

Addendum #1

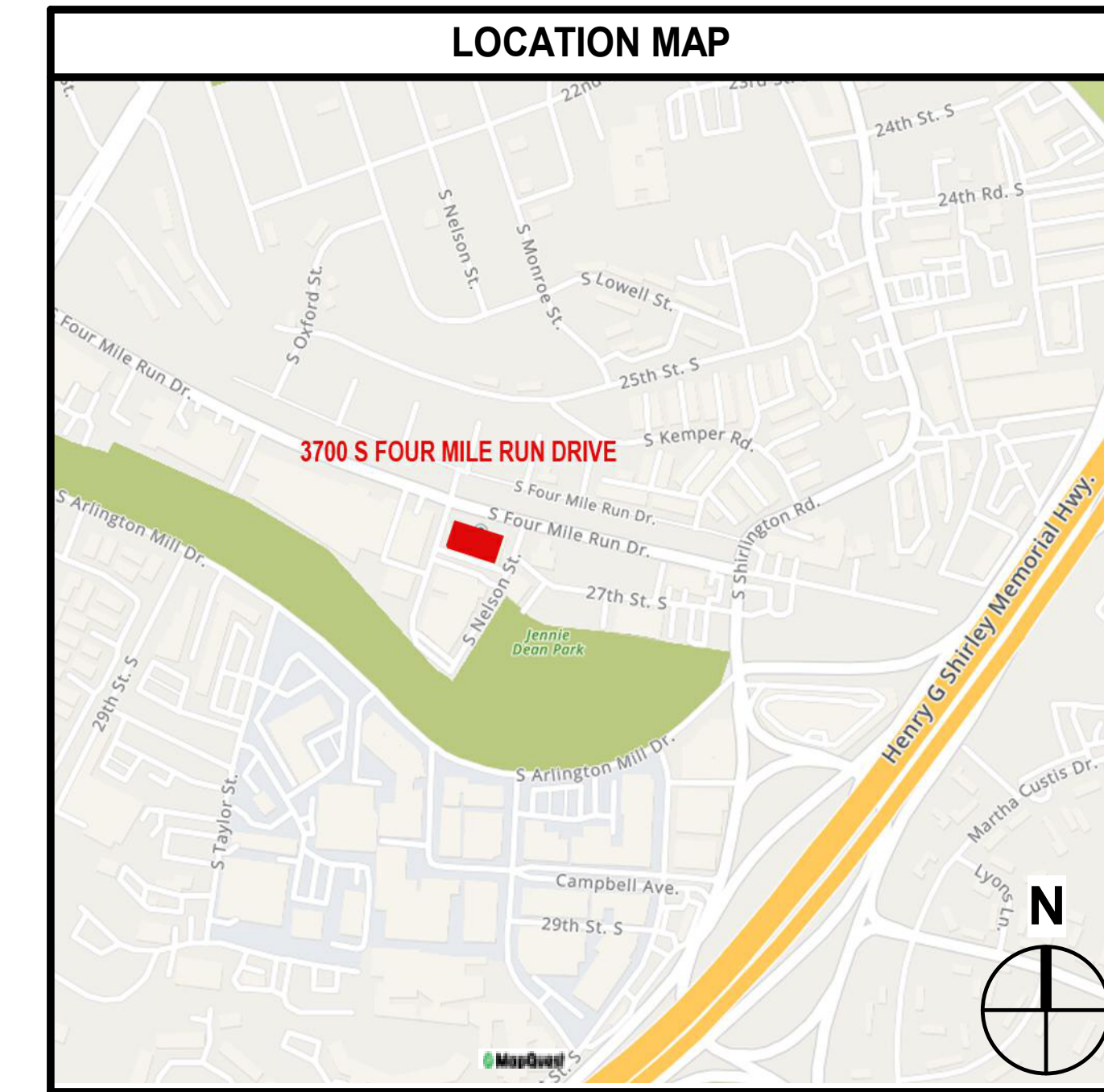
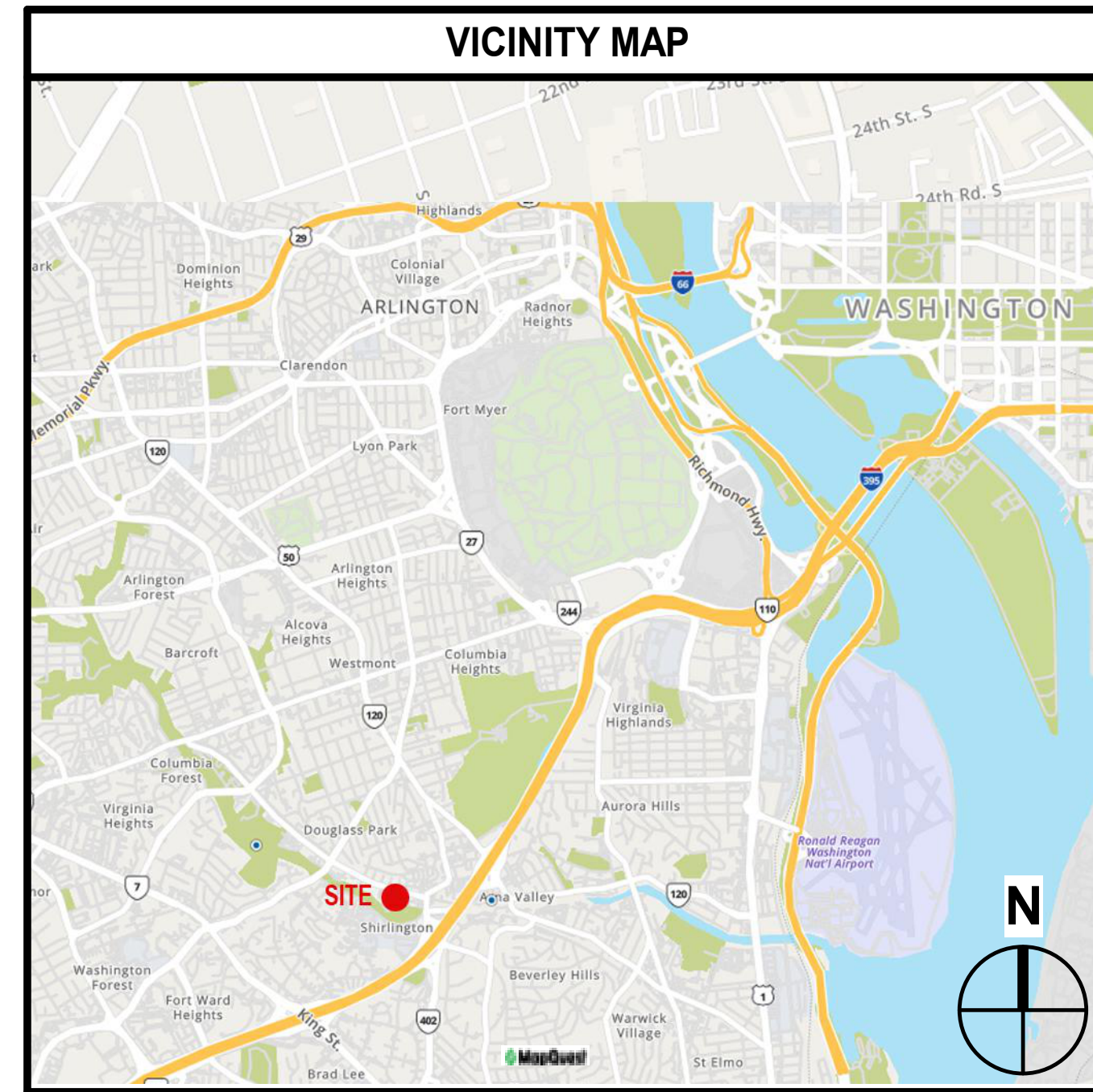
# ARLINGTON CULTURAL AFFAIRS RENO

## FACILITIES DESIGN & CONSTRUCTION ARLINGTON, VIRGINIA

No. 22-DES-RFP19i

**MOSELEY**ARCHITECTS

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**ARLINGTON CULTURAL AFFAIRS RENO**

No. 22-DES-RFP19i  
FACILITIES DESIGN & CONSTRUCTION  
3700 S. FOUR MILE RUN DRIVE

DATE	DESCRIPTION
12.15.23	BID SET
02.02.24	REV 2
02.23.24	ADD 1

COVER

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THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.  
IN CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE BETTER QUALITY. IN CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE GREATER QUANTITY OF WORK.

VCC 302.1	<b>Classification</b>	<b>Group</b>
	Assembly	A-3
	Business	B
	Moderate-Hazard Factory Industrial	F-1
	Low-Hazard Factory Industrial	F-2

**VCC  
703.3 FIRE-RESISTANCE-RATED CONSTRUCTION**

**Alternative methods for determining fire resistance**

The required fire resistance of a building element shall be permitted to be established by the following:  
Fire resistance designs documented in approved sources  
Prescriptive designs as prescribed in Section 721

**707.6 Openings [fire barriers]**

Each opening shall be protected per Section 716; limited to maximum aggregate width of 25% of length of wall; and maximum area of any single opening shall be 156 SF

**715.1 Fire-resistant joint systems**

Joints in fire-resistance-rated walls, assemblies, roofs, floors, and ceilings shall be protected by an approved fire-resistant joint system

Opening Fire Protection Ratings	Assembly rating	Fire Door / Shutter Rating
Fire walls	2 hours	1-1/2 hour
Fire barriers	2 hours	1-1/2 hour

**717.4 Access and identification [dampers]**

Provide access to all fire, smoke, and combination dampers large enough to permit inspection and maintenance of the damper and its operable parts  
Access shall not affect or reduce the rated integrity  
Identify all access points with a label complying with Section 717.4

**VCC  
801.8 INTERIOR FINISHES**

**Foam plastics**

Foam plastics shall not be used as interior finish or trim except as provided in Sections 803.4, 806.3, or 2604.2

Class	Flame Spread	Smoke Developed
A	0-25	0-450
B	26-75	0-450
C	76-200	0-450

Interior wall and ceiling finish requirements by occupancy			
Sprinklered			
Group	Exit enclosures and passageways	Corridors	Rooms and enclosed spaces
A-3, A-4, and A-5	B	B	C
B, E, M, and R-1	B	C	C
F	C	C	C

**VCC  
803.11.1 Direct attachment and furred construction**

Where walls or ceilings are required to be fire-resistance-rated or noncombustible, apply interior finish directly to such construction or furring strips not more than 1-3/4 inches in size

Fill intervening spaces between furring strips with inorganic, noncombustible, or Class A material; or fireblock at 8-ft intervals

**VCC  
806.1.2 Combustible decorative materials**

Amount of combustible decorative material shall not exceed 10% of the aggregate area of walls and ceilings

Exception 3: Unlimited where suspended from ceiling and not supported by floor in Groups B and M

**VCC  
806.5 Interior trim**

Other than foam plastic, shall be minimum Class C

Combustible trim, excluding handrails and guards, shall not exceed 10% of the specific wall or ceiling area in which it is attached

**VCC  
Table FIRE PROTECTION SYSTEMS**

Portable Fire Extinguisher distribution
[F]906.3 (1) Maximum floor area coverage shall not exceed 11,250 SF Maximum travel distance shall not exceed 75 feet

**VEBC  
701.2 Work Undertaken in Connection With a Change of Occupancy**

Any repairs, alterations, or additions undertaken in connection with a change of occupancy shall conform to the applicable requirements for the work as classified in this code and as modified by this chapter.

**703.1 Interior Finish**

In areas of the building undergoing a change of occupancy classification, the interior finish of walls and ceilings shall comply with the requirements of the VCC for the new occupancy classification.

**703.2 Enclosure of Vertical Openings**

When a change of occupancy classification is made to a higher hazard category as shown in Table 705.2, protection of existing vertical openings shall be in accordance with Sections 703.2.1 through 703.2.3.

**703.2.1 Stairways**

Interior stairways shall be protected as required by Section 705.1.

**704.1 Fire Protection Systems**

Fire protection systems shall be provided in accordance with Sections 704.2 and 704.4.

**704.2 Fire Sprinkler System**

Where a building undergoes a change of occupancy that requires an automatic fire sprinkler system to be provided based on the new occupancy in accordance with Section 903 of the VCC, such automatic fire sprinkler system shall be provided throughout the area where the change of occupancy occurs.

**704.3 Fire Alarm and Detection System**

Where a building undergoes a change of occupancy that requires a fire alarm and detection system to be provided based on the new occupancy in accordance with Section 907 of the VCC, such fire alarm and detection system shall be provided throughout the area where the change of occupancy occurs. Existing alarm notification appliances shall be automatically activated throughout the building. Where the building is not equipped with a fire alarm system, alarm notification appliances shall be provided throughout the area where the change of occupancy occurs in accordance with Section 907 of the VCC as required for new construction.

**705.2 Hazard Categories for Egress [Change of Occupancy]**

Existing building Occupancy Classification: A, E, I-1, M, R-1, R-2, R-4; Hazard Category: 3  
Existing building Occupancy Classification: B, F-1, R-3, S-1; Hazard Category: 4  
Change of Occupancy Classification: B, F-1, R-3, S-1; Hazard Category: 4  
Change of Occupancy Classification: F-2, S-2, U; Hazard Category: 5 (lowest)  
Change is to an equal hazard category  
Change is to a lower hazard category

**705.4 Means of Egress for an Equal or Lower Hazard Category [Change of Occupancy]**

When a change of occupancy classification is made to an equal or lesser hazard category (higher number) as shown in Table 705.2 or a change of occupancy without a change of classification is made, the means of egress shall be deemed acceptable provided the means of egress serving the area of the change of occupancy meets the egress capacity and occupant load based means of egress provisions in Chapter 10 of the VCC for the new occupancy.

**706.2 Hazard Categories for Height and Area [Change of Occupancy]**

Existing building Occupancy Classification: A-1, A-2, A-3, A-4, I, R-1, R-2, R-4; Hazard Category: 2  
Existing building Occupancy Classification: B, F-2, S-2, A-5, R-3, U; Hazard Category: 4 (lowest)  
Change of Occupancy Classification: E, F-1, S-1, M; Hazard Category: 3  
Change of Occupancy Classification: B, F-2, S-2, A-5, R-3, U; Hazard Category: 4 (lowest)  
Change is to a lower hazard category

**706.4 Height and Area for Change to Equal or Lesser Hazard Category [Change of Occupancy]**

When a change of occupancy classification is made to an equal or lesser hazard category as shown in Table 706.2, the height and area of the existing building shall be deemed acceptable.

**707.1 Hazard Categories for Exterior Wall Fire-Resistance Rating [Change of Occupancy]**

Existing building Occupancy Classification: A, B, E, I, R; Hazard Category: 3  
Change of Occupancy Classification: F-1, M, S-1; Hazard Category: 2  
Change of Occupancy Classification: F-2, S-2, U; Hazard Category: 4 (lowest)  
Change is to a higher hazard category

**707.2 Exterior Wall Rating for Change for a Higher Hazard Category [Change of Occupancy]**

When a change of occupancy classification is made to a higher hazard category as shown in Table 707.1, exterior walls shall have fire resistance and exterior opening protectives as required by the VCC.

**708.1 Electrical Requirements for Special Occupancies**

Where a building undergoes a change of occupancy to one of the following special occupancies as described in NFPA 70, the electrical wiring and equipment of the building that contains the proposed occupancy shall comply with the applicable requirements of NFPA 70: Hazardous locations, Commercial garages, repair, and storage, Aircraft hangars, Gasoline dispensing and service stations, Bulk storage plants, Spray application, dipping, and coating processes, Health care facilities, Places of assembly, Theaters, audience areas of motion picture and television studios, and similar locations, Motion picture and television studios and similar locations, Motion picture projectors, and Agricultural buildings.

**708.3 Number of Electrical Outlets**

Where a building undergoes a change of occupancy, the number of electrical outlets shall comply with NFPA 70 for the new occupancy.

**708.4 Lighting**

Lighting shall comply with the requirements of the VCC for the new occupancy.

**710.1 Plumbing Increased Demand**

Where a building or portion thereof undergoes a change of occupancy such that the new occupancy is subject to increased or different plumbing fixture requirements or to increased water supply requirements in accordance with the International Plumbing Code, the new occupancy shall comply with the respective International Plumbing Code provisions.

Exception: In other than Group R or I occupancies or child care facilities classified as group E, where the occupant load is increased by 20 percent or less in the area where the change of occupancy occurs, additional plumbing fixtures required based on the increased occupant load in quantities specified in the International Plumbing Code are not required.

**712.1 Assessibility**

Existing buildings that undergo a change of occupancy classification shall comply with Section 402.

**404.3 Alterations Affecting an Area Containing a Primary Function**

Where an alteration affects the accessibility to, or contains an area of primary function, the route to the primary function area shall be accessible. The accessible route to the primary function area shall include toilet facilities and drinking fountains that shall also be accessible to and useable by individuals with disabilities, serving the area of primary function.

**404.4.1 Entrances**

Where an alteration includes alterations to an entrance, and the facility has an accessible entrance on an accessible route, the altered entrance is not required to be accessible unless required by Section 404.3. Signs complying with Section 1111 of the VCC shall be provided.

Exception: Where an alteration includes alterations to an entrance, and the facility has an accessible entrance, the altered entrance is not required to be accessible, unless required by Section 404.3. Signs complying with Section 1111 of the VCC shall be provided.

**404.4.1.1 Thresholds**

The maximum height of thresholds at doorways shall be 3/4 inch (19.1 mm). Such thresholds shall have beveled edges on each side.

**501.2 Conformance**

The work shall not make the building less conforming than it was before the repair was undertaken. Repairs shall be done in a manner that maintains the following:

1. Level of fire protection that is existing.
2. Level of protection that is existing for the means of egress.
3. Level of accessibility that is existing.

**601.1 Alterations General**

Except as modified in Chapter 9 or this chapter, alterations to any building or structure shall comply with the requirements of the VCC for new construction. Alterations shall be such that the existing building or structure is no less conforming to the provisions of the VCC than the existing building or structure was prior to the alteration. Portions of the building or structure not being altered shall not be required to comply with the requirements of the VCC.

Exception 4. Alterations complying with the requirements of the building code under which the building or structure or the affected portions thereof was built, or as previously approved by the building official, shall be considered in compliance with the provisions of this code. New structural members added as part of the alteration shall comply with the VCC. Alterations of existing buildings in flood hazard areas shall comply with Section 601.3.

**601.2 Levels of Alterations**

Level 1 alterations include the removal and replacement or the covering of existing materials, elements, equipment, or fixtures using new materials, elements, equipment, or fixtures that serve the same purpose, or the removal without replacement of materials, elements, equipment, or fixtures. Level 1 alterations shall comply with the applicable provisions of Section 602.

Level 2 alterations shall comply with the applicable provisions of Sections 602 and 603 and shall include the following:

1. The addition or elimination of any door or window.
2. The addition or elimination of any wall, floor, or ceiling assembly.
3. The reconfiguration or extension of any system.
4. The installation of any addition, equipment, materials, elements or fixtures.

**601.4 Energy Conservation**

Except as modified by this section, alterations to an existing building, building system, or structure shall conform to the applicable provisions of the Virginia Energy Conservation Code or Virginia Residential Code as they relate to new construction without requiring the unaltered portions of the existing building, building system or structure to comply with the VECC or VRC.

**602.2 Level 1 Alterations Conformance**

Alterations shall be done in a manner that maintains the following:

1. Level of fire protection that is existing.
2. Level of protection that is existing for the means of egress. Directional signs shall be provided.

**602.3 Building Elements and Materials**

Building elements and materials shall comply with the applicable provisions of Sections 302 and 602.3.1 through 602.3.3.

**602.3.1 Interior Finishes and Trim**

All newly installed interior finish and trim materials and wall, floor and ceiling finishes shall comply with Chapter 8 of the VCC.

**602.3.2 Materials and Methods**

All new building elements and materials shall comply with the materials and methods requirements in the VCC, International Energy Conservation Code, International Mechanical Code and International Plumbing Code, as applicable, that specify material standards, detail of installation and connection, joints, penetrations and continuity of any element, component or system in the building.

**603.1 - 603.2 Level 2 Alterations**

Level 2 alterations as described in Section 601.2.2 shall comply with the requirements of this section and section 602.

**603.3 Level 2 Alterations Compliance**

All new construction elements, components, systems, and spaces shall comply with the requirements of the VCC.

**ADMINISTRATION**

Applicable Codes, Standards, and/or References	Year
Virginia Existing Building Code (Virginia Uniform Statewide Building Code, Part I)	2018
Virginia Construction Code (VCC)	2018
Virginia Statewide Fire Prevention Code (VSFPC)	2018
Virginia Plumbing Code (VPC)	2018
Virginia Mechanical Code (VMC)	2018
Virginia Fuel Gas Code (VFGC)	2018
Virginia Energy Conservation Code (VECC)	2018
NFPA 70, National Electrical Code (NEC)	2017
ADA Standards for Accessible Design	2010

Refer to other Contract Documents (disciplines) and Specifications for additional code summary information not included in this Code Summary (generally related to IBC Chapters 13 through 33).

EXISTING BUILDING INFORMATION	
ORIGINAL BUILDING PERMITTED UNDER BOCA 1996	
CONSTRUCTION TYPE: 2C, NON-COMBUSTIBLE	
USE GROUP: ASSEMBLY A-3 NON SEPARATED USE BUSINESS B (WORK AREA LEVEL 2 ALTERATIONS IN BUSINESS OCCUPANCY)	
OVERALL BUILDING MAIN FLOOR 24,892 SF	
UPPER FLOOR, 1017 SF	
BUILDING HEIGHT 26'-6" +/-, 2 STORIES	
PROTECTED: FULLY SPRINKLERED, FIRE ALARM MONITORED BY CENTRAL STATION	

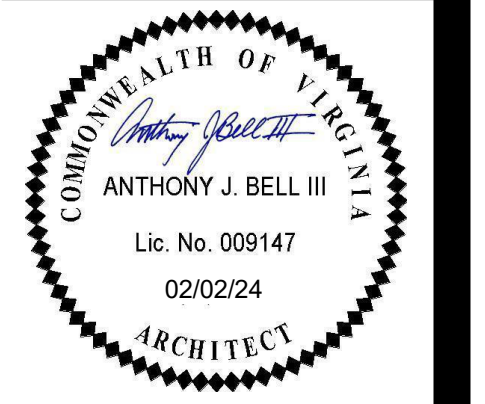
CONSTRUCTION TYPE: BUILDING #1		IIB
BUILDING ELEMENT	REQUIRED RATING	
PRIMARY STRUCTURAL FRAME	0 HRS	
EXTERIOR BEARING WALLS	0 HRS	
INTERIOR BEARING WALLS	0 HRS	
EXTERIOR NONBEARING WALLS AND PARTITIONS	0 HRS	
INTERIOR NONBEARING WALLS AND PARTITIONS	0 HRS	
FLOOR CONSTRUCTION & SECONDARY MEMBERS	0 HRS	
ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HRS	
FIRE BARRIERS	1 HR	

FACILITY GROSS SF AREA			
BUILDING	STORY LEVEL 1 (SF)	STORY LEVEL 2 (SF)	TOTAL AREA
1	24,892	1,017	25,909
<b>TOTAL AREA</b>	<b>24,892</b>	<b>1,017</b>	<b>25,909</b>

SCOPE OF WORK	
THIS PROJECT CONSISTS OF INTERIOR RENOVATION OF AN EXISTING BUSINESS USE SPACE AND CONVERSION TO A POTTERY STUDIO, TEXTILE STUDIO AND PRINTMAKING STUDIO. THE USE OF THE SPACES CHANGES FROM A (BUSINESS OCCUPANCY TO (F-1) AND (F-5) USE AS SHOWN ON THE LS SHEETS. THERE IS NO CHANGE TO THE EXISTING EGRESS PATTERN.	
THE LEVEL 2 ALTERATIONS CONSISTING OF MODIFICATIONS TO WALLS AND DOORS, RECONFIGURING THE MECHANICAL AND ELECTRICAL SYSTEMS AND NEW EQUIPMENT AND FIXTURES. THESE MODIFICATIONS ARE LIMITED TO THE WORK AREA SHOWN. THE REMAINDER OF THE BUILDING SHALL BE EXISTING TO REMAIN.	

**GENERAL PROVISIONS AND SPECIAL DETAILED REQUIREMENTS**

Occupancy and Use
When determining the appropriate application of the referenced sections of this code, the occupancy and use of a building shall be determined in accordance with Chapter 3 of the VCC.
New and Replacement Materials
Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no hazard to life, health or property is created. Hazardous materials shall not be used where the VCC would not permit their use in buildings or structures of similar occupancy, purpose and location
Accessibility
404.1 Alterations General
Alterations shall not reduce or have the effect of reducing accessibility of a facility or portion of a facility.
404.2 Alterations
A facility that is altered shall comply with the applicable provisions in this section and Chapter 11 of the VCC, except as modified by Sections 404.3 and 404.4, unless technically infeasible. Where compliance with this section is technical infeasible, the alteration shall provide access to the maximum extent technically feasible.

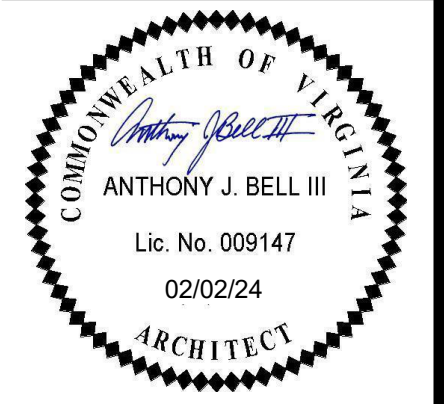


**ARLINGTON CULTURAL AFFAIRS RENO**  
No. 22-DES-RFP191  
FACILITIES DESIGN & CONSTRUCTION  
3700 S. FOUR MILE RUN DRIVE

REVISIONS
DATE DESCRIPTION
09/01/23 PERMIT SET
12/12/23 REV 1
02/02/24 REV 2

CODE SUMMARY

LS1.0



**BUILDING - 1 DATA**

CONSTRUCTION TYPE:	IIB	
FULLY SPRINKLED:	Yes; Allowable Area Factor "SM" per Table 506.2	
MIXED OCCUPANCY:	Yes	
NON-SEPARATED MIXED USE:	Yes	DESIGN OCCUPANCY CLASSIFICATION: A-3: Assembly
SEPARATED MIXED USE:	No	

Used most restrictive category for calculations A-3, B, F-1 and F-2

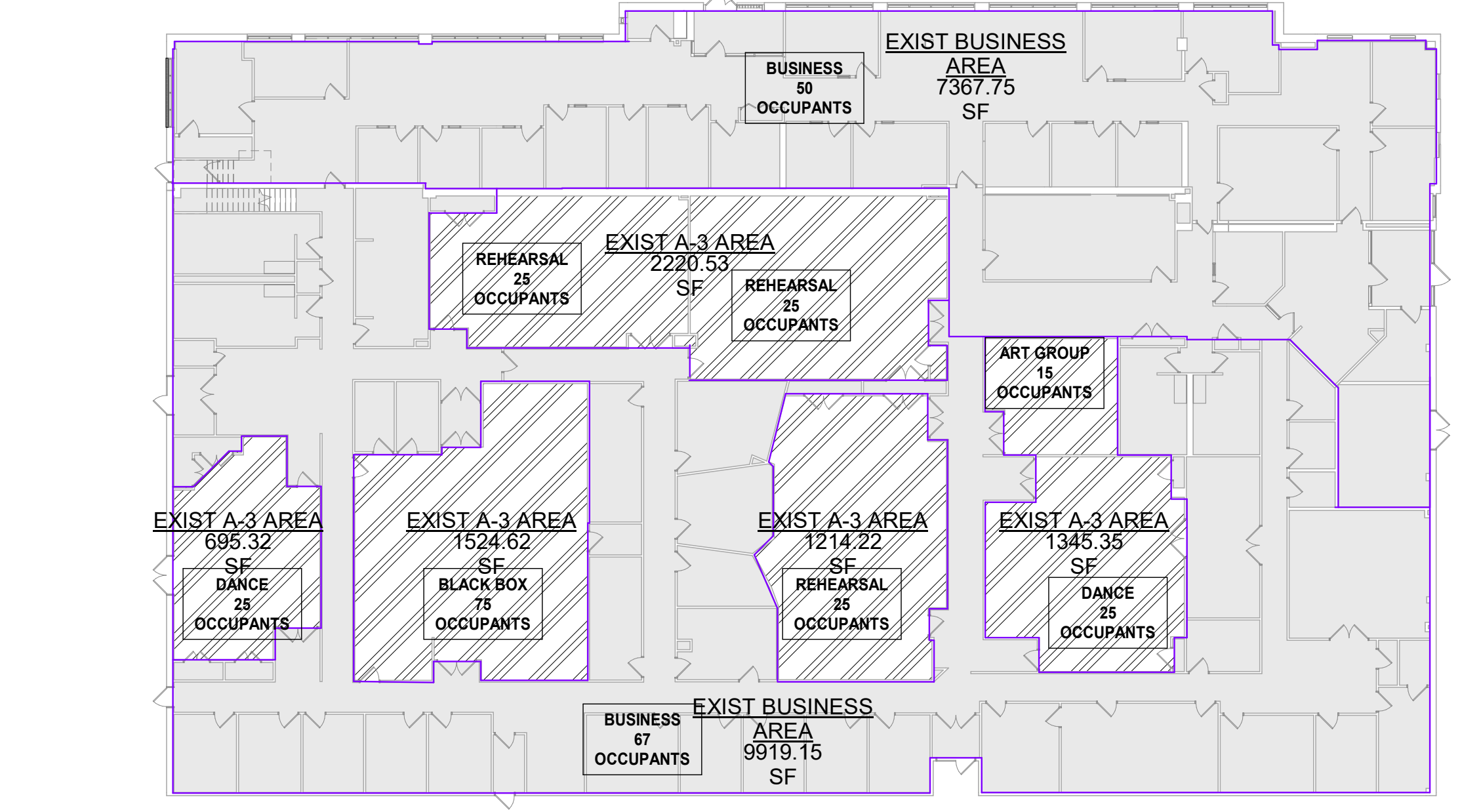
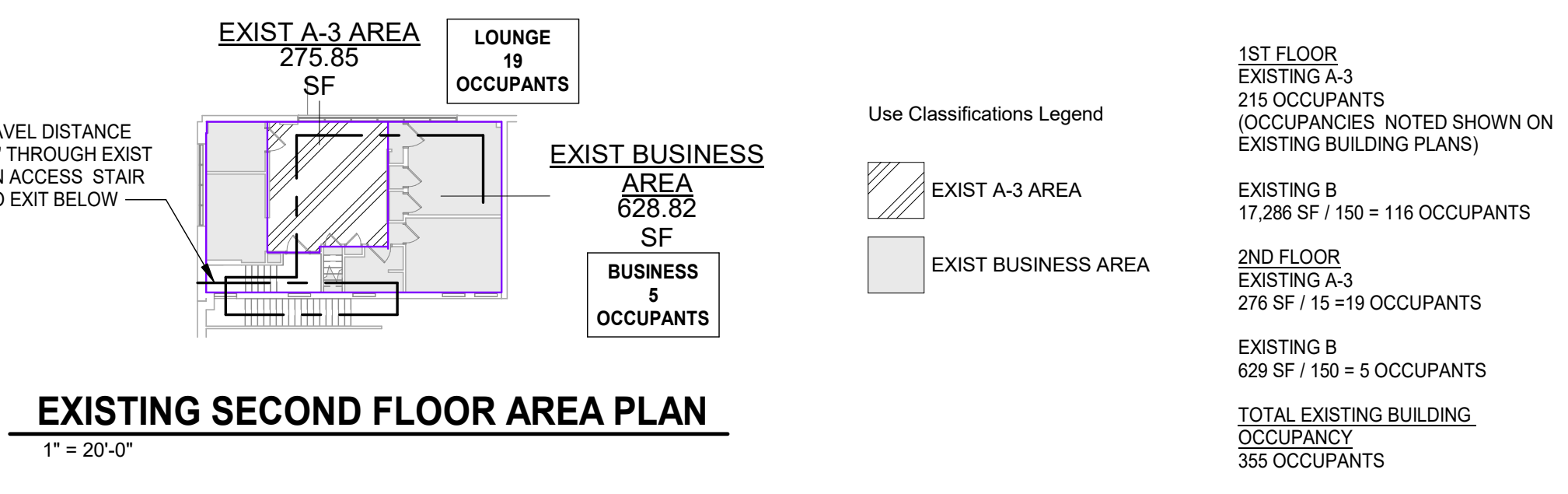
BUILDING HEIGHT IN FEET - TABULAR (TABLE 504.3)	BUILDING HEIGHT IN FEET (ACTUAL)	BUILDING HEIGHT NOT GREATER THAN ALLOWABLE	ALLOWABLE STORIES - TABULAR (TABLE 504.4)	STORIES ABOVE GRADE (ACTUAL)	BUILDING HEIGHT NOT GREATER THAN ALLOWABLE
75	31	YES	3	2	YES

STORY LEVEL	AREA IN SQUARE FEET - TABULAR (TABLE 506.2)	FRONTAGE INCREASE (SF)	ALLOWABLE AREA PER STORY (SF)	BUILDING AREA PER STORY (ACTUAL SF)	ALLOWABLE LARGER THAN ACTUAL
STORY 1	28,500	0	28,500	24,287	YES
STORY 2	28,500	0	28,500	876	YES
<b>TOTAL BUILDING AREA</b>			<b>57,000</b>	<b>25,163</b>	<b>YES</b>

**TOTAL BUILDING AREA DETERMINATION:** Two-Story; Allowable times 2

NOTE: CONTRACTOR SHALL BE REQUIRED TO PROCURE PERMIT FOR KILNS PER VFC 2018, 3001.2



**FIRE RATED ASSEMBLIES**  
 REPRESENTED BY Xn

THE ASSEMBLIES REFERENCED ARE BASIS OF DESIGN. EQUIVALENT COMPATIBLE TESTED ASSEMBLIES WILL BE ACCEPTABLE IF APPROVED BY THE LAHJ

MARK	FIRE RATING	APPLIES TO	REFERENCE	REMARKS
X1	1 HR OR 2 HR	PARTITIONS	UL U419	-

**LIFE SAFETY SYMBOL LEGEND**  
 APPLIES TO LS SERIES OF DRAWINGS ONLY

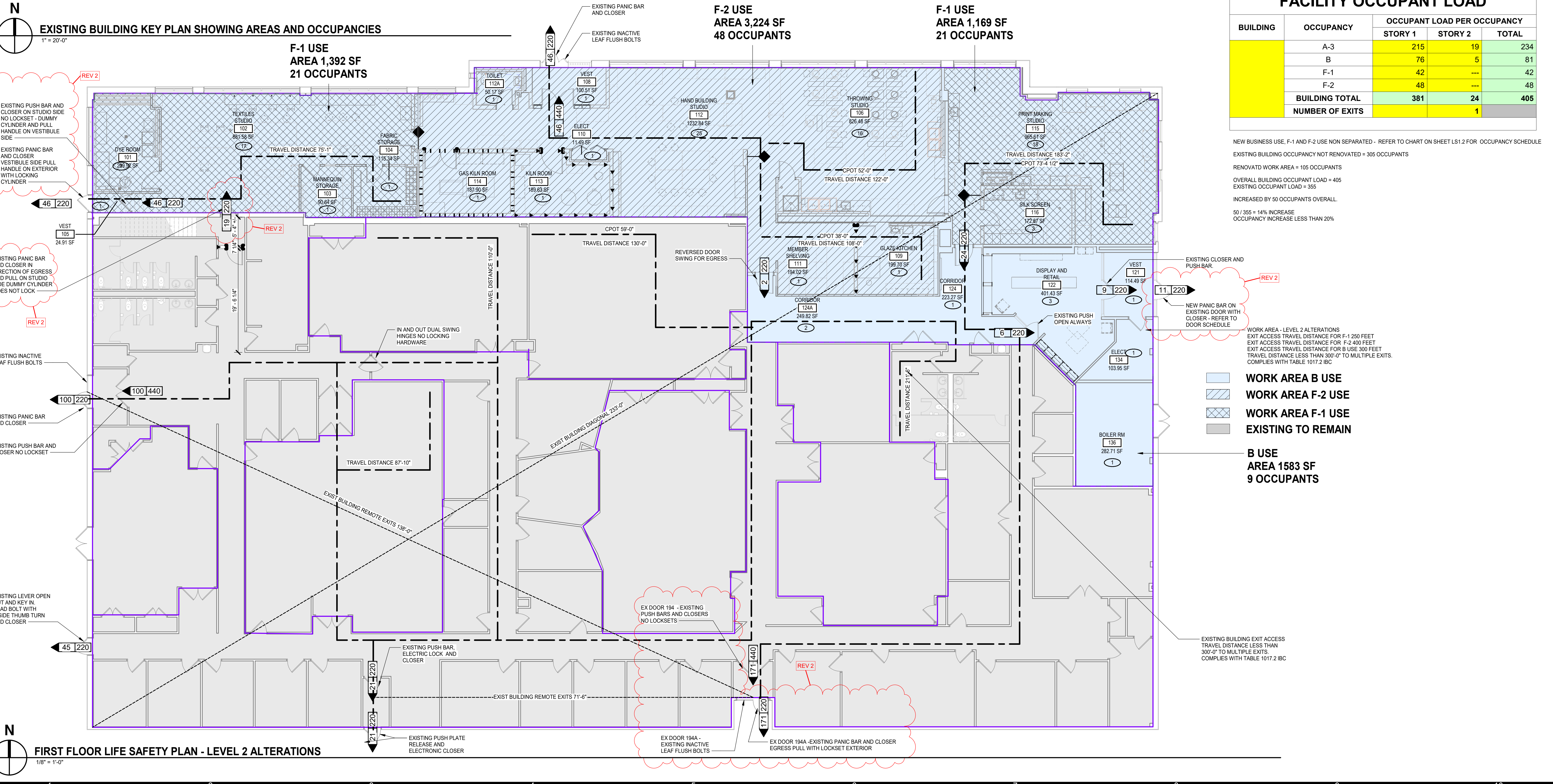
DESIGNATOR MATRIX	SYMBOLS
BARRIER	ROOM NUMBER
1 HR FIRE	DIRECTION OF EGRESS
2 HR FIRE	EGRESS LOAD CAPACITY
	NUMBER OF OCCUPANTS
	EGRESS LOAD CAPACITY
	MAXIMUM TRAVEL DISTANCE
	FIRE EXTINGUISHER CABINET

NOTES:  
 1. WALL DESIGNATIONS ON THE LS SERIES OF DRAWINGS ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REPRESENT THE ACTUAL WALL/PARTITION CONSTRUCTION.  
 2. REFER TO THE CONTRACT DOCUMENTS, INCLUDING THE LIFE SAFETY SYMBOLS LEGEND AND A0, A1 AND A2 SERIES OF DRAWINGS, FOR ACTUAL WALL/PARTITION TYPES AND CONSTRUCTION REQUIREMENTS.  
 3. RATING OF BEARING OR NON-BEARING WALLS ARE PER TABLE 601 AND SECTION 602.1 AND DO NOT REQUIRE PROTECTED OPENINGS.

**FACILITY OCCUPANT LOAD**

BUILDING	OCCUPANCY	OCCUPANT LOAD PER OCCUPANCY		
		STORY 1	STORY 2	TOTAL
	A-3	215	19	234
	B	76	5	81
	F-1	42	---	42
	F-2	48	---	48
	<b>BUILDING TOTAL</b>	<b>381</b>	<b>24</b>	<b>405</b>
	<b>NUMBER OF EXITS</b>		<b>1</b>	

NEW BUSINESS USE, F-1 AND F-2 USE NON SEPARATED - REFER TO CHART ON SHEET LS1.2 FOR OCCUPANCY SCHEDULE  
 EXISTING BUILDING OCCUPANCY NOT RENOVATED = 305 OCCUPANTS  
 RENOVATED WORK AREA = 105 OCCUPANTS  
 OVERALL BUILDING OCCUPANT LOAD = 405  
 EXISTING OCCUPANT LOAD = 355  
 INCREASED BY 50 OCCUPANTS OVERALL.  
 50 / 355 = 14% INCREASE  
 OCCUPANCY INCREASE LESS THAN 20%



- WORK AREA B USE
  - WORK AREA F-2 USE
  - WORK AREA F-1 USE
  - EXISTING TO REMAIN
- B USE**  
 AREA 1583 SF  
 9 OCCUPANTS

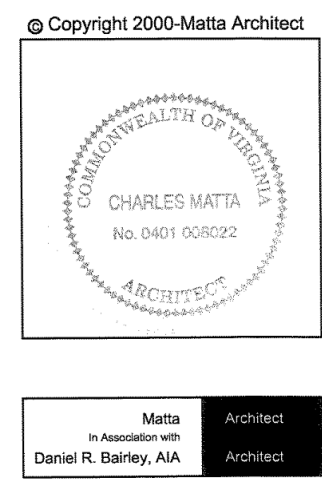
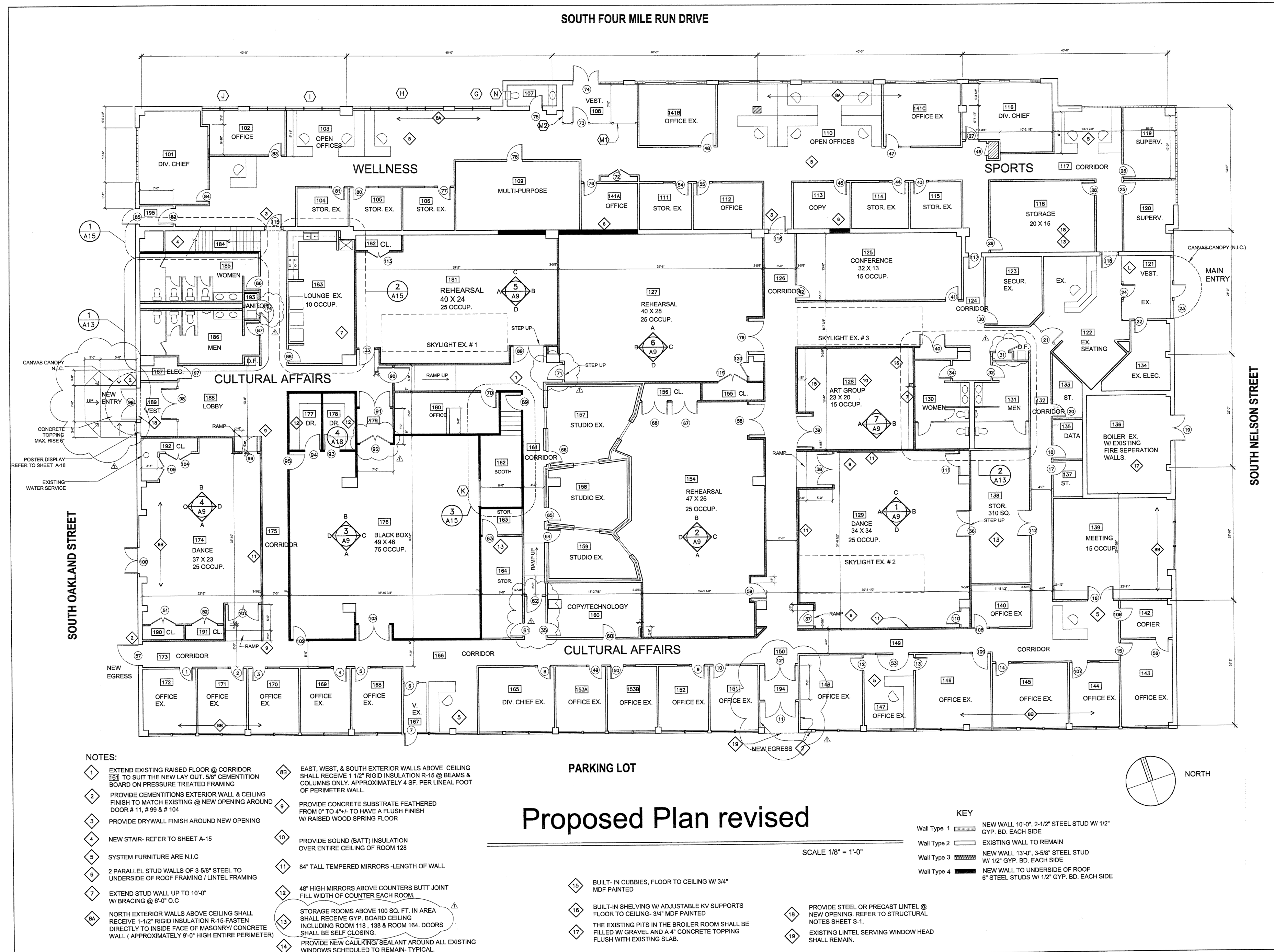
EXISTING BUILDING EXIT ACCESS TRAVEL DISTANCE LESS THAN 300'-0" TO MULTIPLE EXITS. COMPLIES WITH TABLE 1017.2 IBC

PROJECT NO: 624801  
 DATE: FEBRUARY 2, 2024

DATE	REVISIONS	DESCRIPTION
12.15.23	REV 1	BID SET
12.12.23	REV 1	REV 1
02.02.24	REV 2	REV 2

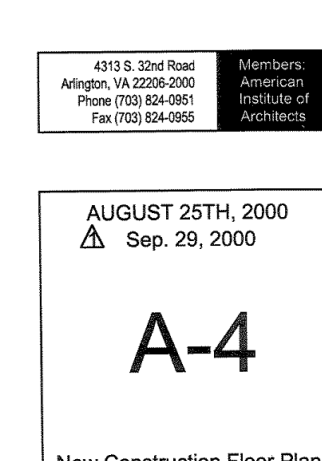
LIFE SAFETY INFORMATION

**LS1.1**



Matto  
Charles Matto  
No. 5401 50552  
State of Virginia  
Architect

**WETA FACILITY**  
INTERIOR RENOVATIONS  
Arlington County  
3700 South Four Mile Run Drive, Arlington, VA



Merlo  
Molly Merlo  
No. 5401 50552  
State of Virginia  
Architect

RE: Arlington Cultural Affairs Building  
Page 4 July 14, 2023

NOTES BY: Anil Mencke  
PROJECT Manager

REVIEWED BY: Molly Merlo  
Senior Associate

DISTRIBUTION: As indicated by (\*) above, also:

July 17, 2023  
3700 S. Four Mile Run, Arlington VA 22206

As a follow-up to our discussion on Friday at the code preliminary review meeting additional information provided below.

Description of Business Use at the Arlington Cultural Affairs Building Renovation.

The county is relocating a Textiles Studio, Ceramics Studio and Printmaking Studio to the 3700 S Four Mile Run building in Existing B use portion of the building. The art studios are for individuals to come and use a portion of the building for professional or service type transactions. Per 304.1, Allowed under B-use include the following Print shops and Training and skill Development not in a school or academic program. This project falls within these categories as a commercial/business space and or demonstration and educational space for improving individual skills. None of the studio spaces will be used for mass production, fabrication, or manufacturing endeavors. All hazardous materials will be categorized and stored in approved cabinets and or in control areas appropriate for the small quantities being used.

This project is similar to the other community center spaces with the exception that the members are more skill artisans, but do not mass produce their artwork.

For the doors between the studio spaces it is the intent for those to always be open free egress between spaces.

In 2016 the building underwent ADA modifications to bring it into compliance. See attached plans. It is the intent for this project to be fully ADA compliant. Toilet rooms and parking spaces were brought into compliance. Drinking fountains shall be reviewed and brought into compliance if they are not already.

We will look forward to scheduling another meeting to review the updated information. Let us know what times are preferred.

Thank you,  
Molly Merlo

**MOSELEYARCHITECTS**

August 10, 2023

**MEMORANDUM OF CONFERENCE**

PROJECT: Arlington Cultural Affairs Center Renovations  
3700 S. Four Mile Run Drive  
Arlington, VA 22206

ARCHITECTS PROJECT NO. 624802

DATE AND LOCATION: Thursday August 10, 2023, 11:00am, via Microsoft Teams

PRESENT: For Arlington County, VA  
Elizabeth Wells  
Lankika Perera  
Ademola Awofisayo  
Tod Connors  
Charles Vernon  
Carolyn Migawka  
Allison Cook  
Cheryl Wood  
Christopher Martin

For Moseley Architects  
Molly Merlo

The purpose of the meeting is to follow up from the previous meeting to determine the use for the Arlington Cultural Affairs Building:

- After the previous meeting on July 14, 2023, Moseley Submitted additional documentation via e-mail on 7/18/2023 including the following attachments:
  - 2000 Existing Building Floor plan
  - Cultural Affairs Center Use Description
  - LS1-1 updated life safety sheet
  - MOC from 7/14/2023 meeting
  - LS1.0 Updated Code Summary Sheet
  - Pages from the ADA upgrade set for the 3700 building dated 2/9/2016
- The single toilet room that is being renovated in the Ceramics Studio shall be fully compliant. The rest of the building was brought into ADA compliance including accessible parking at the main entrance, drinking fountains and the group toilet rooms in 2016.

RE: Arlington Cultural Affairs Building  
Page 2 August 10, 2023

- It is believed that the amount of hazardous materials being stored are below the threshold for a single control area. Moseley is having a report done to show material quantities per code and locations verifying compliance. The report will be submitted with the permit submission. Once the amounts are verified the fire ratings on the walls around the glaze room, Silk Screen and Dye room may be adjusted.
- The overall plan has been added to sheet LS1.1 per the County request.
- The use description provided was discussed regarding the use of the studio spaces. The county still believes that the F use is best suited for this project and not the B-Use proposed by Moseley. Moseley agreed to review requirements for changing to the F-1 use group for the Printmaking Studio and the Textiles Studio. And submitting the Ceramics studio spaces under use group F-2.

NOTES BY: Molly Merlo  
Senior Associate

DISTRIBUTION: As indicated by (\*) above, also:

**MOSELEYARCHITECTS**

July 14, 2023

**MEMORANDUM OF CONFERENCE**

PROJECT: Arlington Cultural Affairs Center Renovations  
3700 S. Four Mile Run Drive  
Arlington, VA 22206

ARCHITECTS PROJECT NO. 624802

DATE AND LOCATION: Friday, July 14, 2023, 3:00PM, via Microsoft Teams

PRESENT: For Arlington County, VA  
Elizabeth Wells  
Lankika Perera  
Ademola Awofisayo  
Tod Connors  
Charles Vernon  
Carolyn Migawka  
Allison Cook  
Cheryl Wood  
Christopher Martin

For Moseley Architects  
Anil Mencke  
Molly Merlo

The purpose of the meeting is to discuss the upcoming renovation at the Arlington Cultural Affairs Building:

- Scope of the renovation work - Relocating the Pottery Studio, Printmaking Studio and the Textiles Studio to the Cultural Affairs Center Building.
- The existing building:
  - BOCA 1996 and is listed as a 2C, Non-Combustible Construction Type.
  - Existing building Use Group: Non-Separated A-3 and B use groups. The work area consists of alterations within the B occupancy.
  - Fully Sprinklered. Mr. Connors verified location of FDC connection while on the meeting call.
  - The existing area being renovated was previously office space with open cubicles, offices and storage.
- The Renovation Work Area: Discussed that No Change of Occupancy still Business use as adult technical education. However, the use of the spaces will change and will need to meet the change of

RE: Arlington Cultural Affairs Building  
Page 2 July 14, 2023

use requirements verify mechanical and plumbing requirements. The use for the studio space was questioned and the county code review would like to have more discussion. Moseley to verify use with owner and submit description of space use with the plans.

- BOCA 2018 and VCC 2018
- First floor Level 2 Alterations (comply with section 603)
- Second Floor Repairs Level 1 only (comply with section 602)
- 603.6 Occupant load not increasing by more than 20%, keeping number of existing plumbing fixtures.

- Section 404 Accessibility: Renovating the toilet room in the area of the alterations to be fully accessible. Will all aspects for the project be fully accessible or 20% of the budget used for ADA upgrades? Moseley to review the existing toilet rooms and drinking fountains serving the building and provide upgrades up to 20% of the construction cost if not fully accessible.
- Hazardous materials: Potential for storage of hazardous materials in Glaze Kitchen and Silkscreen Room.
  - Two Control areas per table 307.1 for the Glaze Kitchen and the Silkscreen Room with 1HR rating. Automatic sprinklers and storage of chemicals in flammable storage/acid cabinets.
  - Submit list of chemicals according to the tables in the code not by name of chemicals but rather type and quantities to match the code language. Look at ventilation, exhaust and disposal (plumbing) requirements for the types of chemicals being stored and used.
- Moseley Architects shall check if there are any Fire Department special requirements regarding this matter. County permit review stated that the chemicals will have to go through an acid neutralizer.
- Fire Rated walls:
  - Propose 1HR around the Dye Room no regulated hazardous chemicals stored there precautionary if future storage is desired.
  - Moseley Architects stated that the Gas Kiln room is 2-hour rated and the Electric Kiln room is 1-hour rated. The county permit review stated that regarding the mechanical scope of the work, there might be different ventilation requirements for some of these uses.
- County permit review asked if there will they be a direct vent or if there will there be a hood for the Kiln rooms. Moseley Architects stated that they would check that information.
- Moseley Architects stated that there is one bathroom that is in the scope of work and it shall be renovated to make it accessible. There are restrooms outside of the scope of the work. Per

RE: Arlington Cultural Affairs Building  
Page 3 July 14, 2023

code, there is no need to change the fixture counts. Moseley Architects stated that there shall be new sinks added to the studio spaces.

- Moseley Architects confirmed that there is no woodwork in the new scope of the work.
- Moseley Architects stated that there is a spray booth in the glazed room and a fume hood in the Printmaking studio. County permit review stated to reference code Section 416 regarding the paint spray, to ensure that the design complies with paint spray booth provisions.
- Moseley Architects stated everyone has access to two means of egress with connecting doors between all studio spaces. If the doors are able to be locked then they are like walls and there will only be one means of egress depending on the occupant load within the space combined with any traveling through the space. Verify door hardware and egress paths for exiting requirements.
- County permit review stated that the corridors occupancy counts cannot be 0 and will have to be classified for Business use.
- Moseley Architects stated that each studio is a separate space, there shall always be a teacher present and the studio spaces shall be for the community but will verify use with the owner.
- Moseley Architects stated that the building is a two-story building. The building height is 26'-6" and it has a concrete structure and deck.
- County permit review asked how Moseley Architects shall fill out the accessibility compliance form. They stated that per Code Section 404.3 Moseley Architects should do 20% accessibility-related upgrades to the building. The upgrades can include the following:
  - The parking lot
  - The restrooms, adding vertical grab bars
  - Doors swings
  - Door clearances
  - Drinking fountains that are in the accessible route. The drinking fountains should be a high/low type.
- County permit review stated that Moseley Architects should show the overall plan on their drawings.
- There shall be another meeting scheduled with the code officials to review the drawings.
- Moseley Architects stated that they are at the end of the DD phase and that the Permit Submission is scheduled for Mid-August.

**MOSELEYARCHITECTS**

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Anthony J. Bell III  
No. 009174  
State of Virginia  
Architect

**ARLINGTON CULTURAL AFFAIRS RENO**  
No. 22-DES-RFP191  
FACILITIES DESIGN & CONSTRUCTION  
3700 S. FOUR MILE RUN DRIVE

PROJECT NO. 624801	FEBRUARY 2, 2024
DATE:	REVISIONS
02.02.24	REV 2

REFERENCE DOCUMENTATION

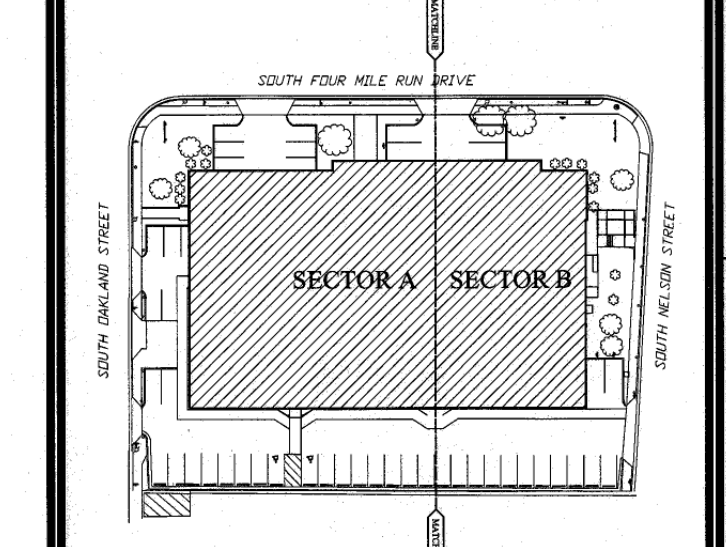
**LS1.3**

# Arlington County Cultural Affairs Accessibility Modifications

3700 South Four Mile Run Drive,  
Arlington, VA. 22206



Loc.	Description	Date	App.
	100% Submission	8/25/16	
	Permit Set	9/14/16	
	Permit Resubmission Set	2/9/16	



**KEY PLAN**

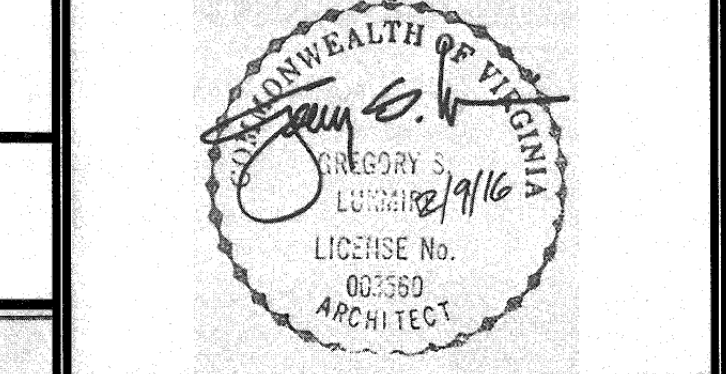
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**Cultural Affairs Building  
Accessibility Modifications**

3700 S Four Mile Run Drive,  
Arlington County, Virginia

**Architecture  
Planning  
Interior Design**

The Lukmire Partnership  
2700 South Quincy Street, Suite 301  
Arlington, VA 22206  
703.998.0101  
FAX 703.998.7798



**COVER SHEET**

Prj. Arch.:	G. Lukmire
Prj. Eng.:	-
Drawn:	Scale: AS NOTED
Checked:	Issued: 2/9/2016
App.:	Dwg. No.
Project No.:	13258.08
	<b>G001</b>

## SHEET LIST

- GENERAL:**
- G001 COVER SHEET
  - G002 GENERAL NOTES SYMBOLS AND ABBREVIATIONS
- CIVIL:**
- C-01 EXISTING SITE PLAN RENOVATIONS DATED SEPTEMBER, 2000 - PERMIT # B0002490
  - C-02 SURVEY EXISTING CONDITIONS
  - C-03 MODIFICATIONS TO EXISTING PARKING LOT AND BUILDING ENTRANCES TO MEET ACCESSIBILITY REGULATIONS
  - C-04 CIVIL SITE DETAILS
- ARCHITECTURAL:**
- AS101 ARCHITECTURAL SITE PLAN
  - AD101 DEMOLITION SITE AND FLOOR PLAN - SECTOR A
  - AD102 DEMOLITION SITE AND FLOOR PLAN - SECTOR B
  - X101 NEW WORK FLOOR PLAN - SECTOR A
  - A102 NEW WORK FLOOR PLAN - SECTOR B, LARGE SCALE KEYED PLANS AND DOOR SCHEDULE
  - A1001 ACCESSORY AND EQUIPMENT DETAILS, LARGE SCALE TOILET, AND BOOTH PLANS AND ELEVATIONS DETAILS
  - A1002 LARGE SCALE RAMP PLANS AND SECTION AND MISCELLANEOUS DETAILS
  - A1003 FINISH PLAN AND SCHEDULE
- ELECTRICAL:**
- E100 ELECTRICAL COVER SHEET
  - E201 FIRST FLOOR POWER PLAN - SECTOR A
  - E202 FIRST FLOOR POWER PLAN - SECTOR B
  - E301 PARTIAL POWER DIAGRAM AND PANEL SCHEDULES

## BUILDING DATA

**PROJECT DESCRIPTION:**

THE EXISTING CULTURAL AFFAIRS FACILITY BUILDING WAS ORIGINALLY CONSTRUCTED IN 1982 AND CONSIST OF TWO LEVELS, WITH THE SMALL SECOND LEVEL AT THE CORNER OF SOUTH FOUR MILE RUN DRIVE AND SOUTH OAKLAND STREET. THE LOWER LEVEL CONSIST OF OFFICES AND MULTI PURPOSE ROOMS AND THE SECOND LEVEL IS USED MAINLY FOR STORAGE. THE ORIGINAL BUILDING SERVED AS THE WETA CHANNEL 26 FACILITY AND RECEIVED A MAJOR RENOVATION IN 2000. THE EXISTING BUILDING IS OF BRICK CONSTRUCTION WITH INSULATED INFILL PANELS AND IS FULLY SPRINKLERED.

**BUILDING AREA:**

FIRST FLOOR	25,156 S.F.
SECOND FLOOR	1077 S.F.

## CODE SUMMARY

**APPLICABLE CODES:** VIRGINIA UNIFORM STATEWIDE BUILDING CODE VUSBC 2012, EFFECTIVE JULY 14, 2014  
INTERNATIONAL BUILDING CODE IBC 2012  
ARLINGTON CODE OF ORDINANCES 2013  
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ICC A117.1 - 2009

**BUILDING OCCUPANCY:** B, A3

**CONSTRUCTION TYPE:** IIC  
THE BUILDING SHALL BE FULLY SPRINKLERED IN COMPLIANCE WITH SECTION 903.3.1.1 AND NFPA 13

**ALLOWABLE BUILDING AREA:**  
68327 SF

**ACTUAL BUILDING AREA:**  
26233 SF

**ALLOWABLE BUILDING HEIGHT:**  
75 SF

**ACTUAL BUILDING HEIGHT:**  
26'-6" SF

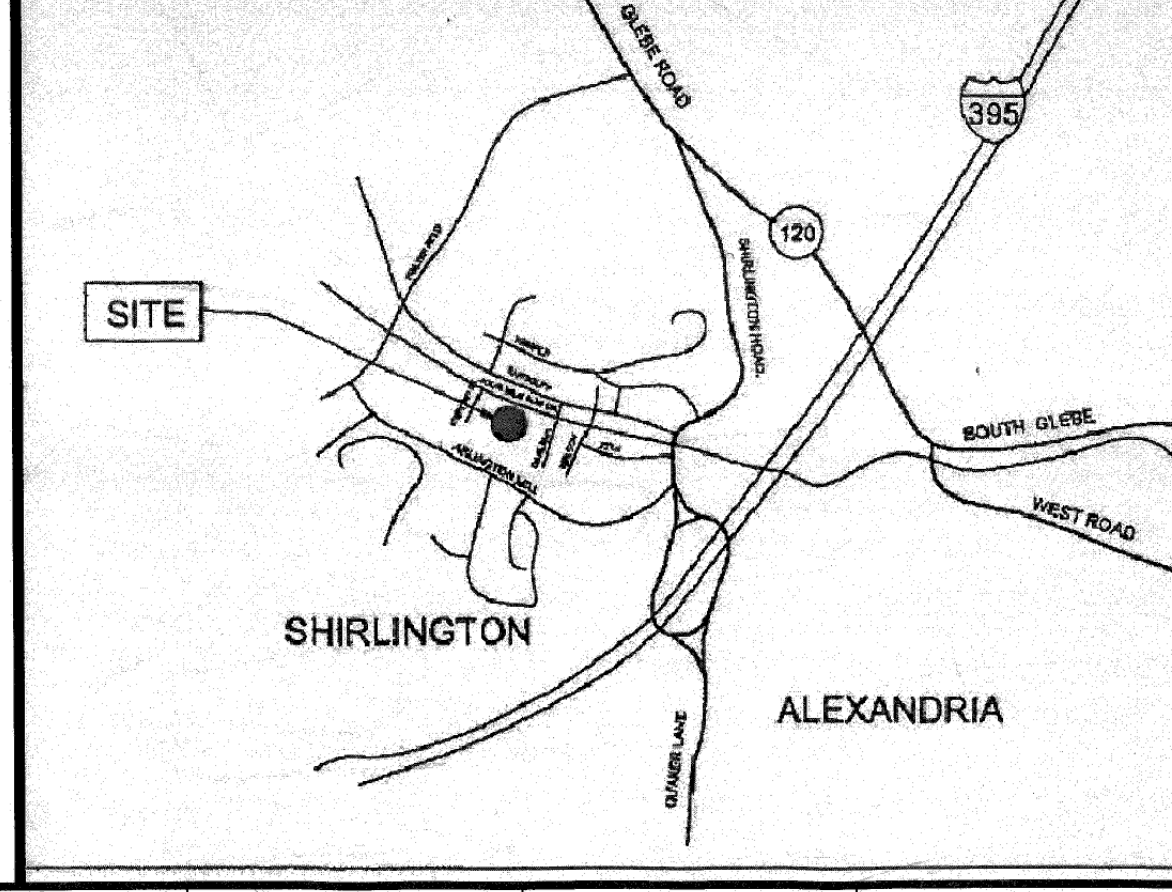
## PROJECT TEAM

**ARCHITECT:**  
THE LUKMIRE PARTNERSHIP  
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T: (703) 998 0101 F: (703) 998 7798

**ENGINEERS:**  
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**S3E ENGINEERS**  
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SPRINGFIELD, VIRGINIA 22151  
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## VICINITY MAP



**MOSELEY ARCHITECTS**

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**ARLINGTON CULTURAL AFFAIRS RENO**

No. 22-DES-RFP191  
FACILITIES DESIGN & CONSTRUCTION  
3700 S. FOUR MILE RUN DRIVE

PROJECT NO.:	624801
DATE:	FEBRUARY 2, 2024
REVISIONS	
DATE	DESCRIPTION
02/02/24	REV 2

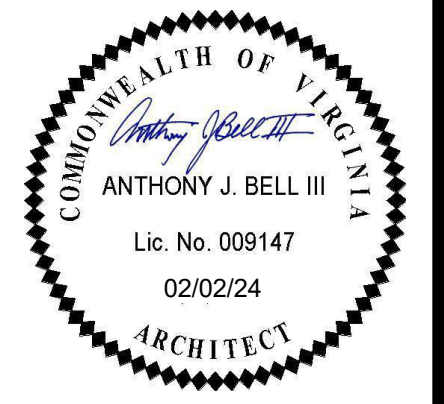
Prj. Arch.:	G. Lukmire
Prj. Eng.:	-
Drawn:	Scale: AS NOTED
Checked:	Issued: 2/9/2016
App.:	Dwg. No.
Project No.:	13258.08
	<b>G001</b>

REFERENCE DOCUMENTATION

EXISTING ADA MODIFICATION DOCUMENTATION - FOR INFORMATION ONLY

LS1.4

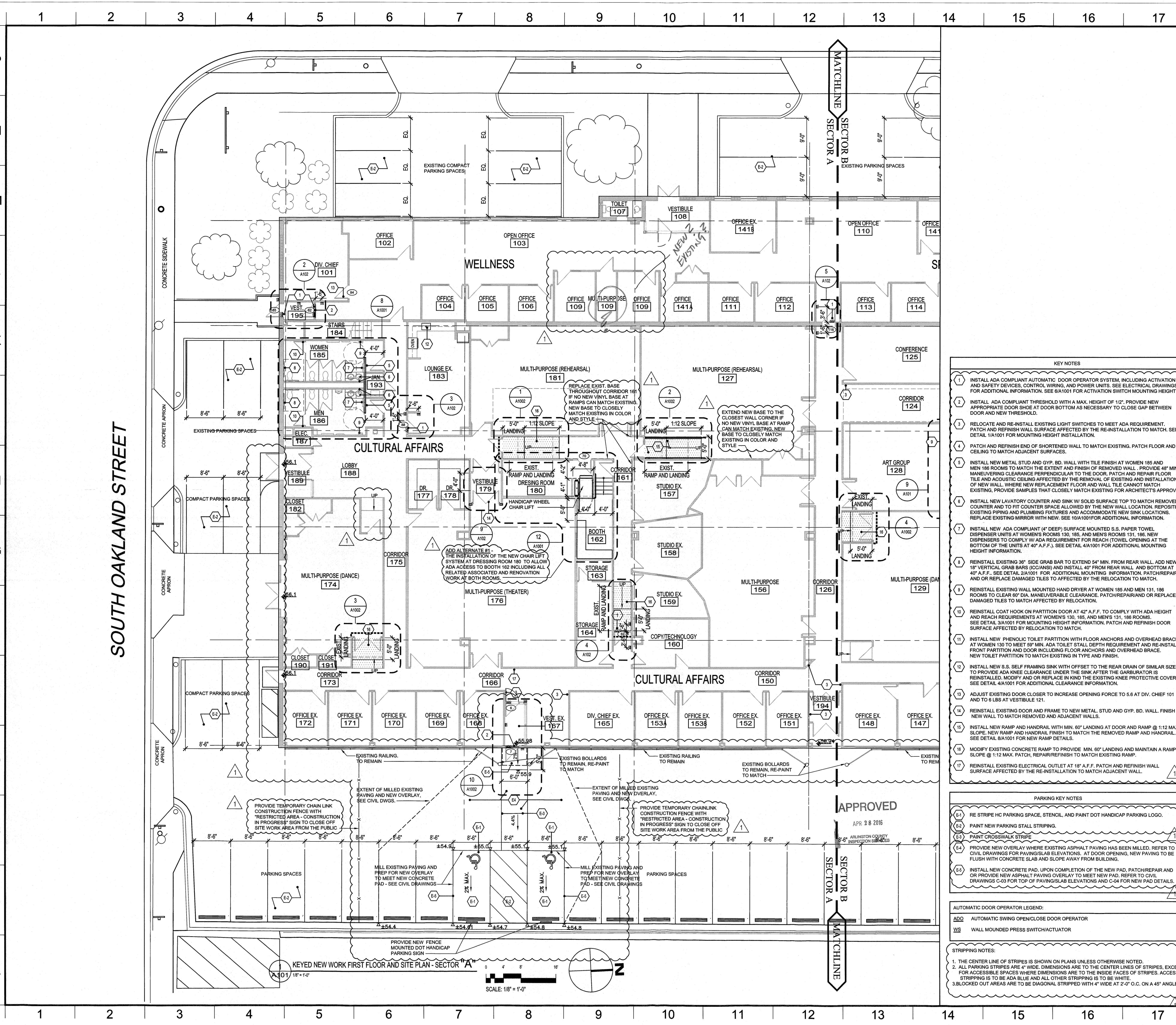
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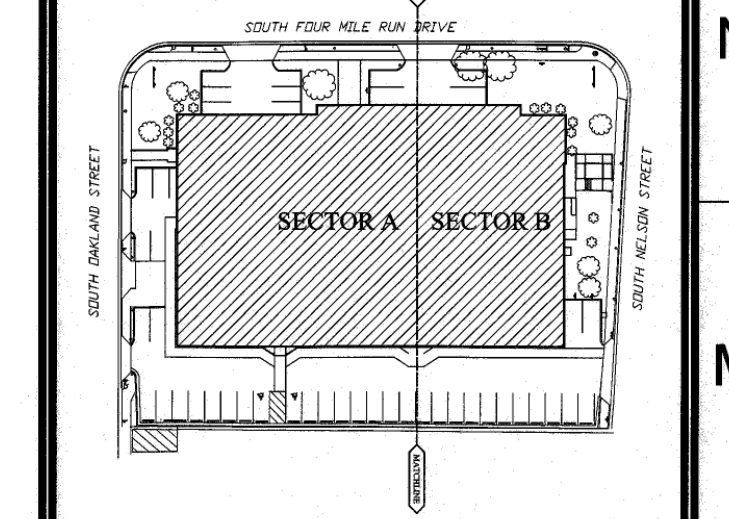
**ARLINGTON CULTURAL AFFAIRS RENO**  
 No. 22-DES-RFP191  
 FACILITIES DESIGN & CONSTRUCTION  
 3700 S. FOUR MILE RUN DRIVE

REFERENCE DOCUMENTATION

LS1.5



Loc.	Description	Date	App.
100%	100% Submission	2/25/17	
Permit	Permit Set	7/14/17	
Permit	Permit Resubmission Set	2/19/18	



**KEY PLAN**

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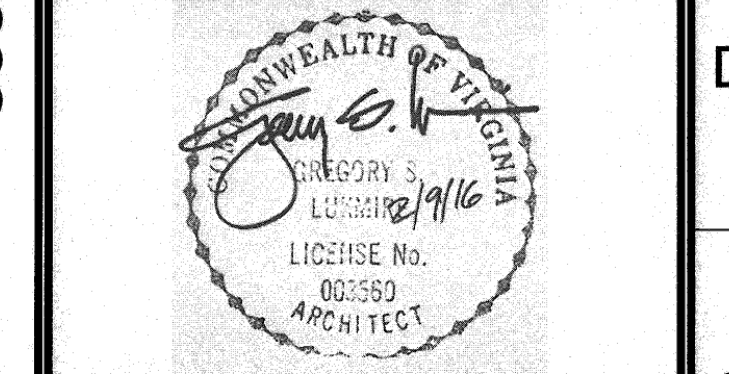
**Cultural Affairs Building  
 Accessibility Modifications**

3700 S Four Mile Run Drive,  
 Arlington County, Virginia

**Architecture  
 Planning  
 Interior Design**

**The Lukmire Partnership**

2700 South Quince Street  
 Suite 303  
 Arlington, VA 22206  
 703.998.0101  
 FAX 703.998.7796



**NEW WORK FLOOR  
 PLAN - SECTOR A**

Project No.:	13258.08
Dwg. No.:	A101
Project No.:	13258.08
Dwg. No.:	A101

- KEY NOTES**
- INSTALL ADA COMPLIANT AUTOMATIC DOOR OPERATOR SYSTEM, INCLUDING ACTIVATION AND SAFETY DEVICES, CONTROL WIRING, AND POWER UNITS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEE 61A101 FOR ACTIVATION SWITCH MOUNTING HEIGHT.
  - INSTALL ADA COMPLIANT THRESHOLD WITH A MAX. HEIGHT OF 1/2". PROVIDE NEW APPROPRIATE DOOR SWEPT AT DOOR BOTTOM AS NECESSARY TO CLOSE GAP BETWEEN DOOR AND NEW THRESHOLD.
  - RELOCATE AND RE-INSTALL EXISTING LIGHT SWITCHES TO MEET ADA REQUIREMENT. PATCH AND REFINISH WALL SURFACE AFFECTED BY THE RE-INSTALLATION TO MATCH. SEE DETAIL 14A101 FOR MOUNTING HEIGHT INSTALLATION.
  - PATCH AND REFINISH END OF SHORTENED WALL TO MATCH EXISTING. PATCH FLOOR AND CEILING TO MATCH ADJACENT SURFACES.
  - INSTALL NEW METAL STUD AND GYP. BD. WALL WITH TILE FINISH AT WOMEN 185 AND MEN 186 ROOMS TO MATCH THE EXTENT AND FINISH OF REMOVED WALL. PROVIDE 48" MIN. MANEUVERING CLEARANCE PERPENDICULAR TO THE DOOR. PATCH AND REPAIR FLOOR TILE AND ACOUSTIC CEILING AFFECTED BY THE REMOVAL OF EXISTING AND INSTALLATION OF NEW WALL. WHERE NEW REPLACEMENT FLOOR AND WALL TILE CANNOT MATCH EXISTING, PROVIDE SAMPLES THAT CLOSELY MATCH EXISTING FOR ARCHITECT'S APPROVAL.
  - INSTALL NEW LAVATORY COUNTER AND SINK W/ SOLID SURFACE TOP TO MATCH REMOVED COUNTER AND TO FIT COUNTER SPACE ALLOWED BY THE NEW WALL LOCATION. REPOSITION EXISTING PIPING AND PLUMBING FIXTURES AND ACCOMMODATE NEW SINK LOCATIONS. REPLACE EXISTING MIRROR WITH NEW. SEE 10A1001 FOR ADDITIONAL INFORMATION.
  - INSTALL NEW ADA COMPLIANT (4" DEEP) SURFACE MOUNTED S.S. PAPER TOWEL DISPENSER UNITS AT WOMEN'S ROOMS 180, 185, AND MEN'S ROOMS 131, 186. NEW DISPENSERS TO COMPLY W/ ADA REQUIREMENT FOR REACH TOWEL OPENING AT THE BOTTOM OF THE UNITS AT 40" A.F.F. SEE DETAIL 4A1001 FOR ADDITIONAL MOUNTING HEIGHT INFORMATION.
  - REINSTALL EXISTING 30" SIDE GRAB BAR TO EXTEND 54" MIN. FROM REAR WALL. ADD NEW 8" VERTICAL GRAB BARS (ICANS) AND INSTALL 40" FROM REAR WALL AND BOTTOM AT 40" A.F.F. SEE DETAIL 2A1001 FOR ADDITIONAL MOUNTING INFORMATION. PATCH/REPAIR AND OR REPLACE DAMAGED TILES TO AFFECTED BY THE RELOCATION TO MATCH.
  - REINSTALL EXISTING WALL MOUNTED HAND DRYER AT WOMEN 185 AND MEN 131, 186 ROOMS TO CLEAR 60" DIA. MANEUVERABLE CLEARANCE. PATCH/REPAIR AND OR REPLACE DAMAGED TILES TO MATCH AFFECTED BY RELOCATION.
  - REINSTALL COAT HOOK ON PARTITION DOOR AT 42" A.F.F. TO COMPLY WITH ADA HEIGHT AND REACH REQUIREMENTS AT WOMEN'S 130, 185, AND MEN'S 131, 186 ROOMS. SEE DETAIL 3A1001 FOR MOUNTING HEIGHT INFORMATION. PATCH AND REFINISH DOOR SURFACE AFFECTED BY RELOCATION TO MATCH.
  - INSTALL NEW PHENOLIC TOILET PARTITION WITH FLOOR ANCHORS AND OVERHEAD BRACE AT WOMEN 130 TO MEET 50" MIN. ADA TOILET STALL DEPTH REQUIREMENT AND RE-INSTALL FRONT PARTITION AND DOOR INCLUDING FLOOR ANCHORS AND OVERHEAD BRACE. NEW TOILET PARTITION TO MATCH EXISTING IN TYPE AND FINISH.
  - INSTALL NEW S.S. SELF FRAMING SINK WITH OFFSET TO THE REAR DRAIN OF SIMILAR SIZE TO PROVIDE ADA KNEE CLEARANCE UNDER THE SINK AFTER THE CARBURATOR IS REINSTALLED. MODIFY OR REPLACE IN KIND THE EXISTING KNEE PROTECTIVE COVER. SEE DETAIL 4A1001 FOR ADDITIONAL CLEARANCE INFORMATION.
  - ADJUST EXISTING DOOR CLOSER TO INCREASE OPENING FORCE TO 5.6 AT DIV. CHIEF 101 AND TO 1.55 AT VESTIBULE 121.
  - REINSTALL EXISTING DOOR AND FRAME TO NEW METAL STUD AND GYP. BD. WALL. FINISH NEW WALL TO MATCH REMOVED AND ADJACENT WALLS.
  - INSTALL NEW RAMP AND HANDRAIL WITH MIN. 60" LANDING AT DOOR AND RAMP AT 1:12 MAX. SLOPE. NEW RAMP AND HANDRAIL FINISH TO MATCH THE REMOVED RAMP AND HANDRAIL. SEE DETAIL 6A1001 FOR NEW RAMP DETAILS.
  - MODIFY EXISTING CONCRETE RAMP TO PROVIDE MIN. 60" LANDING AND MAINTAIN A RAMP SLOPE @ 1:12 MAX. PATCH, REPAIR/REFINISH TO MATCH EXISTING RAMP.
  - REINSTALL EXISTING ELECTRICAL OUTLET AT 18" A.F.F. PATCH AND REFINISH WALL SURFACE AFFECTED BY THE RE-INSTALLATION TO MATCH ADJACENT WALL.

- PARKING KEY NOTES**
- RE STRIPE HC PARKING SPACE, STENCIL, AND PAINT DOT HANDICAP PARKING LOGO.
  - PAINT NEW PARKING STALL STRIPING.
  - PAINT CROSSWALK STRIPE.
  - PROVIDE NEW OVERLAY WHERE EXISTING ASPHALT PAVING HAS BEEN MILLED. REFER TO CIVIL DRAWINGS FOR PAVING/SLAB ELEVATIONS. AT DOOR OPENING, NEW PAVING TO BE FLUSH WITH CONCRETE SLAB AND SLOPE AWAY FROM BUILDING.
  - INSTALL NEW CONCRETE PAD. UPON COMPLETION OF THE NEW PAD, PATCH/REPAIR AND OR PROVIDE NEW ASPHALT PAVING OVERLAY TO MEET NEW PAD. REFER TO CIVIL DRAWINGS C-03 FOR TOP OF PAVING/SLAB ELEVATIONS AND C-04 FOR NEW PAD DETAILS.

**AUTOMATIC DOOR OPERATOR LEGEND:**

ADC AUTOMATIC SWING OPEN/CLOSE DOOR OPERATOR  
 WS WALL MOUNTED PRESS SWITCH/ACTUATOR

- STRIPPING NOTES:**
- THE CENTER LINE OF STRIPES IS SHOWN ON PLANS UNLESS OTHERWISE NOTED.
  - ALL PARKING STRIPES ARE 4" WIDE. DIMENSIONS ARE TO THE CENTER LINES OF STRIPES, EXCEPT FOR ACCESSIBLE SPACES WHERE DIMENSIONS ARE TO THE INSIDE FACES OF STRIPES. ACCESSIBLE STRIPING IS TO BE ADA BLUE AND ALL OTHER STRIPING IS TO BE WHITE.
  - BLOCKED OUT AREAS ARE TO BE DIAGONAL STRIPPED WITH 4" WIDE AT 2'-0" O.C. ON A 45° ANGLE.

2/9/2024 1:32:53 PM

EXISTING ADA MODIFICATION DOCUMENTATION - FOR INFORMATION ONLY



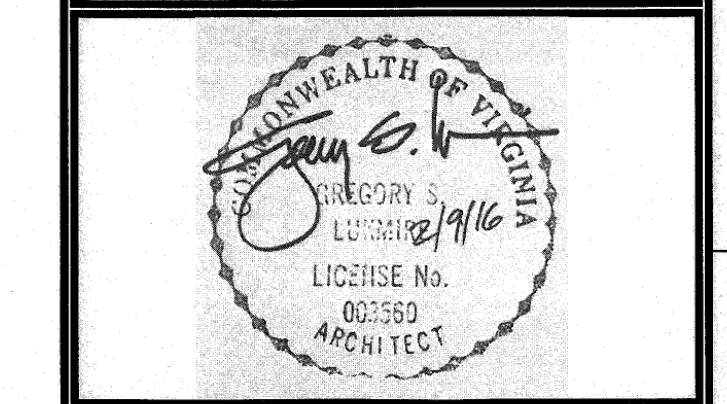
Loc.	Description	Date	App.
100%	Submission	2/25/24	
Permit Set		2/14/24	
Permit Resubmission Set		2/9/24	



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**Cultural Affairs Building  
Accessibility Modifications**  
3700 S Four Mile Run Drive,  
Arlington County, Virginia

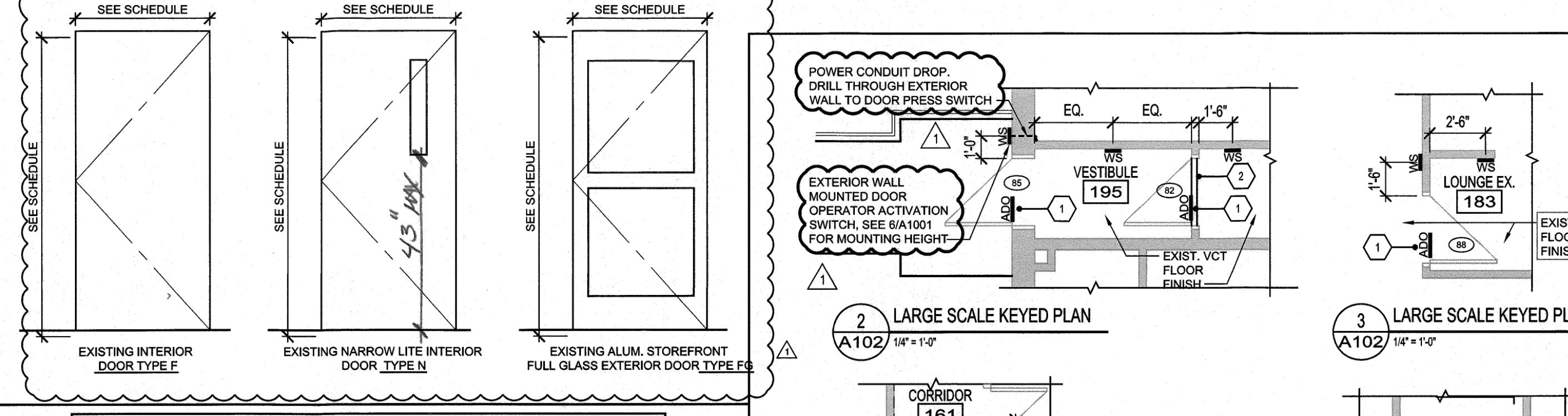
Architecture  
Planning  
Interior Design  
**The Lukmire Partnership**  
2700 South Queens Street Suite 301  
Arlington, VA 22206  
703.996.0101  
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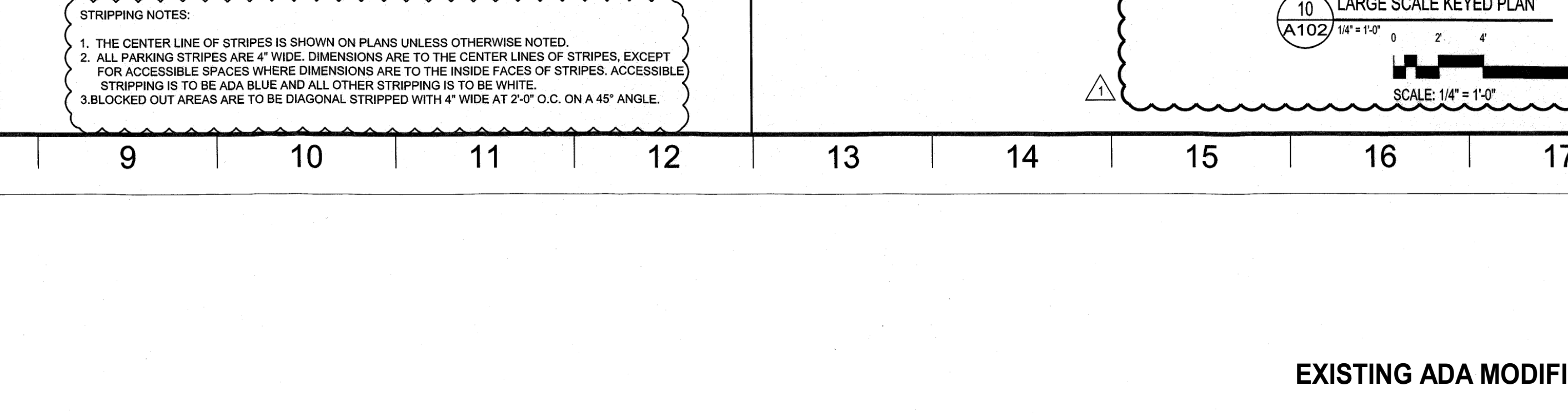
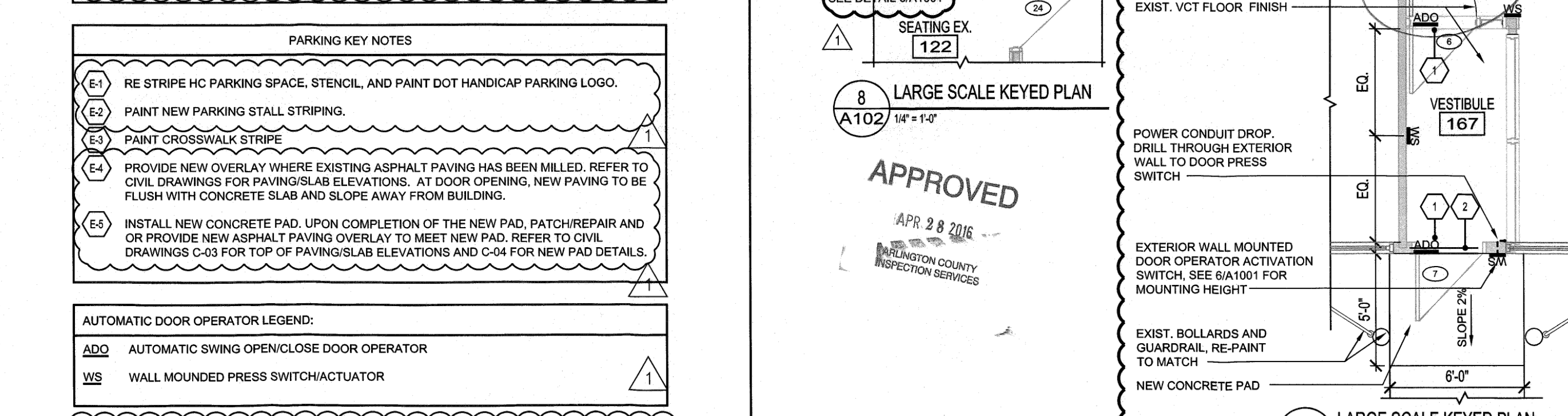
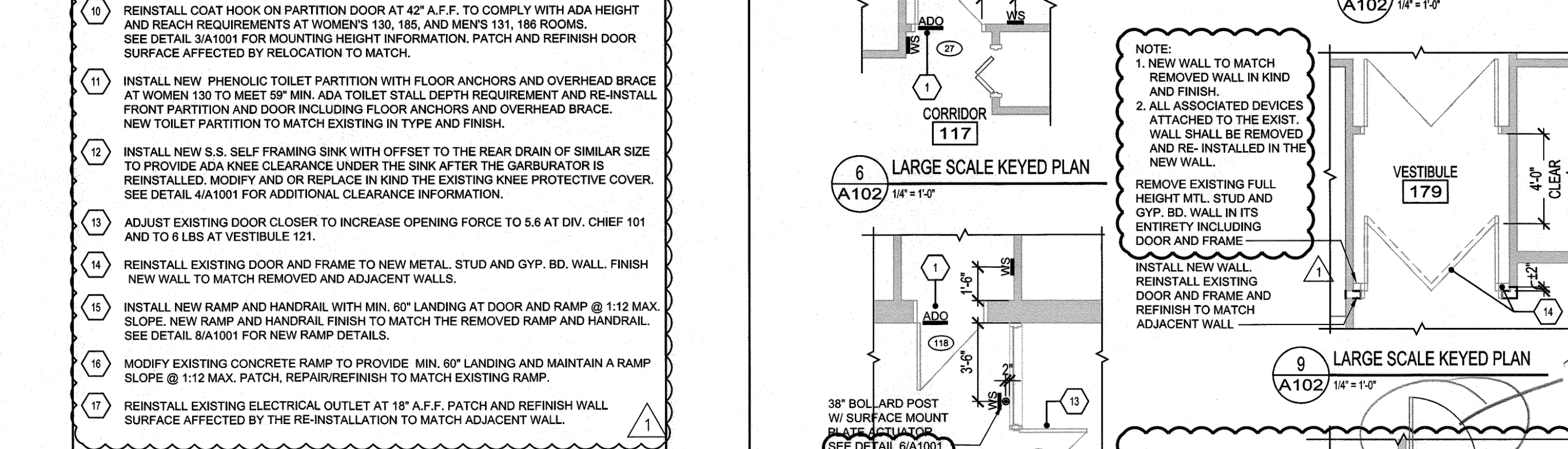
**NEW WORK FLOOR  
PLAN - SECTOR B,  
LARGE SCALE  
KEYED PLAN AND  
DOOR SCHEDULE**

Project Title:  
Owner:  
Scale: 1/4" = 1'-0"

DOOR AND FRAME SCHEDULE											
DOOR NO.	LOCATION		EXISTING DOOR				EXISTING FRAME		EXISTING HARDWARE FUNCTIONS INSTALLED ON DOORS	NOTES	
	FROM	TO	SIZE	THK	TYPE	MATL	FINISH	MATL			FINISH
6	CORRIDOR 166	VESTIBULE 167	(EXIST.) 3'-0" x 6'-8"	1 3/4"	FG	ALUM	FACT.	EXIST. ALUM	FACT.	(EXIST.) MANUF. STANDARD W/ EGRESS	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
7	VESTIBULE 167	EXTERIOR	(EXIST.) 3'-0" x 6'-8"	1 3/4"	FG	ALUM	FACT.	EXIST. ALUM	FACT.	(EXIST.) MANUF. STANDARD W/ EGRESS	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
24	VESTIBULE 166	EXTERIOR	(EXIST.) 3'-0" x 6'-8"	1 3/4"	FG	ALUM	FACT.	EXIST. ALUM	FACT.	(EXIST.) MANUF. STANDARD W/ EGRESS	ADJUST CLOSER OPENING FORCE TO 6 LBS.
27	CORRIDOR 117	DIV. CHIEF 116	(EXIST.) 3'-0" x 6'-8"	1 3/4"	F	SCWD	PNT	EXIST. JHM	PNT	(EXIST.) LOCKSET PRIVACY/OFFICE W/ CLOSER	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM. PROVIDE ELECTRIC STRIKE TO ACTIVATE LOCK WHEN AUTO OPERATOR IS ACTIVATED.
32	CORRIDOR 124	MEN 131	(EXIST.) 3'-0" x 6'-8"	1 3/4"	N	SCWD	PNT	EXIST. JHM	PNT	(EXIST.) PUSH PULL BATHROOM W/ CLOSER	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
62	CORRIDOR 165	CORRIDOR 161	(EXIST.) 3'-0" x 6'-8"	1 3/4"	N	SCWD	PNT	EXIST. JHM	PNT	(EXIST.) JEGRESS - SINGLE W/ CLOSER	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
70	CORRIDOR 161	DRESSING 160	(EXIST.) 3'-0" x 6'-8"	1 3/4"	N	SCWD	PNT	EXIST. JHM	PNT	(EX.) LOCKSET PRIVACY/OFFICE W/ CLOSER	REMOVE EXISTING DOOR CLOSER.
82	WELLNESS	VESTIBULE 195	(EXIST.) 3'-0" x 6'-8"	1 3/4"	F	SCWD	PNT	EXIST. JHM	PNT	(EXIST.) JMANUF. STANDARD	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
84	OPEN OFFICE 101	DIV. CHIEF 101	(EXIST.) 3'-0" x 6'-8"	1 3/4"	F	SCWD	PNT	EXIST. JHM	PNT	(EXIST.) LOCKSET PRIVACY/OFFICE W/ CLOSER	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
85	VESTIBULE 165	EXTERIOR	(EXIST.) 3'-0" x 6'-8"	1 3/4"	FG	ALUM	FACT.	EXIST. ALUM	FACT.	(EXIST.) MANUF. STANDARD W/ EGRESS	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
88	CORRIDOR 166	WOMEN 163	(EXIST.) 3'-0" x 6'-8"	1 3/4"	N	SCWD	PNT	EXIST. JHM	PNT	(EXIST.) JMANUF. STANDARD W/ EGRESS	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
116	LOBBY 188	EX. LOUNGE 183	(EXIST.) 3'-0" x 6'-8"	1 3/4"	FG	ALUM	FACT.	EXIST. ALUM	FACT.	(EXIST.) JEGRESS - SINGLE, TIED TO FIRE ALARM W/ CLOSER	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM
118	CORRIDOR 117	EX. SEATING 122	(EXIST.) 3'-0" x 6'-8"	1 3/4"	FG	ALUM	FACT.	EXIST. ALUM	FACT.	(EXIST.) JEGRESS - SINGLE, TIED TO FIRE ALARM W/ CLOSER	PROVIDE NEW AUTO DOOR OPERATOR SYSTEM

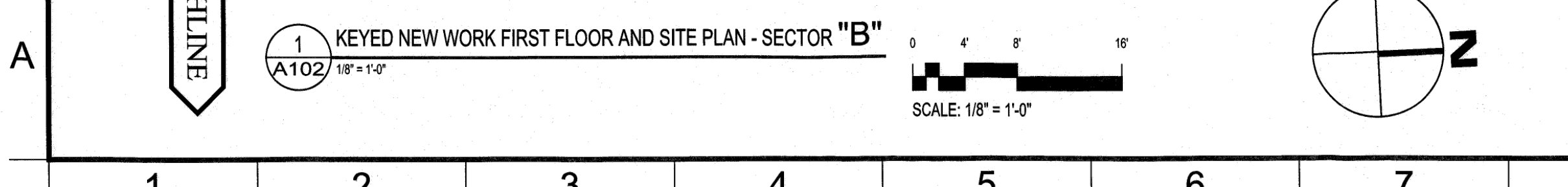
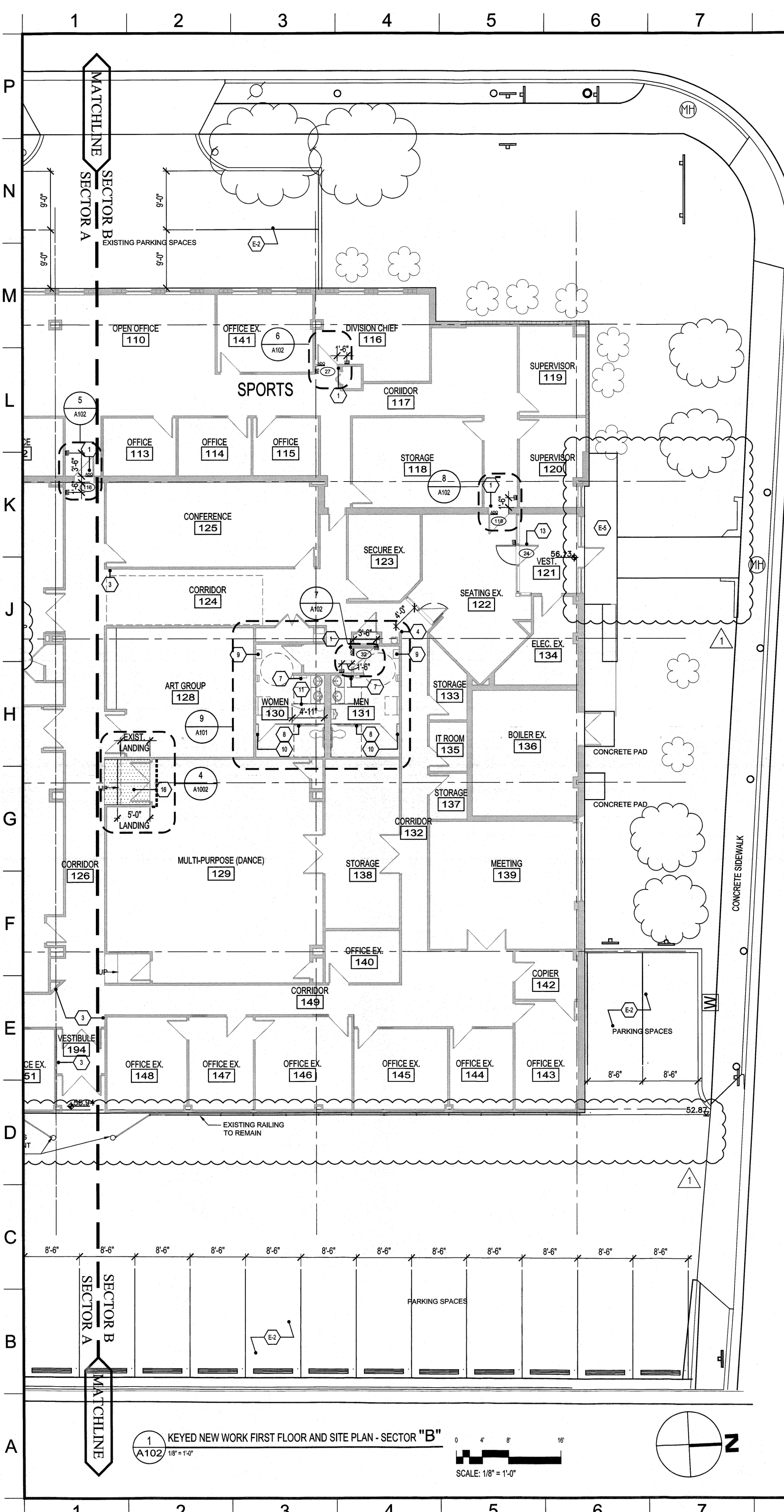


- KEY NOTES**
- INSTALL ADA COMPLIANT AUTOMATIC DOOR OPERATOR SYSTEM, INCLUDING ACTIVATION AND SAFETY DEVICES, CONTROL WIRING, AND POWER UNITS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEE 618101 FOR ACTIVATION SWITCH MOUNTING HEIGHT.
  - INSTALL ADA COMPLIANT THRESHOLD WITH A MAX. HEIGHT OF 1/2". PROVIDE NEW APPROPRIATE DOOR SHOE AT DOOR BOTTOM AS NECESSARY TO CLOSE GAP BETWEEN DOOR AND NEW THRESHOLD.
  - RELOCATE AND RE-INSTALL EXISTING LIGHT SWITCHES TO MEET ADA REQUIREMENT. PATCH AND REFINISH WALL SURFACE AFFECTED BY THE RE-INSTALLATION TO MATCH. SEE DETAIL 1A1001 FOR MOUNTING HEIGHT INSTALLATION.
  - PATCH AND REFINISH END OF SHORTENED WALL TO MATCH EXISTING. PATCH FLOOR AND CEILING TO MATCH ADJACENT SURFACES.
  - INSTALL NEW METAL STUD AND GYP. BD. WALL WITH TILE FINISH AT WOMEN 185 AND MEN 186 ROOMS TO MATCH THE EXISTING AND FINISH OF REMOVED WALL. PROVIDE 48" MIN. MANEUVERING CLEARANCE PERPENDICULAR TO THE DOOR. PATCH AND REPAIR FLOOR TILE AND ACOUSTIC CEILING AFFECTED BY THE REMOVAL OF EXISTING AND INSTALLATION OF NEW WALL. WHERE NEW REPLACEMENT FLOOR AND WALL TILE CANNOT MATCH EXISTING, PROVIDE SAMPLES THAT CLOSELY MATCH EXISTING FOR ARCHITECT'S APPROVAL.
  - INSTALL NEW LAVATORY COUNTER AND SINK W/ SOLID SURFACE TOP TO MATCH REMOVED COUNTER AND TO FIT COUNTER SPACE ALLOWED BY THE NEW WALL LOCATION. REPOSITION EXISTING PIPING AND PLUMBING FIXTURES AND ACCOMMODATE NEW SINK LOCATIONS. REPLACE EXISTING MIRROR WITH NEW. SEE 10A1001 FOR ADDITIONAL INFORMATION.
  - INSTALL NEW ADA COMPLIANT (4" DEEP) SURFACE MOUNTED S.S. PAPER TOWEL DISPENSER UNITS AT WOMEN'S ROOMS 128, 185, AND MEN'S ROOMS 131, 186. NEW DISPENSERS TO COMPLY W/ ADA REQUIREMENT FOR REACH (TOWEL OPENING AT THE BOTTOM OF THE UNITS AT 40" A.F.F.). SEE DETAIL 4A1001 FOR ADDITIONAL MOUNTING HEIGHT INFORMATION.
  - REINSTALL EXISTING 36" SIDE GRAB BAR TO EXTEND 54" MIN. FROM REAR WALL. ADD NEW 18" VERTICAL GRAB BARS (ICANS) AND INSTALL 40" FROM REAR WALL AND BOTTOM AT 40" A.F.F. SEE DETAIL 6A1001 FOR ADDITIONAL MOUNTING INFORMATION. PATCH/REPAIR AND/OR REPLACE DAMAGED TILES TO MATCH AFFECTED BY RELOCATION.
  - REINSTALL EXISTING WALL MOUNTED HAND DRYER AT WOMEN 185 AND MEN 131, 186 ROOMS TO CLEAR 60" DIA. MANEUVERABLE CLEARANCE. PATCH/REPAIR AND/OR REPLACE DAMAGED TILES TO MATCH AFFECTED BY RELOCATION.
  - REINSTALL COAT HOOK ON PARTITION DOOR AT 42" A.F.F. TO COMPLY WITH ADA HEIGHT AND REACH REQUIREMENTS AT WOMEN'S 130, 185, AND MEN'S 131, 186 ROOMS. SEE DETAIL 3A1001 FOR MOUNTING HEIGHT INFORMATION. PATCH AND REFINISH DOOR SURFACE AFFECTED BY RELOCATION TO MATCH.
  - INSTALL NEW PHENOLIC TOILET PARTITION WITH FLOOR ANCHORS AND OVERHEAD BRACE AT WOMEN 129 TO MEET 69" MIN. ADA TOILET STALL DEPTH REQUIREMENT AND RE-INSTALL FRONT PARTITION AND DOOR INCLUDING FLOOR ANCHORS AND OVERHEAD BRACE. NEW TOILET PARTITION TO MATCH EXISTING IN TYPE AND FINISH.
  - INSTALL NEW S.S. SELF FRAMING SINK WITH OFFSET TO THE REAR DRAIN OF SIMILAR SIZE TO PROVIDE ADA KNEE CLEARANCE UNDER THE SINK AFTER THE GARBURATOR IS RE-INSTALLED. MODIFY OR REPLACE IN KIND THE EXISTING KNEE PROTECTIVE COVER. SEE DETAIL 4A1001 FOR ADDITIONAL CLEARANCE INFORMATION.
  - ADJUST EXISTING DOOR CLOSER TO INCREASE OPERING FORCE TO 5.5 AT DIV. CHIEF 101 AND TO 6 LBS AT VESTIBULE 121.
  - REINSTALL EXISTING DOOR AND FRAME TO NEW METAL STUD AND GYP. BD. WALL. FINISH NEW WALL TO MATCH REMOVED AND ADJACENT WALLS.
  - INSTALL NEW RAMP AND HANDRAIL WITH MN, 60" LANDING AT DOOR AND RAMP @ 1:12 MAX. SLOPE. NEW RAMP AND HANDRAIL FINISH TO MATCH THE REMOVED RAMP AND HANDRAIL. SEE DETAIL 8A1001 FOR NEW RAMP DETAILS.
  - MODIFY EXISTING CONCRETE RAMP TO PROVIDE MIN. 60" LANDING AND MAINTAIN A RAMP SLOPE @ 1:12 MAX. PATCH, REPAIR/REFINISH TO MATCH EXISTING RAMP.
  - REINSTALL EXISTING ELECTRICAL OUTLET AT 10" A.F.F. PATCH AND REFINISH WALL SURFACE AFFECTED BY THE RE-INSTALLATION TO MATCH ADJACENT WALL.



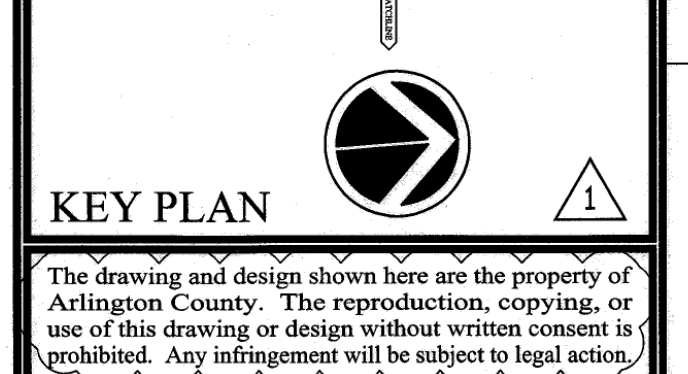
- PARKING KEY NOTES**
- RE STRIPE HC PARKING SPACE, STENCIL, AND PAINT DOT HANDICAP PARKING LOGO.
  - PAINT NEW PARKING STALL STRIPING.
  - PAINT CROSSWALK STRIPE.
  - PROVIDE NEW OVERLAY WHERE EXISTING ASPHALT PAVING HAS BEEN MILLED. REFER TO CIVIL DRAWINGS FOR PAVING/SLAB ELEVATIONS. AT DOOR OPENINGS, NEW PAVING TO BE FLUSH WITH CONCRETE SLAB AND SLOPE AWAY FROM BUILDING.
  - INSTALL NEW CONCRETE PAD. UPON COMPLETION OF THE NEW PAD, PATCH/REPAIR AND/OR PROVIDE NEW ASPHALT PAVING OVERLAY TO NEW PAD. REFER TO CIVIL DRAWINGS C-03 FOR TOP OF PAVING/SLAB ELEVATIONS AND C-04 FOR NEW PAD DETAILS.

- AUTOMATIC DOOR OPERATOR LEGEND:**
- ADO AUTOMATIC SWING OPEN/CLOSE DOOR OPERATOR
  - WS WALL MOUNTED PRESS SWITCH/ACTUATOR
- STRIPING NOTES:**
- THE CENTER LINE OF STRIPES IS SHOWN ON PLANS UNLESS OTHERWISE NOTED.
  - ALL PARKING STRIPES ARE 4" WIDE. DIMENSIONS ARE TO THE CENTER LINES OF STRIPES, EXCEPT FOR ACCESSIBLE SPACES WHERE DIMENSIONS ARE TO THE INSIDE FACES OF STRIPES. ACCESSIBLE STRIPING IS TO BE ADA BLUE AND ALL OTHER STRIPING IS TO BE WHITE.
  - BLOCKED OUT AREAS ARE TO BE DIAGONAL STRIPPED WITH 4" WIDE AT 2'-0" O.C. ON A 45° ANGLE.





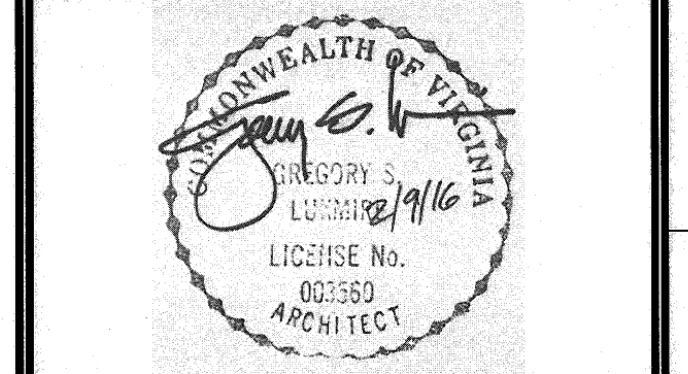
Loc.	Description	Date	App.
100%	Submission	8/23/13	
100%	Permit Set	9/14/13	
100%	Permit Resubmission Set	2/9/16	



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**Cultural Affairs Building  
Accessibility Modifications**  
3700 S Four Mile Run Drive,  
Arlington County, Virginia

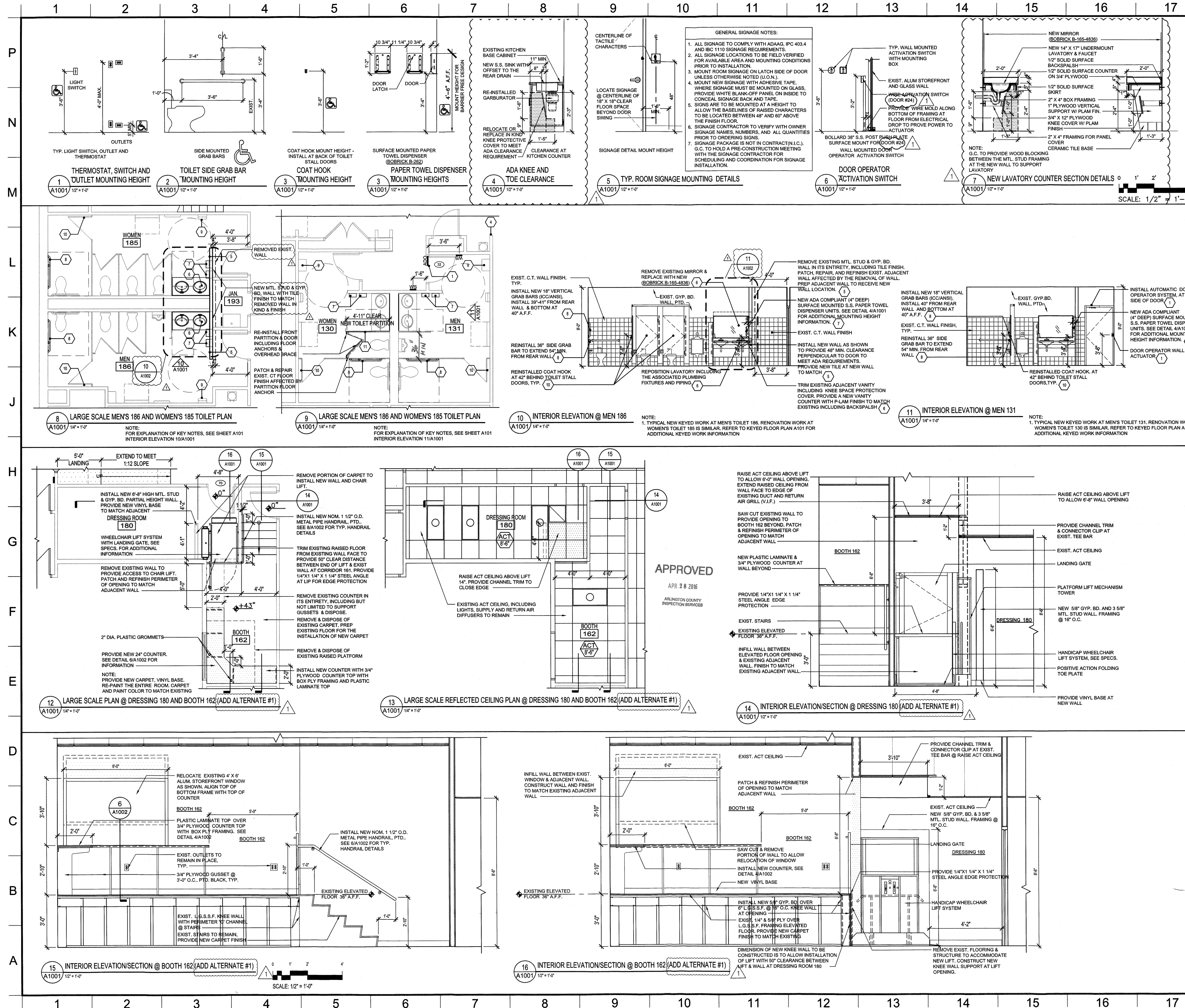
**Architecture  
Planning  
Interior Design**  
The Lukmire Partnership  
2700 South Quarter Street  
Suite 301  
Arlington, VA 22204  
703.996.0101  
FAX 703.996.7796



**ACCESSORY AND  
EQUIPMENT  
DETAILS, LARGE  
SCALE TOILET AND  
BOOTH PLANS AND  
ELEVATIONS**

Pj. Arch.: G. Lukmire  
Pj. Eng.:  
Drawn: - Scale: AS NOTED  
Checked: - Issued: 2/9/2016  
App.: - Dwg. No.  
Project No.: 13258.08

**A1001**



**GENERAL SIGNAGE NOTES:**

1. ALL SIGNAGE TO COMPLY WITH ADAAG, IPC 403.4 AND IBC 1110 SIGNAGE REQUIREMENTS.
2. ALL SIGNAGE LOCATIONS TO BE FIELD VERIFIED FOR AVAILABLE AREA AND MOUNTING CONDITIONS PRIOR TO INSTALLATION.
3. MOUNT ROOM SIGNAGE ON LATCH SIDE OF DOOR UNLESS OTHERWISE NOTED (U.O.N.).
4. MOUNT NEW SIGNAGE WITH ADHESIVE TAPE WHERE SIGNAGE MUST BE MOUNTED ON GLASS, PROVIDE WHITE BLANK-OFF PANEL ON INSIDE TO ALLOW THE BASELINES OF RAISED CHARACTERS TO BE LOCATED BETWEEN 48" AND 60" ABOVE THE FINISH FLOOR.
5. SIGNAGE CONTRACTOR TO VERIFY WITH OWNER SIGNAGE NAMES, NUMBERS, AND ALL QUANTITIES PRIOR TO ORDERING SIGNS.
6. SIGNAGE CONTRACTOR TO HOLD A PRE-CONSTRUCTION MEETING WITH THE SIGNAGE CONTRACTOR FOR SCHEDULING AND COORDINATION FOR SIGNAGE INSTALLATION.

**NOTE:**  
1. TYPICAL NEW KEYED WORK AT MEN'S TOILET 186. RENOVATION WORK AT WOMEN'S TOILET 185 IS SIMILAR. REFER TO KEYED FLOOR PLAN A101 FOR ADDITIONAL KEYED WORK INFORMATION.

**APPROVED**  
APR. 28 2016  
ARLINGTON COUNTY  
INSPECTION SERVICES



Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists various chemicals like Pumice, Pyrophyllite, Redart Clay, etc.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Titanium (IV) Oxide, Turpentine, Universal Etch Ground, etc.

Appendix C - Control Area Report

CONTROL AREA REPORT table with columns for Material, Class, Inventory Amount, Regulatory Limit, and Monitoring Point. Includes a color-coded legend for hazard levels.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Kaolin Clay, Kerosene, Kiln Wash, etc.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Mason Stain 6024 Orange, Turpentine, Universal Etch Ground, etc.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Mason Stain 6700 White, Minspar Feldspar, Minspar Feldspar, etc.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Calcium Carbonate, China Clay, Chromium (III) Oxide, etc.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Cryolite, Custer Feldspar, Darvan, Dolomite, etc.

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Frit 3134, Frit 3195, Frit 3259, etc.

The MAQs are reduced to 75% of their values for storage or use in the two-story building because it is being treated as a single control area, per VCC Section 414.2.2.

4.0 Conclusion
Based on the analysis of the chemical inventory provided by the Arlington County Cultural Affairs Center, Jensen Hughes concludes that the provided chemical quantities are in compliance with the MAQs for all hazard classes.

Any future changes to the inventory should ensure that chemical quantities are still below the MAQs for all hazard classes since the entire building is designed as a single control area.

Additionally, the building shall comply with the applicable requirements for control areas in VCC Section 414 as well as requirements for the following hazard classes present within the facility:

- + General Hazardous Materials - VSFC Section 5001, 5003
+ Corrosive solids - VSFC Section 5401
+ Flammable and combustible liquids - VSFC Chapter 57
+ Highly toxic and toxic solids - VSFC Section 6001
+ Oxidizing solids - VSFC Section 6301, 6303

Jensen Hughes appreciates the opportunity to assist Moseley Architects (Client) on the Arlington County Cultural Center Project. Please feel free to contact us if you have any questions at jan.davis@jensenhughes.com or +1 410-737-8877.

Sincerely, Jensen Hughes, Inc.

Prepared By: Ian Davis, Associate. Reviewed By: Meghan Goodwin, Consultant.

10 | HHS 2023025, Arlington County Cultural Affairs Center, HHS, rev0

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Cryolite, Custer Feldspar, Darvan, Dolomite, etc.

Appendix B - Chemical Inventory

Table with 7 columns: Chemical Name, Total Quantity, Unit, State, CAS, Material Classification, Area. Lists chemicals like Acetone, Albany Slip Clay, Alberta Slip Clay, etc.



PREPARED FOR: Moseley Architects, 8001 Braddock Road, Suite 400, Springfield, VA 22151. PREPARED BY: Jensen Hughes, Inc., 1 Research Drive, Suite 303C, Westborough, MA 01581.

Project #: 1JLE23013, Report #: 0, Date: August 28, 2023.

Table with 2 columns: Revision, Revision Summary. Shows revision 1: Added references to ceramics and printmaking areas in Introduction, Appendix A, Appendix B, and Appendix C.

Table of Contents with 2 columns: Section, Page Number. Lists sections like 1.0 INTRODUCTION, 2.0 HAZARDOUS MATERIAL CLASSIFICATION & INVENTORY, etc.

Appendix A - Annotated Floor Plan

Annotated floor plan of Arlington County Cultural Affairs Center first floor. The entire building (both first and second floor) is designed as a single control area.

Red bubbles denote areas where chemicals are stored and used for ceramics activities. The hazard classes present in these areas are Combustible Dust, Toxic Solid, Highly Toxic Solid, Corrosive Solid, Oxidizing Solid Class 1, and Combustible Liquid Class IIIA.

Green bubbles denote areas where chemicals are stored and used for printmaking activities. The hazard classes present in these areas are Flammable Liquid Class IB & IC and Combustible Liquid Class II & IIIA.



Table with 2 columns: Revision, Revision Summary. Shows revision 1: Added references to ceramics and printmaking areas in Introduction, Appendix A, Appendix B, and Appendix C.

Table of Contents with 2 columns: Section, Page Number. Lists sections like 1.0 INTRODUCTION, 2.0 HAZARDOUS MATERIAL CLASSIFICATION & INVENTORY, etc.

1.0 Introduction

Moseley Architects (Client) has retained Jensen Hughes (Consultant) to prepare a Hazardous Material Inventory Statement (HMS) for the Arlington County Cultural Affairs Center located at 3700 South Four Mile Run Drive in Arlington, VA.

This analysis has been conducted to quantify the amount of hazardous materials within the proposed chemical storage areas and determine if the proposed quantity of hazardous materials will be below the Maximum Allowable Quantity (MAQ) as required per the appropriate codes.

Chemicals are stored and used in the building for various art activities including ceramics and printmaking.

The 2018 Editions of the Virginia Construction Code (VCC) and the Virginia Statewide Fire Prevention Code (VSFPC) are the applicable codes for the Project. The VCC is an amended version of the International Building Code (IBC), and the VSFPC is an amended version of the International Fire Code (IFC).

Consultant understands that the building is protected with an automatic fire sprinkler system and that hazardous materials will be stored in approved storage cabinets. The building has two (2) stories above grade and the entire building is being designed as a single control area.

Consultant also understands that raw chemicals for ceramics will be stored and used in the Glaze Kitchen (109) and mixtures will be transported to the Hand Building Studio (112), while raw chemicals for printmaking will be stored in the Printmaking Studio (115) and used in both the Printmaking Studio and Silkscreen Room (116). An annotated floor plan highlighting these areas of the building is included in Appendix A.

2.0 Hazardous Material Classification & Inventory

Consultant compiled an HMS for the Arlington County Cultural Affairs Center in accordance with VSFC Section 5001.5.2. The chemical list provided by the Arlington County Cultural Affairs Center was reviewed to determine applicable chemical hazard classifications and chemical quantities. Hazard classifications were determined based on the definitions in VSFC Section 202.

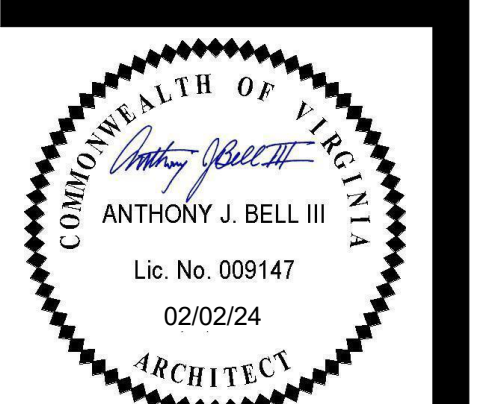
The provided chemical list reported the quantities of individual containers of chemicals, and in many cases the same chemical would be stored in multiple containers of different sizes. In the HMS, different containers of the same chemical are listed as separate line items. Additionally, there are several solids that are stored in 5-gallon buckets, but the quantity of hazardous solids must be compared against their MAQs with respect to weight and not volume. Therefore, the quantity of any solids stored in 5-gallon buckets was assumed to be 50 pounds.

VSFC Section 5001.2.2 lists the hazard classes that are regulated by the hazardous materials sections of the VSFC. These listed hazard classes pertain to acute adverse physical and health effects due to chemical exposure. There are also other chronic or reversible hazard classes that are not regulated by the hazardous materials sections of the VSFC. In this hazardous materials analysis, there were three common "other" hazard classes that many chemicals were classified as: carcinogen, irritant, and/or sensitizer. Therefore, quantities of chemicals that were only classified as a carcinogen, irritant, and/or sensitizer were not compared against an MAQ. The full chemical inventory is included in Appendix B.

3.0 Control Area Summary

The quantities of hazardous materials are limited to below their respective MAQs to avoid High-Hazard Group H occupancy classification and additional fire and life safety design requirements per VCC Section 307.1. The MAQs per control area are noted in VCC Section Tables 307.1(1-2), with the increase allowances for a fully sprinklered building and storage in approved hazardous materials cabinets reflected in the control area report.

MOSELEY ARCHITECTS

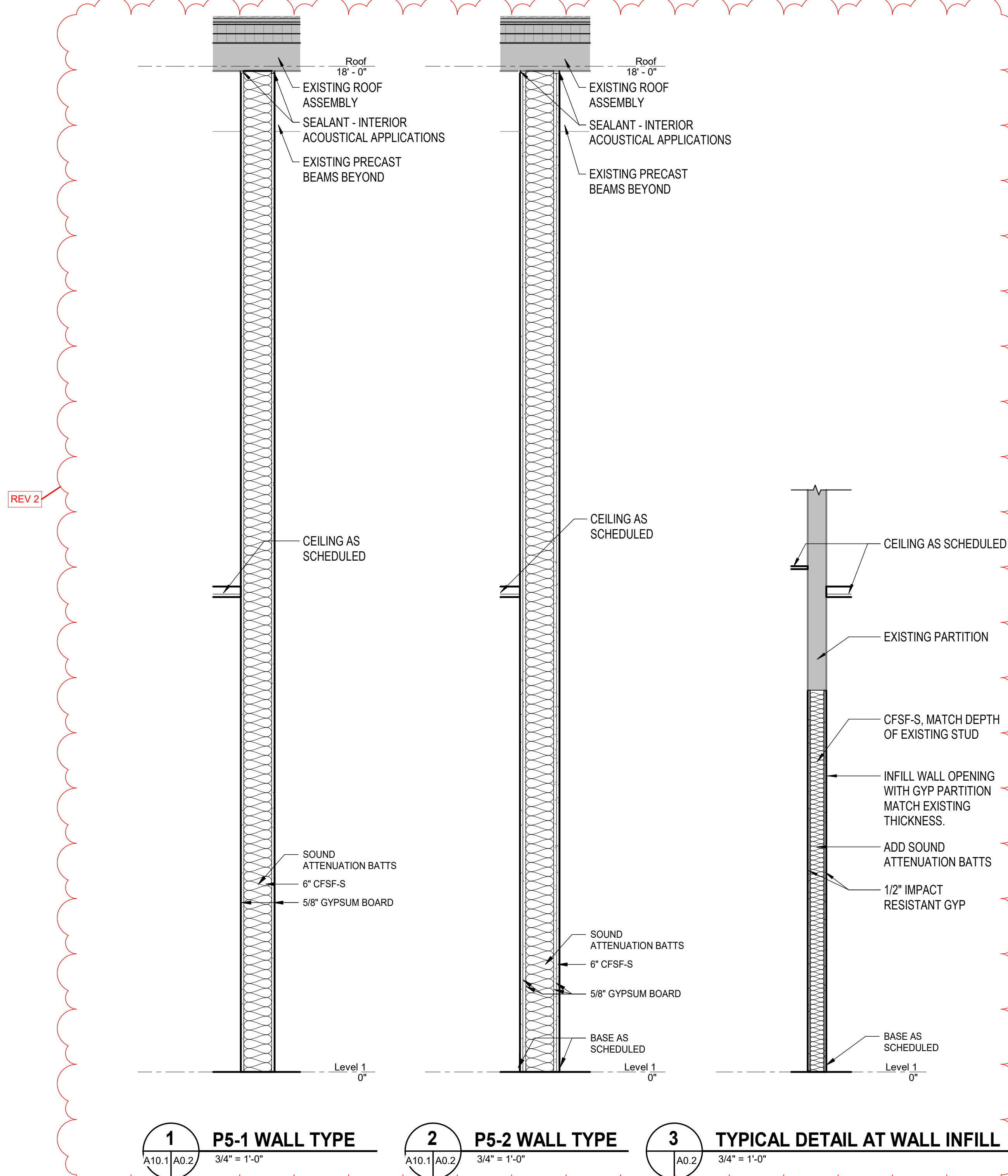


PROJECT NO: 624801, DATE: FEBRUARY 2, 2024, REVISIONS, DATE, DESCRIPTION, 02/02/24 REV 2

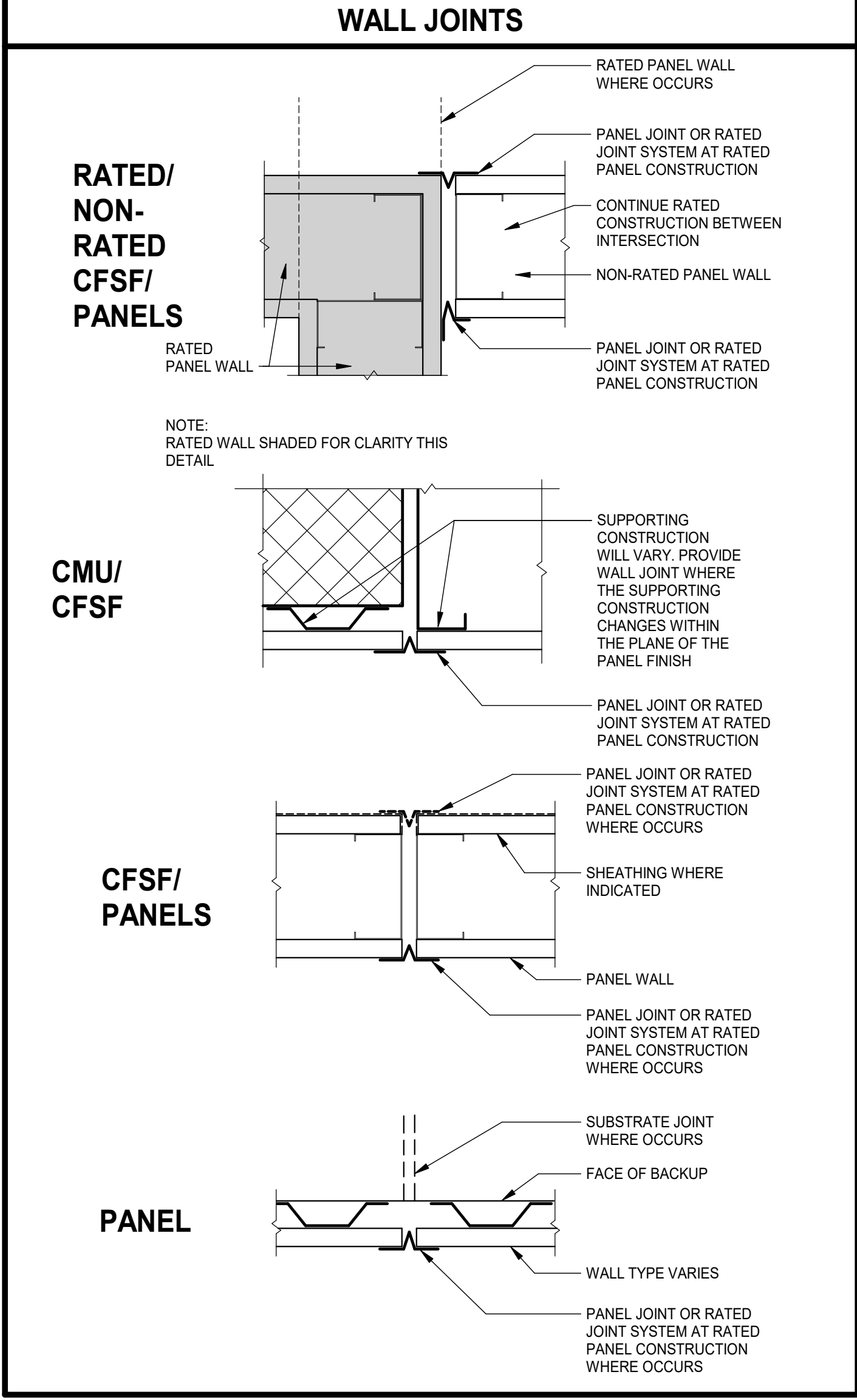
ARLINGTON COUNTY CULTURAL AFFAIRS RENO, No. 22-DES-RFP191, FACILITIES DESIGN & CONSTRUCTION, 3700 S. FOUR MILE RUN DRIVE

HAZARDOUS MATERIALS INVENTORY REPORT, LS1.8

2/9/2024 2:35:09 PM



1 P5-1 WALL TYPE 3/4" = 1'-0"  
 2 P5-2 WALL TYPE 3/4" = 1'-0"  
 3 TYPICAL DETAIL AT WALL INFILL 3/4" = 1'-0"



### WALL/PARTITION TYPE GENERAL NOTES

A. PLAN DIMENSIONS ARE TO FACE OF WALL OR PARTITION. WHERE APPLIED FINISHES OCCUR SUCH AS CERAMIC TILE DIMENSIONS ARE TO FACE OF APPLIED FINISH. FOR WAINSCOTS, FLOOR PLAN DIMENSIONS ARE TO FACE OF WAINSCOT MATERIAL. APPLIED FINISHES ARE NOT ALLOWED TO REDUCE CLEAR DIMENSIONS. "APPLIED FINISHES" IN THIS CASE DO NOT INCLUDE TRIM, BASE, AND ACOUSTIC WALL PANELS.

B. EXTEND WALL/PARTITION ASSEMBLY COMPONENTS FULL HEIGHT OF ASSEMBLY.

C. ALL INTERIOR CFSF PANEL PARTITIONS P5 UNLESS INDICATED OTHERWISE.

D. REFER TO STRUCTURAL DRAWINGS AND RELATED SPECIFICATIONS FOR SOLID MASONRY, GROUTING, AND REINFORCEMENT REQUIREMENTS INCLUDING BUT NOT BE LIMITED TO:

- MASONRY WALLS/PARTITIONS
- LINTELS
- LINTEL BEARING CONDITIONS
- BOND BEAMS
- SHELF BEARING CONDITIONS
- STRUCTURAL REINFORCING REQUIREMENTS
- CHANGES IN WYTHE

E. THE TERMS "WALL" AND "PARTITION" MAY BE USED INTERCHANGEABLY THROUGHOUT THE CONTRACT DOCUMENTS.

F. EXTEND ALL FIRE, SMOKE, INCIDENTAL USE, AND ACOUSTICAL-RATED WALLS/PARTITIONS TO UNDERSIDE OF FLOOR DECK, ROOF DECK, STRUCTURAL ELEMENT ENCASUREMENT OR SOLID CAP ABOVE.

- SEAL AND TERMINATE IN ACCORDANCE WITH JOINT SYSTEM TESTED ASSEMBLIES FOR RESPECTIVE TYPE OF WALLS/PARTITIONS.

H. PARTITIONS THAT DO NOT EXTEND TO UNDERSIDE OF DECK OR CAP ABOVE:

- EXTEND 4 INCHES MINIMUM ABOVE HIGHEST ADJACENT FINISH CEILING UNLESS INDICATED OTHERWISE.

I. DO NOT CONNECT TIES, ANCHORS, OR REINFORCING TO SINGLE CANTILEVERED FIRE WALL OR BETWEEN DOUBLE FIRE WALLS.

J. SEAL AROUND ALL PENETRATIONS.

K. COMPLY WITH TERMINATION, WALL JOINT, AND MISCELLANEOUS DETAILS FOR THOSE CONDITIONS WHERE APPLICABLE. COMPLY WITH REFERENCED STANDARDS WHERE DETAILS ARE NOT IDENTIFIED IN THE DRAWINGS.

L. WALL/PARTITION TYPES DO NOT ADDRESS WALL FINISHES. REFER TO FINISH SCHEDULE.

M. FINISHED SPACES: PROVIDE CHASES AROUND ALL EXPOSED VERTICAL COMPONENTS, INCLUDING BUT NOT LIMITED TO: DUCTWORK, PIPING, AND CONDUIT, UNLESS COMPONENTS ARE SPECIFICALLY INDICATED TO REMAIN EXPOSED. IF NOT OTHERWISE INDICATED, PROVIDE P2 CHASE CONSTRUCTION.

- HOLD CHASES TIGHT TO COMPONENTS ALLOWING FOR ACCESS, INSULATION, AND TOLERANCES.
- EXTEND CHASES FROM FLOOR TO 4 INCHES MINIMUM ABOVE FINISH CEILING OR IF NO CEILING IS INDICATED, EXTEND CHASES TO UNDERSIDE OF FLOOR DECK, ROOF DECK, OR SOLID CAP ABOVE AND TERMINATE ACCORDINGLY.

N. PROVIDE BACKER BOARD/UNIT OF SAME THICKNESS INDICATED IN LIEU OF GYPSUM BOARD PANEL AT PORTIONS OF WALLS/PARTITIONS TO RECEIVE TILE.

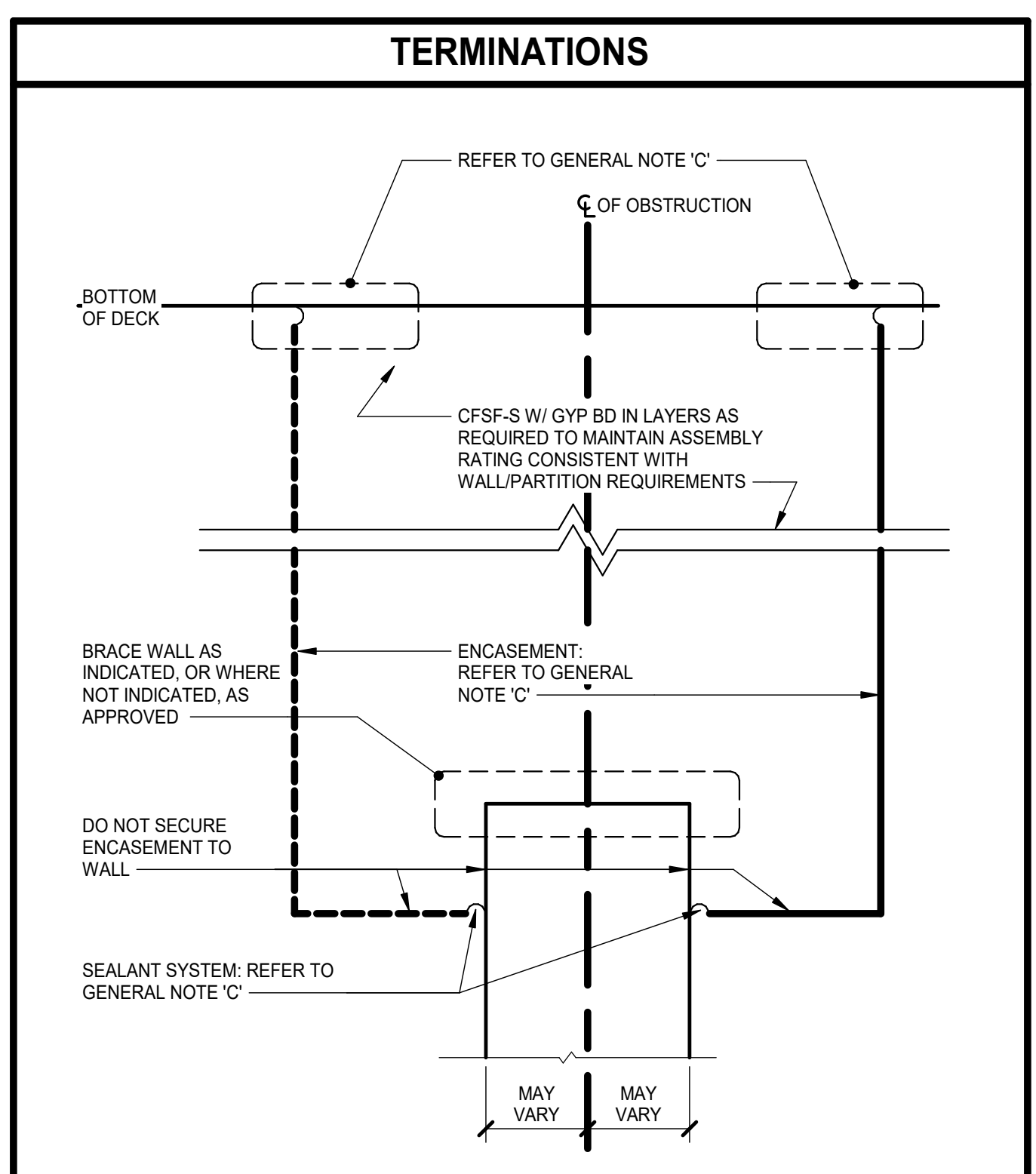
### TERMINATION GENERAL NOTES

A. AT FIRE, SMOKE, AND ACOUSTICALLY RATED WALLS: SEAL ALL NON-OBSTRUCTED HEAD-OF-WALL CONDITIONS IN ACCORDANCE WITH JOINT SYSTEM MANUFACTURER'S RECOMMENDATIONS BASED ON CONDITION ENCOUNTERED (E.G. CMU-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES), OR CFSF-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES)) TO MAINTAIN ASSEMBLY RATING CONSISTENT WITH WALL/PARTITION REQUIREMENTS. BRACE WALL AS INDICATED OR REQUIRED.

B. AT ALL OTHER WALLS INDICATED TO EXTEND TO UNDERSIDE OF FLOOR/ROOF DECK/CAP: SEAL ALL NON-OBSTRUCTED HEAD-OF-WALL CONDITIONS IN ACCORDANCE WITH JOINT SYSTEM MANUFACTURER'S RECOMMENDATIONS BASED ON CONDITION ENCOUNTERED (E.G. CMU-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES), OR CFSF-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES)). BRACE WALL AS INDICATED OR REQUIRED.

C. AT ALL WALLS PREVENTED FROM TERMINATING AT THE UNDERSIDE OF FLOOR/ROOF DECK BY OBSTRUCTIONS, COMPLY WITH THE FOLLOWING:

- AT FIRE, SMOKE, AND ACOUSTICALLY RATED WALLS: ENCASE OBSTRUCTION(S) TO MAINTAIN ASSEMBLY RATING CONSISTENT WITH WALL/PARTITION REQUIREMENTS.
- AT SECURITY WALLS: TERMINATE IN ACCORDANCE WITH SECURITY PARTITION REQUIREMENTS.
- AT OTHER WALLS: ENCASE OBSTRUCTION(S) ON ONE SIDE.
- SEAL ENCASUREMENT TO WALL AND SEAL ENCASUREMENT TO DECK IN ACCORDANCE WITH JOINT SYSTEM MANUFACTURER'S RECOMMENDATIONS AND TO MAINTAIN ASSEMBLY RATING CONSISTENT WITH WALL/PARTITION REQUIREMENTS.



### HEAD-OF-WALL TERMINATION @ OBSTRUCTION

OBSTRUCTION MAY VARY (BEAM, JOIST, GIRDER, CHANNEL, DUCTWORK, PIPING)

### HEAD-OF-WALL TERMINATION @ NON-OBSTRUCTION

### WALL JOINT GENERAL NOTES

A. LOCATE CONTROL JOINTS IN INTERIOR AND EXTERIOR WALLS AS INDICATED ON DRAWINGS.

B. JOINTS ARE INDICATED THUS ON PLANS AND ELEVATIONS.

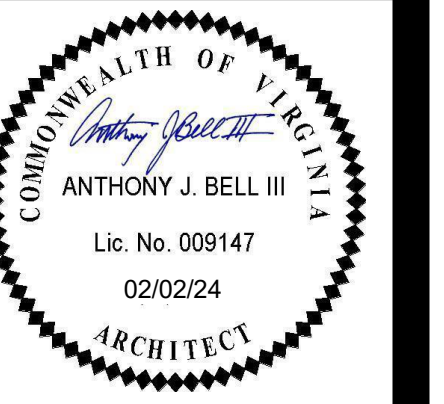
C. WALLS AND JOINT TYPES/DETAILS ARE DIAGRAMMATIC. ADJUST JOINT TYPES/DETAILS IN ACCORDANCE WITH ACTUAL FIELD CONDITIONS.

D. PROVIDE TESTED JOINT ASSEMBLIES AT FIRE, SMOKE, AND ACOUSTICAL-RATED WALLS.

E. WHEN USED HEREIN "RATED" MEANS: FIRE, SMOKE, AND/OR ACOUSTICAL.

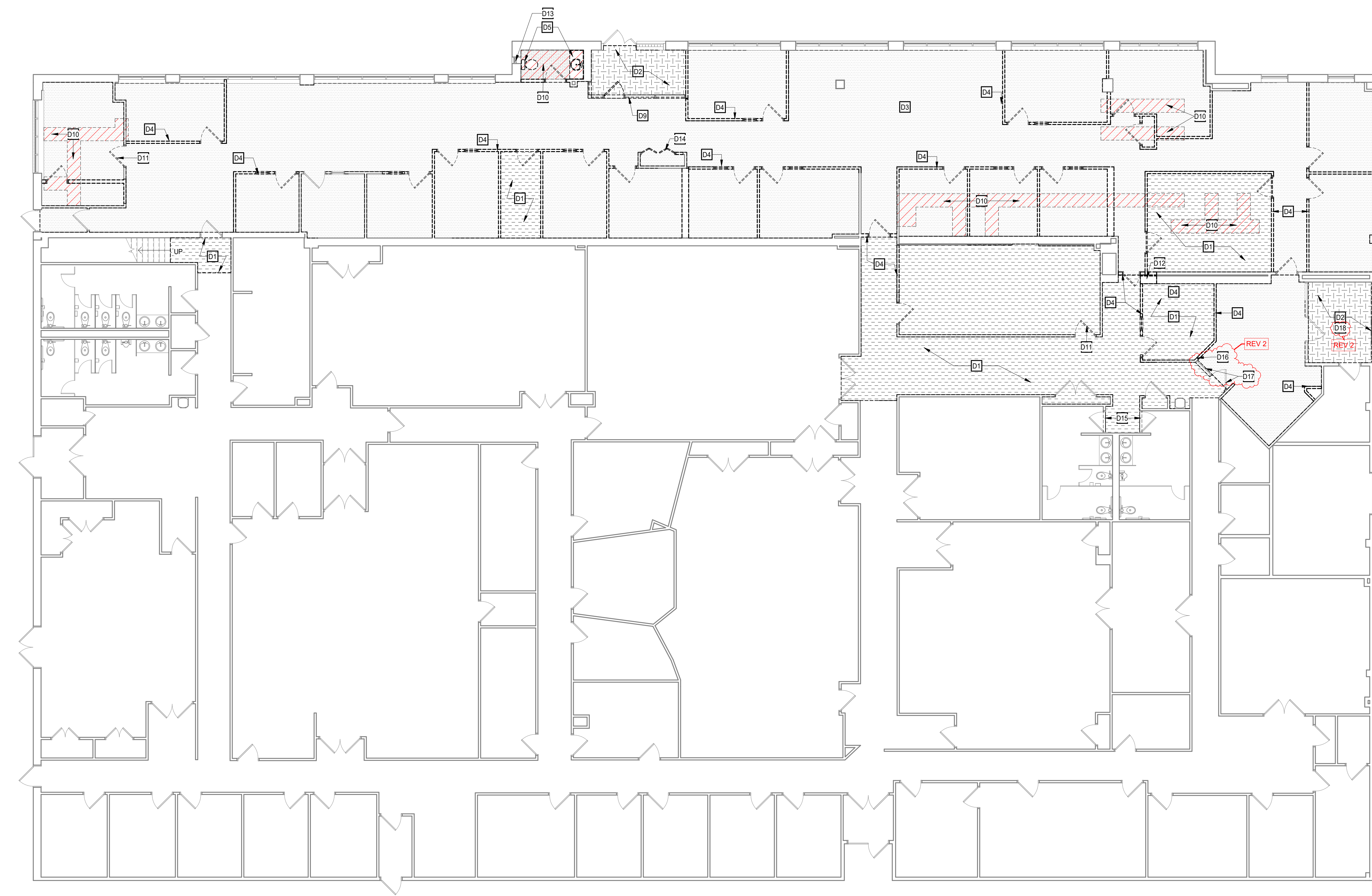
F. REFER TO SPECIFICATIONS FOR ADDITIONAL WALL JOINT REQUIREMENTS.

PANEL WALL/PARTITION TYPES			
Xmm			
MARK	FIRE RATED ASSEMBLY (REFER TO LS 1.1 FOR LEGEND)	REMARKS	INFORMATION
P1	-	IMPACT RESISTANT GB TO 8'-0" AFF	2 1/2" CFSF-S 5/8" GYPSUM BOARD
P2	-	IMPACT RESISTANT GB TO 8'-0" AFF	3 5/8" CFSF-S 5/8" GYPSUM BOARD
P3	-	IMPACT RESISTANT GB TO 8'-0" AFF	3 5/8" CFSF-S 5/8" GYPSUM BOARD
P4	-	IMPACT RESISTANT GB TO 8'-0" AFF	5/8" GYPSUM BOARD 6" CFSF-S
P5	-	IMPACT RESISTANT GB TO 8'-0" AFF	5/8" GYPSUM BOARD 6" CFSF-S SOUND ATTENUATION BATTS
P5-1	(X1)	1HR IMPACT RESISTANT GB TO 8'-0" AFF	SOUND ATTENUATION BATTS 6" CFSF-S 5/8" GYPSUM BOARD
P5-2	(X1)	2HR IMPACT RESISTANT GB TO 8'-0" AFF	SOUND ATTENUATION BATTS 6" CFSF-S 5/8" GYPSUM BOARD
P6	-	IMPACT RESISTANT GB TO 8'-0" AFF	5/8" GYPSUM BOARD 8" CFSF-S SOUND ATTENUATION BATTS
P7	-	IMPACT RESISTANT GB TO 8'-0" AFF	5/8" GYPSUM BOARD 7/8" FURRING FACE OF EXISTING WALL



PROJECT NO:	624801
DATE:	FEBRUARY 2, 2024
REVISIONS	
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12.15.23	BID SET
02.02.24	REV 2

J  
H  
G  
F  
E  
D  
C  
B  
A



N  
DEMOLITION FIRST FLOOR PLAN  
1/8" = 1'-0"

### DEMOLITION PLAN LEGEND

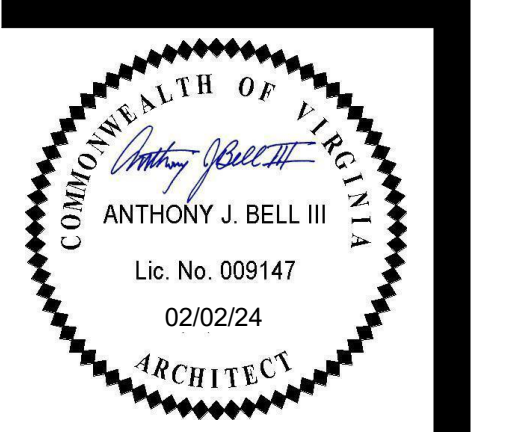
APPLIES TO DRAWINGS A1.2.1 - A1.2.n

	EXISTING PARTITION/ WALL ITEM TO REMAIN
	REMOVE EXISTING PARTITION/WALL ITEM
	REMOVE EXISTING WINDOW ASSEMBLY AND FRAMING, INCLUDING ANCHORS
	REMOVE EXISTING DOOR AND FRAME ASSEMBLY INCLUDING DOOR HARDWARE, ANCHORS, AND THRESHOLD (WHERE OCCURS)
	REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING DEMOLITION PLAN FOR ADDITIONAL INFORMATION.
	REMOVE VCT FLOORING AND RUBBER BASE
	REMOVE FLOOR MAT AND RUBBER BASE
	REMOVE CARPET AND WOOD AND/OR RUBBER BASE
	REMOVE CONCRETE REFER TO STRUCTURAL AND PLUMBING

- ### DEMOLITION PLAN GENERAL NOTES
- DEMOLITION PLANS ARE PROVIDED AS AN ASSISTANCE TO CONTR BIDDING EFFORTS AND AS A GENERAL GUIDE TO THE DEMO WORK. DEMO PLANS ARE NOT INTENDED TO CONTAIN A COMPLETE DESCRIPTION OF ALL MATERIALS TO BE REMOVED. CHANGE ORDERS FOR DEMOLITION WORK (WHETHER SHOWN OR NOT) SHALL NOT BE APPROVED WHERE DEMOLITION IS REQUIRED BY THE WORK.
  - PATCH AND REPAIR PARTITIONS, FLOORS OR CEILINGS WHERE EXISTING FINISHES ARE DISTURBED OR INTERRUPTED DUE TO REMOVAL OF EXISTING CONTIGUOUS PARTITIONS, DOORS, WINDOWS, CASEWORK OR MECHANICAL, ELECTRICAL OR PLUMBING FIXTURE OR DEVICE, TO PROVIDE A SMOOTH MONOLITHIC FINISH TO MATCH ADJACENT SURFACE. COORDINATE WITH ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS.
  - EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED FROM DAMAGE FOR DURATION OF CONSTRUCTION. CONTR SHALL REPAIR/ REMOVE EXISTING CONSTRUCTION WHICH IS DAMAGED DURING COURSE OF CONSTRUCTION, AS COMPONENT OF BASE CONTRACT.
  - THE OWNER SHALL HAVE THE RIGHT OF FIRST REFUSAL ON ALL SALVAGED ITEMS.
  - "READY TO RECEIVE NEW FINISHES" SHALL REFER TO SURFACES WHICH ARE FREE OF DEFECTS, SMOOTH, FLAT SURFACES. AS A COMPONENT OF THE BASE BID, CONTRACTOR SHALL SCRAPE AND/OR LEVEL/FILL SLABS AND SURFACES WITH SELF LEVELING UNDERLAYMENT, GROUT, AND SAND / SKIM-COAT GYPSUM BD WALLS AS REQUIRED TO PRODUCE THIS RESULT.
  - DO NOT PERFORM DEMOLITION BEYOND THE SCOPE REQUIRED BY WORK. CONTR SHALL COORDINATE SUCH EFFORTS PRIOR TO START OF CONSTRUCTION AND MAINTAIN ACTIVE COORDINATION OF DEMOLITION AND WORK DURING CONSTRUCTION.
  - REFERENCE STRUCT, ELEC, PLUMB, AND MECH. PLANS FOR ADDITIONAL DEMOLITION INFORMATION.
  - REFER TO DEMOLITION PLAN LEGEND FOR STANDARD INDICATIONS.
  - SURVEY THE WORK PRIOR TO DEMOLITION ACTIVITY AND PERFORM CORRECTIVE MEASURES AS NECESSARY TO ENSURE INTEGRITY OF FIRE PROTECTION SYSTEMS.
  - ALL EXISTING DAMAGED DRYWALL SURFACES SHALL BE REMOVED AND/OR REPAIRED TO PROVIDE SMOOTH, MONOLITHIC SURFACE READY TO RECEIVE THE REQUIRED FINISHES. JOINTS SHALL BE FINISHED SMOOTH AND FLAT.
  - REMOVE ALL MASTICS, ADHESIVES AND GROUTS FROM ALL SUBSTRATES FOLLOWING REMOVAL OF FINISHES. CLEAN SUBSTRATE BY WHATEVER MEANS NECESSARY TO PROVIDE SMOOTH, FLAT SURFACE READY TO RECEIVE THE REQUIRED FINISHES.
  - SALVAGE ALL EXISTING INTERIOR SIGNAGE. COORD WITH DEMO AND WORK PLANS AND BUILDING OWNER WHICH SIGNS TO REMAIN AND WHICH ONES SHALL BE RELOCATED. TAG THE BACK OF ALL REMOVED SIGNAGE W/ PRIOR LOCATION TO ASSIST W/ REINSTALLATION.
  - AT ALL EXISTING WALLS TO RECEIVE ELECTRICAL RECEPTACLE, DEVICES, OUTLETS, CARD READERS, ETC. - CMU, GLAZED BLOCK AND GYP BD SHALL BE CUT TO ACCOMMODATE ITEM. PATCH & REPAIR WALL AS REQUIRED TO RECEIVE THE REQUIRED FINISHES. AT MASONRY - NO NEW WIRE MOLDS SHALL BE ADDED.
  - COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH THE WORK IN ALL CASES.
  - ALL DEVICES, FIXTURES, RECEPTACLES, SWITCHES, AND CONTROLS TO REMAIN SHALL BE RESET FLUSH WITH THE REQUIRED FINISH. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND THIS PLAN. REPLACEMENT OF DEVICES AND FACEPLATES SHALL BE REQUIRED IN ALL CASES.
  - REMOVE FLOORING. REMOVE ALL MASTICS, ADHESIVES AND GROUTS FROM CONCRETE SLAB AS NECESSARY TO PROVIDE SMOOTH, FLAT SURFACE READY TO RECEIVE THE REQUIRED FINISHES.
  - REMOVE ALL UNUSED SURFACE MOUNTED WIRE MOLD.

### DEMOLITION KEYNOTE

D1	REMOVE VCT FLOORING, RUBBER BASE, MASTIC/ADHESIVES AND PREPARE SUBSTRATE TO RECEIVE NEW WORK. COORDINATE WITH FINISH SCHEDULE.
D2	REMOVE FLOOR MAT, RUBBER BASE, MASTIC/ADHESIVES AND THRESHOLD. PREPARE SUBSTRATE TO RECEIVE NEW WORK. COORDINATE WITH FINISH SCHEDULE.
D3	REMOVE CARPET, BASE, ADHESIVES AND FASTENING DEVICES AND PREPARE SUBSTRATE TO RECEIVE NEW WORK. COORDINATE WITH FINISH SCHEDULE.
D4	REMOVE GYP WALL, INCLUDING ALL DOORS, WINDOWS AND FRAMES WITHIN WALL AND ALL ITEMS ATTACHED TO THE WALL TO THE EXTENTS SHOWN ON THE DRAWINGS AND PREP FOR WORK.
D5	REMOVE ALL TOILET FIXTURES AND ACCESSORIES IN THIS TOILET ROOM
D6	REMOVE ALL CEILING PANELS, ASSOCIATED CEILING GRID, LIGHTS, DIFFUSERS AND ANY OTHER EQUIPMENT MOUNTED TO THE PANELS AND OR GRID. COORDINATE WITH NEW WORK AND MEP DRAWINGS
D7	REMOVE DAMAGED CEILING TILES AND PREP FOR WORK
D8	PROVIDE OPENING FOR SOLAR VAULT IN ROOF AND DECK ABOVE. COORDINATE EXACT LOCATION WITH STRUCTURE. CENTER BETWEEN STRUCTURAL BEAMS. DEMOLISH AREA ONLY AS REQUIRED FOR INSTALLATION OF SOLAR VAULT. PATCH ROOFING AS REQUIRED FOR MAINTAINING WARRANTY.
D9	REMOVE STOREFRONT AND ASSOCIATED FASTENERS, PATCH HOLES AND PREP FOR WORK.
D10	SAWCUT AND REMOVE THE EXISTING FLOOR AT THIS LOCATION TO ACCOMMODATE WORK. DO NOT UNDERMINE EXISTING FOUNDATIONS. REFER TO STRUCTURAL AND PLUMBING DRAWINGS FOR EXTENTS OF DEMOLITION REQUIRED.
D11	REMOVE DOOR AND FRAME PREP FOR NEW INFILL WALL.
D12	NON STRUCTURAL WALL, SAWCUT AND REMOVE GYP AND MASONRY FULL WALL HEIGHT INCLUDING ALL DOORS, WINDOWS AND FRAMES WITHIN WALL AND ALL ITEMS ATTACHED TO THE WALL TO THE EXTENTS SHOWN ON THE DRAWINGS. PATCH HOLES IN FLOORS/WALLS TO REMAIN AND PREP FOR NEW WORK.
D13	REMOVE FILM FROM INTERIOR PANE OF GLAZING AND PREP FOR WORK.
D14	REMOVE DOOR, FRAME AND OPENING TO EXTENTS SHOWN PREP FOR WORK.
D15	REMOVE MARBLE THRESHOLD
D16	DEMOLISH THE EXISTING PARTITION AND LEAVE 2" OF THE EXISTING PARTITION BEYOND THE GLAZED FRAMING. PREPARE EDGE OF EXISTING PARTITION TO RECEIVE NEW FINISHES.
D17	EXISTING PARTITION AND DOOR SHALL REMAIN, DASHED LINE ARE FOR FLOOR FINISHES ONLY.
D18	ALL EXISTING PARTITIONS AND DOORS SHALL REMAIN, DASHED LINE ARE FOR FLOOR FINISHES ONLY.



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REVISIONS	
DATE	DESCRIPTION
12.15.23	BID SET
12.12.23	REV 1
02.02.24	REV 2

### FLOOR PLAN GENERAL NOTES

A. UNLESS NOTED OTHERWISE ALL INTERIOR DIMENSIONS ARE TO THE FACE OF MASONRY OR FACE OF GYPSUM BOARD. NOTIFY ARCHITECT IF UNCERTAIN AS TO THE STARTING POINT OF A DIMENSION.

B. WHERE EXISTING PARTITIONS HAVE BEEN REMOVED PATCH FLOORING WITH MATCHING MATERIAL OF SIZE AND TEXTURE.

C. WHERE EXISTING PARTITIONS HAVE BEEN REMOVED AND GYPSUM BOARD CEILINGS OCCUR PATCH AND REPAIR CEILINGS TO MATCH EXISTING CONDITIONS.

C. PATCH AND REPAIR WALL SURFACES WHERE EXISTING PARTITIONS HAVE BEEN REMOVED.

B. UNLESS SPECIFICALLY APPROVED BY OWNER IN WRITING, ALL ACCESS TO ADJACENT SPACES NOT CONTAINED IN THE CURRENT AREA OF THE WORK SHALL BE BEFORE / AFTER NORMAL BUSINESS HOURS. CONTRACTOR SHALL PERFORM ALL WORK WITHIN OCCUPIED SPACES IN A MANNER TO AVOID DAMAGING EXISTING FINISHES AND FIXTURES. PROVIDE PROTECTIVE MATERIALS AS REQUIRED. UPON COMPLETION OF THE WORK WITHIN ANY SPACE(S), THE CONTRACTOR SHALL RESTORE SUCH SPACE(S) TO THE CONDITION THEY WERE PRIOR TO THE START OF THE WORK, OR BETTER. THE CONTRACTOR MUST OBTAIN WRITTEN PERMISSION MIN. OF 24 HOURS IN ADVANCE AND COORDINATE THE WORK WITH THE OWNER FOR SUCH ACCESS.

C. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT DIFFERENCES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

D. ALL BUILDING SYSTEMS (I.E. WATER, SANITARY, FIRE ALARM, ELEC., ETC.) SHALL REMAIN IN OPERATION THROUGHOUT CONSTRUCTION. ALL NECESSARY INTERRUPTIONS FOR CONNECTION OF REQUIRED WORK SHALL BE COORDINATED WITH AND APPROVED IN WRITING BY THE OWNER. PROVIDE ADEQUATE WRITTEN NOTICE AS AGREED UPON PRIOR TO START OF WORK.

### TOILET ASSEMBLIES

REPRESENTED BY (TA)

MARK	REMARKS	PLAN
TA1	BARRIER FREE	
TA2	CENTER OVER LAVATORY	

LEGEND NOTES:  
 A. HANDING/ORIENTATION MAY VARY. REFER TO PLANS FOR PROPER ORIENTATION.  
 B. PLUMBING FIXTURE GRAPHICS IN THIS LEGEND ARE REPRESENTATIVE ONLY. ACTUAL PLUMBING FIXTURES MAY VARY.  
 C. COAT/ROBE HOOKS INDICATED ON THE BACK OF TOILET COMPARTMENT DOORS ARE PART OF THE TOILET COMPARTMENT ASSEMBLY AND ARE NOT CONSIDERED A TOILET ACCESSORY.

### TOILET ASSEMBLIES, SCHEDULE AND ENLARGED PLAN GENERAL NOTES

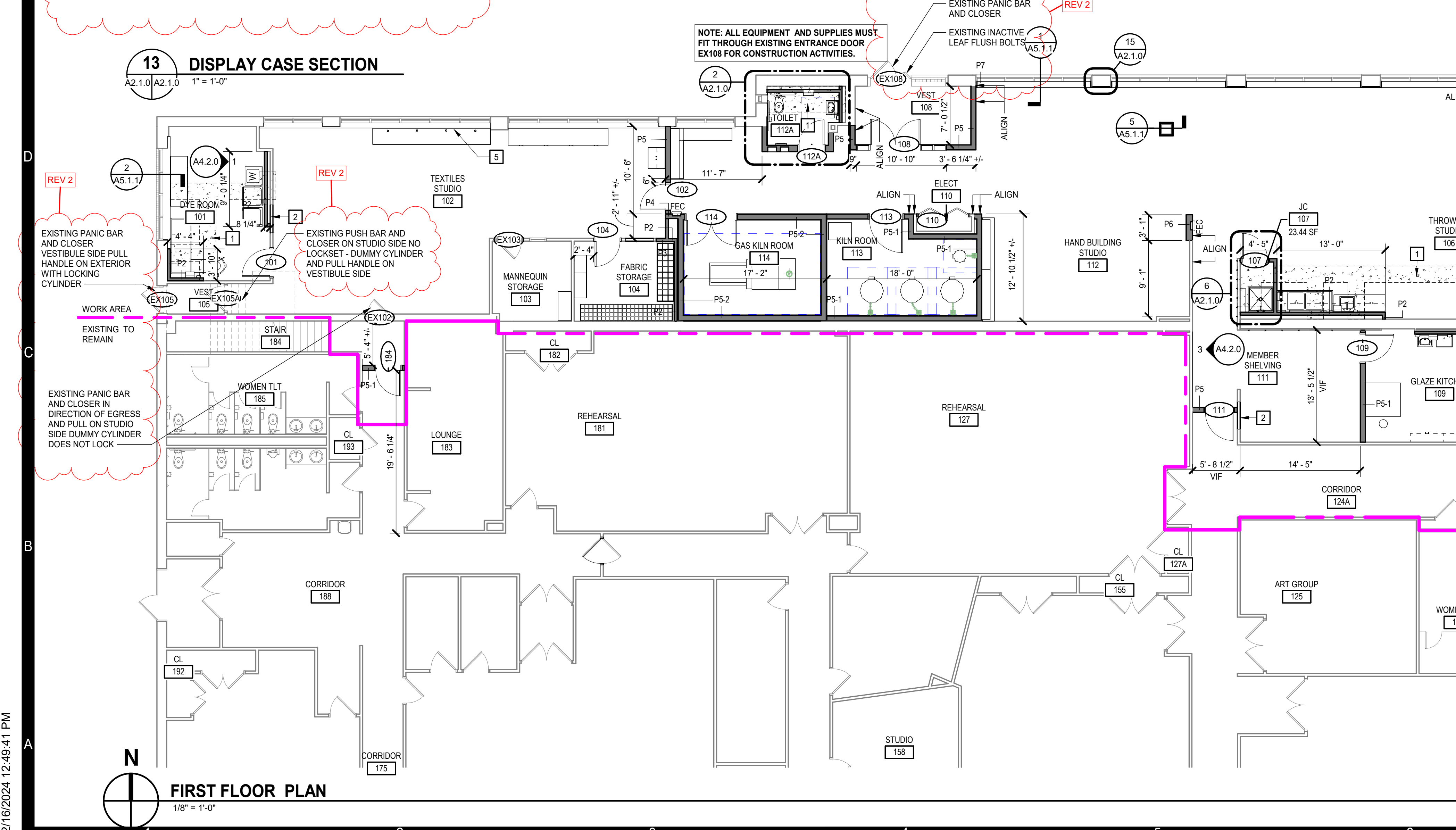
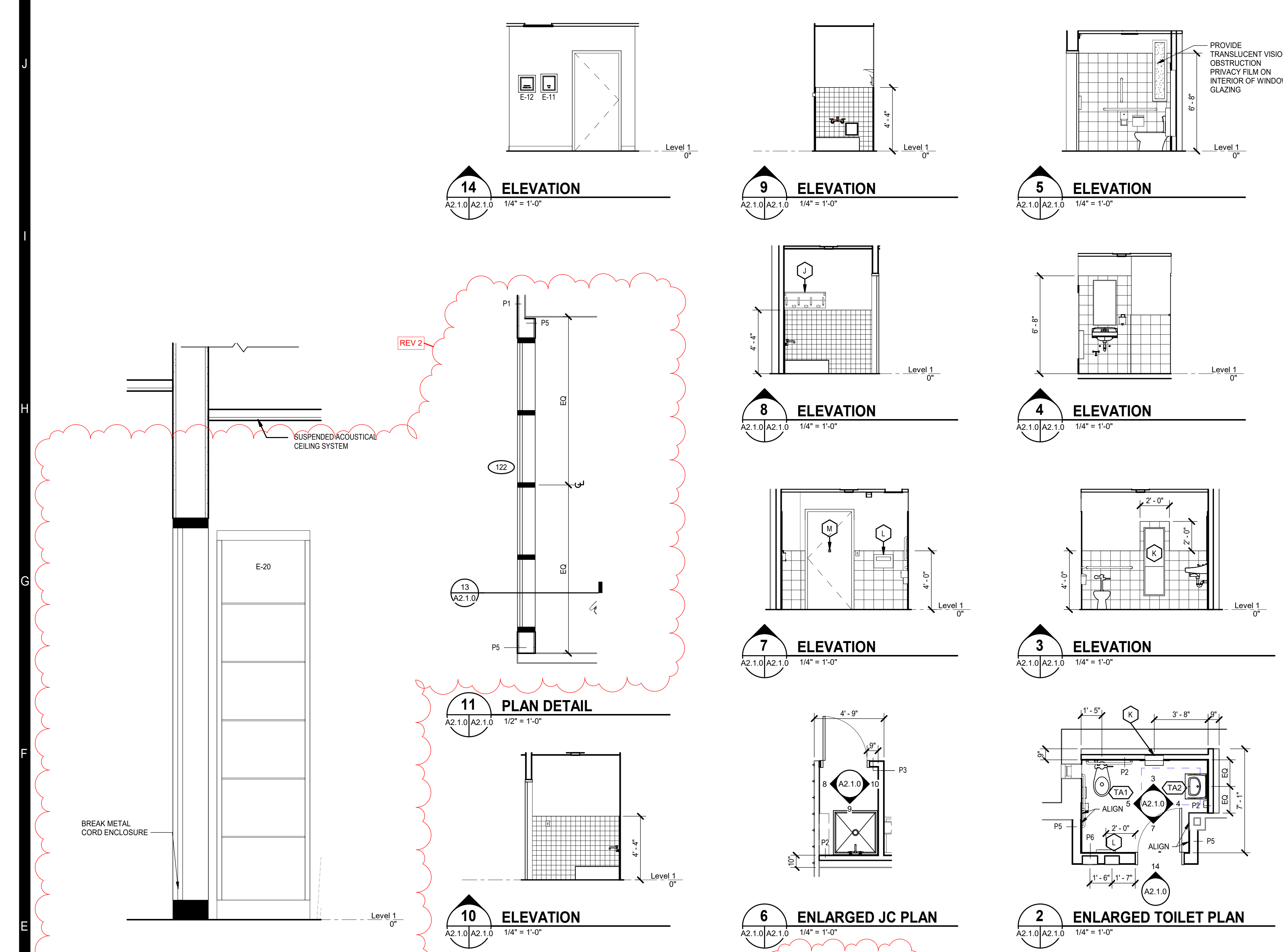
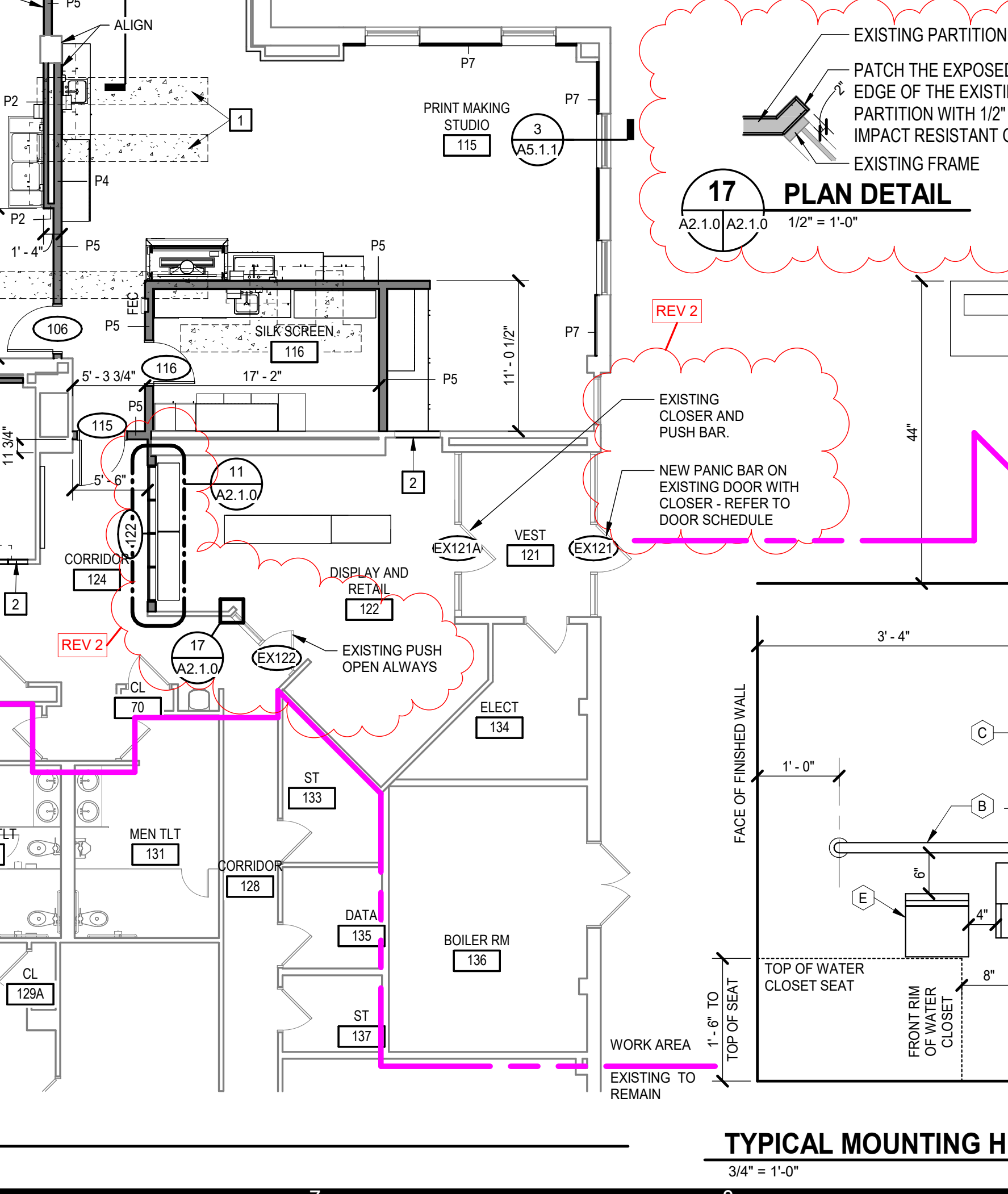
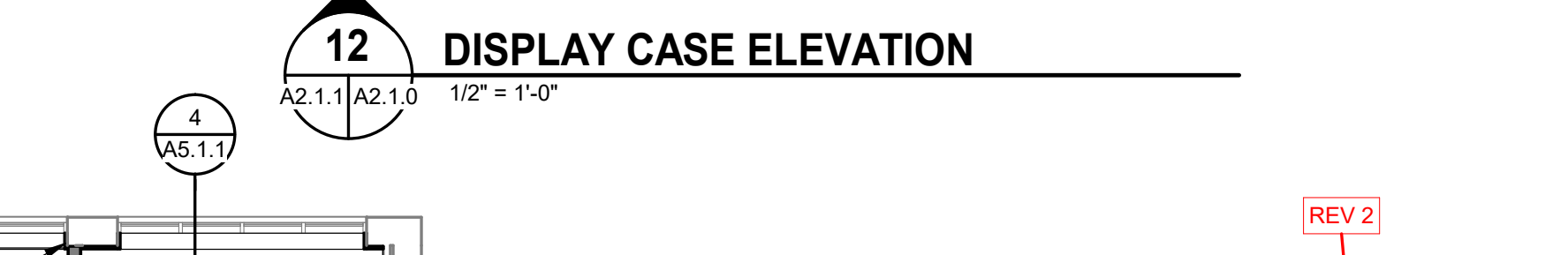
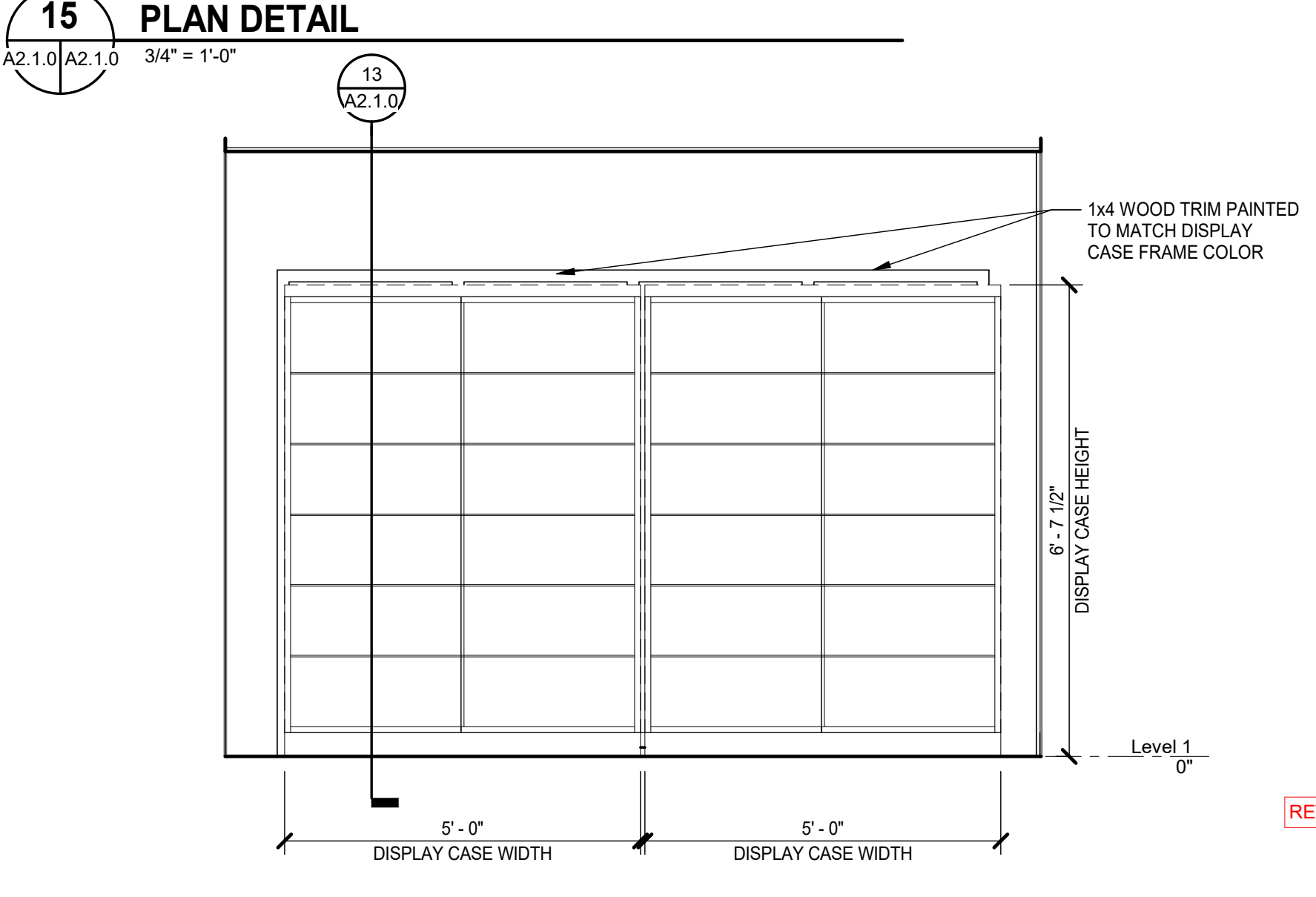
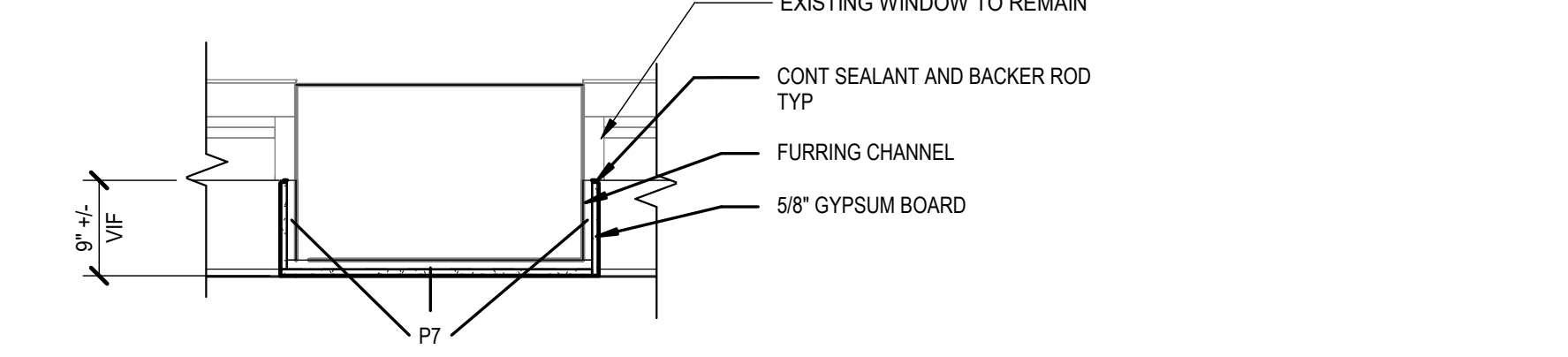
A. PLAN DIMENSIONS ARE TO FACE OF WALL OR PARTITION. WHERE APPLIED FINISHES OCCUR-SUCH AS CERAMIC TILE-DIMENSIONS ARE TO FACE OF APPLIED FINISH. FOR WAINSCOTS, FLOOR PLAN DIMENSIONS ARE TO FACE OF WAINSCOT MATERIAL. APPLIED FINISHES ARE NOT ALLOWED TO REDUCE CLEAR DIMENSIONS. \*APPLIED FINISHES\* IN THIS CASE DO NOT INCLUDE TRIM, BASE, AND ACOUSTIC WALL PANELS.

B. CLEAR DIMENSIONS ARE TO FACE OF APPLIED WALL AND PARTITION FINISHES.

### TOILET ACCESSORIES SCHEDULE

MARK	DESCRIPTION	MOUNTING HEIGHT	REMARKS
A	36" HORIZONTAL GRAB BAR	REFER TO TOILET MOUNTING HEIGHTS	
B	42" HORIZONTAL GRAB BAR	REFER TO TOILET MOUNTING HEIGHTS	
C	18" VERTICAL GRAB BAR	REFER TO TOILET MOUNTING HEIGHTS	
D	TOILET TISSUE DISPENSER	REFER TO TOILET MOUNTING HEIGHTS	
E	SANITARY NAPKIN DISPOSAL	REFER TO TOILET MOUNTING HEIGHTS	
F	SOAP DISPENSER	3'-4" AFF TO DISPENSING OUTLET	
G	MIRROR (18" X 36"), OVER LAV AND COUNTERTOP	3'-4" AFF TO BOTTOM OF REFLECTIVE SURFACE	
H	ROLL PAPER TOWEL DISPENSER		
J	MOP & BROOM HOLDER W/ SHELF	5'-0" AFF TO CENTERLINE	
K	PAPER TOWEL DISPENSER W/ WASTE RECEPTACLE BELOW		
L	TOILET SEAT COVER DISPENSER		
M	ROBE HOOK		

- ACCESSORY ITEMS ARE IDENTIFIED BY (X) ON PLANS. LETTERS CORRESPOND TO SCHEDULE ABOVE.
- ACTUAL DIMENSIONS OF ACCESSORIES MAY VARY. COORDINATE DIFFERENCES, IF ANY.
- REFER TO ALL CASEWORK ELEVATIONS FOR ADDITIONAL TOILET ACCESSORY LOCATIONS.
- PROVIDE MOP AND BROOM HOLDER W/ SHELF (X) AT ALL CUSTODIAL/JANITORIAL SINKS. MOUNT AT 5'-0" AFF TO CENTERLINE AND LOCATE ON SIDE WALL OF SINK (NOT ON WALL ABOVE FAUCET).
- PROVIDE ROBE HOOK ON INTERIOR FACE OF ALL TOILET ROOM DOORS WHEREIN ONLY ONE WATER CLOSET IS PROVIDED. MOUNT AT 3'-11" AFF TO TOP.



**RELOCATED EQUIPMENT LEGEND (3700)**

Item #	Description	Count	Comments
R-01	HOTPLATE	1	1
R-02	POTTERY WHEEL	6	1
R-03	GRAY METAL BOOKSHELF	1	1
R-04	CHARLES BRAND PRESS	1	2
R-05A	GRAY 4-TIER LOCKER (PRINTMAKING)	3	1
R-05B	GRAY 4-TIER LOCKER (POTTERY)	1	1
R-06A	FLAT FILE 46 X 35	2	1
R-06B	FLAT FILE 53 X 41.5	1	1
R-06C	FLAT FILE 41 X 28.5	1	1
R-06D	FLAT FILE 40 X 28	2	1
R-06E	FLAT FILE 46 X 35	2	1
R-07	REMBRANDT PRESS	1	2
R-08	LIGHT TABLE	1	1
R-09	METAL TABLE W/ UNDER SHELVING	1	1
R-10	WOOD STORAGE CABINET W/ SHELVES & 3' D GLASS TOP	1	1
R-11	FOLDING TABLE	2	1
R-12	METAL STORAGE BASE CAB WORK TABLE W/ WOOD TOP	1	1
R-13	WORK TABLE	5	1
R-14	GRAY METAL BASE CABINETS W/ 10" W GLASS TOP	1	1
R-15	MINI REFRIGERATOR	2	1
R-16	PAPER SOAK STATION	1	1
R-17	ACID BATH	1	1
R-18A	PAPER CUTTER 25 X 32	1	1
R-18B	PAPER CUTTER 26 X 27	1	1
R-18C	PAPER CUTTER 31 X 42	1	1
R-19	GRAY METAL BASE CABINET W/ METAL TOP	1	1
R-20	GRAY LOW METAL SHELVING 37" X 18"	1	1
R-21A	MOBILE DRYING RACK 27 X 26	1	1
R-21B	MOBILE DRYING RACK 30 X 60	1	1
R-22	36" X 84" GRAY METAL BASE TABLE & GLASS TOP	2	1
R-23	METAL FOLDING TABLE (3' X 6')	2	1
R-24	METAL GENERIC TABLE (3' X 5')	2	1
R-25	PUG MILL	1	1
R-26	METAL WOOD 9 SHELVES - 36" W X 75" H X 24" D	1	1
R-27	GRAY METAL SHELVING (48" X 24" X 6")	1	1
R-28	SLAB ROLLER - BRENT	2	1
R-29	GRAY LOW METAL SHELVING 37" X 18"	1	1
R-30	ELECTRIC KILN - SMALL	1	3
R-31	ELECTRIC KILN - TALL	2	3
R-32	ELECTRIC KILN - WIDE	1	3
R-33	GLAZE FORMULATING TABLE	1	1
R-34	TAN METAL SHELVING (3' W X 2' D X 1' H)	5	1
R-35	BLACK METAL CABINET (3' X 18" X 6')	1	1
R-36	BROWN METAL CABINET (3' X 18" X 6')	2	1
R-37	STEAM PRESS	1	1
R-39	SLAB ROLLER - NORTHSTAR	1	1
R-40	GRAY LOW METAL SHELVING (3' W X 16" X 71")	1	1
R-41	WORK TABLE (60" X 36")	1	1
R-42	METAL AND WOOD SHELVING (74" W X 72" H)	1	1
R-43	PLASTER TOP TABLE (36" W X 23" D)	1	1
R-44	WORK TABLE (60" X 30")	1	1
R-45	ADA POTTERY WHEEL	1	1
R-46	DRYING CABINET W/ HEAT LAMPS	1	1
R-47	PLASTER TABLE NEXT TO PUG MILL (HAS UNDER STORAGE)	1	1
R-48	GLAZE BUCKETS (ELECTRIC)	18	1
R-49	GLAZE BUCKETS (GAS)	16	1
R-50	PLASTER TOP TABLE (WEDDING) DARK CLAY	1	1
R-51	PLASTER TOP TABLE (WEDDING) LIGHT CLAY	1	1
R-52	MOBILE PLASTER WORKSURFACE (ADA) AND TABLE BELOW	1	1
R-53	GRINDER	1	1
R-54	TABLE UNDER PUG MILL	1	1
R-55	GRAY METAL TABLE W/ ATTACHED HUTCH	1	1
R-56	CHROME METAL SHELVING (3' X 2' X 6')	10	1
R-58	STEEL SINK AND DYE VAT	1	3
R-59	MOBILE METAL STORAGE RACK (5'-0" X 6'-6")	1	1
R-60	MOBILE HANGING RACK POLE	1	1
R-61	BROWN LATERAL FILE - 5 DRAWER (42" W X 19 1/4" D X 67")	1	1
R-62	FLAMMABLE STORAGE CABINET 12 GA (23" X 35" X 18")	1	1
R-63	GRAY METAL CABINET (3'-0" X 2'-0" X 5'-0")-TEXTILES	1	1
R-64	SEWING WORK TABLE (3'-0" X 6'-3")	2	1
R-65	TABLE (4'-0" X 6'-2")	1	1
R-66	WORK TABLE (7'-7" X 4'-7")	1	1
R-67	IRON TABLE (NC) (3'-4" X 4'-4")	1	1
R-68	BROWN WOOD CABINETS FOR SEWING MACHINES	1	1
R-69	MOBILE MIRROR (27.5" X 73")	1	1
R-70	SEWING MACHINE WITH TABLE (1'-8" X 4'-2")	2	1
R-71	IRONING BOARD	1	1
R-73	REFRIGERATOR (2'-6" X 2'-3")	1	1
R-74	TAN METAL CABINET (3' X 2' X 75")	1	1
R-75	GRAY METAL WOOD SHELVING (3' X 18" X 6')	1	1
R-76	GRAY METAL WOOD SHELVING (3' X 2' X 5')	1	1
R-77	BLACK METAL SHELVING (3' X 2' X 6')	1	1
R-78	GRAY METAL STORAGE CABINET (3' X 2' X 6')	1	1
R-81	MOBILE METAL STORAGE RACK	1	1
R-82	MANNEQUINS	1	1
R-83	UNDER TABLE LATERAL FILES	4	1
R-84	LATERAL FILE - 4 DRAWER (15" W X 25" D X 52")	3	1
R-85	LATERAL FILES	1	1

**EQUIPMENT LEGEND**

Item #	Description
E-01	NEWARC EXPOSURE UNIT
E-02	5 DRAWER FLAT FILE 53 X 42 X 24
E-03	ADA FLAME HOOD W/ CEILING ENCLOSURE
E-04	ACID STORAGE CABINET-22 GA
E-05	POWER WASHING BOOTH
E-06	SPRAY BOOTH
E-07	GAS KILN
E-08	LARGE COMMERCIAL SINK W/ NO BASE
E-09	POTTERY WHEEL SHELF
E-10	POTTERY WHEEL
E-11	BLEED BOX
E-12	AED
E-15	LATERAL FILE - 5 DRAWER (42" W X 19 1/4" D X 67")
E-16	TOP LOAD WASHER
E-17	UTILITY SINK
E-18	FLAMMABLE STORAGE CABINET 24 GA
E-19	DYE VAT KETTLE
E-20	DISPLAY CASE - DOUBLE SIDED 60" W X 79.5" H
E-21	AIR FILTRATION SYSTEM SUSPENDED AT 7'-0" AFF
E-22	FRONT LOAD DRYER
E-23	FRONT LOAD WASHER

**FURNITURE LEGEND (NIC)**

Type Mark	Description	Count
F-01	METAL SHELVING 36" W X 24" D X 72" H	6
F-02	Valido - Double Pedestal Desk - 66" W X 30" D X 29 1/2" H, Rectangle Top, 3/2	3
F-03	LATERAL FILE CABINET - 5 DRAWER	1
F-04	MOBILE METAL SHELVING 48" W X 24" D X 72" H	2
F-05	METAL SHELVING 36" W X 24" D X 72" H	2
F-06	METAL SHELVING 48" W X 24" D	3
F-07	COPIER	1
F-08	GLASS DISPLAY CABINET	2
F-09	GUEST CHAIR WITH ARMS	2
F-10	OFFICE CHAIR	3
F-11	LOUNGE CHAIR	2
F-12	SIDE TABLE	1
F-13	STACKING CHAIR WITHOUT ARMS	7
F-14	PEDESTAL TABLE 36" X 36" X 30" H	2
F-15	HON - Flagship - Lateral File with Storage - Lateral Files with Open Shelves, No Doors	2
F-16	FLAT PANEL DISPLAY MONITOR AND WALL MOUNT	1
F-17	CRENDENZA 8" X 14"	1
F-18	DISPLAY TABLES	1
F-19	OPTO INTERNATIONAL DISPLAY SHELVING SYSTEM - REVEAL COLLECTION	15
F-21	POTTERY STOOL	2
F-22	TABLE HEIGHT STOOL	32
F-23	STACKING CHAIR WITHOUT ARMS - STUDIOS	18
F-24	PICNIC TABLE	1
F-25	ADA WORK TABLE W/GLASS TOP 48"X36"X30" H	1
F-26	ALL FURNITURE IS OWNER FURNISHED AND INSTALLED (NIC)	1

**FLOOR PLAN KEYNOTES**

- REPRESENTED BY [Symbol] APPLIES TO DRAWINGS A2.1.0 - A2.1.1
- CONCRETE FLOOR SLAB INFILL - REFER TO STRUCTURAL DETAIL ON SHEET S1.1
  - INFILL WALL OPENING WITH GYP PARTITION MATCH EXISTING THICKNESS, CSF-S WITH ONE LAYER 1/2" IMPACT RESISTANT GYP EACH SIDE, REFERENCE WALL SECTION DETAIL ON SHEET A0.2
  - CONE 6 GLAZE LOCATION FOR ELECTRIC KILN GLAZES
  - CONE 10 GLAZE LOCATION FOR GAS KILN GLAZES
  - PARTITION TYPE P-7 BELOW COUNTER - REFER TO SECTION 8/A8.1.2
  - SEMI-RECESSED 2 1/2" FIRE EXTINGUISHER CABINET
  - PROVIDE NAME PLATE PER VFC 2018, 3007

**Appendix C - Control Area Report**

**CONTROL AREA REPORT**

Client Name: Moseley Architects | Building Name: Arlington County Cultural Affairs Center | Floor #: 1-2 | Report Generated: 8/21/2023 7:24 PM | Reviewed By: Ian Davis

Inventory Name: Ceramics and Printmaking Chemical Inventory | Room: N/A | Sprinklers: TRUE | Approved Storage: TRUE | High Hazard Sub Class: None

Material	Class	Solid		Liquid	
		Inventory Amount	Regulatory Limit	Inventory Amount	Regulatory Limit
Combustible Liquid	III	5.00 gal	5.00 gal	350.00 gal	350.00 gal
Flammable Liquid	IA	1.50 gal	1.50 gal	990.00 gal	990.00 gal
	IA	90.00 gal	90.00 gal	300.00 gal	300.00 gal
	IB & IC	2.63 gal	2.63 gal	360.00 gal	360.00 gal
	IA, IB, IC	2.63 gal	2.63 gal	360.00 gal	360.00 gal
Corrosive		15,000.00 lb	15,000.00 lb	15,000.00 lb	15,000.00 lb
Highly Toxic		30.00 lb	30.00 lb	30.00 lb	30.00 lb
Toxic		71.00 lb	1,500.00 lb	1,500.00 lb	1,500.00 lb

Green bubbles denote areas where chemicals are stored and used for printmaking activities. The hazard classes present in these areas are Flammable Liquid Class IB & IC and Combustible Liquid Class III & IIA.

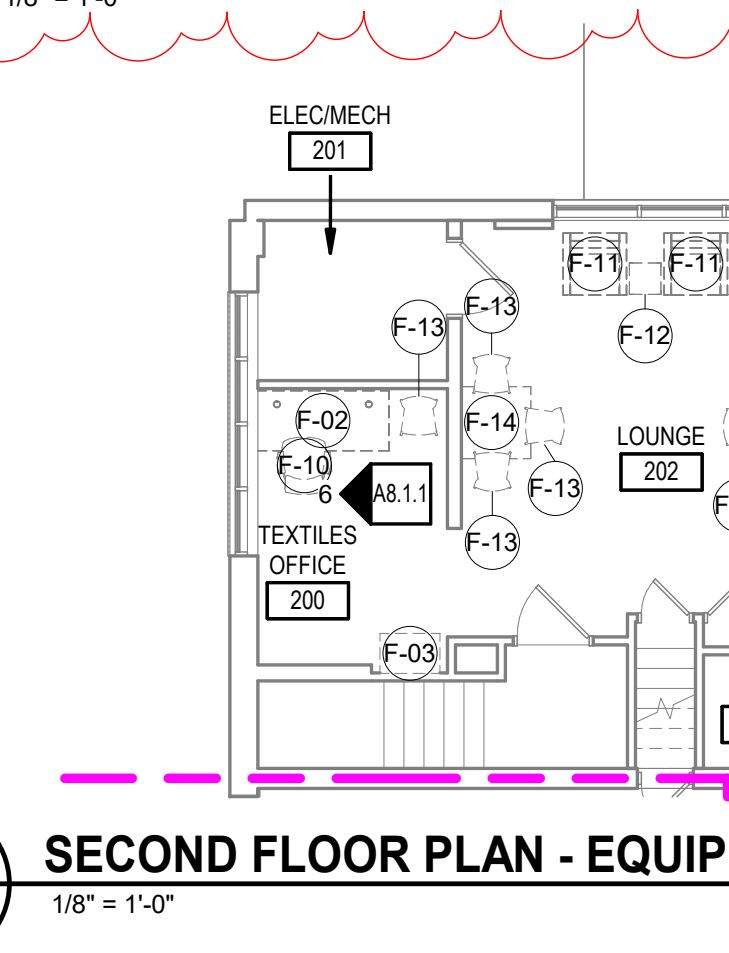
**Basis of design: Laguna Pro V or Pro-X Spray Booth**



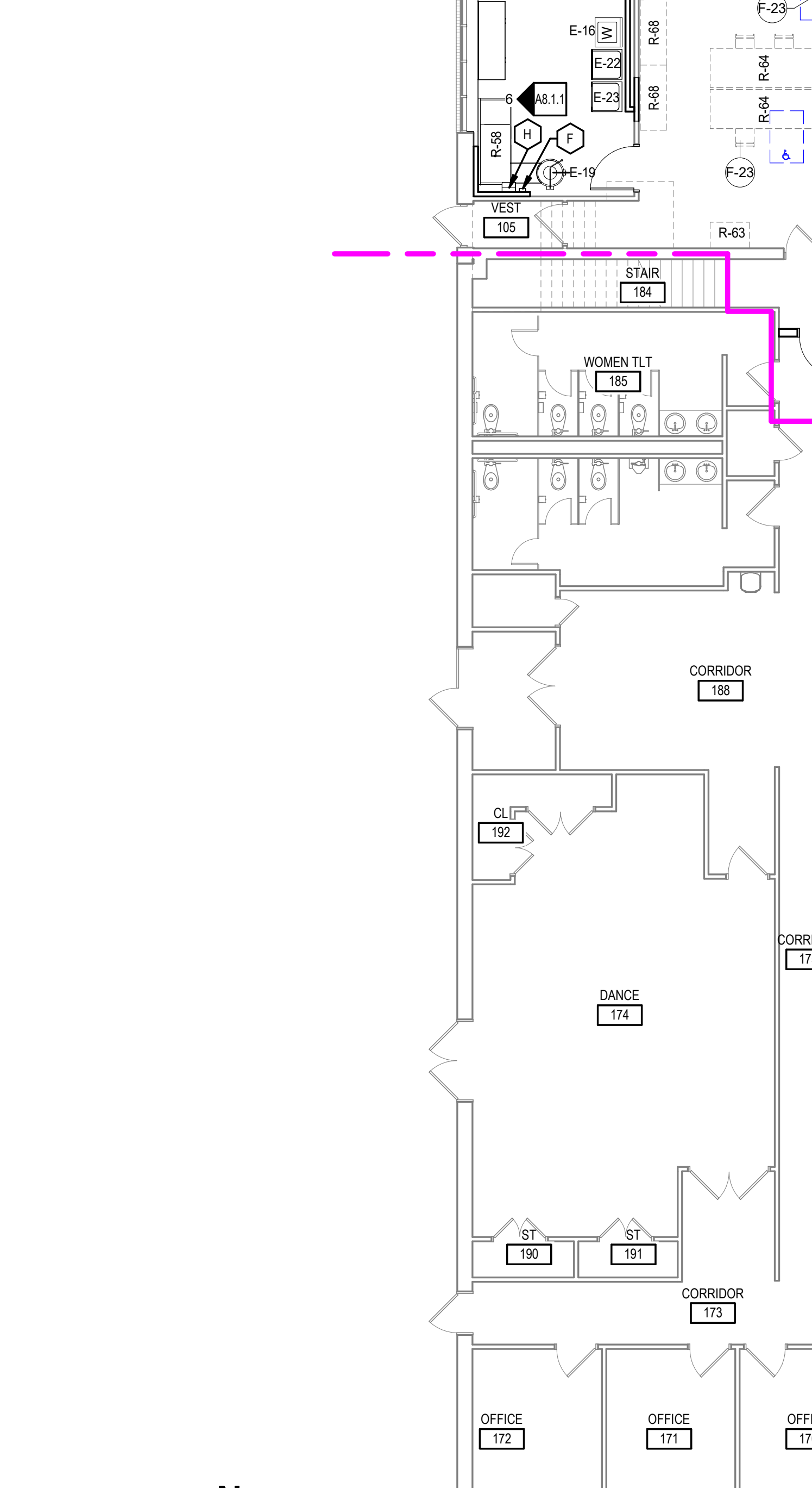
**Venting and ducting**



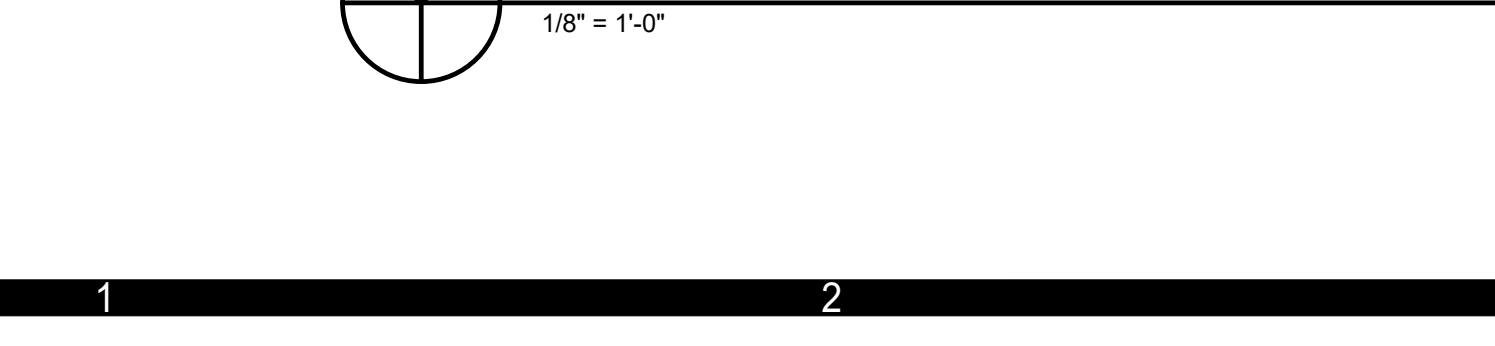
**EQUIPMENT E-06 SPRAY BOOTH**



**SECOND FLOOR PLAN - EQUIPMENT LAYOUT**



**FIRST FLOOR PLAN - EQUIPMENT LAYOUT**



- CASEWORK AND EQUIPMENT GENERAL NOTES**
- UNLESS INDICATED OTHERWISE, ALL COUNTERTOPS:
    - 2'-10" AFF OR 2'-10" TO TOP OF RIM AT DROP-IN SINKS AND LAVATORIES WHERE OCCURS
    - 2'-4" DEEP
    - SOLID SURFACE COUNTERTOP
    - BACKSPASHES: 2" OR 4" HIGH AT ALL SIDES AND BACK (SEE ELEVATIONS)
  - UNLESS INDICATED OTHERWISE, ALL BASE CABINETS(S):
    - 2'-4" DEEP NOMINAL
    - TOE KICKS: 4" HIGH AND 3" DEEP
    - 1 SINK LOCATION: 3'-0" WIDE CLEAR KNEE SPACE (NO BASE CABINET) FOR BARRIER FREE ACCESS
  - UNLESS INDICATED OTHERWISE, ALL WALL CABINETS(S):
    - 1'-0" 1/2" DEEP NOMINAL
    - 2'-4" HIGH
    - TOP AT 7'-0" AFF
    - MINIMUM 11" CLEAR INTERIOR DEPTH
  - BUILT-IN EQUIPMENT: SIZE OPENING (HEIGHT, WIDTH, AND DEPTH) AND ROUGH-IN REQUIREMENTS AS REQUIRED BASED ON APPROVED MANUFACTURER SUBMITTED.
  - ALL SHELVES: ADJUSTABLE UNLESS INDICATED OTHERWISE.
  - PROVIDE FINISH END PANELS AT ALL EXPOSED CASEWORK ENDS.
  - ALL BASE AND WALL CABINETS: KEYPED PER ROOM UNLESS INDICATED OTHERWISE.
  - UNLESS INDICATED OTHERWISE, TYPICAL LAMINATE FOR ALL CASEWORK TO BE PLAM-1.
  - ITEMS SHOWN DASHED ARE OWNER FURNISHED AND INSTALLED. ITEMS SHOWN SOLID ARE CONTRACTOR INSTALLED IF NUMBER BEGINS WITH AN 'R' PREFIX AND CONTRACTOR INSTALLED AND FURNISHED IF NUMBER BEGINS WITH AN 'E' PREFIX.

HARDWARE SETS

Hardware Group No. 07B
For use on Door #(s): 109
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 07C
For use on Door #(s): 113
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 08
For use on Door #(s): 114
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 08A
For use on Door #(s): 107
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 09
For use on Door #(s): 184
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

DOOR NORMALLY CLOSED & LOCKED
FREE EGRESS AT ALL TIMES
ENTRY WITH VALID KEY OR LOSS OF POWER OR FIRE COMMAND

Hardware Group No. X6
For use on Door #(s): EX105A, EX121A, EX122
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. X7
For use on Door #(s): EX103
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. X8
For use on Door #(s): EX121
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. X9
For use on Door #(s): EX108
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. X10
For use on Door #(s): EX105
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 01
For use on Door #(s): 102
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 01A
For use on Door #(s): 106
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 02
For use on Door #(s): 108
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 03
For use on Door #(s): 110
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 04
For use on Door #(s): 112A
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 05
For use on Door #(s): 115
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 05A
For use on Door #(s): 116
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 05B
For use on Door #(s): 111
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 07
For use on Door #(s): 104
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

Hardware Group No. 07A
For use on Door #(s): 101
Each to have: QTY DESCRIPTION CATALOG NUMBER FINISH MFR

DOOR SCHEDULE

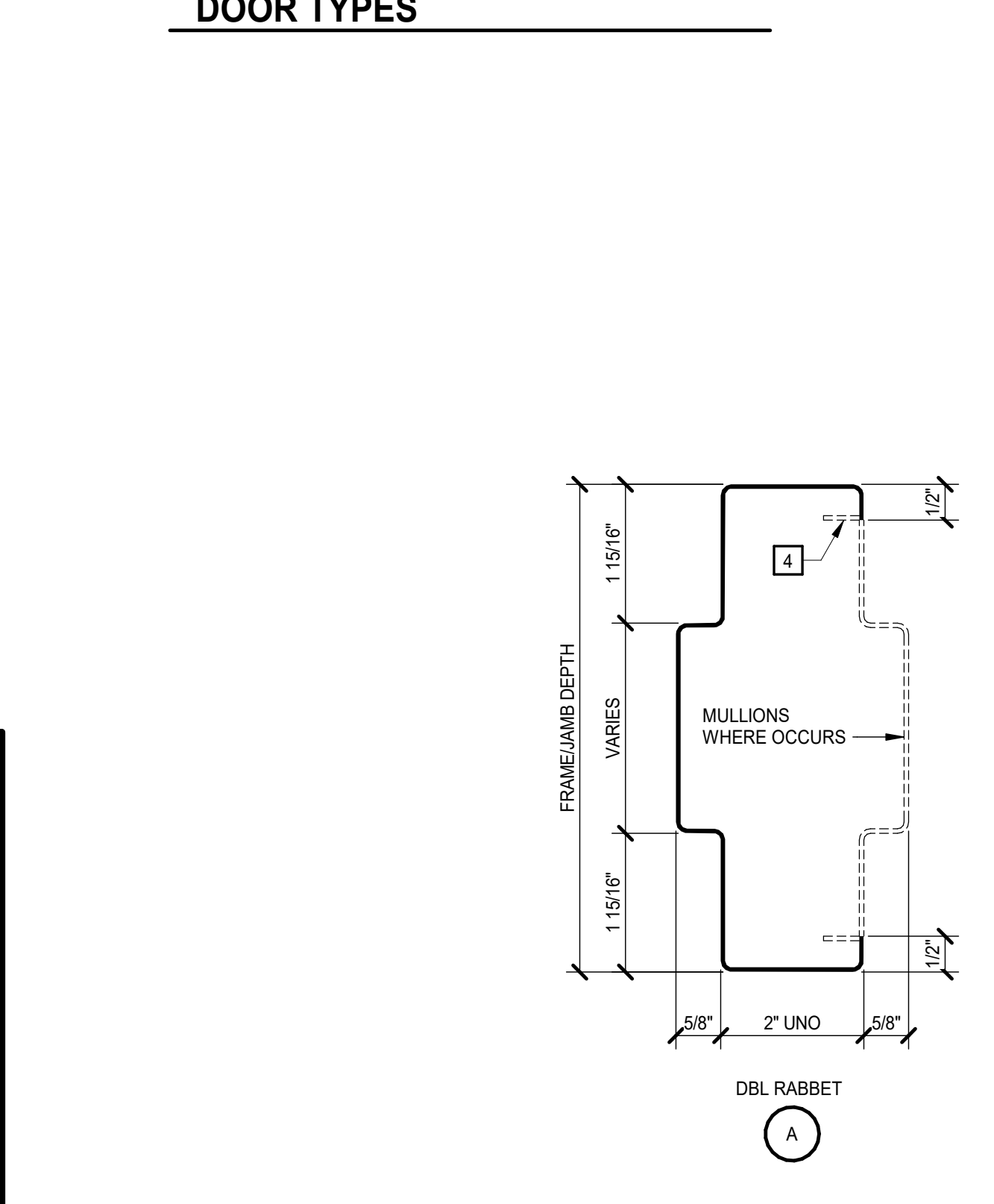
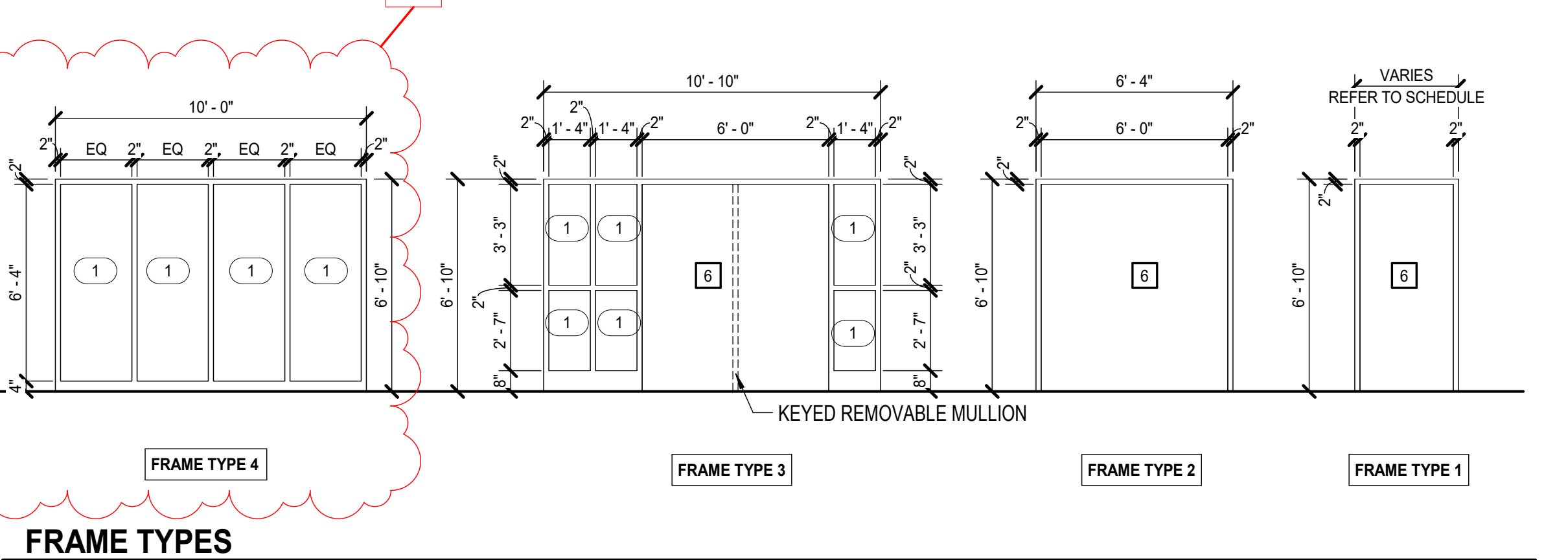
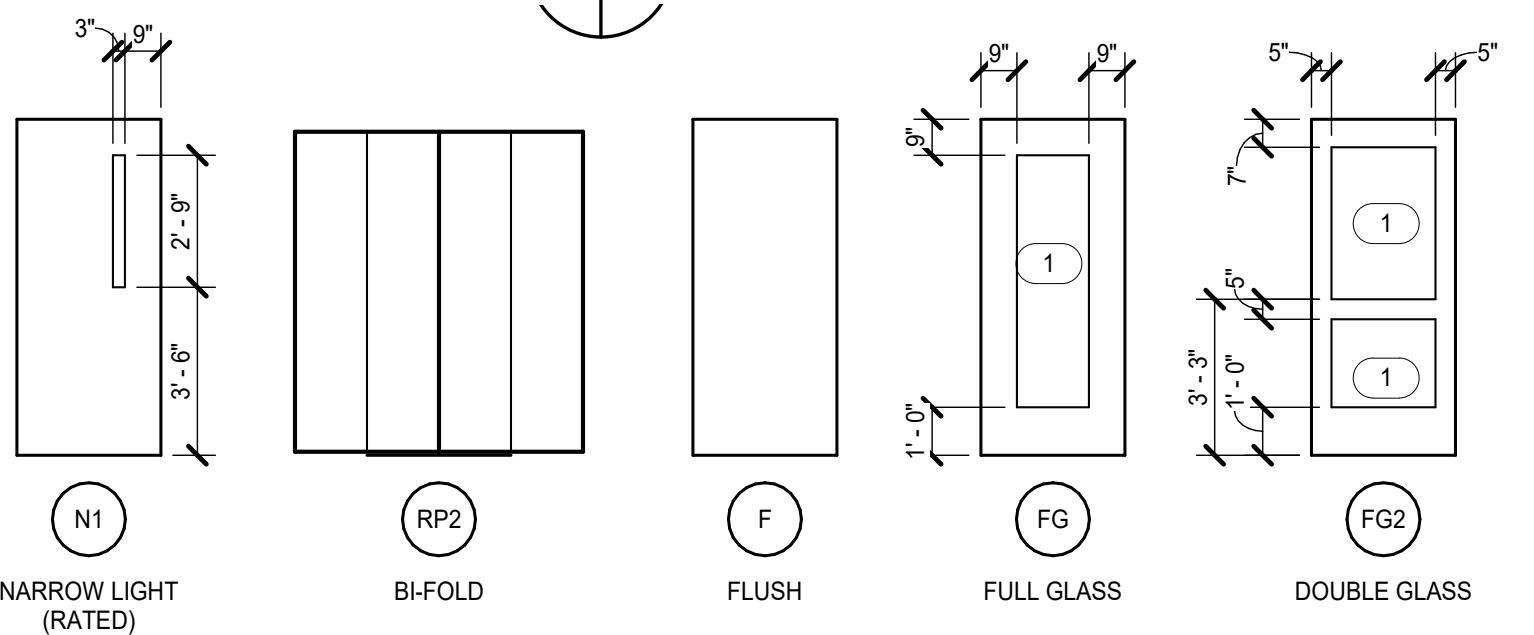
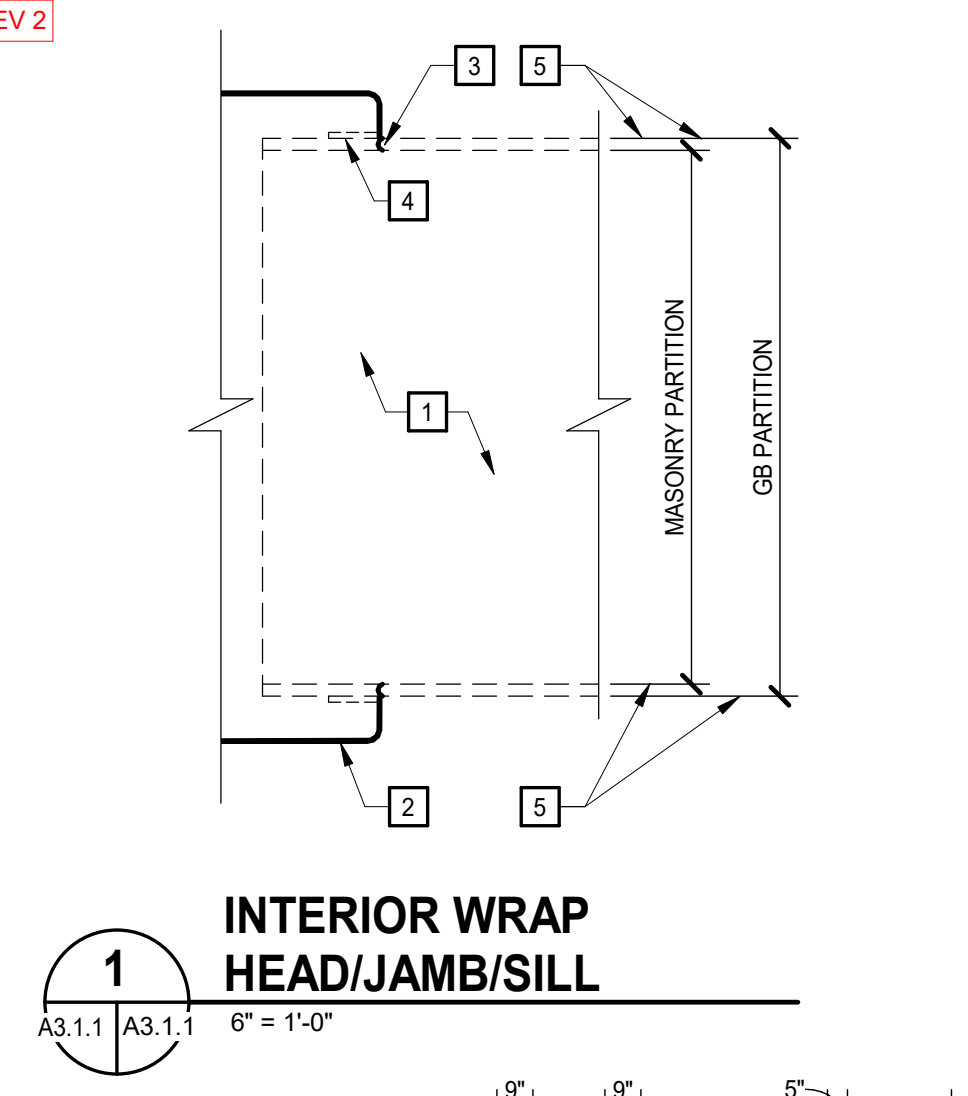
Table with columns: NUMBER, ROOM NAME, Type, DOOR (TYPE, MATL, UC), GLAZING TYPE, FRAME (NUMBER, SECTIONS, HEAD DETAIL, JAMB DETAIL, FRAME), HDWR, FIRE RATING, SIGNAGE TYPE, NOTES

DOOR AND FRAME DETAIL KEYNOTES

Table with columns: KEYNOTE NUMBER, DESCRIPTION

GENERAL NOTES
A. UNLESS INDICATED OTHERWISE, ALL DETAIL NUMBERS IN THE DOOR AND FRAME SCHEDULE FOR HEAD, JAMB AND SILL CONDITIONS REFER TO DRAWINGS A3.1.1

GLAZING TYPES
REPRESENTED BY: (N)
1. 1/4" CLEAR



SIGNAGE DETAILS AND TYPES
TYPICAL SIGN CHARACTERS
SIGN LOCATION
SIGN TYPE A, B, C
Diagrams showing sign details with dimensions and callouts like 6", 4", 1/2", etc.

MOSELEY ARCHITECTS
8001 BRADDOCK ROAD, SUITE 400, SPRINGFIELD, VA 22151
PHONE: 703-426-9057 FAX: 703-426-9280
MOSELEYARCHITECTS.COM

ANTHONY J. BELL III
02/22/24
Lic. No. 009147

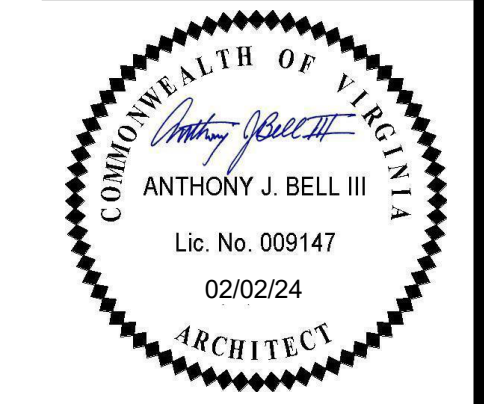
ARLINGTON CULTURAL AFFAIRS RENO
No. 22-DES-RFP191
FACILITIES DESIGN & CONSTRUCTION
3700 S. FOUR MILE RUN DRIVE

REVISIONS
DATE DESCRIPTION
12.15.23 BID SET
12.12.23 REV 1
02.02.24 REV 2

DOOR SCHEDULE, TYPES AND DETAILS

A3.1.1

2/16/2024 12:49:41 PM



### REFLECTED CEILING PLAN LEGEND

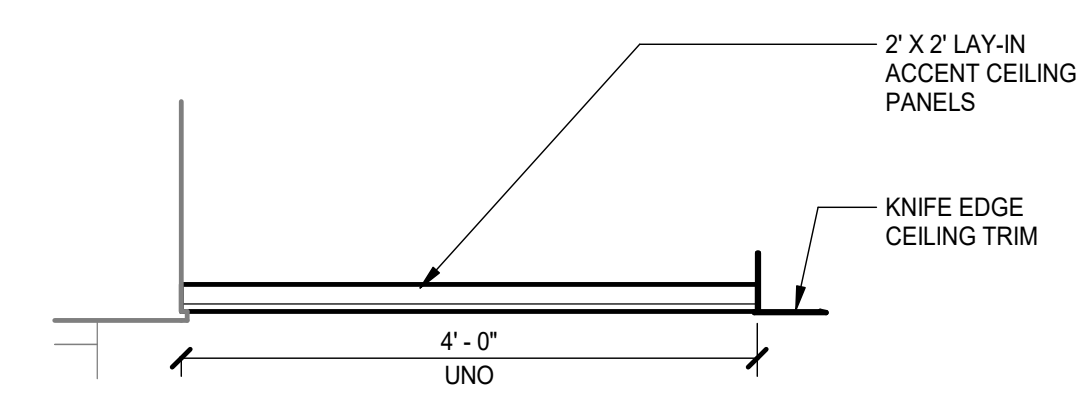
APPLIES TO DRAWINGS A9.1.n - A9.1.n

REFER TO M, E & FP DRAWINGS FOR REFLECTED CEILING PLAN SYMBOLS NOT INDICATED BELOW

	SPACE NUMBER CEILING HEIGHT, AFF UNO
	INTERIOR APPLICATIONS: GYPSUM BOARD CEILING
	2'-0" x 2'-0" LAY-IN ACOUSTICAL CEILING PANELS IN SUSPENDED GRID
	2'-0" x 2'-0" LAY-IN ACOUSTICAL ACCENT CEILING PANELS IN SUSPENDED GRID
	2'-0" x 4'-0" LAY-IN ACOUSTICAL CEILING PANELS IN SUSPENDED GRID
	KNIFE EDGE TRIM
	INTERIOR WALL/PARTITION TO UNDERSIDE OF DECK
	EXISTING PARTITION/WALL
	INTERIOR WALL/PARTITION 4" MIN ABOVE HIGHEST ADJACENT CEILING. IF NECESSARY TO ACHIEVE RESULTS DESIRED, EXTEND WALL HEIGHT SO WALL BRACING IS NOT EXPOSED TO VIEW IN FINISHED SPACES

### REFLECTED CEILING PLAN/DETAIL GENERAL NOTES

- ALL CEILING HEIGHTS SHALL BE 9'-0" AFF UNLESS INDICATED OTHERWISE.
- DRAWINGS INDICATE GRID LAYOUT DIAGRAMMATICALLY. REFER TO SPECIFICATIONS FOR SPECIFIC GRID LAYOUT CRITERIA AT PERIMETER CONDITIONS THAT MAY DIFFER FROM GRID LAYOUT INDICATED ON DRAWINGS.
- CENTER CEILING MOUNTED ITEMS WITHIN CEILING PANELS, UNLESS INDICATED OTHERWISE.
- IF ADDITIONAL SPRINKLER HEADS ARE REQUIRED TO SATISFY CODE OR COVERAGE DENSITIES (OTHER THAN THOSE THAT MAY BE INDICATED), PROVIDE ADDITIONAL SPRINKLER HEADS AT NO ADDITIONAL COST AND OBTAIN APPROVAL OF ARCHITECT FOR LOCATION OF SUCH HEADS, IF ANY.

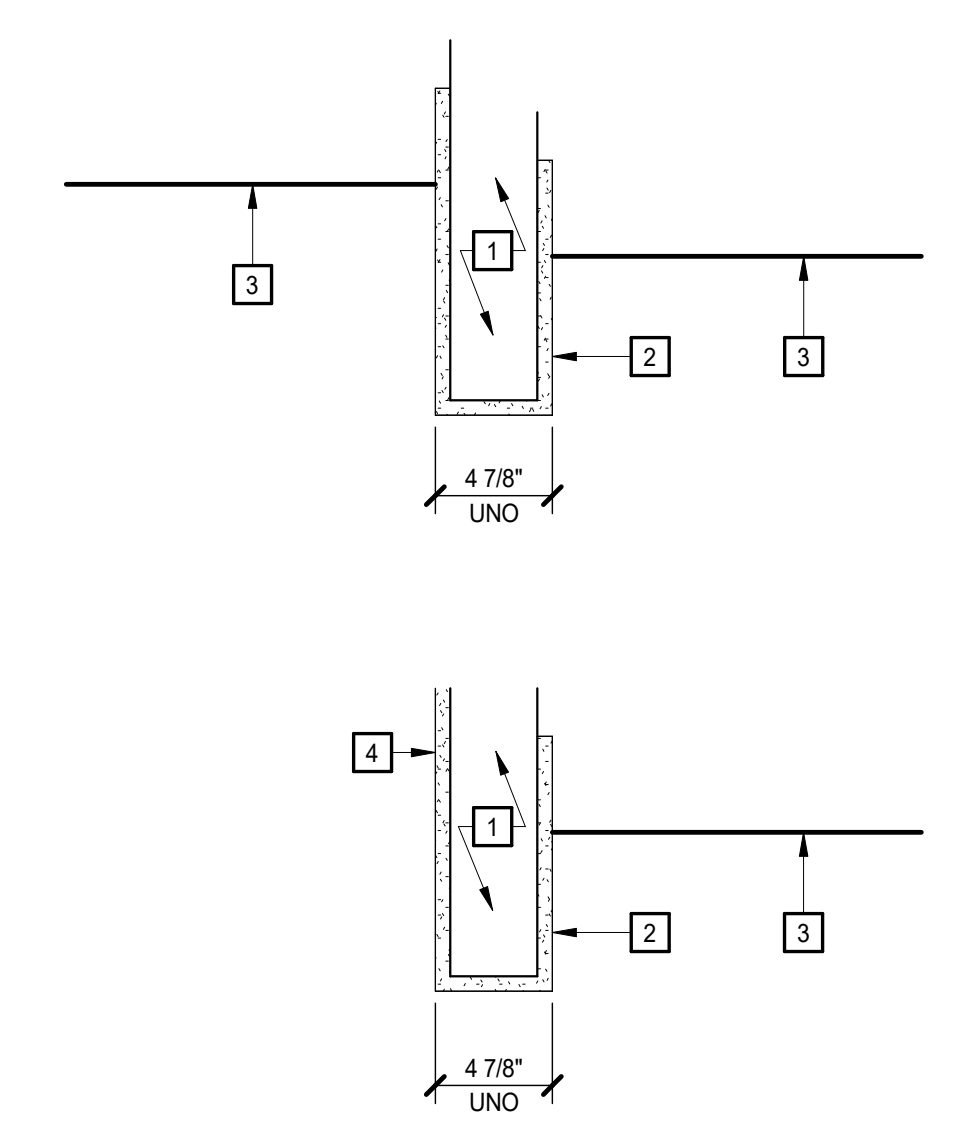


**2 TYP CEILING DETAIL W/TRIM**  
 3/4" = 1'-0"

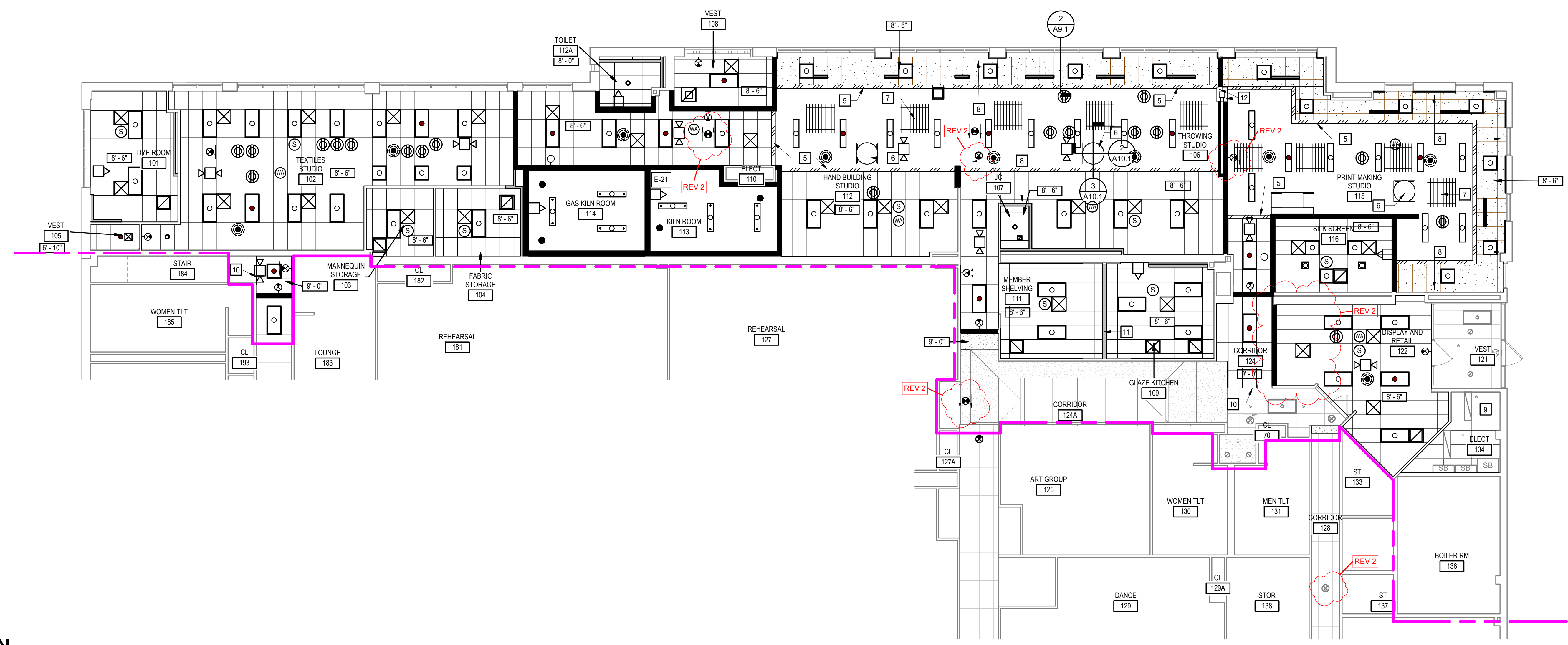
### REFLECTED CEILING PLAN KEYNOTES

REPRESENTED BY [ n ]  
 APPLIES TO DRAWINGS A9.1

1	CFSS-S
2	5/8" GYP BD, TERMINATE 4" ABV FIN CLG
3	FIN CLG: FINISH AND/OR HEIGHT AFF VARIES
4	GYP BD: EXTEND FULL HEIGHT, UNLESS INDICATED OTHERWISE
5	KNIFE EDGE CEILING TRIM
6	TUBULAR SKYLIGHT
7	SUSPENDED ACOUSTIC BAFFLES - 4'x4' SUSPENDED AT 10'-0" AFF
8	EXPOSED CEILING AREA - PAINT NON-ACCENT WALLS/ EXISTING ELEMENTS PT-3 ABOVE DROPPED CEILING TO ROOF ABOVE
9	PROVIDE ACT-1 CEILING TILES TO REPLACE WHERE DAMAGED TILES WERE REMOVED.
10	RE-WORK OR PROVIDE NEW GRID TRANSITION TO EXISTING GRID.
11	1 HR RATED PARTITION EXTEND 4" ABOVE CEILING THIS LOCATION ONLY
12	EXTEND GYP AND STUD PARTITION/COLUMN WRAP TO CLOSE GAP ABOVE CEILING AT EXISTING COLUMN.



**1 BULKHEAD DETAILS**  
 NO SCALE



**FIRST FLOOR REFLECTED CEILING PLAN**  
 1/8" = 1'-0"

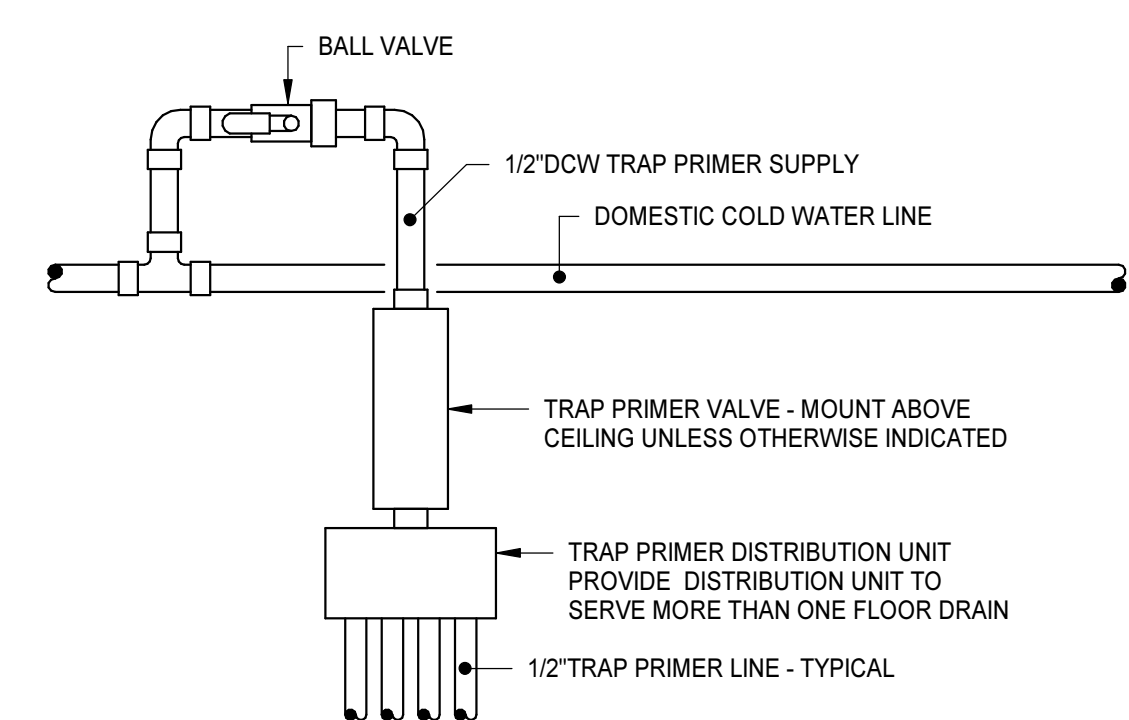
PROJECT NO: 624801  
 DATE: FEBRUARY 2, 2024

DATE	REVISIONS	DESCRIPTION
12.15.23	BID SET	
12.12.23	REV 1	
02.02.24	REV 2	

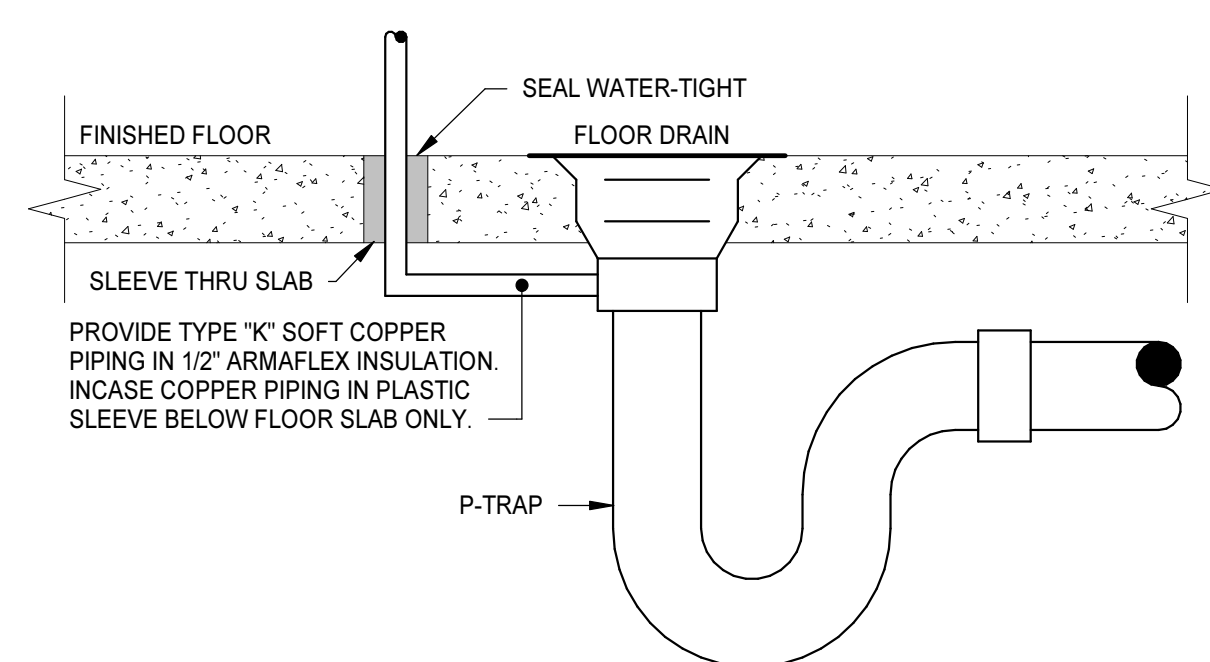




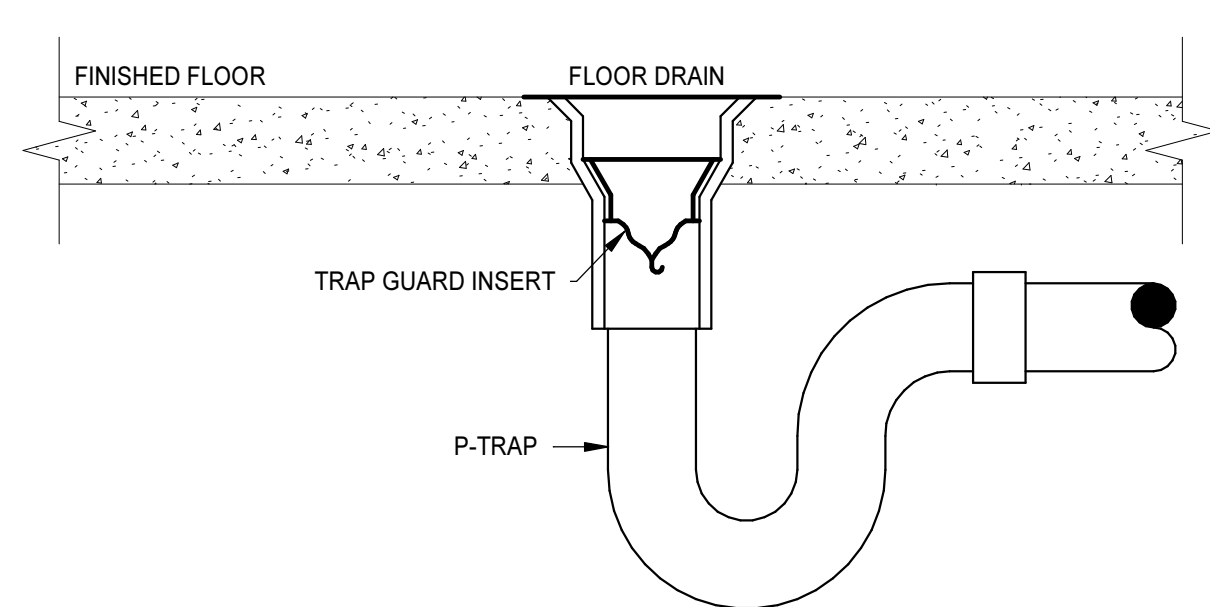
PROJECT NO:	624801
DATE:	DECEMBER 12, 2023
REVISIONS	
DATE	DESCRIPTION
2.2.24	REV 2



**NOTES:**  
 1. PRIMERS, VALVES, AND ASSOCIATED PIPING SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS.  
 2. PROVIDE DISTRIBUTION UNIT SIZED FOR NUMBER OF DRAINS TO BE SERVED BY EACH INDIVIDUAL PRIMER.  
 3. DISTRIBUTION UNIT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.



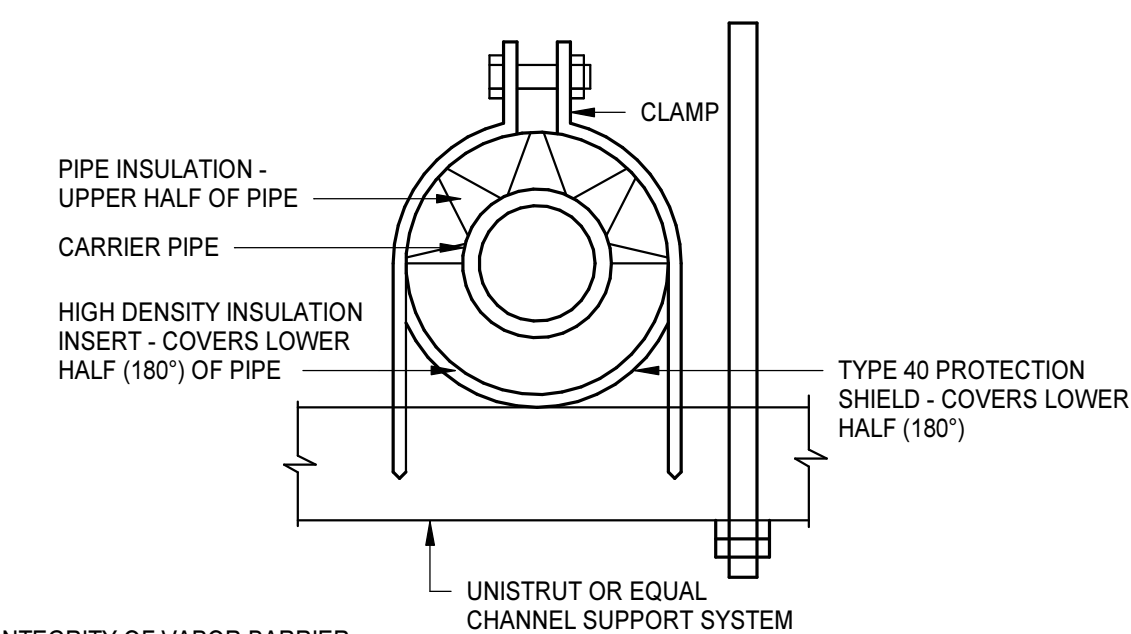
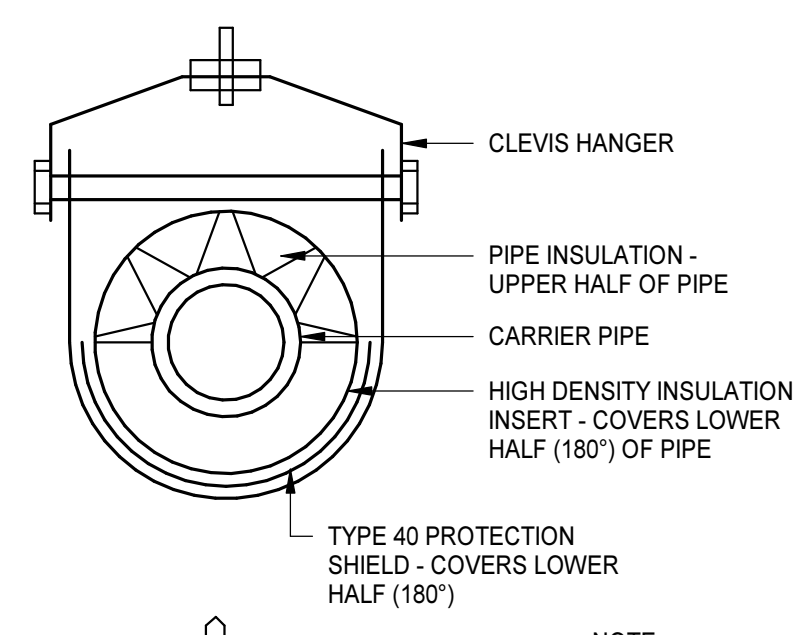
**MECHANICAL PRIMER DETAIL**



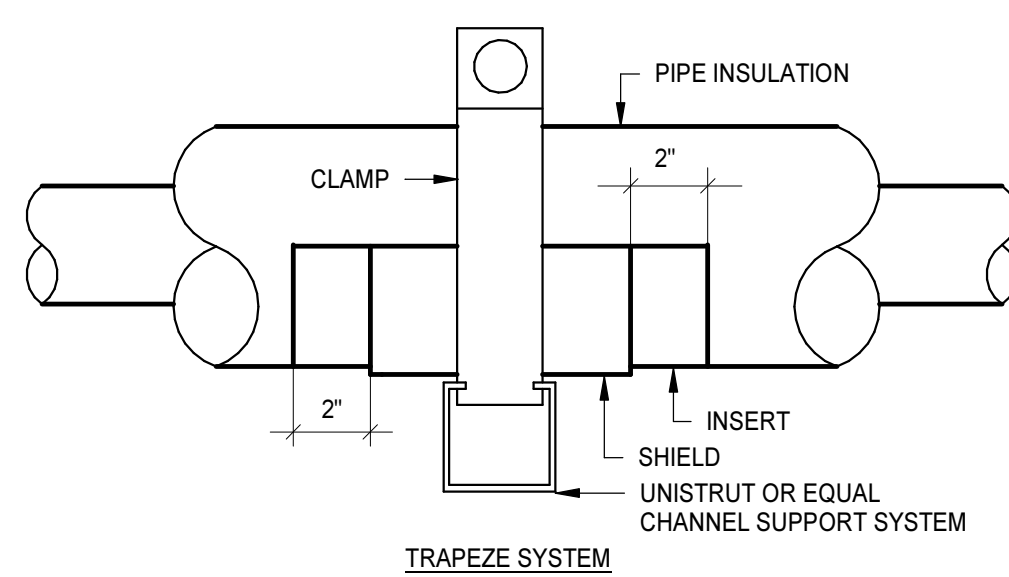
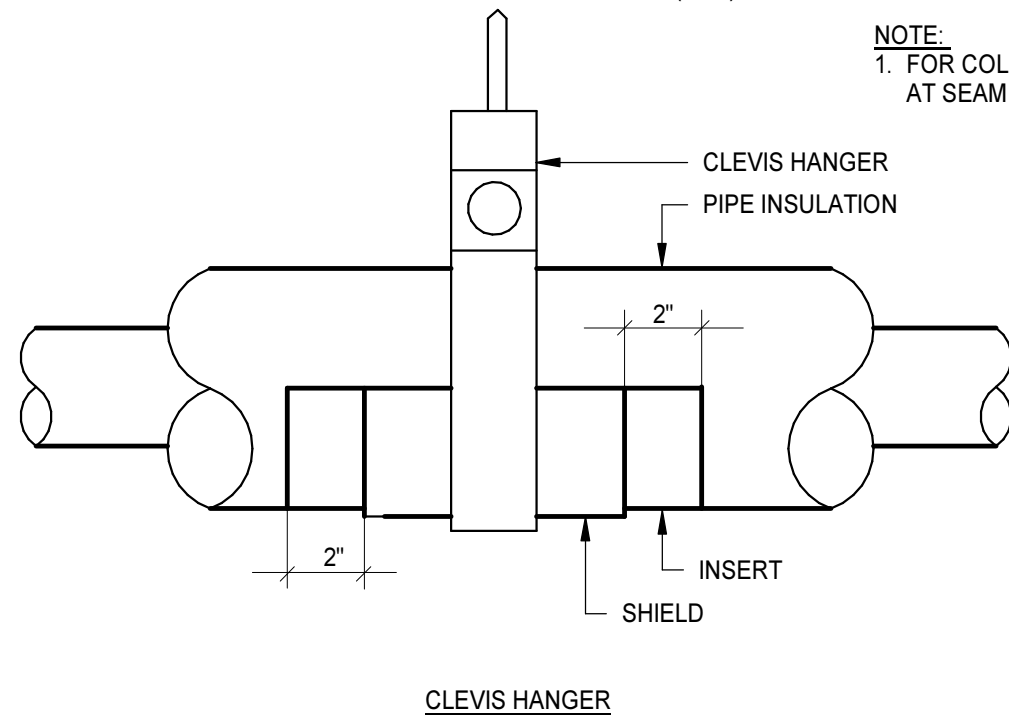
**TRAP GUARD INSERT DETAIL**

**TRAP PRIMER ASSEMBLY DETAILS**

NO SCALE

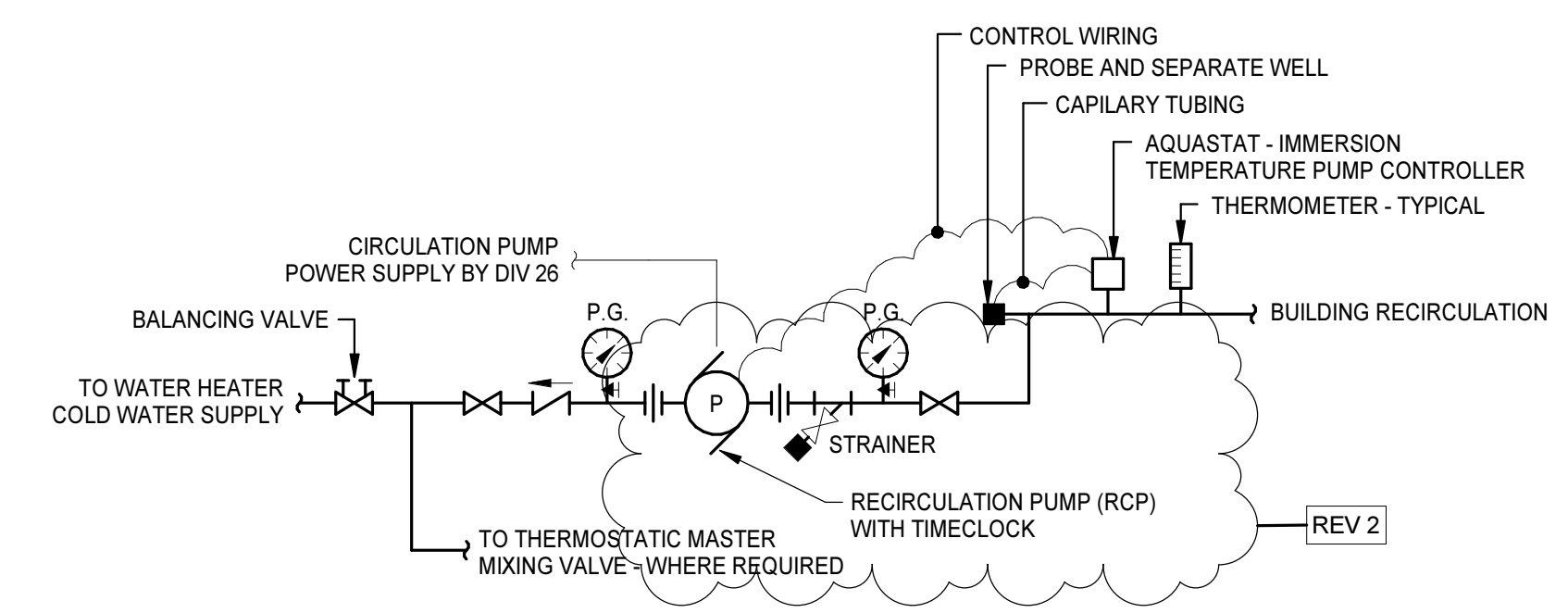


**NOTE:**  
 T. FOR COLD PIPE MAINTAIN INTEGRITY OF VAPOR BARRIER AT SEAM BETWEEN INSERT AND PIPE INSULATION.



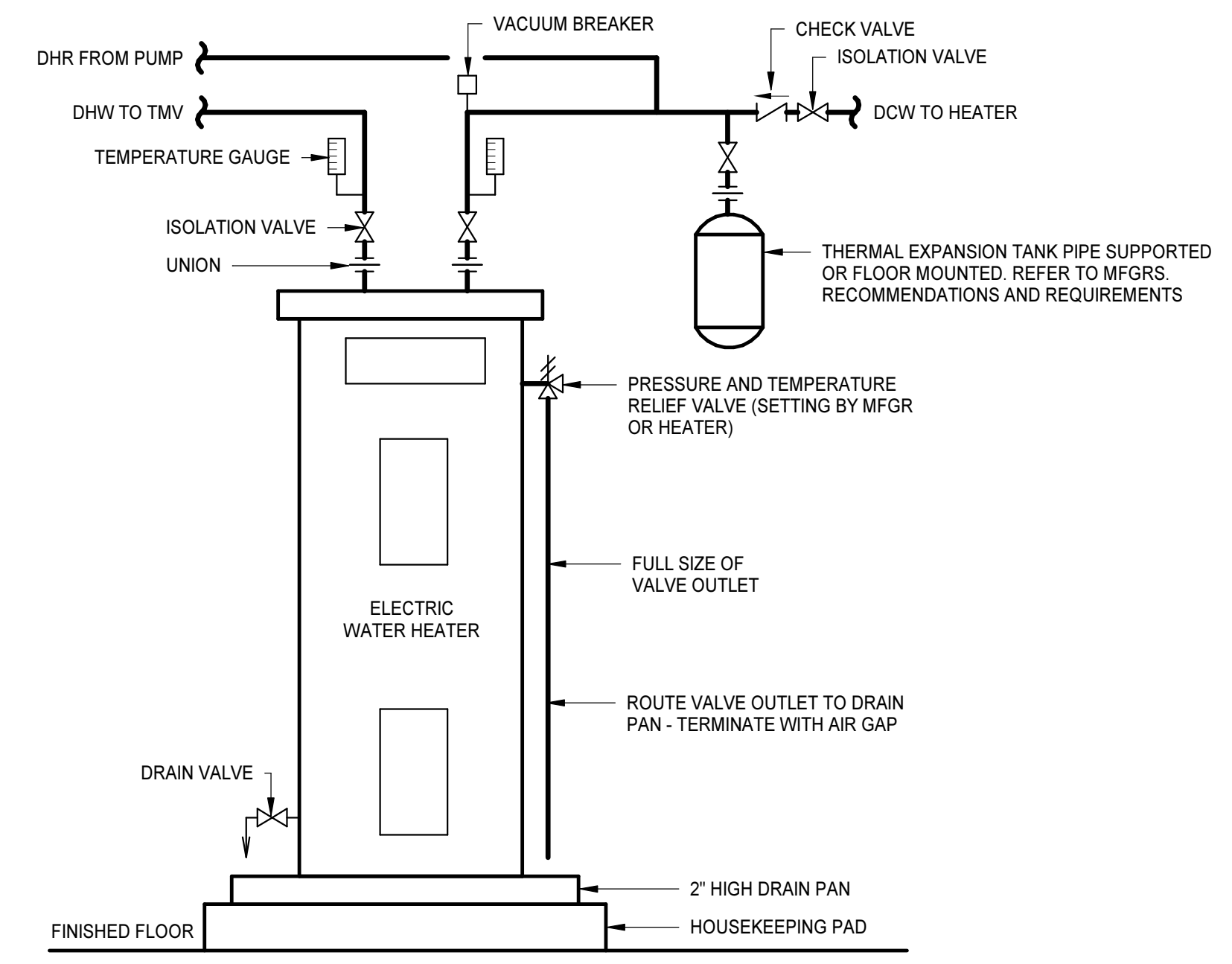
**PIPE SUPPORT AND THERMAL SHIELD DETAILS**

NO SCALE



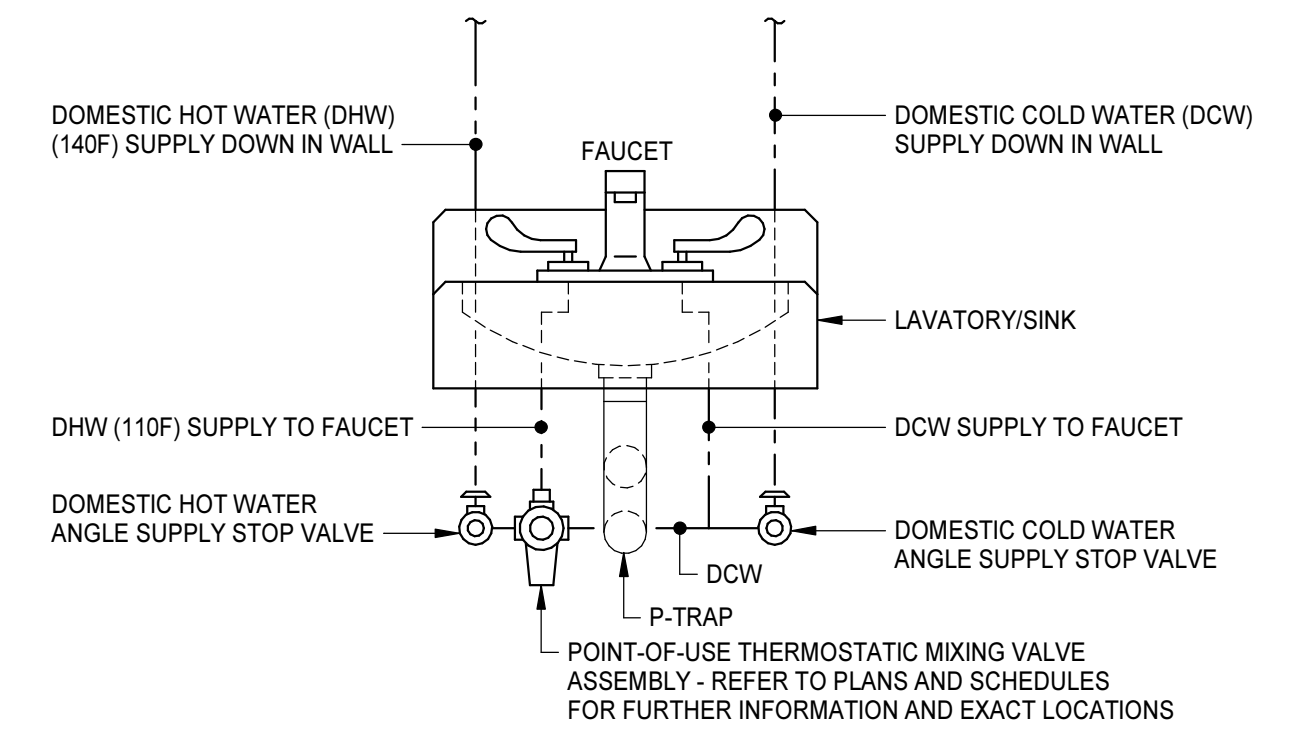
**CIRCULATION PUMP DETAIL**

NO SCALE



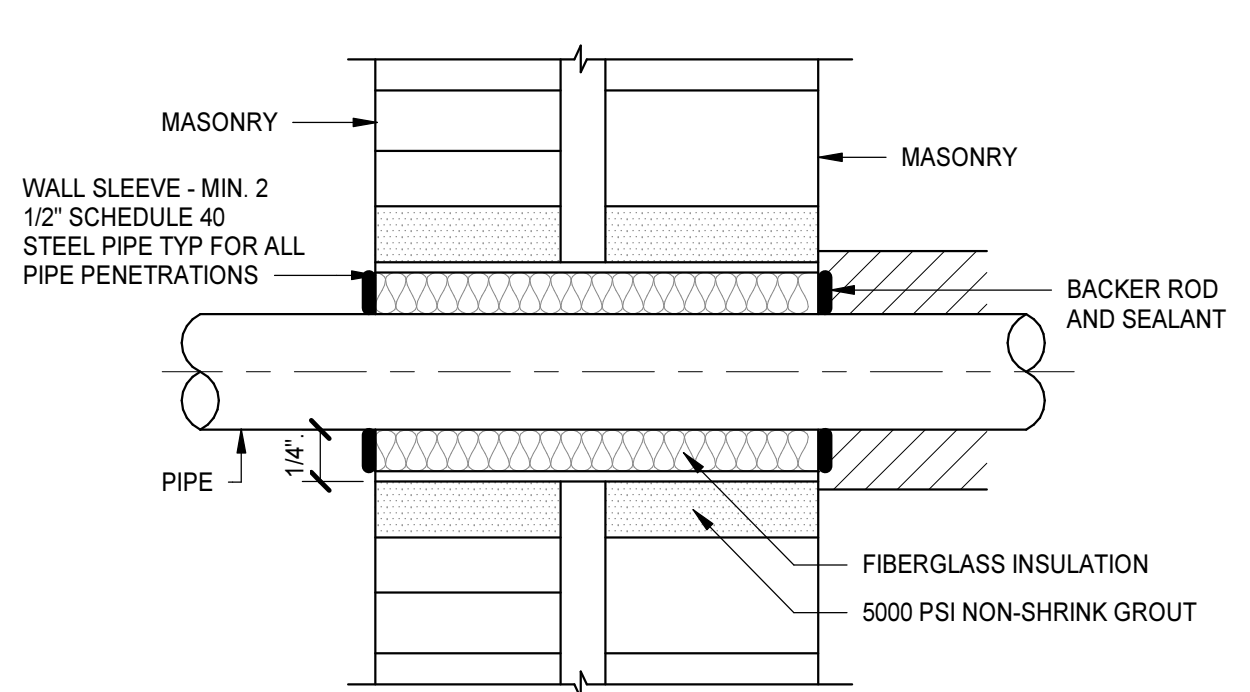
**FLOOR MOUNTED ELECTRIC WATER HEATER DETAIL**

NO SCALE



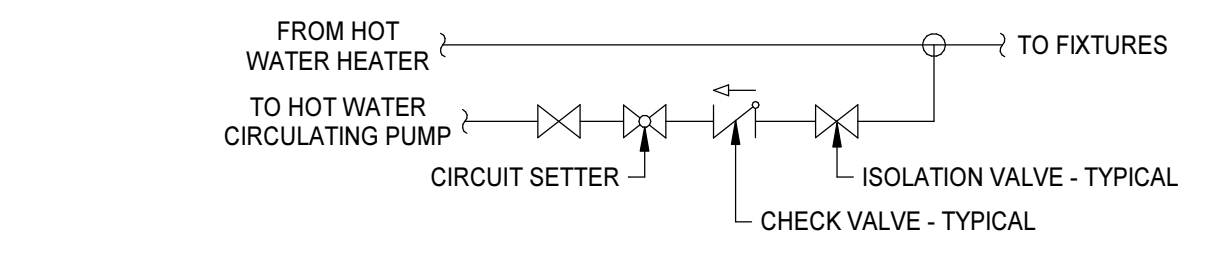
**ASSE-1070 LAVATORY/SINK DETAIL**

NO SCALE



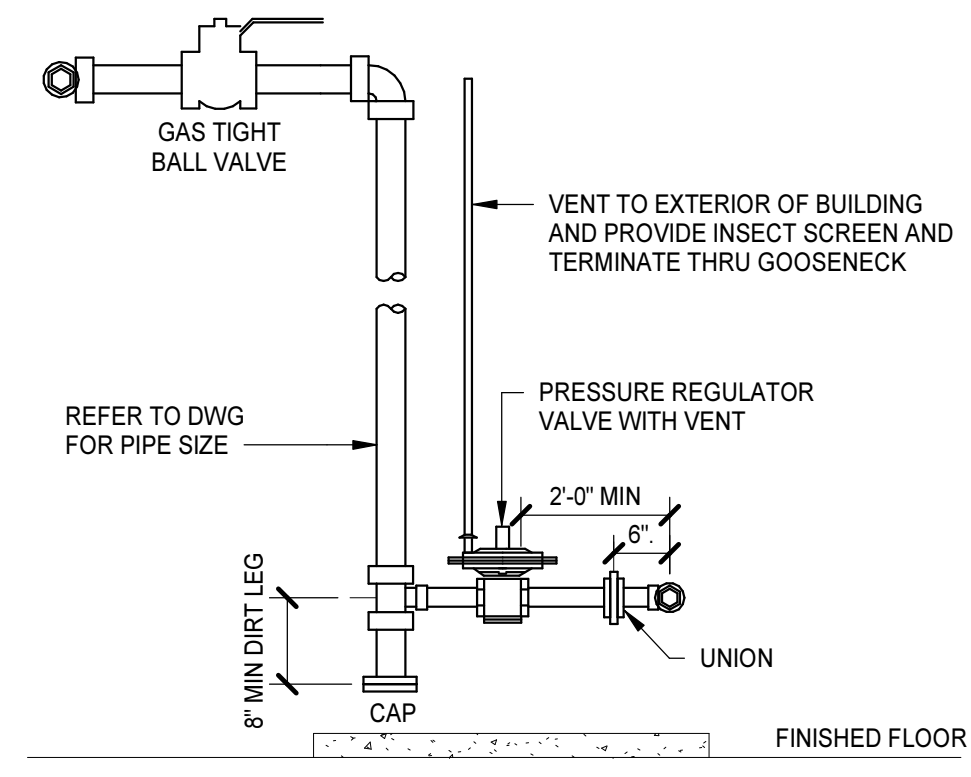
**PIPE SLEEVE DETAIL**

NO SCALE



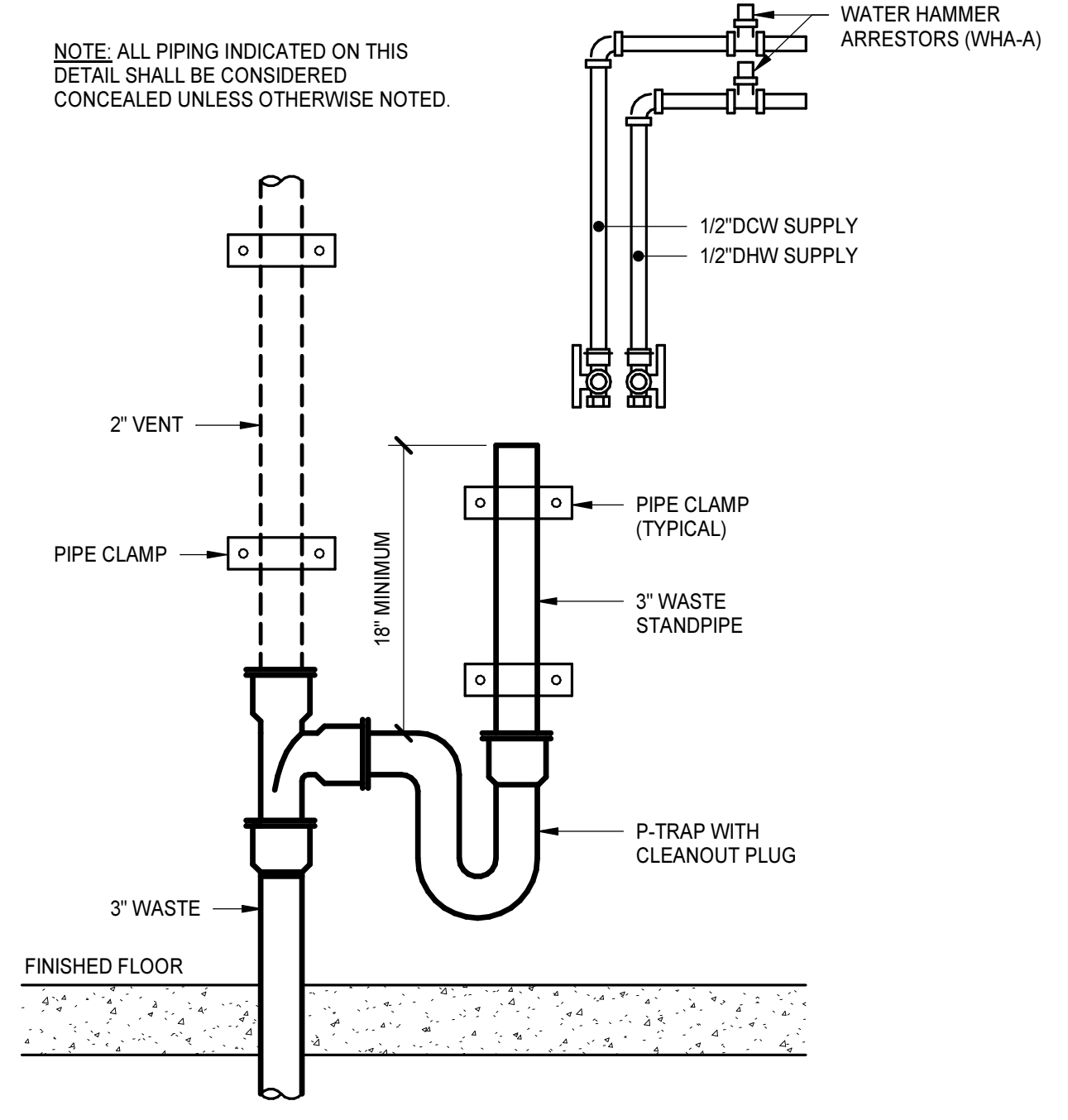
**HOT WATER RECIRCULATION BRANCH CONNECTION DETAIL**

NO SCALE



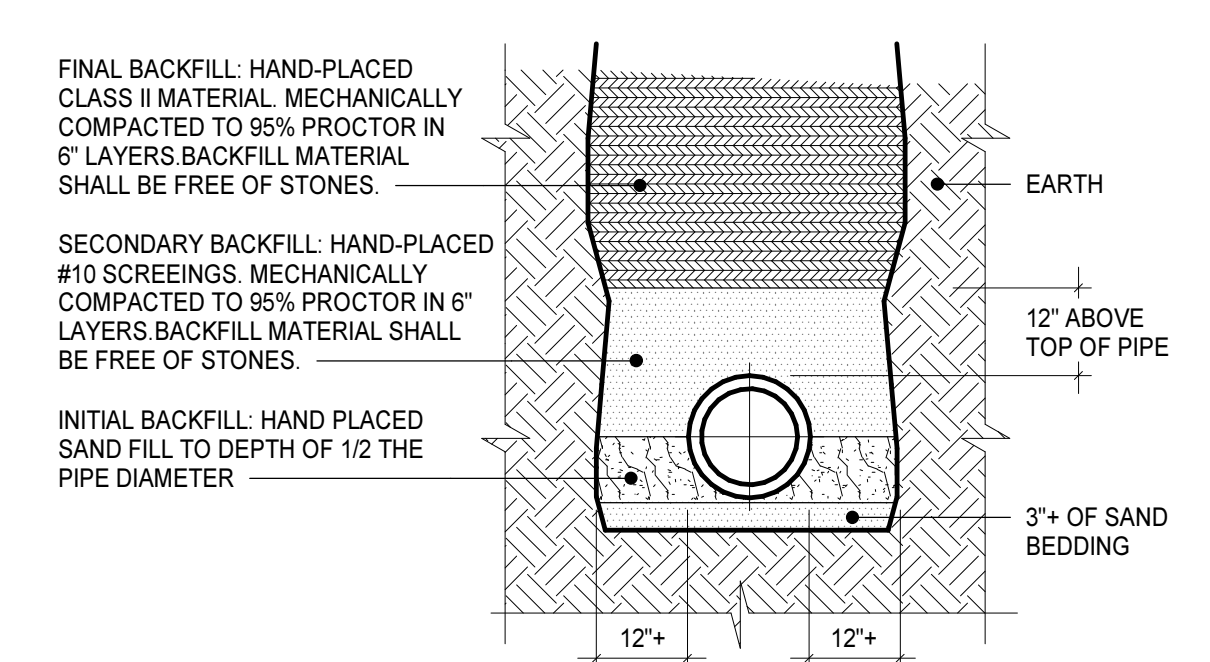
**INTERIOR GAS CONNECTION DETAIL**

NO SCALE



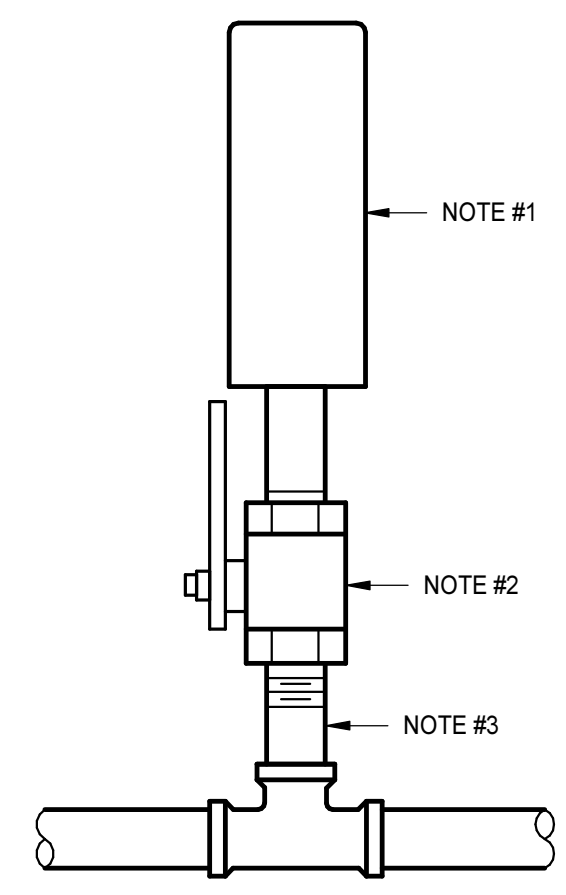
**WASHING MACHINE STANDPIPE DRAIN DETAIL**

NO SCALE



**PVC PIPE BEDDING DETAIL**

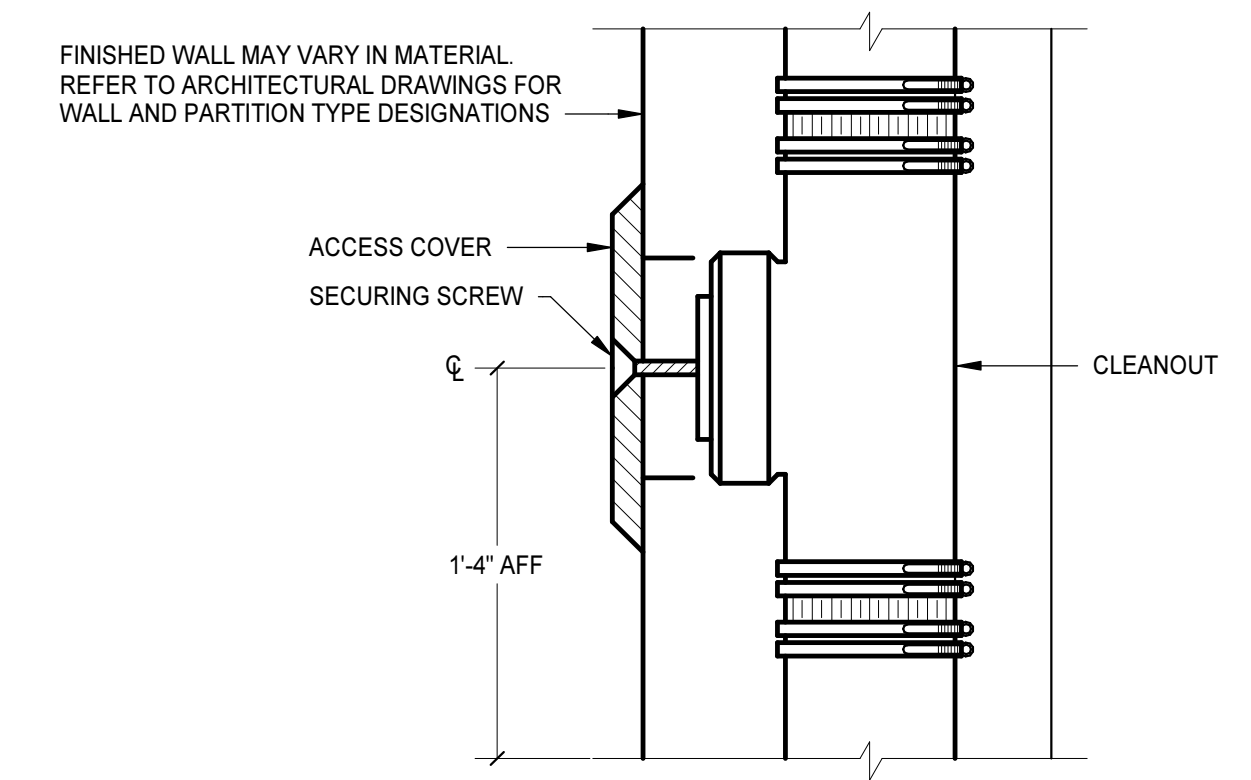
NO SCALE



**NOTES:**  
 1. WATER HAMMER ARRESTOR.  
 2. BALL VALVE VALVE SIZE SHALL BE EQUAL TO NOMINAL SIZE OF ARRESTOR OUTLET (MINIMUM 1/2").  
 3. BRANCH PIPE EQUAL TO NOMINAL SIZE OF ARRESTOR OUTLET (MINIMUM 1/2").

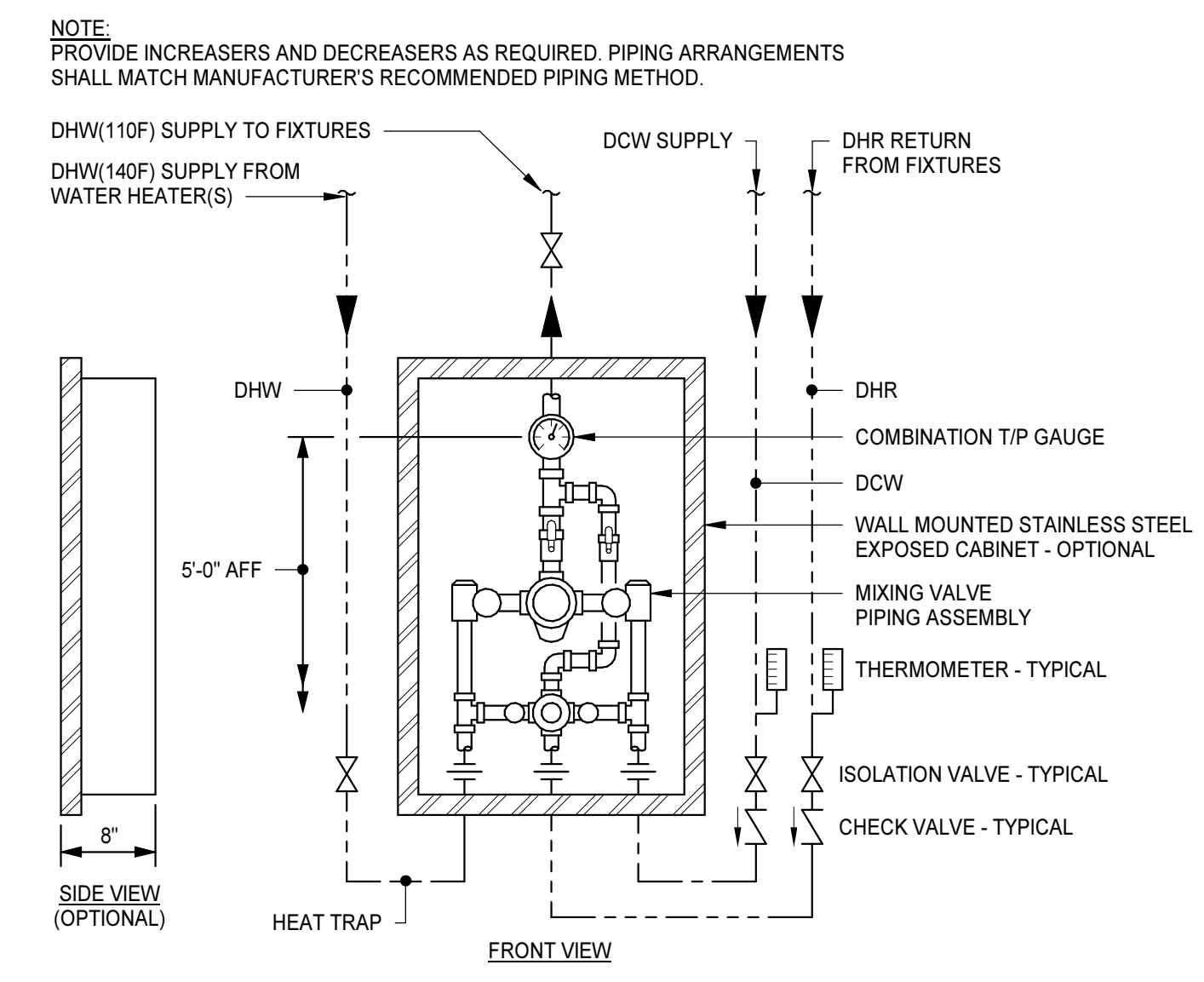
**WATER HAMMER ARRESTOR DETAIL**

NO SCALE



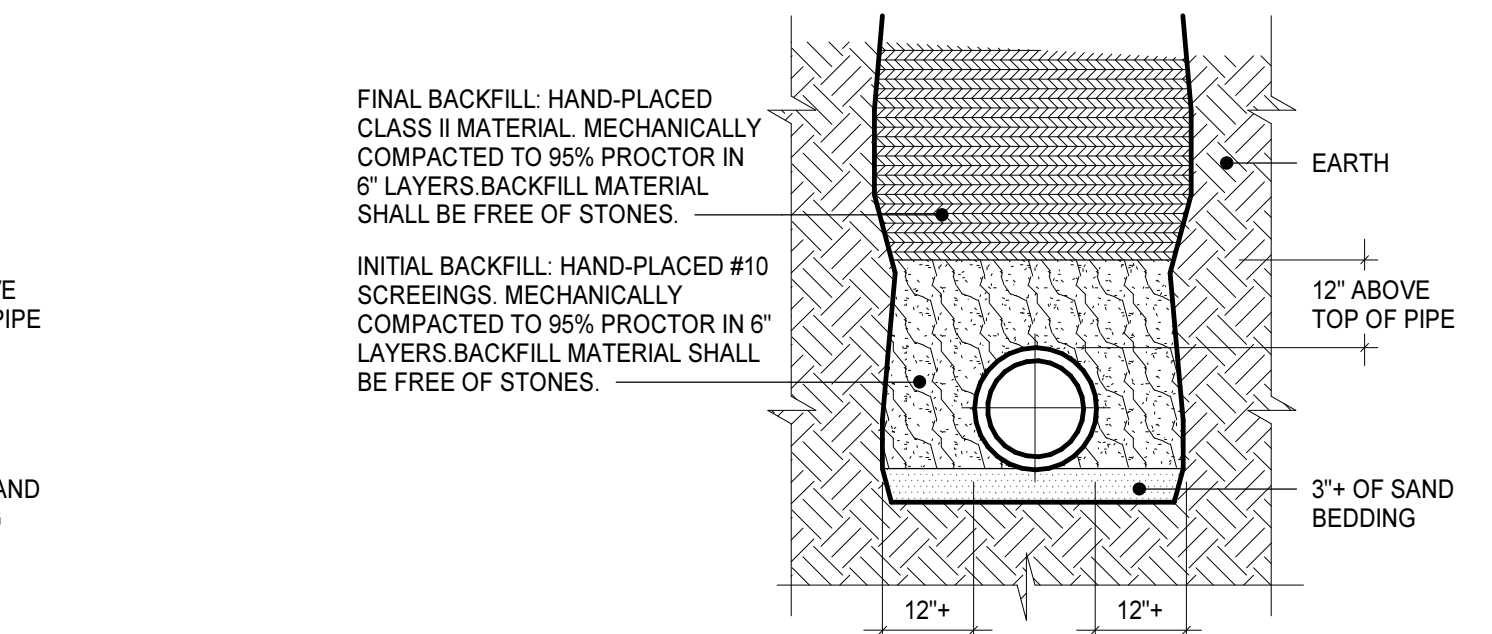
**WALL CLEANOUT DETAIL**

NO SCALE



**THERMOSTATIC MIXING VALVE DETAIL**

NO SCALE



**CAST IRON PIPE BEDDING DETAIL**

NO SCALE

ABBREVIATIONS	
@	AT ABOVE
ABV	ABOVE FINISHED FLOOR
AFB	AIR HANDLING UNIT
AFG	AIR HANDLING UNIT
AHU	AIR HANDLING UNIT
BLDG	BUILDING
CL	CENTERLINE
CLG	COLUMN
COL	CONCRETE
CONC	CONCRETE
CONT	CONTINUATION
CORR	CORRIDOR
CR	CLASSROOM
CU	CUBIC
CU FT	CUBIC FEET
DCW	DOMESTIC COLD WATER
DEG	DEGREE(S)
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DN	DOWN
DP	DOWNSPOUT
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
E	EAST
ECGH	ELECTRIC CEILING HEATER
EF	EXHAUST FAN
EH-1	EXTRA HAZARD GROUP 1
EH-2	EXTRA HAZARD GROUP 2
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
ET	EXPANSION TANK
ETR	EXISTING TO REMAIN
EWI	ELECTRIC WATER HEATER
EX	EXISTING
EXP	EXPANSION
F	FARENHEIT
FD	FIRE DAMPER
FDC	FIRE DEPARTMENT CONNECTION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FHS	FIRE HOSE STATION
FHVC	FIRE HOSE VALVE CABINET
FLR	FLOOR
FP	FIRE PROTECTION
FT	FOOT OR FEET
FVC	FIRE VALVE CABINET
GAL	GALLONS
GPM	GALLONS PER MINUTE
GUH	GAS-FIRED UNIT HEATER
HD	HEAD
HORIZ	HORIZONTAL
HP	HORSEPOWER
HW	HOT WATER
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATE OR INSULATION
JAN	JANITOR
KIT	KITCHEN
KW	KILOWATT(S)
LAB	LABORATORY
LAV	LAVATORY
LBS	POUNDS
LF	LINEAR FOOT (FEET)
LH	LIGHT HAZARD
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
N	NORTH
NA	NOT APPLICABLE/AVAILABLE
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NO	NORMALLY OPEN
NO. OR #	NUMBER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFF	OFFICE
OH-1	ORDINARY HAZARD GROUP 1
OH-2	ORDINARY HAZARD GROUP 2
P	PUMP
PC	PRECAST
PV	POST INDICATOR VALVE
POLY	POLYETHYLENE
PREFAB	PREFABRICATE(D)
PROJ	PROJECT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSIG	POUNDS PER SQUARE INCH GAUGE
PVC	POLYVINYL CHLORIDE
R	RISER
REF	REFERENCE
REQ	REQUIRED
RM	ROOM
RPM	REVOLUTIONS PER MINUTE
RTU	ROOF TOP UNIT
S	SOUTH
SAN	SANITARY
SCH	SCHEDULE
SD	SMOKE DAMPER
SHT	SHEET
SM	SIMILAR
SP	STATIC PRESSURE
SPEC	SPECIFICATION
SPR	SPRINKLER
SQ	SQUARE
STD	STANDARD
STL	STEEL
STOR	STORAGE
SW	SWITCH
T	TEMPERATURE
THK	THICKNESS
TLT	TOILET
TOSL	TOP OF SLAB
TYP	TYPICAL
UG	UNDERGROUND
UH	UNIT HEATER
UI	UNLESS UNDCATED
UNO	UNLESS NOTED (INDICATED) OTHERWISE
V	VOLTS
VERT	VERTICAL
W	WEST
W	WITH
W/O	WITHOUT
WH	WATER HEATER

### GRAPHICS SYMBOLS LEGEND

	VALVE		INDICATES AREAS OF THE BUILDING IN WHICH THE SPACING OF HEADS IS BASED ON LIGHT HAZARD CLASSIFICATION PROVIDING A DENSITY OF 0.10 GPM PER SQUARE FOOT OVER 1500 SQUARE FEET.
	GATE VALVE		INDICATES AREAS OF THE BUILDING IN WHICH THE SPACING OF DRY SPRINKLER HEADS IS BASED ON ORDINARY HAZARD GROUP 1 CLASSIFICATION PROVIDING A DENSITY OF 0.15 GPM PER SQUARE FOOT OVER 1500 SQUARE FEET.
	VALVE IN RISER		INDICATES AREAS OF THE BUILDING IN WHICH THE SPACING OF HEADS IS BASED ON EXTRA HAZARD GROUP 2 CLASSIFICATION PROVIDING A DENSITY OF 0.20 GPM PER SQUARE FOOT OVER 1500 SQUARE FEET.
	CHECK VALVE		INDICATES AREAS OF THE BUILDING THAT WILL REQUIRE ORDINARY HAZARD GROUP 1 ANTI-FREEZE PROTECTION, BRANCHING FROM THE LINE THAT SERVES THE AREA. REFER TO ANTI-FREEZE DETAIL.
	SOLENOID VALVE		INDICATES AREAS OF THE BUILDING IN WHICH THE SPACING OF HEADS IS BASED ON EXTRA HAZARD GROUP 2 CLASSIFICATION PROVIDING A DENSITY OF 0.30 GPM PER SQUARE FOOT OVER 2500 SQUARE FEET.
	FLOW SWITCH		INDICATES AREAS OF THE BUILDING IN WHICH THE SPACING OF HEADS IS BASED ON EXTRA HAZARD GROUP 2 CLASSIFICATION PROVIDING A DENSITY OF 0.40 GPM PER SQUARE FOOT OVER 2500 SQUARE FEET.
	PRESSURE REDUCING VALVE		POINT OF CONNECTION TO EXISTING
	DOUBLE CHECK BACKFLOW PREVENTER		LIMIT OF DEMOLITION
	FIRE PROTECTION WET SPRINKLER PIPING		KEYNOTE
	FIRE PROTECTION DRY SPRINKLER PIPING		SPACE IDENTIFICATION TAG SPACE NUMBER BUILDING AREA (WHEN USED)
	FIRE EXTINGUISHING GAS PIPING		EQUIPMENT IDENTIFICATION TAG EQUIPMENT NUMBER UNIT DESIGNATION
	FIRE PROTECTION DRY SPRINKLER PIPING		STRUCTURAL GRID LINE WITH DESIGNATION
	UNION		SECTION WHERE CUT SECTION LETTER DRAWING WHERE SECTION IS INDICATED
	PRESSURE GAUGE WITH GAUGE COCK		ENLARGED PLAN WHERE CUT ENLARGED PLAN NUMBER DRAWING WHERE ENLARGED PLAN IS INDICATED
	PIPE TURNED DOWN		DETAIL TAG DETAIL NUMBER DRAWING WHERE DETAIL IS INDICATED
	PIPE TURNED UP		DETAIL TITLE DETAIL NUMBER DRAWING WHERE DETAIL IS INDICATED ADDITIONAL DRAWING REFERENCES
	PIPE TEE UP		SECTION TITLE SECTION LETTER DRAWING WHERE SECTION IS INDICATED ADDITIONAL DRAWING REFERENCES
	PIPE TEE DOWN		
	PIPE CAP		
	PITCH PIPE DOWN IN DIRECTION OF ARROW AT INDICATED SLOPE		
	FLOW IN DIRECTION OF ARROW		
	CONCENTRIC PIPE REDUCTION		
	ECCENTRIC PIPE REDUCTION		
	PUMP		
	FIRE DEPARTMENT CONNECTION		
	PENDANT SPRINKLER HEAD		
	CONCEALED PENDANT SPRINKLER HEAD		
	EXTENDED COVERAGE PENDANT SPRINKLER HEAD		
	CONCEALED EXTENDED COVERAGE PENDANT SPRINKLER HEAD		
	PENDANT SPRINKLER HEAD WITH GUARD		
	UPRIGHT SPRINKLER HEAD		
	EXTENDED COVERAGE UPRIGHT SPRINKLER HEAD		
	UPRIGHT SPRINKLER HEAD WITH GUARD		
	SIDEWALL SPRINKLER HEAD		
	EXTENDED COVERAGE SPRINKLER HEAD		
	CONCEALED EXTENDED COVERAGE SIDEWALL SPRINKLER HEAD		
	EXTINGUISHING AGENT DISCHARGE NOZZLE		
	COMBINATION AUDIBLE AND STROBE ALARM		
	MANUAL PULL STATION		
	ABORT SWITCH		
	IONIZATION SMOKE DETECTOR		
	PHOTOELECTRIC SMOKE DETECTOR		

### GENERAL NOTES

THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. IN THE CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE BETTER QUALITY. IN THE CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE GREATER QUANTITY OF WORK.

COORDINATE THE LOCATION OF ALL SPRINKLER PIPING WITH THE WORK OF OTHER TRADES. SPRINKLER PIPING SHALL NOT BE INSTALLED WHERE ITS LOCATION INHIBITS ACCESS TO EQUIPMENT ABOVE THE CEILING. FILTER ACCESS OR INFRINGES UPON CLEARANCES DICTATED BY THE NATIONAL ELECTRIC CODE.

VERIFY DIMENSIONS AND ROUTING IN FIELD BEFORE FABRICATION OF PIPING AND FIXTURES.

REFER TO THE LIFE SAFETY PLAN FOR LOCATIONS OF FIRE AND SMOKE SEPARATION ASSEMBLIES.

REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND MAXIMUM SPACING REQUIREMENTS REGARDING HANGER ATTACHMENTS TO STEEL BAR JOISTS.

THE ENTIRE AREA BEING RENOVATED SHALL BE FULLY SPRINKLERED WITH A HYDRAULICALLY DESIGNED WET PIPE SPRINKLERS SYSTEM FED FROM EXISTING BUILDING FIRE SPRINKLER SYSTEM IN ACCORDANCE W/ 2018 VIRGINIA STATEWIDE BUILDING CODE, 2018 NFPA 13 AND LOCAL AUTHORITY HAVING JURISDICTION REQUIREMENTS. CALCULATIONS SHALL BE BASED OFF OF A CURRENT WATERLOW TEST PERFORMED WITHIN (1) YEAR OF SUBMISSION OF FIRE PROTECTION SHOP DRAWINGS. PROVIDE COMPLETE FIRE PROTECTION SPRINKLER SYSTEM INSTALLATION DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF VIRGINIA OR BY A NICET LEVEL III OR IV TECHNICIAN CERTIFIED IN WATER BASED LAYOUT DESIGN. PLANS AND COVER SHEETS OF HYDRAULIC CALCULATIONS SHALL BE LEGIBLY SIGNED, CERTIFIED AND DATED BY THE PREPARER AND SHALL BE SUBMITTED TO ARLINGTON COUNTY FOR REVIEW.

SPRINKLER PIPING SHALL NOT TRAVERSE THROUGH ELECTRICAL ROOMS AND SIMILAR SPACES.

ALL SYSTEM DRINKS SHALL BE PIPED TO THE OUTSIDE OF BUILDING TO AN APPROVED LOCATION UNLESS COORDINATED W/ PLUMBING ENGINEER PRIOR TO DISCHARGING INTO JANITORS SINK.

FIRE SPRINKLER SHOP LEVEL DRAWINGS COMPLYING WITH NFPA 13 2016 EDITION SHALL BE SUBMITTED TO ARLINGTON COUNTY FOR REVIEW.

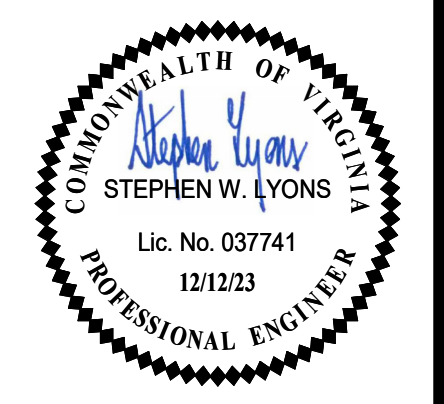
### SPRINKLER HEADS

IN SUSPENDED ACOUSTICAL OR GYPSUM CEILINGS, PROVIDE CONCEALED, QUICK RESPONSE, TYPE SPRINKLERS W/ WHITE COVER PLATE.

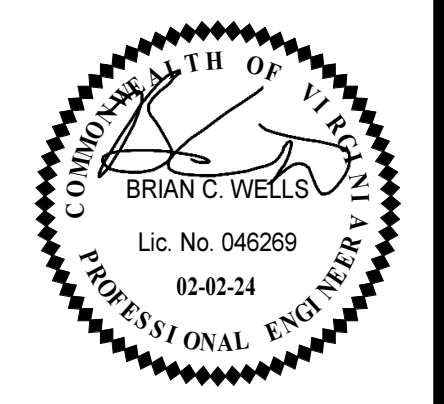
FOR HORIZONTAL SIDEWALL APPLICATIONS, PROVIDE RECESSED, QUICK RESPONSE GLASS BULB TYPE SPRINKLERS W/ CHROME FINISH AND MATCHING TWO-PIECE ESCUTCHEON.

IN AREAS EXPOSED TO FREEZING TEMPERATURES, PROVIDE QUICK RESPONSE, FUSIBLE LINK TYPE DRY SPRINKLERS.

IN ROOMS WITHOUT SUSPENDED CEILINGS, PROVIDE STANDARD UPRIGHT, QUICK RESPONSE TYPE SPRINKLERS W/ BRASS FINISH.



DATE	REVISIONS	DESCRIPTION
1.25.24	REV 2	



PROJECT NO.	624801
DATE	FEBRUARY 2, 2024
REVISIONS	
DATE	DESCRIPTION
12.12.23	REV 1
2.2.24	REV 2

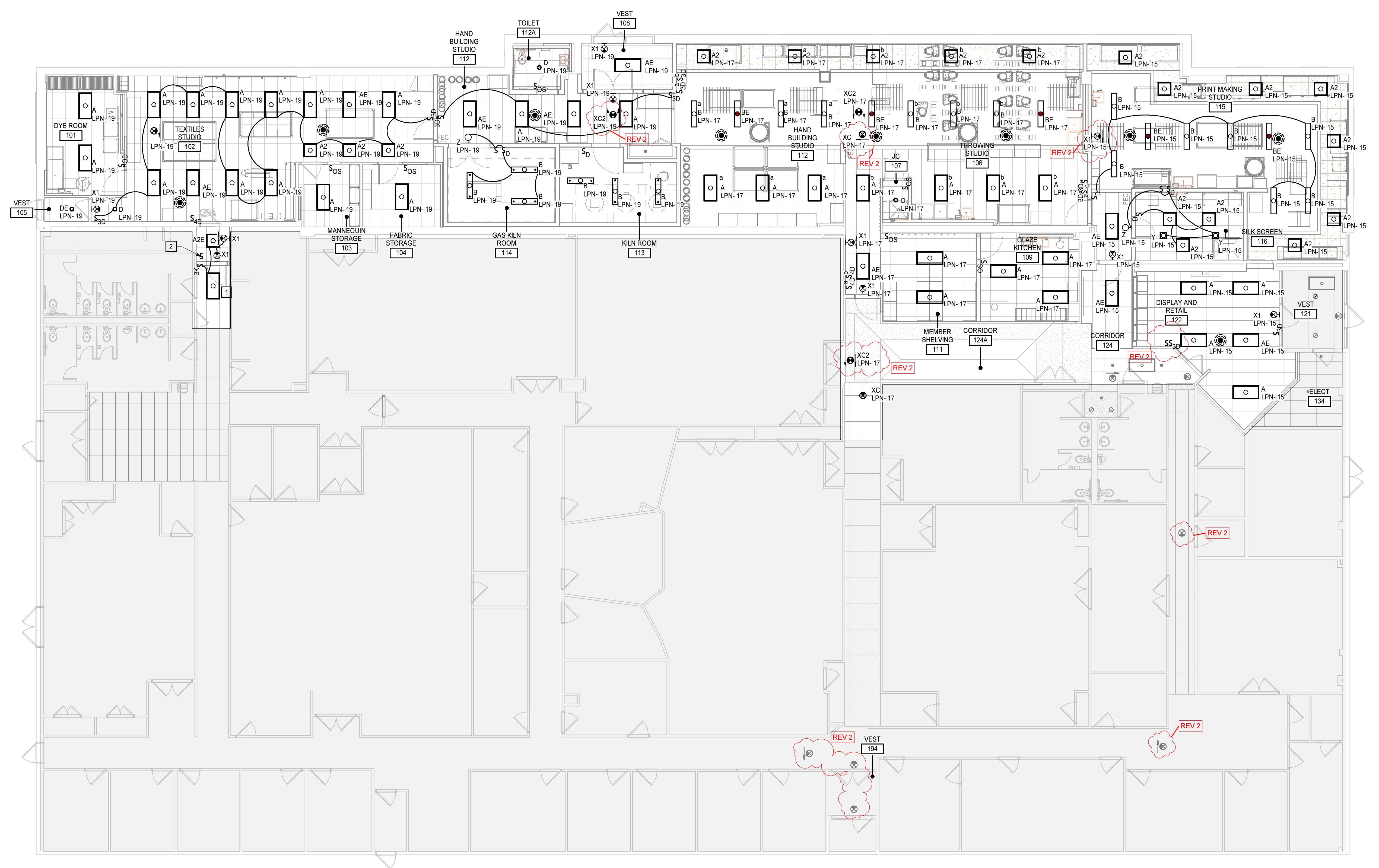
INTERIOR LIGHT FIXTURE SCHEDULE														
TYPE	DESCRIPTION	MANUFACTURER	FIXTURE SERIES NO.	WATTAGE	LUMENS	COLOR	QUANTITY	LAMP TYPE	COLOR TEMP.	MOUNTING	DIMMING	OPTIONS BATTERY PACK	REFERENCE NOTE	COMMENTS
A	SINGLE FACE EXIT SIGN	HE WILLIAMS	EXITWETCP-SF-R-WHT-AC-D	3		WR	1	LED		CEILING		X	1	
A2	2X4 TROFFER	HE WILLIAMS	505-S24-L59-835-SAF12125-DIM-UNV	34	4000 lm		1	LED	3500 K	RECESSED		X		
AZE	2X2 TROFFER	HE WILLIAMS	505-S22-L43-835-SAF12125-DIM-UNV	37	4000 lm		1	LED	3500 K	RECESSED	X	X		
AE	2X4 TROFFER	HE WILLIAMS	505-S24-L59-835-SAF12125-DIM-UNV	34	4000 lm		1	LED	3500 K	RECESSED	X	X		EMERGENCY EGRESS FIXTURE
B	4 LINEAR FIXTURE	DAYBRITE CFI	OWL-4-50L-835-UNV-DIM	53	5000 lm		1	LED	3500 K	RECESSED	X	X		EMERGENCY EGRESS FIXTURE
BE	4 LINEAR OVL WRAPAROUND	DAY-BRITE CFI	OWL-4-40L-835-UNV-DIM	53	5000 lm		1	LED	3500 K	RECESSED	X	X		
D	6" DOWNLIGHT	HE WILLIAMS	6DR-TL-L10-835-DIM1-UNV-OW-OF-CS	9	1000 lm		1	LED	3500 K	RECESSED	X	X		
DE	6" DOWNLIGHT	HE WILLIAMS	6DR-TL-L10-835-EM10W-DIM1-UNV-OW-OF-CS	9	1000 lm		1	LED	3500 K	RECESSED	X	X		
X1	SINGLE FACE EXIT SIGN	HE WILLIAMS	EXITTEL-SF-R-CP-AN-EM-D	4		WR	1	LED		ABOVE DOOR			1	
XC	SINGLE FACE EXIT SIGN	HE WILLIAMS	EXITTEL-SF-R-CP-AN-EM-D	4		WR	1	LED		CEILING			1	
XC2	DOUBLE FACE EXIT SIGN	HE WILLIAMS	EXITTEL-DF-R-CP-AN-EM-D	4		WR	1	LED		CEILING		X	1	
Y	DARKROOM SAFELIGHTS	KURTZON	DKS-FD-2-1X1-X0X-UNV-FROST-020FF	4	50 lm	RED	1	LED	0 K	RECESSED	X			
Z	THIN PROFILE BACKLIT LED SIGN	RT TECHNOLOGIES	LEDS-SF-110-R-RU/ROOM IN USE	0				LED		WALL				WALL

GENERAL NOTES:  
 A. ALL FIXTURES SHALL BE CAPABLE OF 120V AND 277V INPUT (VOLT), UNO.  
 B. REFER TO LIGHTING PLANS AND SPECIFICATIONS FOR ADDITIONAL FIXTURE INFORMATION.  
 C. "X" IN THE SCHEDULE INDICATES ITEM IS REQUIRED.  
 D. ALL LENS SHALL BE A MINIMUM 0.125" THICKNESS, UNO.

REFERENCE NOTES:  
 1. NUMBER OF FACES AND DIRECTIONAL CHEVRONS AS INDICATED ON DWGS.

**GENERAL NOTES**  
 A. ALL TYPE WITH "E" LIGHT FIXTURES AND EXIT SIGNS SHALL BE UN-SWITCHED.

**KEYNOTES**  
 APPLIES TO DRAWINGS E2.1  
 REPRESENTED BY [Symbol]  
 1. REFER TO KEYNOTE #2 ON E1.0 FOR ADDITIONAL LIGHT FIXTURE INFORMATION. CONNECT TO EXISTING CIRCUIT IN THE CORRIDOR.  
 2. REFER TO KEYNOTE #3 ON E1.0 FOR ADDITIONAL LIGHT SWITCH INFORMATION.



**FIRST FLOOR PLAN - LIGHTING**  
 1/8" = 1'-0"

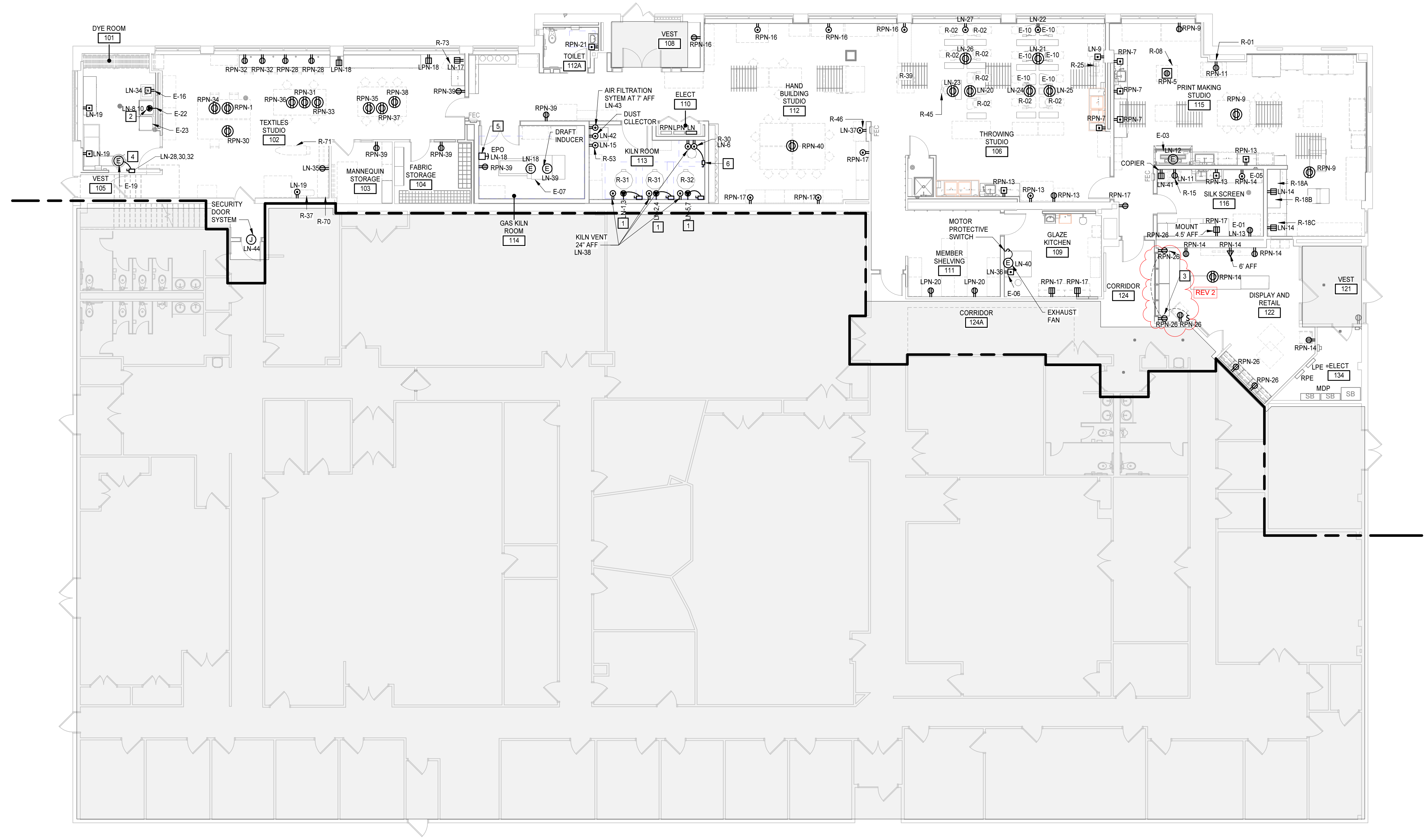


**GENERAL NOTES**

A. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

**KEYNOTES**  
 APPLIES TO DRAWINGS E2.2  
 REPRESENTED BY [n]

1. PROVIDE 6-50R RECEPTACLE, WIRE 2#4 #10G, 1'C, AND NEMA 3R 208V/1P, 60A, NON-FUSE DISCONNECT. LOCATION CAN BE ADJUSTED IN FIELD.
2. PROVIDE 14-30R RECEPTACLE AND WIRE 3#10 #10G 3/4"C.
3. PROVIDE POWER FOR DISPLAY CASE. COORDINATE CONNECTIONS AND A LOCATION WITH DISPLAY CASE VENDOR.
4. PROVIDE NEMA 3R, 208V/3P, 100A NON-FUSE DISCONNECT. COORDINATE LOCATION IN FIELD. PROVIDE #4S #0G, 1 1/4"C.
5. REFER TO GAS APPLIANCE EPO DIAGRAM ON E4.0.
6. PROVIDE NEMA 3R, 120V/1P, 30A, NON-FUSE DISCONNECT.



**N**  
 FIRST FLOOR PLAN - POWER  
 1/8" = 1'-0"

**ARLINGTON CULTURAL AFFAIRS RENO**

624801  
 ARLINGTON COUNTY GOVERNMENT  
 3700 S. FOUR MILE RUN DRIVE

PROJECT NO.	624801
DATE	FEBRUARY 2, 2024
REVISIONS	
DATE	DESCRIPTION
12.12.23	REV 1
2.2.24	REV 2

FIRST FLOOR PLANS - POWER

**E2.2**