

ADDENDUM 1

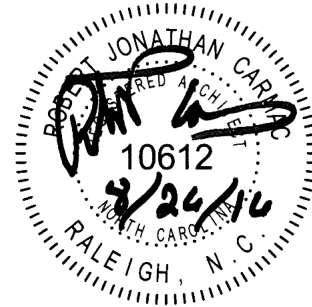
ADDENDUM DATE: August 26th, 2016

PROJECT: Randolph County Animal Shelter
1370 County Land Rd.
Randleman, NC 27317

OWNER: Randolph County
725 McDowell Rd.
Asheboro NC, 27205

ARCHITECT: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, North Carolina 27607

BIDS DUE: **Thursday, September 8th, 2016 at 3:00 p.m.**
Randolph County Office Building
Meeting Room A
725 McDowell Rd.
Asheboro NC, 27205



Please note, Project Addendums and Bidders List are available at www.smithsinnett.com under the 'Documents' icon on the navigation bar.

Among other items, this Addendum addresses issues raised in the Pre-Bid Meeting held on August 23rd, 2016 at 10:00 a.m. Pre-Bid notes and sign in sheet of those that attended are attached.

This Addendum shall be included in the contract for the above referenced project. All General, Supplementary and Special Conditions, etc., as originally specified or as modified below shall apply to these items.

General

1. Refer page 3 of this document for a list of all Addendum 1 attachments.
2. All questions and Requests for Substitution shall be submitted to the Architect prior to September 1st.
3. An Open Meeting was held to discuss Owner Preferred Manufacturer listed in the project. The reason given for the Owner Preferred Manufacturer was for continuity, connectivity and maintenance with the Owner's existing system. No objection was noted and the meeting closed.
4. Additional site visits shall be coordinated through the Randolph County Animal Shelter during normal business hours Monday-Friday.

5. The question in Proposal Form page 3 related to the VISA Purchasing Card is optional for the contractor. Any response to this question will not affect the bidding outcome or disqualify a bidder. This question is for information purposes only.
6. Contractor is reminded of the following:
The County is requiring the use of a 2 envelope system for all bids. The first envelope should include the "Bid Guarantee" (copy of the bid bond), marked as such, and attached to the sealed envelope containing the bidder's proposal. The second bid envelope should be sealed, marked as "BID PROPOSAL" with the following information listed on the outside of the envelope:
 - i. Bidder's Name and Address
 - ii. North Carolina Contractor's License Number
 - iii. Name of Project
7. **Clarification:** There are no Permit Fees to be included in the contract price. Permit Fee for this project will be waived by the County.
8. **Clarification:** NO onsite fill dirt will be available for this project. This reflects a change than what was stated at the PreBid Meeting. Contractors shall include within their price all costs associated with bringing in offsite fill dirt required for this project.
9. **Clarification:** Onsite disposal for limited materials is available at no cost to the Contractor. Contractor must transport materials approximately 0.6 miles to noted disposal area. The only materials accepted in this onsite disposal area shall be topsoil, gravel with no construction debris, concrete, unsuitable soil, dirt, site rock, and wood materials such as stumps, limbs, branches etc. Onsite disposal of materials must be generally spread out and in areas adjacent to other debris to maximum the available area. Piles of debris as well as haphazard dumping of debris will not be accepted. All other construction debris and waste shall be removed by typical legal means of disposal at Contractor's cost.
10. **Clarification:** Construction shall be arranged and scheduled to minimize any down time of utilities to the existing building.
11. **Clarification:** A Contractor at the PreBid Meeting mentioned a concern with Article 2.2, 2.3, 3.1, and 3.2 of the General Conditions. The Owner has reviewed these section and no changes will be made to the General Conditions.
12. **Clarification:** Sheet A6-01 – On glazing elevations, all references to "SG-TG" should be replaced with "SG-FT" (Frosted, Tempered) as listed in the key. Also, interior storefront SF8 is to have SG-FT for the two lowest glass panels.
13. **Clarification:** Window blinds are to be provided on all windows of type W2 and W3.
14. **Clarification:** The sloped trench drains at either side of the south/exterior wall of the Adoptable Dogs room should not have a grate cover. Please remove reference on detail 4/P2-1
15. **Drawings 3/A3-11 and 4/A3-11:** Foundation walls at the north and west walls of the addition should be 10" CMU to a height 8" below finished floor level as shown in the structural drawings.
16. **Drawings 2/S1-01, 4/S3-01 and 1A/3-11:** The sloped trench drains at either side of the south/exterior wall of the Adoptable Dogs room should be 4" wide instead of 8".

17. **Drawings 1/A7-01 and Finish Legend:** Resinous Flooring RE-1 shall be used all in the interior areas. Resinous Flooring RE-2 shall be used in only the exterior dog run area.
18. **Drawing C1:** Asphalt pavement at the back of the building should transition to concrete at the chain link fence gate.
19. **Drawing P0-1 Plumbing Fixture Schedule:** Change the Description of PE Fixture to the following: "American Standard Lucerne 0355.012 or equal wall-hung vitreous china lavatory 20 1/2" x 18 1/4" x 7", 4" centers, rear center ADA drain".
20. **Drawing E1/2 Lighting Schedule:** Fixture type "C" shall be WAC Lighting PLD-F4(Canopy)-451 LED-WT/BN or equal by other manufacturer. Length of cord shall be minimum 96".
21. **Drawing 2/E1-3:** For Alternate #5, see attached revised sheet E1-3 for schedule of fixtures to be replaced.

Products Requested for Substitution as an Equal

1. **Section 033000 Cast in Place Concrete for Buildings:** *Barrier One* is to be added to the list of approved manufactures for admixtures.
2. **Section 061600 Sheathing:** *Paragraph 2.3.A.1.* Add *Wisconsin Phoenix* as an approved manufacturer for vented nailable base.
3. **Section 071300 Composite Sheet Waterproofing:** *Paragraph 2.1.A.1.* Add *W.R. Meadows* as an approved manufacturer for Sheet Waterproofing.

End of Addendum 1

Attached:

Pre-Bid Conference Agenda (4 Pages)
Pre-Bid Meeting Sign-In Sheet (1 Pages)
Revised Drawing Sheet E1-3

Pre-Bid Conference Agenda

August 23, 2016 at 10:00 a.m.

RANDOLPH COUNTY ANIMAL SHELTER ADDITION AND RENOVATION

Location: Randolph County Animal Shelter
1370 County Land Rd.
Randleman, NC 27317

Owner: Randolph County
725 McDowell Rd.
Asheboro, NC 27205

Architect: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, NC 27607
Phone: (919) 781-8582
Fax: (919) 781-3979

On behalf of the Owner and Smith Sinnett Architecture, we would like to thank you for your interest and attendance at this Pre-Bid Conference.

I Bid:
Sealed Bids from Single Prime Contractors will be received and publicly opened at:
3:00 p.m. on Thursday September 8, 2016
Meeting Room A
Randolph County Office Building
725 McDowell Rd.
Asheboro, NC 27205

- II Bid Day Documents:
1. Proposal Form Pages 1 through 6.
 2. Minority Business Participation Form and/or Affidavit.
 - a. Identification of HUB Certified / Minority Business Participation Form Required.
 - i. Name on Form must be the exact name as provided to the NC Office for HUB.
 - b. Affidavit A or Affidavit B.
 3. Bid Bond (5%) or Certified Check (5%)
 4. The County is requiring the use of a 2 envelope system for all bids. The first envelop should include the "Bid Guarantee" (copy of the bid bond), marked as such, and attached to the sealed envelope containing the bidder's proposal. The second bid envelope should be sealed, marked as "BID PROPOSAL" with the following information listed on the outside of the envelope:
 - a. Bidder's Name and Address
 - b. North Carolina Contractor's License Number
 - c. Name of Project
 5. If awarded the Contract, the Bidder must provide an executed Performance Bond and Payment Bond for 100% of the Contract.
 6. Certificates of Insurance and matching endorsement must meet the requirements indicated in the Specifications. Refer to Article 34 of the General Conditions. 30 days notification by certified mail return receipt requested of any (including nonpayment of premium) cancellation, reduction or elimination of the required policies.
 7. Acknowledgement of Addendums, Allowances, and Include Unit Prices
 8. E-Verify Affidavit



Pre-Bid Conference Agenda

August 23, 2016 at 10:00 a.m.

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- 9. VISA Purchasing Card Agreement
 - 10. Any bids that have qualifying notes or comments will be rejected.
- III Bid Opening:
- 1. For mailed bids:
 - a. It's the contractor's responsibility to ensure the bid arrives prior to the bid opening time. If you wish to send your bid via US Mail, FedEx or UPS, please allow several days for delivery since the bid must be received (NOT postmarked) by the date and time stated in the solicitation.
 - b. Place the bid in a double envelope with "Sealed Bid Do Not Open" written on the envelope.
 - c. Sealed envelope will be held and unsealed at the bid opening time.
 - d. Project Name must be clearly marked on the outside of the sealed envelope.
 - 2. For delivered bids:
 - a. The bid opening location is:
 - Meeting Room A
 - Randolph County Office Building
 - 725 McDowell Rd.
 - Asheboro, NC 27205
 - b. Plan to arrive min. 30 minutes in advance of the bid opening to allow time to locate the bid opening location and to find parking.
- IV Schedule:
- 1. No bid may be withdrawn after the scheduled closing time for the receipt of bids for a period of 60 days.
 - 2. Supplementary General Conditions:
 - a. Date of substantial completion: **240 consecutive calendar days** from anticipated Notice to Proceed.
 - 3. The intent is for the Randolph County Board of Commissioners to vote to approve at October 3 meeting.
- V Liquidated Damages:
- 1. Supplementary General Conditions:
 - a. **\$250.00 each calendar day** in excess of the stated completion time.
- VI Examination of Bid Documents:
- 1. All Bidders are expected to fully examine and familiarize themselves with the Drawings, Specifications and Existing Conditions. All Bidders should read the scopes of the bid package. Any questions or clarifications should be directed to the Architect. No allowances will be made after the bids are received for any oversight due to failure to examine the documents.
- VII Substitutions:
- 1. Substitutions or approvals of "Equals" will only be accepted if approved by the Architect in writing at least 10 days prior to the receipt of bids.
 - a. Request for substitutions will be received until August 29, 2016.
- VIII Technical Questions:
- 1. Technical questions shall be submitted to Architect as soon as possible by email or phone.
rcarmac@smithsinnett.com
(919) 781-8582
 - 2. Last day for Questions will be Wednesday August 31, at 5pm.



Pre-Bid Conference Agenda

August 23, 2016 at 10:00 a.m.

The Last Addendum is scheduled to be issued Thursday September 1, by 5pm unless otherwise needed.

IX Construction Documents:

1. Construction Documents may be ordered from:
Smith Sinnett Architecture
4600 Lake Boone Trail, Suite 205
Raleigh, NC 27607
919-781-8582
2. Electronic Copies of the Plans and Specifications are available upon request and with a completed Plan Request Form found at www.smithsinnett.com under the Documents Tab.

X Addenda:

1. Addenda will be emailed to everyone on the Architect's plan holders list that has requested access to the Construction Documents
2. Addenda can also be downloaded from: www.smithsinnett.com under the Documents Tab.
3. An addenda will be issued to address any questions raised today.
4. All Addendums will be issued by email. Verify that email security will allow emails from rcarmac@smithsinnett.com.

XI Bidders List:

1. Bidders List can be downloaded from www.smithsinnett.com under the Documents Tab.

XII Architect's Description of the project:

1. Base Bid – General Scope
2. Alternates:
 - a. Alternate 1 – Owner Preferred Manufacturers
 - b. Alternate 2 – Existing Building – Exterior Painting
 - c. Alternate 3 – Existing Building – Metal Roof Replacement
 - d. Alternate 4 – Existing Building – Interior Improvements
 - e. Alternate 5 – Existing Building – Lighting Upgrade
 - f. Alternate 6 – Hollow Metal Interior Frames and Doors

Pre-Bid Conference Agenda**August 23, 2016 at 10:00 a.m.**

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3. Allowances:
 - a. Allowance No. UP/A-1 – Undercut/Replacement in Open
 - i. Quantity: 2,500 cu. yds
 - b. Allowance No. UP/A-2 – Undercut/Replacement in Trenches
 - i. Quantity: 50 cu. yds
 - c. Allowance No. UP/A-3 – Utility Trench Undercut/Replacement
 - i. Quantity: 50 cu. yds.
 - d. Allowance No. UP/A-4 –Rock Excavation/Replacement in Open
 - i. Quantity: 100 cu. yds.
 - e. Allowance No. UP/A-5 – Utility Trench Rock Excavation/Replacement
 - i. Quantity: 50 cu. yds.
 - f. Allowance No. UP/A-6 – Geotextile Fabric
 - i. Quantity: 2,000 sq yds.
 - g. Allowance No. UP/A-7 – Special Primer
 - i. Quantity: 3,200 sqft
 - h. Allowance No. UP/A-8 – Face Brick
 - i. Quantity: \$485 / 1000
 - i. Allowance No. A-9 – Room Signage and Specialty Signage
 - i. Lump Sum: \$7,500
 - j. Allowance No. A-10 – Contingency
 - i. Lump Sum: \$20,000
 4. Unit Prices
 - a. Unit Price UP/A-1 – Undercut/Replacement in Open
 - b. Unit Price UP/A-2 – Undercut/Replacement in Trenches
 - c. Unit Price UP/A-3 – Utility Trench Undercut/Replacement
 - d. Unit Price UP/A-4 – Rock Excavation/Replacement in Open
 - e. Unit Price UP/A-5 – Utility Trench Rock Excavation/Replacement
 - f. Unit Price UP/A-6 – Geotextile Fabric
 - g. Unit Price UP/A-7 – Special Primer
 - h. Unit Price UP/A-8 – Face Brick
- XIII Open Meeting for Preferred Alternates:
1. Owner Preferred Manufacturer:
 - a. Door Hardware Locks, Latches and Access Control Locks: Manufacturer – US Locks

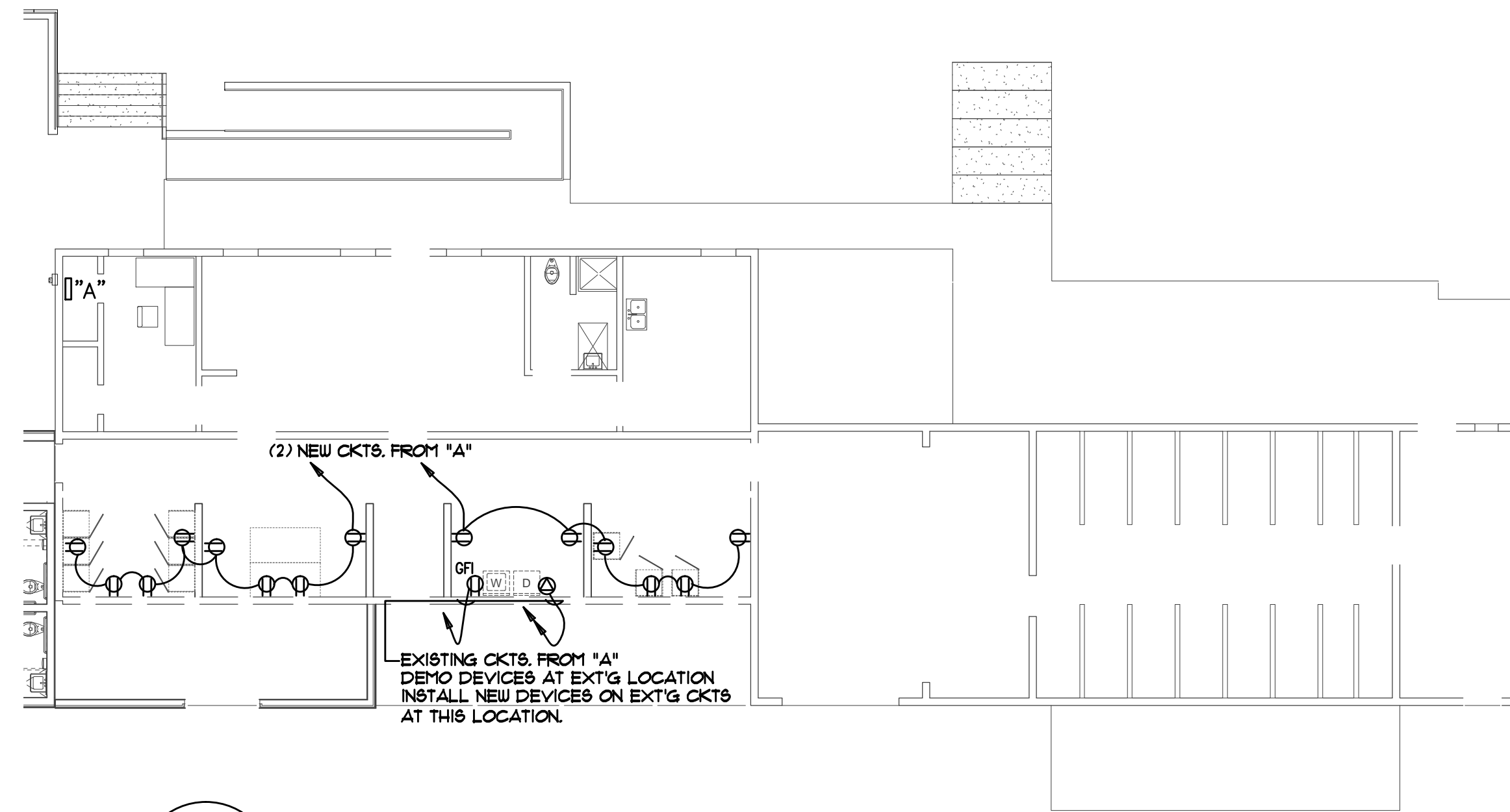
Randolph County Animal Shelter Addition & Renov.

Date: August 23, 2016

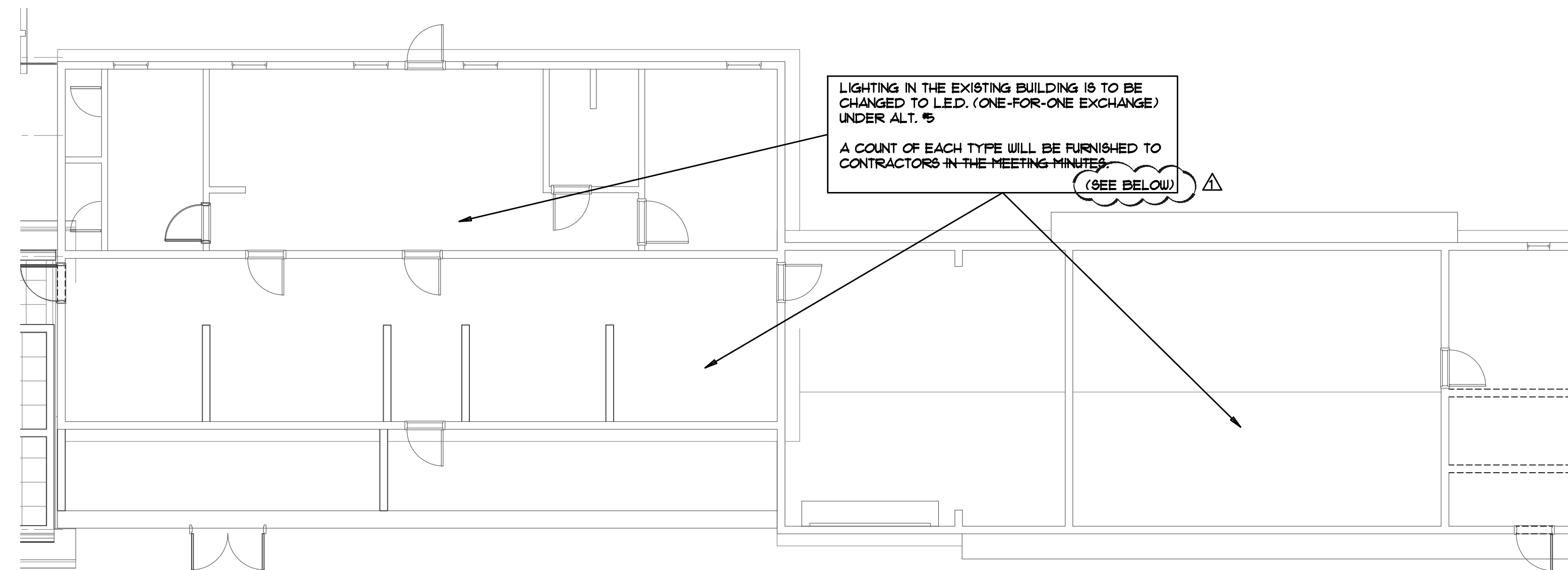
Pre Bid Meeting

Smith Sinnett Architecture, P.A.

Name	Company	Email address	Phone Number
JOE DONNELLY	PRO CONSTRUCTION	PROCONNC@gmail.com	910 455-0647
Randy Beqq	Cedet Const	Est.mattire@Cedetcc.com	919 758 814
Paige KUTZ	Hodgin Construction	hodgincc@triadbiz.com	336-299-5400
MULE SCHULTZ	BAR CONST. Co.	LSMITT@BARCONSTRUCTION.COM	336-274-2477
ERIC FERGUSON	Progressive Contracting	eferguson@progressivecc.com	252-482-4174
JAKO WHITE	GARANCO, INC	JAKO.WHITE@GARANCO.COM	336-362-6253
Mark Ferris	ACH Constructors	MarkFe@ACHConstructors.com	919-484-9550
Michelle Critcher	MLB Construction Services	mcritcher@mlbind.com	919-387-4647
MARK TROLLINGER	TROLLINGER CONST.	builder@ashelboro.com	336-625-6033
TAYLOR TROGDON	SE TROGDON & SONS	taylor.t@trudbin.vr.com	336-625-2217
Kenneth Harrold	Hayco Construction	Kharrold@hayco-construction.com	336- 648-6884
TERRY ELLINGTON	ELLINGTON CONTRACTING	Isaac Ellington Contracting	hot mail 919-548-1131 t@hotmail.com 1131
Paul Parker	Harrod & Assoc.	pparker@harrodandassoc.com	919-828-7782 336-992-7000
Travis Langley	Lomax Construction	mharvell@lomaxconstruction.com	
JOSH HYLER	H.M. KERN CORPORATION	JHYLER@HMKERN.com	336-668-3213
Allen Hedgepeth	Color Landscapes	ahedgepeth@colorlandscapes.com	
MICHAEL MAZZARONE	L.A. Downey & Son	davidford@LADowney.com	919 688-8029
Chris Hoover	W.C. Construction Company	chrisshawconstructionco.com	336-721-3420
Bavett Lail	Trollinger Construction	builder@ashelboro.com	336-625-6033
STEVE ELLIS	KMD CONSTRUCTION	Steve@KMDCONSTRUCTION.NET	704) 636-6560



1
E1-3 **RECEPTACLE ADDITIONS FOR ALTERNATE #4**
3/32" = 1'-0"



2
E1-3 **LIGHTING UPGRADE FOR ALTERNATE #5**
3/32" = 1'-0"

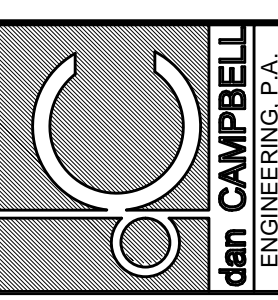
LIGHTING SCHEDULE & ENERGY TABULATION

FIXTURE COUNT IS FOR ENERGY CALCULATIONS ONLY. CONFIRM FINAL COUNTS WITH OWNER OR OWNER'S REP.

TYPE	FIXTURE SYMBOL	FIXTURE DESCRIPTION	MANUFACTURER	# OF FIXT. SPEC'D.	LAMP WATTS	WATTS/FIXTURE	SUB-TOTAL WATTS
A	○	1'x4' L.E.D. LENSED TROFFER WITH ADVANCED STATE TECHNOLOGY	COLUMBIA LIGHTING #LLT 14 35 HL G FS A12F ED U	36	34.7	34.7	1,249
B	□	2'x4' L.E.D. SURFACE MOUNTED FIXTURE IN OFFICE AREAS	LITHONIA LIGHTING 2TLX4 72L FW A12 MVOLT EZ1 LP840 WITH COMPATIBLE DIMMER SYSTEM IN OFFICE AREAS	6	67	67	402

OR EQUAL' FIXTURE CONSIDERED WITH SUBMITAL TO OWNER/ENGINEER

DAN CAMPBELL ENGINEERING, P.A.
911 South Chatham St.
Greensboro, N.C. 27405

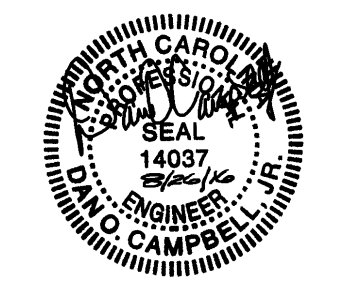


(336) 370-4880

For Construction



T 919 781 8882
F 919 781 3979
4608 Lulu Boone Trail
Suite 205
Raleigh, NC 27607
info@smithsinnett.com



DESIGN DEVELOPMENT

R. C. PRITCHARD
ENGINEERING SERVICES
212 KIRK ROAD
GREENSBORO, NC 27455
PHONE: 336-382-3831

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Smith Sinnett Architecture, P.A. 2015
THIS DRAWING IS FORWARDED TO BE PRINTED ON A 24" X 36" SHEET

RANDOLPH COUNTY ANIMAL CONTROL

ADDITION AND RENOVATION
1370 County Land Road
Randleman, NC 27317

△	DATE	ADDED FIXT. COUNTS	DESCRIPTION
	8/26/16		

DRAWN BY: DOC
CHECKED BY: DOC

ELECTRICAL ALTERNATES

2015008 15th Aug 2016

E1-3