

ADDENDUM 2

ADDENDUM DATE: September 1st, 2016

PROJECT: Randolph County Animal Shelter
1370 County Land Rd.
Randleman, NC 27317

OWNER: Randolph County
725 McDowell Rd.
Asheboro NC, 27205

ARCHITECT: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, North Carolina 27607

BIDS DUE: **Thursday, September 8th, 2016 at 3:00 p.m.**
Randolph County Office Building
Meeting Room A
725 McDowell Rd.
Asheboro NC, 27205

Please note, Project Addendums and Bidders List are available at www.smithsinnett.com under the 'Documents' icon on the navigation bar.

This Addendum shall be included in the contract for the above referenced project. All General, Supplementary and Special Conditions, etc., as originally specified or as modified below shall apply to these items.

General

1. Refer page 2 of this document for a list of all Addendum 2 attachments.
2. The period for substitution requests has ended.
3. Additional site visits shall be coordinated through the Randolph County Animal Shelter during normal business hours Monday-Friday.
4. **Clarification:** Per Article 8.5 of the General Conditions, the Owner shall pay directly for any and all impact and tap fees associated with this project.
5. **Clarification:** Per Article 11.1 of the General Conditions, the Owner shall pay directly for any and all construction testing except as excluded by conditions in this Article.
6. **Clarification:** Per Article 11.3 of the General Conditions, states that all layouts and surveying shall be accomplished by properly qualified personnel duly licensed in the State of NC. The cost for the layout and surveying of construction related items as part of this project shall be paid for by the

Contractor and included within the bid. This Article does not state that the Owner will be responsible for the costs of layout and surveying. All layout and surveying needed to accomplish and complete the project shall be included by the GC in the bid.

7. **Clarification:** Specifications Section 014000 Quality Requirements, Paragraph 1.7, Delete sentence 1.7.A.2, paragraph 1.7.B.
8. **Clarification:** Specifications Section 014000 Quality Requirements, Paragraph 3.2. Delete the following sentences: 3.2.A.3&4.
9. **Clarification:** The Segmented Retaining Wall shown in C-1, 3/A3-11, and Specification section 323223 shall be included within the project regardless of any statements otherwise.
10. **Clarification:** In the riser diagram on E-01, the note above the 2" conduit from the service switch to existing panel "A" should read '75 linear feet' rather than 370'.
11. **Clarification:** Structural detail 9/S3-01 has been revised to show 10" CMU up to slab level where siding begins at slab level. Above grade, foundation CMU wall and CMU veneer is to be polished/ground faced starting 8" below grade. Grey block extends from footing to 8" Min. below finished grade. See Arch. Details. See attached revised sheet.
12. **Clarification:** On Revised Drawing E1-3 that was issued as part of Addendum 1, remove reference to "Confirm Final Counts with Owner or Owners Rep." The counts provided in the revised fixture schedule in Addendum 1 shall be used for Bidding purposes.

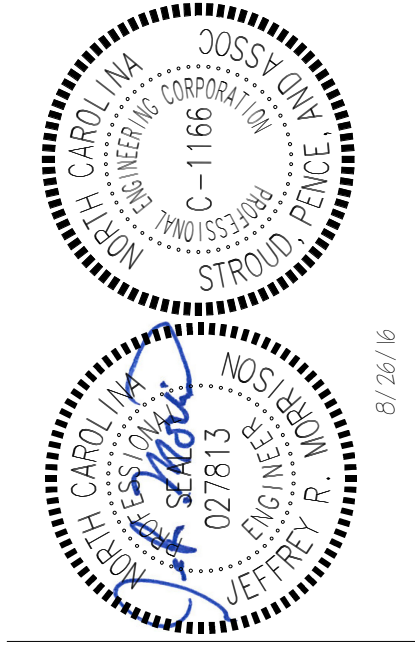
Products Requested for Substitution as an Equal

1. **Section 033000 Cast in Place Concrete for Buildings:** *Vapor Lock* is to be added to the list of approved manufactures for admixtures.

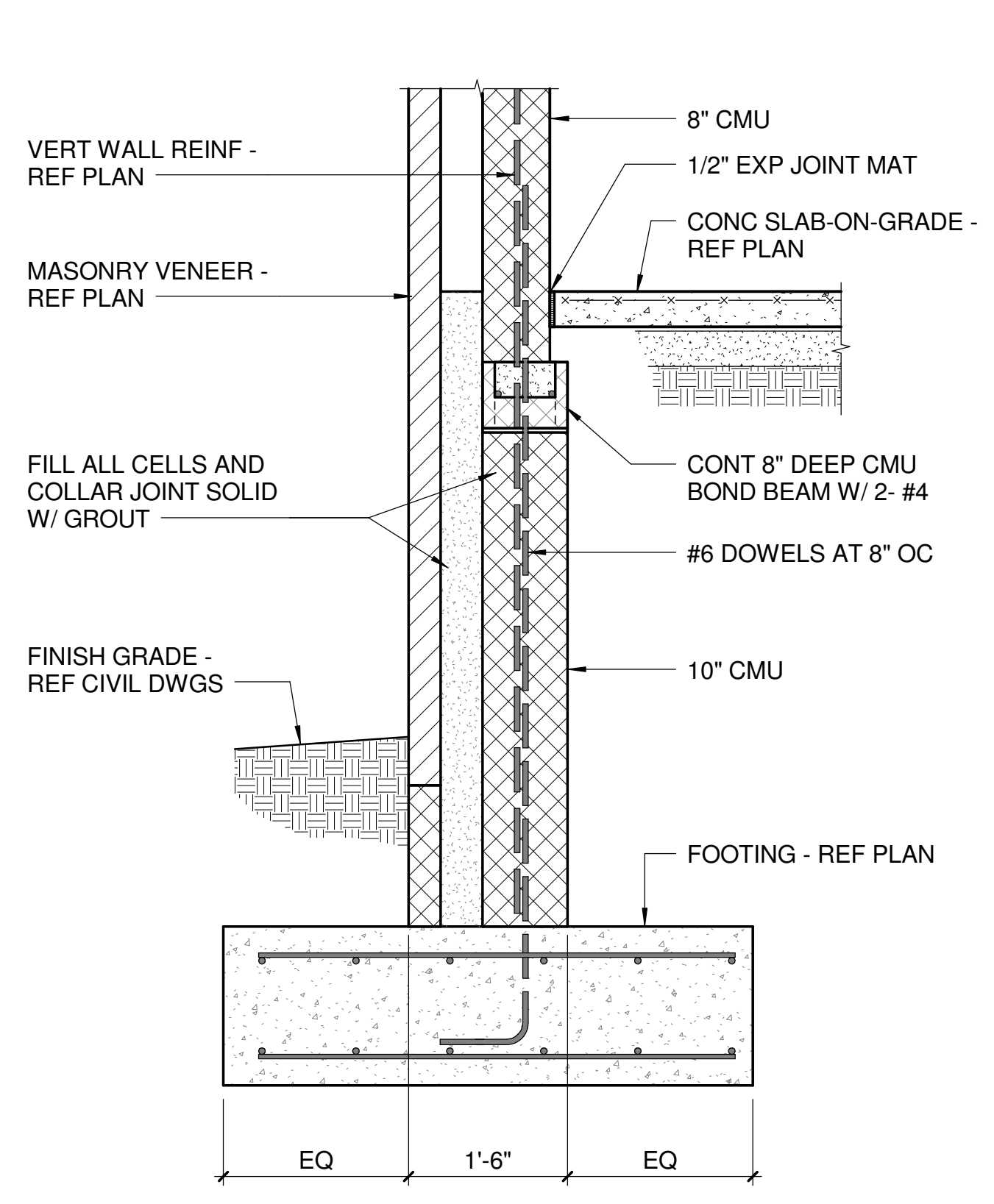
End of Addendum 2

Attached:

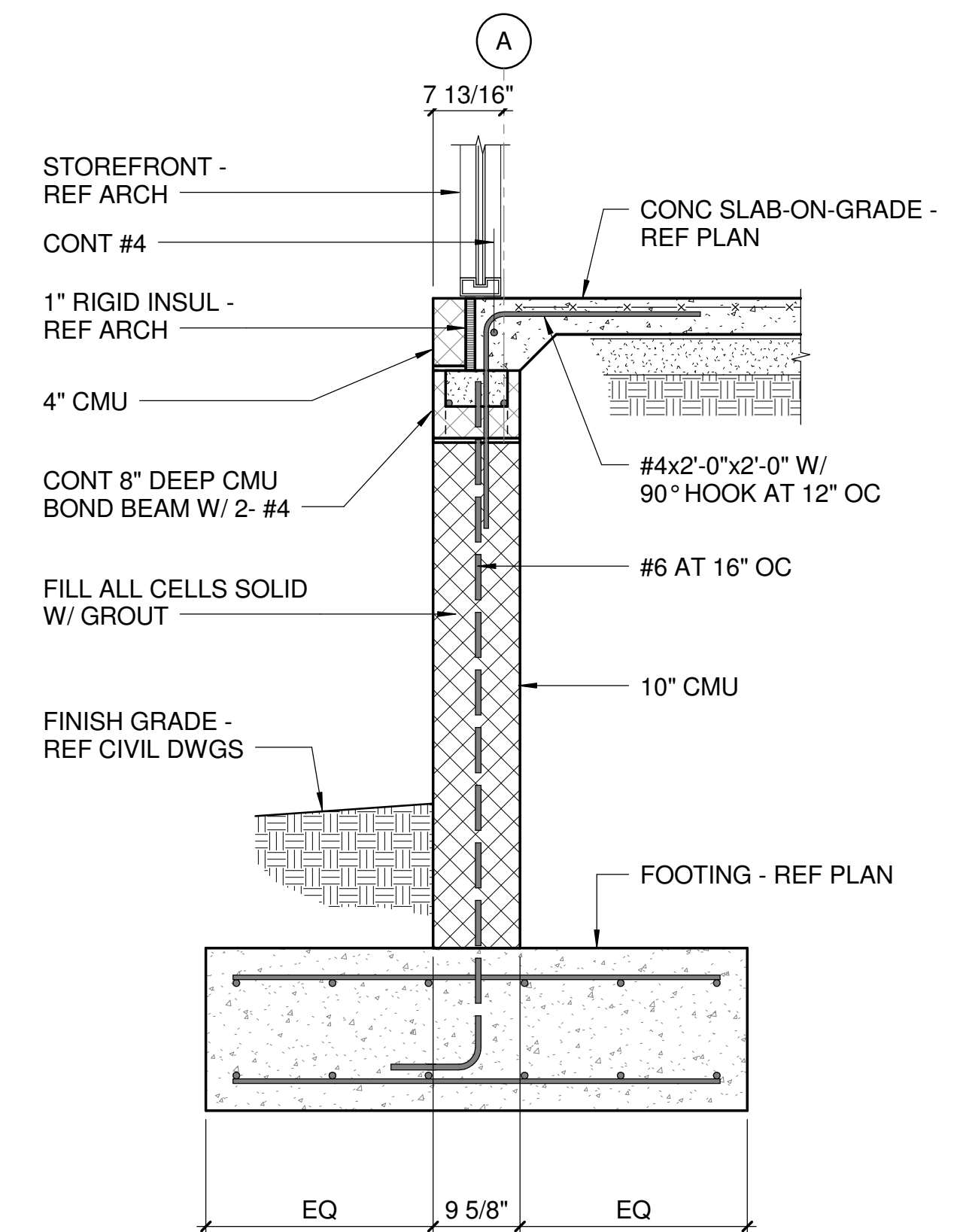
Revised Drawing Sheet S3-01



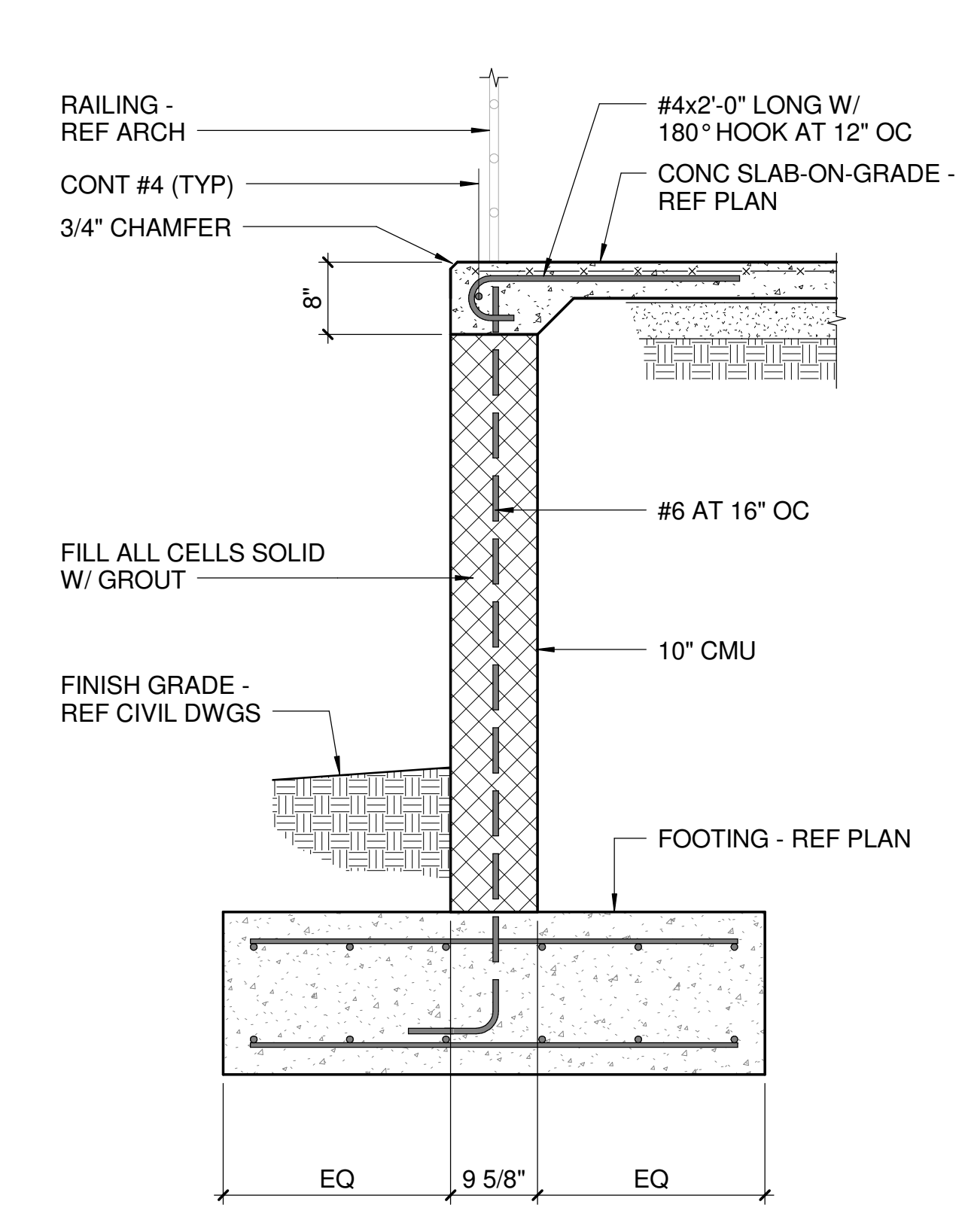
This drawing and the design shown is the property of Smith, Smetter Architecture, P.A. The reproduction or use of this property without the written consent of the owner is prohibited. All copies of this drawing must be returned to the Architect at the completion of the contract.
Smith Smetter Architecture, P.A. 2015
THIS DRAWING IS FORMATTED TO BE PRINTED ON A 24" X 36" SHEET



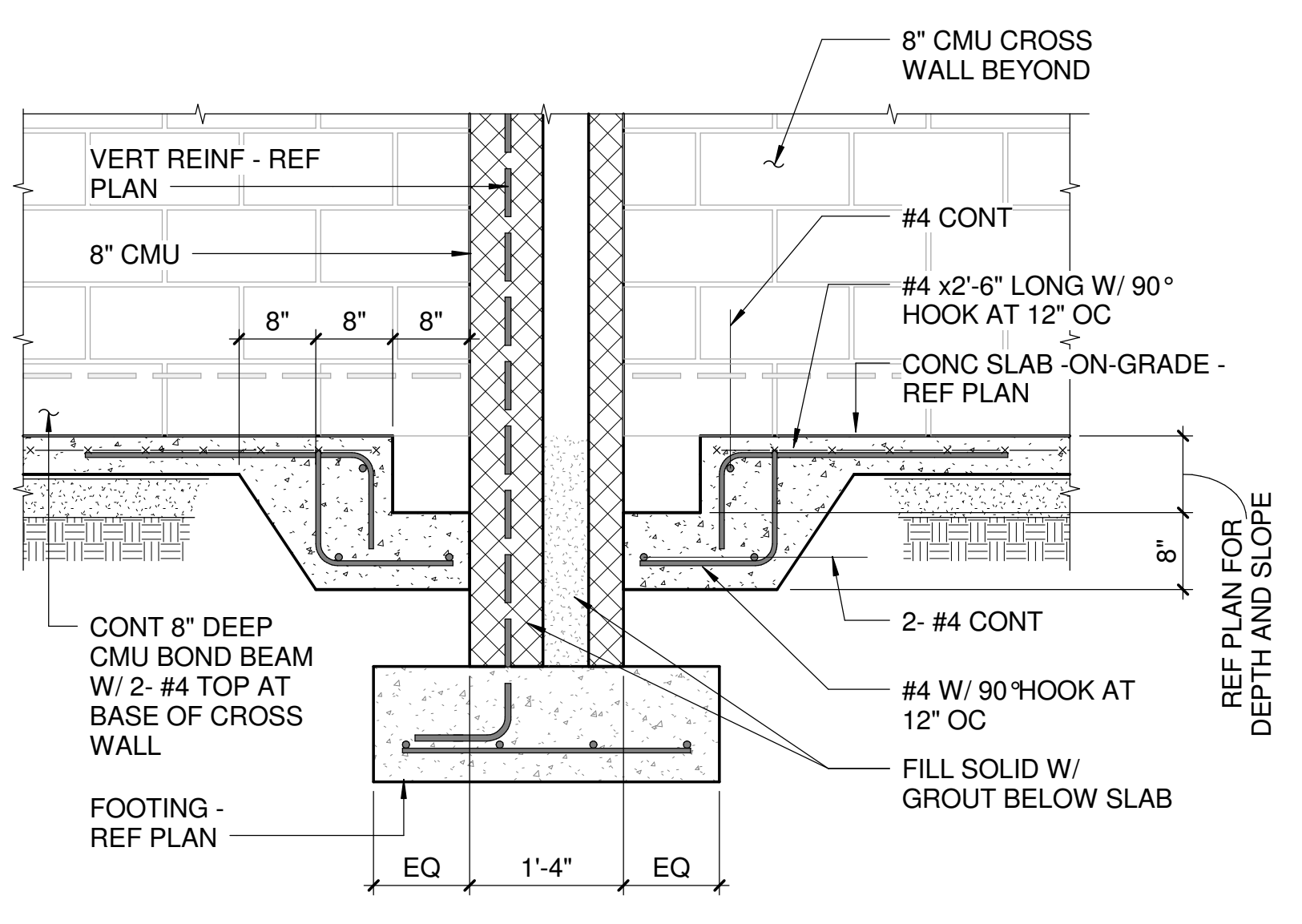
1 SECTION
S3-01 3/4" = 1'-0"



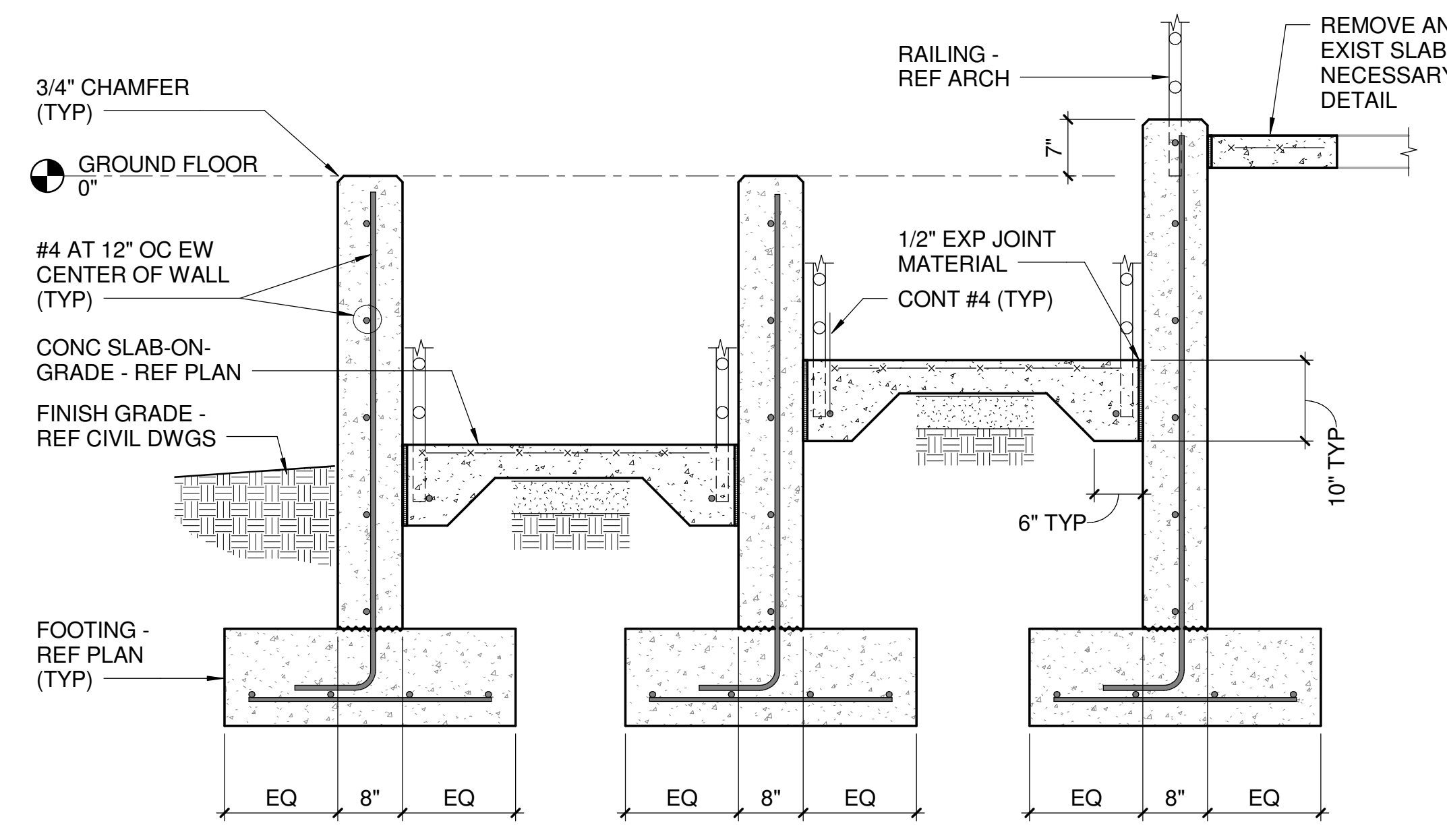
2 SECTION
S3-01 3/4" = 1'-0"



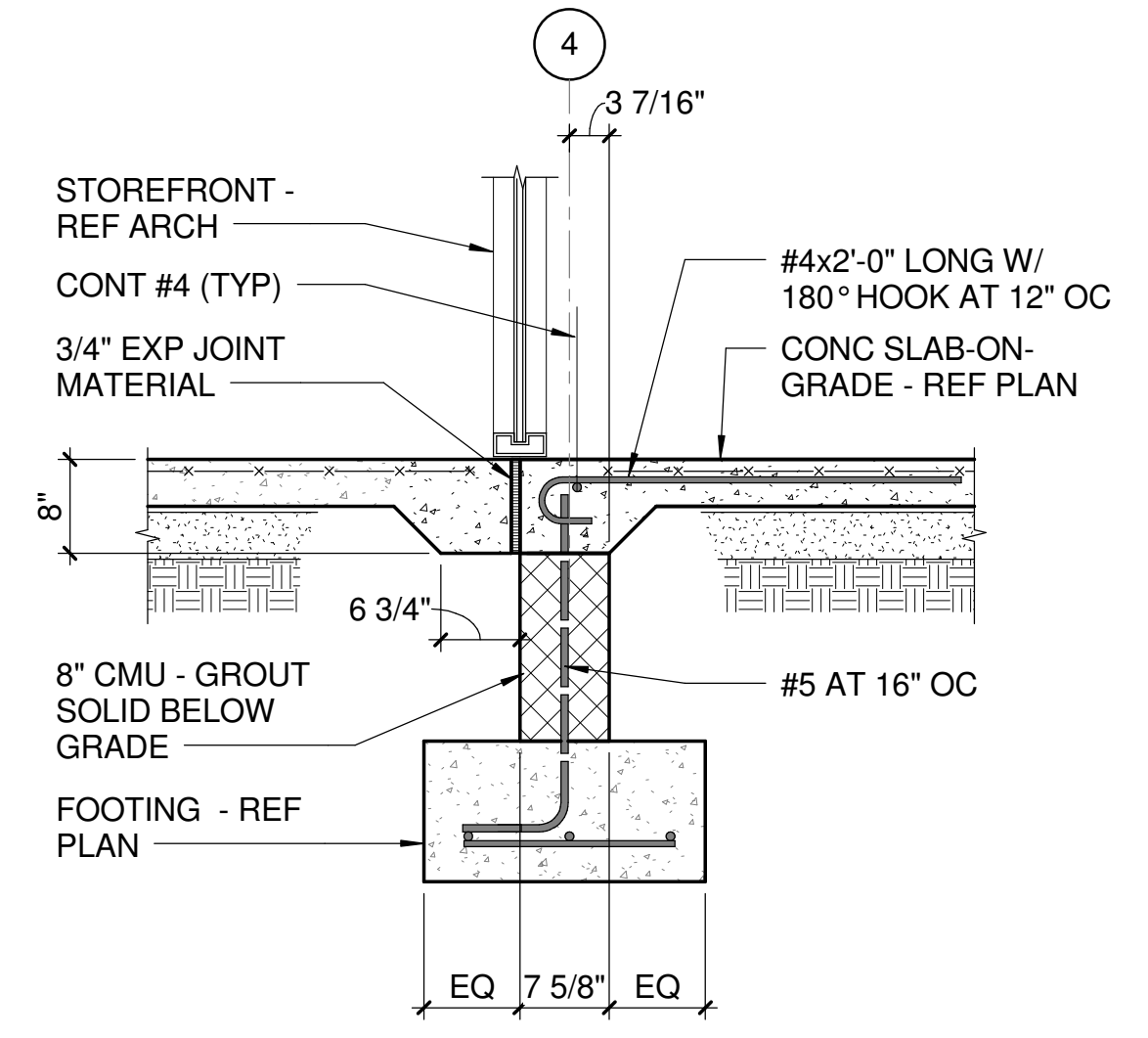
3 SECTION
S3-01 3/4" = 1'-0"



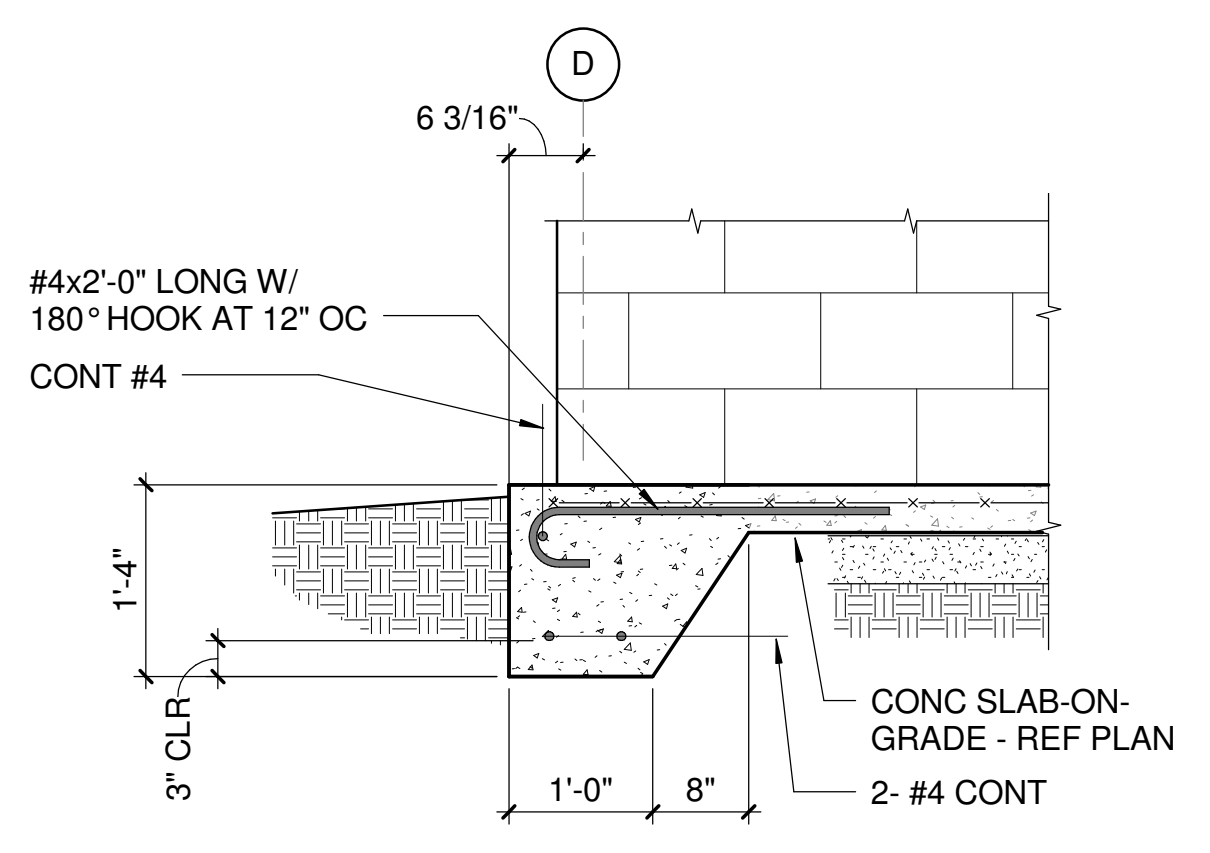
4 SECTION
S3-01 3/4" = 1'-0"



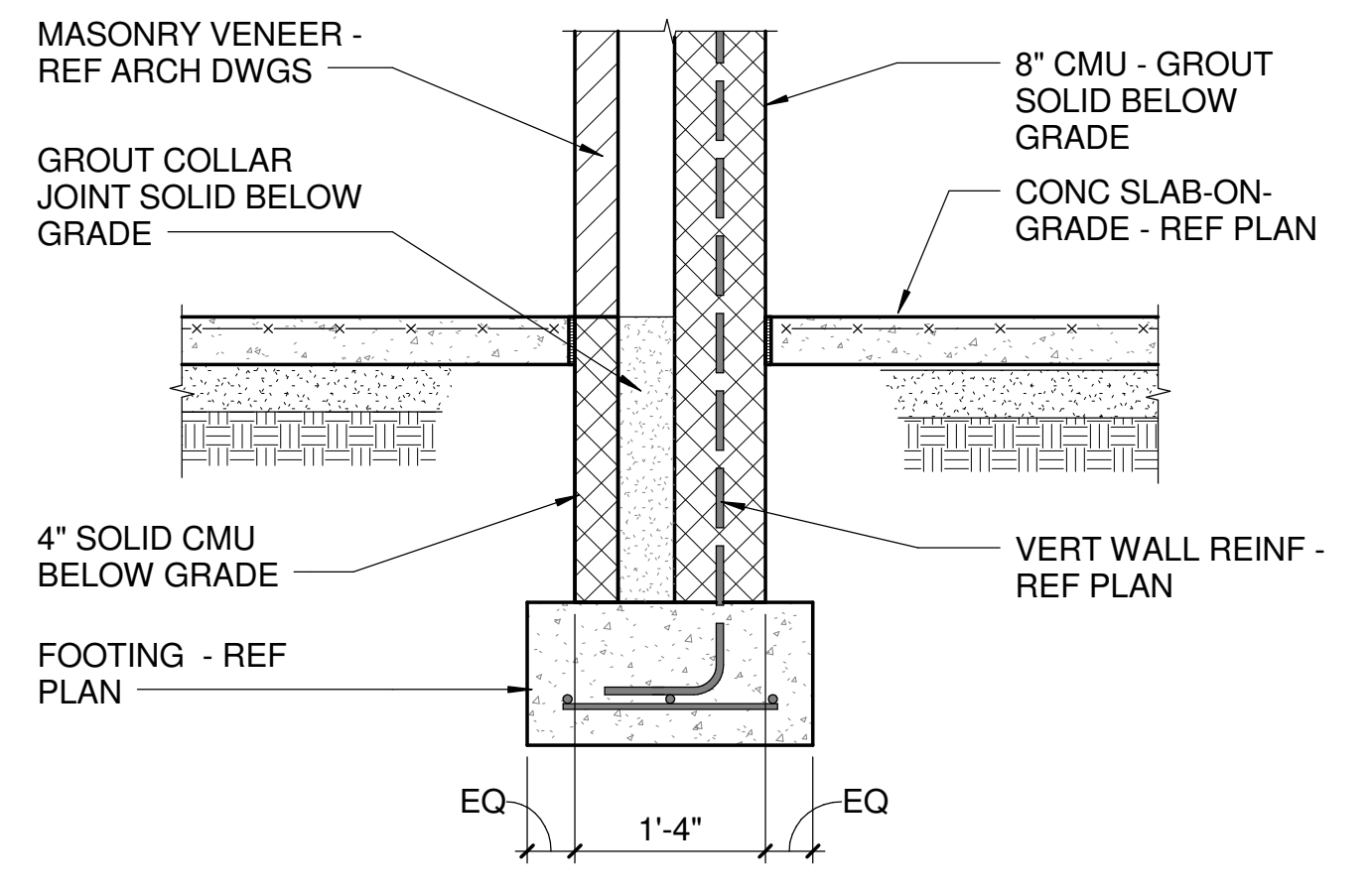
5 SECTION
S3-01 3/4" = 1'-0"



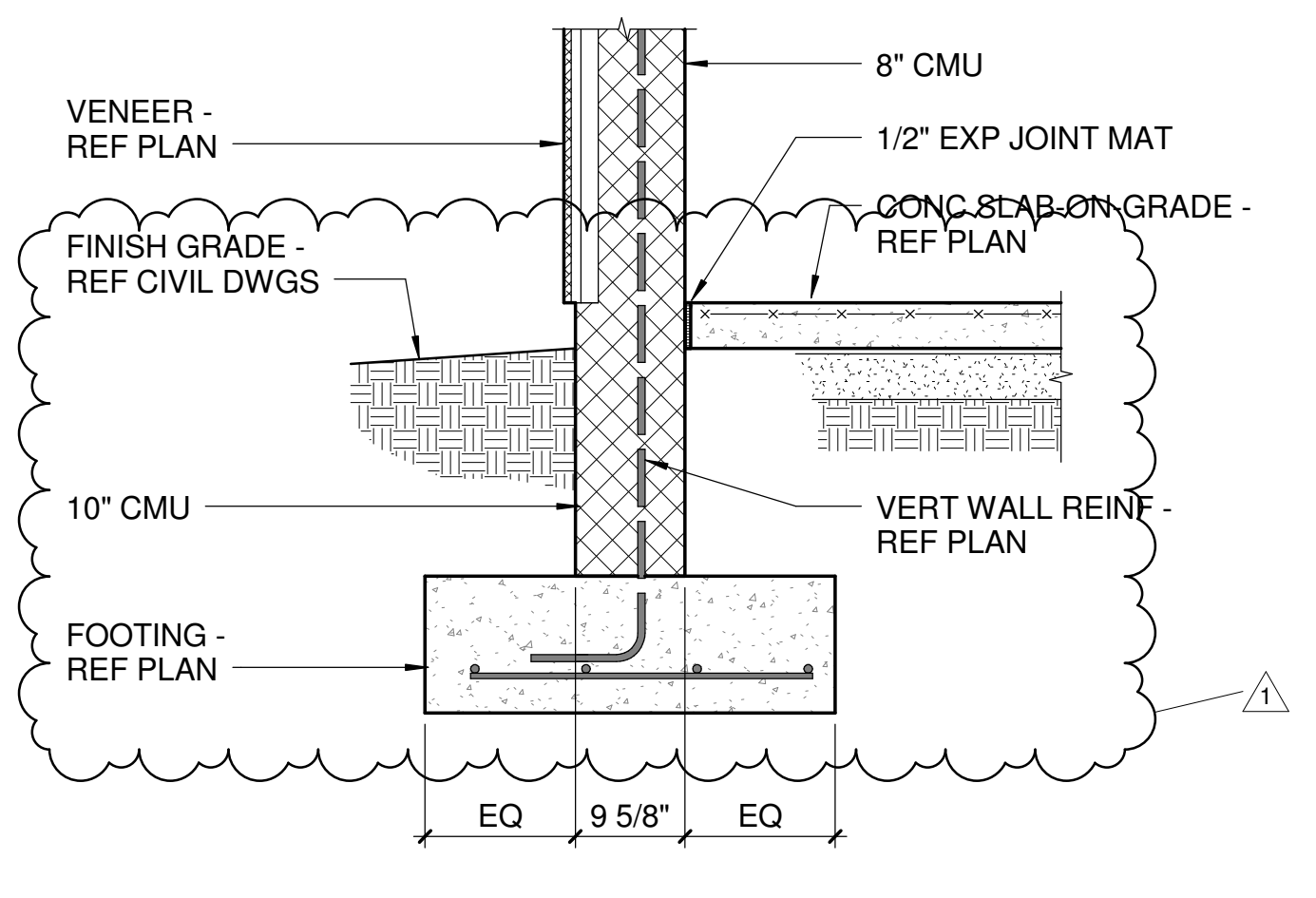
6 SECTION
S3-01 3/4" = 1'-0"



7 SECTION
S3-01 3/4" = 1'-0"



8 SECTION
S3-01 3/4" = 1'-0"



9 SECTION
S3-01 3/4" = 1'-0"

ID	DATE	DESCRIPTION
1	9/1/16	ADDENDUM 2

DRAWN BY: MBG
CHECKED BY: JRM

FOUNDATION SECTIONS