



ADDENDUM NO. [1]

Issue Date: March 9, 2021

Project Name: Sandridge Clubhouse Architectural Design

RFQ Number: 2021020

Bid Opening Date: March 31, 2021

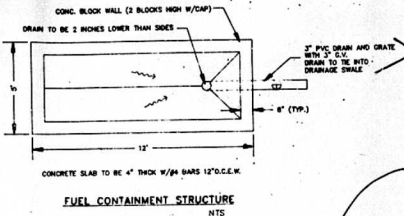
This addendum is being released to provide additional details about the current clubhouse.

Attachments:

Plan #92-445

CART PATH IN THIS AREA CAN BE FIELD ADJUSTED TO SAVE TREES BUT ANY CHANGE MUST BE APPROVED BY GOLF COURSE PROFESSIONAL

CAUTION
THE STRUCTURE WILL BE SUBJECT FOR COMPLIANCE WITH THE STRONGARM DISTANCE CODE AND MUST BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
Building Department



Material must meet NFPA #30

RELOCATE ABOVE SECOND FLOOR TANK (SEE DETAIL)
NOTE: METAL WARNING SIGNS, INCLUDING "STOP ENGINES BEFORE FILLING" CONTAINERS APPROVED CONTAINERS ONLY

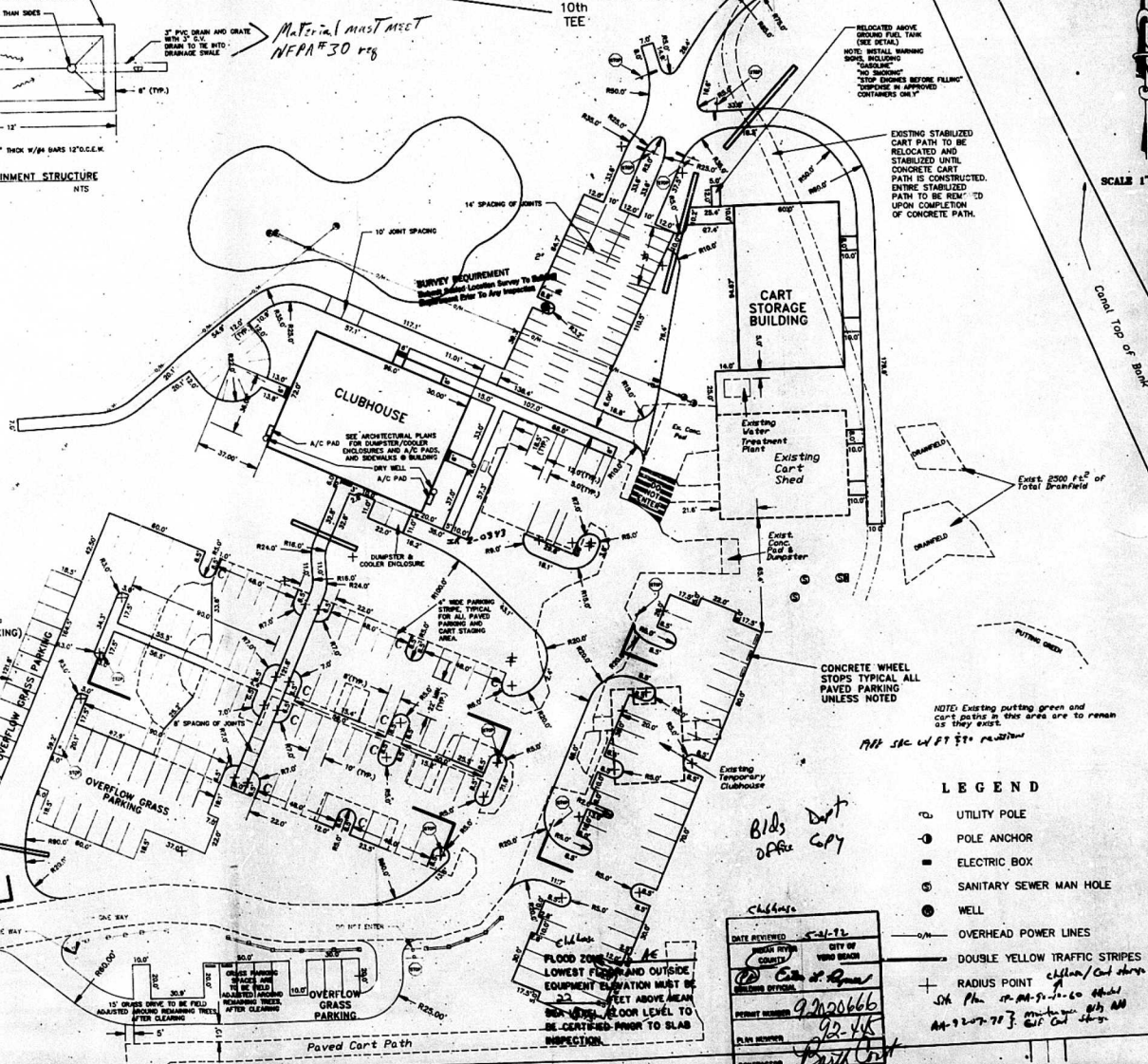
EXISTING STABILIZED CART PATH TO BE RELOCATED AND STABILIZED UNTIL CONCRETE CART PATH IS CONSTRUCTED. PATH TO BE RELOCATED UPON COMPLETION OF CONCRETE PATH.

SCALE 1" = 30'

PLAN REVIEWED
DATE 5-21-92 BY *[Signature]*
LOCAL BUILDING DEPARTMENT COMPLIANCE SUBJECT
NFPA 101 - LIFE SAFETY CODES
S.I.P. Addressed - A-1
FIRE INSPECTION REQUIRED
CALL (407) 562-8881
770-3721

PERMIT PLANS MUST BE ON JOB SITE FOR ALL FIRE INSPECTIONS

- Note: 1) Removal of the existing Clubhouse will be the responsibility of the County. Removal of all accessory items including but not limited to foundations, walls, stairs and utilities shall be the responsibility of the contractor. Before contractor can complete the new parking lot, the new clubhouse must be completed and occupied on the existing Clubhouse until removed. Before the golf course can receive a certificate of occupancy, ALL Clubhouse site work including parking lots must be completed. It is the contractor's responsibility to coordinate this effort.
- 2) Contractor to include in his bid as an Alternate the seal coating of all existing asphalt that is to remain.
- 3) Contractor to use excavated material from the Clubhouse site as fill material as available. Only good clean sand may be used for fill. Any excess or unsatisfactory material is to be wasted on the golf course as directed by the golf course architect. If earthwork on Clubhouse site does not generate sufficient fill material for buildings and pavement areas, fill will be provided from golf course and stockpiled at Practice Green. Clubhouse contractor will be responsible for transporting fill from the practice green to the site and compacting as required.
- 4) All cleared areas to be seeded and mulched with bahia grass.
- 5) Contractor to provide shop drawings for approval for all manufactured items.
- 6) All pavement markings including parking stripes, stop bars, handicapped signs and DO NOT ENTER letters and striping is to be thermoplastic.
- 7) Engineer will provide contractor with two (2) known survey points including one elevation. These points will be PK nail and disk. One point is proposed to be set in the employee's parking lot and one in the entrance road just south of existing clubhouse. Engineer will provide contractor with a disk of the site in AutoCad-Version 11. Construction stakeout will be the responsibility of the Contractor.
- 8) Contractor will provide owner a set of record drawings signed and sealed by a registered surveyor. Any deviations from the plan are to be noted. Additionally, elevations will be provided on pavement (including cart paths) and all drainage sections to determine flow direction and slopes. Floor elevations will be provided.
- 9) All site work will be done according to FDOT Standard Specifications for Road and Bridge Construction, 1988, including latest supplements except for water and sewer items which will follow Indian River County Water and Wastewater Utilities Standards latest edition and building site preparation which shall be by Architect specifications.
- 10) For existing trees see Sheet 2 - 10. LOWEST FLOOR AND OUTSIDE EQUIPMENT ELEVATION MUST BE 2.0 FEET ABOVE MEAN SEA LEVEL. FLOOR LEVEL TO BE CERTIFIED PRIOR TO SLAB INSPECTION.



RAILROAD TIE WHEEL STOP (TYPICAL ALL GRASS PARKING)

CONCRETE WHEEL STOPS TYPICAL ALL PAVED PARKING UNLESS NOTED

NOTE: Existing parking grass and cart path in this area are to remain as they exist.

LEGEND

- UTILITY POLE
- POLE ANCHOR
- ELECTRIC BOX
- SANITARY SEWER MAN HOLE
- WELL
- - - OVERHEAD POWER LINES
- - - DOUBLE YELLOW TRAFFIC STRIPES
- + RADIUS POINT

DATE REVIEWED 5-21-92
COUNTY CITY OF VERO BEACH
CITY OF VERO BEACH
PERMIT NUMBER 9206666
PLAN NUMBER 92-445
CONTRACTOR Paul Corp.

DATE REVIEWED 5-21-92
COUNTY CITY OF VERO BEACH
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PERMIT NUMBER 9206666
PLAN NUMBER 92-445
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COUNTY CITY OF VERO BEACH
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PERMIT NUMBER 9206666
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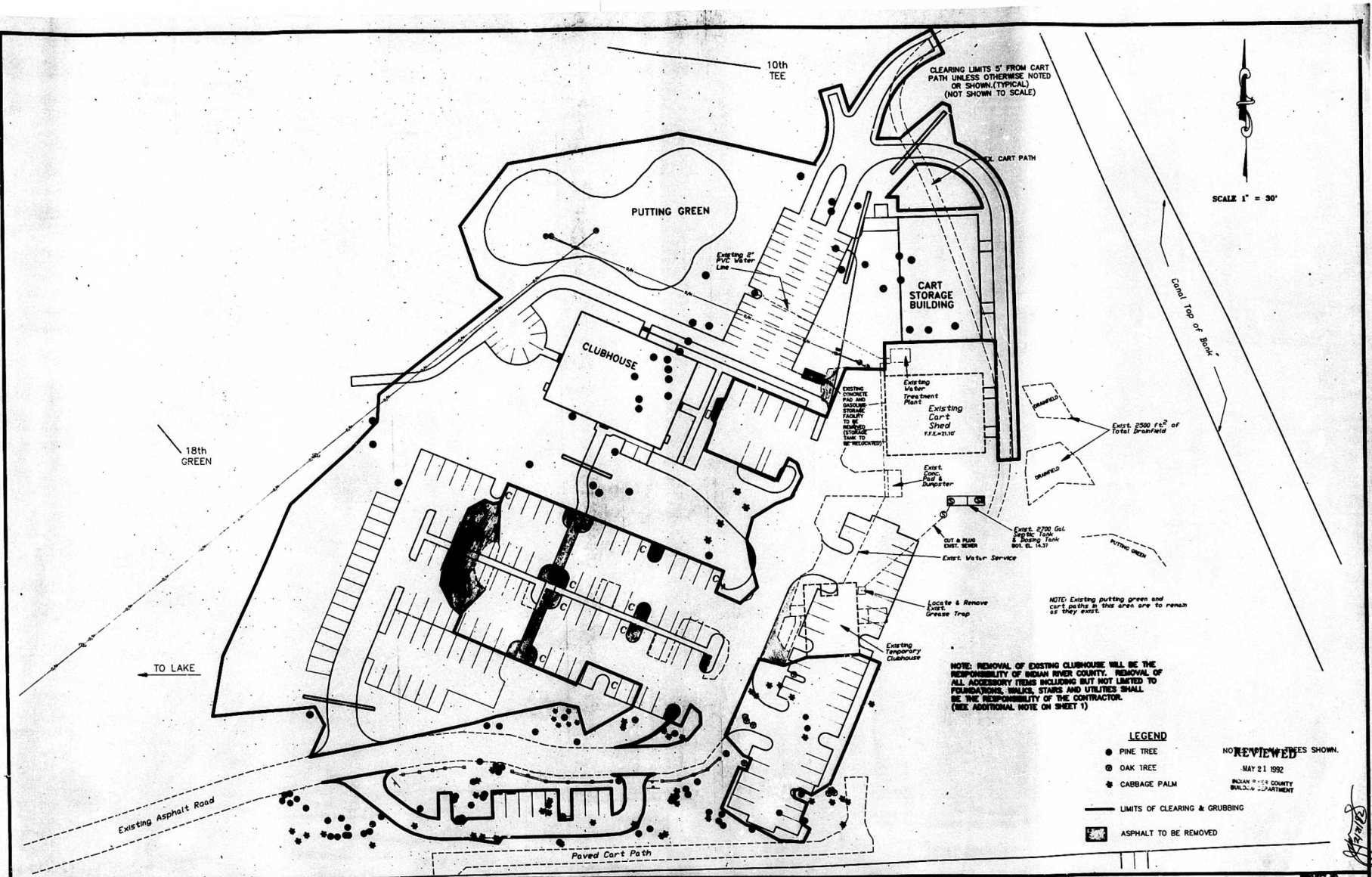
Kimley-Horn

Kimley-Horn and Associates, Inc.
601 21st Street, Suite 400
Vero Beach, Florida 32960
phone (407)562-7981

SANDRIDGE GOLF CLUB
DIMENSIONAL PLAN
AND GENERAL NOTES

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY

DATE 7-1-91
SCALE 1"=30'
SHEET 4 OF 4



SCALE 1" = 30'

NOTE: Existing putting green and cart paths in this area are to remain as they exist.

NOTE: REMOVAL OF EXISTING CLUBHOUSE WILL BE THE RESPONSIBILITY OF BISHOP RIVER COUNTY. REMOVAL OF ALL ACCESSORY ITEMS INCLUDING BUT NOT LIMITED TO FOUNDATIONS, WALKS, STAIRS AND UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. (SEE ADDITIONAL NOTE ON SHEET 1)

LEGEND

- PINE TREE
- OAK TREE
- CABBAGE PALM
- LIMITS OF CLEARING & GRUBBING
- ASPHALT TO BE REMOVED

NOT REVIEWED

MAY 21 1992
BISHOP RIVER COUNTY
BUILDING DEPARTMENT

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY

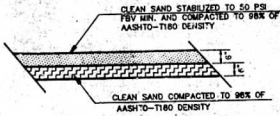
Kimley-Horn
Building client relationships since 1887

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601 21st Street, Suite 400
Vero Beach, Florida 32960
phone (407)562-7961

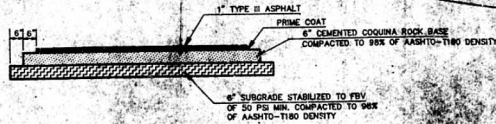
DATE: 7-1-91
SCALE: 1"=30'
© 1991
SK-D&C-R

**SANDRIDGE GOLF CLUB
DEMOLITION AND
CLEARING**

PROJECT NO. 8645.04
SHEET 2 of 4



TYPICAL GRASS DRIVE & PARKING SPACE
NTS



TYPICAL PAVEMENT CROSS SECTION
NTS

CONTRACTOR TO SAW CUT, REMOVE AND DISPOSE OF A MINIMUM OF 2\"/>



NEW PAVEMENT SECTION TO BE PLACED AGAINST SAW CUT FACE OF EXISTING PAVEMENT. TOP SURFACE TO BE SMOOTH AND THE JOINT SEALED TO ALLOW PROPER DRAINAGE AND PREVENT WATER PENETRATION TO BASE AND SUBGRADE.

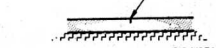
TYPICAL CONCRETE SECTION (SIMILAR DETAIL AT CONCRETE JOINTS)
NTS

4\"/>

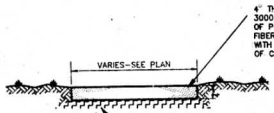
CONTRACTOR TO CONTINUE CONCRETE CURB PATH FOR ANOTHER 100 FEET FROM THIS POINT TO BE 7\"/>

JOINT TO BE TOOLED OR SAW CUT. CUT MUST BE MADE WITHIN 18 HOURS OF POUR.

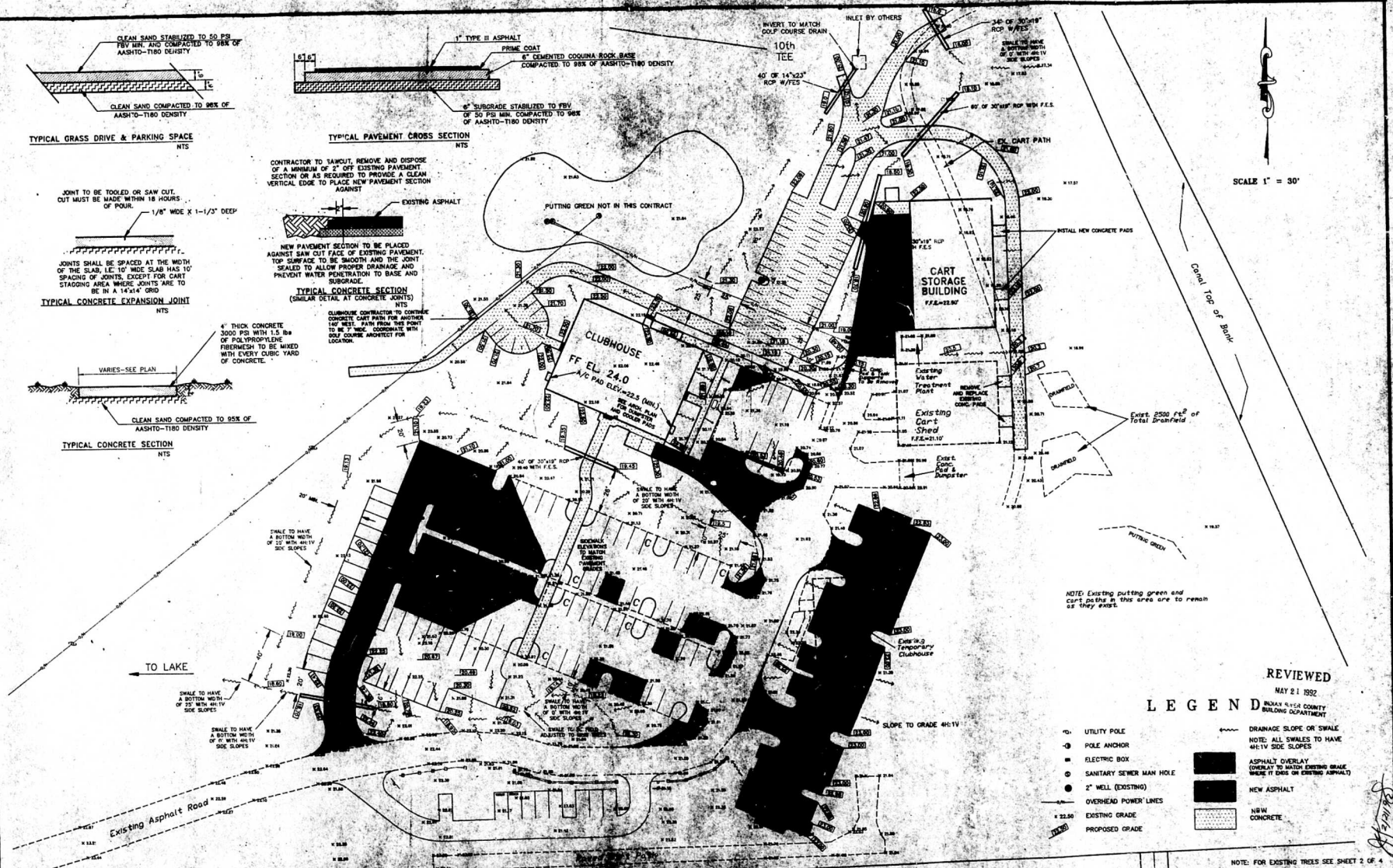
1/8\"/>



TYPICAL CONCRETE EXPANSION JOINT
NTS



TYPICAL CONCRETE SECTION
NTS



SCALE 1" = 30'

NOTE: Existing putting green and cart path in this area are to remain as they exist.

REVIEWED
MAY 21 1992

LEGEND

- UTILITY POLE
- POLE ANCHOR
- ELECTRIC BOX
- SANITARY SEWER MAN HOLE
- 2\"/>
- 22.50 EXISTING GRADE
- PROPOSED GRADE
- DRAINAGE SLOPE OR SWALE
- NOTE: ALL SWALES TO HAVE 4:1 V SIDE SLOPES
- ASPHALT OVERLAY (OVERLAY TO MATCH EXISTING GRADE WHERE IT ENDS ON EXISTING ASPHALT)
- NEW ASPHALT
- NEW CONCRETE

NOTE: FOR EXISTING TREES SEE SHEET 2 OF 4

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY

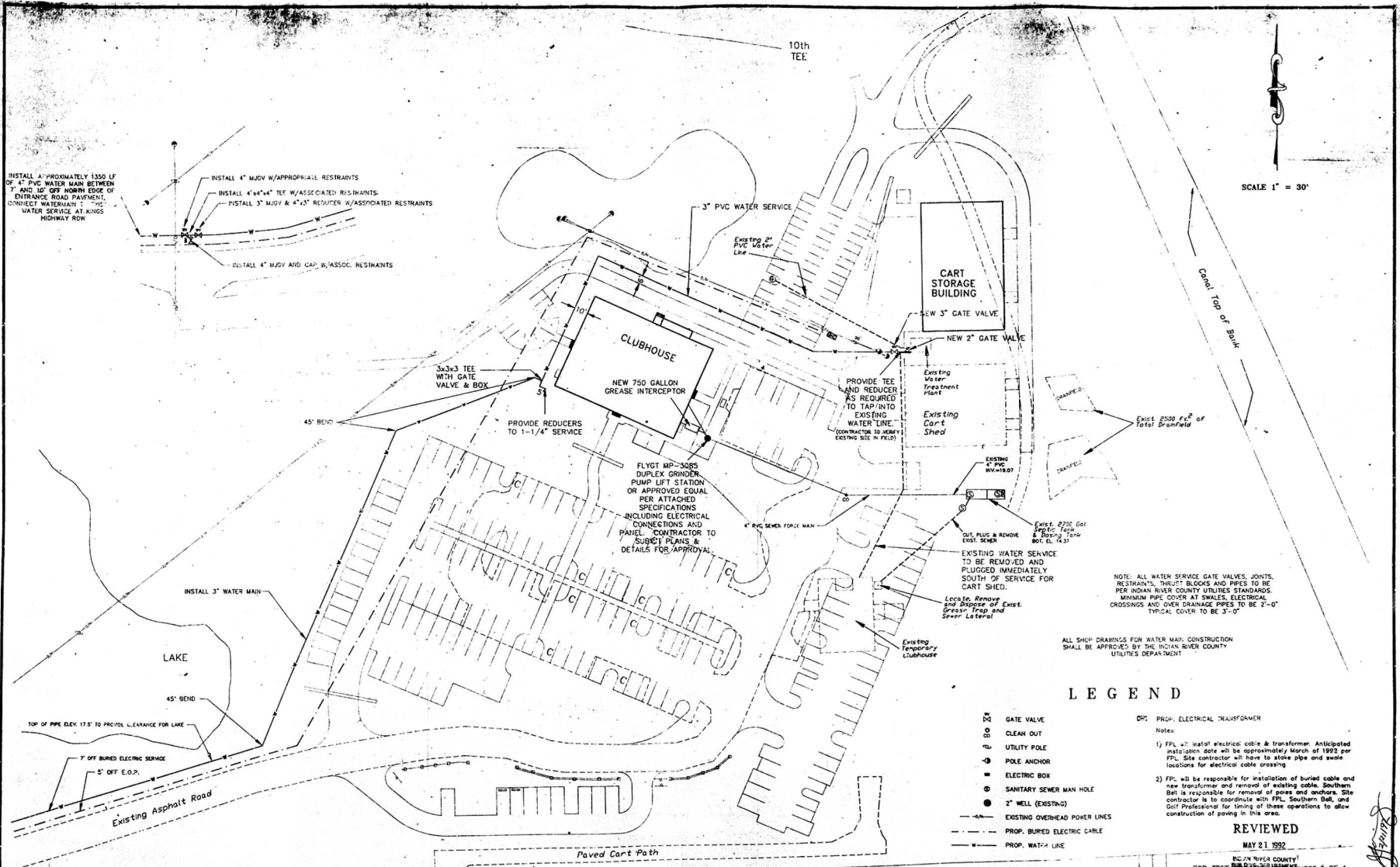


Kinley-Horn and Associates, Inc.
21st Street, Suite 400
Vero Beach, Florida 32980
phone (407) 562-7981

7-14-91
7-30-
8-189
3-PAV-R

SANDRIDGE GOLF CLUB
PAVING & DRAINAGE PLAN

PROJECT NO.	8845.04
SHEET	3 of 4



LEGEND

- GW GATE VALVE
 - CO CLEAN OUT
 - UP UTILITY POLE
 - PA POLE ANCHOR
 - EB ELECTRIC BOX
 - SM SANITARY SEWER MAN HOLE
 - EW 2" WELL (EXISTING)
 - EO EXISTING OVERHEAD POWER LINES
 - PC PROP. BURIED ELECTRIC CABLE
 - WL PROP. WATER LINE
 - ET PROP. ELECTRICAL TRANSFORMER
- Notes:
- FPL will install electrical cable & transformer. Anticipated installation date will be approximately March of 1992 per FPL. Site contractor will have to stake pipe and swale locations for electrical cable crossing.
 - FPL will be responsible for installation of buried cable and new transformer and removal of existing cable. Southern Bell is responsible for removal of poles and anchors. Site contractor is to coordinate with FPL, Southern Bell, and Golf Professional for timing of these operations to allow construction of paving in this area.

REVIEWED
MAY 21 1992

INDIAN RIVER COUNTY
FOR TREE LOCATION SHEET 2 OF 4

NO.		REVISION		DATE BY		NO.		REVISION		DATE BY	

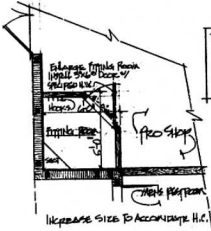
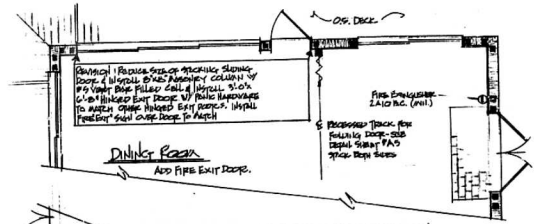
DESIGNED BY JWY
DRAWN BY
CHECKED BY JWY
FIELD BOOK NO. 279

Kimley-Horn and Associates, Inc.
801 21st Street, Suite 400
Vero Beach, Florida 32980
phone (407)562-7981

DATE 7-1-91
SCALE 1"=30'
© 1991
PROJECT NO. SR-011L

SANDRIDGE GOLF CLUB
UTILITY PLAN

PROJECT NO. 8645.04
SHEET 4 of 4



The Revision Also includes the following items:
 1. Fire Exit door to be 3'0" x 7'0" A-40.
 2. Fire Exit door to be 3'0" x 7'0" A-40.
 3. Lower fire exit door to be 3'0" x 7'0" A-40.
 4. Lower fire exit door to be 3'0" x 7'0" A-40.
 5. Fire Exit door to be 3'0" x 7'0" A-40.

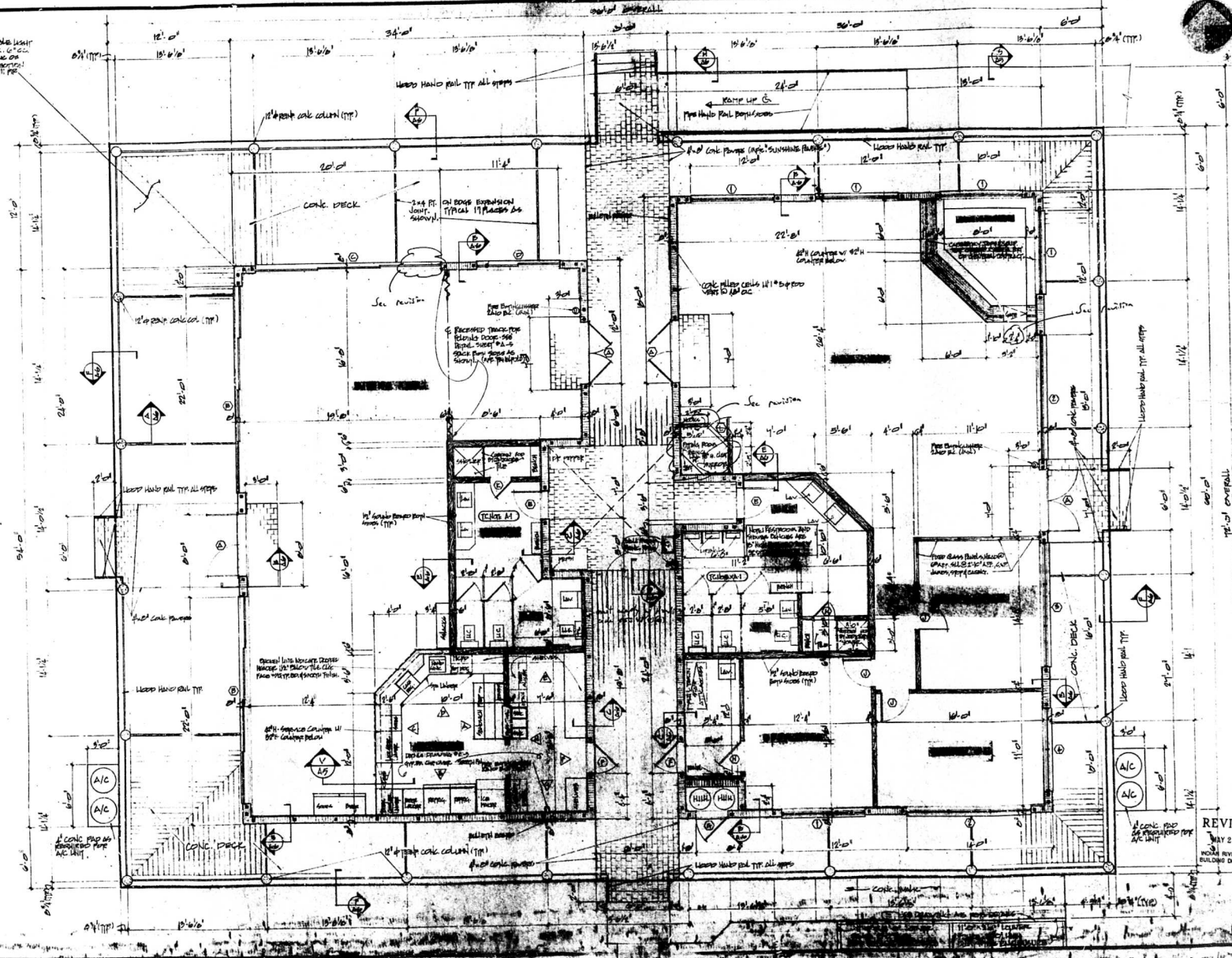
*Change Blank
5/1/12*

PRJ# SANDRIDGE		REV# R102
DATE 5-15-12	REVISION	
BY	CHECKED	APPROVED
		R-1

92-445

Drawings Not to Scale
 Unless Shown to Scale
 © 1992 C.E. Block, Inc. All Rights Reserved
 Computer Aided Design
 Construction Documents
 11/11/92

SECTION 12 - See Plans, Specifications, Schedule and Notes
 Section 12 - See Plans, Specifications, Schedule and Notes
 Section 12 - See Plans, Specifications, Schedule and Notes



PROJECT NO. _____

C.E. BLOCK inc.
 architect inc.
 vero beach



REVIEWE
 MAY 21 1992
 NORTH RIVER CO. BUILDING DEPARTMENT

JAN 2 2 1992

ISSUE DATE

Handwritten signature or initials

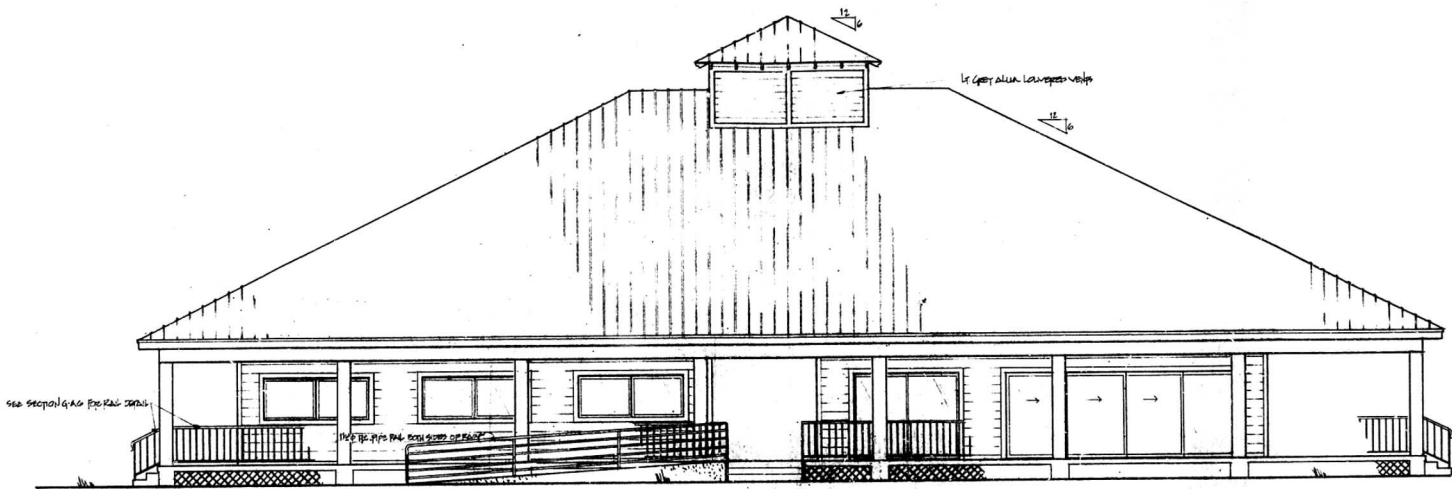
PROJECTION
9102

100' 0" 10' 0" 10' 0"

100' 0" 10' 0" 10' 0"

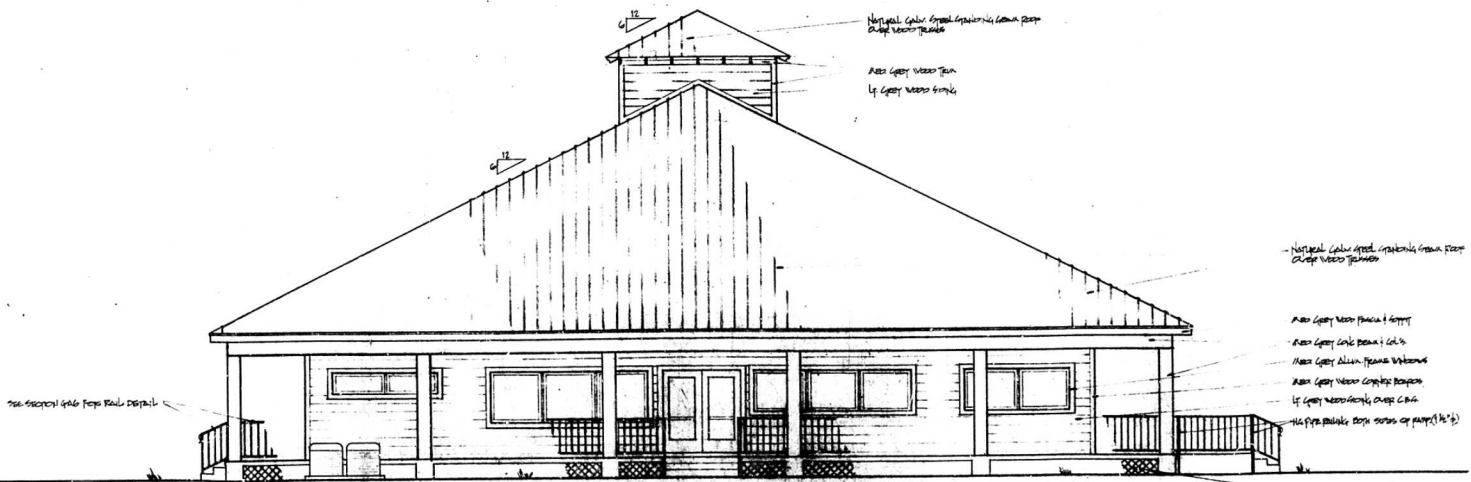
100' 0" 10' 0" 10' 0"

100' 0" 10' 0" 10' 0"



NORTH ELEVATION

C.E. BLOCK inc.
architect
vero beach
fla.



EAST ELEVATION

- Horizontal Cedar Siding, Exposed in Gable Roof
- 1/2 GERRY WOOD TRIM
- Also Gerry Wood Trim
- Also Gerry Wood Panel 1 Gutter
- Also Gerry Cedar Beam 1 Gutter
- Also Gerry Alum. Beams Windows
- Also Gerry Wood Composite Decking
- 1/2 GERRY WOOD TRIM, OVER C-TRIM
- 1/2 GERRY WOOD TRIM, OVER C-TRIM

REVIEWED
MAY 21 1992
PALM BEACH COUNTY
BUILDING DEPARTMENT

SANDRIDGE GOLF CLUB
PALM BEACH COUNTY, FLORIDA
CLUB HOUSE
ELEVATIONS

ISSUED TO
DATE

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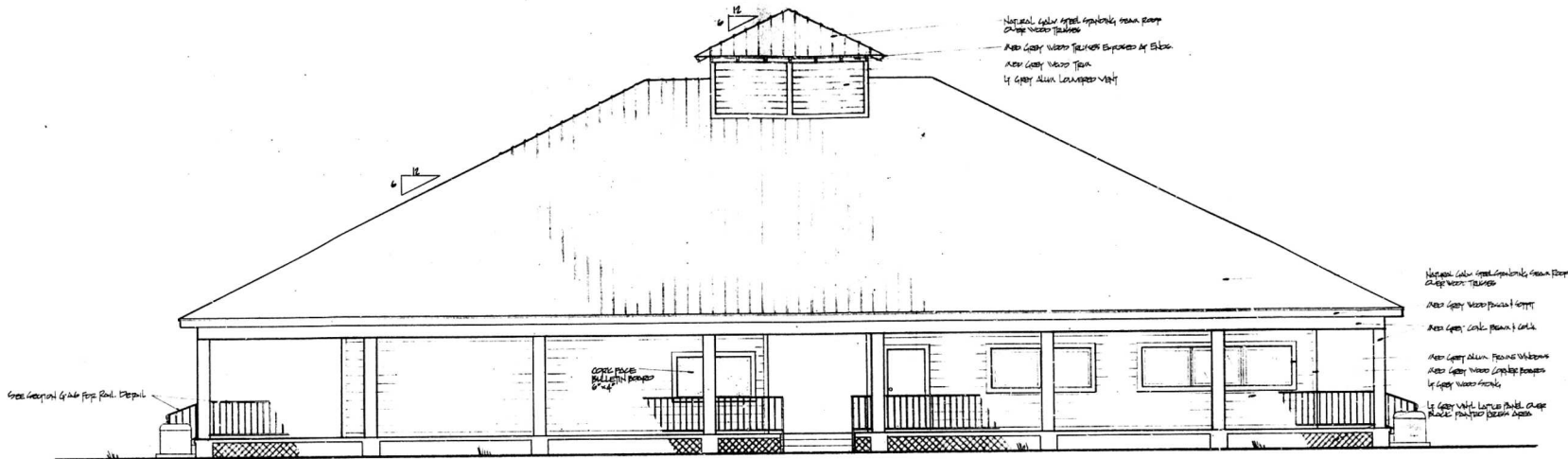
92-445



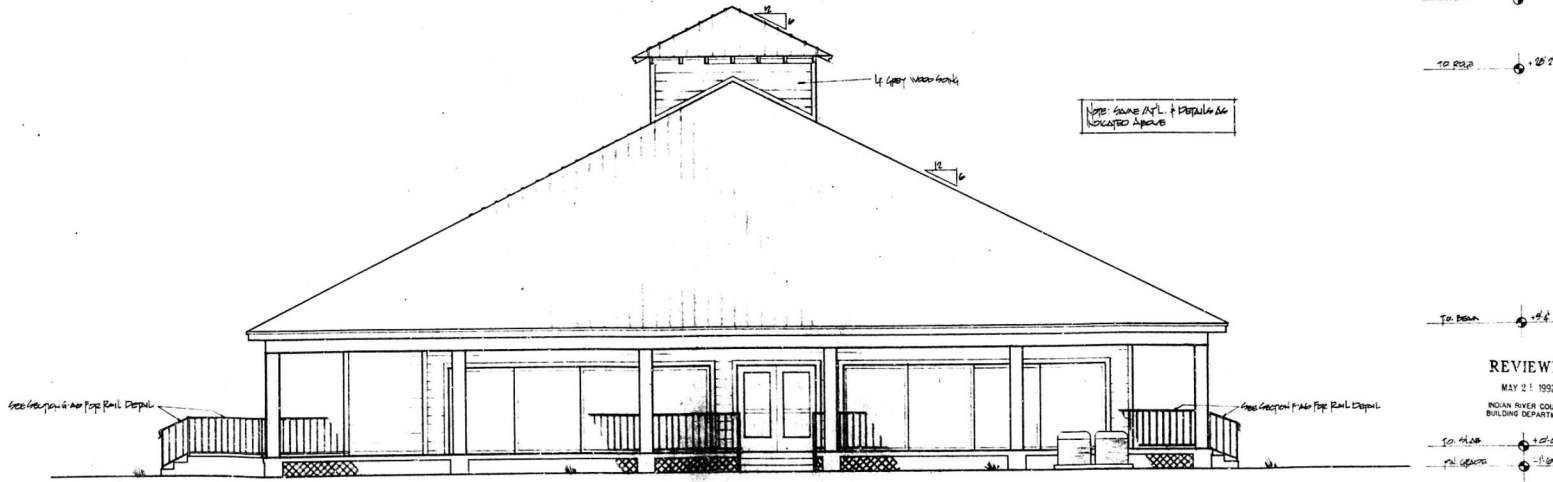
C.E. BLOCK inc.
architect
vero beach, fla.

SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY, FLORIDA
CLUB HOUSE ELEVATIONS

ISSUE DATE
CHECKED BY
DATE



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



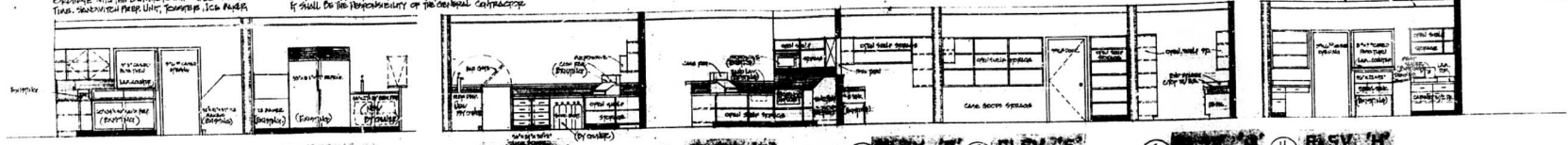
WEST ELEVATION
SCALE: 1/4" = 1'-0"

92-445

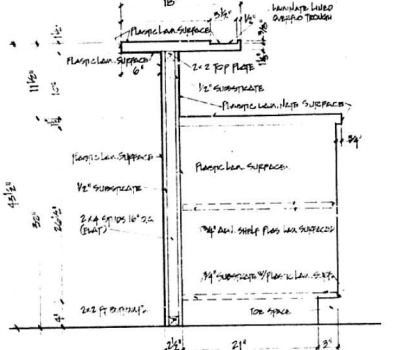
When the following elements are required (as indicated below) shall be furnished from the supplier and shall be installed in the field according to the manufacturer's instructions. The contractor shall be responsible for the proper installation of the above elements. The contractor shall be responsible for the proper installation of the above elements. The contractor shall be responsible for the proper installation of the above elements.

Double horizontal term, cash register, microphone, for cash register, 3 components of the sink without bonding of the (the sink) and must be installed according to the manufacturer's instructions. The contractor shall be responsible for the proper installation of the above elements. The contractor shall be responsible for the proper installation of the above elements.

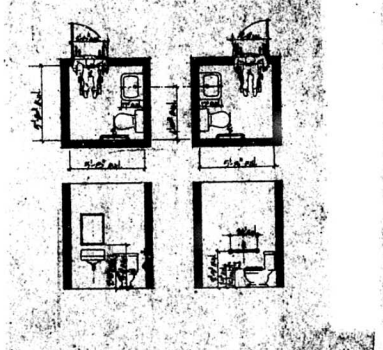
To verify the various panel present in the installation drawings and equipment capability to accommodate same. All dimensions from the centerline of the panel.



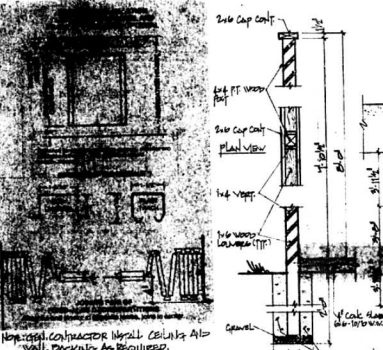
ELEV. 'A' SCALE: 1/4"=1'-0" ELEV. 'B' SCALE: 1/4"=1'-0" ELEV. 'C' SCALE: 1/4"=1'-0" ELEV. 'D' ELEV. 'E' ELEV. 'F' ELEV. 'G' ELEV. 'H' SCALE: 1/4"=1'-0"



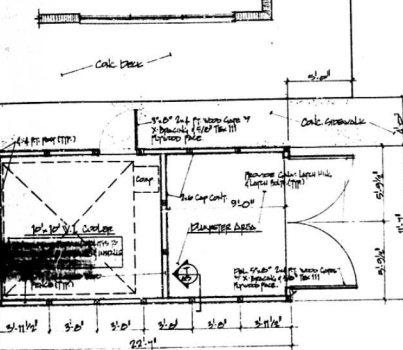
TYPICAL BAR DETAIL SCALE: 1/4"=1'-0"



MIN. HANDICAP RESTROOM REF. SCALE: 1/4"=1'-0"



DOOR DETAIL SCALE: 1/4"=1'-0"



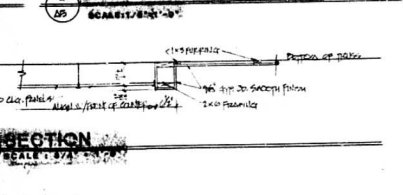
W.I. COOLER & DUMPSTER ENCLOSURE PLAN VIEW SCALE: 1/4"=1'-0"

DOOR SCHEDULE						
NO.	SIZE	TYPE	CONSTRUCTION	JAMB DETAILS	REMARKS	
1	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
2	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
3	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
4	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
5	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
6	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
7	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
8	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
9	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
10	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.

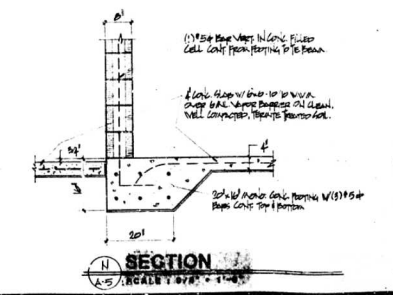
WINDOW SCHEDULE						
NO.	SIZE	TYPE	DETAILS	REMARKS		
1	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
2	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
3	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
4	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
5	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
6	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
7	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
8	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
9	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.
10	3'-0" x 7'-0"	Sliding	Plaster on Alum.	Alum.	Finish on Alum.	Finish on Alum.



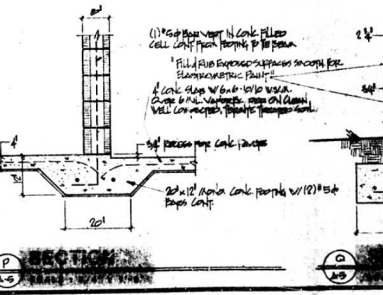
FOUR PANEL LOCKING DOOR SCALE: 1/4"=1'-0"



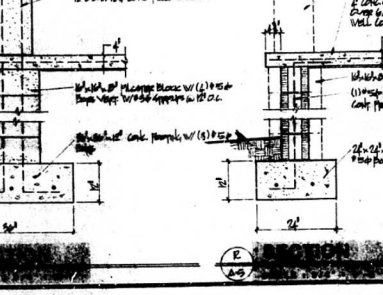
SECTION SCALE: 1/4"=1'-0"



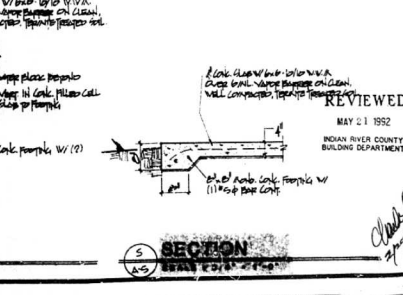
SECTION SCALE: 1/4"=1'-0"



SECTION SCALE: 1/4"=1'-0"



SECTION SCALE: 1/4"=1'-0"



SECTION SCALE: 1/4"=1'-0"

C. E. BLOCK architect inc. fla. vero beach

SANDRIDGE GOLF CLUB INDIAN RIVER COUNTY, FLORIDA CLUB HOUSE INT. ELEV. DETAILS

REVIEWED MAY 21 1992 INDIAN RIVER COUNTY BUILDING DEPARTMENT JAN 22 1992

MOSBY AND ASSOCIATES, INC.
CONSULTING ENGINEERS

1803 20th STREET
P.O. BOX 6168
VERO BEACH, FLORIDA 32961
407-569-0035

92-445

July 1, 1992

Mr. Ester Rymes
Indian River County
Building Department
1840 25th Street
Vero Beach, Florida 32960

Re: Sandridge Golf Club
Clubhouse
Engineer's Project. No. 91-603

Dear Mr. Rymes:

As the structural engineer for this project, we have reviewed the tie beam shown on the architectural drawing by C. E. Block, Architect for the subject building. The tie beam shown on section 6/2-A has been revised. The beam should be 8" x 32" with 2 #5 top and bottom with #3 stirrups at 48" O.C. The three beams along the west wall and north-west corner which span more than 14' shall have 4 #3 stirrups at each end, the first space 6" from the face of opening with the remaining 3 at 12" O.C.

If you require further information or clarification, please call.

Sincerely,

Paul W. Farley
Paul W. Farley, P.E.

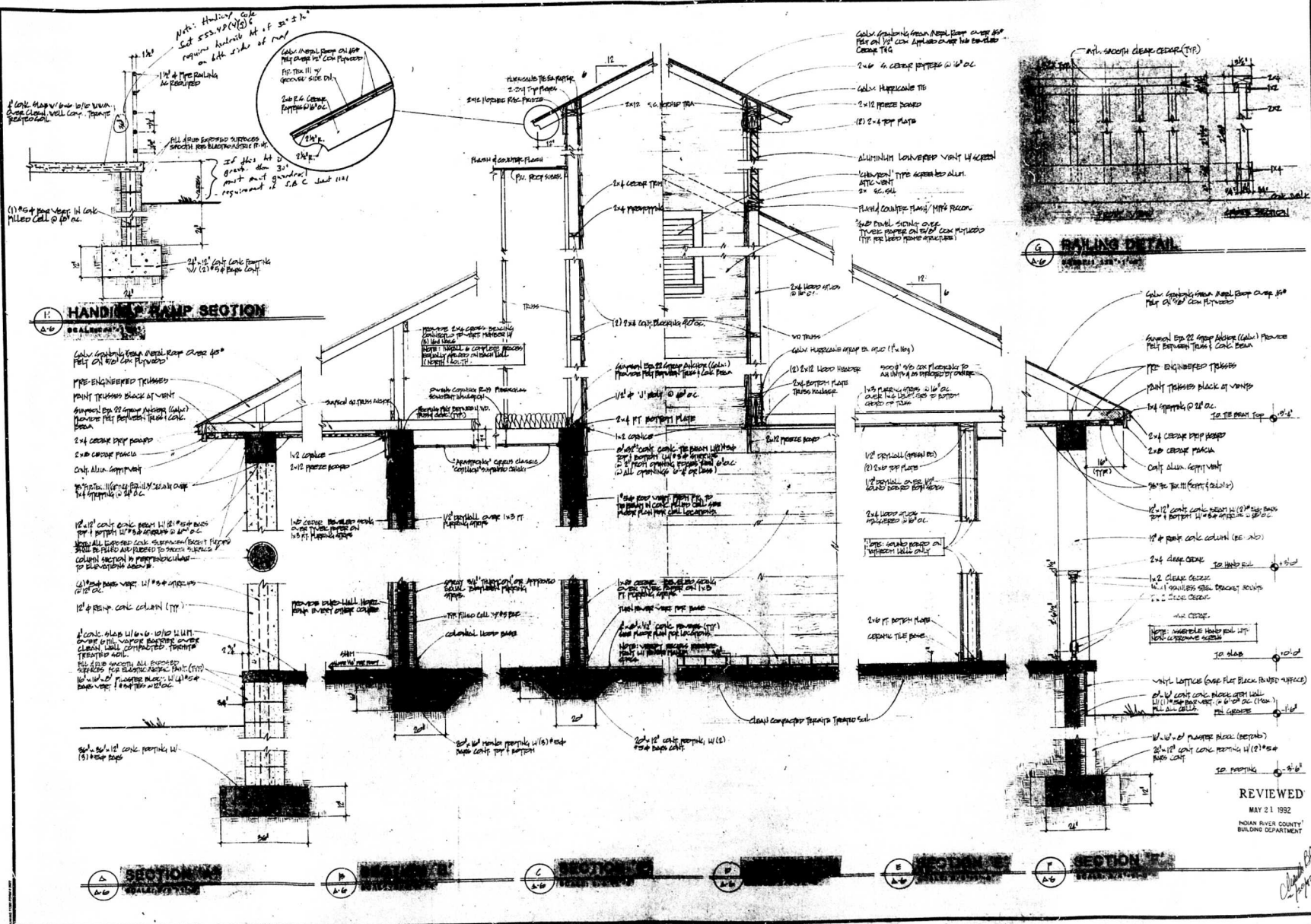
PWF:mb

cc: C. E. Block, Architect

PM
REVIEWED

JUL 03 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

8/24 2212066
7/2/92 45



11 HANDLING RAMP SECTION

G FLYING DETAIL

A DECKING

F STAIRS

A-6

B-6

C-6

D-6

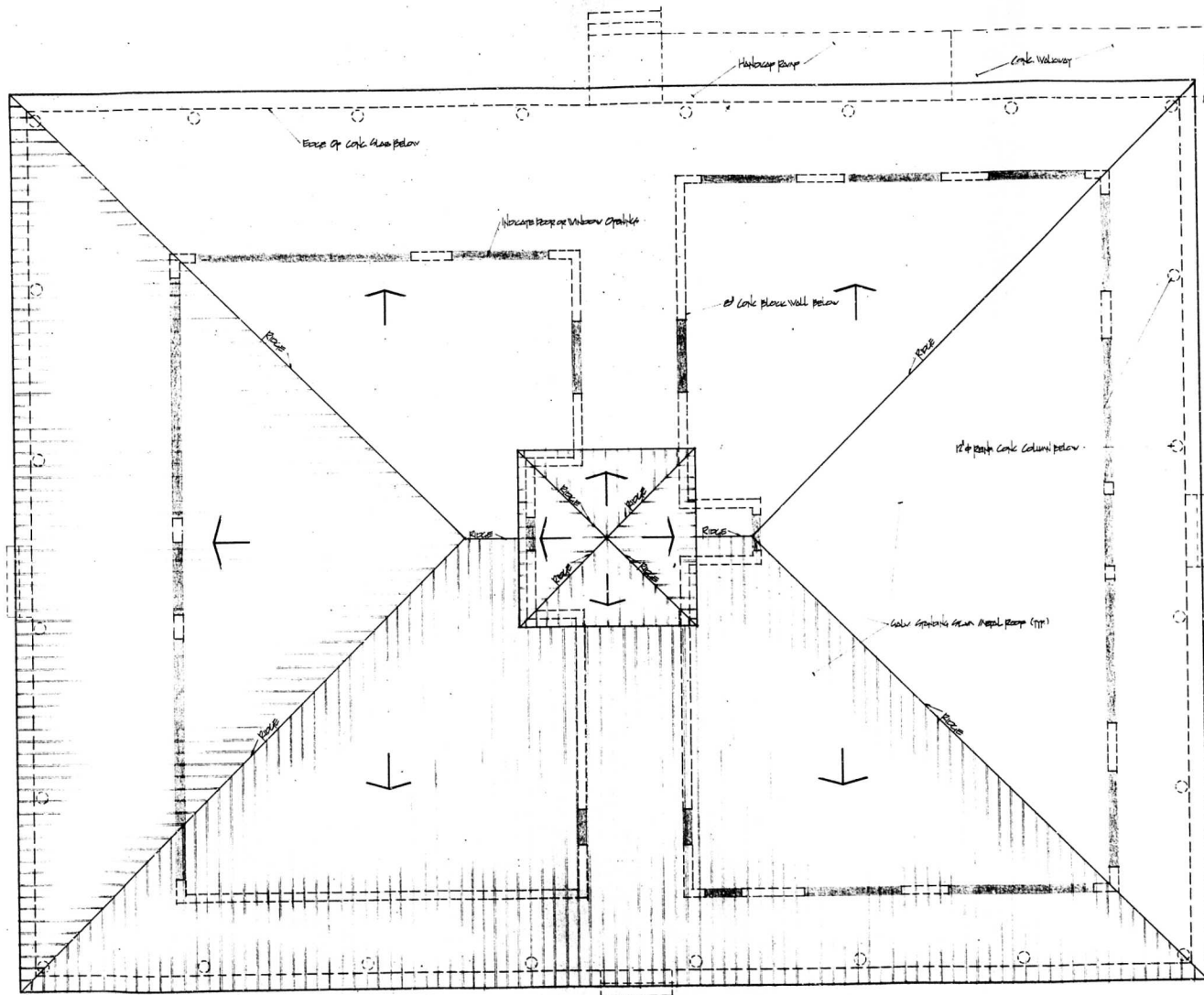
E-6

F-6

REVISED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

ISSUE DATE
SHEET NO.
DATE

9132



Project no.
9102

C. E. BLOCK inc. fla.
architect
vero beach

SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY, FLORIDA
CLUB HOUSE ROOF PLAN

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

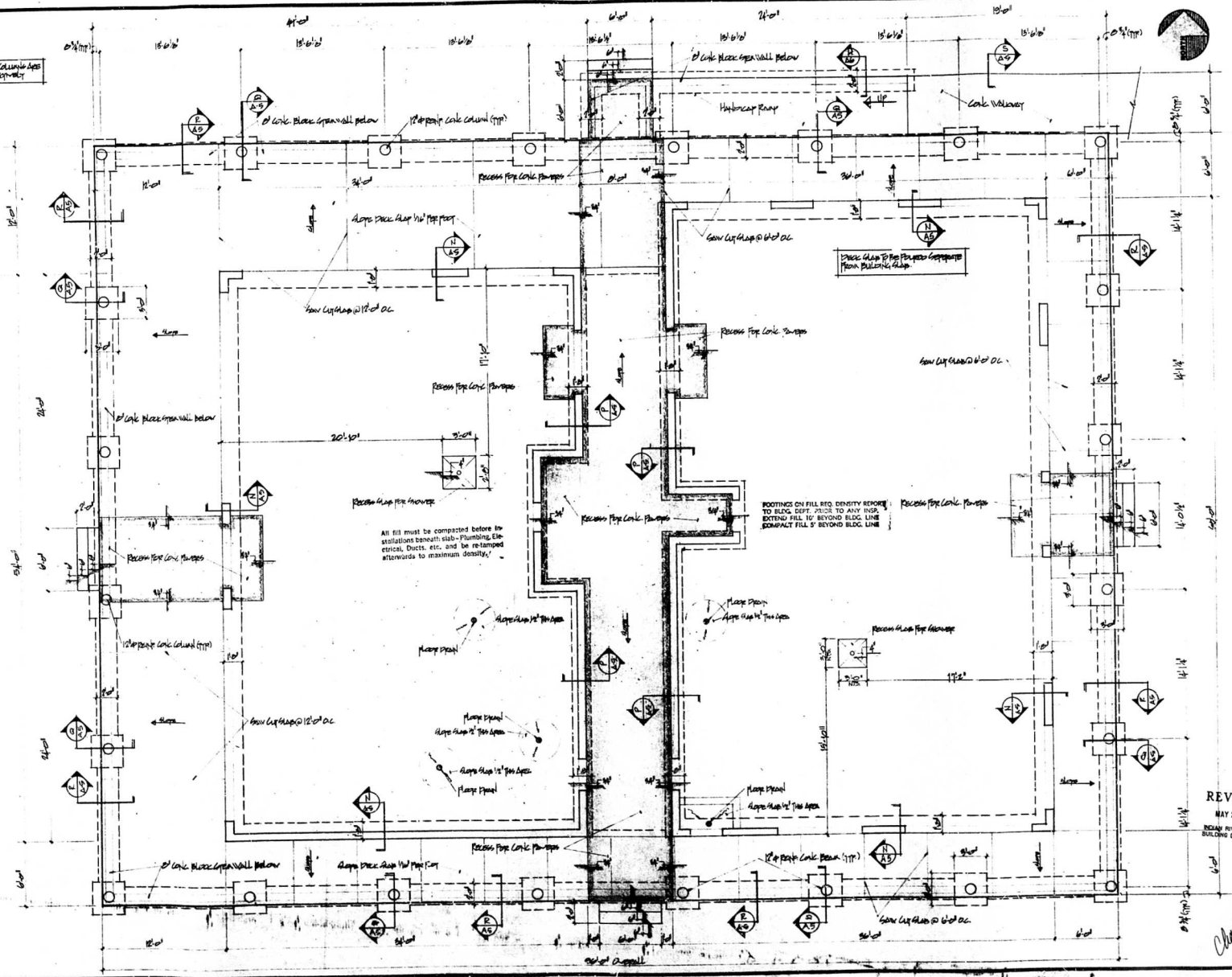
JAN 22 1992

Issue date
AS
19

Charles Block
1/21/92

92-445

VERIFY ALL WALL DIMENSIONS FOR COLUMN AND BEAM REVISIONS OF NORTH & EAST RESPECTIVELY



All fill must be compacted before installations beneath slab - Plumbing, Electrical, Ducts, etc. and be retained at least 1' to maximum density.

FOOTINGS ON FILL REQ. DENSITY REPORTS TO BLDG. DEPT. PRIOR TO ANY INS. EXCEEDING FILL TO BEYOND BLOC. LINE. COMPACT FILL 5' BEYOND BLOC. LINE.

REVIEW
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

Chandler
3 pages

Project no.
9102

C. F. BLOCK Inc. fla.
architect
vero beach

SANDBRIDGE GOLF CLUB
INDIAN RIVER COUNTY
CLUB HOUSE

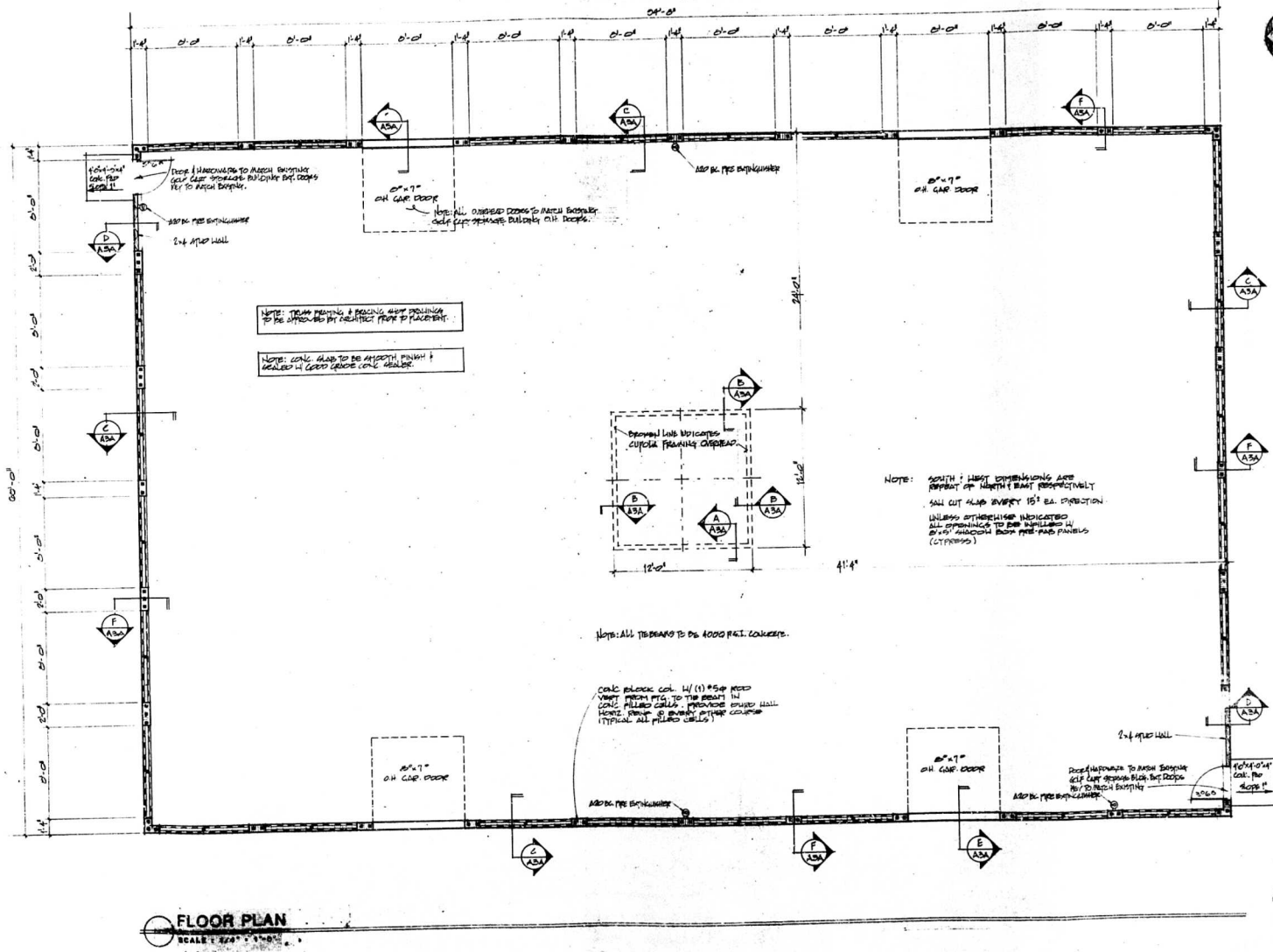
Issue date
Sheet no.
3 pages

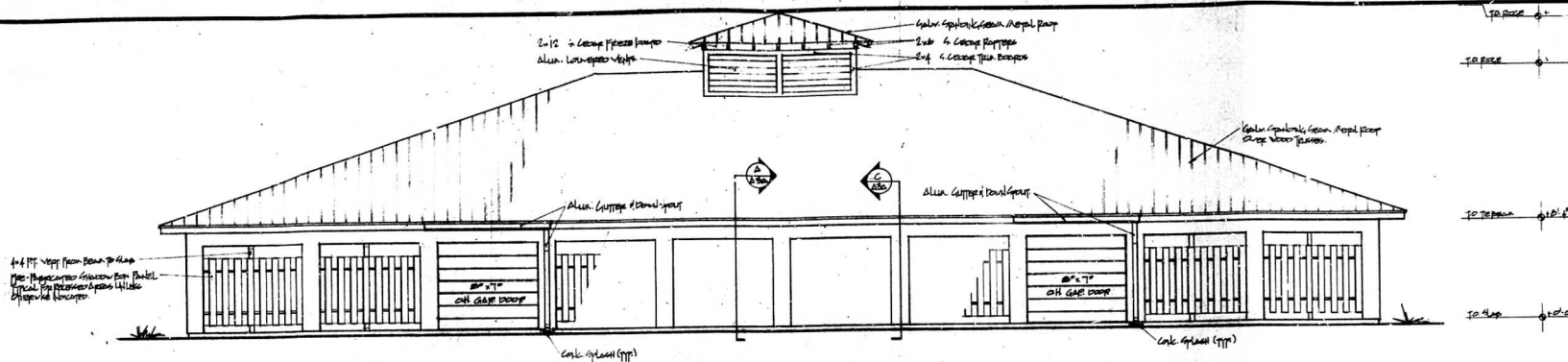
92-445

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

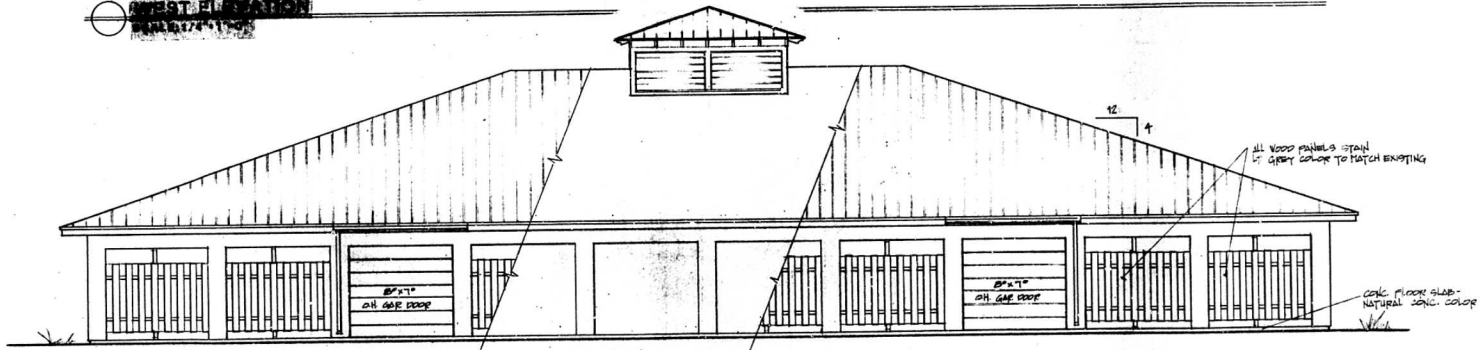
JAN 2 2 1992

Issue date _____
Prepared by _____
Checked by *Chickelli*

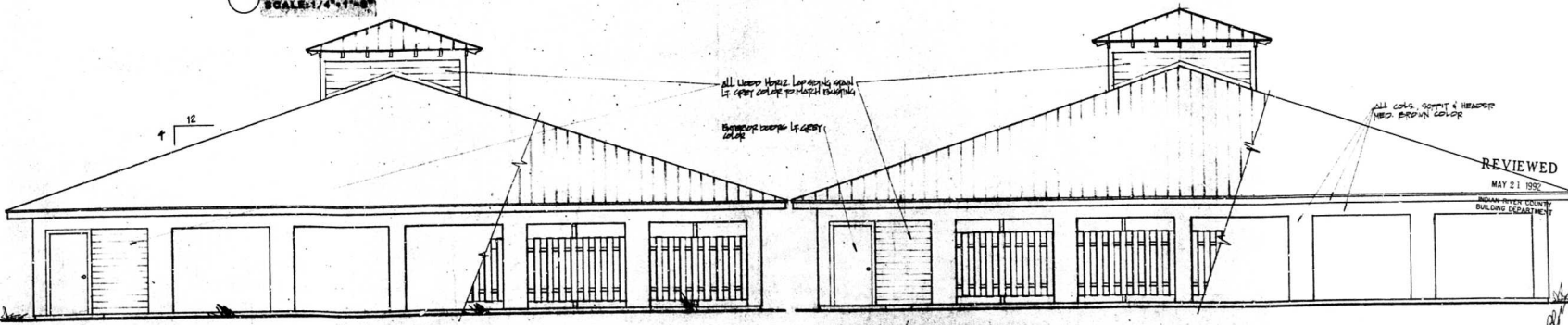




WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT NO.
9102



C.E. BLOCK architect inc.
vero beach

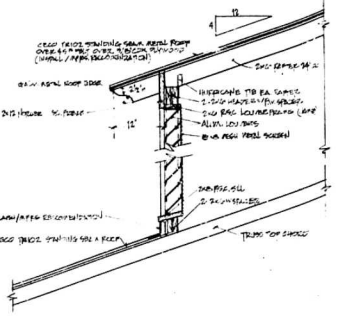
SANDRIDGE GOLF CLUB
CART STORAGE BUILDING
EXTERIOR ELEVATIONS

REVIEWED
MAY 21 1992
BROWARD COUNTY
BUILDING DEPARTMENT

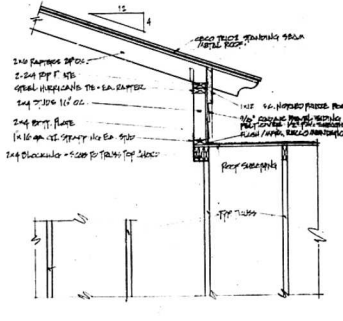
JAN 22 1992
ISSUE DATE



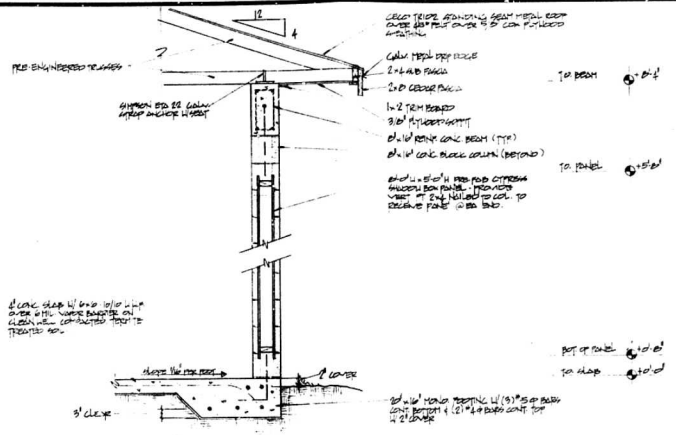
Chris Block
2/20/92



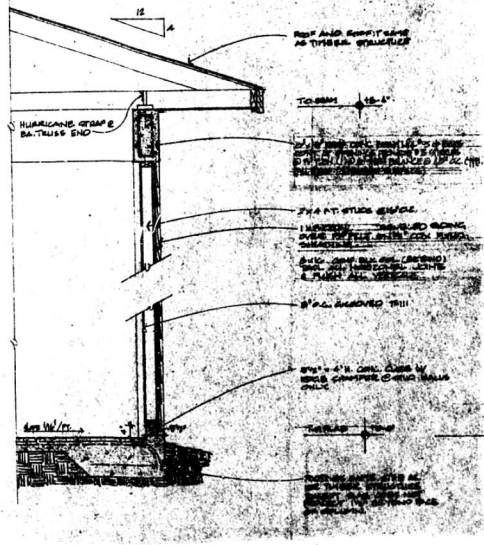
A SECTION
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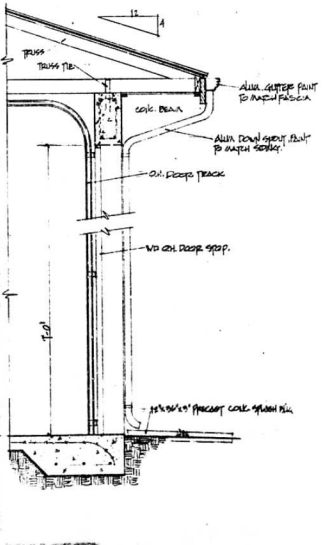
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SCALE: 3/4" = 1'-0"



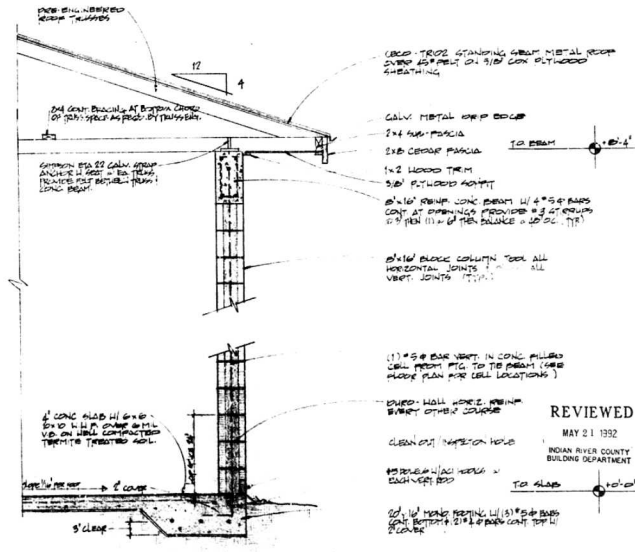
C SECTION
SCALE: 3/4" = 1'-0"



D SECTION
SCALE: 3/4" = 1'-0"



E SECTION
SCALE: 3/4" = 1'-0"



F SECTION
SCALE: 3/4" = 1'-0"

sheet no.
8102

C. F. BLOCK inc. fla.
architect
vero beach

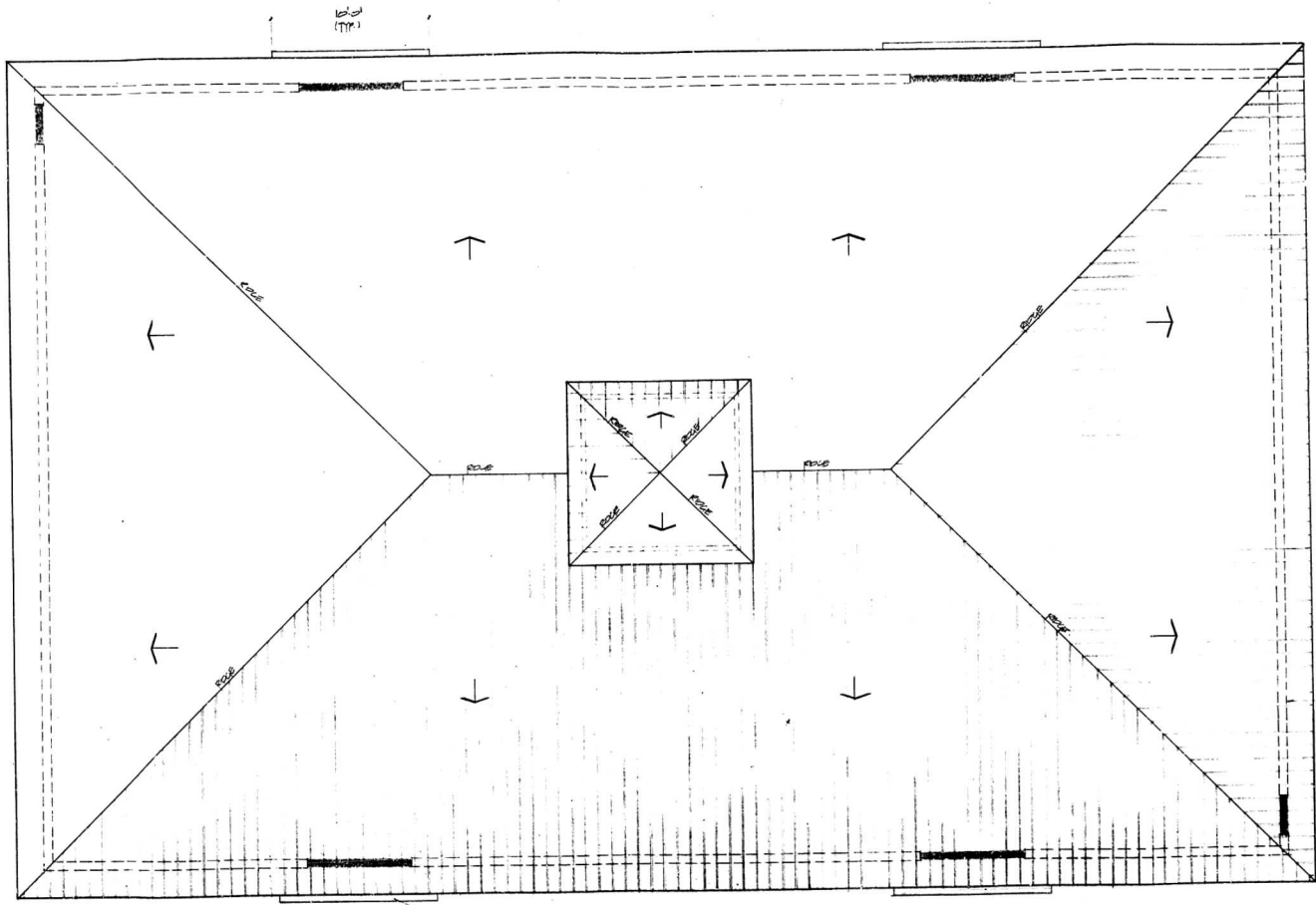
SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY FLORIDA
BUILT STORAGE
SECTIONS

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

issue date
MAY 21 1992

Clayton

PROJECT NO.
9102




C. E. BLOCK inc.
architect
vero beach
fla.

SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY, FLORIDA
CART STORAGE ROOF PLAN

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

ISSUE DATE
MAY 21 1992
SHEET NO.
444A
OF
10

ROOF PLAN
SCALE: 1/4" = 1'-0"

92-445

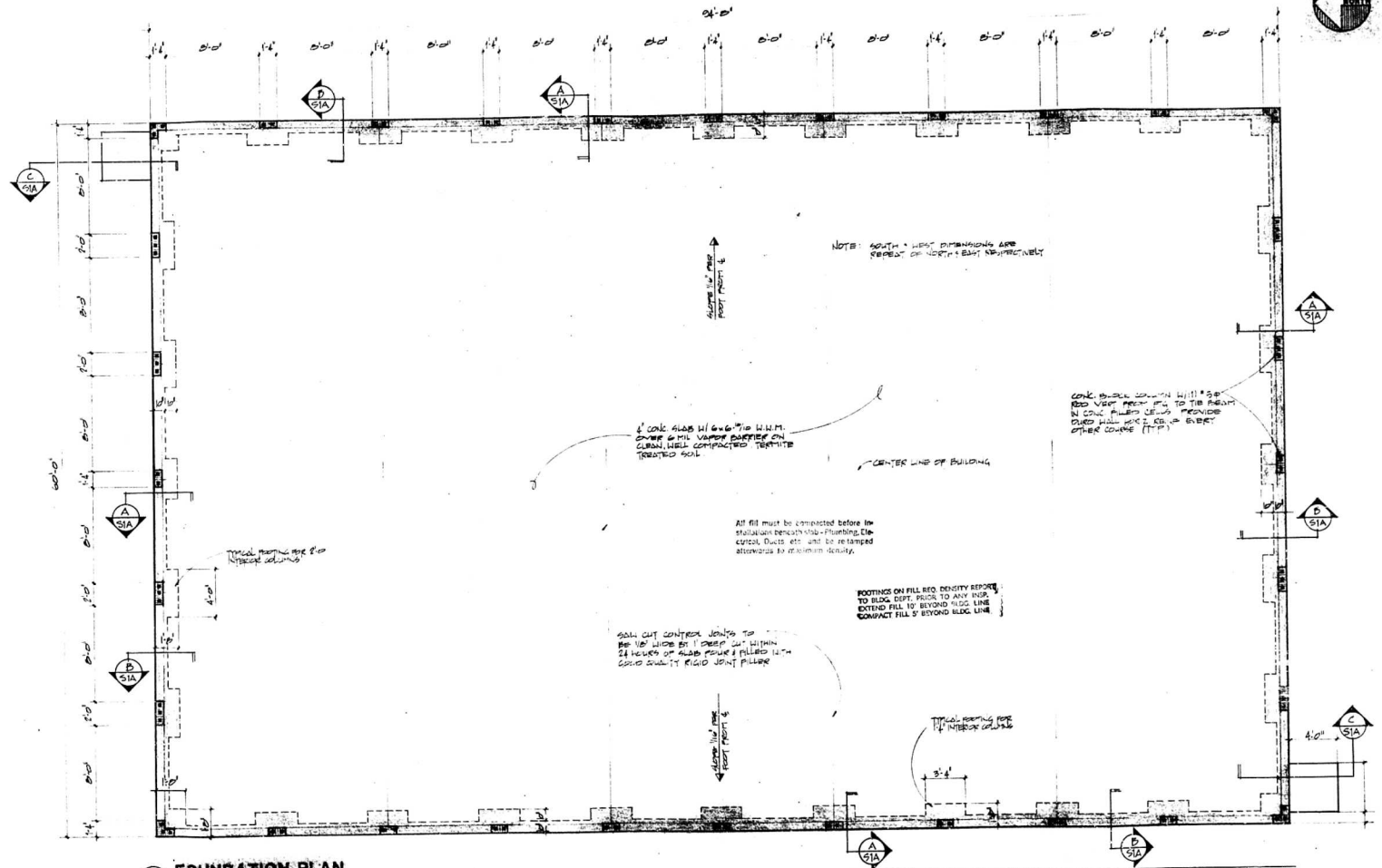


C. E. BLOCK architect inc. fla.
vero beach

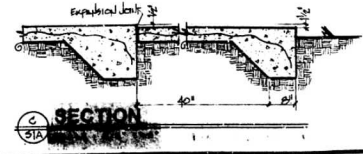
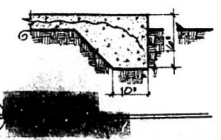
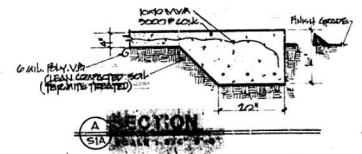
SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY, FLORIDA
CART STORAGE FOUNDATION PLAN

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

ISSUE DATE
SHEET NO.
DATE



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



92-445

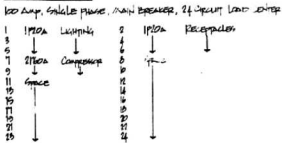


SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY, FLORIDA
CART STORAGE ELECTRICAL PLAN

ISSUE DATE
APR 1992

REVIEWED
MAY 21 1992
FLORIDA COUNTY BUILDING DEPARTMENT

PANEL SCHEDULE:



LOAD CALCULATION:

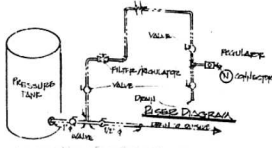
100 AMP. 120 VOLT PANELS 2500 VA
10. CONVENTIONAL OUTLETS 2500 VA
10. AIR CONDITIONING 10000 VA
TOTAL BREAKER LOAD 14750 VA
100 AMP. 120 VOLT PANELS - 20 AMP
20 AMP. AIR

ELECTRICAL LEGEND

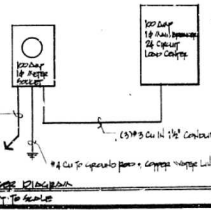
- ◆ SWITCH - SINGLE POLE
- ◆ 3 POLE SWITCH
- ◆ 3 POLE MAIN BREAKER - 100 AMP. 120 VOLT PANEL
- ◆ 3 POLE MAIN BREAKER - 200 AMP. 480 VOLT PANEL
- ◆ 3 POLE MAIN BREAKER - 400 AMP. 480 VOLT PANEL
- 100 AMP. AIR CONDITIONING
- 20 AMP. AIR CONDITIONING
- 100 AMP. AIR CONDITIONING - 120 VOLT
- 20 AMP. AIR CONDITIONING - 120 VOLT
- 100 AMP. AIR CONDITIONING - 240 VOLT
- 20 AMP. AIR CONDITIONING - 240 VOLT
- AIR COMPRESSOR
- TRANSFORMER - 100 AMP. 120 VOLT PANEL
- TRANSFORMER - 200 AMP. 480 VOLT PANEL
- TRANSFORMER - 400 AMP. 480 VOLT PANEL
- 100 AMP. AIR CONDITIONING
- 20 AMP. AIR CONDITIONING
- AIR COMPRESSOR
- TRANSFORMER - 100 AMP. 120 VOLT PANEL
- TRANSFORMER - 200 AMP. 480 VOLT PANEL
- TRANSFORMER - 400 AMP. 480 VOLT PANEL

COMPRESSED AIR NOTES

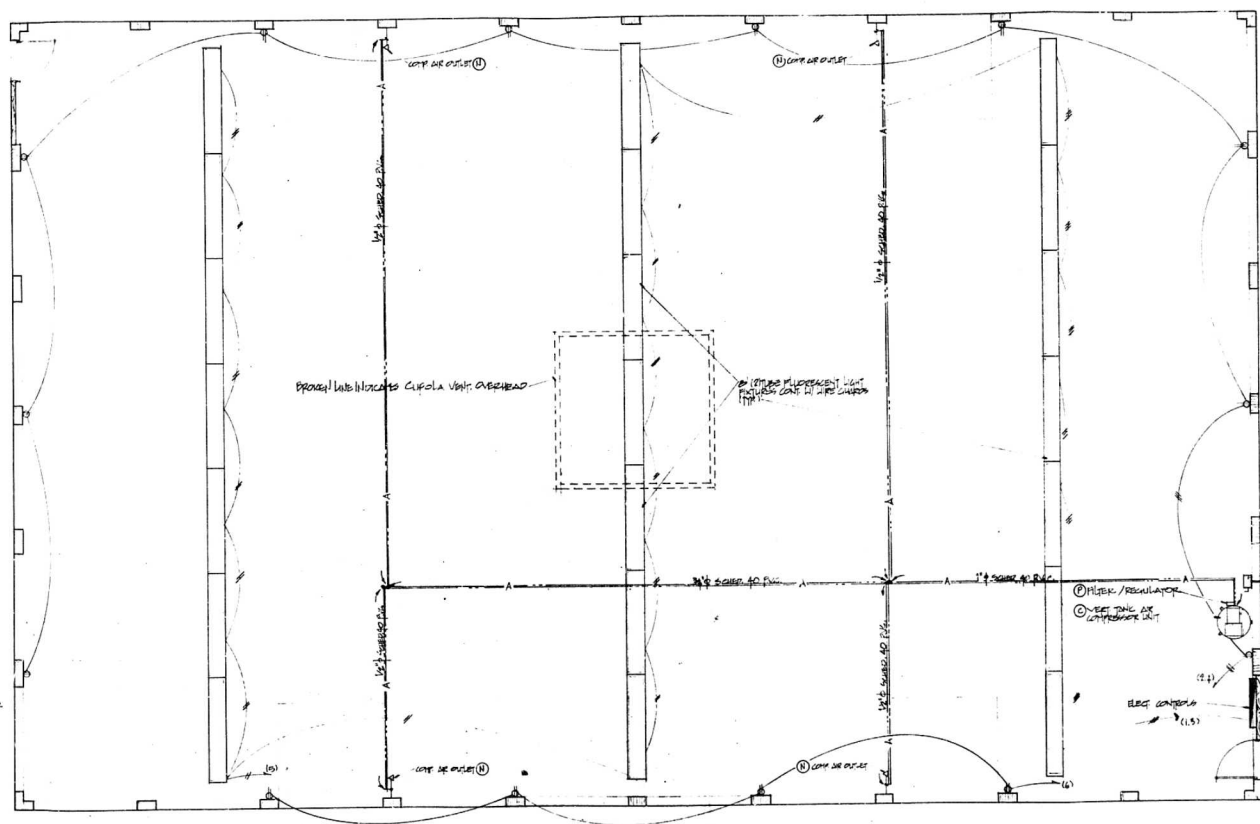
- 1. SCHEDULE 40 PVC SUPPORTS SHALL BE USED TO LOCATE LINES ABOVE TOP OF BOTTOM CHAIRS OF TRUSS SUPPORT UNDER RUNNING PARALLEL TO TRUSS SUPPORT LINE.
- 2. SCHEDULE 40 PVC SUPPORTS SHALL BE USED TO LOCATE LINES ABOVE TOP OF BOTTOM CHAIRS OF TRUSS SUPPORT UNDER RUNNING PARALLEL TO TRUSS SUPPORT LINE.
- 3. AIR COMPRESSOR - MATCH BUILDING DEPARTMENT ELECTRICAL EQUIPMENT.
- 4. PRESSURE REGULATORS/FILTERS - MATCH BUILDING DEPARTMENT ELECTRICAL EQUIPMENT.



AIR COMPRESSOR HOOK-UP
SCHEMATIC - NOT TO SCALE



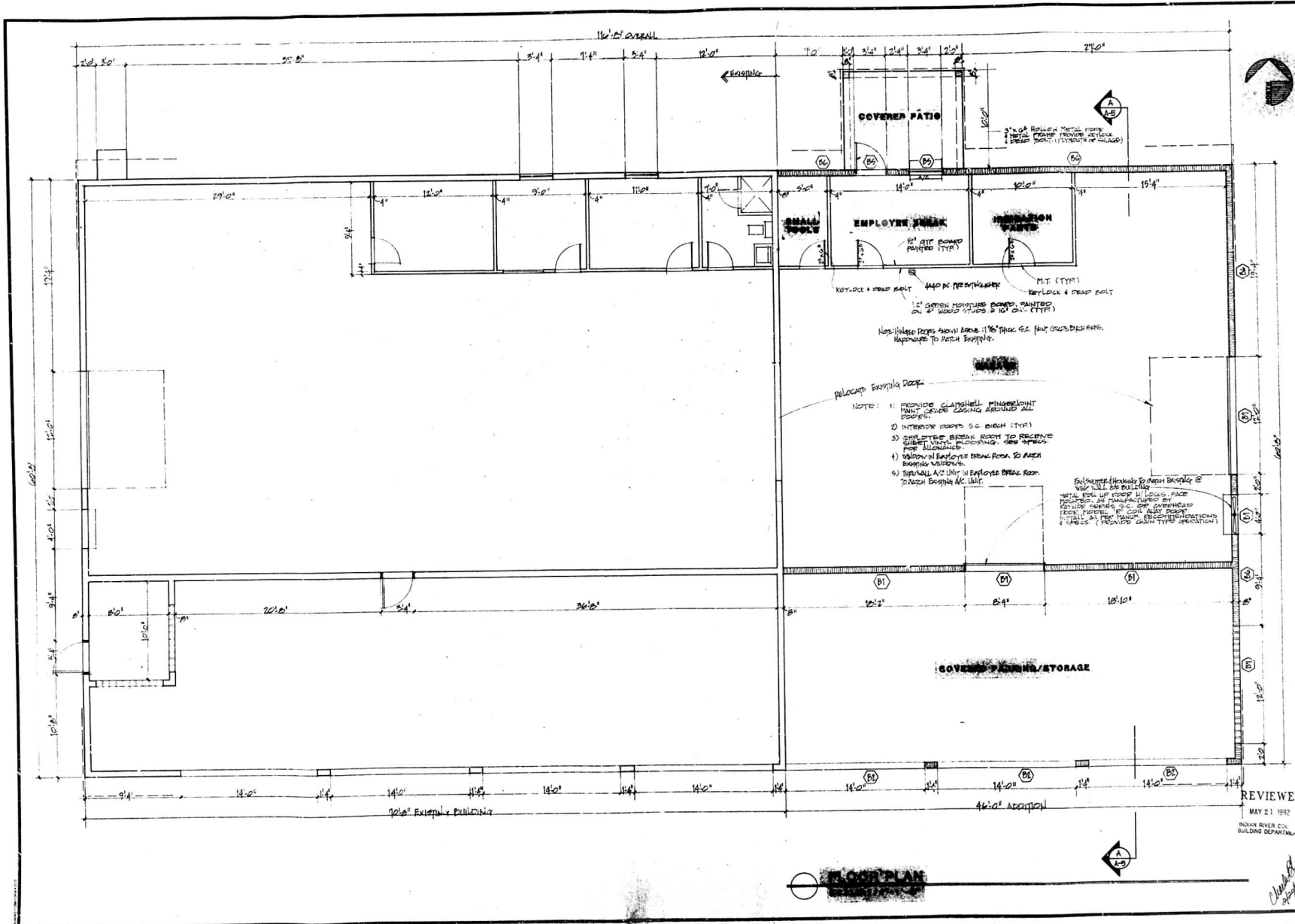
ELECTRICAL HOOK-UP
NOT TO SCALE



ELECTRICAL PLAN & COMPRESSED AIR SYSTEM

SCALE: 1/8" = 1'-0"

REVIEWED
MAY 21 1992
FLORIDA COUNTY BUILDING DEPARTMENT



PROJECT NO. 9102

C. E. BLOCK Inc.
 architect
 vero beach, fl.

SANDRIDGE GOLF CLUB
 INDIAN RIVER COUNTY, FLORIDA
 MAINT. BUILDING FLOOR PLAN

REVIEWED MAY 21 1992

INDIAN RIVER CO. BUILDING DEPARTMENT

ISSUE DATE	
SHEET NO.	
DATE	

Charles Block
 5/21/92

project no.
9102

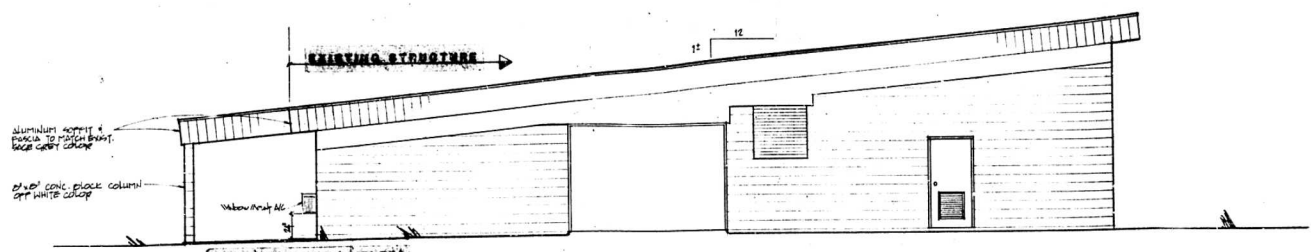


C. E. BLOCK inc.
 architect
 vero beach fla.

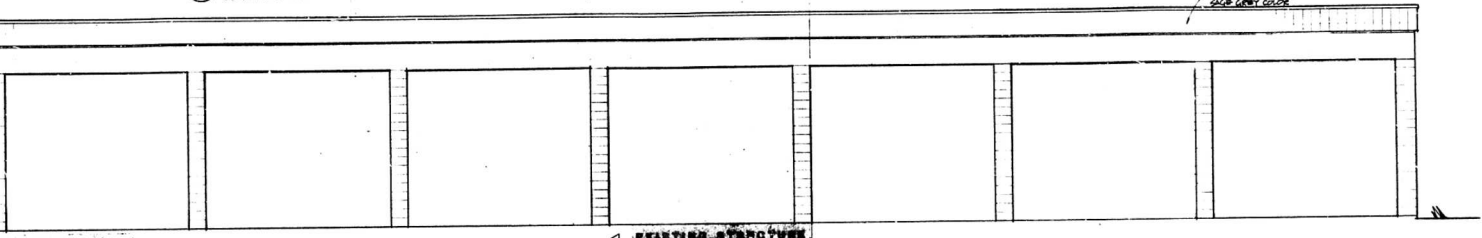
SANDRIDGE GOLF CLUB
 INDIAN RIVER COUNTY, FLORIDA
 MAINT. BUILDING ELEVATIONS

REVIEWED
 MAY 21 1992
 INDIAN RIVER COUNTY BUILDING DEPARTMENT

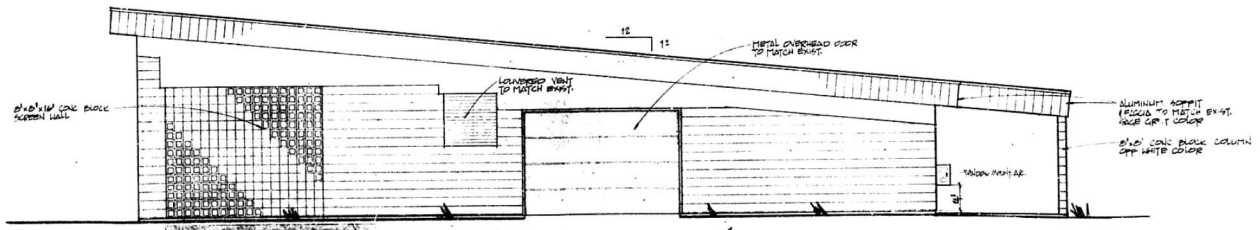
sheet no.
A2-B
 19



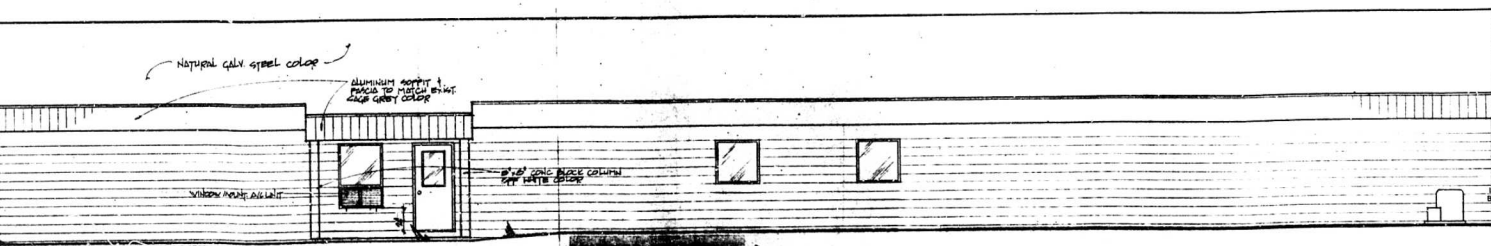
WEST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

Checked by
Approved

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SPECIFICATIONS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DRAWINGS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DETAILS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMENTS.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REVISIONS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SIGNATURES.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY STAMPS.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SEALS.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REGISTRATIONS.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CERTIFICATIONS.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCREDITATIONS.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCREDITATIONS.

Issue date

Project no.
9102



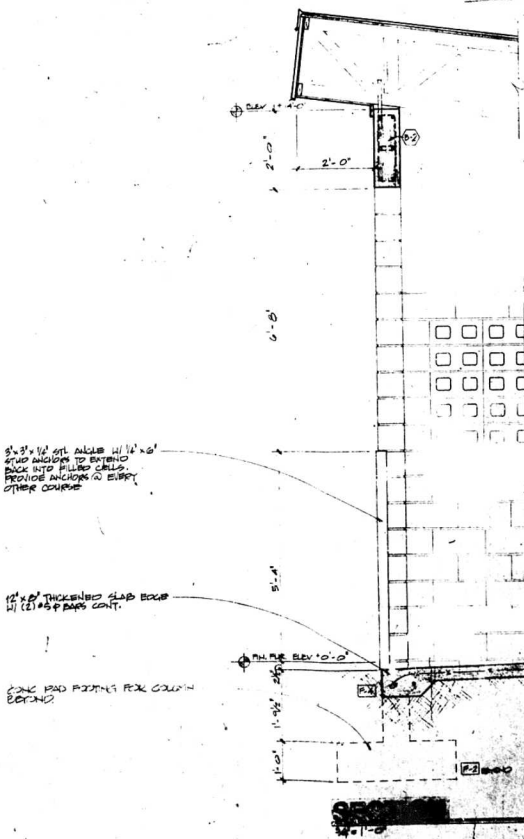
C. E. Block Inc.
 architect
 Inc. fla.
 vero beach

SANDRIDGE GOLF CLUB
 INDIAN RIVER COUNTY, FLORIDA
 MAINT. BUILDING SECTIONS

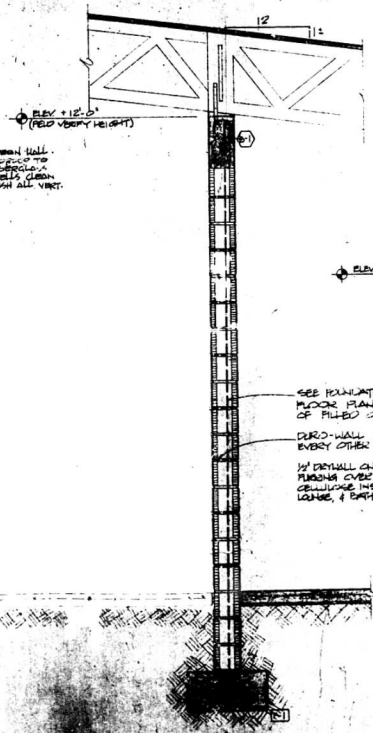
JAN 2 & 1992



SCALE: AS SHOWN
 MAY 21 1992
 INDIAN RIVER COUNTY BUILDING DEPARTMENT
 19



8" CONCRETE BLOCK...
 TURN BLOCK ON ITS SIDE IN ORDER TO
 BRIDGE CELLS...
 SUBJECT TO...
 TECH. ALL JOINTS & PLUMB ALL VERT.



SEE FOUNDATION PLAN &
 MOORE PLAN FOR LOCATION
 OF FILLED CELL.
 DIRT-WALL HORIZ REIN
 EVERY OTHER COURSE.
 1/2" DETAIL CEILING
 24" DEEP PRE-ENGINEERED
 TRUSSES ON CEILING INSULATION & OFFICE
 LOUNGE & BATH

1/2" DETAIL CEILING
 CEILING INSULATION OVER
 BATH, LOUNGE & OFFICE.
 24" DEEP PRE-ENGINEERED
 TRUSSES @ 16' O.C.
 ALL AT EDGE & CONT
 METAL JOIST
 1/2" W/2" DEEP FLAT
 SIMPSON HURRICANE CLIP
 @ EA TRUSS
 ALUMINUM V-GROOVE
 SOFFIT W/ ALUMINUM TRUSS
 (COLOR SELECTION BY OWNER/
 ARCHITECT)
 1 x 4 SMOOTH CEDAR TRIM
 PAINT TO MATCH SOFFIT.
 1/2" AS PER VERT IN CONC
 FILLED CELL
 PER TO IE...
 8" O-2-16 CONCRETE BLOCK WALL
 JOIN ALL HORIZ JOINTS
 PLUMB ALL VERT JOINTS
 PAINT W/ A STAIN RESISTANT
 ELASTIC WATERPROOF
 COATING (COLOR SELECTED BY
 ARCHITECT)
 4" CONCRETE SLAB W/ 6" #10
 W/ 1/2" AS PER 2" W/ 2" W/ 2"
 SUPPORT ON CLEAN WELL
 COMPLETED & TYPICALLY TREATED
 SOIL
 1/2" DETAIL JOINT
 12" DEEP x 24" W/ 2" CONT
 CONC PER W/ 2" AS PER VIEW
 CONT W/ 2" AS PER 24"
 O.C. TRANSVERSE

Charles Block
 2/2/92

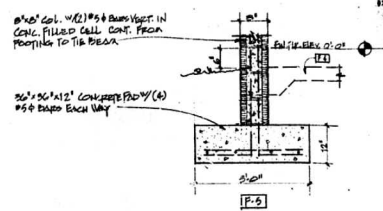
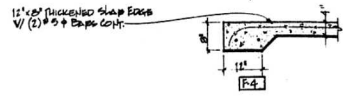
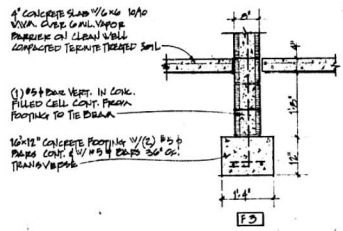
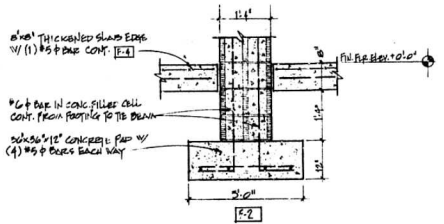
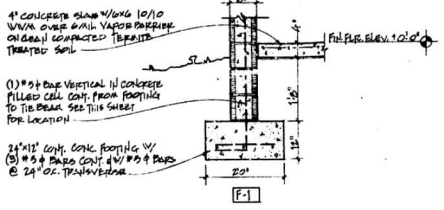
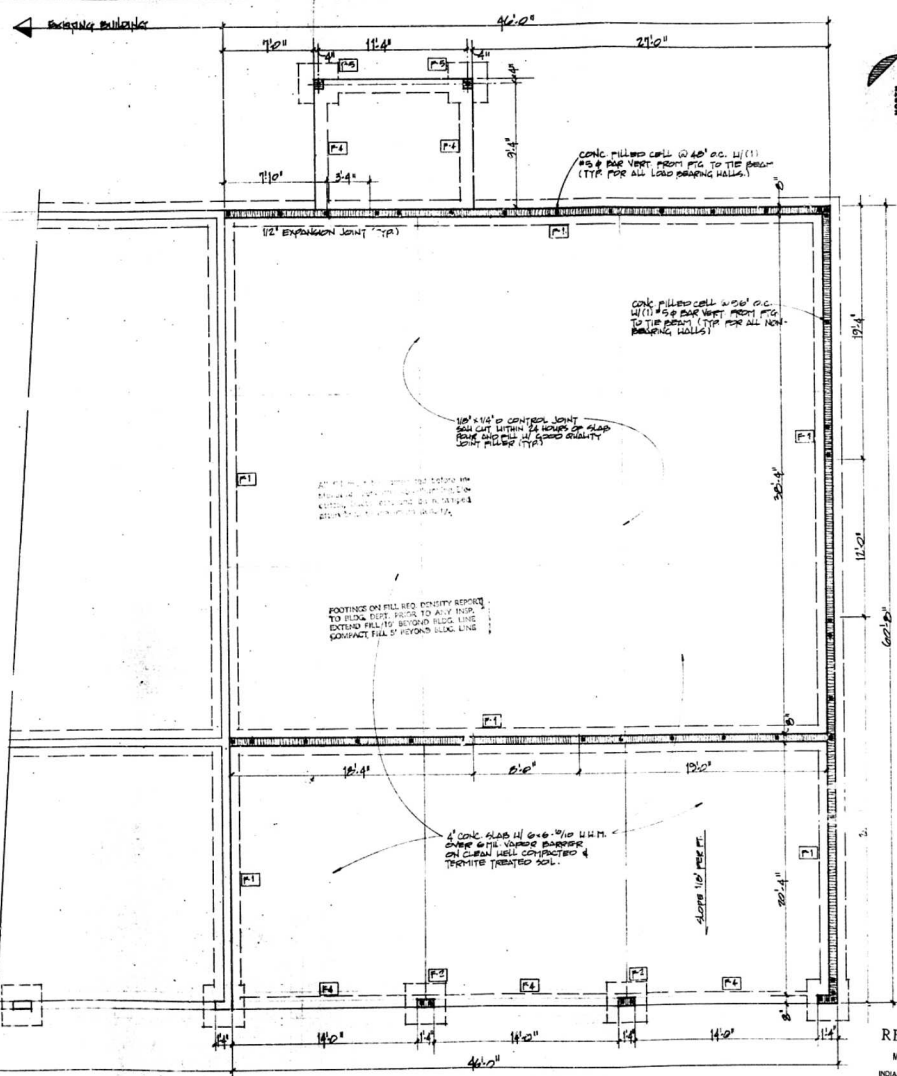


C. E. BLOCK inc.
architect
fla.
vero beach

SANDRIDGE GOLF CLUB
INDIAN RIVER COUNTY, FLORIDA
MAINT. BUILDING FOUNDATION PLAN

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT
JAN 2 2 1992
ISSUE DATE

SHEET NO. 9102
19



FOUNDATION NOTES:

1. All foundation work shall be in accordance with the Florida Building Code, 1991 Edition, and all applicable local ordinances.
2. All foundation work shall be in accordance with the Florida Building Code, 1991 Edition, and all applicable local ordinances.
3. All foundation work shall be in accordance with the Florida Building Code, 1991 Edition, and all applicable local ordinances.
4. All foundation work shall be in accordance with the Florida Building Code, 1991 Edition, and all applicable local ordinances.
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20. All foundation work shall be in accordance with the Florida Building Code, 1991 Edition, and all applicable local ordinances.

92-445



ELECTRICAL LEGEND

- ⬆ SWITCH - SINGLE POLE
- ⬆ 3 WAY SWITCH
- ⊕ DUPLEX CONV. RECEPTACLE - 20 AMP OR AS OTHERWISE NOTED
- ⊕ 220 INCH RECEPTACLE
- ⊕ GROUND FAULT OUTLET
- ⊕ 3/4 INCH CONDUIT/CONNECTION PER AIR CODE SCHEDULE 40
- ⊙ WALL MOUNTED BRACKET FIXTURE
- ⊙ SURFACE MOUNTED INCANDESCENT FIXTURE (24" SPACING)
- ⊙ SURFACE MOUNTED INCANDESCENT FIXTURE
- ⊙ SURFACE MOUNTED INCANDESCENT FIXTURE WITH FULL GRILL
- ⊙ REGRILL FAN
- ⊙ THERMOSTAT
- ⊙ HOME RUN TO PANEL
- ⊙ TELEPHONE OUTLET, 12" AMP UNLESS OTHERWISE NOTED
- ⊕ ELECTRICAL PANEL, 200 AMP, 3-WAY SINGLE POLE SURFACE MOUNTED
- ⊕ EXPLODED TUB SURFACE MOUNTED INCANDESCENT
- ⊕ TWO POLE DOUBLE THROW DISC SWITCH

LOAD CALCULATIONS:

2700 sq ft @ 1/2 WATT	1350 va
24 Outlets @ 250 va	6000 va
1 Hp. Exhaust Fan	1920 va
WALL A/C UNIT @ 1500 va	1500 va
Fan. Connected Load	12 600 va
10 620 va + 240 welp = 11 Amps.	

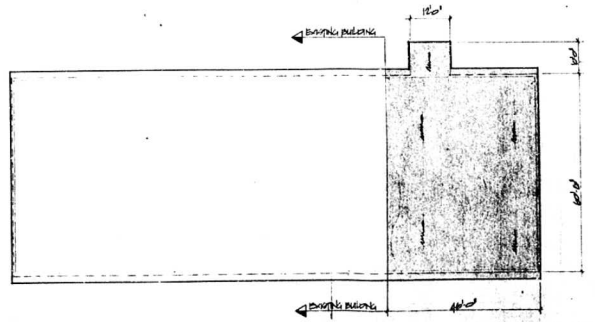
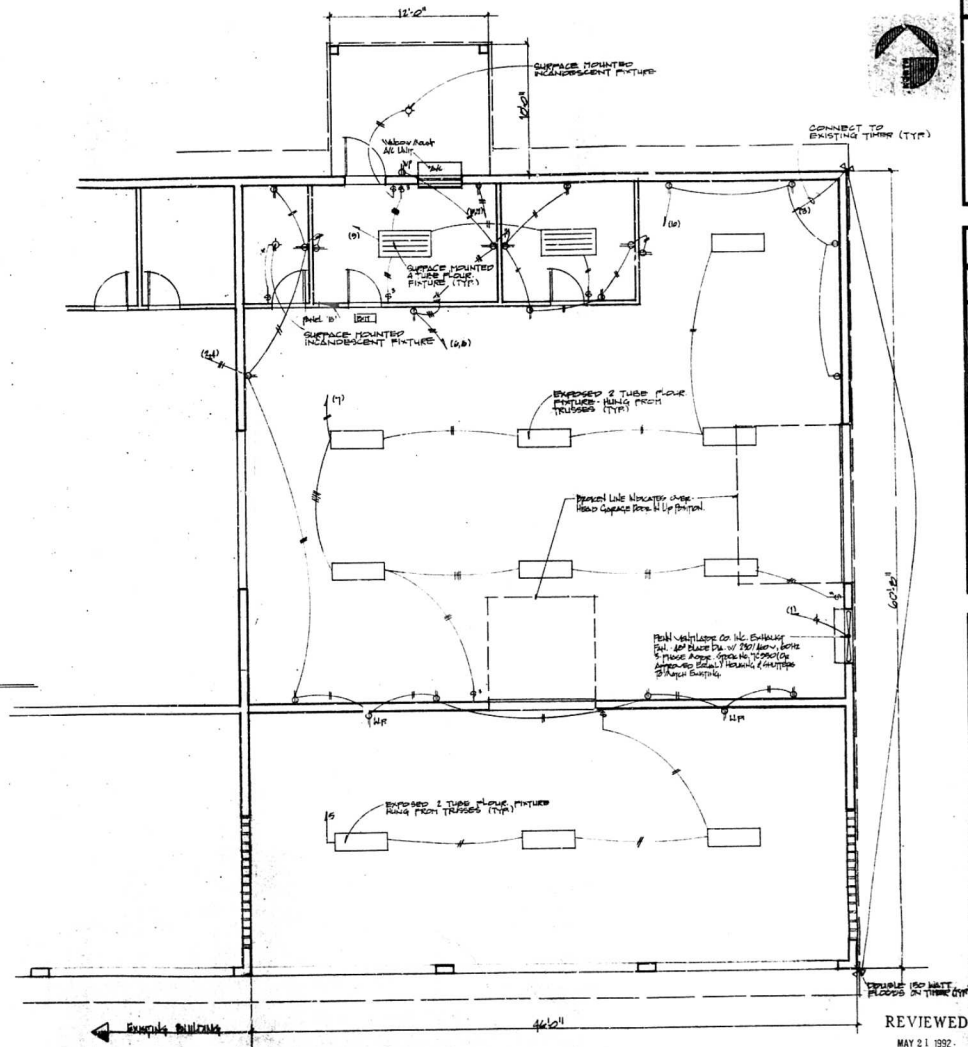
PANEL SCHEDULES:

60 Amp, 1 φ, 12 Circuit, w/ Ground Bus for Range Burners	
1 1200A. Single Pole Panel	2 1200 RECEPTACLES
3 1200A. Breaker (20 Amp)	4 " " "
5 1200A. LIGHTS	6 " " "
7 1200A. " "	8 " " "
9 1200A. " "	10 2700A. WALL A/C
11 " "	12 " " "

ELECTRICAL NOTES

1) PROVIDED ELECTRICAL TO BE TIED INTO EXISTING ELECTRICAL SERVICE.

RISER DIAG.
NOT TO SCALE

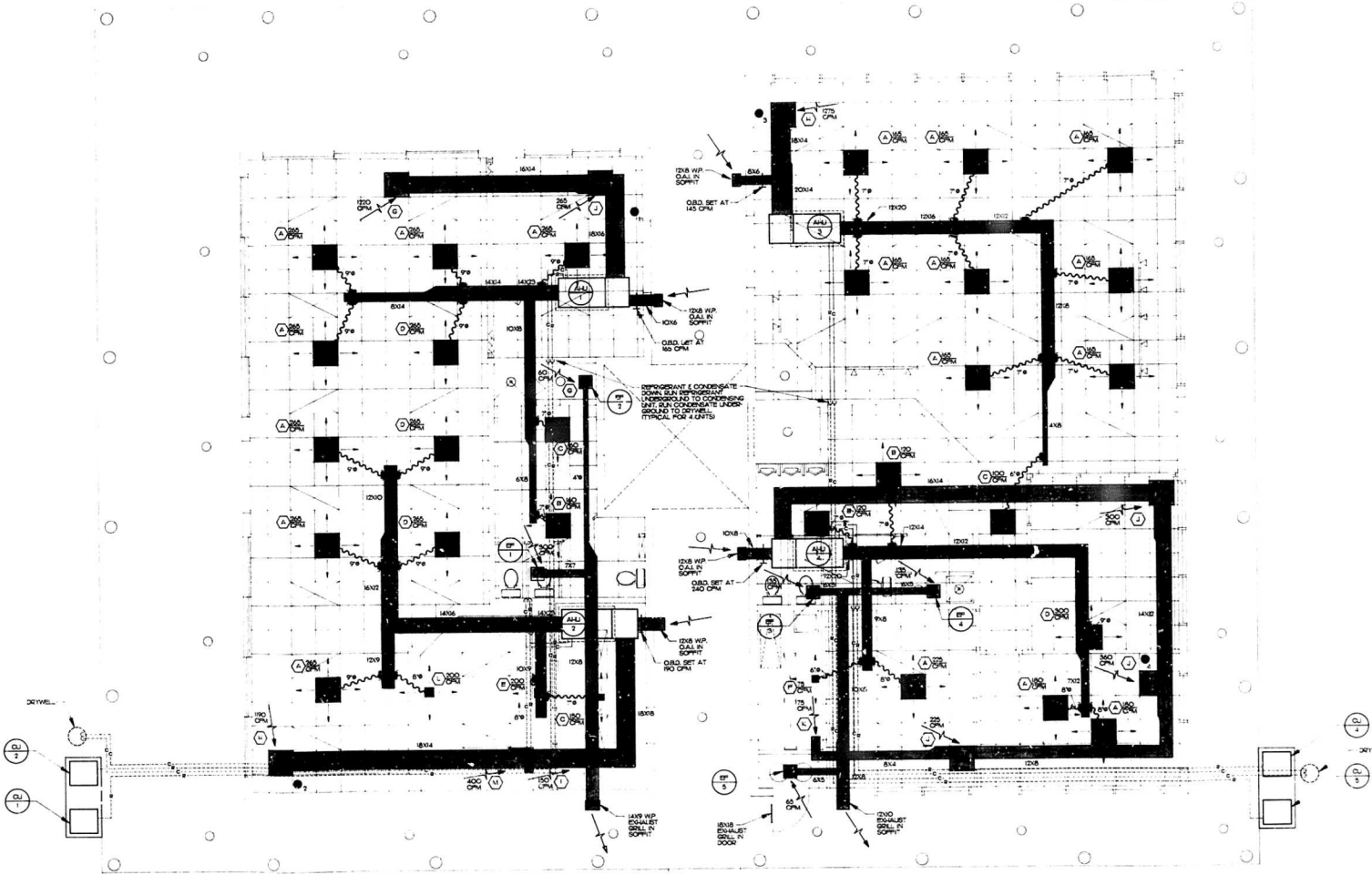


REVIEWED
MAY 21 1992

INDIAN RIVER COUNTY
BUILDING DEPARTMENT

JAN 2 4 1992

Chaplin
2/20/92



HVAC FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISIONS:

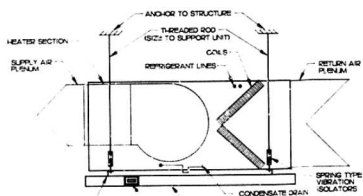
JOB NO.: 91085
DATE ISSUED: 1/6/92
DRAWN BY: D.C.
DESIGNED BY: MAM
CHECKED BY: DAW
APPROVED BY: DAW

REVIEWED
MAY 21 1992
INDIAN RIVER COUNTY
BUILDING DEPARTMENT

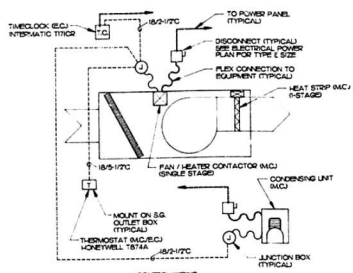
SEAL
MAM
JAN 06 1992

SHEET
M-1
OF SHEETS

92-445

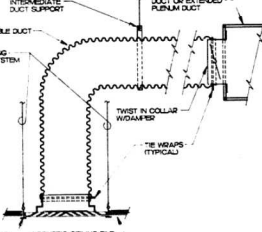


AHU DETAIL - HORIZONTAL MOUNTING N.T.S.

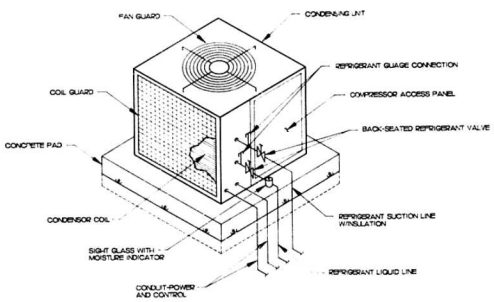


HVAC CONTROL SCHEMATIC

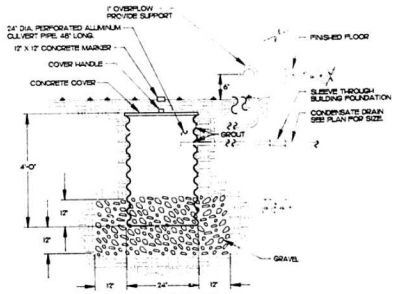
SEQUENCE OF OPERATION:
 1) SINGLE STAGE ROOM THERMOSTAT MONITORS SPACE AIR TEMPERATURE AND CONTROLS CONDENSING UNIT AND HEAT STOP.
 2) THE CLOCK SALES NORMAL SYSTEM OPERATION DOWN DURING OFF PEAK HOURS.
NOTES:
 1) FANS MARKED (S) ARE PLUMBED & INSTALLED BY THE ELECTRICAL CONTRACTOR.
 2) FANS MARKED (M) ARE PLUMBED BY THE MECHANICAL CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
 3) FANS MARKED (M) ARE PLUMBED WITH THE HVAC EQUIPMENT AND CONNECTED BY THE ELECTRICAL CONTRACTOR.
 4) ALL COILS WIRE BONES ARE TO BE PLUMBED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
 5) THE TIME CLOCK IS TO BE MOUNTED ADJACENT TO THE HVAC EQUIPMENT IT CONTROLS.
 6) IF THE EQUIPMENT IS LOCATED ABOVE THE CEILING, MOUNT ADJACENT TO POWER PANEL.
 7) START-UP IS TO BE COORDINATED BY BOTH TRADES.



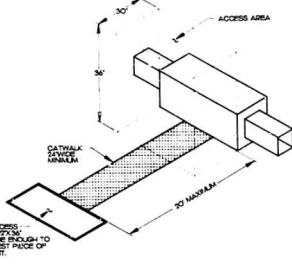
CEILING DIFFUSER BRANCH DUCTS N.T.S.



AIR-COOLED CONDENSING UNIT SLAB MOUNTED N.T.S.



DRYWELL DETAIL N.T.S.



AIR HANDLING UNIT CLEARANCES N.T.S.

SUPPLY AIR UNIT SCHEDULE

SYS NO.	AHU NO.	CAPACITY SENS	MODEL NO. TIL	SUPPLY CFM	O.L. H.P.	FAN H.P.	HEAT KW	ELECTRIC REQ VOLT PH CY	WEIGHT (LB)	
1	1	33.7	48.0	Trans TW4048A	160	165	172	7.5	240 1 60	181
2	2	36.2	49.0	Trans TW4009FA	187.5	190	374	10	240 1 60	212
3	3	28.5	41.0	Trans TW4742A	1420	145	172	7.5	240 1 60	155
4	4	24.9	35.0	Trans TW4036A	1200	240	173	5.5	240 1 60	120

CONDENSING UNIT SCHEDULE

SYS NO.	CU NO.	MODEL NO.	COMPRESSOR NO.	COND FAN NO.	ELEC REQ V	SEER PH CY	REMARKS
1	1	Trans TR7748	1 23.7	1 U5	240 1	60 10.0	
2	2	Trans TR7748	1 23.7	1 U5	240 1	60 10.0	
3	3	Trans TR7742	1 21.2	1 U5	240 1	60 10.0	
4	4	Trans TR7736	1 18.7	1 U4	240 1	60 10.0	

FAN SCHEDULE

UNIT NO.	MANUFACTURER	MODEL NO.	CFM	SP	HPM	AMPS	TYPE	ELECTRIC REQ VOLT PH CY	REMARKS
EF-1	Greenheck	SP-121	300	375	1260	2.8	Ceiling	120 1 60	
EF-2	Greenheck	SP-6	60	375	1600	7.5	Ceiling	120 1 60	
EF-3 & 4	Greenheck	SP-117	135	375	1670	1.0	Ceiling	120 1 60	
EF-5	Greenheck	CRD-108	65	150	1550	4.4	Jetting	120 1 60	Provide ceiling radiation damper

GRILL AND DIFFUSER SCHEDULE

DESIGNATION	MODEL NUMBER	SIZE	DIRECTION	TYPE	FINISH	ACCESSORIES
(A)	Thus Model TDCA-AA Border Type 3	9 x 9	A4	Supply	Paint to match adjacent surface	
(B)	Thus Model TDCA-AA Border Type 3	6 x 6	A4	Supply	Paint to match adjacent surface	
(C)	Thus Model TDCA-AA Border Type 1	6 x 6	G2	Supply	Paint to match adjacent surface	
(D)	Thus Model TDCA-AA Border Type 3	9 x 9	A3-2	Supply	Paint to match adjacent surface	
(E)	Thus Model TDCA-AA Border Type 1	9 x 9	A3-2	Supply	Paint to match adjacent surface	
(F)	Thus Model TDCA-AA Border Type 1	6 x 6	A3-2	Supply	Paint to match adjacent surface	
(G)	Thus Model 3FF with Meter Border Type 3	24 x 36		Return	Paint to match adjacent surface	
(H)	Thus Model 3FF with Meter Border Type 3	24 x 24		Return	Paint to match adjacent surface	
(I)	Thus Model 3FF with Meter Border Type 1	10 x 0		Return	Paint to match adjacent surface	
(J)	Thus Model 3FF with Meter Border Type 3	24 x 0		Return	Paint to match adjacent surface	
(K)	Thus Model 3FF Border Type 1	10 x 0		Return	Paint to match adjacent surface	
(L)	Thus Model TDCA-AA Border Type 1	9 x 9	A4	Supply	Paint to match adjacent surface	
(M)	Thus Model 3FF with Meter Border Type 1	24 x 8		Return	Paint to match adjacent surface	

MECHANICAL LEGEND:

SYMBOL	DESCRIPTION
(Symbol)	TWIST-IN-COLLAR WITH OPPOSED BLADE DAMPER
(Symbol)	MANUAL EXTRACTOR
(Symbol)	TURNING VANES
(Symbol)	OPPOSED BLADE DAMPER (OBD)
(Symbol)	HORIZONTAL FIRE DAMPER
(Symbol)	THERMOSTAT
(Symbol)	FLEXIBLE DUCT
(Symbol)	REFRIGERANT LINE
(Symbol)	CONDENSATE LINE

Wojciezak & Associates, Inc.
 Consulting Engineers
 2185 E. Ocean Blvd.
 Stuart, Florida 34995

SANDRIDGE GOLF CLUB

VERO BEACH, FLORIDA

REVISIONS:

REVIEWED
 MAY 21 1992
 INDIAN RIVER COUNTY BUILDING DEPARTMENT

SEAL
DMW
 MAY 08 1992

JOB NO.: 91065
 DATE ISSUED: 1/3/92
 DRAWN BY: D.C.
 DESIGNED BY: M.M.
 CHECKED BY: D.A.W.
 APPROVED BY: D.A.W.

SHEET
M-2
 OF 2 SHEETS

92-445

June 3, 1992

Indian River County Building Department
 1840 25th Street
 Vero Beach, Florida 32960

Attn: Bill Gevin
 Re: Job No. 92065
 Seaside Clubhouse

Brad Schuh with Barth Construction faxed a copy of plumbing revisions for this project. I reviewed the proposed revisions and find them satisfactory. The contract must submit as-bid to the Owner indicating these changes.

If you have any questions or comments, please call.
 Sincerely,

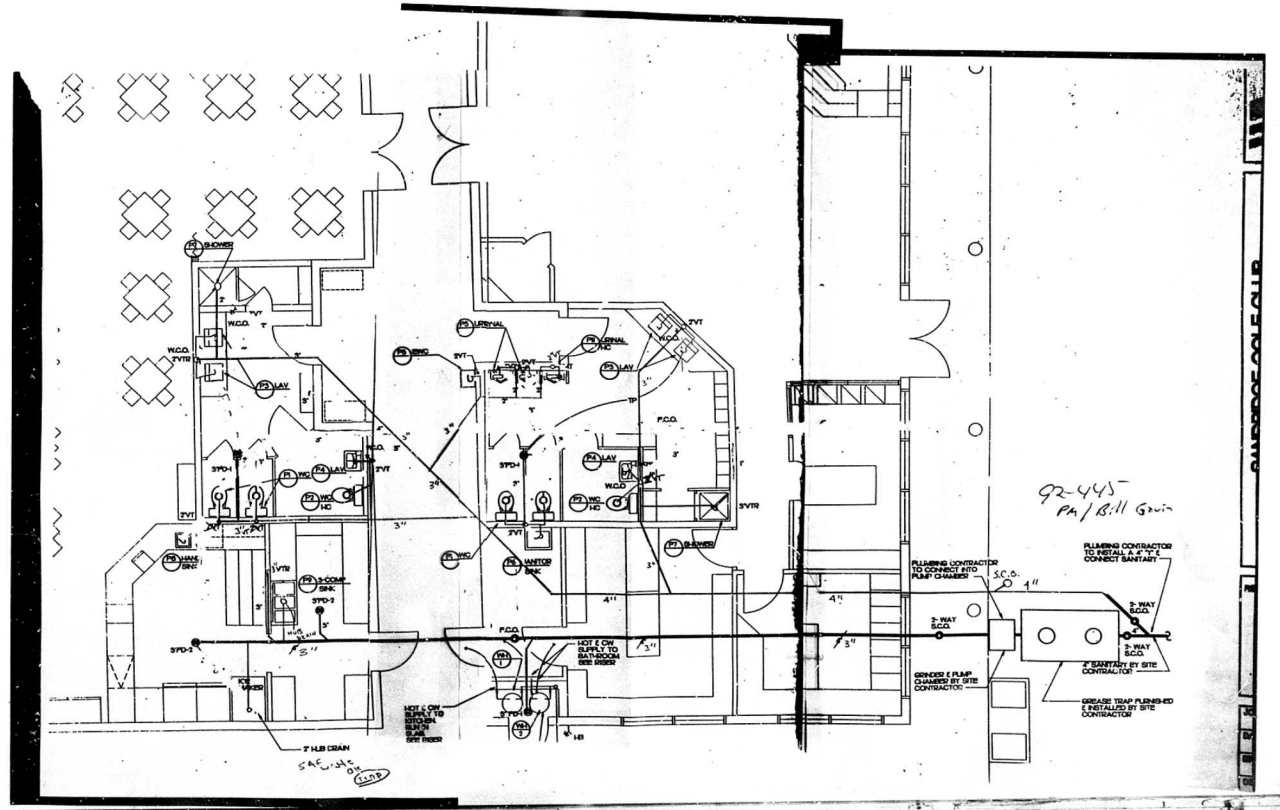

 David A. Wojciszak, P.E.

DAW/kib

Unless requested, no original will follow this facsimile.

cc: Barth Construction, Brad Schuh

92-445-
 92020666



92-445-
 PA/Bill Gevin

PLUMBING CONTRACTOR
 TO CONNECT INTO
 FLAP CHAMBER

S.C.O. 1"

2-WAY
 S.C.O.

2-WAY
 S.C.O.

2-WAY
 S.C.O.

2\"/>

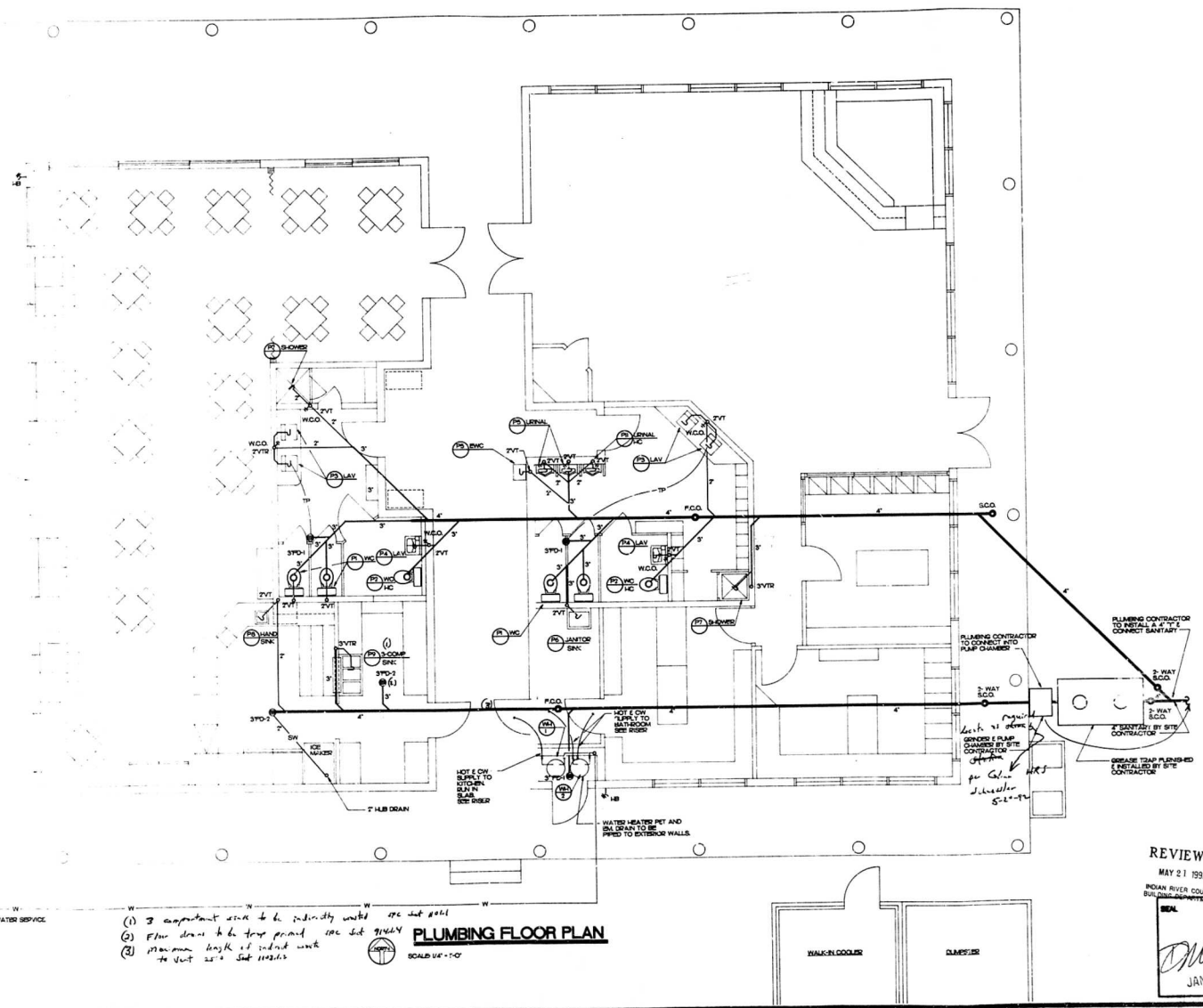
92-445

REVISIONS:

JOB NO.: 91065
 DATE: 10/20/92
 DRAWN BY: SET
 CHECKED BY: DAW
 APPROVED BY: DAW

SEAL
D. Miller
 JAN 03 1992

SHEET
P-1
 OF 2 SHEETS



1/4" HP VALVE IN VALVE BOX

NEW 1/4" HP WATER SERVICE

2" WATER SERVICE BY SITE CONTRACTOR. SEE CIVIL SHEET FOR COORDINATION.

- (1) 3 compartment sink to be installed under the hot water
- (2) Floor drains to be done per spec. see sheet 91064
- (3) maximum length of solid work to vent 25' 0" see sheet 110263

PLUMBING FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVIEWED
 MAY 21 1992
 INDIAN RIVER COUNTY
 BUILDING DEPARTMENT

92-445

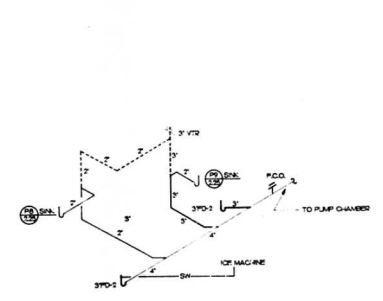
REVISED:

JOB NO.:
 DATE ISSUED: 9/06/85
 DRAWN BY: 1/3/92
 DESIGNED BY: SET
 CHECKED BY: DAW
 APPROVED BY: DAW

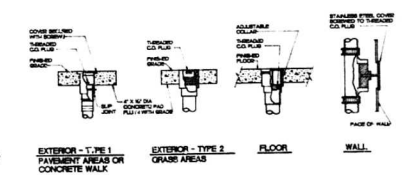
REVIEWED
 MAY 21 1992
 ROYAN BRYER COUNTY
 BUILDING DEPARTMENT

SEAL
 DAW
 JUN 03 1992

SHEET
 P-2
 OF SHEETS



KITCHEN SANITARY RISER

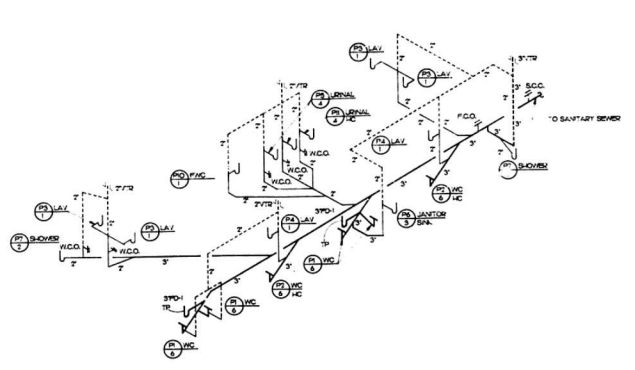


CLEAN OUT DETAILS - (TYPICAL)

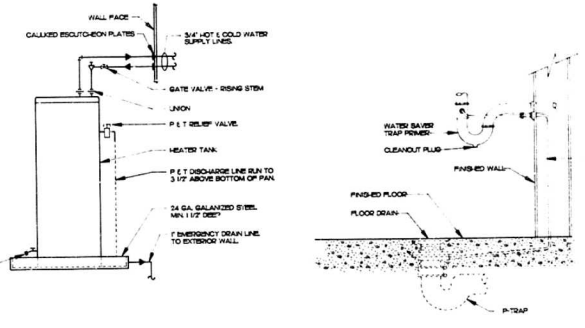
FLOOR DRAIN SCHEDULE - Sandridge Golf Club						
UNIT NO.	MANUFACTURE	MODEL NUMBER	MATERIAL	ACCESSORIES	SIZE	TRAP FINISH
FD-1	J-I Smith	200-A-P-PS	Cast Iron	Trap Primer	3"	1/2"
FD-2	J-I Smith	200-A-P-PS	Cast Iron		2"	

WATER HEATER SCHEDULE - Sandridge Golf Club							
UNIT NO.	MODEL NUMBER	MATERIAL	WATE	VOLTS	H.W.	C.W.	ACCESSORIES
WH-1 & 2	Heater 61840D	Class Lineal Steel	600	00	3/2"	3/4"	

WC - FIXTURE DESIGNATION
 F - FIXTURE NAME
 HOT & C.W. F.I. (WATER RISERS)



BATHROOM SANITARY RISER

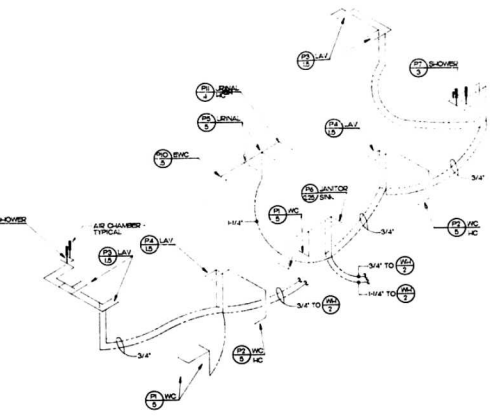


WATER HEATER DETAIL

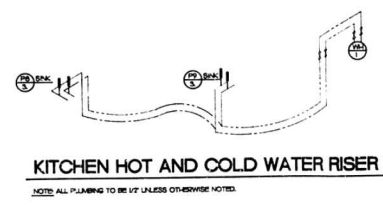
WATER SAVER TRAP PRIMER

PLUMBING FIXTURE SCHEDULE - Sandridge Golf Club								
UNIT NO.	ITEM	MODEL NUMBER	MATERIAL	ACCESSORIES	SHL	TRAP	H.W.	C.W.
F1	Water Closet	American Standard New Castle 9113-003	Wenous Chrome	Seat Overlay #34	2"	-	-	1/2"
F2	Water Closet	American Standard Cedar 710-008	Wenous Chrome	Seat Overlay #36	2"	-	-	1/2"
F3	Urinal	American Standard Aquadon 5476-025	Wenous Chrome	Flange 238L-500	2"	1-1/2"	1/2"	1/2"
FA	Lavatory	American Standard Commodore 211-024	Wenous Chrome	Galvanized Steel Flange 238L-500	2"	1-1/2"	1/2"	1/2"
FB	Urinal	American Standard Wenous 6001-010	Wenous Chrome	Flush Valve: Sloan Royal Seat	2"	-	-	3/4"
FC	Janitor Sink	Flue No. FL-1	Milded Stone	Flange: No. A-1	2"	1-1/2"	1/2"	1/2"
FD	Shower	Constructed by Contractor	-	Flange: American Standard 1/2" x 1/2" x 1/2"	2"	2"	1/2"	1/2"
FE	Sink	Elco P59-019	Stainless Steel	Flange: USA-2445 with 1/2" x 1/2" x 1/2"	2"	1-1/2"	1/2"	1/2"
FF	3 Compartment Sink	Elco 171-022-10	Stainless Steel	Flange: (2) sets of UK-410 1/2" x 1/2" x 1/2"	2"	1-1/2"	1/2"	1/2"
FG	Electric Water Heater	Elco L18E-6-0	-	-	2"	1-1/2"	-	1/2"
F1	Urinal Handicapped	American Standard 686-010	Wenous Chrome	Flange: Sloan 180-1.8 Seat	2"	-	-	3/4"

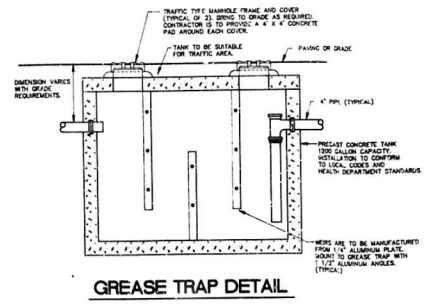
PLUMBING LEGEND	
SYMBOL	DESCRIPTION
--- (dashed line)	Sanitary Piping
--- (dotted line)	Hot Water Piping
--- (dash-dot line)	Cold Water Piping
--- (long-dashed line)	Vent Piping
F.D.	Floor Drain
T.P.	Trap Primer
H.E.	Heat Sink
V.T.	Vent
V.T.R.	Vent Through Roof
W.H.	Water Heater
S.C.O.	Sanitary Clean Out
W.C.O.	Wall Clean Out
F.C.O.	Floor Clean Out



HOT AND COLD WATER RISER
 NOTE: ALL PLUMBING TO BE 1/2" UNLESS OTHERWISE NOTED.



KITCHEN HOT AND COLD WATER RISER
 NOTE: ALL PLUMBING TO BE 1/2" UNLESS OTHERWISE NOTED.



GREASE TRAP DETAIL

92-445

REVISIONS:

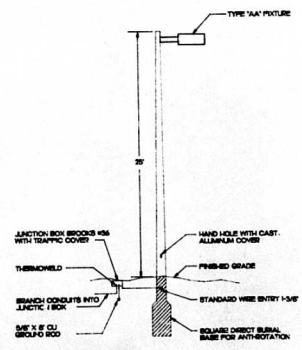
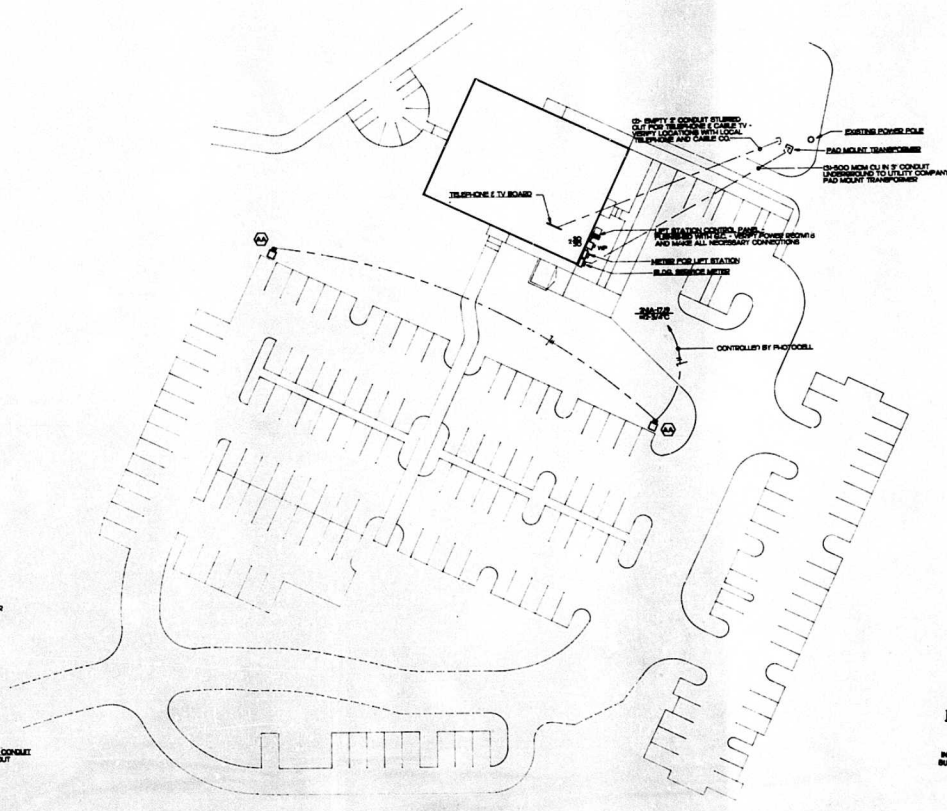
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JOB NO: 91065
 DATE ISSUED: 1/6/92
 DESIGNED BY: NMA
 CHECKED BY: PF
 APPROVED BY: DAW

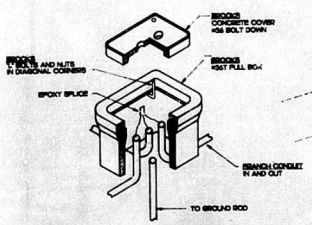
REVIEWED
 MAY 21 1992
 MOJAVE RIVER COUNTY
 BUILDING DEPARTMENT

SEAL
[Signature]
 JAN 06 1992

SHEET
E-1
 OF SHEETS



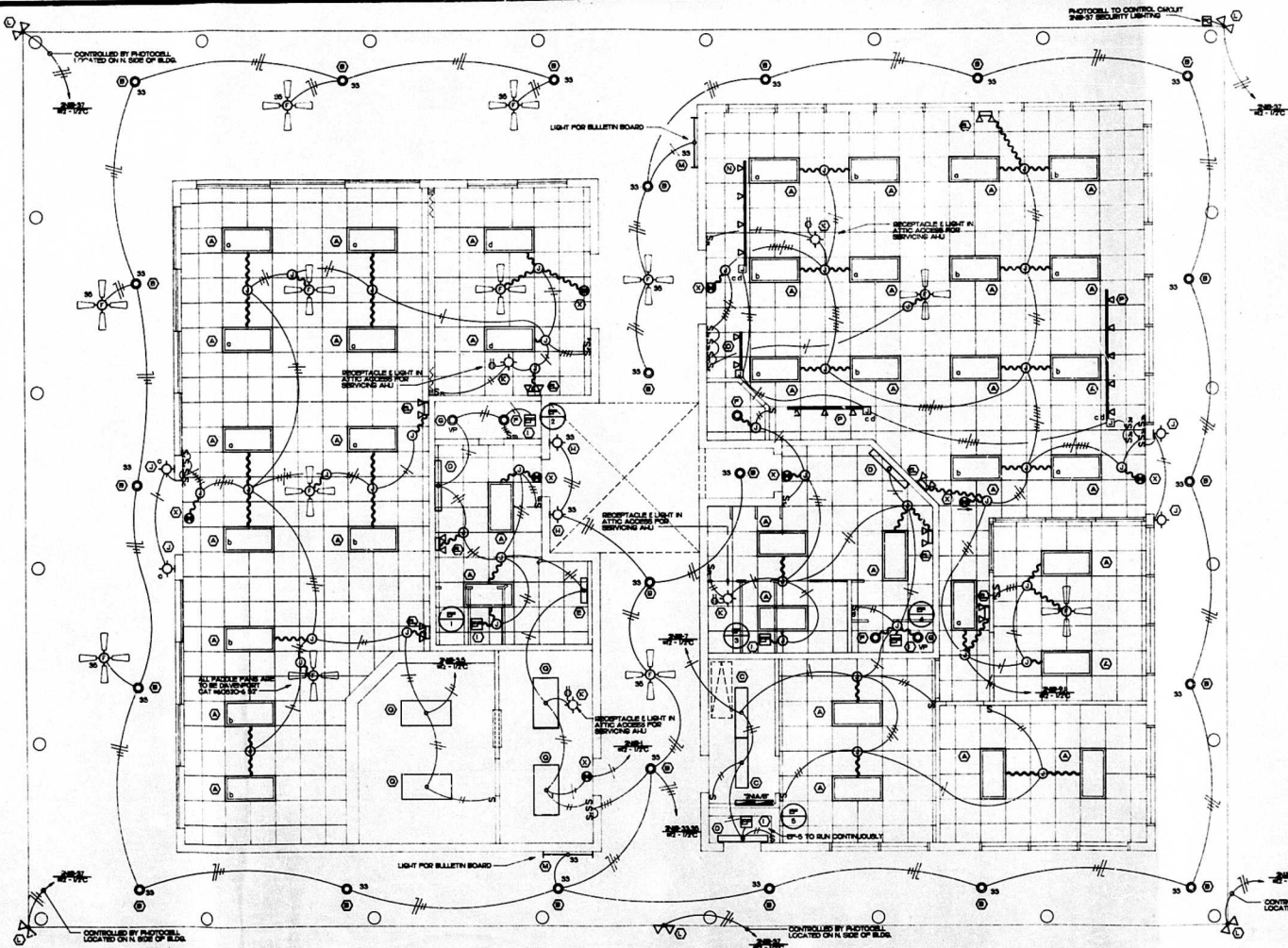
STANDARD LIGHTING DETAIL
FOR USE WITH ALL TYPES OF LIGHTING FIXTURES



PULL BOX DETAIL

ELECTRICAL SITE PLAN
 SCALE: 1" = 30' 0"

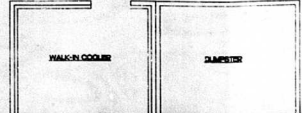




LIGHTING FLOOR PLAN

NOTE: 1 MAKE CONNECTION TO BULLETIN PLAN FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR

SCALE: 1/8" = 1'-0"



WJA Wojciech & Associates, Inc.
 Consulting Engineers
 2185 E. Coon Blvd.
 Stuart, Florida 34988

SANDRIDGE GOLF CLUB
 VERO BEACH, FLORIDA

REVISION:
JOB NO.: 91065
DATE ISSUED: 1/6/92
DRAWN BY: MMA
DESIGNED BY: MMA
CHECKED BY: PM
APPROVED BY: DAW

REVIEWED
 MAY 21 1992
 INDIAN RIVER COUNTY
 BUILDING DEPARTMENT

SEAL
Daw
 JAN 06 1992

SHEET
E-2
 OF 4 SHEETS

PHOTOCELL TO CONTROL CAJALIT 2ND-ST SECURITY LIGHTING

CONTROLLED BY PHOTOCELL LOCATED ON N. SIDE OF BLDG.

CONTROLLED BY PHOTOCELL LOCATED ON N. SIDE OF BLDG.

CONTROLLED BY PHOTOCELL LOCATED ON N. SIDE OF BLDG.

CONTROLLED BY PHOTOCELL LOCATED ON N. SIDE OF BLDG.

REVISIONS:

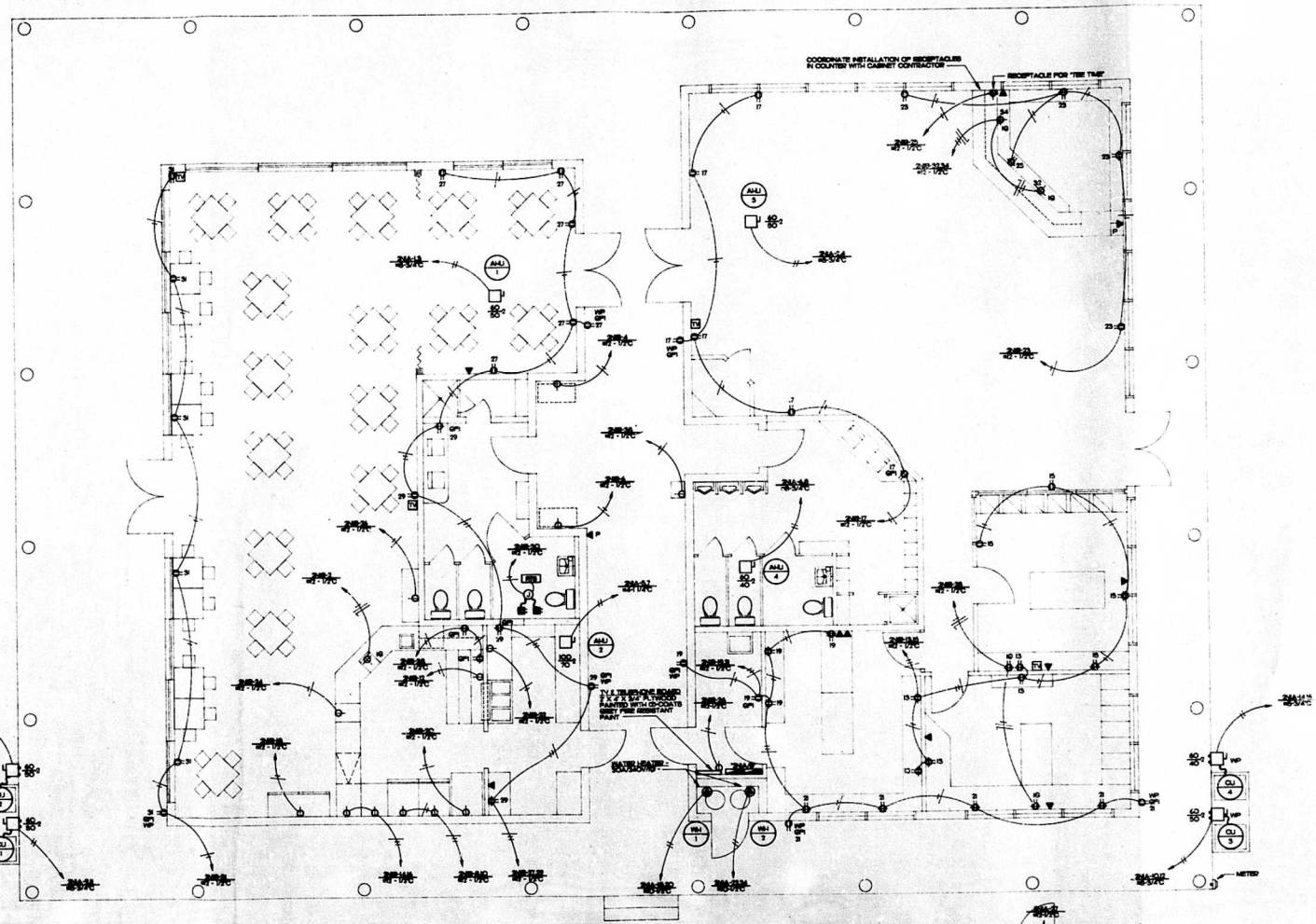
JOB NO.: 91065
 DATE ISSUED: 1/3/92
 DRAWN BY: MMA
 CHECKED BY: MMA
 DESIGNED BY: JPF
 APPROVED BY: DAW

REVIEWED
 MAY 21 1992
 Indian River County
 BUILDING DEPARTMENT

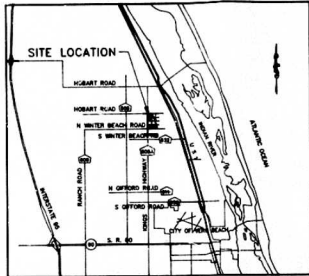
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 JAN 03 1992

SHEET
E-3
 OF SHEETS



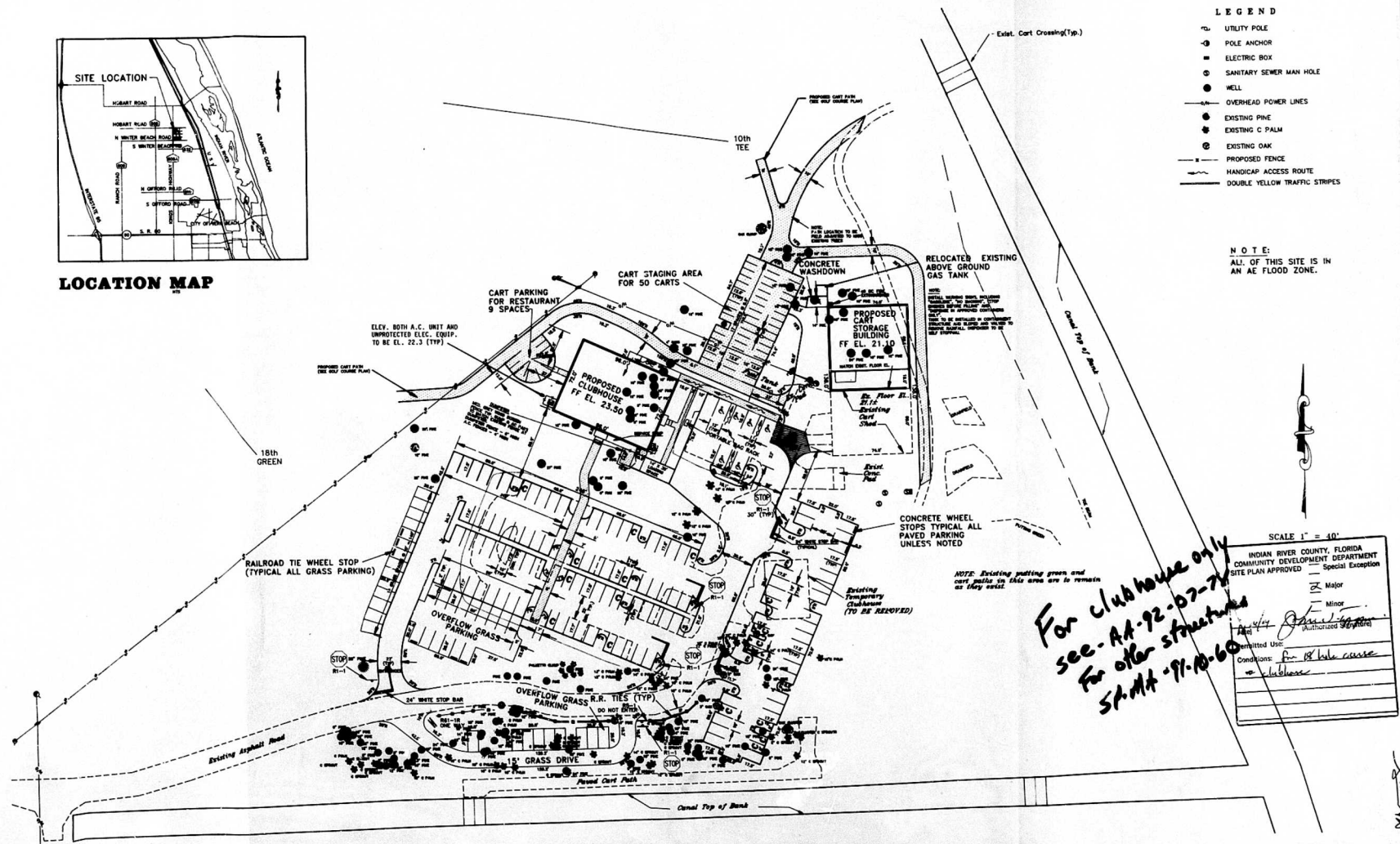
POWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



LOCATION MAP

- LEGEND**
- UTILITY POLE
 - POLE ANCHOR
 - ELECTRIC BOX
 - SANITARY SEWER MAN HOLE
 - WELL
 - OVERHEAD POWER LINES
 - EXISTING PINE
 - EXISTING C PALM
 - EXISTING OAK
 - PROPOSED FENCE
 - HANDICAP ACCESS ROUTE
 - DOUBLE YELLOW TRAFFIC STRIPES

N O T E:
ALL OF THIS SITE IS IN AN AE FLOOD ZONE.



NOTE: Existing putting green and cart paths in this area are to remain as they exist.

*For clubhouse only
see AA-92-07-74
for other structures
SA-MA-97-0-60*

SCALE 1" = 40'

INDIAN RIVER COUNTY, FLORIDA
COMMUNITY DEVELOPMENT DEPARTMENT
SITE PLAN APPROVED _____ Special Exception

Major
 Minor

Approved: _____
Authorized Signature

Permitted Use: _____
Conditions: *for 18 hole course*
no clubhouse

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY

Kimley-Horn
Building client relationships since 1887

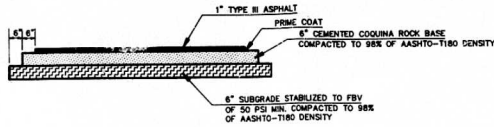
DESIGNED BY JWY
CHECKED BY JH
DRAWN BY JWY
FIELD BOOK NO. 279

Kimley-Horn and Associates, Inc.
601 21st Street, Suite 400
Vero Beach, Florida 32960
phone (407)562-7981

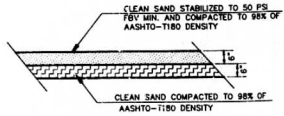
DATE 7-1-91
SCALE 1"=40'
© 1991
SAND-SP

SANDRIDGE GOLF CLUB
SITE PLAN

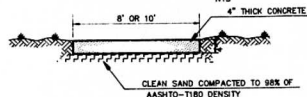
PROJECT NO. B645.04
SHEET 1 of 1



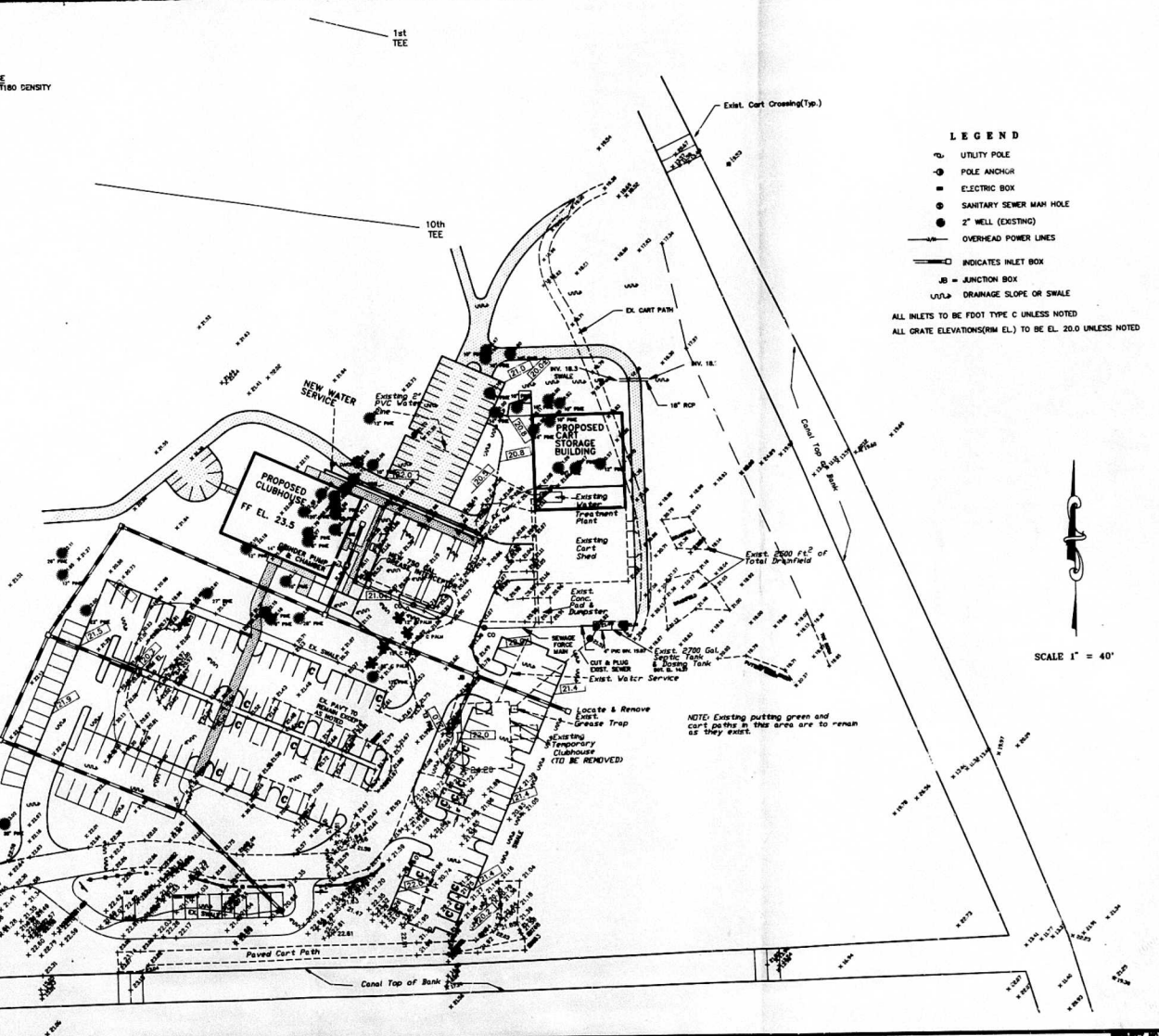
TYPICAL PAVEMENT CROSS SECTION
NTS



TYPICAL GRASS DRIVE & PARKING SPACE
NTS



TYPICAL CART PATH SECTION
NTS



- LEGEND**
- UTILITY POLE
 - ⊙ POLE ANCHOR
 - ⊞ ELECTRIC BOX
 - ⊙ SANITARY SEWER MAN HOLE
 - ⊙ 2" WELL (EXISTING)
 - OVERHEAD POWER LINES
 - INDICATES INLET BOX
 - JB = JUNCTION BOX
 - U/L = DRAINAGE SLOPE OR SWALE
- ALL INLETS TO BE FOOT TYPE C UNLESS NOTED
ALL GRATE ELEVATIONS (FORM EL.) TO BE EL. 20.0 UNLESS NOTED



NOTE: Existing putting green and cart paths in this area are to remain as they exist.

NO.		REVISION		DATE	BY	NO.	REVISION	DATE	BY		DESIGNED BY JWY DRAWN BY CHECKED BY JWY FIELD BOOK NO. 270	DATE 7-1-91 SCALE 1"=40' © 1991 SAND - PAV	SHEET NO. 8645.04 OF 2
GENERAL REVISIONS 5/11/91 LH										Kimley-Horn and Associates, Inc. 501 21st Street, Suite 400 Vero Beach, Florida 32960 phone (407)562-7981			

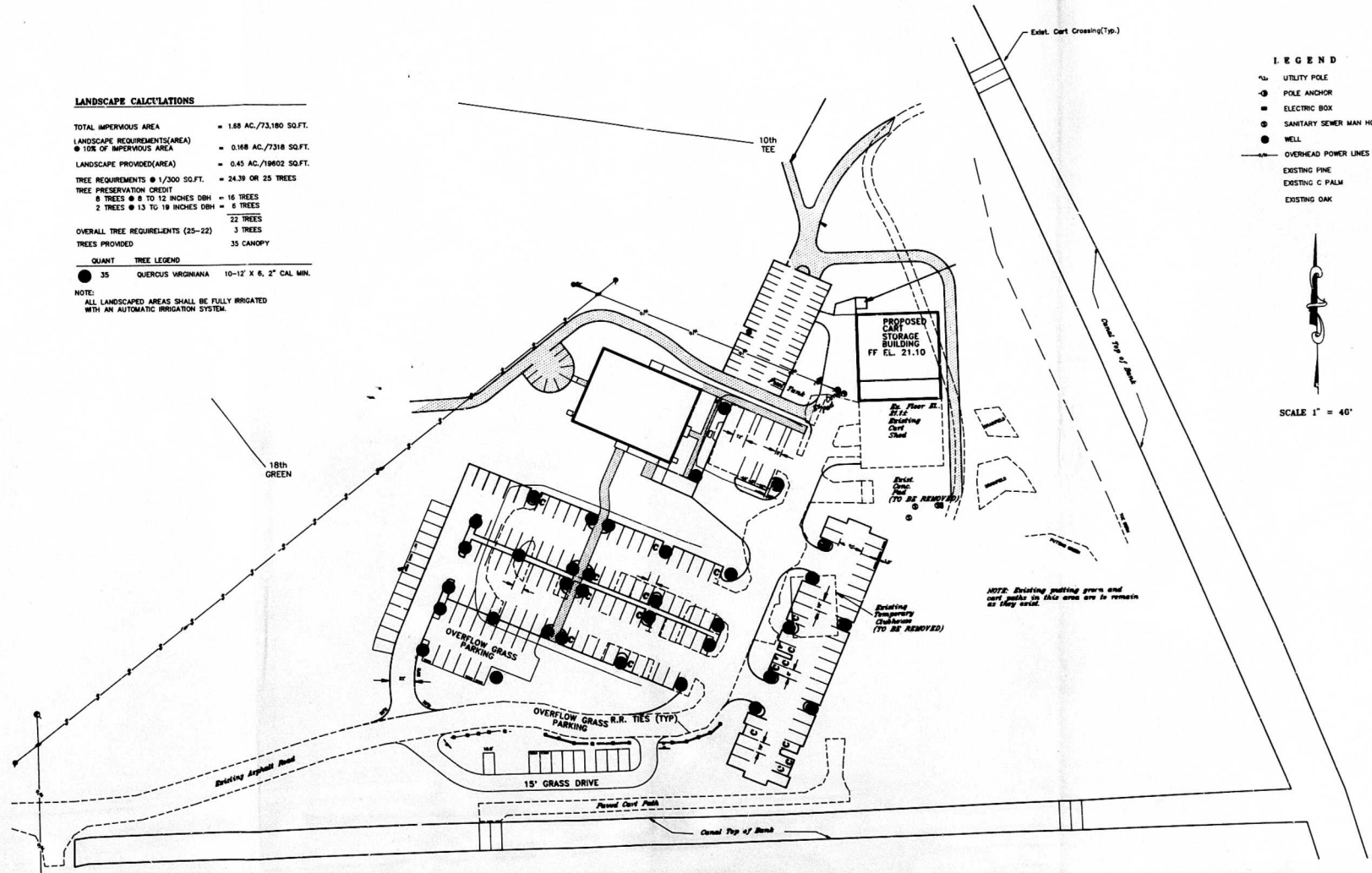
SEP 12 '91

LANDSCAPE CALCULATIONS

TOTAL IMPERVIOUS AREA = 1.88 AC./73,180 SQ.FT.
 LANDSCAPE REQUIREMENTS(AREA) @ 10% OF IMPERVIOUS AREA = 0.188 AC./7,318 SQ.FT.
 LANDSCAPE PROVIDED(AREA) = 0.45 AC./19802 SQ.FT.
 TREE REQUIREMENTS @ 1/300 SQ.FT. = 24.39 OR 25 TREES
 TREE PRESERVATION CREDIT
 8 TREES @ 8 TO 12 INCHES DBH = 16 TREES
 2 TREES @ 13 TO 19 INCHES DBH = 6 TREES
 22 TREES
 OVERALL TREE REQUIREMENTS (25-22) = 3 TREES
 TREES PROVIDED = 35 CANOPY

QUANT	TREE LEGEND
35	QUERCUS VIRGINIANA 10-12" X 6, 2" CAL MIN.

NOTE:
 ALL LANDSCAPED AREAS SHALL BE FULLY IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.



- LEGEND**
- UTILITY POLE
 - POLE ANCHOR
 - ELECTRIC BOX
 - SANITARY SEWER MAN HOLE
 - WELL
 - OVERHEAD POWER LINES
 - EXISTING PINE
 - EXISTING C. PALM
 - EXISTING OAK

SCALE 1" = 40'

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY



Building client relationships since 1887

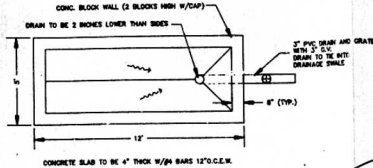
DESIGNED BY URG
 DRAWN BY JMW
 CHECKED BY JMW
 FIELD BOOK NO. 278

Kimley-Horn and Associates, Inc.
 601 21st Street, Suite 400
 Vero Beach, Florida 32980
 phone (407)562-7961

DATE 7-1-91
 SCALE 1"=40'
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 SHEET SR-LAND

**SANDRIDGE GOLF CLUB
 LANDSCAPE PLAN**

SHEET NO. B645.04
 OF



FUEL CONTAINMENT STRUCTURE
NTS

CART PATH IN THIS AREA CAN BE FIELD ADJUSTED TO SAVE TREES BUT ANY CHANGE MUST BE APPROVED BY GOLF COURSE PROFESSIONAL

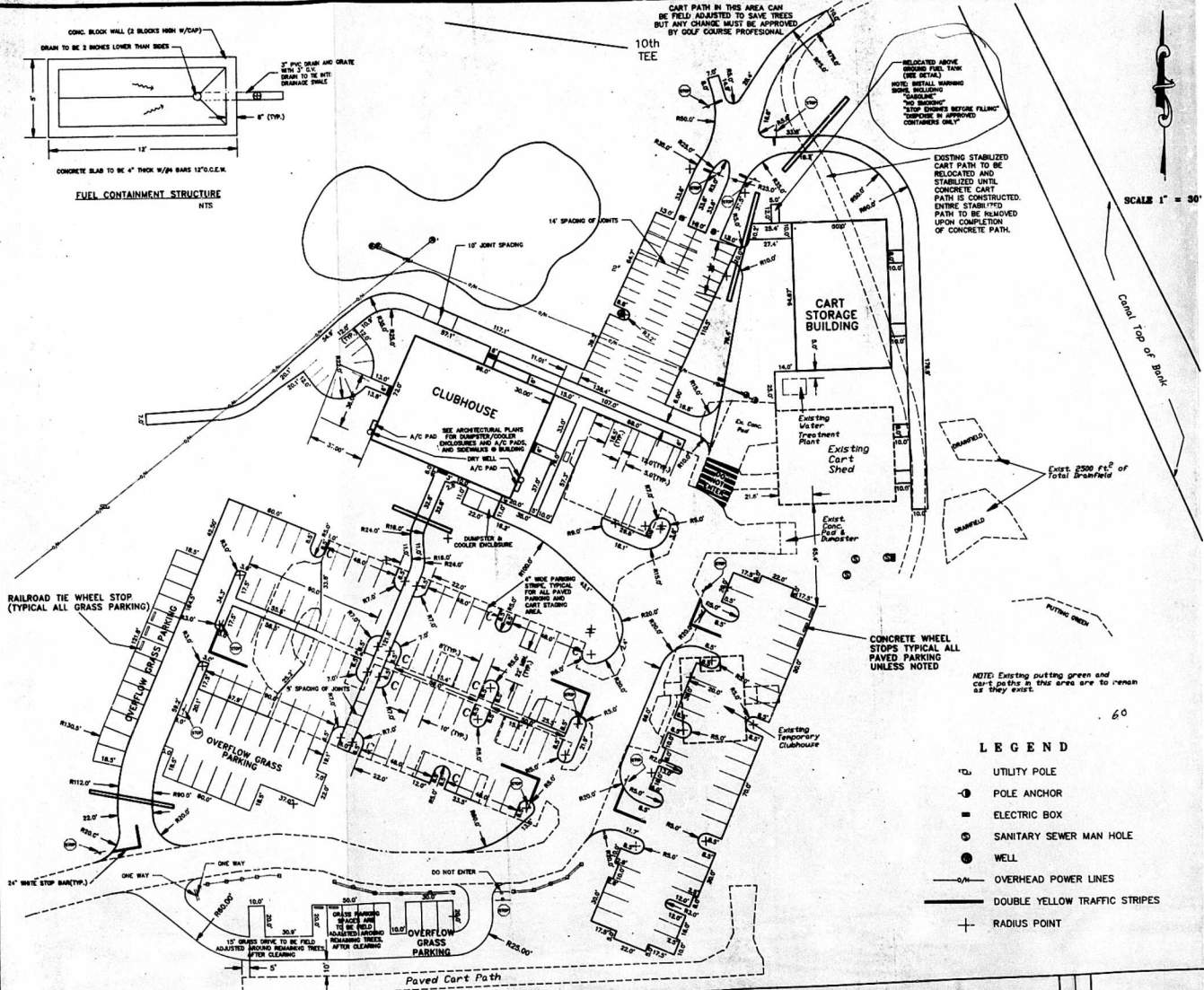
10th TEE

RELOCATED ABOVE EXISTING FUEL TANK (SEE DETAIL)
NOTE: METAL WARNING SIGNS INCLUDING "DANGER NO SMOKING" "STOP DRIVING BEFORE FILLING" "TOWERS & APPROVED CONTAINERS ONLY"

EXISTING STABILIZED CART PATH TO BE RELOCATED AND STABILIZED UNTIL CONCRETE CART PATH IS CONSTRUCTED. ENTIRE STABILIZED PATH TO BE REMOVED UPON COMPLETION OF CONCRETE PATH.

SCALE 1" = 30'

- Note:
- 1) Removal of the existing Clubhouse will be the responsibility of the County. Removal of all accessory items including but not limited to foundations, walls, stairs and utilities shall be the responsibility of the contractor. Before contractor can complete the new parking lot, the new club house must be completed and occupied and the existing Clubhouse must be removed. Before the golf course can receive a certificate of occupancy, ALL Clubhouse site work including parking lot must be completed. It is the contractor's responsibility to coordinate this effort.
 - 2) Contractor to include in his bid as an Alternate the seed coating of all existing asphalt that is to remain.
 - 3) Contractor to use accepted material from the clubhouse site as fill material if available. Only good clean sand may be used for fill. Any excess or unsatisfactory material is to be used for the golf course as directed by the golf course architect. If earthwork on clubhouse site does not generate sufficient fill material for buildings and pavement areas, fill will be provided from golf course and stockpiled at Practice Green. Clubhouse contractor will be responsible for transporting fill from the practice green to the site and compacting as required.
 - 4) All cleared areas to be seeded and mulched with biodegradable grass.
 - 5) Contractor to provide shop drawings for approval of all manufactured items.
 - 6) All pavement markings including parking stripes, stop bars, handicapped signs and DO NOT ENTER letters and striping is to be thermoplastic.
 - 7) Engineer will provide contractor with two (2) known survey points including one elevation. These points will be marked and one is proposed to be set in the employee's parking lot and one in the entrance road just south of existing clubhouse. Engineer will provide contractor with a disk of the site in AutoCAD-Version 11. Construction stakeout will be the responsibility of the Contractor.
 - 8) Contractor will provide owner a set of record drawings signed and sealed by a registered surveyor. Any deviations from the plan are to be noted. Additionally, elevations will be provided on pavement (including cart paths) and in drainage sections to determine flow directions and slopes. Floor elevations will be provided.
 - 9) All site work will be done according to FDOT Standard Specifications for Road and Bridge Construction, 1985, including latest supplements except for water and sewer items which will follow Indian River County Water and Wastewater Utilities Standards latest edition and building site preparation which shall be by Architect specifications.
 - 10) For existing trees see Sheet 2 of 4.
 - 11) Contractor responsible for disposal of all material. Site to be clean before contractor leaves.



CONCRETE WHEEL STOPS TYPICAL ALL PAVED PARKING UNLESS NOTED

NOTE: Existing putting green and cart paths in this area are to remain as they exist.

LEGEND

- UTILITY POLE
- POLE ANCHOR
- ELECTRIC BOX
- SANITARY SEWER MAN HOLE
- WELL
- OVERHEAD POWER LINES
- DOUBLE YELLOW TRAFFIC STRIPES
- ⊕ RADIUS POINT

Subject to HRS permits

Indian River County, Florida
COMMUNITY DEVELOPMENT DEPARTMENT
ADMINISTRATIVE APPROVAL
[Signature]
Permitted Use:
Conditions: Relocate Cart storage building above ground fuel tank, install electrical service, maintenance building addition, restructure pavement on lot, place 12' offset new curb on one side of driveway

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY

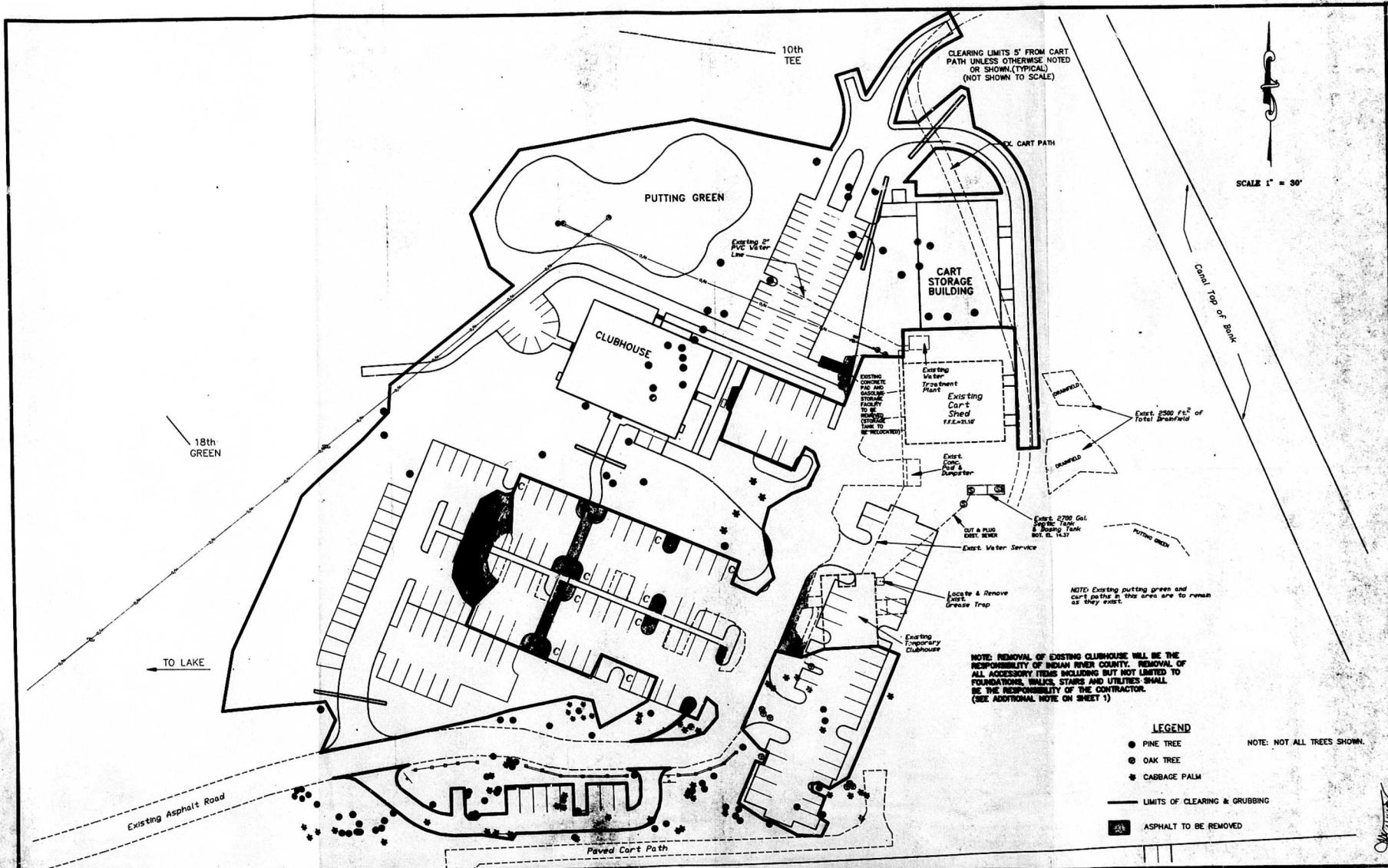


Kinley-Horn and Associates, Inc.
601 21st Street, Suite 400
Vero Beach, Florida 32960
phone (407)562-7881

DATE 7-1-91
SCALE 1"=30'
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SR-DM-R

**SANDRIDGE GOLF CLUB
DIMENSIONAL PLAN
AND GENERAL NOTES**

PROJECT NO. 8645.04
SHEET 1 of 4



SCALE 1" = 30'

NOTE: Existing putting green and cart paths in this area are to remain as they exist.

NOTE: REMOVAL OF EXISTING CLUBHOUSE WILL BE THE RESPONSIBILITY OF INDIAN RIVER COUNTY. REMOVAL OF ALL ACCESSORY ITEMS INCLUDING BUT NOT LIMITED TO FOUNDATIONS, WALKS, STAIRS AND UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. (SEE ADDITIONAL NOTE ON SHEET 1)

LEGEND

- PINE TREE
 - ⊙ OAK TREE
 - ✱ CABBAGE PALM
 - LIMITS OF CLEARING & GRUBBING
 - ASPHALT TO BE REMOVED
- NOTE: NOT ALL TREES SHOWN.

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY



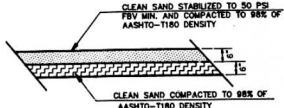
DESIGNED BY JWY
 CHECKED BY JWY
 DATE 7-1-91
 SHEET 279

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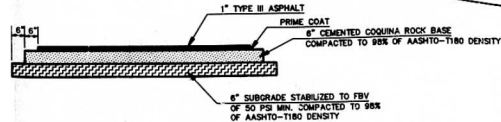
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 SCALE 1"=30'
 SHEET 279
 OF 280

**SANDRIDGE GOLF CLUB
 DEMOLITION AND
 CLEARING**

PROJECT NO.
8645.04
 SHEET
2-4

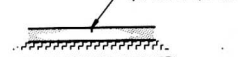


TYPICAL GRASS DRIVE & PARKING SPACE
NTS



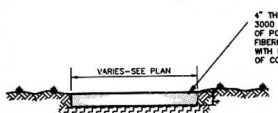
TYPICAL PAVEMENT CROSS SECTION
NTS

JOINT TO BE TOOLED OR SAW CUT. CUT MUST BE MADE WITHIN 18 HOURS OF POUR.



JOINTS SHALL BE SPACED AT THE WIDTH OF THE SLAB, I.E. 10' WIDE SLAB HAS 10' SPACING OF JOINTS, EXCEPT FOR CART STAGING AREA WHERE JOINTS ARE TO BE IN A 14'x14' GRID.

TYPICAL CONCRETE EXPANSION JOINT
NTS



TYPICAL CONCRETE SECTION
NTS

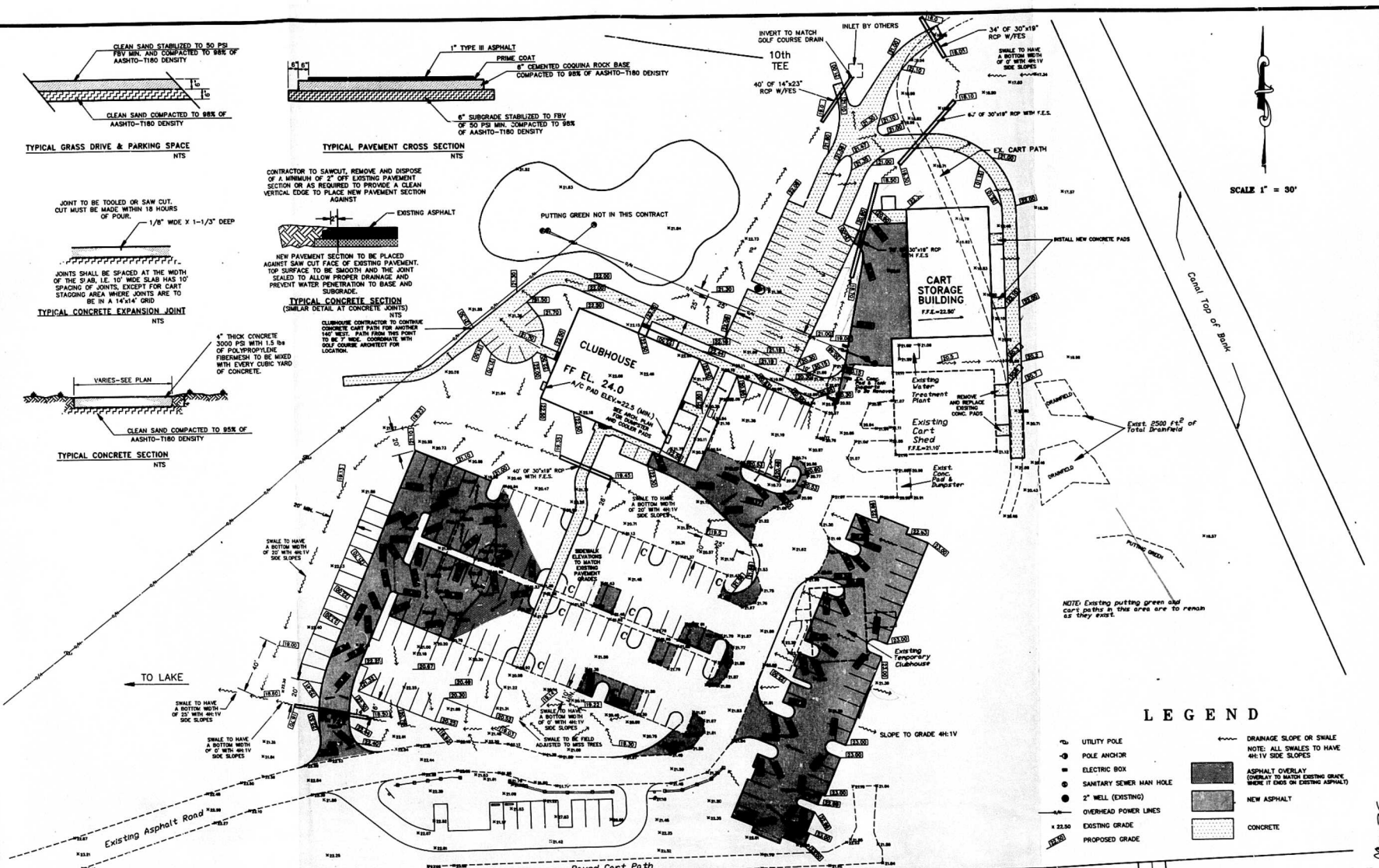
CONTRACTOR TO SAWCUT, REMOVE AND DISPOSE OF A MINIMUM OF 2" OFF EXISTING PAVEMENT SECTION OR AS REQUIRED TO PROVIDE A CLEAN VERTICAL EDGE TO PLACE NEW PAVEMENT SECTION AGAINST.



NEW PAVEMENT SECTION TO BE PLACED AGAINST SAW CUT FACE OF EXISTING PAVEMENT. TOP SURFACE TO BE SMOOTH AND THE JOINT SEALED TO ALLOW PROPER DRAINAGE AND PREVENT WATER PENETRATION TO BASE AND SUBGRADE.

TYPICAL CONCRETE SECTION (SIMILAR DETAIL AT CONCRETE JOINTS)
NTS

CONTRACTOR TO CONTINUE EXISTING CART PATH FOR ANOTHER 140' WEST FROM THIS POINT TO BE MADE COORDINATE WITH GOLF COURSE ARCHITECT FOR LOCATION.



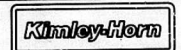
SCALE 1" = 30'

LEGEND

- UTILITY POLE
- POLE ANCHOR
- ELECTRIC BOX
- SANITARY SEWER MAN HOLE
- 2" WELL (EXISTING)
- OVERHEAD POWER LINES
- × 22.50 EXISTING GRADE
- PROPOSED GRADE
- DRAINAGE SLOPE OR SWALE
- NOTE: ALL SWALES TO HAVE 4%:1V SIDE SLOPES
- ASPHALT OVERLAY (OVERLAY TO MATCH EXISTING GRADE, WHERE IT ENDS ON EXISTING ASPHALT)
- NEW ASPHALT
- CONCRETE

NOTE: FOR EXISTING TREES SEE SHEET 2 OF 4

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY



Building client relationships since 1967

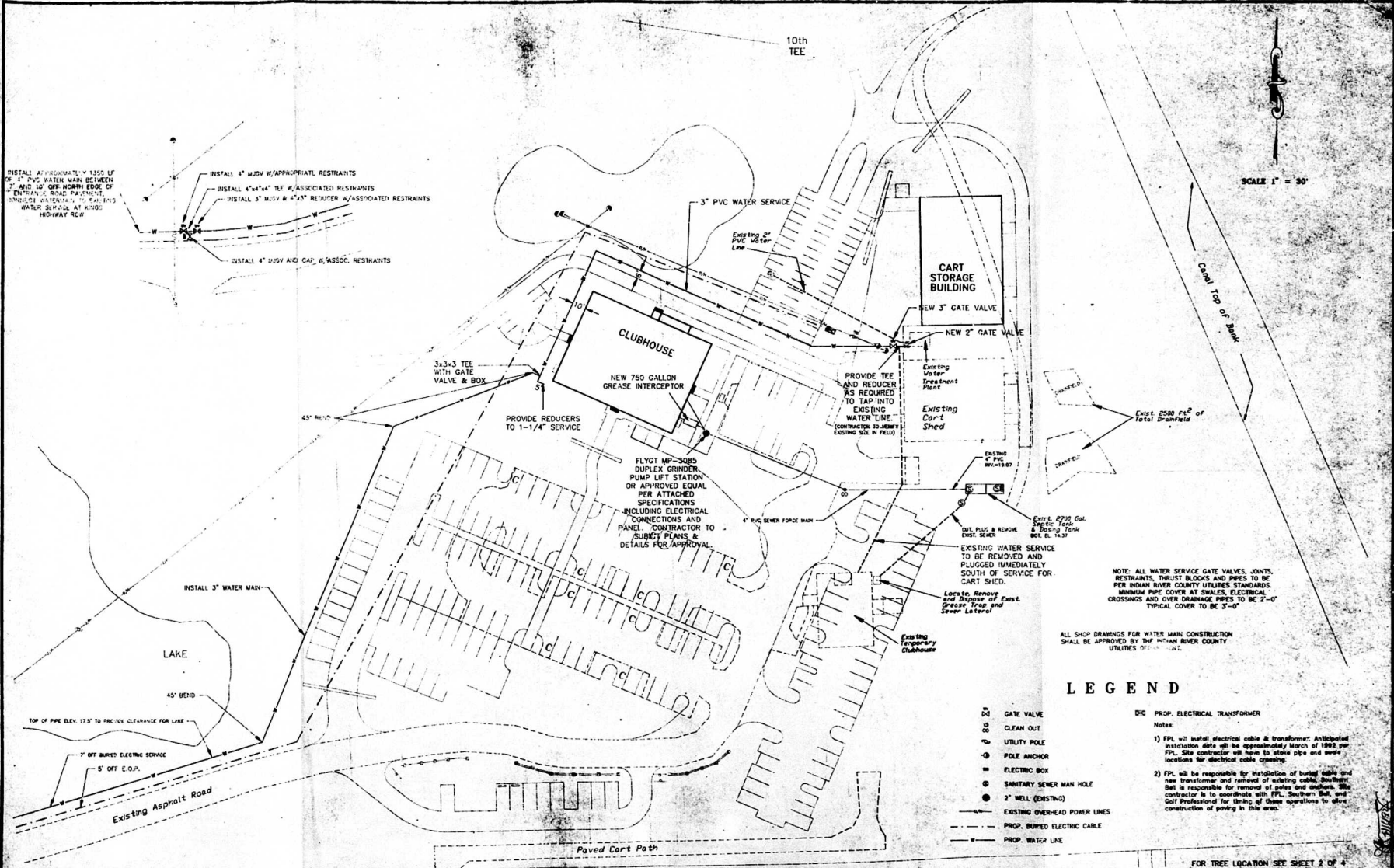
DESIGNED BY JWY
CHECKED BY JWY
FIELD BOOK NO. 279

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phone (407)562-7981

DATE 7-1-91
SCALE 1"=30'
SHEET 1991
31-PAV-R

SANDRIDGE GOLF CLUB
PAVING & DRAINAGE PLAN

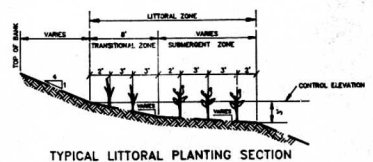
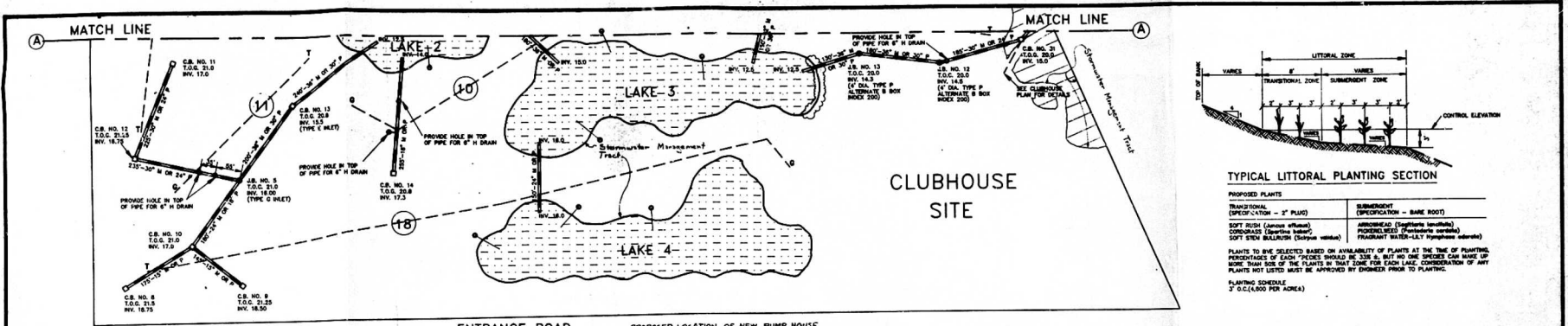
PROJECT NO. 8645.04
SHEET 3 of 4



LEGEND

- | | | | |
|-----|-------------------------------|--------|---|
| GV | GATE VALVE | DC | PROP. ELECTRICAL TRANSFORMER |
| CO | CLEAN OUT | Notes: | |
| UP | UTILITY POLE | 1) | FPL will install electrical cable & transformer. Anticipated installation date will be approximately March of 1993 per FPL. Site contractor will have to stake pipe and manhole locations for electrical cable opening. |
| PA | POLE ANCHOR | 2) | FPL will be responsible for introduction of buried cables and new transformer and removal of existing cables. Southern Bell is responsible for removal of poles and anchors. Site contractor is to coordinate with FPL, Southern Bell, and Golf Professional for timing of these operations to allow construction of paving in this area. |
| EB | ELECTRIC BOX | | |
| SMH | SANITARY SEWER MAN HOLE | | |
| W | 2" WELL (EXISTING) | | |
| — | EXISTING OVERHEAD POWER LINES | | |
| — | PROP. BURED ELECTRIC CABLE | | |
| — | PROP. WATER LINE | | |

		DESIGNED BY JUY DRAWN BY JUY CHECKED BY JUY DATE 7-1-91 SCALE 1"=30' © 1991 SANDRIDGE GOLF CLUB	Kinley-Horn and Associates, Inc. 601 21st Street, Suite 400 Vero Beach, Florida 32960 phone (407)568-7991	FOR TREE LOCATION SEE SHEET 2 OF 4 SANDRIDGE GOLF CLUB UTILITY PLAN 4 of 4
NO. REVISION	DATE BY NO. REVISION	DATE BY	DATE BY	

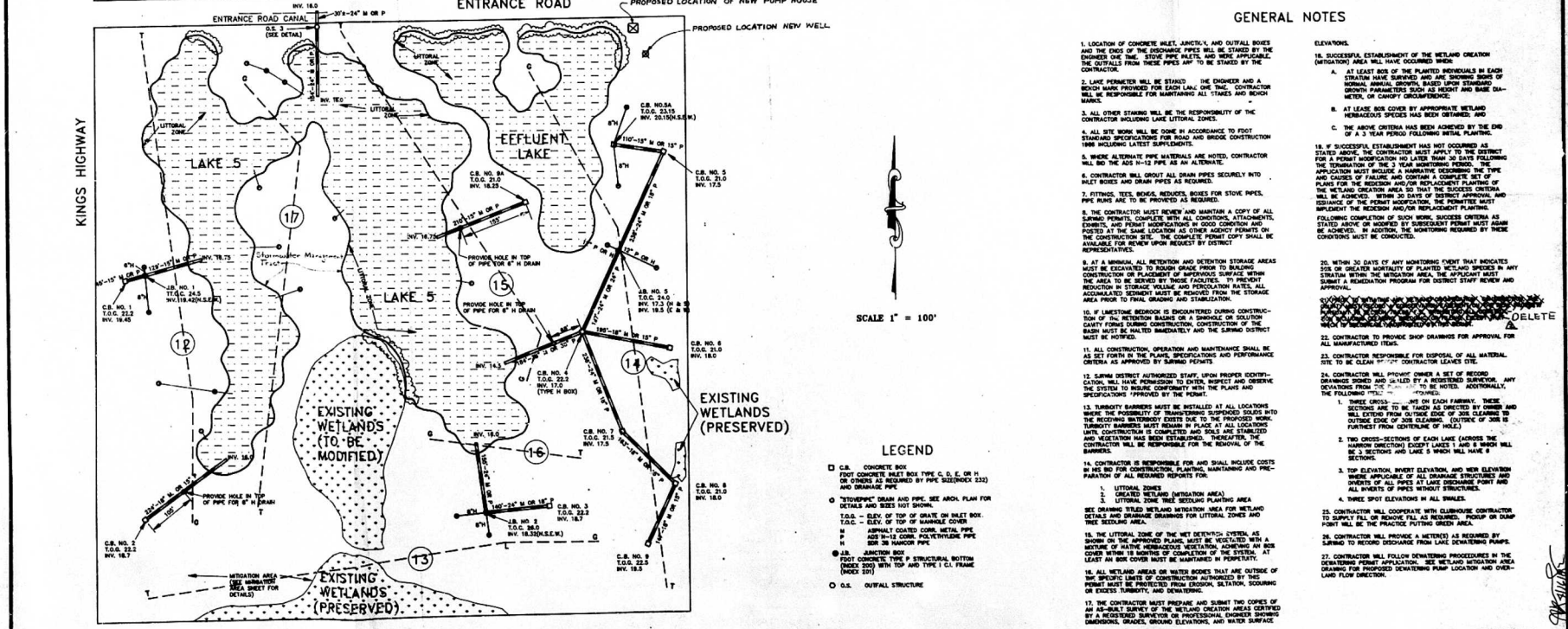


TYPICAL LITTORAL PLANTING SECTION

PROPOSED PLANTS	SUBMERGENT - (BASE ROOT)
TRANSITIONAL (SPECIFICATION - 2' PLUM)	SUBMERGENT (SPECIFICATION - 2' PLUM)
SOFT MUSH (<i>Sparganium angustifolium</i>)	WATER HYacinth (<i>Eichhornia crassipes</i>)
COCKSCOE (<i>Sagittaria arifolia</i>)	FRONTALDO (<i>Hydrocotyle sphenoloba</i>)
SOFT STEM BALLRUSH (<i>Scirpus americanus</i>)	FRONTALDO

PLANTS TO BE SELECTED BASED ON AVAILABILITY OF PLANTS AT THE TIME OF PLANTING. PERCENTAGES OF EACH PLANT SHOULD BE 33% B, BUT NO ONE SPECIES CAN MAKE UP MORE THAN 50% OF THE TOTAL FOR EACH LAKE. CONSIDERATION OF ANY PLANTS NOT LISTED MUST BE APPROVED BY ENGINEER PRIOR TO PLANTING.

PLANTING SCHEDULE
3" C/L (400 PER AREA)



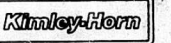
GENERAL NOTES

- LOCATION OF CONCRETE INLET, JUNCTION, AND OUTFALL BOXES AND THE ENDS OF THE OUTFALL PIPES SHALL BE STAKED BY THE ENGINEER. THE STAKE PIPES, AND WERE APPLICABLE, THE UTILITY FROM THESE PIPES ARE TO BE STAKED BY THE CONTRACTOR.
- LAKE PERIMETER WILL BE STAKED. THE ENGINEER AND A REVIEW WERE PROVIDED FOR EACH LAKE. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL STAKES AND BENCH MARKS.
- ALL OTHER STAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING LAKE LITTORAL ZONES.
- ALL SITE WORK WILL BE DONE IN ACCORDANCE TO FIRST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THE MOST RECENT SUPPLEMENTS.
- WHERE ALTERNATE PIPE MATERIALS ARE NOTED, CONTRACTOR WILL DO THE AS-BUILT PIPE AS AN ALTERNATE.
- CONTRACTOR WILL OUTFIT ALL DRAIN PIPES SECURELY INTO INLET BOXES AND DRAIN PIPES AS REQUIRED.
- FITTINGS, TEES, BENDS, REDUCERS, BOXES FOR STOVE PIPES, PIPE POINT ARE TO BE PROVIDED AS REQUIRED.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF ALL SURVEY POINTS, COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EVIDENCE, AND PERMIT MODIFICATIONS IN GOOD CONDITION AND POSTED AT THE SAME LOCATION AS OTHER AGENCY PERMITS ON THE CONSTRUCTION SITE. THE COMPLETE POINT COPY SHALL BE AVAILABLE FOR REVIEW UPON REQUEST BY DISTRICT REPRESENTATIVES.
- AT A MINIMUM, ALL RETENTION AND DETENTION STORAGE AREAS MUST BE EXCAVATED TO FINISH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA TO BE SERVED BY THESE FACILITIES. TO PREVENT INTRUSION IN STORAGE VOLUME AND PERCOLATION WATER, ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADING AND STABILIZATION.
- IF LIMESTONE BEDROCK OR ENDORHEIC DURING CONSTRUCTION OF THE RETENTION BASINS OR A SHINGLE OR SOLID ROCK CARRY FORMS DURING CONSTRUCTION, CONSTRUCTION OF SUCH BASIN MUST BE HALTED IMMEDIATELY AND THE SURVIVAL DISTRICT MUST BE NOTIFIED.
- ALL CONSTRUCTION, OPERATION AND MAINTENANCE SHALL BE AS SET FORTH IN THE PLANS, SPECIFICATIONS AND PERFORMANCE CRITERIA AS APPROVED BY SURVIVAL DISTRICT.
- SURVIVAL DISTRICT AUTHORIZED STAFF, UPON PROPER IDENTIFICATION, WILL HAVE PERMISSION TO ENTER, INSPECT AND OBSERVE THE SYSTEM TO INSURE CONFORMITY WITH THE PLANS AND SPECIFICATIONS PROVIDED BY THE DISTRICT.
- TURNOUT BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRAFFIC STOPPING EXISTS DUE TO TURNOUT BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS THROUGHOUT THE LIFE OF THE SYSTEM. WHEN STABILIZED AND VEGETATION HAS BEEN ESTABLISHED, THEREAFTER, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL INCLUDE COSTS IN THE BID FOR CONSTRUCTION, PLANTING, MAINTENANCE AND PREPARATION OF ALL REQUIRED REPORTS FOR:
 - LITTORAL ZONE
 - CREATED WETLAND (MITIGATION) AREA
 - LITTORAL ZONE (SEE SEEING PLANTING AREA AND THE SEEING AREA)
- THE LITTORAL ZONE OF THE NET DETENTION SYSTEM, AS SHOWN ON THE APPROVED PLANS, MUST BE VEGETATED WITH A MIXTURE OF NATIVE HERMADOUS VEGETATION, ACHIEVING AN 80% PERCENTAGE OF COVER. THE CONTRACTOR SHALL MAINTAIN AT LEAST AN 80% COVER MUST BE MAINTAINED IN PERPETUITY.
- ALL WETLAND AREAS OR WATER BODIES THAT ARE NOTIFIED OF BY AN 80% SURVEY OF THE WETLAND CREATION AREAS COVERED BY A REGISTERED SURVEYOR OR PROFESSIONAL ENGINEER SHOWING ELEVATIONS, GRADE, GROUND ELEVATIONS, AND WATER SURFACE.
- WITHIN 30 DAYS OF ANY MONITORING EVENT THAT INDICATES 20% OR GREATER MORTALITY OF PLANTED WETLAND SPECIES IN ANY STRATA WITHIN THE MITIGATION AREA, THE APPLICANT MUST SUBMIT A REASSESSMENT PROGRAM FOR DISTRICT STAFF REVIEW AND APPROVAL.
 - AT LEAST 80% OF THE PLANTED INDIVIDUALS IN EACH STRATA MUST BE SURVIVING AND AT LEAST 50% OF THE INDIVIDUALS MUST BE FULLY DEVELOPED, BASED UPON STANDARD BOTANICAL SURVEYING METHODS, INCLUDING BUT NOT LIMITED TO, DENSITY, OR CANOPY COVERAGE.
 - AT LEAST 80% COVER BY APPROPRIATE WETLAND HERMADOUS SPECIES HAS BEEN OBTAINED, AND
 - THE ABOVE CRITERIA HAS BEEN ACHIEVED BY THE END OF A 3 YEAR PERIOD FOLLOWING INITIAL PLANTING.
- IF SUCCESSFUL ESTABLISHMENT HAS NOT OCCURRED BY THE 3 YEAR MONITORING PERIOD, THE CONTRACTOR MUST APPLY TO THE DISTRICT STAFF TO REVIEW THE MONITORING PERIOD. THE CONTRACTOR MUST PROVIDE A DETAILED REPORT TO THE DISTRICT STAFF FOLLOWING THE MONITORING OF SUCH WORK. SUCCESS CRITERIA WILL BE ACHIEVED. WITHIN 30 DAYS OF DISTRICT APPROVAL, AND EVIDENCE OF THE PERMIT MODIFICATION, THE PERMITS MUST BE REVOKED. THE REVISION AND RE-PLANTING MUST BE COMPLETED WITHIN 30 DAYS OF DISTRICT APPROVAL. FOLLOWING COMPLETION OF SUCH WORK, SUCCESS CRITERIA AS STATED ABOVE OR MODIFIED BY SUBSEQUENT PERMIT MUST BE ACHIEVED. IN ADDITION, THE MONITORING REQUIRED BY THESE CONDITIONS MUST BE CONDUCTED.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL FOR ALL MANUFACTURED ITEMS.
- CONTRACTOR RESPONSIBLE FOR DISPOSAL OF ALL MATERIAL. SITE TO BE CLEAN BY 72 HOURS CONTRACTOR LEAVE SITE.
- CONTRACTOR WILL PROVIDE A SET OF RECORD DRAWINGS SHOWN AND SEALED BY A REGISTERED SURVEYOR, ANY DEVIATIONS FROM THE PLANS TO BE NOTED. ADDITIONALLY, THE FOLLOWING SHALL BE PROVIDED:
 - THREE CROSS-SECTIONS ON EACH CHANNEL. THESE SECTIONS ARE TO BE TAKEN AS DIRECTED BY OWNER AND WILL EXTEND FROM THE DOWNSTREAM END TO THE UPSTREAM END OF THE CHANNEL. DISTANCE OF 50% IS FURNISHED FROM CENTERLINE OF CHANNEL.
 - TWO CROSS-SECTIONS OF EACH LAKE (ACROSS THE CHANNEL DIRECTION) EXCEPT LAKE 5 WHICH WILL BE 3 SECTIONS AND LAKE 5 WHICH WILL HAVE 8 SECTIONS.
 - THREE SPOT ELEVATIONS IN ALL CHANNELS.
 - THREE SPOT ELEVATIONS IN ALL BODIES.
- CONTRACTOR WILL COOPERATE WITH CLUBHOUSE CONTRACTOR TO SUPPLY FILL OR SHOULDER FILL AS REQUIRED. FILL OR DUMP POINT WILL BE THE PRACTICE FILLING GREEN AREA.
- CONTRACTOR MUST PROVIDE A METHOD AS REQUIRED BY SURVIVAL DISTRICT TO REMOVE EXCESS FILL FROM LAKE DETENTION PANS.
- CONTRACTOR WILL FOLLOW MONITORING PROCEDURES IN THE DETAILING PERMIT. SEE WETLAND MITIGATION AREA DRAWING FOR PROPOSED DETENTION PAN LOCATION AND OVERLAND FLOW DIRECTION.

LEGEND

- C.B. CONCRETE BOX
- FIST CONCRETE INLET BOX TYPE C, D, E, OR H OR OTHERS AS REQUIRED BY PIPE SIZE (SEE 233) AND DRAINAGE PIPE
- "TYPED" DRAIN AND PIPE, SEE ARCH. PLAN FOR DETAILS AND SIZES NOT SHOWN.
- T.O.C. ELEV. OF TOP OF GRADE OR INLET BOX
- ELEV. OF TOP OF MANHOLE COVER
- H ASPHALT COATED CORN METAL PIPE
- P 400 3/4" I.D. POLYETHYLENE PIPE
- H 36" ANCHOR PIPES
- J.S. JUNCTION BOX
- FOOT CONCRETE TYPE P STRUCTURAL BOTTOM (NO. 200) WITH TOP AND TYPE 1, C.I. FRAME (NO. 207)
- O.S. OUTFALL STRUCTURE

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY
2	DELETED NOTE 21			4/SPL	JWY		
1	REV. PIPE SIZES			1/30/02	JWY		



Designed by JWY
 Drawn by JWY
 Checked by JWY
 Field Book No. 270

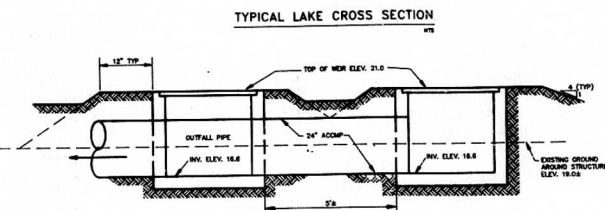
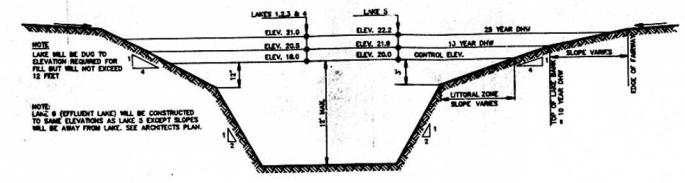
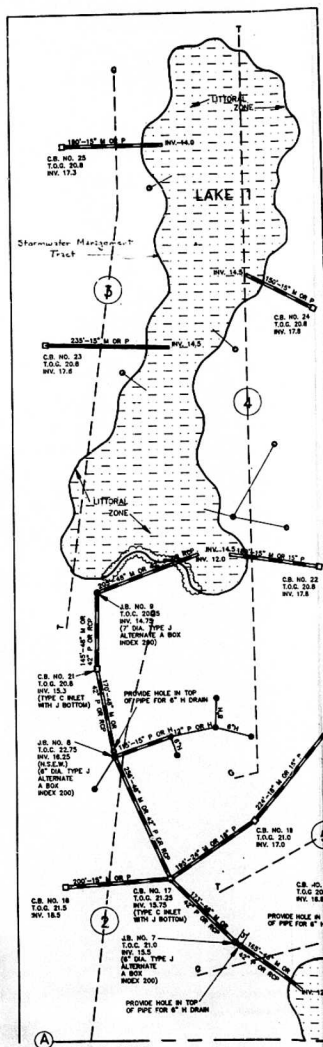
Kinley-Horn and Associates, Inc.
 801 21st Street, Suite 400
 Vero Beach, Florida 32960
 phone (407)582-7991

DATE	1/3/92
SCALE	1"=100'
©	1992
DATE	1/1/92

SANDRIDGE GOLF CLUB - 2ND 18 MAJOR DRAINAGE STRUCTURES

PROJECT NO. 8845.04
 SHEET 1 of 2

288 4 2 287

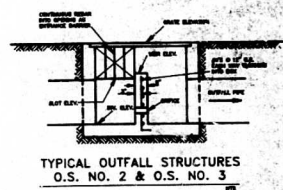


OUTFALL NO.	FOOT C&S	INVERT ELEV.	INVERT ELEV.	MAN. LENGTH	OUTFALL PIPE SIZE	OUTFALL PIPE LENGTH	OUTFALL PIPE MATERIAL	GRATE ELEV.	GRATE ELEV.	NOTES
1	2	18.0	21.0	26.0	24"	160'	ACOPM	18.0	21.0	1" x 12" (1)
2	1	18.0	20.0	25.0	24"	75'	ACOPM	18.0	20.0	1" x 12" (1)
3	1	17.5	20.5	25.5	24"	20'	ACOPM	18.0	20.5	(1)

- ① PROVIDE SLOT # ELEV. 18.0 ON EACH SIDE BOX. LENGTH EACH SLOT = 1'-10". PROVIDE STEEL GRATE CUT TO FIT.
- ② PROVIDE SLOT # ELEV. 21.0 ON EACH SIDE BOX. LENGTH EACH SLOT = 1'-5"

Label	Area (sq)
1	4.21
2	2.23
3	1.64
4	2.28
5	7.21
6-9	2.18

* At proposed construction elevations.



OUTFALL NO.	INVERT ELEV.	MAN. LENGTH
2	18.0	4.00
3	20.0	2.00

SCALE 1" = 100'

LEGEND

- C.B. CONCRETE BOX FOOT CONCRETE INLET BOX TYPE C, D, E, OR H ON OTHERS AS REQUIRED BY PIPE SIZE (INDEX 200) AND DRAINAGE PIPE
- 120°/90°/45° DRAIN AND PIPE. SEE AERIAL PLAN FOR DETAILS AND SIZES NOT SHOWN. T.O.C. - ELEV. OF TOP OF GRATE ON INLET BOX. T.O.C. - ELEV. OF TOP OF DRAINAGE COVER
- ASPHALT COATED CORR. METAL PIPE 4" OR 6" DIA. POLYETHYLENE PIPE 8" OR 12" DIA. HANCOCK PIPE
- J.B. JUNCTION BOX FOOT CONCRETE TYPE P STRUCTURAL BOTTOM (INDEX 200) WITH TOP AND TYPE I C.I. FRAME (INDEX 201)
- O.S. OUTFALL STRUCTURE
- ☁ LITTORAL ZONE TREE SETBACKS PLANTING AREA BEHINDS TO BE CHECKED. TABLE OR OTHER WEEDS SPECIES, A MINIMUM OF 10' TALL AND SPACED @ 5' x 5' C.I. TOTAL OF 400 BEHINDS ARE REQUIRED.

ADDENDUM 1

NO.	REVISION	DATE	BY	NO.	REVISION	DATE	BY
1	PIPE SIZES			1/26/92	LH		



Building client relationships since 1967

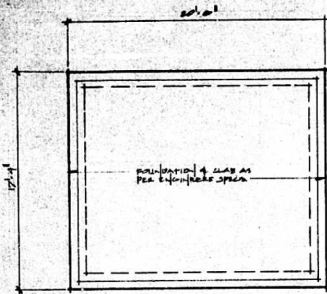
DESIGNED BY JNY
 CHECKED BY JNY
 FIELD BOOK NO. 279

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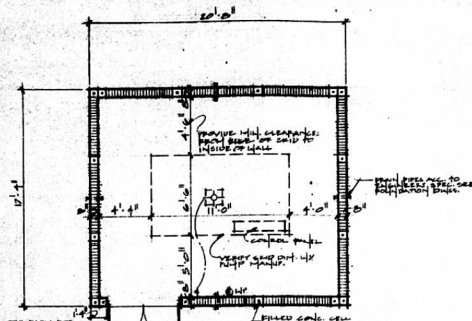
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 © 1992
 DWG. NO. 2A

SANDRIDGE GOLF CLUB - 2ND 18
MAJOR DRAINAGE STRUCTURES

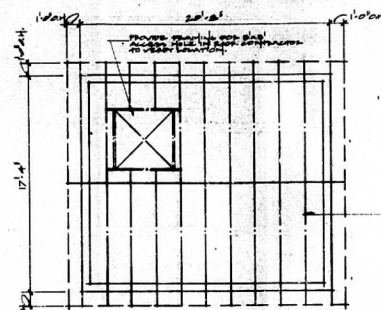
PROJECT NO. 0642.04
 SHEET 2 of 2



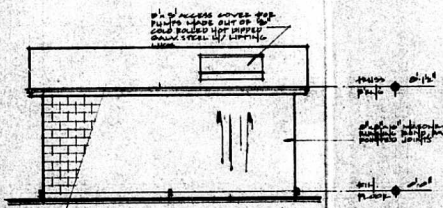
1 FOUNDATION PLAN
1/4" = 1'-0"



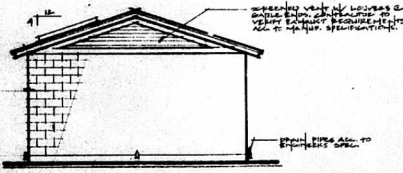
2 FLOOR PLAN/ELECTRICAL
1/4" = 1'-0"



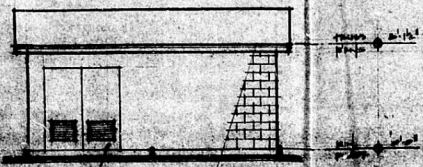
3 ROOF FRAMING PLAN
1/4" = 1'-0"



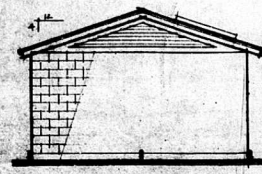
4 REAR ELEVATION
1/4" = 1'-0"



5 LEFT ELEVATION
1/4" = 1'-0"



6 FRONT ELEVATION
1/4" = 1'-0"



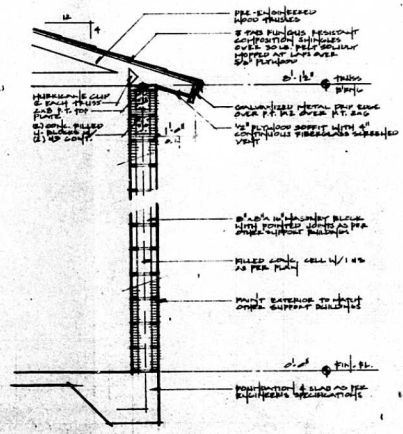
7 RIGHT ELEVATION
1/4" = 1'-0"

17
20
34 04 ft
345 4 ft

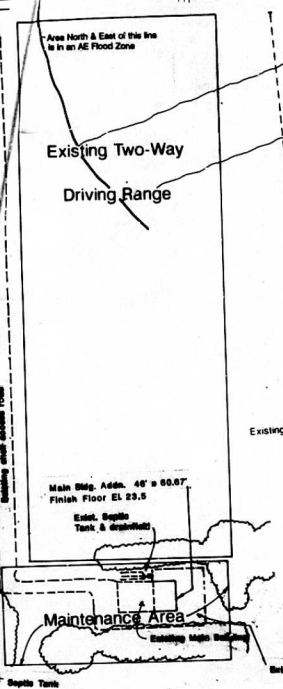
20.07
17.53

This job under prep since part of this project is AA-71-07-10 PM 5/1/22

PAINT SCHEDULE
 CEILING: INTERIOR
 WALLS: INTERIOR
 EXTERIOR: INTERIOR
 FLOOR: INTERIOR
 TRIM: INTERIOR



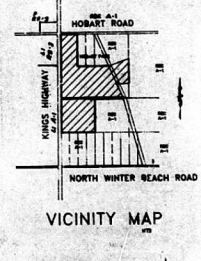
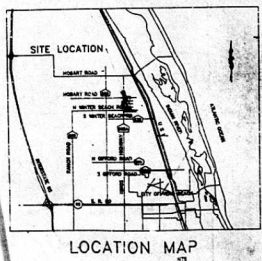
8 WALL SECTION
1/4" = 1'-0"



Area	Acres	Planting Density	Total Planting
1	1.250	200	250
2	1.000	200	200
3	1.500	200	300
4	1.000	200	200
5	1.500	200	300
6	1.250	200	250
7	1.500	200	300
8	1.500	200	300
9	1.500	200	300
10	1.500	200	300
11	1.500	200	300
12	1.500	200	300
13	1.500	200	300
14	1.500	200	300
15	1.500	200	300
16	1.500	200	300
17	1.500	200	300
TOTAL	15.000	200	3000

REC A-1

Total Area: 15.000 Ac.
 Deduct: Tree Openings, Lakes, Wetlands, Topography, Curbs, Buildings: 3.500 Ac.
 Remaining Green Area: 11.500 Ac.
 Trees Required: 2300
 Trees Provided: 2300
 Assumed 1 tree every 17' on undisturbed natural habitat.
 Assumed 1 tree every 12' on disturbed natural habitat.
 2300 trees @ 12' x 12' Ac. Upland Habitat = 2,300 Trees Provided



- PERMITS REQUIRED**
1. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 2. SJRWMD: Surface Water Management District Permit for construction of a new driving range.
 3. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 4. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 5. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 6. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
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 15. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 16. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 17. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 18. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 19. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.
 20. State of California: California Statewide General Construction Permit (CSGCP) for construction of a new driving range.

SHOFPARD

Row	White	Black	Red	Grey
1	657	536	454	4
2	113	132	105	3
3	161	141	276	4
4	138	141	123	3
5	162	132	193	4
6	119	102	342	4
7	162	132	141	3
8	161	173	124	4
9	1250	131	264	36
10	504	897	416	5
11	330	332	193	3
12	357	348	317	4
13	335	324	270	4
14	306	362	300	4
15	302	300	258	4
16	112	106	192	3
17	328	317	258	4
18	473	494	413	5
19	2967	1070	2452	36
TOTAL:	4217	4091	6094	72

- Sand Bunkers
- Grass Depressions
- Mounds
- Rolls
- Pinehurst Area
- Rough Areas
- Vertical Wood Bulkhead
- Rough Sawn Angled Wood Wall
- Cart & Equipment Bridge
- Trees/Vegetation
- Terraces
- Comfort Station/Rain Shelter
- Jurisdictional Wetlands
- On site mitigation area.
- Littoral Zone Tree Seedling Planting Area
(Seedlings to be Cypress, Maple or other wetland species a minimum of 10' tall @ 12" x 12" C.C.)

Seedlings Required: 200,000 of Littoral Zone = 400 seedlings
 Area Needed: 400' x 50' = 18,000 sq ft
 Length: 1950' Width: 18,000 sq ft = 13.3 x
 1200'

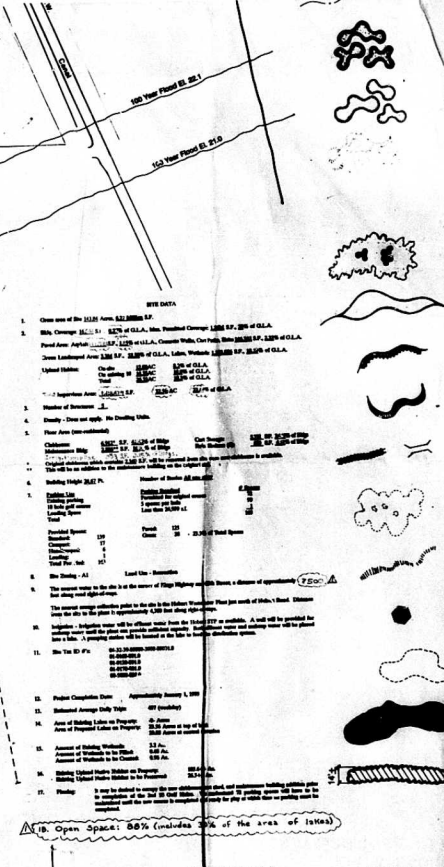
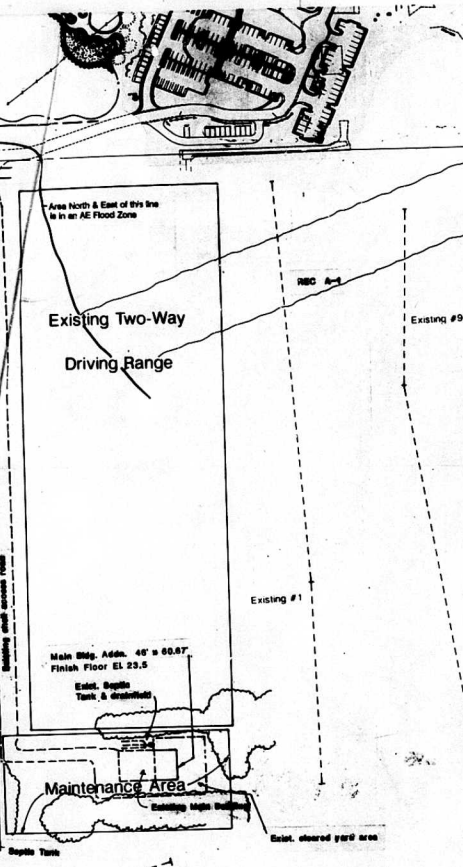
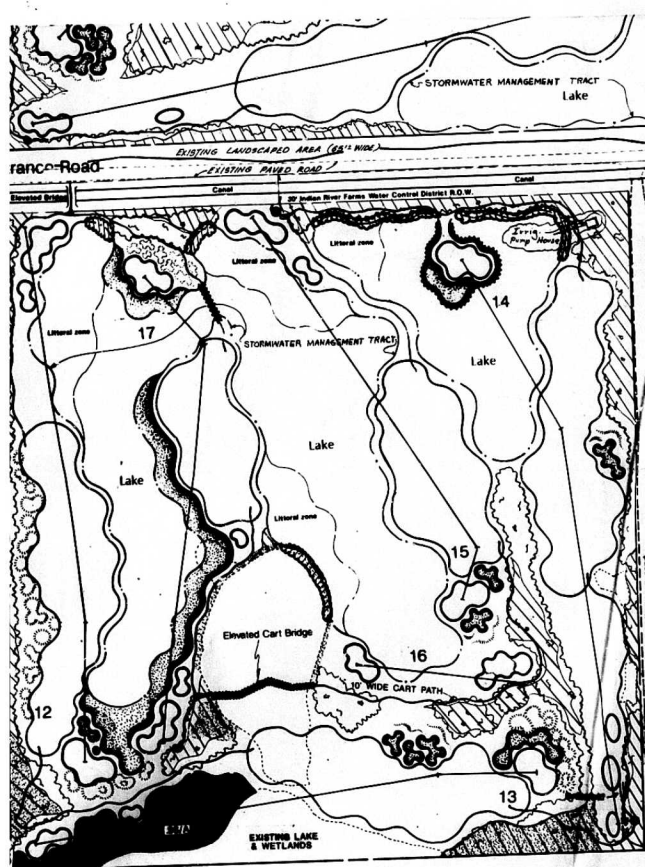
Upland Edge Buffer

Drawn by: NAS
 Checked by: [Signature]

PERMITS REQUIRED

- 1) SJRWMD Construction Permit (to a state before Board approval is construction permit)
- 2) SJRWMD Surface Water Management District Permit
- 3) Corps of Engineers Dredge & Fill Permit
- 4) Indian River County
 - A) Land Clearing Permit
 - B) Tree Removal Permit
 - C) Wetlands Permit

Rev. 1 JUN 8/8/91
 Rev. 2 JUN 4/5/92



Legend:

- Sand Burkers
- Grass Depressions
- Mounds
- Rolls
- Pinehurst Area
- Rough Areas
- Vertical Wood Bulkhead
- Rough Sawn Angled Wood Wall
- Cart & Equipment Bridge
- Trees/Vegetation
- Terraces
- Comfort Station/Rain Shelter
- Jurisdictional Wetlands
- On site mitigation area.
- Littoral Zone Tree Seedling Planting Area

Seedings Required: 52,000 of Littoral Zone = 450 seedings
 500 of
 Area Needed: 497' x 36' = 18,090 sq ft
 Length: 1250' Width: 14,500' = 13.3 ft

Legend:

- 1) SJRWMD Clearing Permit (To allow clearing to start before DOD approval is received on Construction permit.)
- 2) SJRWMD Surface Water Management Permit
- 3) Corps of Engineers Dredge & Fill Permit for Nantuxia
- 4) Indian River County
- 5) Land Clearing Permit
- 6) Tree Removal Permit
- 7) Nantuxia Permit

Table 1: Tree Inventory

Tree ID #	Species	DBH (in)	Height (ft)	Health
1	Live Oak	12.0	25.0	Good
2	Live Oak	10.0	20.0	Good
3	Live Oak	8.0	15.0	Good
4	Live Oak	6.0	12.0	Good
5	Live Oak	4.0	10.0	Good
6	Live Oak	3.0	8.0	Good
7	Live Oak	2.0	6.0	Good
8	Live Oak	1.5	4.0	Good
9	Live Oak	1.0	3.0	Good
10	Live Oak	0.8	2.5	Good
11	Live Oak	0.6	2.0	Good
12	Live Oak	0.5	1.8	Good
13	Live Oak	0.4	1.6	Good
14	Live Oak	0.3	1.4	Good
15	Live Oak	0.2	1.2	Good
16	Live Oak	0.1	1.0	Good
17	Live Oak	0.1	0.9	Good
18	Live Oak	0.1	0.8	Good
19	Live Oak	0.1	0.7	Good
20	Live Oak	0.1	0.6	Good
21	Live Oak	0.1	0.5	Good
22	Live Oak	0.1	0.4	Good
23	Live Oak	0.1	0.3	Good
24	Live Oak	0.1	0.2	Good
25	Live Oak	0.1	0.1	Good
26	Live Oak	0.1	0.1	Good
27	Live Oak	0.1	0.1	Good
28	Live Oak	0.1	0.1	Good
29	Live Oak	0.1	0.1	Good
30	Live Oak	0.1	0.1	Good
31	Live Oak	0.1	0.1	Good
32	Live Oak	0.1	0.1	Good
33	Live Oak	0.1	0.1	Good
34	Live Oak	0.1	0.1	Good
35	Live Oak	0.1	0.1	Good
36	Live Oak	0.1	0.1	Good
37	Live Oak	0.1	0.1	Good
38	Live Oak	0.1	0.1	Good
39	Live Oak	0.1	0.1	Good
40	Live Oak	0.1	0.1	Good
41	Live Oak	0.1	0.1	Good
42	Live Oak	0.1	0.1	Good
43	Live Oak	0.1	0.1	Good
44	Live Oak	0.1	0.1	Good
45	Live Oak	0.1	0.1	Good
46	Live Oak	0.1	0.1	Good
47	Live Oak	0.1	0.1	Good
48	Live Oak	0.1	0.1	Good
49	Live Oak	0.1	0.1	Good
50	Live Oak	0.1	0.1	Good

Table 2: Littoral Zone

Lot	Littoral Zone	Total
1	1,575	1,575
2	1,450	1,450
3	1,325	1,325
4	1,200	1,200
5	1,075	1,075
6	950	950
7	825	825
8	700	700
9	575	575
10	450	450
11	325	325
12	200	200
13	75	75
Total	15,500	15,500

Site Area Calculations

Total Area: 143.84 Ac.
 Deduct This, Open Ponds, Lakes, Wetlands, Ponds, Submerged Canals, Bulkheads
 Remaining Gross Area: 112.30 Ac.
 Trees Required: 52,000 (12.5 Ac. Upland Habitat) = 1,118 Trees Required
 Trees Provided: 1,118 (12.5 Ac. Upland Habitat) = 1,118 Trees Provided
 This does not allow for: tree mortality or trees remaining in partially disturbed areas.

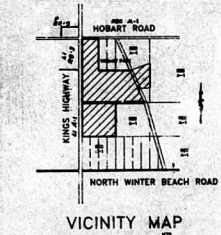
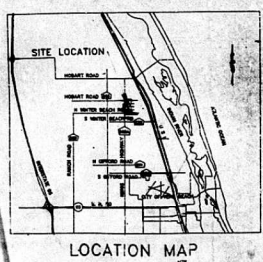


Table 3: Tree Inventory

Tree ID #	Species	DBH (in)	Height (ft)	Health
1	Live Oak	12.0	25.0	Good
2	Live Oak	10.0	20.0	Good
3	Live Oak	8.0	15.0	Good
4	Live Oak	6.0	12.0	Good
5	Live Oak	4.0	10.0	Good
6	Live Oak	3.0	8.0	Good
7	Live Oak	2.0	6.0	Good
8	Live Oak	1.5	4.0	Good
9	Live Oak	1.0	3.0	Good
10	Live Oak	0.8	2.5	Good
11	Live Oak	0.6	2.0	Good
12	Live Oak	0.5	1.8	Good
13	Live Oak	0.4	1.6	Good
14	Live Oak	0.3	1.4	Good
15	Live Oak	0.2	1.2	Good
16	Live Oak	0.1	1.0	Good
17	Live Oak	0.1	0.9	Good
18	Live Oak	0.1	0.8	Good
19	Live Oak	0.1	0.7	Good
20	Live Oak	0.1	0.6	Good
21	Live Oak	0.1	0.5	Good
22	Live Oak	0.1	0.4	Good
23	Live Oak	0.1	0.3	Good
24	Live Oak	0.1	0.2	Good
25	Live Oak	0.1	0.1	Good
26	Live Oak	0.1	0.1	Good
27	Live Oak	0.1	0.1	Good
28	Live Oak	0.1	0.1	Good
29	Live Oak	0.1	0.1	Good
30	Live Oak	0.1	0.1	Good
31	Live Oak	0.1	0.1	Good
32	Live Oak	0.1	0.1	Good
33	Live Oak	0.1	0.1	Good
34	Live Oak	0.1	0.1	Good
35	Live Oak	0.1	0.1	Good
36	Live Oak	0.1	0.1	Good
37	Live Oak	0.1	0.1	Good
38	Live Oak	0.1	0.1	Good
39	Live Oak	0.1	0.1	Good
40	Live Oak	0.1	0.1	Good
41	Live Oak	0.1	0.1	Good
42	Live Oak	0.1	0.1	Good
43	Live Oak	0.1	0.1	Good
44	Live Oak	0.1	0.1	Good
45	Live Oak	0.1	0.1	Good
46	Live Oak	0.1	0.1	Good
47	Live Oak	0.1	0.1	Good
48	Live Oak	0.1	0.1	Good
49	Live Oak	0.1	0.1	Good
50	Live Oak	0.1	0.1	Good

PERMITS REQUIRED

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