

# ADDENDUM ONE

Project: Sullivan County Miller Perry Elementary School Reroof

Address: 904 Fordtown Road, Kingsport, Tennessee.

February 28, 2023

This Addendum is part of the Contract Documents for the above referenced project and modifies the original drawings and/or specifications, dated **2/13/23**, as noted below. The bidder shall acknowledge receipt of this Addendum in the place provided in the Bid Form. The published bid date and time shall remain the same.

### **GENERAL**:

- 1. Please see attached Pre-Bid Attendance Record.
- **2.** All contractors are required to be registered on the SAM.GOV website. Registration is free of charge.
- 3. Please see attached photos of roof cores taken at approximately the center high point and approximately 3' from the parapet wall. The center core measured approximately 8" to the concrete deck. The edge core measured approximately 3 ½" to the concrete deck.

### **DRAWINGS:**

**G-01 General Information –** See revised list of alternates.

A-15 Roof Plan - See revised drawing scale.

**A-15 Roof Plan** - See revision to include new collectors and downspouts at roof scuppers.

None

### SPECIFICATIONS:

Bid Form - See revised bid form to include Alternate #1

**END OF ADDENDUM 1** 

# OFFICE OF THE SULLIVAN COUNTY PURCHASING AGENT 3411 HIGHWAY 126—SUITE 201 BLOUNTVILLE, TN 37617-0569

KRISTINIA DAVIS PURCHASING AGENT

PHONE 423-323-6400

FAX 423-323-7249

kris.davis@sullivancountym.gov

# PRE-BID ATTENDANCE RECORD

DATE: 02.21.2023

TIME. 2:00DM

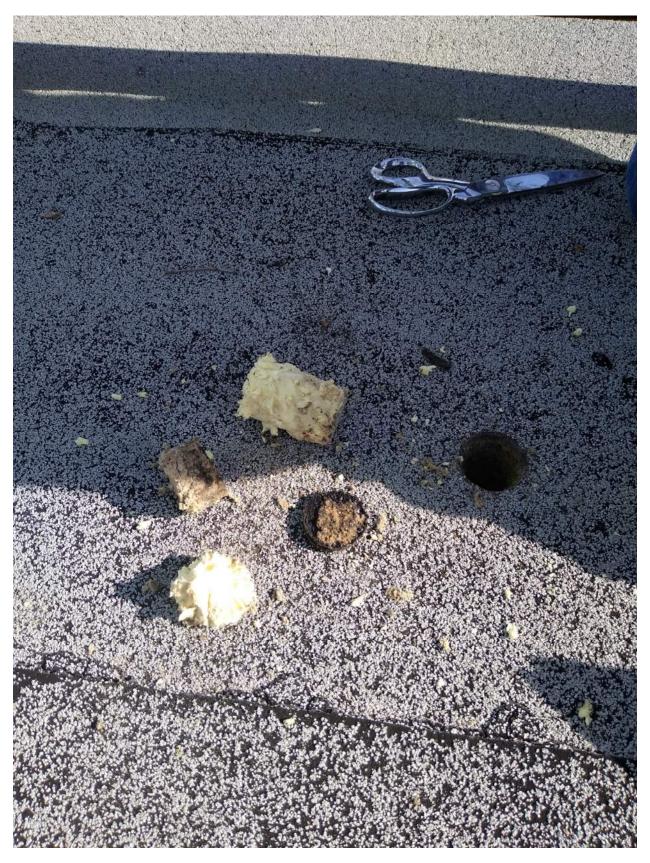
PROJECT DESCRIPTION: Miller Perry Elementary Chock Re

LOCATION OF PROJECT: Miller Peny General Choose

FRIFTED BY REGISTRATION, TO AFFORD AN OPPORTUNITY FOR COMPANY TO OFFER A PRICED PROPOSAL. \*NOTE: MANDATORY PRE-BID MEETING REQUIRES REPRESENTATION OF COMPANY AGENT,

chasing best - Michelle Kaney

EMAIL ADDRESS	Estimating 2 th GOF. 600	CHAILES HUSGARDA @ SUllivan KIZZAET	RICHOGORCING. Co.	terryedixe roshingine. am	Faul @ Mocastron acoperts We	
PHONE NUMBER	423-765.6059	425 383-5430 423-354-1151	330-704-3854	265-385-0341	423 273-0956	
COMPANY / AGENCY	Todd Herklehood hosti's	CRW Methreers SCDE	CRE	Dixe Rading, Inc	MORRISTOWN ROOFING	
YOUR NAME	Mardy Roberts	MILTOD LIETZKE CHAPIES HUBBANI	michano Lorz	Terry Miller	PAUL FITZGERAND	



Center Core



Edge Core

### **ABBREVIATIONS ABOVE** HOMOGENEOUS SHEET VINYL ACT ACOUSTICAL TILE HT. HEIGHT INSUL ADA AMERICANS WITH DISABILITIES ACT INSULATING, INSULATION A.F.F. ABOVE FINISHED FLOOR JT. JOINT ALUMINUM LAV. LAVATORY AT OR AT THE RATE OF MANUF. MANUFACTURER APPROX. **APPROXIMATELY** MATL MATERIAL MAX. MAXIMUM **BUILDING LINE** BUILDING MECH. **MECHANICAL** BLOCKING MDF MEDIUM DENSITY FIBERBOARD BLKG. MFD BOTT. BOTTOM MULTI-FUNCTION DEVICE MAN HOLE BRG. BEARING M.H. C.B. CATCH BASIN MINIMUM, OR MINUTES CENTERLINE MIRR. MIRROR IMAGE OF TYPICAL DETAIL **CONTROL JOINT** M.O. MASONRY OPENING CLG. M.R. CEILING MOISTURE RESISTANT CMU CONCRETE MASONRY UNIT MTL. METAL C.O. CLEAN OUT N.I.C. NOT IN CONTRACT CONC CONCRETE NOM. NOMINAL CONT CONTINUOUS O.C. ON CENTER OCC. COORD COORDINATE OCCUPANTS CORR. **CORRIDOR** PHASE

CTR. CENTER PKG. PACKAGE DTL. DETAIL PLATE D.F. DRINKING FOUNTAIN POLY POLYETHYLENE DIA. Ø DIAMETER PR. PAIR DWG. DRAWING POUNDS PER SQUARE INCH D.W. DISH WASHER P.T. PRESSURE TREATED **EXISTING** PAINT, OR PAINTED EACH RADIUS, RISER EA. E.I.F.S EXTERIOR INSULATION AND FINISH SYSTEM RD ROOF DRAIN **EXPANSION JOINT** RDL ROOF DRAIN LEADER REQ'D ELEVATION REQUIRED ELEC. ELECTRICAL R.O. **ROUGH OPENING** EQ. **EQUAL SQUARE EXIST EXISTING** SCHED. SCHEDULE **EXPANSION** SIM. SIMILAR EXT. EXTERIOR SQ. SQUARE F.D. FLOOR DRAIN STD. STANDARD FDTN **FOUNDATION** STL. STEEL

STRUCT.

WDW.

W.H.

WOW

WWF

WINDOW

WATER HEATER

WORKSTATION ON WHEELS

WELDED WIRE FABRIC

STRUCTURE, OR STRUCTURAL

FINISHED FACE SUSP. SUSPENDED **FINISHED** TK. THICK FLOOR TLT. TOILET TOP OF FACE OF FINISH T.O. FTG. FOOTING T.O.F. TOP OF FOOTING FIELD VERIFY T.O.S. TOP OF STEEL TYP. GAUGE TYPICAL GALV. GALVANIZED, HOT DIPPED UNDERWRITER'S LABORATORIES, INC. G.H.M. GALVANIZED HOLLOW METAL WIDE GYP. BD. **GYPSUM BOARD** WITH HOSE BIBB WD. WOOD

F.E.

F.F.

FIN.

FLR.

FOF

F.V.

H.B.

H.C.

H.M.

**HDWE** 

FIRE EXTINGUISHER

HANDICAPPED

**HOLLOW METAL** 

HARDWARE

LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN EXISTING CONSTRUCTION TO BE REMOVED

CONCRETE MASONRY (NEW, VIEWED IN PLAN & SECTION)

METAL STUD AND GYPSUM BOARD WALL (NEW)

METAL STUD AND GYPSUM BOARD WALL (PARTIAL HEIGHT WALL WITH CAP) (NEW)

BRICK

CASEWORK (IN PLAN VIEW)

GYPSUM BOARD CEILING (IN PLAN)

GLASS OR MIRROR (ELEVATION)

BATT INSULATION

--- VAPOR BARRIER

CONCRETE (SECTION)

CRUSHED STONE

ADD ALTERNATE #1

DENOTES 2-HR RATED FREE STANDING FIRE WALL

• • • • • • DENOTES 2-HR RATED FIRE SEPARATION WALL / SMOKE BARRIER

BIĎ ALTERNATES VVVVVV

**DENOTES 1-HR RATED FIRE BARRIER** 

DENOTES NON-RATED SMOKE PARTITION

REPLACEMENT OF ROOF DRAIN COLLECTORS AND DOWNSPOUTS.

MATERIAL AND EQUIPMENT LAY DOWN AREA. INDICATES POTENTIAL DUMPSTER LOCATIONS

TO BE COORDINATED WITH THE OWNER.

**ROOM SIGNAGE** PRINTERS WINDOW TREATMENTS SHELVES (NOT SHADED) FREEZERS **OVERHEAD PROJECTOR** PHLEBOTOMY CHAIRS

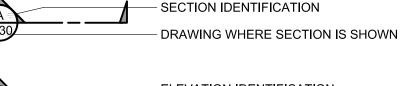
DESKS **TELEVISIONS** MICROWAVES EQUIPMENT **CUBICLE WALLS** LOCKERS EXAM TABLES

# **SYMBOLS**

IDENTIFICATION MARK LETTER **SECTION** (SECTIONS AND ELEVATIONS) **IDENTIFICATION MARK NUMBER** SCALE: 3/4" = 1'-0" (DETAILS)

- DRAWING WHERE SECTION IS CUT OR ELEVATION OR DETAIL IS

CALLED OUT - DRAWING WHERE SECTION IS SHOWN



- ELEVATION IDENTIFICATION DRAWING WHERE ELEVATION IS SHOWN

- DETAIL IDENTIFICATION - DRAWING WHERE DETAIL IS SHOWN

19-- WALL TYPE IDENTIFICATION WINDOW TYPE IDENTIFICATION

- DOOR MARK NUMBER (CORRESPONDS WITH ROOM NUMBER) - INDICATES QUANTITY OF DOORS PER

SPACE/ROOM (A, B, C, ETC.)

ROOM/SPACE IDENTIFICATION - ROOM NUMBER GRAY TEXT DENOTES EXISTING ROOM

 COLUMN IDENTIFICATION COLUMN LINE

- REVISION NUMBER

# ITEMS NOT IN CONTRACT

COMPUTERS CHAIRS

COAT RACKS PAPER TOWEL DISPENSERS SOAP DISPENSERS SCALES ANY ITEMS LABELED "NIC" OR "BY OWNER'

FILING CABINETS

**REFRIGERATORS** 

DISHWASHERS

THESE ITEMS MAY BE SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.

### **GENERAL NOTES**

- CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE IMMEDIATE VICINITY OF THE WORK SITE AS DIRECTED BY THE OWNER.
- 2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE VERIFICATION OF ACTUAL CONDITIONS SURROUNDING THE PROJECT, INCLUDING THE AS-BUILT LOCATIONS AND CONDITIONS OF EXISTING UTILITIES AND THE BUILDING STRUCTURE.
- 3. CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE STORAGE OF EQUIPMENT AND BUILDING MATERIALS WITH THE BUILDING OWNER. CONTRACTOR SHALL NOT BLOCK OR IMPEDE ACCESS TO THE BUILDING BY EXISTING TENANTS, CUSTOMERS OR EMERGENCY VEHICLES.
- 4. CONTRACTOR SHALL COORDINATE ANY REQUIRED SHUT-DOWN OF UTILITIES WITH THE LOCAL BODIES HAVING JURISDICTION. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO PERFORMING ANY EXCAVATION OPERATIONS. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES. INADVERTENT OR OTHERWISE, RESULTING FROM CONSTRUCTION OPERATIONS, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- UNLESS OTHERWISE NOTED, INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 20 GA., 3 5/8" STEEL STUDS AT 16" ON CENTER WITH ONE (1) LAYER OF 5/8" THICK, TYPE "X", GYPSUM BOARD ON EACH FACE. (TOTAL WALL THICKNESS = 4 7/8") PROVIDE VERTICAL CONTROL JOINT AT ONE SIDE OF DOOR HEADS (TYPICAL). SET TRACK IN ACOUSTICAL SEALANT FOR SOUND CONTROL. (TYPICAL ALL WALLS.)
- 6. PLAN DIMENSIONS DENOTE FACE OF NEW STUD TO FACE OF NEW STUD (OR FACE OF FINISH IF CONCRETE OR CMU) UNLESS OTHERWISE NOTED. (TYPICAL FOR NEW, INTERIOR STUD WALL CONSTRUCTION.)
- 7. PLAN DIMENSIONS DENOTE FINISHED FACE OF EXISTING WALL TO FINISHED FACE OF EXISTING WALL UNLESS OTHERWISE NOTED. (TYPICAL FOR EXISTING WALLS.)
- 8. ALL PARTITIONS SHALL BE CONTINUOUS FROM TOP OF FLOOR SLAB TO MIN. 6" ABOVE FIN. CEILING UNLESS OTHERWISE NOTED OR DETAILED. PROVIDE FIBERGLASS SOUND ATTENUATION BLANKETS IN ALL WALLS. (TYPICAL FULL HEIGHT OF WALL.) (SEE WALL TYPES.)
- PROVIDE ALL WALL BLOCKING AS REQUIRED FOR FIXTURES, CASEWORK, COMMUNICATIONS EQUIPMENT, ETC. ALL WOOD BLOCKING SHALL BE FIRE TREATED LUMBER. (CONTRACTOR MAY PROVIDE 20 GA. STEEL STUDS, IN LIEU OF WOOD BLOCKING, IN METAL STUD WALL CONSTRUCTION.) CONTRACTOR TO REVIEW LOCATIONS OF ALL WOOD BLOCKING WITH THE OWNER.
- 10. CONTRACTOR SHALL PROVIDE 4'x4', 3/4" TREATED PLYWOOD BLOCKING IN ALL COMMUNICATIONS CLOSETS.
- 11. CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION WALLS AND CLOSURES AS REQUIRED TO PREVENT THE SPREAD AND INFILTRATION OF DUST AND DEBRIS TO OTHER OCCUPIED AREAS OF THE BUILDING.
- 12. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- 13. THE CONTRACTOR SHALL ACCESS THE BUILDING ONLY FROM LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. CONSTRUCTION OPERATIONS SHALL NOT IMPEDE THE NORMAL FLOW OF TRAFFIC AT OTHER ENTRYWAYS.
- 14. CONTRACTOR SHALL NOTIFY BUILDING OWNER, AND ALL TENANTS, OF ANY REQUIRED UTILITY SHUT-DOWN NOT LESS THAN 48 HOURS IN ADVANCE OF THE SCHEDULED INTERRUPTION OF UTILITY SERVICES.
- 15. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING AND ITS CONTENTS FROM THE ELEMENTS AND FROM UNAUTHORIZED ENTRY. CONTRACTOR SHALL PROVIDE TEMPORARY CLOSURES AND BARRICADES AS REQUIRED TO MAINTAIN A SECURE ENVIRONMENT.
- 16. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, LOCATIONS, SIZES, ETC. OF ALL BUILDING COMPONENTS, STRUCTURAL MEMBERS, EQUIPMENT, AND ACCESSORIES TO REMAIN.
- 17. CONTRACTOR SHALL NOT IMPEDE TRAFFIC FLOW IN ROADWAYS OR PARKING AREAS. COMPLETE ACCESS TO THE BUILDING BY EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- 18. DOORS CONSTRUCTED AGAINST AN ADJACENT WALL SHALL BE PLACED 3" FROM THE OUTSIDE OF THE FRAME TO THE ADJACENT WALL (TYPICAL FOR STUD WALLS). DOORS IN MASONRY WALLS SHALL BE 8" (ONE BLOCK COURSE) FROM ADJACENT WALL. DOORS SHOWN IN THE CENTER OF A WALL SHALL BE CENTERED WITHIN THAT SPACE UNLESS OTHERWISE NOTED.
- 19. VERTICAL CHANGES IN FLOOR LEVEL MAY NOT EXCEED 1/4" UNLESS HALF OR ALL OF THE VERTICAL
- 20. CONTRACTOR IS RESPONSIBLE FOR PATCHING AND FINISHING ALL EXISTING WALLS THAT ARE DAMAGED DURING DEMOLITION OPERATIONS OR THROUGH THE INSTALLATION OF NEW ITEMS AND APPURTENANCES TO A UNIFORM APPEARANCE TO MATCH THAT OF ADJACENT FINISHES.
- 21. THIS DRAWING SET UTILIZES COLOR FOR CLARITY AND IS BEST INTERPRETED WHEN VIEWED OR PRINTED IN
- 22. THIS DRAWING SET IS INTENDED TO BE PRINTED AT 24"x36" SHEET SIZE. DO NOT SCALE DRAWINGS FROM ANY OTHER SIZE PRINT.

## CODE DATA

### SCOPE OF WORK SUMMARY

THIS PROJECT CONSISTS OF A ROOF REPLACEMENT, AND DOES NOT INCLUDE ANY WORK ON THE INTERIOR OF THE BUILDING, NOR DOES IT EFFECT ANY EGRESS FROM THE BUILDING. THIS PROJECT DOES NOT INCLUDE ANY SITE WORK.

### APPLICABLE CODES

NFPA 101 LIFE SAFETY CODE (2012 EDITION) ICC INTERNATIONAL BUILDING CODE (2012 EDITION) ICC INTERNATIONAL FIRE CODE (2012 EDITION) ICC INTERNATIONAL MECHANICAL CODE (2012 EDITION) ICC INTERNATIONAL FUEL GAS CODE (2012 EDITION)

U.S. PUBLIC HEALTH FOOD CODE (2009 EDITION)

ICC INTERNATIONAL PLUMBING CODE (2012 EDITION) ICC INTERNATIONAL ENERGY CONSERVATION CODE (2012 EDITION) NATIONAL ELECTRIC CODE (NFPA70) (2011 EDITION)

ACCESSIBILITY CODE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. GUIDELINES FOR DESIGN AND CONSTRUCTION OF HOSPITALS (2018 EDITION)

NOTE; IN INSTANCES WHERE THE SPECIFIC REQUIREMENTS OF ICC AND NFPA 101 DIFFER, THE MORE STRINGENT OF THE TWO CODES SHALL APPLY.)

### OCCUPANCY **EDUCATIONAL - GROUP E** CONSTRUCTION TYPE UNCHANGED

GENERAL BUILDING LIMITATIONS ALLOWABLE HEIGHT - UNCHANGED ALLOWABLE STORIES - UNCHANGED

OCCUPANT LOAD

ALLOWABLE AREA - UNCHANGED

UNCHANGED

INTERIOR FINISHES

UNCHANGED **EGRESS** 

UN-EFFECTED AND UNCHANGED

Architect

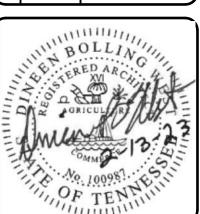
Kingsport, TN 37660 Phn (423) 349-7760 Fax (423) 349-7413 www.grcinc.com

130 Regional Park Dr

THIS DRAWING AS PREPARED BY CainRashWest Architects SHALL BE USED FOR THE SPECIFIC IDENTIFIED PROJECT ONLY, THIS DRAWING IS THE PROPERTY OF CainRashWest Architects AND SHALL BE RETURNED PER THEIR REQUES

no. date rev. description

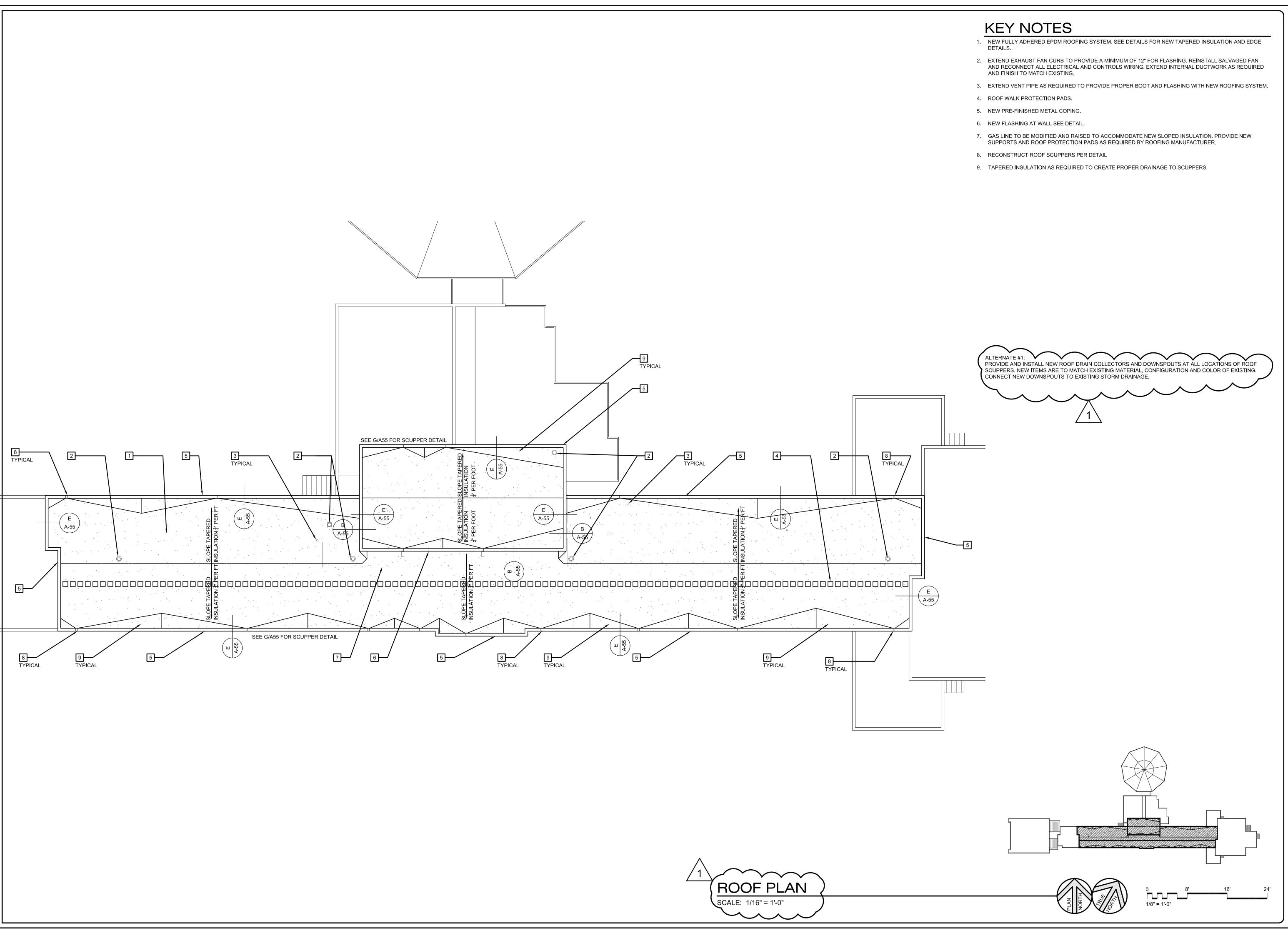
1	02-28-23	ADDENDUM #1



issued	02/13/2023
checked	RDL
drawn	RDL
project no.	2022107

**GENERAL** INFORMATION

G-01



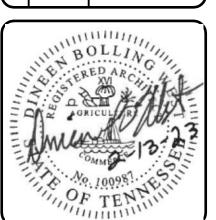




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no.	date	rev. description
1	02-24-23	ADDENDUM #1



issued	02/13/2023
checked	RDL
drawn	RDL
project no.	2022107

**ROOF PLAN** 

A-15

### BID FORM

TO:	OWNER: ADDRESS:	Sullivan County Tennessee 3411 Highway 126 Blountville, TN 37617	
BID TRANSMITT	ED IN CARE OF:	Michelle Ramey, Chief Deputy Purchasing Agent Sullivan County Courthouse 3411 Highway 126 Blountville, TN 37617	
FROM: BIDDER:_			
ADDRESS:			
TELEPHONE:			
TN. LICENSE NO	:		
LICENSE EXPIRA	ATION DATE:		
THE ABOVE STA	ATED BIDDER IS:		
	AN INDIVIDUAL		
A CORPORATION			
A PARTNERSHIP			
A JOINT VENTURE CONSISTING OF:			

AND IS LICENSED TO DO BUSINESS IN THE STATE OF TENNESSEE, FOR THE WORK SPECIFIED.

Miller Perry Elementary School Reroof Project Kingsport, TN GENTLEMEN:

- Having examined the plans and specifications, having visited the site of the proposed work, and being completely familiar with the local conditions affecting the cost of the work, and having carefully examined the construction bidding documents with addenda prepared by Cain Rash West Architects and entitled "MILLER PERRY ELEMENTARY SCHOOL REROOF PROJECT"
- 2. I, (We) propose to execute the portion of the work identified as "Sullivan County Miller Perry Elementary School Reroof Project" for the stipulated sum of: (sums shall be in written and numerical form)

Lump Sum Base Bid	DOLLARS
(\$	).
Proposed Project Duration	( ) Days
the Schedule of Values. Liquidated Damage	
<b>Elementary School Reroof Alternate One (1</b>	ork identified as " Sullivan County Miller Perry ) Provide and install new roof drain collectors idrainage" for the stipulated sum of: (sums shall
ADD/DEDUCT	DOLLARS.
(\$	)

- 4. The undersigned agrees to complete all of the work described by the "Contract Documents" and have the space fully ready for occupancy, including any Alternates.
- 5. The undersigned agrees to commence work under this contract within three working days of receipt of Notice to Proceed.
- 6. The undersigned agrees that this bid shall be good and may not be withdrawn for a period of (30) thirty calendar days after the scheduled closing time for receiving bids.

# Miller Perry Elementary School Reroof Project Kingsport, TN

7. The undersigned, upon receipt of written notice of the acceptance of this bid, agrees to deliver, to the owner or his agent, the architect, the required performance bond, labor and material payment bond and certificate of insurance in accordance with the specifications and instructions to bidders.

The undersigne	d hereby acknowledges receipt of:	
	ADDENDUM NO.	DATE
This proposal is	s respectfully submitted	
	By:	<del> </del>
	Title:	
	Firm name:	
	Business address:	
	(Seal if this bid is submitted by a Corporation)	

This Bid Form consists of Three (3) pages. END OF BID FORM