

ADDENDUM 2

Jackson County NSP3 Program

BID #11-ns-6007

(Troy Street, Single-Family Housing Development)

Bid Release: (June 24, 2020)
Preconstruction Meeting: (July 8, 2020, 10:00 AM)
Bid Questions Deadline: (July 15, 2020, 5:00 PM)

Bid Due Date: (August 12, 2020, 2:00 PM)

***The date for the BID DUE DATE has been moved to August 12, 2020.
The time and location have not changed.***

The reason for the time extension is to allow contractors adequate time to fully estimate the cost associated to this addendum.

The reason for this Addendum #2 is to clarify information identified in the Preconstruction Meeting which was held on July 8, 2020.

This addendum to the original bid requirements is effective as of July 31, 2020. Any questions or comments should be addressed to:

- Home Development Resources, Inc.
Attn: Theresa L. Dyer
P.O. Box 461
Jefferson, GA 30549
Email: tdyerhdri@gmail.com.
Phone: (706)389-5222

1. The Single-Family Housing Development house plan, Prototype “A” as well as Prototype “C” state that the City of Gainesville will supply all appliances. **Correction:** The City of Gainesville will not be supplying any appliances or other materials for these projects. This information is a type-o and will be removed from final construction plans.
2. The Single-Family Housing Development house plan, Prototype “A” as well as Prototype “C” state that the contractor will supply washer and dryer for each unit. **Correction:** Washer and dryer units will not be provided or included for any of the units. This information is a type-o and will be removed from final construction plans.
3. Page P.01, Part 2 of the Single-Family Housing Development house plan, Prototype “A” as well as Prototype “C” specs out copper for the plumbing lines. **Correction:** Copper plumbing lines will not be used. PEX plumbing line will be used in its place. This information is a type-o and will be removed from final construction plans.
4. The Single-Family Housing Development house plan, Prototype “A” as well as Prototype “C”, under the Finish Schedule 100, call for the covered porch to ceiling to be covered in gypsum board. **Correction:** Paint grade Board & Batten siding will be used on the ceilings of all covered porches.
5. Finish schedule for the interior doors on page A.01 should be:
Standard Hollow Core Masonite.
6. Windows next to the back door should be tempered glass.
7. The landscape plans have not been finalized. An allowance for each house should be included in the bid response as follows:
 - 159 Troy Street: \$5,000.00
 - 217 Troy Street: \$5,000.00

8. During the pre-bid meeting it was questioned if a soil and erosion plan would be required on either Harmony or Barber Street locations.

- Soil and erosion plans are not required. The Erosion and Sedimentation Act of 1975 requires that, as a minimum, protections at least as stringent as the state general permit; and best management practices, including sound conservation and engineering practices to prevent and minimize erosion and resultant sedimentation, must be consistent with, and no less stringent than, those practices contained in the Manual for Erosion and Sediment Control In Georgia published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted.

9. Additional information requested and attached as Appendix “A” include but are not limited to the following items:

- Appliance Spec Sheet
- Light Fixture Spec Sheet
- Flooring Spec Sheet
- Soil Properties Report
- Soil Survey
- Site Plan



Exhibit “A”

New Construction Specification Sheet

Date: 7/31/2020

Property: Troy Street

- **Water Supply:** CITY

Notes: The City of Commerce has NOT waived all tap and connection fees associated with this project.

- **Sewer:** Septic

Notes: The City of Commerce has NOT waived all tap and connection fees associated with this project.

- **Roof Shingles:** Asphalt: Minimum 30 Year Black Architectural Shingle

Notes: Continuous ridge vent covered with roof shingles, black drip edge, ridge cap, synthetic felt. All roof flashings shall be black. Ice & water shield in all valleys. Facia to be wrapped in white PVC trim coil with no exposed rafter tails. 15/32” minimum OSB roof sheeting. Soffit shall be a triple 4 white vinyl. Vented soffit shall be included as specified by code. Gutters are NOT included.

- **Exterior Covering:** Hardie Plank Siding

Note: Colors to be determined

- **Exterior Doors:** Steel

- **Door Paint Color:** To be determined

- **Interior Doors:** Interior doors to be Hollow Core, 5-Panel

- **Casing:** 1x4 Interior Trim
- **Door Hinge Hardware:** To be determined
- **Door Hardware:** To be determined
- **Door Paint Color:** To be determined

- **Wall Cover**

Notes: 1/2” sheetrock with taping and sanding is standard throughout the house. See further “Notes” Section of this form.

Paint Color: To be determined

Paint Sheen: Eggshell



- **Interior Trim and Base:** Farmhouse Style Trim

Paint Color: White

Paint Sheen: Semi-gloss

Notes:

- **Base:** Primed Finger Jointed 1x6
- **Casing:** Primed Finger Jointed 1x4
- **Door Header:** Primed Finger Jointed 1x6
- **Door Sides:** Primed Finger Jointed 1x4
- **Window Stool:** Primed Finger Jointed 1x4

- **Ceilings – Knockdown**

Notes: Painted Flat White

- **Flooring**

Luxury Vinyl Plank or Sheet: Vinyl flooring to be installed everywhere other than the Master Bedroom/Closet, Guest Bedroom/ Closets, Hallway, and Living Room. Flooring must be glued to slab or subfloor as appropriate. Manufacturer installation instructions shall be followed for each floor type.

- *Note: Colors to be determined*

Carpet: Carpet to be installed in all bedrooms, closets, and hallway unless otherwise noted.

- *Note: Colors to be determined*

- **Lighting/Electrical Allowance**

Notes: All work to meet or exceed local and state codes.

Chandelier in Dining Area: Color To Be Determined

- Must use the following styles or a style that is equivalent (to be approved by HDRI)
 - Kichler Coltyn 6 Light Pendant
 - Kichler Minnow 5 Light Chandelier
 - Kichler Kona Cay 3 Light Inverted Pendant

Bathroom Lighting

- Must use the following styles or a style that is equivalent (to be approved by HDRI)

Ceiling Fans

- Must use the following styles or a style that is equivalent (to be approved by HDRI)
 - 52" Hunter Creekside BN



Exterior Porch Lights

- Must use the following styles or a style that is equivalent (to be approved by HDRI)
 - Portfolio Ellicott Galvanized Steel Dark Sky Outdoor Wall Light
 - Portfolio Dovray 8.12 in ORB Outdoor Wall Light
 - Brymmett Outdoor Barn Light Gracie Oaks Galvanized
 - Laurel Foundry Modern Farmhouse Nightingale 1-Light Outdoor Light

Doorbell Button

- “Press” Button

• Kitchen Cabinets, Formica Tops and Sink

Kitchen: Note: Colors to be determined

- Shaker White Solid Wood MDF Door Full Overlay with Euro-Concealed Soft Closed Hinge, Dovetail Drawers, Soft Close Drawer
- See Attached Drawings
- Undermount Stainless Steel 50/50 9”
- Formica Tops

Full Bathrooms: Note: Colors to be determined

- Acceptable Colors: To be determined
- Formica Top
- Sizes to match specs in the plans

• Kitchen Appliances

Appliances included in build: Fridge, Electric Range, Microwave & Dishwasher (all stainless steel). Entire package must be same brand.

- Acceptable brands: Whirlpool, Kenmore, LG, Samsung, KitchenAid, Frigidaire

Dryer vent: Included and installed by builder. All dryer hookups are to be electric. Washers and/or dryers are NOT included in allowance. Builder is not responsible for the installation or delivery of any washers and/or dryers purchased by buyer(s).

• Bath Fixtures/Plumbing:

Notes: All plumbing shall meet or exceed local and state codes. All drains, traps, and vents will be PVC (Must choose standard size shown on plans for tub and shower.)

- **Kitchen**
 - **Chrome, Satin Nickel, or Oil Rubbed Bronze**
- **Lavatory**
 - **2 Handle**
 - **4” OC**
- **Shower/Tub**
 - **Bathroom Toilet Holders**

Shower Doors: Framed or Semi-Frameless



- **Chimney**

Notes: NO CHIMNEY- Direct Vent Heat System.

-
- **Heat System-** Heat Pump
 - **Hot Water-** Electric Hot Water Heater 40 Gallon

-
- **Driveway-** Concrete
 - **Walkway-** Concrete

Beck, Taylor, & Beshara, Inc.
P.O. Box 639, Braselton, GA 30517
Phone: 706/367-3850

County: Jackson	Date: 1/8/20
Client: Jackson County (Contact: Gina Roy)	
Site Location Address: Four lots on Troy Street, Commerce	
Phone Number: 706/367-5908	Lot Number(s):
Subdivision:	
Scale: 1" = 80'	
Intensity Level of Investigation: Level IV	

Soil Properties

Soil Series <i>See Suitability Codes</i>	Slope % <i>Ranges Of the Soil Type</i>	Depth To Bedrock (inches)	Depth to Seasonal High H ₂ O Table (inches)	Expected Perc Rate At Recommended Trench Depth (min/in)	Recommended Trench Depth (inches)	Suitability Code (listed below)
Chestatee Series	2 - 6	72 - >80	>80	65	40/36-48	A
Madison Variant	4 - 15	80 - >84	>84	50	50/45-55	A
Gwinnett Series	4 - 20	40 - 50	>50	65	24/12-28	R
Gwinnett Series I	2 - 6	>84	>84	50	50/45-55	A
Hard Labor Series	4 - 10	>72	36	85	20/12-24	C
Hard Labor Variant	2 - 6	>72	30 - 36	See Codes	See Codes	C
Hiwassee Series	2 - 6	>72	>72	80	40/36-48	A


SUITABILITY CODE DESCRIPTIONS

- A – Soil should be suitable for installation of an on site system with proper design, installation & maintenance
 Madison Variant – This area had some loose fill at surface (generally $\leq 12"$). If areas are found with more than one foot of loose fill at surface, it should be removed to no greater than 1' depth.
- C – **Hard Labor Series** – Soil had saturation indications at relatively shallow depth. Recommendations above are for system approved for 12" separation.
Hard Labor Variant – Soil had saturation indication and/or high water content at shallow depths. Soil should be suitable for drip emitters. Estimated loading rate = 0.1 gpd/sq. in.
- R – Boring/test pit attempts in this soil refused at $< 72"$. Recommendations above are for system approved for 12" separation.

FIELD NOTES

Client requested that we perform soil survey covering four existing small lots whose total area covers approximately 1.6 acres. Parcel numbers for the four lots are: C16 053A, C16 053B, C16 053C, and C16 053D. Nine soil borings were installed in the study area covering approximately 1.6 acres. After borings were installed, we returned to the site and installed eight test pits. Four test pits were installed in the western part of the site to further investigate auger refusals in the area. Four pits were installed in the southeast corner of the site to further investigate some loose fill at the surface and to locate more accurately the Gwinnett/Madison Variant soil boundary. A setback of 7' from the Madison Variant/Gwinnett soil boundary should be suitable.






The recommended depths and perc rates are based on current surface elevations. If surface elevation is significantly altered, the depths and/or rates would have to be adjusted and/or the recommendations herein may not be valid.


William T. Taylor, Jr.
Georgia P. G. No. 976.

Level: Level IV Soil Survey For: Jackson County (Contact: Gina Roy)
Site Location Information: 4 lots on Troy Street

Subdivision: _____
Date of Soil Survey: 2/17/20 Lot Number: _____

MAP LEGEND

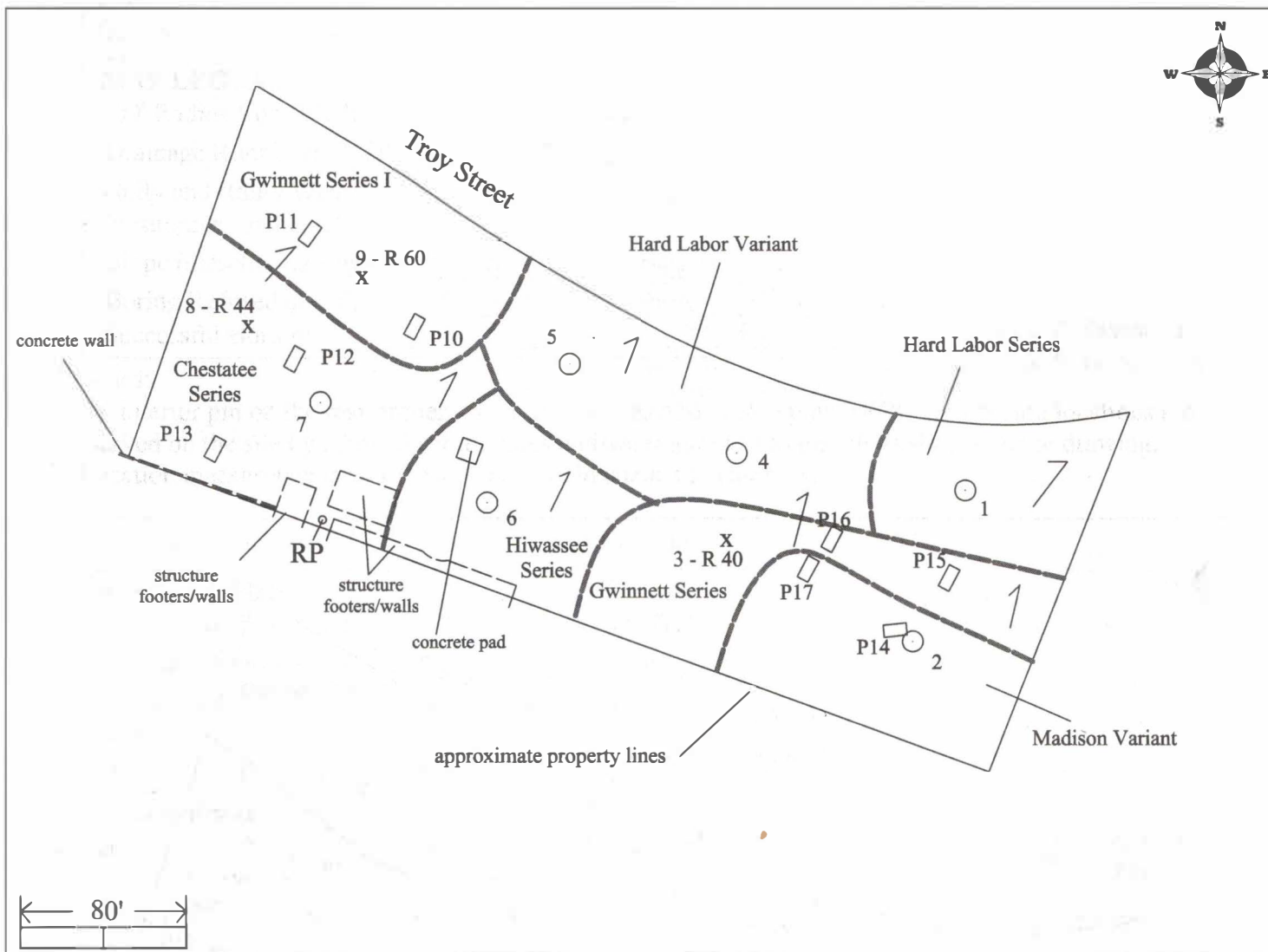
100' Radius from Well: _____	Water Well: 
Drainage Runs Part of Year: _____	Spring: _____
Gully and Rainy Weather Drainage Way: (unsuitable for septic systems) 	Reference Point: <u>RP</u>
Slope (direction falling): 	Soil Type 
Boring Refused @ <72": <u>X</u>	Boundary: 
Successful Boring: <u>○</u>	Scale: <u>1" = 80'</u>

William T. Taylor, Jr.

William T. Taylor, Jr.
Georgia P. G. No. 976

Notes:

An interior pin on the rear property line was used as a reference point (RP). Soil boring locations are marked on the site by labelled survey flags and are referenced to the RP as shown on the drawing. Location measurements were made using a hip chain and compass.



LEGEND

IPF = IRON PIN FOUND
 IPS = IRON PIN SET
 CMF = CONCRETE MONUMENT FOUND
 R/W = RIGHT OF WAY
 BL = BUILDING LINE
 LLL = LAND LOT LINE
 LL = LAND LOT
 N/F = NOW OR FORMERLY
 NTS = NOT TO SCALE
 CL = CENTER LINE
 BM = BENCH MARK
 TBM = TEMPORARY BENCH MARK
 PC = POINT OF CURVATURE
 PI = POINT OF INTERSECTION
 PT = POINT OF TANGENCY
 R = RADIUS
 CH = CHORD
 E = ELEVATION
 T = TELEPHONE LINE
 W = WATER LINE
 G = GAS LINE
 S = SEWER LINE
 P = POWER LINE
 MH = MAN HOLE
 SSE = SANITARY SEWER EASEMENT
 DE = DRAINAGE EASEMENT
 CE = CONSTRUCTION EASEMENT
 CB = CATCH BASIN
 JB = JUNCTION BOX
 DI = DRAIN INLET
 RW = ROAD WALL
 TH = TIRE TRACK
 RCP = REINFORCED CONCRETE PIPE
 SF = SURFACE FLOW

GENERAL NOTES

- 1) The field data upon which this plot is based has a precision of one foot in 15,000+ feet and an angular error of 0.3" per angle point and was adjusted using least squares.
- 2) This plot has been calculated for closure and has an accuracy of one foot in 100,000+ feet.
- 3) Field equipment used for this survey was a Topcon GPS-313.
- 4) All easements, restrictions, or exceptions to title are shown based on information supplied to INGRAM, LORD AND ASSOCIATES. No Certification as to the completeness or accuracy of any matters of title is made by INGRAM, LORD AND ASSOCIATES.
- 5) Underground utilities shown on this plot were taken from field observation and from plans by others; the exact location of all utilities should be verified by the respective utility company. INGRAM, LORD AND ASSOCIATES assumes no liability as to the exact location of any underground utility. For verification contact the utilities Protection Center Inc. 1-800-282-7411.
- 6) This survey is a correct representation of the land plotted and has been plotted in conformity with the minimum standards of Georgia law. It does not intend to indicate ownership of any parcel or easement; this information should be verified by an attorney licensed by the state of Georgia.



SITE PLAN FOR:

JACKSON COUNTY
 1.698 ACRES
 GMD NO.255
 JACKSON COUNTY, GEORGIA
 CITY OF COMMERCE
 SCALE: 1"=40'
 DATE: 4-21-2020



INGRAM, LORD & ASSOCIATES
 LAND SURVEYING AND PLANNING
 437 PIEDMONT ROAD
 COMMERCE, GEORGIA 30529
 706-335-9069

IL1031

FILE NO.