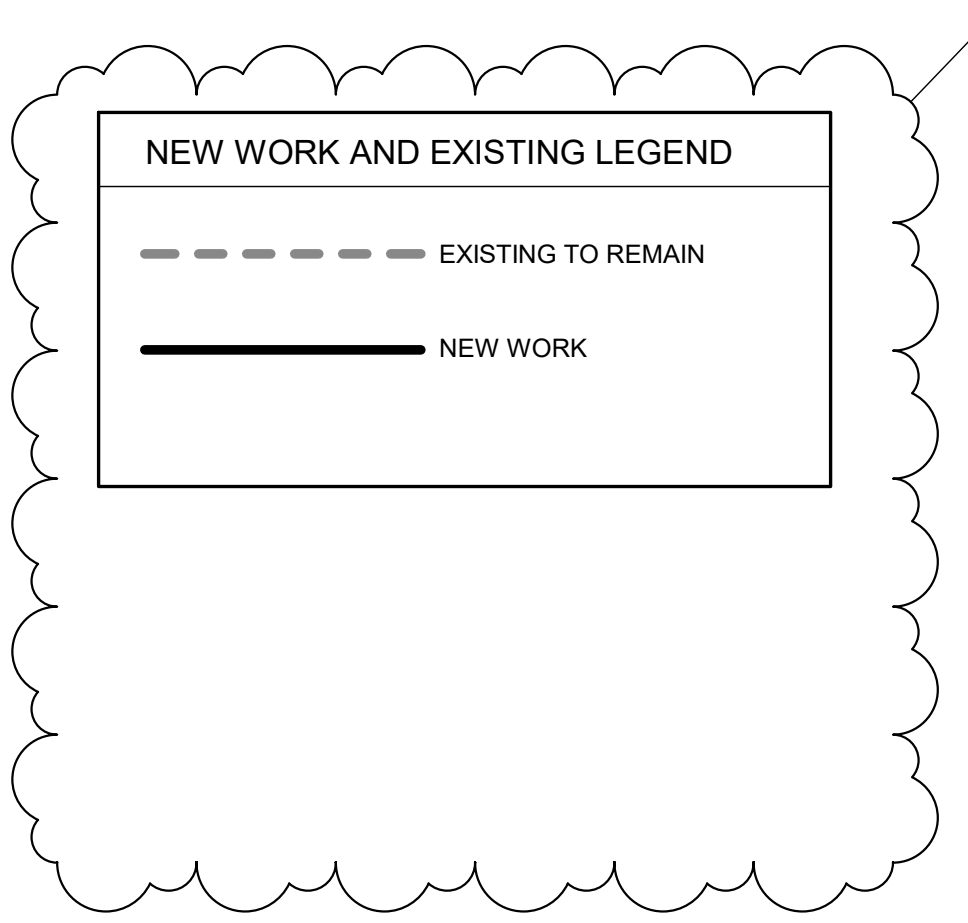
**LEVEL 1 - FLOOR PLAN**

Project number 21KC01  
 Date Aug. 23, 2021

**P1.101**  
 Scale 1/8" = 1'-0"



**1 LEVEL 1 - NEW WORK FLOOR PLAN**  
 P1.101 1/8" = 1'-0"





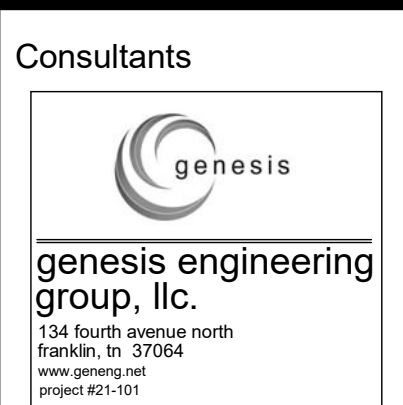
**GENERAL NOTES**

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NOT ALL KEY NOTES APPLY.

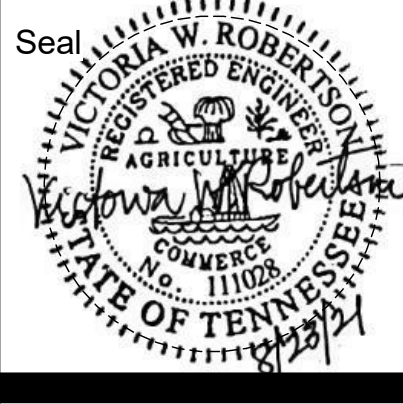


Project Name  
**Northgate Terrace Renovation**

4301 Whittle Springs Road Knoxville, TN 37917

Client  
**Knoxville's Community Development Corporation**

901 N. Broadway Knoxville, TN 37917



Revisions

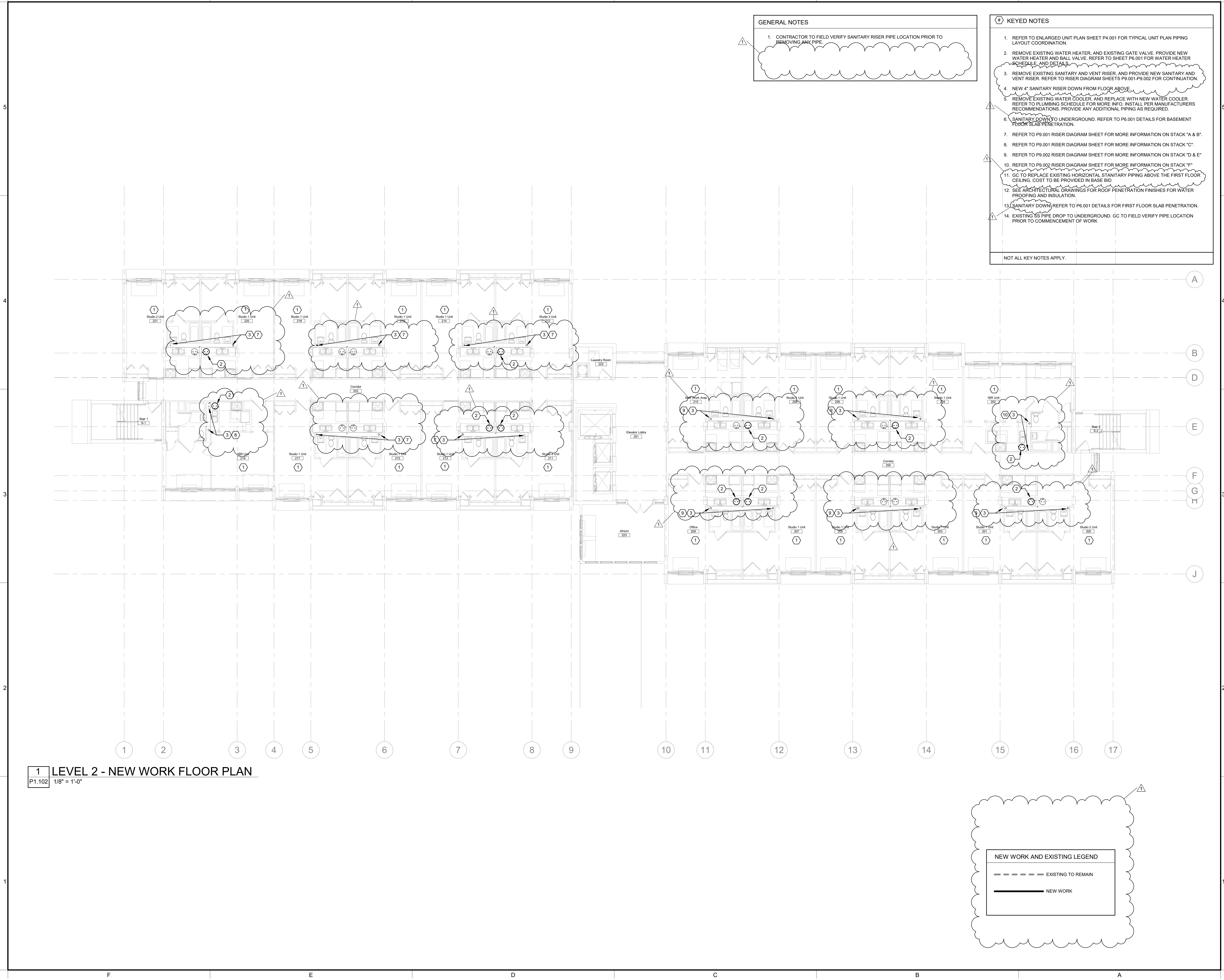
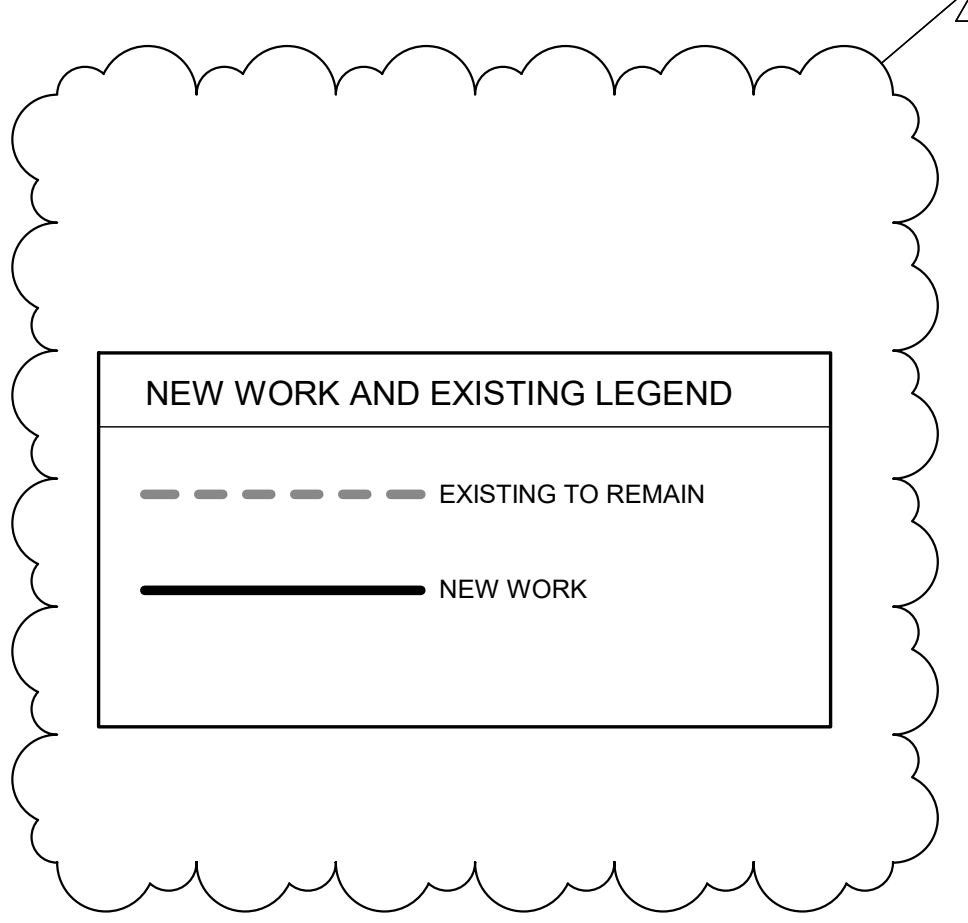
No.	Description	Date
1	Addendum 1	09/10/21

**LEVEL 2 - FLOOR PLAN**

Project number 21K001  
Date Aug. 23, 2021

**P1.102**  
Scale 1/8" = 1'-0"

**1 LEVEL 2 - NEW WORK FLOOR PLAN**  
P1.102 1/8" = 1'-0"





**GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY SANITARY RISER PIPE LOCATION PRIOR TO REMOVING ANY PIPE.

**KEYED NOTES**


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- EXISTING SS PIPE DROP TO UNDERGROUND. GC TO FIELD VERIFY PIPE LOCATION PRIOR TO COMMENCEMENT OF WORK.

NOT ALL KEY NOTES APPLY.



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license #01-101

Project Name

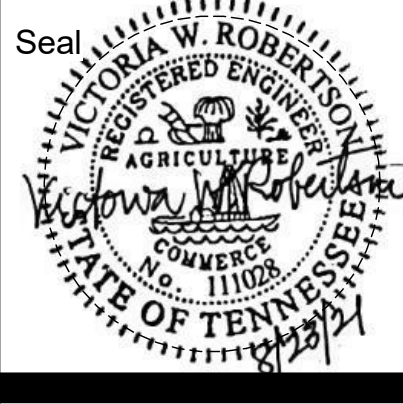
**Northgate  
Terrace  
Renovation**

4301 Whittle Springs Road  
Knoxville, TN 37917

Client

**Knoxville's  
Community  
Development  
Corporation**

901 N. Broadway Knoxville, TN  
37917



Revisions

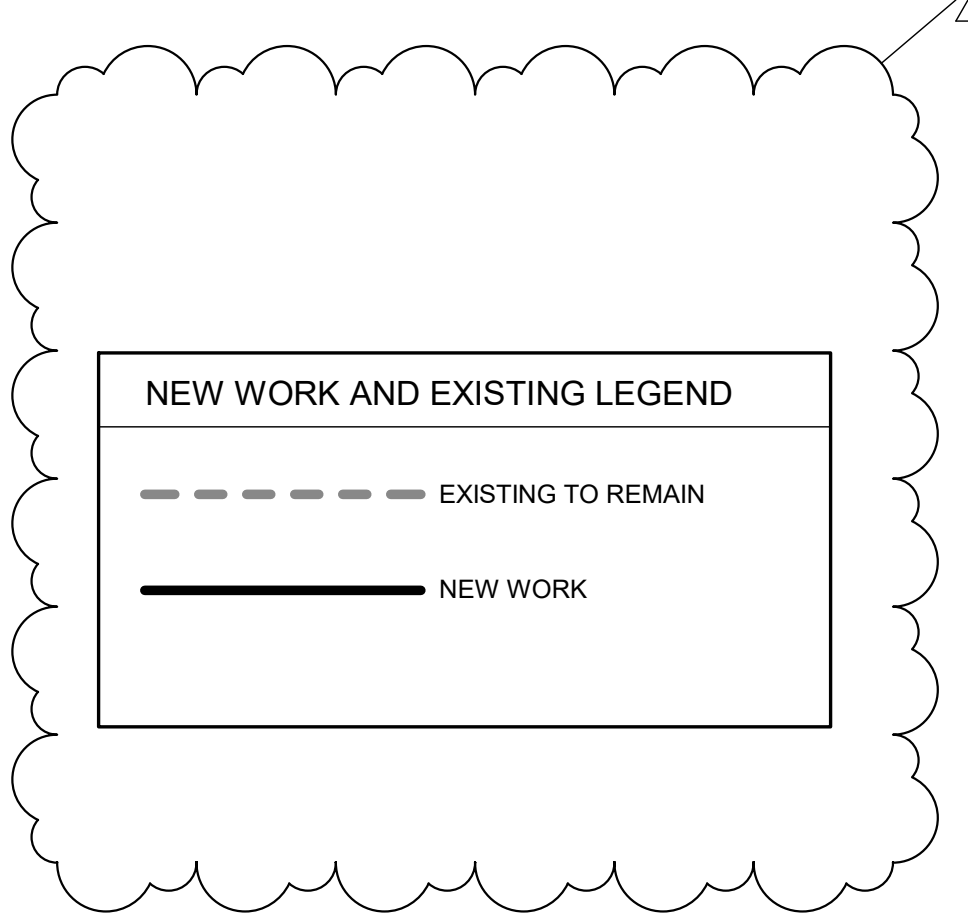
No.	Description	Date
1	Addendum 1	09/10/21

**LEVEL 3 -  
FLOOR PLAN**

Project number 21KC01  
Date Aug. 23, 2021

**P1.103**  
Scale 1/8" = 1'-0"

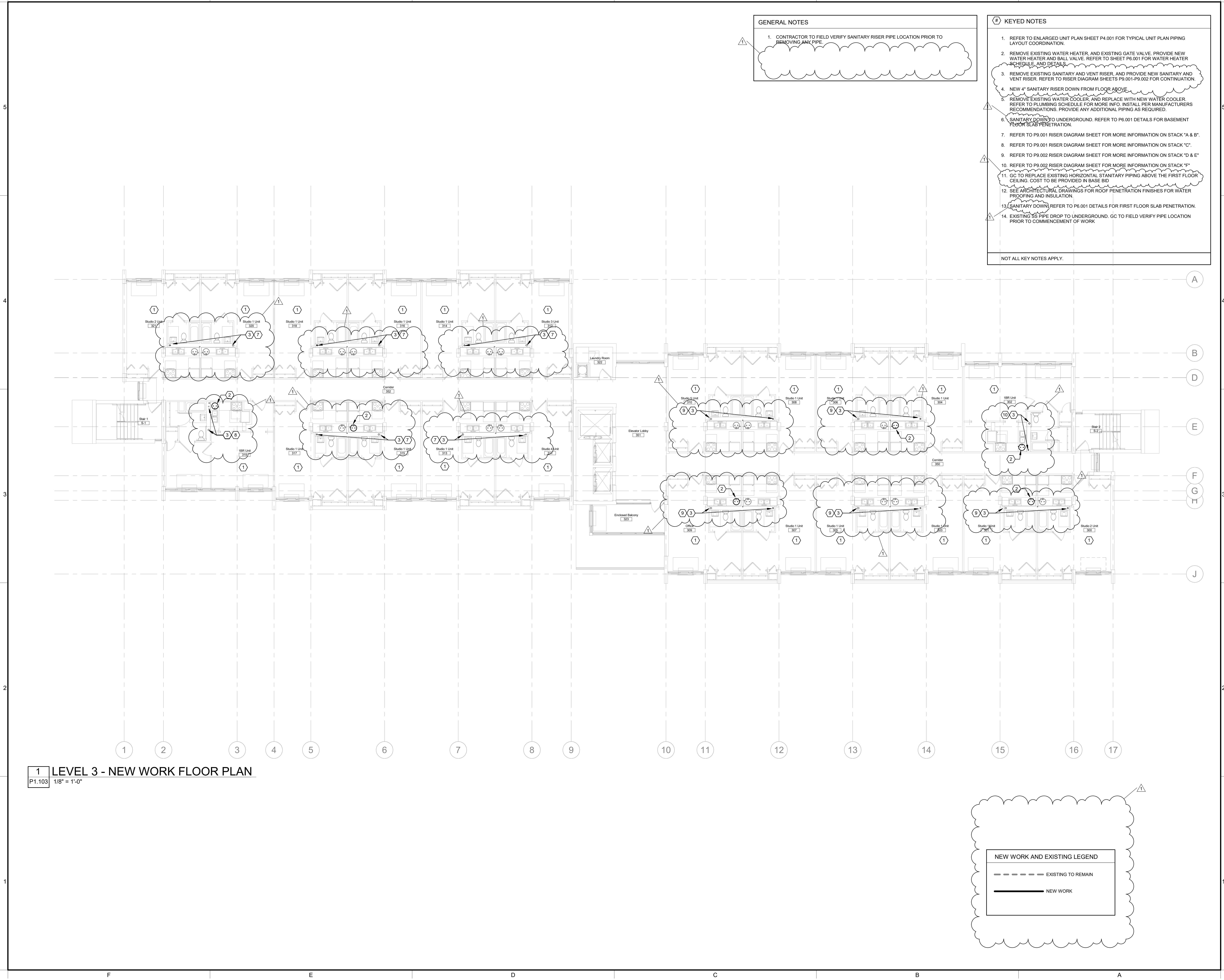
**1 LEVEL 3 - NEW WORK FLOOR PLAN**  
P1.103 1/8" = 1'-0"



**NEW WORK AND EXISTING LEGEND**

----- EXISTING TO REMAIN

———— NEW WORK









**GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY SANITARY RISER PIPE LOCATION PRIOR TO REMOVING ANY PIPE.

**KEYED NOTES**

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- REFER TO P9.001 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "A & B".
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- REFER TO P9.002 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "D & E".
- REFER TO P9.002 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "F".
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- SANITARY DOWN REFER TO P6.001 DETAILS FOR FIRST FLOOR SLAB PENETRATION.
- EXISTING SS PIPE DROP TO UNDERGROUND. GC TO FIELD VERIFY PIPE LOCATION PRIOR TO COMMENCEMENT OF WORK.

NOT ALL KEY NOTES APPLY.

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 project 21K-001

**Project Name**

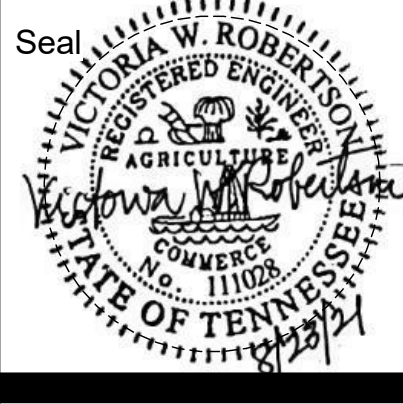
Northgate Terrace Renovation

4301 Whittle Springs Road  
 Knoxville, TN 37917

**Client**

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**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

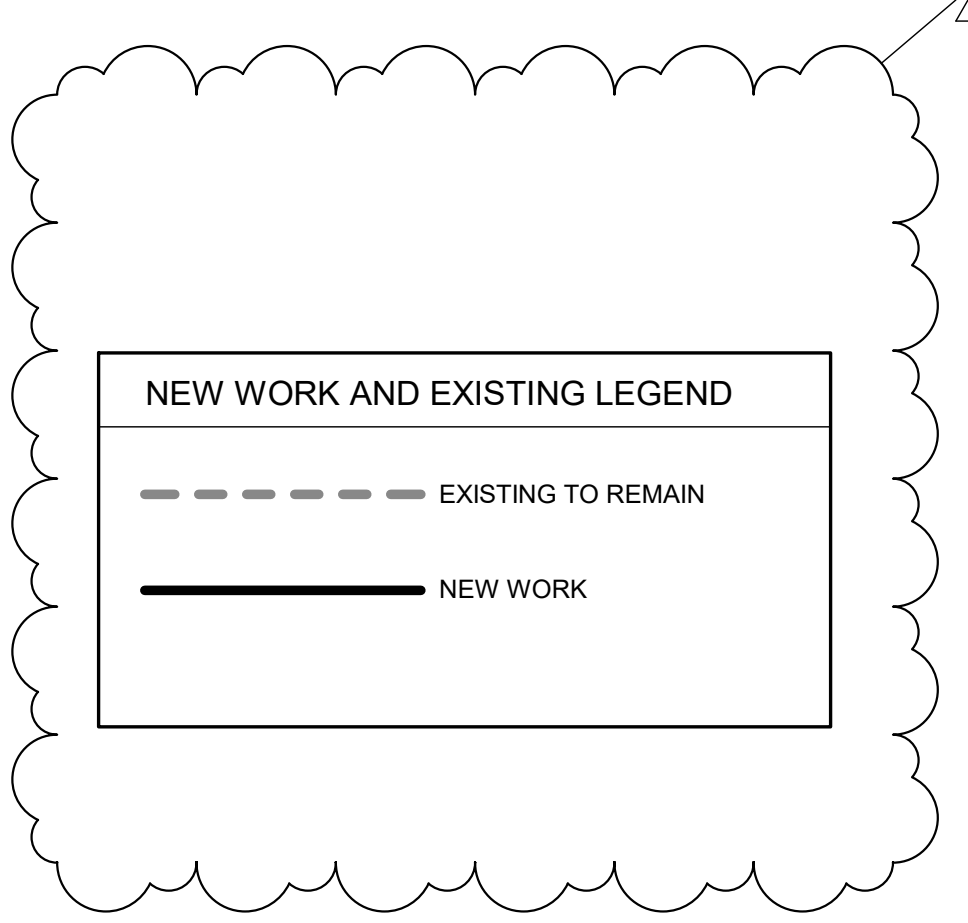
**LEVEL 5 - FLOOR PLAN**

Project number 21K001  
 Date Aug. 23, 2021

**P1.105**  
 Scale 1/8" = 1'-0"



**1 LEVEL 5 - NEW WORK FLOOR PLAN**  
 P1.105 1/8" = 1'-0"





**GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY SANITARY RISER PIPE LOCATION PRIOR TO REMOVING ANY PIPE.

**KEYED NOTES**

- REFER TO ENLARGED UNIT PLAN SHEET P4.001 FOR TYPICAL UNIT PLAN PIPING LAYOUT COORDINATION.
- REMOVE EXISTING WATER HEATER, AND EXISTING GATE VALVE. PROVIDE NEW WATER HEATER AND BALL VALVE. REFER TO SHEET P6.001 FOR WATER HEATER SCHEDULE AND DETAILS.
- REMOVE EXISTING SANITARY AND VENT RISER, AND PROVIDE NEW SANITARY AND VENT RISER. REFER TO RISER DIAGRAM SHEETS P9.001-P9.002 FOR CONTINUATION.
- NEW 4" SANITARY RISER DOWN FROM FLOOR ABOVE.
- REMOVE EXISTING WATER COOLER, AND REPLACE WITH NEW WATER COOLER. REFER TO PLUMBING SCHEDULE FOR MORE INFO. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE ANY ADDITIONAL PIPING AS REQUIRED.
- SANITARY DOWN TO UNDERGROUND. REFER TO P6.001 DETAILS FOR BASEMENT FLOOR SLAB PENETRATION.
- REFER TO P9.001 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "A & B".
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- REFER TO P9.002 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "D & E".
- REFER TO P9.002 RISER DIAGRAM SHEET FOR MORE INFORMATION ON STACK "F".
- GC TO REPLACE EXISTING HORIZONTAL STANTARY PIPING ABOVE THE FIRST FLOOR CEILING. COST TO BE PROVIDED IN BASE BID.
- SEE ARCHITECTURAL DRAWINGS FOR ROOF PENETRATION FINISHES FOR WATER PROOFING AND INSULATION.
- SANITARY DOWN REFER TO P6.001 DETAILS FOR FIRST FLOOR SLAB PENETRATION.
- EXISTING SS PIPE DROP TO UNDERGROUND. GC TO FIELD VERIFY PIPE LOCATION PRIOR TO COMMENCEMENT OF WORK.

NOT ALL KEY NOTES APPLY.

Revisions

No.	Description	Date
1	Addendum 1	09/10/21

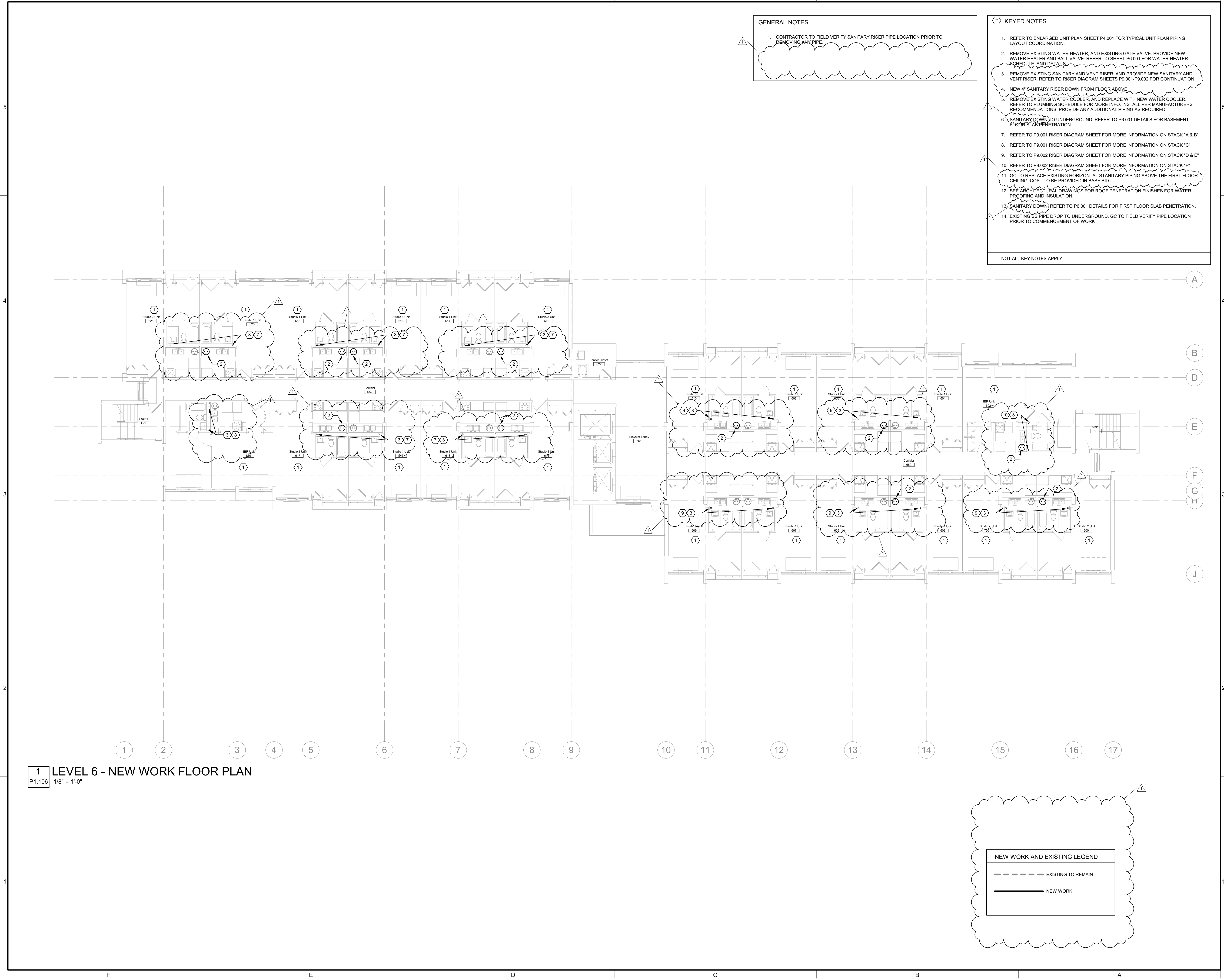
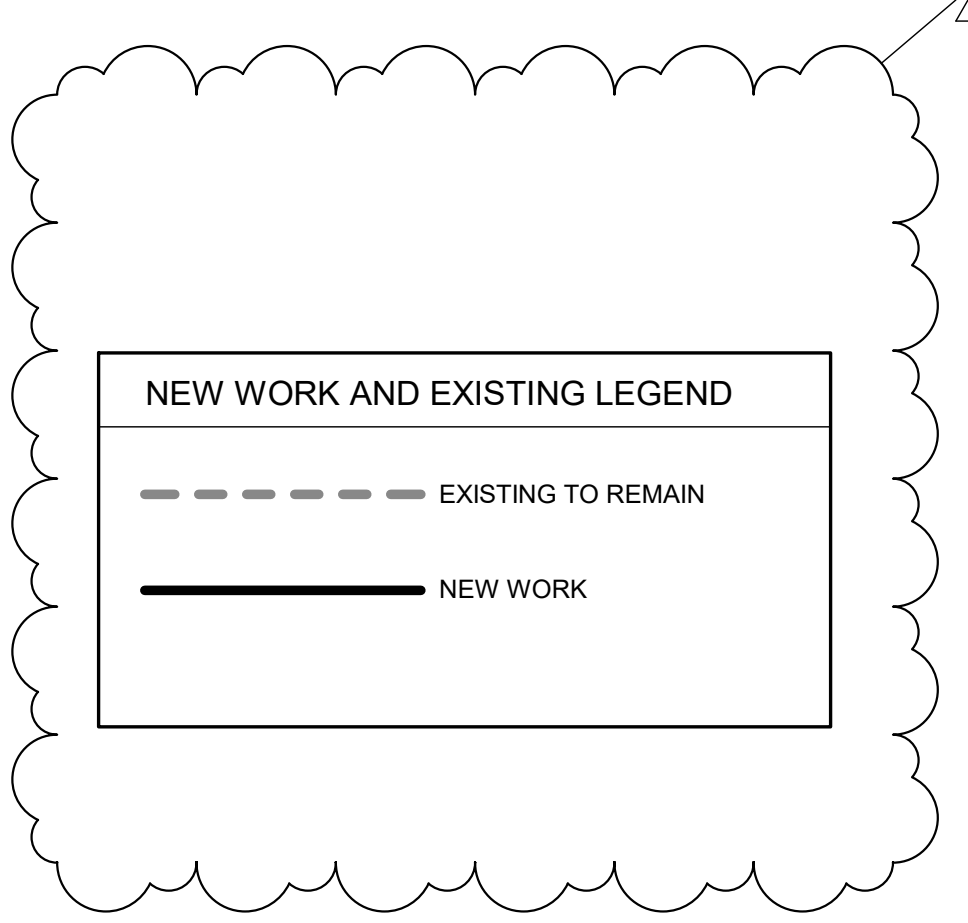
**LEVEL 6 -  
FLOOR PLAN**

Project number 21KC01  
Date Aug. 23, 2021

**P1.106**

Scale 1/8" = 1'-0"

**1 LEVEL 6 - NEW WORK FLOOR PLAN**  
P1.106 1/8" = 1'-0"









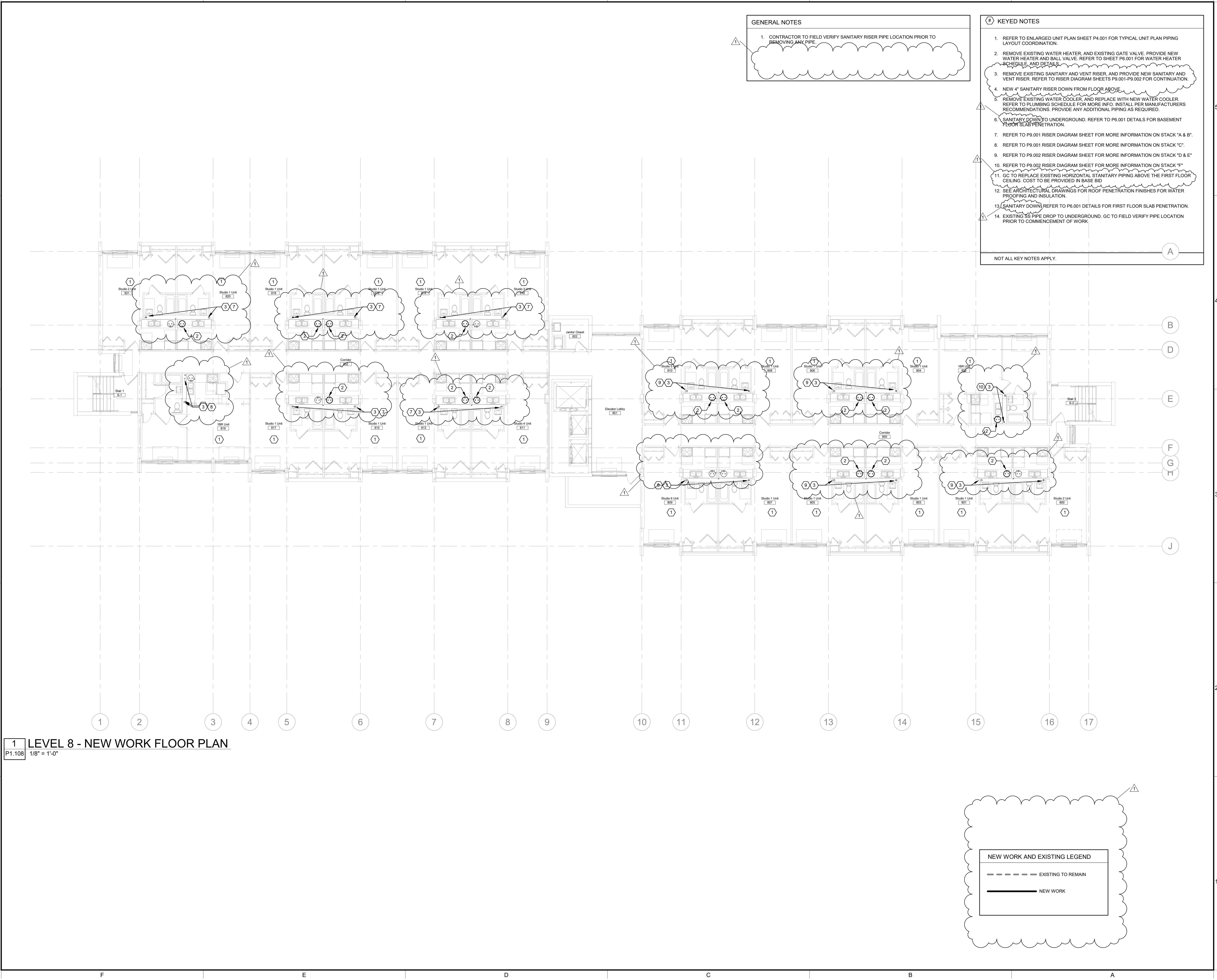
**GENERAL NOTES**

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**KEYED NOTES**

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NOT ALL KEY NOTES APPLY.



**1 LEVEL 8 - NEW WORK FLOOR PLAN**  
P1.108 1/8" = 1'-0"

**NEW WORK AND EXISTING LEGEND**

--- EXISTING TO REMAIN

— NEW WORK

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www.genesiseng.com  
license #01-107

**Project Name**

**Northgate Terrace Renovation**

4301 Whittle Springs Road  
Knoxville, TN 37917

**Client**

**Knoxville's Community Development Corporation**

901 N. Broadway Knoxville, TN 37917

**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

**LEVEL 8 - FLOOR PLAN**

Project number 21KC01  
Date Aug. 23, 2021

**P1.108**

Scale 1/8" = 1'-0"



**GENERAL NOTES**

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NOT ALL KEY NOTES APPLY.

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**Consultants**

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 genesis engineering group, llc.  
 134 South Avenue North  
 Nashville, TN 37064  
 www.genesiseng.com  
 Project #21-109

**Project Name**

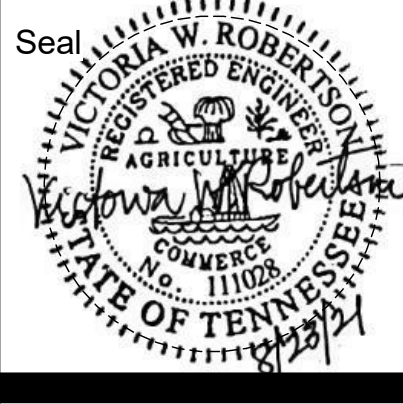
Northgate Terrace Renovation

4301 Whittle Springs Road  
 Knoxville, TN 37917

**Client**

Knoxville's Community Development Corporation

901 N. Broadway Knoxville, TN 37917



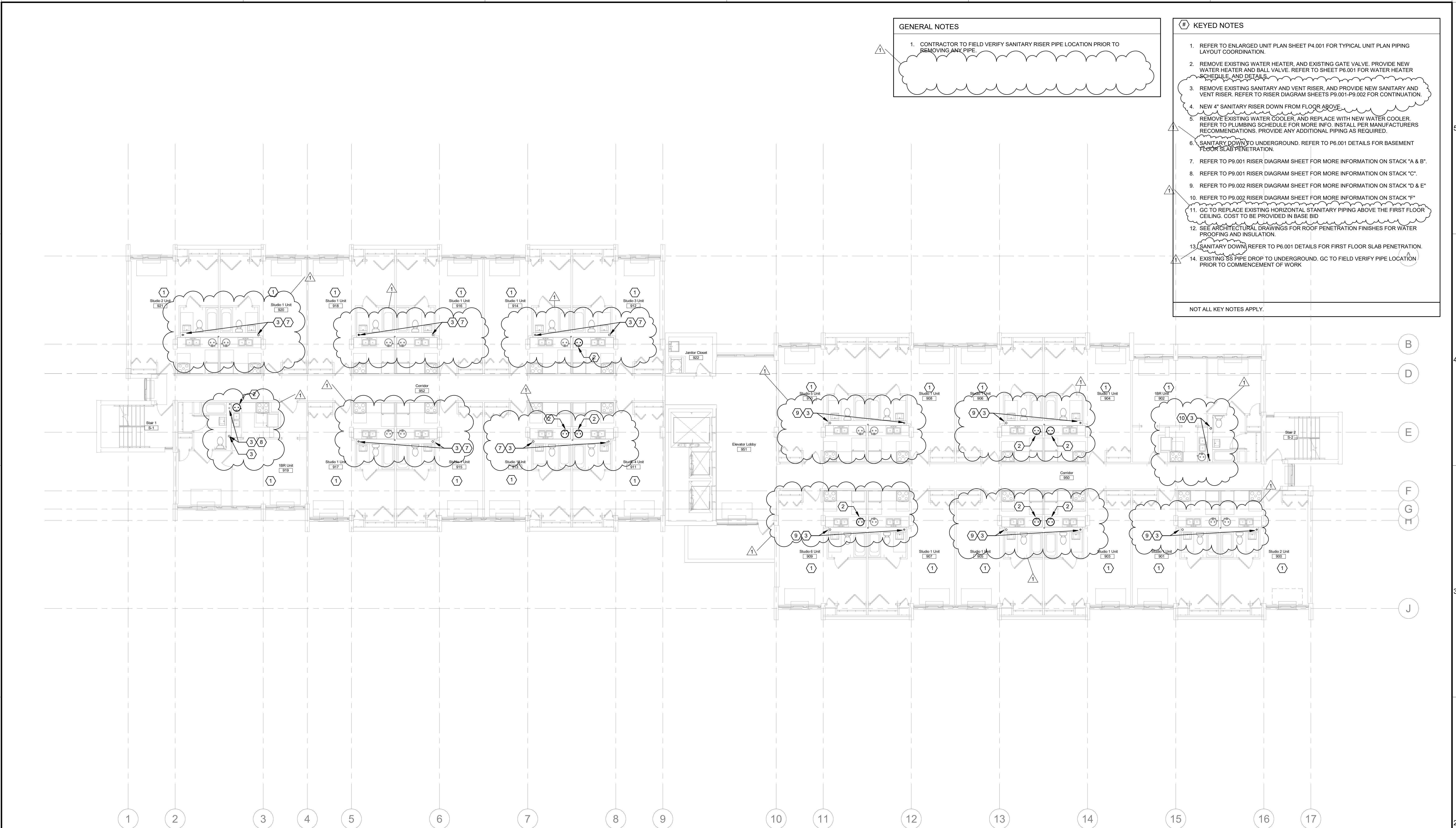
**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

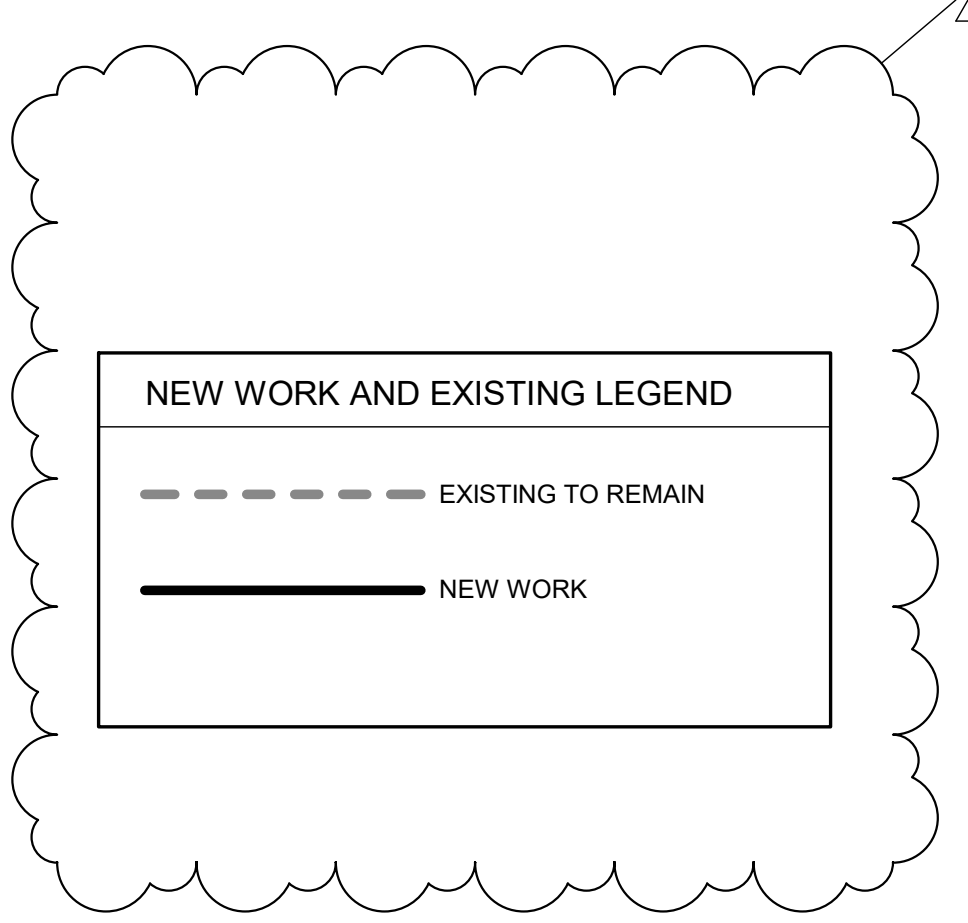
**LEVEL 9 - FLOOR PLAN**

Project number 21KC01  
 Date Aug. 23, 2021

**P1.109**  
 Scale 1/8" = 1'-0"



**1 LEVEL 9 - NEW WORK FLOOR PLAN**  
 P1.109 1/8" = 1'-0"





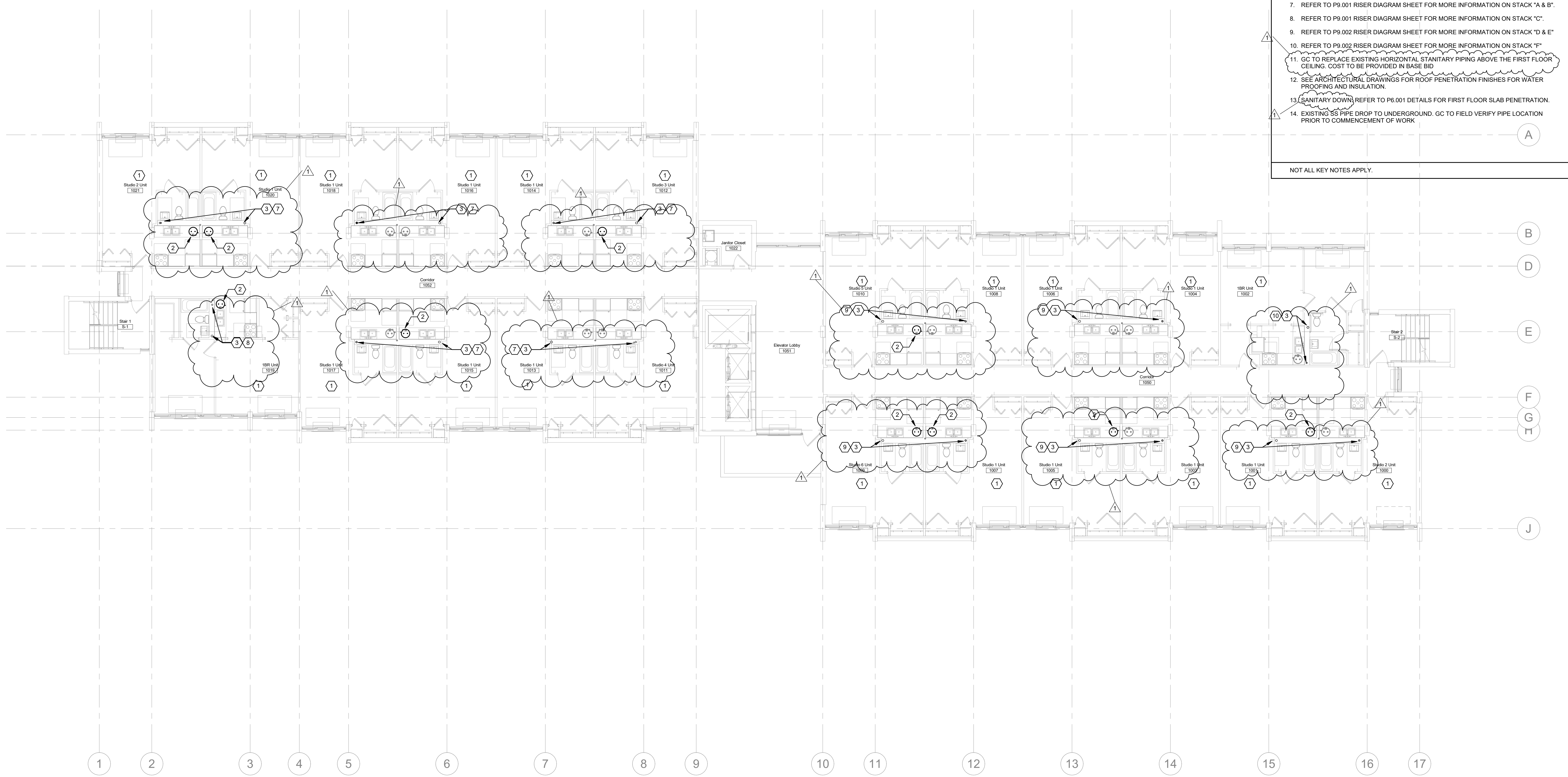
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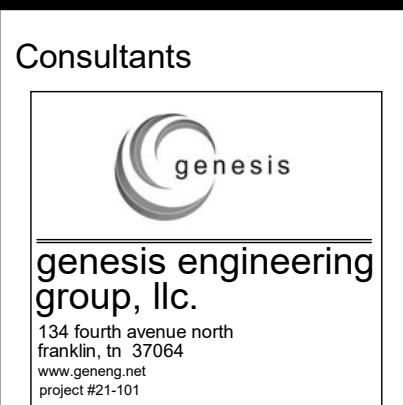


**1 LEVEL 10 - NEW WORK FLOOR PLAN**  
P1.110 1/8" = 1'-0"

**NEW WORK AND EXISTING LEGEND**

--- EXISTING TO REMAIN

— NEW WORK



Project Name

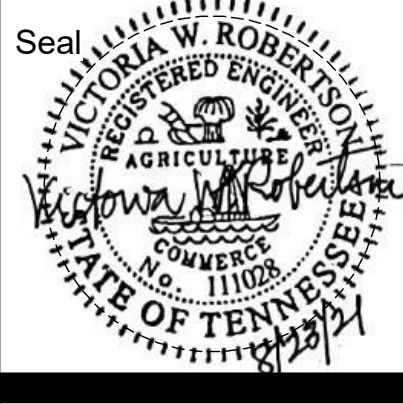
**Northgate  
Terrace  
Renovation**

4301 Whittle Springs Road  
Knoxville, TN 37917

Client

**Knoxville's  
Community  
Development  
Corporation**

901 N. Broadway Knoxville, TN  
37917



Revisions

No.	Description	Date
1	Addendum 1	09/10/21

**LEVEL 10 -  
FLOOR PLAN**

Project number 21KC01  
Date Aug. 23, 2021

**P1.110**  
Scale 1/8" = 1'-0"



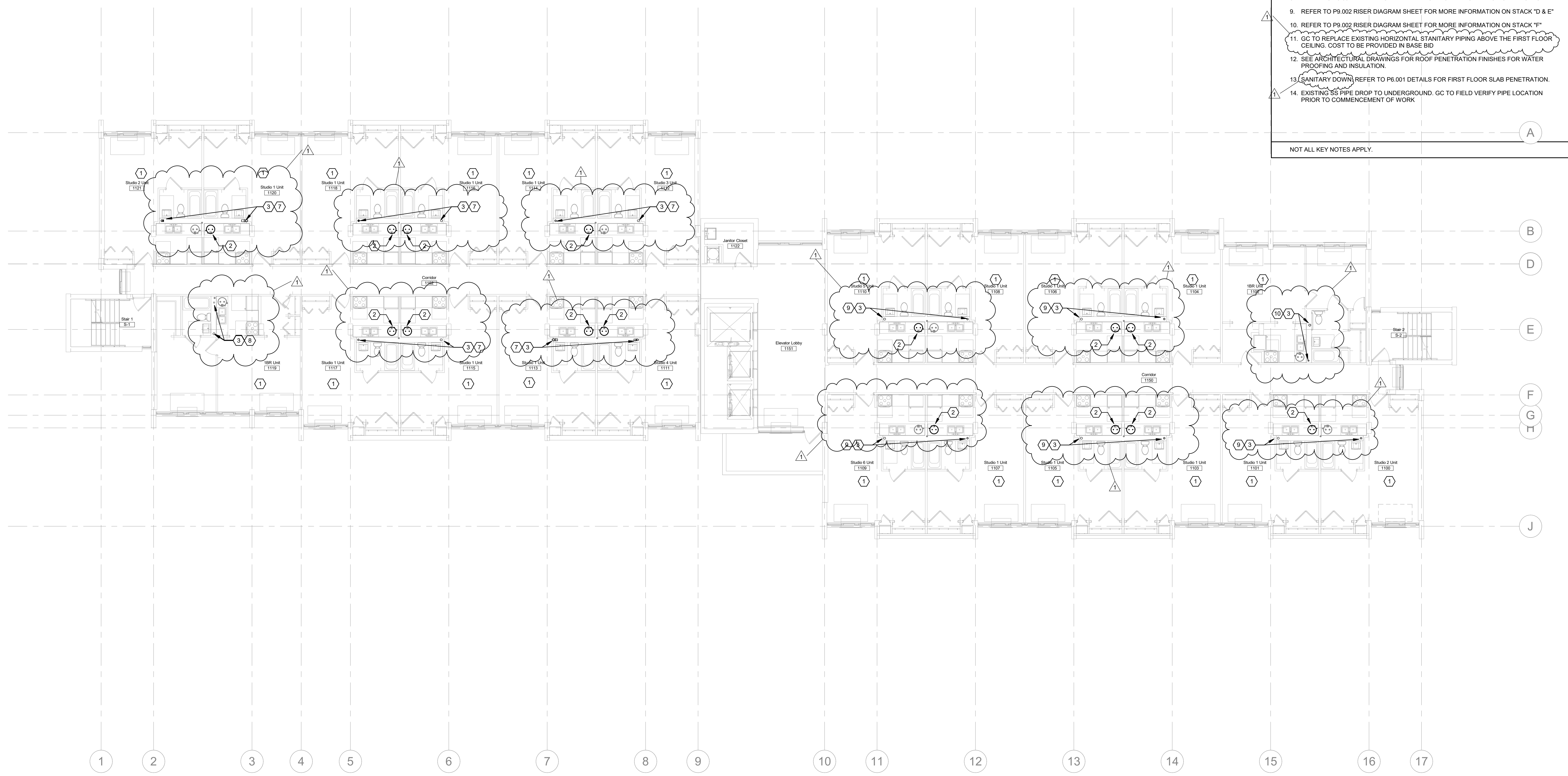
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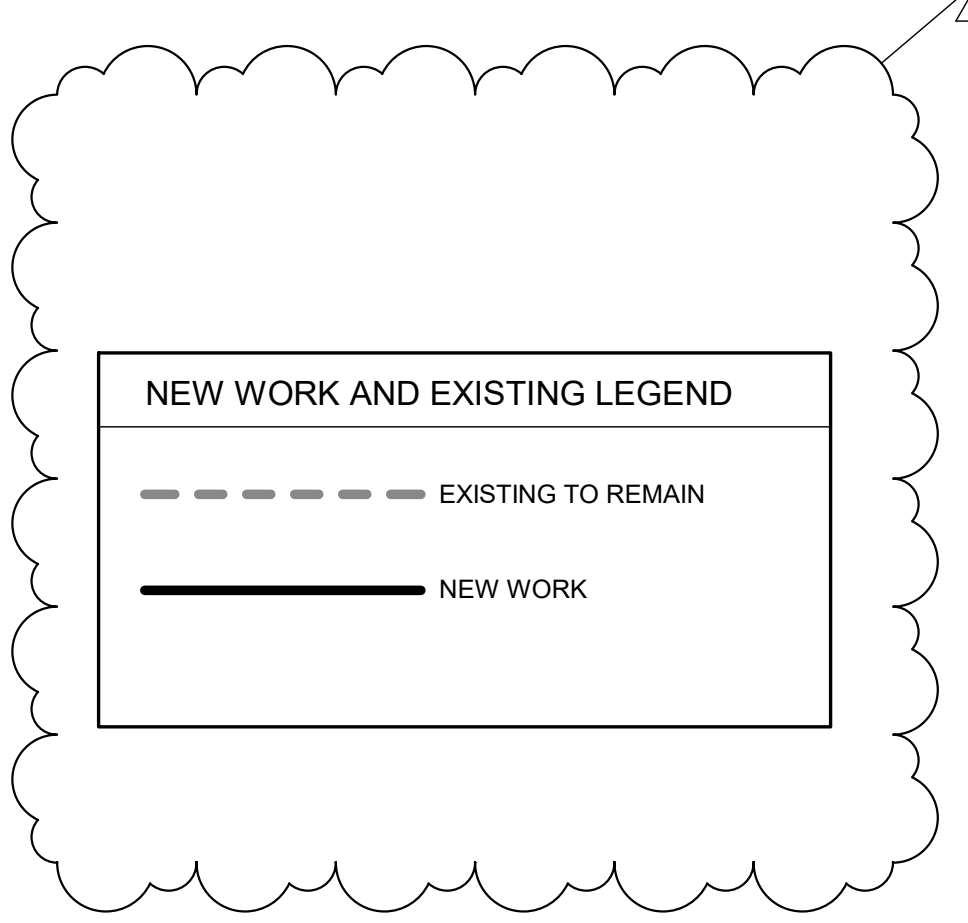
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NOT ALL KEY NOTES APPLY.



**1 LEVEL 11 - NEW WORK FLOOR PLAN**  
 P1.111 1/8" = 1'-0"

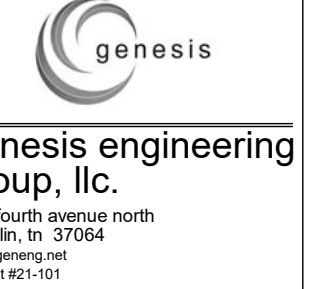




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Consultants



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 harriman, tn 37064  
 www.genesiseng.com  
 license #01-107

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Project Name

**Northgate Terrace Renovation**

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4301 Whittle Springs Road  
 Knoxville, TN 37917

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Client

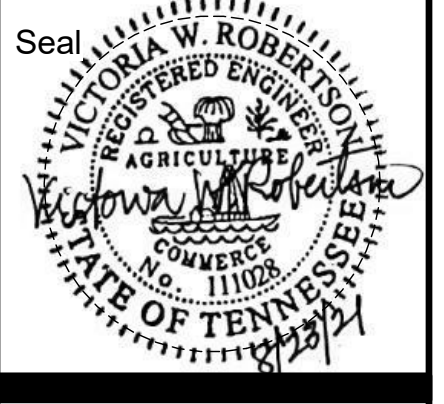
**Knoxville's Community Development Corporation**

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901 N. Broadway Knoxville, TN 37917

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Revisions

No.	Description	Date
1	Addendum 1	09/10/21

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**LEVEL 11 - FLOOR PLAN**

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Project number 21KC01  
 Date Aug. 23, 2021

**P1.111**

Scale 1/8" = 1'-0"



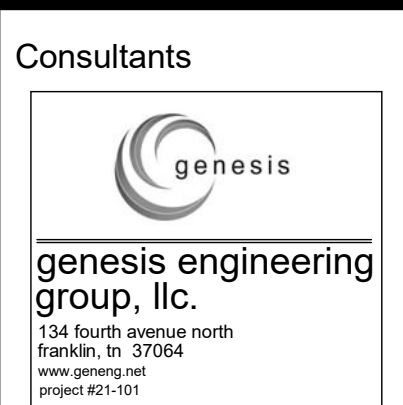
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**Project Name**

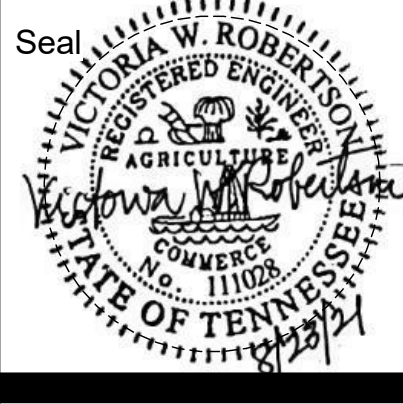
Northgate Terrace Renovation

4301 Whittle Springs Road Knoxville, TN 37917

**Client**

Knoxville's Community Development Corporation

901 N. Broadway Knoxville, TN 37917



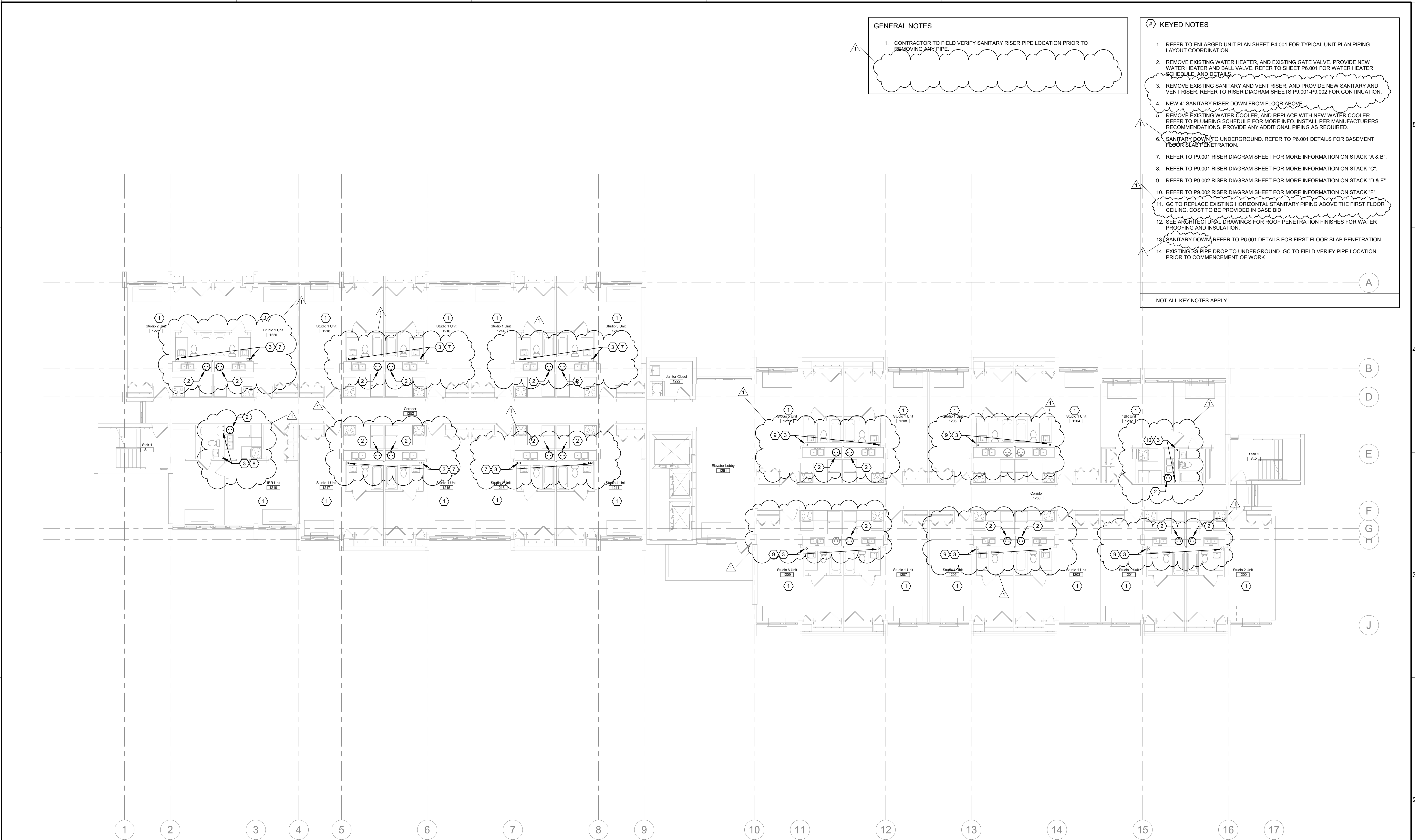
**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

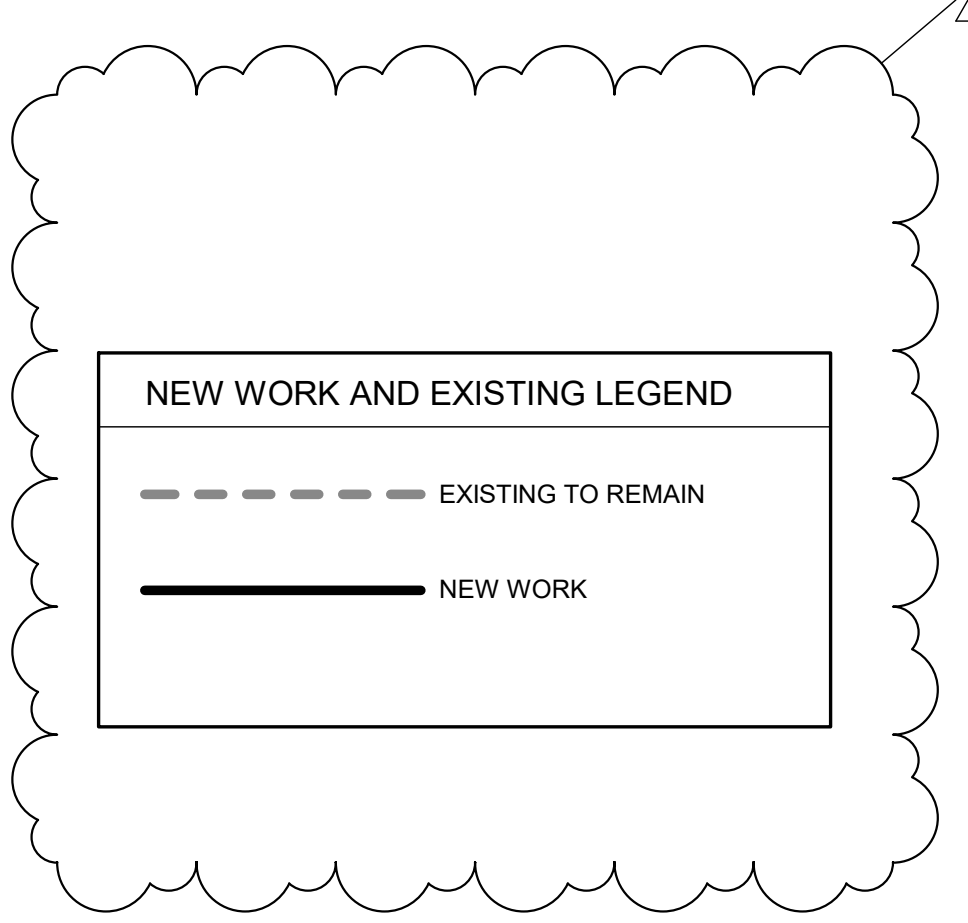
**LEVEL 12 - FLOOR PLAN**

Project number 21KC01  
Date Aug. 23, 2021

**P1.112**  
Scale 1/8" = 1'-0"



**1 LEVEL 12 - NEW WORK FLOOR PLAN**  
P1.112 1/8" = 1'-0"









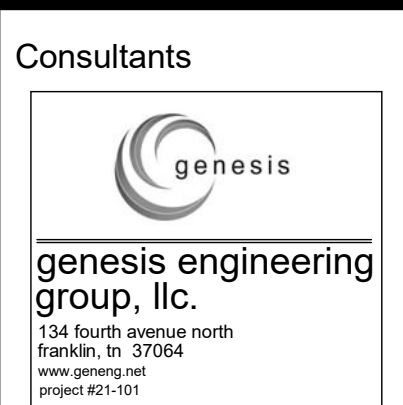
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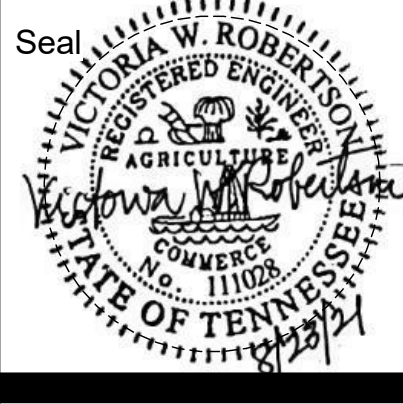


Project Name  
**Northgate Terrace Renovation**

4301 Whittle Springs Road Knoxville, TN 37917

Client  
**Knoxville's Community Development Corporation**

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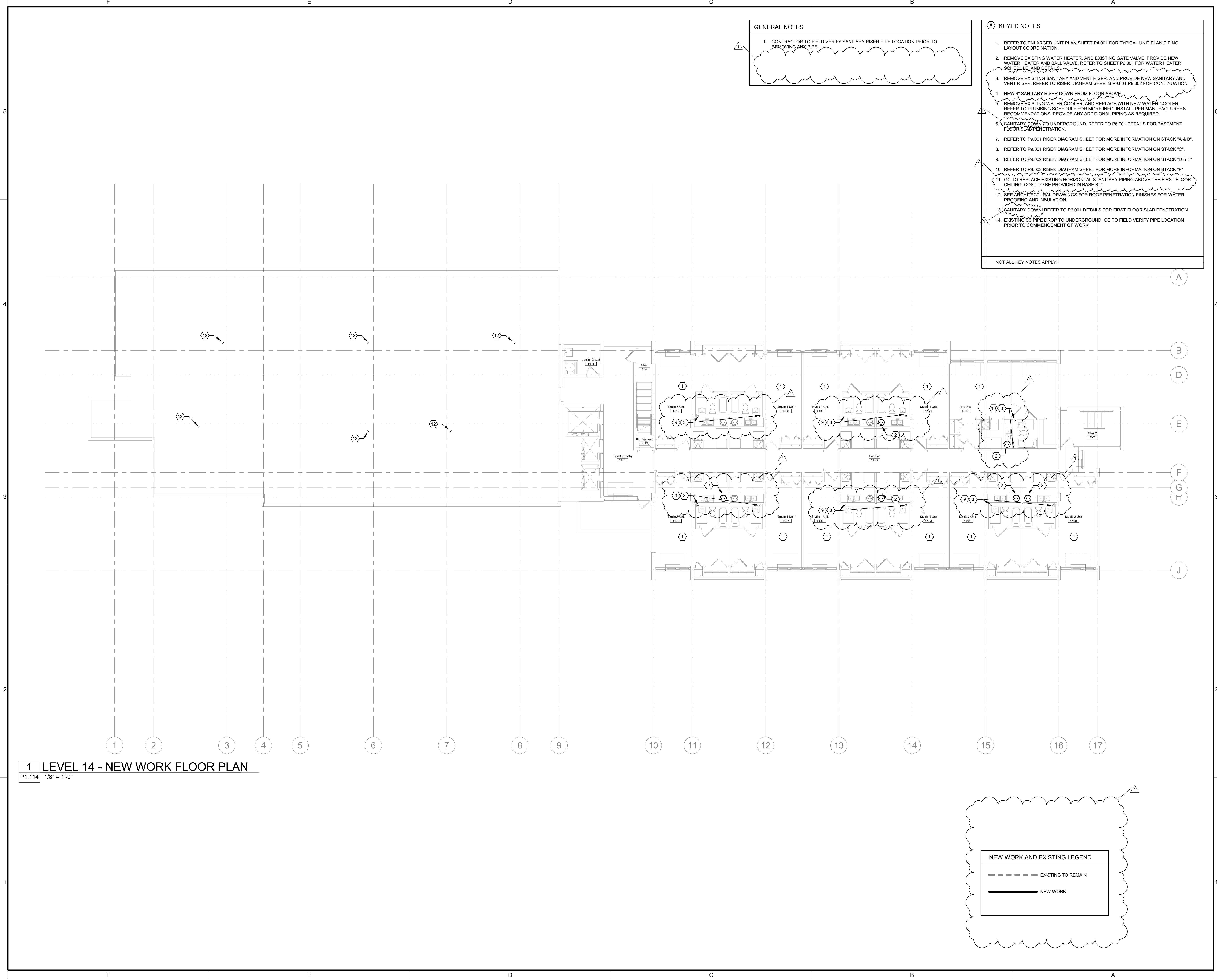
Revisions

No.	Description	Date
1	Addendum 1	09/10/21

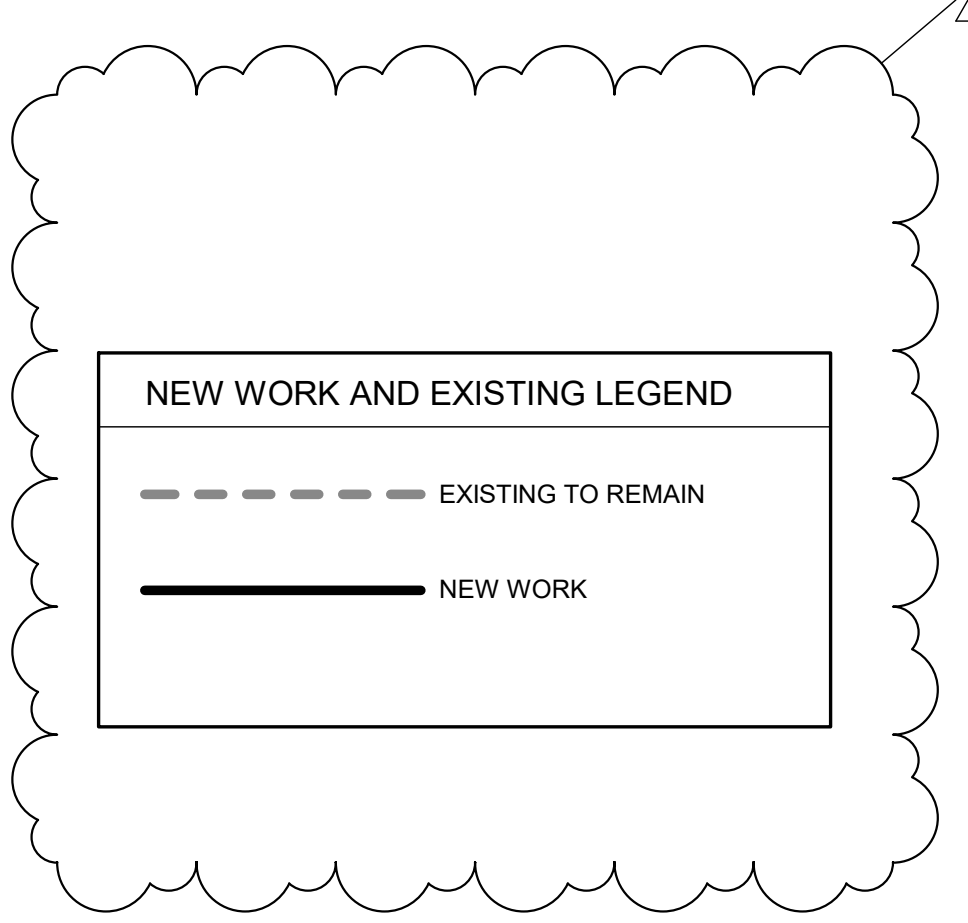
**LEVEL 14 - FLOOR PLAN**

Project number 21KC01  
Date Aug. 23, 2021

**P1.114**  
Scale 1/8" = 1'-0"



**1 LEVEL 14 - NEW WORK FLOOR PLAN**  
P1.114 1/8" = 1'-0"





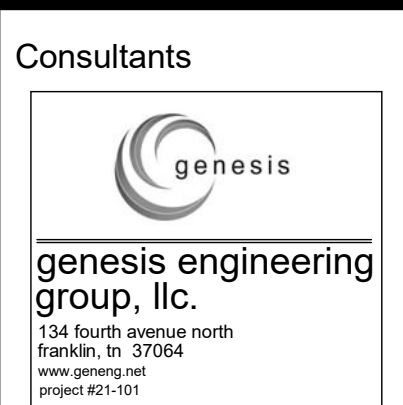
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- EXISTING SS PIPE DROP TO UNDERGROUND. GC TO FIELD VERIFY PIPE LOCATION PRIOR TO COMMENCEMENT OF WORK.

NOT ALL KEY NOTES APPLY.

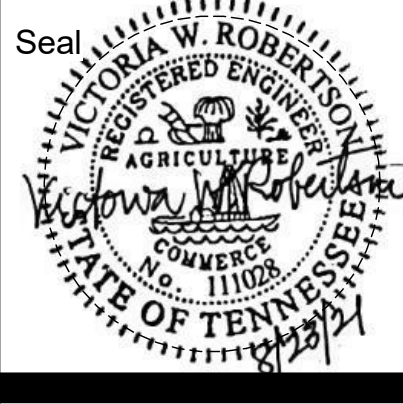


Project Name  
**Northgate Terrace Renovation**

4301 Whittle Springs Road Knoxville, TN 37917

Client  
**Knoxville's Community Development Corporation**

901 N. Broadway Knoxville, TN 37917

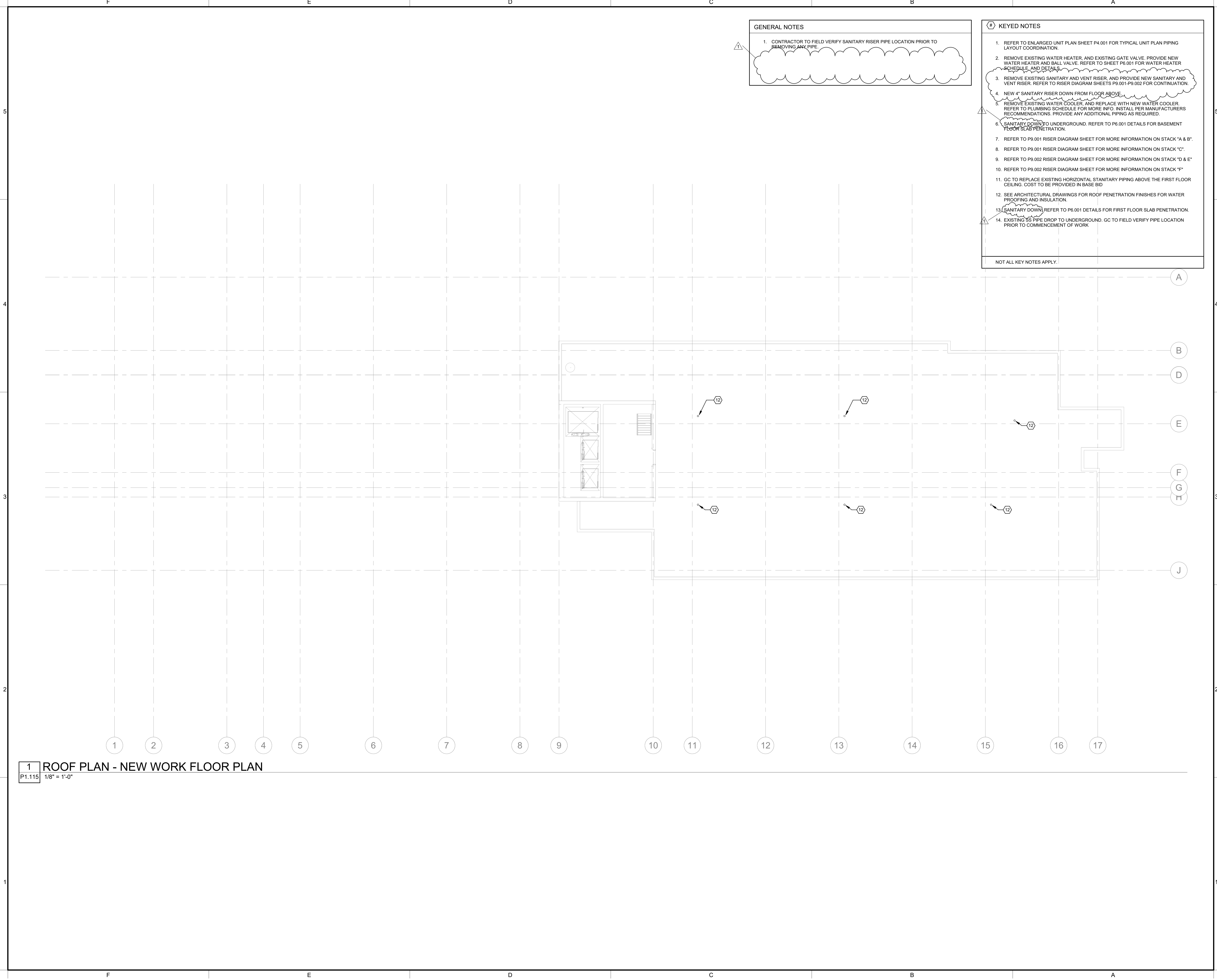


Revisions

No.	Description	Date

**ROOF PLAN**

Project number 21KC01  
Date Aug. 23, 2021  
**P1.115**  
Scale 1/8" = 1'-0"



**1 ROOF PLAN - NEW WORK FLOOR PLAN**  
P1.115 1/8" = 1'-0"



F E D C B A


- GENERAL NOTES**
1. REFER TO FLOOR PLAN SHEETS P1.101 - P1.114 FOR WATER HEATERS THAT ARE BEING REPLACED.
  2. REPLACE ALL WATER DISTRIBUTION PIPES AND GATE VALVES ON ALL UNITS. PROVIDE NEW SHUT-OFF BALL VALVE.
  3. REPLACE HORIZONTAL SANITARY PIPING IN EACH RESIDENTIAL UNIT FROM PLUMBING FIXTURE TO SANITARY STACK. DRYWALL TO BE CUT AND PATCH ON KITCHEN SIDE OF PLUMBING CHASE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
  4. CONNECT NEW SANITARY PIPING TO EXISTING WATER CLOSET. EXISTING SHOWER, AND EXISTING LAVATORY. REFER TO RISER DIAGRAM FOR MORE INFORMATION ON SANITARY PIPING.

- KEYED NOTES**
1. CONNECT NEW 3/4" CW PIPING TO EXISTING CW MAIN.
  2. PROVIDE NEW SHUT-OFF BALL VALVE. REFER TO SHEET P6.001 FOR MORE DETAILS.
  3. CONNECT NEW CW AND HW PIPING TO EXISTING WATER HEATER.
  4. INSTALL NEW SHOWER HEAD (SH-1 OR SH-2). REFER TO SCHEDULE SHEET P6.001 FOR SHOWER HEAD LOCATIONS PER FLOOR.
  5. 4" SS RISER. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
  6. 3" VENT RISER. REFER TO RISER DIAGRAM FOR MORE INFORMATION.



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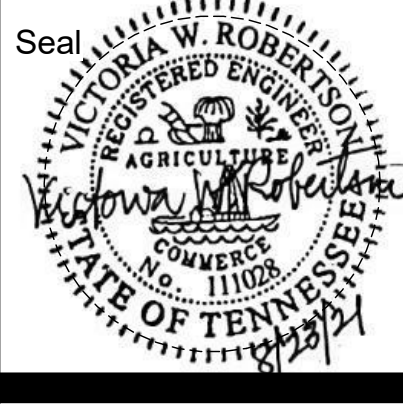
genesis engineering group, llc.  
34 South Avenue North  
Nashville, TN 37064  
www.genesiseng.com  
P1000001-001

Project Name  
**Northgate Terrace Renovation**

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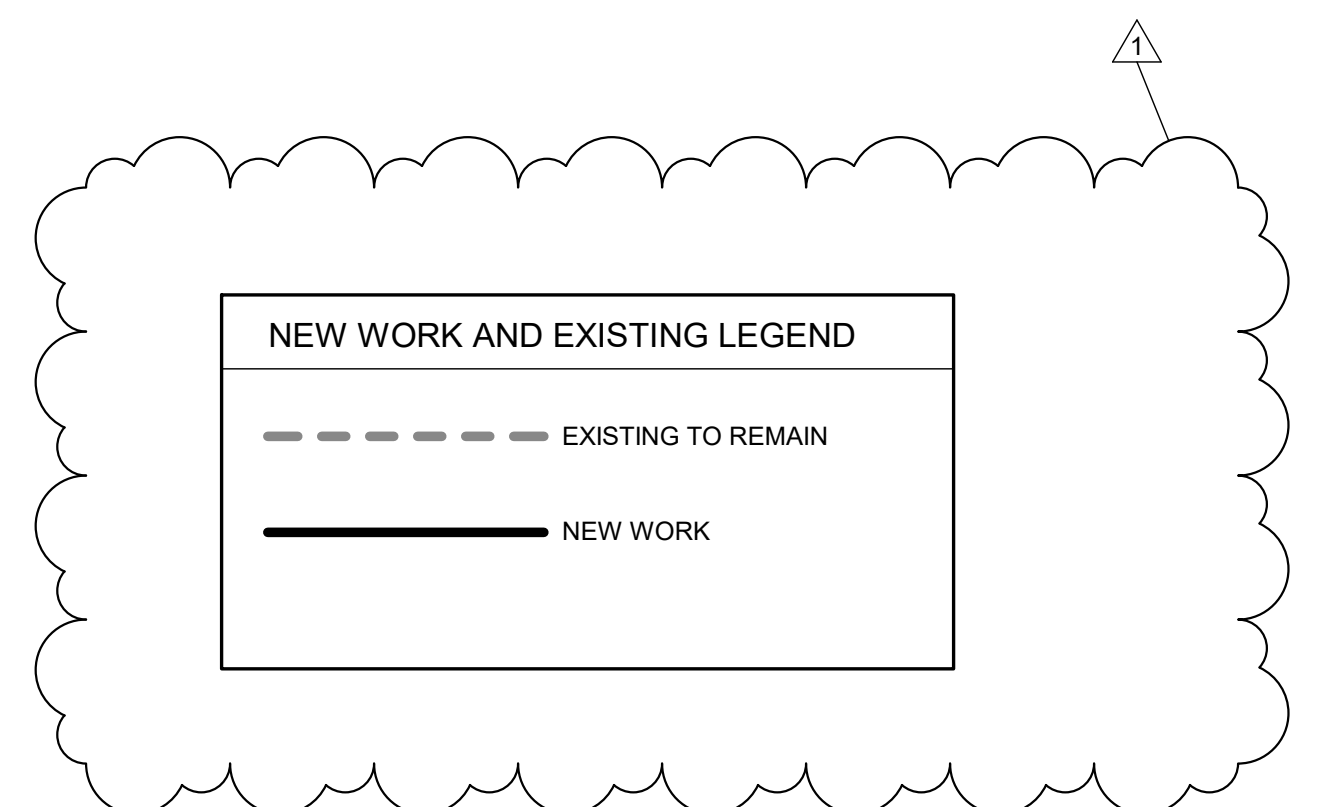
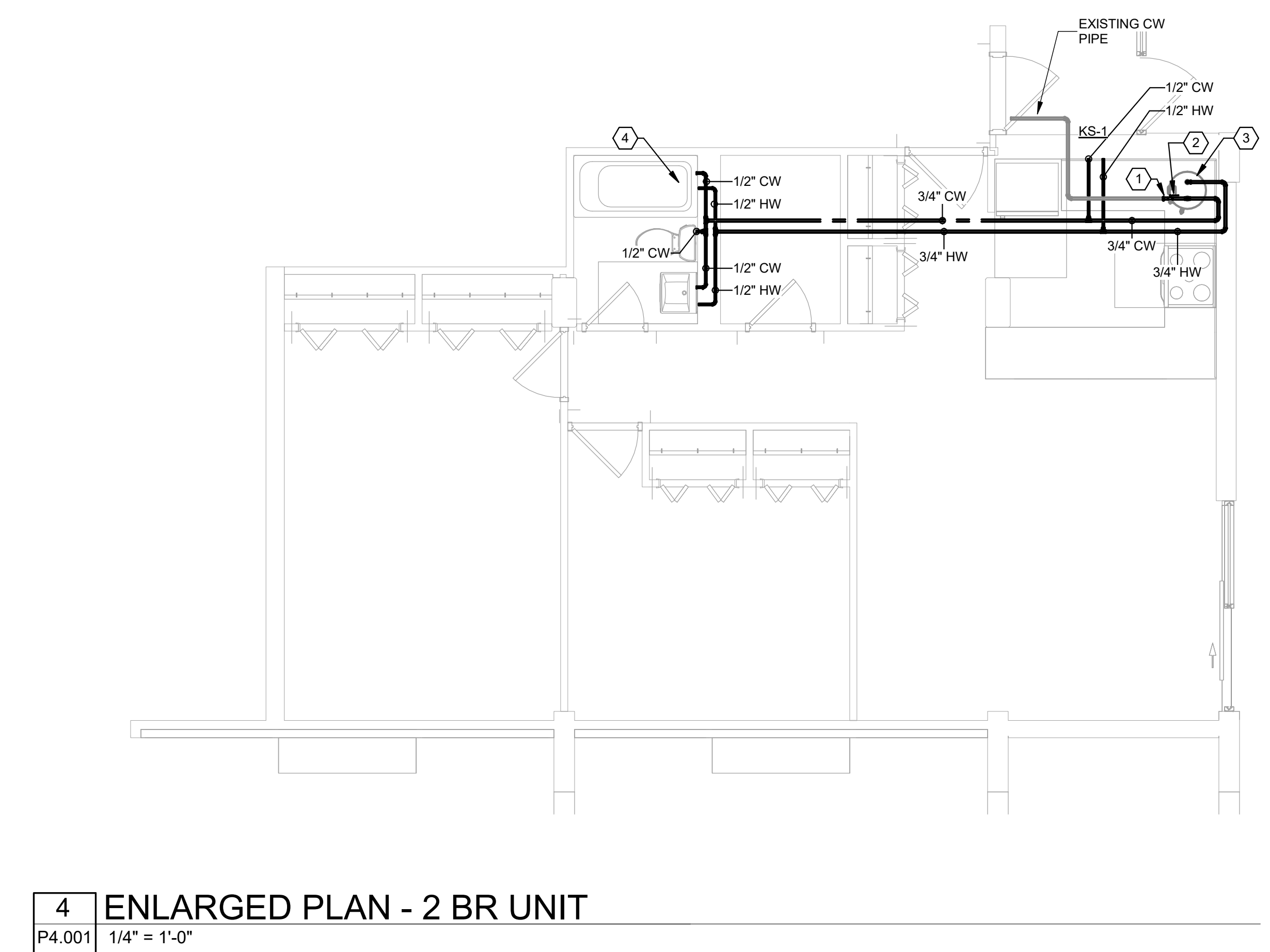
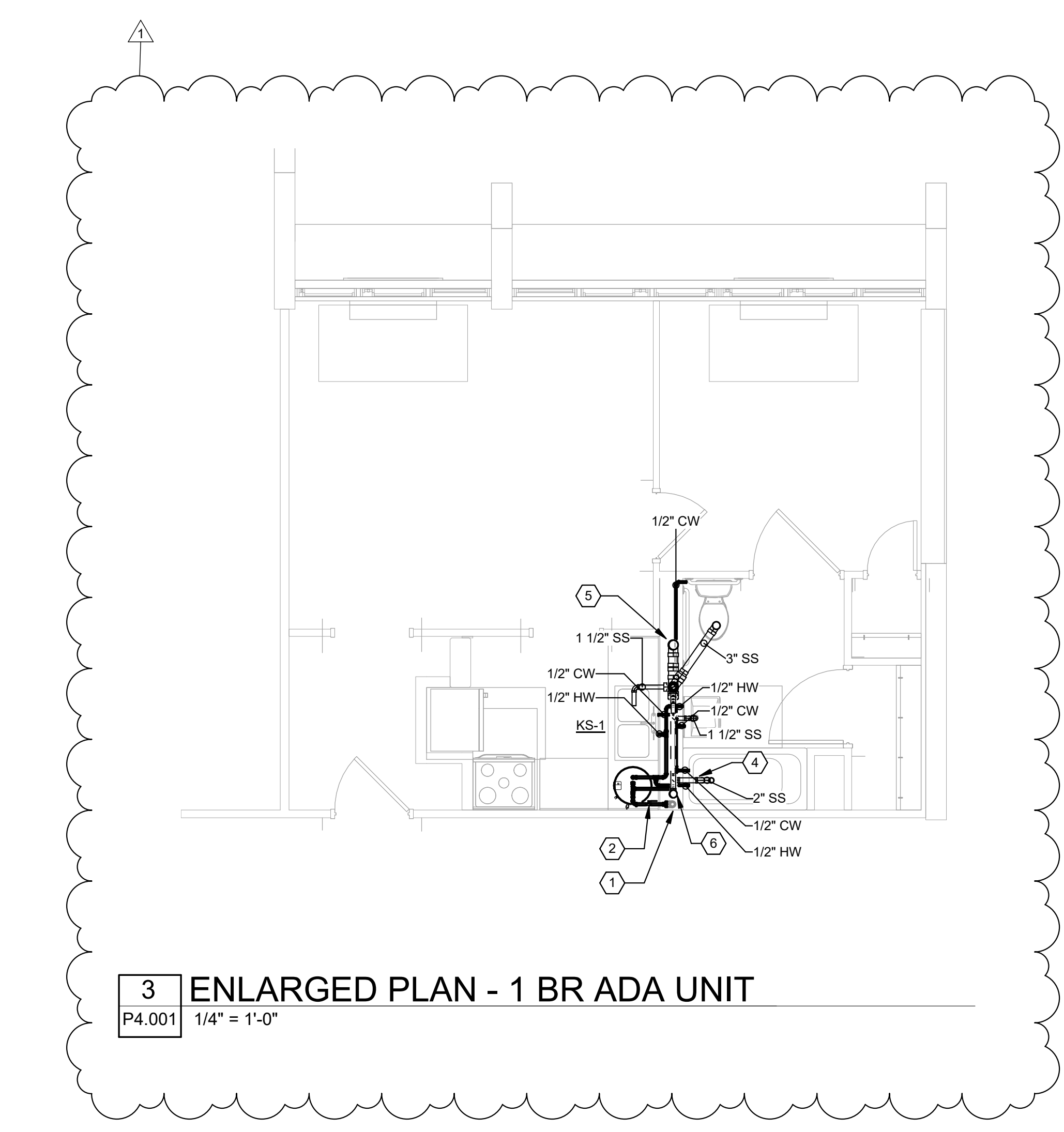
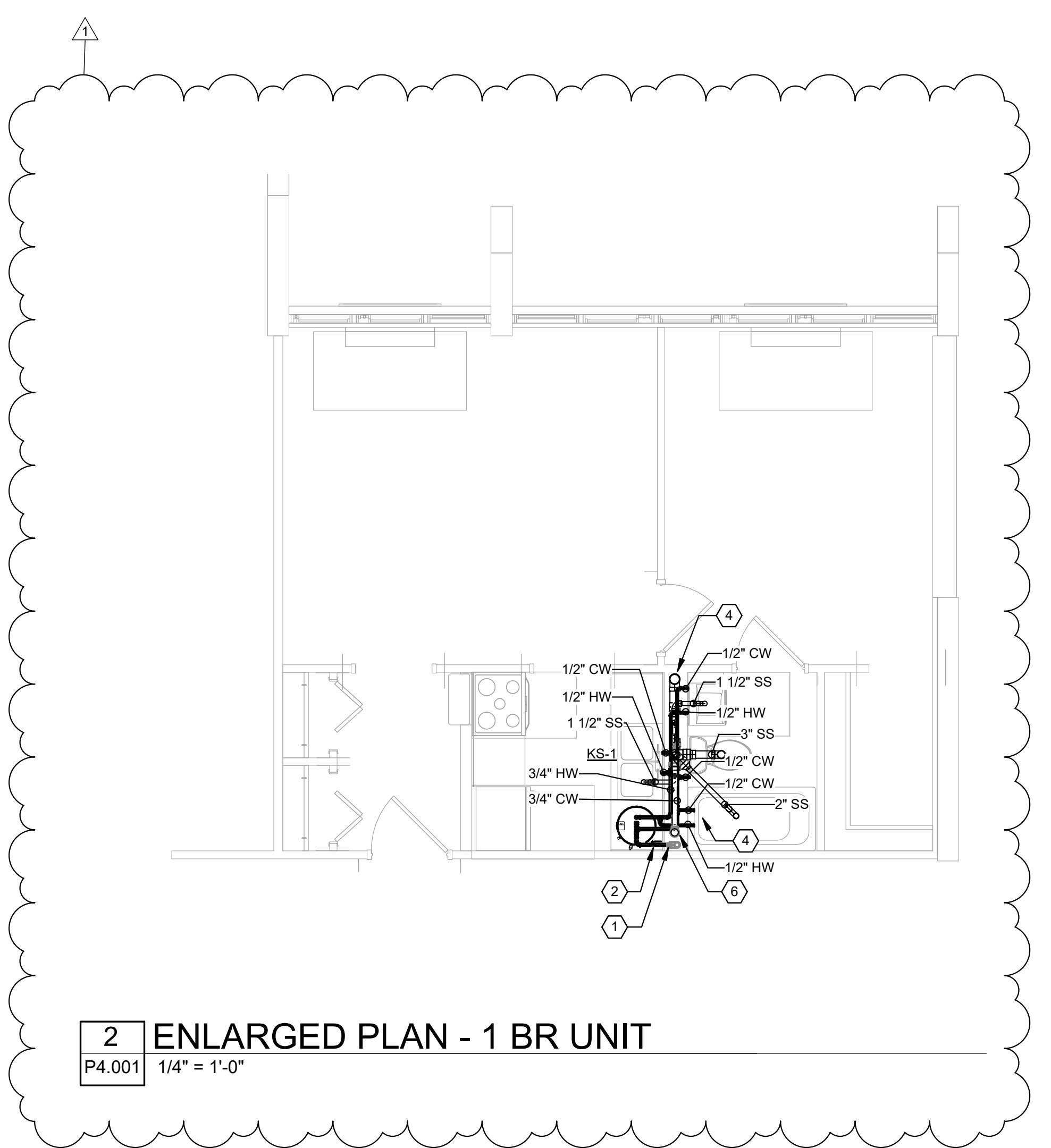
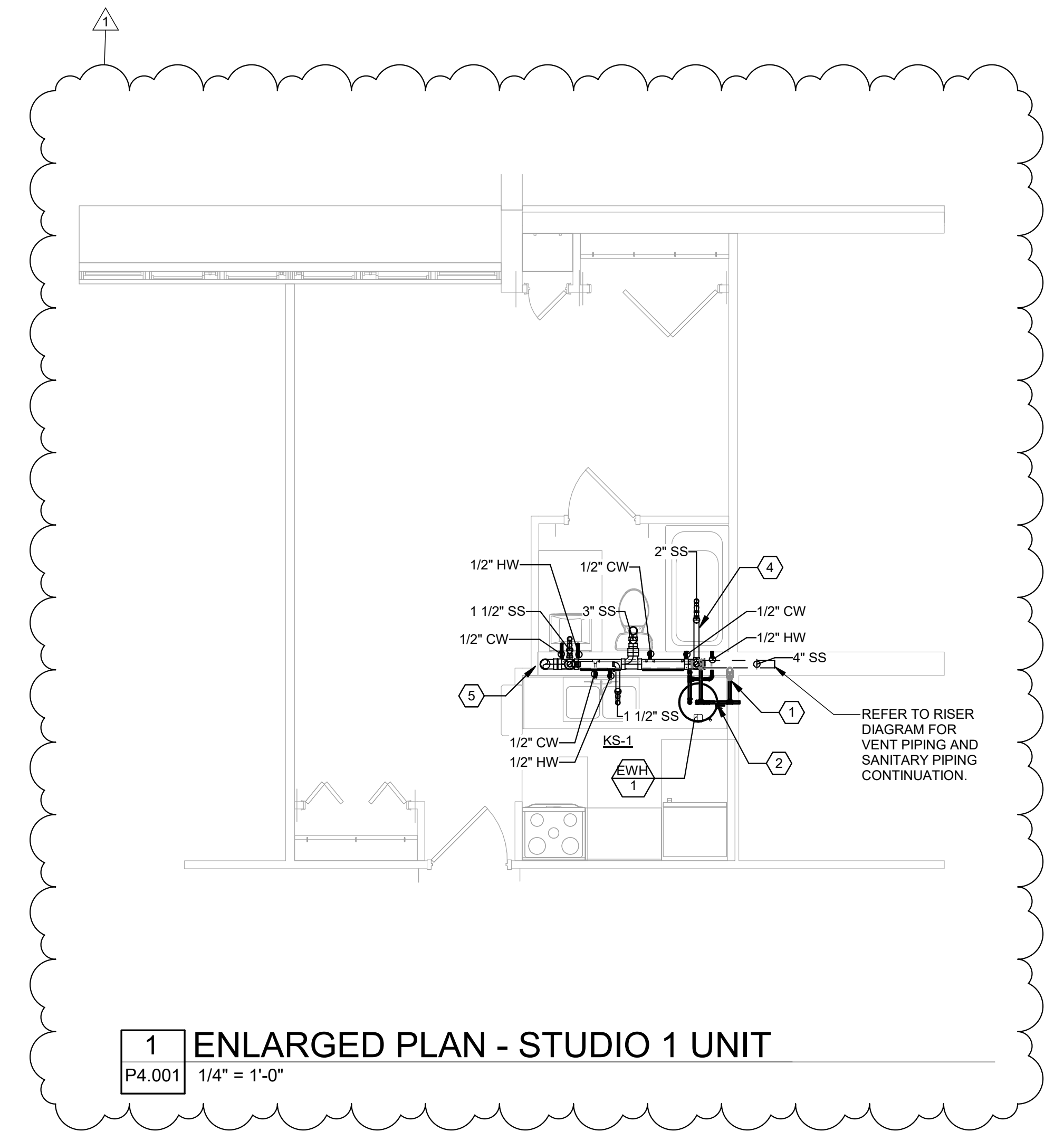
Revisions

No.	Description	Date
1	Addendum 1	09/10/21

**ENLARGED UNIT PLANS**

Project number 21KC01  
Date Aug. 23, 2021

**P4.001**  
Scale As indicated





### DWELLING UNIT WATER HEATER SCHEDULE

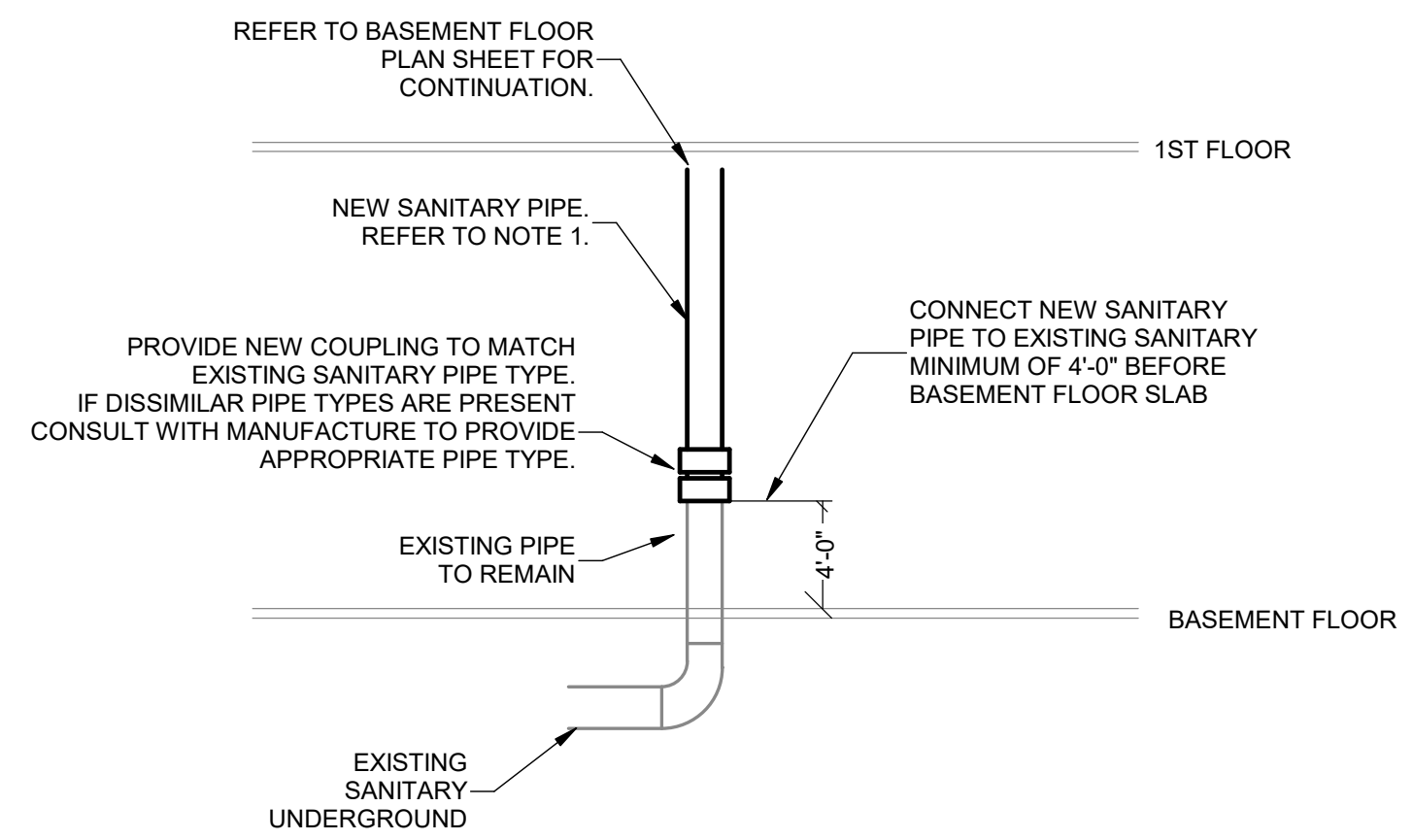
MARK	-	EWH-1
MANUFACTURER	-	AO SMITH
AREA SERVED	-	SEE PLANS
MODEL NUMBER	-	ENLB 30
RECOVERY	GPH	21
TEMP RISE	°F	90
STORAGE	GALLONS	28
ELECTRICAL INPUT	KW @ V/PH	4.5 @ 240/1
ENERGY FACTOR	-	0.89 EF
DIMENSIONS	-	18"D x 61.25"H
NOTES	-	1, 2, 3, 4

**NOTES:**

- SEE WATER HEATER DETAIL FOR ADDITIONAL ACCESSORIES.
- SET TO 125°.
- 6 YEAR TANK WARRANTY.
- INTEGRAL HEAT TRAPS.

### PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	DESCRIPTION	MAKE AND MODEL	PIPE SIZE (INCH)				ACCESSORIES
				WASTE	VENT	C.W.	H.W.	
KS-1	KITCHEN SINK	KITCHEN SINK TYPE 304 STAINLESS STEEL, 22 GA., DOUBLE BOWL DROP-IN SINK, 33"x22"x6-9/16" DEEP, WITH 8" CENTERSET, 3-HOLE SINGLE HANDLE KITCHEN FAUCET, CHROME FINISH, 1.8 GPM <i>SINK IS ADA COMPLIANT</i>	SINK ELKAY DAYTON D23322 FAUCET: DELTA B1310LF	-	-	1/2	1/2	3-1/2" STAINLESS STEEL DRAIN ASSEMBLY WITH BASKET STRAINER, 17 GAUGE 1-1/2" TAILPIECE, 1-1/2" X 1-1/2" 17 GA. P-TRAP WITH WASTE ARM AND WALL ESCUTCHEON, WHEEL HANDLE BRASS ANGLE STOPS WITH ANNEALED SUPPLIES, POLISHED CHROME FINISH. PROVIDE PRE-MOLDED INSULATION KITS FOR ALL EXPOSED DRAINAGE AND SUPPLY PIPING AND TRIM BELOW LAV. TRUEBRO. PROVIDE NEW SHUT OFF VALVES.
SH-1	SHOWERHEAD (LOCATED ON FLOORS 4 THRU 14)	SHOWERHEAD, 1.5 GPM	SHOWERHEAD: NIAGRARA CONSERVATION N2945CH	-	-	1/2	1/2	
SH-2	HANDHELD SHOWERHEAD (LOCATED ON FLOORS 2 THRU 3)	HANDHELD SHOWERHEAD WITH 6 SPRAY SETTINGS, 60" METAL HOSE, MAX 1.75 GPM	SHOWERHEAD: DELTA 75605	-	-	1/2	1/2	
EWC-1	ELECTRIC WATER COOLER	ELKAY ENHANCED E2H2O BOTTLE FILLING STATION, BI-LEVEL ADA COOLER, FILTERED 6 GPH 115V/1PH	ELKAY LZSTL8WSP (STAINLESS)	-	-	1/2	-	P-TRAP, PROVIDE METAL FIXTURE TYPE

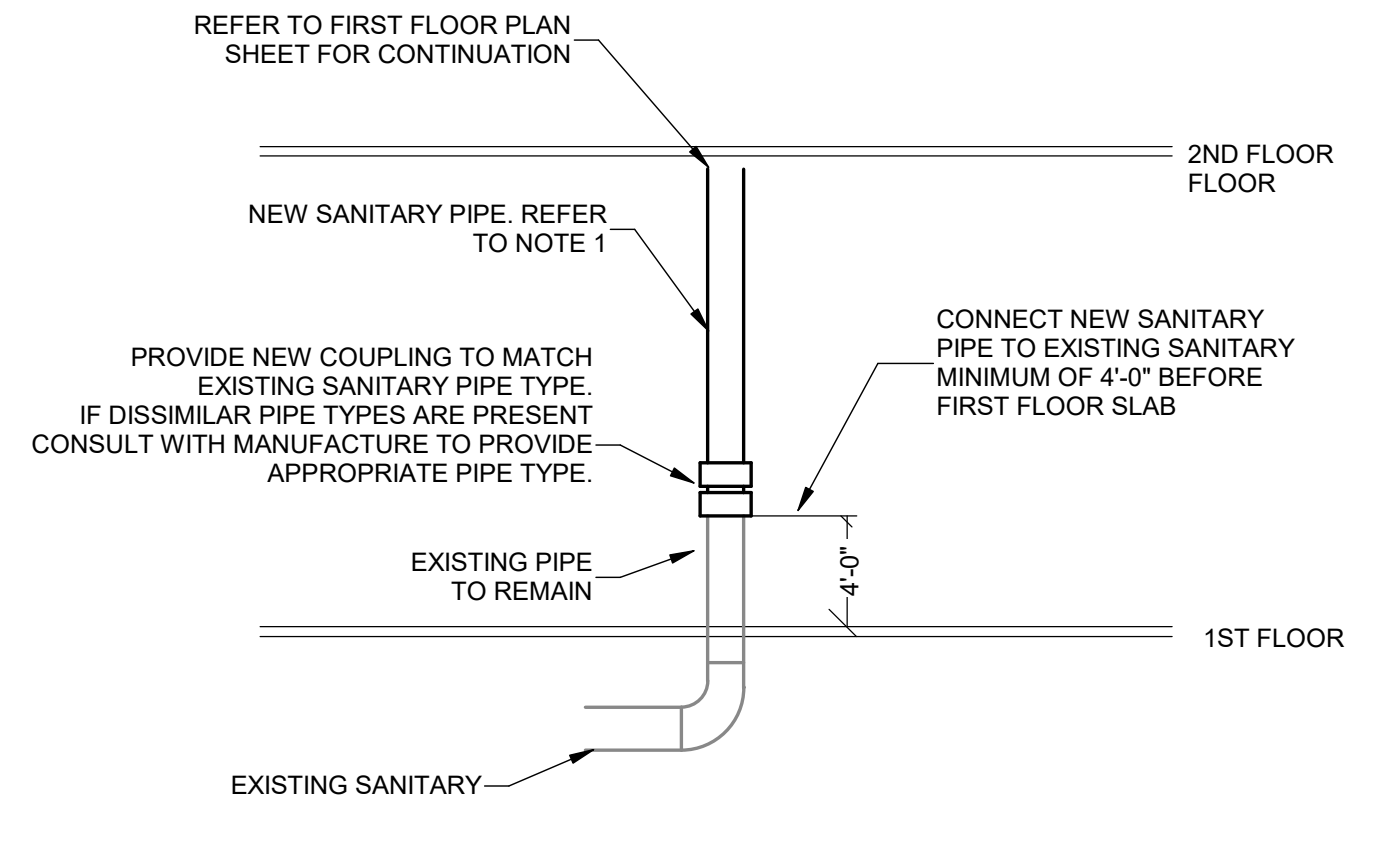


**BASEMENT FLOOR PIPE PENETRATION DETAIL**

NOT TO SCALE

**NOTES:**

- CONTRACTOR TO FIELD VERIFY EXISTING PIPE SIZE, AND PROVIDE NEW PIPE TO MATCH EXISTING PIPE SIZE. PROVIDE ARCHITECT, AND ENGINEER OF EXISTING PIPE SIZE.

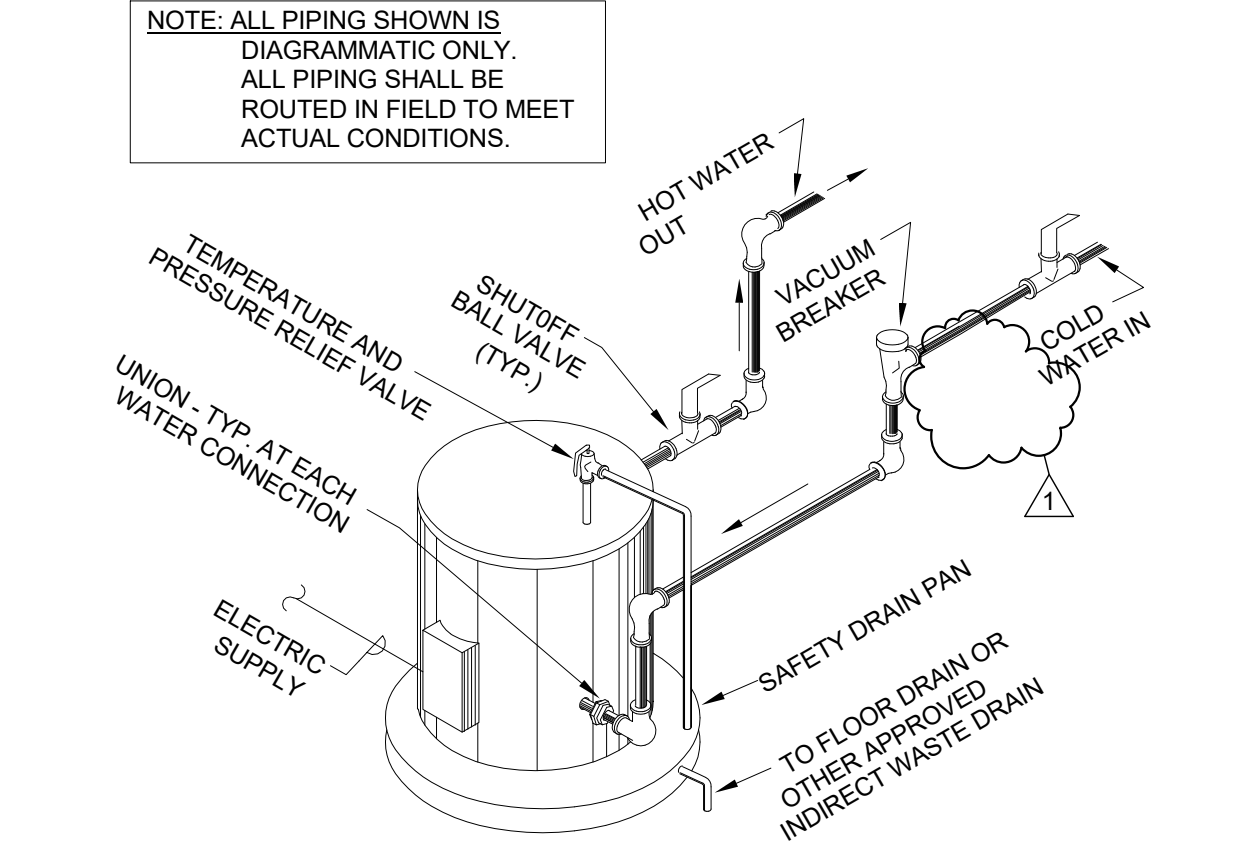


**FIRST FLOOR PIPE PENETRATION DETAIL**

NOT TO SCALE

**NOTES:**

- CONTRACTOR TO FIELD VERIFY EXISTING PIPE SIZE, AND PROVIDE NEW PIPE TO MATCH EXISTING PIPE SIZE. PROVIDE ARCHITECT, AND ENGINEER OF EXISTING PIPE SIZE.



**LOWBOY ELECTRIC WATER HEATER DETAIL**

NOT TO SCALE

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PHOTO: KYLE WOOD

Project Name

**Northgate Terrace Renovation**

4301 Whittle Springs Road  
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Client

**Knoxville's Community Development Corporation**

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Revisions

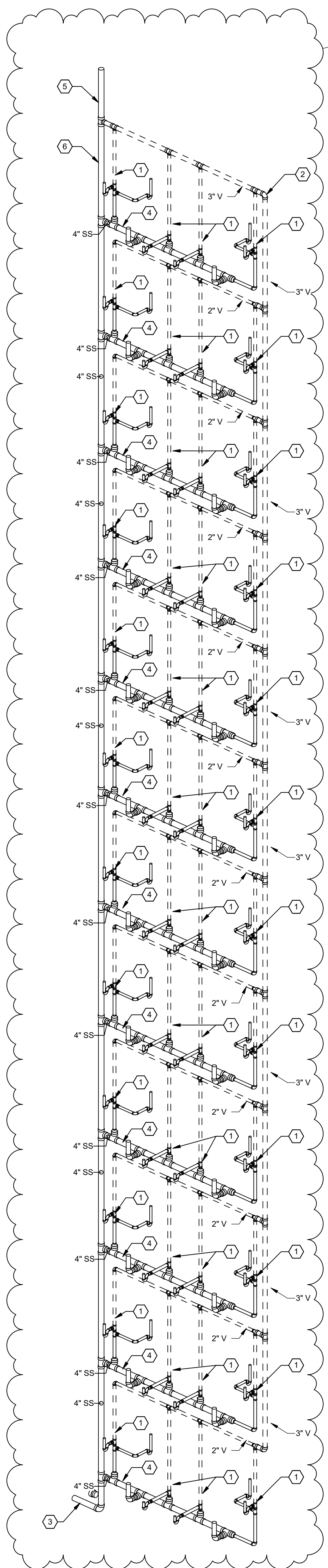
No.	Description	Date
1	Addendum 1	09/10/21

**SCHEDULES & DETAILS**

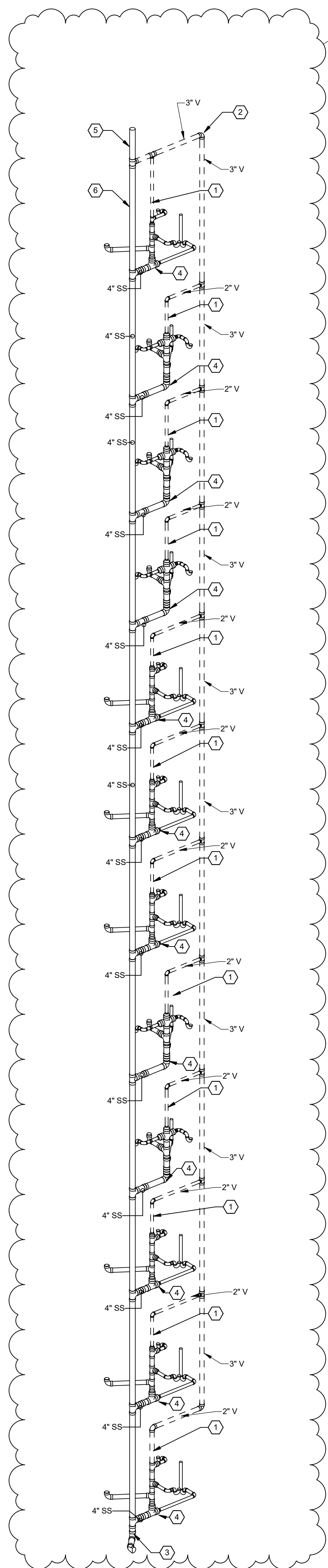
Project number 21KC01  
Date Aug. 23, 2021

**P6.001**  
Scale 1/8" = 1'-0"





1 WASTE & VENT STACK "A" STACK "B" OPOSITE HAND  
P9.001



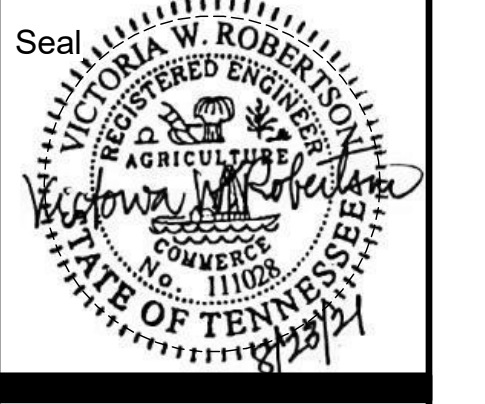
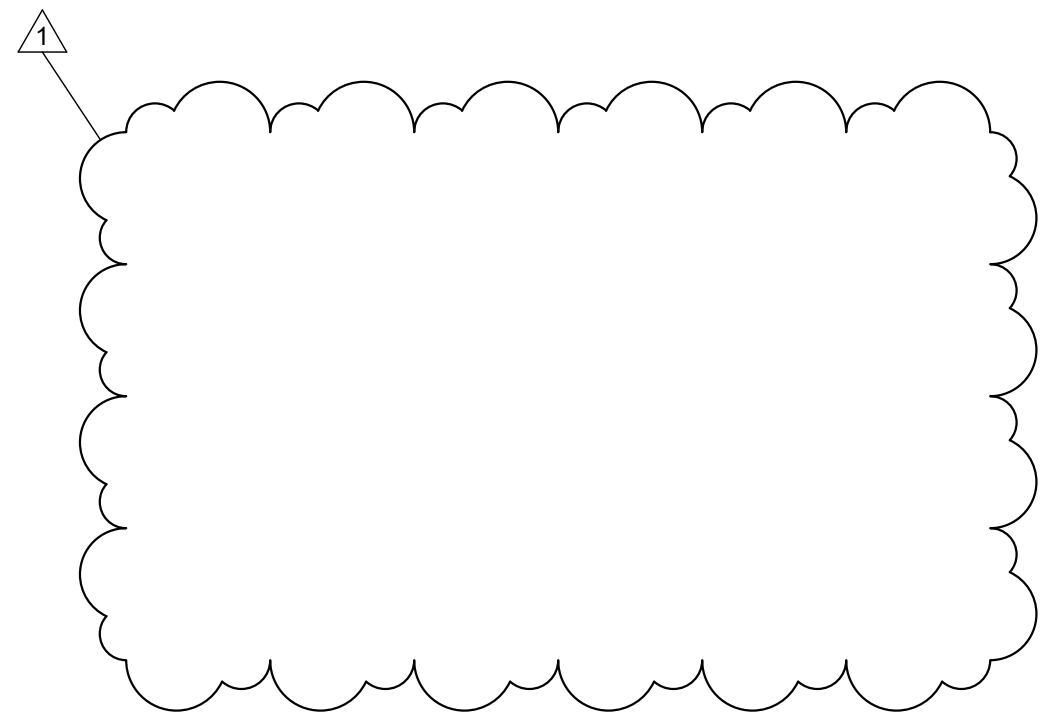
2 WASTE & VENT STACK "C"  
P9.001

**GENERAL NOTES**

- REFER TO FLOOR PLAN SHEET FOR SANITARY RISER LOCATION.
- REFER TO ENLARGE UNIT PLAN SHEET P4.001 FOR PLUMBING FIXTURE LOCATION.

**KEYED NOTES**

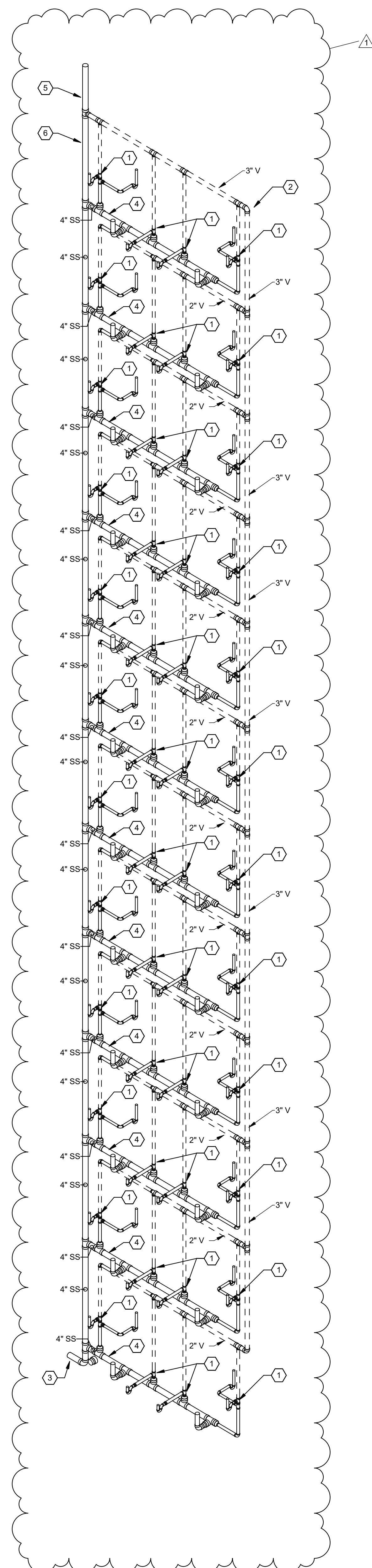
- 2" VENT PIPING
- GC TO REPLACE ALL HORIZONTAL AN VERTICAL VENT PIPING IN UNIT.
- REFER TO FLOOR PLAN SHEET P1.101 FOR CONTINUATION.
- GC TO REPLACE HORIZONTAL SANITARY SEWER PIPING IN RESIDENTIAL UNITS FROM PLUMBING FIXTURE TO SANITARY STACK. PROVIDE COST IN BASE BID. DRYWALL TO BE CUT AND PATCHED ON KITCHEN SIDE OF CHASE.
- SEE ARCHITECTURAL DRAWINGS FOR ROOF PENETRATION FINISHES FOR WATER PROOFING AND INSULATION.
- GC TO REPLACE VERTICAL SANITARY SEWER STACK. REFER TO FLOOR PLAN SHEET P1.101-P1.114 FOR SANITARY STACK LOCATION. PROVIDE COST IN BASE BID.



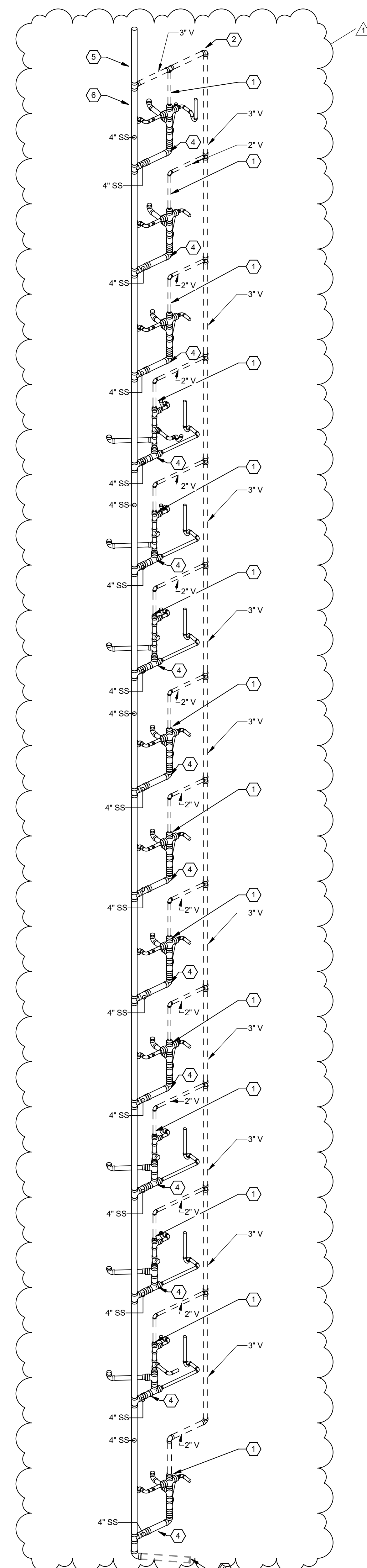
**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21





**1** WASTE & VENT STACK "D" STACK "E" OPOSITE HAND  
P9.002



**2** WASTE & VENT STACK "F"  
P9.002

**GENERAL NOTES**

1. REFER TO FLOOR PLAN SHEET FOR SANITARY RISER LOCATION.
2. REFER TO ENLARGE UNIT PLAN SHEET P4.001 FOR PLUMBING FIXTURE LOCATION.

**KEYED NOTES**

1. 2" VENT PIPING
2. GC TO REPLACE ALL HORIZONTAL AN VERTICAL VENT PIPING IN UNIT.
3. REFER TO FLOOR PLAN SHEET P1.101 FOR CONTINUATION.
4. GC TO REPLACE HORIZONTAL SANITARY SEWER PIPING IN RESIDENTIAL UNITS FROM PLUMBING FIXTURE TO SANITARY STACK. PROVIDE COST IN BASE BID. DRYWALL TO BE CUT AND PATCHED ON KITCHEN SIDE OF CHASE.
5. SEE ARCHITECTURAL DRAWINGS FOR ROOF PENETRATION FINISHES FOR WATER PROOFING AND INSULATION.
6. GC TO REPLACE VERTICAL SANITARY SEWER STACK. REFER TO FLOOR PLAN SHEET P1.101-P1.114 FOR SANITARY STACK LOCATION. PROVIDE COST IN BASE BID.



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project P9.002

**Project Name**

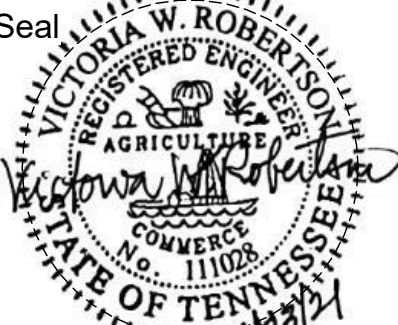
**Northgate**  
**Terrace**  
**Renovation**

4301 Whittle Springs Road  
Knoxville, TN 37917

**Client**

**Knoxville's**  
**Community**  
**Development**  
**Corporation**

901 N. Broadway Knoxville, TN  
37917



**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

**RISER**  
**DIAGRAMS**

Project number 21KC01  
Date Aug. 23, 2021

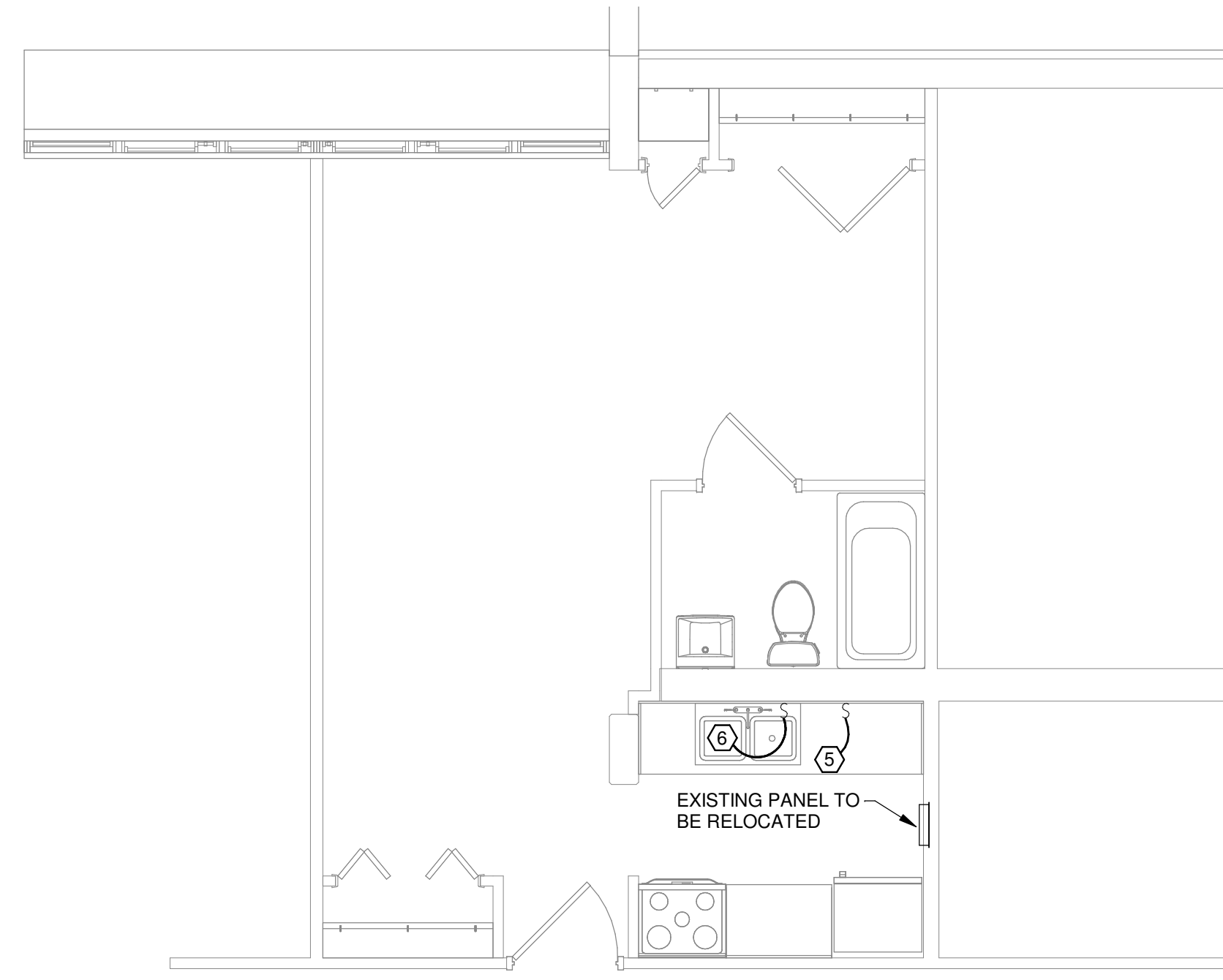
**P9.002**

Scale 1/8" = 1'-0"

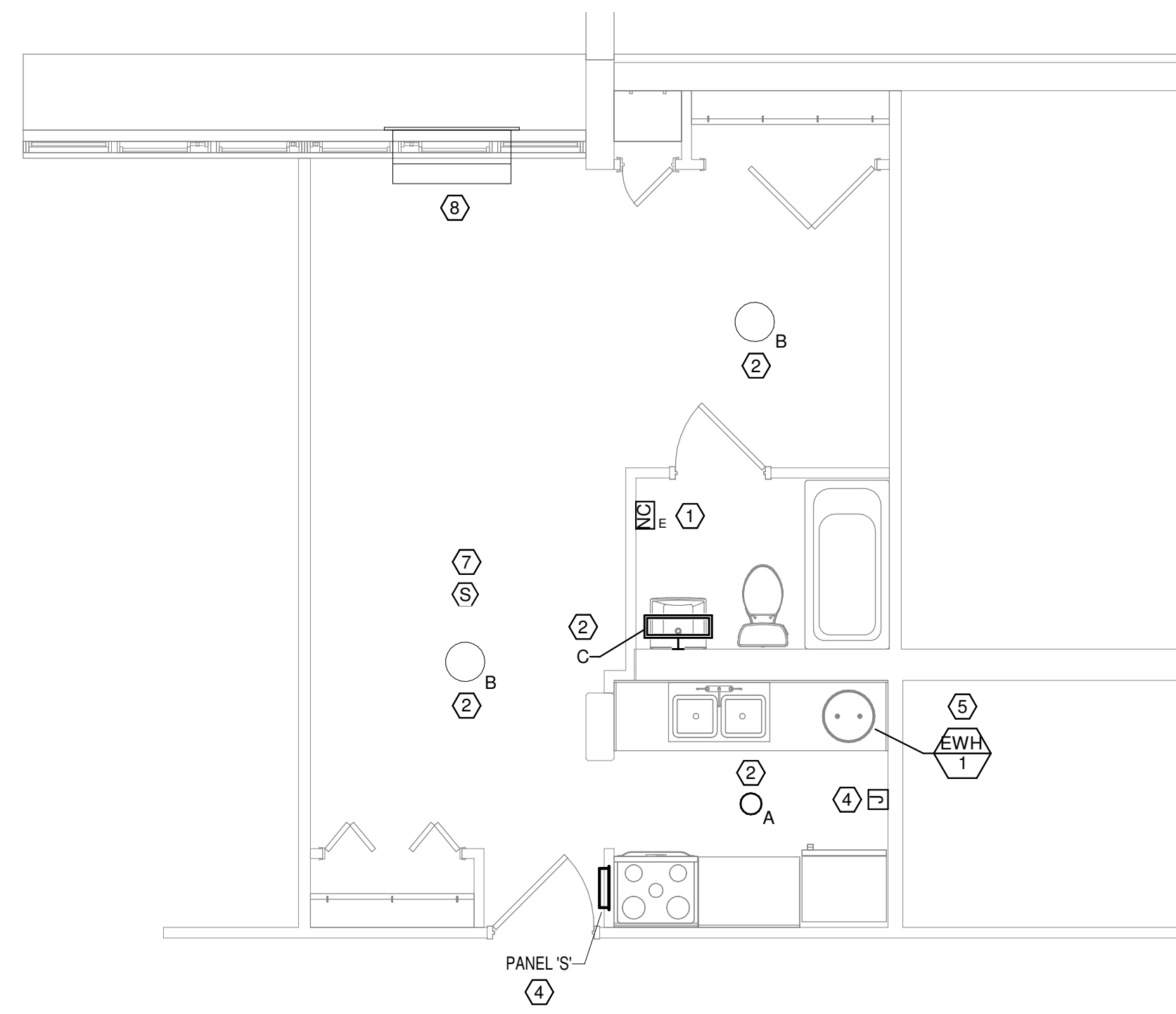




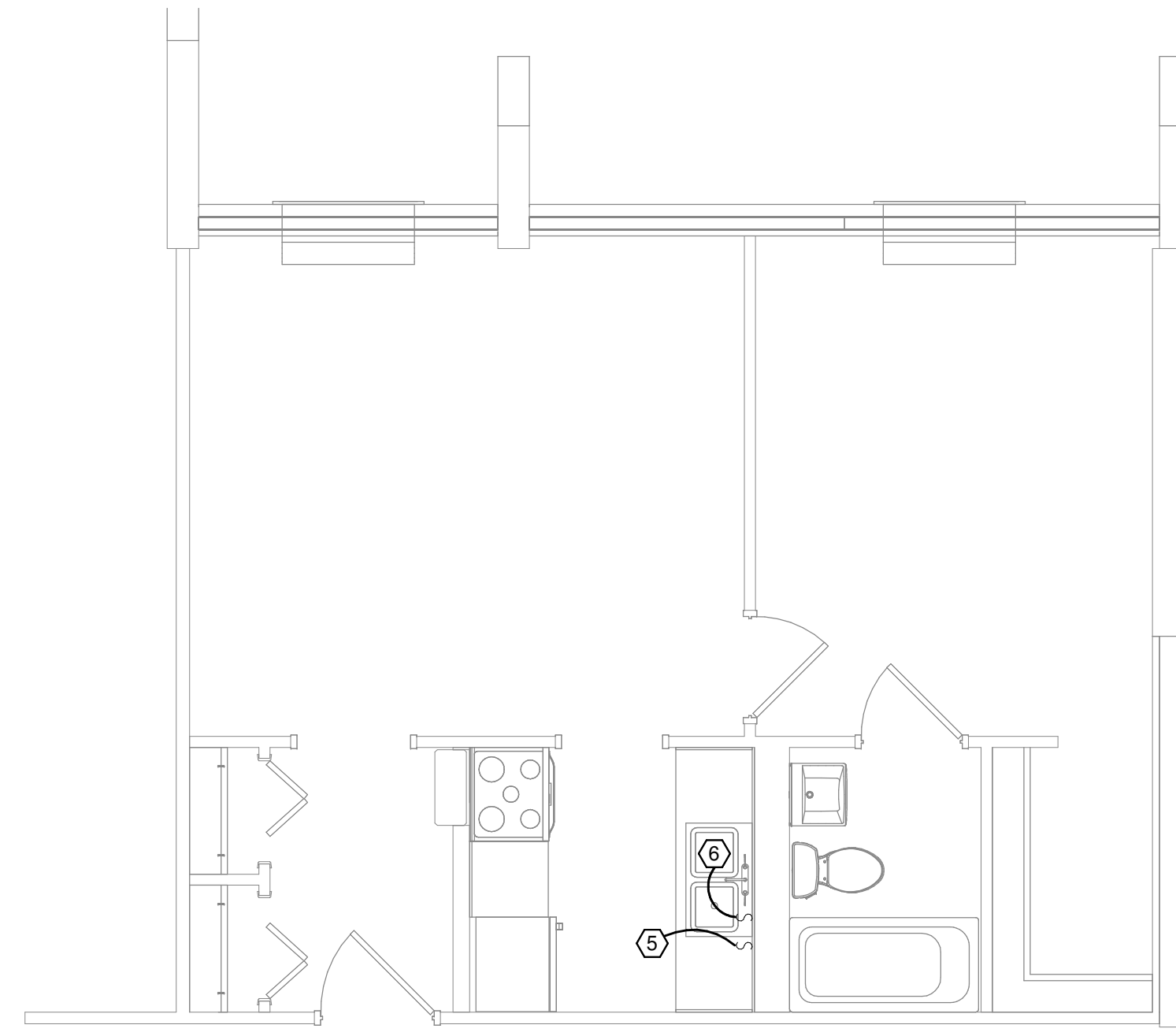




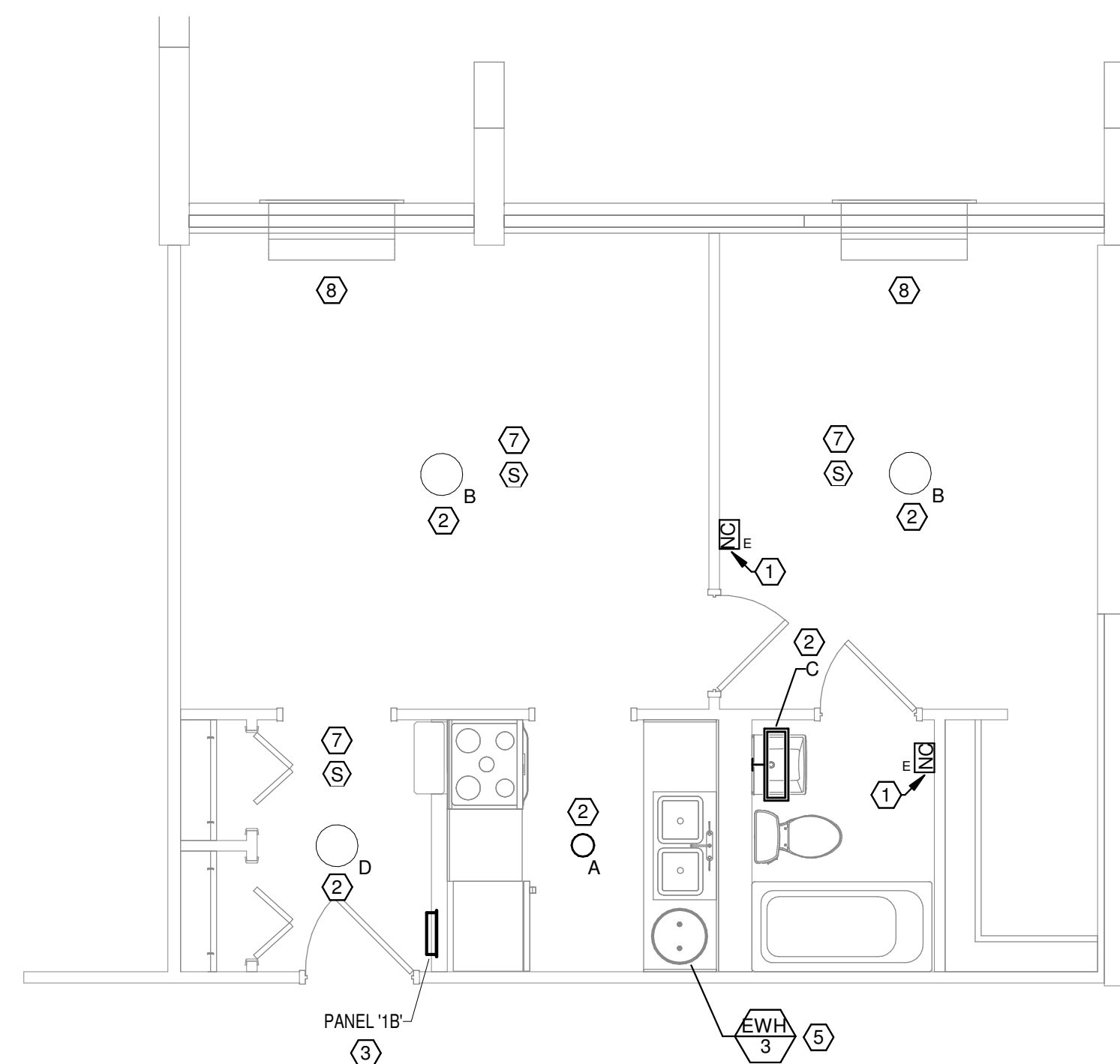
**1 ENLARGED PLAN - STUDIO 1 UNIT - DEMO**  
E1.601 1/4" = 1'-0"



**3 ENLARGED PLAN - STUDIO 1 UNIT**  
E1.601 1/4" = 1'-0"



**2 ENLARGED PLAN - 1 BR UNIT - DEMO**  
E1.601 1/4" = 1'-0"



**4 ENLARGED PLAN - 1 BR UNIT**  
E1.601 1/4" = 1'-0"

**GENERAL NOTES**

- CONNECT DEVICE AND EQUIPMENT CIRCUITS TO SAME CIRCUIT AS PREVIOUSLY INDICATED. REFER TO PANELBOARD SCHEDULES FOR BREAKER SIZES AND ADDITIONAL INFORMATION.
- CONDUCTORS SHALL BE SIZED PER NEC ACCORDING TO THE ASSOCIATED CIRCUIT BREAKER RATING.
- LOCATIONS OF EQUIPMENT AND DEVICES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND COORDINATE WITH ARCHITECTURAL ELEVATIONS, AS WELL AS NEC DEVICE SPACING REQUIREMENTS. COMPLY WITH NEC REQUIRED WORKING CLEARANCES FOR ALL EQUIPMENT INSTALLATIONS. MAKE ALL MODIFICATIONS AND PROVIDE ALL NECESSARY WORK AND EQUIPMENT TO MOUNT ELECTRICAL EQUIPMENT IN GENERAL LOCATIONS SHOWN.
- PROVIDE GROUNDING PER NEC FOR ALL EQUIPMENT AND DEVICES.
- ALL NEW 15A AND 20A RECEPTACLES SHALL BE TAMPER-RESISTANT TYPE.
- MOUNT ALL DEVICES IN SHARED WALL BETWEEN DWELLING UNITS A MINIMUM OF ONE STUD APART.
- PROVIDE UNITS WITH 120V SINGE-STATION SMOKE ALARMS WITH BATTERY BACK-UP. CONNECT TO NEAREST 120V, 20A GENERAL PURPOSE CIRCUIT AHEAD OF ALL SWITCHING DEVICES AND GFI PROTECTED DEVICES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF HEARING AND VISUALLY IMPAIRED TYPE DWELLING UNITS. PROVIDE DESIGNATED UNITS WITH SYSTEMS, DEVICES, AND FEATURES AS SHOWN IN PLANS AND ANNOTATED IN ADA STANDARDS.
- UNITS DESIGNATED AS ADA-TYPE OR FOR HEARING AND VISUALLY IMPAIRED OCCUPANTS TO BE PROVIDED WITH A FIRE ALARM HORN-STROBE NOTIFICATION DEVICE IN EACH BEDROOM AND LIVING AREA, AS WELL AS A STROBE IN EACH BATHROOM. ALL OTHER DWELLING UNITS TO CONTAIN HORN DEVICE IN EACH BEDROOM AND LIVING AREA. ALL HORNS AND HORN-STROBES SHALL PRODUCE A LOW FREQUENCY ALARM SIGNAL, COMPLYING WITH NFPA 72 18.4.6.
- ELECTRICAL PANELS, DEVICES, AND CONTROLS SHALL MEET ALL MOUNTING REQUIREMENTS AS DESIGNATED IN ADA STANDARDS FOR ALL MOBILITY ACCESSIBLE DWELLING UNITS.
- COORDINATE LAYOUT AND INSTALLATION OF LOAD CENTERS AND COMPONENTS WITH OTHER CONSTRUCTION THAT PENETRATES WALLS OR IS SUPPORTED BY THEM, INCLUDING ELECTRICAL AND OTHER TYPES OF EQUIPMENT, RACEWAYS, PIPING, ENCUMBRANCES TO WORKSPACE CLEARANCE REQUIREMENTS, AND ADJACENT SURFACES. MAINTAIN REQUIRED WORKSPACE CLEARANCES AND REQUIRED CLEARANCES FOR EQUIPMENT ACCESS DOORS AND PANELS.
- LOAD CENTERS BEING REPLACED SHALL BE LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR ITS INTENDED LOCATION AND APPLICATION. LOAD CENTER BASIS OF DESIGN IS SQUARE D HOMELINE SERIES, 120/240V SINGLE PHASE, 125 AMP MAIN BREAKER, 24 CIRCUIT LOAD CENTER.
- CONTRACTOR TO COORDINATE WITH LOW VOLTAGE VENDOR REGARDING ALL INSTALLATION REQUIREMENTS FOR NURSE CALL SYSTEM AND PROVIDE RACEWAYS, CONDUCTORS, REPEATERS, DEVICES AND OTHER COMPONENTS AS REQUIRED BY THE SYSTEM MANUFACTURER FOR A COMPLETE INSTALLATION.

**KEYED NOTES**

- PROVIDE 3/4 INCH EMT STUBBED TO ABOVE CEILING, WITH FOURSQUARE BOX AND SINGLE GANG MUD RING FOR NURSE CALL DEVICE. VERIFY EXACT REQUIREMENTS WITH LOW VOLTAGE CONSULTANT.
- NEW LED LIGHTING FIXTURE INSTALLED IN SAME LOCATION AS EXISTING LIGHT FIXTURES. REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION ABOUT LIGHTING FIXTURES.
- NEW ELECTRICAL LOAD CENTER. INSTALL NEW LOAD CENTER IN SAME LOCATION AS PREVIOUS.
- NEW LOCATION FOR EXISTING LOAD CENTER. INSTALL JUNCTION BOX AT EXISTING LOAD CENTER LOCATION AND EXTEND CONDUCTORS FROM JUNCTION BOX TO NEW LOAD CENTER LOCATION.
- REMOVE SWITCH AND CONTROL WIRES ASSOCIATED WITH WATER HEATER IN THEIR ENTIRETY. POWER CONDUCTORS SUPPLYING WATER HEATER SHALL BE EXISTING TO REMAIN. PROVIDE DISCONNECTING MEANS PER MANUFACTURER'S INSTALLATION LITERATURE FOR NEW WATER HEATER. COORDINATE WITH PLUMBING FLOOR PLANS TO DETERMINE WHICH UNITS RECEIVE NEW WATER HEATERS, TYPICAL FOR ALL DWELLING UNITS.
- REMOVE SWITCH AND CONTROL WIRES ASSOCIATED WITH GARBAGE DISPOSAL BACK TO JUNCTION BOX. PROVIDE NEW BLANK PLATE OVER EXISTING JUNCTION BOX SERVING GARBAGE DISPOSAL.
- UNITS 204, 214, 310, 315, 405, 414: PROVIDE NEW HUD COMPLIANT 120V SINGLE-STATION SMOKE ALARM WITH BATTERY BACK-UP AND CONNECT TO NEAREST 120V, 20A GENERAL PURPOSE CIRCUIT AHEAD OF ALL SWITCHES AND GFI PROTECTED DEVICES. MAINTAIN 36" CLEARANCE FROM HVAC SUPPLY GRILLS AND CEILING FANS. CONNECT ALARMS SO THAT ANY ALARM WILL CAUSE ALL ALARMS IN THAT UNIT TO SOUND. SMOKE ALARMS IN ALL OTHER DWELLING UNITS NOT LISTED ABOVE SHALL BE EXISTING TO REMAIN.
- COORDINATE WITH MECHANICAL FLOOR PLANS TO DETERMINE WHICH UNITS RECEIVE NEW PTAC UNITS. TYPICAL FOR ALL DWELLING UNITS. INSTALL NEW UNIT PER MANUFACTURER'S LITERATURE. PROVIDE ALL OVERCURRENT DEVICES AND DISCONNECTING MEANS AND MAKE NECESSARY UPGRADES TO CIRCUIT AND PANEL AS NEEDED FOR PROPER INSTALLATION OF PTAC UNITS.

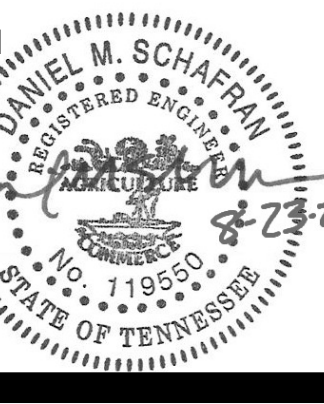


Project Name  
**Northgate Terrace Renovation**

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Client  
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Revisions

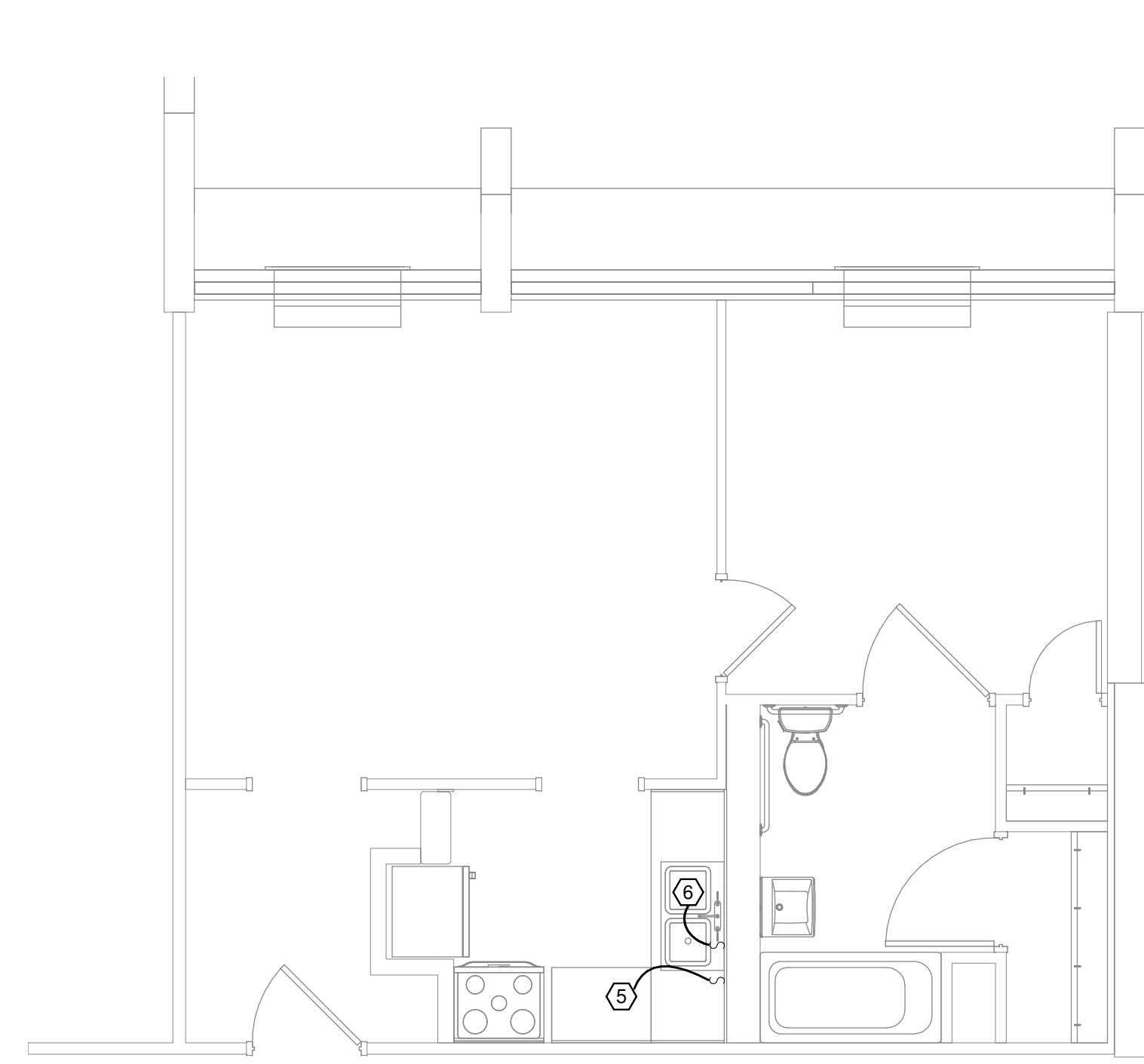
No.	Description	Date
1	Addendum 1	09/10/21

**ENLARGED UNIT PLANS**

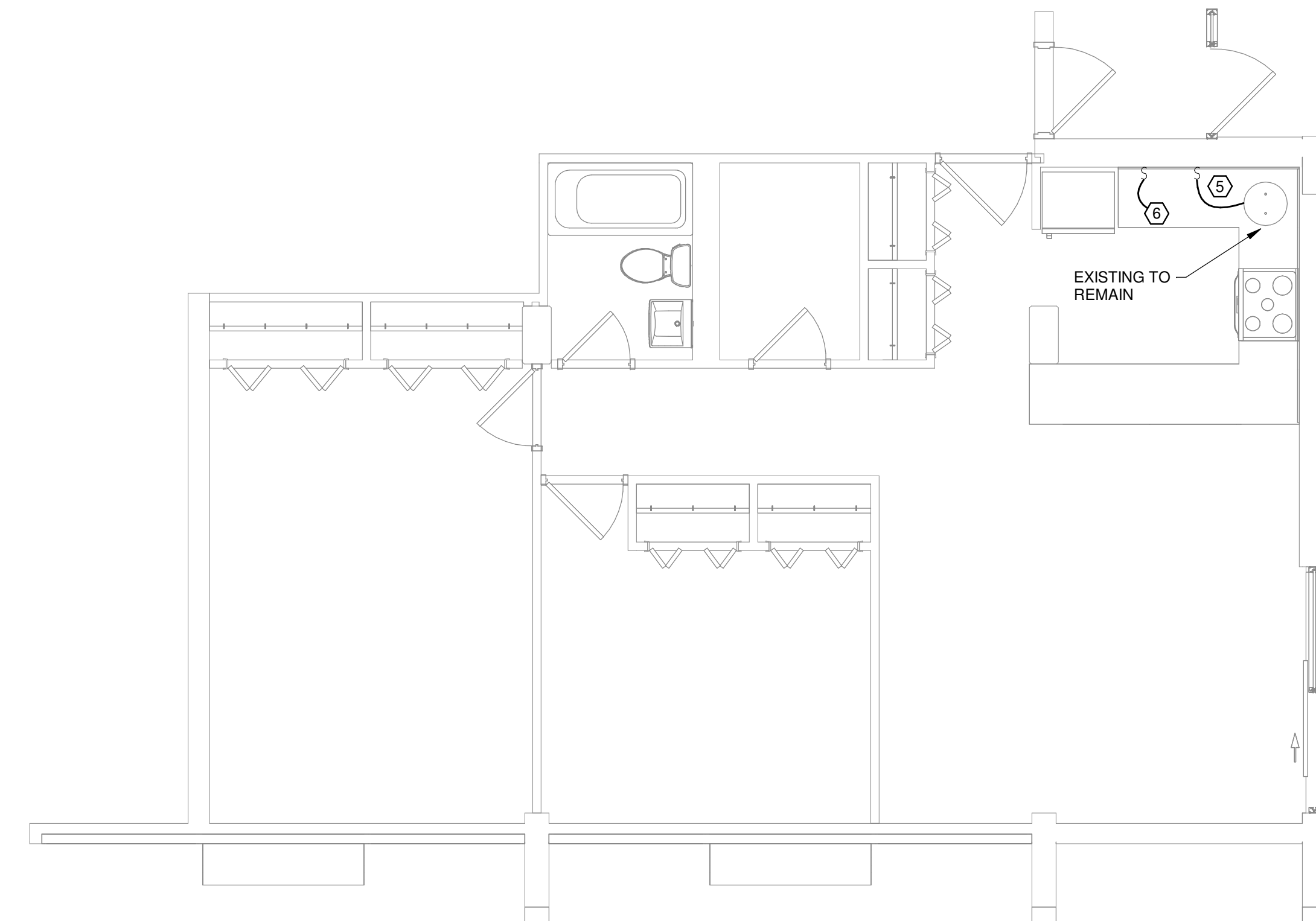
Project number 21KC01  
Date Aug. 23, 2021

**E1.601**  
Scale As indicated

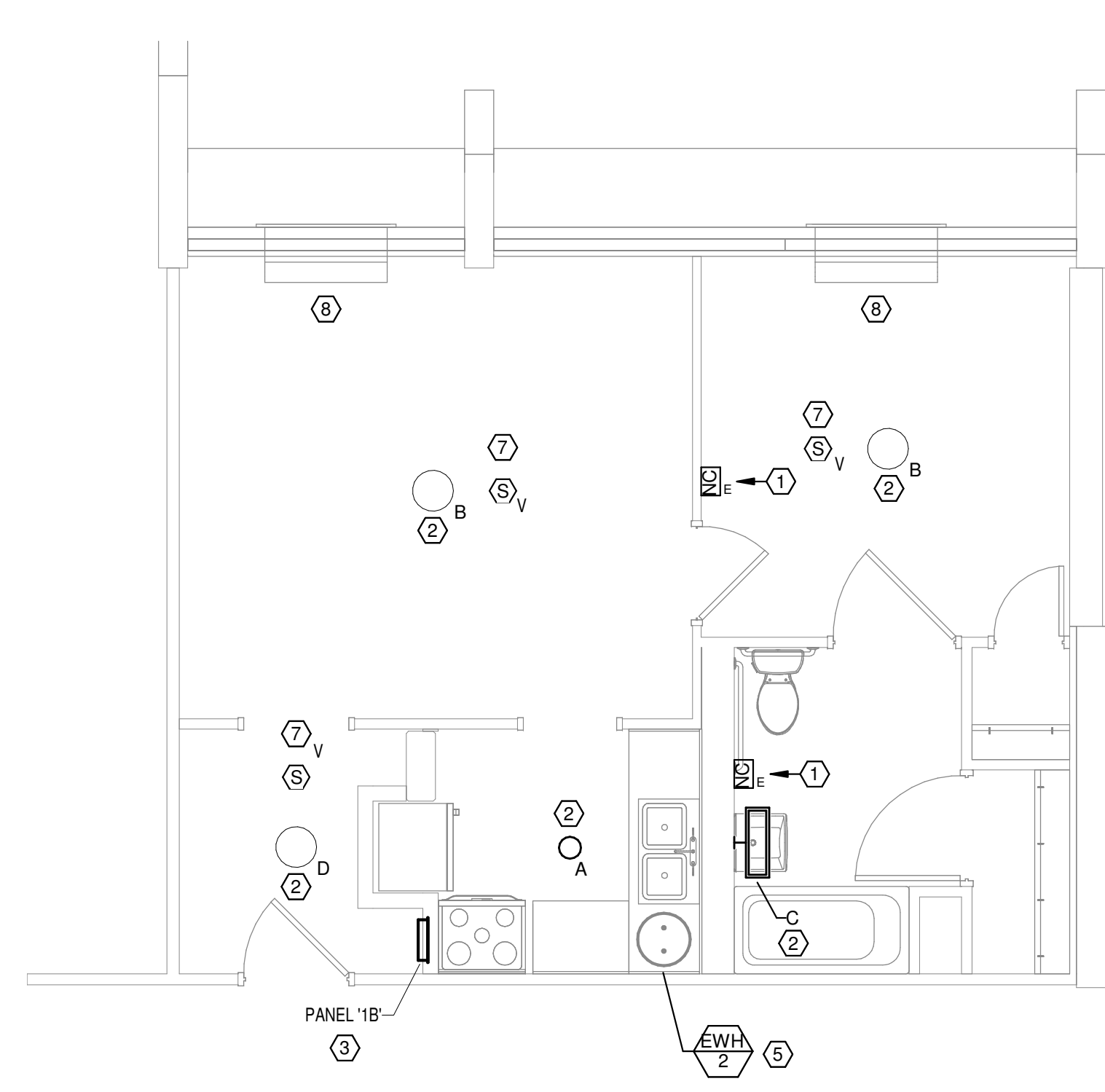




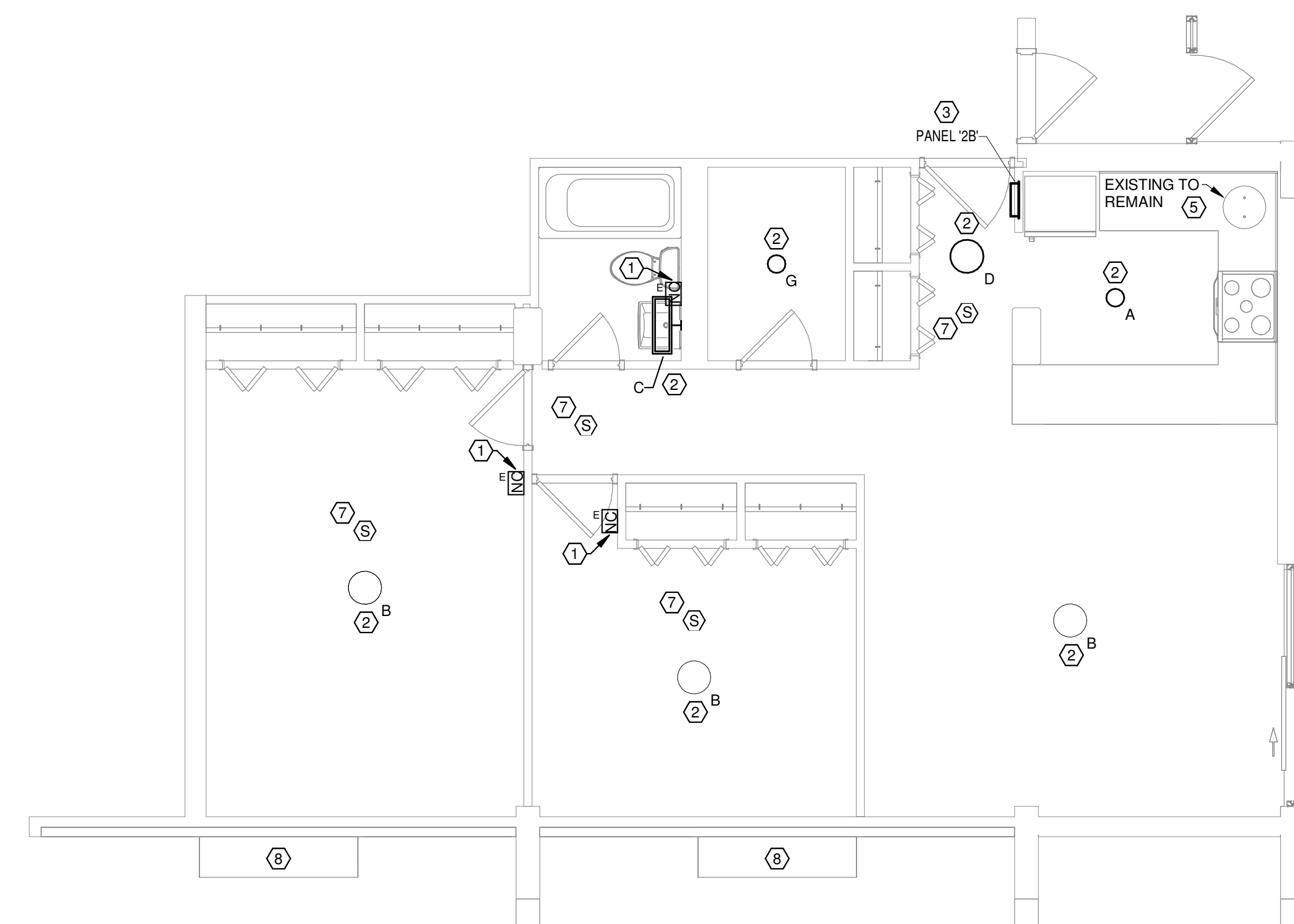
**1 ENLARGED PLAN - 1 BR ADA UNIT - DEMO**  
E1.602 1/4" = 1'-0"



**2 ENLARGED PLAN - 2 BR UNIT - DEMO**  
E1.602 1/4" = 1'-0"



**3 ENLARGED PLAN - 1 BR ADA UNIT**  
E1.602 1/4" = 1'-0"



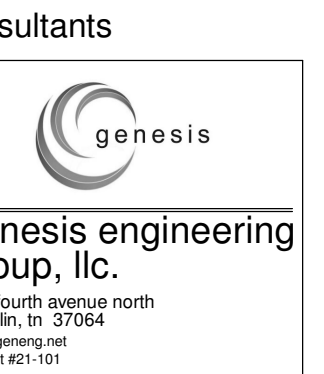
**4 ENLARGED PLAN - 2 BR UNIT**  
E1.602 1/4" = 1'-0"

**GENERAL NOTES**

1. CONNECT DEVICE AND EQUIPMENT CIRCUITS TO SAME CIRCUIT AS PREVIOUSLY INDICATED. REFER TO PANELBOARD SCHEDULES FOR BREAKER SIZES AND ADDITIONAL INFORMATION.
2. CONDUCTORS SHALL BE SIZED PER NEC ACCORDING TO THE ASSOCIATED CIRCUIT BREAKER RATING.
3. LOCATIONS OF EQUIPMENT AND DEVICES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND COORDINATE WITH ARCHITECTURAL ELEVATIONS, AS WELL AS NEC DEVICE SPACING REQUIREMENTS. COMPLY WITH NEC REQUIRED WORKING CLEARANCES FOR ALL EQUIPMENT INSTALLATIONS. MAKE ALL MODIFICATIONS AND PROVIDE ALL NECESSARY WORK AND EQUIPMENT TO MOUNT ELECTRICAL EQUIPMENT IN GENERAL LOCATIONS SHOWN.
4. PROVIDE GROUNDING PER NEC FOR ALL EQUIPMENT AND DEVICES.
5. ALL NEW 15A AND 20A RECEPTACLES SHALL BE TAMPER-RESISTANT TYPE.
6. MOUNT ALL DEVICES IN SHARED WALL BETWEEN DWELLING UNITS A MINIMUM OF ONE STUD APART.
7. PROVIDE UNITS WITH 120V SINGE-STATION SMOKE ALARMS WITH BATTERY BACK-UP. CONNECT TO NEAREST 120V, 20A GENERAL PURPOSE CIRCUIT AHEAD OF ALL SWITCHING DEVICES AND GFI PROTECTED DEVICES.
8. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF HEARING AND VISUALLY IMPAIRED TYPE DWELLING UNITS. PROVIDE DESIGNATED UNITS WITH SYSTEMS, DEVICES, AND FEATURES AS SHOWN IN PLANS AND ANNOTATED IN ADA STANDARDS.
9. UNITS DESIGNATED AS ADA-TYPE OR FOR HEARING AND VISUALLY IMPAIRED OCCUPANTS TO BE PROVIDED WITH A FIRE ALARM HORN-STROBE NOTIFICATION DEVICE IN EACH BEDROOM AND LIVING AREA, AS WELL AS A STROBE IN EACH BATHROOM. ALL OTHER DWELLING UNITS TO CONTAIN HORN DEVICE IN EACH BEDROOM AND LIVING AREA. ALL HORNS AND HORN-STROBES SHALL PRODUCE A LOW FREQUENCY ALARM SIGNAL, COMPLYING WITH NFPA 72 18.4.6.
10. ELECTRICAL PANELS, DEVICES, AND CONTROLS SHALL MEET ALL MOUNTING REQUIREMENTS AS DESIGNATED IN ADA STANDARDS FOR ALL MOBILITY ACCESSIBLE DWELLING UNITS.
11. COORDINATE LAYOUT AND INSTALLATION OF LOAD CENTERS AND COMPONENTS WITH OTHER CONSTRUCTION THAT PENETRATES WALLS OR IS SUPPORTED BY THEM, INCLUDING ELECTRICAL AND OTHER TYPES OF EQUIPMENT, RACEWAYS, PIPING, ENCLOSURES TO WORKSPACE CLEARANCE REQUIREMENTS, AND ADJACENT SURFACES. MAINTAIN REQUIRED WORKSPACE CLEARANCES AND REQUIRED CLEARANCES FOR EQUIPMENT ACCESS DOORS AND PANELS.
12. LOAD CENTERS BEING REPLACED SHALL BE LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR ITS INTENDED LOCATION AND APPLICATION. LOAD CENTER BASIS OF DESIGN IS SQUARE D, HOMELINE SERIES, 120/240V SINGLE PHASE, 125 AMP MAIN BREAKER, 24 CIRCUIT LOAD CENTER.
13. CONTRACTOR TO COORDINATE WITH LOW VOLTAGE VENDOR REGARDING ALL INSTALLATION REQUIREMENTS FOR NURSE CALL SYSTEM AND PROVIDE RACEWAYS, CONDUCTORS, REPEATERS, DEVICES AND OTHER COMPONENTS AS REQUIRED BY THE SYSTEM MANUFACTURER FOR A COMPLETE INSTALLATION.

**KEYED NOTES**

1. PROVIDE 3/4 INCH EMT STUBBED TO ABOVE CEILING, WITH FOUR SQUARE BOX AND SINGLE GANG MUD RING FOR NURSE CALL DEVICE. VERIFY EXACT REQUIREMENTS WITH LOW VOLTAGE CONSULTANT.
2. NEW LED LIGHTING FIXTURE INSTALLED IN SAME LOCATION AS EXISTING LIGHT FIXTURES. CONNECT NEW LIGHT TO SAME CIRCUIT/SWITCH AS PREVIOUS. REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION.
3. NEW ELECTRICAL PANEL. INSTALL NEW PANEL IN SAME LOCATION AS EXISTING PANEL.
4. NOT USED.
5. REMOVE SWITCH AND CONTROL WIRES ASSOCIATED WITH WATER HEATER IN THEIR ENTIRETY. POWER CONDUCTORS SUPPLYING WATER HEATER SHALL BE EXISTING TO REMAIN. PROVIDE DISCONNECTING MEANS PER MANUFACTURER'S INSTALLATION LITERATURE FOR NEW WATER HEATER. COORDINATE WITH PLUMBING FLOOR PLANS TO DETERMINE WHICH UNITS RECEIVE NEW WATER HEATERS, TYPICAL FOR ALL DWELLING UNITS.
6. REMOVE SWITCH AND CONTROL WIRES ASSOCIATED WITH GARBAGE DISPOSAL BACK TO JUNCTION BOX. PROVIDE NEW BLANK PLATE OVER EXISTING JUNCTION BOX SERVING GARBAGE DISPOSAL.
7. UNITS 204, 214, 310, 315, 405, 414; PROVIDE NEW HUD COMPLIANT 120V SINGLE-STATION SMOKE ALARM WITH BATTERY BACK-UP AND CONNECT TO NEAREST 120 V, 20 A GENERAL PURPOSE CIRCUIT. AHEAD OF ALL SWITCHES AND GFI PROTECTED DEVICES. MAINTAIN 36" CLEARANCE FROM HVAC SUPPLY GRILLS AND CEILING FANS. CONNECT ALARMS SO THAT ANY ALARM WILL CAUSE ALL ALARMS IN THAT UNIT TO SOUND. SMOKE ALARMS IN ALL OTHER DWELLING UNITS NOT LISTED ABOVE SHALL BE EXISTING TO REMAIN.
8. COORDINATE WITH MECHANICAL FLOOR PLANS TO DETERMINE WHICH UNITS RECEIVE NEW PTAC UNITS. TYPICAL FOR ALL DWELLING UNITS. INSTALL NEW UNIT PER MANUFACTURER'S LITERATURE. PROVIDE ALL OVERCURRENT DEVICES AND DISCONNECTING MEANS AND MAKE NECESSARY UPGRADES TO CIRCUIT AND PANEL AS NEEDED FOR PROPER INSTALLATION OF PTAC UNITS.



**Project Name**  
Northgate Terrace Renovation

4301 Whittle Springs Road  
Knoxville, TN 37917

**Client**  
Knoxville's Community Development Corporation

901 N. Broadway Knoxville, TN 37917



**Revisions**

No.	Description	Date
1	Addendum 1	09/10/21

**ENLARGED UNIT PLANS**

Project number 21KC01  
Date Aug. 23, 2021

**E1.602**  
Scale As indicated