

ADDENDUM NO. 03.1

DATE: February 24, 2021

TO: All Potential Bidders

FROM: Penny Owens, Purchasing Agent, City of Knoxville

SUBJECT: Addendum No. 03.1 – Public Safety Complex Construction

BID DATE: March 9, 2021, at 2:00:00 p.m. (Eastern Time)

This addendum becomes a part of the Contract Document and modifies the original specifications as noted.



ADDENDUM 03.1

Project: 19018_COK Public Safety Complex
Date: 24 February 2021

Addendum 03.1 forms a part of Construction Documents and modifies the original drawings and specifications issued on February 1, 2021.

SPECIFICATIONS:

Unless noted otherwise, replace the following sections with the attached updated sections dated 2.24.2021.

1. **General Specifications:** 00 01 10 – Table of Contents and 01 21 13 - Allowances
2. **Architectural Specifications:** Refer to revised Sections 06 41 00 – Architectural Wood Casework, 07 21 19 – Foamed In-Place Insulation, 07 25 00 – Weather Barriers, 07 81 00 – Applied Fireproofing, 09 05 61 – Common Work Results for Flooring Preparation, 09 51 00 – Suspended Acoustical Ceilings, 10 22 23.23 – Moveable Panel Systems, and 32 33 00 – Site Furnishings.
3. **Electrical Specifications:** 26 31 13 – Emergency Standby Engine Generator System
4. **00 20 01 – City of Knoxville Procurement and Contracting Information:**
 - a. Revise Information for Bidders to read *“Bids will be received by the City of Knoxville, Tennessee (Herein called the “Owner”) by the Purchasing Division of the City of Knoxville, acting for the Mayor, in Room 667-674, City County Building, 400 Main Avenue, Knoxville, Tennessee, 37902 until **2:00:00 P.M. on March 9, 2021**, and then at said office publicly opened and read aloud.”*
 - b. Revise Information for Bidders to read *“Inquiries pertaining to this ITB shall be made in writing and be in the hands of the Purchasing Division by the close of the business day on **February 25, 2021**. (...) To be given consideration, such requests/questions must be received at least **eight (8) business days** prior to the date fixed for the opening of bids. (...)”*
5. **00 41 13 – Bid Form:** Revise 1.07.A to read *“If this Bid is accepted, the Work shall be completed by August 12, 2022. Work continuing after this date will be subject to Liquidated Damages.”*

BP3 DRAWINGS:

Unless noted otherwise, replace the following sections with the attached updated sections dated 2.24.2021.

6. **General Front-End Sheets:** Refer to revised Sheets ADD #02 G003, G002, and G003.
7. **Civil Sheets:** C000, C201, C501, C602
8. **Architectural Sheets:** Refer to revised Sheets AD103, AD104, AD105, AD106, AD305.2, A001, A002, A010, A011, A012, A013, A020, A021, A022, A023, A024, A025, A026, A027, A028, A107, A110.2, A111.2, A112.2, A113.2, A115, A118, A119.1, A119.2, A119.3, A120.3, A121.3, A122.2, A123.3, A127, A129, A202, A302, A310, A311, A312, A313, A404, A604, A801.2, A802, A803.2, A803.3 A812.1, A818.1, A818.2, A821.2, A900, A911.1, and A911.2.
9. **Structural Sheets:** Refer to revised Sheets S002, S009, S110.2, S110.3, S111.3, S114.2, S123, S124, S125, S126, S127, S128, S131, S212, S220, S320, and S330.
10. **Fire Protection Sheets:** Refer to revised Sheets FP101, FP102, FP103, FP104, FP110.1, FP110.2, FP110.3, FP111.1, FP111.2, FP111.3, FP112.1, FP112.2, FP113.1, FP113.2, FP114.1, FP120.1, FP120.2, FP120.3, FP121.1, FP121.2, FP121.3, FP122.1, FP122.2, FP122.3, FP123.1, FP123.2, FP123.3, FP124, FP125, FP126, FP127, and FP128.
11. **Plumbing Sheets:** Refer to revised Sheets P201, P202, P203, P204, P210.1, P210.2, P201.3, P210.4, P210.5, P210.6, P211.1, P211.2, P211.3, P212.1, P212.2, P213.1, P213.2, P223, P224, P225, P226, and P227.
12. **Electrical Sheets:** Refer to revised Sheets E201, E203, E220.2, E303, E420, E421, and E434.

BP4 DRAWINGS:

Unless noted otherwise, replace the following sections with the attached updated sections dated 2.24.2021.

13. **General Front-End Sheets:** Refer to revised Sheet G000.
14. **Civil Sheets:** Refer to revised Sheets C101.4, C201.4, C301.4, and C302.4.

REFERENCE ATTACHMENTS:

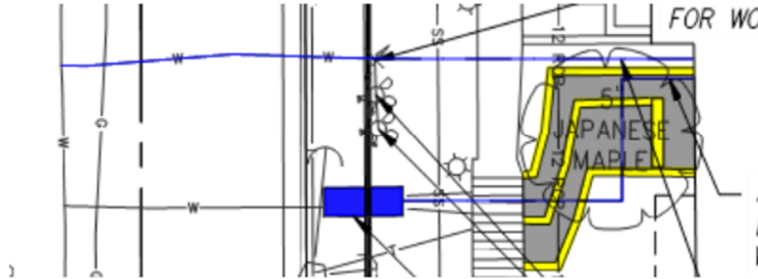
These documents are provided for reference only and do not form part of the contract documents.

15. Bid Package 2 Site Work Category Description.

BIDDER QUESTIONS:

16. Note 20/A123.3 - Column graphics - What is the design and details for column graphics?
 - a. **Column graphics will be provided at a later date. Columns to receive a 3' painted band with parking level numbers within it.**
17. 14.21.00 - Elevator refurbishment (POB Parking Garage) - Spec section calls for one elevator to have all new finishes and one to be abandoned. This does not appear to be shown on the drawings, please clarify status for POB parking garage elevators.
 - a. **Refer to revised POB Parking Garage Sheets – notes removed. Refer to Specifications and Sheet A624 for POB Garage Elevator Notes.**
18. A120.3 - Notes 7 & 8 call for one elevator to be refurbished, one elevator to be replaced.
 - a. **Refer to revised Sheet A120.3. Notes removed. Refer to Specifications and Sheet A624 for POB Garage Elevator Notes.**
19. We are reviewing the drawings/specs and it appears the scope consists of decommissioning certain elevators and modernizing others.
 - Could you ask the owner/architect to confirm the scope of work for each elevator?
 - Additionally, are there any new elevators being installed?
 - a. **Refer to elevator renovation scope notes on A600s sheets for scope and which elevators are to remain operational in the new project. Refer to Vertical Circulation Keynote 7 on Sheet A611 for new elevator scope.**
20. Please clarify the exact scope of work covered by the allowances for Backfill and Demolitions. We understand these are previously negotiated with subcontractors that will be assigned to the successful bidder. Please clarify what these allowance cover. Example; exact scope, subcontract bonds, clean up, waste removal. Also since this scope is outside of our control, please provide the agreed to duration for this work?
 - a. **Refer to Addendum #02.1 for demolition allowance clarification as well as Addendum #03.1 Sheet clarifications. The Backfill allowance is directly attributed to Sheet C000. I've attached the Site Work description for this scope. It assumes 30,000 cubic yards of durable construction debris be used across the site as backfill. The GC will need to include money for the bond cost based on bond rate for Blount and Renascent. Bond is not included in the allowances. Cleanup is part of the scope of work in the allowance.**
21. CA West Elevation 4/A311 includes a section cut at the Vertical Insul. Wall Panel detail (1/A440), however, this detail/sheet appears to be omitted from the bid docs. Please advise.
 - a. **Refer to revised sheet for appropriate detail reference. Sheet A440 is not in the project.**
22. Note 10 on sheet A300 addresses the exterior re-caulking of the aluminum Storefront/CW, however, I'm unable to locate direction on whether re-caulking of the interior side of the existing storefront/CW is necessary. Please advise.
 - a. **I would anticipate the interior frames to be recaulked as they abut new drywall and finishes.**
 - b. In the drawing below at the women's pavilion the domestic water service is shown running below the existing stairs. The elevation drops off significantly after the stairs to match 1st floor elevation. I am assuming that the domestic water line then runs below the 1st floor level putting this water line at an impossible installation without taking out the stairs and the planter retaining walls. It appears there used to be a water service that run into the building at one time but has been cut off at the shear wall at the outer exterior of the building. This drawing is

located on C501. Please clarify how to proceed based on these conditions.



- i. **Reference the revised building plans for location of proposed domestic water and fire protection lines. Existing site water lines will be reconnected to the proposed building service lines as needed based on the new proposed locations. Final location will be subject to the actual installed location of the existing lines (shown per historic drawings).**
 - ii. **The 5" Japanese Maple shown above is part of the "Preserved Existing Trees" on site and counts towards meeting our tree requirements per the City Code. We cannot do disturb anything within its dripline (edge of canopy). If we did the landscape plans would be to be re-designed to increase the proposed trees.**
23. Please see the attached Inergen Fire Suppression System Substitution form for ProInert.
 - a. **Ansul Inergen was specifically requested by the City. Substitutions using IG-541 and also compatible with Johnson controls and able to meet all the requirements of spec section 211314 will be considered. IG-55 is not acceptable. Any substitution will need to be approved by the City.**
24. Is a landscape irrigation system required? If so, please provide details.
 - a. **There is no irrigation system, but there is a one-year warranty on all plant material and Specification 329300 Plants establishes the watering and maintenance of the plants as the contractor's responsibility.**
25. Is there any remediation work to be performed regarding the parking structure?
 - a. **Parking garage repairs will be deferred for future maintenance by the Owner.**
26. Site Fire Line - Civil drawing indicates 6". Drawing FP110.1 indicates 8". Please clarify.
 - a. **This should be a 6" line. Refer to updated drawings.**
27. Floor Plan Note 24 - Metal Detector - Please confirm this is OFOI.
 - a. **The Metal Detector is Owner Furnished Owner installed. Rough-in requirements are in contract.**
28. Floor Plan Note 33 - New Drop Box - Please confirm this is OFOI.
 - a. **Correct.**
29. Existing Stairs - note states that wall rails are to be relocate if necessary. Is it necessary?
 - a. **The top of the handrails must be a minimum of 34" high. We have found the handrails in the Women's Pavilion and POB to be mounted between 33-34" high. Please assume these need to be relocated.**
30. A225 - Alternate #5 - Provide floor plan/RCP/MEP plans for Police Academy suite that show condition if Alternate #5 is accepted.
 - a. **Beyond wall repair and insulation installation at exterior walls, all interior walls, ceilings, fixtures, casework and floor finishes to be removed from scope should this alternate be accepted. See comment 138 for systems narrative response.**
31. A119.3 - Roof hatch - Confirm size of roof hatch.
 - a. **Refer to Roof Accessories Specification for information.**
32. 3/A421 - Spray foam insulation - Is the intent that all existing batt insulation be removed, and spray foam insulation (R20) be installed as a replacement?
 - a. **Refer to added Floor Plan General Note 13 for spray foam insulation requirements in the POB.**
33. 9/A405 - Door canopy - No specification reference in the plan or section. Please confirm that the door canopy shall be as specified in Section 10.73.16.13.
 - a. **Please refer to the Specifications, referenced Section is provided.**
34. A812.1 - Wall mounted signage - Section 6 shows the signage text, but does not identify the size or style of letters. Please advise.
 - a. **Please take another look at this elevation - dimensions are provided. Font to be Owner verified prior to purchase - Century Gothic is currently being illustrated.**

35. A400 - furring - Sections 3 and 4 note "fiberglass z-furring". Should this be galvanized z-furring to match other sections, and the fiberglass refers to insulation?
- a. **Provide Fiberglass "Z" furring at exterior walls.**
36. C501 - Meter fees/tap fees - Note #3 - 3" water meter and Notes #1 & #2 taps - fees paid by Owner?
- a. **All connection fees for the fire service lines, domestic water lines, and meters are to be paid by the contractor.**
37. AS110 - gates - Keynote #26 references "security gates". Please confirm these are barrier arm gates.
- a. **Refer to revised Keynote #26 - security gates do refer to barrier arm gates. Barrier arm gates to be Owner provided, power and conduit to be provided in base bid.**
38. A115 - Fume hood - EQ20 is a Fume Hood that is OFCI. Please provide details for this piece of equipment.
- a. **Refer to revised keynote - Fume Hood to be Hamilton Safeaire II 60". (https://hamiltonlab.com/wp-content/uploads/2020/06/pl-1012-4_hamilton_safeaire_ii_fume_hoods_ommanual_june2016.pdf)**
39. 32 35 00 - Mechanical screenwalls - On sheet A403 notes indicate the screenwall around the mechanical equipment is black vinyl chain link with slats. A302 shows mechanical metal screening, which we assume is specified in 32 35 00 Site Screening Devices. Please clarify.
- a. **Refer to revised Sheet A302, black vinyl chain link with privacy slats to be used for shooting range mechanical screening. Mechanical Screenwalls are incorporated on Central Annex Rooftop.**
40. One question behind the horizontal corrugated panels, some details call for 2 1/2" 18 ga galvanized "Z" furring and some details call for 2 1/2" 18 ga/ Fiberglass "Z" furring are they using both or do they want all to be the same?
- a. **Provide Fiberglass "Z" furring at exterior walls.**
41. The only detail I found that calls for spray foam insulation is 3/A421. Where are we supposed to apply spray foam insulation? Is all of the batt insulation being removed at these angled window sills?
- a. **Refer to added Floor Plan General Note 13 for spray foam insulation requirements in the POB. Batt insulation has been removed from exterior walls through demolition and will not be required to be replaced at outer wall.**
42. How will existing housekeeping pads required to be demolished to accommodate new construction be identified and quantified for bidding?
- a. **The housekeeping pads should be demolished as part of other bid package 01. No pads will be remaining for bid package 03.**
43. Please indicate location and quantity of re-caulking that is required at existing to remain exterior window locations.
- a. **Refer to unit prices and expected quantities to set base bid allowance for this work.**
44. Please confirm that elevators noted to be "abandoned" are to remain in place? Please confirm that demolition of the elevator cabs, hoist way entrances or associated equipment is not required?
- a. **Abandoned elevators are to remain in place and. Entrances to decommissioned elevators must be enclosed by 2-hr shaft wall or welded shut as indicated on the vertical circulation drawings.**
45. The upper level parking surface of the annex parking garage has considerable spalling. What is the required scope of work at this area? If work is required please identify and quantify the amount of work and type of repairs to be included in the base bid.
- a. **Parking garage repairs will be deferred for future maintenance by the Owner.**
46. During the pre-bid conference it was unsure if the cable tray was going to be part of the telecommunications SOW that was being removed from the project. Is it or do we need to include it in our bid?
- a. **The cable tray and associated grounding and bonding shall be part of the GC/EC's responsibility and shall be priced.**
47. FP drawings - Existing Sprinklers - The FP drawings state that the "entire area of renovation is fully protected with an automatic sprinkler system". It is our understanding that the existing sprinkler systems were removed during demolition. Please confirm.
- a. **Verify the dry system in the garage is in acceptable condition, it will remain. All other fire protection systems will be replaced.**
48. 211314 - Pipe and Fittings - Spec section 211314 2.03 A 1 calls for Schedule 10 & 40 black steel pipe. Would CPVC pipe and fittings be an acceptable substitute where applicable? CPVC pipe and fittings are NFPA approved and UL listed and FM approved for fire protection.
- a. **Use black steel as specified.**
49. 211314 - Clean Agent Fire Suppression System - Spec section 211314 calls out an Ansul Inergen clean agent system for areas designated on the 3rd floor Women's Pavilion. This system is proprietary and not readily available. Can an equivalent clean agent system by another manufacturer be utilized?
- a. **Ansul Inergen was specifically requested by the city. Substitutions using IG-541 and also compatible with Johnson controls and able to meet all the requirements of spec section 211314 will be considered. IG-55 is not acceptable. Any substitution will need to be approved by the city.**

50. 213113 - Fire Pump - Spec section 213113 2.01 B list acceptable fire pump manufacturers. We would like Patterson Fire Pump to be added to the list
 - a. **Patterson can be added to the list of acceptable manufacturers.**
51. 211313 - Sprinkler Heads - Spec section 211313 1.03 C. states that extended coverage heads are not acceptable.
 - a. **Extended heads are acceptable. This note will be removed.**
52. Spec section 211313 2.04 A 2 lists extended coverage heads as permissible. Please clarify.
 - a. **Extended heads are allowed. Will clarify.**
53. A107 and A119,1 - Roof blocking - Note #19 calls for replacement of copings and flashing. Is the wood blocking to be replaced as well?
 - a. **Where copings and flashing are being replaced, new PT wood blocking will be required.**
54. It is difficult to set a hard price on repairing the damage to existing light gauge framing scheduled to remain that exists throughout the project. It would be beneficial to address this work as an allowance for fair bidding. Please advise.
 - a. **Please refer to the revised Allowances Specification for miscellaneous metal stud framing repair.**
55. Many of the shaft walls are in need of major renovation and/or repair. It could be beneficial and More economical to demo these sections and fill in with new materials. Or, this work could be addressed as an allowance for fair bidding. Please advise how repairs to existing will be identified in the documents so it can be quantified for bidding.
 - a. **Since this scope can more directly be quantified, please proceed with the most economical option for repair or replacement of the shaft walls to remain.**
56. There are many sections that show existing studs and drywall but they have since been removed by the demolition team. How will this work be identified in the documents and so that it can be quantified for bidding?
 - a. **The only interior drywall that remains in the buildings are at elevator shafts and elevator machine rooms that have remained operational through the course of construction. It should be assumed that all exterior walls should receive R-19 new batt insulation and 5/8" drywall to deck. Refer to revised floor plan general notes.**
57. With demolition in mind in regards to exterior replacement studs, will there be a specification of gauge, size of materials for replacement?
 - a. **A schedule will be provided indicating required gauge and size of replacement studs based on span.**
58. According to roofing subcontractors a gravel roof and/or ballasted roof cannot receive fluid applied. What does the design team's research indicate? Is the ballast to be removed, fluid membrane applied and ballast re-installed? Please clarify.
 - a. **Existing gravel surface must be fully removed and prepped prior to coating being applied. Damaged membrane must be repaired or replaced by reinstalling the ballast or mechanically attached the membrane prior. Cost for this removal should be accounted for the in the alternate.**
59. The alternates 3 & 4 are confusing when compared to the roofing notes 17 and 20 of the WP and CA which one is correct? Please clarify
 - a. **Refer to Addendum #02.1 for clarifications on this scope.**
60. What is the intent for the owner's contingency? Is it to address remediation of existing elements, provide funding for owner requested additive scope or both?
 - a. **Owner Contingency is to be used only as directed by City of Knoxville for added scope of work.**
61. The Operable Wall in the POB 6th floor. Is there an elevator large enough to get 4' x 9' panels weighing 300 - 400 lbs. each up there?
 - a. **The site is available for scheduled visits to review options and existing building restrictions for material distribution.**
62. Who demo the housekeeping pads on the lower level in the WP?
 - a. **The housekeeping pads will be demolished within the current demolition contract and will not need to be accounted for in BP3 pricing.**
63. The wood temporary railing does it stay in place or do we need to include temporary railing?
 - a. **Wooden handrails and safety items that are currently on site will stay in place.**
64. Please confirm the waterproofing, protection board and foundations will be in place by others?
 - a. **Refer to Wall Sections and details - new concrete retaining wall will be poured in place and existing. Waterproofing, protection board, insulation, foundation drains, etc. are in scope. General backfill detailed on C000 is accounted for by the allowance.**
65. Are there any concrete foundations at the security gate control boxes?
 - a. **Refer to Civil for concrete pad information. Concrete pad and rough-in to remain in GCs scope.**
66. Do we have any table and chairs as mention in the section Site Furnishing? If so, where is there location?
 - a. **Refer to revised Specification, table and chairs were removed from scope in VE.**
67. During our walk through aluminum doors 110, 111, 230 and 234 (show on the drawings as existing) are either missing and/or damaged. How should we figure these doors?

- a. **Any damaged or removed during demolition proceedings are the responsibility of the demolition GC to replace prior to BP3.**
68. Window adjacent to door 335 the frame is existing however the glass is gone. How do you want to figure? (Drawings are showing that window as existing)
- a. **Any glazing removed during demolition proceedings are the responsibility of the demolition GC to replace prior to BP3.**
69. Usually, the data contractor provides the ladder tray used in the MDF and IDF's, will your contractor be responsible for it on his project?
- a. **All Communications work in the MDF/IDF (including ladder racking) is to be done by the Owners LV Vendor.**
70. On sheet TE900.2 shows a detail for bonding the basket tray, does this fall under our scope or is it part of the grounding that was pulled from this project?
- a. **Grounding and Bonding of the basket tray is the responsibility of the installer of the basket tray.**
71. Behind the horizontal corrugated panels, some details call for 2 1/2" 18 ga galvanized "Z" furring and some details call for 2 1/2" 18 ga/ Fiberglass "Z" furring. Are both being utilized or are all to be the same?
- a. **All new exterior "Z" furring to be the Fiberglass on the project.**
72. Behind the Insulated Metal Panels some sections specifically call out a layer of rigid insulation behind them. Some show it, but do not denote it. Please clarify.
- a. **Rigid insulation should be installed where it is illustrated materially in the drawings. It is installed behind the IMP to maintain a consistent wall cavity with adjacent brick.**
73. Drawing S110.3 does seem to indicate that the Pour Back Slab was indeed performed in BP2. Blockouts for 2 new columns new CL6 and CL7 are indicated as existing. Are blockouts in place for all the other columns at CL1 - CL1.6 or will the pour back slab need to be saw-cut and removed?
- a. **Blockouts will be in place for all columns within the pour back area that is being poured in BP2.**
74. Drawing S110.2 CA LL3 B. Steel members are shown at the Existing Elevator Pits. Is this new steel in this Bid Package? If so, please provide connection details, etc.
- a. **The steel members shown at the elevator on LL3 B are existing per the existing construction documents available.**
75. Alternate 2 - Pre-engineered Firing Range. Note in alternate seems to indicate this may be located in a different location. Note on S130 says "in a separate location". Is another location contemplated?
- a. **If the pre-engineered firing range is accepted, the range will need to be located in the BP4 - Oldham Parking Lot due to its length. It is known that there will be some light coordination required if this alternate is selected and fully incorporated into the documents.**
76. Parking Garage General Note 4. Please provide garage column level marker colors, fonts, schemes, and denote which columns are to receive such.
- a. **Column graphics will be provided at a later date. Columns to receive a 3' painted band with parking level numbers within it. GC should assume 1/2 of parking garage columns on flat surfaces will receive markings**
77. 2/S114.2 Chiller Support Frame. Note says "Frame required openings in roof deck below". Please provide size and quantity of such.
- a. **Required roof deck openings for duct penetrations should be coordinated with MEP drawings.**
78. 2/S131 Chiller Support Frames - Does the note "Frame required openings in roof deck below" apply here, too? If so, please provide size and quantity of such.
- a. **Yes, see response to item 88.**
79. 23/S220 Typical Small Hole Infill Detail. Please provide quantity of these to be included in the Bid. (It is not reasonable for GC to quantify such per Addendum 1)
- a. **Please refer to the revised unit price and allowance specification. There are approximately 1800 openings to be accounted for that are 2 - 8" in diameter.**
80. Regarding Addendum 2 existing items, e.g., damaged spray-on fireproofing, storefront, walls, slabs, etc., it is not reasonable to put the burden of documenting existing conditions of the building on a Bidding General Contractor in any case much less by 3/4/2021. As with the exterior modifications, please provide quantities/sizes/etc. of such and/or provide an allowance to apply to such work.
- a. **Quantities and/or allowances are forthcoming.**
81. Drawing A101 - WP Roof Plan. Stair 01 ST101 is not shown. Please update drawing and indicate work required.
- a. **Refer to revised Sheet A107 for stair roof scope.**
82. Drawing A412. Note regarding liquid membrane, etc. at existing elevated sidewalk. Please provide plan of this area, full definition of required scope of work, and specification.
- a. **The liquid membrane is noted here as an existing condition pulled from original document details. The new scope of work pertains the new brick and metal panel veneer above and new EMseal expansion joint providing a back up to the existing condition.**

83. Specification 07.25.00 Weather Barriers. Section 2.01.A.1 indicates that the air barrier is a coating. However, Section 2.02.A indicates mechanically fastened sheet (Tyvek). Please clarify.
- Refer to revised Specification 07 25 00 Weather Barriers.**
84. On drawing E201 & E220.2 it shows the underground fuel tank for the gensets in areas that could be a problem to install. Need to confirm location?
- Location has been coordinated among the design team and are the preferred location.**
85. Need to confirm who is responsible for the fuel tanks and install.
- The mechanical contractor is responsible for the fuel tanks and install.**
86. Are there any conduits that the electrical will need to install for controls or electrical for the underground fuel tanks? Who installs the control panels?
- Yes the electrical contractor is responsible for controls and control panel installation.**
87. On the riser drawing for the POB the fire pump and the main distribution feeders are shown to be concrete encased in the garage area. Could the panel & pump be relocated for cost savings? Will another contractor provide the concrete encasement for the feeders?
- Main breaker in 'MSBCA' will be moved to allow the feed from the secondary of the transformer to route directly to the breaker and not route through the building to avoid the concrete encasement required for the length to the electric room. Reference Addendum #03.1 drawings. However, there is no way to avoid concrete encasement for the fire pump.**
88. Will the Audio Visual system be removed from the scope of work? Confirm that the electrical will provide all of the conduit rough-in for the low voltage systems?
- AV is removed from the general scoping of the GC and will be an owner vendor. The EC is responsible for conduit rough-in for ALL LV disciplines.**
89. On drawing E220.2 note #2 calls out that the existing genset in the Clarke building should be sent to "CAT" for recertification. Which genset are they talking about? What should the recertification include? Is "CAT" the only dealer we should use?
- No any certified generator distributor that is prequalified and capable can bid this work.**
90. The plans indicate a new roof system with a 30 year warranty using a 60 mil membrane. If they want the 30 year warranty the membrane thickness with need to be increased to a 80 mil. The specs indicate a new roof system with a 20 year warranty using a 60 mil membrane. Can you ask them to clarify which system they want: 20 year 60 mil or 30 year 80 mil?
- Provide a 60 mil TPO roof with a 20 year warranty, key notes to be revised.**
91. Can you also let them know the roof system over the Women's Pavilion can't be coated because it is an existing gravel built up roof?
- Existing gravel surface must be fully removed and prepped prior to coating being applied. Damaged membrane must be repaired or replaced by reinstalling the ballast or mechanically attached the membrane prior. Cost for this removal should be accounted for in the alternate.**
92. The specifications have a section 10.26.16 Wall guards (Wall guard & Bumper guards), where are they located?
- Refer to Finish Plan General Notes as indicated in Addendum #02.1.**
93. Bid package #4: On the electrical drawing the circuit for the gate is shown to be coming from panel "LEQWP3". Could the circuit come from the existing panel in the parking area?
- No, emergency power is needed for this gate.**
94. Please clarify the scope of refurbishment/recertification required for the existing generator being relocated from the Clark Tower. This could be interpreted many ways to be included in a bid.
- Refurbishment/recertification shall include replacement of all filters, oil, coolant, lubricant, hoses, belts, batteries, and any non-functioning equipment associated with the generator. System shall be load bank tested. During the running of the generator vendor shall observe that no fluid is leaking from the unit.**
95. The existing generator being relocated from Clark Tower is a 1981 model year Detroit Diesel. It is ESSE's firm opinion that a new generator will be more cost effective for the owner compared to the refurbishment and continued maintenance of a 40+ year old generator. Is it acceptable to bid a new generator as an alternate to refurbishing/recertifying and relocating the existing generator?
- It is acceptable to bid a new generator as an alternate to refurbishing/recertifying/relocating the existing generator.**
96. As a follow-up to question 14.e above and the answer (#46.e) provided in Addendum 02.1, "This should be directed to civil." This response appears to be incomplete. Regarding the issue at hand, we suggest rotating the 3" water line within the building 180 degrees towards CL3 and exiting below the EIFS wall perpendicular to the adjacent existing storefront. This will require a slight modification to the existing site water line to move it south a few feet south to get it out of the planter bed but all things considered, it will be less expensive and much less invasive.
- We noticed this error, please refer to the response in Addendum #03.1.**

97. M005 provides the schedule for the Fuel Oil System and Storage Tanks. Remark #4, states, "CONTRACTOR SHALL FURNISH A TANK FULL OF FUEL OIL FOR TANK AND REFILL TO REPLACE FUEL OIL USED FOR TESTING EQUIPMENT AT END OF PROJECT." Given the volatility of the fuel pricing, would the owner please consider establishing an allowance for the fuel oil material referenced in this remark? Either that or consider moving this scope from the contractors responsibility to the owners responsibility?
- a. **Refer to revised Allowance Specification for fuel allowance for this material.**
98. The following questions were submitted to us from a local Millwork company:
- Is M-2 high performance industrial grade particleboard acceptable as a substrate for the general casework? Is it appropriate with the plastic laminate countertops as well?
 - Are the bottoms of wall cabinets to be white melamine or match the exterior finish of the plastic laminate casework?
 - What is required for the edge banding on the drawer and door fronts? Is this a .020 PVC or 3mm edge banding?
- a. **Refer to revised Specification 06 41 00 – Architectural Wood Casework. Match the exterior finish of the plastic laminate casework for the bottom of wall cabinets. The inside of cabinets should be white melamine. Provide 3mm edge banding on drawers and drawer fronts.**
99. Parking Garage General Note 2 refers to scope related to Hospital "Box Signs" @ Parking Garage Levels. Please provide additional clarification relative to this scope. The note references capping all electrical implying this item is an electrical component.
- a. **These items have an electrical component to them and should be disconnected.**
100. "WO-1" floor finish is identified on the floor finish plan but does not appear to be listed anywhere on the Finish Legend sheet A900. Please advise.
- a. **Refer to revised Finish Legend. WO-1 is actually CPT-9.**
101. Regarding the firing range scope, please clarify which package this scope pertains to. It is our understanding that it is to be included with the BP3.1 scope. What has confused this is understanding is the reference to BP4 in item 6.b. of the Pre-bid Meeting Agenda which states, "#02: Addition of Pre-engineered Firing Range (BP4)." Please clarify whether this was an error or if there is a relationship between the firing range scope and BP4. Note item 6.a. referencing the Alt. 1 deduct of the range from the base bid links it to (BP3).
- a. **Please keep both firing range alternates associated with BP3 pricing so that the cost differential can be more easily tracked. The intent is for the prefabricated range to be located in the BP4 parking lot should it be accepted.**
102. Regarding alternate #2, the alternate which utilizes a pre-engineered fire range in lieu of a "Stick built" or "Brick-and-mortar" site build firing range. Outside of the brief description of this alternate found in spec. section 01.23.00, which references BP3.1 sheets A108, A403 and C103, there is no information or spec provided for a "Pre-engineered" firing range. Have I missed this or is the design team asking the GC's to propose an alternate option to the stick built approach while maintaining the "programmatic and technical requirements described in this Bid Package"? Please clarify.
- a. **Refer to Sheet AS100 for Premanufactured Range Alternate #2 information.**
103. Addendum 02.1 references a reissued G003 but there was no attachment G003. Please advise.
- a. **A copy of G003 intended to be issued in Addendum #02.1 will be included in this Addendum #03.1.**
104. There appears to be damaged traffic coating at the top level of POB Parking Structure – Plans/specs don't currently address removal/replacement of traffic coating. Will this be required?
- a. **Parking garage repairs will be deferred for future maintenance by the Owner.**
105. Please see the attached spray foam insulation and Dampproofing/rigid insulation combo product substitution request submitted by Tennessee Spray Foam.
- a. **Rejected - Substitutions with this degree of coordination will not be accepted during the bidding cycle. We are open to reviewing changes such as this with the awarded GC should it produce additional project cost savings.**
106. Please see the attached operable partition product substitution request submitted by South Eastern Acoustics.
- a. **Refer to revised Specification and attached approved Substitution Request.**
107. Addendum 02.1 makes several references to the parking "barrier arms" being provided and installed by the owner with the rough-in being the responsibility of the GC. Though this remark was made multiple times, spec. section 11 12 00 - Parking Control Equipment was not deleted from the project specs. Please clarify what remaining scope within spec 11 12 00 is the responsibility of the GC.
- a. **Specification will be removed in a forthcoming Addendum. GC will be responsible for conduit rough in, power, and any curbs required by Civil.**
108. If all the GC bids come in over budget, does the city intend to award to the lowest GC bidder and work with the awarded GC to get the project into budget?
- a. **The City of Knoxville intends to work with the lowest bidder to get the project in budget and award the project once an acceptable price is achieved.**

109. The following questions (regarding sheet L100) were submitted to us from a Landscaping sub:

- A note on L100 states, "Prepare all plant beds with planting soil to a minimum depth matching the depth of the rootballs." There are some trees within the beds. Is the depth of soil based on the larger rootball depth of the trees or the shrubs?
- A note on L100 states, "All disturbed areas inside or outside the limit of work line shall receive 4" of topsoil and lawn sod as directed by Landscape Architect." Please clarify that the "disturbed areas" are defined by those areas disturbed by the GC awarded this scope of work and won't include areas disturbed in previous bid packages? For example, if we disturb areas outside the limit of work defined on these documents, we'll be responsible for placing topsoil/sod per this directive. But we will not be responsible for placing topsoil and sod at areas outside of limit of work that have been disturbed by other forces unrelated to this contract, correct?
- a. **For plant beds the depth of soil should be consistent with the plant material, so in a bed with shrubs and trees the soil immediately surrounding the tree should be to the depth indicated in the tree detail (2/L200) the remaining soil depth should be consistent with the shrub detail (6/L200). The same is true regarding shrubs and groundcover.**
- b. **Only areas disturbed by work done under this contract need to be dressed with soil and lawn sod. This includes areas disturbed by the general contractor or other sub-contractors working under this contract.**

110. The following questions were submitted to us from a local Fire Protection company:

- The FP drawings show a note talking about existing system(s) and changing heads to quick response etc. After a site visit earlier this week, all the sprinkler system(s) have been removed. Please clarify.
- **All sprinkler heads will be new. Notes will be updated.**
- Sheet FP101 show using the existing run-ins for the Women's Pavilion. During our site visit we noticed the run-in is in a different location and it has been cut off even with the wall leaving nothing to connect with. This also appears to be the same for the remote F.D.C. Please advise on how to connect?
- **A new 6" building supply line is already shown. A new FDC and fire pump test header will be shown in the next addendum.**
- The drawings show using the existing underground for the new pump in the POB building. After our site visit it appears the demo contractor has cut out a portion of the feed main, heat trace and insulation. I am not sure the heat trace can be spliced back together can you advise how this will be taken care of.
- **New fire protection lines will be shown.**
- The site utility C501 shows a new 6" fire line coming into the existing Central Annex building. It shows an F.D.C. on the hot box. Per NFPA you cannot put an F.D.C. on a supply side of a fire pump.
- **A new FDC and fire pump test header will be shown in the next addendum.**
- Will installation of duct detectors be part of the Ansul Inergen scope of work for room 318, 319 and 327?
- **No additional DSD are required other than what is currently specified**
- An Ansul lithium Ion battery risk prevention system is cited in the spec. For that I need to know quantity of batteries and what racking system will be used for storage.
- **Will be provided with future addendum prior to bid**
- The lithium ion packages rely of different sensors for detection based upon type of Li-Ion battery. SDS sheets are needed to identify and correctly outfit the system. Can you provide the SDS sheets now?
- **Sheets providing a full description of the system will be provided prior to final bid**
- Where will the battery storage be located, will it be partitioned off to create separate space? Can you provide rough dimensions of container?
- **Sheets providing a full description of the system will be provided prior to final bid**
- i. Will a VESDA detection system be required for the Ansul Intergen System?
- a. **Yes.**

111. The following questions (regarding BP3.1) were submitted to us from a local Electrical company:

- On drawing E201 & E220.2 it shows the underground fuel tank for the gensets in areas that could be a problem to install relative to existing subgrade utilities. Has the location of the underground fuel tank locations been coordinated with subgrade conditions?
- **Location has been coordinated among the design team and are the preferred location.**
- Are there any conduits that the electrical will need to install for controls or electrical for the underground fuel tanks? Who installs the control panels?
- **Yes the electrical contractor is responsible for controls and control panel installation.**
- On the riser drawing for the POB the fire pump and the main distribution feeders are shown to be concrete encased in the garage area. Could the panel & pump be relocated for cost savings?

- **Main breaker in 'MSBCA' will be moved to allow the feed from the secondary of the transformer to route directly to the breaker and not route through the building to avoid the concrete encasement required for the length to the electric room. Reference Addendum #03.1 drawings. However, there is no way to avoid concrete encasement for the fire pump.**
 - In lieu of concrete encasement of the dist. feeders references in item c. above, is a CMU enclosure acceptable?
 - **Per NEC 230.6 (2) the conduit would need to be encased in concrete or brick not less than 2 inches thick.**
 - Regarding the horizontal dist. feed run at the elevated parking deck condition, how do you propose we route this through the concrete parking deck?
 - **Route would need to be coordinated with structural engineer and installed per NEC requirements**
 - On drawing E220.2 note #2 calls out that the existing genset in the Clarke building should be sent to "CAT" for recertification. Which genset are they talking about? What should the recertification process include? Is "CAT" the only dealer we can use? Will the cost of recertification be paid by the GC or owner?
 - a. **These are the existing generators in the Clarke Building parking garage. Any certified generator distributor that is prequalified and capable can bid this work. Cost of recertification to be paid for by contractor.**
112. The following question (regarding BP4.1) was submitted to us from a local Electrical Company:
- On the electrical drawing the circuit for the gate is shown to be coming from panel "LEQWP3". Could the circuit come from the existing panel in the parking area?
 - a. **Emergency power is required so circuit should be from LEQWP3 as designed.**
113. The following questions (regarding the Central Annex) were submitted to us from a local Mechanical/Plumbing company:
- The sanitary sewer (P210.1) shows the invert elevation to leave the building at -16.0' Below LL3. Please clarify whether this is coming from the upper elevation of LL3 or the lower mechanical room elevation.
 - **Updated invert elevations will be shown.**
 - We came up with the elevation needed to get the below ground plumbing installed inside the building being -3'+. Would the sanitary drop to the -16' beyond the 5' the plumbing contractor stubs out at?
 - **Updated invert elevations will be shown.**
 - There are several roof drains that are on the overhang off LL2 that are not shown on plumbing drawings. Will these roof drains need to be re-connected to the existing storm drain system?
 - **Yes.**
 - There are several roof drains that are existing. Should all roof drains within this building be replaced from 2' above ground level to existing roof drains? Or do we need to only price what is shown on the drawings? *Note not all existing roof drains are shown on drawings.
 - a. **The existing roof drainage piping that has not already been demoed is in poor condition for CA and POB and WP. Plan on installing new piping, coordinated with the new architectural layout. Our drawings are based on existing drawings and may not include all drains. Field verify.**
114. Alternate 6 on the plumbing drawings P1.11.1 & P211.2 outlines the shell space only however the architectural drawing A111.1 outline a much different layout for alternate 6. Could you please clarify this alternate on the electrical, plumbing & mechanical pages?
- a. **For electrical provide 5 type 'M' lights in the shell space. Two of these type 'M' lights are to be connected to the emergency circuit and three of the lights are to be connected to the normal circuit. Provide exit signs at the egress doors connected to the emergency circuit. Provide electrical connection to the fan powered VAV boxes to panel HMLL2. Provide two speaker/strobe fire alarm devices in the space.**
 - b. **Provide (2) 2000 cfm vav boxes connected to 20x14 duct. Cap duct medium pressure at end of run. No low pressure duct to be connected to VAV boxes. T'stats to be connected to end of VAV box for shell tempering. Medium pressure ductwork shown on documents to be maintained.**
 - c. **For plumbing a 3" cw will be stubbed into the shell space for future connection. A 4" sanitary vent will be stubbed in the ceiling space for future connection. Sanitary sewer lines will be stubbed in the ceiling below the restrooms and breakroom for future connection. Storm lines will be installed through the space as shown.**
 - d. **For Fire Protection Brass upright sprinkler heads will be provided to fully protect the shell space.**
115. Can you please clarify to what extent the deduction is for on alternate 6? Are we to leave this floor completely free of all electrical, plumbing and mechanical rough-ins if not please clarify to what extent you would like the space to be built out as?
- a. **For electrical provide 5 type 'M' lights in the shell space. Two of these type 'M' lights are to be connected to the emergency circuit and three of the lights are to be connected to the normal circuit. Provide exit signs at**

- the egress doors connected to the emergency circuit. Provide electrical connection to the fan powered VAV boxes to panel HMLL2. Provide two speaker/strobe fire alarm devices in the space.
- b. Provide (2) 2000 cfm vav boxes connected to 20x14 duct. Cap duct medium pressure at end of run. No low pressure duct to be connected to VAV boxes. T'stats to be connected to end of VAV box for shell tempering. Medium pressure ductwork shown on documents to be maintained.
 - c. For plumbing a 3" cw will be stubbed into the shell space for future connection. A 4" sanitary vent will be stubbed in the ceiling space for future connection. Sanitary sewer lines will be stubbed in the ceiling below the restrooms and breakroom for future connection. Storm lines will be installed through the space as shown.
 - d. For Fire Protection Brass upright sprinkler heads will be provided to fully protect the shell space.
116. We have the same issues and questions concerning alternate 5. Please advise on how to proceed with pricing this as well?
- a. ICT Response (I need a narrative at what happens when we shell out spaces)! –
 - b. Provide 5 'M' lights in the shell space. Two of these type 'M' lights will be tied to the emergency lighting circuit and the other three lights will be connected to the normal lighting circuit in the shell space. Exit signs shall be provided over the egress doors tied to the emergency lighting circuit. Provide electrical connection to 8 fan powered VAV boxes connected to panel 'HMP6'. Provide 2 additional fire alarm speaker/strobe devices in the expanded shell space.
 - c. Provide (8) 2000 cfm parallel fan powered VAV boxes. Boxes to be connected to medium pressure duct work extended down the middle of the shell space. Cap medium pressure ductwork at 30"x14" medium pressure duct. No low pressure duct to be connected to VAV boxes. T'stats to be connected to end of VAV box for shell tempering. Medium pressure ductwork shown on documents to be maintained.
 - d. For plumbing A 3" cw will be stubbed into the shell space for future connection. 2 - 4" sanitary vents will be stubbed in the ceiling space for future connection; one above break room 638 and one above women's tlt 614. Sanitary sewer lines will be stubbed in the ceiling below the restrooms and breakroom for future connection from fixtures on this floor. Sanitary sewer lines from level 7 will be installed through the space as shown. Storm lines will be installed through the space as shown.
 - e. For Fire Protection Brass upright sprinkler heads will be provided to fully protect the shell space.
117. A901-A924 - Corner Guards - Section 10.26.13- refers to locations used for vinyl and stainless steel corner guards. They are not shown on the plans anywhere, please advise.
- a. As previously answered, please refer to Finish Plan General Notes for corner guard locations and materiality.
118. 10.51.00 – lockers - 2.04A.4 Personnel locker height is listed as 76". Does this overall height include the lockable drawer base?
- a. Yes.
119. 10.51.00 – lockers - 2.04B.5 Please confirm that overall height of multi-tier lockers is 76" regardless of number of tiers.
- a. Correct.
120. The 09.51.00 acoustical ceilings specifications I have a question about ACT-3 And the Suspension System for that Area.
- My other question is does the parking Garage Acoustical Ceiling get Insulation. If so which type R-11, R-19, R-30 ?
- a. Refer to revised 09 51 00 - Acoustical Ceilings Specification
121. Please advise which elevators are operational for construction use, and what elevators are not in operation.
- a. There is one elevator in the POB and one elevator in the Central Annex that have been placed into temporary service. GCs can activate one of the elevators in the Woman's Pavilion if needed for phase 3 construction but it is not currently operating.
122. Please advise what the allowable load per square foot is allowed on the Parking level of the POB P4 for construction logistics/scaffold posts, etc. 43. Regarding the note provided on sheet S124 near Stair 3 (level 5) in the POB, Helical brick ties are specified to attach masonry units to a 6" 18 ga. stud wall. Per the Simpson Helical product spec, these brick ties are designed to attach to a masonry backer, not a framing backer. Please advise what the masonry backer will be where brick needs to be supported to new work.
- a. The allowable load per square foot based on the building code for parking structures is 40 psf or a concentrated load of 3,000 pounds acting on an area of 4.5" x 4.5". The simpson product spec also allows these anchors to attach to metal stud.
123. Please advise if the bunk beds shown on the WP-3rd floor equipment plan (2/A105) are OFOI or CFCI or otherwise.
- a. Bunk beds are not part of this scope and will be provided in FFE package.
124. Please advise if the building can sustain a hanging scaffold from the roof, roof access was unavailable during site walkthrough.

- a. **The roof structure of any of the buildings to remain have not been analyzed for support of a scaffolding system. A scaffolding system shall not be suspended from the roof of any building.**

125. In spec. section 32.33.00 there are Tables identified (2.03). I have been unable to locate any tables on the drawings. Please advise.

- a. **Refer to revised Specification.**

END OF ADDENDUM 03.1.

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**SECTION 01.21.13
ALLOWANCES**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Cash Allowances for Work to be provided and installed by the Contractor. All Allowances shall be included in the Contract Sum on Line 1.01.D.1 of the Bid Form.

1.02 ALLOWANCES SCHEDULE

- A. Provide an allowance of \$1,300,000 for the procurement and placement of backfill described in previously issued Bid Package 02, to be performed by a subcontractor named by the City of Knoxville.
 - 1. Refer to Sheet C000 for additional information.
- B. Provide an allowance of \$100,000 for the completion of building demolition described in previously issued Bid Package 02, to be performed by a subcontractor named by the City of Knoxville.
- C. Provide an allowance of \$500,000 to be used as an Owner's Contingency.
- D. Provide an allowance of \$3,000 for the design, fabrication and installation of a bronze project plaque, to be placed at the main entrance of the building. Refer to Section 10.14.00 – Signage.
- E. Provide an allowance of \$23,000 for the purchase and installation of fuel oil used in testing of emergency generator equipment and to provide a full tank of fuel oil in the emergency generators at the end of the project. Refer to Remark #4 on Sheet M005.
- F. Provide an allowance for 1,000 lineal feet of 6" depth, 14 foot high metal studs to replace existing metal studs damaged during previous demolition. The cost should include top and bottom track with studs spaced 16 o.c. Refer to structural drawings for the appropriate stud gauge.
- G. Provide an allowance for filling 1800 holes, between 2 and 12 inches in diameter, thru existing concrete slabs,. Refer to Section 09.05.61 and Detail 23 on Sheet S220 for additional information.

PART 2 PRODUCTS – NOT USED

PART 3 EXECUTION – NOT USED

END OF SECTION 01.21.13

SECTION 06.41.00
ARCHITECTURAL WOOD CASEWORK

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Specially fabricated cabinet units.
- B. Hardware.
- C. Factory finishing.
- D. Preparation for installing utilities.

1.02 RELATED REQUIREMENTS

- A. Section 01 61 16 - Volatile Organic Compound (VOC) Content Restrictions.
- B. Section 06 10 00 - Rough Carpentry: Support framing, grounds, and concealed blocking.
- C. Section 12 36 00 - Countertops.

1.03 REFERENCE STANDARDS

- A. AWI/AWMAC/WI (AWS) - Architectural Woodwork Standards; 2014.
- B. AWI (QCP) - Quality Certification Program; current edition at www.awiqcp.org.
- C. AWMAC/WI (NAAWS) - North American Architectural Woodwork Standards, U.S. Version 3.0; 2016.
- D. BHMA A156.9 - American National Standard for Cabinet Hardware; 2010.
- E. NEMA LD 3 - High-Pressure Decorative Laminates; 2005.
- F. UL (DIR) - Online Certifications Directory; current listings at database.ul.com.

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Preinstallation Meeting: Convene a preinstallation meeting not less than one week before starting work of this section; require attendance by all affected installers.

1.05 SUBMITTALS

- A. See Section 01.30.00 - Administrative Requirements, for submittal procedures.
- B. Shop Drawings: Indicate materials, component profiles, fastening methods, jointing details, and accessories.
 - 1. Scale of Drawings: 1-1/2 inch to 1 foot, minimum.
 - 2. Provide the information required by AWI/AWMAC/WI (AWS) or AWMAC/WI (NAAWS).
 - 3. Include certification program label.
- C. Product Data: Provide data for hardware accessories.
- D. Samples: Submit actual samples of architectural cabinet construction, minimum 12 inches square, illustrating proposed cabinet and shelf unit substrate and finish.
- E. Samples: Submit actual sample items of proposed pulls, hinges, shelf standards, and locksets, demonstrating hardware design, quality, and finish.

1.06 QUALITY ASSURANCE

- A. Fabricator Qualifications: Company specializing in fabricating the products specified in this section with minimum five years of documented experience.
 - 1. Company with at least one project in the past 5 years with value of woodwork within 20 percent of cost of woodwork for this Project.
 - 2. Accredited participant in the specified certification program prior to the commencement of

fabrication and throughout the duration of the project.

- a. In lieu of accredited personnel, fabricator may provide the following:
 - 1) Location of and client reference information for 3 projects with comparable wood casework components.
 - 2) Construction of a mock-up on the project site of a typical casework component to demonstrate fabricator's understanding of AWI standards. Mock-up may be used in the actual project if accepted by both Owner and Architect.
- B. Quality Certification:
 1. Provide labels or certificates indicating that the installed work complies with AWI/AWMAC/WI (AWS) or AWMAC/WI (NAAWS) requirements for grade or grades specified.
 2. Provide designated labels on shop drawings as required by certification program.
 3. Provide designated labels on installed products as required by certification program.
 4. Submit certifications upon completion of installation that verifies this work is in compliance with specified requirements.
 5. Replace, repair, or rework all work for which certification is refused.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Protect units from moisture damage.

1.08 FIELD CONDITIONS

- A. During and after installation of custom cabinets, maintain temperature and humidity conditions in building spaces at same levels planned for occupancy.

PART 2 PRODUCTS

2.01 CABINETS

- A. Quality Standard: Custom Grade, in accordance with AWI/AWMAC/WI (AWS) or AWMAC/WI (NAAWS), unless noted otherwise.
- B. Plastic Laminate Faced Cabinets: Custom grade.
- C. Cabinets:
 1. Finish - Exposed Exterior Surfaces: Decorative laminate.
 2. Finish - Exposed Interior Surfaces: Decorative laminate.
 3. Finish - Concealed Surfaces: Manufacturer's option.
 4. Door and Drawer Front Edge Profiles: Square edge with thin applied band.
 5. Door and Drawer Front Retention Profiles: Fixed panel.
 6. Casework Construction Type: Type A - Frameless.
 7. Interface Style for Cabinet and Door: Style 1 - Overlay; flush overlay.
 8. Cabinet Design Series: As indicated on drawings.
 9. Adjustable Shelf Loading: 50 lbs. per sq. ft.
 10. Cabinet Style: Flush overlay.
 11. Cabinet Doors and Drawer Fronts: Flush style.
 12. Drawer Side Construction: Doweled.
 13. Drawer Construction Technique: As recommended by fabricator.
- D. Cabinet Materials:
 1. In lieu of plywood, medium density (M-2) industrial particleboard may be used as a substrate material in all locations, except the following:
 - a. As a substrate for any plastic laminate faced countertops.
 - b. As a substrate for any cabinet component in direct contact with the floor.

2.02 WOOD-BASED COMPONENTS

- A. Wood fabricated from old growth timber is not permitted.
- B. Provide sustainably harvested wood, certified or labeled as specified in Section 01.60.00.

- C. Provide wood harvested within a 500 mile radius of the project site.

2.03 LAMINATE MATERIALS

- A. High Pressure Decorative Laminate (HPDL): NEMA LD 3, types as recommended for specific applications.
 - 1. Acceptable manufacturers:
 - a. Wilsonart; www.wilsonart.com
 - b. Arborite; www.arborite.com
 - c. Substitutions: See Section 01.25.00 – Substitution Procedures.
 - 2. Provide at locations indicated on drawings.
- B. Chemical Resistant Decorative Laminate:
 - 1. Acceptable manufacturers:
 - a. Wilsonart Chemsurf Chemical Resistant Laminate; www.wilsonart.com
 - b. Substitutions: See Section 01.25.00 – Substitution Procedures.
 - 2. Provide at locations indicated on drawings.

2.04 COUNTERTOPS

- A. Countertops are specified in Section 12.36.00.

2.05 ACCESSORIES

- A. Adhesive: Type recommended by fabricator to suit application.
- B. Plastic Edge Banding: Extruded PVC, convex shaped; smooth finish; self locking serrated tongue; of width to match component thickness.
- C. Fasteners: Size and type to suit application.
- D. Bolts, Nuts, Washers, Lags, Pins, and Screws: Of size and type to suit application; galvanized or chrome-plated finish in concealed locations and stainless steel or chrome-plated finish in exposed locations.
- E. Concealed Joint Fasteners: Threaded steel.
- F. Grommets: Standard painted metal grommets for cut-outs, in color to match adjacent surface.

2.06 HARDWARE

- A. Hardware: BHMA A156.9, types as recommended by fabricator for quality grade specified.
- B. Adjustable Shelf Supports: Standard side-mounted system using recessed metal shelf standards or multiple holes for pin supports and coordinated self rests, polished chrome finish, for nominal 1 inch spacing adjustments.
- C. Drawer and Door Pulls: Extruded aluminum pull.
 - 1. Product: Contemporary Metal Edge Pull - 9696 manufactured by Richelieu.
 - 2. Finish: Brushed Black.
 - 3. Center to Center: 128 mm.
 - 4. Overall Length: 148 mm.
- D. Drawer Slides:
 - 1. Type: Full extension.
 - 2. Static Load Capacity: Commercial grade.
 - 3. Mounting: Bottom mounted.
 - 4. Stops: Integral type.
 - 5. Features: Provide self closing/stay closed type.
 - 6. Manufacturers:
 - a. Accuride International, Inc: www accuride.com.

- b. Hettich America, LP: www.hettich.com/sle.
 - c. Knappe & Vogt Manufacturing Company: www.knappeandvogt.com.
 - d. Substitutions: See Section 01.25.00 – Substitution Procedures.
- E. Hinges: European style concealed self-closing type, steel with satin finish.
- 1. Manufacturers:
 - a. Grass America Inc: www.grassusa.com.
 - b. Hardware Resources: www.hardwareresources.com.
 - c. Substitutions: See Section 01.25.00 – Substitution Procedures.

2.07 SHOP TREATMENT OF WOOD MATERIALS

- A. Provide UL (DIR) listed and approved identification on fire retardant treated material.
- B. Deliver fire retardant treated materials cut to required sizes. Minimize field cutting.

2.08 FABRICATION

- A. Assembly: Shop assemble cabinets for delivery to site in units easily handled and to permit passage through building openings.
- B. Edging: Fit shelves, doors, and exposed edges with specified edging. Do not use more than one piece for any single length.
- C. Plastic Laminate: Apply plastic laminate finish in full uninterrupted sheets consistent with manufactured sizes. Fit corners and joints hairline; secure with concealed fasteners. Slightly bevel arises. Locate counter butt joints minimum 2 feet from sink cut-outs.
 - 1. Apply laminate backing sheet to reverse side of plastic laminate finished surfaces.
 - 2. Cap exposed plastic laminate finish edges with material of same finish and pattern.
- D. Mechanically fasten back splash to countertops as recommended by laminate manufacturer at 16 inches on center.
- E. Provide cutouts for plumbing fixtures. Verify locations of cutouts from on-site dimensions. Prime paint cut edges.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify adequacy of backing and support framing.
- B. Verify location and sizes of utility rough-in associated with work of this section.

3.02 INSTALLATION

- A. Install work in accordance with AWI/AWMAC/WI (AWS) or AWMAC/WI (NAAWS) requirements for grade indicated.
- B. Set and secure custom cabinets in place, assuring that they are rigid, plumb, and level.
- C. Use fixture attachments in concealed locations for wall mounted components.
- D. Use concealed joint fasteners to align and secure adjoining cabinet units.
- E. Carefully scribe casework abutting other components, with maximum gaps of 1/32 inch. Do not use additional overlay trim for this purpose.
- F. Secure cabinets to floor using appropriate angles and anchorages.
- G. Countersink anchorage devices at exposed locations. Conceal with solid wood plugs of species to match surrounding wood; finish flush with surrounding surfaces.

3.03 ADJUSTING

- A. Test installed work for rigidity and ability to support loads.

- B. Adjust moving or operating parts to function smoothly and correctly.

3.04 CLEANING

- A. Clean casework, counters, shelves, hardware, fittings, and fixtures.

END OF SECTION 06.41.00

07.21.19
FOAMED IN PLACE INSULATION

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Section Includes: Medium density, closed celled, foam insulation.

1.02 RELATED SECTIONS

- A. Section 06.10.00 Rough Carpentry
- B. Section 07.21.00 Thermal Insulation

1.03 REFERENCES

- A. American Society for Testing and Materials International (ASTM)
- B. ASTM C 518: Standard Test Method for Steady-State Thermal Transmission Properties by Means of the Heat Flow Meter Apparatus
- C. ASTM E 84: Test Method for Surface Burning Characteristics of Building Materials
- D. ASTM E 96: Standard Test Methods for Water Vapor Transmission of Materials
- E. ASTM E 2178: Standard Test Method for Air Permeance of Building Materials

1.04 SUBMITTALS

- A. Product Data for each type of insulation product specified.
- B. Product test reports performed by a qualified independent testing agency evidencing compliance of insulation products with specified requirements including those for thermal resistance, fire-test-response characteristics, water-vapor transmission, water absorption, and other properties, based on comprehensive testing of current products.
- C. Evaluation Report: Evidence of compliance of foam-plastic insulations with International Building Code (IBC), International Residential Code (IRC), International Energy Conservation Code (IECC).
- D. Manufacturer's certificate certifying insulation provided meets or exceeds specified requirements.
- E. Installer's certificate showing the manufacturer's installation certification.
- F. Sample warranty

1.05 QUALITY ASSURANCE

- A. Manufacturer's Qualifications: Product produced in an ISO 9001 registered factory.
- B. Single Source Responsibility: Single source product from one manufacturer.
- C. Installer Qualifications: Engage an Licensed Dealer (applicator) who has been trained and certified by manufacturer.
- D. Fire-Test-Response Characteristics: Provide materials specified as determined by testing identical products per test method indicated below by a testing and inspecting agency acceptable to authorities having jurisdiction. Identify materials with appropriate markings of applicable testing and inspecting agency.
 - 1. Surface-Burning Characteristics: ASTM E 84
- E. Toxicity/Hazardous Materials
 - 1. Provide products that contain no urea-formaldehyde
 - 2. Provide products that contain no PBDEs
 - 3. Provide products that are "Low-emitting"

1.06 DELIVERY, STORAGE AND HANDLING

- A. Comply with manufacturers written instructions for handling and protection prior to and during installation.
- B. Store both components in a temperature controlled area between 60 deg F and 85 deg F. Do not allow product to freeze.
- C. Use only those components that are supplied by the Manufacturer.

1.07 PROJECT CONDITIONS

- A. Do not expose to sunlight, except to extent necessary for period of installation and concealment.

1.08 WARRANTY

- A. Manufacturer's standard limited lifetime warranty.

PART 2 PRODUCTS

2.01 MANUFACTURER

- A. Spray Foam Insulation:
 1. Icynene ProSeal HFO, by Icynene Inc, www.
 2. JM Corbond III, by Johns Manville, www.jm.com.
 3. Spraytite SPF Insulation, by BASF Corporation, www.spf.basf.com.
 4. HeatLok XT, by Huntsman Building Solutions; www.huntsmanbuildingsolutions.com.
- B. Substitutions: See Section 01.25.00 – Substitution Procedures.

2.02 MATERIALS

- A. General: Provide insulating materials that comply with requirements and with referenced standards.
- B. Basis of Design: Icynene ProSeal HFO™ Spray Foam Insulation: Medium-density, closed-cell, conforming to the following material performance:
 1. Thermal Resistance (for 1 inch of material) (R-Value/inch @75 deg F): ASTM C 518; 6.2 hr.sq ft.degree F/BTU
 2. Thermal Resistance (for 3.5 inch of material) (R-Value/inch @75 deg F): ASTM C 518; 24 hr.sq ft.degree F/BTU
 3. Air Permeance (for 1 inch of material): ASTM E 2178; less than 0.02 L/s*m2 @75 Pa
 4. Water Vapor Transmission (for 1.4 inches of material): ASTM E 96; 0.95 perm
 5. Resistance to Fungal Growth: ASTM C 1338: no growth
 6. Flame Spread and Smoke Developed Rating: ASTM E 84
 - a. Flame Spread: 15
 - b. Smoke Development: 350

2.03 SOURCE QUALITY CONTROL

- A. Product produced in an ISO 9001 registered factory.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Examine substrates and conditions, under which work is to be performed. Do not proceed until unsatisfactory conditions have been corrected.
- B. Review placement area to determine final location will not be within 3 inches of any heat source where the temperature will exceed 200 deg F per ASTM C 411 or in accordance with authorities having jurisdiction.

3.02 PREPARATION

- A. Clean substrates and cavities of loose materials capable of interfering with insulation placement.

3.03 APPLICATION

- A. Site mix components per manufacturer's written instructions.
- B. Apply insulation to substrates in compliance with manufacturer's written instructions.
- C. Apply insulation to produce thickness required for indicated R Value.
- D. Extend insulation in thickness indicated to envelop entire area to be insulated.
- E. Water-Piping Coordination: If water piping is located within insulated exterior walls, coordinate location of piping to ensure that it is placed on warm side of insulation and insulation encapsulates piping.

3.04 REPAIRS

- A. Any repairs must be effected by an installer approved or licensed by the manufacturer.

3.05 PROTECTION

- A. Protect installed insulation from damage due to harmful weather exposures, physical abuse, and other causes. Provide temporary coverings where insulation is subject to abuse.

END OF SECTION 07.21.19

SECTION 07.25.00
WEATHER BARRIERS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Vapor Retarders: Materials to make exterior walls, joints between exterior walls and roof, and joints around frames of openings in exterior walls water vapor resistant and air tight.
- B. Air Barriers: Materials that form a system to stop passage of air through exterior walls, joints between exterior walls and roof, and joints around frames of openings in exterior walls.

1.02 RELATED REQUIREMENTS

- A. Section 03.30.00 - Cast-in-Place Concrete: Vapor retarder under concrete slabs on grade.
- B. Section 04.20.00 - Unit Masonry: CMU and brick veneer.
- C. Section 05.40.00 - Cold-Formed Metal Framing: Water-resistive barrier under exterior cladding.
- D. Section 06.10.00 - Rough Carpentry: Water-resistive barrier under exterior cladding.
- E. Section 07.21.00 - Thermal Insulation: Vapor retarder installed in conjunction with batt insulation.
- F. Section 07.54.00 - Thermoplastic Membrane Roofing: Vapor retarder installed as part of roofing system.
- G. Section 07.62.00 - Sheet Metal Flashing and Trim: Metal flashings installed in conjunction with weather barriers.
- H. Section 07.92.00 - Joint Sealants: Sealing materials and installation techniques.
- I. Section 09.21.16 - Gypsum Board Assemblies: Water-resistive barrier under exterior cladding.

1.03 DEFINITIONS

- A. Weather Barrier: Assemblies that form either water-resistive barriers, air barriers, or vapor retarders.
- B. Air Barrier: Air tight barrier made of material that is relatively air impermeable but water vapor permeable, both to the degree specified, with sealed seams and with sealed joints to adjacent surfaces. Note: For the purposes of this specification, vapor impermeable air barriers are classified as vapor retarders.
- C. Vapor Retarder: Air tight barrier made of material that is relatively water vapor impermeable, to the degree specified, with sealed seams and with sealed joints to adjacent surfaces.
 - 1. Water Vapor Permeance: For purposes of conversion, $57.2 \text{ ng}/(\text{Pa s sq m}) = 1 \text{ perm}$.
- D. Water-Resistive Barrier: Water-shedding barrier made of material that is moisture resistant, to the degree specified, intended to be installed to shed water without sealed seams.

1.04 REFERENCE STANDARDS

- A. 40 CFR 59, Subpart D - National Volatile Organic Compound Emission Standards for Architectural Coatings; U.S. Environmental Protection Agency; current edition.
- B. AATCC Test Method 30 - Antifungal Activity, Assessment on Textile Materials: Mildew and Rot Resistance of Textile Materials; 2013.
- C. AATCC Test Method 127 - Water Resistance: Hydrostatic Pressure Test; 2014.
- D. ASTM C836 - Standard Specification for High Solids Content, Cold Liquid-Applied Elastomeric Waterproofing Membrane for Use with Separate Wearing Course; 2011.
- E. ASTM D4541 - Standard Test Method for Pull-Off Strength of Coatings Using Portable Adhesion Testers; 2009.
- F. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials; 2015a.
- G. ASTM E96/E96M - Standard Test Methods for Water Vapor Transmission of Materials; 2014.
- H. ASTM E2178 - Standard Test Method for Air Permeance of Building Materials; 2013.

1.05 SUBMITTALS

- A. See Section 01.30.00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data on material characteristics.

- C. Shop Drawings: Provide drawings of special joint conditions.
- D. Manufacturer's Installation Instructions: Indicate preparation.

1.06 FIELD CONDITIONS

- A. Maintain temperature and humidity recommended by the materials manufacturers before, during and after installation.

PART 2 PRODUCTS

2.01 WEATHER BARRIER ASSEMBLIES

- A. Air Barrier:
 - 1. On outside surface of sheathing of exterior walls use air barrier coating.
 - 2. On outside surface of inside wythe of exterior masonry cavity walls use air barrier coating.
 - 3. On outside surface of single wythe masonry and concrete exterior walls use air barrier coating.
- B. Exterior Vapor Retarder:
 - 1. ~~On outside surface of inside wythe of masonry cavity wall use vapor retarder coating.~~

2.02 AIR BARRIER MATERIALS (WATER VAPOR PERMEABLE AND WATER-RESISTIVE)

- A. ~~Air Barrier Sheet, Mechanically Fastened:~~
 - 1. ~~Air Permeance: 0.004 cubic feet per square foot, maximum, when tested in accordance with ASTM E2178.~~
 - 2. ~~Water Vapor Permeance: 5 perms, minimum, when tested in accordance with ASTM E96/E96M Procedure A (desiccant method).~~
 - 3. ~~Water Penetration Resistance: Withstand a water head of 21 inches, minimum, for minimum of 5 hours, when tested in accordance with AATCC 127.~~
 - 4. ~~Ultraviolet and Weathering Resistance: Approved in writing by manufacturer for minimum of 6 months weather exposure.~~
 - 5. ~~Ultraviolet and Weathering Resistance: Approved in writing by manufacturer for minimum of 9 months weather exposure.~~
 - 6. ~~Surface Burning Characteristics: Flame spread index of 25 or less, and smoke developed index of 50 or less, when tested in accordance with ASTM E84.~~
 - 7. ~~Seam and Perimeter Tape: Polyethylene self-adhering type, mesh reinforced, 2 inches wide, compatible with sheet material; unless otherwise specified.~~
 - 8. ~~Products:~~
 - a. ~~DuPont Company; Tyvek CommercialWrap: www.dupont.com.~~
 - b. ~~Fiberweb, Inc; Typar MetroWrap: www.typar.com/#sle.~~
 - c. ~~Kingspan Insulation LLC; GreenGuard MAX Building Wrap: www.trustgreenguard.com.~~
 - d. ~~VaproShield, LLC; WrapShield: www.vaproshield.com.~~
 - e. ~~Substitutions: See Section 01.25.00 – Substitution Procedures.~~
- B. Air Barrier, Fluid Applied: Vapor permeable, elastomeric waterproofing.
 - 1. Material: Silica-fortified rubber.
 - 2. Dry Film Thickness (DFT): 10 mils (0.010 inch), minimum.
 - 3. Air Permeance: 0.001 cubic feet per minute per square foot, maximum, when tested in accordance with ASTM E2178.
 - 4. Water Vapor Permeance: 18 perms, minimum, when tested in accordance with ASTM E96/E96M, Procedure B.
 - 5. Resistance to Fungal Growth: Pass AATCC Test Method 30.
 - 6. Application Temperature: From minus 10 degrees F to 100 degrees F.
 - 7. VOC Content: Less than 600 g/L when tested in accordance with 40 CFR 59 Subpart D (EPA Method 24).
 - 8. Suitable for use on concrete, masonry, plywood and gypsum sheathing.
 - 9. Joint Preparation Treatment: Coating manufacturer's recommended method, either tape or reinforcing mesh saturated with coating material.
 - 10. Joint Tape: As recommended by coating manufacturer and suitable to the substrate.
 - 11. Joint Filler: As recommended by coating manufacturer and suitable to the substrate.

2.03 VAPOR RETARDER MATERIALS (AIR BARRIER AND WATER-RESISTIVE)

- A. Vapor Retarder Coating: Liquid applied, resilient, UV-resistant coating and associated joint treatment.
 - 1. Water Vapor Permeance: 1.0 perm, maximum, when tested in accordance with ASTM E96/E96M.
 - 2. VOC Content: Less than 50 g per L when tested in accordance with 40 CFR 59 Subpart D (EPA Method 24).
 - 3. Film Thickness: 40 mils, minimum.
 - ~~4. Water Vapor Permeance: 0.1 perm, maximum, when tested in accordance with ASTM E 96/E 96M.~~
 - ~~5. Adhesion: Not less than 350 pounds-force per square inch when tested in accordance with ASTM D 4544.~~
 - 6. Resistance to Fungal Growth: Pass AATCC Test Method 30.
 - 7. Application Temperature: From minus 10 degrees F to 100 degrees F.
 - 8. VOC Content: Less than 600 g/L when tested in accordance with 40 CFR 59 Subpart D (EPA Method 24).
 - 9. Suitable for use on concrete, masonry, plywood and gypsum sheathing.
 - 10. Joint Preparation Treatment: Coating manufacturer's recommended method, either tape or reinforcing mesh saturated with coating material.
 - 11. Joint Tape: As recommended by coating manufacturer and suitable to the substrate.
 - 12. Joint Filler: As recommended by coating manufacturer and suitable to the substrate.

2.04 SEALANTS

- A. Sealants as specified in Section 07.92.00 - Joint Sealants
- B. Primers, Cleaners, and Other Sealant Materials: As recommended by sealant manufacturer, appropriate to application, and compatible with adjacent materials.

2.05 ACCESSORIES

- A. Sealants, Tapes, and Accessories for Sealing Weather Barrier and Sealing Weather Barrier to Adjacent Substrates: As specified or as recommended by weather barrier manufacturer.
- B. Liquid Flashing: One part, fast curing, non-sag elastomeric STPU (Silyl-Terminated Polyurethane) gun grade, trowelable liquid flashing.
- C. Self-Adhesive Sheet Flashing: ASTM D 1970.
- D. Thinners and Cleaners: As recommended by material manufacturer.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that surfaces and conditions are ready to accept the work of this section.

3.02 PREPARATION

- A. Remove projections, protruding fasteners, and loose or foreign matter that might interfere with proper installation.

3.03 INSTALLATION

- A. Install materials in accordance with manufacturer's instructions.
- B. Air Barriers: Install continuous air tight barrier over surfaces indicated, with sealed seams and with sealed joints to adjacent surfaces.
- C. Vapor Retarders: Install continuous air tight barrier over surfaces indicated, with sealed seams and with sealed joints to adjacent surfaces.
- D. Mechanically Fastened Sheets - On Exterior:
 - 1. Install sheets shingle-fashion to shed water, with seams generally horizontal.
 - 2. Overlap seams as recommended by manufacturer but at least 6 inches.
 - 3. Overlap at outside and inside corners as recommended by manufacturer but at least 12 inches.
 - 4. For applications specified to be air tight, seal seams, laps, penetrations, tears, and cuts with self-adhesive tape; use only large-headed, gasketed fasteners recommended by the manufacturer.
 - 5. Install air barrier and vapor retarder UNDER jamb flashings.
 - 6. Install head flashings under weather barrier.

7. At openings to be filled with frames having nailing flanges, wrap excess sheet into opening; at head, seal sheet over flange and flashing.
- E. Mechanically Fastened Sheets - Vapor Retarder On Interior:
1. When insulation is to be installed in assembly, install vapor retarder over insulation.
 2. Anchor to metal framing using seam tape, adhering at least one-half of tape width to substrate.
 3. Seal seams, laps, perimeter edges, penetrations, tears, and cuts with self-adhesive tape, making air tight seal.
 4. Locate laps at a framing member; at laps fasten one sheet to framing member then tape overlapping sheet to first sheet.
 5. Seal entire perimeter to structure, window and door frames, and other penetrations.
 6. Where conduit, pipes, wires, ducts, outlet boxes, and other items are installed in insulation cavity, pass vapor retarder sheet behind item but over insulation and maintain air tight seal.
- F. Coatings:
1. Prepare substrate in manner recommended by coating manufacturer; treat joints in substrate and between dissimilar materials as recommended by manufacturer.
 2. Where exterior masonry veneer is to be installed, install masonry anchors before installing weather barrier over masonry; seal around anchors air tight.
 3. Use flashing to seal to adjacent construction and to bridge joints.
 4. Sprayed Coating: Install to thickness recommended by manufacturer.
 5. Use self-adhesive sheet flashing to seal to adjacent construction and to bridge joints.
- G. Openings and Penetrations in Exterior Weather Barriers:
1. Install flashing over sills, covering entire sill frame member, extending at least 5 inches onto weather barrier and at least 6 inches up jambs; mechanically fasten stretched edges.
 2. At openings to be filled with frames having nailing flanges, seal head and jamb flanges using a continuous bead of sealant compressed by flange and cover flanges with at least 4 inches wide; do not seal sill flange.
 3. At openings to be filled with non-flanged frames, seal weather barrier to all sides of opening framing, using flashing at least 9 inches wide, covering entire depth of framing.
 4. At head of openings, install flashing under weather barrier extending at least 2 inches beyond face of jambs; seal weather barrier to flashing.
 5. At interior face of openings, seal gap between window/door frame and rough framing, using joint sealant over backer rod.
 6. Service and Other Penetrations: Form flashing around penetrating item and seal to weather barrier surface.

3.04 FIELD QUALITY CONTROL

- A. Do not cover installed weather barriers until required inspections have been completed.
- B. Obtain approval of installation procedures by the weather barrier manufacturer based on a mock-up installed in place, prior to proceeding with remainder of installation.
- C. Take digital photographs of each portion of the installation prior to covering up.

3.05 PROTECTION

- A. Do not leave materials exposed to weather longer than recommended by manufacturer.

END OF SECTION 07.25.00

**SECTION 07.81.00
APPLIED FIREPROOFING**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Fireproofing of interior structural steel not exposed to damage or moisture.
- B. Fireproofing of existing interior structural steel.

1.02 RELATED REQUIREMENTS

- A. Section 05 12 00 - Structural Steel Framing.
- B. Section 05 21 00 - Steel Joist Framing.
- C. Section 05 31 00 - Steel Decking.
- D. Section 07 05 53 - Fire and Smoke Assembly Identification.
- E. Section 07 84 00 - Firestopping.

1.03 REFERENCE STANDARDS

- A. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials; 2016.
- B. ASTM E736/E736M - Standard Test Method for Cohesion/Adhesion of Sprayed Fire-Resistive Materials Applied to Structural Members; 2000 (2015)e1.
- C. ASTM E759/E759M - Standard Test Method for Effect of Deflection on Sprayed Fire-Resistive Material Applied to Structural Members; 1992 (Reapproved 2015).
- D. ASTM E760/E760M - Standard Test Method for Effect of Impact on Bonding of Sprayed Fire-Resistive Material Applied to Structural Members; 1992, with Editorial Revision (2015).
- E. ASTM E937/E937M - Standard Test Method for Corrosion of Steel by Sprayed Fire-Resistive Material (SFRM) Applied to Structural Members; 1993 (Reapproved 2015).

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Coordinate with placement of ceiling hanger tabs, mechanical component hangers, and electrical components.
- B. Preinstallation Meeting: Convene one week before starting work of this section.

1.05 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittals procedures.
- B. Product Data: Provide data indicating product characteristics.
- C. Manufacturer's Certificate: Certify that applied fireproofing products meet or exceed requirements of contract documents.
- D. Test Reports: Reports from reputable independent testing agencies for proposed products, indicating compliance with specified criteria, conducted under conditions similar to those on project, as follows:
 - 1. Bond strength.
 - 2. Bond impact.
 - 3. Compressive strength.
 - 4. Fire tests using substrate materials similar those on project.
- E. Manufacturer's Installation Instructions: Indicate special procedures.
- F. Field Quality Control Submittals: Submit field test report.
- G. Manufacturer's Certificate: Certify that sprayed-on fireproofing products meet or exceed requirements of contract documents.
- H. Manufacturer's Qualification Statement.
- I. Installer's Qualification Statement.

1.06 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than three years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of the type specified in this section.

1.07 MOCK-UP

- A. Construct mock-up, 50 square feet in size.
- B. Comply with project requirements for fire ratings.
- C. Locate where directed.
- D. Examine installation within one hour of application to determine variances from specified requirements due to shrinkage, temperature, and humidity.
- E. Where shrinkage and cracking are evident, adjust mixture and method of application as necessary; remove materials and re-construct mock-up.
- F. Mock-up may remain as part of the Work.

1.08 FIELD CONDITIONS

- A. Do not apply fireproofing when temperature of substrate material and surrounding air is below 40 degrees F or when temperature is predicted to be below said temperature for 24 hours after application.
- B. Provide ventilation in areas to receive fireproofing during application and 24 hours afterward, to dry applied material.
- C. Provide temporary enclosure to prevent spray from contaminating air.
- D. Do not allow roof traffic during installation of roof fireproofing and drying period.
- E. Existing Building Conditions:
 - ~~1. Contractor shall examine the existing buildings to assess the integrity of the fireproofing in place. Any areas that do not have the required level of fireproofing shall be resprayed to bring the resulting fireproofing thickness up to code.~~
 - ~~a. In particular, areas that have sustained demolition of ceiling mounted mechanical equipment, ductwork and chases are prone to have sustained some accidental removal of fireproofing during the demolition process.~~
 - 1. All areas in the existing buildings with existing spray applied fireproofing shall be resprayed to assure code compliance of the fireproofed assemblies.

1.09 WARRANTY

- A. See Section 01 78 00 - Closeout Submittals, for additional warranty requirements.
- B. Correct defective Work within a two year period after Date of Substantial Completion.
 - 1. Include coverage for fireproofing to remain free from cracking, checking, dusting, flaking, spalling, separation, and blistering.
 - 2. Reinstall or repair failures that occur within warranty period.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Applied Fireproofing:
 - 1. Carboline Company: www.carboline.com.
 - 2. GCP Applied Technologies: www.gcpat.com/#sle.
 - 3. Southwest Fireproofing Products Company: www.sfrm.com/#sle.
 - 4. Substitutions: See Section 01.25.00 – Substitution Procedures.

2.02 FIREPROOFING ASSEMBLIES

- A. Provide fire-rated assemblies as indicated on Drawings, or as noted below.
 - 1. Columns: 2 hours.
 - 2. Floor assemblies: 2 hours.
 - 3. Roof Assemblies: 1 hour.

2.03 MATERIALS

- A. Applied Fireproofing Material for Interior Applications, Concealed: Manufacturer's standard factory mixed material, which when combined with water is capable of providing indicated fire resistance, and complying with following requirements:
 - 1. Composition: Gypsum-based; not mineral-fiber-based.
 - 2. Bond Strength: 150 pounds per square foot, minimum, when tested in accordance with ASTM E736/E736M when set and dry.
 - 3. Dry Density: As required by fire resistance design.
 - 4. Compressive Strength: 8.33 pounds per square inch, minimum.
 - 5. Effect of Impact on Bonding: No cracking, spalling or delamination, when tested in accordance with ASTM E760/E760M.
 - 6. Corrosivity: No evidence of corrosion, when tested in accordance with ASTM E937/E937M.
 - 7. Surface Burning Characteristics: Maximum flame spread index of 0 (zero) and maximum smoke developed index of 0 (zero), when tested in accordance with ASTM E84.
 - 8. Effect of Deflection: No cracking, spalling, or delamination, when tested in accordance with ASTM E759/E759M.

2.04 ACCESSORIES

- A. Primer Adhesive: Of type recommended by applied fireproofing manufacturer.
- B. Metal Lath: Expanded metal lath as required by UL; minimum 1.7 pounds per square foot, galvanized finish.
- C. Water: Clean, potable.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that surfaces are ready to receive fireproofing.
- B. Verify that clips, hangers, supports, sleeves, and other items required to penetrate fireproofing are in place.
- C. Verify that ducts, piping, equipment, or other items that would interfere with application of fireproofing have not been installed.
- D. Verify that voids and cracks in substrate have been filled.
- E. Verify that projections have been removed where fireproofing will be exposed to view as a finish material.

3.02 PREPARATION

- A. Perform tests as recommended by fireproofing manufacturer in applications where adhesion of fireproofing to substrate is in question.
- B. Remove incompatible materials that could effect bond by scraping, brushing, scrubbing, or sandblasting.
- C. Prepare substrates to receive fireproofing in strict accordance with instructions of fireproofing manufacturer.
- D. Apply fireproofing manufacturer's recommended bonding agent on primed steel.
- E. Protect surfaces not scheduled for fireproofing and equipment from damage by overspray, fall-out, and dusting.
- F. Close off and seal duct work in areas where fireproofing is being applied.

3.03 APPLICATION

- A. Install metal lath over structural members as indicated or as required by UL Assembly Design Numbers.
- B. Apply primer adhesive in accordance with manufacturer's instructions.
- C. Apply fireproofing in uniform thickness and density as necessary to achieve required ratings.

3.04 FIELD QUALITY CONTROL

- A. Perform field inspection and testing in accordance with Section 01.40.00 - Quality Requirements.
- B. Inspect installed fireproofing after application and curing for integrity, prior to its concealment.
 - 1. Submit field test reports promptly to Contractor and Architect.

- C. Ensure that actual thicknesses, densities, and bond strengths meet requirements for specified ratings and requirements of authorities having jurisdiction (AHJ).
- D. Repair or replace applied fireproofing at locations where test results indicate fireproofing does not meet specified requirements.
- E. Re-inspect installed fireproofing for integrity of fire protection, after installation of subsequent Work.

3.05 CLEANING

- A. Remove excess material, overspray, droppings, and debris.
- B. Remove fireproofing from materials and surfaces not required to be fireproofed.

END OF SECTION 07.81.00

SECTION 09.05.61
COMMON WORK RESULTS FOR FLOOR PREPARATION

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. This section applies to floors identified in contract documents that are receiving the following types of floor coverings:
 - 1. Resilient tile and sheet.
 - 2. Carpet tile.
 - 3. Thin-set ceramic tile and stone tile.
- B. Removal of existing floor coverings.
- C. Preparation of new concrete floor slabs for installation of floor coverings.
- D. Testing of concrete floor slabs for moisture and alkalinity (pH).
- E. Remediation of concrete floor slabs due to unsatisfactory moisture or alkalinity (pH) conditions.
 - 1. Contractor shall perform all specified remediation of concrete floor slabs. If such remediation is indicated by testing agency's report and is due to a condition not under Contractor's control or could not have been predicted by examination prior to entering into the contract, a contract modification will be issued.
- F. Patching compound.
- G. Patching of existing concrete floor slabs damaged during previous demolition activity.

1.02 RELATED REQUIREMENTS

- A. Section 01.74.19 - Construction Waste Management and Disposal: Handling of existing floor coverings removed.
- B. Section 03.30.00 - Cast-in-Place Concrete: Moisture emission reducing curing and sealing compound for slabs to receive adhered flooring, to prevent moisture content-related flooring failures; to remain in place, not to be removed.
- C. Section 03.30.00 - Cast-in-Place Concrete: Concrete admixture for slabs to receive adhered flooring, to prevent moisture content-related flooring failures.
- D. Section 03.30.00 - Cast-in-Place Concrete: Limitations on curing requirements for new concrete floor slabs.

1.03 REFERENCE STANDARDS

- A. ASTM C109/C109M - Standard Test Method for Compressive Strength of Hydraulic Cement Mortars (Using 2-in. or (50-mm) Cube Specimens); 2016a.
- B. ASTM C472 - Standard Test Methods for Physical Testing of Gypsum, Gypsum Plasters and Gypsum Concrete; 1999 (Reapproved 2014).
- C. ASTM F710 - Standard Practice for Preparing Concrete Floors to Receive Resilient Flooring; 2011.
- D. ASTM F1869 - Standard Test Method for Measuring Moisture Vapor Emission Rate of Concrete Subfloor Using Anhydrous Calcium Chloride; 2011.
- E. ASTM F2170 - Standard Test Method for Determining Relative Humidity in Concrete Floor Slabs Using in situ Probes; 2011.
- F. RFCI (RWP) - Recommended Work Practices for Removal of Resilient Floor Coverings; Resilient Floor Covering Institute; October 2011.

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Coordinate scheduling of cleaning and testing, so that preliminary cleaning has been completed for

at least 24 hours prior to testing.

1.05 SUBMITTALS

- A. Visual Observation Report: For existing floor coverings to be removed.
- B. Floor Covering and Adhesive Manufacturers' Product Literature: For each specific combination of substrate, floor covering, and adhesive to be used; showing:
 - 1. Moisture and alkalinity (pH) limits and test methods.
 - 2. Manufacturer's required bond/compatibility test procedure.
- C. Testing Agency's Report:
 - 1. Description of areas tested; include floor plans and photographs if helpful.
 - 2. Summary of conditions encountered.
 - 3. Moisture and alkalinity (pH) test reports.
 - 4. Copies of specified test methods.
 - 5. Recommendations for remediation of unsatisfactory surfaces.
 - 6. Include certification of accuracy by authorized official of testing agency.
 - 7. Submit report to Architect.
 - 8. Submit report not more than two business days after conclusion of testing.
- D. Adhesive Bond and Compatibility Test Report.
- E. Copy of RFCI (RWP).
- F. Remedial Materials Product Data: Manufacturer's published data on each product to be used for remediation.

1.06 QUALITY ASSURANCE

- A. Moisture and alkalinity (pH) testing shall be performed by an independent testing agency employed and paid by Contractor.
- B. Testing Agency Qualifications: Independent testing agency experienced in the types of testing specified.
 - 1. Submit evidence of experience consisting of at least 3 test reports of the type required, with project Owner's project contact information.
- C. Contractor's Responsibility Relating to Independent Agency Testing:
 - 1. Provide access for and cooperate with testing agency.
 - 2. Confirm date of start of testing at least 10 days prior to actual start.
 - 3. Allow at least 4 business days on site for testing agency activities.
 - 4. Achieve and maintain specified ambient conditions.
 - 5. Notify Architect when specified ambient conditions have been achieved and when testing will start.
- D. Remedial Coating Installer Qualifications: Company specializing in performing work of the type specified in this section, trained by or employed by coating manufacturer, and able to provide at least 3 project references showing at least 3 years' experience installing moisture emission coatings.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Deliver, store, handle, and protect products in accordance with manufacturer's instructions and recommendations.
- B. Deliver materials in manufacturer's packaging; include installation instructions.
- C. Keep materials from freezing.

1.08 FIELD CONDITIONS

- A. Maintain ambient temperature in spaces where concrete testing is being performed, and for at least 48 hours prior to testing, at not less than 65 degrees F or more than 85 degrees F.

- B. Maintain relative humidity in spaces where concrete testing is being performed, and for at least 48 hours prior to testing, at not less than 40 percent and not more than 60 percent.

1.09 PATCHING OF EXISTING CONCRETE FLOOR SLABS

- A. Contractor shall repair existing concrete floor slabs damaged from previous demolition activities.
1. In particular, concrete in limited areas on the first floor of the Women's Pavilion and the fourth floor of the Professional Office Building was damaged in the removal of ceramic tile flooring.
- B. Refer to Section 01.21.13 – Allowances for quantity of small holes thru slabs to be infilled.
1. Refer to Detail 23 on Drawing S220 for instructions on patching.
- C. Refer to Structural drawings for locations of larger slab openings to be repaired.
1. Refer to Detail 22 on Drawing S220 for instructions on repair.

PART 2 PRODUCTS

2.01 MATERIALS

- A. Patching Compound: Floor covering manufacturer's recommended product, suitable for conditions, and compatible with adhesive and floor covering. In the absence of any recommendation from flooring manufacturer, provide a product with the following characteristics:
1. Cementitious moisture-, mildew-, and alkali-resistant compound, compatible with floor, floor covering, and floor covering adhesive, and capable of being feathered to nothing at edges.
 2. Compressive Strength: 3000 psi, minimum, after 28 days, when tested in accordance with ASTM C109/C109M or ASTM C472, whichever is appropriate.
 3. Products:
 - a. ARDEX Engineered Cements; ARDEX Feather Finish: www.ardexamericas.com/#sle.
 - b. Watco Industrial Flooring; Flowpatch; www.watcofloors.com.
 - c. Sakrete; Flo-Coat Concrete Resurfacer; www.sakrete.com
 - d. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Alternate Flooring Adhesive: Floor covering manufacturer's recommended product, suitable for the moisture and pH conditions present; low-VOC. In the absence of any recommendation from flooring manufacturer, provide a product recommended by adhesive manufacturer as suitable for substrate and floor covering and for conditions present.

PART 3 EXECUTION

3.01 CONCRETE SLAB PREPARATION

- A. Perform following operations in the order indicated:
1. Existing concrete slabs (on-grade and elevated) with existing floor coverings:
 - a. Visual observation of existing floor covering, for adhesion, water damage, alkaline deposits, and other defects.
 - b. Removal of existing floor covering.
 2. Preliminary cleaning.
 3. Moisture vapor emission tests; 3 tests in the first 1000 square feet and one test in each additional 1000 square feet, unless otherwise indicated or required by flooring manufacturer.
 4. Internal relative humidity tests; in same locations as moisture vapor emission tests, unless otherwise indicated.
 5. Alkalinity (pH) tests; in same locations as moisture vapor emission tests, unless otherwise indicated.
 6. Specified remediation, if required.
 7. Patching, smoothing, and leveling, as required to provide an acceptable surface for the installation of new flooring materials.
 8. Other preparation specified.
 9. Adhesive bond and compatibility test.
 10. Protection.

- B. Remediations:
1. Active Water Leaks or Continuing Moisture Migration to Surface of Slab: Correct this condition before doing any other remediation; re-test after correction.
 2. Excessive Moisture Emission or Relative Humidity: If an adhesive that is resistant to the level of moisture present is available and acceptable to flooring manufacturer, use that adhesive for installation of the flooring; if not, apply remedial floor coating or remedial sheet membrane over entire suspect floor area.
 3. Excessive Alkalinity (pH): If remedial floor coating is necessary to address excessive moisture, no additional remediation is required; if not, if an adhesive that is resistant to the level present is available and acceptable to the flooring manufacturer, use that adhesive for installation of the flooring; otherwise, apply a skim coat of specified patching compound over entire suspect floor area.

3.02 REMOVAL OF EXISTING FLOOR COVERINGS

- A. Comply with local, State, and federal regulations and recommendations of RFCI Recommended Work Practices for Removal of Resilient Floor Coverings, as applicable to floor covering being removed.
- B. Dispose of removed materials in accordance with local, State, and federal regulations and as specified.

3.03 PRELIMINARY CLEANING

- A. Clean floors of dust, solvents, paint, wax, oil, grease, asphalt, residual adhesive, adhesive removers, film-forming curing compounds, sealing compounds, alkaline salts, excessive laitance, mold, mildew, and other materials that might prevent adhesive bond.
- B. Do not use solvents or other chemicals for cleaning.

3.04 MOISTURE VAPOR EMISSION TESTING

- A. Where the floor covering manufacturer's requirements conflict with either the referenced test method or this specification, comply with the manufacturer's requirements.
- B. Where this specification conflicts with the referenced test method, comply with the requirements of this section.
- C. Test in accordance with ASTM F1869 and as follows.
- D. Plastic sheet test and mat bond test may not be substituted for the specified ASTM test method, as those methods do not quantify the moisture content sufficiently.
- E. In the event that test values exceed floor covering manufacturer's limits, perform remediation as indicated. In the absence of manufacturer limits, perform remediation if test values exceed 3 pounds per 1000 square feet per 24 hours.
- F. Report: Report the information required by the test method.

3.05 INTERNAL RELATIVE HUMIDITY TESTING

- A. Where the floor covering manufacturer's requirements conflict with either the referenced test method or this specification, comply with the manufacturer's requirements.
- B. Where this specification conflicts with the referenced test method, comply with the requirements of this section.
- C. Test in accordance with ASTM F2170 Procedure A and as follows.
- D. Testing with electrical impedance or resistance apparatus may not be substituted for the specified ASTM test method, as the values determined are not comparable to the ASTM test values and do not quantify the moisture content sufficiently.
- E. In the event that test values exceed floor covering manufacturer's limits, perform remediation as indicated. In the absence of manufacturer limits, perform remediation if any test value exceeds 75 percent relative humidity.
- F. Report: Report the information required by the test method.

3.06 ALKALINITY TESTING

- A. Where the floor covering manufacturer's requirements conflict with either the referenced test method or this specification, comply with the manufacturer's requirements.
- B. The following procedure is the equivalent of that described in ASTM F710, repeated here for the Contractor's convenience.
- C. Use a wide range alkalinity (pH) test paper, its associated chart, and distilled or deionized water.
- D. Place several drops of water on a clean surface of concrete, forming a puddle approximately 1 inch in diameter. Allow the puddle to set for approximately 60 seconds, then dip the alkalinity (pH) test paper into the water, remove it, and compare immediately to chart to determine alkalinity (pH) reading.
- E. In the event that test values exceed floor covering manufacturer's limits, perform remediation as indicated. In the absence of manufacturer limits, perform remediation if alkalinity (pH) test value is over 10.

3.07 PREPARATION

- A. See individual floor covering section(s) for additional requirements.
- B. Comply with recommendations of testing agency.
- C. Comply with requirements and recommendations of floor covering manufacturer.
- D. Fill and smooth surface cracks, grooves, depressions, control joints and other non-moving joints, and other irregularities with patching compound.
- E. Do not fill expansion joints, isolation joints, or other moving joints.

3.08 ADHESIVE BOND AND COMPATIBILITY TESTING

- A. Comply with requirements and recommendations of floor covering manufacturer.

3.09 PROTECTION

- A. Cover prepared floors with building paper or other durable covering.

END OF SECTION 09.05.61

SECTION 09.51.00
SUSPENDED ACOUSTICAL CEILINGS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Suspended metal grid ceiling system.
- B. Acoustical units.

1.02 RELATED REQUIREMENTS

- A. Section 01.61.16 - Volatile Organic Compound (VOC) Content Restrictions.
- B. Section 08.31.00 - Access Doors and Panels: Access panels.
- C. Section 21.13.13 - Fire Suppression Sprinklers: Sprinkler heads in ceiling system.
- D. Section 26.51.00 - Interior Lighting: Light fixtures in ceiling system.
- E. Section 07.21.00 – Thermal Insulation: Batt insulation above ACT 3.

1.03 REFERENCE STANDARDS

- A. ASTM A641 – Specification for Steel Sheet, Zinc-Coated (galvanized) Carbon Steel Wire
- B. ASTM A653 – Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galv-annealed) by the Hot-Dip Process
- C. ASTM C423 – Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method
- D. ASTM C635 – Standard Specification for Metal Suspension Systems for Acoustic Tile and Lay-in Panel Ceilings
- E. ASTM C636 – Recommended Practice for Installation of Metal Ceiling Suspension Systems for Acoustical Tile and Lay-in Panel Ceilings
- F. ASTM E84 – Test Method for Surface Burning Characteristics of Building Materials
- G. ASTM E119 – Fire Test of Building Construction and Materials
- H. ASTM E580 – Practice for Application of Ceiling Suspension Systems for Acoustic Tile and Lay-in Panels in Areas Requiring Seismic Restraint
- I. ASTM E795 – Practice for Mounting Test Specimens During Sound Absorption Tests
- J. ASTM E1111 – Test Method for Measuring Interzone Attenuation of Ceiling Systems
- K. ASTM E1264 – Classification for Acoustic Ceiling Products
- L. ASTM E1414 – Test Method for Airborne Sound Attenuation Between Rooms Sharing a Common Ceiling Plenum
- M. ASTM E1477 – Standard Test Method for Luminous Reflectance Factor of Acoustical Materials by Use of Integrating Sphere Reflectometer
- N. CAN/ULC-S102 – Method of Test for Surface Burning Characteristics of Building Materials and Assemblies
- O. ISO 4611 – Plastic – Determination of the Effects of Exposure to Damp, Heat, Water Spray and Salt Mist
- P. ISO 14644 – Classification of Air Cleanliness
- Q. Cisca (Ceilings & Interior Systems Construction Association) – Ceilings Systems Handbook
- R. Cisca (Ceilings & Interior Systems Construction Association) – Acoustical Ceilings – Use and Practice
- S. Cisca (Ceilings & Interior Systems Construction Association) – Guidelines For Seismic Restraint Direct Hung Suspended Ceiling Assemblies

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Sequence work to ensure acoustical ceilings are not installed until building is enclosed, sufficient heat is provided, dust generating activities have terminated, and overhead work is completed, tested, and approved.
- B. Do not install acoustical units until after interior wet work is dry.

1.05 SUBMITTALS

- A. See Section 01.30.00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data on suspension system components.
- C. Samples: Submit two samples 6 by 6 inch in size illustrating material and finish of acoustical units.
- D. Samples: Submit two samples each, 6 inches long, of suspension system main runner.
- E. Manufacturer's Installation Instructions: Indicate special procedures.
- F. Maintenance Materials: Furnish the following for Owner's use in maintenance of project.
 - 1. See Section 01.60.00 - Product Requirements, for additional provisions.

1.06 MAINTENANCE MATERIAL (ATTIC STOCK)

- A. Furnish extra materials, from the same product run and lot that match products installed. Ceiling tile should be in its original packaging with protective covering for storage and identified with labels describing contents.
 - 1. Acoustical Ceiling Tile: Full-size units equal to 5 percent of amount installed for each type indicated. Attic stock shall be provided for each tile type.

1.07 QUALITY ASSURANCE

- A. Fire-Resistive Assemblies: Complete assembly listed and classified by UL (FRD) for the fire resistance indicated.
- B. Suspension System Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum three years documented experience.
- C. Acoustical Unit Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum three years documented experience.

1.08 FIELD CONDITIONS

- A. Maintain uniform temperature of minimum 60 degrees F, and maximum humidity of 40 percent prior to, during, and after acoustical unit installation.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Acoustic Panels:
 - 1. Armstrong World Industries, Inc: www.armstrong.com.
 - 2. CertainTeed Corporation.
 - 2. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Suspension Systems:
 - 1. Same as for acoustical units.
 - 2. Substitutions: See Section 01.25.00 – Substitution Procedures.

2.02 ACOUSTICAL UNITS

- A. Acoustical Tile – ACT 1: Mineral fiber, ASTM E1264 Type IV, with the following characteristics:
 - 1. Size: 24 by 24 inches.
 - 2. Thickness: 5/8 inch.
 - 3. Composition: Mineral fiber with acoustically transparent membrane.
 - 4. Light Reflectance: 0.80 percent, determined in accordance with ASTM E1264.
 - 5. NRC Range: 0.60, determined in accordance with ASTM E1264.
 - 6. Ceiling Attenuation Class (CAC): 35, determined in accordance with ASTM E1264.
 - 7. Edge: Beveled Tegular.
 - 8. Surface Color: White.
 - 9. Surface Pattern: Smooth
 - 10. Products:
 - a. Armstrong Canyon 1494, 9/16" grid.

- b. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Acoustical Tile – ACT 2: Mineral fiber, ASTM E1264 Type IV, with the following characteristics:
1. Size: 24 by 24 inches.
 2. Thickness: 5/8 inches.
 3. Composition: Wet formed mineral fiber.
 4. Light Reflectance: 0.82 percent, determined in accordance with ASTM E1264.
 5. NRC Range: 0.55, determined in accordance with ASTM E1264.
 6. Ceiling Attenuation Class (CAC): 35, determined in accordance with ASTM E1264.
 7. Edge: Angled Tegular
 8. Surface Color: White.
 9. Surface Pattern: Medium texture.
 10. Products:
 - a. Armstrong Fine Fissured 1717, 15/16" grid.
 - b. Substitutions: See Section 01.25.00 – Substitution Procedures.
- C. Acoustical Tile – Exterior Application – ACT 3: ASTM E1264 Type XX, Class A. Anti-Mold & Mildew. Sag Resistant.
1. Material Content: Wet-formed ceramic and mineral fiber or moisture resistant, fiberglass reinforced gypsum.
 2. Surface Finish: Factory applied vinyl latex paint or CRF vinyl.
 3. Fire Performance: ASTM E84, Flame Spread 25 or less and Smoke Developed Index 50 or less.
 4. VOC Content: As specified in Section 01.61.16.
 5. Size: 24 by 24 inches.
 6. Edge: Square Lay In
 4. Surface Color: White.
 5. Suspension System: 15/16" exposed grid.
 6. Products:
 - a. Armstrong Ceiling and Wall Solutions, "Ceramaguard" Fine Fissured.
 - b. CertainTeed Corporation, "Aquarock"
 - c. Substitutions: See Section 01.25.00 – Substitution Procedures.
- D. Acoustical Tile – ACT 4: Vinyl latex painted fiberglass, ASTM Type XII, Form 2, Pattern E, with the following characteristics:
1. Size: 44 by 48 inches.
 2. Thickness: 1 3/4 inch.
 3. Light Reflectance: 0.88 percent, determined in accordance with ASTM E1264.
 4. NRC Range: 0.85 to 0.95, determined in accordance with ASTM E1264.
 5. Articulation Class (AC): 190, determined in accordance with ASTM E1264.
 6. Ceiling Attenuation Class (CAC): 35, determined in accordance with ASTM E1264.
 7. Edge: Square Tegular.
 8. Surface Color: White.
 9. Surface Pattern: Factory applied vinyl latex paint on woven, glass cloth scrim..
 10. Products:
 - a. Armstrong Lyra PB 8463PB, 9/16" grid.
 - b. Substitutions: See Section 01.25.00 – Substitution Procedures.
- E. Acoustical Tile – ACT 5: Mineral fiber, ASTM E1264 Type IV, with the following characteristics:
1. Size: 24 by 24 inches.
 2. Thickness: 7/8 inch.
 3. Composition: Wet formed mineral fiber with acoustically transparent membrane
 4. Light Reflectance: 0.88 percent, determined in accordance with ASTM E1264.
 5. NRC Range: 0.80, determined in accordance with ASTM E1264.
 6. Ceiling Attenuation Class (CAC): 35, determined in accordance with ASTM E1264.
 7. Edge: Beveled Tegular.
 8. Surface Color: White.
 9. Surface Pattern: Fine Textured.
 10. Products:

- a. Armstrong Ultima High NRC 1942, 9/16" grid.
- b. Substitutions: See Section 01.25.00 – Substitution Procedures.

2.03 SUSPENSION SYSTEM(S)

- A. Suspension Systems - General: Complying with ASTM C635/C635M; die cut and interlocking components, with stabilizer bars, clips, splices, perimeter moldings, and hold down clips as required.
 1. Suspension system and accessories must meet seismic requirements required by the City of Knoxville.

2.04 ACCESSORIES

- A. Support Channels and Hangers: Galvanized steel; size and type to suit application, seismic requirements, and ceiling system flatness requirement specified.
- B. Perimeter Moldings: Same material and finish as grid.
 1. At Exposed Grid: Provide L-shaped molding for mounting at same elevation as face of grid.
 2. At transition of drywall to ACT: Provide Armstrong #7902 15/16" Shadow reveal transition moulding.
- C. Acoustical Sealant For Perimeter Moldings: Specified in Section 07.90.05.
- D. Gasket For Perimeter Moldings: Closed cell rubber sponge tape.
- E. Touch-up Paint: Type and color to match acoustical and grid units.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify existing conditions before starting work.
- B. Verify that layout of hangers will not interfere with other work.

3.02 INSTALLATION - SUSPENSION SYSTEM

- A. Install suspension system in accordance with ASTM C636/C636M, ASTM E580/E580M, and manufacturer's instructions and as supplemented in this section.
- B. Rigidly secure system, including integral mechanical and electrical components, for maximum deflection of 1:360.
 1. Suspension system for ACT 3 shall be support an additional R-30 loose laid batt insulation blanket placed on top of the acoustical units and suspension system.
- C. Lay out system to a balanced grid design with edge units no less than 50 percent of acoustical unit size.
- D. Locate system on room axis according to reflected plan.
- E. Install after major above-ceiling work is complete. Coordinate the location of hangers with other work.
- F. Provide hanger clips during steel deck erection. Provide additional hangers and inserts as required.
- G. Hang suspension system independent of walls, columns, ducts, pipes and conduit. Where carrying members are spliced, avoid visible displacement of face plane of adjacent members.
- H. Where ducts or other equipment prevent the regular spacing of hangers, reinforce the nearest affected hangers and related carrying channels to span the extra distance.
- I. Do not support components on main runners or cross runners if weight causes total dead load to exceed deflection capability.
- J. Support fixture loads using supplementary hangers located within 6 inches of each corner, or support components independently.
- K. Do not eccentrically load system or induce rotation of runners.
- L. Perimeter Molding: Install at intersection of ceiling and vertical surfaces and at junctions with other interruptions.
 1. Install with continuous gasket.
 2. Use longest practical lengths.
 3. Overlap and rivet corners.

3.03 INSTALLATION - ACOUSTICAL UNITS

- A. Install acoustical units in accordance with manufacturer's instructions.
- B. Fit acoustical units in place, free from damaged edges or other defects detrimental to appearance and function.
- C. Lay directional patterned units with pattern parallel to longest room axis.
- D. Fit border trim neatly against abutting surfaces.
- E. Install units after above-ceiling work is complete.
- F. Install acoustical units level, in uniform plane, and free from twist, warp, and dents.
- G. Cutting Acoustical Units:
 - 1. Cut to fit irregular grid and perimeter edge trim.
 - 2. Make field cut edges of same profile as factory edges.
- H. Where round obstructions occur, provide preformed closures to match perimeter molding.
- I. Install hold-down clips on panels within 20 ft of an exterior door.
- J. Place R-30 batt insulation on top of the acoustical units and suspension system at all locations receiving ACT 3.

3.04 TOLERANCES

- A. Maximum Variation from Flat and Level Surface: 1/8 inch in 10 feet.
- B. Maximum Variation from Plumb of Grid Members Caused by Eccentric Loads: 2 degrees.

END OF SECTION 09.51.00

SECTION 10.22.23.23
MOVEABLE PANEL SYSTEMS

PART 1 GENERAL

1.01 DESCRIPTION

- A. Furnish and install operable partitions and suspension system. Provide all labor, materials, tools, equipment, and services for operable walls in accordance with provisions of contract documents.

1.02 RELATED REQUIREMENTS

- A. Preparation of opening will be by General Contractor. Any deviation of site conditions contrary to approved shop drawings must be called to the attention of the architect.
- B. All header, blocking, support structures, jambs, track enclosures, surrounding insulation, and sound baffles as required in 1.04 Quality Assurance.
- C. Prepunching of support structure in accordance with approved shop drawings.
- D. Paint or otherwise finishing all trim and other materials adjoining head and jamb of operable partitions.

1.03 SUBMITTALS

- A. Complete shop drawings are to be provided prior to fabrication indicating construction and installation details. Shop drawings must be submitted within 60 days after receipt of signed contract.

1.04 QUALITY ASSURANCE

- A. Preparation of the opening shall conform to the criteria set forth per ASTM E557 Standard Practice for Architectural Application and Installation of Operable Partitions
- B. The partition STC (Sound Transmission Classification) shall be achieved per the standard test methods ASTM E90.
- C. Noise isolation classifications shall be achieved per the standard test methods ASTM E336 and ASTM E413.
- D. Noise Reduction Coefficient (NRC) ratings shall be per ASTM C423.
- E. Rack testing for 10 years. (tensional strength stress test)
- F. The manufacturer shall have a quality system that is registered to the ISO 9001 standards.

1.05 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Proper storage of partitions before installation and continued protection during and after installation will be the responsibility of the General Contractor.

1.06 WARRANTY

- A. Partition system shall be guaranteed for a period of two years against defects in material and workmanship, excluding abuse.

PART 2 PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS

- A. Moveable Panel System:
 1. Hufcor, Inc.; 2101 Kennedy Rd., Janesville, WI 53545; Tel: (608)0756-1241; www.hufcor.com.
 2. Modernfold, Inc.; 215 West New Road, Greenfield, IN 46140; [Tel:\(800\) 869-9685](tel:(800)869-9685); www.modernfold.com.
 3. Kwik-Wall Company; 4650 Industrial Ave., Springfield, IL 62703; Tel: (217) 522-5553; www.kwik-wall.com.
 4. Moderco, Inc.; 115 de Lauzon, Boucherville, Canada; Tel: (450) 641-3150; www.moderco.com.
 5. Substitutions: See Section 01.25.00 – Substitution Procedures.

2.02 MATERIALS

- A. Basis of Design: Series 632, top supported paired panels, as manufactured by Hufcor Inc.

1. Panels shall be nominally 3" thick, to 48" in width, and hinged in pairs.
 2. Panel faces shall be laminated to appropriate substrate to meet the STC requirement in 2.04 Acoustical Performance.
 3. Frames shall be of 16 gauge steel. Face finish shall wrap around the vertical panel edges and provide no protective vertical face trim.
 4. Vertical sound seals shall be of tongue and groove configuration, ensure panel-to-panel alignment and prevent sound leaks between panels.
 5. Horizontal top seals shall be fixed continuous contact dual 4-finger vinyl.
 6. Horizontal bottom seals shall be retractable, provide up to 2" nominal operating clearance, and exert downward force when fully extended.
 7. Horizontal trim shall be of aluminum.
 8. Low profile hinges on basic panels shall be of steel and project no more than 1/4" beyond panel faces. Each pair of panels to have a minimum of three hinges.
- B. Weight of the panels shall be 5.7 – 10.2 lbs./sq. ft. based on options selected.
- C. Suspension system:
1. Track shall be of clear anodized architectural grade extruded aluminum alloy 6063-T6. Track design shall provide precise alignment at the trolley running surfaces and provide integral support for adjoining ceiling, soffit, or plenum sound barrier. Track shall be connected to the structural support by pairs of minimum 3/8" dia. threaded steel hanger rods. Guide rails and/or track sweep seals shall not be required.
 - a. Each panel shall be supported by one 4-wheeled carrier. Wheels to be of hardened steel ball bearings encased with molded polymer tires.
 2. Plenum closure (by others): Design of plenum closure must permit lifting out of header panels to adjust track height. Plenum closure required for optimum sound control of partition.
- D. Finishes
1. Face finish shall be a factory applied panel fabric with woven backing.
 - a. Manufacturer: Hytex
 - b. Collection: Revelations
 - c. Series: Delight
 - d. Color: #48-10 Steel
 2. Exposed metal trim and seal color shall be:
 - a. Gray
 3. Aluminum track shall be:
 - a. Clear anodized
- E. Pass Door
1. ADA compliant pass door of the same thickness and construction as the basic panels. Sizes as indicated on the Drawings; fit door with perimeter acoustic gaskets, concealed closer, panic hardware, and exit sign. Pass door panel legs require bottom seals that provide downward force to maintain stability during door operation. Pass door leaf has perimeter trim to protect face finish and to provide visual identification as required by International Building Code. Pass door leaf incorporates a self-adjusting retractable bottom seal providing sound control when door is closed.

2.03 OPERATION

- A. Panels shall be manually moved from the storage area, positioned in the opening, and seals set.
- B. Retractable Horizontal Seals
1. Retractable horizontal seals shall be activated by a removable quick-set operating handle located approximately 42" from the floor in the panel edge.
 2. All retractable seals in each hinged panel group shall be operated simultaneously.
 3. Seal activation requires a 190 degree turn of the removable handle.
- C. Automatic Floor Seals
1. Horizontal seals shall be activated by pressing the edge of the panel into the edge of the adjacent panel or wall.
 2. Seal activation requires approximately 15 lbs. of force per panel.
- C. Final partition closure to be by lever closure panel with expanding jamb which compensates for minor wall irregularities and provides a minimum of 250 lbs. seal force against the adjacent wall for optimum sound control. The jamb activator shall be located approximately 45" from the floor in the panel face and be accessed from either side of the panel. The jamb is equipped with a mechanical rack and pinion gear drive mechanism and shall extend 4"-6" by turning the removable operating handle.
- D. Stack/Store Panels

1. Retract seals with removable operating handle and move to storage area. Panels may be stored at either or both ends of the track or in a pocket.

2.04 ACOUSTICAL PERFORMANCE

- A. Acoustical performance shall be tested at a laboratory accredited under the National Voluntary Laboratory Accreditation Program (NVLAP) and in accordance with ASTM E90 Test Standards. Standard panel construction shall have obtained an STC rating of 49.
 1. Complete, unaltered written test report is to be made available upon request.

PART 3 EXECUTION

3.01 INSTALLATION

- A. Installation. The complete installation of the operable wall system shall be by an authorized factory-trained installer and be in strict accordance with the approved shop drawings and manufacturer's standard printed specifications, instructions, and recommendations.
- B. Cleaning
 1. All track and panel surfaces shall be wiped clean and free of handprints, grease, and soil.
 2. Cartoning and other installation debris shall be removed to onsite waste collection area, provided by others.
- C. Training
 1. Installer shall demonstrate proper operation and maintenance procedures to owner's representative.
 2. Operating handle and owner's manuals shall be provided to owner's representative.

END OF SECTION 10.22.23.23

SECTION 26 32 13
EMERGENCY STANDBY ENGINE GENERATOR SYSTEM

PART 1 GENERAL

1.01 WORK INCLUDED

- A. This specification defines requirements for an emergency standby engine/generator system to be installed as per plans and specifications. System shall provide for completely automatic unattended operation, for the duration of any loss of normal utility power. System to be capable of reaching operating range within 10 seconds of initial start signal (NFPA 99, Chapter 3). Unit shall be of a continuous standby KW/KVA capacity as shown on plans. System voltage to be 480/277-volts, 3-phase, 4-wire, 60 Hz., .8 power factor.
- B. Full service responsibility for satisfactory operation and performance of this system shall rest with Division 26 contractor supplying the emergency power system. Engine/generator to be furnished with all necessary features and options to comprise a complete operable system when installed as per manufacturers' recommendations.
- C. Unit to meet requirements of NFPA-99 and NFPA-110.
- D. Warranty to be furnished on all equipment covered by specifications for a period of one (1) year from date of Owner's acceptance of equipment. Warranty to cover all components and consist of repair and/or replacement of all parts judged defective due to faulty material or workmanship, at no charge to the Owner.
- E. Unit to be equipped for indoor installation as shown on drawings.

1.02 SUBMITTALS

- A. Contractor shall provide as part of submittal data: Complete, composite electrical and mechanical drawings indicating control wiring routing, quantity and size, as well as size and suggested routing of coolant, fuel lines and exhaust lines. If options or special equipment other than those specified below are required, they shall be included in the submittals.

PART 2 PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS/EQUIPMENT

- A. Emergency generator shall be by Caterpillar, Kohler, Cummins, Generac, **Taylor Power Systems**, or MTU Onsite Energy.

2.02 ENGINE

- A. Engine shall be full diesel, compression ignition, liquid-cooled, domestically manufactured and capable of producing the rated KW at a governed speed of 1800 rpm as specified under job site conditions. Engine to be equipped with electric starting, battery charging generator, electronic governor, fuel filters, oil filters, air cleaners, cooling system, and other equipment to provide a complete operable system. Selling distributor to be a factory authorized distributor of the diesel engine utilized in the standby engine generator system.

2.03 COOLING

- A. Engine shall be cooled by plant mounted radiator with engine driven fan, jacket water pump, and fan guard.
- B. Radiator shall be equipped with air discharge duct adaptor and air shall be directed to the outside through duct system as indicated on drawings. Flexible canvas connections shall be installed between radiator duct adaptor and duct. Radiator duct and flexible connection shall be furnished and installed by Division 23. Damper in wall shall be gravity type and shall be a minimum of 1.5 times area of radiator.
- C. Engine shall be equipped with thermostatically controlled water jacket heater to maintain minimum 80 degrees F. water jacket temperature under ambient conditions. Vendor shall consult with and coordinate special extreme cold weather needs with Electrical Engineer.
- D. Complete cooling system shall be filled with anti-freeze coolant (0 degrees F. or less as required by the extreme of local weather conditions) supplied by the vendor at start-up.

2.04 SILENCERS AND BATTERIES

- A. Furnish and install critical zone exhaust silencer. VEE-type engines shall have dual inlet, single outlet. The silencer shall be as recommended by the manufacturer for hospital installations. Condensate trap, pet cock drain shall be installed in the silencer. A flexible section, 36 inches minimum, shall be provided between the engine exhaust manifold and the silencer. This section shall be carbon steel bellows type. All exhaust system fittings shall be flanged n.p.t. connections. The silencer shall be provided with mounting brackets for ceiling suspension. The silencer shall be installed from the equipment room ceiling in a horizontal position.
- B. Engine/generator manufacturer shall specify exhaust line size required for acceptable back pressure. Exhaust line shall be Schedule 40 pipe and be connected to engine manifold through seamless, flexible, carbon steel bellows type connection. Exhaust systems installed inside structure shall be fully insulated (under Division 23) and lines passing through walls shall pass through sleeves.
- C. Provide starting batteries capable of starting unit in time specified under installed conditions and capable of 60-seconds of engine cranking. Batteries to be installed in steel, insulated rack(s).
- D. Battery heater pads to be furnished on outdoor installations.
- E. Provide batteries of the heavy-duty lead acid type (maintenance-free batteries not acceptable), Group 8 shipped dry with electrolyte installed at start-up.
- F. Provide an automatic battery charger. Charger shall operate on 120-volt input and shall be a.c. line compensated. Input and output shall be fused. Charger shall provide continuous taper charging and provide float and equalize function. Charger shall be in NEMA-1 cabinet and equipped with d.c. ammeter, d.c. voltmeter, high/float switch, and low d.c. voltage alarm relay. Minimum continuous d.c. output shall be 10 amperes.

2.05 FUEL TANKS

- A. Fuel Tank: Provide a 1500 gallon underground fuel tank and associated fuel line connections.

2.06 GENERATOR

- A. Alternator shall be four pole revolving field, twelve lead, reconnectable, single bearing, brushless type.
- B. Entire insulation system shall be Class F or better and temperature rise to be within NEMA MG-1-22.40 for all nameplate voltages at full rated load.
- C. All load connections shall be made up in rear mount junction box. Generator construction to allow load connections to be made on top, bottom or either side of junction box.
- D. Rotating rectifier shall employ three phase sensing. Voltage regulation shall be plus or minus 1% from no load to full load with steady state modulation of 1/2%. Voltage regulator shall be static-type and a voltage adjusting rheostat to be furnished in the control panel. Voltage change to not exceed 15% upon application of full rated load with recovery to steady state conditions within 1-second. Frequency regulation by engine governor to be within 1% steady state with a maximum 2% drop, no load to full load. Generator/regulator system shall be capable of producing 250% of a full load rated current for a minimum of 10 seconds under a three phase short circuit.
- E. Provide a line circuit breaker on generator output, 3-pole, molded case, frame size shall be approximately 125% of full load capacity with trip setting at full load capacity (unless otherwise indicated on plans).
- F. Provide ground fault sensing at the generator output terminals. This sensor to annunciate at the generator-mounted control panel and remote annunciator.

2.07 GENERATOR CONTROL PANEL

- A. Generator control panel shall be NEMA-1, dead front construction and includes following:
 - 1. A.C. ammeter (2%), with phase selector switch.
 - 2. A.C. voltmeter (2%), with phase selector switch.
 - 3. Frequency meter.
 - 4. Elapsed time meter.
 - 5. Panel illumination lamps.
 - 6. Voltage adjusting rheostat.
 - 7. Governor speed control switch.
 - 8. Automatic start/stop control (solid state, cycle crank, four cycles of 10-seconds rest).
 - 9. Mode selector switch for "off", "manual", "automatic", "test."

10. Automatic engine shutdown with indicating lamps to indicate that a shut-down took place for:
 - a. "excessive engine temperature."
 - b. "low oil pressure."
 - c. "overcrank" (failed to start).
 - d. "overspeed."
11. Red lamp to function when mode selector switch is in a position other than "automatic."
12. Adjustable timer shall provide up to 30-minute unload running of engine after automatic transfer switch returns to normal. Factory to preset timer to 5 minutes unload time.
13. Engine oil pressure gauge.
14. Engine water temperature gauge.
15. Battery charging ammeter.
16. A sensor device, plus visual warning device with alarm horn and silence switch indicating "low fuel level", "low water temperature" and visual pre-shutdown alarms for "low oil pressure", "high water temperature", and "ground fault".
17. Generator control panel shall be shock mounted on unit unless otherwise shown on drawings.

2.08 REMOTE ANNUNCIATOR

- A. Provide solid state remote annunciator panel, storage battery powered, shall comply with NFPA 110.
- B. Panel shall be mounted where shown on drawings to include indicating lamps with alarm horn and silence switch for:
 1. Low oil pressure pre-alarm (shutdown).
 2. Battery charger malfunction.
 3. Low water temperature (warning).
 4. Excessive engine temperature (shutdown).
 5. Low fuel level (main tank).
 6. Overspeed shutdown.
 7. Overcrank shutdown (failed to start).
 8. Ground fault (warning).
 9. Indicating lamps only for generator carrying load and generator running.
 10. Red lamp to indicate when mode selector switch is in a position other than "automatic".

PART 3 EXECUTION

3.01 INSTALLATION REQUIREMENTS

- A. Entire unit shall be installed in accordance with manufacturers' recommendations.
- B. Mounting: Complete engine/generator and all mounted accessories shall be assembled on a common channel steel base. Fuel oil lines and lube oil drain shall terminate in base. Lube oil drain line shall be brought out to beyond the base to facilitate changing of the oil. Flexible fuel line sections (18" long) to be installed between base and fuel lines. Heavy-duty, steel spring vibration isolators shall be installed between the base and mounting pad. Isolators shall be sized and located as recommended by generator manufacturer.
- C. Contractor shall provide the services of a factory-trained engineer for periodic job site visits during installation to ensure that the system is being installed in accordance with manufacturers' recommendations.
- D. Complete engine/generator system shall be tested after installation to ensure that the engine/generator, automatic transfer switch, alarm annunciators, and all other equipment function in accordance with the specifications.
- E. After Owner acceptance, Contractor and/or vendor, shall conduct a minimum 4-hour training session in operation and maintenance for Owner's personnel. After installation, a 4-hour full load test shall be conducted by the distributor's engineer. This test shall be conducted using available building load, plus temporary load bank capacity so that full nameplate reading is utilized during test. Temporary load banks shall be furnished by generator distributor and connected by Division 26 contractor. Test data shall be recorded and become a part of the three (3) Owners Manuals to be supplied.
- F. Contractor shall receive, store, uncrate and temporarily connect resistive type load(s) furnished by the generator supplier for full-load testing of the system. After completion of this testing, the Contractor shall disconnect, crate and load for shipment, the temporary load banks.

- G. Ground the engine generator frame and enclosure using an equipment grounding conductor sized in accordance with the NEC. Do not ground generator neutral.

END OF SECTION

SECTION 32.33.00
SITE FURNISHINGS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Furnish all materials, equipment, labor and related items necessary to complete the work shown in the Contract Drawings and/or as specified in the Specifications. The work included in this section must include but is not limited to:
 - 1. Benches
 - 2. ~~Tables~~
 - 3. Bicycle Racks
 - 4. Planters
 - 5. Bollards
 - 6. Waste receptacles
 - 7. All other related items required to complete the work shown on the Contract Drawings and as specified in the Contract Specifications.

1.02 REFERENCES

- A. This specification section incorporates by reference the latest revisions of the following documents.
 - 1. Comply with environmental agencies, building codes and other local requirements.
 - 2. City of Knoxville – Sign Ordinance

1.03 RELATED SECTIONS

- A. Specification 31.20.00 – Earthwork.
- B. Specification 32.12.16 – Asphalt Paving.
- C. Specification 32.13.13 – Concrete Paving.

1.04 QUALITY ASSURANCE

- A. Before proceeding with any work, the Contractor must inspect the site, carefully check all grades, and verify all dimensions and conditions affecting the work. The Contractor must immediately notify the Owner's Representative of any discrepancy on line and level.
- B. Site furnishing work must be performed by a company with experience in work of similar scope and quality.
- C. Adhere to manufacturer's instructions for product storage and handling, assembly, installation, and maintenance.
- D. Site Inspections will be made by the Owner's Representative.
 - 1. Request Owner's Representative inspection at least 48 hours in advance of the time inspection is required. Inspections for the following is required:
 - a. Inspection of temporarily marked/staked locations and alignments of site furnishings items and/or footings prior to installation.
 - b. Substantial Completion of all work (development of physical punch list items).
 - c. Physical Completion of all work (physical punch list items satisfactorily completed).

1.05 SUBMITTALS

- A. For each product specified, submit the following for approval prior to delivery:
 - 1. Manufacturer's product data including:
 - a. Preparation instructions and recommendations.
 - b. Storage and handling requirements and recommendations.
 - c. Manufacturer's written assembly and installation instructions.
 - d. Maintenance instructions.
 - e. Manufacturer warranties.
 - 2. Submit manufacturer's shop drawings for the following for approval prior to delivery:
 - a. OLA Sign
 - b. Trail Directional Sign

1.06 DELIVERY, STORAGE AND HANDLING

- A. Deliver and store site furnishings items in accordance with manufacturer's written recommendations. Handle all site furnishings with sufficient care to prevent scratches to the finish and other damage.

1.08 WARRANTY

- A. Guarantee work of this Contract Specification section for one (1) year against all defects of materials and workmanship. The guarantee period begins after the date of physical completion.
- B. Repair any damage caused by settlement and defects at no cost to the Owner.

PART 2 PRODUCTS

2.01 HARDWARE

- A. All metal hardware not supplied by the manufacturer including bolts, deformed bars for connections, anchor bolts, nuts, and washers must be hot-dipped galvanized steel unless otherwise noted. All bolts, threaded rod, and anchor bolts must conform to ASTM A-307, Grade A, unless otherwise noted. All galvanized bolts must have galvanized nuts and standard cut galvanized washers at each end; sized respectively unless otherwise noted in Contract Drawings. Hardware not noted by size must be sufficient to draw and hold members securely.

2.02 BENCHES

- A. Basis of Design: Model TF5026, by Wausau
 - 1. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Material: Concrete
- C. Shape: Rectangular
 - 1. Dimensions: 72" x 18" x 16"
- D. Reinforcement: 3/8" diameter steel rebar
- E. Color/Finish: As selected by Architect from manufacturers standard finishes.
- F. Anchoring: Threaded inserts into concrete plaza.

2.03 ~~TABLES~~ NOT USED

- ~~A. Basis of Design: Model TF3200, by Wausau~~
 - ~~1. Substitutions: See Section 01.25.00 – Substitution Procedures.~~
- ~~B. Material: Concrete~~
- ~~C. Shape: Rectangular~~
 - ~~1. Dimensions: 85" x 62" x 33"H~~
- ~~D. Reinforcement: 3/8" diameter steel rebar~~
- ~~E. Color/Finish: As selected by Architect from manufacturers standard finishes.~~
- ~~F. Accessories: (2) Bench seats, (1) to accommodate ADA.~~

2.04 BICYCLE RACKS

- A. Basis of Design: Hoop Rack, by Dero Bike Rack Company, www.dero.com.
 - 1. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Material: 1.5" schedule 40 uncoated pipe (1.90" OD)
- C. Dimensions: 24"W x 35"H
- D. Finish: TGIC powder-coating.
 - 1. Thickness: 6 mil minimum.
 - 2. Color: Black
- E. Anchoring: Flange mount with two 2.5" x 6" x .25" feet - 4 anchors total.

2.05 PLANTERS

- A. Basis of Design: Model TF4195, by Wausau
 - 1. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Material: Concrete

- C. Shape: Square
 - 1. Dimensions: 36" x 36" x 30"H
 - 2. Provide drain hole(s)
- D. Reinforcement: 3/8" diameter steel rebar
- E. Color/Finish: As selected by Architect from manufacturers standard finishes.
- F. Accessories
 - 1. Lifting inserts.

2.06 BOLLARDS

- A. Basis of Design: Model PDT8080MF, by Calpipe Security Bollards, www.calpipebollards.com.
 - 1. Acceptable alternate manufacturer: TSB-Truck crash bollard by Tymetal Corporation.
 - 2. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Material: Carbon Steel
- C. Shape: Round, with sloping top.
 - 1. Dimensions: 8" x 36"H
- D. Impact/Security Rating: K4/M30 equivalent to 15,000 lbs traveling at 30 mph.
- E. Color/Finish: Powder coated finish from manufacturers standard colors.
- F. Anchoring: Embedded shallow mount, per manufacturer's recommendations.

2.05 WASTE RECEPTACLES

- A. Basis of Design: CityView Dual Body Vertical Strap Receptacle by SiteScapes, Inc., www.sitescapesonline.com
 - 1. Substitutions: See Section 01.25.00 – Substitution Procedures.
- B. Material:
 - 1. Vertical Straps: Straps are made of 5/16" x 1 1/2" carbon steel flat bar.
 - 2. Outside support Strap: 1/4" x 2" steel flat bar.
 - 3. Top Ring: 5/8" dia. Solid steel round bar.
 - 4. Foot Plates: Foot plates are 5/16" x 1 1/2" stainless steel. Each plate has a 9/16" hole for mounting.
 - 5. Lid: 14 ga. spun steel dome.
 - 6. Ash Inlay: 13ga. stainless steel ash pan
 - 7. Liner: High density polyethylene liner with handles
 - a. Capacity: 36 gallons
- C. Opening: Side door with lock.
- D. Reinforcement: 3/8" diameter steel rebar
- E. Finish: TGIC powder coating
 - 1. Thickness: 8 mil minimum.
 - 2. Color: Onyx (Black)
- F. Anchoring: Surface mounted per manufacturer's recommendation.

PART 3 EXECUTION

3.01 GENERAL

- A. Verify installation conditions as satisfactory to receive work of this Section. Do not install until unsatisfactory conditions are corrected. Beginning work constitutes acceptance of conditions as satisfactory.
- B. Temporarily mark alignment and locations of all site furnishings for review by Owner's Representative prior to installation.
- C. Install site furnishings items rigid, plumb and true to lines and levels shown in contract drawings or per manufacturer's written instructions.

3.02 SUBGRADE PREPARATION

- A. The Contractor must verify that subgrade has been properly compacted.

- B. Cast-In-Place Concrete for site furnishings footings and foundations must be per Section 32.16.13 of these Contract Specifications. Layout and size per manufacturer's written instructions or as shown in the Contract Drawings. Unless otherwise indicated, exposed concrete must have a light broom finish.

3.03 CONCRETE FOOTINGS

- A. Concrete footings for site furnishings must be per Section 32.13.13 of these Contract Specifications. Layout and size per manufacturer's written instructions or as shown in the Contract Drawings. Unless otherwise indicated, exposed concrete must have a light broom finish.

3.04 DIRECT BURIAL INSTALLATIONS

- A. All below-grade steel components scheduled for direct burial installation must be coated in an approved manner prior to installation, typically either factory powder coating or hot-dipped galvanized.
- B. Provide footing excavations sized as shown in the Contract Drawings, manufacturer's written installation instructions, or as directed by the Owner's Representative.
- C. All site furnishings scheduled for direct burial installation within new paved areas are to be installed prior to paving.
 - 1. In the event that paving is installed prior to site furnishings scheduled for direct burial installation, saw-cutting will not be approved as a means of penetrating pavements. Coring, to the specified size of the footing, is the only method that may be considered.
 - 2. Do not core completed work of the Contract to accomplish product installation without prior approval of the Owner's Representative.
 - 3. Where the Owner's Representative has approved coring of pavement installed as part of the work of the Contract, the Contractor must insure an adequate supply of clean water and continuously flush and clean cuttings from pavement surfaces to remain.

3.05 FABRICATED ITEMS

- A. Fabricated items must be installed in accordance with Contract Drawings.

3.06 INSTALLATION OF MANUFACTURED ITEMS

- A. Assemble Site Furnishings per manufacturer's written instructions.
- B. Locate and orient Site Furnishings as shown in Contract Drawings for Owner's Representative on-site review and approval.
- C. Site furnishings must be installed plumb and level, as shown in the Contract Drawings, and in accordance with manufacturer's written instructions.

3.07 CLEAN-UP

- A. Clean site furnishings promptly after installation. Remove all residues, stains, scuffs, abrasions, and marks from the finished product in accordance with the manufacturer's instructions. Do not use harsh or abrasive cleaning materials or methods that could damage the finishes.
- B. Touch-up and repair minor damages to the finish in accordance with manufacturer's instructions and as approved by the Owner's Representative.
- C. Remove and replace damaged components that cannot be successfully repaired as determined by the Owner's Representative.
- D. Remove all metal, wood, and concrete slurry and debris, protective wrappings and coverings, and shipping materials from the project site.
- E. Fully restore all areas of the site that were impacted by the installation activities.

END OF SECTION 32.33.00

**SECTION 01.25.01
SUBSTITUTION REQUEST FORM**

PROJECT DATA

PROJECT: COK Public Safety Complex PROJECT NO.: 19018
OWNER: City of Knoxville 400 Main Street, Knoxville, TN 37902
ARCHITECT: McCarty Holsaple McCarty, Inc.
550 W. Main Street, Suite 300
Knoxville, TN 37902

CONTRACTOR'S REQUEST, WITH SUPPORTING DATA

1. Section of the Specifications to which this request applies: 07.21.19 Foamed in place Insulation
- Product data for specified item and proposed substitution is attached, including product description, specification data, illustrations, reference standards, and performance and test data.
- Sample is attached Sample will be sent if requested by Architect
2. Itemized comparison of proposed substitution with specified item Actually, your office should still have a sample from when we did a Lunch & Learn there on 9/4/2019
- a. Data Relative to Specified Item:
- 1) Name, Brand: Icynene ProSeal HFO, JM Corbond III or BASF Spraytite
- 2) Catalog No.: Huntsman Building Solutions has purchased Demilec, Icynene and Lapolla spray foam insulation companies and has rebranded the former products as "Huntsman". We were a
- 3) Manufacturer: Demilec Certified Spray Foam Installer; now we are a Huntsman Certified Spray Foam Installer.
- b. Data Relative to Proposed Substitution
- 1) Name, Brand: Huntsman (formerly Demilec) HeatLok XT
- 2) Catalog No.: See attachments
- 3) Manufacturer: _____
- c. Significant variations, including elements such as size, weight, durability, performance, and visual effect:
None, except that HeatLok XY spray better and more consistently than the other products.
3. Proposed change in Contract Sum:
- Credit to Owner \$ None
- Additional Cost to Owner \$ None
4. Effect of the proposed substitution of the Work:
- Contract Time None
- Changes or Modifications required to Other Parts of the Work: None

Changes or Modifications required to Other Contracts: _____

None

5. Reason for Substitution Request:

We were a Demilec Certified Spray Foam Installer; now we are a Huntsman Certified Spray Foam Installer. HeatLok XY spray better and more consistently than the other products.

CONTRACTOR'S STATEMENT OF CONFORMANCE

I/we have investigated the proposed substitution. I/we:

1. believe and certify that it is equal or superior in all respects to the originally specified product, except as stated in 2 above;
2. certify that it will perform adequately in the application indicated;
3. will provide the same warranty or guaranty as required in the Contract Documents;
4. have included all cost data and cost implications of the proposed substitution, including, if required, costs to other contractors, and redesign and special inspection costs caused by the use of this product;
5. will coordinate the incorporation of the proposed substitution in the Work;
6. will modify other parts of the Work as may be needed to make all parts of the Work complete and functioning;
7. have verified that use of this substitution conforms to all applicable codes;
8. waive future claims for added cost to Owner caused by the proposed substitution.

Contractor: _____ Date _____

ARCHITECT'S REVIEW AND ACTION

____ Provide more information in the following categories and resubmit:

____ Sign Contractor's Statement of Conformance and resubmit.

The proposed substitution is approved.

____ The proposed substitution is approved, with the following conditions:

_____ The proposed substitution is rejected.

The following changes will be made by Change Order:

Addition to/Deduction from the Contract Sum: \$ _____

Addition to/Deduction from the Contract Time _____ days

David S. Collins, AIA
McCarty Holsaple McCarty, Inc.

2/22/2021
Date

END OF SECTION 01.25.01



HEATLOK® XT HIGH YIELD

TECHNICAL DATA SHEET

Heatlok® XT High Yield is a two component, closed cell, spray applied, rigid polyurethane foam system. This product uses recycled plastic materials, rapidly renewable soy oils, and the blowing agent has zero ozone depleting potential. Heatlok XT complies with the intent of the International Code Council's residential and commercial building codes and is commonly used as a thermal insulation, air barrier, vapor retarder and water resistive barrier in above grade, below grade, interior and exterior applications.

PHYSICAL PROPERTIES			
ASTM D 1622	Core Density	Summer – 2.23 lb/ft ³ Winter – 2.17 lb/ft ³	Summer – 35.7 kg/m ³ Winter – 34.8 kg/m ³
ASTM C 518	Aged Thermal Resistance (R-value @ 1 inch) See CCRR for Heatlok XT-s (summer) and Heatlok XT-w (winter) Table 1, for additional R-value information.	Summer – 6.7 ft ² h ² F/BTU Winter – 6.9 ft ² h ² F/BTU	Summer – 1.18 Km ² /W Winter – 1.22 Km ² /W
ASTM E 283	Air Leakage @ 75 Pa @ 1"	< 0.02 L/sm ²	
ASTM E 2178	Air Permeance @ 75 Pa @ 1"	< 0.02 L/sm ²	
ASTM E 2357	System Air Leakage Rating Opaque Wall: Air Exfiltration 75 Pa (1.57 pcf) Penetrated Wall: Air Exfiltration 75 Pa (1.75 pcf)	Summer – 0.0039 Winter – 0.0001 Summer – 0.0001 Winter – 0.0001	
ASTM E 96	Water Vapor Permeance (Summer @ 1.625", Winter @ 1.1") Qualifies as a Class II vapor barrier per IBC Section 202	< 1 perm	< 57.2 ng/Pa•s•m ²
ASTM D 2842	Water Absorption (volume)	Summer – 0.87% Winter – 0.81%	
ASTM D 1621	Compressive Strength at 10% Deformation	Summer – 18.0 psi Winter – 23.1 psi	Summer – 124 kPa Winter – 159 kPa
ASTM D 1623	Tensile Strength	Summer – 37.9 psi Winter – 53.7 psi	Summer – 261 kPa Winter – 370 kPa
ASTM D 2126	Dimensional Stability @ 158°F (70°C) 97% R.H.(168 hours)	Summer – 5.45% (% volume change) Winter – 4.14% (% volume change)	
VOC Emissions	UL Environment (Greenguard Gold)	Meets Criteria	
ASTM C 1338	Fungi Resistance	No fungal growth	
ASTM D 6226	Closed Cell Content	Summer – 93.1% Winter – 93.8%	

FIRE TEST RESULTS		
ASTM E 84	Surface Burning Characteristics, 4" thick Summer – Flame Spread Index Summer – Smoke Developed Winter – Flame Spread Index Winter – Smoke Developed	Class I 0 - 5 350 - 400 5 250 - 300
AC 377 Appendix X	Ignition Barrier – Compliant with 2009, 2012 & 2015 IBC and IRC, and ICC-ES AC-377 Appendix X, for use in attics and crawl spaces without a prescriptive ignition barrier or intumescent coating.	Pass
NFPA 286	Thermal Barrier – Compliant with the 2009, 2012 & 2015 IBC and IRC, as an interior finish without a 15 minute thermal barrier when coated with DC-315 at 18 mils wet film thickness, 12 mils dry film thickness, or Blazelok™ TBX at 18 mils wet film thickness, 12 mils dry film thickness.	Pass
ASTM D 1929	Ignition Properties (spontaneous ignition temperature)	Summer – 1010°F (543°C) Winter – 932°F (500°C)

REACTIVITY PROFILE			
Cream Time 0 – 1 seconds	Gel Time 2 seconds	Tack Free Time 3 – 4 seconds	End of Rise 3 – 4 seconds

RECYCLED & RENEWABLE CONTENT OF HEATLOK XT RESIN

Finished Foam Renewable and Recycled Content	Summer – 22.7% Winter – 21.0%
Polyol Renewable Content	Summer – 8% Winter – 8%
Polyol Recycled Content	Summer – 37.4% Winter – 34%

LIQUID COMPONENT PROPERTIES*

PROPERTY	A-PMDI ISOCYANATE	HEATLOK XT RESIN
Color	Brown	Blue
Viscosity @ 77°F (25°C)	180 – 220 cps	Summer - 250 – 350 cps Winter - 200 – 300 cps
Specific Gravity	1.24	Summer - 1.17 – 1.21 Winter - 1.20 – 1.22
Shelf Life of unopened drum properly stored	12 months	6 months
Storage Temperature	50 – 100°F (10 – 38°C)	59 – 77°F (15 – 25°C)
Mixing Ratio (volume)	1:1	1:1

*See SDS for more information.

RECOMMENDED PROCESSING CONDITIONS*

Initial Primary Heater Setpoint Temperature	Summer 100 – 105°F Winter 95 – 100°F	Summer 38 – 41°C Winter 35 – 38°C
Initial Hose Heat Setpoint Temperature	Summer 100 – 105°F Winter 95 – 100°F	Summer 38 – 41°C Winter 35 – 38°C
Initial Processing Setpoint Pressure	1200 – 1400 psi	8274 – 9653 kPa
Substrate & Ambient Temperature	Summer > 50°F Winter > 10°F	Summer >10°C Winter > -12°C
Moisture Content of Substrate	≤19%	≤19%
Moisture Content of Concrete	Concrete must be cured, dry and free of dust and form release agents.	

*Foam application temperatures and pressures can vary widely depending on temperature, humidity, elevation, substrate, equipment and other factors. While processing, the applicator must continuously observe the characteristics of the sprayed foam and adjust processing temperatures and pressures to maintain proper cell structure, adhesion, cohesion and general foam quality. It is the sole responsibility of the applicator to process and apply Heatlok XT within specification.

General Requirements: Equipment must be capable of delivering the proper ratio (1:1 by volume) of polymeric isocyanate (PMDI) and polyol blend at adequate temperatures and spray pressures. Substrate must be at least 5 degrees above dew point, with best processing results when ambient humidity is below 80%. Substrate must also be free of moisture (dew or frost), grease, oil, solvents and other materials that would adversely affect adhesion of the polyurethane foam. Applicators should limit the application of this product to no more than a thickness of 2” (50mm) per pass (after expansion) to avoid fire hazards (including spontaneous combustion) resulting from excessive heat generation. A second 2” (50mm) layer may be applied immediately after the first one has fully risen. If subsequent passes are needed, applicators should wait until the core temperature of the foam has dropped below 100°F to allow any reaction heat to dissipate from the prior applications before attempting to reapply the product.

Heatlok XT must be separated from the interior of the building by an approved thermal barrier or an approved finish material equivalent to a thermal barrier in accordance with applicable codes. Heatlok XT must be sprayed at a minimum thickness of 1” per pass. This product must not be used when the continuous service temperature of the substrate or foam is below -60°F (-51°C) or above 180°F (82°C). Heatlok XT should not be used to cover flexible ductwork.

Disclaimer: The information herein is to assist customers in determining whether our products are suitable for their applications. We request that customers inspect and test our products before use and satisfy themselves as to contents and suitability. Nothing herein shall constitute a warranty, expressed or implied, including any warranty of merchantability or fitness, nor is protection from any law or patent inferred. All patent rights are reserved. The foam product is combustible and must be protected in accordance with applicable codes. Protect from direct flame and spark contact, around hot work for example. The exclusive remedy for all proven claims is replacement of our materials.



DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION

Section: 07 21 00—Thermal Insulation

REPORT HOLDER:

DEMILEC (USA) INC.

EVALUATION SUBJECT:

HEATLOK® XT-s SPRAY-APPLIED INSULATION

1.0 EVALUATION SCOPE

1.1 Compliance with the following codes:

- 2018, 2015, 2012 and 2009 *International Building Code*® (IBC)
- 2018, 2015, 2012 and 2009 *International Residential Code*® (IRC)
- 2018, 2015, 2012 and 2009 *International Energy Conservation Code*® (IECC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)†

†The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

- Other Codes (See Section 8.0)

Properties evaluated:

- Surface-burning characteristics
- Physical properties
- Thermal resistance
- Attic and crawl space installation
- Air permeability
- Water vapor transmission
- Exterior walls in Types I through IV construction

1.2 Evaluation to the following green standard:

2008 ICC 700 *National Green Building Standard*™ (ICC 700-2008)

Attributes verified:

See Section 3.1

2.0 USES

Demilec Heatlok® XT-s closed cell spray foam product is used as a nonstructural thermal insulating material in Type VB construction (IBC) and dwellings under the IRC. The insulation is for use in wall cavities, floor assemblies,

ceiling assemblies or attics and crawl spaces when installed in accordance with Section 4.4.

Under the IRC and the 2018 and 2015 IBC, the insulation may be used as air-impermeable insulation when installed in accordance with Section 3.5.

The insulation also may be used in exterior walls of Type I, II, III or IV construction that do not exceed 40 feet (12 192 mm) in height above grade plane when used as described in Section 4.5.

3.0 DESCRIPTION

3.1 General:

Demilec Heatlok® XT-s product is a rigid, medium-density, spray-applied cellular polyurethane foam plastic insulation installed as a component of wall assemblies, ceilings, floors, crawlspaces and cavities of roofs. The foam plastic insulation is a two-component, closed-cell, one-to-one by volume spray foam system with a nominal density of 2.0 pcf (32 kg/m³). The insulation is produced in the field by combining a polymeric isocyanate (A component) with a polymeric resin blend (B component). The insulation components have a shelf life of six months when stored in factory-sealed containers at temperatures between 50°F (10°C) and 80°F (26°C).

The attributes of the insulation have been verified as conforming to the provisions of ICC 700-2008 Section 703.2.1.1.1(c) as an air impermeable insulation. Note that decisions on compliance for those areas rest with the user of this report. The user is advised of the project-specific provisions that may be contingent upon meeting specific conditions, and the verification of those conditions is outside the scope of this report. These codes or standards often provide supplemental information as guidance.

3.2 Surface-burning Characteristics:

Demilec Heatlok® XT-s product, at a maximum thickness of 4 inches (102 mm) and a nominal density of 2.0 pcf (32 kg/m³), has a flame spread index of 25 or less and a smoke-developed index of 450 or less when tested in accordance with ASTM E84 (UL 723). There are not any thickness limitations when insulation is covered by a code-prescribed thermal barrier.

3.3 Thermal Resistance (R-values):

Demilec Heatlok® XT-s product has thermal resistance (R-value) at a mean temperature of 75°F (24°C), as shown in Table 1.

3.4 Vapor Permeance:

HEATLOK® XT-s has a vapor permeance of less than 1.0 perms (5.7x10⁻¹² kg/Pa-s-m²) when applied at a

minimum of 1 inch (25.4 mm) thickness and may be used where a Class II vapor retarder is required by the applicable code.

3.5 Air Permeability:

HEATLOK® XT-s foam plastic insulation, at a minimum 1-inch (25 mm) thickness, is considered air-impermeable insulation in accordance with 2018, 2015 and 2012 IRC Section R806.5 (2009 IRC Section R806.4) and 2018 IBC Section 1202.2 (2015 IBC Section 1203.3) based on testing in accordance with ASTM E283.

3.6 DC 315 Coating:

DC 315 Coating ([ESR-3702](#)), manufactured by International Fireproof Technology, Inc. / Paint to Protect Inc., is a one-component water-based coating. The coating is supplied in 5-gallon (19 L) pails and 55-gallon (208 L) drums and has a shelf life of 12 months when stored in factory-sealed containers at temperatures between 50°F (10°C) and 80°F (27°C).

3.7 Blazelok TBX Intumescent Coating:

Blazelok™ TBX intumescent coating ([ESR-3997](#)), manufactured by TPR² Corporation, is a one-component water-based liquid-applied coating. The coating is supplied in 5-gallon (19 L) pails and 55-gallon (208 L) drums and has a shelf life of 12 months when stored in factory-sealed containers at temperatures between 45°F (7°C) and 95°F (35°C).

4.0 INSTALLATION

4.1 General:

Demilec Heatlok® XT-s product must be installed in accordance with the manufacturer's published installation instructions and this report. A copy of the manufacturer's published installation instructions must be available at all times on the jobsite during installation.

4.2 Application:

The insulation is spray-applied on the jobsite using equipment identified in the manufacturer's published installation instructions. The Demilec Heatlok® XT-s product must be applied when the ambient and substrate temperature is between 50°F (10°C) and 120°F (49°C). The insulation must not be used in areas that have a maximum service temperature greater than 180°F (82°C). The foam plastic insulation must not be used in electrical outlet or junction boxes or in continuous contact with rain or water. The substrate must be free of moisture, frost or ice, loose scales, rust, oil and grease, or contaminants that will interfere with adhesion of the spray foam insulation. The Demilec Heatlok® XT-s product is applied in passes having a maximum thickness of 2 inches (51 mm) per pass. When multiple passes are required, subsequent passes can be sprayed once the core temperature drops below 100°F.

4.3 Thermal Barrier:

4.3.1 Application with a Prescriptive Thermal Barrier: Demilec Heatlok® XT-s insulation must be separated from the interior of the building by an approved thermal barrier of 1/2-inch-thick (12.7 mm) gypsum wallboard or an equivalent 15-minute thermal barrier complying with and installed in accordance with the applicable code except where the installation complies with the requirements set forth in Section 4.3.2. When installation is within an attic or crawl space as described in Section 4.4, a thermal barrier is not required between the foam plastic and the attic or crawl space, but is required between the insulation and the interior of the building.

There is no thickness limit when installed behind a code-prescribed thermal barrier except as noted in Section 4.4.2.1.

4.3.2 Application without a Prescriptive Thermal Barrier:

The prescriptive 15-minute thermal barrier may be omitted when installation is in accordance with this section. The insulation and coating may be spray-applied to the interior facing of walls and the underside of roof sheathing or roof rafters, and in crawl spaces, and may be left exposed as an interior finish without a prescribed 15-minute thermal barrier or ignition barrier. The thickness of the foam plastic applied to the underside of the roof sheathing must not exceed 11 1/2 inches (292 mm). The thickness of the foam plastic applied to the vertical wall surfaces must not exceed 7 1/2 inches (191mm). The foam plastic must be covered on all surfaces with DC 315 coating at a minimum wet film thickness of 18 wet mils (0.46 mm) (12 dry mils [0.31 mm]), at a rate of 1.12 gal/100 ft² (0.457 L/m²) or with Blazelok™ TBX at a minimum wet film thickness of 18 wet mils (0.46 mm) (12 dry mils [0.31 mm]), at a rate of 1.12 gal/100 ft² (0.457 L/m²). The coating must be applied over the Demilec Heatlok® XT-s insulation in accordance with the coating manufacturer's instructions and this report. The DC 315 coating must be applied in accordance with the manufacturer's instructions and [ESR-3702](#). The Blazelok TBX coating must be applied in accordance with the manufacturer's instructions and [ESR-3997](#). Surfaces to be coated must be dry, clean and free of dirt, loose debris and other substances that could interfere with the adhesion of the coating. The coating is applied in one coat by airless spray equipment at ambient temperatures above 50°F (10°C) and relative humidity of less than 70 percent.

4.4 Ignition Barrier – Attics and Crawl Spaces:

4.4.1 Application with a Prescriptive Ignition Barrier:

When Demilec Heatlok® XT-s insulation is installed within attics or crawl spaces where entry is made only for service of utilities, an ignition barrier must be installed in accordance with IBC Section 2603.4.1.6 and IRC Sections R316.5.3 and R316.5.4, as applicable. The ignition barrier must be consistent with the requirements for the type of construction required by the applicable code, and must be installed in a manner so that the foam plastic insulation is not exposed. The attic or crawl space area must be separated from the interior of the building by an approved 15-minute thermal barrier as described in Section 4.3.1.

Demilec Heatlok® XT-s insulation, as described in this section, may be installed in unvented attics in accordance with 2018, 2015 and 2012 IRC Section R806.5 (2009 IRC Section R806.4) or 2018 IBC Section 1202.3 (2015 IBC Section 1203.3).

4.4.2 Application without a Prescriptive Ignition Barrier:

Where the spray-applied insulation is installed in accordance with Section 4.4.2.1, the following conditions apply:

- Entry to the attic or crawl space is to only service utilities, and no storage is permitted.
- There are no interconnected attic or crawl space areas.
- Air in the attic or crawl space is not circulated to other parts of the building.
- Attic ventilation is provided when required by 2018 IBC Section 1202.2 (2015, 2012 and 2009 IBC Section 1203.2) or IRC Section R806, except when air-impermeable insulation is permitted in unvented attics in accordance with the 2018 IBC Section 1202.3 (2015 IBC Section 1203.3) or 2018, 2015 and 2012 IRC

Section R806.5 (2009 IRC Section R806.4). Under-floor (crawl space) ventilation is provided when required by 2018 IBC Section 1202.4 (2015 IBC Section 1203.4, 2012 and 2009 IBC Section 1203.3) or IRC Section R408.1, as applicable.

- e) Combustion air is provided in accordance with *International Mechanical Code*[®] Section 701.

4.4.2.1 Application without a Prescriptive Ignition Barrier: In attics and crawl spaces, Demilec Heatlok[®] XT-s insulation may be spray-applied to the underside of roof sheathing and/or rafters, and to vertical surfaces and the underside of floors as described in this section. The thickness of the foam plastic applied to the underside of the overhead surfaces (roof sheathing, rafters and the underside of floors) must not exceed 11½ inches (292 mm). The thickness of the foam plastic applied to vertical surfaces must not exceed 7½ inches (191 mm). The insulation may be left exposed without a prescriptive ignition barrier or fire-protective coating. The attic or crawl space must be separated from the interior of the building by an approved 15-minute thermal barrier as described in Section 4.3.1.

4.4.2.2 Use on Attic Floors: Demilec Heatlok[®] XT-s insulation may be installed at a maximum thickness of 11½ inches (292 mm) between and over joists in attic floors. The Demilec Heatlok[®] XT-s insulation must be separated from the interior of the building by an approved thermal barrier. The coating specified in Section 4.3.2 and the ignition barrier in accordance with IBC Section 2603.4.1.6 and IRC Section R316.5.3 may be omitted.

4.5 Exterior Walls of Type I, II, III and IV Construction:

4.5.1 General: When used on exterior walls of Type I, II, III, and IV construction that are 40 feet (12 192 mm) or less above grade plane, the Heatlok[®] XT-s insulation must comply with Section 2603.5 of the IBC and this section (Section 4.5). The insulation must not exceed a maximum thickness of 3.2 inches (81 mm). The potential heat of Demilec Heatlok[®] XT-s insulation is 1953 Btu/ft² (22.0 MJ/m²) per inch of thickness when tested in accordance with NFPA 259.

4.5.2 Specific Wall Assemblies: One layer of 5/8-inch-thick (15.9 mm), Type X gypsum wallboard complying with ASTM C36 or ASTM C1396 is installed with the long dimension perpendicular to 35/8-inch-deep (92 mm), No. 20 gage steel studs spaced a maximum of 24 inches (610 mm) on center. The wallboard is attached with No. 6, 1¼-inch-long (32 mm), self-tapping screws located 8 inches (203 mm) on center along the perimeter and in the field of the wallboard. Wallboard joints must be taped and treated with joint compound in accordance with ASTM C840 or GA-216. Fastener heads must also be treated with joint compound in accordance with ASTM C840 or GA-216.

4.5.3 Exterior Face: One layer of 5/8-inch-thick (15.9 mm) sheathing complying with ASTM C1177 is attached to steel studs using 1¼-inch-long (32 mm), self-tapping screws spaced 8 inches (203 mm) on center along the perimeter and in the field of the sheathing. Heatlok[®] XT-s spray-applied polyurethane foam insulation, at a maximum thickness of 3.2 inches (81 mm), is spray-applied onto the exterior of sheathing. Brick ties, 3½ inches long (89 mm), must be installed at a nominal 24 inches on center to each vertical steel stud, using two No. 14 by 5-inch-long (127 mm) hex head screws. Exterior veneer must be 4-inch-thick (102 mm) standard brick with a nominally 2-inch air gap between brick and the foam plastic insulation.

5.0 CONDITIONS OF USE

The Demilec Heatlok[®] XT-s insulation described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 This evaluation report and the manufacturer's published installation instructions, when required by the code official, must be submitted at the time of permit application.
- 5.2 Demilec Heatlok[®] XT-s insulation and applicable coating must be installed in accordance with the manufacturer's published installation instructions, this report and the applicable code. The instructions within this report govern if there are any conflicts between the manufacturer's published installation instructions and this report.
- 5.3 Demilec Heatlok[®] XT-s insulation must be separated from the interior of the building by an approved thermal barrier, as described in Section 4.3.1, except when installation is as described in Section 4.3.2 and 4.4.
- 5.4 Demilec Heatlok[®] XT-s insulation must be protected from the weather during application.
- 5.5 Demilec Heatlok[®] XT-s insulation must be applied by installers approved by Demilec.
- 5.6 Use of Demilec Heatlok[®] XT-s insulations in areas where the probability of termite infestation is "very heavy" must be in accordance with 2018, 2015 and 2009 IBC Section 2603.8 (2012 IBC Section 2603.9) or IRC Section R318.4, as applicable.
- 5.7 Jobsite certification and labeling of the insulation must comply with 2018 and 2015 IRC Sections N1101.10.1 and N1101.10.1.1, 2012 IRC Sections N1101.12.1 and N1101.12.1.1 or 2009 IRC Sections N1101.4 and N1101.4.1) and 2018, 2015 and 2012 IECC Sections C303.1.1, C303.1.1.1, R303.1.1 and R303.1.1.1 (2009 IECC Sections 303.1.1 and 303.1.1.1), as applicable.
- 5.8 When use is on exterior walls of buildings of Types I, II, III, and IV, construction must be as described in Section 4.5 and must not exceed 40 feet (12 192 mm) above grade plane.
- 5.9 Demilec Heatlok[®] XT-s insulation is produced in Arlington, Texas and Boisbriand, Quebec, Canada under a quality-control program with inspections by ICC-ES.

6.0 EVIDENCE SUBMITTED

- 6.1 Data in accordance with the ICC-ES Acceptance Criteria for Spray-applied Foam Plastic Insulation (AC377), dated April 2016, including reports of tests in accordance with Appendix X of AC377.
- 6.2 Reports on room corner tests in accordance with NFPA 286.
- 6.3 Report on air leakage testing in accordance with ASTM E283.
- 6.4 Reports on water vapor transmission tests in accordance with ASTM E96 (desiccant method).
- 6.5 Reports of fire propagation characteristics tests in accordance with NFPA 285.
- 6.6 Reports of potential heat of foam plastic tests in accordance with NFPA 259.
- 6.7 Supplementary fire engineering analysis.

7.0 IDENTIFICATION

7.1 Components for Demilec Heatlok® XT-s insulation are identified with the manufacturer’s name (Demilec), address and telephone number; the product trade name (Demilec Heatlok® XT-s); product type (A or B component); use instructions; the density; the flame-spread and smoke-developed indices; the evaluation report number (ESR-3824).

The TPR² Corporation Blazelok™ TBX coating is labeled with the manufacturer’s name, the product trade name, date of manufacture, shelf life or expiration date, manufacturer’s instructions for application and [ESR-3997](#).

The International Fireproof Technology / Paint To Protect, Inc. DC 315 coating is identified with the manufacturer’s name, the product trade name, date of manufacture, shelf life or expiration date, manufacturer’s instructions for application and ICC-ES evaluation report number [ESR-3702](#).

7.2 The report holder’s contact information is the following:

DEMILEC (USA) INC.
3315 EAST DIVISION STREET
ARLINGTON, TEXAS 76011
(817) 640-4900
www.demilec.com

8.0 OTHER CODES

8.1 Scope:

In addition to the codes referenced in Section 1.0, the products recognized in this report have also been evaluated for compliance with the following codes:

- 2006 IBC
- 2006 IRC
- 2006 IECC

8.2 Uses:

The products comply with the above-mentioned codes as described in Sections 2.0 through 7.0 of this report, except as noted below:

- **Application with a Prescriptive Thermal Barrier:** See Section 4.3.1, except the approved thermal barrier must be installed in accordance with Section R314.4 of the 2006 IRC.
- **Application without a Prescriptive Thermal Barrier:** See Section 4.3.2.
- **Application with a Prescriptive Ignition Barrier:** See Section 4.4.1, except attics must be vented in accordance with Section 1203.2 of the 2006 IBC or Section R806 of the 2006 IRC, and crawl space ventilation must be in accordance with 2006 IBC Section 1203.3 or 2006 IRC Section R408, as applicable.
- **Application without a Prescriptive Ignition Barrier:** See Section 4.4.2, except attics must be vented in accordance with Section 1203.2 of the 2006 IBC or Section R806 of the 2006 IRC, crawl space ventilation must be in accordance with 2006 IBC Section 1203.3 or 2006 IRC Section R408, as applicable, and combustion air is provided in accordance with 2006 *International Mechanical Code*® Sections 701 and 703.
- **Protection Against Termites:** See Section 5.6, except use of the insulation in areas where the probability of termite infestation is “very heavy” must be in accordance with Section R320.5 of the 2006 IRC.
- **Jobsite Certification and Labeling:** See Section 5.7, except jobsite certification and labeling must comply with Sections 102.1.1 and 102.1.1.1, as applicable, of the 2006 IECC.

TABLE 1—THERMAL RESISTANCE (R-VALUES)¹

THICKNESS (inches)	DEMILEC HEATLOK® XT-s R-VALUE (°F.ft ² .h/Btu)
1	6.7
2	13
3	19
3.5	23
4	26
5	32
5.5	35
6	39
7	45
7.75	50
8	51
9	58
10	64
11	71
12	77
13	84
14	90
15	97
16	103

For SI: 1 inch = 25.4 mm; 1°F.ft².hr/Btu = 0.176 110 k.m²/W.

¹Calculated R-values are based on tested K-values at 1- and 3.5-inch thicknesses

*R-values greater than 10 are rounded to the nearest whole number

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
Section: 07 21 00—Thermal Insulation

REPORT HOLDER:

DEMILEC (USA) INC.

EVALUATION SUBJECT:

HEATLOK® XT-s SPRAY-APPLIED INSULATION

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Demilec Heatlok® XT-s closed cell spray foam product, recognized in ICC-ES evaluation report ESR-3824 has also been evaluated for compliance with the codes noted below.

Applicable code editions:

- 2017 Florida Building Code—Residential
- 2017 Florida Building Code—Building

2.0 CONCLUSIONS

The Demilec Heatlok® XT-s closed cell spray foam product, described in Sections 2.0 through 7.0 of the evaluation report ESR-3824, complies with the *Florida Building Code—Residential* and *Florida Building Code—Building*, provided the design and installation are in accordance with the 2012 *International Building Code*® (IBC) provisions noted in the evaluation report.

Installation must meet the requirements of Sections 1403.8 and 2603.8 of the *Florida Building Code—Building* and Sections R318.7 and R318.8 of the *Florida Building Code—Residential*, as applicable.

Use of the Demilec Heatlok® XT-s closed cell spray foam product for compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Residential* and *Florida Building Code—Building* has not been evaluated, and is outside the scope of this supplemental report.

For products falling under Florida Rule 9N-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

This supplement expires concurrently with the evaluation report, reissued June 2020.



CLOSED-CELL Spray Foam

LIMITED LIFETIME WARRANTY

Huntsman Building Solutions (HBS) warrants all Closed-Cell Spray Foam when installed by approved contractors using factory trained applicators and applied in accordance to the product specification, will perform as stated in the Product Technical Data Sheet. This warranty is in effect throughout the life of the building provided the original purchaser registers with the Warranty Department of HBS within 90 days from product application. HBS's sole responsibility under this Limited Lifetime Warranty shall be to repair or replace any defective Product at the cost of the material only. HBS shall not be responsible for labor cost or any other costs whatsoever related to, or in connection with, the removal or installation of either the original or replacement product.

HBS shall not be held liable under this Warranty for defects or failure caused by improper installation of Product (not in strict adherence with HBS's written instructions) or damage due to fire, storms, floods, acts of God, abuse, neglect, or defects, failure or damage caused by materials adjacent to the Product, or damage caused by alteration after completion of the installation of the Product.

Statements made by contractors and installers about the performance qualities of the Product or contained in advertising literature do not constitute an expressed warranty. This Limited Lifetime Warranty gives the building owner specific legal rights, and the building owner may also have other rights, which can vary from state to state. Building owners making claims under this Limited Lifetime Warranty must notify HBS in writing of the defect promptly following its discovery and must submit with this notice proof of the date of purchase, contractor who applied the Product and the date, location and description of the circumstances under which the defect occurred or was first noticed. Notice shall be given in writing to the address below.

THIS WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, WHETHER AT LAW OR IN EQUITY, OR WHETHER ARISING OR EXISTING UNDER STATUTE. HBS DISCLAIMS ALL OTHER EXPRESS OR IMPLIED WARRANTIES, INCLUDING, BUT NOT LIMITED TO, IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. UNDER NO CIRCUMSTANCES WILL HBS BE LIABLE FOR SPECIAL, INCIDENTAL, PUNITIVE, OR CONSEQUENTIAL DAMAGES, ARISING FROM OR IN CONNECTION WITH THE PRODUCT OR ITS USE. HBS SHALL NOT BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES ARISING FROM BREACH OF THE EXPRESS WARRANTY OR FOR THE COST OF REMOVING, INSTALLING, OR REINSTATING ANY REPAIR OR REPLACEMENT.

Warranty and Claims Department
Huntsman Building Solutions (USA) LLC
3315 E. Division Street
Arlington, TX 76011
Phone: 817-640-4900
Email: Info@huntsmanbuilds.com
Website: www.huntsmanbuildingsolutions.com

**SECTION 01.25.01
SUBSTITUTION REQUEST FORM**

PROJECT DATA

PROJECT: COK Public Safety Complex PROJECT NO.: 19018
OWNER: City of Knoxville 400 Main Street, Knoxville, TN 37902
ARCHITECT: McCarty Holsaple McCarty, Inc.
550 W. Main Street, Suite 300
Knoxville, TN 37902

CONTRACTOR'S REQUEST, WITH SUPPORTING DATA

1. Section of the Specifications to which this request applies: 10.22.23.23
- Product data for specified item and proposed substitution is attached, including product description, specification data, illustrations, reference standards, and performance and test data.
- Sample is attached Sample will be sent if requested by Architect
2. Itemized comparison of proposed substitution with specified item
- a. Data Relative to Specified Item:
- 1) Name, Brand: Hufcor
- 2) Catalog No.: 632
- 3) Manufacturer: Hufcor
- b. Data Relative to Proposed Substitution
- 1) Name, Brand: Moderco
- 2) Catalog No.: 842
- 3) Manufacturer: Moderco
- c. Significant variations, including elements such as size, weight, durability, performance, and visual effect:
None
3. Proposed change in Contract Sum:
- Credit to Owner \$ unknown
- Additional Cost to Owner \$ unknown
4. Effect of the proposed substitution of the Work:
- Contract Time no change
- Changes or Modifications required to Other Parts of the Work: none

Changes or Modifications required to Other Contracts: _____

none

5. Reason for Substitution Request:

Would like a competitive bid

CONTRACTOR'S STATEMENT OF CONFORMANCE

I/we have investigated the proposed substitution. I/we:

1. believe and certify that it is equal or superior in all respects to the originally specified product, except as stated in 2 above;
2. certify that it will perform adequately in the application indicated;
3. will provide the same warranty or guaranty as required in the Contract Documents;
4. have included all cost data and cost implications of the proposed substitution, including, if required, costs to other contractors, and redesign and special inspection costs caused by the use of this product;
5. will coordinate the incorporation of the proposed substitution in the Work;
6. will modify other parts of the Work as may be needed to make all parts of the Work complete and functioning;
7. have verified that use of this substitution conforms to all applicable codes;
8. waive future claims for added cost to Owner caused by the proposed substitution.

Contractor: _____ Date _____

ARCHITECT'S REVIEW AND ACTION

___ Provide more information in the following categories and resubmit:

___ Sign Contractor's Statement of Conformance and resubmit.

The proposed substitution is approved.

___ The proposed substitution is approved, with the following conditions:

_____ The proposed substitution is rejected.

The following changes will be made by Change Order:

Addition to/Deduction from the Contract Sum: \$ _____

Addition to/Deduction from the Contract Time _____ days

David S. Collins, AIA

2/22/2021

McCarty Holsaple McCarty, Inc.

Date

END OF SECTION 01.25.01



SUBSTITUTION REQUEST

(During The Bidding Phase)

Project:	<u>Cok Public Safety Complex</u>	Substitution Request Nbr:	<u>ONE</u>
	<u>Knoxville, TN</u>	From:	<u>South Eastern Acoustics, Inc.</u>
To:	<u>MHM - McCarty Holsaple McCarty Inc</u>	Date:	<u>02/17/2021</u>
	<u>550 W Main St Ste 300 Knoxville TN 37902</u>	A/E Project Number	<u>CCI Project # 00227-0043 Project 19018</u>
Re:	<u>Substitution Request</u>	Contract For:	<u>N/A</u>
Specification Titles:	<u>10.22.23.23 Movable Panel Systems</u>	Description:	<u>Manually Operated, Paired Acoustical Panel Partitions</u>
Proposed	_____	Article/Paragraph:	_____
Substitution:	_____		
Manufacturer: Trade	<u>MODERCO Signature Series Model 842 STC49</u>		
Name:	<u>MODERCO, INC.</u>	Address:	<u>115 de Lauzon, Boucherville, Canada</u>
	<u>MODERCO, INC.</u>	Phone:	<u>(450) 641-3150</u>
		Model No:	<u>MODERCO MODEL # 842</u>

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted By: Amy Garrett, Estimator/Project Manager

Signed By: _____

Firm: South Eastern Acoustics, Inc.

Address: 4850 Golden Parkway, Suite B 338 Telephone: 678-482-6448

Buford, GA 30518

A/E's REVIEW AND ACTION

- Substitution approved - Make submittal in accordance with Specification Section noted.
- Substitution approved as noted - Make submittal in accordance with Specification Section noted.
- Substitution rejected - Use specified materials.
- Substitution Request received too late - Use specified materials.

Signed By: _____ Date: _____

Supporting Data Attached: Drawings Product Data Samples Tests Reports

	Specified	Proposed
Manufacturer	Hufcor	Moderco
Stack Configuration	Center Stacking	Center Stacking
Operation Mode	Manual	Manual
Model Number	632	842
Panel Skin	Steel	Steel
Panel Frames	Steel	steel
Skin Attached	welded	welded
Panel Hinges	concealed	concealed
Final Closure	standard	standard expandable panel
Finish	custom hytex	custom hytex
Track	aluminum	Aluminum
Trim	gray trim	clear anodized aluminum/gray
STC Rating	49	49
Top Seals	Fixed	Fixed
Bottom Seals	Manual	manual
Track Attached	Adjustable Hanger Rods	Adjustable Hanger Rods
Pass Doors	Yes	Yes
Pocket doors	not specified	not specified/available
Guarantee	not specified	5 years



SPECIFICATIONS - SECTION 10 22 26 OPERABLE PARTITIONS

Part 1 – General

1.1 Description

A. General:

1. Furnish and install operable partitions and suspension system. Provide all labor, materials, tools, equipment, and services for operable walls in accordance with provisions of contract documents.

1.2 Related work by others

A. Preparation of opening will be by General Contractor. Any deviation of site conditions contrary to approved shop drawings must be called to the attention of the architect.

B. All header, blocking, support structures, jambs, track enclosures, surrounding insulation, and sound baffles as required in 1.4 Quality Assurance.

C. Pre-punching of support structure in accordance with approved shop drawings.

D. Paint or otherwise finishing all trim and other materials adjoining head and jamb of operable partitions.

1.3 Submittals

A. Complete shop drawings are to be provided prior to fabrication indicating construction and installation details. Shop drawings must be submitted within 60 days after receipt of signed contract.

1.4 Quality Insurance

A. Installation shall be performed by an installer certified by the manufacturer.

B. Preparation of the opening shall conform to the criteria set forth by ASTM E557 Standard Practice for Architectural Application and Installation of Operable Partitions.

C. The partition STC (Sound Transmission Classification) shall be achieved per the standard test method ASTM E90-99 and E413-87. Test run under ASTM procedures prior to E90-99 shall not be permitted. All tests must be from an independent, currently operating, NIST-accredited laboratory available to verify results.

1.5 Product delivery, storage, and handling

A. Proper storage of partitions before installation, and continued protection during and after installation will be the responsibility of the General Contractor.

1.6 Warranty

A. Partition panels shall be guaranteed for a period of two years with all mechanical parts including track and carriers guaranteed for a period of five years. This guarantee is against defects in material or workmanship of manufacturer's product, excluding abuse.



Part 2 – Products

2.1 Manufacturers

- A. Manufacturers: Subject to compliance with requirements, provide products by the following:
1. Moderco Inc.

2.2 Operation

- A. Signature 842 manually operated, top supported paired panels.

B. Initial seal (select one):

1. Bulb seal.
2. Fixed wall jamb. (Optional)

C. Final closure (select one):

1. Telescopic closure panel equipped with a telescopic jamb mounted to a rack and pinion mechanism and extended with a lever handle.
2. Hinged closure panel (up to 12'-0" [3658mm] height). (Optional)
 - a. Same construction and face finish as partition panels.
 - b. Standard hardware:
 - (i). Flush pulls and roller latch.
 - c. Optional hardware (select one):
 - (i). Panic bar with non-lockable lever.
 - (ii). Panic bar with lockable lever.
 - (iii). Deadbolt lock.

2.2 Panel construction

A. Nominal 4" [102mm] thick panels, up to 48 1/2" [1230mm] width. Framing members to be steel-braced mechanically fastened 6065-T5 aluminum alloy extrusions. Thinnest extrusion section to be no less than 3/32" [2.5mm]. Trolley pipes welded to 1 1/2" X 1 1/2" X 3/32" [38mm X 38mm X 2.5mm] steel tube mechanically fastened to top frame extrusion. Panel cavity to be filled with acoustical insulation. Panel faces to be removable and replaceable on site to accommodate changes in room function, interior finishes, etc.

B. Acoustical rating (select one):

1. 43 STC.
2. 47 STC.
3. 49 STC.
4. 52 STC.
5. 53 STC.
6. 55 STC.

C. Panel face construction (select one):

1. STC 49, 52, 53, 55: galvanized steel skins laminated to 1/2" [13mm] gypsum board. Steel thickness based on STC rating.
2. STC 47, 49, 52, 53, 55: 1/2" [13mm] tackable gypsum board with galvanized steel liner. Steel thickness based on STC rating. (Optional)
3. STC 43: 1/2" [13mm] tackable gypsum board.
4. STC 47, 49, 52, 53, 55 with optional plastic laminate or wood veneer finish: 1/2" [13mm] Particle board with galvanized steel liner. Steel thickness based on STC rating.
 - a. Standard Particle board.
 - b. ULEF/NAUF Particle board. (Optional)



5. STC 43 with optional plastic laminate or wood veneer finish: 1/2" [13mm] Particle board.
 - a. Standard Particle board.
 - b. ULEF/NAUF Particle board. (Optional)

D. Hinges:

1. (With protective trims) Discreet steel hinges blend into the shape of the frame extrusion.
2. (With trimless edges) Discreet steel hinges to project no more than 1/4" [6mm] from the panel face.

E. Vertical trims (select one):

1. Protective trims cover and protect all edges of the panel faces and face finish.
2. Trimless vertical edges. (Optional)

F. Panel weight:

1. Between 6 to 9.5 lbs/sq.ft [29 to 46 kg/sq.m] (based on STC rating).

2.4 Panel finishes

A. Face finish shall be (select as required):

1. Factory applied reinforced vinyl wallcovering with woven backing, weighing 21 oz/lin.yard [545 g/lin.m]. Color selected from manufacturer's standard color selector.
2. Factory applied polyester or olefin/polyester stain-resistant fabric. Color selected from manufacturer's standard color selector. (Optional)
3. Factory applied vertically ribbed polyester carpet (NRC 0.20). Color selected from manufacturer's standard color selector. (Optional)
4. Customer's own material (C.O.M.) supplied to and applied by manufacturer. (Subject to approval.) (Optional)
5. Customer's specified material (C.S.M.) procured and applied by manufacturer. (Subject to approval.) (Optional)
6. Full height steel marker board. (Optional)
7. Full height porcelain marker board (with protective trims only). (Optional)
8. Full height natural cork bulletin board (with protective trims only). (Optional)
9. Vinyl- or fabric-covered full height natural cork bulletin board. (Optional)
10. Full height Forbo bulletin board (with protective trims only). (Optional)
11. Wilsonart high pressure laminate (38 and 60 suffixes). (Optional)
12. Wood veneer. (Optional)
13. Uncovered (not available for 43 or 47 STC panels with trimless vertical edges). (Optional)

B. Panel frame finish shall be (select one):

1. Clear satin anodized.
2. Powder coating. Color selected from RAL Classic color system. (Optional)
3. Custom powder coating. (Color chip to be supplied to Moderco. Moderco's color-match must be approved by architect prior to any material being released for fabrication) (Optional)

2.5 Sound seals

A. Vertical seals:

1. Dual aluminum and pvc tongue and groove interlocking seals in each panel edge.

B. Horizontal seals (select one):

1. Type FA: 1" [25mm] fixed pvc top sweeps and automatically operated bottom seals. Bottom seals automatically drop as panel are positioned without use of a tool. Bottom seals



retract automatically when panel is pulled away from wall or adjacent panel. (Not available on 53 and 55 STC.)

a. FA-2: 2" [51mm] floor clearance with 1 1/2" [38mm] operating range.

2. Type FM: 1" [25mm] fixed pvc top sweeps and manually operated bottom seals. Bottom seals extend and retract with half a turn of a removable lever handle. (Optional) (Not available on 53 and 55 STC.)

(Select one)

a. FM-1: 1" [25mm] floor clearance with 5/8" [16mm] operating range.

b. FM-1.5: 1 1/2" [38mm] floor clearance with 3/4" [19mm] operating range.

c. FM-2: 2" [51mm] floor clearance with 1" [25mm] operating range.

d. FM-2.5: 2 1/2" [64mm] floor clearance with 2" [51mm] operating range.

e. FM-4: 4" [102mm] floor clearance with 3 1/2" [89mm] operating range.

3. Type MM: Manually operated top and bottom seals. Top and bottom seals extend and retract simultaneously with half a turn of a removable lever handle. (Optional)

(Select one)

a. MM-1 *: 1" [25mm] track clearance. 1" [25mm] floor clearance with 5/8" [16mm] operating range.

b. MM-1.5: 1" [25mm] track clearance. 1 1/2" [38mm] floor clearance with 3/4" [19mm] operating range.

c. MM-2: 1" [25mm] track clearance. 2" [51mm] floor clearance with 1" [25mm] operating range.

d. MM-2.5: 1" [25mm] track clearance. 2 1/2" [64mm] floor clearance with 2" [51mm] operating range.

e. MM-4: 1" [25mm] track clearance. 4" [102mm] floor clearance with 3 1/2" [89mm] operating range.

* Type MM-1 horizontal seals are standard for STC 53 panels. Type MM-1 horizontal seals are standard for STC 55 panels with the addition of fixed top sweeps.

4. Type AA: Automatically operated top and bottom seals. Top and bottom seals extend and retract simultaneously without use of a tool. Top and bottom seals retract automatically when panel is pulled away from wall or adjacent panel. (Optional)

a. AA-1.5: 1" [25mm] track clearance. 1 1/2" [38mm] floor clearance with 3/4" [19mm] operating range.

Auto and manual seals specified. Please choose in an addendum

2.6 Suspension system

A. Track and trolleys (select one):

1. #45-T aluminum track: 6063-T6 aluminum alloy extrusion with integral soffit trim supported by pairs of 3/8" [10mm] dia. threaded rods connected to structural support, with or without optional hanger brackets.

a. #45 trolley: Each trolley shall have four precision ground ball bearing wheels with nylon tires.

b. Usage: For panels up to 15'-3" [4648mm] height.

c. Articulated trolley body will keep all wheels on track rolling surfaces at all times.

d. Each panel to be supported by one trolley.

2. #72 steel track: 11 ga. roll-formed steel with integral soffit trim supported by pairs of 3/8" [10mm] dia. threaded rods connected to structural support with hanger brackets. (Optional)

a. #72 trolley: Each trolley shall have four precision ground ball bearing wheels with steel tires.

b. Usage: For panels up to 15'-3" [4648mm] height.

c. Each panel to be supported by one trolley.

5. #55-T aluminum track: 6063-T6 aluminum alloy extrusion with integral soffit trim supported by pairs of 3/8" [10mm] dia. threaded rods connected to structural support, with or without optional hanger brackets.

a. #55 trolley: Each trolley shall have four precision ground ball bearing wheels with steel tires.



- b. Usage: For panels over 15'-3" [4648mm] height.
- c. Each panel to be supported by one trolley.

B. Track finish (select applicable):

1. Aluminum track finish shall be (select one):

- a. Clear satin anodized.
- b. Powder coating. Color selected from RAL Classic color system. (Optional)
- c. Custom powder coating. (Color chip to be supplied to Moderco. Moderco's color-match must be approved prior to any material being released for fabrication) (Optional)

2. Steel track finish shall be (select one):

- a. White powder coating.
- b. Powder coating. Color selected from RAL Classic color system. (Optional)
- c. Custom powder coating. (Color chip to be supplied to Moderco. Moderco's color-match must be approved prior to any material being released for fabrication) (Optional)

2.7 Optional features

A. ADA-compliant single pass through door:

1. Same construction and face finish as partition panels.

2. Standard hardware:

- a. Flush pull on each side.
- b. Roller latch.

3. Optional hardware (select as required):

- a. Concealed automatic closer.
- b. Panic bar with non-lockable lever.
- c. Panic bar with lockable lever.
- d. Self-luminescent exit sign with red (standard) or green (optional) faceplate. *
- e. "Running man" self-luminescent exit sign with green faceplate. *
- f. Deadbolt lock. *
- g. Window frame (glazing by others).
- h. Door viewer.

(* An exit sign and a deadbolt lock will not be installed together on the same door.)

B. ADA-compliant double pass through doors:

1. Same construction and face finish as partition panels.

2. Standard hardware:

- a. Door knobs and "push/pull" latch.
- b. Edge-activated top locking bolt in inactive leaf.

3. Optional hardware (select as required):

- a. Concealed automatic closer.
- b. Panic bar with non-lockable lever in active leaf.
- c. Panic bar with lockable lever in active leaf.
- d. Self-luminescent exit sign with red (standard) or green (optional) faceplate above active leaf. *
- e. "Running man" self-luminescent exit sign with green faceplate above active leaf. *
- f. Deadbolt lock in active leaf. *
- g. Window frame (glazing by others).
- h. Door viewer.

(* An exit sign and a deadbolt lock will not be installed together on the same door.)



C. Work surfaces (select as required):

1. Inset steel white marker boards. (On trimless panels, vertical edges of marker boards will be roll-formed.)
2. Inset porcelain white marker boards.
3. 1/4" [6mm] inset natural cork tack boards.
4. 1/4" [6mm] inset linoleum tack boards.
5. Full-width recessed chalk/marker trays.
6. Recessed eraser boxes.

D. Pocket door (select as required):

1. Acoustical pocket door of same construction and same finish as partition panels.
2. Non-acoustical pocket door of same basic construction and same finish as partition panels.

Part 3 – Execution

3.1 Installation

A. The complete installation of the operable wall system shall be by an authorized factory-trained installer and be in strict accordance with the approved shop drawings and manufacturer's installation instructions.

3.2 Cleaning

A. All track and panel surfaces shall be wiped clean and free of handprints, grease, and soil.

B. Packing and other installation debris shall be removed from the job site.

3.3 Training

A. Installer shall demonstrate proper operation and maintenance procedures to owner's representative.

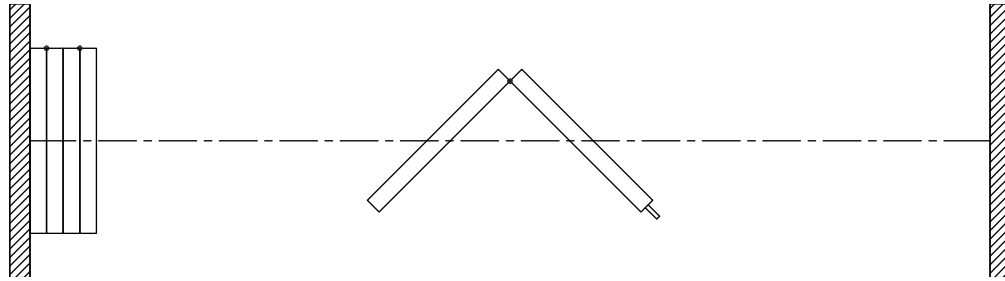
B. Operating handle and owner's manuals shall be provided to owner's representative.



MODERCO

Signature 800 Series

Technical Data Sheet Signature 842



Features & Options

Standard Features

- Manually-operated paired-panel movable partition.
- STC 43 or 47 with gypsum board faces.
- STC 49, 52, 53, or 55 with steel faces laminated to gypsum board.
- 102 mm [4"] nominal thickness. 1230 mm [48 1/2"] maximum width.
- Clear-anodized steel-reinforced aluminum frame.
- Protective trims on entire perimeter.
- Combination aluminum and vinyl tongue and groove vertical sound seals between panels.
- Final closure by telescopic jamb.
- Type FA horizontal seals:
 - Fixed top sweeps
 - Automatic retractable bottom seals set as panels are deployed
 - bottom seals provide a 50 mm [2"] floor clearance
- (STC 53) Type MM-1 horizontal seals:
 - top and bottom retractable seals
 - Manually-operated, simultaneously-activated top and bottom seals
 - bottom seals provide a 25 mm [1"] floor clearance

- (STC 55) Type MM-55 horizontal seals:
 - top and bottom retractable seals
 - Manually-operated, simultaneously-activated top and bottom seals
 - bottom seals provide a 25 mm [1"] floor clearance
 - additional fixed top sweeps
- Low profile steel hinges.
- Clear-anodized 6063-T6 alloy aluminum track.
- Each panel supported by one carrier made up of four vertically-aligned precision-ground hardened steel ball bearing wheels with nylon tires.
- Vinyl wallcovering.

Optional Features and Accessories

- STC 49, 52, 53, or 55 with gypsum board faces and steel backing.
- Trimless vertical edges (STC 49 and over).
- Powder-coated frame and/or track.
- 11 ga. steel track, painted white.
- Upgraded wallcoverings: fabric, vertically-ribbed carpet, plastic laminate, full-height marker board, wood veneer, custom finishes.
- Owner-supplied wallcovering (approval required).

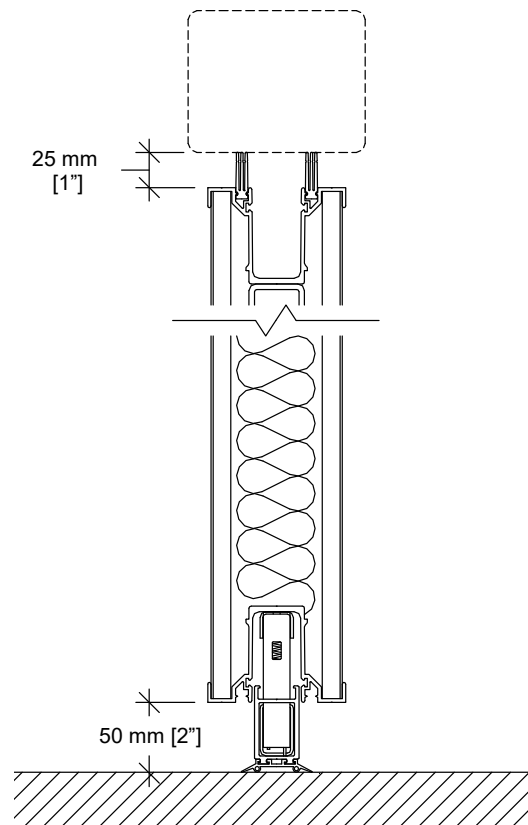
Optional Features and Accessories (cont'd)

- Final closure by hinged closure panel.
- (STC 43 to 52) Type FM horizontal seals:
 - Fixed top sweeps
 - Manually-operated bottom seals
 - bottom seals provide a floor clearance of 25 mm [1"], 38 mm [1 1/2"], 50 mm [2"], 64 mm [2 1/2"], or 102 mm [4"]
- (STC 43 to 52) Type MM horizontal seals:
 - top and bottom retractable seals
 - Manually-operated, simultaneously-activated top and bottom seals
 - bottom seals provide a floor clearance of 25 mm [1"], 38 mm [1 1/2"], 50 mm [2"], 64 mm [2 1/2"], or 102 mm [4"]
- (STC 43 to 52) Type AA horizontal seals:
 - top and bottom retractable seals
 - simultaneously-activated Automatic top and bottom seals
 - bottom seals provide a floor clearance of 38 mm [1 1/2"]
 - simultaneous operation of telescopic closure and seals of last panel / last pair of panels (also available on partitions with type MM-1.5 horizontal seals)
- ADA-compliant pass door with flush pulls and roller latch.
- Door options:
 - concealed automatic closer
 - window frame
 - door viewer
 - panic bar
 - panic bar with lockable lever
 - self-luminescent exit sign with red (standard) or green (optional) faceplate *
 - "running man" self-luminescent exit sign with green faceplate *
 - deadbolt lock *

(* An exit sign and a deadbolt lock will not be installed together on the same door.)

- Inset white marker boards / chalk boards / natural cork tack boards.
- Eraser boxes / chalk trays
- Acoustical or non-acoustical pocket door.
- UL/ULC-listed 1 hour fire-rating (requires type MM-1, MM-1.5, or MM-2 horizontal seals).

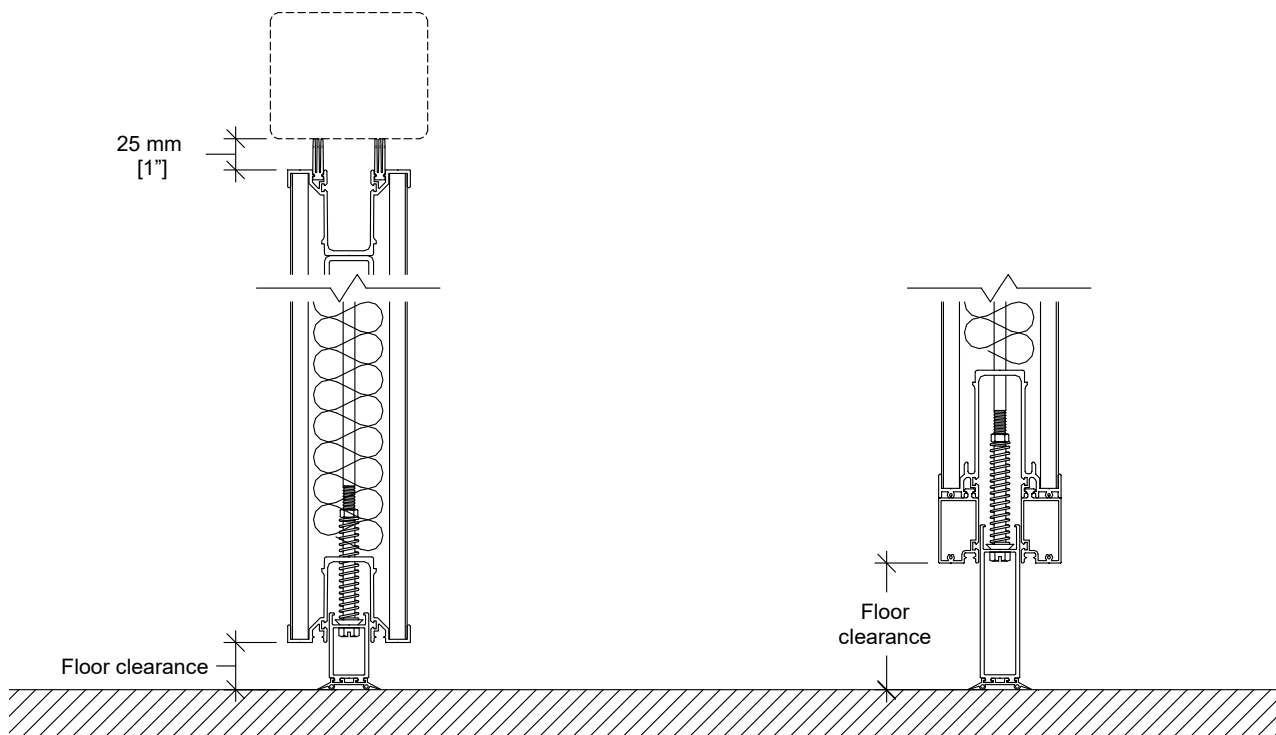
Horizontal Seals



Type FA

Floor clearance : 50 mm [2"]
 Operating tolerances :
 +0 mm / -38 mm [+0" / -1 1/2"]

Horizontal Seals (cont'd)



Type FM-1

Floor clearance : 25 mm [1"]
 Operating tolerances :
 +0 mm / -15 mm [+0" / -5/8"]

Type FM-1.5

Floor clearance : 38 mm [1 1/2"]
 Operating tolerances :
 +0 mm / -19 mm [+0" / -3/4"]

Type FM-2

Floor clearance : 50 mm [2"]
 Operating tolerances :
 +0 mm / -25 mm [+0" / -1"]

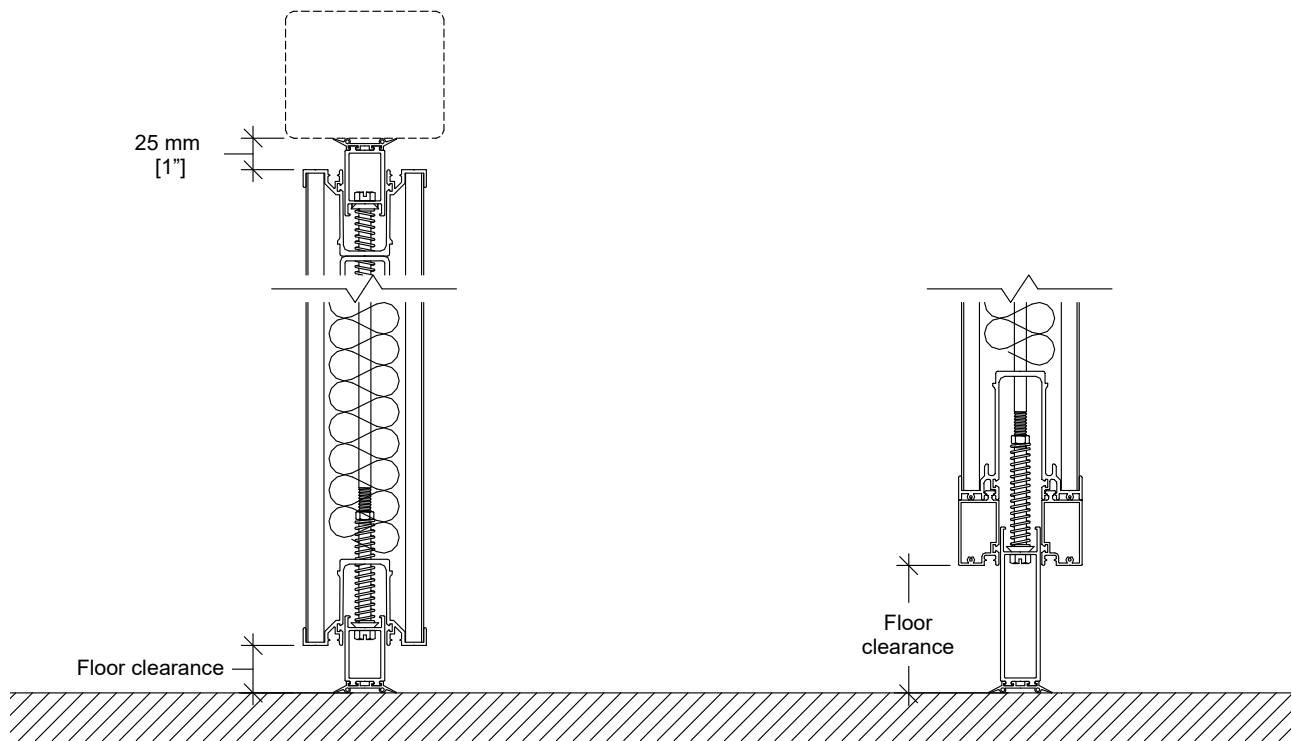
Type FM-2.5

Floor clearance : 64 mm [2 1/2"]
 Operating tolerances :
 +0 mm / -50 mm [+0" / -2"]

Type FM-4

Floor clearance : 102 mm [4"]
 Operating tolerances :
 +0 mm / -89 mm [+0" / -3 1/2"]

Horizontal Seals (cont'd)



Type MM-1

Floor clearance : 25 mm [1"]
 Operating tolerances :
 +0 mm / -15 mm [+0" / -5/8"]

Type MM-1.5

Floor clearance : 38 mm [1 1/2"]
 Operating tolerances :
 +0 mm / -19 mm [+0" / -3/4"]

Type MM-2

Floor clearance : 50 mm [2"]
 Operating tolerances :
 +0 mm / -25 mm [+0" / -1"]

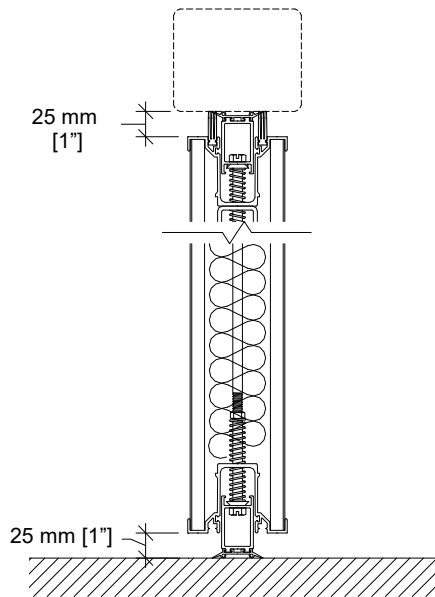
Type MM-2.5

Floor clearance : 64 mm [2 1/2"]
 Operating tolerances :
 +0 mm / -50 mm [+0" / -2"]

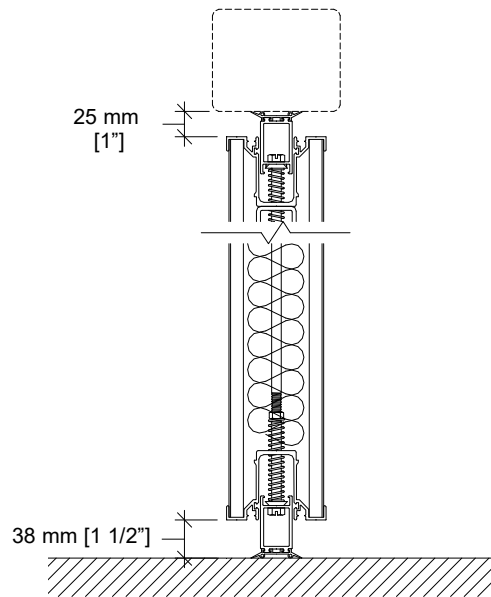
Type MM-4

Floor clearance : 102 mm [4"]
 Operating tolerances :
 +0 mm / -89 mm [+0" / -3 1/2"]

Horizontal Seals (cont'd)

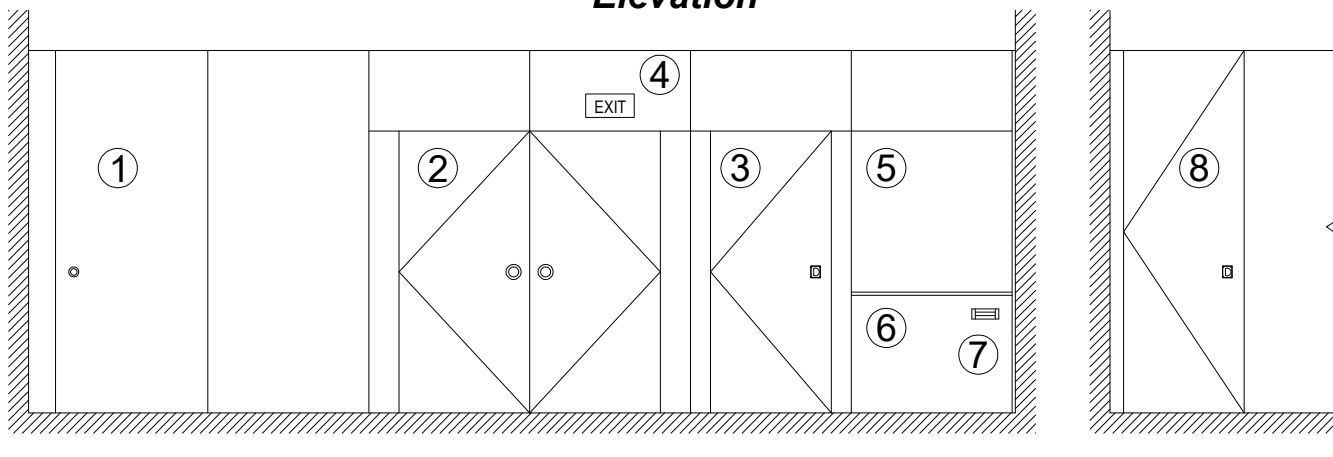


Type MM-55 (STC 55 only)
 Floor clearance : 25 mm [1"]
 Operating tolerances :
 +0 mm / -15 mm [+0" / -5/8"]



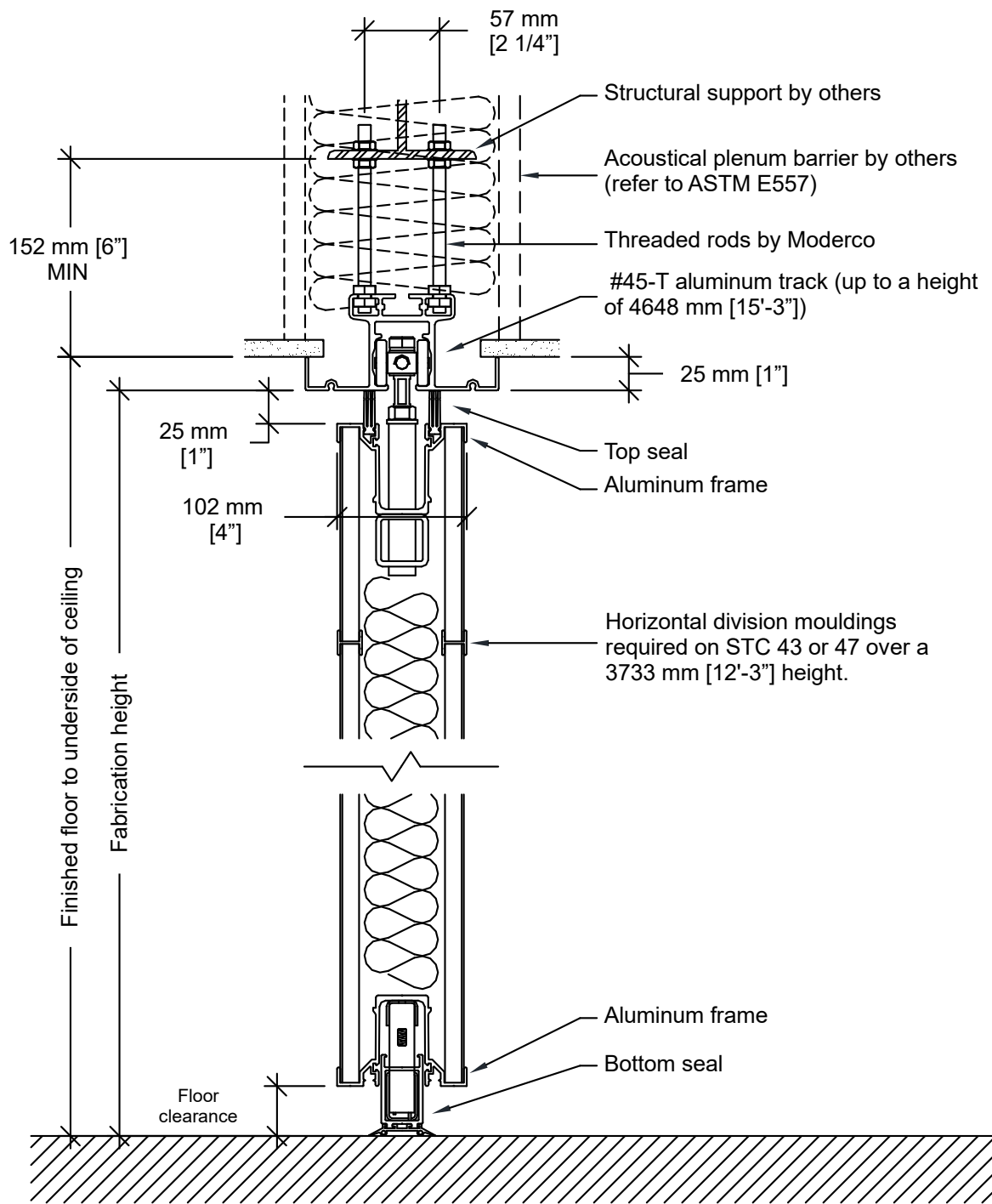
Type AA
 Floor clearance : 38 mm [1 1/2"]
 Operating tolerances :
 +0 mm / -19 mm [+0" / -3/4"]

Elevation

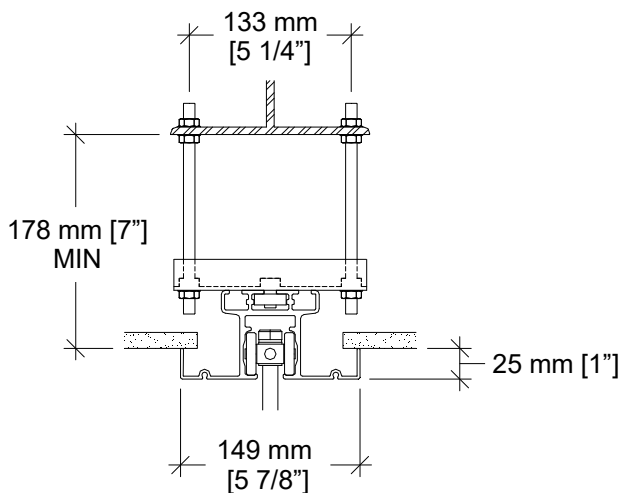


- | | |
|-------------------------------|-------------------------|
| 1- Telescopic closure panel | 5- Work surface |
| 2- Double pass doors | 6- Chalk tray |
| 3- Single pass door | 7- Eraser box |
| 4- Self-illuminated exit sign | 8- Hinged closure panel |

Vertical Section

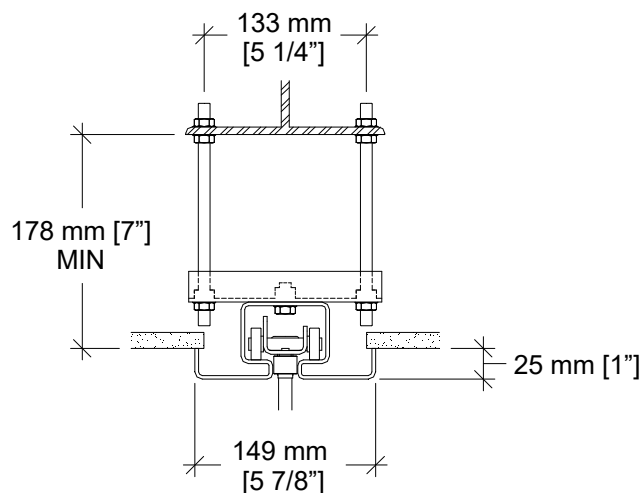


Track Options



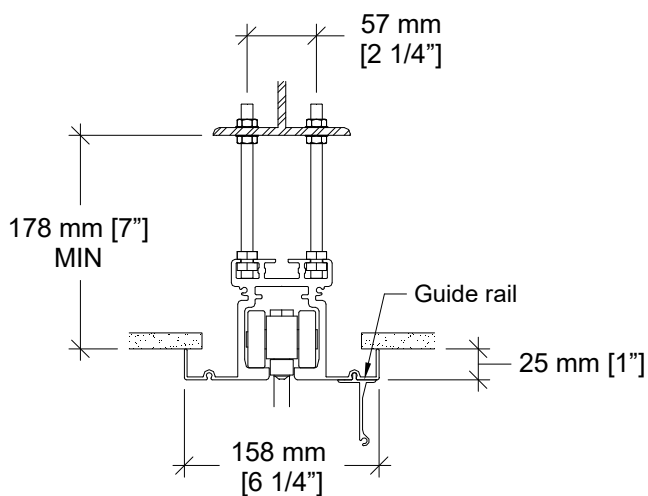
#45-T track with optional hanger bracket

Hanger bracket required for installations where the topmost nuts cannot be used for adjustment.



#72 steel track with hanger bracket

Optional for partitions up to 4648 mm [15'-3"].

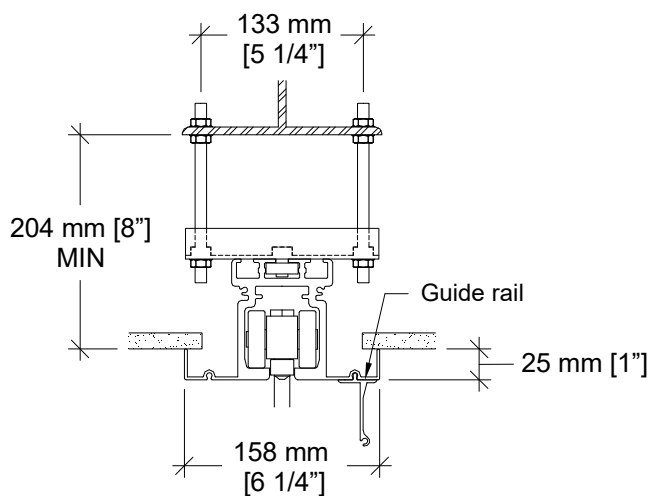


#55-T aluminum track

Standard for partitions from a height of 4648 mm [15'-3"] up to 6781 mm [22'-3"].

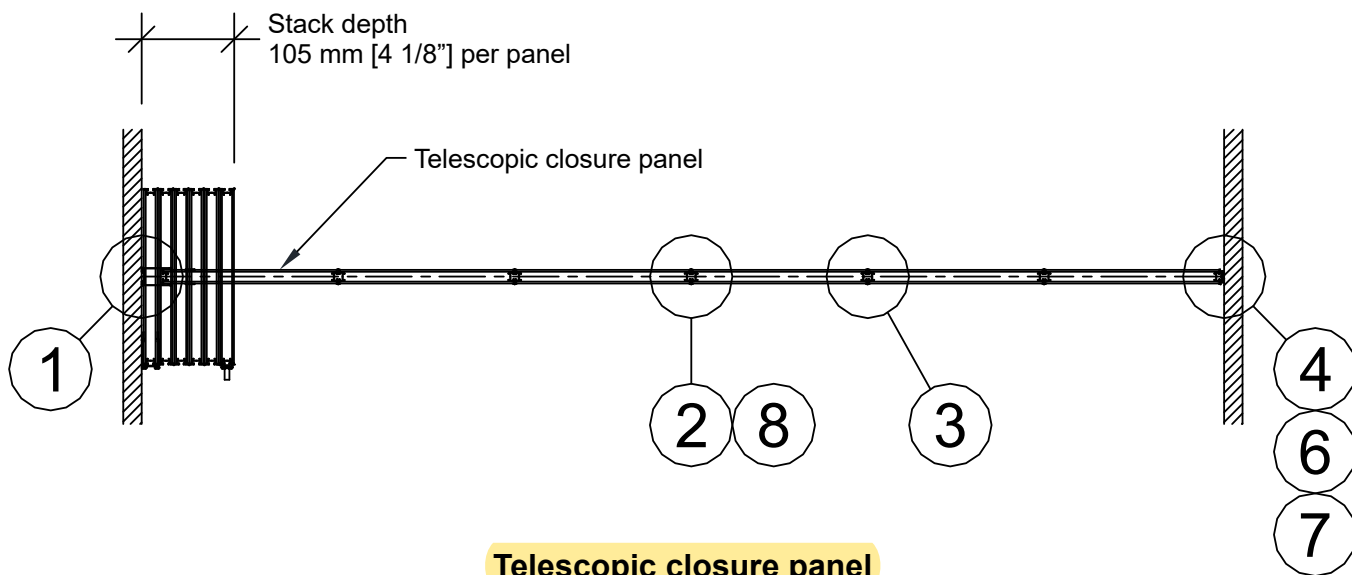
Optional for partitions up to 4648 mm [15'-3"].

Guide rail required for partitions over 4648 mm [15'-3"].

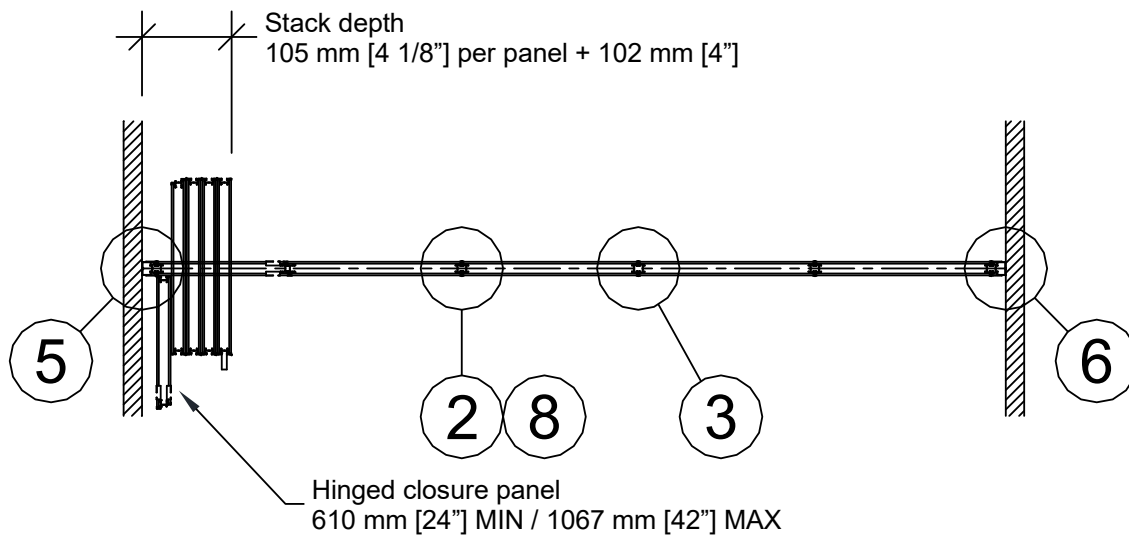


#55-T aluminum track with optional hanger bracket

Plan Views

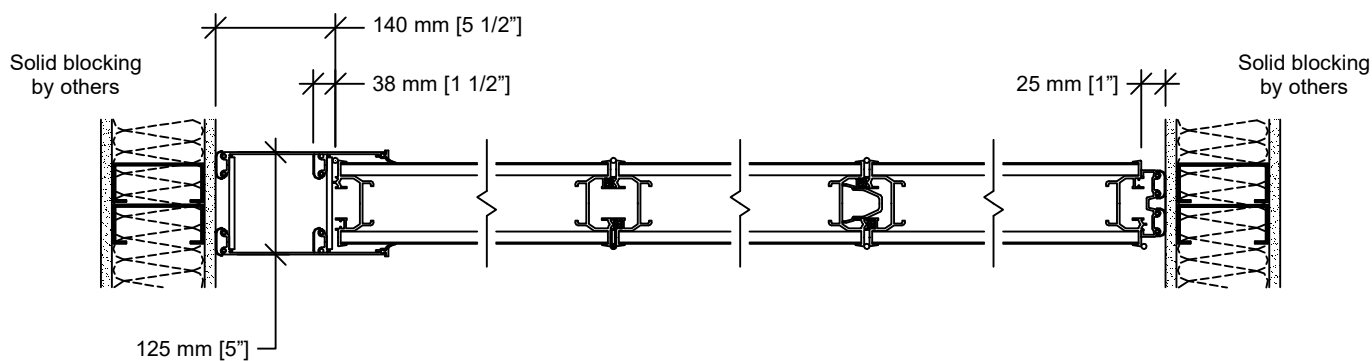


Telescopic closure panel

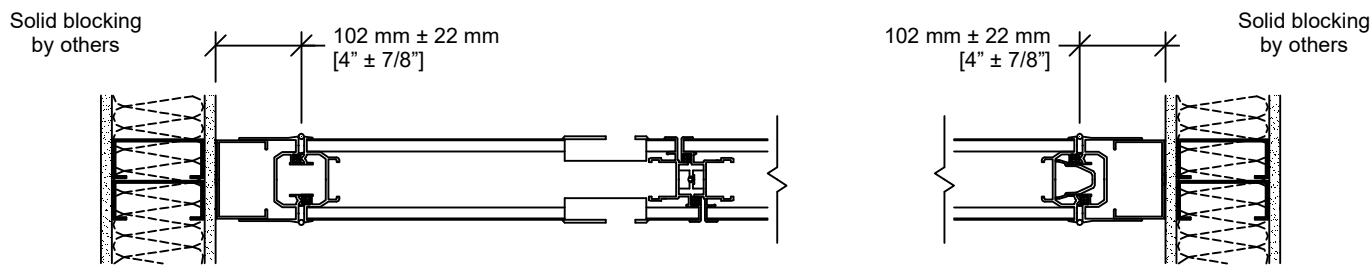


Hinged closure panel

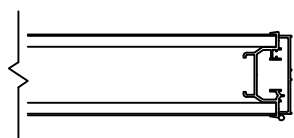
Horizontal Sections



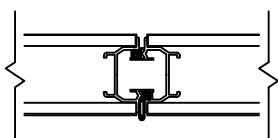
① Telescopic closure
 ② Hinged panel joint
 ③ Panel joint
 ④ Bulb seal



⑤ Hinged closure panel with recessed pulls and roller latch (optional)
 ⑥ Wall jamb (optional)

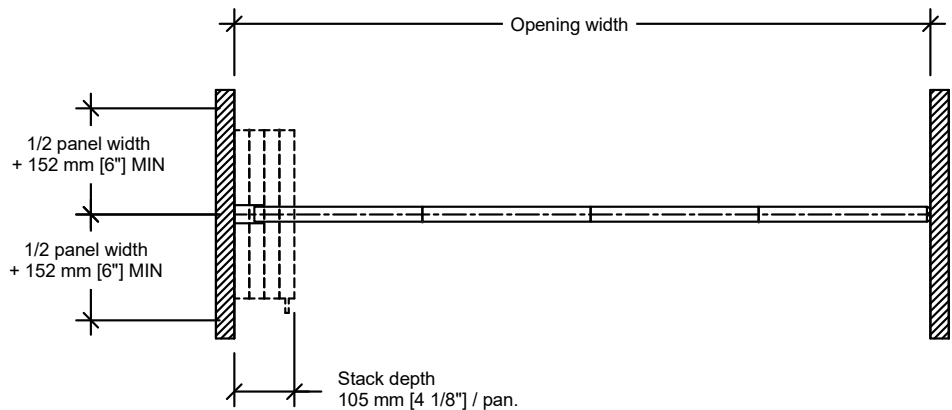


⑦ End cap (optional)

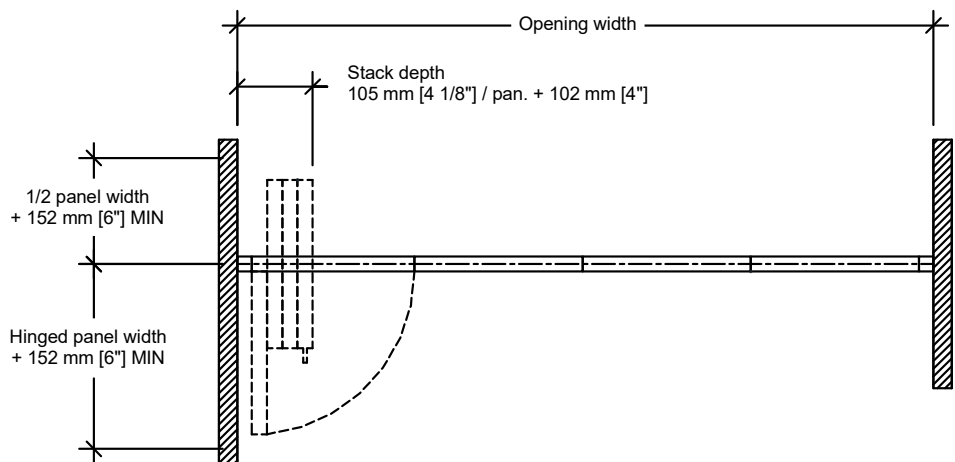


⑧ Panel joint with trimless vertical edges (optional) (STC 49 and over)

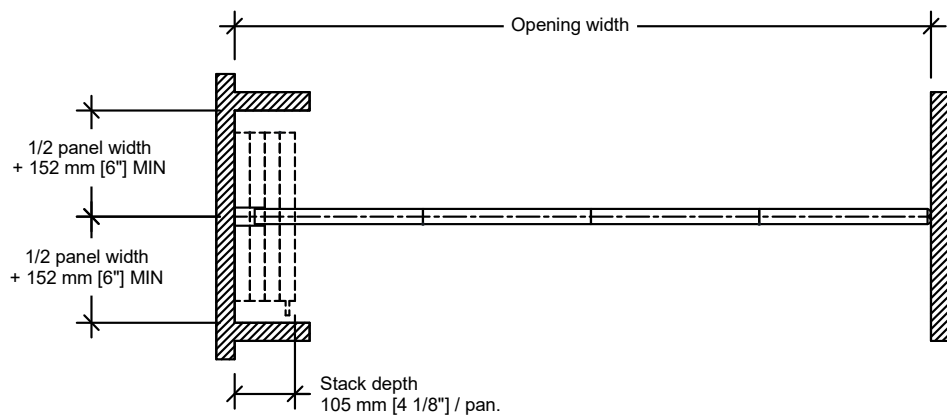
Typical Layouts



Wall to wall – telescopic closure

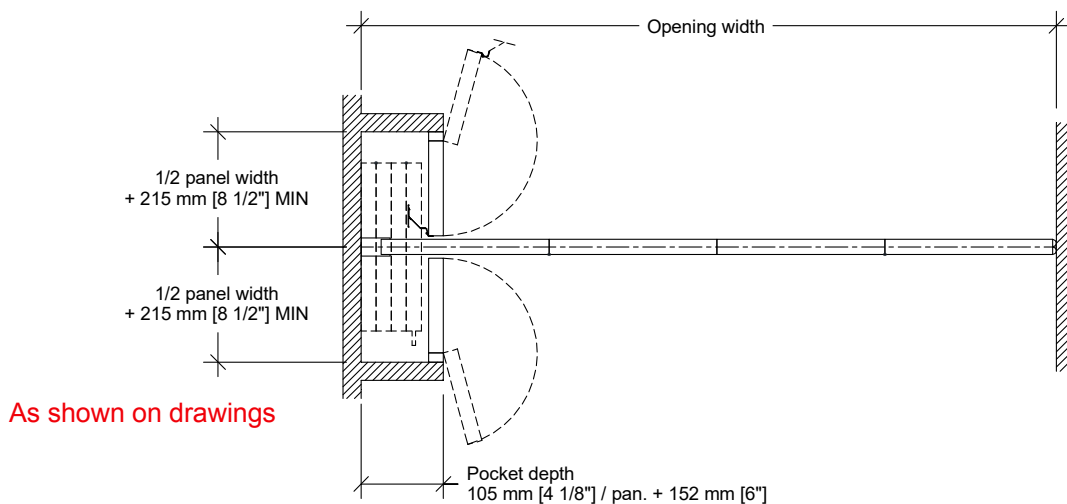


Wall to wall – hinged closure

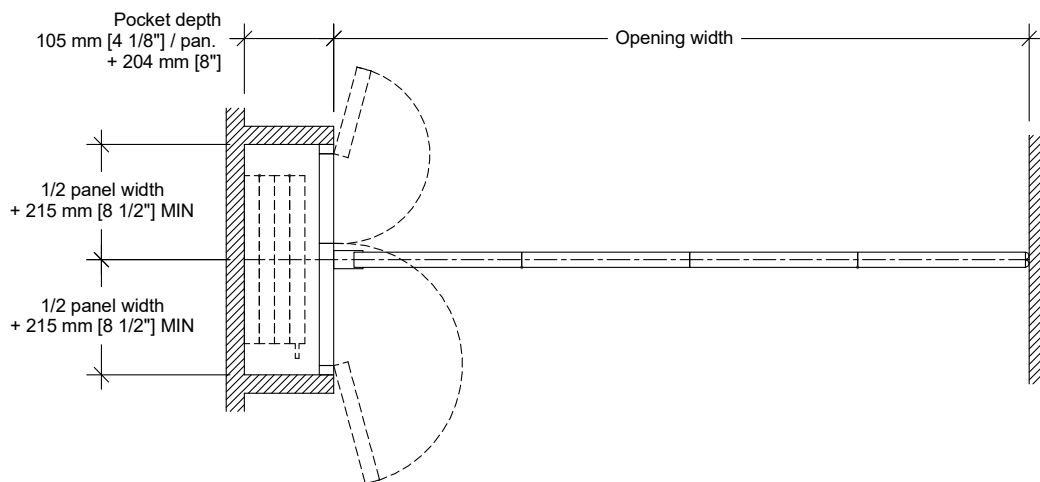


Pocket

Typical Layouts (cont'd)



**Pocket and PN-83 non-acoustical pocket door
(partition seals to back of pocket)**



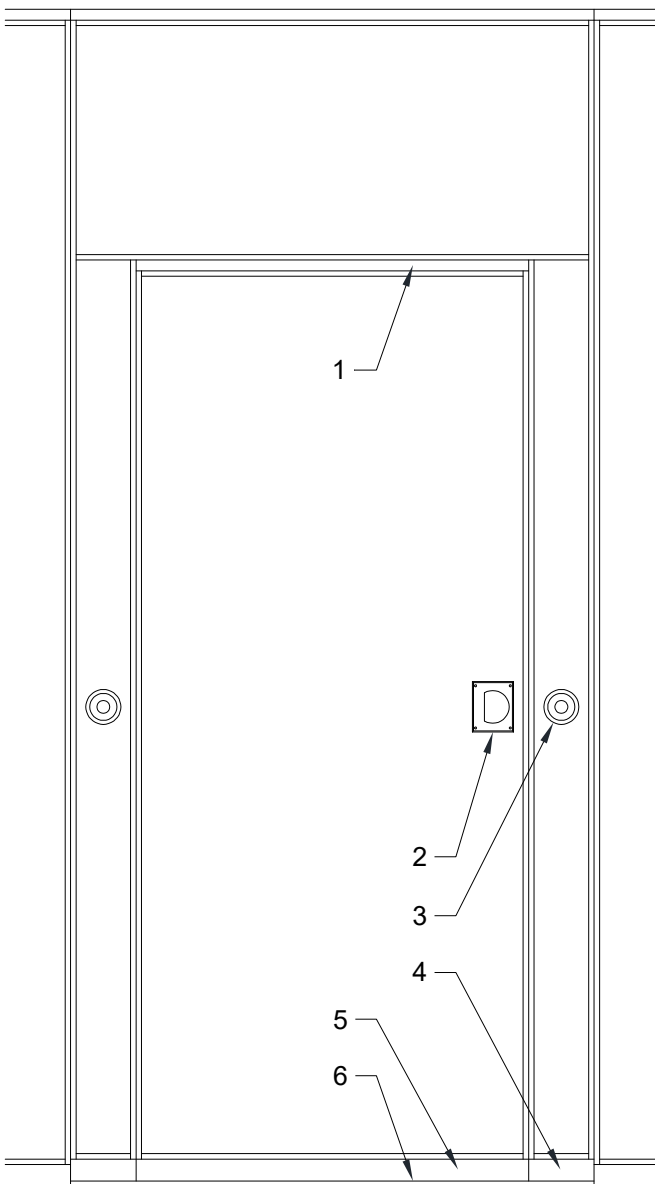
**Pocket and PA-82 acoustical pocket door
(partition seals to face of pocket door)**



MODERCO

Signature 800 Series

Technical Data Sheet Signature 800 Single Pass Door

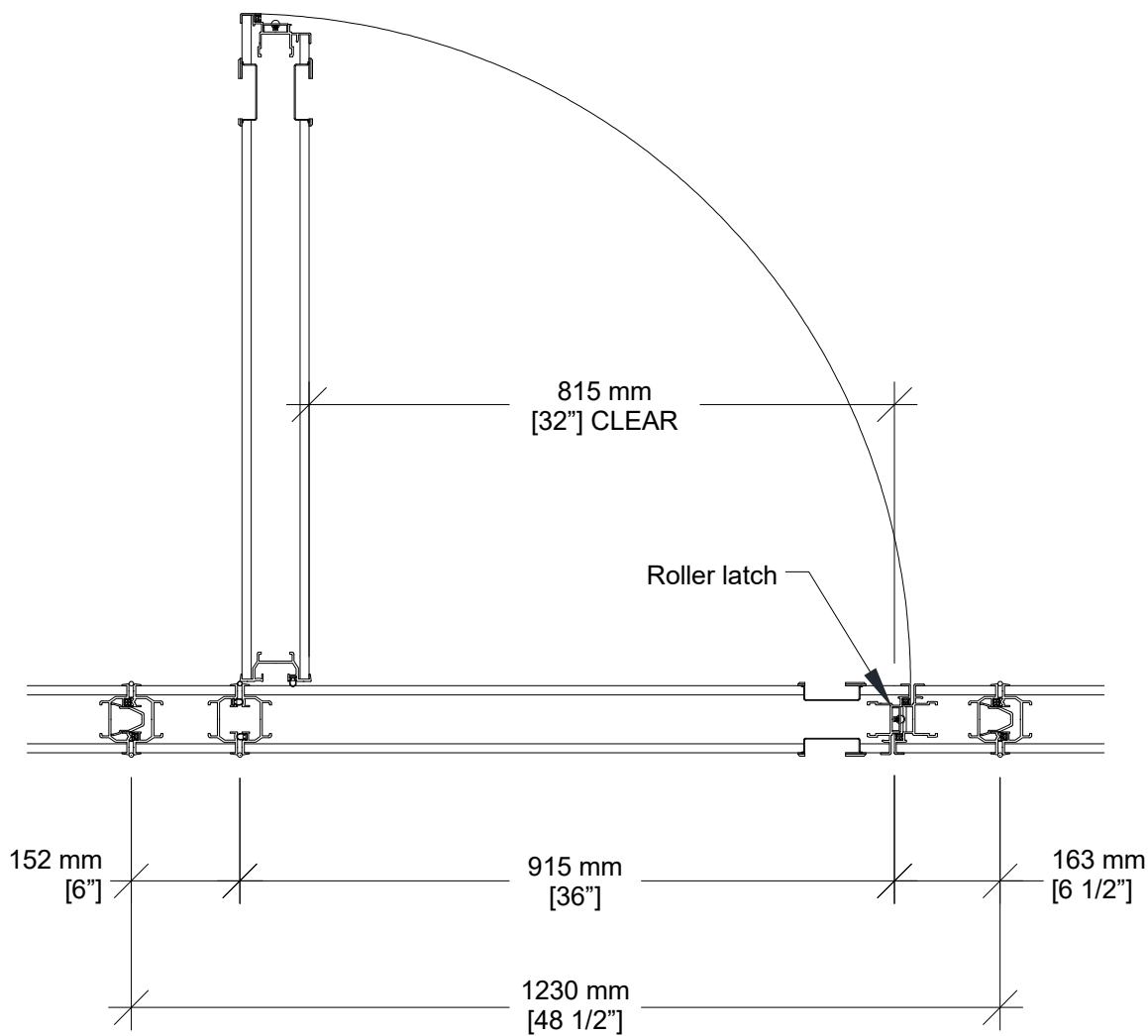


- Same core construction as movable partition panels
- Same surface finish as movable partition / optional custom finish / unfinished
- Low profile hinges
- Flush pulls and roller latch
- 2553 mm [8'-4 1/2"] underside of track MIN for 2134 mm [7'-0"] door
- 2452 mm [8'-0 1/2"] underside of track MIN for 2032 mm [6'-8"] door

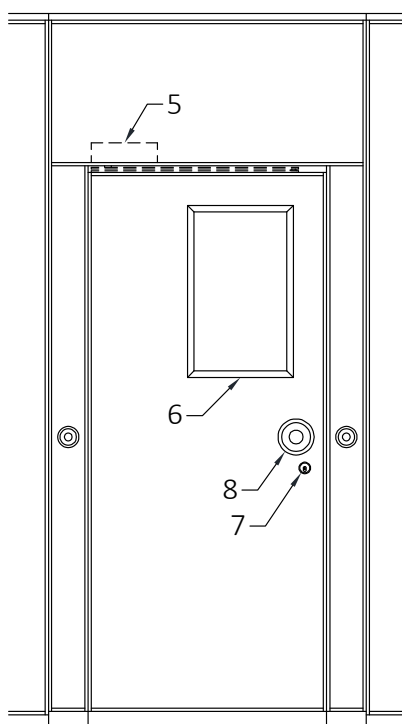
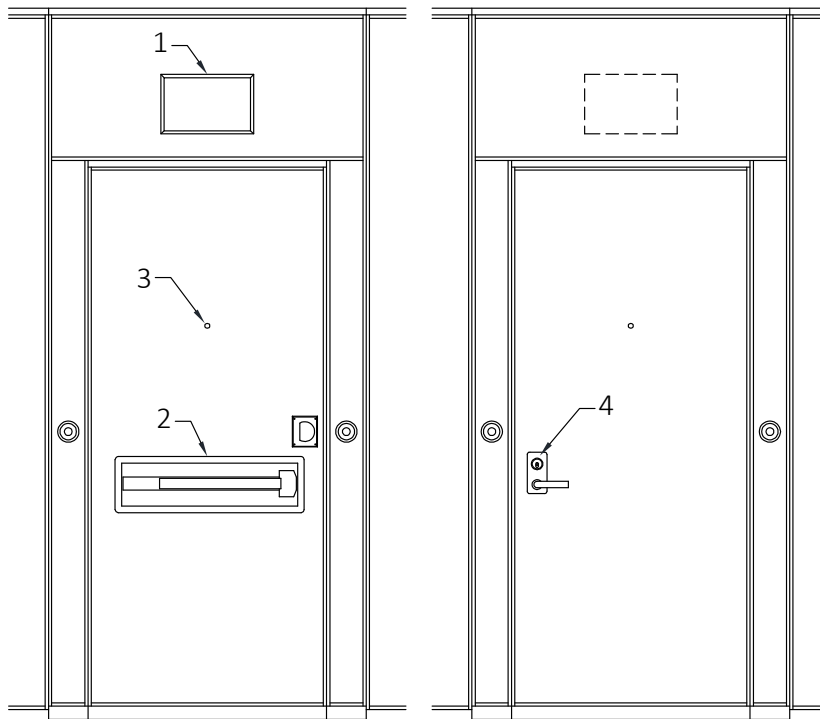
- 1- Fixed sweeps
- 2- Flush pull
- 3- Retractable seal activator
- 4- Manually-activated bottom seals
- 5- Automatically-activated door deal
- 6- ADA-compliant door threshold :
 - 12 mm [1/2"] thickness
 - 2 : 1 slope



Horizontal Section



Optional Hardware



1- Self-luminous Exit Sign ("Green Running Man" available as an upcharge)

2- Panic Bar ¹

3- Door Viewer

4- Panic bar Lever (with optional lock)

5- Concealed Door Closer

6- Window Frame
 - 355 mm X 610 mm [14" X 24"]
 - Glazing by others

7- Deadbolt lock ²

8- Push/pull door knob

¹ Add 102 mm [4"] to stack depth for each panic bar

² Not available with panic bar or exit sign

TEST REPORT

FOR: Moderco Inc.
Boucherville, Quebec, Canada

Sound Transmission Loss Test
RAL™-TL08-190

ON: 8000 Series – Operable

Page 1 of 4

CONDUCTED: 8 July 2008

REVISION: 19 October 2011

TEST METHOD

Unless otherwise designated, the measurements reported below were made with all facilities and procedures in explicit conformity with the ASTM Designations E90-04 and E413-04, as well as other pertinent standards. Riverbank Acoustical Laboratories has been accredited by the U.S. Department of Commerce, National Institute of Standards and Technology (NIST) under the National Voluntary Laboratory Accreditation Program (NVLAP) for this test procedure (NVLAP Lab Code: 100227-0). A description of the measuring technique is available separately.

DESCRIPTION OF THE SPECIMEN

The test specimen was designated by the manufacturer as an 8000 Series – operable. The overall dimensions of the specimen as measured were nominally 4.27 m (168 in.) wide by 2.67 m (105 in.) high and 108 mm (4.25 in.) thick. The full height closure panel at one end measured nominally 152 mm (6 in.) thick (included in specimen area). The full width header panel attached to the top of the laboratory test frame measured nominally 133 mm (5.25 in.) thick (not included in specimen area). The specimen was installed by the manufacturer directly into the laboratory's 2.74 m (9 ft) by 4.27 m (14 ft) wood-lined steel frame which was sealed on its periphery (both sides) with dense mastic.

The manufacturer's details of the specimen were as follows: Gypsum board – 24 gauge steel – acoustical isolation – 24 gauge steel – gypsum board. The operable partition wall had retractable seals on the bottom and the top.

A description of the specimen was as follows: The test specimen was a top supported, manually operated folding operable partition. The overhead track was covered on both sides by a gypsum board construction bulkhead covered with dense mastic and was not included in the overall area of the sample. The assembly consisted of a single No. 45 track system with a No. 45 trolley per panel. Each trolley was made of four (4) steel ball bearings with nylon tires. The specimen consisted of a header, end closure and three panels. Three movable panels measured 1.37 m (54 in.) wide by 2.67 m (105 in.) high and 108 mm (4.25 in.) thick and weighed a total of 411 kg (907 lbs.). The end closure panel measured 197 mm (7.75 in.) wide by 2.65 m (104.5 in.) high by 152 mm (6 in.) thick and weighed 31.5 kg (69.5 lbs.). The latching device was a positive acoustically designed seal. A visual inspection verified the manufacturer's details of the

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THE RESULTS REPORTED ABOVE APPLY ONLY TO THE SPECIFIC SAMPLE SUBMITTED FOR MEASUREMENT. NO RESPONSIBILITY IS ASSUMED FOR PERFORMANCE OF ANY OTHER SPECIMEN.



RIVERBANK ACOUSTICAL LABORATORIES

1512 S. BATAVIA AVENUE
GENEVA, ILLINOIS 60134

Alion Science and Technology

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TEST REPORT

Moderco Inc.

RAL™-TL08-190

8 July 2008

Page 2 of 4

REVISION: 19 October 2011

specimen. The specimen was opened and closed at least five times, and the test was conducted with no further adjustments.

The weight of the specimen as measured was 442.9 kg (976.5 lbs.), an average of 38.9 kg/m² (8 lbs/ft²). The transmission area used in the calculations was 11.4 m² (122.5 ft²). The source and receiving room temperatures at the time of the test were 26±1°C (78±1°F) and 50±1% relative humidity. The source and receive reverberation room volumes were 178 m³ (6,298 ft³) and 177 m³ (6,255 ft³), respectively.

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NVLAP Lab Code 100227-0

**ACCREDITED BY DEPARTMENT OF COMMERCE, NATIONAL VOLUNTARY LABORATORY
ACCREDITATION PROGRAM FOR SELECTED TEST METHODS FOR ACOUSTICS.
THE LABORATORY'S ACCREDITATION OR ANY OF ITS TEST REPORTS IN NO WAY CONSTITUTES
OR IMPLIES PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NIST.**

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1512 S. BATAVIA AVENUE
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TEST REPORT

Moderco Inc.

RAL™-TL08-190

8 July 2008

Page 3 of 4

REVISION: 19 October 2011

TEST RESULTS

Sound transmission loss values are tabulated at the eighteen standard frequencies. A graphic presentation of the data and additional information appear on the following pages. The precision of the TL test data is within the limits set by the ASTM Standard E90-04.

<u>FREQ.</u>	<u>T.L.</u>	<u>C.L.</u>	<u>DEF.</u>	<u>FREQ.</u>	<u>T.L.</u>	<u>C.L.</u>	<u>DEF.</u>
100	17	0.75		800	49	0.12	2
125	26	0.57	7	1000	50	0.14	2
160	31	0.48	5	1250	53	0.16	
200	35	0.55	4	1600	53	0.11	
250	41	0.44	1	2000	52	0.07	1
315	46	0.38		2500	55	0.09	
400	48	0.33		3150	58	0.09	
500	49	0.23		4000	60	0.08	
630	50	0.22		5000	61	0.04	

STC=49

ABBREVIATION INDEX

FREQ. = FREQUENCY, HERTZ, (cps)

T.L. = TRANSMISSION LOSS, dB

C.L. = UNCERTAINTY IN dB, FOR A 95% CONFIDENCE LIMIT

DEF. = DEFICIENCIES, dB<STC CONTOUR (SUM OF DEF = 22)

STC = SOUND TRANSMISSION CLASS

Tested by

Marc Sciaky

Marc Sciaky
Experimentalist

Approved by

David L. Moyer
Laboratory Manager

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THE RESULTS REPORTED ABOVE APPLY ONLY TO THE SPECIFIC SAMPLE SUBMITTED FOR MEASUREMENT. NO RESPONSIBILITY IS ASSUMED FOR PERFORMANCE OF ANY OTHER SPECIMEN.



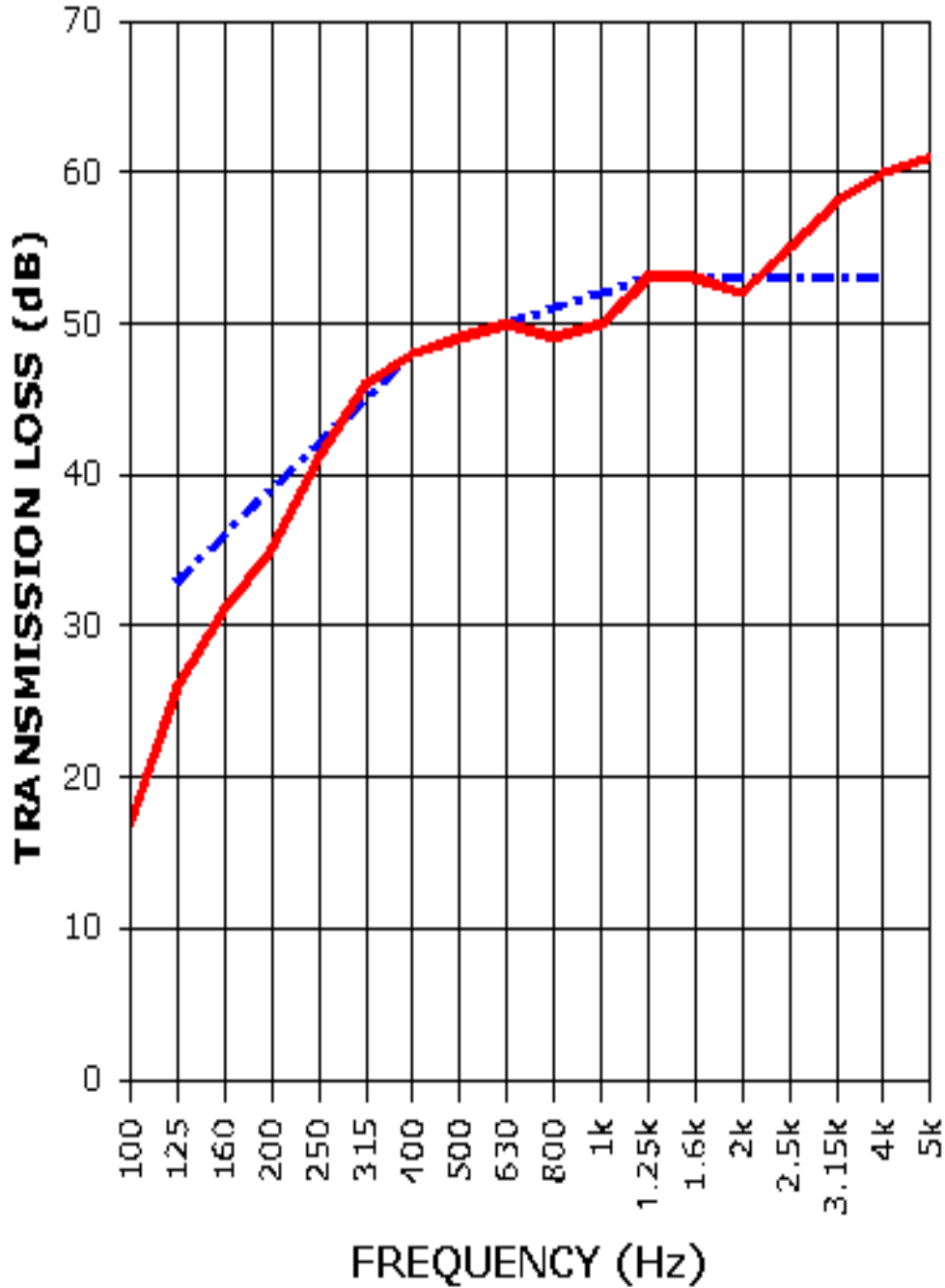
NVLAP Lab Code 100227-0

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TEST REPORT

Page 4 of 4

SOUND TRANSMISSION REPORT RAL - TL08-190



STC= 49



TRANSMISSION LOSS
SOUND TRANSMISSION LOSS CONTOUR

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SECTION 01.25.01
SUBSTITUTION REQUEST FORM

PROJECT DATA

PROJECT: COK Public Safety Complex PROJECT NO.: 19018
OWNER: City of Knoxville 400 Main Street, Knoxville, TN 37902
ARCHITECT: McCarty Holsaple McCarty, Inc.
550 W. Main Street, Suite 300
Knoxville, TN 37902

CONTRACTOR'S REQUEST, WITH SUPPORTING DATA

1. Section of the Specifications to which this request applies:

26 32 13

Product data for specified item and proposed substitution is attached, including product description, specification data, illustrations, reference standards, and performance and test data.

Sample is attached Sample will be sent if requested by Architect

2. Itemized comparison of proposed substitution with specified item

a. Data Relative to Specified Item:

- 1) Name, Brand: Kohler
2) Catalog No.: 550RE02VB
3) Manufacturer: Kohler

b. Data Relative to Proposed Substitution

- 1) Name, Brand: Taylor Power System
2) Catalog No.: TD550
3) Manufacturer: Taylor Power Systems

c. Significant variations, including elements such as size, weight, durability, performance, and visual effect:

There are no substantial variations in weight
or size between products
1,000 lbs lighter in weight

3. Proposed change in Contract Sum:

Credit to Owner \$ _____

Additional Cost to Owner \$ No additional cost

4. Effect of the proposed substitution of the Work:

Contract Time _____

Changes or Modifications required to Other Parts of the Work: No changes to project

Changes or Modifications required to Other Contracts: There would be no
Modification required by other Contractors or trades

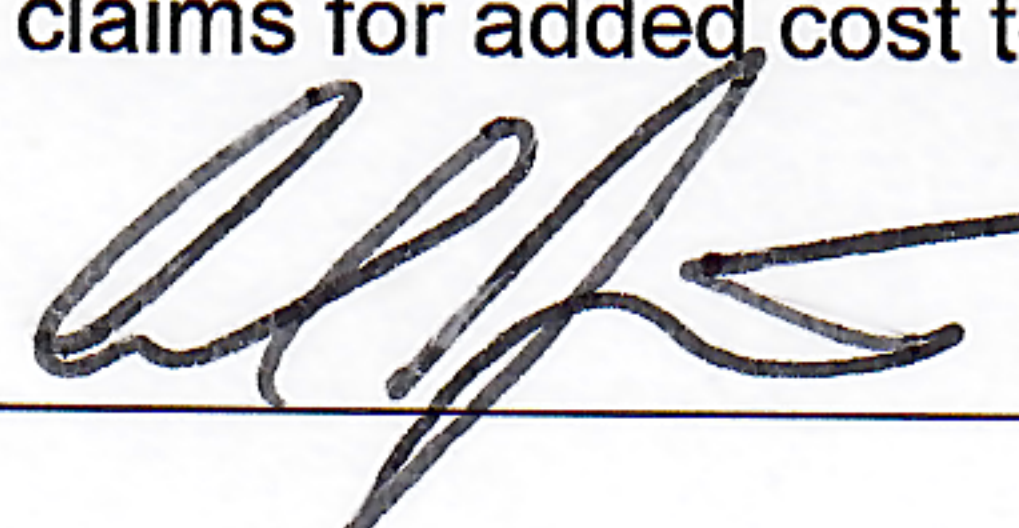
5. Reason for Substitution Request:

Additional Cost savings on project and local service
Support.

CONTRACTOR'S STATEMENT OF CONFORMANCE

I/we have investigated the proposed substitution. I/we:

1. believe and certify that it is equal or superior in all respects to the originally specified product, except as stated in 2 above;
2. certify that it will perform adequately in the application indicated;
3. will provide the same warranty or guaranty as required in the Contract Documents;
4. have included all cost data and cost implications of the proposed substitution, including, if required, costs to other contractors, and redesign and special inspection costs caused by the use of this product;
5. will coordinate the incorporation of the proposed substitution in the Work;
6. will modify other parts of the Work as may be needed to make all parts of the Work complete and functioning;
7. have verified that use of this substitution conforms to all applicable codes;
8. waive future claims for added cost to Owner caused by the proposed substitution.

Contractor:  Taylor Power Systems Date 2/16/21

ARCHITECT'S REVIEW AND ACTION

Provide more information in the following categories and resubmit:

Sign Contractor's Statement of Conformance and resubmit.

The proposed substitution is approved.

The proposed substitution is approved, with the following conditions:

McCarty Holsaple McCarty Architects, Inc.
Project Number: 19018

Public Safety Complex
City of Knoxville

_____ The proposed substitution is rejected.

The following changes will be made by Change Order:

Addition to/Deduction from the Contract Sum: \$ _____

Addition to/Deduction from the Contract Time _____ days

Rich Vinkant

2/24/21

~~McCarty Holsaple McCarty, Inc.~~

Date

I.C. Thomasson Associates, Inc.

END OF SECTION 01.25.01



SUBSTITUTION REQUEST

(During the Bidding/Negotiating Phase)

Project: Knoxville Public Safety Complex Substitution Request Number: _____
Knoxville, TN From: Peachtree Protective Covers, Inc.
 To: McCarty Holsaple McCarty Date: February 22, 2021
 A/E Project Number: _____
 Re: Substitution Request - Metal Canopies Contract For: Metal Canopies

Specification Title: Metal Canopies Description: Manufacturers
 Section: 10.73.16.13 Page: 1 Article/Paragraph: 2.01

Proposed Substitution: Peachtree Protective Covers, Inc.
 Manufacturer: PPC Address: 3255 S. Sweetwater Rd., Lithia Springs, GA 30122 Phone: (770) 439-2120
 Trade Name: Extruded Aluminum Walkway Covers Model No: N/A

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request: applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

- The Undersigned certifies:
- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
 - Same warranty will be furnished for proposed substitution as for specified product.
 - Same maintenance service and source of replacement parts, as applicable, is available
 - Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
 - Proposed substitution does not affect dimensions and functional clearances.
 - Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted by: Clyde Miller
 Signed by: *Clyde Miller*
 Firm: Peachtree Protective Covers, Inc.
 Address: 3255 S. Sweetwater Rd.
Lithia Springs, GA 30122
 Telephone: (770) 439-2120

A/E's REVIEW AND ACTION

- Substitution approved – Make submittals in accordance with Specification Section 01330.
- Substitution approved as noted – Make submittals in accordance with Specification Section 01330.
- Substitution rejected – Use specified materials.
- Substitution Request received too late – Use specified materials.

Signed by: **David S. Collins, AIA** Date: **2/24/2021**

Supporting Data Attached: Drawings Product Data Samples Tests Reports _____

Manufacturer gives no indication that they provide self supporting cantilever canopies.



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:
Architects Design Group

Table with 3 columns: #, ISSUE, DATE. Row 1: 1, ADD #0.1, 02/10/21. Row 2: 2, ADD #0.2, 02/17/21.

Table with 2 columns: Issue Date, Name. Row 1: FEBRUARY 1, 2021, JOHN THURMAN. Row 2: JOHN THURMAN. Row 3: JOHN THURMAN. Row 4: LAUREN BUSH. Row 5: JARED WILKINS. Row 6: BP.

Drawing Info:

G003

SHEET LIST - VOLUME 2

DRAWING INDEX

Table with 6 columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for GENERAL FRONT END, MECHANICAL, ELECTRICAL, FIRE PROTECTION, and PLUMBING.

Table with 6 columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for PLUMBING, ELECTRICAL, and TELECOM.

Table with 6 columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for AV SYSTEMS and TELECOM.

Table with 6 columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for AV SYSTEMS and TELECOM.



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

Table with 3 columns: #, ISSUE, DATE. Contains revision history for sheets G001, G002, and G003.

Table with 2 columns: Role, Name. Lists project team members including John Thurman (PKC), John Thurman (PM), and Lauren Bush (PA).

Issue Date: FEBRUARY 1, 2021

Checked By: JARED WILKINS

BP

DRAWING INDEX

Table listing drawing numbers, descriptions, sheet issue dates, revision numbers, titles, and dates for categories including General Front End, Survey, Civil, Landscape, Architectural, Life Safety, and Structural.

Table listing drawing numbers, descriptions, sheet issue dates, revision numbers, titles, and dates for categories including Civil, Mechanical, Electrical, and Structural.

Table listing drawing numbers, descriptions, sheet issue dates, revision numbers, titles, and dates for categories including Structural, Mechanical, Electrical, and Civil.



GRID NORTH
NAD 83 (1995)
NAVD 88

SCALE: 1" = 30'

COORDINATES HAVE BEEN DATUM
ADJUSTED BY A SCALE FACTOR 1.0001

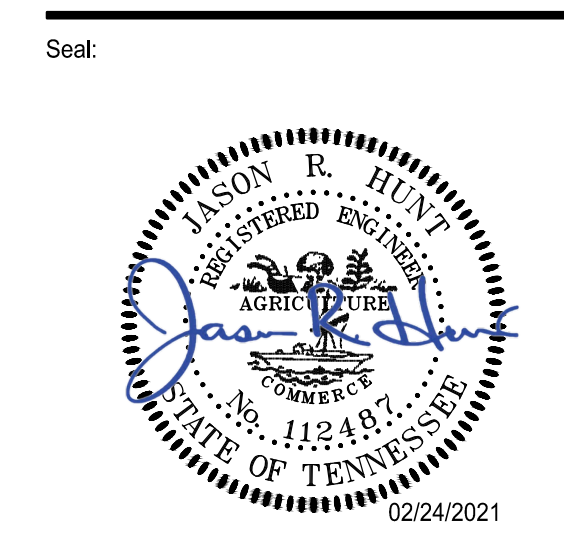


McCarthy Holsapple McCarty, Inc.
550 W. Main St., Suite 300
Knoxville, TN 37902
1.865.544.2000
www.mhminc.com



Project Information:
19018
CCI Project # 00227-0043

COK SAFETY BUILDING
900 East Oak Hill Ave
Knoxville, TN



#	ISSUE	DATE
3	ADD #03.1	02/24/21

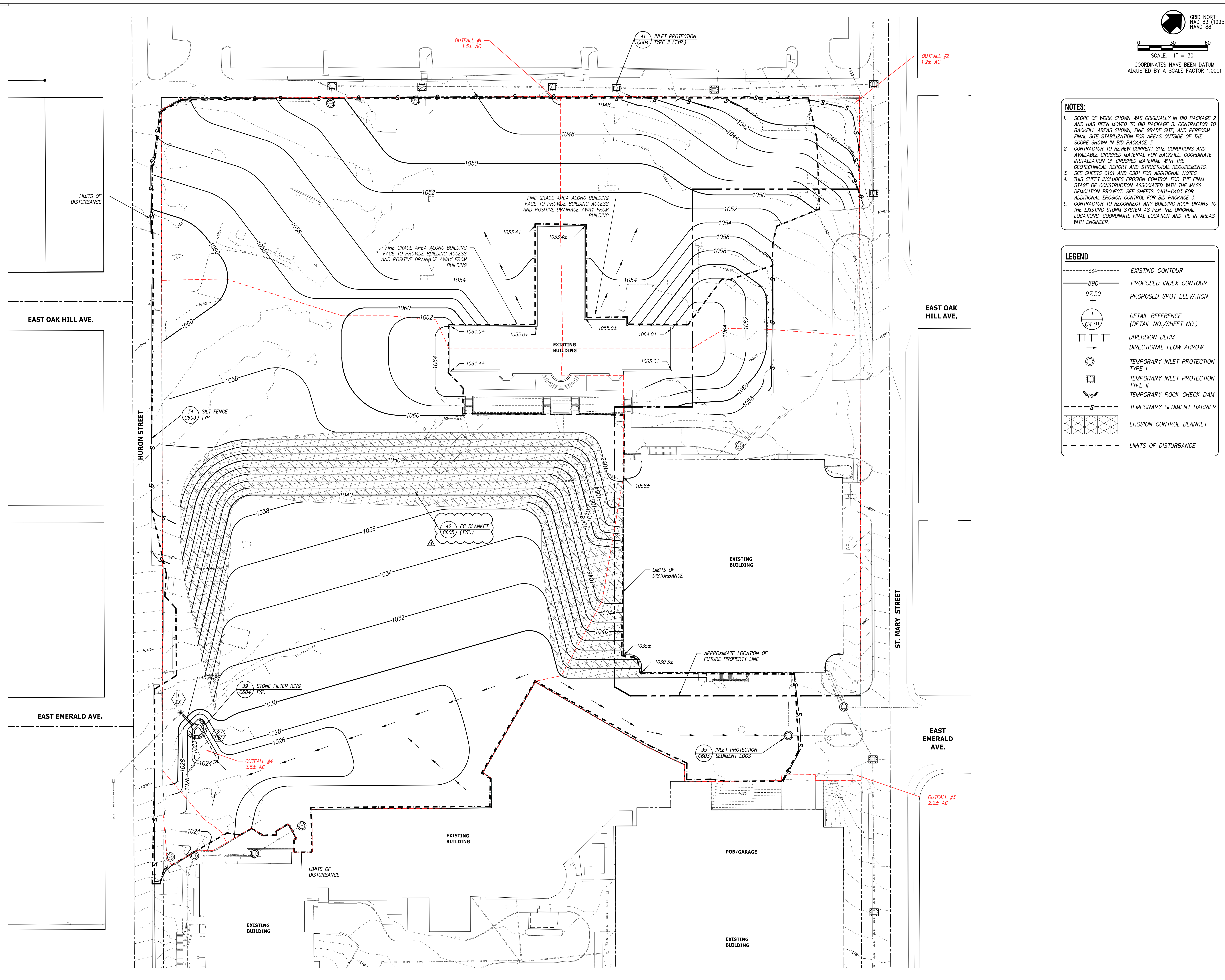
Issue Date:	FEBRUARY 01, 2021
PIC	JRH
PM	JRH
PE	JRH
Drawn By:	CIO
Checked By:	AWG

Drawing Info:

C000

GRADING AND DRAINAGE
PLAN (DEMO BACKFILL)

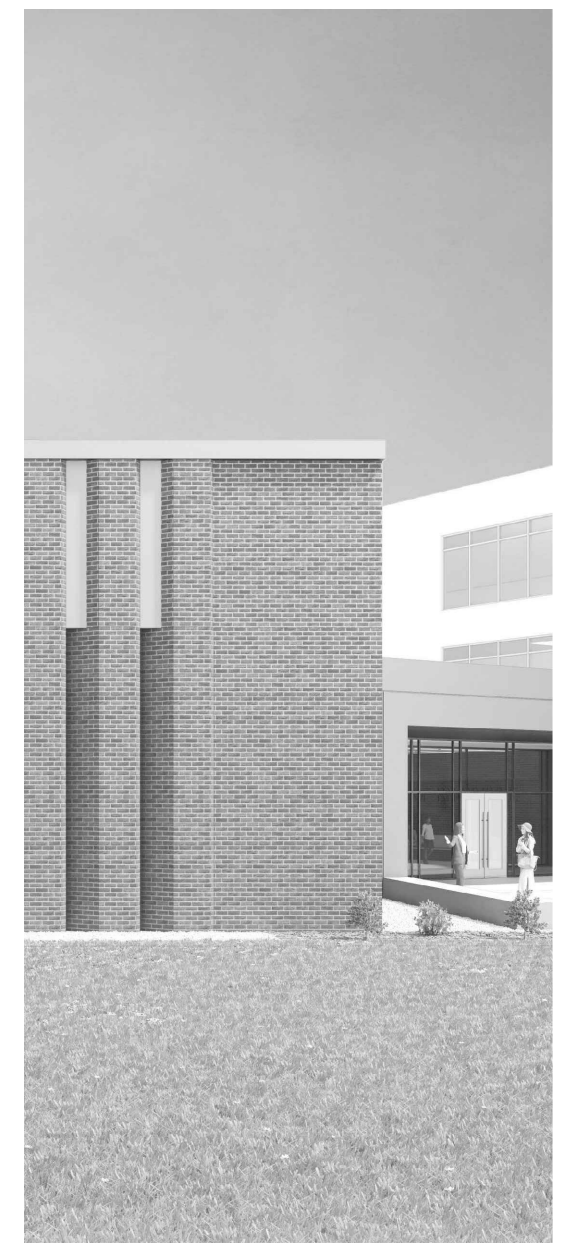
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- NOTES:**
- SCOPE OF WORK SHOWN WAS ORIGINALLY IN BID PACKAGE 2 AND HAS BEEN MOVED TO BID PACKAGE 3. CONTRACTOR TO BACKFILL AREAS SHOWN, FINE GRADE SITE, AND PERFORM FINAL SITE STABILIZATION FOR AREAS OUTSIDE OF THE SCOPE SHOWN IN BID PACKAGE 3.
 - CONTRACTOR TO REVIEW CURRENT SITE CONDITIONS AND AVAILABLE CRUSHED MATERIAL FOR BACKFILL. COORDINATE INSTALLATION OF CRUSHED MATERIAL WITH THE GEOTECHNICAL REPORT AND STRUCTURAL REQUIREMENTS.
 - SEE SHEETS C101 AND C301 FOR ADDITIONAL NOTES.
 - THIS SHEET INCLUDES EROSION CONTROL FOR THE FINAL STAGE OF CONSTRUCTION ASSOCIATED WITH THE MASS DEMOLITION PROJECT. SEE SHEETS C401-C403 FOR ADDITIONAL EROSION CONTROL FOR BID PACKAGE 3.
 - CONTRACTOR TO RECONNECT ANY BUILDING ROOF DRAINS TO THE EXISTING STORM SYSTEM AS PER THE ORIGINAL LOCATIONS. COORDINATE FINAL LOCATION AND TIE IN AREAS WITH ENGINEER.

LEGEND

---884---	EXISTING CONTOUR
---890---	PROPOSED INDEX CONTOUR
97.50 +	PROPOSED SPOT ELEVATION
1 C4.01	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
TTTTT	DIVERSION BERM
→	DIRECTIONAL FLOW ARROW
⊙	TEMPORARY INLET PROTECTION TYPE I
⊞	TEMPORARY INLET PROTECTION TYPE II
⌒	TEMPORARY ROCK CHECK DAM
S	TEMPORARY SEDIMENT BARRIER
▨	EROSION CONTROL BLANKET
---	LIMITS OF DISTURBANCE



Project Information:

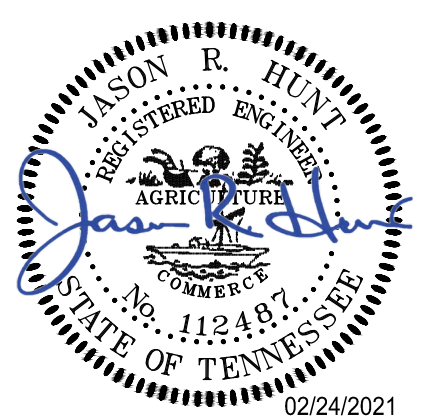
19018

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COK SAFETY BUILDING

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Knoxville, TN

Seal:



Consultant:



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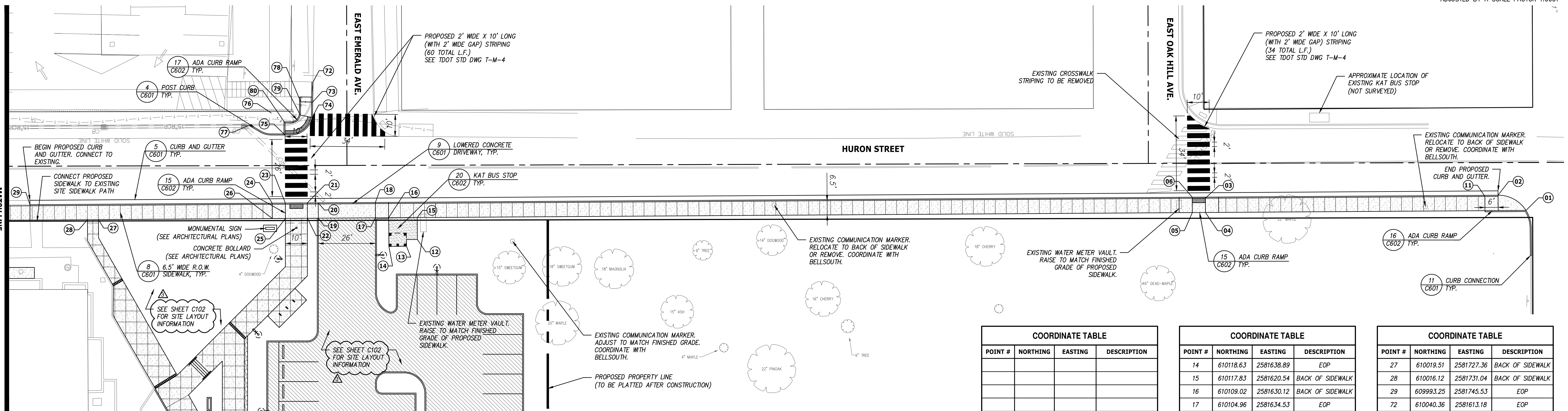
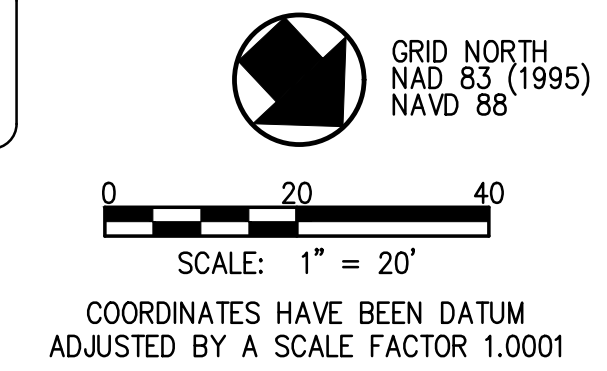
Issue Date: FEBRUARY 01, 2021
 PIC: JRH
 PM: JRH
 PE: JRH
 Drawn By: CIO
 Checked By: AWG

Drawing Info:

C201

ROADWAY SIDEWALK PLAN

NOTES:
1. SEE SHEET C101 FOR SITE LAYOUT NOTES AND ADDITIONAL INFORMATION NOTES.



ROADWAY SIDEWALK LAYOUT PLAN
SCALE: 1" = 20'

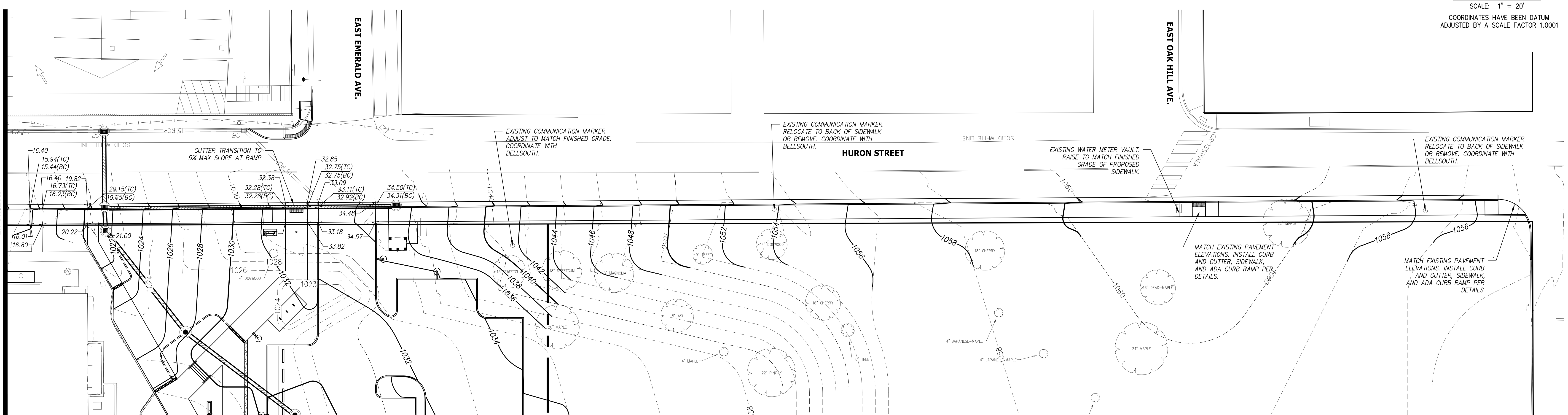
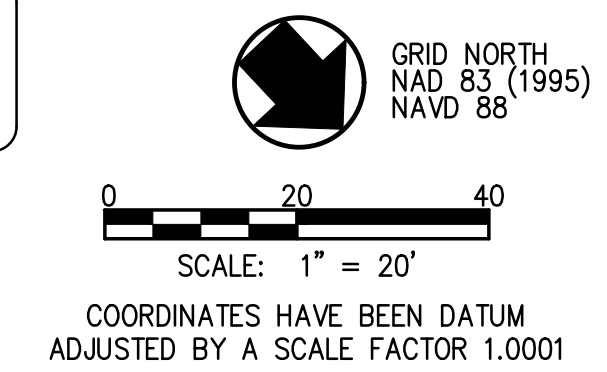
SPECIAL HORIZONTAL COORD. NOTES:
1. CONTRACTOR SHALL COORDINATE WITH ARCHITECT FOR BUILDING CORNER/FOUNDATION LOCATIONS BEFORE STAKEOUT/CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

POINT #	NORTHING	EASTING	DESCRIPTION
01	610459.87	2581248.98	BACK OF SIDEWALK
02	610446.13	2581253.58	EOP
03	610356.23	2581351.98	EOP
04	610361.01	2581356.38	BACK OF SIDEWALK
05	610356.95	2581360.80	BACK OF SIDEWALK
06	610351.80	2581356.06	EOP
11	610442.43	2581258.33	EOP
12	610125.18	2581627.27	BACK OF SIDEWALK
13	610124.03	2581632.99	EOP

POINT #	NORTHING	EASTING	DESCRIPTION
14	610118.63	2581638.89	EOP
15	610117.83	2581620.54	BACK OF SIDEWALK
16	610109.02	2581630.12	BACK OF SIDEWALK
17	610104.96	2581634.53	EOP
18	610099.81	2581629.79	EOP
19	610087.36	2581653.67	EOP
20	610082.21	2581648.93	EOP
21	610078.83	2581652.60	EOP
22	610083.98	2581657.34	BACK OF SIDEWALK
23	610072.04	2581659.94	EOP
24	610067.98	2581664.35	EOP
25	610077.19	2581664.68	BACK OF SIDEWALK
26	610073.13	2581669.10	BACK OF SIDEWALK

POINT #	NORTHING	EASTING	DESCRIPTION
27	610019.51	2581727.36	BACK OF SIDEWALK
28	610016.12	2581731.04	BACK OF SIDEWALK
29	609993.25	2581745.53	EOP
72	610040.36	2581613.18	EOP
73	610046.94	2581619.49	EOP
74	610051.90	2581624.49	EOP
75	610049.32	2581638.96	EOP
76	610037.74	2581636.71	RADIUS P.I.
77	610034.76	2581648.08	EOP
78	610043.14	2581623.46	BACK OF SIDEWALK
79	610047.41	2581627.67	BACK OF SIDEWALK
80	610045.30	2581635.20	BACK OF SIDEWALK

NOTES:
1. SEE SHEET C101 FOR SITE LAYOUT NOTES AND ADDITIONAL INFORMATION NOTES.



ROADWAY SIDEWALK GRADING PLAN
SCALE: 1" = 20'



Project Information:

19018

CCI Project # 00227-0043

COK SAFETY BUILDING

900 East Oak Hill Ave
Knoxville, TN

Seal:



Consultant:



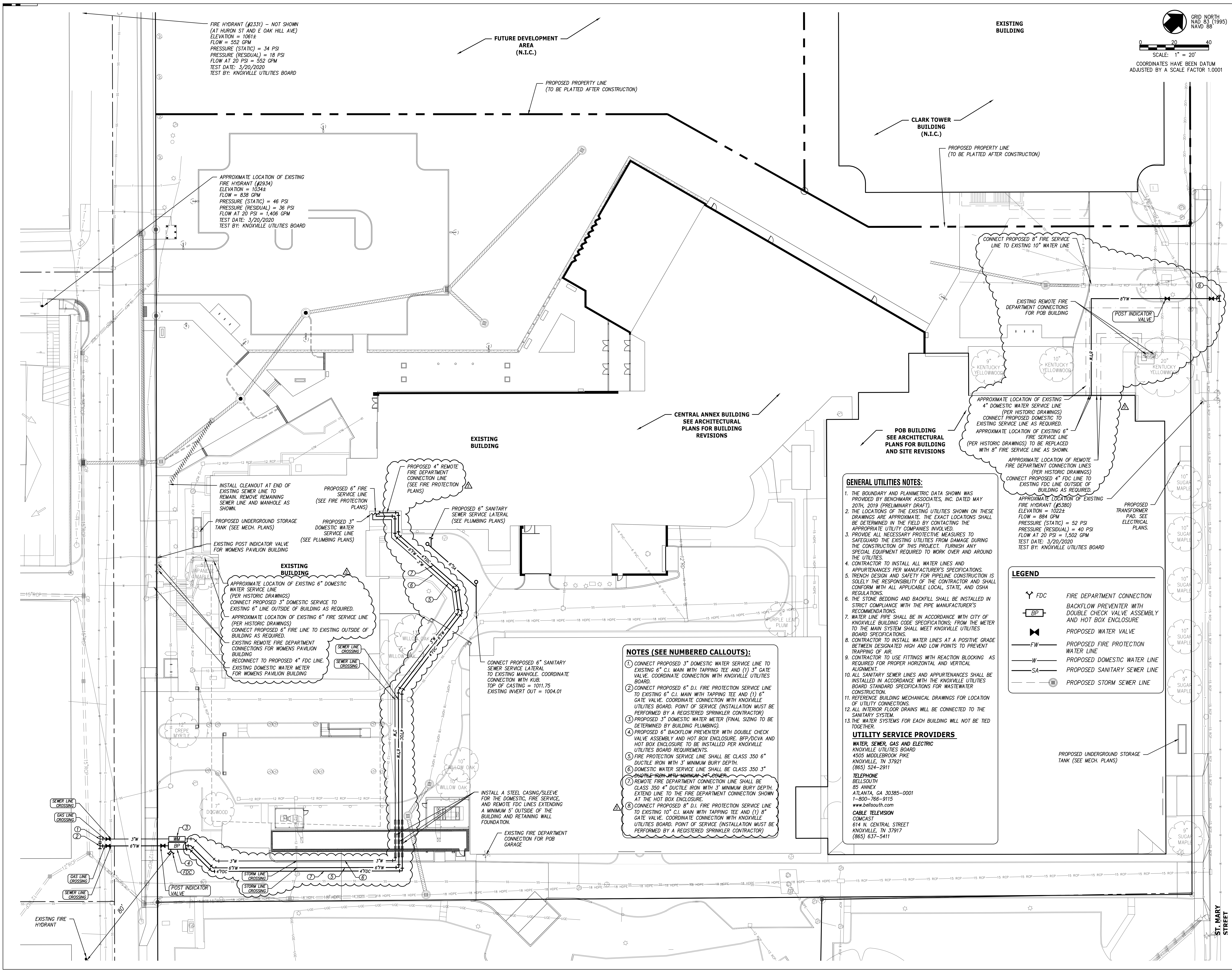
#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 01, 2021
PIC:	JRH
PM:	JRH
PE:	JRH
Drawn By:	CIO
Checked By:	AWG

Drawing Info:

C501

CIVIL SITE UTILITIES PLAN



FIRE HYDRANT (#2331) - NOT SHOWN
(AT HURON ST AND E OAK HILL AVE)
ELEVATION = 1061±
FLOW = 552 GPM
PRESSURE (STATIC) = 34 PSI
PRESSURE (RESIDUAL) = 18 PSI
FLOW AT 20 PSI = 552 GPM
TEST DATE: 3/20/2020
TEST BY: KNOXVILLE UTILITIES BOARD

APPROXIMATE LOCATION OF EXISTING
FIRE HYDRANT (#2934)
ELEVATION = 1034±
FLOW = 839 GPM
PRESSURE (STATIC) = 46 PSI
PRESSURE (RESIDUAL) = 36 PSI
FLOW AT 20 PSI = 1,406 GPM
TEST DATE: 3/20/2020
TEST BY: KNOXVILLE UTILITIES BOARD

APPROXIMATE LOCATION OF EXISTING 6" DOMESTIC
WATER SERVICE LINE
(PER HISTORIC DRAWINGS)
CONNECT PROPOSED 3" DOMESTIC SERVICE TO
EXISTING 6" LINE OUTSIDE OF BUILDING AS REQUIRED.
APPROXIMATE LOCATION OF EXISTING 6" FIRE SERVICE LINE
(PER HISTORIC DRAWINGS)
CONNECT PROPOSED 6" FIRE LINE TO EXISTING OUTSIDE OF
BUILDING AS REQUIRED.
EXISTING REMOTE FIRE DEPARTMENT
CONNECTIONS FOR WOMEN'S PAVILION
BUILDING
RECONNECT TO PROPOSED 4" FDC LINE.
EXISTING DOMESTIC WATER METER
FOR WOMEN'S PAVILION BUILDING

- NOTES (SEE NUMBERED CALLOUTS):**
- CONNECT PROPOSED 3" DOMESTIC WATER SERVICE LINE TO EXISTING 6" C.I. MAIN WITH TAPPING TEE AND (1) 3" GATE VALVE. COORDINATE CONNECTION WITH KNOXVILLE UTILITIES BOARD.
 - CONNECT PROPOSED 6" D.I. FIRE PROTECTION SERVICE LINE TO EXISTING 6" C.I. MAIN WITH TAPPING TEE AND (1) 6" GATE VALVE. COORDINATE CONNECTION WITH KNOXVILLE UTILITIES BOARD. POINT OF SERVICE (INSTALLATION MUST BE PERFORMED BY A REGISTERED SPRINKLER CONTRACTOR)
 - PROPOSED 3" DOMESTIC WATER METER (FINAL SIZING TO BE DETERMINED BY BUILDING PLUMBING).
 - PROPOSED 6" BACKFLOW PREVENTER WITH DOUBLE CHECK VALVE ASSEMBLY AND HOT BOX ENCLOSURE. BFP/DCVA AND HOT BOX ENCLOSURE TO BE INSTALLED PER KNOXVILLE UTILITIES BOARD REQUIREMENTS.
 - FIRE PROTECTION SERVICE LINE SHALL BE CLASS 350 6" DUCTILE IRON WITH 3" MINIMUM BURY DEPTH.
 - DOMESTIC WATER SERVICE LINE SHALL BE CLASS 350 3" PHOENIX-IRON-WITH-MINIMUM-24-INCH-DEPT.
 - REMOTE FIRE DEPARTMENT CONNECTION LINE SHALL BE CLASS 350 4" DUCTILE IRON WITH 3" MINIMUM BURY DEPTH. EXTEND LINE TO THE FIRE DEPARTMENT CONNECTION SHOWN AT THE HOT BOX ENCLOSURE.
 - CONNECT PROPOSED 8" D.I. FIRE PROTECTION SERVICE LINE TO EXISTING 10" C.I. MAIN WITH TAPPING TEE AND (1) 8" GATE VALVE. COORDINATE CONNECTION WITH KNOXVILLE UTILITIES BOARD. POINT OF SERVICE (INSTALLATION MUST BE PERFORMED BY A REGISTERED SPRINKLER CONTRACTOR)

GENERAL UTILITIES NOTES:

- THE BOUNDARY AND PLANIMETRIC DATA SHOWN WAS PROVIDED BY BENCHMARK ASSOCIATES, INC. DATED MAY 20TH, 2019 (PRELIMINARY DRAFT).
- THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY CONTACTING THE APPROPRIATE UTILITY COMPANIES INVOLVED.
- PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
- CONTRACTOR TO INSTALL ALL WATER LINES AND APPURTENANCES PER MANUFACTURER'S SPECIFICATIONS.
- TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- THE STONE BEDDING AND BACKFILL SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS.
- WATER LINE PIPE SHALL BE IN ACCORDANCE WITH CITY OF KNOXVILLE BUILDING CODE SPECIFICATIONS; FROM THE METER TO THE MAIN SYSTEM SHALL MEET KNOXVILLE UTILITIES BOARD SPECIFICATIONS.
- CONTRACTOR TO INSTALL WATER LINES AT A POSITIVE GRADE BETWEEN DESIGNATED HIGH AND LOW POINTS TO PREVENT TRAPPING OF AIR.
- CONTRACTOR TO USE FITTINGS WITH REACTION BLOCKING AS REQUIRED FOR PROPER HORIZONTAL AND VERTICAL ALIGNMENT.
- ALL SANITARY SEWER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE KNOXVILLE UTILITIES BOARD STANDARD SPECIFICATIONS FOR WASTEWATER CONSTRUCTION.
- REFERENCE BUILDING MECHANICAL DRAWINGS FOR LOCATION OF UTILITY CONNECTIONS.
- ALL INTERIOR FLOOR DRAINS WILL BE CONNECTED TO THE SANITARY SYSTEM.
- THE WATER SYSTEMS FOR EACH BUILDING WILL NOT BE TIED TOGETHER.

UTILITY SERVICE PROVIDERS

WATER, SEWER, GAS AND ELECTRIC
KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PIKE
KNOXVILLE, TN 37921
(865) 524-2911

TELEPHONE
BELLSOUTH
85 ANNEX
ATLANTA, GA 30385-0001
1-800-765-9115
www.bellsouth.com

CABLE TELEVISION
COMCAST
614 N. CENTRAL STREET
KNOXVILLE, TN 37917
(865) 637-5411

LEGEND

- FDC FIRE DEPARTMENT CONNECTION
- BP BACKFLOW PREVENTER WITH DOUBLE CHECK VALVE ASSEMBLY AND HOT BOX ENCLOSURE
- WV PROPOSED WATER VALVE
- FW PROPOSED FIRE PROTECTION WATER LINE
- DW PROPOSED DOMESTIC WATER LINE
- SA PROPOSED SANITARY SEWER LINE
- SS PROPOSED STORM SEWER LINE

GRID NORTH
NAD 83 (1995)
NAVD 88

SCALE: 1" = 20'

COORDINATES HAVE BEEN DATUM
ADJUSTED BY A SCALE FACTOR 1.0001

ST. MARY STREET



Project Information:

19018

CCI Project # 00227-0043

COK SAFETY BUILDING

900 East Oak Hill Ave
Knoxville, TN

Seal:



Consultant:



#	ISSUE	DATE
3	ADD #03.1	02/24/21

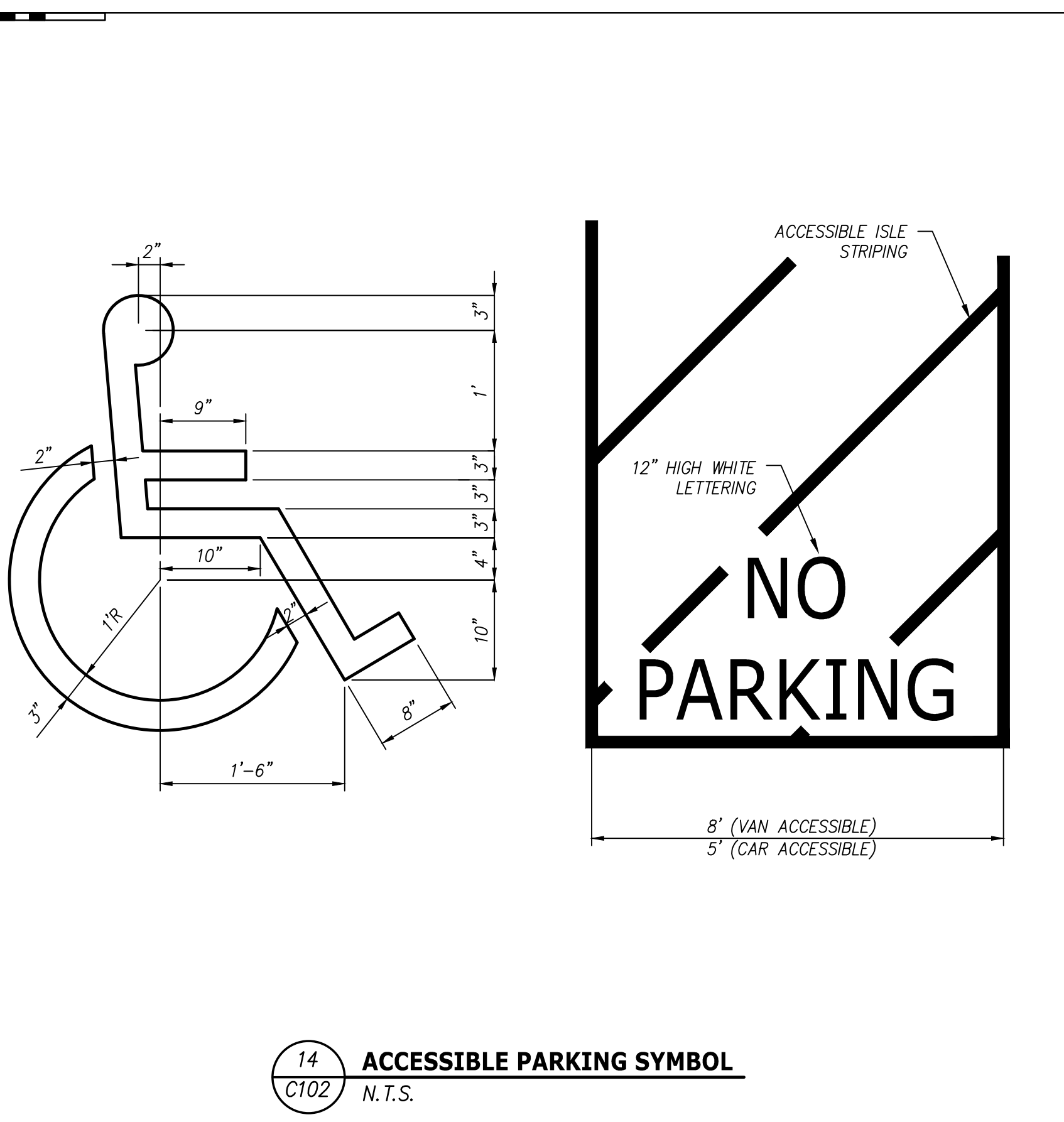
Issue Date: FEBRUARY 01, 2021

PKC	JRH
PM	JRH
PE	JRH
Drawn By:	CIO
Checked By:	AWG

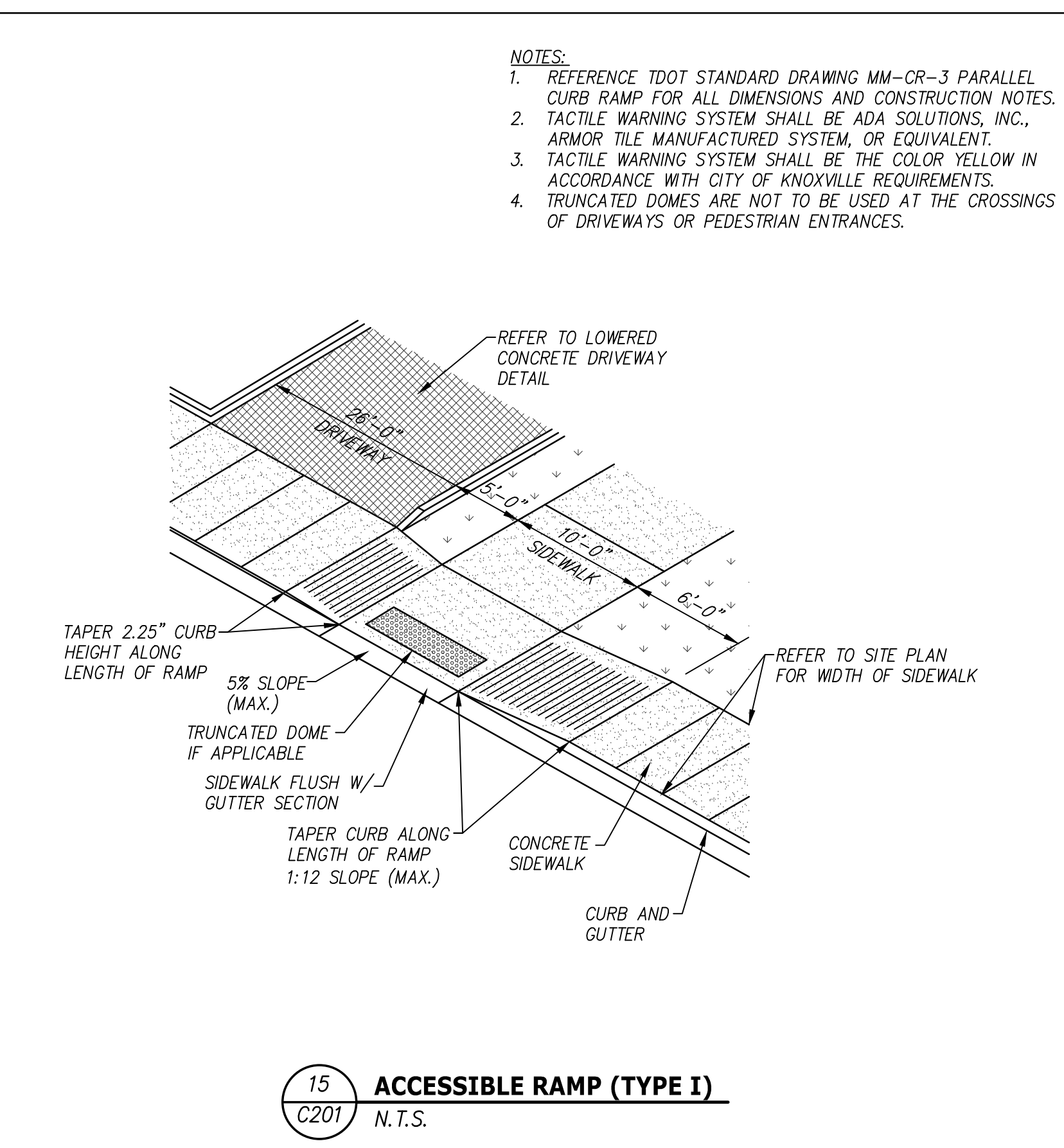
Drawing Info:

C602

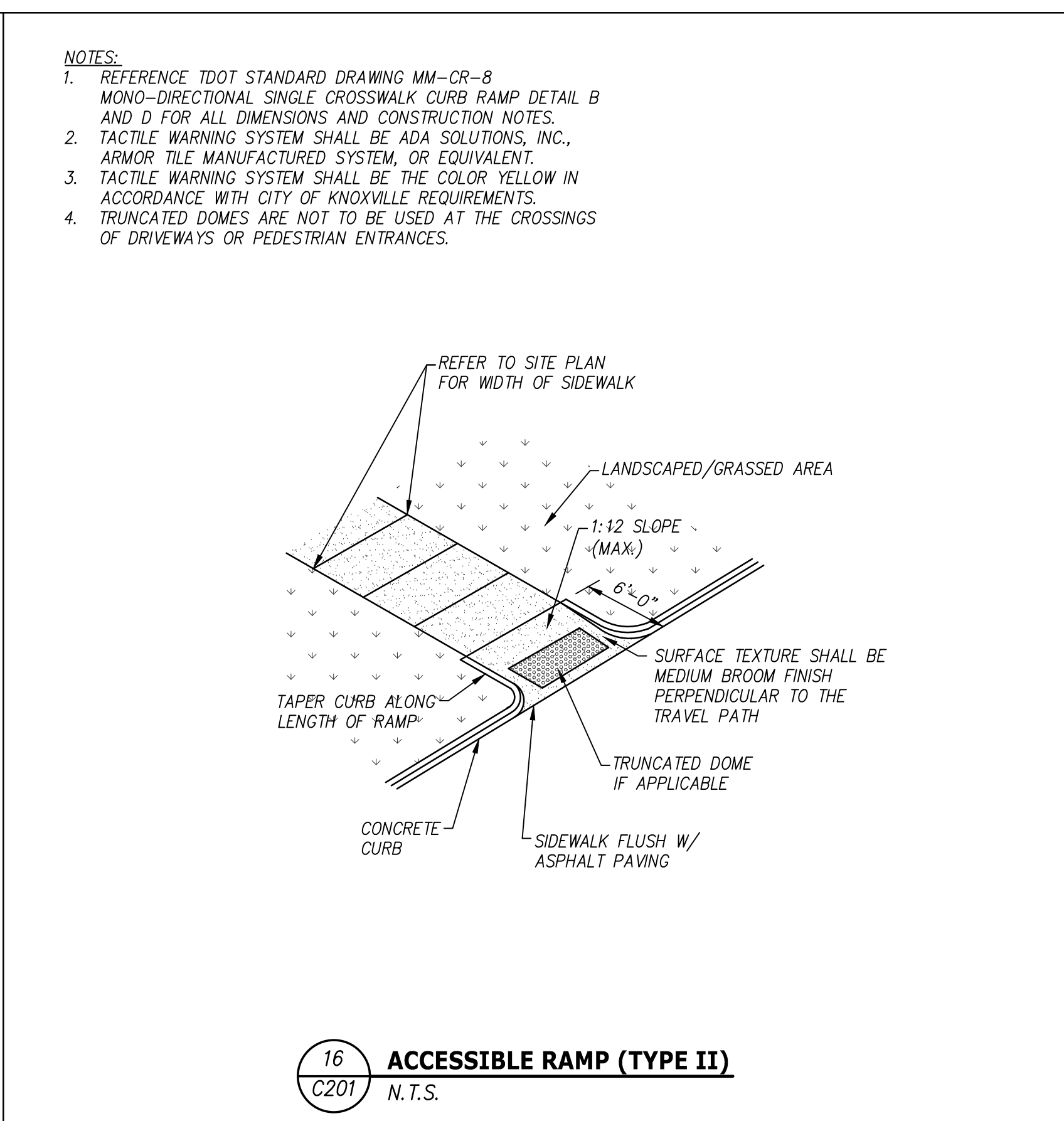
CIVIL SITE DETAILS



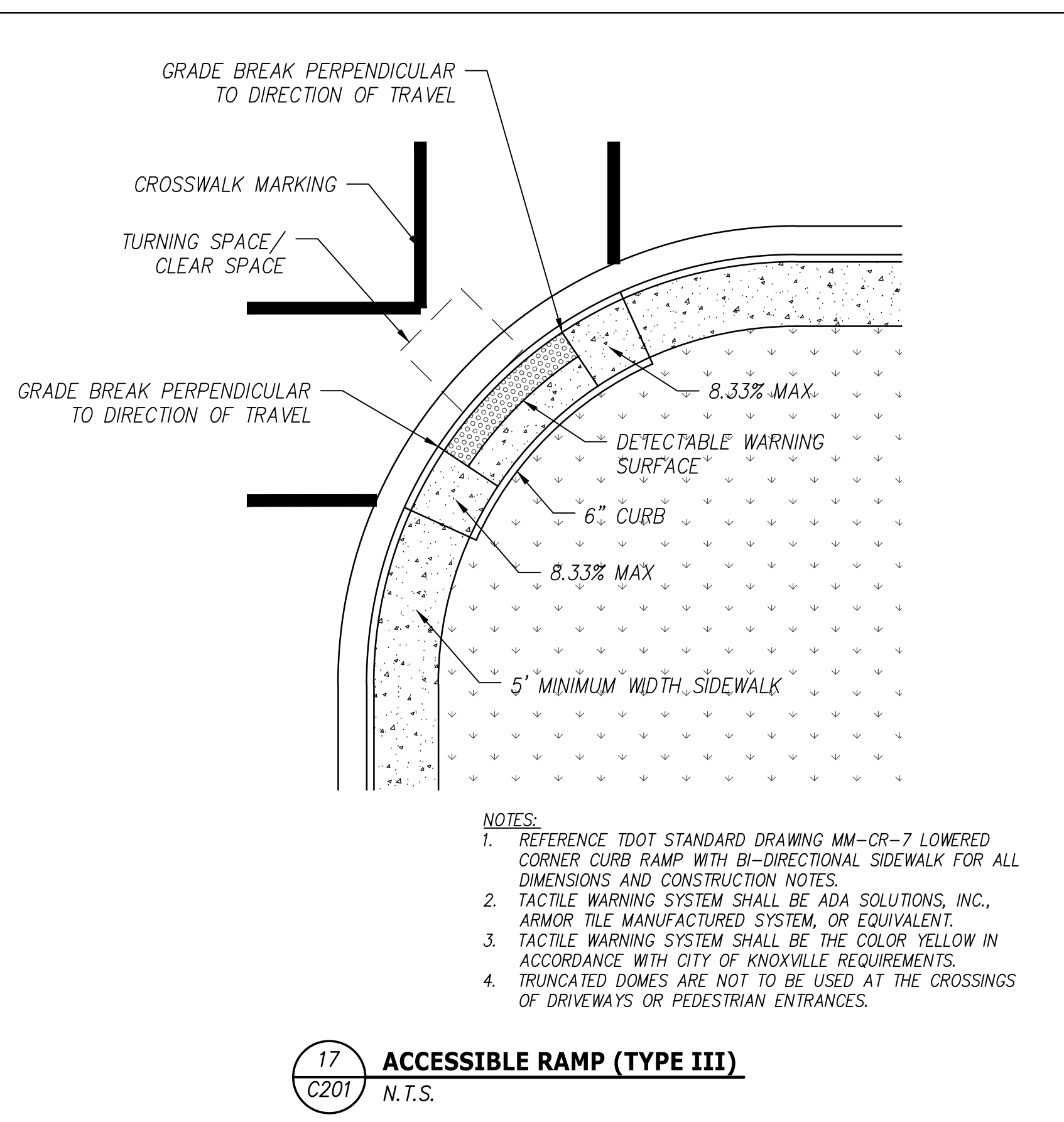
14 ACCESSIBLE PARKING SYMBOL
C102 N.T.S.



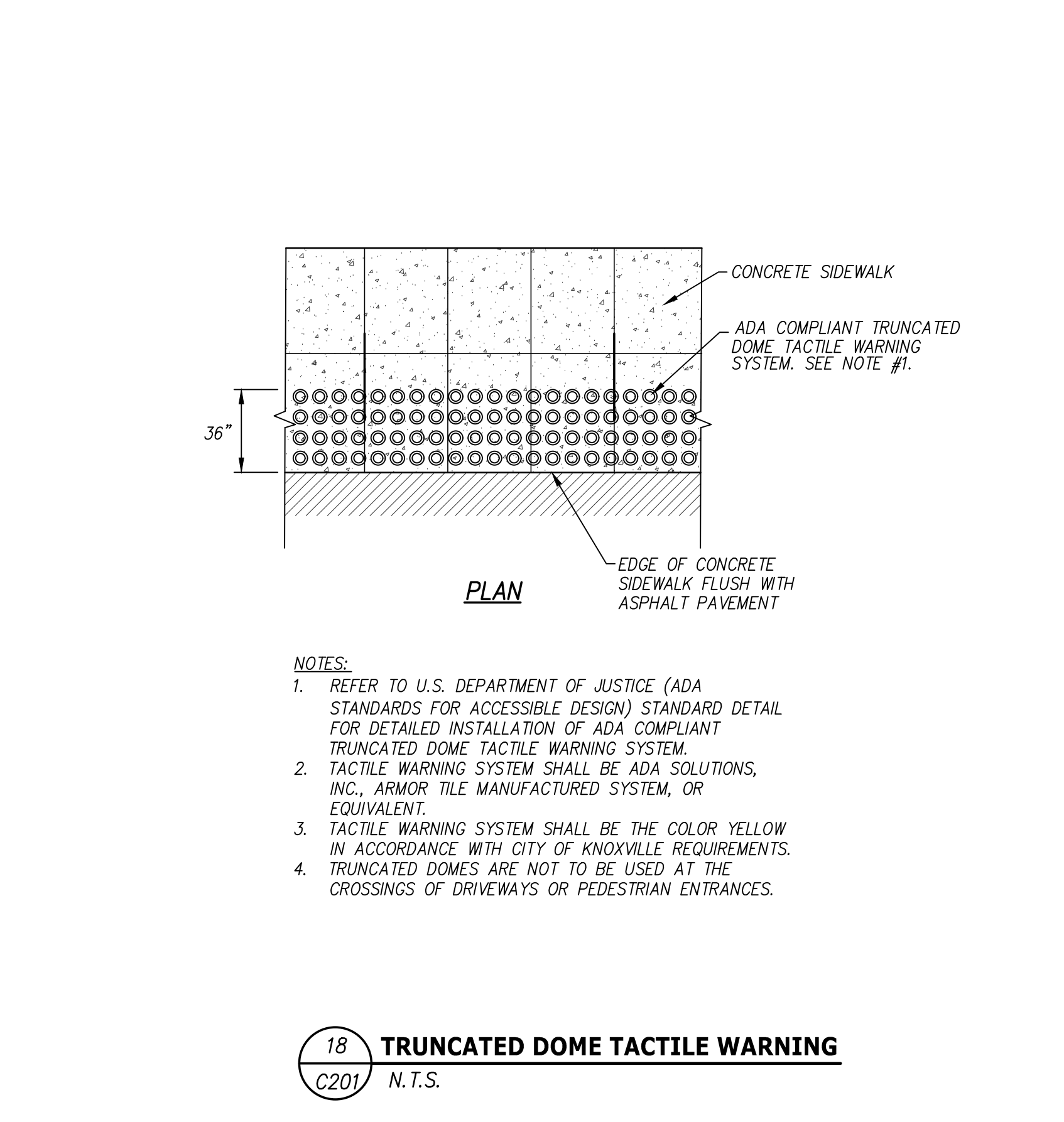
15 ACCESSIBLE RAMP (TYPE I)
C201 N.T.S.



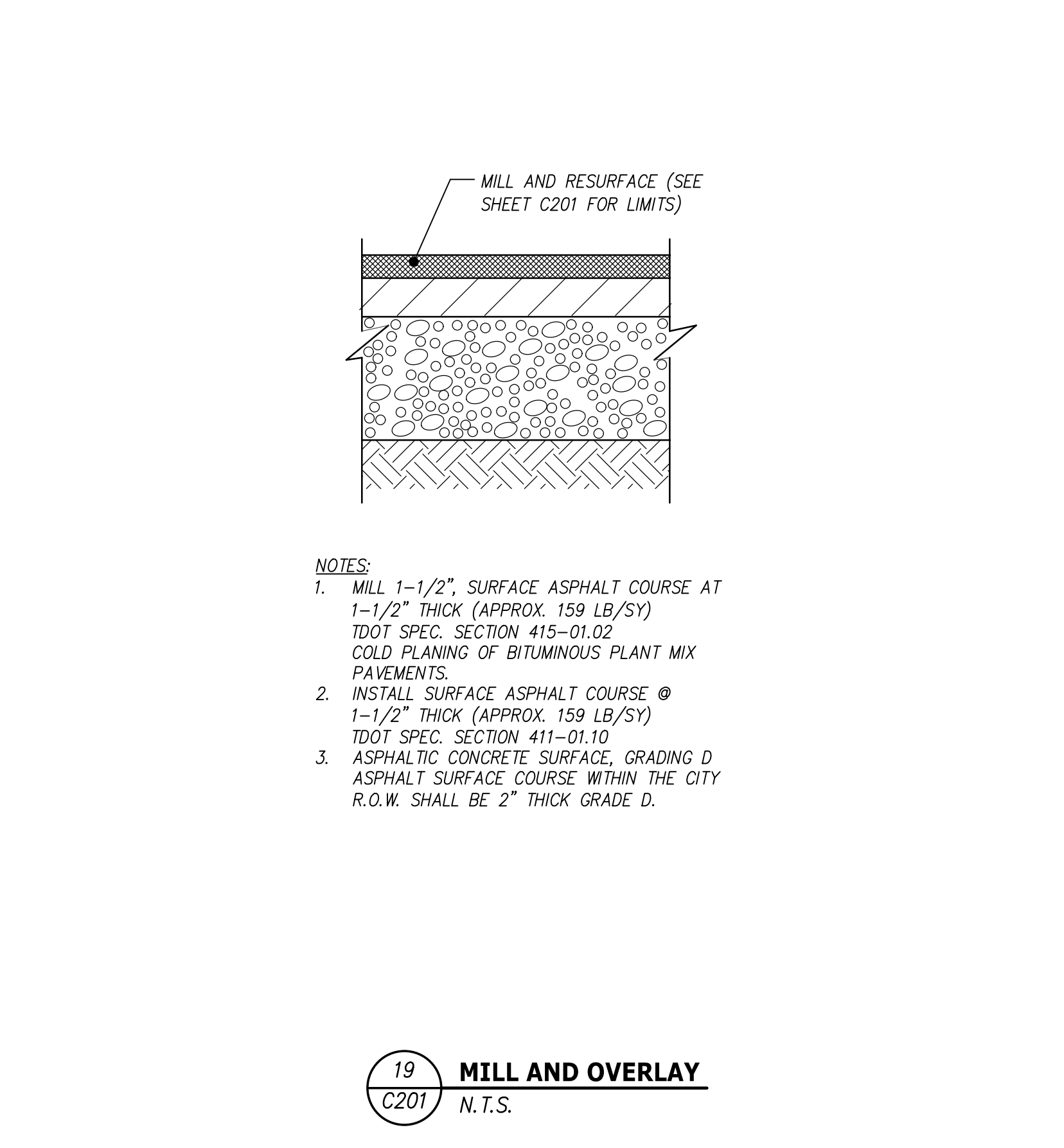
16 ACCESSIBLE RAMP (TYPE II)
C201 N.T.S.



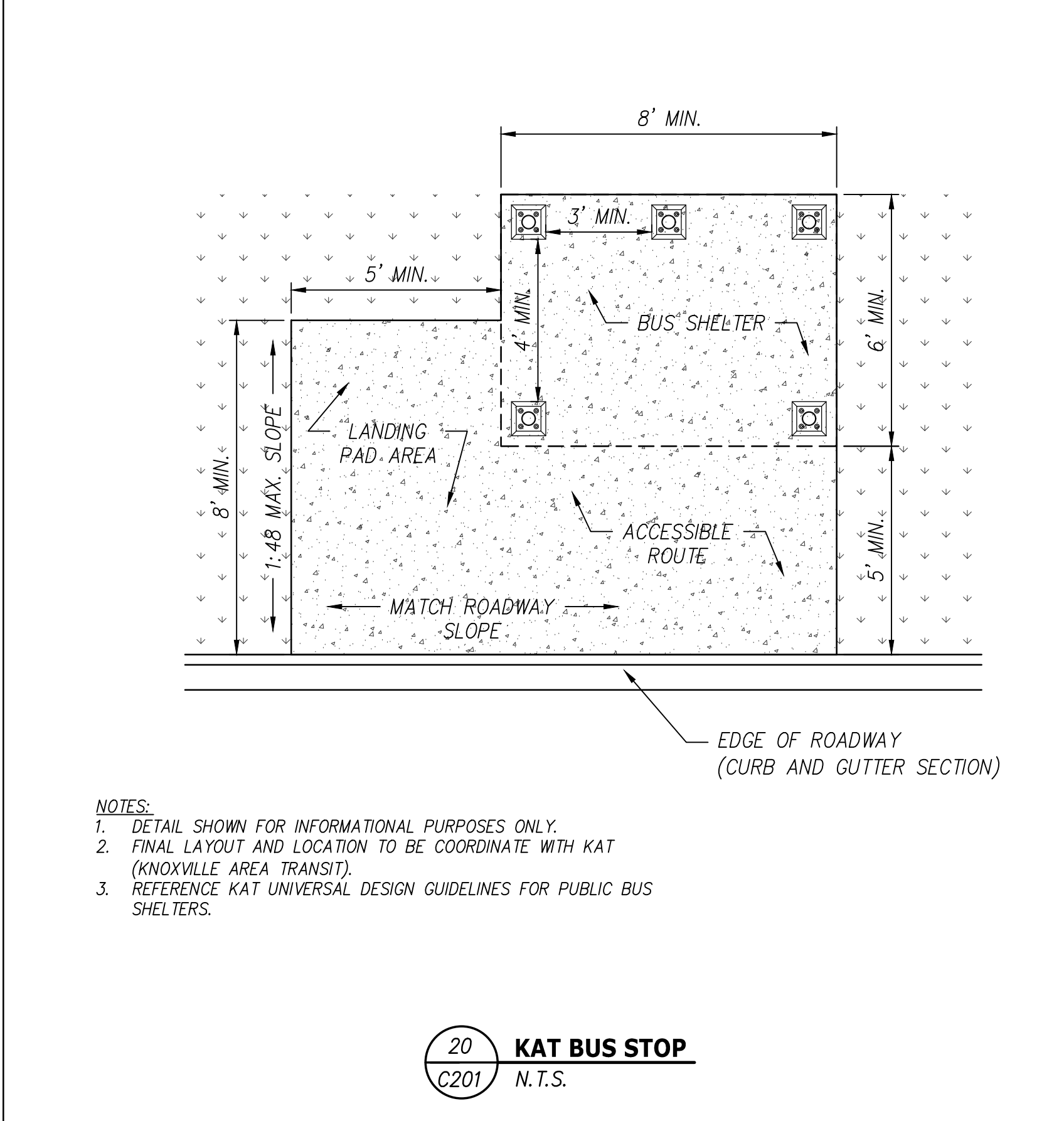
17 ACCESSIBLE RAMP (TYPE III)
C201 N.T.S.



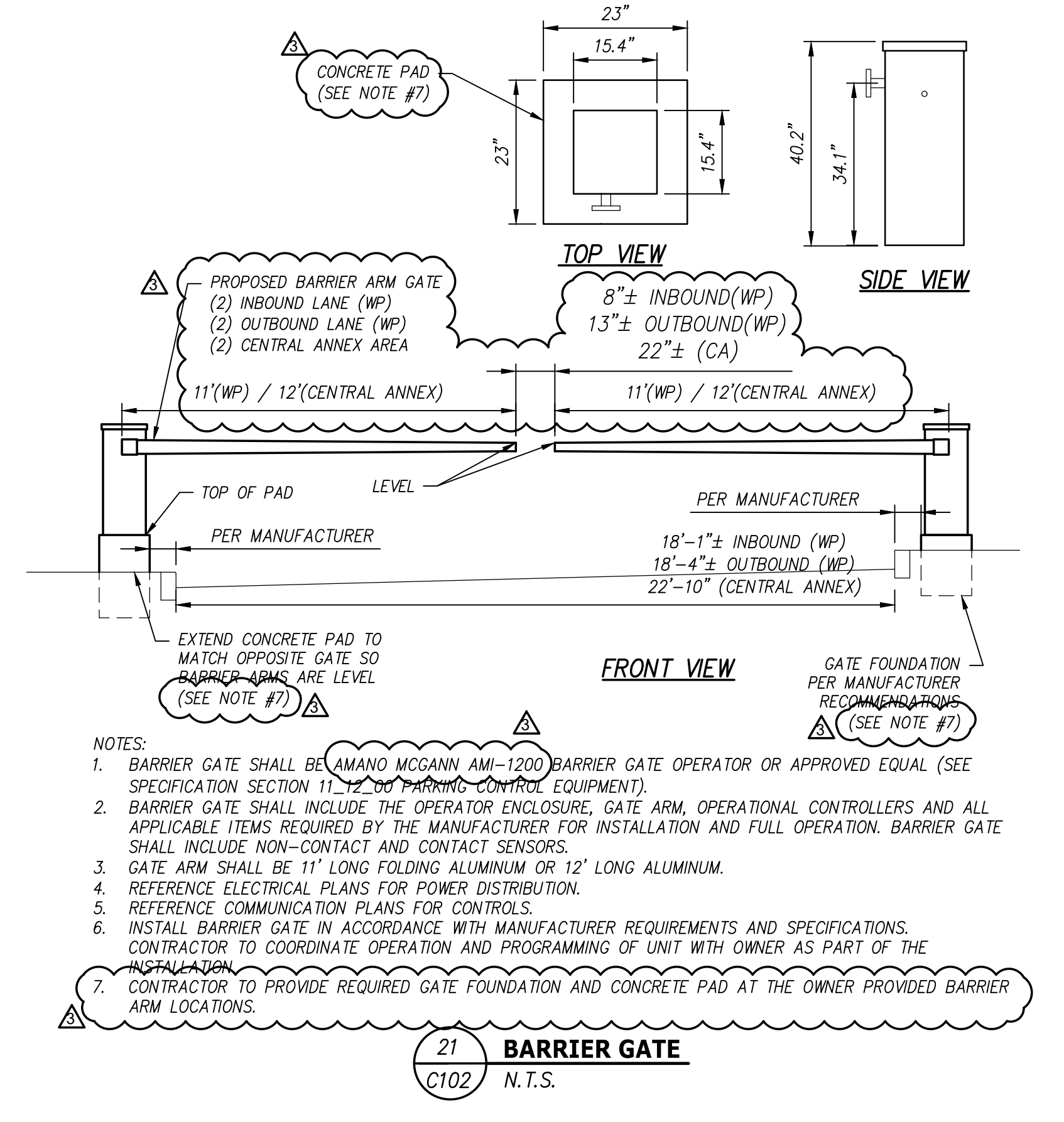
18 TRUNCATED DOME TACTILE WARNING
C201 N.T.S.



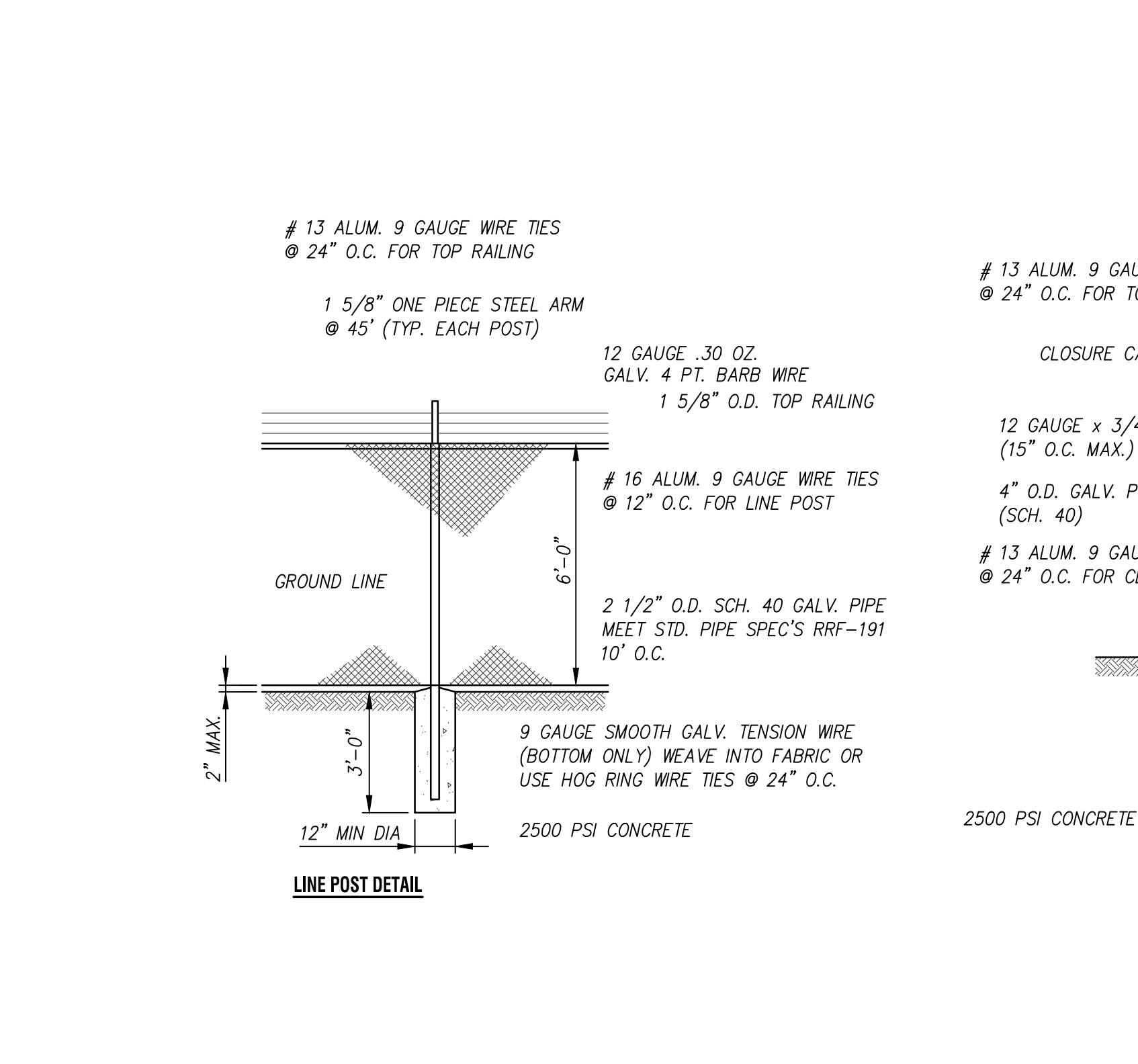
19 MILL AND OVERLAY
C201 N.T.S.



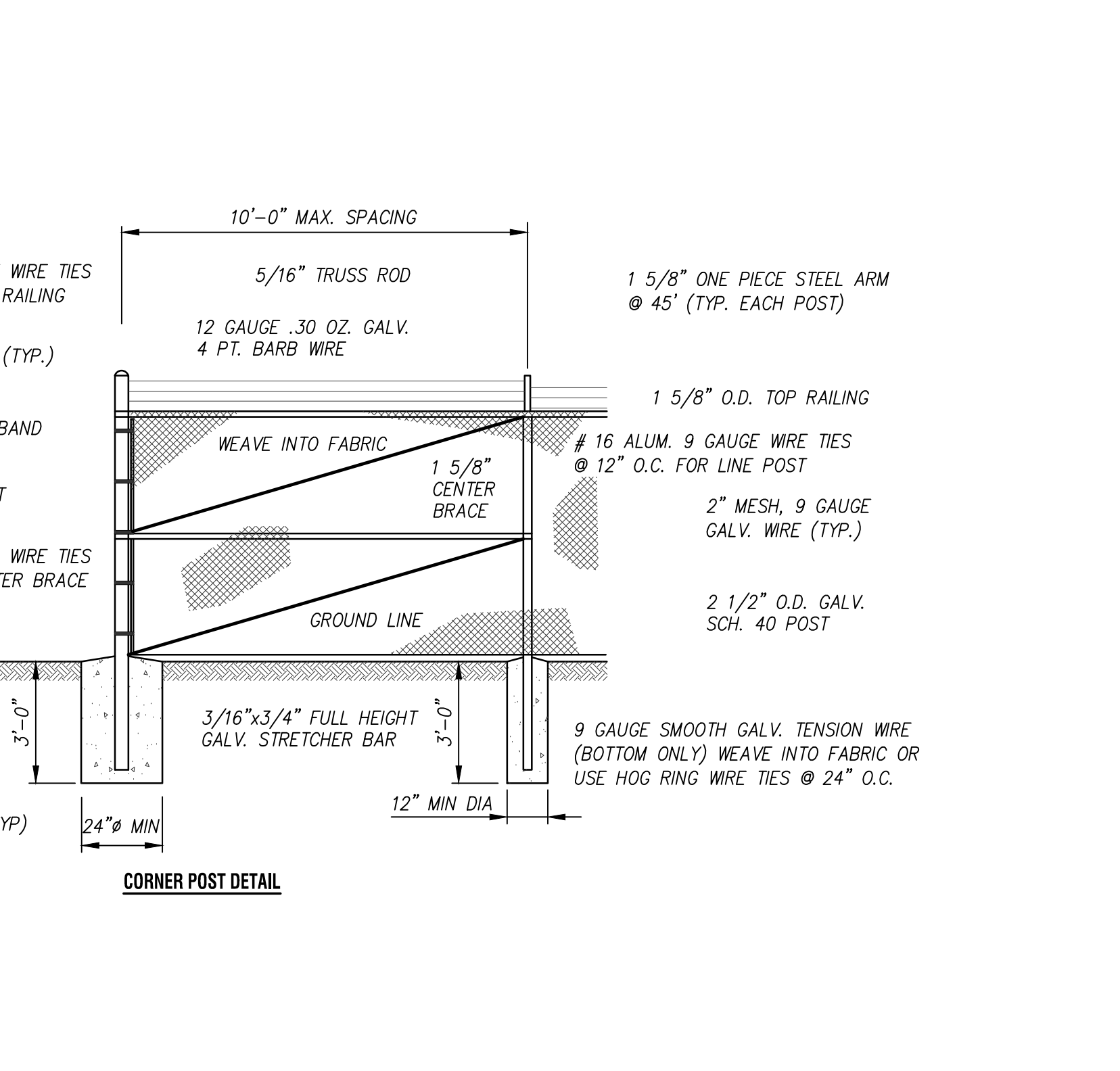
20 KAT BUS STOP
C201 N.T.S.



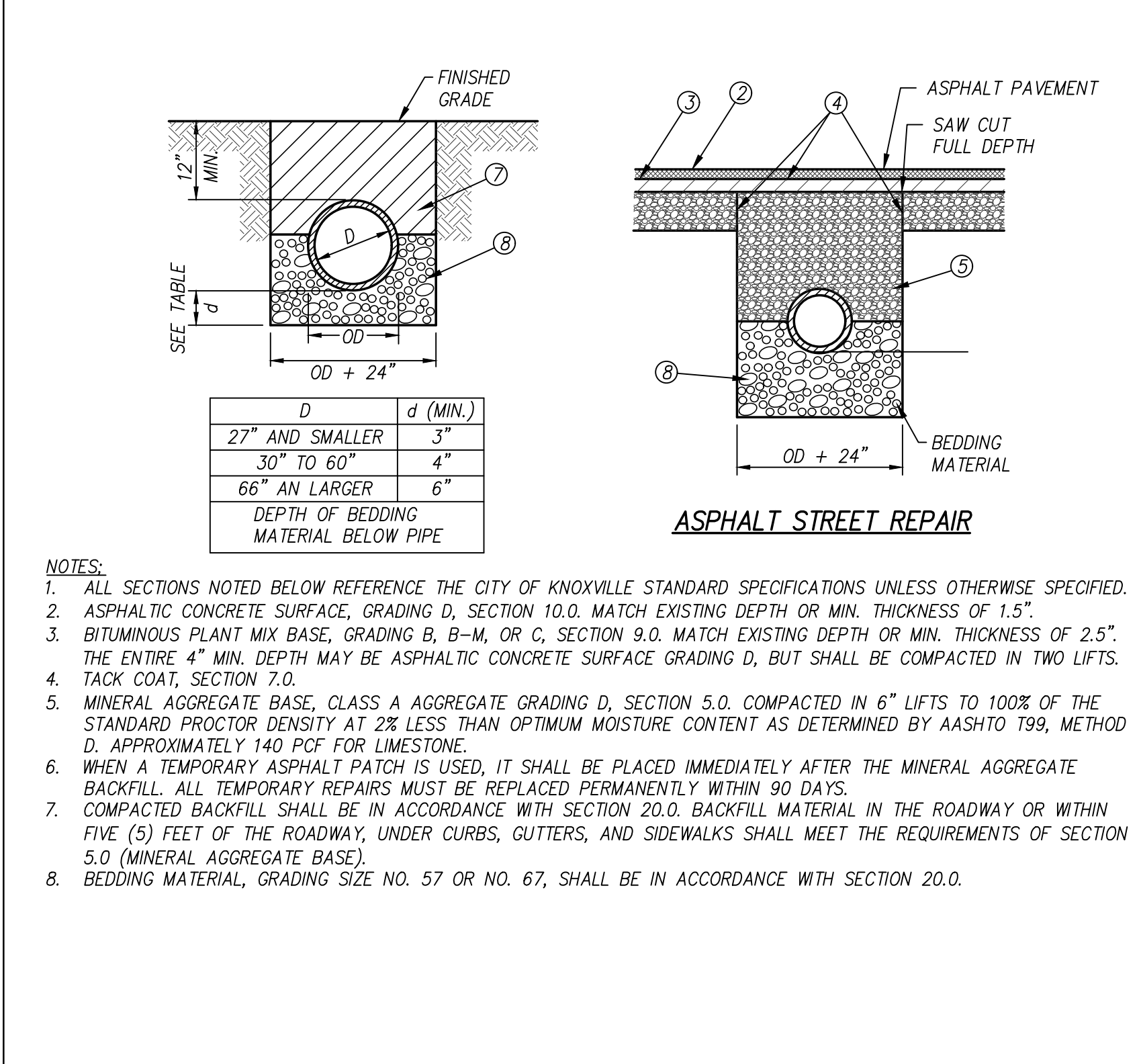
21 BARRIER GATE
C102 N.T.S.



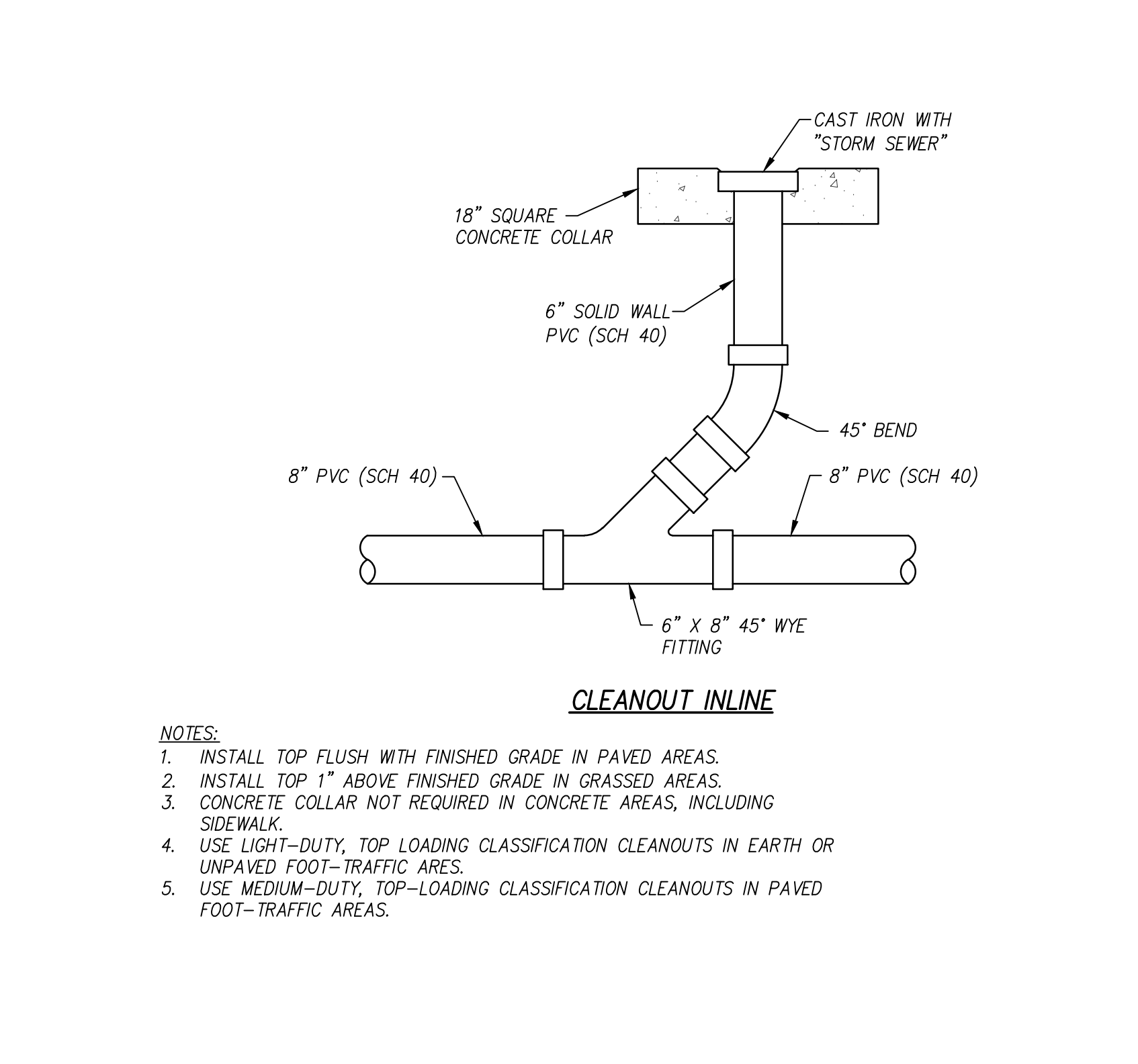
22 SECURITY FENCE
C101 N.T.S.



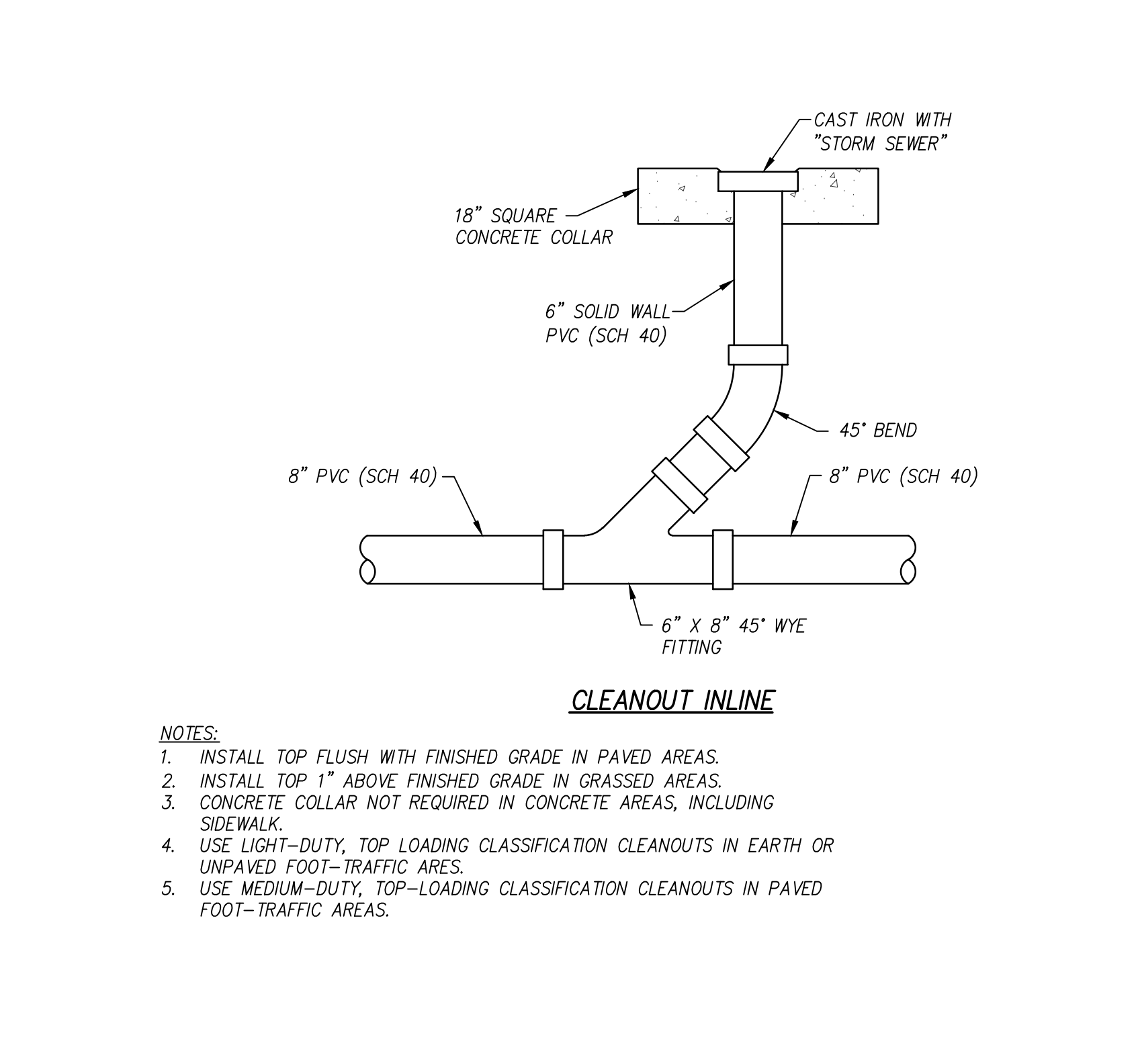
23 PIPE BEDDING & BACKFILL (PUBLIC)
C301 N.T.S. (SHALL BE USED IN AREAS INSIDE COK R.O.W.)



24 STORM CLEANOUT
C301 N.T.S.



25 ASPHALT STREET REPAIR
C301 N.T.S.



26 CLEANOUT IN-LINE
C301 N.T.S.



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 1, 2021

PK: DAVID COLLINS/JOHN THURMAN

PM: LAUREN BUSH

PA: STEVEN WHITMORE /

Drawn By: JARED WILKINS

Checked By: Project Checked By

Drawing Info:

AD103

COMPOSITE DEMO PLAN - LOWER LEVEL 3

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MASS DEMOLITION GENERAL NOTES

- EXISTING DOCUMENTATION IS NOT INTENDED TO BE TOTALLY INCLUSIVE - LOCATIONS OF WALLS, CASEWORK, AND FIXTURES MAY VARY. ALL CONDITIONS TO BE FIELD VERIFIED AND DEMOLISHED UNLESS OTHERWISE NOTED.
- REMOVE ALL EXISTING CONSTRUCTION AS INDICATED INCLUDING, BUT NOT LIMITED TO WALLS, WINDOWS, CEILING, FINISHES, FIXTURES, DOORS, SLABS, ROOFS AND ACCESSORIES.
- CAP AND CONCEAL ALL UTILITIES WHERE FIXTURES, EQUIPMENT ARE REMOVED.
- ALL REMAINING FURNITURE, FIXTURES AND EQUIPMENT TO BE REMOVED AND DISPOSED.
- ALL EXISTING DIMENSIONS NOTED TO BE FIELD VERIFIED. NOTIFY ARCHITECT IF CONDITIONS VARY.
- REFER TO BID PACKAGE 01 FOR EAST WING ABATEMENT & DEMOLITION, CAMPUS SYSTEMS DECOMMISSIONING, AND ABATEMENT & INTERIOR DEMOLITION OF POB, CENTRAL ANNEX, & WOMEN'S PAVILION.

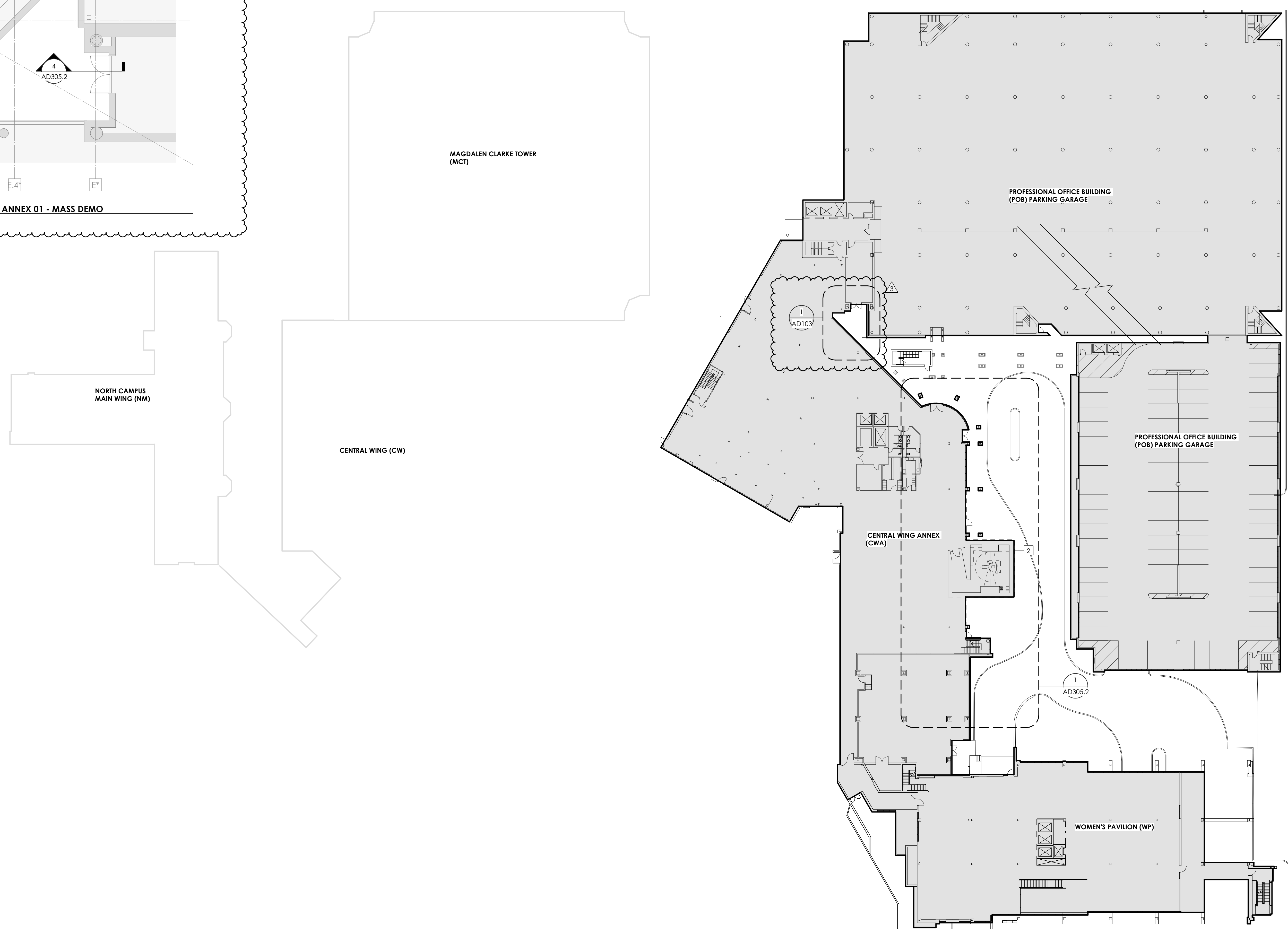
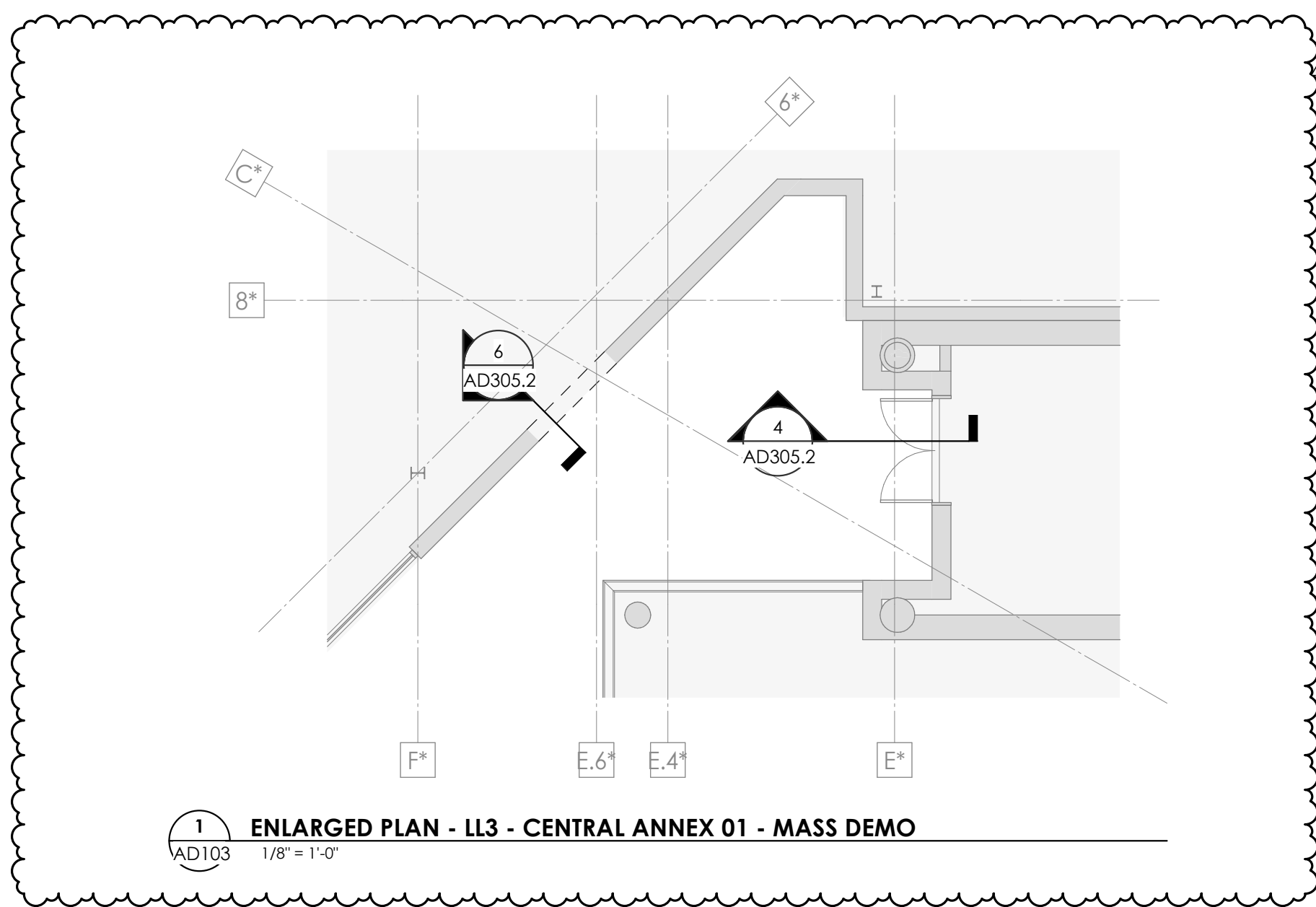
MASS DEMOLITION KEYNOTES 02

- REMOVE ALL EXISTING EXTERIOR CEILING TILE & GRID AT SOFFIT - PREP TO RECEIVE NEW EXTERIOR GRADE CEILING TILE & INSULATION
- REMOVE ALL EXISTING STAIRS AND PLACQUES; TURN OVER TO OWNER AFTER REMOVAL
- TEMPORARY ENCLOSURE WALL AT EXISTING OPENING; REFER TO BID PACKAGE 01
- ELEVATED BUILDING ABOVE (DASHED)
- REMOVE EXISTING MECHANICAL PENTHOUSE WALLS, ROOF, FINISHES AND EQUIPMENT. COVER AND PROTECT FLOOR SLAB UNTIL NEW ROOF IS APPLIED
- NOTIFY PROPERTY OWNER'S REPRESENTATIVES WHEN SEPARATION FROM CLARKE TOWER OCCURS. TEMPORARY PARTITIONS AT CLARKE TOWER BY OTHERS.
- CONTRACTOR TO VERIFY REQUIRED OPENING SIZE WITH ARCHITECT FOR NEW DOUBLE DOOR PRIOR TO CUTTING.
- VERIFY EXISTING WALL CONSTRUCTION AT WALLS TO REMAIN. NOTIFY ARCHITECT IF EXTERIOR WALL CONSTRUCTION NO LONGER IN PLACE TO DETERMINE IF TEMPORARY PARTITIONS ARE REQUIRED.
- SLAB ABOVE TO REMAIN (DASHED)
- EXISTING SLAB TO BE DEMOLISHED AS REQUIRED FOR INSTALLATION OF NEW CONCRETE RETAINING WALL AND FOUNDATIONS
- REMOVE EXISTING LOW ROOF AT CENTRAL ANNEX. COVER AND PROTECT UNTIL NEW ROOF IS APPLIED
- REMOVE EXISTING CANOPY, ROOF, AND ASSOCIATED STEEL STRUCTURE
- REMOVE EXISTING WALLS AND DOORS TO PREPARE FOR NEW MECHANICAL EQUIPMENT
- REMOVE EXISTING ROOF SYSTEM TO DECK AND IN PREPARATION FOR NEW ROOF - PROTECT FROM ELEMENTS AS REQUIRED
- REMOVE EXISTING BRICK MASONRY AND METAL STUDS AS REQUIRED FOR NEW PENSION ENTRANCE
- REMOVE EXISTING DOOR OPENINGS AND BRICK MASONRY ON FACADE - INFILL OPENINGS AND PREP FOR NEW BRICK MASONRY VENEER

MASS DEMO WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- AREA OUTSIDE SCOPE OF WORK
- PERIMETER OF BUILDINGS ABOVE

'AD' SERIES ARCHITECTURAL DEMOLITION PLANS ARE ROTATED 90 COUNTER-CLOCKWISE FROM CIVIL PLANS



2/19/2021 12:51:48 PM



Project Information:

19018

COK SAFETY BUILDING

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Seal:



Consultant:

Architects Design Group

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 PIC: DAVID COLLINS/JOHN THURMAN
 PM: LAUREN BUSH
 PA: STEVEN WHITMORE /
 Drawn By: JARED WILKINS
 Checked By: Project Checked By

Drawing Info:

AD104

COMPOSITE DEMO PLAN - LOWER LEVEL 2

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MASS DEMOLITION GENERAL NOTES

- EXISTING DOCUMENTATION IS NOT INTENDED TO BE TOTALLY INCLUSIVE - LOCATIONS OF WALLS, CASEWORK, AND FIXTURES MAY VARY. ALL CONDITIONS TO BE FIELD VERIFIED AND DEMOLISHED UNLESS OTHERWISE NOTED.
- REMOVE ALL EXISTING CONSTRUCTION AS INDICATED INCLUDING, BUT NOT LIMITED TO WALLS, WINDOWS, CEILINGS, FINISHES, FIXTURES, DOORS, SLABS, ROOFS AND ACCESSORIES.
- CAP AND CONCEAL ALL UTILITIES WHERE FIXTURES, EQUIPMENT ARE REMOVED.
- ALL REMAINING FURNITURE, FIXTURES AND EQUIPMENT TO BE REMOVED AND DISPOSED.
- ALL EXISTING DIMENSIONS NOTED TO BE FIELD VERIFIED. NOTIFY ARCHITECT IF CONDITIONS VARY.
- REFER TO BID PACKAGE 01 FOR EAST WING ABATEMENT & DEMOLITION, CAMPUS SYSTEMS DECOMMISSIONING, AND ABATEMENT & INTERIOR DEMOLITION OF POB, CENTRAL ANNEX, & WOMEN'S PAVILION.

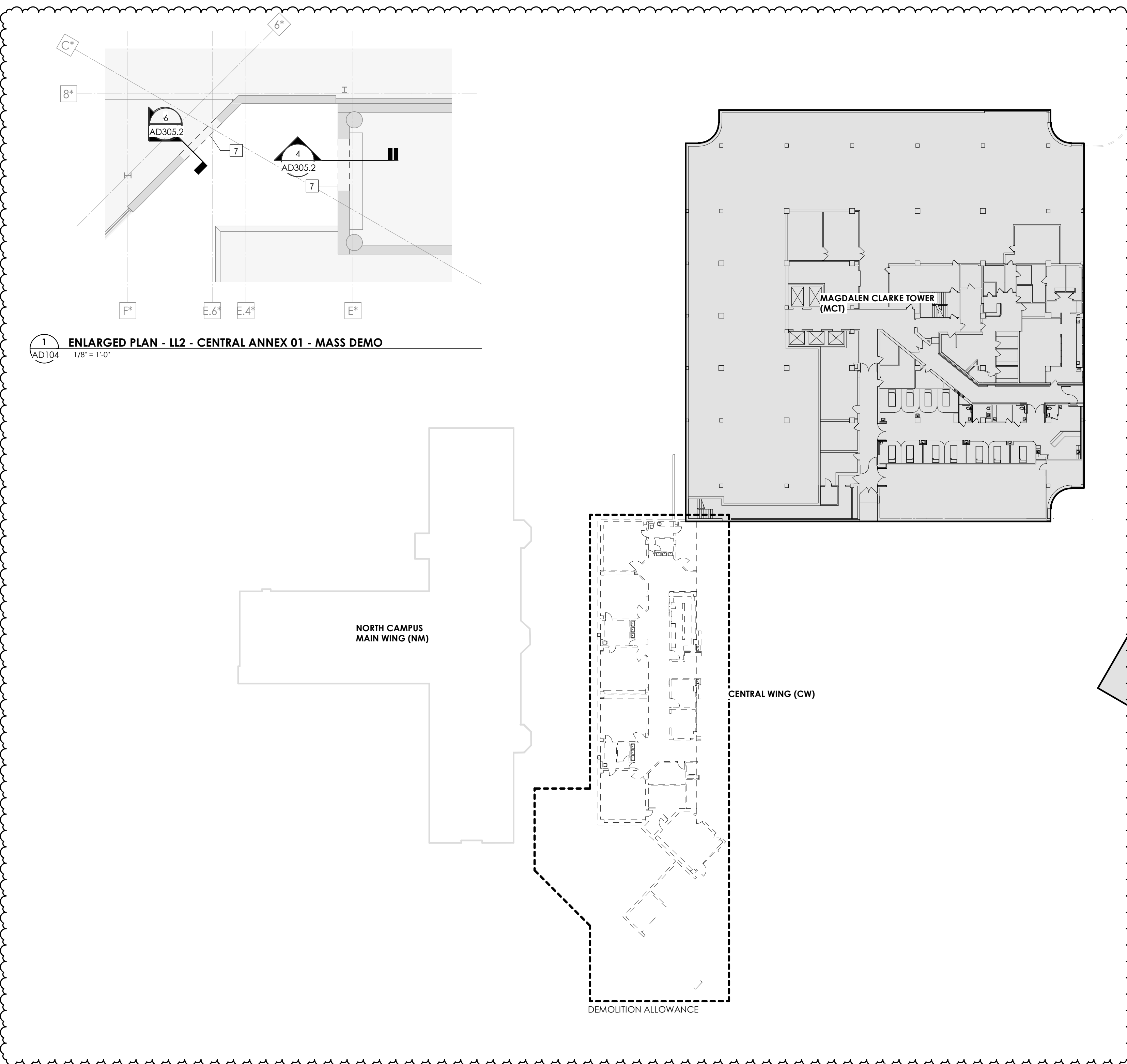
MASS DEMOLITION KEYNOTES 02

- REMOVE ALL EXISTING EXTERIOR CEILING TILE & GRID AT SOFFIT - PREP TO RECEIVE NEW EXTERIOR ROOF CEILING TILE & INSULATION
- REMOVE WALL MOUNTED STATUE AND PLAQUES; TURN OVER TO OWNER AFTER REMOVAL
- TEMPORARY ENCLOSURE WALL AT EXISTING OPENING; REFER TO BID PACKAGE 01 ELEVATED BUILDING ABOVE (DASHED)
- REMOVE EXISTING MECHANICAL PENTHOUSE WALLS, ROOF, FINISHES AND EQUIPMENT. COVER AND PROTECT FLOOR SLAB UNTIL NEW ROOF IS APPLIED
- NOTIFY PROPERTY OWNER'S REPRESENTATIVES WHEN SEPARATION FROM CLARKE TOWER OCCURS. TEMPORARY PARTITIONS AT CLARKE TOWER BY OTHERS.
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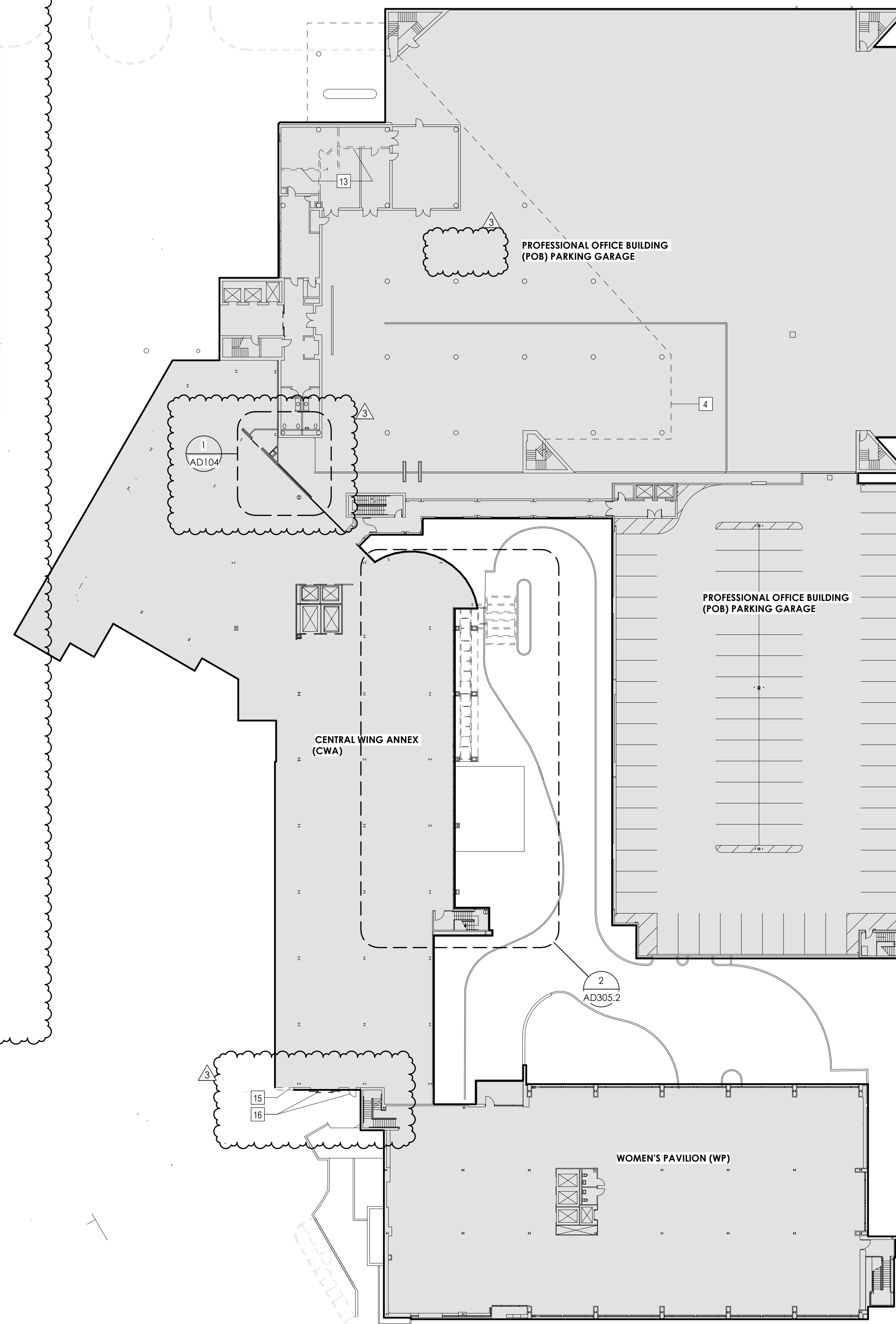
MASS DEMO WALL LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	AREA OUTSIDE SCOPE OF WORK
	PERIMETER OF BUILDINGS ABOVE

'AD' SERIES ARCHITECTURAL DEMOLITION PLANS ARE ROTATED 90 COUNTER-CLOCKWISE FROM CIVIL PLANS



1 ENLARGED PLAN - LL2 - CENTRAL ANNEX 01 - MASS DEMO
 AD104 1/8" = 1'-0"



2 COMPOSITE DEMO PLANS - LOWER LEVEL 2
 AD104 1" = 30'-0"



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS/JOHN THURMAN
 PM: LAUREN BUSH
 PA: STEVEN WHITMORE /
 Drawn By: JARED WILKINS
 Checked By: Project Checked By

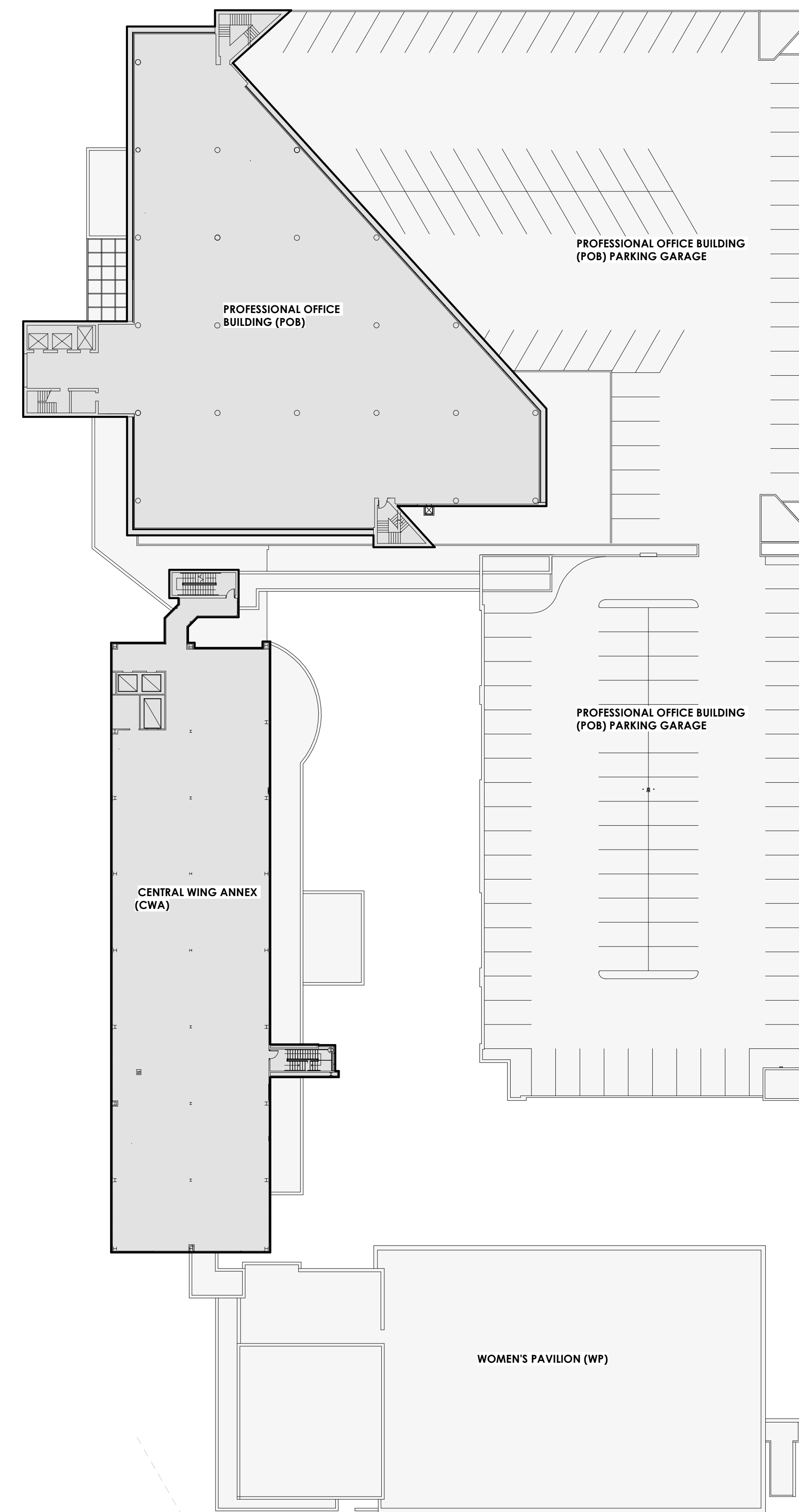
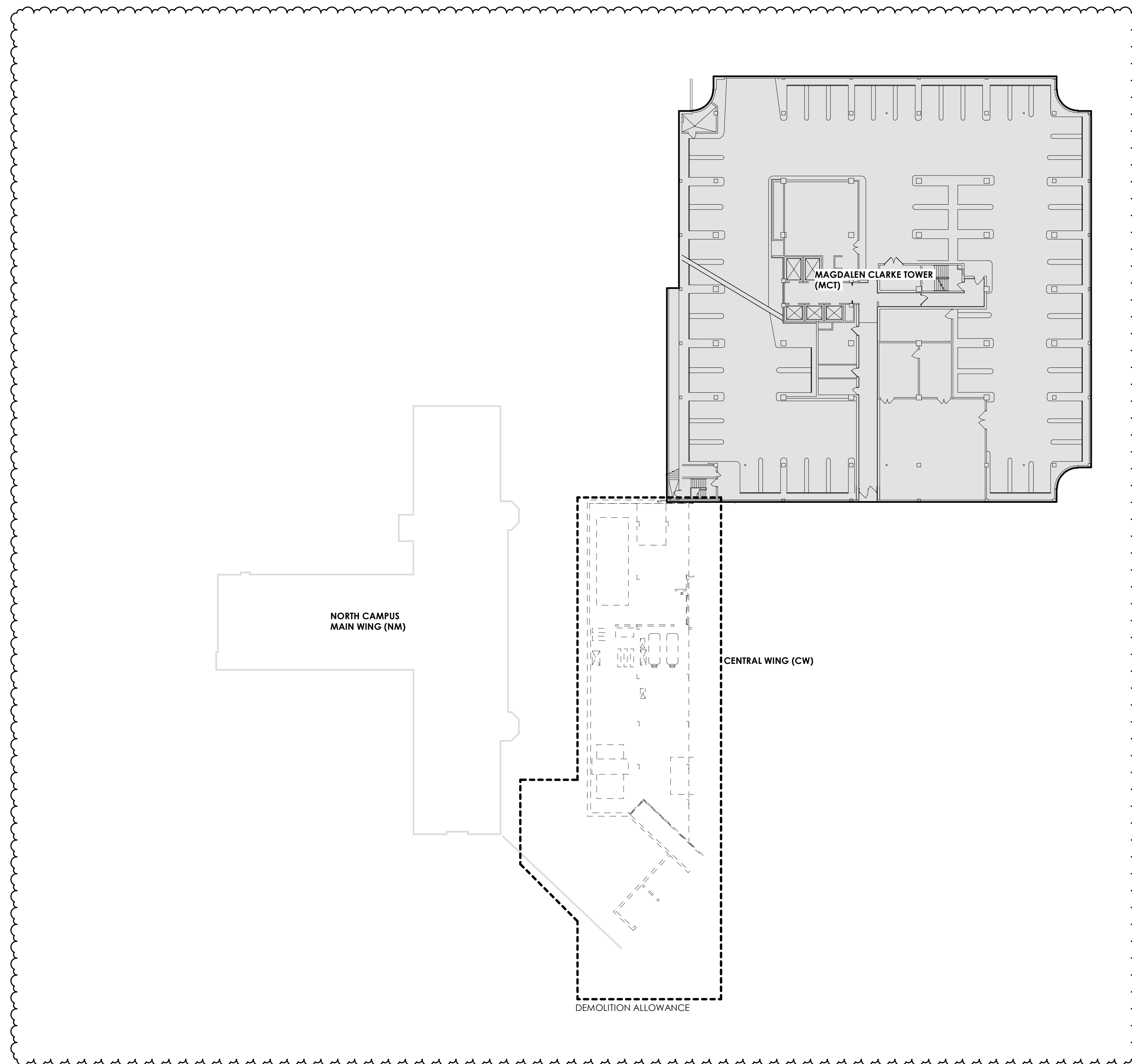
Drawing Info:

AD105

COMPOSITE DEMO PLAN - LOWER LEVEL 1

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'AD' SERIES ARCHITECTURAL DEMOLITION PLANS ARE ROTATED 90 COUNTER-CLOCKWISE FROM CIVIL PLANS



MASS DEMOLITION GENERAL NOTES

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- REFER TO BID PACKAGE 01 FOR EAST WING ABATEMENT & DEMOLITION, CAMPUS SYSTEMS DECOMMISSIONING, AND ABATEMENT & INTERIOR DEMOLITION OF POB, CENTRAL ANNEX, & WOMEN'S PAVILION.

MASS DEMOLITION KEYNOTES 02

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- REMOVE WALL MOUNTED STATUE AND PLAQUES; TURN OVER TO OWNER AFTER REMOVAL
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MASS DEMO WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- AREA OUTSIDE SCOPE OF WORK
- PERIMETER OF BUILDINGS ABOVE



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS/JOHN THURMAN
 PM: LAUREN BUSH
 PA: STEVEN WHITMORE /
 Drawn By: JARED WILKINS
 Checked By: Project Checked By

Drawing Info:

AD106

COMPOSITE DEMO PLAN - GROUND FLOOR

'AD' SERIES ARCHITECTURAL DEMOLITION PLANS ARE ROTATED 90 COUNTER-CLOCKWISE FROM CIVIL PLANS

MASS DEMOLITION GENERAL NOTES

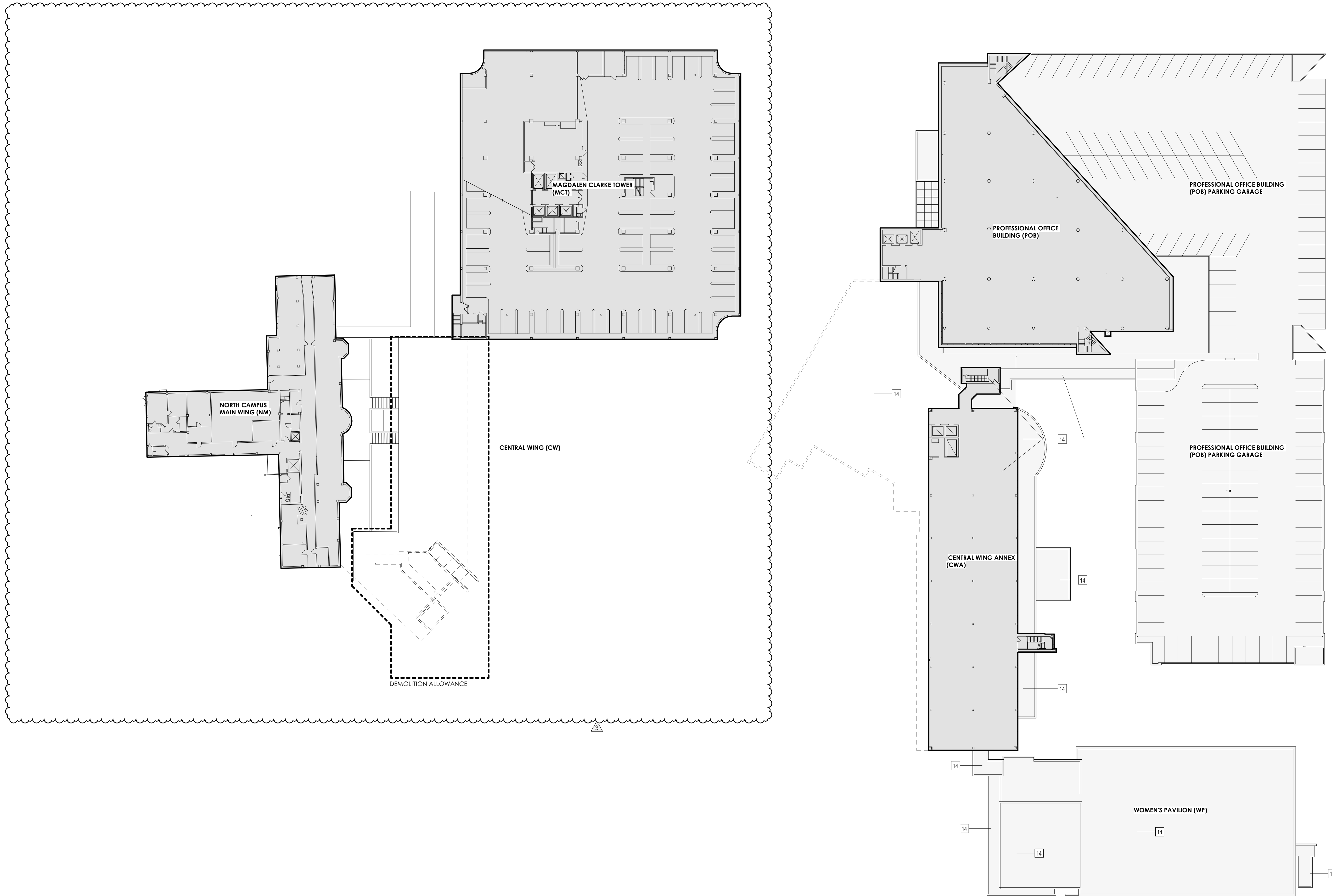
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MASS DEMO WALL LEGEND

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	AREA OUTSIDE SCOPE OF WORK
	PERIMETER OF BUILDINGS ABOVE





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

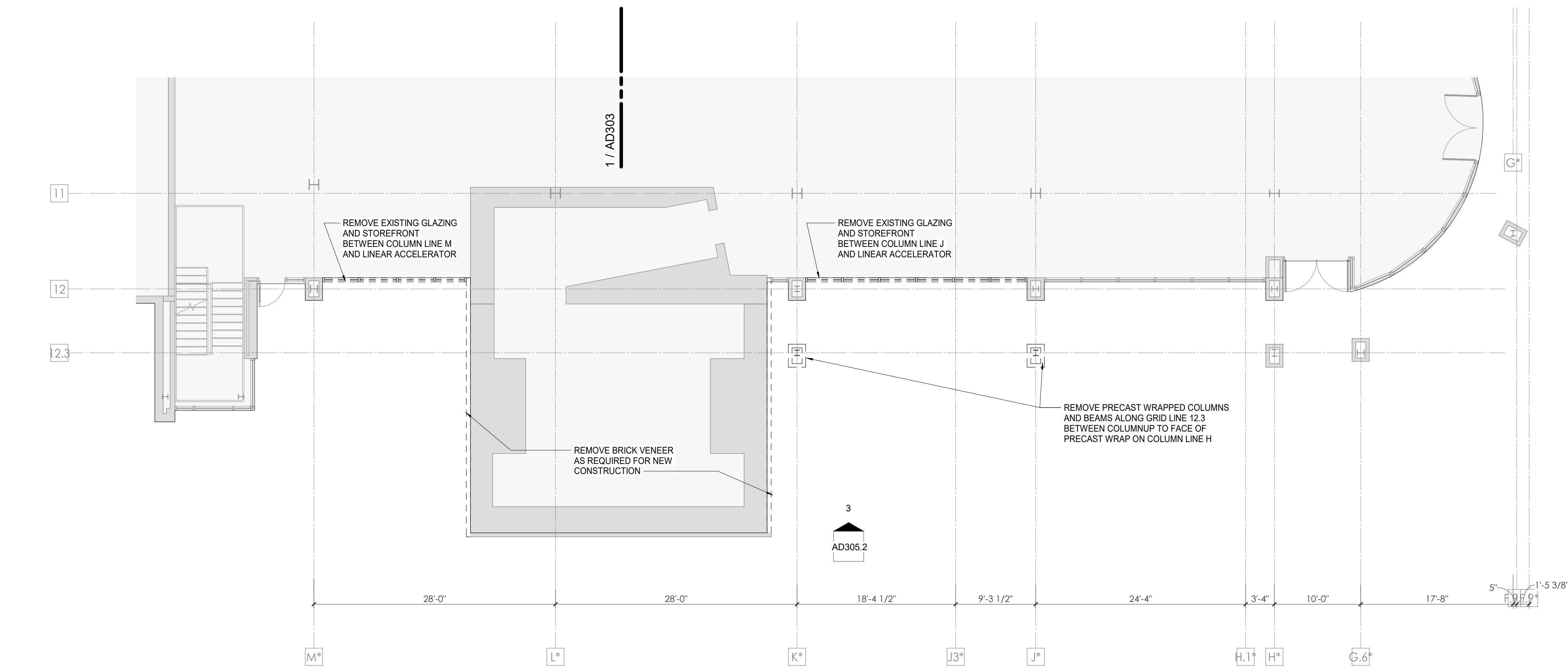
#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PK:	DAVID COLLINS/JOHN THURMAN
PM:	LAUREN BUSH
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Drawn By:	Author
Checked By:	Project Checked By

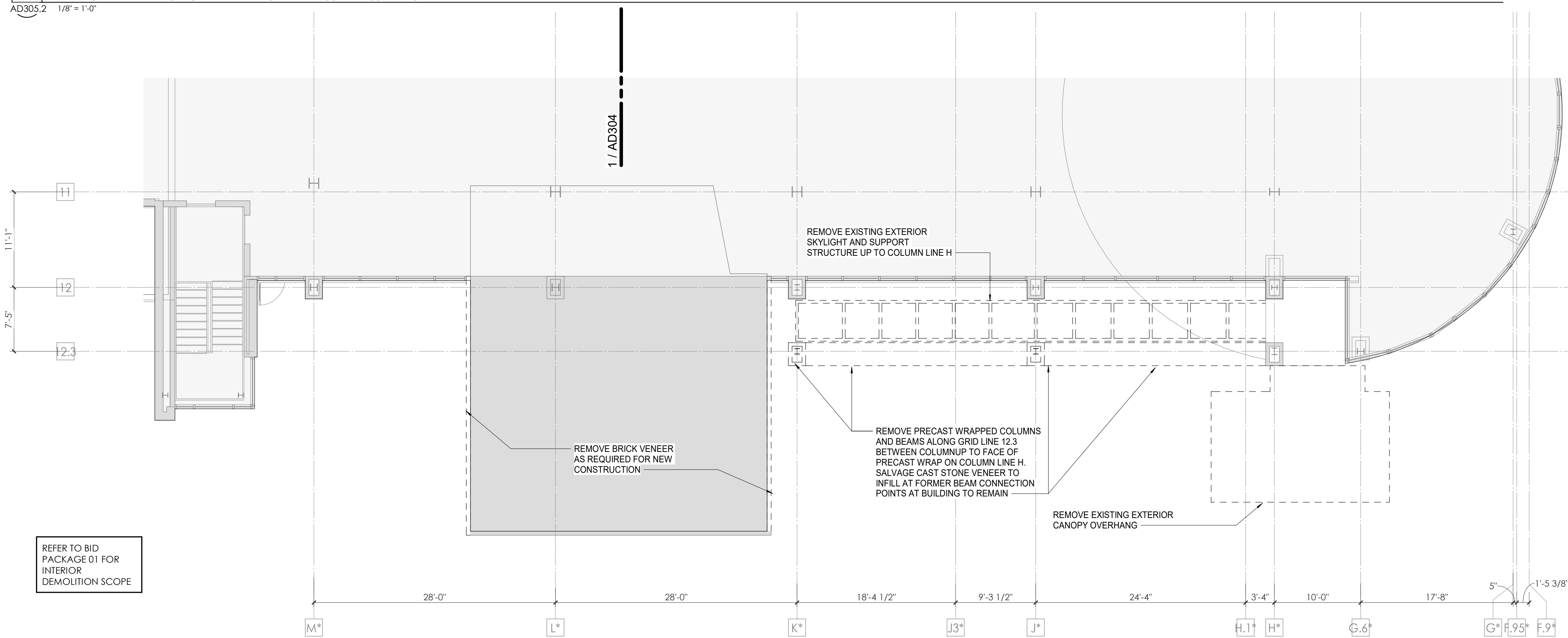
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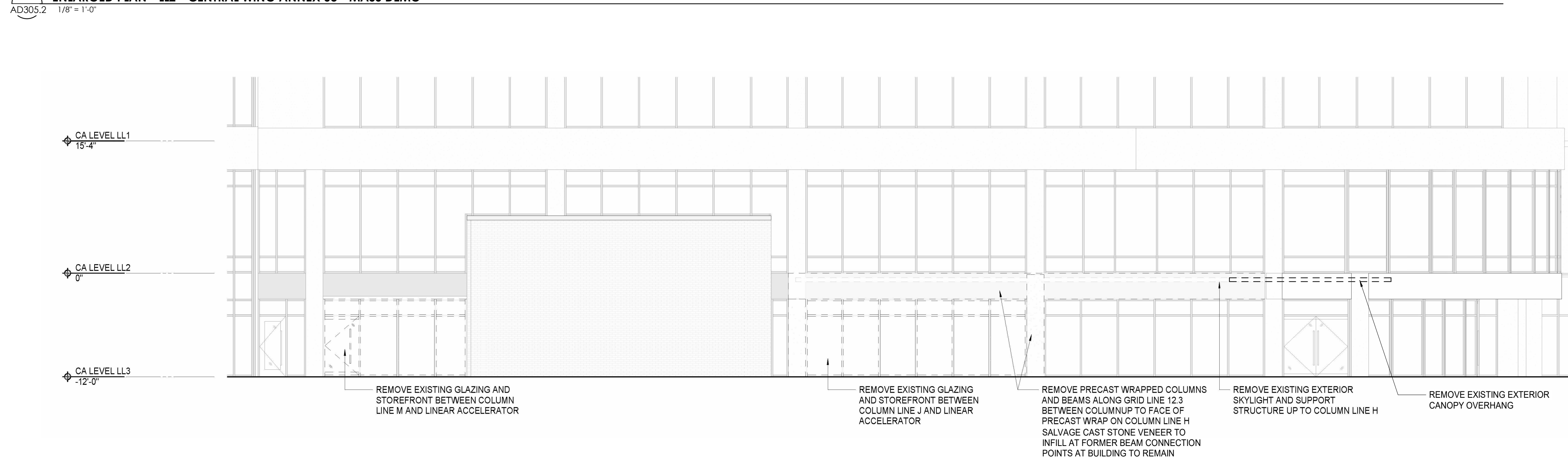
ENLARGED DEMO PLANS - CWA - LL3 AND LL2



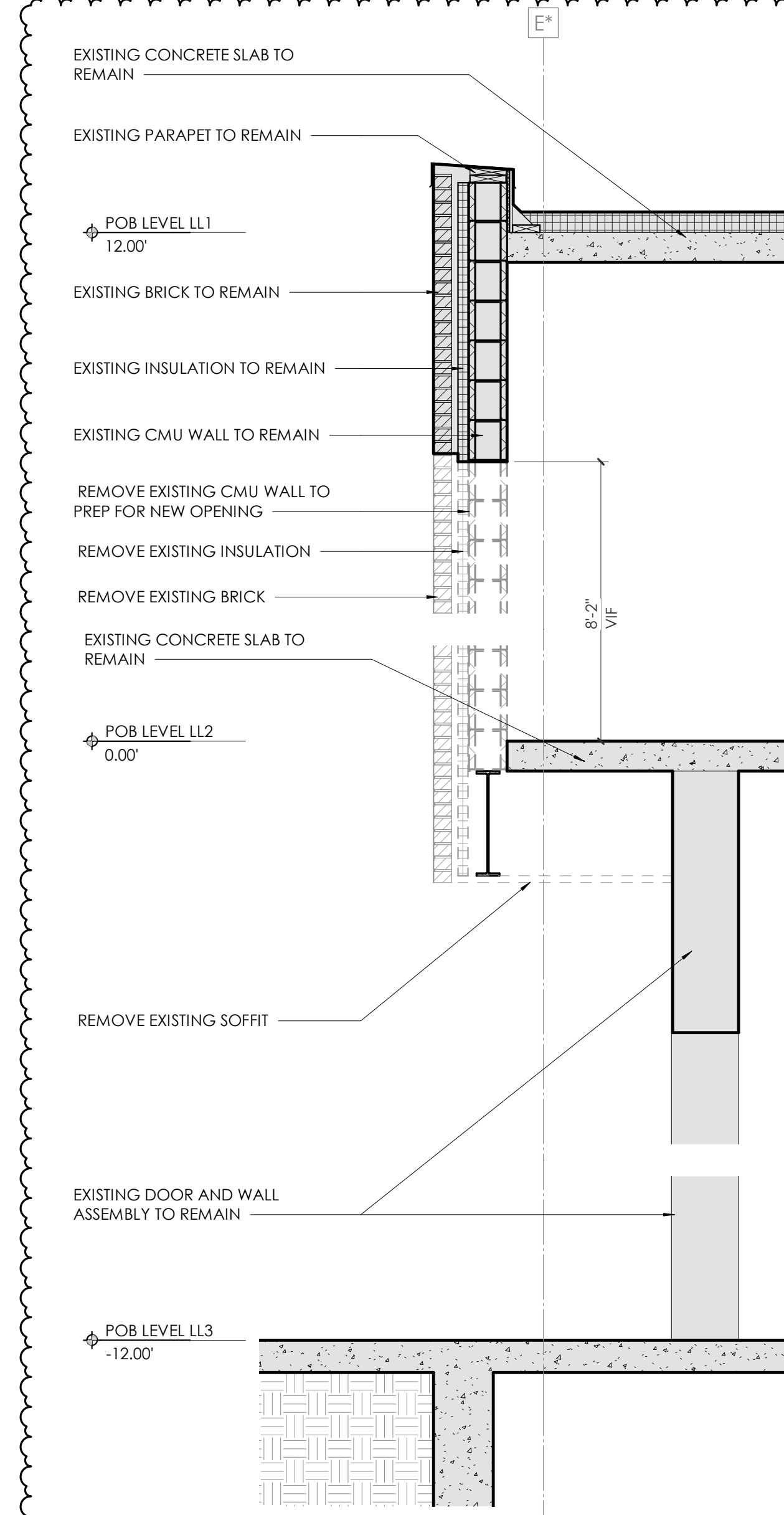
1 ENLARGED PLAN - LL3 - CENTRAL WING ANNEX 03 - MASS DEMO
AD305.2 1/8" = 1'-0"



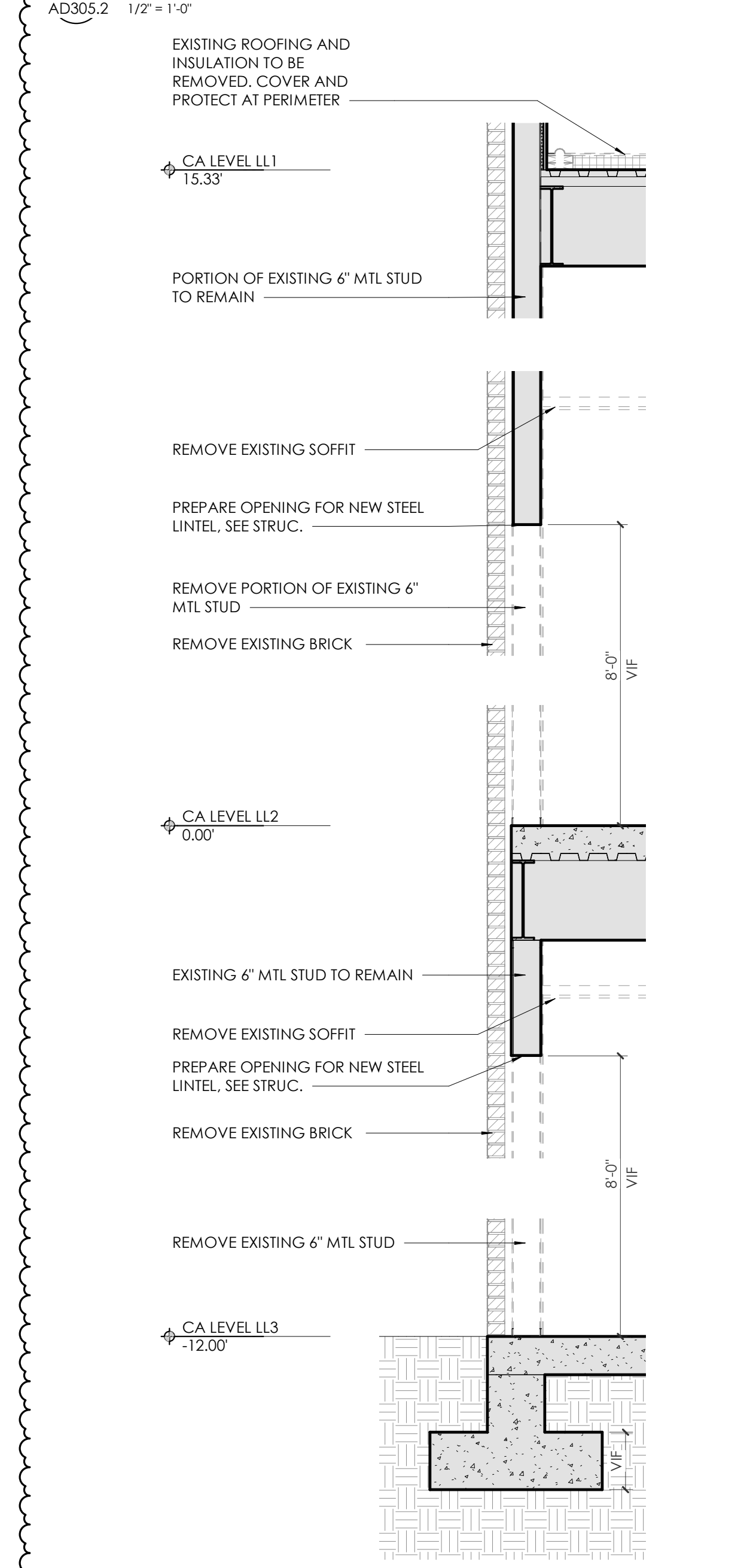
2 ENLARGED PLAN - LL2 - CENTRAL WING ANNEX 03 - MASS DEMO
AD305.2 1/8" = 1'-0"



3 ENLARGED ELEVATION - CENTRAL ANNEX CANOPY
AD305.2 1/2" = 1'-0"



4 POB - WALL SECTION 02 - MASS DEMO
AD305.2 1/2" = 1'-0"



4 CENTRAL WING ANNEX - WALL SECTION 04 - MASS DEMO
AD305.2 1/2" = 1'-0"

MASS DEMOLITION GENERAL NOTES

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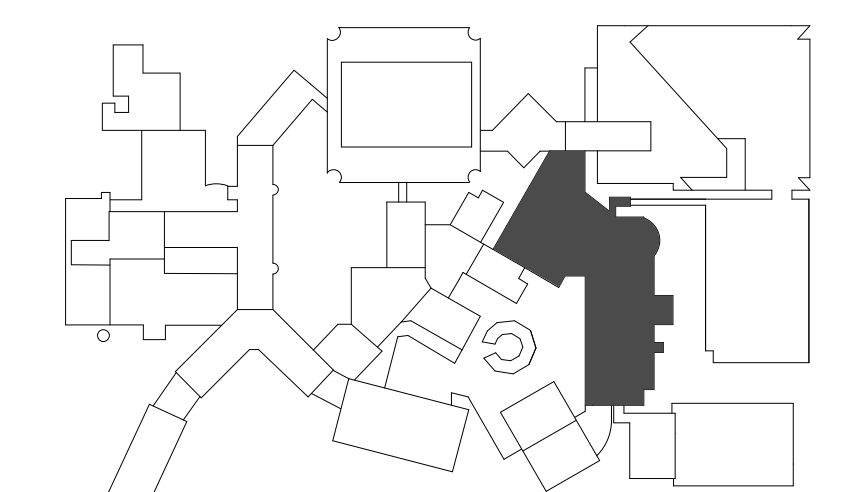
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MASS DEMO WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- PERIMETER OF BUILDINGS ABOVE

KEY PLAN





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	M LABBE
Checked By:	B. PIERCY

Drawing Info:

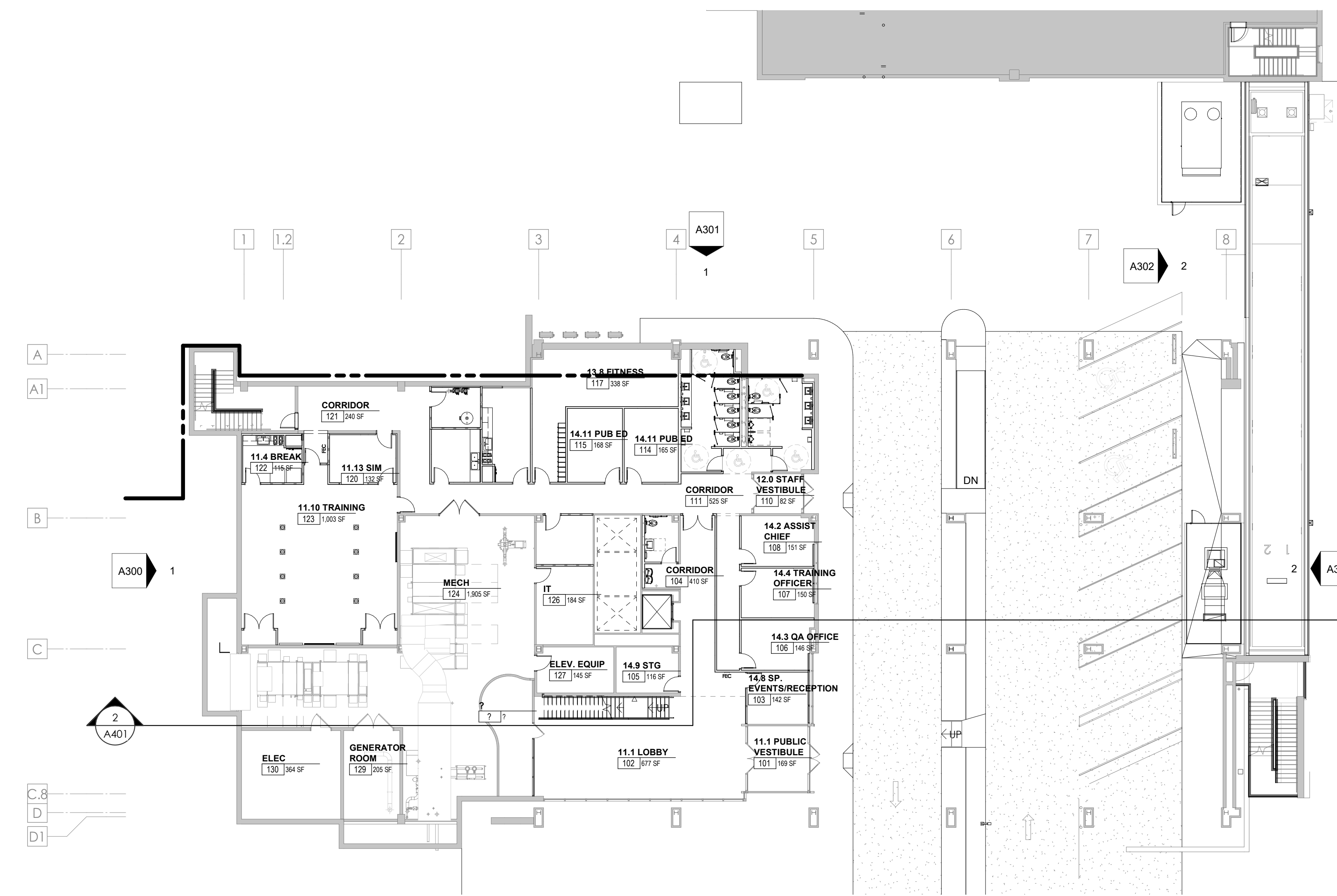
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WP - FIRST & SECOND LEVEL COMPOSITE FLOOR PLANS

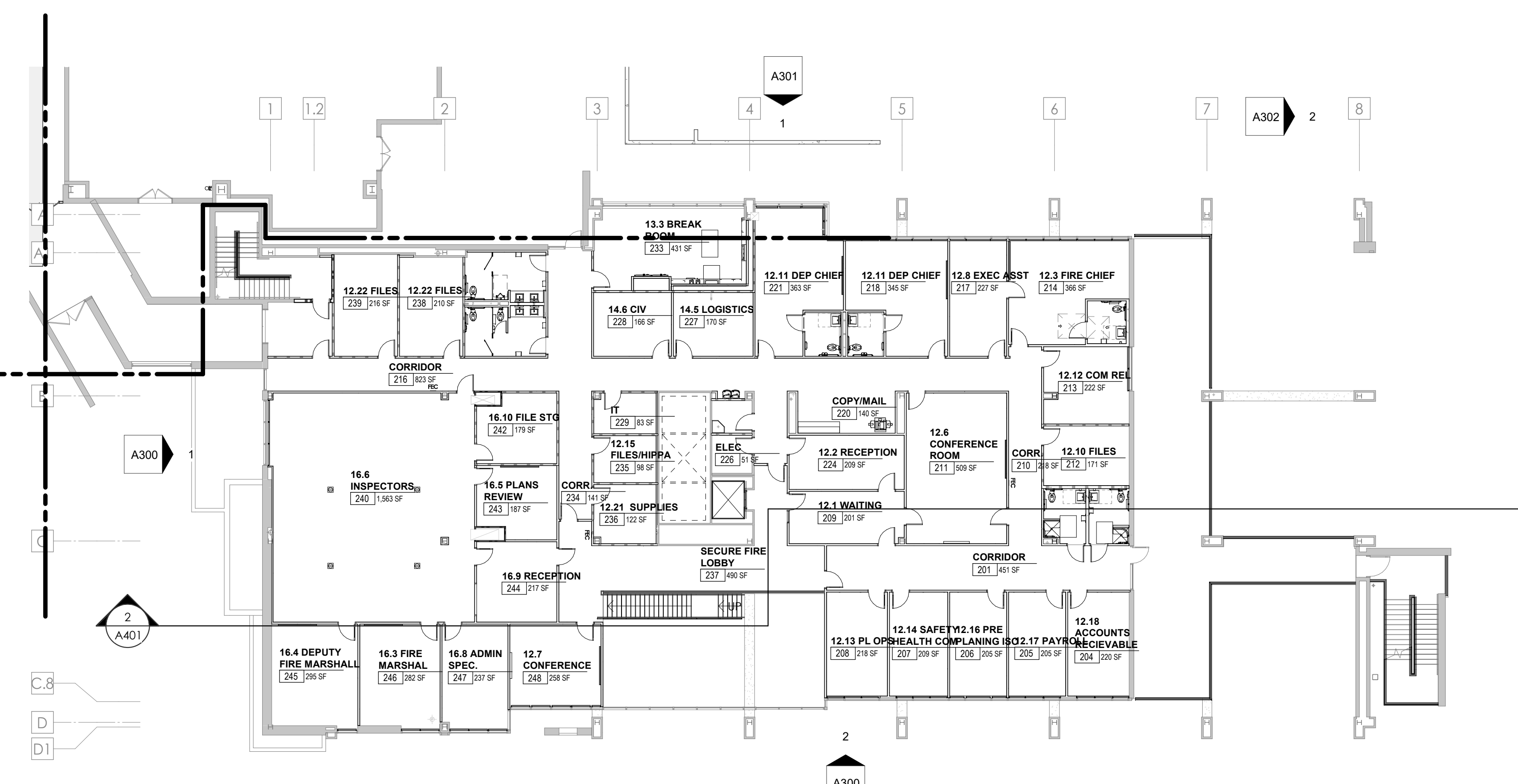
WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

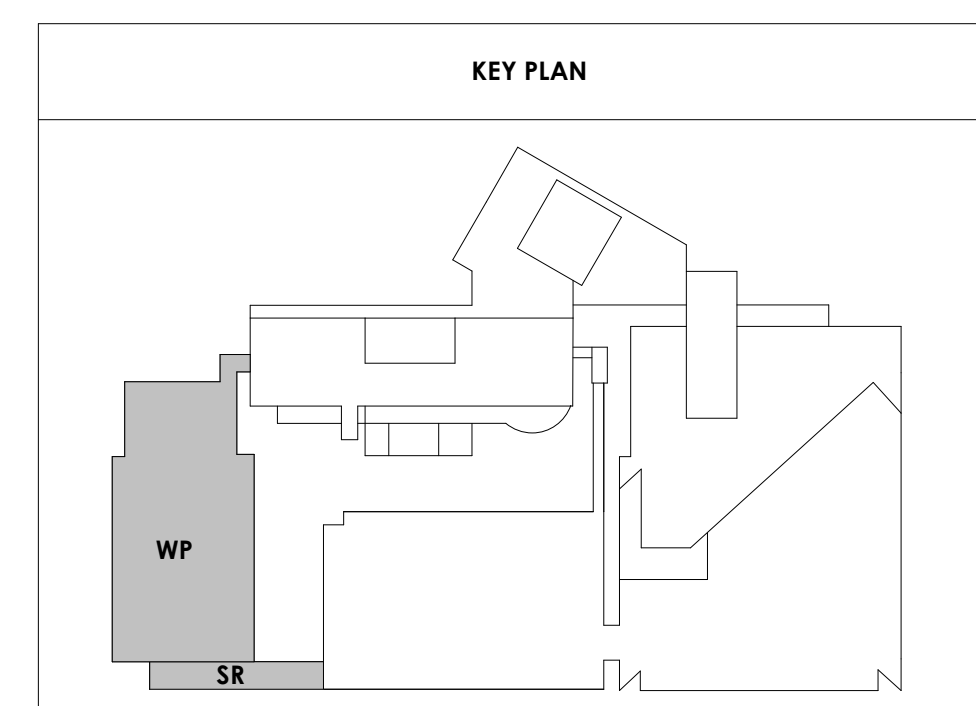
- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
- All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
- Provide caulking at intersection of all dissimilar materials.
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- Stagger all back to back outlets at sound and security walls.
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- All exterior POB walls cavities to receive new closed cell spray foam insulation (R-20 MIN.). Seal tight behind wall sheathing.
- Patch and repair interior CMU walls at existing Mechanical rooms where rough-in piping and ductwork had been removed.
- Repair existing exterior metal studs as needed - Refer to Structural for requirements.
- All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck.



1 WOMENS PAVILION - 1ST LEVEL COMPOSITE FLOOR
1/16" = 1'-0"



2 WOMENS PAVILION - 2ND LEVEL COMPOSITE FLOOR PLAN
1/16" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

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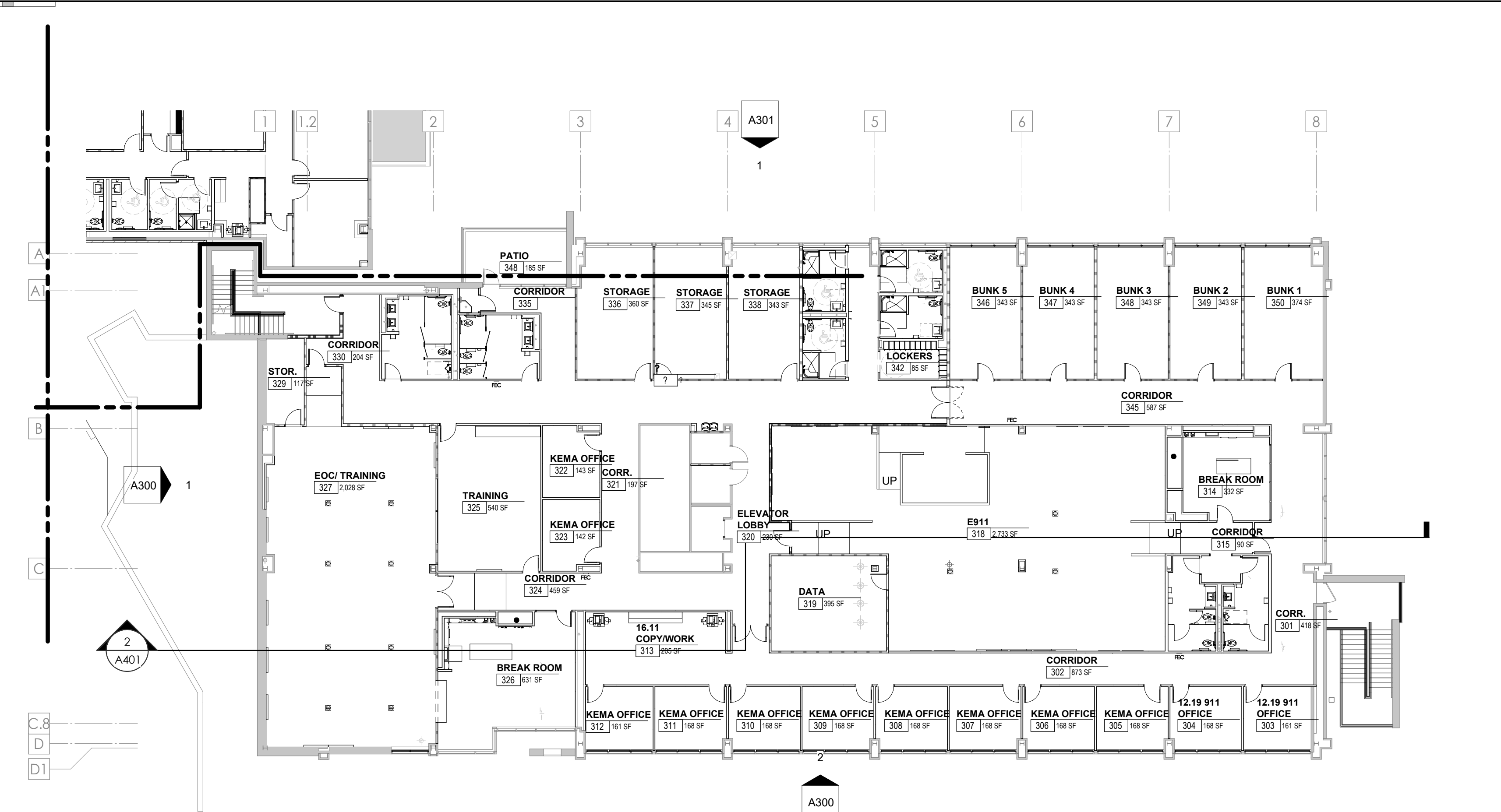
A002

WP - THIRD & PENTHOUSE LEVEL COMPOSITE FLOOR PLANS

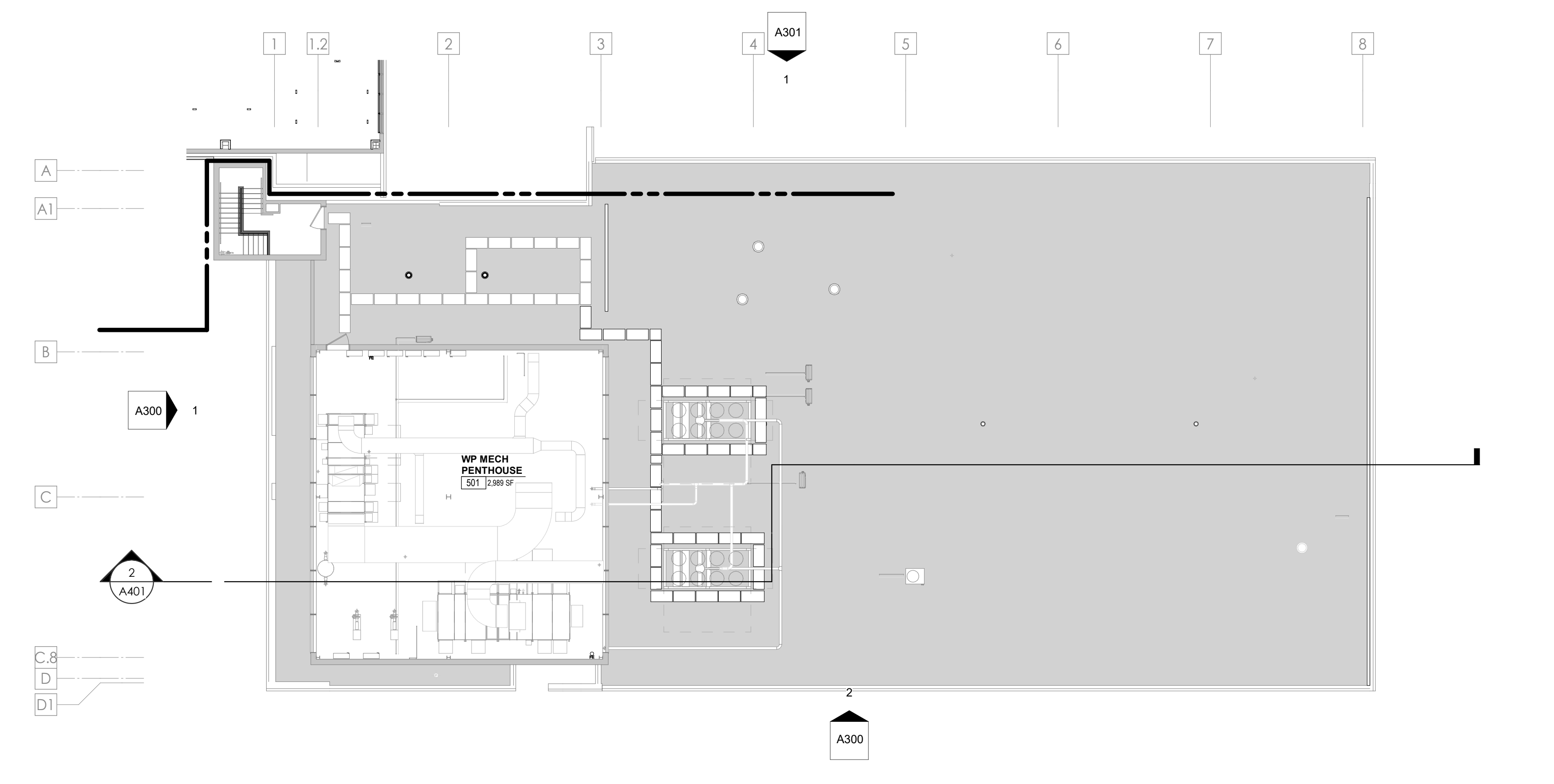
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	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

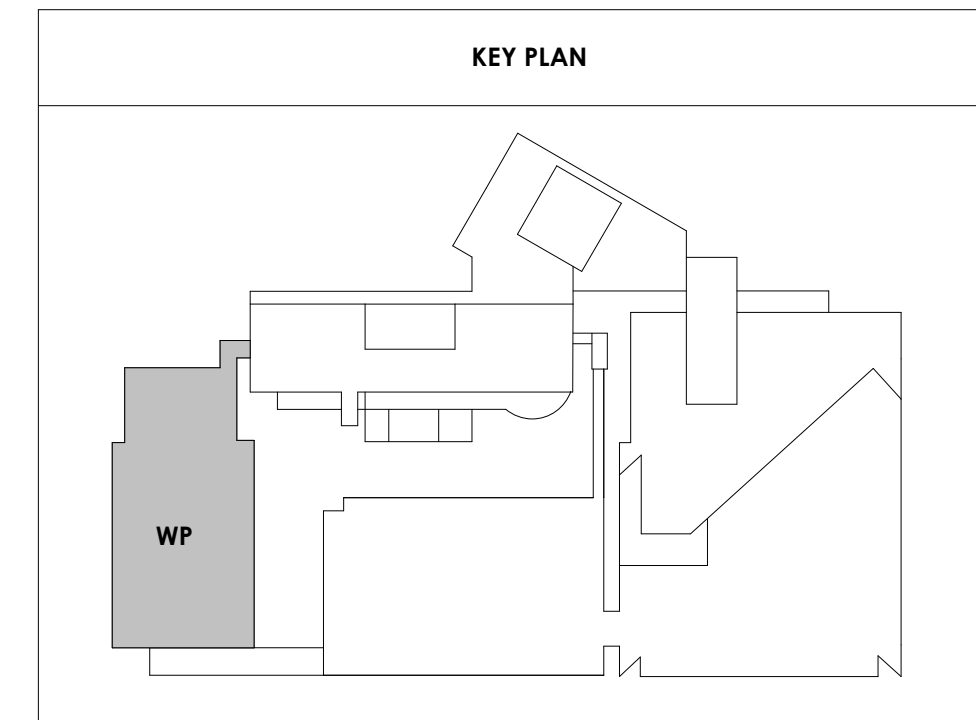
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1 WOMENS PAVILION - 3RD LEVEL COMPOSITE FLOOR PLAN
1/16" = 1'-0"



2 WOMENS PAVILION - Penthouse Level - Floor Plan
1/16" = 1'-0"





Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
2	ADD #02.1	02/17/21
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 01, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	JW
Checked By:	BP

Drawing Info:

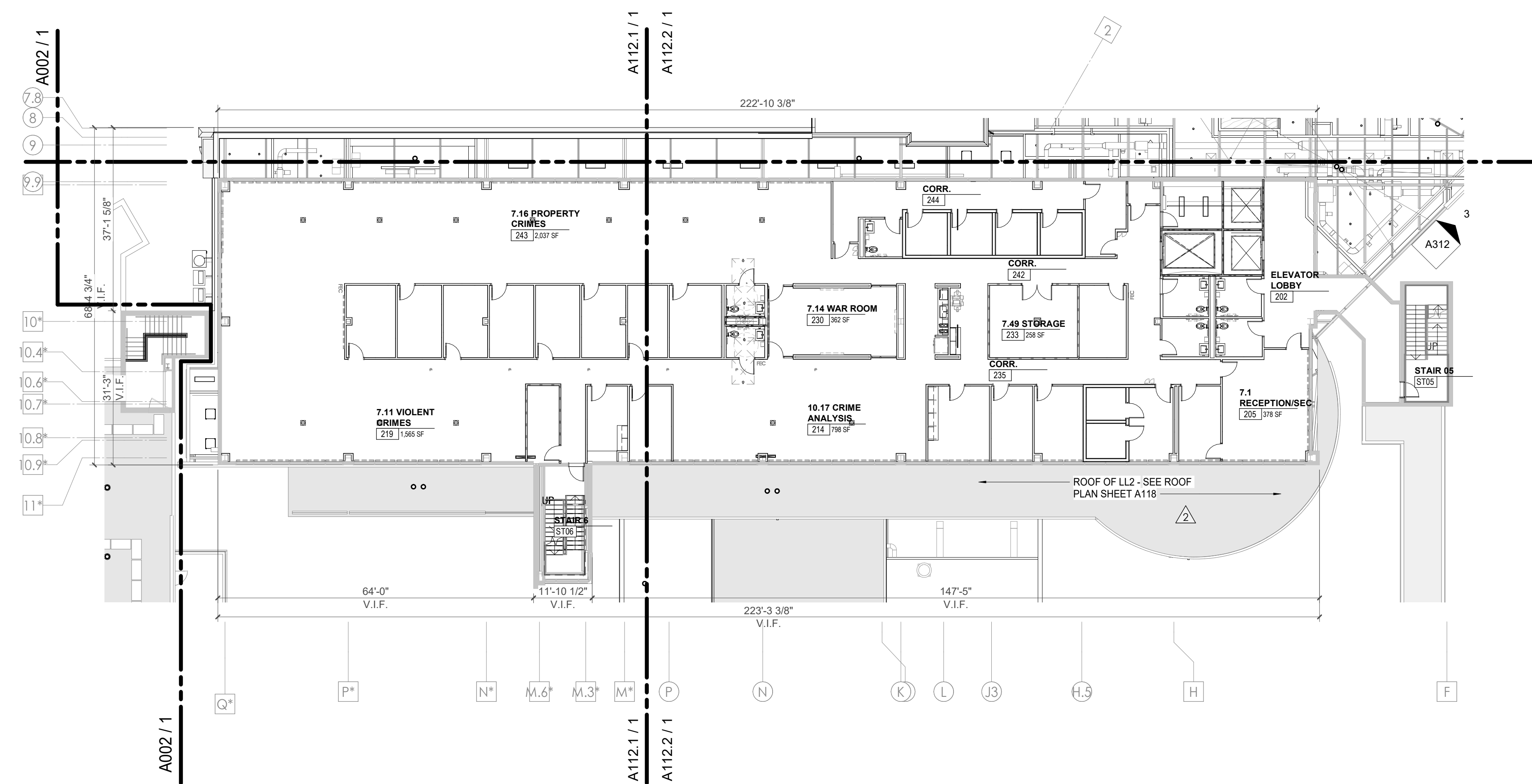
A012

CA - OVERALL LEVEL
LL1 AND GROUND
FLOOR PLAN

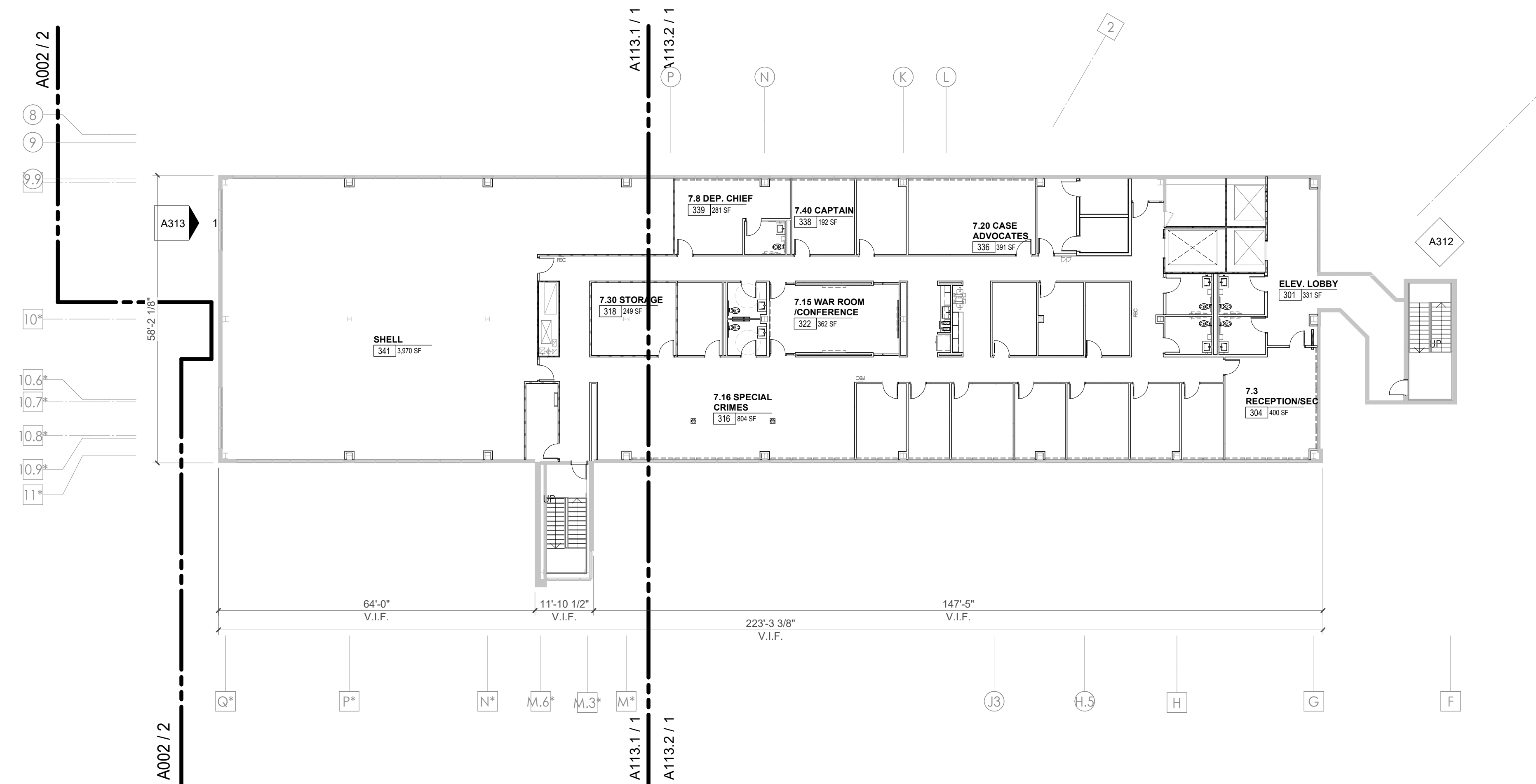
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	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

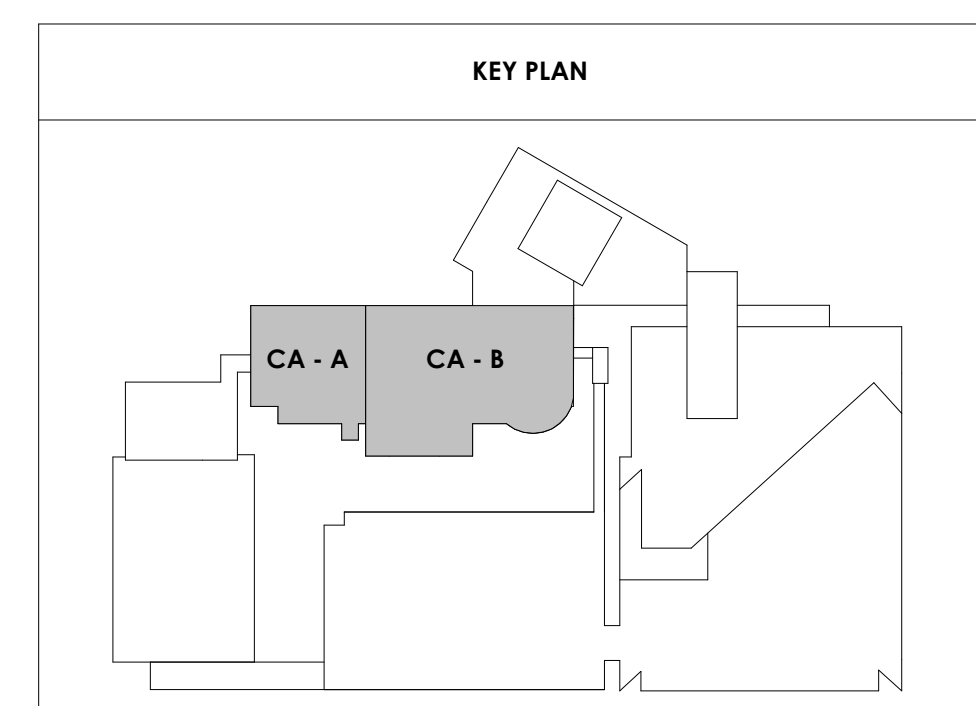
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- Repair existing exterior metal studs as needed - Refer to Structural for requirements.
- All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck.



1 CENTRAL ANNEX - LEVEL LL1 OVERALL FLOOR PLAN
1/16" = 1'-0"



2 CENTRAL ANNEX - GROUND LEVEL FLOOR PLAN
1/16" = 1'-0"





Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 01, 2021
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	JW
Checked By:	BP

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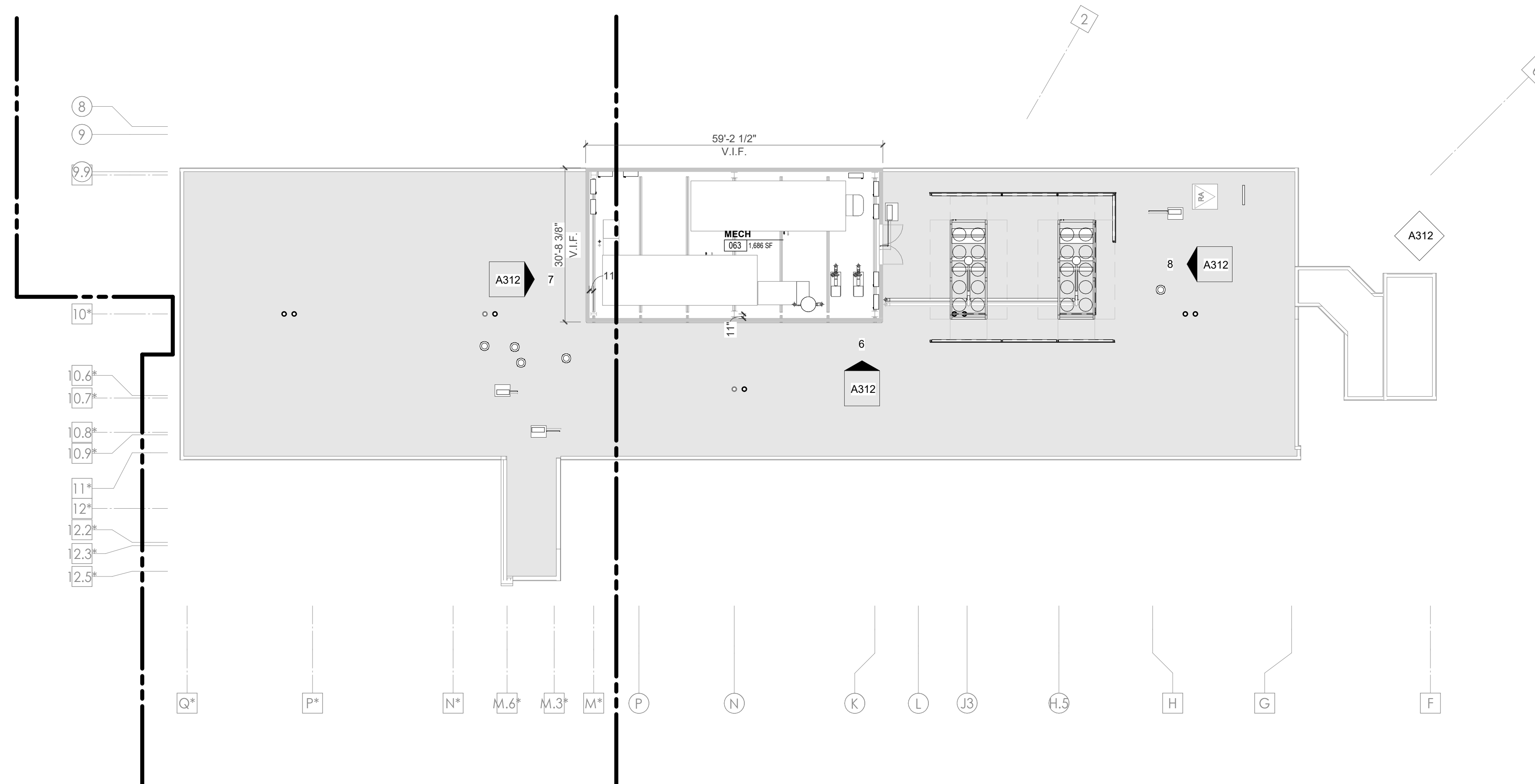
A013

CA - OVERALL
PENTHOUSE LEVEL
FLOOR PLAN

WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
- All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
- Provide caulking at intersection of all dissimilar materials.
- GC shall provide non-combustible blocking and power/junction box at all wall-mounted TVs. coordinate final locations with furniture & equipment and technology drawings, and owner.
- Stagger all back to back outlets at sound and security walls.
- The rough opening of a new door graphically shown in the corner of a room undimensioned shall be 0' or 4' (as graphically indicated on plans) from the inside corner of stud, unless noted or dimensioned otherwise on the floor plan.
- The rough opening of a new door graphically shown in the center of a wall undimensioned shall be centered on the wall, unless noted or dimensioned otherwise on the floor plan.
- Provide grommet in casework countertops at all locations where power and/or communications are located below - refer to electrical
- All equipment opening dimensions and details shall be verified by the manufacturer prior to the execution of any work affected by the same equipment.
- The finish face of material of new partitions shall align on both sides of the partition with the face of the materials on existing columns, walls, or partitions, unless noted otherwise.
- All piping above grade and inside the building required by the Construction Documents shall be installed in areas where it will be concealed. The Contractor shall consult with the Architect and coordinate with other trades to provide furring for piping installed in finish areas.
- All exterior POB walls cavities to receive new closed cell spray foam insulation (R-20 MIN.). Seal tight behind wall sheathing.
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- Repair existing exterior metal studs as needed - Refer to Structural for requirements.
- All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck.



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CENTRAL ANNEX - PENTHOUSE LEVEL OVERALL FLOOR PLAN
1/16" = 1'-0"
A013



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
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Drawn By:	Author
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Drawing Info:

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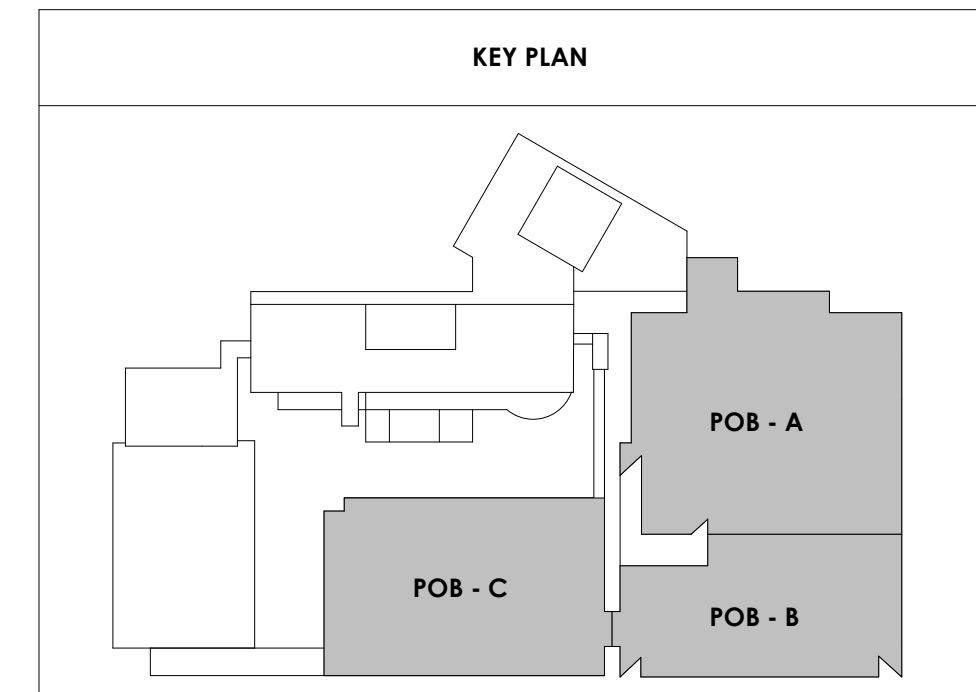
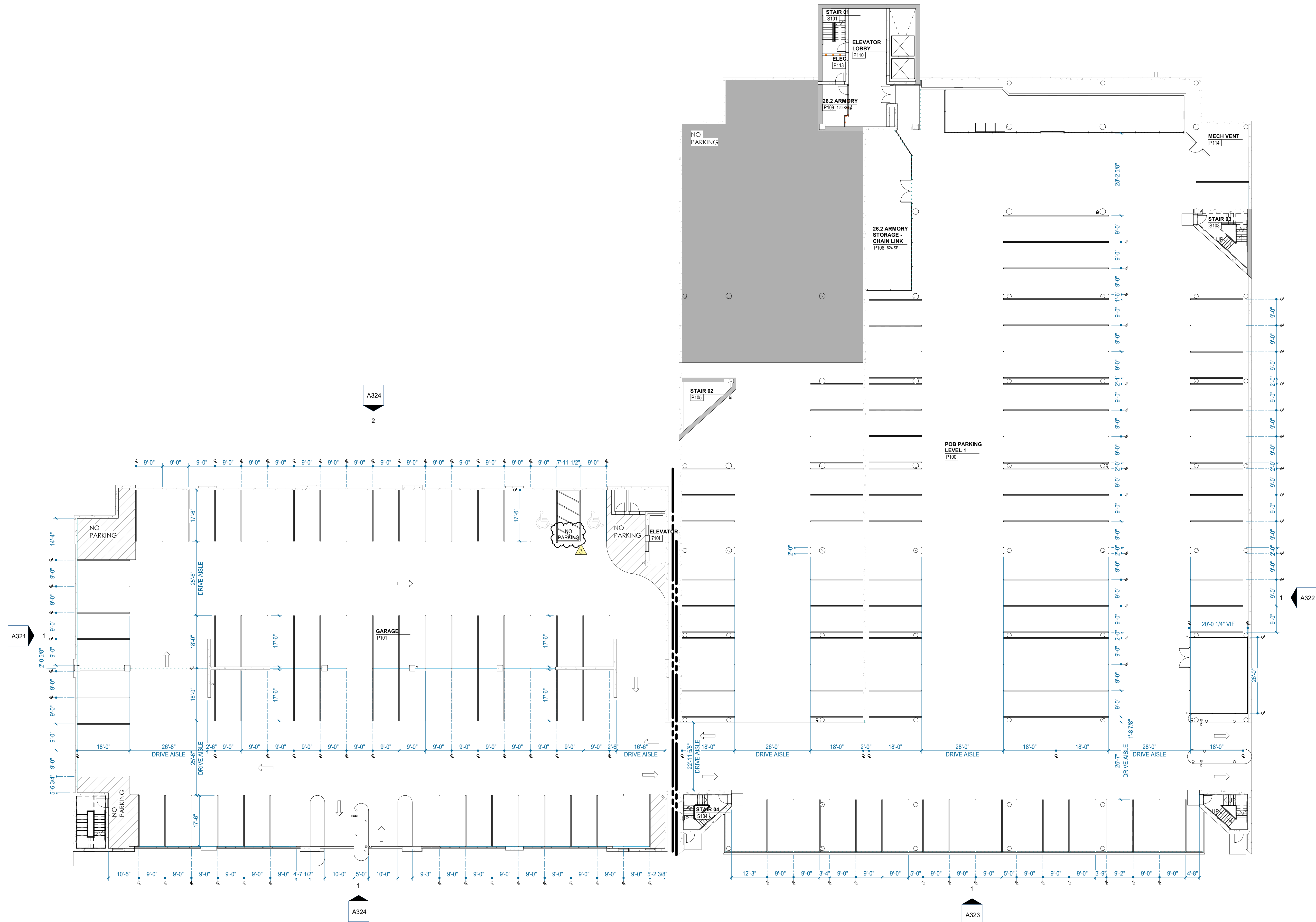
POB - COMPOSITE PLAN LEVEL P1

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
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- Repair existing exterior metal studs as needed - Refer to Structural for requirements.
- All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck



POB - COMPOSITE PLAN PARKING LEVEL P1
1/16" = 1'-0"

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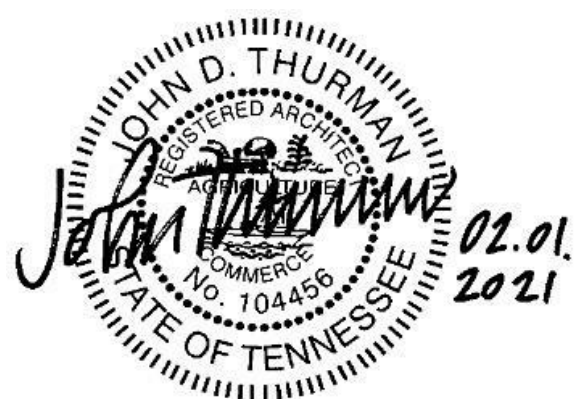
Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
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Drawing Info:

A021

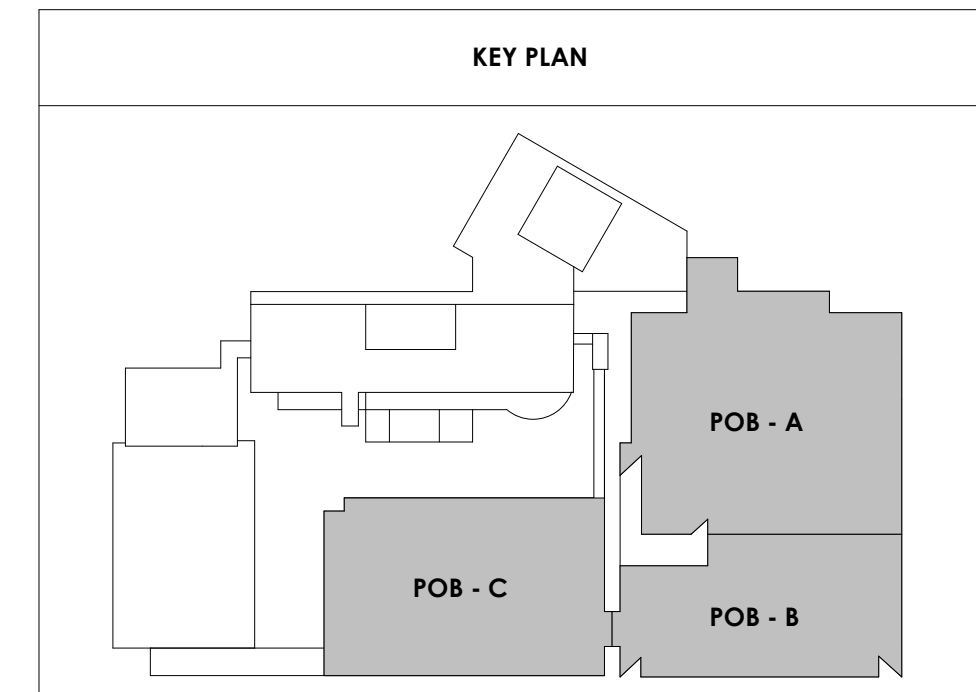
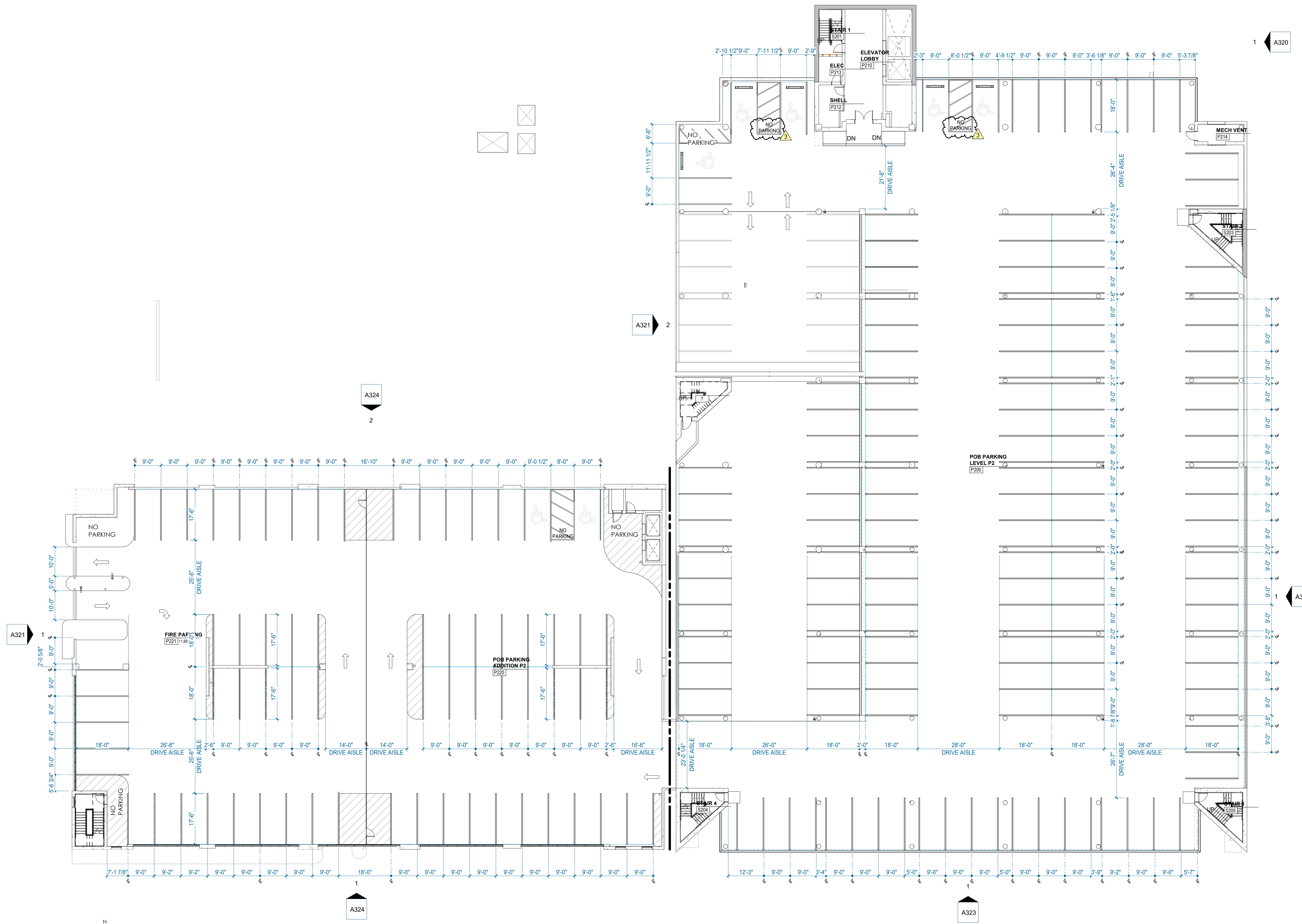
POB - COMPOSITE PLAN LEVEL P2

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
- All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
- Provide caulking at intersection of all dissimilar materials.
- GC shall provide non-combustible blocking and power/junction box at all wall-mounted TVs. coordinate final locations with furniture & equipment and technology drawings, and owner.
- Slagger all back to back outlets at sound and security walls.
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- Provide grommet in casework countertops at all locations where power and/or communications are located below - refer to electrical.
- All equipment opening dimensions and details shall be verified by the manufacturer prior to the execution of any work affected by the same equipment.
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- All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck



1 POB - COMPOSITE PLAN PARKING LEVEL P2
1/16" = 1'-0"



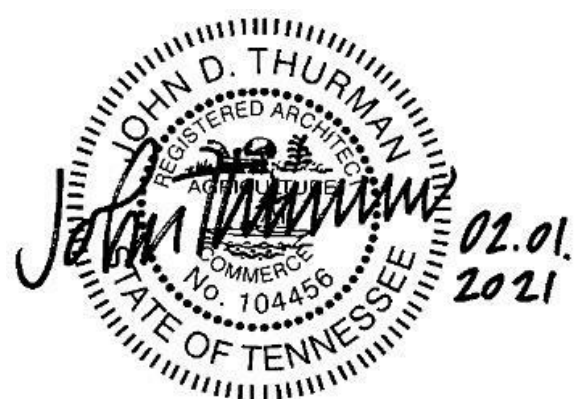
Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

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PM	JOHN THURMAN
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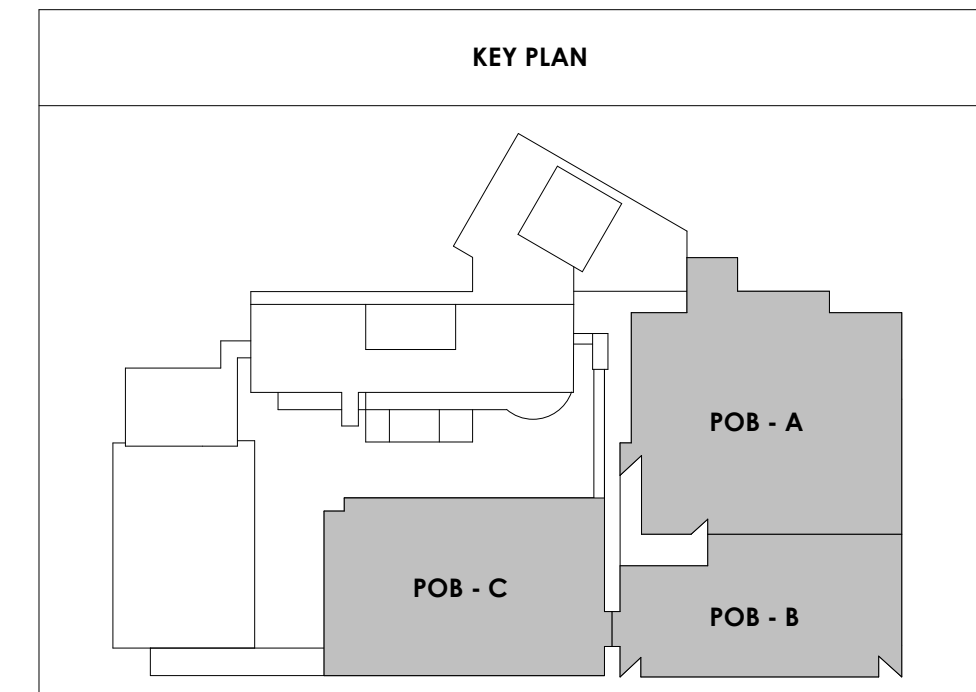
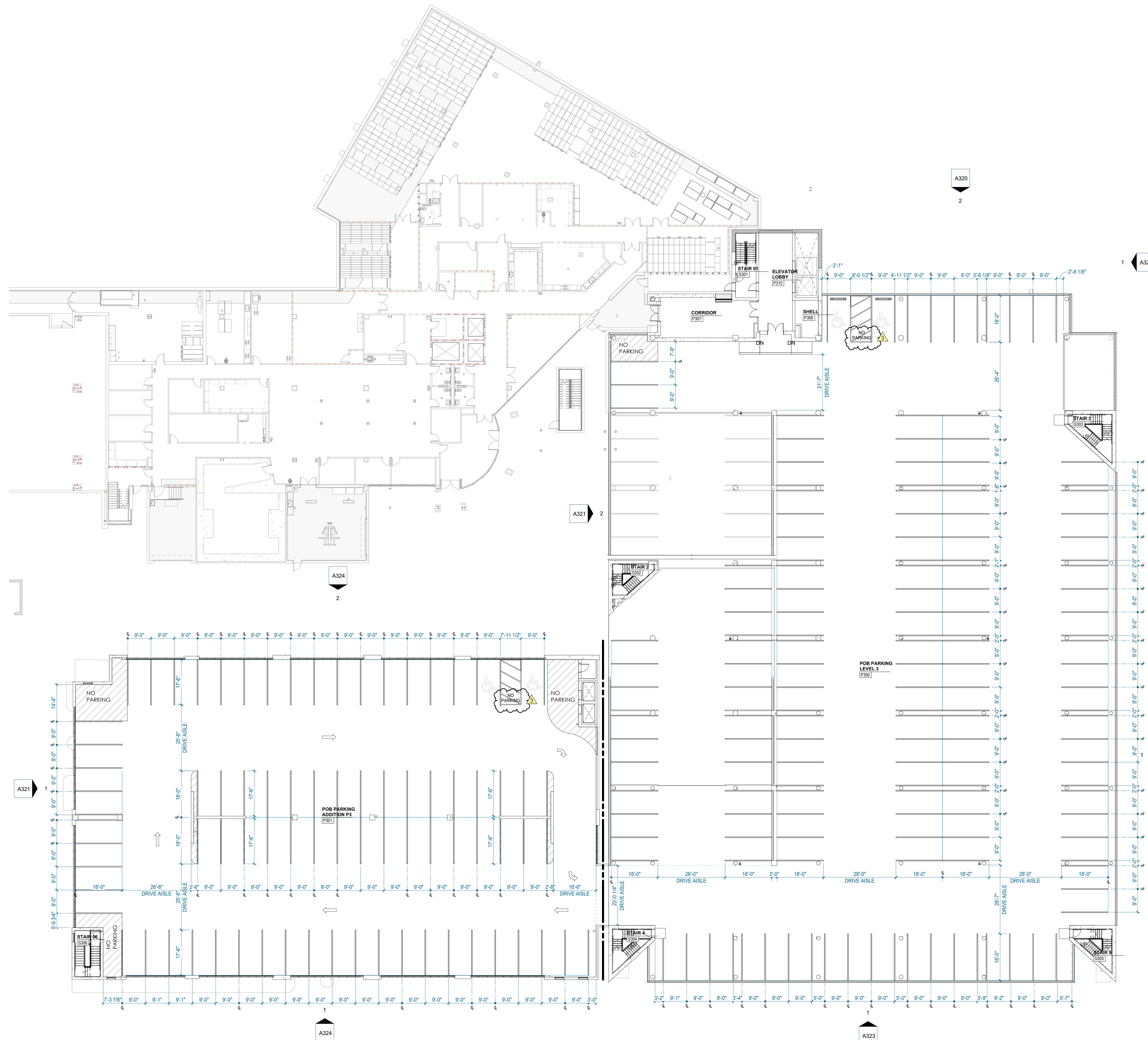
POB - COMPOSITE PLAN LEVEL P3

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
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POB - COMPOSITE PLAN PARKING LEVEL P3
1/16" = 1'-0"



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

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PA:	LAUREN BUSH /
Drawn By:	Author
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A023

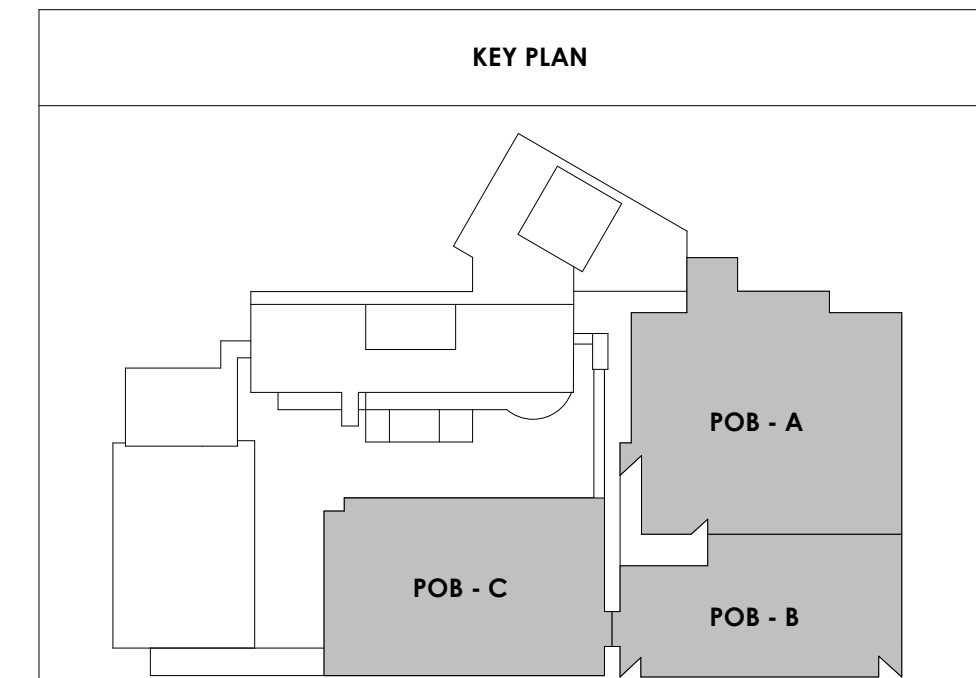
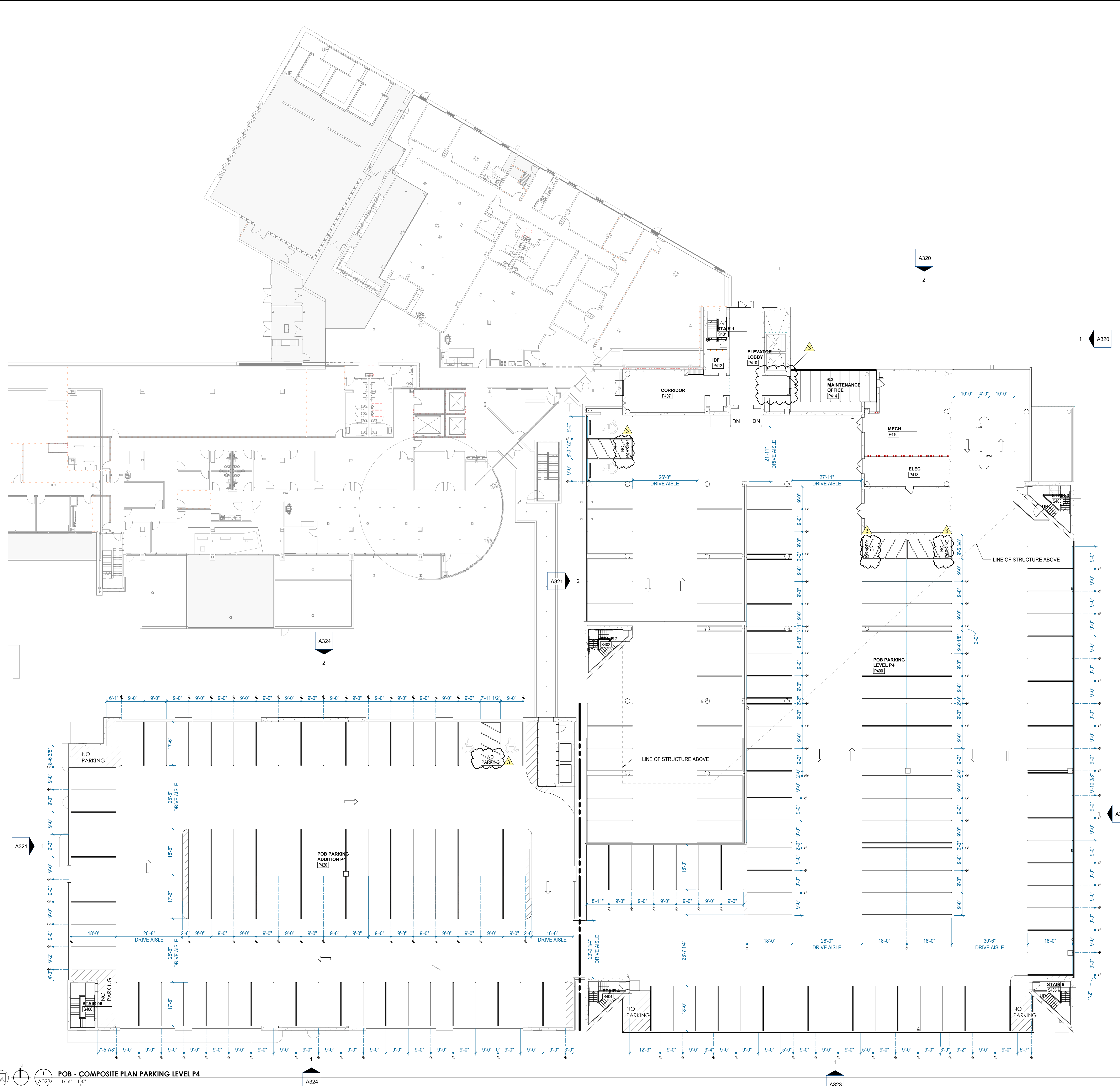
POB - COMPOSITE
PLAN LEVEL P4

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

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Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

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PM	JOHN THURMAN
PA	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP

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A024

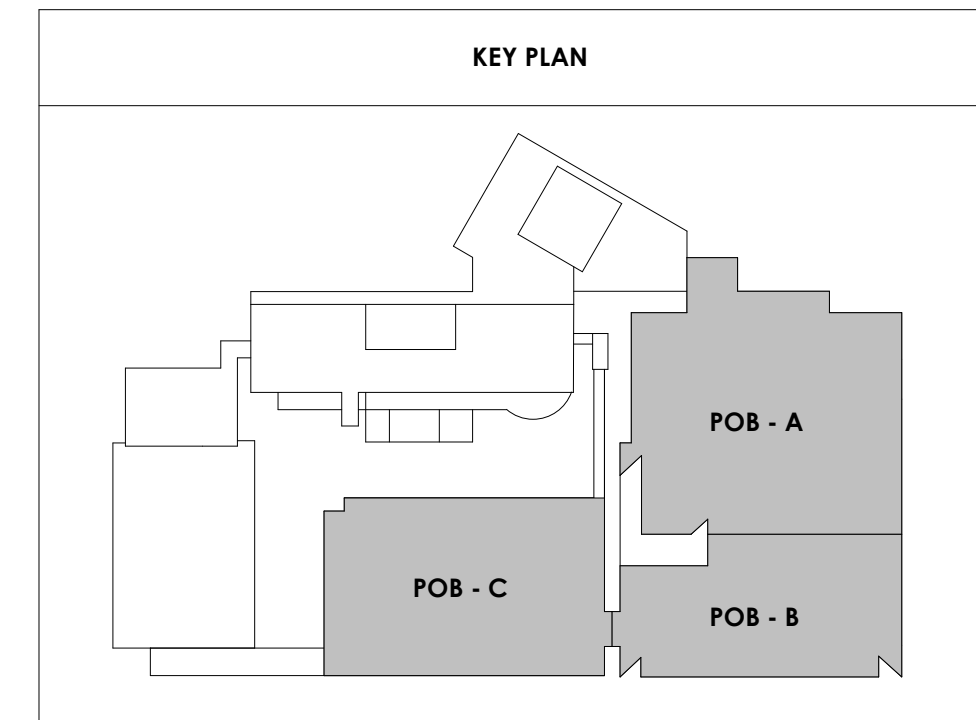
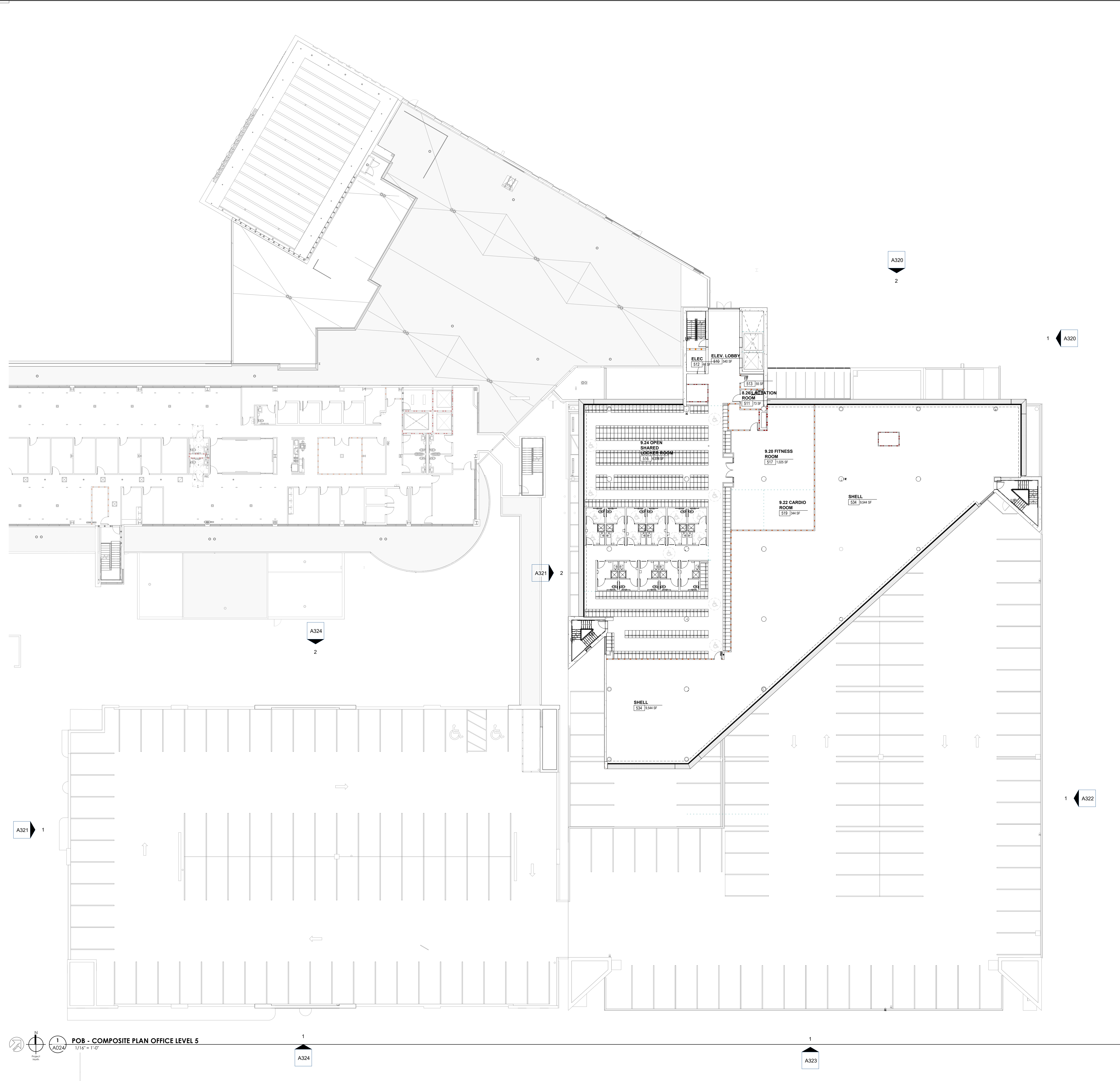
POB - COMPOSITE
PLAN OFFICE LEVEL 5

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

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Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
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PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP

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A025

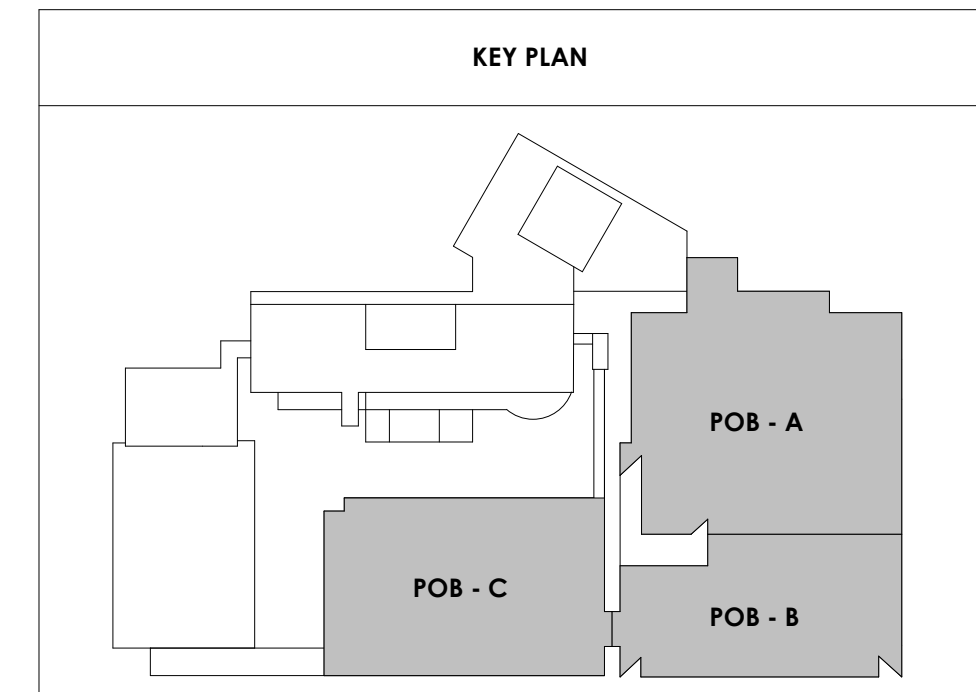
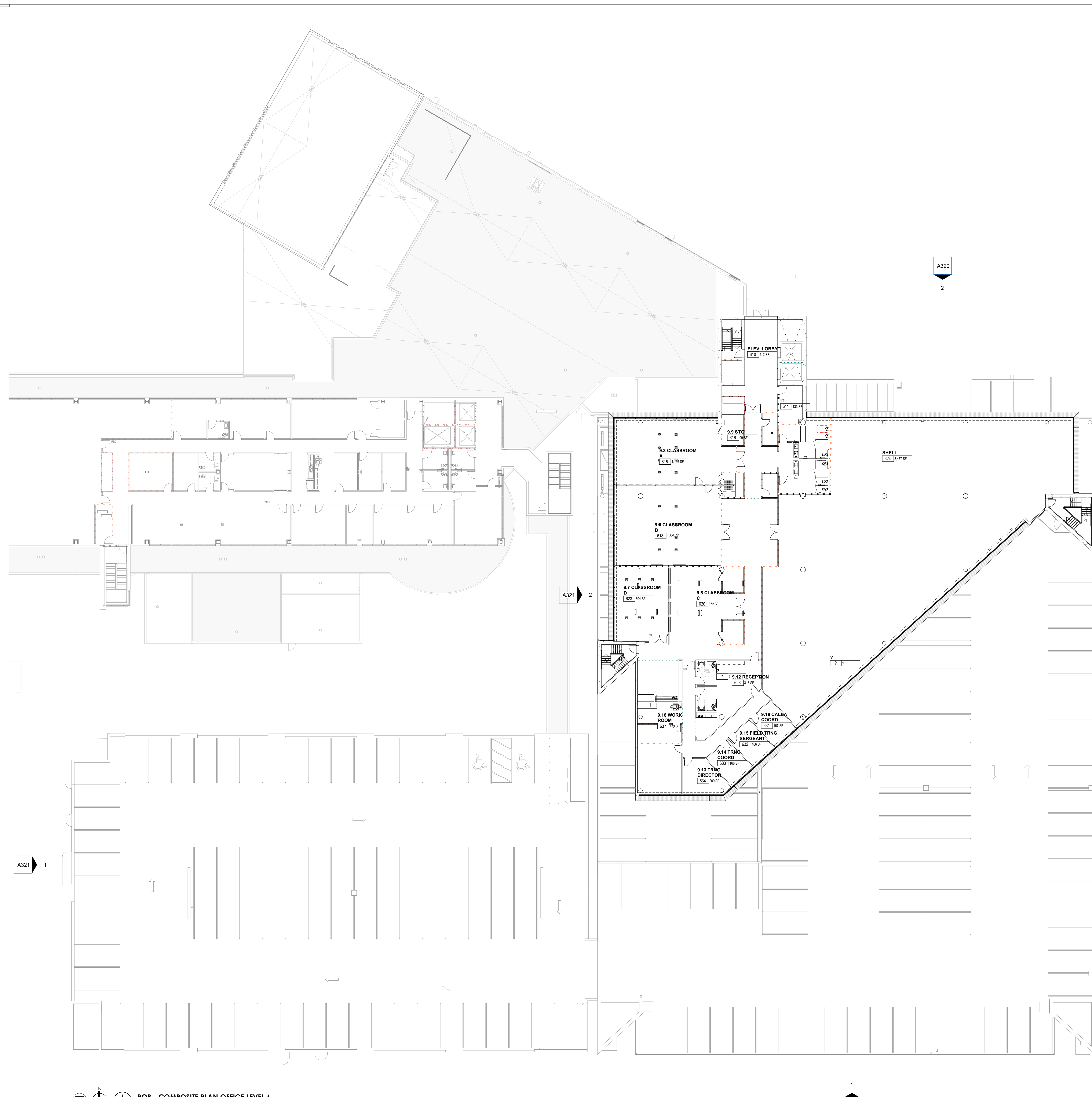
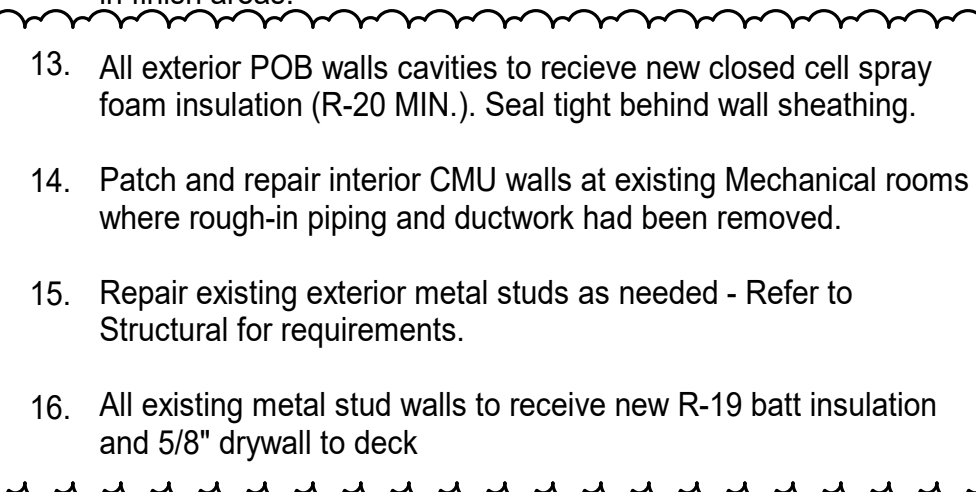
POB - COMPOSITE PLAN OFFICE LEVEL 6

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

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POB - COMPOSITE PLAN OFFICE LEVEL 6
1/16" = 1'-0"

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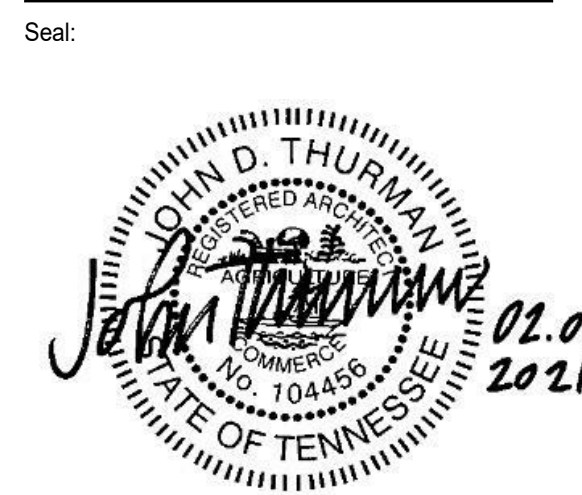


Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN



Consultant:
Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP

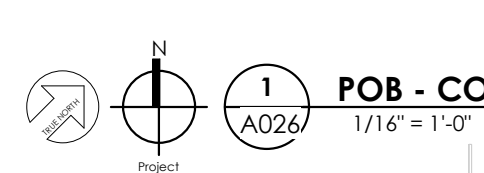
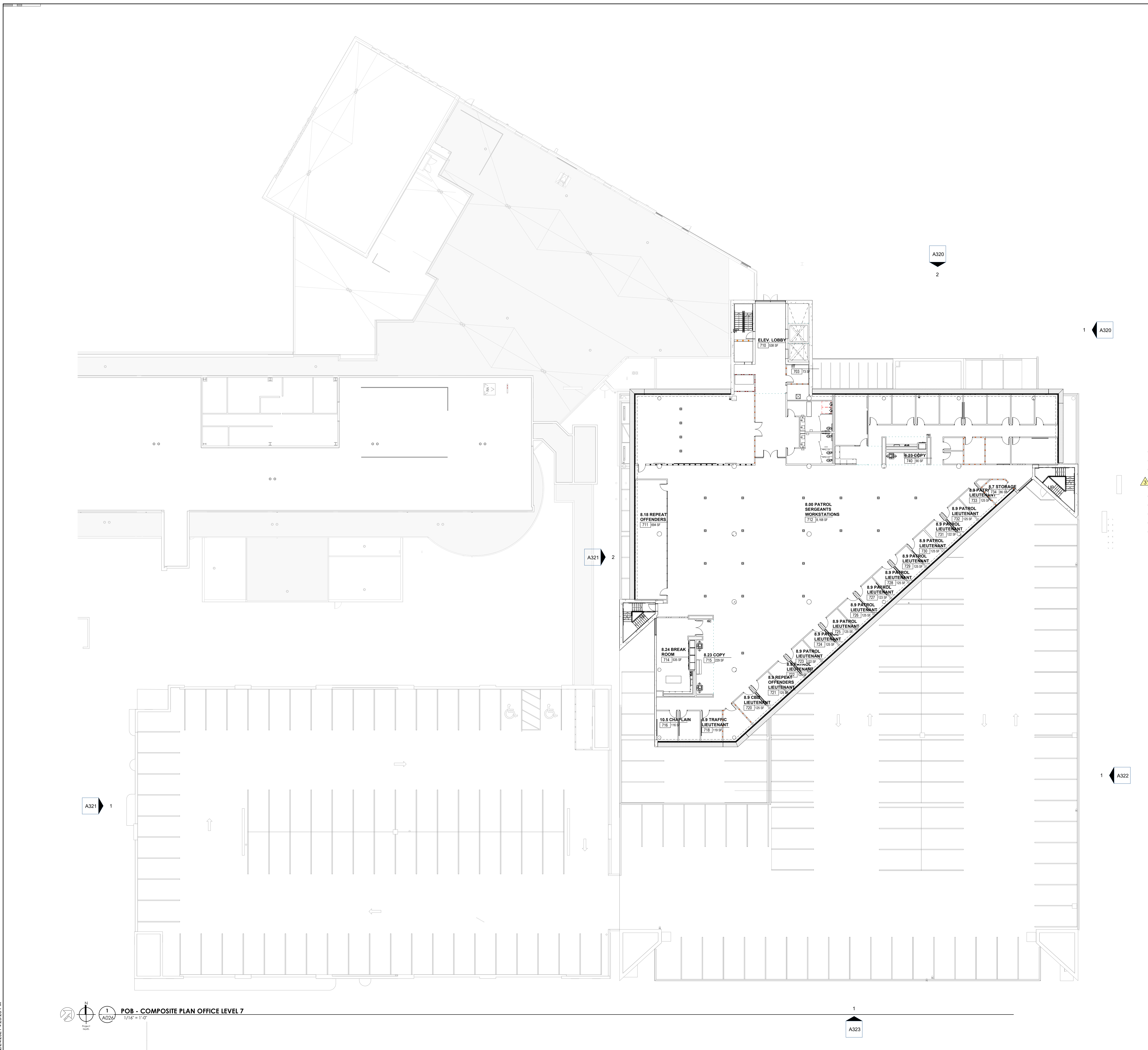
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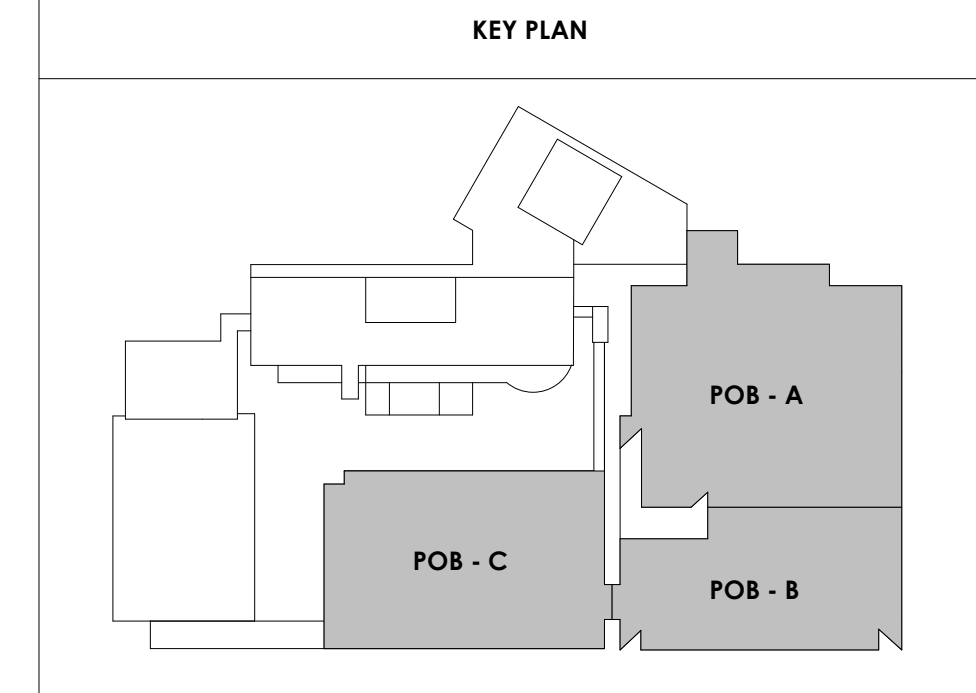
POB - COMPOSITE
PLAN OFFICE LEVEL 7

WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

- FLOOR PLAN GENERAL NOTES**
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 - The rough opening of a new door graphically shown in the center of a wall undimensioned shall be centered on the wall, unless noted or dimensioned otherwise on the floor plan.
 - Provide grommet in casework countertops at all locations where power and/or communications are located below - refer to electrical.
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 - The finish face of material of new partitions shall align on both sides of the partition with the face of the materials on existing columns, walls, or partitions, unless noted otherwise.
 - All piping above grade and inside the building required by the Construction Documents shall be installed in areas where it will be concealed. The Contractor shall consult with the Architect and coordinate with other trades to provide furring for piping installed in finish areas.
 - All exterior POB walls cavities to receive new closed cell spray foam insulation (R-20 MIN.). Seal tight behind wall sheathing.
 - Patch and repair interior CMU walls at existing Mechanical rooms where rough-in piping and ductwork had been removed.
 - Repair existing exterior metal studs as needed - Refer to Structural for requirements.
 - All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck.



POB - COMPOSITE PLAN OFFICE LEVEL 7
1/16" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP

Drawing Info:

A027

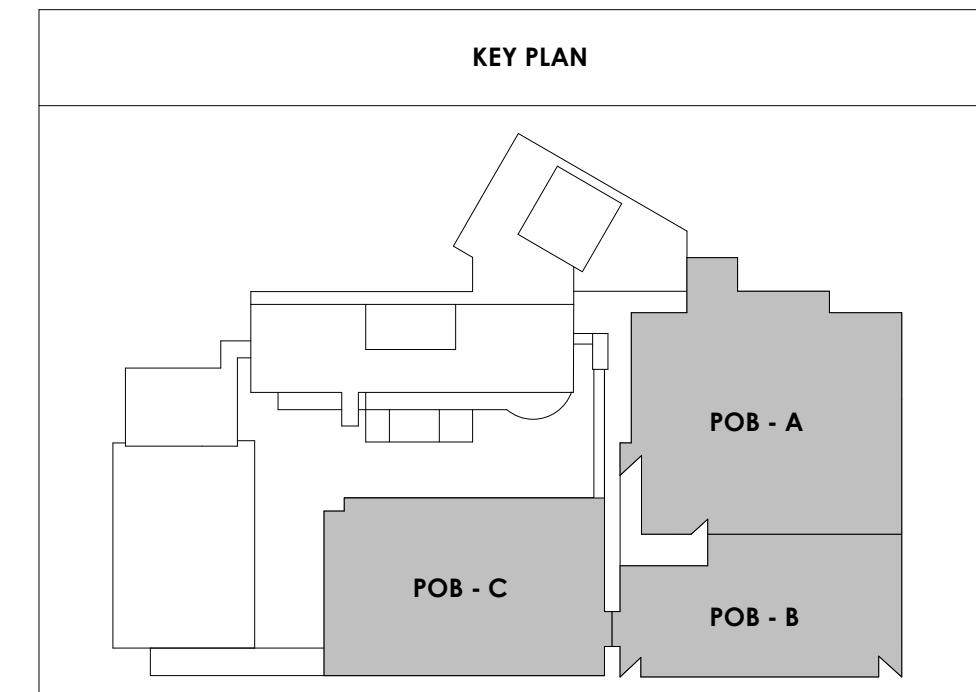
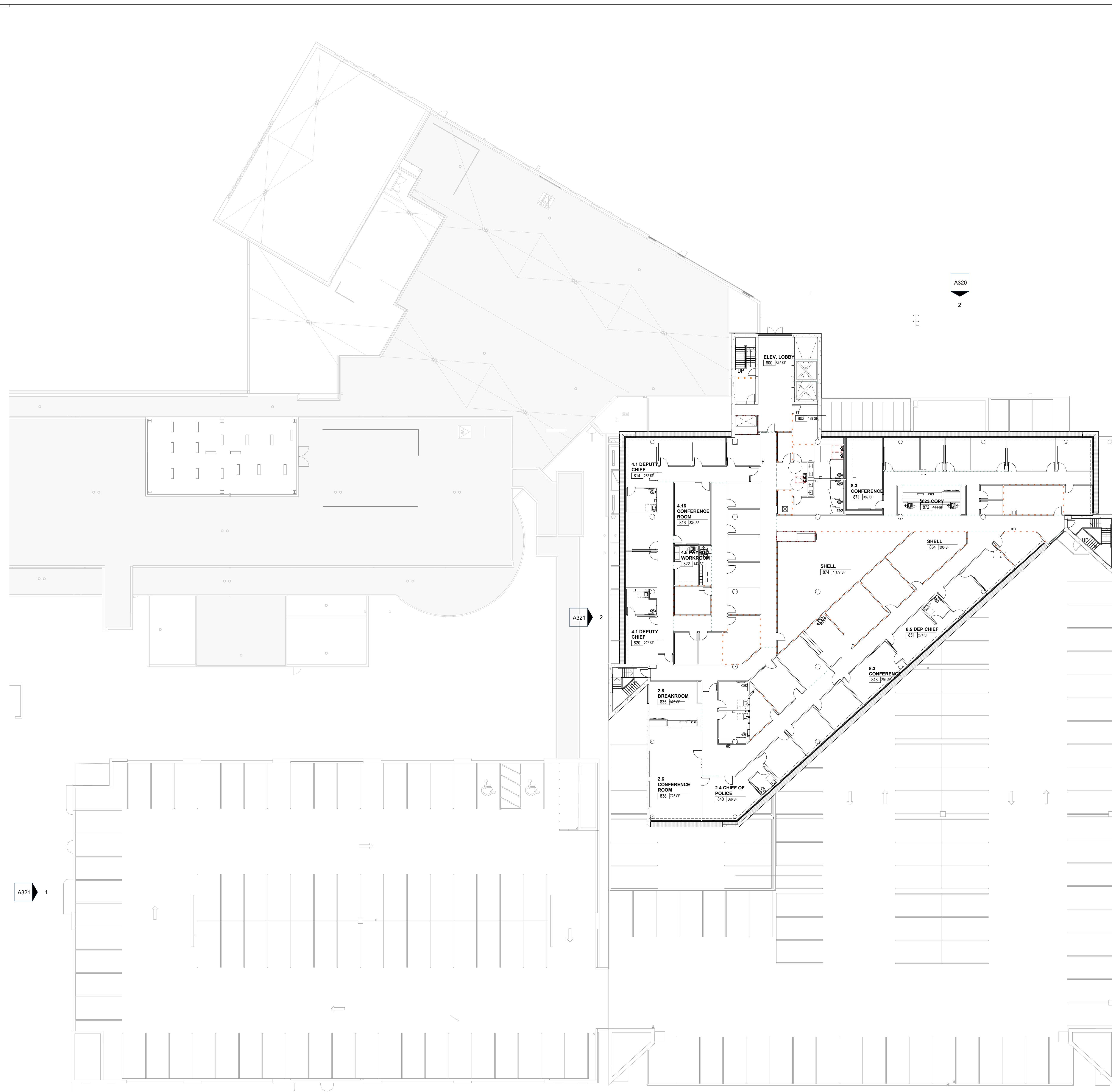
POB - COMPOSITE PLAN OFFICE LEVEL 8

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
- All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
- Provide caulking at intersection of all dissimilar materials.
- GC shall provide non-combustible blocking and power/junction box at all wall-mounted TVs. coordinate final locations with furniture & equipment and technology drawings, and owner.
- Stagger all back to back outlets at sound and security walls.
- The rough opening of a new door graphically shown in the corner of a room undimensioned shall be 0" or 4" (as graphically indicated on plans) from the inside corner of stud, unless noted or dimensioned otherwise on the floor plan.
- The rough opening of a new door graphically shown in the center of a wall undimensioned shall be centered on the wall, unless noted or dimensioned otherwise on the floor plan.
- Provide grommet in casework countertops at all locations where power and/or communications are located below - refer to electrical.
- All equipment opening dimensions and details shall be verified by the manufacturer prior to the execution of any work affected by the same equipment.
- The finish face of material of new partitions shall align on both sides of the partition with the face of the materials on existing columns, walls, or partitions, unless noted otherwise.
- All piping above grade and inside the building required by the Construction Documents shall be installed in areas where it will be concealed. The Contractor shall consult with the Architect and coordinate with other trades to provide furring for piping installed in finish areas.
- All exterior POB walls cavities to receive new closed cell spray foam insulation (R-20 MIN.). Seal tight behind wall sheathing.
- Patch and repair interior CMU walls at existing Mechanical rooms where rough-in piping and ductwork had been removed.
- Repair existing exterior metal studs as needed - Refer to Structural for requirements.
- All existing metal stud walls to receive new R-19 batt insulation and 5/8" drywall to deck



POB - COMPOSITE PLAN OFFICE LEVEL 8
1/16" = 1'-0"

2/24/2021 4:28:37 PM



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP

Drawing Info:

A028

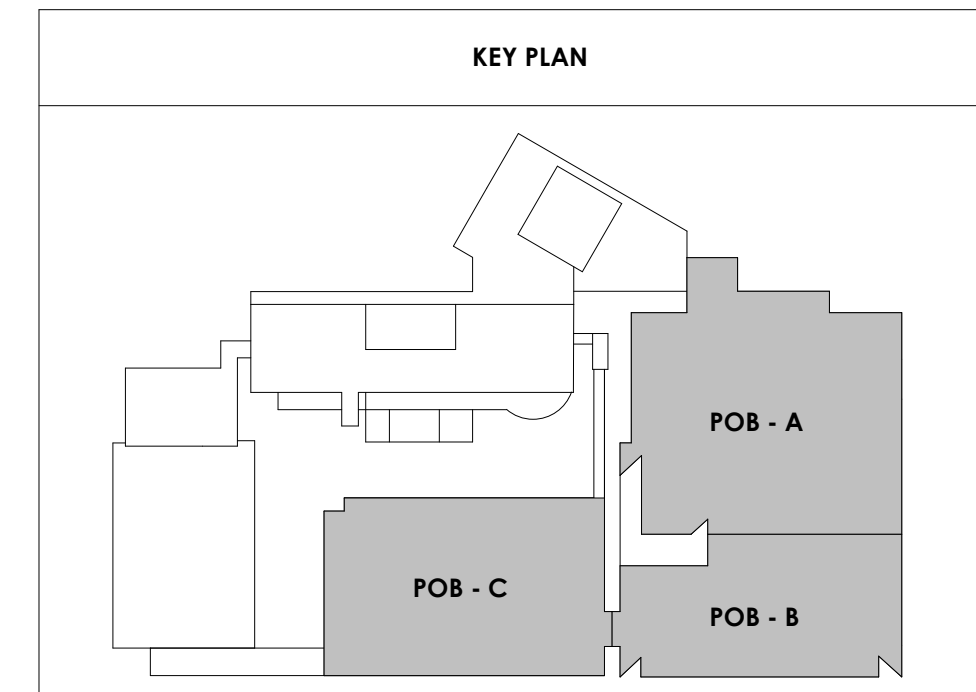
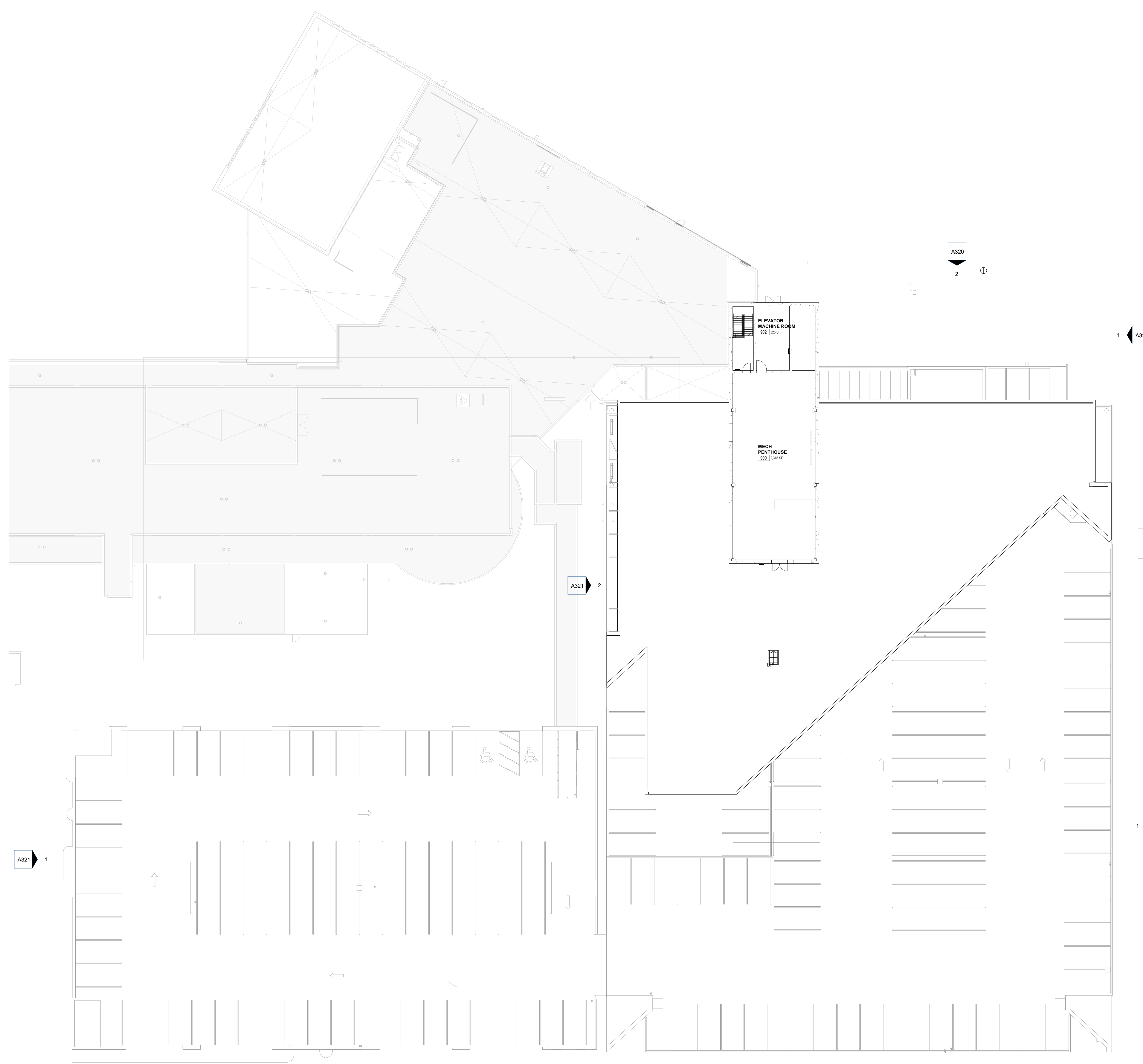
POB - COMPOSITE PLAN PENTHOUSE

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- Refer to furniture plans for owner provided furnishings.
- Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
- All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
- Provide caulking at intersection of all dissimilar materials.
- GC shall provide non-combustible blocking and power/junction box at all wall-mounted TVs. coordinate final locations with furniture & equipment and technology drawings, and owner.
- Stagger all back to back outlets at sound and security walls.
- The rough opening of a new door graphically shown in the corner of a room undimensioned shall be 0" or 4" (as graphically indicated on plans) from the inside corner of stud, unless noted or dimensioned otherwise on the floor plan.
- The rough opening of a new door graphically shown in the center of a wall undimensioned shall be centered on the wall, unless noted or dimensioned otherwise on the floor plan.
- Provide grommet in casework countertops at all locations where power and/or communications are located below - refer to electrical.
- All equipment opening dimensions and details shall be verified by the manufacturer prior to the execution of any work affected by the same equipment.
- The finish face of material of new partitions shall align on both sides of the partition with the face of the materials on existing columns, walls, or partitions, unless noted otherwise.
- All piping above grade and inside the building required by the Construction Documents shall be installed in areas where it will be concealed. The Contractor shall consult with the Architect and coordinate with other trades to provide furring for piping installed in finish areas.
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POB - COMPOSITE PLAN PENTHOUSE
1/16" = 1'-0"
A028

2/24/2021 4:25:43 PM



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
2	ADD #02.1	02/17/21
3	ADD #03.1	02/24/21

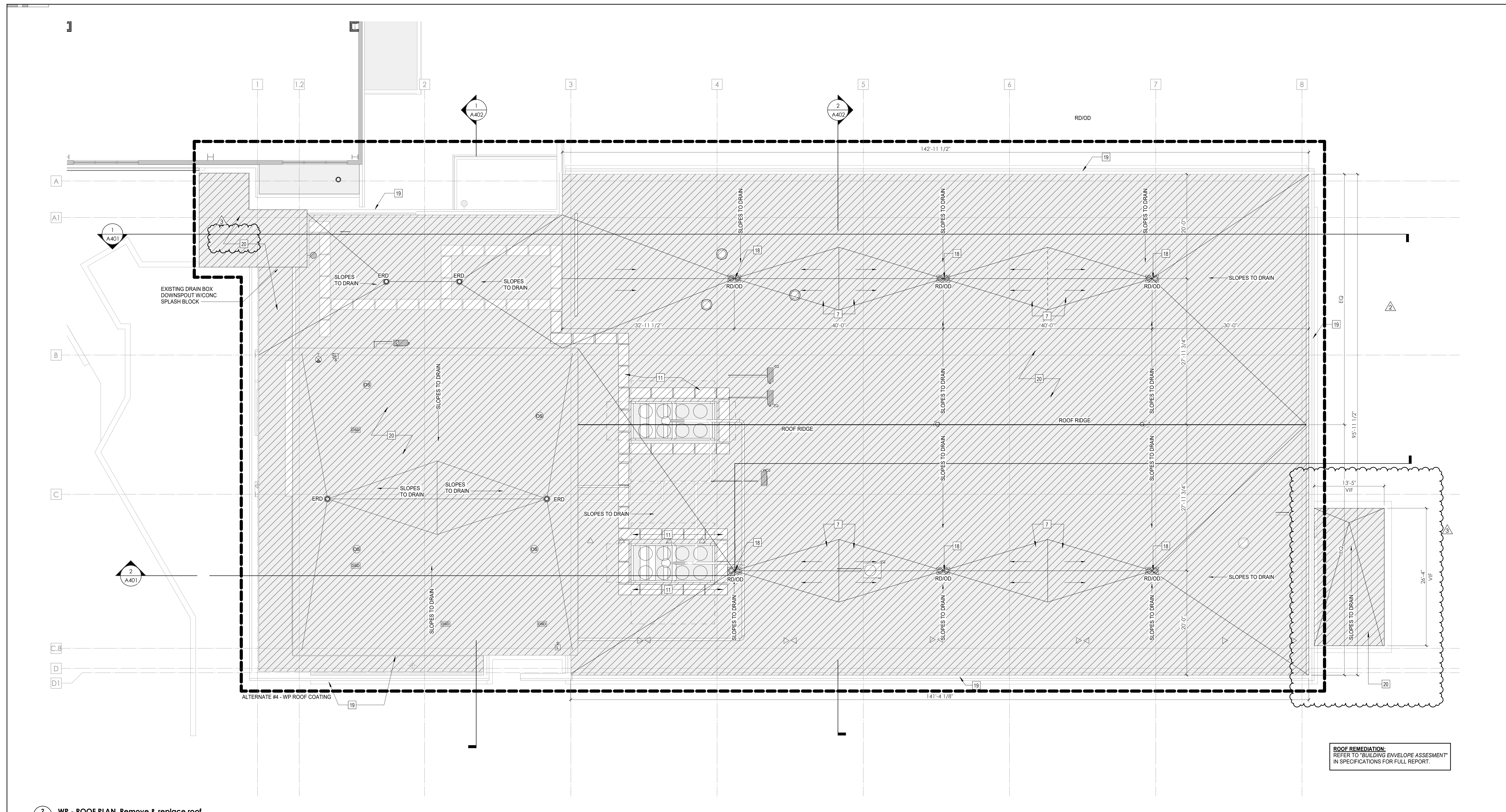
Issue Date:	FEBRUARY 1, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	M LABBE
Checked By:	B. PIERCE

Drawing Info:

A107

WP - ROOF PLAN

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ROOF REMEDIATION:
REFER TO "BUILDING ENVELOPE ASSESSMENT"
IN SPECIFICATIONS FOR FULL REPORT.

2 WP - ROOF PLAN Remove & replace roof
A107
1/8" = 1'-0"

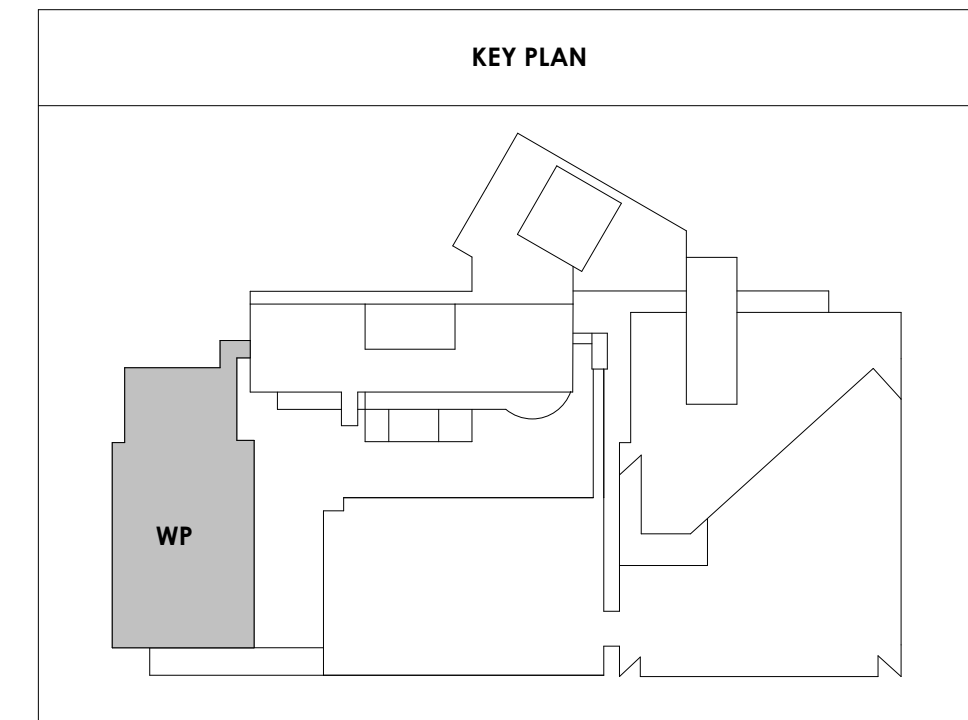
ROOF PLAN LEGEND

R1	EXISTING ROOF TO REMAIN
R2	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANES OVER A COVER BOARD AND CONTINUOUS R-30 POLYISOCYANURATE INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING
R3	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANES OVER A COVER BOARD AND CONTINUOUS R-30 POLYISOCYANURATE BUILT-UP INSULATION ON SLOPED STRUCTURE - 1 HR FIRE RATING
R4	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANES OVER A COVER BOARD AND CONTINUOUS R-30 POLYISOCYANURATE BUILT-UP INSULATION ON FLAT STRUCTURE - 1 HR FIRE RATING
WP	WALKPADS
RD	ROOF DRAIN
OD	OVERFLOW DRAIN
ERD	EXISTING ROOF DRAIN
OS	OVERFLOW SCUPPER

KEYNOTE - ROOF PLAN

Tag	Text
1	EXISTING PARAPET & COPING TO REMAIN
2	NEW PARAPET WITH PREFINISHED METAL COPING TO MEET SPIES - 1 STANDARD
3	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON NEW FLAT STRUCTURE - 1 HR FIRE RATING
4	REMOVE EXISTING ROOF SYSTEM TO DECK AND PROVIDE NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING
5	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON NEW SLOPED STRUCTURE - 1 HR FIRE RATING
6	EXISTING ROOFING TO REMAIN - PATCH AND REPAIRS REQUIRED FOR NEW PENETRATIONS
7	NEW POLYISO INSULATION CRICKET, SLOPED MIN. 1/4" PER 1'-0" TOWARDS ROOF DRAIN
8	EXIST. ROOF DRAIN TO BE ABANDONED - SEE STRUC. INFILL DTL
9	NEW SCREEN AROUND ROOF TOP MECHANICAL UNIT
10	EXISTING WALKING PADS
11	NEW WALKING PADS AT NEW ROOF TOP EQUIPMENT
12	ELEVATED METAL GRATE AT ROOF TOP CHILLERS
13	4" WIDE ALUMINUM METAL GRATE LADDER & HANDRAILS UP TO CHILLER PLATFORM MOUNTED ON ISOLATION PADS
14	EXISTING ROOF HATCH TO REMAIN - VERIFY LOCATION IN FIELD
15	NEW ROOF HATCH W/ ACCESS SHIPS LADDER BELOW
16	PROVIDE NEW SAFETY RAILS AROUND EXISTING ROOF HATCH TO REMAIN - V.I.T
17	REMOVE EXISTING ROOF SYSTEM TO DECK AND NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING
18	REPLACE EXISTING ROOF DRAIN WITH COMBINATION ROOF DRAIN/OVERFLOW DRAIN FIXTURES
19	REPLACE COPING AND FLASHING PER BUILDING ENVELOPE ASSESSMENT REPORTS WITH PREFINISHED METAL COPING TO MEET SPIES - 1 STANDARD
20	REMOVE EXISTING ROOF SYSTEM TO DECK AND PROVIDE NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING

KEY PLAN



2/24/2021 4:58:40 PM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
2	ADD #02.1	02/17/21
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021

PK: DAVID COLLINS

PM: JOHN THURMAN

PA: LAUREN BUSH /

Drawn By: JW

Checked By: BP

Drawing Info:

A110.2

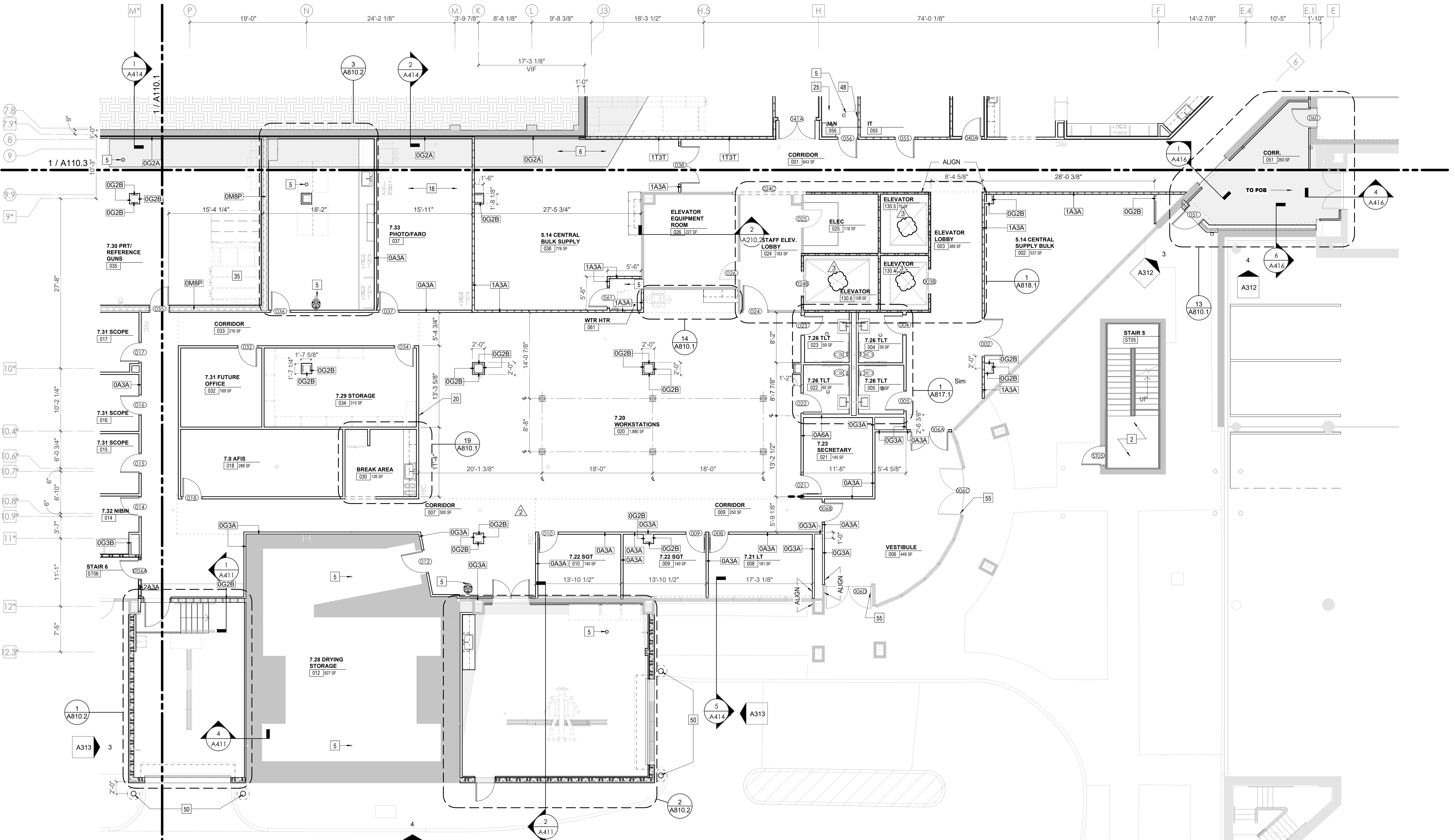
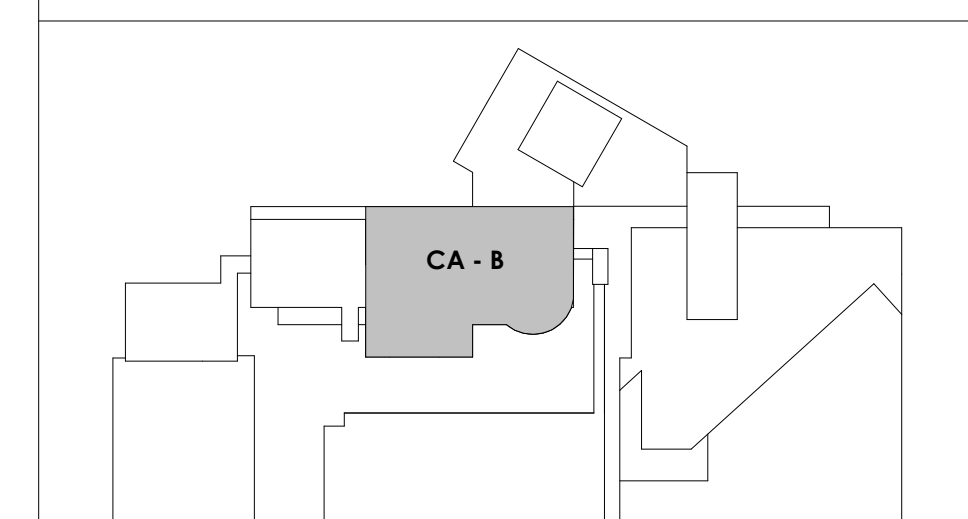
CA - LEVEL LL3 B
FLOOR PLAN

WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

KEYNOTES - FLOOR PLANS	
TAG	TEXT

- 1 SOFFIT ABOVE (DASHED)
- 2 EXISTING EGRESS STAIR TO REMAIN - PREP & PAINT EXISTING HANDRAILS, STAIR, & WALLS TO REMAIN
- 3 EXISTING ELEVATOR TO BE MODIFIED/REPLACED AS REQUIRED TO REACH ALL FOUR (4) FLOORS. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
- 4 EXISTING ELEVATOR - REFURBISH EQUIPMENT & CONTROLS, NEW FINISHES TO INTERIOR OF CAR AS REQ'D. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
- 5 NEW FLOOR DRAIN - REFER TO PLUMBING
- 6 SHADED AREA DENOTES NEW CONCRETE FLOOR SLAB - REFER TO STRUC.
- 7 BALLISTIC LEVEL 3 RATING AND GLAZING - CONT. TO 8'-0" AFF MIN.
- 8 MOBILE VEHICLE LIFT
- 9 OVERHEAD COILING DOOR SEE MANUF. REQ'S
- 10 OWNER PROVIDED WOOD PEW SEATING - N.I.C.
- 11 OWNER PROVIDED 36" DEEP OPEN SHELVING - N.I.C.
- 12 18" X 24" X 72" HEAVY DUTY LOCKER WITH DRAWER/ BENCH (TYPE 1)
- 13 18" X 24" X 72" HEAVY DUTY THREE-TIER LOCKERS (TYPE 2)
- 14 NEW PASS THRU LOCKERS - TYPE 3
- 15 RECESSED SIDE ARMS LOCKERS (ONE FOUR DOOR UNIT AT EACH DOOR)
- 16 PUBLIC WEAPONS STG LOCKERS - TABLET PHONE WALL LOCKERS WITH 12 DOORS (TYPE 5)
- 17 CANOPY ABOVE (DASHED)
- 18 OWNER PROVIDED DRYING CABINETS - N.I.C.
- 19 OWNER PROVIDED COPIER - N.I.C.
- 20 PROVIDE REQ. BLOCKING FOR LOCATIONS WHERE WALL MOUNTED TV MONITORS ARE LOCATED. REFER TO EQUIPMENT PLANS FOR LOCATIONS
- 21 PROVIDE REQ. BLOCKING FOR ALL MARKER BOARD LOCATIONS
- 22 KNOX BOX (RECESSED)
- 23 RECESSED CELL PHONE LOCKERS TO MATCH METAL WALL PANEL
- 24 METAL DETECTOR ENTRY SECURITY
- 25 MCP SINK - SEE PLUMBING
- 26 18" DEEP BOOKSHELVES
- 27 12" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
- 28 24" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
- 29 30" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
- 30 18" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
- 31 PROVIDE NEW HANDRAILS, GUARDRAILS AND EGRESS STAIR ILLUMINATION. PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN
- 32 OPERABLE FOLDING PARTITION
- 33 NEW DROP BOX
- 34 HIGH LOW WATER COOLER
- 35 OWNER PROVIDED HIGH DENSITY MOBILE STORAGE SYSTEM AND OVERSIZED RAILS
- 36 6" DEEP SHELF
- 37 ABANDON EXISTING ELEVATOR
- 38 EXISTING FULL HEIGHT SPANDREL PANEL
- 39 TWO-WAY COMMUNICATOR (BLACK FINISH). PROVIDE CUTSHEET AND VERIFY COLOR SELECTION WITH MFR PRIOR TO PURCHASE - BASIS OF DESIGN
- 40 OWNER PROVIDED REFRIGERATOR, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 41 OWNER PROVIDED REFRIGERATOR UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 42 OWNER PROVIDED BUNN COFFEE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 43 OWNER PROVIDED MICROWAVE UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 44 OWNER PROVIDED UNDERCOUNTER DISHWASHER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 45 OWNER PROVIDED COOKTOP AND HOOD, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 46 OWNER PROVIDED ICE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 47 NEW WATER HEATER - SEE PLUMBING
- 48 WALL MOUNTED MOP & BROOM HOLDER
- 49 APPLY TRANSLUCENT FILM TO INSIDE FACE OF GLAZING
- 50 IMPACT RESISTANT STEEL BOLLARD, GENERAL LOCATION SHOWN, COORDINATE LOCATION IN FIELD
- 51 NEW CONCRETE RAMP, SEE SITE DETAILS AS400 & STRUCTURAL DRAWINGS FOR INFO.
- 52 NEW SHOOTING RANGE, SEE SHOOTING RANGE PLANS A108 FOR INFO.
- 53 PROVIDE WHEEL STOPS AT ACCESSIBLE PARKING LOCATIONS
- 54 NEW FOLDING ARM, SEE ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 55 NEW BADGE IN ACCESS READER, SEE SHEET AS120 AND ELECTRICAL FOR ADDITIONAL INFORMATION
- 56 RESTRIPE PARKING TO ACCOMMODATE FOR ACCESSIBLE PARKING SPACES SHOWN. REFER TO CIVIL FOR ADA SIGNAGE AND PARKING SYMBOLS
- 57 NEW TRENCH DRAIN - SEE PLUMBING
- 58 NEW HOSE BIB - SEE PLUMBING
- 59 EYE WASH - SEE PLUMBING
- 60 1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 1) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
- 61 1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 2) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
- 62 1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 3) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
- 63 1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 4) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
- 64 1" FLUSH WALL/CEILING TO WALL/CEILING EXPANSION JOINT (TYPE 5) TO MATCH ADJACENT PAINT COLOR - SEE STRUC AND DETAILS ON A111.2
- 65 1" EXPANSION JOINT (TYPE 6) TO MATCH ADJACENT BRICK - SEE STRUC AND DETAILS
- 66 ADA PUSH BUTTON
- 67 FLOOR BOX - VERIFY FINAL LOCATION PRIOR TO INSTALLATION W/ ARCHITECT, COORDINATE W/ SYSTEMS FURNITURE - SEE ELECTRICAL
- 68 OWNER PROVIDED VENDING MACHINE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 69 CEILING MOUNTED TV, PROVIDE NECESSARY MOUNTING HARDWARE - SEE ELECTRICAL AND TELECOMMUNICATIONS
- 70 OWNER PROVIDED MICROWAVE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
- 71 24" DEEP STAINLESS PASS THROUGH COUNTER INSTALLED 34" A.F.F. SEE ENLARGED PLANS FOR INFO.
- 72 EXISTING ELEVATOR - TO BE ABANDONED. WELD DOORS SHUT AND INFILL OPENING WITH METAL STUD FRAMING

KEY PLAN



SHEET - CENTRAL ANNEX - LEVEL LL3 FLOOR PLAN
A110.2
1/8" = 1'-0"



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

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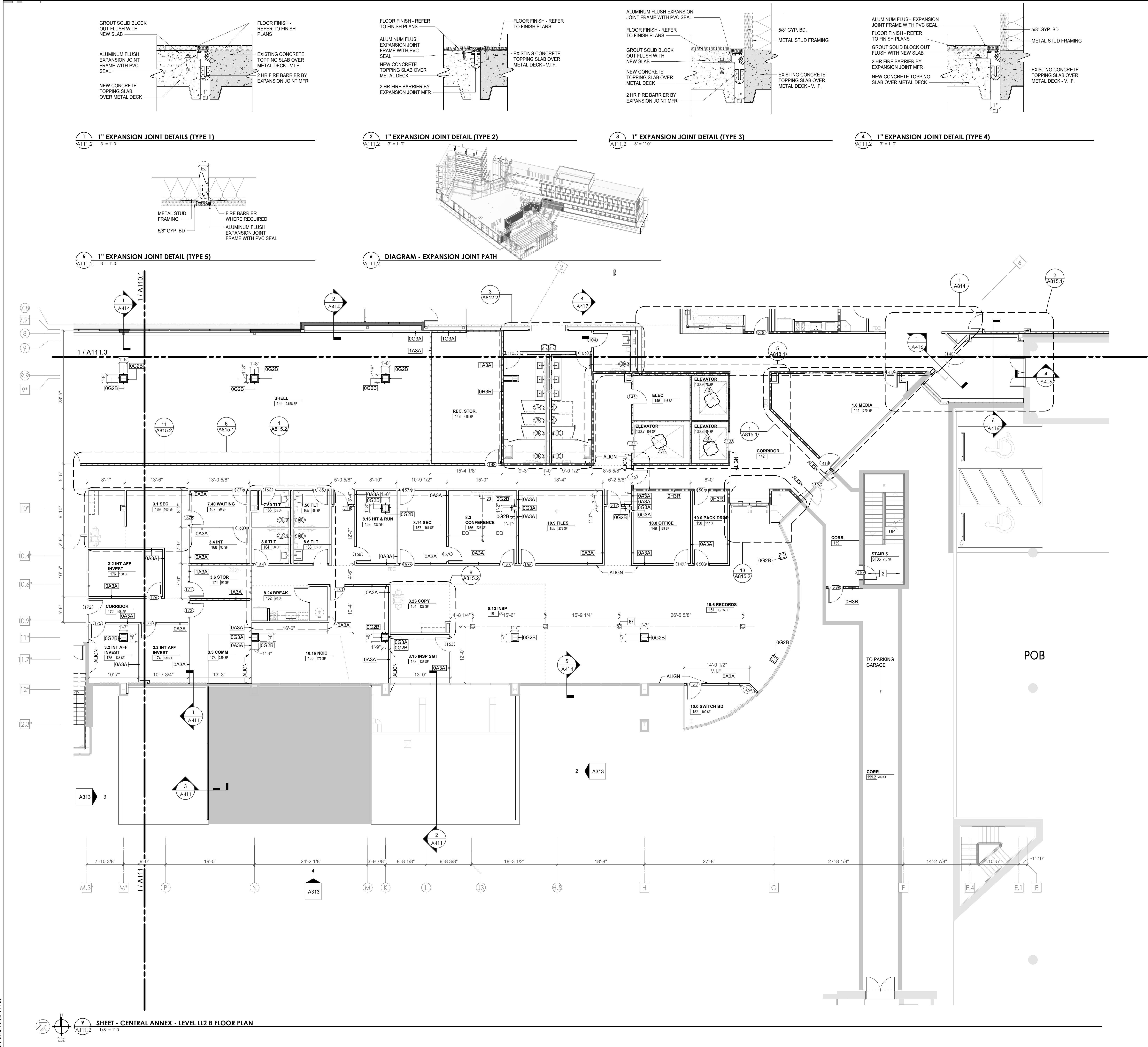
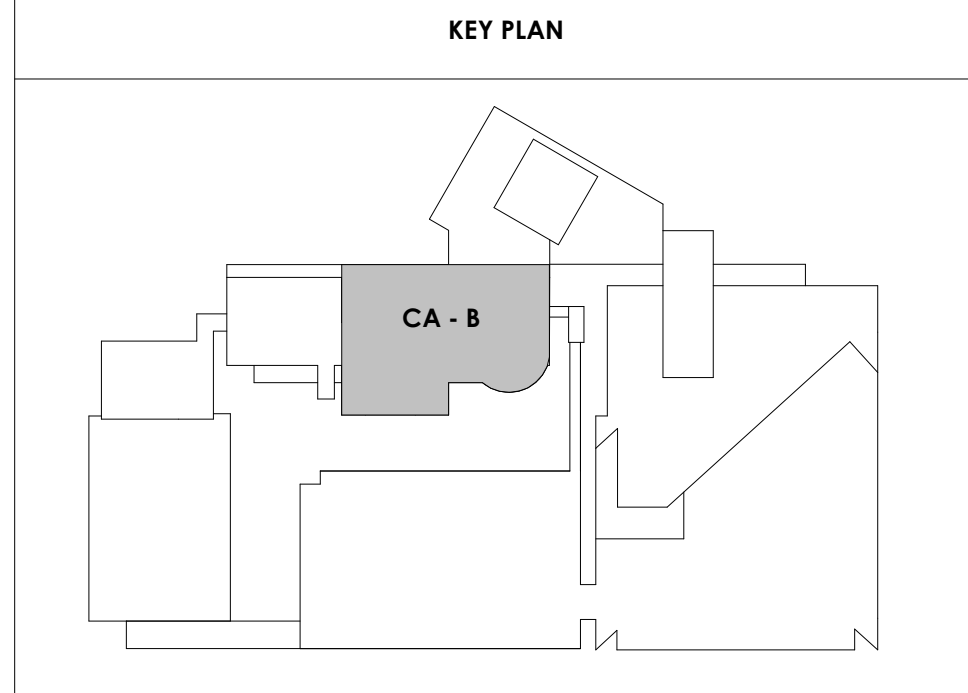
Drawing Info:

A111.2

CA - LEVEL LL2 B FLOOR PLAN

WALL LEGEND	
[Symbol]	2 HR PARTITION (ASSEMBLY VARIES)
[Symbol]	1 HR PARTITION (ASSEMBLY VARIES)
[Symbol]	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
[Symbol]	NEW PARTITION (ASSEMBLY VARIES)
[Symbol]	EXISTING PARTITION
[Symbol]	EXISTING PARTITION TO BE DEMOLISHED

KEYNOTES - FLOOR PLANS	
TAG	TEXT
1	SOFFIT ABOVE (DASHED)
2	EXISTING EGRESS STAIR TO REMAIN - PREP & PAINT EXISTING HANDRAILS, STAIR, & WALLS TO REMAIN
3	EXISTING ELEVATOR TO BE MODIFIED/REPLACED AS REQUIRED TO REACH ALL FOUR (4) FLOORS. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
4	EXISTING ELEVATOR - REFURBISH EQUIPMENT & CONTROLS, NEW FINISHES TO INTERIOR OF CAR AS REQ'D. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
5	NEW FLOOR DRAIN - REFER TO PLUMBING
6	SHADED AREA DENOTES NEW CONCRETE FLOOR SLAB - REFER TO STRUC.
7	BALLISTIC LEVEL 3 RATING AND GLAZING - CONT. TO 8'-0" AFF MIN.
8	MOBILE VEHICLE LIFT
9	OVERHEAD COILING DOOR SEE MANUF. REQ'S
10	OWNER PROVIDED WOOD PEW SEATING - N.I.C.
11	OWNER PROVIDED 36" DEEP OPEN SHELVING - N.I.C.
12	18" X 24" X 72" HEAVY DUTY LOCKER WITH DRAWER/BENCH (TYPE 1)
13	18" X 24" X 72" HEAVY DUTY THREE TIER LOCKERS (TYPE 2)
14	NEW PASS THRU LOCKERS - TYPE 3
15	RECESSED SIDE ARMS LOCKERS (ONE FOUR DOOR UNIT AT EACH DOOR)
16	PUBLIC WEAPONS STG LOCKERS - TABLET PHONE WALL LOCKERS WITH 12 DOORS (TYPE 5)
17	CANOPY ABOVE (DASHED)
18	OWNER PROVIDED DRYING CABINETS - N.I.C.
19	OWNER PROVIDED COPIER - N.I.C.
20	PROVIDE REQ. BLOCKING FOR LOCATIONS WHERE WALL MOUNTED TV MONITORS ARE LOCATED. REFER TO EQUIPMENT PLANS FOR LOCATIONS
21	PROVIDE REQ. BLOCKING FOR ALL MARKER BOARD LOCATIONS
22	KNOX BOX (RECESSED)
23	RECESSED CELL PHONE LOCKERS TO MATCH METAL WALL PANEL
24	METAL DETECTOR ENTRY SECURITY
25	MCP SHAK - SEE PLUMBING
26	18" DEEP BOOKSHELVES
27	12" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
28	24" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
29	30" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
30	18" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
31	PROVIDE NEW HANDRAILS, GUARDRAILS AND EGRESS STAIR ILLUMINATION. PREP AND PAINT EXISTING STAIR TO EQUIPMENT PLANS FOR LOCATIONS
32	OPERABLE FOLDING PARTITION
33	NEW DROP BOX
34	HIGH LOW WATER COOLER
35	OWNER PROVIDED HIGH DENSITY MOBILE STORAGE SYSTEM AND OVERSILAB RAILS
36	6" DEEP SHELF
37	ABANDON EXISTING ELEVATOR
38	EXISTING FULL HEIGHT SPANDREL PANEL
39	TWO-WAY COMMUNICATOR (BLACK FINISH). PROVIDE CUTSHEET AND VERIFY COLOR SELECTION WITH MFR PRIOR TO PURCHASE - BASIS OF DESIGN AUTHUS BY C.R. LAURENCE
40	OWNER PROVIDED REFRIGERATOR, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
41	OWNER PROVIDED REFRIGERATOR UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
42	OWNER PROVIDED BLIND COFFEE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
43	OWNER PROVIDED MICROWAVE UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
44	OWNER PROVIDED UNDERCOUNTER DISHWASHER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
45	OWNER PROVIDED COOKTOP AND HOOD, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
46	OWNER PROVIDED ICE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
47	NEW WATER HEATER - SEE PLUMBING
48	WALL MOUNTED MOP & BROOM HOLDER
49	APPLY TRANSLUCENT FILM TO INSIDE FACE OF GLAZING
50	IMPACT RESISTANT STEEL BOLLARD, GENERAL LOCATION SHOWN, COORDINATE LOCATION IN FIELD.
51	NEW CONCRETE RAMP, SEE SITE DETAILS AS400 & STRUCTURAL DRAWINGS FOR INFO.
52	NEW SHOOTING RANGE, SEE SHOOTING RANGE PLANS A108 FOR INFO.
53	PROVIDE WHEEL STOPS AT ACCESSIBLE PARKING LOCATIONS
54	NEW FOLDING ARM, SEE ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
55	NEW BADGE IN ACCESS READER, SEE SHEET AS120 AND ELECTRICAL FOR ADDITIONAL INFORMATION
56	RESTRIP PARKING TO ACCOMMODATE FOR ACCESSIBLE PARKING SPACES SHOWN. REFER TO CIVIL FOR ADA SIGNAGE AND PARKING SYMBOLS
57	NEW TRENCH DRAIN - SEE PLUMBING
58	NEW HOSE BIB - SEE PLUMBING
59	EYE WASH - SEE PLUMBING
60	1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 1) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
61	1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 2) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
62	1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 3) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
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64	1" FLUSH WALL/CEILING TO WALL/CEILING EXPANSION JOINT (TYPE 5) TO MATCH ADJACENT PAINT COLOR - SEE STRUC AND DETAILS ON A111.2
65	1" EXPANSION JOINT (TYPE 6) TO MATCH ADJACENT BRICK - SEE STRUC AND DETAILS
66	ADA PUSH BUTTON
67	FLOOR BOX - VERIFY FINAL LOCATION PRIOR TO INSTALLATION W/ ARCHITECT, COORDINATE W/ SYSTEMS FURNITURE - SEE ELECTRICAL
68	OWNER PROVIDED VENDING MACHINE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
69	CEILING MOUNTED TV, PROVIDE NECESSARY MOUNTING HARDWARE - SEE ELECTRICAL AND TELECOMMUNICATIONS
70	OWNER PROVIDED MICROWAVE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
71	24" DEEP STAINLESS PASS THROUGH COUNTER INSTALLED 34" A.F.F. SEE ENLARGED PLANS FOR INFO.
72	EXISTING ELEVATOR - TO BE ABANDONED. WELD DOORS SHUT AND INFILL OPENING WITH METAL STUD FRAMING





Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
1	ADD #02.1	02/17/21
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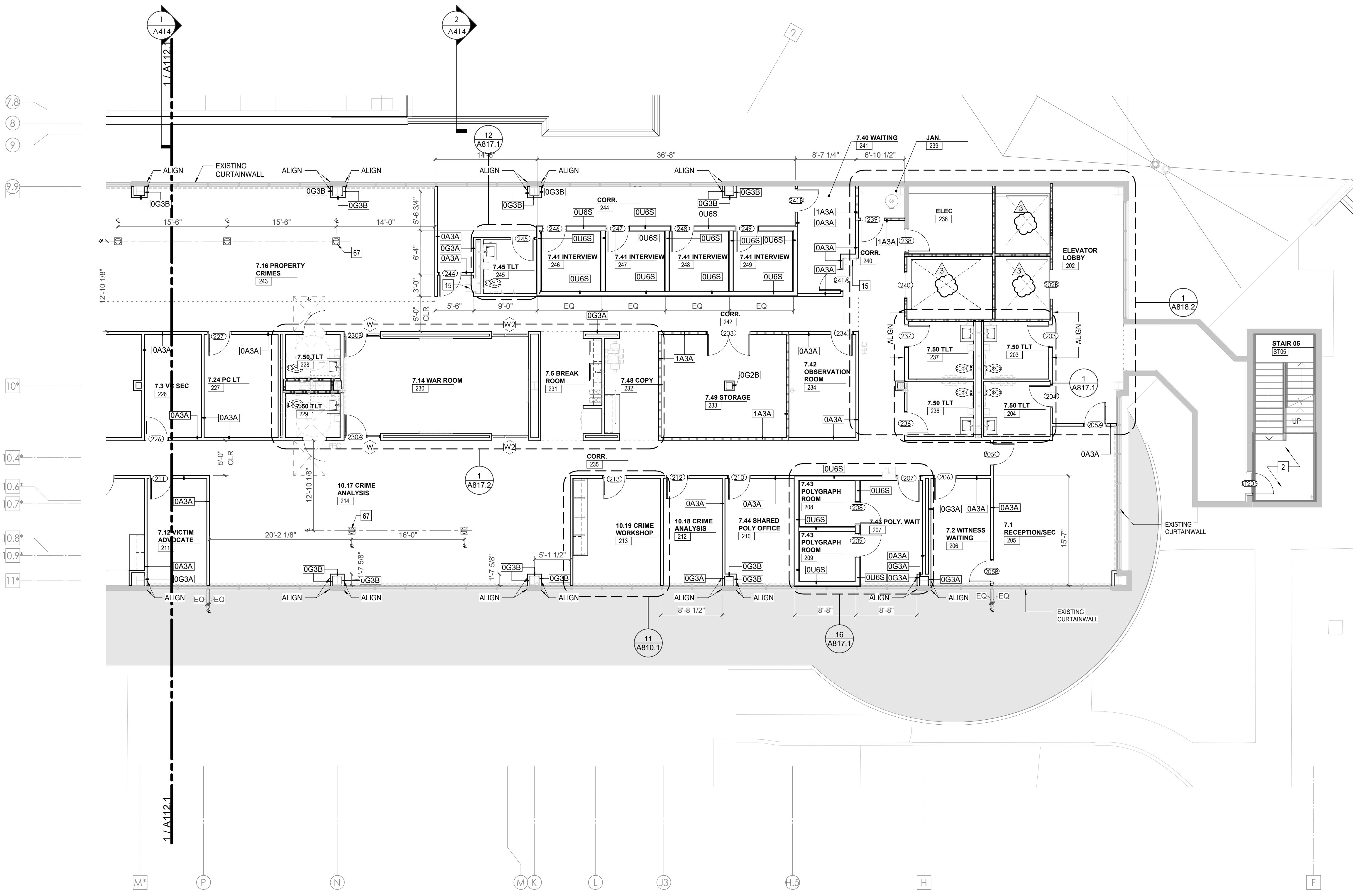
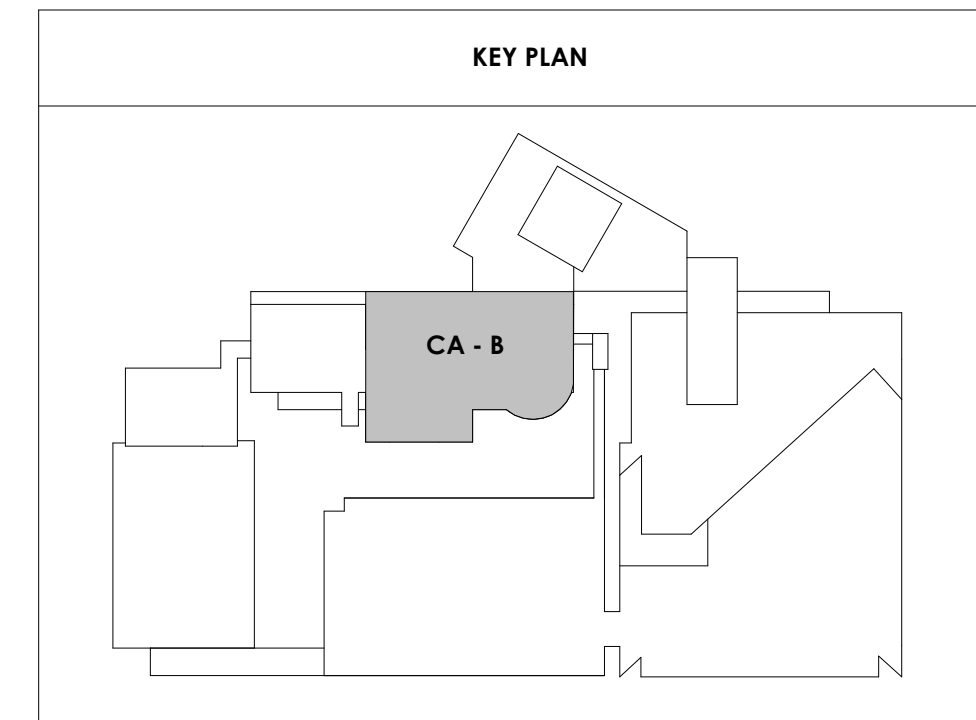
Drawing Info:

A112.2

CA - LEVEL LL1 B
FLOOR PLAN

WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

KEYNOTES - FLOOR PLANS	
TAG	TEXT
1	SOFFIT ABOVE (DASHED)
2	EXISTING EGRESS STAIR TO REMAIN - PREP & PAINT EXISTING HANDRAILS, STAIR, & WALLS TO REMAIN
3	EXISTING ELEVATOR TO BE MODIFIED/REPLACED AS REQUIRED TO REACH ALL FOUR (4) FLOORS. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
4	EXISTING ELEVATOR - REFURBISH EQUIPMENT & CONTROLS, NEW FINISHES TO INTERIOR OF CAR AS REQ'D. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
5	NEW FLOOR DRAIN - REFER TO PLUMBING
6	SHADED AREA DENOTES NEW CONCRETE FLOOR SLAB - REFER TO STRUC.
7	BALLISTIC LEVEL 3 RATING AND GLAZING - CONT. TO 8'-0" AFF MIN.
8	MOBILE VEHICLE LIFT
9	OVERHEAD COILING DOOR SEE MANUF. REQ'S
10	OWNER PROVIDED WOOD PEW SEATING - N.I.C.
11	OWNER PROVIDED 36" DEEP OPEN SHELVING - N.I.C.
12	18" X 24" X 72" HEAVY DUTY LOCKER WITH DRAWER/BENCH (TYPE 1)
13	18" X 24" X 72" HEAVY DUTY THREE-TIER LOCKERS (TYPE 2)
14	NEW MASS THRU LOCKERS - TYPE 3
15	RECESSED SIDE ARMS LOCKERS (ONE FOUR DOOR UNIT AT EACH DOOR)
16	PUBLIC WEAPONS STG LOCKERS - TABLET PHONE WALL LOCKERS WITH 12 DOORS (TYPE 5)
17	CANOPY ABOVE (DASHED)
18	OWNER PROVIDED DRYING CABINETS - N.I.C.
19	OWNER PROVIDED COPIER - N.I.C.
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21	PROVIDE REQ. BLOCKING FOR ALL MARKER BOARD LOCATIONS
22	KNOX BOX (RECESSED)
23	RECESSED CELL PHONE LOCKERS TO MATCH METAL WALL PANEL
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25	MOP SINK - SEE PLUMBING
26	18" DEEP BOOKSHELVES
27	12" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
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33	NEW DROP BOX
34	HIGH LOW WATER COOLER
35	OWNER PROVIDED HIGH DENSITY MOBILE STORAGE SYSTEM AND OVERHEAD RAILS
36	6" DEEP SHELF
37	ABANDON EXISTING ELEVATOR
38	EXISTING FULL HEIGHT SPANDREL PANEL
39	TWO-WAY COMMINGATOR (BLACK FINISH), PROVIDE CUTSHEET AND VERIFY COLOR SELECTION WITH MFR PRIOR TO PURCHASE - BASIS OF DESIGN
40	OWNER PROVIDED REFRIGERATOR UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
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1/8" = 1'-0" CENTRAL ANNEX - LEVEL LL1 B FLOOR PLAN
A112.2



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 Checked By: BP

Drawing Info:

A113.2

CA - LEVEL GROUND B FLOOR PLAN

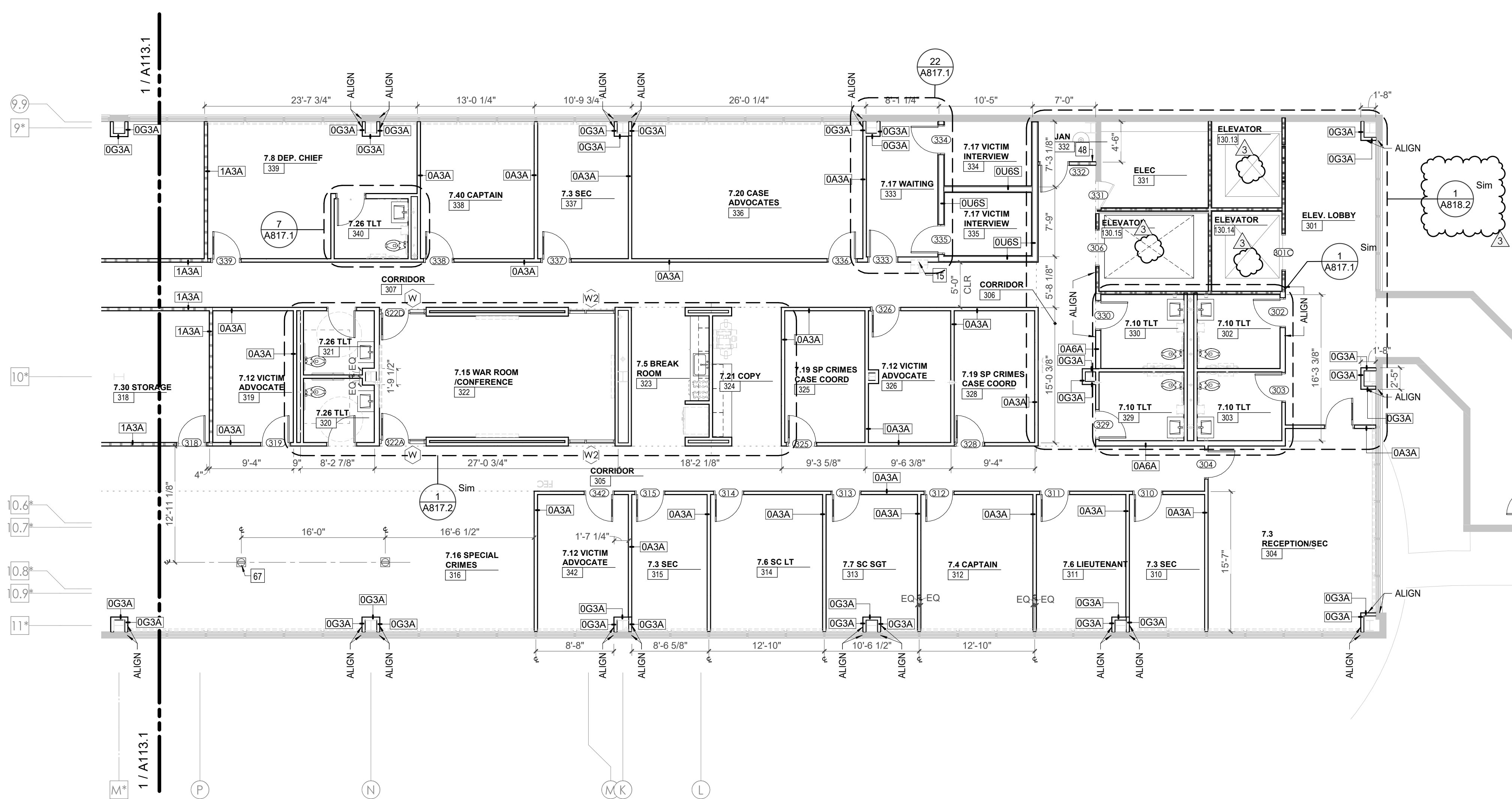
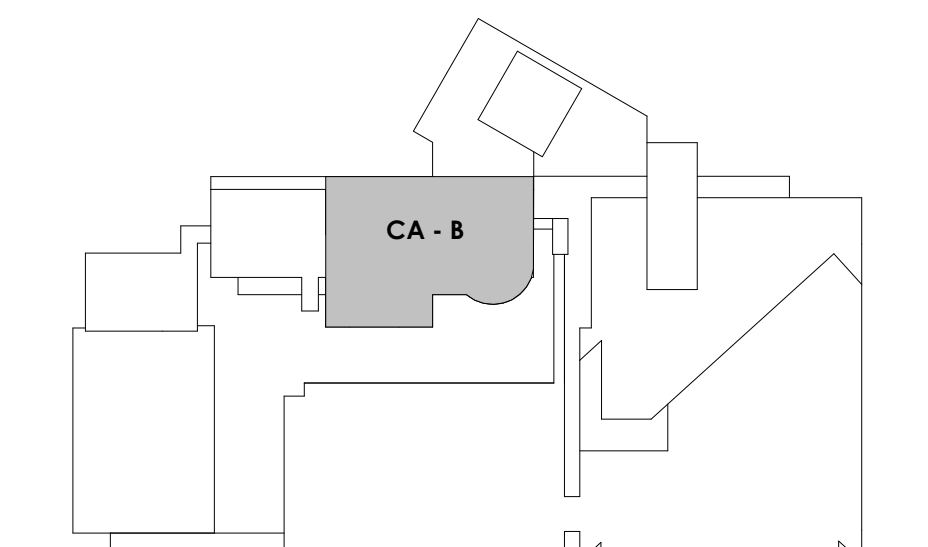
WALL LEGEND

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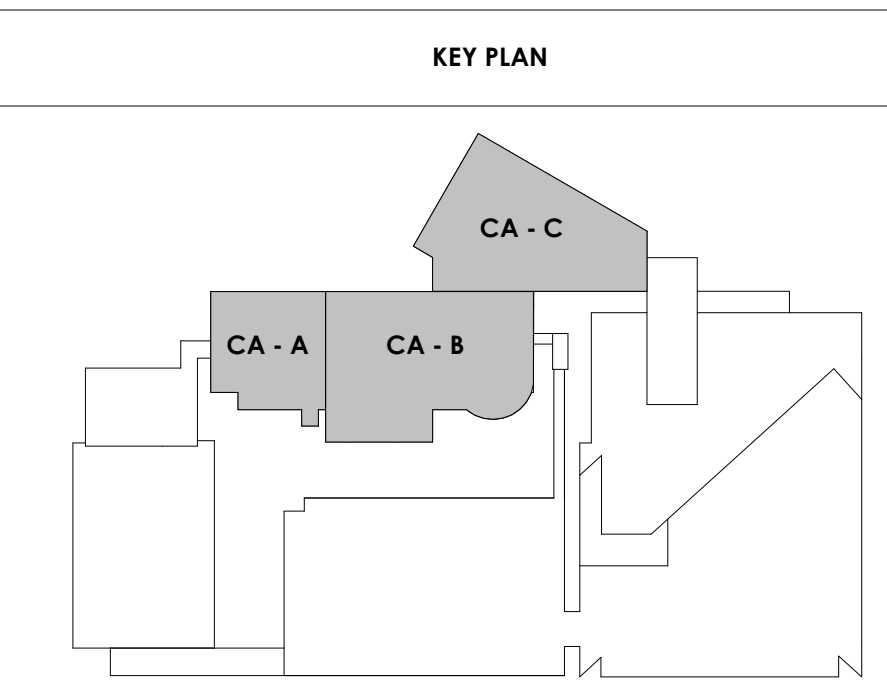
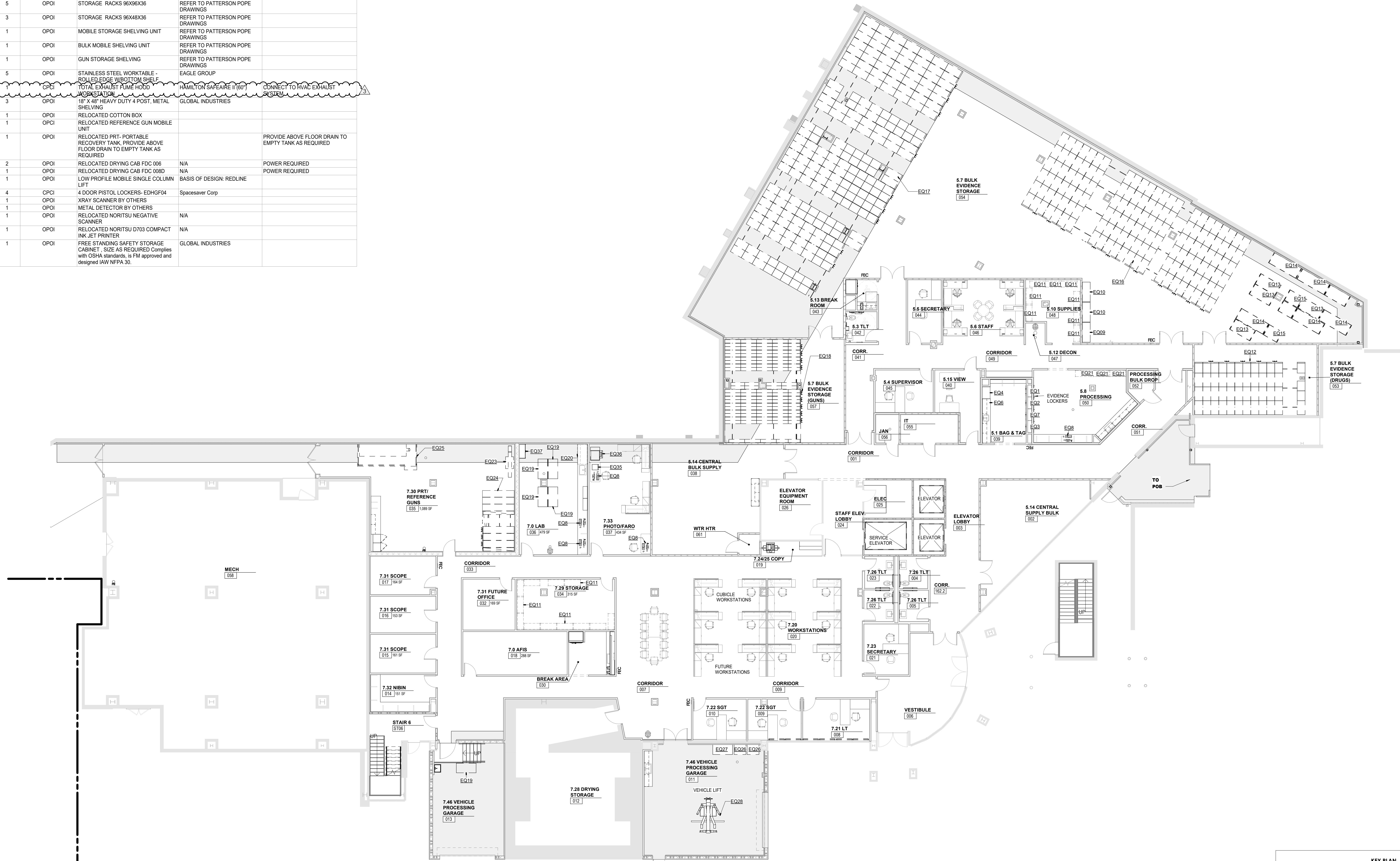
KEY PLAN



CENTRAL ANNEX - GROUND LEVEL FLOOR PLAN
1/8" = 1'-0"

TAG	COUNT	RESPONSIBILITY	DESCRIPTION	BASIS OF DESIGN	CA REQUIREMENTS
EQ1	1	CPCI	6 Door Evidence Locker	Spacesaver Corporation	OWNER TO VERIFY PRIOR TO PURCHASE
EQ2	1	CPCI	6 Door Evidence Locker	Spacesaver Corporation	OWNER TO VERIFY PRIOR TO PURCHASE
EQ3	1	CPCI	8 Door Evidence Locker	Spacesaver Corporation	OWNER TO VERIFY PRIOR TO PURCHASE
EQ4	1	CPCI	REFRIGERATOR EVIDENCE LOCKER	Spacesaver Corporation	POWER REQUIRED
EQ6	1	OPOI	RELOCATED MONEY SAFE	N/A	
EQ7	1	CPCI	12 Door Evidence Locker	Spacesaver Corporation	OWNER TO VERIFY PRIOR TO PURCHASE
EQ8	5	OPOI	COMPUTER WORKSTATION	SHOWN FOR REFERENCE ONLY	
EQ9	1	OPOI	RELOCATED TRUE GDM-45 HC LD	N/A	
EQ10	2	OPOI	RELOCATED FOGEL REACH IN THREE SECTION REFRIGERATOR	FOGEL 12 HP, 115V/6011-ph, 12.7 amps	POWER & DATA REQUIRED - COORDINATE LOCATION OF CABLE GROMMET IN COUNTER
EQ11	20	OPOI	18" X 48" HEAVY DUTY 4 POST, METAL SHELVING	GLOBAL INDUSTRIES	
EQ12	1	OPOI	NARCOTICS STORAGE SHELVING	REFER TO PATTERSON POPE DRAWINGS	
EQ13	5	OPOI	STORAGE RACKS 96X72X36	REFER TO PATTERSON POPE DRAWINGS	
EQ14	5	OPOI	STORAGE RACKS 96X96X36	REFER TO PATTERSON POPE DRAWINGS	
EQ15	3	OPOI	STORAGE RACKS 96X48X36	REFER TO PATTERSON POPE DRAWINGS	
EQ16	1	OPOI	MOBILE STORAGE SHELVING UNIT	REFER TO PATTERSON POPE DRAWINGS	
EQ17	1	OPOI	BULK MOBILE SHELVING UNIT	REFER TO PATTERSON POPE DRAWINGS	
EQ18	1	OPOI	GUN STORAGE SHELVING	REFER TO PATTERSON POPE DRAWINGS	
EQ19	5	OPOI	STAINLESS STEEL WORKTABLE - ROLLED EDGE W/ BOTTOM SHELF	EAGLE GROUP	
EQ20	1	CPCI	TOTAL EXHAUST PUME HOOD WORKS AREA	HAMILTON SAFEAIRE II (60")	CONNECT TO HVAC EXHAUST SYSTEM
EQ21	3	OPOI	18" X 48" HEAVY DUTY 4 POST, METAL SHELVING	GLOBAL INDUSTRIES	
EQ23	1	OPOI	RELOCATED COTTON BOX		
EQ24	1	OPOI	RELOCATED REFERENCE GUN MOBILE UNIT		
EQ25	1	OPOI	RELOCATED PRT- PORTABLE RECOVERY TANK, PROVIDE ABOVE FLOOR DRAIN TO EMPTY TANK AS REQUIRED		PROVIDE ABOVE FLOOR DRAIN TO EMPTY TANK AS REQUIRED
EQ26	2	OPOI	RELOCATED DRYING CAB FDC 006	N/A	POWER REQUIRED
EQ27	1	OPOI	RELOCATED DRYING CAB FDC 008D	N/A	POWER REQUIRED
EQ28	1	OPOI	LOW PROFILE MOBILE SINGLE COLUMN LIFT	BASIS OF DESIGN: REDLINE	
EQ29	4	CPCI	4 DOOR PISTOL LOCKERS- EDHGF04	Spacesaver Corp	
EQ32	1	OPOI	XRAY SCANNER BY OTHERS		
EQ33	1	OPOI	METAL DETECTOR BY OTHERS		
EQ35	1	OPOI	RELOCATED NORITSU NEGATIVE SCANNER	N/A	
EQ36	1	OPOI	RELOCATED NORITSU D703 COMPACT INK JET PRINTER	N/A	
EQ37	1	OPOI	FREE STANDING SAFETY STORAGE CABINET, SIZE AS REQUIRED Complies with OSHA standards, is FM approved and designed IAW NFPA 30.	GLOBAL INDUSTRIES	

- EQUIPMENT GENERAL NOTES:**
- OPOI - OWNER PROVIDED, OWNER INSTALLED
 - OPOI - OWNER PROVIDED, CONTRACTOR INSTALLED
 - CPCI - CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
 - COORDINATE FINAL LOCATION OF ALL EQUIPMENT WITH OWNER. COORDINATE WITH MEP DRAWINGS, ELECTRICAL/ PLUMBING CONNECTION LOCATIONS
 - PROVIDE NON COMPUTABLE BLOCKING AS REQUIRED FOR ALL ACCESSORIES, EQUIPMENT, ETC. AS NECESSARY PER MANUFACTURERS RECOMMENDATIONS
 - PROVIDE BLOCKING, POWER AND JUNCTION BOX AT ALL WALL MOUNTED TELEVISIONS. COORDINATE FINAL LOCATIONS WITH TECHNOLOGY DRAWINGS AND OWNER.



1 SHEET - CENTRAL ANNEX - LEVEL LL3 EQUIPMENT PLAN
3/32" = 1'-0"

McCarthy Holtsapple McCarty, Inc.
550 W. Main St., Suite 300
Knoxville, TN 37902
1.865.544.2000
www.mhminc.com



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CA - LEVEL LL3
EQUIPMENT PLAN



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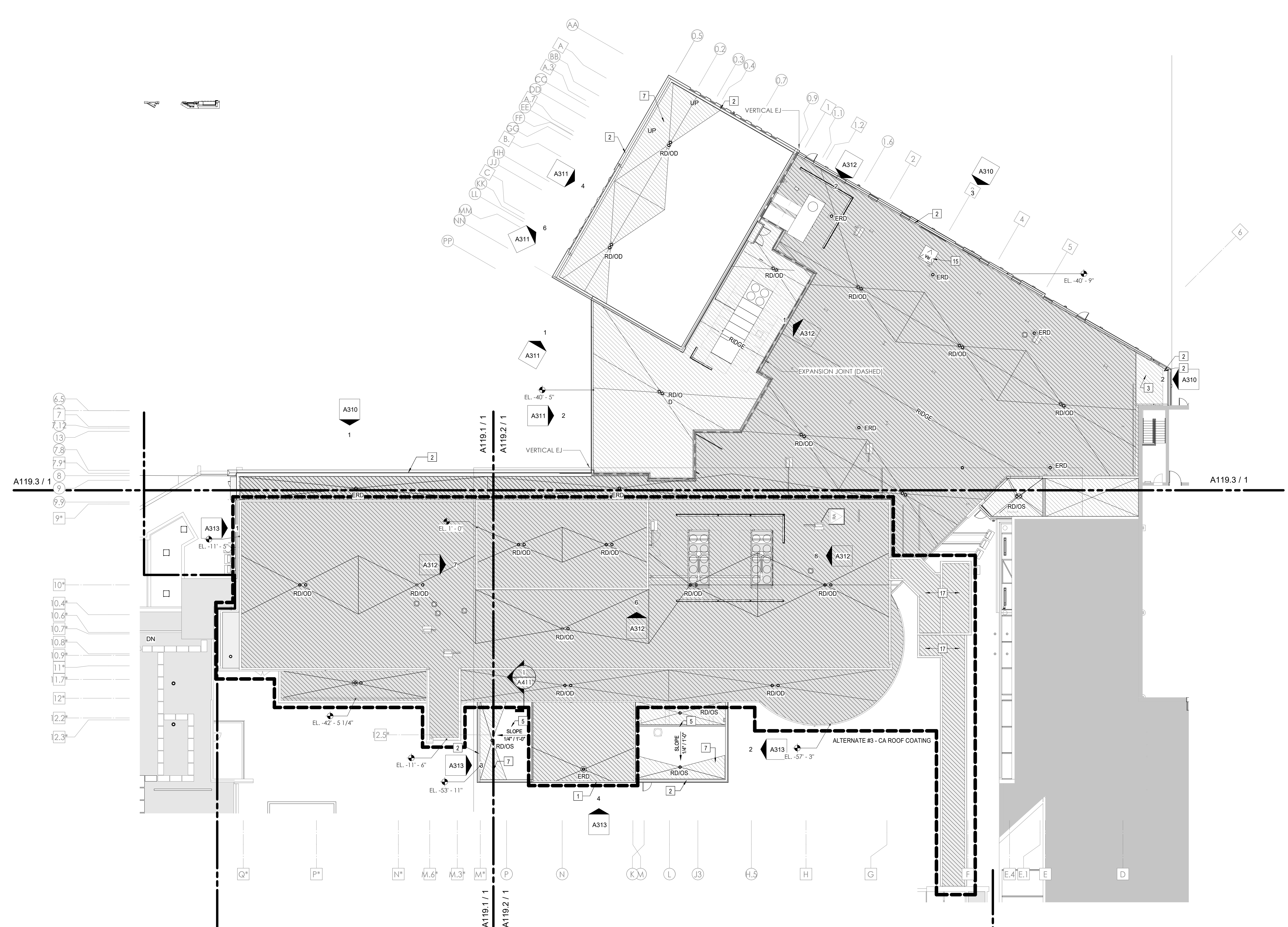
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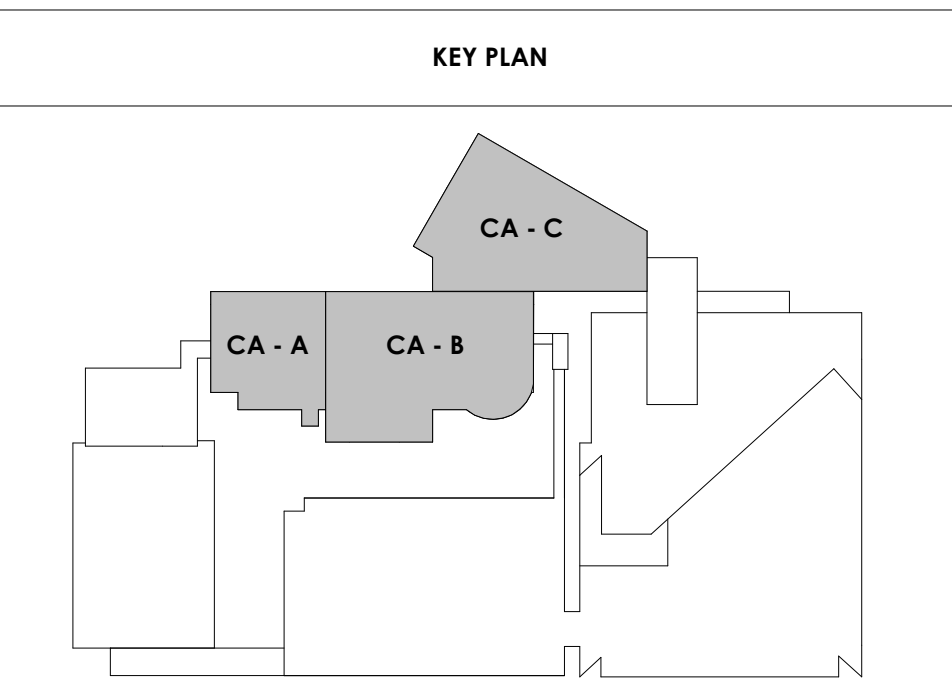
CA - OVERALL ROOF PLAN

ROOF PLAN LEGEND	
GRAPHICS	
R1	EXISTING ROOF ASSEMBLY TO REMAIN
R2	NEW ROOF ASSEMBLY** ON EXIST. FLAT STRUCT. - SLOPE INSUL TO DRAINS AS SHOWN - 1 HR FIRE RATING
R3	NEW ROOF ASSEMBLY** ON NEW SLOPED STRUCT. - 1 HR FIRE RATING
R4	NEW ROOF ASSEMBLY** ON NEW FLAT STRUCT. - SLOPE INSUL TO DRAINS AS SHOWN - 1 HR FIRE RATING
	WALKPADS
	** 20-YEAR, FULLY ADHERED, 80 MIL TPO ROOF MEMBRANE OVER COVER BOARD OVER CONT. R-30 (MIN) RIGID INSUL
ABBREVIATIONS	
'RD'	ROOF DRAIN
'ERD'	EXISTING ROOF DRAIN
'OD'	OVERFLOW DRAIN
'OS'	OVERFLOW SCUPPER
	ROOF DRAIN SET @ +6" ABOVE ROOF DECK (ASSUMES R-5/IN (R-30 MIN))

KEYNOTE - ROOF PLAN	
1	EXISTING PARAPET & COPING TO REMAIN
2	NEW PARAPET WITH PREFINISHED METAL COPING TO MEET SPRI ES-1 STANDARD
3	NEW 20-YEAR, FULLY ADHERED, 80 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON NEW FLAT STRUCTURE - 1 HR FIRE RATING
4	REMOVE EXISTING ROOF SYSTEM TO DECK AND PROVIDE NEW 20-YEAR, FULLY ADHERED, 80 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING
5	NEW 20-YEAR, FULLY ADHERED, 80 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON NEW SLOPED STRUCTURE - 1 HR FIRE RATING
6	EXISTING ROOFING TO REMAIN - PATCH AND REPAIR AS REQUIRED FOR NEW PENETRATIONS
7	NEW POLYISO INSULATION CRICKET, SLOPED MIN. 1/4" PER 1'-0" TOWARDS ROOF DRAIN
8	EXIST. ROOF DRAIN TO BE ABANDONED - SEE STRUC. INFILL DTL.
9	NEW SCREEN AROUND ROOFTOP MECHANICAL UNIT
10	EXISTING WALKING PADS
11	NEW WALKING PADS AT NEW ROOF TOP EQUIPMENT
12	ELEVATED METAL GRATE AT ROOF TOP CHILLERS
13	4" WIDE PREMANUF. METAL GRATE STAR WITH HANDRAIL UP TO CHILLER PLATFORM MOUNTED ON ISOLATION PADS
14	EXISTING ROOF HATCH TO REMAIN - VERIFY LOCATION IN FIELD
15	NEW ROOF HATCH W/ ACCESS SHIPS LADDER BELOW
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18	REPLACE EXISTING ROOF DRAIN WITH COMBINATION ROOF DRAIN OVERFLOW DRAIN FIXTURES.
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ROOF REMEDIATION:
REFER TO "BUILDING ENVELOPE ASSESSMENT"
IN SPECIFICATIONS FOR FULL REPORT.



1
A118
SHEET - CENTRAL ANNEX - OVERALL ROOF PLAN
1/16" = 1'-0"



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
2	ADD #02.1	02/17/21
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: CW
 Checked By: BP

Drawing Info:

A119.1

CA - ROOF PLAN A

ROOF PLAN LEGEND

GRAPHICS

R1	EXISTING ROOF ASSEMBLY TO REMAIN
R2	NEW ROOF ASSEMBLY** ON EXIST. FLAT STRUCT. - SLOPE INSUL. TO DRAINS AS SHOWN - 1 HR FIRE RATING
R3	NEW ROOF ASSEMBLY** ON NEW SLOPED STRUCT. - 1 HR FIRE RATING
R4	NEW ROOF ASSEMBLY** ON NEW FLAT STRUCT. - SLOPE INSUL. TO DRAINS AS SHOWN - 1 HR FIRE RATING

WALKPADS

** 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD OVER CONT. R-30 (MIN) RIGID INSUL.

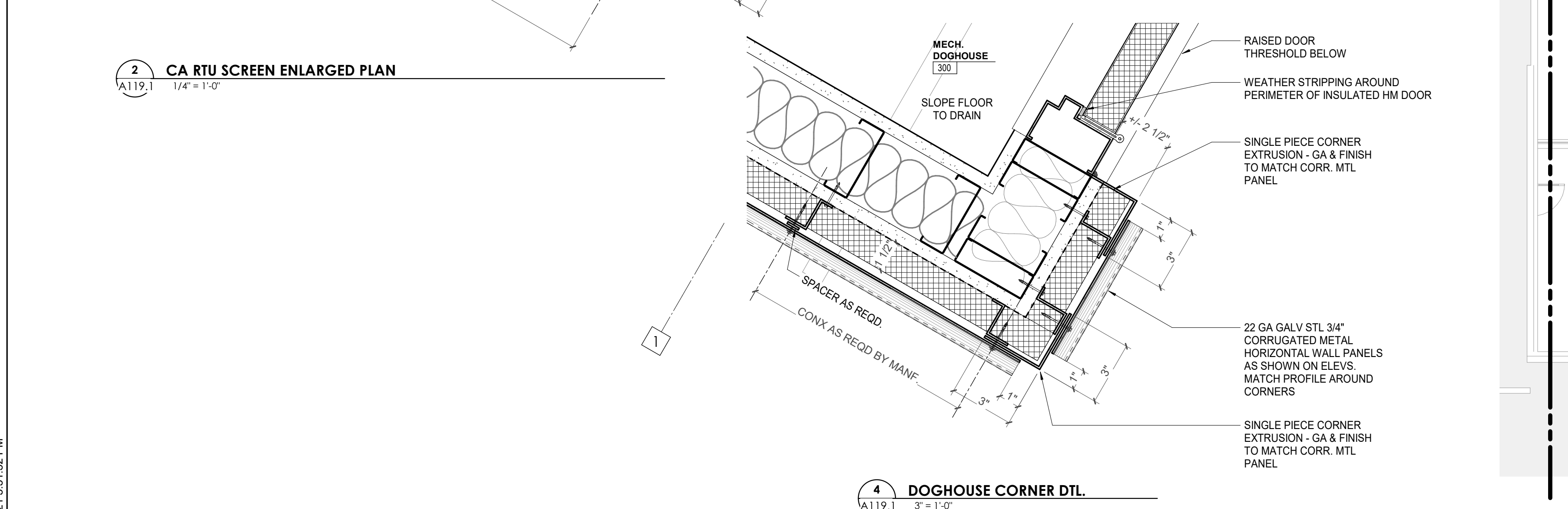
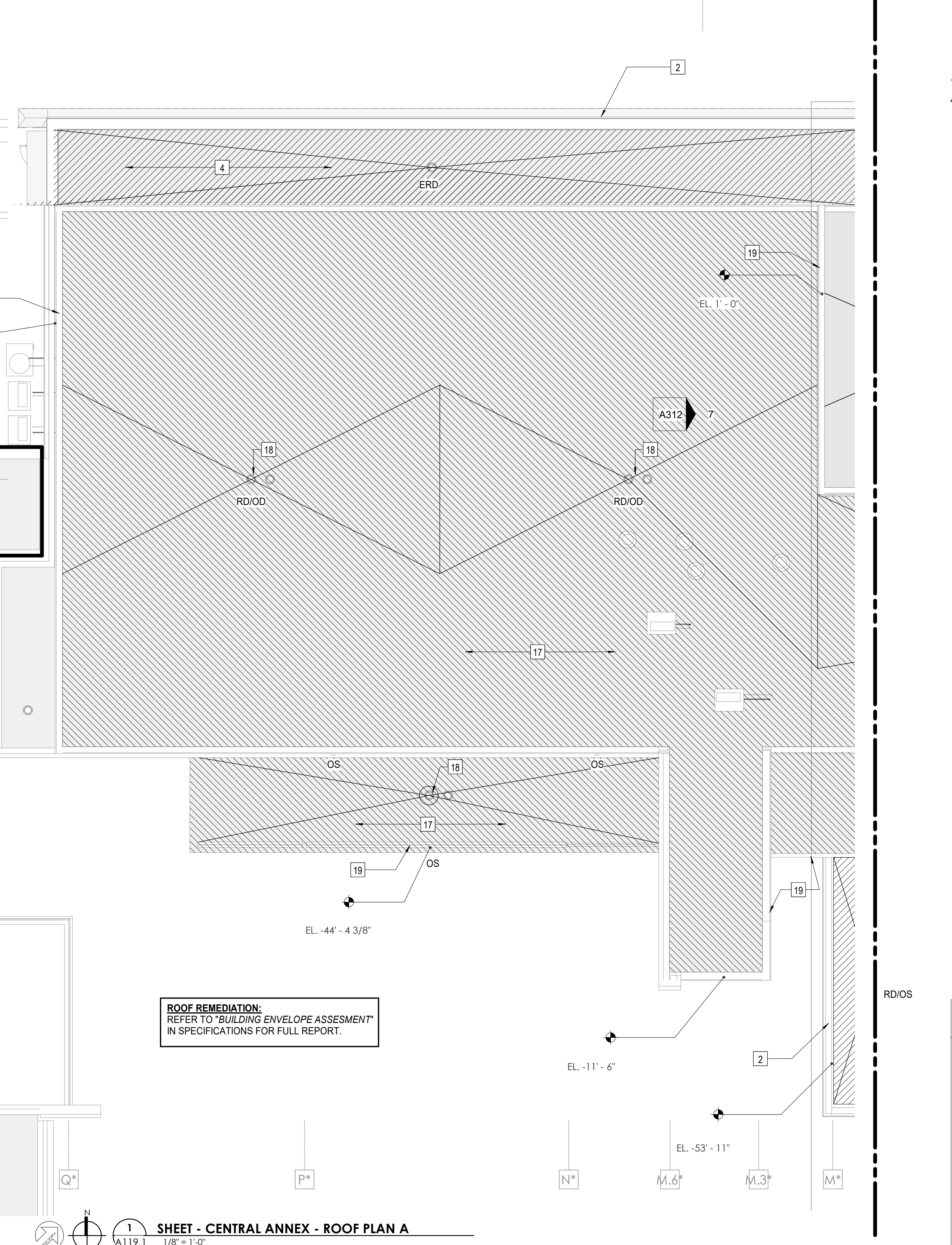
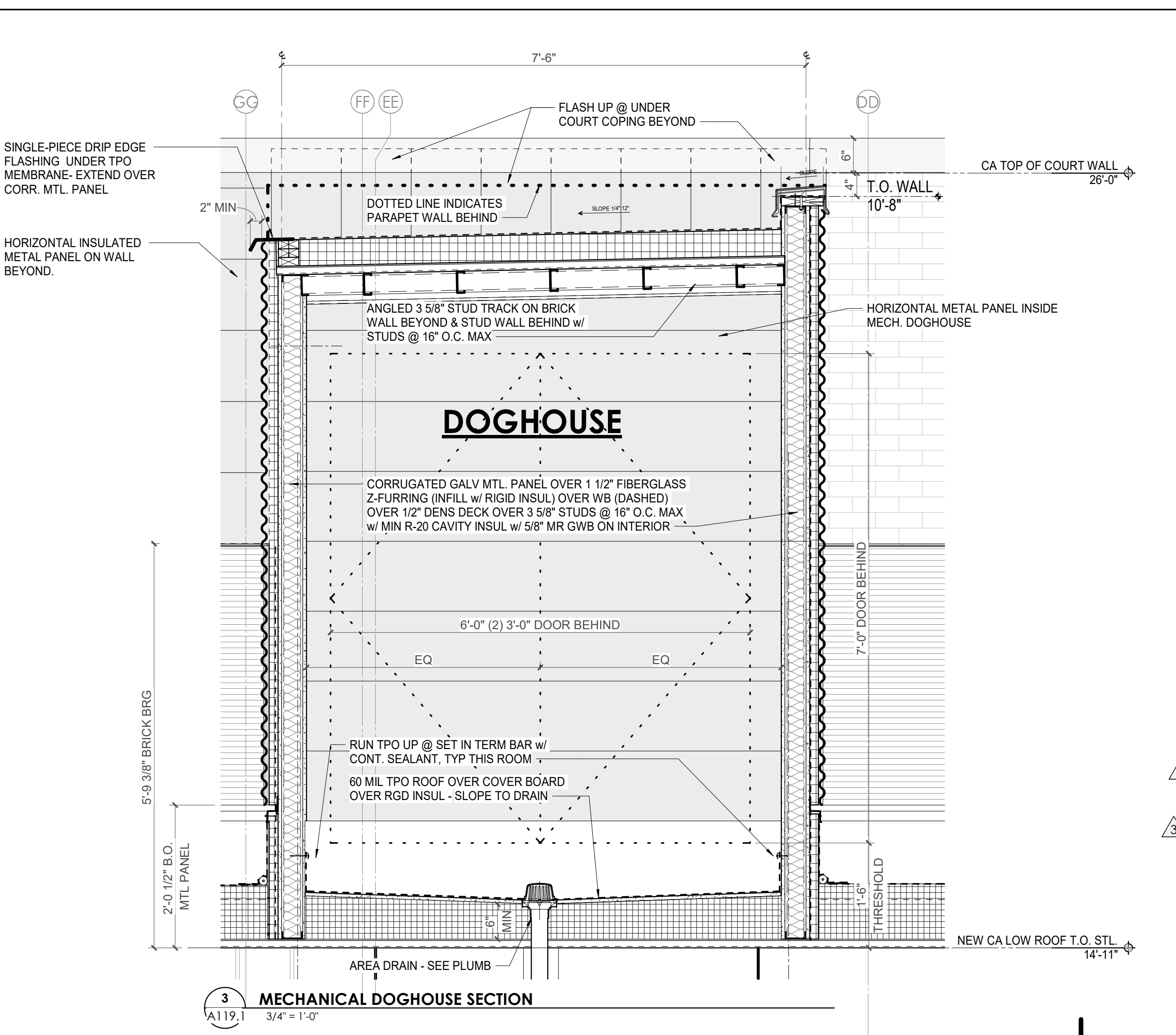
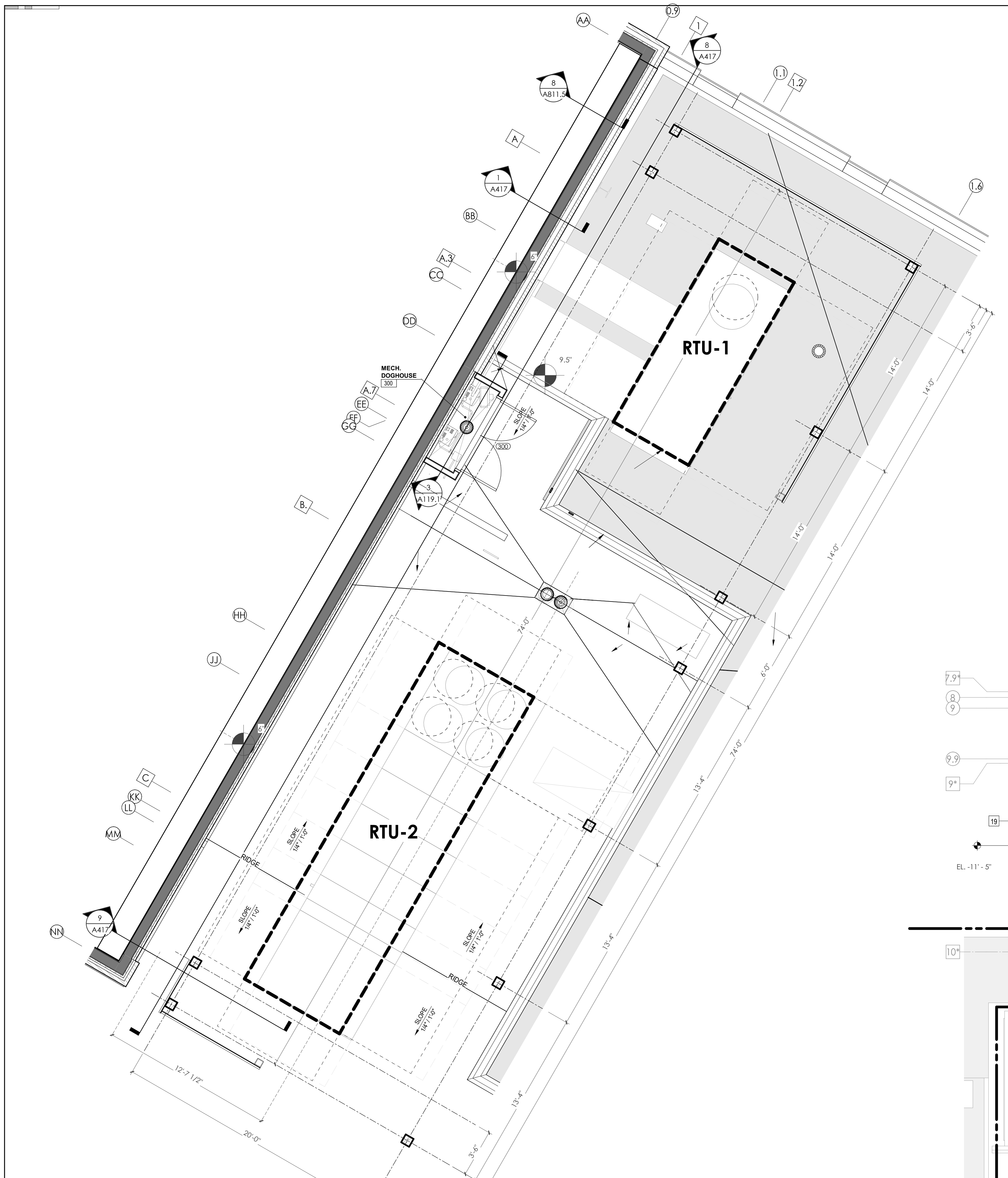
ABBREVIATIONS

'RD'	ROOF DRAIN	'ERD'	EXISTING ROOF DRAIN
'OD'	OVERFLOW DRAIN	'OS'	OVERFLOW SCUPPER

ROOF DRAIN SET @ +6" ABOVE ROOF DECK (ASSUMES R-5/IN (R-30 MIN))

KEYNOTE - ROOF PLAN

Tag	Text
1	EXISTING PARAPET & COPING TO REMAIN
2	NEW PARAPET WITH PREFINISHED METAL COPING TO MEET SPRI ES-1 STANDARD
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15	NEW ROOF HATCH W/ ACCESS SHIPS LADDER BELOW
16	PROVIDE NEW SAFETY RAILS AROUND EXISTING ROOF HATCH TO REMAIN - 1/1"
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2 CA RTU SCREEN ENLARGED PLAN 1/4" = 1'-0"
 3 MECHANICAL DOGHOUSE SECTION 3/4" = 1'-0"
 4 DOGHOUSE CORNER DTL 3" = 1'-0"
 SHEET - CENTRAL ANNEX - ROOF PLAN A 1/8" = 1'-0"



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PA:	LAUREN BUSH /
Drawn By:	CW
Checked By:	BP

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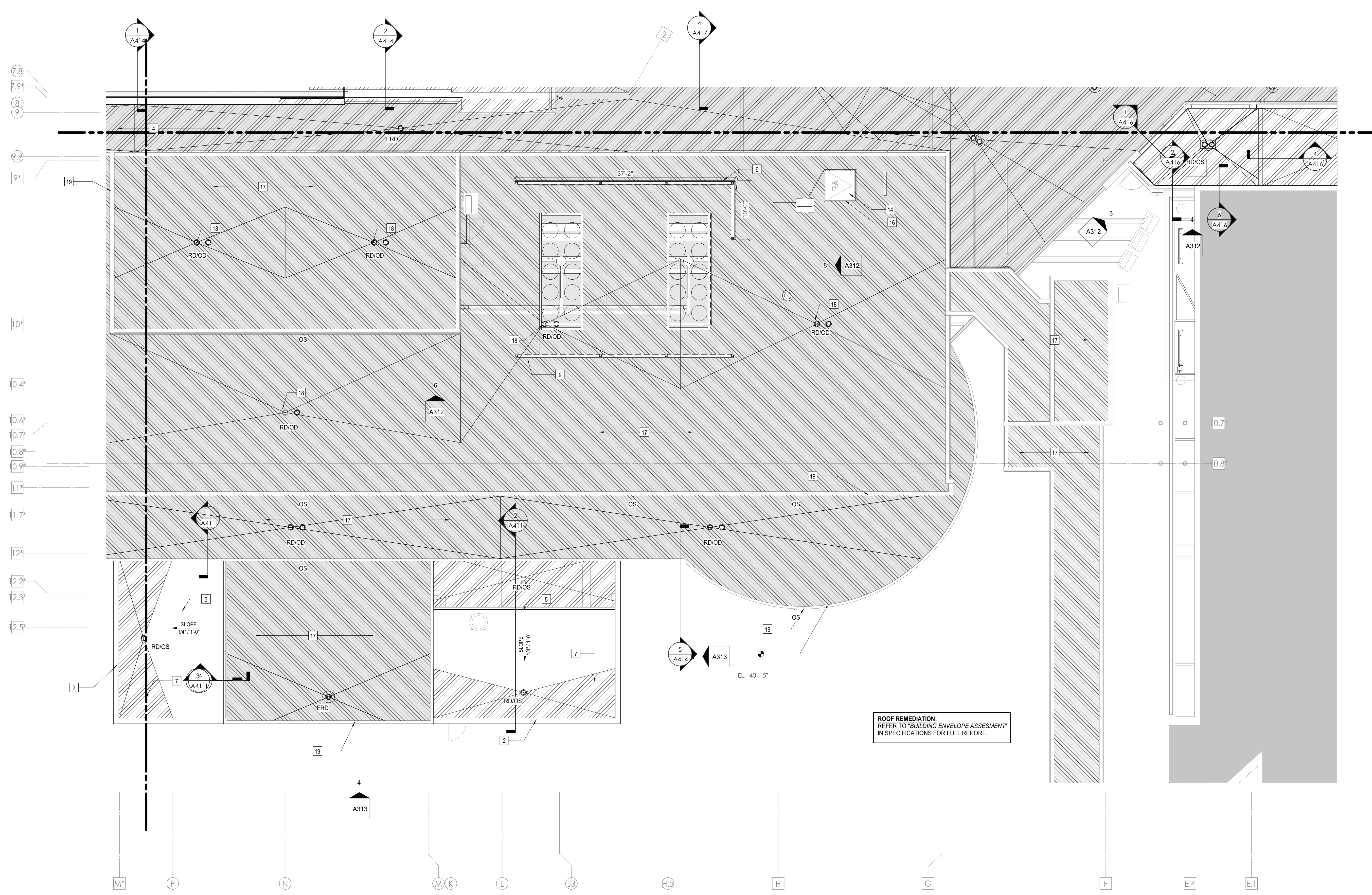
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CA - ROOF PLAN B

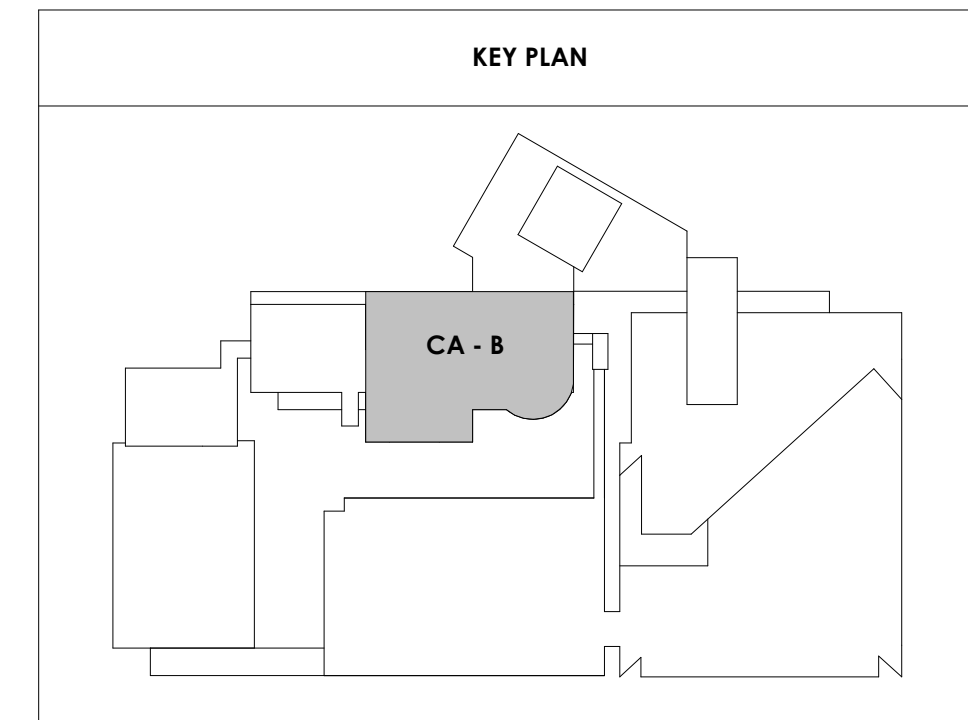
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ROOF PLAN LEGEND	
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ABBREVIATIONS	
'RD'	ROOF DRAIN
'ERD'	EXISTING ROOF DRAIN
'OD'	OVERFLOW DRAIN
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	ROOF DRAIN SET @ +6" ABOVE ROOF DECK (ASSUMES R-5/IN (R-30 MIN))

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ROOF REMEDIATION:
REFER TO "BUILDING ENVELOPE ASSESSMENT" IN SPECIFICATIONS FOR FULL REPORT.





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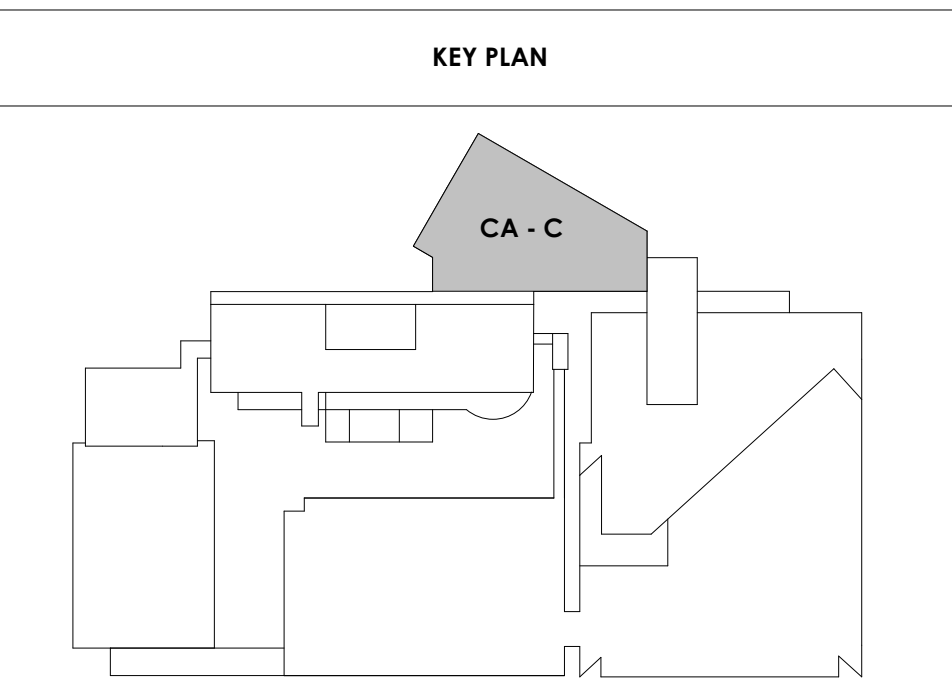
A119.3

CA - ROOF PLAN C

ROOF PLAN LEGEND	
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ROOF REMEDIATION:
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1 SHEET - CENTRAL ANNEX - ROOF PLAN C
A119.3 1/8" = 1'-0"

2/24/2021 5:02:16 PM



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

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Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: TONY M
Checked By: BP

Drawing Info:

A120.3

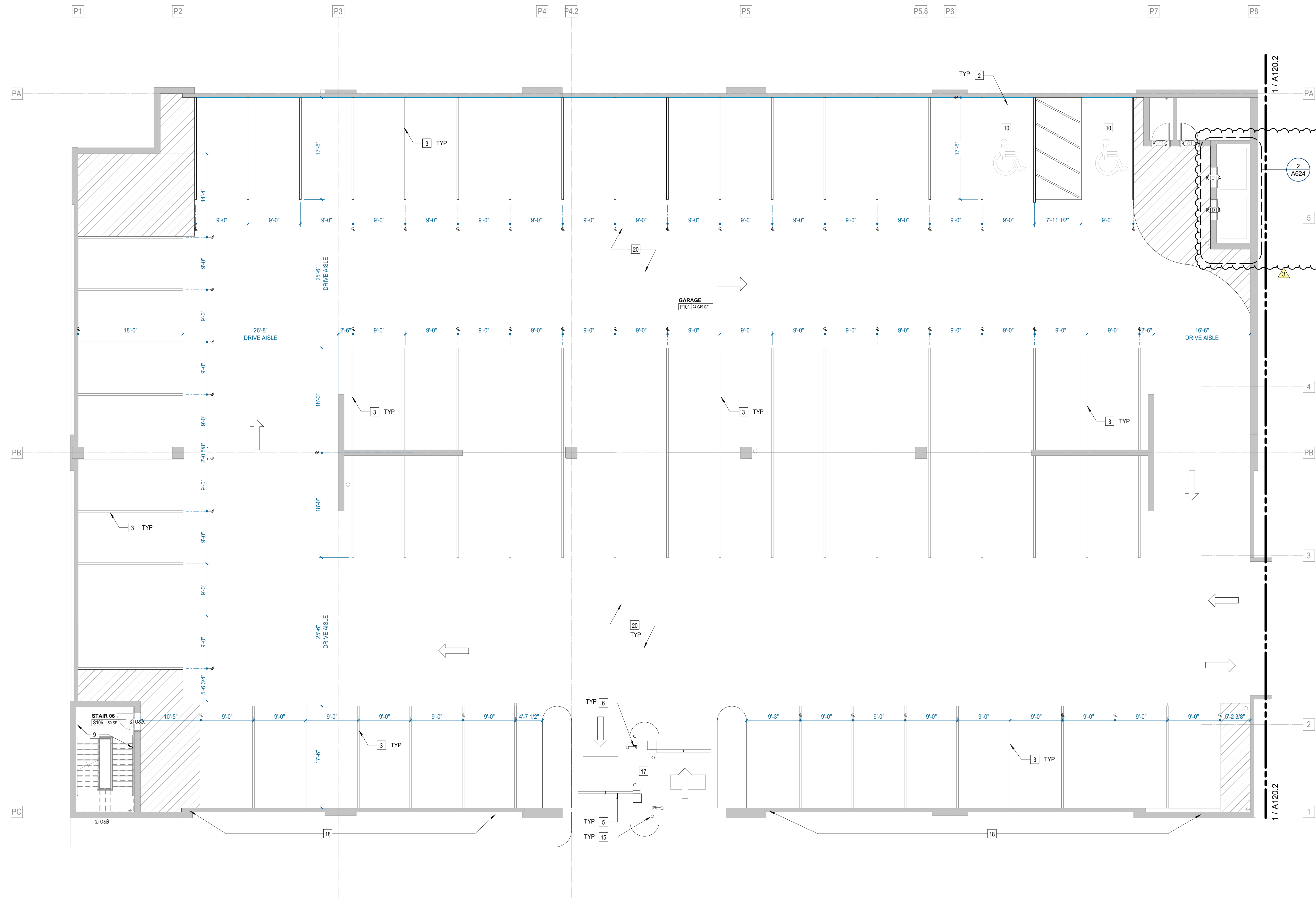
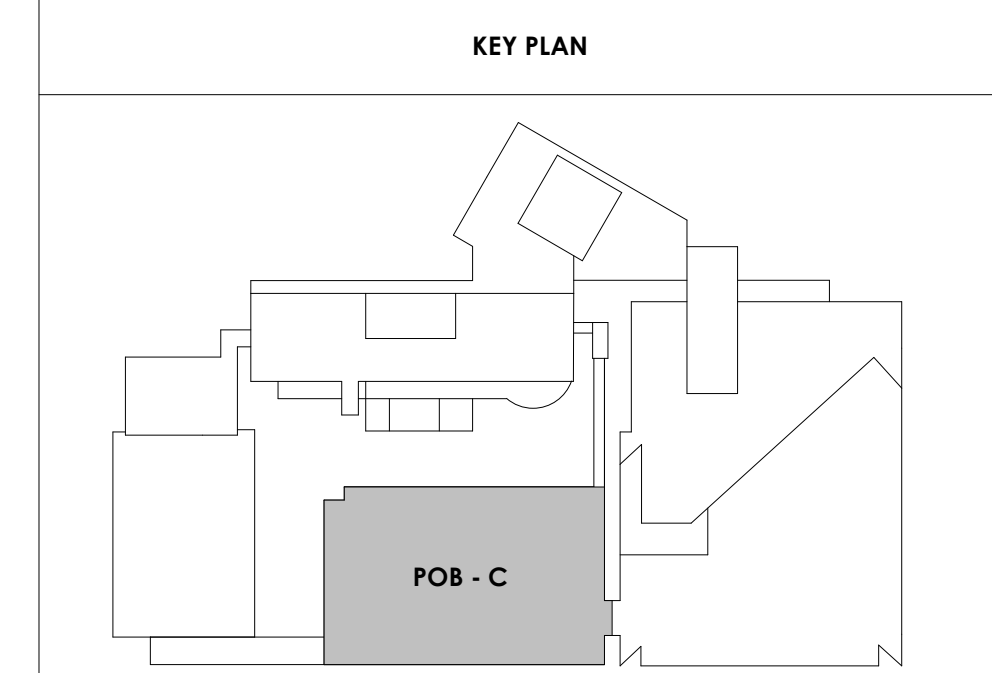
POB - PARKING LEVEL
P1 C FLOOR PLAN

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

Keynotes - Parking Garage	
TAG	TEXT
1	FULL HEIGHT SECURITY FENCING AND GATE. SEE SHEET AS420 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2	PROVIDE WHEEL STOPS AT ACCESSIBLE PARKING LOCATIONS.
3	NEW PARKING LOT STRIPING.
4	PROVIDE NEW HANDRAILS, GUARDRAILS AND EGRESS STAIR ILLUMINATION. PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN.
5	NEW OWNER PROVIDED FOLDING ARM. SEE ELECTRICAL & TELECOMMUNICATIONS PLANS FOR CONDUIT/POWER REQUIREMENTS.
6	NEW BADGE IN ACCESS READER. SEE SHEET AS420 AND ELECTRICAL FOR ADDITIONAL INFO.
7	EXISTING ELEVATOR TO BE REFURBISHED AS REQUIRED-SEE ELEVATOR PLANS & DETAILS SHEET A625 FOR INFO.
8	EXISTING ELEVATOR TO BE REPLACED - VERIFY CONDITION & REQ'S WITH ELEVATOR CONTRACTOR FOR COMPLETE REPLACEMENT.
9	PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN.
10	RESTRIP PARKING TO ACCOMMODATE FOR ACCESSIBLE PARKING SPACES SHOWN. REFER TO CIVIL FOR ADA SIGNAGE AND PARKING SYMBOLS.
11	BIKE RACK STORAGE. N.I.C. OWNER PURCHASED OWNER INSTALLED.
12	RELOCATED GENERATOR, REFER TO ELECTRICAL AND STRUCTURAL SHEETS FOR COORDINATION OF HOUSEKEEPING PAD.
13	REMOVE EXISTING STRIPING AND PREP FOR NEW STRIPING LAYOUT.
14	FULL HEIGHT CHAIN LINK FENCE AND FENCE TOP. SEE SPECIFICATIONS FOR INFO.
15	EXISTING BOLLARDS. TYP. CONTRACTOR TO PROVIDE NEW PAINT.
16	PAINT NEW SAFETY STRIPING FOR NEW DRIVE PATH AND VOIDED PARKING SPOTS.
17	PAINTING OF CURB SAFETY STRIPING FOR ALL ENTRANCES AND EXIT DRIVE PATH, TO BE EVALUATED AND DETERMINED BY ARCHITECT.
18	INFILL OPEN WINDOWS LOCATIONS ON LOWER LEVEL ONLY, WITH WIRE MESH FENCING.
19	NEW SAFETY STEEL BOLLARDS ATTACHED TO CONC. DECK. COMPLY TO ALL APPLICABLE CODES. REFER TO STRUCT AND SPECIFICATIONS FOR INFO.
20	REPAINT ALL COLUMN GRAPHICS WITH NEW UPDATED COLOR AND FONT. COLOR TO BE DETERMINED BY ARCHITECT.
21	RESERVED COURT STAFF PARKING.
22	RESERVED PENSION STAFF PARKING.
23	CHAIN LINK FENCE TO ENCLOSE TOP AND ALL SIDES OF GENERATOR. SIZE OF FENCING TO BE DETERMINED AFTER INSTALLATION OF EQUIPMENT. SEE SHEET AS420 FOR ELEVATION.
24	HOUSE KEEPING PAD.

- PARKING GARAGE GENERAL NOTES**
- REMOVE ALL WHEEL STOPS PRIOR TO RESTRIPING.
 - REMOVE ALL EXISTING WALL MOUNTED HOSPITAL "BOX SIGNS" FROM GARAGE LEVELS, PATCH WALLS AND CAP ALL ELECTRICAL.
 - REMOVE ALL EXISTING LEVEL SIGNAGE MARKERS ON DOORS TO BE REPLACED WITH NEW PAINTED GRAPHICS. SEE DETAIL 10/A624.1 FOR TYPICAL DOOR GRAPHIC.
 - REPAINT EXISTING PARKING GARAGE COLUMN LEVEL MARKERS - PAINT COLORS AND FONTS TO BE APPROVED BY ARCHITECT PRIOR TO IMPLEMENTATION.



2/24/2021 4:25:46 PM
POB - PARKING LEVEL P1 C
A120.3
1/8" = 1'-0"



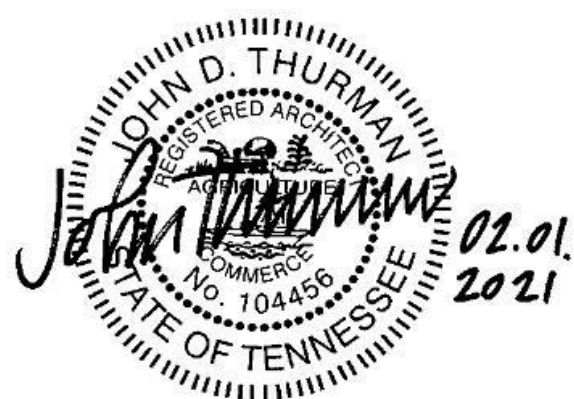
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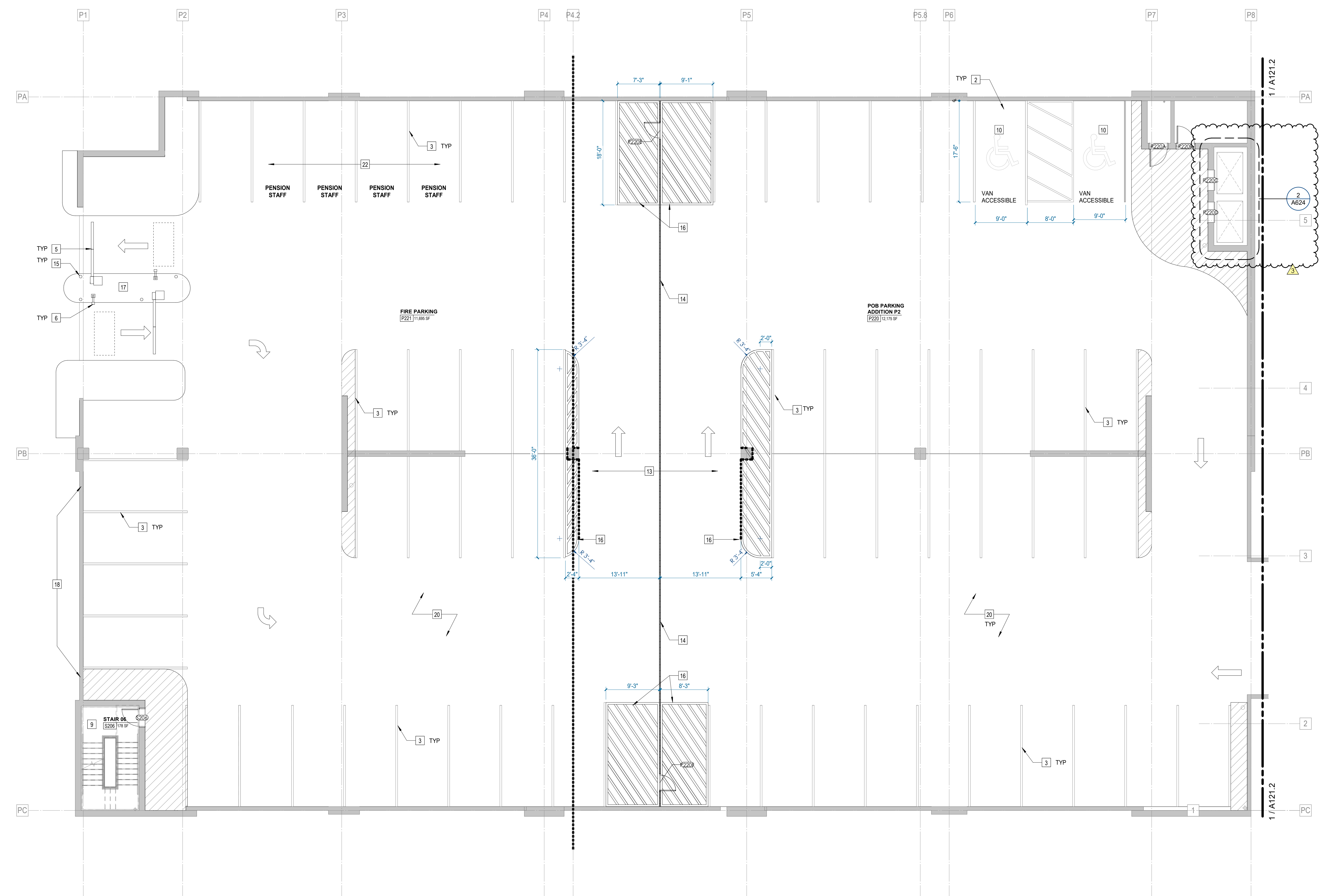
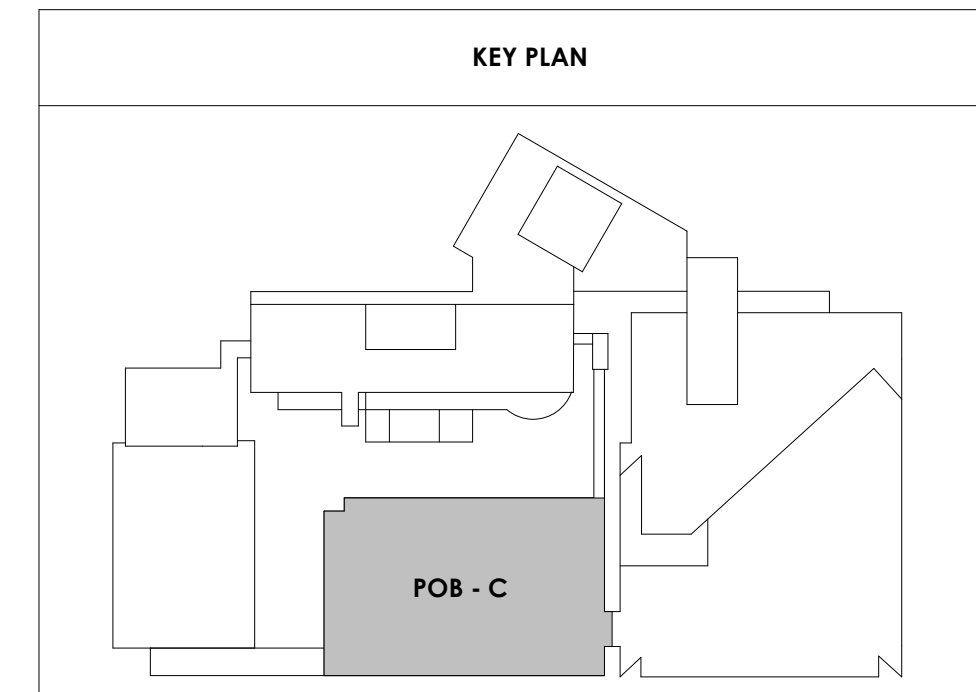
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POB - PARKING LEVEL
P2 C FLOOR PLAN

WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
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18	INFILL OPEN WINDOWS LOCATIONS ON LOWER LEVEL ONLY, WITH WIRE MESH FENCING.
19	NEW SAFETY STEEL BOLLARDS ATTACHED TO CONC. DECK. COMPLY TO ALL APPLICABLE CODES. REFER TO STRUCT AND SPECIFICATIONS FOR INFO.
20	REPAINT ALL COLUMN GRAPHICS WITH NEW UPDATED COLOR AND FONT. COLOR TO BE DETERMINED BY ARCHITECT.
21	RESERVED COURT STAFF PARKING.
22	RESERVED PENSION STAFF PARKING.
23	CHAIN LINK FENCE TO ENCLOSE TOP AND ALL SIDES OF GENERATOR. SIZE OF FENCING TO BE DETERMINED AFTER INSTALLATION OF EQUIPMENT. SEE SHEET AS420 FOR ELEVATION.
24	HOUSE KEEPING PAD.

- PARKING GARAGE GENERAL NOTES**
- REMOVE ALL WHEEL STOPS PRIOR TO RESTRIPIING.
 - REMOVE ALL EXISTING WALL MOUNTED HOSPITAL "BOX SIGNS" FROM GARAGE LEVELS. PATCH WALLS AND CAP ALL ELECTRICAL.
 - REMOVE ALL EXISTING LEVEL SIGNAGE MARKERS ON DOORS TO BE REPLACED WITH NEW PAINTED GRAPHICS. SEE DETAIL 10/A624.1 FOR TYPICAL DOOR GRAPHIC.
 - REPAINT EXISTING PARKING GARAGE COLUMN LEVEL MARKERS - PAINT COLORS AND FONTS TO BE APPROVED BY ARCHITECT PRIOR TO IMPLEMENTATION.



1
A121.3
POB - PARKING LEVEL P2 C
1/8" = 1'-0"

2/24/2021 4:26:47 PM



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
2	ADD #02.1	02/17/21
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	TONY M
Checked By:	BP

Drawing Info:

A122.3

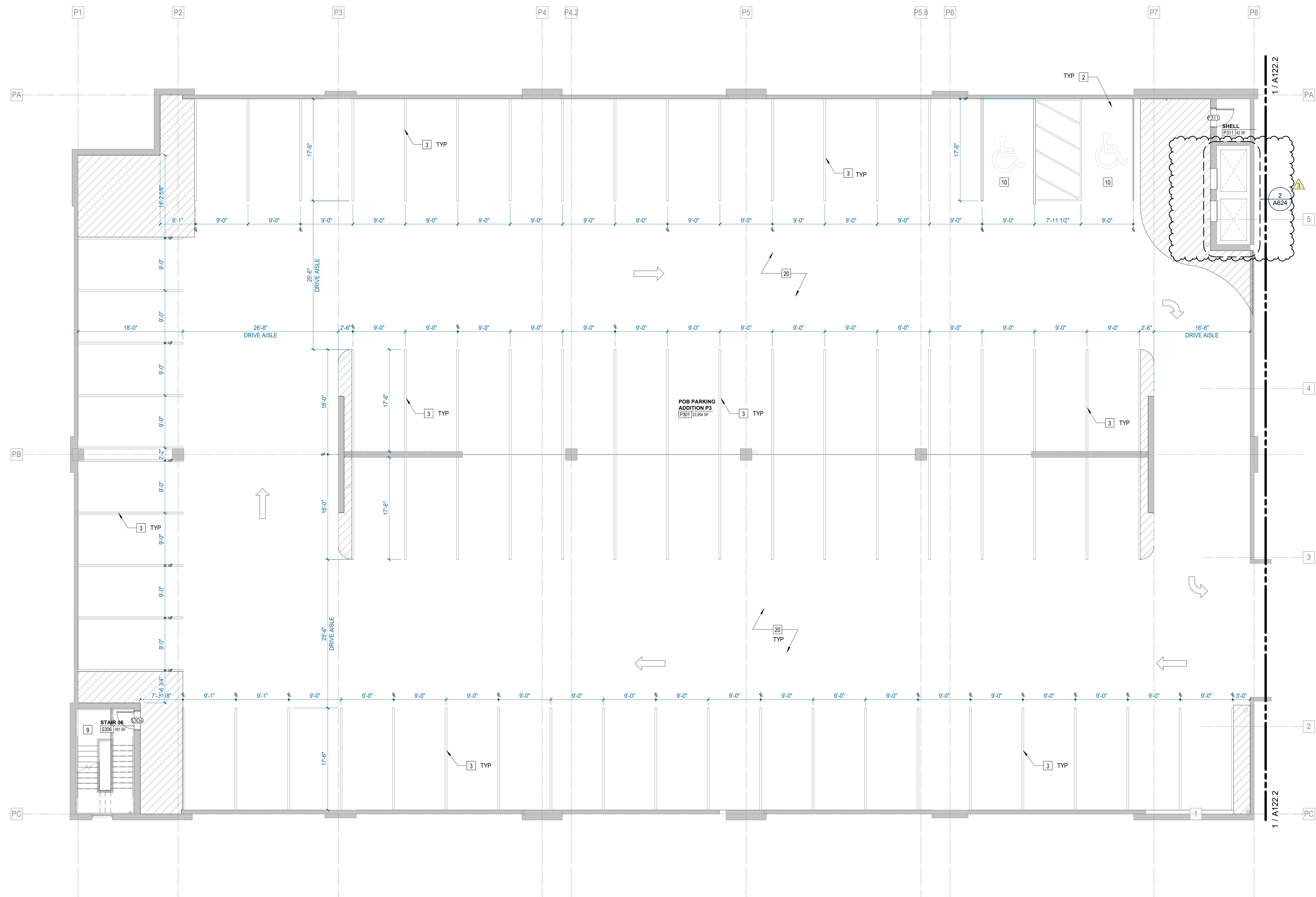
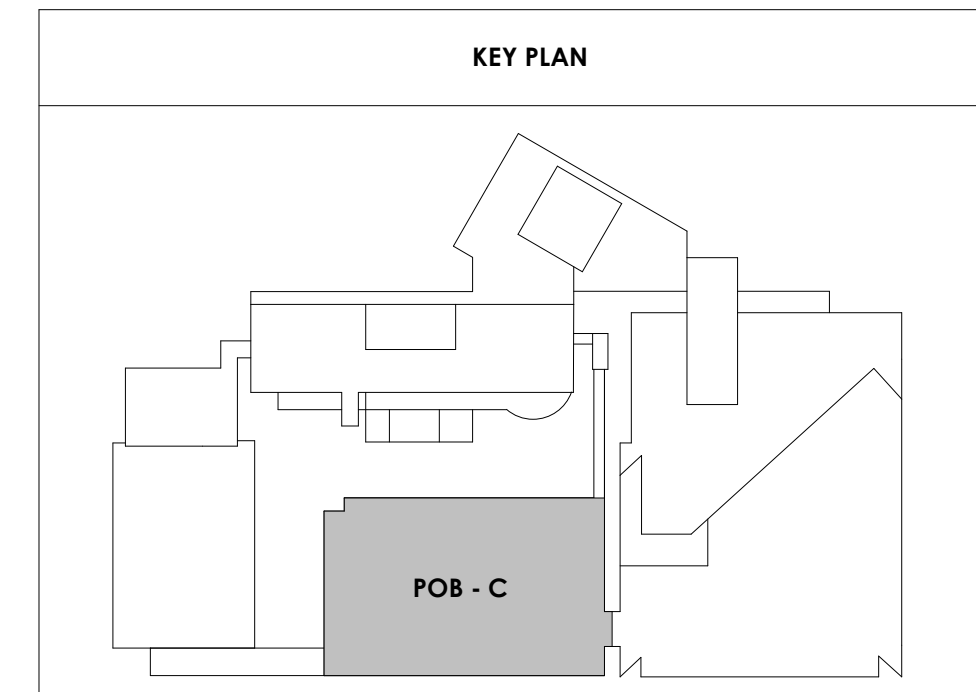
POB - PARKING LEVEL
P3 C FLOOR PLAN

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

Keynotes - Parking Garage	
TAG	TEXT
1	FULL HEIGHT SECURITY FENCING AND GATE. SEE SHEET AS420 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2	PROVIDE WHEEL STOPS AT ACCESSIBLE PARKING LOCATIONS.
3	NEW PARKING LOT STRIPING.
4	PROVIDE NEW HANDRAILS, GUARDRAILS AND EGRESS STAIR ILLUMINATION. PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN.
5	NEW OWNER PROVIDED FOLDING ARM. SEE ELECTRICAL & TELECOMMUNICATIONS PLANS FOR CONDUIT/POWER REQUIREMENTS.
6	NEW BADGE IN ACCESS READER. SEE SHEET AS420 AND ELECTRICAL FOR ADDITIONAL INFO.
7	EXISTING ELEVATOR TO BE REFURBISHED AS REQUIRED-SEE ELEVATOR PLANS & DETAILS SHEET A625 FOR INFO.
8	EXISTING ELEVATOR TO BE REPLACED - VERIFY CONDITION & REQ'S WITH ELEVATOR CONTRACTOR FOR COMPLETE REPLACEMENT.
9	PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN.
10	RESTRIPING PARKING TO ACCOMMODATE FOR ACCESSIBLE PARKING SPACES SHOWN. REFER TO CIVIL FOR ADA SIGNAGE AND PARKING SYMBOLS.
11	BIKE RACK STORAGE. N.I.C. OWNER PURCHASED OWNER INSTALLED.
12	RELOCATED GENERATOR, REFER TO ELECTRICAL AND STRUCTURAL SHEETS FOR COORDINATION OF HOUSEKEEPING PAD.
13	REMOVE EXISTING STRIPING AND PREP FOR NEW STRIPING LAYOUT.
14	FULL HEIGHT CHAIN LINK FENCE AND FENCE TOP. SEE SPECIFICATIONS FOR INFO.
15	EXISTING BOLLARDS. TYP. CONTRACTOR TO PROVIDE NEW PAINT.
16	PAINT NEW SAFETY STRIPING FOR NEW DRIVE PATH AND VOIDED PARKING SPOTS.
17	PAINING OF CURB SAFETY STRIPING FOR ALL ENTRANCES AND EXIT DRIVE PATH. TO BE EVALUATED AND DETERMINED BY ARCHITECT.
18	INFILL OPEN WINDOWS LOCATIONS ON LOWER LEVEL ONLY, WITH WIRE MESH FENCINGS.
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1 POB - PARKING LEVEL P3 C
A122.3
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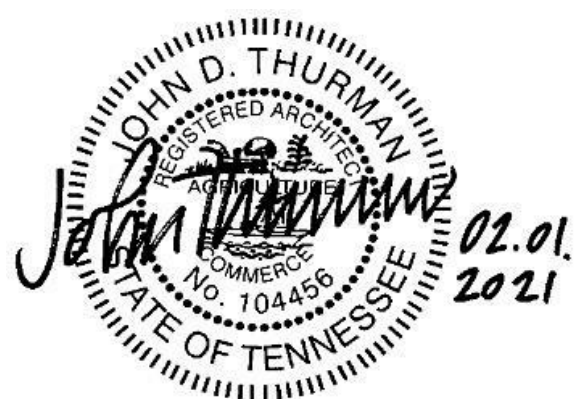
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Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: TONY M
 Checked By: BP

Drawing Info:

A123.3

POB - PARKING LEVEL
P4 C FLOOR PLAN

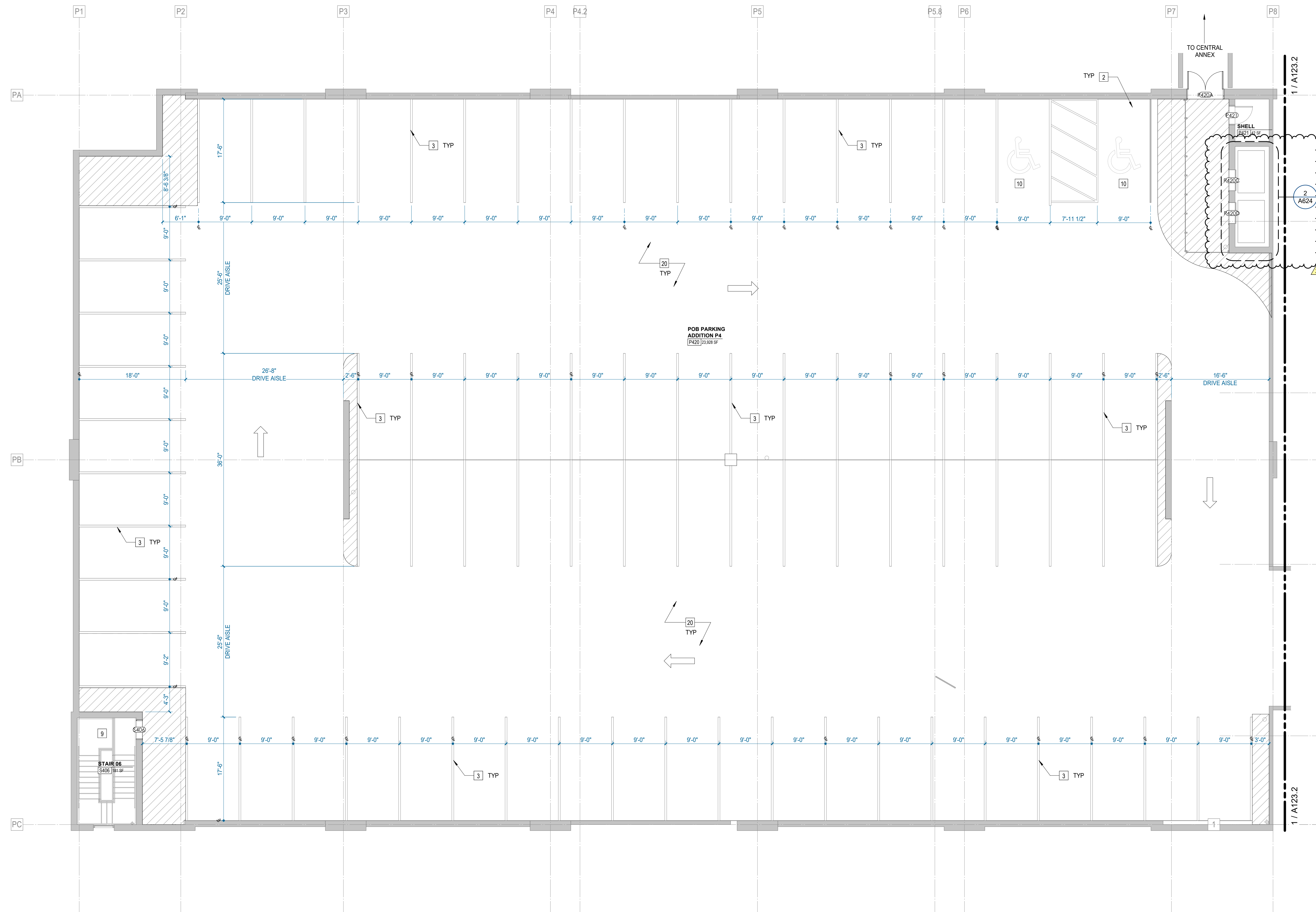
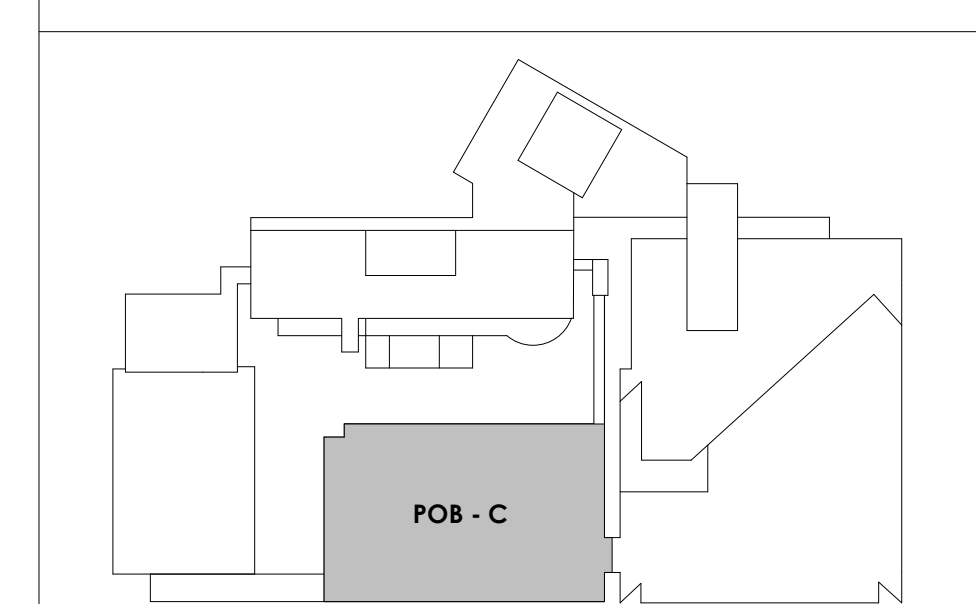
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 4. REPAINT EXISTING PARKING GARAGE COLUMN LEVEL MARKERS - PAINT COLORS AND FONTS TO BE APPROVED BY ARCHITECT PRIOR TO IMPLEMENTATION.

KEY PLAN



1 POB - PARKING LEVEL P4 C
 A123.3
 1/8" = 1'-0"

2/24/2021 4:26:51 PM



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19018

COK SAFETY BUILDING

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Consultant:

Architects Design Group

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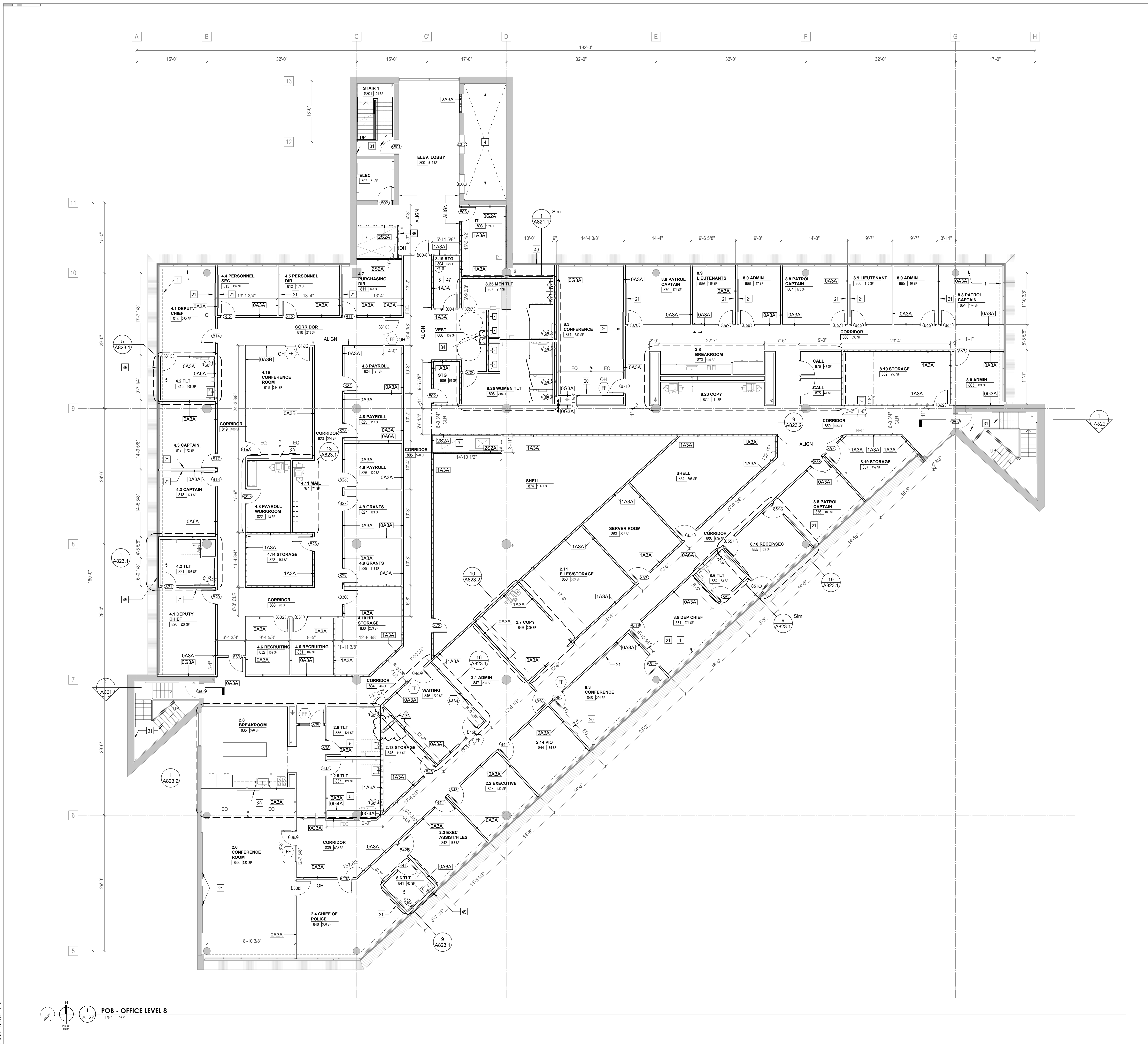
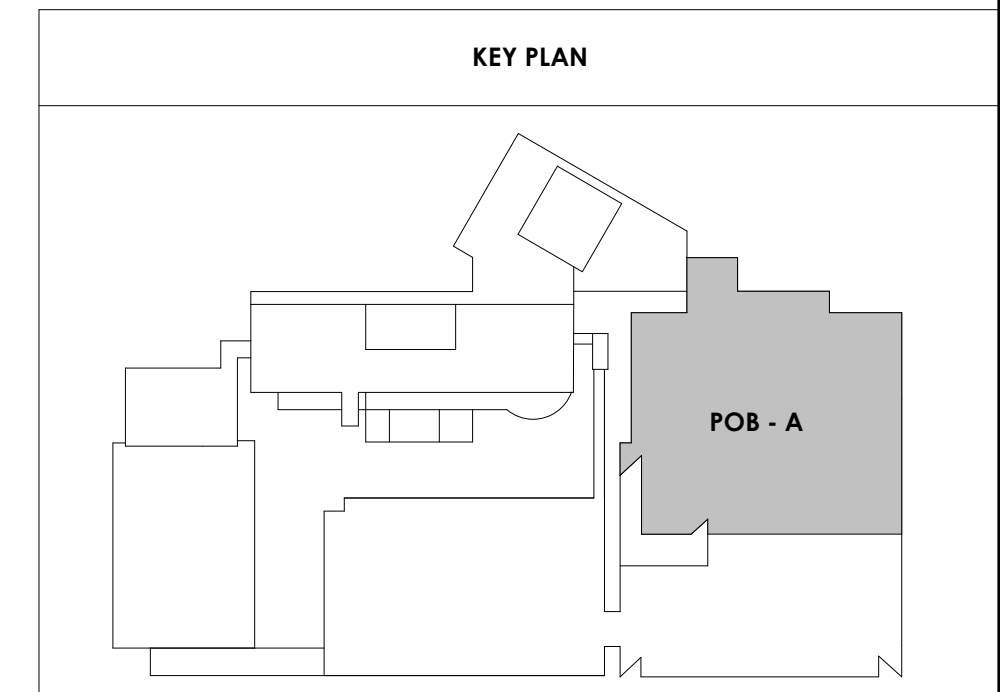
Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH / M LABBE
 Drawn By: M LABBE
 Checked By: BP
 Drawing Info:

A127

POB - OFFICE LEVEL 8
FLOOR PLAN

WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

KEYNOTE - FLOOR PLAN	
TAG	TEXT
1	SOFFIT ABOVE (DASHED)
2	EXISTING EGRESS STAIR TO REMAIN - PREP & PAINT EXISTING HANDRAILS, STAIR & WALLS TO REMAIN
3	EXISTING ELEVATOR TO BE MODIFIED/REPLACED AS REQUIRED TO REACH ALL FOUR (4) FLOORS. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
4	EXISTING ELEVATOR - REFURBISH EQUIPMENT & CONTROLS. NEW FINISHES TO INTERIOR OF CAR AS REQ'D. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
5	NEW FLOOR DRAIN - REFER TO PLUMBING
6	SHADED AREA DENOTES NEW CONCRETE SLAB - REFER TO STRUC.
7	BALLISTIC LEVEL 3 RATING AND GLAZING - 8'-0" AFF MIN.
8	MOBILE VEHICLE LIFT
9	OVERHEAD COLING DOOR
10	OWNER PROVIDED WOOD PEW SEATING - N.I.C.
11	OWNER PROVIDED 36" DEEP OPEN SHELVING - N.I.C.
12	18" X 24" X 72" HEAVY DUTY LOCKER WITH DRAWER/BENCH (TYPE 1)
13	18" X 24" X 72" HEAVY DUTY THREE TIER LOCKERS (TYPE 2)
14	NEW PASS THRU LOCKERS - TYPE 3
15	RECESSED SIDE ARMS LOCKERS (ONE FOUR DOOR UNIT AT EACH DOOR)
16	PUBLIC WEAPONS STG LOCKERS - TABLET PHONE WALL LOCKERS WITH 12 DOORS (TYPE 5)
17	CANOPY ABOVE (DASHED)
18	OWNER PROVIDED SYSTEMS FURNITURE - N.I.C.
19	OWNER PROVIDED COPIER - N.I.C.
20	PROVIDE REQ. BLOCKING FOR LOCATIONS WHERE WALL MOUNTED TV MONITORS ARE LOCATED. REFER TO EQUIPMENT PLANS FOR LOCATIONS
21	PROVIDE REQ. BLOCKING FOR ALL MARKER BOARD LOCATIONS
22	KNOX BOX (RECESSED)
23	RECESSED CELL PHONE LOCKERS TO MATCH METAL WALL PANEL
24	METAL DETECTOR ENTRY SECURITY
25	MOP SINK - SEE PLUMBING
26	18" DEEP BOOKSHELVES
27	12" DEEP COUNTERS ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
28	24" DEEP COUNTERS ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
29	30" DEEP COUNTERS ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
30	18" DEEP COUNTERS ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
31	PROVIDE NEW HANDRAILS, GUARDRAILS AND EGRESS STAIR ILLUMINATION. PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN
32	OPERABLE FOLDING PARTITION WITH EGRESS DOORS
33	NEW DROP BOX
34	HIGH LOW WATER COOLER
35	OWNER PROVIDED HIGH DENSITY MOBILE STORAGE SYSTEM AND OVERSLAB RAILS
36	6" DEEP SHELF
37	ABANDON EXISTING ELEVATOR
38	EXISTING FULL HEIGHT SPANREL PANEL
39	TWO-WAY COMMUNICATOR (BLACK FINISH), PROVIDE CUTSHEET AND VERIFY COLOR SELECTION WITH MFR PRIOR TO PURCHASE - BASIS OF DESIGN AULTUS BY C.R. LAURENCE
40	OWNER PROVIDED REFRIGERATOR, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
41	OWNER PROVIDED REFRIGERATOR UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
42	OWNER PROVIDED BLUNN COFFEE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
43	OWNER PROVIDED MICROWAVE UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
44	OWNER PROVIDED UNDERCOUNTER DISHWASHER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
45	OWNER PROVIDED COOKTOP AND HOOD, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
46	OWNER PROVIDED ICE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
47	NEW WATER HEATER - SEE PLUMBING
48	WALL MOUNTED MOP & BROOM HOLDER
49	APPLY TRANSLUCENT FILM TO INSIDE FACE OF GLAZING
50	IMPACT RESISTANT STEEL BOLLARD - GENERAL LOCATION SHOWN, COORDINATE LOCATION IN FIELD
51	NEW CONCRETE RAMP, SEE SITE DETAILS AS400 & STRUCTURAL DRAWINGS FOR INFO.
52	NEW SHOOTING RANGE, SEE SHOOTING RANGE PLANS A108 FOR INFO.
53	PROVIDE WHEEL STOPS AT ACCESSIBLE PARKING LOCATIONS
54	NEW FOLDING ARM, SEE ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
55	NEW BADGE IN ACCESS READER, SEE SHEET AS120 AND ELECTRICAL FOR ADDITIONAL INFORMATION
56	RESTRIPE PARKING TO ACCOMMODATE FOR ACCESSIBLE PARKING SPACES SHOWN. REFER TO CIVIL FOR ADA SIGNAGE AND PARKING SYMBOLS
57	NEW TRENCH DRAIN - SEE PLUMBING
58	NEW HOSE BIB - SEE PLUMBING
59	EYE WASH - SEE PLUMBING
60	1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 1) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
61	1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 2) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
62	1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 3) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
63	1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 4) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
64	1" FLUSH WALL CEILING TO WALL 2 HR EXPANSION JOINT (TYPE 5) TO MATCH ADJACENT PAINT COLOR - SEE STRUC AND DETAILS ON A111.2
65	1" EXPANSION JOINT (TYPE 6) TO MATCH ADJACENT BRICK - SEE STRUC AND DETAILS
66	ADA PUSH BUTTON
67	FLOOR BOX - VERIFY FINAL LOCATION PRIOR TO INSTALLATION W/ ARCHITECT, COORDINATE W/ SYSTEMS FURNITURE - SEE ELECTRICAL.
68	OWNER PROVIDED VENDING MACHINE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
69	CEILING MOUNTED TV, PROVIDE NECESSARY MOUNTING HARDWARE - SEE ELECTRICAL AND TELECOMMUNICATIONS
70	OWNER PROVIDED MICROWAVE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
71	24" DEEP STAINLESS PASS THROUGH COUNTER INSTALLED 34" A.F.F. SEE ENLARGED PLANS FOR INFO.



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POB - OFFICE LEVEL 8
 1/8" = 1'-0"



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PA: LAUREN BUSH /
Drawn By: M LABBE
Checked By: BP

Drawing Info:

A129

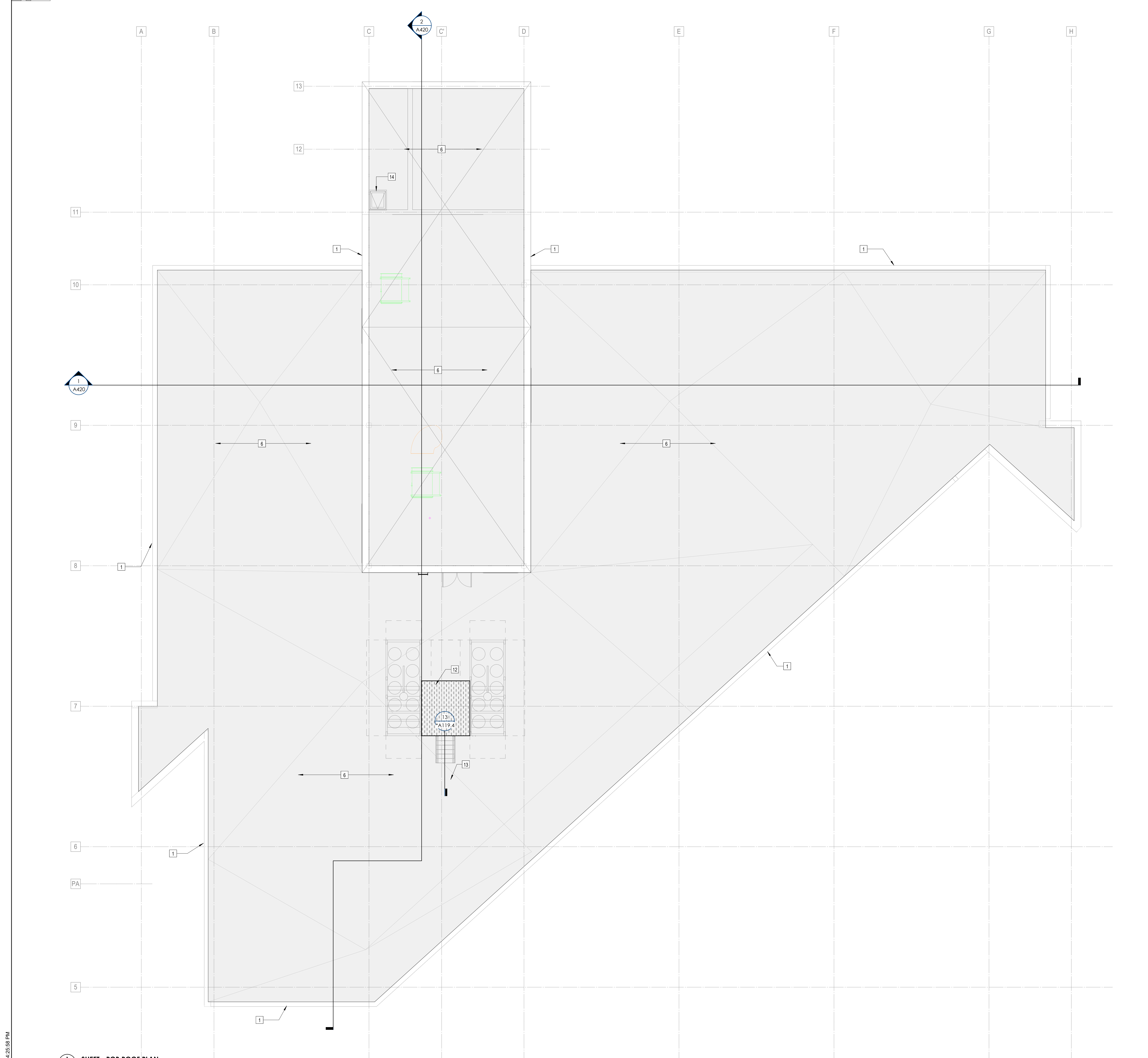
POB - ROOF PLAN

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ROOF PLAN LEGEND	
GRAPHICS	
	EXISTING ROOF ASSEMBLY TO REMAIN
	NEW ROOF ASSEMBLY** ON EXIST. FLAT STRUCT. - SLOPE INSUL TO DRAINS AS SHOWN - 1 HR FIRE RATING
	NEW ROOF ASSEMBLY** ON NEW SLOPED STRUCT. - 1 HR FIRE RATING
	NEW ROOF ASSEMBLY** ON NEW FLAT STRUCT. - SLOPE INSUL TO DRAINS AS SHOWN - 1 HR FIRE RATING
	WALKPADS
	** 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD OVER CONT. R-30 (MIN) RIGID INSUL.
ABBREVIATIONS	
'RD'	ROOF DRAIN
'ERD'	EXISTING ROOF DRAIN
'OD'	OVERFLOW DRAIN
'OS'	OVERFLOW SCUPPER
ROOF DRAIN VALLEY SET @ 6" ABOVE ROOF DECK (ASSUMES R-6IN (R-30 MIN))	

KEYNOTE - ROOF PLAN	
Tag	Text
1	EXISTING PARAPET & COPING TO REMAIN
2	NEW PARAPET WITH PREFINISHED METAL COPING TO MEET SPRI ES-1 STANDARD
3	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON NEW FLAT STRUCTURE - 1 HR FIRE RATING
4	REMOVE EXISTING ROOF SYSTEM TO DECK AND PROVIDE NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING
5	NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON NEW SLOPED STRUCTURE - 1 HR FIRE RATING
6	EXISTING ROOFING TO REMAIN - PATCH AND REPAIR AS REQUIRED FOR NEW PENETRATIONS
7	NEW POLYISO INSULATION CRICKET, SLOPED MIN. 1/4" PER 1'-0" TOWARDS ROOF DRAIN
8	EXIST. ROOF DRAIN TO BE ABANDONED - SEE STRUC. INFILL DTL
9	NEW SCREEN AROUND ROOFTOP MECHANICAL UNIT
10	EXISTING WALKING PADS
11	NEW WALKING PADS AT NEW ROOF TOP EQUIPMENT
12	ELEVATED METAL GRATE AT ROOF TOP CHILLERS
13	4" WIDE PREMANUF. METAL GRATE STAIR W/ HANDRAIL UP TO CHILLER PLATFORM MOUNTED ON ISOLATION PADS
14	EXISTING ROOF HATCH TO REMAIN - VERIFY LOCATION IN FIELD
15	NEW ROOF HATCH W/ ACCESS SHIPS LADDER BELOW
16	PROVIDE NEW SAFETY RAILS AROUND EXISTING ROOF HATCH TO REMAIN - v.i.f.
17	REMOVE EXISTING ROOF SYSTEM TO DECK AND PROVIDE NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING
18	REPLACE EXISTING ROOF DRAIN WITH COMBINATION ROOF DRAIN/OVERFLOW DRAIN FIXTURES
19	REPLACE COPING AND FLASHING PER BUILDING ENVELOPE ASSESSMENT REPORTS WITH PREFINISHED METAL COPING TO MEET SPRI ES-1 STANDARD
20	REMOVE EXISTING ROOF SYSTEM TO DECK AND PROVIDE NEW 20-YEAR, FULLY ADHERED, 60 MIL TPO ROOF MEMBRANE OVER COVER BOARD AND CONTINUOUS R-30 POLYISO BUILT-UP INSULATION ON EXISTING FLAT STRUCTURE - 1 HR FIRE RATING

ROOF REMEDIATION:
REFER TO "BUILDING ENVELOPE ASSESSMENT" IN SPECIFICATIONS FOR FULL REPORT



2/24/2021 4:25:58 PM



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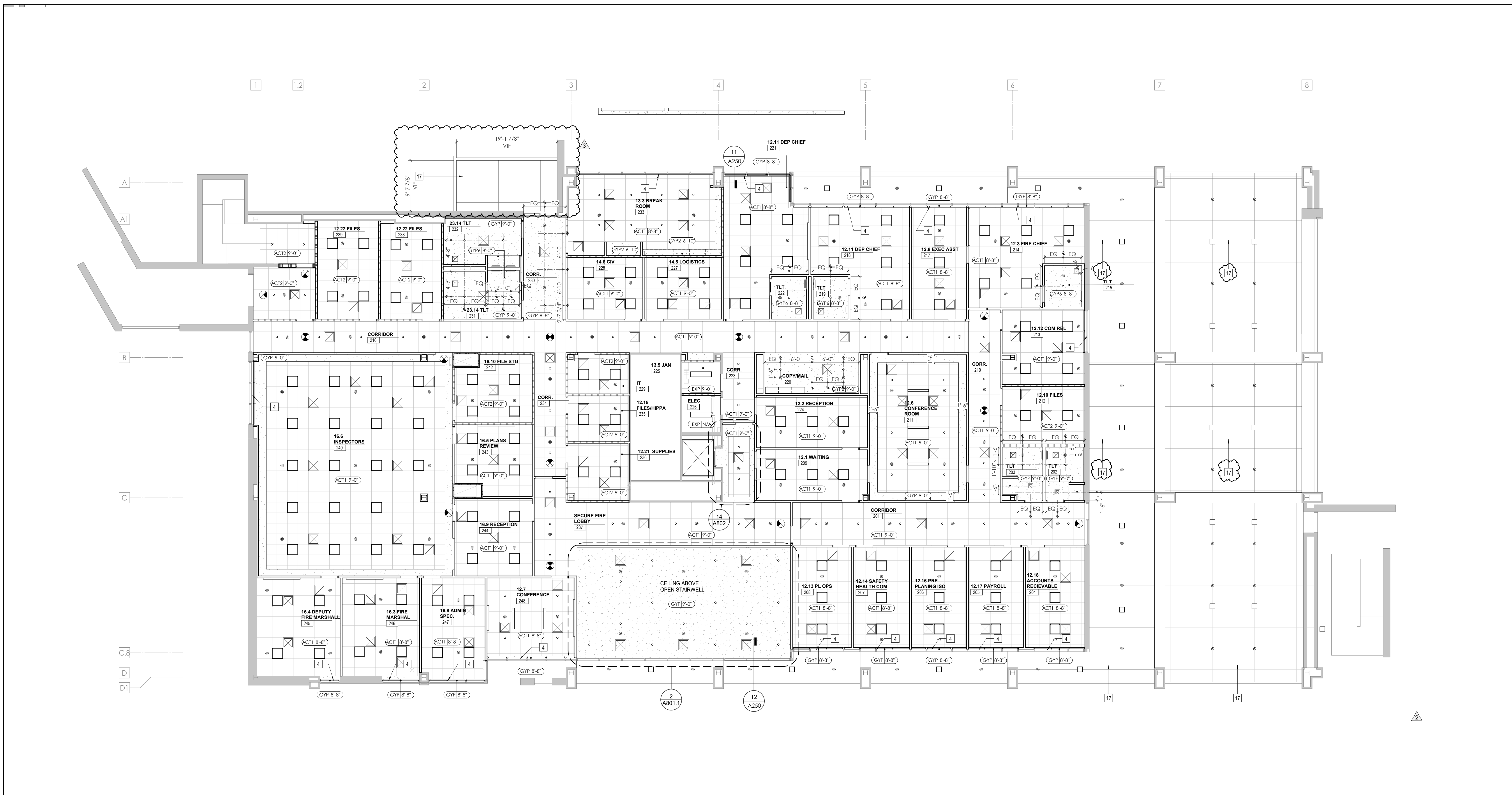
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 Drawn By: M LABBE
 Checked By: B. PIERCY

Drawing Info:

A202

WP - SECOND LEVEL REFLECTED CEILING PLAN



1 WP - SECOND LEVEL - REFLECTED CEILING PLAN
 A202 1/8" = 1'-0"

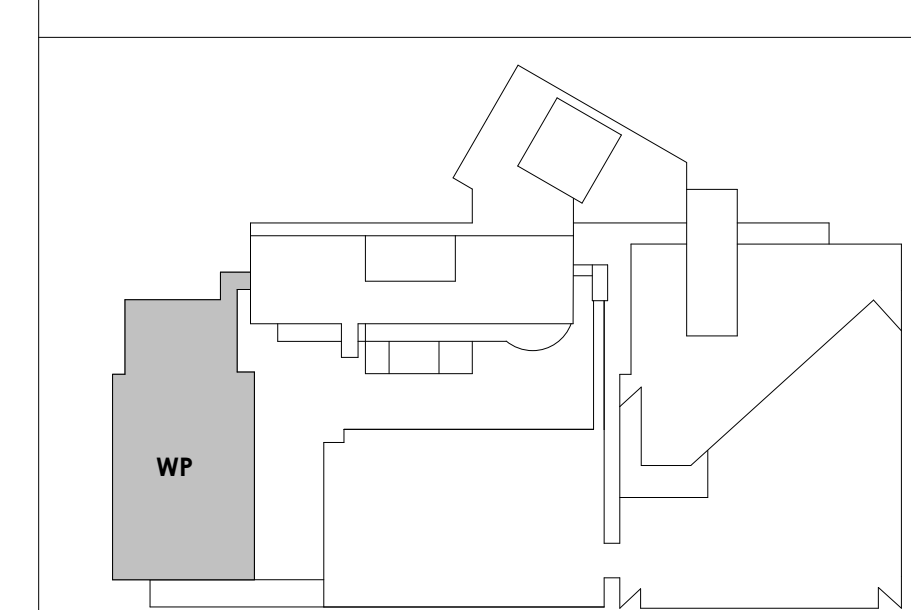
REFLECTED CEILING PLAN LEGEND



KEYNOTE - REFLECTED CEILING PLAN

Tag	Text
1	6" PREFINISHED ALUMINUM TRIM AT PERIMETER
2	6" INTEGRATED ALUMINUM TECHZONE CHANNEL - LIGHTING AND MECHANICAL SUPPLY/RETURN
3	OPERABLE WALL PARTITION
4	ROLLER WINDOW SHADES AT ALL EXTERIOR WORKSPACE WINDOWS - TYP
5	GYP. BD. SOFFIT AT PERIMETER
6	6" PREFORMED ALUMINUM COVE REVEAL
7	1" PREFORMED ALUMINUM REVEAL
8	EXISTING LIGHT FIXTURES IN GARAGES TO REMAIN
9	LOCATION OF CLERESTORY WINDOWS ABOVE 9'-0" GYP. BD. SOFFIT.
10	EXISTING LIGHT FIXTURES TO BE REINSTALLED IN NEW CEILING TILE AND GRID - VERIFY EXISTING FIXTURE LOCATION IN FIELD
11	LOOKERS BELOW (DASHED)
12	NEW 3 5/8" METAL STUD & 5/8" WATER RESISTANT GYP. BD CEILING, WITH 1" MIN. RIGID INSULATION & WATERPROOF MEMBRANE IN PLENUM. CONTRACTOR TO VERIFY WATERTIGHT CONDITION UNDER PLUMBING.
13	PROVIDE NEW GYP BD SOFFIT ON EXISTING METAL STUD SOFFIT FRAMING TO REMAIN - VERIFY IN FIELD
14	BLACK OUT ROLLER WINDOW SHADES AT ALL EXTERIOR CLASSROOM WINDOWS - TYP
15	PATCH AND REPLACE EXISTING EIFS SOFFIT AS REQUIRED TO COMPLETE THE WORK
16	NEW MANUAL OVERHEAD COILING DOOR & FRAME, 45 MIN RATED.
17	REMOVE EXISTING EIFS SOFFIT AND PROVIDE NEW SUSPENDED EIFS SOFFIT WITH R-30 BATT INSULATION IN OVERHANG CAVITY

KEY PLAN





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

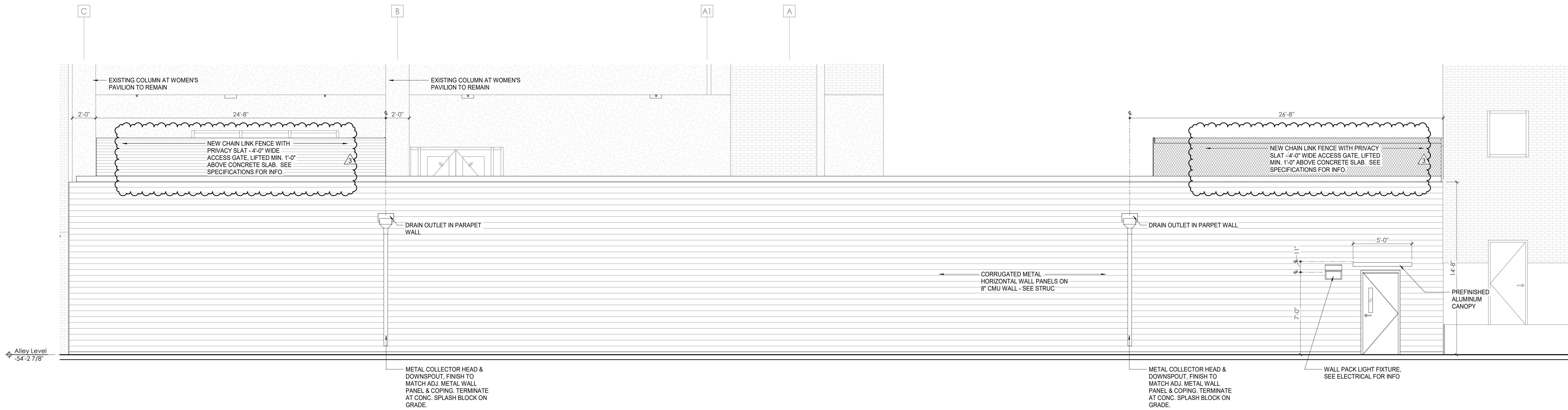
Issue Date:	FEBRUARY 1, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	B. PIERCY

Drawing Info:

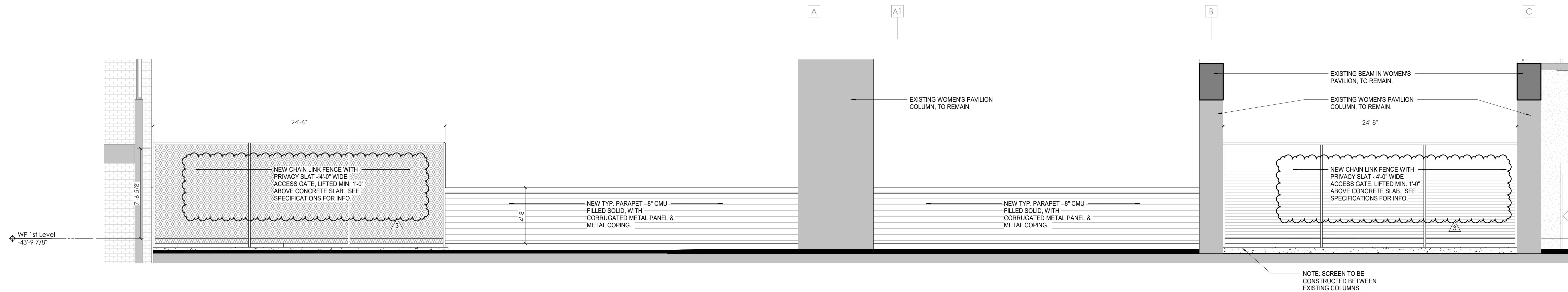
A302

WP - ALTERNATE 1
EXTERIOR
ELEVATIONS - RANGE

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1 BUILDING ELEVATION FROM ALLEY
1/4" = 1'-0"



2 BUILDING ELEVATION FROM WP PLAZA
1/4" = 1'-0"



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

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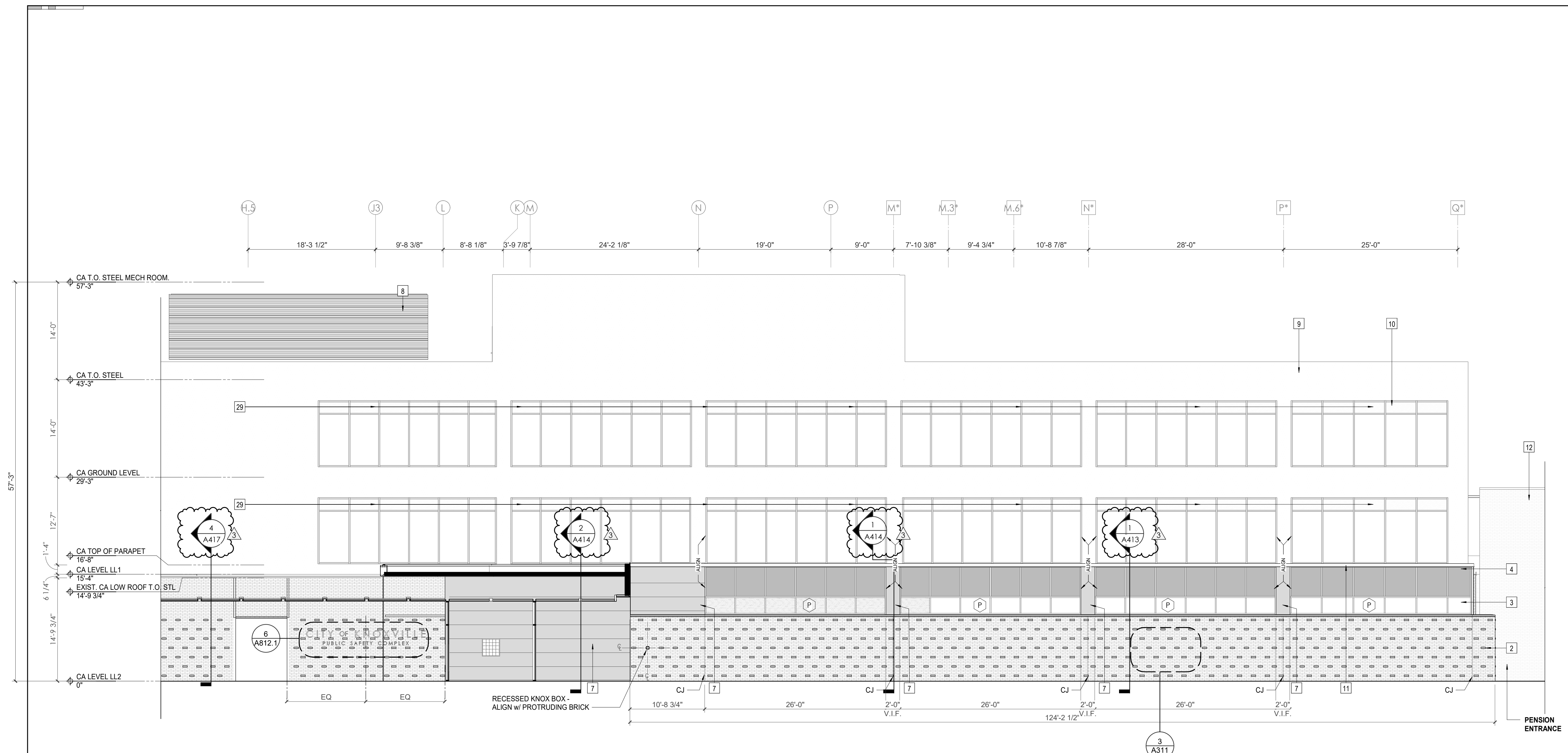
Issue Date:	FEBRUARY 01, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	JW
Checked By:	BP

Drawing Info:

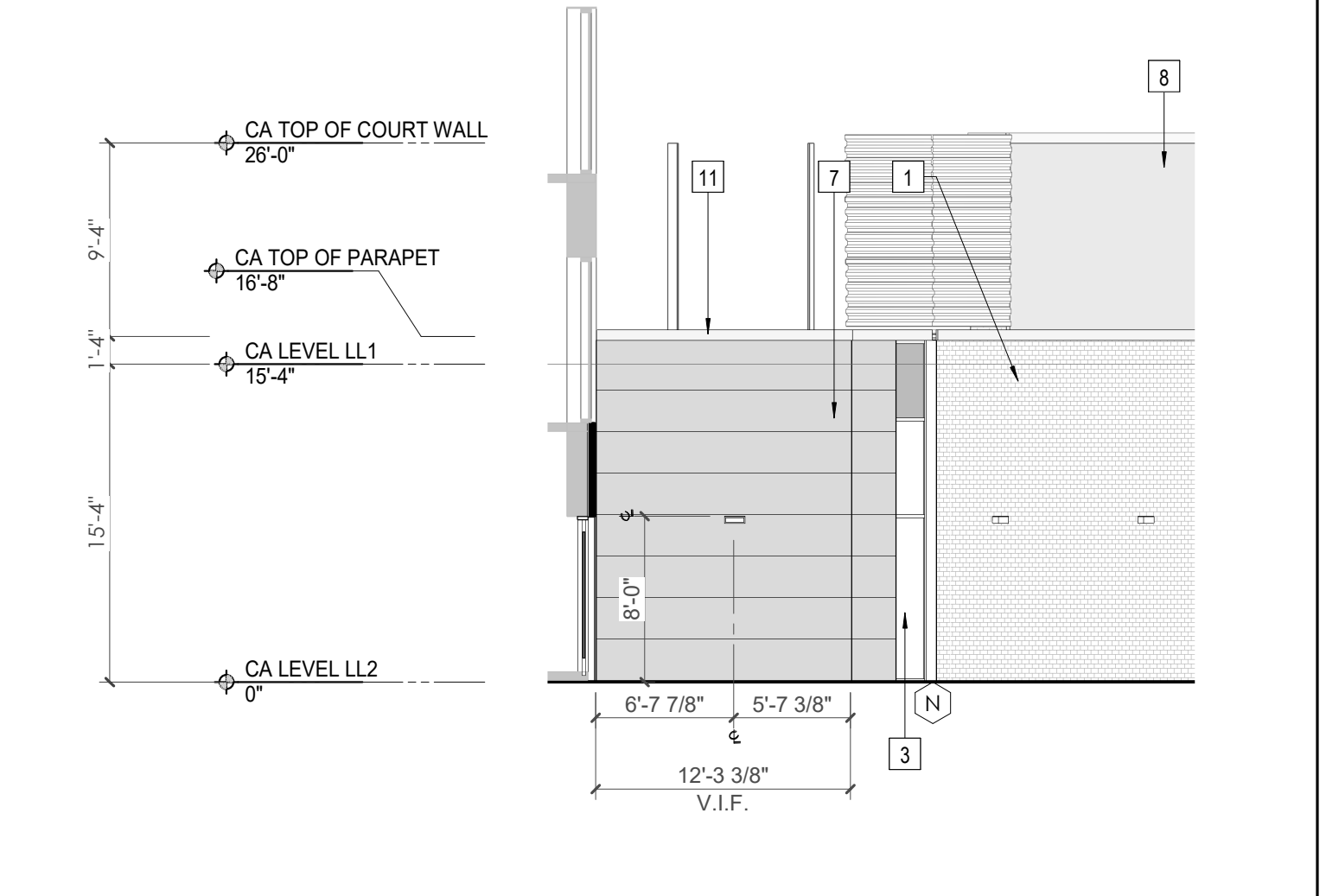
A310

CA - EXTERIOR ELEVATIONS

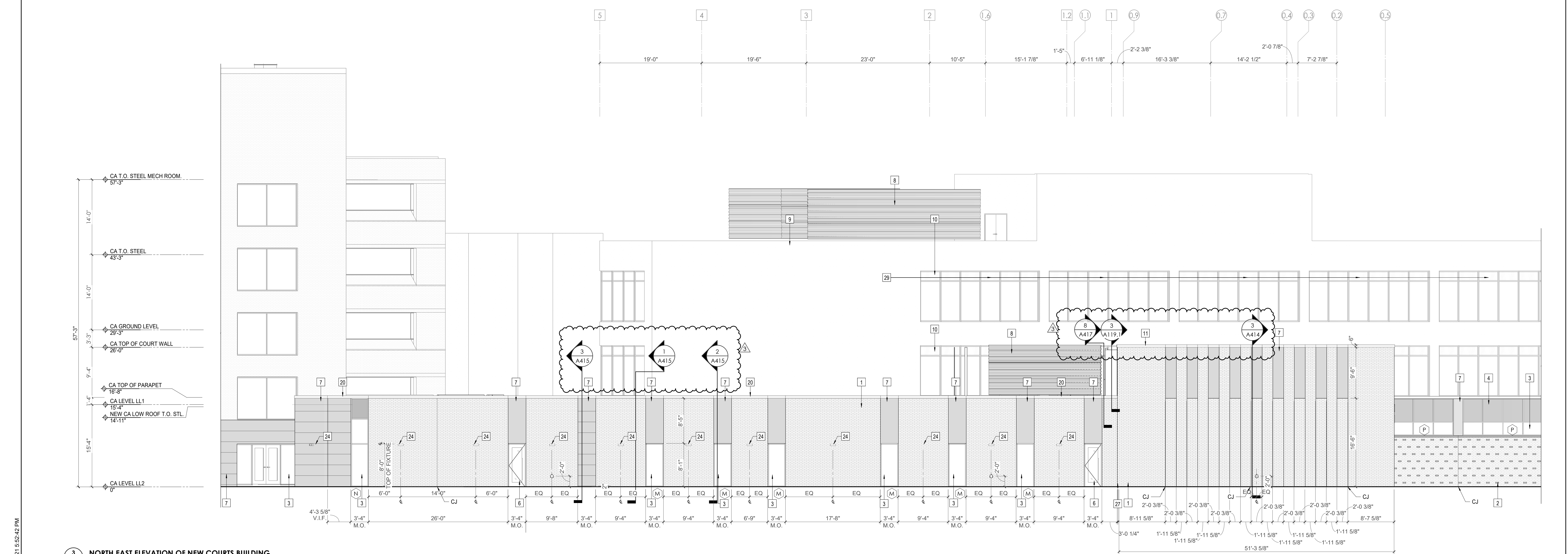
Tag	Text
1	STANDARD BRICK RUNNING BOND
2	STANDARD BRICK RUNNING BOND WITH 3/8" BRICK PROTRUSION PATTERN - SEE A311
3	1" INSULATED GLASS IN ALUMINUM STOREFRONT SYSTEM
4	1" INSULATED SPANDREL GLASS IN ALUMINUM STOREFRONT SYSTEM
5	CONTINUOUS PREFINISHED METAL COPING
6	ALUMINUM STOREFRONT DOOR
7	HORIZONTAL INSULATED METAL PANEL
8	METAL MECHANICAL EQUIPMENT SCREEN
9	PREP & PAINT EXISTING EIFS WALL FACES BEYOND
10	EXISTING ALUMINUM STOREFRONT SYSTEM BEYOND - CLEAN AND APPLY NEW JOINT SEALANT AT OPENING PERIMETER AS REQUIRED
11	CONTINUOUS PREFINISHED METAL COPING TO MATCH BRICK
12	CLEAN EXISTING BRICK FACADE - PROTECT ALL ADJACENT SURFACES FROM CLEANING AGENT
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14	CMU BLOCK WALL W/ CORRUGATED METAL CLADDING, SEE WALL SECTIONS A411
15	OVERHEAD COILING DOOR - SEE DOOR SCHEDULE
16	LIGHTWEIGHT CONCRETE PANEL
17	1" INSULATED GLASS IN ALUMINUM STOREFRONT SYSTEM - BALUSTIC LEVEL 3 GLAZING REQUIRED UP TO 8' MINIMUM
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19	BOLLARDS - 9" DIA
20	CONTINUOUS PREFORMED METAL COPING TO MATCH METAL PANEL
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23	PREFINISHED METAL SCUPPER, TO MATCH CANOPY
24	SURFACE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
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32	NEW MECHANICAL LOUVERS, SEE MECH. DRAWINGS FOR SIZING INFO
33	NEW OVERFLOW SCUPPER
34	
35	



1 NORTH ELEVATION OF CENTRAL ANNEX AT MEMORIAL WALL
A310 1/8" = 1'-0"



2 EAST ELEVATION OF NEW COURTS BUILDING @ MUSEUM
A310 1/8" = 1'-0"



3 NORTH EAST ELEVATION OF NEW COURTS BUILDING
A310 1/8" = 1'-0"



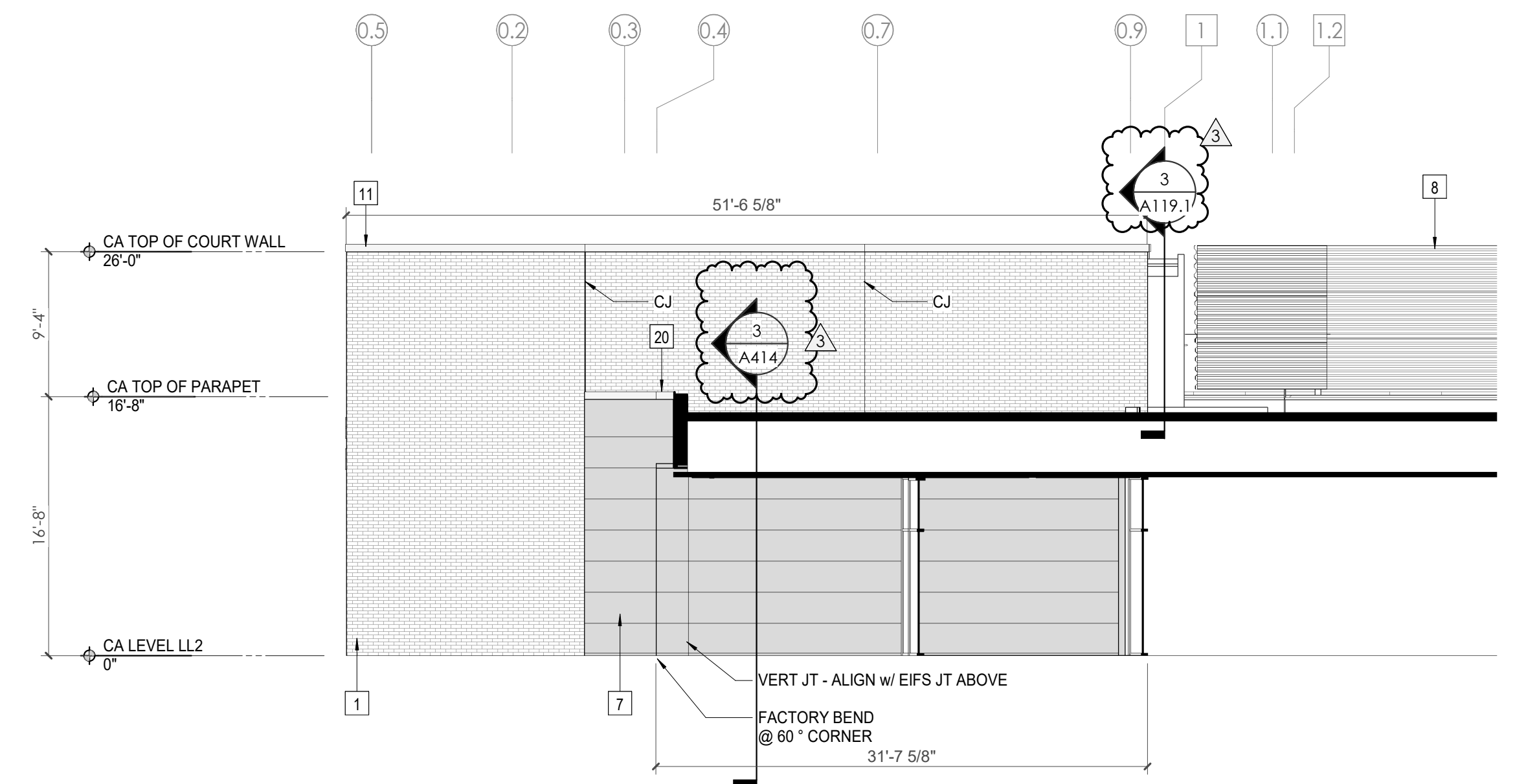
Project Information:

19018

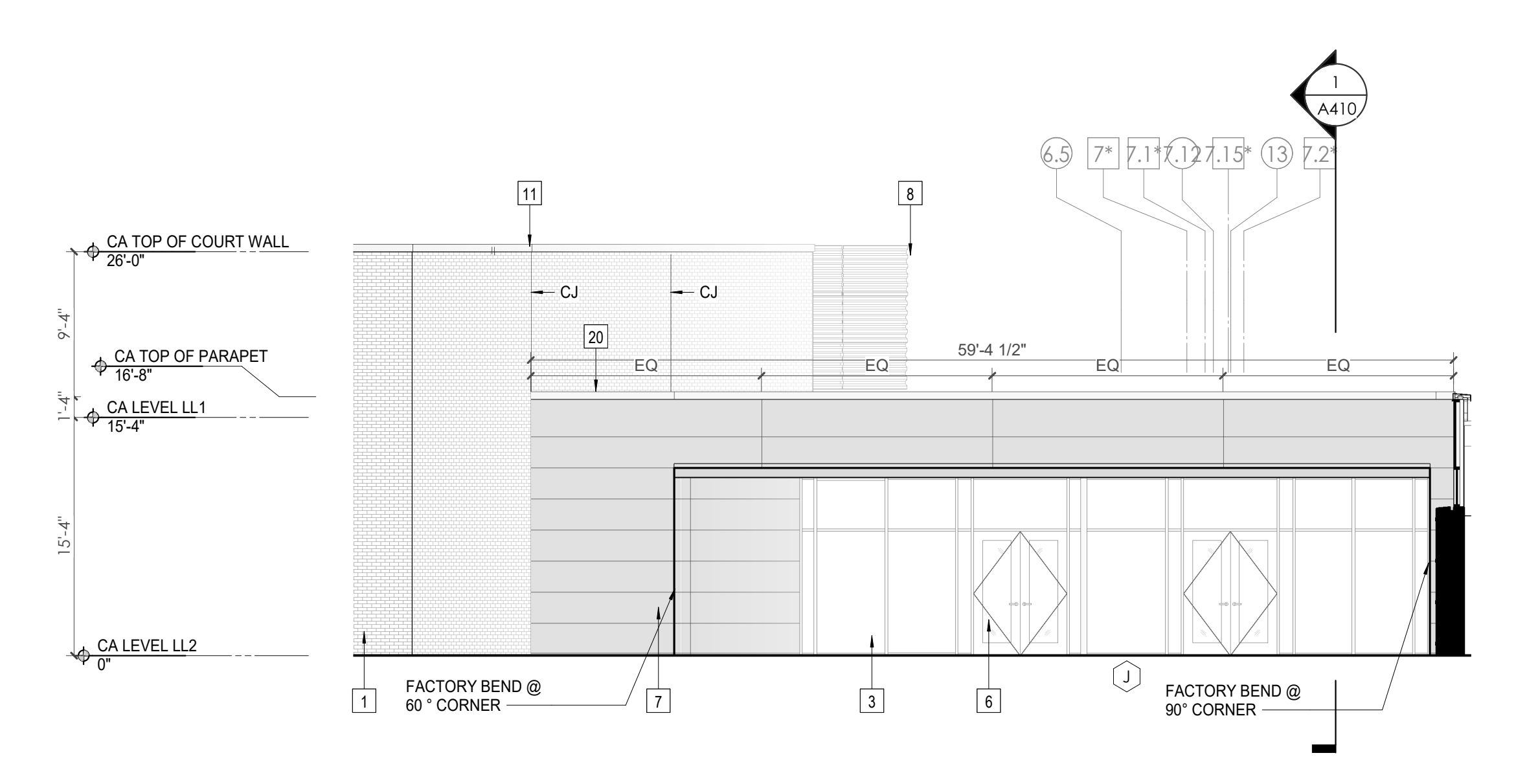
COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

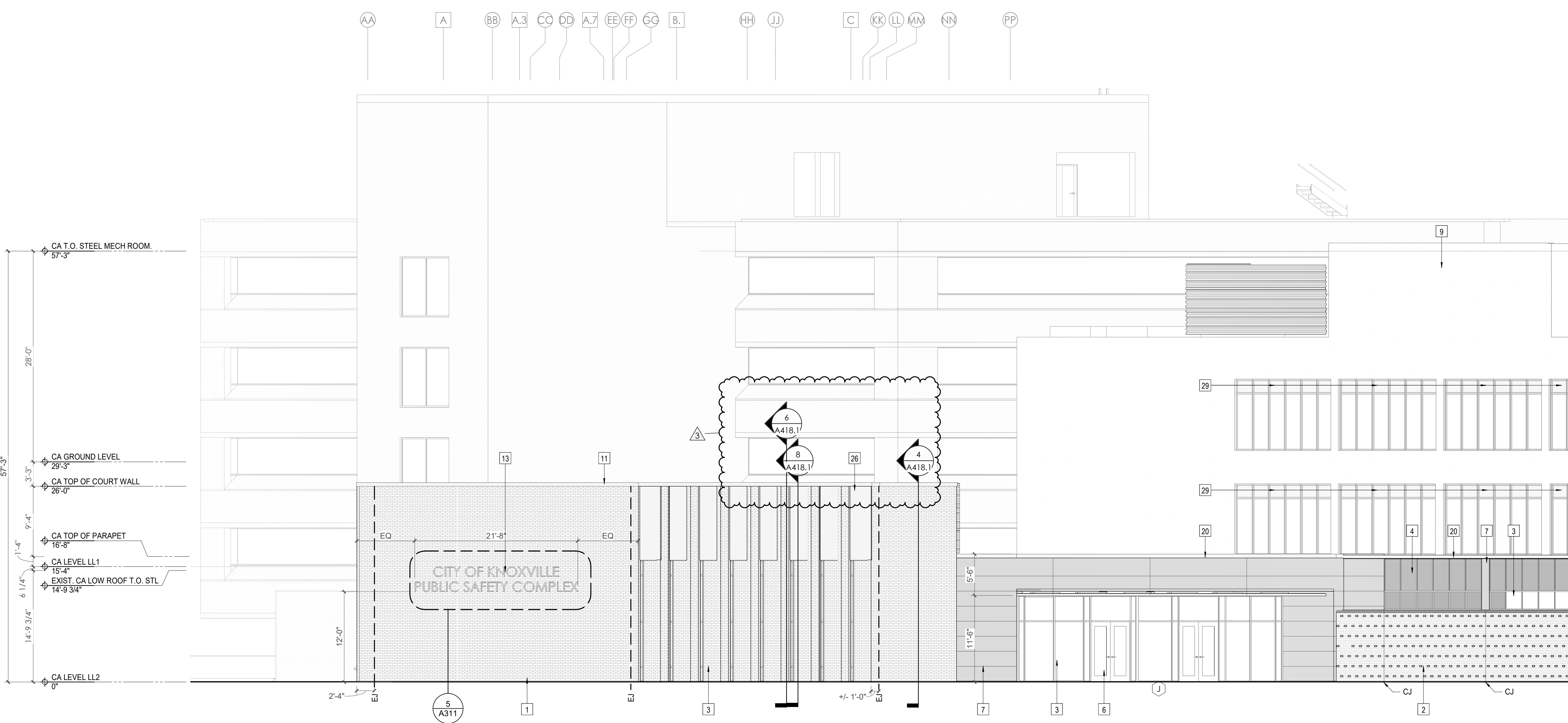
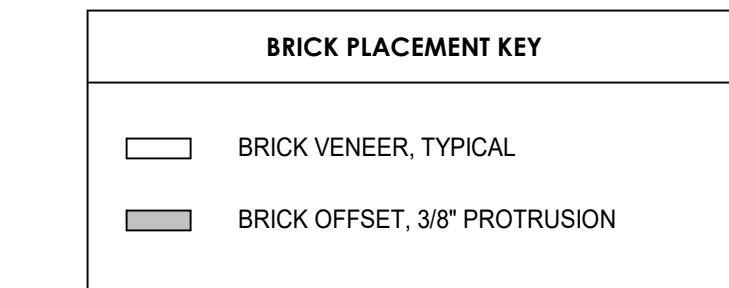
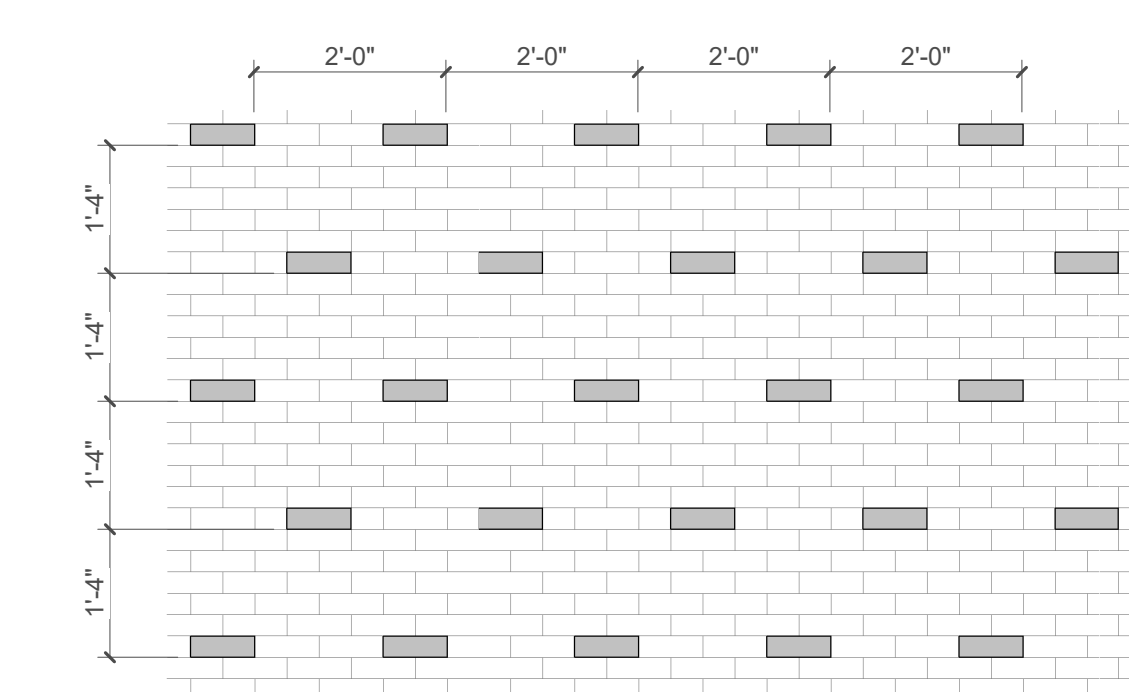
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35	NEW OVERFLOW SCUPPER



1 NORTH ELEVATION OF ENTRY VESTIBULE
1/8" = 1'-0"

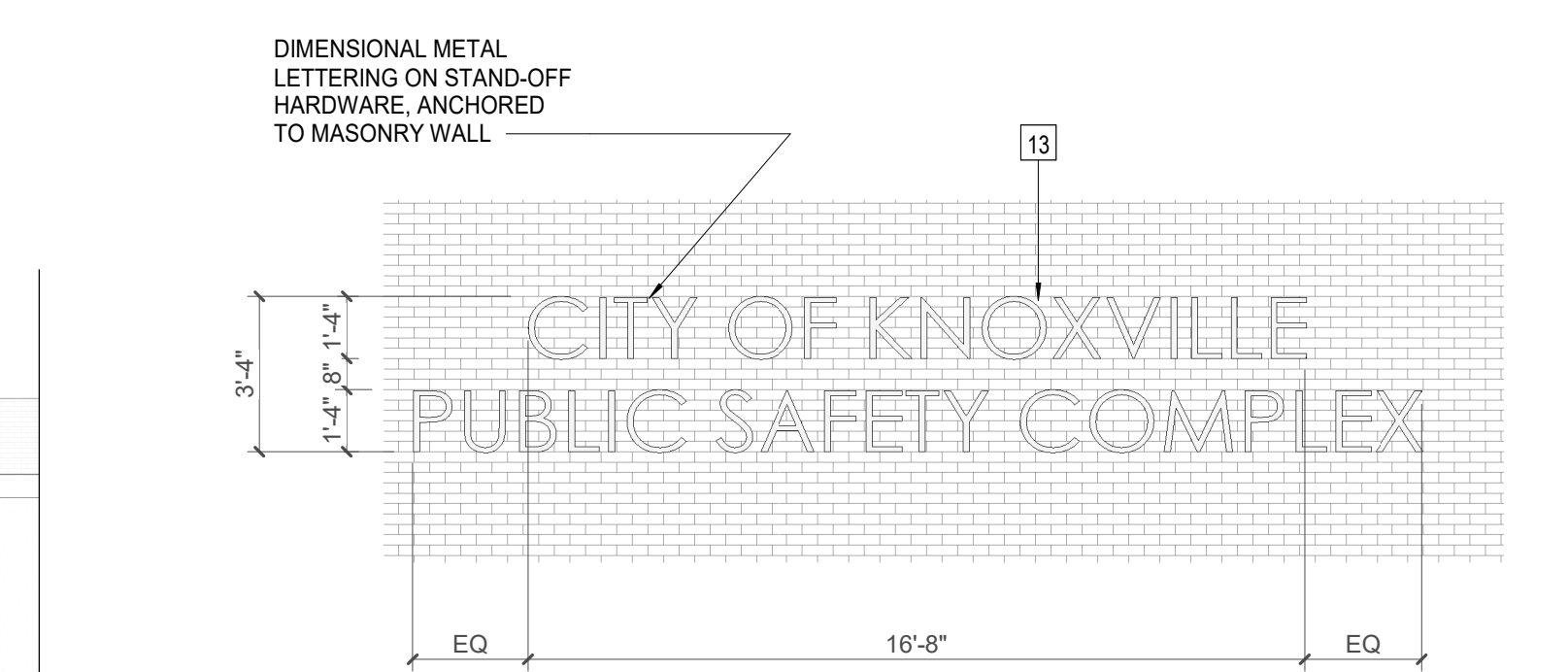


2 WEST ELEVATION OF NEW MAIN ENTRANCE
1/8" = 1'-0"

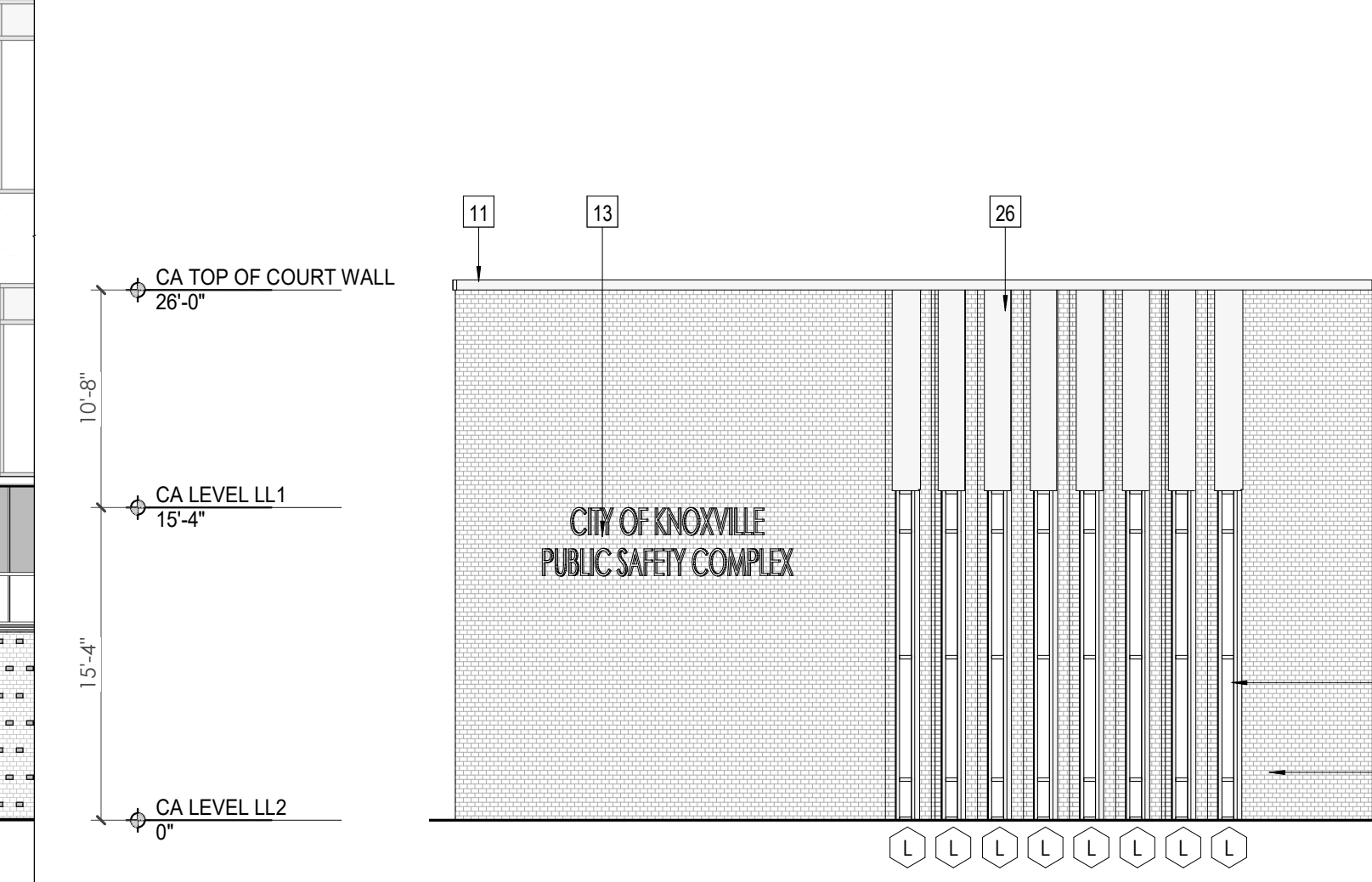


4 WEST ELEVATION OF NEW COURTS BUILDING
1/8" = 1'-0"

3 MEMORIAL WALL BRICK PLACEMENT
1/2" = 1'-0"



5 SIGNAGE ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION OF COURT WINDOWS
1/8" = 1'-0"



Consultant:
Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: JW
 Checked By: BP

Drawing Info:

A311

CA - EXTERIOR ELEVATIONS



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:

Architects Design Group

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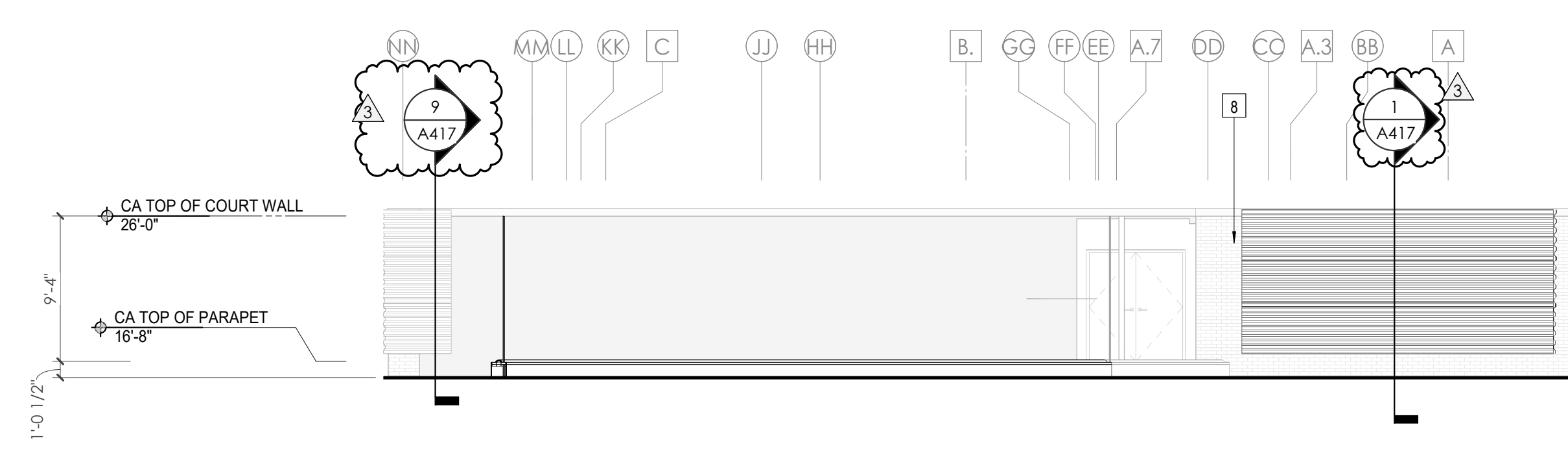
Issue Date:	FEBRUARY 01, 2021
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PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP

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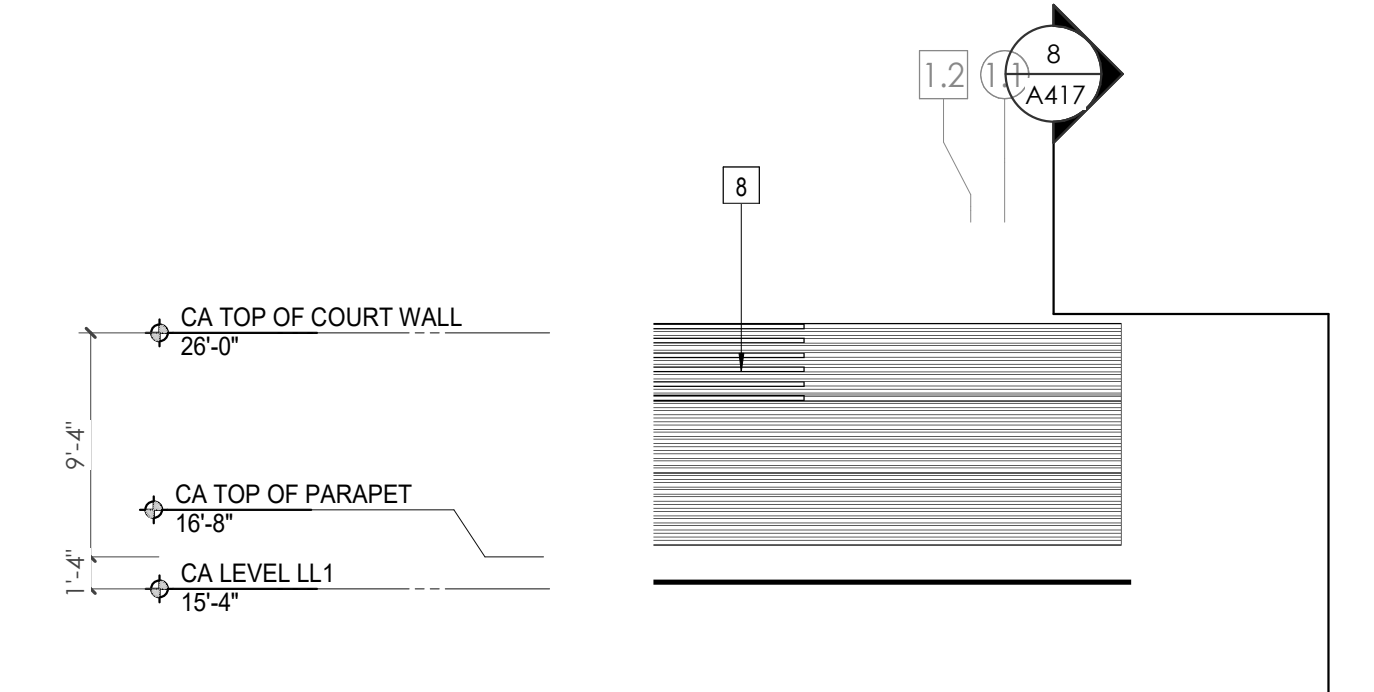
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CA - EXTERIOR ELEVATIONS

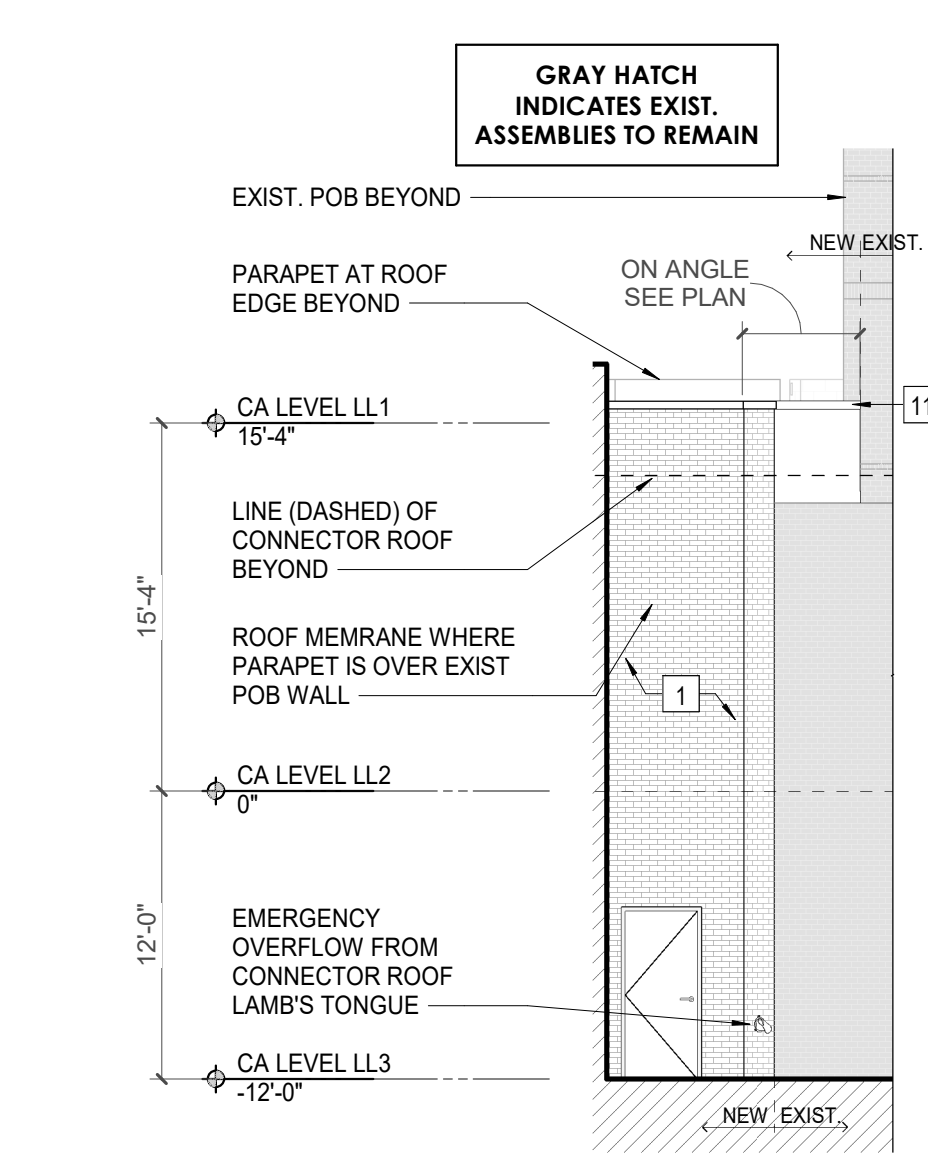
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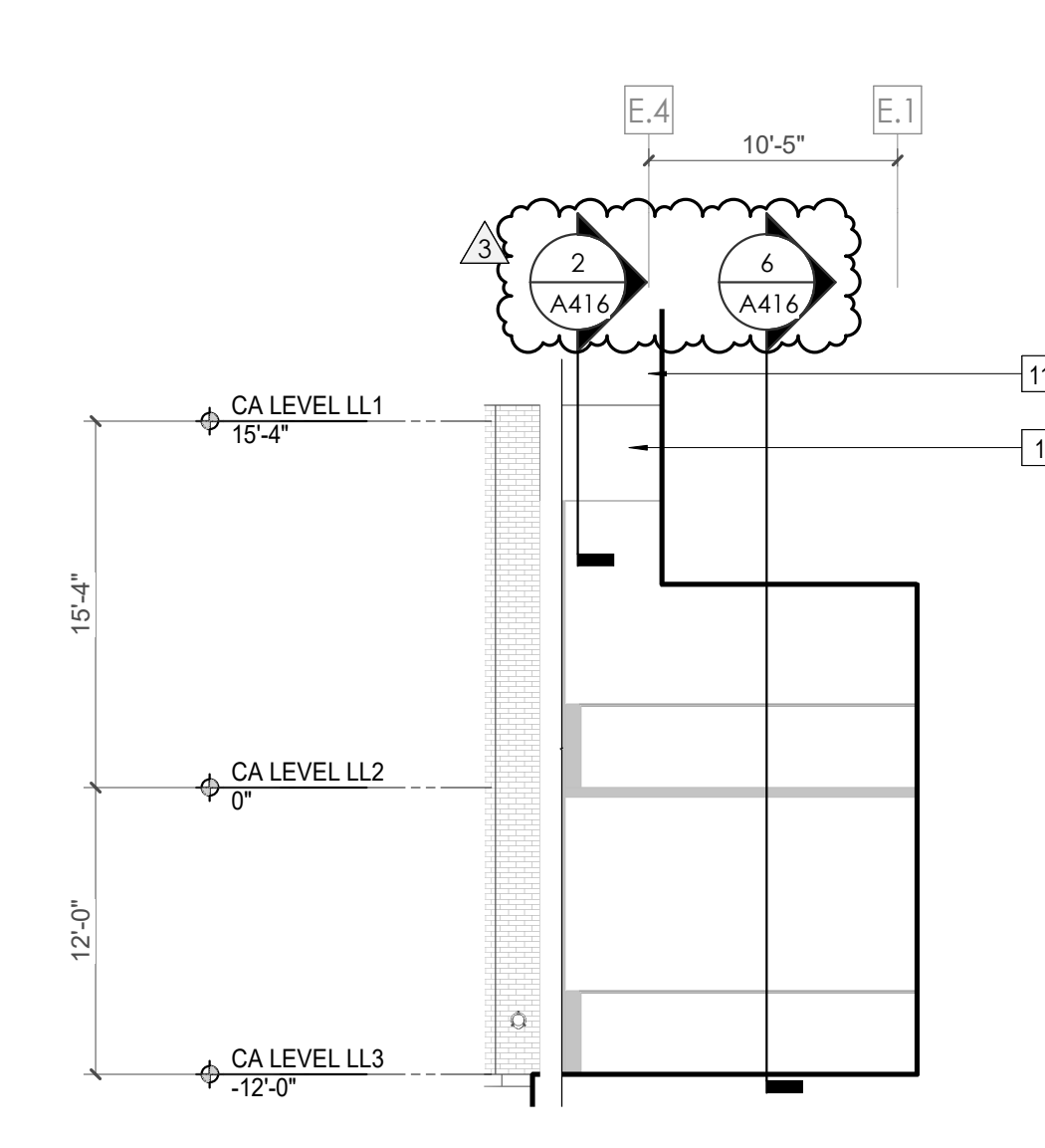
1 CA - EAST ELEVATION OF MECH SCREEN @ ROOF C
1/8" = 1'-0"



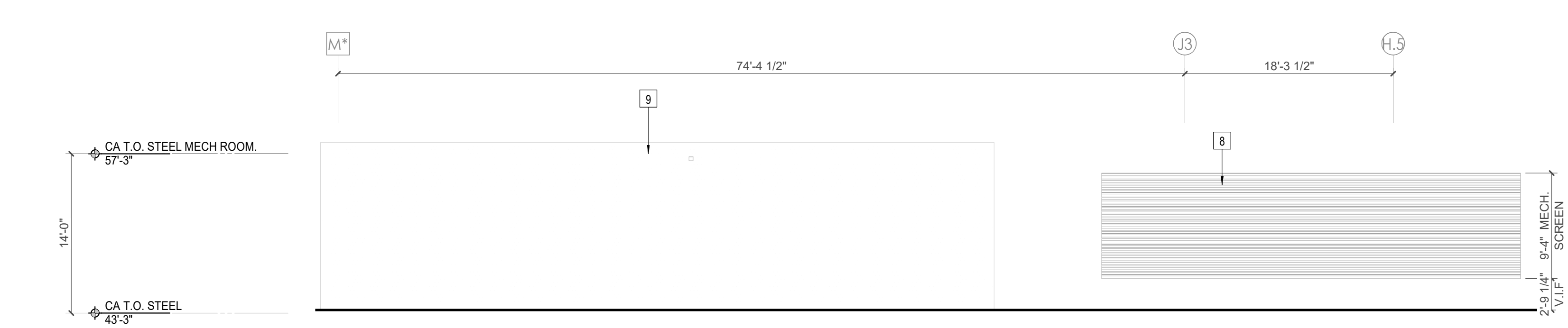
2 CA - NORTH ELEVATION OF MECH SCREEN @ ROOF C
1/8" = 1'-0"



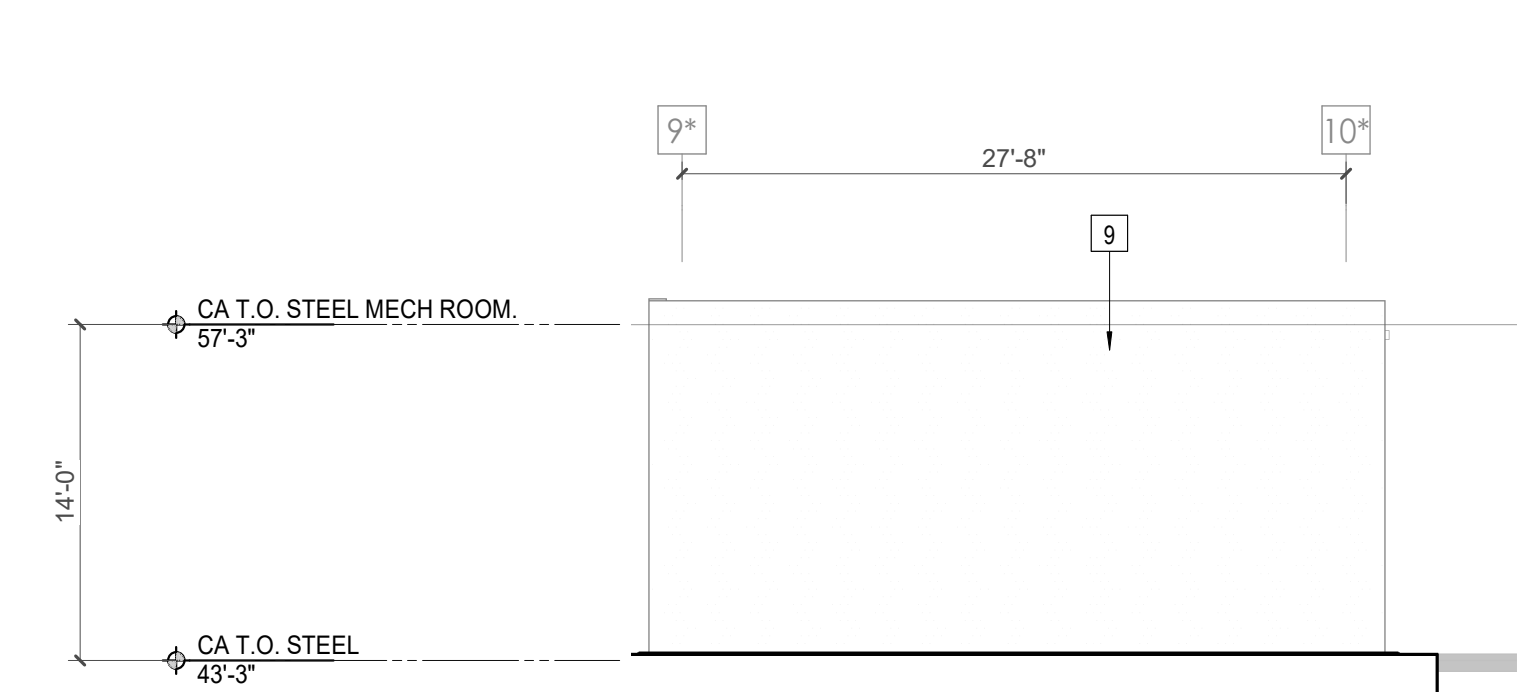
3 CA - SOUTH ELEVATION OF CONNECTOR
1/8" = 1'-0"



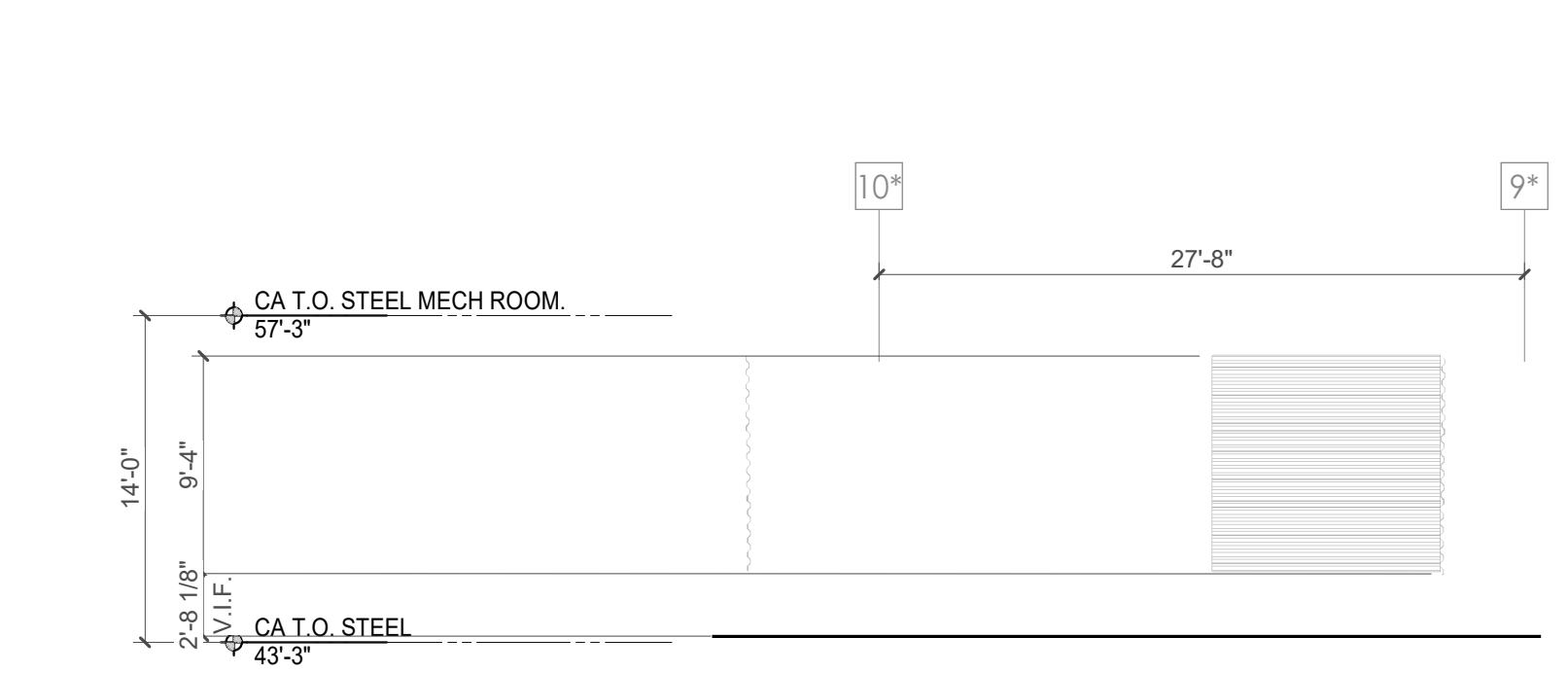
4 CA - SOUTH ELEVATION OF BRIDGE 02
1/8" = 1'-0"



6 CA - SOUTH ELEVATION OF MECH SCREEN @ ROOF B
1/8" = 1'-0"



7 CA - WEST ELEVATION MECH ENCLOSURE @ ROOF A
1/8" = 1'-0"



8 CA - EAST ELEVATION OF MECH SCREEN @ ROOF B
1/8" = 1'-0"



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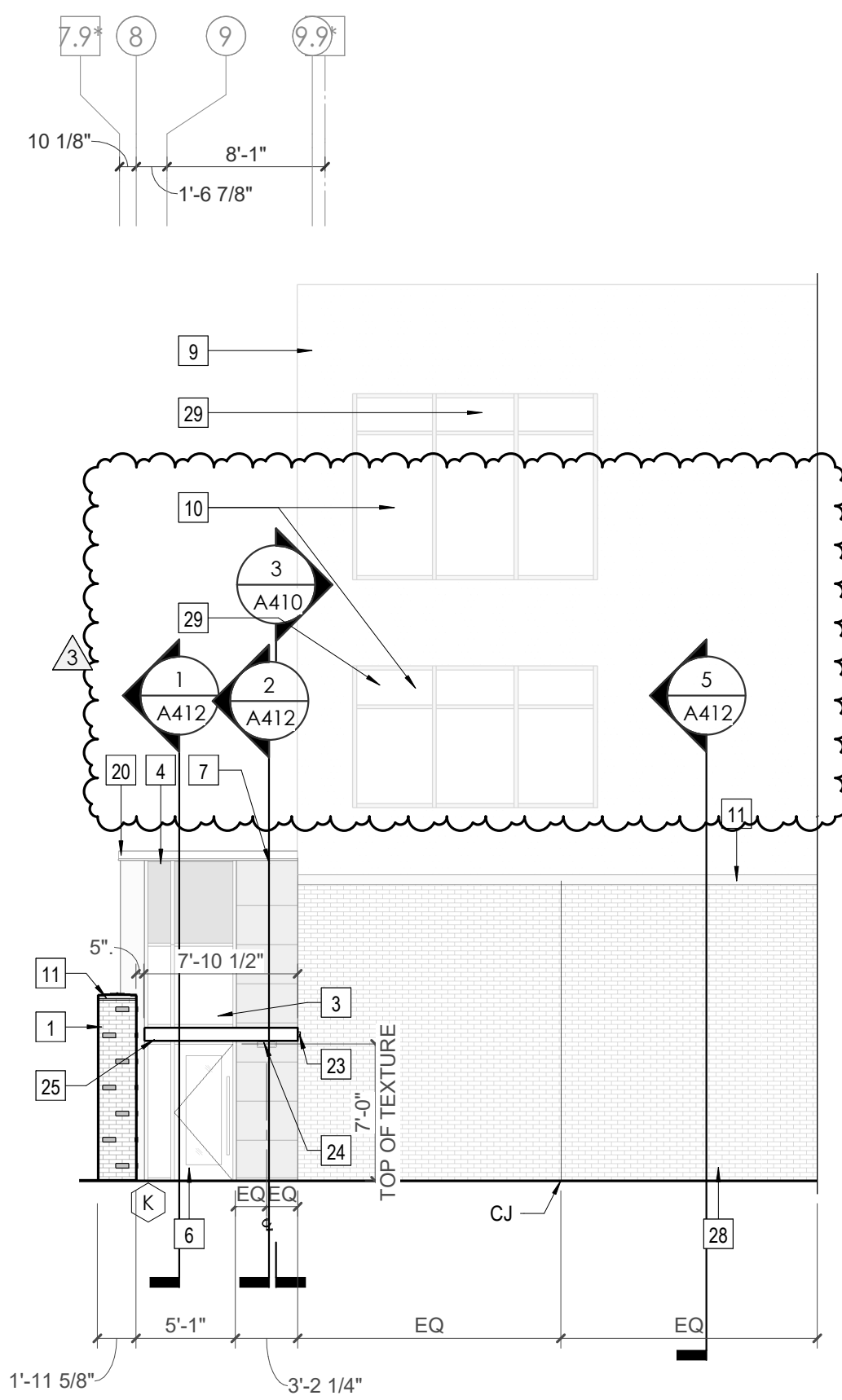
Issue Date: FEBRUARY 01, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: JW
 Checked By: BP

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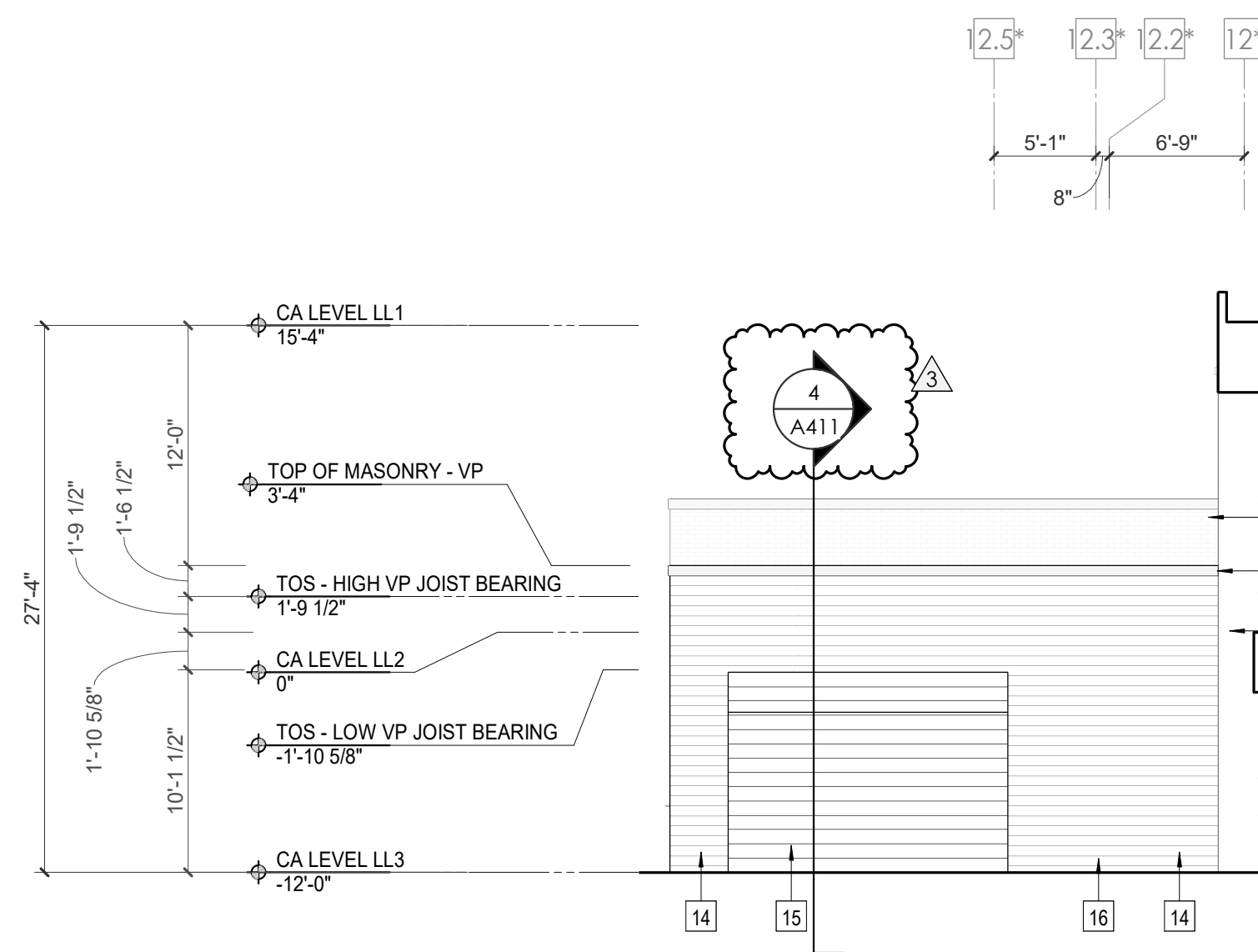
A313

CA - EXTERIOR ELEVATIONS

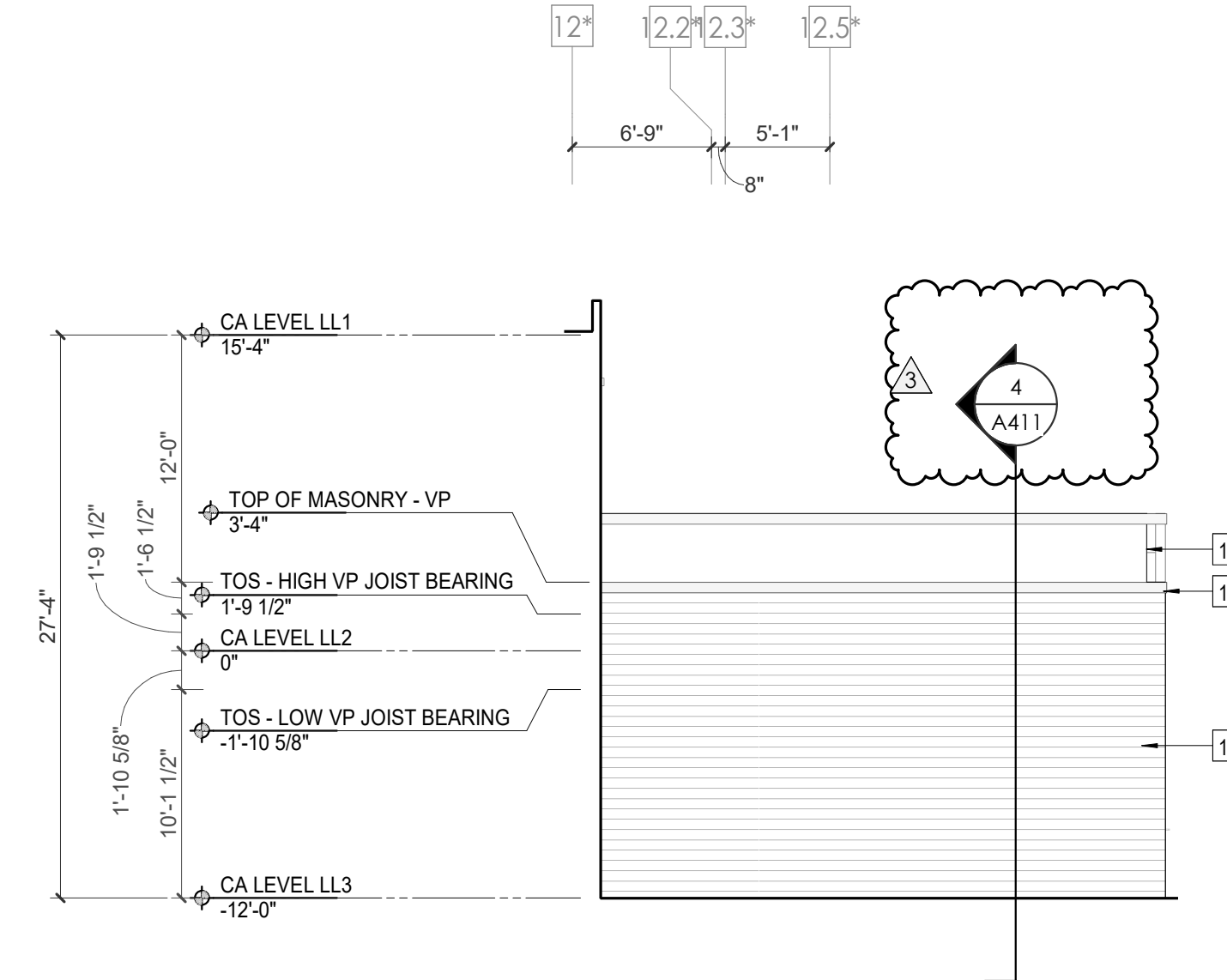
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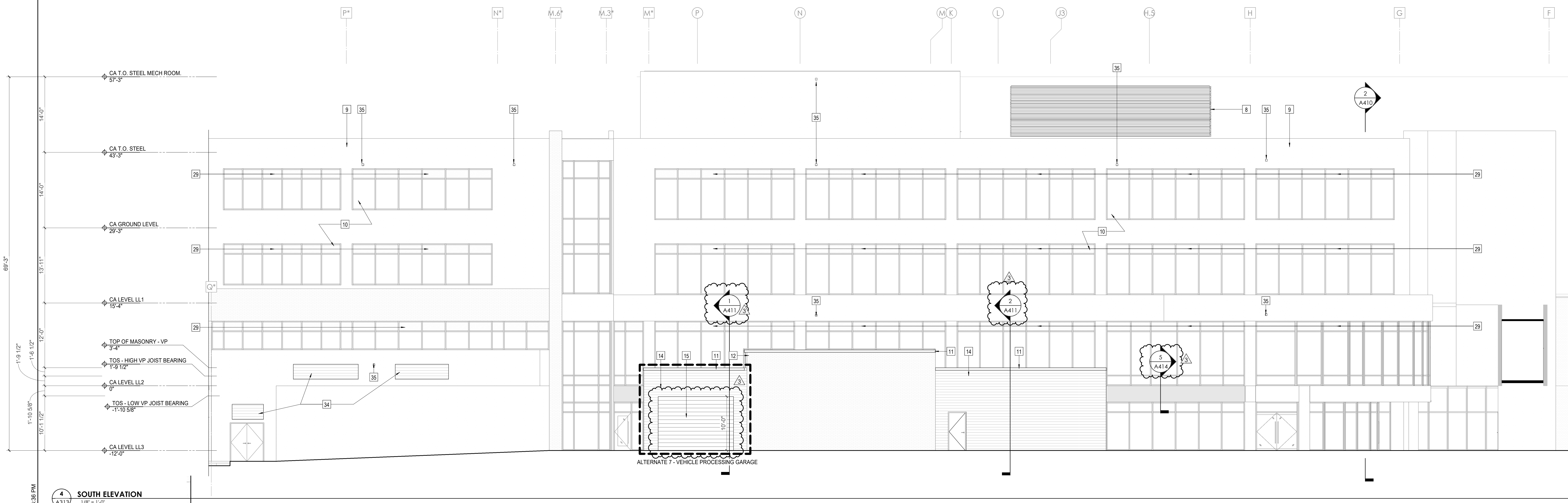
1 WEST ELEVATION OF PENSION ENTRY
1/8" = 1'-0"



2 GARAGE ELEVATION 01
1/8" = 1'-0"



3 GARAGE ELEVATION 02
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



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COK SAFETY BUILDING

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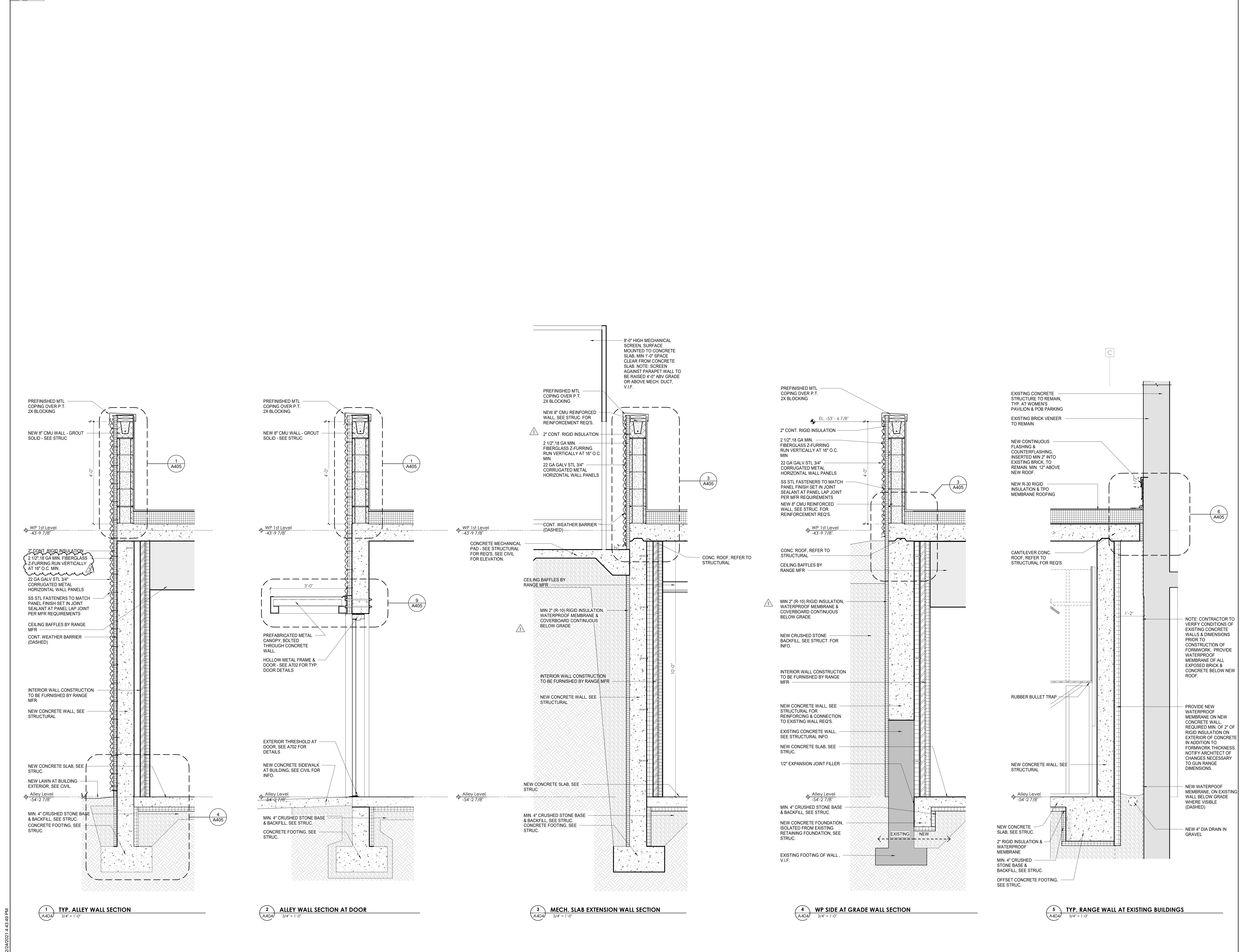
#	ISSUE	DATE
1	ADD #01.1	02/10/21
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH / MALINDA LABBE
 Drawn By: MALINDA LABBE
 Checked By: B. PIERCY

Drawing Info:

A404

WP - WALL SECTIONS - RANGE





Project Information:

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PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH / M LABBE
Drawn By: M LABBE
Checked By: B. PIERCY

Drawing Info:

A604

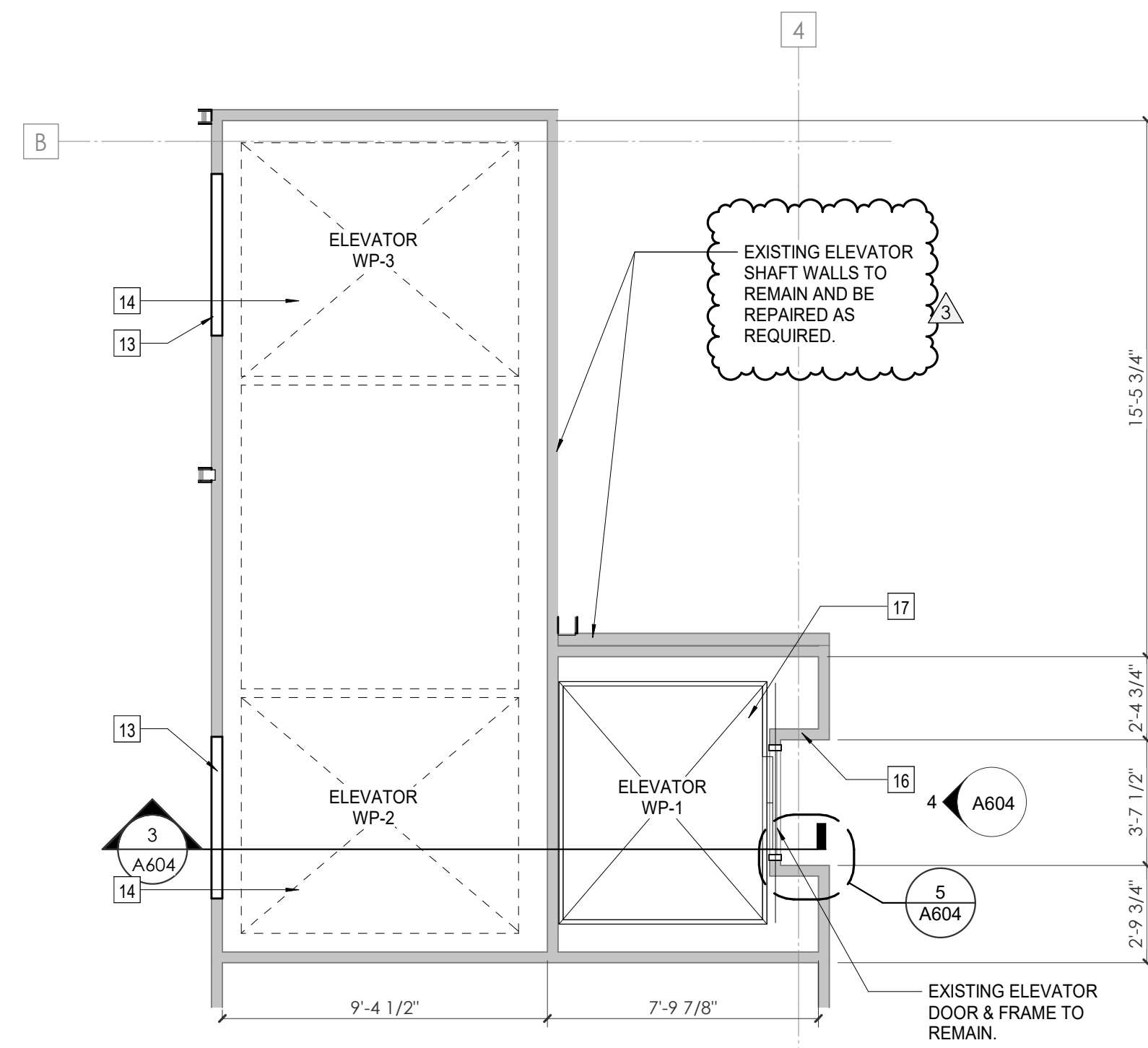
WP -ELEVATOR PLANS & DETAILS

NOTES - WOMEN'S PAVILION ELEVATORS RENOVATION SCOPE

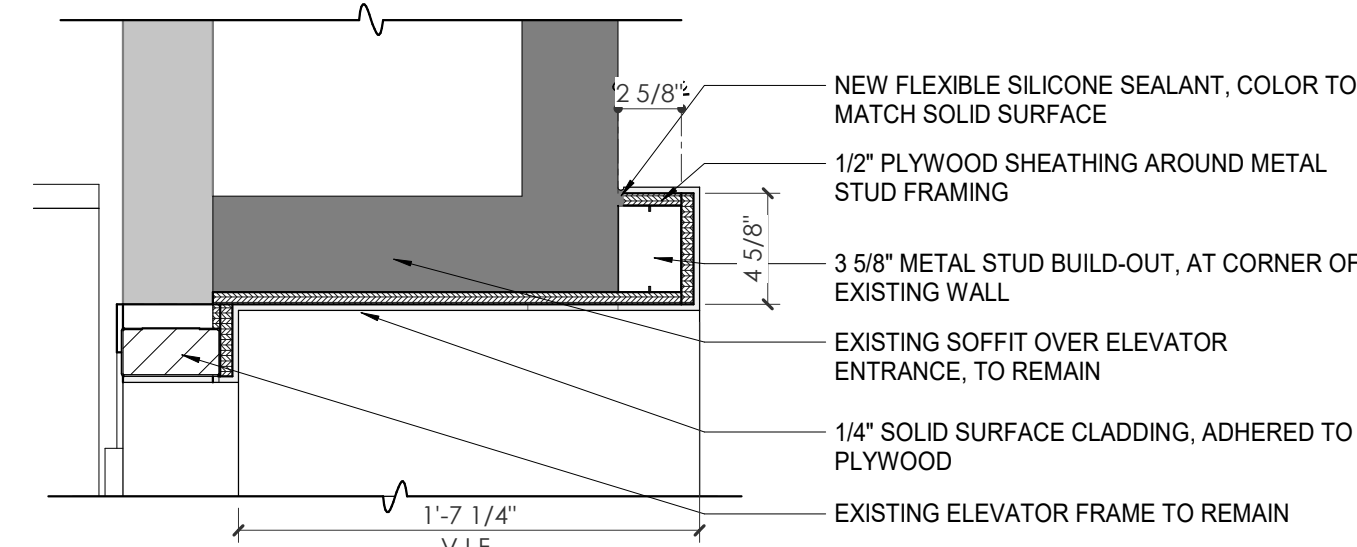
- Existing Elevator Control Equipment:
Contractor to remove all existing door operators, control systems, hoist & car fixtures, existing rollers and guides for hoistway doors, travel cable, and associated proprietary equipment & wiring. Contractor to verify systems to be removed with elevator consultant before demolition.
- Elevator Replacement Equipment:
(2) Elevators to remain are to be retrofitted with new control systems and operating equipment, to include but not limited to:
-New Power Units
-New door operators
-New non-proprietary control systems
-New rollers for hoistway doors
-New car guide rollers
-New travel cables
-Ascending brake
- Elevator Door Removal:
Where elevator is abandoned in place, elevator is to be decommissioned to a point where elevator & shaft can no longer be used or accessed under any circumstances. This includes:
-Remove all elevator controls
-Remove all wiring and power
-Remove elevator rope
-Remove door frame to lobby and hoistway doors
-Contractor to infill existing door opening to match existing adjacent construction & finish. See floor plans & finish plans for info.
- Elevator Cab Interior Renovation:
Where noted on plans, elevator cab to undergo interior renovation to include:
-Removal of existing controls, lighting, horizontal railing / wall protection, & floor & wall finishes.
-Installation of new controls, lighting, horizontal railing, & finishes. See plans for info.
- Contractor to verify all dimensions of existing elevators before ordering and installing new or retrofitted equipment.
- See specification for equipment requirements. Contractor to verify system requirements included in renovation, to meet design intent or code requirement.
- At the discretion of the Contractor & elevator installer, elevator equipment may be abandoned in place, if it does not affect the continued safe use and maintenance of the remaining elevators. Contractor is responsible for informing the Owner and Architect if such a condition arises.

KEYNOTES - VERTICAL CIRCULATION

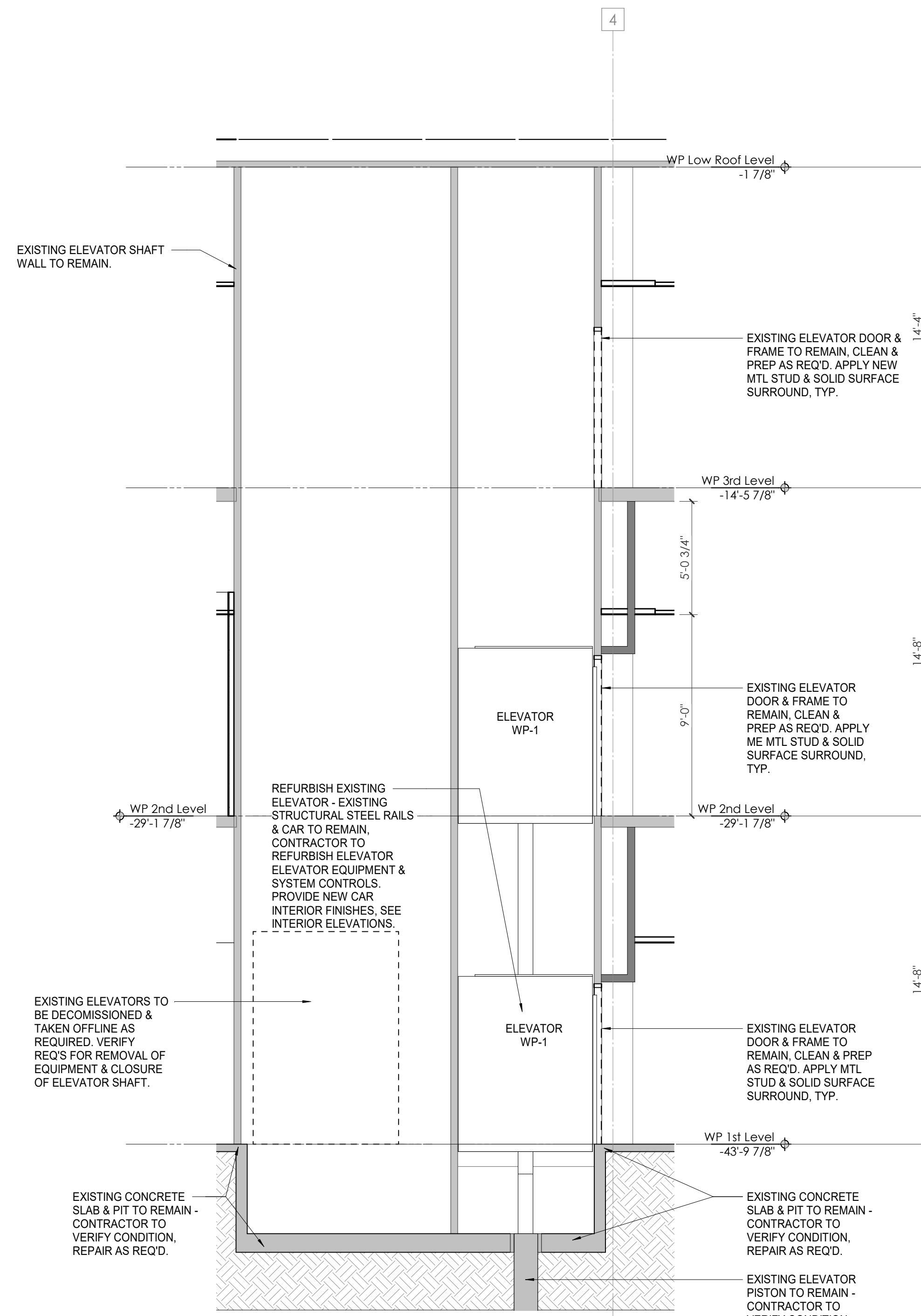
Tag	Text
1	EXISTING STAIR TO REMAIN, CONTRACTOR TO CLEAN, PREP & PAINT
2	EXISTING HANDRAIL TO REMAIN, CONTRACTOR TO CLEAN, PREP & PAINT. SEE FINISH PLANS FOR INFO.
3	EXISTING GUARDRAIL TO REMAIN, CONTRACTOR TO CLEAN, PREP & PAINT, SEE FINISH PLANS FOR INFO.
4	EXISTING STAIR LANDING TO REMAIN, CONTRACTOR TO CLEAN, PREP & PAINT, SEE FINISH PLANS FOR INFO.
5	NEW ALUMINUM ACCESS LADDER TO HATCH AT LOW ROOF. SEE ACCESS LADDER ELEVATION & HATCH DETAIL FOR INFO.
6	LOCATION OF NEW DRYER POWER UNIT - SEE ELEVATOR CONTRACTOR PREPARE & REPLACEMENT REQ'S.
7	CONTRACTOR TO REMOVE EXISTING ELEVATOR EQUIPMENT, CONTROLS, & HYDRAULIC PISTON ELEVATOR. REPLACE WITH NEW 4-STOP HYDRAULIC ELEVATOR. CONTRACTOR TO PROVIDE NEW INTERIOR FINISHES. SEE INTERIOR ELEVATIONS.
8	STEEL STRUCTURAL RAILS & CAR TO REMAIN, CONTRACTOR TO REFURBISH ELEVATOR EQUIPMENT & SYSTEMS. CONTRACTOR TO PROVIDE NEW INTERIOR FINISHES. SEE INTERIOR ELEVATIONS.
9	EXISTING DOOR FRAME & ELEVATOR DOOR TO REMAIN. SEE ELEVATIONS & DETAIL FOR NEW SURROUND. TYP. ALL ELEVATOR LOCATIONS.
10	NEW HOLLOW METAL ELEVATOR FRAME & DOOR. TO MATCH EXISTING. WITH MTL STUD & SOLID SURFACE SURROUND. TYP. ALL ELEVATOR LOCATIONS.
11	CONTRACTOR TO REMOVE EXISTING ELEVATOR EQUIPMENT, CONTROLS, & HYDRAULIC PISTON ELEVATOR. REPLACE WITH NEW 4-STOP HYDRAULIC ELEVATOR. CONTRACTOR TO VERIFY EQUIPMENT & ACCESSORIES REQUIRED FOR NEW STOP.
12	NEW STEEL PIPE HANDRAIL AND GUARDRAIL. SEE RAIL DETAILS SHEET A650
13	REMOVE DOOR FRAME & ELEVATOR DOORS. INFILL WITH NEW MTL STUD FRAMING & GYP. BD. FINISH TO MATCH EXISTING ADJACENT.
14	
15	EXISTING ELEVATOR DOOR & FRAME TO REMAIN. CONTRACTOR TO CLEAN & PREP AS REQ'D.
16	NEW SOLID SURFACE DETAILS SURROUND AT ALL INTERIOR ELEVATOR OPENINGS.
17	STEEL STRUCTURAL RAILS & CAR TO REMAIN, CONTRACTOR TO PROVIDE NEW INTERIOR FINISHES. SEE INTERIOR ELEVATIONS.



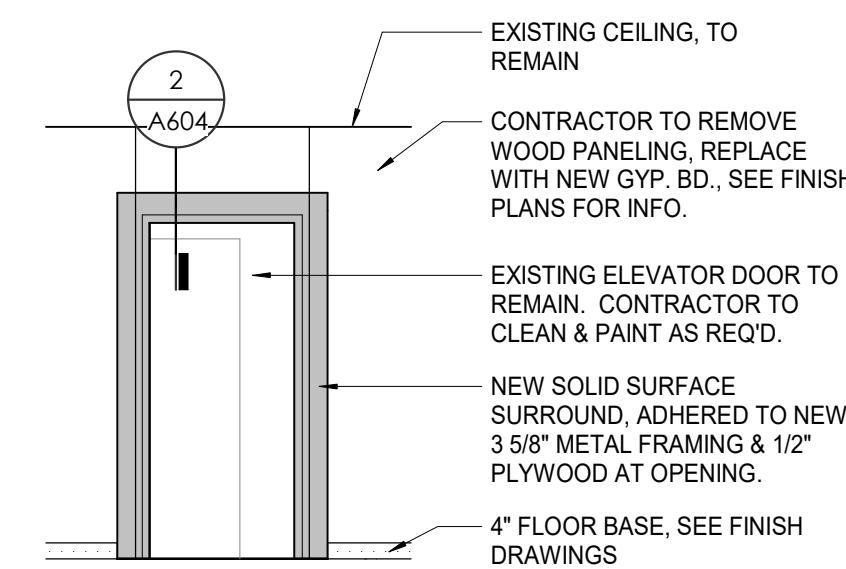
1 TYP. ENLARGED ELEVATOR PLAN
1/4" = 1'-0"



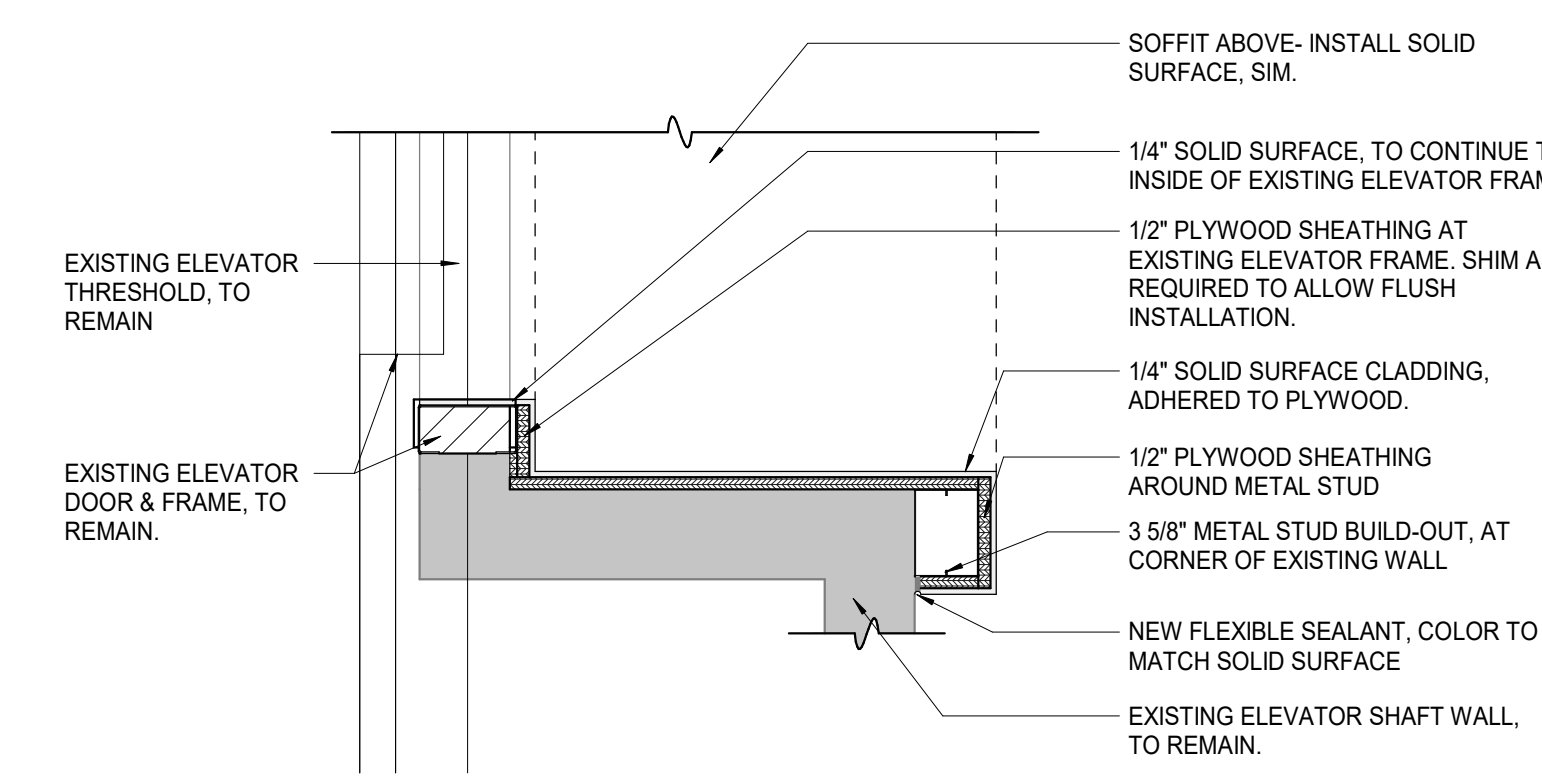
2 ELEVATOR HEAD DETAIL
1/2" = 1'-0"



3 ELEVATOR SECTION
1/4" = 1'-0"

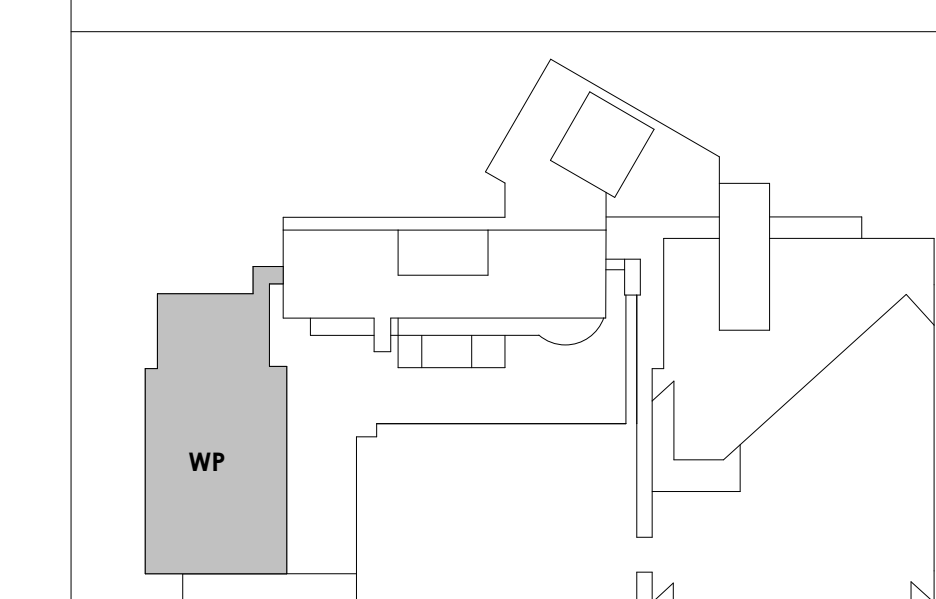


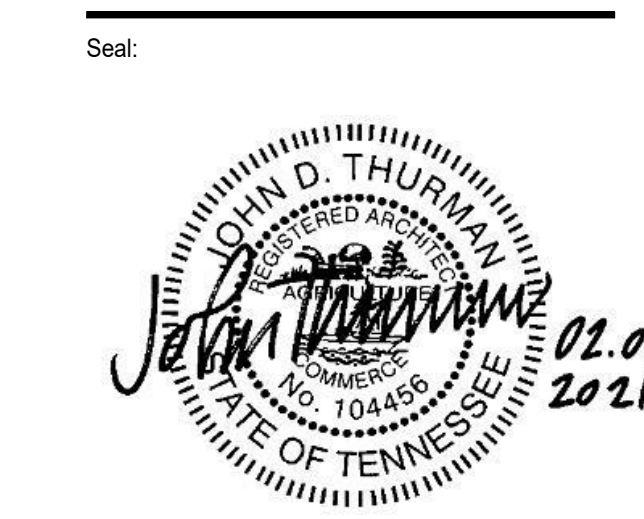
4 ELEVATOR DOOR ELEVATION
1/4" = 1'-0"



5 ELEVATOR JAMB PLAN DETAIL
1/2" = 1'-0"

KEY PLAN

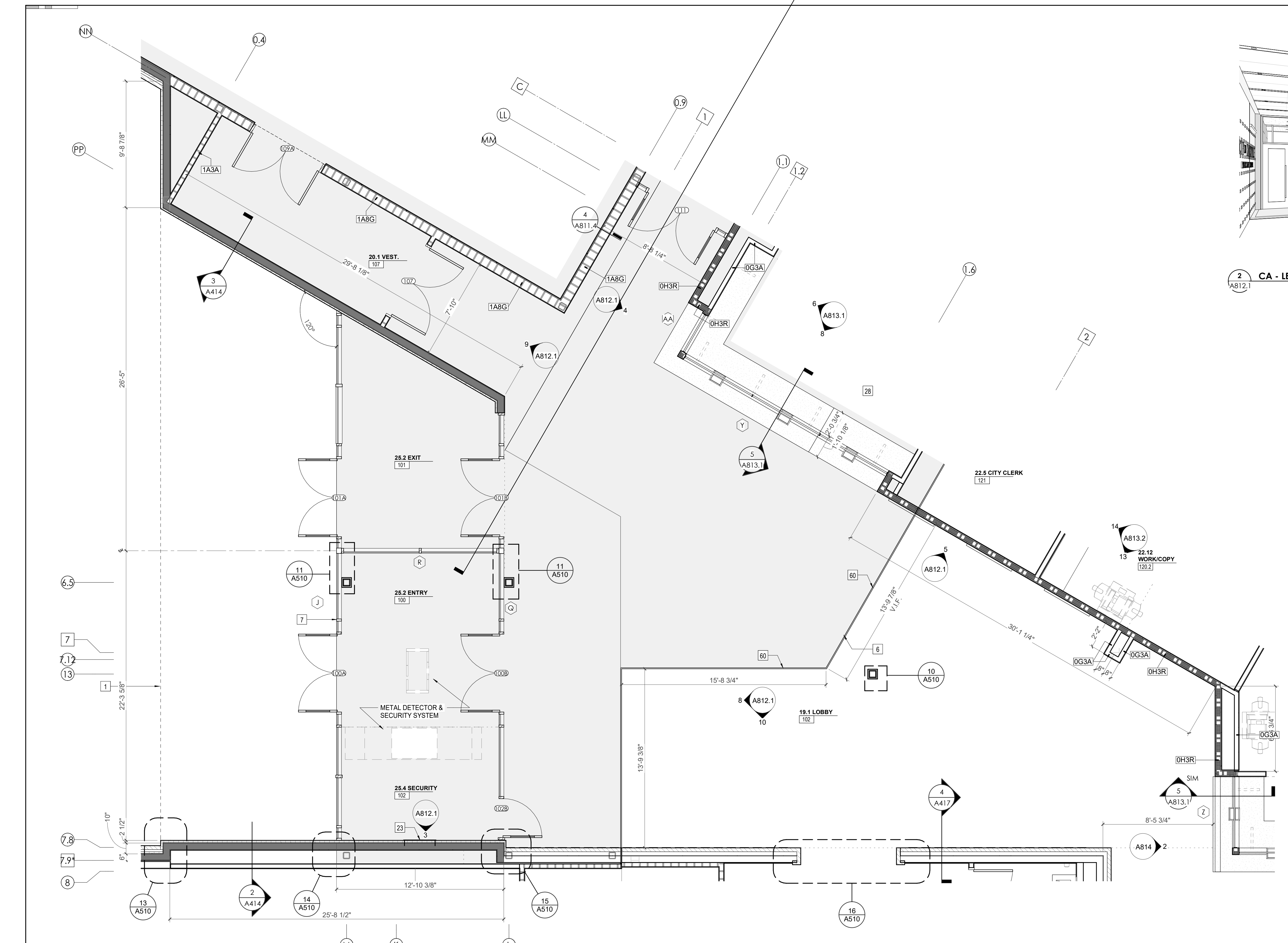




#	ISSUE	DATE
2	ADD #02.1	02/17/21
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021

PKC	DAVID COLLINS
PM	JOHN THURMAN
PA	LAUREN BUSH /
Drawn By:	JW
Checked By:	BP



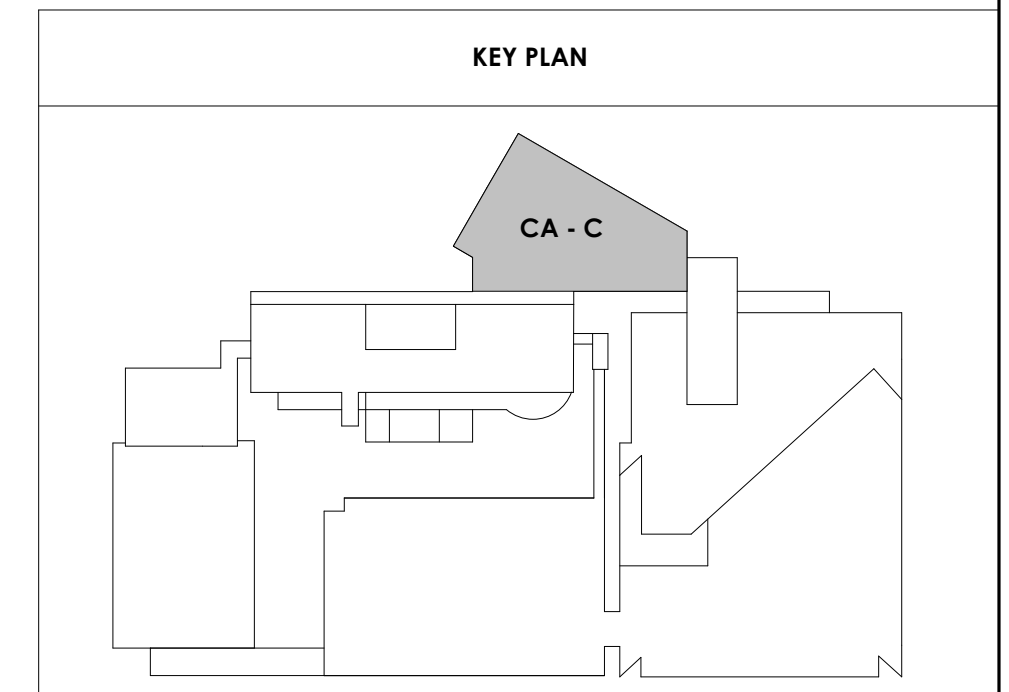
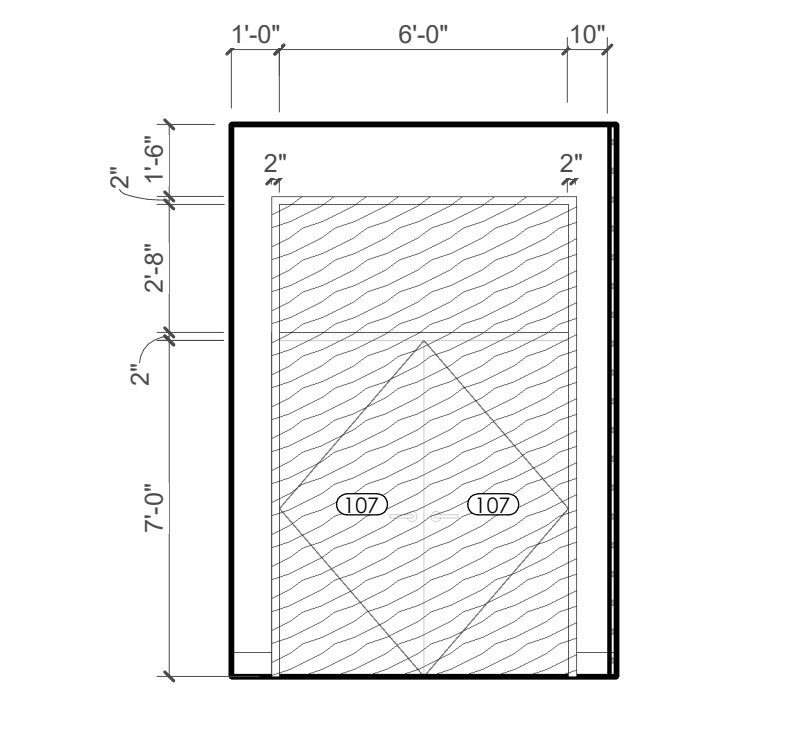
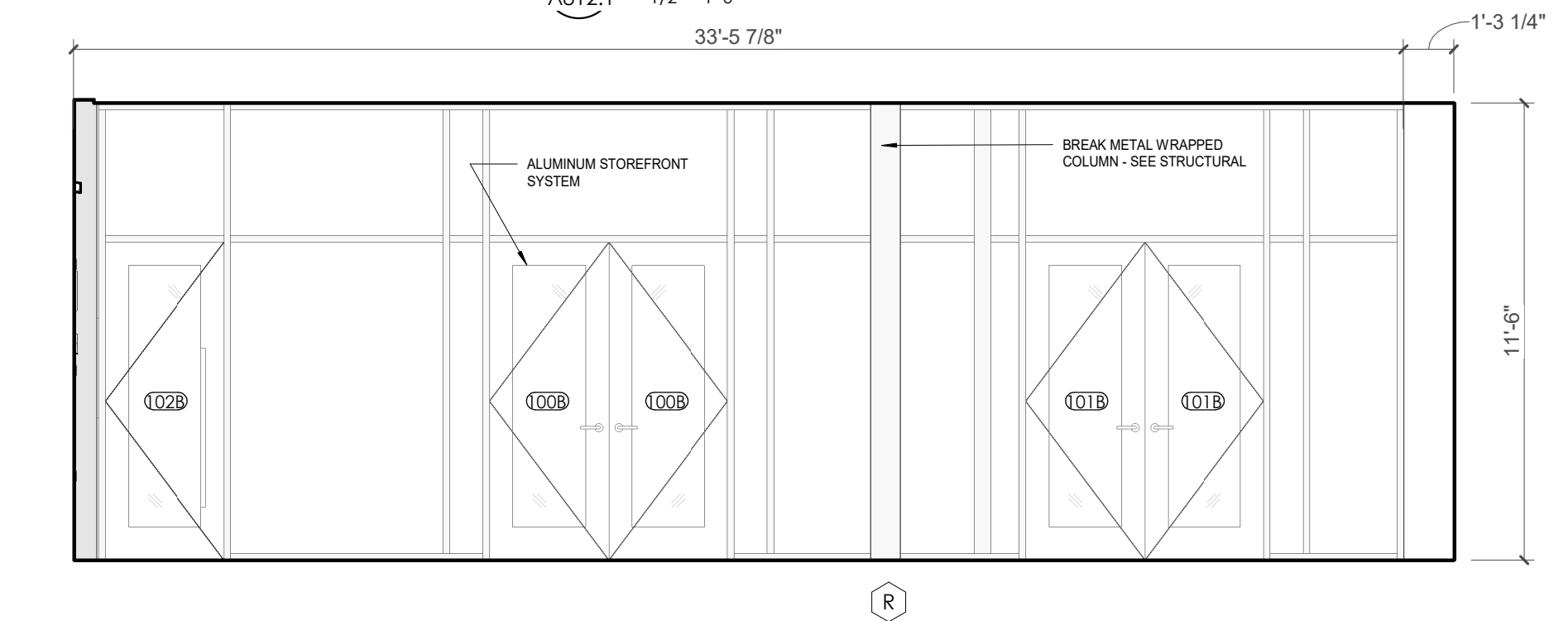
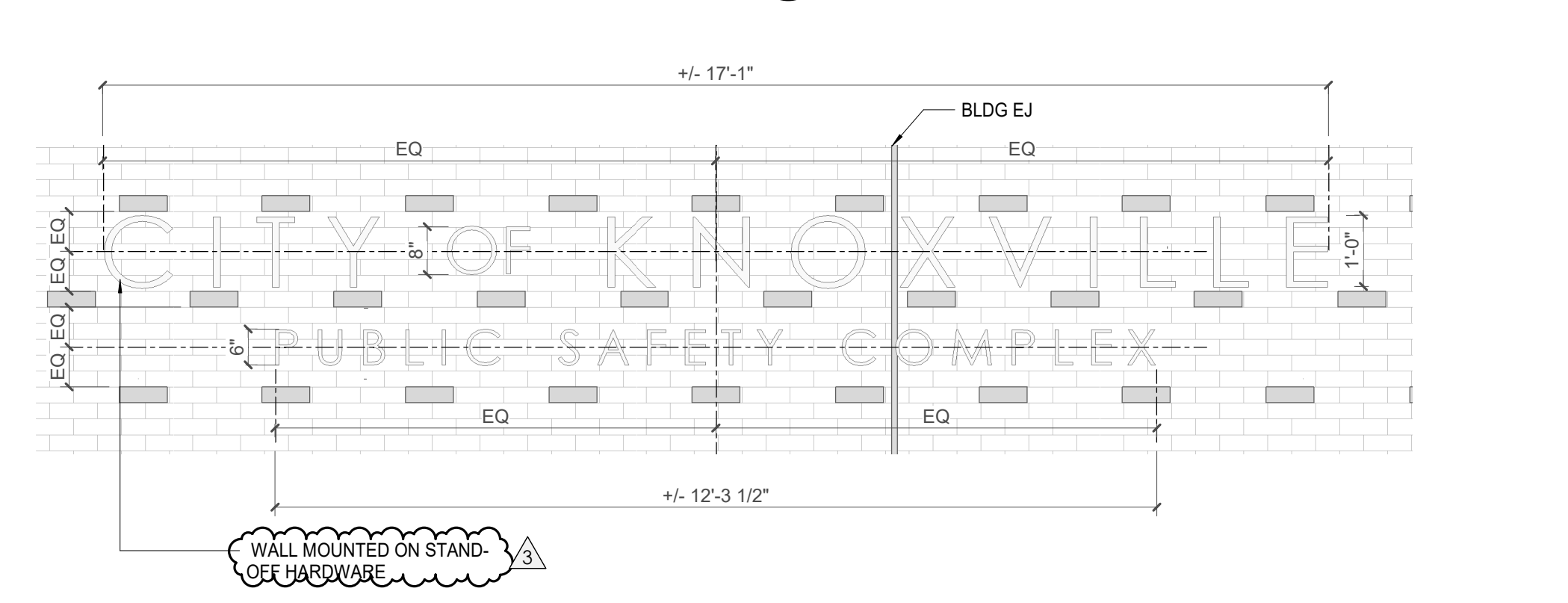
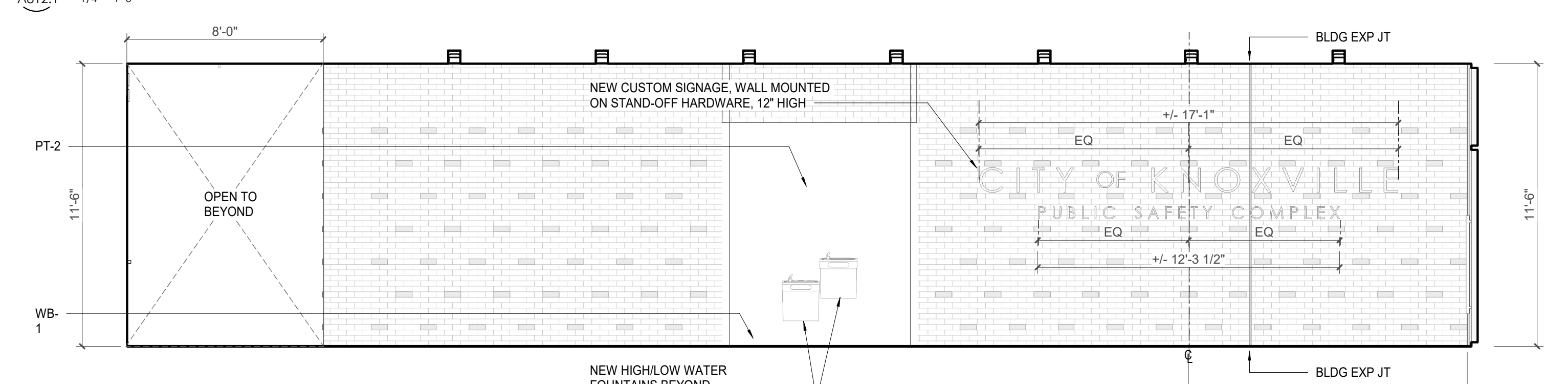
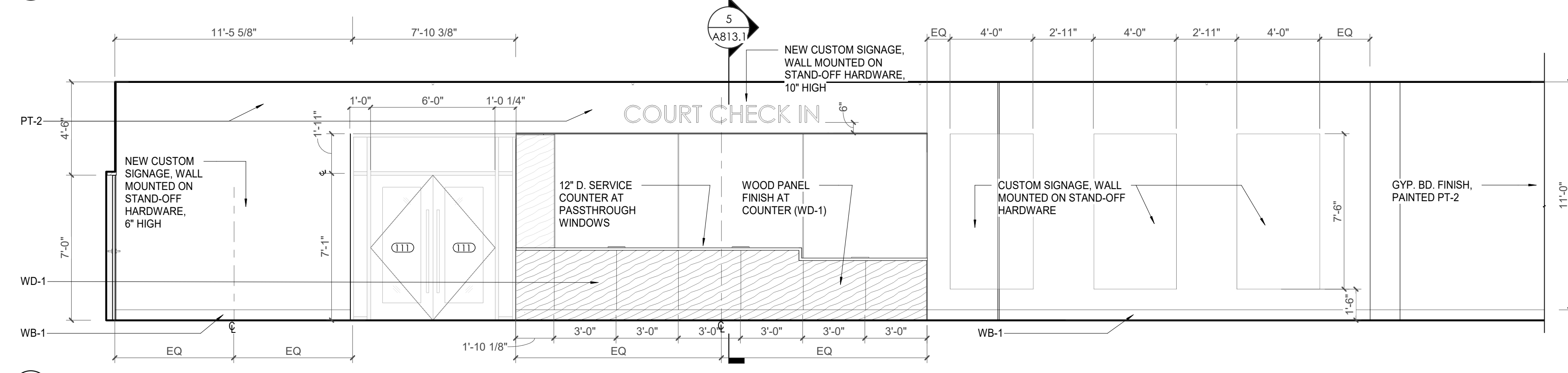
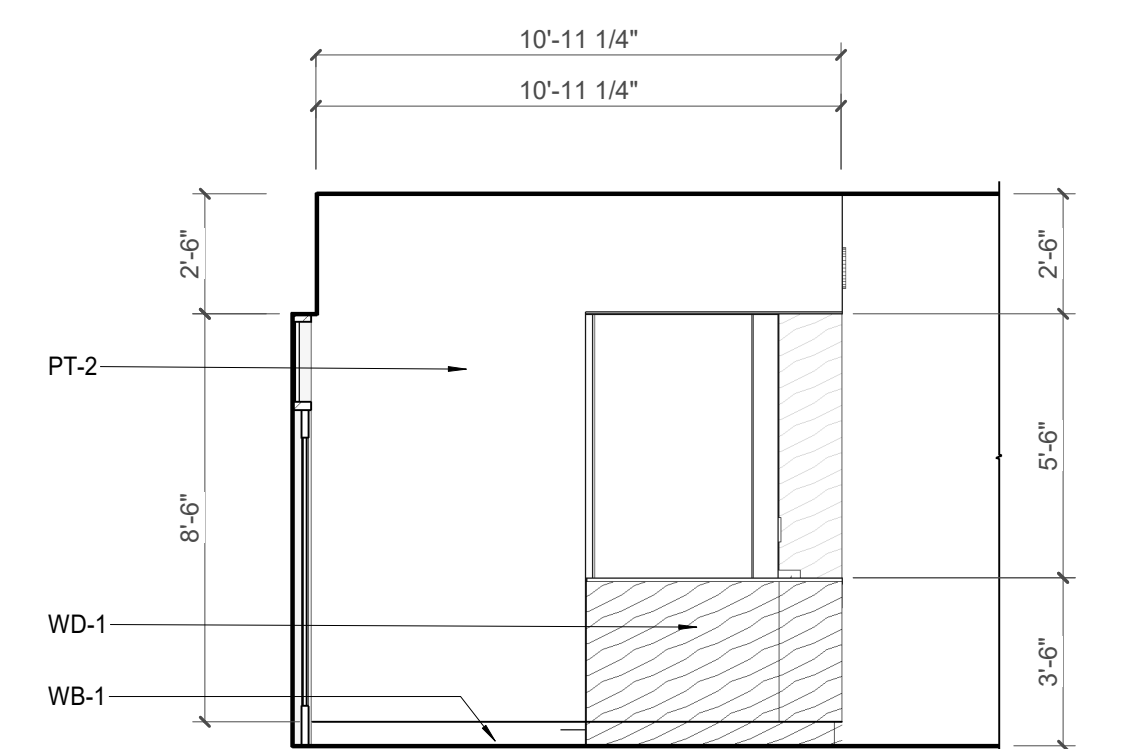
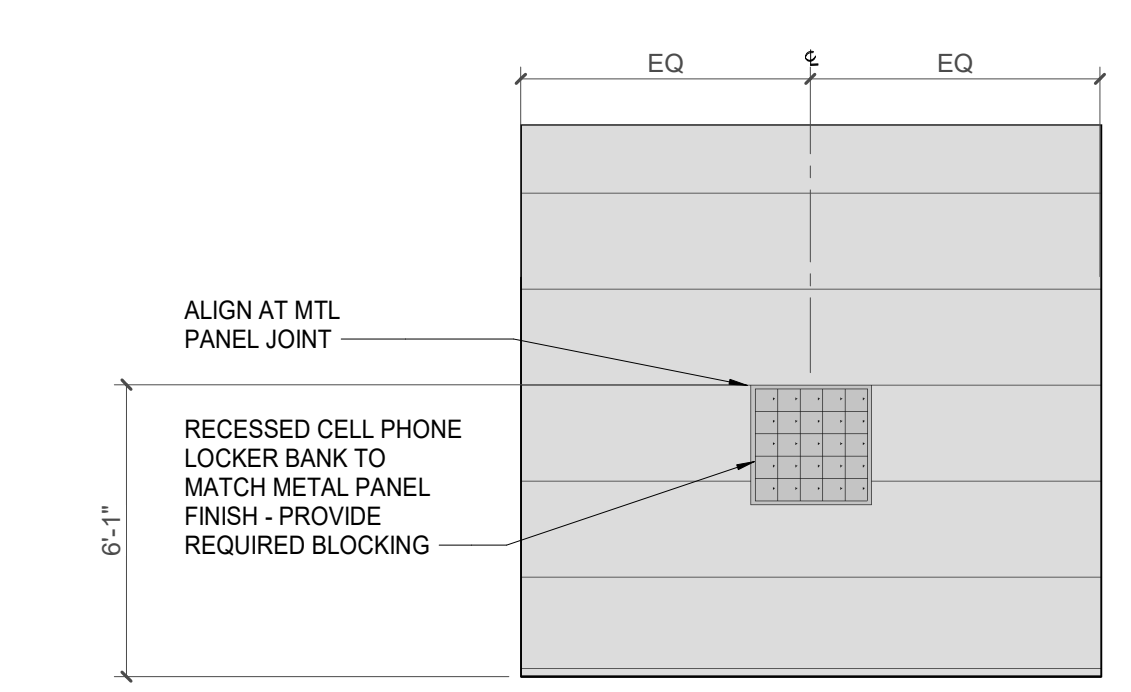
WALL LEGEND

—————	2 HR PARTITION (ASSEMBLY VARIES)
—————	1 HR PARTITION (ASSEMBLY VARIES)
—————	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
—————	NEW PARTITION (ASSEMBLY VARIES)
—————	EXISTING PARTITION
--- -- ---	EXISTING PARTITION TO BE DEMOLISHED

KEYNOTES - FLOOR PLANS

TAG	TEXT
1	SOFFIT ABOVE (DASHED)
2	EXISTING EGRESS STAIR TO REMAIN - PREP & PAINT EXISTING HANDRAILS, STAIR, & WALLS TO REMAIN
3	EXISTING ELEVATOR TO BE MODIFIED/REPLACED AS REQUIRED TO REACH ALL FOUR (4) FLOORS. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
4	EXISTING ELEVATOR - REFURBISH EQUIPMENT & CONTROLS, NEW FINISHES TO INTERIOR OF CAR AS REQ'D. SEE ELEVATOR PLANS & DETAILS SHEET FOR INFO.
5	NEW FLOOR DRAIN - REFER TO PLUMBING
6	SHADED AREA DENOTES NEW CONCRETE FLOOR SLAB - REFER TO STRUC.
7	BALLISTIC LEVEL 3 RATING AND GLAZING - CONT. TO 8'-0" AFF MIN.
8	MOBILE VEHICLE LIFT
9	OVERHEAD COILING DOOR. SEE MANUF. REQ'S
10	OWNER PROVIDED WOOD PEW SEATING - N.I.C.
11	OWNER PROVIDED 36" DEEP OPEN SHELVING - N.I.C.
12	18" X 24" X 72" HEAVY DUTY LOCKER WITH DRAWER/BENCH (TYPE 1)
13	18" X 24" X 72" HEAVY DUTY THREE-TIER LOCKERS (TYPE 2)
14	NEW PASS THRU LOCKERS - TYPE 3
15	RECESSED SIDE ARMS LOCKERS (ONE FOUR DOOR UNIT AT EACH DOOR)
16	PUBLIC WEAPONS STG LOCKERS - TABLET PHONE WALL LOCKERS WITH 12 DOORS (TYPE 5)
17	CANOPY ABOVE (DASHED)
18	OWNER PROVIDED DRYING CABINETS - N.I.C.
19	OWNER PROVIDED COPIER - N.I.C.
20	PROVIDE REQ. BLOCKING FOR LOCATIONS WHERE WALL MOUNTED TV MONITORS ARE LOCATED. REFER TO EQUIPMENT PLANS FOR LOCATIONS
21	PROVIDE REQ. BLOCKING FOR ALL MARKER BOARD LOCATIONS
22	KNOX BOX (RECESSED)
23	RECESSED CELL PHONE LOCKERS TO MATCH METAL WALL PANEL
24	METAL DETECTOR ENTRY SECURITY
25	MOP SINK - SEE PLUMBING
26	18" DEEP BOOKSHELVES
27	12" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
28	24" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
29	30" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
30	18" DEEP COUNTER ON L2X2X1/4" HEAVY DUTY WELDED ANGLE SUPPORT BRACKETS
31	PROVIDE NEW HANDRAILS, GUARDRAILS AND EGRESS STAIR ILLUMINATION. PREP AND PAINT EXISTING STAIR & WALLS TO REMAIN
32	OPERABLE FOLDING PARTITION
33	NEW DROP BOX
34	HIGH LOW WATER COOLER
35	OWNER PROVIDED HIGH DENSITY MOBILE STORAGE SYSTEM AND OVERSHELF RAILS
36	6" DEEP SHELF
37	ABANDON EXISTING ELEVATOR
38	EXISTING FULL HEIGHT SPANDREL PANEL
39	TWO-WAY COMMUNICATOR (BLACK FINISH). PROVIDE CUTSHEET AND VERIFY COLOR SELECTION WITH MFR PRIOR TO PURCHASE - BASIS OF DESIGN AUTHUS BY C.R. LAURENCE
40	OWNER PROVIDED REFRIGERATOR, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
41	OWNER PROVIDED REFRIGERATOR UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
42	OWNER PROVIDED BUNN COFFEE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
43	OWNER PROVIDED MICROWAVE UNDERCOUNTER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
44	OWNER PROVIDED UNDERCOUNTER DISHWASHER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
45	OWNER PROVIDED COOKTOP AND HOOD, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
46	OWNER PROVIDED ICE MAKER, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
47	NEW WATER HEATER - SEE PLUMBING
48	WALL MOUNTED MOP & BROOM HOLDER
49	APPLY TRANSLUCENT FILM TO INSIDE FACE OF GLAZING
50	IMPACT RESISTANT STEEL BOLLARD, GENERAL LOCATION SHOWN, COORDINATE LOCATION IN FIELD.
51	NEW CONCRETE RAMP, SEE SITE DETAILS AS400 & STRUCTURAL DRAWINGS FOR INFO.
52	NEW SHOOTING RANGE, SEE SHOOTING RANGE PLANS A108 FOR INFO.
53	PROVIDE WHEEL STOPS AT ACCESSIBLE PARKING LOCATIONS
54	NEW FOLDING ARM, SEE ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
55	NEW BADGE IN ACCESS READER, SEE SHEET AS120 AND ELECTRICAL FOR ADDITIONAL INFORMATION
56	RESTRIP PARKING TO ACCOMMODATE FOR ACCESSIBLE PARKING SPACES SHOWN. REFER TO CIVIL FOR ADA SIGNAGE AND PARKING SYMBOLS
57	NEW TRENCH DRAIN - SEE PLUMBING
58	NEW HOSE BIB - SEE PLUMBING
59	EYE WASH - SEE PLUMBING
60	1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 1) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
61	1" FLUSH FLOOR TO FLOOR 2 HR EXPANSION JOINT (TYPE 2) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
62	1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 3) TO MATCH ADJACENT CARPET - SEE STRUC AND DETAILS ON A111.2
63	1" FLUSH FLOOR TO WALL 2 HR EXPANSION JOINT (TYPE 4) TO MATCH ADJACENT TILE - SEE STRUC AND DETAILS ON A111.2
64	1" FLUSH WALL CEILING TO WALL/CEILING EXPANSION JOINT (TYPE 5) TO MATCH ADJACENT PAINT COLOR - SEE STRUC AND DETAILS ON A111.2
65	1" EXPANSION JOINT (TYPE 6) TO MATCH ADJACENT BRICK - SEE STRUC AND DETAILS
66	ADA PUSH BUTTON
67	FLOOR BOX - VERIFY FINAL LOCATION PRIOR TO INSTALLATION W/ ARCHITECT, COORDINATE W/ SYSTEMS FURNITURE - SEE ELECTRICAL
68	OWNER PROVIDED VENDING MACHINE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
69	CEILING MOUNTED TV, PROVIDE NECESSARY MOUNTING HARDWARE - SEE ELECTRICAL AND TELECOMMUNICATIONS
70	OWNER PROVIDED MICROWAVE, N.I.C. - COORDINATE REQUIRED UTILITY CONNECTIONS
71	24" DEEP STAINLESS PASS THROUGH COUNTER INSTALLED 34" A.F.F. SEE ENLARGED PLANS FOR INFO.
72	EXISTING ELEVATOR - TO BE ABANDONED. WELD DOORS SHUT AND INFILL OPENING WITH METAL STUD FRAMING.

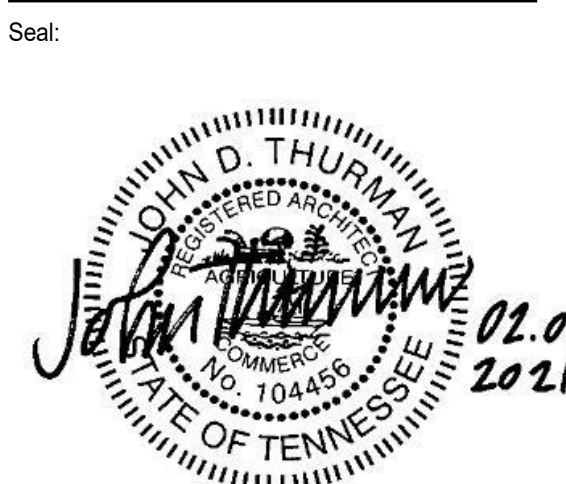
2 CA - LEVEL LL2 LOBBY VIEW 01
A812.1





Project Information:
19018

COK SAFETY BUILDING
900 East Oak Hill Ave, Knoxville, TN



Consultant:
Architects Design Group

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3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 1, 2021
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	B. PIERCY

Drawing Info:

A901

WP - 1ST LEVEL FINISH PLAN

FINISH PLAN GENERAL NOTES

- TYPICAL WALL FINISH TO BE PT-1, UNO
- TYPICAL WALL BASE TO BE WD-1, UNO
- NEW WALL-BASE SHALL BE INSTALLED ON ALL NEW AND EXISTING WALLS, ALONG BOTTOM OF EXPOSED FRONTS, BACKS, SIDES, AND ENDS OF ALL FIXED CABINETS, U.N.O. ON THE INTERIOR ELEVATIONS.
- ALL NEW GYP. BD. PARTITIONS/OFFSETS TO BE PAINTED EGGSHELL FOR VERTICAL, FLAT FOR HORIZONTAL SURFACES, U.N.O.
- DOOR FRAMES OCCURRING IN ACCENT WALLS TO BE THE SAME COLOR AS THE WALL ON WHICH IT OCCURS, SEMIGLOSS FINISH.
- FURNISH AND INSTALL TRANSITIONS WHERE FLOORING MATERIALS CHANGE, U.N.O. FINISH ON BOTH SIDES OF TRANSITION TO BE A MAX. HEIGHT DIFFERENCE OF 1/4", U.N.O. REFER TO A830.1 SERIES FOR TRANSITION DETAILS.
- ALL FLOOR FINISH TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR WHEN DOOR IS IN CLOSED POSITION, U.N.O.
- WALL TILE THAT TURNS OR ENDS ON AN OUTSIDE CORNER SHOULD BE FINISHED WITH A METAL TRANSITION AT THE VERTICAL EDGE, U.N.O. REFER TO SPECIFICATIONS TYPE AND FINISH.
- RESILIENT WALL BASE AT ALL CARPETED AREAS SHALL BE STRAIGHT BASE, UNO.
- PROVIDE CONTROL JOINTS AS REQ'D BY FLOORING MANUFACTURER'S PRODUCT RECOMMENDATIONS.
- EXTEND ALL SPECIFIED FLOORING UNDER MILLWORK & EQUIPMENT IN THAT AREA, U.N.O.
- PROVIDE COAT HOOKS IN ALL RESTROOM STALLS AND ON OFFICE SIDE DOOR LEAFS, U.N.O.
- ALL RUBBER BASE SHALL BE SEALED TIGHT TO FINISHED FLOOR MATERIAL.
- WHERE WALL CERAMIC TILE MEETS FLOOR, PROVIDE A WATER RESILIENT SILICONE CAULKING AT JOINT.
- SEE ELEVATIONS FOR ADDITIONAL FINISH INFORMATION.
- PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.
- GROUT JOINTS SHALL BE 1/8" MAXIMUM IN WIDTH, U.N.O. IN SPECIFICATIONS.
- WOOD GRAIN LAMINATES SHALL BE INSTALLED WITH GRAIN RUNNING IN THE VERTICAL DIRECTION, U.N.O.
- WINDOW SHADES SHALL BE INSTALLED AT ALL EXTERIOR WINDOWS U.N.O.
- ALL EXPOSED INTERIOR BRICK TO BE PAINTED PT-7.
- ALL OUTSIDE EDGES OF WALLS TO RECEIVE 1" VINYL CORNER GUARD.

FINISH PLAN LEGEND

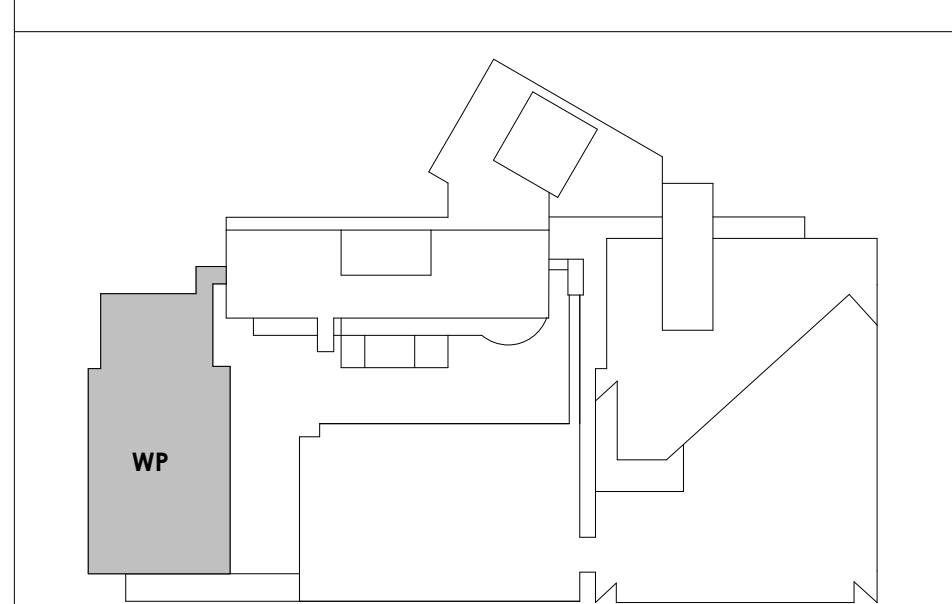
ROOM FINISH TAG REFERENCE A-800'S FOR DETAILS

NAME	REFERENCE	DETAILS
PWC	←	WALL FINISH
RB	←	BASE FINISH
RF	←	FLOOR FINISH
XXXX	XXXX	MILLWORK
XXXX	XXXX	FINISH TAG
PT 1	←	ACCENT WALL DESIGNATION
XXX → XXX	←	FLOOR TRANSITION DESIGNATION
CPT	←	FLOOR TRANSITION DESIGNATION
VCT	←	FLOOR TRANSITION DESIGNATION
←	←	MATERIAL DIRECTION
---	---	CONTROL JOINT
---	---	OUT OF SCOPE

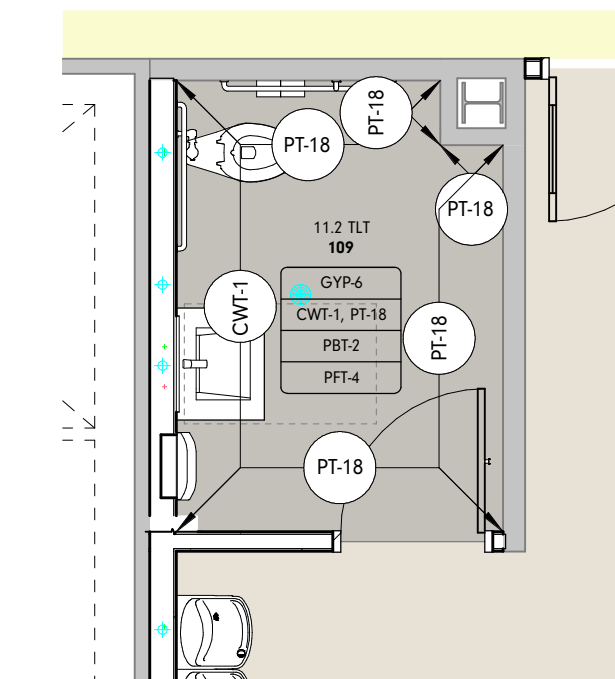
FLOOR FINISH LEGEND

CPT-1	PFF-1
CPT-4	PFF-4
CPT-6	RF-1
CPT-10	SC
ETR	
LVT-1	
LVT-4	

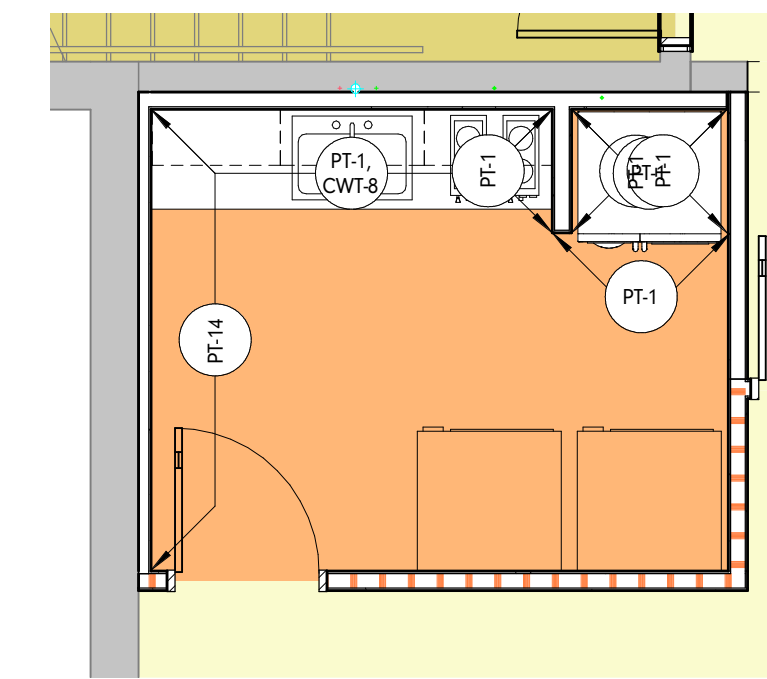
KEY PLAN



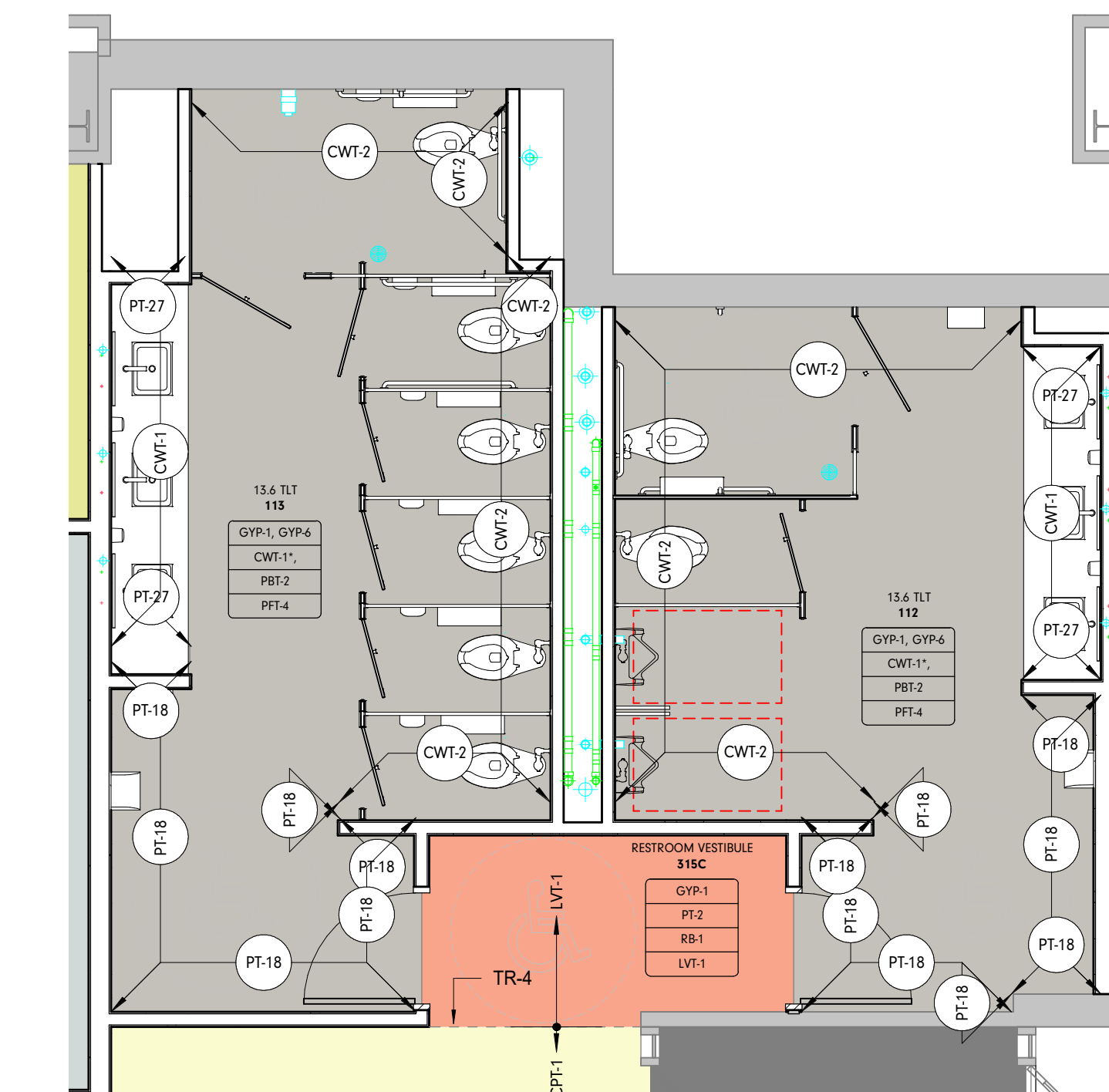
1
A901 **WOMENS PAVILION FIRST LEVEL FINISH PLAN**
1/8" = 1'-0"



2
A901 **11.2 TL ENLARGED FINISH PLAN**
1/4" = 1'-0"



4
A901 **11.4 BREAK 122 ENLARGED FINISH PLAN**
1/4" = 1'-0"



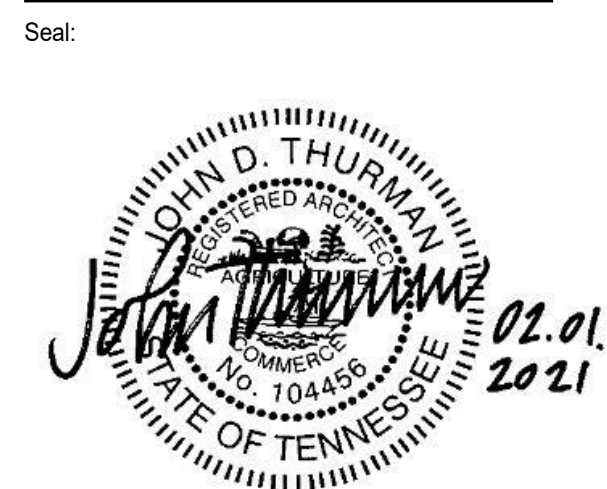
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A901 **13.6 TL ENLARGED FINISH PLAN**
1/4" = 1'-0"



Project Information:
19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:
Architects Design Group

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: TOIPS
 Checked By: BP

A911.1

CA - LL3 CONNECTOR AND LL2 A & B FINISH PLANS

FINISH PLAN GENERAL NOTES

- TYPICAL WALL FINISH TO BE PT-2, UNO
 - TYPICAL WALL BASE TO BE RB-1, UNO
 - NEW WALL BASE SHALL BE INSTALLED ON ALL NEW AND EXISTING WALLS, ALONG BOTTOM OF EXPOSED FRONTS, BACKS, SIDES, AND ENDS OF ALL FIXED CABINETS, U.N.O. ON THE INTERIOR ELEVATIONS
 - ALL NEW GYP. BD. PARTITIONS/SFFITS TO BE PAINTED EGGSHELL FOR VERTICAL, FLAT FOR HORIZONTAL SURFACES, U.N.O.
 - DOOR FRAMES OCCURRING IN ACCENT WALLS TO BE THE SAME COLOR AS THE WALL ON WHICH IT OCCURS, SEMI-GLOSS FINISH.
 - FURNISH AND INSTALL TRANSITIONS WHERE FLOORING MATERIALS CHANGE, U.N.O. FINISH ON BOTH SIDES OF TRANSITION TO BE A MAX. HEIGHT DIFFERENCE OF 1/4"; U.N.O. REFER TO A830.1 SERIES FOR TRANSITION DETAILS.
 - ALL FLOOR FINISH TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR WHEN DOOR IS IN CLOSED POSITION, U.N.O.
 - WALL TILE THAT TURNS OR ENDS ON AN OUTSIDE CORNER SHOULD BE FINISHED WITH A METAL TRANSITION AT THE VERTICAL EDGE, U.N.O. REFER TO SPECIFICATIONS TYPE AND FINISH.
 - RESILIENT WALL BASE AT ALL CARPETED AREAS SHALL BE STRAIGHT BASE, UNO.
 - PROVIDE CONTROL JOINTS AS REQ.D BY FLOORING MANUFACTURER'S PRODUCT RECOMMENDATIONS.
 - EXTEND ALL SPECIFIED FLOORING UNDER MILLWORK & EQUIPMENT IN THAT AREA, U.N.O.
 - PROVIDE COAT HOOKS IN ALL RESTROOM STALLS AND ON OFFICE SIDE DOOR LEAFS, U.N.O.
 - ALL RUBBER BASE SHALL BE SEALED TIGHT TO FINISHED FLOOR MATERIAL.
 - WHERE WALL CERAMIC TILE MEETS FLOOR, PROVIDE A WATER RESILIENT SILICONE CAULKING AT JOINT.
 - SEE ELEVATIONS FOR ADDITIONAL FINISH INFORMATION.
 - PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.
 - GROUT JOINTS SHALL BE 1/8" MAXIMUM IN WIDTH, U.N.O. IN SPECIFICATIONS.
 - WOOD GRAIN LAMINATES SHALL BE INSTALLED WITH GRAIN RUNNING IN THE VERTICAL DIRECTION, U.N.O.
 - WINDOW SHADES SHALL BE INSTALLED AT ALL EXTERIOR WINDOWS U.N.O.
 - ALL EXPOSED INTERIOR BRICK TO BE PAINTED PT-7.
 - ALL OUTSIDE EDGES OF WALLS TO RECEIVE 1" VINYL CORNER GUARD.
 - COAT HOOK TO BE PROVIDED AT EVERY BATHROOM DOOR AND TOILET PARTITION
- * REFER TO ELEVATION FOR FINISH LOCATIONS

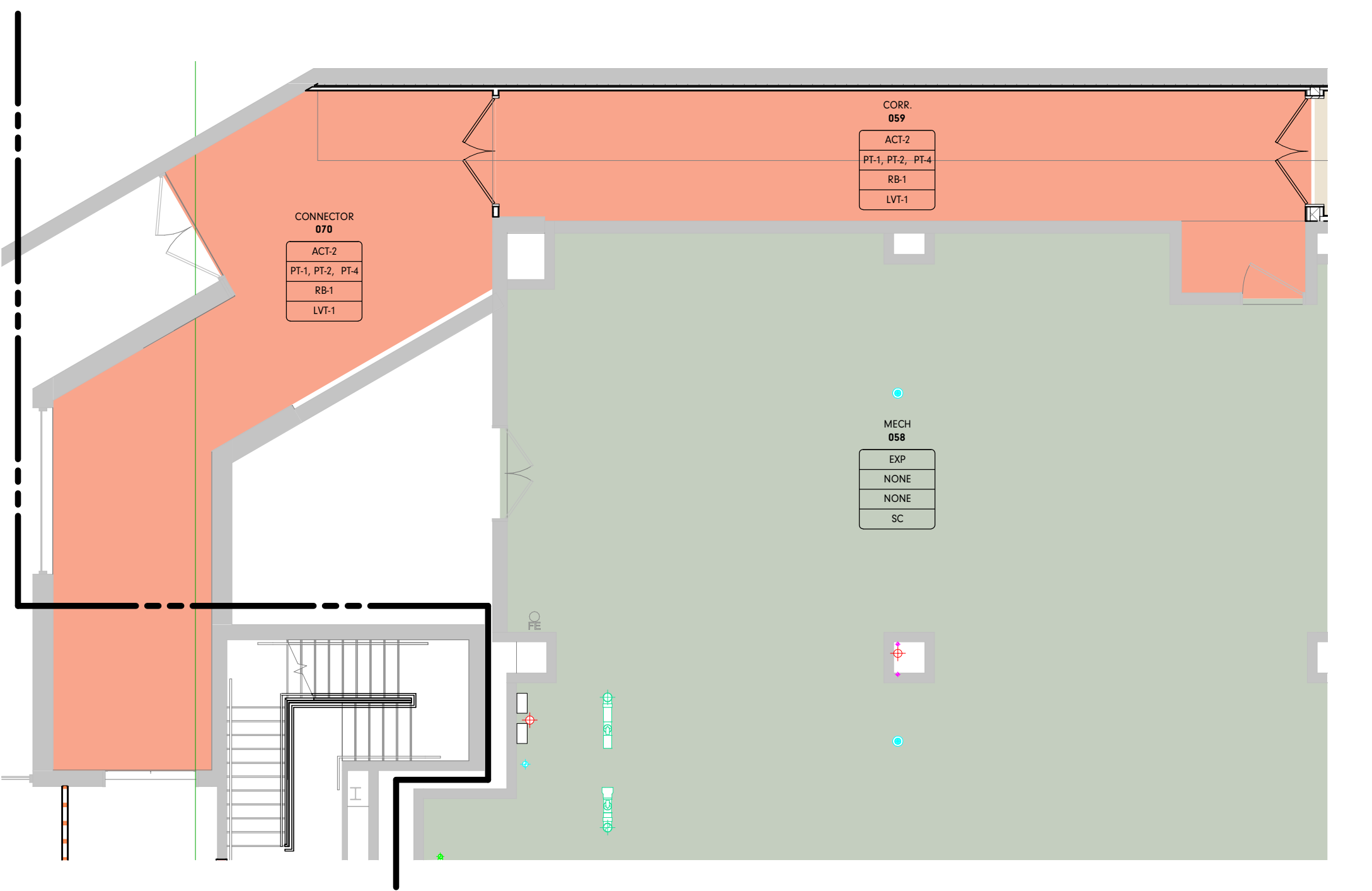
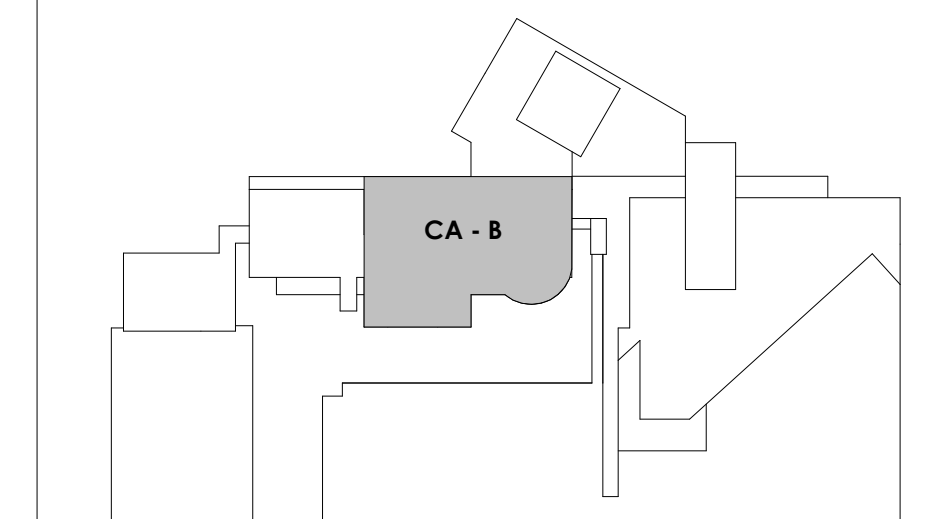
FINISH PLAN LEGEND

ROOM FINISH TAG	REFERENCE A-600'S FOR DETAILS
WALL FINISH	* DENOTES MULTIPLE FINISHES, REFER TO REFLECTED CEILING PLANS, FLOOR PATTERN PLANS AND/OR ELEVATIONS FOR INFO.
BASE FINISH	
FLOOR FINISH	
MILLWORK	
FINISH TAG	
ACCENT WALL DESIGNATION	
FLOOR TRANSITION DESIGNATION	
FLOOR TRANSITION DESIGNATION	
MATERIAL DIRECTION	
CONTROL JOINT	
OUT OF SCOPE	

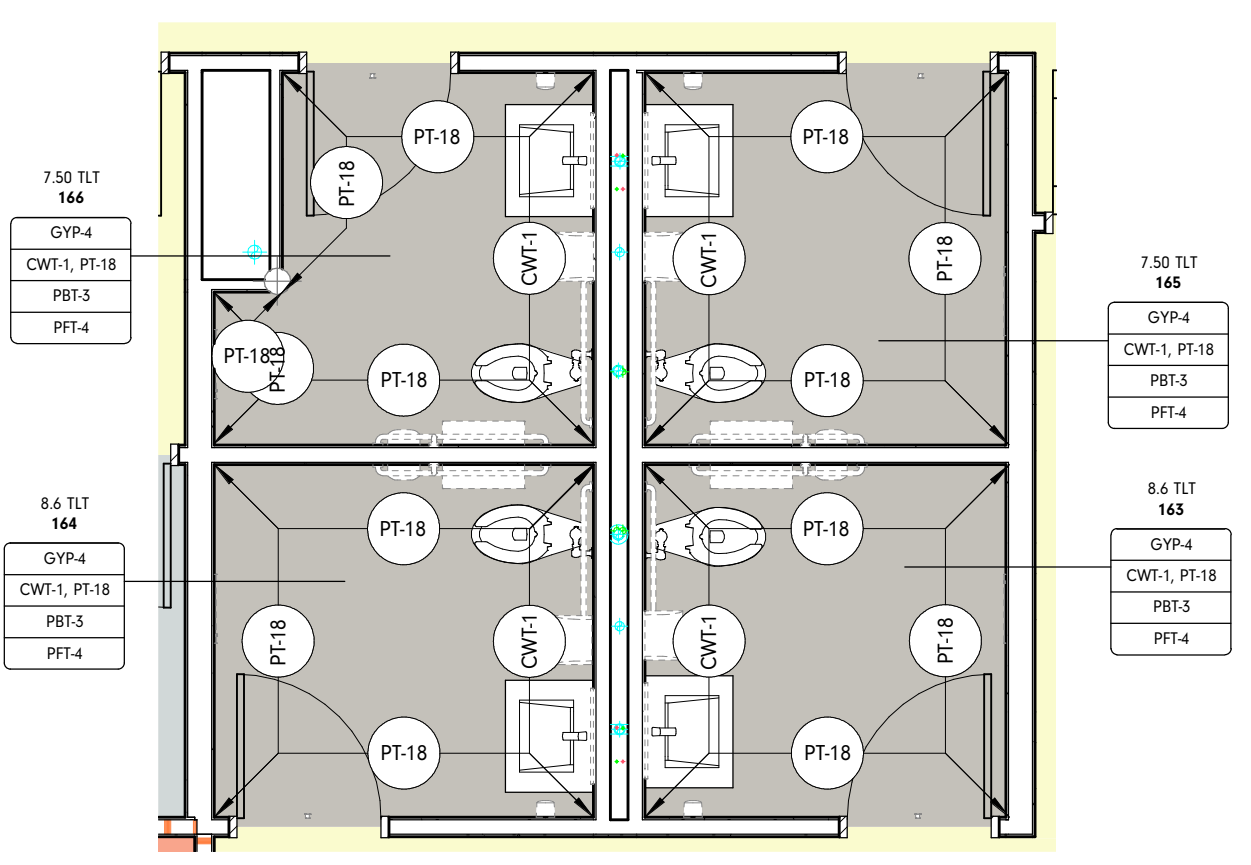
FLOOR FINISH LEGEND

CPT-1	LVT-1
CPT-3	PFF-1
CPT-4	PFF-4
CPT-4	SC
CPT-4	SC
CPT-10	
ETR	

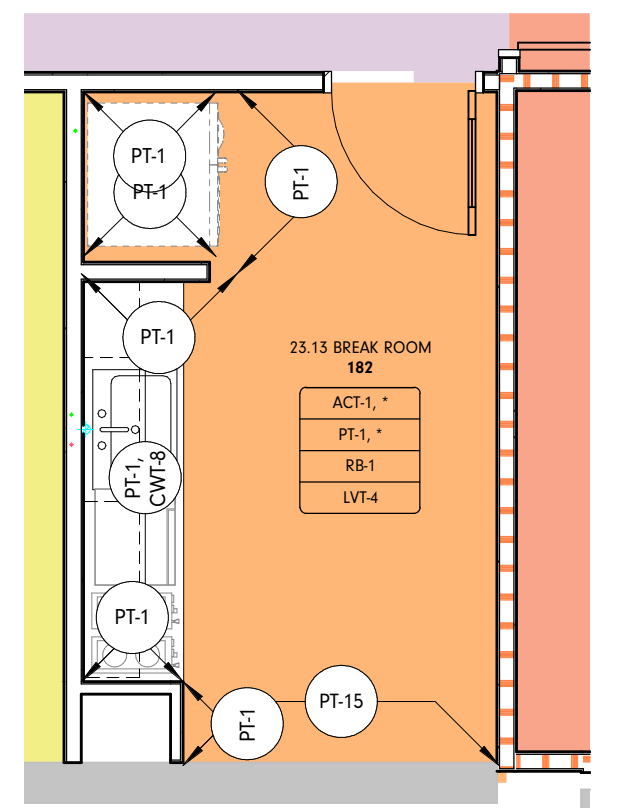
KEY PLAN



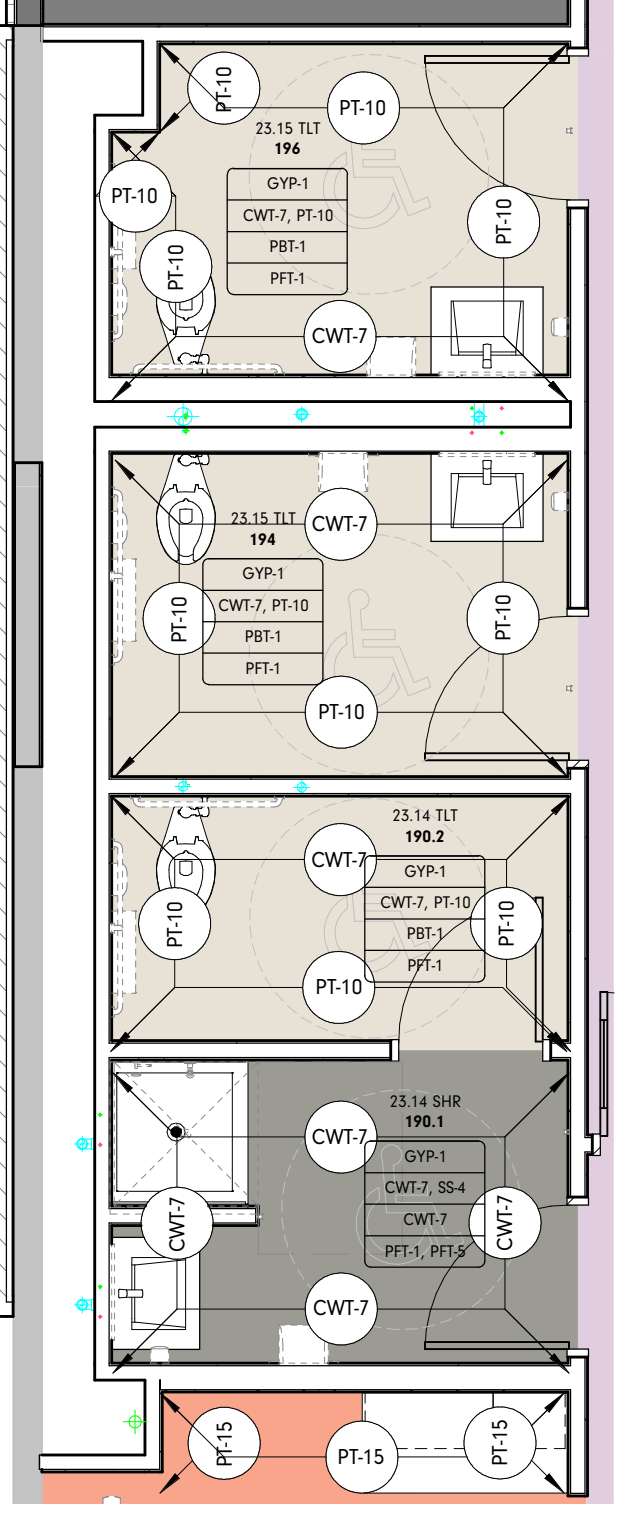
7 INT - CENTRAL ANNEX - LEVEL LL3 WP CONNECTOR FINISH PLAN
1/8" = 1'-0"



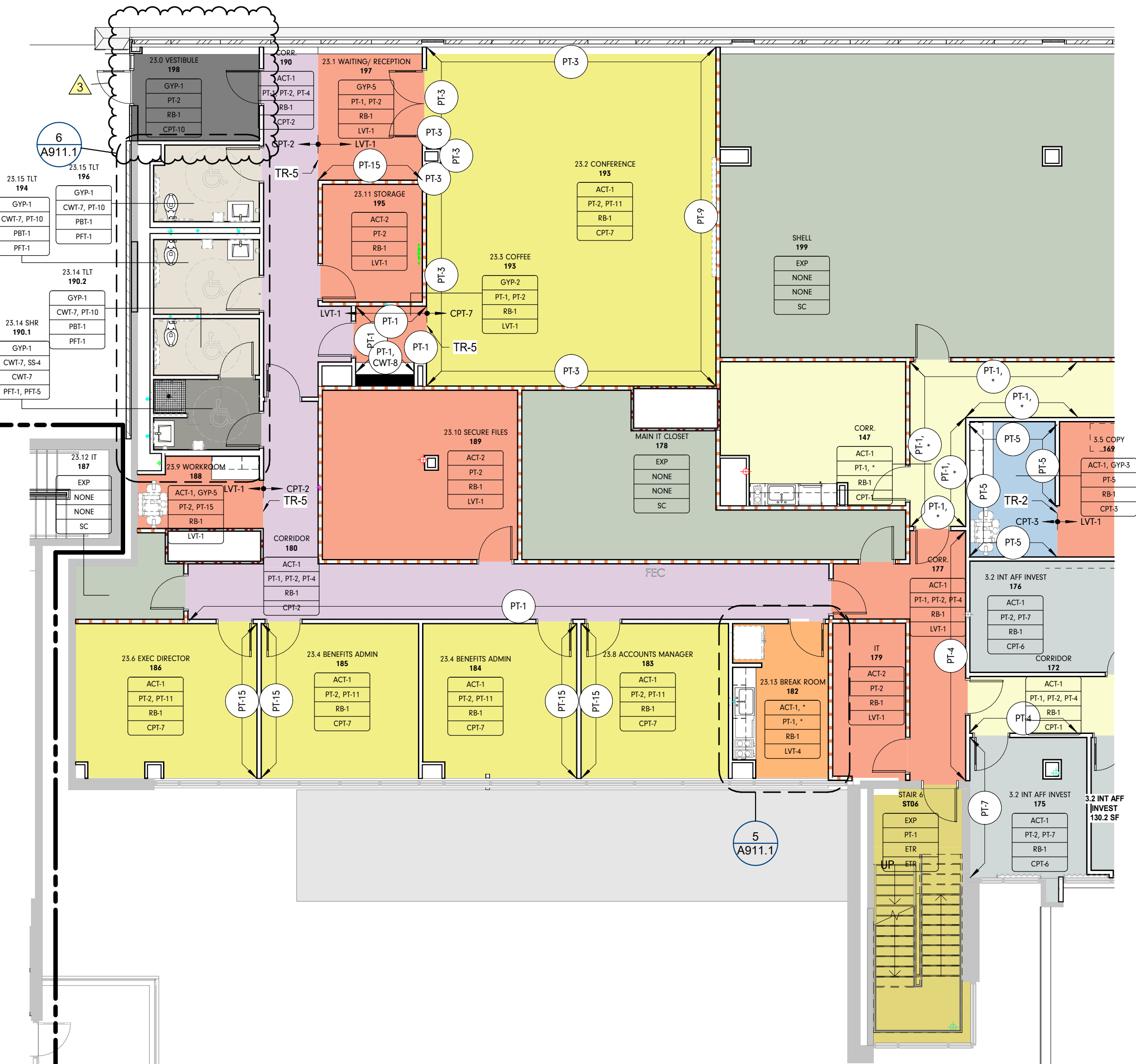
3 7.5 TLT ENLARGED FINISH PLAN
1/4" = 1'-0"



5 23.13 BREAK ROOM 182 ENLARGED FINISH PLAN
1/4" = 1'-0"



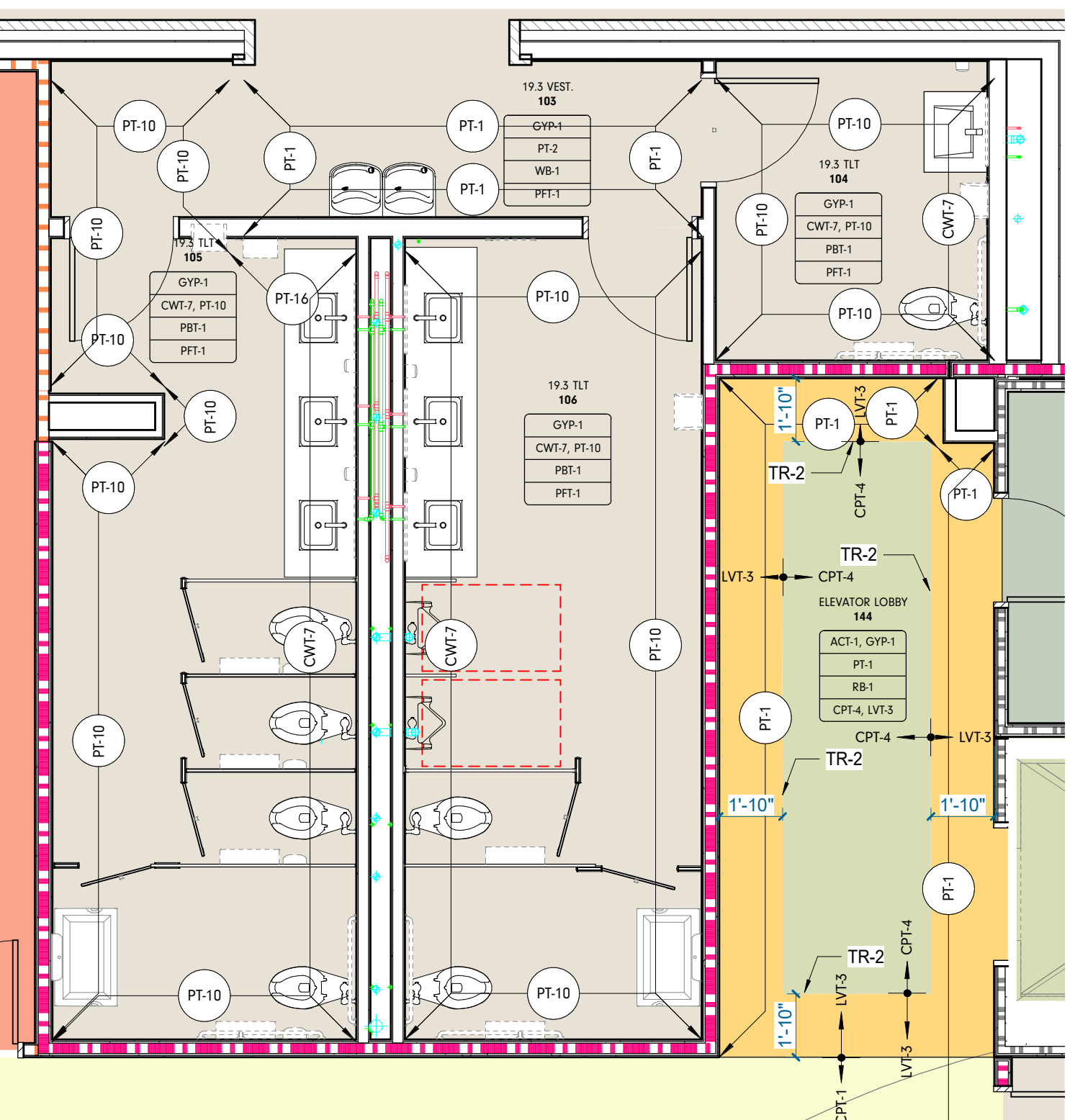
6 23.14 / 23.15 TLT SHR / TLT ENLARGED FINISH PLAN
1/4" = 1'-0"



1 INT - CENTRAL ANNEX - LEVEL LL2 A FINISH PLAN
1/8" = 1'-0"



2 INT - CENTRAL ANNEX - LEVEL LL2 B FINISH PLAN
1/8" = 1'-0"



4 19.3 TLT ENLARGED FINISH PLAN
1/4" = 1'-0"



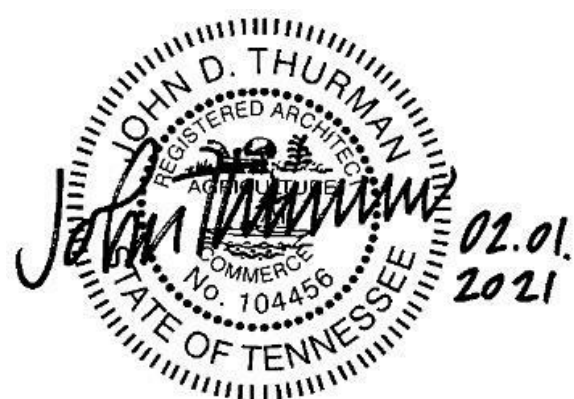
Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:
Architects Design Group

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3	ADD #03.1	02/24/21

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 PIC: DAVID COLLINS
 PM: JOHN THURMAN
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 Drawn By: TOIPS
 Checked By: BP

Drawing Info:

A911.2

CA - LL2 C FINISH PLANS

FINISH PLAN GENERAL NOTES

- TYPICAL WALL FINISH TO BE PT-2, UNO
 - TYPICAL WALL BASE TO BE RB-1, UNO
 - NEW WALL BASE SHALL BE INSTALLED ON ALL NEW AND EXISTING WALLS, ALONG BOTTOM OF EXPOSED FRONTS, BACKS, SIDES, AND ENDS OF ALL FIXED CABINETS, U.N.O. ON THE INTERIOR ELEVATIONS
 - ALL NEW GYP. BD. PARTITIONS/SOFFITS TO BE PAINTED EGGSHELL FOR VERTICAL, FLAT FOR HORIZONTAL SURFACES, U.N.O.
 - DOOR FRAMES OCCURRING IN ACCENT WALLS TO BE THE SAME COLOR AS THE WALL ON WHICH IT OCCURS, SEMI-GLOSS FINISH.
 - FURNISH AND INSTALL TRANSITIONS WHERE FLOORING MATERIALS CHANGE, U.N.O. FINISH ON BOTH SIDES OF TRANSITION TO BE A MAX. HEIGHT DIFFERENCE OF 1/4"; U.N.O. REFER TO A830.1 SERIES FOR TRANSITION DETAILS.
 - ALL FLOOR FINISH TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR WHEN DOOR IS IN CLOSED POSITION, U.N.O.
 - WALL TILE THAT TURNS OR ENDS ON AN OUTSIDE CORNER SHOULD BE FINISHED WITH A METAL TRANSITION AT THE VERTICAL EDGE, U.N.O. REFER TO SPECIFICATIONS TYPE AND FINISH.
 - RESILIENT WALL BASE AT ALL CARPETED AREAS SHALL BE STRAIGHT BASE, UNO.
 - PROVIDE CONTROL JOINTS AS REQ.D BY FLOORING MANUFACTURER'S PRODUCT RECOMMENDATIONS.
 - EXTEND ALL SPECIFIED FLOORING UNDER MILLWORK & EQUIPMENT IN THAT AREA, U.N.O.
 - PROVIDE COAT HOOKS IN ALL RESTROOM STALLS AND ON OFFICE SIDE DOOR LEAFS, U.N.O.
 - ALL RUBBER BASE SHALL BE SEALED TIGHT TO FINISHED FLOOR MATERIAL.
 - WHERE WALL CERAMIC TILE MEETS FLOOR, PROVIDE A WATER RESILIENT SILICONE CAULKING AT JOINT.
 - SEE ELEVATIONS FOR ADDITIONAL FINISH INFORMATION.
 - PAINT REVEALS AND FILER PANELS TO MATCH ADJACENT FINISHES, UNO.
 - GROUT JOINTS SHALL BE 1/8" MAXIMUM IN WIDTH, U.N.O. IN SPECIFICATIONS.
 - WOOD GRAIN LAMINATES SHALL BE INSTALLED WITH GRAIN RUNNING IN THE VERTICAL DIRECTION, U.N.O.
 - WINDOW SHADES SHALL BE INSTALLED AT ALL EXTERIOR WINDOWS U.N.O.
 - ALL EXPOSED INTERIOR BRICK TO BE PAINTED PT-7.
 - ALL OUTSIDE EDGES OF WALLS TO RECEIVE 1" VINYL CORNER GUARD.
 - COAT HOOK TO BE PROVIDED AT EVERY BATHROOM DOOR AND TOILET PARTITION
- * REFER TO ELEVATION FOR FINISH LOCATIONS

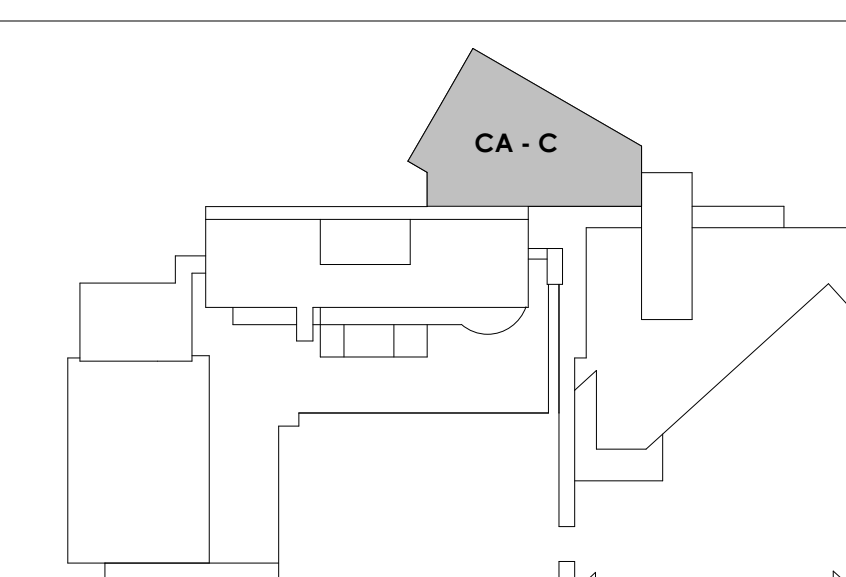
FINISH PLAN LEGEND

ROOM FINISH TAG	REFERENCE A-600's FOR DETAILS
NAME AREA	
WALL FINISH	* DENOTES MULTIPLE FINISHES, REFER TO REFLECTED CEILING PLANS, FLOOR PATTERN PLANS AND/OR ELEVATIONS FOR INFO.
BASE FINISH	
FLOOR FINISH	
MILLWORK	
FINISH TAG	
ACCENT WALL DESIGNATION	
FLOOR TRANSITION DESIGNATION	
FLOOR TRANSITION DESIGNATION	
MATERIAL DIRECTION	
CONTROL JOINT	
OUT OF SCOPE	

FLOOR FINISH LEGEND

CPF-1	PTF-1
CPF-5	SC
CPF-6	
CPF-10	
ETR	
LVT-1	
LVT-4	

KEY PLAN



2 22.14 TLT ENLARGED FINISH PLAN
A911.2 1/4" = 1'-0"

3 COURT OFFICE RECEPTION ENLARGED FINISH PLAN
A911.2 1/4" = 1'-0"

1 INT - CENTRAL ANNEX - LEVEL LL2 C FINISH PLAN
A911.2 1/8" = 1'-0"



Project Information:

19018

**COK PUBLIC SAFETY
COMPLEX**
900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
1	ADD #1.1	02/10/21
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PKC PM CSB

PA Drawn By: CWR

Checked By: RAH

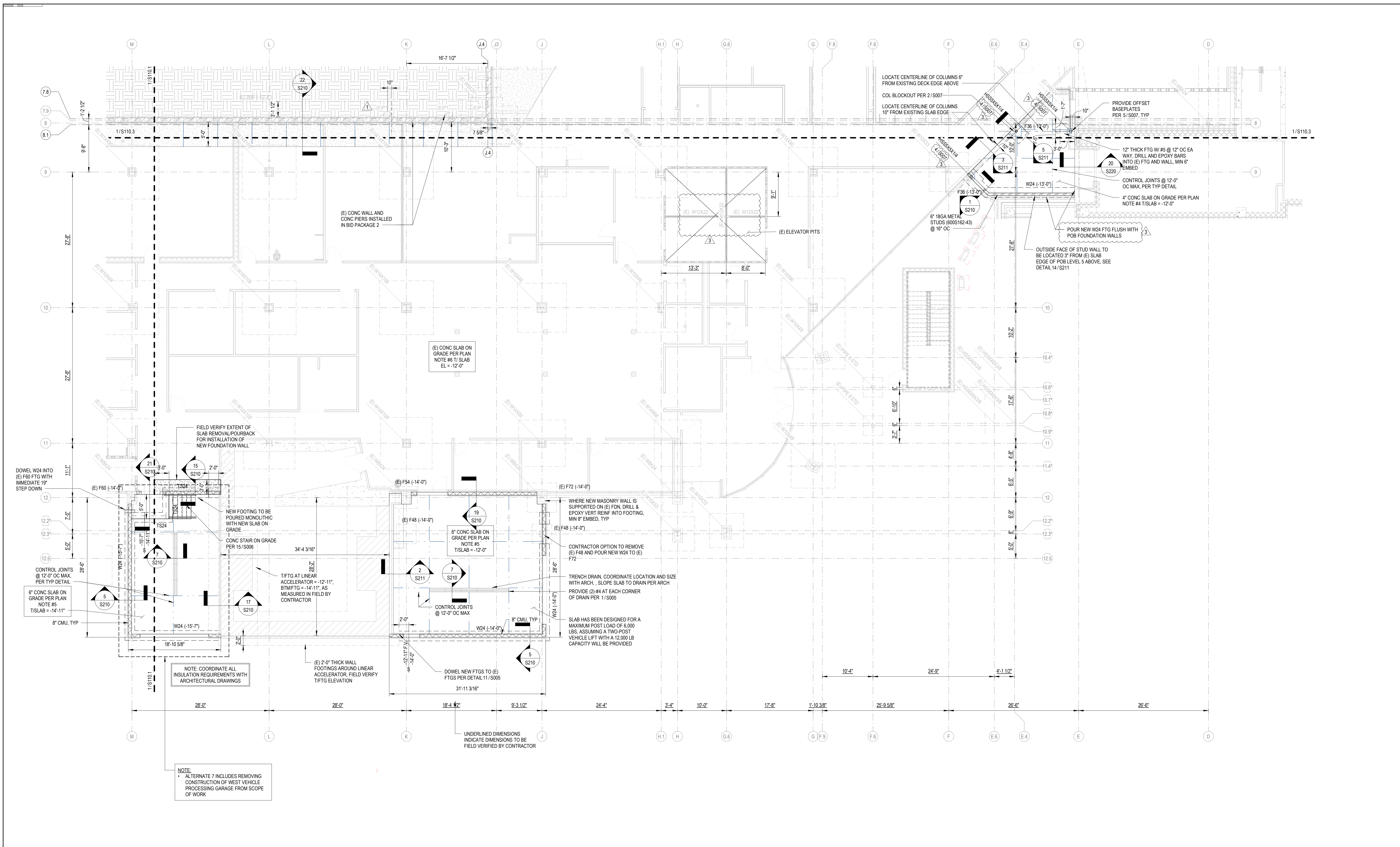
Drawing Info:

S110.2

CA - LEVEL LL3 B

FOUNDATION PLAN

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1 CENTRAL ANNEX - LEVEL LL3 FOUNDATION PLAN B

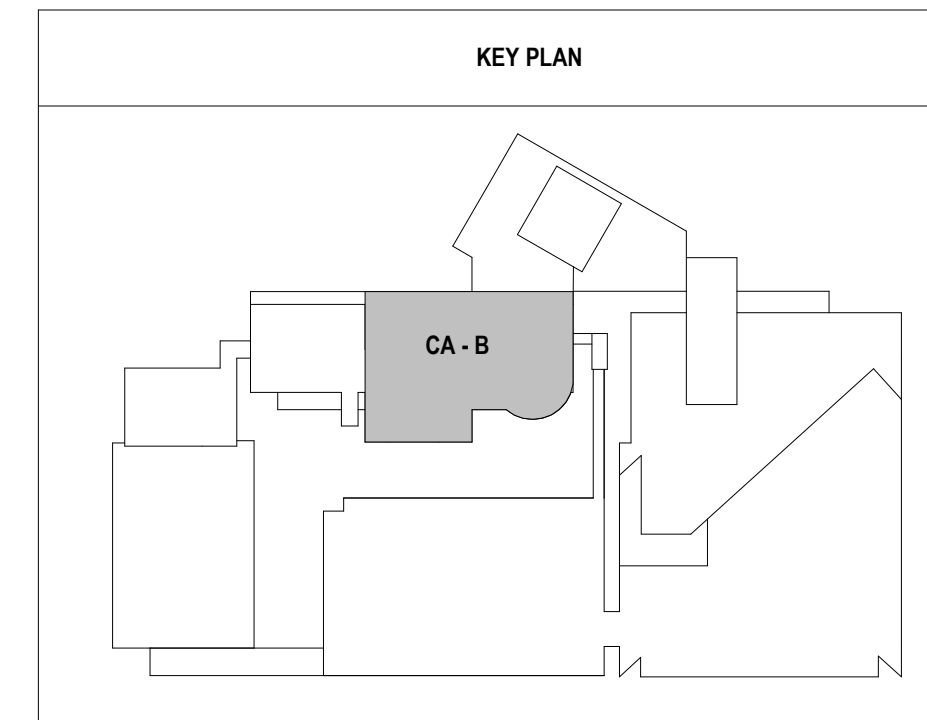
1/8" = 1'-0"

- FOUNDATION PLAN NOTES**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". TOP OF SLAB ON GRADE AT LL2 IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 - TI INTERIOR FOOTING ELEVATION = -12'-0". TYP. UNO
 - TE EXTERIOR FOOTING ELEVATION = -13'-4". TYP. UNO
 - NEW SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
 - NEW SLAB ON GRADE IS 6 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.9XW2.9. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
 - PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W1.4XW1.4 AND HAS BEEN PLACED ON VAPOR BARRIER AND 4" OF GRANULAR FILL, UNLESS NOTED OTHERWISE.
 - () INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
 - F60 INDICATES COLUMN OR ISOLATED SPREAD FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - TS24 & TF24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - TE DENOTES TURN-DOWN SLAB EDGE. SEE TYPICAL DETAIL FOR SIZE AND REINFORCEMENT.
 - PI INDICATES REINFORCED CONCRETE PEDESTAL. SEE SCHEDULE FOR SIZE AND REINFORCEMENT. TOP OF PEDESTAL IS TO ALIGN WITH ADJACENT WALL UNLESS NOTED OTHERWISE.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
 - FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

COLUMN FOOTING SCHEDULE				
MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
F36	3'-0"	3'-0"	1'-0"	(4)#5 EW BTM
F48	4'-0"	4'-0"	1'-0"	(5)#5 EW BTM
F60	5'-0"	5'-0"	1'-0"	(6)#5 EW BTM
F72	6'-0"	6'-0"	1'-6"	(7)#5 EW TOP & BTM
F78	6'-6"	6'-6"	1'-6"	(8)#5 EW TOP & BTM
F84	7'-0"	7'-0"	1'-6"	(8)#5 EW TOP & BTM
F96	8'-0"	8'-0"	1'-6"	(8)#5 EW TOP & BTM

WALL FOOTING SCHEDULE				
MARK	WIDTH	DEPTH	REINFORCEMENT	
W24	2'-0"	1'-0"	(3)#5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC	
W36	3'-0"	1'-0"	(4)#5 CONT W/ #5 X 2'-6" TRANS @ 1'-6" OC	
W48	4'-0"	1'-0"	(5)#5 CONT W/ #5 X 3'-6" TRANS @ 1'-6" OC	
W72A	6'-0"	1'-4"	(5)#5 CONT W/ #5 X 5'-6" TRANS @ 1'-0" OC TOP & BTM	
W72B	6'-0"	2'-6"	(7)#5 CONT W/ #5 X 5'-6" TRANS @ 1'-0" OC TOP & BTM	
W78A	6'-6"	1'-4"	(7)#5 CONT W/ #5 X 6'-0" TRANS @ 1'-0" OC BTM	
W78B	6'-6"	1'-6"	(8)#5 CONT W/ #5 X 6'-0" TRANS @ 1'-0" OC TOP & BTM	
W87	7'-3"	1'-4"	(8)#5 CONT W/ #5 X 6'-0" TRANS @ 1'-0" OC TOP & BTM	
W96	8'-0"	1'-6"	(9)#5 CONT W/ #5 X 7'-6" TRANS @ 1'-6" OC TOP & BTM	
W120	10'-0"	2'-6"	(13)#5 CONT W/ #5 X 11'-6" TRANS @ 1'-0" OC TOP & BTM	

FOUNDATION PLAN NOTES



2/24/2021 9:38:32 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



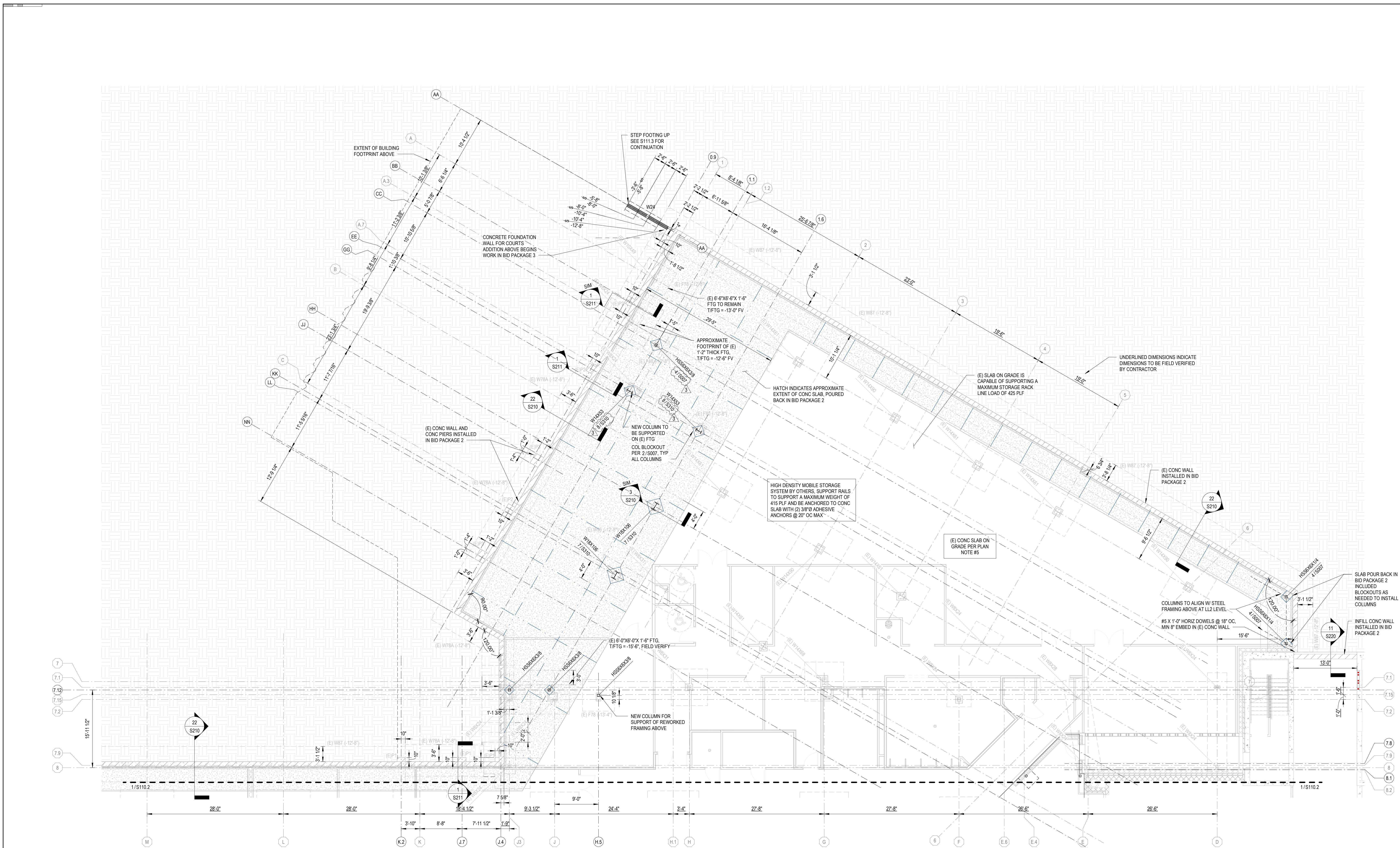
#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PKC	CSB
PM	CSB
PA	
Drawn By:	CWR
Checked By:	RAH
Drawing Info:	

S110.3

CA - LEVEL LL3 C FOUNDATION PLAN



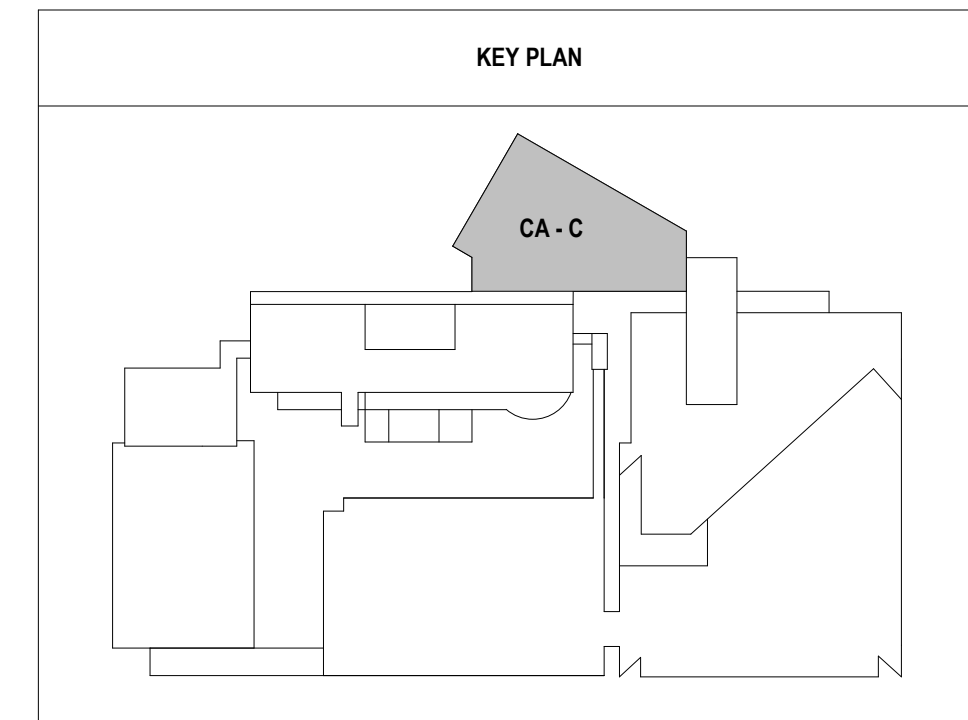
1 CENTRAL ANNEX - LEVEL LL3 FOUNDATION PLAN C

1/8" = 1'-0"

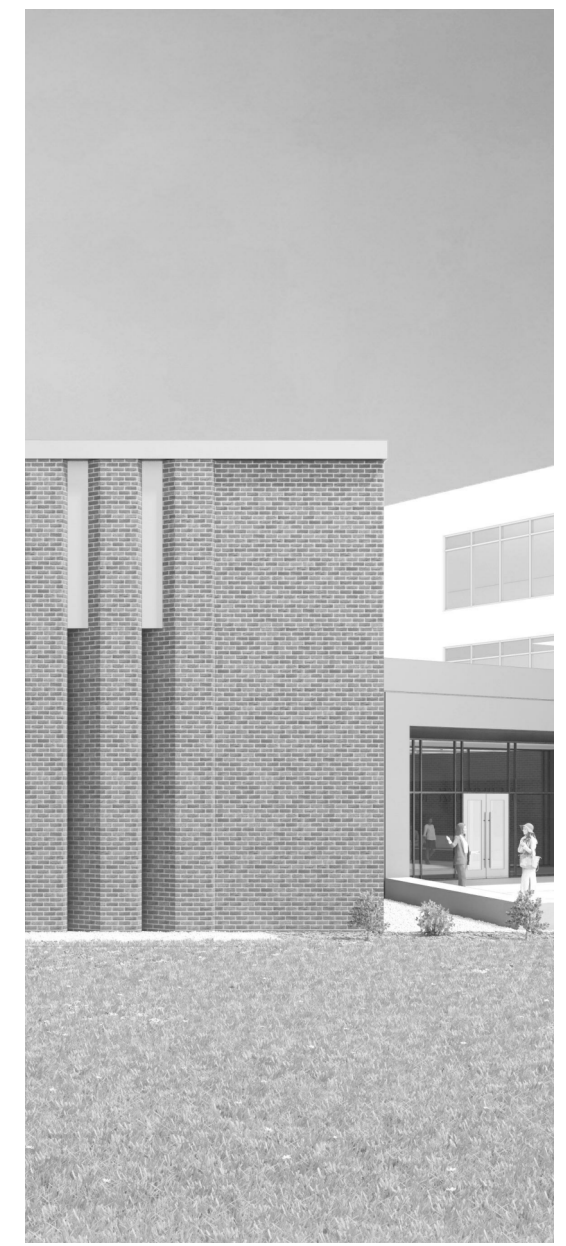
- FOUNDATION PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". UNDO. TOP OF SLAB ON GRADE AT LL2 IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 - T/ INTERIOR FOOTING ELEVATION = -12'-8". TYP. UNDO
 - T/ EXTERIOR FOOTING ELEVATION = -15'-4". TYP. UNDO
 - NEW SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
 - NEW SLAB ON GRADE IS 6 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.2XW2.2. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
 - PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W1.4XW1.4 AND HAS BEEN PLACED ON VAPOR BARRIER AND 4" OF GRANULAR FILL, UNLESS NOTED OTHERWISE.
 - () INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
 - 'F80' INDICATES COLUMN OR ISOLATED SPREAD FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - 'W24' INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - 'TS24' & 'TF24' INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - 'TC' DENOTES TURN-DOWN SLAB EDGE. SEE TYPICAL DETAIL FOR SIZE AND REINFORCING.
 - 'P1' INDICATES REINFORCED CONCRETE PEDESTAL. SEE SCHEDULE FOR SIZE AND REINFORCEMENT. TOP OF PEDESTAL IS TO ALIGN WITH ADJACENT WALL UNLESS NOTED OTHERWISE.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
 - FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

WALL FOOTING SCHEDULE			
MARK	WIDTH	DEPTH	REINFORCEMENT
W24	2'-0"	1'-0"	(3)-#5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC
W36	3'-0"	1'-0"	(4)-#5 CONT W/ #5 X 2'-0" TRANS @ 1'-6" OC
W48	4'-0"	1'-0"	(5)-#5 CONT W/ #5 X 3'-0" TRANS @ 1'-6" OC
W72A	6'-0"	1'-4"	(5)-#5 CONT W/ #5 X 5'-0" TRANS @ 10" OC TOP & BTM
W72B	6'-0"	2'-6"	(7)-#5 CONT W/ #5 X 5'-0" TRANS @ 1'-0" OC TOP & BTM
W78A	6'-6"	1'-4"	(7)-#5 CONT W/ #5 X 6'-0" TRANS @ 12" OC BTM
W78B	6'-6"	1'-6"	(8)-#5 CONT W/ #5 X 6'-0" TRANS @ 1'-0" OC TOP & BTM
W87	7'-3"	1'-4"	(9)-#5 CONT W/ #5 X 6'-0" TRANS @ 10" OC TOP & BTM
W96	8'-0"	1'-6"	(9)-#5 CONT W/ #5 X 7'-0" TRANS @ 1'-0" OC TOP & BTM
W120	10'-0"	2'-6"	(13)-#5 CONT W/ #5 X 11'-6" TRANS @ 1'-0" OC TOP & BTM

COLUMN FOOTING SCHEDULE				
MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
F36	3'-0"	3'-0"	1'-0"	(4)-#5 EW BTM
F48	4'-0"	4'-0"	1'-0"	(5)-#5 EW BTM
F60	5'-0"	5'-0"	1'-0"	(6)-#5 EW BTM
F72	6'-0"	6'-0"	1'-6"	(7)-#5 EW TOP & BTM
F78	6'-6"	6'-6"	1'-6"	(9)-#5 EW TOP & BTM
F84	7'-0"	7'-0"	1'-6"	(9)-#5 EW TOP & BTM
F96	8'-0"	8'-0"	1'-6"	(9)-#5 EW TOP & BTM



FOUNDATIONS PLAN NOTES



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
1	ADD #1.1	02/10/21
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

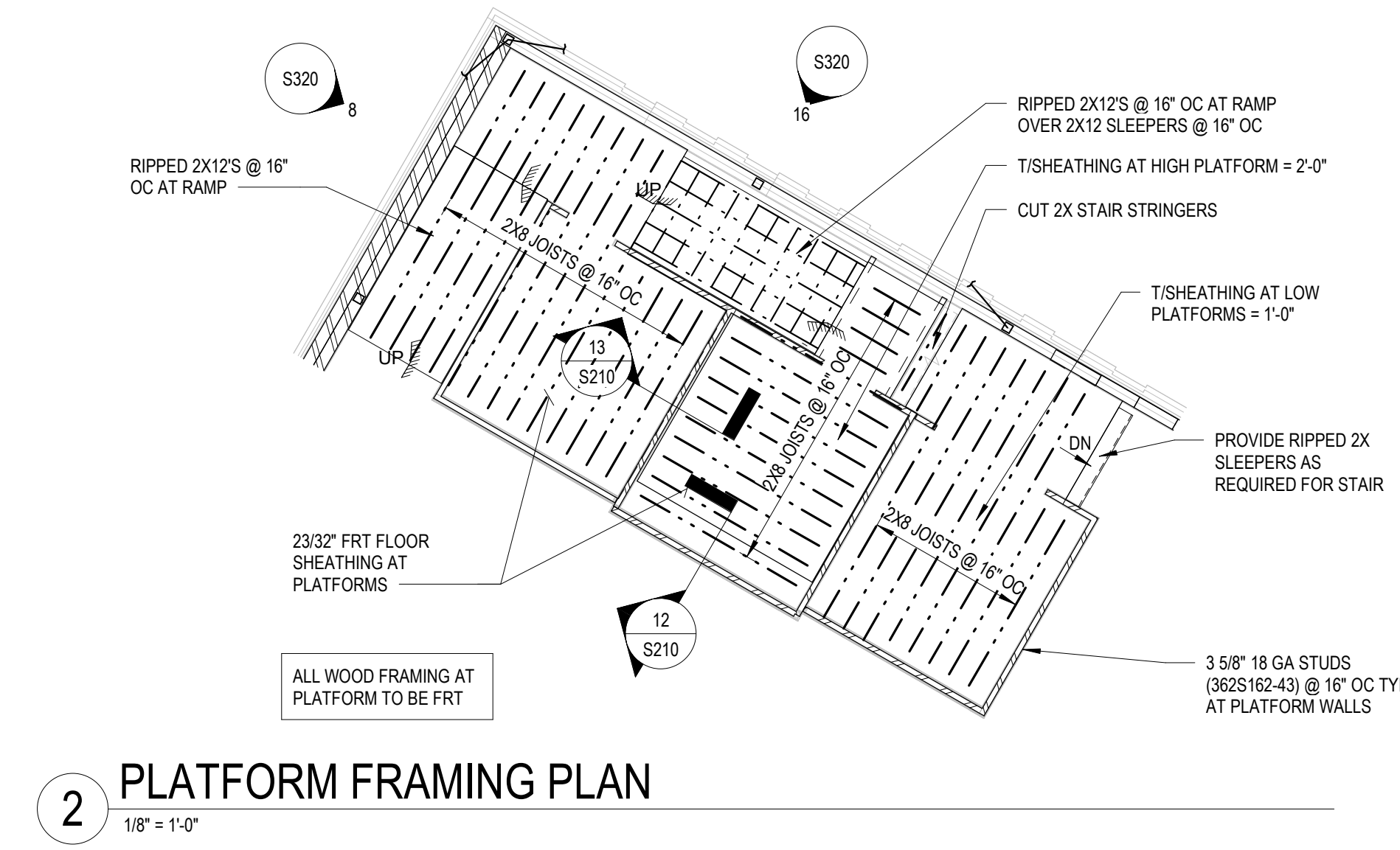
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PA: CSB
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Checked By: RAH

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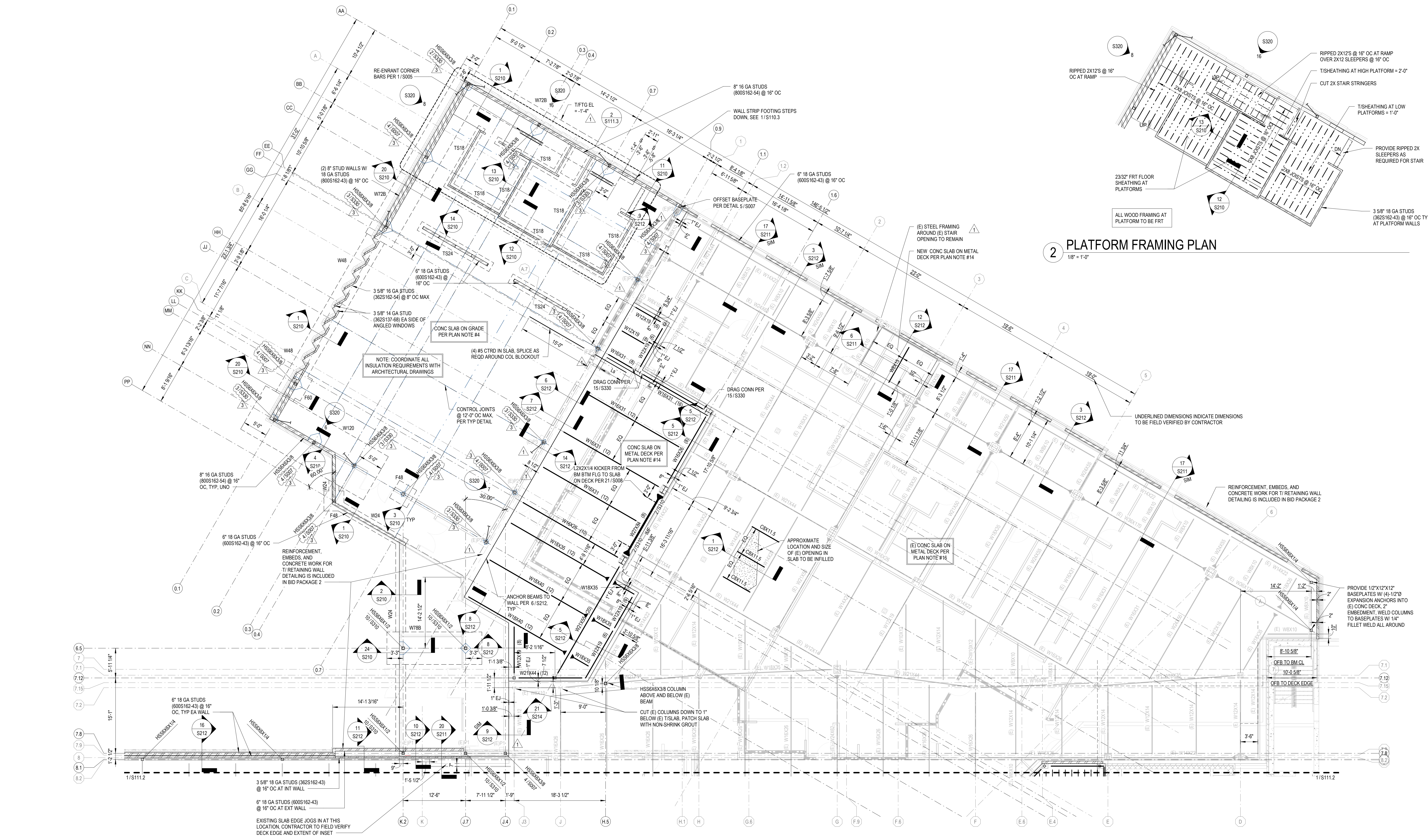
S111.3

CA - LEVEL LL2 C
FRAMING PLAN

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2 PLATFORM FRAMING PLAN
1/8" = 1'-0"



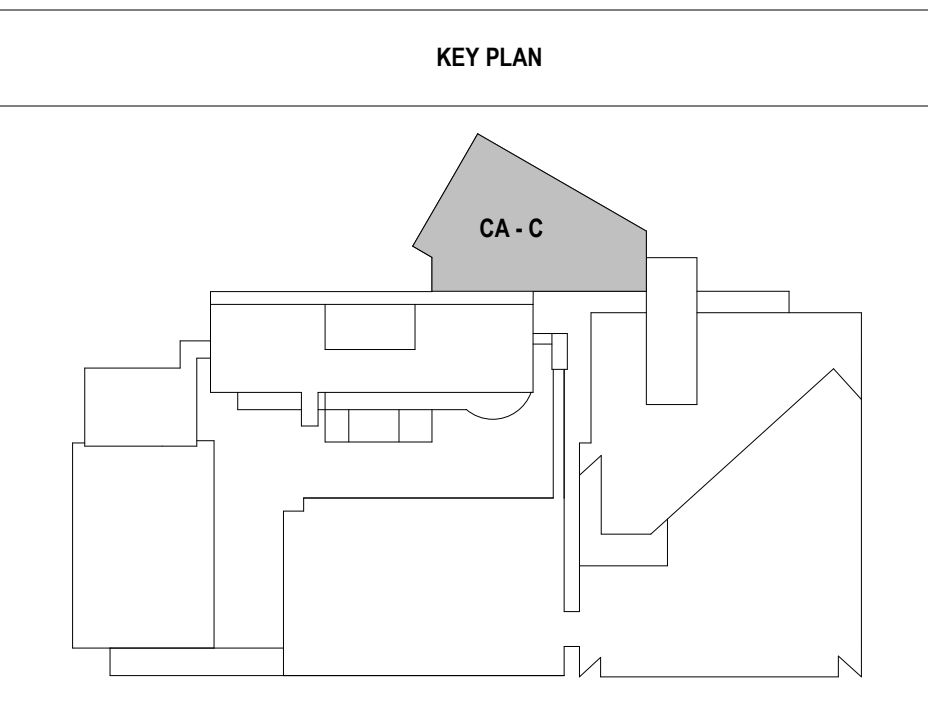
1 CENTRAL ANNEX - LEVEL LL2 C FRAMING PLAN
1/8" = 1'-0"

FOUNDATION AND FRAMING PLAN NOTES:

- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". TOP OF SLAB ON GRADE AT LL2 IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
- T/ INTERIOR FOOTING ELEVATION = 0'-8". TYP. UNO
- E/ EXTERIOR FOOTING ELEVATION = 1'-4". TYP. UNO
- NEW SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF #6 @ 12" X 12". SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
- I/ INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
- F60 INDICATES COLUMN OR ISOLATED SPREAD FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- W60 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- TS24 & TS24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- TB24 INDICATES THE BEAM MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- TE/ DENOTES TURN-DOWN SLAB EDGE. SEE TYPICAL DETAIL FOR SIZE AND REINFORCEMENT.
- P1/ INDICATES REINFORCED CONCRETE PEDESTAL. SEE SCHEDULE FOR SIZE AND REINFORCEMENT. TOP OF PEDESTAL IS TO ALIGN WITH ADJACENT WALL UNLESS NOTED OTHERWISE.
- FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
- FOR SIDEWALKS, PARKING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.
- NEW FLOOR SLAB IS 2 1/2" CONCRETE OVER 3" 20 GA W/ METAL DECK IS 1/2" TOTAL THICKNESS REINFORCED WITH WWF #6 @ 12" X 12". TYP. UNO. SEE TYPICAL STEEL DETAILS FOR MORE INFORMATION. TISLAB ELEVATION = 12'-0".
- TIS/STEEL ELEVATION = 11'-6 1/2". TYP. UNO
- I/ INDICATES TOP OF STEEL ELEVATION
- PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING FLOOR SLAB IS 3 1/4" LW CONCRETE OVER 2" 20 GA COMPOSITE METAL DECK (S 1/4" TOTAL THICKNESS) REINFORCED WITH WWF #6 @ 12" X 12". TYP. UNO
- FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

WALL FOOTING SCHEDULE				
MARK	WIDTH	DEPTH	REINFORCEMENT	
W24	2'-0"	1'-0"	(3)-#5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC	
W36	3'-0"	1'-0"	(4)-#5 CONT W/ #5 X 2'-6" TRANS @ 1'-6" OC	
W48	4'-0"	1'-0"	(5)-#5 CONT W/ #5 X 3'-6" TRANS @ 1'-6" OC	
W72A	6'-0"	1'-4"	(5)-#5 CONT W/ #5 X 5'-6" TRANS @ 10" OC TOP & BTM	
W72B	6'-0"	2'-0"	(7)-#5 CONT W/ #5 X 5'-6" TRANS @ 1'-0" OC TOP & BTM	
W78A	6'-0"	1'-4"	(7)-#5 CONT W/ #5 X 6'-0" TRANS @ 12" OC BTM	
W78B	6'-0"	1'-4"	(8)-#5 CONT W/ #5 X 6'-0" TRANS @ 1'-0" OC TOP & BTM	
W87	7'-3"	1'-4"	(8)-#5 CONT W/ #5 X 6'-0" TRANS @ 10" OC TOP & BTM	
W96	8'-0"	1'-4"	(9)-#5 CONT W/ #5 X 7'-6" TRANS @ 1'-0" OC TOP & BTM	
W120	10'-0"	2'-6"	(13)-#5 CONT W/ #5 X 11'-6" TRANS @ 1'-0" OC TOP & BTM	

COLUMN FOOTING SCHEDULE				
MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
F36	3'-0"	3'-0"	1'-0"	(4)-#5 EW BTM
F48	4'-0"	4'-0"	1'-0"	(5)-#5 EW BTM
F60	5'-0"	5'-0"	1'-0"	(6)-#5 EW BTM
F72	6'-0"	6'-0"	1'-6"	(7)-#5 EW TOP & BTM
F78	6'-6"	6'-6"	1'-6"	(8)-#5 EW TOP & BTM
F84	7'-0"	7'-0"	1'-6"	(8)-#5 EW TOP & BTM
F96	8'-0"	8'-0"	1'-6"	(9)-#5 EW TOP & BTM



2/24/2021 9:30:38 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



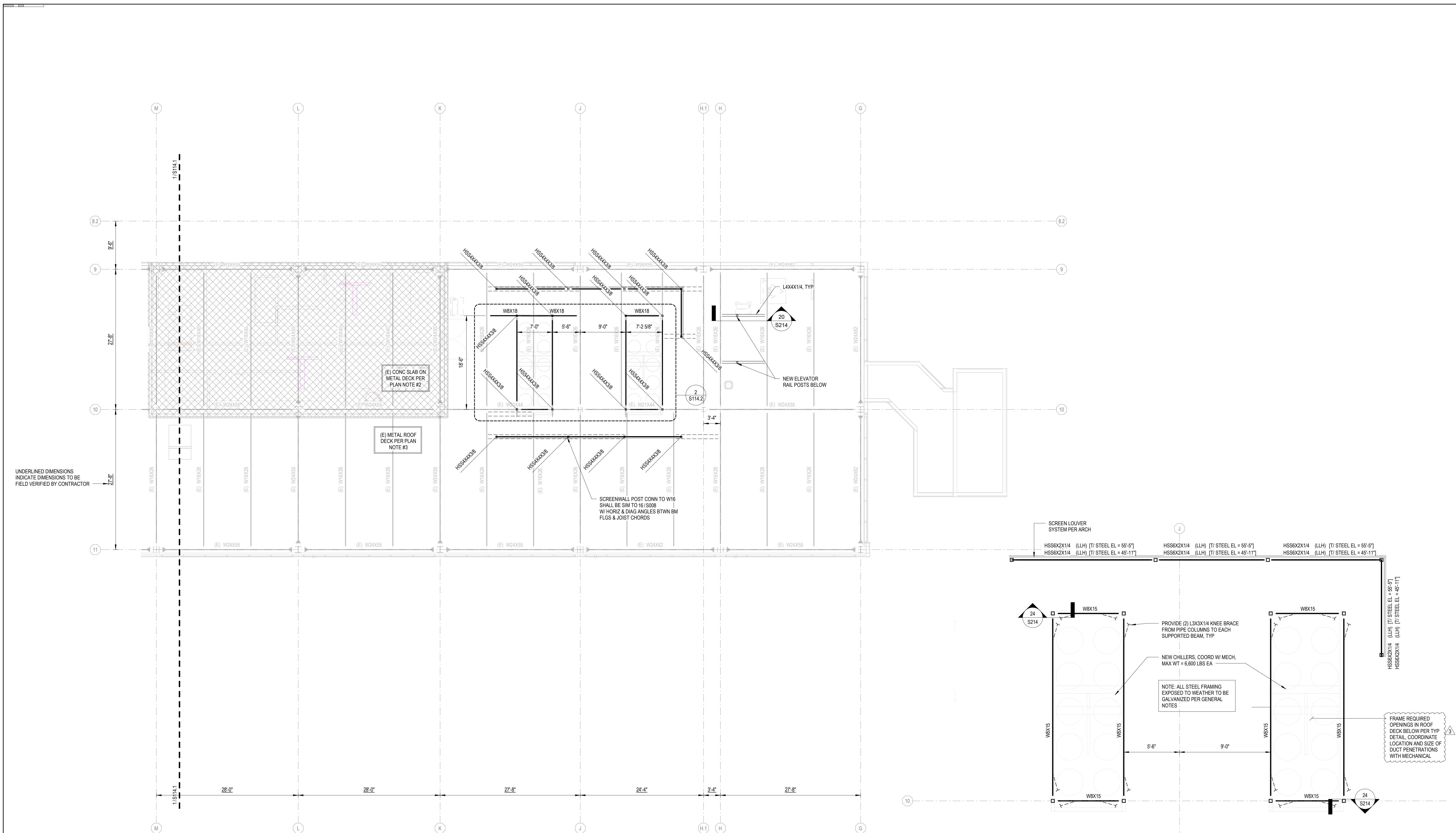
#	ISSUE	DATE
3	ADD #3.1	02/01/21

Issue Date:	02/01/21
PK:	CSB
PM:	CSB
PA:	
Drawn By:	CWR
Checked By:	RAH

Drawing Info:

S114.2

CA - PENTHOUSE
LEVEL B FRAMING
PLAN



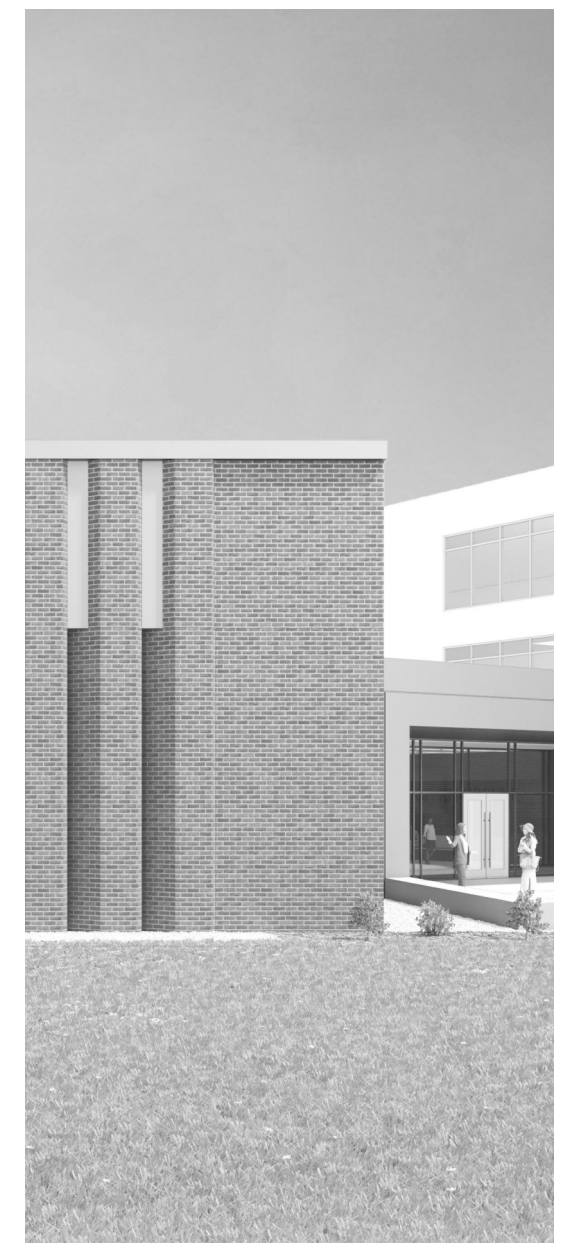
1 CENTRAL ANNEX - ROOF LEVEL B FRAMING PLAN
1/8" = 1'-0"

2 CHILLER SUPPORT FRAME
1/4" = 1'-0"

- FRAMING PLAN NOTES:
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0", UNO. TOP OF SLAB ON GRADE AT LL2 IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 - PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING FLOOR SLAB IS 3" CONCRETE OVER 2" 20 GA COMPOSITE METAL DECK (5" TOTAL THICKNESS) REINFORCED WITH WWF 6X6 W2.1XW2.1, TYP, UNO. T(E) STEEL FRAMING = 43'-3", TYP, UNO.
 - PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING METAL ROOF DECK IS 1 1/2" 18 GA TYPE B METAL DECK, TYP, UNO. T(E) STEEL FRAMING = 43'-3", TYP, UNO.
 - [] INDICATES TOP OF STEEL ELEVATION
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

FRAMING PLAN NOTES

2/24/2021 9:36:47 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PIC CSB

PM CWR

Checked By: RAH

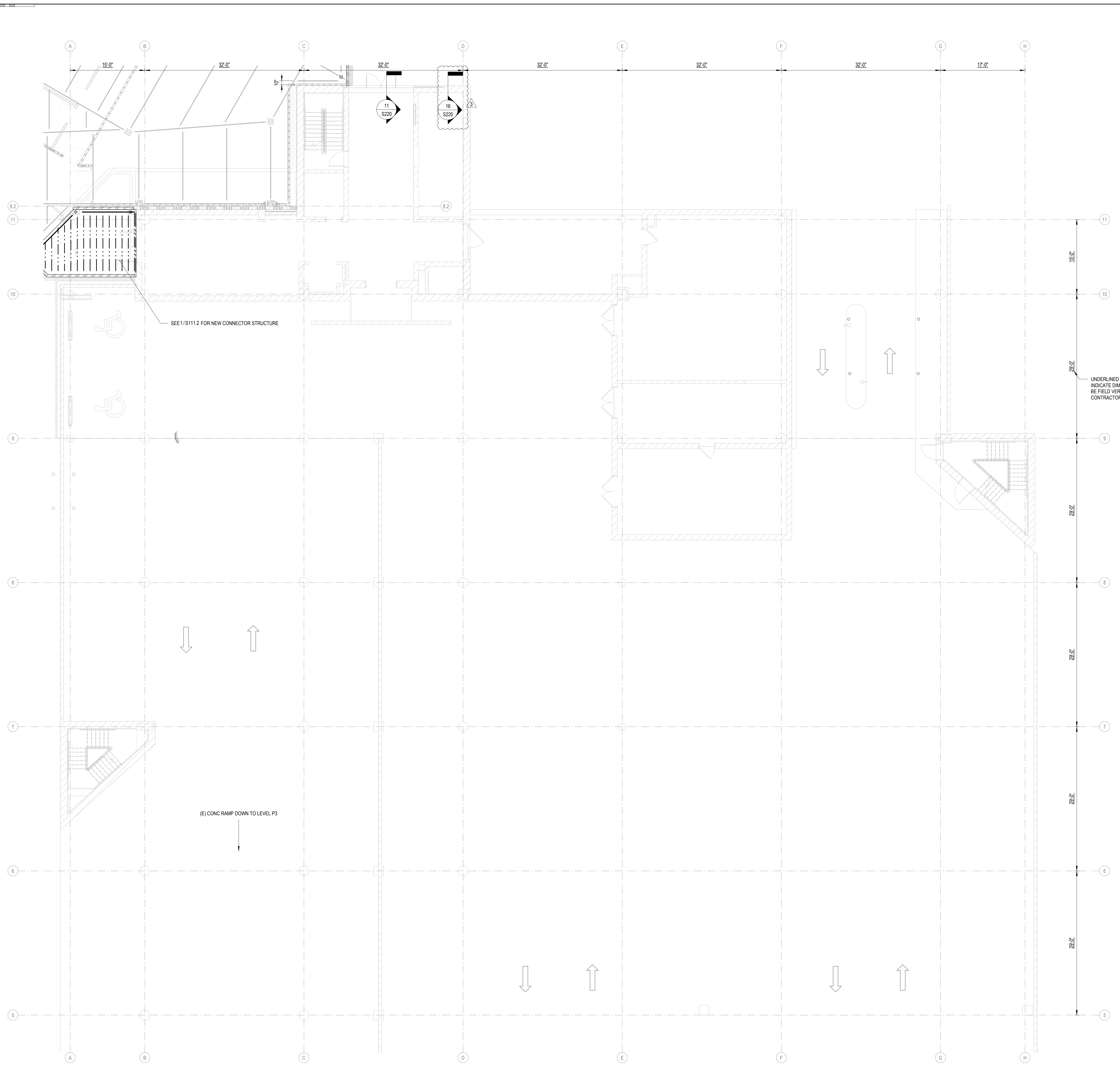
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Checked By: RAH

Drawing Info:

S123

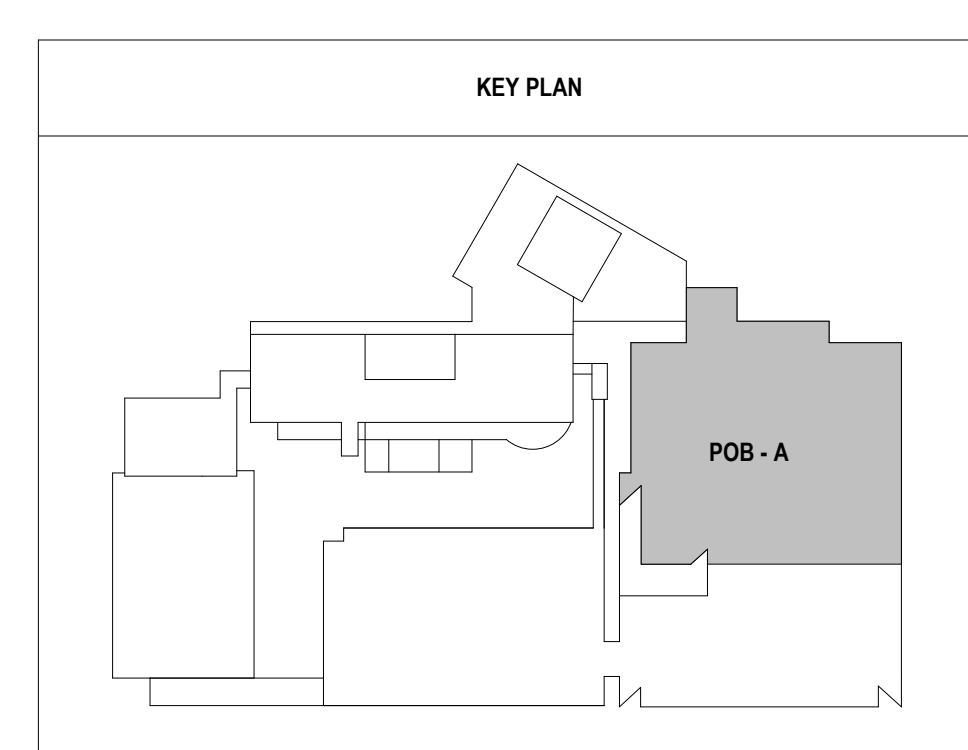
POB - PARKING LEVEL P4 FRAMING PLAN



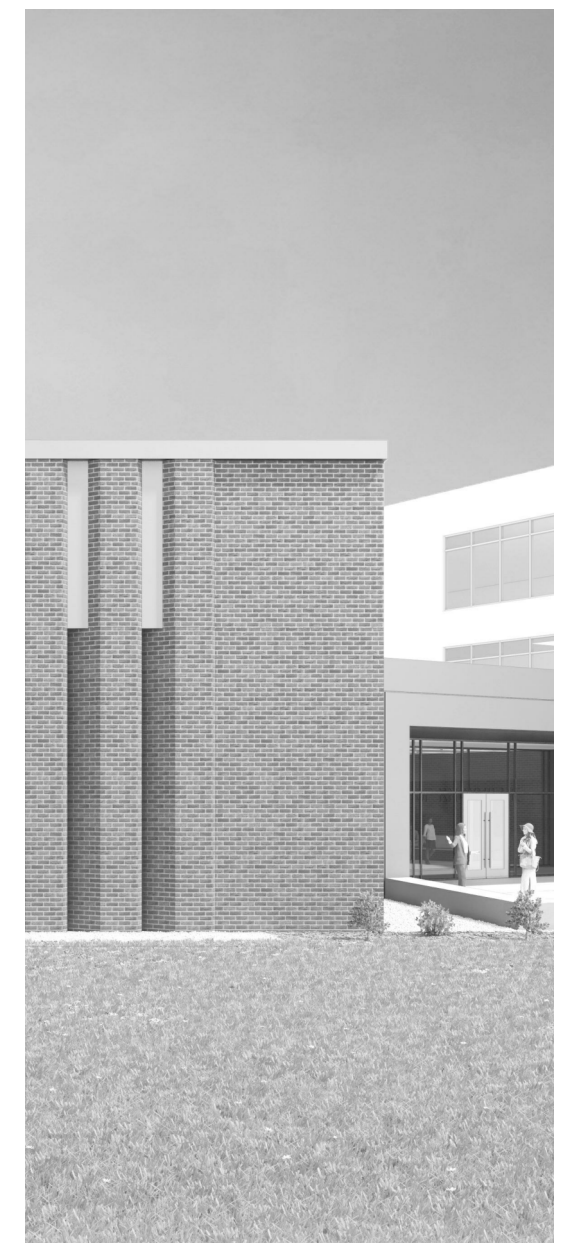
UNDERLINED DIMENSIONS INDICATE DIMENSIONS TO BE FIELD VERIFIED BY CONTRACTOR

- FLOOR FRAMING PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO.
 - PER EXISTING DRAWINGS, EXISTING ELEVATED FLOOR SLAB IS 4" 3/4" CONCRETE REINFORCED WITH #3 @ 12" OC, TYP. UNO.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

FLOOR FRAMING NOTES



2/24/2021 9:36:44 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



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- FLOOR FRAMING PLAN NOTES:
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO.
 - PER EXISTING DRAWINGS, EXISTING ELEVATED FLOOR SLAB IS 4 3/4" CONCRETE REINFORCED WITH #3 @ 12" OC, TYP. UNO.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

FLOOR FRAMING NOTES

#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PK: CSB

PM: CWR

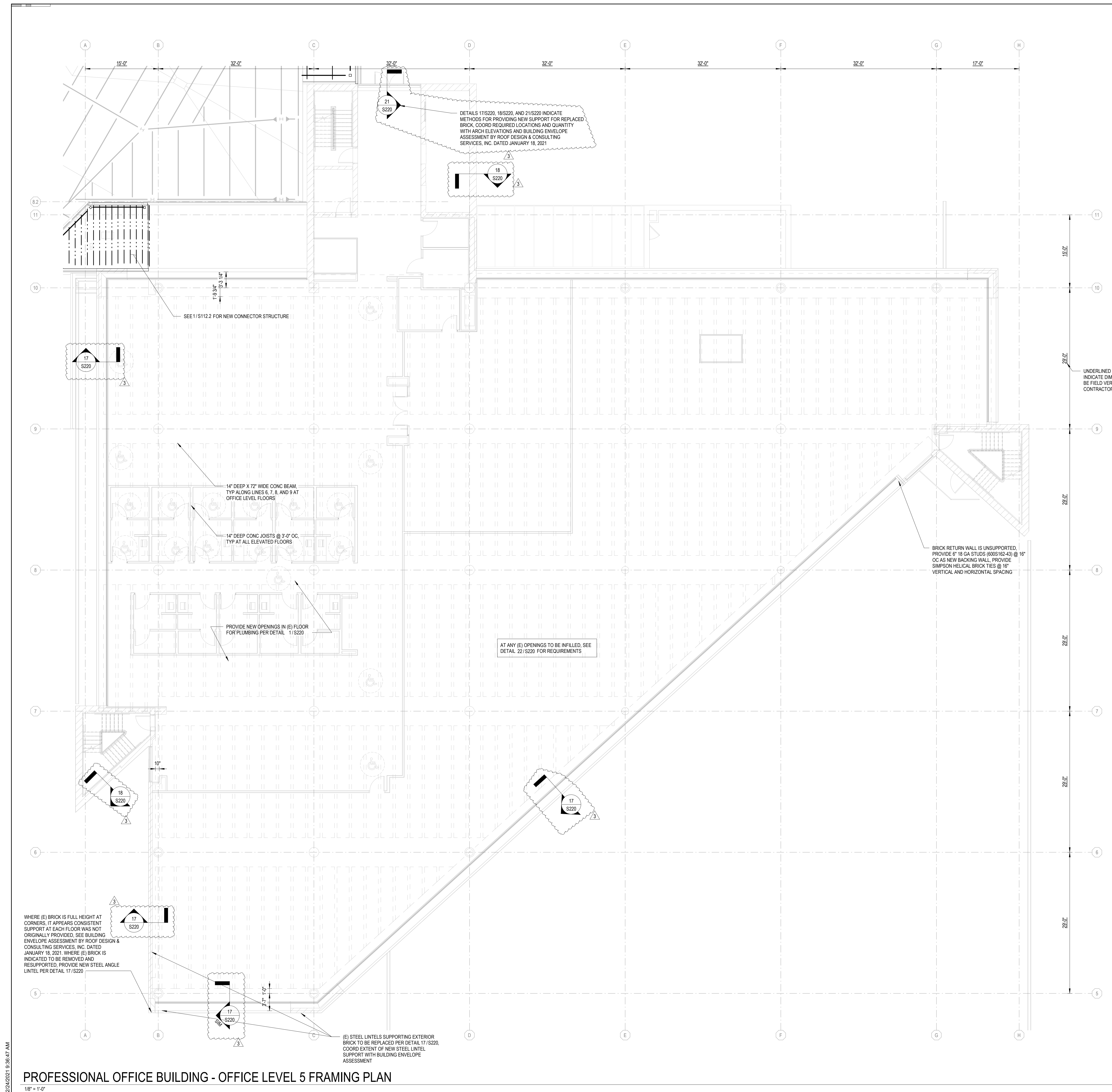
Checked By: RAH

Checked By: RAH

Drawing Info:

S124

POB - OFFICE LEVEL 5 FRAMING PLAN



PROFESSIONAL OFFICE BUILDING - OFFICE LEVEL 5 FRAMING PLAN
1/8" = 1'-0"

2/24/2021 9:36:47 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



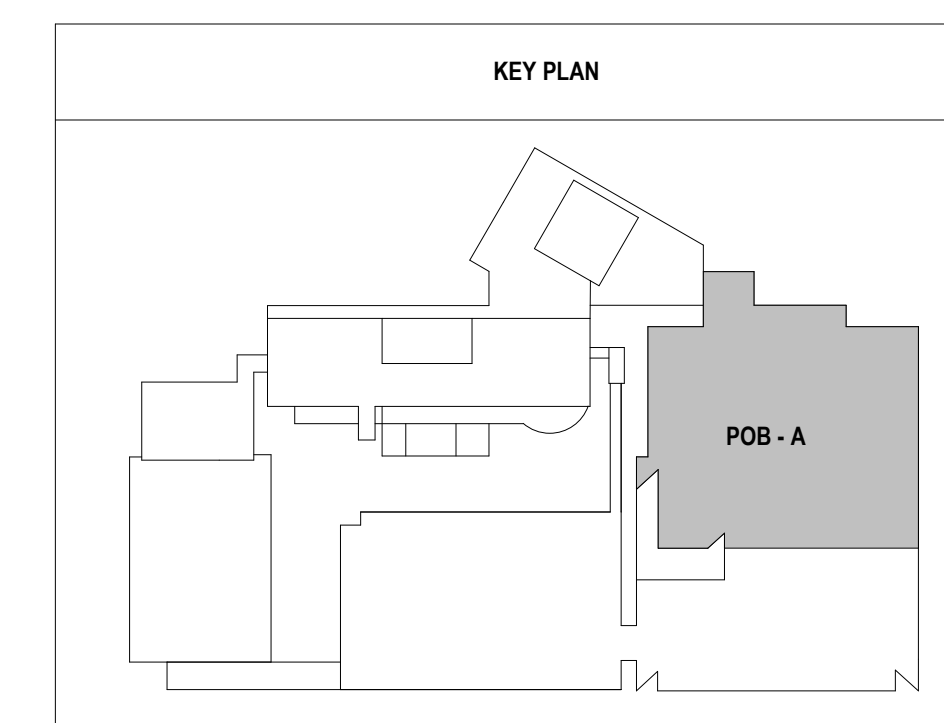
Consultant:



- FLOOR FRAMING PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO.
 - PER EXISTING DRAWINGS, EXISTING ELEVATED FLOOR SLAB IS 4 3/4" CONCRETE REINFORCED WITH #3 @ 12" OC, TYP. UNO.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

#	ISSUE	DATE
3	ADD #3.1	02/24/21

FLOOR FRAMING NOTES



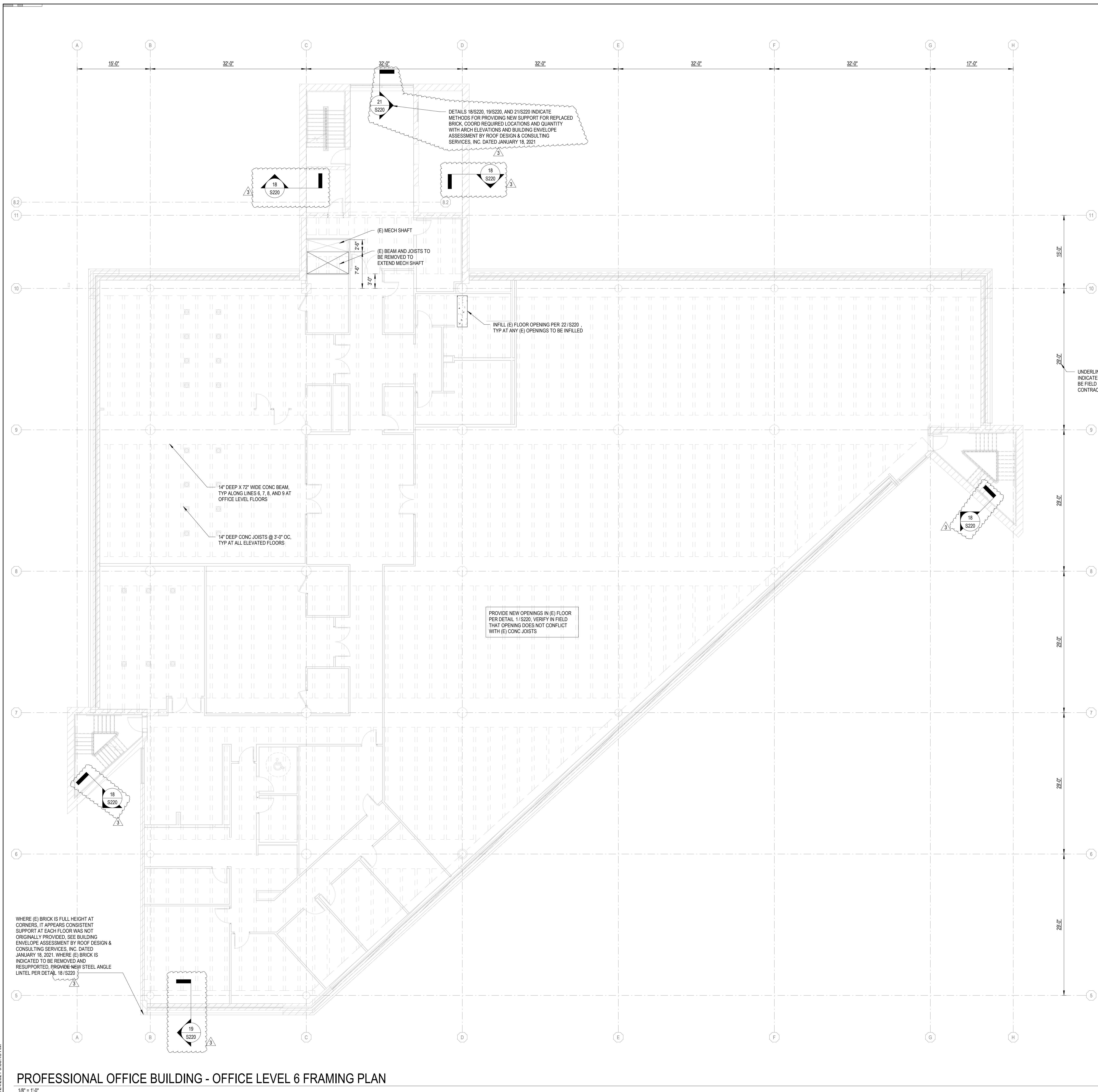
Issue Date: 02/01/21

PIC	CSB
PA	
Drawn By:	CWR
Checked By:	RAH

Drawing Info:

S125

POB - OFFICE LEVEL 6
FRAMING PLAN



PROFESSIONAL OFFICE BUILDING - OFFICE LEVEL 6 FRAMING PLAN
1/8" = 1'-0"

2/24/2021 9:36:49 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PIC _____

PA _____ CSB

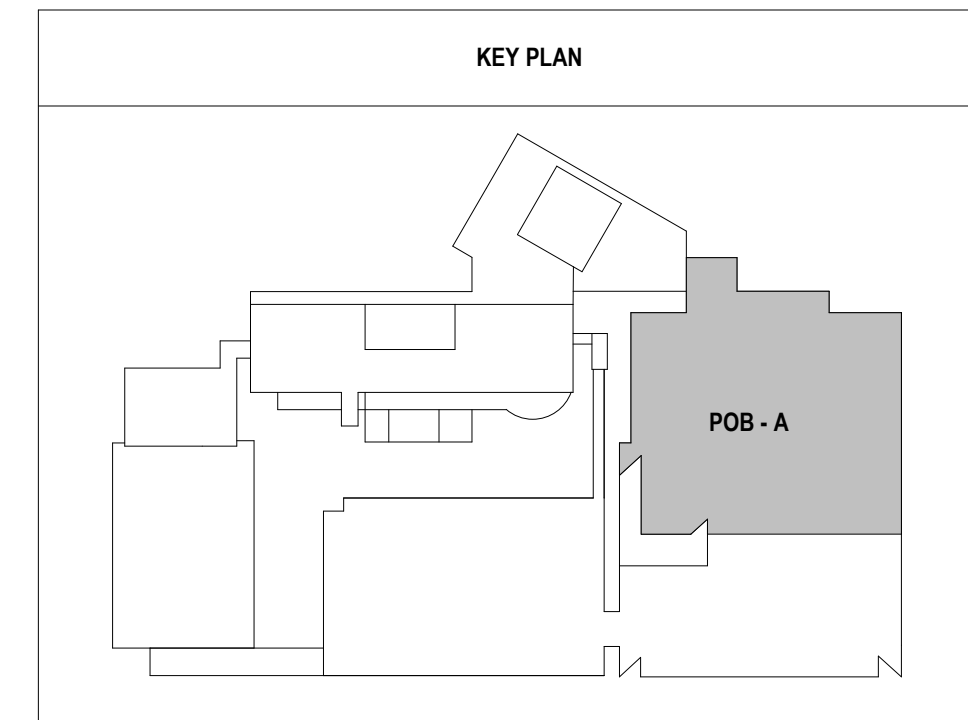
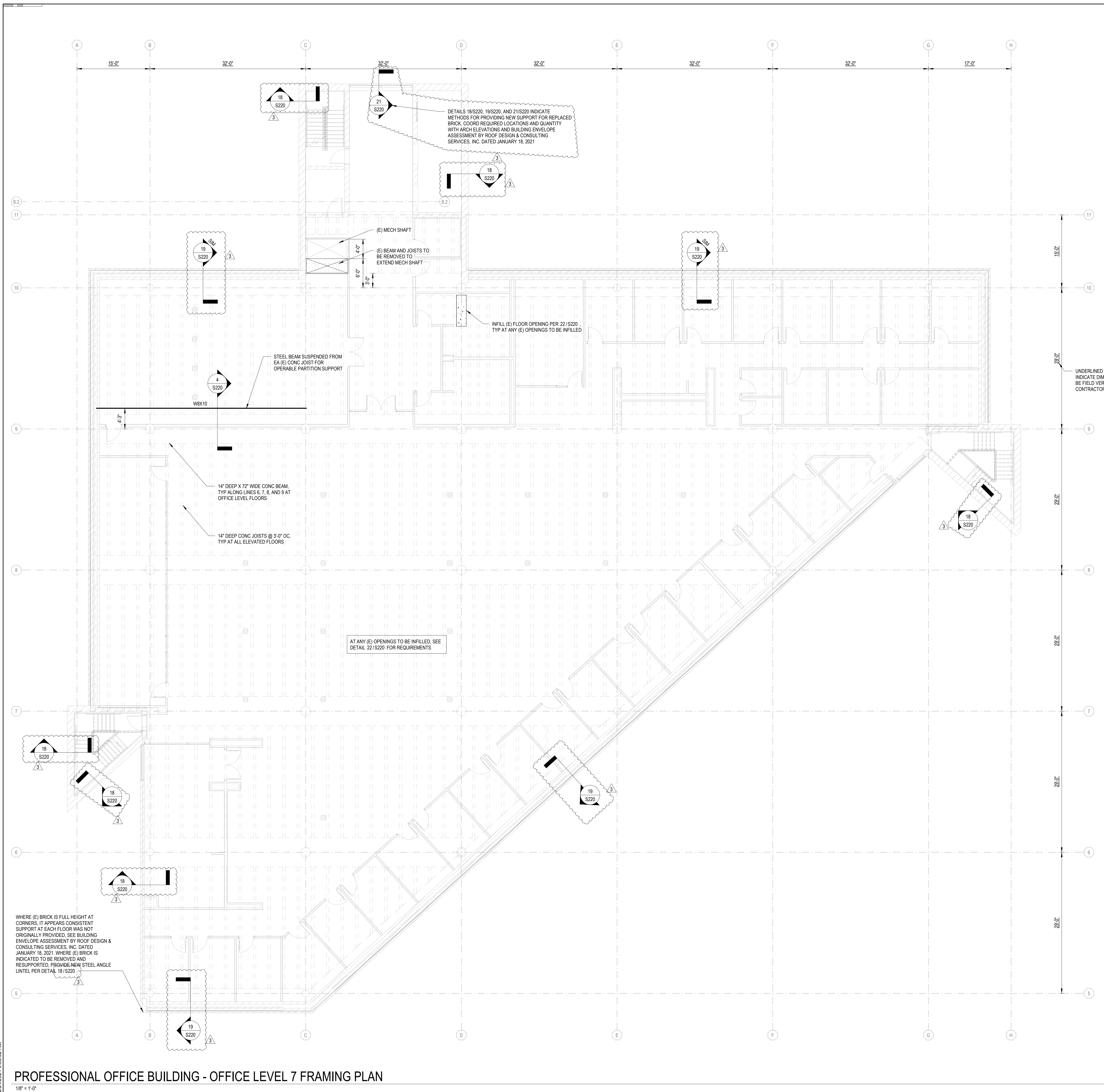
Drawn By: CWR

Checked By: RAH

Drawing Info:

S126

POB - OFFICE LEVEL 7
FRAMING PLAN



2/24/2021 9:36:52 AM

PROFESSIONAL OFFICE BUILDING - OFFICE LEVEL 7 FRAMING PLAN

1/8" = 1'-0"



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PIC _____ CSB

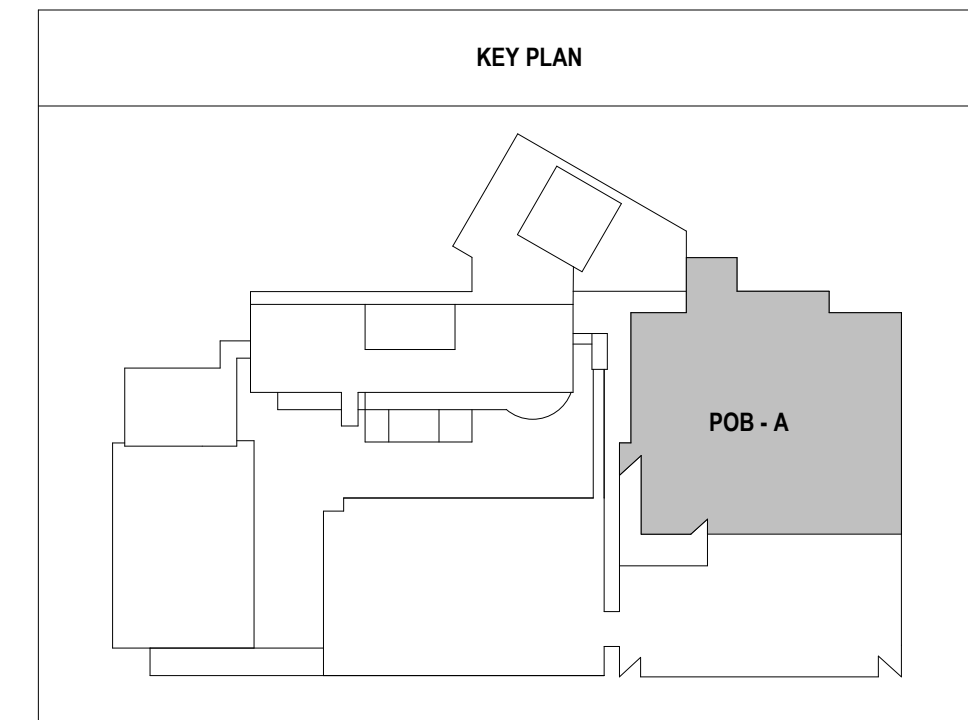
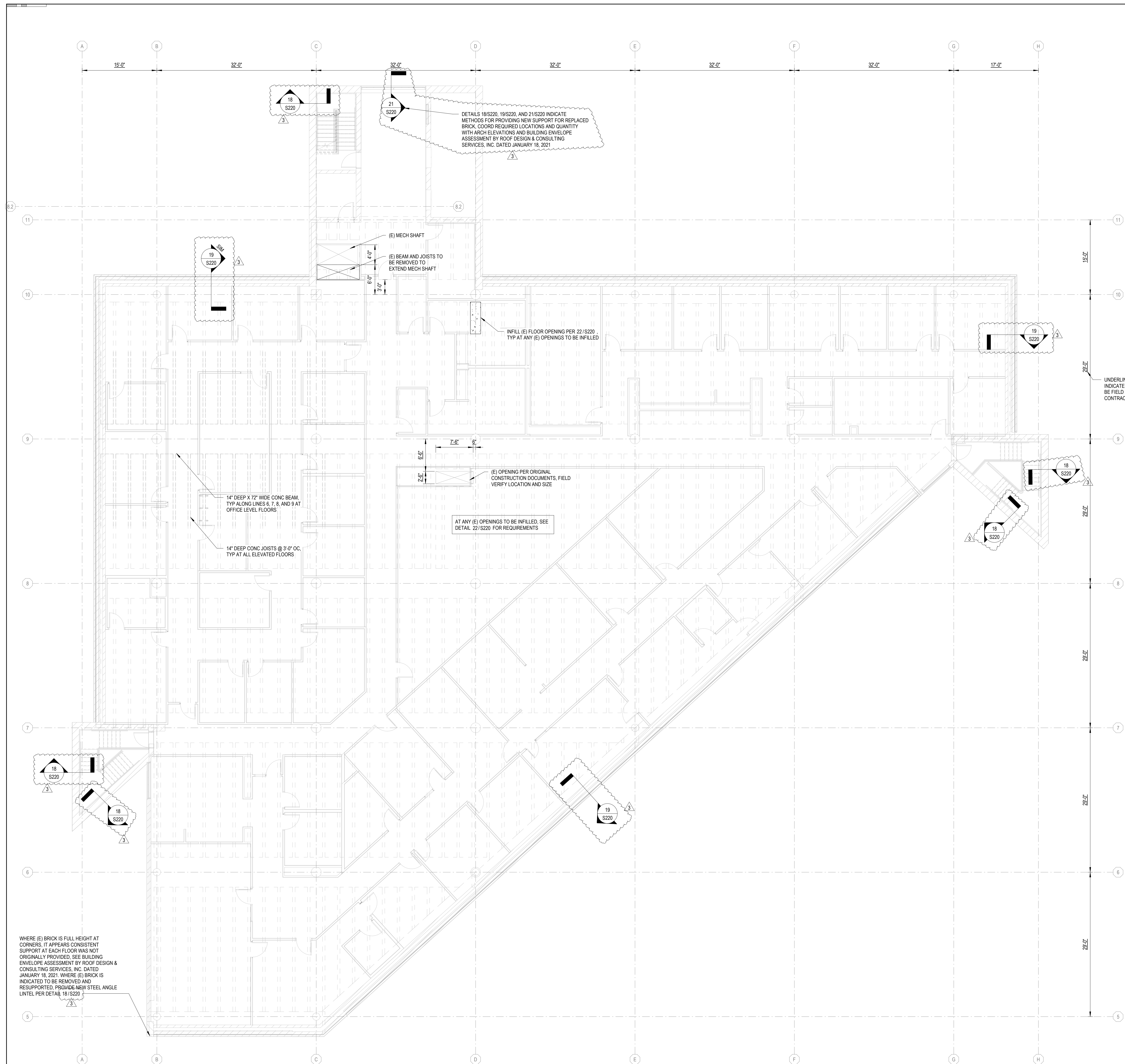
PA _____ CWR

Checked By: RAH

Drawing Info:

S127

POB - OFFICE LEVEL 8
FRAMING PLAN



PROFESSIONAL OFFICE BUILDING - OFFICE LEVEL 8 FRAMING PLAN
1/8" = 1'-0"

2/24/2021 9:36:55 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



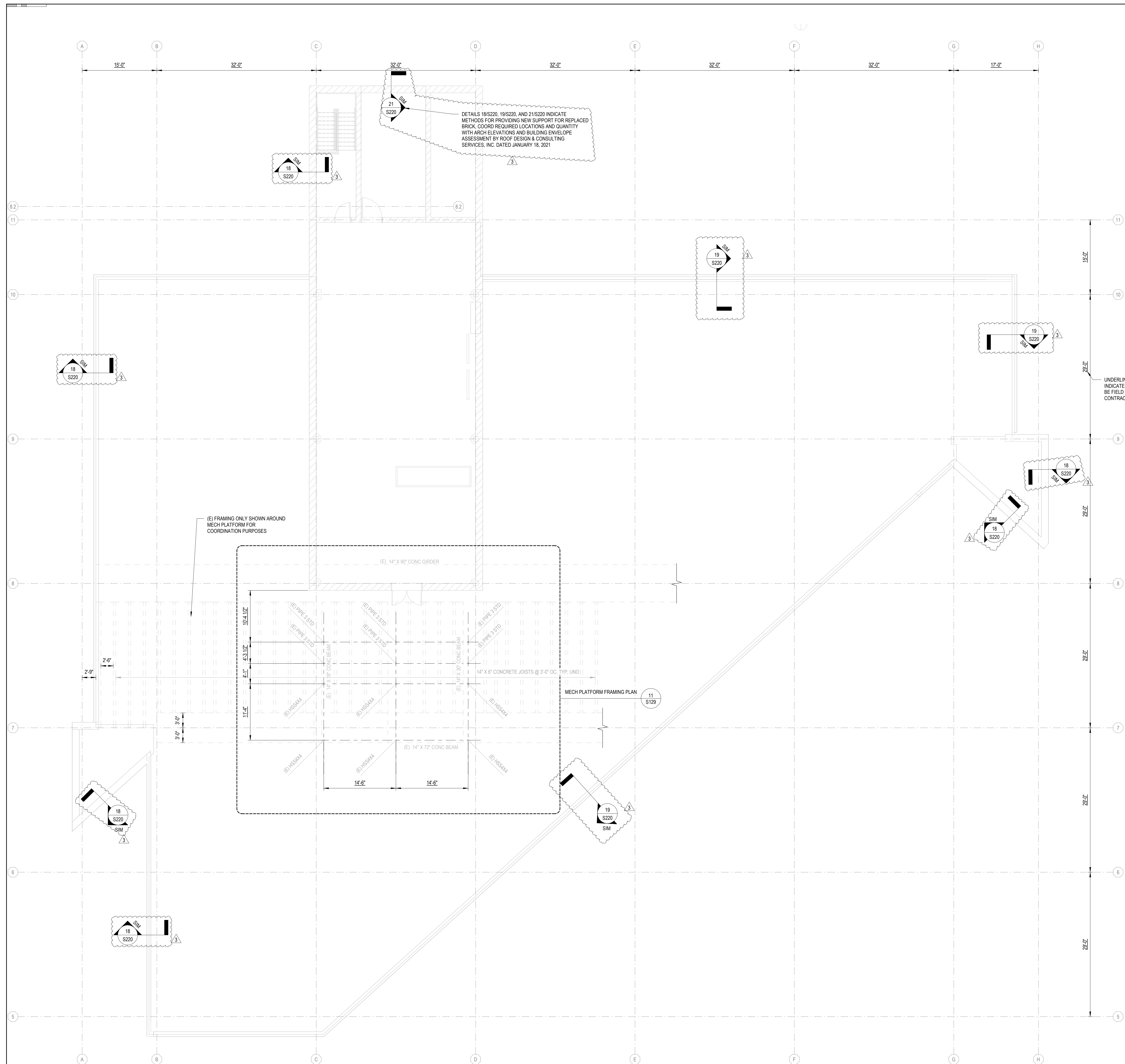
#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date:	02/01/21
PIC:	CSB
PM:	CWR
Checked By:	RAH

Drawing Info:

S128

POB - PENTHOUSE LEVEL FRAMING PLAN



DETAILS 18/S220, 19/S220, AND 21/S220 INDICATE METHODS FOR PROVIDING NEW SUPPORT FOR REPLACED BRICK. COORD REQUIRED LOCATIONS AND QUANTITY WITH ARCH ELEVATIONS AND BUILDING ENVELOPE ASSESSMENT BY ROOF DESIGN & CONSULTING SERVICES, INC. DATED JANUARY 18, 2021

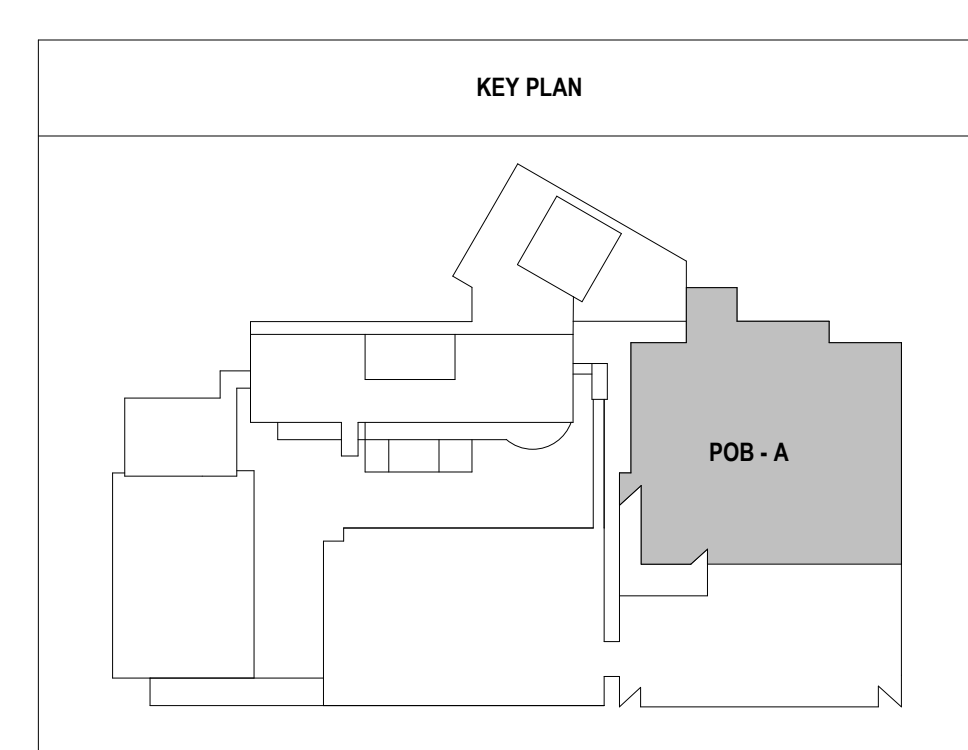
UNDERLINED DIMENSIONS INDICATE DIMENSIONS TO BE FIELD VERIFIED BY CONTRACTOR

(E) FRAMING ONLY SHOWN AROUND MECH PLATFORM FOR COORDINATION PURPOSES

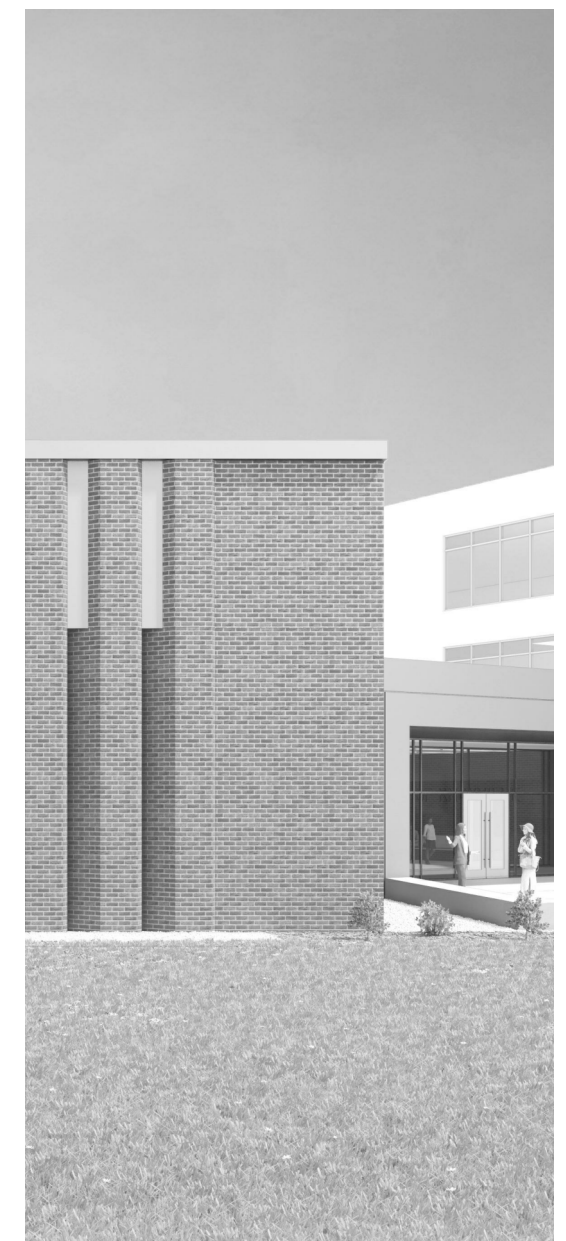
MECH PLATFORM FRAMING PLAN 11 S129

- FLOOR FRAMING PLAN NOTES:
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO.
 - PER EXISTING DRAWINGS, EXISTING ELEVATED FLOOR SLAB IS 4 3/4" CONCRETE REINFORCED WITH #3 @ 12" OC TYP. UNO.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

FLOOR FRAMING NOTES



2/24/2021 9:36:57 AM



Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PIC: CSB

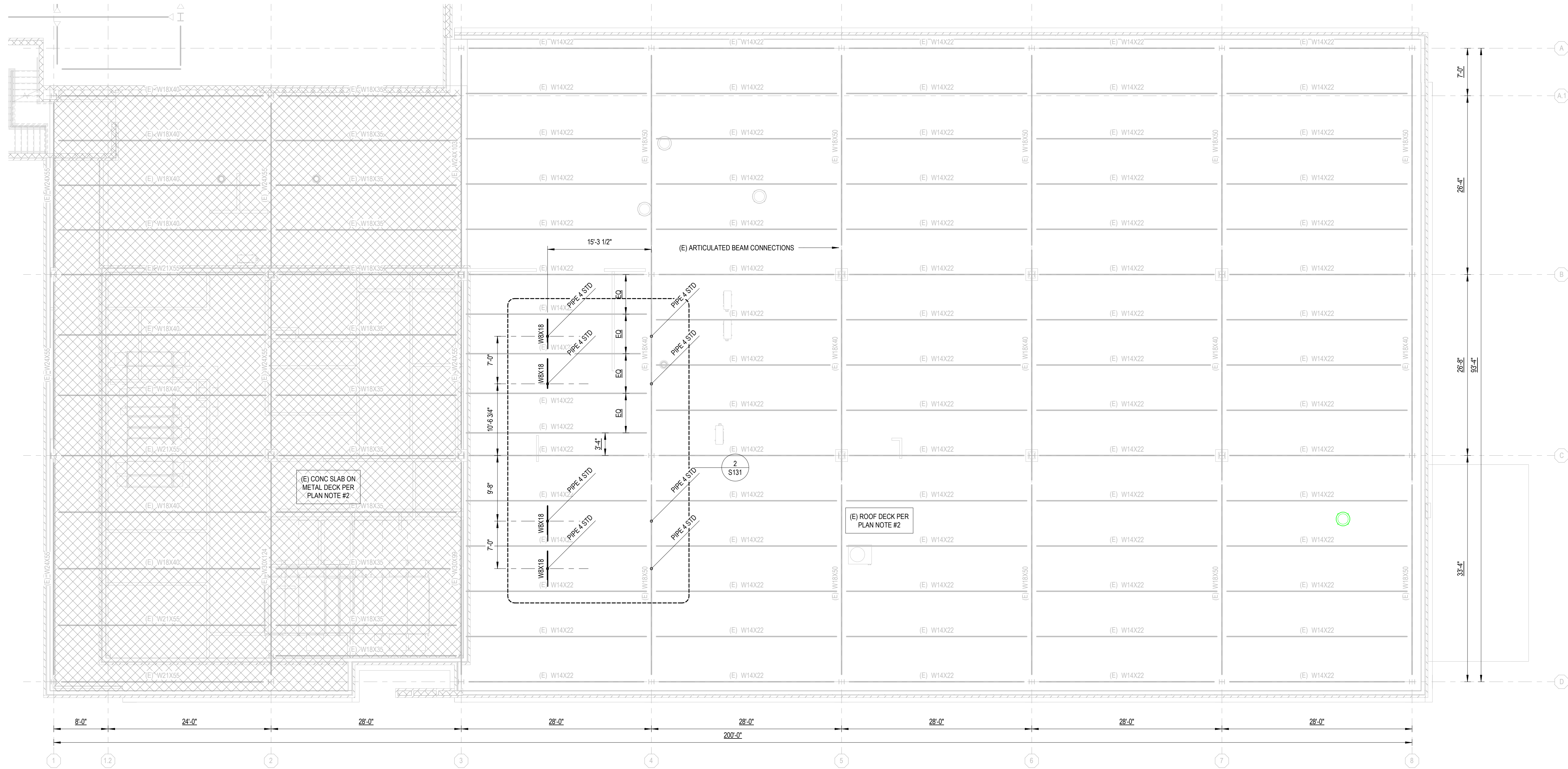
PA: CWR

Checked By: RAH

Drawing Info:

S131

WP - PENTHOUSE LEVEL FRAMING PLAN



WOMEN'S PAVILION - PENTHOUSE FRAMING PLAN

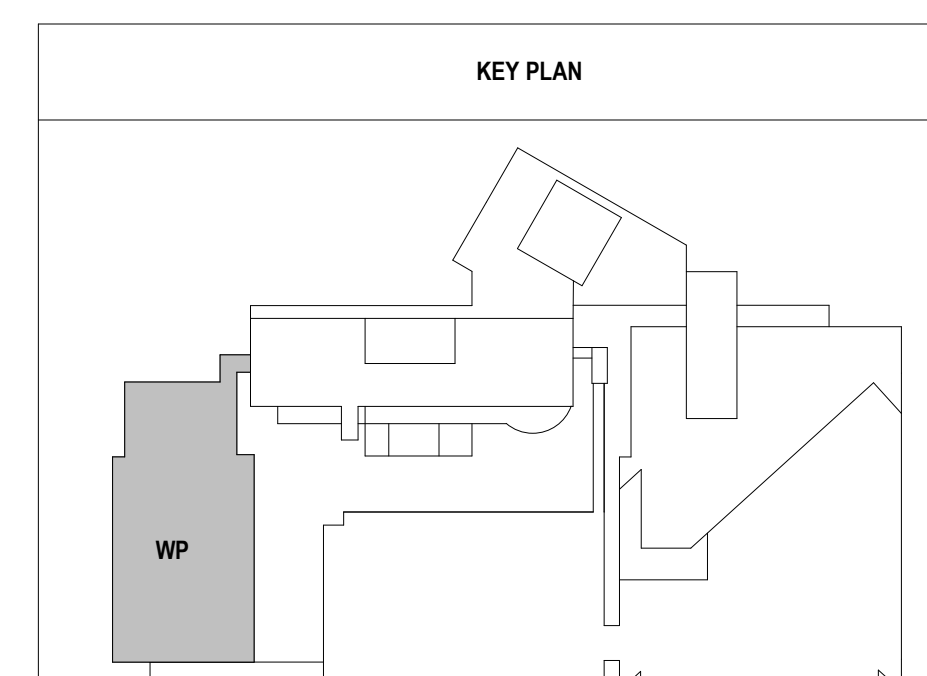
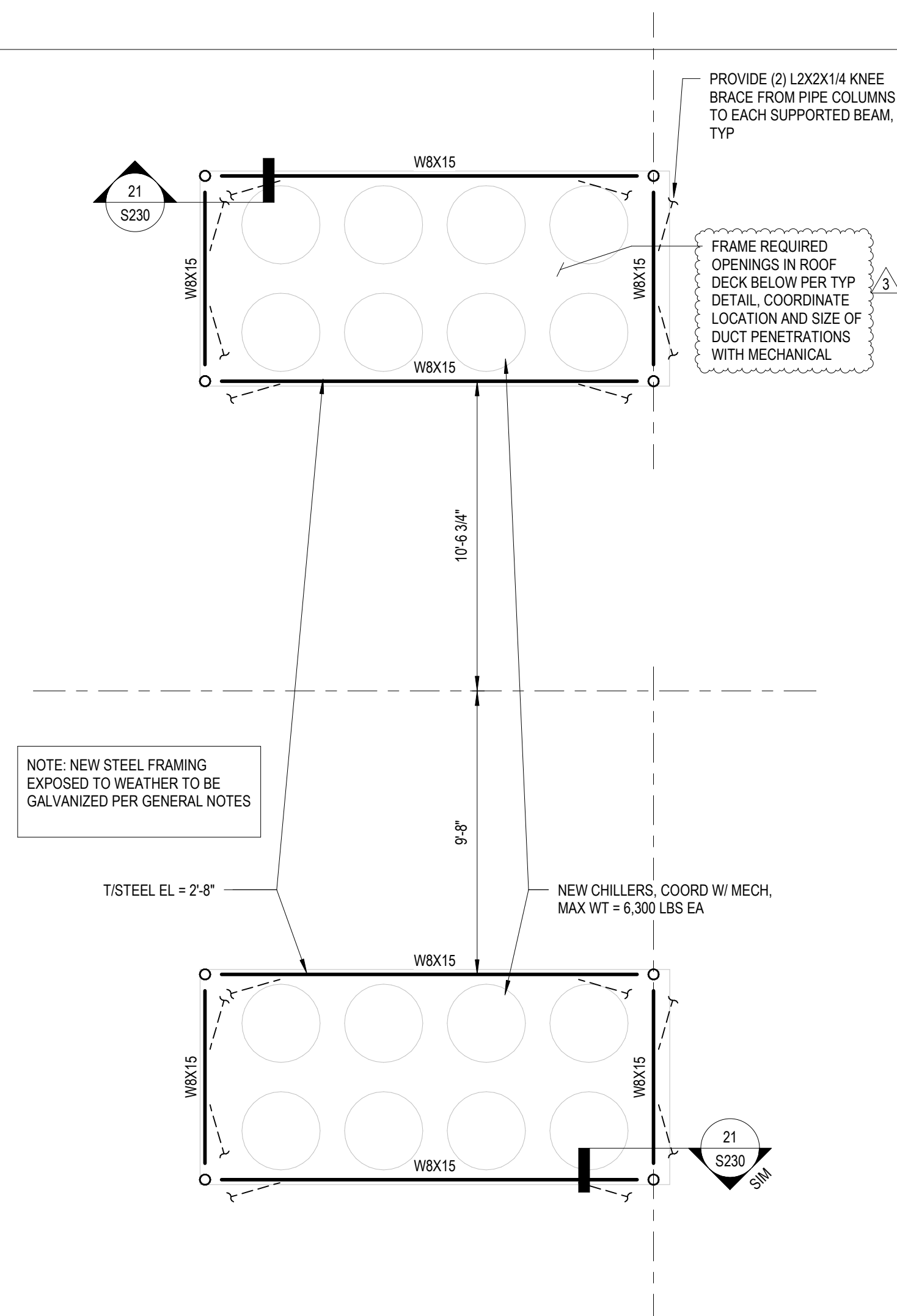
1/8" = 1'-0"

- FRAMING PLAN NOTES:**
- PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING FLOOR SLAB IS 3 1/2" CONCRETE OVER 2" 20 GA COMPOSITE METAL DECK (5 1/2" TOTAL THICKNESS) REINFORCED WITH WWP #16 W2.9X12.5, TYP. UNO.
 - PER EXISTING CONSTRUCTION DOCUMENTS, EXISTING ROOF DECK IS 2" LIGHTWEIGHT CONCRETE OVER 1 5/16" 24 GA METAL DECK, TYP. UNO. STEEL ELEVATIONS PROVIDED ARE BASED ON A REFERENCE ELEVATION OF 0'-0". TOP OF (E) STEEL BEAMS SUPPORTING EXISTING ROOF DECK IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.

FRAMING PLAN NOTES

2 CHILLER SUPPORT FRAMES

1/4" = 1'-0"





Project Information:

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Consultant:



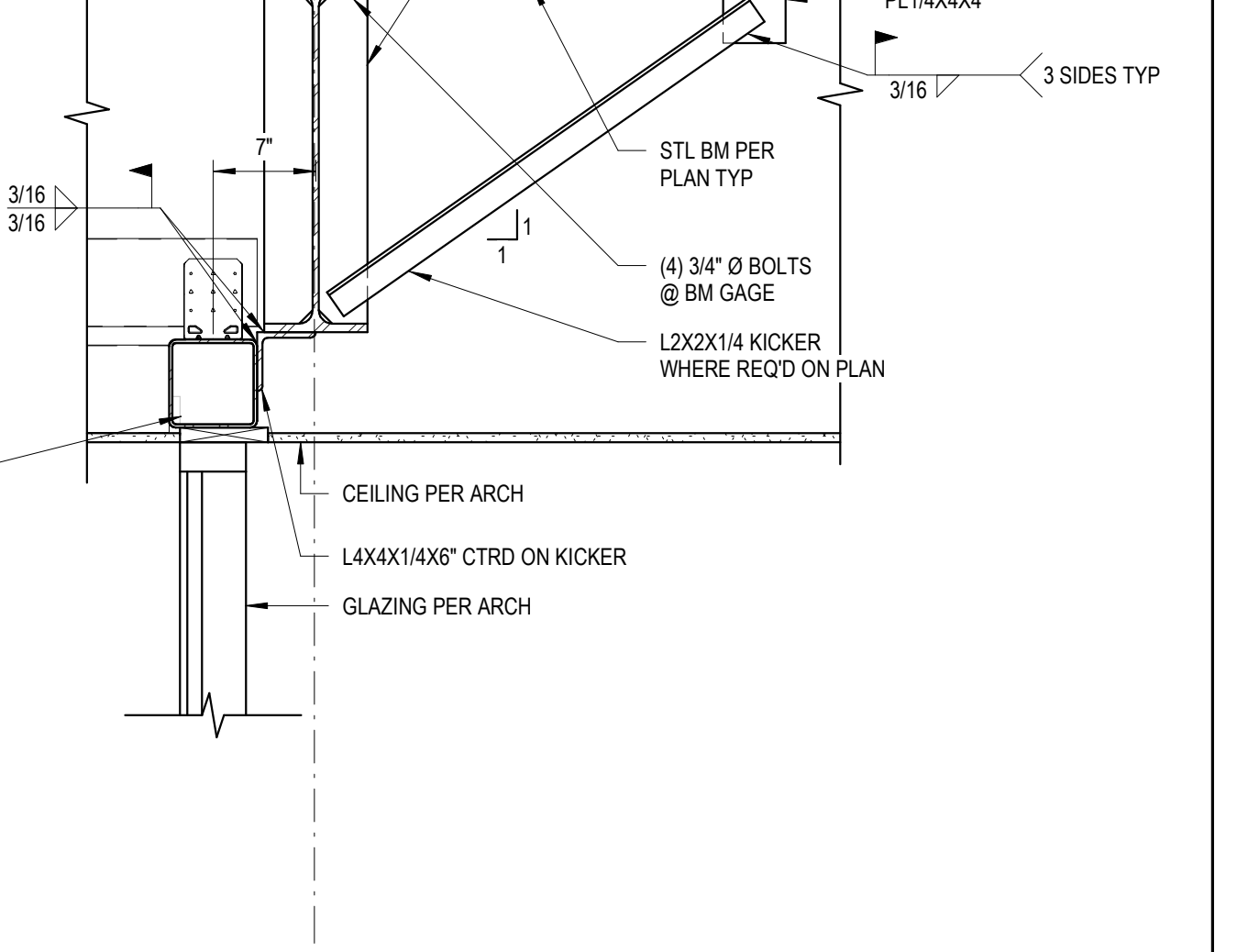
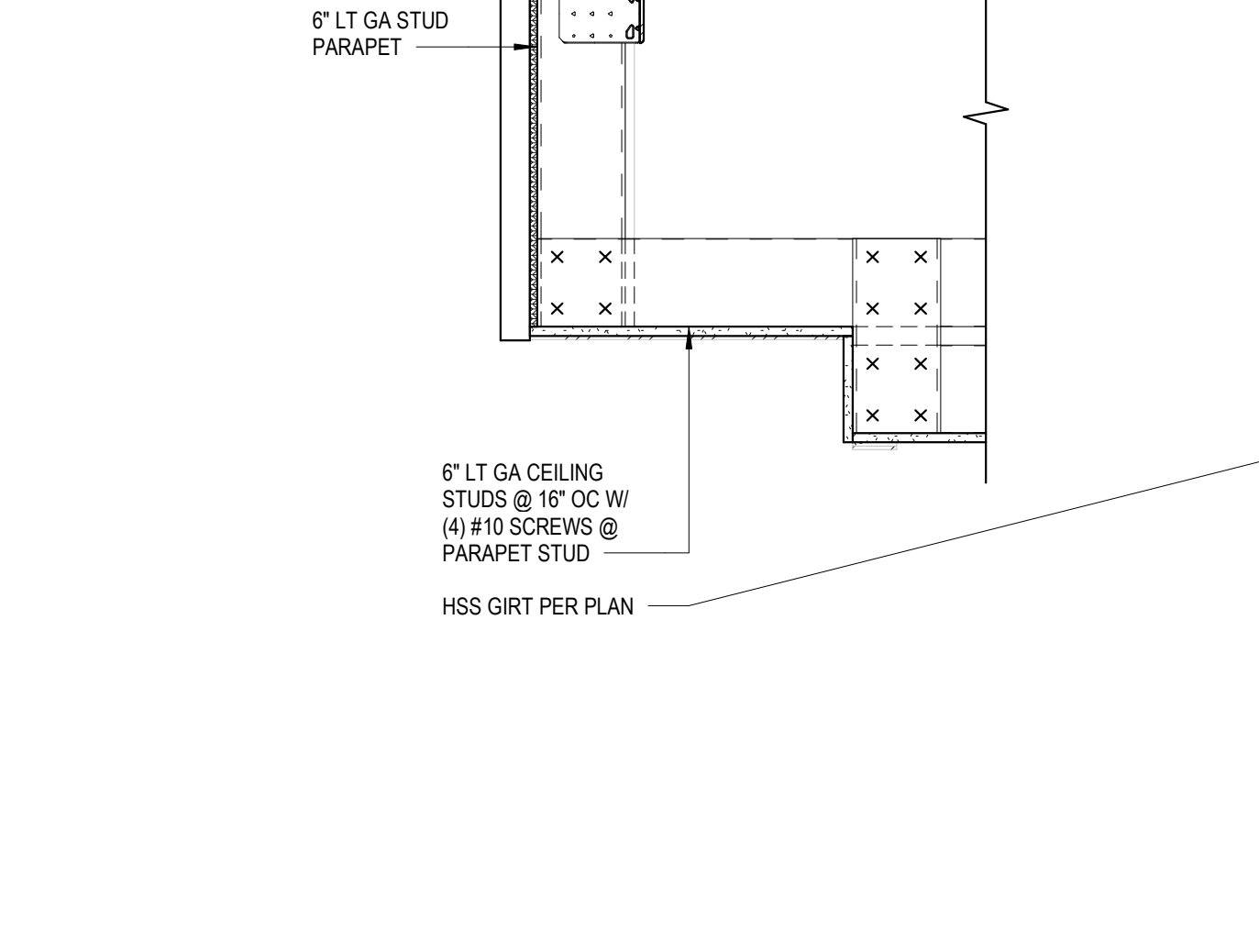
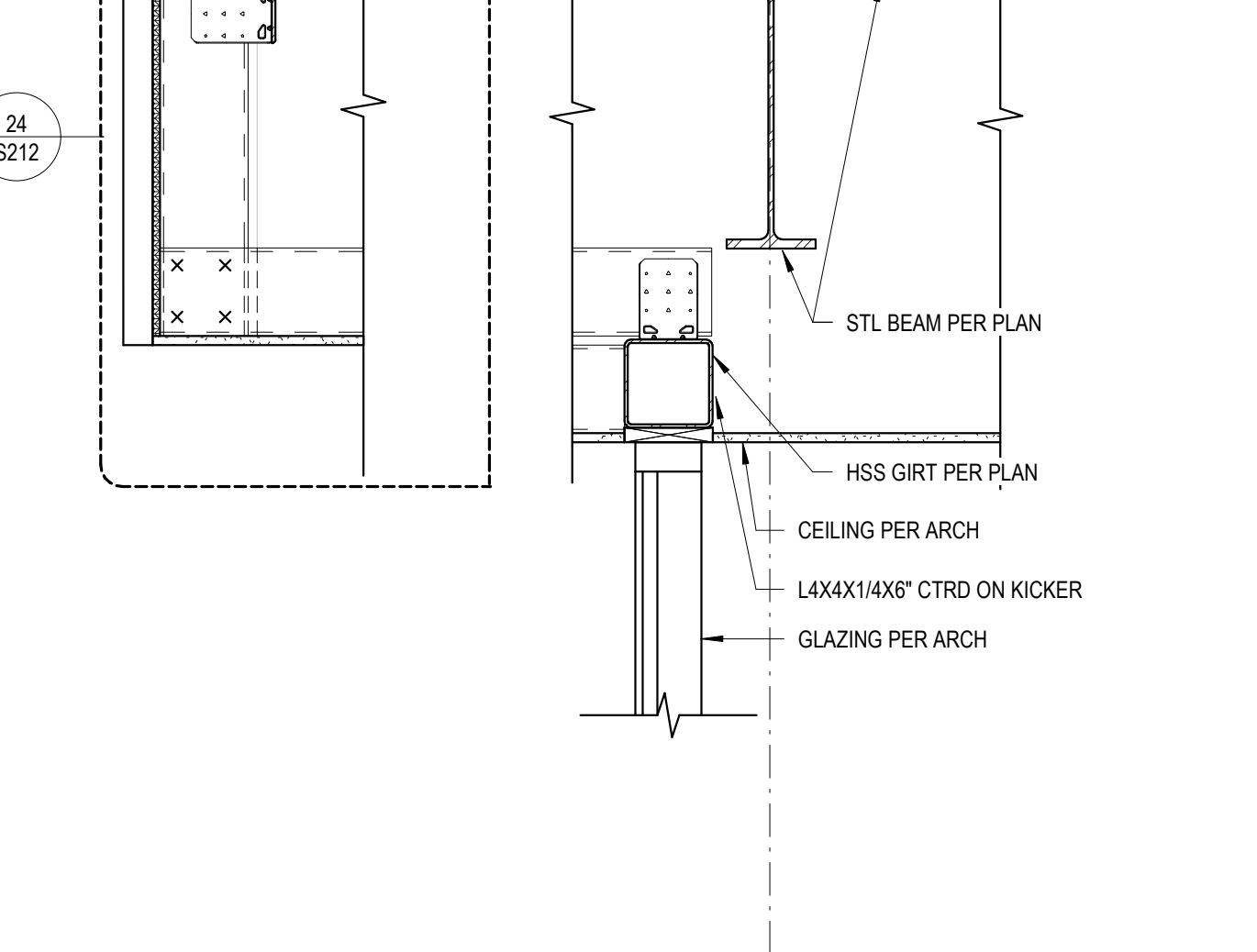
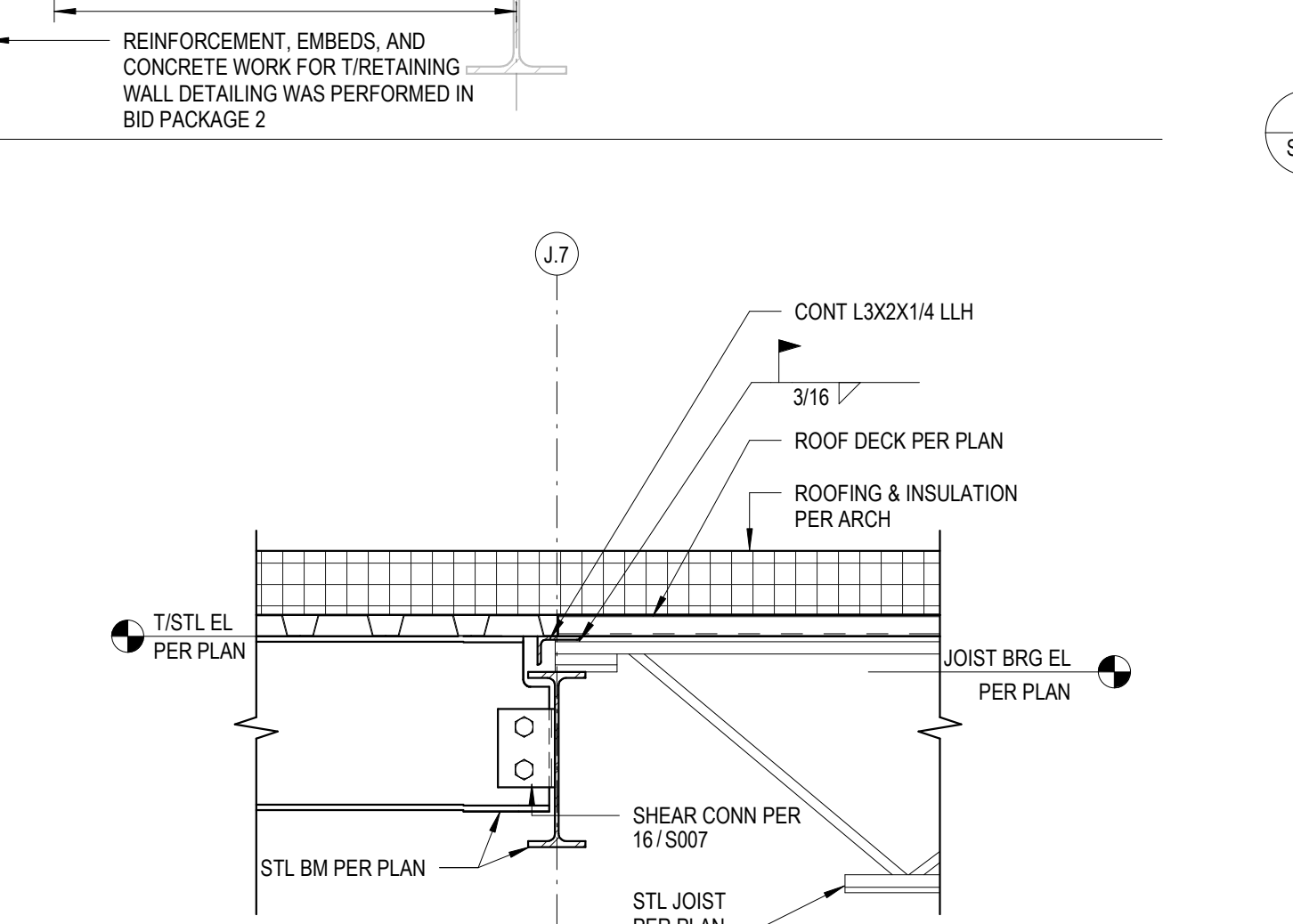
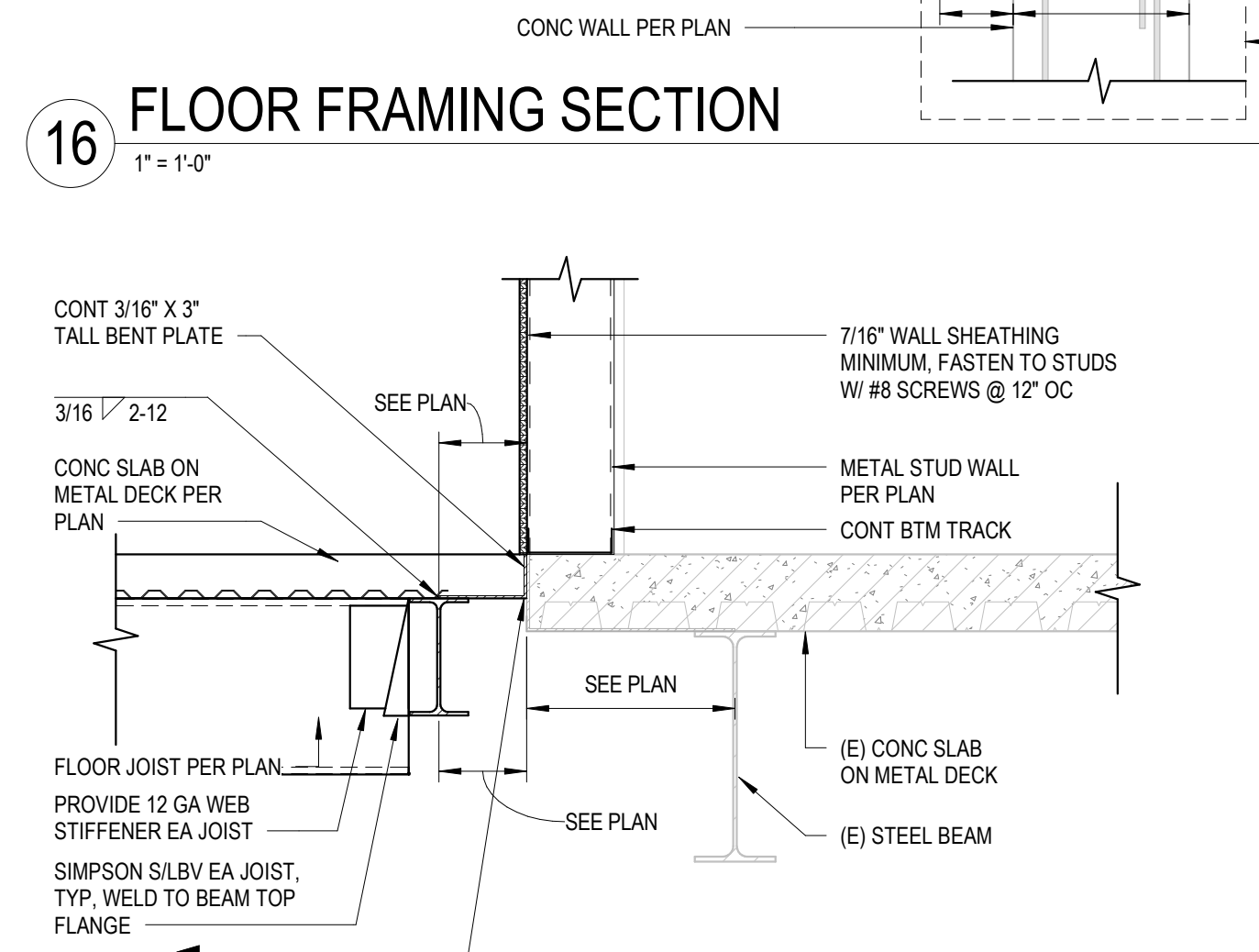
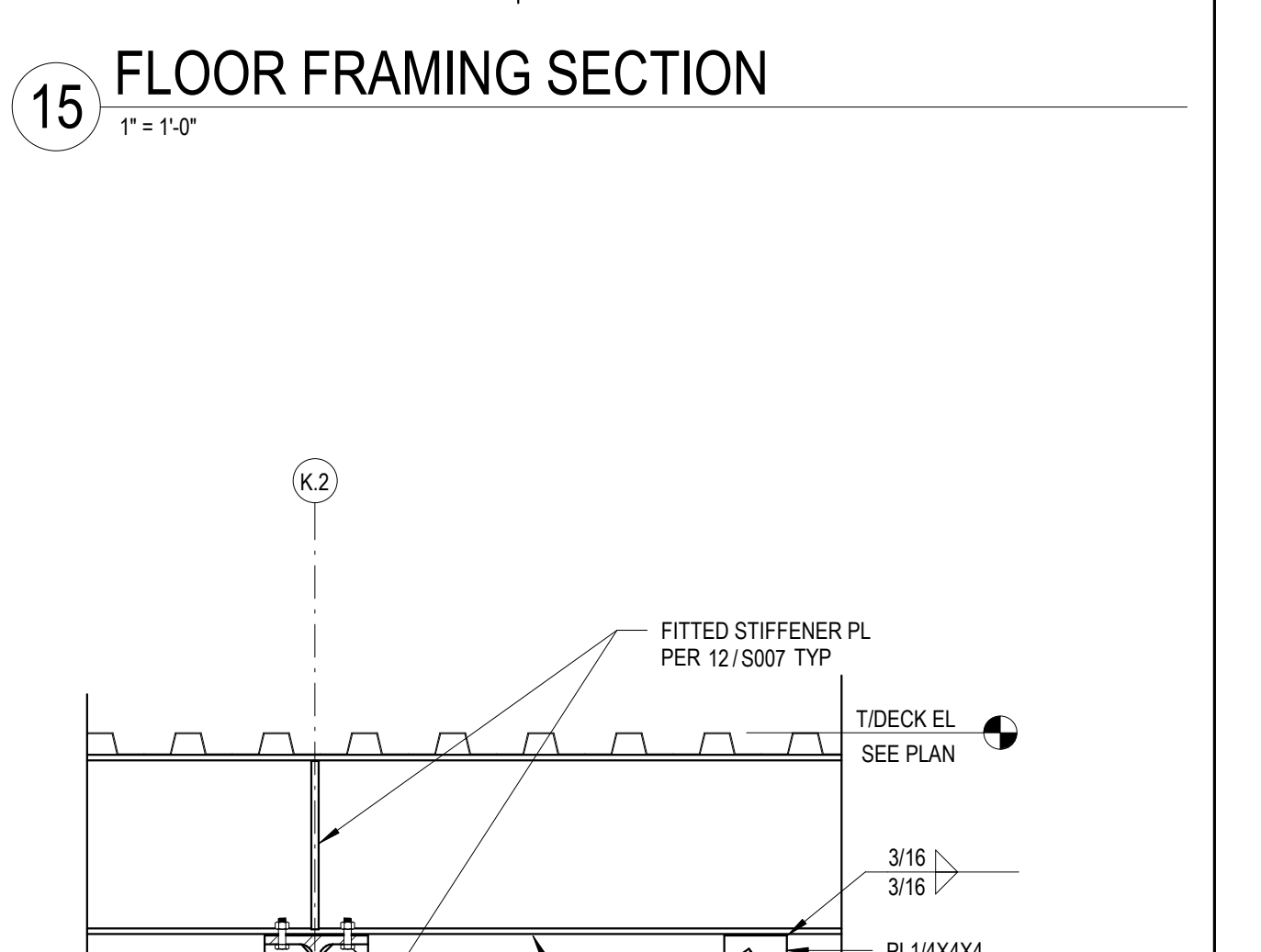
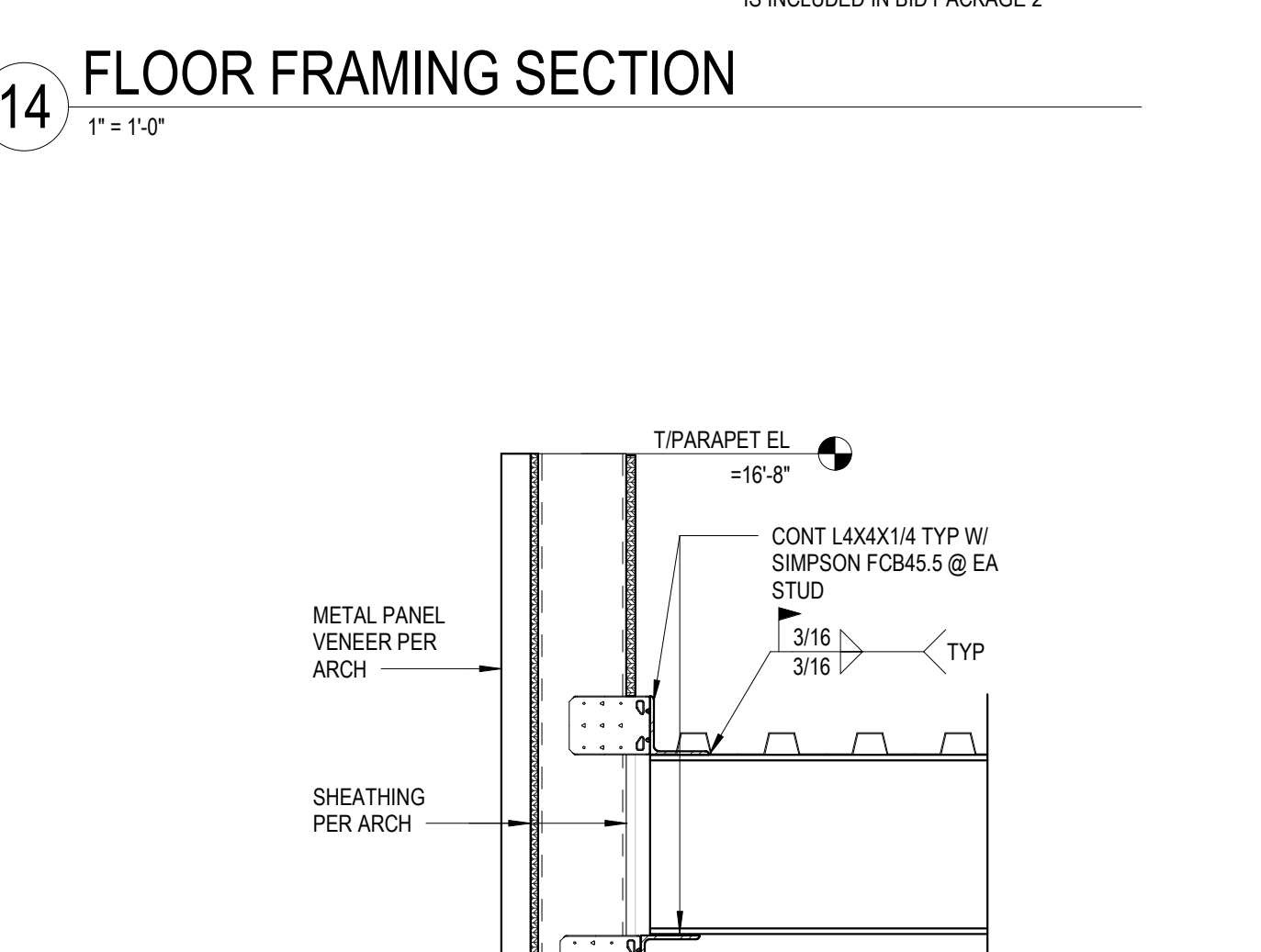
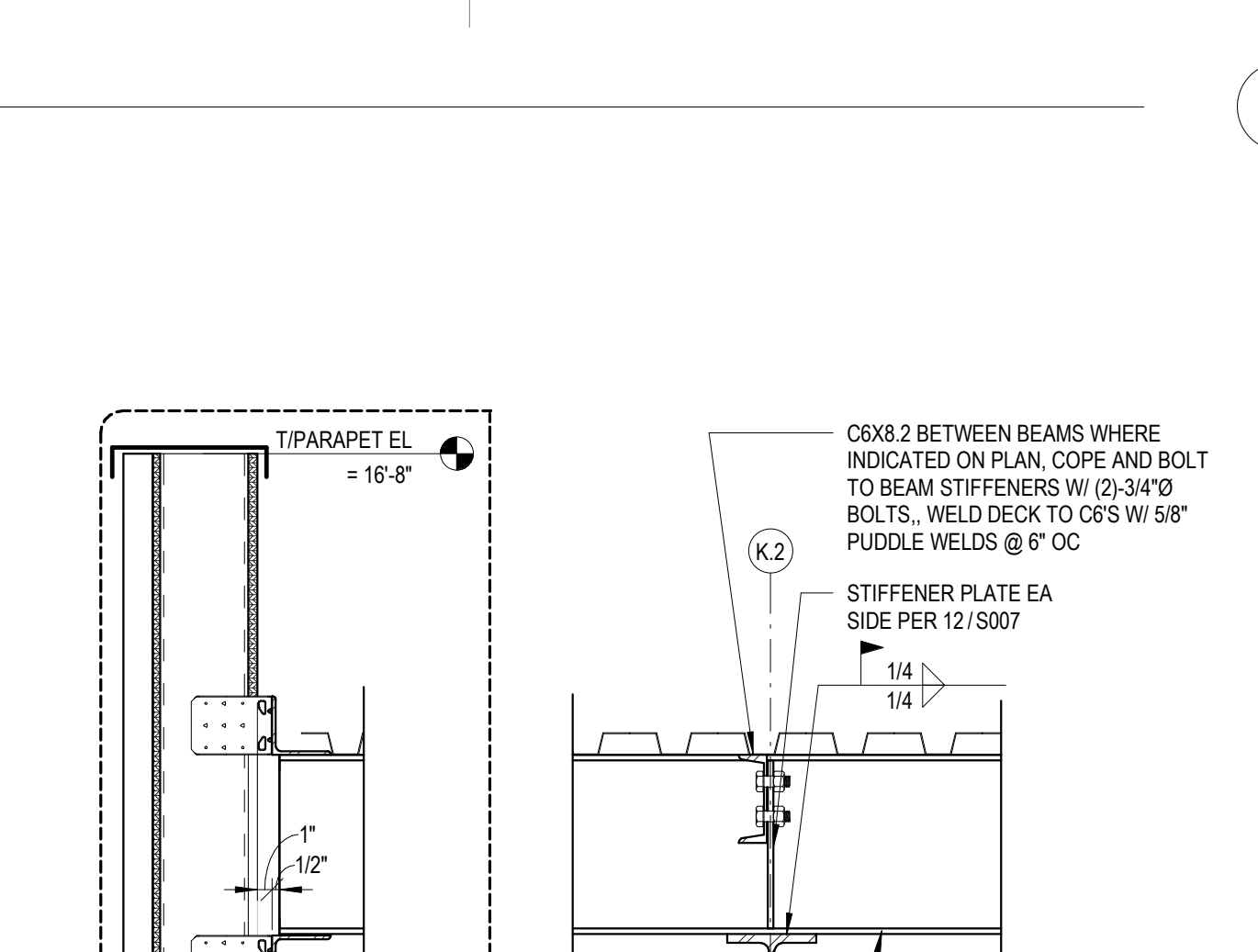
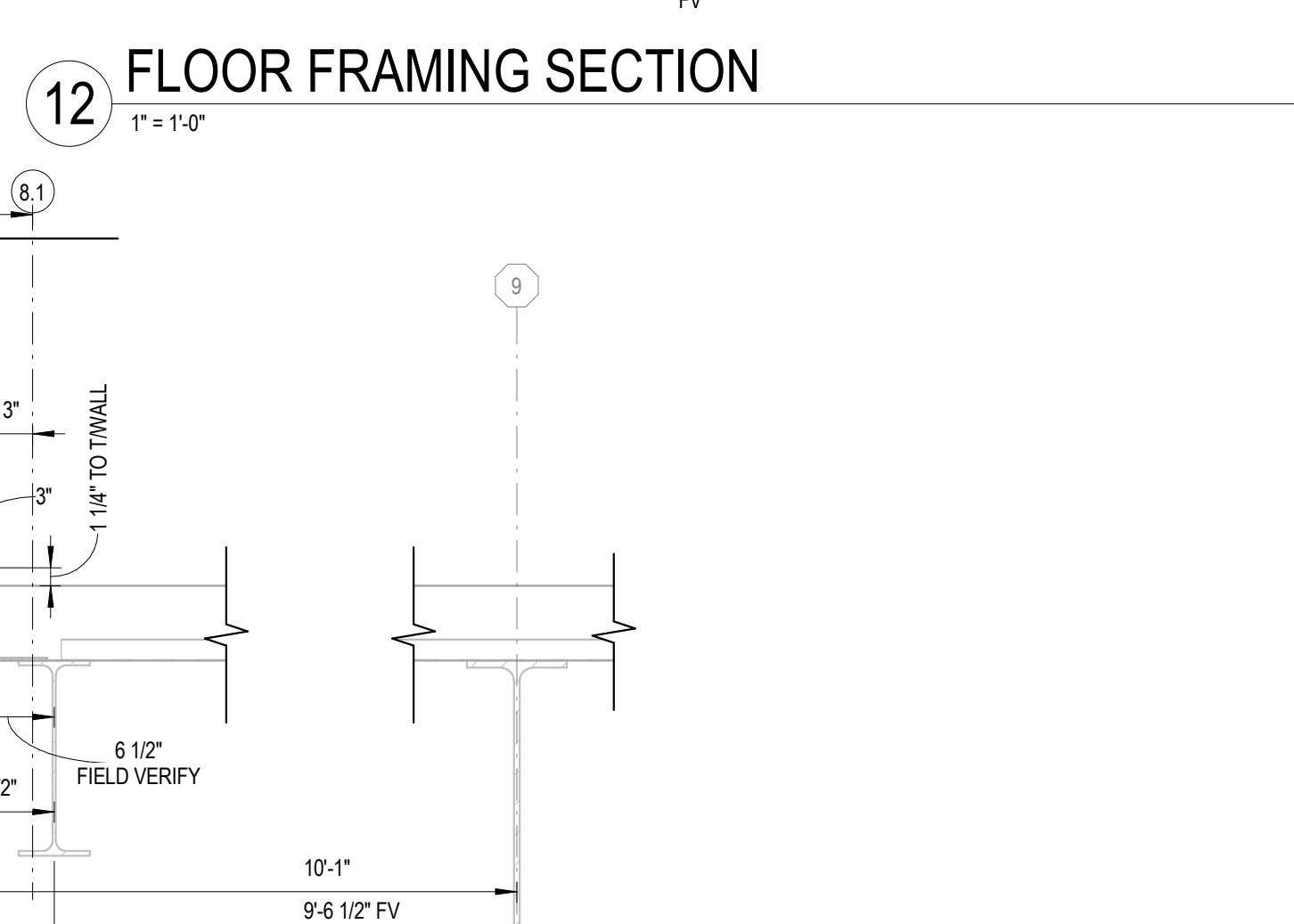
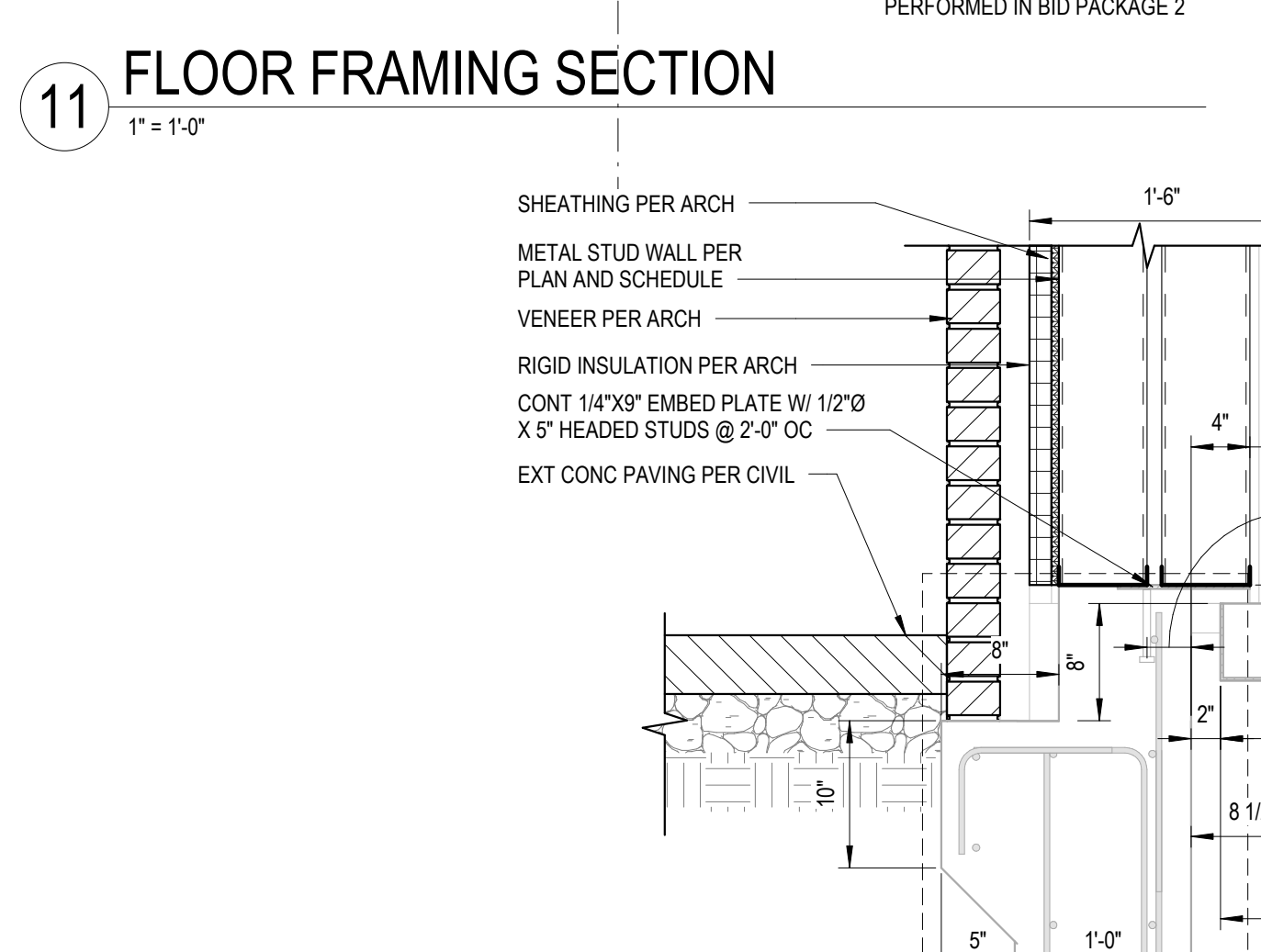
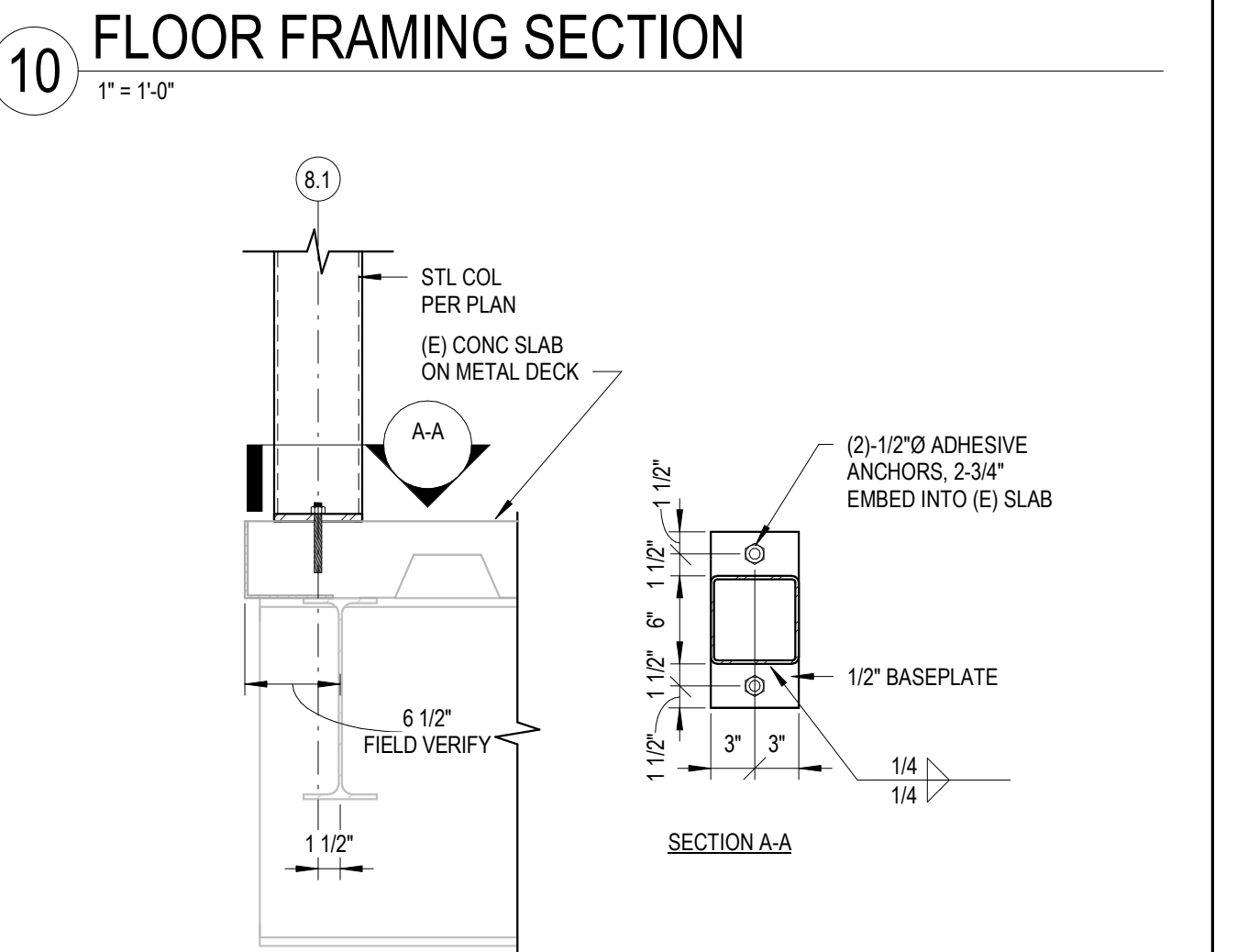
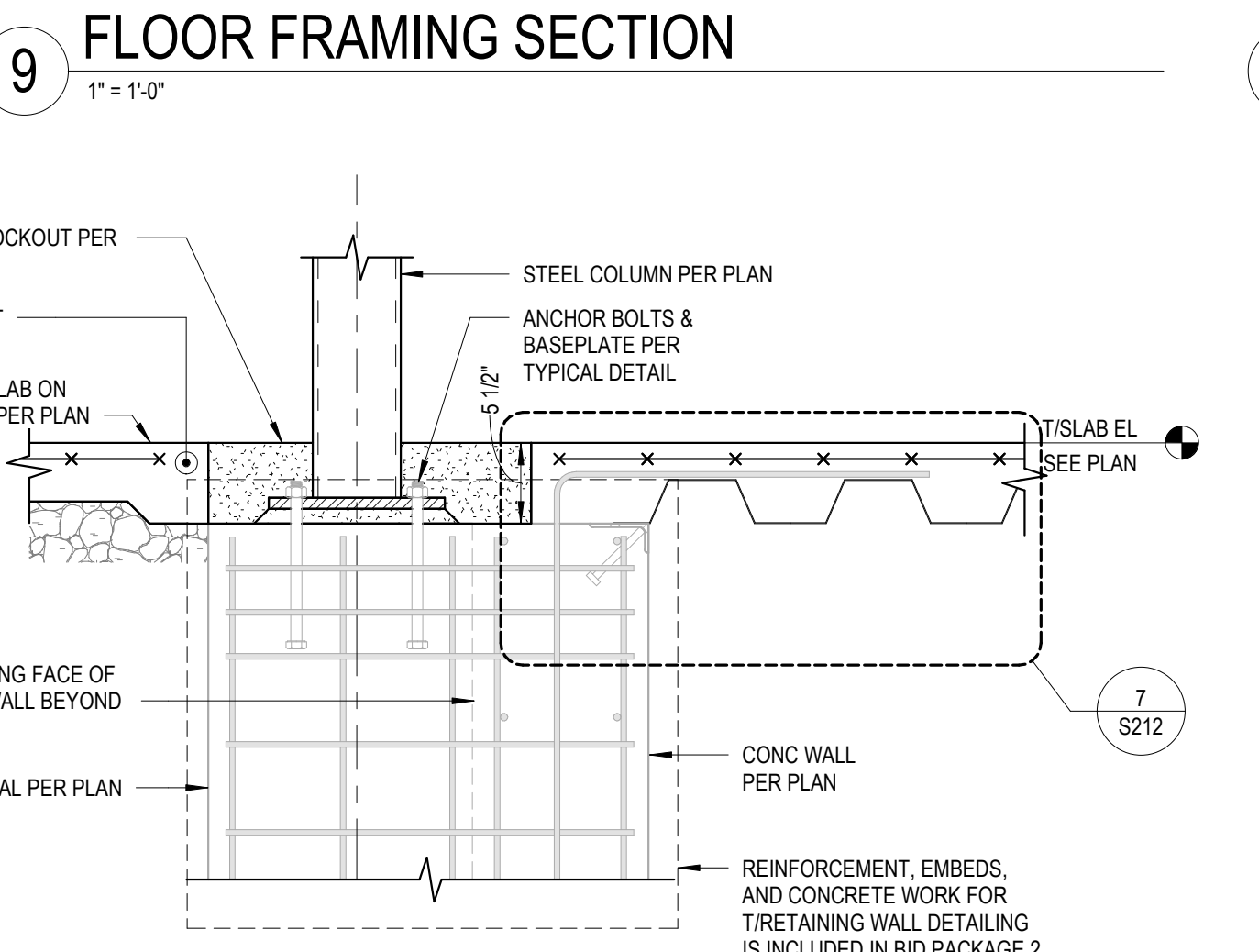
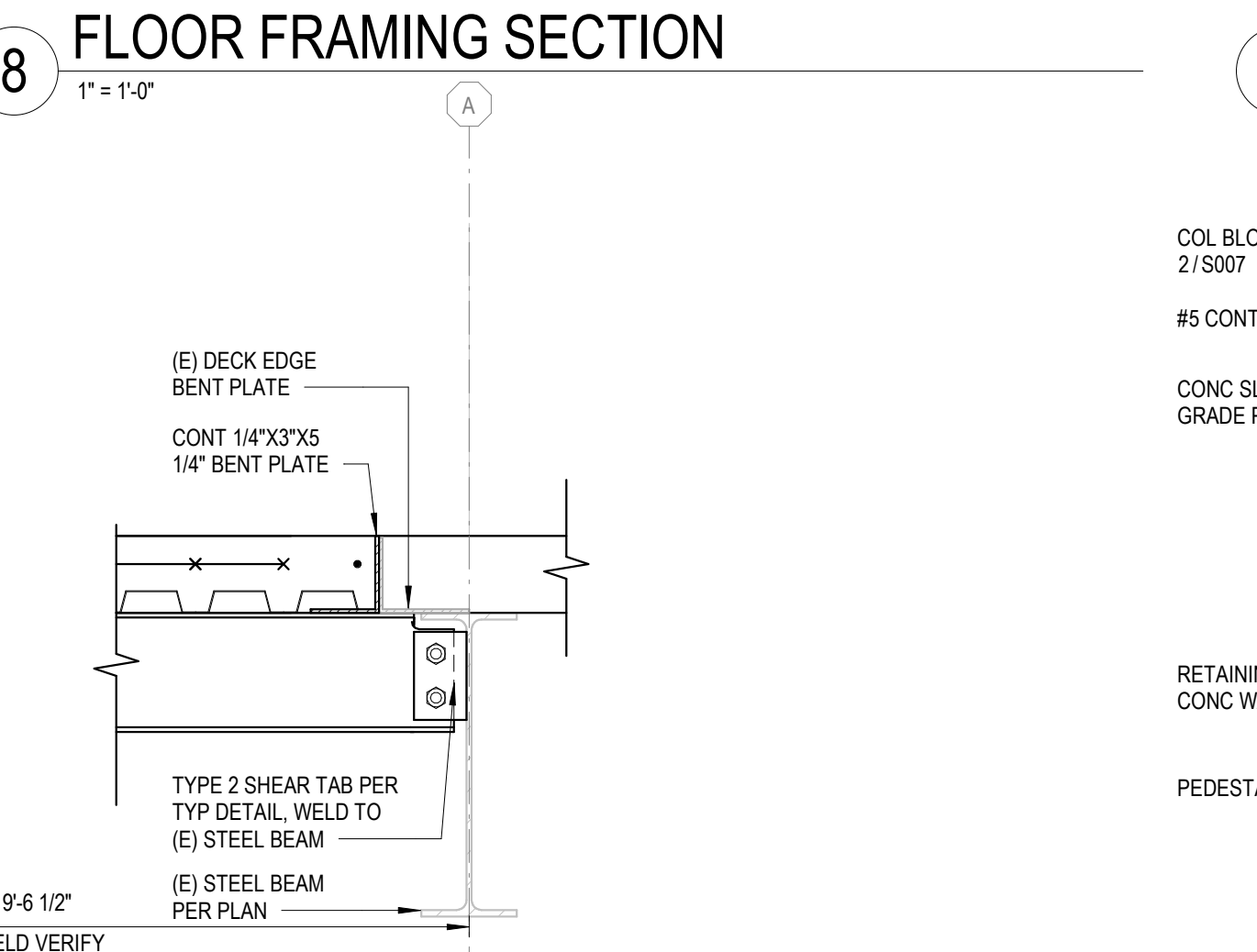
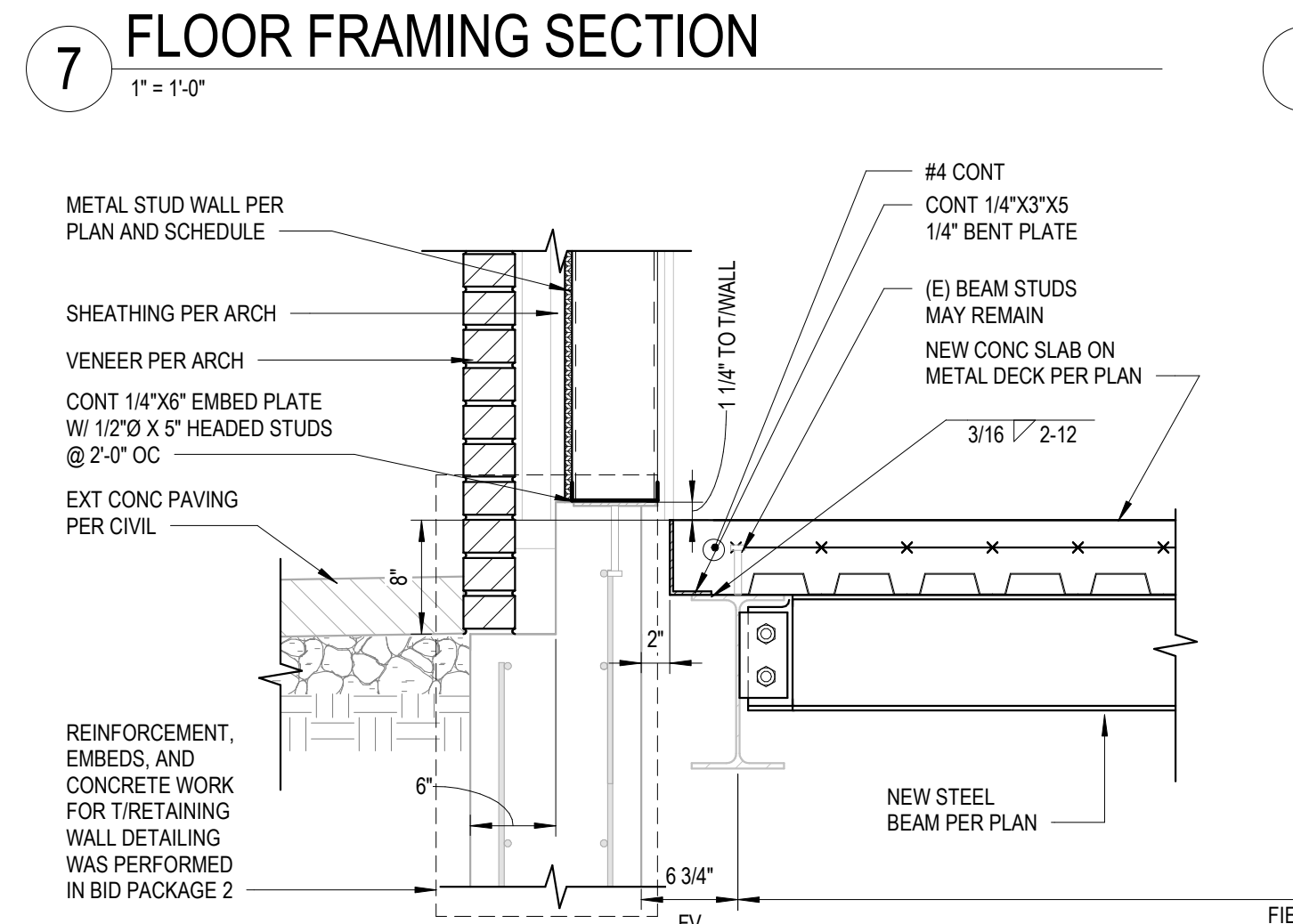
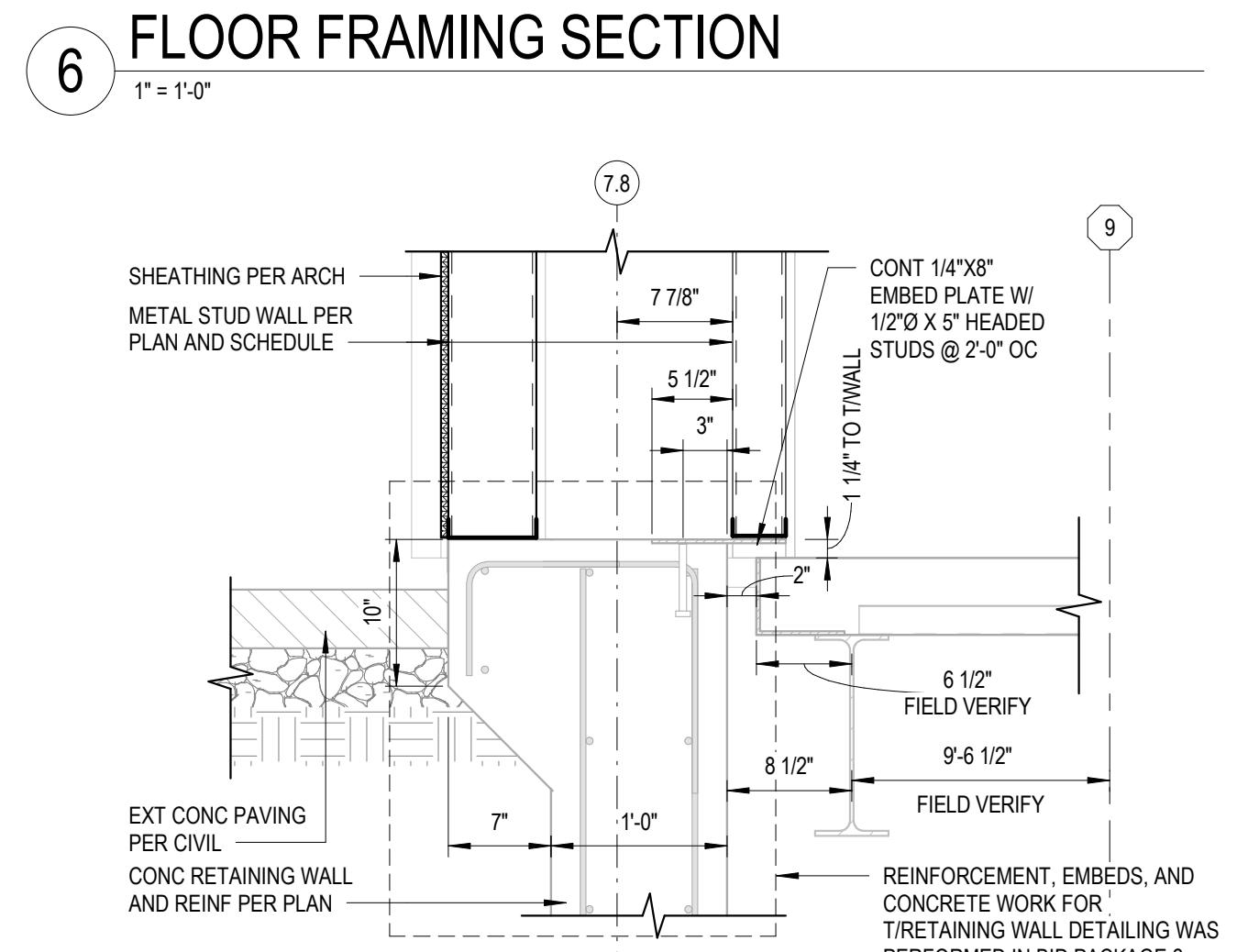
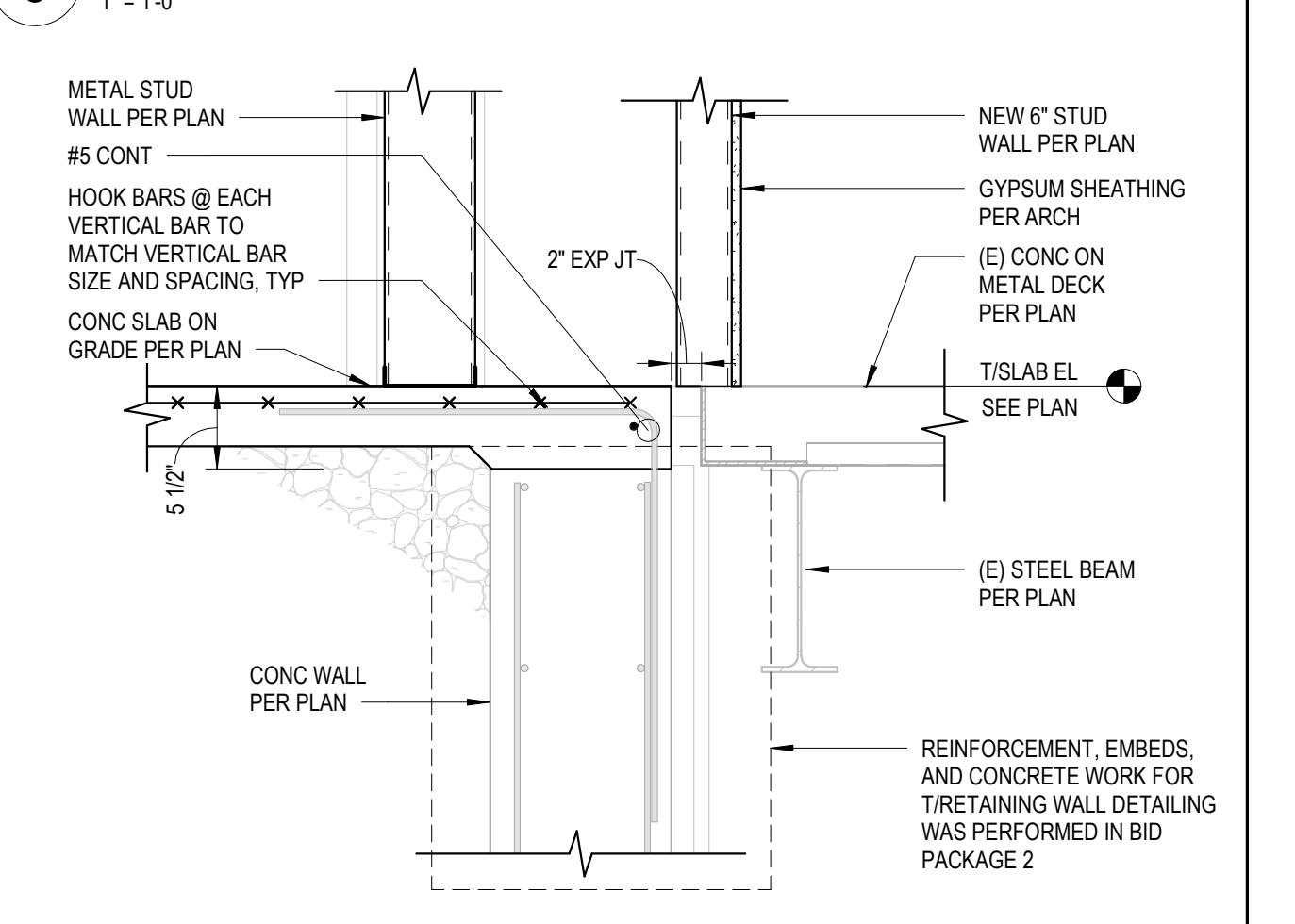
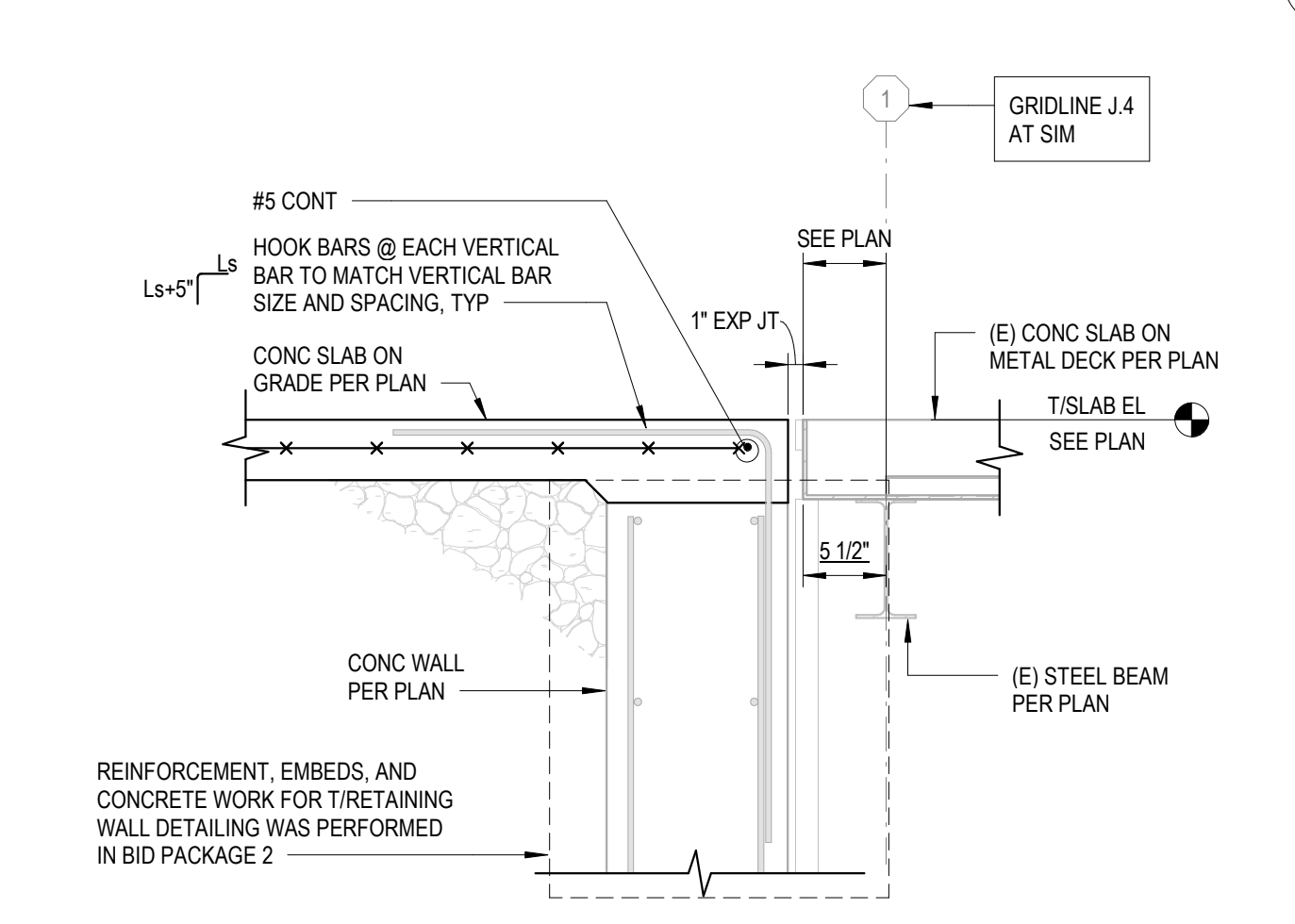
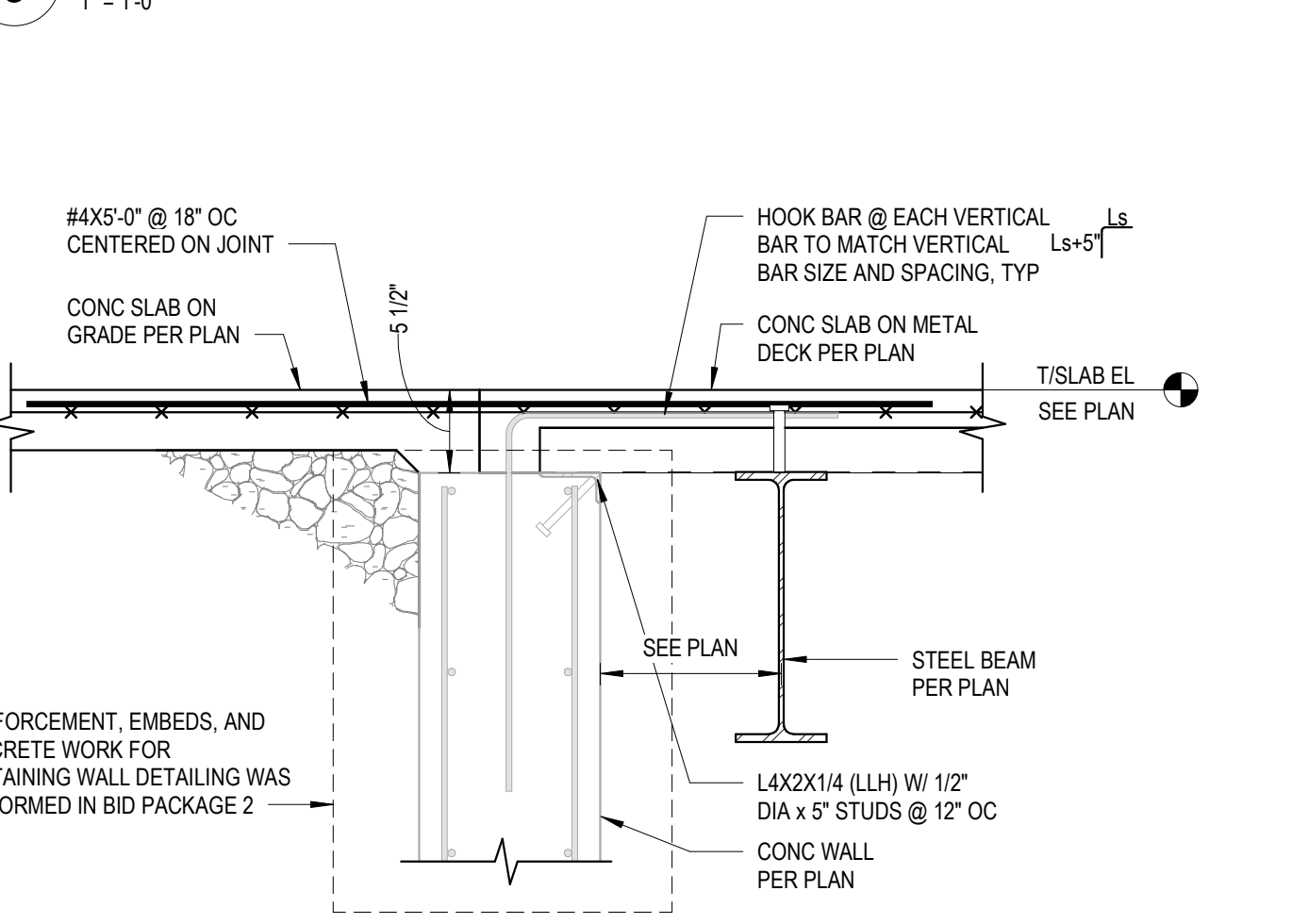
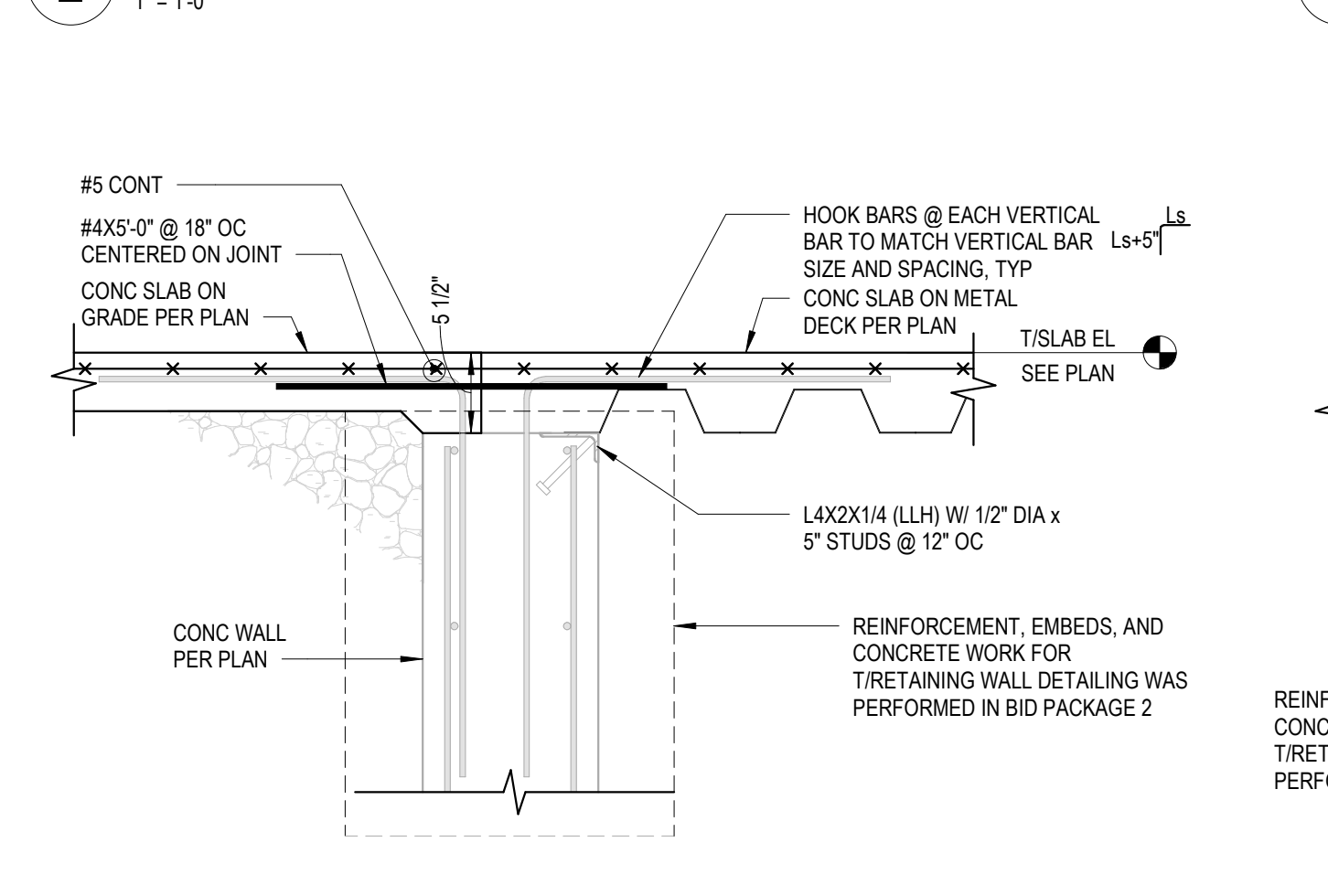
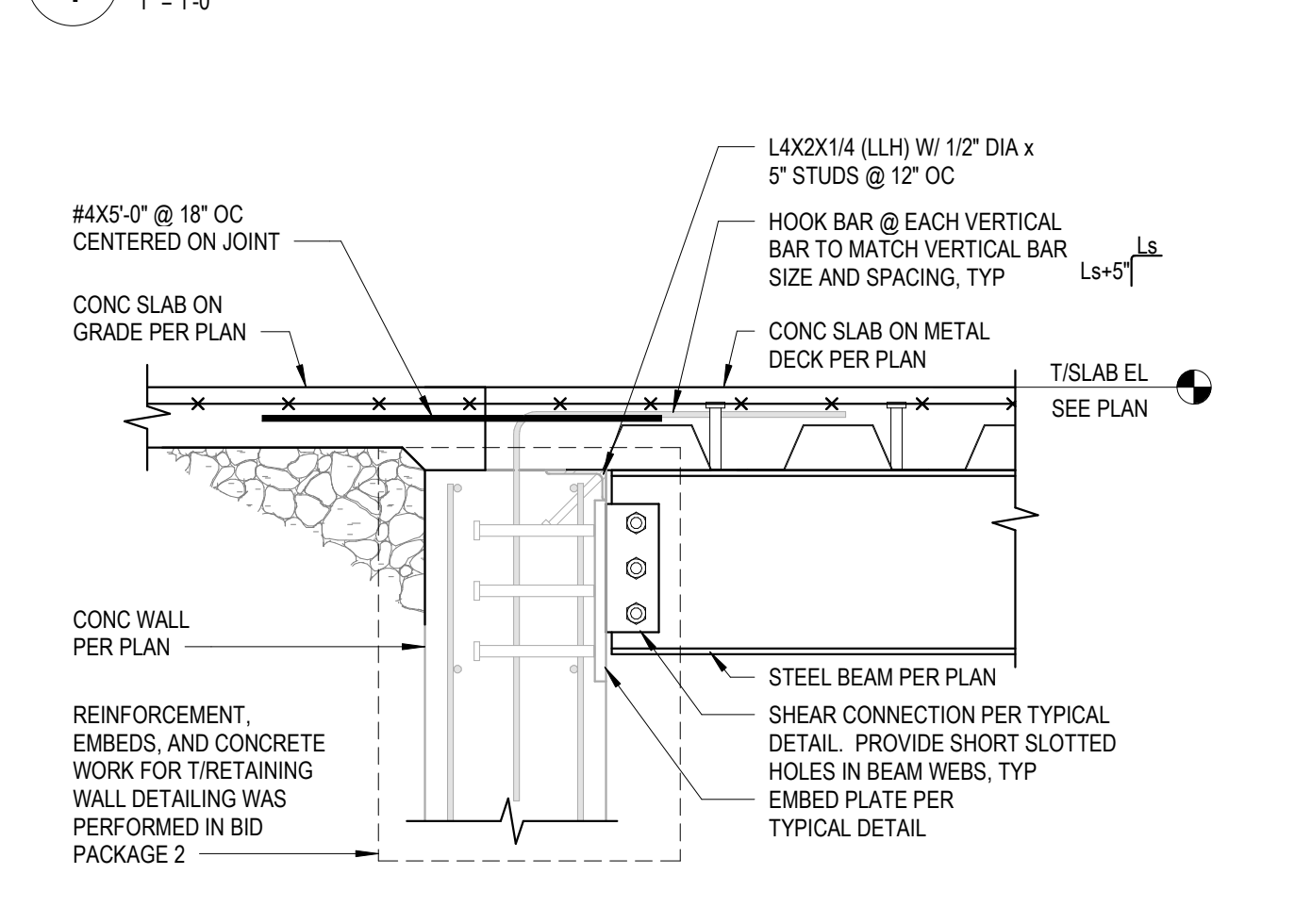
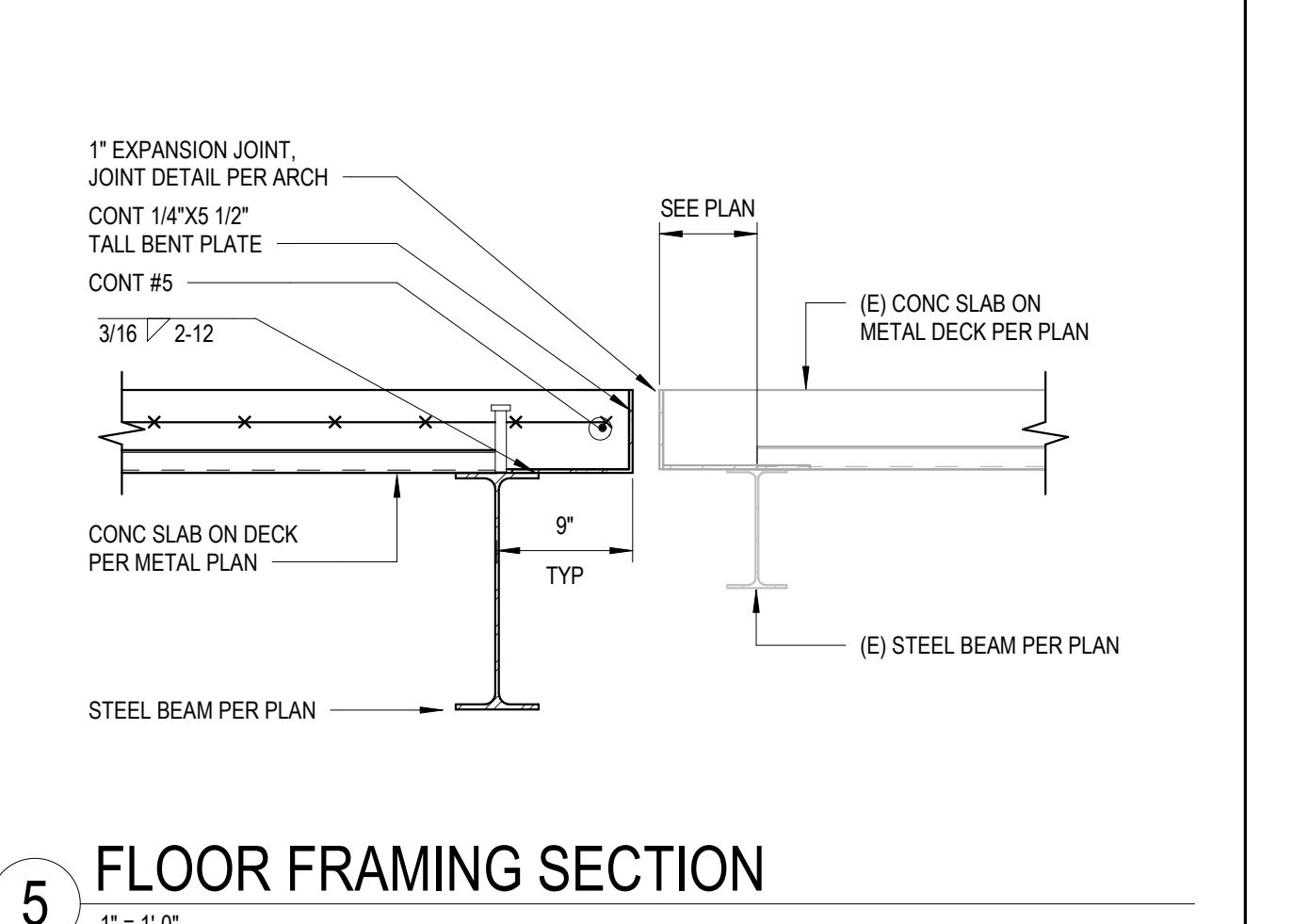
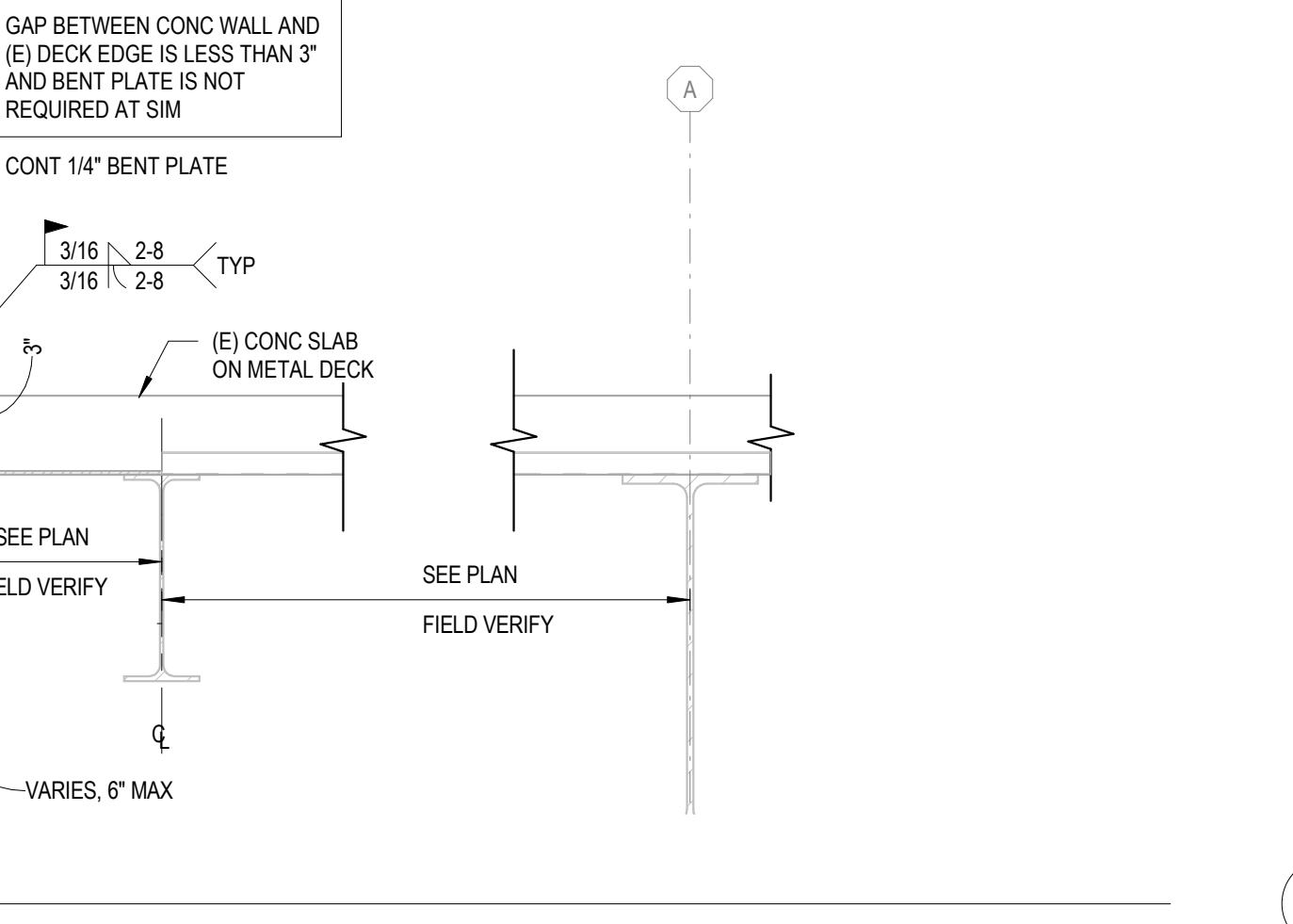
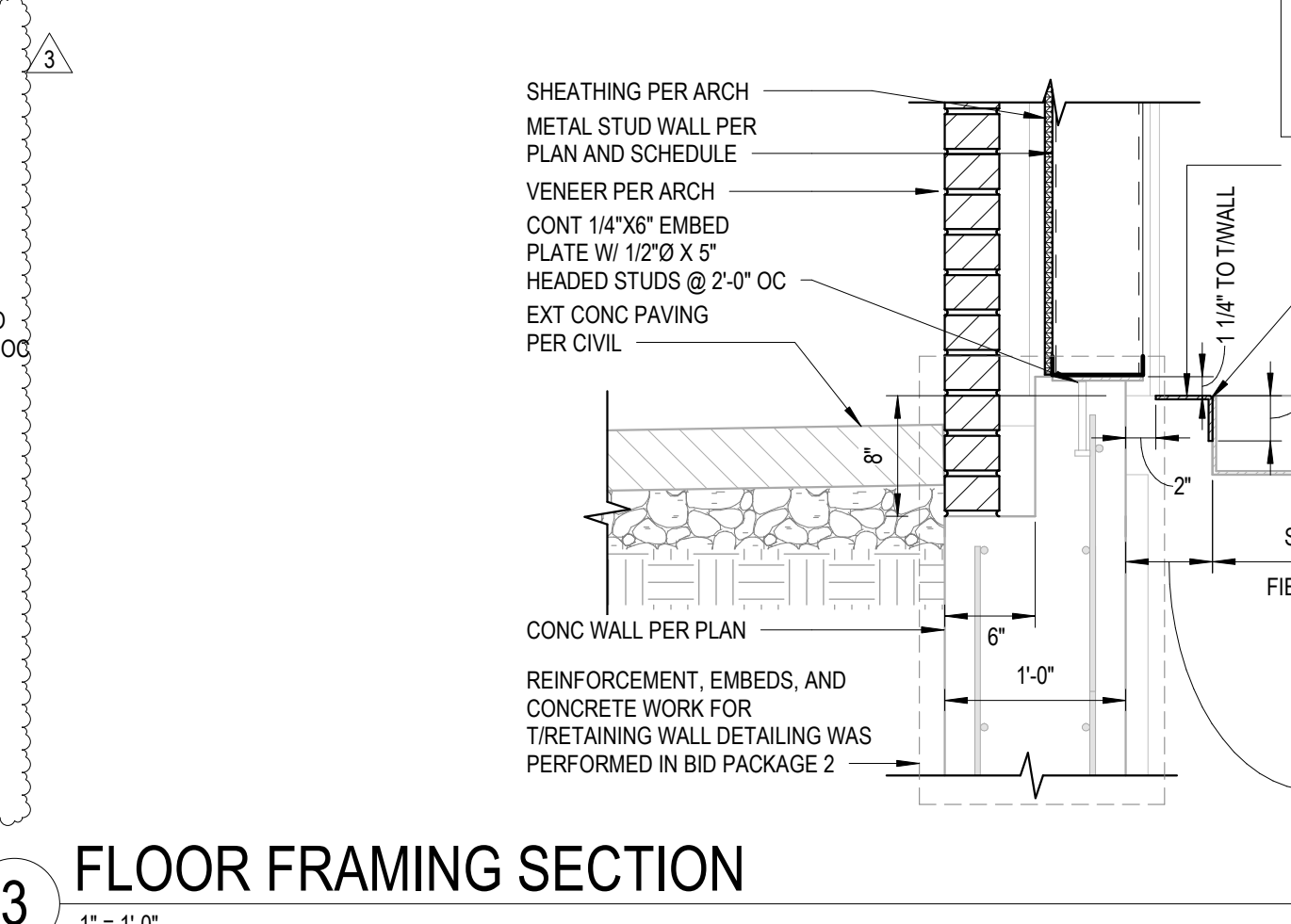
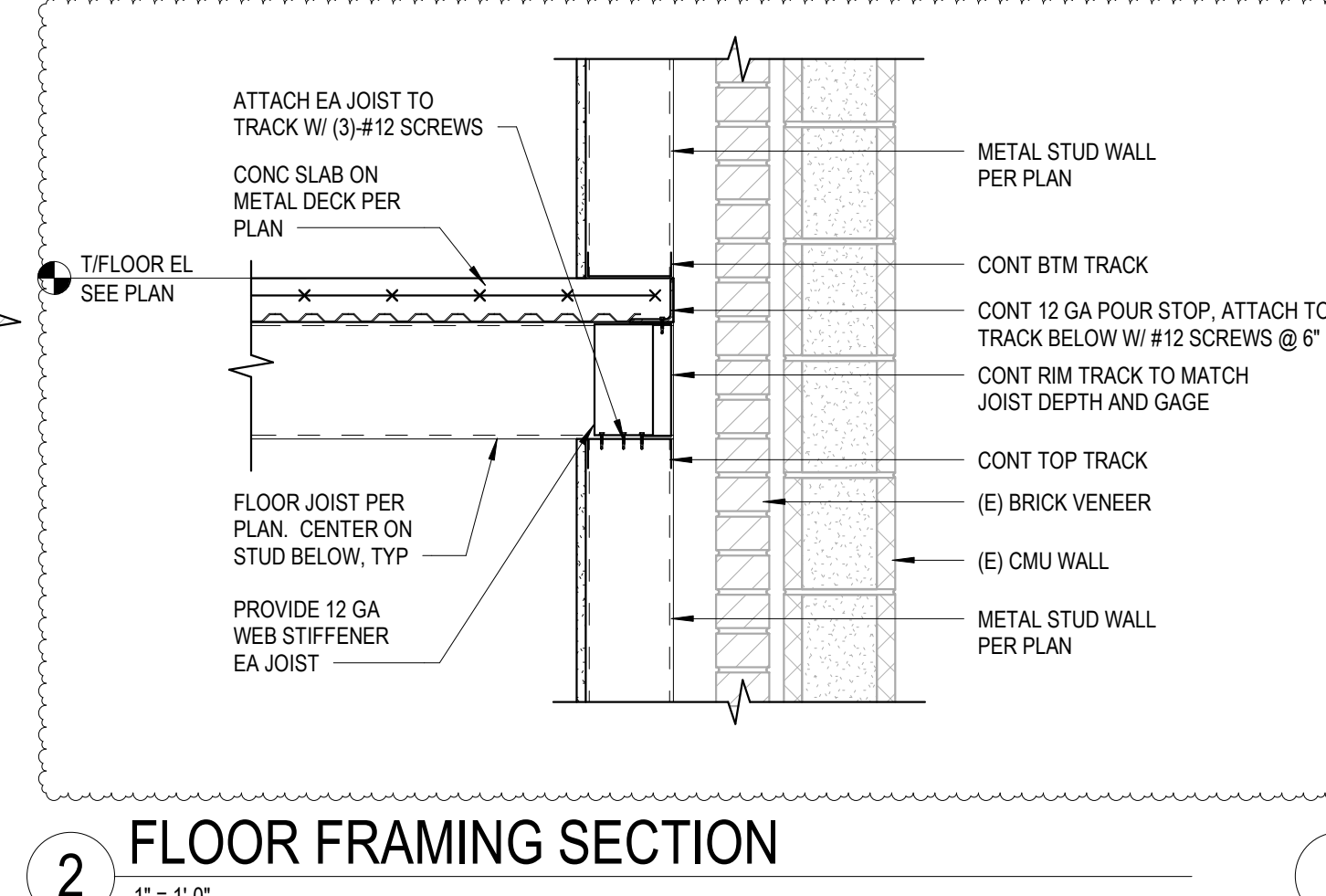
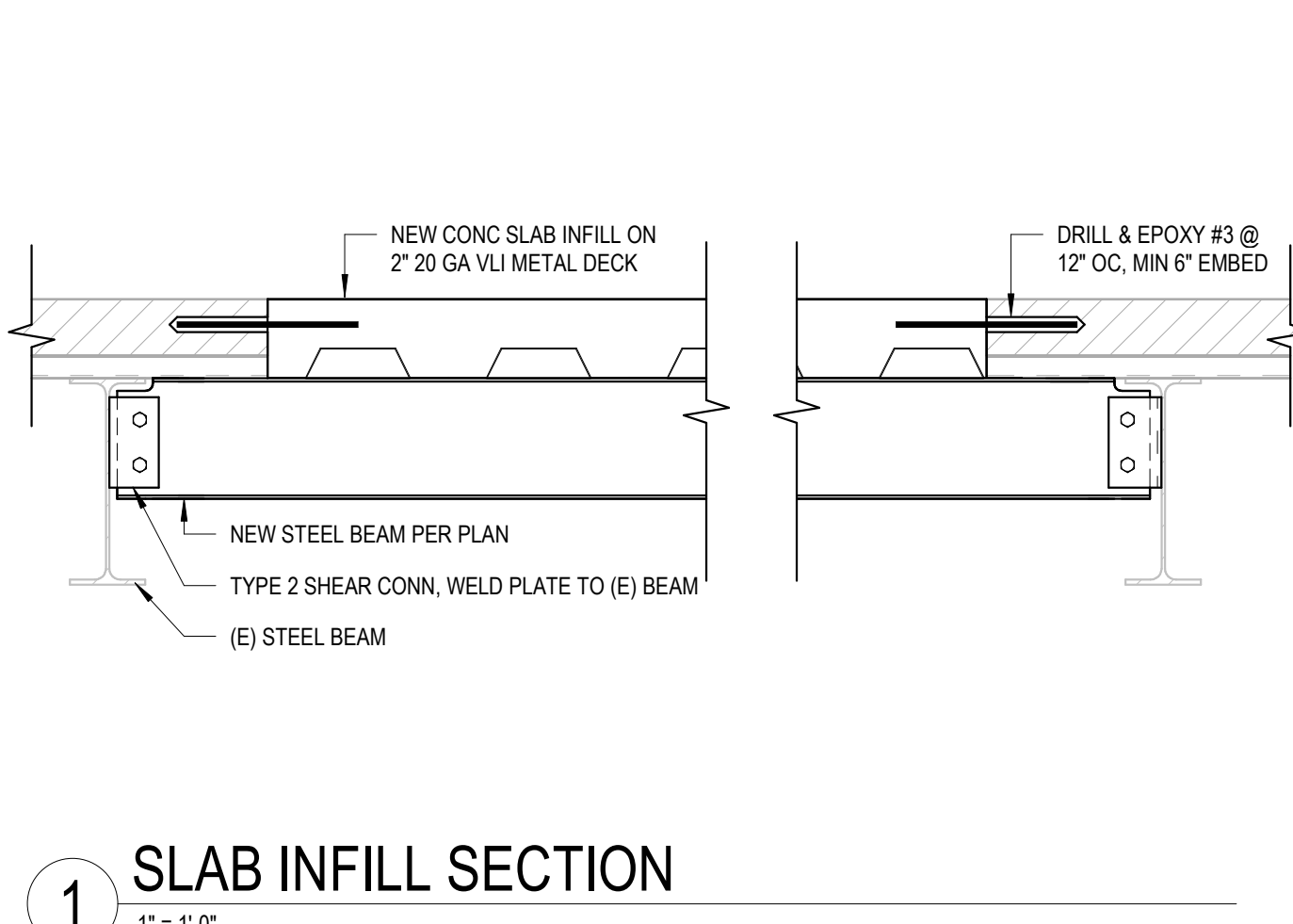
#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21
PK: CSB
PM: CSB
PA: CWR
Drawn By: CWR
Checked By: RAH

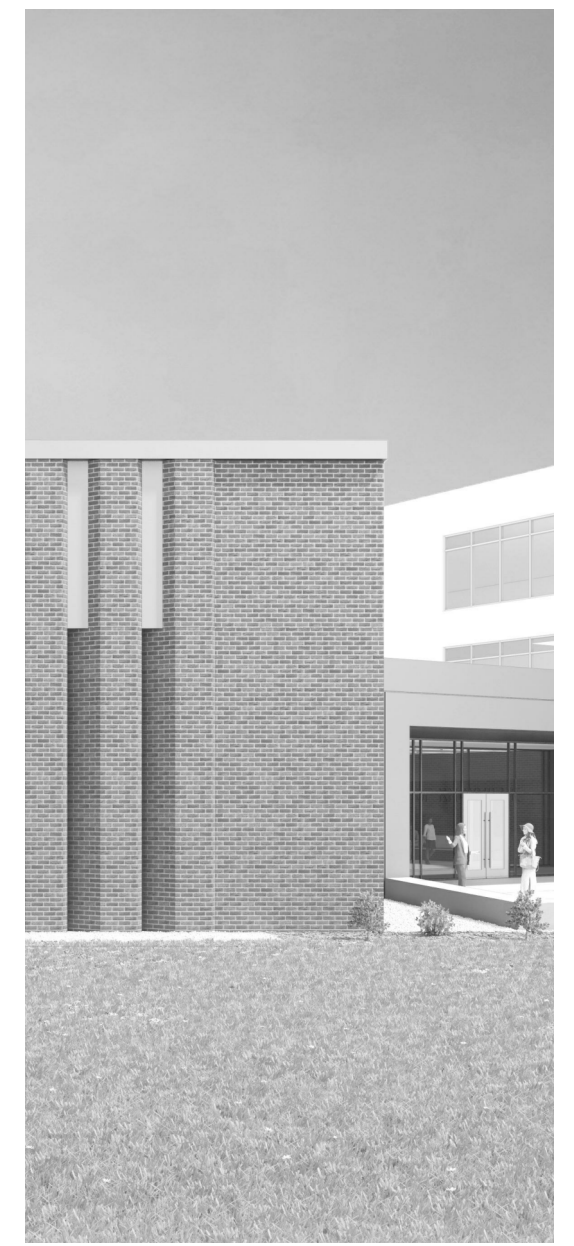
Drawing Info:

S212

CA - SECTIONS & DETAILS



2/24/2021 9:27:15 AM



Project Information:
19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN



Consultant:

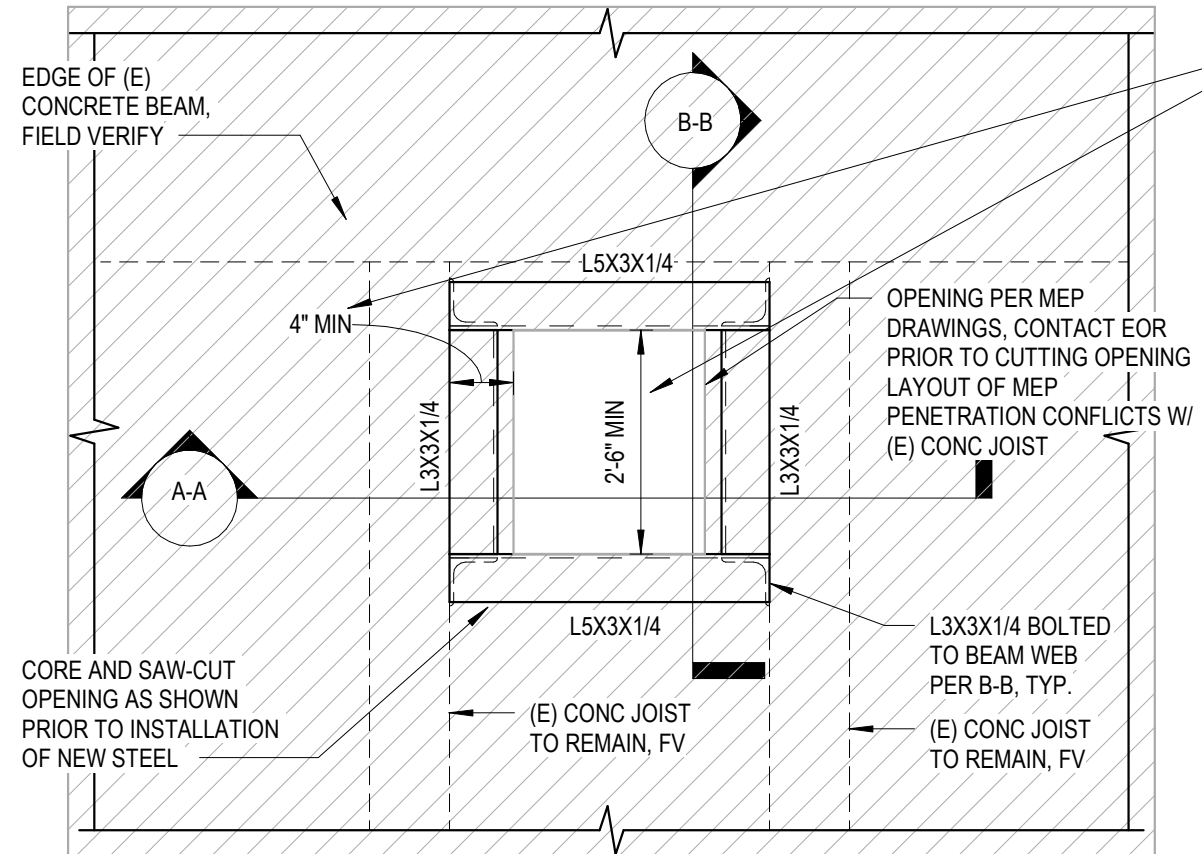


#	ISSUE	DATE
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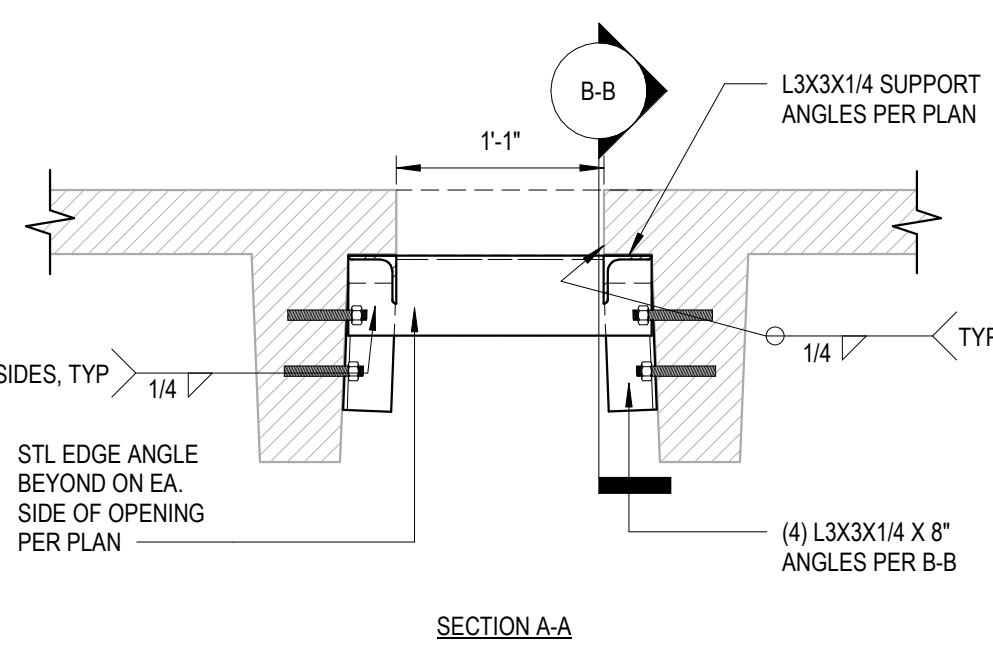
Issue Date:	02/01/21
PKC:	
PM:	CSB
PA:	
Drawn By:	CWR
Checked By:	RAH
Drawing Info:	

S220

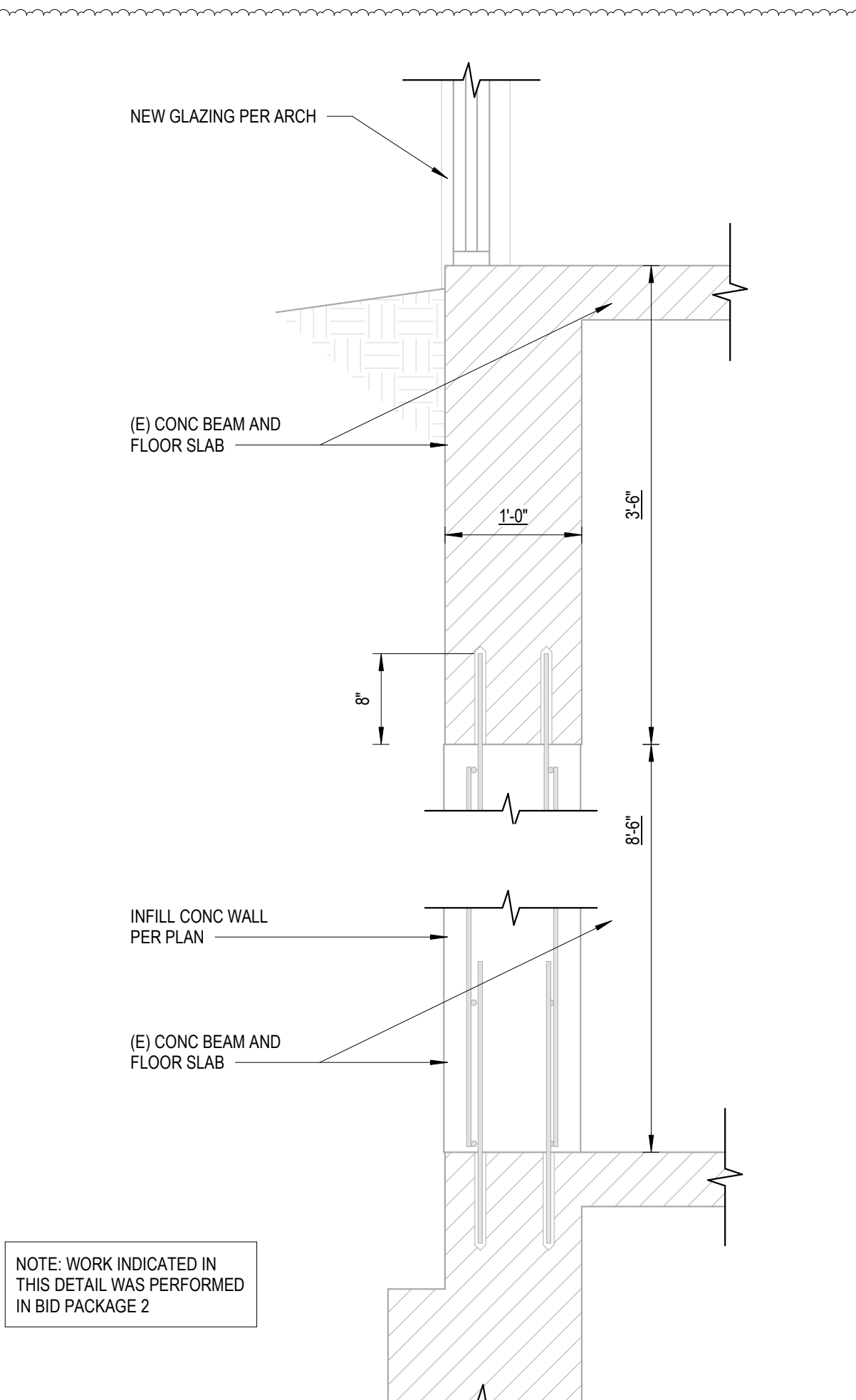
POB - SECTIONS & DETAILS



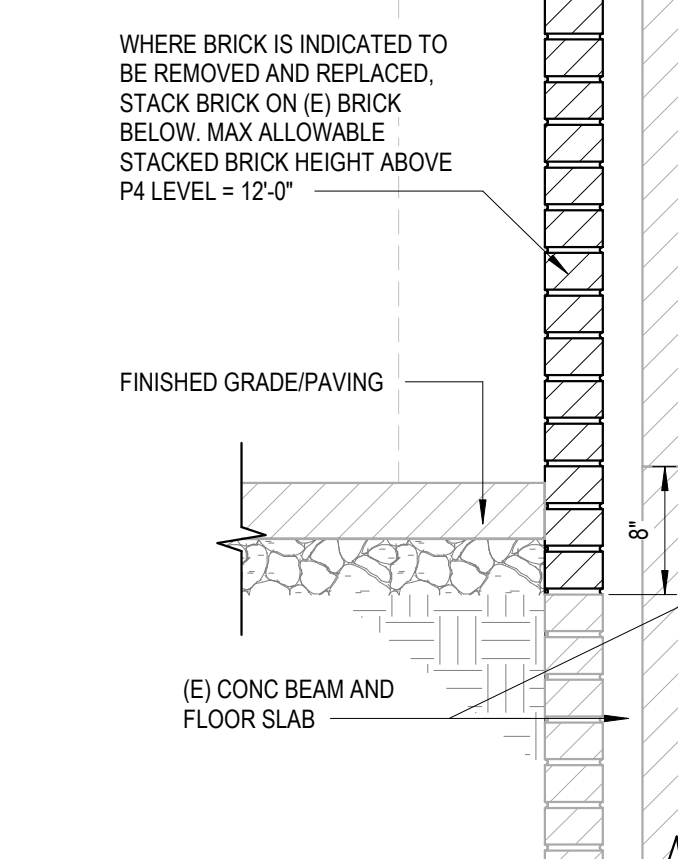
NOTE: THIS DETAIL IS ONLY REQUIRED WHERE THESE TWO DIMENSIONS ARE MET. IF REQUIRED OPENING IS LESS THAN 2'-0" IN LENGTH OR LESS THAN 4" FROM (E) CONC JOIST EA SIDE, NO SUPPLEMENTAL STEEL FRAMING IS REQUIRED.



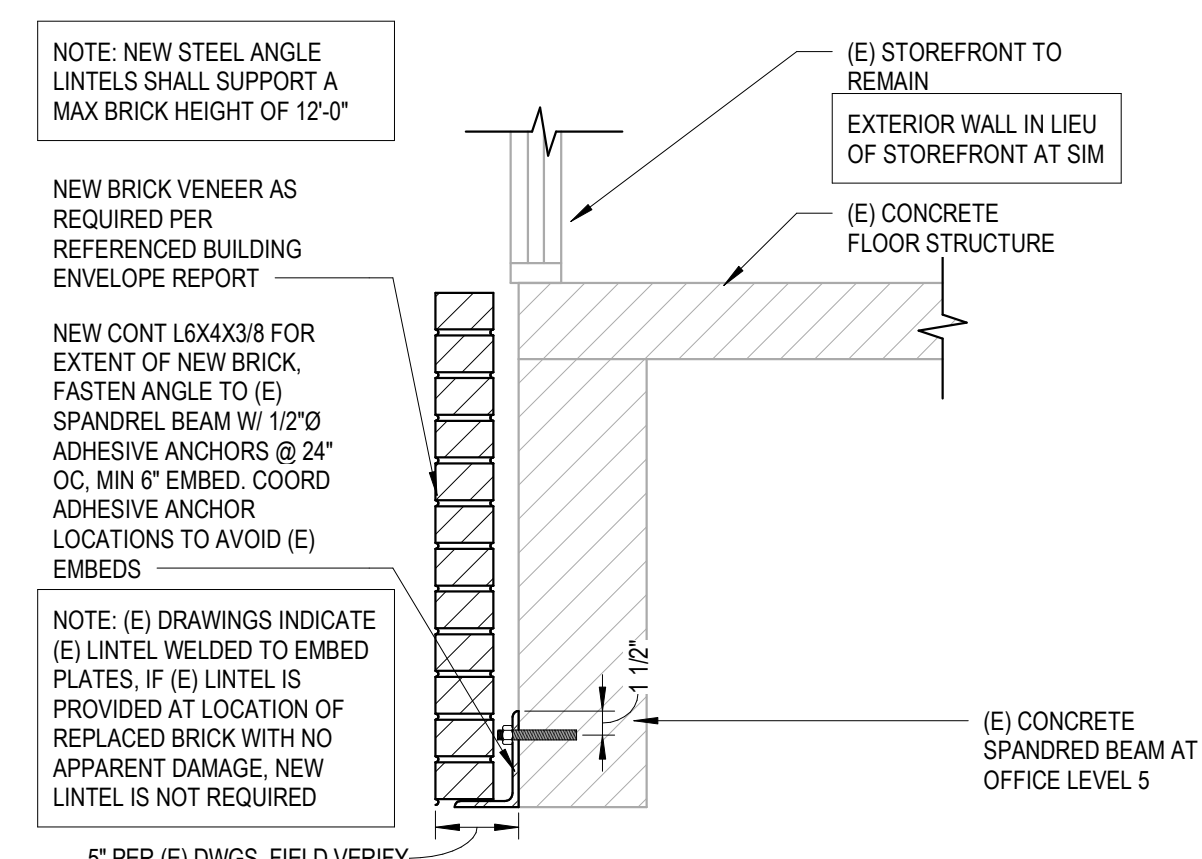
1 TYPICAL NEW OPENING IN CONCRETE PAN JOIST FLOOR
1" = 1'-0"



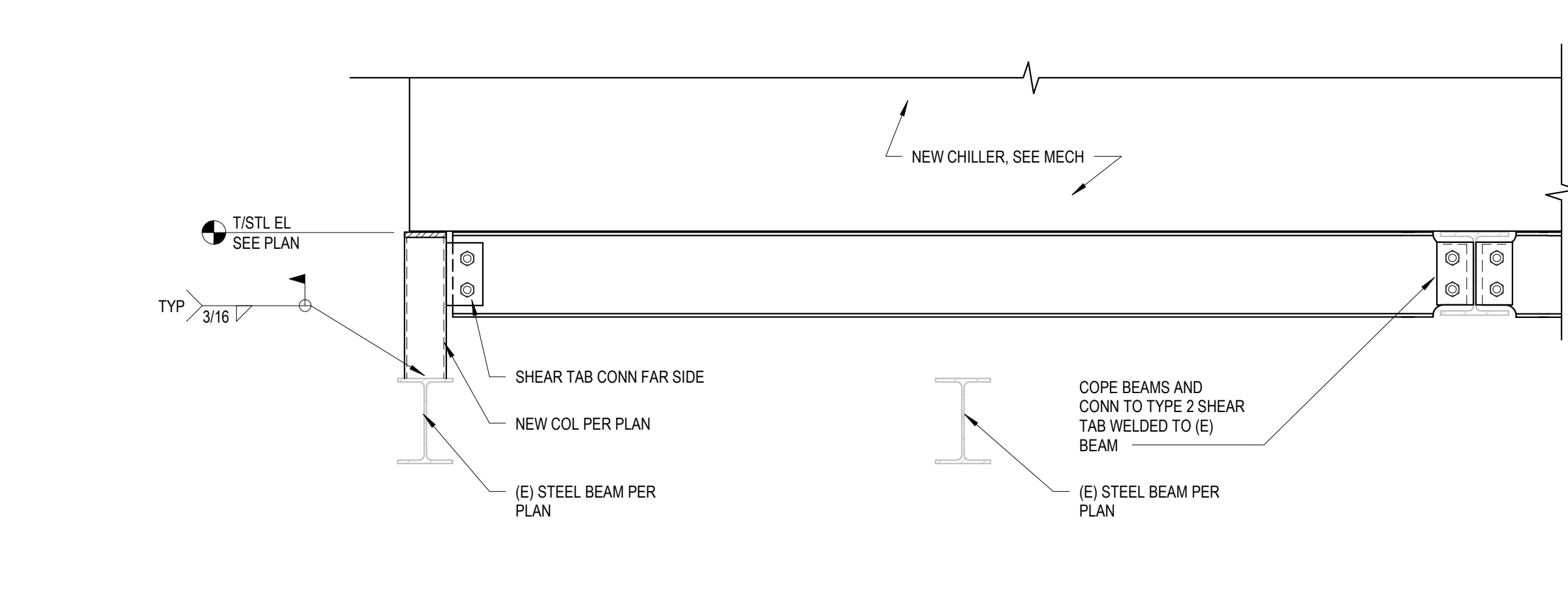
11 FOUNDATION SECTION
1" = 1'-0"



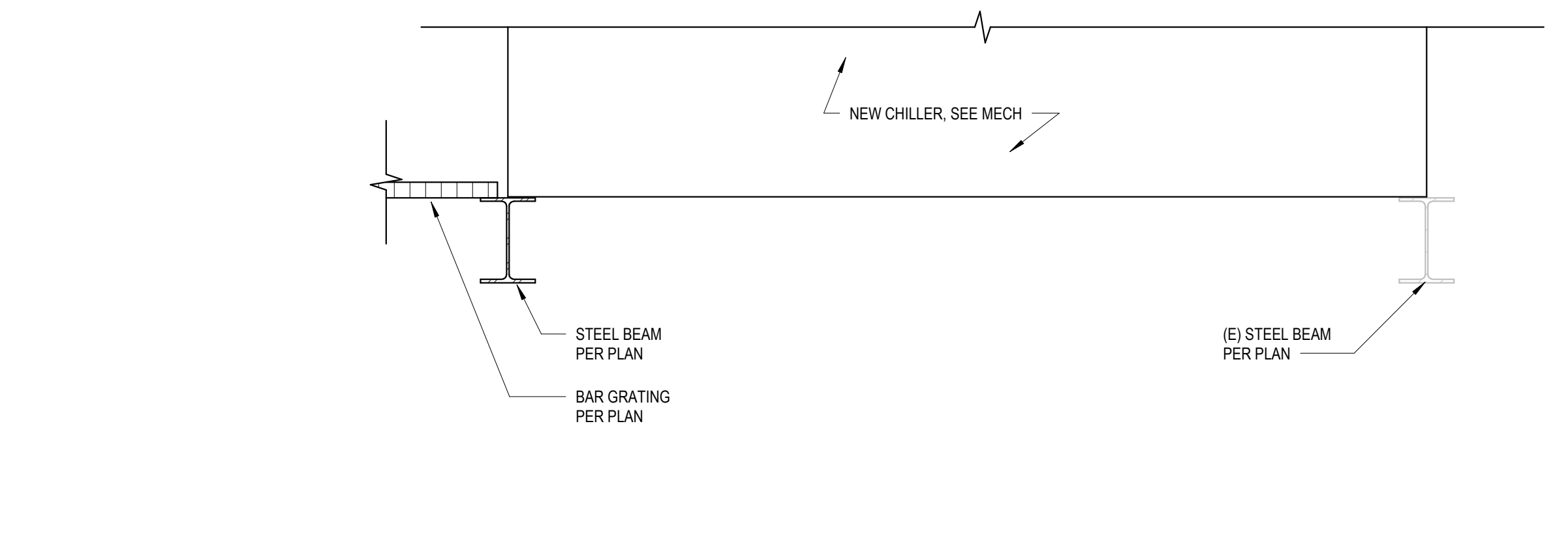
16 FOUNDATION SECTION
1" = 1'-0"



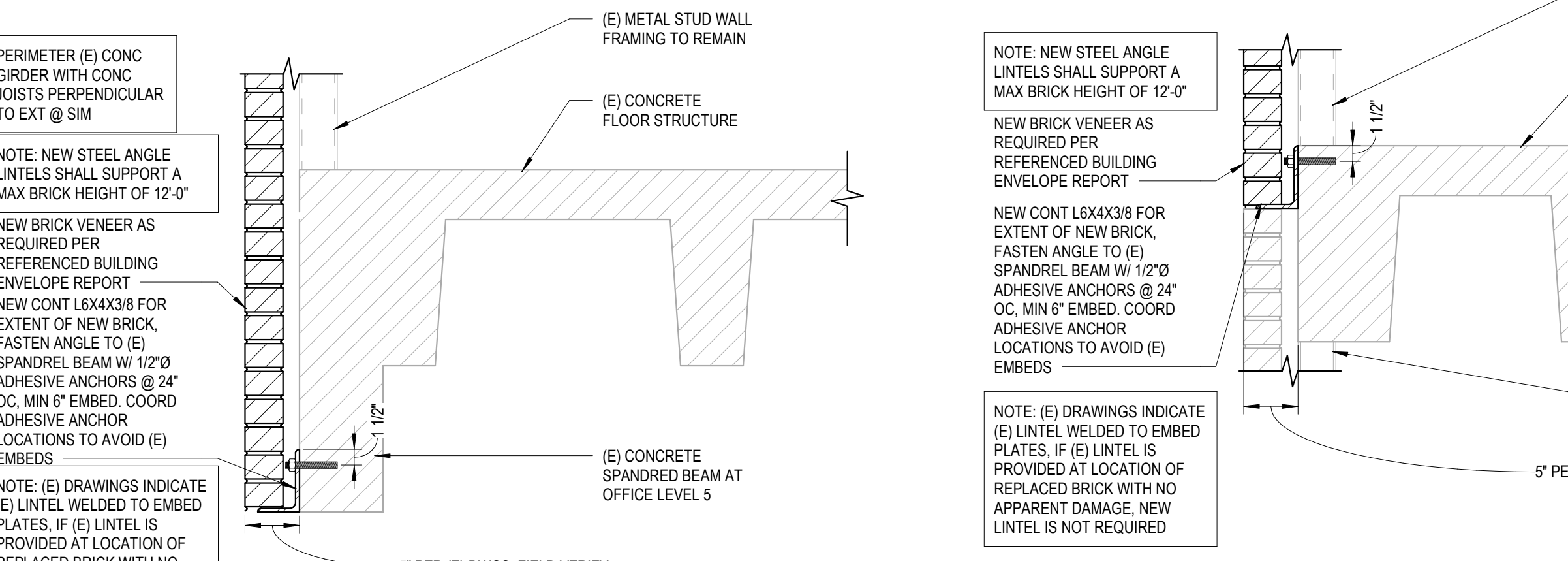
21 NEW BRICK SUPPORT AT ELEV LOBBY
1" = 1'-0"



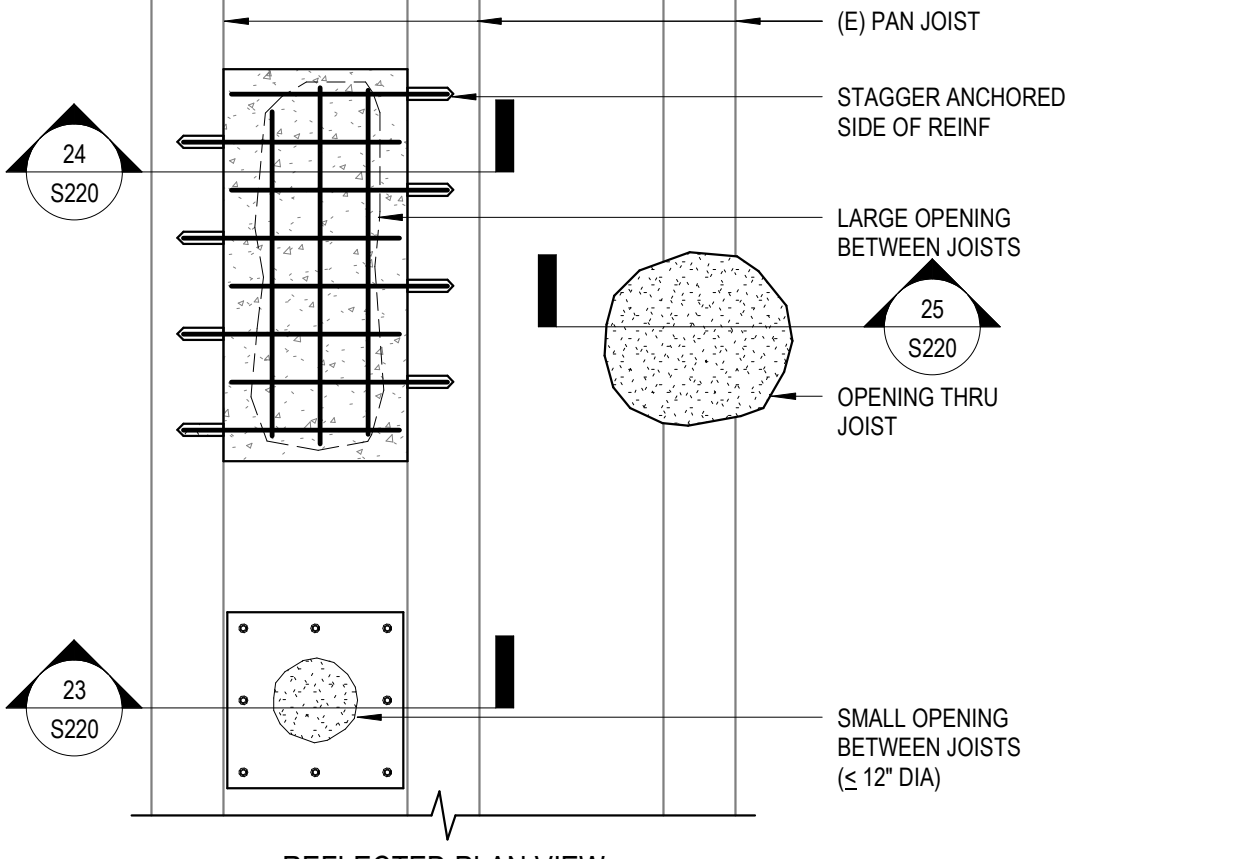
7 FRAMING SECTION
1" = 1'-0"



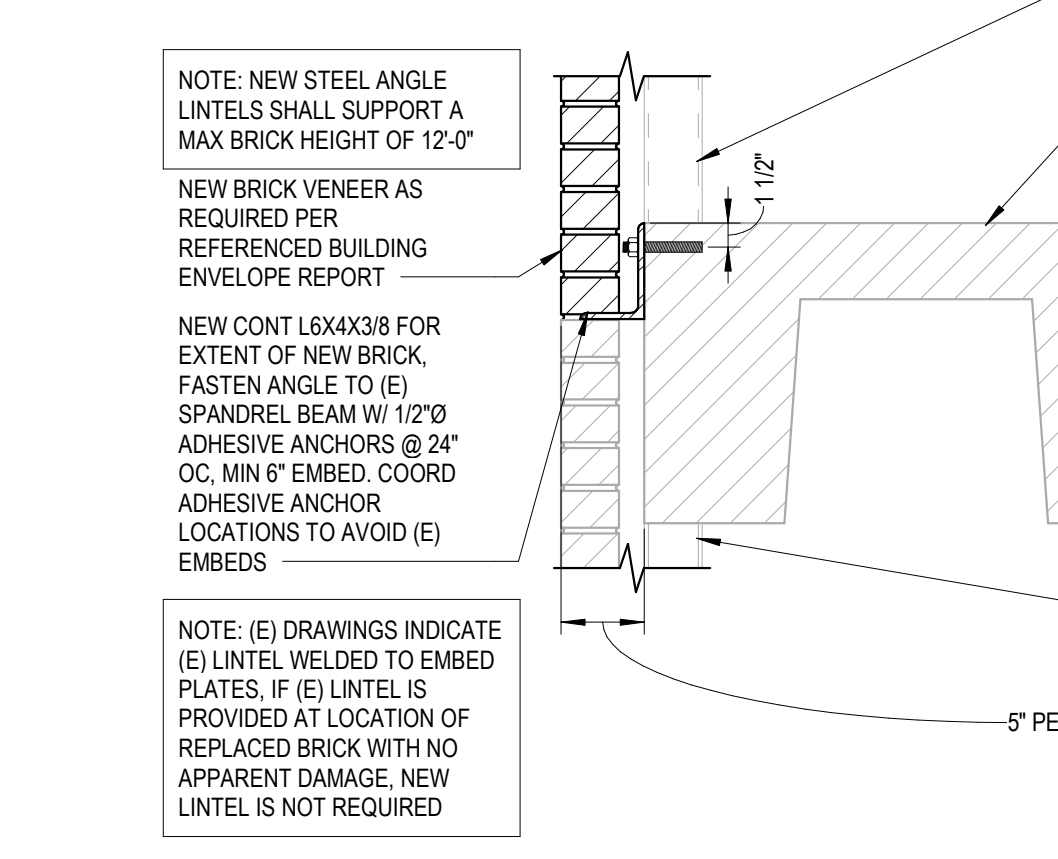
12 FRAMING SECTION
1" = 1'-0"



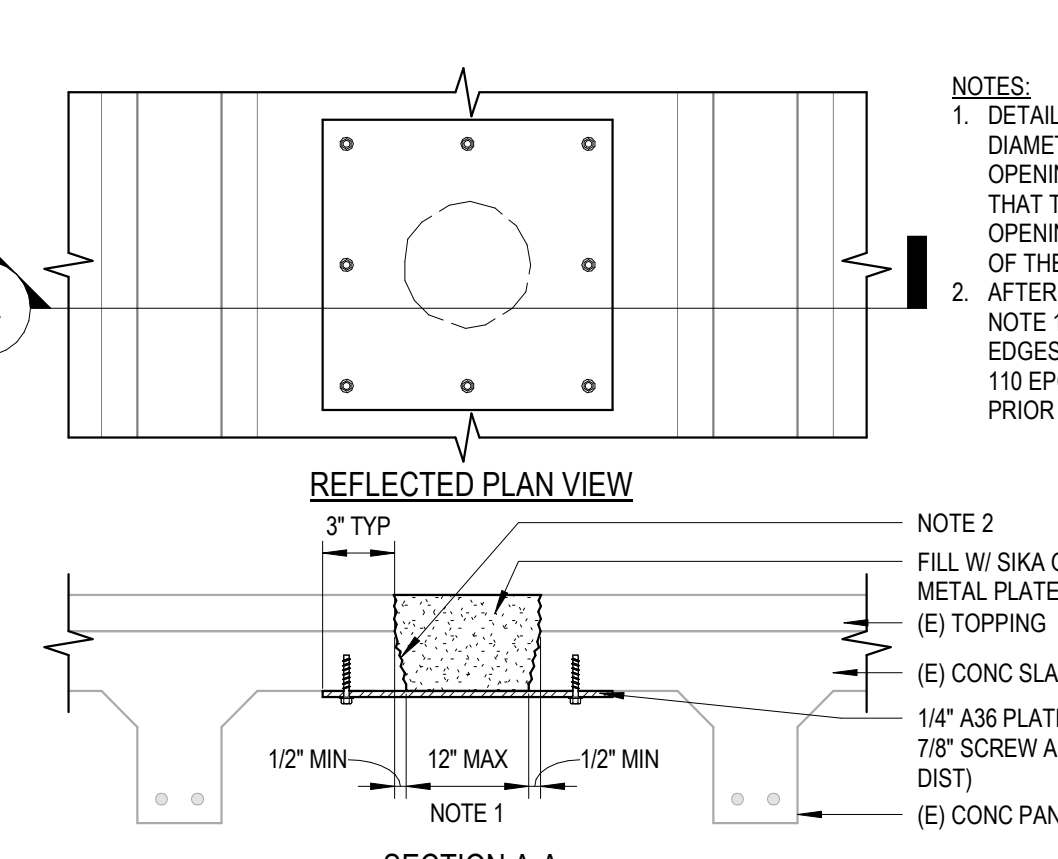
17 NEW BRICK SUPPORT AT OFFICE LEVEL 5
1" = 1'-0"



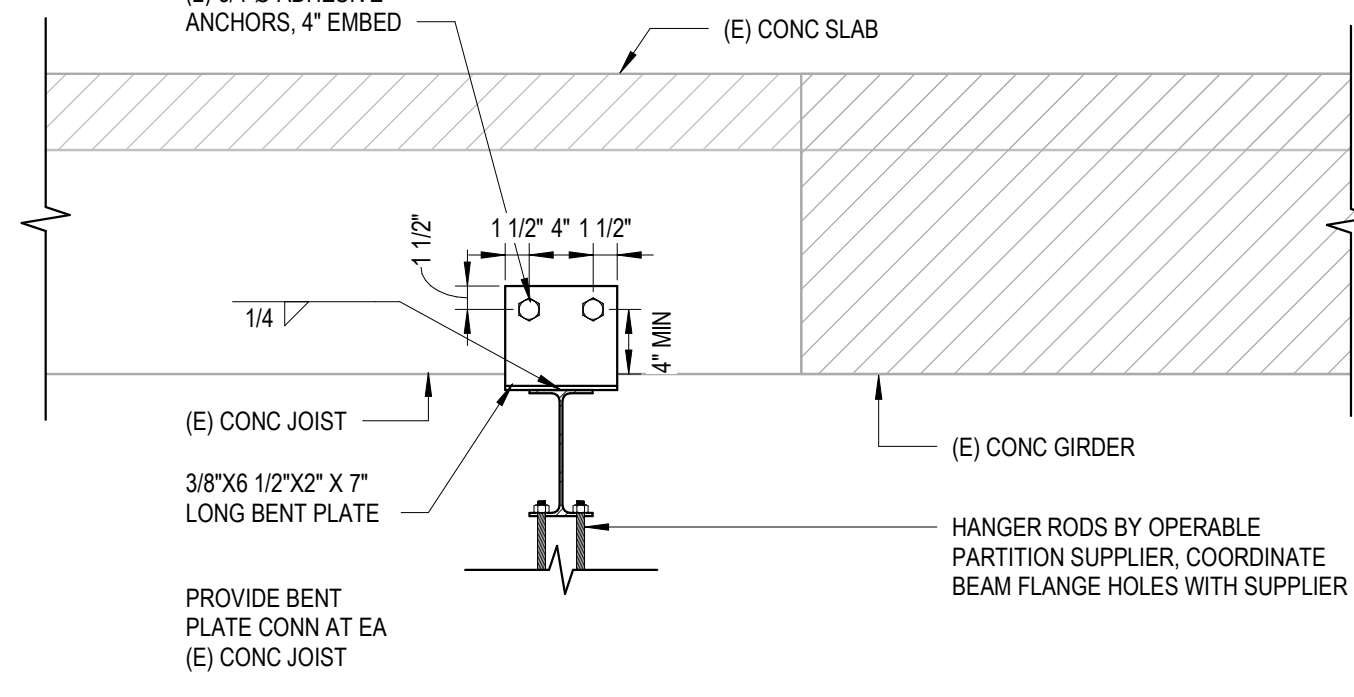
22 TYP REPAIR DETAILS AT (E) OPENINGS
1" = 1'-0"



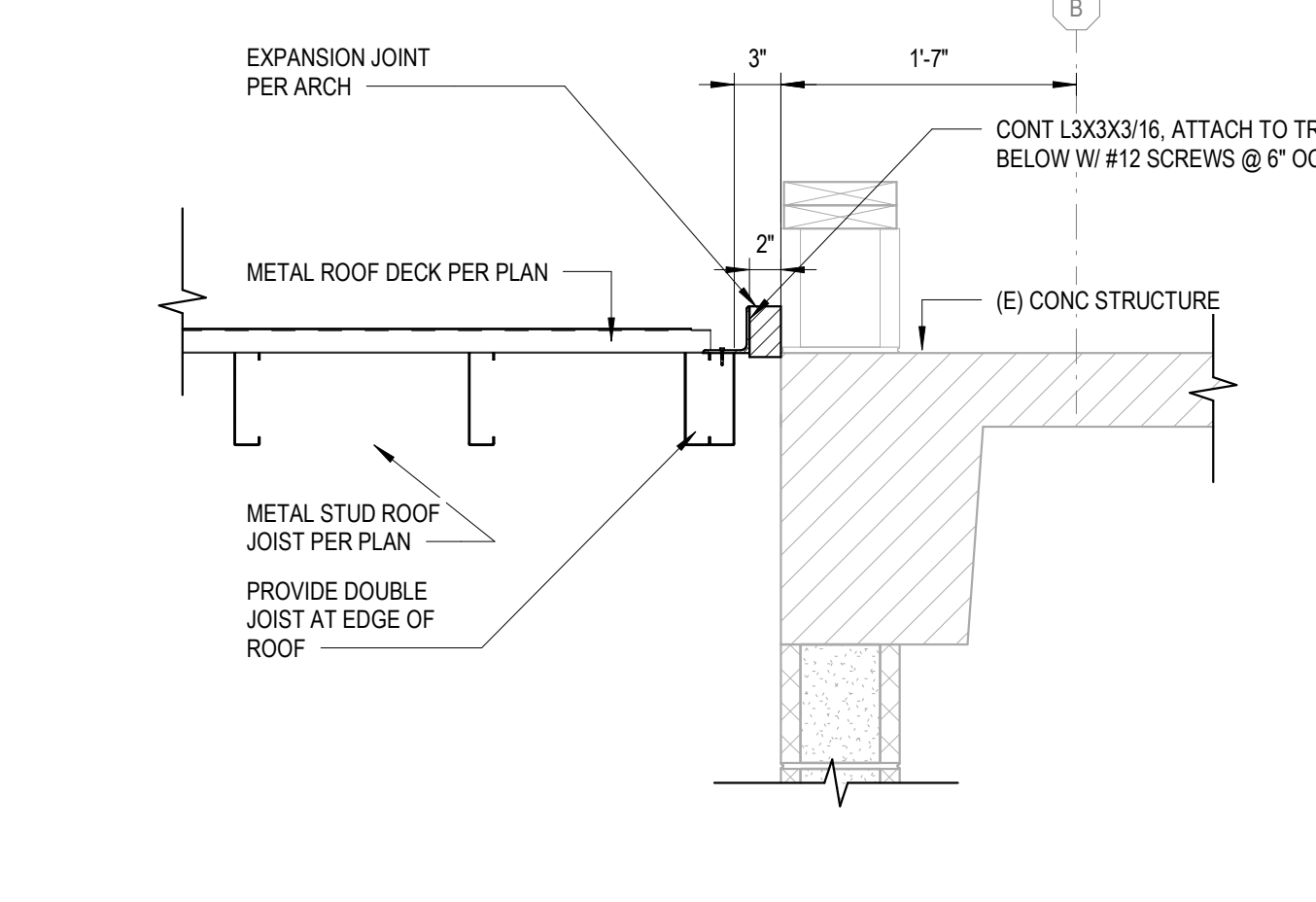
18 NEW BRICK SUPPORT AT CONT EXT WALL
1" = 1'-0"



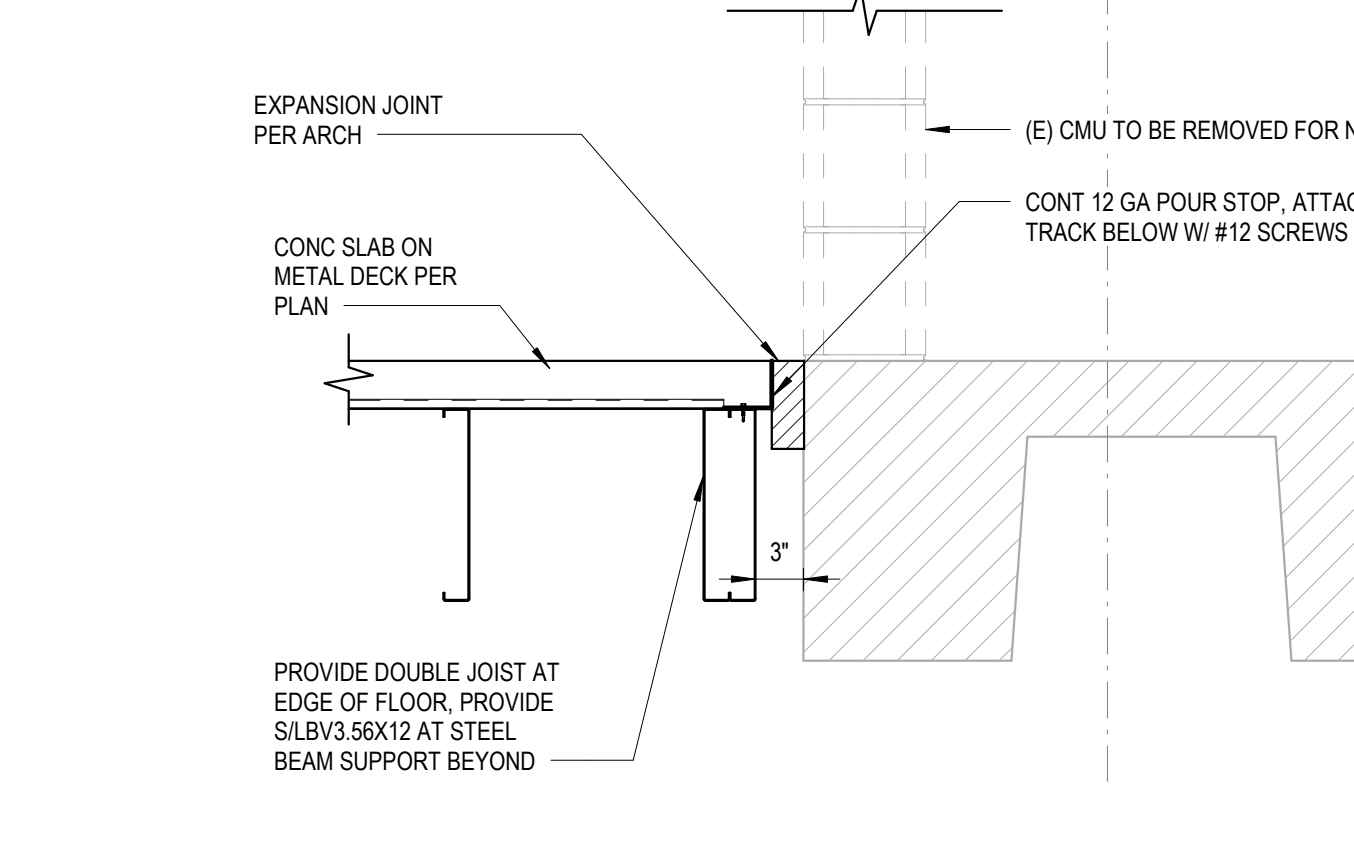
23 TYPICAL SMALL HOLE INFILL DETAIL
1 1/2" = 1'-0"



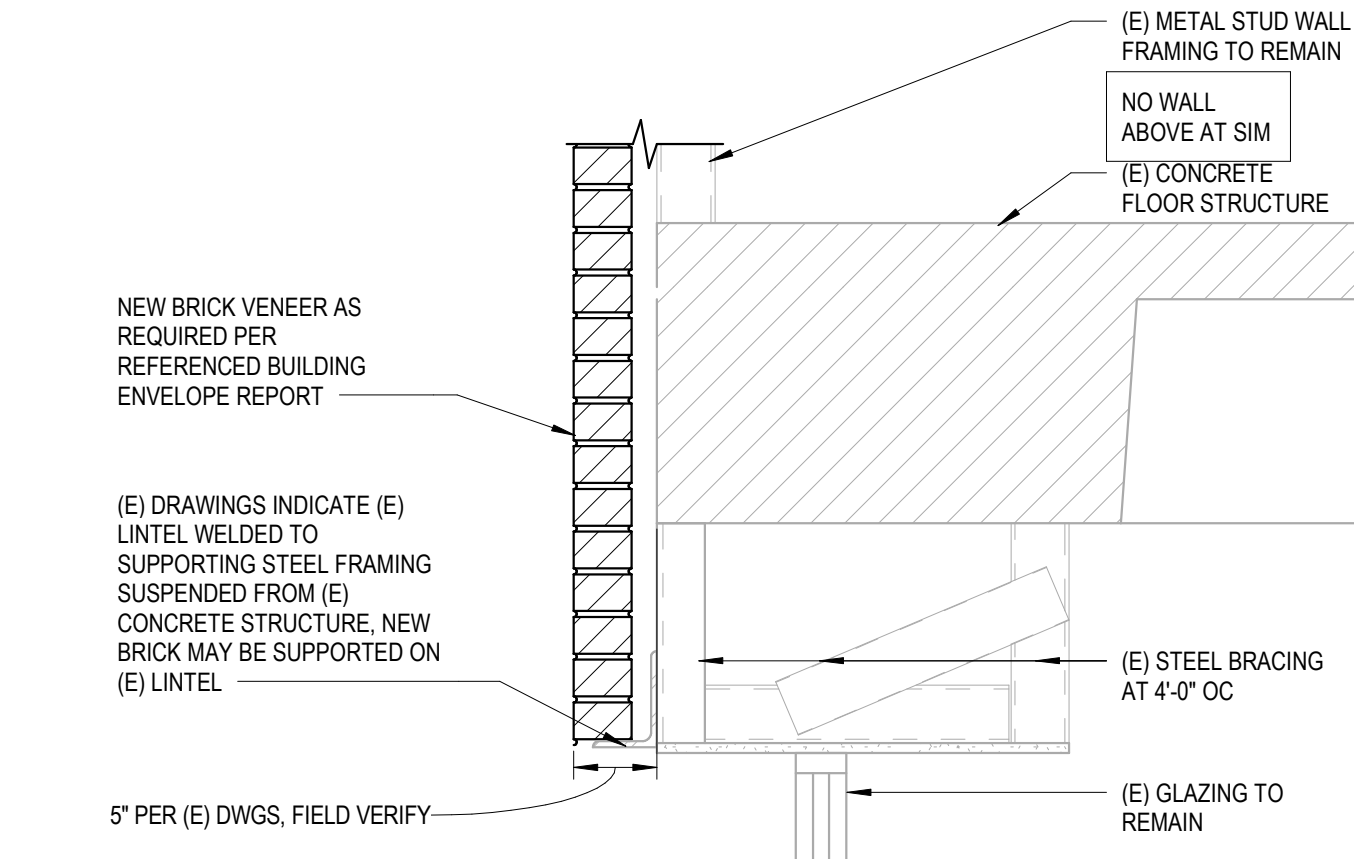
4 OPERABLE PARTITION SUPPORT DETAIL
1" = 1'-0"



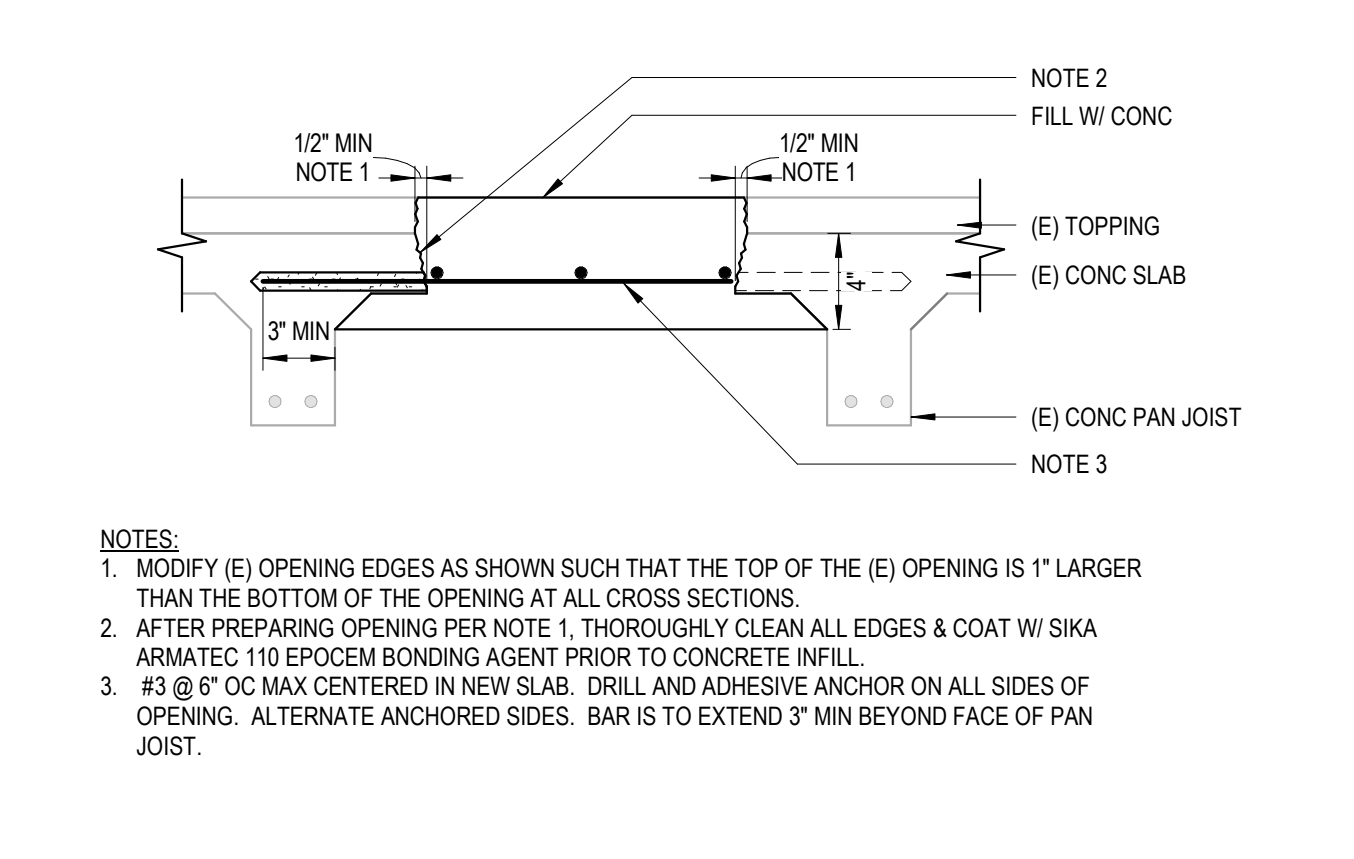
9 ROOF FRAMING SECTION
1" = 1'-0"



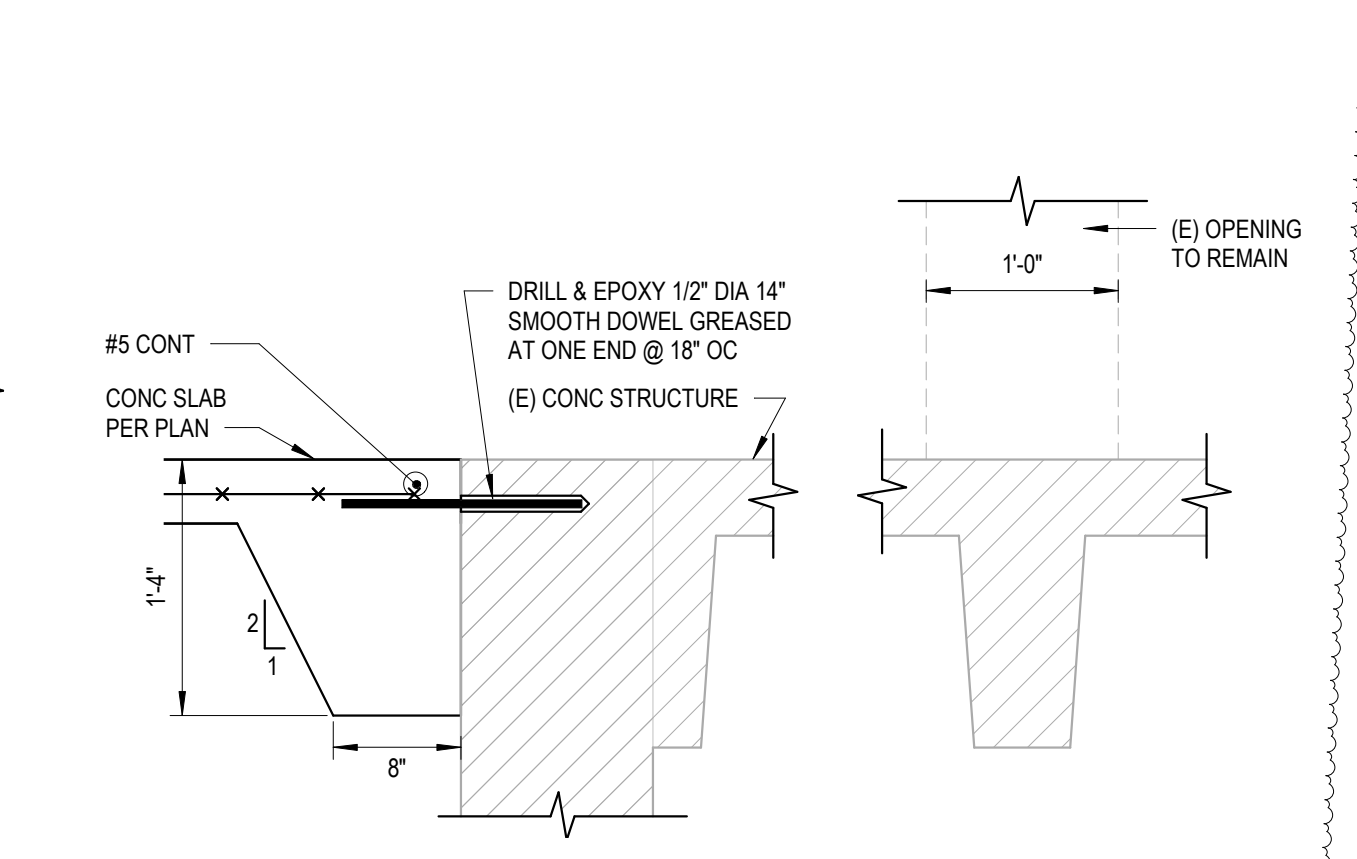
14 FLOOR FRAMING SECTION
1" = 1'-0"



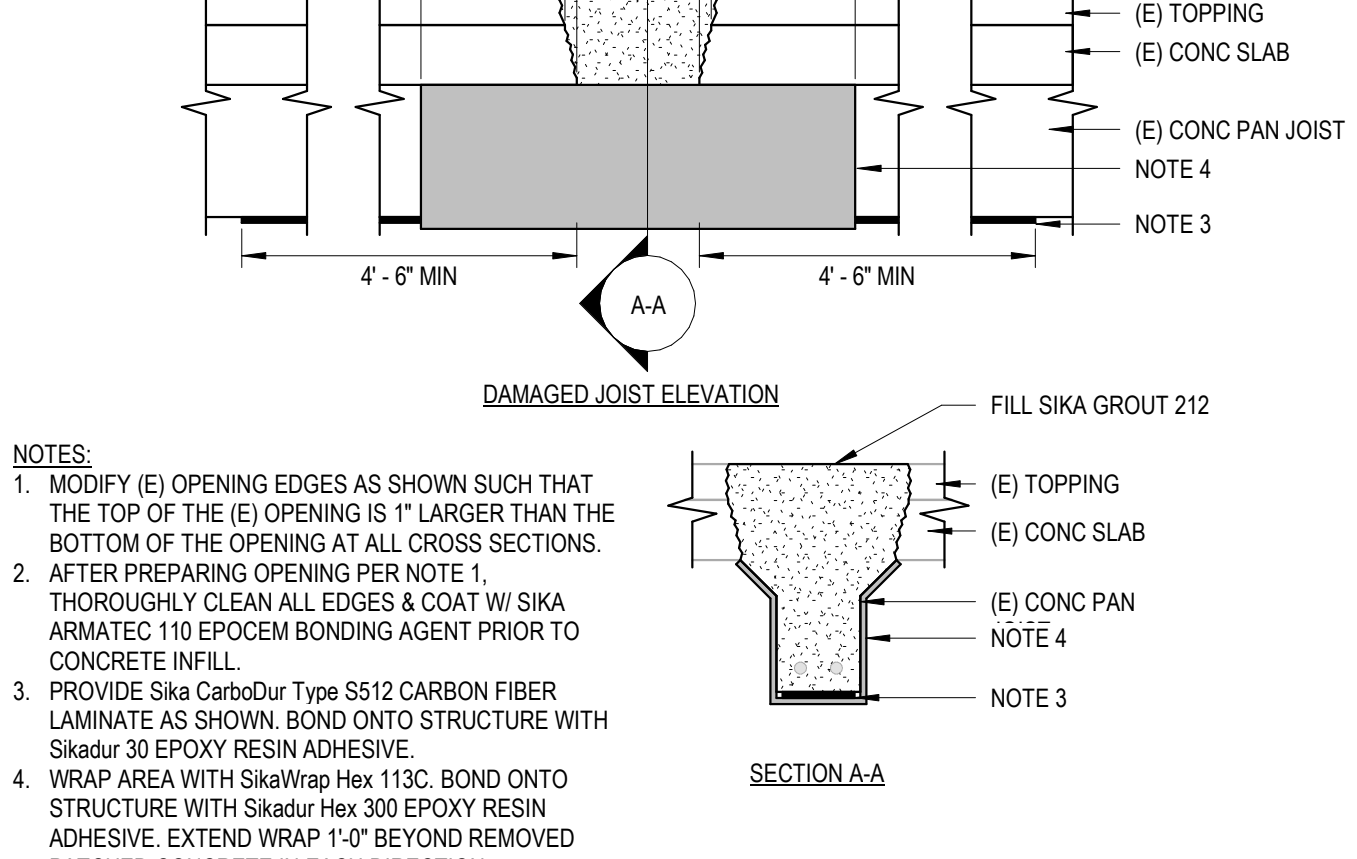
19 NEW BRICK CONDITION AT CONT GLAZING
1" = 1'-0"



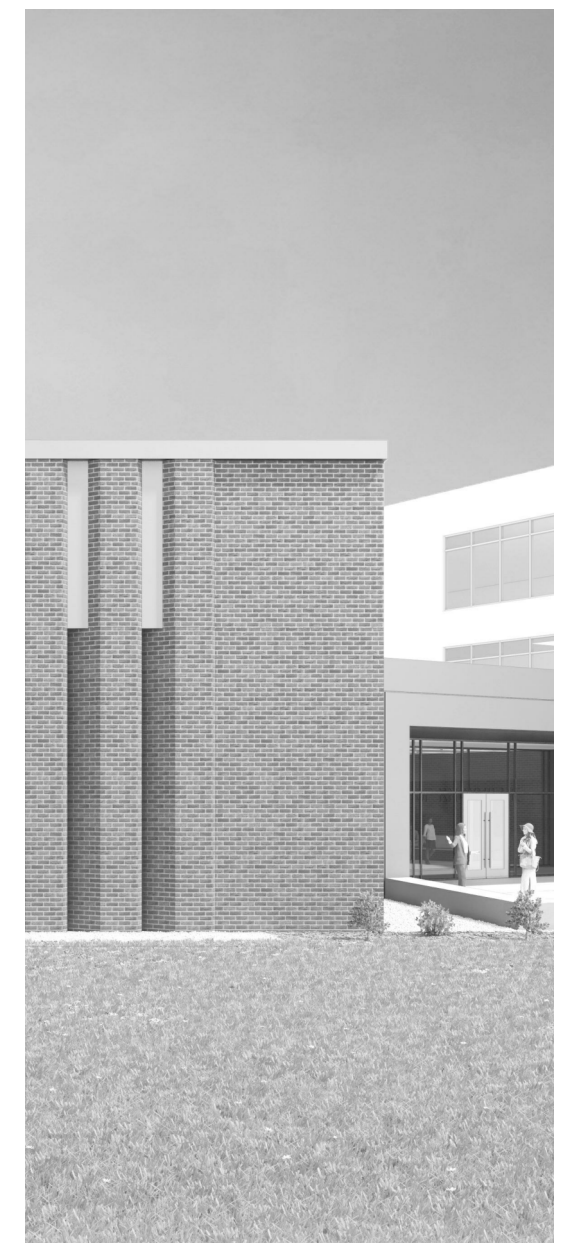
24 TYPICAL LARGE HOLE INFILL DETAIL
1 1/2" = 1'-0"



20 FOUNDATION SECTION
3/4" = 1'-0"



25 TYPICAL PAN JOIST HOLE INFILL DETAIL
1 1/2" = 1'-0"



Project Information:

19018

**COK PUBLIC SAFETY
COMPLEX**
900 East Oak Hill Ave, Knoxville, TN



Consultant:



#	ISSUE	DATE
3	ADD #3.1	02/24/21

Issue Date: 02/01/21

PK: CSB

PM: CSB

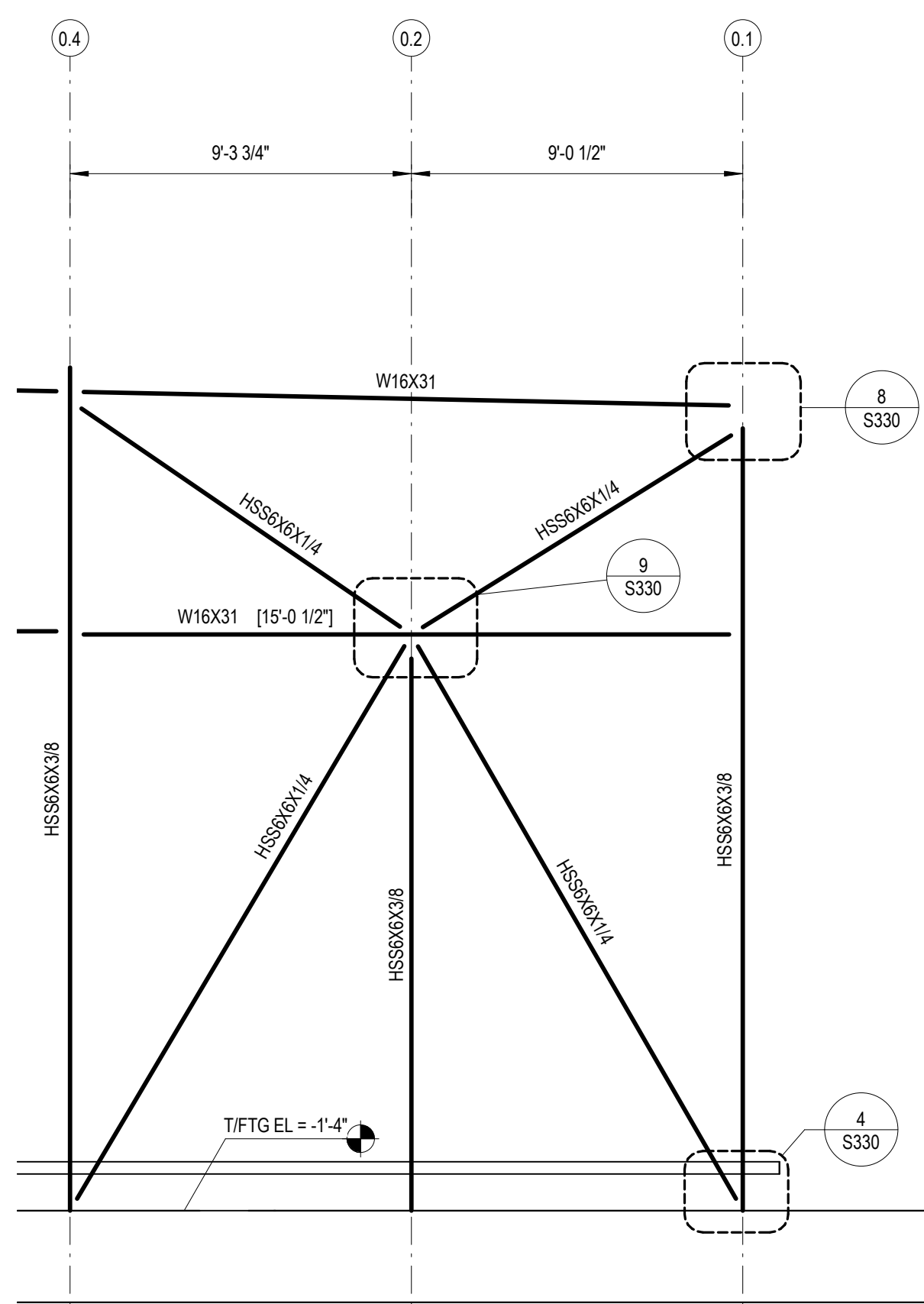
PA: CWR

Checked By: RAH

Drawing Info:

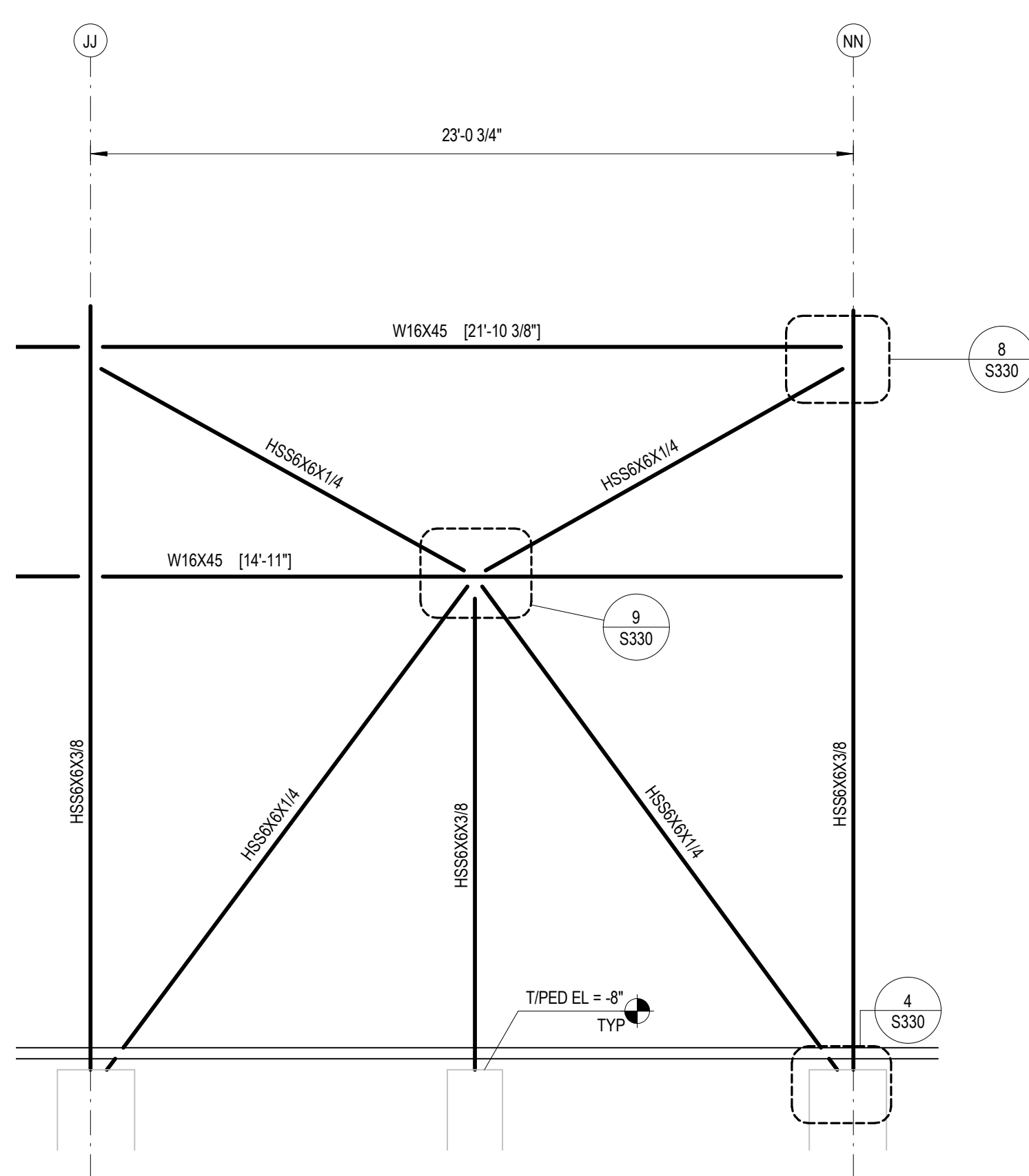
S320

STEEL BRACED FRAME
ELEVATIONS



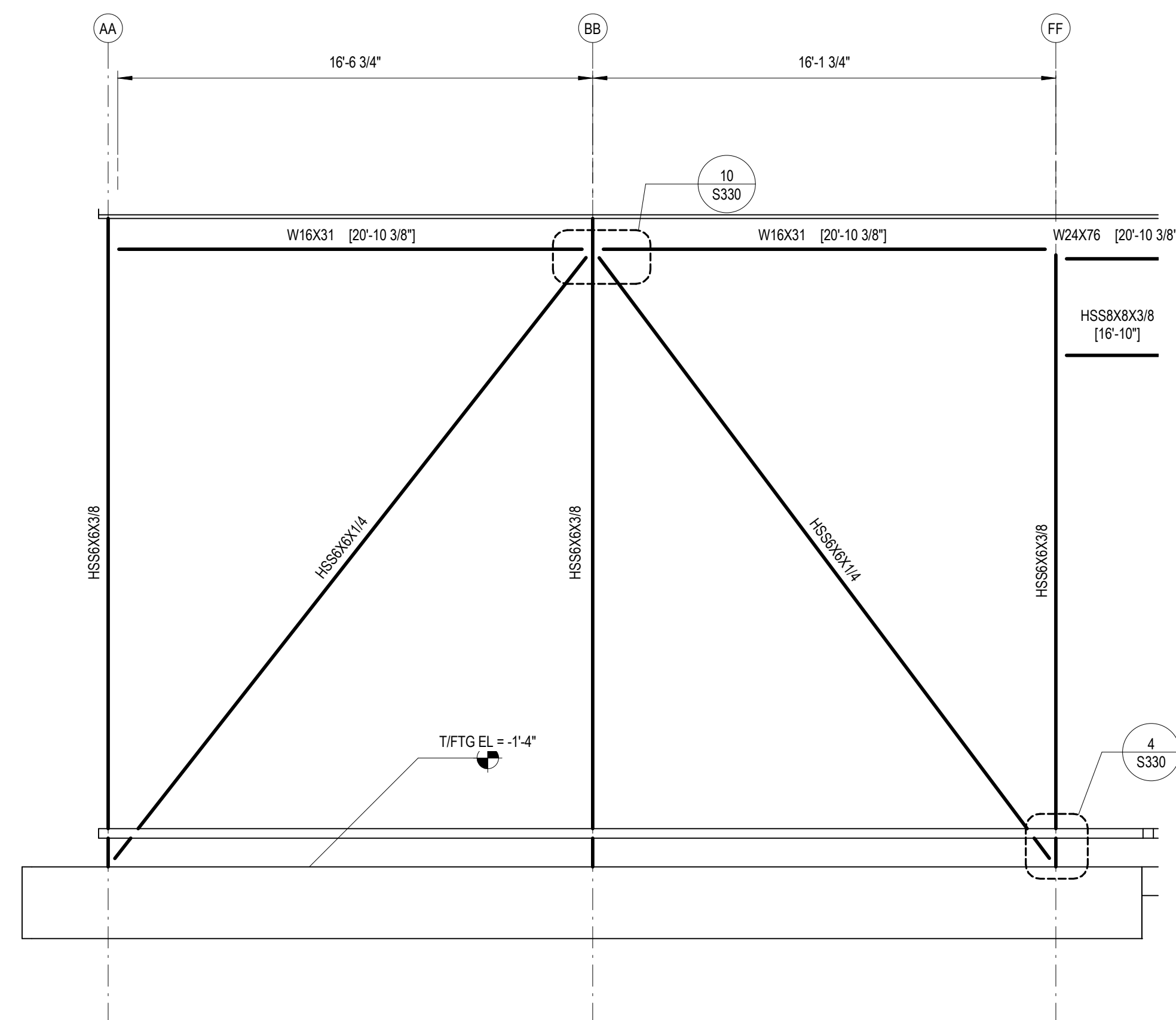
NOTES:
1. DIAGRAMMATIC STEEL IS REPRESENTED AT MEMBER CENTERLINES.

6 BRACED FRAME ELEVATION - GRID NN
1/4" = 1'-0"



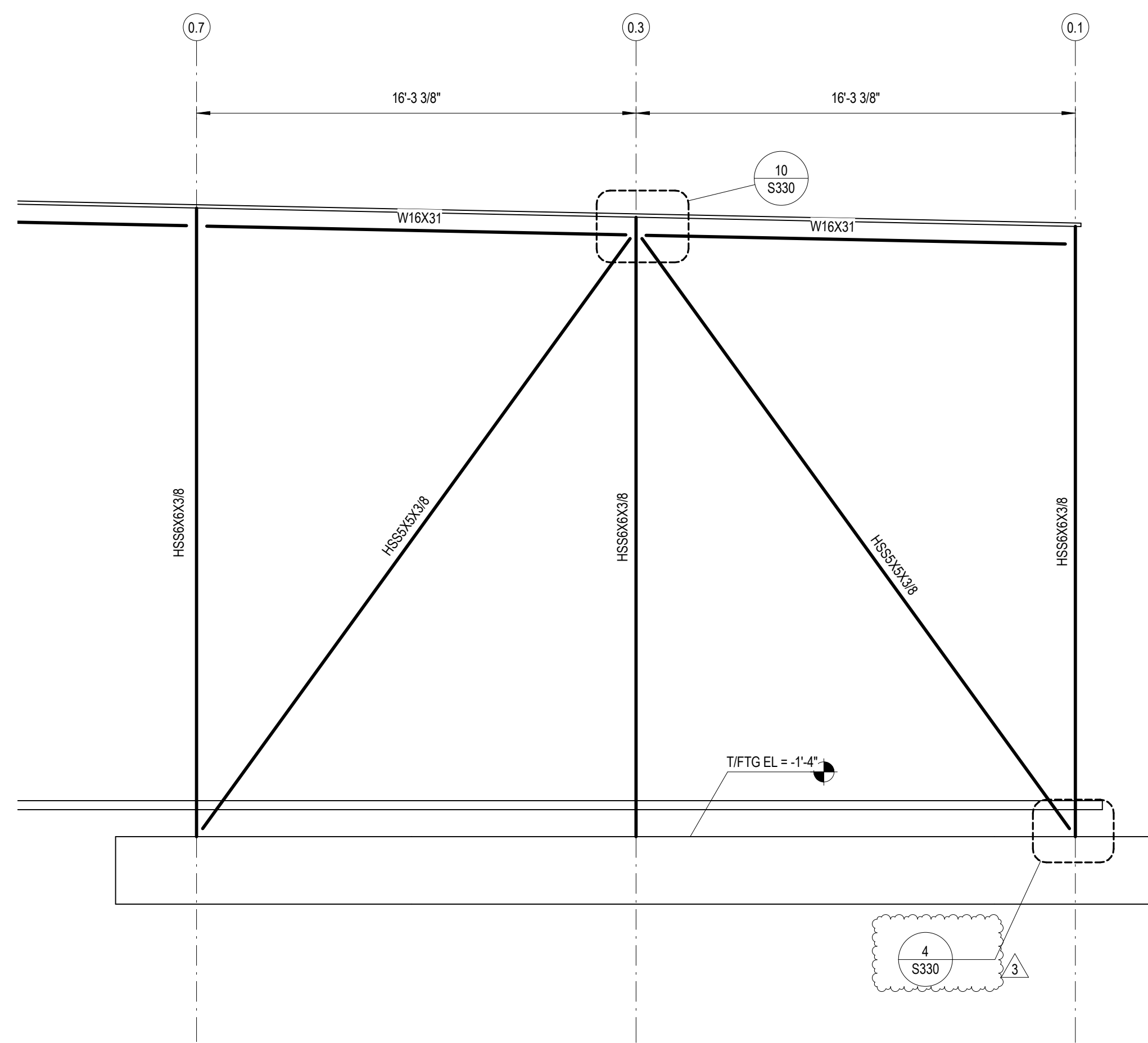
NOTES:
1. DIAGRAMMATIC STEEL IS REPRESENTED AT MEMBER CENTERLINES.

7 BRACED FRAME ELEVATION - GRID 0.9
1/4" = 1'-0"



NOTES:
1. DIAGRAMMATIC STEEL IS REPRESENTED AT MEMBER CENTERLINES.

8 BRACED FRAME ELEVATION - GRID 0.1
1/4" = 1'-0"



NOTES:
1. DIAGRAMMATIC STEEL IS REPRESENTED AT MEMBER CENTERLINES.

16 BRACED FRAME ELEVATION - GRID AA
1/4" = 1'-0"



Project Information:

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**COK PUBLIC SAFETY
COMPLEX**
900 East Oak Hill Ave, Knoxville, TN



Consultant:



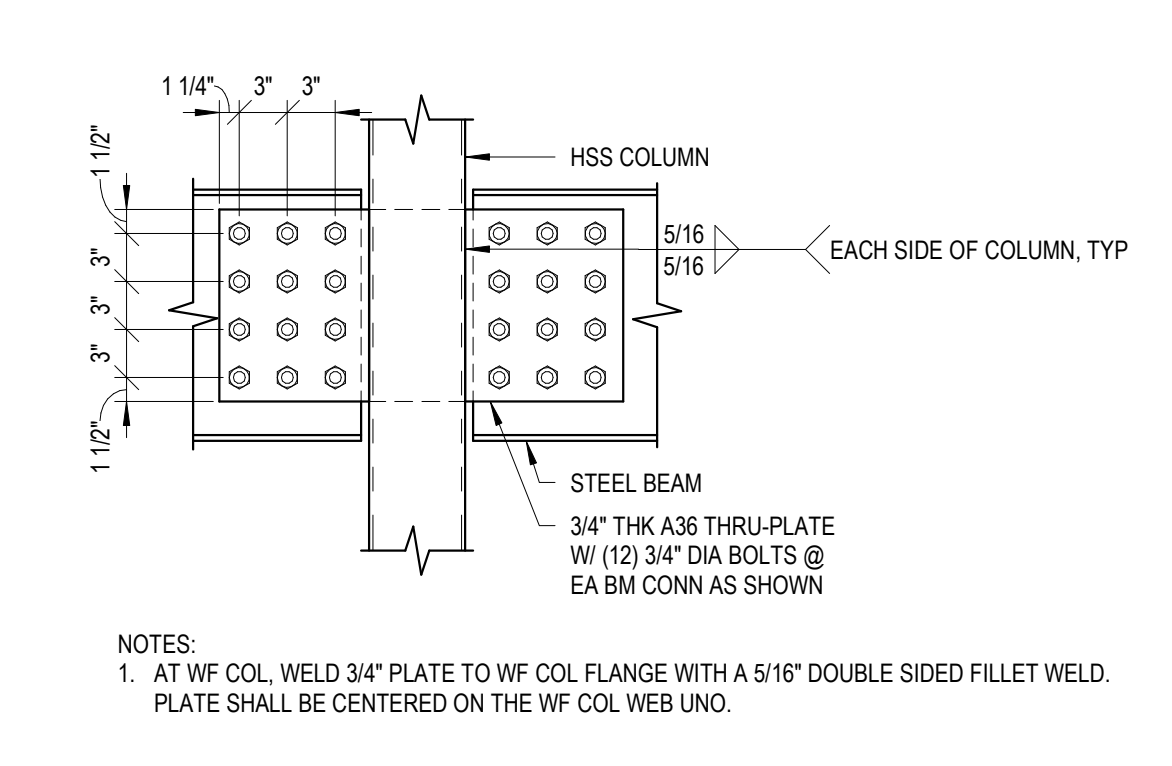
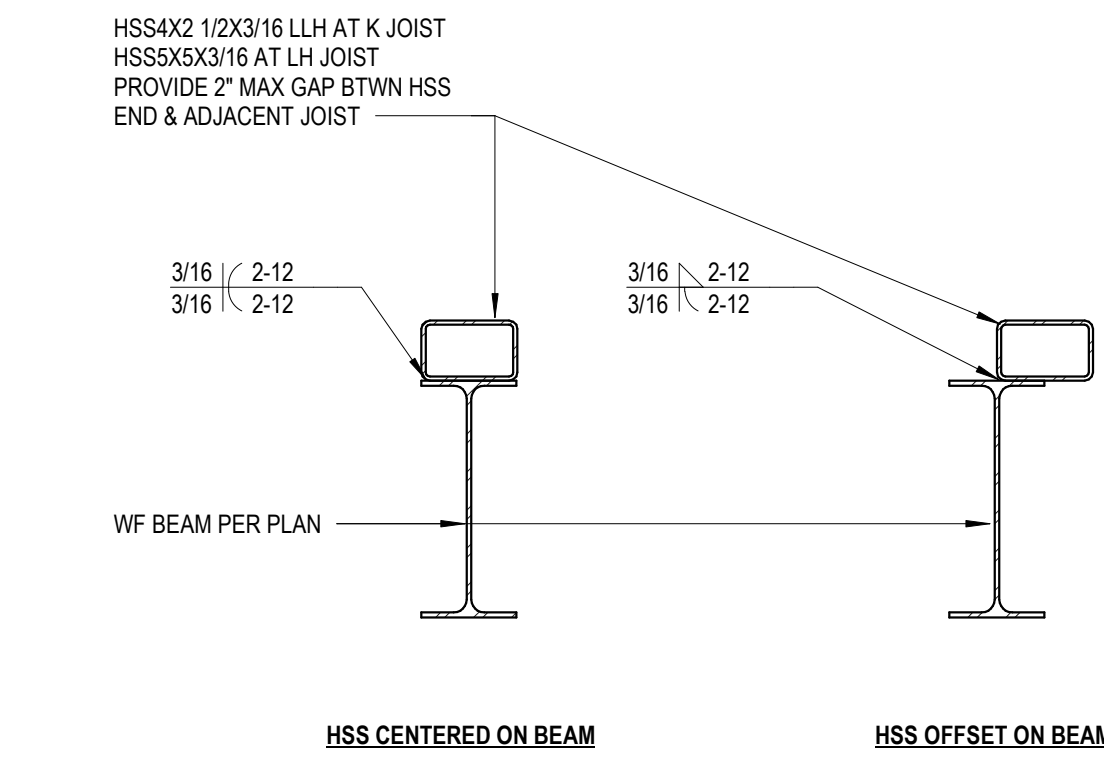
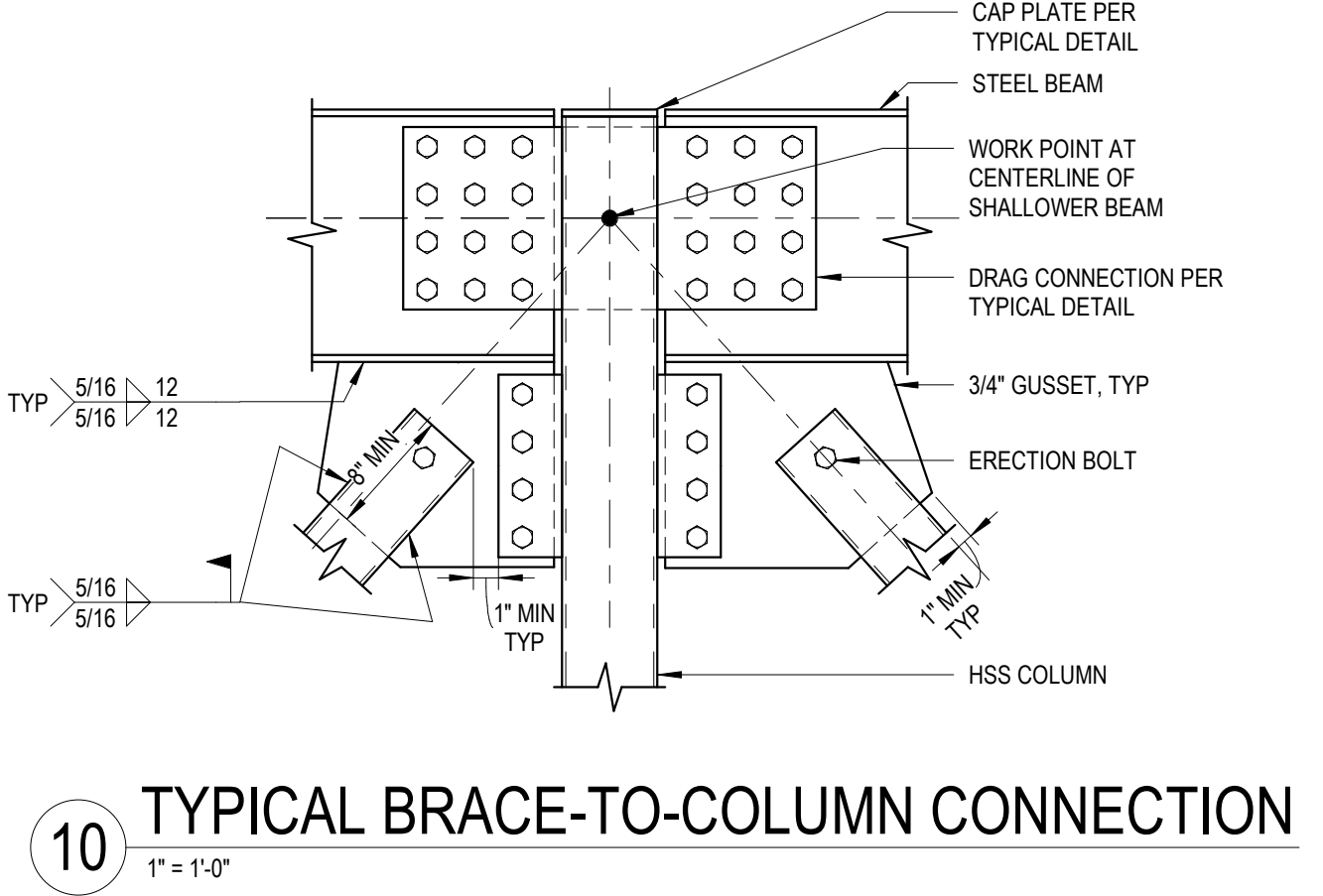
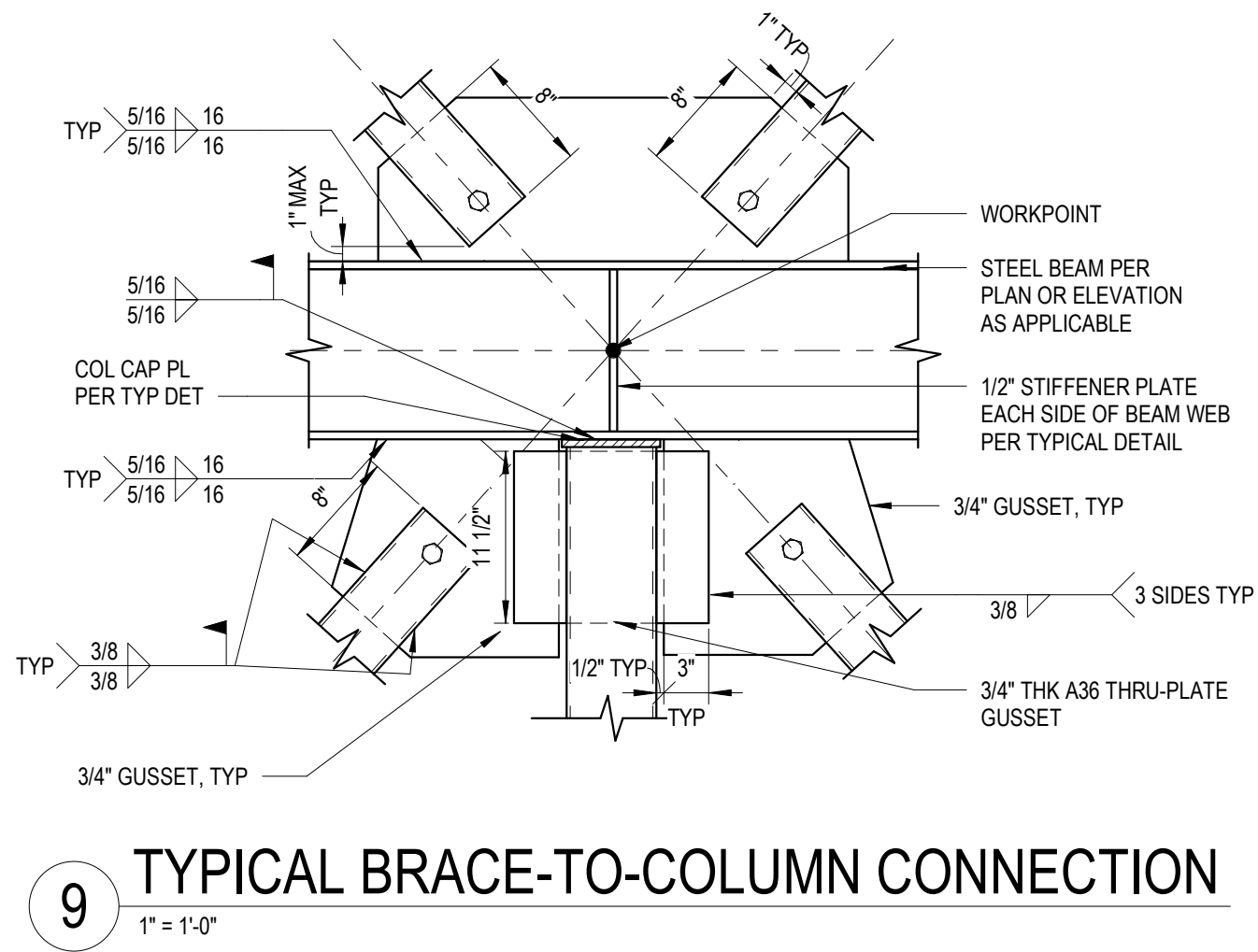
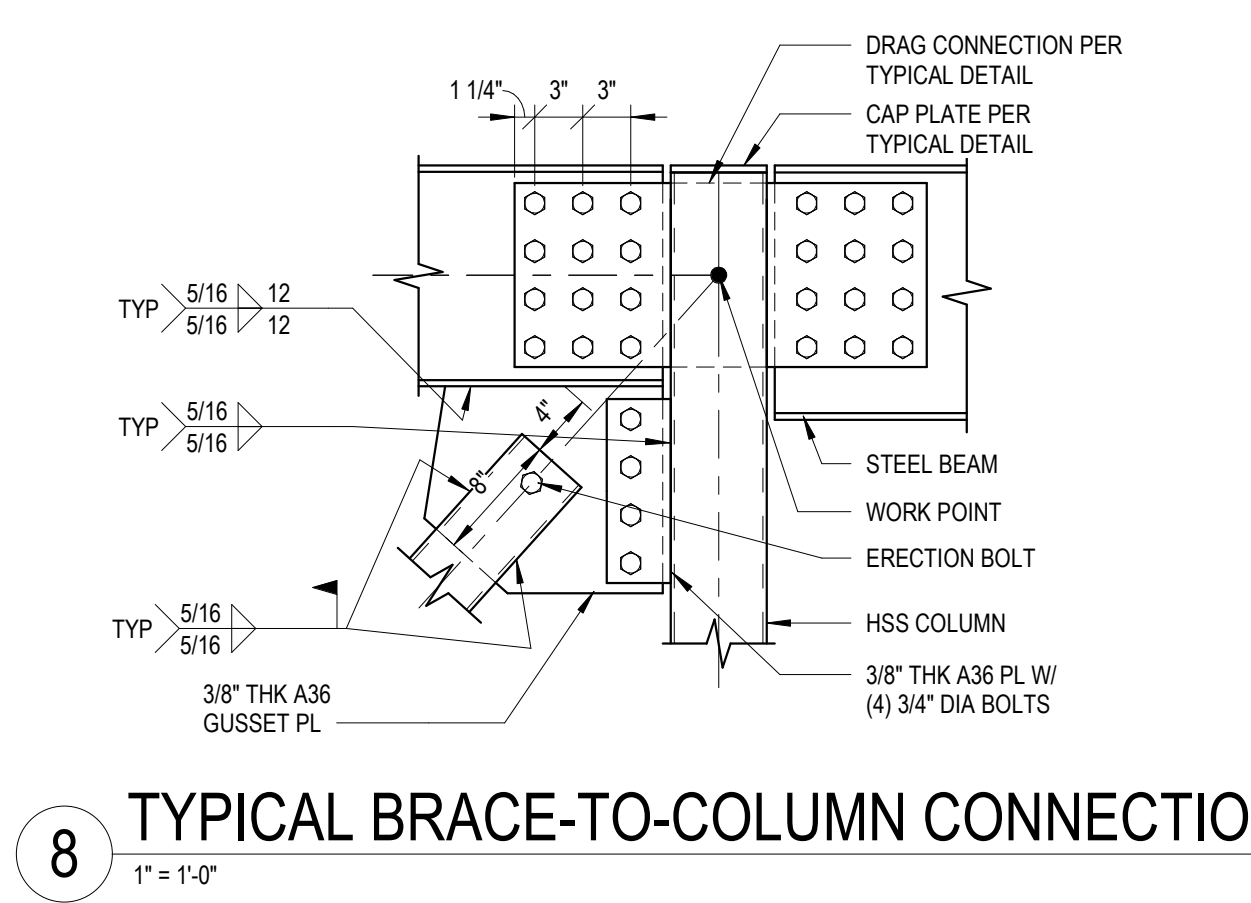
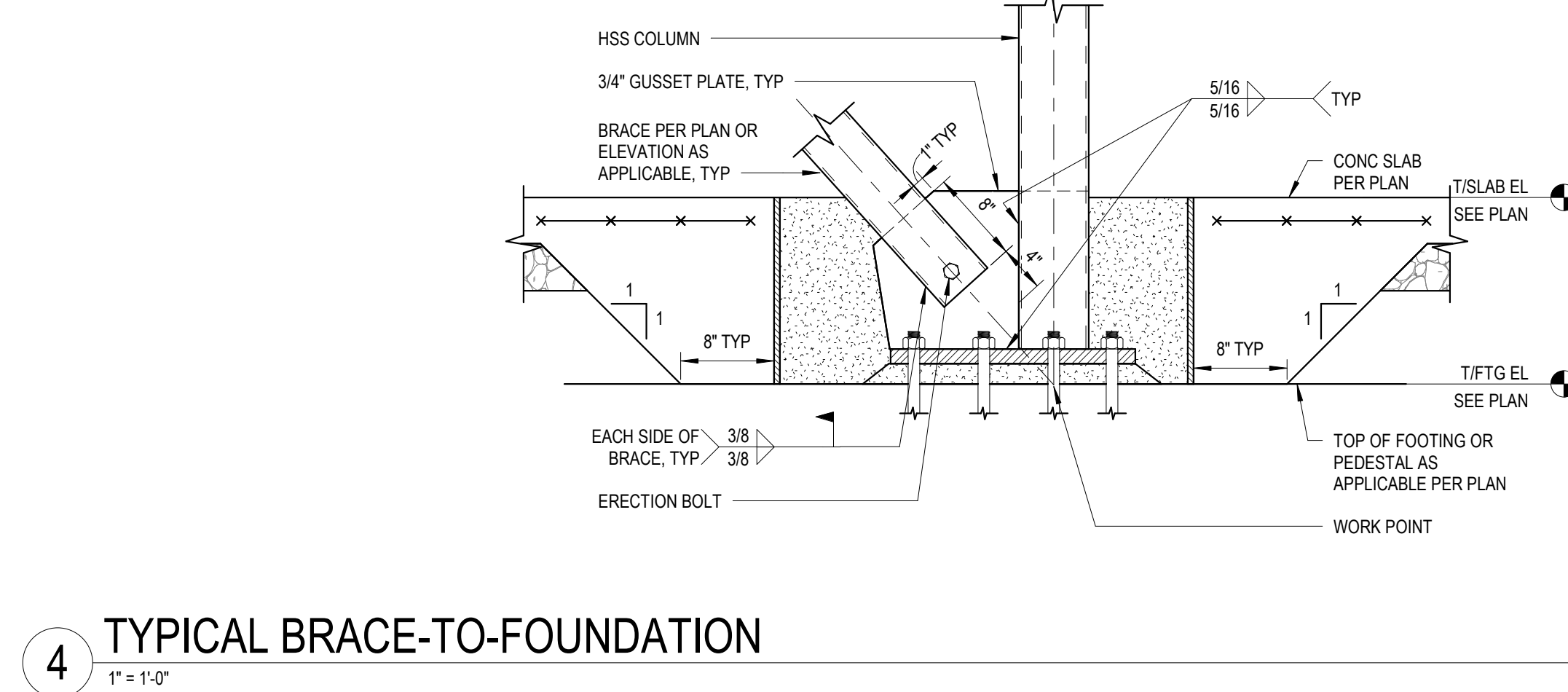
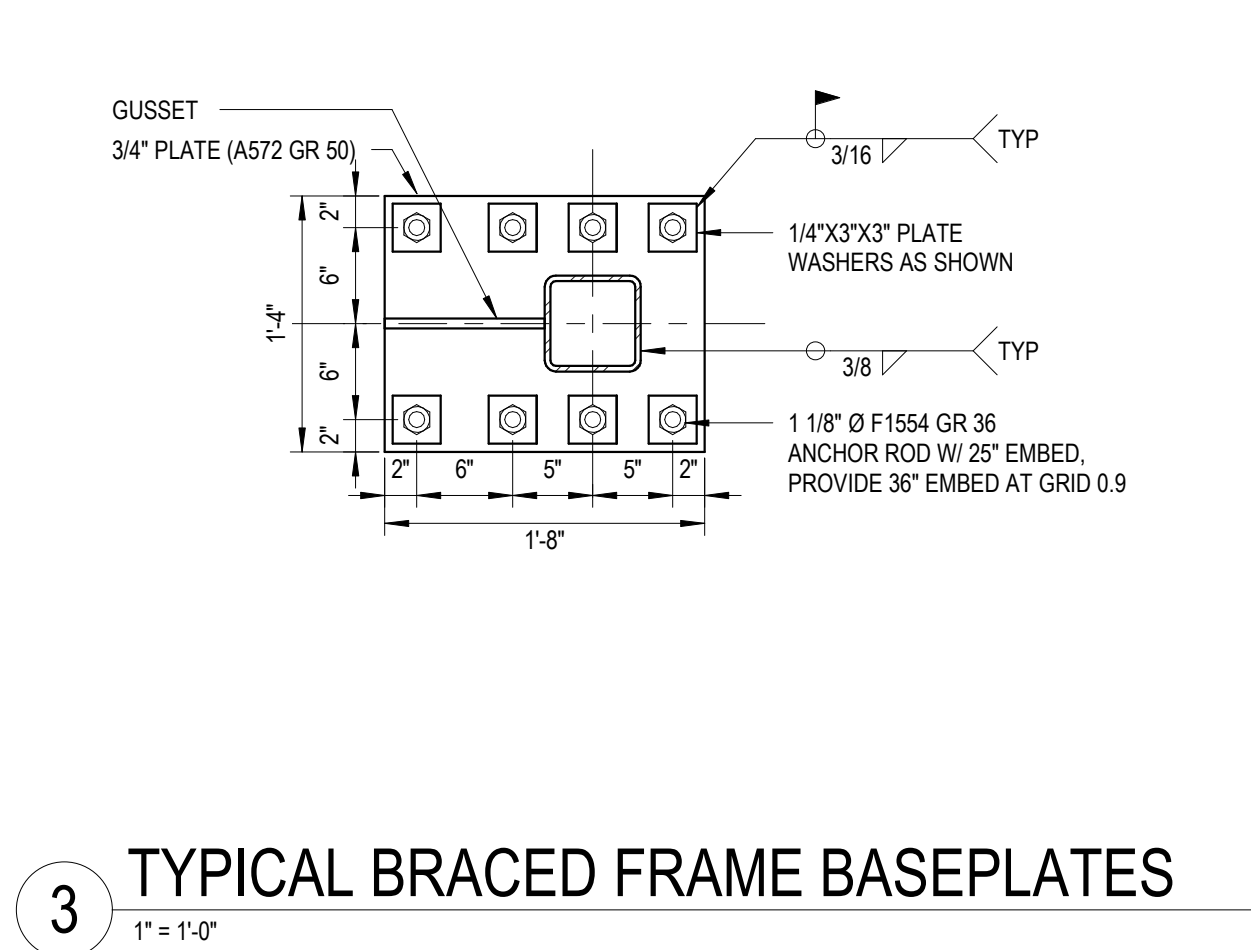
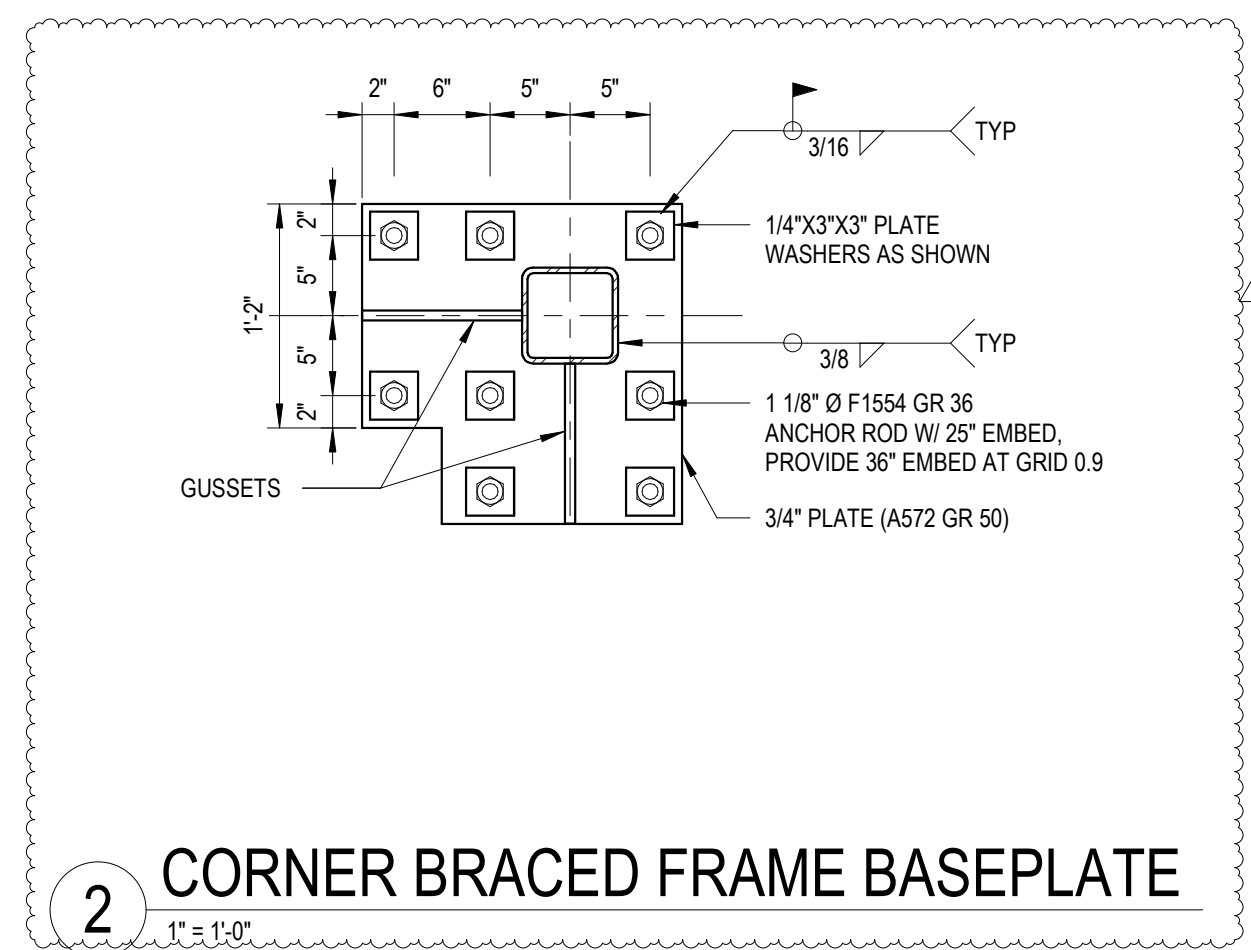
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3	ADD #3.1	02/24/21

Issue Date: 02/01/21
PIC: CSB
PM: CSB
PA: CWR
Checked By: RAH

Drawing Info:

S330

STEEL BRACED FRAME
DETAILS



DRAWING INDEX

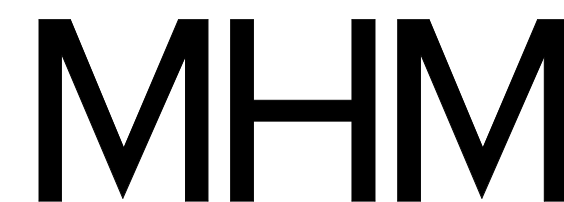
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Table with columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for ELECTRICAL and AV SYSTEMS.

Table with columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for AV SYSTEMS, TELECOM, and SECURITY.

Table with columns: DRAWING NUMBER, DRAWING DESCRIPTION, SHEET ISSUE DATE, REV NO., REVISION TITLE, REV DATE. Includes sections for AV SYSTEMS, SECURITY, and SCHEDULES.

Grand total: 429



McCarty Holsaple McCarty, Inc. 550 W. Main St., Suite 300 Knoxville, TN 37902 865-544-2000 www.mhmc.com



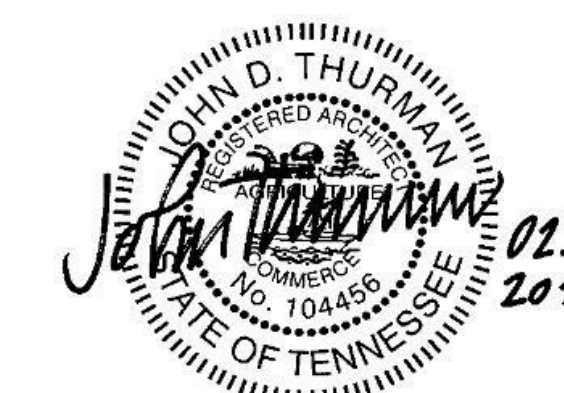
Project Information:

19018

COK PUBLIC SAFETY COMPLEX

900 East Oak Hill Ave, Knoxville, TN

Seal: JOHN D. THURMAN



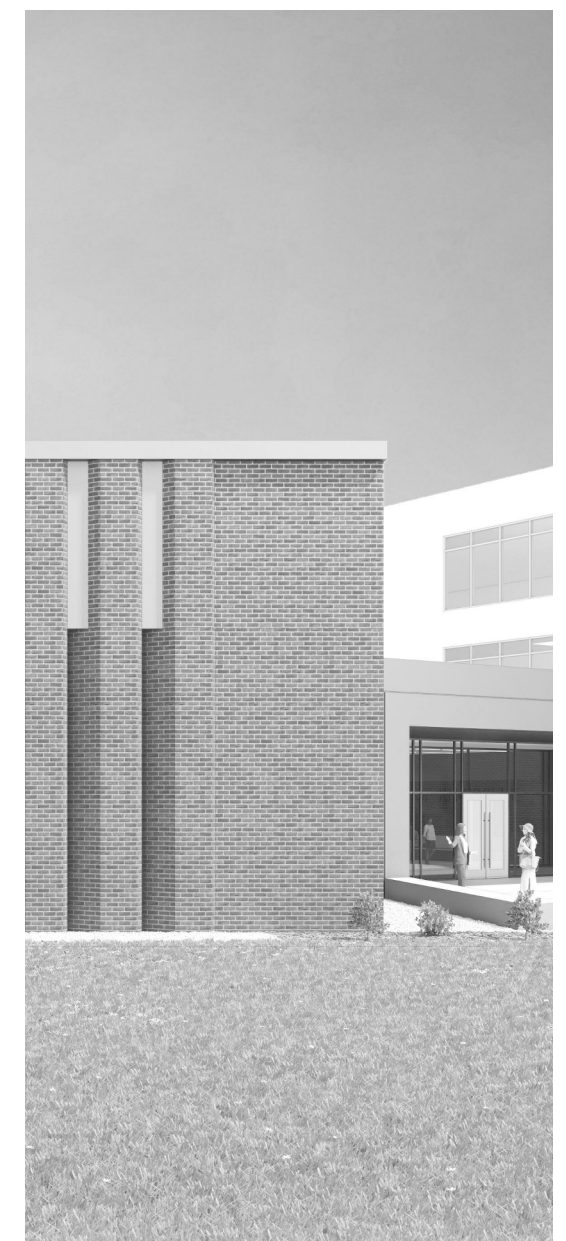
Consultant: Architects Design Group

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Drawing Info:

G003

SHEET LIST - VOLUME 2



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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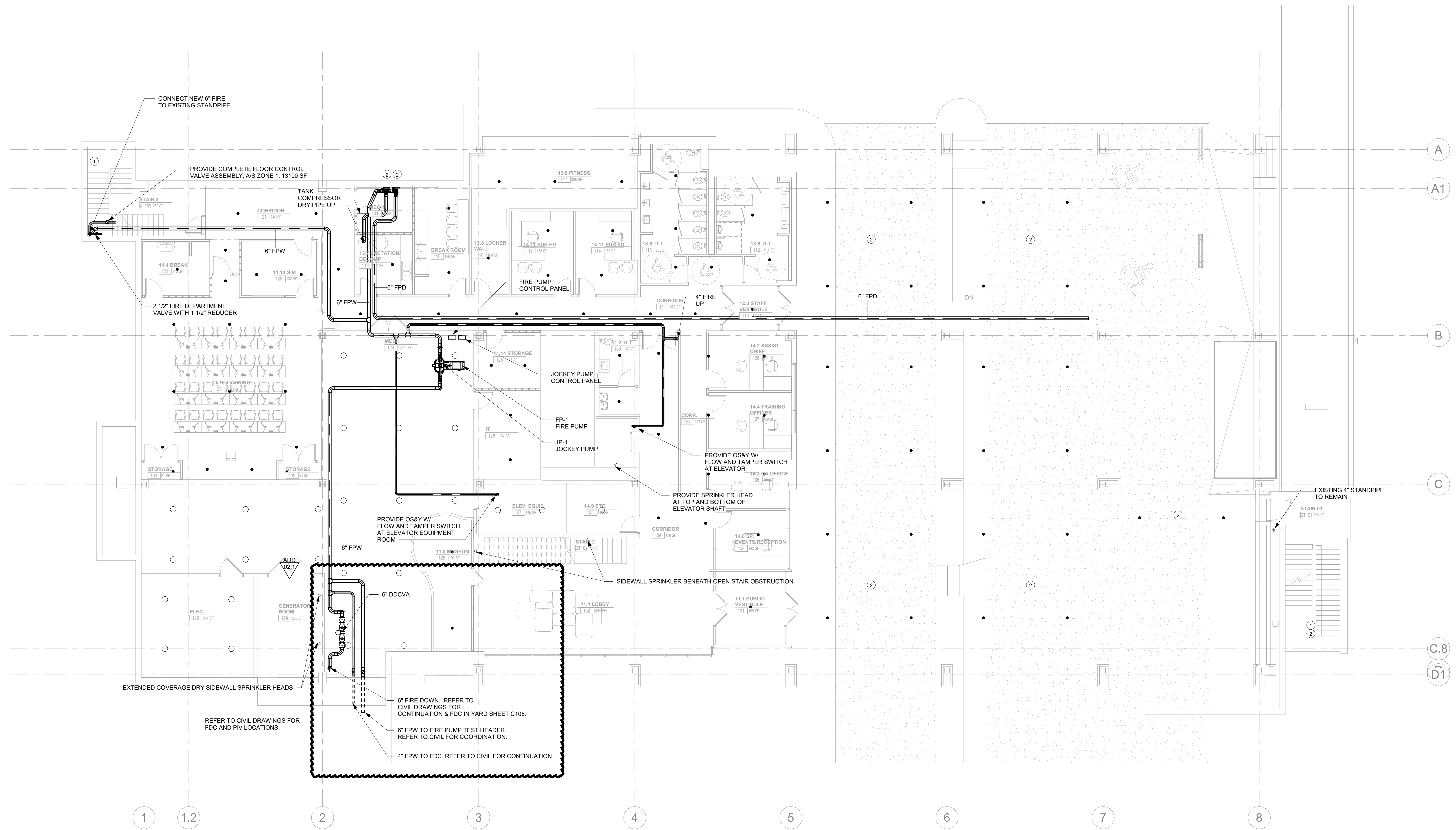
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ADD 02.1		02/17/21

Issue Date:	FEBRUARY 1, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

FP101

WP - FIRST LEVEL
FLOOR PLAN - FIRE
PROTECTION



1 ALTERNATE 1B - WOMEN'S PAVILION LEVEL 1 - FLOOR PLAN - FIRE PROTECTION
FP101 1/8" = 1'-0"

FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. PROVIDE DRY SPRINKLER SYSTEM FOR EXTERIOR PARKING. SYSTEM TO BE LOCATED IN JANITOR ROOM ON FIRST FLOOR.
3. EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
4. EXISTING STANDPIPES TO REMAIN ONLY WHERE CALLED OUT. FIELD VERIFY CONDITION AND LOCATIONS.
5. REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS. I.E. DENSITY, HEAD TYPE, ETC.



Project Information:

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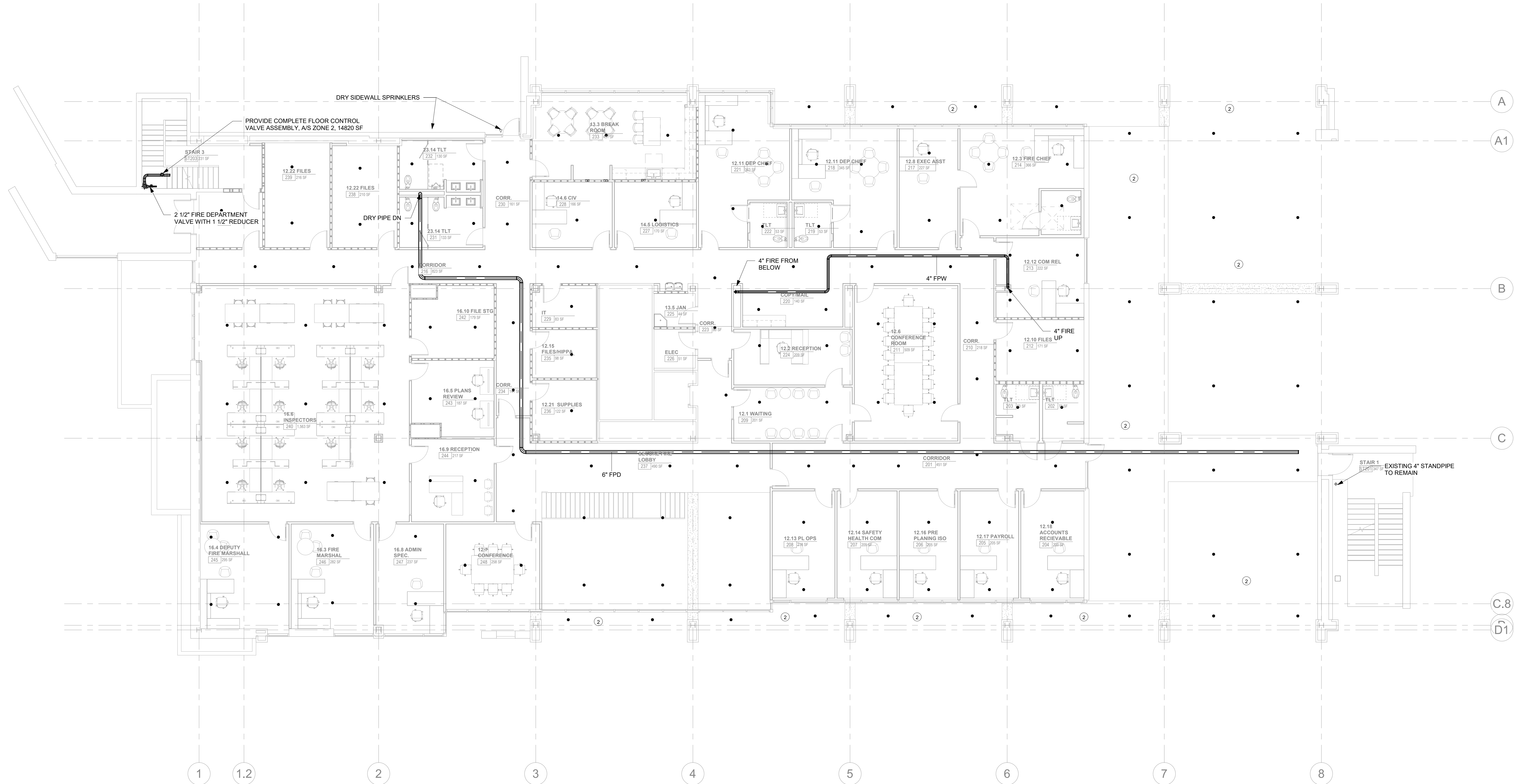
#	ISSUE	DATE

Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

FP102

WP - SECOND LEVEL FLOOR PLAN - FIRE PROTECTION



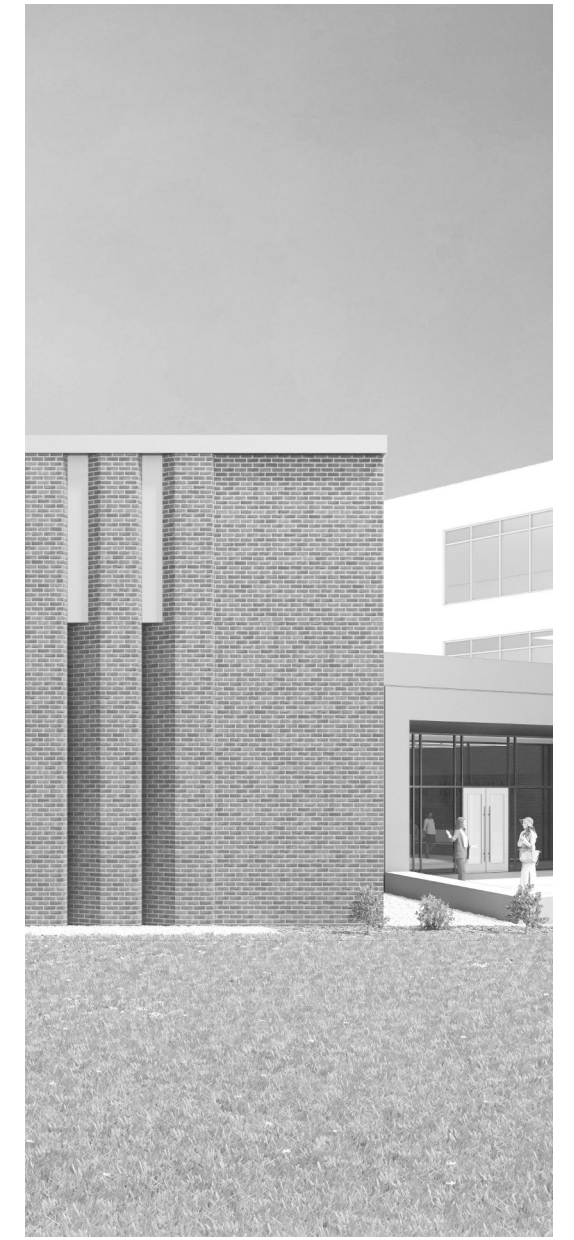
1 ALTERNATE 1B - WOMEN'S PAVILION LEVEL 2 - FLOOR PLAN - FIRE PROTECTION
1/8" = 1'-0"

ADD 102.7

FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. PROVIDE DRY SPRINKLER SYSTEM FOR EXTERIOR PARKING SYSTEM TO BE LOCATED IN JANITOR ROOM ON FIRST FLOOR.
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5. REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS, I.E. DENSITY, HEAD TYPE, ETC.

2/24/2021 5:06:44 PM



Project Information:

19018

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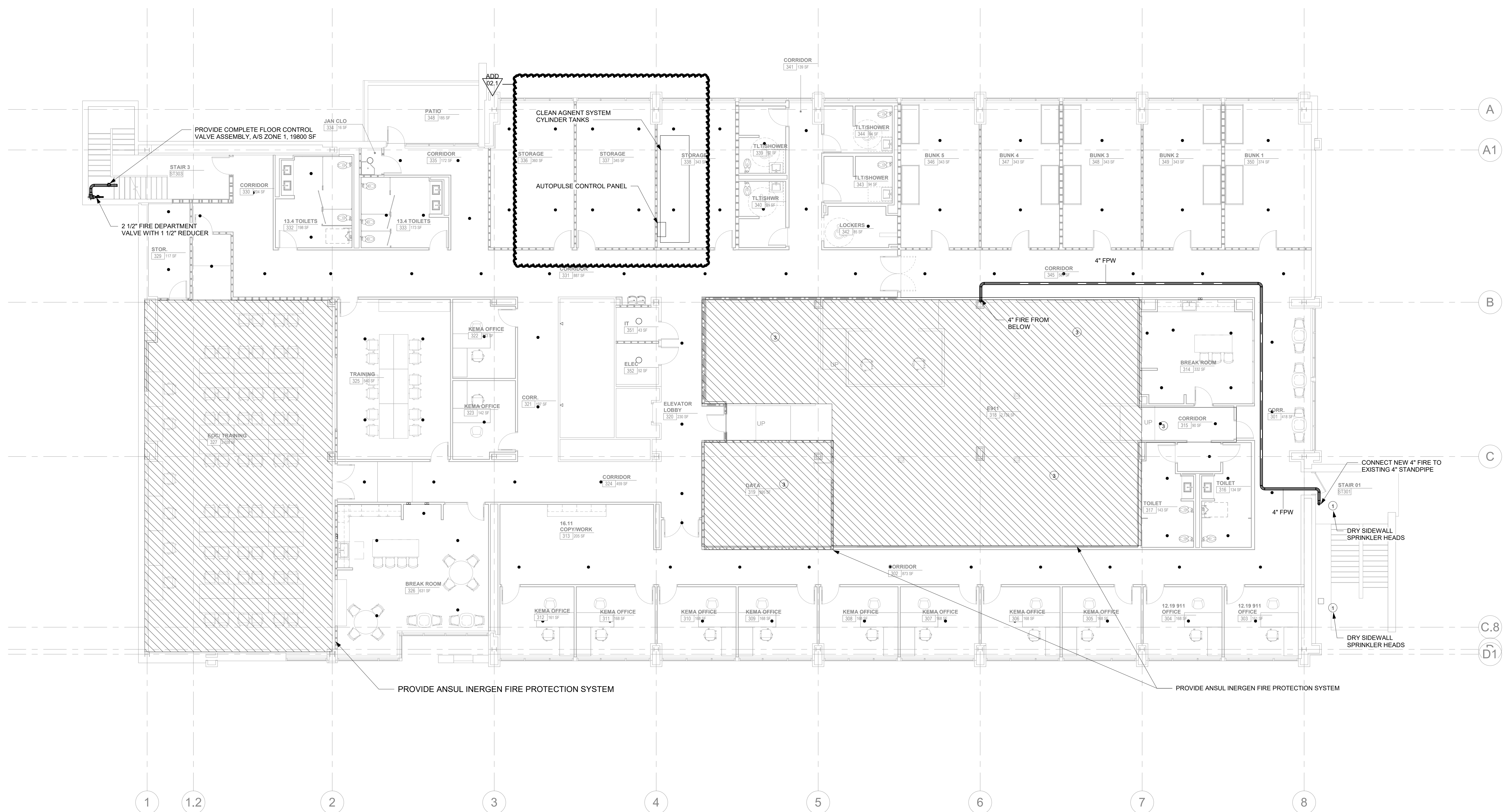
#	ISSUE	DATE
ADD 02.1		02/17/21

Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: P. SUITE
 Checked By: P. MCCOWN

Drawing Info:

FP103

WP - THIRD LEVEL FLOOR PLAN - FIRE PROTECTION



1 ALTERNATE 1B - WOMEN'S PAVILION LEVEL 3 - FLOOR PLAN - FIRE PROTECTION
FP103 1/8" = 1'-0"

CLEAN AGENT SYSTEM NOTES:

1. PROVIDE ANSUL INERGEN SYSTEM FOR E911, EDC/TRAINING ROOM, AND DATA ROOM. EACH ROOM SHALL BE A SEPERATE ZONE. PROVIDE SELECTOR VALVES.
2. PROVIDE VESDA SMOKE DETECTOR SYSTEM.
3. PPOVIDE 100% CONNECTED RESERVE PIPED TO FEED INTO THE AUTOMATIC SYSTEM.
4. COORDINATE WITH ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. PROVIDE DRY SPRINKLER SYSTEM FOR EXTERIOR PARKING. SYSTEM TO BE LOCATED IN JANITOR ROOM ON FIRST FLOOR.
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Project Information:

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#	ISSUE	DATE

Issue Date: FEBRUARY 1, 2021

PIC DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

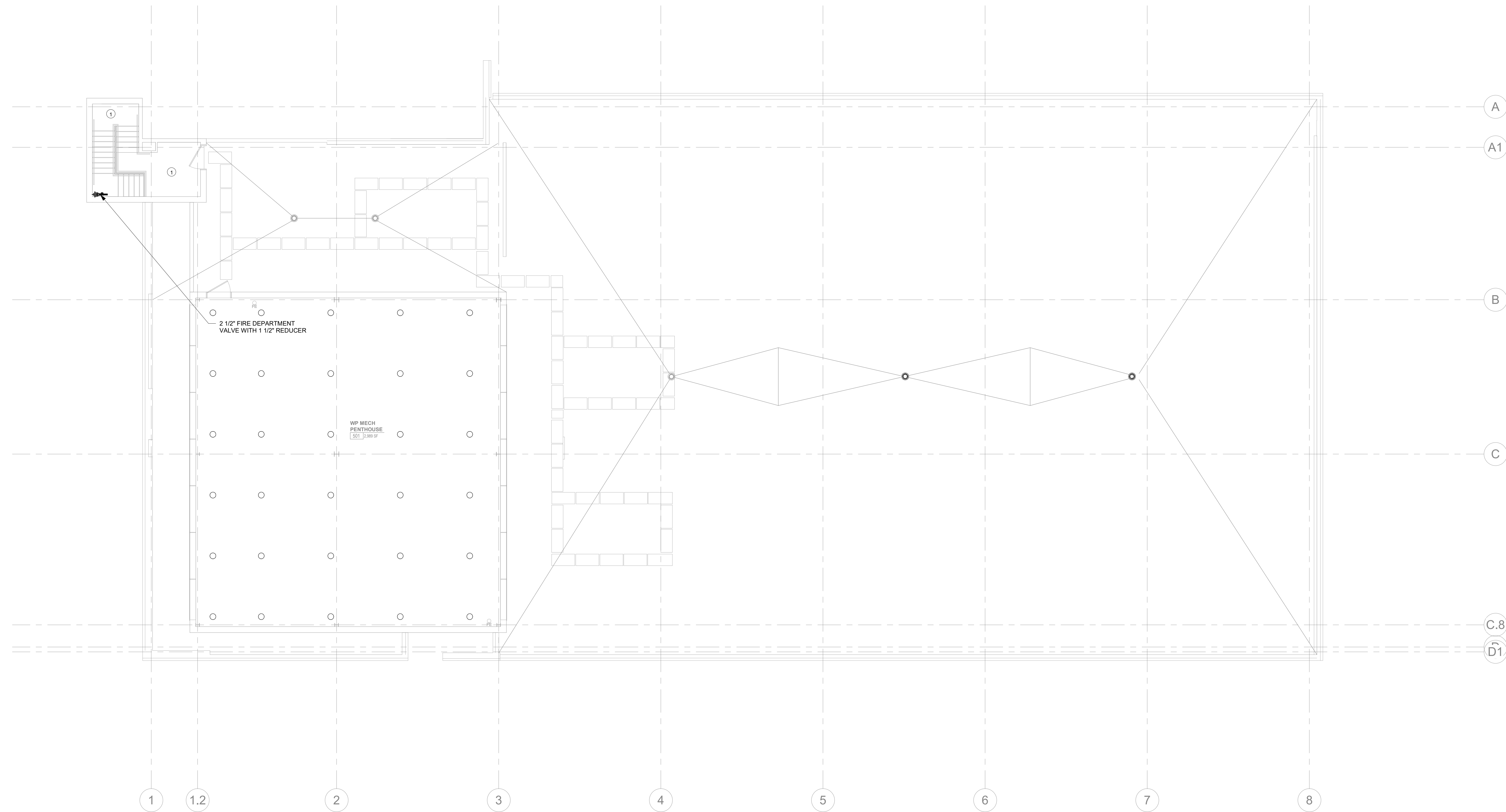
Drawn By: P. SUITE

Checked By: P. MCCOWN

Drawing Info:

FP104

WP - PENTHOUSE LEVEL FLOOR PLAN - FIRE PROTECTION



ALTERNATE 18 - WOMEN'S PAVILION PENTHOUSE LEVEL - FLOOR PLAN - FIRE PROTECTION
1
FP104 1/8" = 1'-0"

ADD 02.17

FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
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Project Information:

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#	ISSUE	DATE
ADD 03.1		02/24/21

Issue Date:	FEBRUARY 1, 2021
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PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

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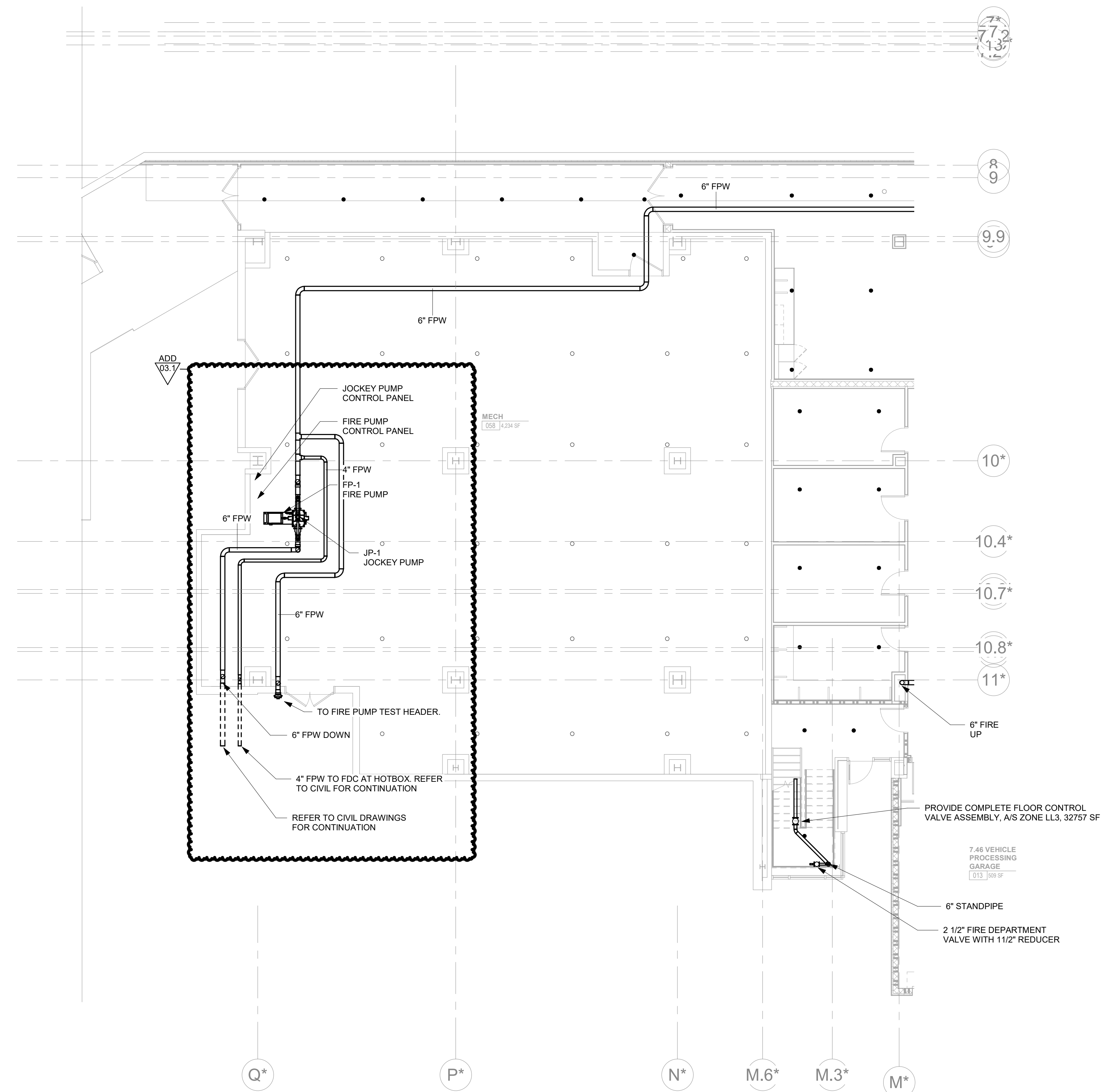
FP110.1

CA - LEVEL LL3 A
FLOOR PLAN - FIRE
PROTECTION

ADD
03.1

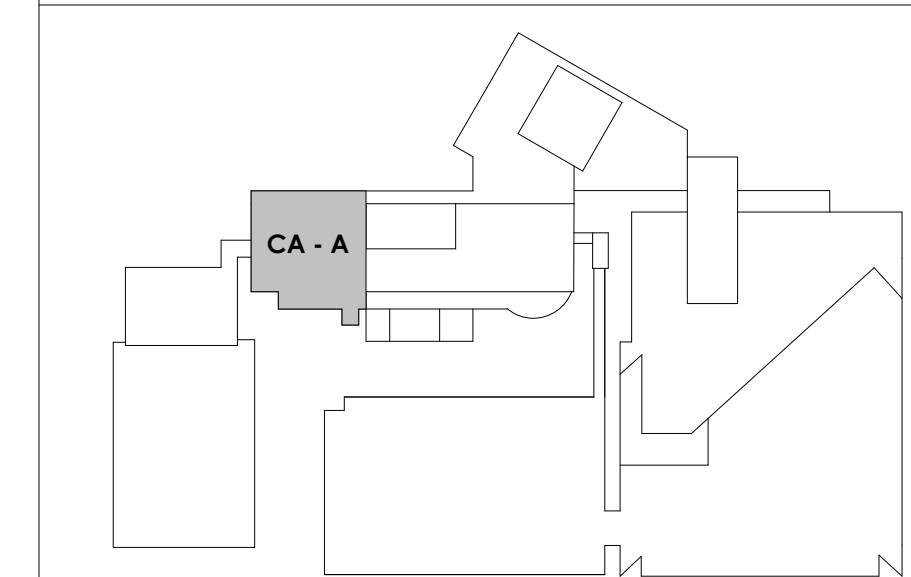
FIRE PROTECTION SHEET NOTES:

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1" = 1'-0" **CENTRAL ANNEX - LEVEL LL3 A FLOOR PLAN - FIRE PROTECTION**

KEY PLAN





Project Information:

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PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

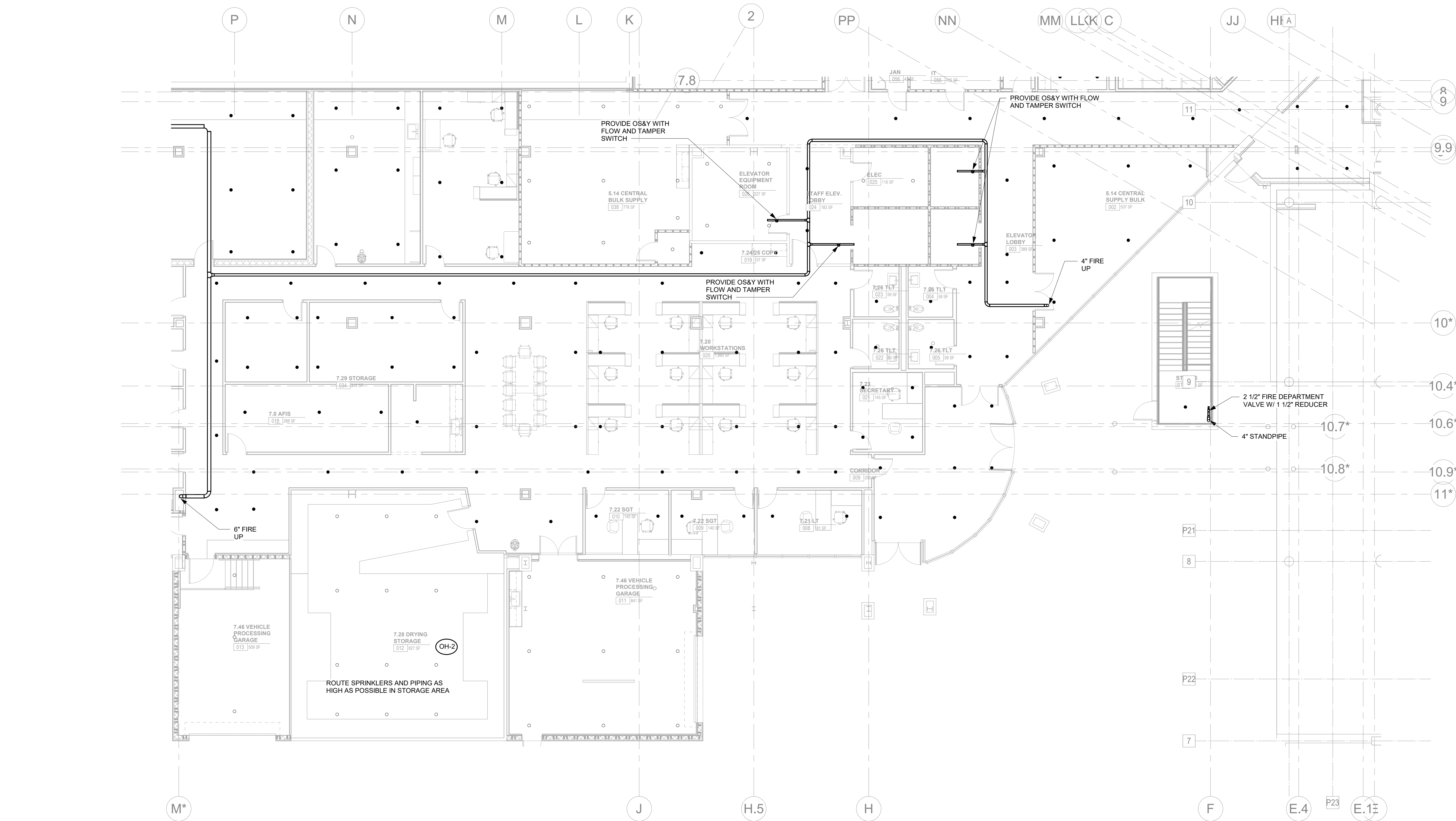
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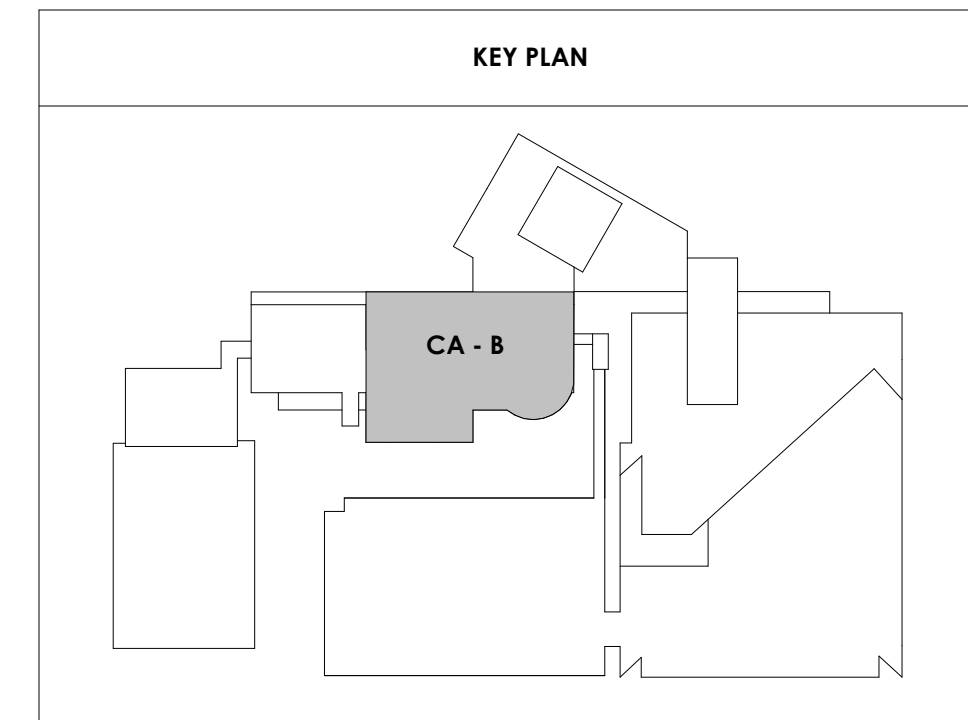
CA - LEVEL LL3 B
 FLOOR PLAN - FIRE
 PROTECTION

FIRE PROTECTION SHEET NOTES:

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CENTRAL ANNEX - LEVEL LL3 B FLOOR PLAN - FIRE PROTECTION
 1
 FP110.2 1/8" = 1'-0"





Project Information:

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PM: JOHN THURMAN

PA: LAUREN BUSH /

Drawn By: P. SUITE

Checked By: P. MCCOWN

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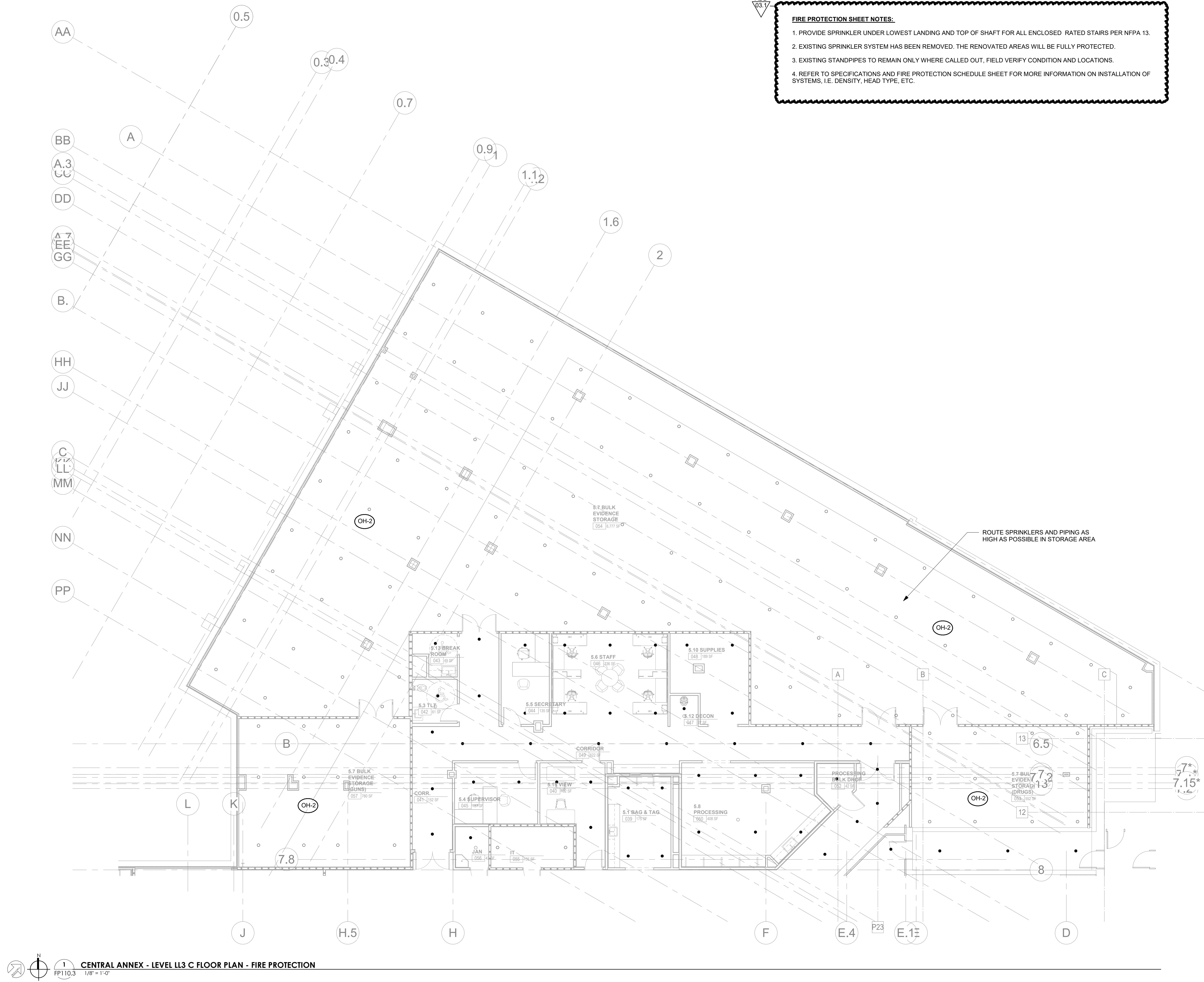
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CA - LEVEL LL3 C FLOOR PLAN - FIRE PROTECTION

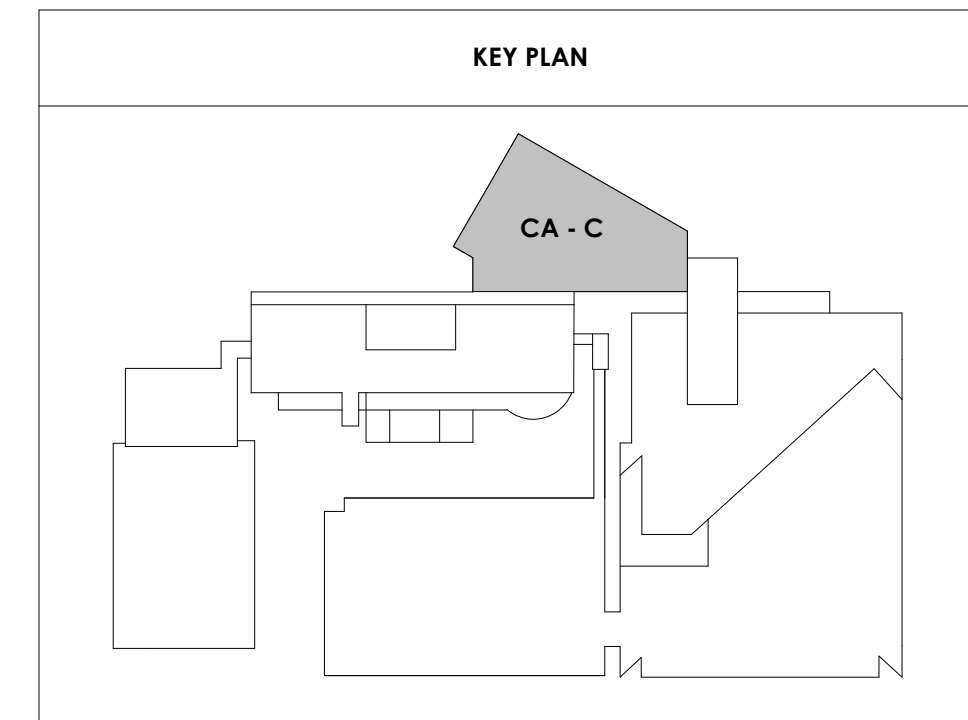
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03.17

FIRE PROTECTION SHEET NOTES:

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CENTRAL ANNEX - LEVEL LL3 C FLOOR PLAN - FIRE PROTECTION
FP110.3 1/8" = 1'-0"





Project Information:

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COK SAFETY BUILDING

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Issue Date:	FEBRUARY 1, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

FP111.1

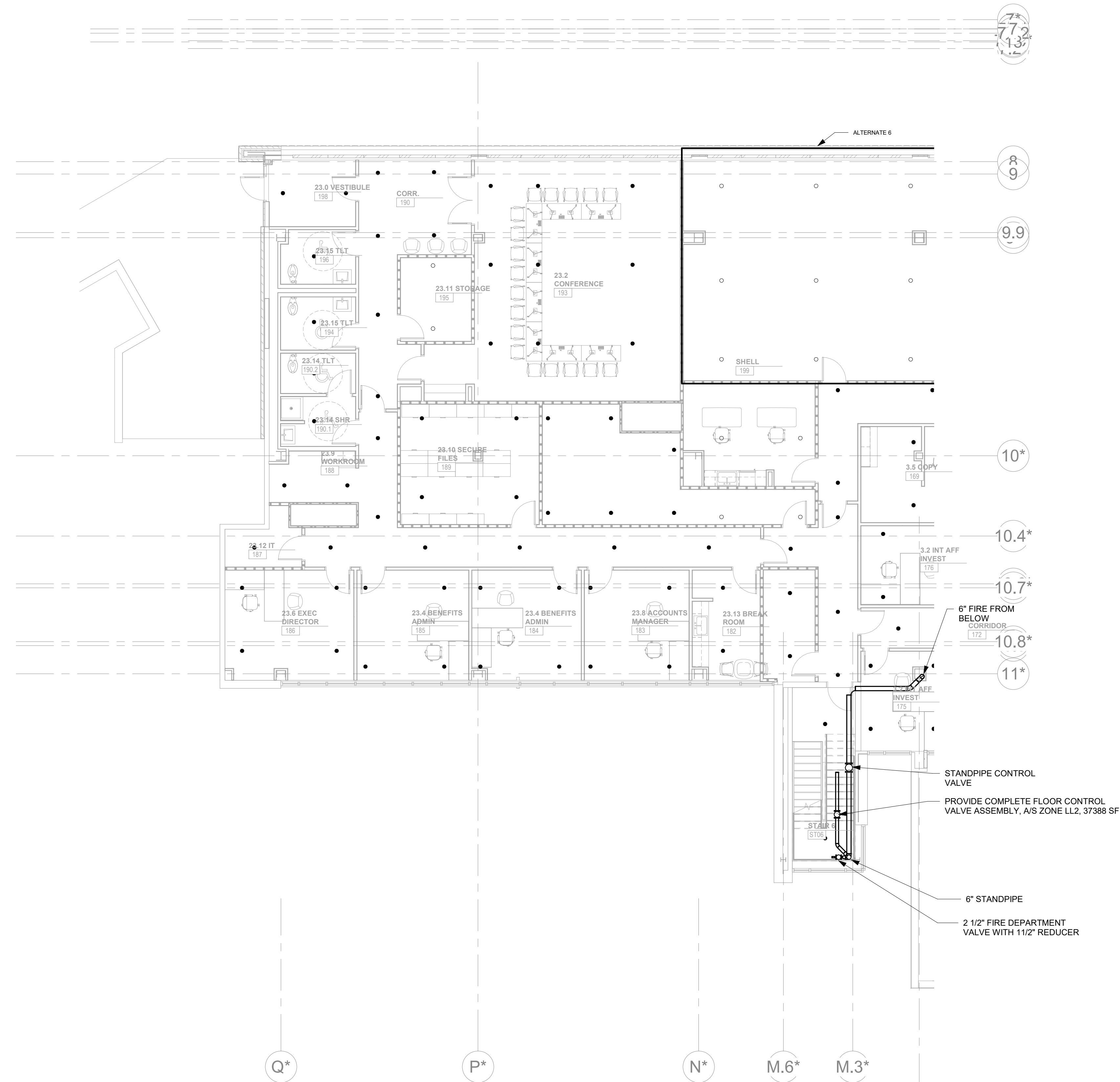
CA - LEVEL LL2 A
FLOOR PLAN - FIRE
PROTECTION

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ADD
VES 17

FIRE PROTECTION SHEET NOTES:

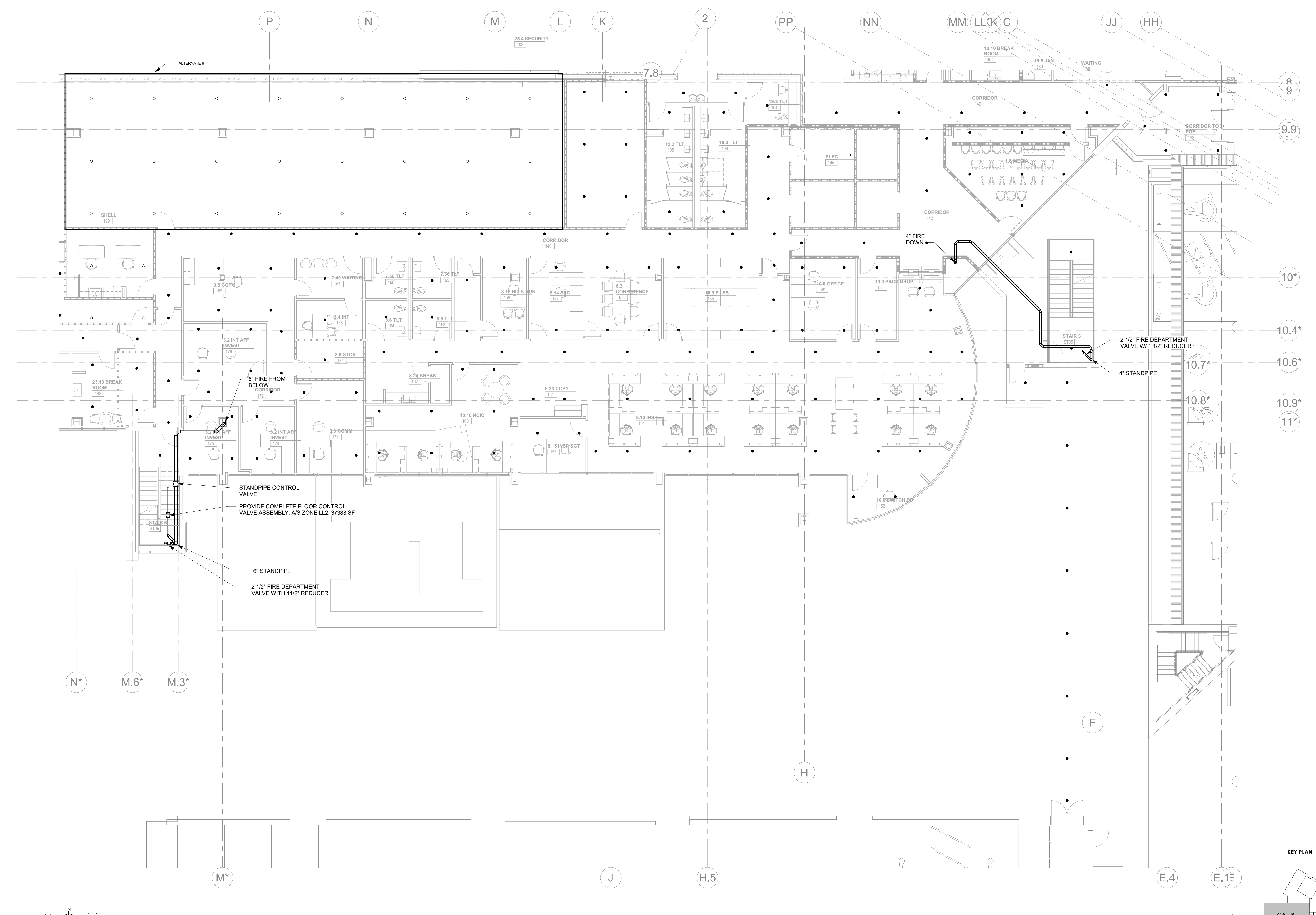
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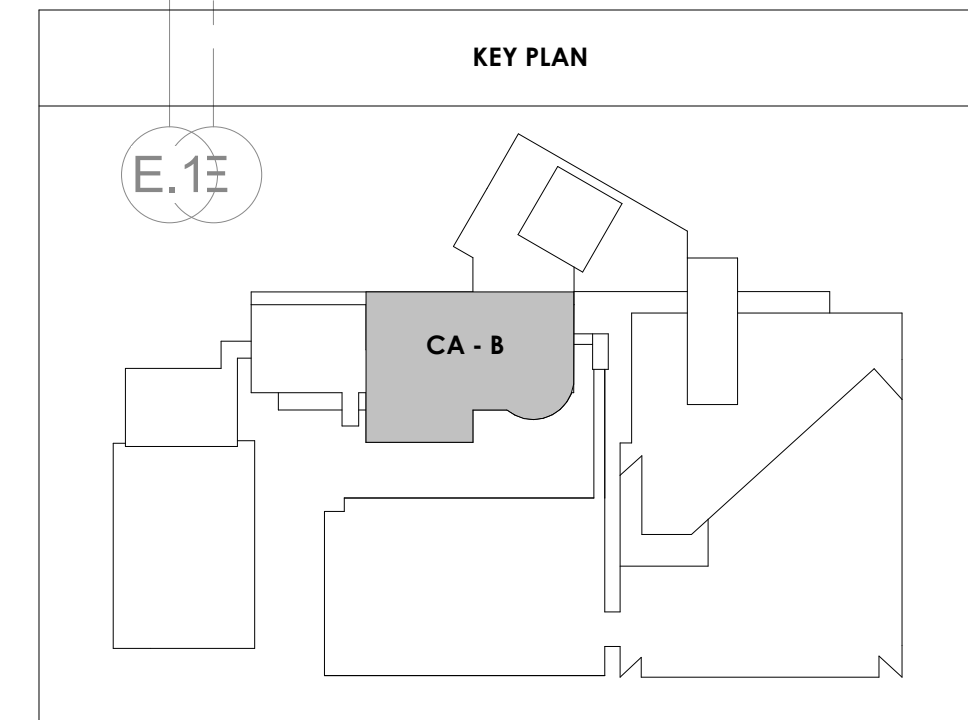
CENTRAL ANNEX - LEVEL LL2 A FLOOR PLAN - FIRE PROTECTION
FP111.1 1/8" = 1'-0"

FIRE PROTECTION SHEET NOTES:

- PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
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1
FP111.2
CENTRAL ANNEX - LEVEL LL2 B FLOOR PLAN - FIRE PROTECTION
1/8" = 1'-0"



Project Information:
19018

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PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:
FP111.2
CA - LEVEL LL2 B
FLOOR PLAN - FIRE
PROTECTION



Project Information:

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Consultant:



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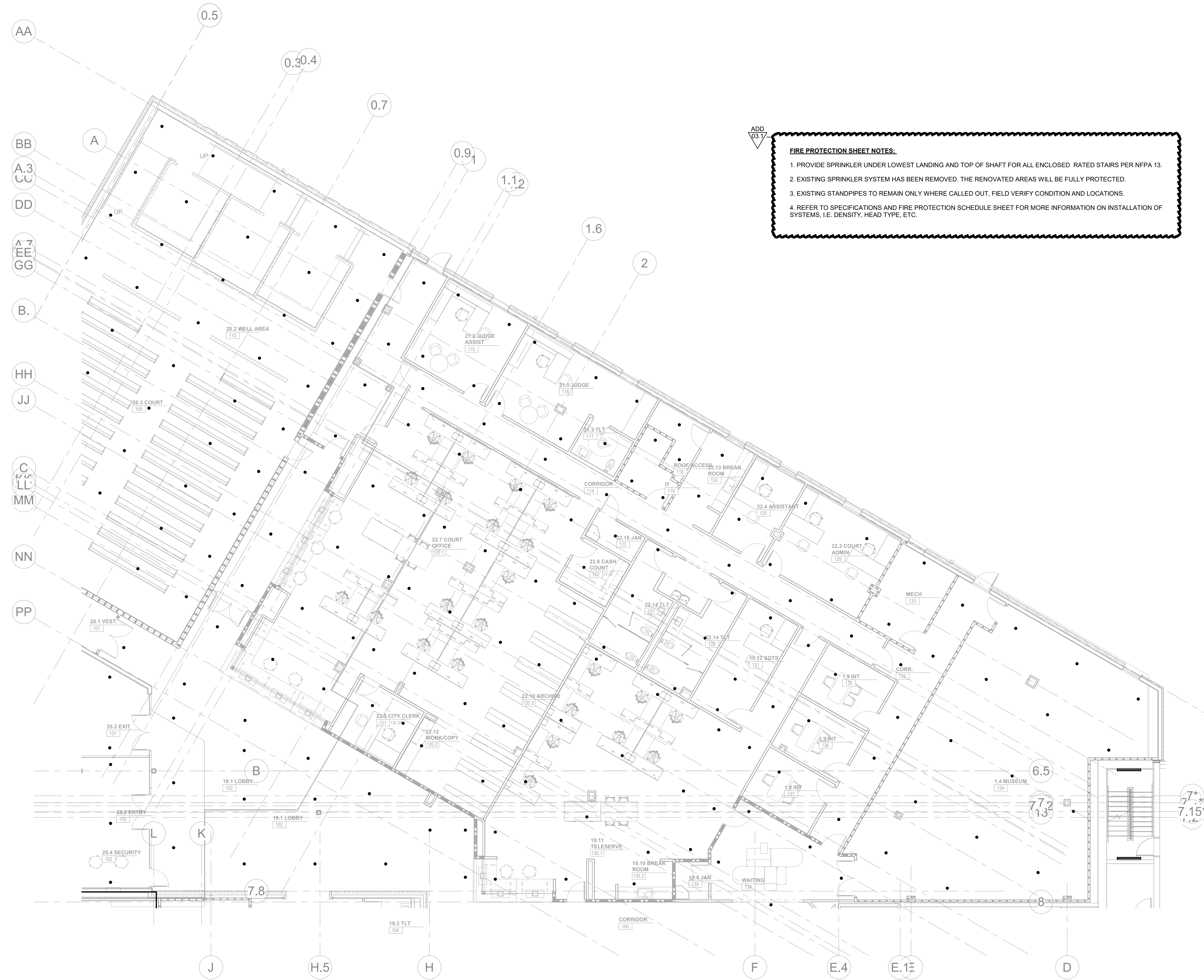
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PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

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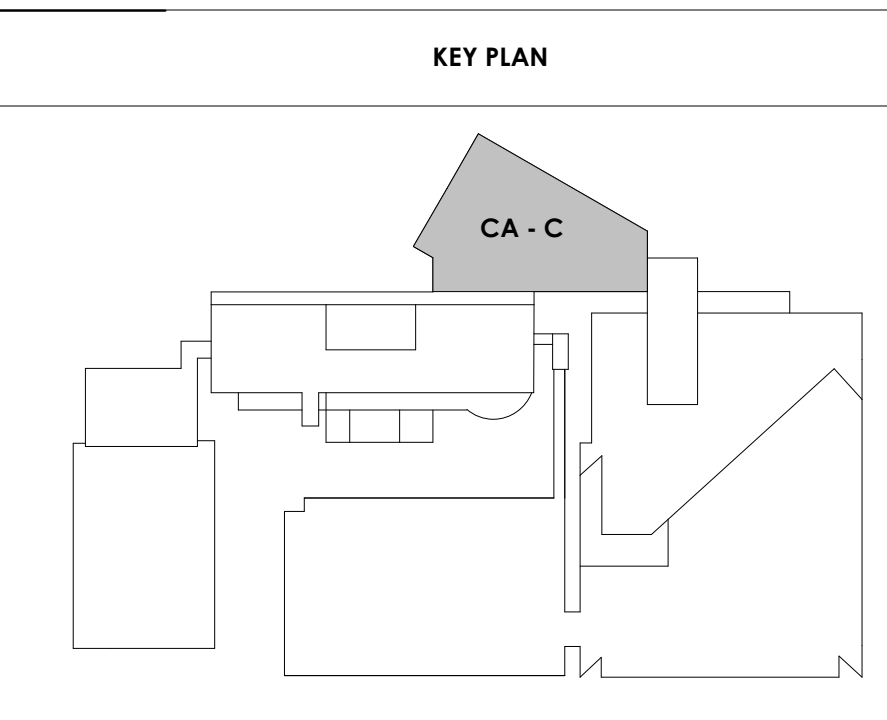
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FLOOR PLAN - FIRE
PROTECTION

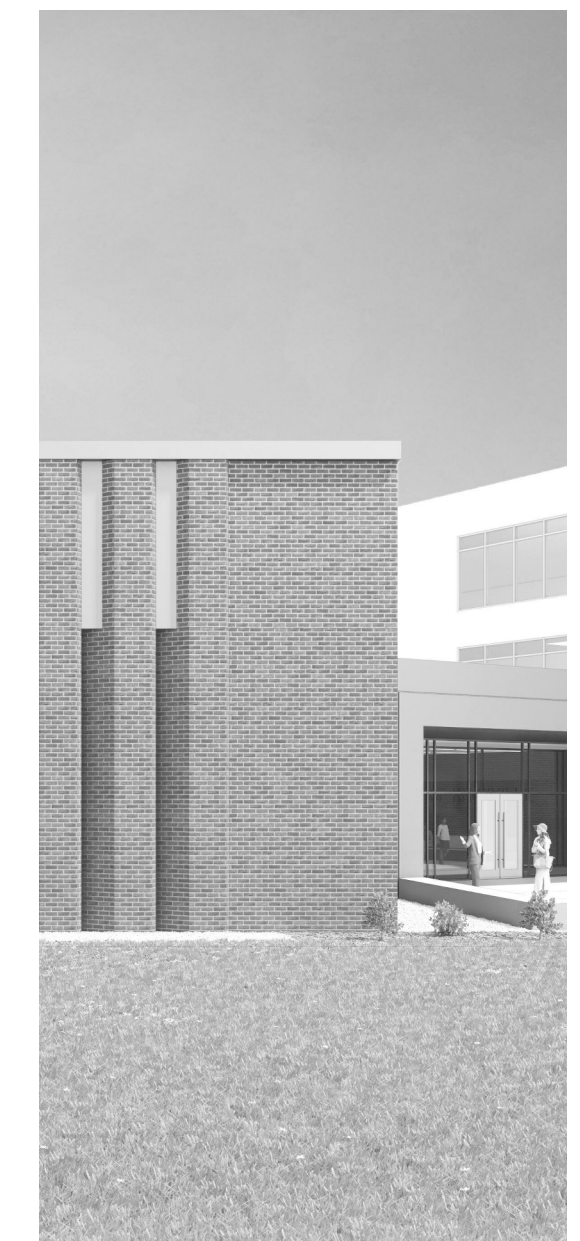


FIRE PROTECTION SHEET NOTES:

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1 CENTRAL ANNEX - LEVEL LL2 C FLOOR PLAN - FIRE PROTECTION
FP111.3 1/8" = 1'-0"





Project Information:

19018

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Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

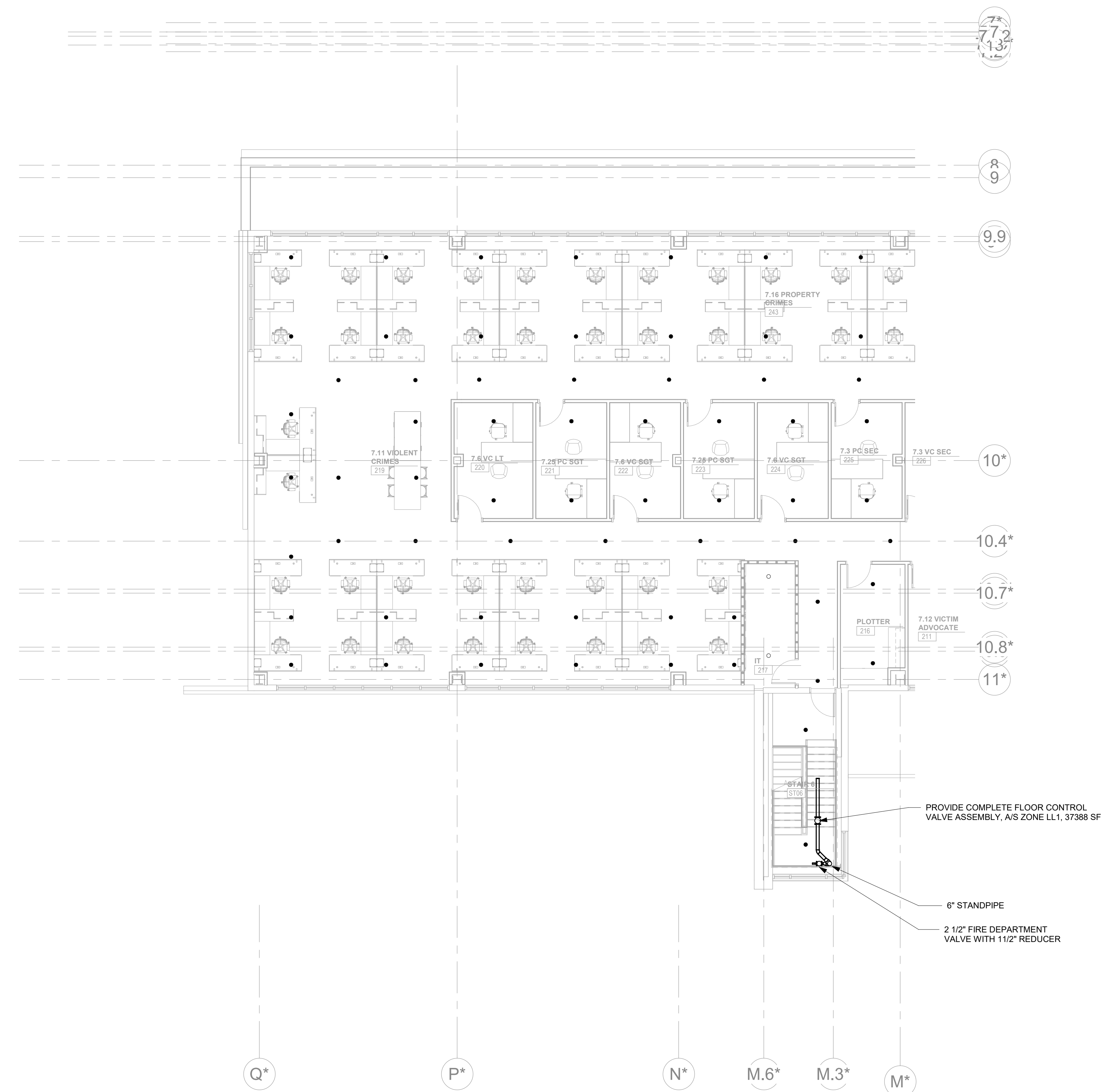
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CA - LEVEL LL1 A FLOOR PLAN - FIRE PROTECTION

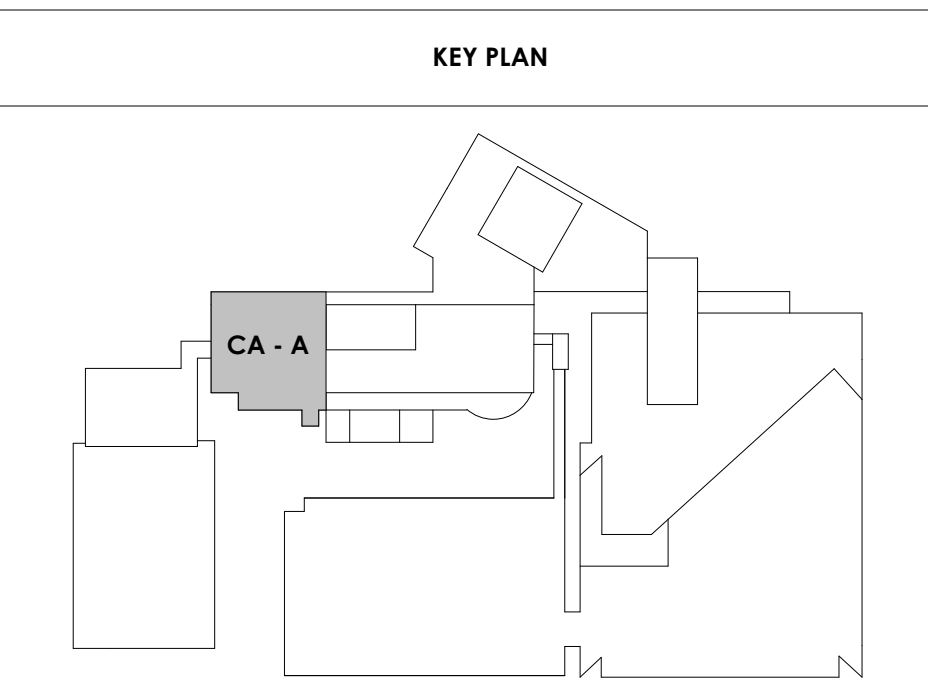
ADD
105.17

FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
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4. REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS, I.E. DENSITY, HEAD TYPE, ETC.



1 **CENTRAL ANNEX - LEVEL LL1 A FLOOR PLAN - FIRE PROTECTION**
FP112.1
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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#	ISSUE	DATE

Issue Date:	FEBRUARY 1, 2021
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

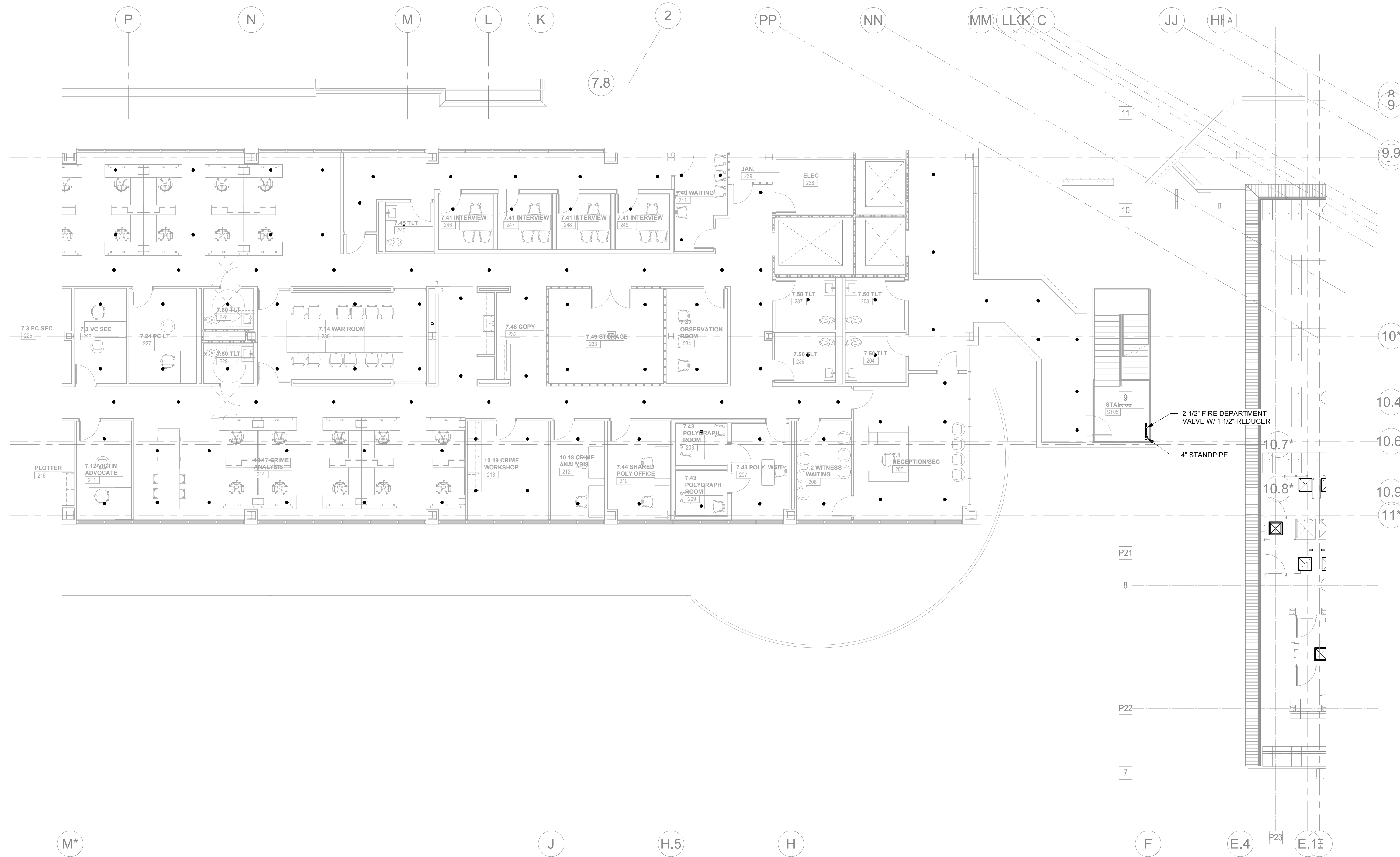
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CA - LEVEL LL1 B
FLOOR PLAN - FIRE
PROTECTION

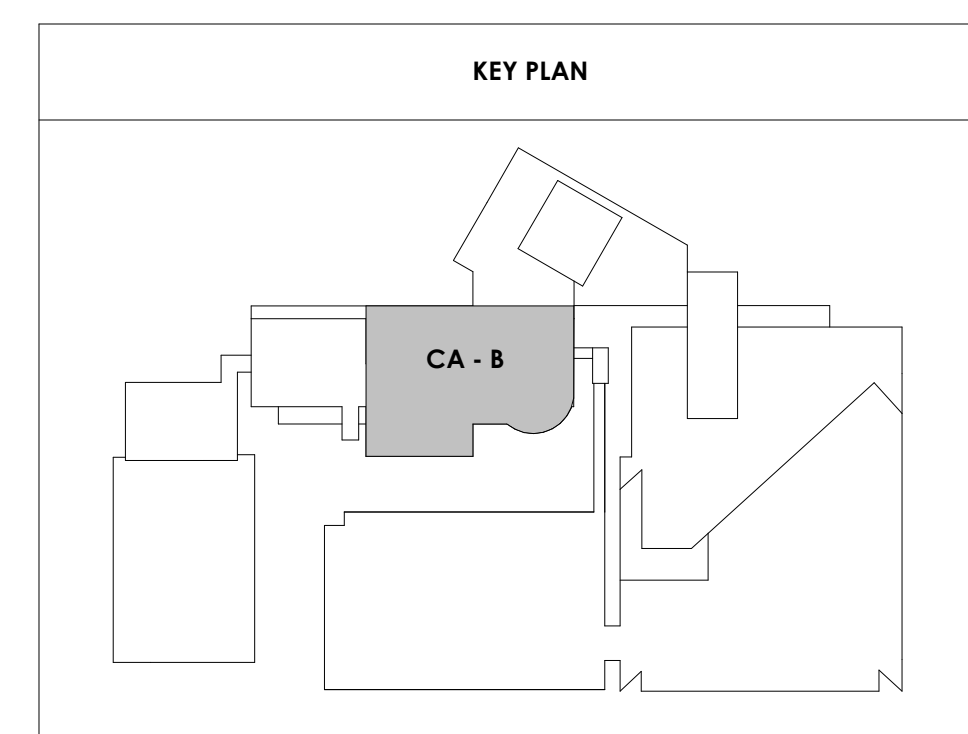
ADD
03.17

FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
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CENTRAL ANNEX - LEVEL LL1 B FLOOR PLAN - FIRE PROTECTION
FP112.2 1/8" = 1'-0"



McCarly Holsapple McCarly, Inc.
550 W. Main St., Suite 300
Knoxville, TN 37902
1-865-544-2000
www.mhminc.com



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PIC: DAVID COLLINS
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PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

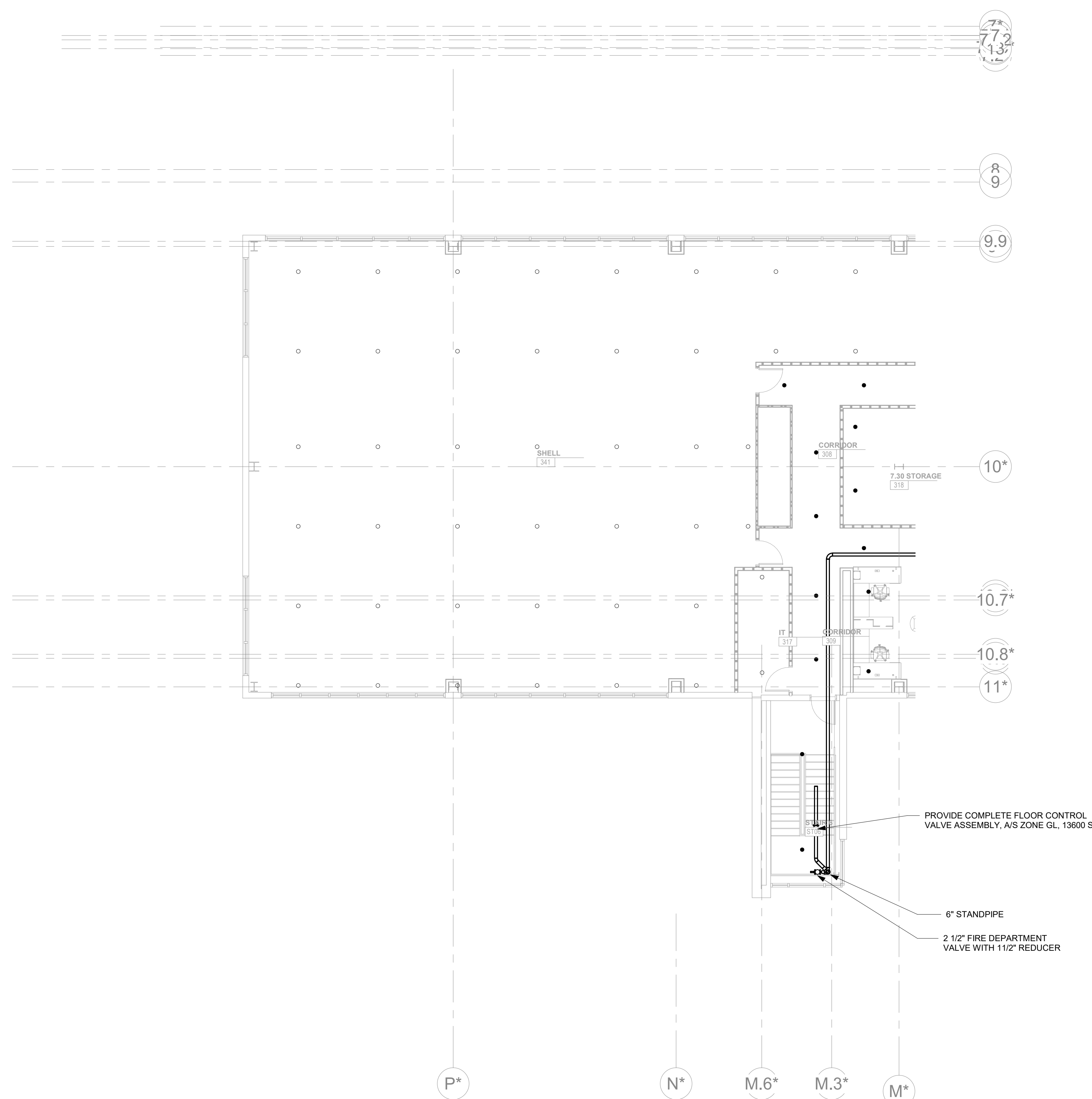
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CA - LEVEL GROUND A
FLOOR PLAN - FIRE
PROTECTION

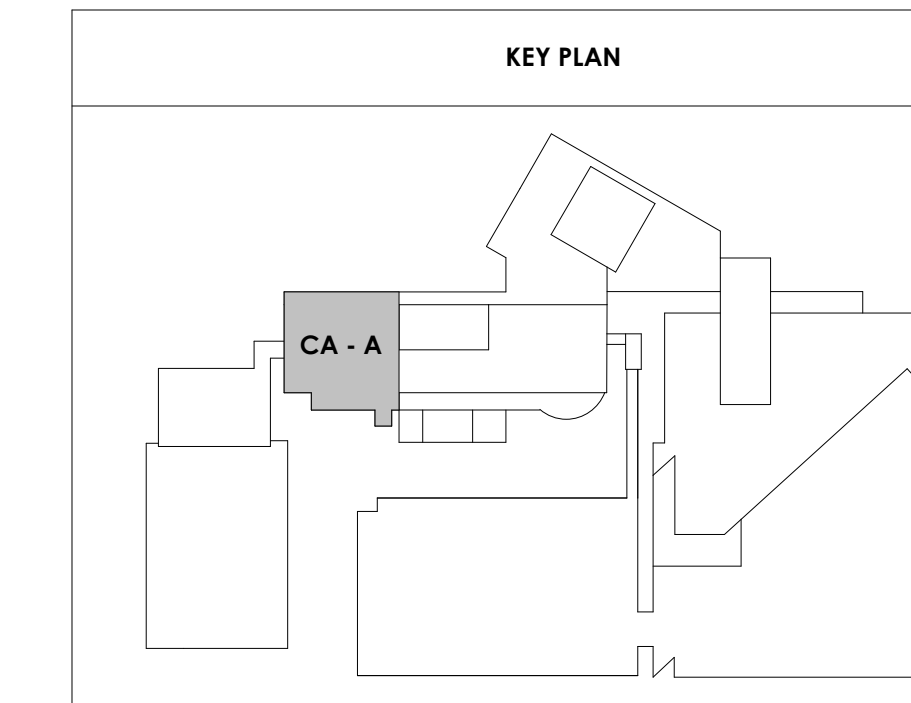
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FIRE PROTECTION SHEET NOTES:

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KEY PLAN





Project Information:

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COK SAFETY BUILDING

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PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

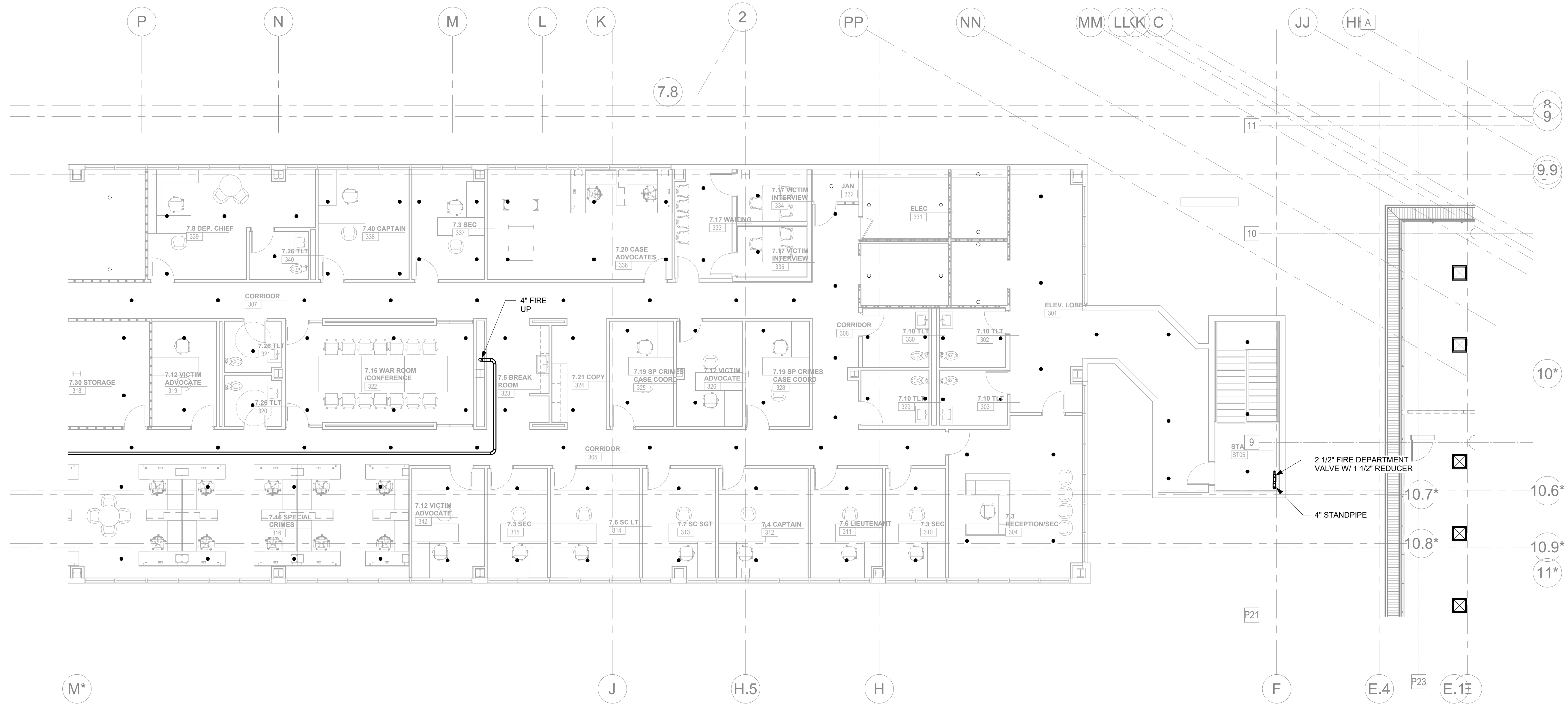
FP113.2

CA - LEVEL GROUND B FLOOR PLAN - FIRE PROTECTION

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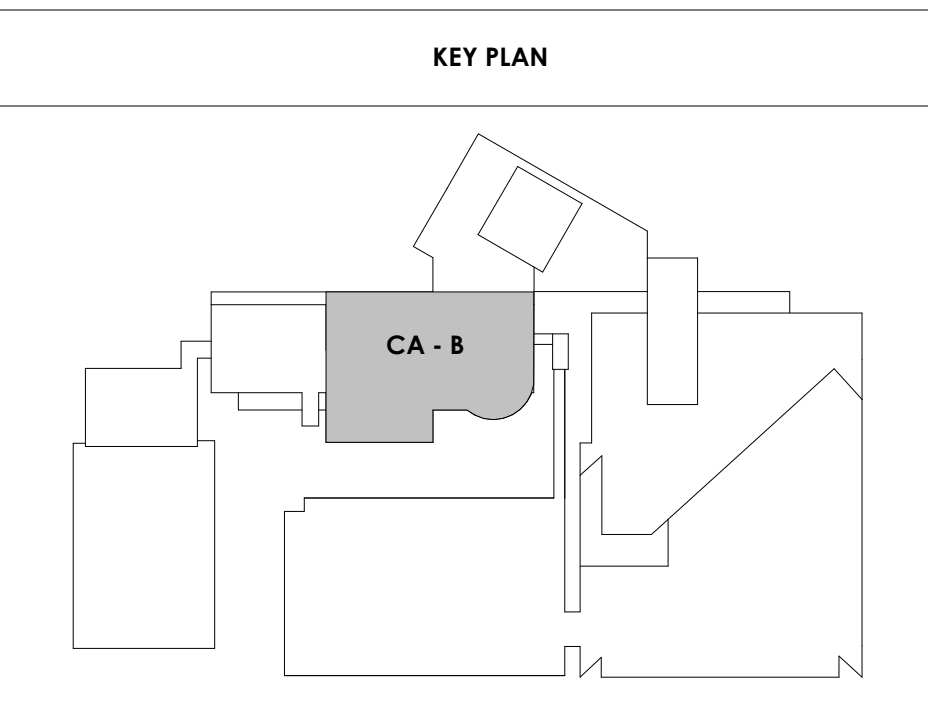
FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
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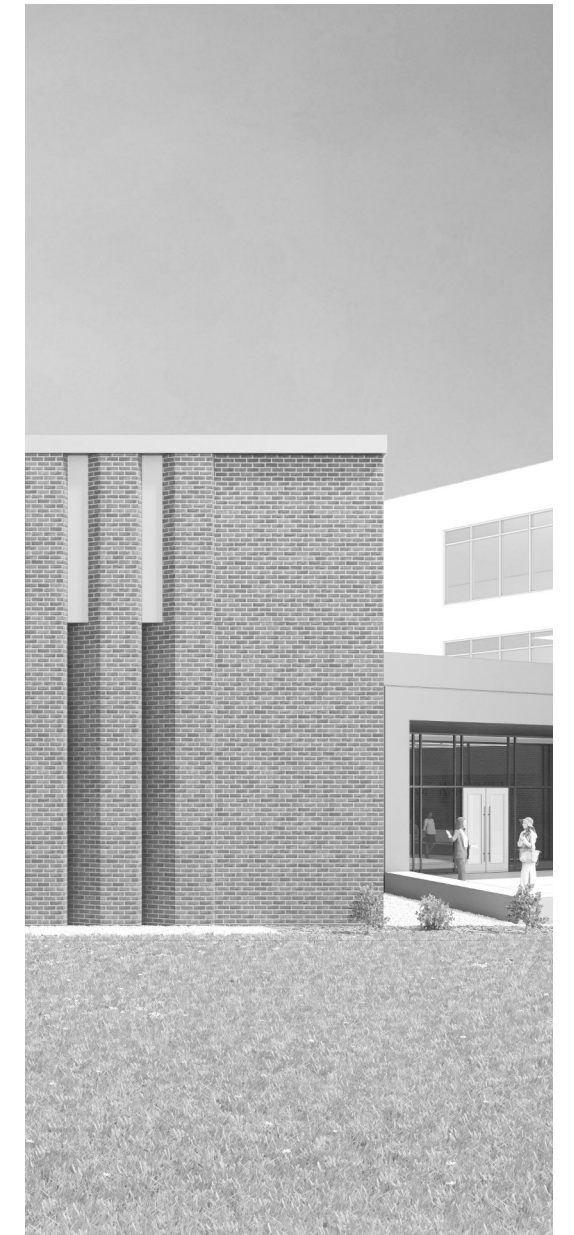


CENTRAL ANNEX - GROUND LEVEL B FLOOR PLAN - FIRE PROTECTION

1
FP113.2
1/8" = 1'-0"



2/24/2021 4:45:05 PM



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Issue Date: FEBRUARY 1, 2021
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 PA: LAUREN BUSH /
 Drawn By: Author
 Checked By: P. MCCOWN

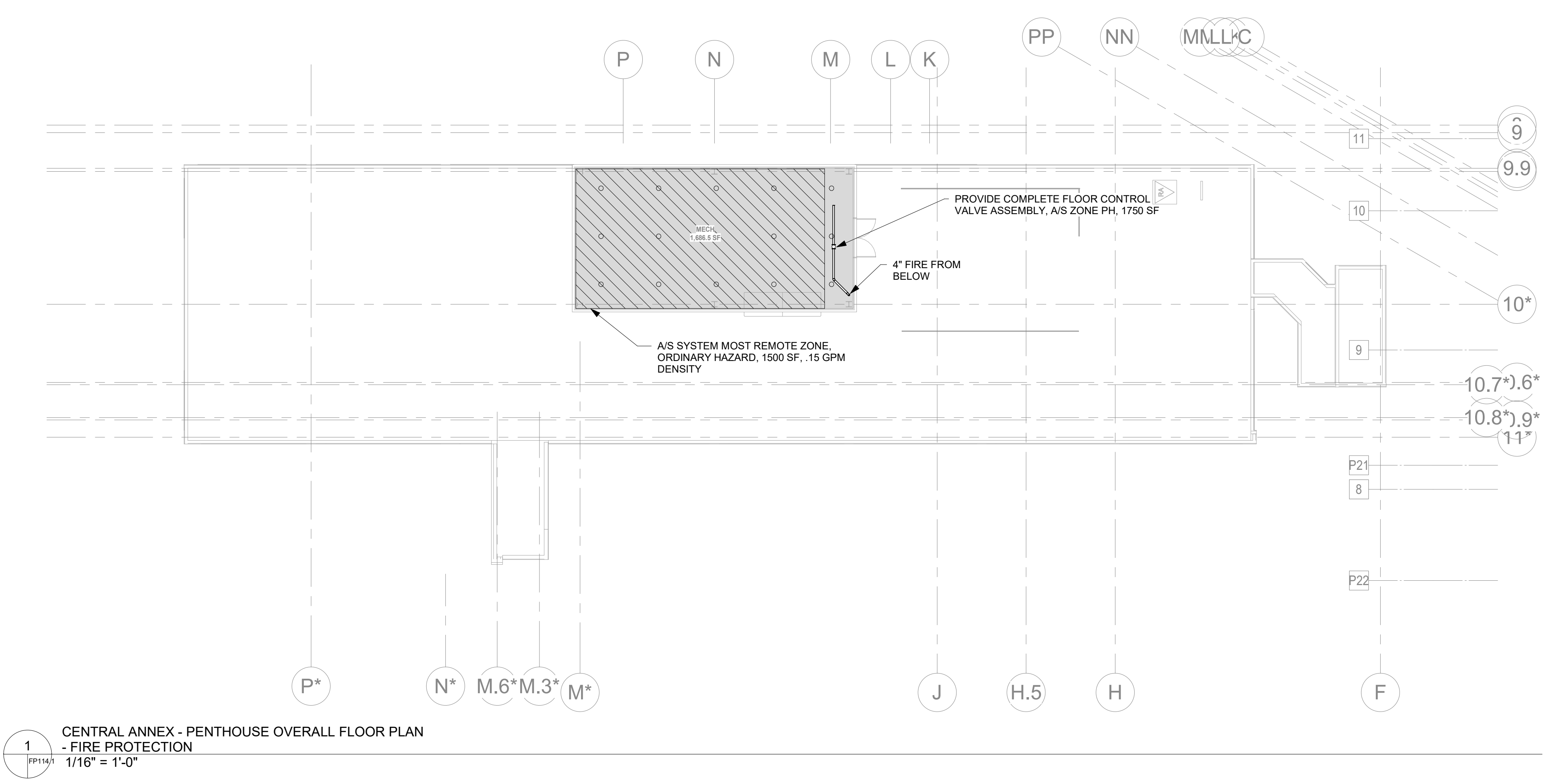
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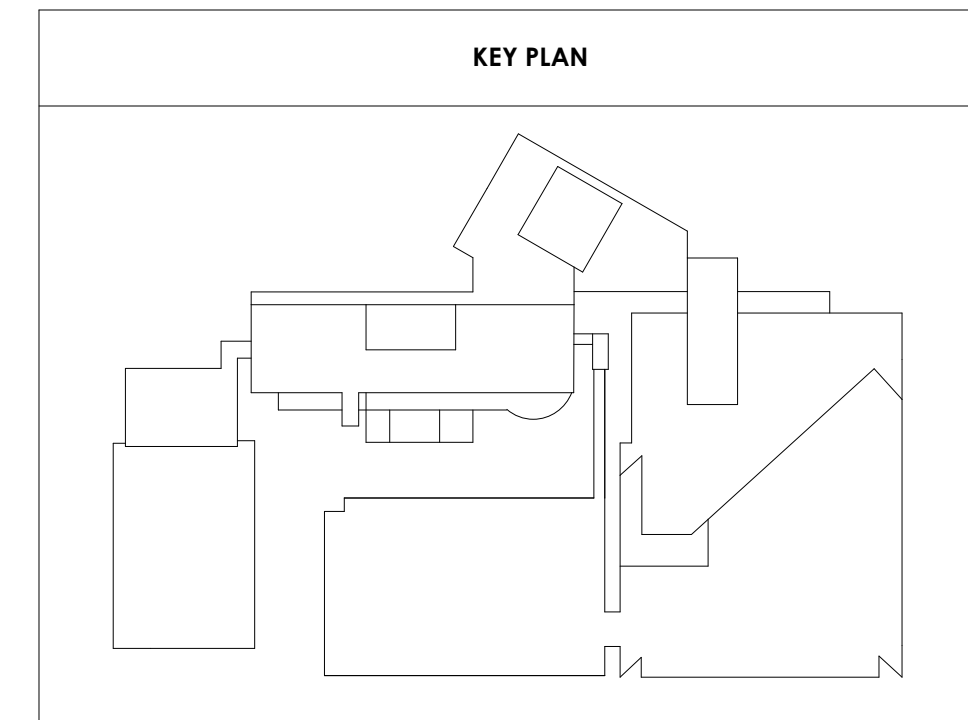
CA - FIRE PROTECTION
 - PENTHOUSE

ADD
 03.7

- FIRE PROTECTION SHEET NOTES:**
1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
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1
 PP114
 CENTRAL ANNEX - PENTHOUSE OVERALL FLOOR PLAN
 - FIRE PROTECTION
 1/16" = 1'-0"





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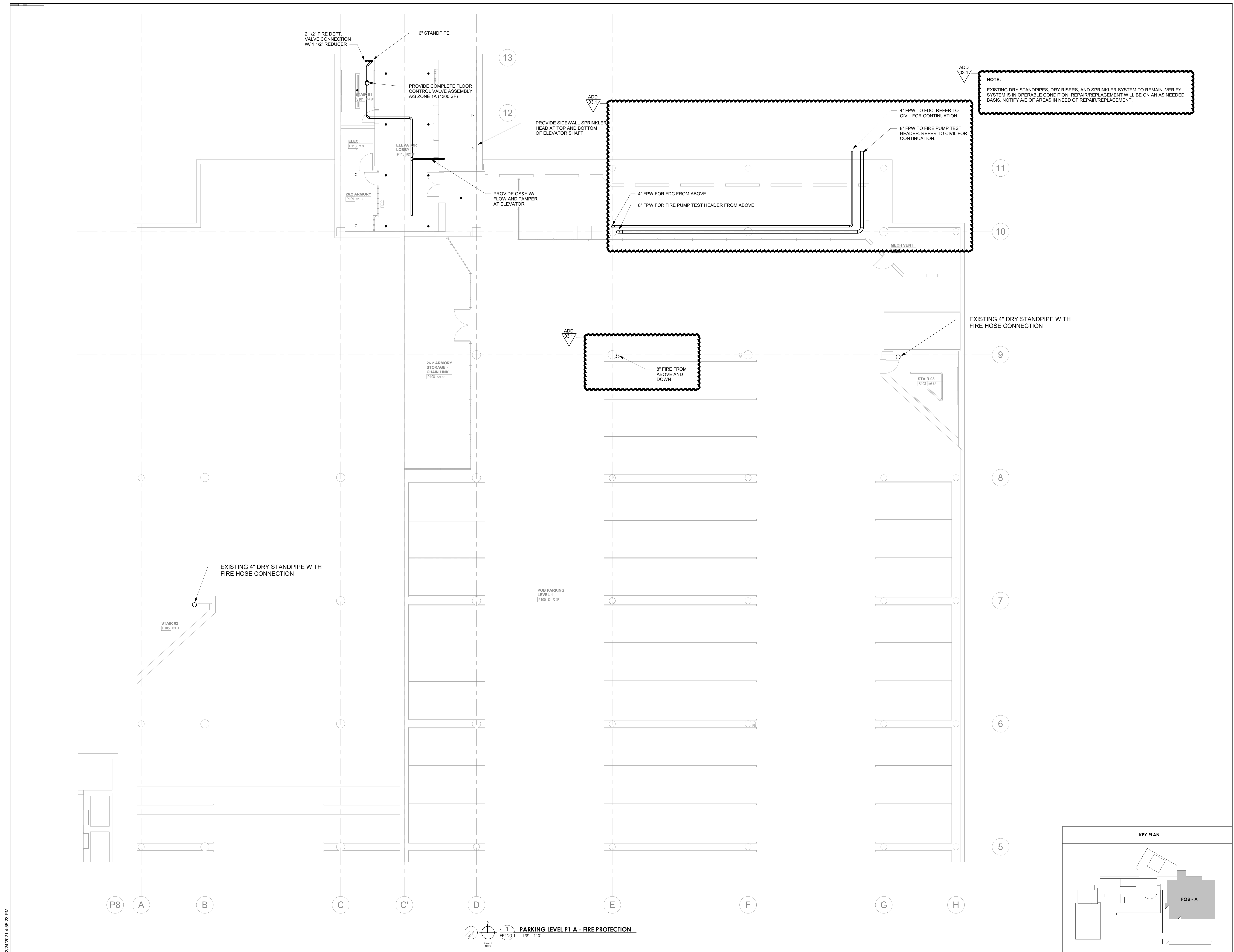
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Issue Date:	AUGUST 28, 2020
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

FP120.1

POB - PARKING LEVEL P1 A - FIRE PROTECTION





Project Information:

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Consultant:



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Issue Date: AUGUST 28, 2020

PI: DAVID COLLINS

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PA: LAUREN BUSH /

Drawn By: P. SUITE

Checked By: P. MCCOWN

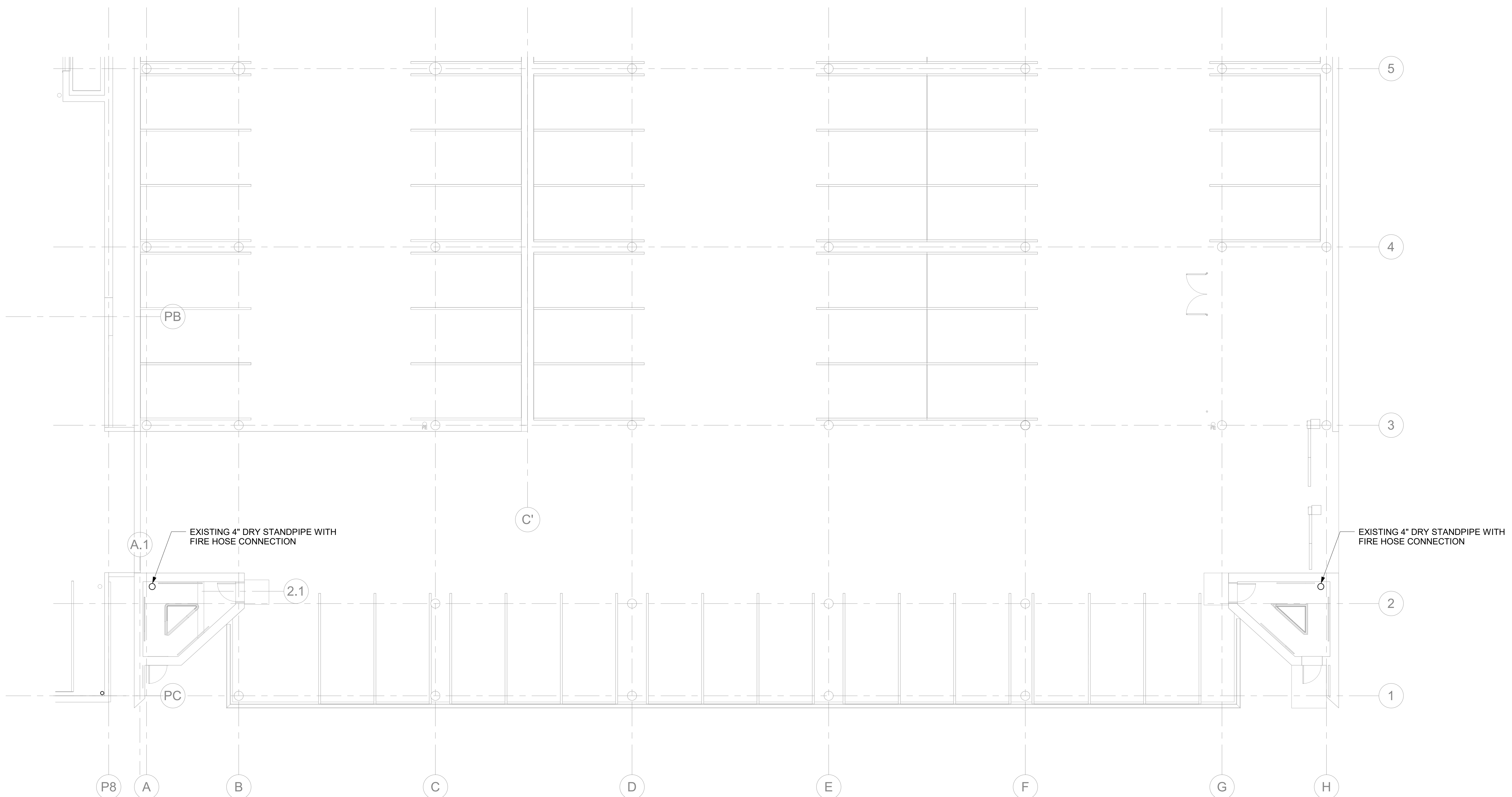
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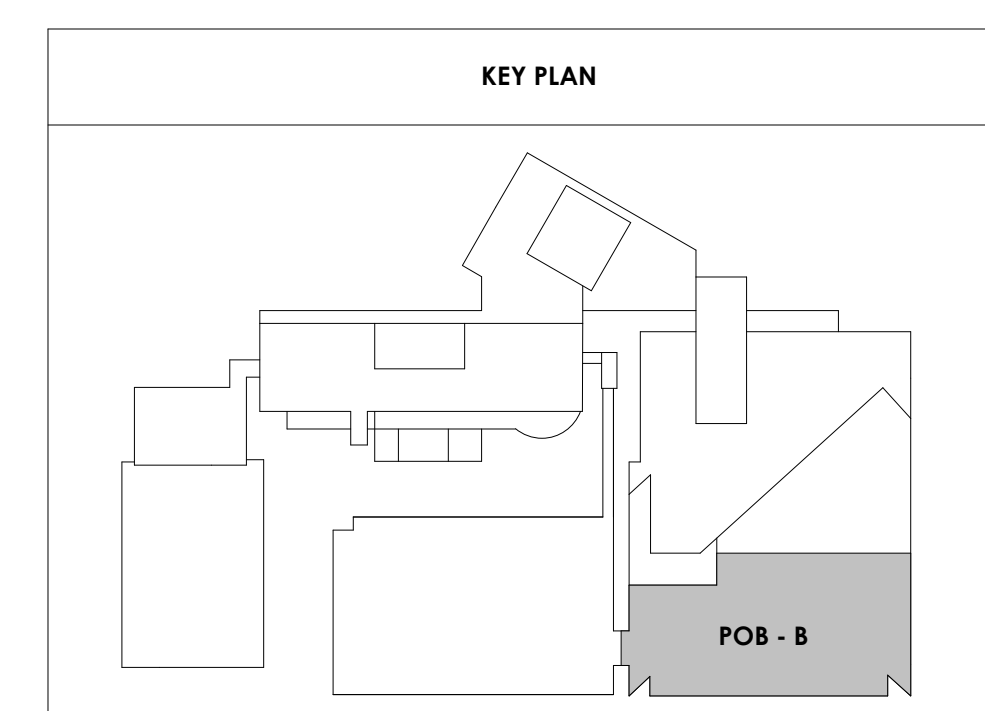
POB - PARKING LEVEL
 P1 B - FIRE
 PROTECTION

ADD
 03.1

NOTE:
 EXISTING DRY STANDPIPES, DRY RISERS, AND SPRINKLER SYSTEM TO REMAIN. VERIFY SYSTEM IS IN OPERABLE CONDITION. REPAIR/REPLACEMENT WILL BE ON AN AS NEEDED BASIS. NOTIFY A/E OF AREAS IN NEED OF REPAIR/REPLACEMENT.



PARKING LEVEL P1 B - FIRE PROTECTION
 FP120.2
 1/8" = 1'-0"





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PM JOHN THURMAN
PA LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

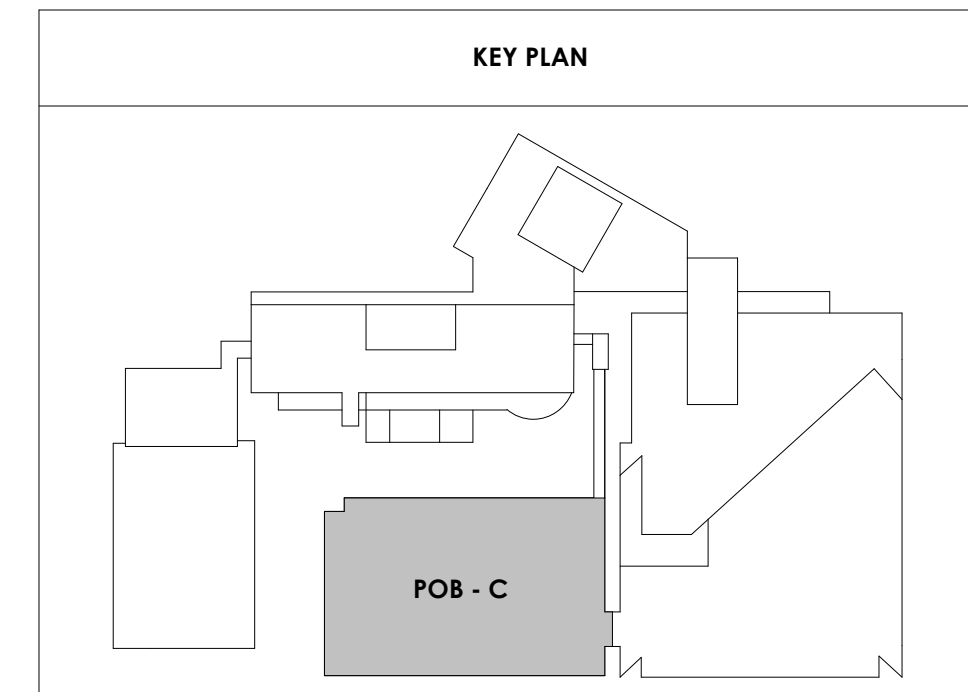
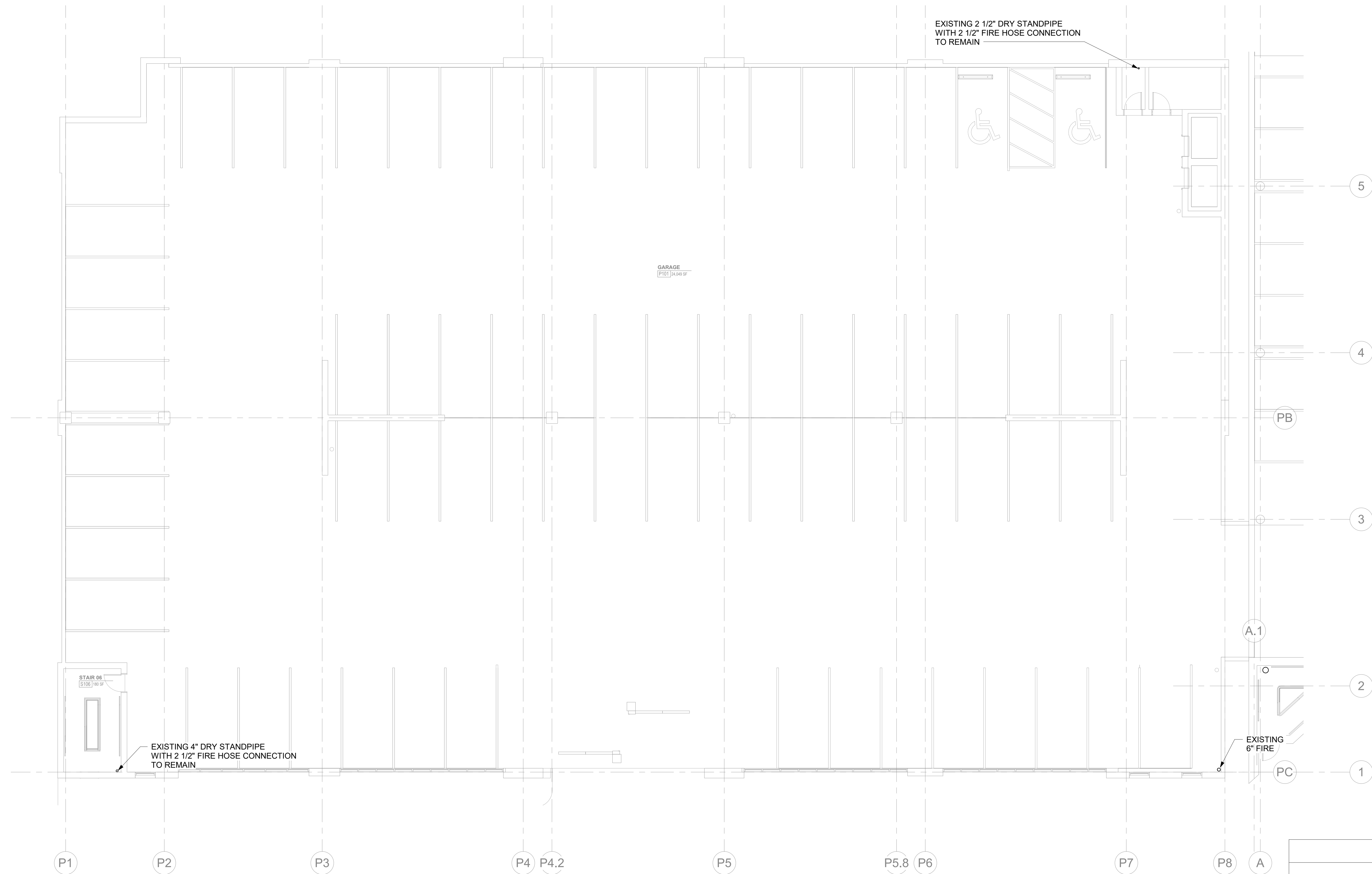
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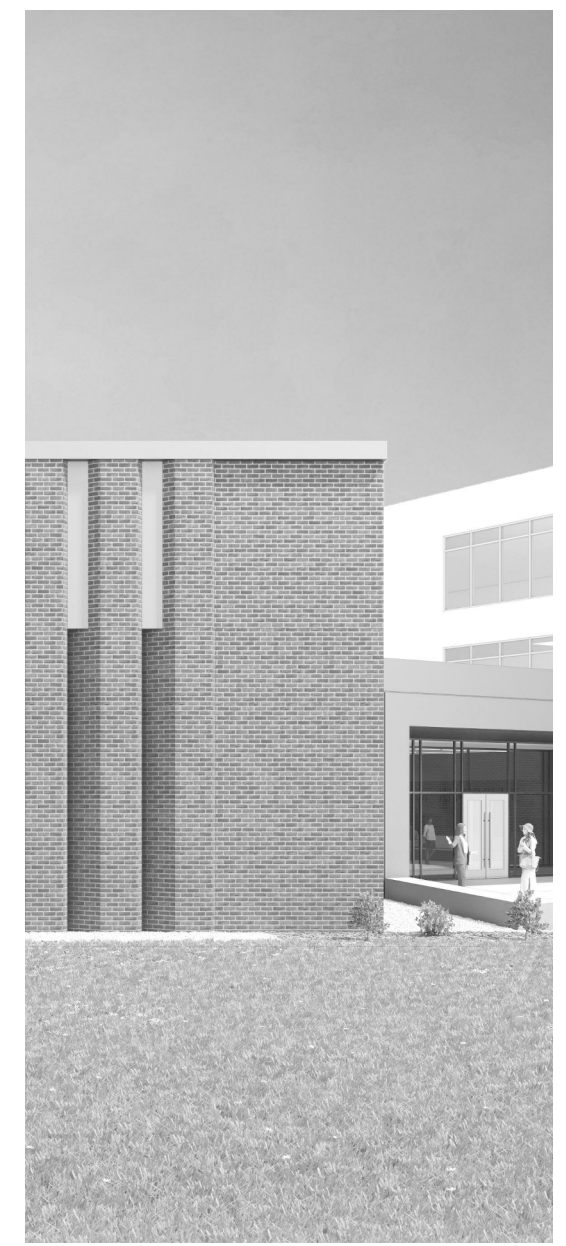
POB - PARKING LEVEL
P1 C - FIRE
PROTECTION

ADD
08.17

NOTE:
EXISTING DRY STANDPIPES, DRY RISERS, AND SPRINKLER SYSTEM TO REMAIN. VERIFY SYSTEM IS IN OPERABLE CONDITION. REPAIR/REPLACEMENT WILL BE ON AN AS NEEDED BASIS. NOTIFY A/E OF AREAS IN NEED OF REPAIR/REPLACEMENT.



1
FP120.3
1/8" = 1'-0"
PARKING LEVEL P1 C - FIRE PROTECTION



Project Information:

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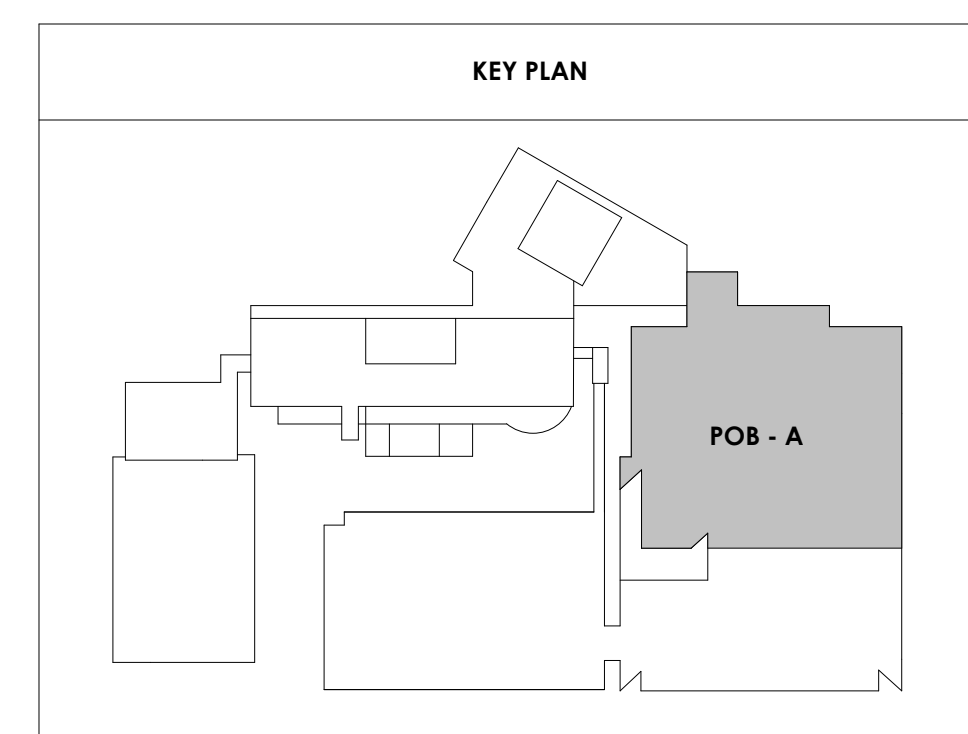
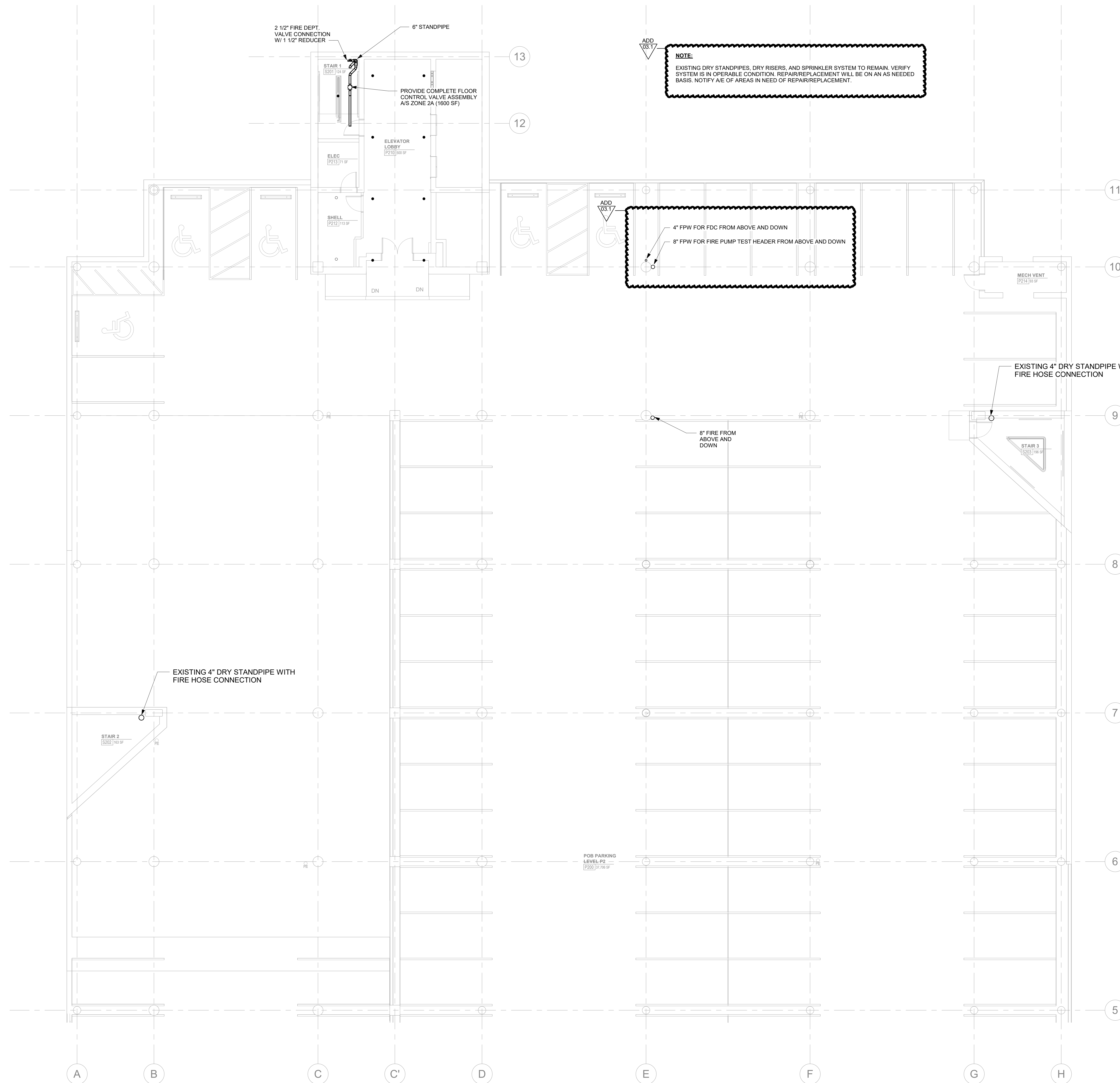
#	ISSUE	DATE
ADD 03.1		02/24/21

Issue Date:	AUGUST 28, 2020
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

FP121.1

POB - PARKING LEVEL
P2 A - FIRE
PROTECTION



1 FP121.1 1/8" = 1'-0" PARKING LEVEL P2 A - FIRE PROTECTION



Project Information:

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#	ISSUE	DATE
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#	ISSUE	DATE

Issue Date: AUGUST 28, 2020

PIC DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

Drawn By: P. SUITE

Checked By: P. MCCOWN

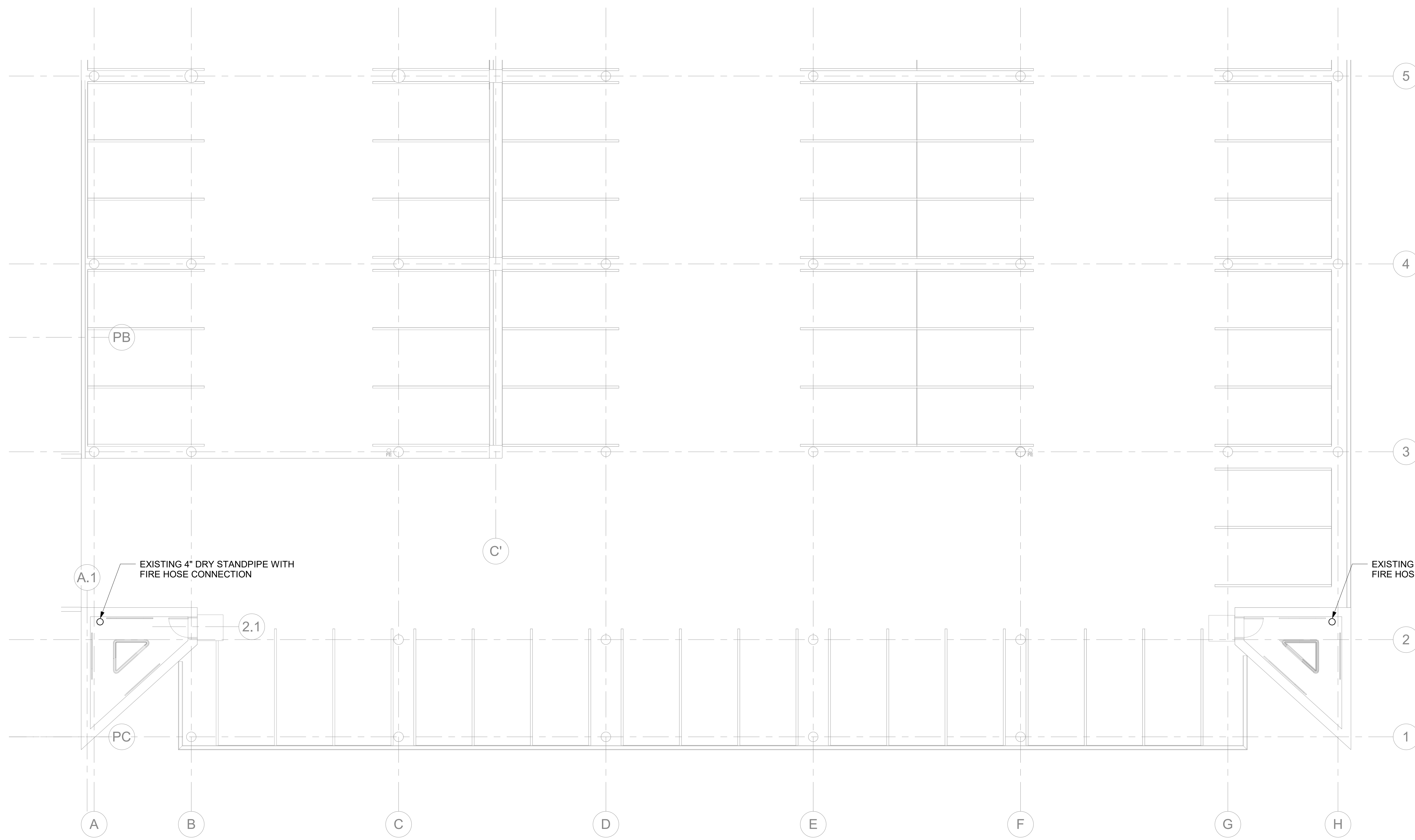
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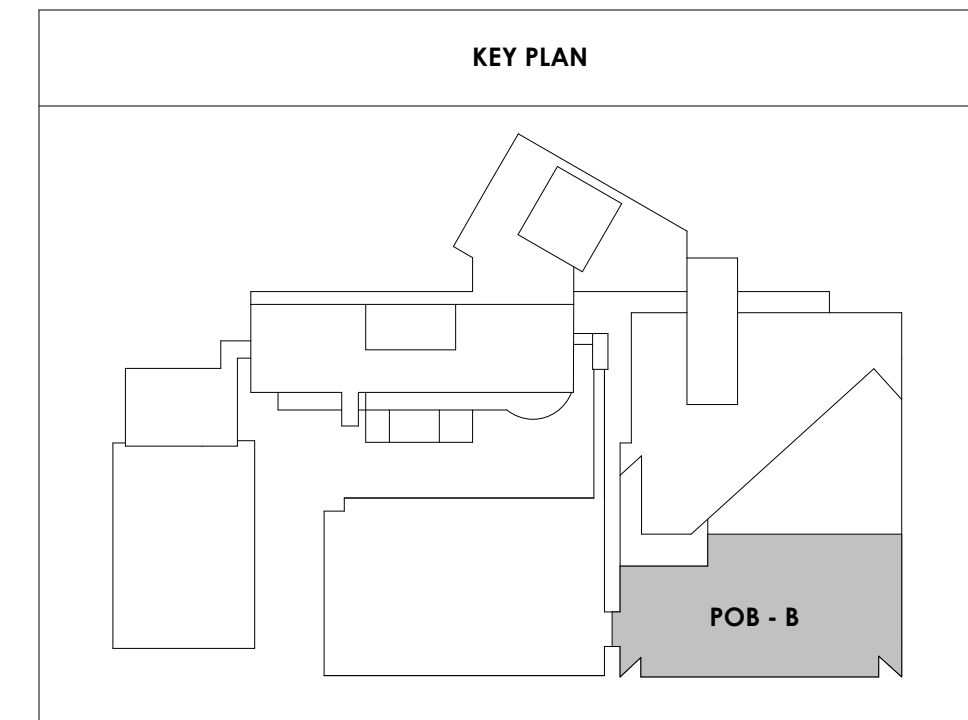
POB - PARKING LEVEL
P2 B - FIRE
PROTECTION

ADD
03.7

NOTE:
EXISTING DRY STANDPIPES, DRY RISERS, AND SPRINKLER SYSTEM TO REMAIN. VERIFY SYSTEM IS IN OPERABLE CONDITION. REPAIR/REPLACEMENT WILL BE ON AN AS NEEDED BASIS. NOTIFY A/E OF AREAS IN NEED OF REPAIR/REPLACEMENT.



PARKING LEVEL P2 B - FIRE PROTECTION
FP121.2 1/8" = 1'-0"





Project Information:

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ISSUE DATE

#	ISSUE	DATE

Issue Date: AUGUST 28, 2020

PIK DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

Drawn By: P. SUITE

Checked By: P. MCCOWN

Drawing Info:

FP121.3

POB - PARKING LEVEL
P2 C - FIRE
PROTECTION

ADD
03.17

NOTE:

EXISTING DRY STANDPIPES, DRY RISERS, AND SPRINKLER SYSTEM TO REMAIN. VERIFY SYSTEM IS IN OPERABLE CONDITION. REPAIR/REPLACEMENT WILL BE ON AN AS NEEDED BASIS. NOTIFY A/E OF AREAS IN NEED OF REPAIR/REPLACEMENT.

EXISTING 2 1/2" DRY STANDPIPE WITH 2 1/2" FIRE HOSE CONNECTION TO REMAIN

EXISTING 6" FIRE

EXISTING 4" DRY STANDPIPE WITH 2 1/2" FIRE HOSE CONNECTION TO REMAIN

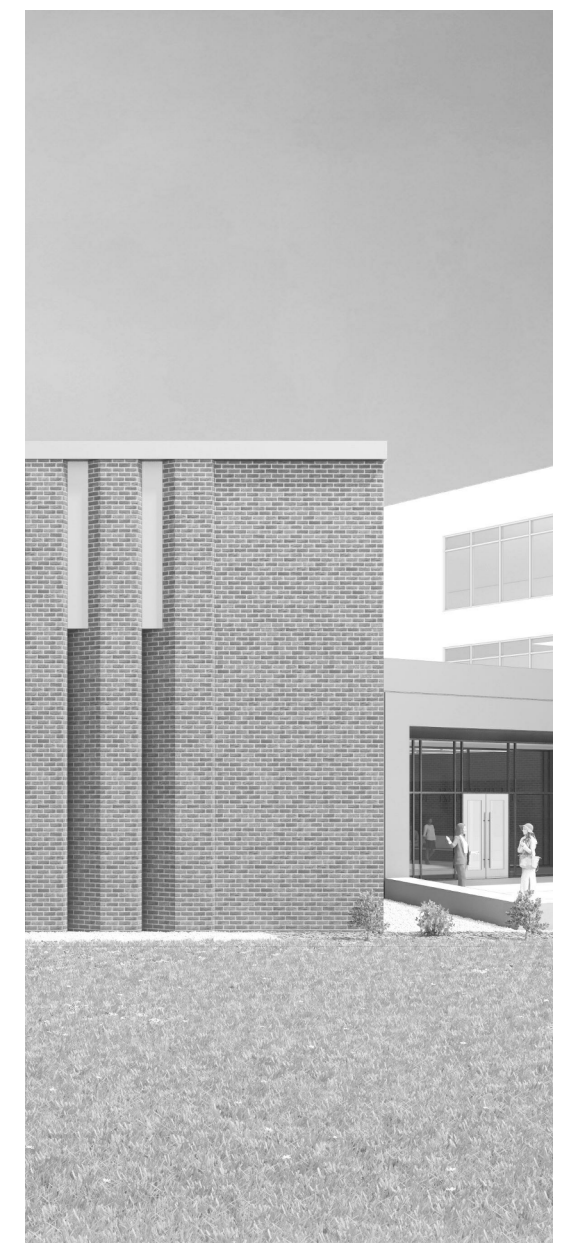
FIRE PARKING
P221 11,696 SF

POB PARKING
ADDITION P2
P220 10,713 SF

STAIR DR
S208 179 SF

PARKING LEVEL P2 C - FIRE PROTECTION
FP121.3 1/8" = 1'-0"

2/24/2021 4:58:34 PM



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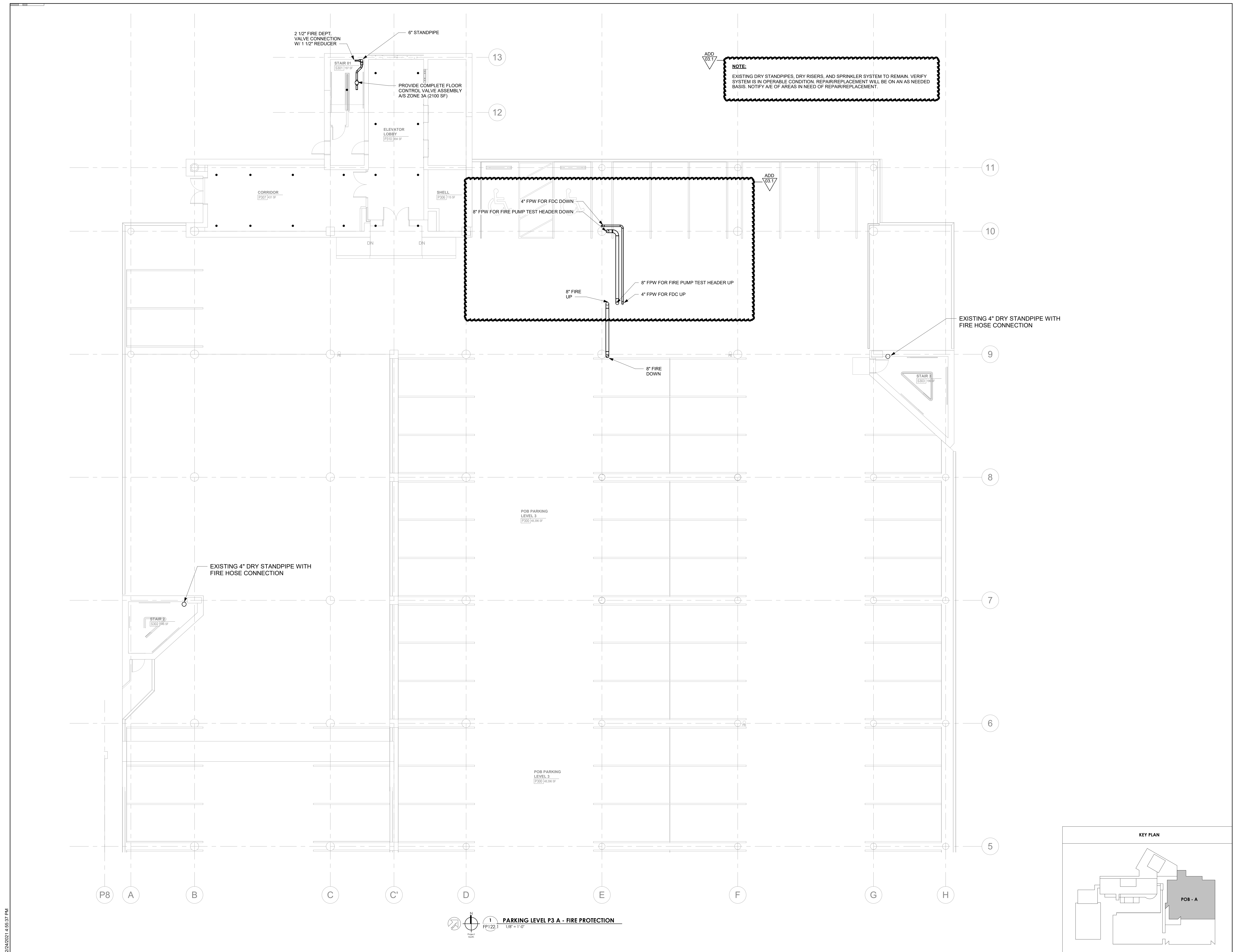
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PA	LAUREN BUSH /
Drawn By:	P. SUITE
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Drawing Info:

FP122.1

POB - PARKING LEVEL P3 A - FIRE PROTECTION



2/24/2021 4:58:37 PM



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PI:	DAVID COLLINS
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Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

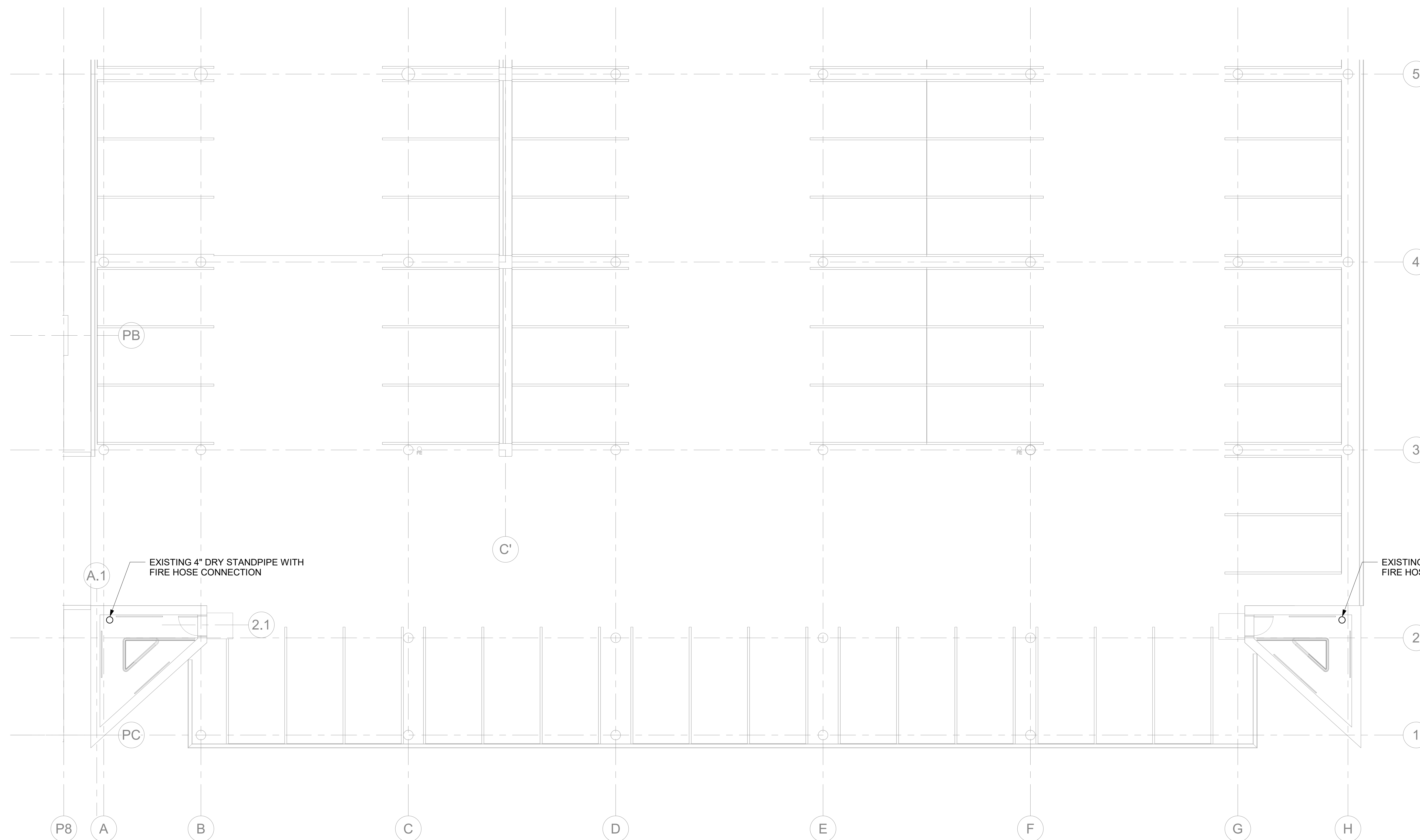
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POB - PARKING LEVEL
P3 B - FIRE
PROTECTION

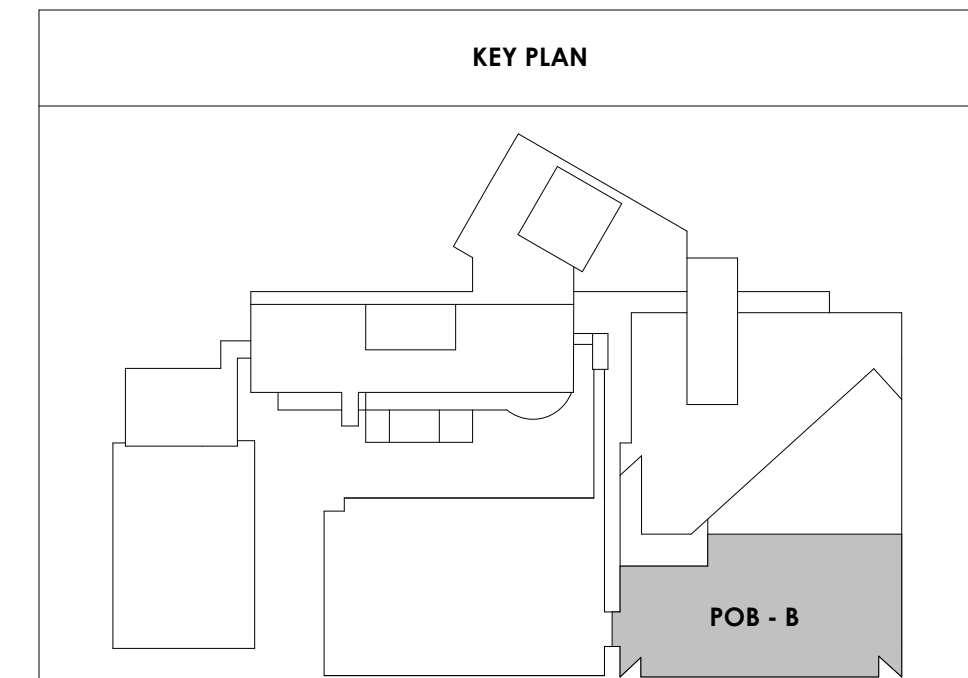
ADD
03.1

NOTE:

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1
FP122.2
1/8" = 1'-0"
PARKING LEVEL P3 B - FIRE PROTECTION





Project Information:

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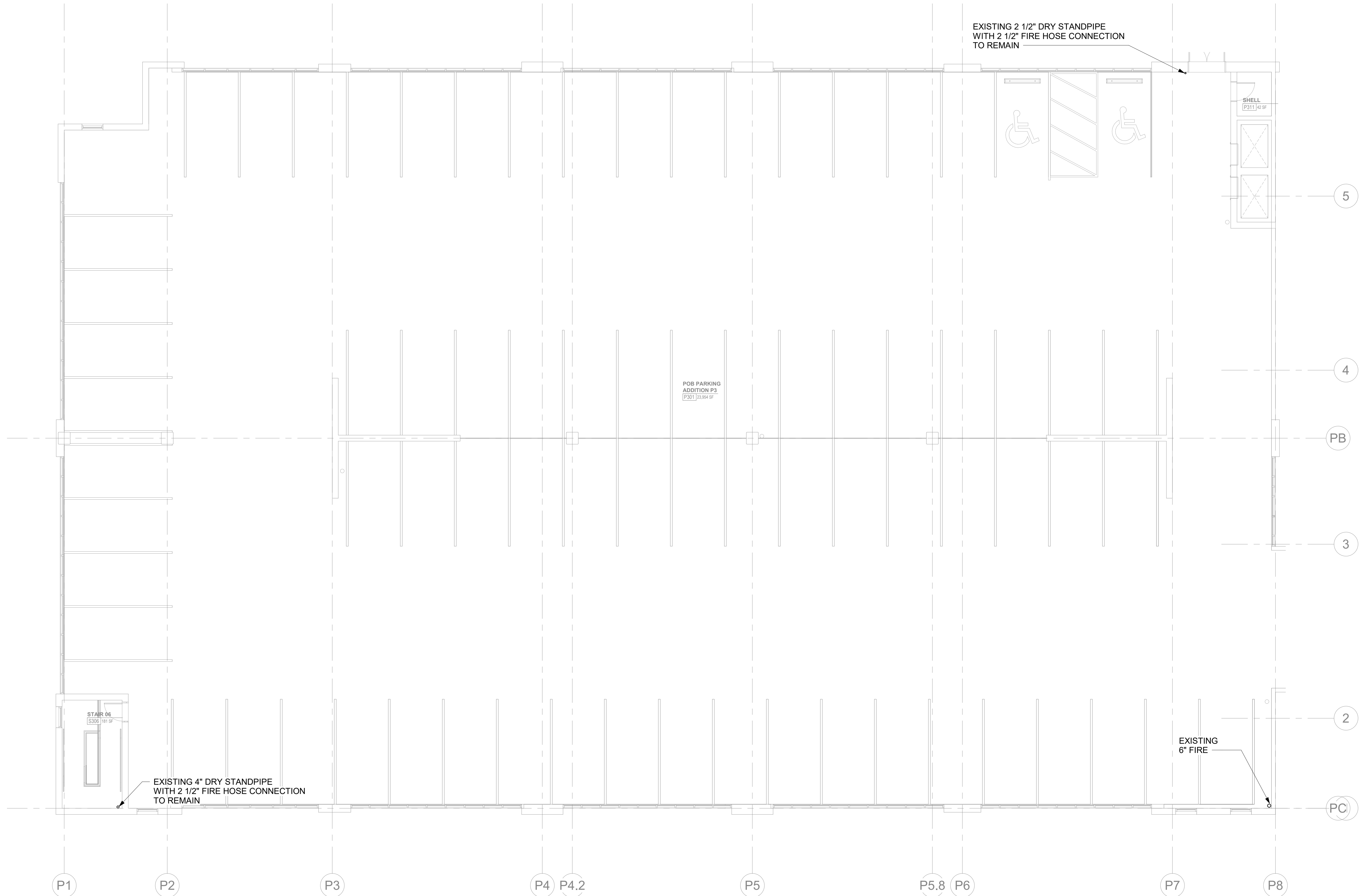
Drawing Info:

FP122.3

POB - PARKING LEVEL P3 C - FIRE PROTECTION

ADD 03.17

NOTE:
EXISTING DRY STANDPIPES, DRY RISERS, AND SPRINKLER SYSTEM TO REMAIN. VERIFY SYSTEM IS IN OPERABLE CONDITION. REPAIR/REPLACEMENT WILL BE ON AN AS NEEDED BASIS. NOTIFY A/E OF AREAS IN NEED OF REPAIR/REPLACEMENT.

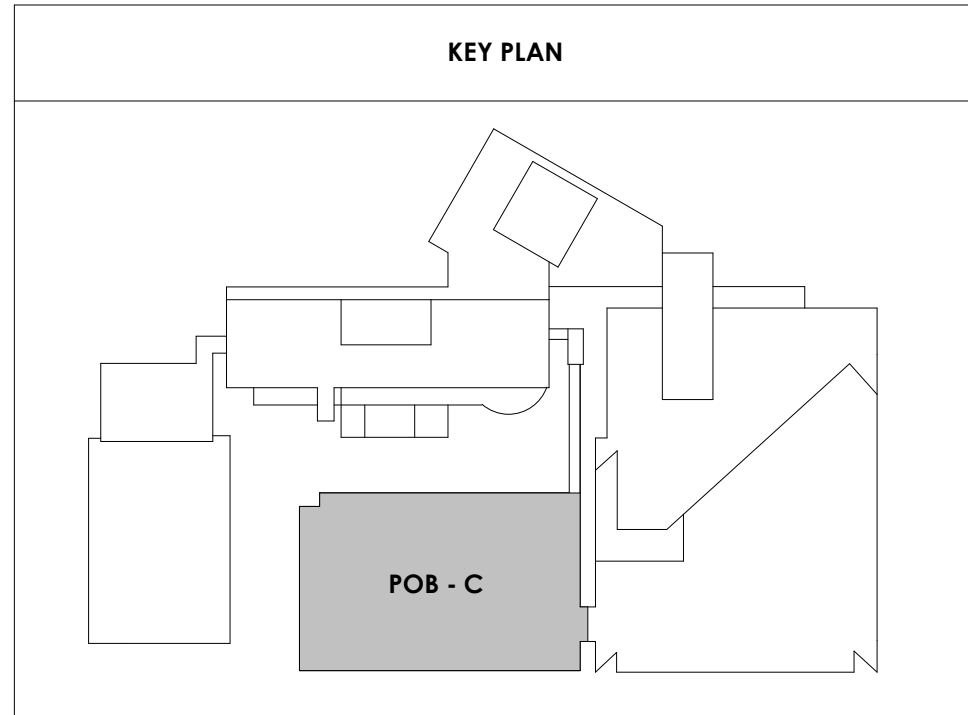


EXISTING 4" DRY STANDPIPE WITH 2 1/2" FIRE HOSE CONNECTION TO REMAIN

EXISTING 2 1/2" DRY STANDPIPE WITH 2 1/2" FIRE HOSE CONNECTION TO REMAIN

EXISTING 6" FIRE

1 **PARKING LEVEL P3 C - FIRE PROTECTION**
FP122.3 1/8" = 1'-0"





Project Information:

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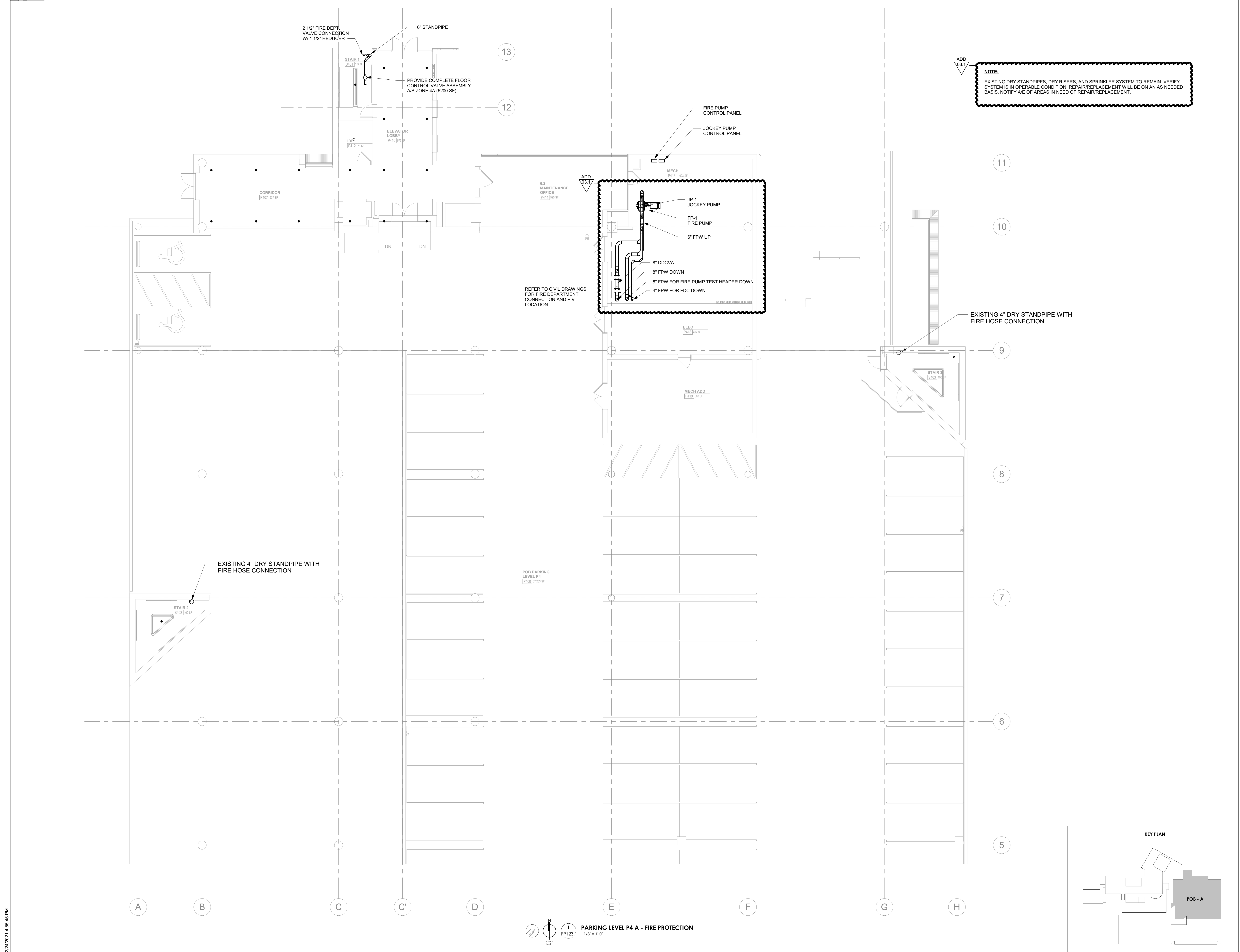
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PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

FP123.1

POB - PARKING LEVEL P4 A - FIRE PROTECTION



2/24/2021 4:55:46 PM

1
FP123.1
1/8" = 1'-0"
PARKING LEVEL P4 A - FIRE PROTECTION



Project Information:

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Seal:



Consultant:



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PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

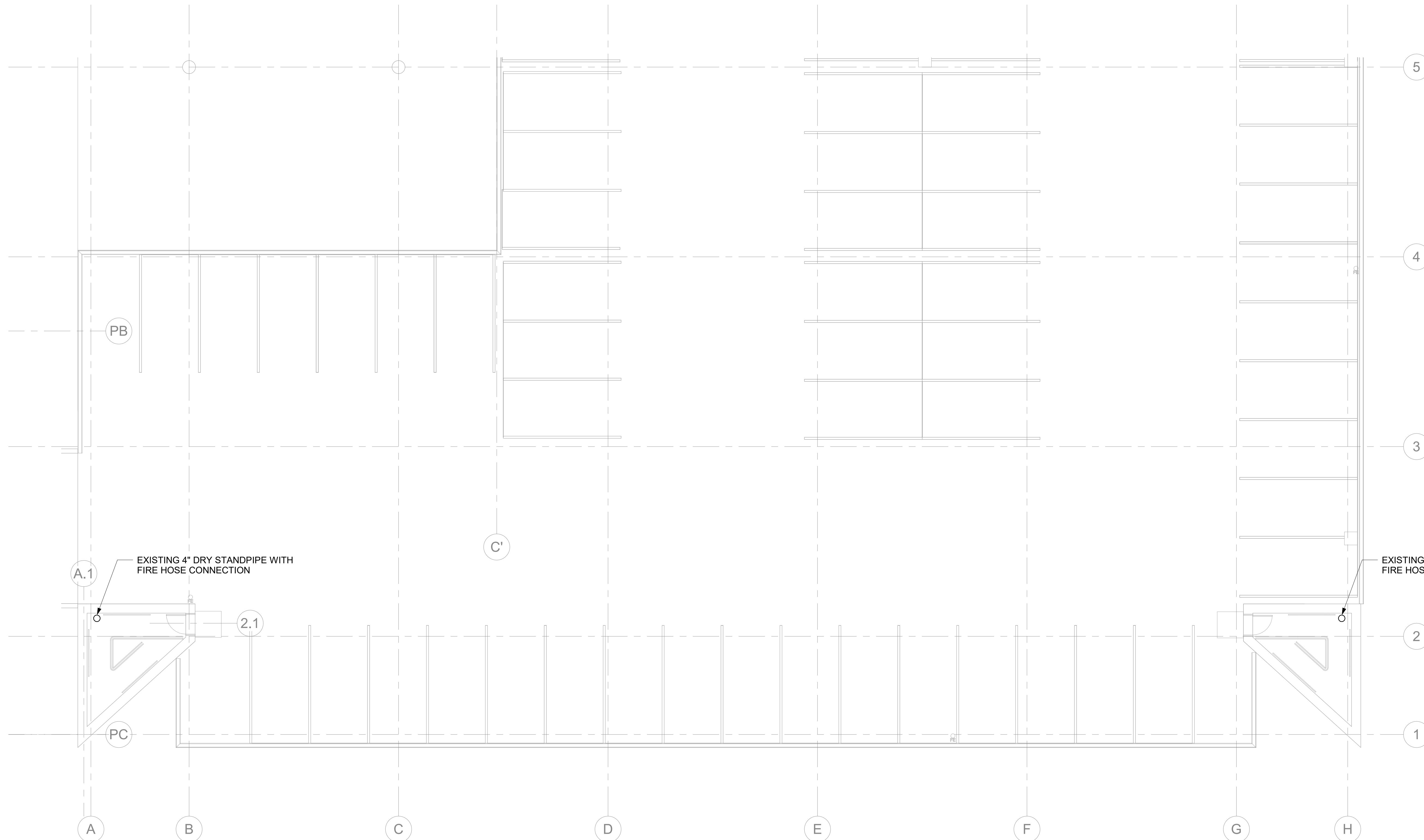
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FP123.2

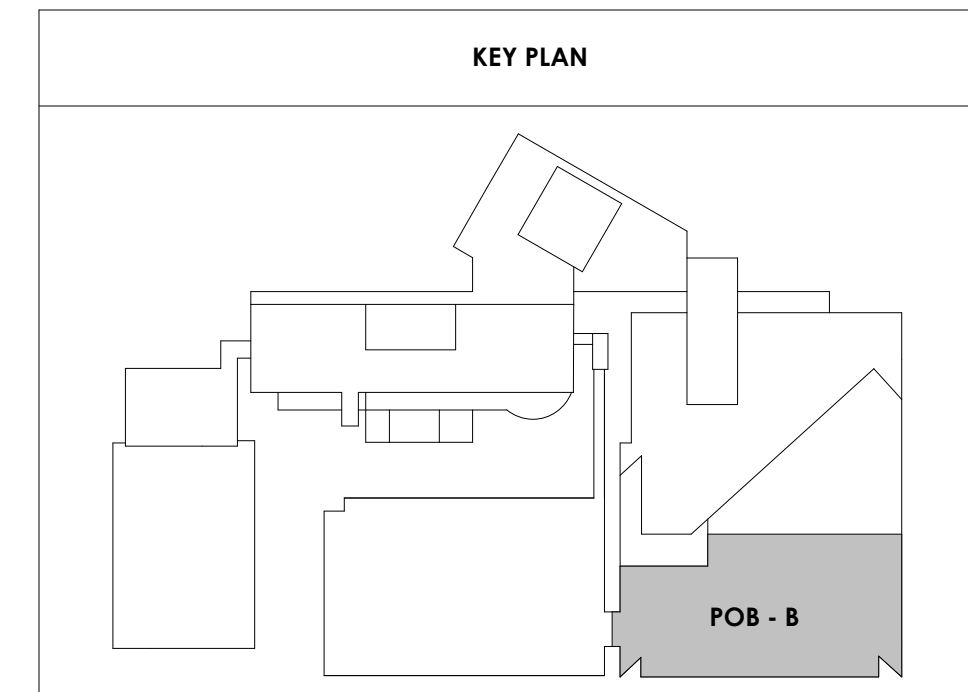
POB - PARKING LEVEL
P4 B - FIRE
PROTECTION

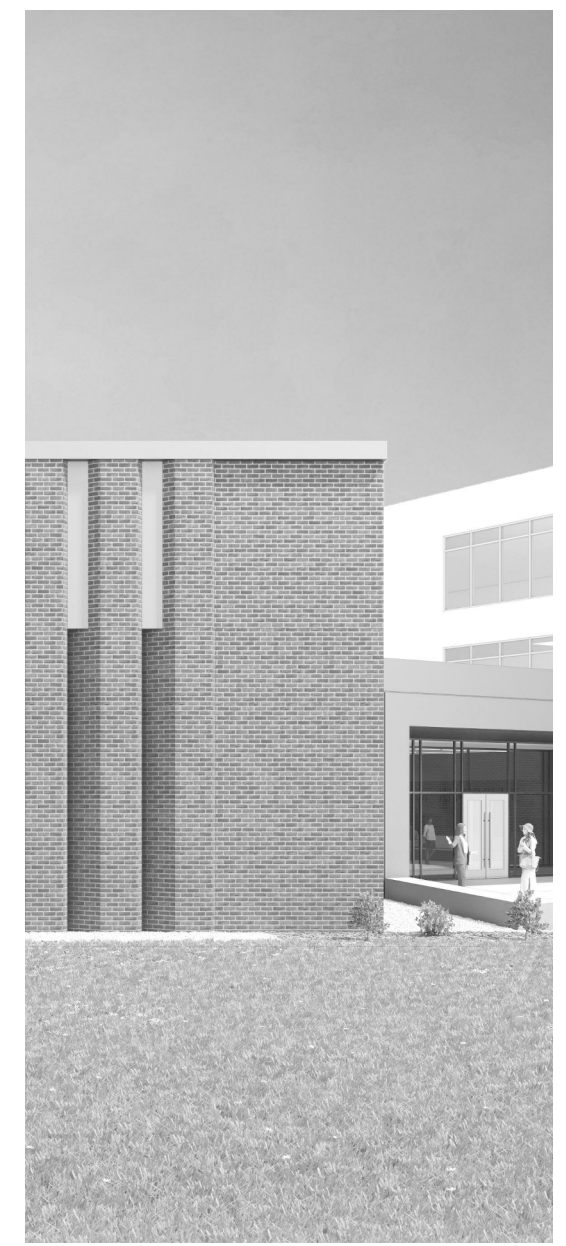
ADD
03.7

NOTE:
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1 PARKING LEVEL P4 B - FIRE PROTECTION
FP123.2 1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



I.C. THOMASSON ASSOCIATES, INC.
1114 CLINCH AVENUE, SUITE 200
KNOXVILLE, TENNESSEE 37916
PHONE (865) 525-3488
FAX (865) 525-4471
www.ictthomason.com

#	ISSUE	DATE

Issue Date: AUGUST 28, 2020
PIC DAVID COLLINS
PM JOHN THURMAN
PA LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

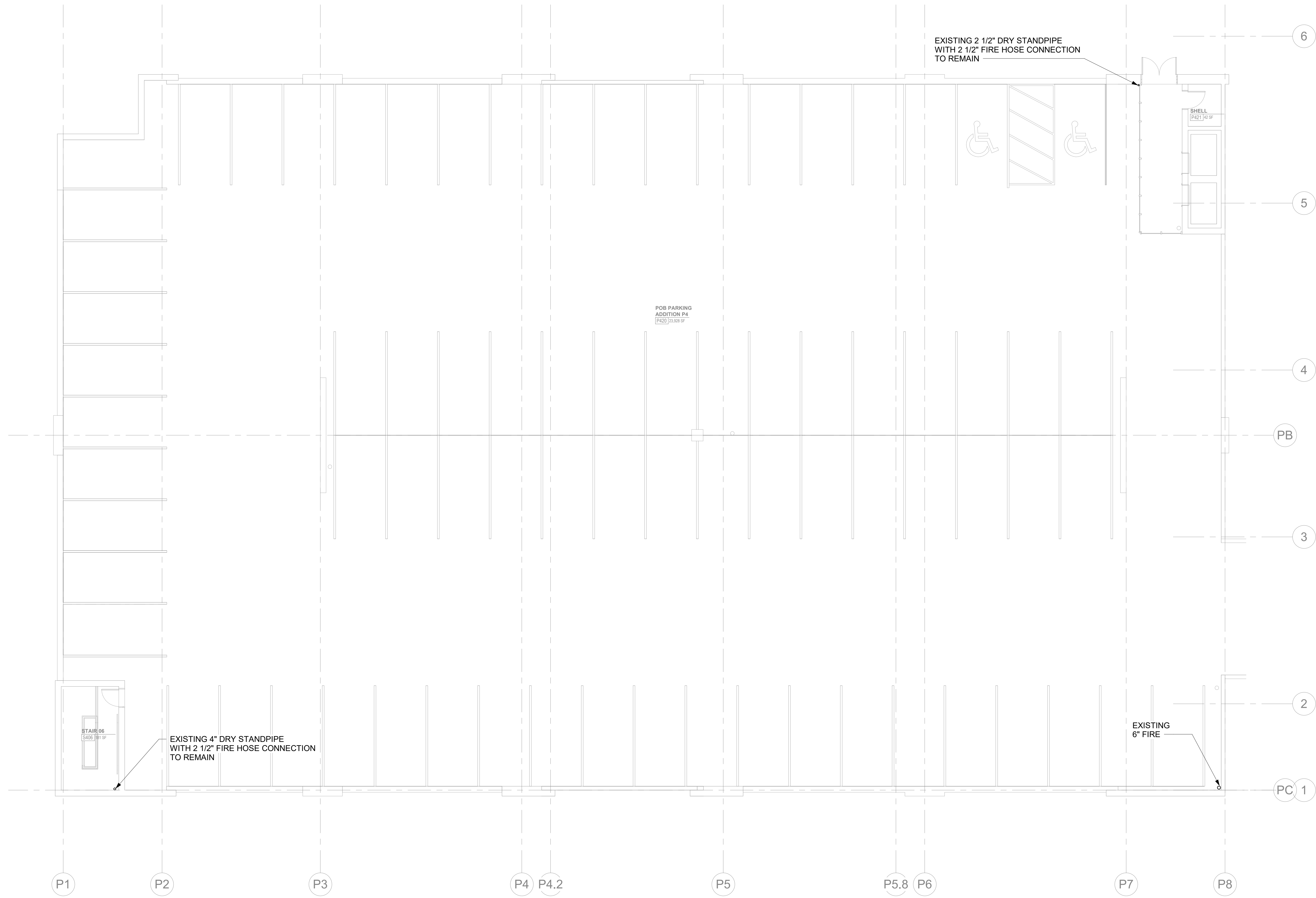
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FP123.3

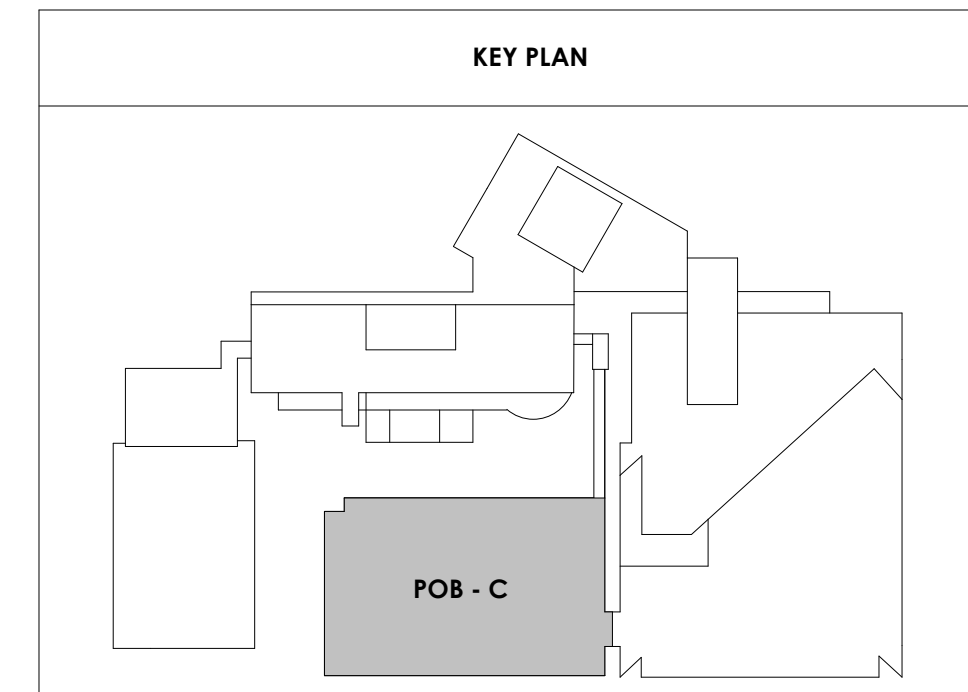
POB - PARKING LEVEL
P4 C - FIRE
PROTECTION

ADD
V3.7

NOTE:
EXISTING DRY STANDPIPES, DRY RISERS, AND SPRINKLER SYSTEM TO REMAIN. VERIFY SYSTEM IS IN OPERABLE CONDITION. REPAIR/REPLACEMENT WILL BE ON AN AS NEEDED BASIS. NOTIFY A/E OF AREAS IN NEED OF REPAIR/REPLACEMENT.



PARKING LEVEL P4 C - FIRE PROTECTION
1
FP123.3
1/8" = 1'-0"





Project Information:

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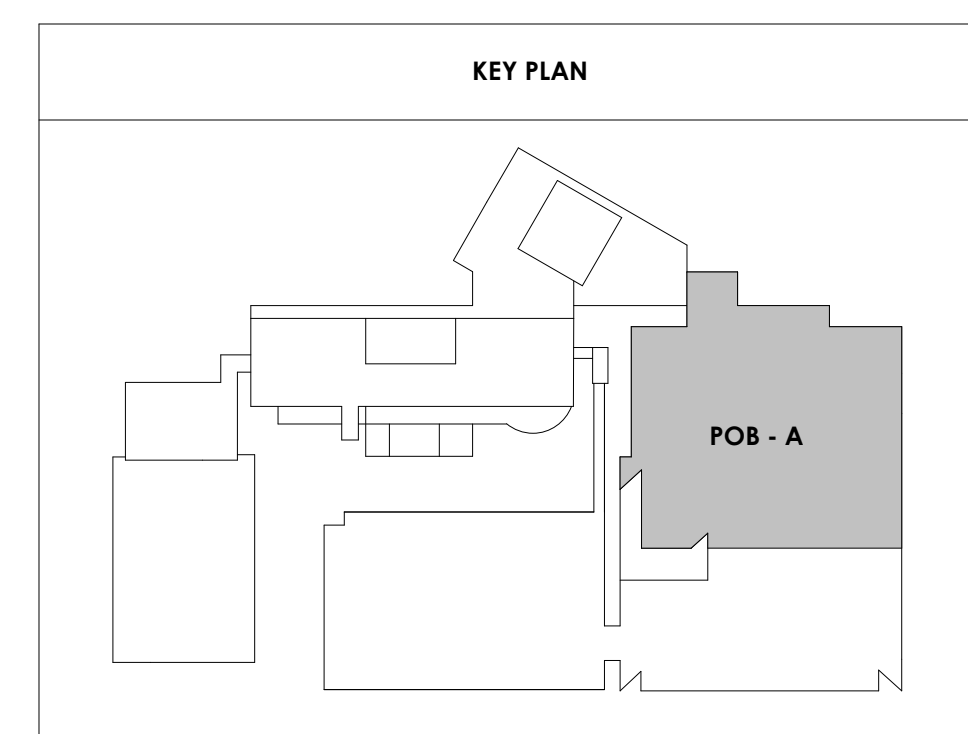
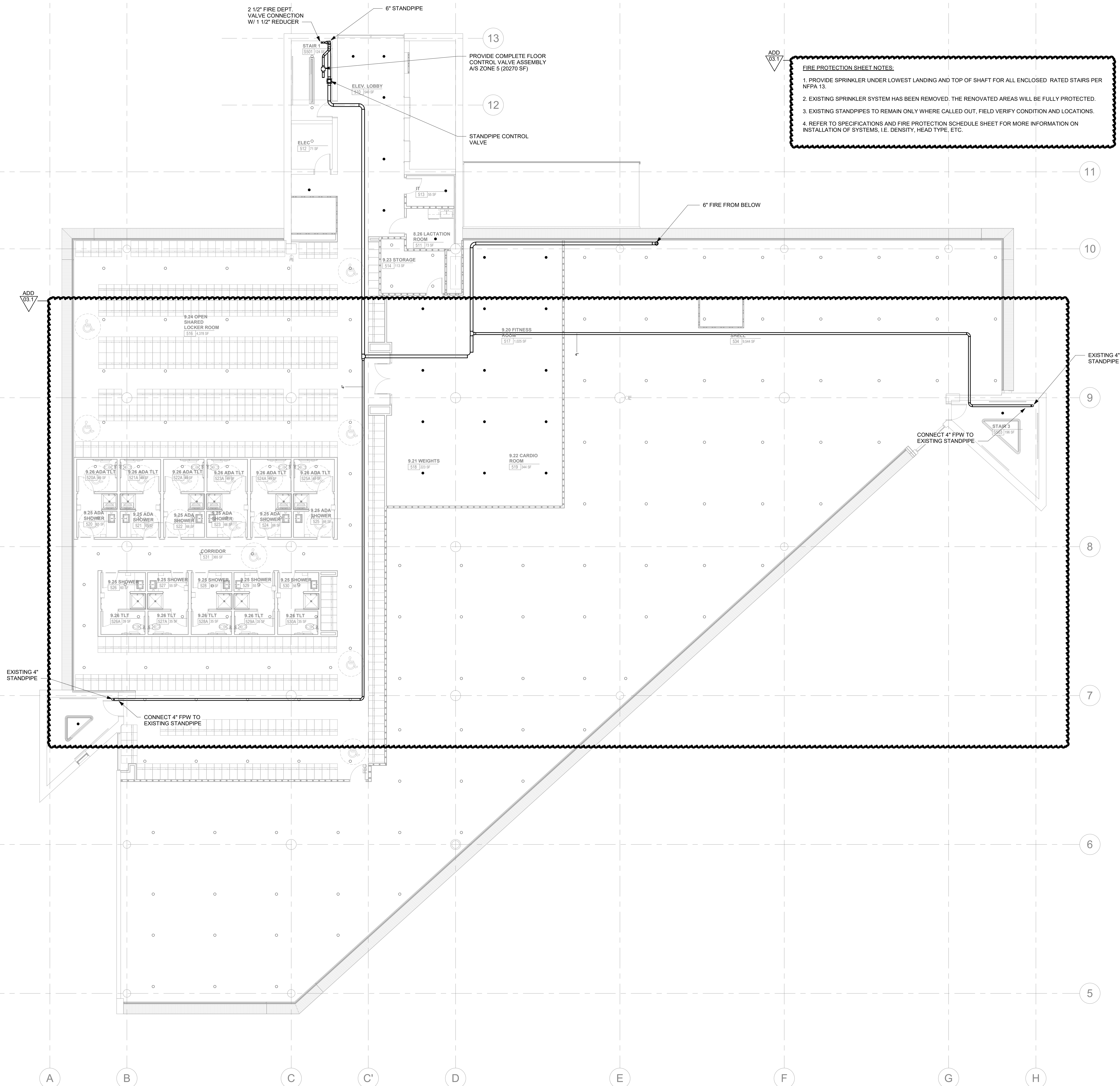
#	ISSUE	DATE
ADD 03.1		02/24/21

Issue Date:	AUGUST 28, 2020
PK:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

FP124

POB - OFFICE LEVEL 5 FLOOR PLAN - FIRE PROTECTION



OFFICE LEVEL 5 FLOOR PLAN - FIRE PROTECTION
1/28" = 1'-0"



Project Information:

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COK SAFETY BUILDING

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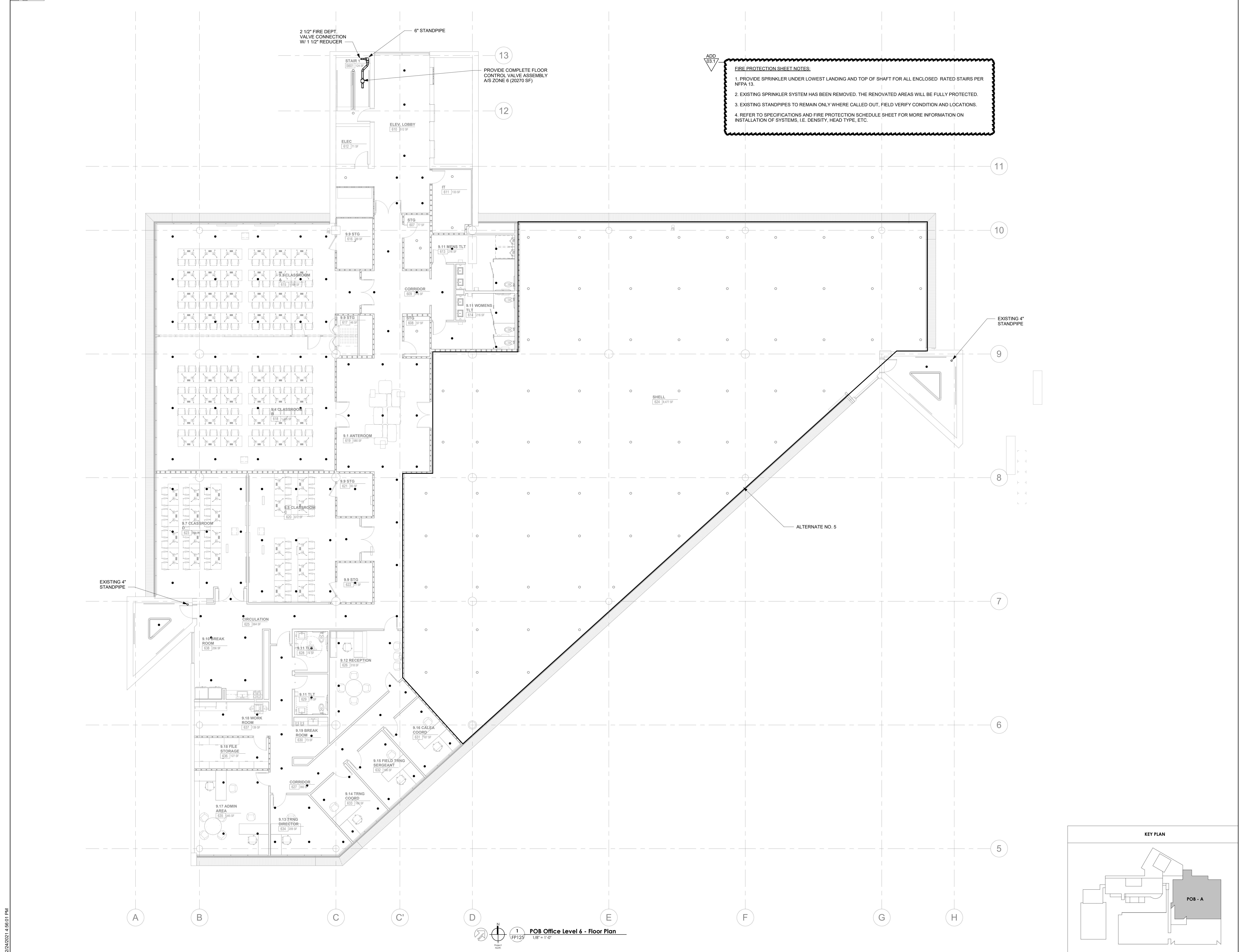
#	ISSUE	DATE

Issue Date:	AUGUST 28, 2020
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

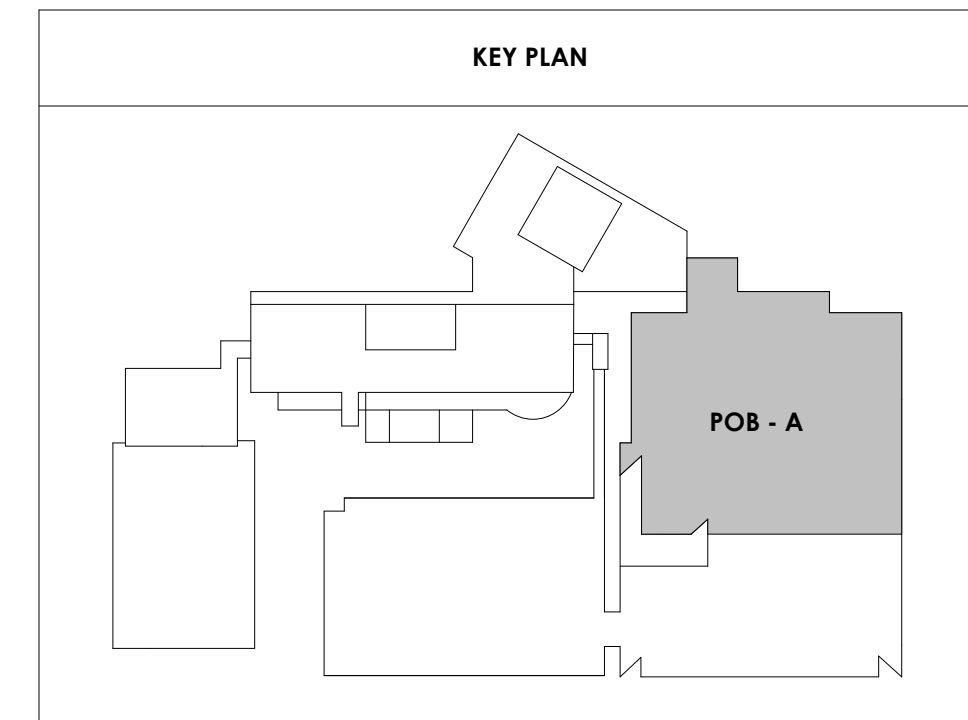
FP125

POB - OFFICE LEVEL 6
FLOOR PLAN - FIRE
PROTECTION



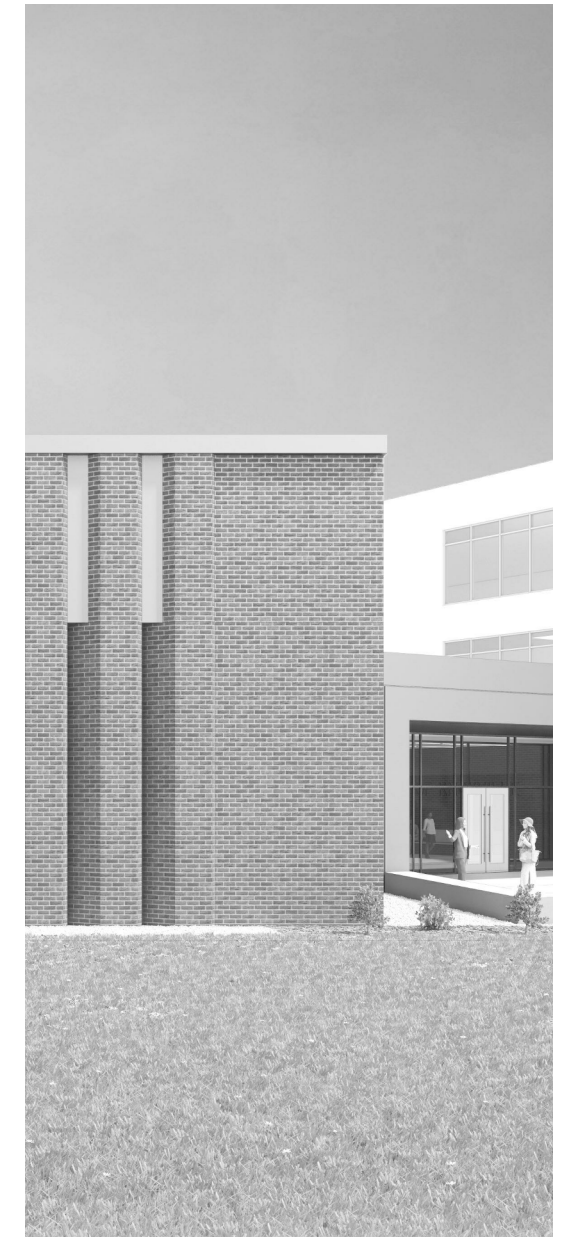
FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
3. EXISTING STANDPIPES TO REMAIN ONLY WHERE CALLED OUT, FIELD VERIFY CONDITION AND LOCATIONS.
4. REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS, I.E. DENSITY, HEAD TYPE, ETC.



2/24/2021 4:56:01 PM

POB Office Level 6 - Floor Plan
1/8" = 1'-0"



Project Information:

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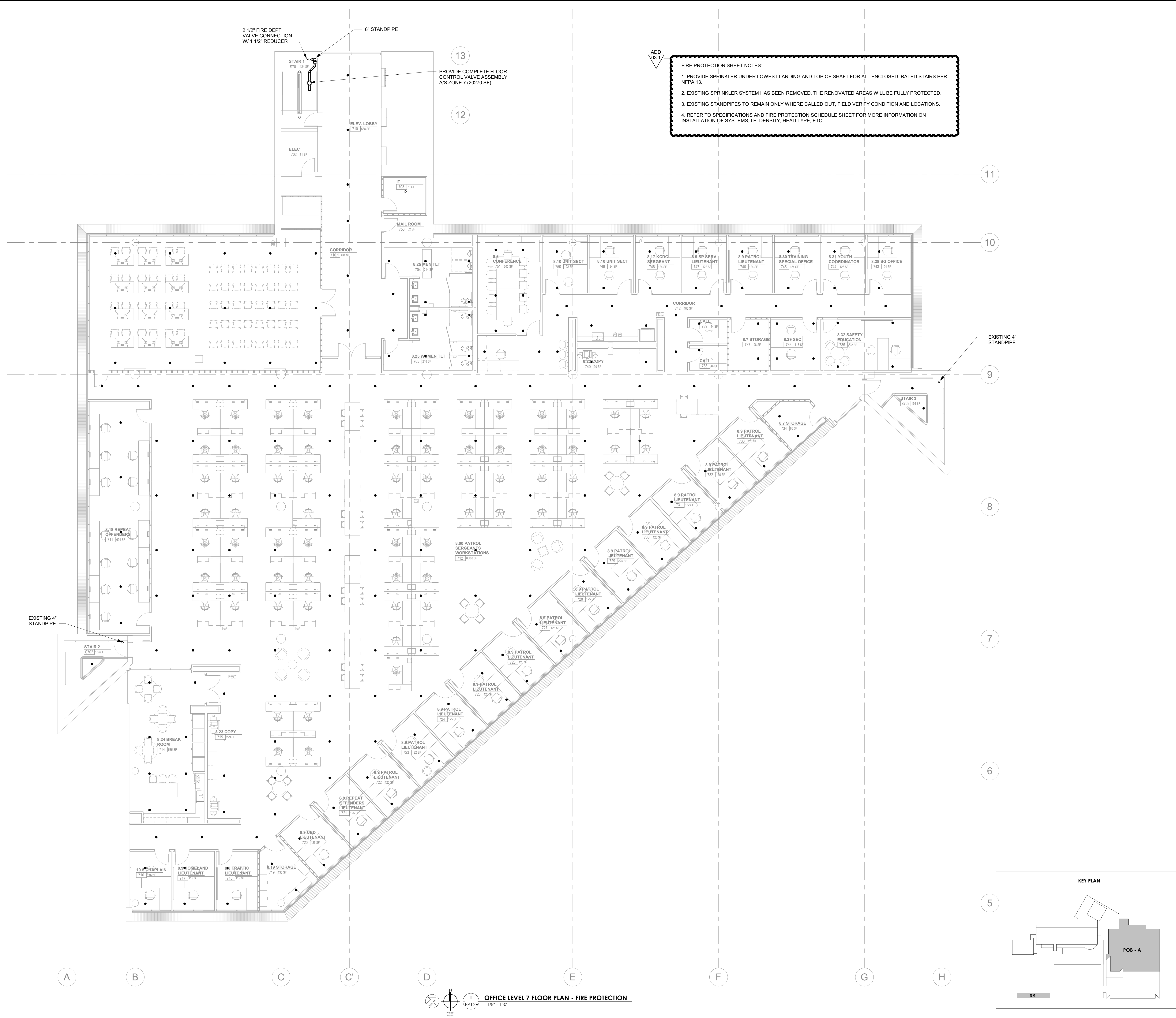
#	ISSUE	DATE
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Issue Date:	AUGUST 28, 2020
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:	
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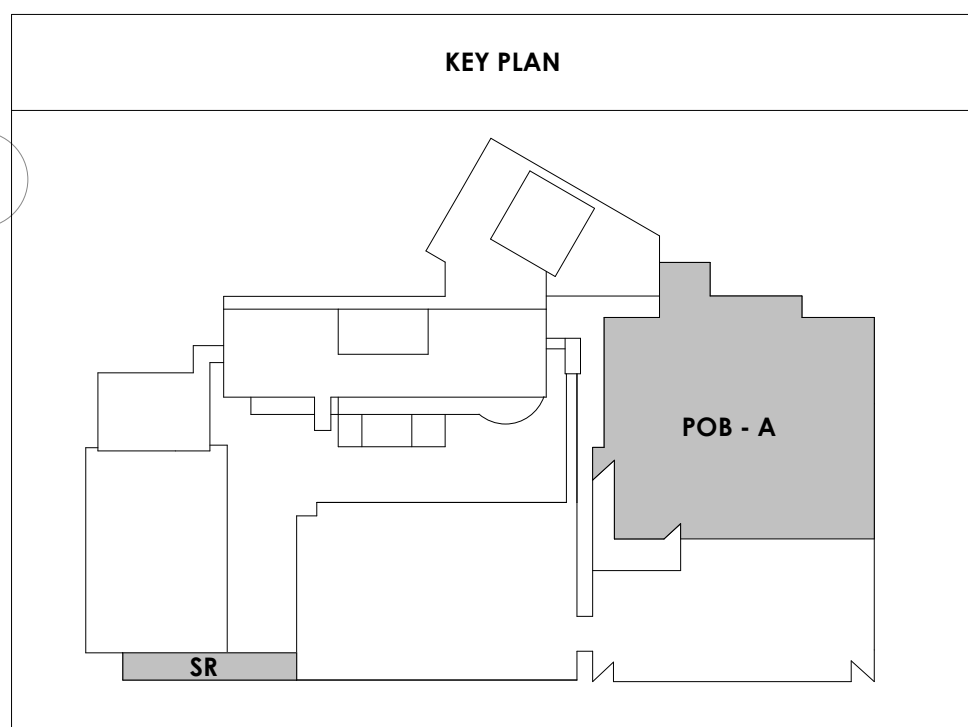
FP126

POB - OFFICE LEVEL 7 FLOOR PLAN - FIRE PROTECTION



FIRE PROTECTION SHEET NOTES:

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
3. EXISTING STANDPIPES TO REMAIN ONLY WHERE CALLED OUT. FIELD VERIFY CONDITION AND LOCATIONS.
4. REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS, I.E. DENSITY, HEAD TYPE, ETC.





Project Information:

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www.ictthomasson.com

ISSUE DATE

Issue Date: AUGUST 28, 2020

PIC: DAVID COLLINS

PM: JOHN THURMAN

PA: LAUREN BUSH /

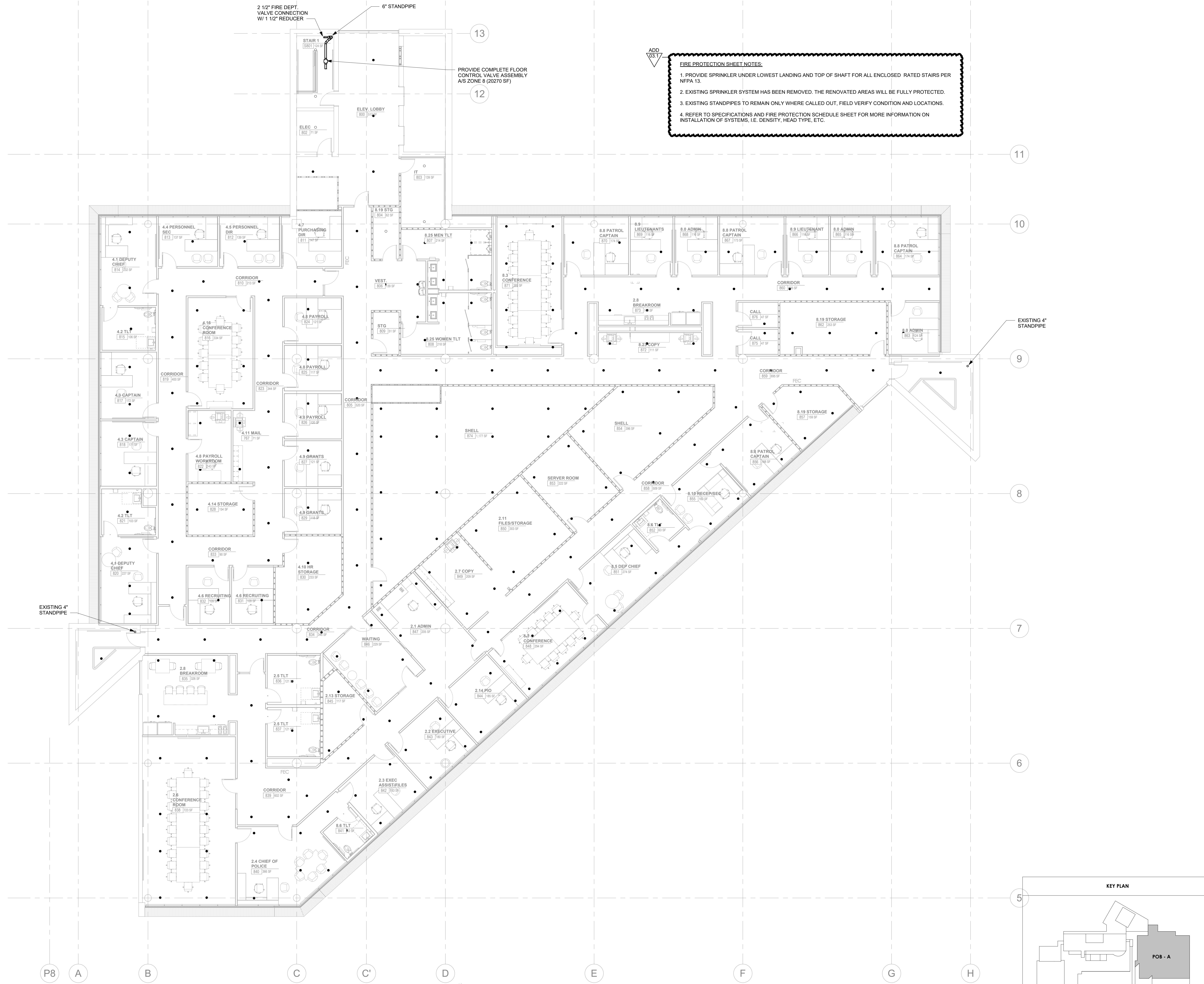
Drawn By: P. SUITE

Checked By: P. MCCOWN

Drawing Info:

FP127

POB - OFFICE LEVEL 8
FLOOR PLAN - FIRE
PROTECTION



ADD
TEXT

FIRE PROTECTION SHEET NOTES.

1. PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
2. EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
3. EXISTING STANDPIPES TO REMAIN ONLY WHERE CALLED OUT. FIELD VERIFY CONDITION AND LOCATIONS.
4. REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS, I.E. DENSITY, HEAD TYPE, ETC.

P8

A

B

C

C'

D

E

F

G

H

13

12

11

10

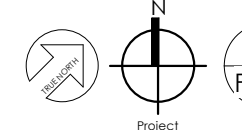
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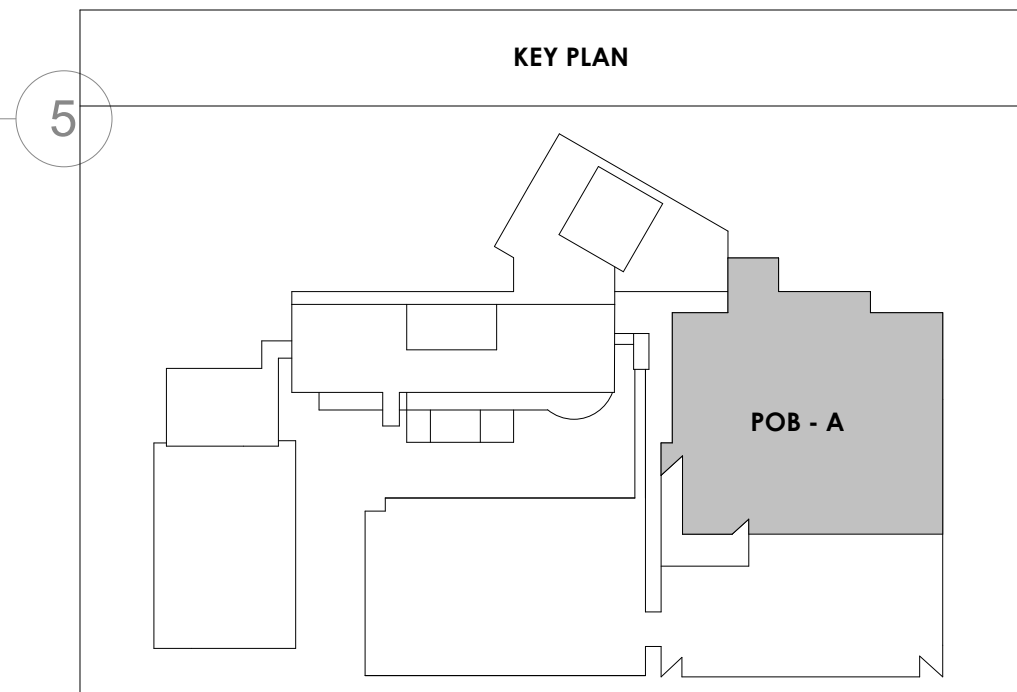
7

6

5



OFFICE LEVEL 8 FLOOR PLAN - FIRE PROTECTION
1/8" = 1'-0"





Project Information:

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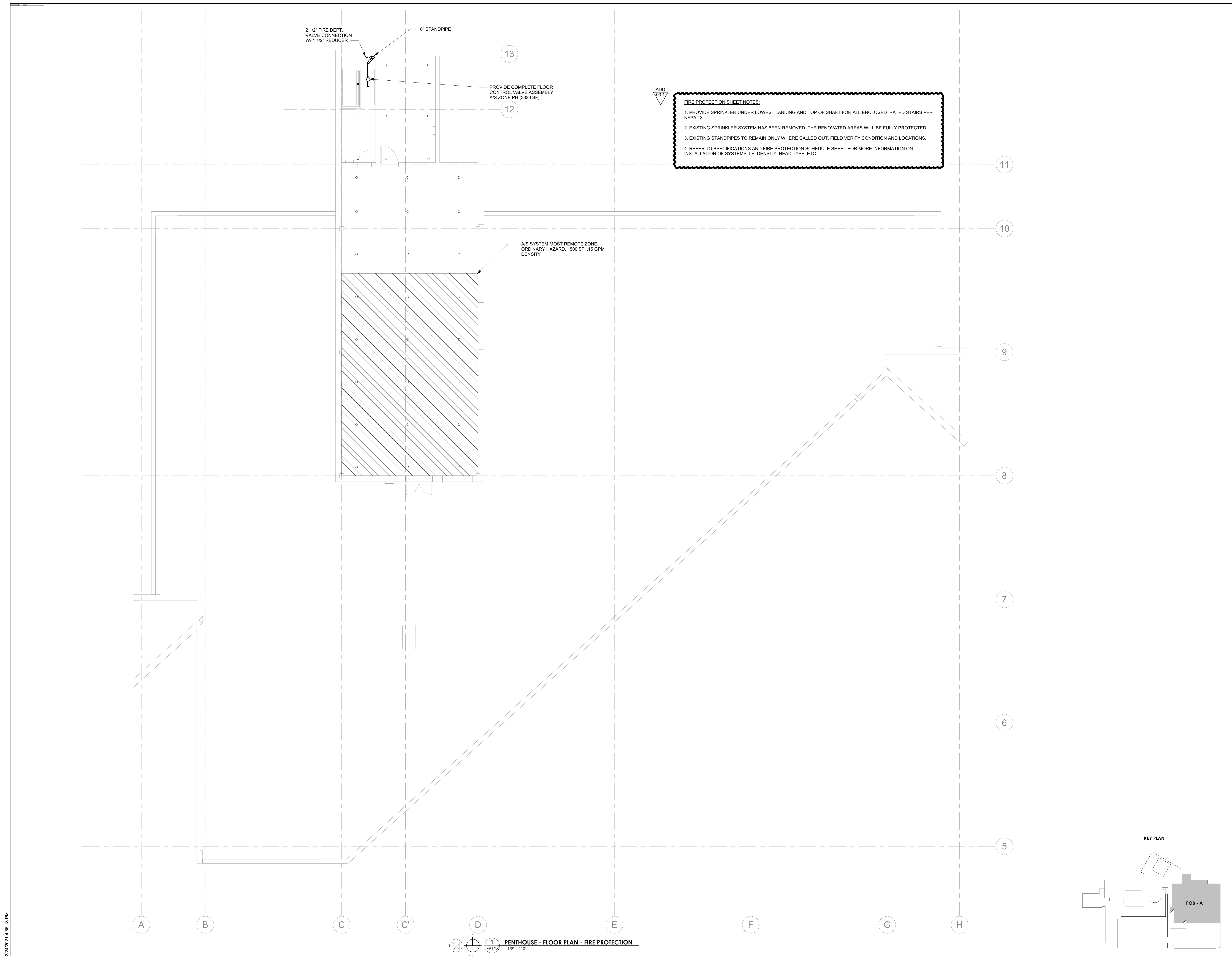
#	ISSUE	DATE

Issue Date: AUGUST 28, 2020
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

FP128

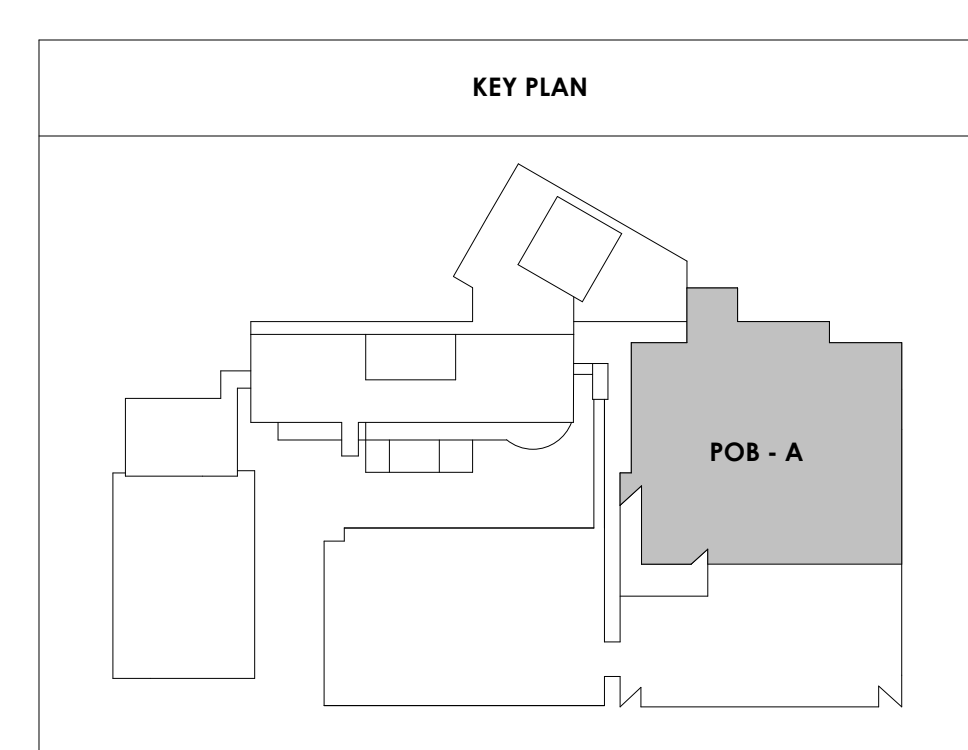
POB - PENTHOUSE - FIRE PROTECTION



FIRE PROTECTION SHEET NOTES:

- PROVIDE SPRINKLER UNDER LOWEST LANDING AND TOP OF SHAFT FOR ALL ENCLOSED RATED STAIRS PER NFPA 13.
- EXISTING SPRINKLER SYSTEM HAS BEEN REMOVED. THE RENOVATED AREAS WILL BE FULLY PROTECTED.
- EXISTING STANDPIPES TO REMAIN ONLY WHERE CALLED OUT. FIELD VERIFY CONDITION AND LOCATIONS.
- REFER TO SPECIFICATIONS AND FIRE PROTECTION SCHEDULE SHEET FOR MORE INFORMATION ON INSTALLATION OF SYSTEMS, I.E. DENSITY, HEAD TYPE, ETC.

PENTHOUSE - FLOOR PLAN - FIRE PROTECTION
1/8" = 1'-0"
FP128

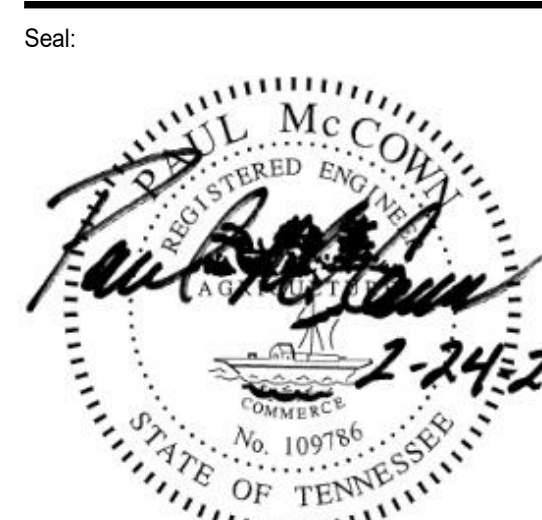


2/24/2021 4:58:18 PM



Project Information:
19018

COK SAFETY BUILDING
900 East Oak Hill Ave, Knoxville, TN



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#	ISSUE	DATE
	ADD 02.1	02/17/21

Issue Date: FEBRUARY 1, 2021

PIC: DAVID COLLINS

PM: JOHN THURMAN

PA: LAUREN BUSH /

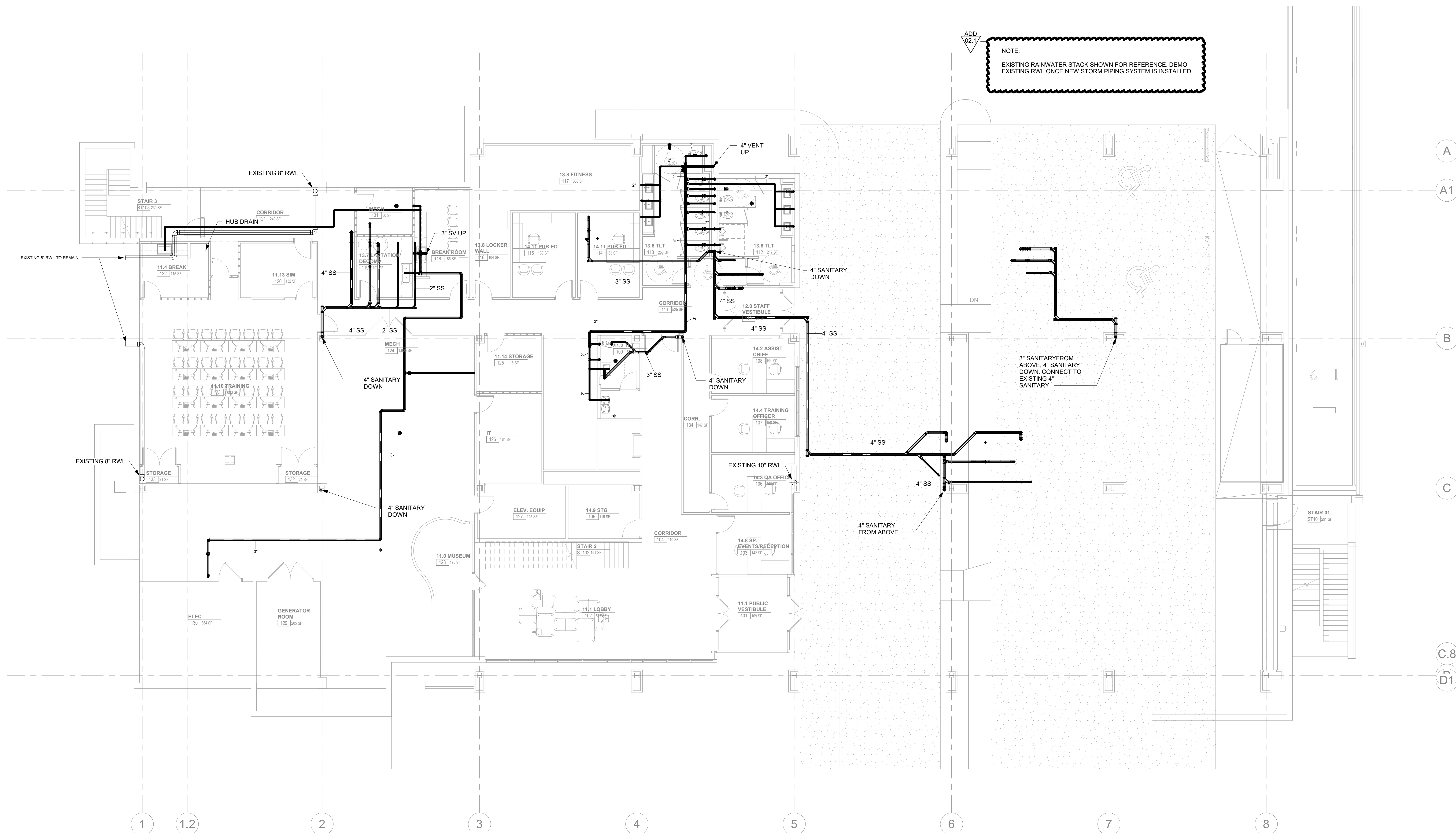
Drawn By: P. SUITE

Checked By: P. MCCOWN

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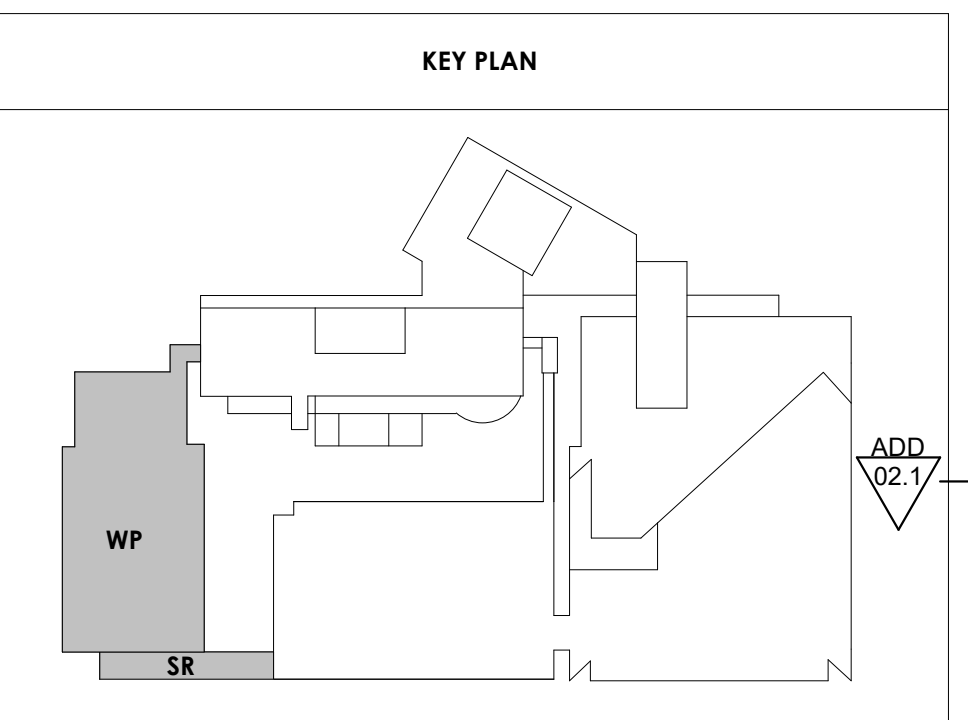
P201

WP - FIRST LEVEL
FLOOR PLAN -
SANITARY

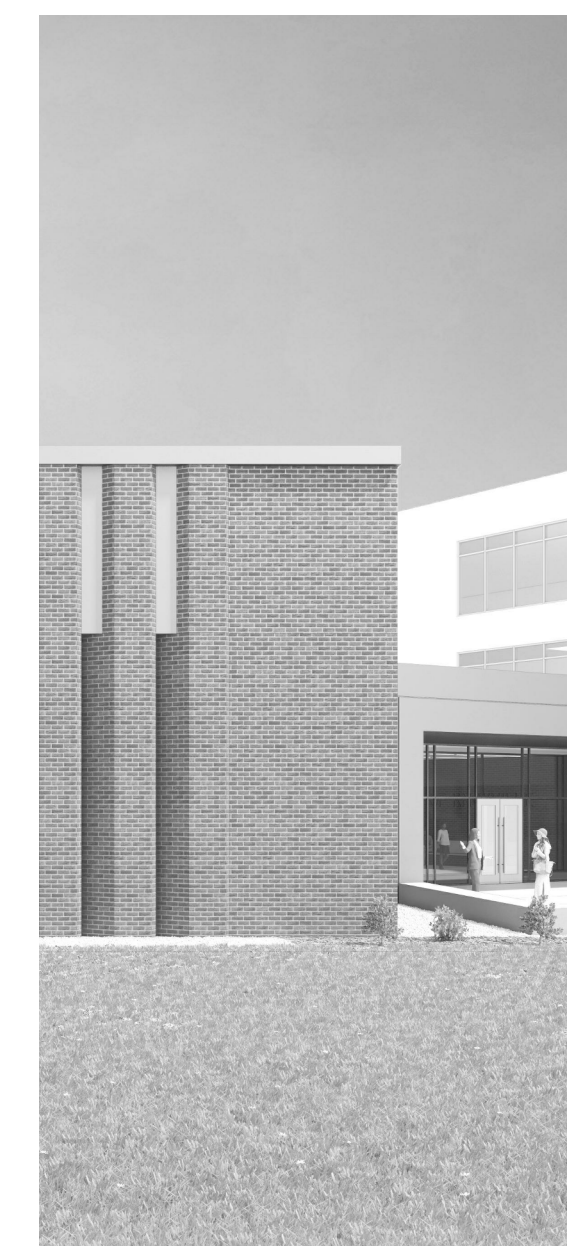


NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

1
P201 **ALTERNATE 1B - WOMEN'S PAVILION LEVEL 1 - FLOOR PLAN - SANITARY**
1/8" = 1'-0"



2/24/2021 5:06:56 PM



Project Information:

19018

**COK SAFETY
BUILDING**

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



**I.C. THOMASSON
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#	ISSUE	DATE
ADD 02.1		02/17/21

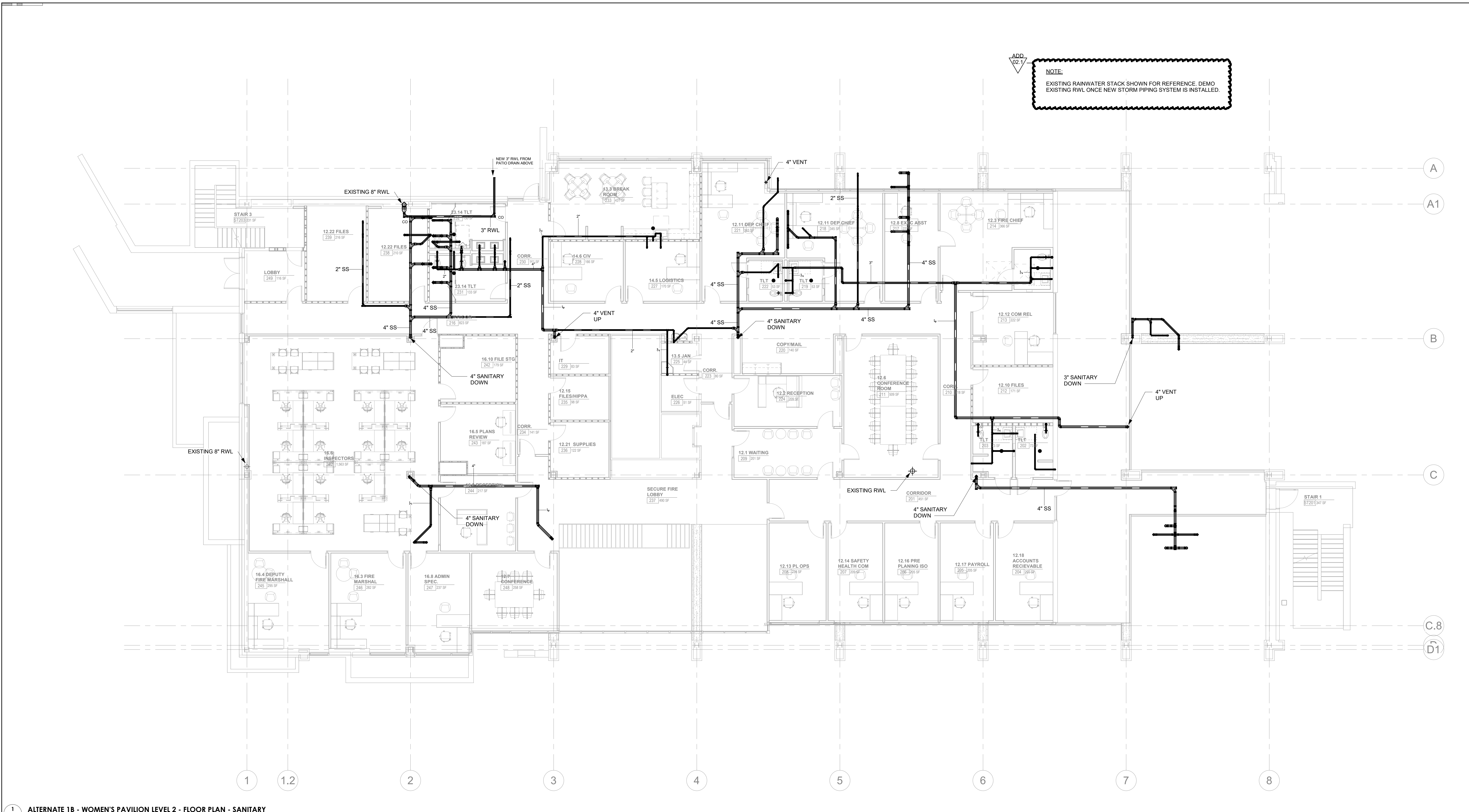
Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

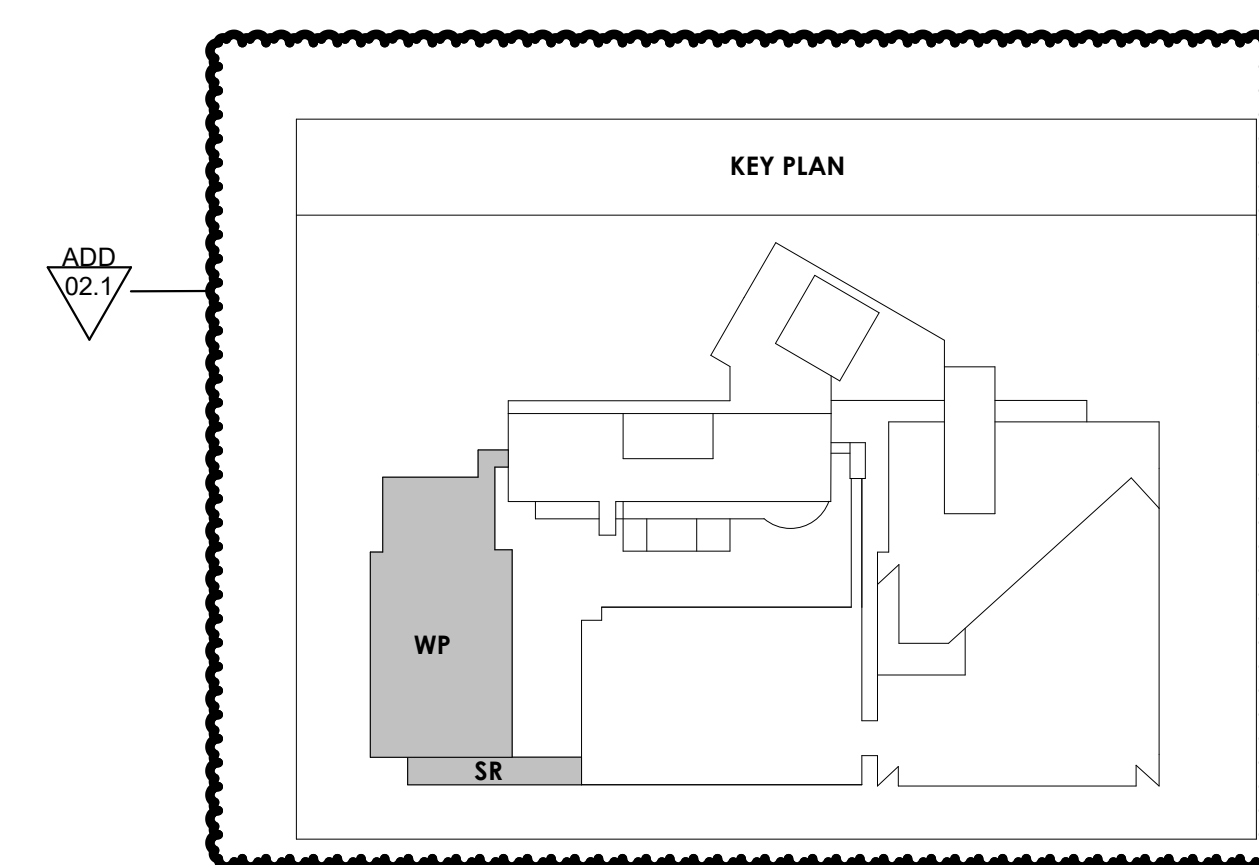
P202

WP - SECOND LEVEL
FLOOR PLAN -
SANITARY

ADD 02.1
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



1 ALTERNATE 1B - WOMEN'S PAVILION LEVEL 2 - FLOOR PLAN - SANITARY
1/8" = 1'-0"



2/24/2021 5:08:01 PM



Project Information:
19018

COK SAFETY BUILDING
900 East Oak Hill Ave, Knoxville, TN

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#	ISSUE	DATE
ADD 02.1		02/17/21

Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

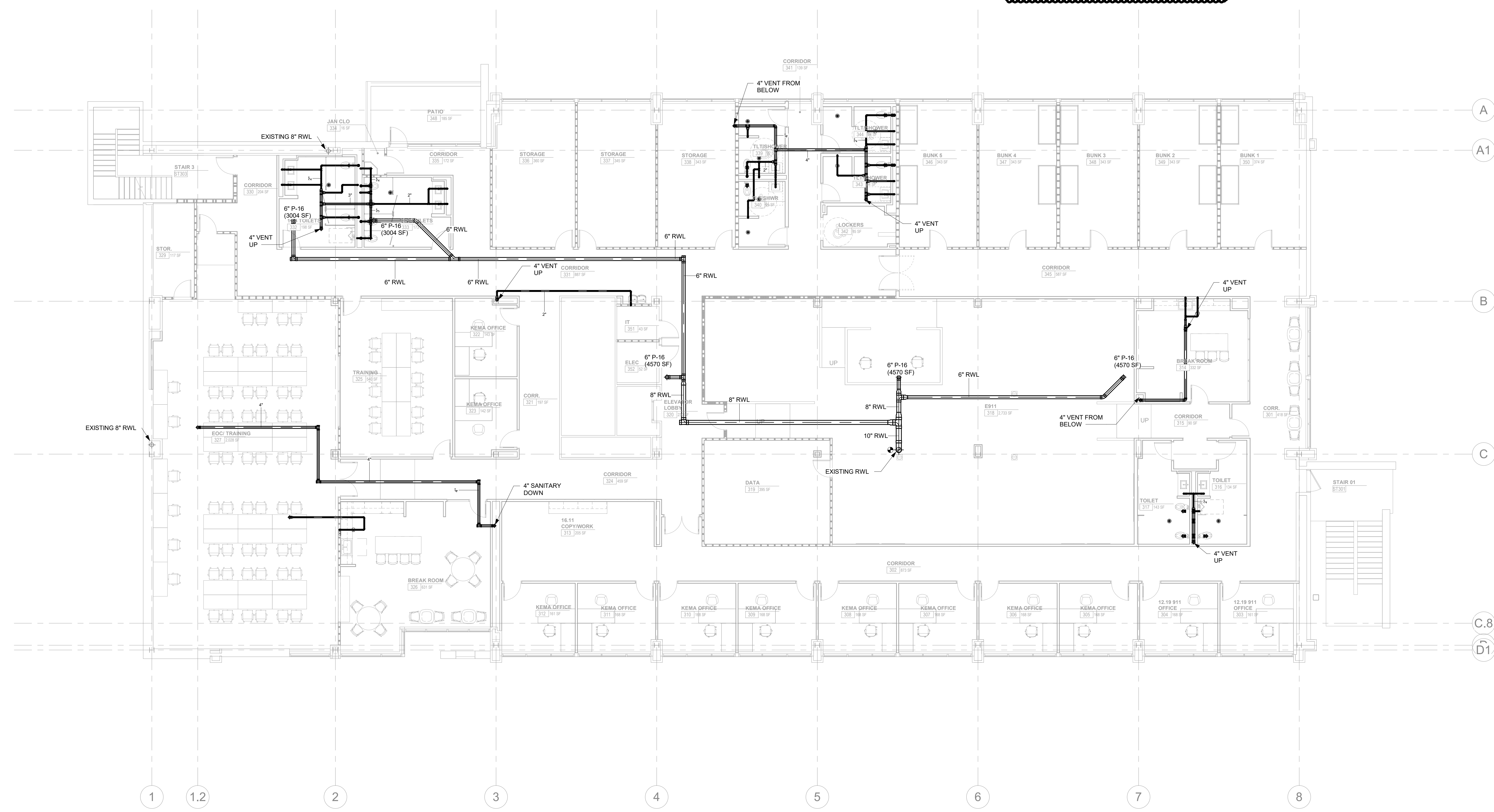
Drawing Info:

P203

WP - THIRD LEVEL
FLOOR PLAN -
SANITARY

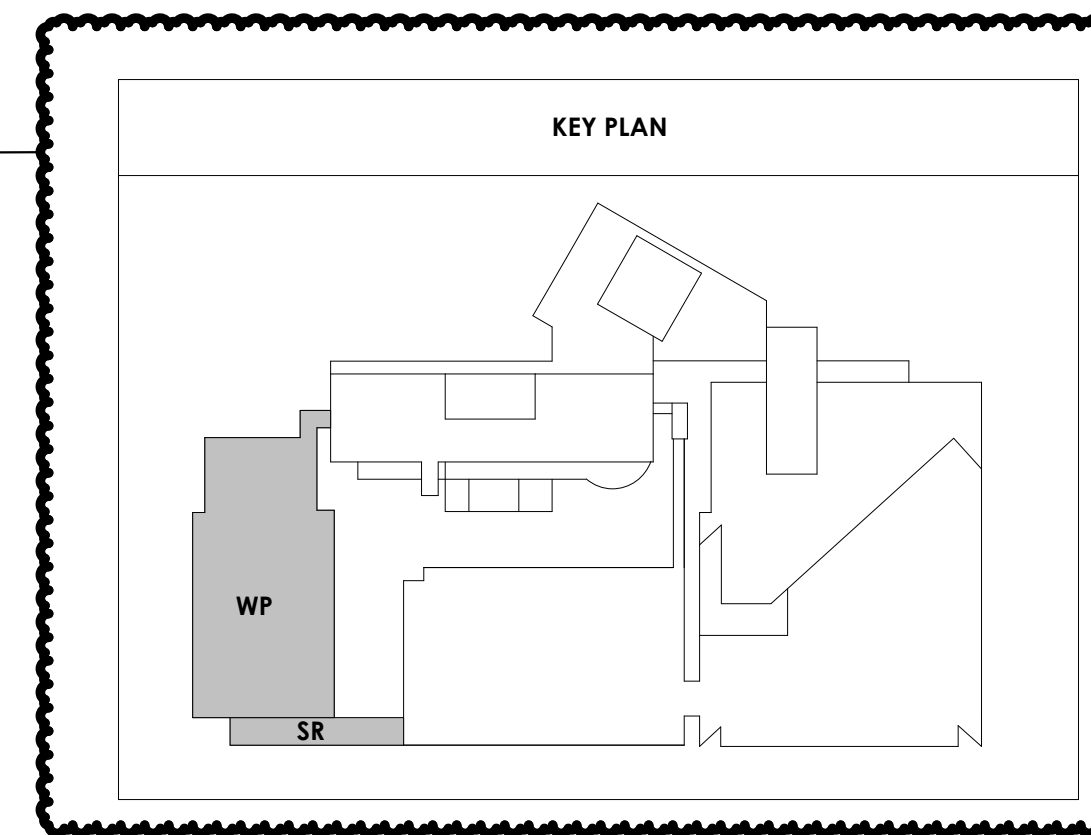
ADD 02.1

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE DEMO.
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



1 ALTERNATE 1B - WOMEN'S PAVILION LEVEL 3 - FLOOR PLAN - SANITARY
P203 1/8" = 1'-0"

ADD 02.1





Project Information:
19018

COK SAFETY BUILDING
900 East Oak Hill Ave, Knoxville, TN



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#	ISSUE	DATE
ADD 02.1		02/17/21

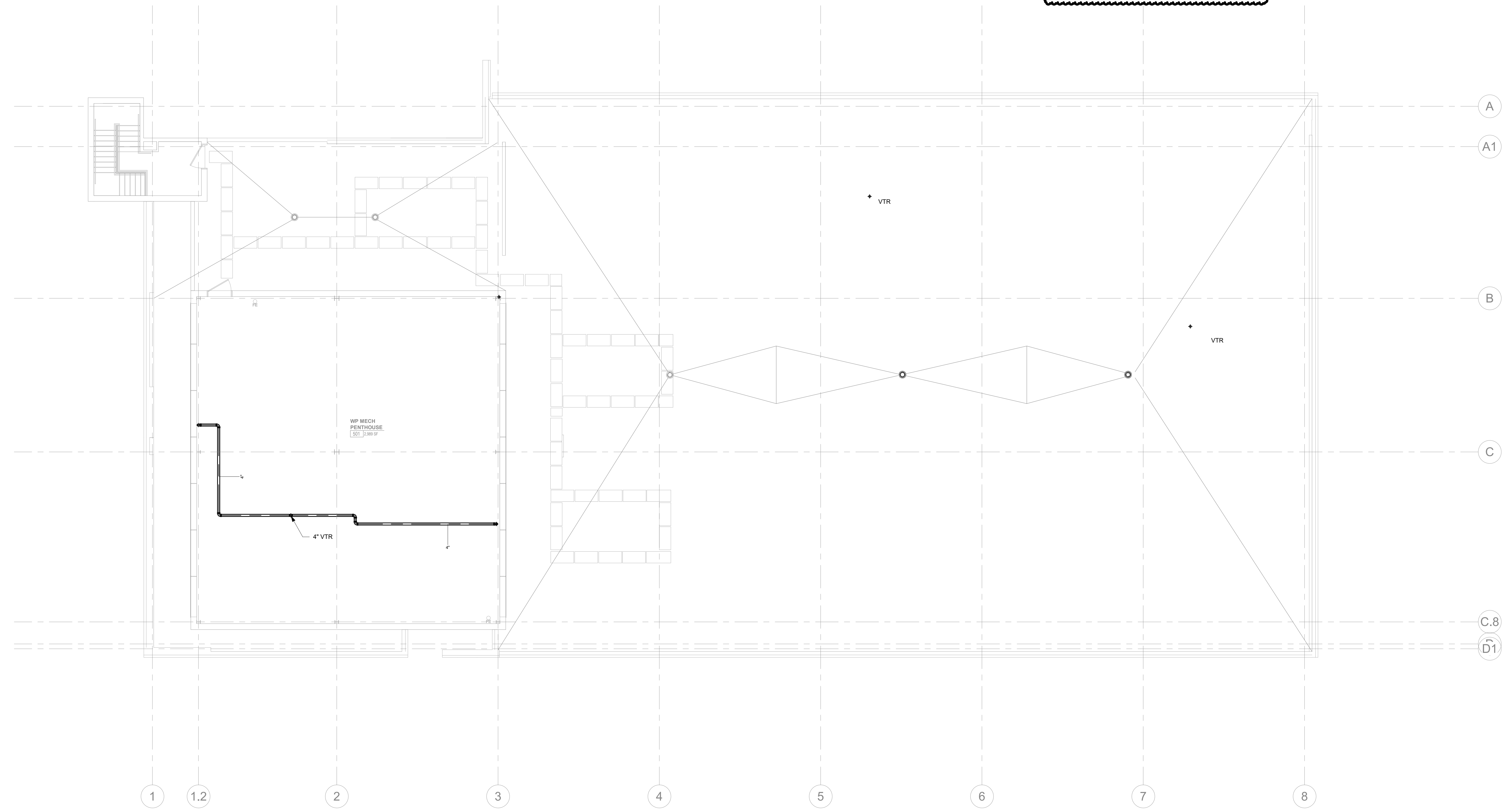
Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

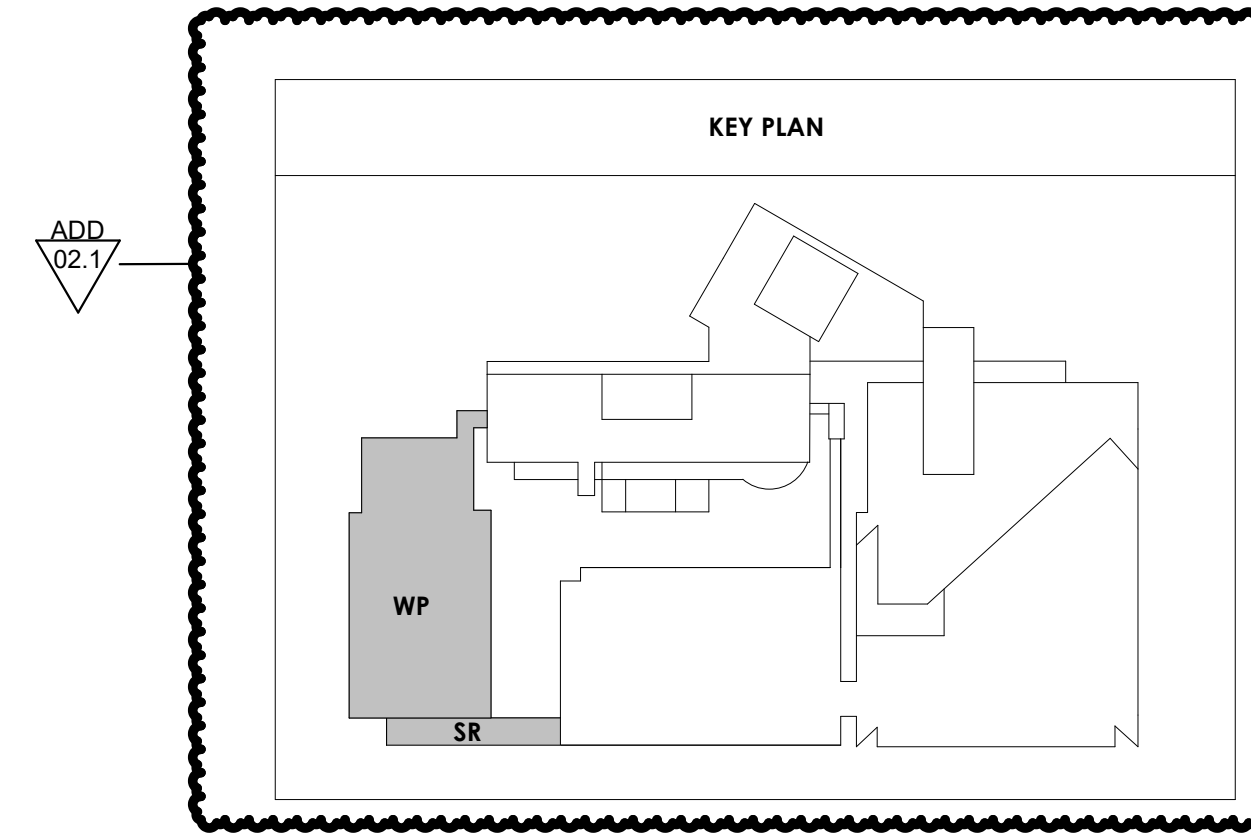
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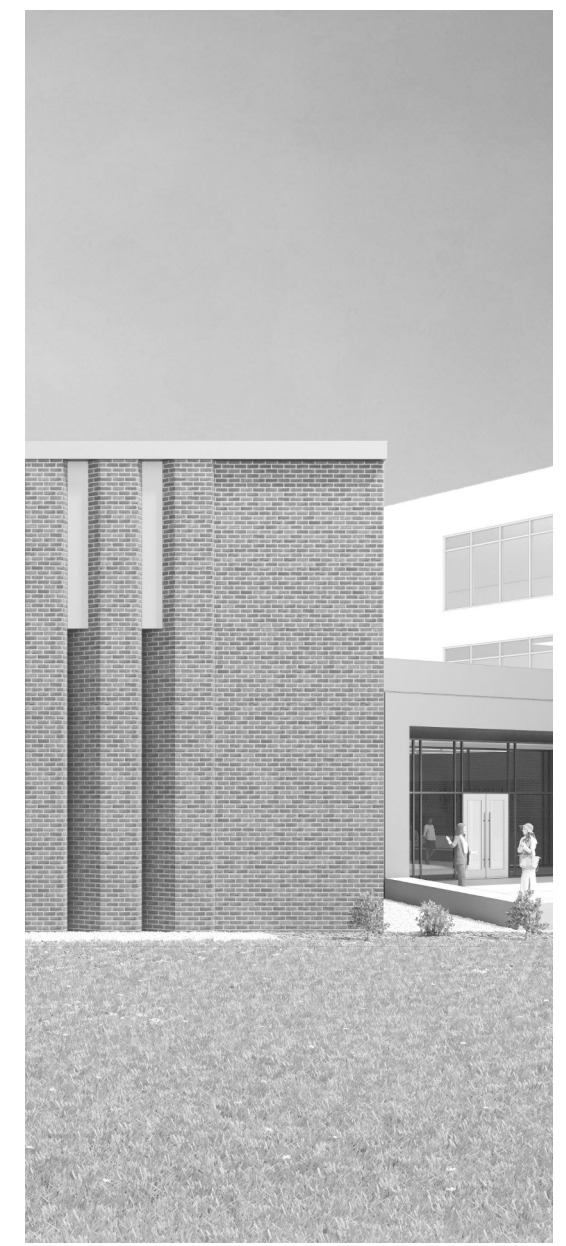
WP - PENTHOUSE LEVEL FLOOR PLAN - SANITARY

ADD 02.1
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



1 ALTERNATE 1B - WOMEN'S PAVILION PENTHOUSE LEVEL - FLOOR PLAN - SANITARY
P204 1/8" = 1'-0"





Project Information:

19018

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Seal:



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#	ISSUE	DATE
ADD 03.1		02/24/21

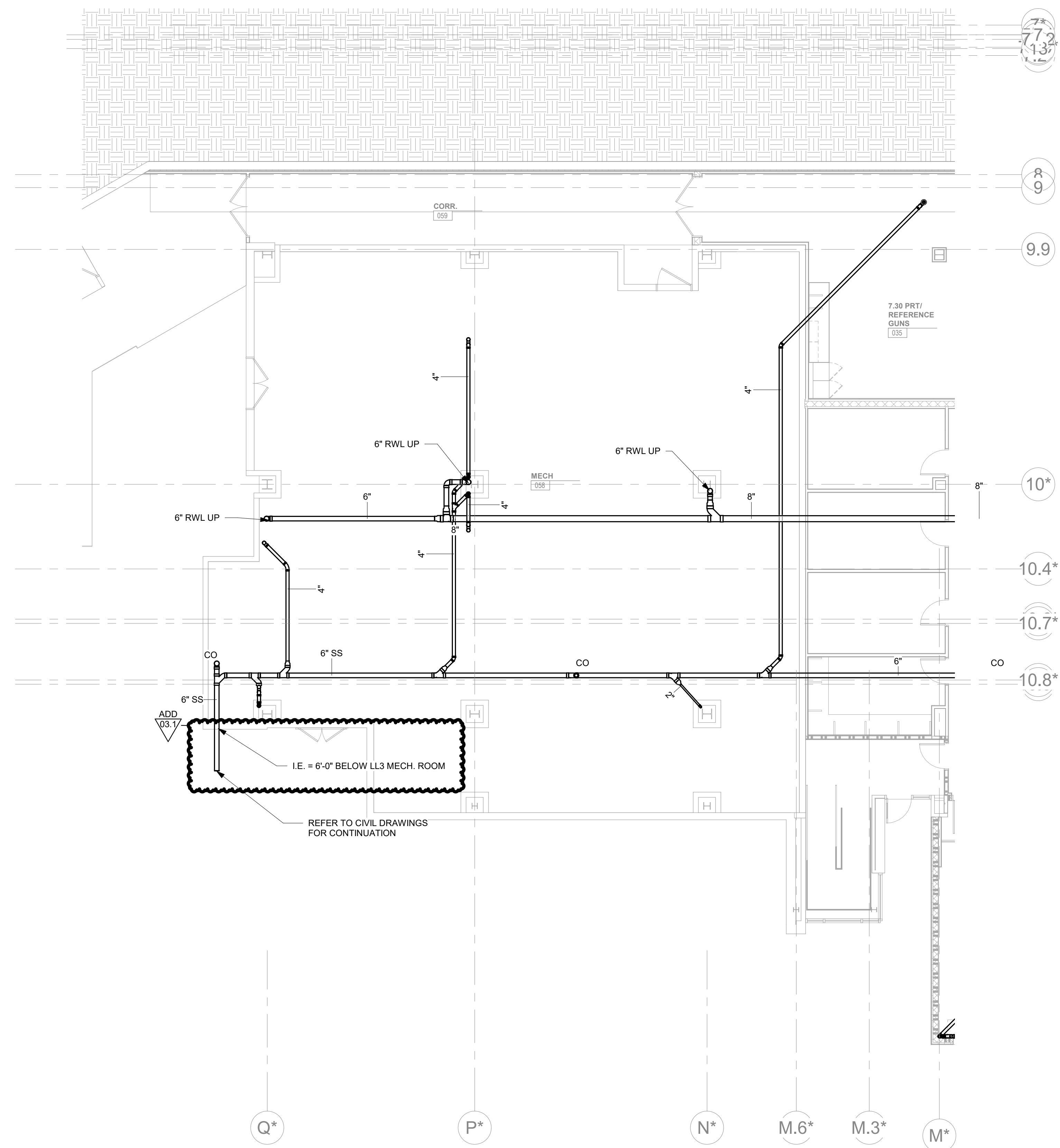
Issue Date:	FEBRUARY 1, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

Drawing Info:

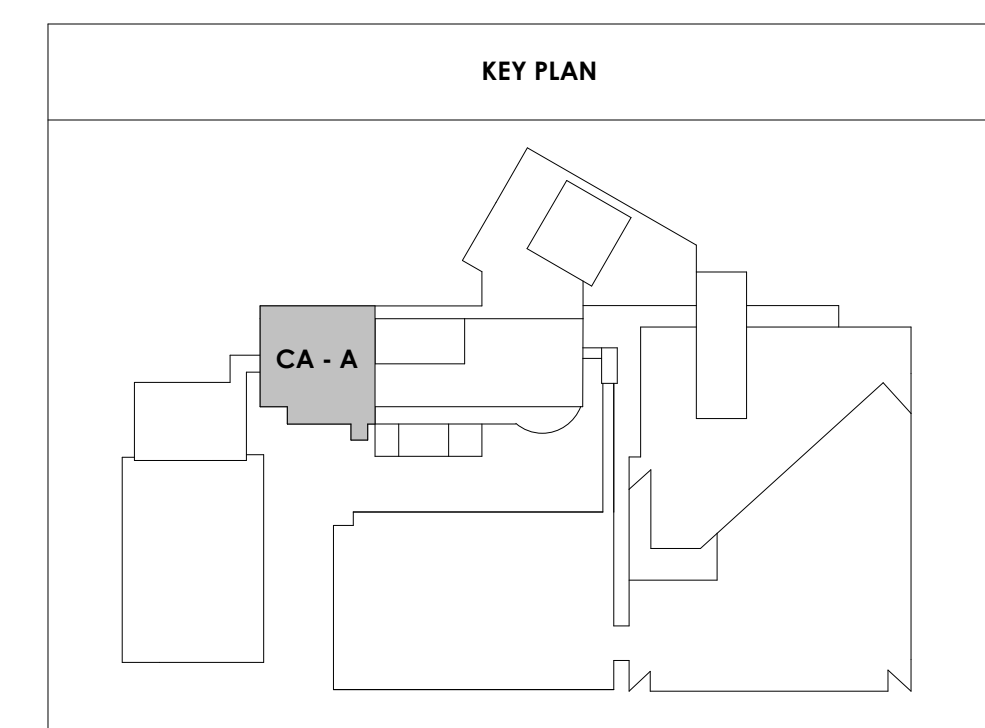
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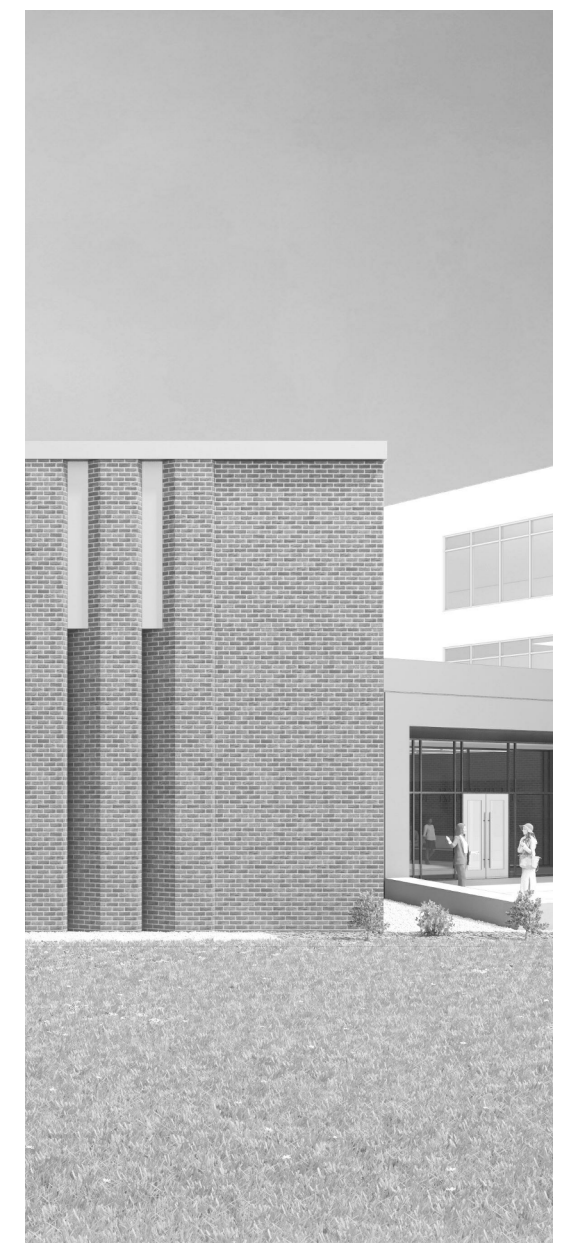
CA - LEVEL LL3 A
FLOOR PLAN -
SANITARY
UNDERGROUND

ADD 03.1
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - LEVEL LL3 A FLOOR PLAN - SANITARY UNDERGROUND
1/8" = 1'-0"





Project Information:

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ISSUE DATE

ADD 02.1	02/17/21
ADD 03.1	02/24/21

Issue Date: FEBRUARY 1, 2021

PIC: DAVID COLLINS

PM: JOHN THURMAN

PA: LAUREN BUSH /

Drawn By: P. SUITE

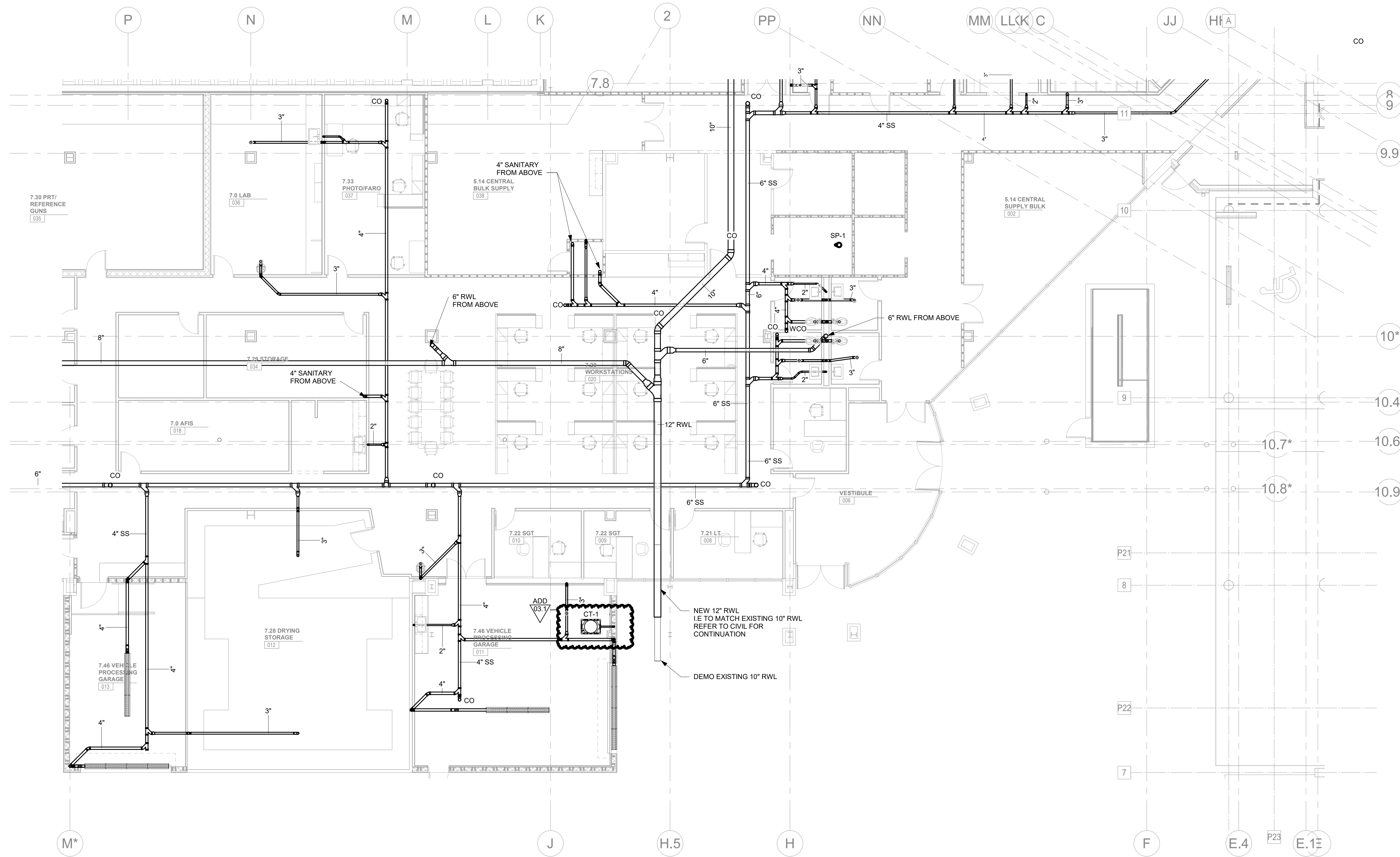
Checked By: P. MCCOWN

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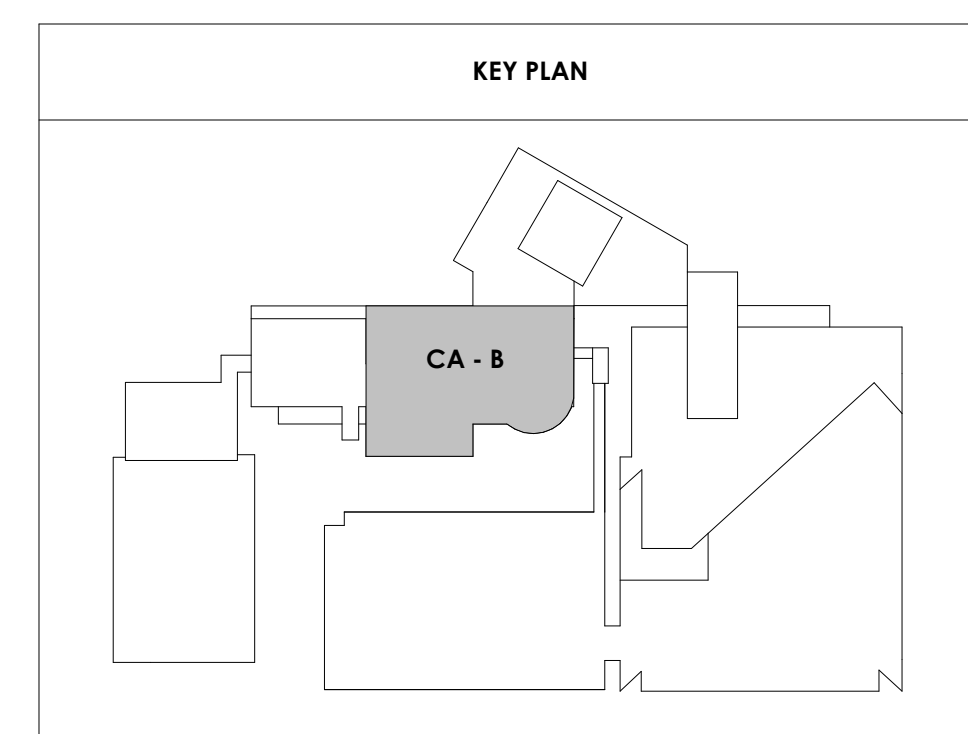
P210.2

CA - LEVEL LL3 B
FLOOR PLAN -
SANITARY
UNDERGROUND

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - LEVEL LL3 B FLOOR PLAN - SANITARY UNDERGROUND
P210.2 1/8" = 1'-0"



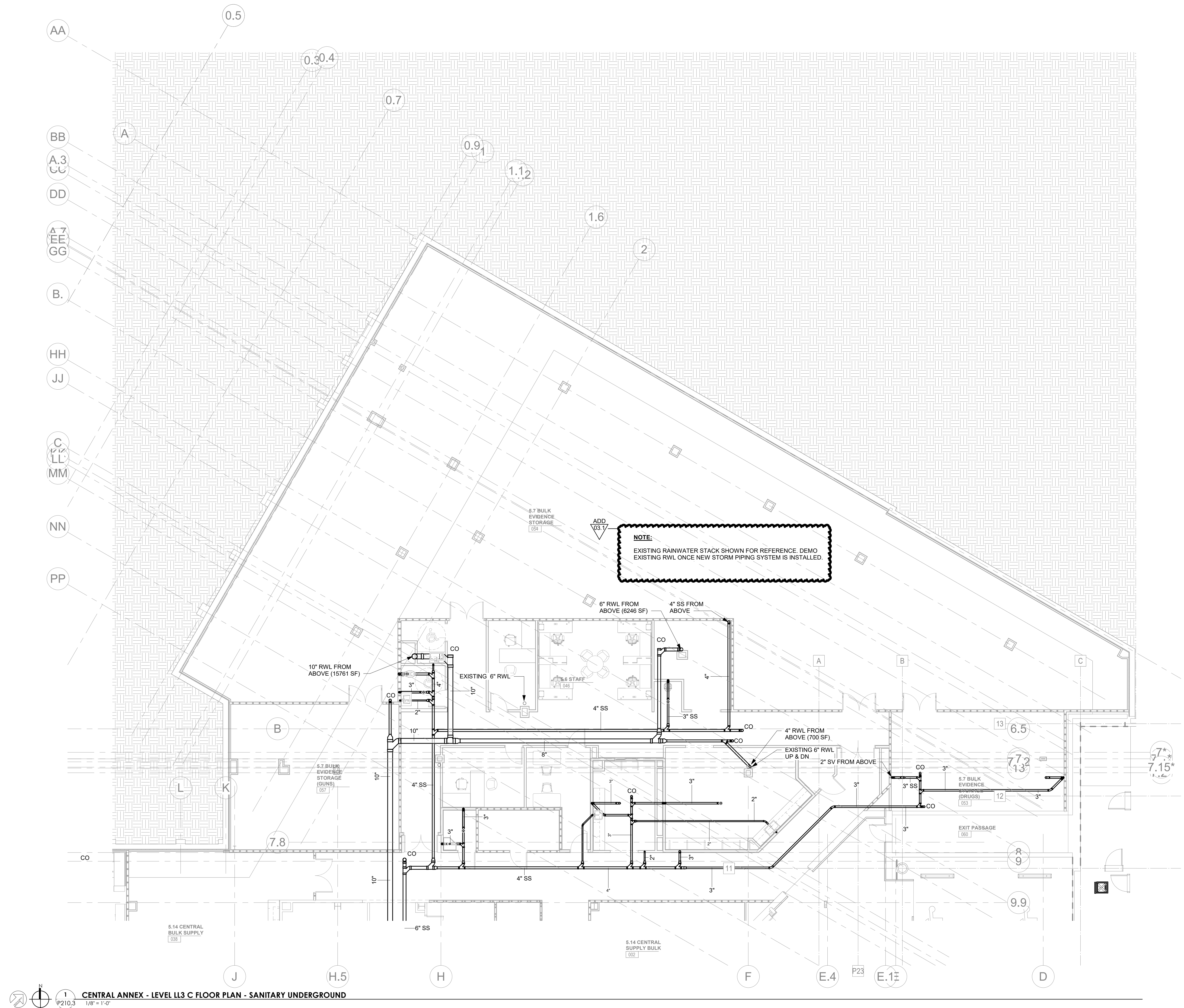


Project Information:

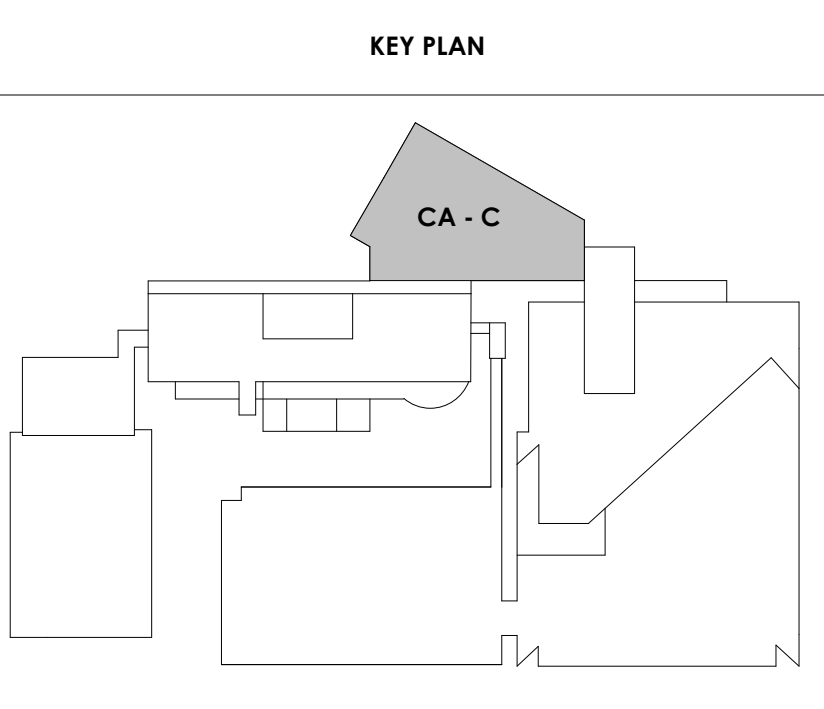
19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN



CENTRAL ANNEX - LEVEL LL3 C FLOOR PLAN - SANITARY UNDERGROUND
 1/8" = 1' 0"



Consultant:
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#	ISSUE	DATE

Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Issue Date: FEBRUARY 1, 2021
P210.3
 CA - LEVEL LL3 C
 FLOOR PLAN -
 SANITARY
 UNDERGROUND

2/24/2021 4:45:27 PM



Project Information:

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Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS
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 Drawn By: P. SUITE
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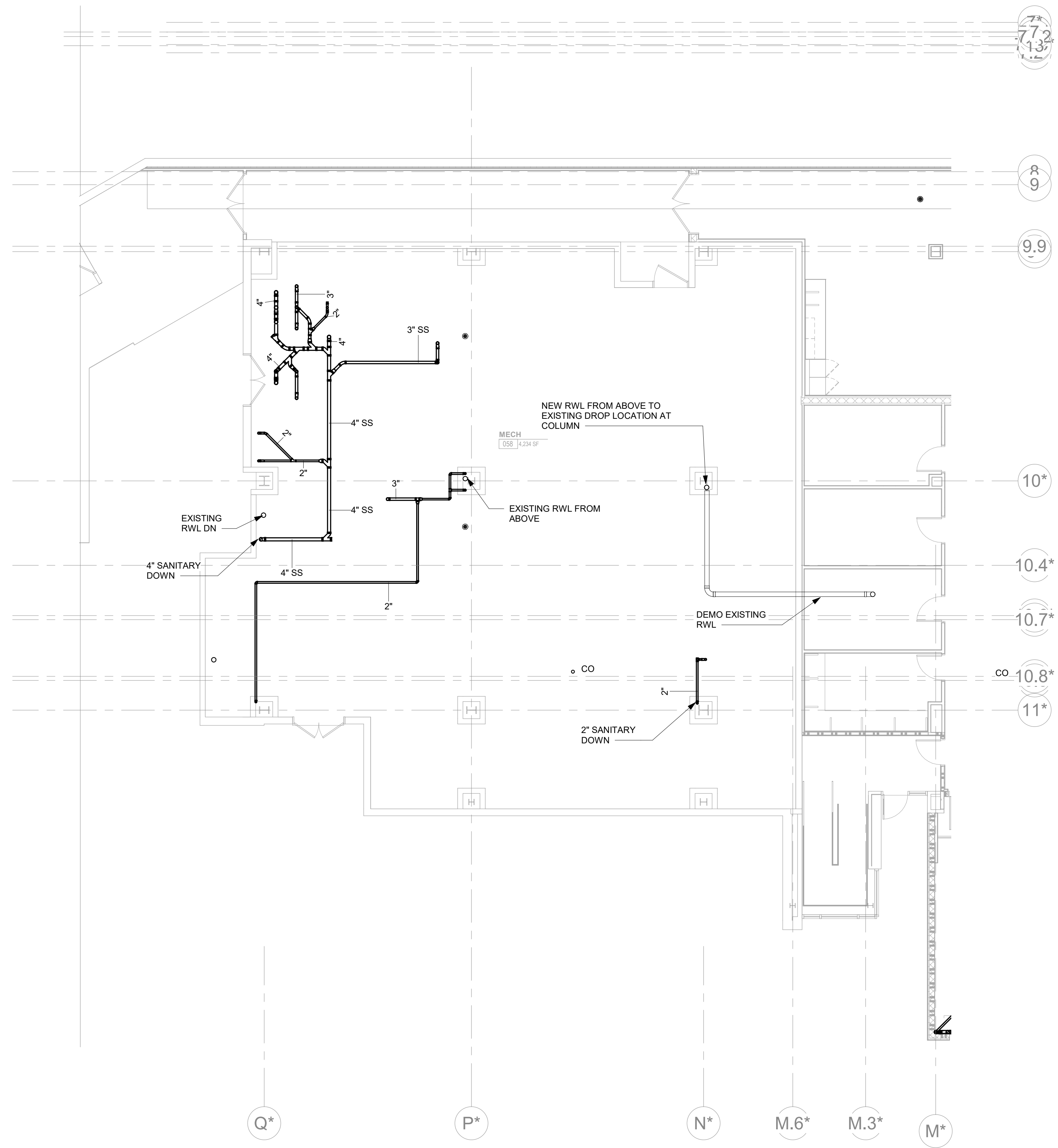
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P210.4

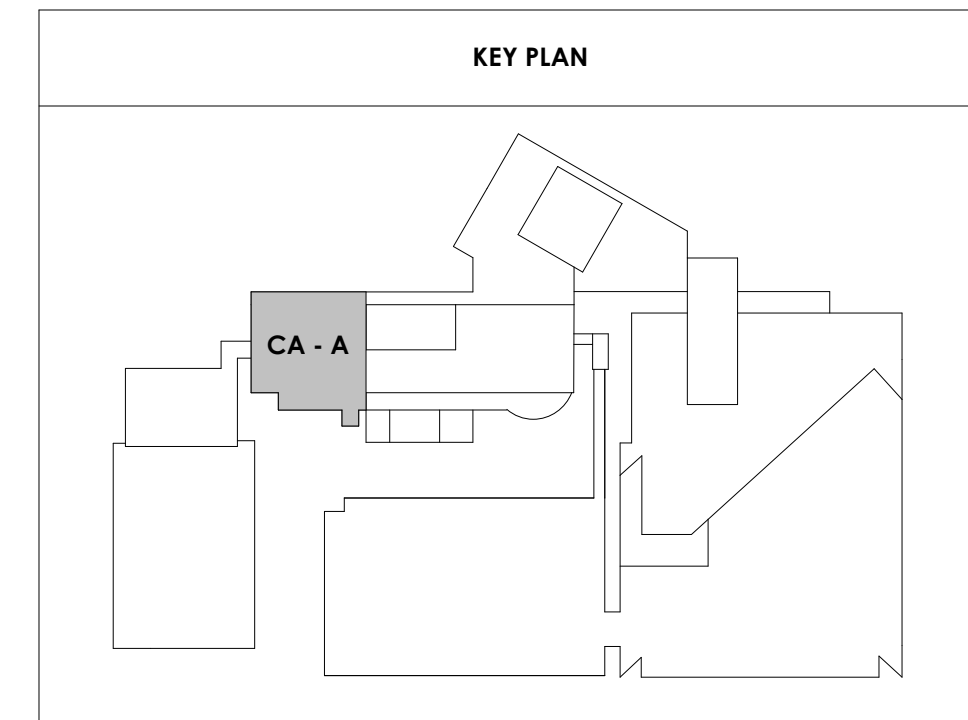
CA - LEVEL LL3 A
FLOOR PLAN -
SANITARY

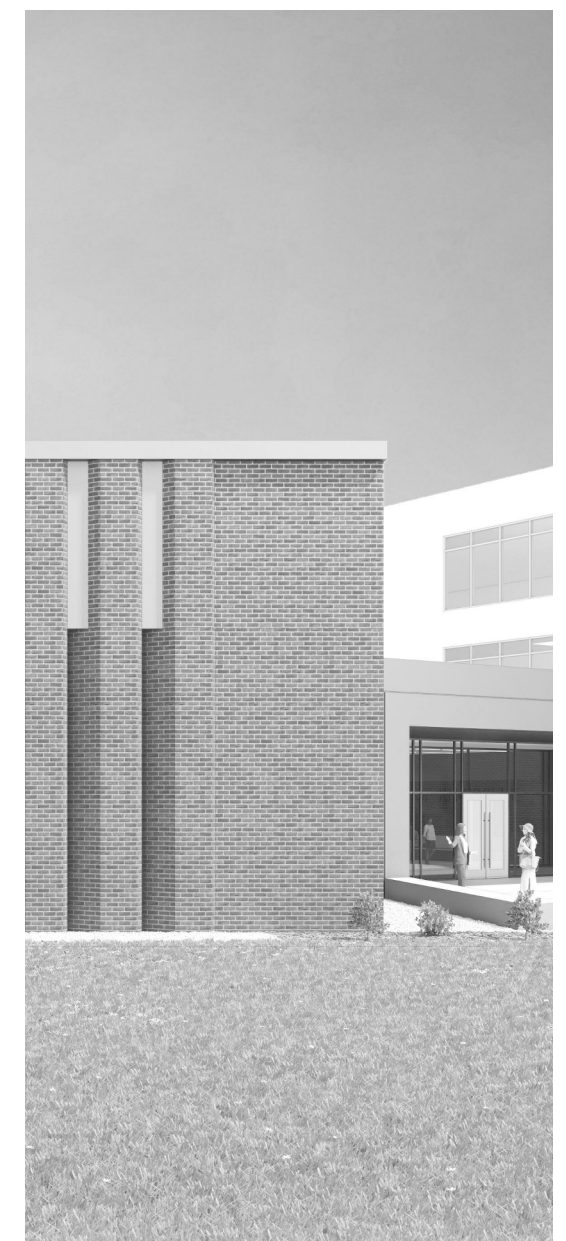
ADD
03.17

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - LEVEL LL3 A FLOOR PLAN - SANITARY
P210.4
1/8" = 1'-0"





Project Information:

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ISSUE DATE

ADD 02.1	02/17/21
ADD 03.1	02/24/21

Issue Date: FEBRUARY 1, 2021

PIC DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

Drawn By: P. SUITE

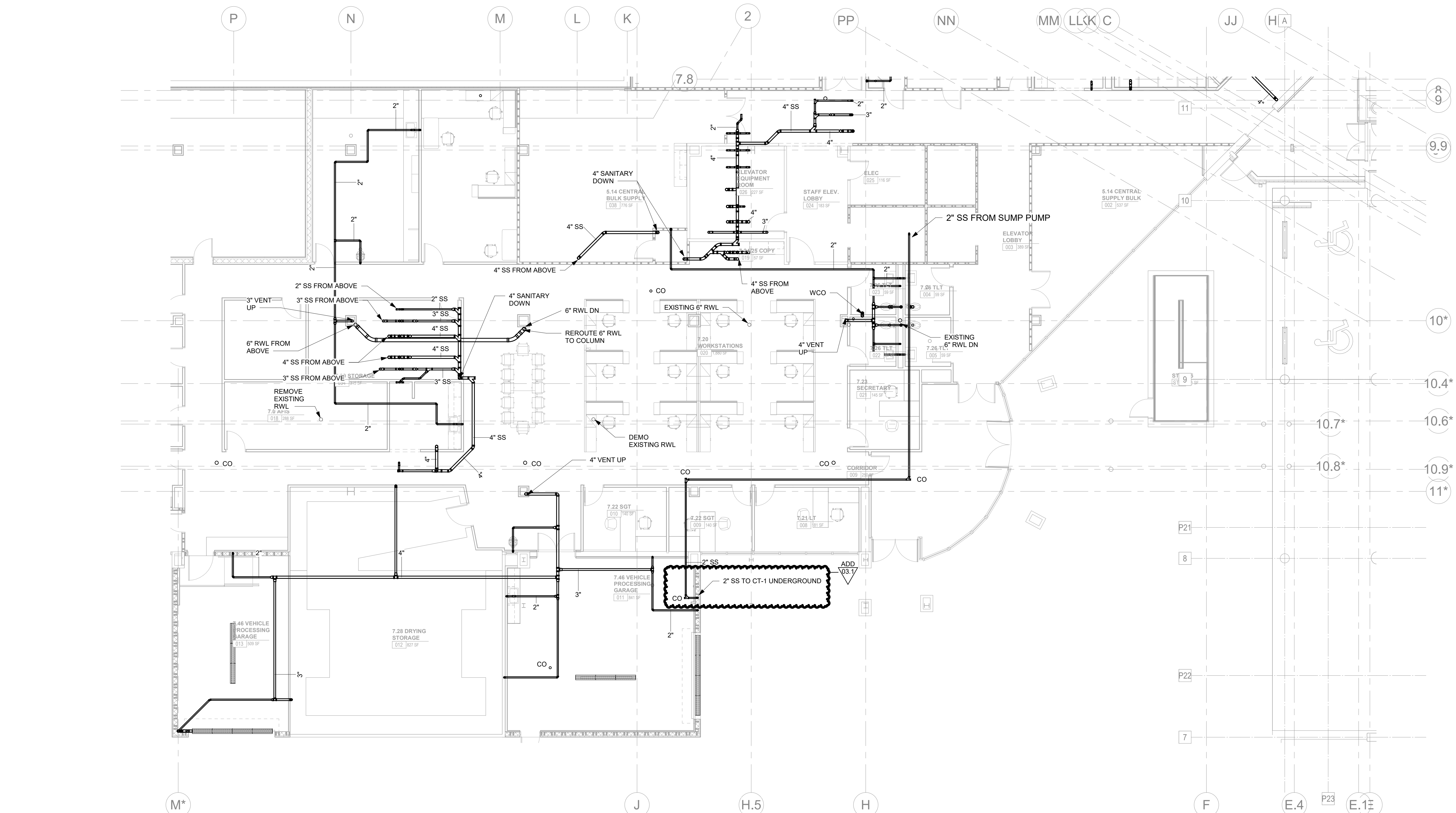
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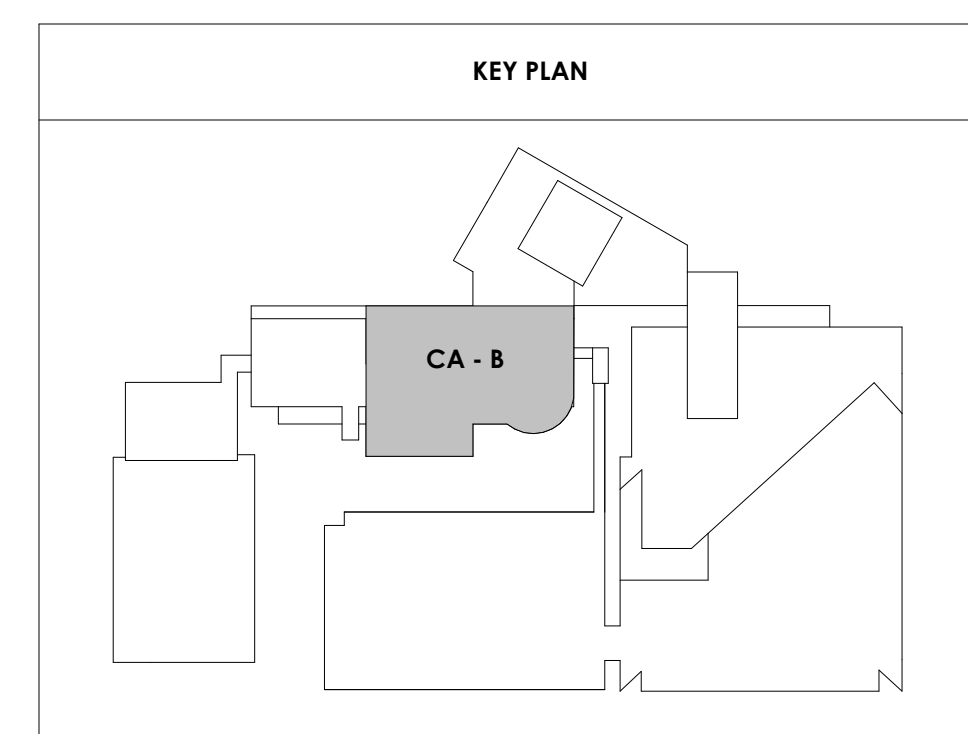
P210.5

CA - LEVEL LL3 B
FLOOR PLAN -
SANITARY

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - LEVEL LL3 B FLOOR PLAN - SANITARY
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



I.C.T. THOMASSON ASSOCIATES, INC.
1114 CLINCH AVENUE, SUITE 200
KNOXVILLE, TENNESSEE 37916
PHONE (865) 525-3488
FAX (865) 525-4471
www.ictthomasson.com

#	ISSUE	DATE

Issue Date: FEBRUARY 1, 2021

PIC: DAVID COLLINS

PM: JOHN THURMAN

PA: LAUREN BUSH /

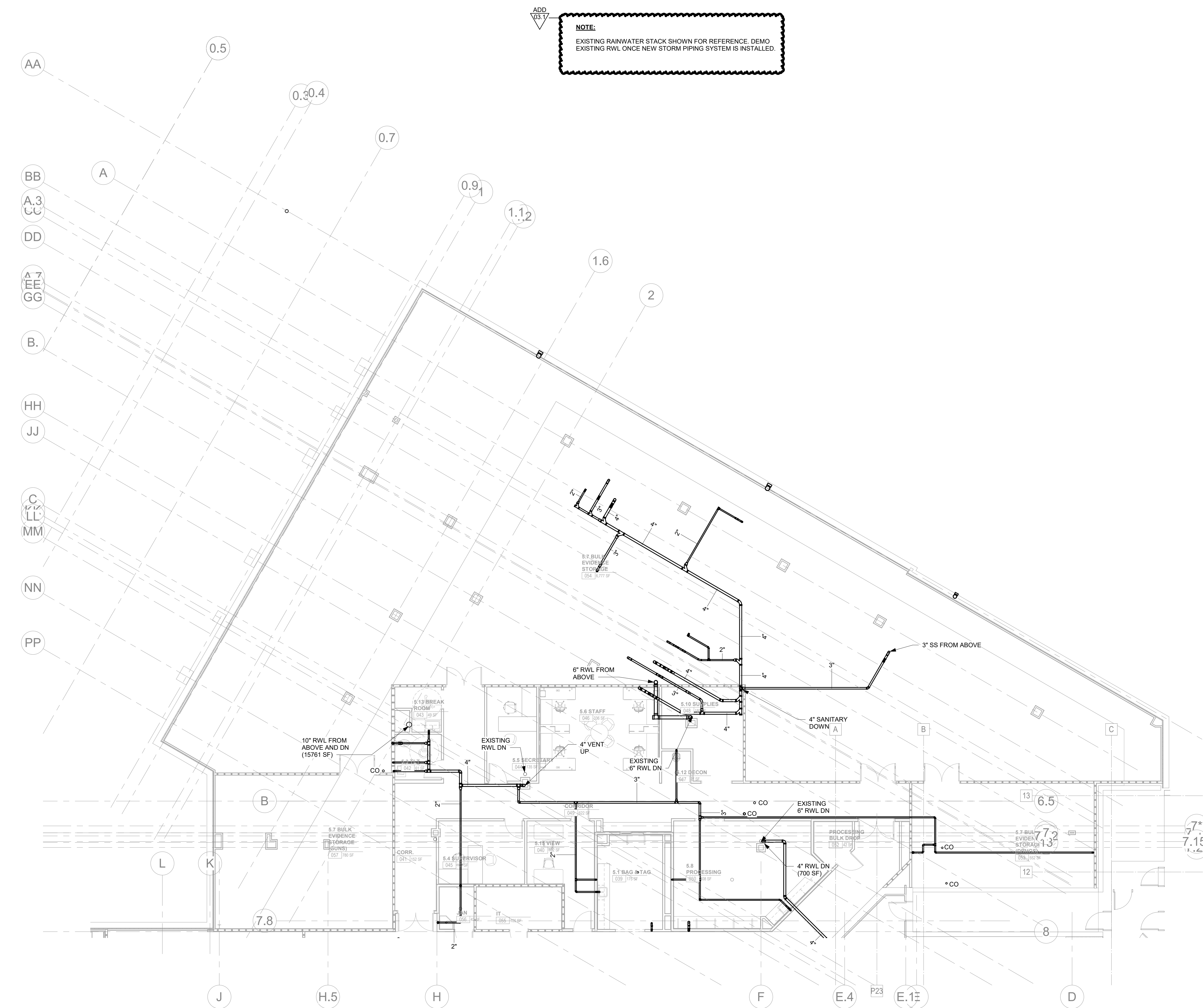
Drawn By: P. SUITE

Checked By: P. MCCOWN

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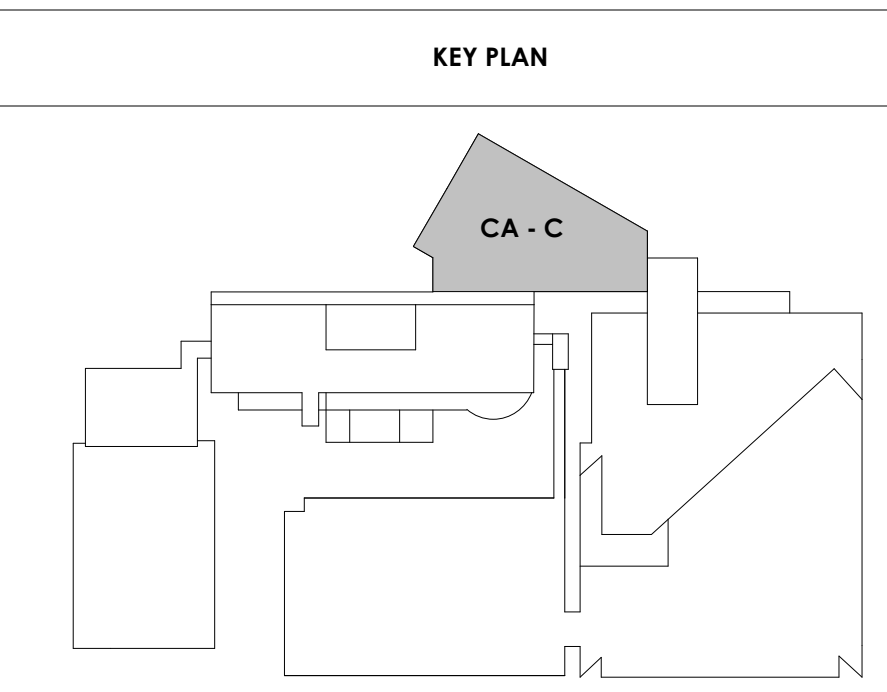
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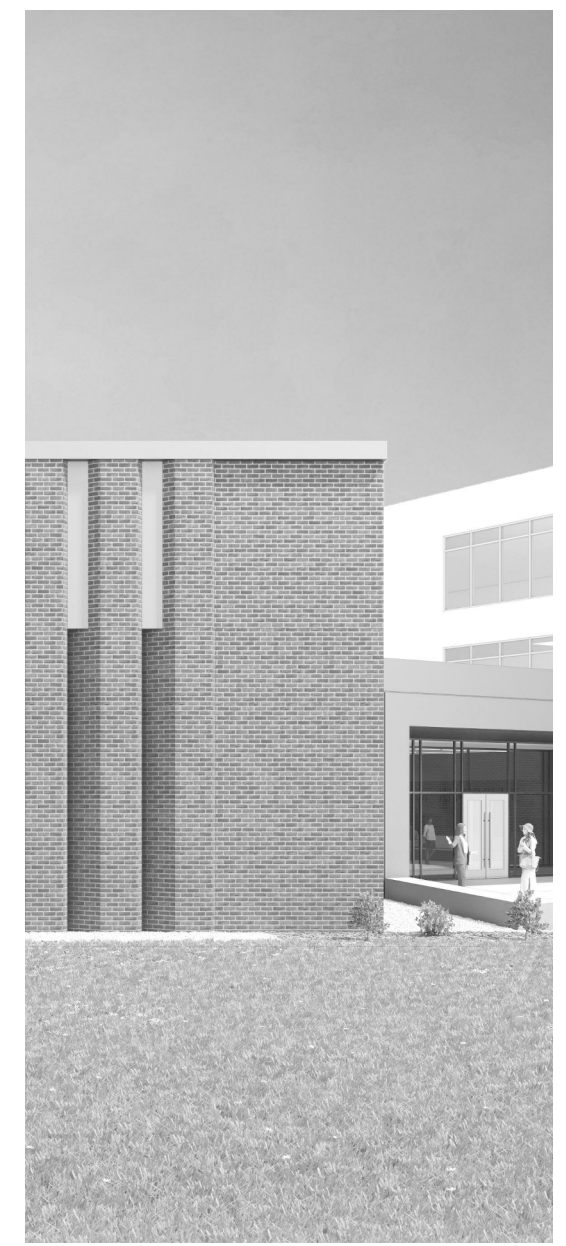
CA - LEVEL LL3 C FLOOR PLAN - SANITARY



NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

CENTRAL ANNEX - LEVEL LL3 C FLOOR PLAN - SANITARY





Project Information:

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COK SAFETY BUILDING

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#	ISSUE	DATE
ADD 03.1		02/24/21

Issue Date: FEBRUARY 1, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

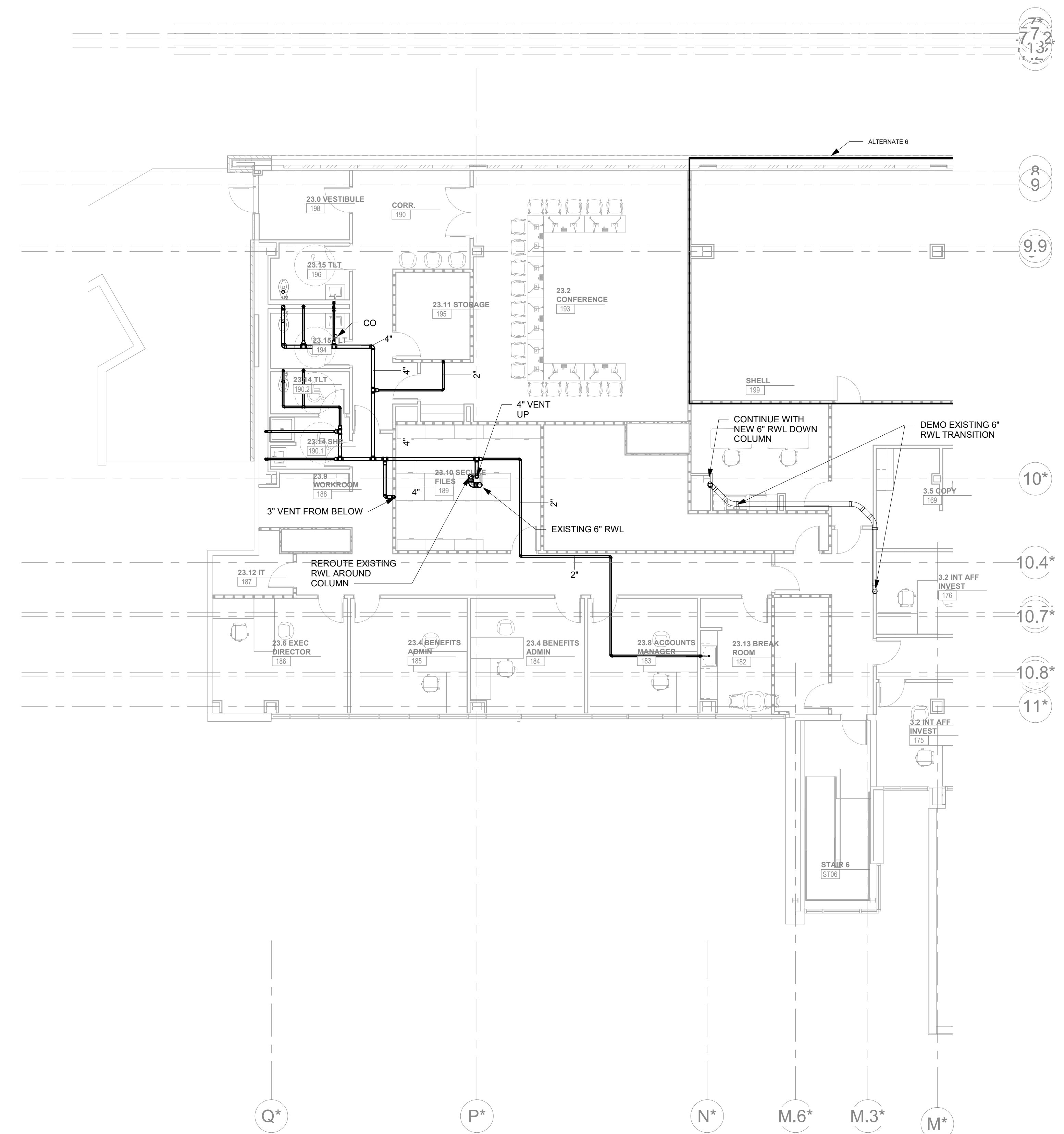
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P211.1

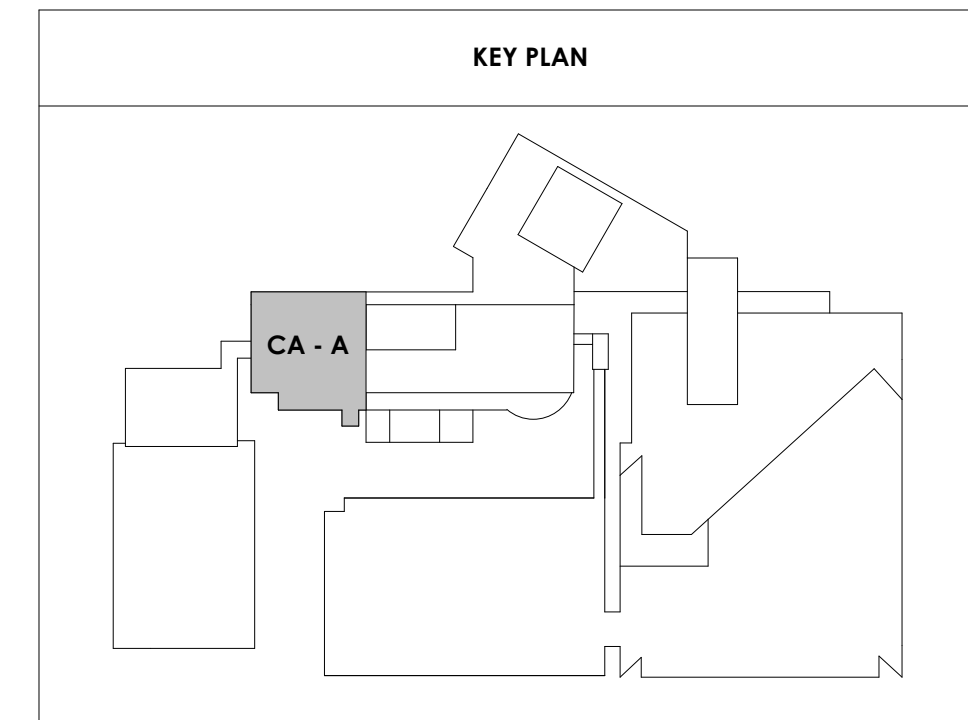
CA - LEVEL LL2 A
FLOOR PLAN -
SANITARY

ADD 03.1
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

ADD 03.1
NOTE:
RECONNECT EXISTING ROOF DRAINS TO NEW STORM PIPING SYSTEM.



CENTRAL ANNEX - LEVEL LL2 A FLOOR PLAN - SANITARY
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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#	ISSUE	DATE
ADD 03.1		02/24/21

Issue Date:	FEBRUARY 1, 2021
PI:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

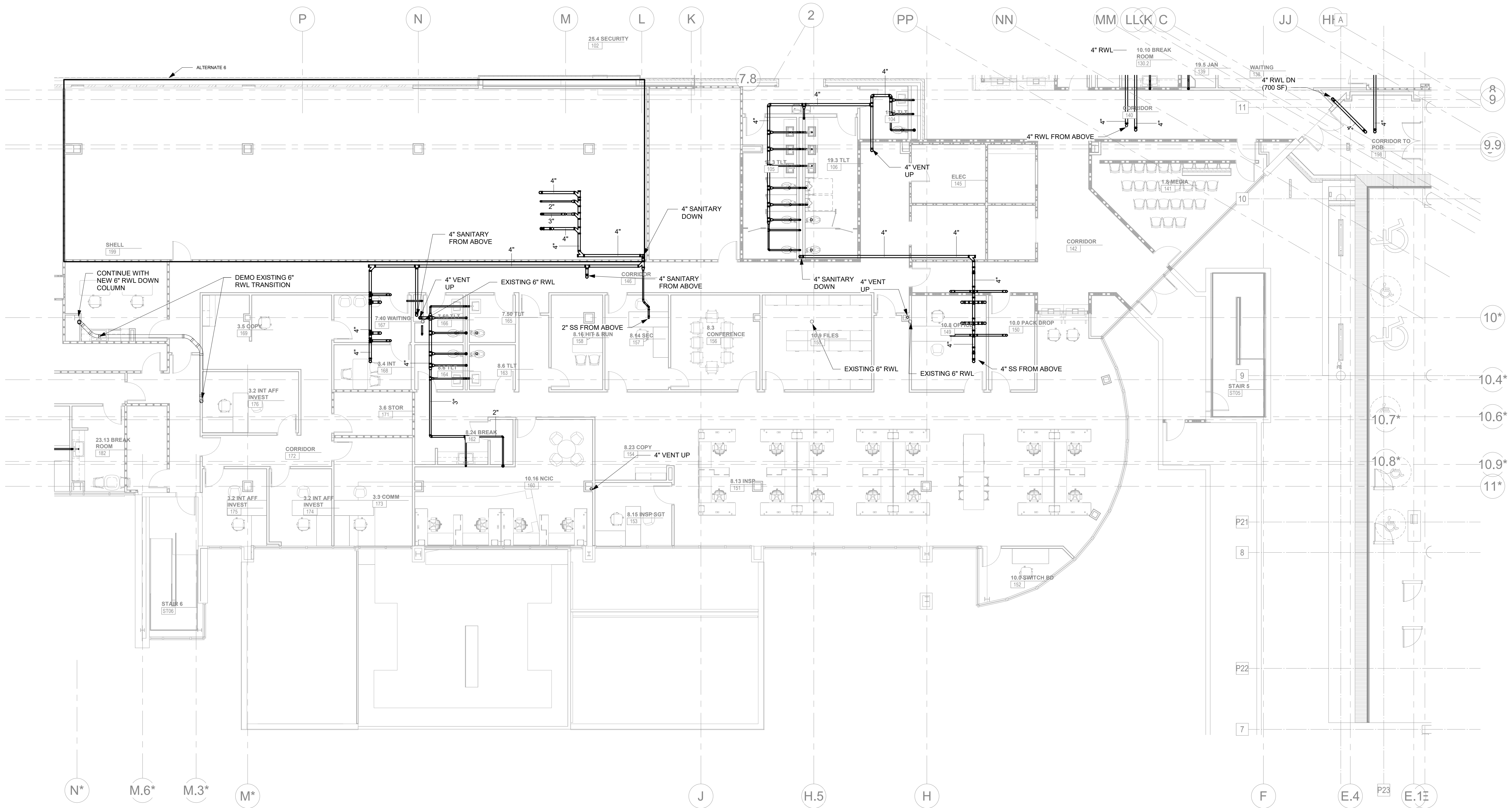
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P211.2

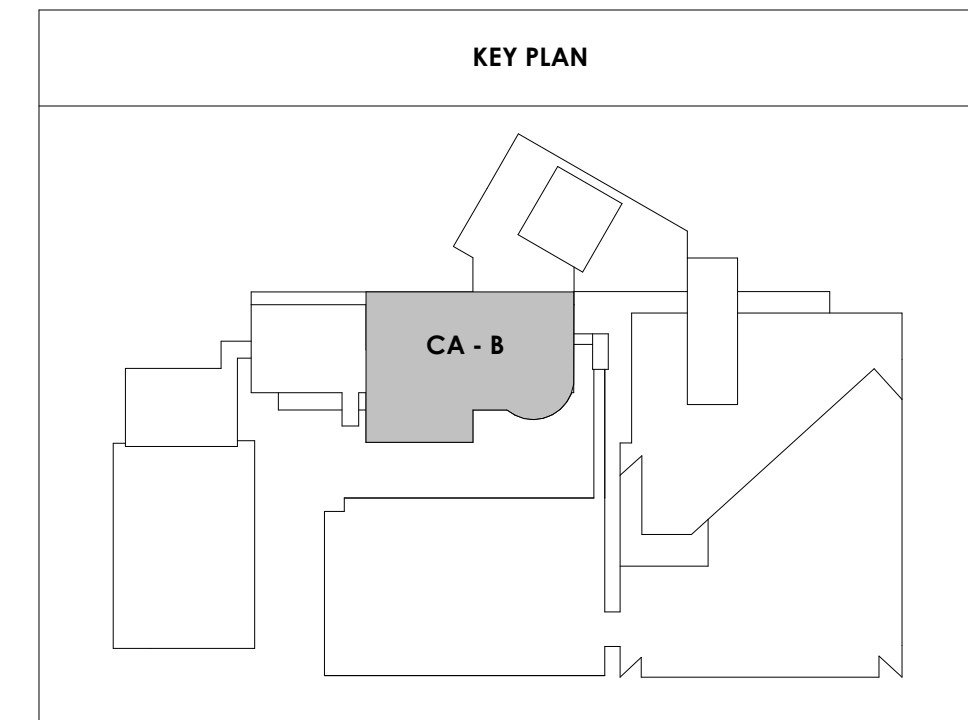
CA - LEVEL LL2 B
FLOOR PLAN -
SANITARY

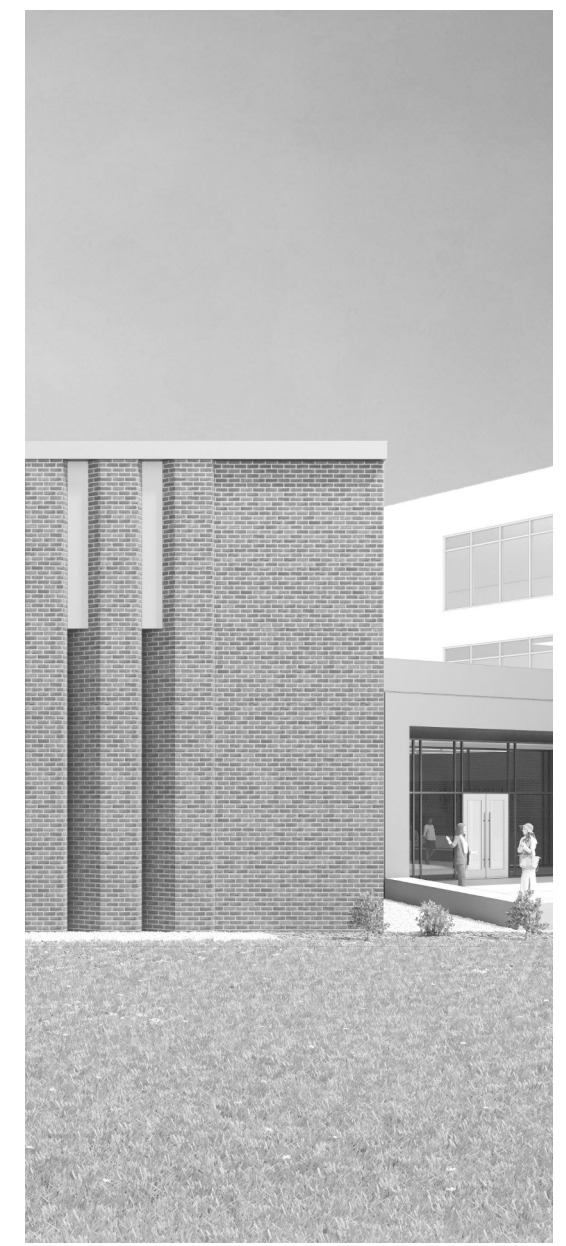
ADD 03.1
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

ADD 03.1
NOTE:
RECONNECT EXISTING ROOF DRAINS TO NEW STORM PIPING SYSTEM.



CENTRAL ANNEX - LEVEL LL2 B FLOOR PLAN - SANITARY
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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ISSUE DATE

ADD 03.1 02/24/21

Issue Date: FEBRUARY 1, 2021

PI: DAVID COLLINS

PM: JOHN THURMAN

PA: LAUREN BUSH /

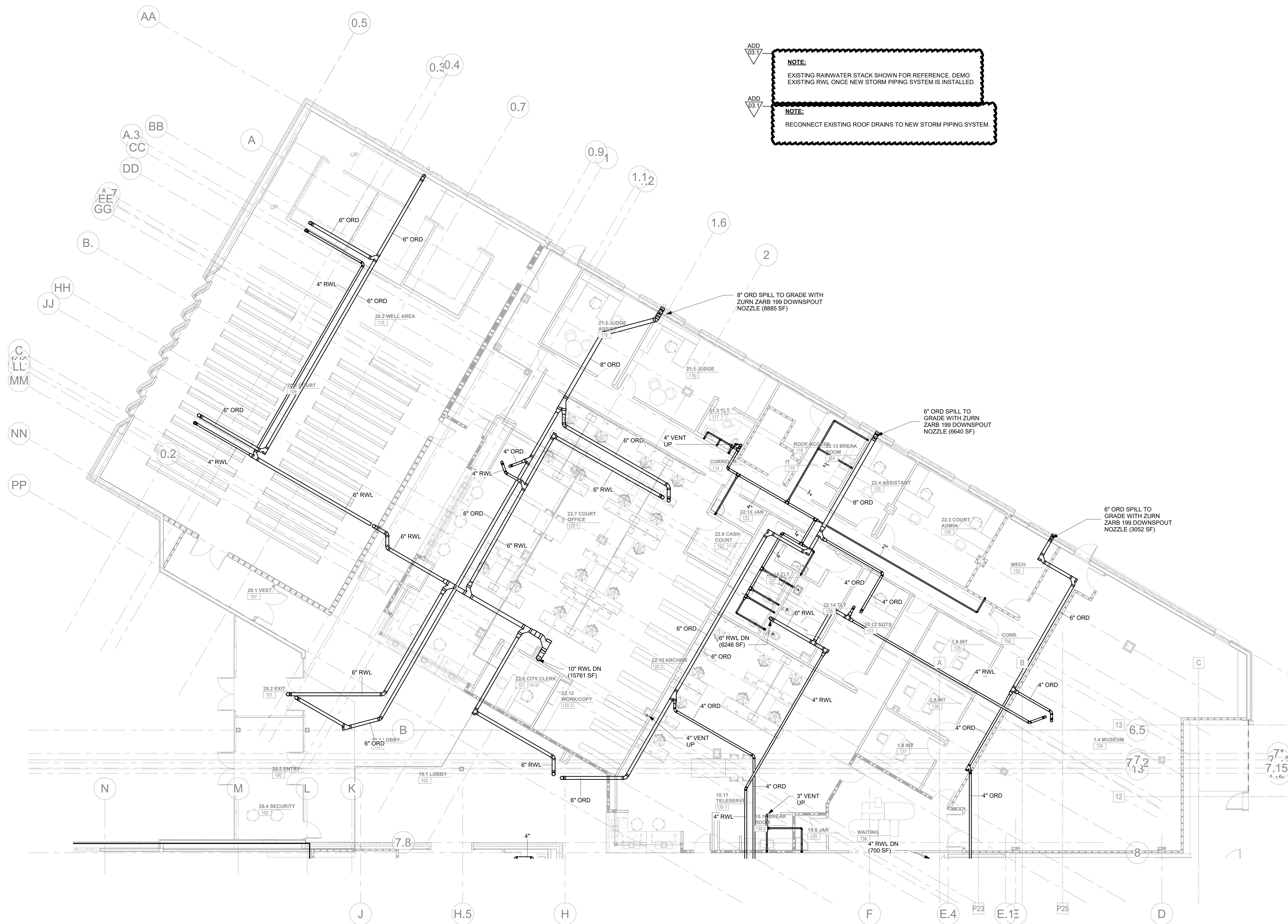
Drawn By: P. SUITE

Checked By: P. MCCOWN

Drawing Info:

P211.3

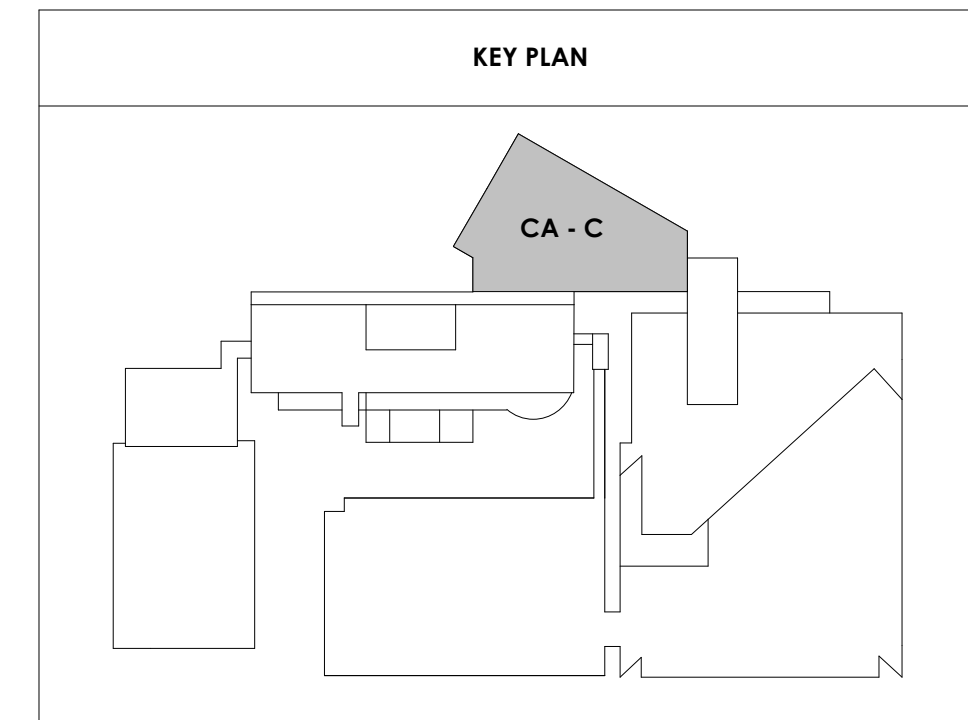
CA - LEVEL LL2 C
FLOOR PLAN -
SANITARY



NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

NOTE:
RECONNECT EXISTING ROOF DRAINS TO NEW STORM PIPING SYSTEM

CENTRAL ANNEX - LEVEL LL2 C FLOOR PLAN - SANITARY
P211.3
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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#	ISSUE	DATE

Issue Date:	FEBRUARY 1, 2021
PIC	DAVID COLLINS
PM	JOHN THURMAN
PA	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

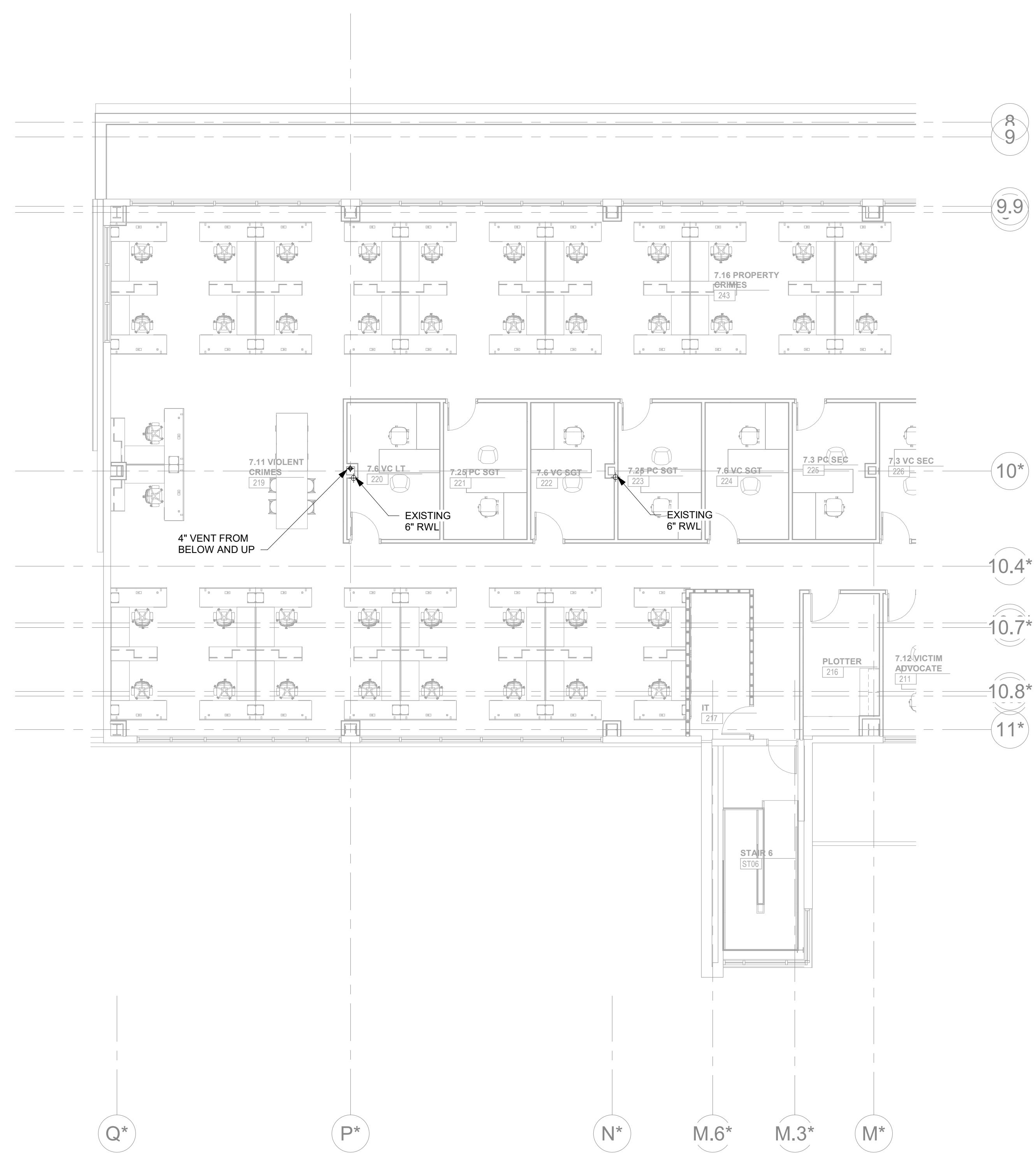
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P212.1

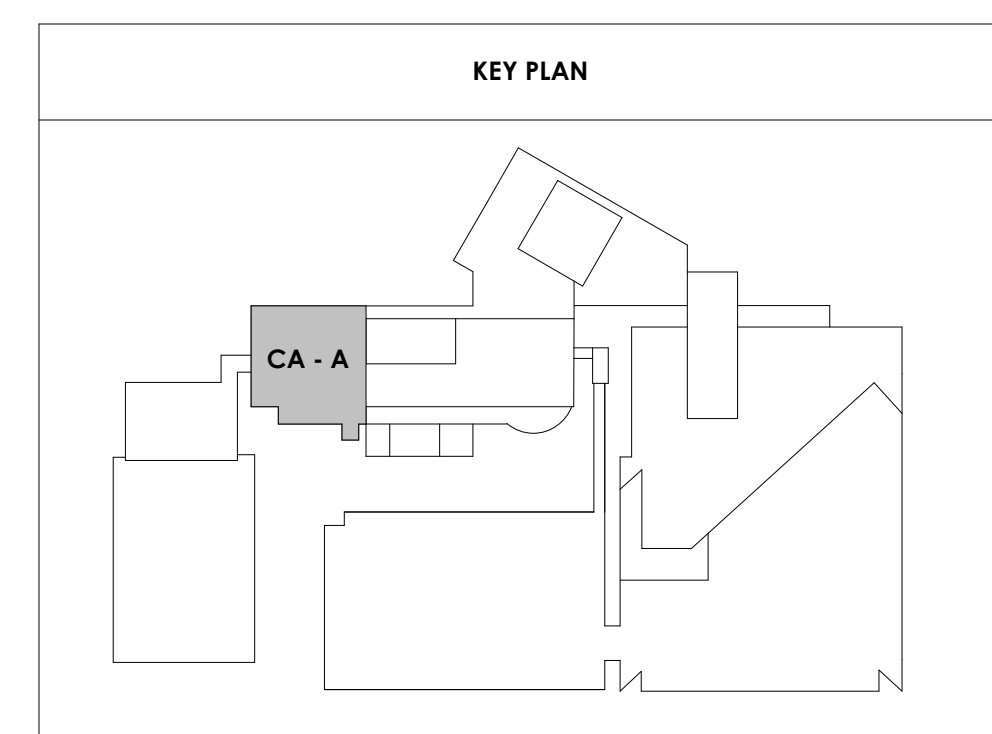
CA - LEVEL LL1 A
FLOOR PLAN -
SANITARY

ADD
03.1

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - LEVEL LL1 A FLOOR PLAN - SANITARY
Scale: 1/8" = 1'-0"
Project No: P212.1





Project Information:

19018

COK SAFETY BUILDING

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Seal:



Consultant:



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ISSUE DATE

#	ISSUE	DATE

Issue Date: FEBRUARY 1, 2021

PIC DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

Drawn By: P. SUITE

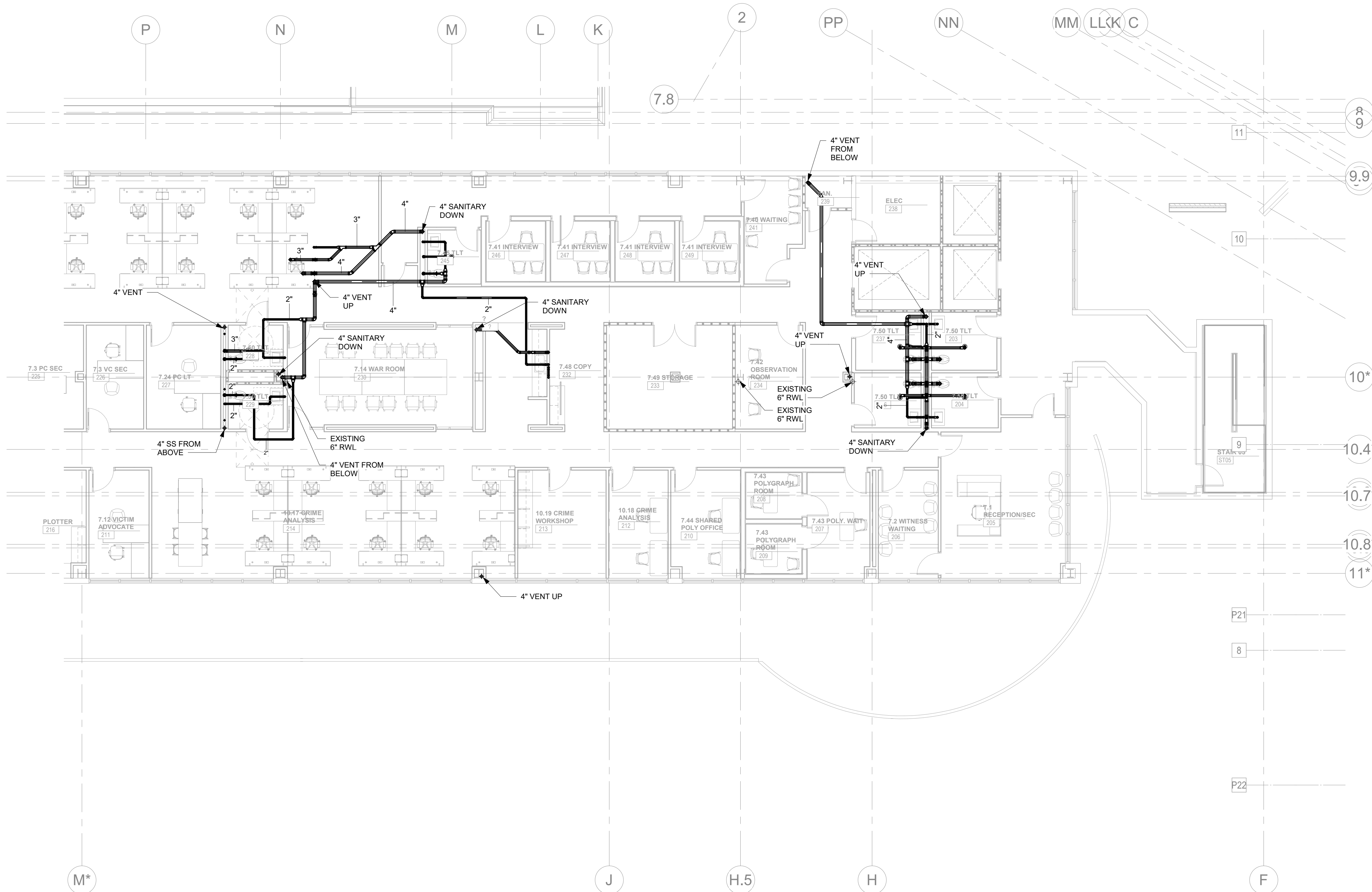
Checked By: P. MCCOWN

Drawing Info:

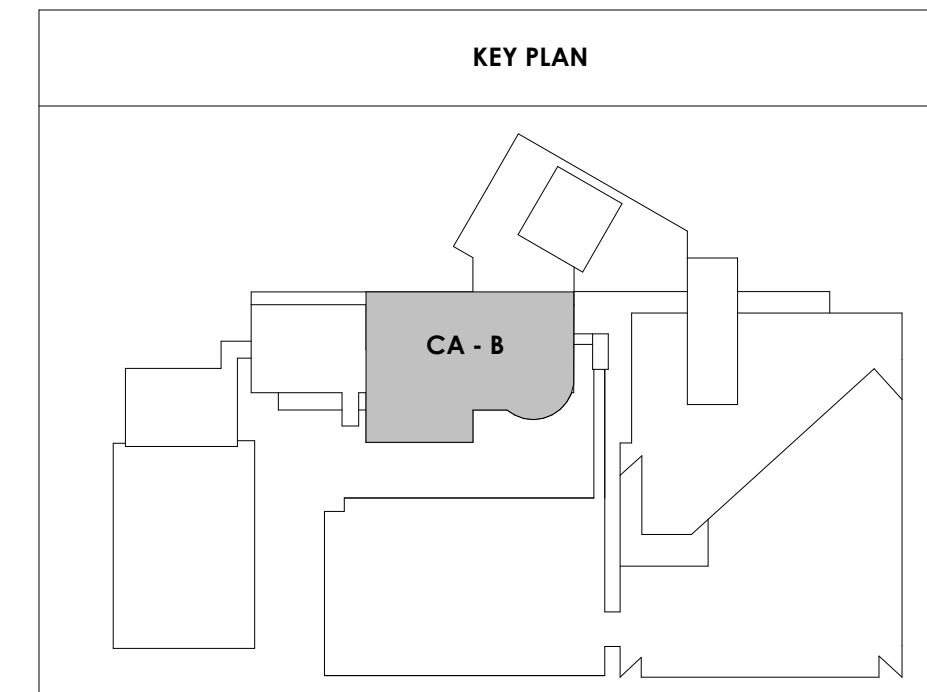
P212.2

CA - LEVEL LL1 B FLOOR PLAN - SANITARY

ADD 03.7
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - LEVEL LL1 B FLOOR PLAN - SANITARY
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

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Seal:



Consultant:



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#	ISSUE	DATE

Issue Date:	FEBRUARY 1, 2021
PIC	DAVID COLLINS
PM	JOHN THURMAN
PA	LAUREN BUSH /
Drawn By:	P. SUITE
Checked By:	P. MCCOWN

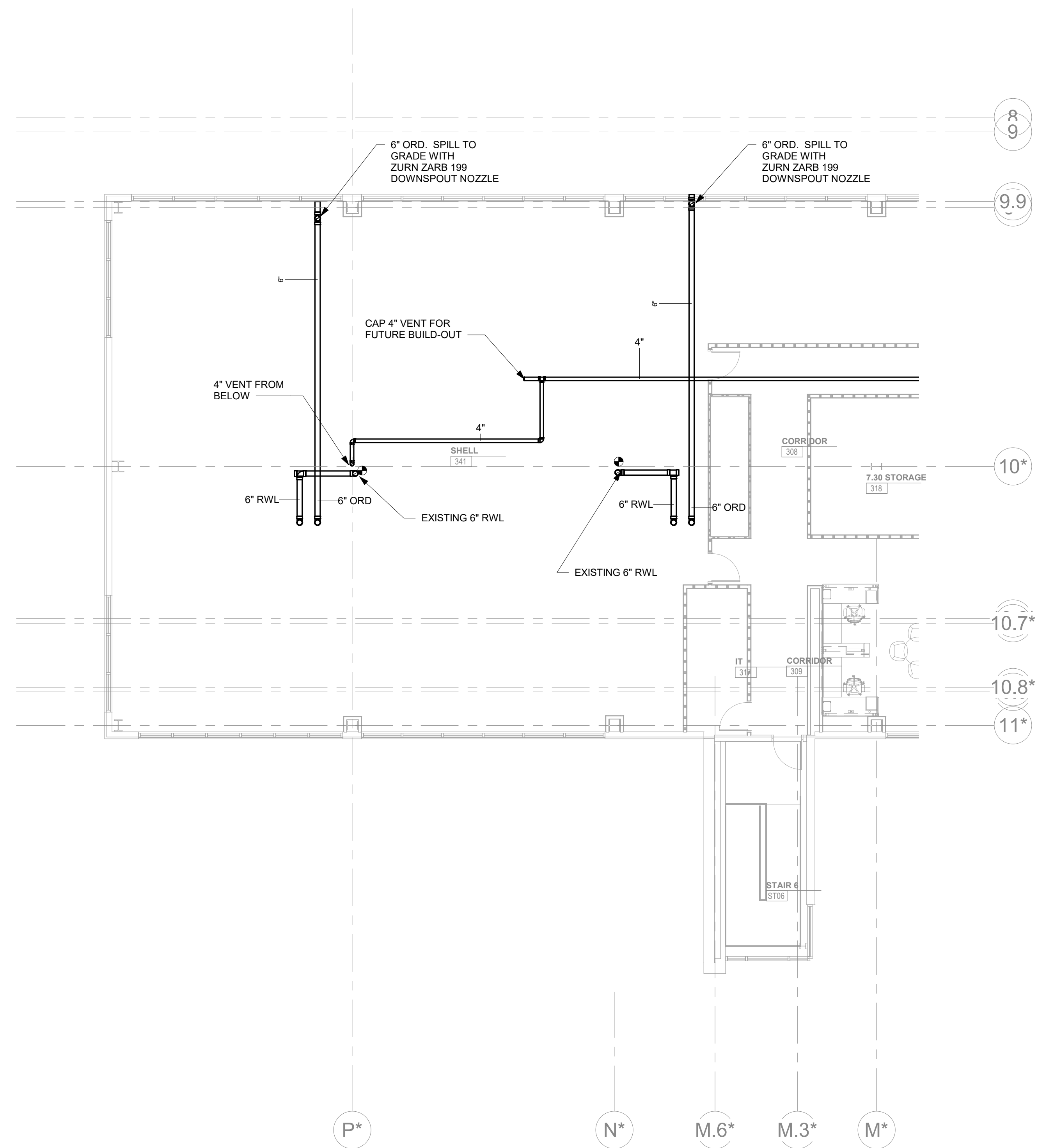
Drawing Info:

P213.1

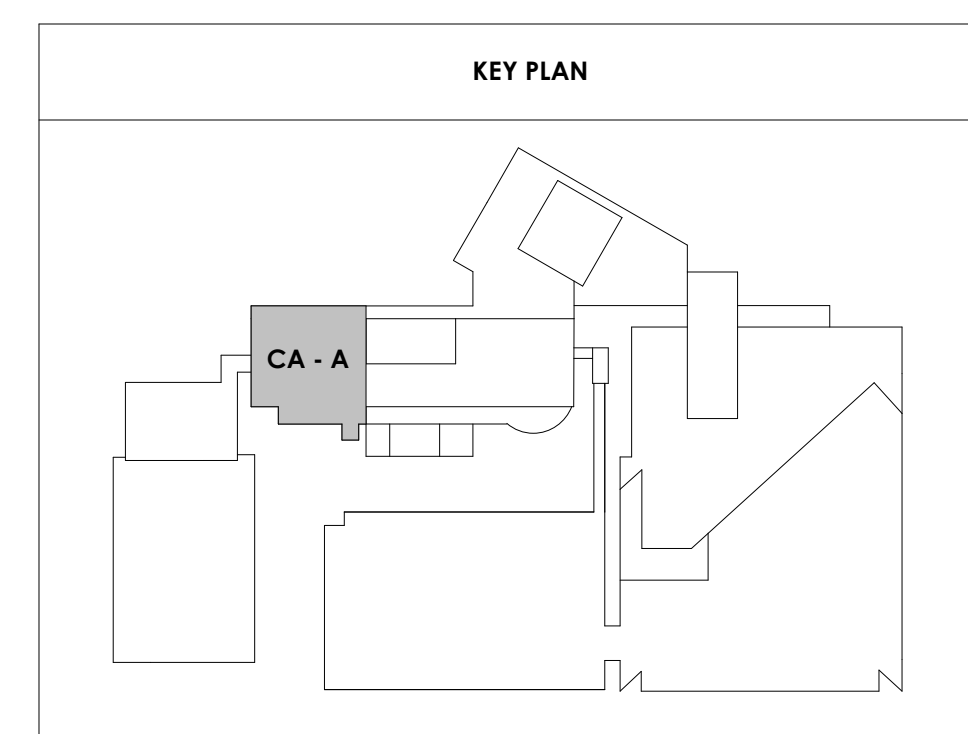
CA - LEVEL GROUND A FLOOR PLAN - SANITARY

ADD
03.1

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

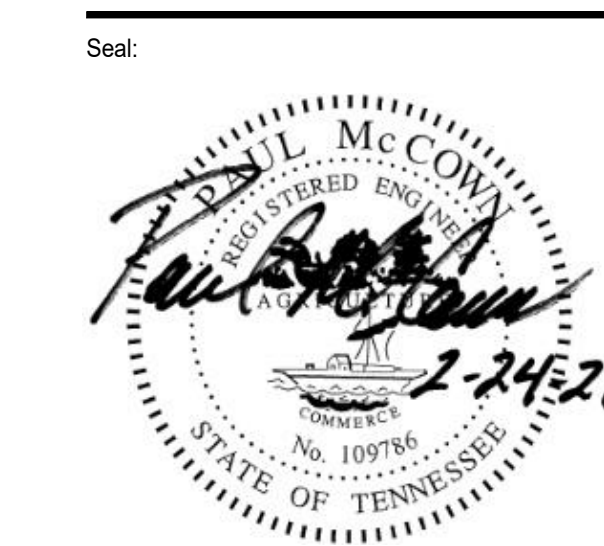


1 CENTRAL ANNEX - GROUND LEVEL A FLOOR PLAN - SANITARY
P213.1 1/8" = 1'-0"





Project Information:
19018
COK SAFETY BUILDING
 900 East Oak Hill Ave, Knoxville, TN



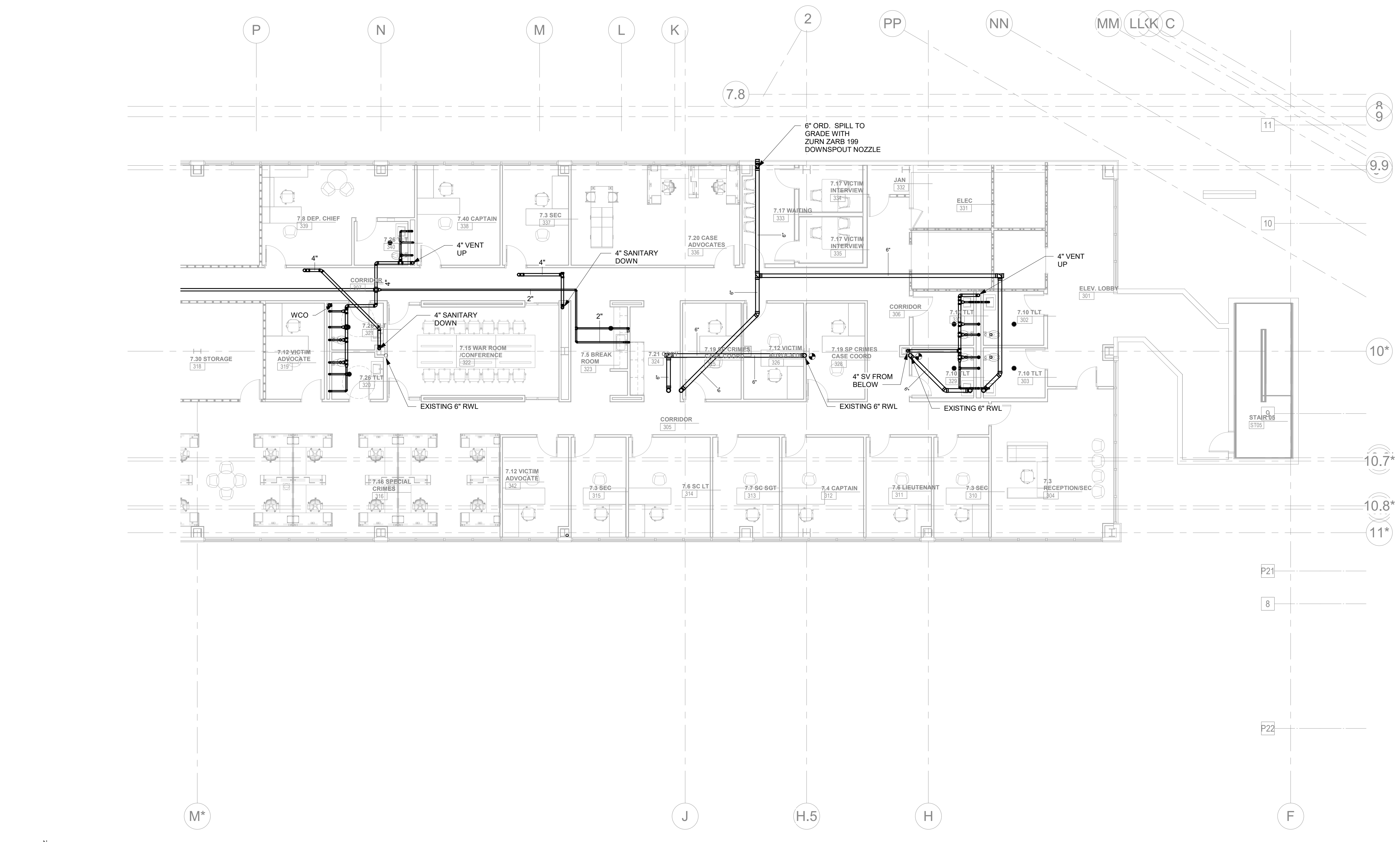
Consultant:
ICT
I.C. THOMASSON ASSOCIATES, INC.
 1114 CLINCH AVENUE, SUITE 200
 KNOXVILLE, TENNESSEE 37916
 PHONE (865) 525-3488
 FAX (865) 525-4471
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#	ISSUE	DATE

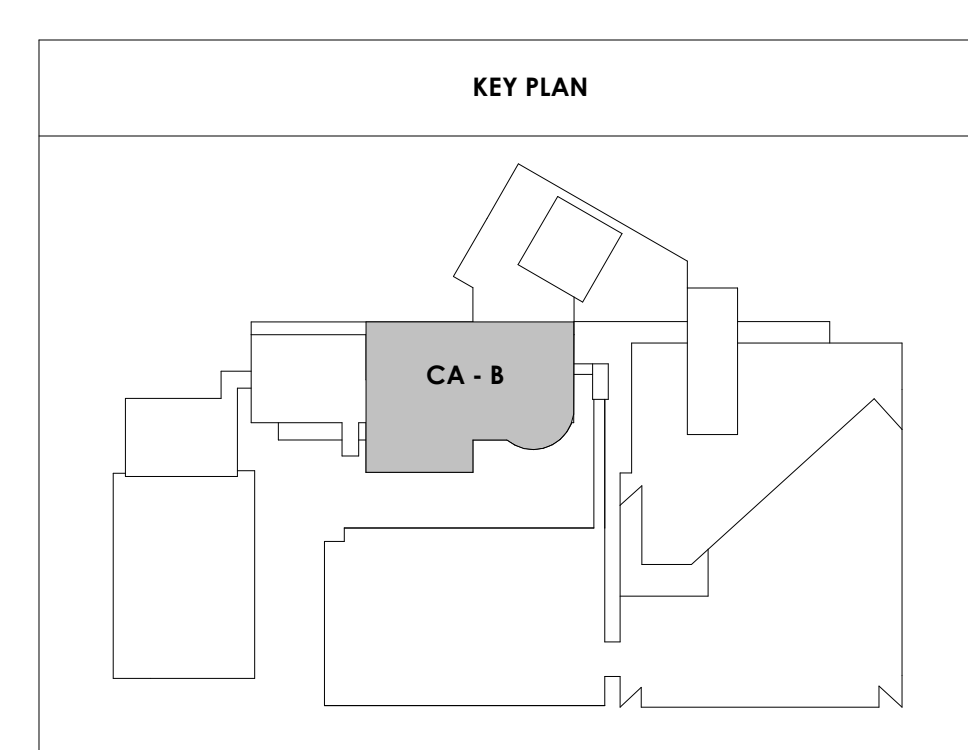
Issue Date: FEBRUARY 1, 2021
 PIC: DAVID COLLINS
 PM: JOHN THURMAN
 PA: LAUREN BUSH /
 Drawn By: P. SUITE
 Checked By: P. MCCOWN

Drawing Info:
P213.2
 CA - LEVEL GROUND B FLOOR PLAN - SANITARY

NOTE:
 EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
 EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



CENTRAL ANNEX - GROUND LEVEL B FLOOR PLAN - SANITARY
 1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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ISSUE DATE

#	ISSUE	DATE

Issue Date: AUGUST 28, 2020

PIE DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

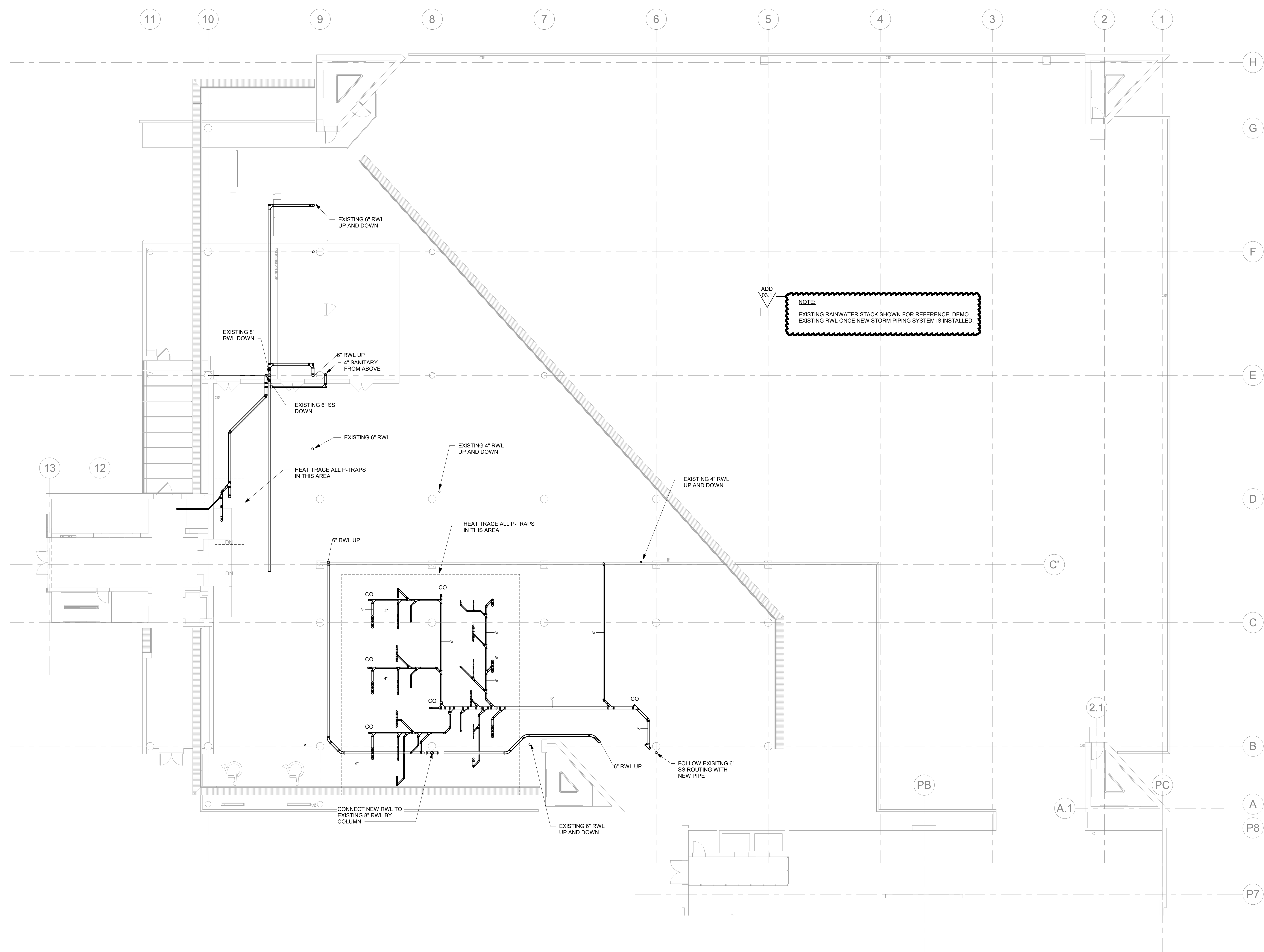
Drawn By: P. SUITE

Checked By: P. MCCOWN

Drawing Info:

P223

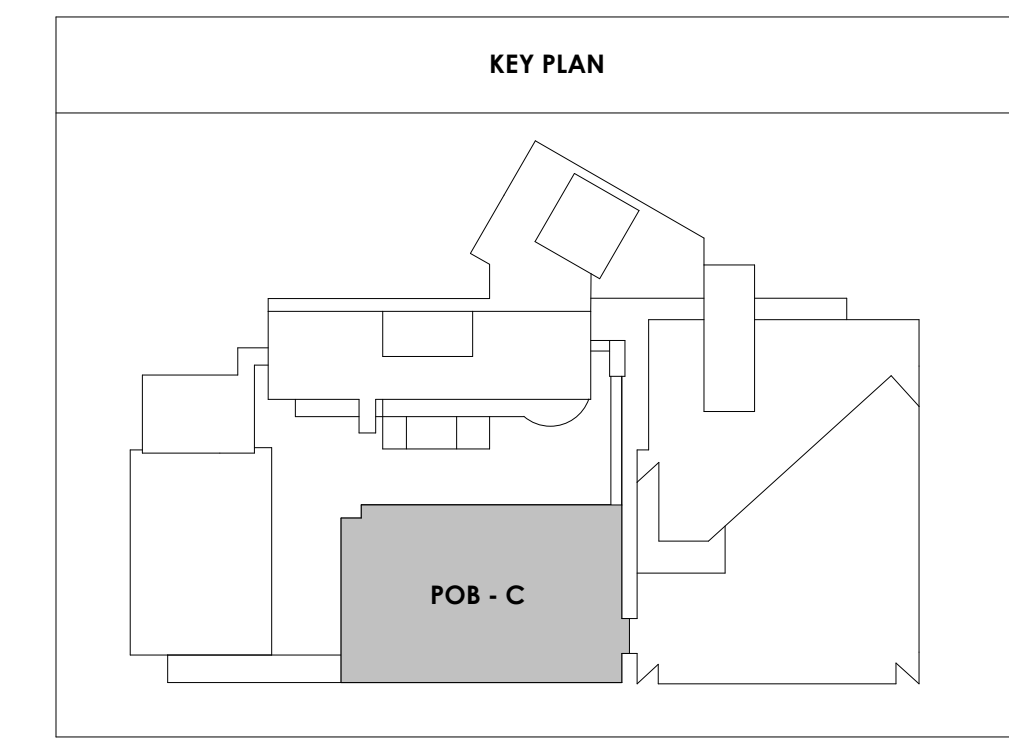
POB - PARKING P4
FLOOR PLAN -
SANITARY



ADD 03.1

NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

PARKING LEVEL P4 - FLOOR PLAN - SANITARY
P223 3/8\"/>=1'-0\"/>



2/24/2021 4:58:24 PM



Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



I.C. THOMASSON ASSOCIATES, INC.
1114 CLINCH AVENUE, SUITE 200
KNOXVILLE, TENNESSEE 37916
PHONE (865) 525-3488
FAX (865) 525-4471
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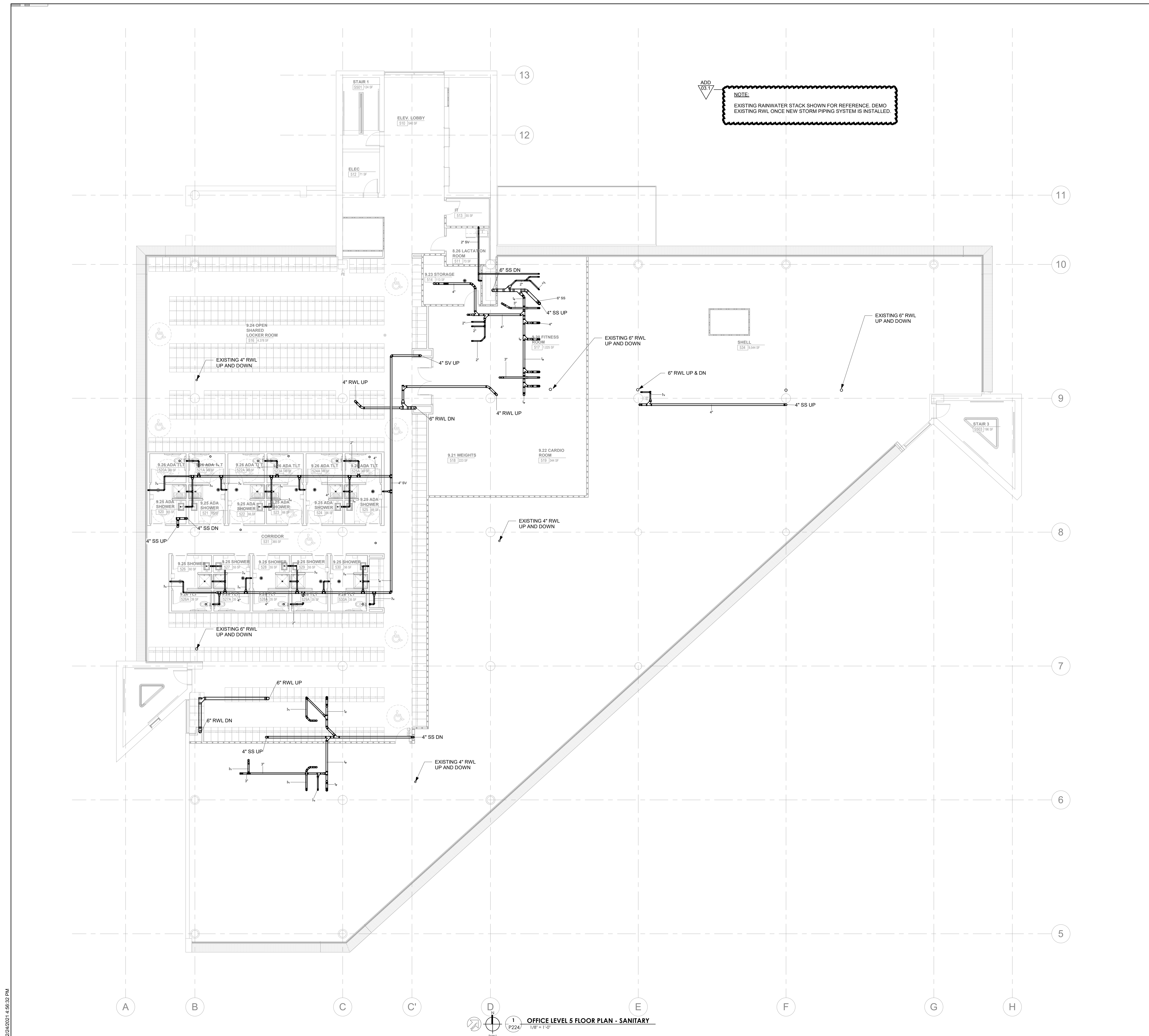
#	ISSUE	DATE

Issue Date: AUGUST 28, 2020
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:

P224

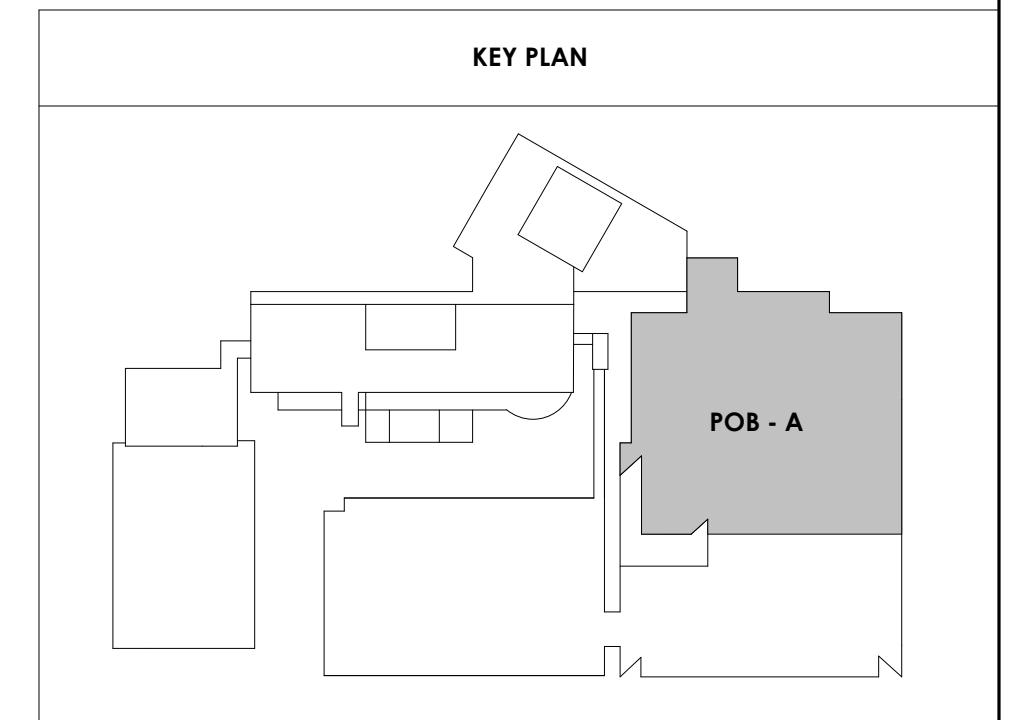
POB - OFFICE LEVEL 5
FLOOR PLAN -
SANITARY



NOTE:
 EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
 EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.

2/24/2021 4:58:32 PM

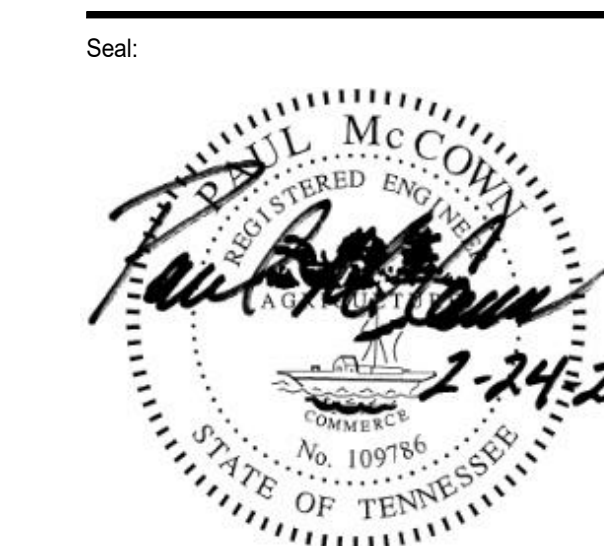
OFFICE LEVEL 5 FLOOR PLAN - SANITARY
 1/8" = 1'-0"





Project Information:
19018

COK SAFETY BUILDING
900 East Oak Hill Ave, Knoxville, TN



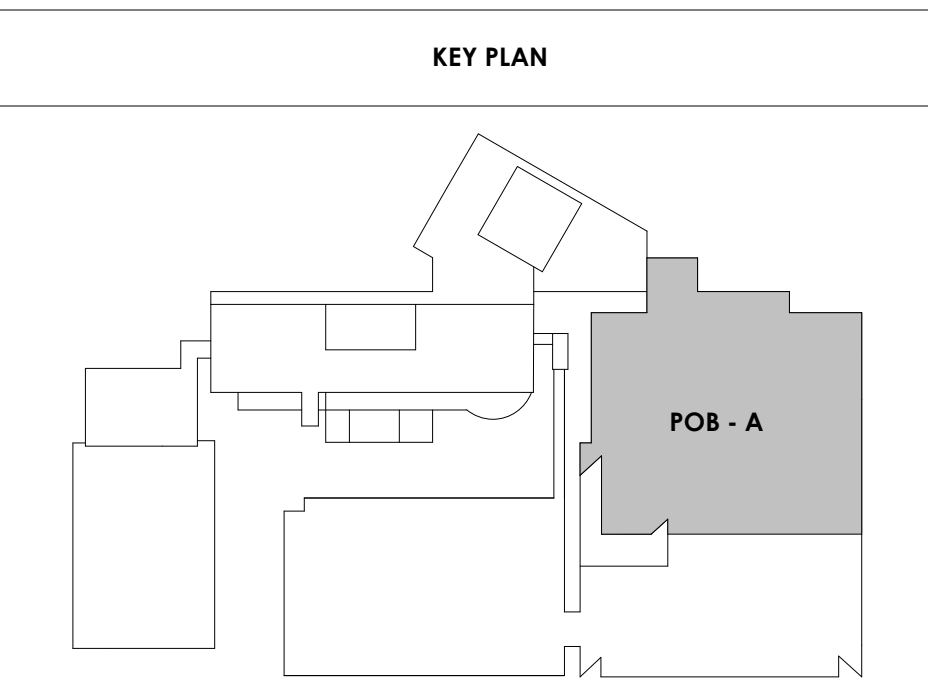
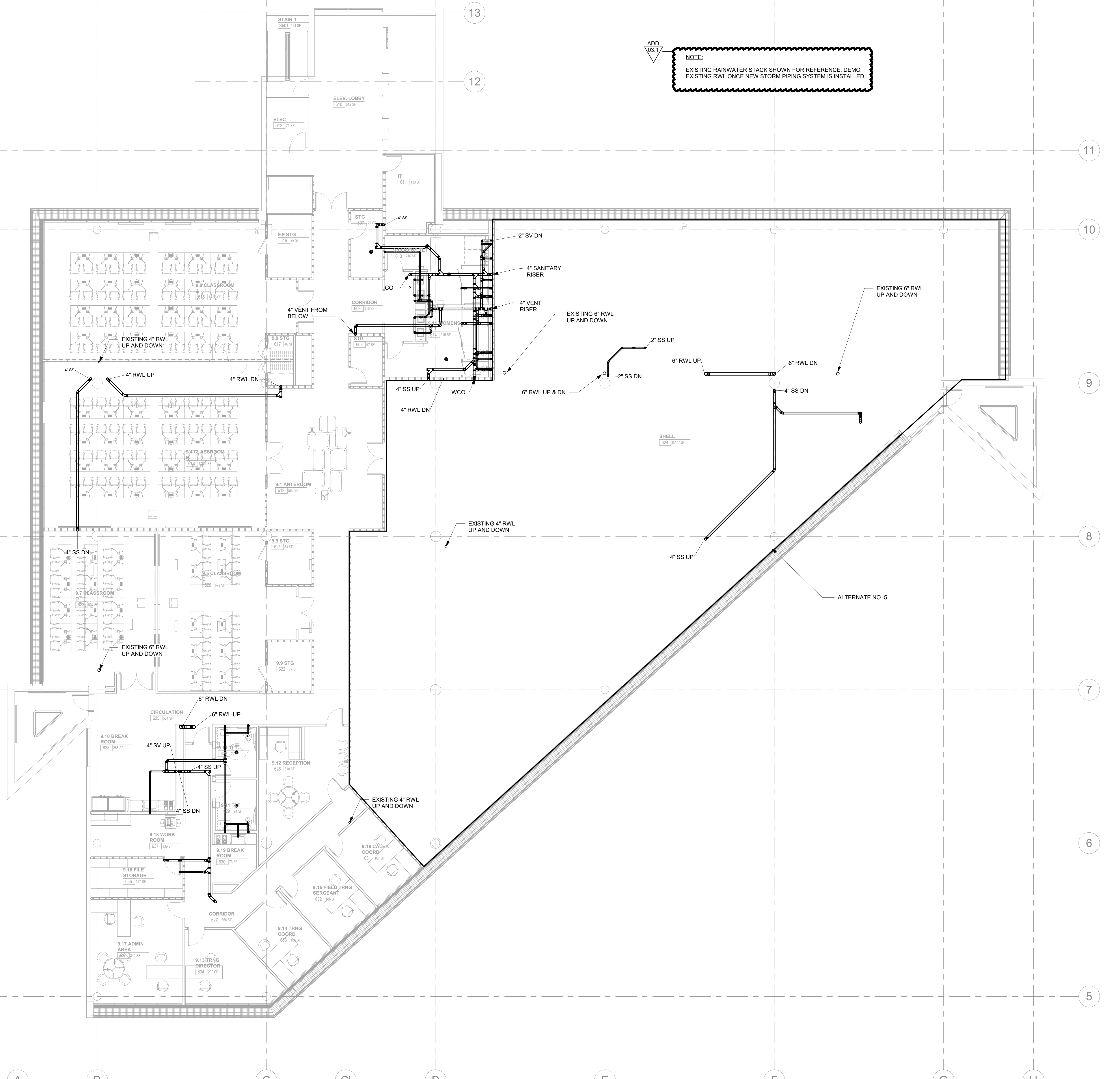
Consultant: **ICT**
I.C. THOMASSON ASSOCIATES, INC.
1114 CLINCH AVENUE, SUITE 200
KNOXVILLE, TENNESSEE 37916
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Issue Date: AUGUST 28, 2020
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: P. SUITE
Checked By: P. MCCOWN

Drawing Info:
P225
POB - OFFICE LEVEL 6
FLOOR PLAN -
SANITARY

ADD
03.7
NOTE:
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
EXISTING RWL ONCE NEW STORM PIPING SYSTEM IS INSTALLED.



POB Office Level 6 - Floor Plan
1 P225
1/8" = 1'-0"



Project Information:

19018

COK SAFETY BUILDING

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Consultant:



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KNOXVILLE, TENNESSEE 37916
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#	ISSUE	DATE

Issue Date: AUGUST 28, 2020

PIC DAVID COLLINS

PM JOHN THURMAN

PA LAUREN BUSH /

Drawn By: P. SUITE

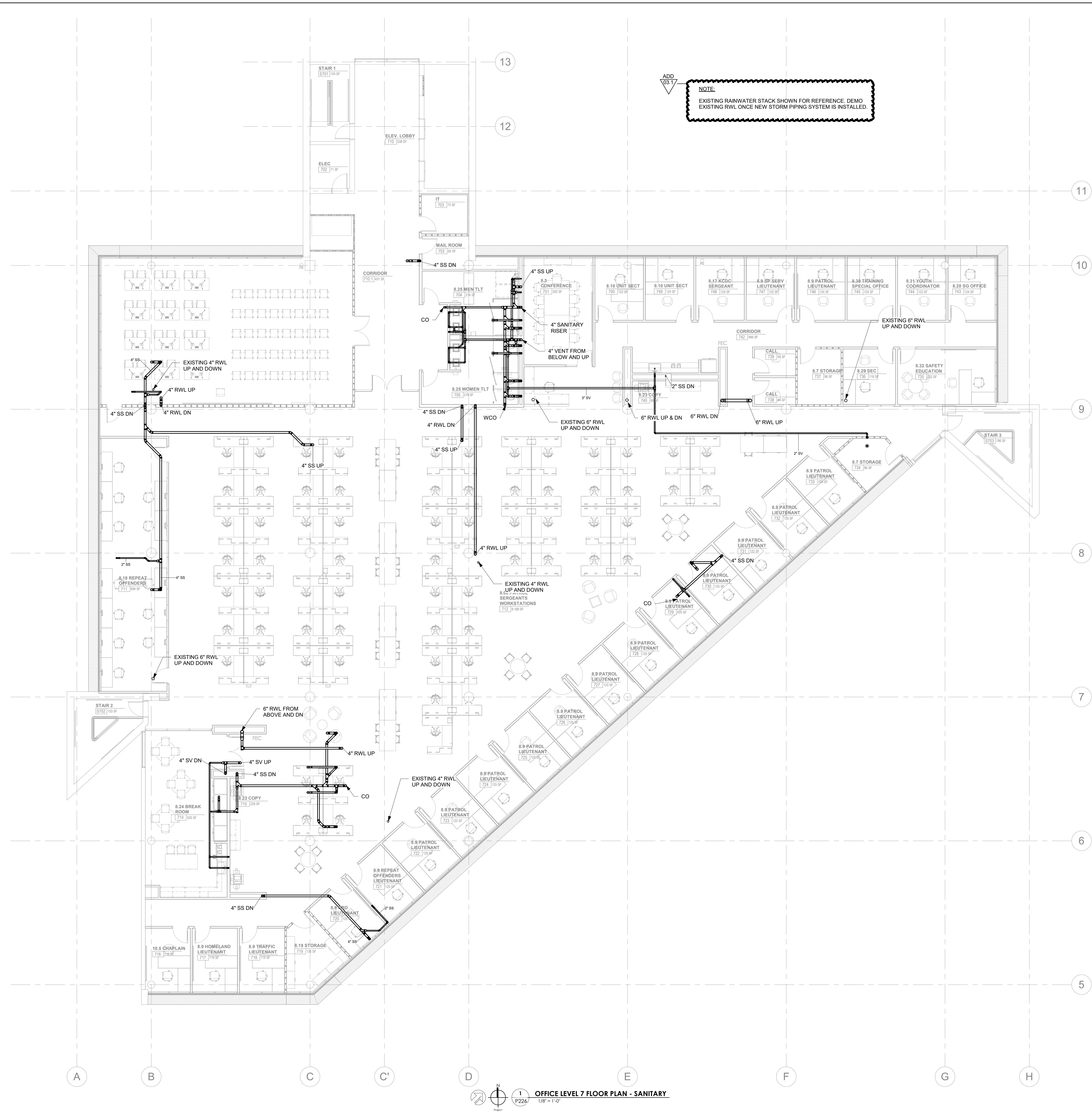
Checked By: P. MCCOWN

Drawing Info:

P226

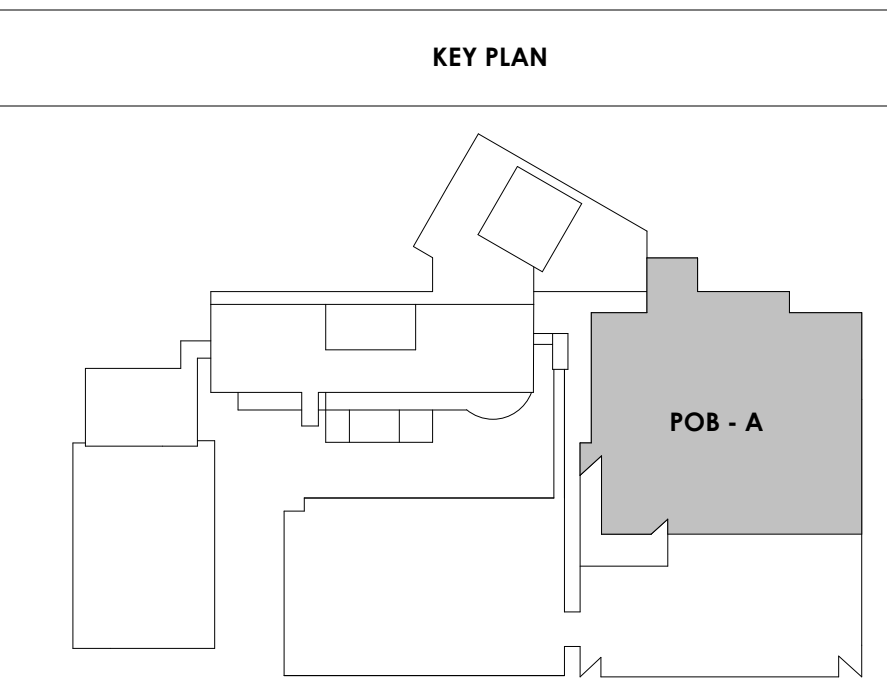
POB - OFFICE LEVEL 7
FLOOR PLAN -
SANITARY

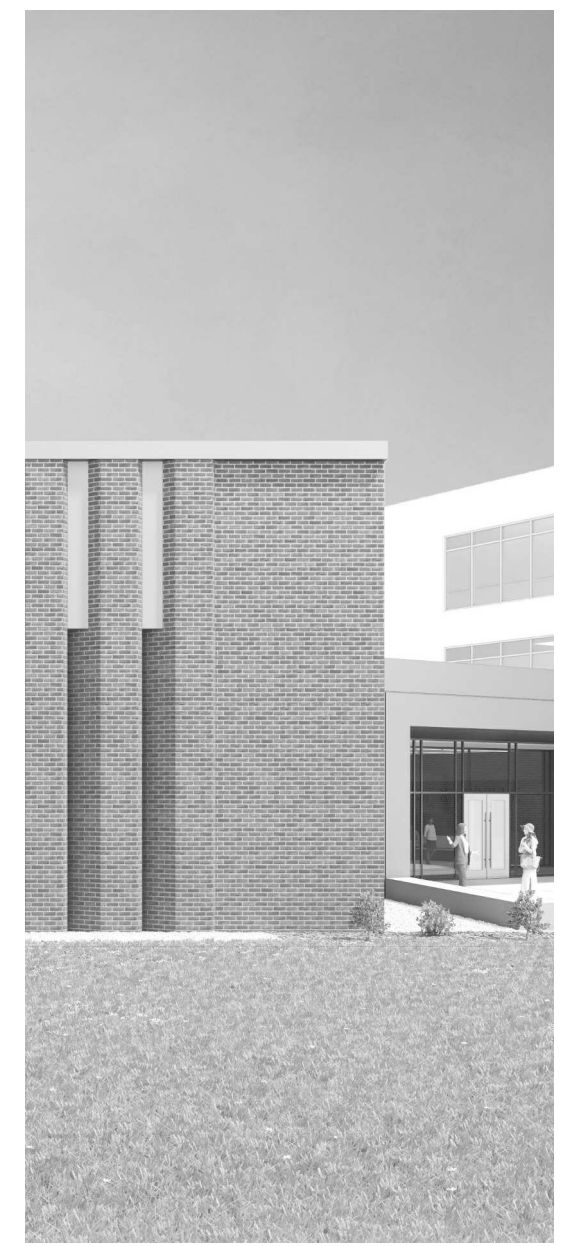
2/24/2021 4:58:48 PM



NOTE
EXISTING RAINWATER STACK SHOWN FOR REFERENCE. DEMO
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OFFICE LEVEL 7 FLOOR PLAN - SANITARY
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



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#	ISSUE	DATE
1	Addendum #02.1	02/17/21
2	Addendum #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: CAD
Checked By: EPV

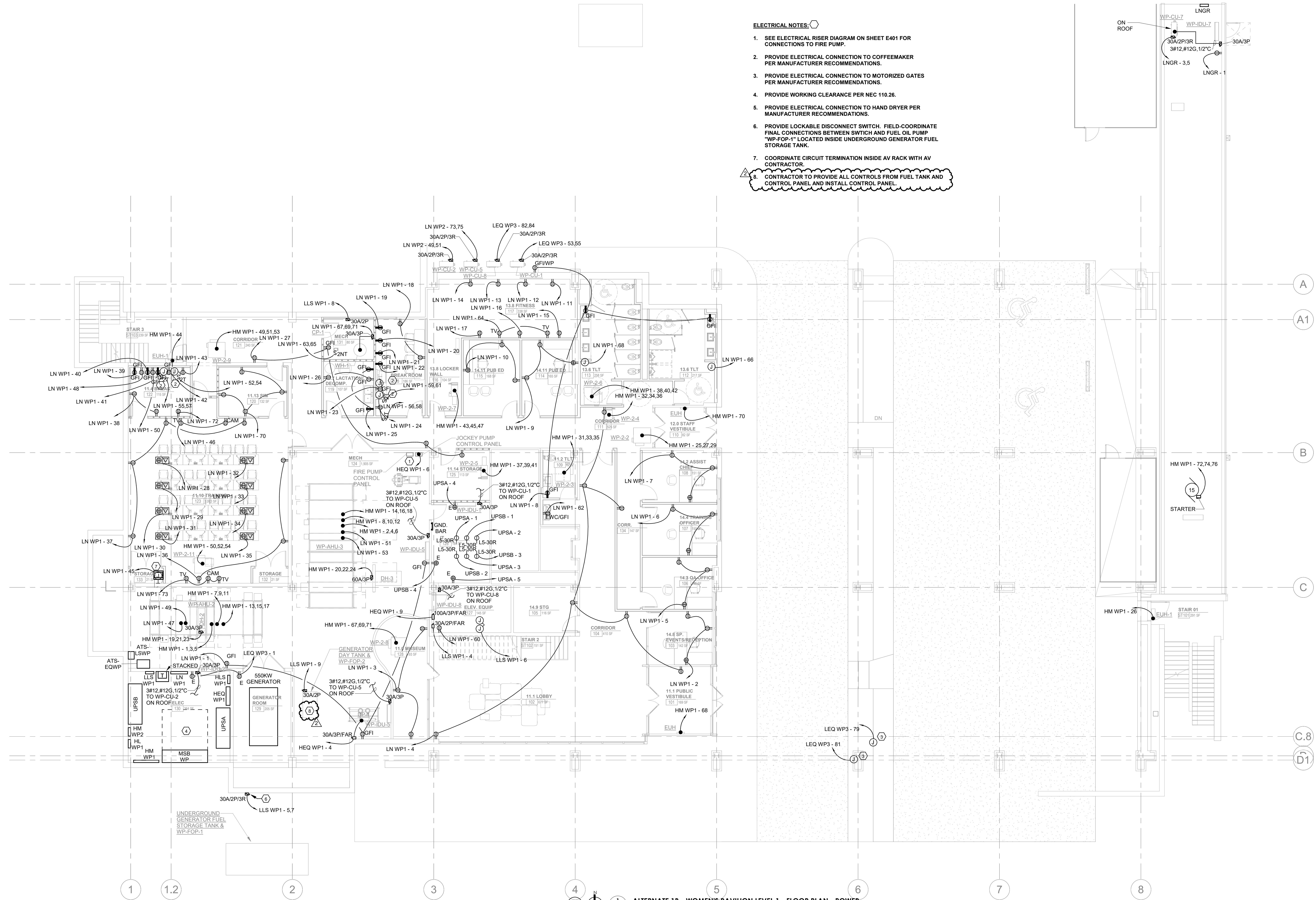
Drawing Info:

E201

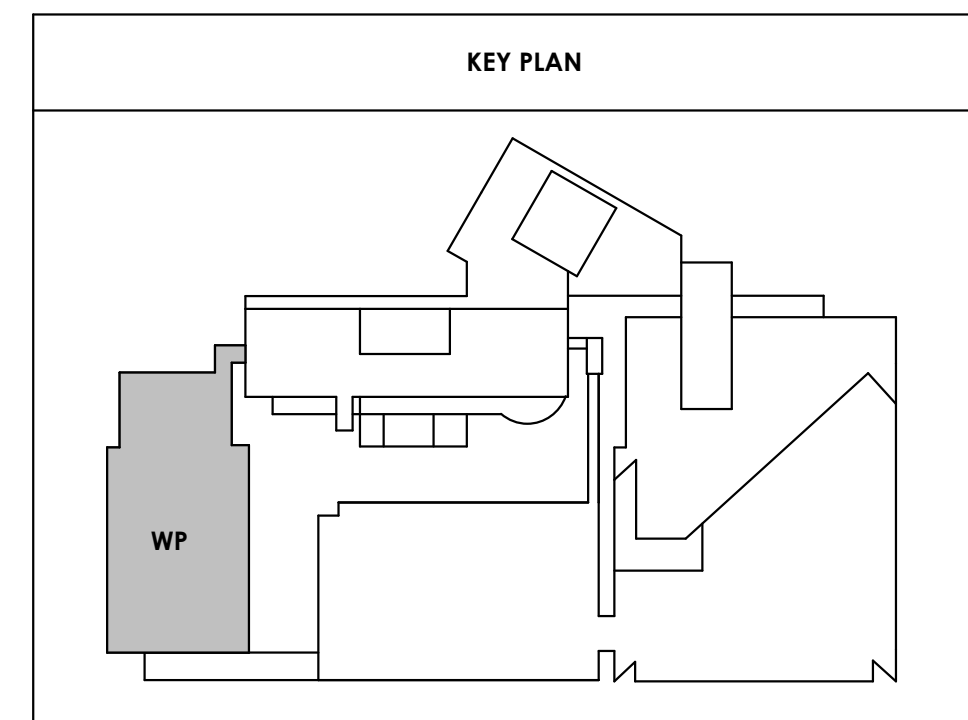
WP - FIRST LEVEL
FLOOR PLAN - POWER

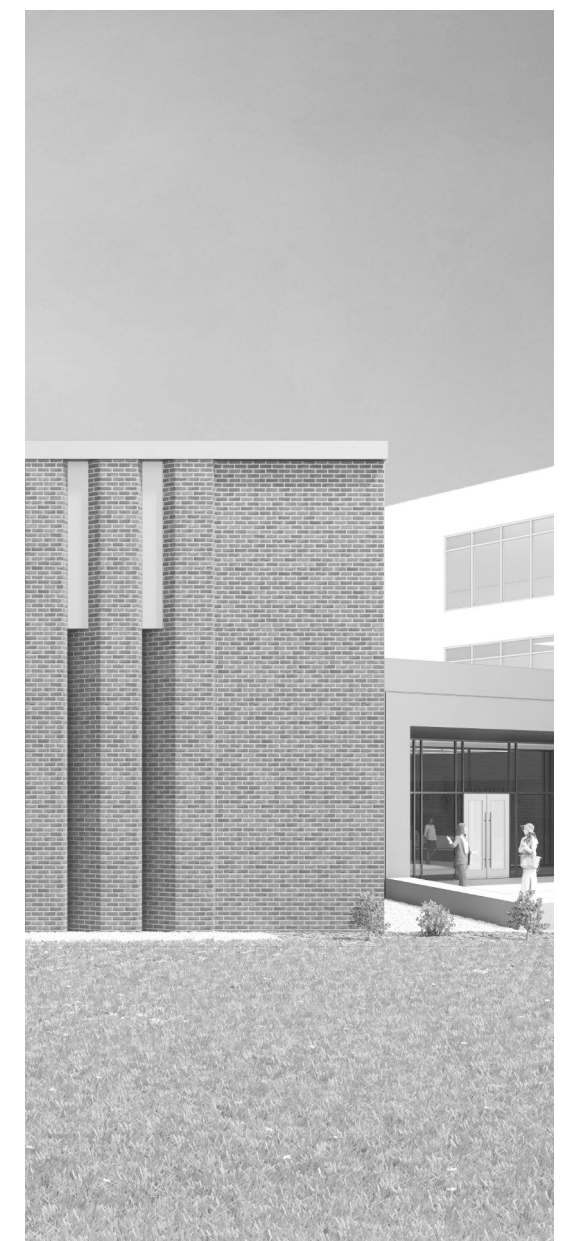
ELECTRICAL NOTES:

- SEE ELECTRICAL RISER DIAGRAM ON SHEET E401 FOR CONNECTIONS TO FIRE PUMP.
- PROVIDE ELECTRICAL CONNECTION TO COFFEEMAKER PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE ELECTRICAL CONNECTION TO MOTORIZED GATES PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE WORKING CLEARANCE PER NEC 110.26.
- PROVIDE ELECTRICAL CONNECTION TO HAND DRYER PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE LOCKABLE DISCONNECT SWITCH. FIELD-COORDINATE FINAL CONNECTIONS BETWEEN SWITCH AND FUEL OIL PUMP "WP-FOP-1" LOCATED INSIDE UNDERGROUND GENERATOR FUEL STORAGE TANK.
- COORDINATE CIRCUIT TERMINATION INSIDE AV RACK WITH AV CONTRACTOR.
- CONTRACTOR TO PROVIDE ALL CONTROLS FROM FUEL TANK AND CONTROL PANEL AND INSTALL CONTROL PANEL.



1 E201 ALTERNATE 1B - WOMEN'S PAVILION LEVEL 1 - FLOOR PLAN - POWER
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



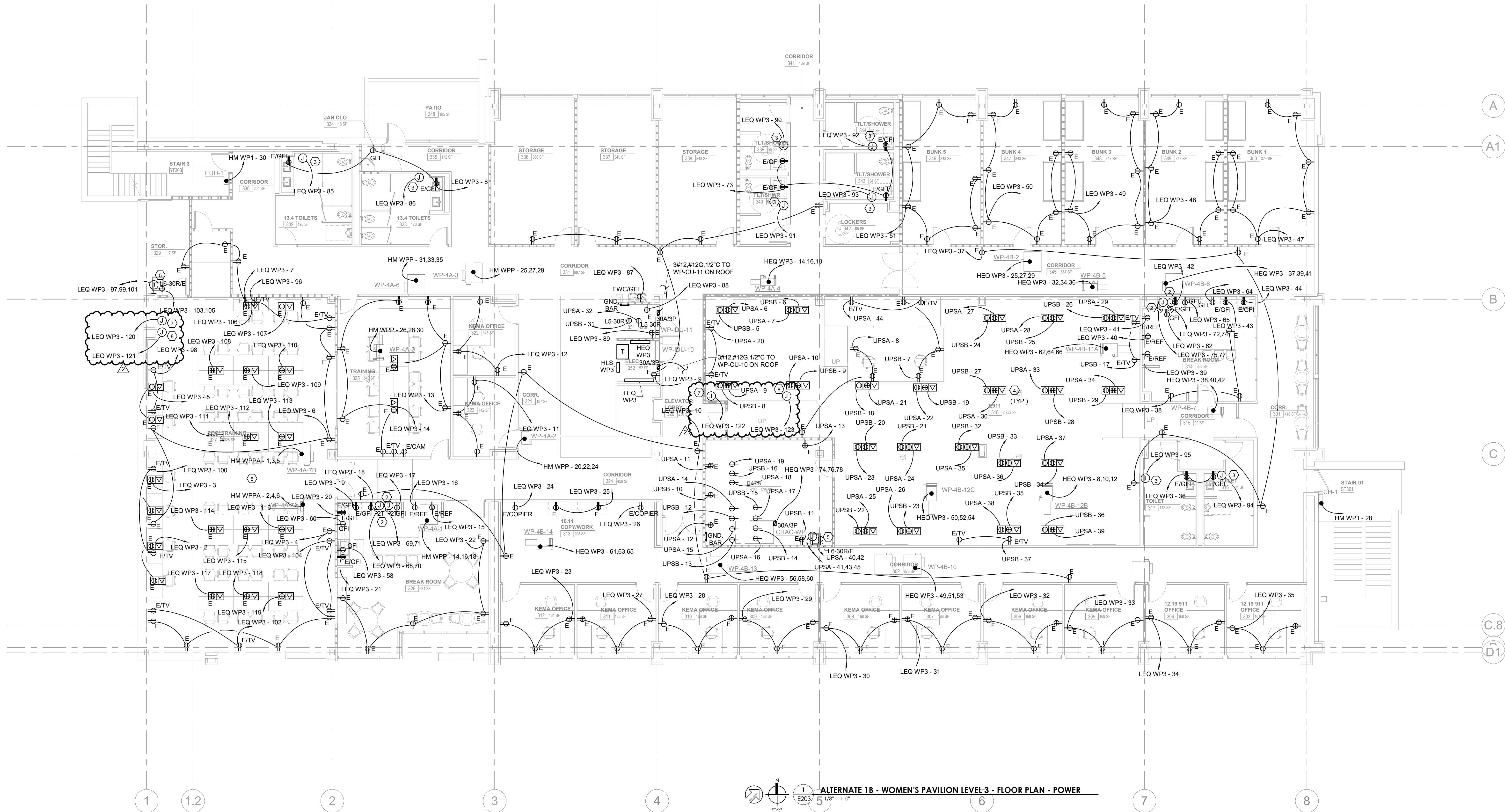
I.C. THOMASSON ASSOCIATES, INC.
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KNOXVILLE, TENNESSEE 37916
PHONE (865) 525-3488
FAX (865) 525-4471
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#	ISSUE	DATE
2	Addendum #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021
PIC: DAVID COLLINS
PM: JOHN THURMAN
PA: LAUREN BUSH /
Drawn By: CAD
Checked By: EPV
Drawing Info:

E203

WP - THIRD LEVEL FLOOR PLAN - POWER



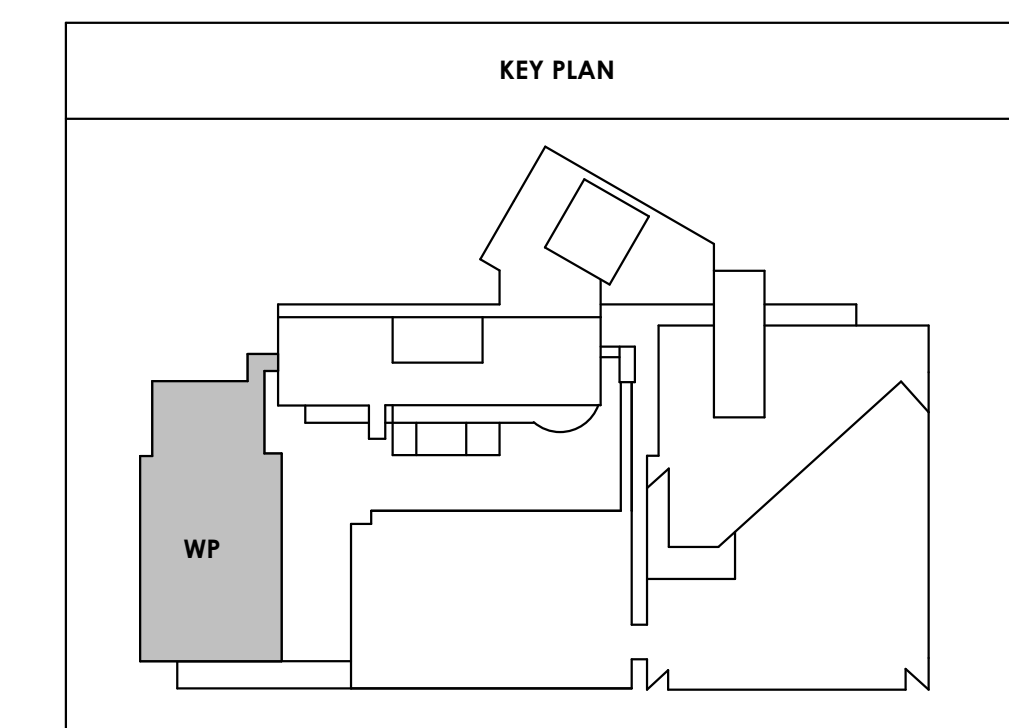
ALTERNATE 1B - WOMEN'S PAVILION LEVEL 3 - FLOOR PLAN - POWER

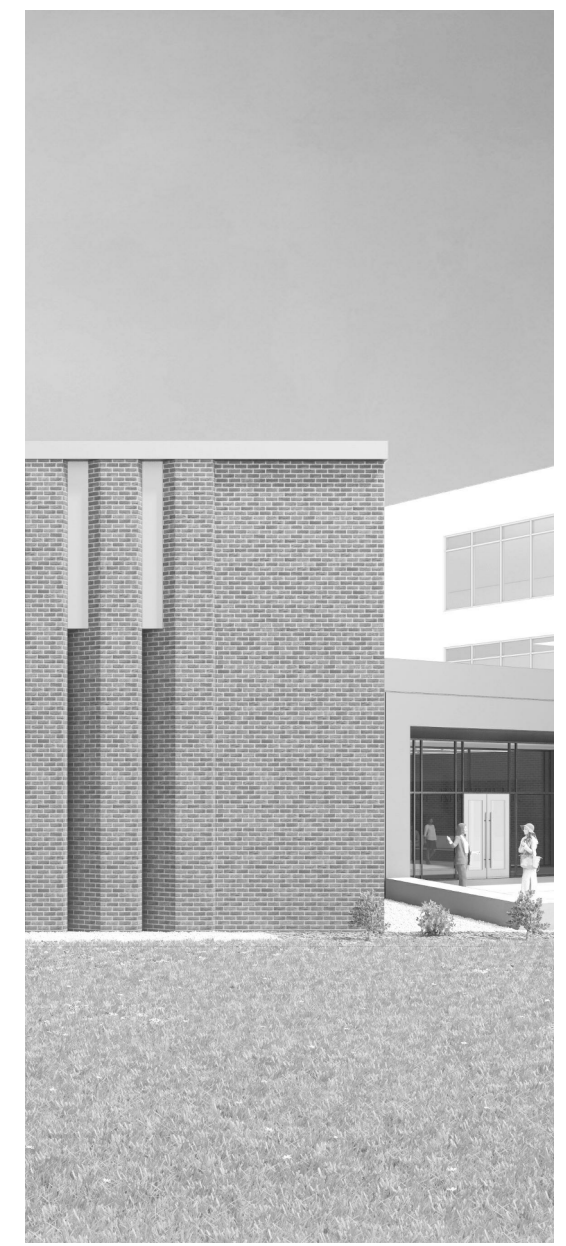
GENERAL NOTES:

- ALL ELECTRICAL SYSTEMS INSTALLED ON THE THIRD LEVEL AND ALL FEEDS TO THE THIRD LEVEL SHALL BE INSTALLED PER NEC ARTICLE 708.

ELECTRICAL NOTES:

- PROVIDE ELECTRICAL CONNECTION TO FURNITURE PER MANUFACTURER'S RECOMMENDATIONS. (TYPICAL OF ALL CUBICLES). FEED FROM WALL WHERE FURNITURE IS ADJACENT TO WALL. PROVIDE FLOORBOX OR POKE THRU FOR FURNITURE NOT ADJACENT TO A WALL.
- PROVIDE ELECTRICAL CONNECTION TO COFFEEMAKER PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE ELECTRICAL CONNECTION TO HAND DRYER PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE FLOORBOX IN RAISED FLOOR MODEL NFUSA 111016. REFERENCE SPECIFICATION SECTION 10270. (TYPICAL OF ALL FLOORBOXES IN E911).
- COORDINATE CIRCUIT TERMINATIONS INSIDE AV RACK WITH AV CONTRACTOR.
- PROVIDE 5' OF SLACK CONNECTION TO FLOOR BOXES IN E911 TRAINING TO ALLOW FOR ADJUSTMENT.
- PROVIDE ELECTRICAL CONNECTION TO THE VERY EARLY WARNING ASPIRATING SYSTEM CONTROL PANEL SERVING THIS AREA.
- PROVIDE ELECTRICAL CONNECTION TO ANSUL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



ICT
L.C. THOMASSON ASSOCIATES, INC.
1114 CLINCH AVENUE, SUITE 200
KNOXVILLE, TENNESSEE 37916
PHONE (865) 525-3488
FAX (865) 525-4471
www.ictthomason.com

#	ISSUE	DATE
2	Addendum #03.1	02/24/21

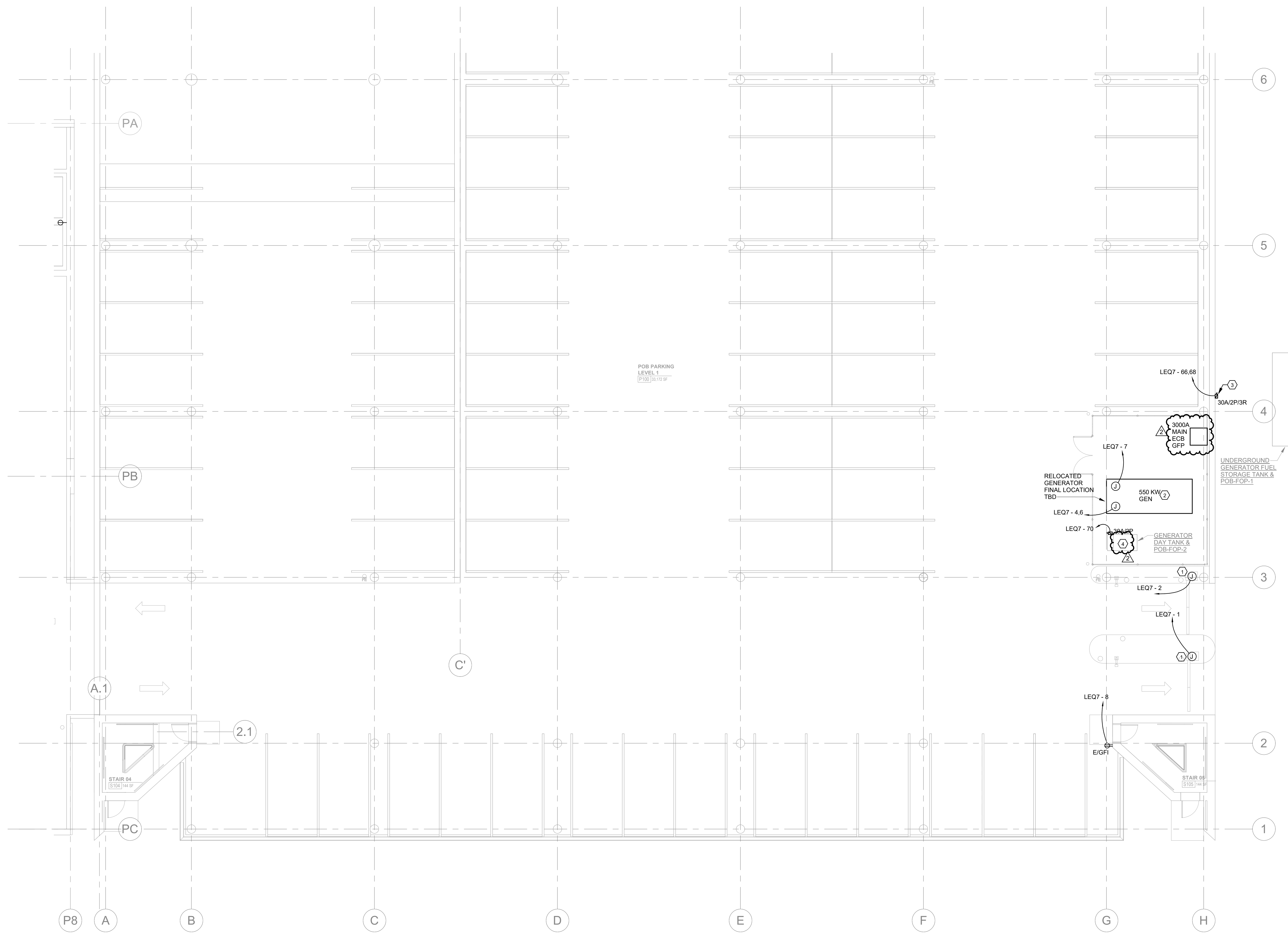
Issue Date:	FEBRUARY 1, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	CADD
Checked By:	EPV
Drawing Info:	

E220.2

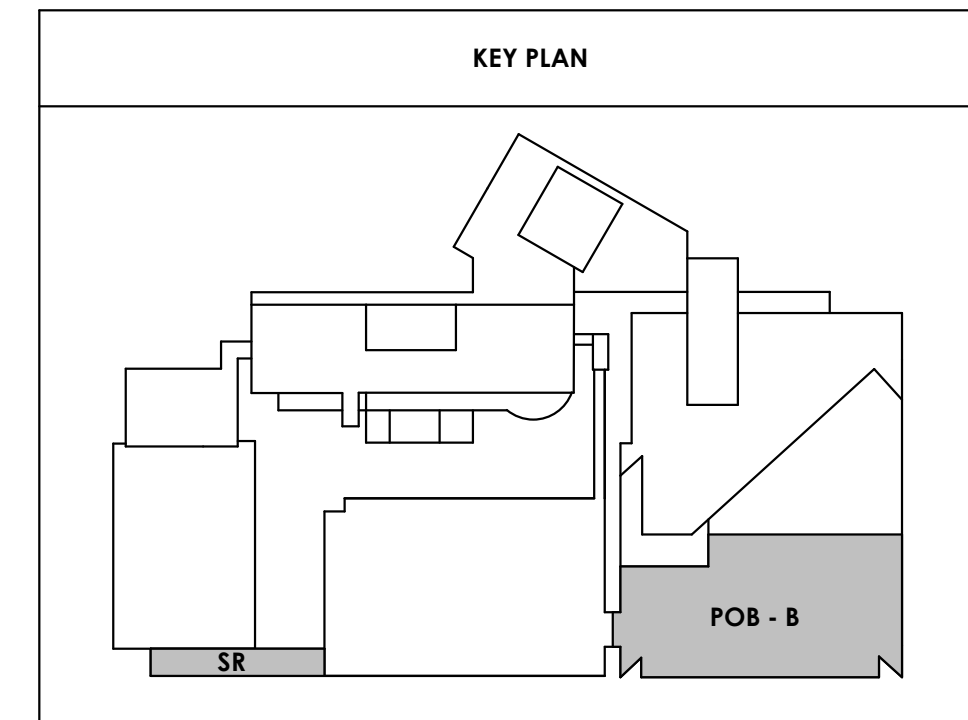
PARKING LEVEL P1 B - POWER

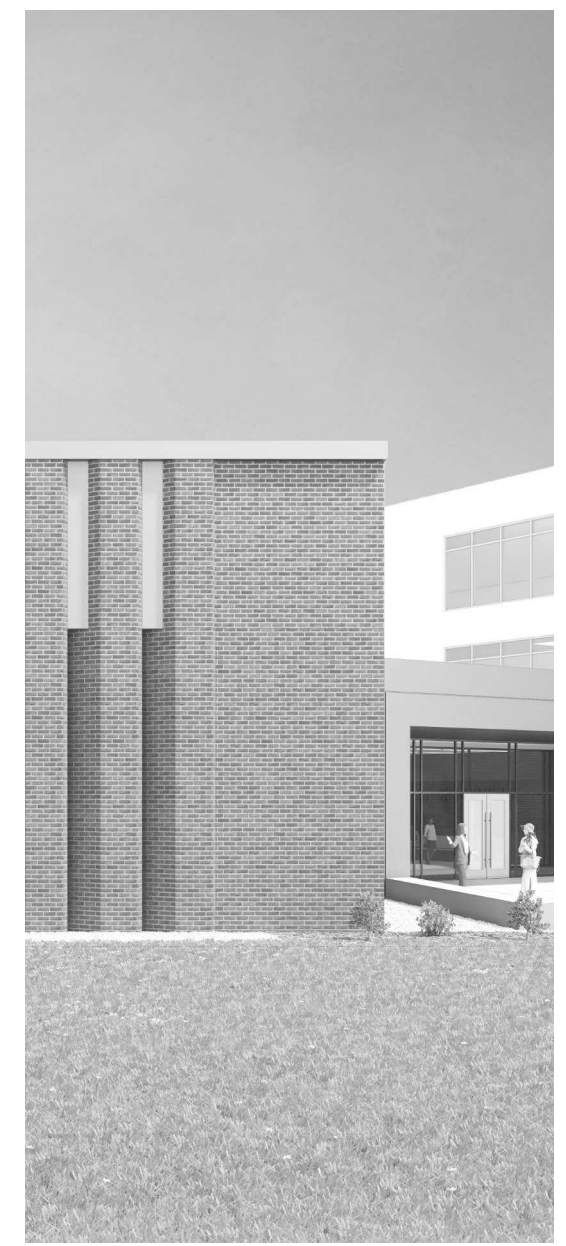
ELECTRICAL NOTES:

1. PROVIDE ELECTRICAL INFRASTRUCTURE TO SECURITY GATES AND ACCESS CONTROLS PER VENDOR REQUIREMENTS.
2. EXISTING 550KW GENERATOR IN CLARKE TOWER TO BE RELOCATED TO LOCATION INDICATED. EXISTING GENERATOR SHALL BE SHIPPED TO A CERTIFIED GENERATOR DISTRIBUTOR FOR RECERTIFICATION. PROVIDE NEW 1500 GALLON TANK UNDERGROUND.
3. PROVIDE LOCKABLE DISCONNECT SWITCH. FIELD-COORDINATE FINAL CONNECTIONS BETWEEN SWITCH AND FUEL OIL PUMP "POB-FOP-1" LOCATED INSIDE UNDERGROUND GENERATOR FUEL STORAGE TANK.
4. CONTRACTOR TO PROVIDE ALL CONTROLS FROM FUEL TANK AND CONTROL PANEL AND INSTALL CONTROL PANEL.



PARKING LEVEL P1 B - FLOOR PLAN - POWER
1/8" = 1'-0"





Project Information:

19018

COK SAFETY BUILDING

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



I.C. THOMASSON ASSOCIATES, INC.
1114 CLINCH AVENUE, SUITE 200
KNOXVILLE, TENNESSEE 37916
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FAX (865) 525-4471
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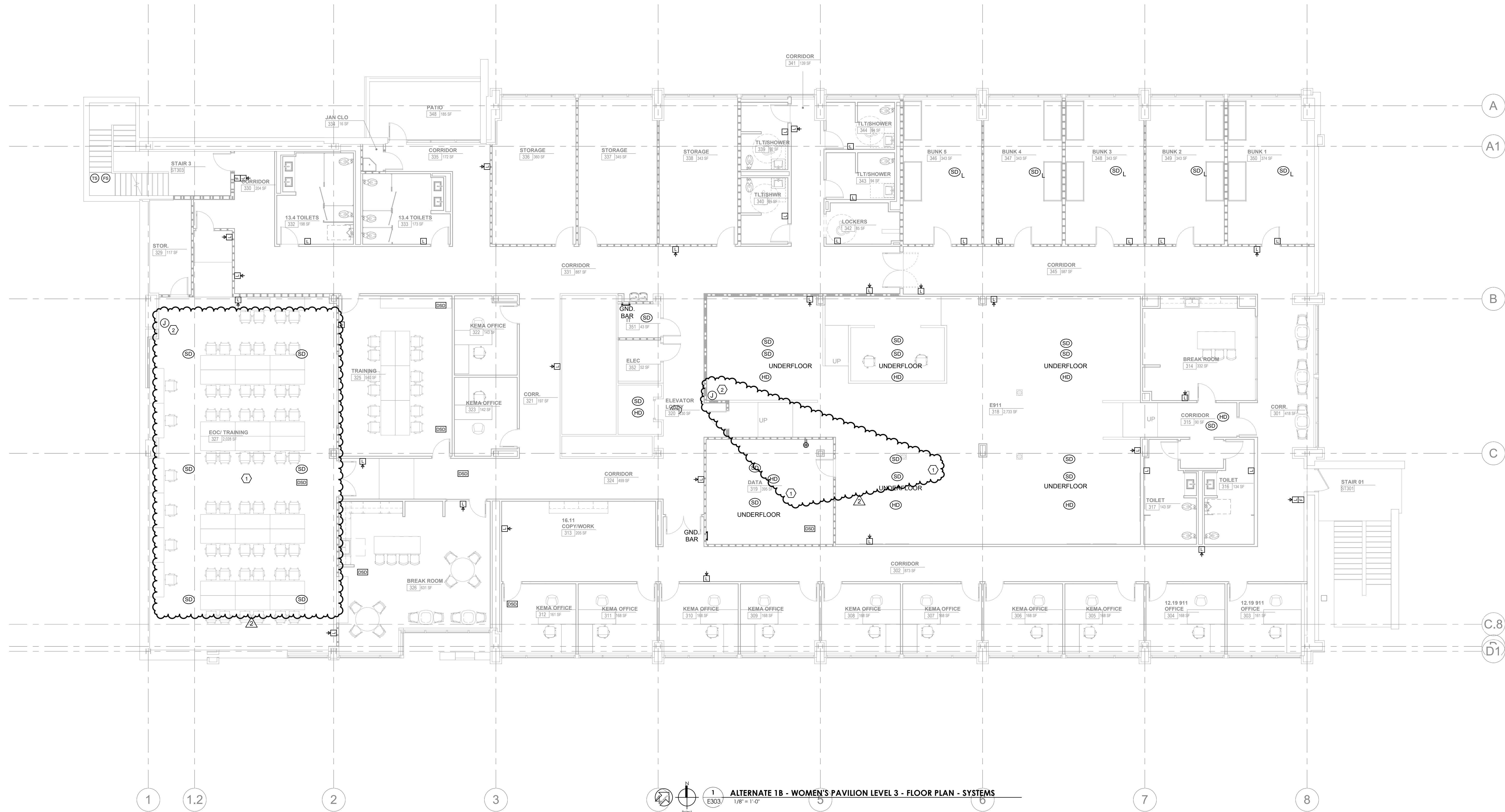
#	ISSUE	DATE
2	Addendum #03.1	02/24/21

Issue Date:	FEBRUARY 01, 2021
PIC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	CADD
Checked By:	EPV

Drawing Info:

E303

WP - THIRD LEVEL
FLOOR PLAN -
SYSTEMS

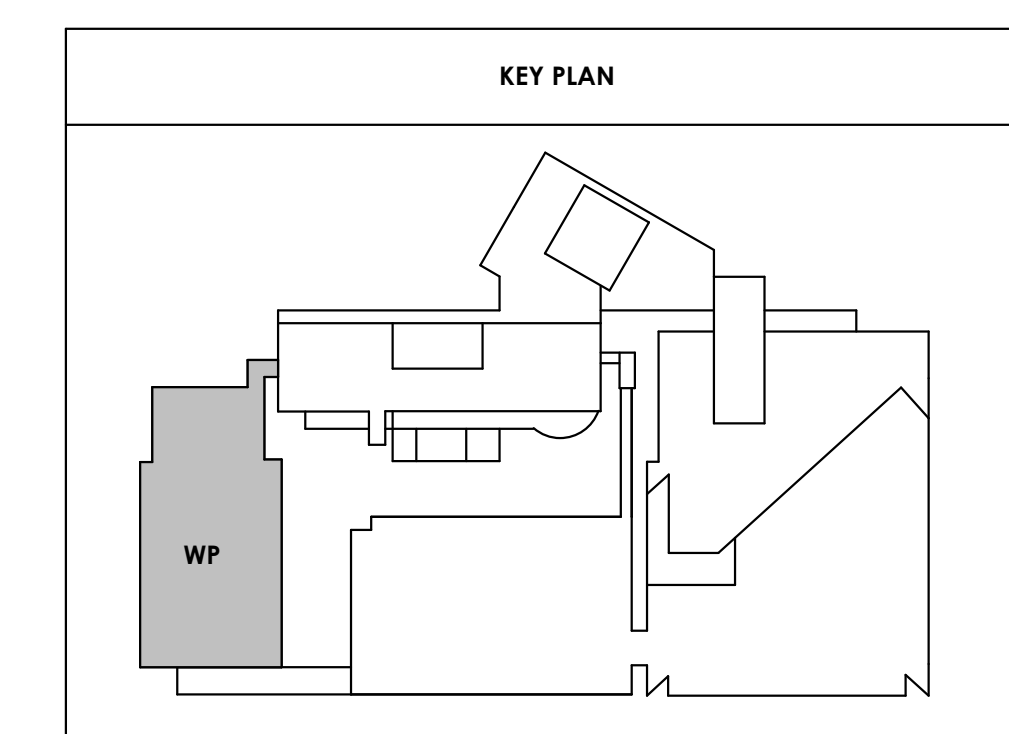


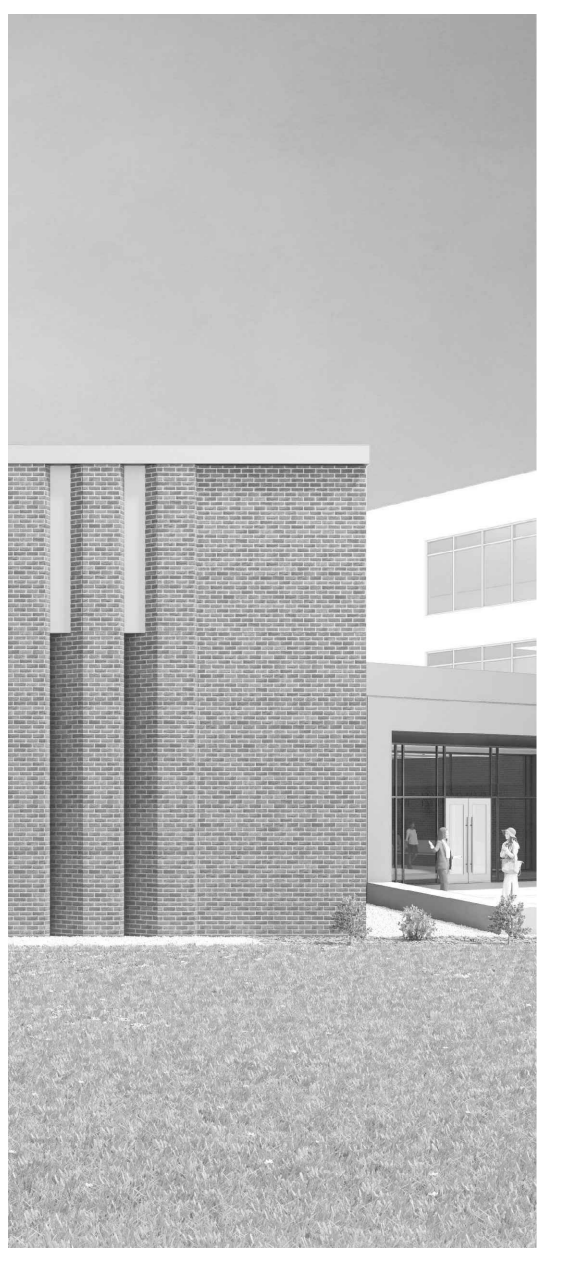
GENERAL NOTES:

- A. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE THROUGHOUT BUILDING PER SPECIFICATION SECTION 27.32.43.

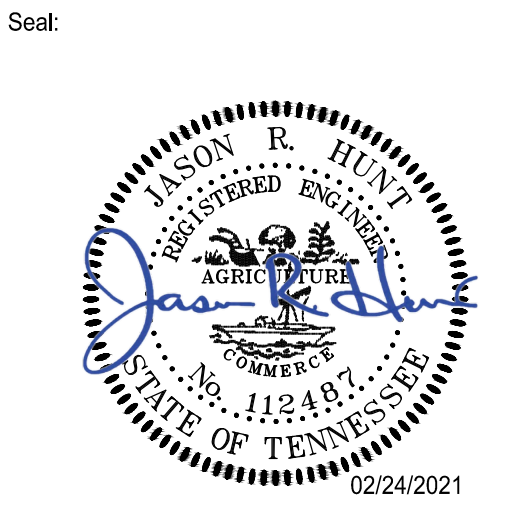
ELECTRICAL NOTES:

1. PROVIDE VERY EARLY WARNING ASPIRATING SYSTEM IN THIS ROOM.
2. PROVIDE FIRE ALARM CONNECTION TO ANSUL SYSTEM AND VERY EARLY WARNING ASPIRATING SYSTEM.





Project Information:
19018
CCI Project # 00227-0043
**COK PUBLIC SAFETY
OLDHAM PARKING
LOT UPGRADES**
900 East Oak Hill Ave, Knoxville, TN

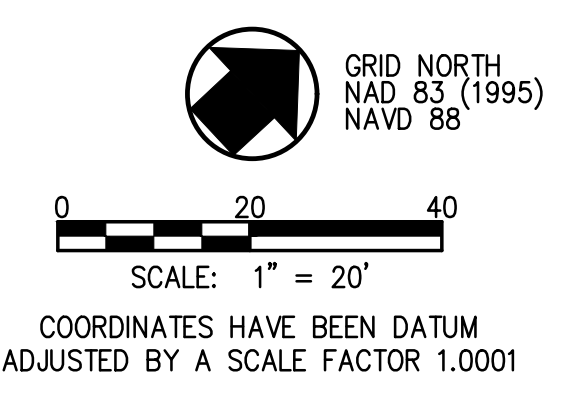


Consultant:
CANNON & CANNON INC.
CONSULTING ENGINEERS
FIELD SURVEYORS
1808 Kingston Pike
Knoxville, TN 37919
865.570.8555

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date:	FEBRUARY 01, 2021
PIC:	JRH
PM:	JRH
PA:	JRH
Drawn By:	CIO
Checked By:	AWG
Drawn Info:	

C101
SITE LAYOUT AND
STRIPING PLAN
Copyright © 2019 McCarthy Holtsapple McCarty



PROPERTY DATA:

OWNER/DEVELOPER:	CITY OF KNOXVILLE 400 MAIN ST., SUITE 1631 KNOXVILLE, TN 37903 CONTACT: DAVID BRACE
PARCEL ID NUMBER:	081E018
JURISDICTION:	CITY OF KNOXVILLE
ZONING:	INST "INSTITUTIONAL ZONING DISTRICT"
PROJECT AREA (BP4):	2.47 AC (TOTAL) 0.66 AC (DISTURBED)

IMPERVIOUS AREA SUMMARY:

EXISTING IMPERVIOUS AREA (BID PACKAGE 4 ONLY)	= 1.48 AC.±
IMPERVIOUS AREA REMOVED IN BID PACKAGE 4 DEMOLITION	= 0.10 AC.±
PROPOSED IMPERVIOUS AREA PER BID PACKAGE 4	= 0.03 AC.±
POST DEVELOPED TOTAL IMPERVIOUS AREA (BID PACKAGE 4 ONLY)	= 1.41 AC.±

LEGEND

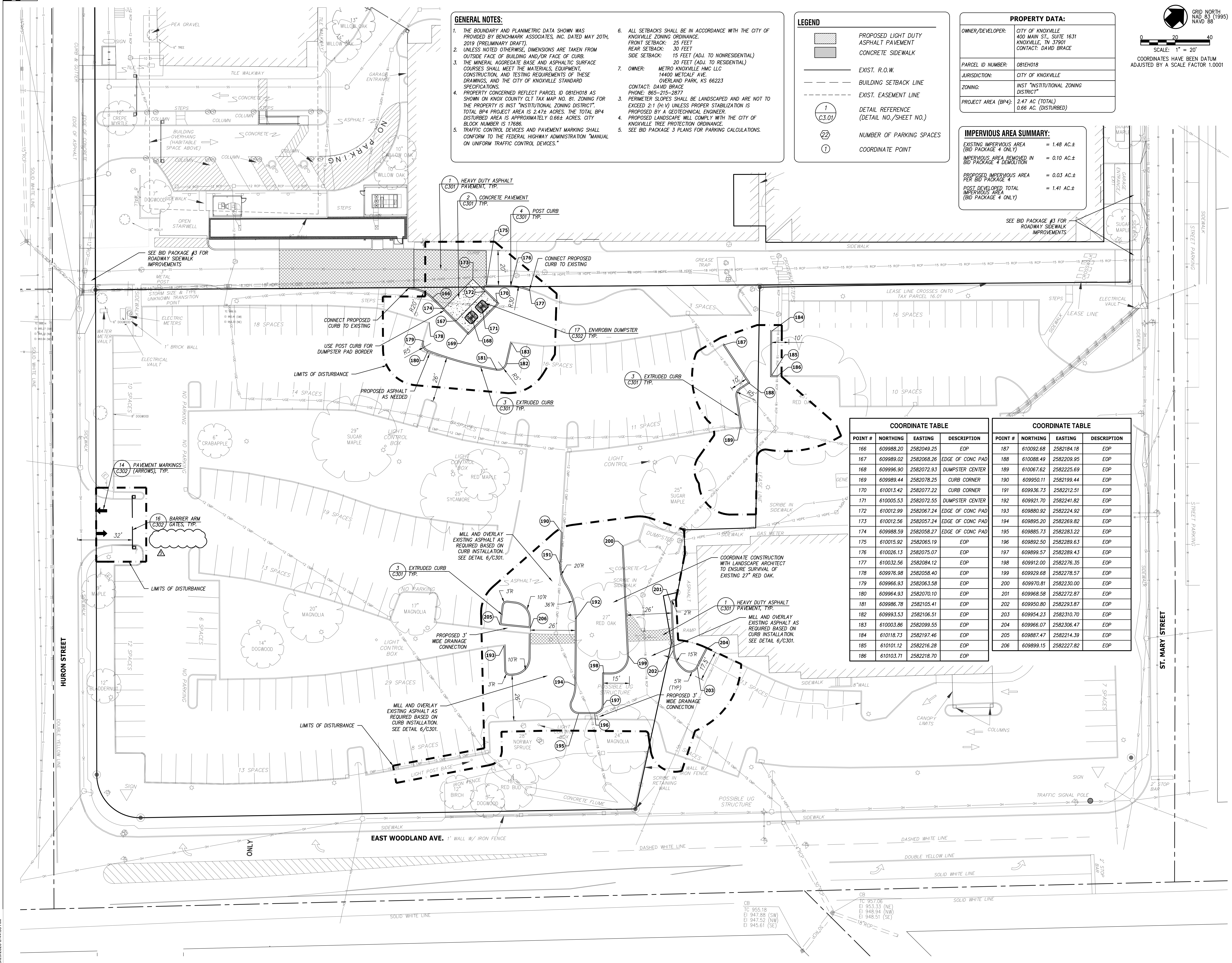
(Pattern)	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
(Pattern)	CONCRETE SIDEWALK
(Line)	EXIST. R.O.W.
(Line)	BUILDING SETBACK LINE
(Line)	EXIST. EASEMENT LINE
(Circle)	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
(Circle with number)	NUMBER OF PARKING SPACES
(Circle with number)	COORDINATE POINT

GENERAL NOTES:

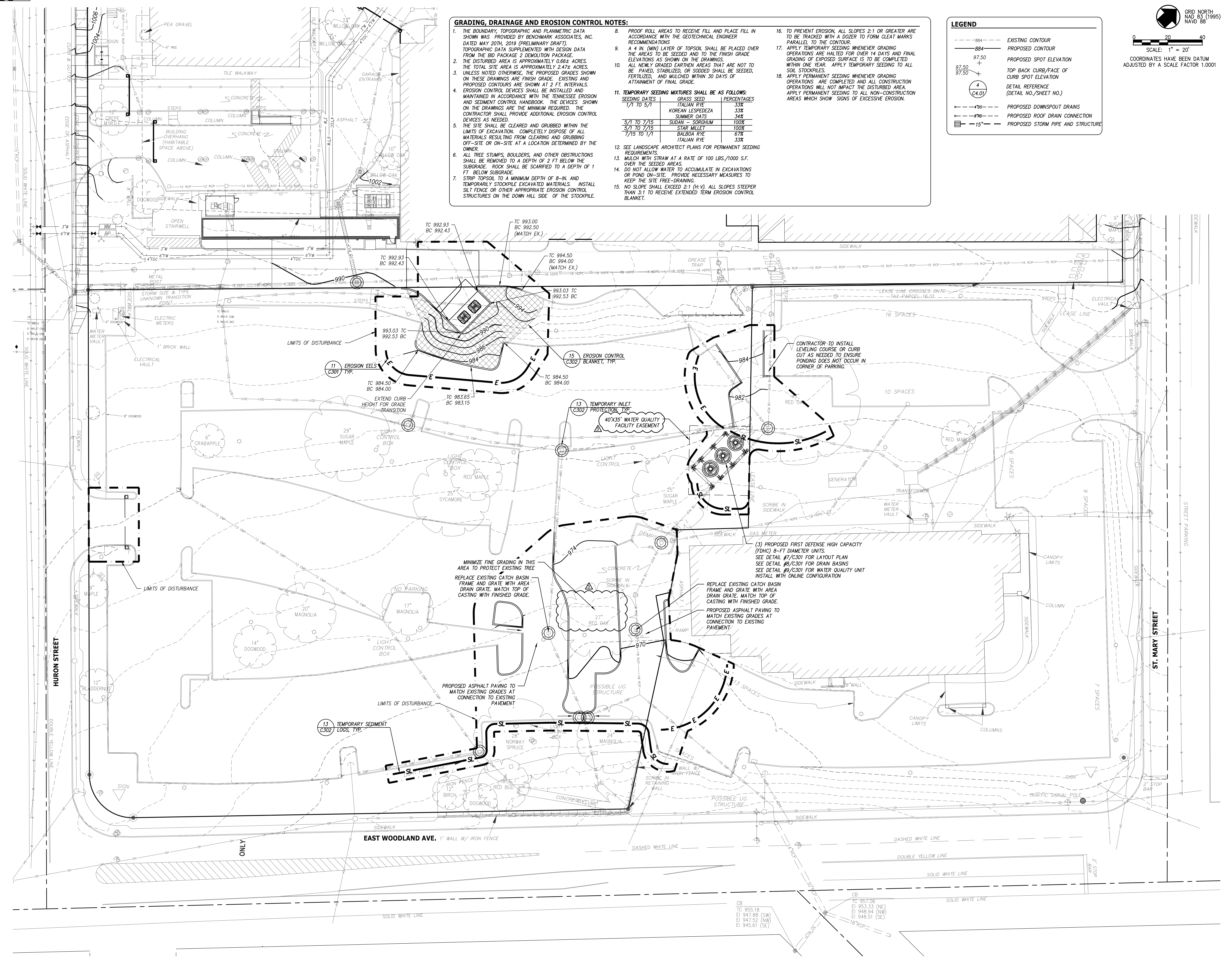
- THE BOUNDARY AND PLANIMETRIC DATA SHOWN WAS PROVIDED BY BENCHMARK ASSOCIATES, INC. DATED MAY 20TH, 2019 (PRELIMINARY DRAFT).
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
- THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
- PROPERTY CONCERNED REFLECT PARCEL ID 081E018 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 81. ZONING FOR THE PROPERTY IS INST "INSTITUTIONAL ZONING DISTRICT". TOTAL BP4 PROJECT AREA IS 2.47± ACRES. THE TOTAL BP4 DISTURBED AREA IS APPROXIMATELY 0.66± ACRES. CITY BLOCK NUMBER IS 17886.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE ZONING ORDINANCE.
FRONT SETBACK: 25 FEET
REAR SETBACK: 30 FEET
SIDE SETBACK: 15 FEET (ADJ. TO NONRESIDENTIAL)
20 FEET (ADJ. TO RESIDENTIAL)
- OWNER: METRO KNOXVILLE HMC LLC
14400 METCALF AVE.
OVERLAND PARK, KS 66223
CONTACT: DAVID BRACE
PHONE: 865-215-2877
- PERIMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED BY A GEOTECHNICAL ENGINEER.
- PROPOSED LANDSCAPE WILL COMPLY WITH THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.
- SEE BID PACKAGE 3 PLANS FOR PARKING CALCULATIONS.

COORDINATE TABLE

POINT #	NORTHING	EASTING	DESCRIPTION
166	609988.20	2582049.25	EOP
167	609989.02	2582068.26	EDGE OF CONC PAD
168	609996.90	2582072.93	DUMPSTER CENTER
169	609989.44	2582078.25	CURB CORNER
170	610013.42	2582077.22	CURB CORNER
171	610005.53	2582072.55	DUMPSTER CENTER
172	610012.99	2582067.24	EDGE OF CONC PAD
173	610012.56	2582057.24	EDGE OF CONC PAD
174	609988.59	2582058.27	EDGE OF CONC PAD
175	610015.92	2582065.19	EOP
176	610026.13	2582075.07	EOP
177	610032.56	2582084.12	EOP
178	609976.98	2582058.40	EOP
179	609966.93	2582063.58	EOP
180	609964.93	2582070.10	EOP
181	609986.78	2582105.41	EOP
182	609993.53	2582106.51	EOP
183	610003.86	2582099.55	EOP
184	610118.73	2582197.46	EOP
185	610101.12	2582216.28	EOP
186	610103.71	2582218.70	EOP
187	610092.68	2582184.18	EOP
188	610088.49	2582209.95	EOP
189	610067.62	2582225.69	EOP
190	609950.11	2582199.44	EOP
191	609936.73	2582212.51	EOP
192	609921.70	2582241.82	EOP
193	609880.92	2582224.92	EOP
194	609895.20	2582269.82	EOP
195	609885.73	2582283.22	EOP
196	609892.50	2582289.63	EOP
197	609899.57	2582289.43	EOP
198	609912.00	2582276.35	EOP
199	609929.68	2582278.57	EOP
200	609970.81	2582230.00	EOP
201	609968.58	2582272.87	EOP
202	609950.80	2582293.87	EOP
203	609954.23	2582310.70	EOP
204	609966.07	2582306.47	EOP
205	609887.47	2582214.39	EOP
206	609899.15	2582227.82	EOP



5/29/2020 8:44:35 AM



GRADING, DRAINAGE AND EROSION CONTROL NOTES:

- THE BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC DATA SHOWN WAS PROVIDED BY BENCHMARK ASSOCIATES, INC. DATED MAY 20TH, 2019 (PRELIMINARY DRAFT). TOPOGRAPHIC DATA SUPPLEMENTED WITH DESIGN DATA FROM THE BID PACKAGE 2 DEMOLITION PACKAGE.
- THE DISTURBED AREA IS APPROXIMATELY 0.66± ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 2.47± ACRES. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2 FT. INTERVALS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
- THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
- ALL TREE STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT. BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FT. BELOW SUBGRADE.
- STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
- PROOF ROLL AREAS TO RECEIVE FILL AND PLACE FILL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- A 4 IN. (MIN) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
- ALL NEWLY GRADED GARTHEN AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SODED SHALL BE SEED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.
- TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:

SEEDING DATES	GRASS SEED	PERCENTAGES
1/1 TO 5/1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SUMMER OATS	34%
5/1 TO 7/15	SUDAN - SORGHUM	100%
5/1 TO 7/15	STAR WHEAT	100%
7/15 TO 1/1	BALBOA RYE	67%
	ITALIAN RYE	33%
- SEE LANDSCAPE ARCHITECT PLANS FOR PERMANENT SEEDING REQUIREMENTS.
- MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
- DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
- NO SLOPE SHALL EXCEED 2:1 (H-V). ALL SLOPES STEEPER THAN 3:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
- TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAT MARKS PARALLEL TO THE CONTOUR.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

LEGEND

- 884--- EXISTING CONTOUR
- 884— PROPOSED CONTOUR
- 97.50 + PROPOSED SPOT ELEVATION
- TOP BACK CURB/FACE OF CURB SPOT ELEVATION
- (C4.01) DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- 475--- PROPOSED DOWNSPOUT DRAINS
- 870--- PROPOSED ROOF DRAIN CONNECTION
- 15--- PROPOSED STORM PIPE AND STRUCTURE

GRID NORTH
NAD 83 (1995)
NAVD 88

SCALE: 1" = 20'

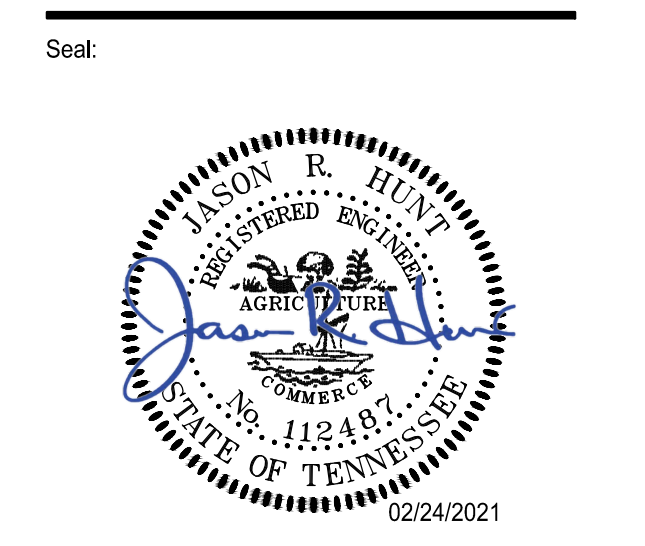
COORDINATES HAVE BEEN DATUM ADJUSTED BY A SCALE FACTOR 1.0001



McCarty Holtsapple McCarty, Inc.
550 W. Main St., Suite 300
Knoxville, TN 37902
1.865.544.2000
www.mhmcinc.com



Project Information:
19018
CCI Project # 00227-0043
**COK PUBLIC SAFETY
OLDHAM PARKING
LOT UPGRADES**
900 East Oak Hill Ave, Knoxville, TN



Consultant:
CANNON & CANNON INC
CONSULTING ENGINEERS
FIELD SURVEYORS
185 S. 10th Street
Knoxville, TN 37903
865.570.8555

#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021

PIC: JRH
PM: JRH
PA: JRH
Drawn By: CIO
Checked By: AWG
Drawing Info:

C201
SITE GRADING AND FINAL
EROSION CONTROL PLAN
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Project Information:

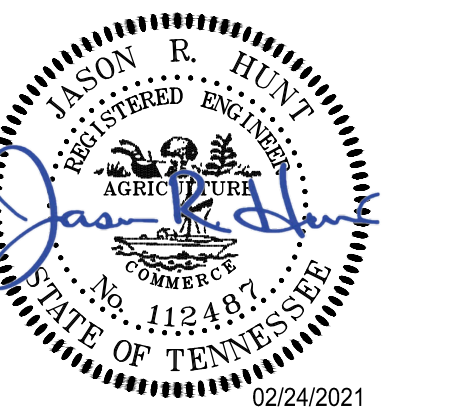
19018

CCI Project # 00227-0043

COK PUBLIC SAFETY OLDHAM PARKING LOT UPDATES

900 East Oak Hill Ave, Knoxville, TN

Seal:



Consultant:



#	ISSUE	DATE
3	ADD #03.1	02/24/21

Issue Date: FEBRUARY 01, 2021

PIC: JRH

PM: JRH

PA: JRH

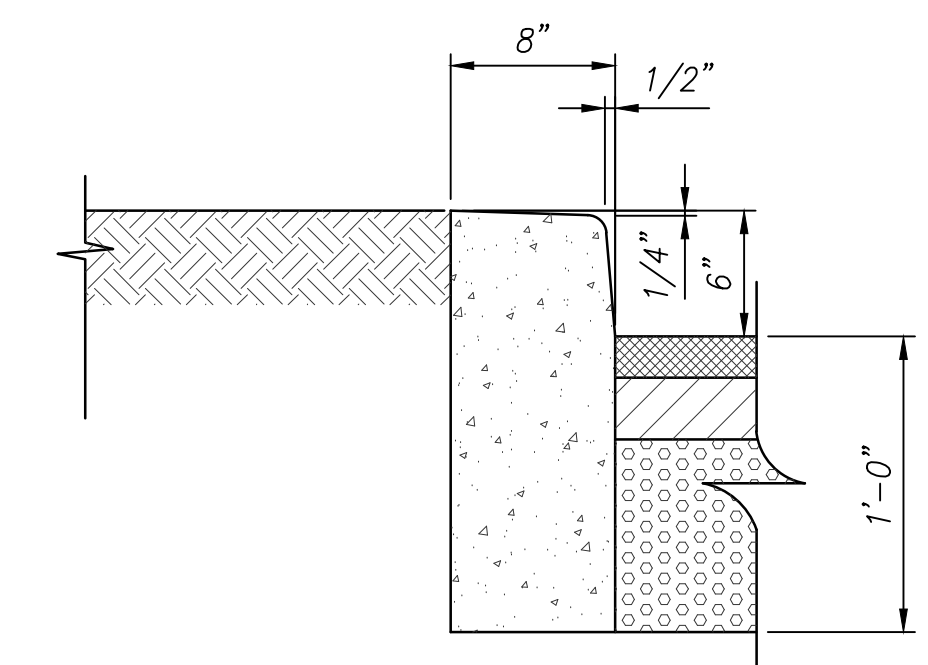
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Checked By: AWG

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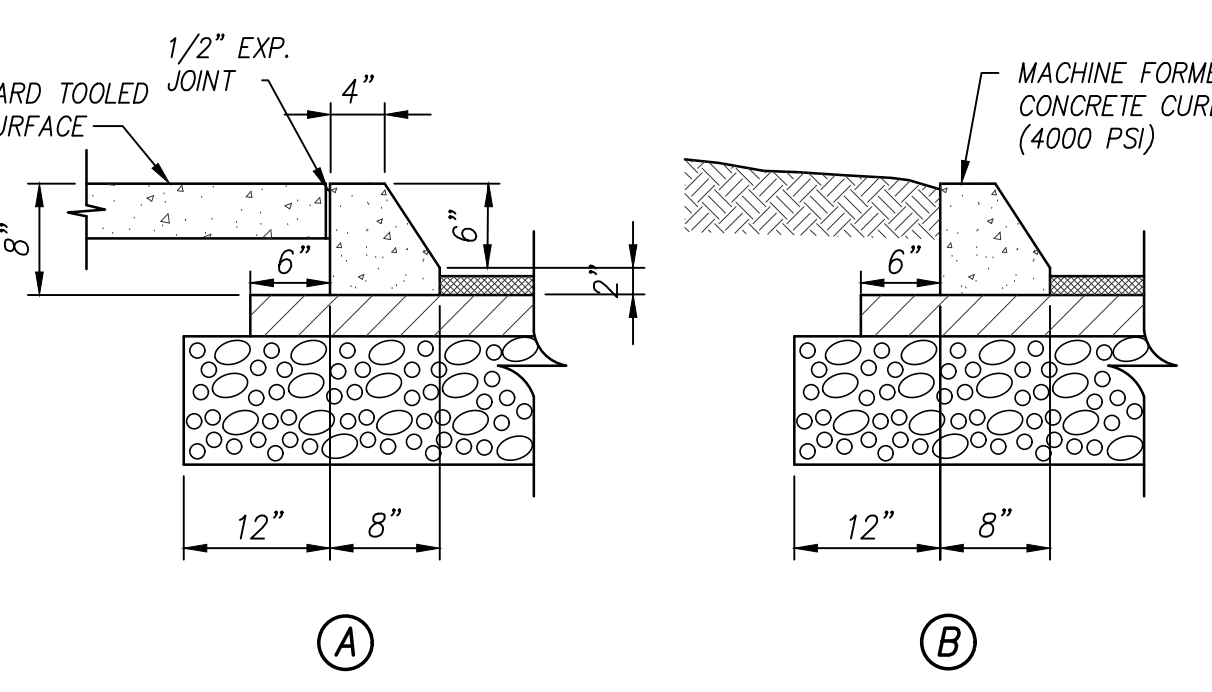
C301

CIVIL SITE
DETAILS



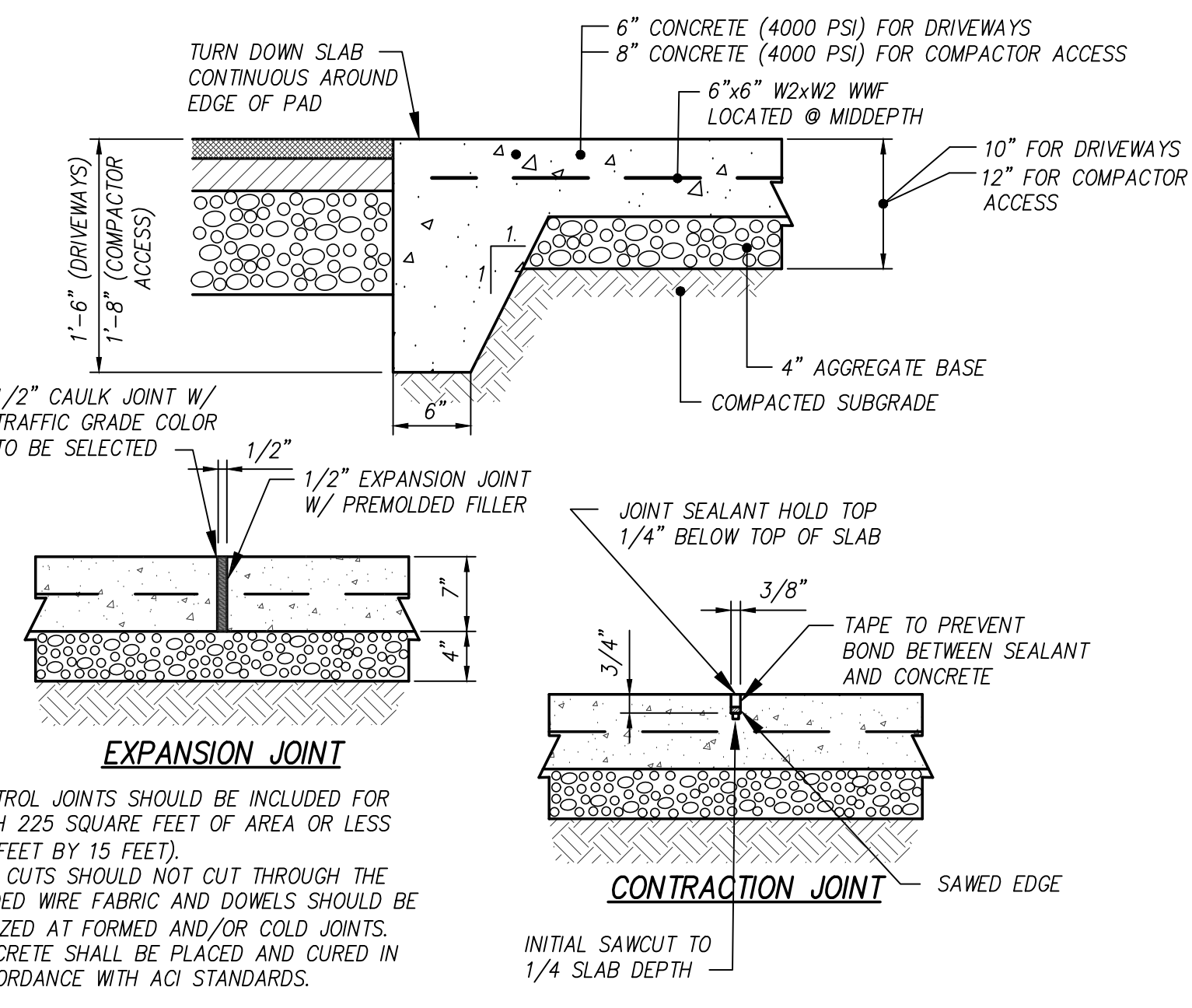
NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAX. CENTERS, WITH 1/4" CONTRACTION JOINTS. EQUALLY SPACED AT 10' MAX. CENTERS BETWEEN EXPANSION JOINTS.
2. EXPANSION JOINT MATERIAL REQUIRED FOR GRASS MEDIANS.
3. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.

4 POST CURB
C101 N.T.S.



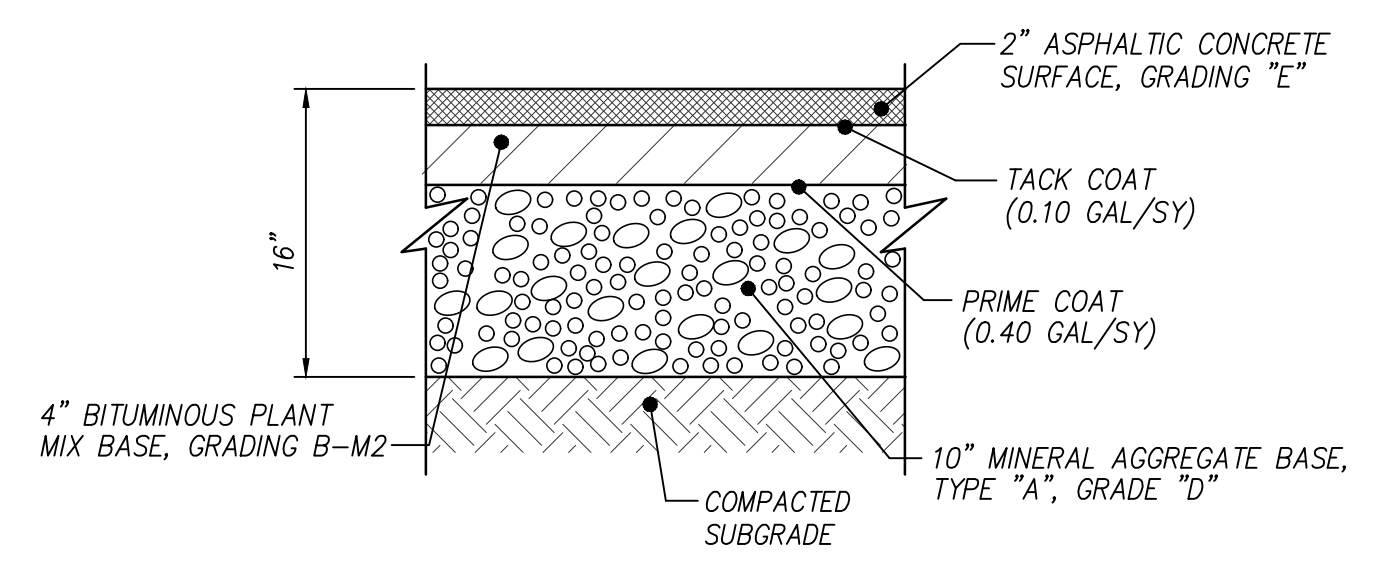
NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAX. CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAX. CENTERS BETWEEN EXPANSION JOINTS.
2. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.

3 EXTRUDED CURB
C101 N.T.S.

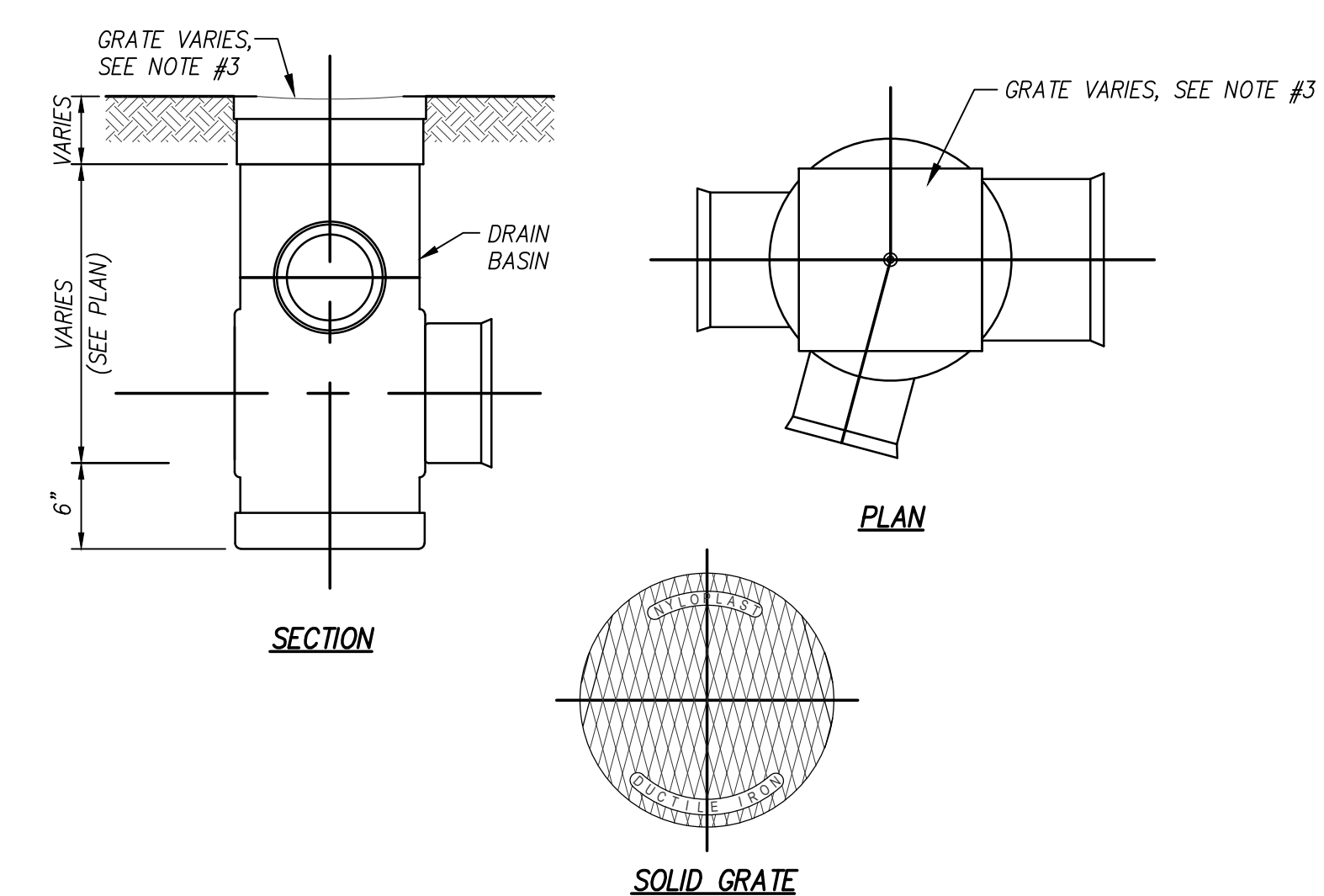


NOTES:
1. CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE FEET OF AREA OR LESS (15 FEET BY 15 FEET).
2. SAW CUTS SHOULD NOT CUT THROUGH THE WELDED WIRE FABRIC AND DOWELS SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.
3. CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH ACI STANDARDS.

2 CONCRETE PAVEMENT SECTION
C101 N.T.S.

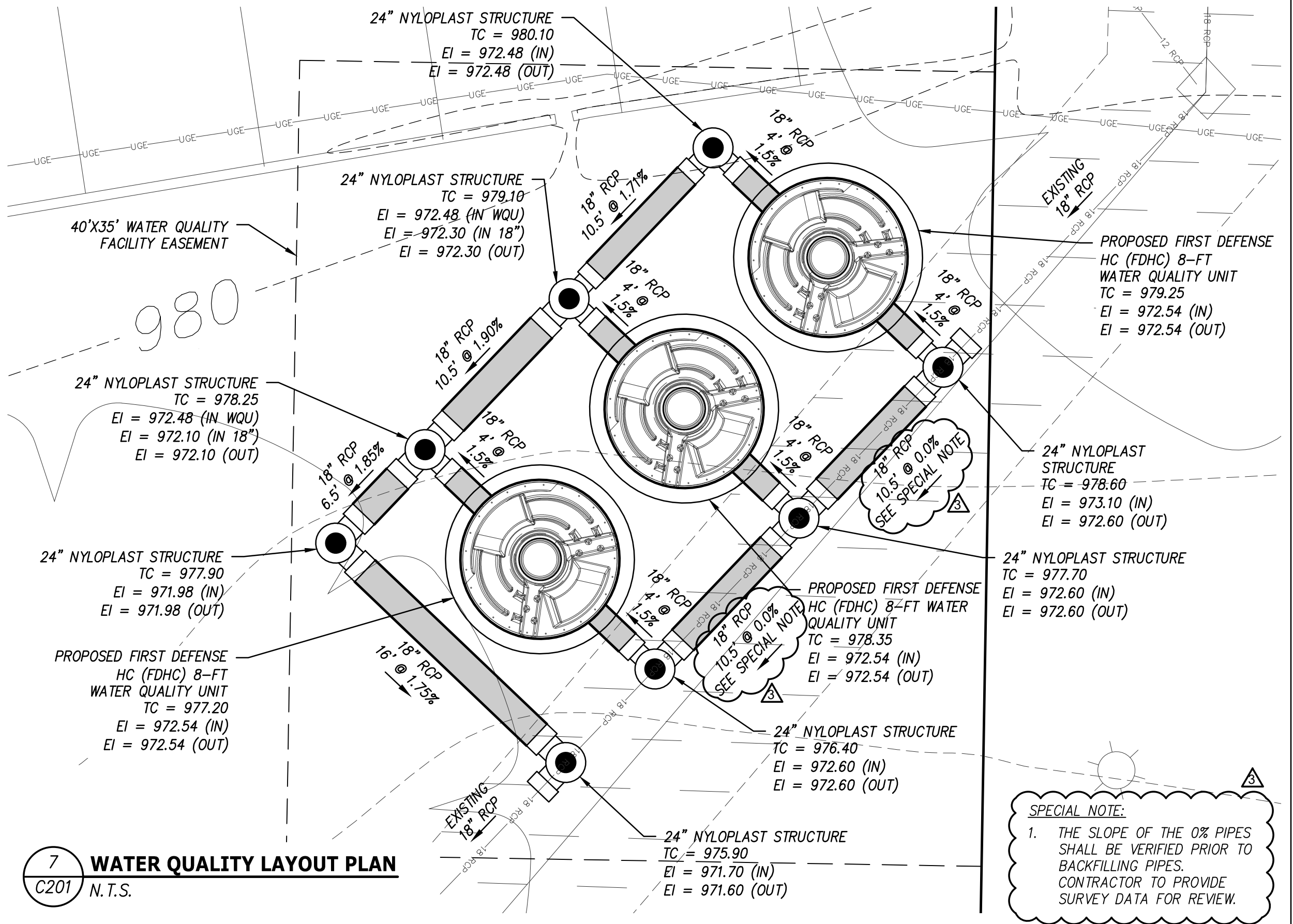


1 HEAVY DUTY ASPHALT SECTION
C101 N.T.S.

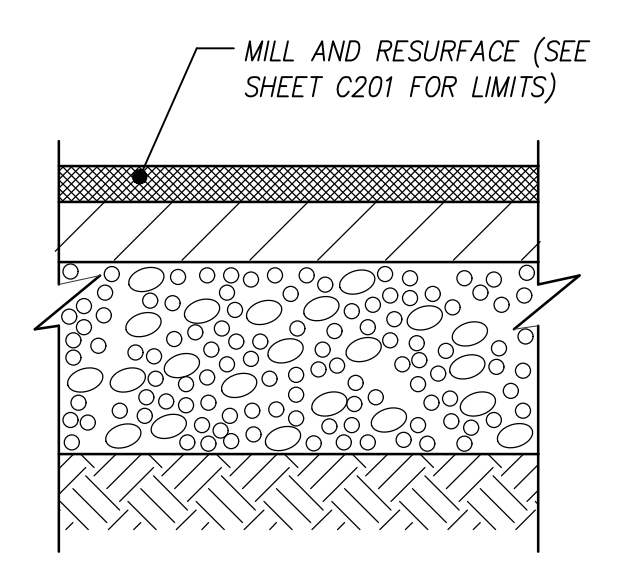


NOTES:
1. DRAIN BASIN BY ADS, NYLOPLAST OR EQUAL COORDINATE WITH MANUFACTURER REGARDING STRUCTURE DIAMETER. NEEDED TO MAKE STORM PIPE CONNECTIONS.
2. INSTALL PER THE MANUFACTURER'S SPECIFICATIONS.
3. THE DRAINAGE BASIN GRATE SHALL BE A SOLID ROUND PEDESTAL RATED GRATE.
4. COORDINATES TAKEN AT THE CENTER OF THE STRUCTURE.
5. THE GRATE SHALL BE STAMPED WITH 'NO DUMPING...DRAINS TO RIVER' OR EQUAL.

8 NYLOPLAST DRAIN BASIN
C201 N.T.S.

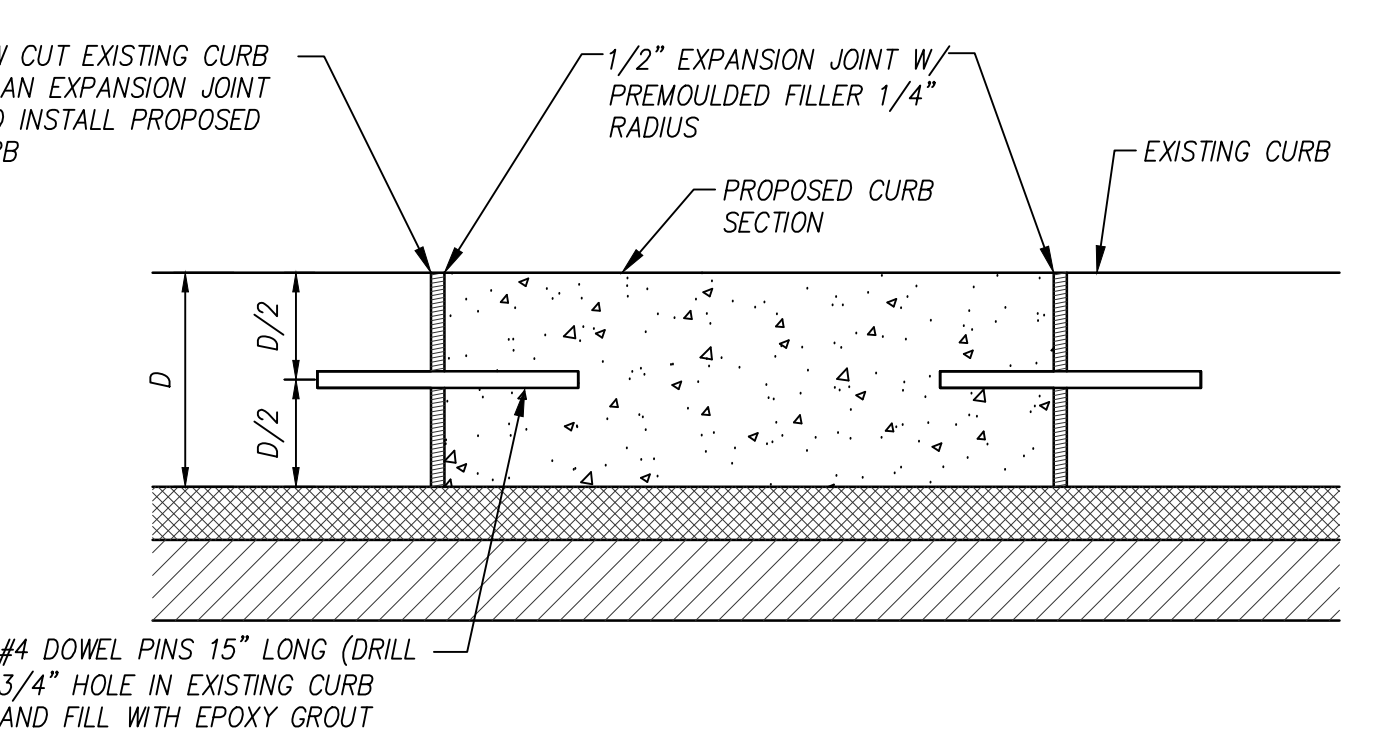


7 WATER QUALITY LAYOUT PLAN
C201 N.T.S.

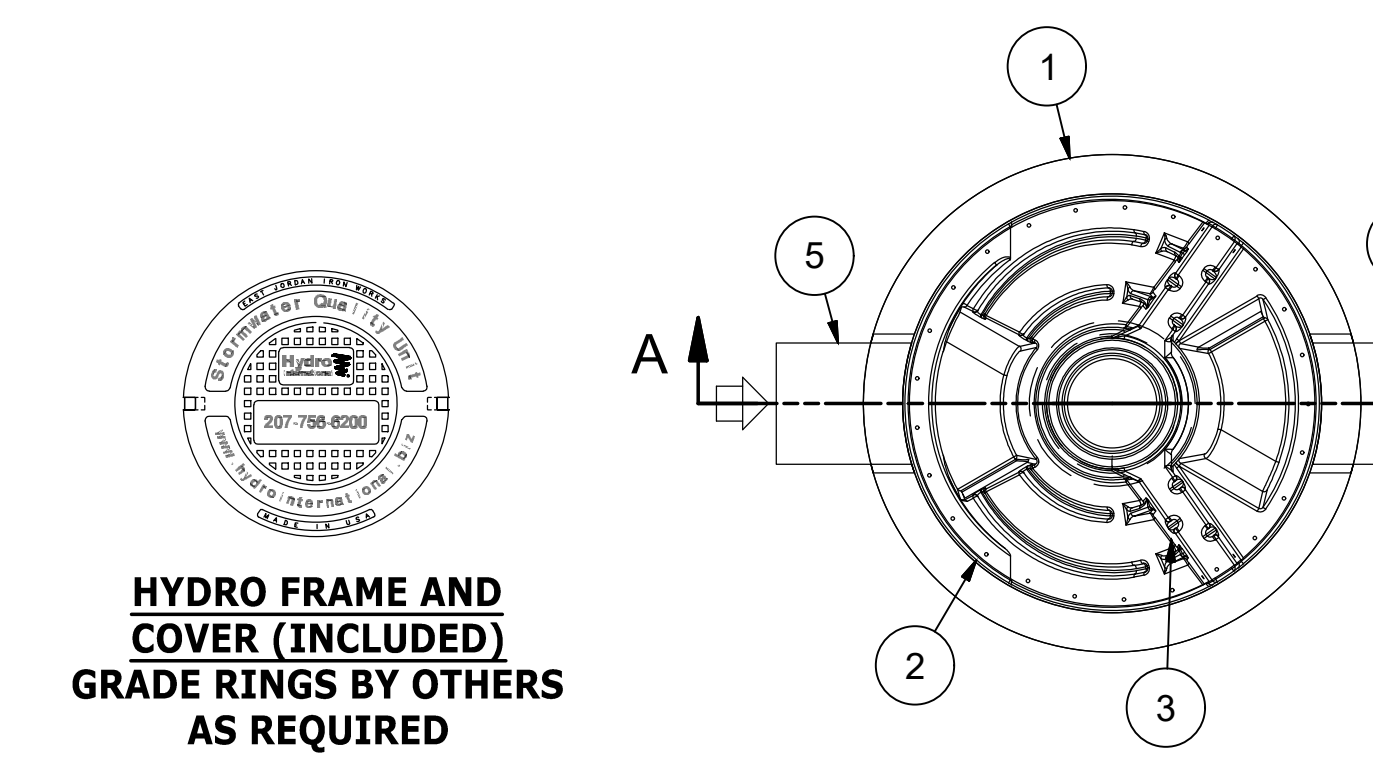


NOTES:
1. MILL 1-1/2" SURFACE ASPHALT COURSE AT 1-1/2" THICK (APPROX. 159 LB/SY)
2. INSTALL SURFACE ASPHALT COURSE @ 1-1/2" THICK (APPROX. 159 LB/SY)
3. ASPHALTIC CONCRETE SURFACE, GRADING D ASPHALT SURFACE COURSE WITHIN THE CITY R.O.W. SHALL BE 2" THICK GRADE D.

6 MILL AND OVERLAY
C101 N.T.S.



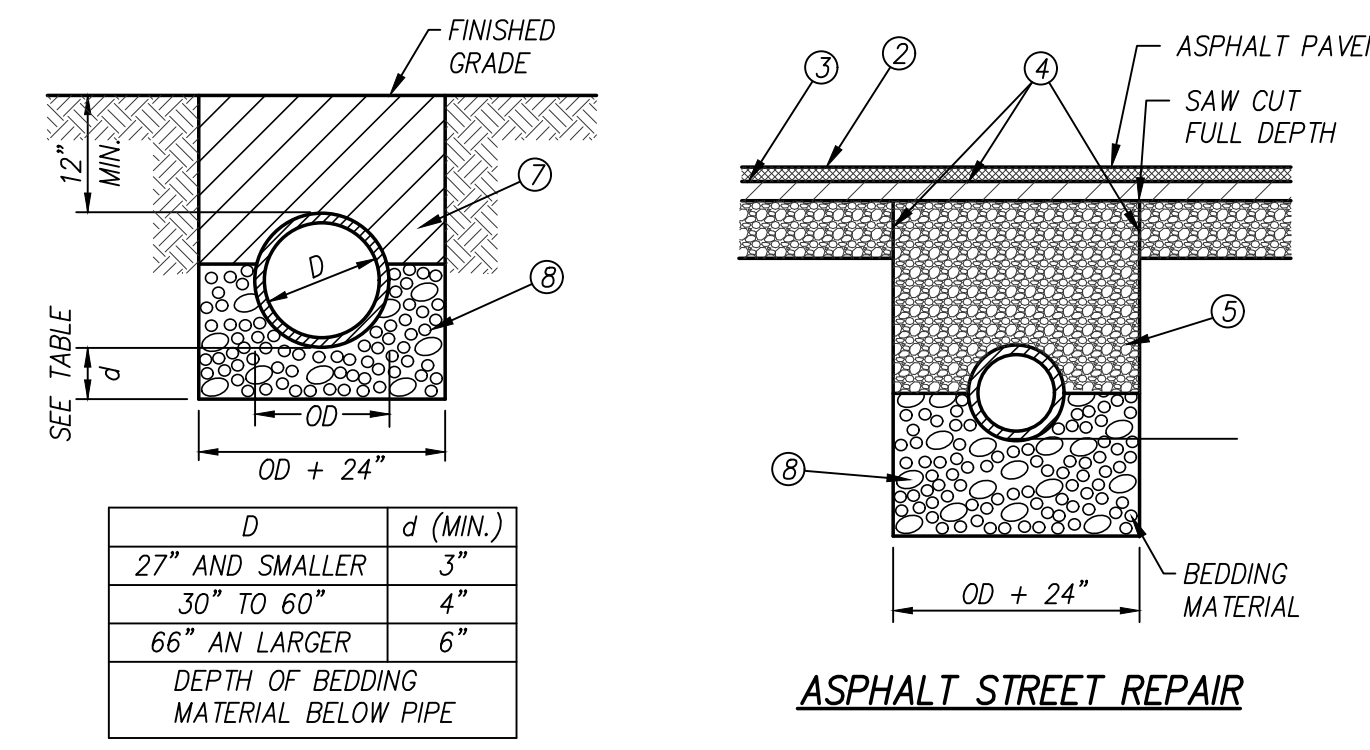
5 CONCRETE CURB CONNECTION
C101 N.T.S.



ITEM	QTY	SIZE (in)	DESCRIPTION
1	3	96	I.D. PRECAST MANHOLE
2	3		INTERNAL COMPONENTS (PRE-INSTALLED)
3	3	30	FRAME AND COVER (ROUND)
4	3	18	OUTLET PIPE (BY CONTRACTOR)
5	3	18	INLET PIPE (BY CONTRACTOR)

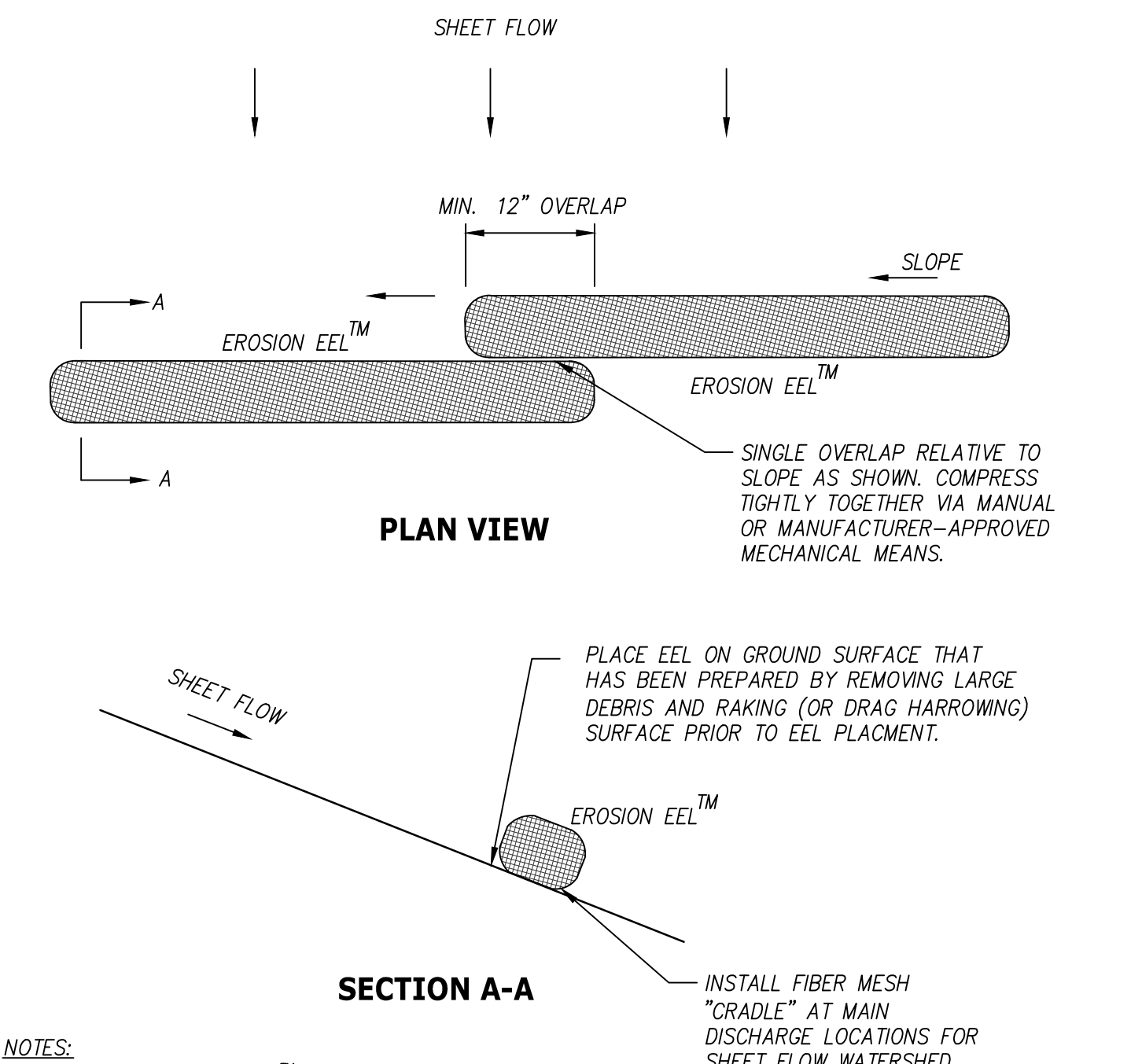
REQUIRED WATER QUALITY FLOW RATES:
FIRST FLUSH = 9.86 CFS (BASED ON 1.5" STORM EVENT FOR CONTRIBUTING DRAINAGE AREA)
SPAP = 16.55 CFS (BASED ON 2.5" STORM EVENT FOR CONTRIBUTING DRAINAGE AREA)
PROVIDED WATER QUALITY FLOW RATES:
(FIRST DEFENSE HIGH CAPACITY (FDHC) 8-F)
MAXIMUM TREATMENT FLOW RATE = 6.0 CFS (EACH UNIT)
TOTAL = 18 CFS (3 UNITS)
(PER NJDEP CERTIFICATION DATED 4/27/2020)
ALLOWABLE WFTV = 18 CFS x 0.6 = 10.8 CFS
10.8 CFS > 9.86 CFS (FIRST FLUSH)
18 CFS > 16.55 CFS (SPAP)
MAXIMUM BYPASS FLOW RATES:
100-YR STORM EVENT = 22.77 CFS
(BASED ON 6.3" STORM EVENT FOR CONTRIBUTING DRAINAGE AREA)
PEAK ONLINE FLOW RATE FOR BYPASS = 50 CFS (EACH UNIT)
THEREFORE, THE UNITS WILL HAVE SUFFICIENT CAPACITY FOR BYPASS

9 WATER QUALITY UNIT
C201 N.T.S.



NOTES:
1. ALL SECTIONS NOTED BELOW REFERENCE THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
2. ASPHALTIC CONCRETE SURFACE, GRADING D, SECTION 10.0. MATCH EXISTING DEPTH OR MIN. THICKNESS OF 1.5".
3. BITUMINOUS PLANT MIX BASE, GRADING B, B-M, OR C, SECTION 9.0. MATCH EXISTING DEPTH OR MIN. THICKNESS OF 2.5". THE ENTIRE 4" MIN. DEPTH MAY BE ASPHALTIC CONCRETE SURFACE GRADING D, BUT SHALL BE COMPACTED IN TWO LIFTS.
4. TACK COAT, SECTION 7.0.
5. MINERAL AGGREGATE BASE, CLASS A AGGREGATE GRADING D, SECTION 5.0. COMPACTED IN 6" LIFTS TO 100% OF THE STANDARD PROCTOR DENSITY AT 2% LESS THAN OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO T99, METHOD D. APPROXIMATELY 140 PCF FOR LIMESTONE.
6. WHEN A TEMPORARY ASPHALT PATCH IS USED, IT SHALL BE PLACED IMMEDIATELY AFTER THE MINERAL AGGREGATE BACKFILL. ALL TEMPORARY REPAIRS MUST BE REPLACED PERMANENTLY WITHIN 90 DAYS.
7. COMPACTED BACKFILL SHALL BE IN ACCORDANCE WITH SECTION 20.0. BACKFILL MATERIAL IN THE ROADWAY OR WITHIN FIVE (5) FEET OF THE ROADWAY, UNDER CURBS, GUTTERS, AND SIDEWALKS SHALL MEET THE REQUIREMENTS OF SECTION 5.0 (MINERAL AGGREGATE BASE).
8. BEDDING MATERIAL, GRADING SIZE NO. 57 OR NO. 67, SHALL BE IN ACCORDANCE WITH SECTION 20.0.

10 PIPE BEDDING & BACKFILL (PUBLIC)
C201 N.T.S. (SHALL BE USED IN AREAS INSIDE COK R.O.W.)



NOTES:
1. INSTALL EROSION EELS PARALLEL TO THE SLOPE CONTOURS. PLACE 100 FT (11 FULL SIZE 10' EELS) OF EROSION EELS™ FOR EVERY 0.25 ACRE DISTURBED AREA.

11 EROSION EEL
C001 N.T.S.

Specific Description of Work for BC-04: Earthwork / Site work & Erosion Control

The scope of this bid category BC-04 includes all labor, material, equipment, services and supervision necessary to complete all work specified herein, in accordance with the Contract Documents, as described below. The scope of work for each Bid Category shall include all work indicated in the Bid Category description, the list of drawings, phasing documents, bidding requirements, contract forms, contract conditions and Divisions 0 and 1 of the general requirements. This scope of work includes, but is not limited to the following specification sections:

31 10 00	Site Clearing
31 20 00	Earth Moving
31 23 19	Dewatering
31 23 33	Trenching and Backfilling
31 25 00	Erosion and Sedimentation Control
32 10 13	Removing and Replacing Pavement
33 41 00	Storm Utility Drainage Piping

The following items represent specific inclusions in the subcontract for BC-04. They are provided as a guide to aid in the assignment of work and in no way should be construed as being all-inclusive:

1. This contractor shall include in their base proposal the cost of a full time superintendent who shall be authorized to attend contractor meeting and make commitments on behalf of the contractor.
2. This contractor shall include all labor material and equipment required to complete the scope of work.
3. This contractor shall be responsible to field verify all site utilities that are schedule to be disconnected and removed from the site. The demolition contractor will sever the utility piping at the building and it will be the responsibility of this contractor to remove the underground utilities back to their valve. The lines shall be cut and capped at their valve.
4. This contractor shall be responsible to remove all utilities as detailed on drawing C102. They shall work in partnership with the mass demolition contractor to access the defined working zones.
5. This contractor shall be responsible for the removal and hauling of all demolished utility materials
6. This contractor shall include in their base proposal all required site erosion and sediment control required as detailed on drawing C204. This contractor shall work with the mass demolition contractor to coordinate the installation and maintenance of the control barriers.
7. The mass demolition contractor shall leave grading at the elevation of each of the removed buildings subgrade. The subgrade of the buildings should be assumed to match the low areas indicated on drawing C202.
8. This contractor shall include in their base proposal all materials needed in order to follow the grading plans identified on C202 and C203. It should be assumed that there will be no materials on site to be used for grading.
9. This contractor shall install all dewatering devices as detailed on the project documents.
10. This contractor shall provide 36" of crushed granular backfill along the back side of the new retaining wall and to the full height of the new wall. The crushed granular stone shall be installed in lifts as the site is backfilled.

11. This contractor shall work with the General Trades contractor to allow the retaining wall waterproofing to be installed in sequence with the backfill installation.
12. This contractor shall provide and install the footer drain piping as detailed on the project documents.
13. This contractor shall install the 18" storm piping as detailed on C202. This contractor shall review the installation immediately and notify Messer if the current location of the jobsite trailer must be moved prior to the installation of the pipe.
14. This contractor shall be responsible for the excavation and asphalt patching on Huron street associated with the installation of the new storm piping.
15. It shall be the responsibility of this contractor to identify and validate a benchmark elevation, which shall be used for all grading activities.
16. This contractor shall be responsible to remove any concrete sidewalk or asphalt pavement, which is in conflict with the grading plans.
17. Maintenance of sediment and erosion control elements are included in this contract for as long as the contractor is on site.
18. The buildings associated with mass demolition in bid package #02 will not have general temporary electric/lighting installed due to Masse Demolition. Each contractor shall be responsible to provide power or lighting as needed to complete their work.