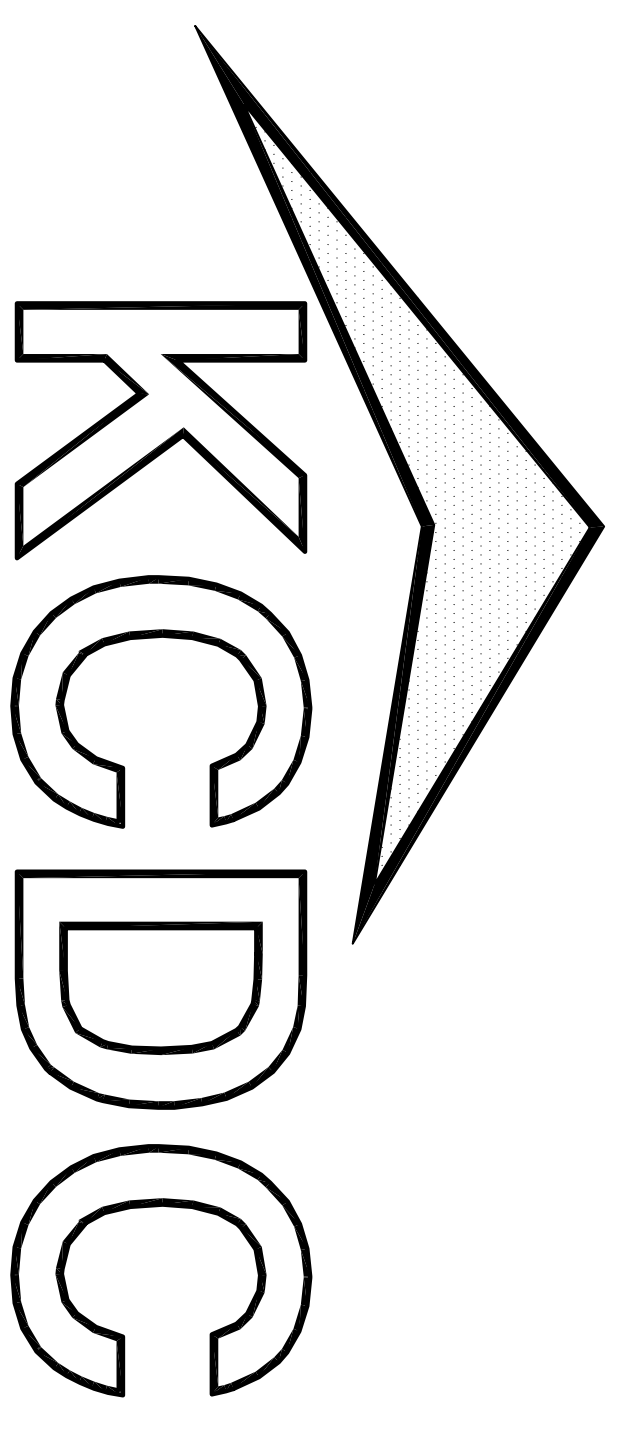


Renovations to:

Montgomery Village

Apartments

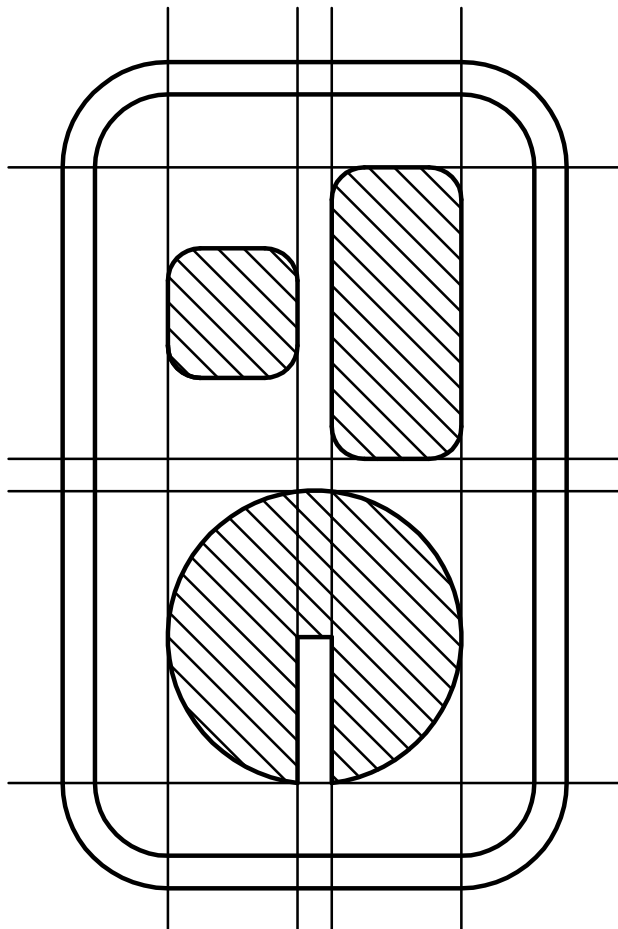
Knoxville, Tennessee



Knoxville's Community Development Corporation

Architect:

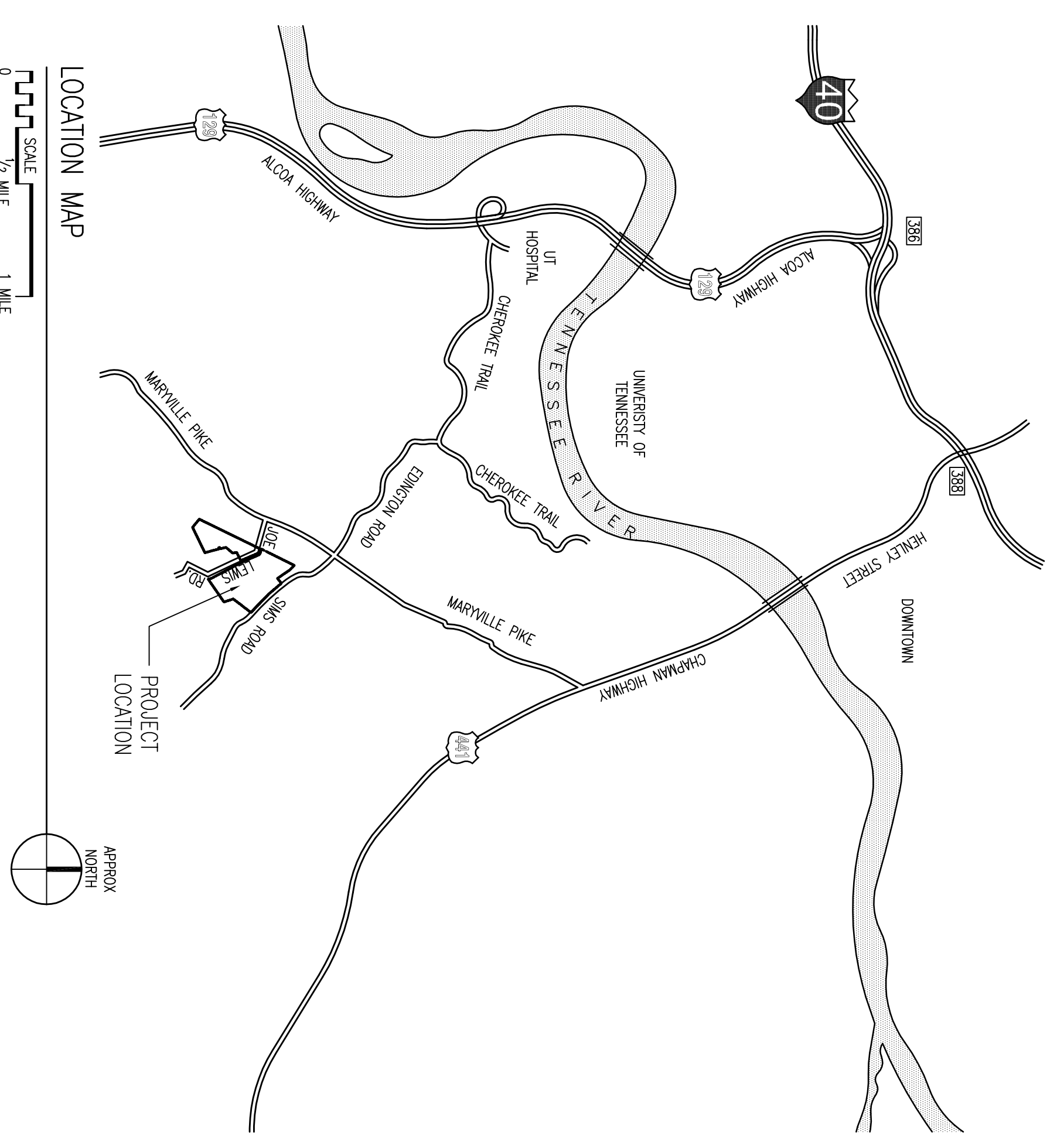
Thomas Caldwell, Architect



Consultants:



LOCATION MAP

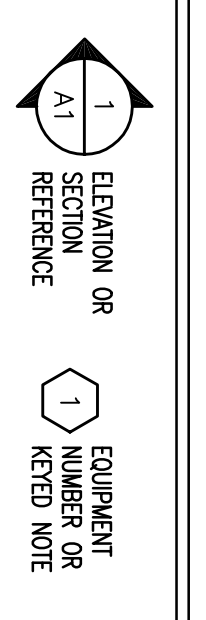


NOTE: THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE SERVICES OF A LICENSED SURVEOR TO MARK AND DENOTE THE ELEVATIONS AND SLOPES OF ALL NEW PAVERS, LANDINGS AND SIDEWALKS FOR THIS PROJECT, AND TO PROVIDE CERTIFICATION OF THE ACCURACY OF THE SURVEY DATA. ALL DOCUMENTS PRIOR TO POURING CONCRETE.

ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including AC.T, AL.T, ALUM, ASPHL, etc.

GRAPHIC SYMBOLS



GENERAL NOTES

- 1. ALL ITEMS NOTED TO BE DESIGNED BY OWNER, OTHERS, OR MANUFACTURERS SHALL BE RESPONSIBILITY FOR THESE ITEMS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THESE ITEMS.

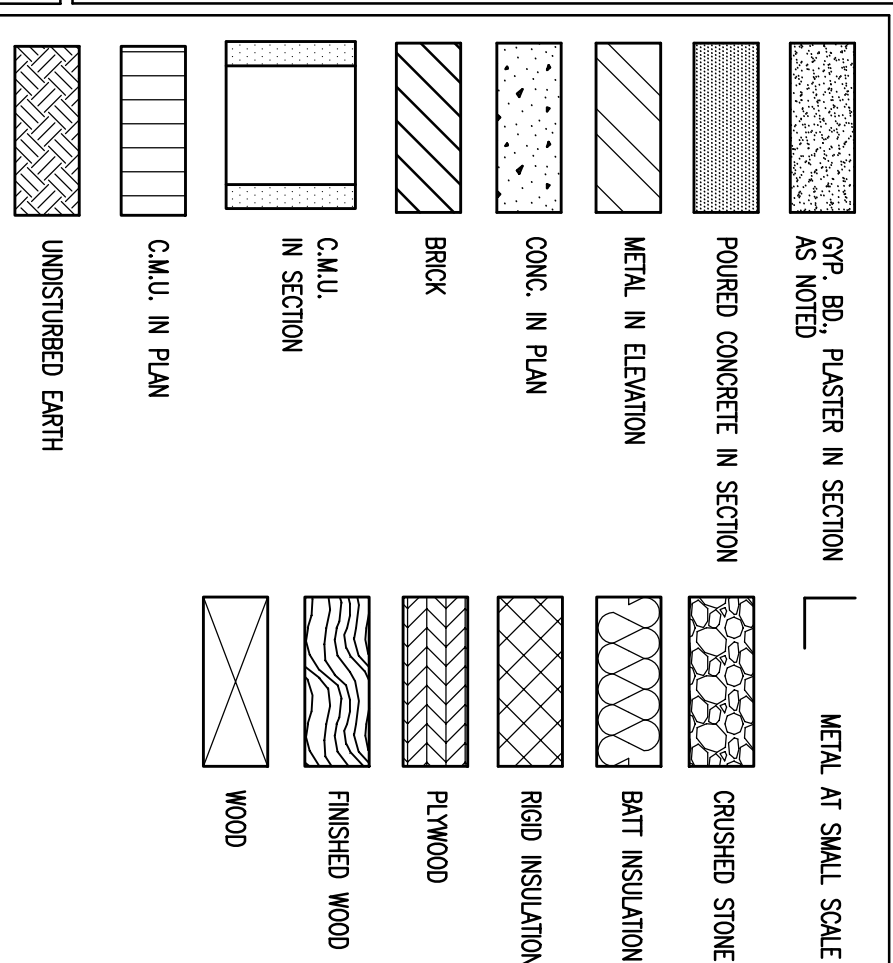
JOB CONDITIONS

- 1. COORDINATE WITH OWNER AND TENANTS AND PROVIDE DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK TO ENSURE UNINTERRUPTED PROGRESS OF CONSTRUCTION OF THE BUILDING. COMMENCEMENT OF WORK SHALL BE WITHIN 10 BUSINESS DAYS OF THE DATE OF THE CONTRACT SIGNATURE.

PROJECT INFORMATION

PROJECT NAME: RENOVATIONS TO: MONTGOMERY VILLAGE APARTMENTS
OWNER'S NAME & ADDRESS: KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION
ARCHITECT: THOMAS CALDWELL, ARCHITECT

MATERIALS LEGEND



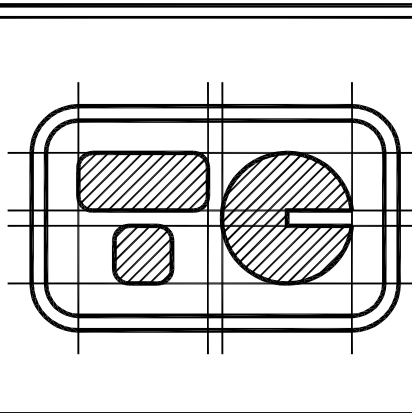
DRAWING INDEX

Architectural drawing index listing sheets: C, SSI, S1, A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, E1, E2, E3, E4, E5, E6, E7, E8, E9, E10.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR: MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

THOMAS CALDWELL, ARCHITECT
6500 PAPERMILL DRIVE, SUITE 211
KNOXVILLE, TENNESSEE 37919-4819
(865) 588-0860 (865) 558-9844/FAX
HTTP://WWW.TCARCHITECT.COM



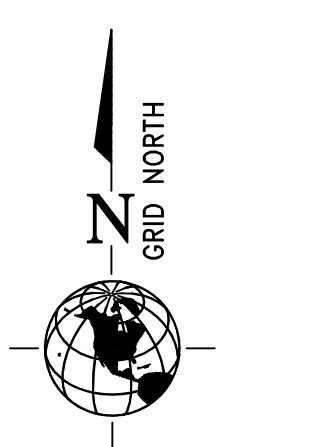
Project information fields: SHEET: 1 OF 25, DRAWING NO.: C, DATE: 02/22/18, DRAWN BY: VAD, COMM. NO.: 1802

DRAINAGE STRUCTURE KEY		
DRAINAGE STRUCTURE	TOP ELEVATION	INVERT ELEVATION
CB1	883.78'	880.78'
CB2	883.75'	880.65'
CB3	916.28'	910.28'
CB4	916.25'	912.10'
CB5	926.23'	921.93'
CB6	931.33'	924.73'
CB7	924.35'	921.00'
CB8	929.62'	922.72'
CB9	929.36'	923.46'
CB10	928.95'	925.05'
CB11	920.43'	915.83'
CB12	920.41'	914.21'
CB13	945.62'	939.72'
CB14	969.84'	965.54'
CB15	910.36'	905.06'
CB16	910.63'	902.23'
CB17	911.84'	905.09'
CB18	917.58'	911.88'
CB19	918.32'	913.02'
CB20	923.05'	915.95'
CB21	937.23'	930.33'
CB22	933.84'	927.49'
CB23	931.67'	926.02'
CB24	931.77'	925.47'
CB25	928.16'	924.16'
CB26	935.93'	928.63'
CB27	936.64'	931.74'
CB28	909.79'	FULL OF DEBRIS
CB29	907.67'	899.67'
CB30	908.82'	904.82'
CB31	911.39'	908.09'
CB32	920.30'	916.65'
CB33	905.47'	901.17'
CB34	905.44'	898.24'
CB35	901.15'	894.05'
CB36	885.72'	880.12'
CB37	886.63'	879.73'
CB38	870.11'	FULL OF DEBRIS
CB39	870.29'	866.99'
CB40	933.95'	930.95'
CB41	934.02'	929.72'
CB42	933.65'	929.65'
DROP INLET	933.60'	928.80'

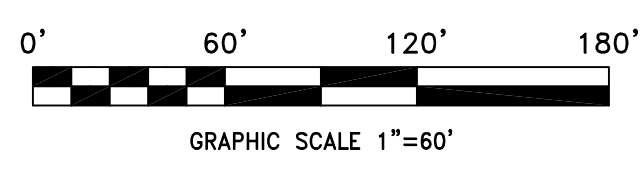
SANITARY SEWER STRUCTURE KEY		
SEWER STRUCTURE	TOP ELEVATION	INVERT ELEVATION
SSMH1	882.38'	876.53'
SSMH2	885.24'	UNABLE TO OPEN
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SSMH7	932.03'	919.13'
SSMH8	925.70'	922.35'
SSMH9	925.47'	917.47'
SSMH10	914.51'	905.51'
SSMH11	912.99'	904.04'
SSMH12	910.78'	903.58'
SSMH13	908.51'	902.51'
SSMH14	909.00'	902.30'
SSMH15	908.72'	900.72'
SSMH16	908.23'	899.93'
SSMH17	904.46'	896.16'
SSMH18	912.66'	904.01'
SSMH19	903.72'	899.12'
SSMH20	888.82'	884.97'
SSMH21	870.69'	862.44'
SSMH22	910.86'	904.61'
SSMH23	911.23'	904.88'
SSMH24	913.12'	905.32'
SSMH25	917.88'	911.88'
SSMH26	926.91'	917.71'
SSMH27	923.10'	FULL
SSMH28	937.71'	927.31'
SSMH29	919.41'	911.11'
SSMH30	906.09'	902.19'

LEGEND	
PP	POWER POLE
LP	LIGHT POLE
SP	SERVICE POLE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN
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WV	WATER VALVE
GM	GAS METER
GV	GAS VALVE
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CO	CLEAN OUT
TPED	TELEPHONE PEDESTAL
WBX	WATER BOX
SOV	SHUT OFF VALVE
FH	FIRE HYDRANT
TREE	TREE

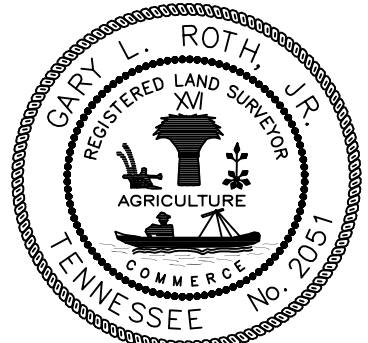
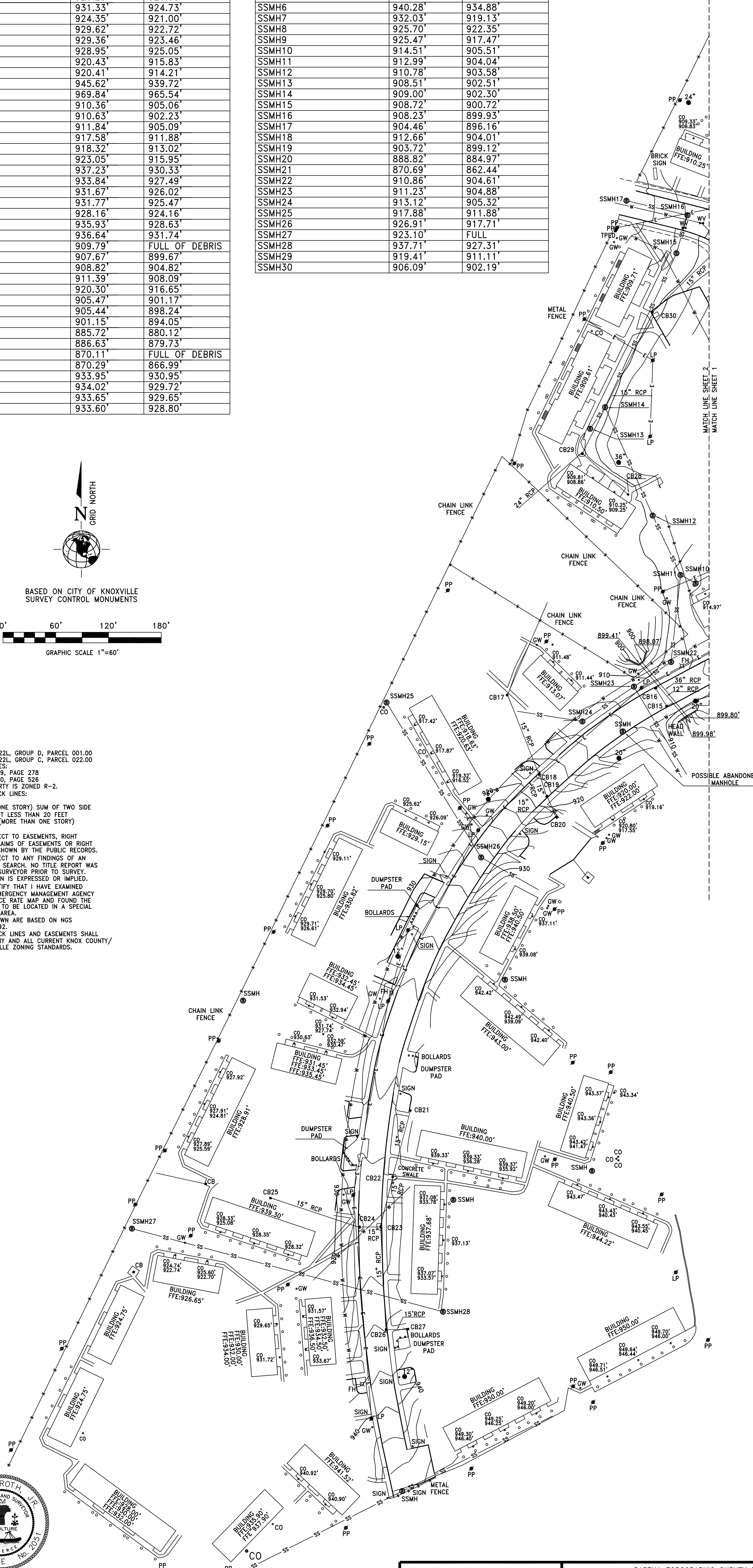
LINE LEGEND	
---	PROPERTY LINE
SS	SANITARY SEWER LINE
E	OVERHEAD ELECTRIC LINE
G	GAS LINE
W	WATER LINE
T	TELEPHONE LINE
X	FENCE LINE



BASED ON CITY OF KNOXVILLE SURVEY CONTROL MONUMENTS



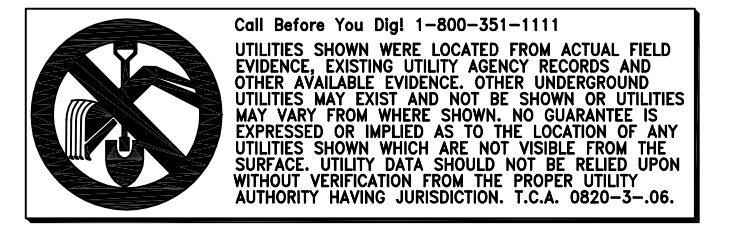
- NOTES:
- 1) CLT TAX MAP 122L, GROUP D, PARCEL 001.00
 - 2) CLT TAX MAP 122L, GROUP C, PARCEL 022.00
 - 3) DEED REFERENCES: DEED BOOK 1489, PAGE 278; DEED BOOK 1490, PAGE 526
 - 4) SUBJECT PROPERTY IS ZONED R-2.
 - 5) BUILDING SETBACK LINES: FRONT: 25 FEET; SIDE: 8 FEET (ONE STORY) SUM OF TWO SIDES; REAR: 25 FEET; YARDS NOT LESS THAN 20 FEET; 12 FEET (MORE THAN ONE STORY)
 - 6) PROPERTY SUBJECT TO EASEMENTS, RIGHT OF WAYS OR CLAIMS OF EASEMENTS OR RIGHT OF WAYS NOT SHOWN BY THE PUBLIC RECORDS.
 - 7) PROPERTY SUBJECT TO ANY FINDINGS OF AN ACCURATE TITLE SEARCH. NO TITLE REPORT WAS FURNISHED TO SURVEYOR PRIOR TO SURVEY.
 - 8) NO TITLE OPINION IS EXPRESSED OR IMPLIED.
 - 9) THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.
 - 10) ELEVATIONS SHOWN ARE BASED ON NGS MONUMENT #E292.
 - 11) BUILDING SETBACK LINES AND EASEMENTS SHALL CONFORM TO ANY AND ALL CURRENT KNOX COUNTY/CITY OF KNOXVILLE ZONING STANDARDS.



Surveyors Certification:
I hereby certify that this is a Category 1 Survey and the ratio of precision of the unadjusted survey exceeds 1:10,000 as shown herein. This survey has been prepared in accordance with the standards of practice of land surveys in the State of Tennessee.

Gary L. Roth, Jr. TN. RLS#2051

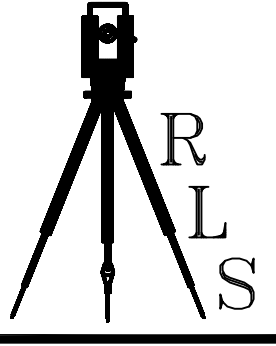
THIS SURVEY IS SUBMITTED FOR THE SOLE AND EXCLUSIVE USE AND BENEFIT OF THE PERSON OR INSTITUTION NAMED ON THIS SURVEY. NO OTHER USE OR FURTHER USE MAY BE MADE OF THIS SURVEY WITHOUT THE PRIOR WRITTEN CONSENT OF GARY L. ROTH, JR. IN. R.L.S. NO. 2051.



PROJECT NO.	10-011
FILENAME:	10-011.DWG SHEET NO. 2 OF 2
DRAWN BY:	GLR
DATE OF FIELD SURVEY:	1/25/10 - 2/11/10
SCALE:	1" = 60'
DATE:	2/10/10

PARTIAL TOPOGRAPHIC SURVEY FOR: MONTGOMERY VILLAGE	
CITY BLOCK NO. 25912 AND 25950 DAYLILY DRIVE, COOK DRIVE AND JOE LEWIS ROAD	
9TH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE WITHIN THE 25TH WARD OF THE CITY OF KNOXVILLE	
CLIENT:	PARTNERS DEVELOPMENT 510 UNION AVENUE KNOXVILLE, TN. 37902
OWNER:	KNOX COUNTY HOUSING AUTHORITY 901 BROADWAY KNOXVILLE, TN. 37919

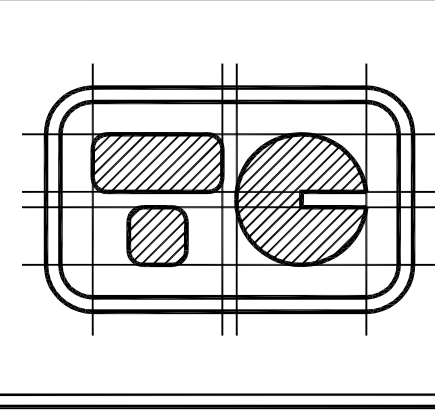
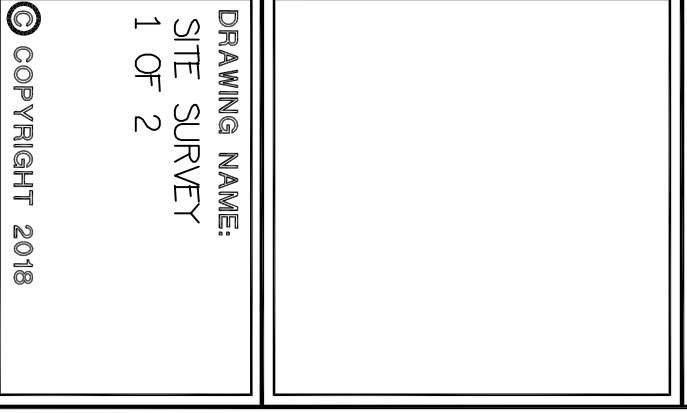
ROTH LAND SURVEYING
Gary L. Roth, Jr., RLS
6718 Kern Road
Knoxville, TN. 37918
PH: (865) 689-8186
FAX: (865) 687-3231



2 OF 25

SHEET:	2 OF 25
DRAWING NO.:	SS1
DATE:	2/10/10
DRAWN BY:	CLR
COMM. NO.:	1802

REVISION DATE:	
COPYRIGHT:	2010
DRAWING NAME:	SITE SURVEY
NO.:	1 OF 2



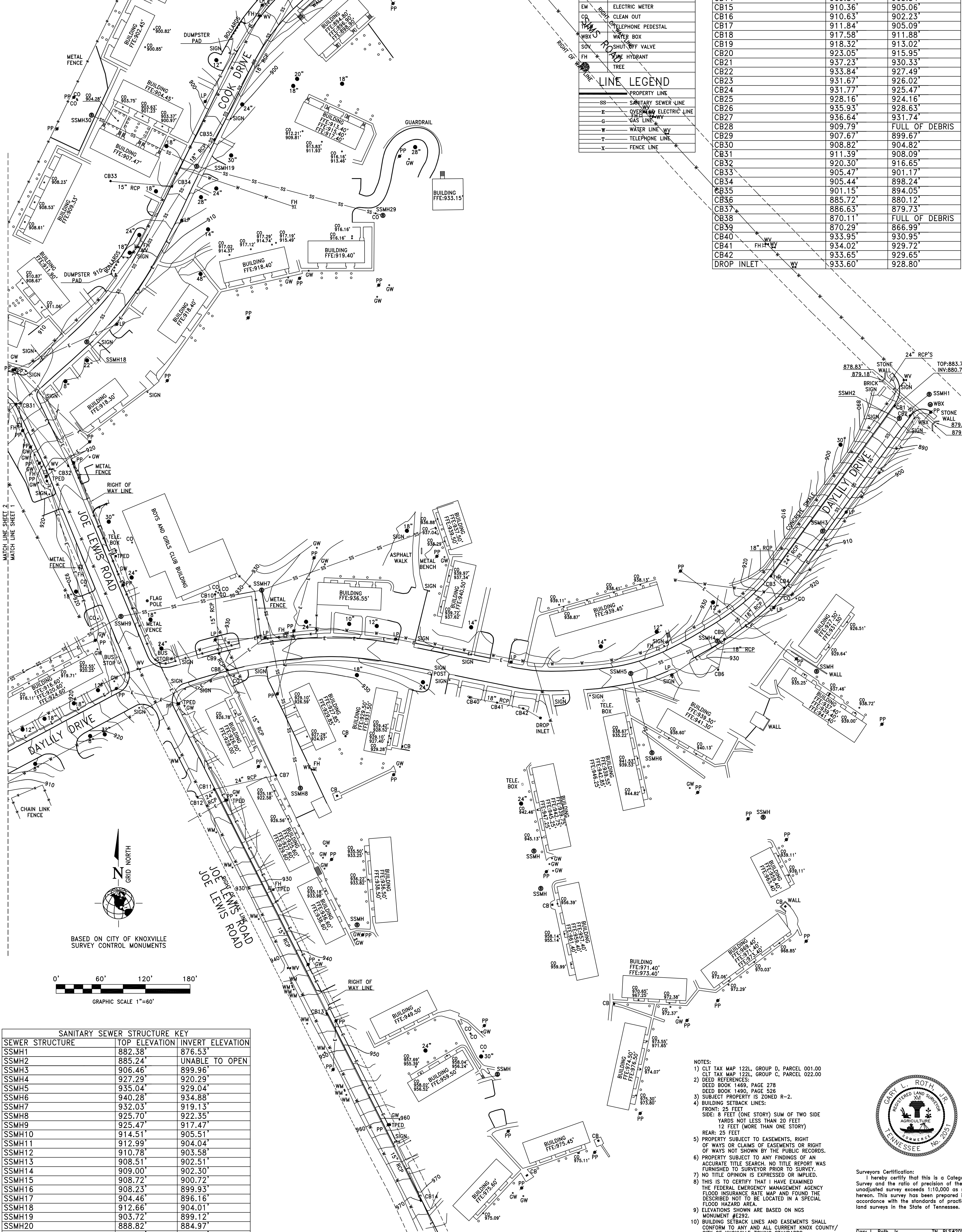
THOMAS CALDWELL, ARCHITECT
6500 PAPERMILL DRIVE, SUITE 211
KNOXVILLE, TENNESSEE 37919-4819
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ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

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Call Before You Dig! 1-800-351-1111
 UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD SURVEY. EXISTING UTILITY RECORDS AND OTHER AVAILABLE EVIDENCE. OTHER UNDERGROUND UTILITIES MAY EXIST AND NOT BE SHOWN OR UTILITIES MAY VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE LOCATION OF ANY UTILITIES SHOWN WHICH ARE NOT VISIBLE FROM THE SURFACE. UTILITY DATA SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION. T.C.A. §202-3-06.



LEGEND

- PP POWER POLE
- LP LIGHT POLE
- SP SERVICE POLE
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- ⊙ SDMH STORM DRAIN MANHOLE
- ⊙ SSMH SANITARY SEWER MANHOLE
- CB CATCH BASIN
- GW GUY WIRE
- WM WATER METER
- WV WATER VALVE
- GM GAS METER
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- CO CLEAN OUT
- TELEPHONE PEDESTAL
- WBX WATER BOX
- SOV SHUT OFF VALVE
- FH FIRE HYDRANT
- T TREE

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- PROPERTY LINE
- SS SANITARY SEWER LINE
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SSMH30	906.09'	902.19'

- NOTES:**
- CLT TAX MAP 122L, GROUP D, PARCEL 001.00
 - CLT TAX MAP 122L, GROUP C, PARCEL 022.00
 - DEED BOOK 1448, PAGE 278
 - DEED BOOK 1490, PAGE 526
 - SUBJECT PROPERTY IS ZONED R-2.
 - BUILDING SETBACK LINES:
 FRONT: 25 FEET
 SIDE: 8 FEET (ONE STORY) SUM OF TWO SIDE YARDS NOT LESS THAN 20 FEET
 REAR: 25 FEET
 12 FEET (MORE THAN ONE STORY)
 - PROPERTY SUBJECT TO EASEMENTS, RIGHT OF WAYS OR CLAIMS OF EASEMENTS OR RIGHT OF WAYS NOT SHOWN BY THE PUBLIC RECORDS.
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Gary L. Roth, Jr. TN: RLS#2051

PROJECT NO. 10-011	PARTIAL TOPOGRAPHIC SURVEY FOR: MONTGOMERY VILLAGE	ROTH LAND SURVEYING Gary L. Roth, Jr., RLS 6718 Kern Road Knoxville, TN. 37918 PH: (865) 689-8186 FAX: (865) 687-3231
FILENAME: 10-011.DWG SHEET NO. 2 OF 2	CITY BLOCK NO. 25912 AND 25950 DAYLILY DRIVE, COOK DRIVE AND JOE LEWIS ROAD	
DRAWN BY: GLR	9TH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE WITHIN THE 25TH WARD OF THE CITY OF KNOXVILLE	
DATE OF FIELD SURVEY: 1/25/10 - 2/11/10	CLIENT: PARTNERS DEVELOPMENT 510 UNION AVENUE KNOXVILLE, TN. 37902	
SCALE: 1" = 60'	OWNER: KNOX COUNTY HOUSING AUTHORITY 901 BROADWAY KNOXVILLE, TN. 37919	

3 OF 25	SHEET: 1802	DATE: 2/10/10	DRAWN BY: CLR	REVISION DATE:	COPYRIGHT 2018	DRAWING NAME: SITE SURVEY 2 OF 2
SS2	DRAWING NO.:	COADM. NO. 1802	DATE: 2/10/10	BY: CLR	2018	2 OF 2

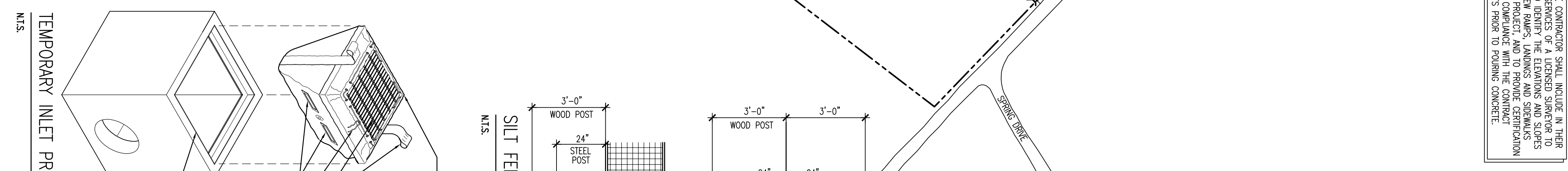
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ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
 KNOXVILLE, TENNESSEE



SITE PLAN
1" = 100'-0"



TEMPORARY INLET PROTECTION

NOTE: TEMPORARY INLET PROTECTION SHALL BE CLEANED ON A REGULAR BASIS AS RECOMMENDED BY THE MANUFACTURER - DO NOT ALLOW INLET PROTECTION DEVICE TO FALL BEYOND THE TOP OF THE BRASS OUTLET LOADERS

SILT FENCE

TEMPORARY INLET PROTECTION EQUAL TO FLOODGATE T-BAG WITH FOSSIL ROOK OIL ABSORBENT POUCHES AS MANUFACTURED BY KINGSAP ENTERPRISES, SANTA ROSA, CA (800) 579-8819 OR REGULAR FLOW AS MANUFACTURED BY ACE ENVIRONMENTAL, RICHMOND, VA. (800) 448-3638

SITE NOTES

- SUITABILITY OF SITE SOIL FOR CONSTRUCTION SHALL BE DETERMINED BY OTHERS. MECHANICALLY COMPACTED SOIL SHALL BE COMPACTED TO STATE SPECIFICATIONS AND VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER WITH ASTM D-4988. ARCHITECT ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.
- ALL SITE INFORMATION IS TAKEN FROM A PARCELS TOPOGRAPHIC SURVEY BY ROY LAND SURVEYING DATED FEBRUARY 10, 2010 (SEE SHEETS SS1 AND SS2) AND FROM OTHER DRAWINGS PROVIDED BY THE OWNERS ON JANUARY 10, 2018. INFORMATION ON EXISTING PARKING SPACE STRIPING IS APPROXIMATED FROM ARCHITECT'S VISUAL INSPECTION OF THE SITE. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING SITE INFORMATION.
- ALL ROAD ARE FIVE FEET UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND INSET ELEVATION OF ALL UNDERGROUND UTILITIES AND VERIFY PROPERTY CORNERS AND TOPOGRAPHY BEFORE ANY CONSTRUCTION IS STARTED.
- EXISTING WORK SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT. PROTECTING AND MAINTAINING EXISTING WORK SHALL BE ACCOMPLISHED IN THE FIELD BY TESTING COMPANY TO TEST ALL AREAS REQUIRING PROTECTION. THE SERVICES OF EXISTING WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE CITY OF KNOXVILLE.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.

GRADING AND EROSION NOTES

- PRIOR TO GRADING CONTRACTOR SHALL STRIP SITE OF ALL VEGETATION AND ALL EXISTING CONSTRUCTION. ALL EXISTING CONSTRUCTION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE. ALL EXISTING CONSTRUCTION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AND USE ALL MEANS NECESSARY TO PREVENT SEDIMENT FROM EXITING THE SITE.
- SILT FENCES SHALL BE PLACED PREVENTING ALL CATCH BASINS OR OTHER POLLUTION CONTROL DEVICES FROM PROJECT ACCESS AND SHALL BE MAINTAINED AT ALL OTHER LOCATIONS DESIGNATED BY THE ARCHITECT AND ALL APPLICABLE AUTHORITIES.
- SILT FENCES SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN APPROXIMATELY 50% FILLED WITH SUCH SEDIMENT.
- ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL, EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENTS AS DESIGNATED BY THE ARCHITECT AND ALL APPLICABLE AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CHANGES IN EXISTING CONDITIONS, FEATURES, 30' ELEVATIONS, OR UTILITIES SHOWN ON THE SURVEY AND/OR SITE PLAN.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE INSTALLATION OF ALL UTILITIES TO VERIFY INVERTS.
- ALL GRADED AREAS INCLUDING SLOPES ARE TO BE MULCHED AND SEEDED AS SOON AS POSSIBLE AFTER GRADING IS COMPLETED. SOIL ALL SLOPES GREATER THAN 2:1.
- ALL GRADING AND DRAINAGE OBSTACLES OF THE CITY OF KNOXVILLE SHALL BE FOLLOWED.
- APPLY TEMPORARY SEEDING. SEEDING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SLOPES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF ALL EROSION CONTROL MEASURES. INSPECTION OF EROSION CONTROL MEASURES WILL BE PERFORMED ON A BI-WEEKLY BASIS, BEFORE ANTICIPATED STORM EVENTS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.5 INCHES. INSPECTION CERTIFICATIONS WILL BE KEPT ON RECORD BY THE CONTRACTOR. AS RESOURCES RESEARCH CENTER CONFER IN HANDBOOKS OF EROSION PREVENTION & SEDIMENT CONTROL OR EQUIVALENT COURSE.
- THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION POLLUTION PREVENTION CONTRACTS THROUGHOUT THE LIFE OF THE PROJECT.
- AGREED DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY AGREED DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE GRADING PERMITEE.
- INSTALL STORMWATER BARRIER (SS-15) OR SAND BAC BARRIER (SS-16) WHERE INDICATED IF NECESSARY, AS DIRECTED BY THE CITY OF KNOXVILLE.

THOMAS CALDWELL, ARCHITECT
6500 PAPERMILL DRIVE, SUITE 211
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HTTP://WWW.TCARCHITECT.COM

THOMAS CALDWELL
REGISTERED PROFESSIONAL ARCHITECT
STATE OF TENNESSEE
No. 027098
Expires 12/31/2018

REVISIONS

NO.	DATE	DESCRIPTION
1	02/22/18	DATE
2		DRAWN BY: VAD
3		CONTR. NO.: 1802
4		SHEET: DRAWING NO.: A1

4 OF 25

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

NOTE: THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE SERVICES OF A LICENSED SURVEYOR TO MARK AND IDENTIFY THE ELEVATIONS AND SLOPES OF ALL NEW SPACES, LANDSCAPE AND SIDEWALKS FROM THE EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DOCUMENTS PRIOR TO POURING CONCRETE.

SITE PLAN LEGEND

APARTMENT BUILDING: 1416 - STREET ADDRESS
EXAMPLE: 1416 DANLEY DRIVE

UPSTAIRS UNITS: 1416 - STREET ADDRESS
EXAMPLE: 1416 DANLEY DRIVE

DOWNSTAIRS UNITS: 1416 - STREET ADDRESS
EXAMPLE: 1416 DANLEY DRIVE

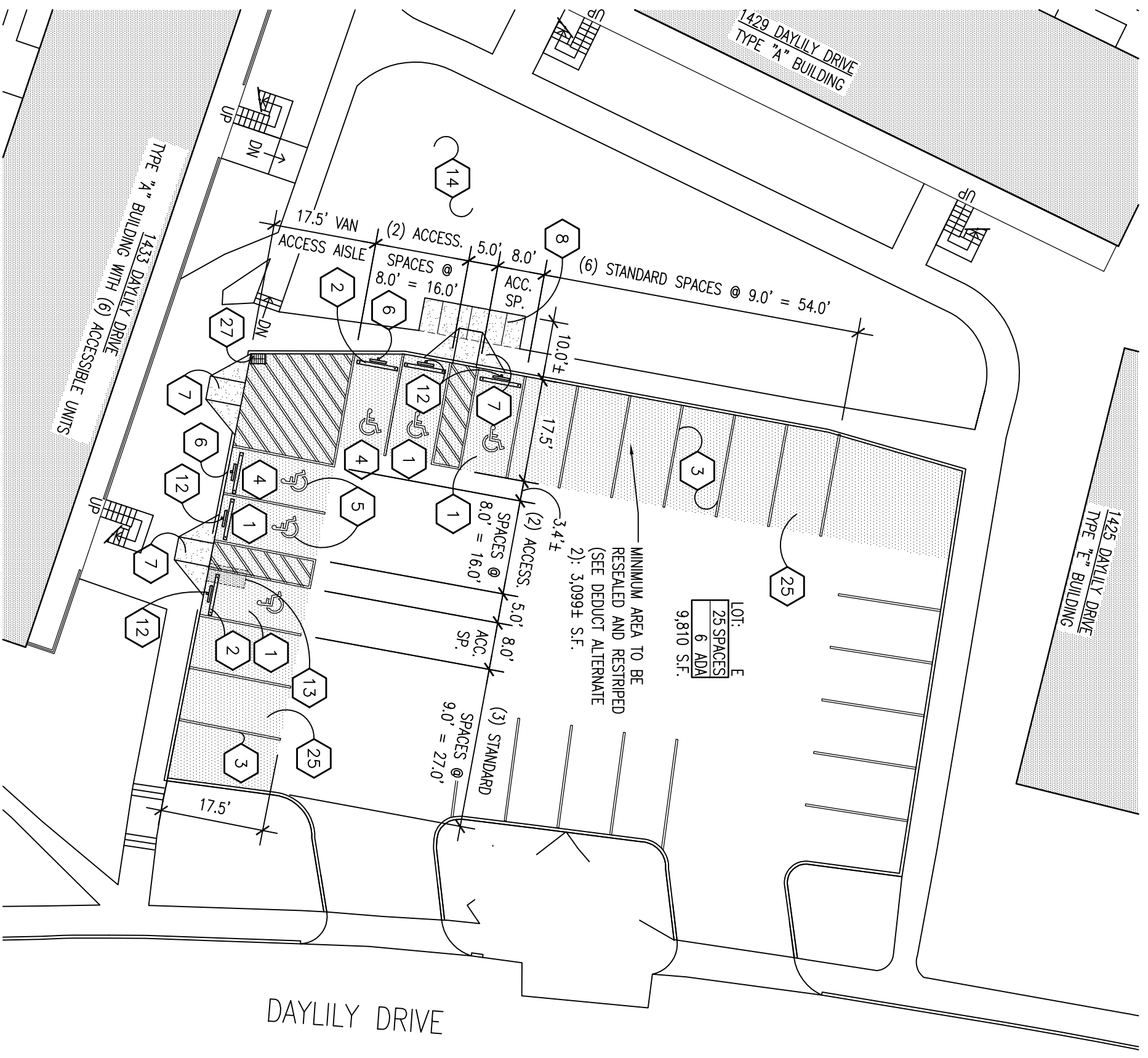
UNIT NUMBERS: SPACE INDICATES DESIGNATED ACCESSIBLE UNIT

NOTE: UNIT AND ADDRESS NUMBERS ARE GIVEN FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL UNIT AND ADDRESS NUMBERS PRIOR TO SCHEDULING WORK.

PARKING LOT: LOT NUMBER, NUMBER OF SPACES (APPROXIMATE), NUMBER OF ACCESSIBLE SPACES (INCLUDING VAN ACCESSIBLE), AREA OF LOT

BUILDING TYPE KEY

BUILDING TYPE	NO. OF UNITS	TOTAL UNITS
A	12	108
B	4	24
C	6	54
D	8	6
E	4	36
F	6	24
G	8	16
H	6	42
I	4	68
J	4	17
K	4	64
L	4	380

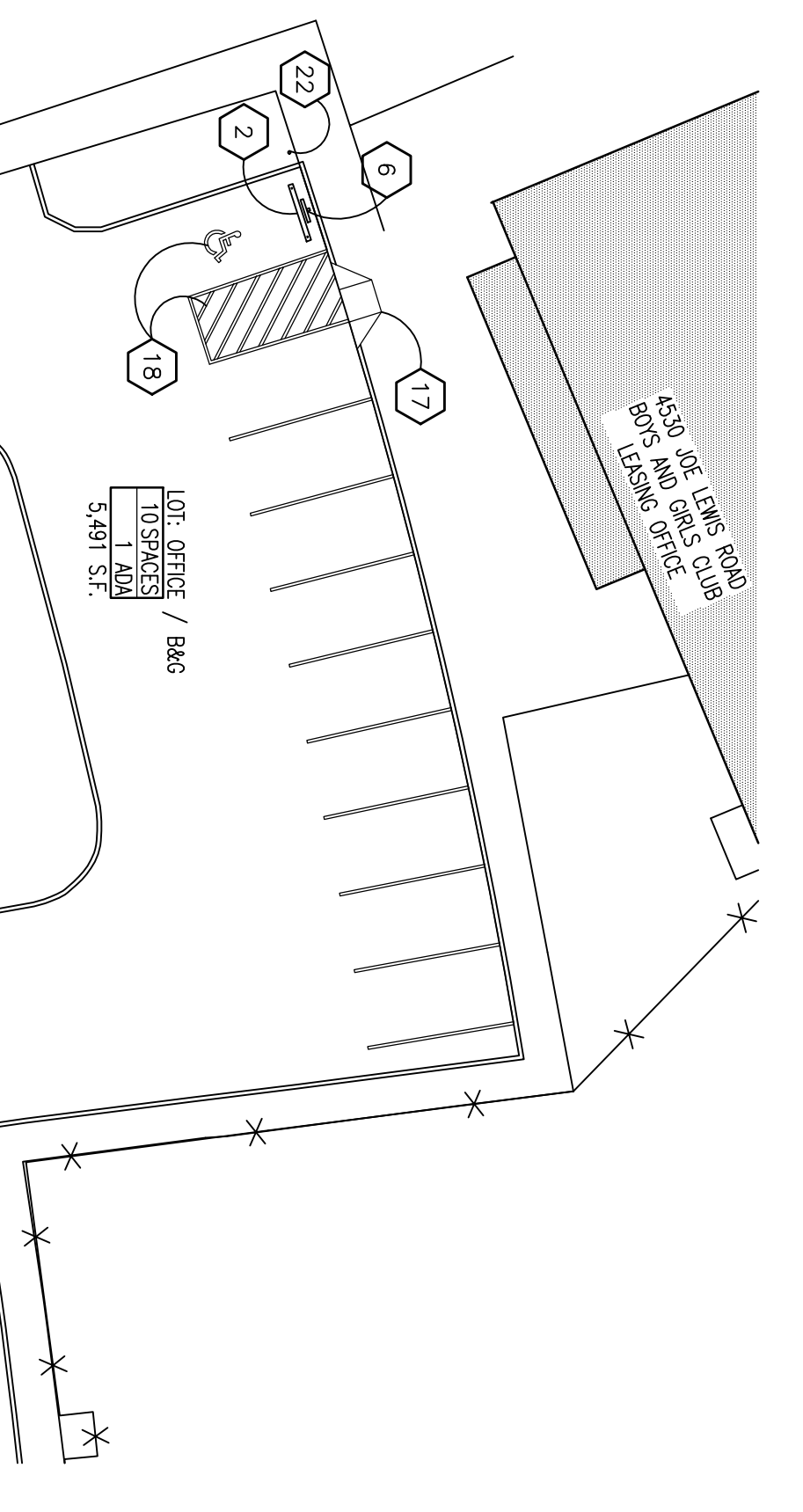


ENLARGED SITE PLAN - PARKING LOT "E"
 1" = 20'-0"
 APPROXIMATE NORTH

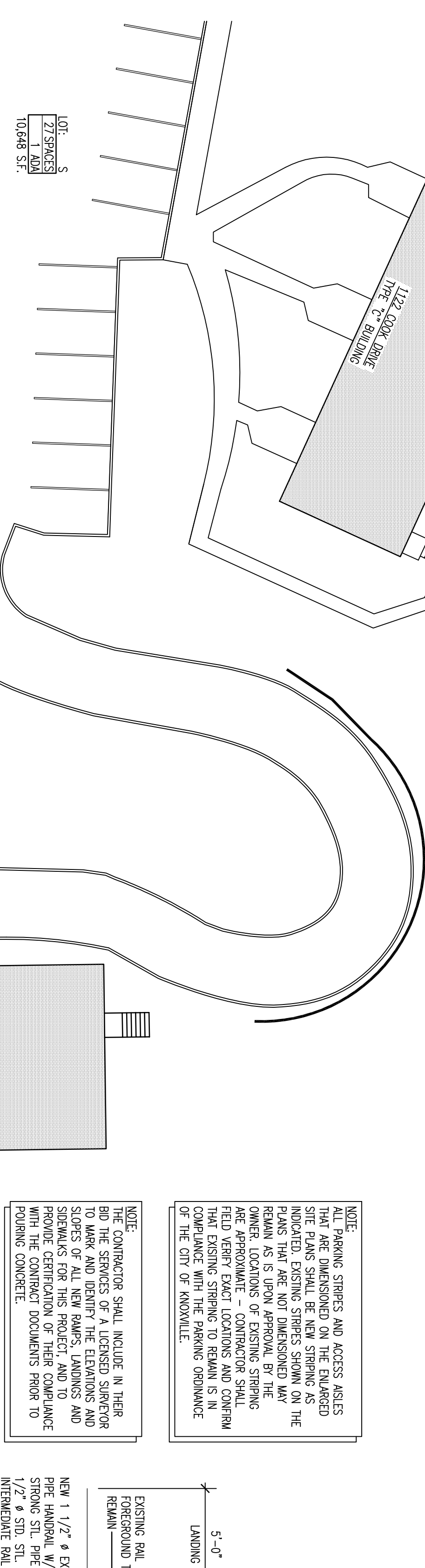


ENLARGED SITE PLAN - PARKING LOT "G"
 1" = 20'-0"
 APPROXIMATE NORTH

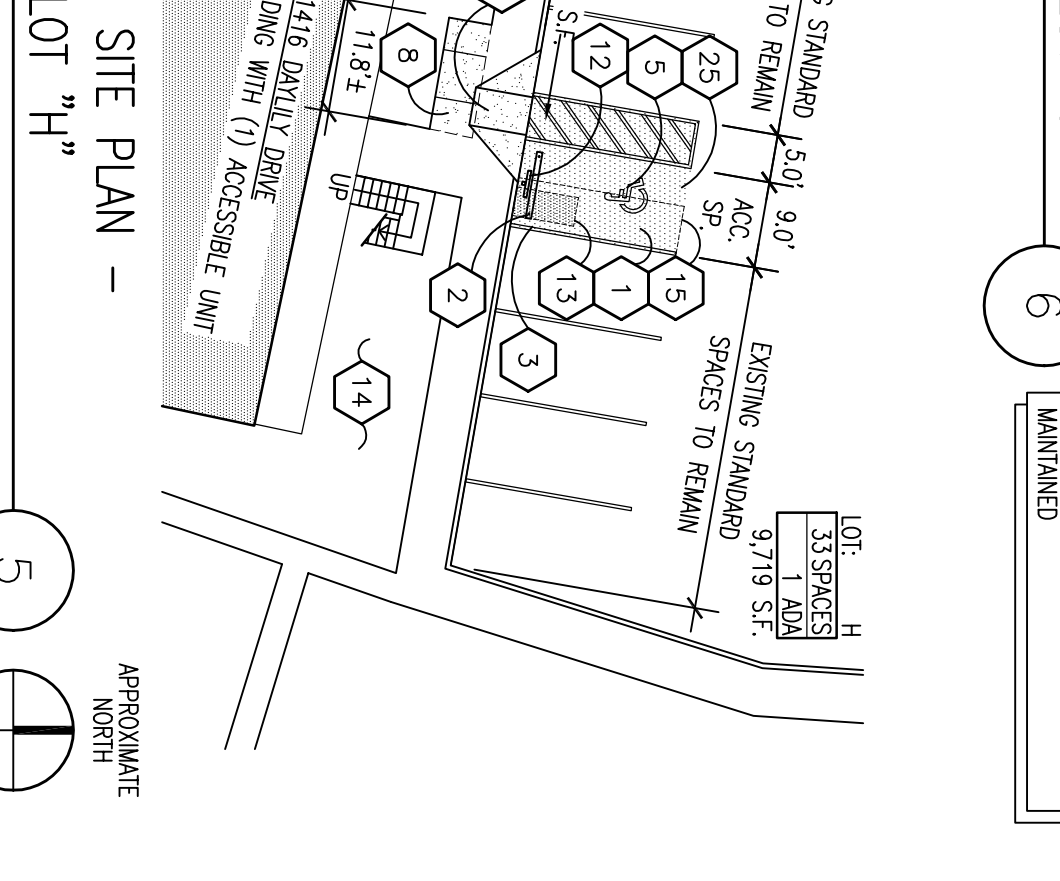
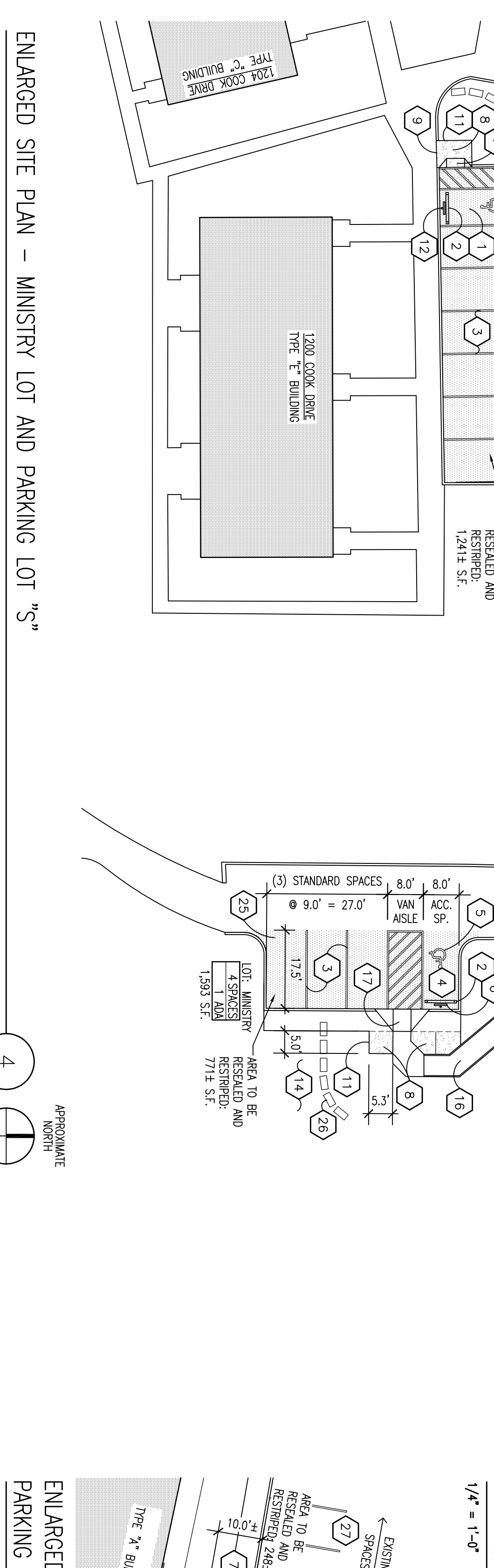
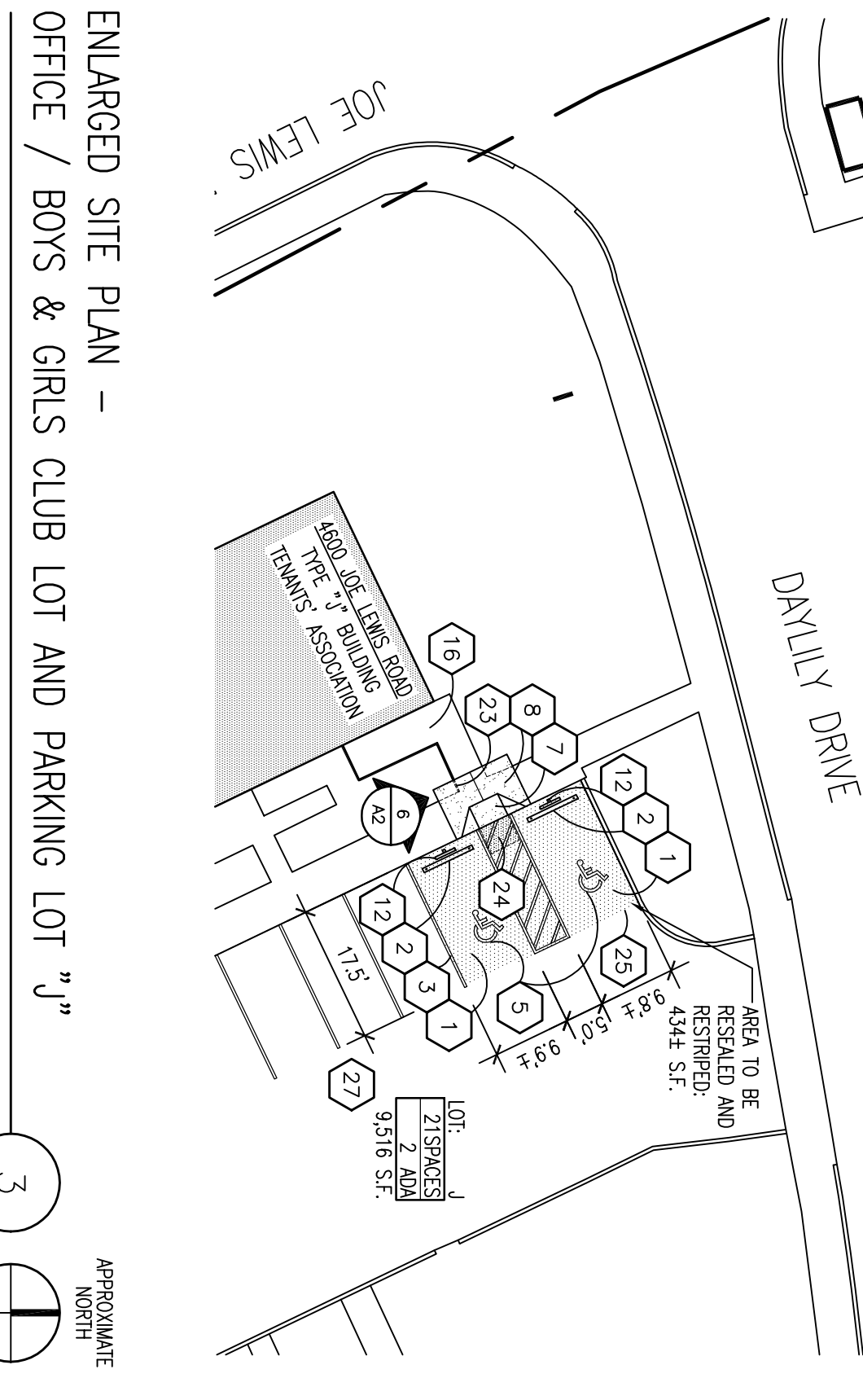
- SITE PLAN KEYED NOTES**
- 1 ACCESSIBLE PARKING SPACE - SEE 2/A3
 - 2 PRECAST CONCRETE WHEELSTOP - TYP - SEE 6/A3
 - 3 4" WIDE PAINTED STRIPES - TYP
 - 4 VAN ACCESSIBLE HANDICAP PARKING SPACE - SEE 2/A3
 - 5 PAINTED HANDICAPPED ENBLEM - TYP - SEE 7/A3
 - 6 POLE MOUNTED HANDICAP SIGN AND VAN ACCESSIBLE SIGN - SEE 8/A3
 - 7 NEW CONCRETE CURB RAMP - SEE 1/A3
 - 8 4" CONC. SIDEWALK W/ 666 W/ 4M/1 4 W/M, ON 4" VAN, GRAVEL FILL W/ CONTROL JOINTS @ 5'-0" O.C. MAX AND EXP. JOINTS @ 20'-0" O.C. MAX W/ CROSS SLOPE OF 1/4" PER FOOT - SEE 3, 4, & 5/A3
 - 9 EXPANSION JOINT - SEE 4/A3
 - 10 CONTROL JOINT - SEE 3/A3
 - 11 SIDEWALK EDGE - SEE 5/A3
 - 12 POLE MOUNTED HANDICAP SIGN (ONLY) - SEE 8/A3
 - 13 EXISTING RAMP AND HANDRAILS TO BE REMOVED - PATCH VOID WITH NEW PAVING TO BE FLUSH WITH EXISTING PAVING - SEE 13 & 14/A3
 - 14 GRASS - RESEED AND STRIP ALL AREAS DISTURBED BY CONSTRUCTION WORK - TYP
 - 15 RELOCATE EXISTING STRIPED ACCESS ASLE AS INDICATED
 - 16 EXISTING RAMP WITH HANDRAILS TO REMAIN
 - 17 EXISTING CURB RAMP TO REMAIN
 - 18 EXISTING HANDICAP PARKING SPACE ENBLEM AND ACCESS ASLE STRIPING TO REMAIN
 - 19 EXISTING CONVENIENCE RAMP (NON-ADA COMPLIANT) TO REMAIN
 - 20 REMOVE EXISTING CONCRETE AND INSTALL NEW CONCRETE SIDEWALK AS REQUIRED TO CREATE LEVEL LANDING AT BOTTOM OF RAMP
 - 21 EXISTING SPEED BUMP TO REMAIN
 - 22 EXISTING SIGNAGE TO BE REMOVED
 - 23 EXISTING HANDRAIL TO BE SHAPENED TO PREVENT OBSTRUCTION OF SIDEWALK - SEE 6/A2
 - 24 EXISTING CONCRETE RAMP TO BE REMOVED - PATCH VOID WITH NEW PAVING TO BE FLUSH WITH EXISTING PAVING - SEE 13 & 14/A3
 - 25 CLEAN AND SEAL ENTIRE AREA TO BE RESURFED WITH A MINIMUM OF (2) COATS OF ASPHALT EMULSION SEAL COAT PRIOR TO APPLICATION OF NEW PAVEMENT MARKINGS
 - 26 CONSTRUCTION RAINOFF FROM LEAVING AREA OF WORK - SEE 2/A1
 - 27 INSTALL TEMPORARY INLET PROTECTION ON EXISTING CATCH BASINS) ADVACENT TO WORK AREAS AS NECESSARY TO PREVENT CONSTRUCTION RAINOFF FROM ENTERING STORM SPEN - FIELD VERIFY EXACT LOCATION - SEE 3/A1



ENLARGED SITE PLAN - PARKING LOT "F"
 1" = 20'-0"
 APPROXIMATE NORTH



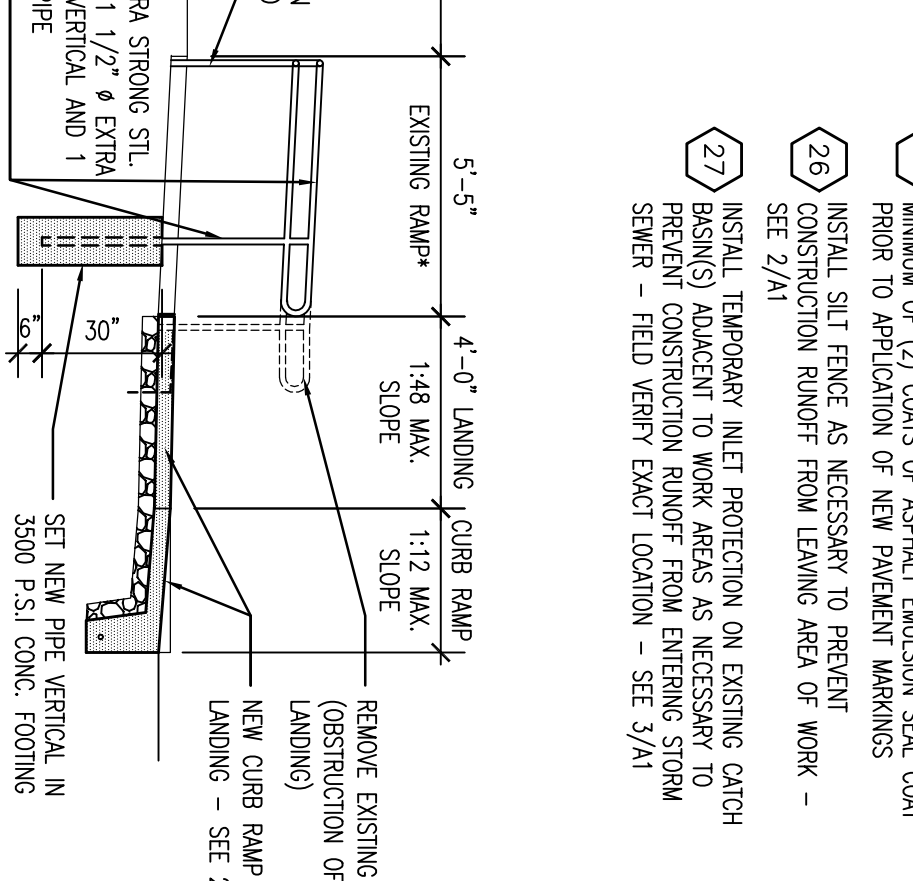
ENLARGED SITE PLAN - PARKING LOT "S"
 1" = 20'-0"
 APPROXIMATE NORTH



ENLARGED SITE PLAN - PARKING LOT "H"
 1" = 20'-0"
 APPROXIMATE NORTH

NOTE:
 ALL PARKING STRIPES AND ACCESS AISLES THAT ARE DIMENSIONED ON THE ENLARGED SITE PLANS SHALL BE NEW STRIPING AS INDICATED. EXISTING STRIPES SHOWN ON THE PLANS HAVE NOT BEEN REPAIRED BY THE OWNER. LOCATIONS OF EXISTING STRIPING ARE APPROXIMATE - CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS AND CONFIRM COMPLIANCE WITH THE PARKING ORDINANCE OF THE CITY OF KNOXVILLE.

NOTE:
 CONTRACTOR SHALL INCLUDE IN THEIR BID THE SERVICES OF A LICENSED SURVEYOR TO MARK AND DENOTE THE ELEVATIONS AND SLOPES OF ALL NEW RAMPS, LANDINGS AND SIDEWALKS FOR THIS PROJECT, AND TO PROVIDE CERTIFICATION OF THEIR COMPLIANCE WITH THE CITY OF KNOXVILLE'S POLYNE CONCRETE.



HANDRAIL ELEVATION - PARKING LOT "J"
 1/4" = 1'-0"

NOTE: EXISTING RAMP WITH SLOPE LESS THAN 1:20 DOES NOT REQUIRE ADA COMPLIANT HANDRAIL WITH FIELD VERIFY AND NOTIFY ARCHITECT MAINTAINED. SLOPE CANNOT BE MAINTAINED.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
 KNOXVILLE, TENNESSEE

THOMAS CALDWELL, ARCHITECT
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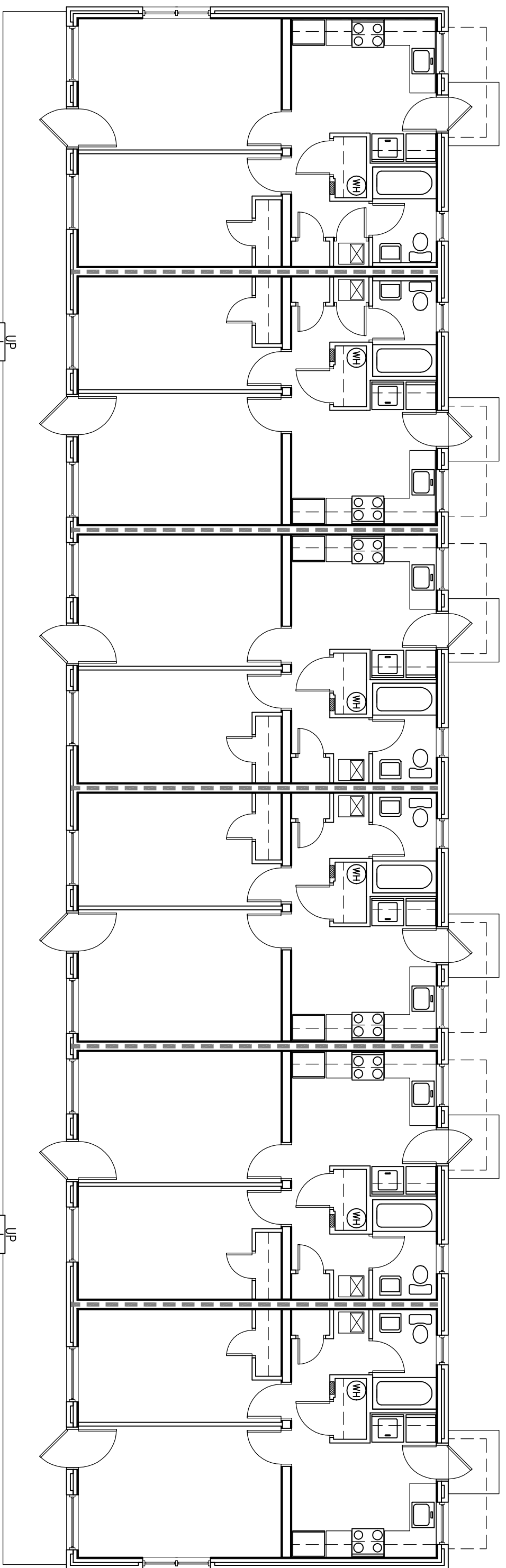
THOMAS J. CALDWELL
 ARCHITECT
 STATE OF TENNESSEE
 No. 02098
 12/18/18

DRAWING NAME:
 ENLARGED PARKING LOT SITE PLANS

DATE: 02/22/18
 DRAWN BY: VAD
 CHECK NO.: 1802

SHEET: 5 OF 25
 DRAWING NO.: A2

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 REVISION DATE:



BUILDING TYPE "A" - FIRST FLOOR PLAN
1/8" = 1'-0"

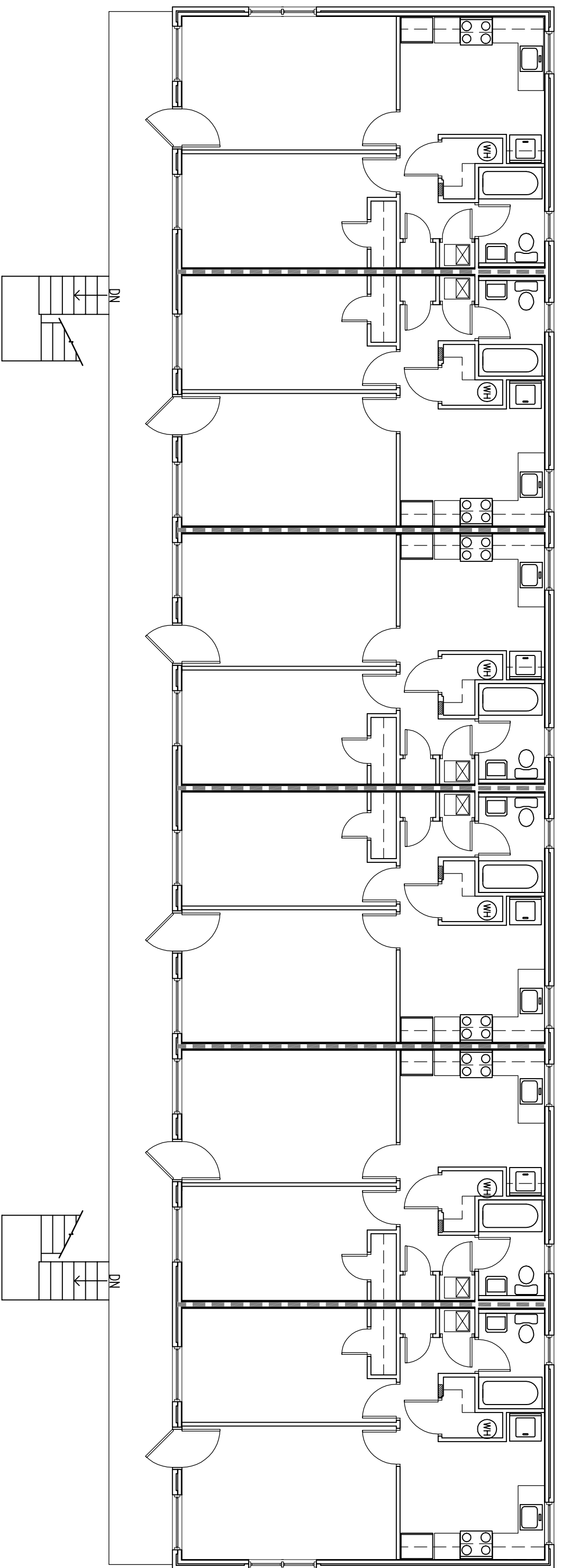
BUILDING TYPE "A"		
(2 STORES) NUMBER OF BUILDINGS: 9		
UNIT TYPE	NUMBER OF FLOORS PER UNIT	PER UNIT
1A	1	1
1B	1	6

REMOVE EXISTING METER CENTER AND INSTALL NEW METER CENTER - SEE SHEET E2

NOTE: CONTRACTOR SHALL FILL ALL OPENINGS EXPOSED BY REMOVAL OF EXISTING METER CENTER WITH SEALANT AS SPECIFIED IN CONTRACT TO MATCH ADJACENT SURFACE.

FLOOR PLAN LEGEND

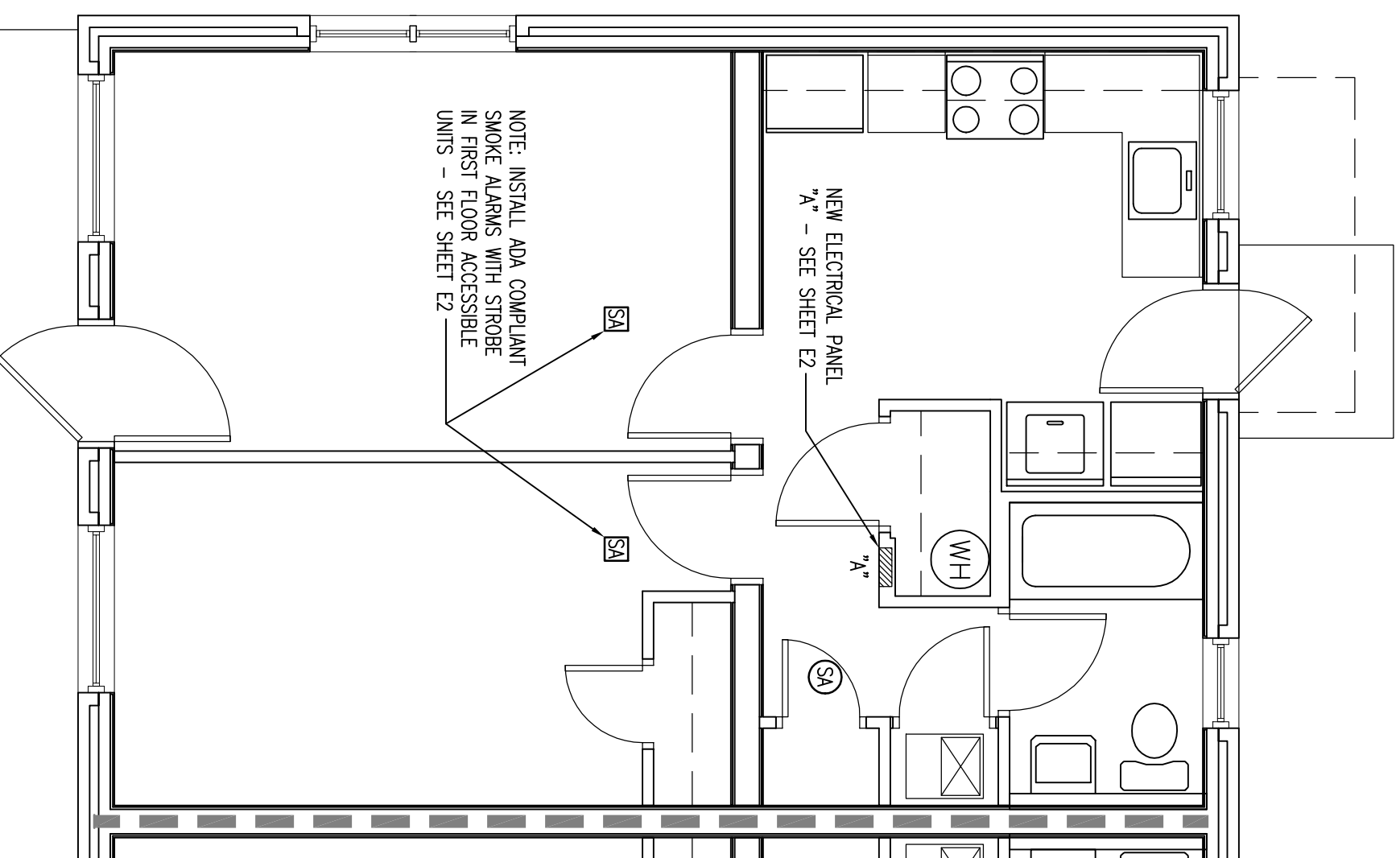
- EXISTING WALL TO REMAIN - FIELD
- VERIFY EXISTING WALL CONSTRUCTION
- EXISTING TYPICAL SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING ELECTRICAL PANEL TO BE RELOCATED AND REWIRING TO BE RECONSTRUCTED PER E2
- ELECTRICAL PANEL - SEE SHEET E2 - PATCH AND REPAIR ALL GYP BOARD DISTURBED AS PART OF INSTALLATION - REPAIR WALL AND NEW PANEL COVER TO MATCH EXISTING
- NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E2
- EXISTING INTERCONNECTED SMOKE ALARM (SEE E2) ALL EXISTING SMOKE ALARMS IN SAME LOCATION
- ELECTRICAL WORK DEDUCT ALTERNATE 1: INTERCONNECT NEW SMOKE ALARMS TO EXISTING SMOKE ALARMS TO REMAIN - SEE SHEET E2



BUILDING TYPE "A" - SECOND FLOOR PLAN
1/8" = 1'-0"

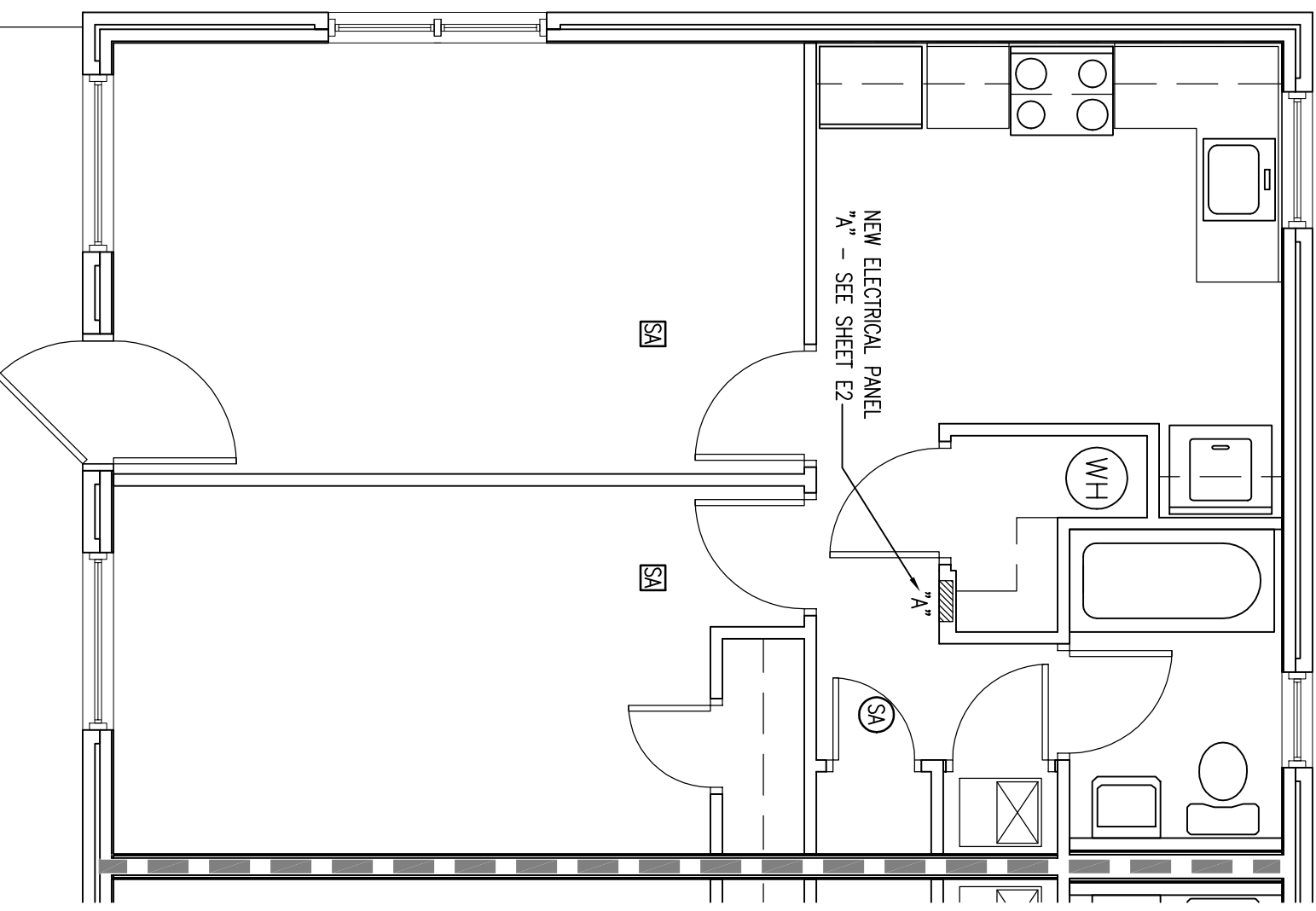
DEMOLITION NOTES:

1. THE SCOPE OF THE WORK INCLUDES BUT IS NOT LIMITED TO:
 - A. THE "BASIC WORK AREA" AS SHOWN ON THE DRAWINGS.
 - B. ALL WORK OUTSIDE THE "BASIC WORK AREA" REQUIRED AS A NECESSARY EXTENSION OF THE WORK AS SHOWN ON THE DRAWINGS, IS A PART OF THIS CONTRACT. EXAMPLE: THE NEED FOR ELECTRICAL WORK FOLLOW THROUGH IN AREAS OUTSIDE THE "BASIC WORK AREA" IS A PART OF THIS CONTRACT.
2. ALL DEBRIS BY THE EXISTING AREA TO BE REMOVED, PATCHED AND WATERTIGHT TO THE SURROUNDING SURFACE.
3. THE CONTRACTOR, DURING THE COURSE OF HIS WORK IN THE EXISTING BUILDING, MAY UNCOVER EXISTING CONSTRUCTION, HERETOFORE UNEXPOSED SUCH SITUATION IS ENCOUNTERED, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE ARCHITECT AND/OR OTHER ITEMS INDICATED TO BE REMOVED, SHALL BE REMOVED IN THEIR ENTIRETY, THAT IS:
 - A. INTERIOR ELECTRICAL PANELS.
 1. COMPLETELY REMOVE THE EXISTING ELECTRICAL PANELS AND ANY STUDS OR GYP BOARD SPECIFIED TO BE REMOVED, AND CLEAN ROUGH OPENING AND PATCH AND/OR REPLACE ANY PREVIOUSLY CONCEALED DAMAGED OR DETRIORATED STUDS, WIRING, OR GYP BOARD TO SOUND LEVEL CONDITION.
 4. ANY GYPSUM BOARD THAT IS REQUIRED TO BE REMOVED TO ACCESS CONCEALED STRUCTURE SHALL BE REPLACED AND PATCHED TO A SOUND LEVEL CONDITION.
 5. WARNING: IT IS REQUIRED THAT THE ELECTRICAL CONTRACTOR INCLUDE IN HIS PRICING, LAYING A PLASTIC SHEET COVER TO CATCH ALL DIRT AND FALLING OBJECTS DURING THE PANEL REMOVAL PROCESS AND REINSTALLING NEW REPLACEMENT MATERIAL, AS NEEDED.
- B. METER CENTERS:
 1. REMOVE EXISTING METER CENTERS DESIGNATED FOR REMOVAL IN ELECTRICAL SHEETS E2-E11.
 2. PREPARE EXISTING WALL FOR INSTALLATION OF NEW METER CENTERS PER ELECTRICAL SHEETS E2-E11.
 3. PATCH WALL FINISHES DISTURBED BY DEMOLITION TO MATCH ADJACENT SURFACES IN PREPARATION FOR INSTALLATION OF NEW METER CENTER.
 4. INSTALL NEW METER CENTERS PER MANUFACTURER'S INSTRUCTIONS.
- C. GYP BOARD (DISTURBED BY DEMOLITION) TO SOUND LEVEL CONDITION.
 2. ANY GYP BOARD THAT IS REQUIRED TO BE REMOVED TO ACCESS CONCEALED STRUCTURE SHALL BE REPLACED AND PATCHED TO A SOUND LEVEL CONDITION.
 3. REMOVE ALL EXISTING CONDENS AND/OR SMOKE ALARMS SCHEDULED FOR DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING SMOKE ALARMS AS PART OF THE CEILING FROM CEILING OR SPRINTS DESIGNATED TO RECEIVE A NEW FINISH. FINISHES DESIGNATED TO BE REINSTALLED SHALL BE MAINTAINED IN WORKABLE ORDER UNTIL REINSTALLED OVER NEW FINISHES.



TYPICAL FIRST FLOOR UNIT PLAN
BUILDING "A" (UNIT TYPE 1A)
1/4" = 1'-0"

NOTE: INSTALL ADA COMPLIANT NEW ELECTRICAL PANEL IN UNIT TYPE 1A UNITS - SEE SHEET E2



TYPICAL SECOND FLOOR UNIT PLAN
BUILDING "A" (UNIT TYPE 1B)
1/4" = 1'-0"

5. ALL EXISTING MECHANICAL AND/OR ELECTRICAL SYSTEMS REQUIRING TEMPORARY UTILITIES INDICATED TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS, DO NOT INTERRUPT EXISTING UTILITIES EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION, PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
6. REMOVE ALL ABANDONED ELECTRICAL WORK.
7. ALL EXISTING LEAKING WATER, GAS, OIL, AND OTHER TIERS OF UNSAFE VALUE UNLESS SPECIFICALLY IDENTIFIED OR ABANDONED OTHERWISE.
8. PROTECT FROM DAMAGING EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE DURING DEMOLITION OPERATIONS.
9. AVOID REMOVAL AND VIBRATION TERMINATION OF UTILITY SERVICES THAT ARE TO BE MAINTAINED IN PLACE.
10. PERFORM DEMOLITION IN SUCH A MANNER AND BY SUCH METHODS THAT WILL AVOID AND PREVENT SPREAD OF DUST AND FLYING PARTICLES AND HAZARD TO PERSONS AND PROPERTY.
11. WET DEBRIS AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICABLE LEVEL. DO NOT USE WATER TO EXTERIOR CAUSING FLOODING, CONTAMINATED ROOFING, OR DRIFT.
12. ALL EXISTING MATERIALS TO BE REMOVED SHALL BE STORED IN SUCH A MANNER AS TO PREVENT THE FINISH AND CONDITION SO THAT THE FINISHES CAN BE RELOCATED WITHOUT DAMAGE.
13. PROVIDE FOR DISPOSAL OF ALL EXISTING MATERIALS DESIGNATED TO BE REMOVED.
14. REMOVE DEMOLITION DEBRIS FROM THE SITE AND PREMISES AS SOON AS PRACTICABLE.
15. AVOID INTERFERENCE WITH GROUND, OVERHEAD, AIRBORNE, AND ADJACENT ONTO BUILDINGS AND FACILITIES. NO PARTS OF THE DEMOLISHED BUILDING SHALL BE FIELD SHALL BE DEPOSITED OR TEMPORARILY STORED IN THESE LOCATIONS.
16. BEGIN DEMOLITION AT TOP OF BUILDING AND PROCEED DOWNWARD. DO NOT REMOVE SUPPORTING MEMBERS AT LOWER LEVELS UNTIL STRUCTURES ABOVE HAVE BEEN DEMOLISHED.
17. BEAR CONCRETE AND MASONRY DESIGNATED TO BE REMOVED INTO SECTIONS LESS THAN THREE FEET IN ANY DIRECTION.
18. DEMOLITION WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE, ALL FEDERAL REGULATIONS, AND THE REGULATIONS OF THE CITY OF KNOXVILLE.
19. PREP BARRIERS, WARNING SIGNS, TRAFFIC GUARDRAILS, ENCLOSURES, AND SHIELDING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE DEMOLITION.
20. NOTIFY ARCHITECT IMMEDIATELY (PRIOR TO REMOVAL) IF ANY LOAD BEARING WALLS, COLUMNS, OR OTHER STRUCTURAL SUPPORT SYSTEMS NOT SHOWN ON THIS PLAN ARE DISCOVERED DURING DEMOLITION.
21. WHERE OPENINGS IN EXISTING PARTITIONS ARE SHOWN TO BE BLOCKED UP, THE CONTRACTOR SHALL REMOVE THE BLOCKING AND REPAIR THE PARTITION TO BE CONSISTENT WITH THE FIRE RESISTANT INTERIOR OF THE WALL. FINISHES SHALL BE PATCHED AND MATCHED TO THE ADJACENT SURFACE.
22. REFER TO ELECTRICAL DRAWINGS BY OTHERS FOR ADDITIONAL DEMOLITION NOTES.

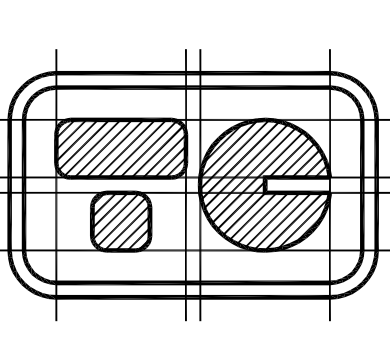


KEY PLAN - BUILDING "A"
1" = 300'-0"

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

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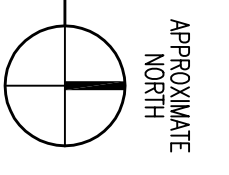
THOMAS CALDWELL, ARCHITECT
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(865) 588-0860 (865) 558-9844/FAX
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DRAWING NAME:
FLOOR PLANS - "A"
BUILDING TYPE "A"

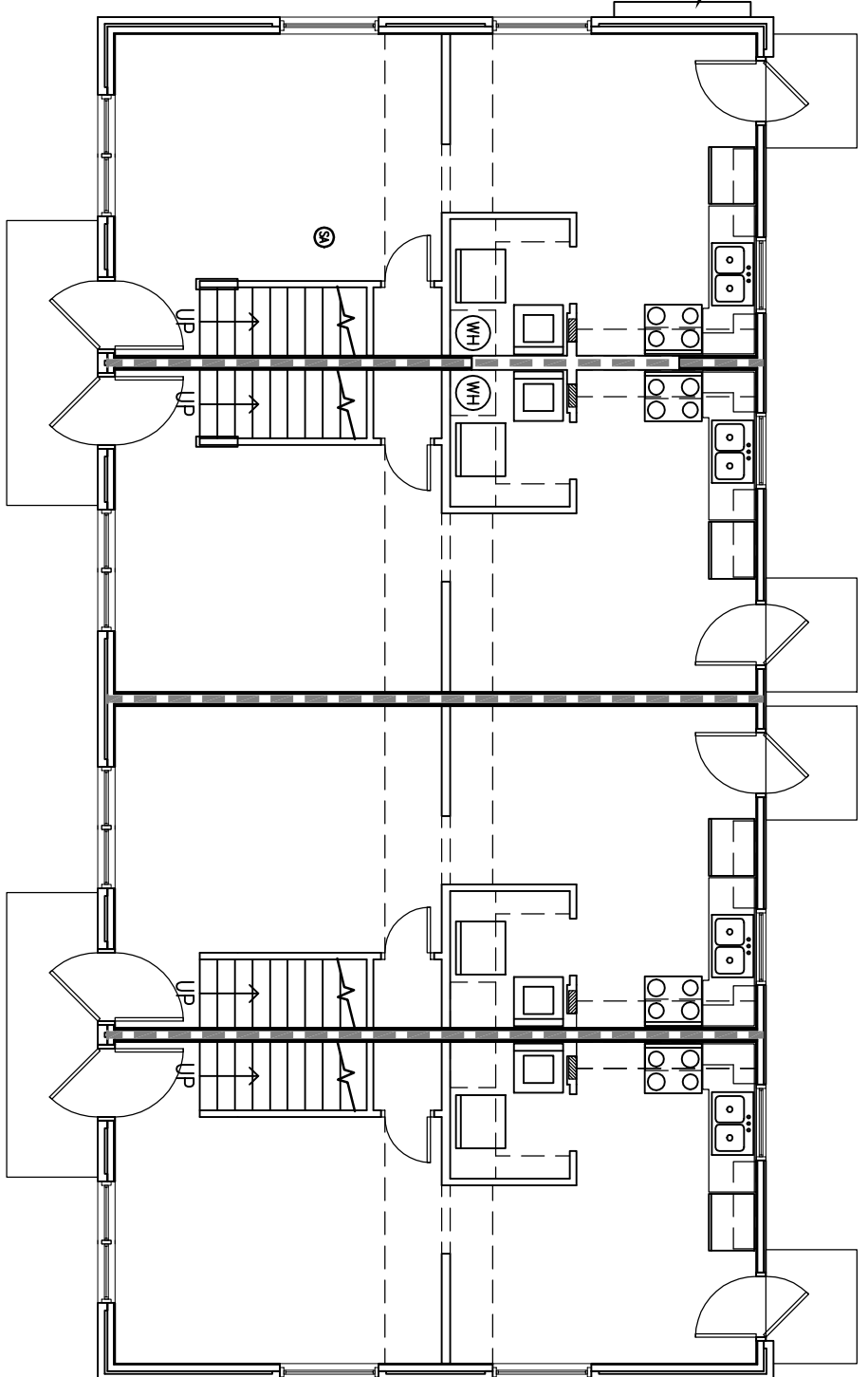
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REVISION DATE:
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SHEET: 7 OF 25
DRAWING NO.: A4



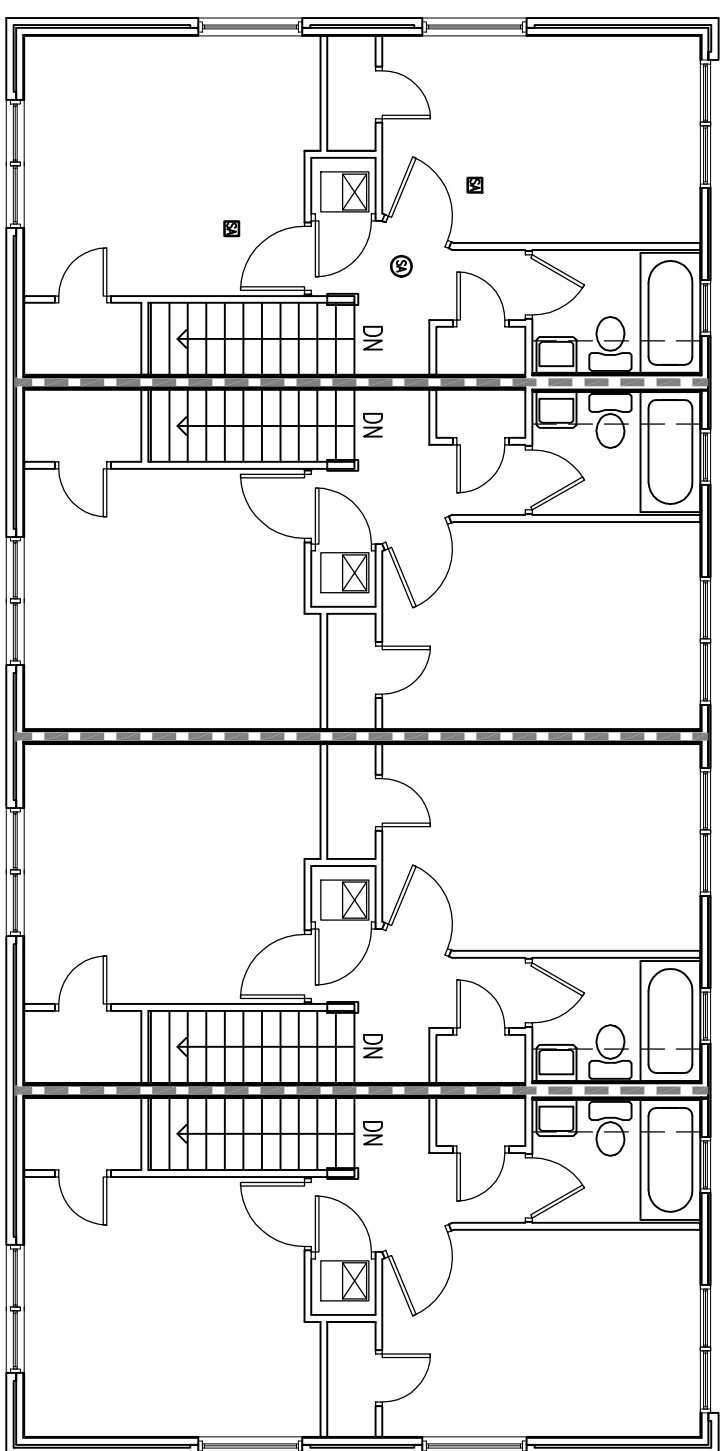
REMOVE EXISTING
METER CENTER AND
INSTALL NEW
METER CENTER -
SEE SHEET E3

NOTE: CONTRACTOR SHALL
FILL ALL OPENINGS EXPOSED
BY REMOVAL OF EXISTING
METER CENTER WITH SEALANT
AS SPECIFIED IN CONTRACT
AS SPECIFICATIONS - CONTACT TO
MATCH ADJACENT SURFACE



BUILDING TYPE "B" - FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING TYPE "B"	
(2 STORES) NUMBER OF BUILDINGS: 6	
UNIT NUMBER OF FLOORS PER UNIT	PER BUILDING
2	2
2	4

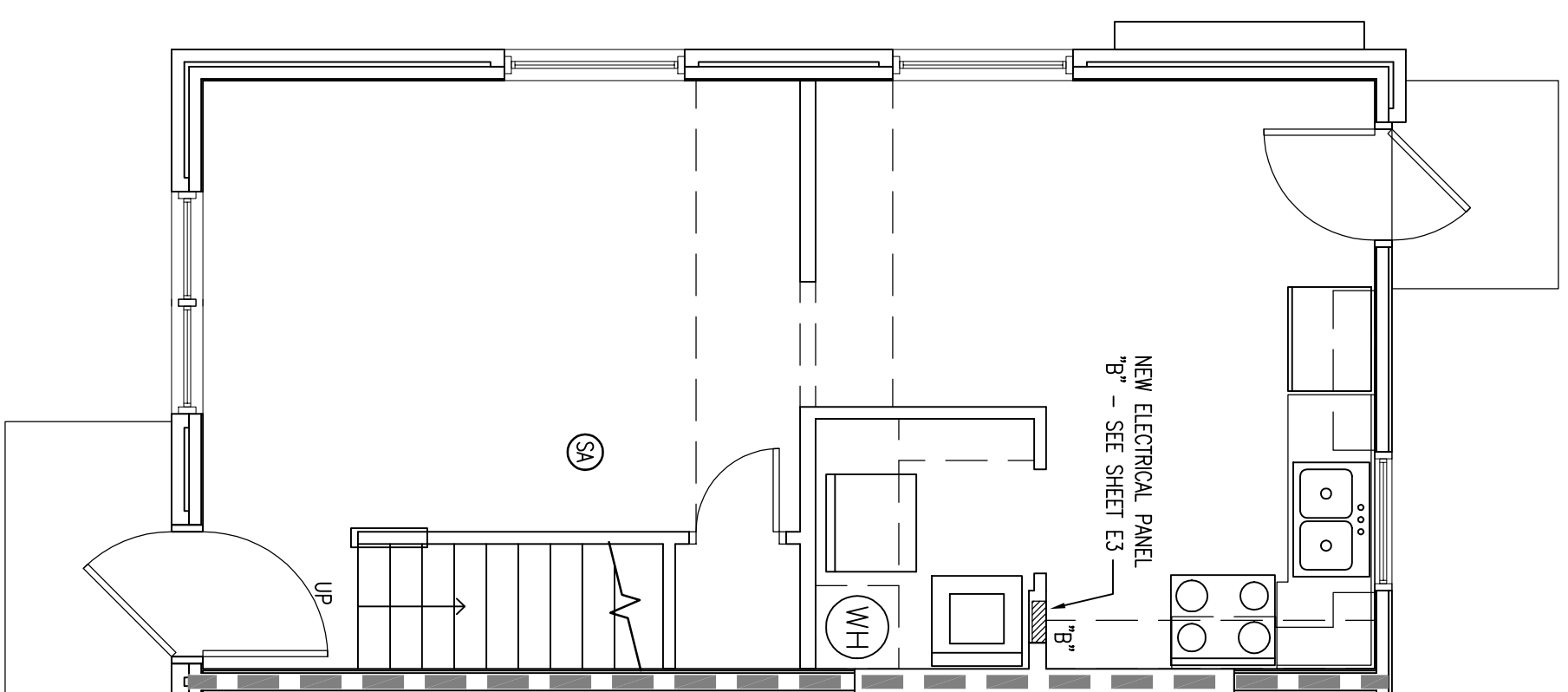


BUILDING TYPE "B" - SECOND FLOOR PLAN
1/8" = 1'-0"

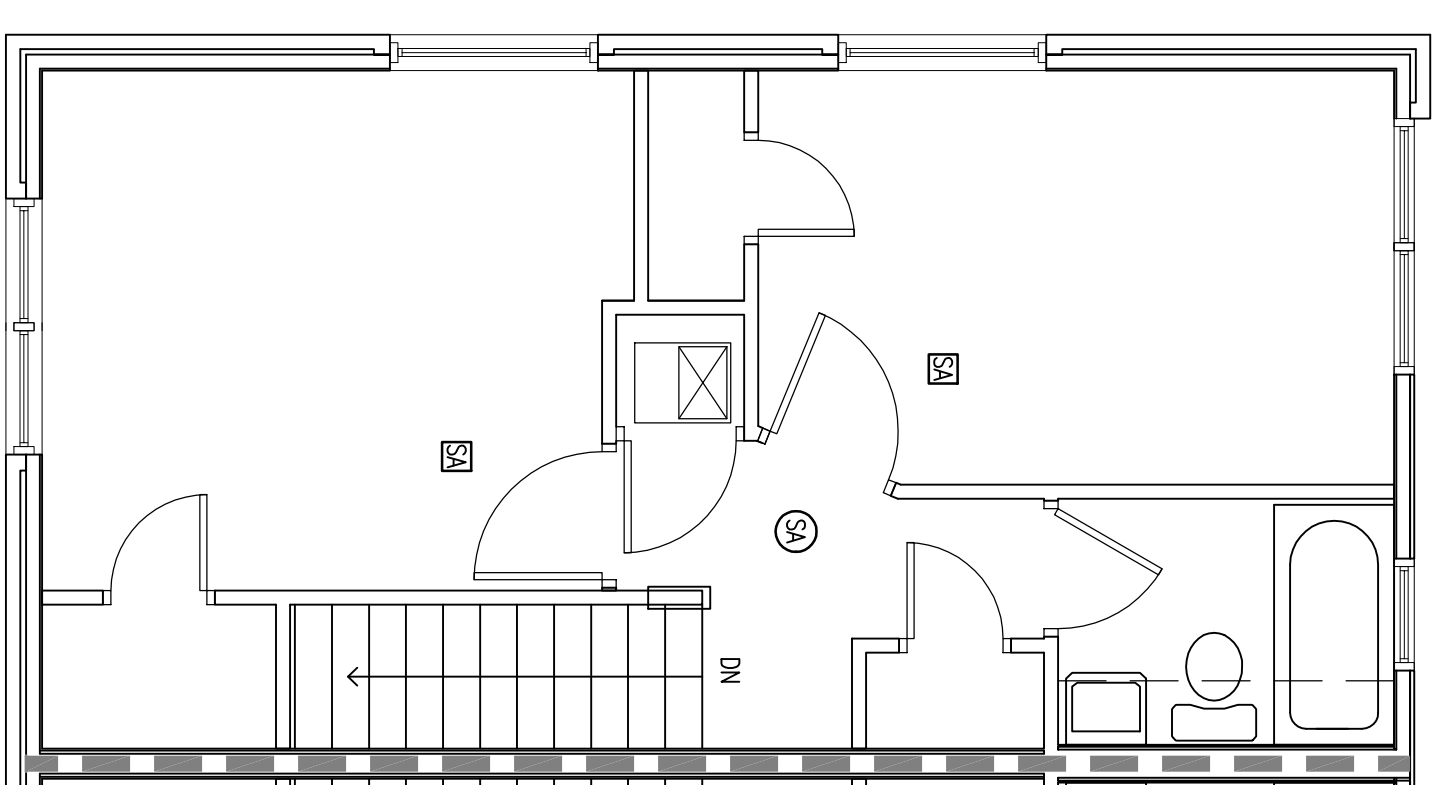
FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING TYPED SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPLACED WITH NEW ELECTRICAL PANEL - SEE SHEET E3 - DISTURBED PART OF INSTALLATION - REMOVE AND NEW PANEL COVER TO MATCH EXISTING
- NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E3
- EXISTING INTERCONNECTED SMOKE ALARM TO BE REPLACED BY NEW SMOKE ALARM IN SAME LOCATION
- ELECTRICAL WORK DEDUCT ALTERNATE 1: INTERCONNECTED SMOKE ALARMS TO REMAIN - SEE SHEET E3

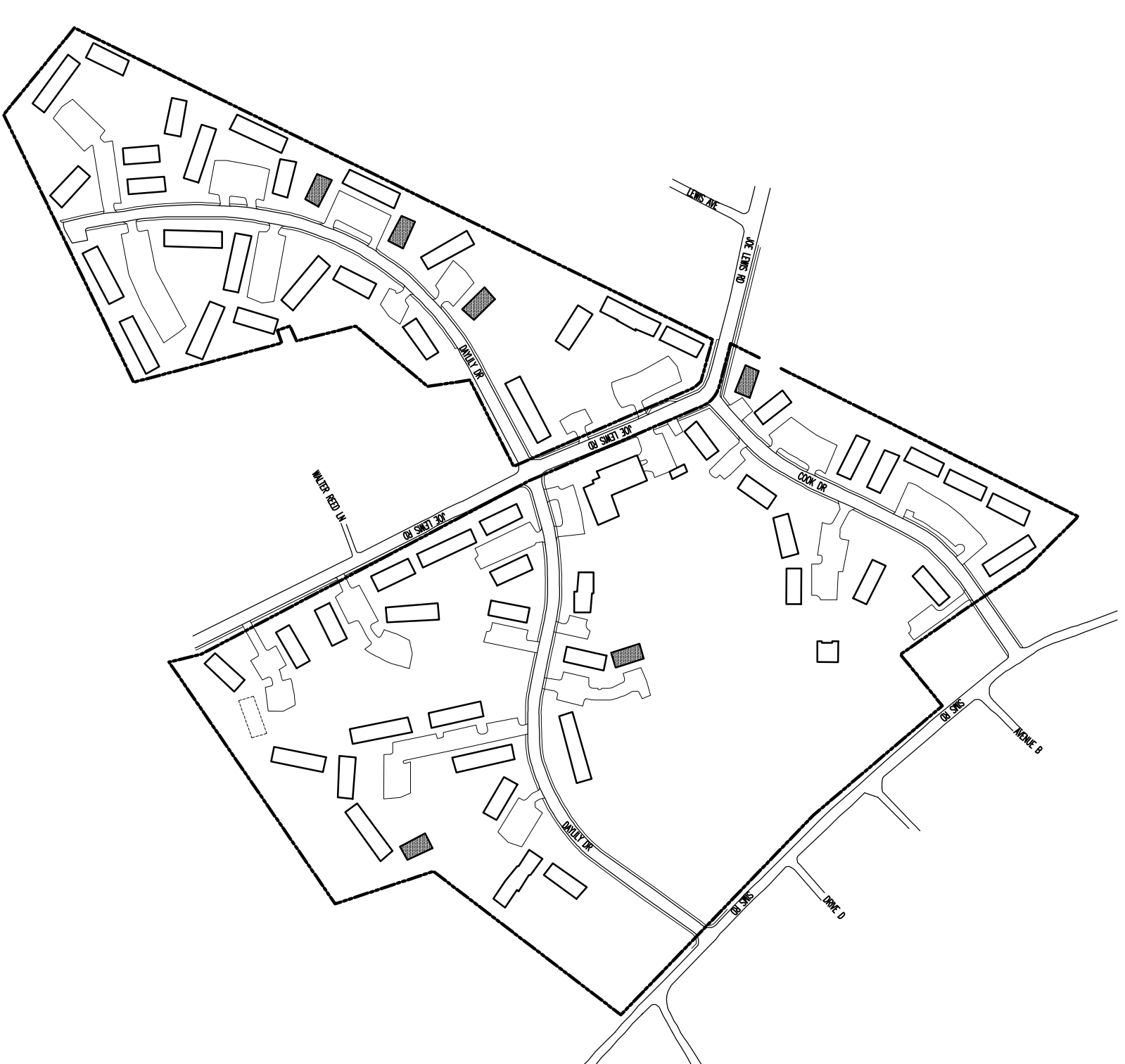
NOTE:
- ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED. SMOKE ALARMS SHALL BE RUN IN THE ATTIC CONDUIT. PAINT EXPOSED CONDUIT TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS.
- ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE RECESSED. SMOKE ALARMS SHALL BE RUN IN THE ATTIC. CONTRACTOR SHALL PATCH AND PAINT ALL CEILINGS TO MATCH EXISTING WHICH HAVE BEEN DAMAGED, CHIPPED, OR MARKED BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.



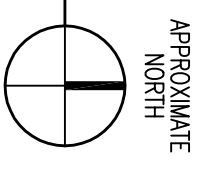
TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "B" (UNIT TYPE 2)
1/4" = 1'-0"



TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "B" (UNIT TYPE 2)
1/4" = 1'-0"



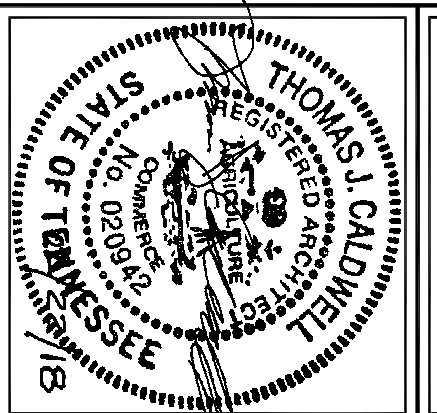
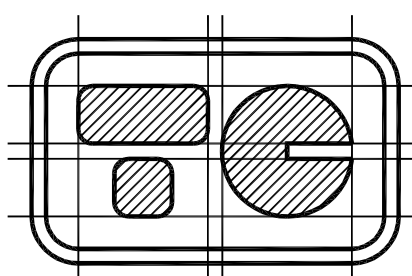
KEY PLAN - BUILDING "B"
1" = 300'-0"



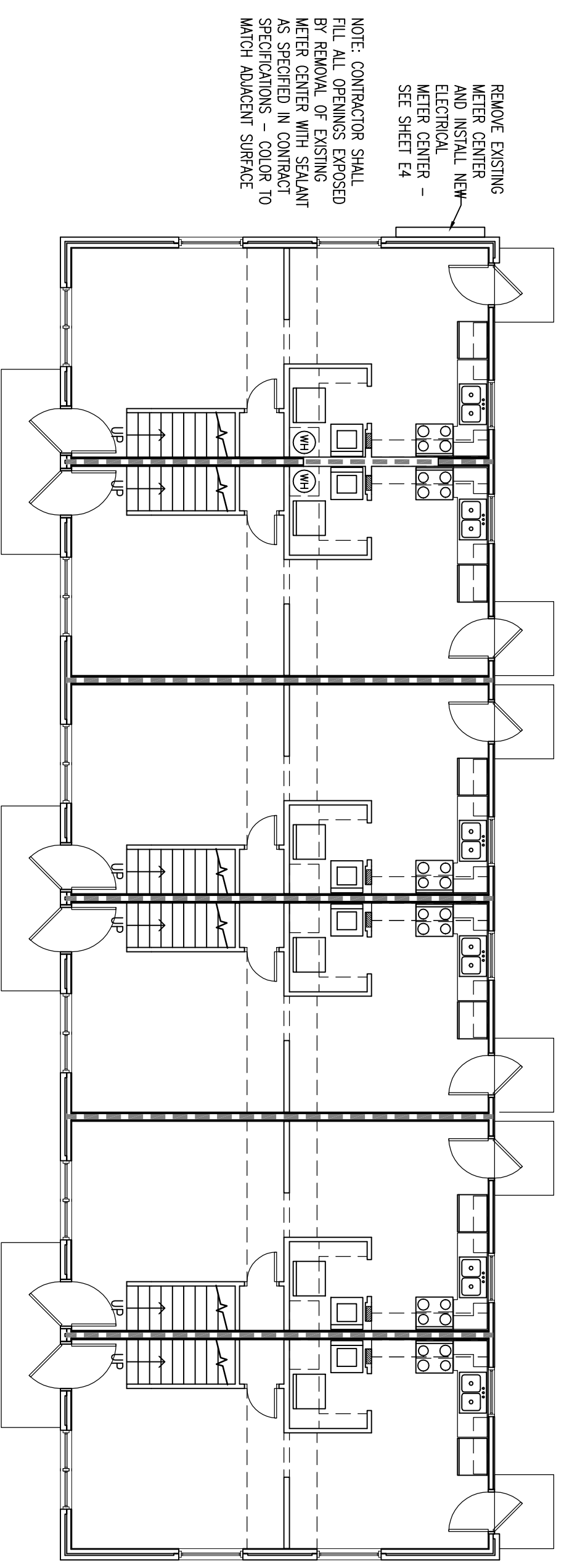
ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

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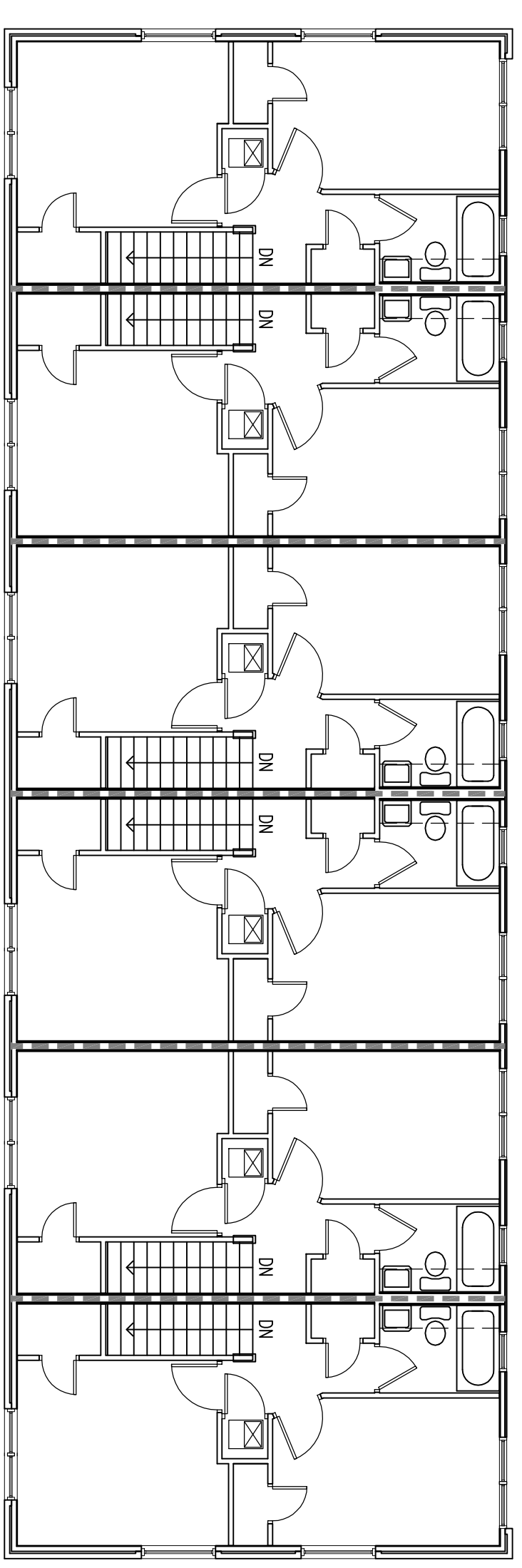


DRAWING NAME: FLOOR PLANS - BUILDING TYPE "B"	
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DATE:	02/22/18
DRAWN BY:	VAD
CHKD. NO.:	1802
SHEET:	DRAWING NO.:
8 OF 25	A5



BUILDING TYPE "C" - FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING TYPE "C"		
(2 STORES) NUMBER OF BUILDINGS:	9	
UNIT NUMBER OF FLOORS PER BUILDING	2	
TYPE BEDROOMS	2	
UNIT	2	
BUILDING	6	



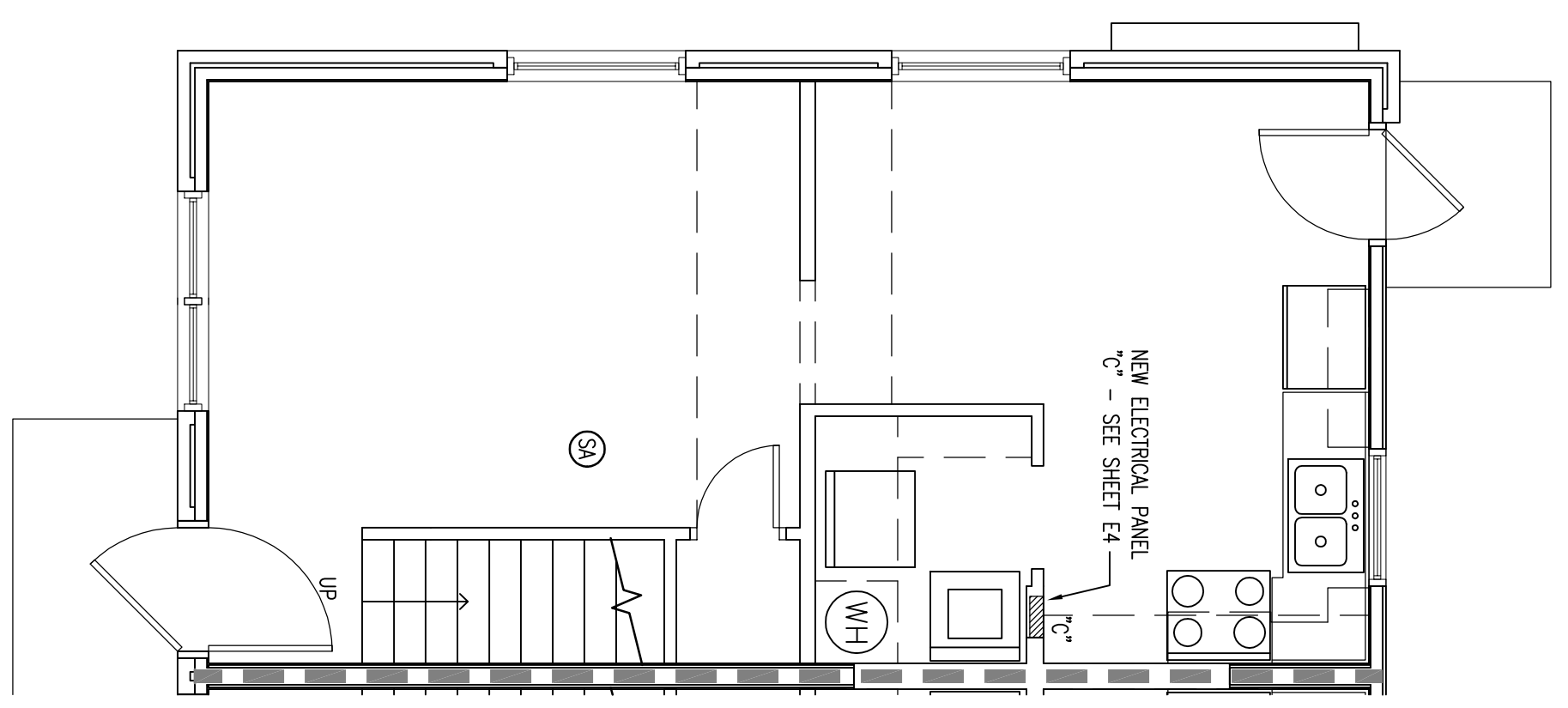
BUILDING TYPE "C" - SECOND FLOOR PLAN
1/8" = 1'-0"

2

FLOOR PLAN LEGEND

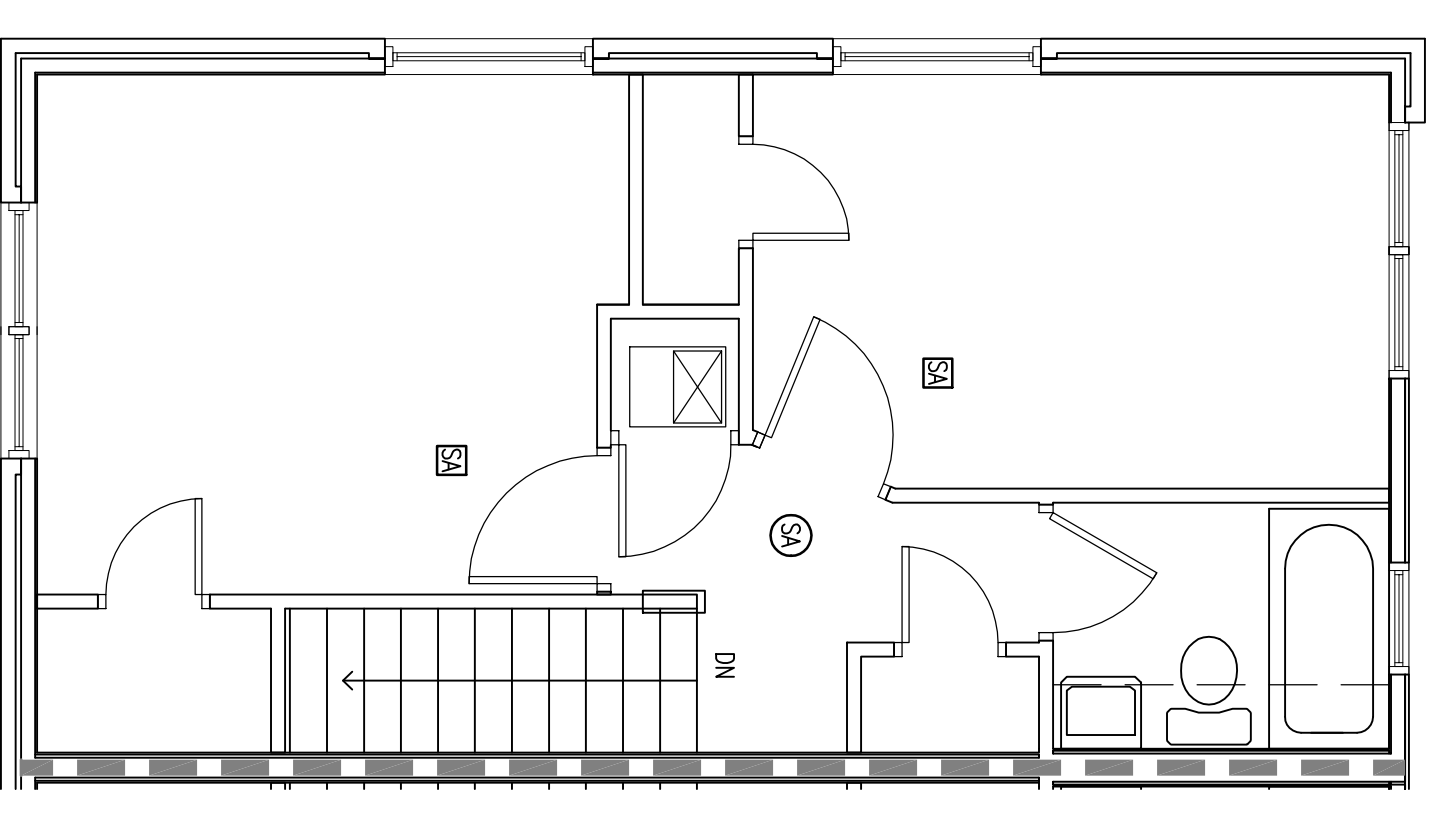
- EXISTING WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING REMAIN SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPLACED WITH NEW PANEL AND REPAIR ALL GYP BOARD - REPAIR WALLS AND NEW PANEL COVER TO MATCH EXISTING
- NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E4
- EXISTING INTERCONNECTED SMOKE ALARM BASE, BID. ALL EXISTING SMOKE ALARMS TO BE REPLACED BY NEW SMOKE ALARMS IN SAME LOCATION
- ELECTRICAL WORK DETAIL ALTERNATE 11 - SEE SHEET E4

NOTE:
- ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SPRINKLE MOUNTED. ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE RIM IN EXPOSED CONDUIT. PAINT EXPOSED CONDUIT TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS.
- ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE RIM IN THE ATTIC. CONTRACTOR SHALL PATCH AND PAINT ALL CEILINGS TO MATCH EXISTING WHICH HAVE BEEN DAMAGED. CHECKED, OKAWAY BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.



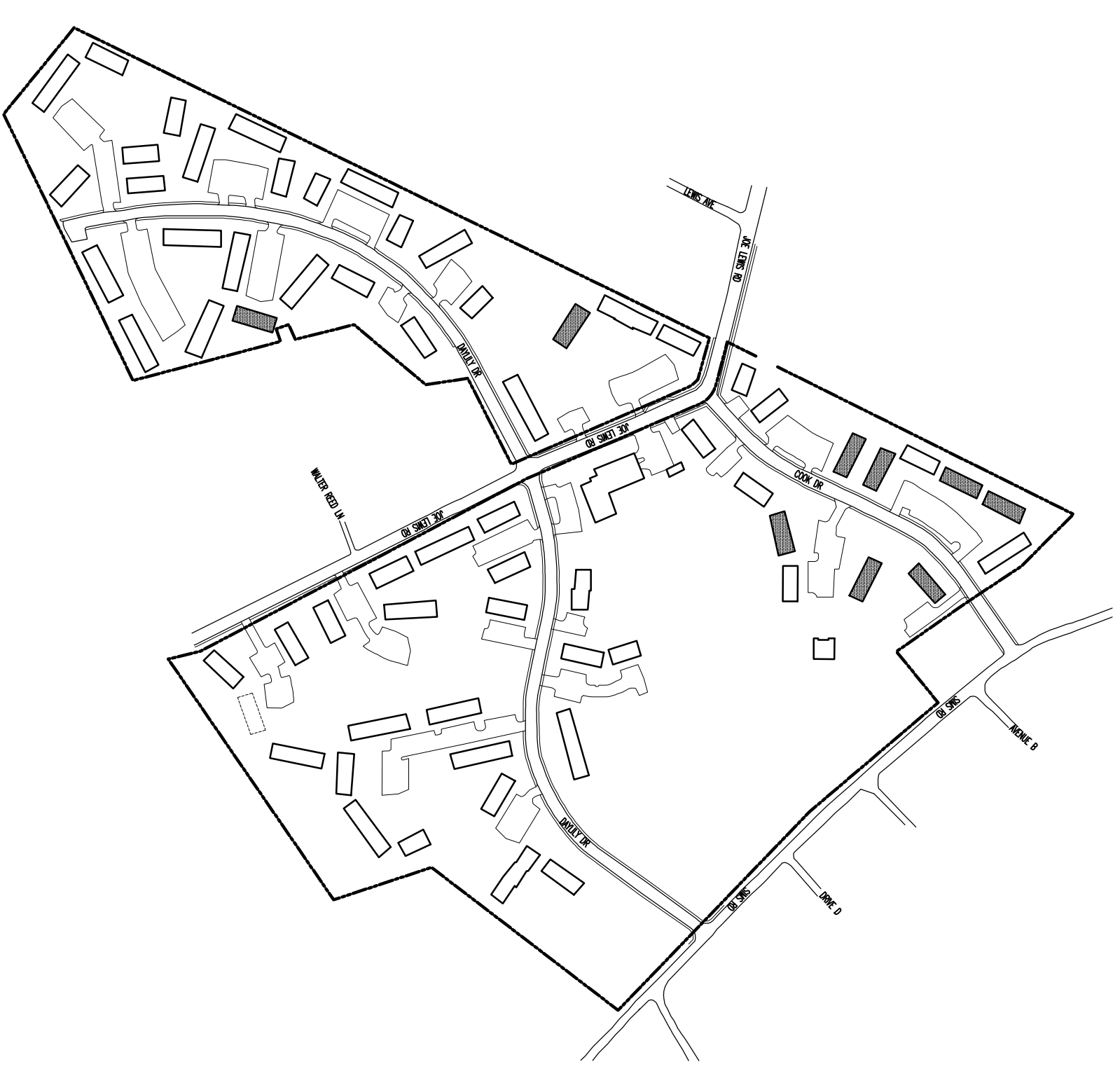
TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "C" (UNIT TYPE 2)
1/4" = 1'-0"

3



TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "C" (UNIT TYPE 2)
1/4" = 1'-0"

4



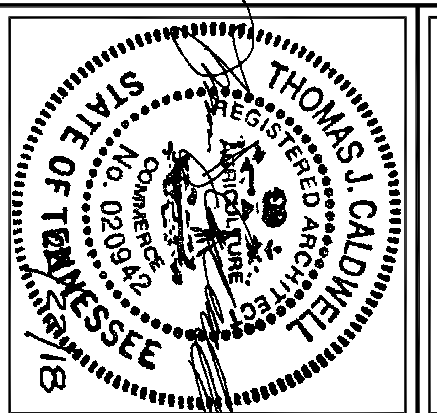
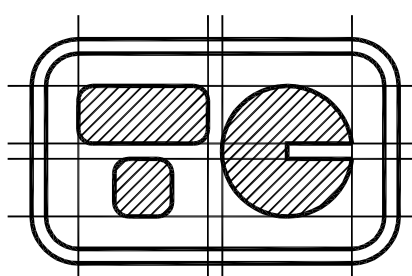
KEY PLAN - BUILDING "C"
1" = 300'-0"

APPROXIMATE NORTH

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

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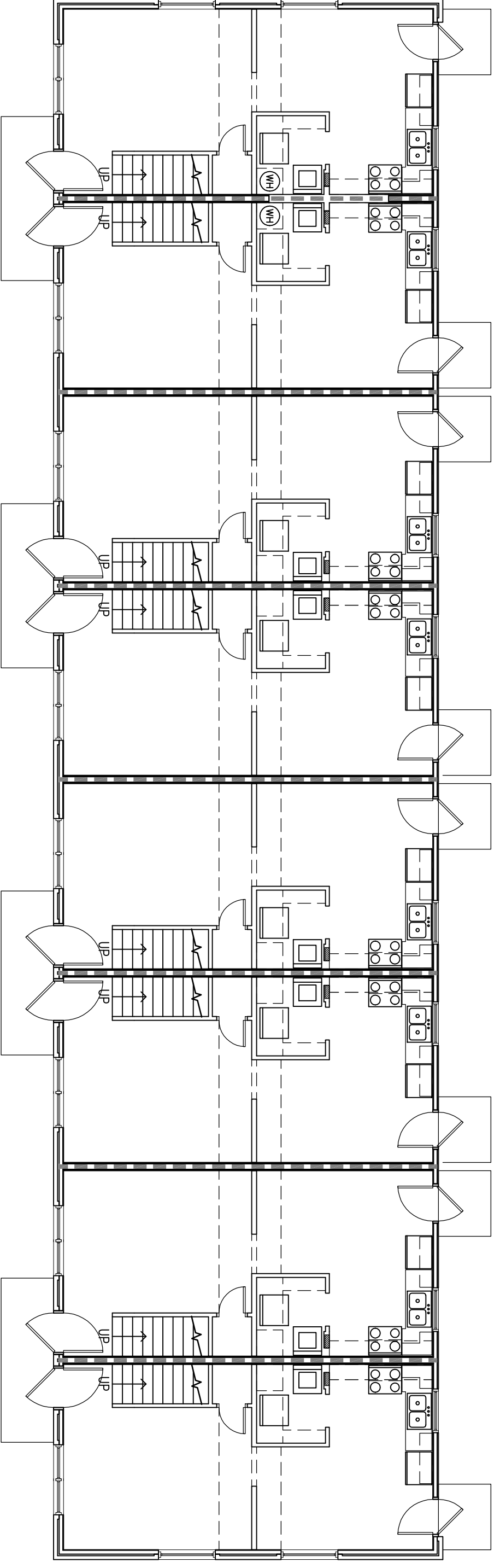
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DATE:	02/22/18
DRAWN BY:	VAD
COCHK. NO.:	1802
SHEET:	DRAWING NO.:
9 OF 25	A6

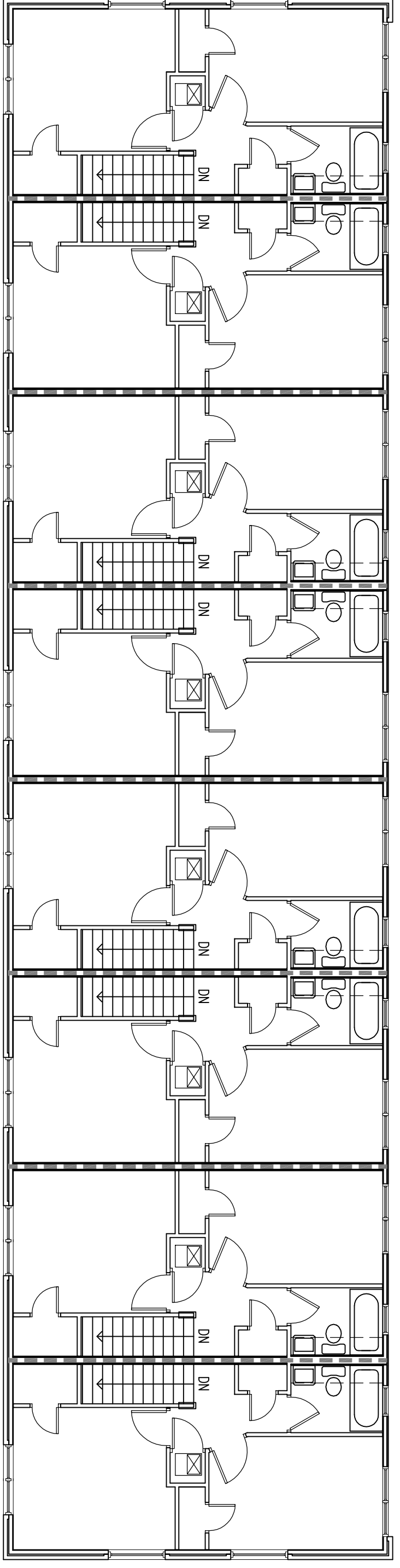
REMOVE EXISTING METER CENTER AND INSTALL NEW METER CENTER - SEE SHEET E5

NOTE: CONTRACTOR SHALL FILL ALL OPENINGS EXPOSED BY REMOVAL OF EXISTING METER CENTER WITH SEALANT AS SPECIFIED IN CONTRACT SPECIFICATIONS - CONTACT US AT 1802 MONTGOMERY DRIVE



BUILDING TYPE "D" - FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING TYPE "D"		
(2 STORES) NUMBER OF BUILDINGS: 1		
UNIT TYPE	NUMBER OF FLOORS PER UNIT	UNITS PER BUILDING
2	2	2
2	2	8



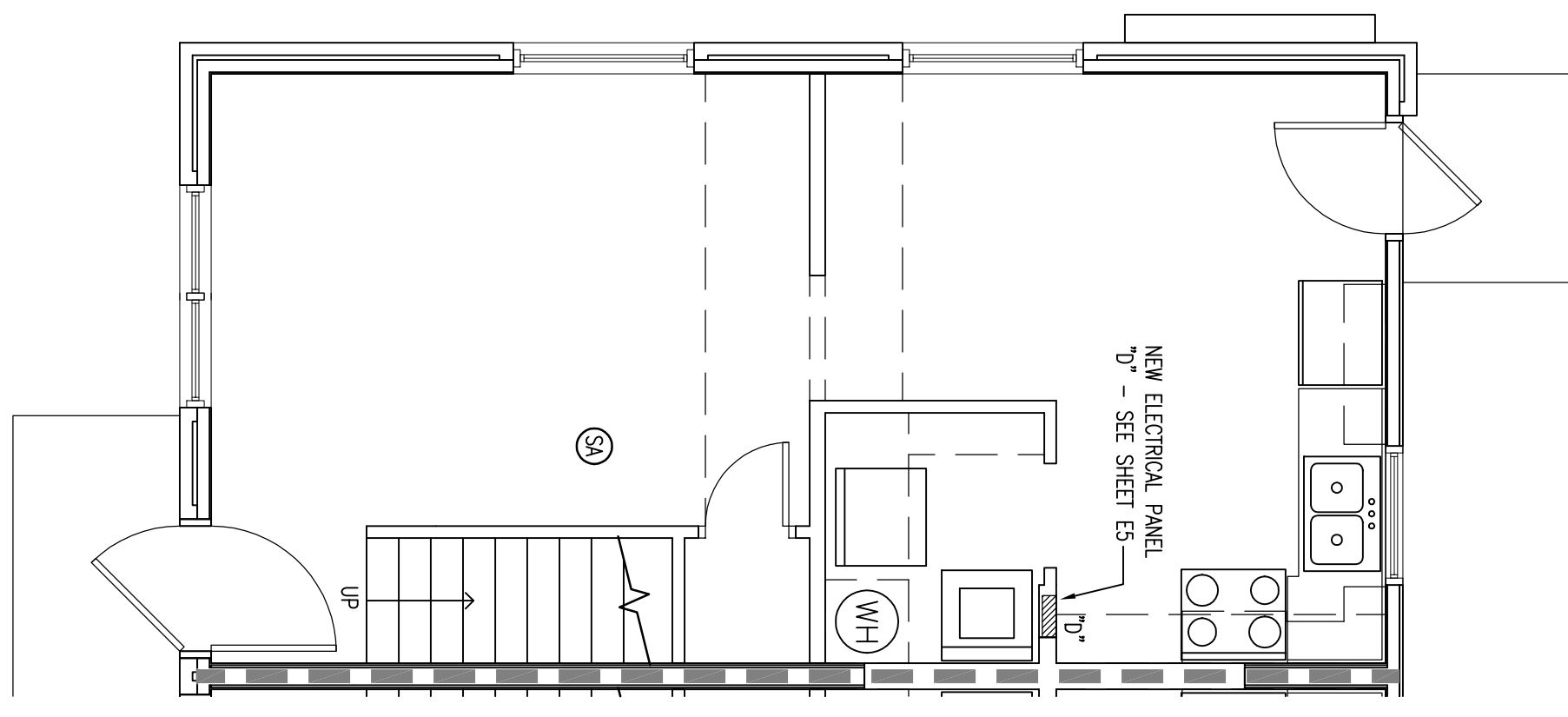
BUILDING TYPE "D" - SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN LEGEND

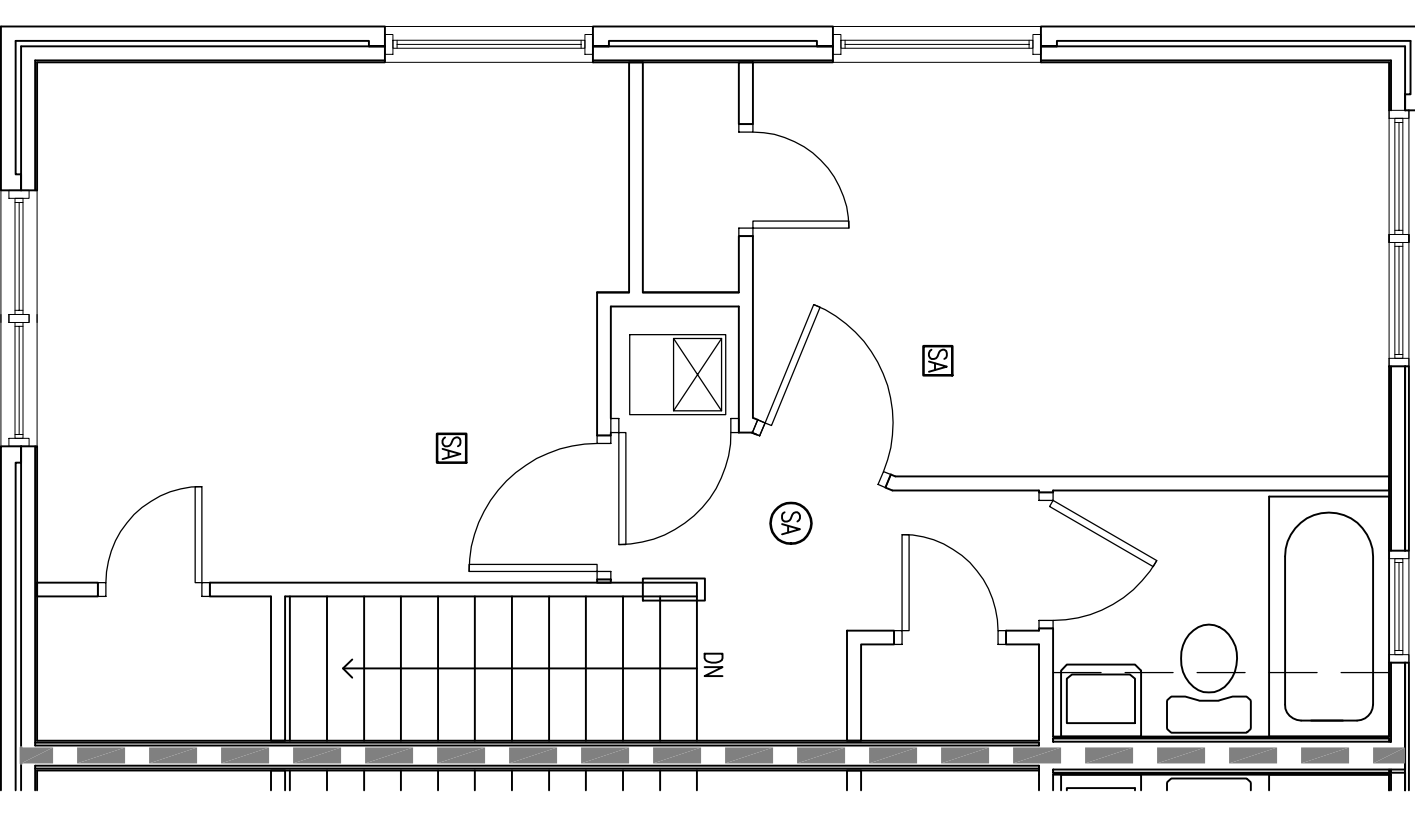
- EXISTING WALL TO REMAIN - FIELD
- VERIFY EXISTING WALL CONSTRUCTION
- EXISTING TRIM/SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPLACED WITH NEW ELECTRICAL PANEL - SEE SHEET E5 - PATCH AND REPAIR ALL GYP BOARD SURFACES AS WELL AS REPAIR EXISTING TRIM AND NEW PANEL COVER TO MATCH EXISTING
- NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E5
- EXISTING INTERCONNECTED SMOKE ALARM TO BE REPLACED BY NEW SMOKE ALARMS IN SAME LOCATION
- ELECTRICAL WORK DEDUCT ALTERNATE 1: EXISTING SMOKE ALARMS TO REMAIN - SEE SHEET E5

NOTE:

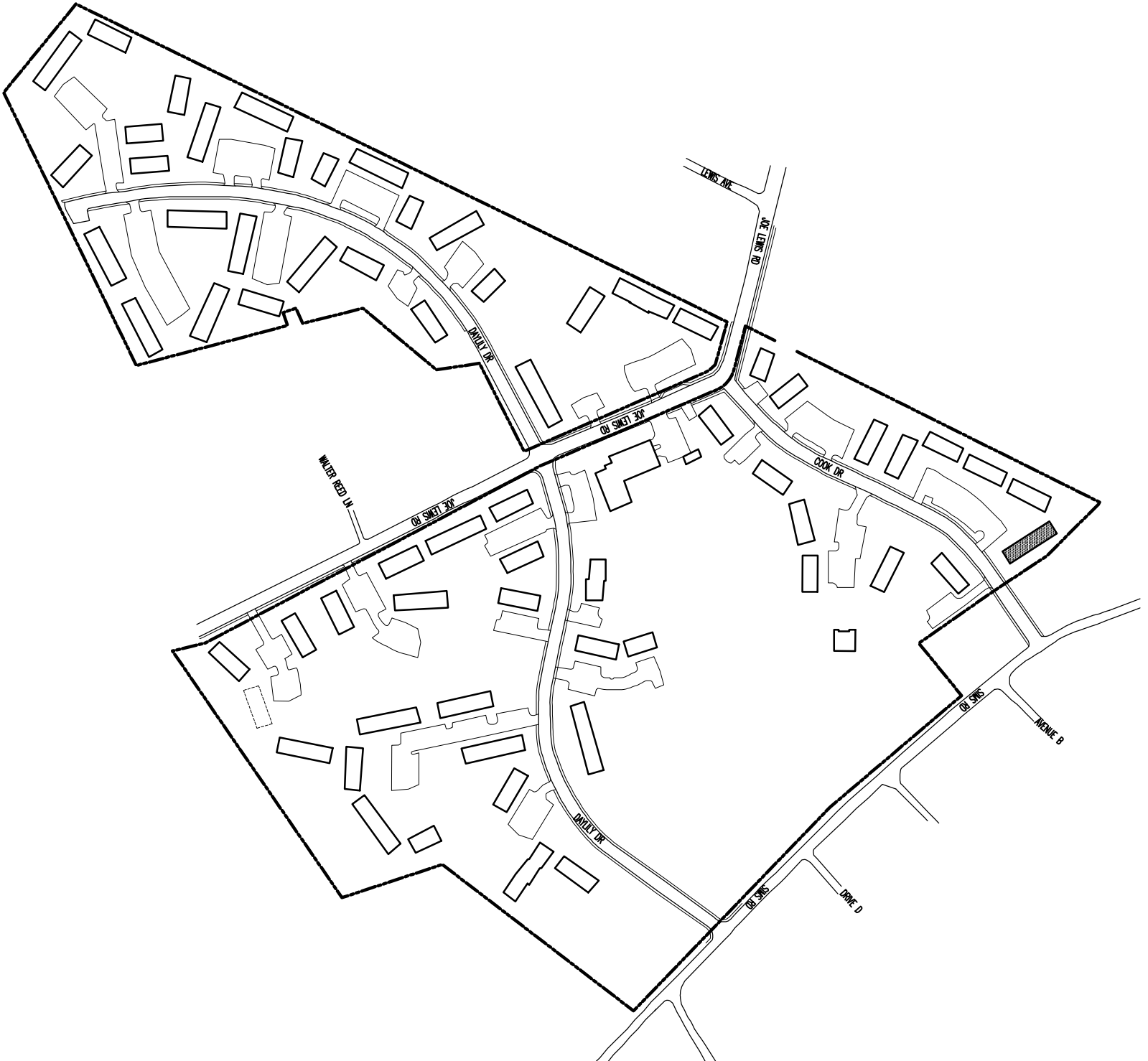
- ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED. ALL EXISTING SMOKE ALARMS SHALL BE RIN IN EXPOSED CONDUIT. PAINT EXPOSED CONDUIT TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS
- ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED. ALL EXISTING SMOKE ALARMS SHALL BE RIN IN THE ATTIC.
- CONTRACTOR SHALL PATCH AND PAINT ALL CEILINGS TO MATCH EXISTING WHICH HAVE BEEN DAMAGED, CHIPPED, OR DAMAGED BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.



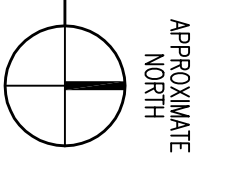
TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "D" (UNIT TYPE 2)
1/4" = 1'-0"



TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "D" (UNIT TYPE 2)
1/4" = 1'-0"



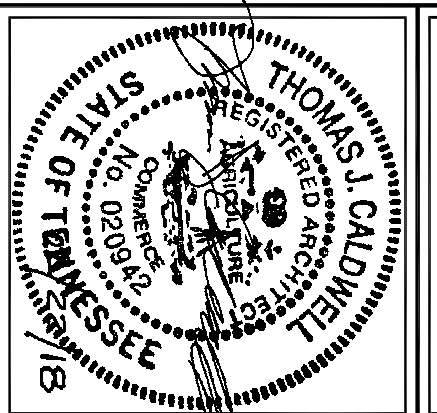
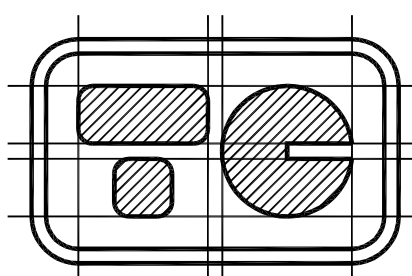
KEY PLAN - BUILDING "D"
1" = 300'-0"



ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

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DRAWING NAME:
FLOOR PLANS - "D"
BUILDING TYPE "D"

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REVISION DATE:

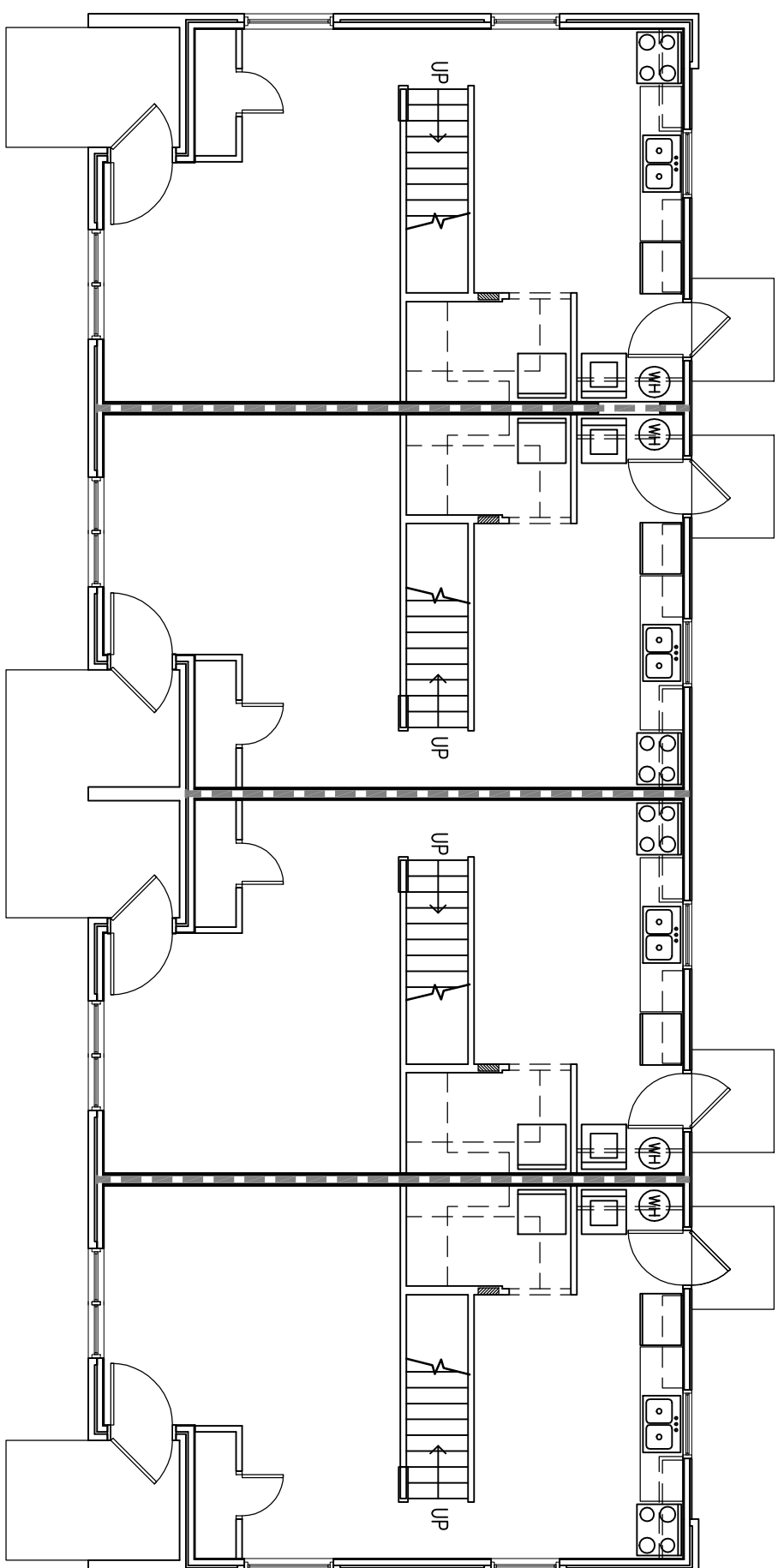
DATE: 02/22/18

DRAWN BY: VAD

COPIED NO.: 1802

SHEET: DRAWING NO. A7

10 OF 25



BUILDING TYPE "E" - FIRST FLOOR PLAN
1/8" = 1'-0"

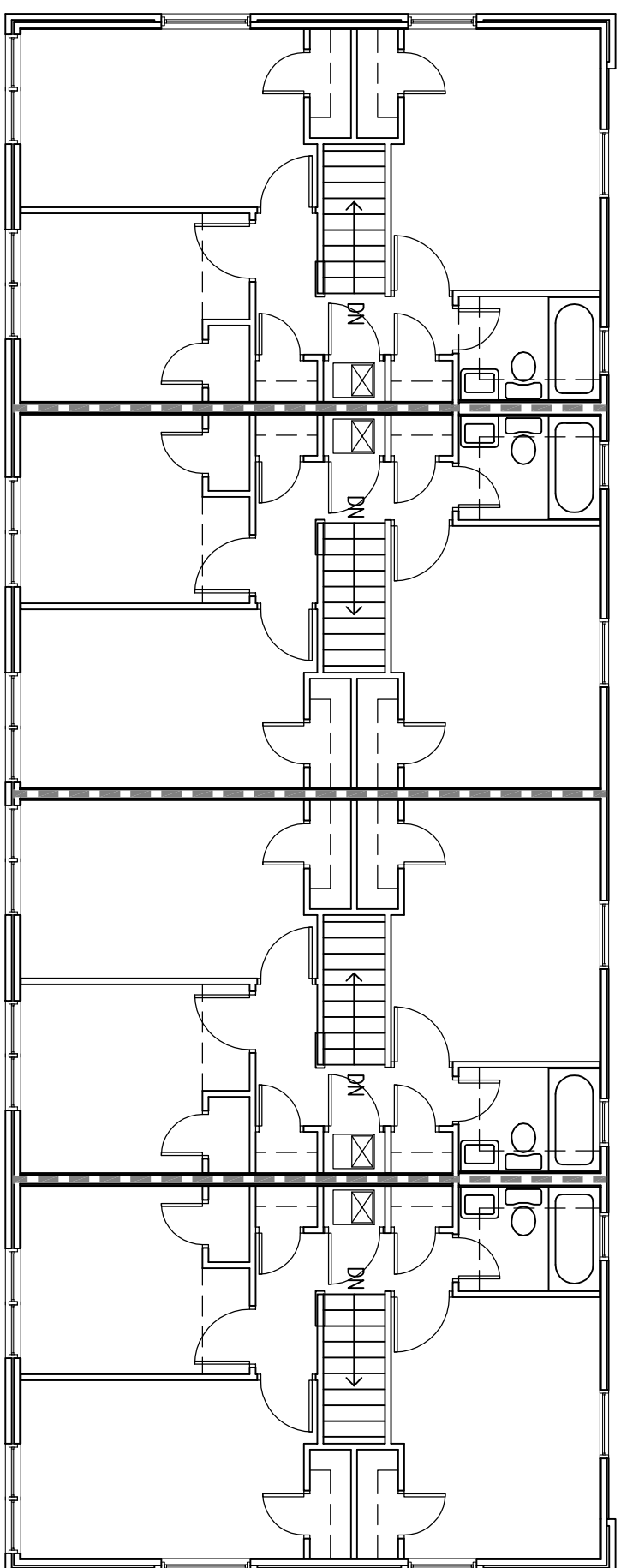
BUILDING TYPE "E"	
(2 STORES) NUMBER OF BUILDINGS:	9
UNIT NUMBER OF FLOORS PER BUILDING	2
TYPE	4
BEDROOMS	4

REMOVE EXISTING METER CENTER AND INSTALL NEW ELECTRICAL METER CENTER - SEE SHEET E6
NOTE: CONTRACTOR SHALL FILL ALL OPENINGS EXPOSED BY REMOVAL OF EXISTING METER CENTER WITH MATERIAL AS SPECIFIED IN CONTRACT SPECIFICATIONS - COLOR TO MATCH ADJACENT SURFACE

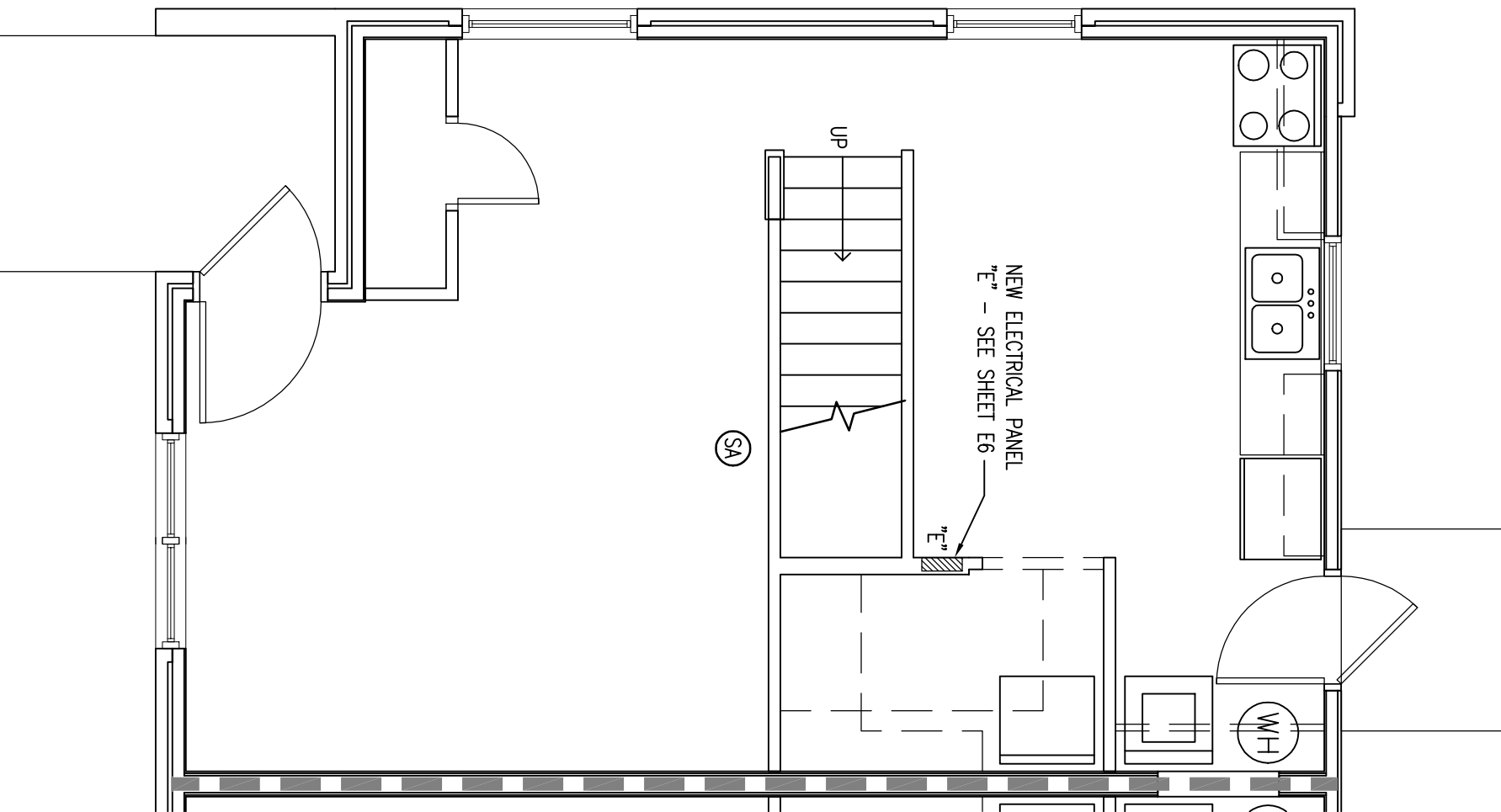
FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN - FIELD
- VERIFY EXISTING WALL CONSTRUCTION
- EXISTING TENANT SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
- EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPLACED WITH NEW ELECTRICAL PANEL - SEE SHEET E6 - DISTURBED AS PART OF INSTALLATION - REPAINT WALL AND NEW PANEL COVER TO MATCH EXISTING
- NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E6
- EXISTING INTERCONNECTED SMOKE ALARM TO BE REPLACED BY NEW SMOKE ALARM - SEE SHEET E6
- BASE BDR: ALL EXISTING SMOKE ALARMS TO BE REPLACED BY NEW SMOKE ALARMS - SEE SHEET E6
- ELECTRICAL WORK ADHERE ALTERNATE 1: INTERCONNECT NEW SMOKE ALARMS TO EXISTING SMOKE ALARMS TO REMAIN - SEE SHEET E6

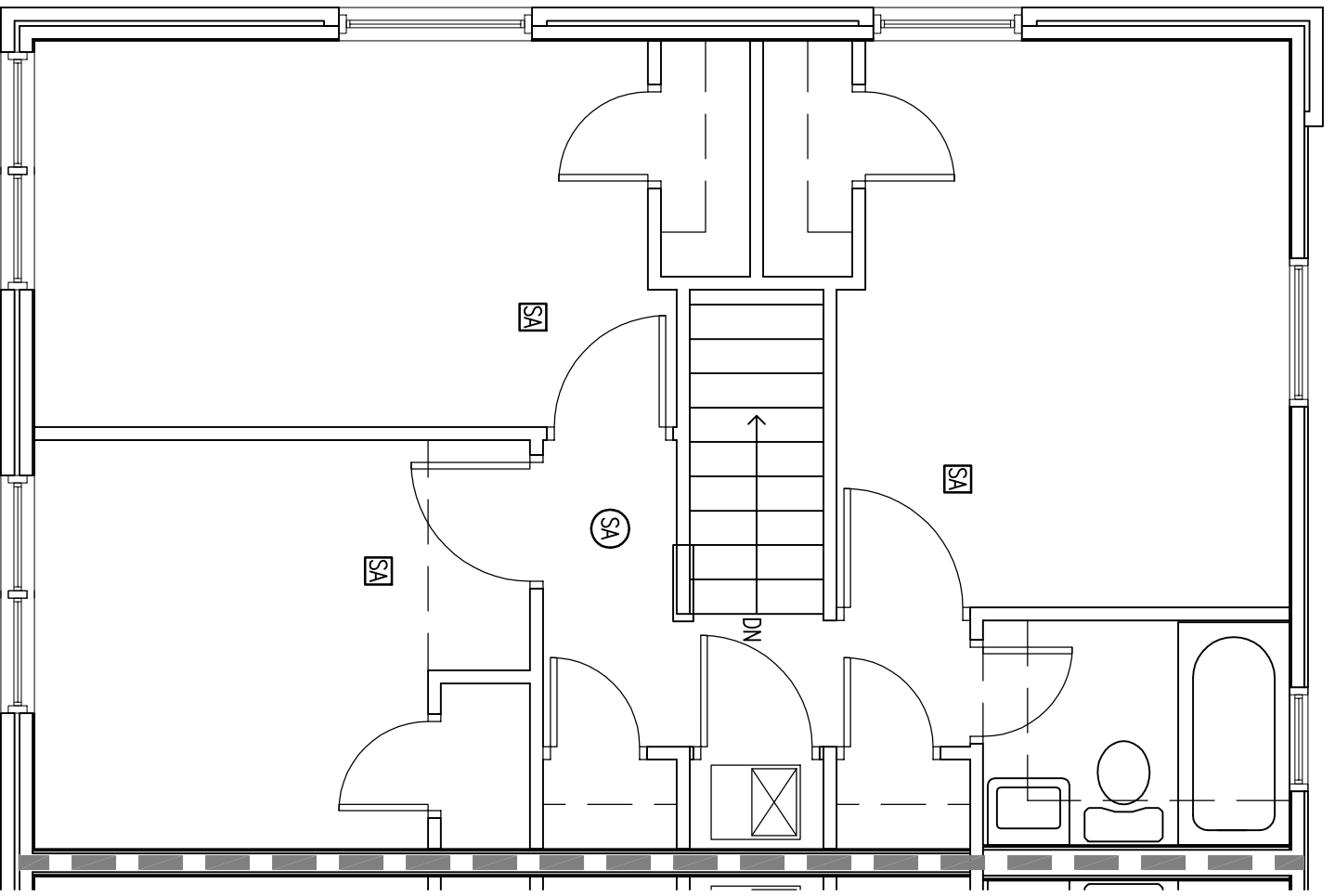
NOTE: ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED. WIRING FOR ALL FIRST FLOOR SMOKE ALARMS SHALL BE RUN IN EXPOSED CONDUIT. PAINT EXPOSED CONDUIT TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS. ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE FLUSH MOUNTED. WIRING FOR ALL SECOND FLOOR SMOKE ALARMS SHALL BE RUN IN THE ATTIC. CONTRACTOR SHALL PATCH AND FINISH ALL EXPOSED SURFACES WHICH HAVE BEEN DAMAGED OR MARKED BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.



BUILDING TYPE "E" - SECOND FLOOR PLAN
1/8" = 1'-0"



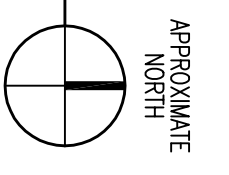
TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "E" (UNIT TYPE 4)
1/4" = 1'-0"



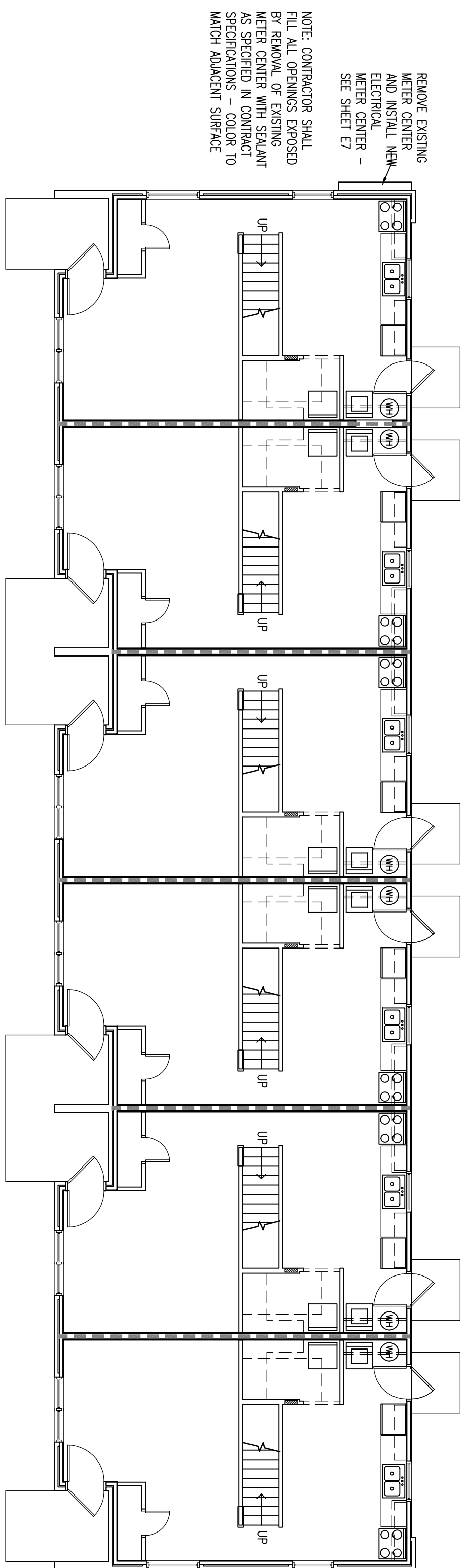
TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "E" (UNIT TYPE 4)
1/4" = 1'-0"



KEY PLAN - BUILDING "E"
1" = 300'-0"

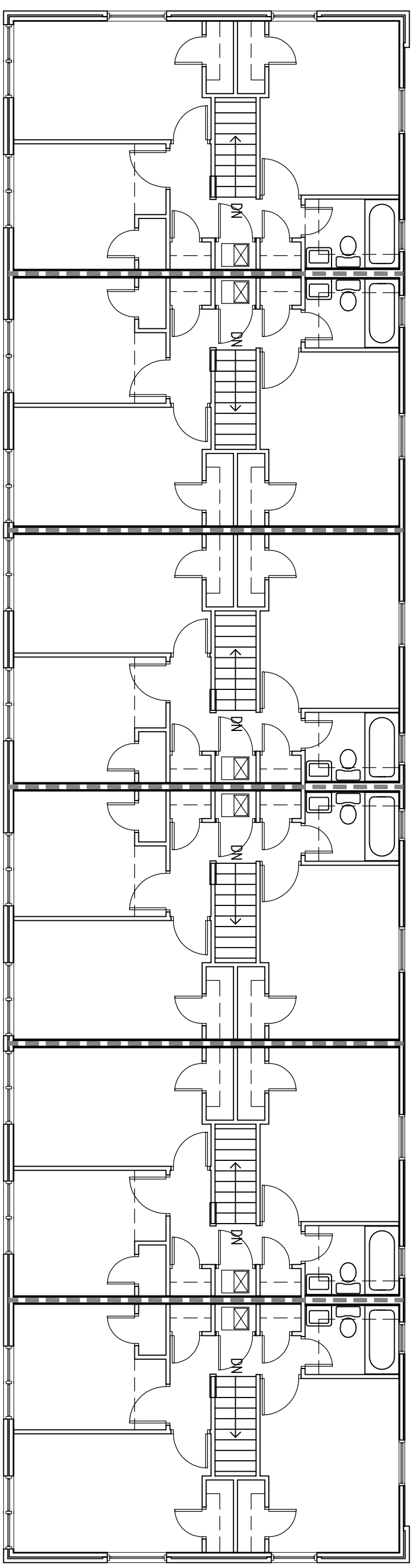


	<p>THOMAS CALDWELL, ARCHITECT 6500 PAPERMILL DRIVE, SUITE 211 KNOXVILLE, TENNESSEE 37919-4819 (865) 588-0860 (865) 558-9844/FAX HTTP://www.tcarchitect.com</p>	<p>THE DESIGN PROFESSIONAL WAIVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.</p>
<p>APPROXIMATE NORTH</p>	<p>11 OF 25 A8</p>	<p>1802 VAD 02/22/18 1802 VAD</p>

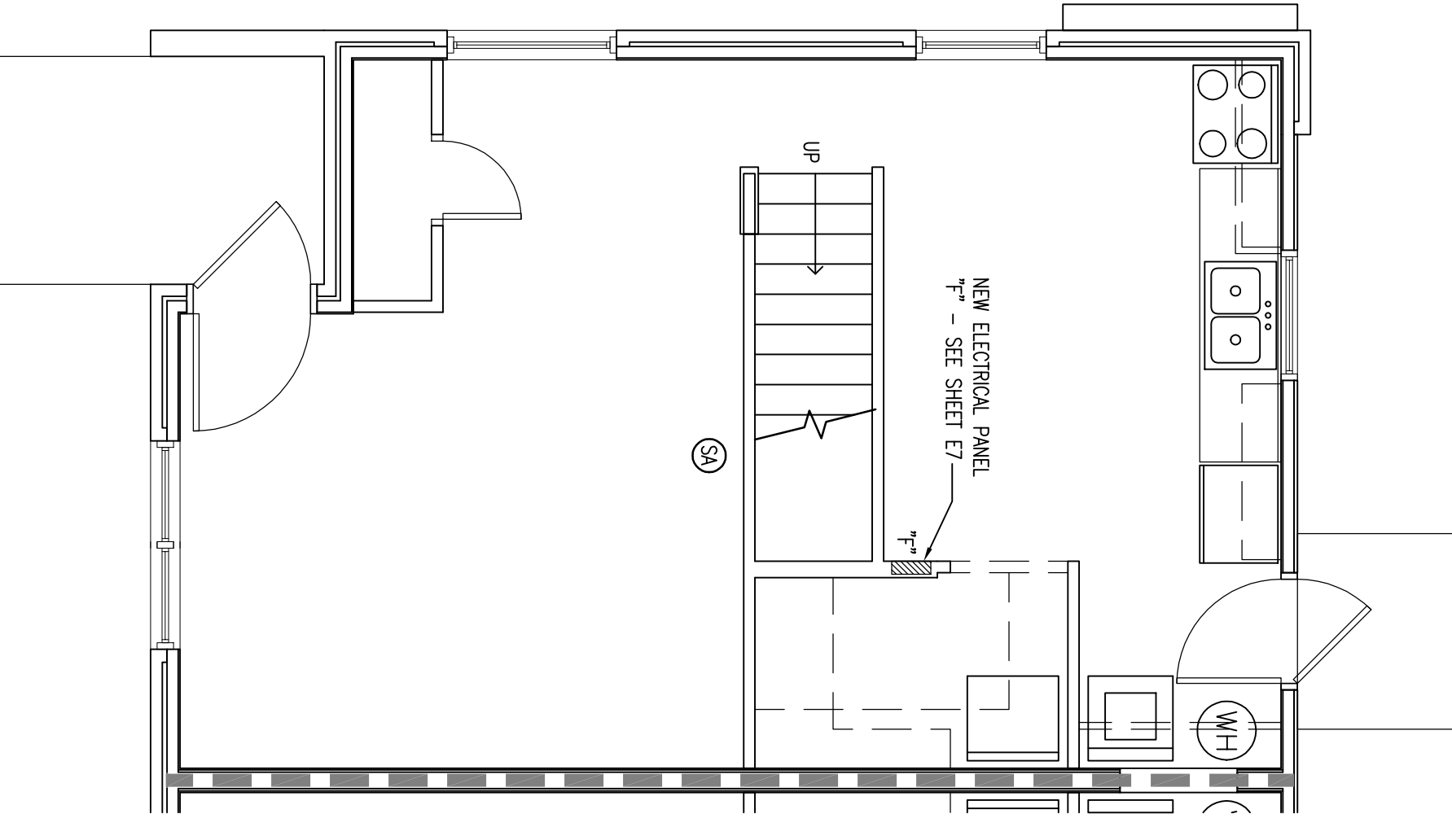


BUILDING TYPE "F" - FIRST FLOOR PLAN
1/8" = 1'-0"
1

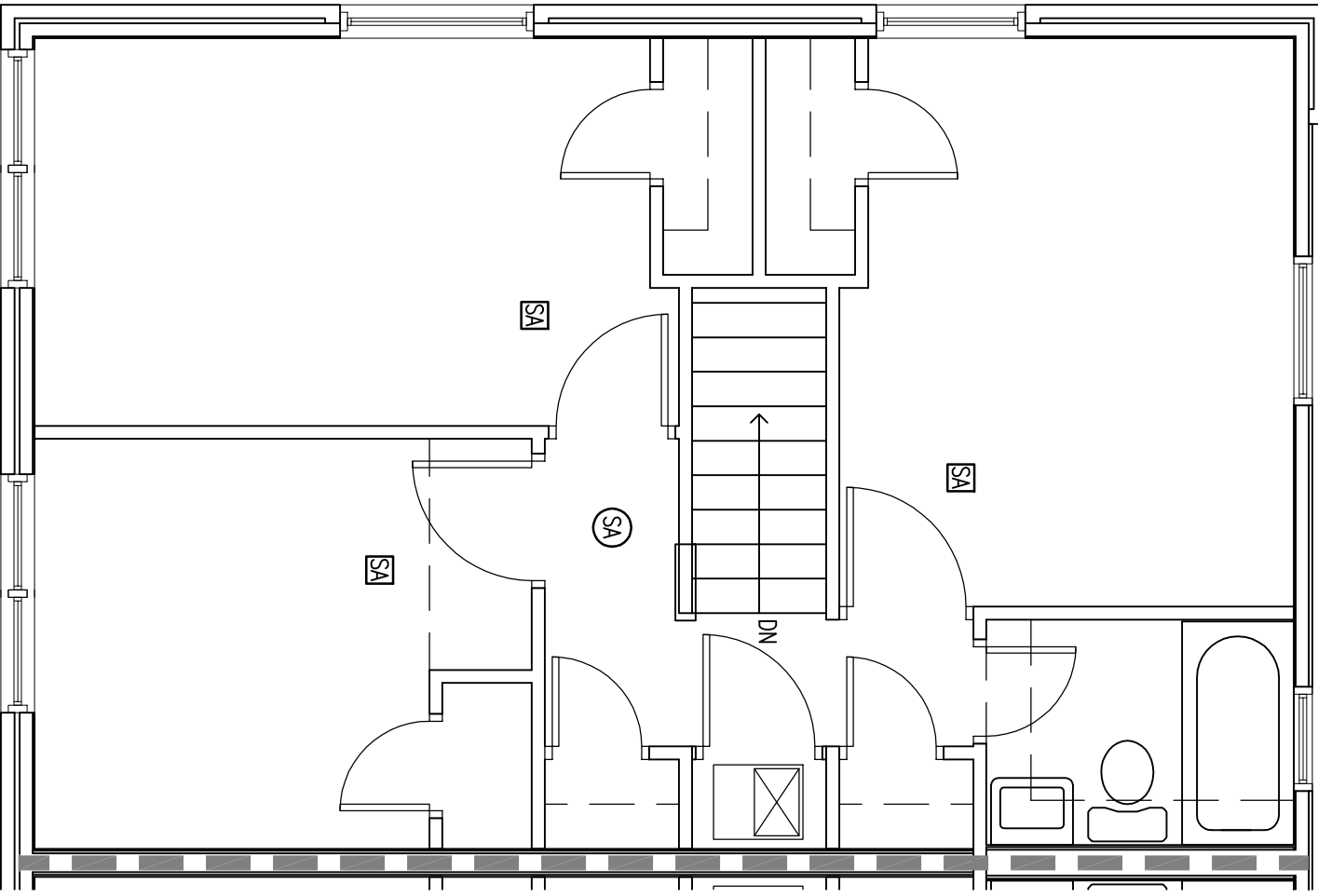
BUILDING TYPE "F"	
(2 STORES) NUMBER OF BUILDINGS: 4	
UNIT TYPE	NUMBER OF FLOORS PER BUILDING
4	3
3	2
2	6



BUILDING TYPE "F" - SECOND FLOOR PLAN
1/8" = 1'-0"
2



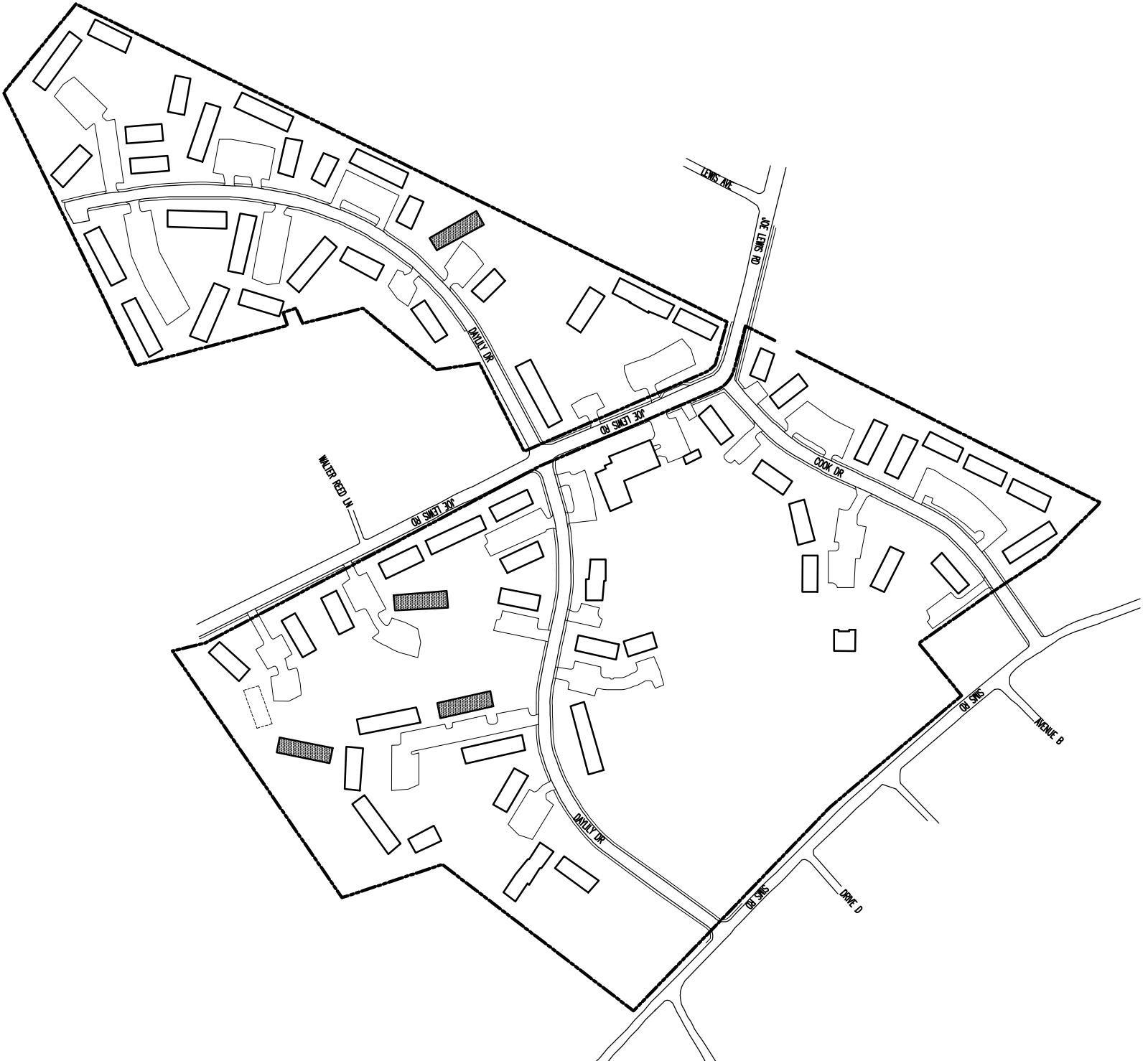
TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "F" (UNIT TYPE 4)
1/4" = 1'-0"
3



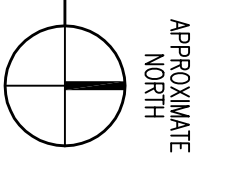
TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "F" (UNIT TYPE 4)
1/4" = 1'-0"
4

FLOOR PLAN LEGEND

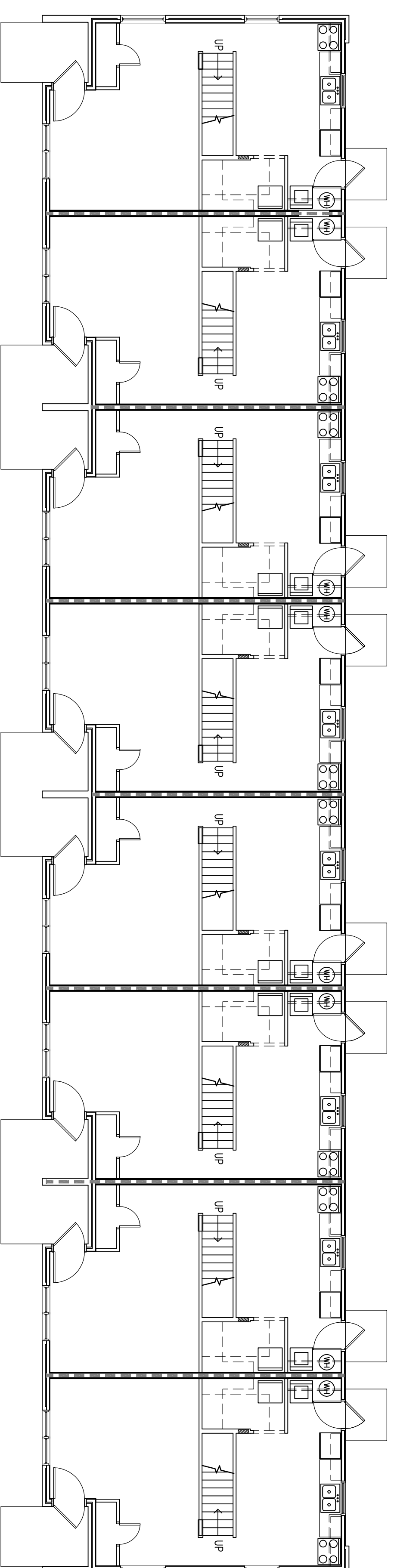
- EXISTING WALL TO REMAIN - FILL
 - VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING TENANT SEPARATION WALL TO REMAIN - FILL VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPAIRED - SEE SHEET E7 - PATCH AND REPAIR ALL GYP BOARD DISTURBED AS PART OF INSTALLATION - REPAINT WALL AND NEW PANEL COVER TO MATCH EXISTING
 - NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E7
 - EXISTING INTERCONNECTED SMOKE ALARM BASE: DO NOT REMOVE - ALL EXISTING SMOKE ALARMS TO BE REPLACED BY NEW SMOKE ALARMS - SEE SHEET E7
 - ELECTRICAL WORK DEDUCT ALTERNATE 1: INTERCONNECT NEW SMOKE ALARMS TO EXISTING SMOKE ALARMS TO REMAIN - SEE SHEET E7
- NOTE:
- ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED. WIRING FOR ALL FIRST FLOOR SMOKE ALARMS SHALL BE RUN IN EXPOSED CONDUIT - PAINT EXPOSED CONDUIT TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS
 - ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE FLUSH MOUNTED. WIRING FOR ALL SECOND FLOOR SMOKE ALARMS SHALL BE RUN IN THE ATTIC. CONTRACTOR SHALL PATCH EXISTING PAINT WHICH HAS BEEN DAMAGED, CHIPPED OR WARRIED BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.



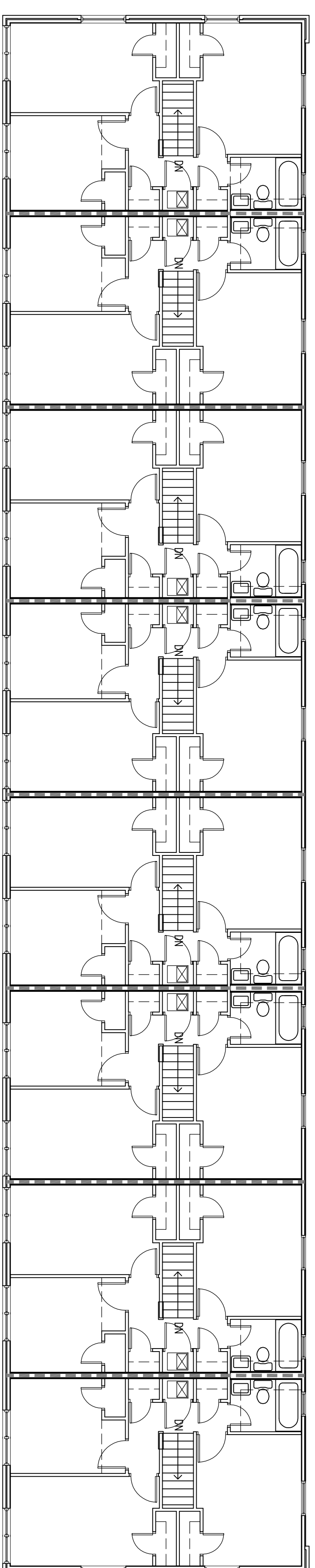
KEY PLAN - BUILDING "F"
1" = 300'-0"



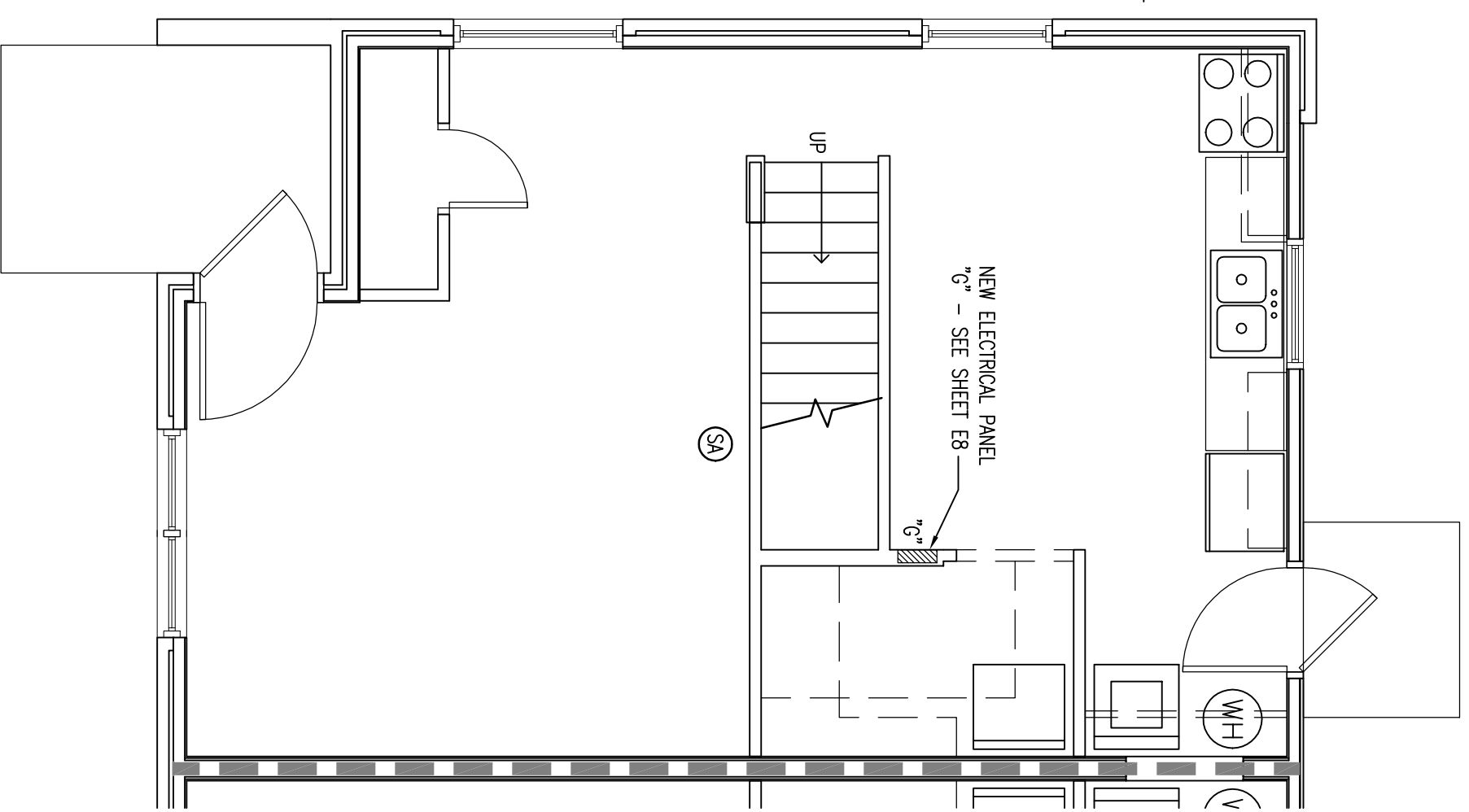
<p>12 OF 25 A9</p>	<p>SHEET: DRAWING NO. 1802</p>	<p>DATE: 02/22/18 DRAWN BY: VAD</p>	<p>DATE: 02/22/18 DRAWN BY: VAD</p>	<p>REVISION DATE:</p>	<p>© COPYRIGHT 2018 DRAWING NAME: FLOOR PLANS - "F" BUILDING TYPE "F"</p>		<p>THOMAS CALDWELL, ARCHITECT 6500 PAPERMILL DRIVE, SUITE 211 KNOXVILLE, TENNESSEE 37919-4819 (865) 588-0860 (865) 558-9844/FAX HTTP://WWW.TCARCHITECT.COM</p>	<p>THE DESIGN PROFESSIONAL WAVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.</p>	<p>ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR: MONTGOMERY VILLAGE APARTMENTS - KCDC KNOXVILLE, TENNESSEE</p>
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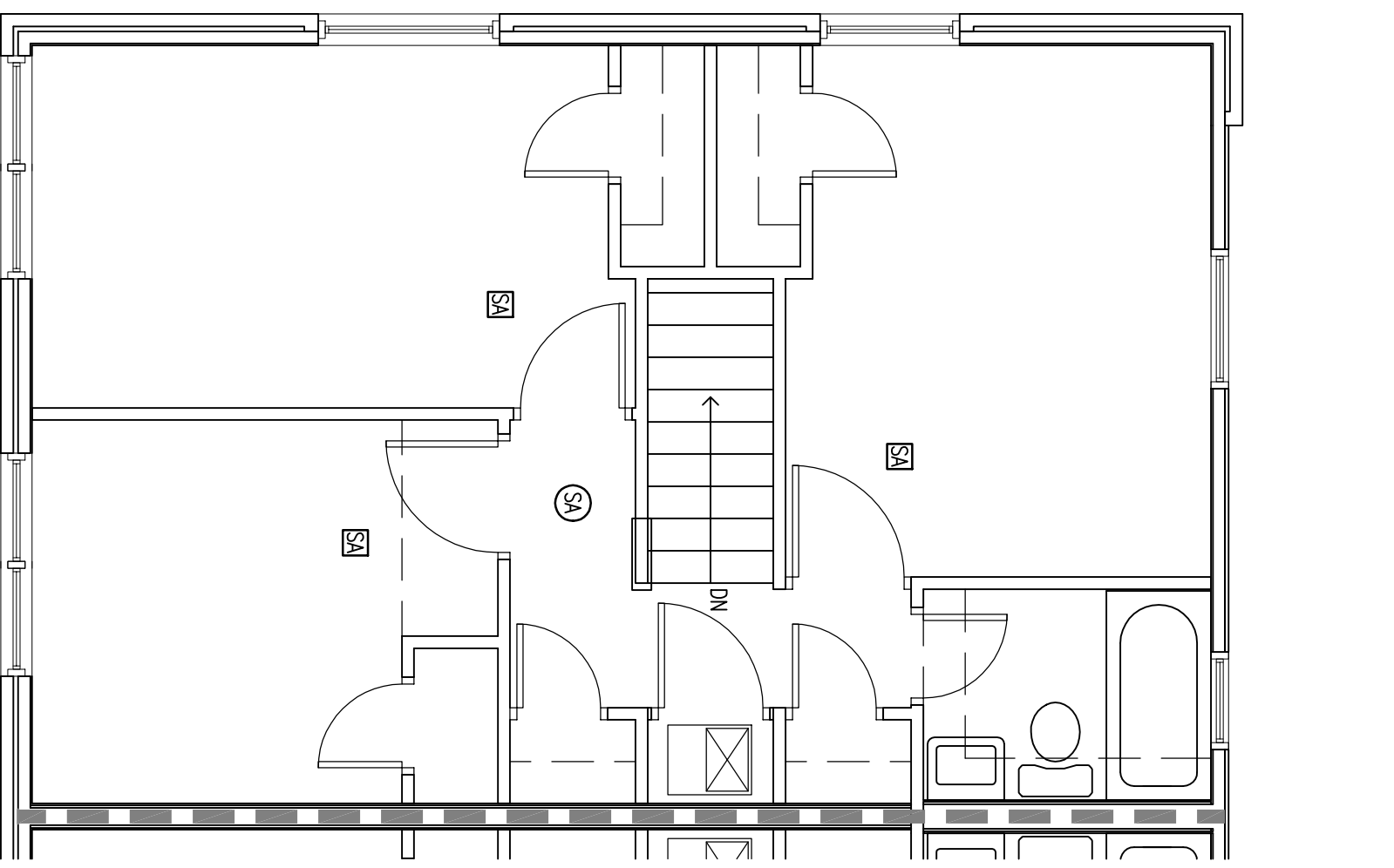
BUILDING TYPE "G" - FIRST FLOOR PLAN
1/8" = 1'-0"



BUILDING TYPE "G" - SECOND FLOOR PLAN
1/8" = 1'-0"



TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "G" (UNIT TYPE 4)
1/4" = 1'-0"



TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "G" (UNIT TYPE 4)
1/4" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING TYPICAL SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPLACED WITH NEW ELECTRICAL PANEL - SEE SHEET E8 - PATCH AND REPAIR ALL GYP BOARD SURFACES AS WELL AS REPAIR AND REPAINT WALL AND NEW PANEL COVER TO MATCH EXISTING
 - NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E8
 - EXISTING INTERCONNECTED SMOKE ALARM BASE BOP. ALL EXISTING SMOKE ALARMS TO BE REPLACED BY NEW SMOKE ALARMS IN SAME LOCATION
 - ELECTRICAL WORK DETECT ALTERNATE 1: INTERCONNECT NEW SMOKE ALARMS TO EXISTING SMOKE ALARMS TO REMAIN - SEE SHEET E8
- NOTE:
- ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED
 - ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE BUILT IN
 - CONTRACTOR SHALL PATCH AND PAINT ALL CEILINGS TO MATCH EXISTING WHICH HAVE BEEN DAMAGED, CHIPPED, OR DAMAGED BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.

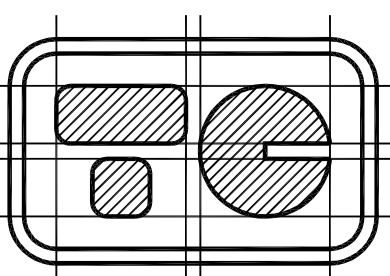


KEY PLAN - BUILDING "G"
1" = 300'-0"

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
KNOXVILLE, TENNESSEE

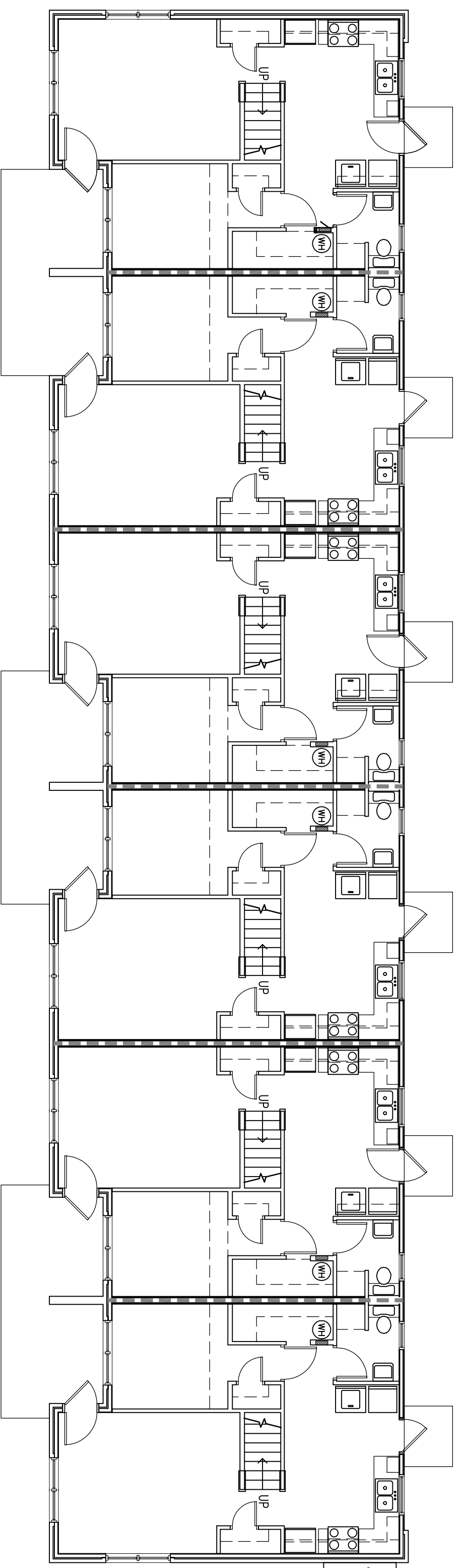
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KNOXVILLE, TENNESSEE 37919-4819
(865) 588-0860 (865) 558-9844/FAX
[HTTP://www.tcarchitect.com](http://www.tcarchitect.com)



DRAWING NAME:
FLOOR PLANS - "G"
BUILDING TYPE "G"

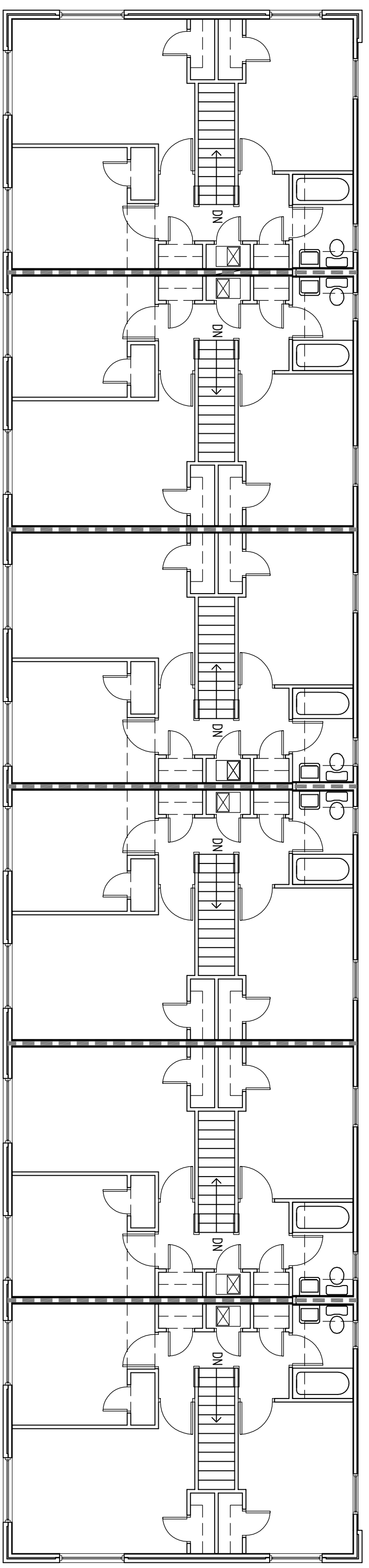
© COPYRIGHT 2018
REVISION DATE:
DATE: 02/22/18
DRAWN BY: VAD
COMPL. NO.: 1802
SHEET: DRAWING NO.: A10
13 OF 25



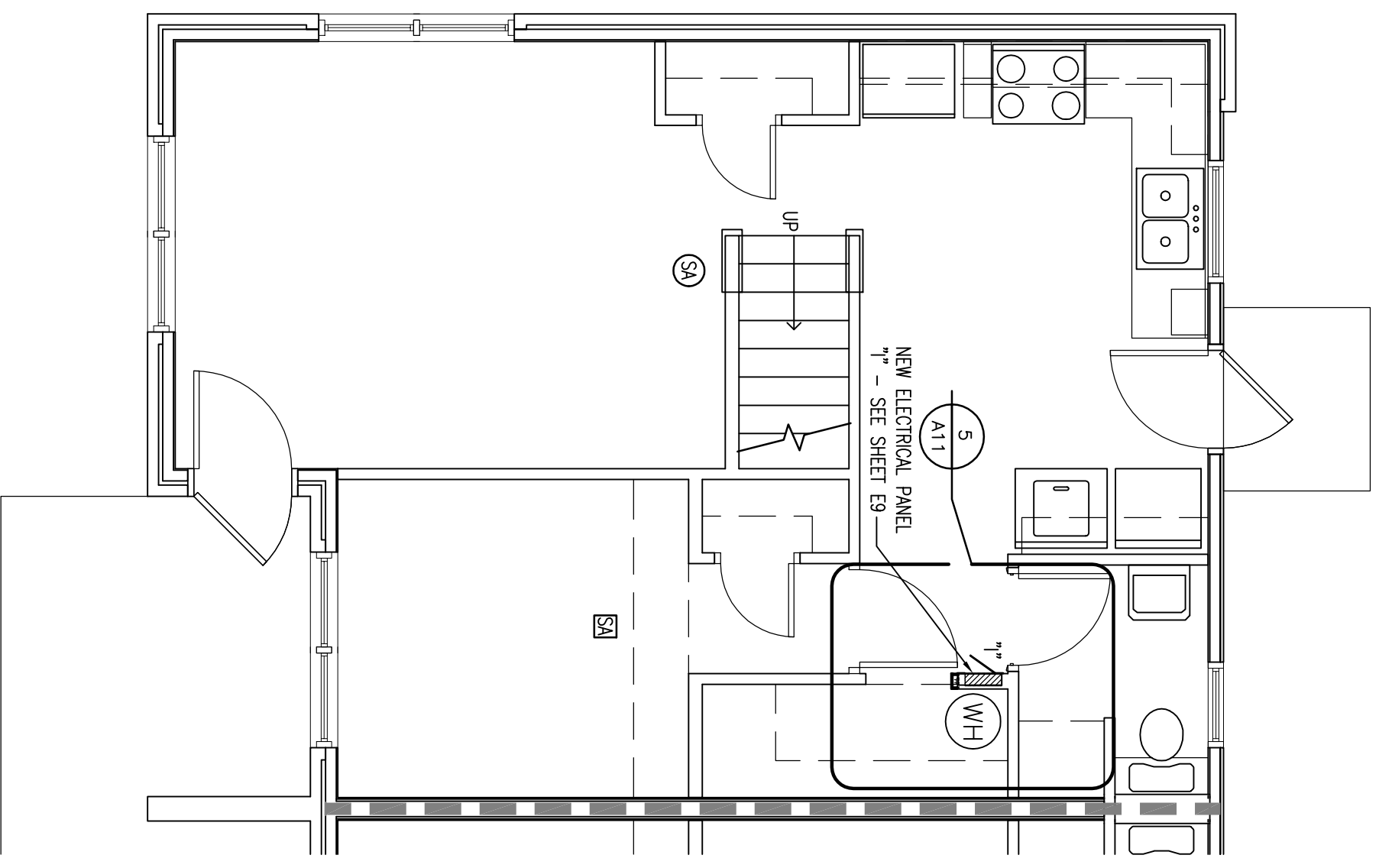
BUILDING TYPE "1" - FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING TYPE "1"	
(2 STORES) NUMBER OF BUILDINGS: 7	
UNIT TYPE	NUMBER OF UNITS PER BUILDING
3	4
4	2
5	6

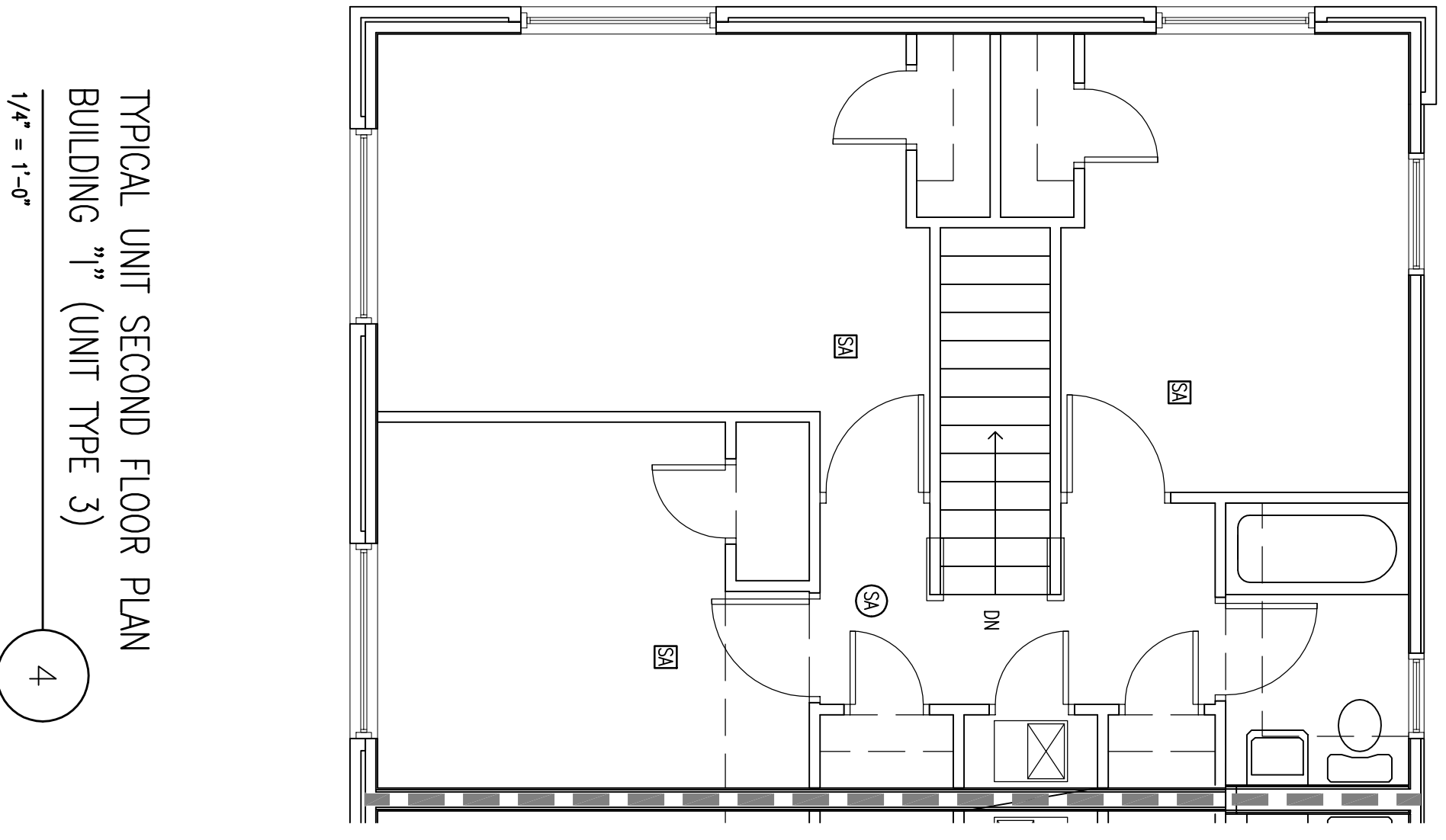
NOTE: CONTRACTOR SHALL REMOVE EXISTING METER CENTER AND INSTALL NEW METER CENTER - SEE SHEET E9. FILL ALL OPENINGS EXPOSED BY REMOVAL OF EXISTING METER CENTER WITH SEALANT AS SPECIFIED IN CONTRACT SPECIFICATIONS - COLOR TO MATCH ADJACENT SURFACE.



BUILDING TYPE "1" - SECOND FLOOR PLAN
1/8" = 1'-0"

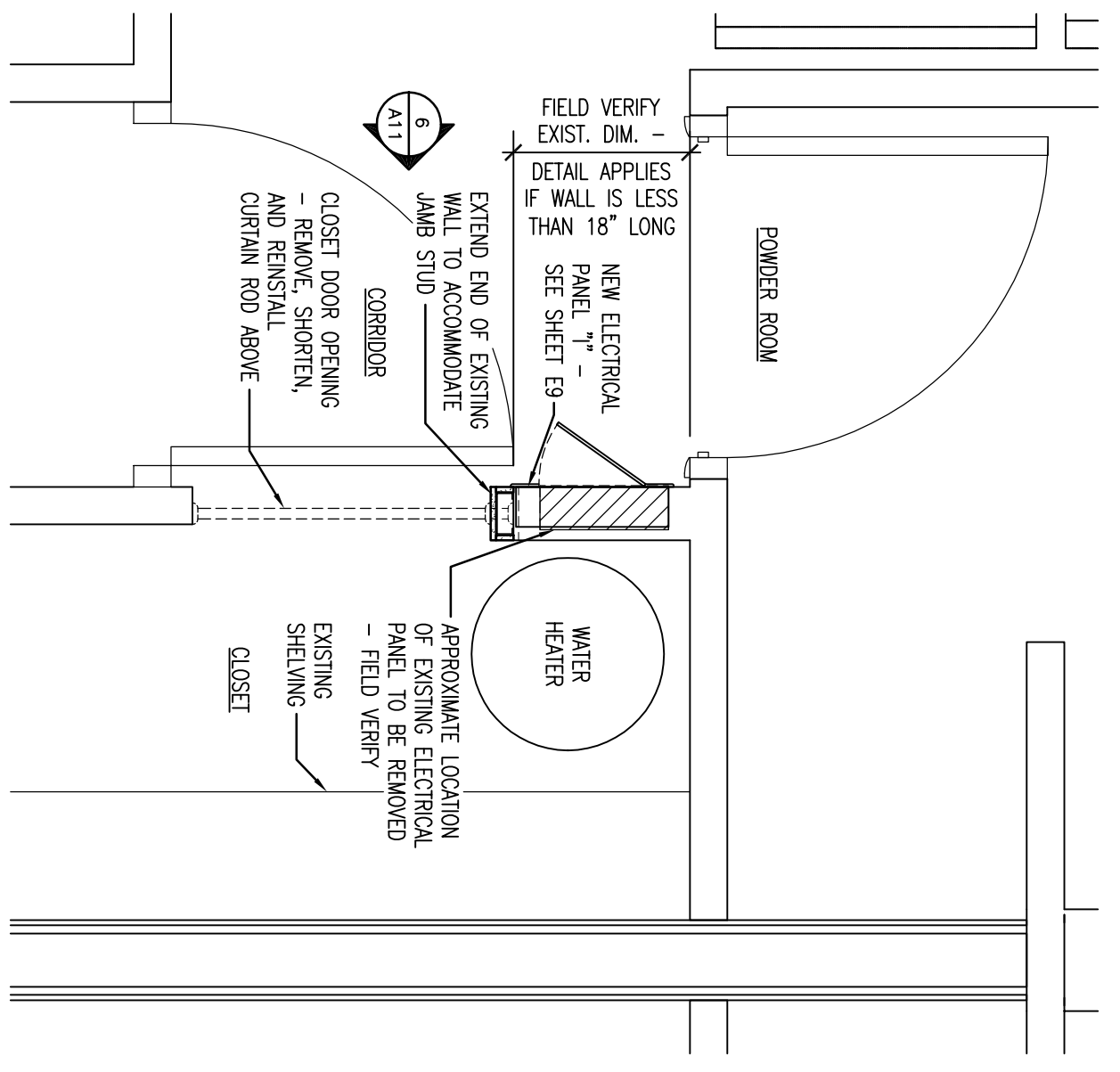


TYPICAL UNIT FIRST FLOOR PLAN
BUILDING "1" (UNIT TYPE 3)
1/4" = 1'-0"

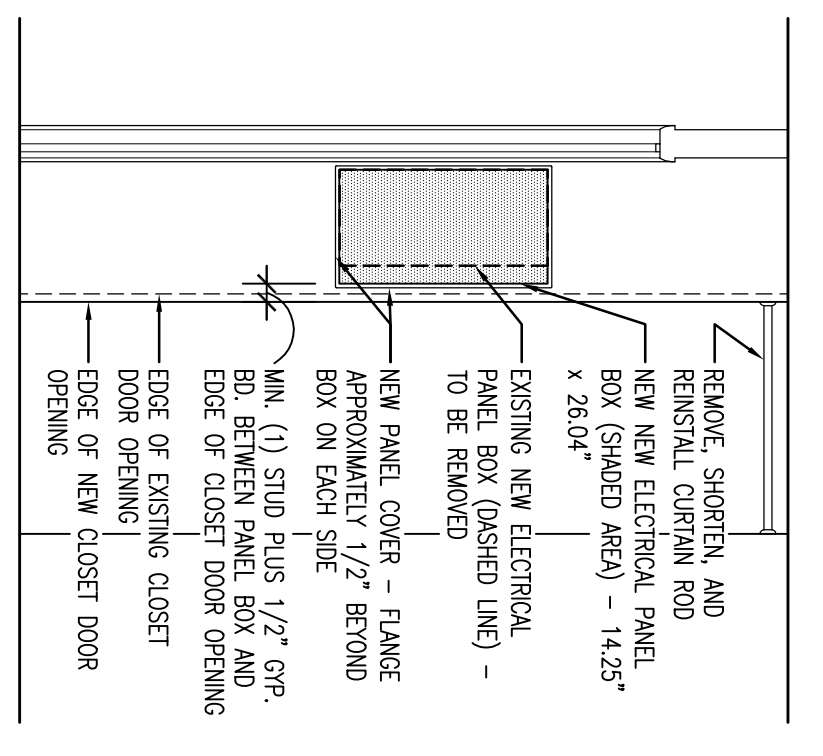


TYPICAL UNIT SECOND FLOOR PLAN
BUILDING "1" (UNIT TYPE 3)
1/4" = 1'-0"

- FLOOR PLAN LEGEND**
- EXISTING WALL TO REMAIN - FIELD
 - VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING TENANT SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPAIRED TO MEET ALL ELECTRICAL PANEL - SEE SHEET E9
 - REPAIR AND REPAIR ALL GCP BOARD DISTURBED AS PART OF INSTALLATION - REPAIR WALL AND NEW PANEL COVER TO MATCH EXISTING
 - NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E9
 - EXISTING INTERCONNECTED SMOKE ALARM BASE AND ALL EXISTING SMOKE ALARMS TO BE REMOVED AND REPAIRED TO MEET ALL ELECTRICAL PANEL - SEE SHEET E9
 - ELECTRICAL WORK REMOVE ALTERNATE 1: INTERCONNECT NEW SMOKE ALARMS TO EXISTING SMOKE ALARMS TO REMAIN - SEE SHEET E9

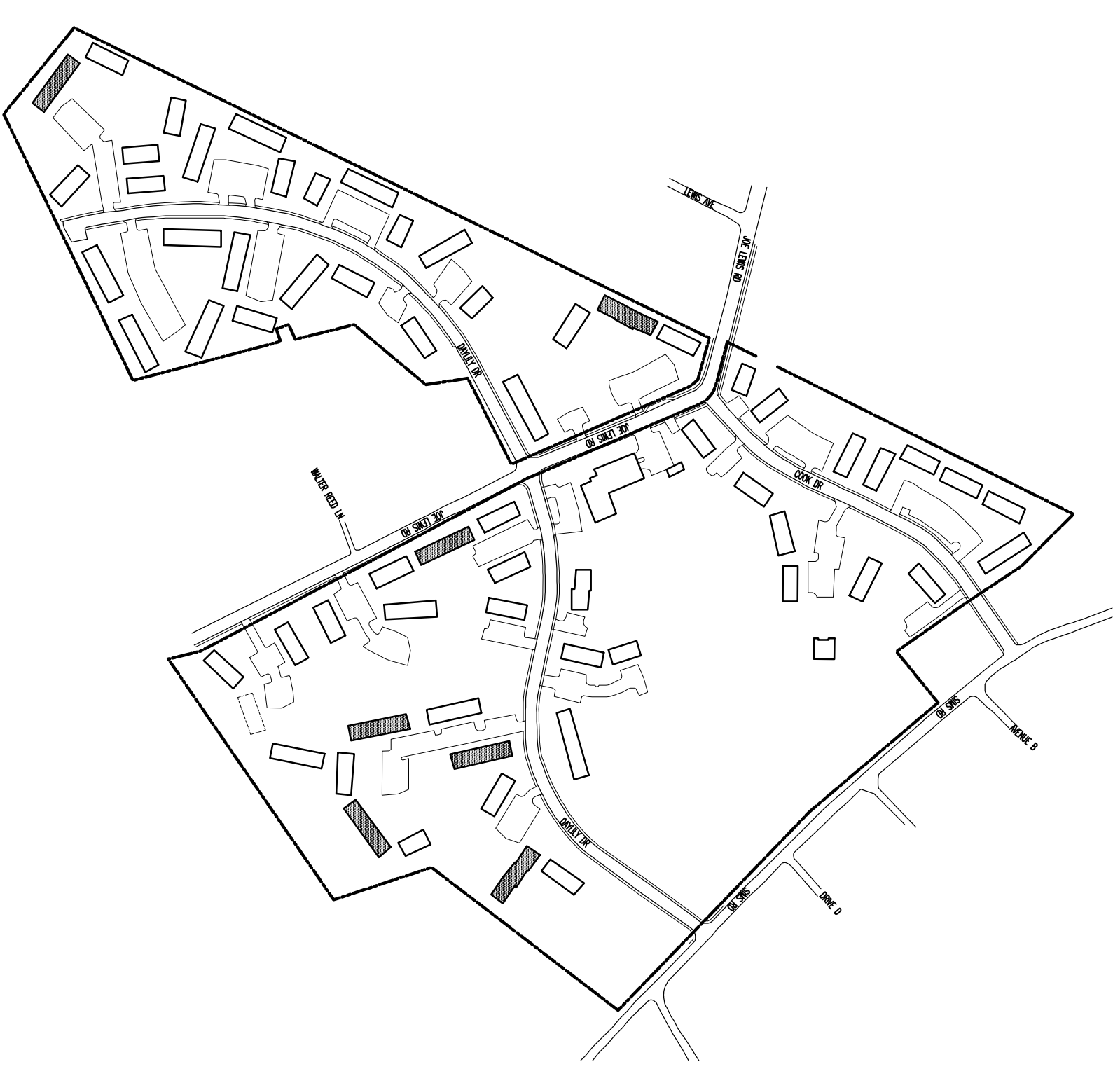


ENLARGED PLAN - TYPICAL ELECTRICAL PANEL INSTALLATION - BUILDING TYPE "1"
3/4" = 1'-0"

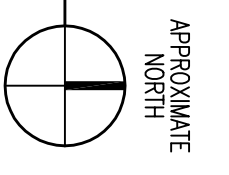


INTERIOR ELEVATION - ELECTRICAL PANEL INSTALLATION
1/2" = 1'-0"

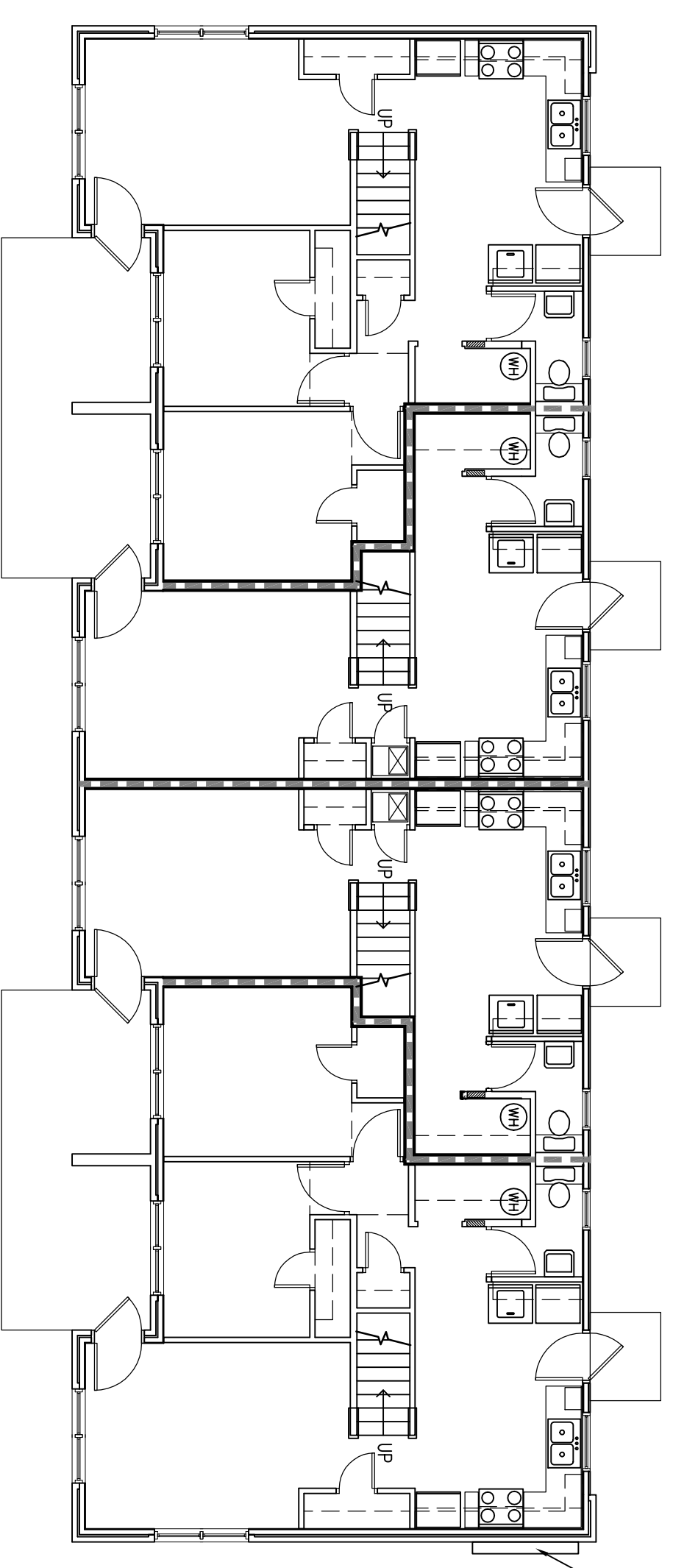
- REMOVE, SHORTEN, AND REINSTALL CURTAIN ROD - NEW NEW ELECTRICAL PANEL BOX (SHADED AREA) - 14.25" x 26.04"
- EXISTING NEW ELECTRICAL PANEL BOX (DASHED LINE) - TO BE REMOVED
- NEW PANEL COVER - FLANGE APPROXIMATELY 1/2" BEYOND BOX ON EACH SIDE
- MIN. (1) STUD PLUS 1/2" GCP, BD, BETWEEN PANEL BOX AND EDGE OF CLOSET DOOR OPENING
- EDGE OF EXISTING CLOSET DOOR OPENING
- EDGE OF NEW CLOSET DOOR OPENING



KEY PLAN - BUILDING "1"
1" = 300'-0"



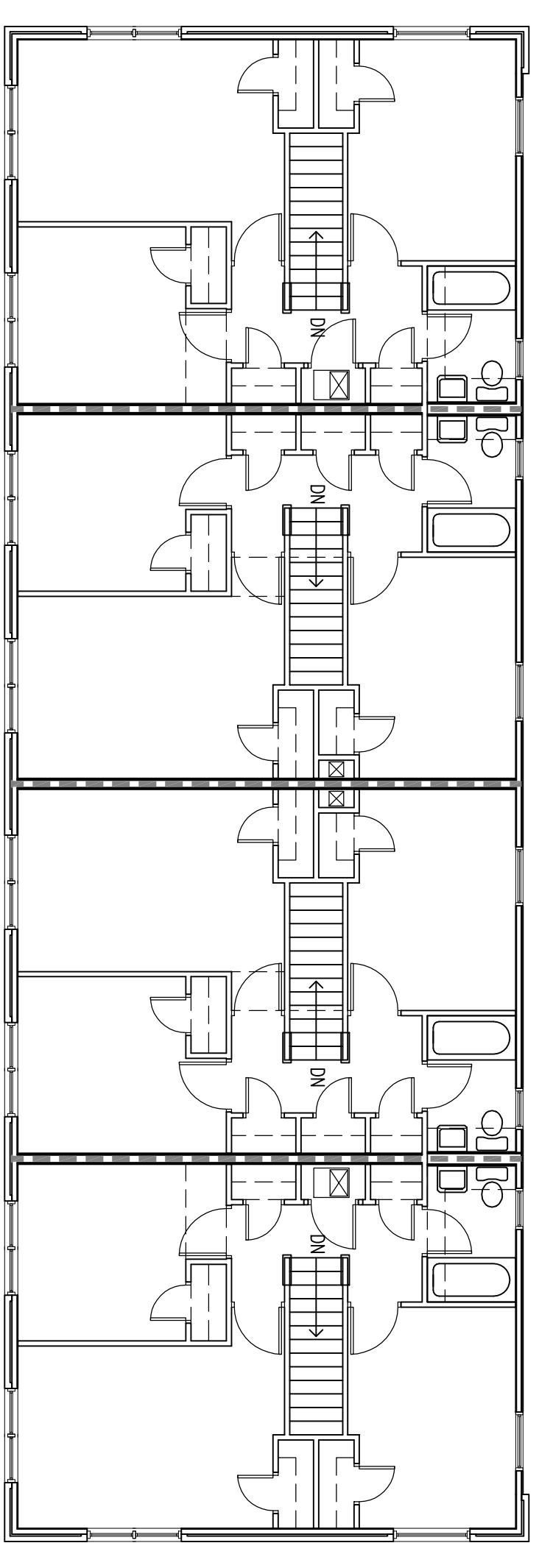
	<p>THOMAS CALDWELL, ARCHITECT 6500 PAPERMILL DRIVE, SUITE 211 KNOXVILLE, TENNESSEE 37919-4819 (865) 588-0860 (865) 558-9844/FAX HTTP://WWW.TCARCHITECT.COM</p>	<p>THE DESIGN PROFESSIONAL WAVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES OR CONFLICTS WHICH ARE ALLEGED.</p>
<p>DRAWING NAME: FLOOR PLANS - "1" BUILDING TYPE "1"</p>	<p>DATE: 02/22/18 DRAWN BY: VAD COCHK. NO.: 1802</p>	<p>ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR: MONTGOMERY VILLAGE APARTMENTS - KCDC KNOXVILLE, TENNESSEE</p>
<p>14 OF 25 A11</p>		



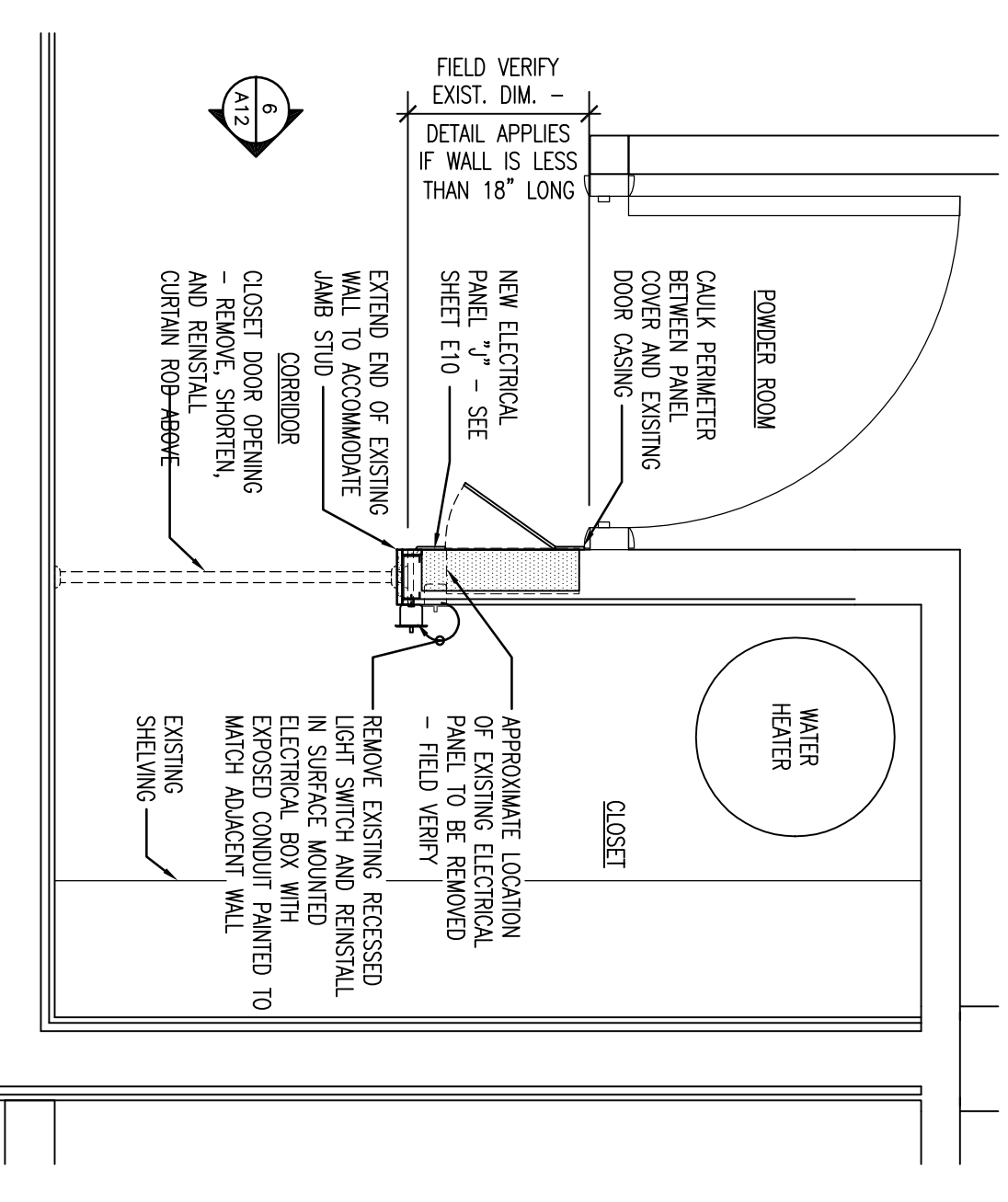
BUILDING TYPE "J"
(2 STORES) NUMBER OF BUILDINGS: 17

UNIT TYPE	NUMBER OF FLOORS PER UNIT	UNITS PER BUILDING
5	3	2
6	3	2

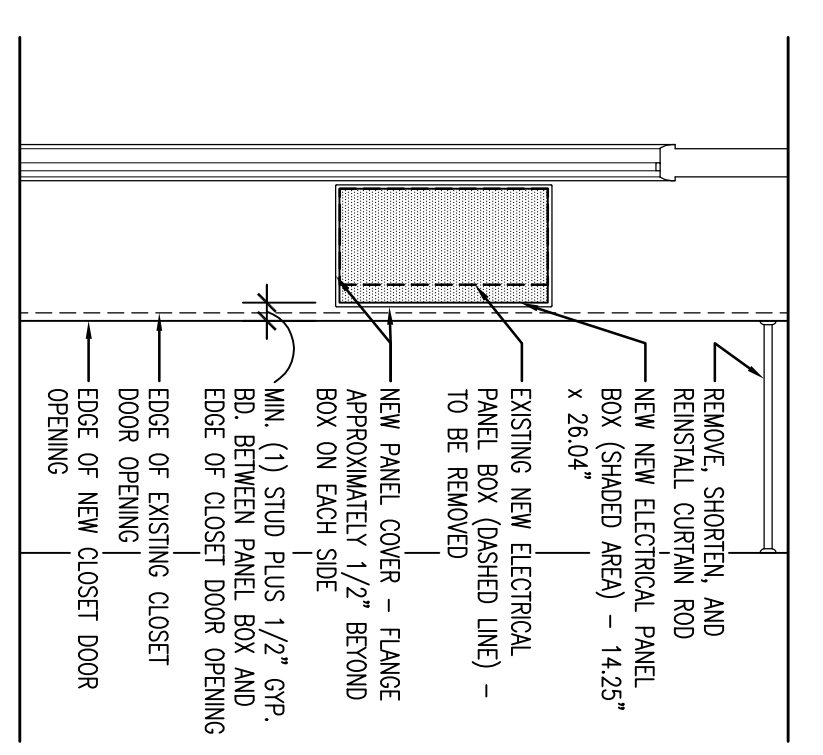
NOTE: CONTRACTOR SHALL REMOVE EXISTING METER CENTER AND INSTALL NEW METER CENTER - SEE SHEET E9
 FILL ALL OPENINGS EXPOSED BY REMOVAL OF EXISTING METER CENTER WITH SEALANT AS SPECIFIED IN CONTRACT SPECIFICATIONS - CONTACT TO MATCH ADJACENT SURFACE



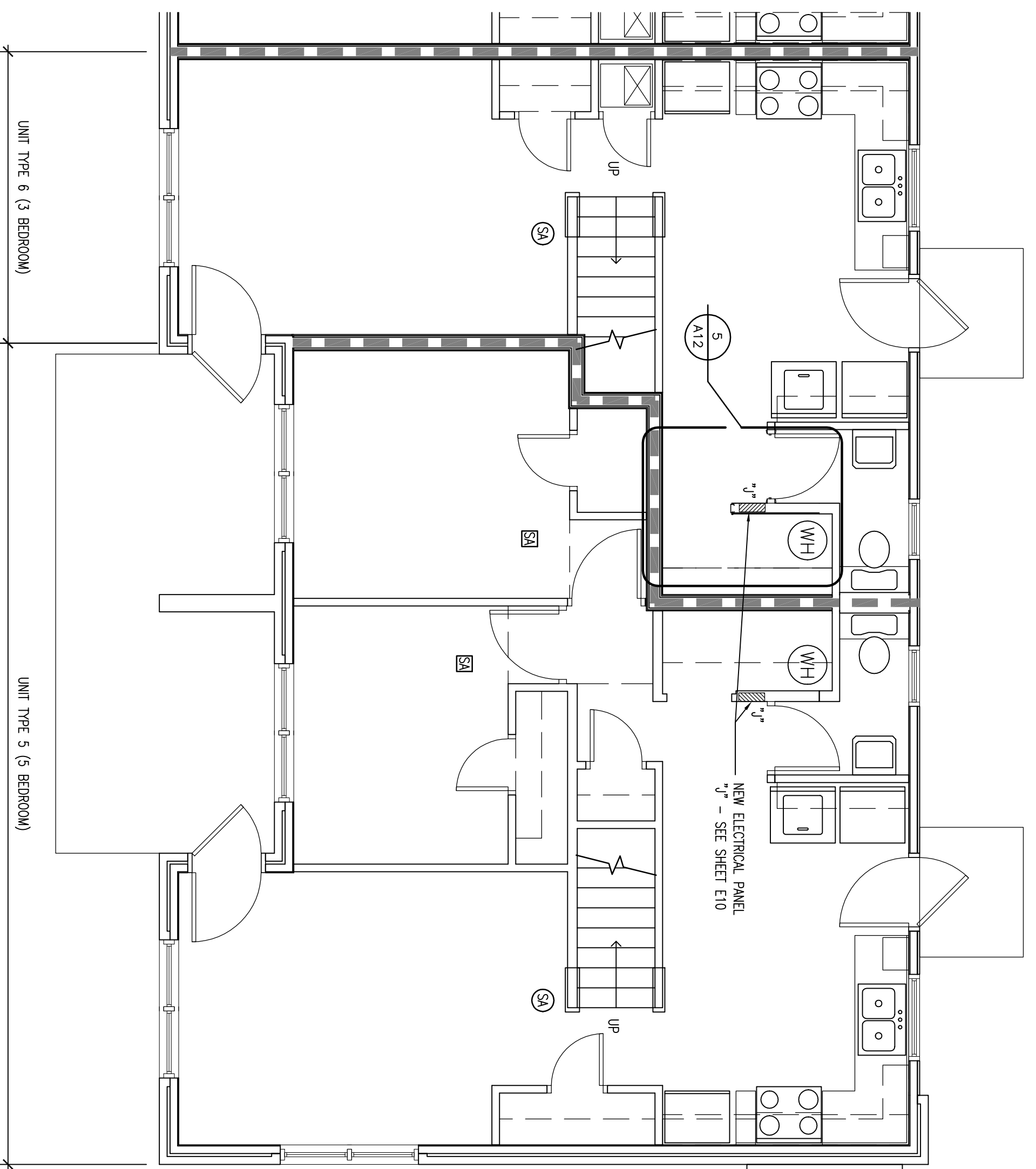
BUILDING TYPE "J" - SECOND FLOOR PLAN
1/8" = 1'-0"



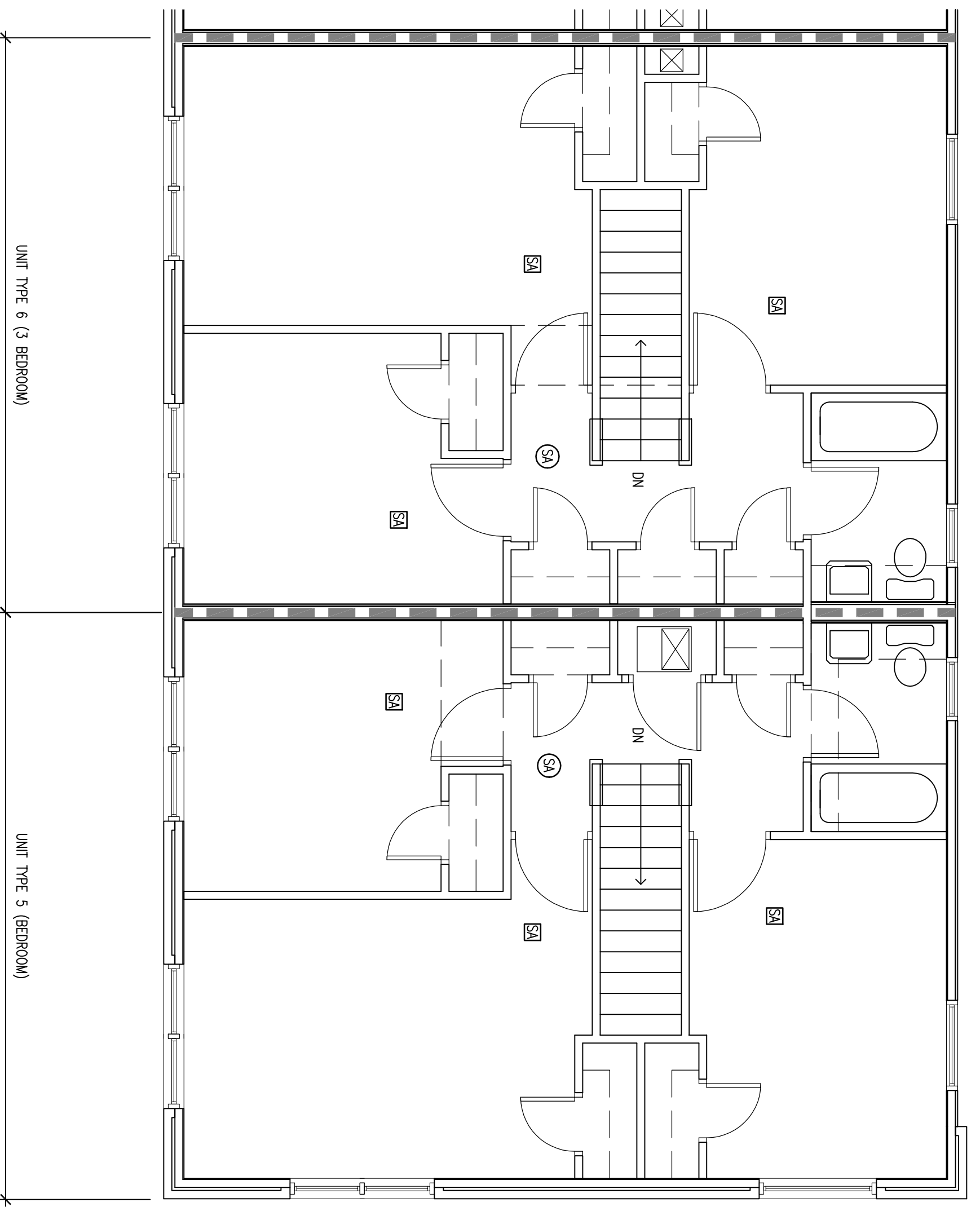
ENLARGED PLAN - TYPICAL ELECTRICAL PANEL INSTALLATION - BUILDING TYPE "J"
3/4" = 1'-0"



INTERIOR ELEVATION - ELECTRICAL PANEL INSTALLATION
1/2" = 1'-0"



TYPICAL UNITS FIRST FLOOR PLAN - BUILDING "J" (UNIT TYPES 5 & 6)
1/4" = 1'-0"



TYPICAL UNITS SECOND FLOOR PLAN - BUILDING "J" (UNIT TYPES 5 & 6)
1/4" = 1'-0"



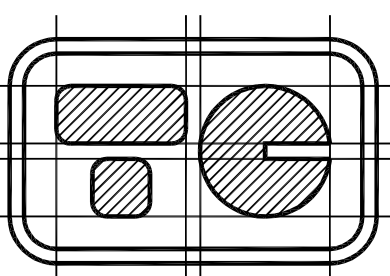
KEY PLAN - BUILDING "J"
1" = 300'-0"

- FLOOR PLAN LEGEND**
- EXISTING WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING REMAIN SEPARATION WALL TO REMAIN - FIELD VERIFY EXISTING WALL CONSTRUCTION
 - EXISTING ELECTRICAL PANEL TO BE REMOVED AND REPLACED WITH NEW PATCH AND REPAIR ALL COP BOARD DISTURBED AS PART OF INSTALLATION - TO MATCH EXISTING
 - NEW INTERCONNECTED SMOKE ALARM - SEE SHEET E10
 - EXISTING INTERCONNECTED SMOKE ALARM BEARING ALL EXISTING SMOKE ALARMS IN SAME LOCATION
 - ELECTRICAL WORK REDUCED ALTERNATE 1.1 - SEE SHEET E10
- NOTE:
 - ALL NEW FIRST FLOOR SMOKE ALARMS SHALL BE SURFACE MOUNTED. WORKS FOR ALL FIRST FLOOR SMOKE ALARMS SHALL BE FIELD VERIFIED TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS.
 - ALL NEW SECOND FLOOR SMOKE ALARMS SHALL BE FLUSH MOUNTED. WORKS FOR ALL SECOND FLOOR SMOKE ALARMS SHALL BE FIELD VERIFIED TO MATCH CEILING - DO NOT PAINT SMOKE ALARMS.
 - CONTRACTOR SHALL PATCH AND PAINT ALL CEILINGS TO MATCH EXISTING WHICH HAVE BEEN DAMAGED, CHIPPED, OR MARKED BY INSTALLATION OF NEW SMOKE ALARMS. DO NOT PAINT SMOKE ALARMS.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC
 KNOXVILLE, TENNESSEE

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES OR CONFLICTS WHICH ARE ALLEGED.

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[HTTP://www.tcarchitect.com](http://www.tcarchitect.com)



DRAWING NAME:
FLOOR PLANS - BUILDING TYPE "J"

DATE:	02/22/18
DRAWN BY:	VAD
COINH. NO.:	1802
SHEET:	DRAWING NO. A12
15 OF 25	

PANEL: A		VOLTAGE: 120/240		PHASE: 1		WIRE: 3		BUS: CU	
BUS RATING: 100 AMP		MAIN: NO - MLO		ENCLOSURE: NEMA 1		MOUNTING: FLUSH			
#	AMP POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP #
1	50	2 RANGE	4,000.0	6,506.0	-	2,506.0	AIR HANDLER	2	30 2
3	1	1	4,000.0	-	-	6,506.0	2,506.0	1	4
5	30	2 WATER HEATER	2,250.0	4,750.0	-	2,500.0	DRYER	2	30 6
7	1	1	2,250.0	-	-	2,500.0	2,500.0	1	8
9	20	2 CONDENSOR	1,142.4	1,862.4	-	720.0	EX LOAD	1	20AG 10
11	1	1	1,142.4	-	-	720.0	EX LOAD	1	20AG 12
13	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AG 14
15	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AG 16
17	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 18
19	20AF	1 EXLOAD	720.0	-	-	720.0	0.0 SPARE	1	20AG 20
21	20GF	1 EXLOAD	720.0	720.0	-	0.0	SPARE	2	30 22
23	20AF	1 EXLOAD	720.0	720.0	-	0.0	SPARE	2	30 24
25	20AF	1 SPARE	0.0	-	-	0.0	0.0	1	20 26
TOTAL			16,718.4	-	-	15,278.4	VA		PROVIDE 4" BY 14" CABINET "LOAD CENTER"
TOTAL CONNECTED						31,996.8	VA		

PANEL: B		VOLTAGE: 120/240		PHASE: 1		WIRE: 3		BUS: CU	
BUS RATING: 100 AMP		MAIN: NO - MLO		ENCLOSURE: NEMA 1		MOUNTING: FLUSH			
#	AMP POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP #
1	50	2 RANGE	4,000.0	7,936.0	-	3,936.0	AIR HANDLER	2	40 2
3	1	1	4,000.0	-	-	7,936.0	3,936.0	1	4
5	30	2 WATER HEATER	2,250.0	4,750.0	-	2,500.0	DRYER	2	30 6
7	1	1	2,250.0	-	-	4,750.0	2,500.0	1	8
9	30	2 CONDENSOR	1,603.2	2,323.2	-	720.0	EX LOAD	1	20AG 10
11	1	1	1,603.2	-	-	2,323.2	720.0	1	20AG 12
13	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AG 14
15	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AG 16
17	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 18
19	20AF	1 EXLOAD	720.0	-	-	720.0	0.0 SPARE	1	20AF 20
21	20GF	1 EXLOAD	720.0	720.0	-	0.0	SPARE	2	50 22
23	20AF	1 EXLOAD	720.0	720.0	-	0.0	0.0	1	20AF 24
25	20AG	1 SPARE	0.0	720.0	-	720.0	EX LOAD	1	20AF 26
27	1	1 S.O	0.0	-	-	0.0	0.0	1	20AF 28
29	1	1 S.O	0.0	0.0	-	0.0	0.0	1	20AF 30
TOTAL			19,329.2	-	-	17,889.2	VA		PROVIDE 4" BY 14" CABINET "LOAD CENTER"
TOTAL CONNECTED						37,218.4	VA		

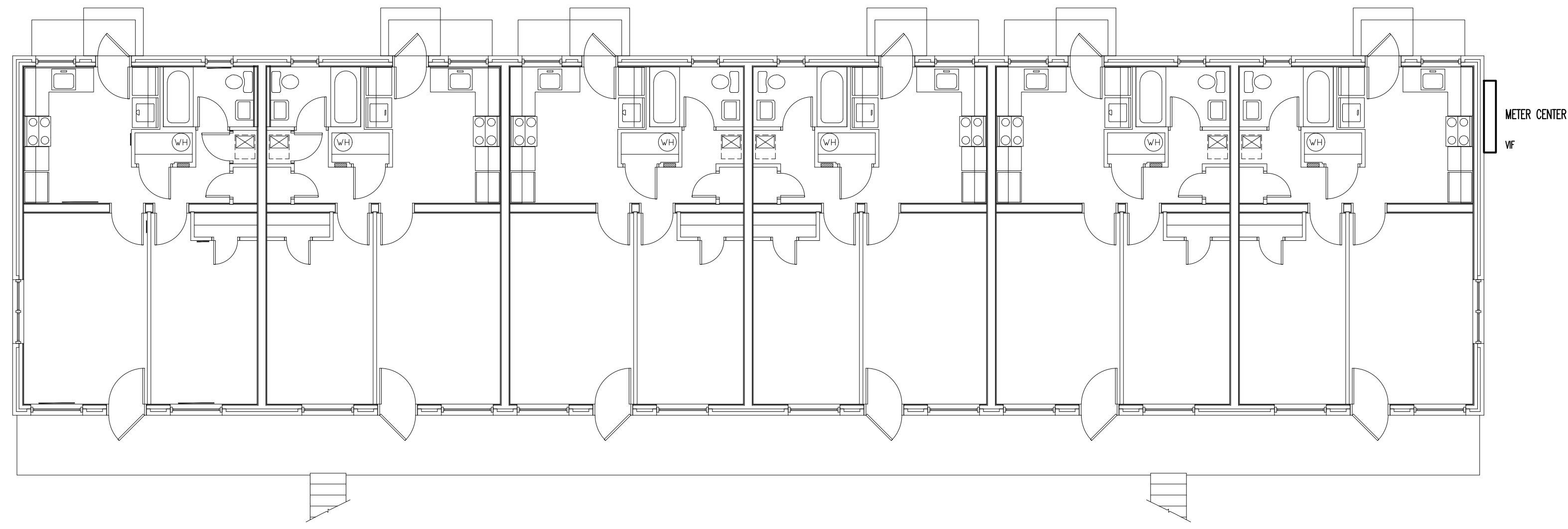
PANEL: D		VOLTAGE: 120/240		PHASE: 1		WIRE: 3		BUS: CU	
BUS RATING: 100 AMP		MAIN: NO - MLO		ENCLOSURE: NEMA 1		MOUNTING: FLUSH			
#	AMP POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP #
1	50	2 RANGE	4,000.0	6,500.0	-	2,500.0	DRYER	2	30 2
3	1	1	4,000.0	-	-	6,500.0	2,500.0	1	4
5	30	2 AIR HANDLER	4,656.0	6,906.0	-	2,250.0	WATER HEATER	2	30 6
7	1	1	4,656.0	-	-	6,906.0	2,250.0	1	8
9	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 10
11	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AF 12
13	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 14
15	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AF 16
17	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20GF 18
19	20AG	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20GF 20
21	20AG	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AG 22
23	30	2 CONDENSER	1,603.0	-	-	2,323.0	720.0	1	20AG 24
25	1	1	1,603.0	2,323.0	-	720.0	EX LOAD	1	20AF 26
27	20AF	1 SPARE	0.0	-	-	0.0	0.0	1	20AF 28
29	20AF	1 SPARE	0.0	0.0	-	0.0	0.0	1	20AF 30
31	20	1 S.O	0.0	-	-	0.0	0.0	1	20 32
33	20	1 S.O	0.0	0.0	-	0.0	0.0	1	20 34
35	20	1 S.O	0.0	-	-	0.0	0.0	1	20 36
37	20	1 S.O	0.0	0.0	-	0.0	0.0	1	20 38
39	20	1 S.O	0.0	-	-	0.0	0.0	1	20 40
TOTAL			21,489.0	-	-	20,049.0	VA		PROVIDE 4" BY 14" CABINET, SIMILAR TO SQUARE D CO. "LOAD CENTER" SERIES.
TOTAL CONNECTED						41,538.0	VA		

PANEL: F		VOLTAGE: 120/240		PHASE: 1		WIRE: 3		BUS: CU	
BUS RATING: 125 AMP		MAIN: NO - MLO		ENCLOSURE: NEMA 1		MOUNTING: FLUSH			
#	AMP POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP #
1	50	2 RANGE	4,000.0	7,936.0	-	3,936.0	AIR HANDLER	2	40 2
3	1	1	4,000.0	-	-	7,936.0	3,936.0	1	4
5	30	2 WATER HEATER	2,250.0	4,750.0	-	2,500.0	DRYER	2	30 6
7	1	1	2,250.0	-	-	4,750.0	2,500.0	1	8
9	30	2 CONDENSOR	1,603.2	2,323.2	-	720.0	EX LOAD	1	20AG 10
11	1	1	1,603.2	-	-	2,323.2	720.0	1	20AG 12
13	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AG 14
15	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AG 16
17	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 18
19	20AF	1 EXLOAD	720.0	-	-	720.0	0.0 SPARE	1	20AF 20
21	20GF	1 EXLOAD	720.0	720.0	-	0.0	SPARE	2	50 22
23	20AF	1 EXLOAD	720.0	720.0	-	0.0	0.0	1	20AF 24
25	20AG	1 SPARE	0.0	720.0	-	720.0	EX LOAD	1	20AF 26
27	1	1 S.O	0.0	-	-	0.0	0.0	1	20AF 28
29	1	1 S.O	0.0	0.0	-	0.0	0.0	1	20AF 30
TOTAL			19,329.2	-	-	17,889.2	VA		PROVIDE 4" BY 14" CABINET "LOAD CENTER"
TOTAL CONNECTED						37,218.4	VA		

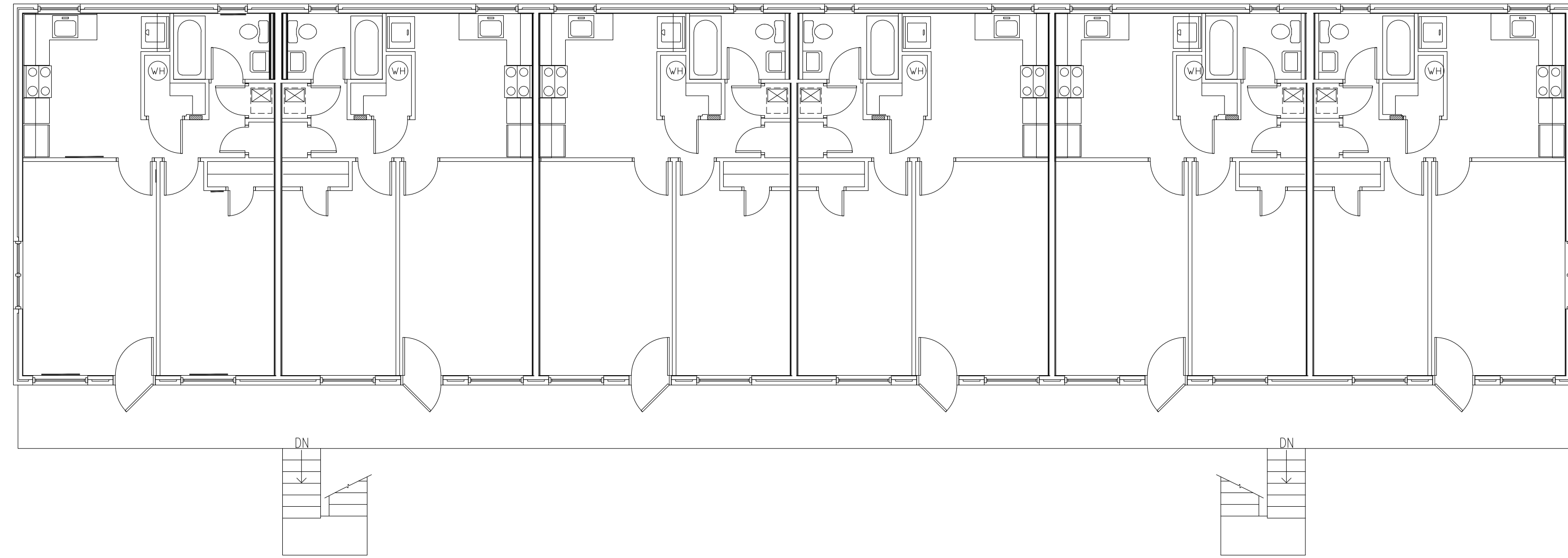
PANEL: J3		VOLTAGE: 120/240		PHASE: 1		WIRE: 3		BUS: CU	
BUS RATING: 125 AMP		MAIN: NO - MLO		ENCLOSURE: NEMA 1		MOUNTING: FLUSH			
#	AMP POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP #
1	50	2 RANGE	4,000.0	7,936.0	-	3,936.0	AIR HANDLER	2	50 2
3	1	1	4,000.0	-	-	7,936.0	3,936.0	1	4
5	30	2 WATER HEATER	2,250.0	4,750.0	-	2,500.0	DRYER	2	30 6
7	1	1	2,250.0	-	-	4,750.0	2,500.0	1	8
9	30	2 CONDENSOR	1,603.2	2,323.2	-	720.0	EX LOAD	1	20AG 10
11	1	1	1,603.2	-	-	2,323.2	720.0	1	20AG 12
13	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AG 14
15	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AG 16
17	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 18
19	20AF	1 EXLOAD	720.0	-	-	720.0	0.0 SPARE	1	20AF 20
21	20GF	1 EXLOAD	720.0	720.0	-	0.0	SPARE	2	40 22
23	20AF	1 EXLOAD	720.0	720.0	-	0.0	0.0	1	20AF 24
25	20AG	1 SPARE	0.0	720.0	-	720.0	EX LOAD	1	20AF 26
27	20AF	1 SPARE	0.0	-	-	0.0	0.0	1	20AF 28
29	20AG	1 SPARE	0.0	0.0	-	0.0	0.0	1	20AF 30
TOTAL			19,329.2	-	-	17,889.2	VA		PROVIDE 4" BY 14" CABINET "LOAD CENTER"
TOTAL CONNECTED						37,218.4	VA		

ELECTRICAL ABBREVIATIONS	
ABBREVIATIONS	DESCRIPTION:
ADA	AMERICANS WITH DISABILITIES ACT OF 1990
EX	INDICATES DEVICE IS EXISTING TO REMAIN
VF	VERIFY IN FIELD

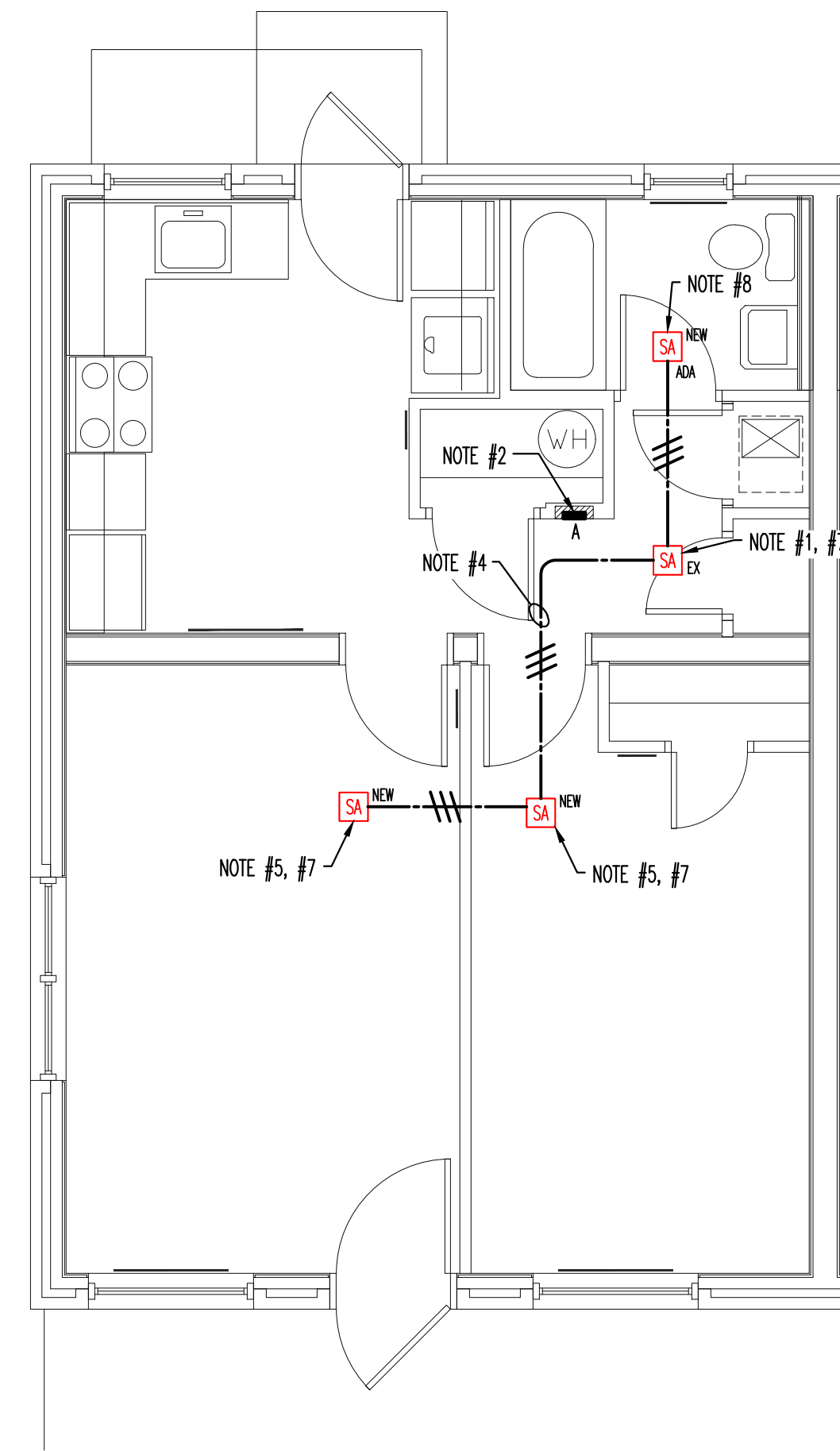
PANEL: C		VOLTAGE: 120/240		PHASE: 1		WIRE: 3		BUS: CU	
BUS RATING: 100 AMP		MAIN: NO - MLO		ENCLOSURE: NEMA 1		MOUNTING: FLUSH			
#	AMP POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP #
1	50	2 RANGE	4,000.0	6,500.0	-	2,500.0	DRYER	2	30 2
3	1	1	4,000.0	-	-	6,500.0	2,500.0	1	4
5	50	2 AIR HANDLER	4,656.0	6,906.0	-	2,250.0	WATER HEATER	2	30 6
7	1	1	4,656.0	-	-	6,906.0	2,250.0	1	8
9	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 10
11	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AF 12
13	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AF 14
15	20AF	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20AF 16
17	20AF	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20GF 18
19	20AG	1 EXLOAD	720.0	-	-	1,440.0	EX LOAD	1	20GF 20
21	20AG	1 EXLOAD	720.0	1,440.0	-	720.0	EX LOAD	1	20AG 22
23	30	2 CONDENSER	1,603.0	-	-	2,323.0	720.0	1	20AG 24
25	1	1	1,603.0	2,323.0	-	720.0	EX LOAD	1	20AG 26
27	20AG	1 SPARE	0.0	-	-	0.0	0.0	1	20AF 28
29	20AG	1 SPARE	0.0	0.0	-	0.0	0.0	1	20AF 30
31	20	1 S.O	0.0	-	-	0.0	0.0	1	20 32
33	20	1 S.O	0.0	0.0	-	0.0	0.0	1	20 34
35	20	1 S.O	0.0	-	-	0.0	0.0	1	20 36
37	20	1 S.O	0.0	0.0	-	0.0	0.0	1	20 38
39	20	1 S.O	0.0	-	-	0.0	0.0	1	20 40
TOTAL			21,489.0	-	-	20,049.0	VA		PROVIDE 4" BY 14" CABINET, SIMILAR TO SQUARE D CO. "LOAD CENTER" SERIES.



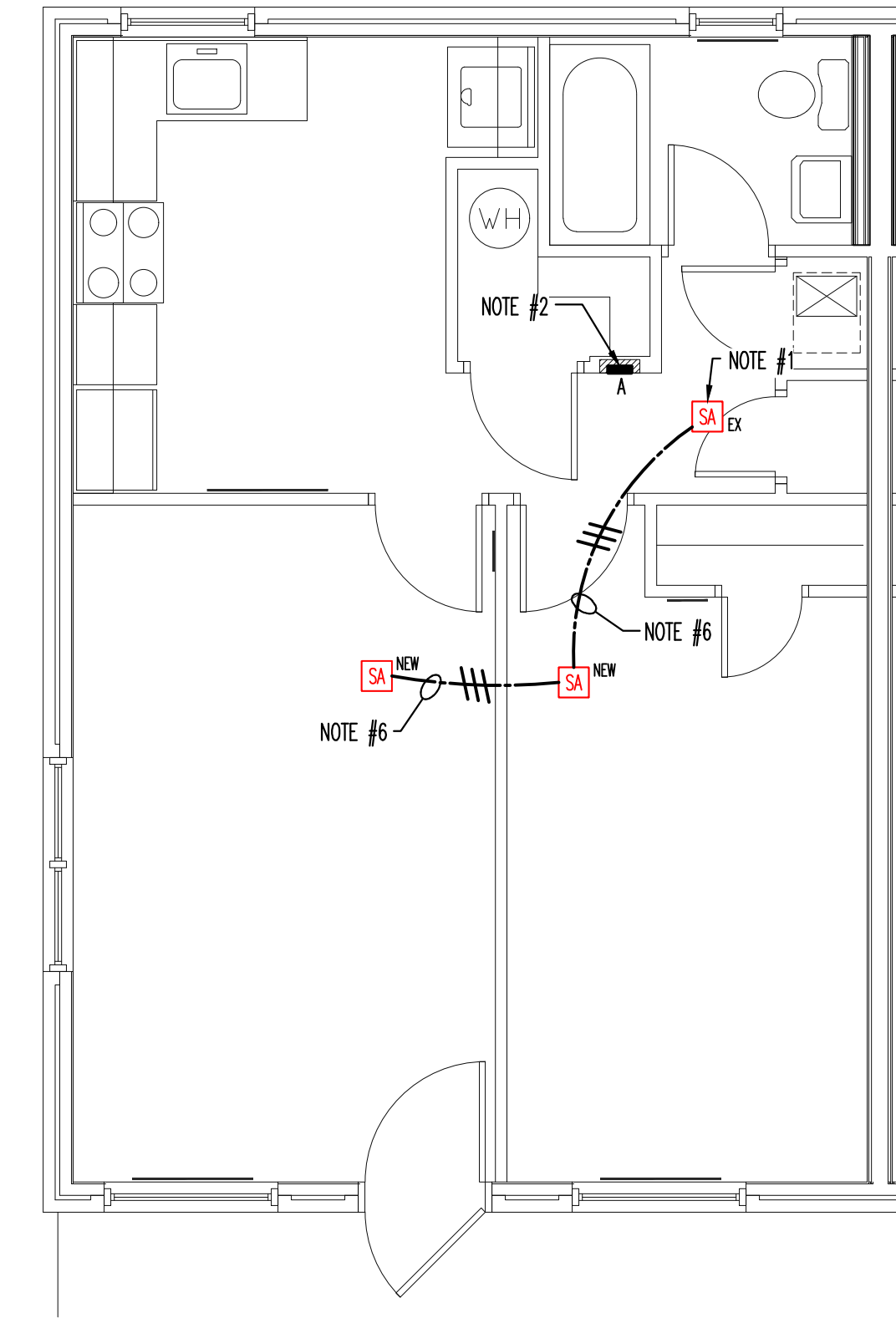
TYPICAL BUILDING "A" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



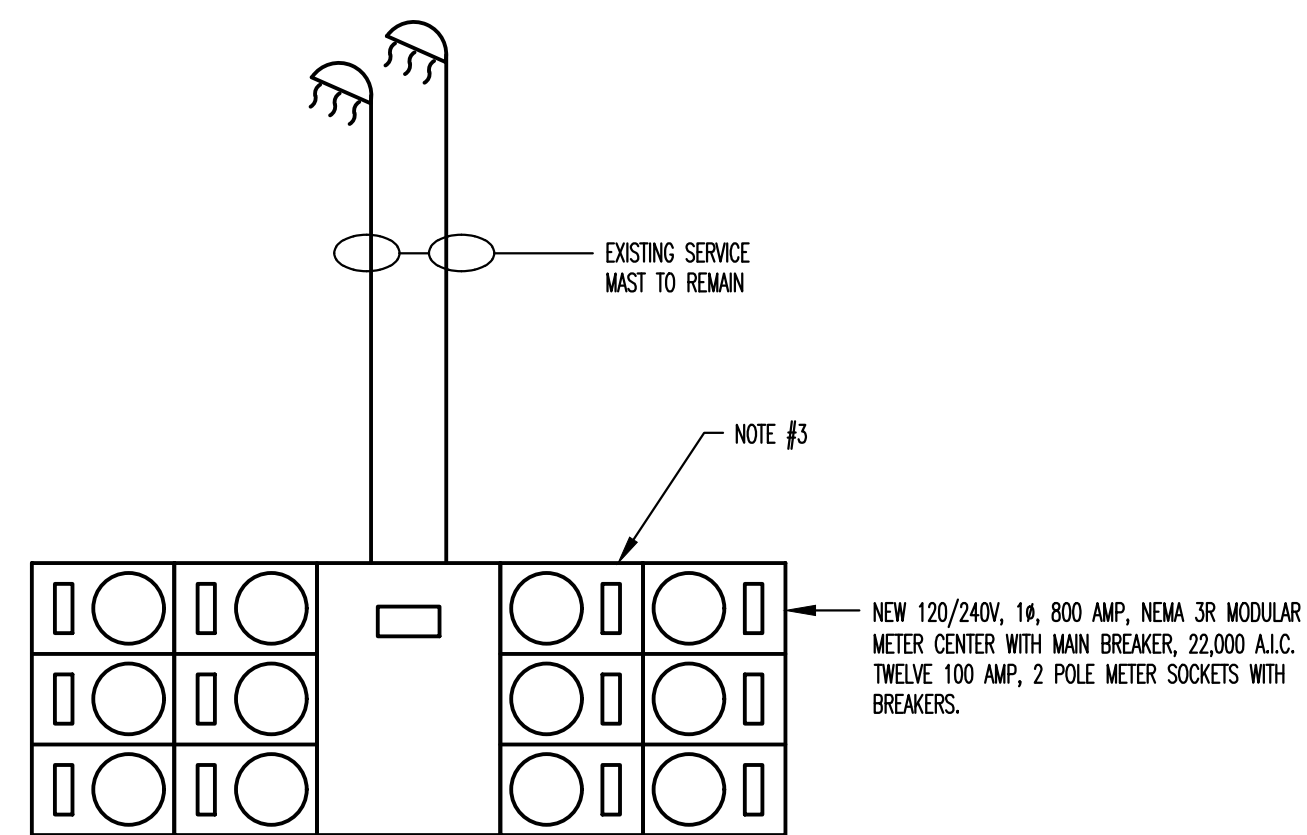
TYPICAL BUILDING "A" SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL FIRST FLOOR UNIT PLAN BUILDING "A"
SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR UNIT PLAN BUILDING "A"
SCALE: 1/4"=1'-0"



TYPICAL BUILDING "A" METER CENTER
N.T.S.

- BUILDING "A" GENERAL NOTES:**
1. EACH EXISTING UNIT IS FED WITH #1 AL CONDUCTORS.
 2. PROVIDE JUNCTION BOX/WIRING TROUGH AND EXTEND FEEDERS AS REQUIRED TO RECONNECT.

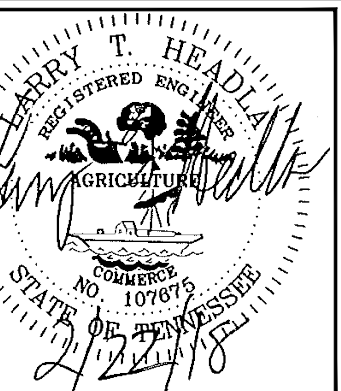
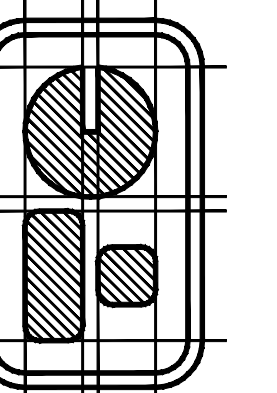
- REFERENCE NOTES:**
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DEDUCT ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM. HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
 2. DISCONNECT FEEDER AND BRANCH CIRCUIT WIRING AND SECURE FOR RECONNECTION TO NEW PANEL. REMOVE EXISTING PANEL AND INSTALL NEW PANEL AT THE SAME LOCATION RECONNECT EXISTING FEEDER AND BRANCH CIRCUIT WIRING AFTER NEW PANEL HAS BEEN INSTALLED.
 3. DISCONNECT WIRING FROM EXISTING METER CENTER AND SECURE. REMOVE EXISTING METER CENTER AND REPLACE WITH NEW METER CENTER AS SHOWN. RECONNECT EXISTING WIRING TO NEW METER CENTER.
 4. SURFACE MOUNT RACEWAY. USE LEGRAND MODEL NO. 400 BAC-WH OR EQUAL. USE 90-DEGREE FLAT ELBOW'S AT TURNS, LEGRAND MODEL NO. 411-WH OR EQUAL. PAINT TO MATCH SURROUNDING FINISH AS APPLICABLE.
 5. SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL.
 6. INSTALL WIRING CONCEALED IN ATTIC SPACE.
 7. PROVIDE "ADA" TYPE SMOKE ALARM DEVICES IN LIEU OF STANDARD IN (19) NINETEEN ACCESSIBLE UNITS.
 8. PROVIDE IN (19) NINETEEN ACCESSIBLE UNITS.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
MONTGOMERY VILLAGE APARTMENTS - KCDC

KNOXVILLE, TENNESSEE

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TYPICAL BUILDING "A" ELECTRICAL PLAN

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DATE: 02/22/18

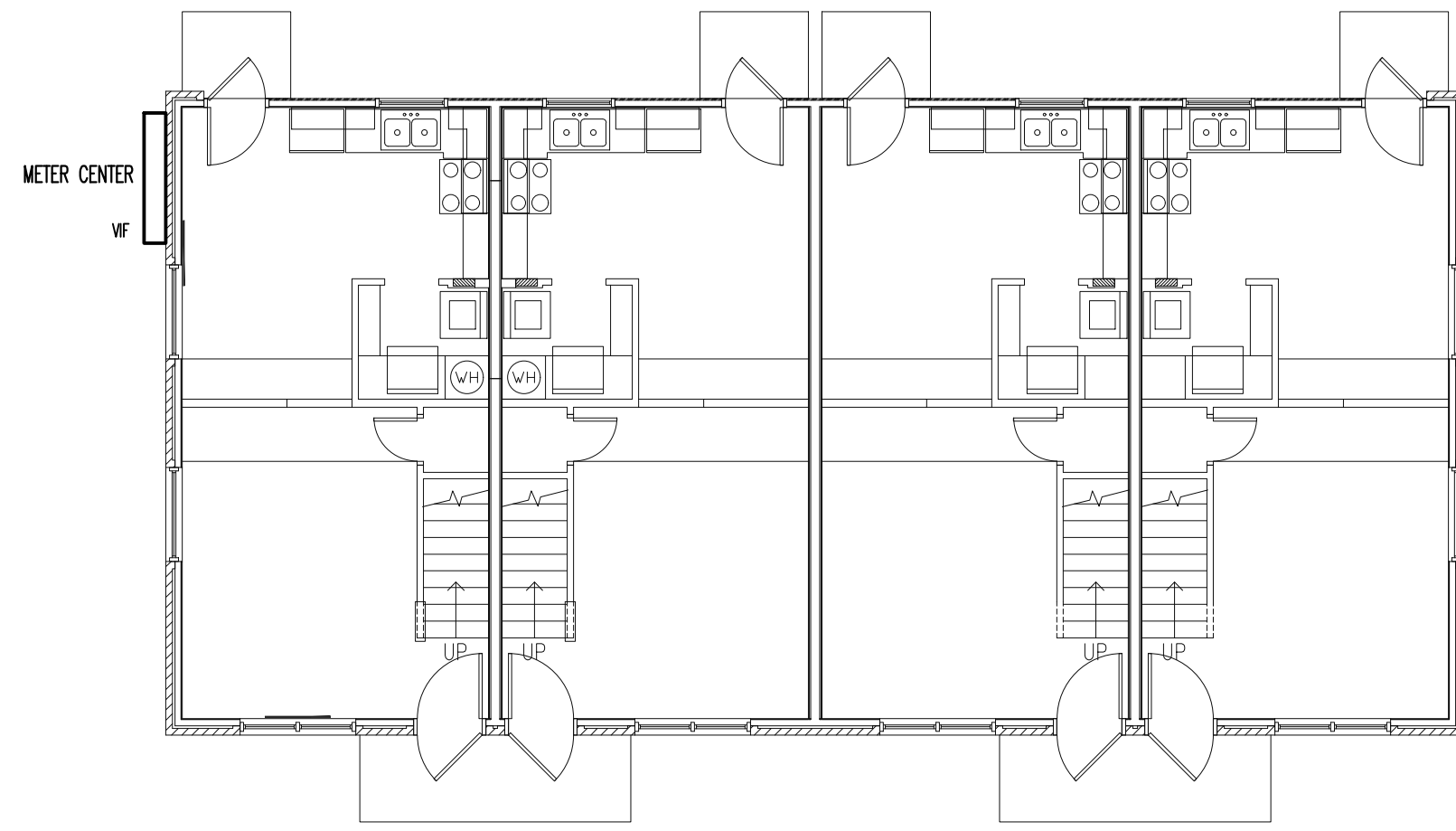
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COMM. NO.: 1802

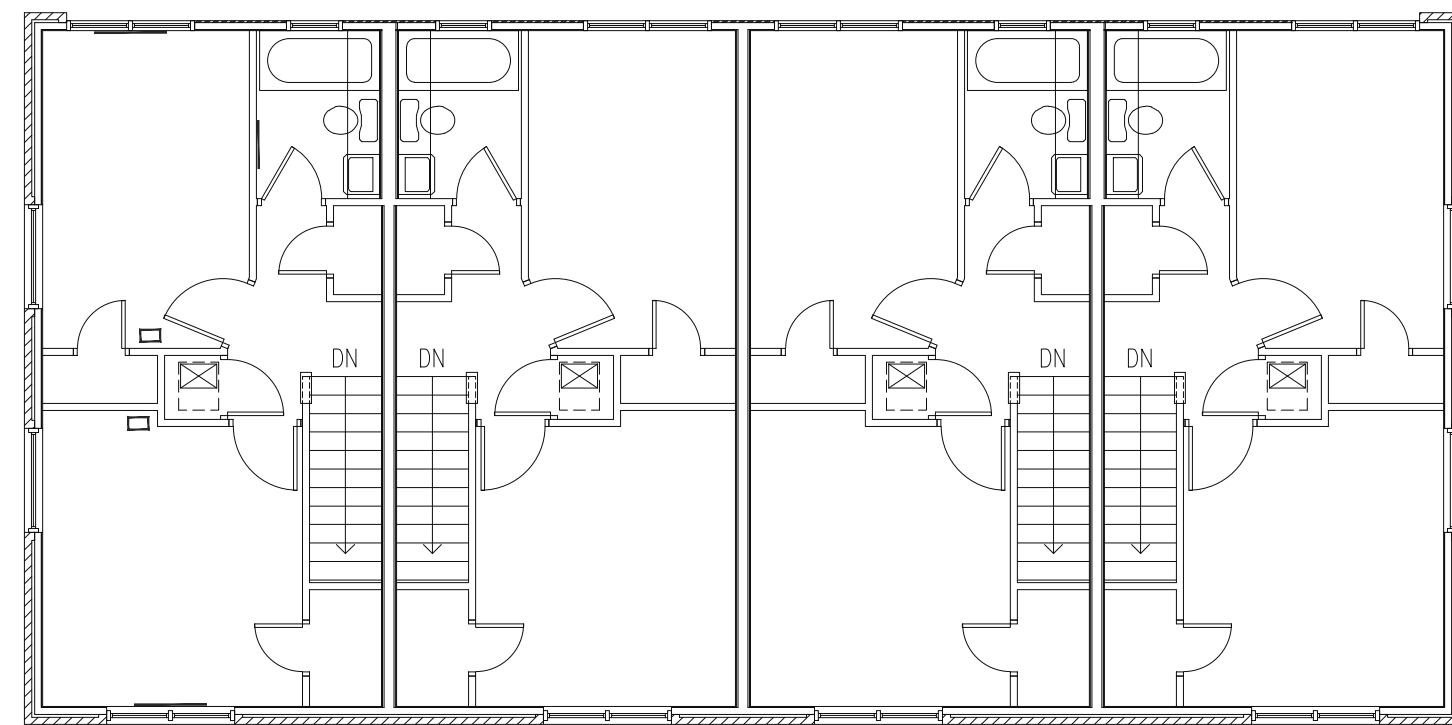
SHEET: 17 OF 25

DRAWING NO.: E2

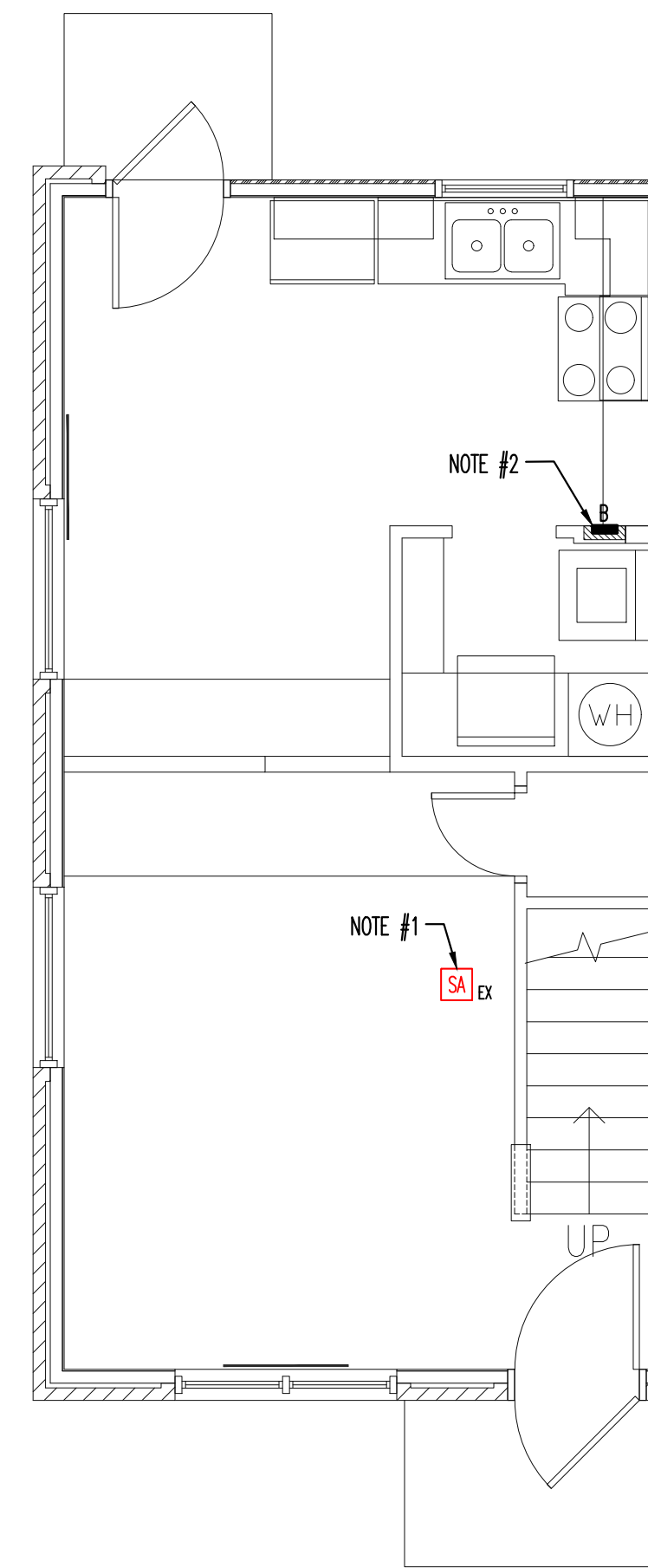




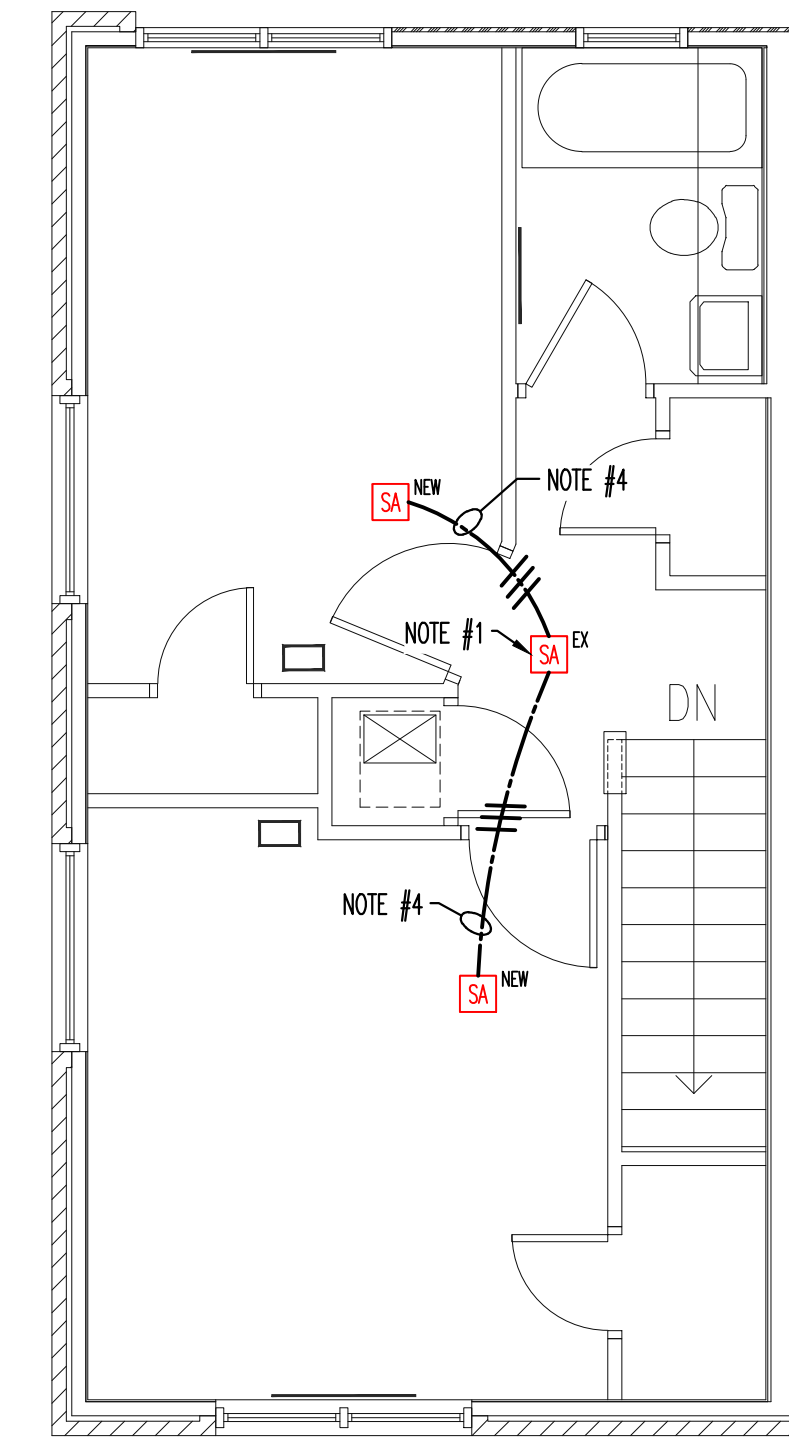
TYPICAL BUILDING "B" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



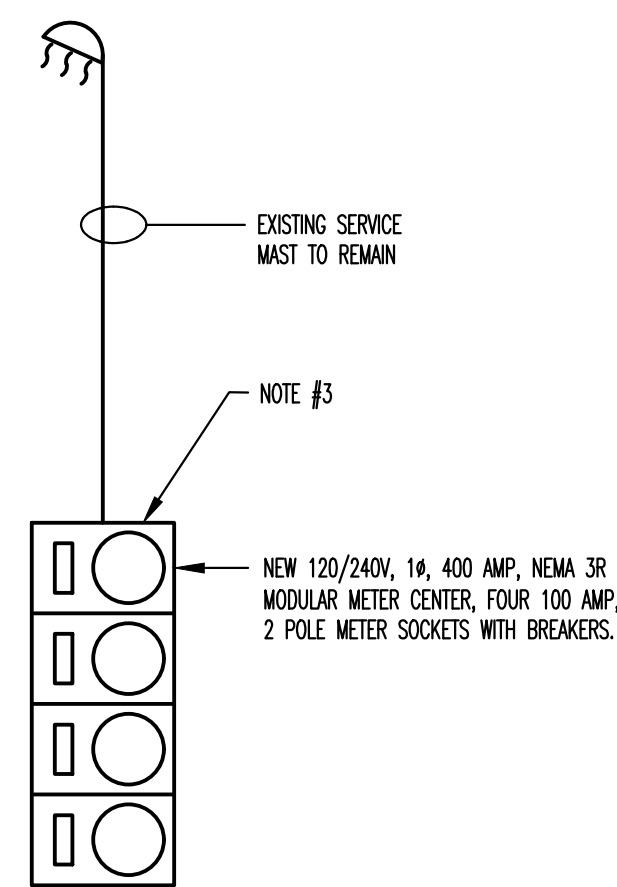
TYPICAL BUILDING "B" SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL FIRST FLOOR PLAN BUILDING "B"
SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR PLAN BUILDING "B"
SCALE: 1/4"=1'-0"



TYPICAL BUILDING "B" METER CENTER
N.T.S.

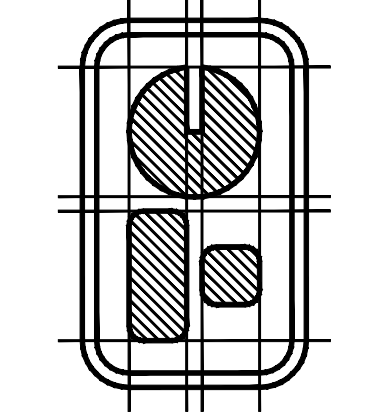
BUILDING "B" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU OR #1 AL CONDUCTORS.

- REFERENCE NOTES:**
- UNDER BASE, DO NOT REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER ELECTRICAL DUCT ALTERNATE 1". DO NOT REPLACE EXISTING SMOKE ALARM, HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
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 - DISCONNECT WIRING FROM EXISTING METER CENTER AND SECURE. REMOVE EXISTING METER CENTER AND REPLACE WITH NEW METER CENTER AS SHOWN. RECONNECT EXISTING WIRING TO NEW METER CENTER.
 - SURFACE MOUNT RACEWAY. USE LEGRAND MODEL NO. 400 BAC-WH OR EQUAL. USE 90-DEGREE FLAT ELBOWS AT TURNS, LEGRAND MODEL NO. 411-WH OR EQUAL. PAINT TO MATCH SURROUNDING FINISH AS APPLICABLE.
 - SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL. INSTALL WIRING CONCEALED IN ATTIC SPACE.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
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KNOXVILLE, TENNESSEE

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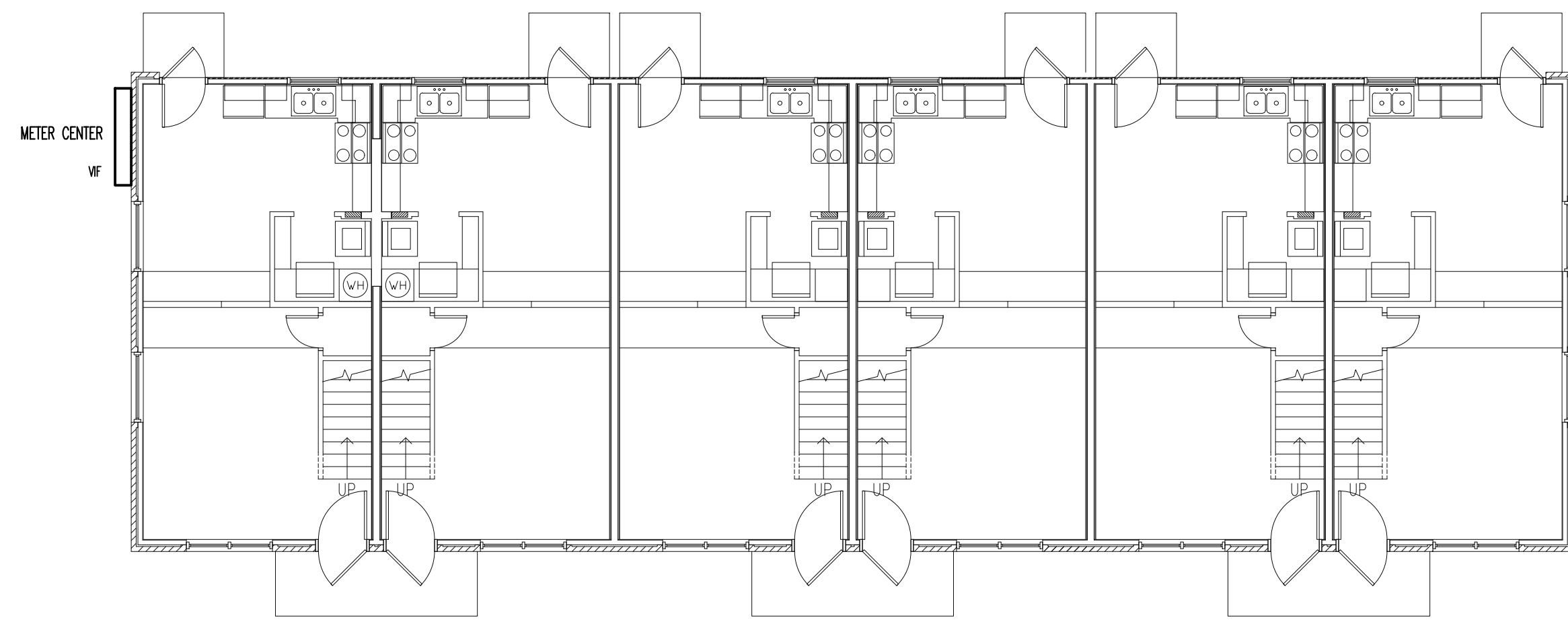


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TYPICAL BUILDING "B" ELECTRICAL PLAN
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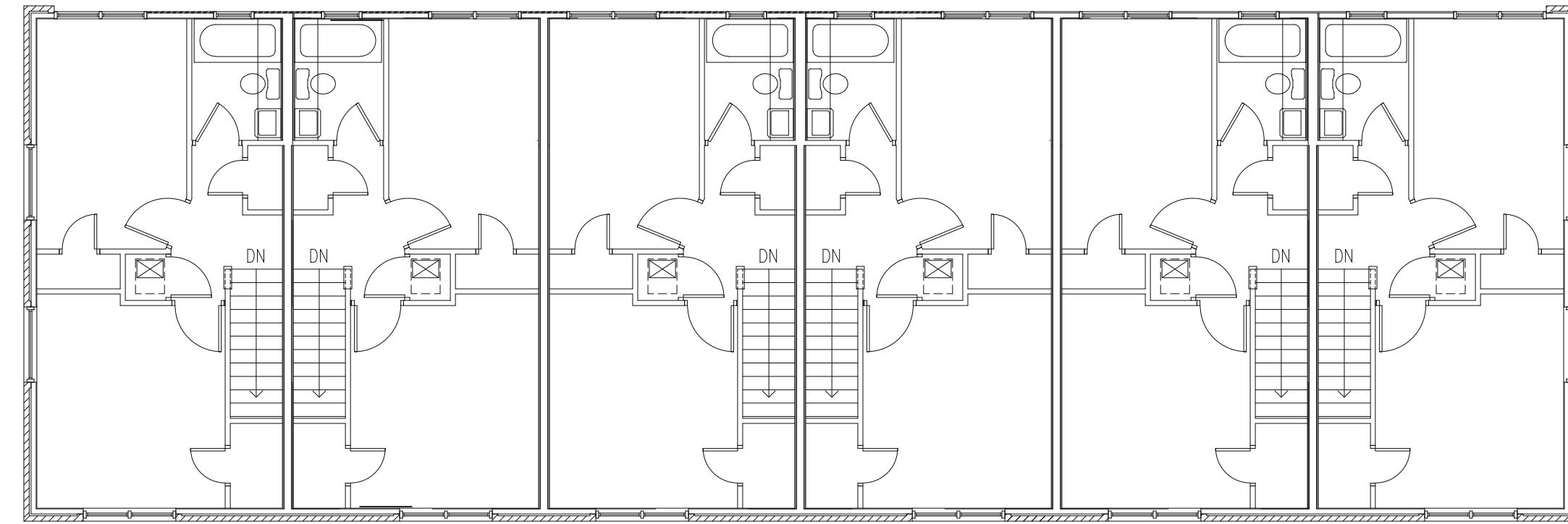
REVISION DATE:

DATE: 02/22/18
DRAWN BY:
COMM. NO.: 1802
SHEET: 18 OF 25
DRAWING NO.: E3

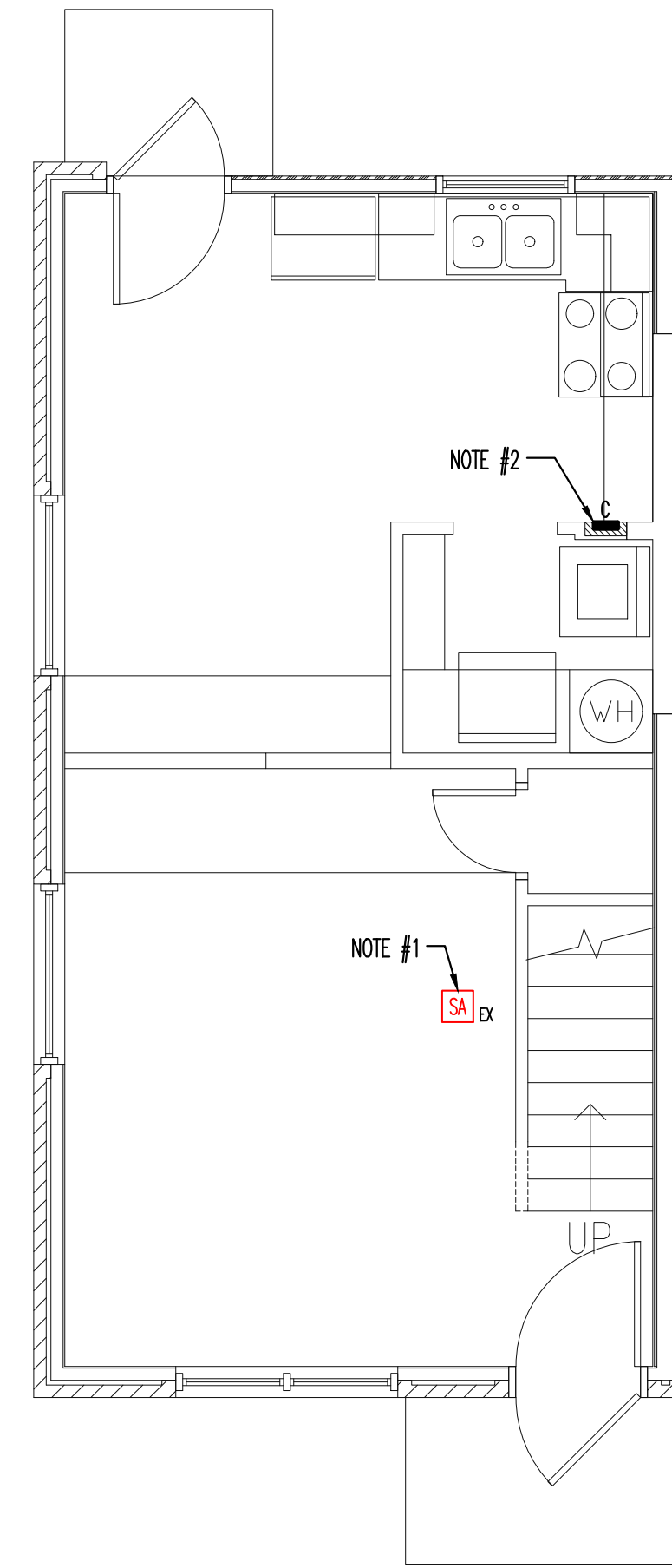




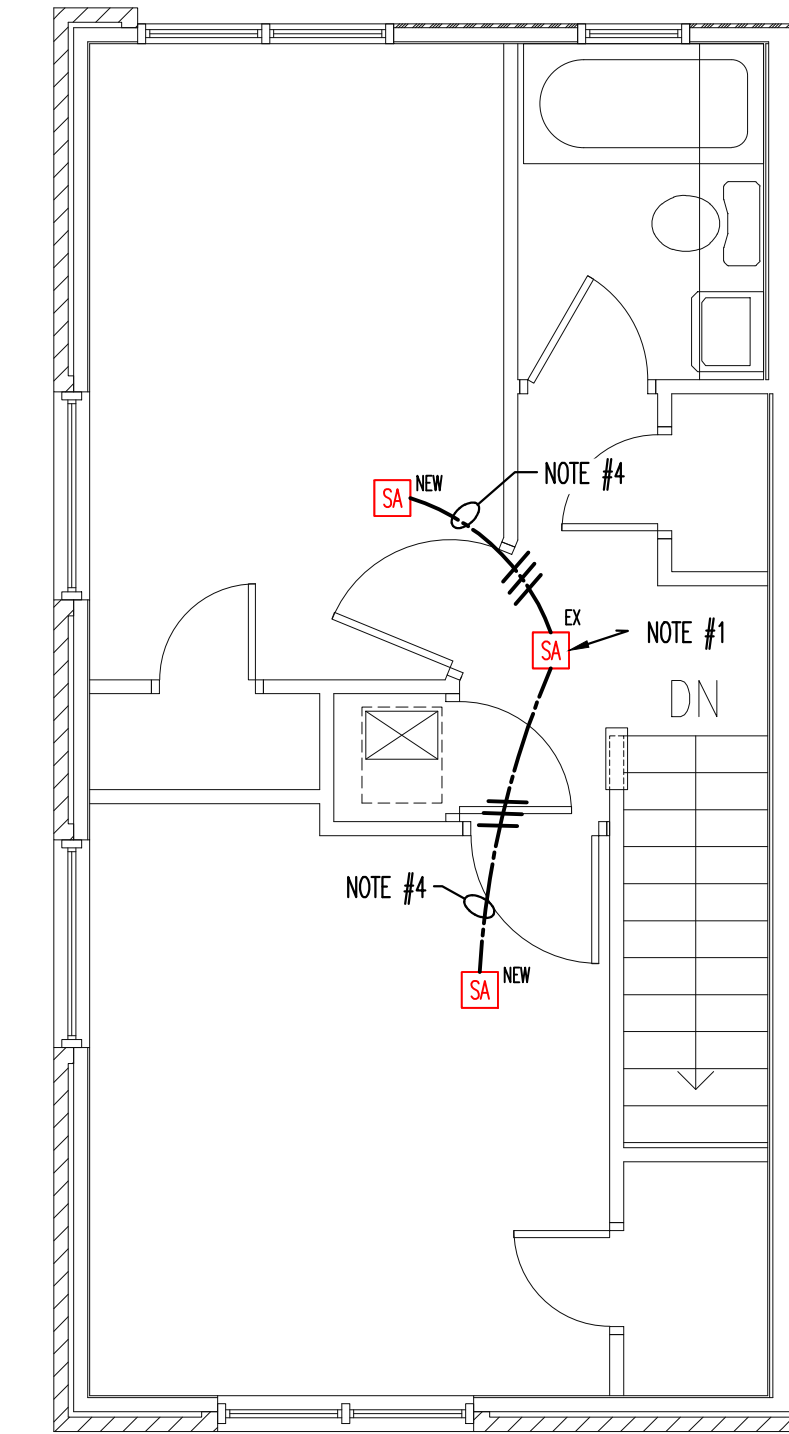
TYPICAL BUILDING "C" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



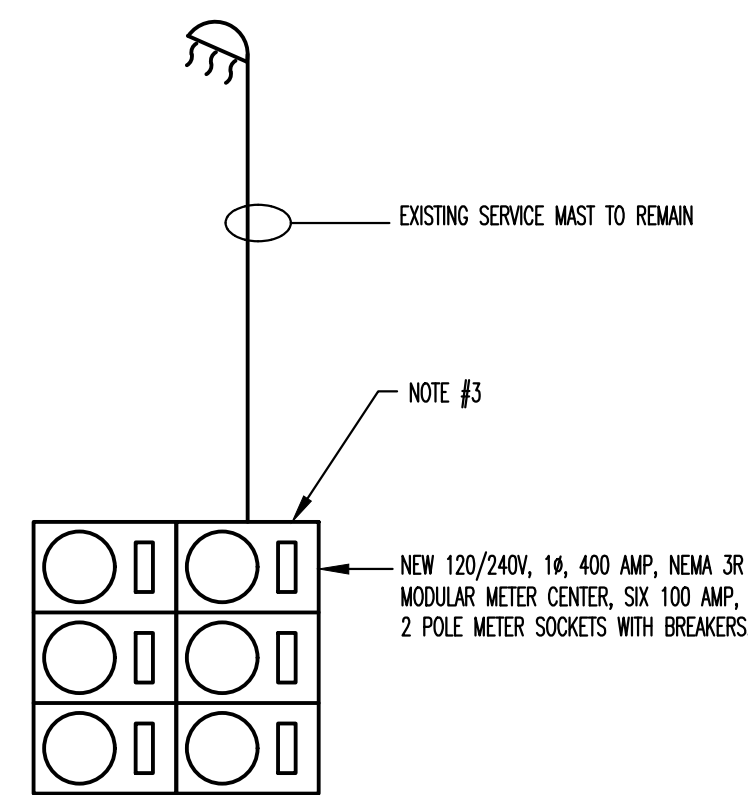
TYPICAL BUILDING "C" SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL FIRST FLOOR UNIT PLAN BUILDING "C"
SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR UNIT PLAN BUILDING "C"
SCALE: 1/4"=1'-0"



TYPICAL BUILDING "C" METER CENTER
N.T.S.

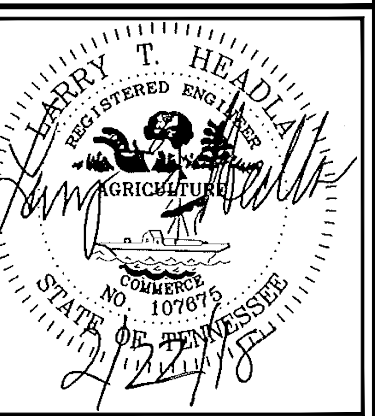
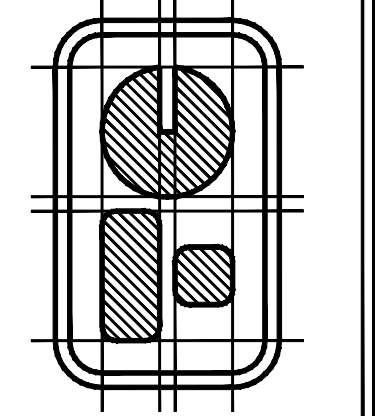
BUILDING "C" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU OR #1 AL CONDUCTORS.

- REFERENCE NOTES:**
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE UNDER "ELECTRICAL DEDUCT ALTERNATE 1". DO NOT REPLACE EXISTING SMOKE ALARM, HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
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 6. INSTALL WIRING CONCEALED IN ATTIC SPACE.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
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TYPICAL BUILDING "C" ELECTRICAL PLAN

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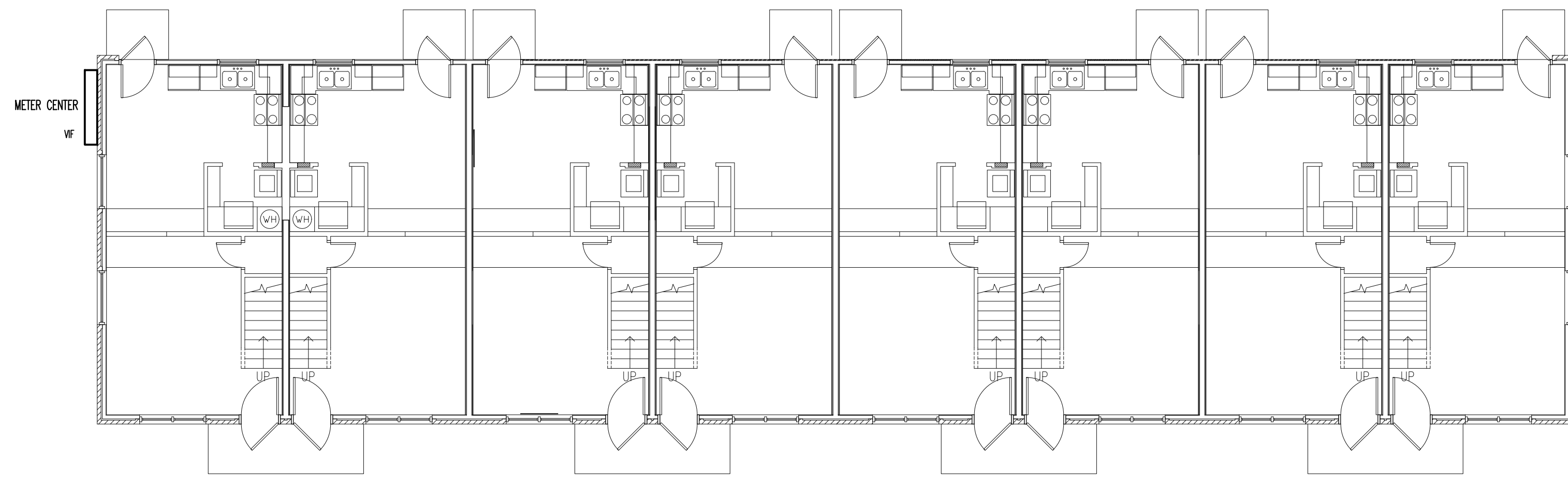
COMM. NO.: 1802

SHEET: 19 OF 25

DRAWING NO.: E4

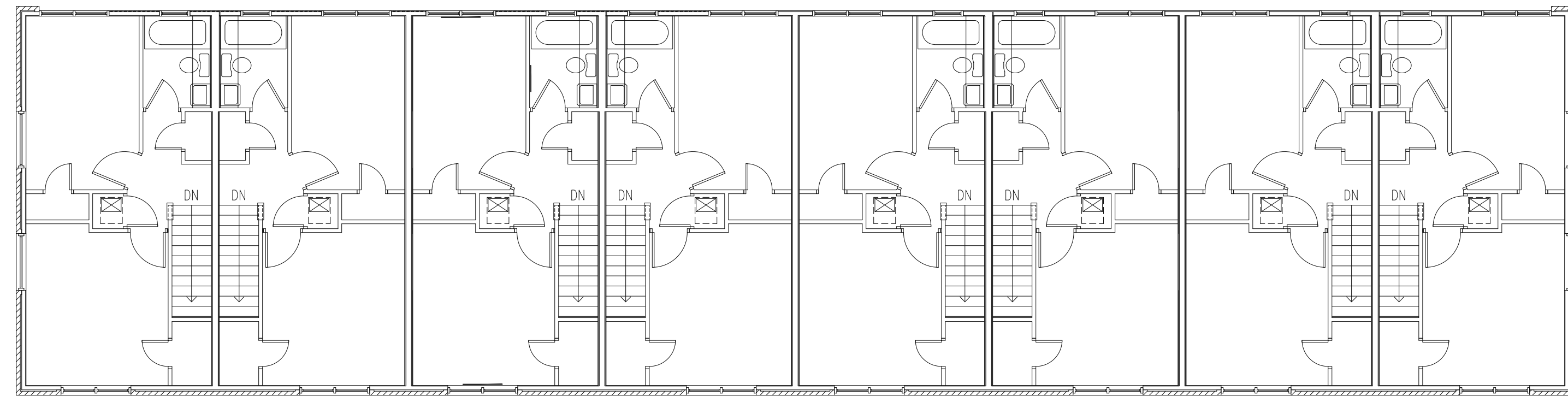


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Knoxville, Tennessee 37902
Phone: (865) 244-0184
Fax: (865) 244-1084



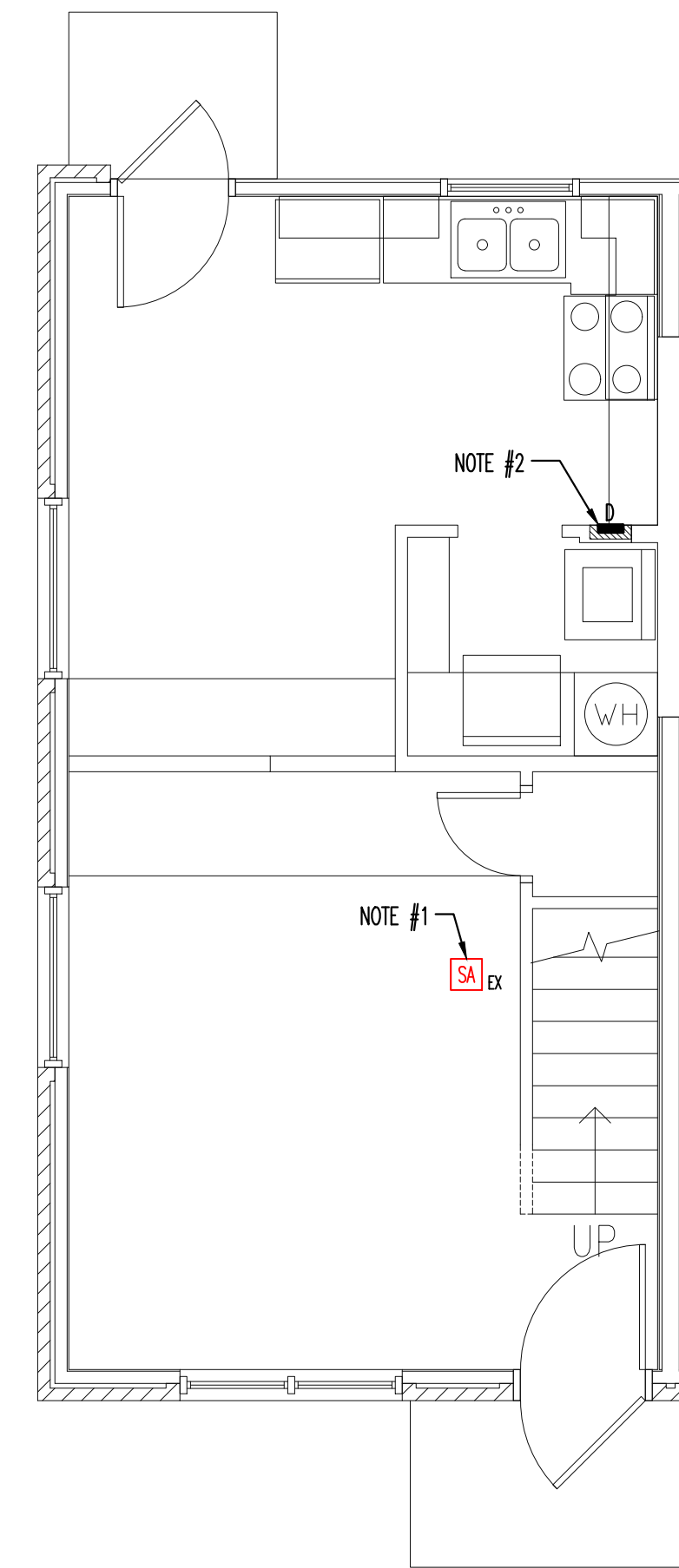
TYPICAL BUILDING "D" FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



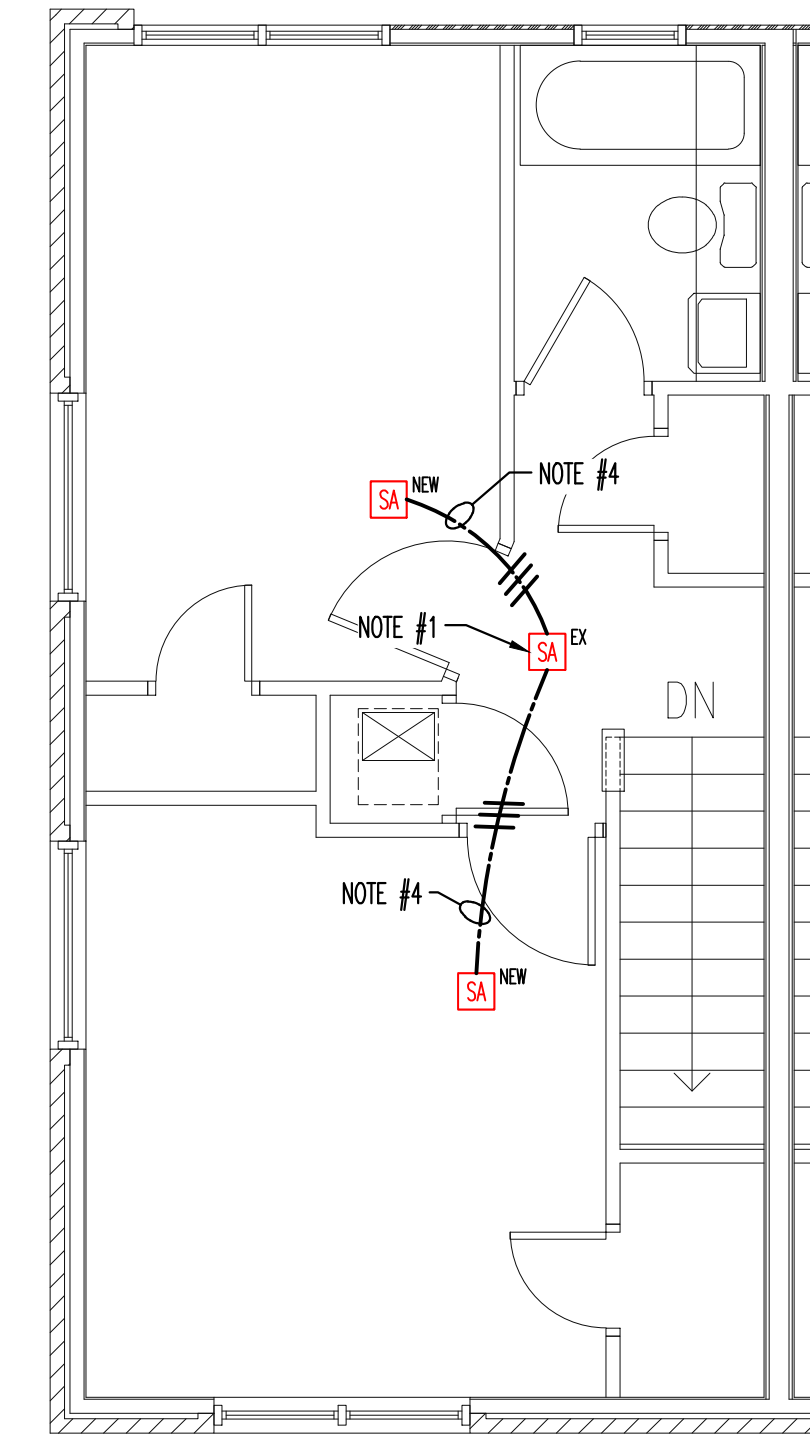
TYPICAL BUILDING "D" SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



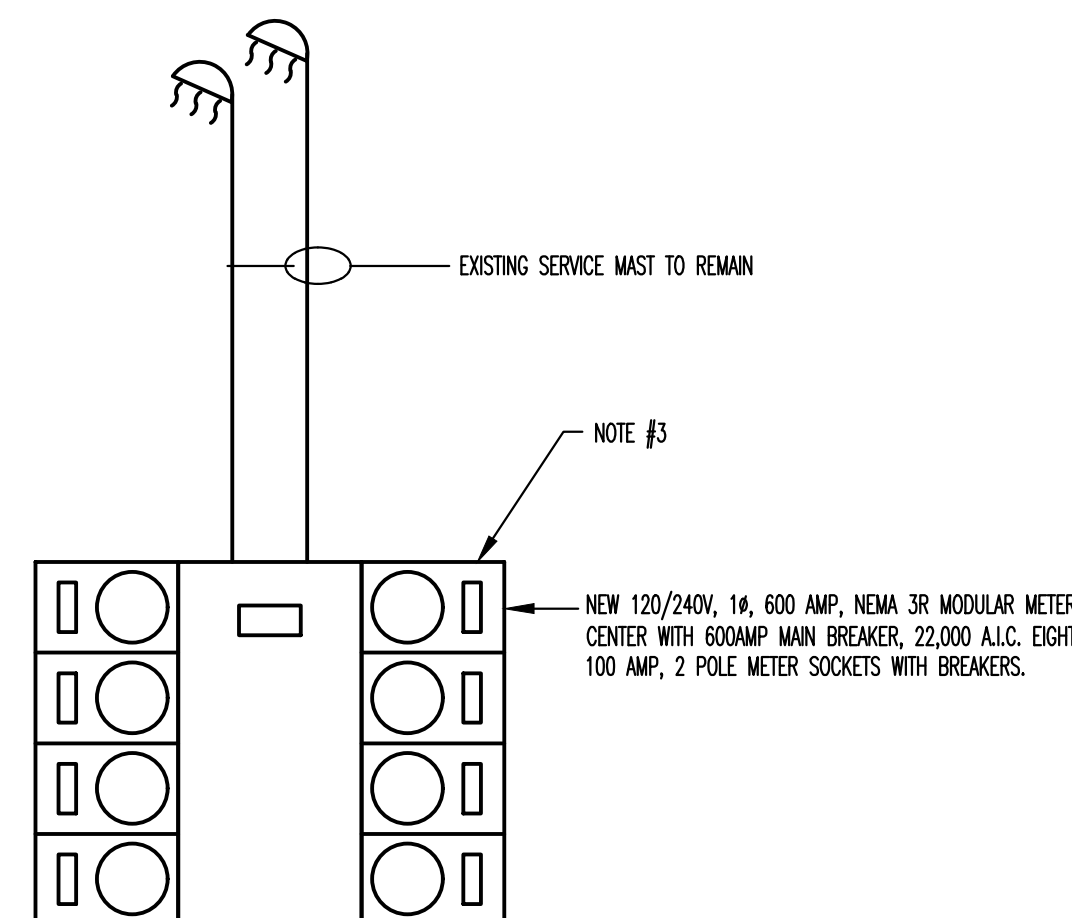
TYPICAL FIRST FLOOR UNIT PLAN BUILDING "D"

SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR UNIT PLAN BUILDING "D"

SCALE: 1/4"=1'-0"



TYPICAL BUILDING "D" METER CENTER

N.T.S.

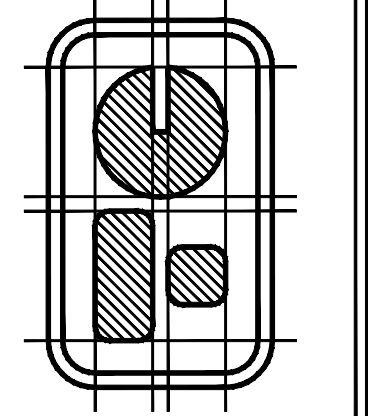
BUILDING "D" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU OR #1 AL CONDUCTORS.

- REFERENCE NOTES:
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DEDUCT ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM. HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
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 4. SURFACE MOUNT RACEWAY. USE LEGRAND MODEL NO. 400 BAC-WH OR EQUAL. USE 90-DEGREE FLAT ELBOWS AT TURNS, LEGRAND MODEL NO. 411-WH OR EQUAL. PAINT TO MATCH SURROUNDING FINISH AS APPLICABLE.
 5. SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL.
 6. INSTALL WIRING CONCEALED IN ATTIC SPACE.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
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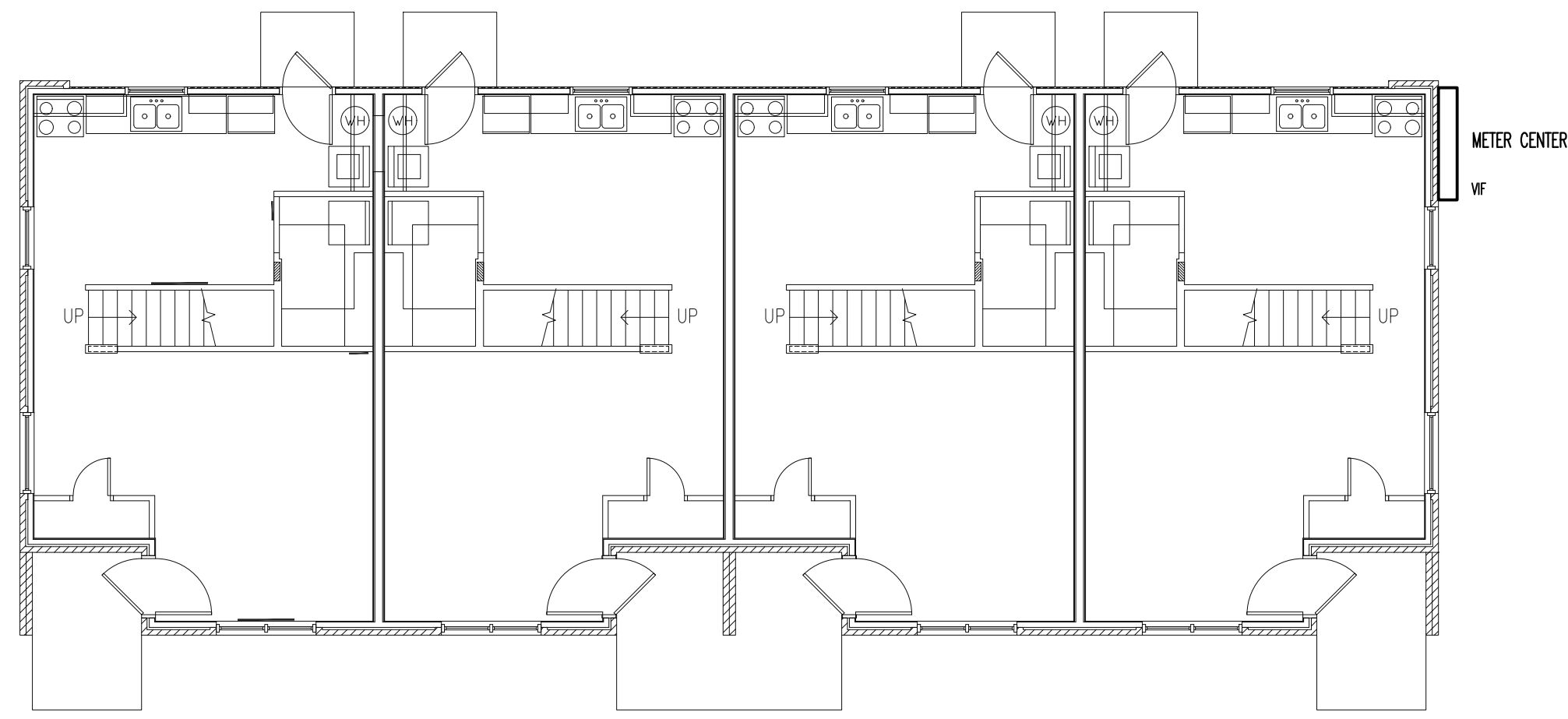


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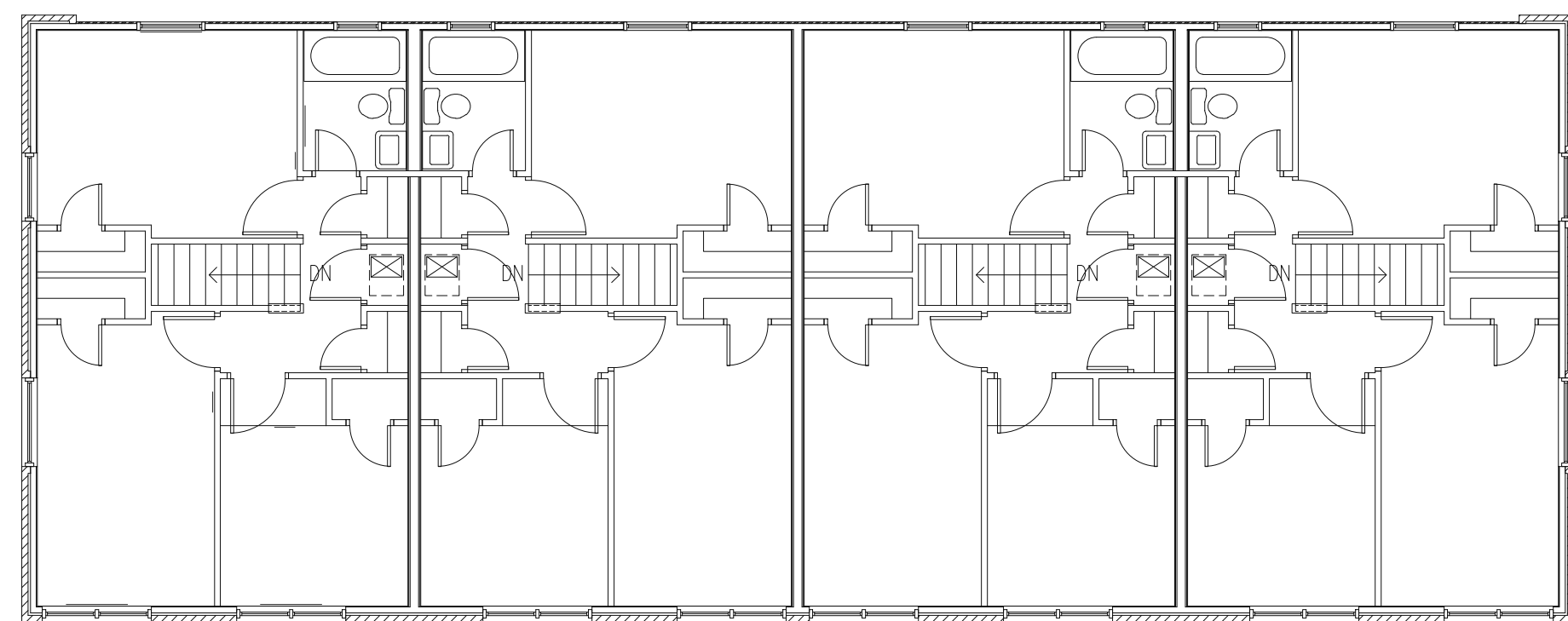
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DATE: 02/22/18
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COMM. NO.: 1802
SHEET: 20 OF 25
DRAWING NO.: E5

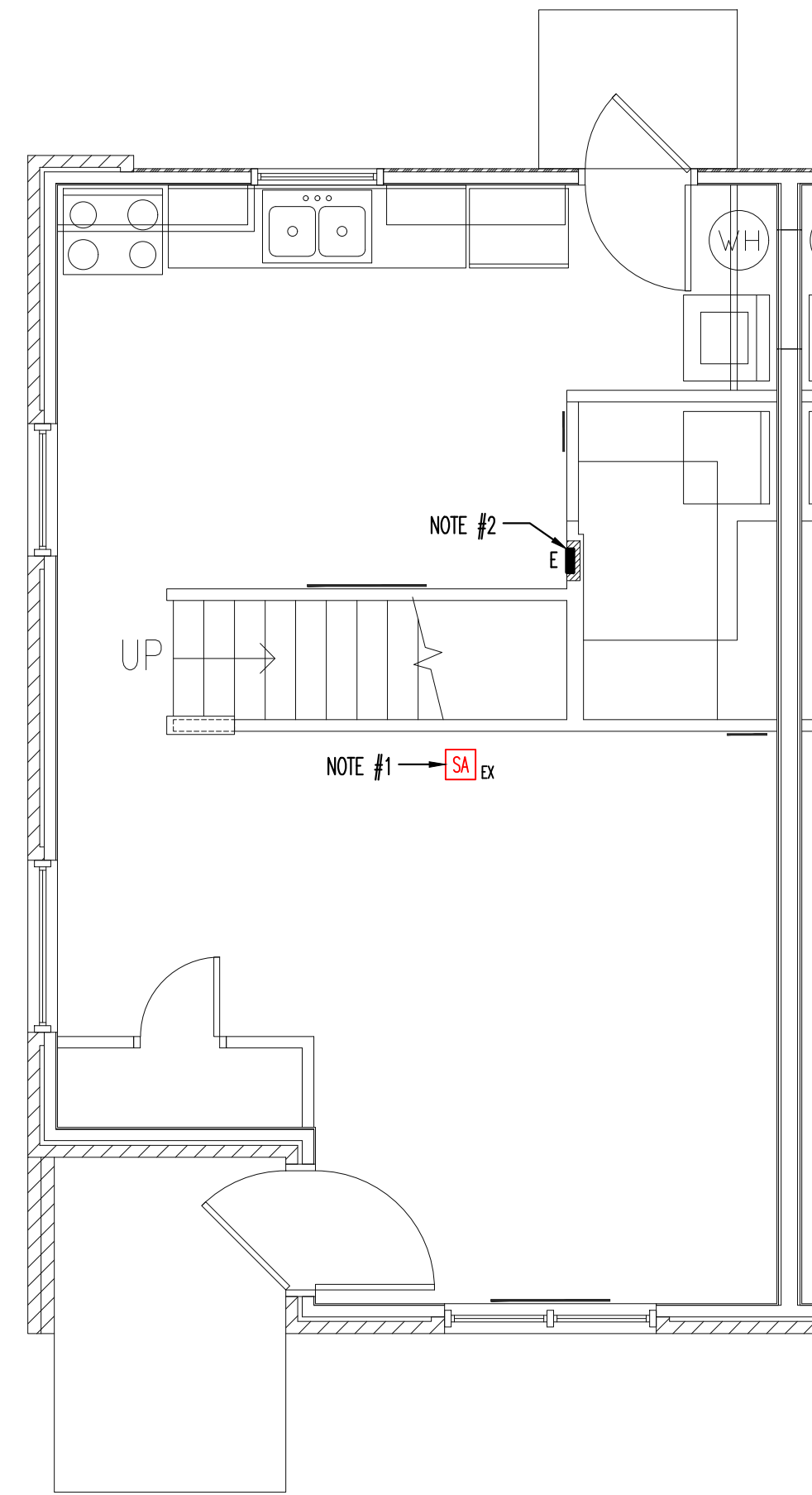




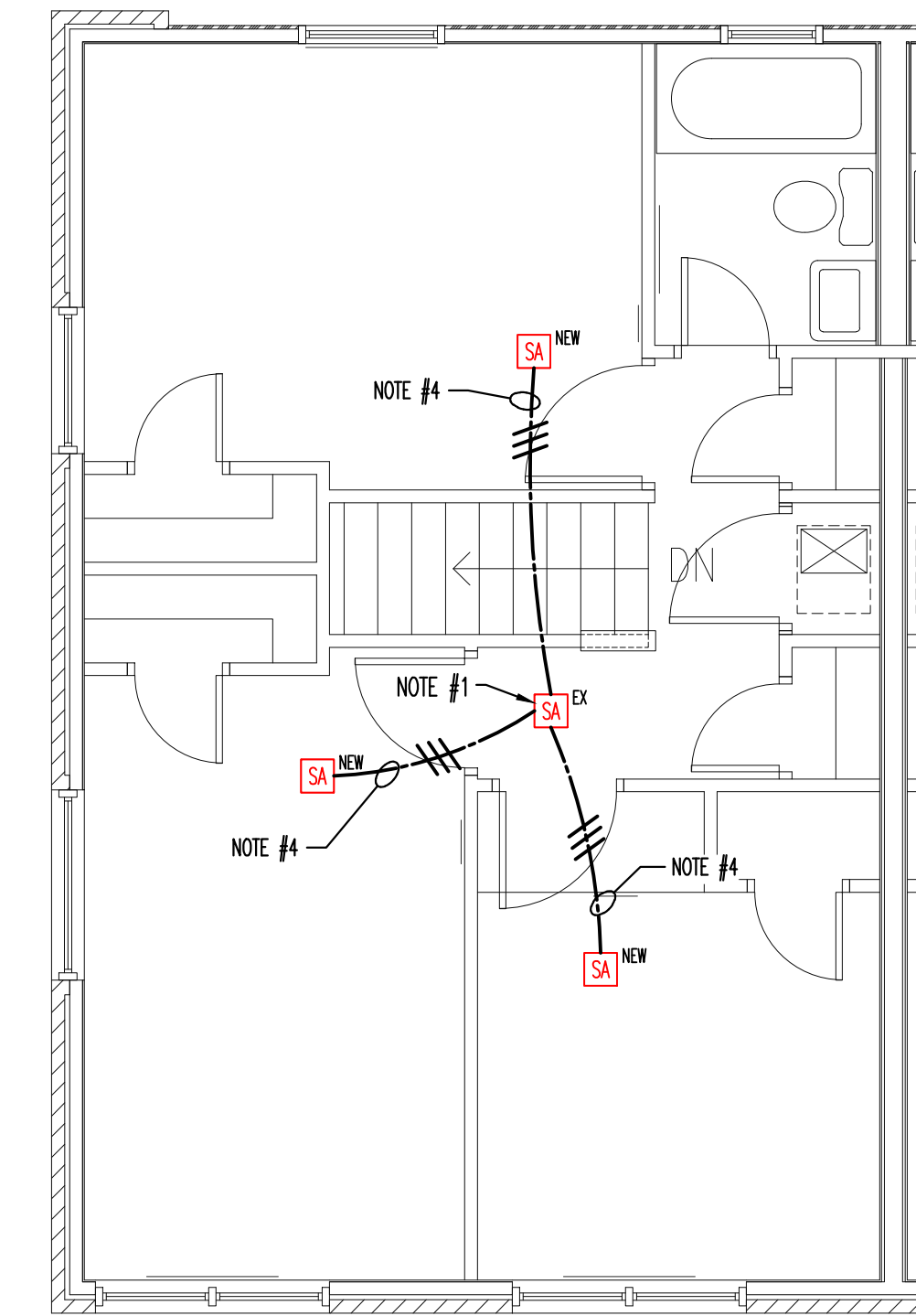
TYPICAL BUILDING "E" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



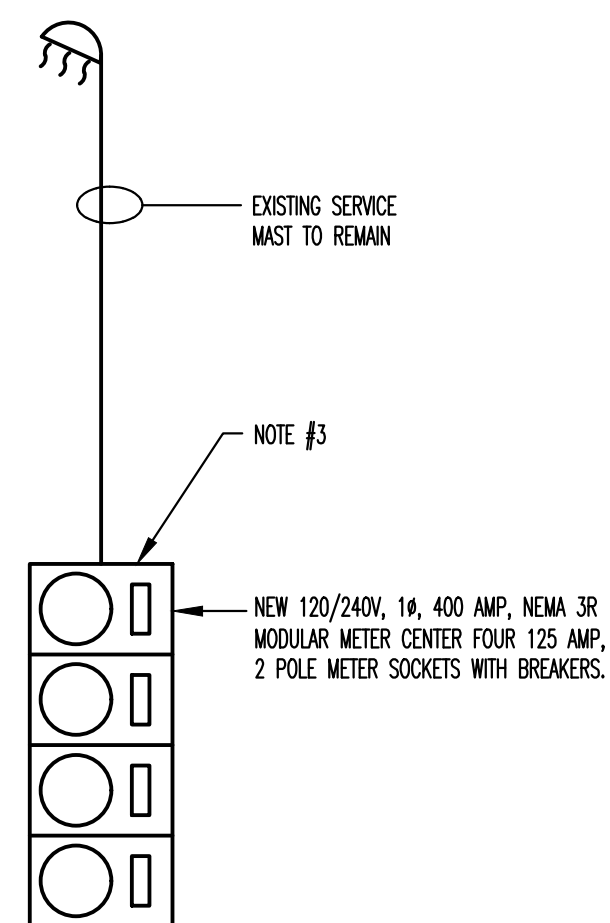
TYPICAL BUILDING "E" SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL FIRST FLOOR PLAN BUILDING "E"
SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR PLAN BUILDING "E"
SCALE: 1/4"=1'-0"



TYPICAL BUILDING "E" METER CENTER
N.T.S.

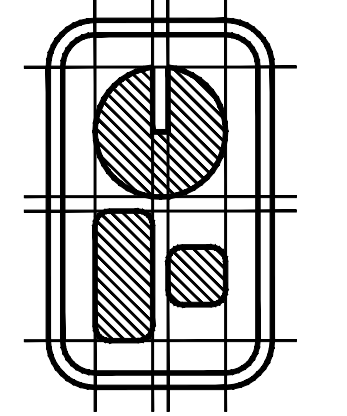
BUILDING "E" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU CONDUCTORS.

- REFERENCE NOTES:**
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DEDUCT ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM. HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
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ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
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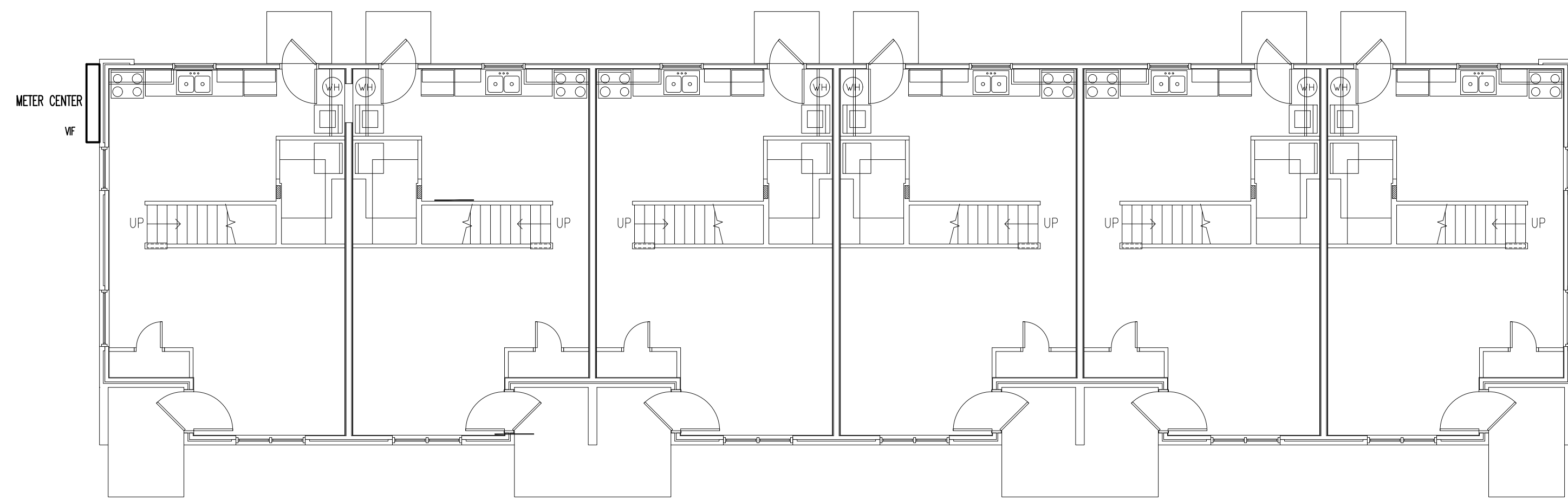
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TYPICAL BUILDING "E" ELECTRICAL PLAN
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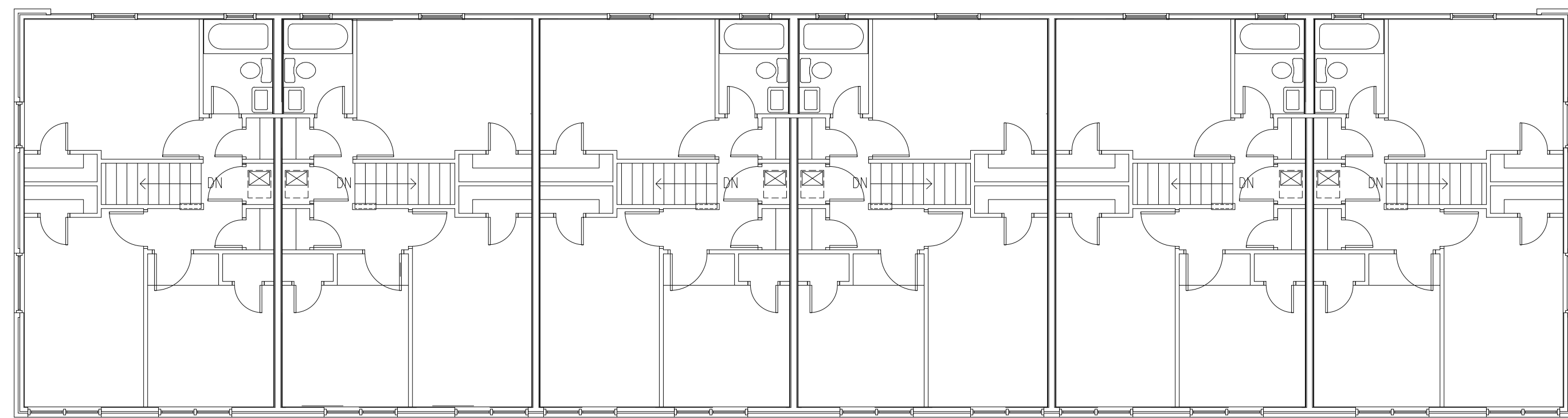
DATE: 02/22/18
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COMM. NO.: 1802

SHEET: 21 OF 25
DRAWING NO.: E6

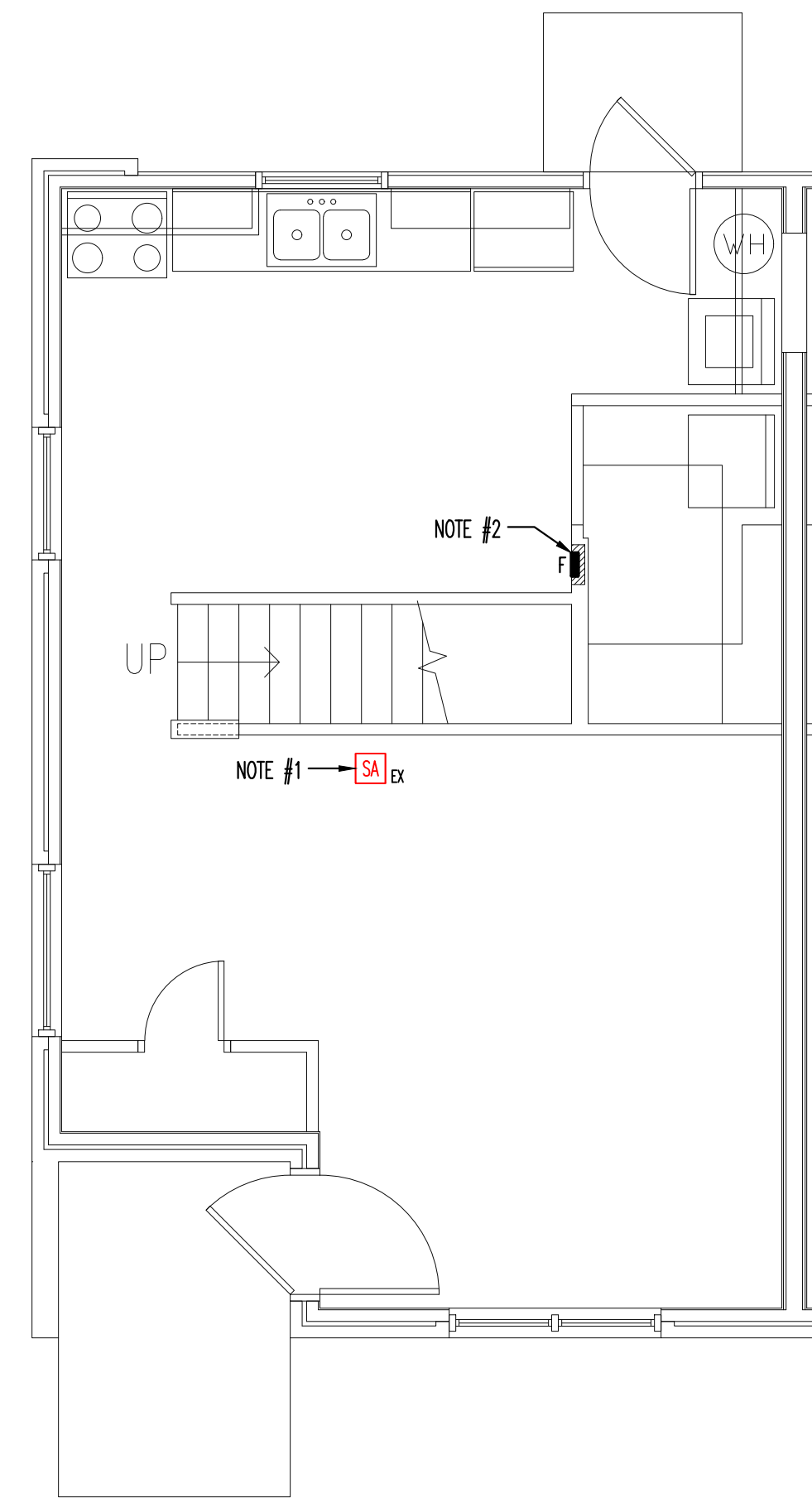




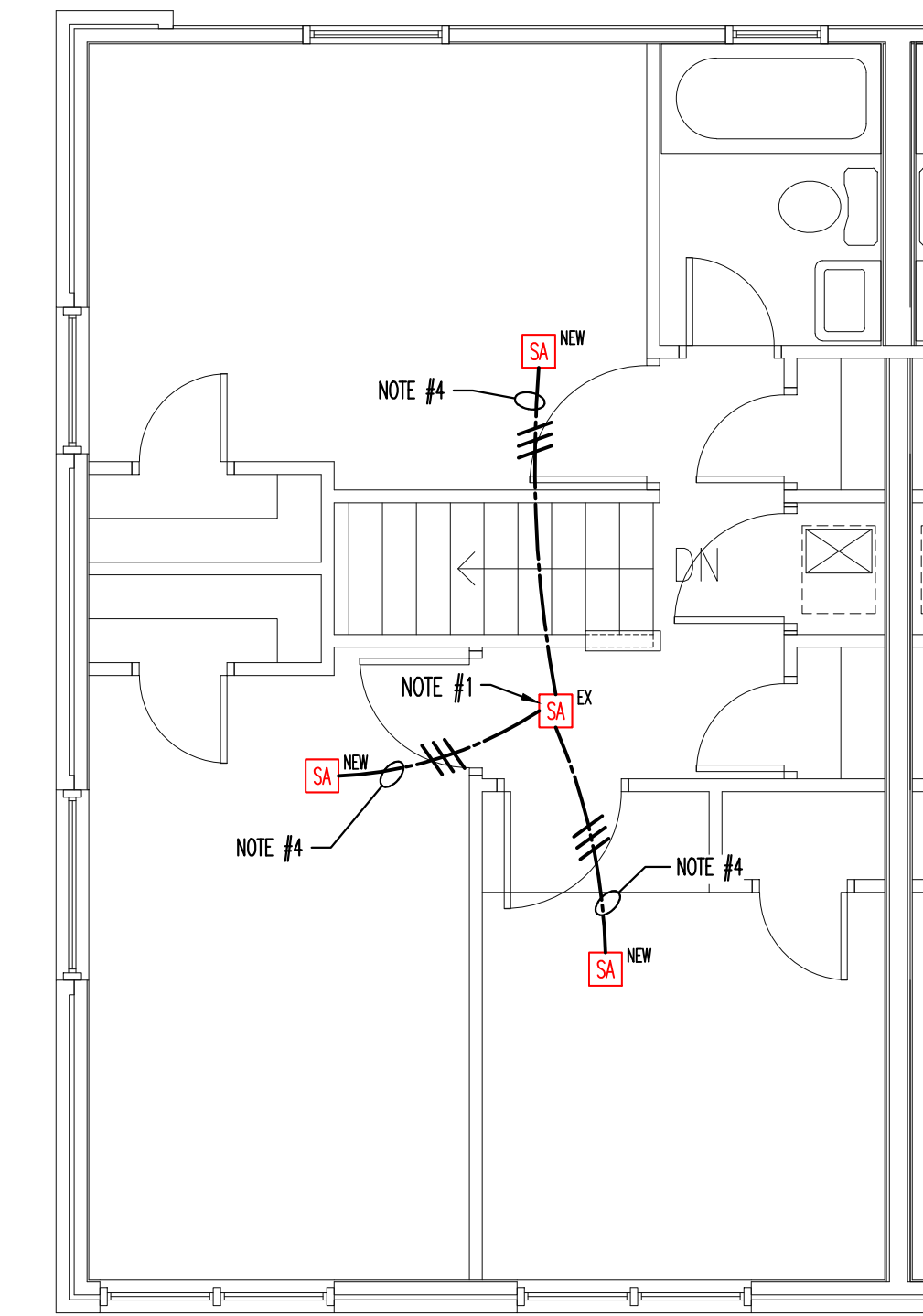
TYPICAL BUILDING "F" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



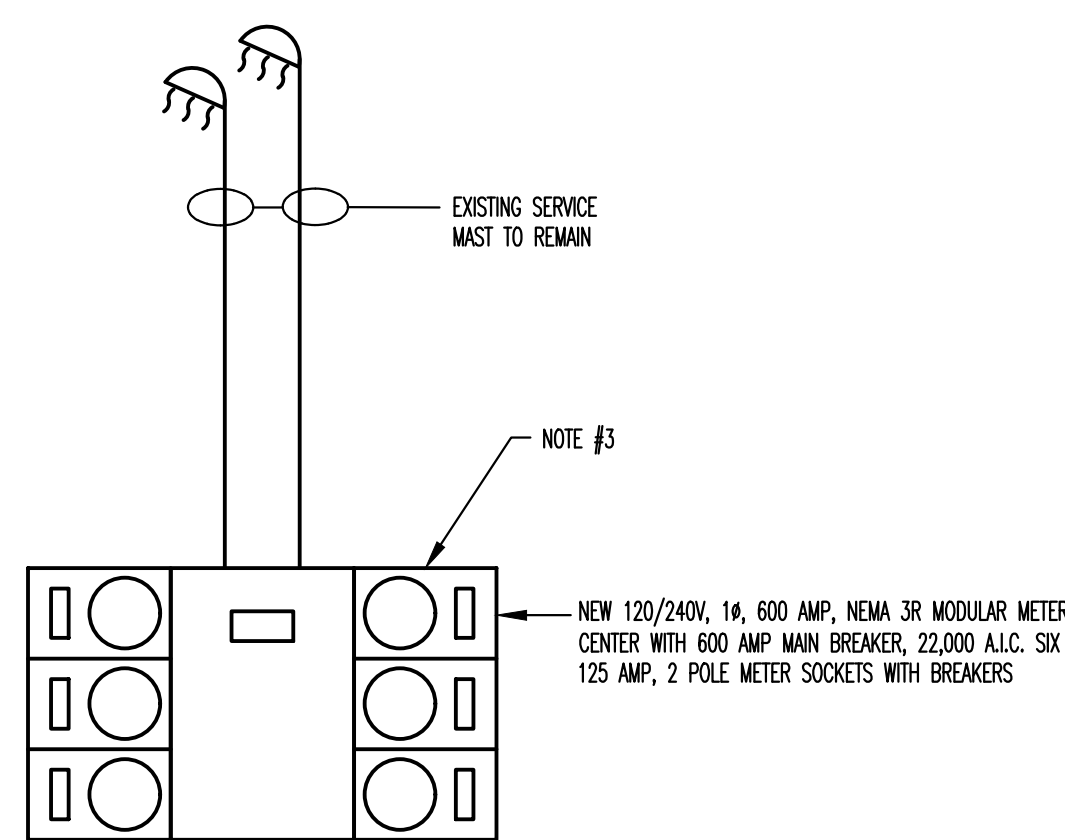
TYPICAL BUILDING "F" SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL FIRST FLOOR PLAN BUILDING "F"
SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR PLAN BUILDING "F"
SCALE: 1/4"=1'-0"



TYPICAL BUILDING "F" METER CENTER
N.T.S.

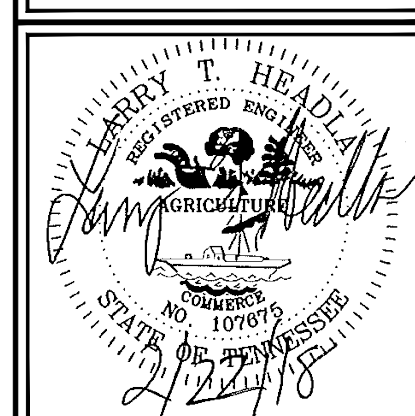
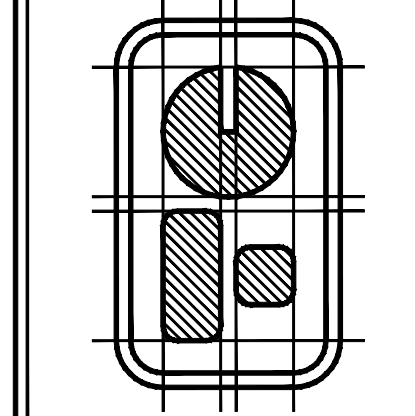
BUILDING "F" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU CONDUCTORS.

- REFERENCE NOTES:**
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DEDUCT ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM, HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
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 5. SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL.
 6. INSTALL WIRING CONCEALED IN ATTIC SPACE.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
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KNOXVILLE, TENNESSEE

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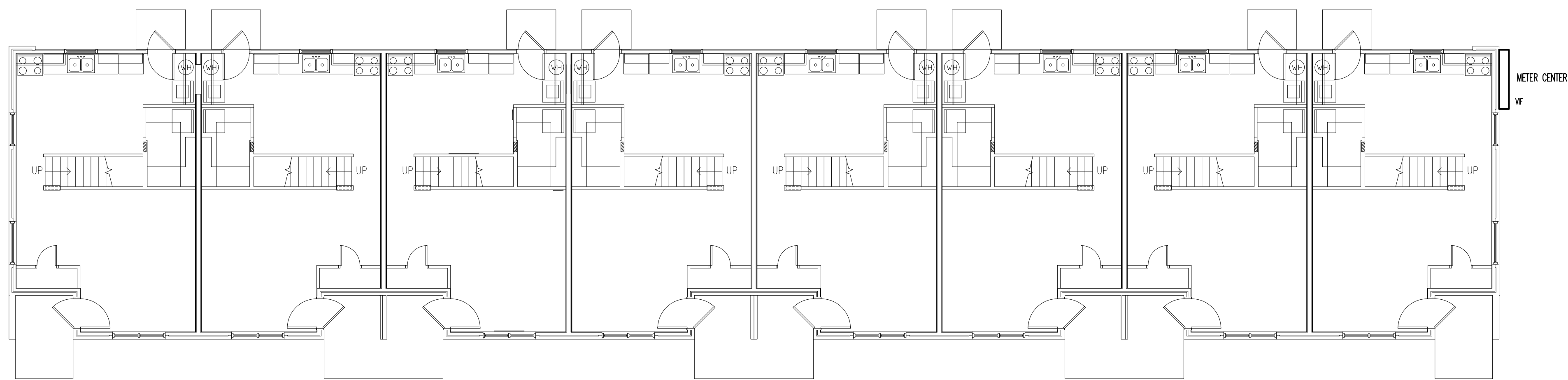


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TYPICAL BUILDING "F" ELECTRICAL PLAN
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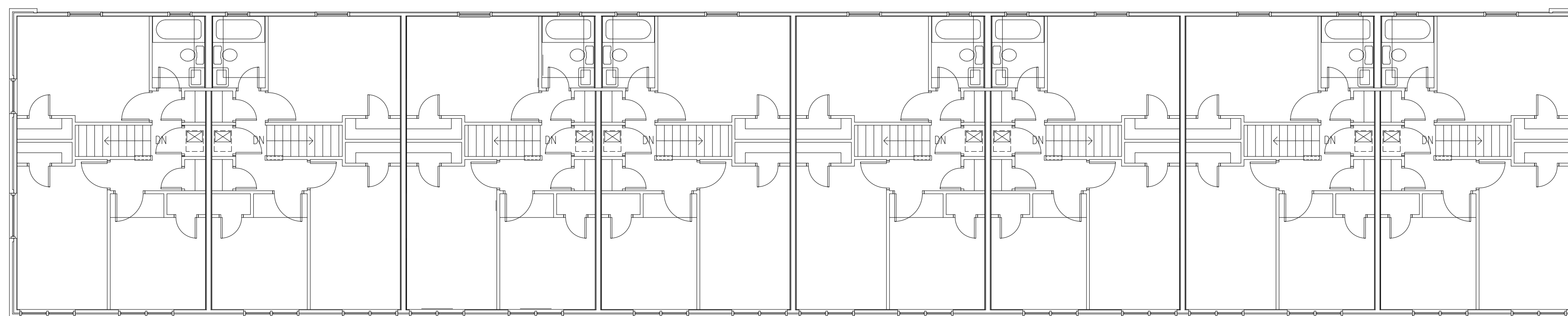
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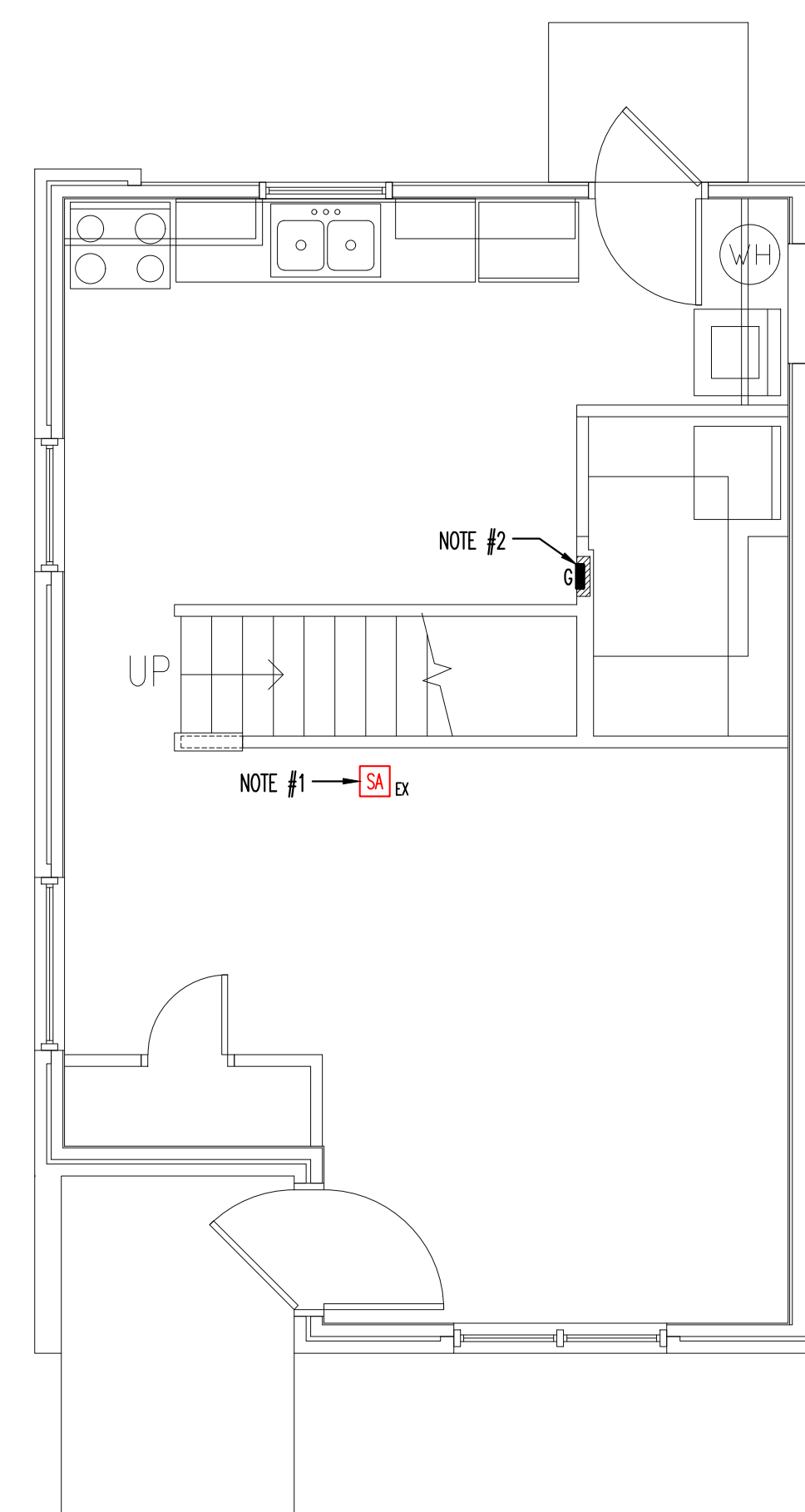
TYPICAL BUILDING "G" FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



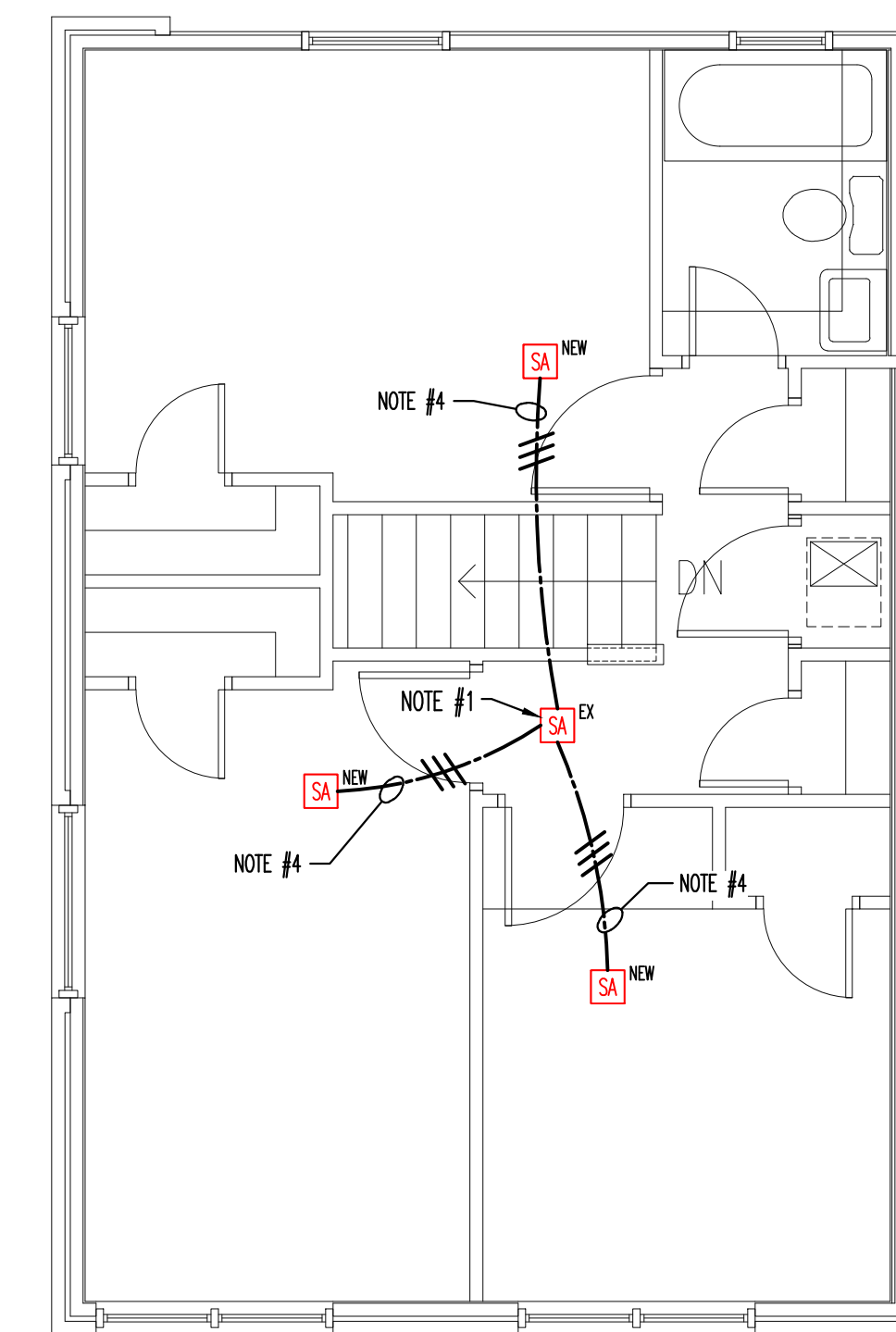
TYPICAL BUILDING "G" SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



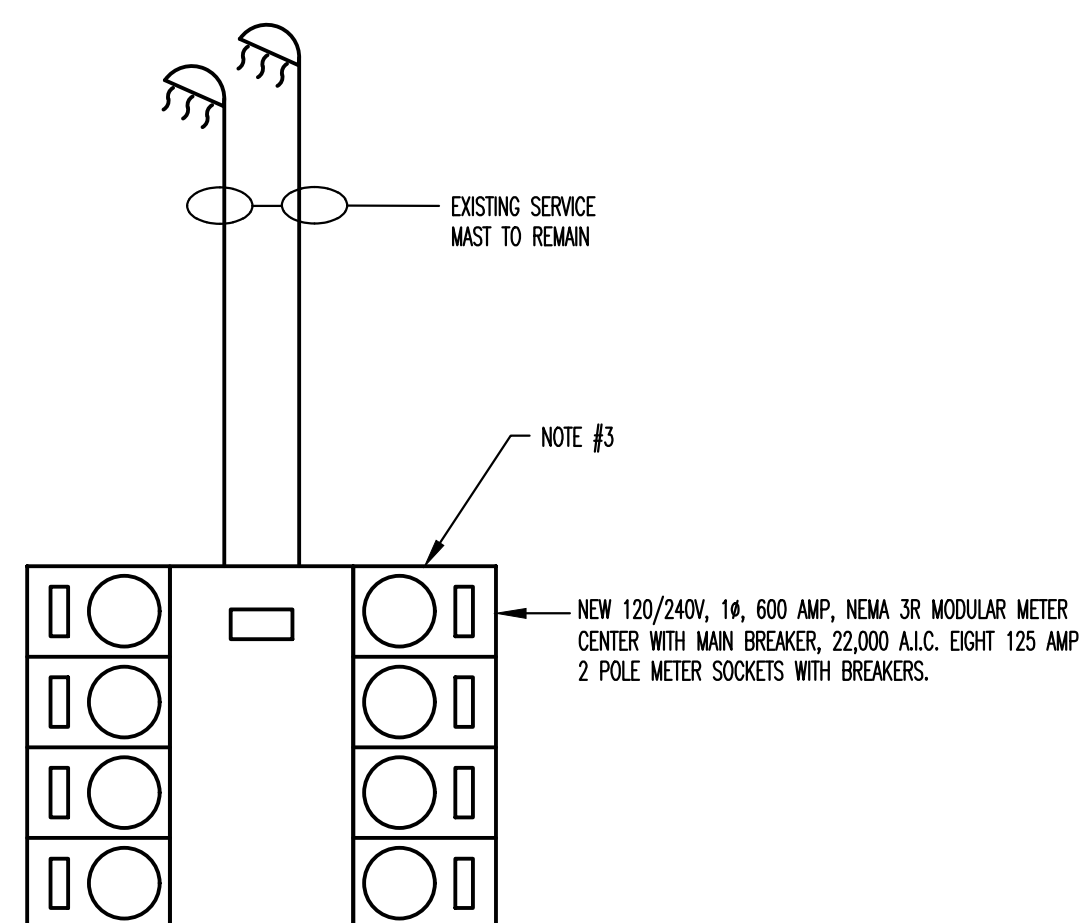
TYPICAL FIRST FLOOR UNIT PLAN BUILDING "G"

SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR UNIT PLAN BUILDING "G"

SCALE: 1/4"=1'-0"



TYPICAL BUILDING "G" METER CENTER

N.T.S.

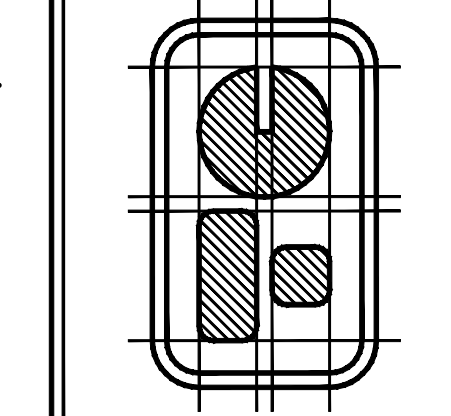
BUILDING "G" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU CONDUCTORS.

- REFERENCE NOTES:
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DUCT/ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM. HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
 2. DISCONNECT FEEDER AND BRANCH CIRCUIT WIRING AND SECURE FOR RECONNECTION TO NEW PANEL. REMOVE EXISTING PANEL AND INSTALL NEW PANEL AT THE SAME LOCATION RECONNECT EXISTING FEEDER AND BRANCH CIRCUIT WIRING AFTER NEW PANEL HAS BEEN INSTALLED.
 3. DISCONNECT WIRING FROM EXISTING METER CENTER AND SECURE. REMOVE EXISTING METER CENTER AND REPLACE WITH NEW METER CENTER AS SHOWN. RECONNECT EXISTING WIRING TO NEW METER CENTER.
 4. SURFACE MOUNT RACEWAY. USE LEGRAND MODEL NO. 400 BAC-WH OR EQUAL. USE 90-DEGREE FLAT ELBOW'S AT TURNS, LEGRAND MODEL NO. 411-WH OR EQUAL. PAINT TO MATCH SURROUNDING FINISH AS APPLICABLE.
 5. SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL.
 6. INSTALL WIRING CONCEALED IN ATTIC SPACE.

ELECTRICAL AND ADA PARKING RENOVATION SERVICES FOR:
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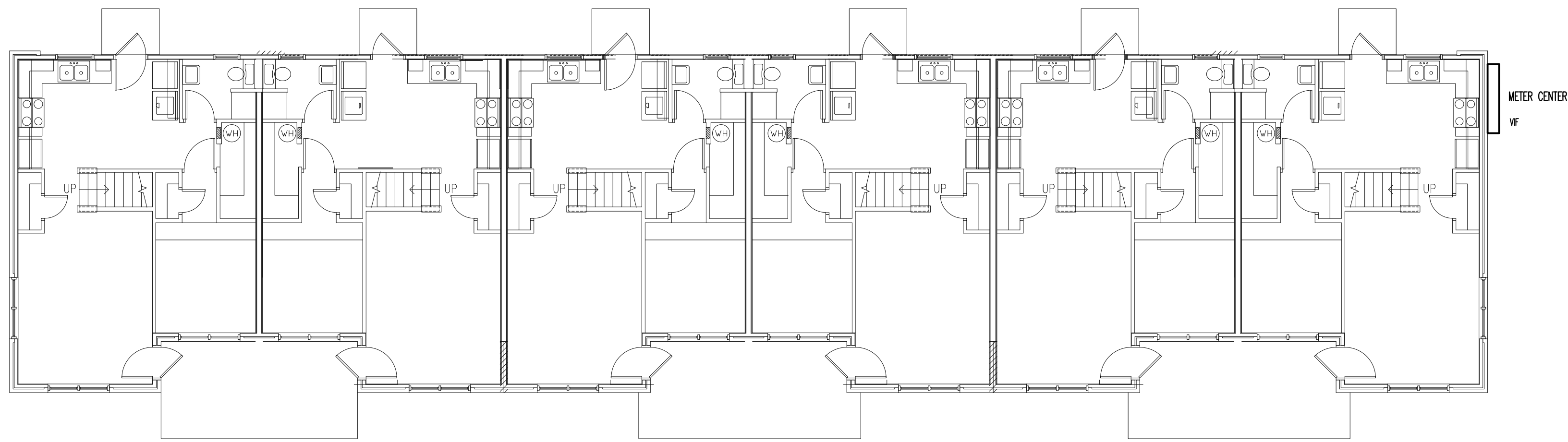
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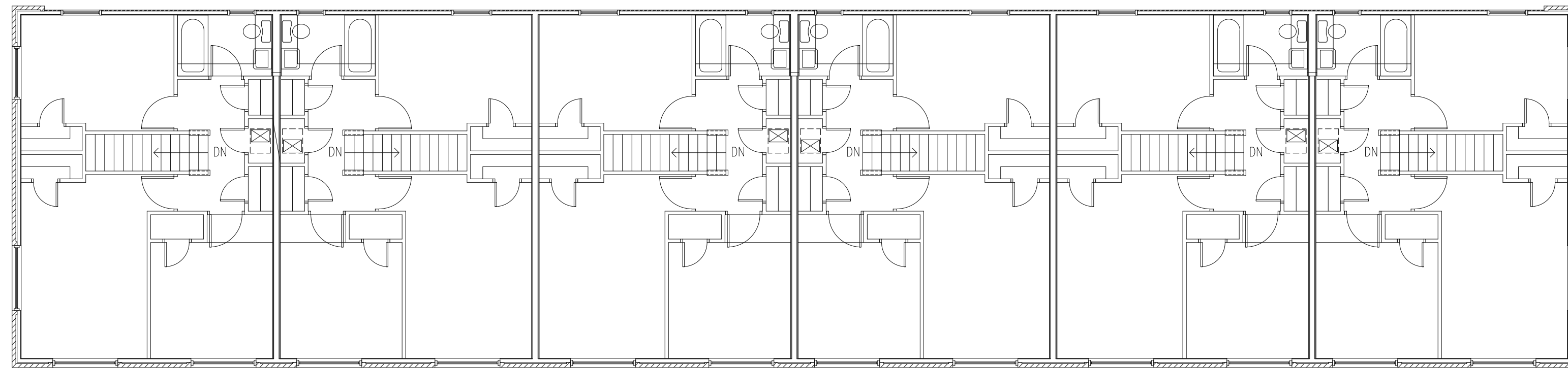
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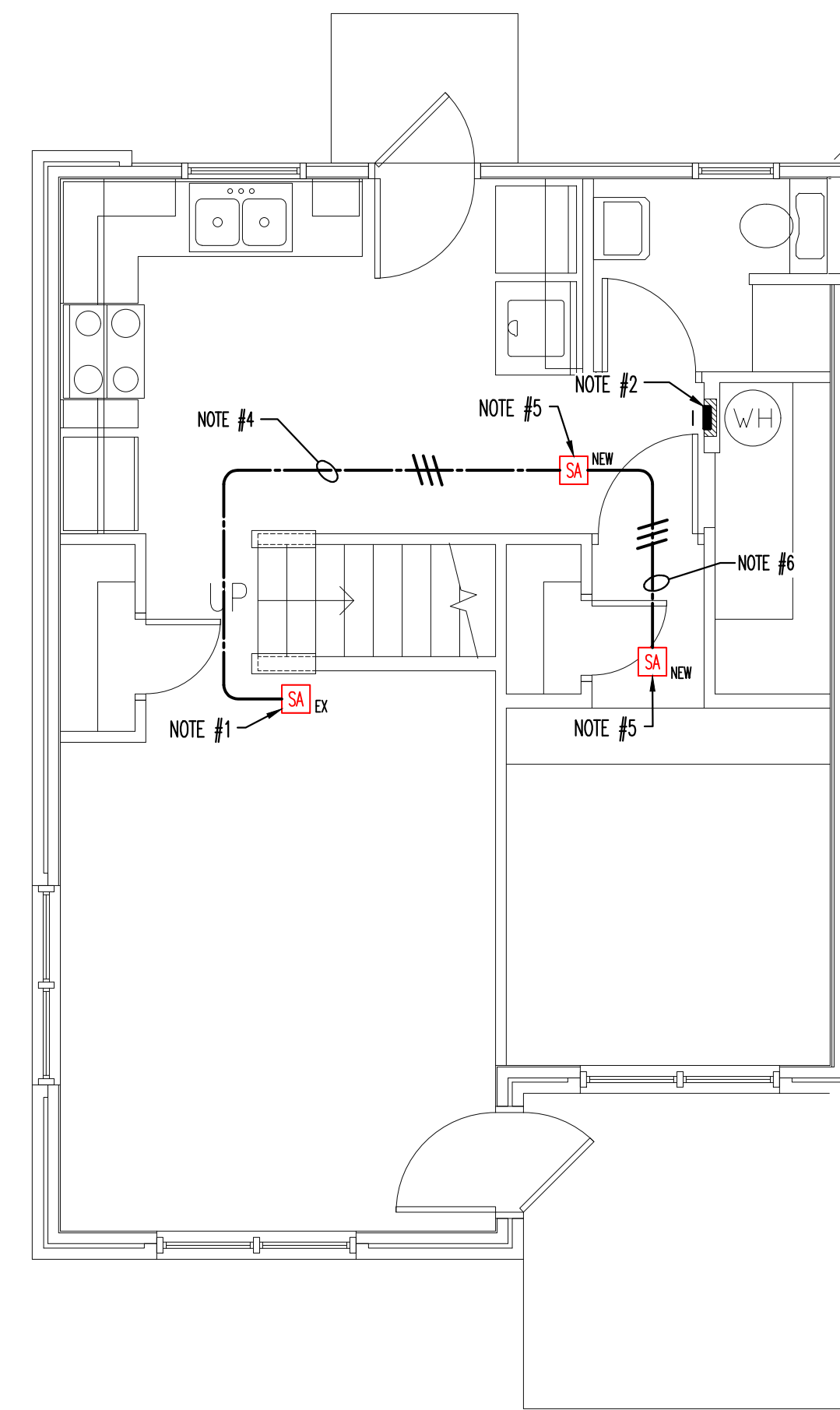




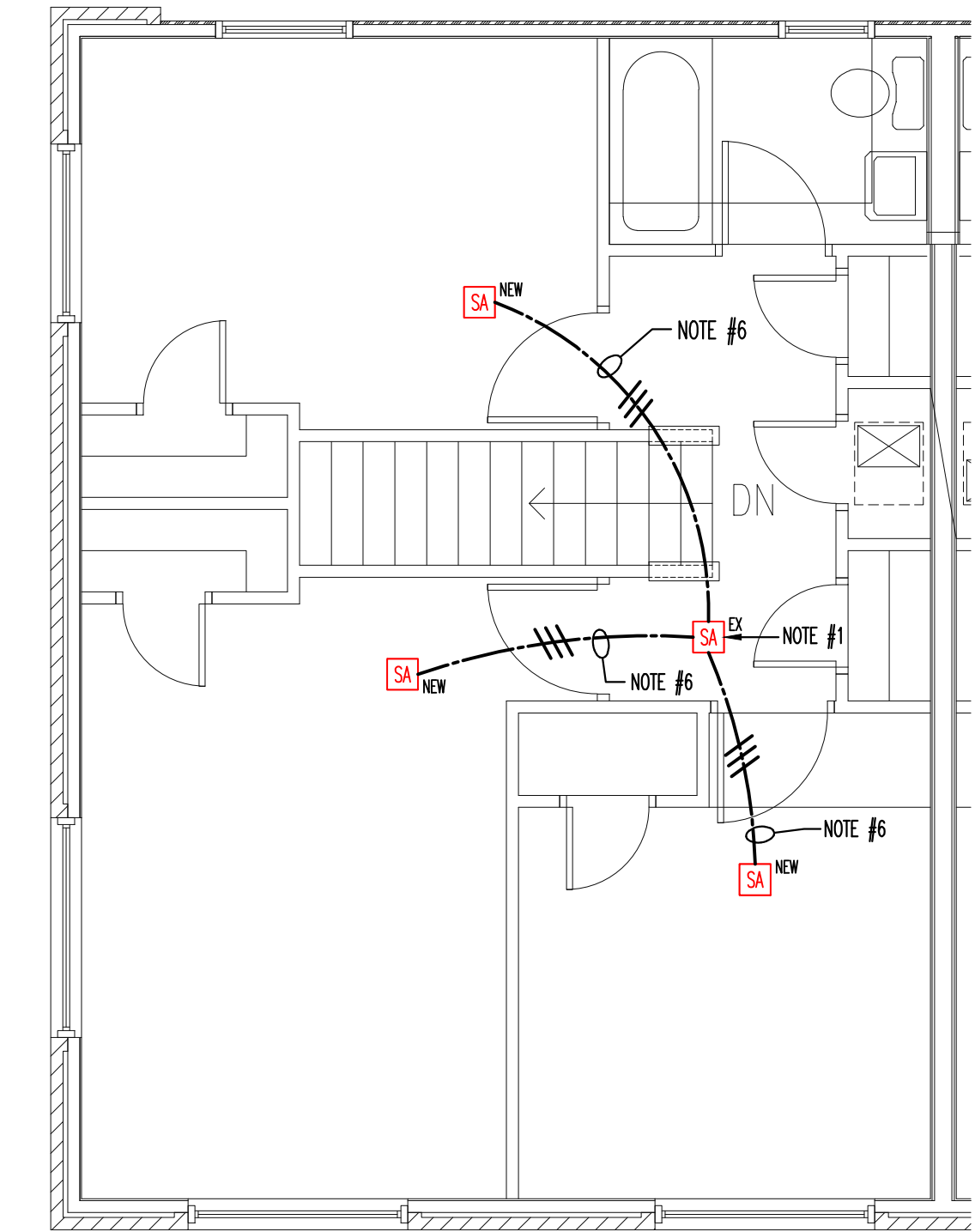
TYPICAL BUILDING "1" FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



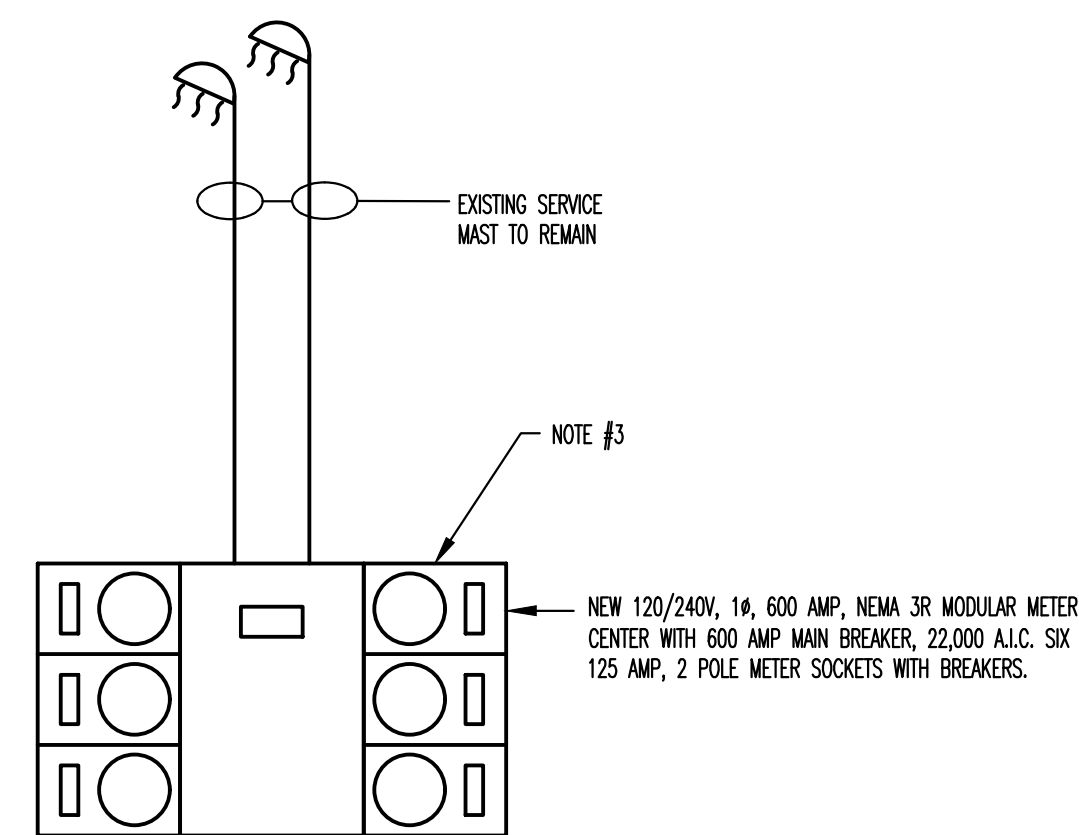
TYPICAL BUILDING "1" SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL FIRST FLOOR PLAN BUILDING "1"
SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR PLAN BUILDING "1"
SCALE: 1/4"=1'-0"



TYPICAL BUILDING "1" METER CENTER
N.T.S.

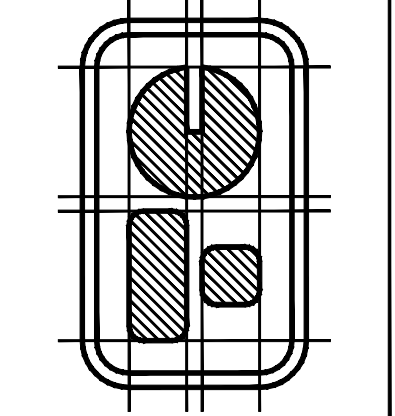
BUILDING "1" GENERAL NOTES:
1. EACH EXISTING UNIT IS FED WITH #2 CU CONDUCTORS.

- REFERENCE NOTES:**
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DEDUCT ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM, HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
 2. DISCONNECT FEEDER AND BRANCH CIRCUIT WIRING AND SECURE FOR RECONNECTION TO NEW PANEL. REMOVE EXISTING PANEL AND INSTALL NEW PANEL AT THE SAME LOCATION RECONNECT EXISTING FEEDER AND BRANCH CIRCUIT WIRING AFTER NEW PANEL HAS BEEN INSTALLED.
 3. DISCONNECT WIRING FROM EXISTING METER CENTER AND SECURE. REMOVE EXISTING METER CENTER AND REPLACE WITH NEW METER CENTER AS SHOWN. RECONNECT EXISTING WIRING TO NEW METER CENTER.
 4. SURFACE MOUNT RACEWAY. USE LEGRAND MODEL NO. 400 BAC-WH OR EQUAL. USE 90-DEGREE FLAT ELBOWS AT TURNS, LEGRAND MODEL NO. 411-WH OR EQUAL. PAINT TO MATCH SURROUNDING FINISH AS APPLICABLE.
 5. SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL. INSTALL WIRING CONCEALED IN ATTIC SPACE.

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TYPICAL BUILDING "1"
ELECTRICAL PLAN

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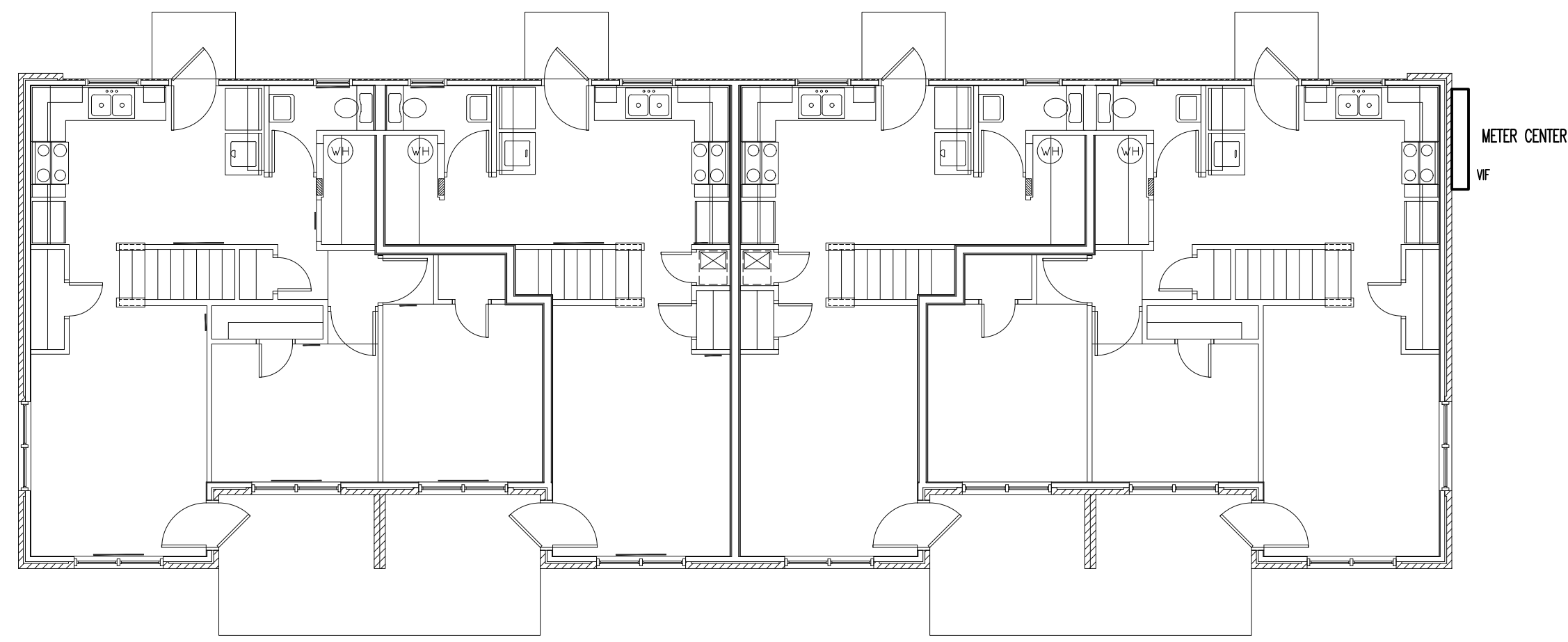
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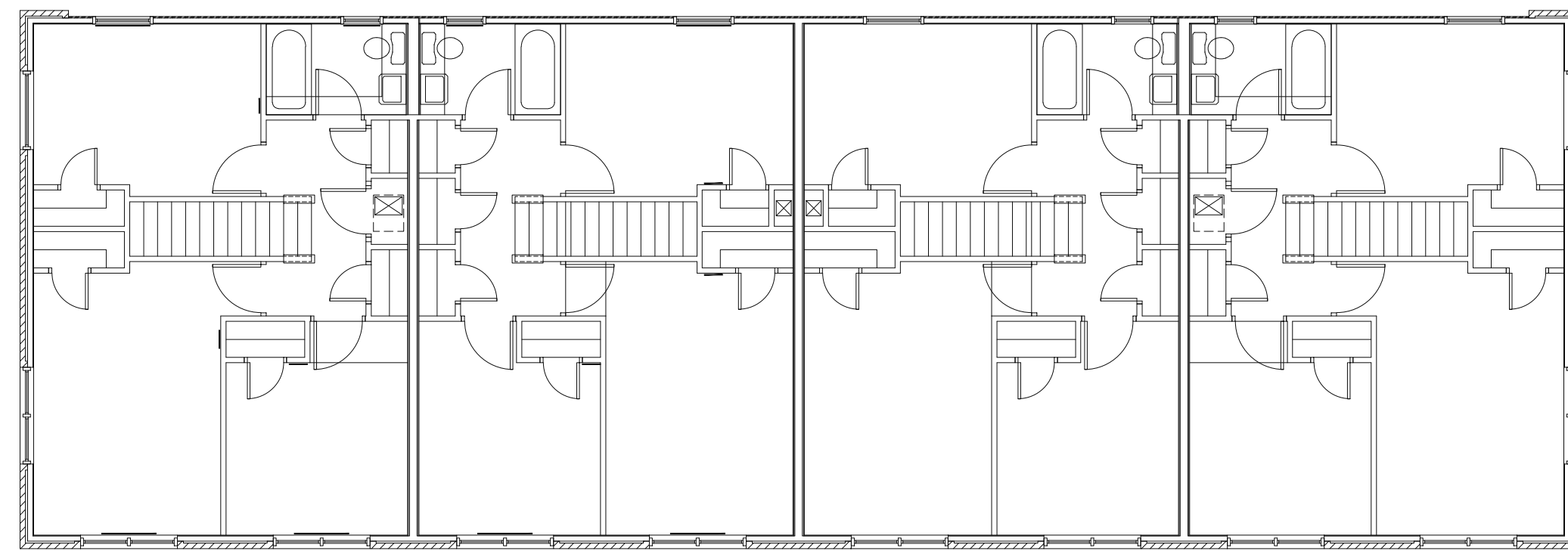
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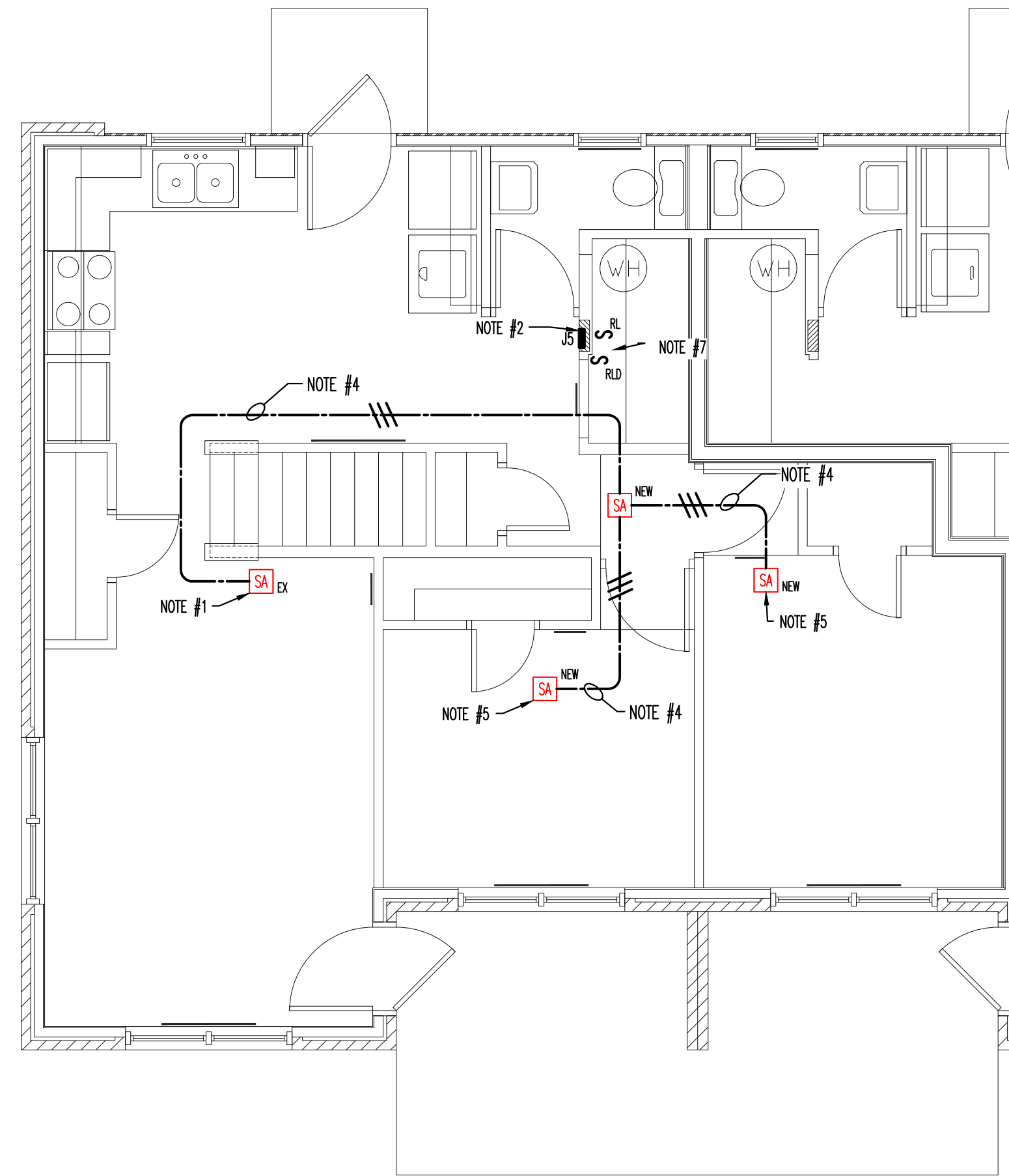
TYPICAL BUILDING "J" FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



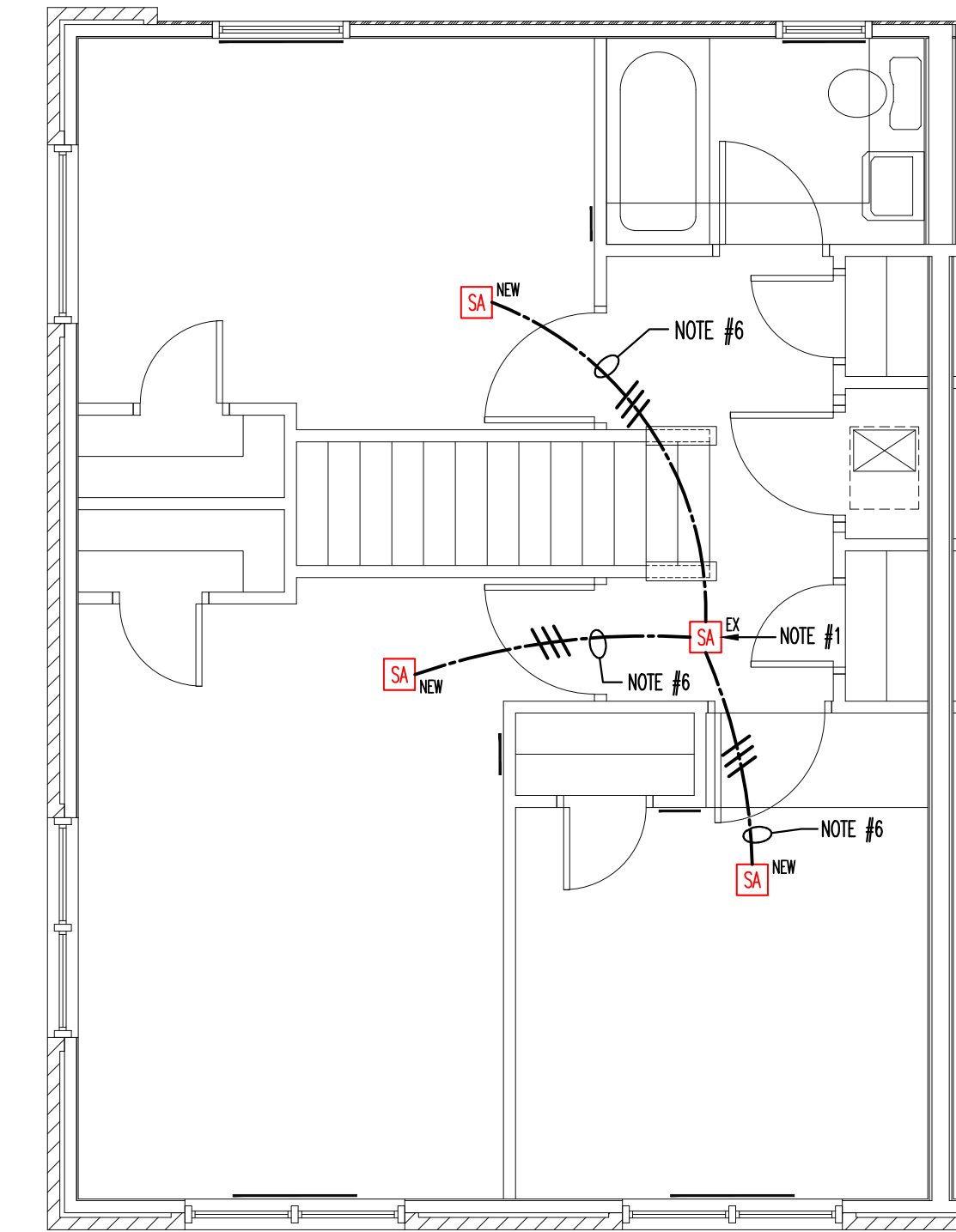
TYPICAL BUILDING "J" SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



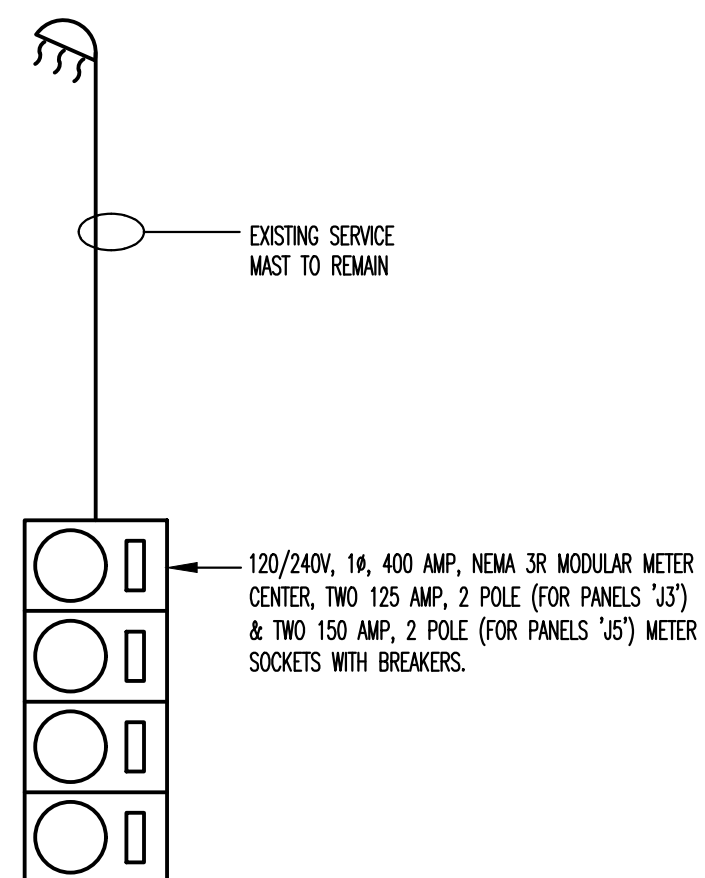
TYPICAL FIRST FLOOR PLAN BUILDING "J" (5-BEDROOMS)

SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR PLAN BUILDING "J" (5-BEDROOMS)

SCALE: 1/4"=1'-0"

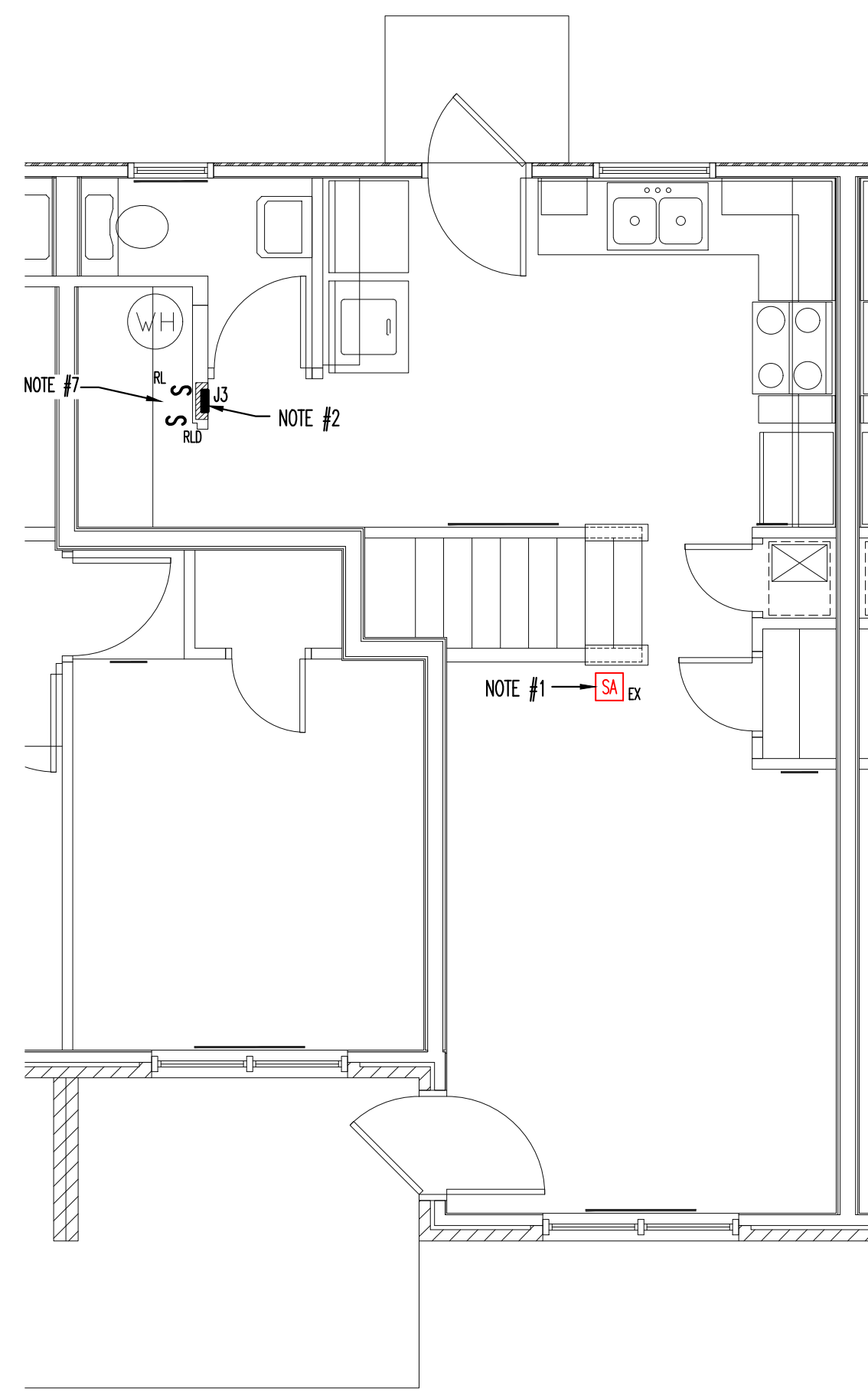


TYPICAL BUILDING "J" METER CENTER

N.T.S.

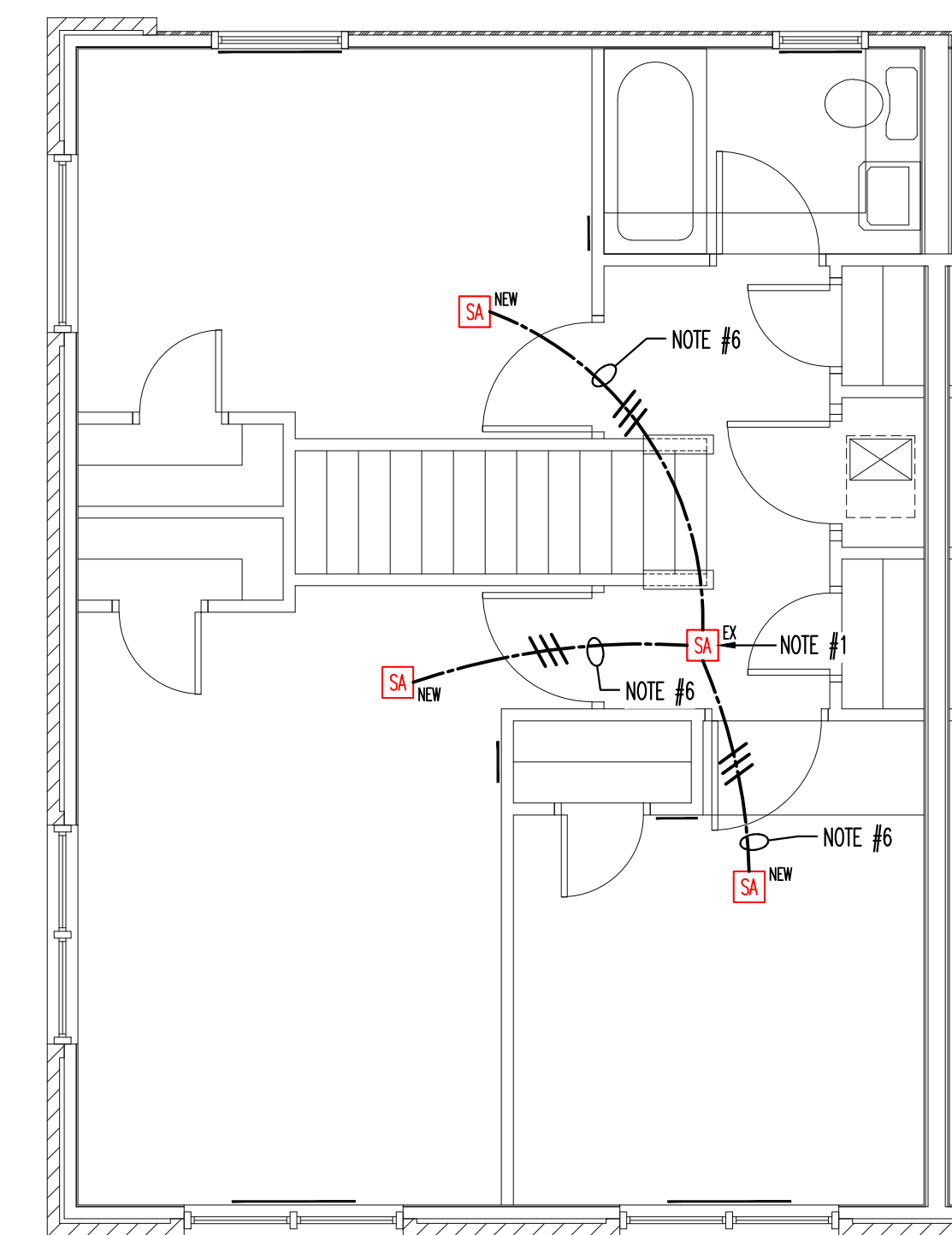
- REFERENCE NOTES:**
1. UNDER BASE BID REPLACE EXISTING SMOKE ALARM WITH NEW DEVICE. UNDER "ELECTRICAL DEDUCT ALTERNATE 1", DO NOT REPLACE EXISTING SMOKE ALARM, HOWEVER, REMOVE AND REINSTALL ON A SURFACE MOUNT ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL TO ALLOW FOR CONNECTION TO A SURFACE RACEWAY.
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 4. SURFACE MOUNT RACEWAY. USE LEGRAND MODEL NO. 400 BAC-WH OR EQUAL. USE 90-DEGREE FLAT ELBOW'S AT TURNS, LEGRAND MODEL NO. 411-WH OR EQUAL. PAINT TO MATCH SURROUNDING FINISH AS APPLICABLE.
 5. SURFACE MOUNT SMOKE ALARM ON A ROUND FIXTURE BOX, LEGRAND 2338A-WH OR EQUAL. INSTALL WIRING CONCEALED IN ATTIC SPACE.
 6. RELOCATE EXISTING RECESSED LIGHT SWITCH AND SURFACE MOUNTING. EXTEND WIRING AS REQUIRED.

- BUILDING "J" GENERAL NOTES:**
1. EACH EXISTING 3 BEDROOM UNIT IS FED WITH #1 AL CONDUCTORS AND EACH EXISTING 5 BEDROOM UNIT IS FED WITH #2/0 AL CONDUCTORS.



TYPICAL FIRST FLOOR PLAN BUILDING "J" (3-BEDROOMS)

SCALE: 1/4"=1'-0"



TYPICAL SECOND FLOOR PLAN BUILDING "J" (3-BEDROOMS)

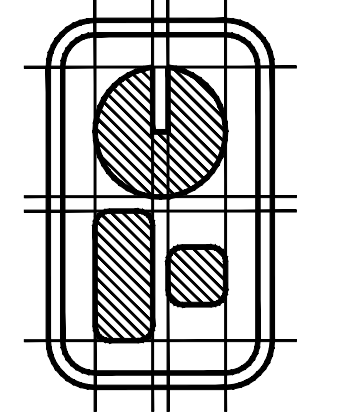
SCALE: 1/4"=1'-0"



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