



**PURCHASING  
AND MATERIALS  
MANAGEMENT**

**City of Myrtle Beach  
SOUTH CAROLINA**

**(843) 918-2170**  
**FAX: (843) 918-2182**  
[www.cityofmyrtlebeach.com](http://www.cityofmyrtlebeach.com)

**Addendum 02  
October 27, 2020  
IFB 21-B0013  
Broadway Theater Exterior Demolition**

The purpose of this Addendum 02 to IFB 21-B0013 for Broadway Theater Exterior Demolition, dated October 12, 2020, and previously amended on October 21, 2020, is to provide the façade demolition drawings that have been submitted for permitting. Permit drawings are attached and are hereby made part of this addendum.

Bids will be received until 2:00PM (local time) on Wednesday, November 4, 2020. No electronic submissions will be accepted. The City is not responsible for late or misdirected mail.

Please send in your sealed bid to the address below:

City of Myrtle Beach  
3231 Mr. Joe White Avenue  
Myrtle Beach, SC 29577  
Attn: Purchasing Division/Ann Sowers

If you have any questions, please don't hesitate to call to the undersigned below.


Thank-you,  
City of Myrtle Beach  
Ann Sowers/Procurement Office/Buyer  
Email: [asowers@cityofmyrtlebeach.com](mailto:asowers@cityofmyrtlebeach.com)



BROADWAY THEATRE  
811 MAIN STREET  
MYRTLE BEACH, SC 29577

PHASE 1 HISTORIC REVELATION  
10/26/20  
4701-193011

CITY OF MYRTLE BEACH



BROADWAY THEATRE

PHASE 1 HISTORIC REVELATION

INDEX OF DRAWINGS

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R-302	PHASE 1 - RESTORATION WALL SECTIONS - HELEN MATES			

PROJECT GOAL

THE PROJECT GOAL IS THE REMOVAL OF EXISTING FACADE FINISHES TO REVEAL ORIGINAL HISTORIC FINISHES BELOW. THE ORIGINAL FINISH MATERIALS MUST BE EXPOSED TO EVALUATE THEIR CONDITION AND DETERMINE IF THE ORIGINAL EXTERIOR FAÇADES STILL RETAIN THEIR HISTORIC CHARACTERS. THIS PROJECT SCOPE IS THE PREPARATORY WORK NECESSARY TO FORMULATE THE PART 1 SUBMITTAL TO THE STATE HISTORIC PRESERVATION OFFICE (SHPO) AND THE NATIONAL PARK SERVICE (NPS) FOR THEIR REVIEWS. THIS WORK IS A NECESSARY STEP TOWARDS ACHIEVING HISTORIC TAX CREDITS DURING THE FUTURE ADAPTIVE RENOVATION PROJECT PLANNED FOR THESE BUILDINGS.

807 MAIN STREET (FORMERLY HELEN MATES)

809 MAIN STREET (FORMERLY J&J DRUG CO.)

811 MAIN STREET (FORMERLY BROADWAY THEATER)

SCOPE SUMMARY

SCOPE OF WORK IS EXTERIOR AND INCLUDES REMOVAL OF EXISTING EIFS FACADE FINISH FROM FRONT FACADE AND SMALL PORTION WRAPPING FRONT CORNERS ONTO DEMISING WALLS AS WELL AS REMOVAL AND BOARDING UP OF EXISTING 2ND FLOOR WINDOWS IN FRONT AND REAR FACADES.

NOTE: BUILDING IS CURRENTLY UNOCCUPIED AND IS NOT PLANNED TO BE OCCUPIED WITHOUT FUTURE PERMITTED WORK.

SCOPE SUMMARY

SCOPE OF WORK IS EXTERIOR AND INCLUDES REMOVAL OF AN EXISTING FABRIC AWNING AND REMOVAL OF EXISTING SHEATHING OVER ORIGINAL WOOD FRAMED WINDOWS THAT WILL BE RECOVERED (FOR PROTECTION) AFTER BEING OBSERVED AND DOCUMENTED.

NOTE: BUILDING IS CURRENTLY UNOCCUPIED AND IS NOT PLANNED TO BE OCCUPIED WITHOUT FUTURE PERMITTED WORK.

SCOPE SUMMARY

SCOPE OF WORK IS EXTERIOR AND INCLUDES REMOVAL OF EXISTING FACADE FINISHES AND WOOD FRAMING OVER EXISTING FRONT BRICK FACADE AS WELL AS BOARDING-UP FIVE ORIGINAL FACADE OPENINGS WITHIN THE ORIGINAL BRICK WALL.

NOTE: BUILDING IS CURRENTLY UNOCCUPIED AND IS NOT PLANNED TO BE OCCUPIED WITHOUT FUTURE PERMITTED WORK.

MATERIAL LEGEND

N.T.S.

(NOT ALL MATERIALS APPLICABLE)

PLAN AND SECTION			ELEVATION		
	EARTH		PLASTER, CEMENT, SAND, GROUT		SPRAY-ON FIREPROOFING
	POROUS FILL (STONE OR GRAVEL)		STEEL, IRON		BATT/LOOSE FILL INSULATION
	ROCK		ALUMINUM		EXTRUDED POLYSTYRENE
	LIGHTWEIGHT CONCRETE (OR CONCRETE FILL)		WOOD (FINISH)		ACOUSTICAL TILE
	STRUCTURAL CONCRETE (CAST IN PLACE, ETC.)		WOOD (ROUGH)		GYPSUM BOARD
	BRICK (COMMON OR FACE)		WOOD BLOCKING		CARPET AND PAD
	CONC. MASONRY UNITS (C.M.U.)		PLYWOOD		

GRAPHIC SYMBOL LEGEND

N.T.S.

DRAWING TITLE

DRAWING LOCATION ON SHEET GRID

DRAWING NAME

DRAWING SCALE

DRAWING LOCATION ON SHEET GRID

DRAWING NAME

DRAWING SCALE

SHEET NUMBER WHERE DETAIL IS DRAWN

SHEET NUMBER WHERE DETAIL IS REFERENCED

DETAIL/PLAN KEY

DETAIL LOCATION ON SHEET GRID

TERMINATION OF SECTION

SHEET IDENTIFIER FOR LOCATION OF DETAIL

REVISION INDICATION

REVISION NUMBER

AREA REVISED

TYPICAL DIMENSION INDICATOR

DOOR NUMBER

GLASS TYPE

SUBSYSTEM

ROOM NAME & NUMBER

ROOM NAME

ROOM NUMBER

ENLARGED DETAIL INDICATOR

DETAIL LOCATION ON SHEET GRID

SHEET IDENTIFIER FOR LOCATION OF DETAIL

SECTION KEYS

DIRECTION OF SECTION

BUILDING SECTION LOCATION ON SHEET GRID

SHEET IDENTIFIER FOR LOCATION OF SECTION

DIRECTION OF SECTION

WALL SECTION LOCATION ON SHEET GRID

TERMINATION OF SECTION

SHEET IDENTIFIER FOR LOCATION OF SECTION

ELEVATION KEY

ELEVATION LOCATION ON SHEET GRID

SHEET IDENTIFIER FOR LOCATION OF ELEVATION

DIRECTION OF ELEVATION

GENERAL PROJECT NOTES

1. THE CITY OF MYRTLE BEACH WILL SUBMIT FOR DHEC DEMOLITION PERMIT.  
2. THE GENERAL CONTRACTOR SHALL COORDINATE MAINTENANCE OF TRAFFIC (M.O.T.) AT SIDEWALK AND ROADWAY WITH CITY STAFF PRIOR TO M.O.T. INSTALLATION AND BEFORE START OF WORK.  
3. THE GENERAL CONTRACTOR SHALL ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.

VICINITY MAP

AREA MAP

LS3P

3067 DEVILLE STREET  
MYRTLE BEACH, SOUTH CAROLINA 29577  
TEL. 843.872.0360 FAX 843.722.4789  
WWW.LS3P.COM

STATE OF SOUTH CAROLINA

LS3P ASSOCIATES LTD.  
Myrtle Beach, SC 29568  
REGISTERED ARCHITECTS  
B 74003

STATE OF SOUTH CAROLINA

TROY ROEHM  
Myrtle Beach, SC 29568  
REGISTERED ARCHITECT  
10/26/20

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REVISIONS:

No.	Description	Date
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PROJECT: 4701-193011  
DATE: 10/26/20  
DRAWN BY: Author  
CHECKED BY: Checker

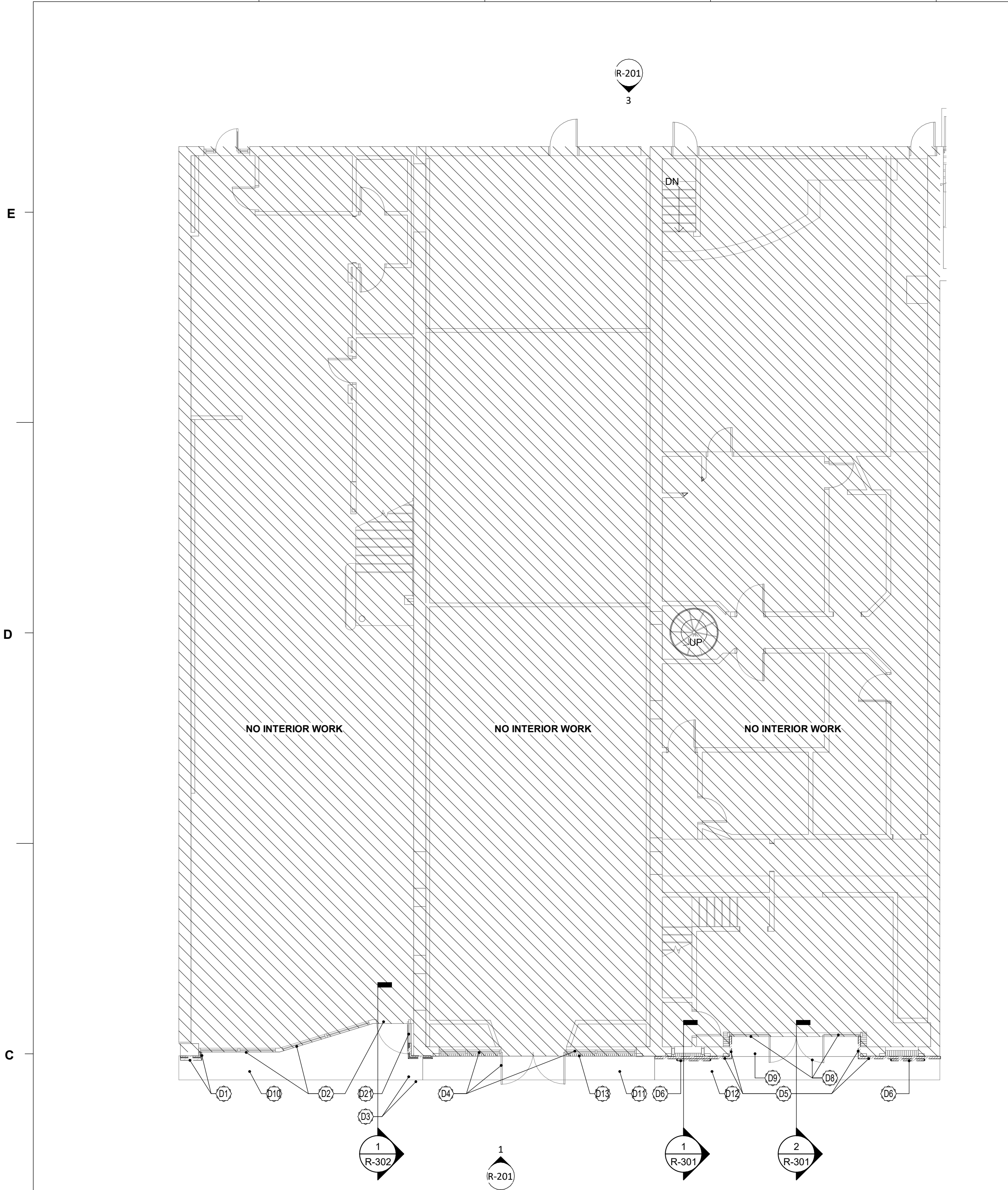
PROJECT INFORMATION

R-001

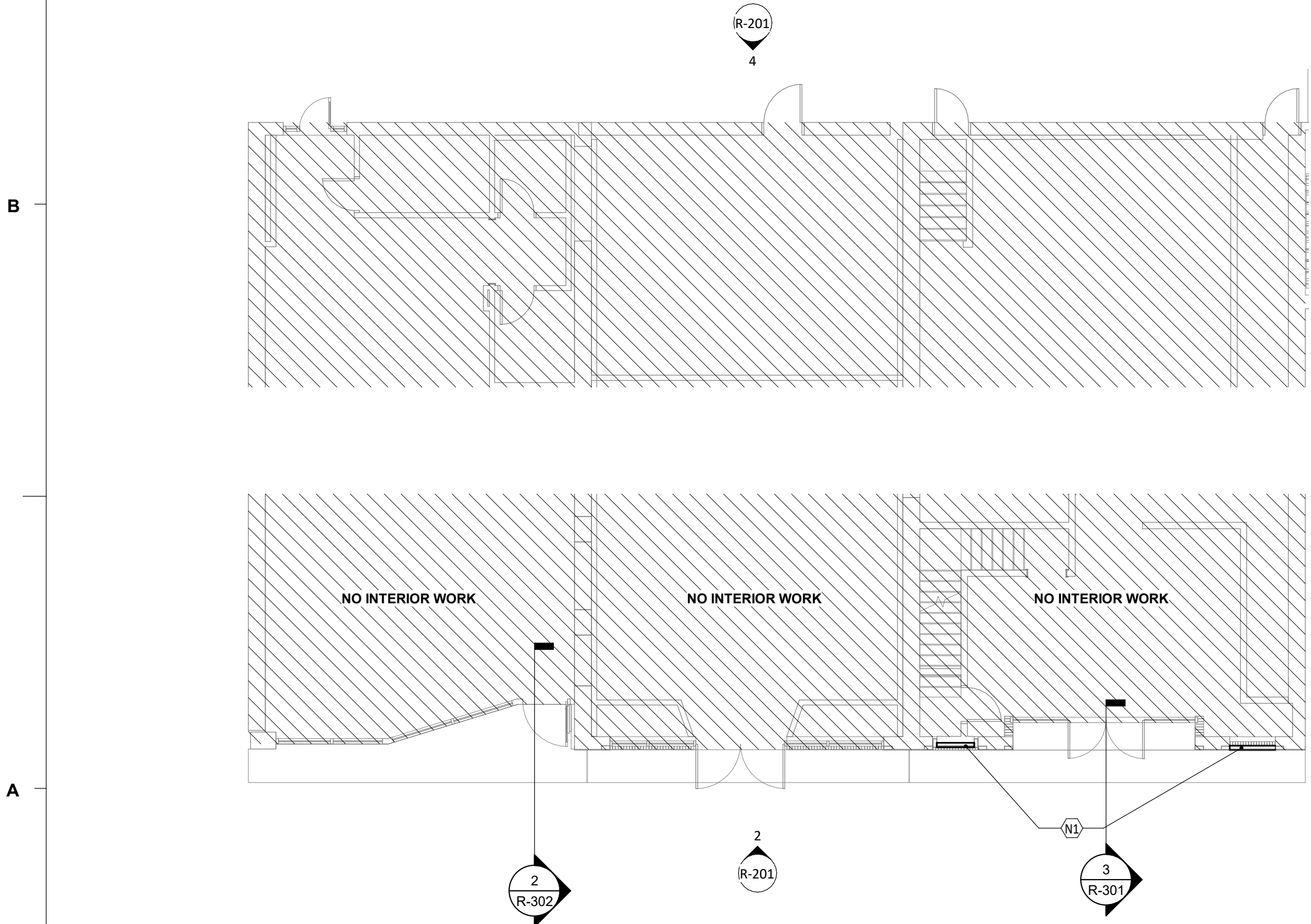
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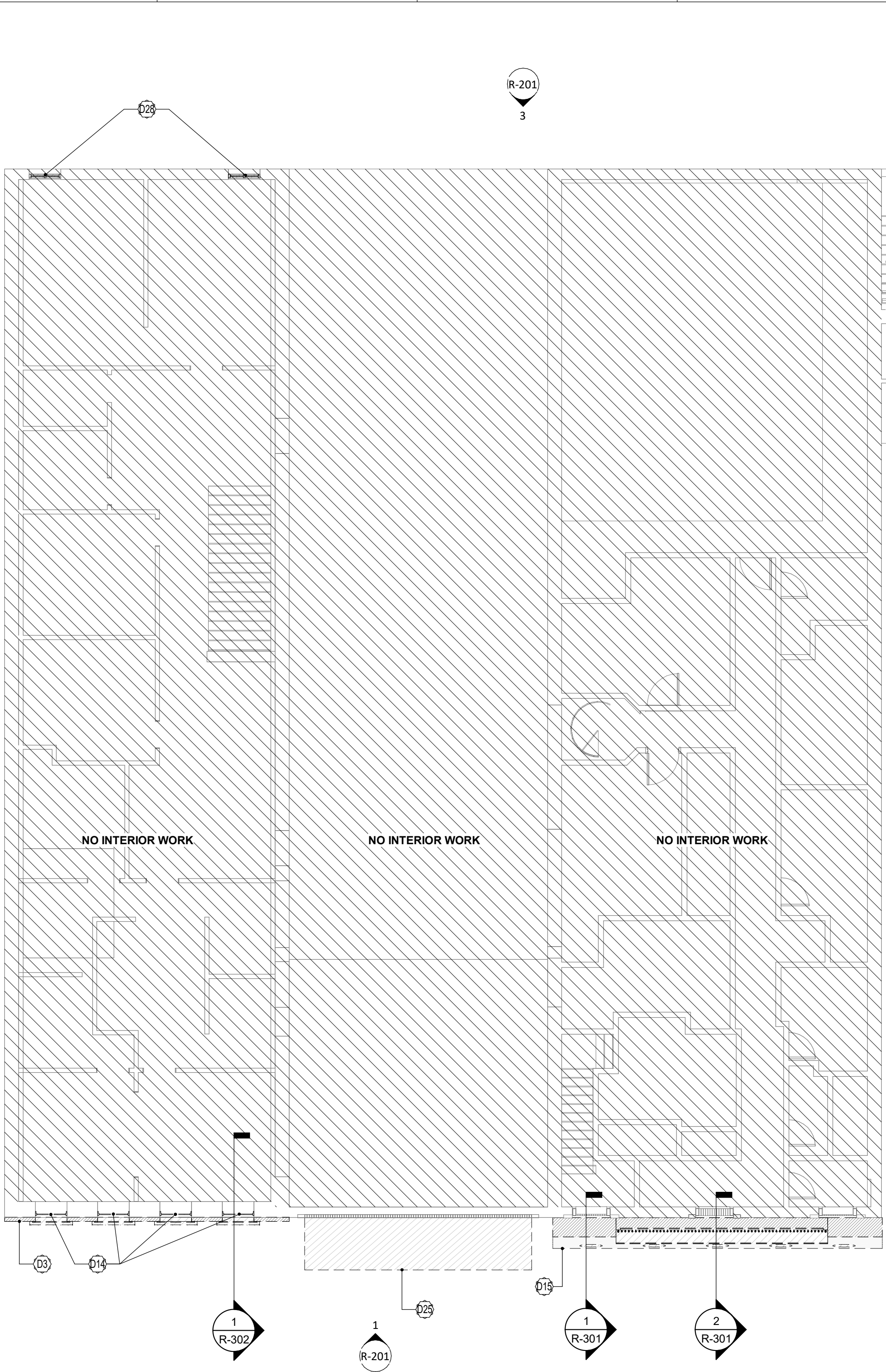
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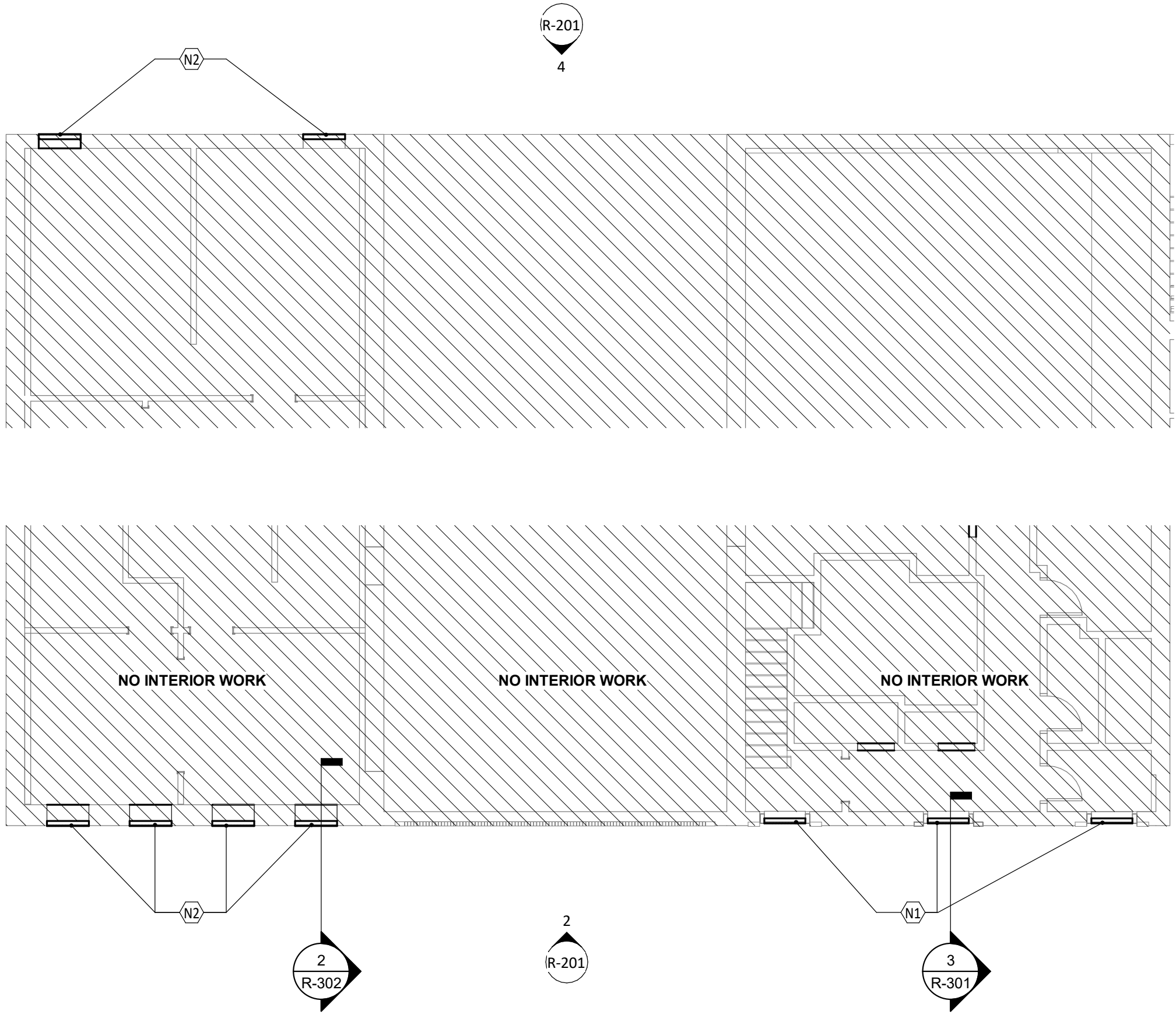
1 PHASE 1 - DEMO 1ST FLOOR PLAN  
1/8" = 1'-0"



3 PHASE 1 - NEW 1ST FLOOR PLAN  
1/8" = 1'-0"



2 PHASE 1 - DEMO 2ND FLOOR PLAN  
1/8" = 1'-0"



4 PHASE 1 - NEW 2ND FLOOR PLAN  
1/8" = 1'-0"

PHASE 1 - DEMOLITION NOTES BY NUMBER	
NUMBER	NOTE
BROADWAY	
D5	EXISTING WOOD PANELING AND FURRING TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D6	EXISTING METAL AND GLASS SIGNAGE CABINET/DESK TO BE REMOVED.
D7	EXISTING BRICK TO REMAIN
D8	EXISTING STOREFRONT TO REMAIN
D9	EXISTING EXTERIOR TILE FINISH TO REMAIN
D12	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D15	EXISTING STUCCO FINISHED (WEDGE SHAPED) FRAMING AND THEATER SIGN TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D16	EXISTING LIGHT FIXTURE TO BE REMOVED.
D17	EXISTING EXTERIOR TILED FLOORING TO REMAIN
D18	EXISTING THEATER SIGNAGE TO BE REMOVED
D19	EXISTING STONE COPING TO REMAIN
D20	EXISTING BRICK HEADER FOR ORIGINAL THEATER OPENING TO REMAIN.
D27	LINEAR INTERLOCKING METAL PANELS TO BE REMOVED.
HELEN MATES	
D1	EXISTING EIFS TO BE REMOVED. ORIGINAL STONE SUBSTRATE TO REMAIN.
D2	EXISTING STOREFRONT TO REMAIN
D3	EXISTING EIFS TO BE REMOVED. ORIGINAL STUCCO OVER BRICK SUBSTRATE TO REMAIN.
D10	EXISTING FLAGSTONE SIDEWALK FINISH TO REMAIN
D14	EXISTING WINDOWS AND EIFS TRIM TO BE REMOVED. ORIGINAL STUCCO OVER BRICK SUBSTRATE TO REMAIN.
D21	ALUMINUM DISPLAY CASE AND WOOD PANELING ON SIDE WALL ADJACENT TO DOOR TO REMAIN.
D22	WOODEN SOFFIT TRIM AND STUCCO CEILING TO REMAIN.
D23	EXISTING EIFS EXTENSIONS ON SIDE OF DEMISING WALL TO BE REMOVED. ENTIRETY OF WALL IS NOT EIFS.
D28	EXISTING WINDOWS TO BE REMOVED. WINDOW TRIM TO REMAIN.
J&J DRUG	
D4	EXISTING STOREFRONT TO REMAIN
D11	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D13	ALL EXISTING BRICK TO REMAIN
D24	EXISTING STONE CAP TO REMAIN
D25	EXISTING FABRIC AWNING AND STRUCTURAL FRAME TO BE REMOVED
D26	EXISTING OSB PANELS OVER WOOD FRAMED VERTICAL WINDOWS TO BE REMOVED. GC TO NOTIFY OWNER ARCHITECT WHEN THESE PANELS ARE TO BE REMOVED.

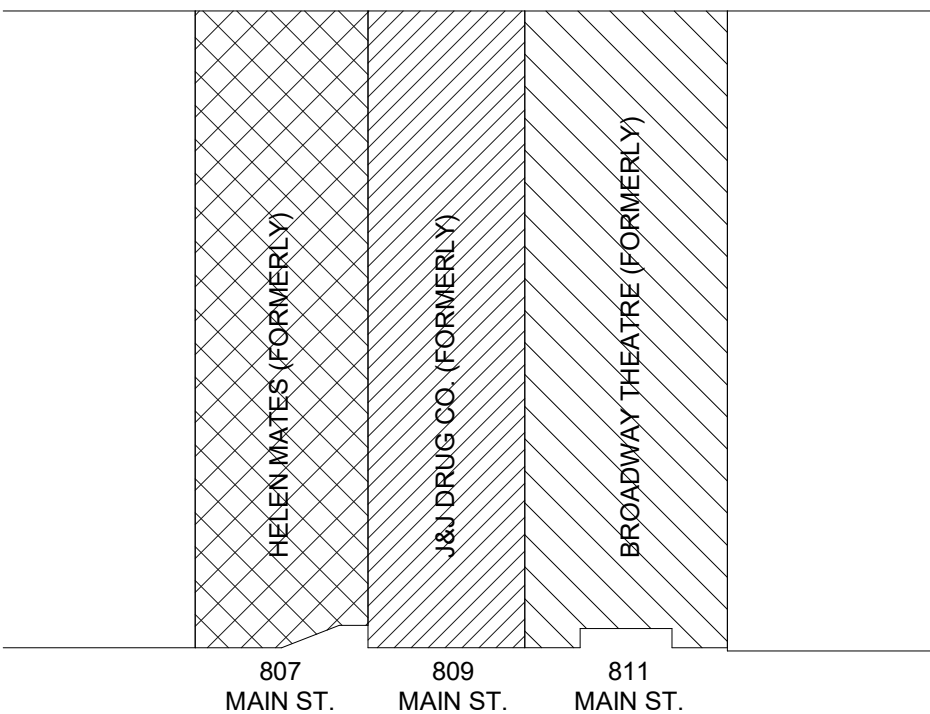
PHASE 1 - NEW WORK NOTES BY NUMBER	
NOTE #	NOTE
BROADWAY	
N1	INFILL EXISTING OPENING PER BOARD-UP PROCEDURES
N3	EXISTING BRICK HEADER FOR ORIGINAL THEATER OPENING TO REMAIN.
N4	EXISTING STEEL BEAM TO REMAIN (APPROXIMATE LOCATION)
N5	GC TO REVIEW EXISTING CONDITIONS WITH OWNER/ARCHITECT FOR DIRECTION REGARDING WEATHERIZATION OF EXPOSED SOFFIT AREA.
N6	EXISTING STOREFRONT TO REMAIN
N7	EXISTING BRICK TO REMAIN
N8	EXISTING STONE COPING TO REMAIN
N9	EXISTING EXTERIOR TILED FLOORING TO REMAIN
N10	EXISTING CONCRETE TO REMAIN
N12	EXISTING STONE KEYSTONE AND TRIM BLOCKS TO REMAIN
N13	ASSUMED LOCATION WHERE ORIGINAL STRUCTURAL SUPPORT FOR ORIGINAL MARQUEE PASSED THROUGH WALL
N14	ASSUMED LOCATION OF ORIGINAL MARQUEE TENSION ROD MOUNTING PLATE, TO REMAIN IF FOUND.
N15	ASSUMED LOCATION OF ORIGINAL WALL BOLT. TO REMAIN IF FOUND.
HELEN MATES	
N2	INFILL EXISTING OPENING PER BOARD-UP PROCEDURES
J&J DRUG	
N11	CROSSHATCH DENOTES AREA OVER EXISTING WINDOWS/OPENING TO BE COVERED WITH NEW PRIME AND PAINTED 3/4" PLYWOOD. GC TO SEAL PLYWOOD AT ALL EDGES TO EXISTING FACADE.

#### DEMOLITION PLAN SHEET NOTES

- THIS PROJECT IS SEEKING HISTORIC TAX CREDITS; THEREFORE, THE GENERAL CONTRACTOR SHALL UTILIZE MEANS AND METHODS THAT ARE NON-DESTRUCTIVE TO THE ORIGINAL FINISHES AND FEATURES OF THE BUILDINGS.
- NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF CONDITIONS DISCOVERED DURING THE DEMOLITION PROCESS REVEAL ANY UNFORESEEN DISCREPANCIES OR ADDITIONAL HISTORIC FEATURES.
- DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- TERMINATE AND CAP ANY UTILITY IN WALLS CEILINGS AND FLOORS TO BE REMOVED AND NOT INTENDED FOR REUSE.

#### FLOOR PLAN SHEET NOTES

- EXTERIOR DIMENSIONS ARE FACE OF FINISH TO FACE OF FINISH.
- FOR BOARD-UP PROCEDURES, REFER TO SHEET R-102 "PHASE 1 - BOARD-UP PROCEDURES"



KEYPLAN

CITY OF MYRTLE BEACH

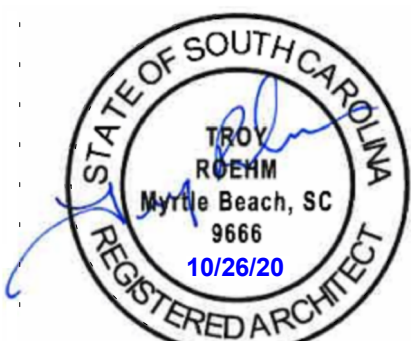


BROADWAY THEATRE

PHASE 1 HISTORIC REVELATION



3067 DEVILLE STREET  
MYRTLE BEACH, SOUTH CAROLINA 29577  
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#### REVISIONS:

No.	Description	Date
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PROJECT: 4701-193011  
DATE: 10/26/20  
DRAWN BY: Author  
CHECKED BY: Checker

PHASE 1 - HISTORIC RESTORATION PLANS

R-101

PERMIT SET



1



IAAI/USFA Abandoned Building Project  
USFA National Arson Prevention Initiative  
Board Up Procedures



Materials List and Specifications

Security Measures

- All openings in the basement, first floor doors and windows, and any point of entry accessible from a porch, fire escape, roof, or other potential climbing point shall be barricaded with plywood, 2x4 braces, carriage bolt sets, and nails. Particle board, wafer board, Masonite, or other similar material shall not be used for purposes of boarding-up a building.
- Openings that are at least 10' from ground level which are not accessible from a porch, fire escape, roof, or other potential climbing point can be secured with nails in each brace, and every 12" around the perimeter. For all openings, the plywood should be fitted so that it rests snugly against the exterior frame, butting up to the siding on wood frame buildings and up to the brick molding edge on brick buildings. It may be necessary to remove the staff bead so this fit can be flush and tight.
- The structure shall be posted with a NO TRESPASSING sign at the completion of the board-up.

Materials

- 3/4" Plywood, 1/2" (4 ply) exterior grade CDX
- Braces - 2" by 4" by 8' construction grade lumber
- 3/8" (coarse thread) by 12" carriage bolts (rounded head on weather side)
- 3/8" (coarse thread) construction grade nuts
- 1/2" (USS Standard) Flat washers with an inside diameter large enough to bypass the wrench neck inside the carriage bolt head so no lift edge is available beneath an installed carriage bolt head.
- 3/8" (USS Standard) diameter flat washers for installation beneath the nut inside the building
- 1 3/4" (6d) galvanized or stainless steel ring-shank nails or comparable deck nails - screws.

2

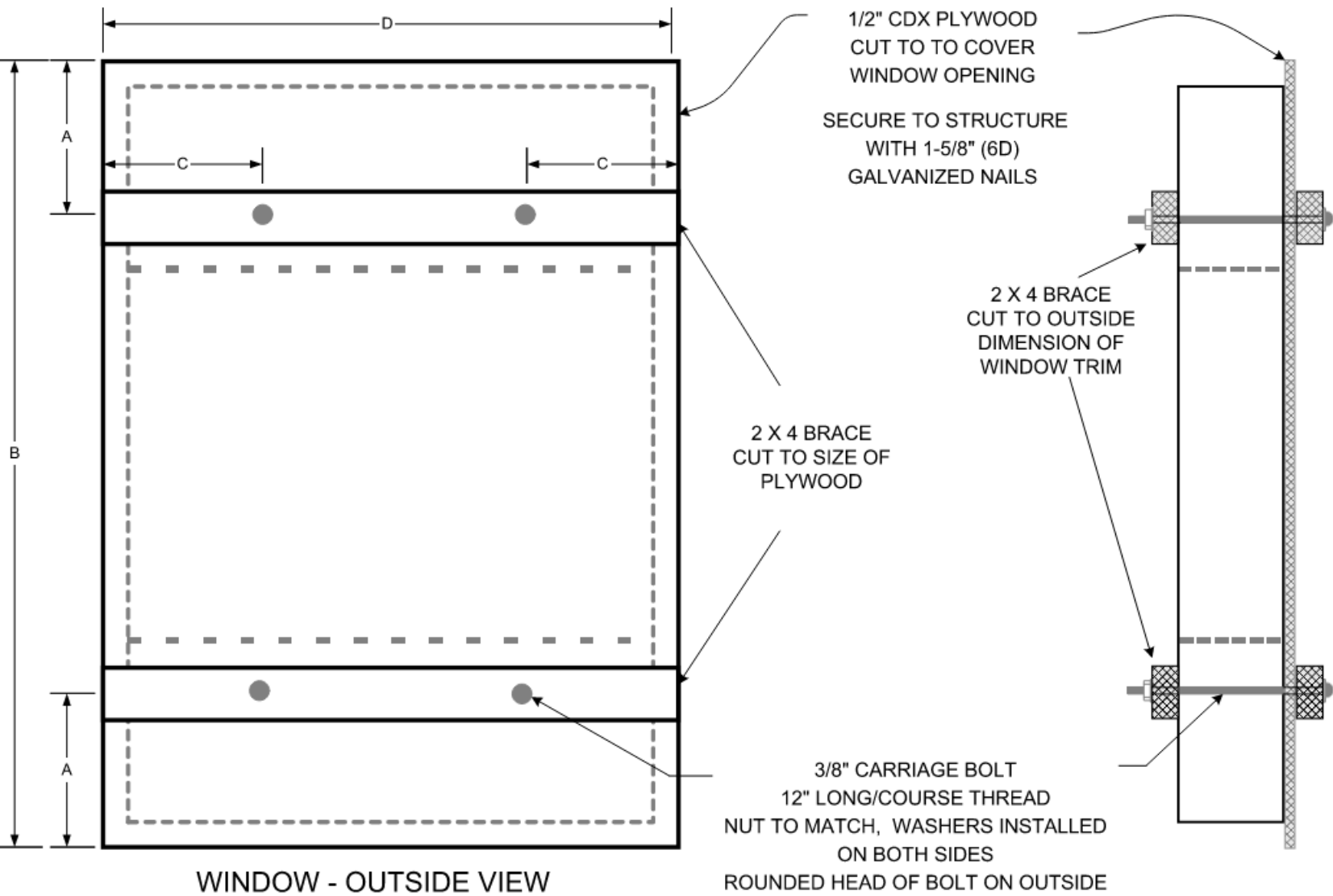
Barrier Assembly

- Applying barriers is accomplished with a inside and outside carpenter with appropriate tools and supplies. The inside carpenter will need a light. Exit is made over a ladder when the last window is boarded.
- Plywood shall be cut to fit over the window and door openings, flush with outside of the molding/trimmer stud. Application of barriers shall be completed so that all lift or pry points are avoided.
- The 2x4 braces shall be cut to fit the horizontal dimension of the plywood. Two exterior and two interior 2x4 braces shall be provided for each window and three sets for each door.
- Window Assembly - Braces are located horizontally approximately 1/3 of the distance from the top and the bottom of the window. Bolt holes are located 1/3 of the length of the brace from the outside edge of the window jams. Prior to installation, the assembly should be pre-assembled and 3/8" holes drilled through all of the components.
- Door Assembly - Door braces will be placed horizontally; one in the center of the doorway and one 1/2 the distance from the center to the top and one 1/2 distance from the center to the bottom of the doorway. Bolt holes are located 1/3 of the length of the brace from the outside edge of the door frame. Prior to installation, the assembly should be pre-assembled and 3/8" holes drilled through all of the components.
- Plywood used to cover exterior openings shall be nailed every 12" along the perimeter to the window or door frame.
- The 2x4 braces on the interior and exterior of the assemblies shall be secured using 3/8" by 12" carriage bolt assemblies. Bolts shall be inserted through the pre-drilled holes from the exterior with a 1/2" washer place against the exterior brace, a 3/8" washer is placed against the interior brace. The bolt is tightened from the inside so that it slightly compresses the interior brace.
- The exterior surfaces of barriers shall be painted or stained the same color as the structure to minimize the appearance.

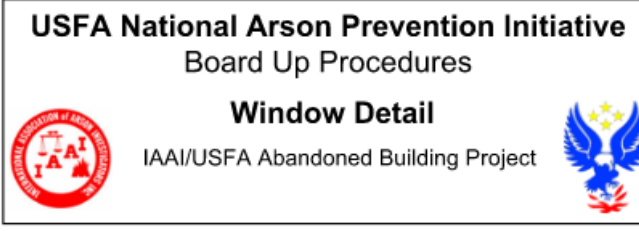
Should the through-bolt compression method be impossible due to the size or condition of the opening, the opening shall be covered with plywood and secured with a minimum of 3-inch-long deck or wood screws installed on 4-inch centers around the circumference of the opening.

For buildings that require access by authorized personnel, a single door that is visible from the street may be secured using a solid core wood or steel door. There shall be no windows or other openings in this door. The door shall be securely locked using a padlock and hasp assembly that is bolted through the door. The lock loop portion of the hasp is attached to the door frame using a minimum of 3-inch-long wood screws.

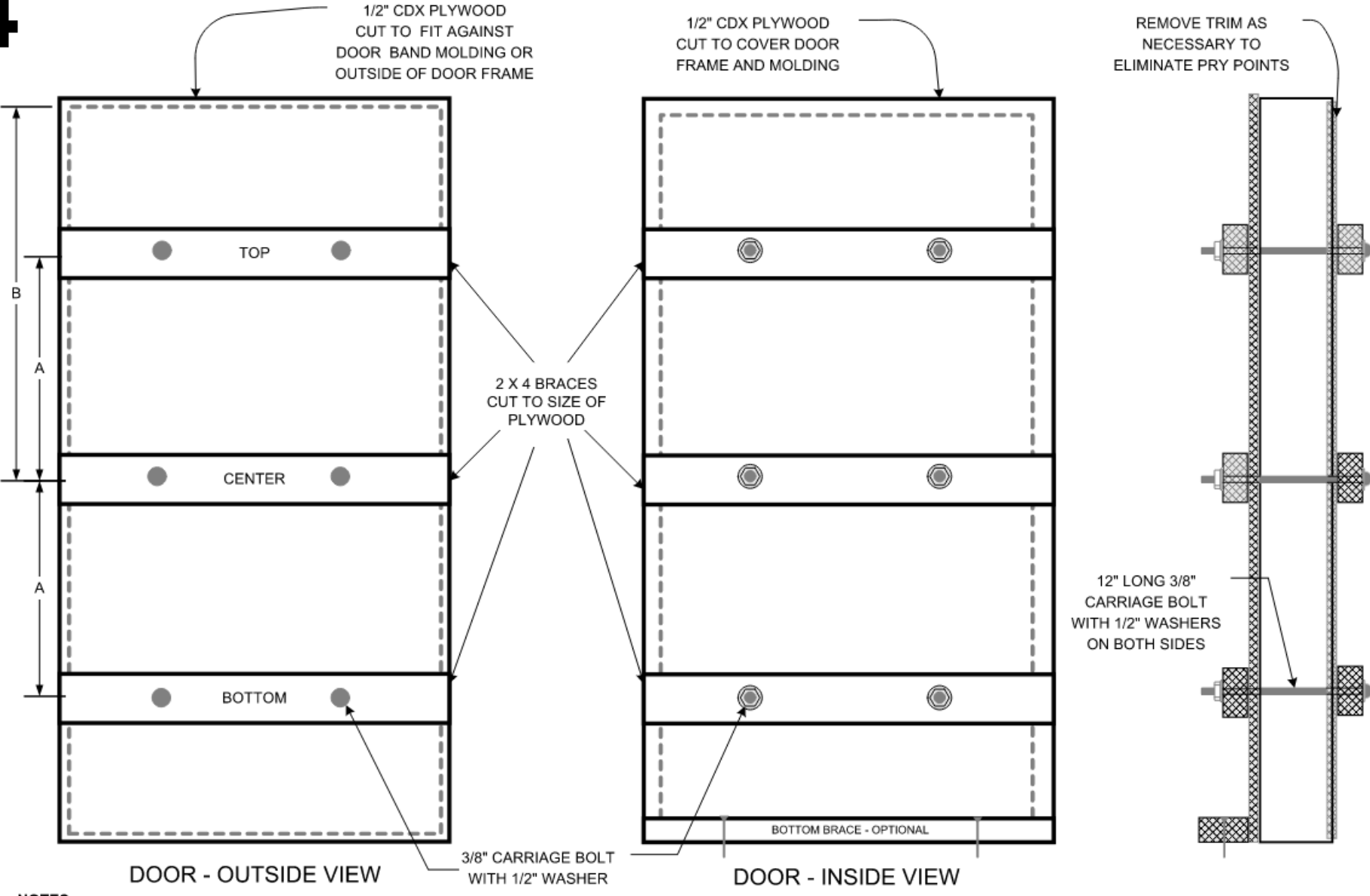
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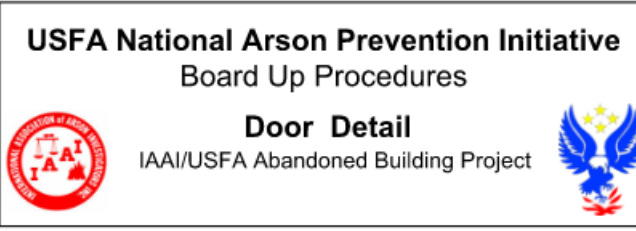
- NOTES:
- FOR DOUBLE HUNG WINDOWS, SLIDE SASH TO CENTER OF UNIT AND PASS BOLTS THROUGH OPENINGS AT TOP AND BOTTOM.
  - STORM WINDOWS SHOULD BE REMOVED AND STORED INSIDE STRUCTURE.
  - OUTSIDE TRIM MAY HAVE TO BE REMOVED TO ACCOMMODATE A FLUSH AND TIGHT FIT.
  - TIGHTEN NUTS FROM INSIDE ENOUGH TO SLIGHTLY COMPRESS 2X4 BRACE.
  - BRACE LOCATIONS: A = 1/3 B (SEE DIMENSION LOCATIONS ON DRAWING).
  - LOCATION OF BOLT HOLES: C = 1/3D (SEE DIMENSION LOCATIONS ON DRAWING).



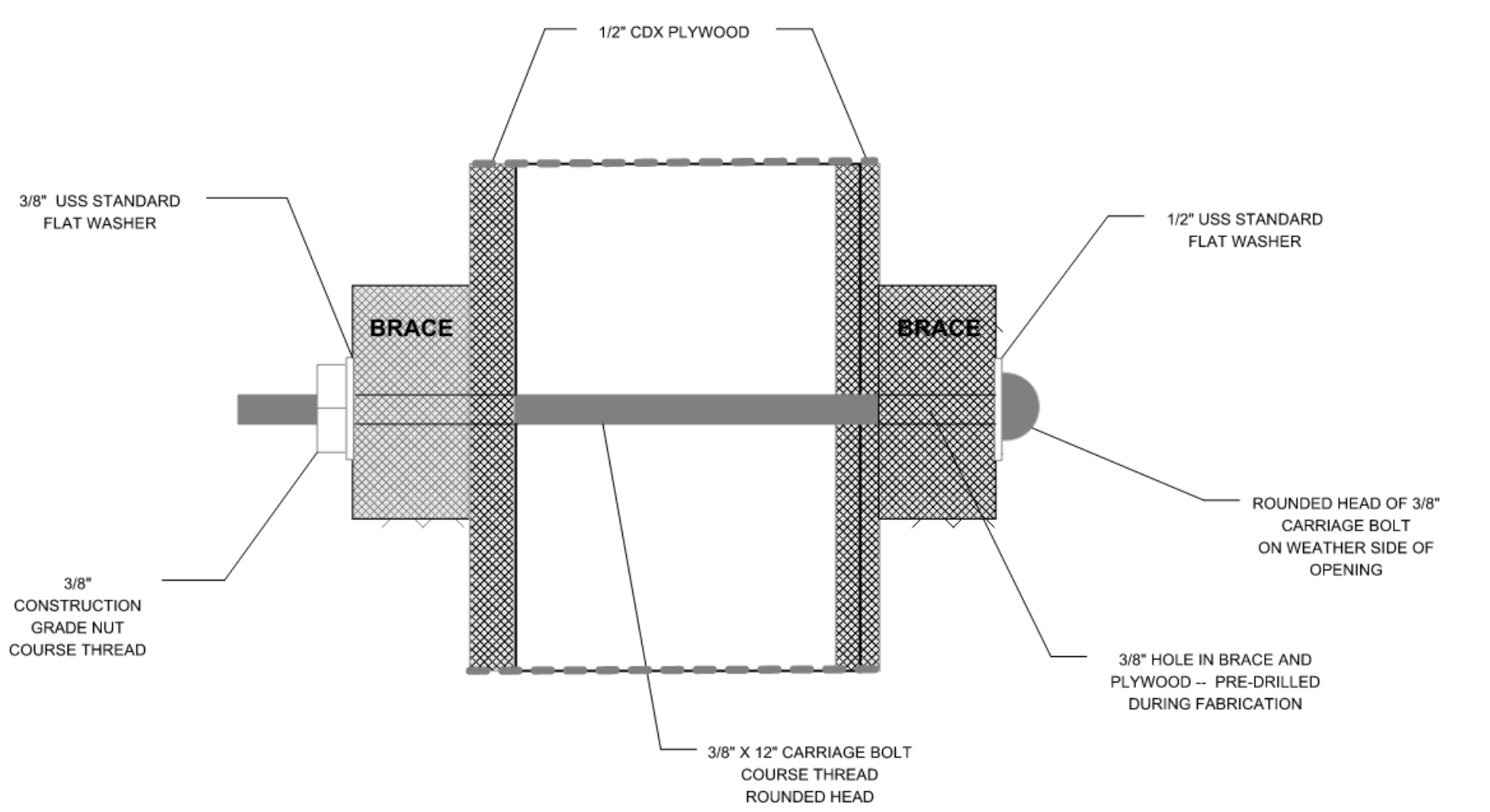
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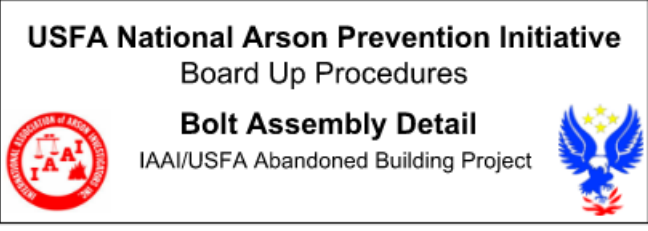
- NOTES:
- DOOR IS REMOVED AND STORED INSIDE BUILDING.
  - USE 3/8" X 12" CARRIAGE BOLTS - ROUNDED HEAD ON OUTSIDE OF BUILDING.
  - TIGHTEN NUTS FROM INSIDE ENOUGH TO SLIGHTLY COMPRESS 2X4 BRACE.
  - IF PLYWOOD CAN NOT BE BUTTED AGAINST BAND MOLDING, CUT TO COVER OUTSIDE EDGE OF DOOR FRAME.
  - BOLT HOLES ARE LOCATED AS THEY ARE FOR WINDOWS (SEE WINDOW DETAIL).
  - CENTER BRACE LOCATED IN CENTER OF DOORWAY OPENING. TOP AND BOTTOM BRACES ARE POSITIONED WHERE A = 1/2B (SEE DIMENSION LOCATIONS ON DRAWING).



5



- NOTES:
- USE 3/8" X 12" CARRIAGE BOLTS - ROUNDED HEAD ON OUTSIDE OF BUILDING.
  - TIGHTEN NUTS FROM INSIDE ENOUGH TO SLIGHTLY COMPRESS WASHER INTO 2X4 BRACE.
  - USE 1/2" WASHER ON WEATHER SIDE TO ACCOMMODATE THE WRENCH NECK OF BOLT AND ELIMINATE PRY POINTS.



6

WINDOW ASSEMBLY

MATERIALS REQUIRED PER WINDOW

- 1/2" CDX PLYWOOD SHEET - CUT TO DIMENSIONS OF WINDOW FRAME (WEATHER SIDE)
- 2X4 BRACES - CUT TO WIDTH OF PLYWOOD
- CARRIAGE BOLT ASSEMBLIES

NUMBER OF WINDOWS TO BE SECURED (N<sub>w</sub>): \_\_\_\_\_

NUMBER OF WINDOWS BRACES REQUIRED: (N<sub>w</sub> X 4) \_\_\_\_\_

CARRIAGE BOLT ASSEMBLIES REQUIRED (B<sub>w</sub>): (N<sub>w</sub> X 4) \_\_\_\_\_

DOOR ASSEMBLIES

MATERIALS REQUIRED PER DOOR

- 1/2" CDX PLYWOOD SHEET - CUT TO DIMENSIONS OF DOOR FRAME (WEATHER SIDE)
- 1/2" CDX PLYWOOD SHEET - CUT TO OUTSIDE DIMENSIONS OF DOOR FRAME TRIM (INSIDE)
- 2X4 BRACES - 3 CUT TO WIDTH OF OUTSIDE PLYWOOD, 3 CUT TO WIDTH OF INSIDE PLYWOOD
- 2X4 BOTTOM BRACE - CUT TO WIDTH OF DOOR TRIM (OPTIONAL)
- CARRIAGE BOLT ASSEMBLIES

NUMBER OF DOORS TO BE SECURED (N<sub>d</sub>): \_\_\_\_\_

NUMBER OF DOOR BRACES REQUIRED: (N<sub>d</sub> X 6) \_\_\_\_\_

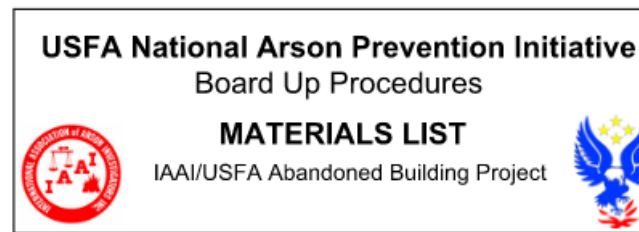
NUMBER OF BOTTOM BRACES REQUIRED: (N<sub>d</sub>) \_\_\_\_\_

CARRIAGE BOLT ASSEMBLIES REQUIRED (B<sub>d</sub>): (N<sub>d</sub> X 6) \_\_\_\_\_

CARRIAGE BOLT ASSEMBLY

- 12' X 3/8" CARRIAGE BOLT - COURSE THREAD
- 1/2" USS STANDARD FLAT WASHER (WEATHER SIDE)
- 3/8" USS STANDARD FLAT WASHER (INSIDE)
- 3/8" CONSTRUCTION GRADE NUT - COURSE THREAD

TOTAL CARRIAGE BOLT ASSEMBLIES REQUIRED (B<sub>w</sub> + B<sub>d</sub>) \_\_\_\_\_



CITY OF MYRTLE BEACH

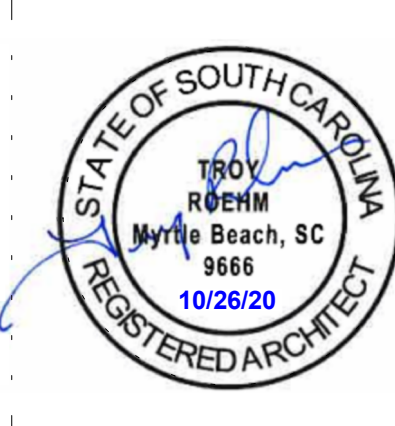


BROADWAY THEATRE

PHASE 1 HISTORIC REVELATION



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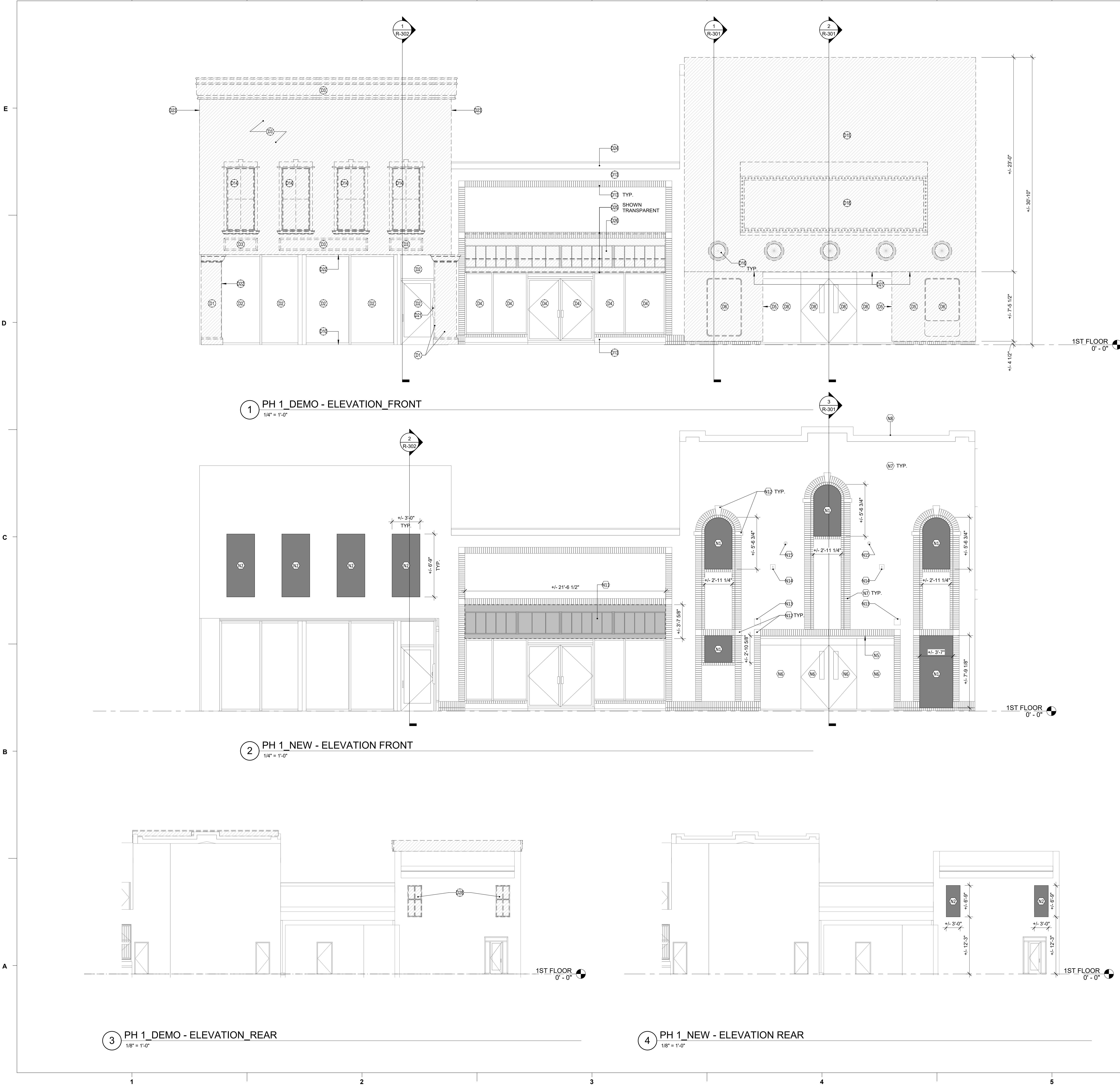
PHASE 1 - BOARD-UP PROCEDURES

R-102

PERMIT SET

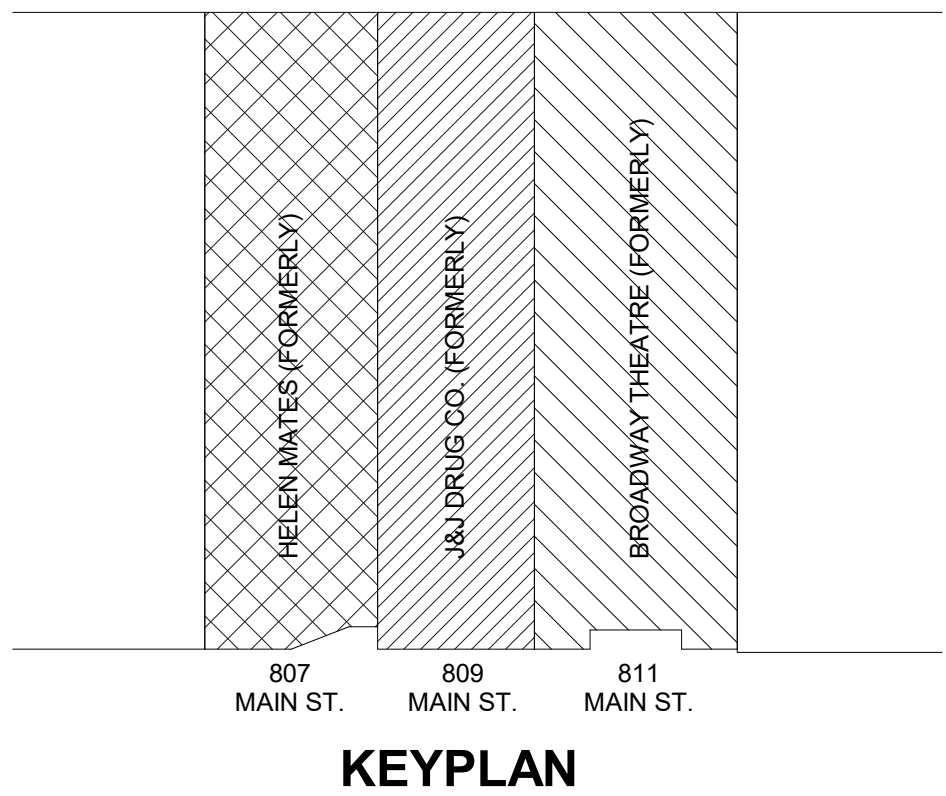


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PHASE 1 - DEMOLITION NOTES BY NUMBER	
NUMBER	NOTE
BROADWAY	
D5	EXISTING WOOD PANELING AND FURRING TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D6	EXISTING METAL AND GLASS SIGNAGE CABINET/DESK TO BE REMOVED.
D7	EXISTING BRICK TO REMAIN
D8	EXISTING STOREFRONT TO REMAIN
D9	EXISTING EXTERIOR TILE FINISH TO REMAIN
D12	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D15	EXISTING STUCCO FINISHED (WEDGE SHAPED) FRAMING AND THEATER SIGN TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D16	EXISTING LIGHT FIXTURE TO BE REMOVED.
D17	EXISTING EXTERIOR TILED FLOORING TO REMAIN
D18	EXISTING THEATER SIGNAGE TO BE REMOVED
D19	EXISTING STONE COPING TO REMAIN
D20	EXISTING BRICK HEADER FOR ORIGINAL THEATER OPENING TO REMAIN.
D27	LINEAR INTERLOCKING METAL PANELS TO BE REMOVED.
HELEN MATES	
D1	EXISTING EIFS TO BE REMOVED. ORIGINAL STONE SUBSTRATE TO REMAIN.
D2	EXISTING STOREFRONT TO REMAIN
D3	EXISTING EIFS TO BE REMOVED. ORIGINAL STUCCO OVER BRICK SUBSTRATE TO REMAIN.
D10	EXISTING FLAGSTONE SIDEWALK FINISH TO REMAIN
D14	EXISTING WINDOWS AND EIFS TRIM TO BE REMOVED. ORIGINAL STUCCO OVER BRICK SUBSTRATE TO REMAIN.
D21	ALUMINUM DISPLAY CASE AND WOOD PANELING ON SIDE WALL ADJACENT TO DOOR TO REMAIN.
D22	WOODEN SOFFIT TRIM AND STUCCO CEILING TO REMAIN.
D23	EXISTING EIFS EXTENSIONS ON SIDE OF DEMISING WALL TO BE REMOVED. ENTIRETY OF WALL IS NOT EIFS.
D28	EXISTING WINDOWS TO BE REMOVED. WINDOW TRIM TO REMAIN.
J&J DRUG	
D4	EXISTING STOREFRONT TO REMAIN
D11	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D13	ALL EXISTING BRICK TO REMAIN
D24	EXISTING STONE CAP TO REMAIN
D25	EXISTING FABRIC AWNING AND STRUCTURAL FRAME TO BE REMOVED
D26	EXISTING OSB PANELS OVER WOOD FRAMED VERTICAL WINDOWS TO BE REMOVED. GC TO NOTIFY OWNER ARCHITECT WHEN THESE PANELS ARE TO BE REMOVED.

PHASE 1 - NEW WORK NOTES BY NUMBER	
NOTE #	NOTE
BROADWAY	
N1	INFILL EXISTING OPENING PER BOARD-UP PROCEDURES
N3	EXISTING BRICK HEADER FOR ORIGINAL THEATER OPENING TO REMAIN.
N4	EXISTING STEEL BEAM TO REMAIN (APPROXIMATE LOCATION)
N5	GC TO REVIEW EXISTING CONDITIONS WITH OWNER/ARCHITECT FOR DIRECTION REGARDING WEATHERIZATION OF EXPOSED SOFFIT AREA.
N6	EXISTING STOREFRONT TO REMAIN
N7	EXISTING BRICK TO REMAIN
N8	EXISTING STONE COPING TO REMAIN
N9	EXISTING EXTERIOR TILED FLOORING TO REMAIN
N10	EXISTING CONCRETE TO REMAIN
N12	EXISTING STONE KEystone AND TRIM BLOCKS TO REMAIN
N13	ASSUMED LOCATION WHERE ORIGINAL STRUCTURAL SUPPORT FOR ORIGINAL MARQUEE PASSED THROUGH WALL.
N14	ASSUMED LOCATION OF ORIGINAL MARQUEE TENSION ROD MOUNTING PLATE, TO REMAIN IF FOUND.
N15	ASSUMED LOCATION OF ORIGINAL WALL BOLT. TO REMAIN IF FOUND.
HELEN MATES	
N2	INFILL EXISTING OPENING PER BOARD-UP PROCEDURES
J&J DRUG	
N11	CROSSHATCH DENOTES AREA OVER EXISTING WINDOWS/OPENING TO BE COVERED WITH NEW PRIMED AND PAINTED 3/4" PLYWOOD. GC TO SEAL PLYWOOD AT ALL EDGES TO EXISTING FACADE.



CITY OF MYRTLE BEACH



BROADWAY THEATRE

PHASE 1 HISTORIC REVELATION



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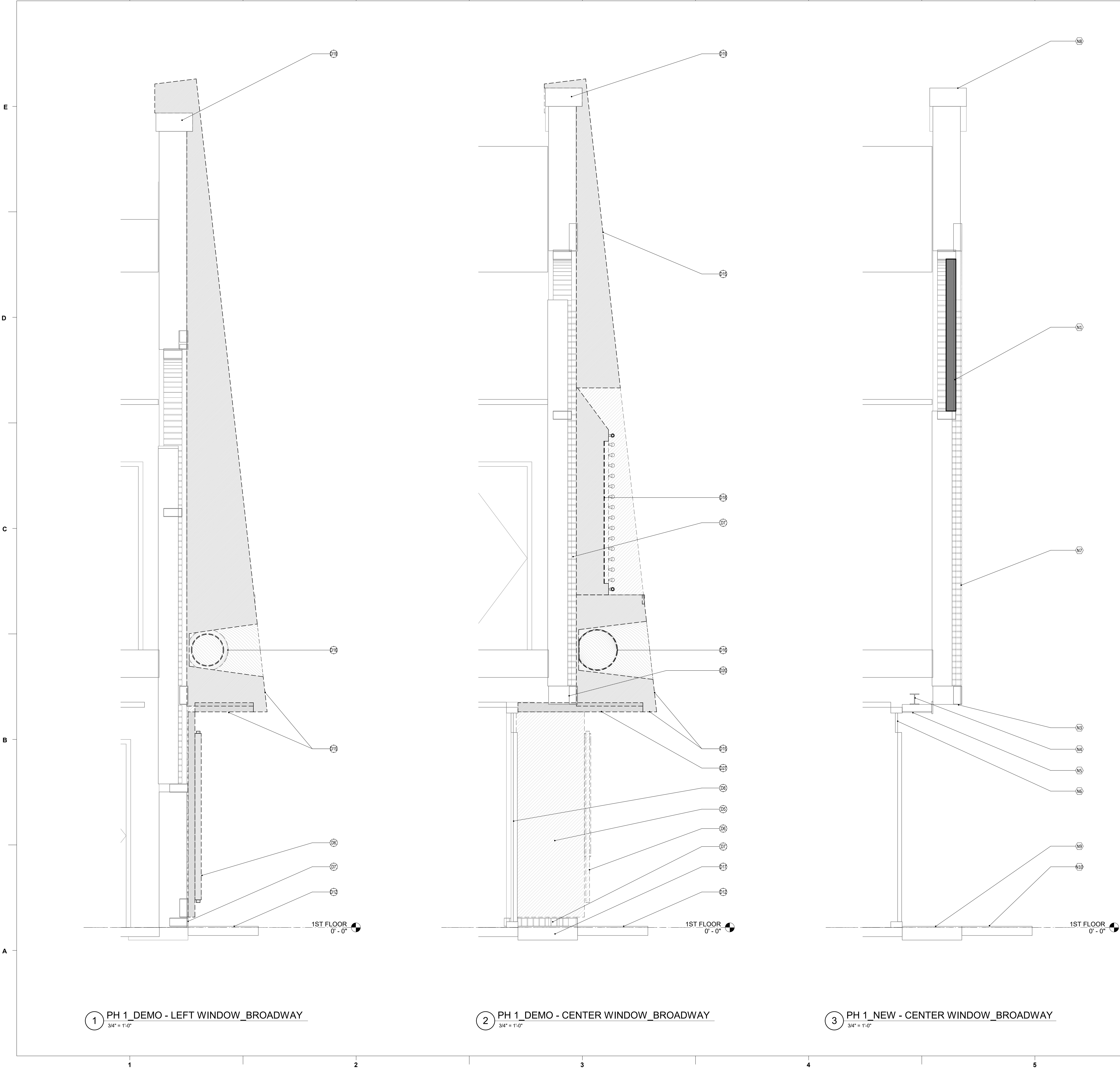
PHASE 1 - EXTERIOR ELEVATIONS

R-201

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PHASE 1 - DEMOLITION NOTES BY NUMBER	
NUMBER	NOTE
BROADWAY	
D5	EXISTING WOOD PANELING AND FURRING TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D6	EXISTING METAL AND GLASS SIGNAGE CABINET/DESK TO BE REMOVED.
D7	EXISTING BRICK TO REMAIN
D8	EXISTING STOREFRONT TO REMAIN
D9	EXISTING EXTERIOR TILE FINISH TO REMAIN
D12	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D15	EXISTING STUCCO FINISHED (WEDGE SHAPED) FRAMING AND THEATER SIGN TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D16	EXISTING LIGHT FIXTURE TO BE REMOVED.
D17	EXISTING EXTERIOR TILED FLOORING TO REMAIN
D18	EXISTING THEATER SIGNAGE TO BE REMOVED
D19	EXISTING STONE COPING TO REMAIN
D20	EXISTING BRICK HEADER FOR ORIGINAL THEATER OPENING TO REMAIN.
D27	LINEAR INTERLOCKING METAL PANELS TO BE REMOVED.
HELEN MATES	
D1	EXISTING EIFS TO BE REMOVED. ORIGINAL STONE SUBSTRATE TO REMAIN.
D2	EXISTING STOREFRONT TO REMAIN
D3	EXISTING EIFS TO BE REMOVED. ORIGINAL STUCCO OVER BRICK SUBSTRATE TO REMAIN.
D10	EXISTING FLAGSTONE SIDEWALK FINISH TO REMAIN
D14	EXISTING WINDOWS AND EIFS TRIM TO BE REMOVED. ORIGINAL STUCCO OVER BRICK SUBSTRATE TO REMAIN.
D21	ALUMINUM DISPLAY CASE AND WOOD PANELING ON SIDE WALL ADJACENT TO DOOR TO REMAIN.
D22	WOODEN SOFFIT TRIM AND STUCCO CEILING TO REMAIN.
D23	EXISTING EIFS EXTENSIONS ON SIDE OF DEMISING WALL TO BE REMOVED. ENTIRETY OF WALL IS NOT EIFS.
D28	EXISTING WINDOWS TO BE REMOVED. WINDOW TRIM TO REMAIN.
J&J DRUG	
D4	EXISTING STOREFRONT TO REMAIN
D11	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D13	ALL EXISTING BRICK TO REMAIN
D24	EXISTING STONE CAP TO REMAIN
D25	EXISTING FABRIC AWNING AND STRUCTURAL FRAME TO BE REMOVED
D26	EXISTING OSB PANELS OVER WOOD FRAMED VERTICAL WINDOWS TO BE REMOVED. GC TO NOTIFY OWNER ARCHITECT WHEN THESE PANELS ARE TO BE REMOVED.

PHASE 1 - NEW WORK NOTES BY NUMBER	
NOTE #	NOTE
BROADWAY	
N1	INFILL EXISTING OPENING PER BOARD-UP PROCEDURES
N3	EXISTING BRICK HEADER FOR ORIGINAL THEATER OPENING TO REMAIN.
N4	EXISTING STEEL BEAM TO REMAIN (APPROXIMATE LOCATION)
N5	GC TO REVIEW EXISTING CONDITIONS WITH OWNER/ARCHITECT FOR DIRECTION REGARDING WEATHERIZATION OF EXPOSED SOFFIT AREA.
N6	EXISTING STOREFRONT TO REMAIN
N7	EXISTING BRICK TO REMAIN
N8	EXISTING STONE COPING TO REMAIN
N9	EXISTING EXTERIOR TILED FLOORING TO REMAIN
N10	EXISTING CONCRETE TO REMAIN
N12	EXISTING STONE KEYSTONE AND TRIM BLOCKS TO REMAIN
N13	ASSUMED LOCATION WHERE ORIGINAL STRUCTURAL SUPPORT FOR ORIGINAL MARQUEE PASSED THROUGH WALL.
N14	ASSUMED LOCATION OF ORIGINAL MARQUEE TENSION ROD MOUNTING PLATE, TO REMAIN IF FOUND.
N15	ASSUMED LOCATION OF ORIGINAL WALL BOLT. TO REMAIN IF FOUND.
HELEN MATES	
N2	INFILL EXISTING OPENING PER BOARD-UP PROCEDURES
J&J DRUG	
N11	CROSSHATCH DENOTES AREA OVER EXISTING WINDOWS/OPENING TO BE COVERED WITH NEW PRIMED AND PAINTED 3/4" PLYWOOD. GC TO SEAL PLYWOOD AT ALL EDGES TO EXISTING FACADE.

CITY OF MYRTLE BEACH



BROADWAY THEATRE

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PHASE 1 - HISTORIC RESTORATION SECTIONS - BROADWAY

R-301

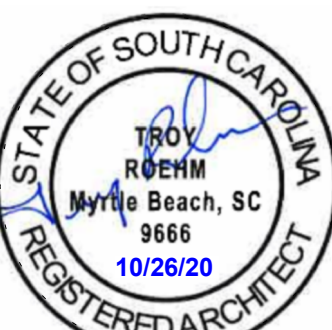
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PROJECT: 4701-193011  
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**PHASE 1 -  
RESTORATION  
WALL  
SECTIONS -  
HELEN MATES**

# R-302

PHASE 1 - DEMOLITION NOTES BY NUMBER	
NUMBER	NOTE
<b>BROADWAY</b>	
D5	EXISTING WOOD PANELING AND FURRING TO BE REMOVED. ORIGINAL BRICK SUBSTRATE TO REMAIN.
D6	EXISTING METAL AND GLASS SIGNAGE CABINET/DESK TO BE REMOVED.
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D27	LINEAR INTERLOCKING METAL PANELS TO BE REMOVED.
<b>HELEN MATES</b>	
D1	EXISTING EIFS TO BE REMOVED. ORIGINAL STUCCO SUBSTRATE TO REMAIN.
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<b>J&amp;J DRUG</b>	
D4	EXISTING STOREFRONT TO REMAIN
D11	EXISTING CONCRETE SIDEWALK FINISH TO REMAIN
D13	ALL EXISTING BRICK TO REMAIN
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PHASE 1 - NEW WORK NOTES BY NUMBER	
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N6	EXISTING STOREFRONT TO REMAIN
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