

LANEY COLLEGE TITLE IX LOCKER ROOM RENOVATION PROJECT

ADDENDUM FOUR

RFP NO. 19-20/11

Peralta Community College District

LANEY COLLEGE TITLE IX LOCKER ROOM RENOVATION PROJECT
Laney College 900 Fallon Street, Oakland CA 94607

November 20, 2020

Information

1. Theater photographs attached here to this addendum.
2. The deadline for questions is extended to Wednesday, November 25 at 5:00 PM.

Revisions

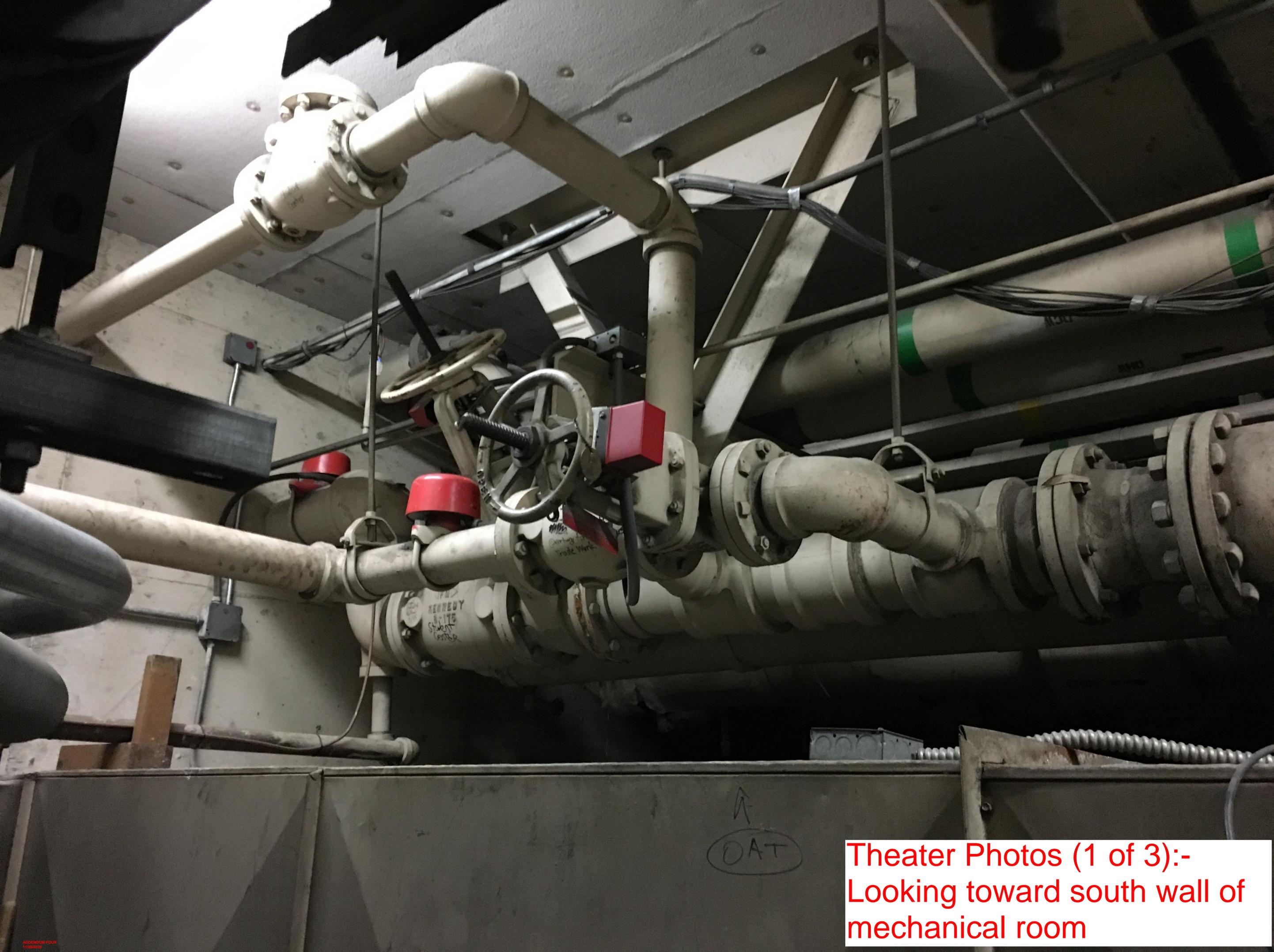
Not Used in this Addendum.

Questions and Answers

1. **Site Logistics & Laydown area.**
 - a. **What are the current spaces available to stage for construction?**
See the site diagram attached to this Addendum.
 - b. **What areas adjacent to the construction site would need to remain available for access by students and faculty?**
An area adjacent to the Gymnasium is currently used by students; the dance studio is currently in use near the women's locker room; and the pool is now used by some team). See the site diagram attached to this addendum.
2. **Price Declaration Form: If 25% of subcontractors are SLBE/SELBE, how are they to be identified on the Price Declaration)?**
See attached updated Section 00 10 00 - Appendix F, Price Declaration Form.
3. **How are quality enhancements scored?**
The list of District-proposed enhancements shows a ranking (on a scale of 1-3). The District will evaluate DBE-proposed enhancements based on their value to the District.

- 4. Can enhancements be provided as alternates to the base stipulated sum?**
Alternates not included in the stipulated sum can be proposed, but will not be considered in the evaluation of Proposals.
- 5. What is the budget/price for the project?**
Total stipulated sum is \$8.5 Million: \$7.5 Million for complete DBE scope of work, plus \$1.0 Million District Allowance for Unforeseen Conditions.
- 6. Specifications Comparison; which takes priority? Criteria Documents or District Standards?**
Criteria Documents. The District is in the process of updating standards.
- 7. Detailed Life Cycle Cost Analysis of building systems over 15 years or more. What is the District looking for?**
Although MEP systems are well-defined in the Criteria Documents, this item is a requirement of the Design-Build statute. Peralta/Laney is looking for a narrative of how the Criteria Document design, and the DBE's proposed scope, both contribute to life cycle cost savings to Peralta/Laney.
- 8. What are the key project schedule milestones?**
See Addendum 3 issued on 11/13/2020. Project Milestone Schedule is listed in Exhibit B, in Section 00 50 00-93.
- 9. How does the Athletics Calendar compare to the Academic calendar?**
Both calendars are still in progress and not yet available.
- 10. The Field House is LEED-Gold. Is there any commitment for LEED Certification for the Locker room project?**
No, but LEED Certification can be an enhancement.
- 11. Will the Janitor closet (113) listed in the Criteria Documents remain in use? Also, is there any other facility nearby other than the Locker Room using this Janitor closet?**
The existing one will remain in use, to maintain the Locker facility (the only facility it will be used for).
- 12. Are Metal lockers recommended for use in this project?**
No metal lockers are to be used in the project.

END OF DOCUMENT



Theater Photos (1 of 3):-
Looking toward south wall of
mechanical room



Theater Photos (2 of 3):-
Looking West at Exhaust Fan



Theater Photos (3 of 3):-
Looking toward south wall of
mechanical room

Laney College Locker Room Renovation Project

Site Logistics Plan- Possible Staging/Laydown area map

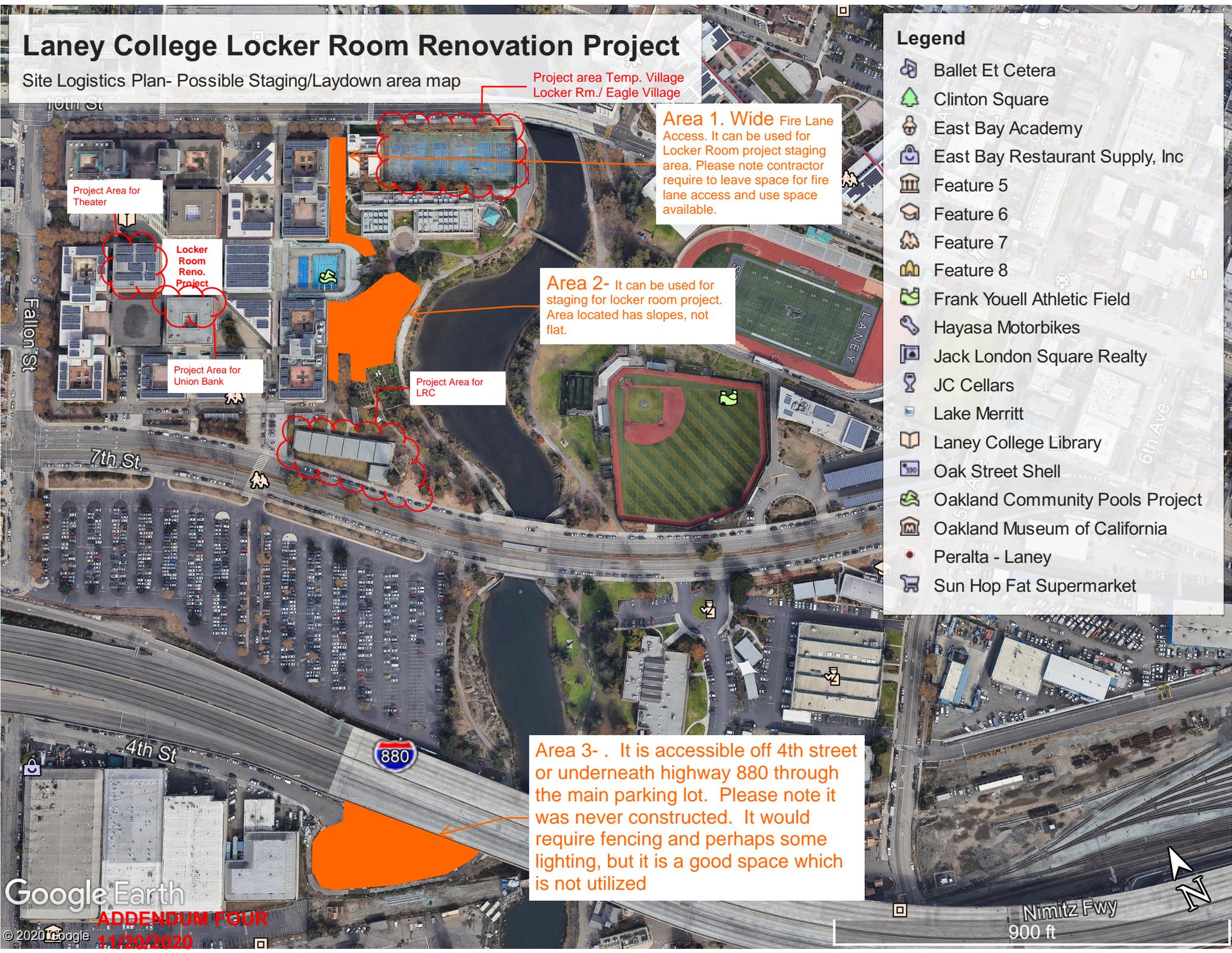
Project area Temp. Village Locker Rm./ Eagle Village

Area 1. Wide Fire Lane Access. It can be used for Locker Room project staging area. Please note contractor require to leave space for fire lane access and use space available.

Area 2- It can be used for staging for locker room project. Area located has slopes, not flat.

Area 3- It is accessible off 4th street or underneath highway 880 through the main parking lot. Please note it was never constructed. It would require fencing and perhaps some lighting, but it is a good space which is not utilized

- ### Legend
- Ballet Et Cetera
 - Clinton Square
 - East Bay Academy
 - East Bay Restaurant Supply, Inc
 - Feature 5
 - Feature 6
 - Feature 7
 - Feature 8
 - Frank Youell Athletic Field
 - Hayasa Motorbikes
 - Jack London Square Realty
 - JC Cellars
 - Lake Merritt
 - Laney College Library
 - Oak Street Shell
 - Oakland Community Pools Project
 - Oakland Museum of California
 - Peralta - Laney
 - Sun Hop Fat Supermarket



APPENDIX F

PRICE DECLARATION

In submitting this Proposal, Design/Builder represents that Proposer has examined:

- Part 1- DIV 00- 01 Contract Documents
- Part 2- Criteria Documents (Specifications)
- Part 3- Criteria Documents (Drawing Set)
- Part 4- Reference Docs

In submitting this proposal, Design/Builder represents that Design/Builder has examined copies of all the Contract Documents and acknowledges receipt of the following addenda:

Addendum No.: _____.	Date: _____.

Failure to acknowledge receipt of an addendum on the Proposal Form shall not in itself be cause for withdrawal or rejection of proposal, if it can be shown that Design/Builder did, in fact, receive such addendum prior to proposal opening.

Design/Builder acknowledges the Stipulated Sum set forth in the space provided below shall include the entire compensation to Design/Builder to design and construct the Project including, without limitation, cost of bonds, insurance, sales tax, and every other item of expense – direct or indirect – incidental to proposal price.

APPENDIX F (Continued)

COMPLETE WORK:

1. Dollar amount of work to be performed by the Design-Build Entity, Subconsultants and Designated Subcontractors:

\$ _____
(Amount to be entered by Design-Build Entity)

2. Dollar amount of work to be performed by Non-Designated Subcontractors (to be bid in accordance with the requirements of the Design Build Agreement):

\$ _____
(Amount to be entered by Design-Build Entity)

3. Total dollar amount of work to be performed by Design-Build Entity, Subconsultants, Designated Subcontractors, and Non-Designated Subcontractors (~~the~~ Total of sections 1 and 2, above):

\$ _____
(Amount to be entered by Design-Build Entity. **Must not exceed \$7,500,000.00 Stipulated Sum, below.**)

4. District Allowance for Unforeseen Conditions

\$ 1,000,000.00

- 4.5. **Stipulated Sum:**

\$ _____
(Total of sections 3 and 4 above, Amount to be entered by Design-Build Entity established by District. **Must not exceed \$8,500,000.00.**)

Value of SLEB / SELBE Work:

1. If DBE is pursuing extra credit for SLEB or SELBE participation, enter the amount of work to be performed by SLEB or SELBE firms:

\$ _____

SIGN HERE: _____
Signature of Proposer

DATE: _____
Day/Month/Year Title of Proposer