

**ADDENDUM NUMBER ONE**  
**LUPTON MILL SITE REMEDIATION**  
**FOR THE CITY OF CHATTANOOGA, TENNESSEE**  
**Contract Number E-20-012-201**

A Pre-Bid Meeting was held at the project location, 1210 Mercer Street, Lupton City, TN 37351 on August 6, 2020 at 10:00 A.M. Meeting minutes and sign-in sheet from the meeting is attached.

- **A second site visit has been scheduled for August 27<sup>th</sup>, 2020 at 10:00 am at the project location, 1210 Mercer Street, Lupton City, TN 37351.**
- **Additional Asbestos Specifications, plan modifications, and bid schedule modifications will also be released no later than August 24<sup>th</sup>, 2020.**
- **The Bid Opening has been changed to September 10<sup>th</sup>, 2020 at 2:00 pm.**

Documents hereby incorporated in the contract:

- Report of Limited Geotextile Engineering Services, Former Dixie Yarns Property – Old Lupton Mill, *dated August 14, 2018*

August 7, 2020

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/s/Justin C. Holland, Administrator  
City Of Chattanooga  
Department of Public Works

PROJECT: Lupton City Pre-Bid

8-6-2020, 10:00 am

	NAME	COMPANY	PHONE	EMAIL
1	Elizabeth Boss	City of Chattanooga	6043-6191	eboss@chattanooga.gov
2	BONNIE MURPHY DOSSON	COE	643 6031	bmurphy@chattanooga.gov
3	BEBBIE TRULBY	COE	643 7630	OTRULBY@CHATTANOOGA.GOV
4	MICHAEL McBEANE	THOMAS BROTHERS	508-4888	MIKE@TBCINC.NET
5	Chris Spiker	E. Luke Lorenz	864-316-9967	CShuler@elkregreene.com
6	Dan Kempf	EAI	615-264-2711	dkempf@eaitn.com
7	TAYLOR BARVER	EAT	615-214-2711	tbarver@eaitn.com
8	Colin Stout	Innovative Demos	859-619-7048	colin.concrete@innovativedemos.com
9	Paul Sharp	Innovative Demos	859-621-1387	PaulSharp91@Gmail.com
10	William Lombard	Team Environmenta/	615-840-2537	will@teamenvironmentalgroup.com
11	Jeremy Akr	Team Environmental Group	615-361-7966	jeremy@teamenvironmentalgroup.com
12	David J McAfee	DT Specialized Services	9186913478	djmcfee@dtwrec.kit.com
13	Lindsey Hunter	DT Specialized Services	918-600-7222	LHunter@DTwrec.kit.com
14	Alan dgu	City of Chattanooga		adgu@chattanooga.gov
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## City of Chattanooga, Public Works Department

### Pre-Bid Meeting Minutes

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**Subject:** E-20-012-201 Lupton City Mill Site Remediation

**Date:** August 6, 2020

**Time:** 10:00 AM

**Location:** On-Site; 1210 Mercer Street, Lupton City, TN 37351

**Organizer:** City of Chattanooga

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#### Topics

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##### I. Introductions

**Introduction of the project team and purchasing agent.**

##### II. Scope

- Demolition of remaining structures and slabs on site
- Rubblization and transport of existing demolition debris around the site (that may include friable and non-friable asbestos)
- Segregation of ACM as required by contract documents
- Additional work including, but not limited to, installation of new fencing, clearing and grubbing vegetation, etc.

##### III. Contract

Contract Duration = 365 Calendar Days **(1 year)**

Liquidated Damages = \$500.00/day

**Weather Days will be awarded according to the Contract Documents. It is not the City's intention to punish the Contractor, provided the Contractor makes a good faith effort to complete the project in the contracted timeframe.**

##### IV. Addendums

As of 8/06/2020: NONE

**Bidders should expect an additional addendum to be released no later than August 27<sup>th</sup>, 2020 with more specifications regarding Asbestos.**

##### V. Anticipated Schedule

~~-Last Date for Question Submission\*\* – Friday, August 14, 2020, 4:00 PM~~

**Friday, September 4<sup>th</sup>, 2020, 4:00 PM**

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**\*\*Please direct all questions to the Purchasing Agent as instructed on the bid form "Request for bidder information".**

-Final Addendum (if needed) – ~~Tuesday, August 18, 2020, no later than 2:00 PM~~

**Tuesday, September 8<sup>th</sup>, 2020, no later than 2:00 PM**

-Bid Date – ~~Thursday, August 20, 2020, 2:00 PM~~

**Thursday, September 10<sup>th</sup>, 2020, 2:00 PM**

-Notice of Award – ~~September 19, 2020~~

**October 1, 2020**

-Notice to Proceed – ~~October 3, 2020~~

**October 24, 2020**

## VI. Discussion/Q&A

- Bidders should ensure they fully fill out all information on the "Contractor's Identification Form" Page and attach it to the outside of their Bid Envelope. **The Purchasing Agent will not open any bids that do not have this page complete. If section is "Not Applicable" please denote it with "N/a".**
- Bidders should read and be fully knowledgeable of the Project Soil Management Plan that has been included in the Contract Documents.
- Debris is to be placed across the site in the preference stated in the project drawings. Work Area Phases have been established and numbered for the purpose of payment only. After Phase 1 area has been cleared for the storm and sanitary project, the Contractor may proceed as they desire.
- A portion of the site is on the Norfolk Southern Right-of-Way. The City has an agreement with NSRR for flagging services. The Contractor will be required to provide a Certificate of Insurance to the railroad and notify the flagman of when their services will be needed.
- An on site Asbestos Landfill is to be constructed as shown in the project documents and soil management plan. The Contractor is fully responsible for ensuring that all procedures laid out in the Soil Management Plan are followed for the project to be in compliance.

**Q: What is the minimum size should debris be reduced to?**

**A: Debris should be reduced to roughly 18" in size according to the Limited Geotechnical Engineering Services Report that is included in this addendum.**

**Q: What is the required depth that the foundations should be dug out?**

**A: Foundations on the City property should be removed to natural grade. Foundations on the Railroad Right-of-Way should be removed to a minimum of 1' below natural grade.**

**Q: Does the City have fill material available?**

**A: The City has a stockpile on site that the Contractor should utilize first. There are also two other locations where soil may be taken from. It will be the Contractor's responsibility to load and re-establish vegetation on the sites after the soil is removed.**

**Q: Will an asbestos specification be released?**

**A: Yes, bidders should expect an asbestos specification to be released no later than August 24<sup>th</sup>, 2020.**

**Q: Can you hold another site visit?**

**A: Yes, a second site visit has been scheduled for August 27<sup>th</sup>, 2020 at 10:00 am.**

**Q: There is a lot of green vegetation on site. How should it be dealt with?**

**A: The Contractor should bring in a chipper, or other equipment, to satisfactorily reduce the debris. The reduced debris may remain on site with other debris.**



August 14, 2018

City of Chattanooga  
Department of Public Works – Engineering Division  
274 East 10th Street  
Chattanooga, Tennessee 37402

Attention: Ms. Elizabeth Goss  
Engineering Coordinator

Reference: **Report of Limited Geotechnical Engineering Services  
Former Dixie Yarns Property – Old Lupton Mill**  
Chattanooga, Tennessee  
S&ME Project No. 4181-17-043A

Dear Ms. Goss:

S&ME, Inc. has completed the limited geotechnical services for the Former Dixie Yarns Property in Chattanooga, Tennessee. Our work was performed in general accordance with S&ME Proposal Number 411700317CO1 dated June 28, 2018. Our services were authorized by Mr. Dennis Malone of the City of Chattanooga on July 30, 2018.

The purpose of our work was to provide recommendations for site preparation and placement of the construction debris fill that are applicable to the property having an end use as a green space. This letter describes our understanding of the project, presents our observations, and provides our recommendations relative to the above considerations.

## ◆ Project Information

Project information was provided to us by Ms. Goss in the form of Lupton Drive Mill Property Flooring / Surface Materials Exhibit drawing prepared by the City of Chattanooga Department of Public Works, Engineering Division and dated June 1, 2018. We have also discussed the project with Ms. Goss and Mr. Alan Ogle of the City of Chattanooga Department of Public Works Engineering Division.

The project site is commonly known as the former Lupton City Mill which was operated by Dixie Yarns and located at 1210 Mercer Street in Chattanooga, Tennessee. Surrounding properties include residential properties to the north, undeveloped wooded property to the east, and both recreational (City-run park) and residential properties to the west. A rail line borders the property to the south. Lupton City Golf Course is located south of the rail line.

The site occupies about 12-acres and is referenced as Parcel 118E E 006.03 on the Hamilton County GIS website. A prior owner demolished the majority of the facility but abandoned much of the rubble onsite. Based on the provided project information, we understand that the city intends to leave the existing wood and concrete flooring in place, spread the piles of rubble across the site, and cap the site with clean soil. The site will then become an unlined, closed landfill converted into a green space.



## ◆ Observations

We visited the site to observe the site conditions to prepare our recommendations for placement of the rubble fill. Piles of construction debris / rubble were observed across the site, particularly along the northwest side. The rubble was generally a mixture concrete, brick, block, wood, insulation, roofing material, and metal (See Photos 1 & 2). Some soil had been dumped on site along the northwest edge and off of the northeast end of the site. Wood flooring still covers much of the middle portion of the site (Photo 3). Portions of the mostly demolished building were still standing along the sites southeast side (see Photos 4 & 5). There is a walkout basement on the northeast end of the building (see Photo 6). The southeast edge of the site is about 20 feet lower in elevation than the road elevation along the northwest edge of the site. To the west of the basement, is a crawlspace that the building was constructed over. A wet weather conveyance travels from northwest to southeast across the site through the crawl space. Storm water from the Lupton City residential area enters the wet weather conveyance at the north end, travels below the floor slab of the demolished building, and exits to the south at the golf course. We understand that the city plans to install a storm sewer pipe to re-route the storm water around the site.

## ◆ Recommendations

We recommend the remainder of the existing structures be demolished prior to placement of the rubble fill. This work should include the removal of dock retaining walls, basements, crawl spaces, and elevated floor slabs over crawl spaces. Further, we recommend demolishing the basement on the east end by disassembling the walls, columns, and elevated slab individually, and breaking the material down to smaller pieces prior to placing as fill on the site. We recommend that the existing basement on the east end not be imploded in on itself as that would likely create large void spaces within the rubble. Void spaces within the fill could provide an avenue for loss of material over the rubble, resulting in dropouts at the ground surface.

For placement as rubble fill, we recommend the on-site construction debris, including concrete, brick, wood, insulation, and roofing material, be broken down to a maximum particle size of 18 inches or smaller. The contractor may use whatever means they deem appropriate to break down the larger pieces of construction debris. However we expect that it will require the use of large excavators, hoe rams, and concrete crushing equipment. The at grade asphalt paving, wood flooring, and concrete slabs can be left in place provided they are broken up into approximately 3 foot square pieces to allow for drainage.

Once broken down, the fill material should be spread in lifts a maximum of 2 feet thick. The differing constituent fill material does not need to be segregated prior to placement. The fill should be compacted by making multiple passes with a Caterpillar D9 bull dozer or equivalent. The number of passes should be sufficient to demonstrate the material is densified and stable. We recommend fill slopes be constructed at 3 Horizontal to 1 Vertical (3H:1V) or flatter.

To comply with the TDEC requirements and the soil management plan, we understand a two foot thick cap of soil will be placed over the rubble fill. The fill soil should consist of silt or clay with no organic matter or debris and contain no rock fragments larger than 4 inches in any dimension.



Based on our observations, we expect there is adequate fine material mixed in the rubble fill to effectively "choke" the larger rubble pieces by filling the voids or open spaces within most of the rubble fill during the placement process. However, we also expect that some of this material will wash out of the void spaces as rainfall percolates through the rubble fill. Therefore, to prevent raveling of the soil cap into void spaces in the rubble fill, we recommend placing a 12 oz., non-woven, needle punch filter fabric over the first 6 inches of soil fill, then placing the rest of the soil cap over the filter fabric.

Soil fill should be placed in thin lifts with a maximum loose thickness of 8 inches, then compacted to a minimum of 90 percent of the standard Proctor maximum dry density, with a moisture content within 3 percent of the optimum moisture content, depending on the shape of the Proctor curve. A representative of S&ME should test the density and moisture content of each lift before placing additional lifts. Sloped areas should be sodded or seeded as soon as possible to control erosion and help prevent sloughing slope failures.

We recommend S&ME be provided the opportunity to review the final design plans and specifications in order that earthwork and other recommendations are properly interpreted and implemented. The recommendations in this report are contingent on S&ME, Inc.'s observation and monitoring of grading and construction activities.

### ◆ Limitations

This report has been prepared in accordance with generally accepted geotechnical engineering practice for specific application to this project. The conclusions and recommendations contained in this report are based on applicable standards of our practice in this geographic area at the time this report was prepared. No other warranty, expressed or implied, is made.

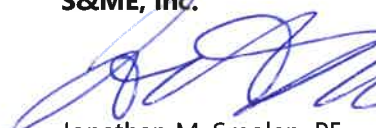
The analyses and recommendations submitted herein are based on the site being used as an undeveloped green space. If the site is to be developed for buildings or roads, additional site remediation will be required in the future.

### ◆ Closure

S&ME appreciates this opportunity to be of service to you. Please call if you have questions concerning this report or any of our services.


Sincerely,

**S&ME, Inc.**

  
Jonathan M. Smolen, PE  
Project Engineer

Attachment: Photographs



  
James P. McGirl, PE  
Principal Engineer



**Limited Geotechnical Engineering Services**  
**Former Dixie Yarns Property – Old Lupton Mill (SR-764)**

Chattanooga, Tennessee

S&ME Project No. 4181-17-043A



<b>1</b>	<b>Location / Orientation</b>	Northwest side, middle / facing southwest
	<b>Remarks</b>	Rubble Pile



Date: 7/26/2018

Photographer: Jonathan Smolen

<b>2</b>	<b>Location / Orientation</b>	Northeast end / facing southwest
	<b>Remarks</b>	Rubble pile – note roofing and insulation material



Date: 7/26/2018

Photographer: Jonathan Smolen



<b>3</b>	<b>Location / Orientation</b>	Middle, near northeast end / facing northeast
	<b>Remarks</b>	Wood flooring, note crawlspace and basement in background



Date: 7/26/2018

Photographer: Jonathan Smolen

<b>4</b>	<b>Location / Orientation</b>	North side, near west end / facing south
	<b>Remarks</b>	Remaining undemolished building



Date: 7/26/2018

Photographer: Jonathan Smolen

**Limited Geotechnical Engineering Services**  
**Former Dixie Yarns Property – Old Lupton Mill (SR-764)**

Chattanooga, Tennessee

S&ME Project No. 4181-17-043A




<b>5</b>	<b>Location / Orientation</b>	Northwest Side, middle / facing southeast
	<b>Remarks</b>	Remaining undemolished building and smokestack



Date: 7/26/2018

Photographer: Jonathan Smolen

<b>6</b>	<b>Location / Orientation</b>	Southeast corner / facing northwest
	<b>Remarks</b>	Basement on northeast end



Date: 7/26/2018

Photographer: Jonathan Smolen