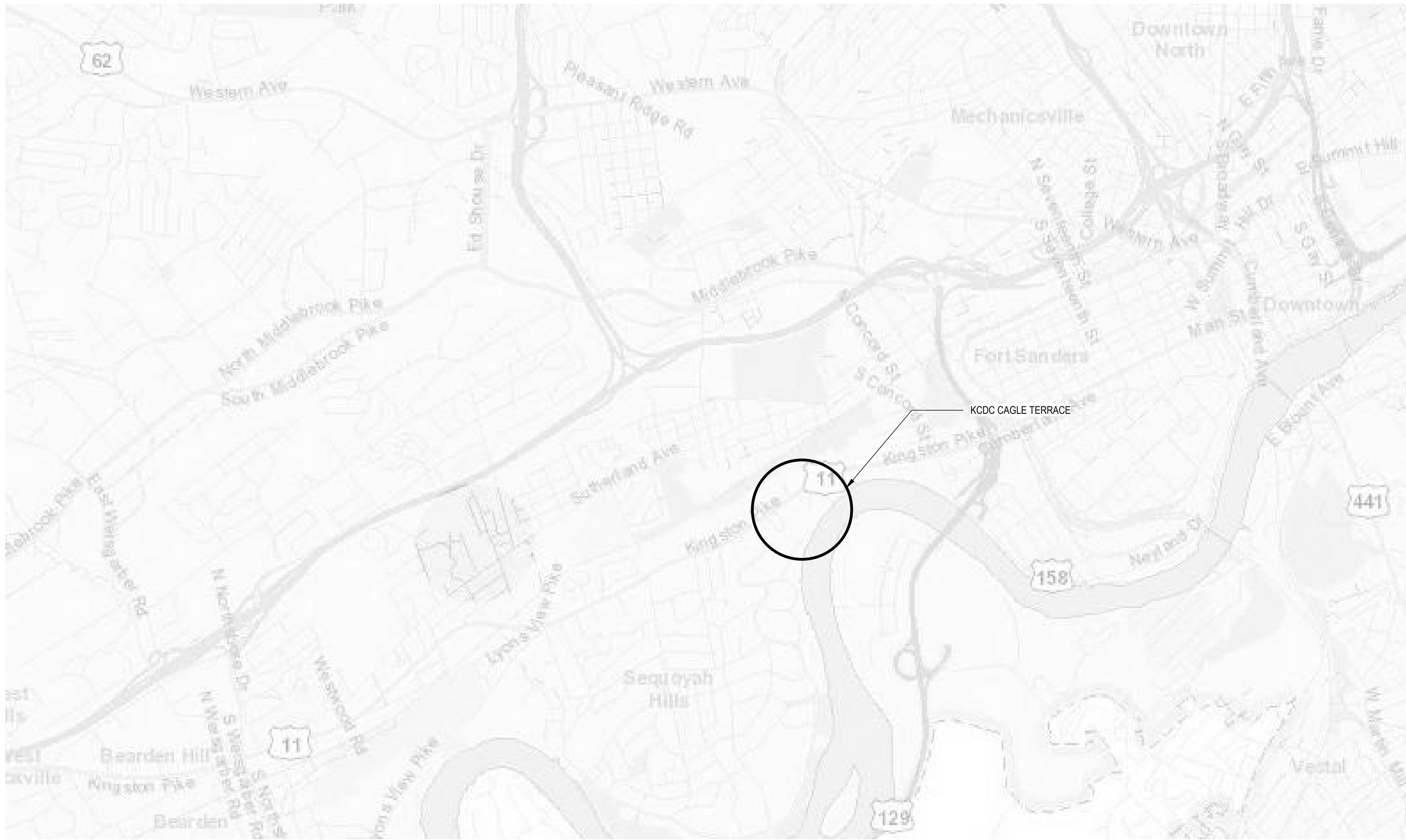


# KCDC - Cagle Terrace

515 Renford Rd  
Knoxville, TN 37919

04.08.2020



10 Vicinity			
NTS			
A	AC	ACU	ACUST
B	BOTT	B.O.W.	
C	CAB	CB	CEM
D	DTL	DF	DIA
E	E	EF	EJ
F	F	FD	FE
G	G	GA	GL
H	H	HB	HD
I	I	IN	INT
J	J	JST	JNT
K	K	KIT	
L	L	L	LAM
M	M	M	MAS
N	N	N	NEO
O	O	OC	OD
P	P	PP	PL
Q	Q	QTR	QS
R	R	R	RA
S	S	S	SAG
T	T	T	TEMP
U	U	UR	
V	V	V	VB
W	W	W	W
X	X	X	X
Y	Y	Y	Y
Z	Z	Z	Z

## 9 Abbreviations

NTS

**SITE DESCRIPTION**  
515 Renford Road  
Knoxville, TN 37919  
Parcel ID #: 107KB001  
City Block: 45562

**PROJECT SCOPE**  
This project includes repairs, replacement of finishes and alterations. The project primarily consists of the removal and replacement or covering of existing materials, elements, equipment and fixtures using new materials, elements, equipment and fixtures that serve the same purpose. The alteration work in this project is classified as a Level 1 Alteration per Chapter 7 of the 2018 International Existing Building Code (IEBC). Consistent with IEBC Section 901.1, the reconfiguration of space in the project is minimal, and is exclusively the result of alterations undertaken for the primary purpose of increasing compliance with accessibility requirements and is therefore reclassified from Level 2 to Level 1. The extent of alteration and reconfiguration, i.e. area of work, is as reflected on the demolition floorplans. It is generally limited to the UFAS units (14 of 273 units) and the common area restrooms in Building B.

The work is generally described as interior renovations of existing apartment buildings to include converting units to UFAS accessibility requirements, accessibility repairs in public / common area restrooms, installing HUD compliant smoke detectors and emergency call systems, building generator replacement, updating interior flooring and casework and minimal plumbing fixture updates as required. There is no site alteration in the project, however existing concrete sidewalks will be repaired in place, a small concrete stem wall repaired and a few select parking stalls restriped.

The buildings were originally designed and constructed under jurisdiction of the 1965 Edition of the Southern Standard Building Code (SSBC). The 2018 Edition of the IEBC Section 301.3 provides that alterations complying with the laws in existence at the time that the building was built shall be considered in compliance with the provisions of the 2018 IEBC. Partition requirements per SSBC Section 702.2 stipulate one-hour fire resistance for interior exit access corridors. Protection of door openings in the corridor walls is stipulated in SSBC Section 703.4(d) and allows wooden doors of the solid core flush type of nominal thickness of at least 1-3/4". Referring to door schedules and details on sheets A6.1 and A6.2, note that this requirement is met with door replacements on this renovation project. Also, as an improvement, on this renovation project all piping penetrations through the 1-3/4" solid core transom panel above the doors will be fire-caulked.

**8 Project Description**  
NTS

APPLICABLE CODES: International Building Code, 2018 edition w/ amendments  
International Existing Building Code, 2018 edition  
International Energy Code, 2018 edition w/ amendments  
International Electrical Code, 2017 edition w/ amendments  
International Plumbing Code, 2018 edition w/ amendments  
International Mechanical Code, 2018 edition w/ amendments  
International Fuel Gas Code, 2018 edition w/ amendments  
International Fire Code, 2018 edition w/ amendments

ACCESSIBILITY CODE: 2010 ADA Standards for Accessible Design  
ICC-A117.1-2009

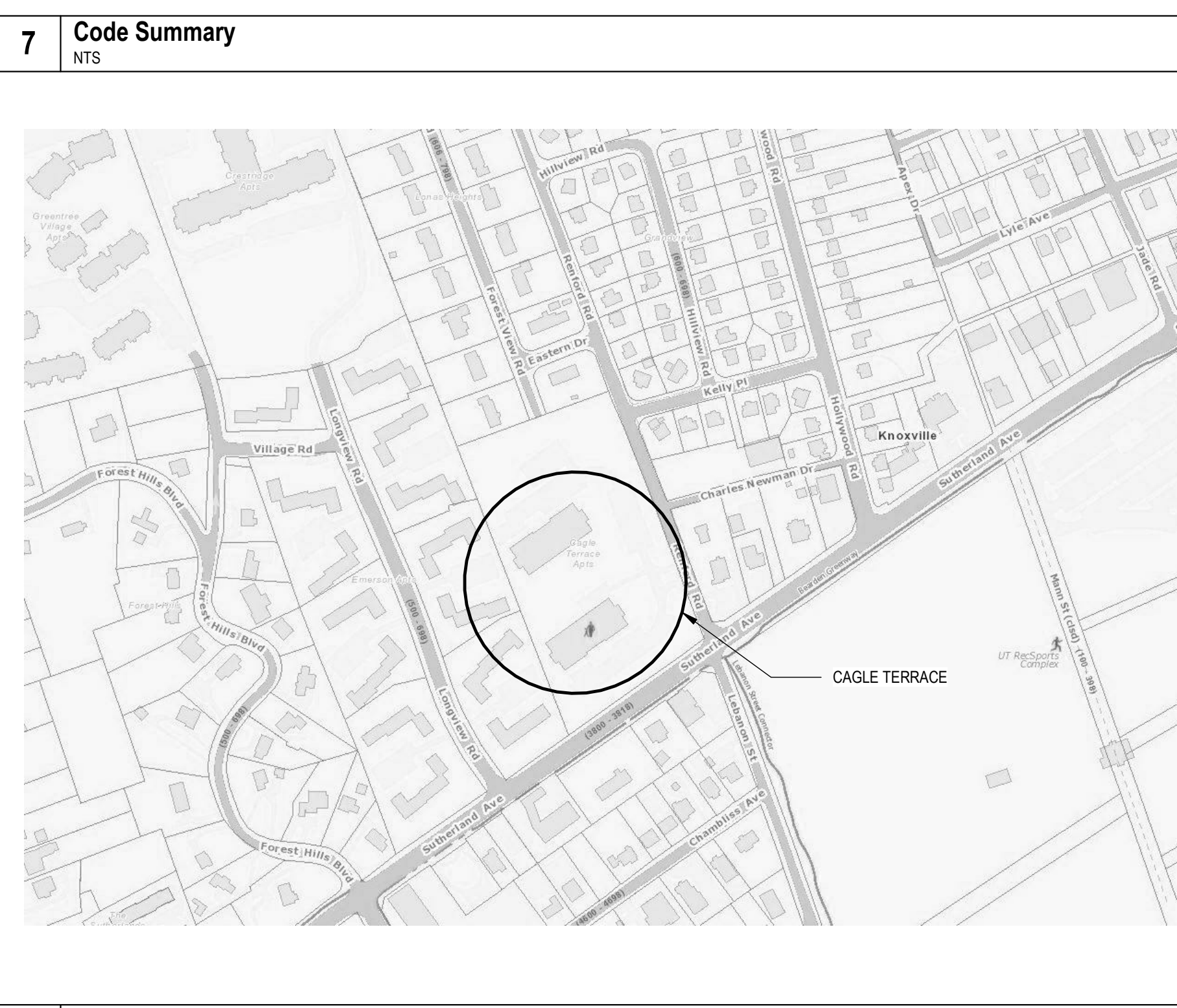
OCCUPANCY TYPE: Residential, R-2 Apartment House

CONSTRUCTION TYPE: Type II, Unprotected, Sprinklered

PARCEL ID #: 107KB001

BLOCKLOT #: 49

NOTE: INTERIOR EXIT ACCESS CORRIDORS ARE 1 HOUR FIRE RATED. NO CHANGES WILL BE MADE TO THESE WALLS.



## 6 Location Map

NTS

ROOMS TYPES PER FLOOR															
UNIT TYPE	SQ. FT.	1A	1B	2A	2B	3A	3B	4A	4B	5A	5B	6A	6B	TOTAL UNITS	TOTAL SQ. FT.
1 BR - Type 1*	460	9	0	0	0	0	0	0	0	0	0	0	0	9	4,140
1 BR - Type 4*	435	0	0	24	24	24	24	24	24	24	24	24	24	240	104,400
1 BR - Type 2	570	4	0	0	0	0	0	0	0	0	0	0	0	4	2,280
1 BR - Type 3	560	0	0	0	0	1	1	0	0	1	1	1	1	6	3,360
1 BR ADA - Type 3	560	0	0	2	2	1	1	2	2	1	1	1	1	14	7,840
<b>TOTAL</b>		<b>13</b>	<b>0</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>26</b>	<b>273</b>	<b>122,020</b>

\* 0 BR converted to 1 BR

AREA SQ. FT. / FLOOR													
COMMON AREAS	1A	1B	2A	2B	3A	3B	4A	4B	5A	5B	6A	6B	TOTAL SQ. FT.
SOCIAL AREAS	0	5,220	0	0	0	0	0	0	0	0	0	0	5,220
OFFICES	200	1,038	0	0	0	0	0	0	0	0	0	0	1,238
CIRCULATION	2,178	1,960	1,070	1,070	1,070	1,070	1,070	1,070	1,070	1,051	1,051		14,838
SERVICE	2,604	2,962	53	53	53	53	53	53	53	72	72		6,096
<b>TOTAL</b>	<b>4,982</b>	<b>11,180</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>1,123</b>	<b>27,392</b>

Please note the following units are ADA accessible:

	Level 2	Level 3	Level 4	Level 5	Level 6
Building A	211; 215	311	411; 415	511	611
Building B	211; 215	311	411; 415	515	611

## 5 Unit Matrix - Buildings A & B

NTS

Construction Documents 04.08.2020		04.08.2020	05.11.2020	06.24.2020	08.04.2020	08.11.2020
TITLE	Cover Sheet					
ARCHITECTURAL SITE						
AS1.0	Architectural Site Plan					
AS1.1	Enlarged Site Plans					
ARCHITECTURAL DEMOLITION						
AD1.1	Demolition Plans					
AD1.2	Demolition Plans					
ARCHITECTURAL						
A1.1	1st Floor Plans					
A1.2	2nd Floor Plans					
A1.3	3rd Floor Plans					
A1.4	4th Floor Plans					
A1.5	5th Floor Plans					
A1.6	6th Floor Plans					
A3.1	Typical Exterior Elevations					
A6.1	Door Elevations, Details & Building A Door Schedule					
A6.2	Building B Door Schedule					
AT.1	Finish Schedules & Building A Finish Schedule					
AT.2	Building B Finish Schedule					
AB.1	Enlarged Restroom Plans & Elevations					
AB.2	Enlarged Unit Floor Plans & Interior Elevations					
AB.3	Enlarged Unit Floor Plans & Interior Elevations					
AB.1	Interior Details					
MECHANICAL						
M0.1	HVAC Notes, Legend, Schedules & Details					
M1.1	Building A & B - First Floor HVAC Plans					
M1.2	Typical HVAC Floor Plan (2nd thru 6th) Buildings A & B					
M2.1	Typical Apartments HVAC					
PLUMBING						
PL1	Plumbing Notes, Legends & Schedules					
P1.1	Building A & B - First Floor Plan					
P1.2	Typical Floor Plan (2nd thru 6th) Buildings A & B					
P1.3	Enlarged Demolition - Typical Apartments & Public Restrooms					
P2.1	Sanitary - Typical Apartments & Public Restrooms					
P2.2	Domestic Water - Typical Apartments & Public Restrooms					
P2.3	Enlarged Demo & Plumbing - Public Restrooms					
P3.1	Sanitary Riser Diagrams					
P3.2	Domestic Water Riser Diagrams					
ELECTRICAL						
E0.1	Electrical Legend & Schedule					
E1.1	Electrical Plan					
E1.2	Building A & B - 2nd & 4th Floor					
E1.3	Building A & B - 3rd, 5th & 6th Floor					
E2.1	Typical Apartments - Electrical Plan					

Owner: Cagle Terrace Corporation  
901 N. Broadway, Knoxville, TN 37917  
T 865.403.1100 F 865.403.1117  
Contact: Benjamin M. Bentley

Architect: Studio Four Design  
414 Clinch Ave, Knoxville, TN 37902  
T 865.523.5001 F 865.523.5003  
Contact: Markus E. Chady

MEP: Facility Systems Services  
713 South Central Street, Suite 101  
Knoxville, TN 37902  
T 865.246.0184 F 865.246.1084  
Contact: Jason Holway

Contractor: TBD

## 4 Contact Information

NTS

0	CENTER LINE	1	DEMO NOTE
0	COLUMN GRID	1 A2.26	EXTERIOR ELEVATION
101	ELEVATION MARKER	1	INTERIOR FINISH ELEVATION
101	DOOR IDENTIFICATION	1	INTERIOR FINISH ELEVATION
1	WINDOW IDENTIFICATION	1	INTERIOR FINISH ELEVATION
101	CEILING IDENTIFICATION	1	
1A	WALL TYPE	1	NORTH ARROW
1A	ACCESSORY TAG	1	
101A	ROOM IDENTIFICATION	1	BUILDING SECTION
1	REVISION NOTE	1	WALL SECTION

## 3 Graphic Symbols

1/4" = 1'-0"

[Symbol]	EARTH	[Symbol]	WOOD - ROUGH
[Symbol]	GRAVEL	[Symbol]	BATT INSULATION
[Symbol]	CONCRETE	[Symbol]	GYPSSUM BOARD
[Symbol]	RIGID INSULATION	[Symbol]	ACOUSTIC TILE
[Symbol]	METAL	[Symbol]	MASONRY VENEER
[Symbol]	PLYWOOD	[Symbol]	CONCRETE MASONRY UNIT
[Symbol]	WOOD - FINISHED		

## 2 Materials Legend

NTS

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION. IN WRITING, FROM THE ARCHITECT.
- INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.
- FIRE EXTINGUISHERS ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIRE-BUILDING INSPECTOR.
- CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.
- WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.

## 1 General Notes

NTS

# STUDIO FOUR DESIGN

ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902  
p 865 523-5001 f 865 523-5003  
studiofourdesign.com

# KCDC - Cagle Terrace

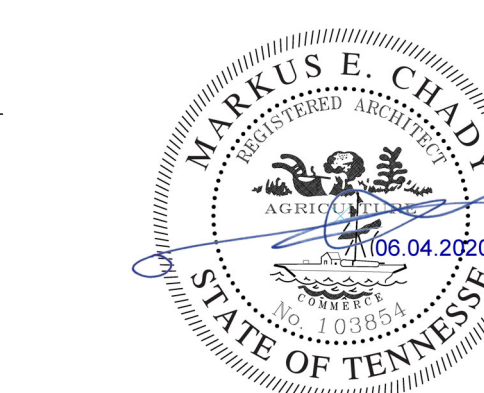


Project Phase: Construction Documents

Issue Date: 04.08.2020		
No.	Description	Date
1	City & Owner Comments	05.11.2020
2	Addendum 1	05.29.2020
3	Addendum 2	06.04.2020
4	Clarification	06.11.2020

Job Number: 19136.00  
Cover Sheet

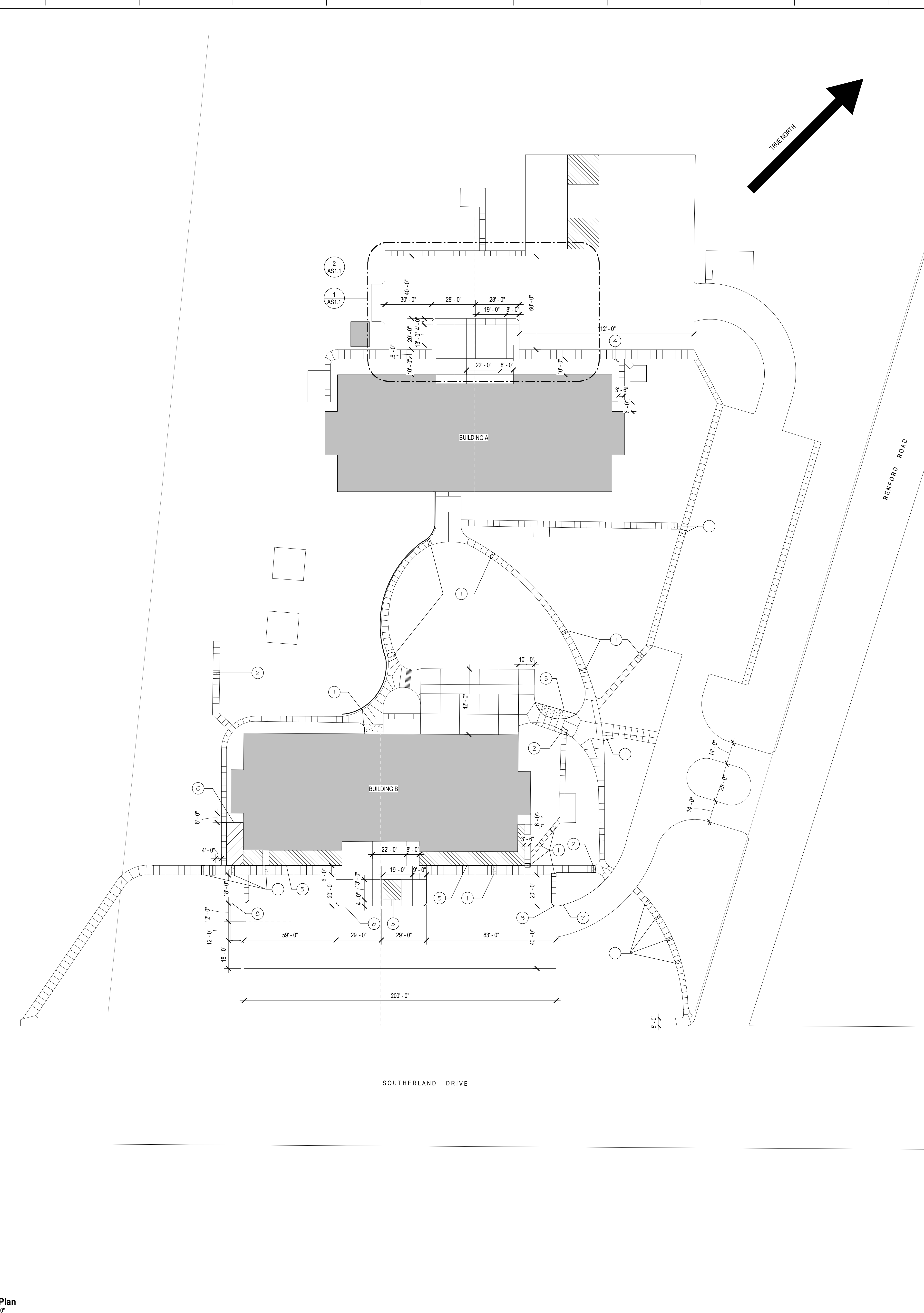
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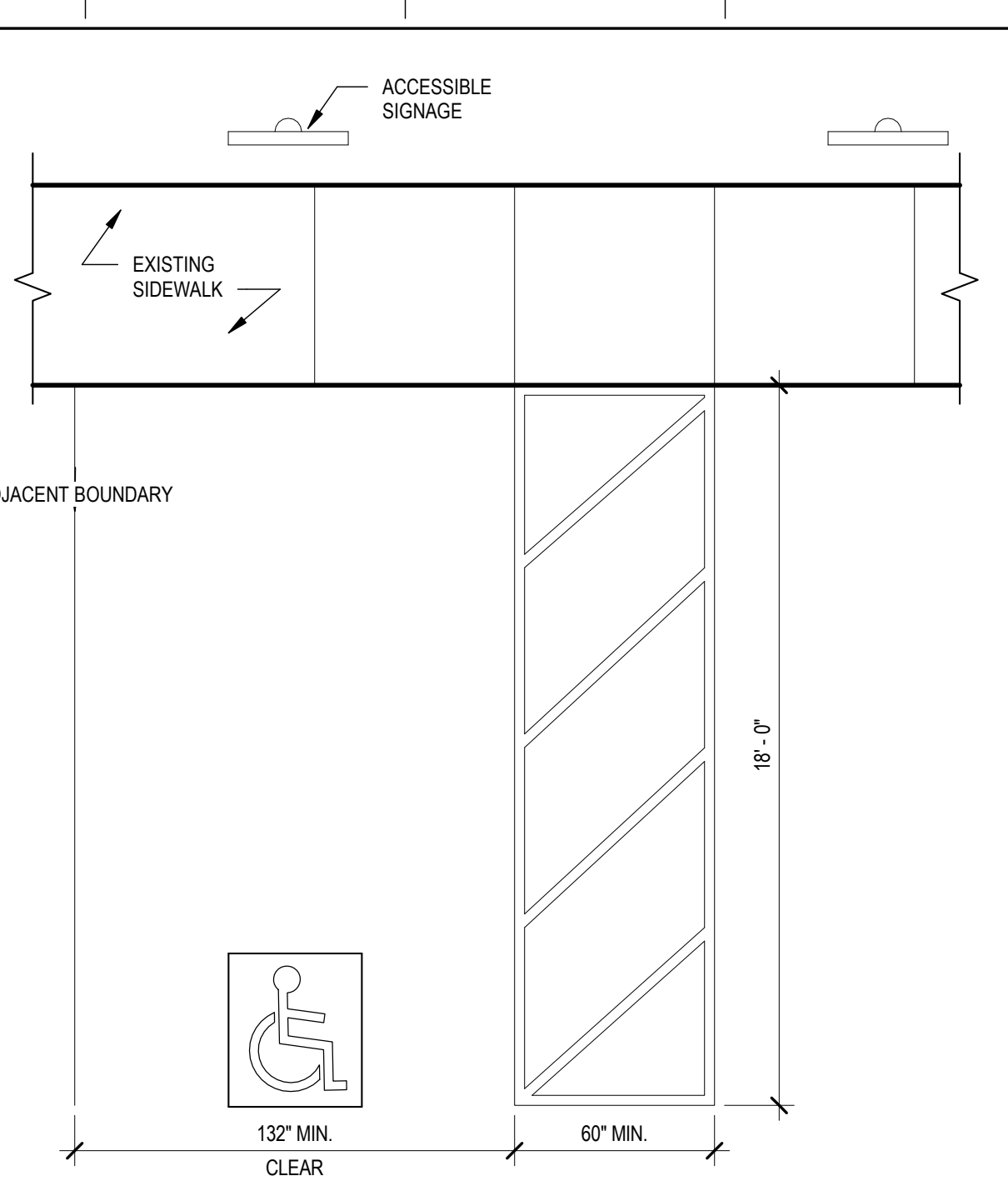
Project Phase: Construction Documents

Issue Date: 04.08.2020		
Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020
3	Addendum 2	06.04.2020

Job Number: 19136.00  
Architectural Site Plan



1 Site Plan  
1" = 30'-0"



4 Enlarged Plan - Van Access Parking  
1/4" = 1'-0"

- SIDEWALK CRACKED WITH MINOR SHIFTING. SMOOTH TO CREATE LEVEL WALKING SURFACE.
- SIDEWALK CRACKED WITH NOTABLE SHIFTING. INFILL TO CREATE LEVEL WALKING SURFACE.
- SIDEWALK CRACKED BEYOND REPAIR. REMOVE SECTION AT JOINTS AND REPLACE WITH NEW SIDEWALK.
- RETAINING WALL CRACKED & FAILING. REMOVE APPROXIMATELY 15'-0" ALONG CURVATURE AND REPLACE. SEE DETAIL 6AS1.0.
- ALLOWANCE #1: REMOVE EXISTING CMU RETAINING WALL AT BUILDING B AND PROVIDE NEW SEGMENTED CMU BLOCK AND CAP STONE AT BEDS ALONG THE SOUTH ELEVATION (BOND NEW BLOCK WITH ADHESIVE). EXISTING LANDSCAPING TO RECEIVE NEW LAYER OF PEA GRAVEL AND NEW PLANTINGS. CONTRACTOR SHALL PROVIDE A LANDSCAPING DESIGN AS DELEGATED DESIGN RESPONSIBILITY. THE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
- REMOVE EXISTING CONCRETE SLAB AND REPLACE WITH CONTINUATION OF LANDSCAPING.
- ALTERNATE #2: AT ALL CURBS NOT INCLUDING CURB OF SIDEWALK ALONG SOUTH ELEVATION OF BUILDING 'B', WHICH IS TO BE INCLUDED IN ALLOWANCE #1, PAINT CURBS YELLOW. SEE SPECS FOR MORE INFORMATION.
- ALLOWANCE #1: REPAINT SIDEWALK STRIPING AND CURB OF SIDEWALK ALONG SOUTH ELEVATION OF BUILDING 'B'. REFER TO SPECS FOR MORE INFORMATION.
- INSTALL EROSION CONTROL MEASURES WHERE NECESSARY INCLUDING, BUT NOT LIMITED TO, SILT FENCE, HAYBALES, TEMPORARY GRASS COVERS AND PERMANENT SOIL COVERS AS SOON AS IS PRACTICAL AND MAINTAIN SUCH MEASURES UNTIL A HEALTHY STAND IS ESTABLISHED. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED DETAILS.

3 Site Plan Key Notes  
NTS

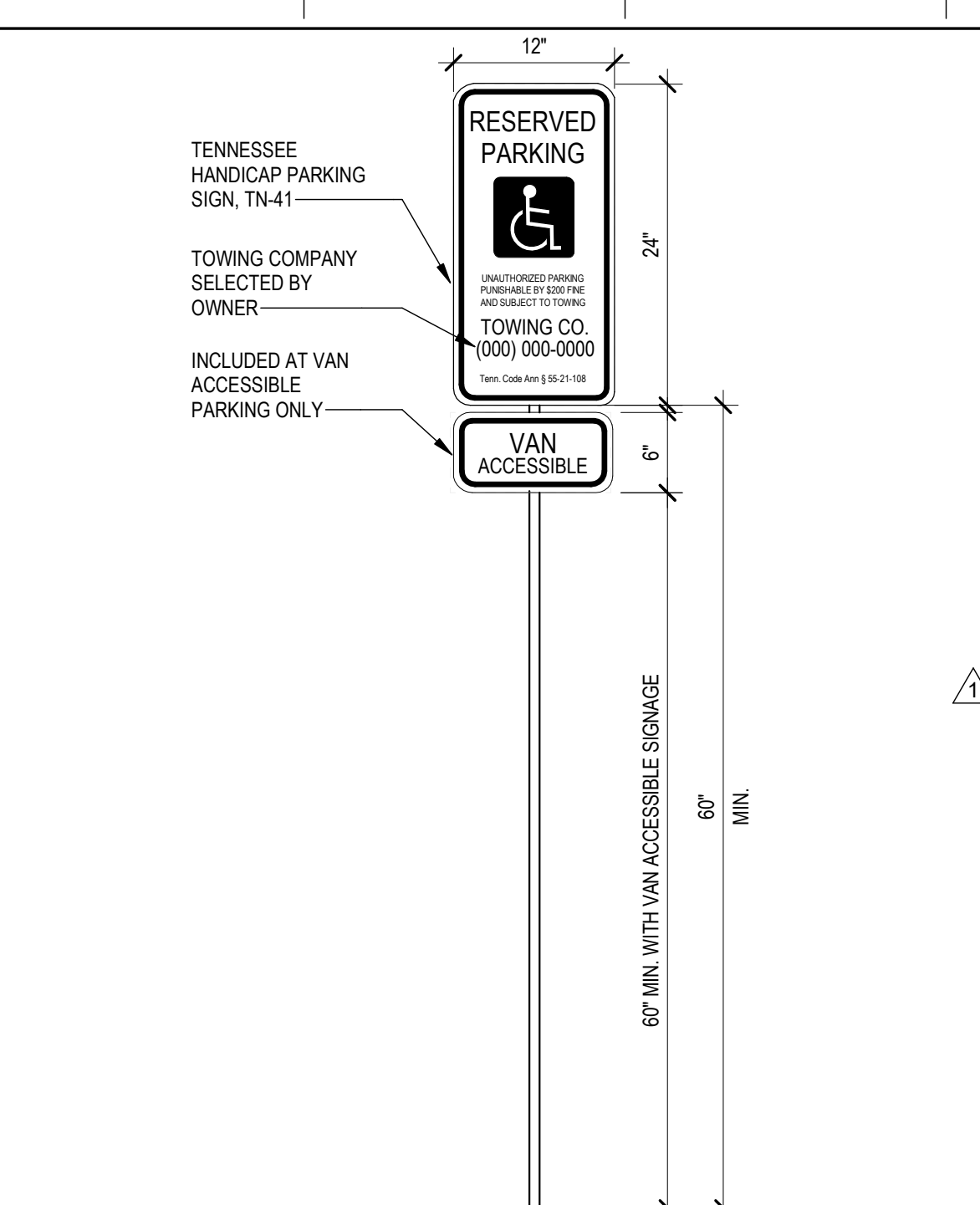
EXISTING PARKING	EXISTING	PROPOSED
STANDARD	102	98
ACCESSIBLE*	12	16
COMBINED	114	114

\*ACCESSIBLE PARKING REQUIRES 1 ALLOTTED SPACE PER UFAS UNIT PER IBC 2018 1106.2.3

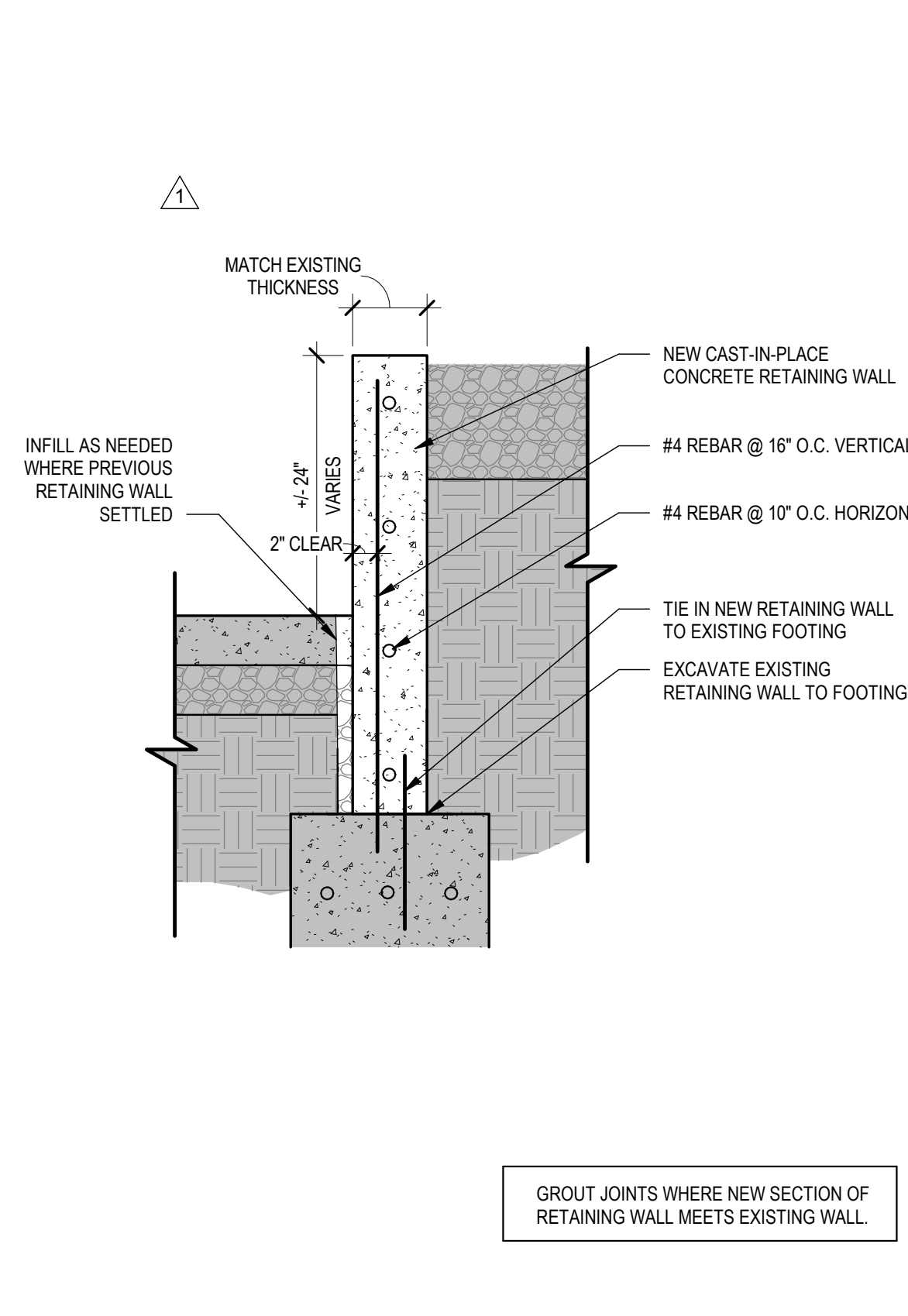
ACCESSIBLE UNITS		
BUILDING A	7	
BUILDING B	7	
	14 TOTAL	

ACCESSIBLE PARKING	EXISTING	PROPOSED
BUILDING A	3	7
BUILDING B	7	7
GUEST PARKING	2	2

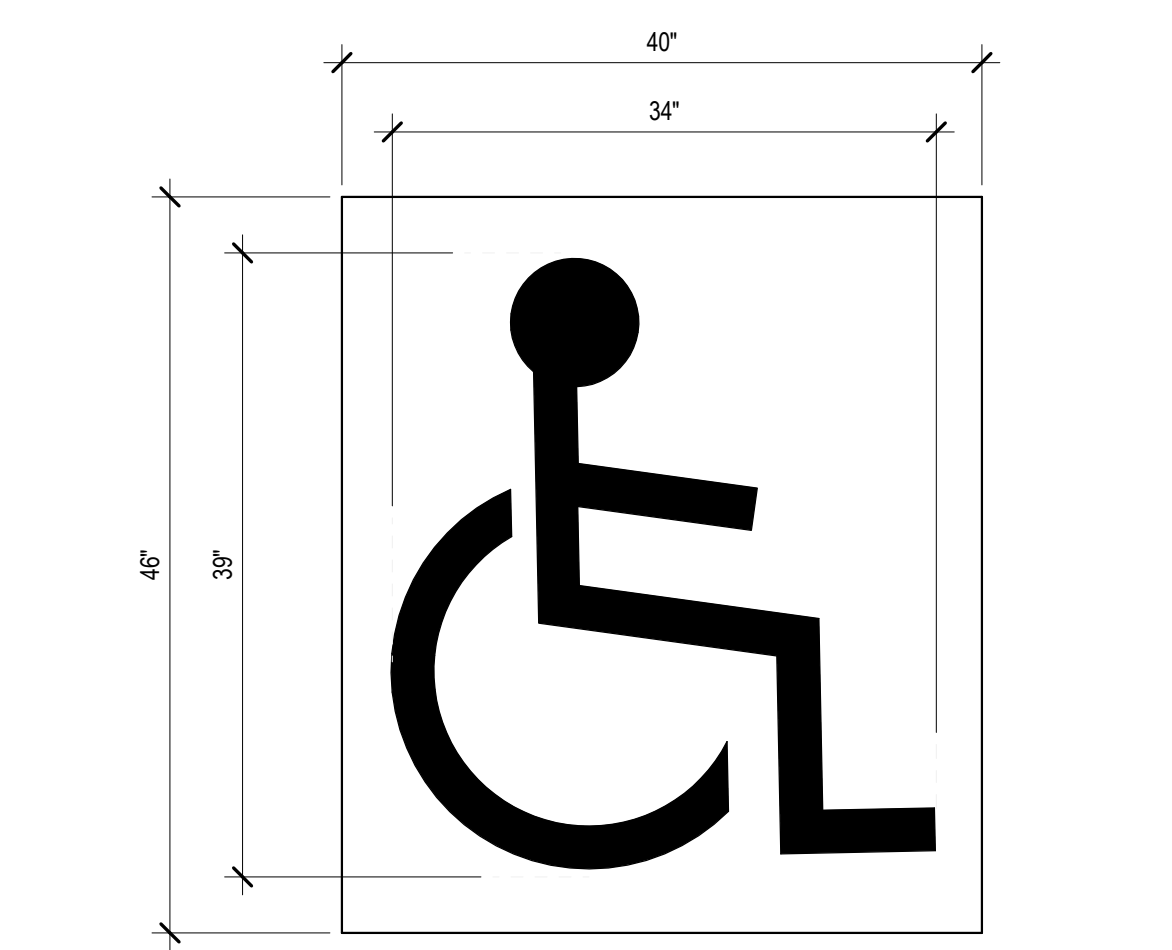
2 Parking Matrix  
NTS



7 Parking Signage Standard  
1" = 1'-0"

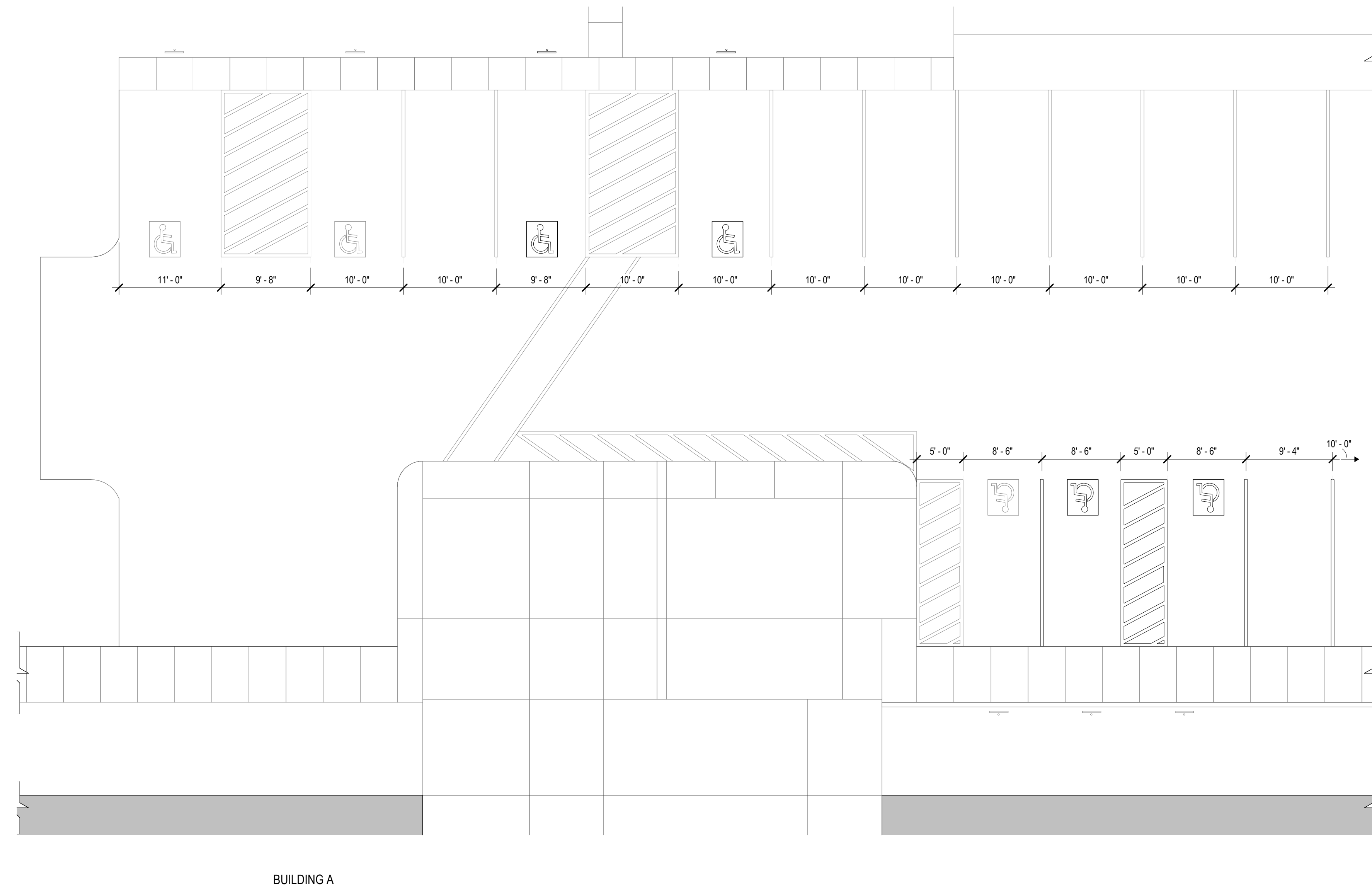


6 Retaining Wall Detail  
1" = 1'-0"



5 Accessible Striping Standard  
1" = 1'-0"

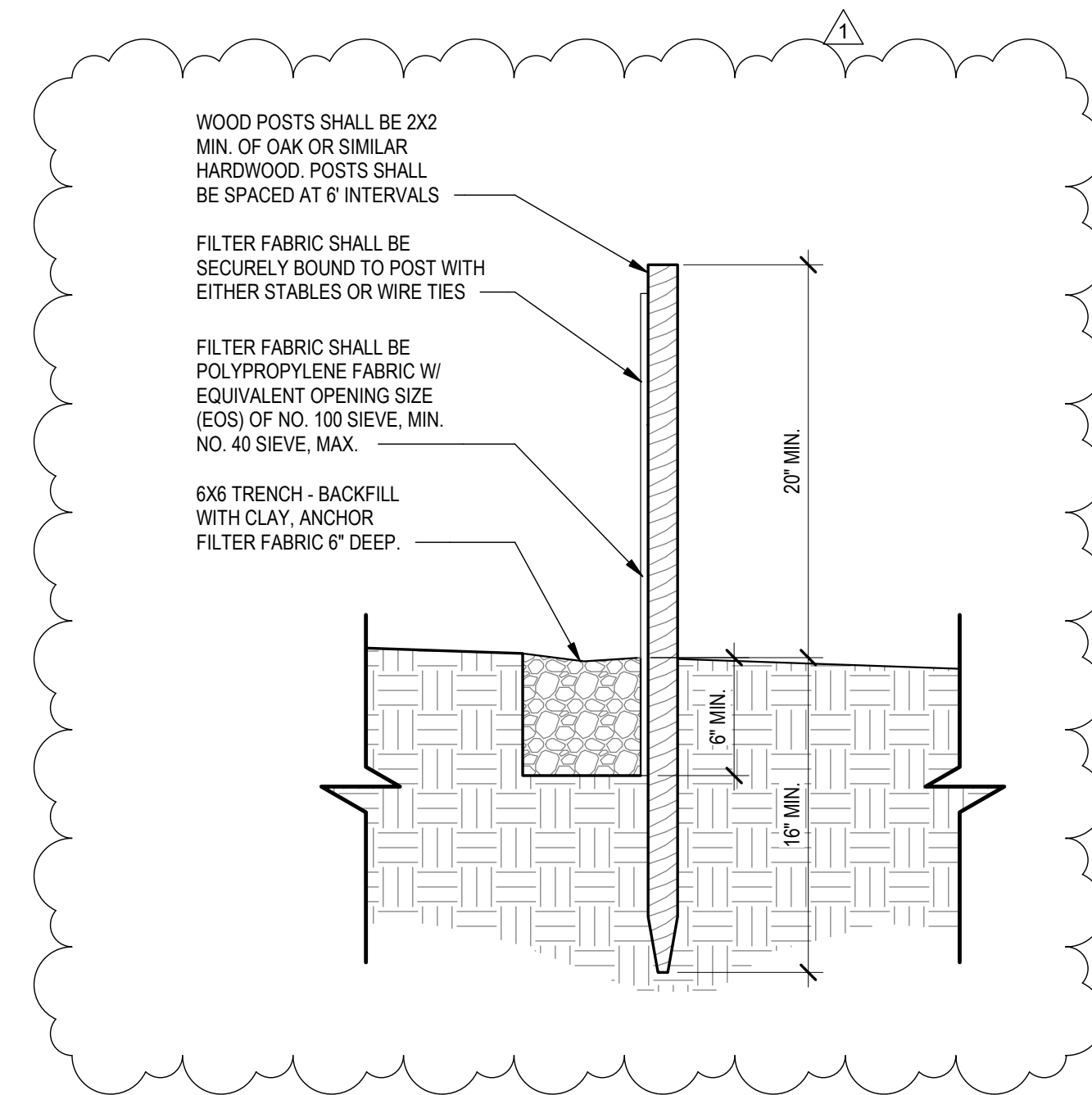
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 Drawn By: R. Gosder Checked By: M. Chady  
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BUILDING A

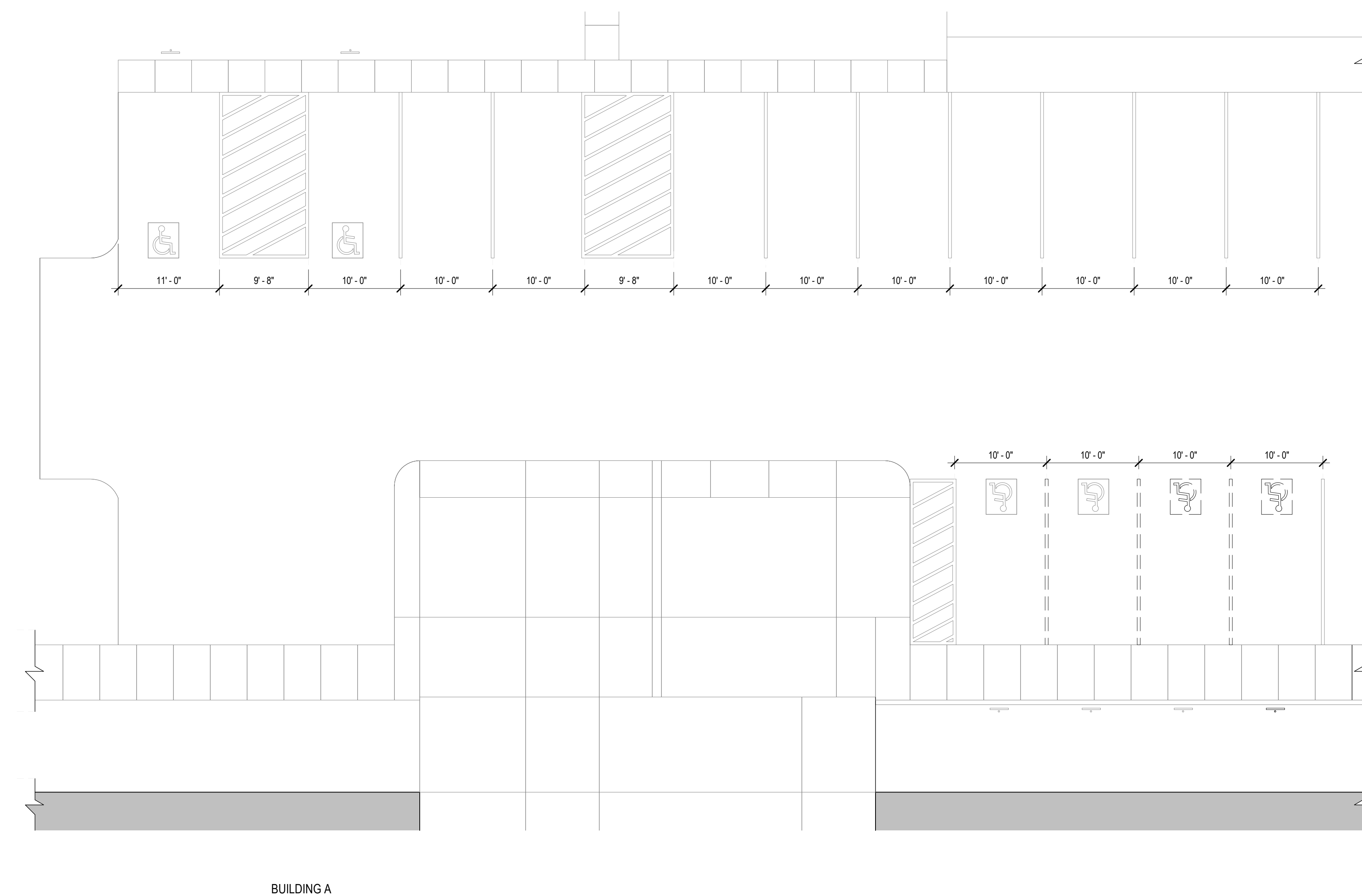
4 Not Used  
NTS

2 Building A - Enlarged Proposed Parking  
1/8" = 1'-0"

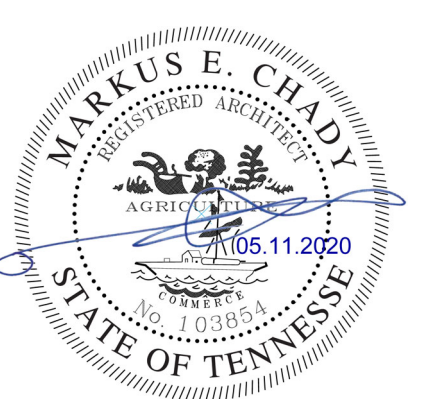


3 Silt Fence Detail  
1/12" = 1'-0"

1 Building A - Enlarged Existing Parking  
1/8" = 1'-0"

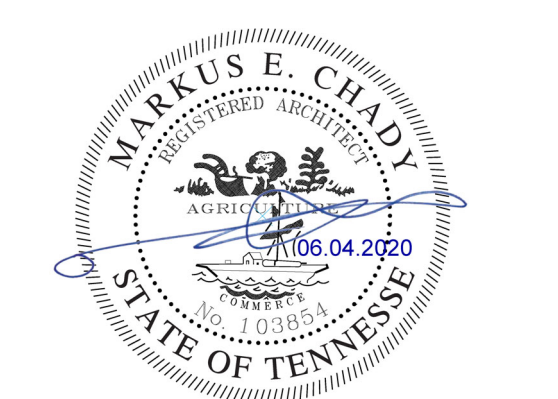


BUILDING A



Issue Date: 04.08.2020		
Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

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 Checked By: M. Chady  
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Project Phase: Construction Documents

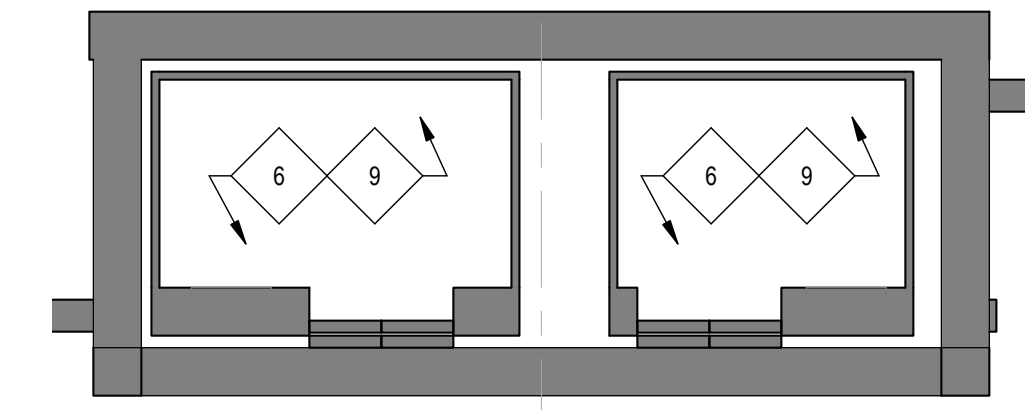
Issue Date: 04.08.2020

Revisions		
No.	Description	Date
2	Addendum 1	05.29.2020
3	Addendum 2	06.04.2020

Job Number: 19136.00

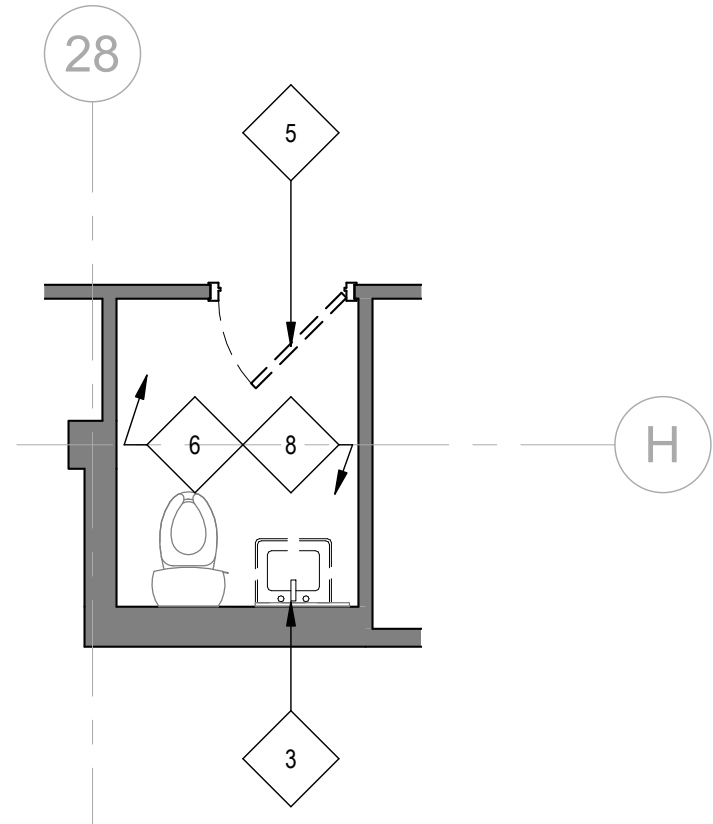
Demolition Plans

**AD1.1**



DEMOLITION WORK TO ELEVATORS TO APPLY TO BOTH BUILDINGS A AND B, TYP.

**4 Enlarged Elevator Demolition Plan**  
1/4" = 1'-0"



**3 Enlarged First-Aid Restroom Demo Plan**  
1/4" = 1'-0"

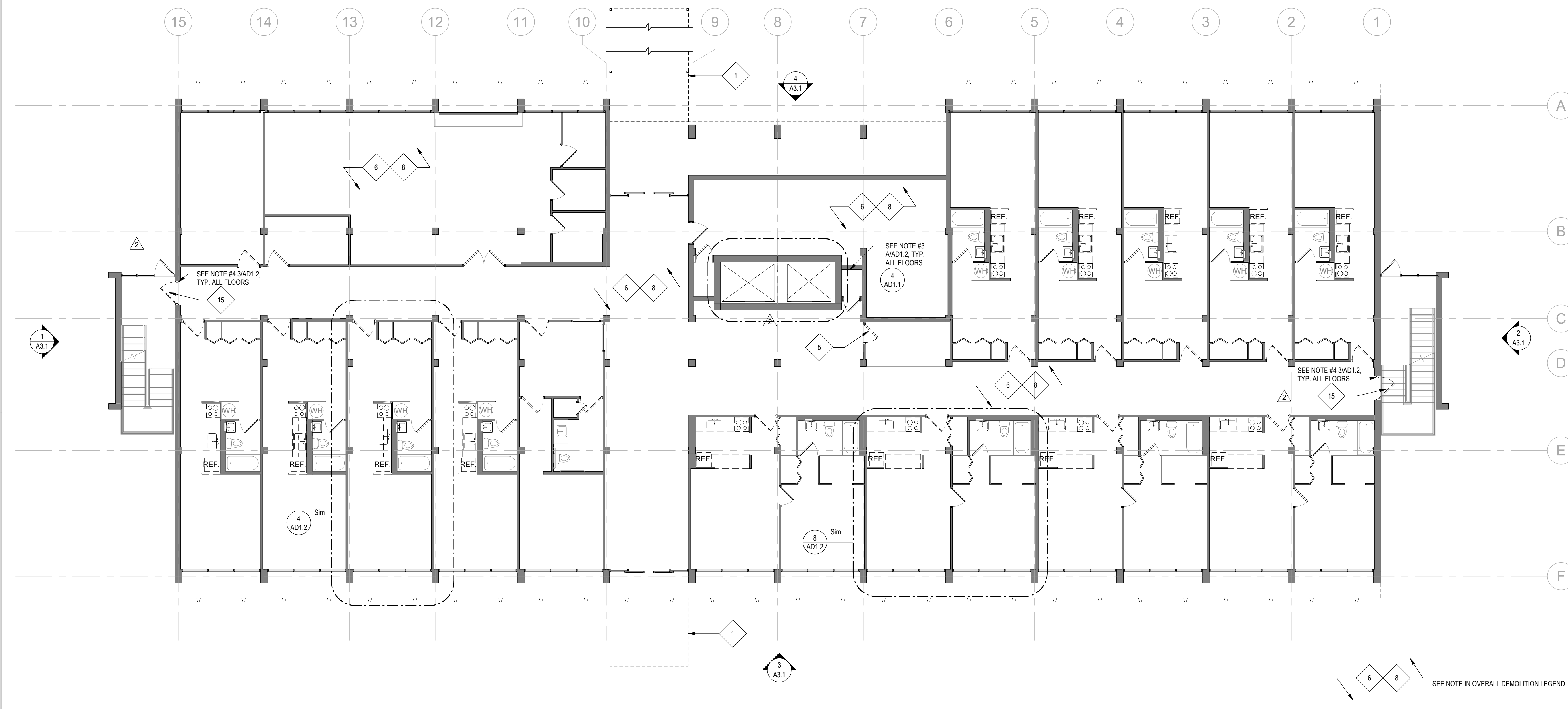
- |   |   |
|---|---|
| 1 REMOVE EXISTING CANOPY AND POSTS. PREPARE FOR NEW.  | 9 REMOVE EXISTING CEILING FINISH AND LIGHTING FIXTURES. PREPARE FOR NEW.  |
| 2 REMOVE EXISTING NON-ADA COMPLIANT STALLS.   | 10 PRIOR TO PAINTING CEILINGS, REMOVE POPCORN CEILING FINISH IN UNITS AS INDICATED IN OWNER'S ASBESTOS REPORT.            |
| 3 REMOVE & DISCARD EXISTING LAVATOIRES, CAP AND CONCEAL LINES AS NECESSARY.   | 11 REMOVE EXISTING APPLIANCES.  |
| 4 REMOVE & DISCARD EXISTING PLUMBING FIXTURES. VERIFY WITH OWNER WHICH APPLIANCES TO DISCARD AND WHICH TO SAVE FOR REINSTALLATION PRIOR TO REMOVAL. | 12 REMOVE EXISTING CASEWORK.  |
| 5 REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE. EXISTING FRAME TO REMAIN. PREPARE OPENING FOR NEW DOOR.   | 13 REMOVE EXISTING CERAMIC SURROUND AND PREPARE FOR ROLL-IN SHOWER.   |
| 6 RETAIN AND PRETEXT EXISTING FLOORING. PREPARE FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE.   | 14 REMOVE EXISTING WALL. PREPARE FOR NEW 5/8" MTL STUD PARTITION.   |
| 7 REMOVE EXISTING CEILING TILES AND CEILING GRID.   | 15 REMOVE EXISTING DOOR, ASSOCIATED HARDWARE AND FRAME. PREPARE OPENING FOR NEW DOOR AND FRAME.                           |
| 8 REMOVE EXISTING CEILING TILES. EXISTING GRID TO REMAIN.   | 16 REMOVE CERAMIC WALL BASE. REPAIR & REPLACE GYPSUM WALL BOARD AS REQUIRED. PREPARE FOR NEW WOOD BASE. SEE DETAIL 91A.1. |

ALL EXISTING LVP FLOORING TO BE PROTECTED AND PREPARED FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE THROUGHOUT.  
ALL EXISTING CEILING TILES TO BE REMOVED. EXISTING GRID TO REMAIN IN LD.

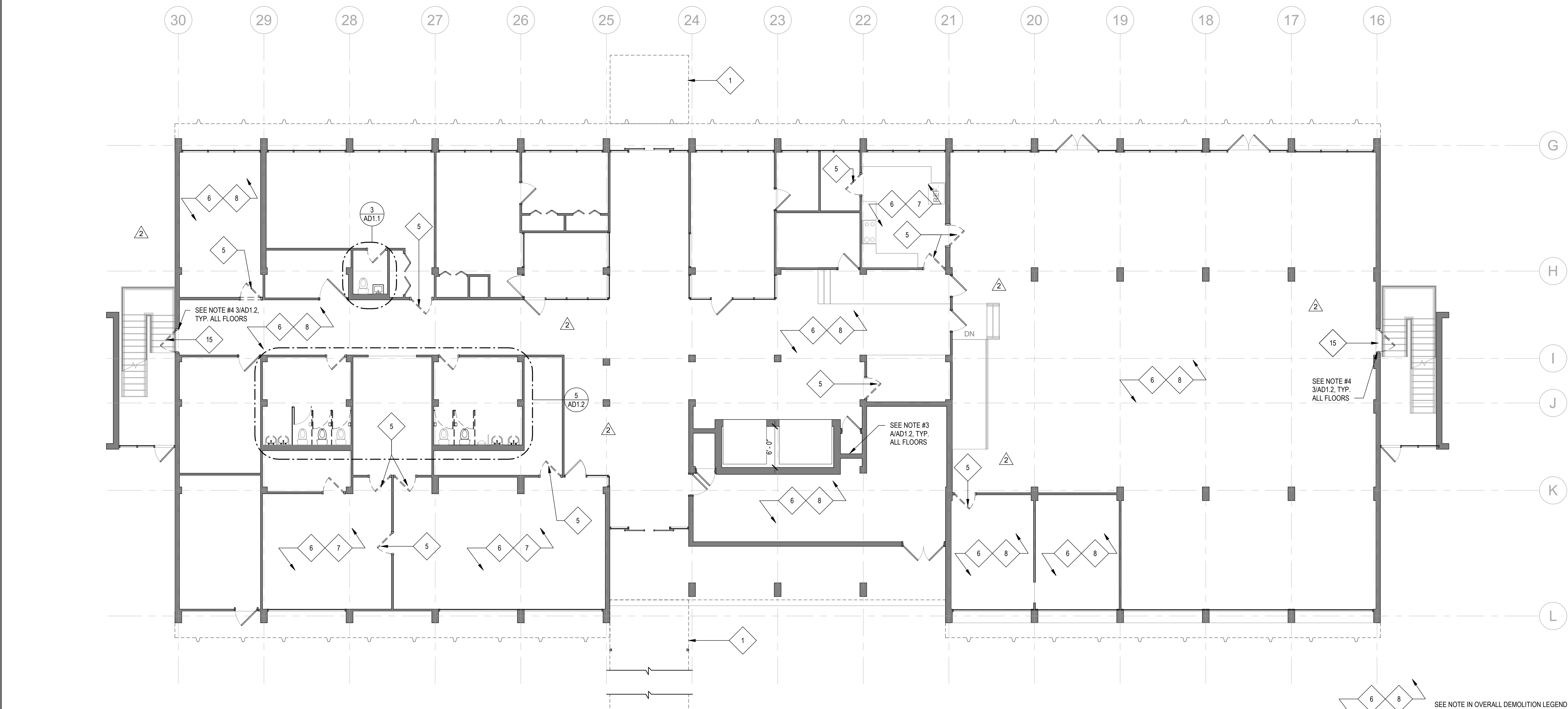
**2 Overall Demolition Legend**  
NTS

- DEMOLITION PLANS ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLANS MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
- EXISTING CONSTRUCTION TO REMAIN WITHIN AND SURROUNDING THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION TO AVOID DAMAGE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPAIRING ANY ITEMS DAMAGED OR DESTROYED THAT WERE NOT INDICATED AS PART OF THE SCOPE OF DEMOLITION.
- REMOVE ALL INTERIOR CONSTRUCTION INDICATED BY KEYNOTES, EXCEPT WHERE SPECIFICALLY INDICATED TO REMAIN. REMOVAL SHALL INCLUDE, BUT NOT BE LIMITED TO: INTERIOR AND EXTERIOR WALLS, DOORS, PARTITIONS, SUSPENDED ACOUSTICAL CEILINGS, LIGHT FIXTURES, ELECTRICAL DEVICES, FIRE ALARM DEVICES, CONDUIT, ELECTRICAL PANEL BOARDS, SWITCHES, PLUMBING LINES, PLUMBING FIXTURES, MILLWORK, FLOOR FINISHES, WINDOW TREATMENTS, DUCTWORK AND ASSOCIATED MECHANICAL PIPING, FIXTURES AND CONTROLS.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD THE PRESENCE OF HAZARDOUS MATERIALS BE SUSPECTED OR IDENTIFIED DURING DEMOLITION ACTIVITIES.
- DIMENSIONS SHOWN ARE APPROXIMATE DUE TO VARIATIONS IN EXISTING CONDITIONS, AND ARE GIVEN FOR REFERENCE ONLY.
- GC SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK ALL PROCEDURES (E.G. SCHEDULING OF ACTIVITIES, SHUTDOWNS, ETC.) AND LOCATION OF DUMPSTER FOR DISPOSAL OF ALL REMOVED ITEMS.
- ANY DAMAGE TO OWNER'S PROPERTY DURING DEMOLITION OR CONSTRUCTION WILL BE REPAIRED PER SPECIFICATIONS, AT GC'S EXPENSE.
- ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM THE PREMISES.
- GC SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNER'S ATTENTION BEFORE PROCEEDING WITH WORK.
- GC SHALL TAKE CARE TO NOT DISTURB EXISTING CEILING OR FLOOR EXCEPT FOR THOSE AREAS SPECIFIED.

**1 General Demolition Notes**  
NTS



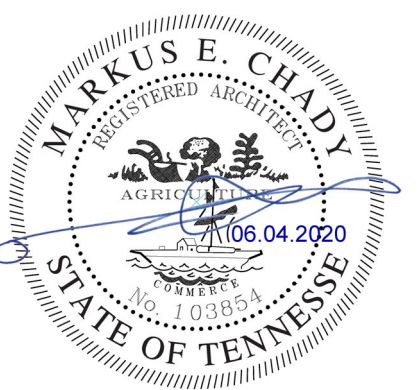
**6 1st Floor Building A Demolition Plan**  
1/8" = 1'-0"



**5 1st Floor Building B Demolition Plan**  
1/8" = 1'-0"

Date: 04/08/2020 11:47:10 AM  
Drawn By: Author  
Checked By: Chaucer  
File: C:\Revit Local Files\19136.00\_KCDC\_Cagle\_Terrace\_Central\_ground.rvt

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Project Phase: Construction Documents

Issue Date: 04.08.2020

Revisions		
No.	Description	Date
2	Addendum 1	05.29.2020
3	Addendum 2	06.04.2020

Job Number: 19136.00

Demolition Plans

1. ALL EXISTING LVP FLOORING TO BE PROTECTED AND PREPARED FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE THROUGHOUT.
2. ALL EXISTING CEILING TILES TO BE REMOVED ON EVERY LEVEL IN HALLWAYS. EXISTING CEILING GRID TO REMAIN U.N.O.
3. ALL EXISTING TRASH CHUTE DOORS TO BE REMOVED ON EVERY LEVEL. PREPARE EXISTING OPENINGS FOR NEW DOORS. SEE 5/6.1
4. ALL EXISTING EXTERIOR ACCESS DOORS (LOCATED AT HALLWAY ENDS). ASSOCIATED HARDWARE AND FRAME TO BE REMOVED COMPLETE ON EVERY LEVEL. PREPARE OPENING FOR NEW DOOR AND FRAME.

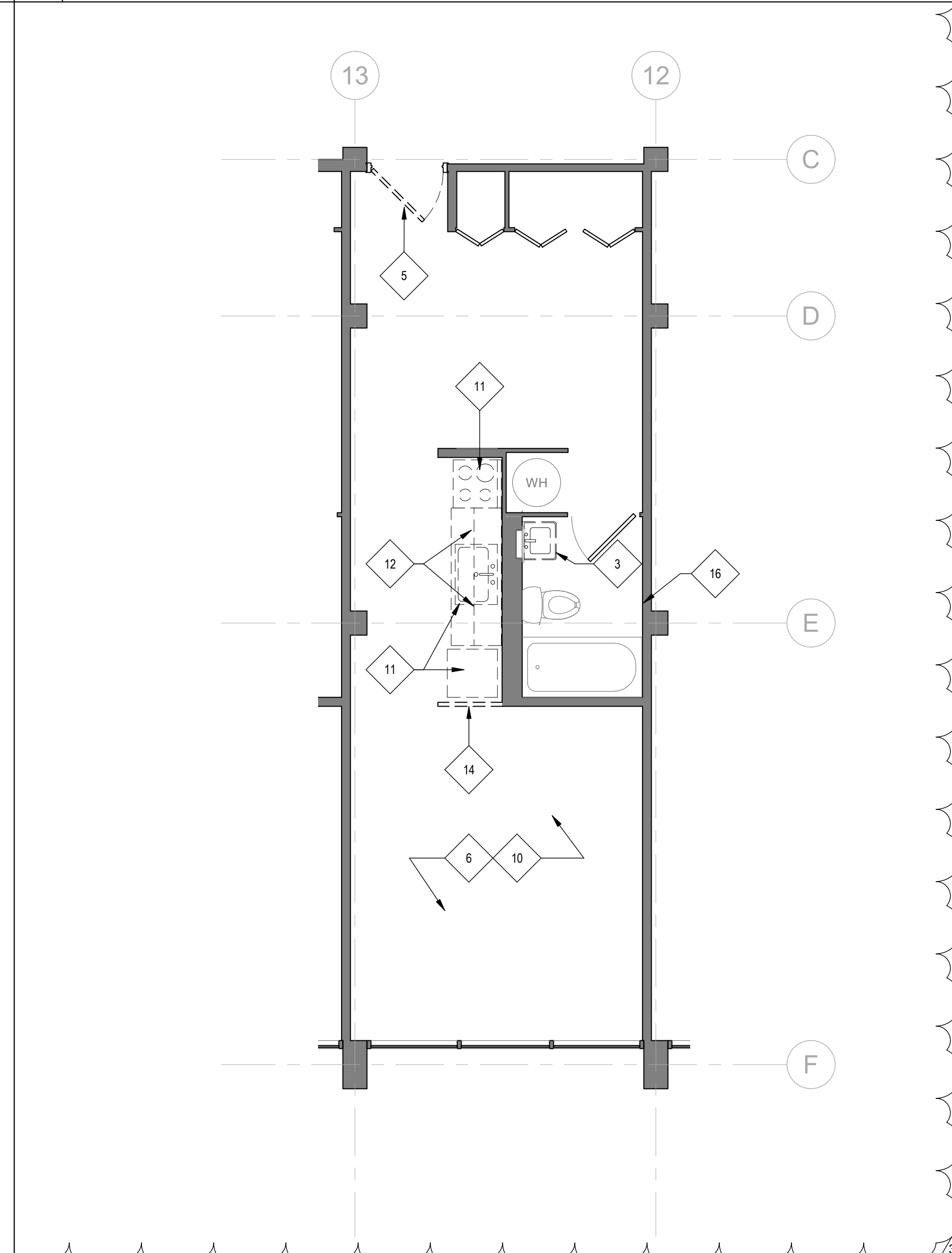
**3 Overall Demolition Notes**

- 1 REMOVE EXISTING CANOPY AND POSTS. PREPARE FOR NEW.
- 2 REMOVE EXISTING NON-ADA COMPLIANT STALLS.
- 3 REMOVE & DISCARD EXISTING LAVATORIES. CAP AND CONCEAL LINES AS NECESSARY.
- 4 REMOVE & DISCARD EXISTING PLUMBING FIXTURES. VERIFY WITH OWNER WHICH APPLIANCES TO DISCARD AND WHICH TO SAVE FOR REINSTALLATION PRIOR TO REMOVAL.
- 5 REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE. EXISTING FRAME TO REMAIN. PREPARE OPENING FOR NEW DOOR.
- 6 RETAIN AND PROTECT EXISTING FLOORING. PREPARE FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE.
- 7 REMOVE EXISTING CEILING TILES AND CEILING GRID.
- 8 REMOVE EXISTING CEILING TILES. EXISTING GRID TO REMAIN.
- 9 REMOVE EXISTING CEILING FINISH AND LIGHTING FIXTURES. PREPARE FOR NEW.
- 10 PRIOR TO PAINTING CEILINGS. REMOVE POPCORN CEILING FINISH IN UNITS AS INDICATED IN OWNER'S ASBESTOS REPORT.
- 11 REMOVE EXISTING APPLIANCES.
- 12 REMOVE EXISTING CASEWORK
- 13 REMOVE EXISTING CERAMIC SURROUND AND PREPARE FOR ROLL-IN SHOWER
- 14 REMOVE EXISTING WALL. PREPARE FOR NEW 3/8" MTL STUD PARTITION.
- 15 REMOVE EXISTING DOOR. ASSOCIATED HARDWARE AND FRAME. PREPARE OPENING FOR NEW DOOR AND FRAME.
- 16 REMOVE CERAMIC WALL BASE. REPAIR & REPLACE GYPSUM WALL BOARD AS REQUIRED. PREPARE FOR NEW WOOD BASE. SEE DETAIL 9/8.1.

**2 Demolition Legend**

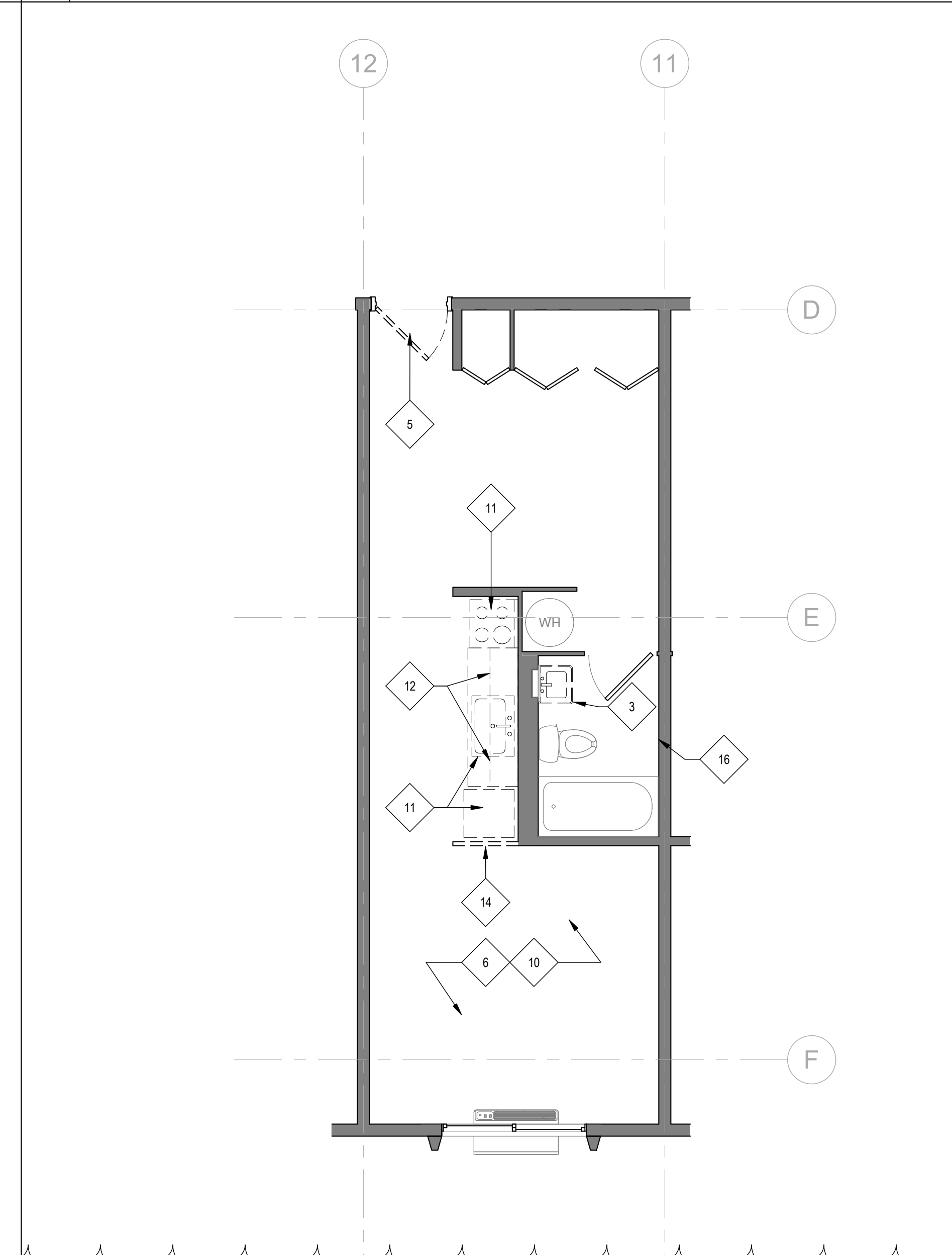
1. DEMOLITION PLAN(S) ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLAN(S) MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
3. EXISTING CONSTRUCTION TO REMAIN WITHIN AND SURROUNDING THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION TO AVOID DAMAGE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY ITEMS DAMAGED OR DESTROYED THAT WERE NOT INDICATED AS PART OF THE SCOPE OF DEMOLITION.
4. REMOVE ALL INTERIOR CONSTRUCTION INDICATED BY KEYNOTES, EXCEPT WHERE SPECIFICALLY INDICATED TO REMAIN. REMOVAL SHALL INCLUDE, BUT NOT BE LIMITED TO: INTERIOR AND EXTERIOR WALLS, DOORS, PARTITIONS, SUSPENDED ACoustICAL CEILINGS, LIGHT FIXTURES, ELECTRICAL DEVICES, FIRE ALARM DEVICES, CONDUIT, ELECTRICAL PANEL BOARDS, SWITCHES, PLUMBING LINES, PLUMBING FIXTURES, MILLWORK, FLOOR FINISHES, WINDOW TREATMENTS, DUCTWORK AND ASSOCIATED MECHANICAL PIPING, FIXTURES AND CONTROLS.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD THE PRESENCE OF HAZARDOUS MATERIALS BE SUSPECTED OR IDENTIFIED DURING DEMOLITION ACTIVITIES.
6. DIMENSIONS SHOWN ARE APPROXIMATE DUE TO VARIATIONS IN EXISTING CONDITIONS, AND ARE GIVEN FOR REFERENCE ONLY.
7. GC SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK ALL PROCEDURES (E.G. SCHEDULING OF ACTIVITIES, SHUTDOWNS, ETC.) AND LOCATION OF DUMPSTER FOR DISPOSAL OF ALL REMOVED ITEMS.
8. ANY DAMAGE TO OWNER'S PROPERTY DURING DEMOLITION OR CONSTRUCTION WILL BE REPAIRED PER SPECIFICATIONS, AT GC'S EXPENSE.
9. ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM THE PREMISES.
10. GC SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNER'S ATTENTION BEFORE PROCEEDING WITH WORK.
11. GC SHALL TAKE CARE TO NOT DISTURB EXISTING CEILING OR FLOOR EXCEPT FOR THOSE AREAS SPECIFIED.

**5 1st Floor Building B - Enlarged Restroom Demo Plan**  
1/4" = 1'-0"



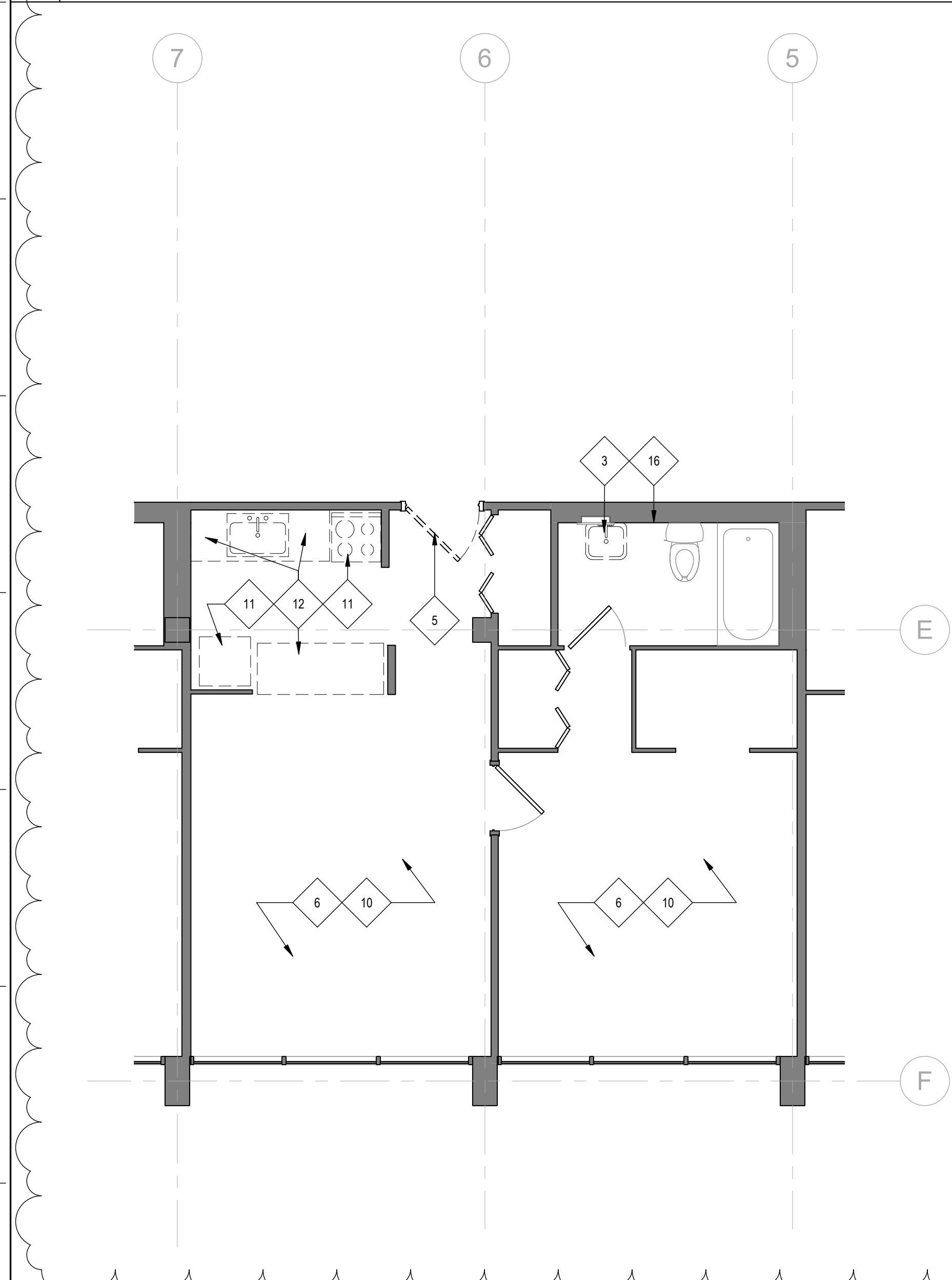
**4 Type 1 - Demolition Plan**  
1/4" = 1'-0"

**7 Type 3 UFAS - Demolition Plan**  
1/4" = 1'-0"



**6 Type 4 - Demolition Plan**  
1/4" = 1'-0"

**9 Type 3 - Demolition Plan**  
1/4" = 1'-0"

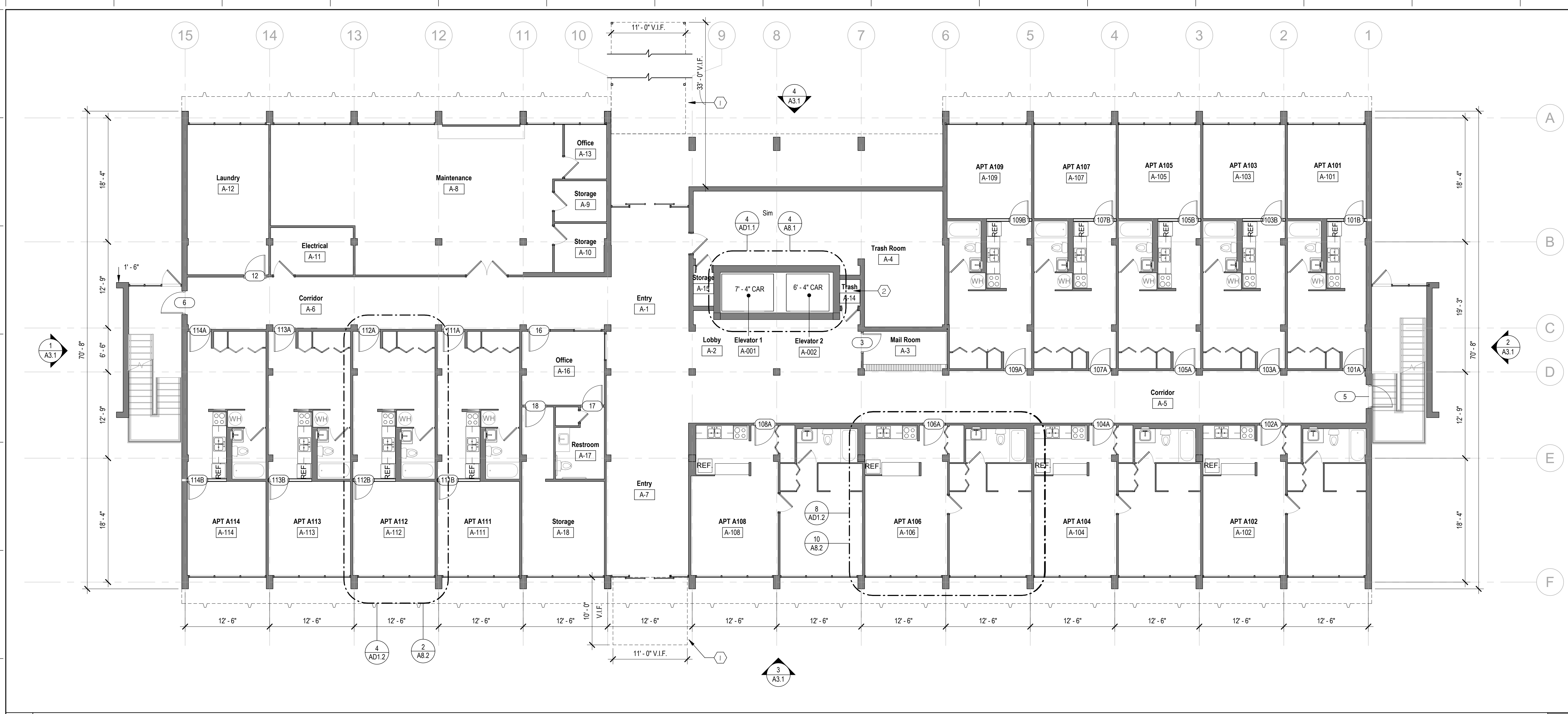


**8 Type 2 - Demolition Plan**  
1/4" = 1'-0"

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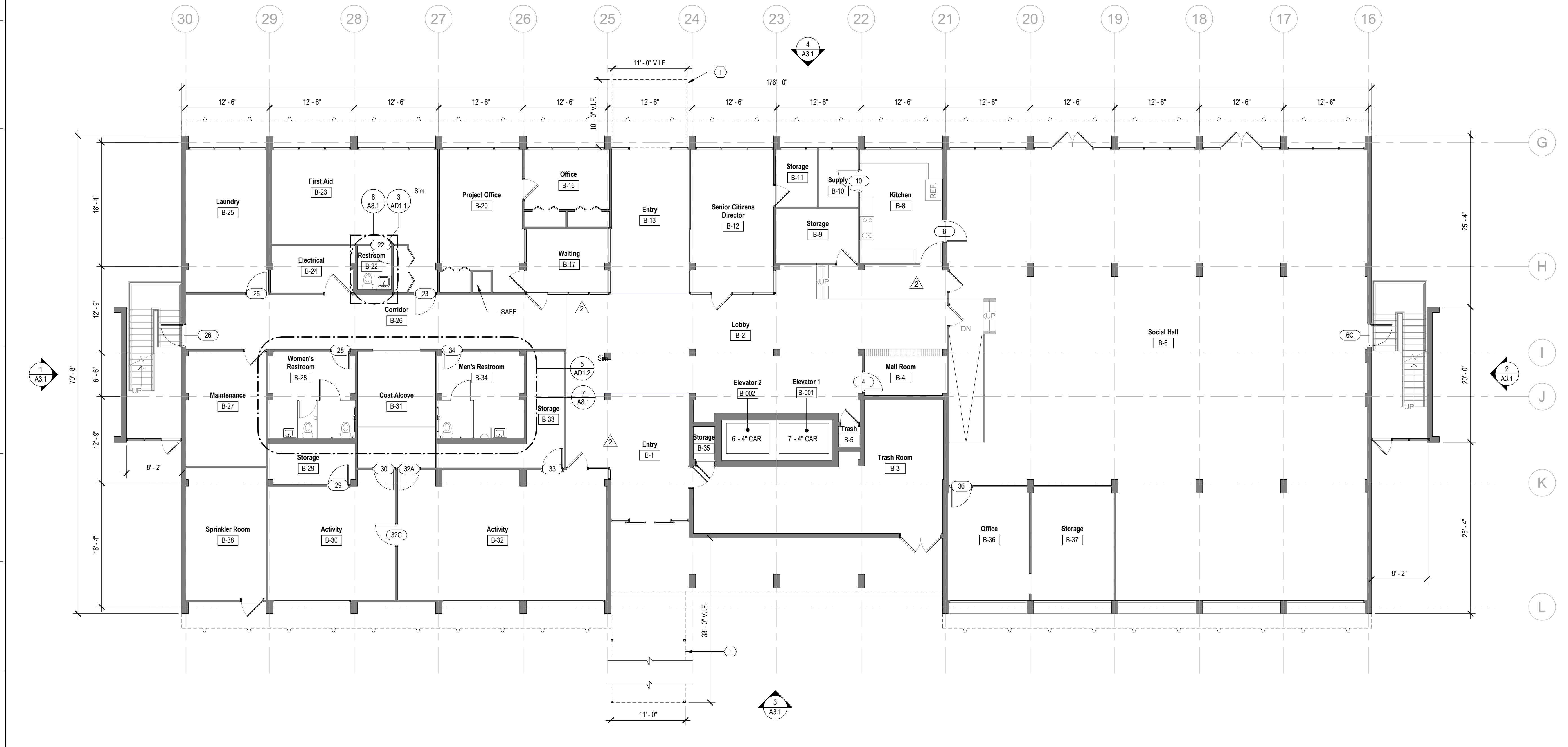
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- General Notes**
- 1 INSTALL NEW CANOPY. SEE SPECS FOR CANOPY DETAILS.
  - 2 ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE 5/46.1
  - 3 ALL CEILING ACCESSORIES TO REMAIN IN EXISTING LOCATION. VERIFY HEIGHT TO MATCH EXISTING. TYP.

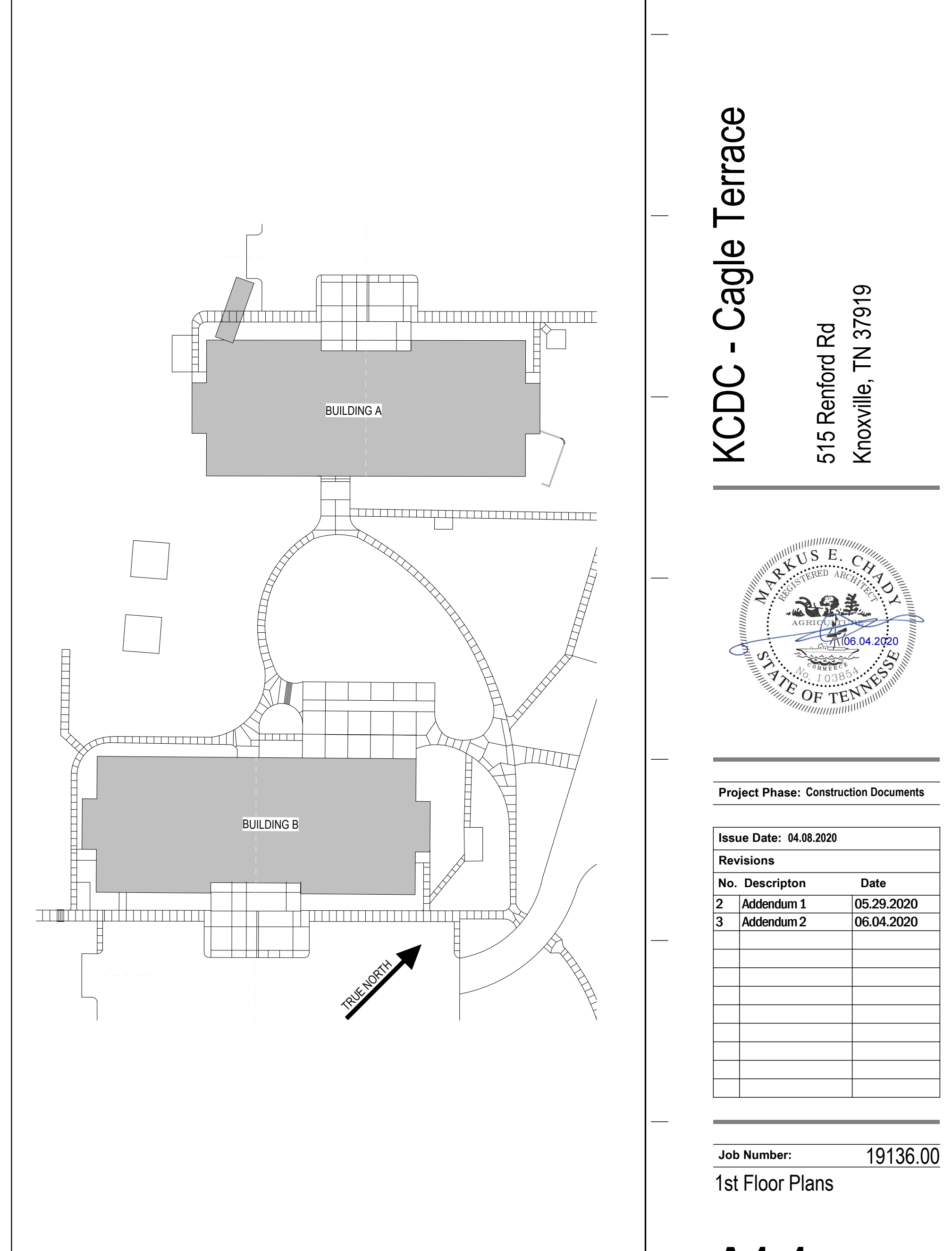


**4 1st Floor Building A**  
1/8" = 1'-0"

**2 General Notes**  
N.T.S.



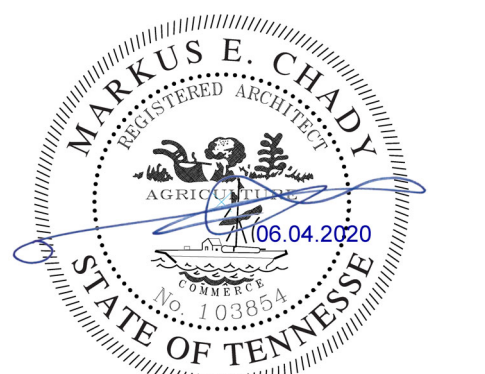
**3 1st Floor Building B**  
1/8" = 1'-0"



**1 Key Plan**  
1" = 50'-0"

**KCDC - Cagle Terrace**

515 Renford Rd  
Knoxville, TN 37919



Project Phase: Construction Documents

Issue Date: 04.08.2020

Revisions		
No.	Description	Date
2	Addendum 1	05.29.2020
3	Addendum 2	06.04.2020

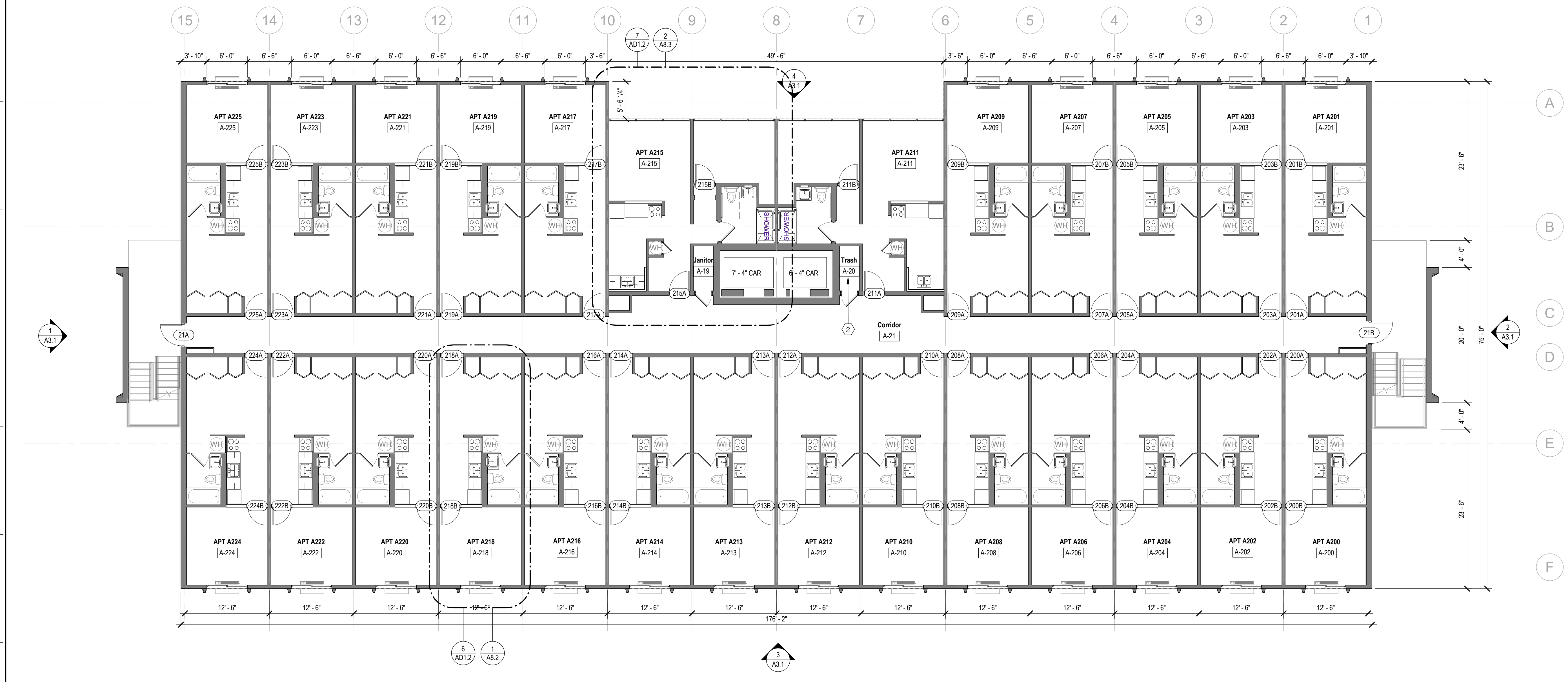
Job Number: 19136.00

1st Floor Plans

**A1.1**

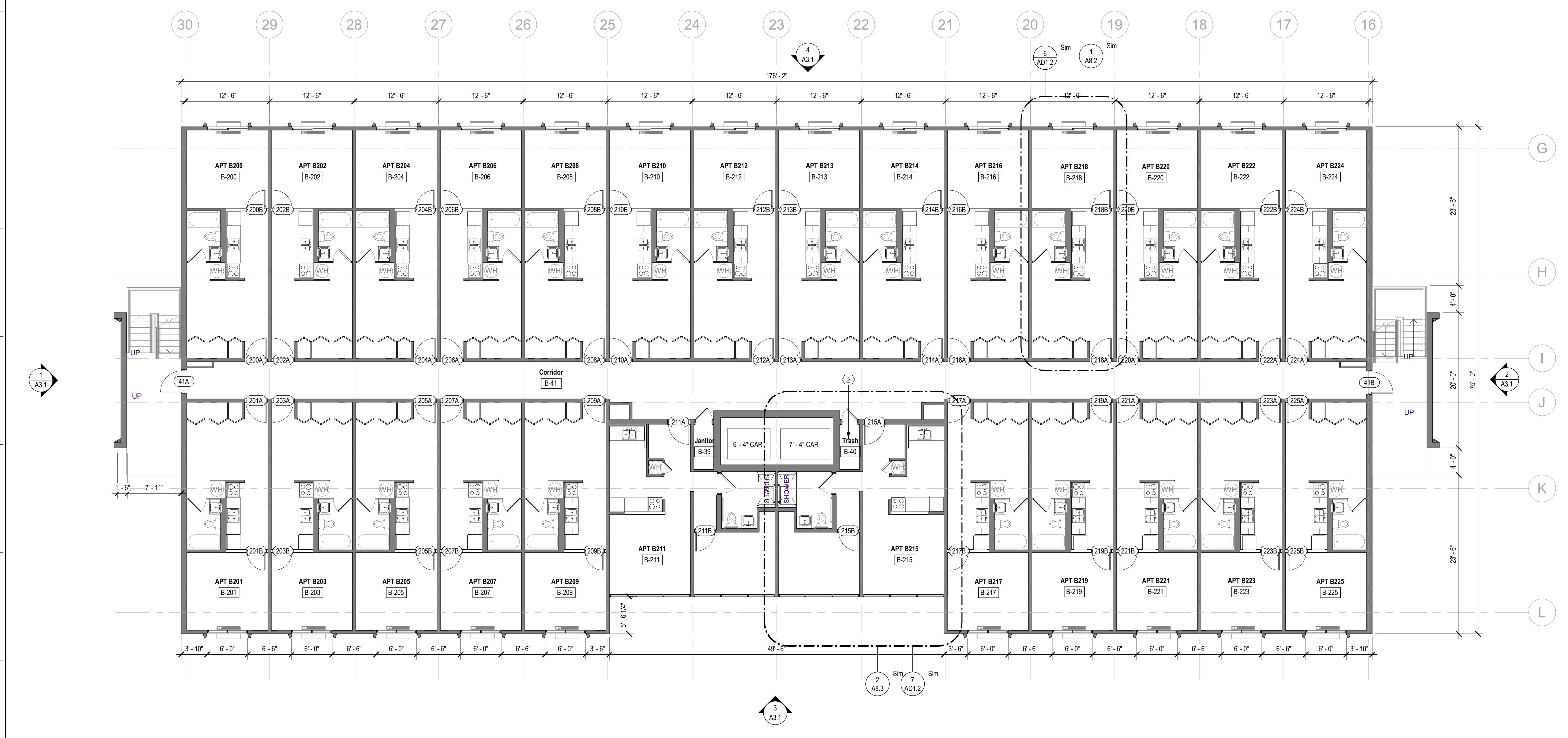
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- 1 INSTALL NEW CANOPY. SEE SPECS FOR CANOPY DETAILS.
- 2 ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE SIA6.1
- 3 ALL CEILING ACCESSORIES TO REMAIN IN EXISTING LOCATION. VERIFY HEIGHT TO MATCH EXISTING, TYP.



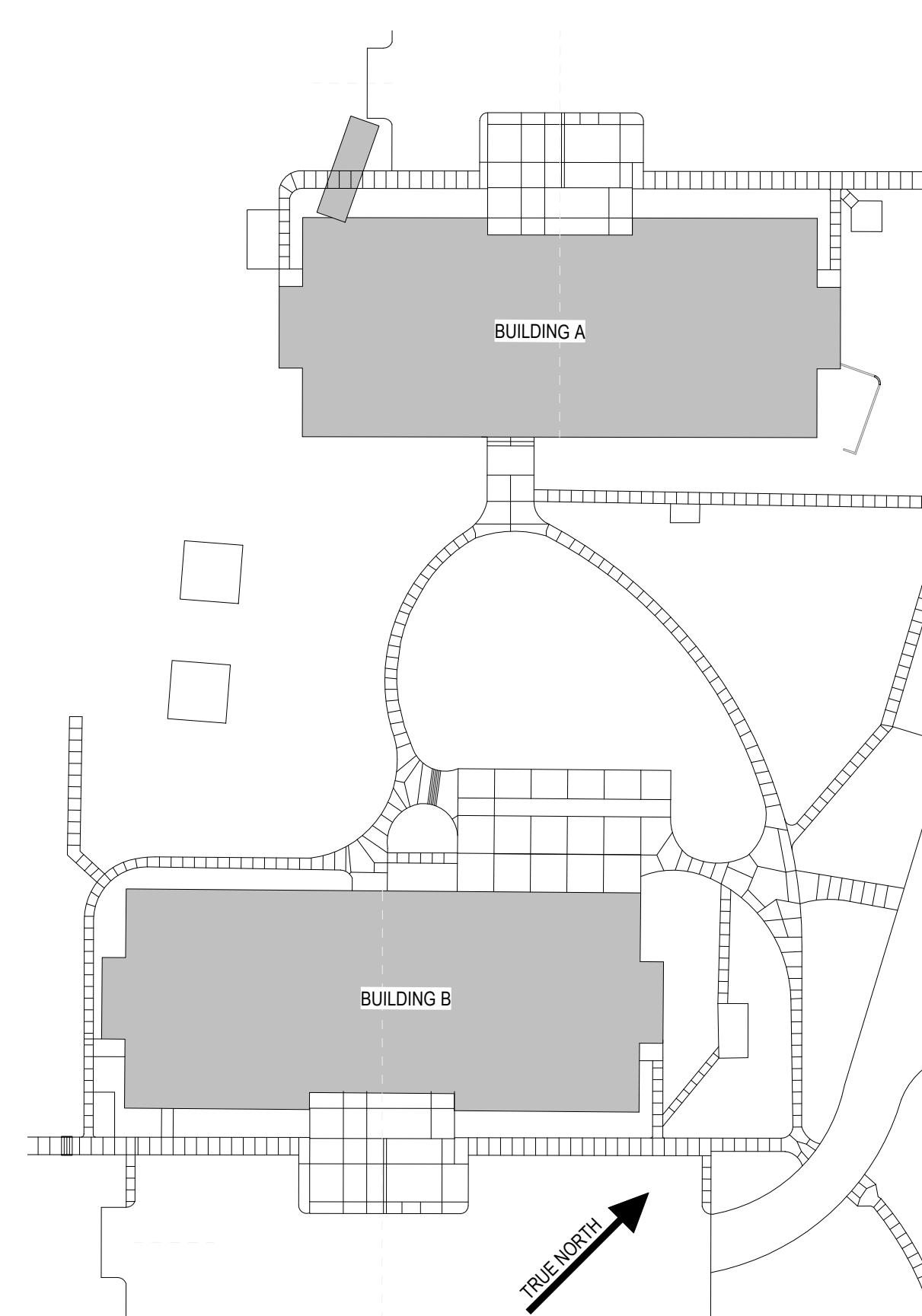
**4 2nd Floor Building A**  
1/8" = 1'-0"

**2 General Notes**  
NTS



**3 2nd Floor Building B**  
1/8" = 1'-0"

**1 Key Plan**  
1" = 50'-0"



**KCDC - Cagle Terrace**

515 Renford Rd  
Knoxville, TN 37919



Project Phase: Construction Documents

Issue Date:	04.08.2020		
Revisions	No.	Description	Date
	3	Addendum 2	06.04.2020

Job Number: 19136.00  
2nd Floor Plans

**A1.2**

Date: 6/4/2020 11:45:47 AM  
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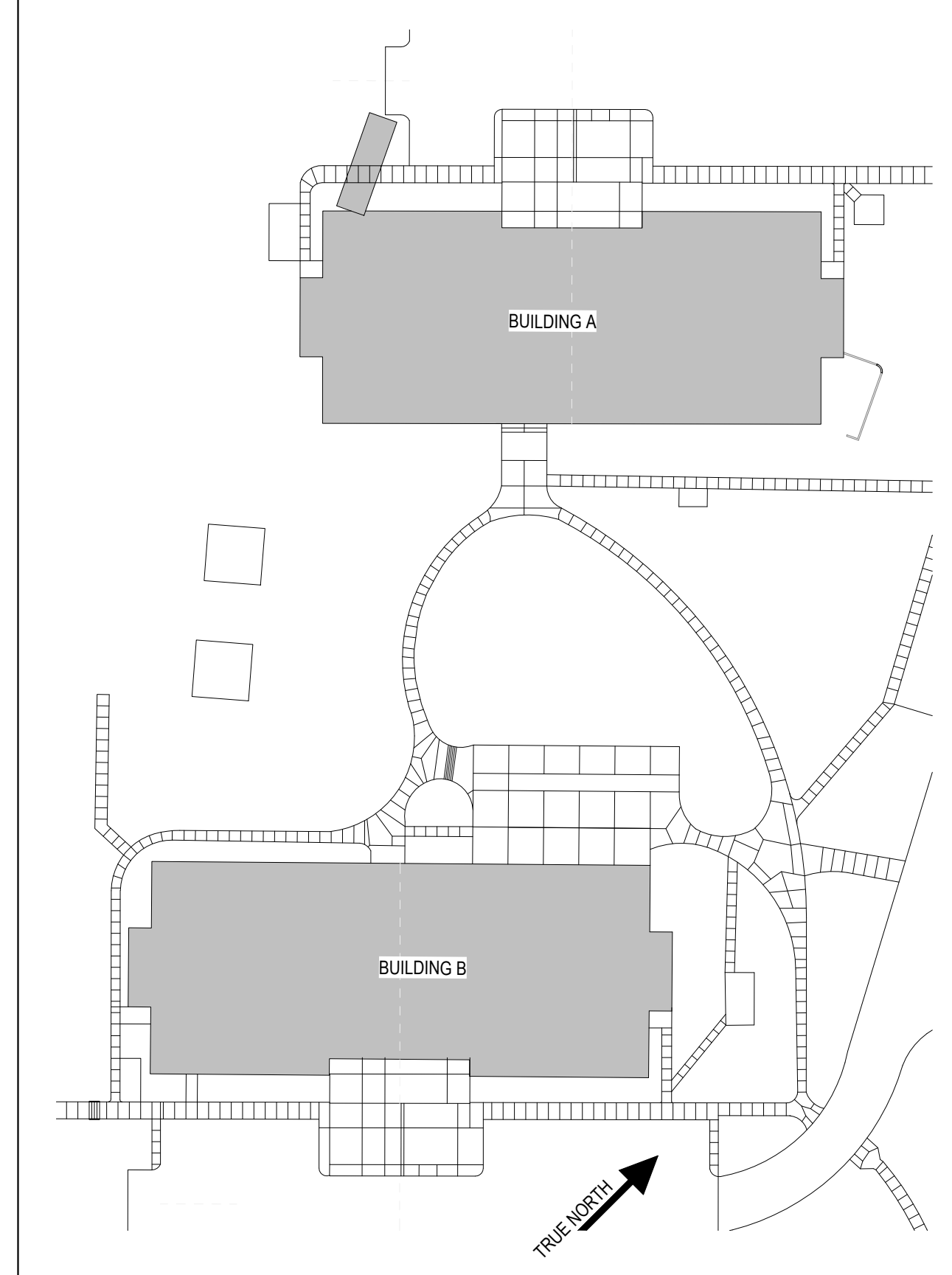
Project Phase: Construction Documents

Issue Date: 04.08.2020

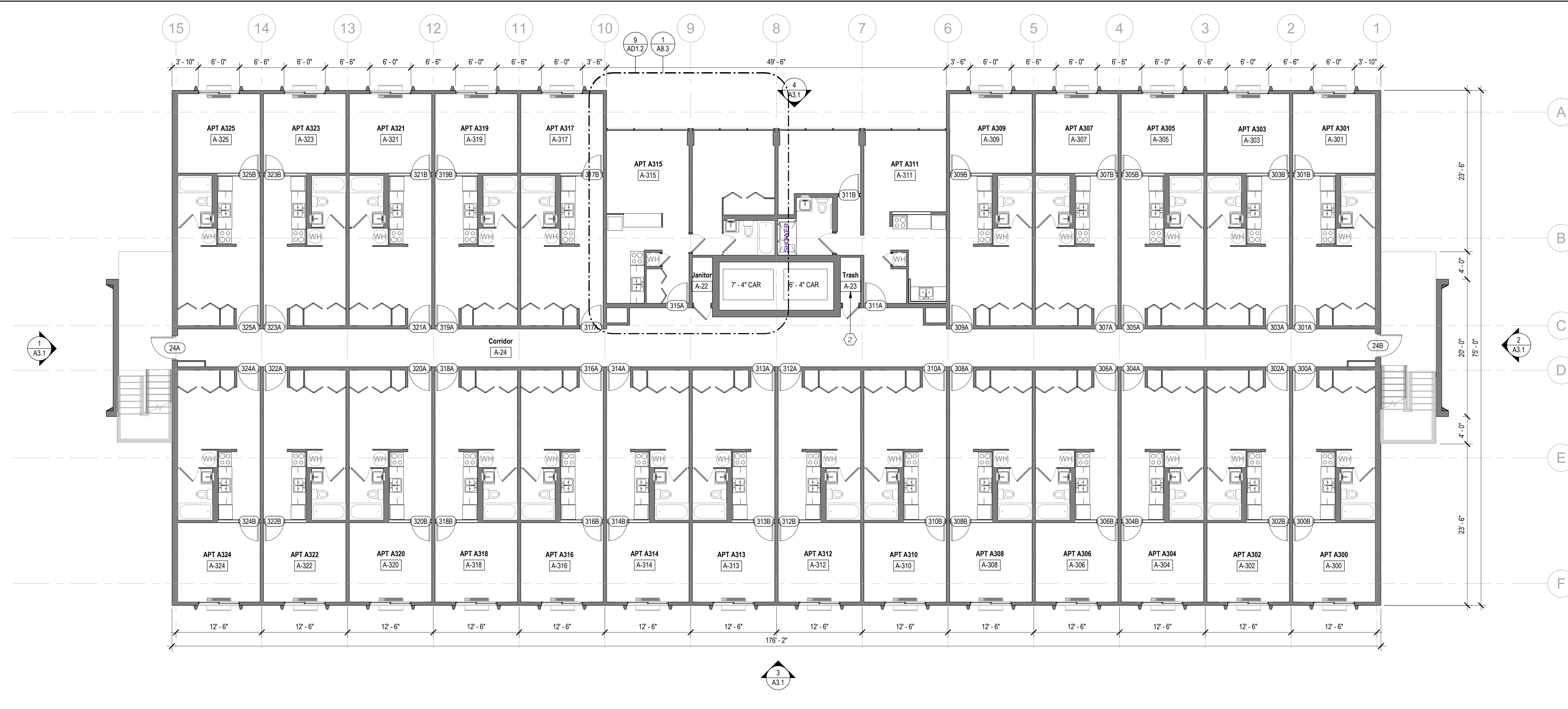
No.	Description	Date
3	Addendum 2	06.04.2020

Job Number: 19136.00  
3rd Floor Plans

- 1 INSTALL NEW CANOPY. SEE SPECS FOR CANOPY DETAILS.
- 2 ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE S/A6.1
- 3 ALL CEILING ACCESSORIES TO REMAIN IN EXISTING LOCATION. VERIFY HEIGHT TO MATCH EXISTING, TYP.

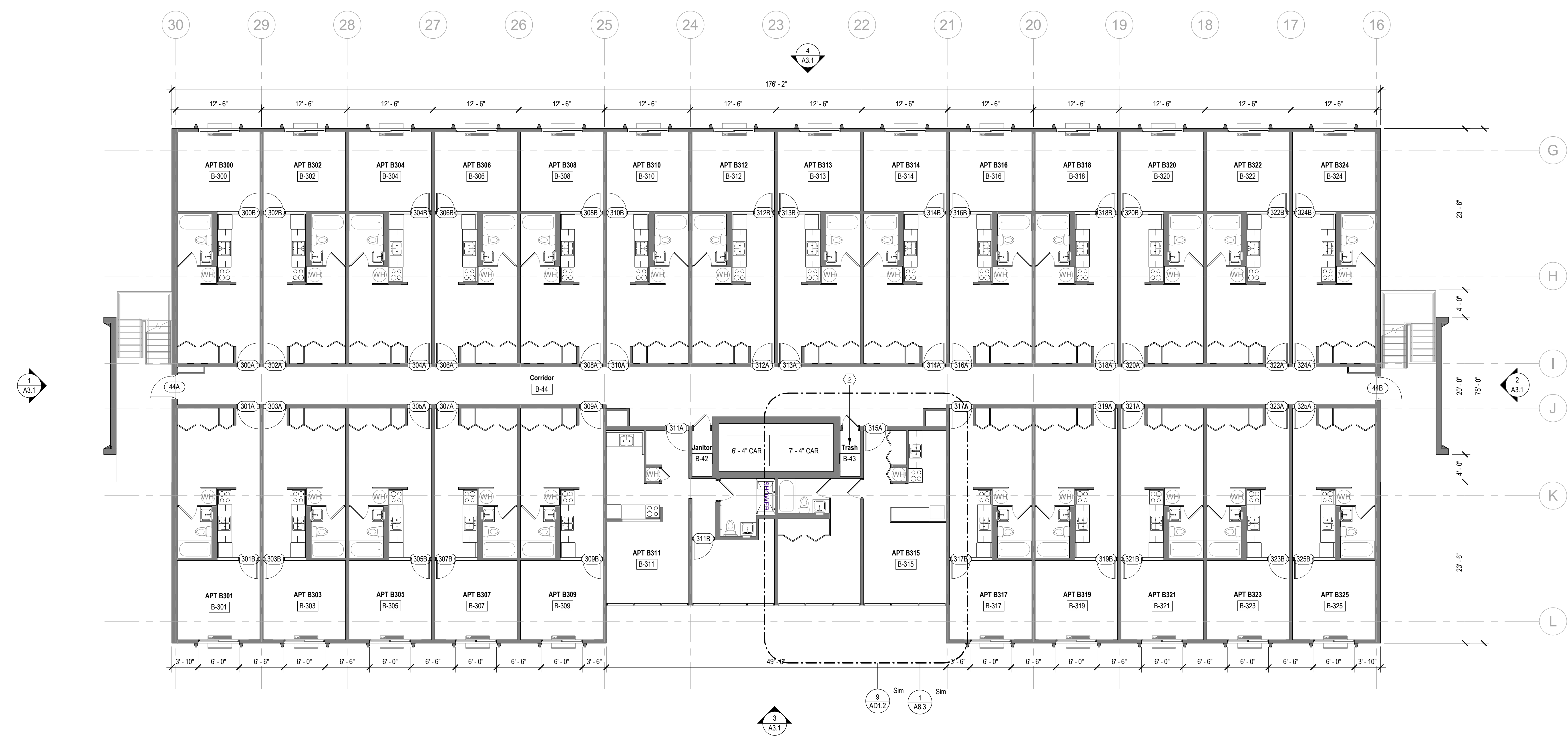


1 Key Plan  
1" = 50'-0"



4 3rd Floor Building A  
1/8" = 1'-0"

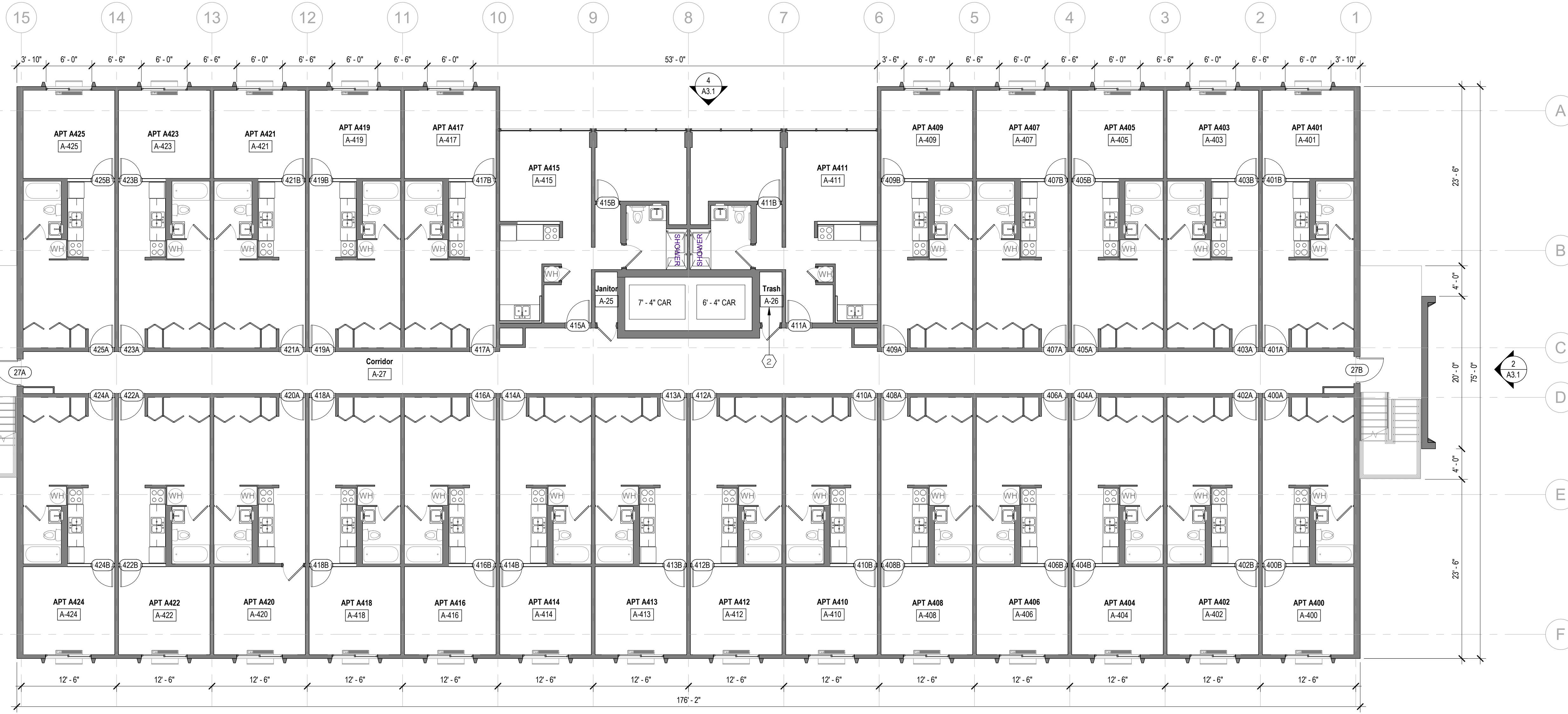
2 General Notes  
N/A



3 3rd Floor Building B  
1/8" = 1'-0"

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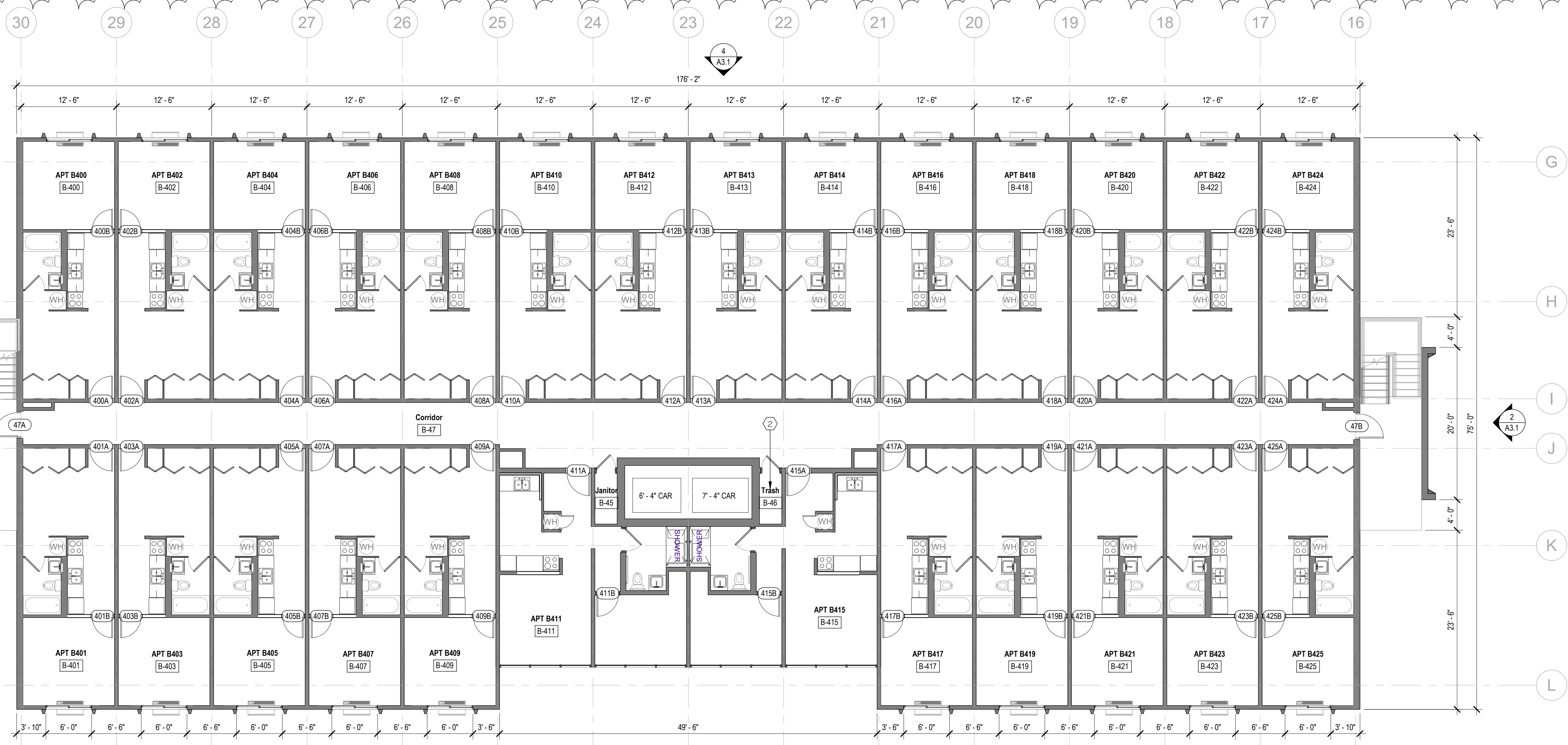




- ① INSTALL NEW CANOPY. SEE SPECS FOR CANOPY DETAILS.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE SIA6.1
- ③ ALL CEILING ACCESSORIES TO REMAIN IN EXISTING LOCATION. VERIFY HEIGHT TO MATCH EXISTING, TYP.

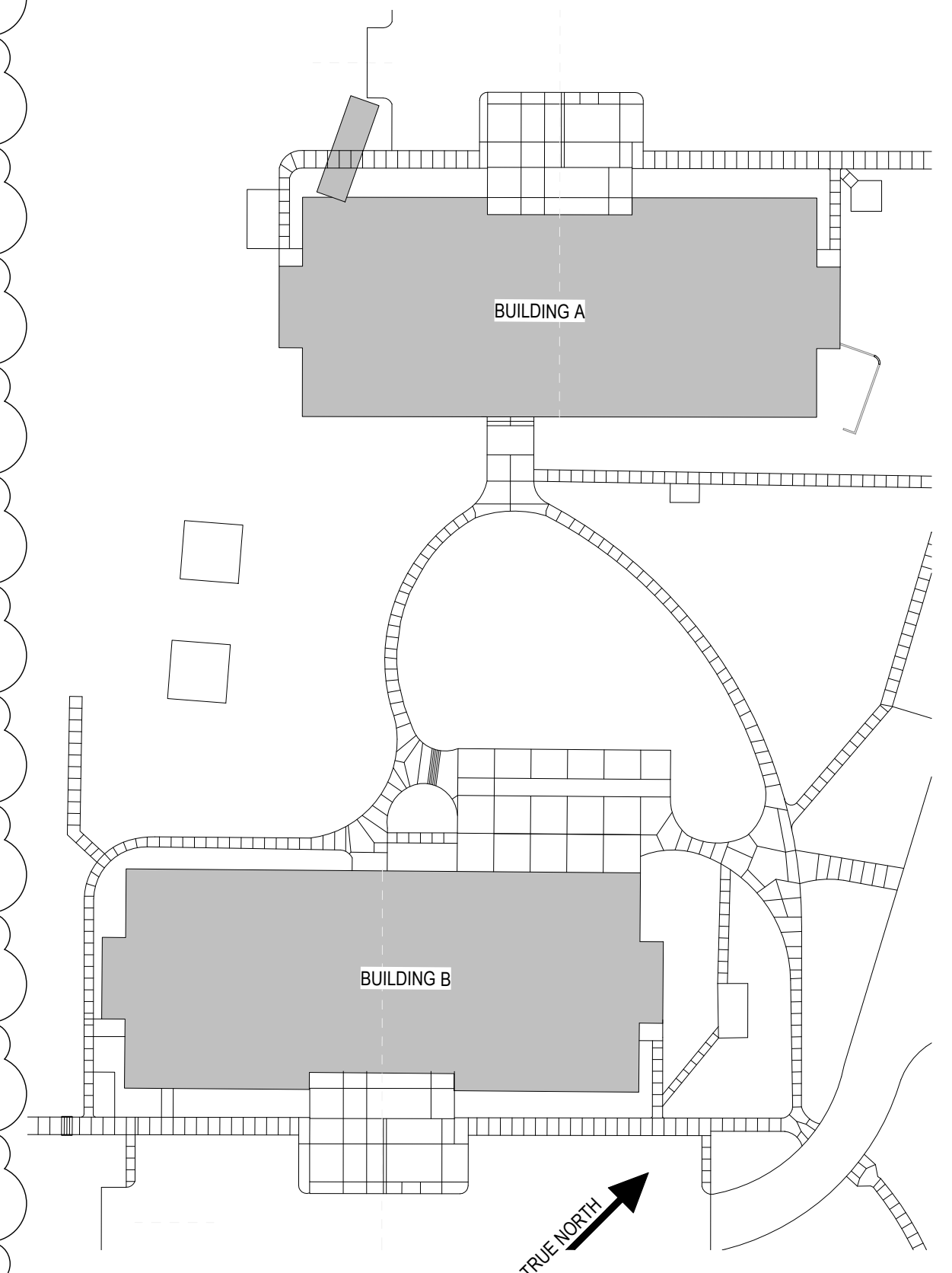
**4 4th Floor Building A**  
1/8" = 1'-0"

**2 General Notes**  
NTS



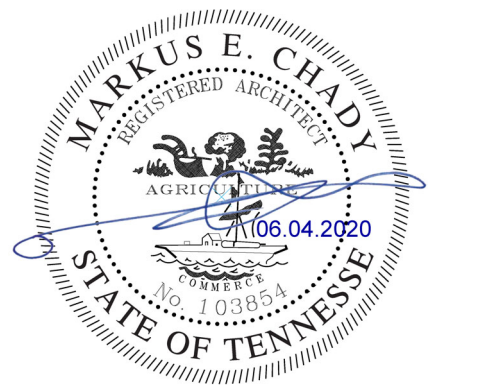
**3 4th Floor Building B**  
1/8" = 1'-0"

**1 Key Plan**  
1" = 50'-0"



KCDC - Cagle Terrace

515 Renford Rd  
Knoxville, TN 37919



Project Phase: Construction Documents

Issue Date: 04.08.2020

No.	Description	Date
3	Addendum 2	06.04.2020

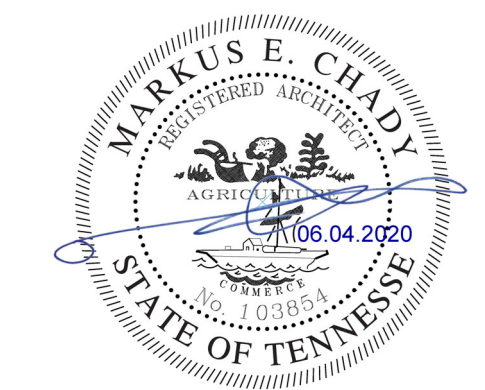
Job Number: 19136.00

4th Floor Plans

**A1.4**

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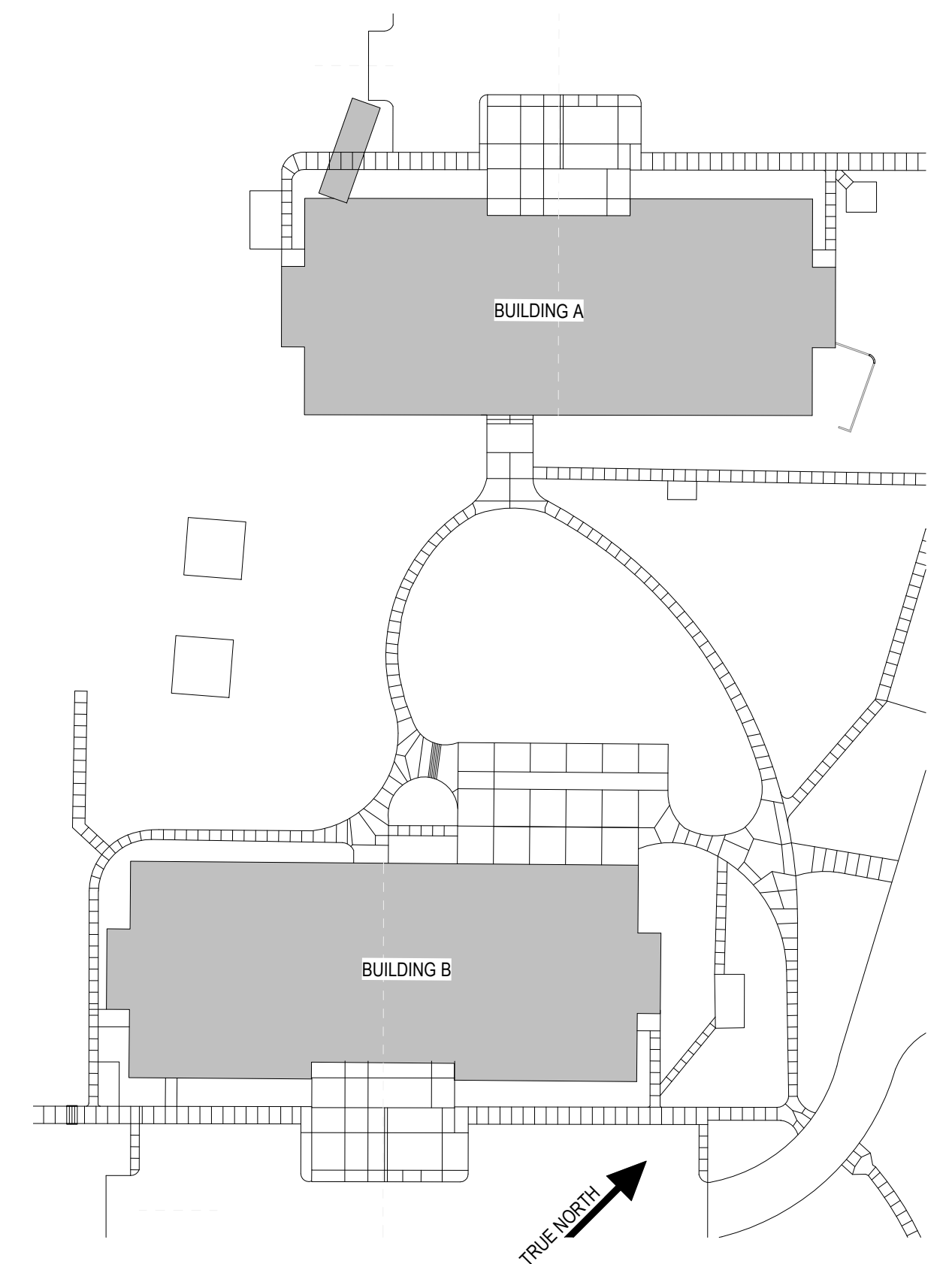
Project Phase: Construction Documents

Issue Date: 04.08.2020

No.	Description	Date
3	Addendum 2	06.04.2020

Job Number: 19136.00  
5th Floor Plans

- 1 INSTALL NEW CANOPY. SEE SPECS FOR CANOPY DETAILS.
- 2 ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE SIA6.1
- 3 ALL CEILING ACCESSORIES TO REMAIN IN EXISTING LOCATION. VERIFY HEIGHT TO MATCH EXISTING, TYP.

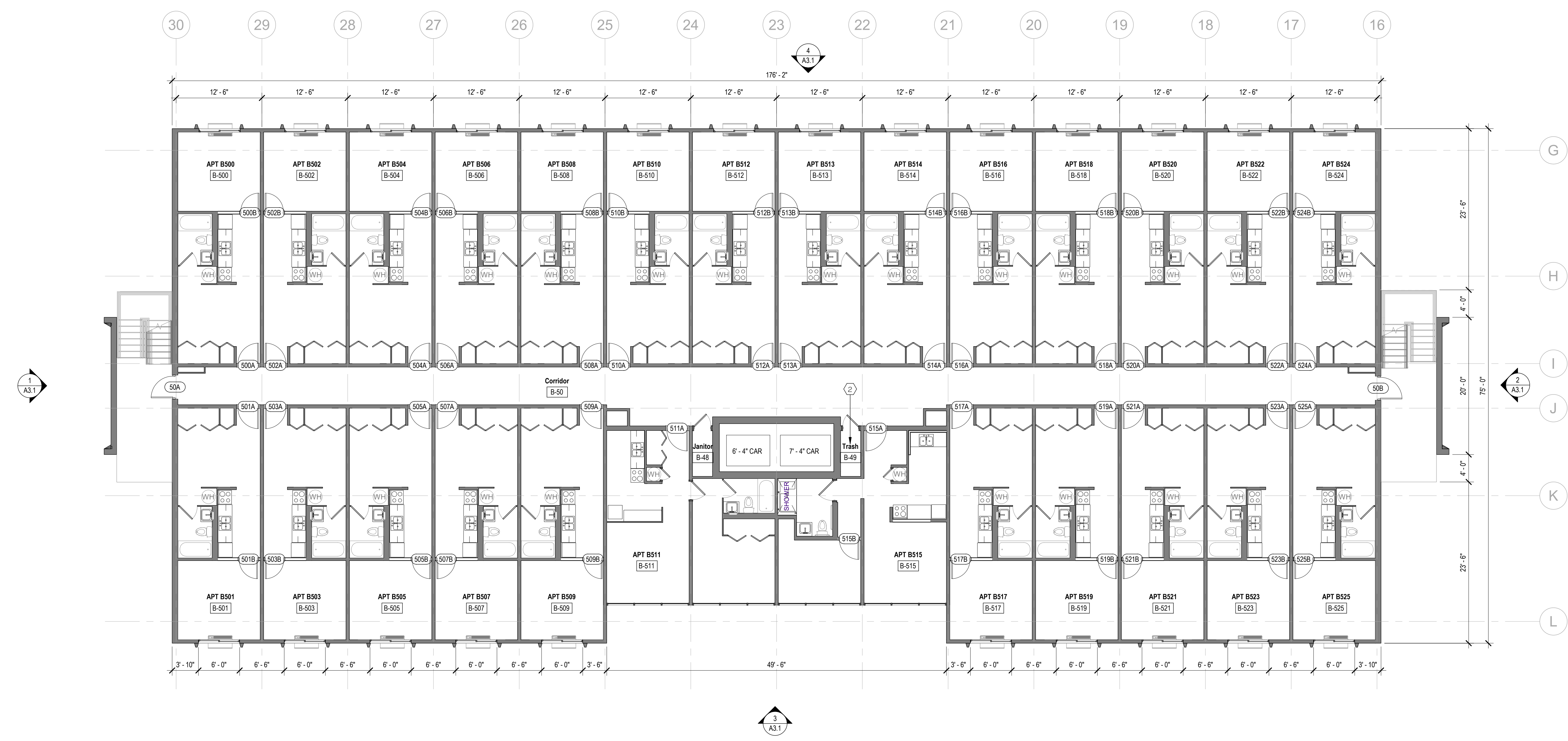
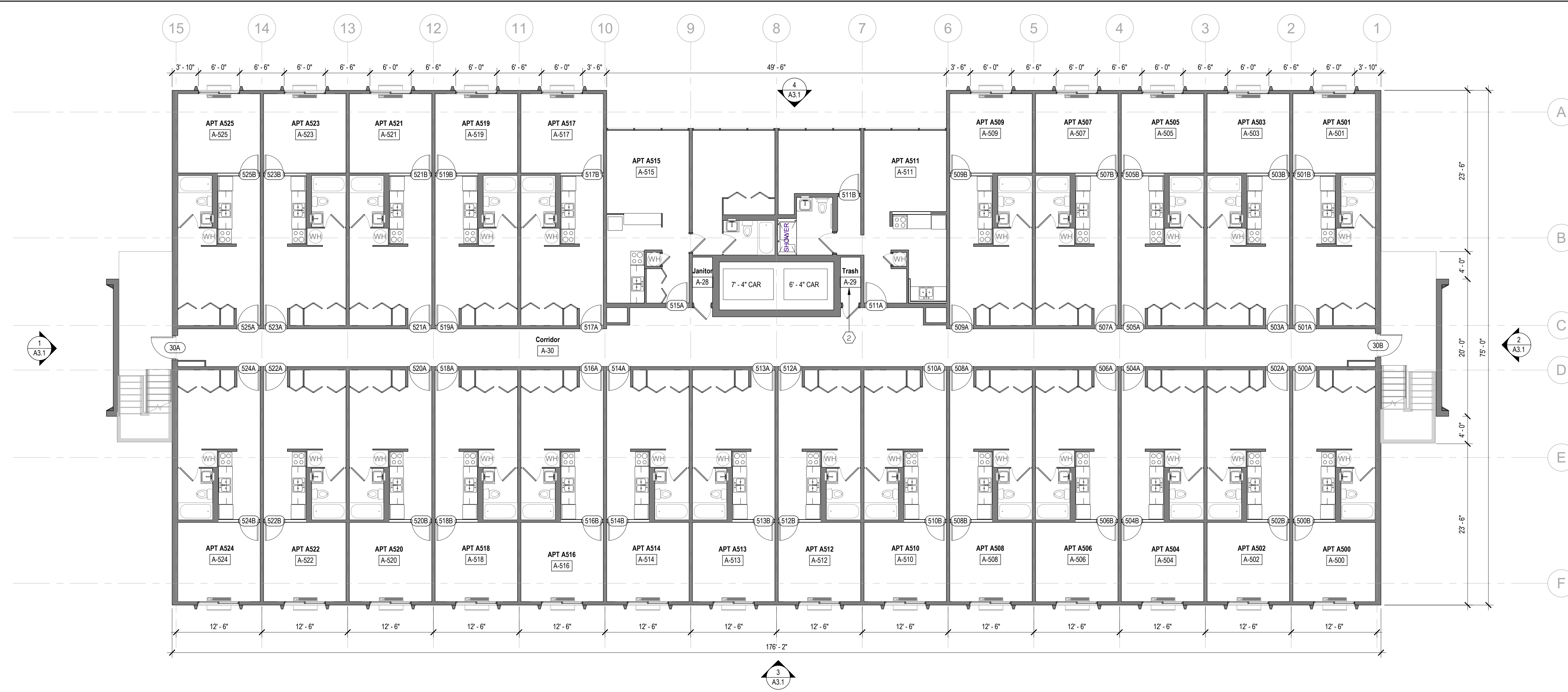


1 Key Plan  
1" = 30'-0"

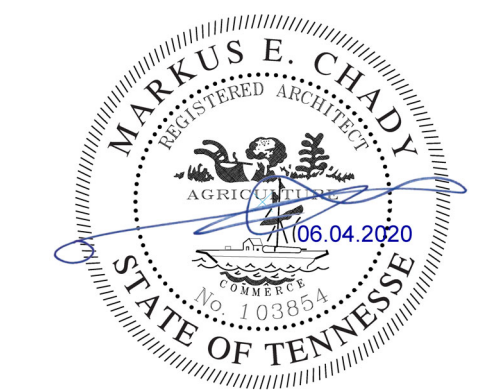
2 General Notes  
N/A

4 5th Floor Building A  
1/8" = 1'-0"

3 5th Floor Building B  
1/8" = 1'-0"



Date: 6/4/2020 11:45:37 AM  
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 Checked By: Checker  
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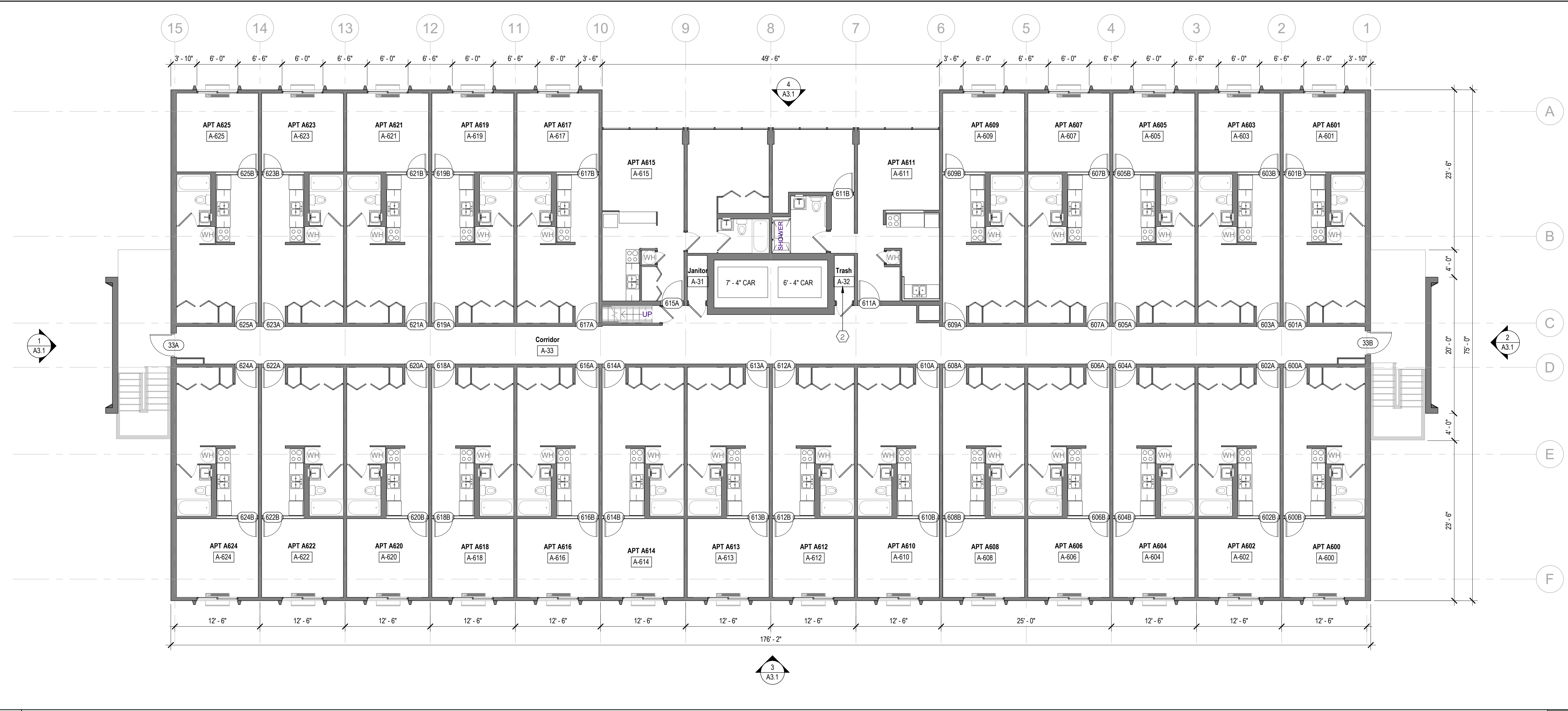
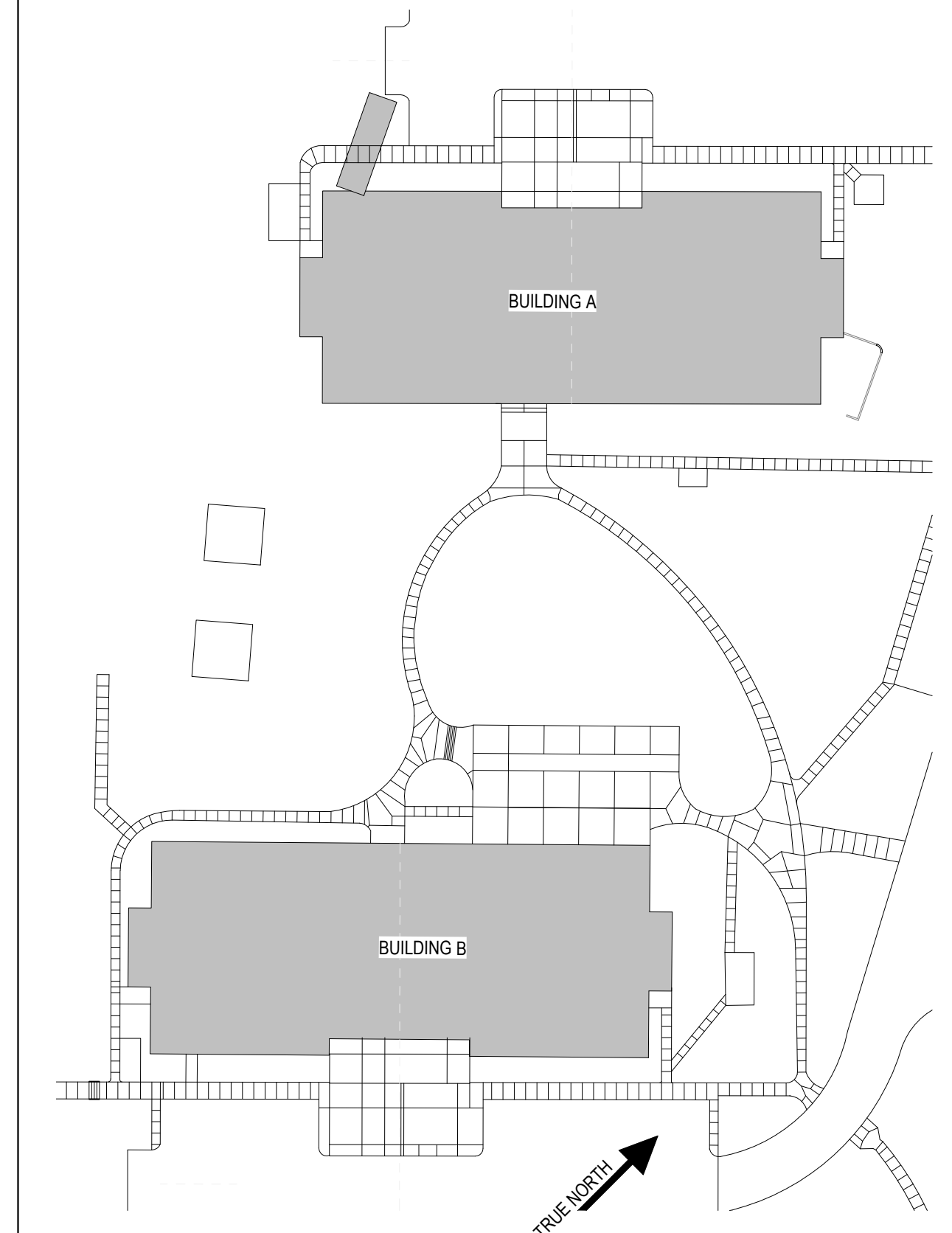


Project Phase: Construction Documents

Revisions		
No.	Description	Date
3	Addendum 2	06.04.2020

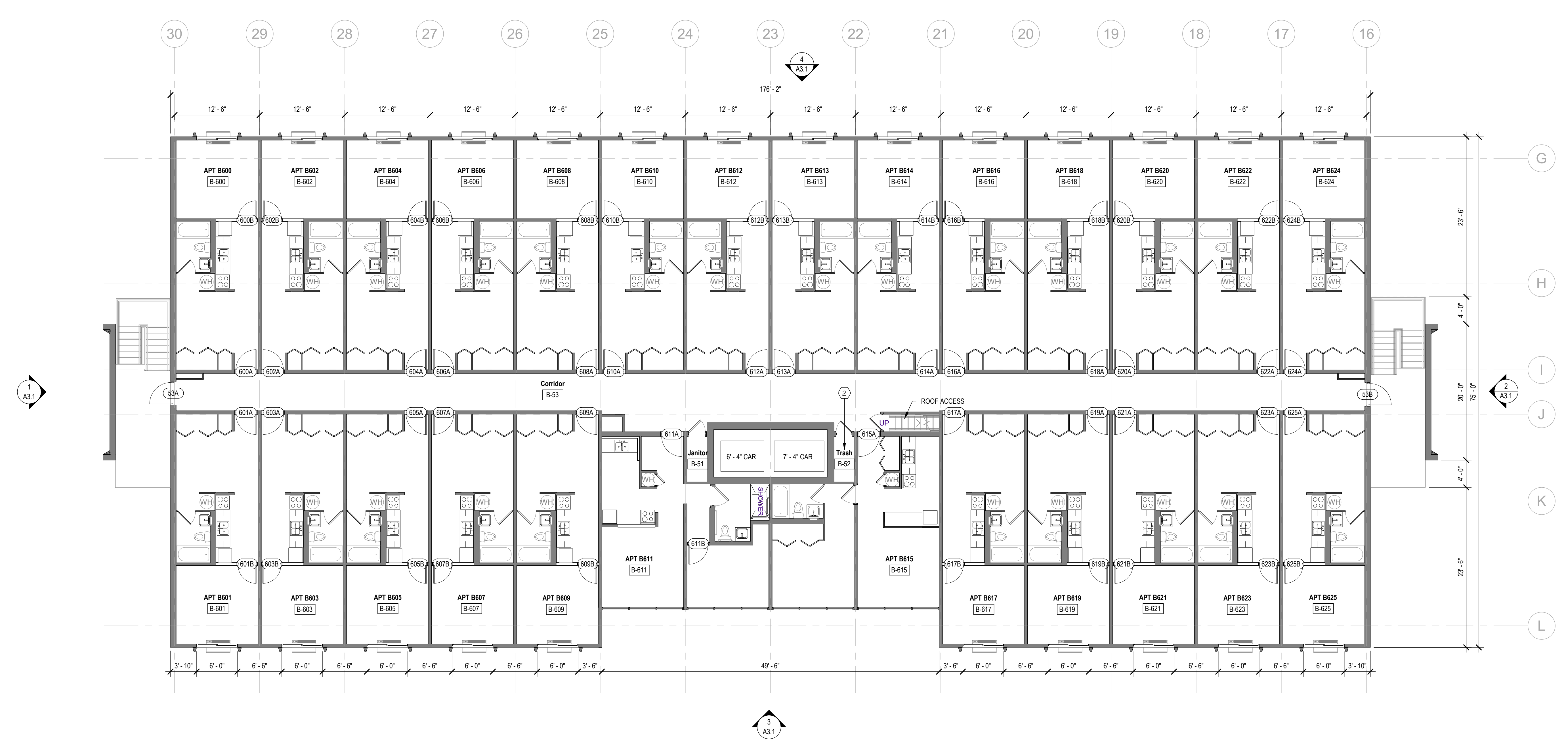
Job Number: 19136.00  
6th Floor Plans

- General Notes
- INSTALL NEW CANOPY. SEE SPECS FOR CANOPY DETAILS.
  - ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE 516.1
  - ALL CEILING ACCESSORIES TO REMAIN IN EXISTING LOCATION. VERIFY HEIGHT TO MATCH EXISTING, TYP.



**4 6th Floor Building A**  
1/8" = 1'-0"

**2 General Notes**  
NTS

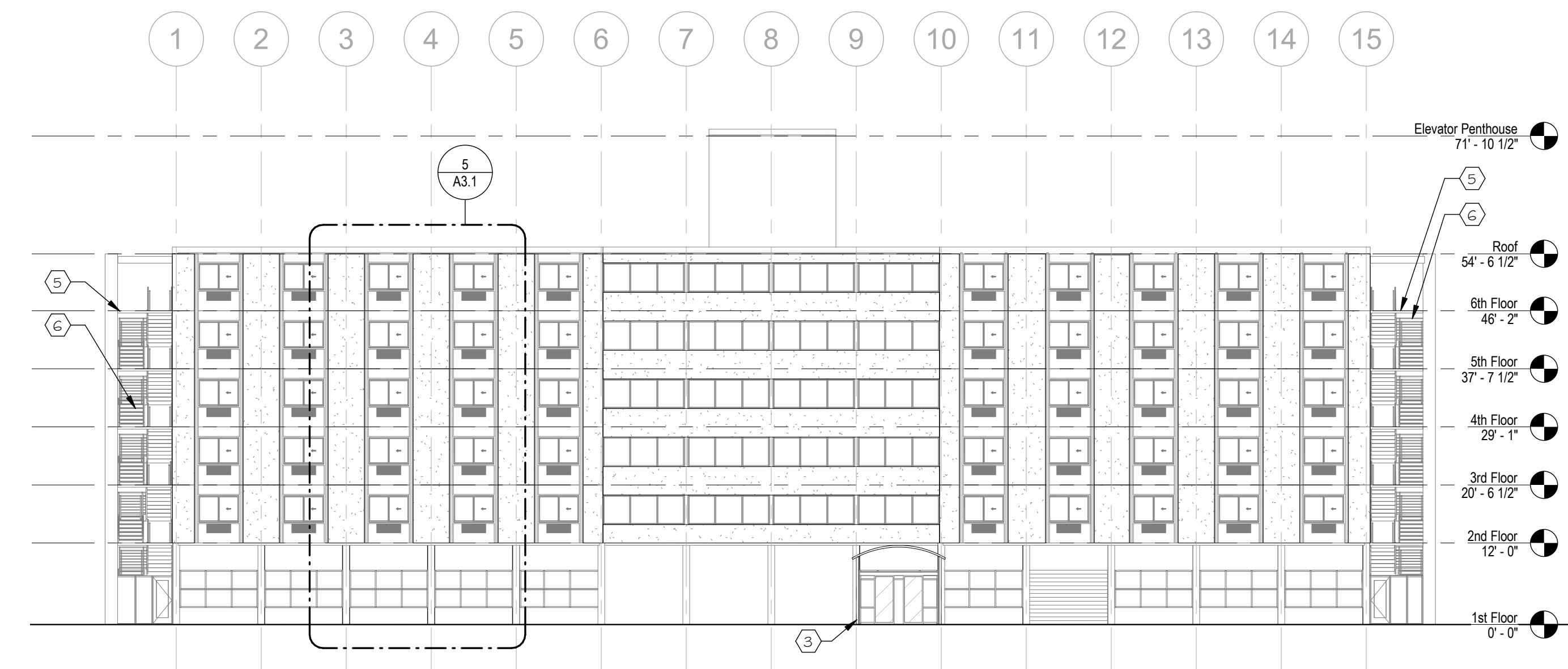


**3 6th Floor Building B**  
1/8" = 1'-0"

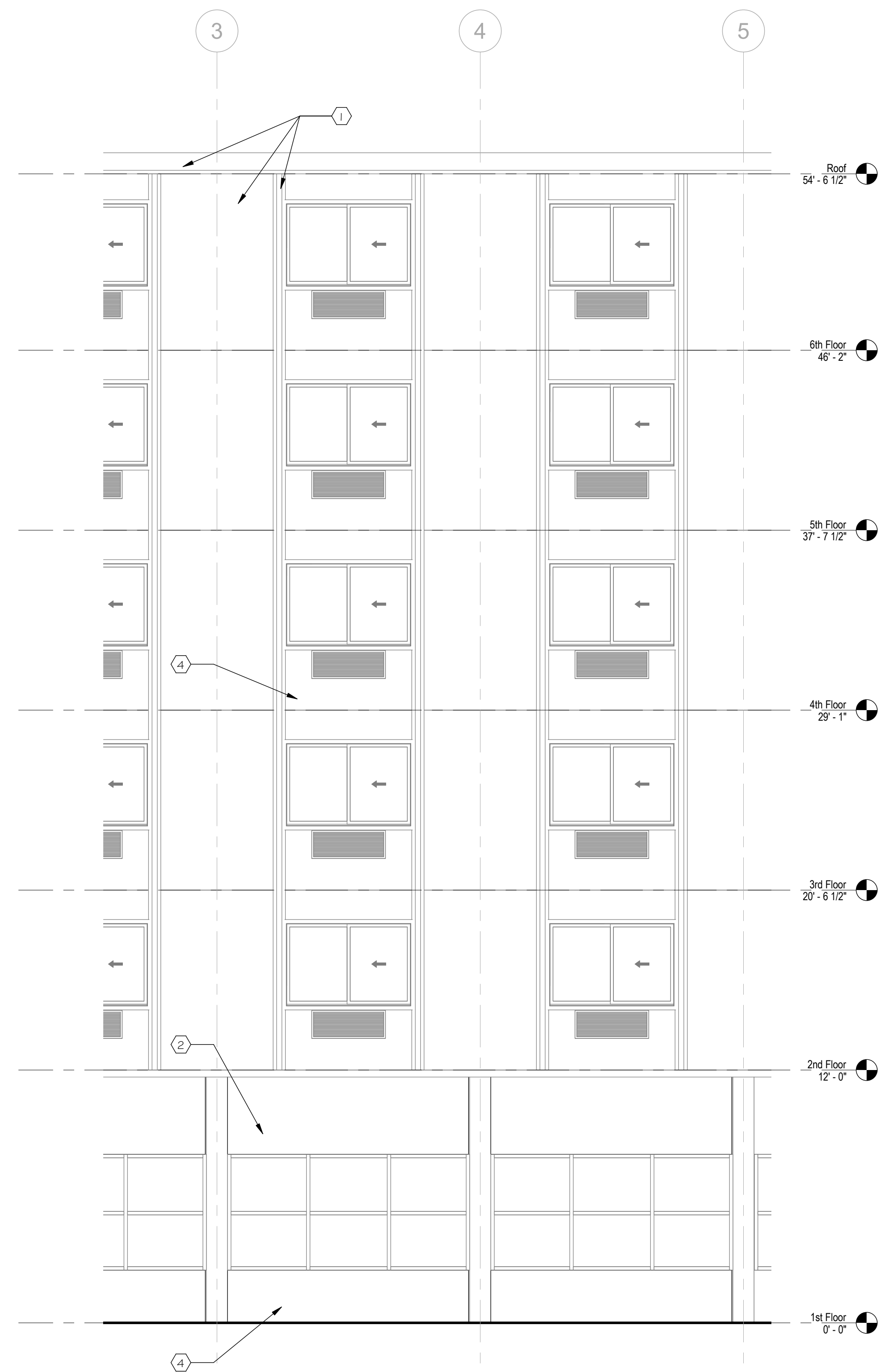
**1 Key Plan**  
1" = 50'-0"

Date: 04/20/20 11:45:52 AM  
 Drawn By: Author  
 File: C:\Revit Local Files\19136.00\_KCDC\_Cagle Terrace\_Central.ground.rvt  
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- ① POWER WASH ALL EXISTING CONCRETE PANELING ON EXTERIOR ELEVATION. TYPICAL OF ALL CONCRETE PANELS AND COPING STRIPS.
- ② POWERWASH AND PREPARE CONCRETE SURFACE TO BE PRIMED AND PAINTED ON FIRST LEVEL. COLOR SELECTED BY ARCHITECT. TYPICAL OF ALL CONCRETE SURFACE BELOW SECOND LEVEL.
- ③ REPLACE EXISTING FABRIC CANOPY, IN KIND, WITH NEW METAL CANOPY. SEE SPECS. CANOPIES INCLUDE (2) AT THE MAIN ENTRIES OF BUILDING 'A' AND BUILDING 'B', APPROXIMATELY 33 ft LONG x 11 ft WIDE, V.I.F., AND (2) AT THE REAR ENTRIES OF BUILDING 'A' AND BUILDING 'B', APPROXIMATELY 10 ft LONG x 11 ft WIDE, V.I.F., FOR A TOTAL OF (4) NEW METAL CANOPIES.
- ④ POWERWASH AND PREPARE PORCELAIN SURFACE TO BE PRIMED AND PAINTED. COLOR TO BE SELECTED BY ARCHITECT. TYPICAL OF ALL PORCELAIN. PAINT ASSOCIATED DRIP EDGE TO MATCH.
- ⑤ POWERWASH AND PREPARE STAIR LANDING EDGES TO BE PRIMED AND PAINTED. COLOR SELECTED BY ARCHITECT. TYPICAL OF ALL STAIR LANDING EDGES.
- ⑥ REMOVE WOOD FROM RAILING AND REPAINT RAIL COMPLETE.

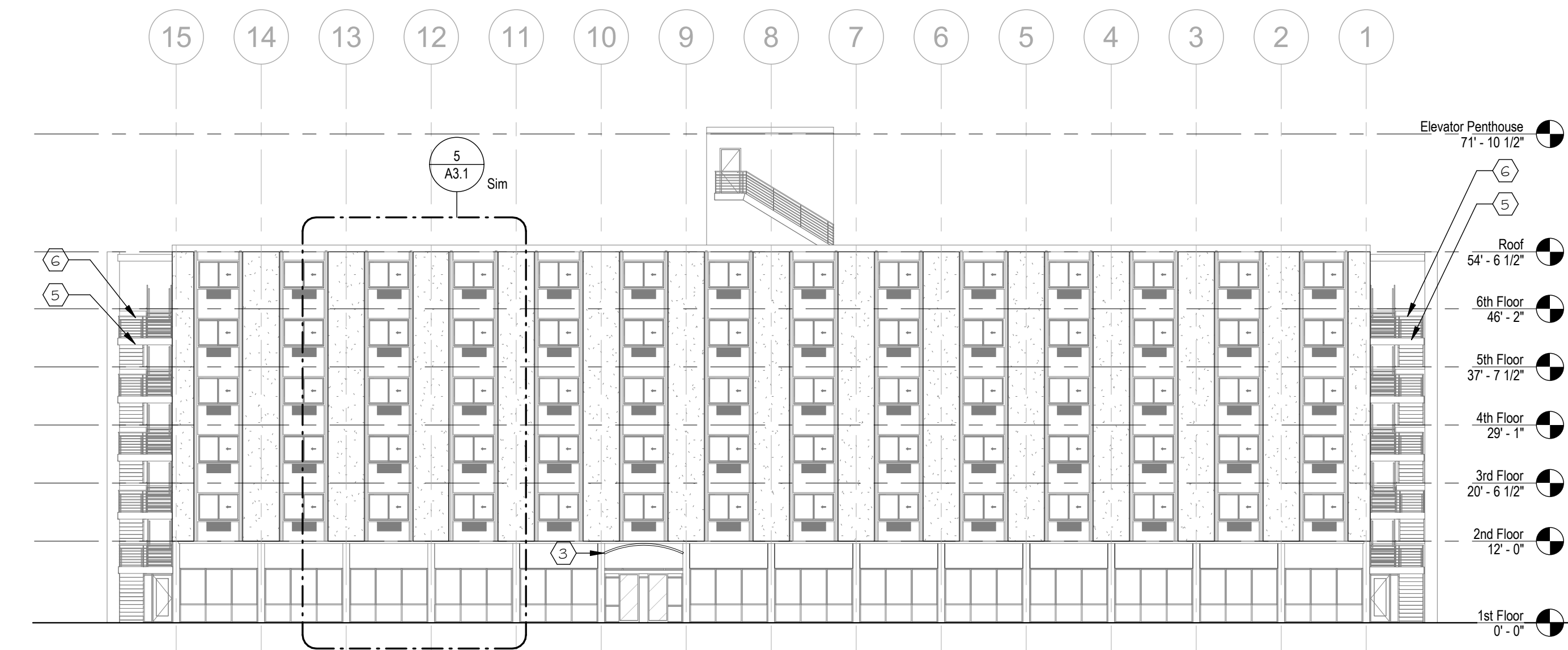


**6 Elevation Notes**  
NTS

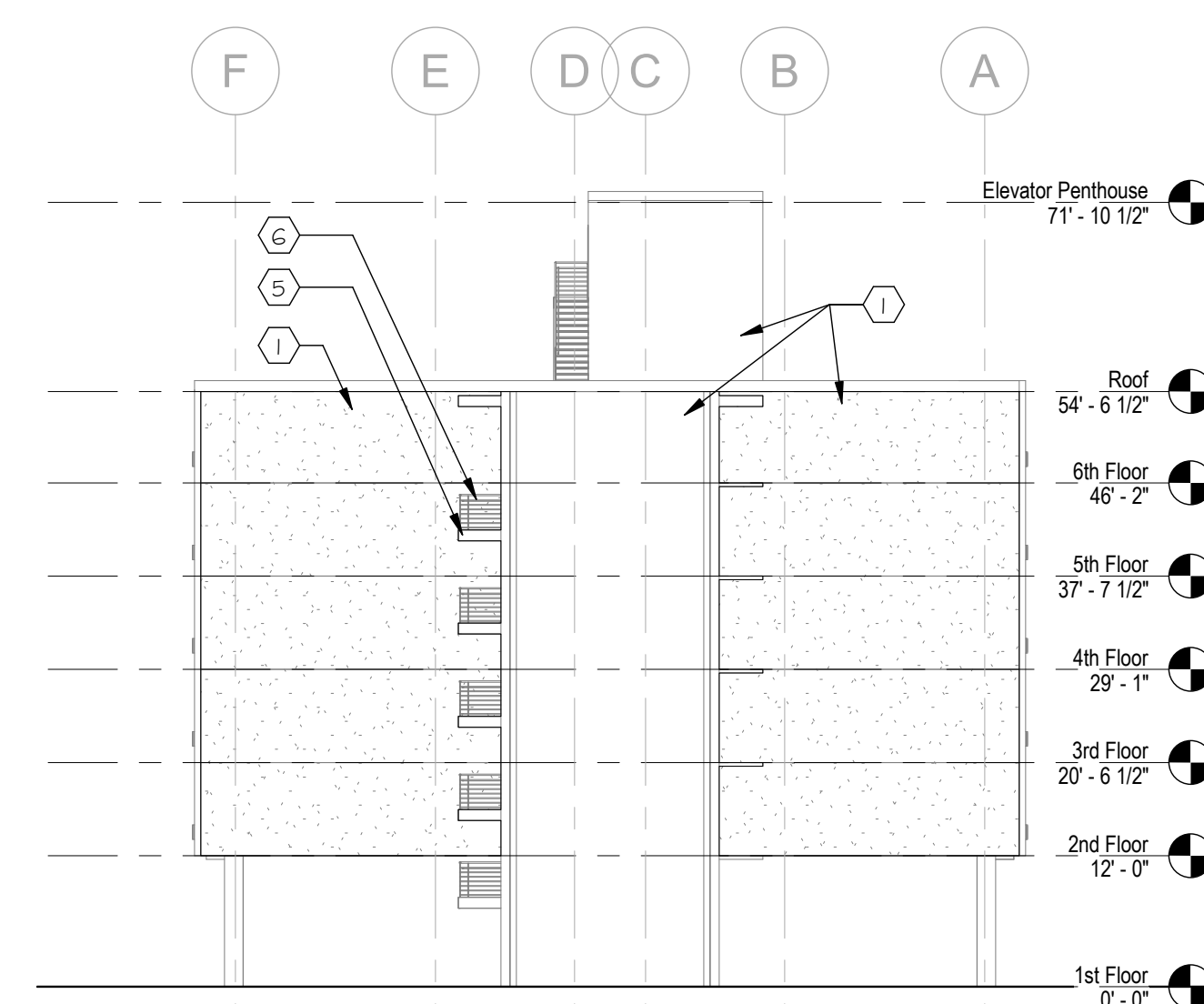


**5 Enlarged Typical Building Elevation**  
1/4" = 1'-0"

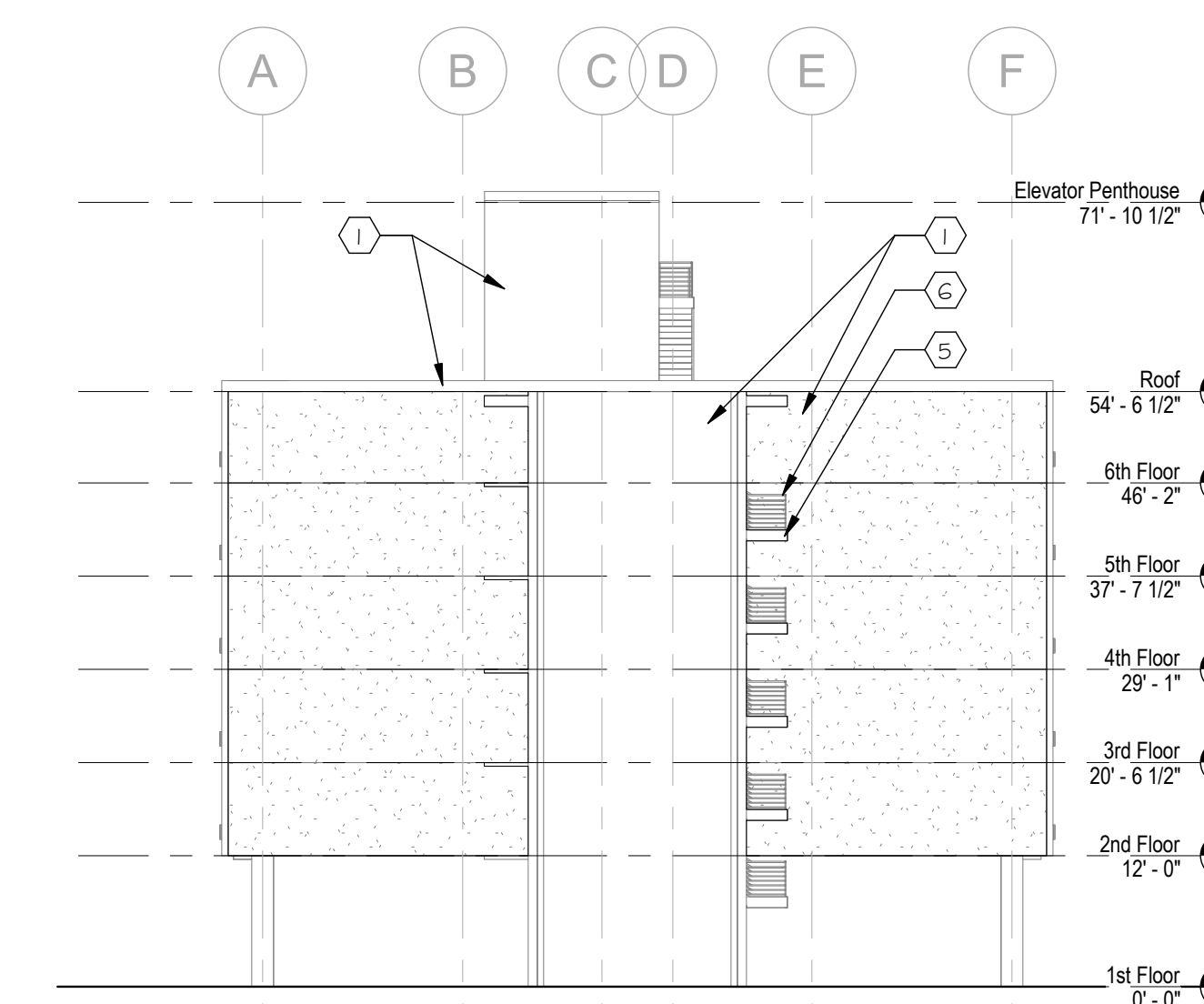
**4 Typical North Elevation**  
1/16" = 1'-0"



**3 Typical South Elevation**  
1/16" = 1'-0"



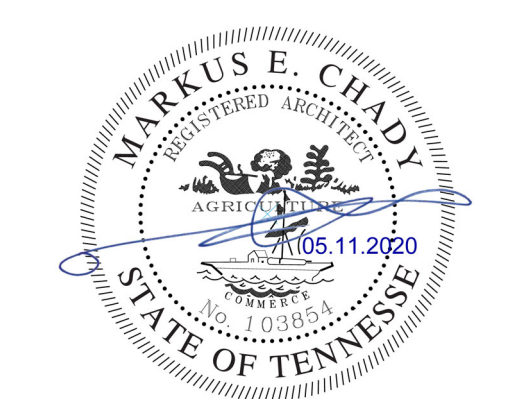
**2 Typical East Elevation**  
1/16" = 1'-0"



**1 Typical West Elevation**  
1/16" = 1'-0"

KCDC - Cagle Terrace

515 Renford Rd  
Knoxville, TN 37919



Project Phase: Construction Documents

Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00  
Typical Exterior Elevations

**A3.1**

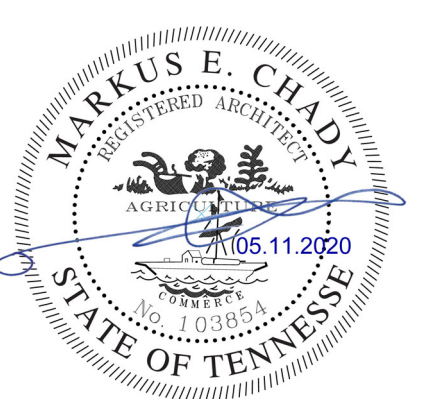












Project Phase: Construction Documents

Issue Date: 04.08.2020

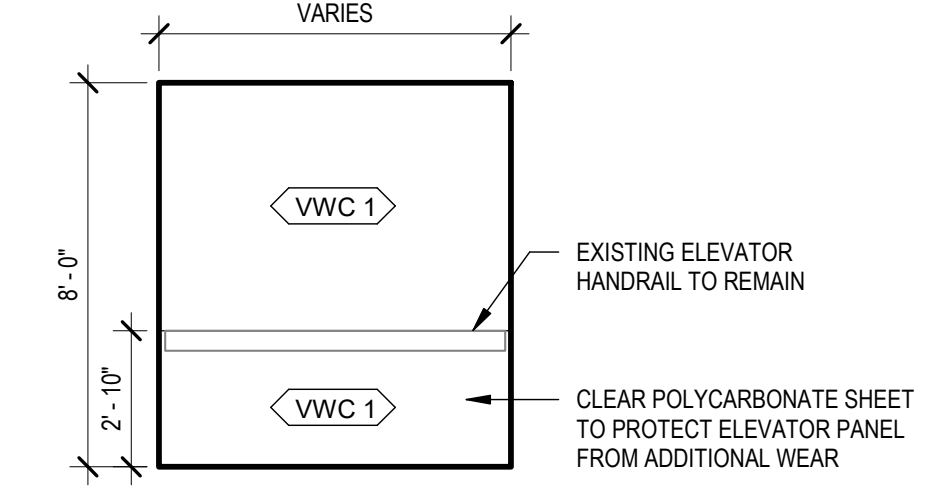
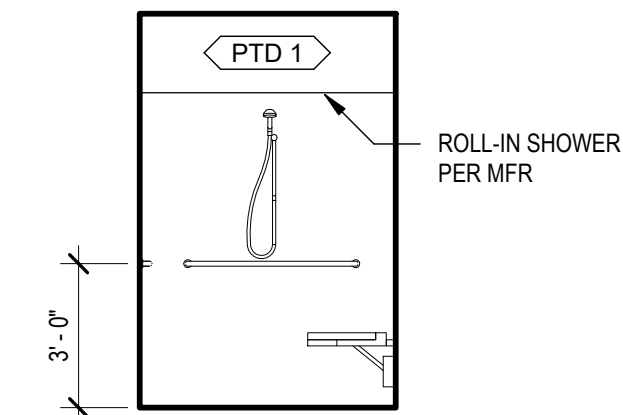
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00

Enlarged Restroom Plans  
& Elevations

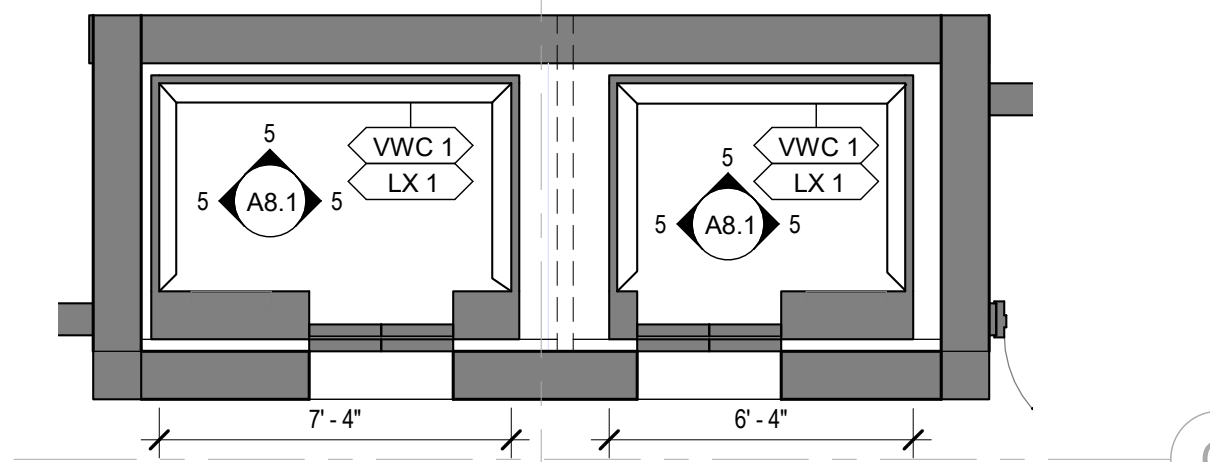
**A8.1**

\* - MIRRORED UNIT ELEVATIONS SIMILAR, REFER TO PLAN.



1 Typical Roll-In Shower Elevation  
1/4" = 1'-0"

5 Typical Elevator Elevation  
1/4" = 1'-0"



4 Enlarged Elevator Plan  
1/4" = 1'-0"

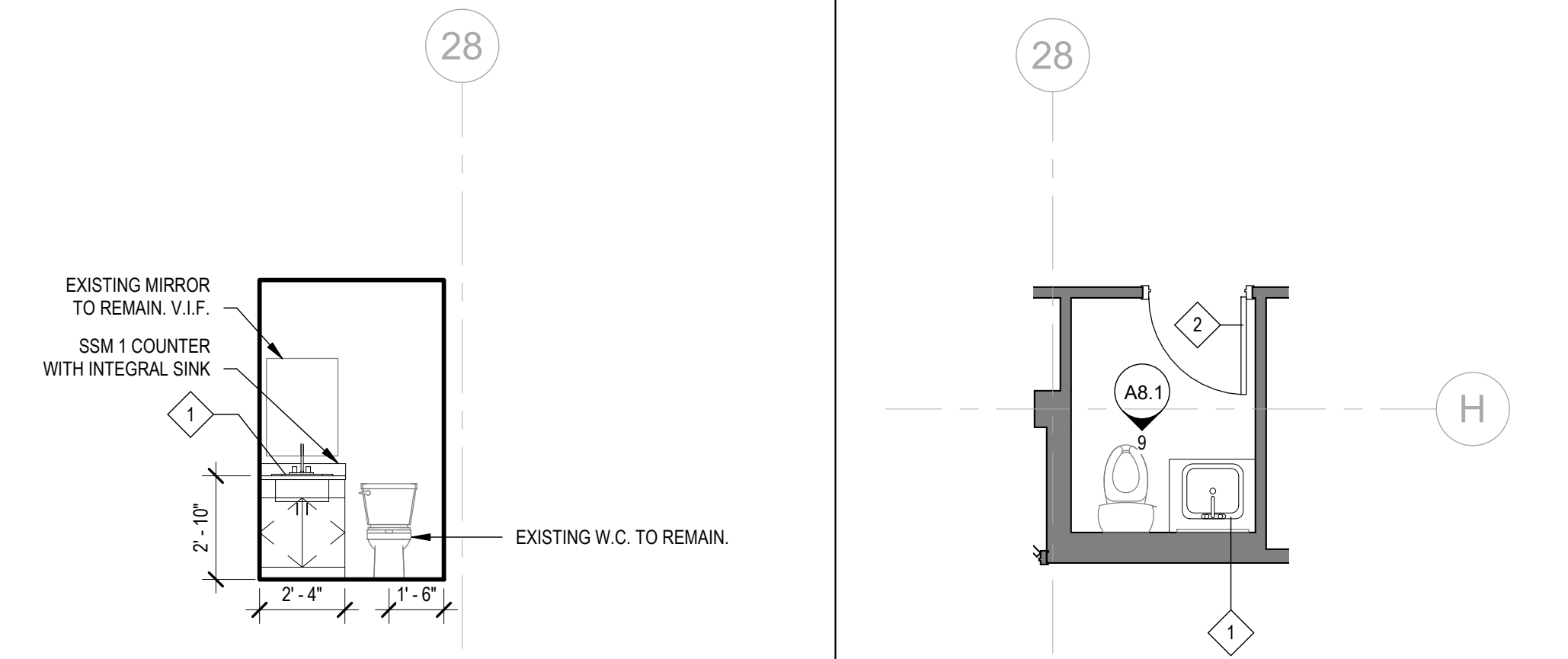
- 1 LAVATORY. SEE PLUMBING FIXTURE SCHEDULE. INSULATE ALL WATER PIPES AS REQ'D.
- 2 DOOR. SEE A6.1 & A6.2 FOR HARDWARE.
- 3 GRAB BAR. 1 1/2" DIA. REFER TO ELEVATIONS AND NOTES THIS SHEET FOR LENGTH. INSTALLATION MUST COMPLY WITH ALL STATE AND LOCAL CODES. SEE NOTE 6.
- 4 ROLL-TYPE TOILET PAPER DISPENSER. OUTLET AT 15" MIN. TOP AT 1 1/2" MIN TO GRAB BAR. SEE NOTE 6.
- 5 FEMININE HYGIENE PRODUCT DISPOSAL. MOUNT PER ACCESSIBILITY REQUIREMENTS.
- 6 TOILET PARTITION. SEE FINISH INDEX.
- 7 ROLL-IN SHOWER. SEE PLUMBING FIXTURE SCHEDULE.
1. GENERAL CONTRACTOR TO PROVIDE AND INSTALL HANDICAP EQUIPMENT AS NEEDED TO COMPLY WITH GOVERNING CODES.
2. GENERAL CONTRACTOR TO PROVIDE SOLID IN-WALL FIRE-TREATED BLOCKING FOR ALL WALL-MOUNTED ITEMS.
3. SEE PLUMBING SHEETS FOR FIXTURES AND SPECIFICATIONS.
4. GRAB BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 LB. POINT LOAD BEARING SHEAR AND TORSION.
5. ALL TRENCHES TO BE BACKFILLED AND COMPACTED TO MINIMUM 95% WITH WATERPROOF MEMBRANE BELOW CONCRETE. DOWELS SHALL BE #4 BARS, EPOXY INTO EXISTING CONCRETE SLAB.
6. ALL RESTROOM ACCESSORIES (TOILET PAPER, PAPER TOWEL, AND SOAP DISPENSERS OR OTHER SIMILAR ITEMS) SHALL MATCH IN FINISH, AND BE SIMILAR TO LAVATORY HARDWARE WHERE POSSIBLE, TYP.
7. PER ANSI 117.1 SECTION 603.2.3, EXCEPTION 2 DOOR SWING MAY OVERLAP FLOOR SPACE.
8. ALL WALLS TO RECEIVE MOISTURE RESISTANT GYP BD.

3 Restroom Keynotes  
NTS

2 Restroom General Notes  
NTS

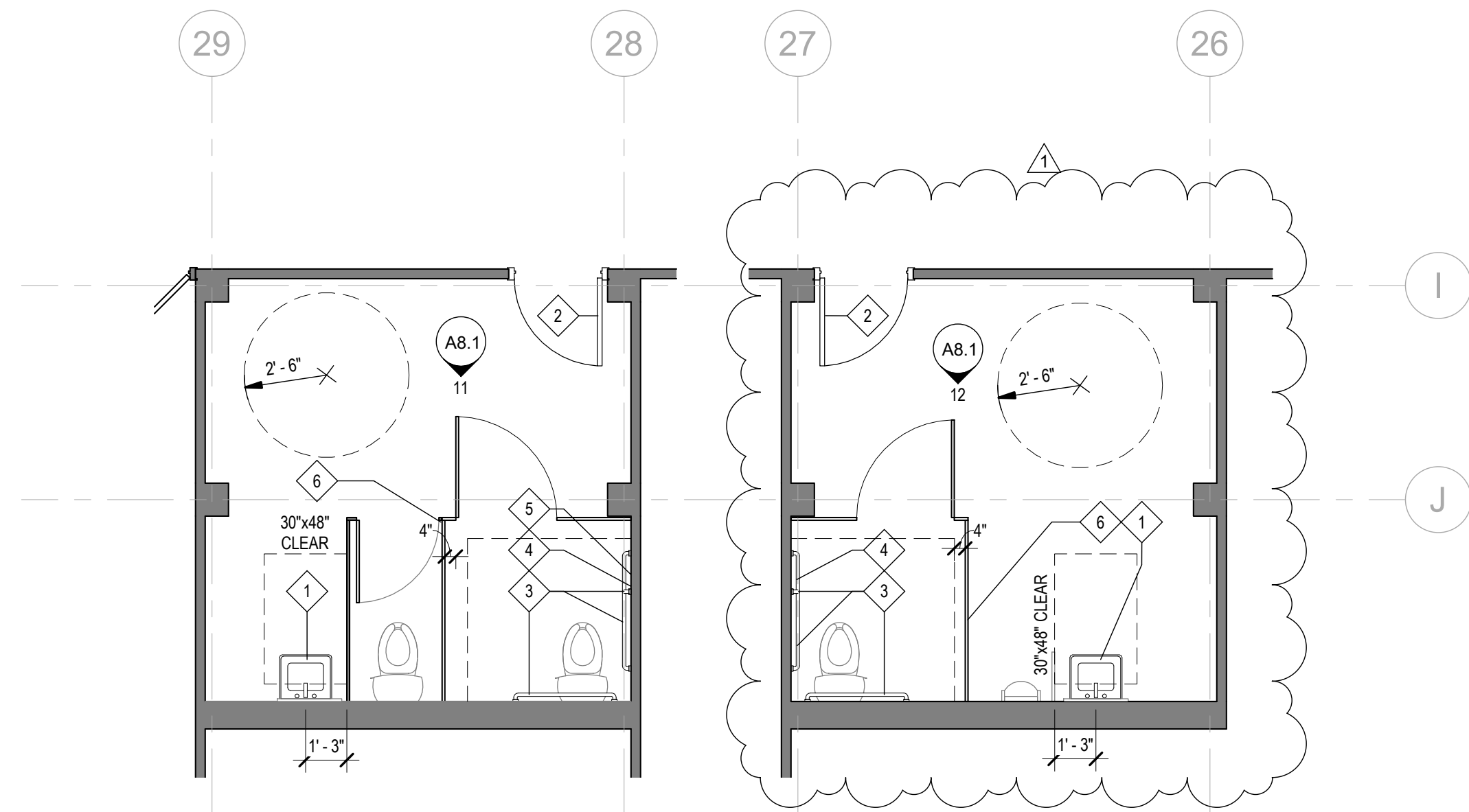
Description	Manufacturer	Model #	Notes
Multi-Roll Toilet Tissue Dispenser	Bobrick	B-4288	Mount Center @ 7'-9" in Front of Toilet Rim and 15-48" A.F.F.
1 1/2" Dia. Stainless Steel Grab Bar	Bobrick	B-6806x24"	Mount Center of Bar 34" A.F.F.
1 1/2" Dia. Stainless Steel Grab Bar	Bobrick	B-6806x36"	Mount Center of Bar 34" A.F.F.
1 1/2" Dia. Stainless Steel Grab Bar	Bobrick	B-6806x42"	Mount Center of Bar 34" A.F.F.

1 Restroom Accessory Schedule  
NTS

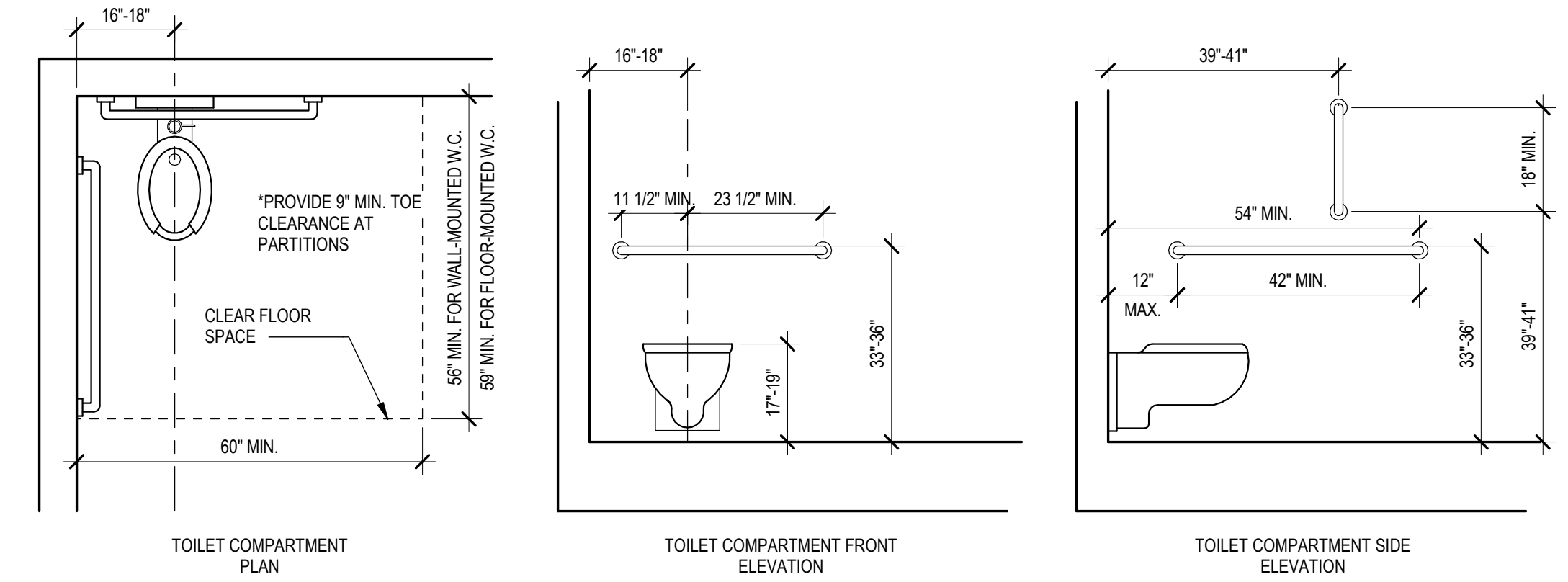


8 Enlarged First-Aid Restroom Plan  
1/4" = 1'-0"

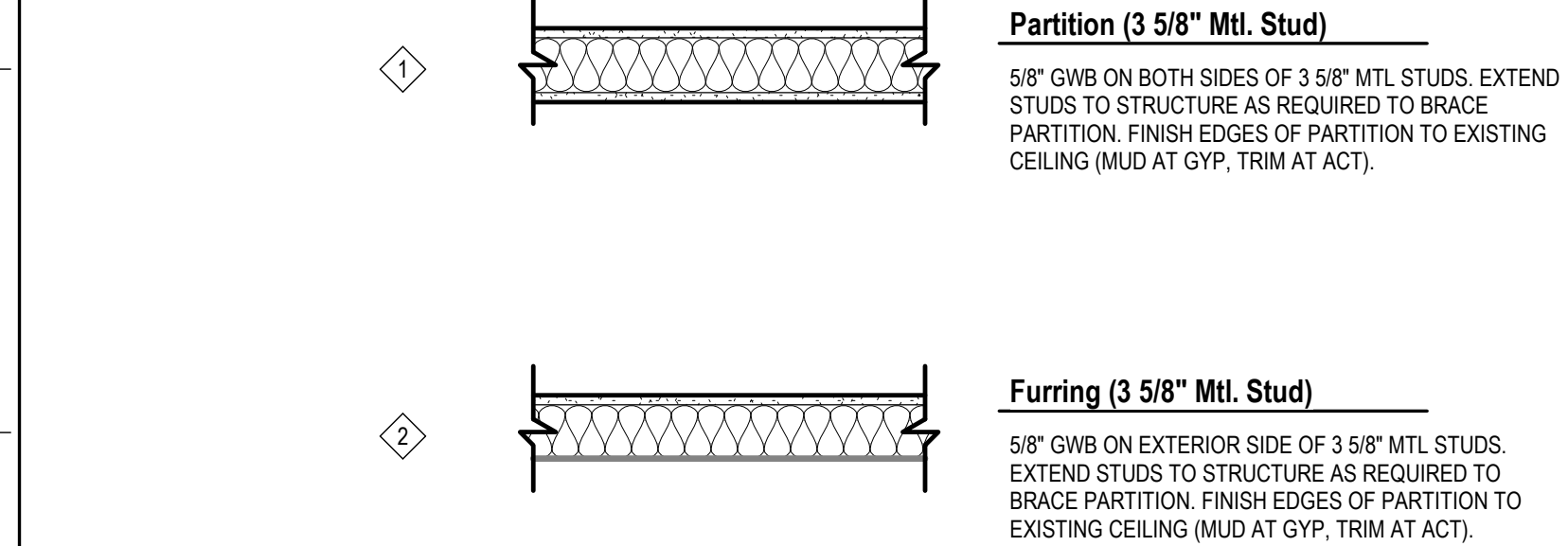
9 First-Aid Restroom Elevation  
1/4" = 1'-0"



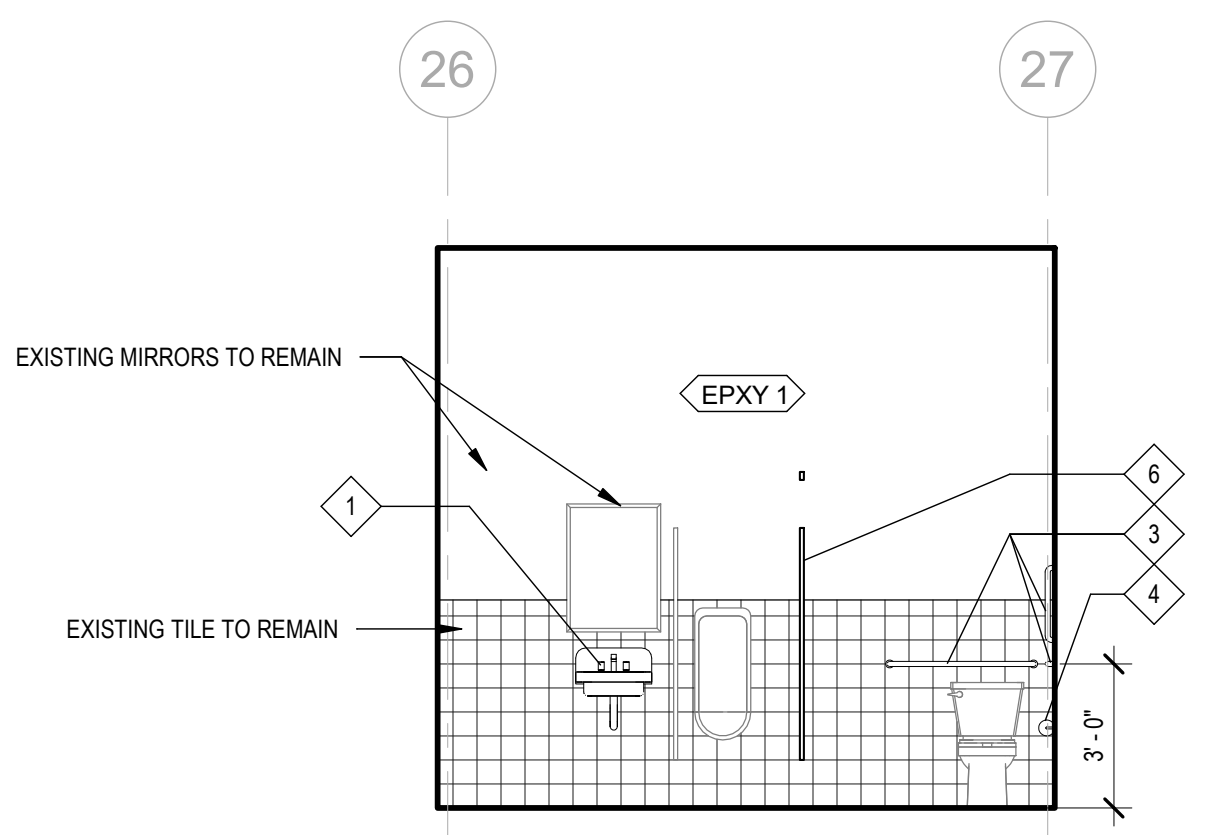
7 1st Floor Building B - Enlarged Restroom Plan  
1/4" = 1'-0"



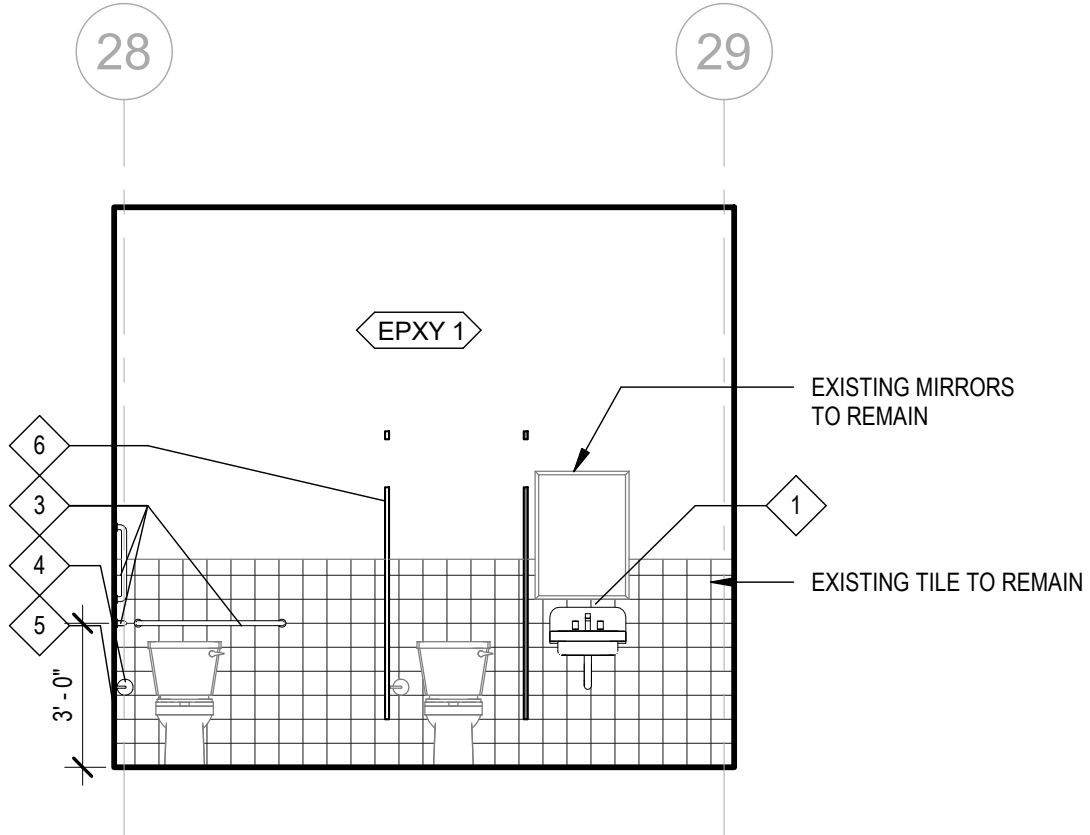
6 Access - Toilet Compartments  
1/2" = 1'-0"



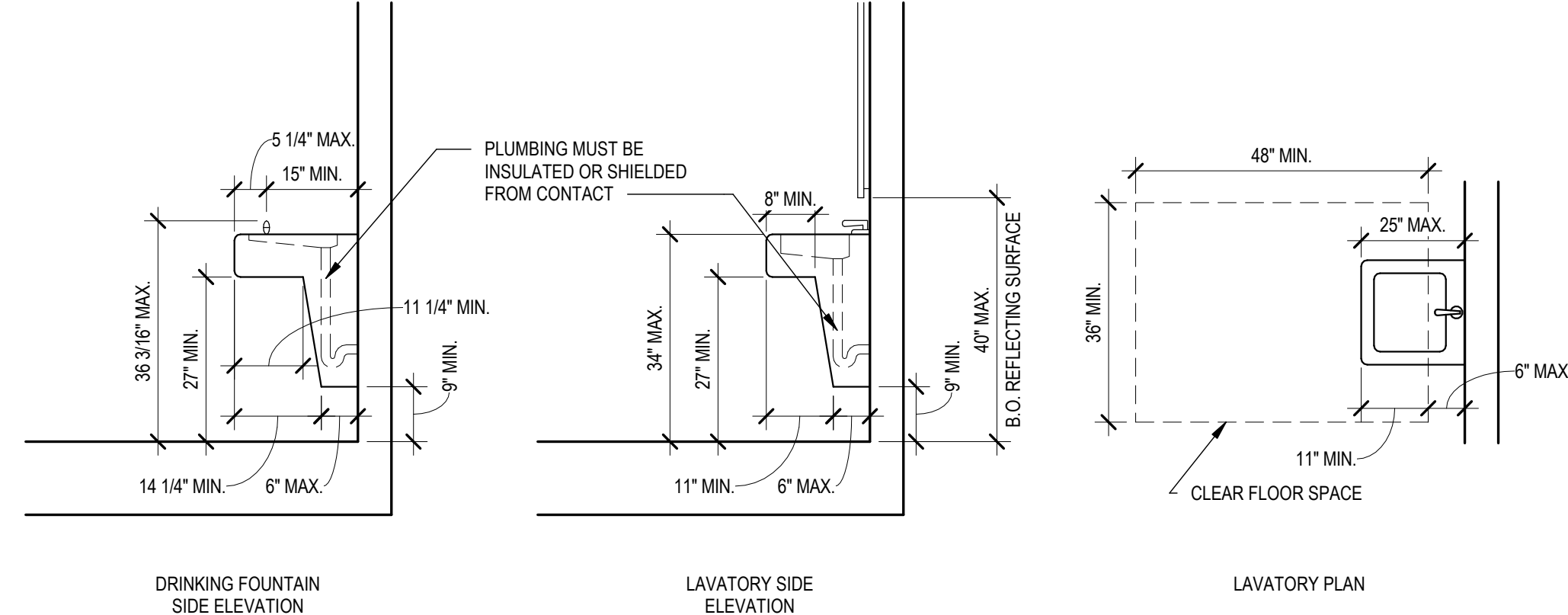
13 Wall Types  
1/4" = 1'-0"



12 1st Floor Building B - Men's Restroom Elevation  
1/4" = 1'-0"



11 1st Floor Building B - Women's Restroom Elevation  
1/4" = 1'-0"



10 Access - Lavatories and Fountains  
1/2" = 1'-0"

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 Checked By: M. Chady  
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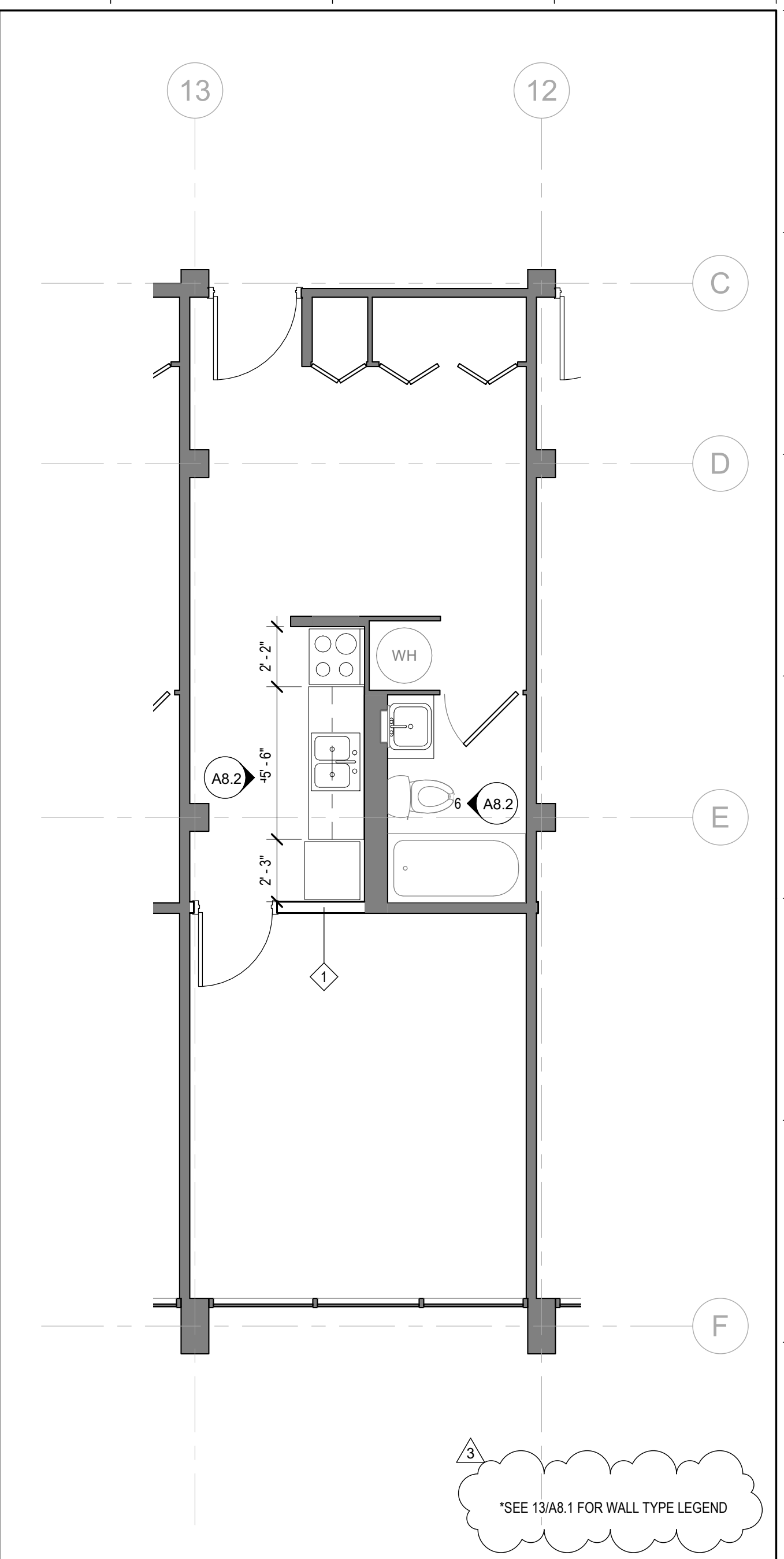
Project Phase: Construction Documents

Issue Date: 04.08.2020		
Revisions		
No.	Description	Date
3	Addendum 2	06.04.2020

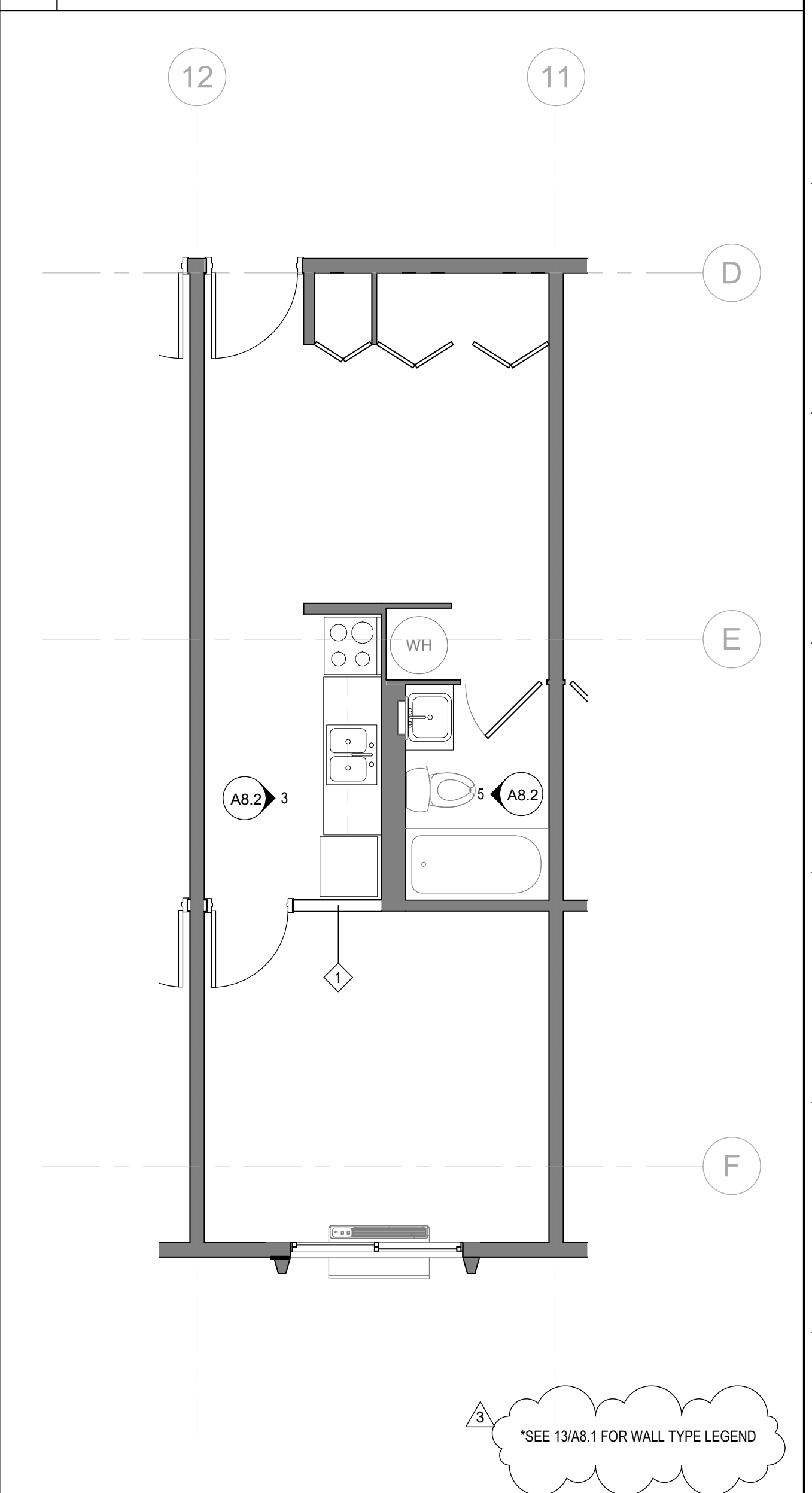
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Enlarged Unit Floor Plans  
& Interior Elevations

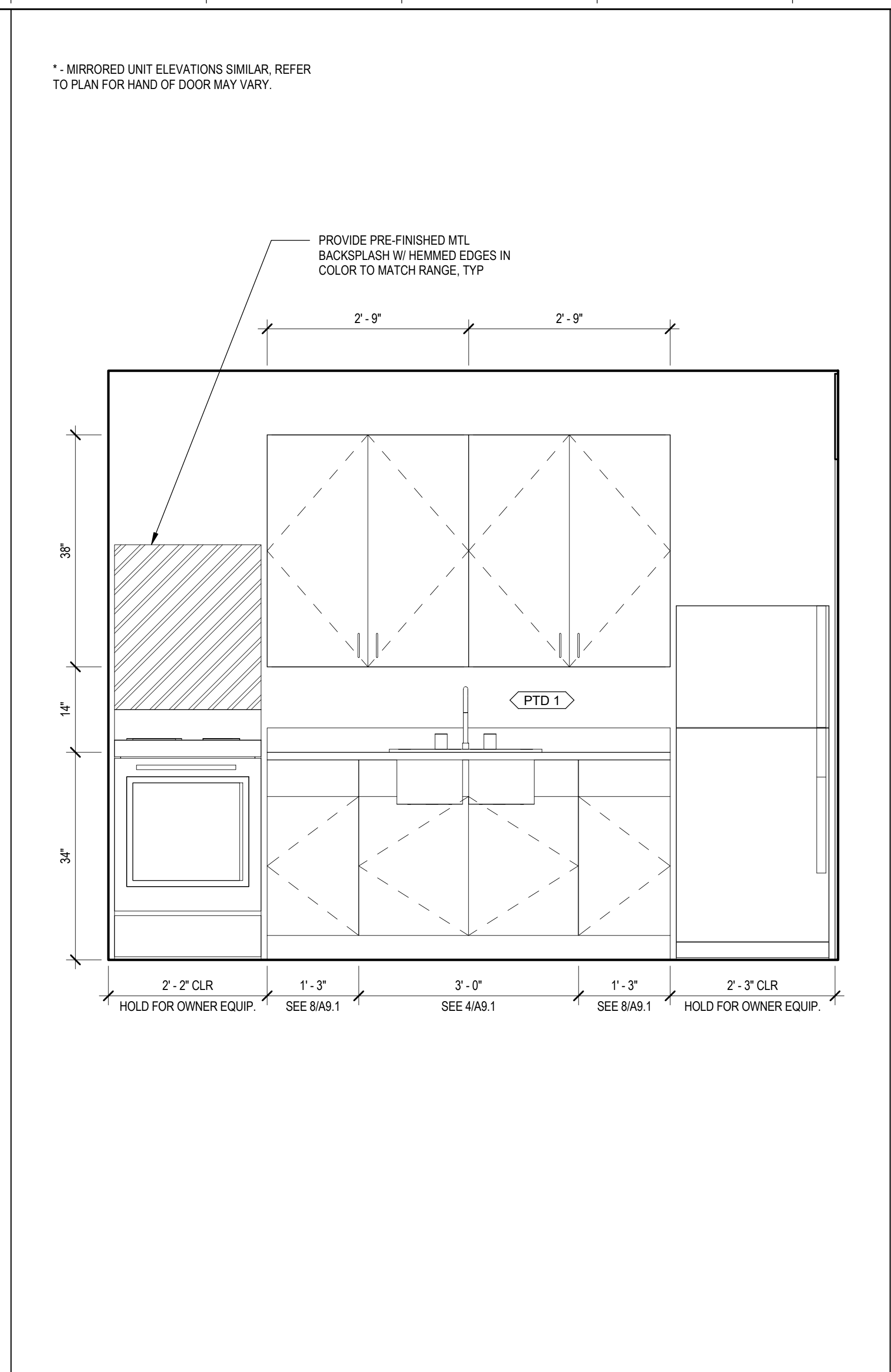
**A8.2**



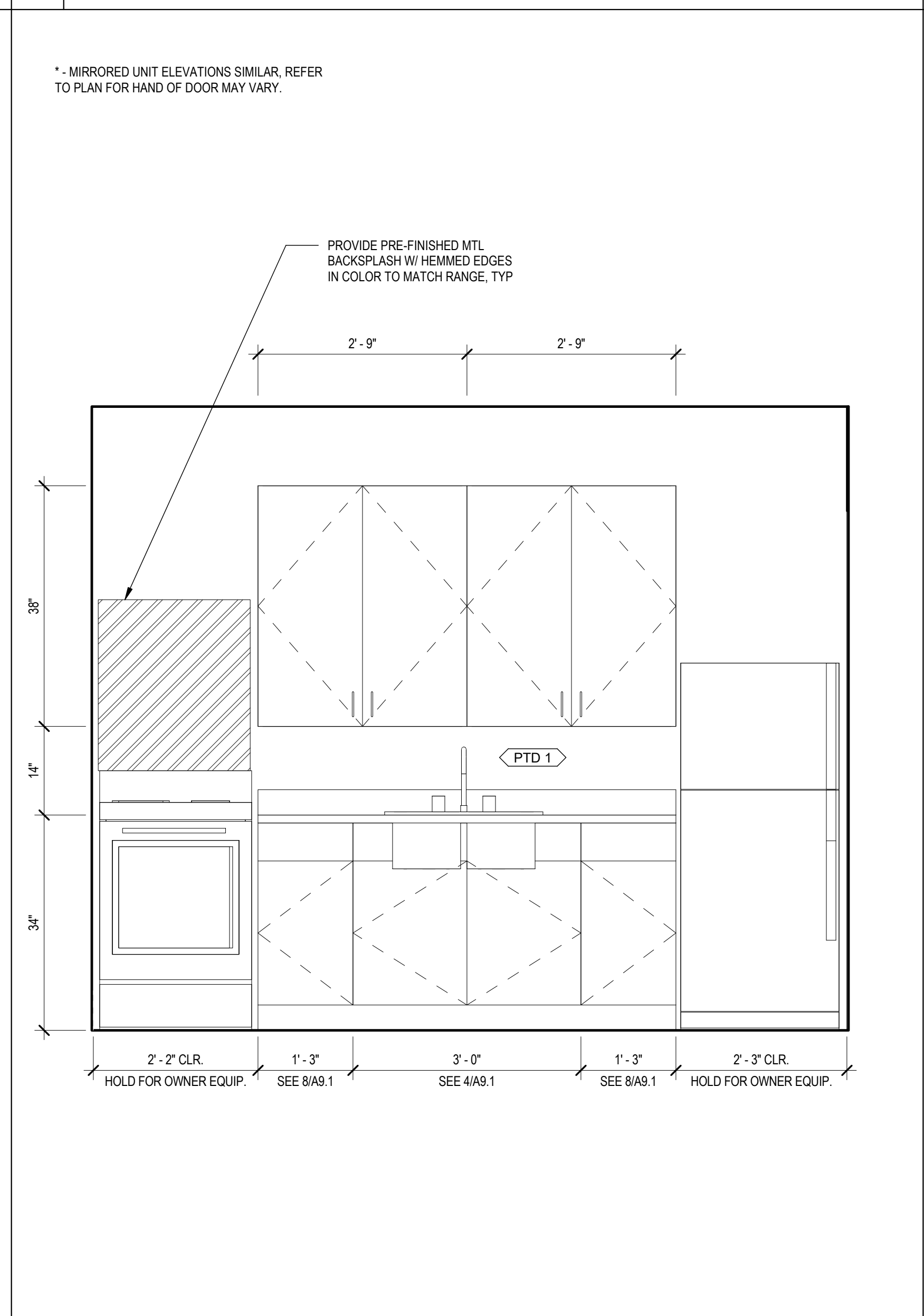
**2 Type 1 - Enlarged Plan**  
1/4" = 1'-0"



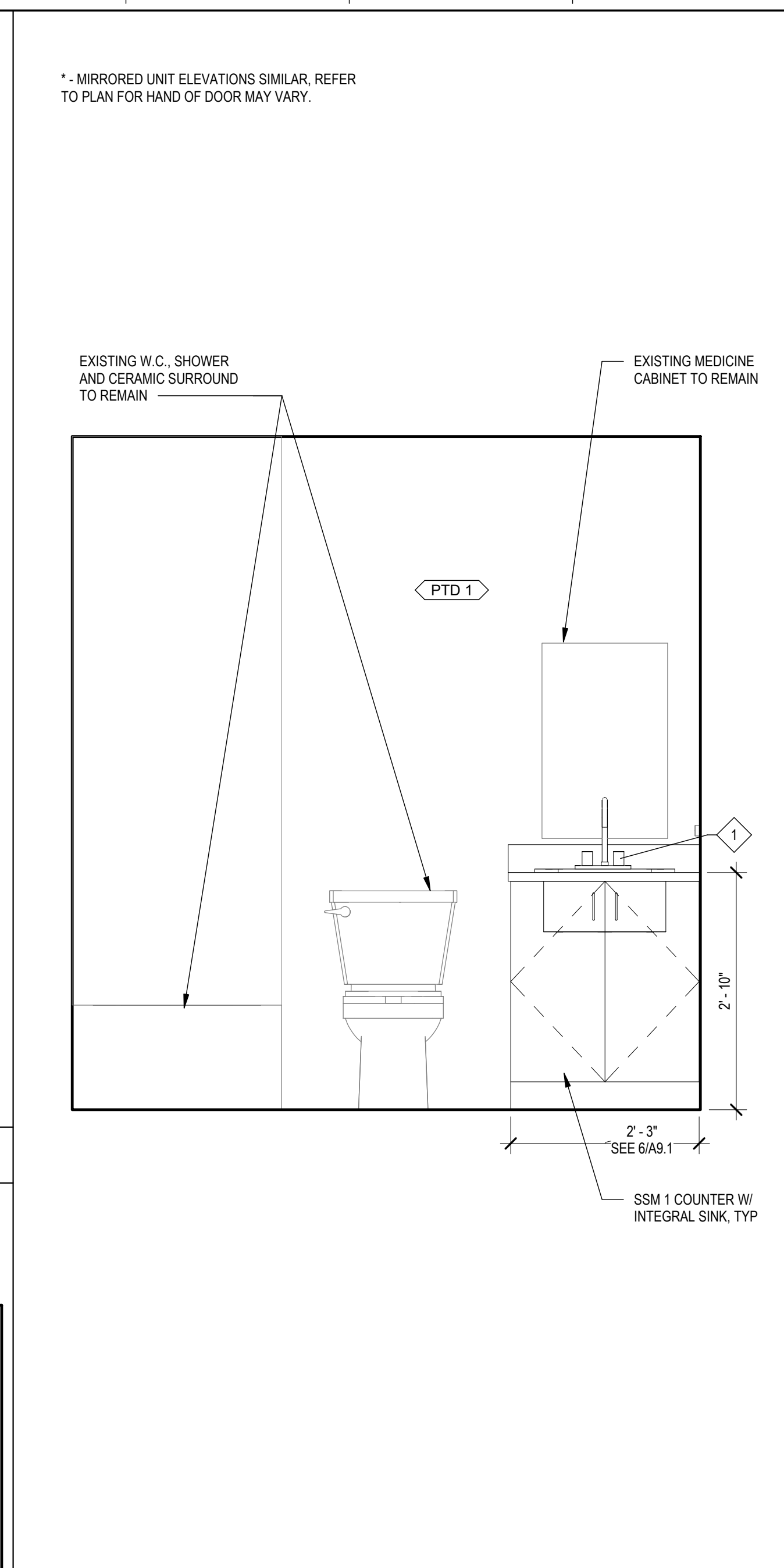
**1 Type 4 - Enlarged Plan**  
1/4" = 1'-0"



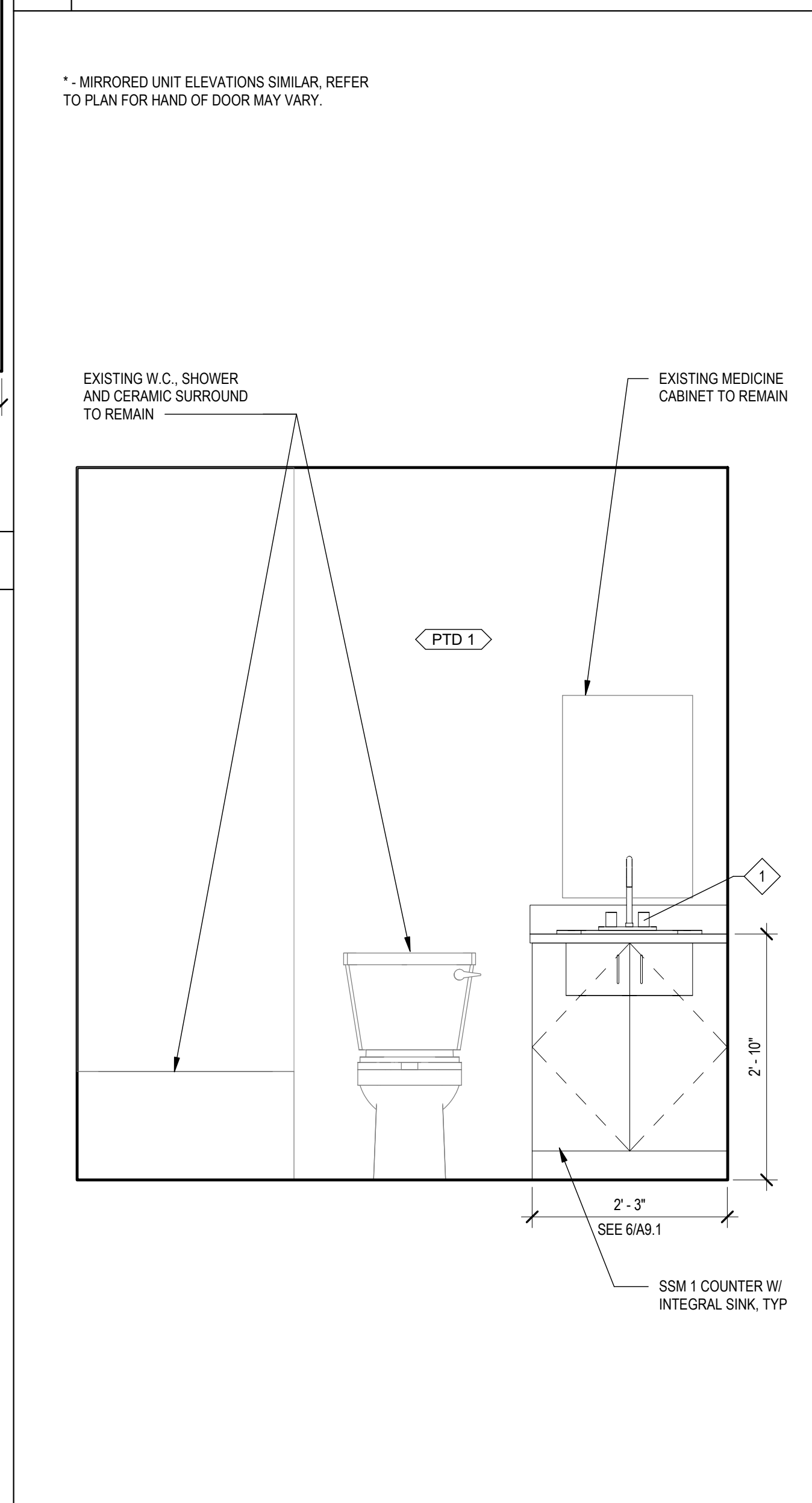
**4 Type 1 - Kitchen Elevation**  
3/4" = 1'-0"



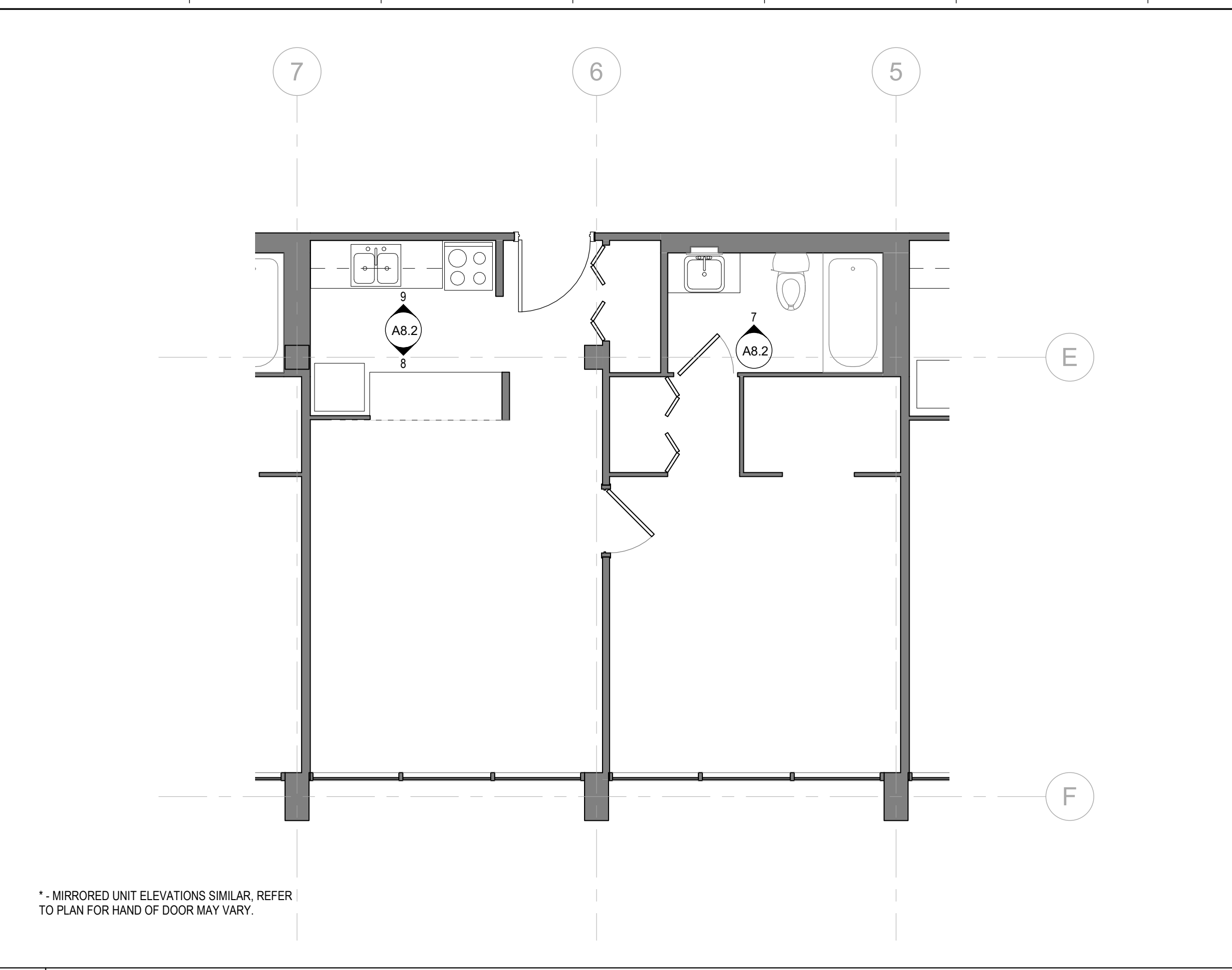
**3 Type 4 - Kitchen Elevation**  
3/4" = 1'-0"



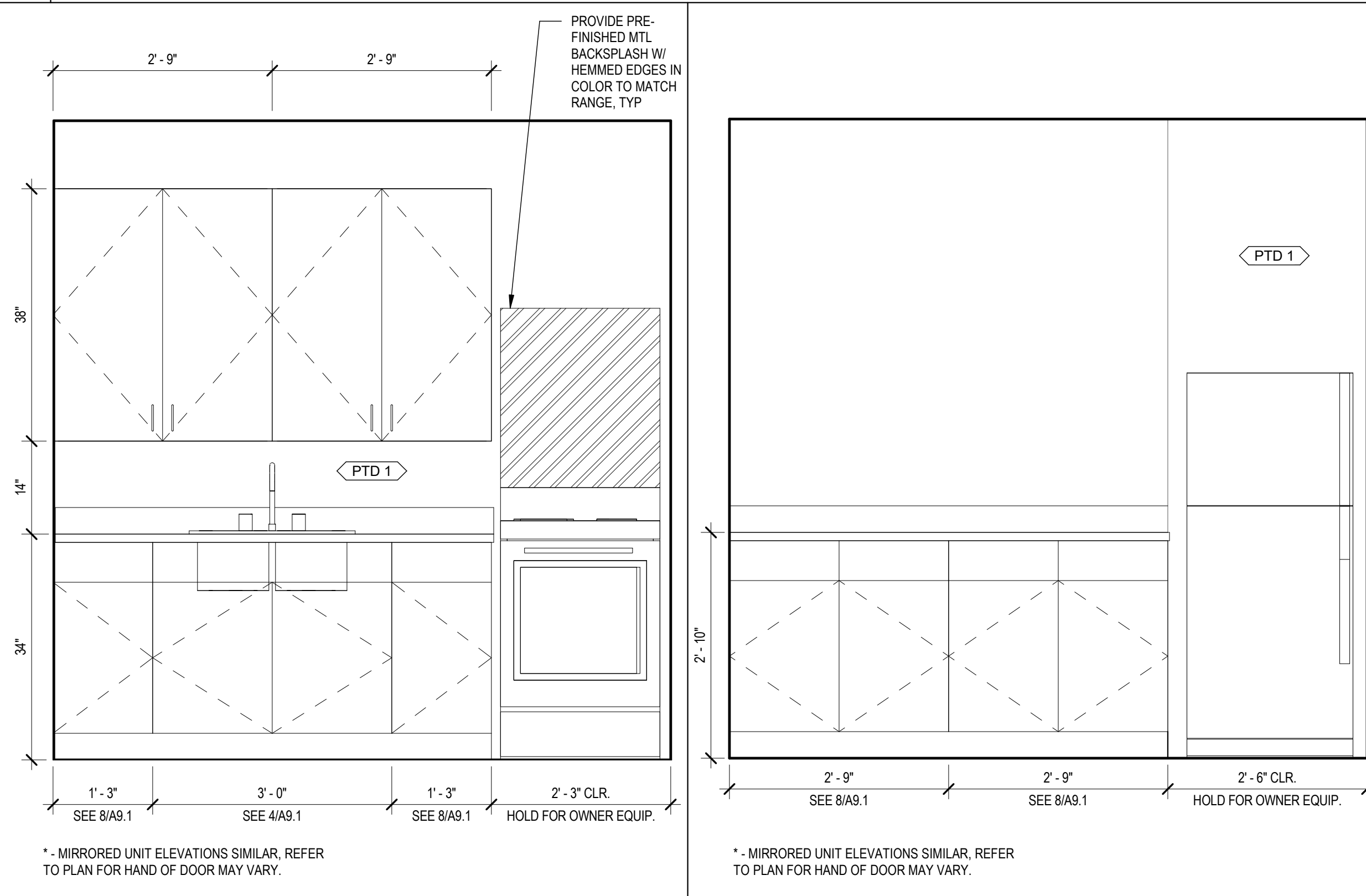
**6 Type 1 - Bathroom Elevation**  
3/4" = 1'-0"



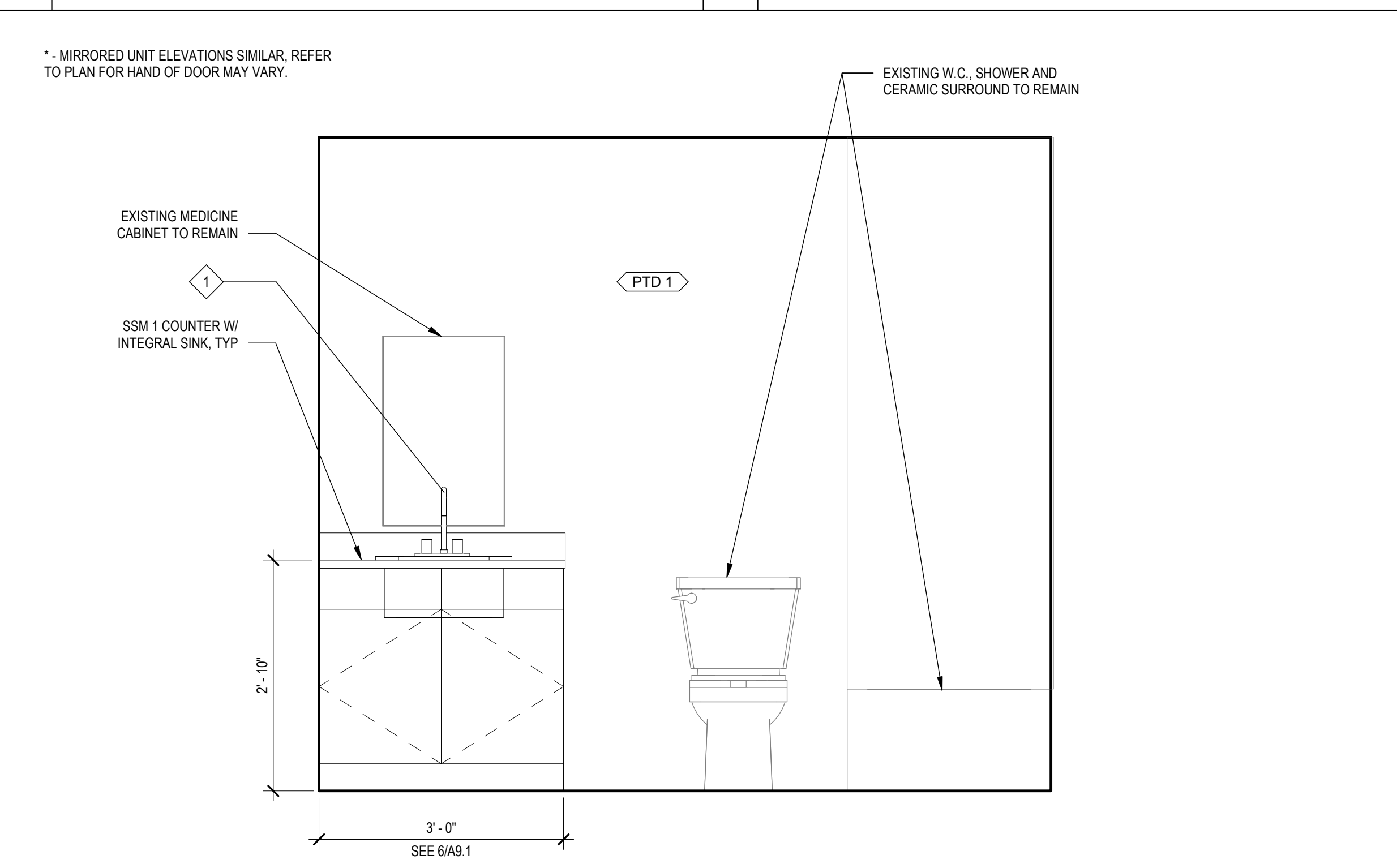
**5 Type 4 - Bathroom Elevation**  
3/4" = 1'-0"



**10 Type 2 - Enlarged Plan**  
1/4" = 1'-0"



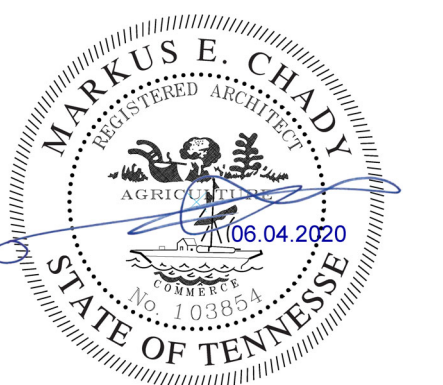
**9 Type 2 - Kitchen Elevation 1**  
3/4" = 1'-0"



**7 Type 2 - Bathroom Elevation**  
3/4" = 1'-0"

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Project Phase: Construction Documents

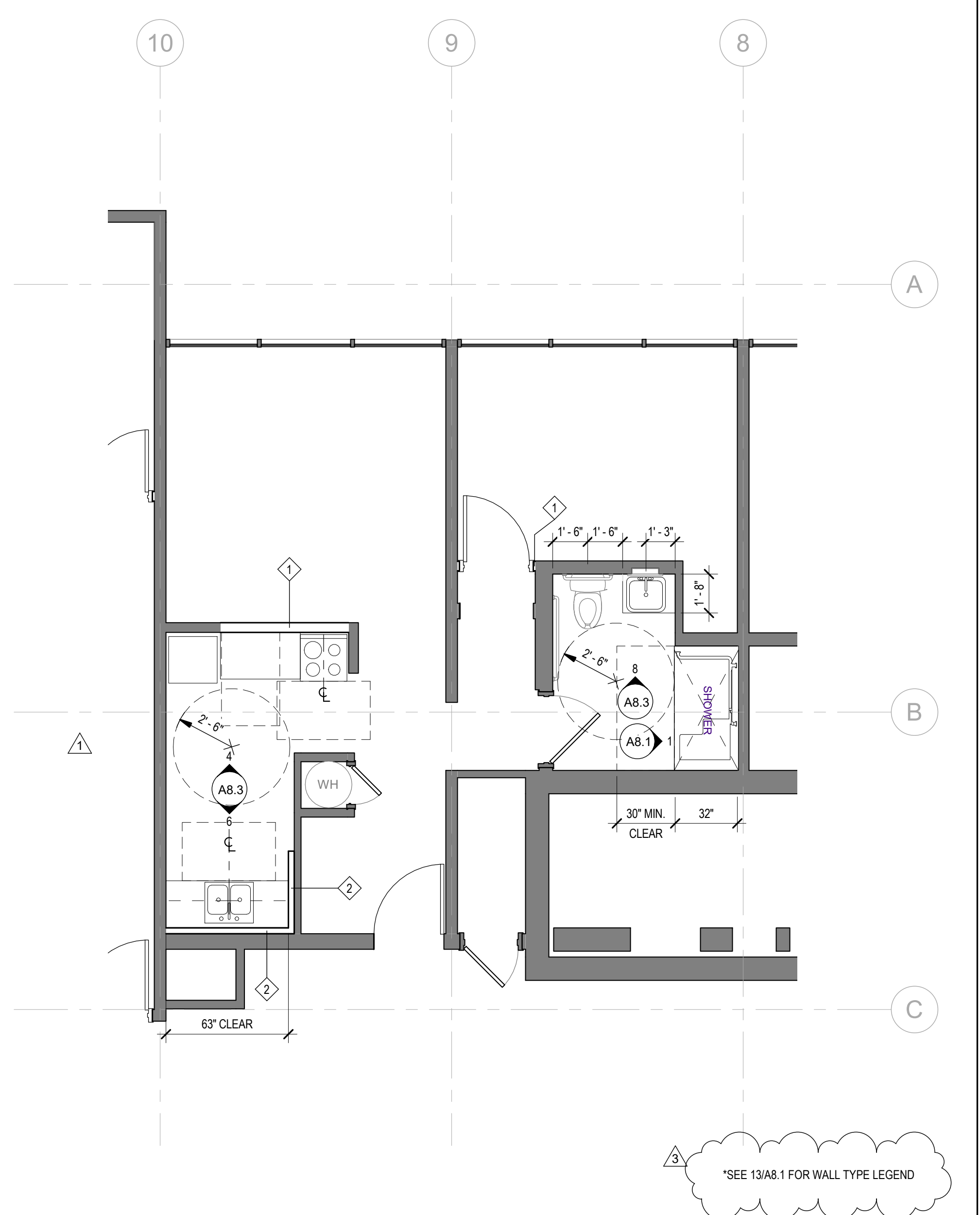
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No.	Description	Date
1	City & Owner Comments	05.11.2020
3	Addendum 2	06.04.2020

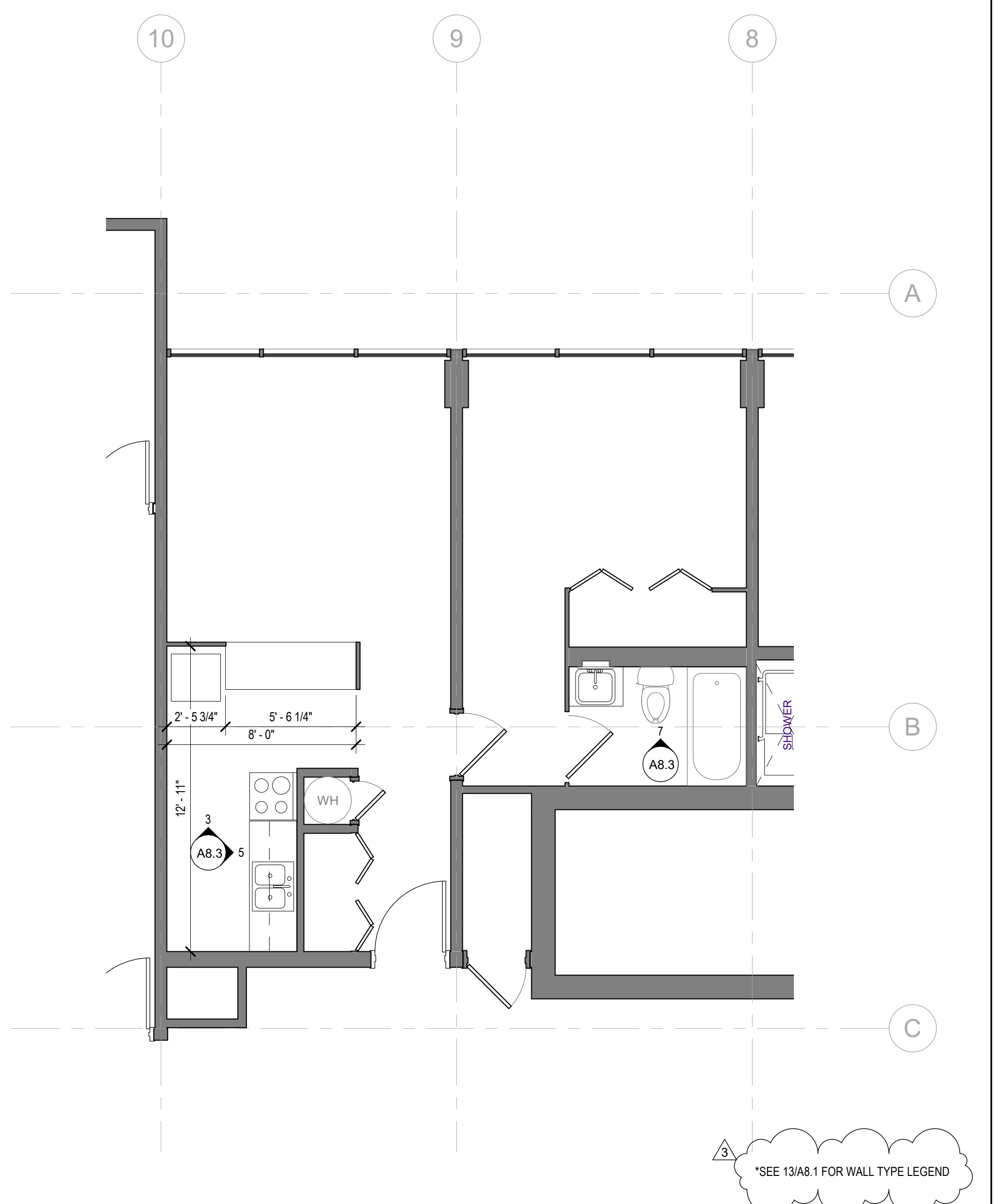
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Enlarged Unit Floor Plans  
& Interior Elevations

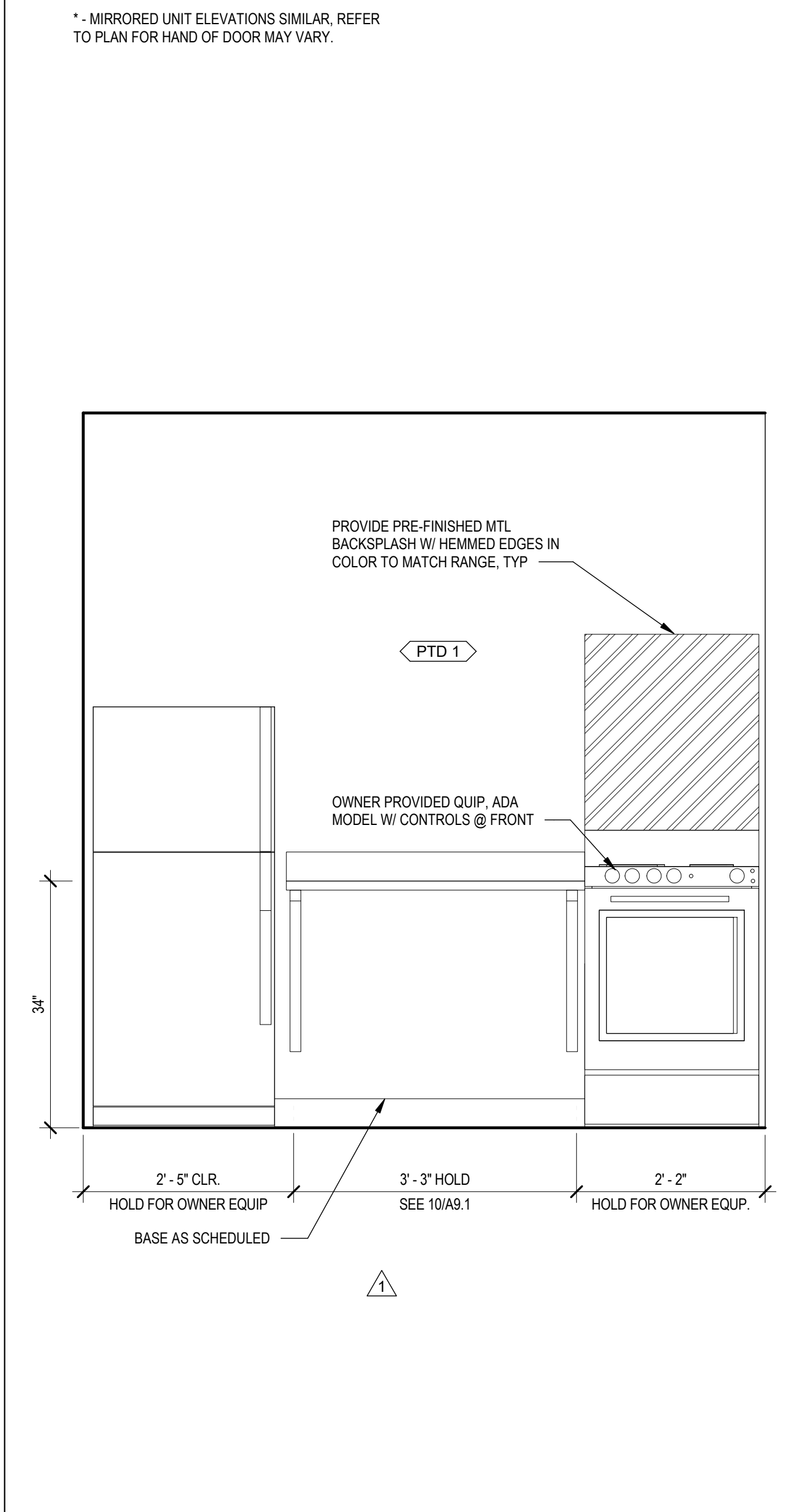
**A8.3**



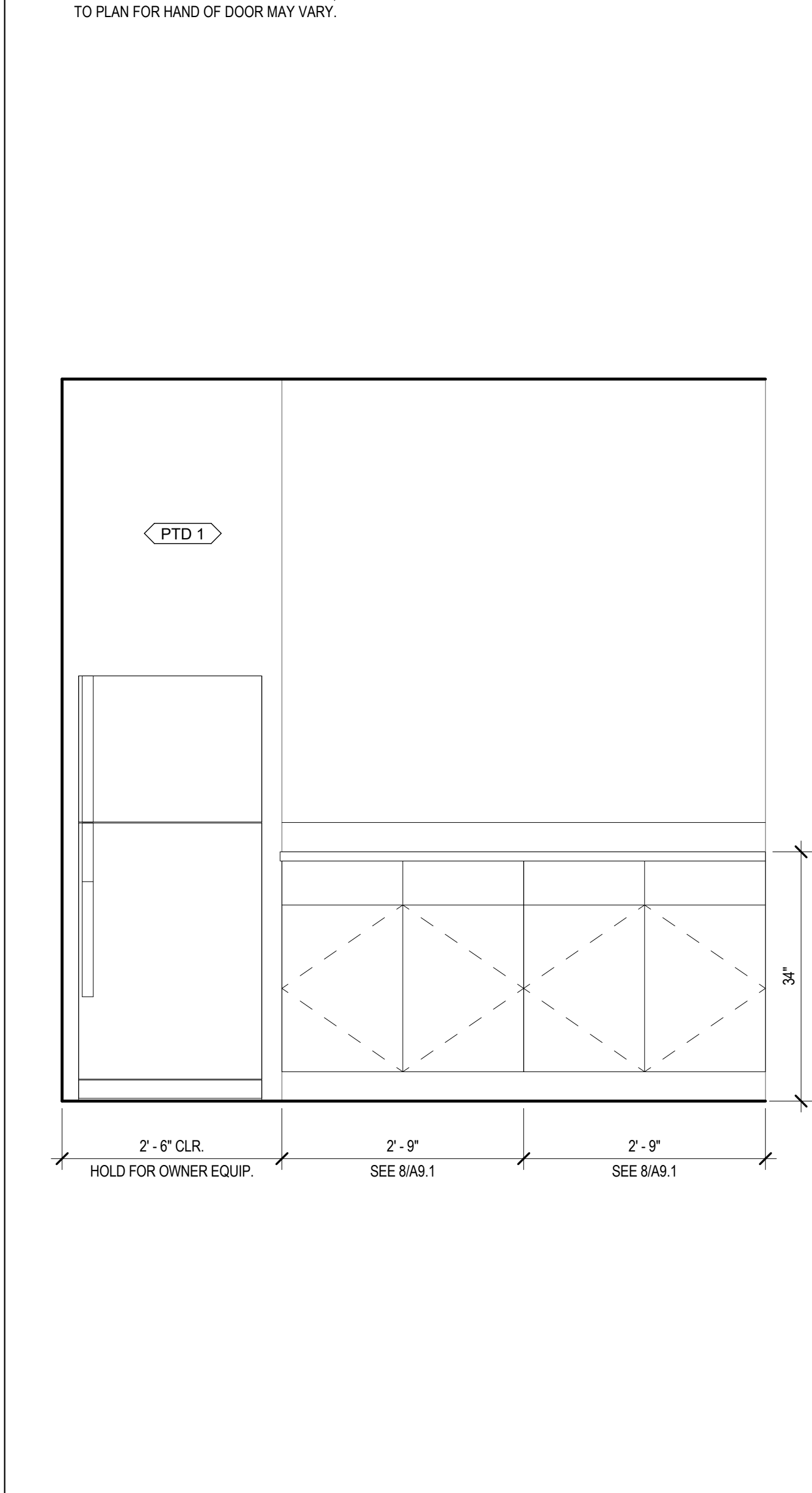
**2** Type 3 UFAS - Enlarged Plan  
1/4" = 1'-0"



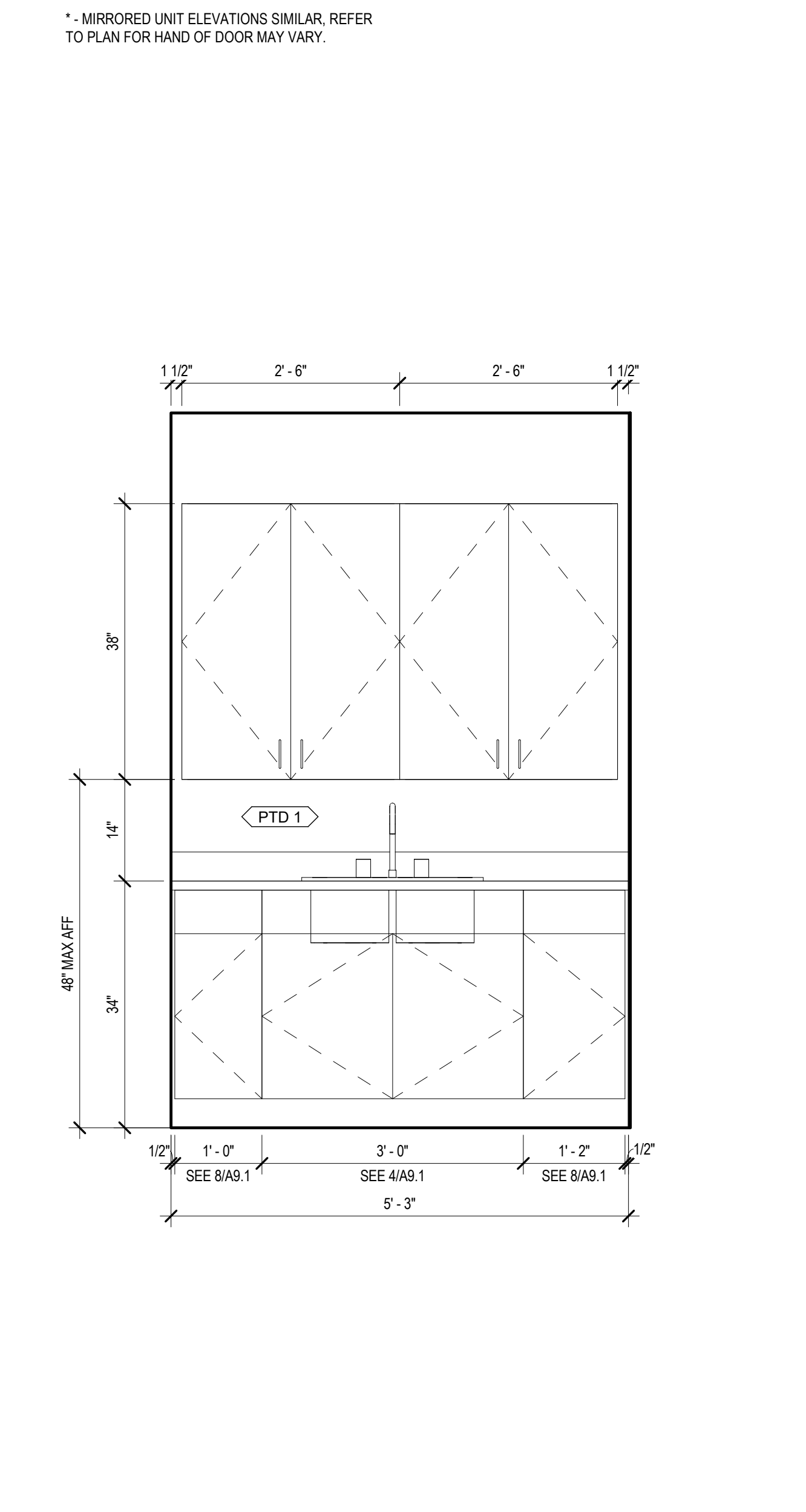
**1** Type 3 - Enlarged Plan  
1/4" = 1'-0"



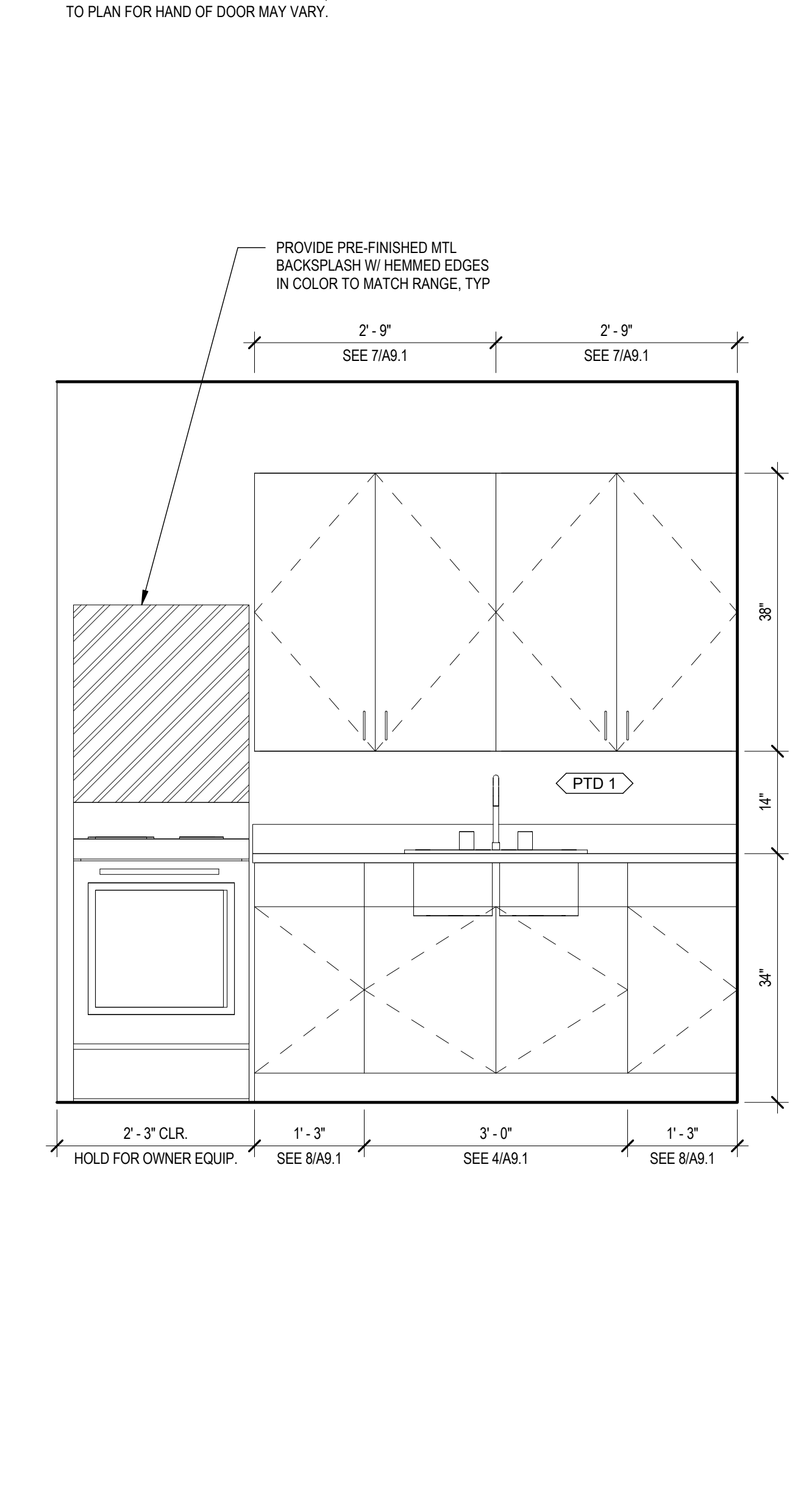
**4** Type 3 UFAS - Kitchen Elevation 1  
3/4" = 1'-0"



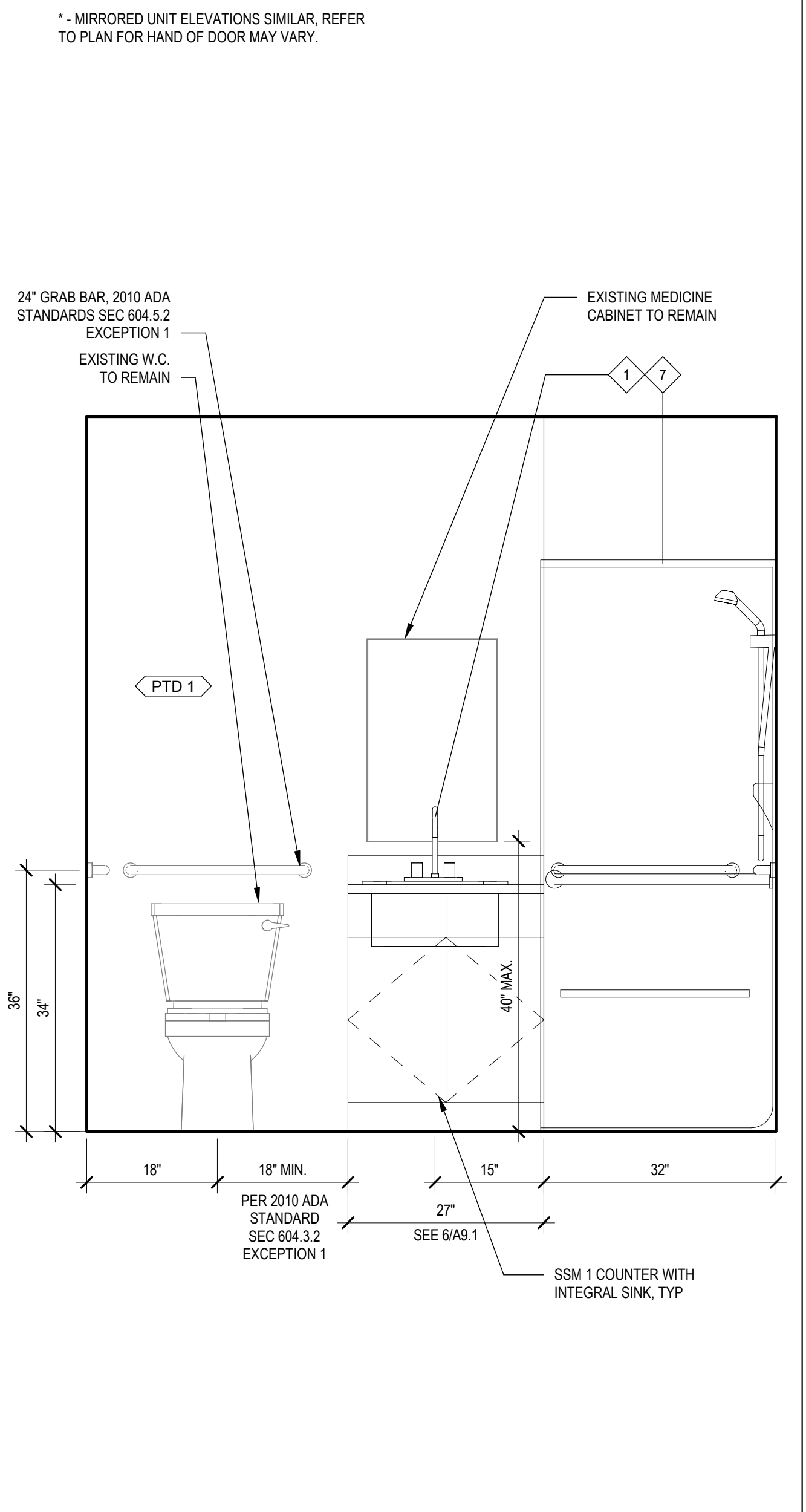
**3** Type 3 - Kitchen Elevation 1  
3/4" = 1'-0"



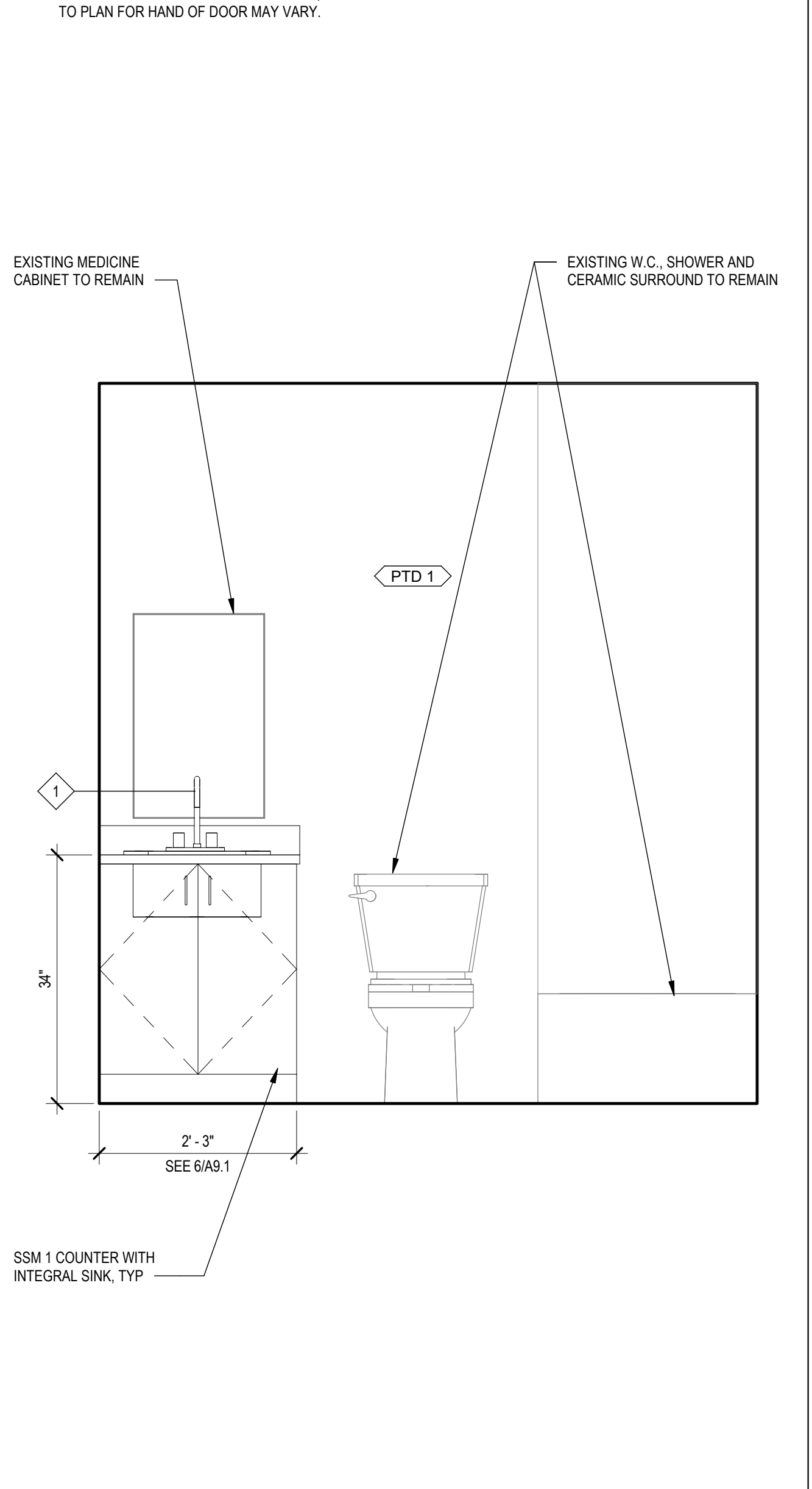
**6** Type 3 UFAS - Kitchen Elevation 2  
3/4" = 1'-0"



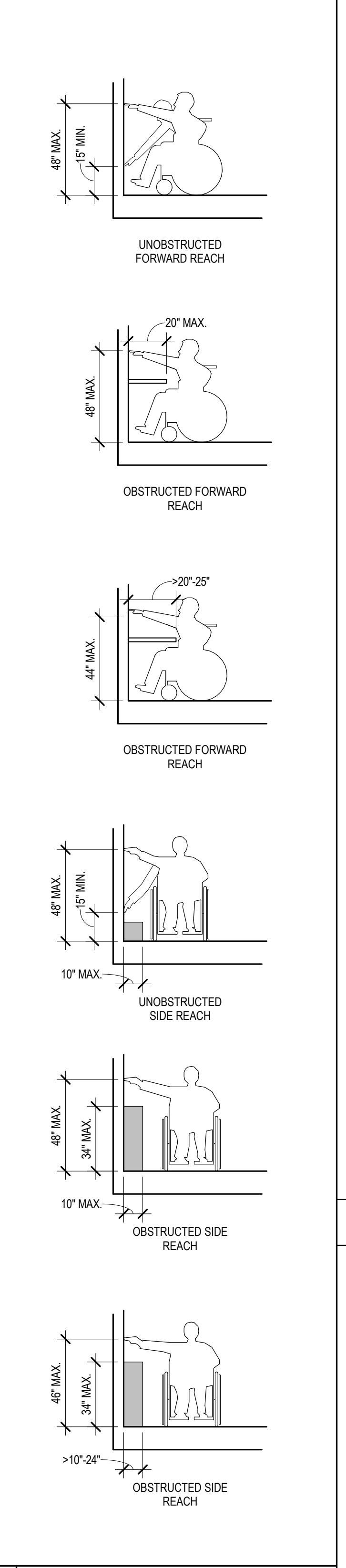
**5** Type 3 - Kitchen Elevation 2  
3/4" = 1'-0"



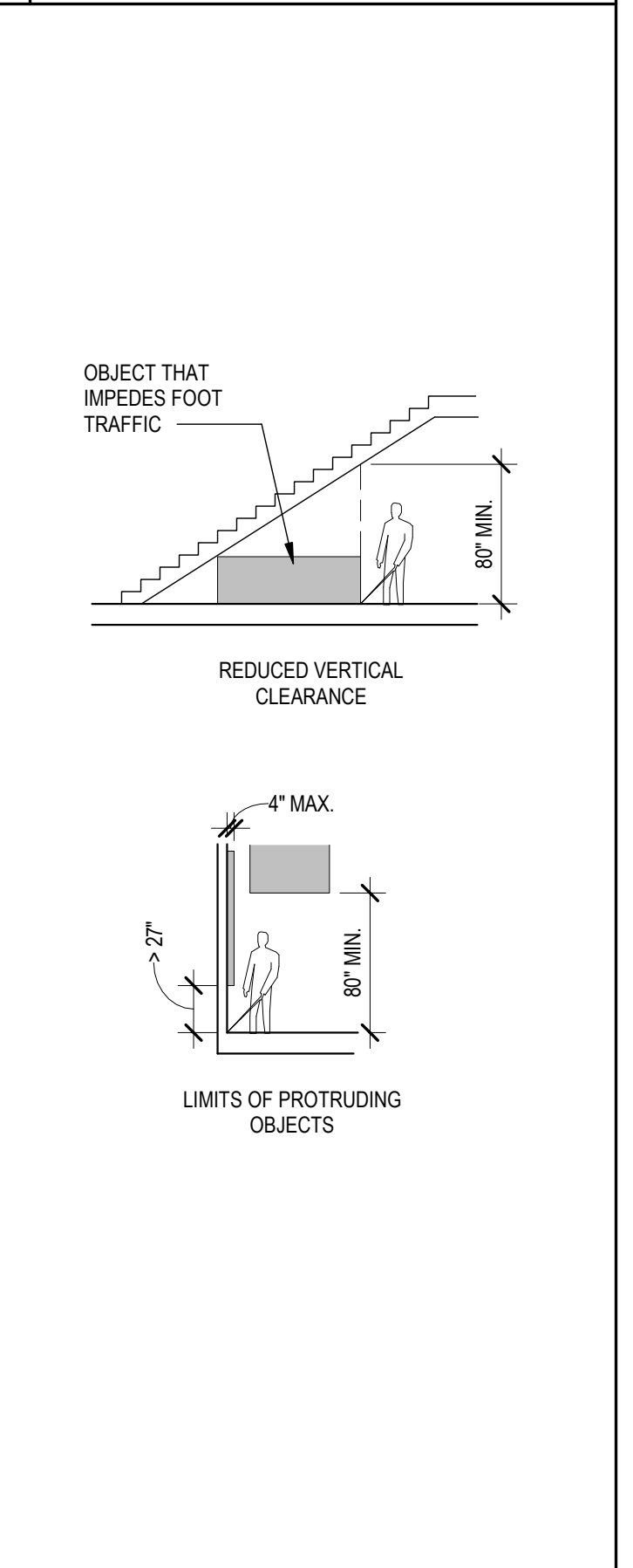
**8** Type 3 UFAS - Bathroom Elevation  
3/4" = 1'-0"



**7** Type 3 - Bathroom Elevation  
3/4" = 1'-0"



**10** Access - Reach Ranges  
1/4" = 1'-0"



**9** Access - Protruding Objects  
1/4" = 1'-0"

\* - MIRRORED UNIT ELEVATIONS SIMILAR, REFER TO PLAN FOR HAND OF DOOR MAY VARY.

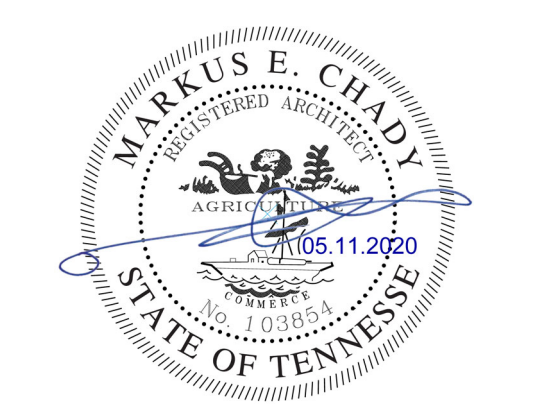
\* - MIRRORED UNIT ELEVATIONS SIMILAR, REFER TO PLAN FOR HAND OF DOOR MAY VARY.

\* - MIRRORED UNIT ELEVATIONS SIMILAR, REFER TO PLAN FOR HAND OF DOOR MAY VARY.

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Project Phase: Construction Documents

Issue Date: 04.08.2020

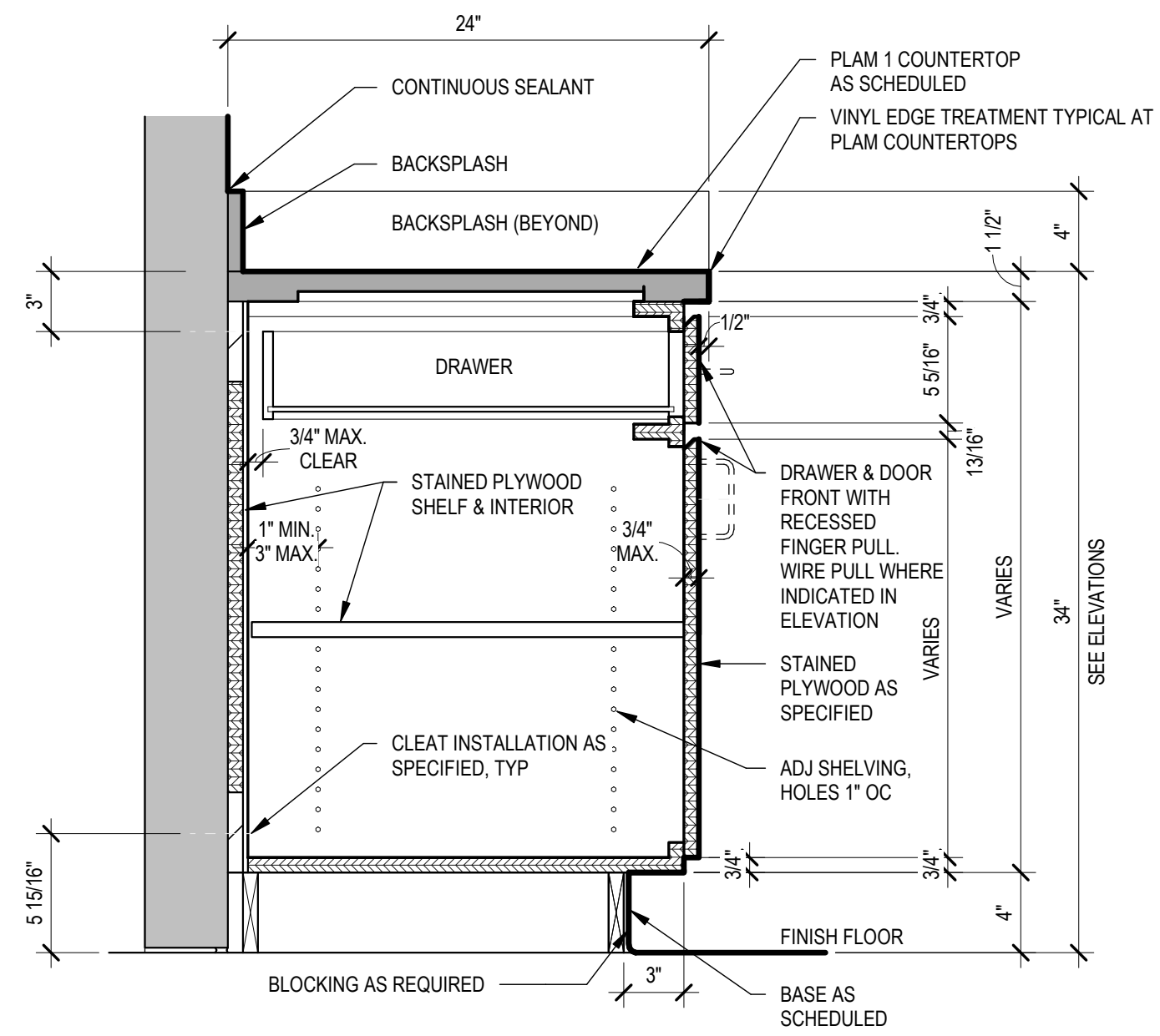
Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00

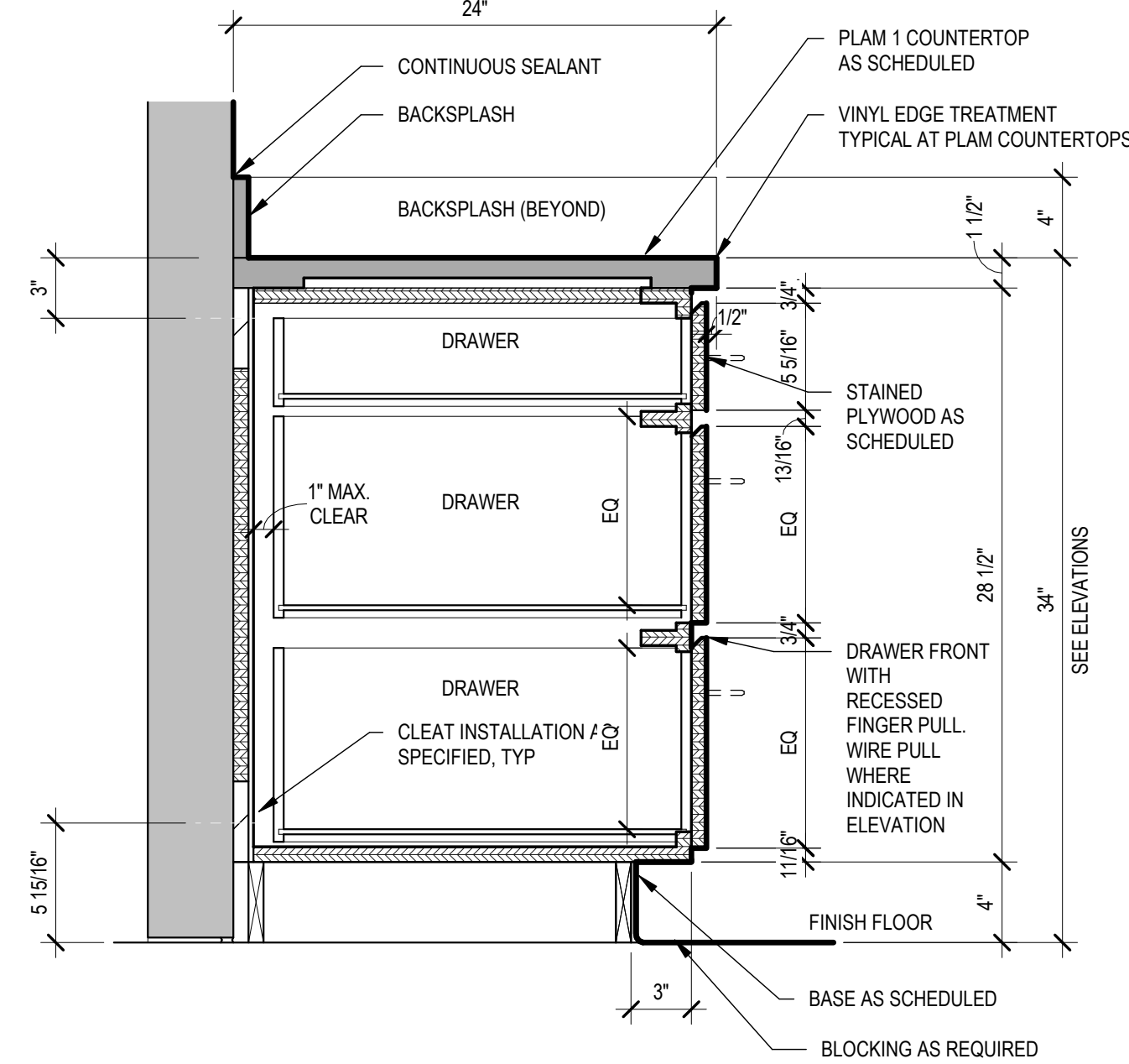
Interior Details

**CASEWORK GENERAL NOTES:**

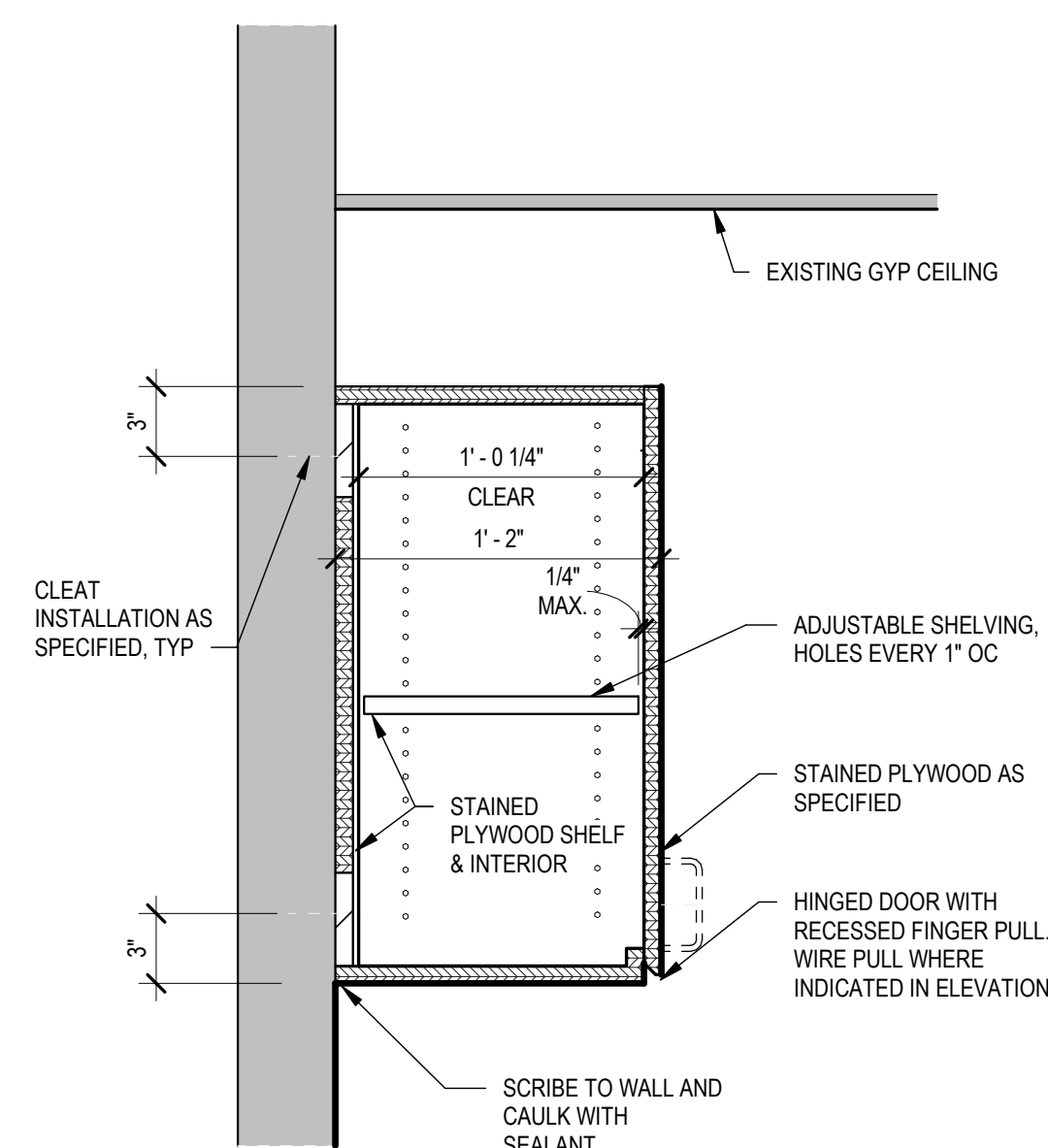
1. PROVIDE FINISHED END PANELS WHERE CASEWORK DOES NOT ABUT WALL.
2. PROVIDE FILLER BETWEEN CABINET AND WALL CONSTRUCTION. EXTEND COUNTERTOPS TO FINISHED WALL. SEE CASEWORK DETAILS.
3. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
4. AT OPEN ENDS OF CABINETS WITH VALANCES, EXTEND SIDE PANEL DOWN TO ALIGN WITH BOTTOM OF VALANCE.
5. SCRIBE FILLER PIECE TO SOFFIT AND WALL (TYP.), SEE CASEWORK DETAILS.
6. PROVIDE GROMMETS IN COUNTERTOPS ABOVE ELECTRICAL AND COMMUNICATION OUTLETS. COORDINATE EXACT LOCATIONS WITH OWNER.
7. SEE SHEET INTERIOR FINISH INDEX SHEET FOR ADDITIONAL FINISH INFORMATION.
8. WALL BASE TO BE INSTALLED ON THE KICK OF BASE CABINETS AND CONTINUE ALONG ALL EXPOSED EDGES OF CASEWORK U.N.O.



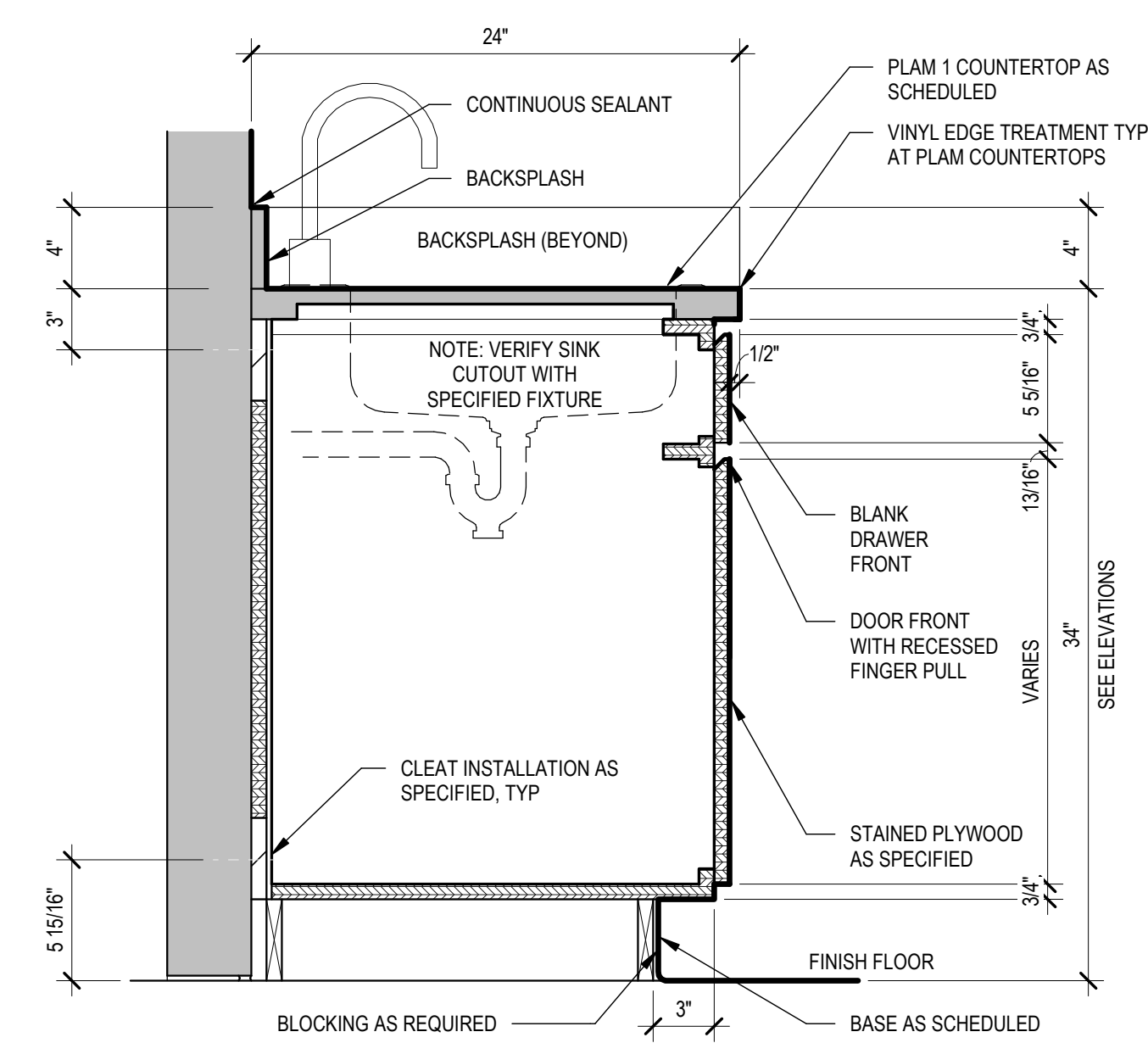
**8 Typical Base Millwork Section**  
1/2" = 1'-0"



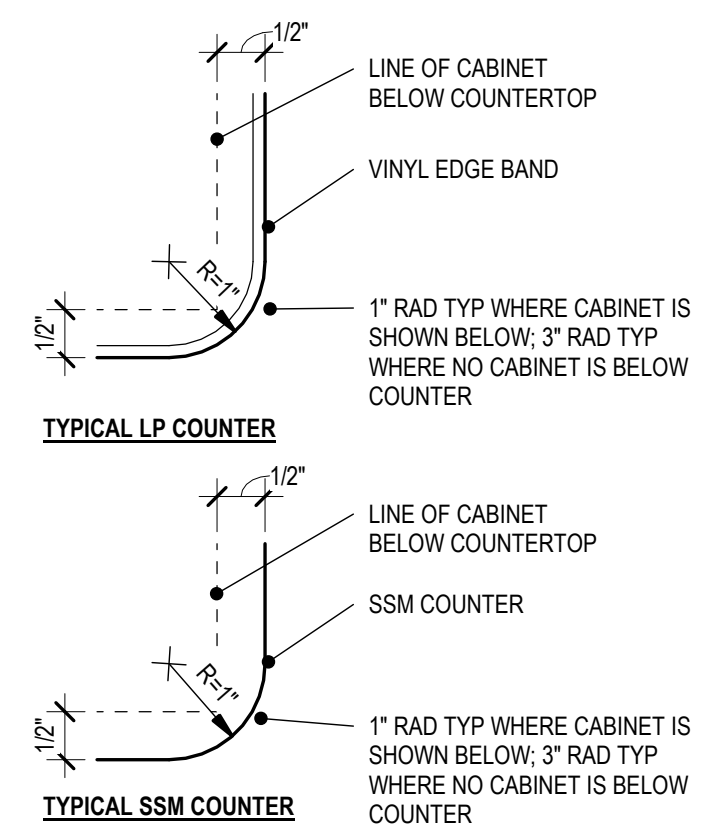
**5 Typical Base Millwork Section With Drawers**  
1/2" = 1'-0"



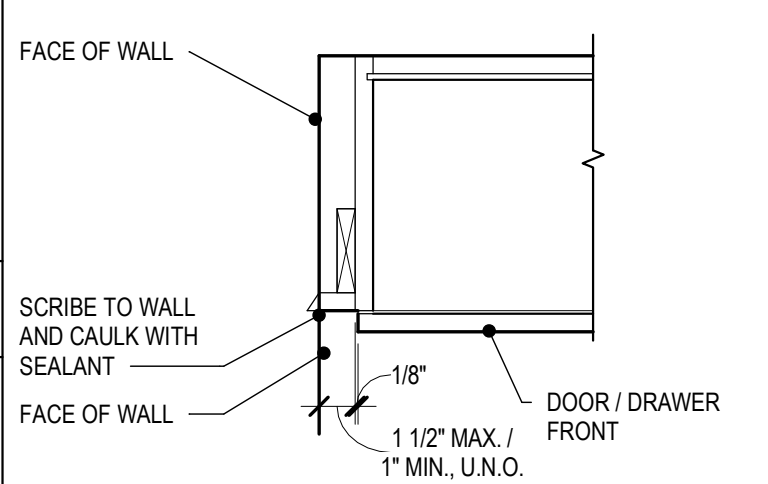
**7 Typical Upper Millwork Section**  
1/2" = 1'-0"



**4 Typical Sink Cabinet Section**  
1/2" = 1'-0"

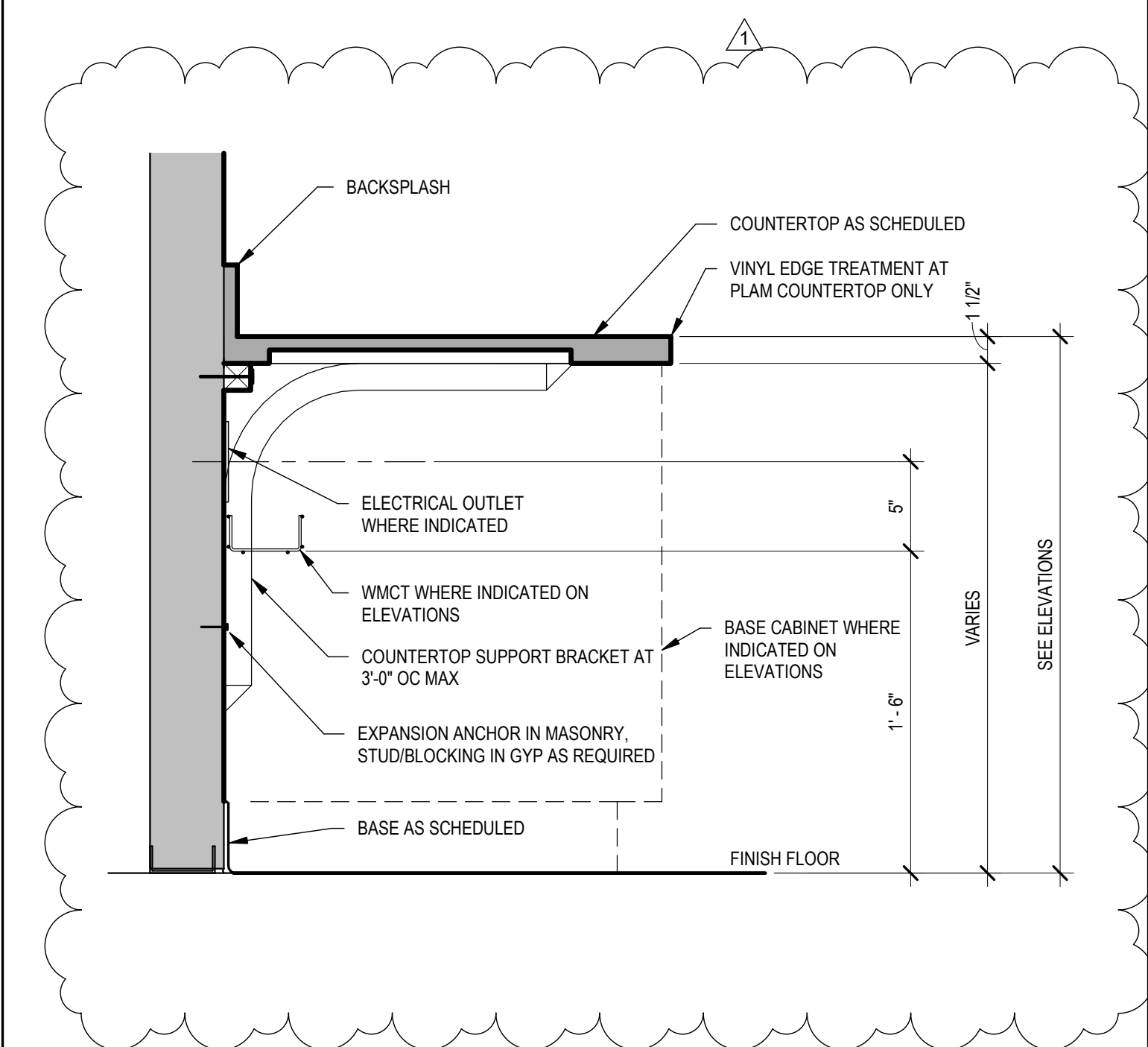


**2 Typical Counter Edge Details**  
6" = 1'-0"

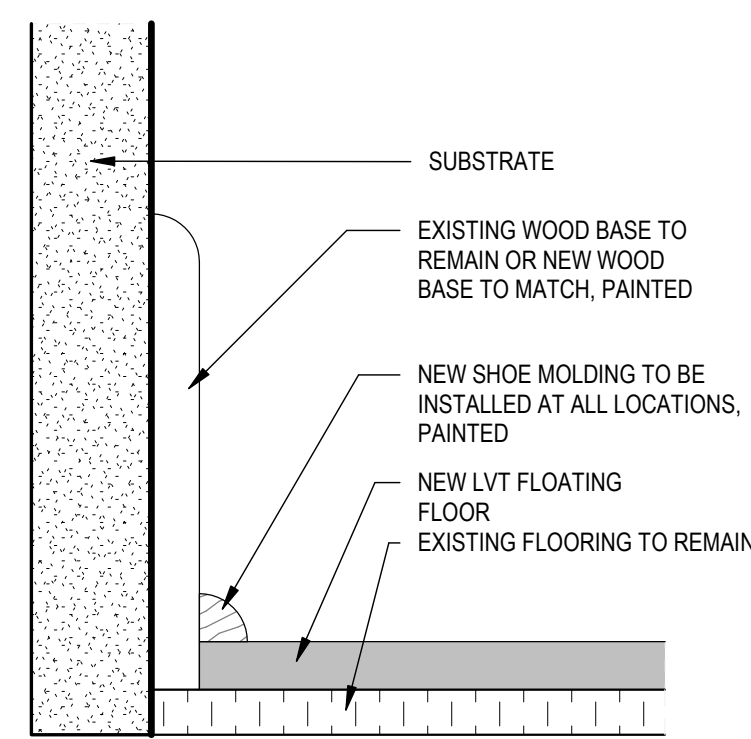


**1 Typical Millwork Installation Details**  
1/2" = 1'-0"

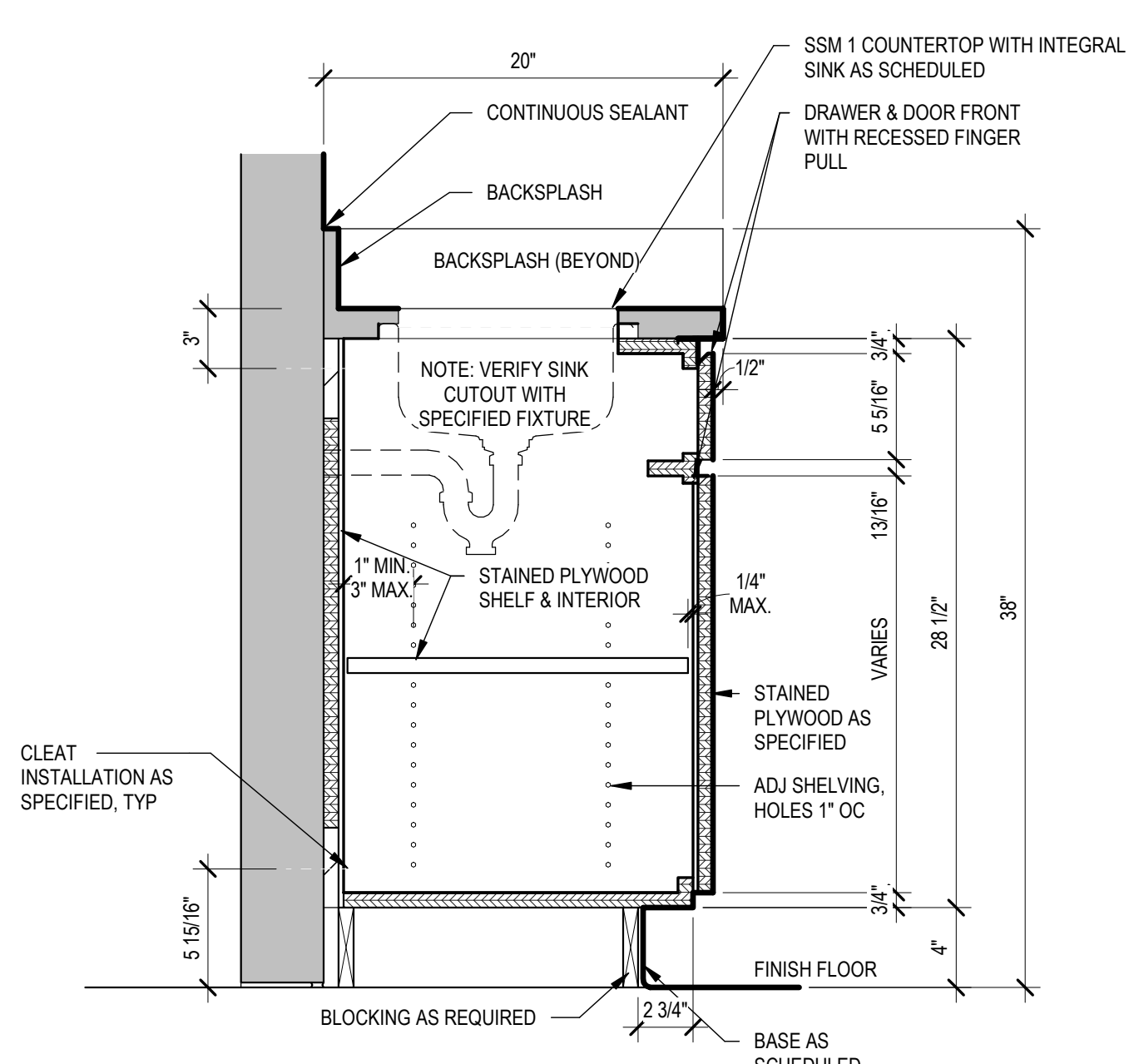
**11 Not Used**  
NTS



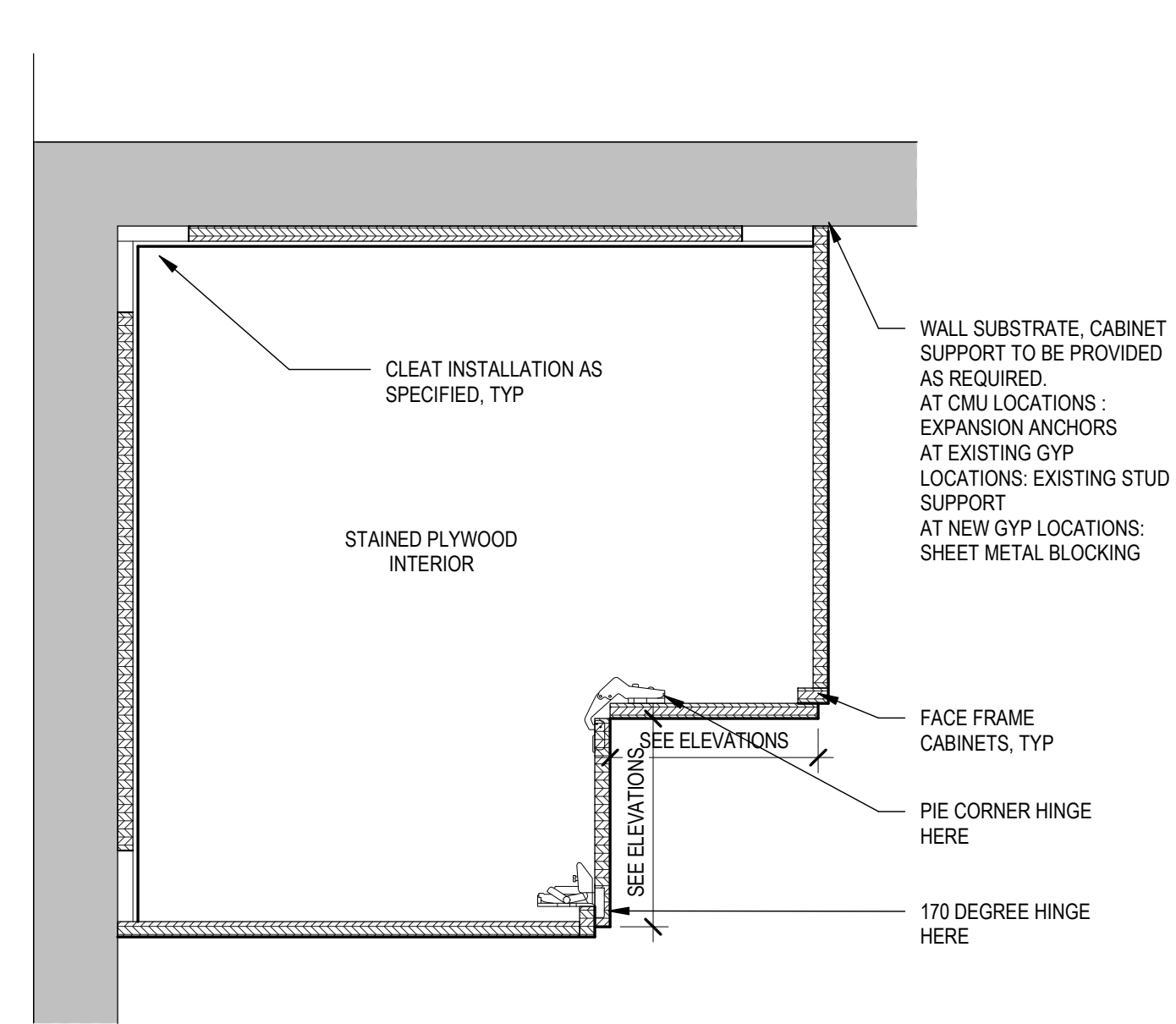
**10 Typical Countertop With Support Bracket**  
1/2" = 1'-0"



**9 Typical Wood Base Detail**  
1/2" = 1'-0"



**6 Typical Vanity Millwork Section**  
1/2" = 1'-0"



**3 Typical Millwork Corner**  
1/2" = 1'-0"

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 Checked By: Checker  
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ROOM TO ROOM TRANSFER FAN SCHEDULE								
DRAWING SYMBOL	HL CFM	WATTS	AMPS	CONTROL	VOLTAGE	WEIGHT LBS	MANUFACTURER & MODEL NO.	NOTES
	100/40	40	0.75	MANUAL SWITCH	120/1	6	SUNGOURT TW208	1,2
<b>ACCESSORIES AND FEATURES:</b> 1. UL CERTIFIED. 2. THERMAL CUTOFF PROTECTION. ALTERNATE MANUFACTURERS: BROWN								
NOTE: TO BE INSTALLED IN RENOVATED APARTMENTS ONLY.								

AIR DISTRIBUTION SCHEDULE				
SYM.	SERVICE	DESCRIPTION	MATERIAL	ACCESSORIES & FEATURES
ED-1	ESSENTIAL EXHAUST GRILLE	FREE PATTERN	ALUMINUM CONSTRUCTION WITH WHITE SMOOTH ENAMEL FINISH	1. NO. 15 1 MAX FACE VELOCITY -500 FPM
* SEE ARCHITECTURAL REFERENCED CEILING PLANS FOR MOUNTING TYPE REQUIRED. PROVIDE PLASTER FRAME FOR ALL AIR DEVICES LOCATED IN GYP. BOARD CEILINGS. * VERIFY THE MOUNTING OF ALL CEILING AIR DISTRIBUTION DEVICES COMPLY WITH BUILDING STRUCTURE PRIOR TO PURCHASE.				

HVAC LEGEND & SYMBOLS	
	A. RECTANGULAR DUCT: * MANUAL OPERATED BLADE DAMPER WITH LOCKING QUADRANT, LEVER OPERATOR, OF STEEL CONSTRUCTION * LOUVERS & DAMPERS MODEL CD-400; KRUEGER MODEL 880-DM TYPE 2 OPERATION FOR LESS THAN 10" WIDE.
	A. ROUND DUCT: * ROUND BLADE CONTROL DAMPER OF STEEL CONSTRUCTION WITH MANUAL OPERATOR * LOUVERS AND DAMPERS MODEL CD-600.
	RECTANGULAR ELBOW WITH SINGLE THICKNESS TURNING VANES OF STEEL CONSTRUCTION.
	CONSTRUCT ALL BRANCH CONNECTIONS WITH 45° FITTING PER SMACNA STANDARDS. DIMENSION: L = 1/4W, 4" MINIMUM
	SHEET METAL CONNECTORS, INC. HIGH EFFICIENCY TAKEOFF WITH DAMPER AND LOCKING QUADRANT FOR ROUND DUCT TAKEOFFS FROM RECTANGULAR DUCTWORK. INCREASE MAIN DUCT SIZE AT FITTING TO ACCOMMODATE ITS INSTALLATION IF REQUIRED TO MEET SMACNA AND MANUFACTURER'S INSTRUCTIONS. DIMENSION: D = RUNOUT DIAMETER (R*14")
	DUCT RISER
	DUCT DROP
	ROUND DUCT RISER
	ROUND DUCT DROP
	FLEXIBLE DUCT EQUAL TO FLEXMASTER TYPE 3 INSULATED FLEXIBLE DUCT WITH ALUMINUM FOIL JACKET AND ALUMINUM FOIL FIBERGLASS POLYESTER LAMINATE LINER. INSTALL IN ACCORDANCE WITH SECTION III OF SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE."
	EXHAUST DUCT
	EXISTING DUCT
	INDICATES NEW HVAC EQUIPMENT
	INDICATES EXISTING HVAC EQUIPMENT
	DUCT TRANSITION
	EXHAUST GRILLE OR EXHAUST FAN (REFER TO DRAWINGS FOR CLARIFICATION)
	EXISTING EXHAUST GRILLE OR EXHAUST FAN (REFER TO DRAWINGS FOR CLARIFICATION)

GENERAL NOTES:	
1.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF H.V.A.C. COMPONENTS OR PURCHASE OF EQUIPMENT.
2.	CONTRACTOR SHALL COORDINATE ALL OTHER TRADES WITH THE INSTALLATION OF H.V.A.C. SYSTEM.
3.	H.V.A.C. LEGEND MAY CONTAIN SYMBOLS AND ABBREVIATIONS NOT USED ON THIS SPECIFIC PROJECT. LEGEND SHALL BE USED FOR REFERENCE PURPOSES.
4.	CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE H.V.A.C. SYSTEM AS IT RELATES TO DRAWINGS AND SPECIFICATIONS.
5.	CONTRACTOR IS REQUIRED TO REVIEW ARCHITECTURAL PLANS FOR HIDDEN ASSEMBLIES. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE BUILDING CODES.
6.	* STANDARD ACCESSORIES OR CONTROLS ON H.V.A.C. EQUIPMENT SHALL BE THOSE WHICH MANUFACTURER PROVIDES ON THE MAJORITY OF STOCK MERCHANDISE.
7.	BRAND NAMES AND MODEL NUMBERS ARE PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND PERFORMANCE. EQUAL TO ITEMS MAY BE SUBMITTED FOR CONSIDERATION BY THE ENGINEER AND OWNER.
8.	THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATE THE APPROXIMATE ROUTING OF PIPING AND DUCTWORK. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
9.	COORDINATE CEILING OFFISERS AND REGISTER LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN.
HVAC NOTES:	
1.	THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SUPPLY, RETURN AND EXHAUST DUCT AS FOLLOWS: DUCTWORK TO BE DESIGNED, BRACED, AND SUPPORTED IN ACCORDANCE WITH SMACNA FOR LOW PRESSURE APPLICATIONS. SEAL CLASS C PER SMACNA HVAC DUCT CONSTRUCTION STANDARDS. METAL AND FLEXIBLE DUCTWORK FLEXIBLE DUCT (MAX. 5') SMACNA 90. SINGLE WIRE HANGERS SHALL NOT BE ALLOWED FOR FLEXIBLE DUCTWORK SUPPORT. FLEXIBLE DUCTWORK SHALL BE SUPPORTED IN A MANNER THAT PREVENTS CONSTRUCTION OR OPS. INSULATION SHALL AS NOTED BELOW.
2.	ALL DUCT ELBOWS SHALL BE 15 R/O, UNLESS NOTED OTHERWISE.
3.	MANUAL OPERATED BLADE DAMPERS SHALL BE PLACED IN EACH BRANCH OF SUPPLY DUCTWORK FOR FINAL BALANCING PURPOSES. BALANCING DEVICES SHALL BE IN ACCORDANCE WITH IMC 2019, 603.18.
4.	CONTRACTOR SHALL FIELD VERIFY ALL DUCT ROUTING DIMENSIONS AND TERMINAL DEVICES TO AVOID INTERFERENCES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SUPPORTS FOR PIPING AND DUCTWORK.
5.	CONDENSATE DRAIN PIPING SHALL BE FULL SIZE PER EQUIPMENT CONNECTION WITH PVC ROUTED TO INDIRECT CONNECTION WITHOUT CREATING AN OBSTRUCTION. ALL SUPPORTS FOR THE CONDENSATE DRAIN PIPING IS BY THE MECHANICAL HVAC CONTRACTOR.
6.	THE MECHANICAL SYSTEMS SHALL HAVE TESTING AND BALANCING PERFORMED BY THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS. THE CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE REPORT IDENTIFYING ALL MAJOR PIECES OF HVAC EQUIPMENT AND AIR DISTRIBUTION DEVICES WITH PERFORMANCE AND FINAL AIR BALANCE OF EACH. SUBMITTAL SHALL BE PRESENTED TO THE ENGINEER AND BUILDING OWNER OR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL. KITCHEN HOOD AND FANS TO BE BALANCED BY ITS SUPPLIER. BOTH PROCEDURES ARE TO BE DONE AT THE SAME TIME AND TO BE COORDINATED TO ATTAIN DESIRABLE RESULTS.
7.	PROVIDE MINIMUM 10 FEET SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.
8.	PROVIDE SMOKE DETECTORS IN THE SUPPLY AND RETURN AIR DUCTS OF ALL UNITS 2000 CFM AND OVER. LOCATE DETECTOR IN THE RETURN AIR DUCT, UPSTREAM OF FRESH AIR INTAKE, AND UPSTREAM OF EXHAUST IN ACCORDANCE WITH IMC 606.1. LOCATE DETECTOR IN THE SUPPLY AIR DUCT DOWNSTREAM OF THE FILTERS AND UPSTREAM OF THE FIRST BRANCH CONNECTION IN ACCORDANCE WITH NFPA 96A. DETECTORS SHALL BE WIRED INTO BUILDING FIRE ALARM SYSTEM AND SHALL BE WIRED TO SHUT UNITS DOWN UPON DETECTION OF SMOKE.
9.	THERMOSTATS SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR UNLESS INDICATED OTHERWISE.
10.	PROVIDE ACCESS DOOR (12X12" MIN) AS REQUIRED FOR DAMPER AND CONTROL ACCESS IN WALLS AND CEILINGS.
DUCT SEALING:	
1.	PRESSURE SENSITIVE TAPE USED AS THE PRIMARY SEALANT IS CERTIFIED AND SHALL COMPLY WITH UL-181A OR UL-181B.
2.	PROVIDE LONGITUDINAL SEAMS ON RIGID DUCT AND TRANSVERSE SEAMS ON ALL DUCTS.
3.	PROVIDE MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTS AND AIR DISTRIBUTION DEVICES.
INSULATION:	
1.	DUCTWORK SHALL BE INSULATED IN ACCORDANCE WITH THE FOLLOWING:
A.	NO INSULATION FOR EXHAUST DUCTWORK.
B.	ALL OTHER DUCTWORK PROVIDE 2" FIBERGLASS BLANKET TYPE INSULATION WITH FOIL VAPOR BARRIER COVER IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS.
C.	INSULATION FOR KITCHEN HOOD EXHAUST DUCTWORK SHALL BE 3M FLEXMASTER DUCTWRAP (MIN. 2 HR. FIRE RESISTANCE RATING) OR APPROVED EQUAL.
PENETRATIONS:	
1.	SLEEVES SHALL BE INSTALLED WHERE DUCTS, LOUVERS, OR PIPING PENETRATE NON-RATED EXTERIOR WALLS, PARTITIONS, FLOORS, OR ROOF. PACK AROUND SLEEVES AND SEAL WEATHER TIGHT. INSTALL FLASHING AS REQUIRED. SLEEVES SHALL BE MINIMUM #6 GAUGE GALVANIZED STEEL AND SHALL BE FIRMLY SET IN BUILDING STRUCTURE.
SUBMITTALS AND ACCEPTANCE:	
1.	UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF HVAC SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL THEN RELAY THEM TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT.
2.	OPERATION AND MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT SHALL BE COMPILED INTO A THREE RING BINDER AND TURNED OVER TO BUILDING OWNER UPON PROJECT COMPLETION.

**STUDIO FOUR DESIGN**  
 ARCHITECTURE & INTERIORS

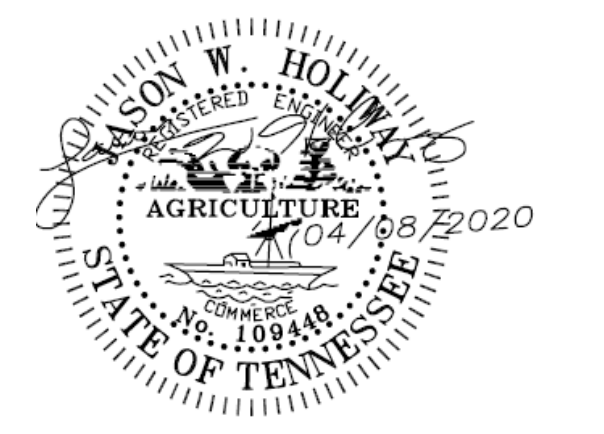
414 Clinch Ave. Knoxville, TN 37902  
 p 865 523-5001 f 865 523-5003  
 studiofourdesign.com

**FACILITY SYSTEMS CONSULTANTS, LLC**

713 South Central Street, Suite 101  
 Knoxville, Tennessee 37902  
 Phone: (865) 246-0164  
 Fax: (865) 246-1084

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Issue Date: 04/08/20		
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No.	Description	Date

Job Number: 19136.00

HVAC NOTES, LEGEND, SCHEDULES AND DETAILS

**M0.1**



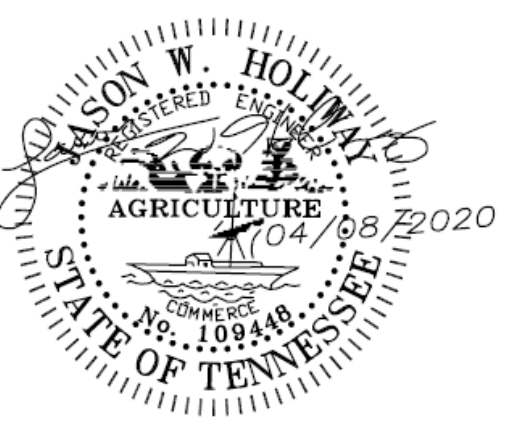
1 1st FLOOR BUILDING A HVAC  
1/8" = 1'-0"  
GENERAL NOTE:  
REPLACE ALL EXISTING EXHAUST GRILLES IN RESTROOM CEILINGS WITH NEW  
EQUAL TO PRICE MODEL 80.12x12.

Date: 4/20/20 3:11:53 PM  
Drawn By: Author  
Checked By: Checker  
File: C:\Users\jgled\Documents\SFD001-MEP-200\_100417RWB.rvt

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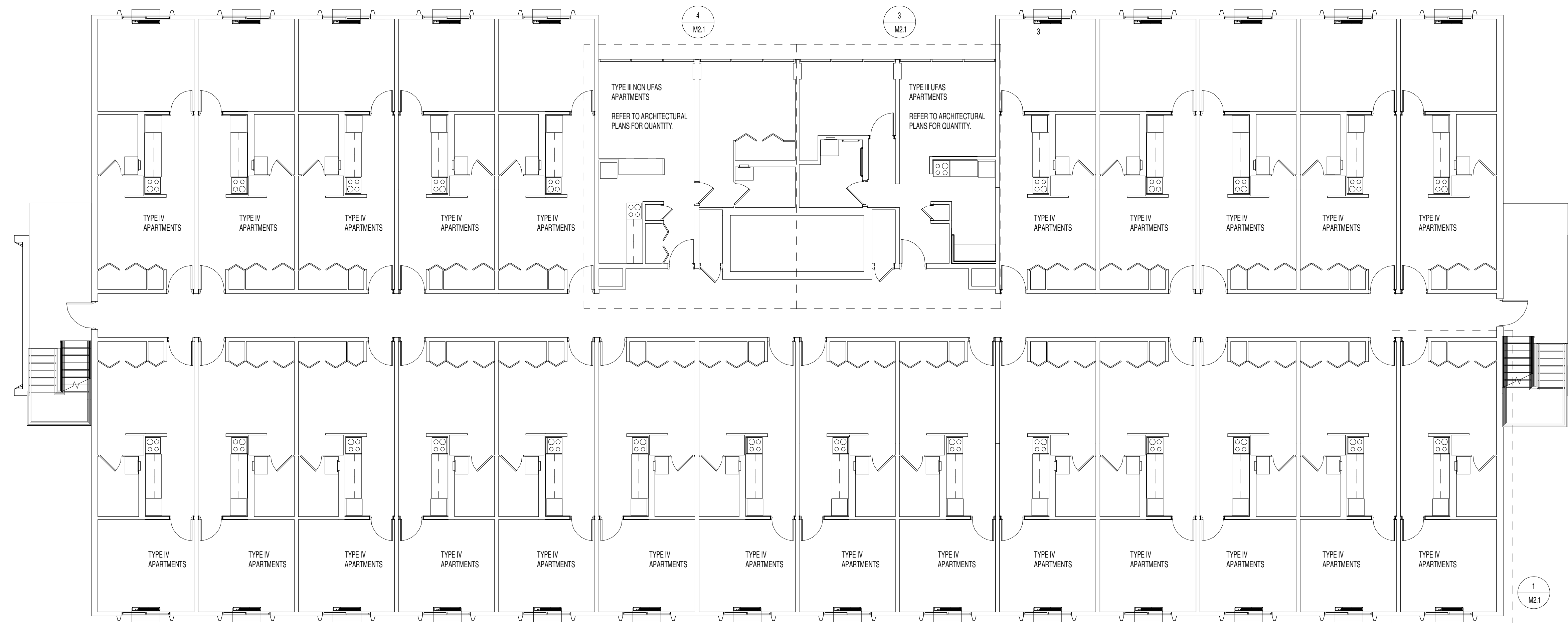
Issue Date: 4/28/20

Revisions		
No.	Description	Date

Job Number: 19136.00

BUILDING A & B - FIRST  
FLOOR HVAC PLANS

**M1.1**



② TYPICAL HVAC FLOOR PLAN (2ND THRU 6TH) BUILDINGS A & B  
1/8" = 1'-0"

GENERAL NOTES:  
1. REPLACE ALL EXISTING EXHAUST GRILLES IN RESTROOM CEILINGS WITH NEW EQUAL TO TYPE INDEX IS: 12412  
2. FLOOR PLAN SHOWS ONE TYPE II UFAS AND ONE TYPE II NON-UFAS APARTMENT. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND QUANTITIES FOR EACH.

Date: 4/20/20 3:11:54 PM  
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Checked By: Checker  
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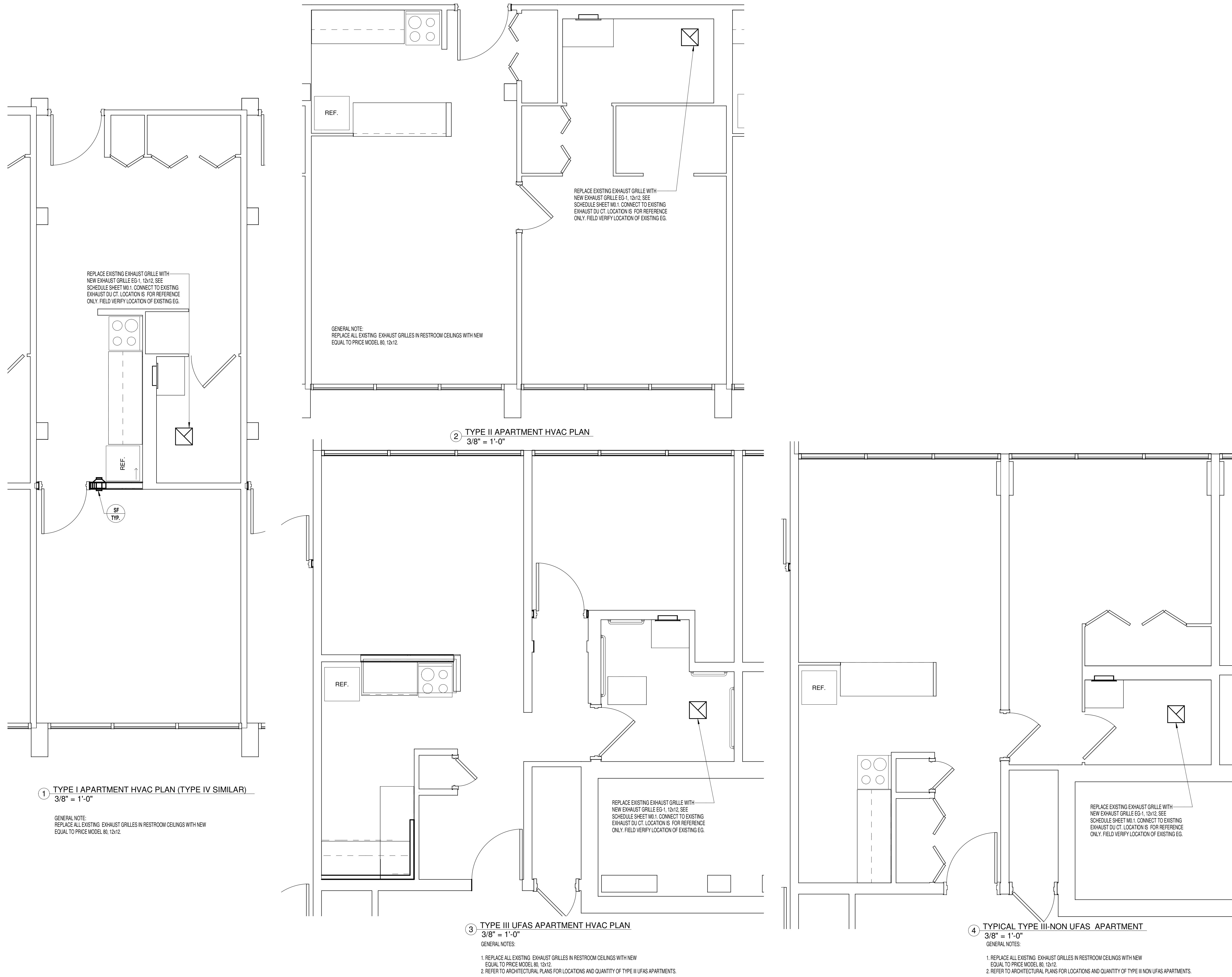
Issue Date: 04/28/20

Revisions		
No.	Description	Date

Job Number: 19136.00

TYPICAL HVAC FLOOR PLAN (2ND THRU 6TH) BUILDINGS A & B

**M1.2**



Date: 4/20/20 3:11:54 PM  
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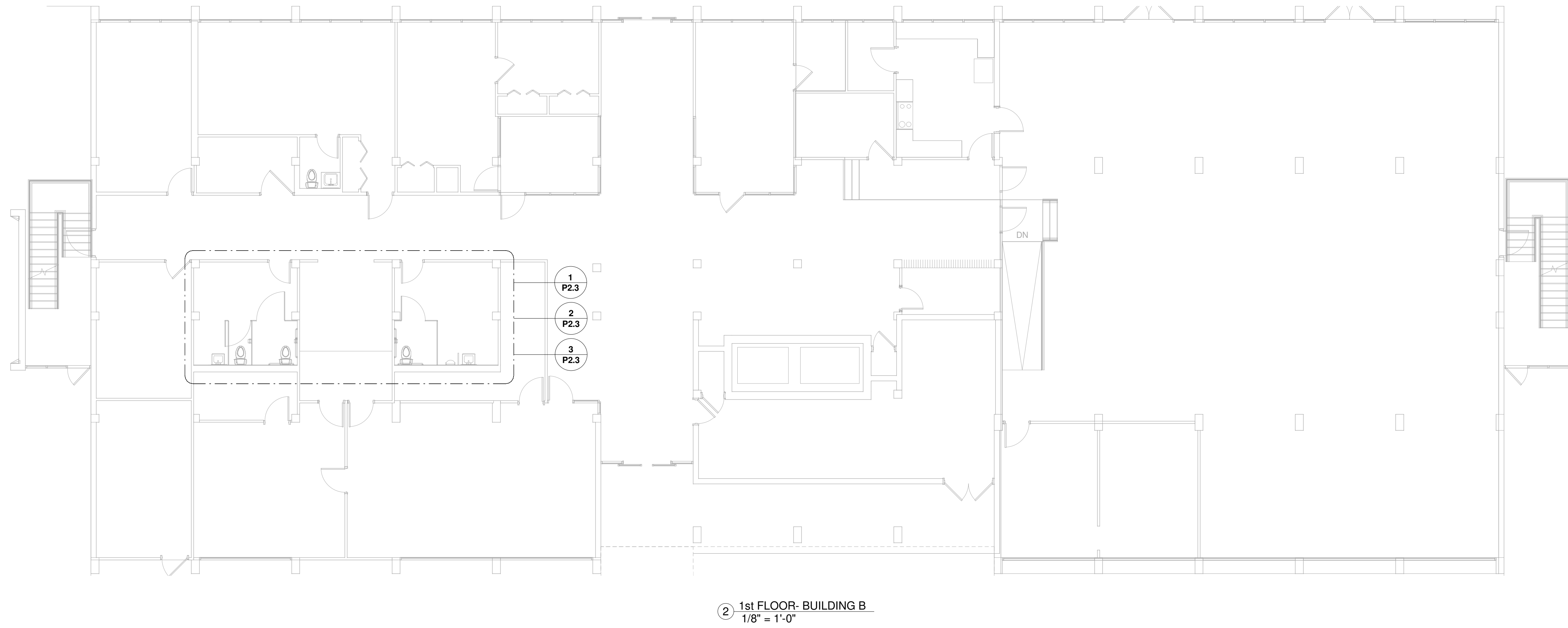
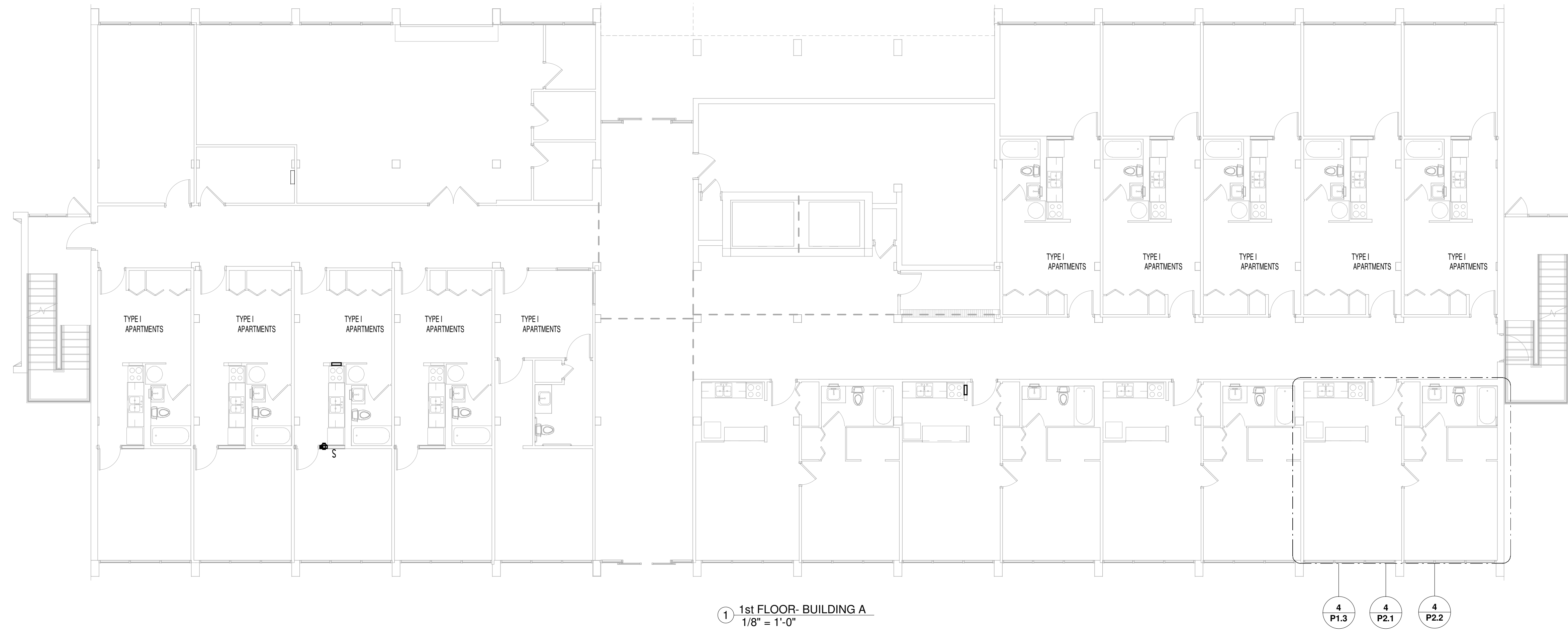
Revisions	No.	Description	Date

Job Number: 19136.00  
TYPICAL APARTMENTS - HVAC

**M2.1**







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Revisions		
No.	Description	Date

Job Number: 19136.00

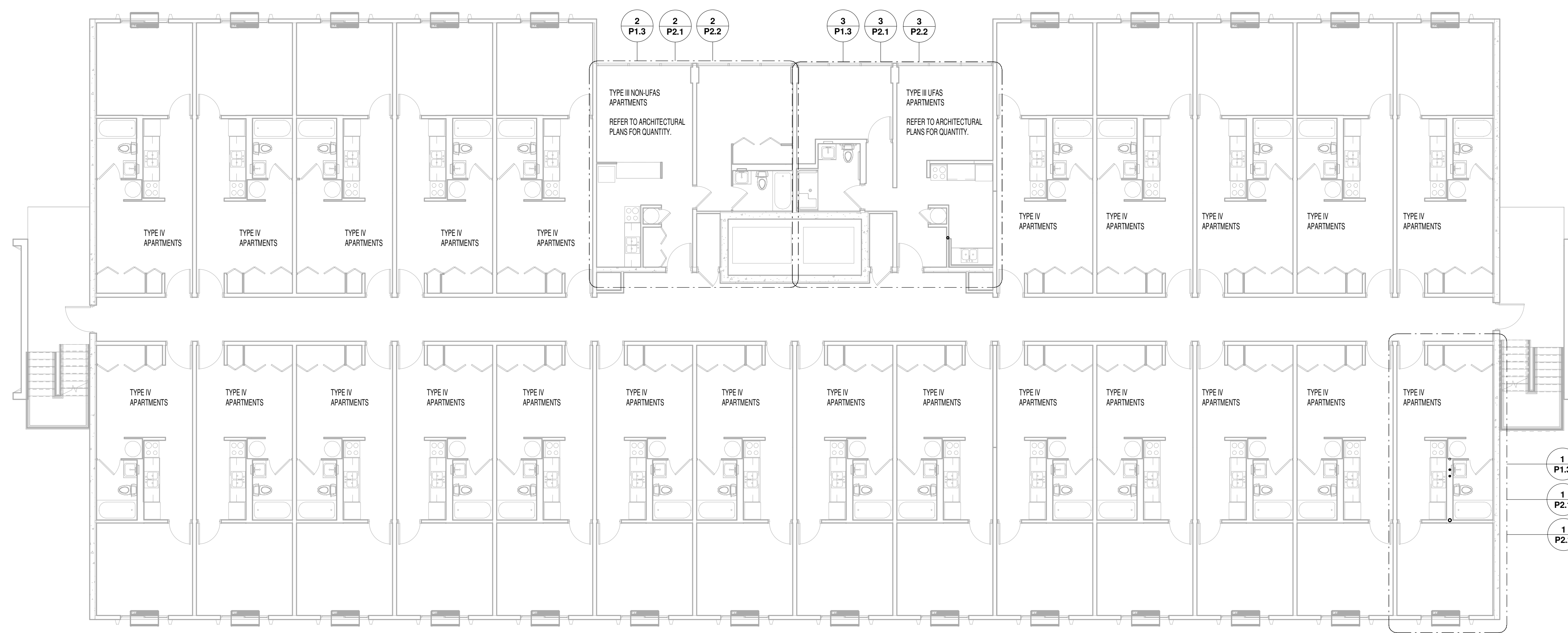
**BUILDING A & B - FIRST  
FLOOR PLAN**

**P1.1**

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Checked By: JWH



1 TYPICAL FLOOR PLAN (2ND THRU 6TH) BUILDINGS A & B  
1/8" = 1'-0"

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Project Phase: Construction Document

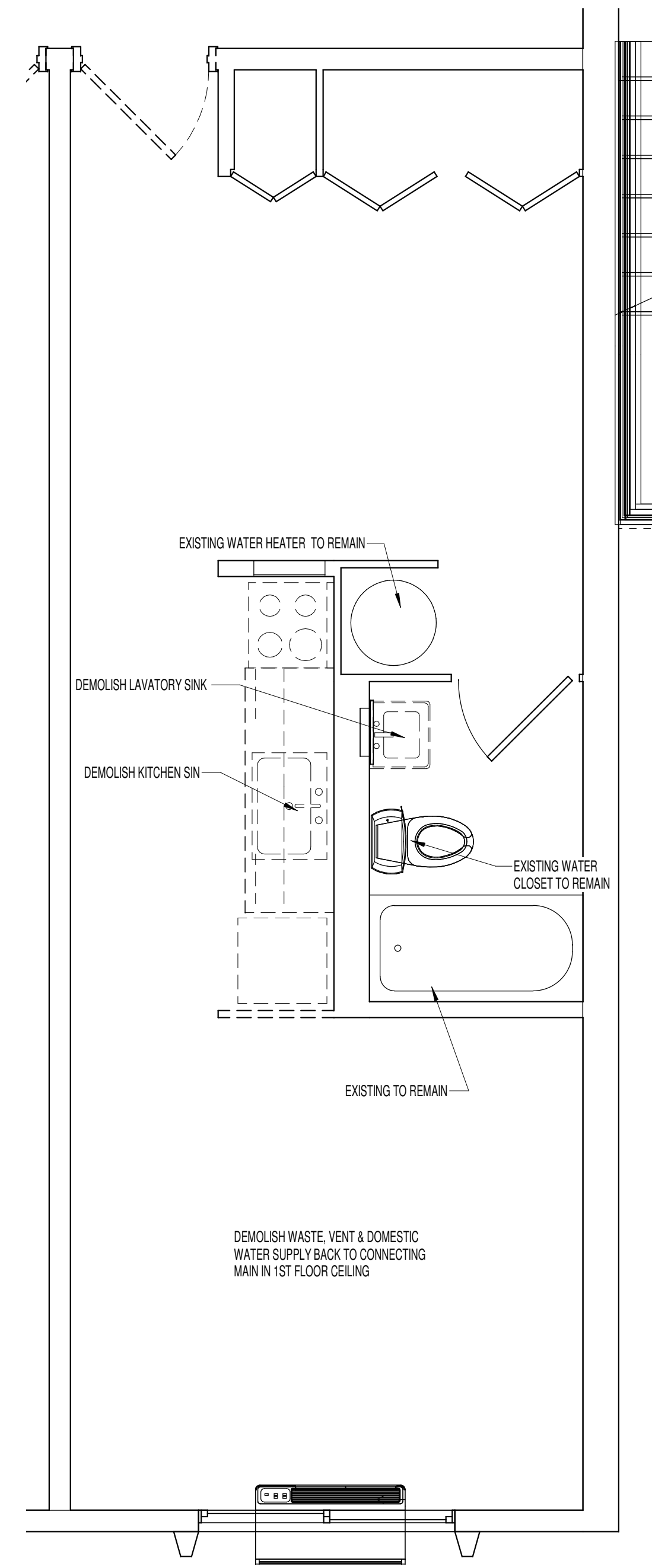
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Revisions		
No.	Description	Date

Job Number: 19136.00

TYPICAL FLOOR PLAN  
(2ND THRU 6TH)  
BUILDINGS A & B

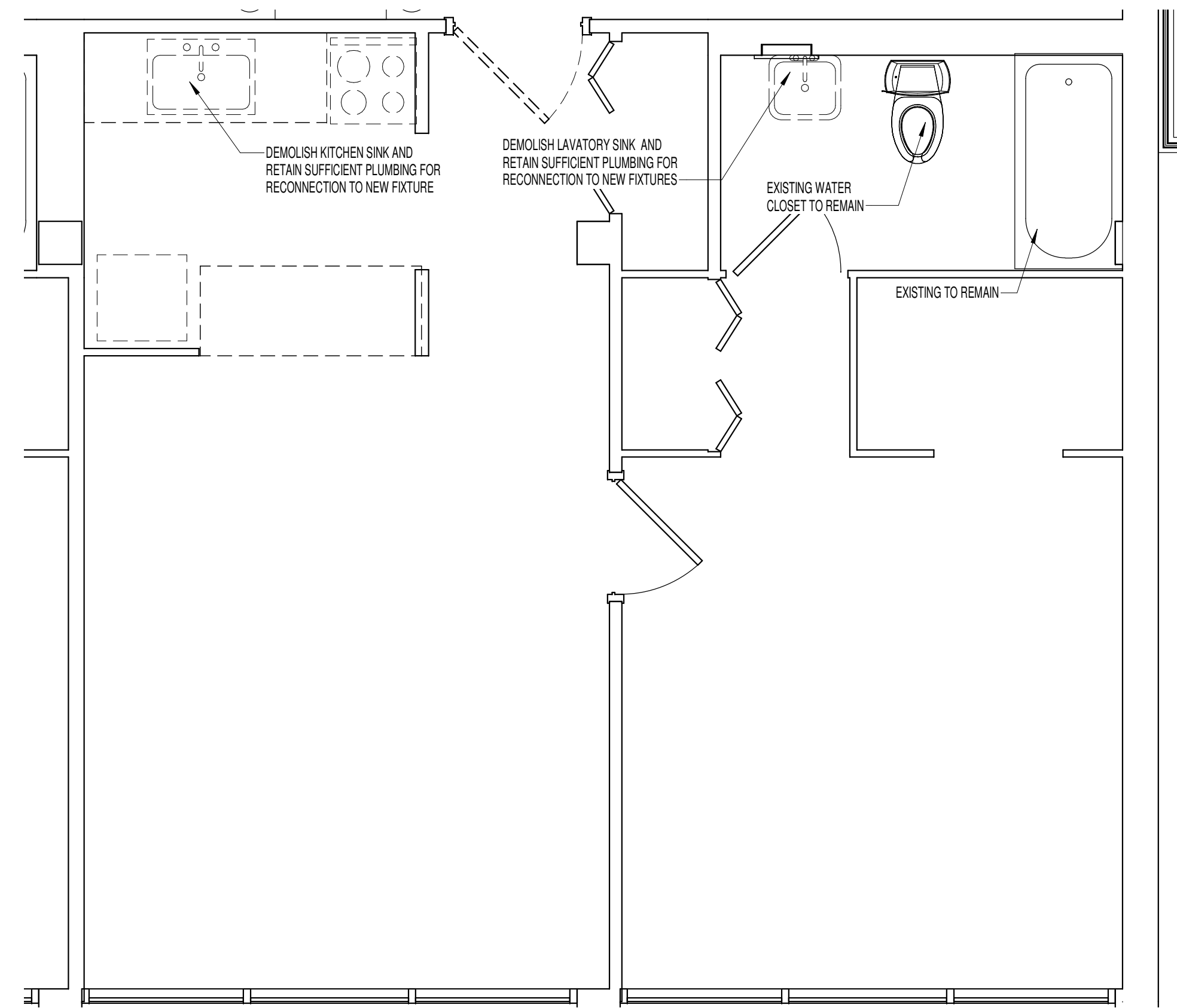
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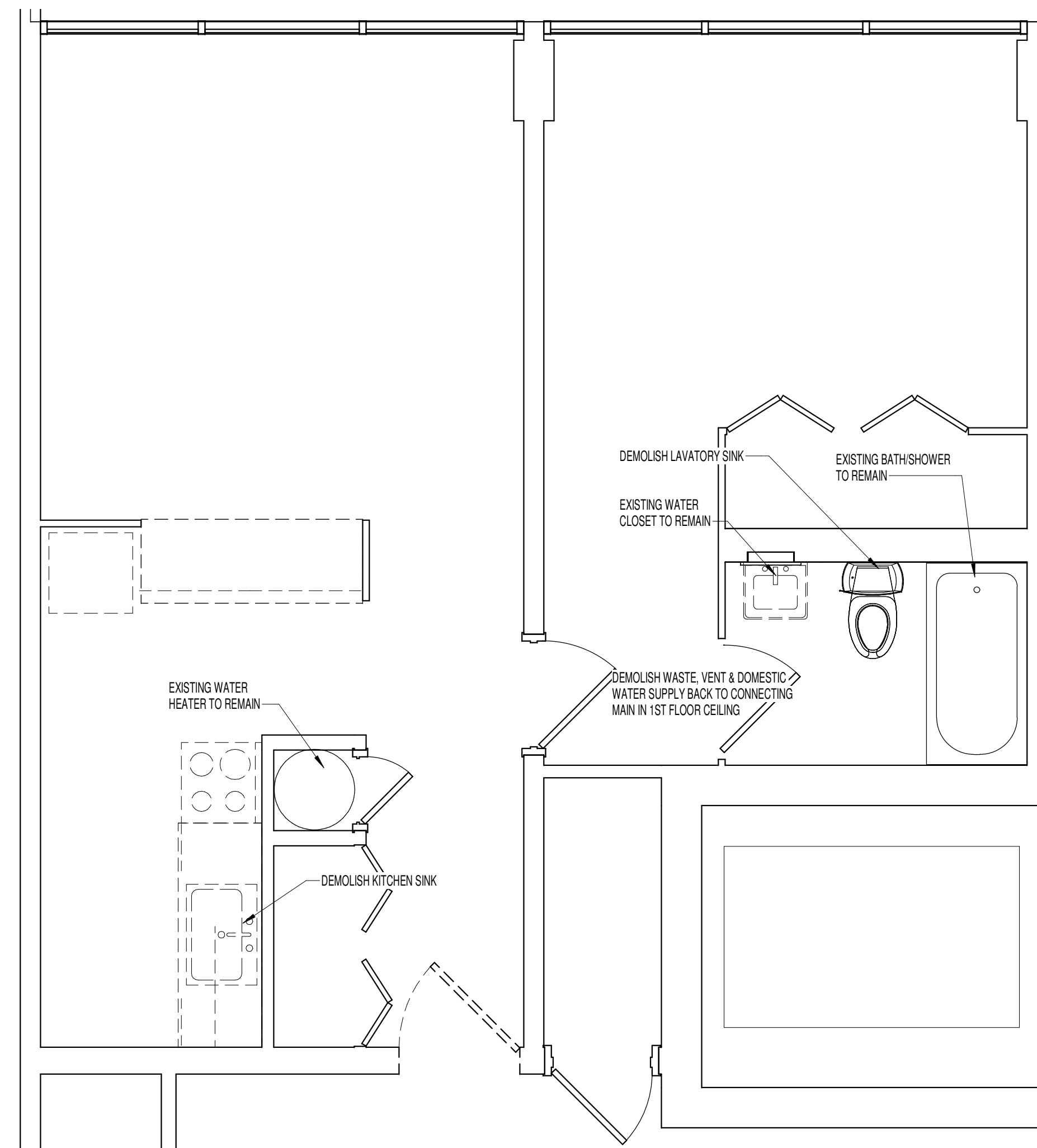
1 TYPE IV APARTMENT DEMOLITION PLAN (TYPE I SIMILAR)  
3/8" = 1'-0"

NOTE: TYPE I UNIT - DEMO FIXTURES ONLY

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER, TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

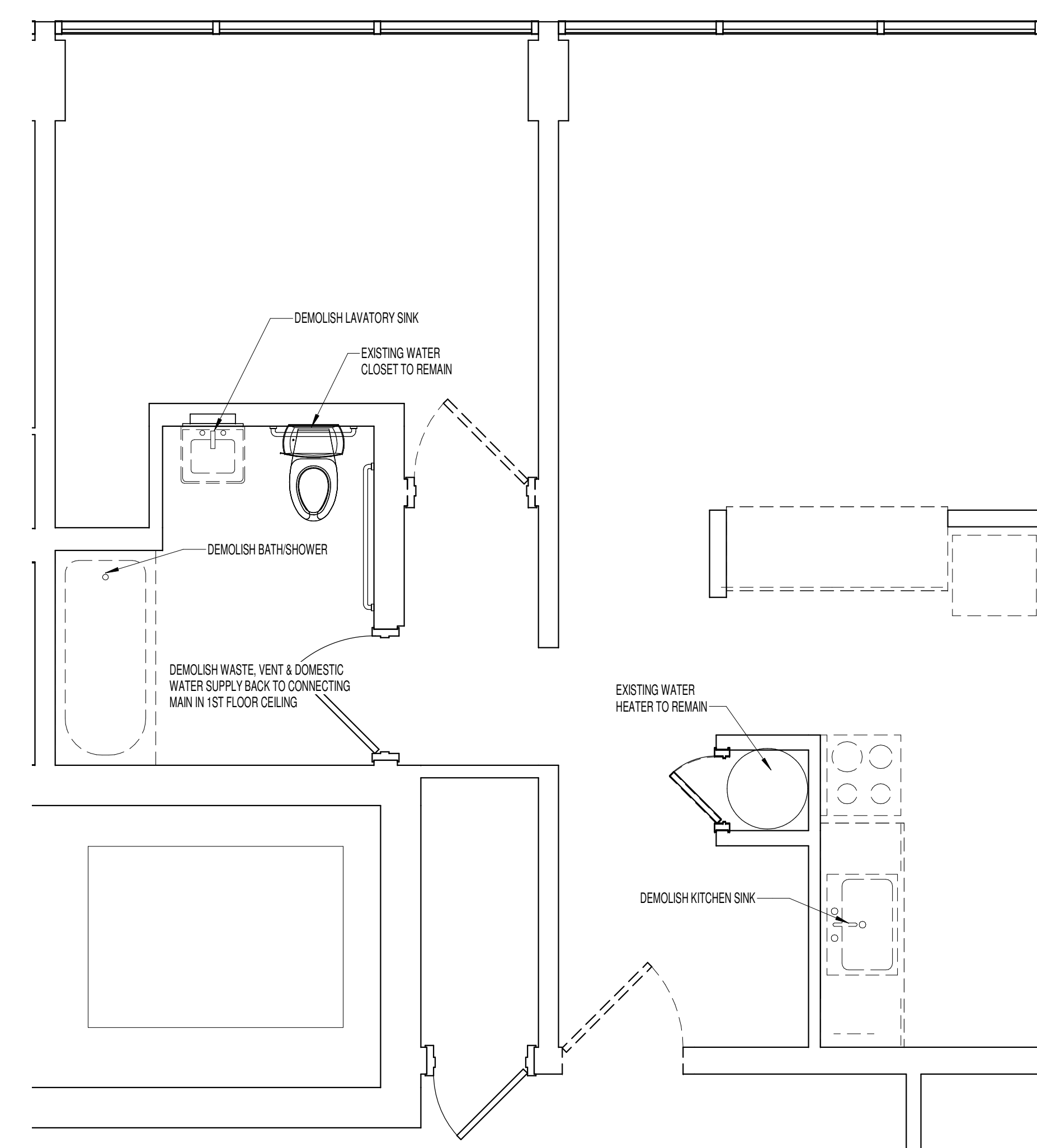


4 TYPE II APARTMENT DEMOLITION PLAN  
3/8" = 1'-0"



2 TYPE III APARTMENT DEMOLITION PLAN  
3/8" = 1'-0"

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER, TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

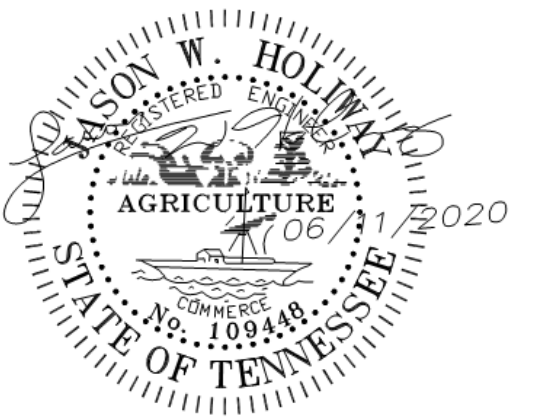


3 TYPE III USAF APARTMENT DEMOLITION PLAN  
3/8" = 1'-0"

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER, TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

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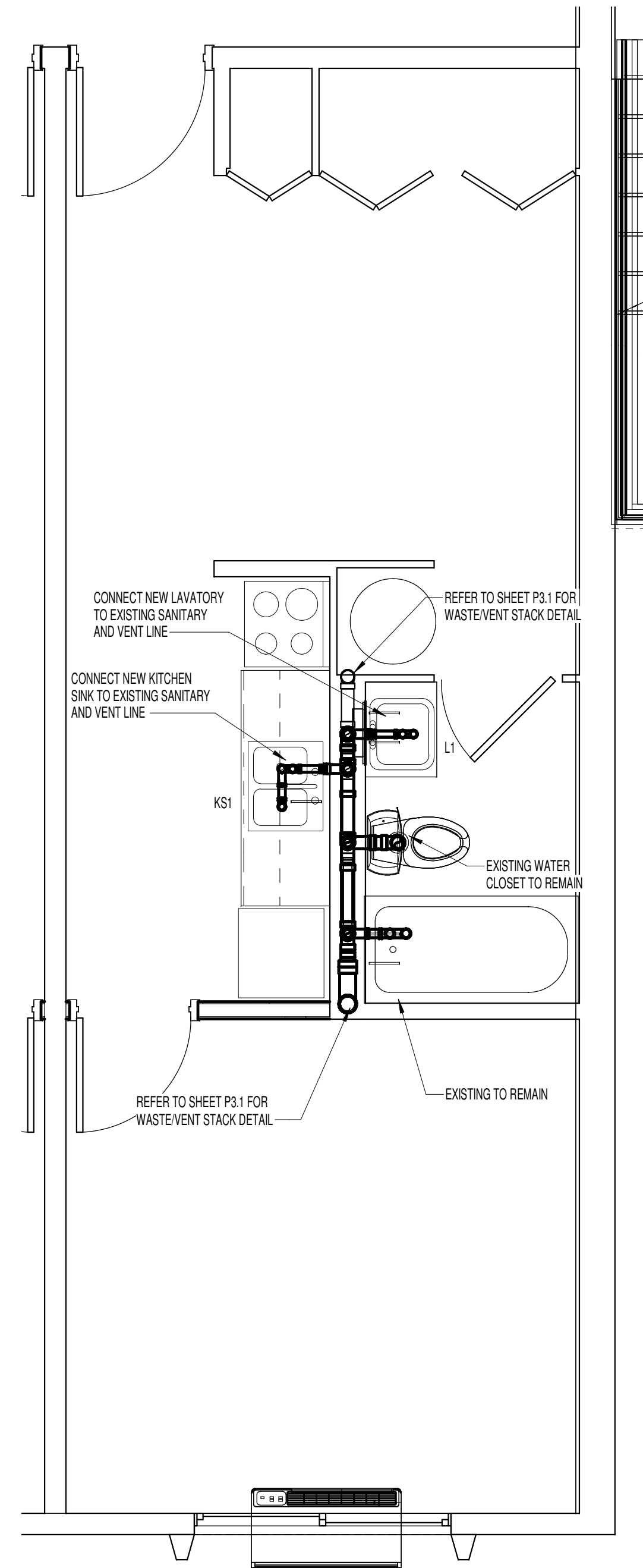
Project Phase: Construction Document

Issue Date: 04/08/20		
Revisions		
No.	Description	Date
4	CLARIFICATION	06/11/2020

Job Number: 19136.00

ENLARGED DEMOLITION  
- TYPICAL APARTMENTS

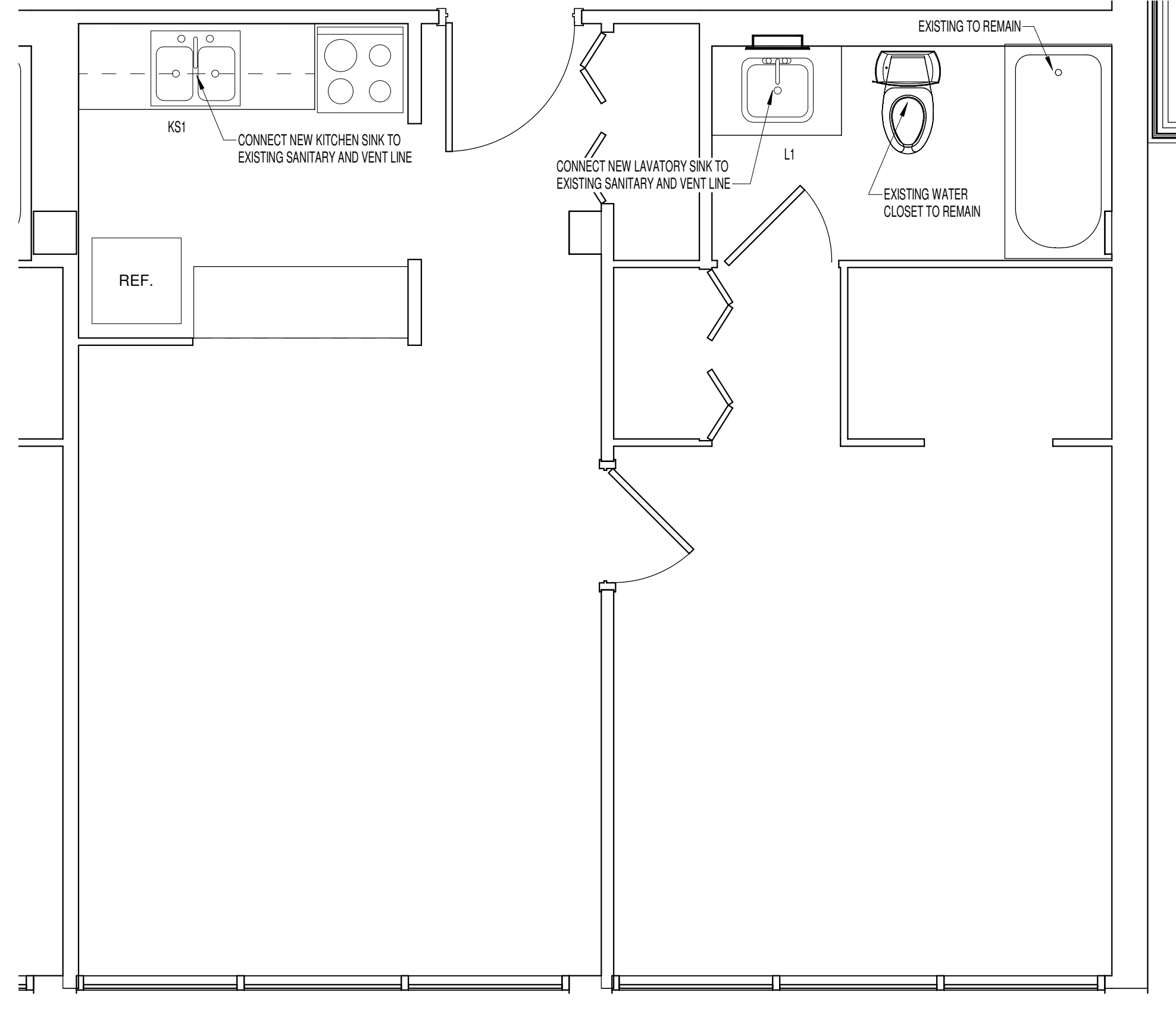
**P1.3**



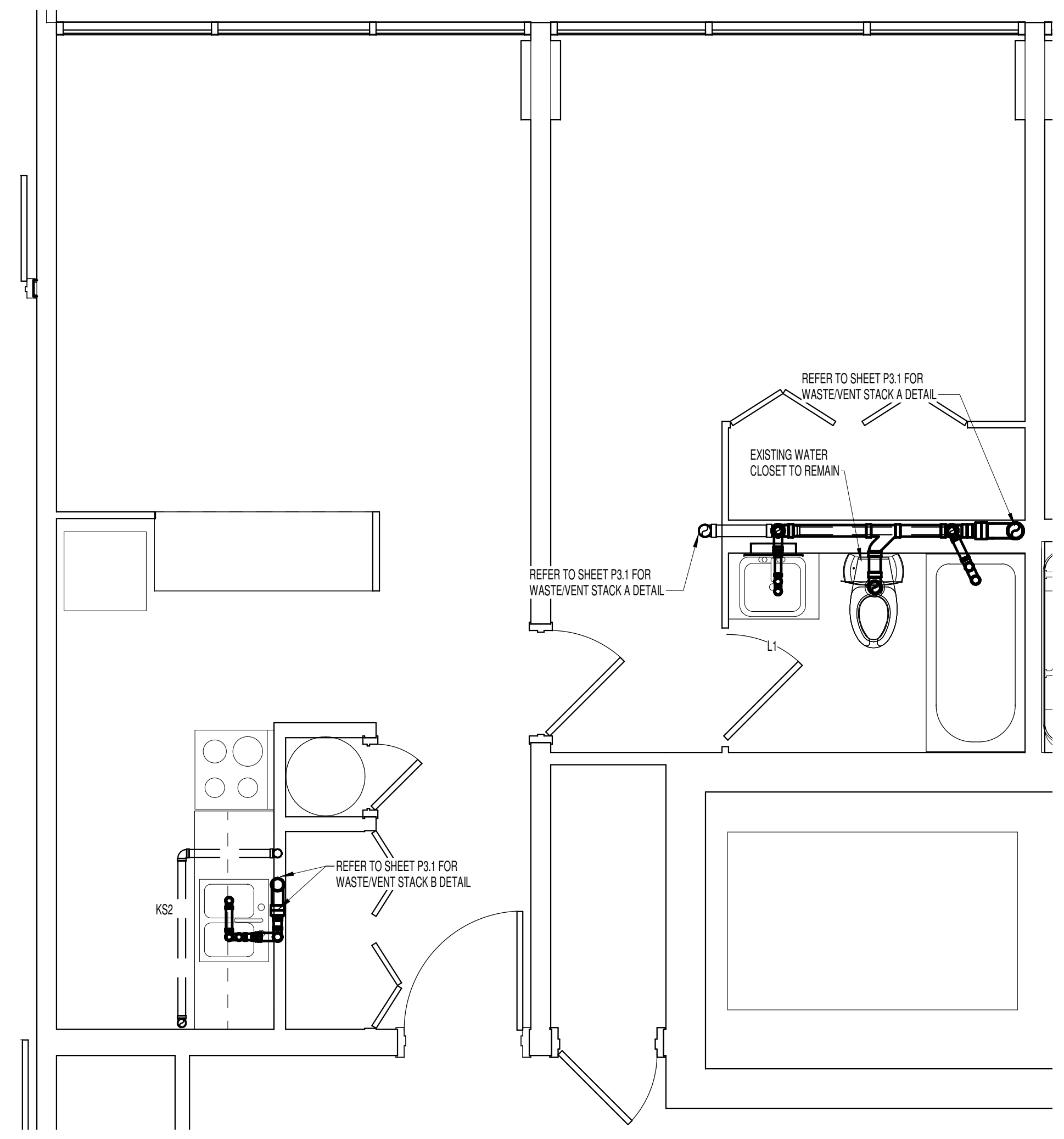
1 TYPE IV APARTMENT SANITARY PLAN (TYPE I SIMILAR)  
3/8" = 1'-0"

NOTE: TYPE I UNIT - DEMO FIXTURES ONLY

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER. TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

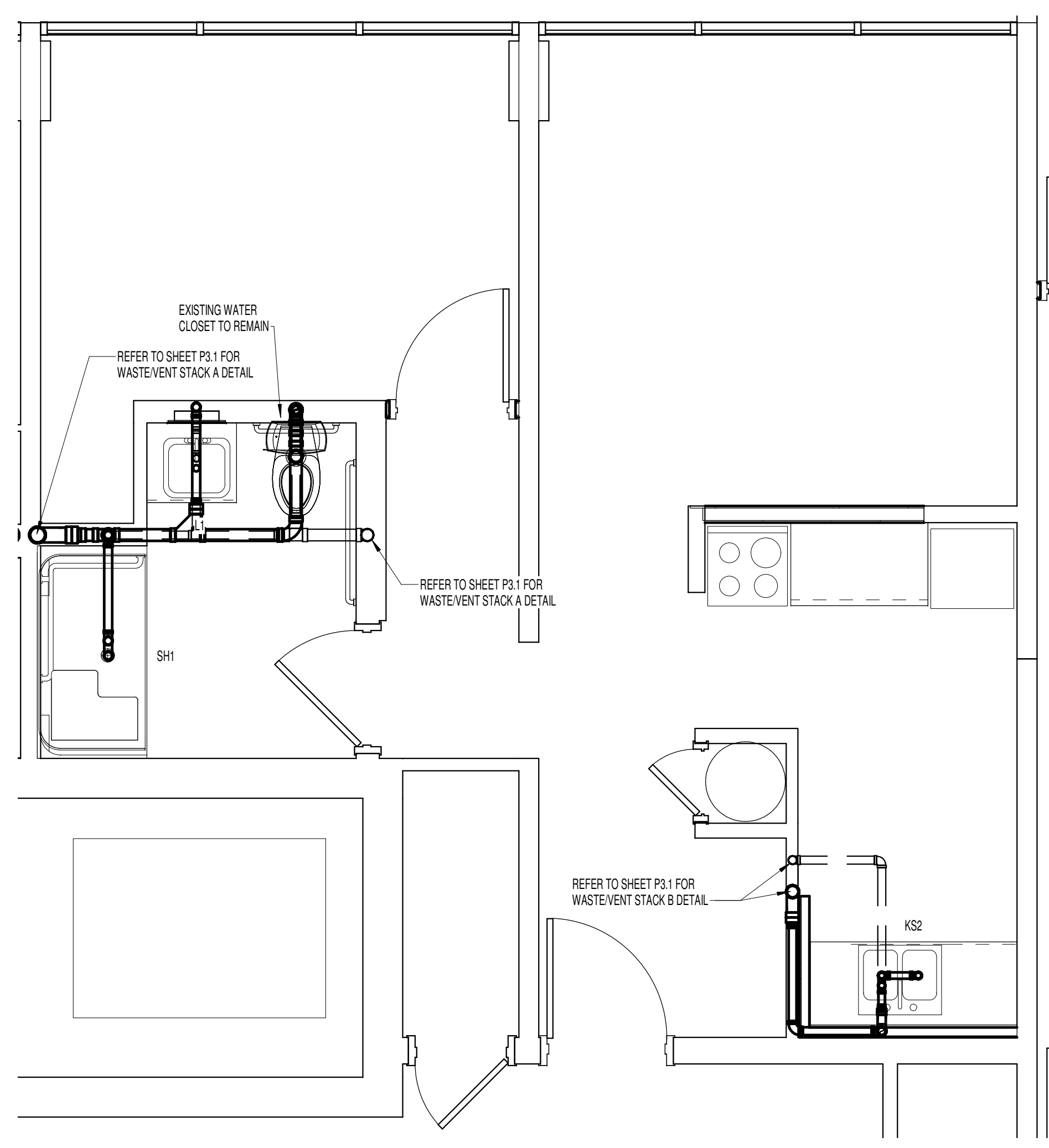


4 TYPE II APARTMENT SANITARY PLAN  
3/8" = 1'-0"



2 TYPE III APARTMENT SANITARY PLAN  
3/8" = 1'-0"

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER. TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.



3 TYPE III USAF APARTMENT SANITARY PLAN  
3/8" = 1'-0"

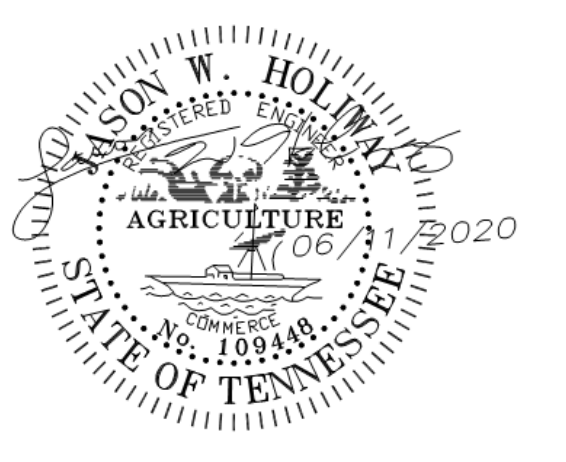
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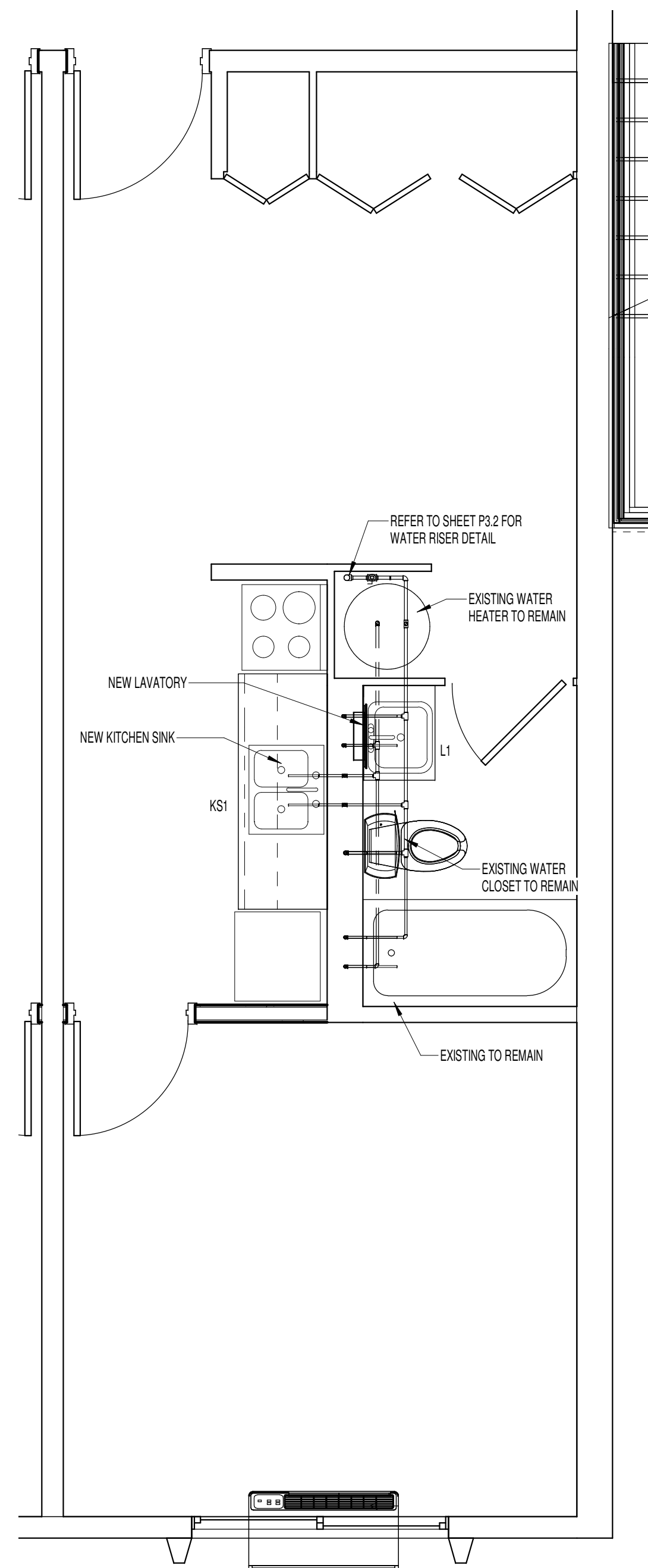
Project Phase: Construction Document

Issue Date: 04/08/20

No.	Description	Date
4	CLARIFICATION	06/11/2020

Job Number: 19136.00  
ENLARGED SANITARY-TYPICAL APARTMENTS

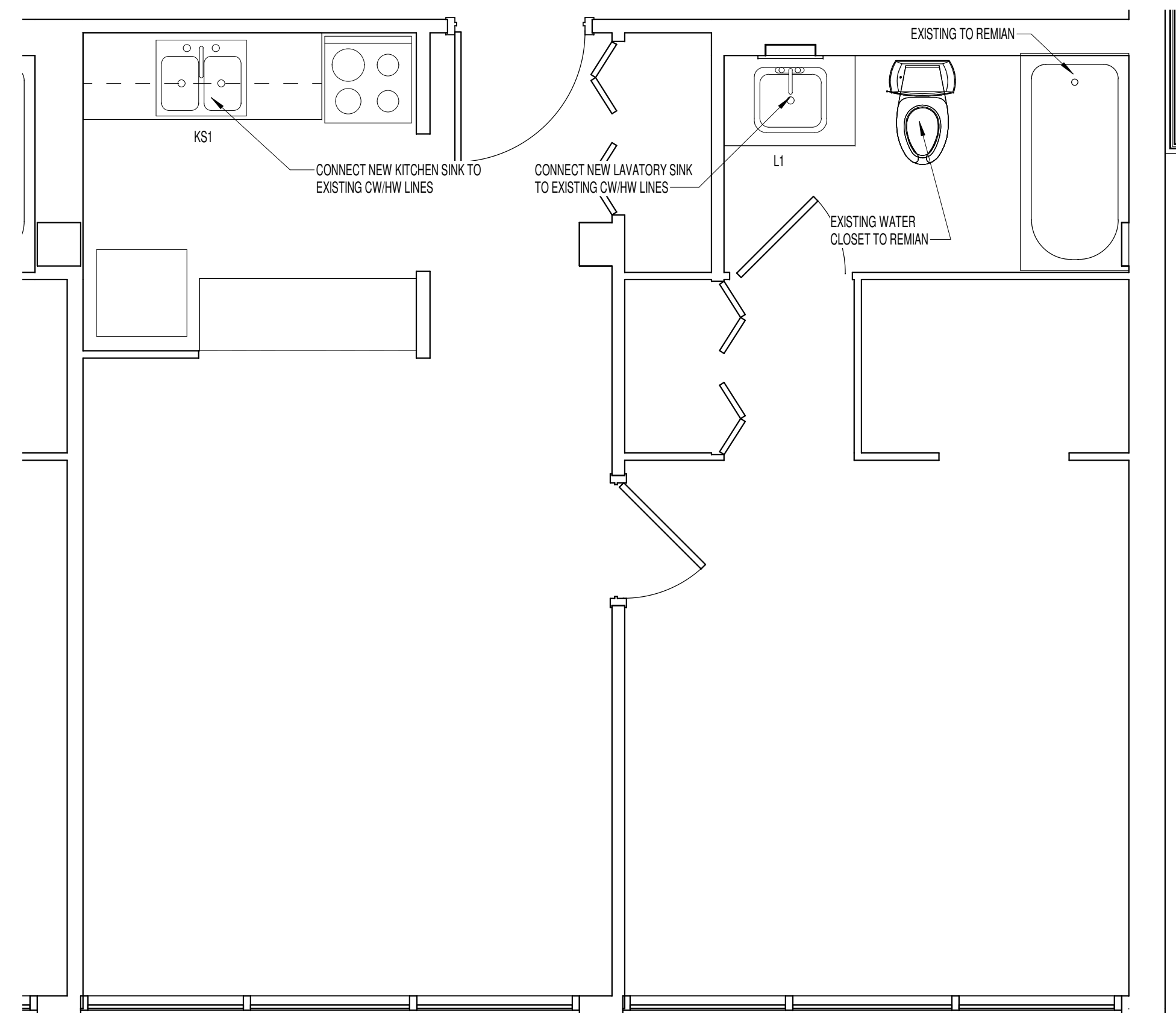
P2.1



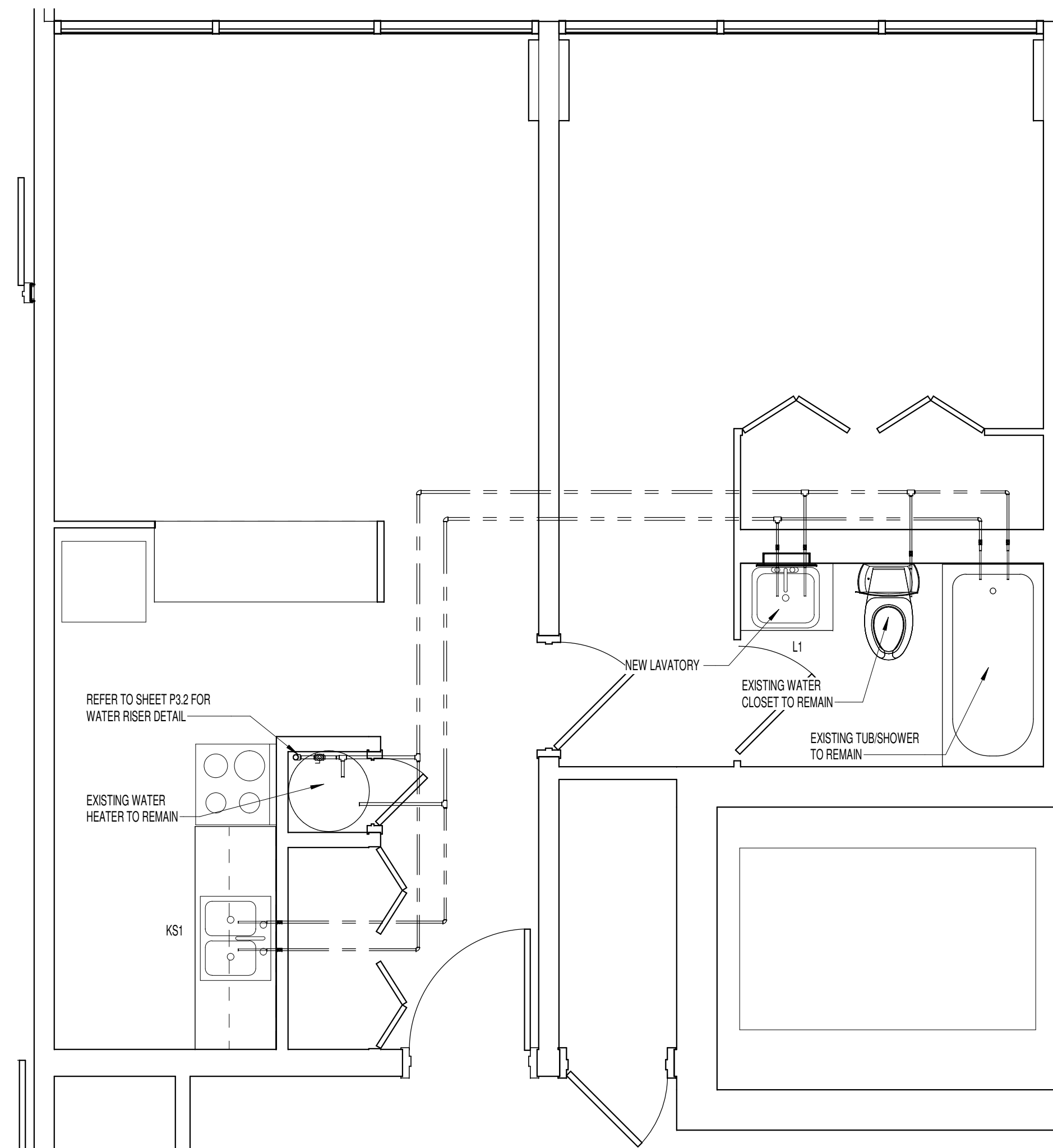
**1 TYPE IV APARTMENT DOMESTIC WATER PLAN (TYPE I SIMILAR)**  
3/8" = 1'-0"

NOTE: TYPE I UNIT - DEMO FIXTURES ONLY

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER, TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

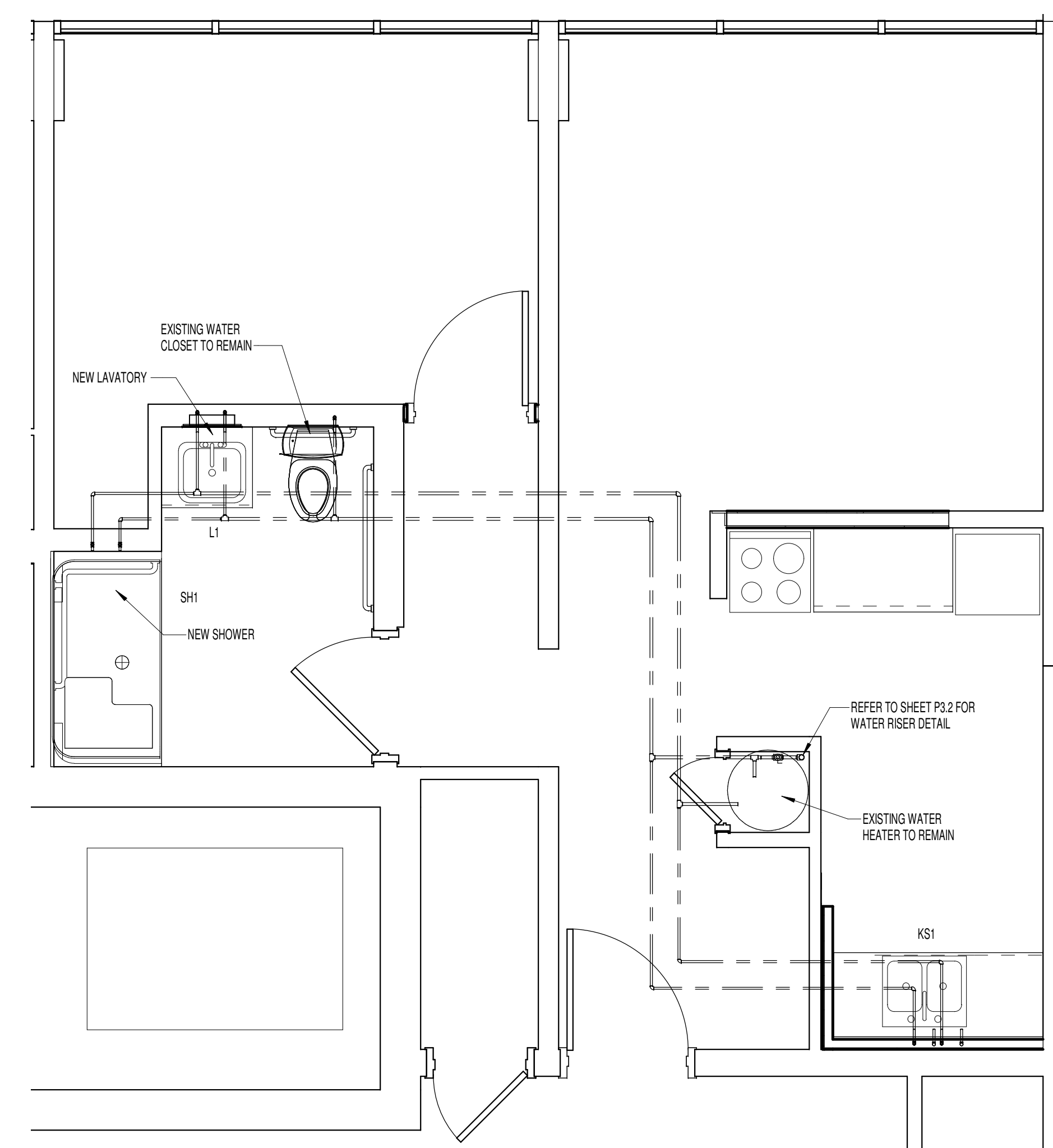


**4 TYPE II APARTMENT DOMESTIC WATER PLAN**  
3/8" = 1'-0"



**2 TYPE III APARTMENT DOMESTIC WATER PLAN**  
3/8" = 1'-0"

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER, TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

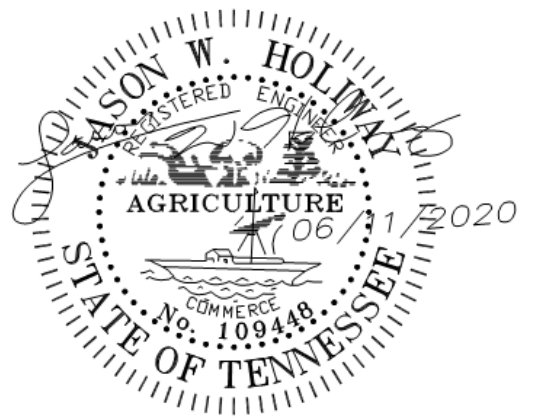


**3 TYPE III USAF APARTMENT DOMESTIC WATER PLAN**  
3/8" = 1'-0"

NOTE: ADD ALTERNATE - ALL WASTE AND VENT AND DOMESTIC WATER SUPPLY PIPING WITHIN APARTMENT FROM ALL FIXTURES, NEW AND EXISTING TO REMAIN, TO VERTICAL RISER, TO BE REPLACED WITH NEW. THIS INCLUDES PIPE LOCATED IN CHASE, WALLS, AND EXPOSED TO VIEW.

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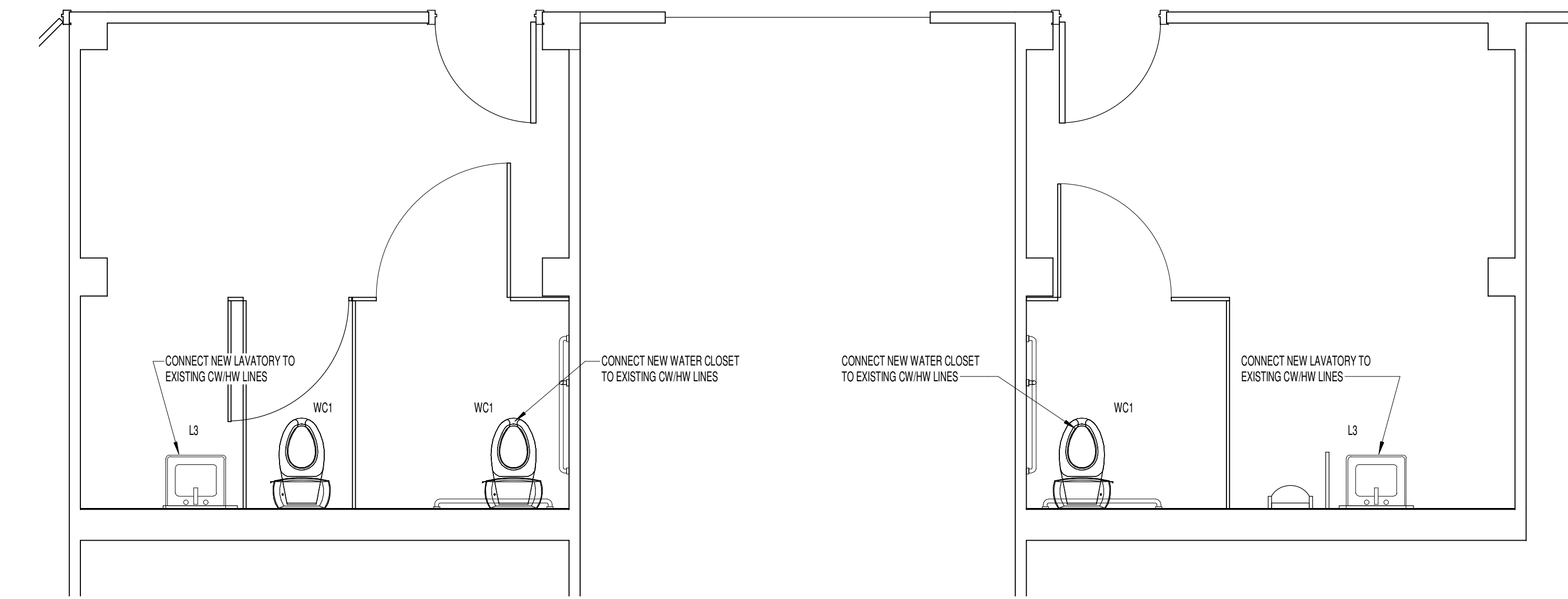


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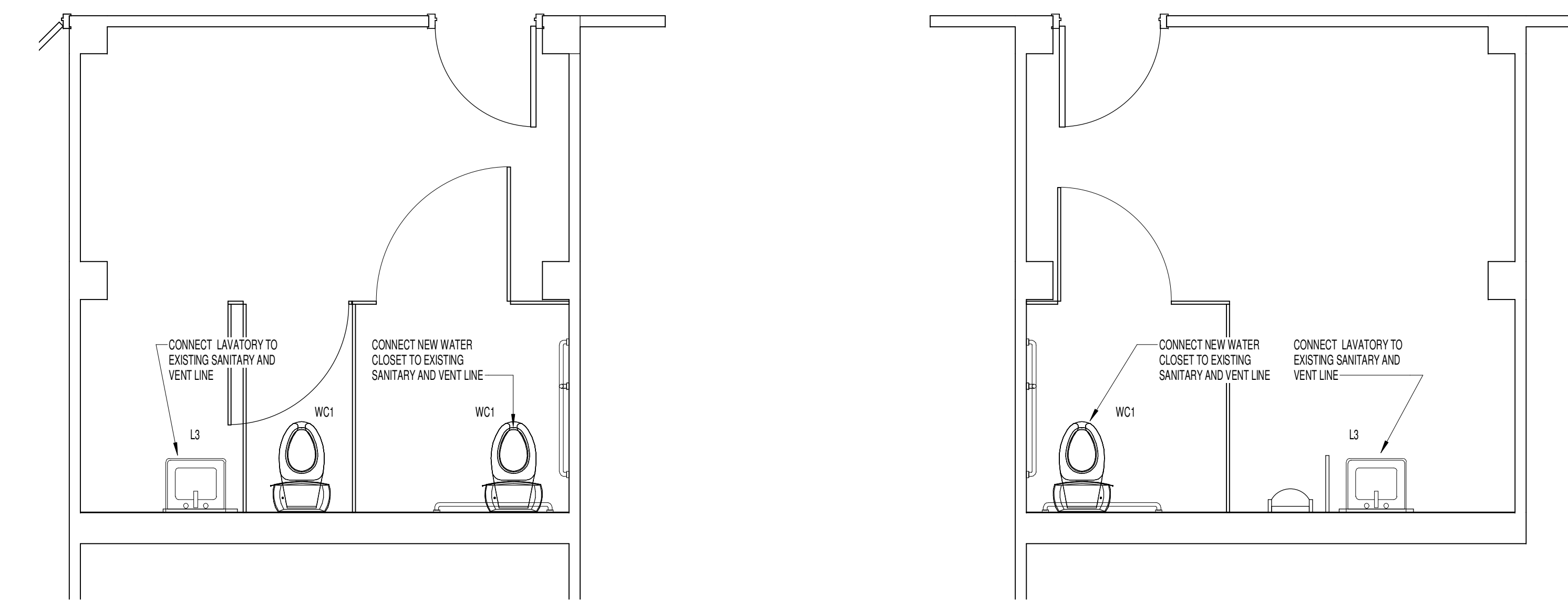
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Revisions		
No.	Description	Date
4	CLARIFICATION	06/11/2020

Job Number: 19136.00

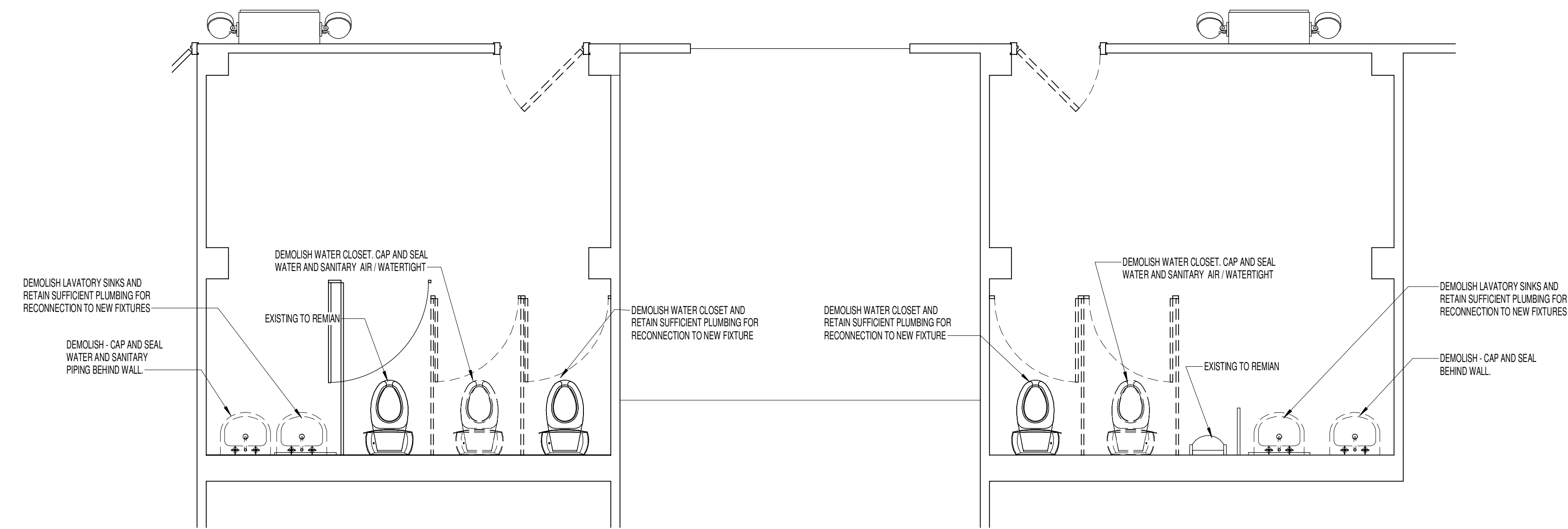
ENLARGED DOMESTIC  
WATER - TYPICAL  
APARTMENTS  
**P2.2**



3 PUBLIC RESTROOM DOMESTIC WATER PLAN  
3/8" = 1'-0"



2 PUBLIC RESTROOM SANITARY PLAN  
3/8" = 1'-0"



1 PUBLIC RESTROOM DEMOLITION PLAN  
3/8" = 1'-0"

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Revisions		
No.	Description	Date

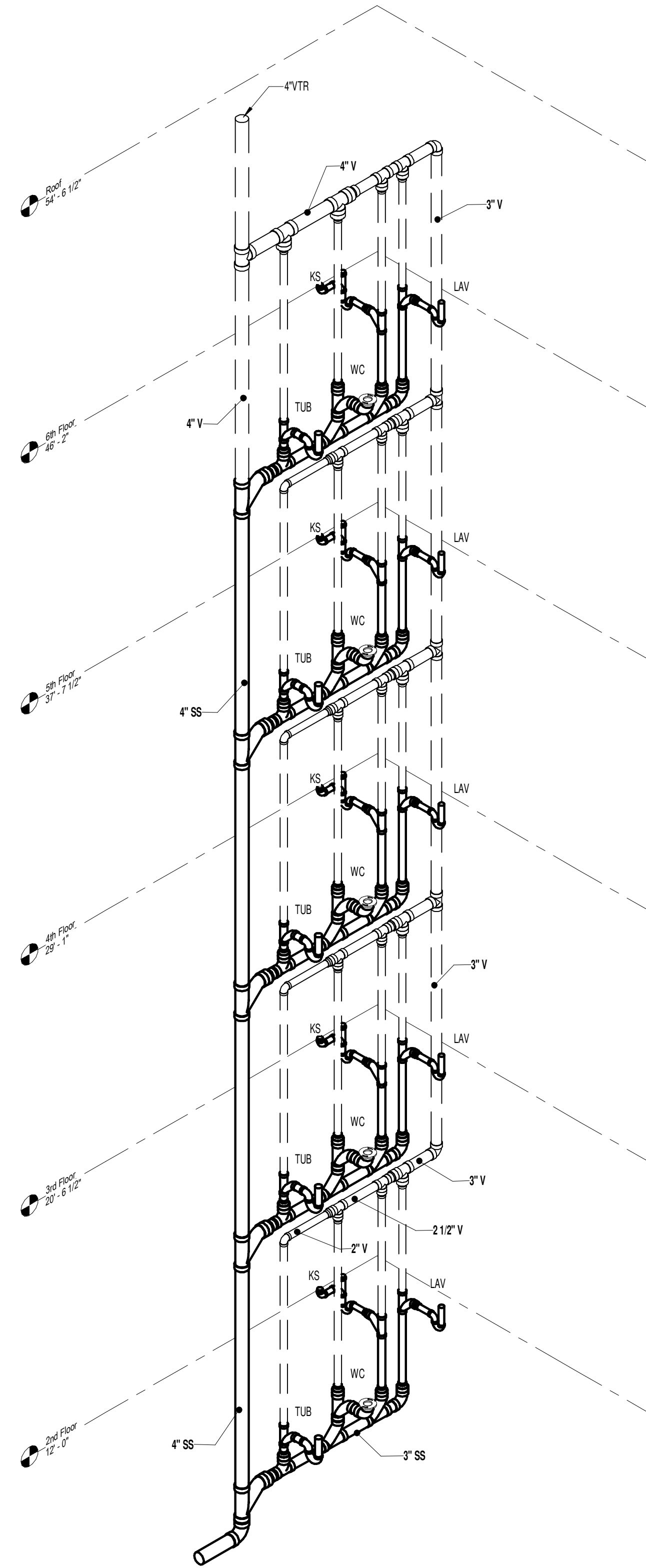
Job Number: 19136.00

ENLARGED DEMO &  
PLUMBING - PUBLIC  
RESTROOMS

**P2.3**

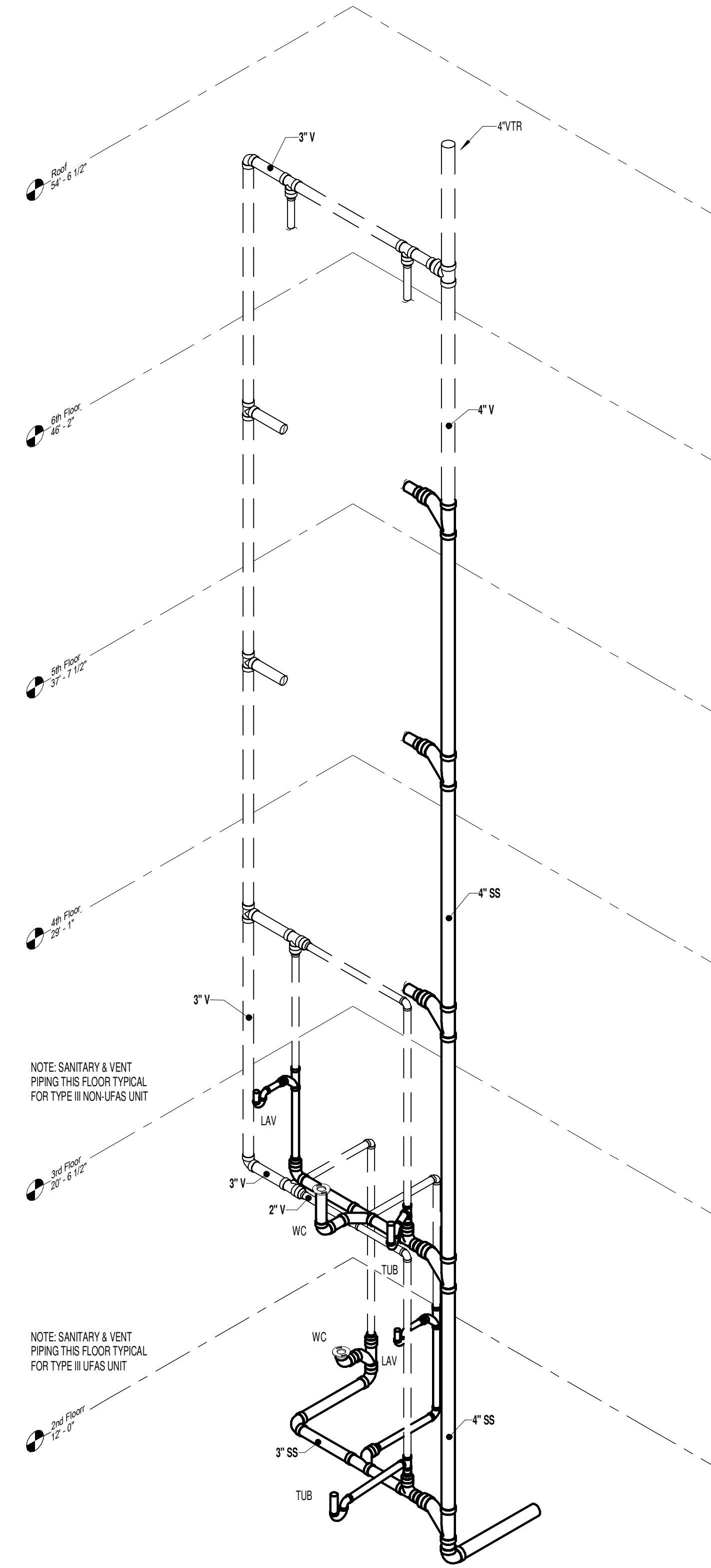
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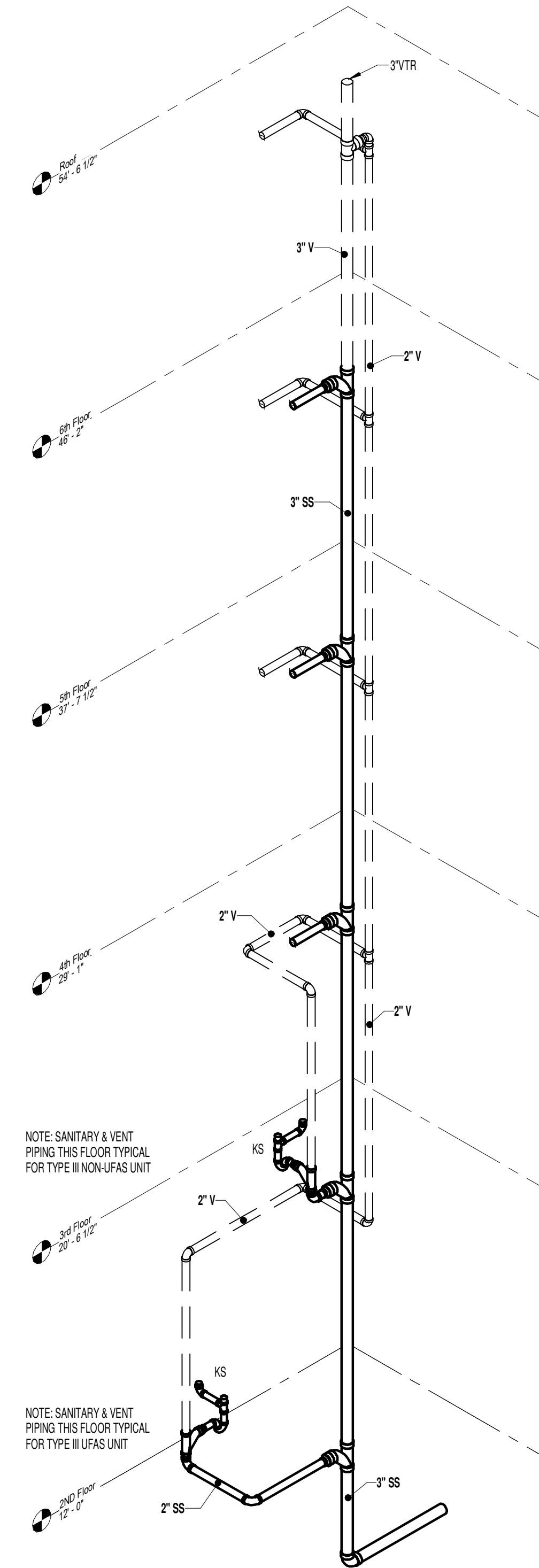
1 TYPE IV UNIT - TYPICAL WASTE STACK

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN



2 TYPE III UNIT - TYPICAL WASTE STACK A

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN



3 TYPE III UNIT - TYPICAL WASTE STACK B

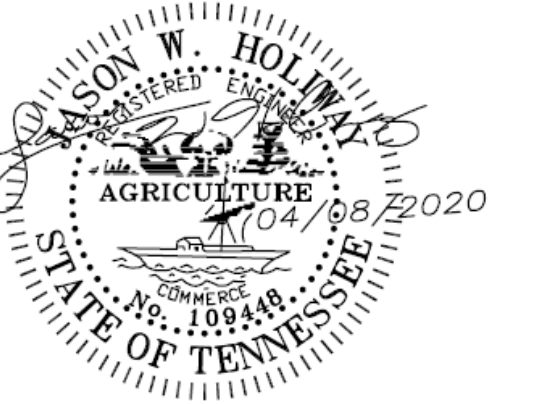
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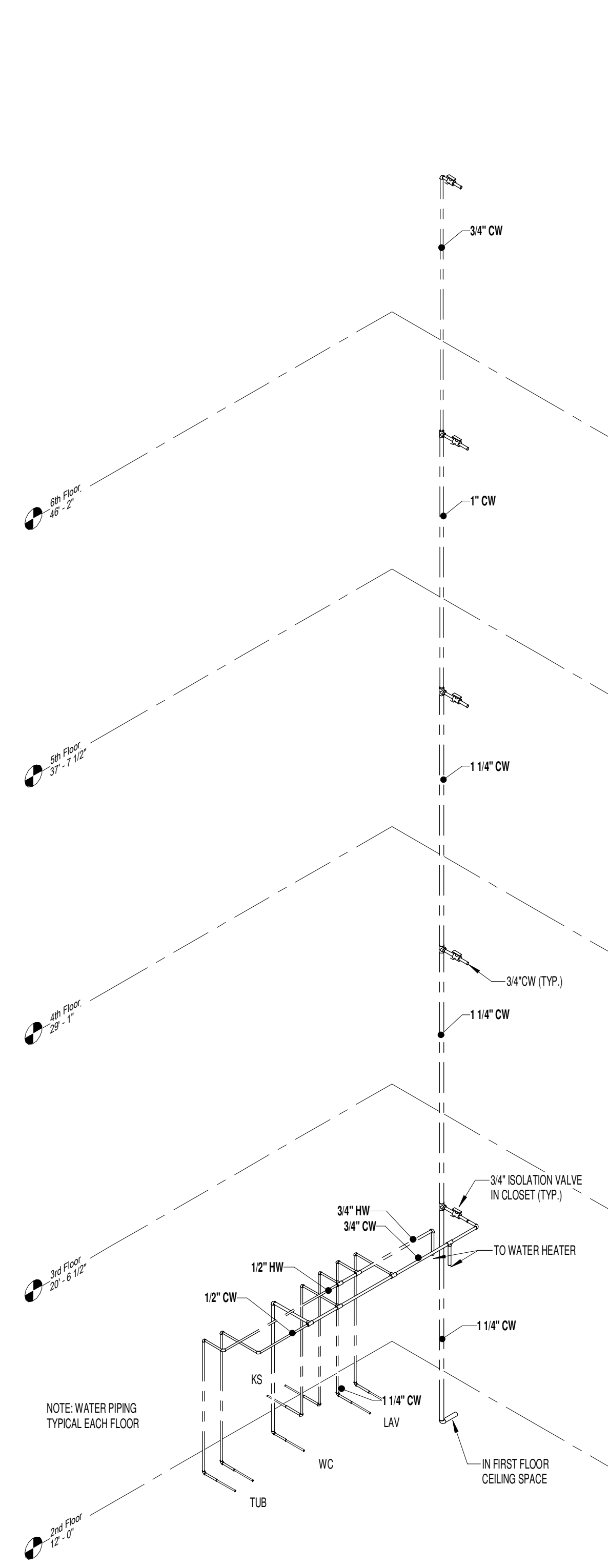
Revisions		
No.	Description	Date

Job Number: 19136.00

SANITARY RISER  
DIAGRAMS

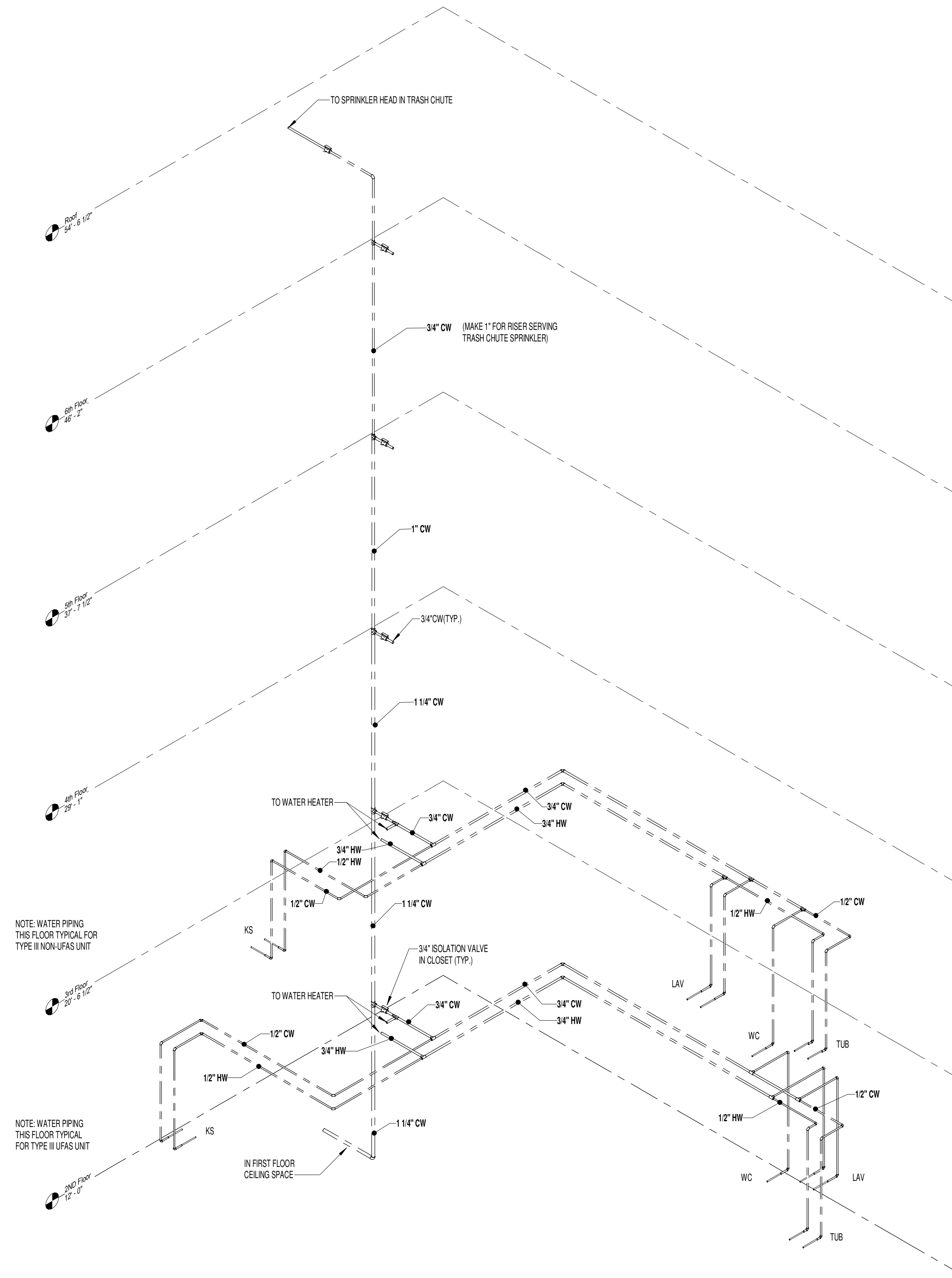
P3.1





1 TYPE IV UNIT - TYPICAL WATER RISER

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN



2 TYPE III UNIT - TYPICAL WATER RISER

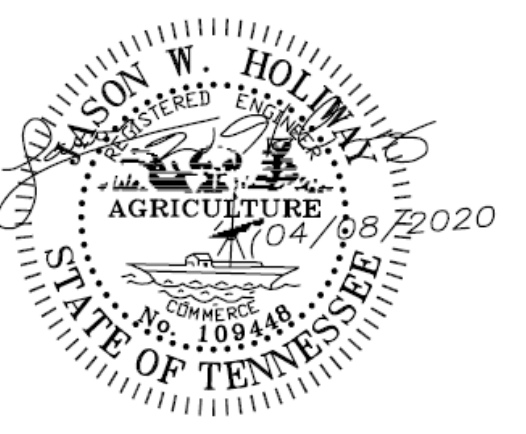
NOTE: REFER TO PLANS FOR EXISTING TO REMAIN

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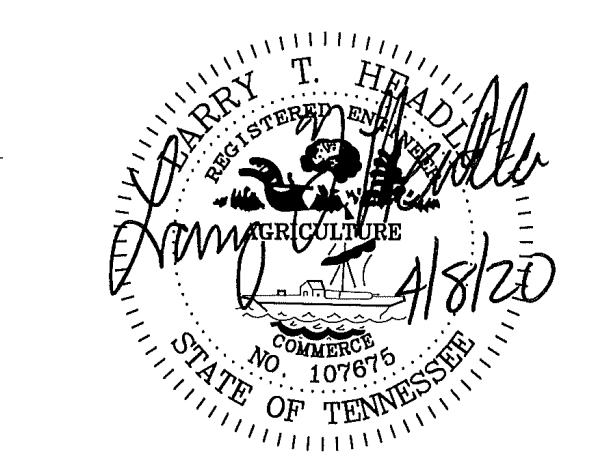
Issue Date: 04/08/20

No.	Description	Date

Job Number: 19136.00

DOMESTIC WATER  
RISER DIAGRAMS

P3.2



Project Phase: Construction Document

Issue Date: 04/08/20

Revisions	No.	Description	Date

### LEGEND

SYMBOL	DESCRIPTION
	EXISTING PANEL/RAMP
	20A, 125V, 2 POLE, 3 WIRE GROUNDING DUPLEX RECEPTACLE MTD. 42" AFF. UNO.
	50A, 250V, 3 POLE, 4 WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 14-6R
	SINGLE STATION ALARM COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WALL OR CEILING MOUNTED AS INDICATED ON PLANS. CONNECT TO 120V. MOUNT TOP OF DETECTOR 6" BELOW CEILING WHERE WALL MOUNTED. INTERLOCK ALL DETECTORS IN UNITS. KIDDE MODEL NO. KN-COPE1. CONNECT TO CIRCUIT SHOWN TO CORRESPONDING APARTMENT PANEL.
	SINGLE STATION ALARM/STROBE, ADA COMPLIANT, WALL OR CEILING MOUNTED AS INDICATED ON PLANS. CONNECT TO 120V. MOUNT TOP OF DETECTOR 6" BELOW CEILING WHERE WALL MOUNTED. INTERLOCK ALL DETECTORS IN UNITS. 89K BRAND MODEL NO. 70193SL. CIRCUIT TO DROUOT SHOWN CORRESPONDING APARTMENT PANEL.
	WIRELESS EMERGENCY CALL SYSTEM PULLCORD. PROVIDE SINGLE GANG PLASTIC BOX AND MOUNT PULLCORD AT HEIGHT TO WHERE CORD HANDS WITHIN 2' OF FLOOR. RCARE BP 719WR OR EQUAL. PROVIDE BATTERIES AS NECESSARY.
	WIRELESS EMERGENCY CALL SYSTEM LOCATOR MOUNTED 14" HIGH ON WALL. MUST CLEAR OF CEILING. PROVIDE MOUNTING BRACKET AND POWER SUPPLY. RCARE LT-49-64 OR EQUAL.
	WIRELESS EMERGENCY CALL SYSTEM HUB WITH BUILT-IN MASTER RECEIVER. PROVIDE SHELF AND MOUNT ABOVE EMERGENCY CALL SYSTEM MONITOR. RCARE RCUBE OR EQUAL.
	WIRELESS EMERGENCY CALL SYSTEM CONSOLE WITH TOUCHSCREEN. PROVIDE VESA WALL MOUNT BRACKET AND MOUNT AT HEIGHT CONFIRMED BY OWNER. RCARE C206T OR EQUAL.
	EMERGENCY LIGHT, WHERE WALL MOUNTED, INSTALL 96" AFF. UNIT SHALL BE EQUIPPED WITH INTEGRAL BATTERY BACK-UP. REFER TO TYPE EM IN LIGHTING FIXTURE SCHEDULE.
	DOOR BELL, BUTTON MOUNT 42" AFF. USE NITFONE CO. MODEL NO. 8K125LWH
	DOOR BELL CHIME, MOUNT 84" AFF. INCLUDED WITH DOOR BELL.

### ELECTRICAL ABBREVIATIONS

ABBREVIATIONS	DESCRIPTION
A	AMPERE
AF	ABOVE FINISHED FLOOR - MEASURED FROM FLOOR TO CENTER OF DEVICE, EXCEPT AS OTHERWISE SPECIFICALLY NOTED.
ADA	AMERICANS WITH DISABILITIES ACT OF 1990
C	CONDUIT
G	GROUND
GF	INDICATES RECEPTACLE OR CIRCUIT BREAKER, AS APPLICABLE, TO HAVE GROUND FAULT PROTECTION
Kcmil	(THOUSAND CIRCULAR MILS)
NEC	NATIONAL ELECTRICAL CODE
PH	PHASE
RE	INDICATES DEVICE IS EXISTING TO BE REPLACED
S.O.	SPACE ONLY
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
WP	INDICATES DEVICE TO HAVE WEATHERPROOF COVER, TAYMAC MODEL NO. MX3200 OR EQUAL.

**GENERAL ELECTRICAL NOTES:**

- THE CONTRACTOR SHALL VISIT THE JOB SITE AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS THAT WILL AFFECT EXECUTION OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING ALL UTILITY CO. AID TO CONSTRUCTION FEES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE NATIONAL ELECTRICAL CODE, NFPA 70, LOCAL CODES, ORDINANCES AND THE APPLICABLE ACCESSIBILITY CODE. SHOULD PLANS AND CODES CONFLICT, THE CODE TAKES PRECEDENCE. MAKE NO CHANGES, EVEN IN THE CASE OF CONFLICT, WITHOUT FIRST OBTAINING APPROVAL OF THE ARCHITECT/ENGINEER.
- PROVIDE 45 USED HERE AND IN THE DRAWINGS IS ALL INCLUSIVE ITEM REQUIRING CONTRACTOR TO FURNISH, INSTALL, WIRE, AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, AND MOUNTING HARDWARE TO ENSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET SYSTEM REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT OTHER FACILITIES AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF FACILITIES, EQUIPMENT, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE COMPLETION OF THIS WORK. ELECTRICAL CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO TENNESSEE ONE CALL (800) 351-1111 PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- PROVIDE SPECIFIED EQUIPMENT, AS NOTED ON DRAWINGS, OR APPROVED EQUAL. ADDITIONAL EQUIPMENT AND MATERIAL MAY BE REQUIRED OTHER THAN THAT SHOWN ON DRAWINGS TO INSTALL THE SPECIFIED EQUIPMENT SUCH AS HANGERS, SUPPORTS, ETC. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, AND EQUIPMENT REQUIRED.
- THE CONTRACTOR SHALL VERIFY THAT THE ACTUAL EQUIPMENT SUPPLIER HAS THE SAME ELECTRICAL SPECIFICATIONS AS THE EQUIPMENT USED AS THE BASIS OF DESIGN. IF THE EQUIPMENT IS DIFFERENT, THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE PANELS AND CIRCUITS AND INCLUDE THEM IN SUBMITTALS.
- ALL ITEMS SHALL BE NEW, USED EQUIPMENT AND MATERIALS WILL NOT BE ALLOWED UNLESS SPECIFICALLY NOTED TO BE EXISTING OR LOCATED ON RESPECTIVE PROJECT SITE.
- ALL MATERIALS SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORY, INC.
- THIS DESIGN IS BASED OFF AN EXISTING 120/208 VOLT, 3 PHASE SERVICE TO REMAIN.
- UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT A DIGITAL, PDF COPY OF ELECTRICAL SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL RELAY THEM TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT. THE SUBMITTAL SHALL INCLUDE LIGHTING FIXTURES, SWITCHGEAR, GENERATOR AND FIRE ALARM EQUIPMENT WHEN INCLUDED IN THE PROJECT. OPERATION AND MAINTENANCE MANUALS FOR ALL ELECTRICAL EQUIPMENT SHALL BE COMPLETED AND SUBMITTED IN DIGITAL (PDF) TO THE BUILDING OWNER UPON PROJECT COMPLETION.
- ALL WIRES SHALL BE TERMINATED AND LABELED. ALL JUNCTION BOXES SHALL BE LABELED TO INDICATE THE CIRCUITS CONTAINED IN THE BOX.
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER AND BE A MINIMUM WITH THIN THIN, 600 VOLT INSULATION.
- PROVIDE A SEPARATE NEUTRAL CONDUCTOR FOR EACH UNGROUNDED CONDUCTOR. SHARING OF NEUTRALS IS PROHIBITED.
- DO NOT INSTALL MORE THAN THREE CIRCUITS SIX CURRENT CARRYING CONDUCTORS IN A CONDUIT.
- THE MINIMUM CONDUIT SIZE SHALL BE 1" INTERIOR CONDUITS SHALL BE EMT. UNDERGROUND CONDUIT AND CONCRETE ENCASED CONDUIT SHALL BE SCHEDULE 40 PVC EXTERIOR EXPOSED CONDUIT SHALL BE SCHEDULE 40 PVC. UNLESS NOTED OTHERWISE.
- MC CABLE MAY BE USED FOR CONCEALED BRANCH CIRCUIT WIRING IN INTERIOR DRY LOCATIONS.
- A GREEN COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND EQUIPMENT.
- BONDING JUNCTIONS SHALL BE USED TO BOND CONDUIT TO ENCLOSURES, BOXES, AND EQUIPMENT WHERE KNOCKOUTS ARE USED.
- ALL DIMENSIONS ARE MEASURED TO THE CENTER OF THE DEVICE.
- THE CONTRACTOR SHALL PROVIDE PRESTOPPING OF ALL RATED PENETRATIONS PER DETAILS. ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDES OF A FIRE RATED WALL SHALL HAVE A TWO FOOT MINIMUM HORIZONTAL SEPARATION.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY POWER AND LIGHT, EQUIVALENT TO ONE 150-WATT INCANDESCENT LAMP PER 200 SQ. FT.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.

**LIGHTING NOTES:**

- CONNECT ALL EXIT AND EMERGENCY LIGHTS TO UNSWITCHED LIGHTING CIRCUITS. UNITS SHALL OPERATE AUTOMATICALLY UPON LOSS OF POWER.
- PRIOR TO ORDERING THE SPECIFIED LIGHT FIXTURES, THE CONTRACTOR SHALL VERIFY THE FIXTURE IS SUITABLE FOR THE CEILING TYPE. FOR EXAMPLE, A FIRE RATED FIXTURE SHALL BE INSTALLED IN A FIRE RATED ASSEMBLY. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING.
- MATCH EXISTING REMAINING ELEVATOR FIXTURES TO RECENTLY UPDATED ELEVATOR FUTURE.

**POWER NOTES:**

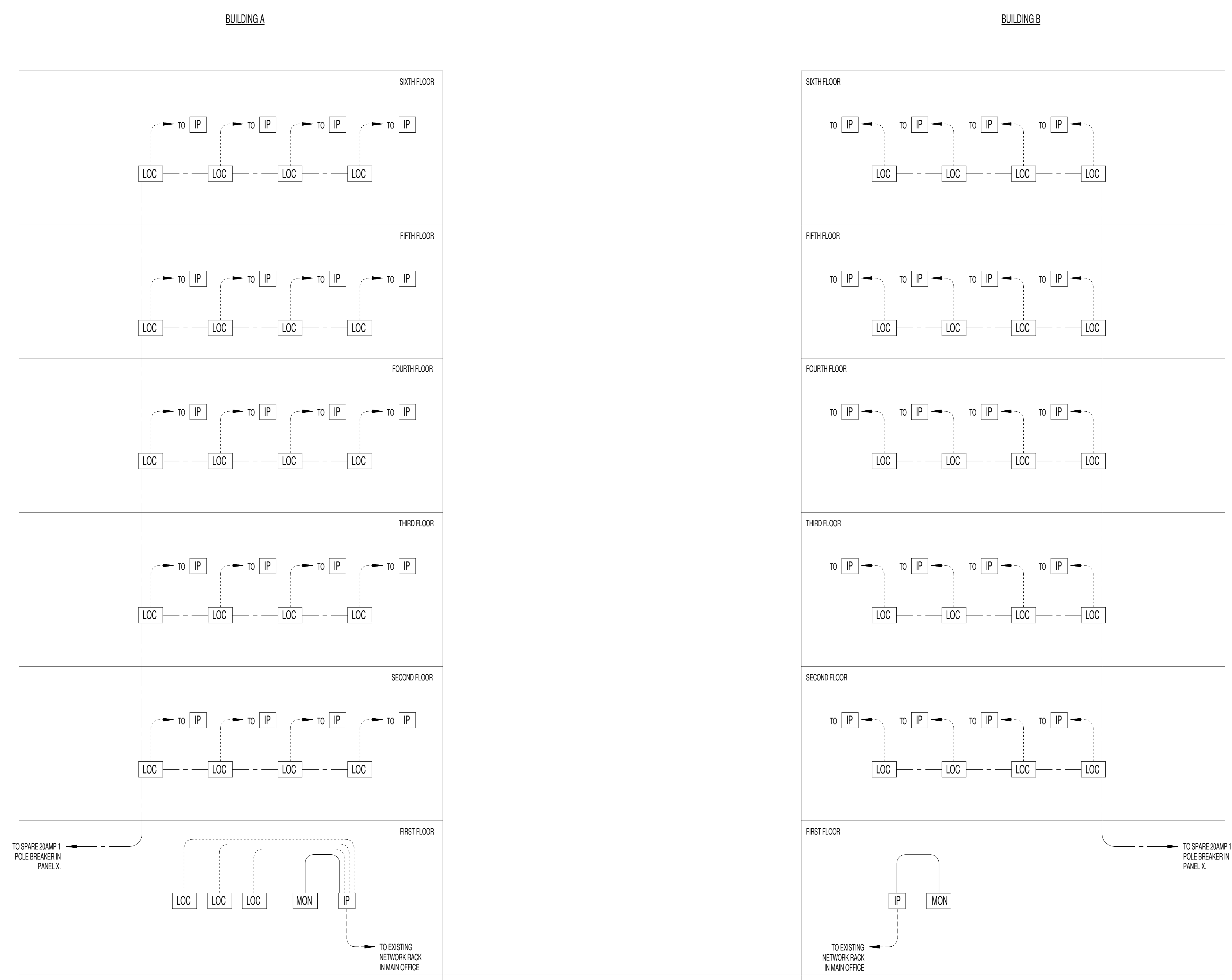
- MOUNT ALL SWITCHES AND OTHER ELECTRICAL EQUIPMENT IN COMPLIANCE WITH APPLICABLE PROVISIONS OF THE APPLICABLE ACCESSIBILITY CODE.
- ALL RESTROOM, EXTERIOR, COUNTER TOP, AND ROOF TOP AREA SERVICE RECEPTACLES SHALL BE 50A.

**COMMUNICATIONS NOTES:**

- CONTRACTOR SHALL FURNISH AND INSTALL ALL COMBINATION TELEPHONE AND DATA CONDUITS, BOXES, PLYWOOD TERMINAL BOARD, ETC.
- ACTIVE EQUIPMENT AND CABLEING TO BE PROVIDED BY OTHERS.
- PROVIDE APPROPRIATE NYLON PULLSTRING ROPE IN ALL EMPTY CONDUITS.
- EMERGENCY CALL SYSTEM TO BE MONITORED AT HEAD END MONITOR DURING NORMAL BUSINESS HOURS AND MONITORED VIA 9PD PARTY OFF-SITE MONITORING COMPANY OUTSIDE OF NORMAL BUSINESS HOURS. OFF-SITE MONITORING TO AT MINIMUM INCLUDE NOTIFICATION THAT A PROPERTY CALL STATION/PULL CHORD HAS BEEN ACTIVATED.

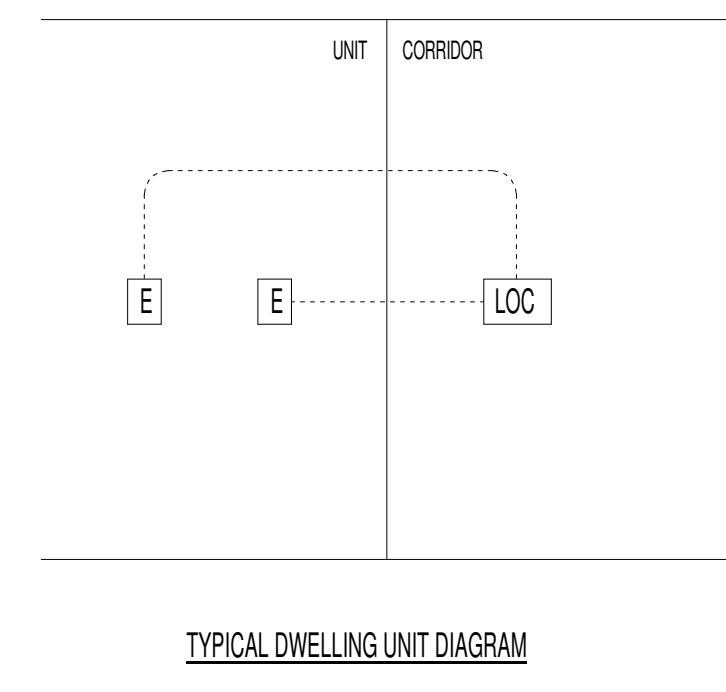
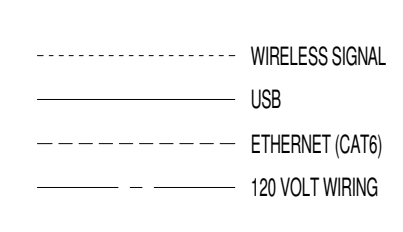
**DEMOLITION NOTES:**

- REMOVE ALL EXISTING DEVICES IN WALL AND CEILINGS BEING REMOVED AND PROPERLY ABANDON CONDUIT SYSTEM. REMOVE ALL EXISTING UNUSED OR ABANDONED CONDUIT, WIRING, JUNCTION BOXES, ETC. ABOVE CEILING. REMOVE ALL LIGHT FIXTURES IN AREAS WHERE NEW FIXTURES ARE ILLUSTRATED. PROPERLY DISPOSE OF OR TURN OVER TO OWNER AS DIRECTED.



**GENERAL NOTES:**

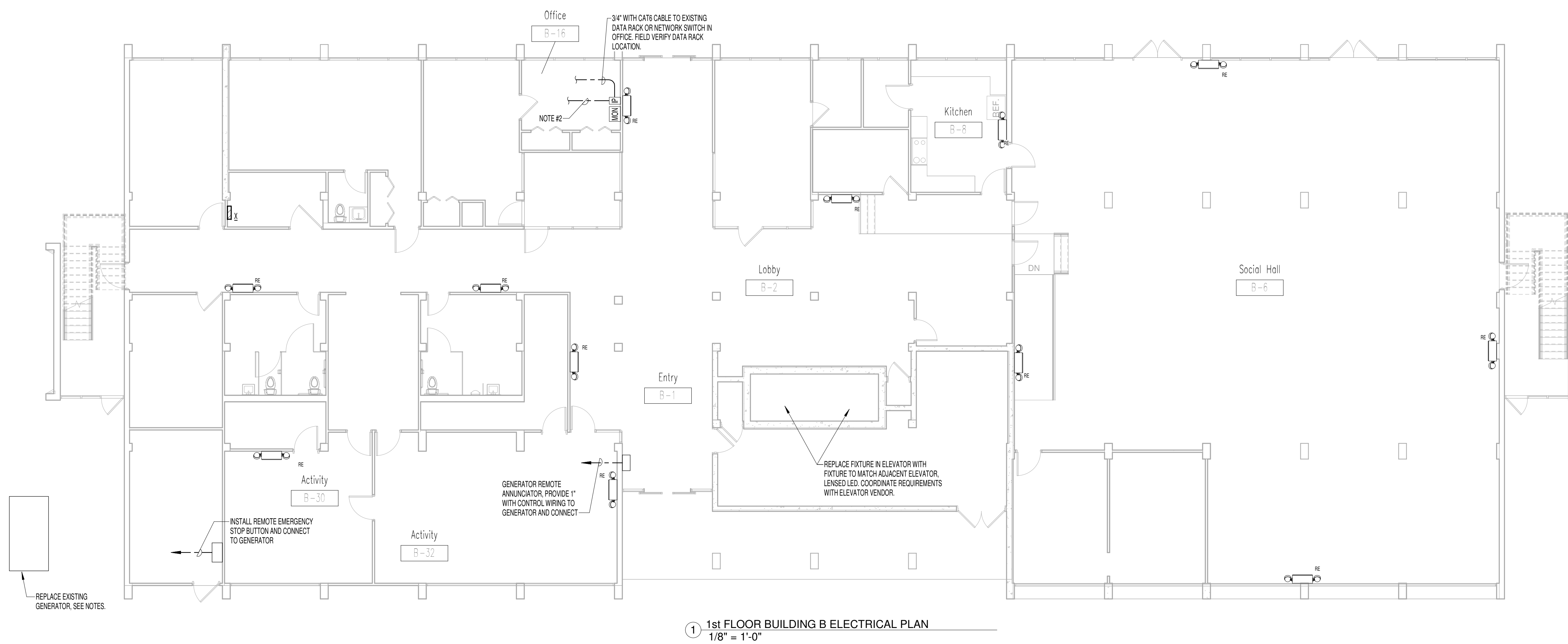
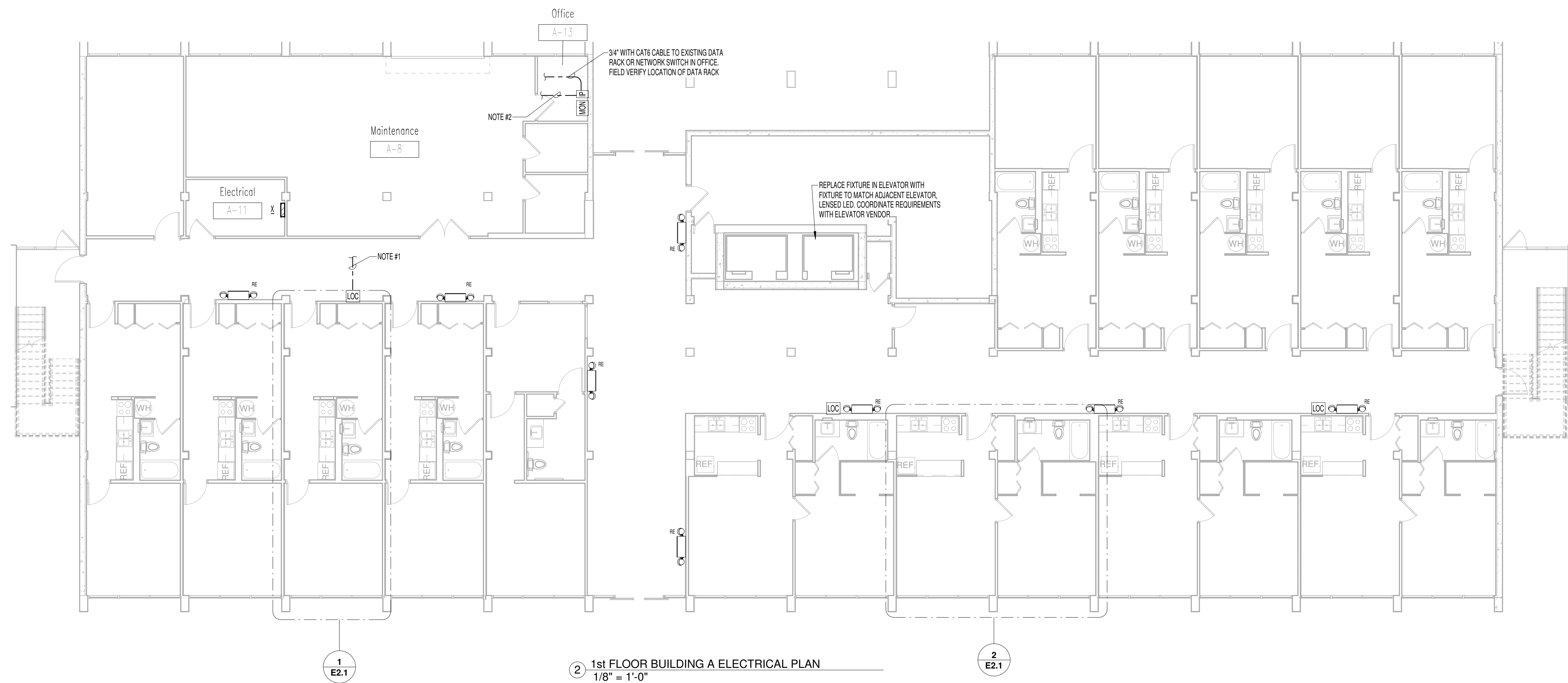
- EMERGENCY CALL CONTRACTOR TO PROVIDE EQUIPMENT LAYOUT PROVIDING RELIABLE WIRELESS NETWORK COMMUNICATION FROM ALL EMERGENCY CALL STATIONS/PULLCORDS IN UNITS TO EMERGENCY CALL SYSTEM HUB ON FIRST FLOOR OF TOWER. DEVIATION FROM CURRENT LAYOUT SHALL NOT BE CAUSE FOR INCREASE IN COST. POWER RECEPTACLES PROVIDED AT EMERGENCY CALL EQUIPMENT AS SHOWN ON POWER PLANS.
- REFER TO ENLARGED FLOOR PLANS FOR CALL STATION/PULLCORD LOCATIONS IN DWELLING UNITS.
- ALL CONNECTIONS FROM LOC TO IP IS WIRELESS SIGNAL. LINES SHOWN FOR CLARITY.
- CONNECTIONS FROM IP TO NETWORK RACK IS ETHERNET (CAT5).
- CONNECTIONS FROM MON TO IP IS USB.
- CONNECTIONS FROM E TO LOC IN TYPICAL DIAGRAM IS WIRELESS SIGNAL.
- CONNECTIONS FROM LOC TO LOC IS 120 VOLT WIRING.



2 EMERGENCY CALL SYSTEM DIAGRAM  
N.T.S.

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**REFERENCE NOTES:**

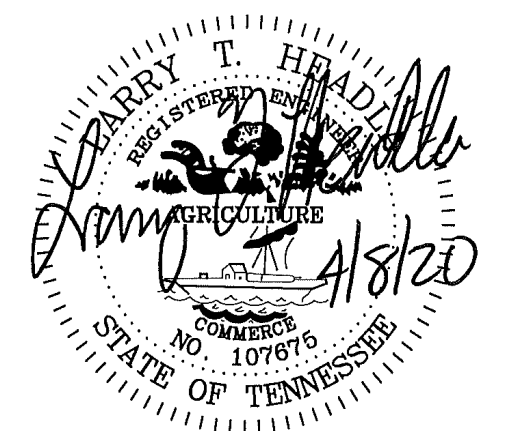
- CONNECT TO PANEL "Y" REFER TO CALL SYSTEM DIAGRAM
- PROVIDE SURFACE MOUNTED DUPLEX RECEPTACLE BETWEEN HUB AND MONITOR. PROVIDE 3/4" CAT5E FROM DUPLEX TO NEW 20A POLE BREAKER IN EXISTING PANEL "X" IN ELECTRICAL ROOM.

**GENERATOR NOTES:**

- REPLACE THE EXISTING EMERGENCY GENERATOR. WEATHERPROOF HOUSING. THE UNIT SHALL BE TESTED AND INSTALLED IN ACCORDANCE WITH NFPA 110 AND ALL EPA EMISSIONS REGULATIONS.
- RECONNECT THE EXISTING 1,200 AMP 120/208V 3P 4W EMERGENCY DISTRIBUTION PANEL SERVING THE FIRE PUMP AND ELEVATORS. RE-USE EXISTING FEEDER. EXISTING TRANSFER SWITCHES FOR ELEVATOR AND FIRE PUMP TO REMAIN.
- PROVIDE 24 HOUR SUB BASE FUEL TANK, DOUBLE WALL WITH LEAK DETECTION.
- PROVIDE A REMOTE ANNUNCIATOR AND EMERGENCY STOP BUTTON WHERE INDICATED ON DRAWINGS.
- THE GENERATOR ENCLOSURE SHALL BE WEATHERPROOF, LEVEL 1 SOUND ATTENUATED.

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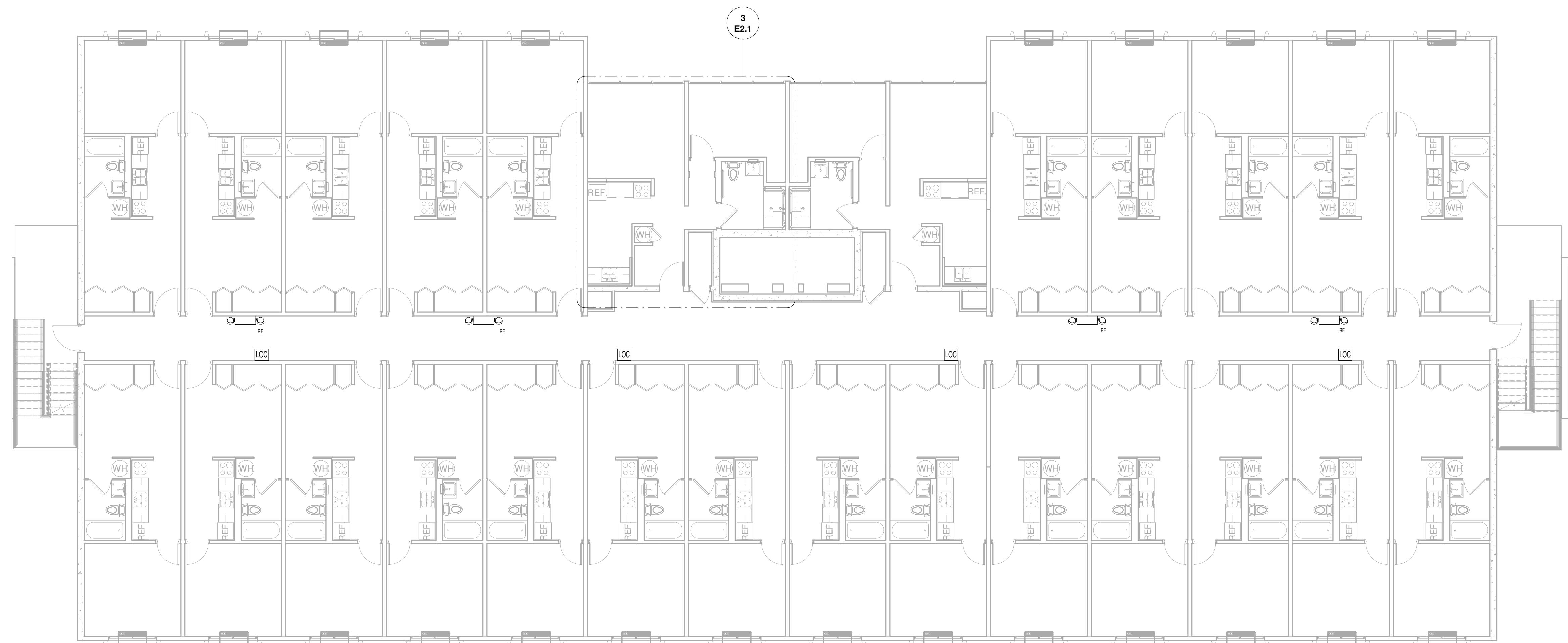
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Revisions		
No.	Description	Date

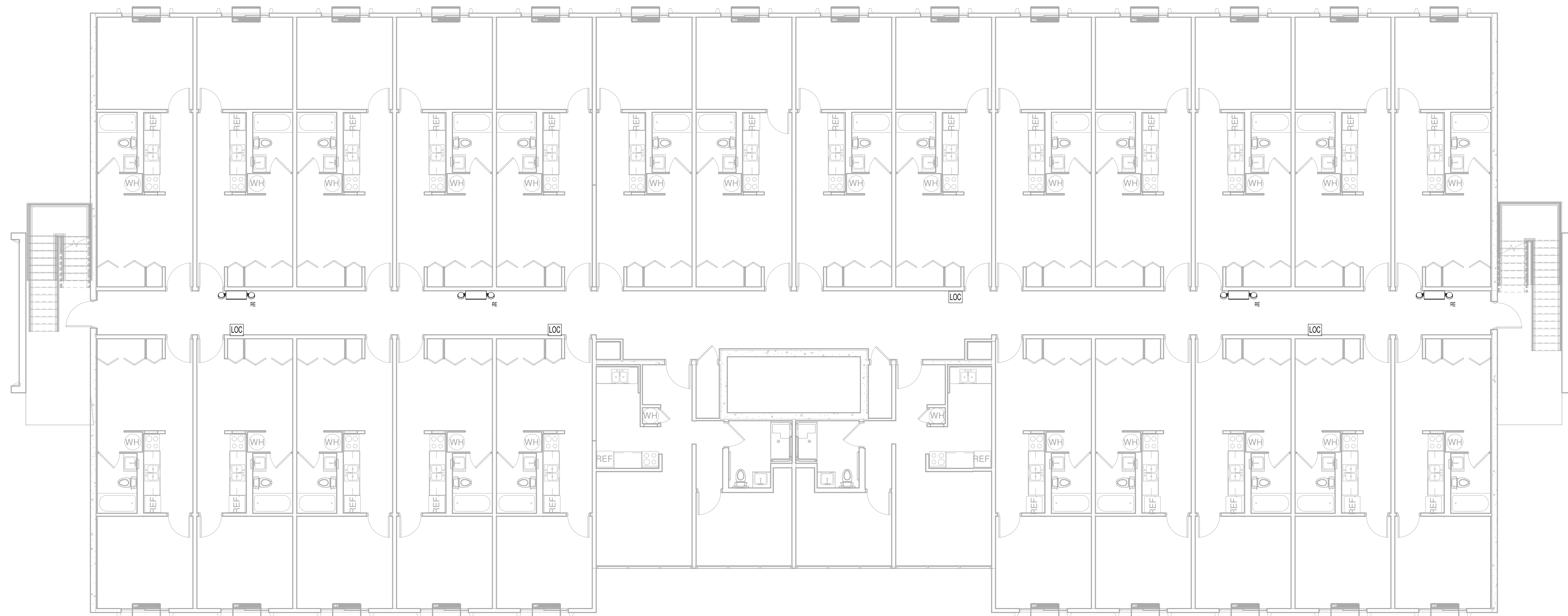
Job Number: 19136.00

BUILDING A & B - FIRST  
FLOOR ELECTRICAL  
PLANS

**E1.1**



① ELECTRICAL FLOOR PLAN 2ND AND 4TH BUILDING A  
1/8" = 1'-0"



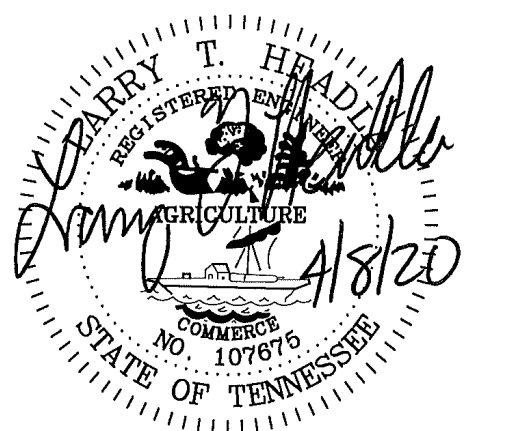
② ELECTRICAL FLOOR PLAN 2ND AND 4TH BUILDING B  
1/8" = 1'-0"

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Checked By: Checker  
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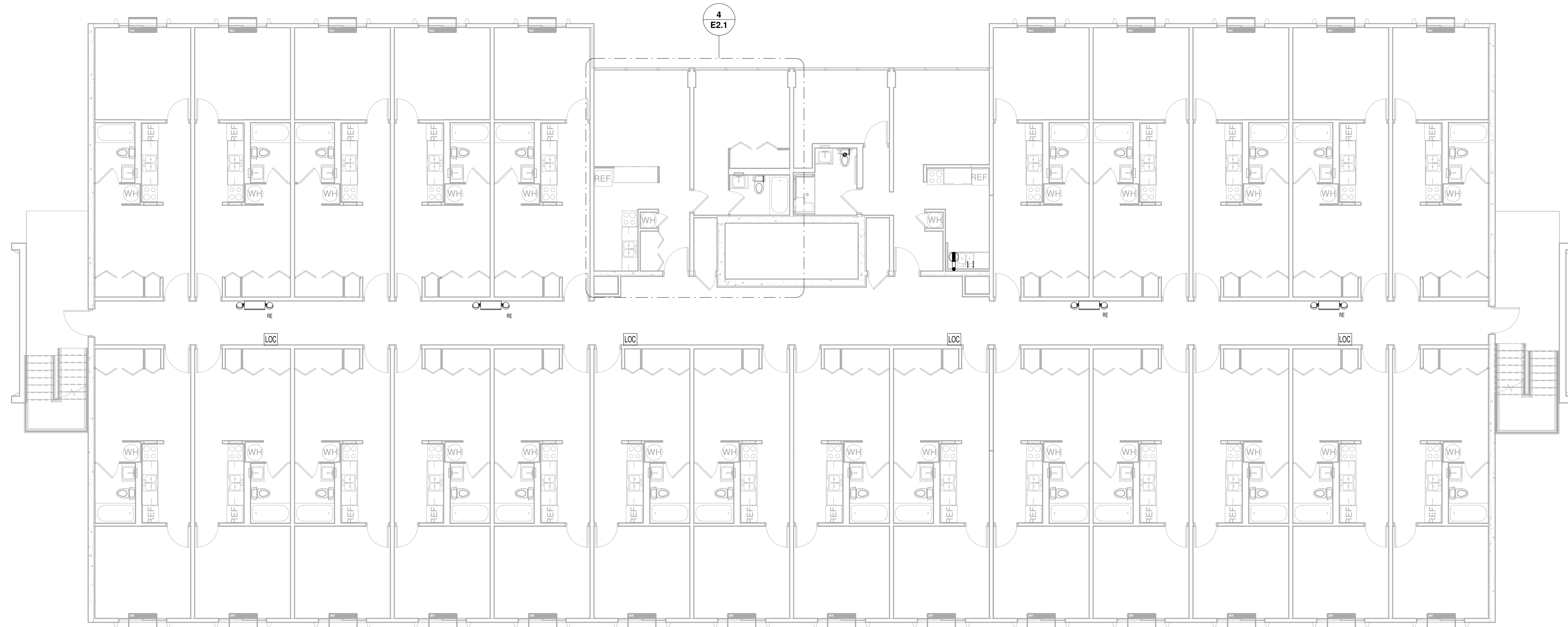
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No.	Description	Date

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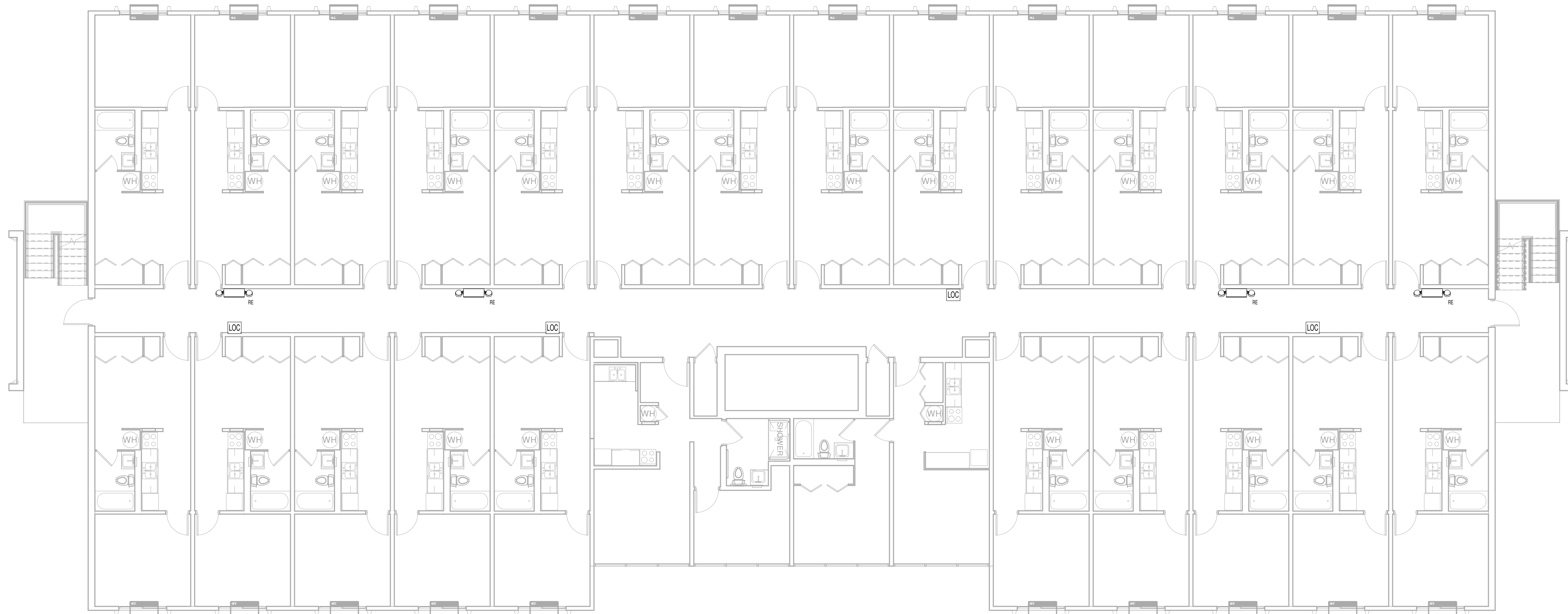
BUILDING A & B - 2ND  
AND 4TH FLOOR

**E1.2**



① ELECTRICAL FLOOR PLAN 3RD, 5TH AND 6TH BUILDING A  
1/8" = 1'-0"

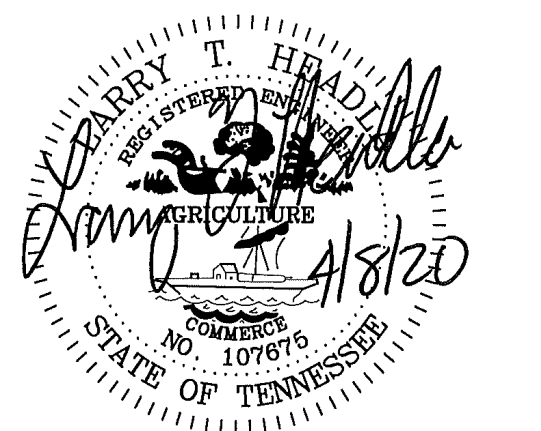
GENERAL NOTES:  
1. FIFTH FLOOR HAS UFAS UNITS AS UNIT 511 IN BUILDING A AND UNIT 515 IN BUILDING B.



② ELECTRICAL FLOOR PLAN 3RD, 5TH AND 6TH BUILDING B  
1/8" = 1'-0"

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Project Phase: Construction Document

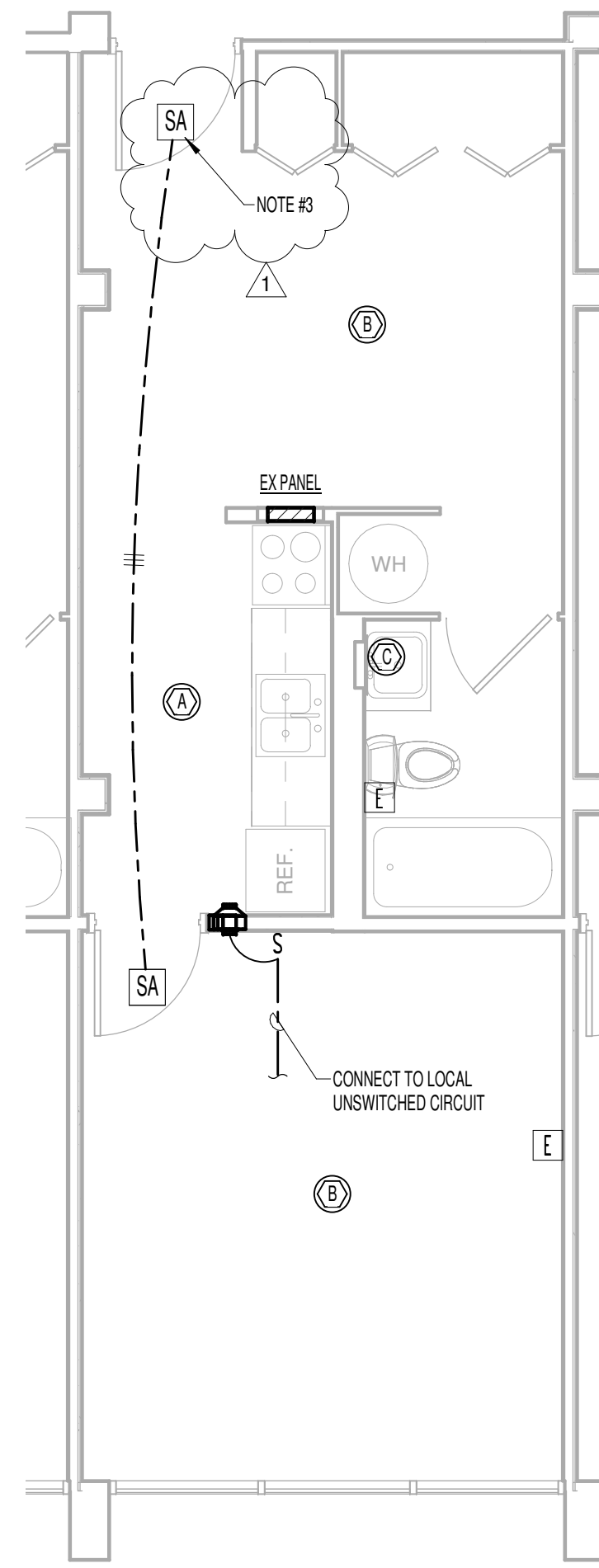
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Revisions		
No.	Description	Date

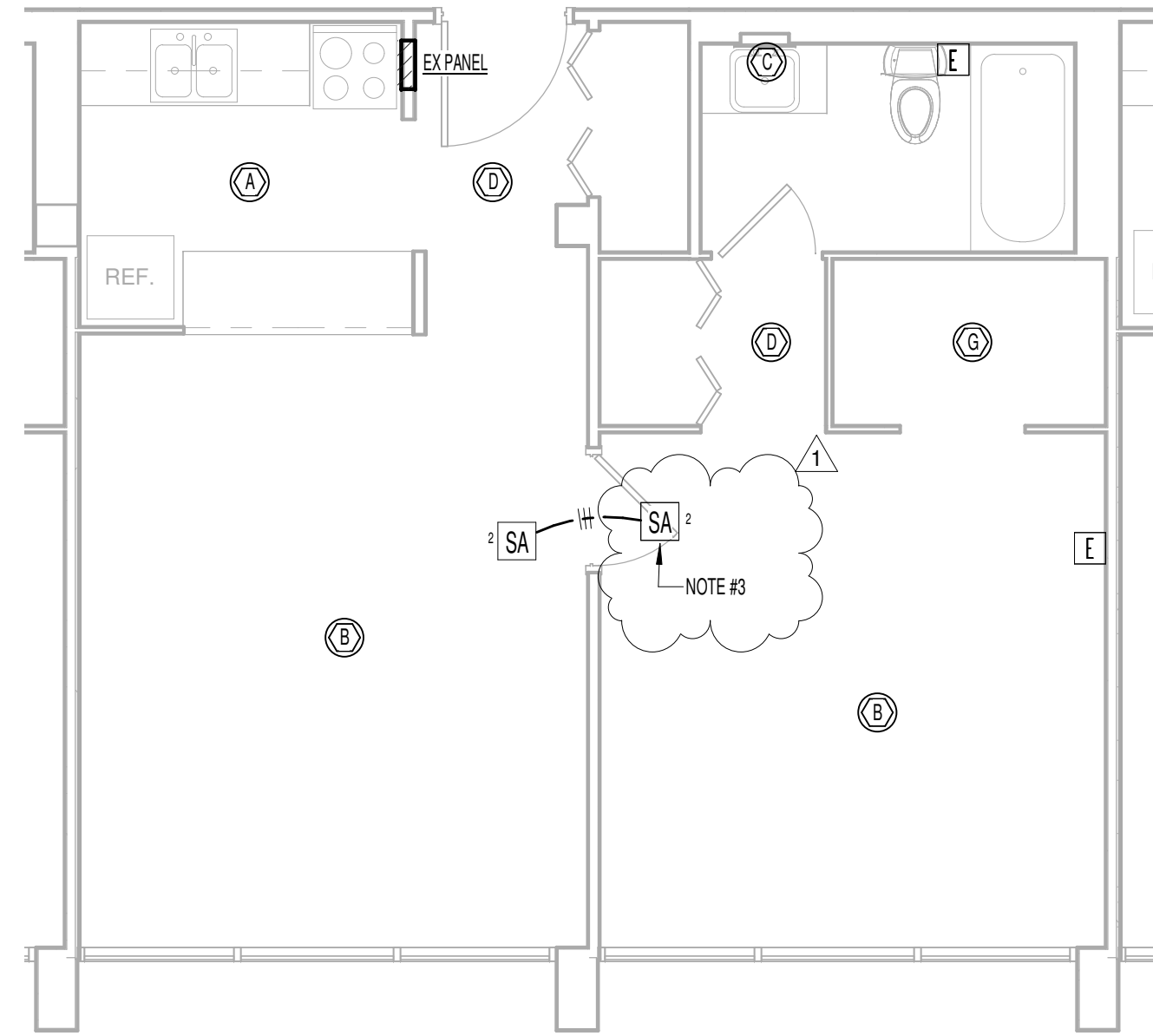
Job Number: 19136.00

BUILDING A & B - 3RD,  
5TH AND 6TH FLOOR

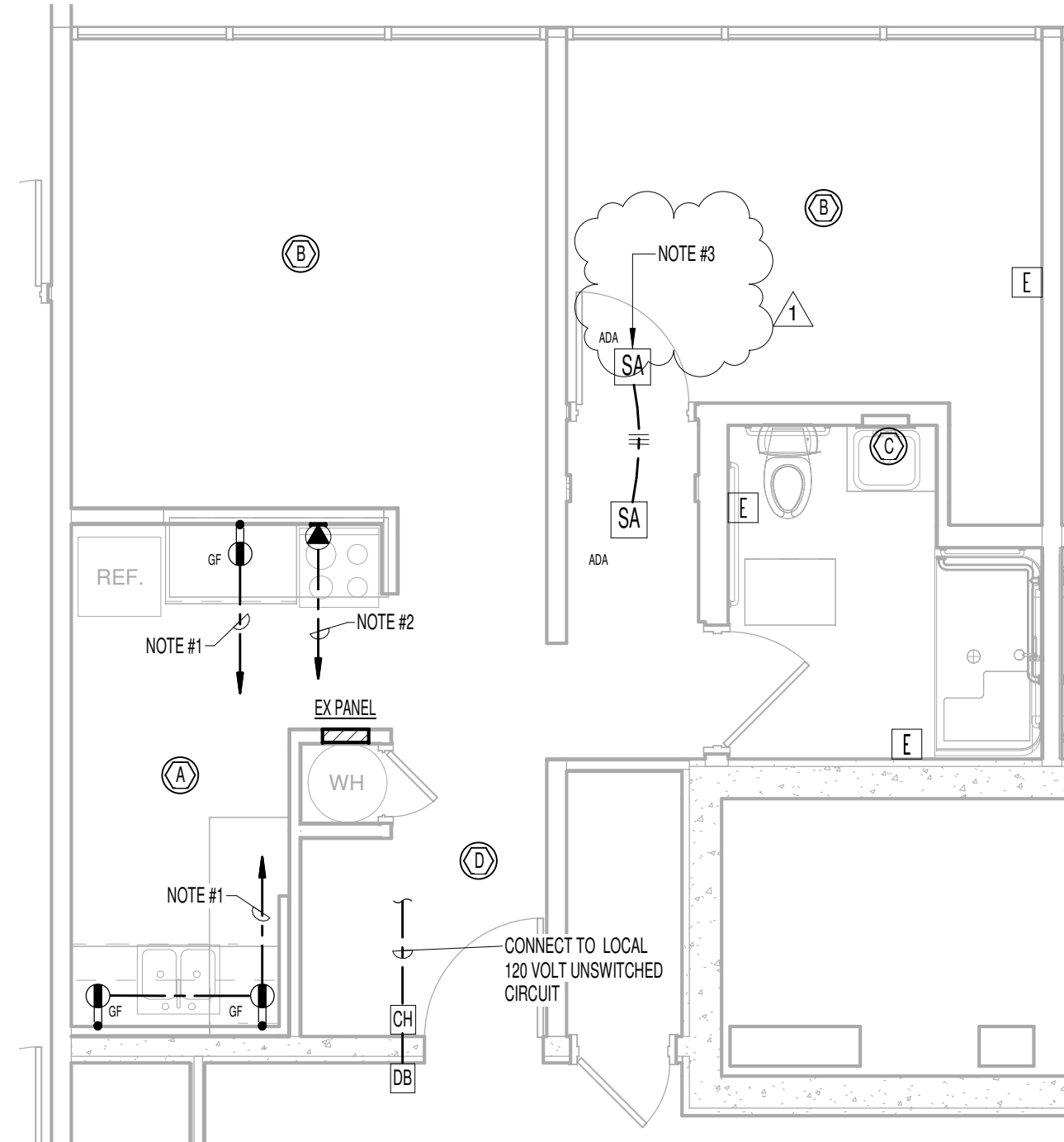
**E1.3**



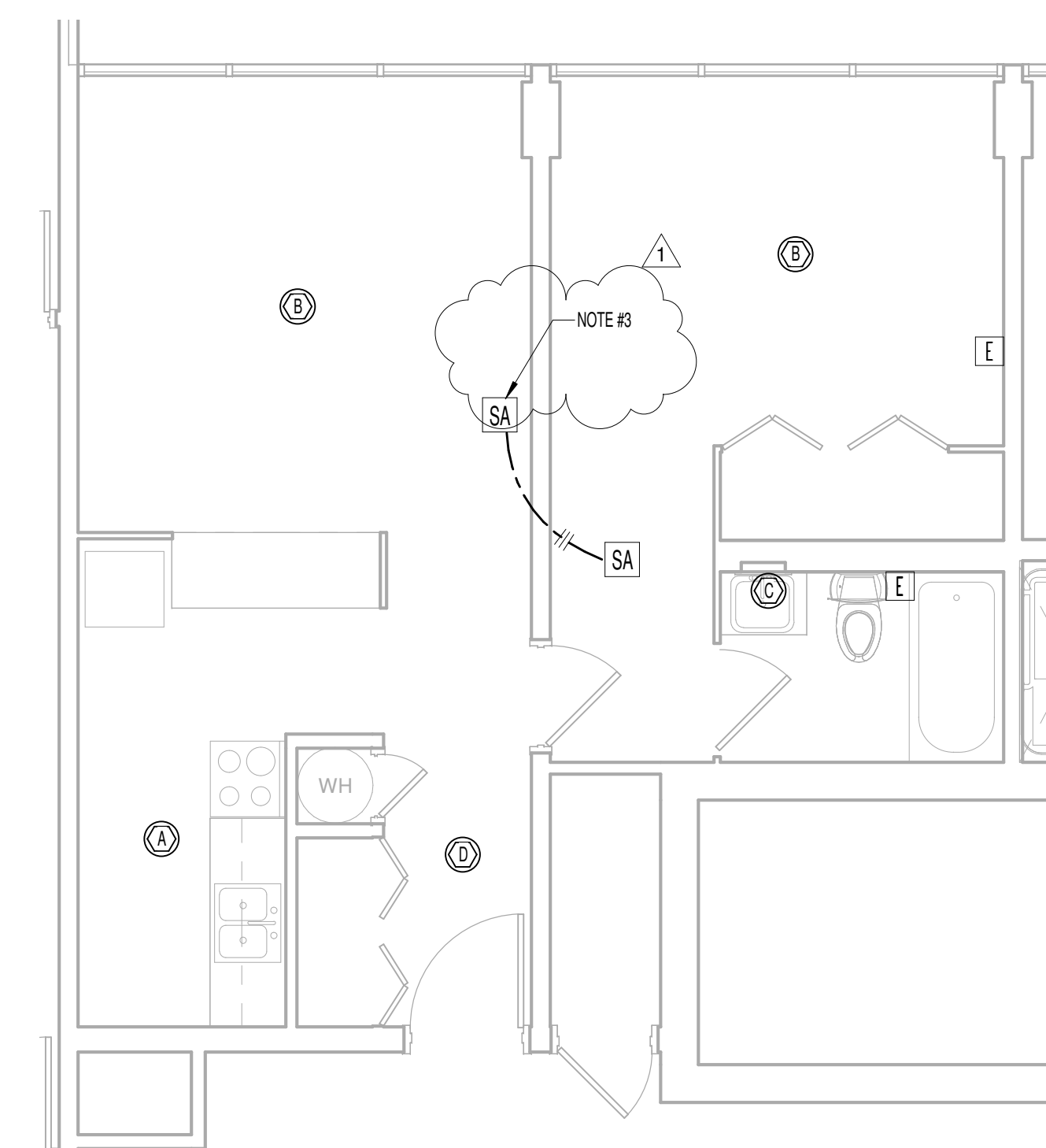
1 TYPE I APARTMENT ELECTRICAL PLAN (TYPE IV SIMILAR)  
1/4" = 1'-0"



2 TYPE II APARTMENT ELECTRICAL PLAN  
1/4" = 1'-0"



3 TYPE III UFAS APARTMENT ELECTRICAL PLAN  
1/4" = 1'-0"



4 TYPICAL TYPE III-NON UFAS APARTMENT ELECTRICAL PLAN  
1/4" = 1'-0"

- GENERAL NOTES:**
1. RELAMP ALL FIXTURE "X" IN KITCHEN WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 1000 LUMEN.
  2. RELAMP ALL FIXTURE "P" IN BEDROOM/LIVING ROOM WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 1000 LUMEN.
  3. RELAMP ALL FIXTURE "C" IN TOILET ABOVE MIRROR WITH 2 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 750 LUMEN MIN.
  4. RELAMP ALL FIXTURE "D" IN ENTRY HALL WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 750 LUMEN.
  5. RELAMP ALL FIXTURE "Q" IN APARTMENT TYPE I WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 1000 LUMEN.
  6. RETROFIT LAMPS SHALL BE SIMILAR TO SATCO CO. S28P11 SERIES.

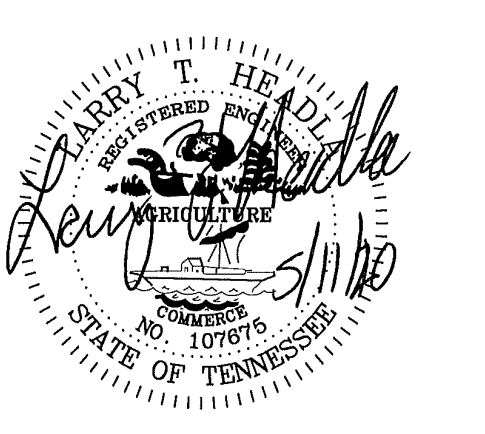
- REFERENCE NOTES:**
1. PROVIDE 1/2" 2P/2 TO PANEL AND RECONNECT, PROVIDE NEW ARC FAULT TYPE BREAKER.
  2. PROVIDE 3/4" 2P TO PANEL AND RECONNECT TO EXISTING BREAKER.
  3. CONNECT TO LOCAL 120 VOLT RECEPTACLE CIRCUIT AND REPLACE CORRESPONDING BREAKER WITH NEW ARC FAULT TYPE BREAKER.

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Checked By: Checker  
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Issue Date: 04/08/20		
Revisions		
No.	Description	Date
1	CITY & OWNER COMMENTS	05/11/2020

Job Number: 19136.00  
TYPICAL APARTMENTS -  
ELECTRICAL PLAN

**E2.1**