



ADDENDUM NO. 1

Issue Date: July 15, 2024

Project Name: Fran Adams (North County Park) Restroom/Concession Remodel

Bid Number: 2024054

Bid Opening Date: July 26, 2024

This addendum is being released to modify the bid documents. The information and documents contained in this addendum are hereby incorporated in the invitation to bid. **This addendum must be acknowledged where indicated on the bid form, or the bid may be declared non-responsive.**

Changes to Bid Documents

The two existing restrooms are to be remodeled, including replacing the plumbing fixtures, light fixtures, toilet accessories/grab bars/mirror, along with repainting walls/ceiling and providing a new poured epoxy flooring with a 4" high epoxy base, as shown on **revised sheets A-1 and MEP-1**.

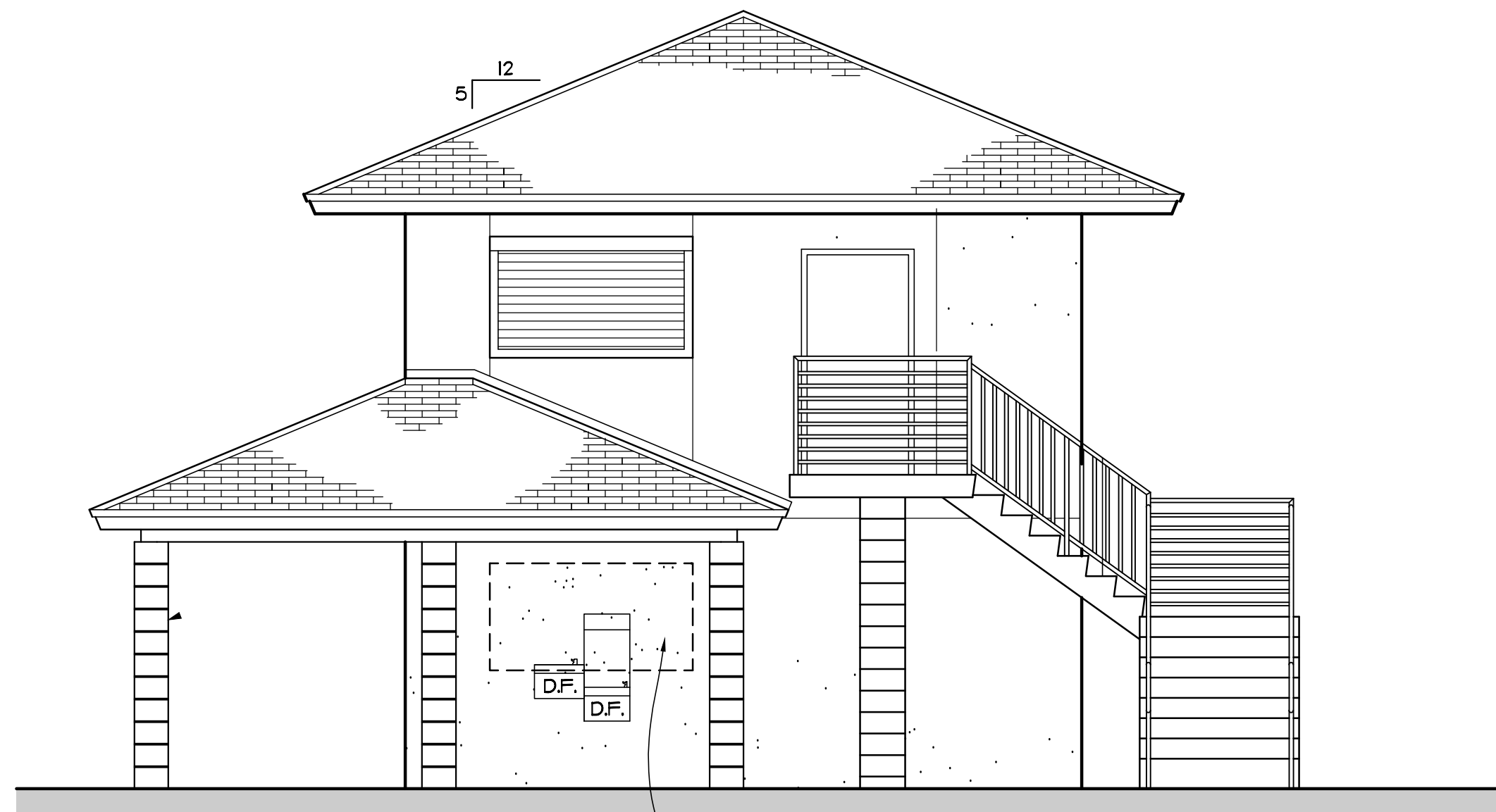
The existing ice machine drainpipe is to be abandoned and the hole patched. Relocate ice machine (to be provided by Owner) to opposite wall, as reflected on **revised sheets A-1 and MEP-1**.

New specification Sections 08700-Finish Hardware, and 09900-Painting have been **added**.

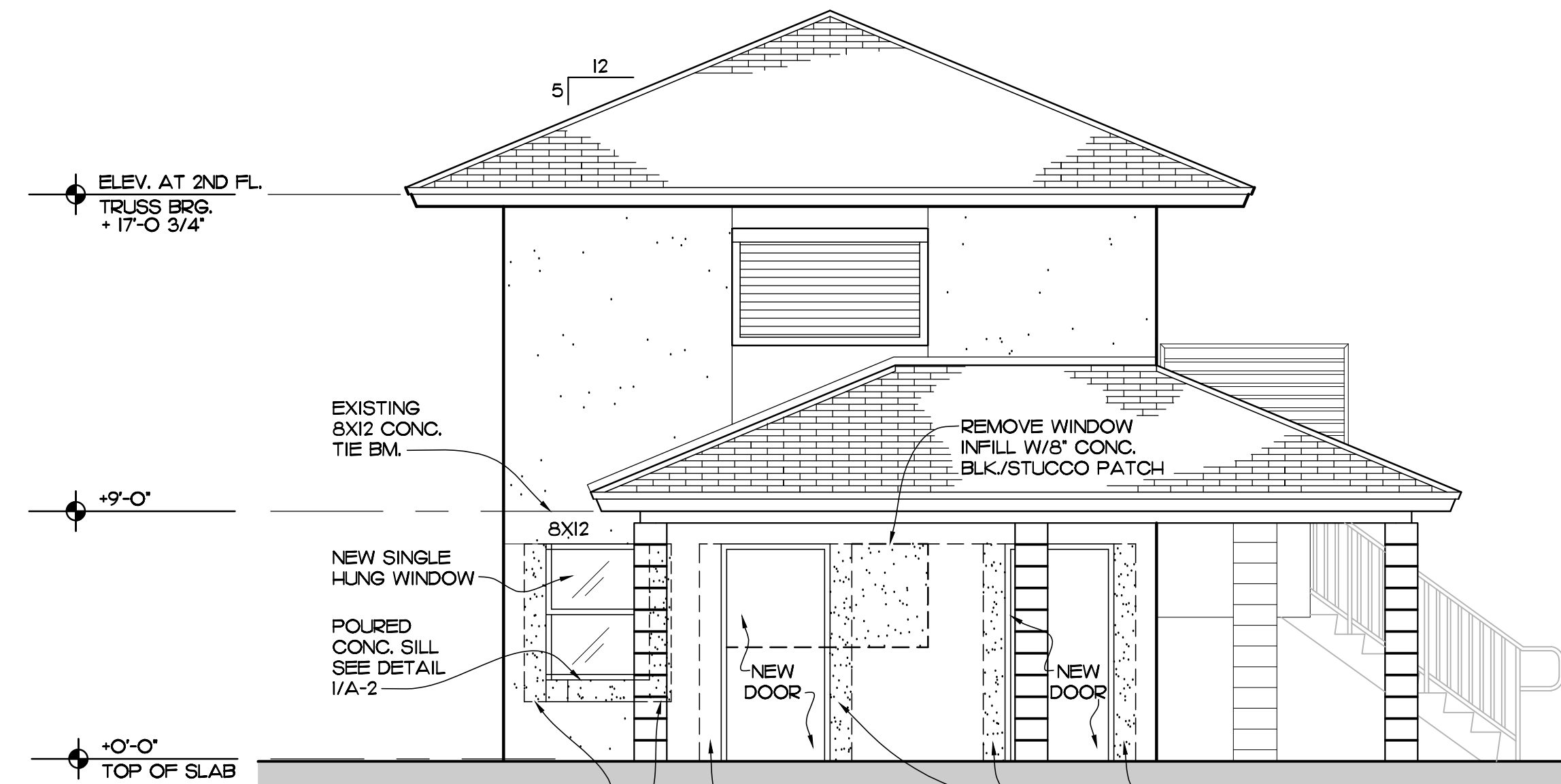
Attachments

Revised Plan Sheets A-1 and MEP-1

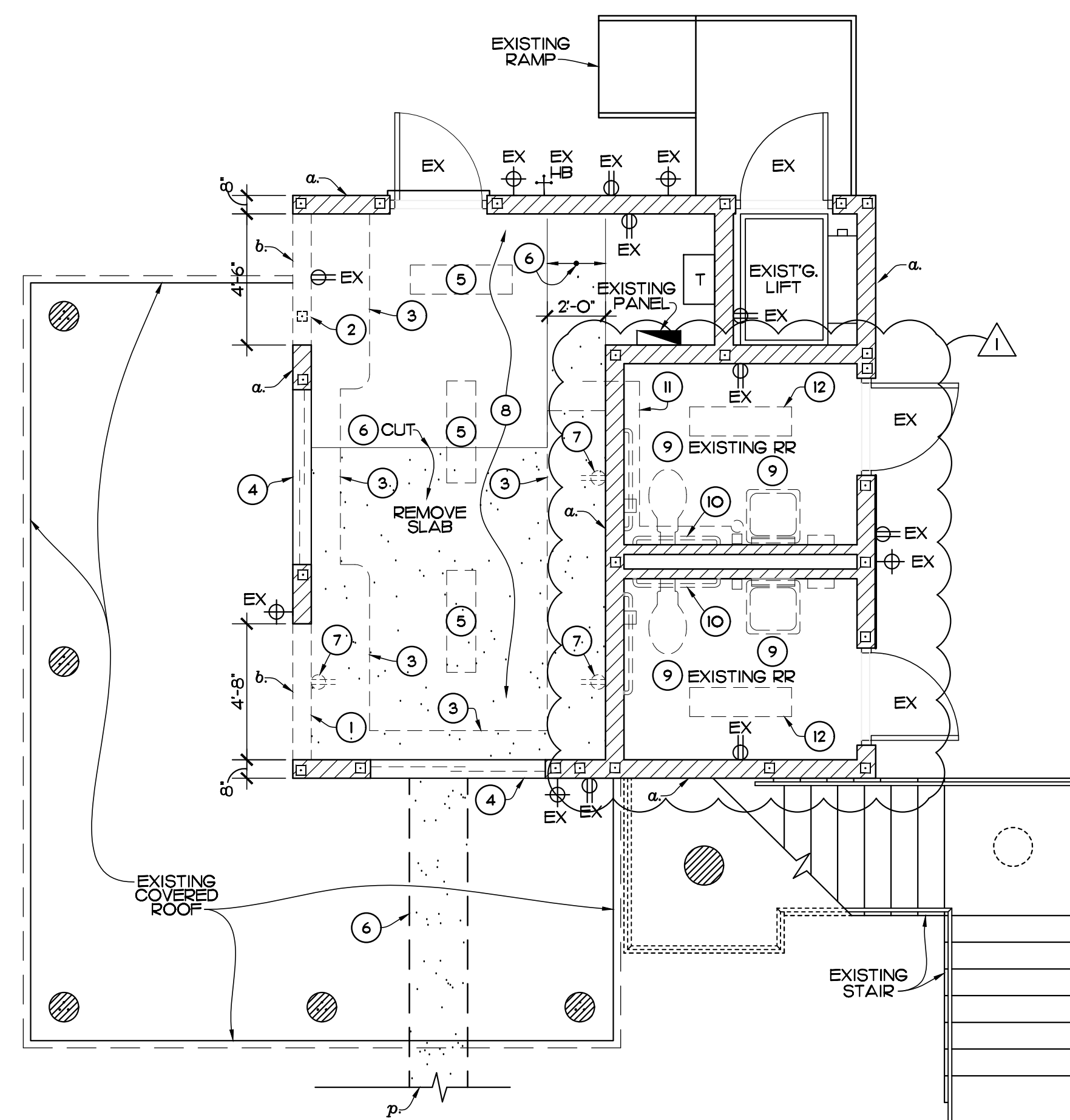
Technical Specifications Sections 08700 and 09900



NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



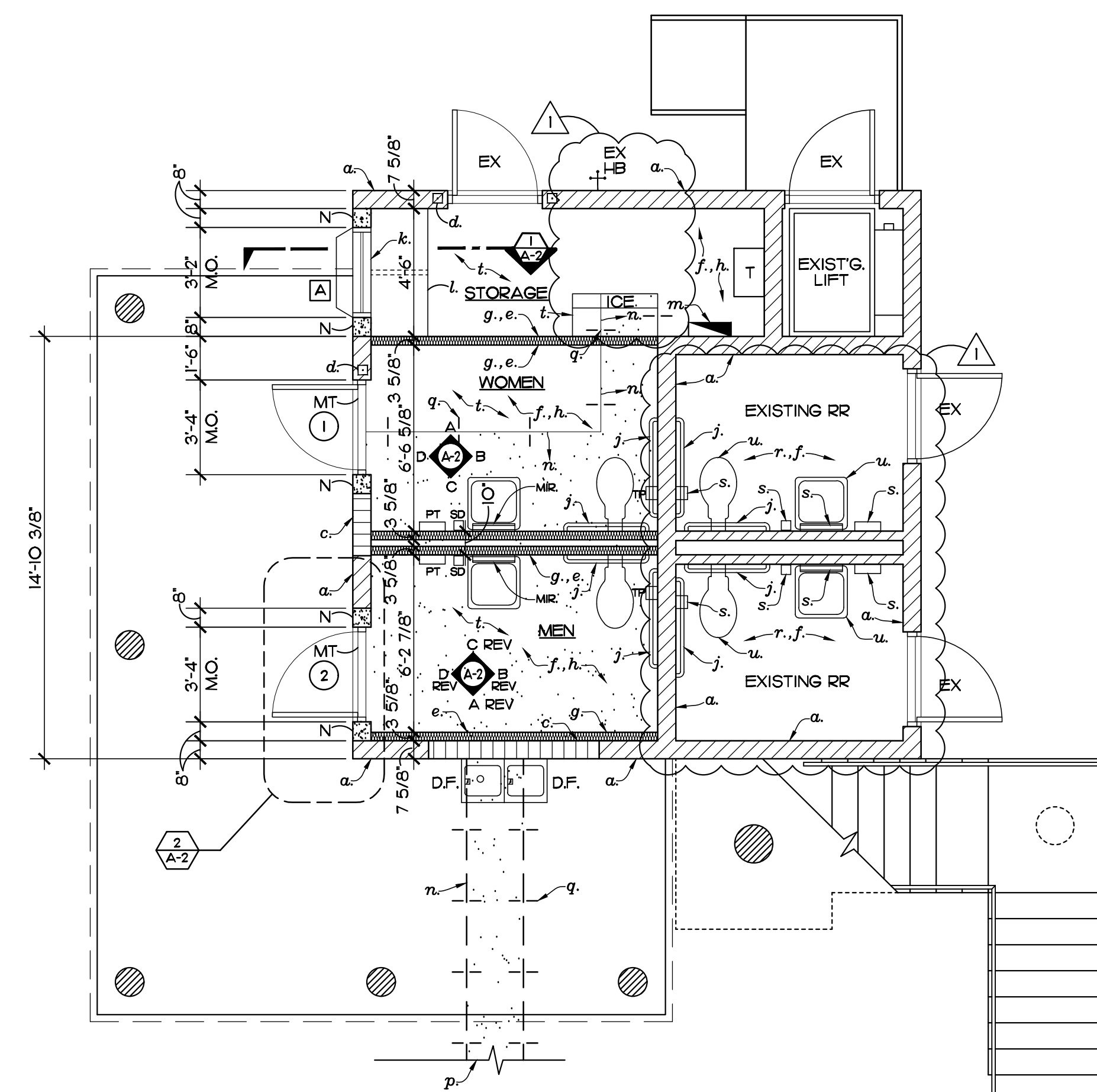
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- 1 CUT WALL TO UNDER SIDE OF CONC. TIE BEAM ABOVE FOR NEW DOOR OPENING.
- 2 CUT WALL TO UNDER SIDE OF CONC. TIE BEAM FOR NEW WINDOW (SEE DETAIL 1/A-2).
- 3 REMOVE COUNTERTOPS
- 4 REMOVE WINDOW
- 5 REMOVE LIGHT FIXTURES
- 6 CUT AND REMOVE SLAB
- 7 REMOVE ELECTRICAL OUTLETS WHERE SHOWN.
- 8 REMOVE DRYWALL CEILING

- 9 REMOVE PLUMBING FIXTURES TO BE REPLACED NEW.
- 10 REMOVE GRAB BARS, TOILET ACCESSORIES TO BE REPLACED NEW.
- 11 REMOVE EXISTING ICE MACHINE DRAIN LINE THROUGH WALL TO FLOOR DRAIN, PATCH HOLE.
- 12 REMOVE EXISTING LIGHT FIXTURES TO BE REPLACED NEW.

- LEGEND:**
- a. [Pattern] EXISTING BLOCK WALLS
 - b. [Pattern] WALLS TO BE REMOVED
 - c. [Pattern] NEW 8" CONC. BLK WALL INFILL W/STUCCO EXTERIOR FINISH
 - d. [Pattern] EXISTING CONC. FILLED CELL W/1#5 V.
 - e. [Pattern] NEW 3 5/8" 20 GA STEEL STUDS AT 16" O.C. W/ 1/2" DUROCK/MR. GYP BD. ABOVE CER. TILE WAINSCOT
 - f. [Pattern] NEW 8"x8" FORMED/POURED CONC. JAMB W/1#5 V. (SEE DETAIL 2/A-2)
 - EX EXISTING DOOR TO REMAIN
 - 1 DOOR SYMBOL, 3'-0" X 6'-8" 16 GA FIBERGLASS DOOR W/FIBERGLASS FRAME
 - M.T. METAL THRESHOLD
 - S.D. SOAP DISPENSER
 - T.P. TOILET PAPER DISPENSER
 - [Symbol] 3'-0"W X 4'-0"H SINGLE HUNG ALUMINUM WINDOW W/IMPACT GLAZING
 - [Symbol] EXISTING OUTLET TO REMAIN
 - [Symbol] EXISTING LIGHT FIXTURE TO REMAIN
 - D.F. HIGH/LOW DRINKING FOUNTAIN



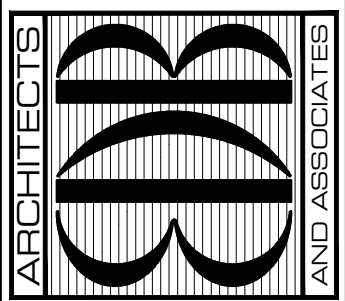
FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- f. NEW POURED EPOXY FLOOR AND TURNED UP 4" BASE.
- g. PROVIDE CERAMIC TILE 6'-0" HIGH WAINSCOT OVER DUROCK OVER 3 5/8" 20 GA STEEL STUDS AT 16" O.C.
- h. PAINT ALL WALLS AND NEW DRYWALL CEILING.
- j. NEW GRAB BARS, INSTALL PER ACC SHEET.
- k. NEW POURED CONC. SILL SEE DETAIL 1/A-2.
- l. NEW GRANITE COUNTER, SEE DETAIL 1/A-2.
- m. EXISTING ELECTRICAL PANEL.
- n. NEW 4" THICK CONC. SLAB W/6X6 10/10 W/M OVER 10 MIL VISQUEEN OVER COMPACTED TERMITES TREATED FILL.
- p. SEE CIVIL DRAWINGS FOR CONTINUATION TO SEWER CONNECTION.
- q. PROVIDE 12" LG #5 DOWEL DRILLED AND EPOXYED 6" DEEP INTO EXISTING SLAB 30" O.C. TYP. AT NEW SLAB TO OLD SLAB.

- r. REPAINT ALL WALLS AND CEILING OF EXISTING RESTROOMS
- s. REPLACE ALL TOILET ACCESSORIES WITH NEW TOILET ACCESSORIES (PAPER TOWEL DISPENSER, TOILET PAPER DISPENSER, MIRROR, SOAP DISPENSER).
- t. EXISTING RESTROOMS, NEW ICE MACHINE TO BE PROVIDED BY OWNER.
- u. REPLACE PLUMBING FIXTURES WITH NEW FIXTURES, SEE PLUMBING PLAN SHEET MEP-1.

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SEAL:

PROJECT: NORTH COUNTY PARK
RESTROOM REMODEL
INDIAN RIVER COUNTY
1801 27TH ST.
VERO BEACH, FL 32960

NO.	DATE	REVISIONS
1	12 JULY 24	ADDENDUM #1 OWNER REVISIONS

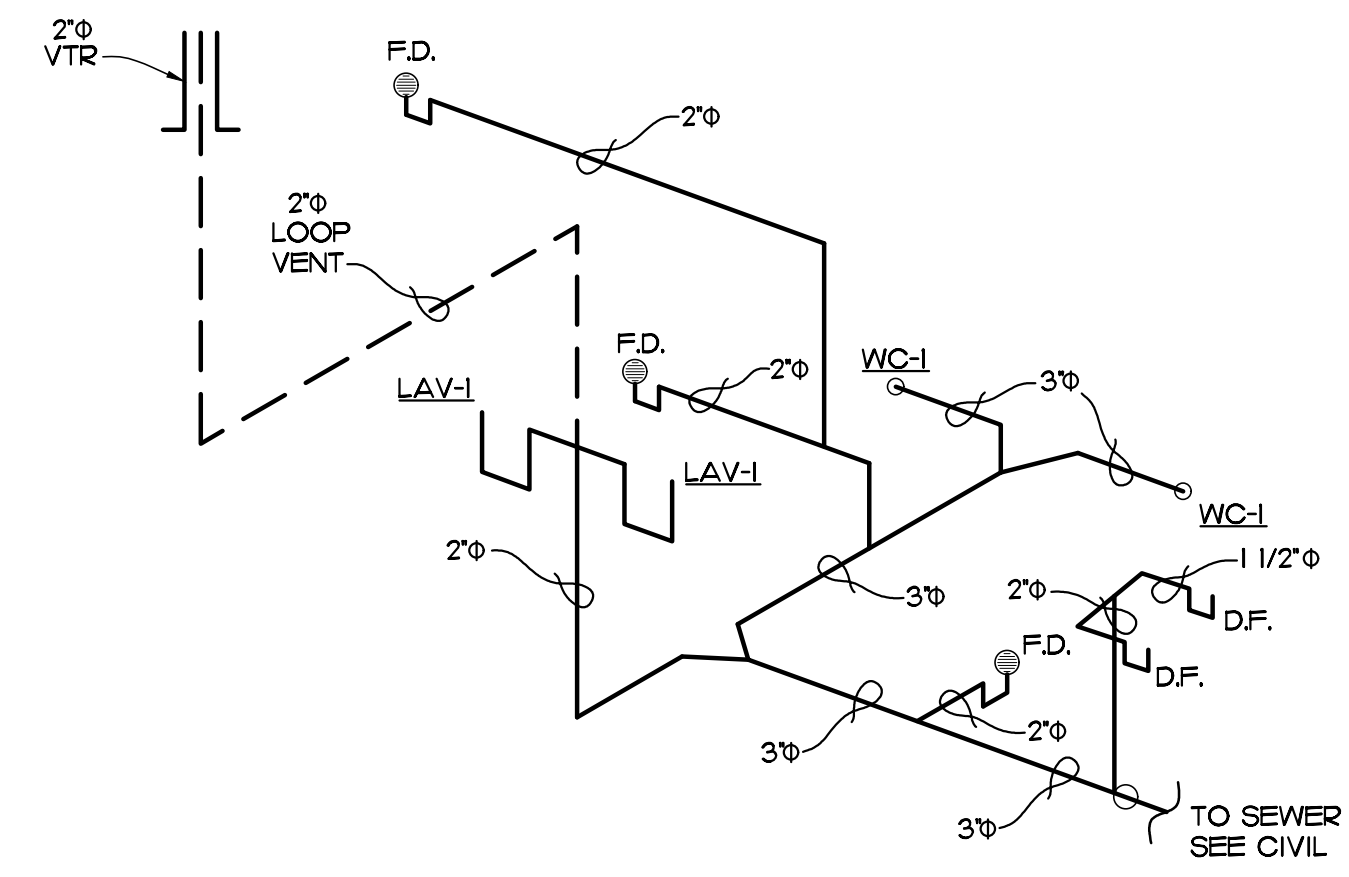
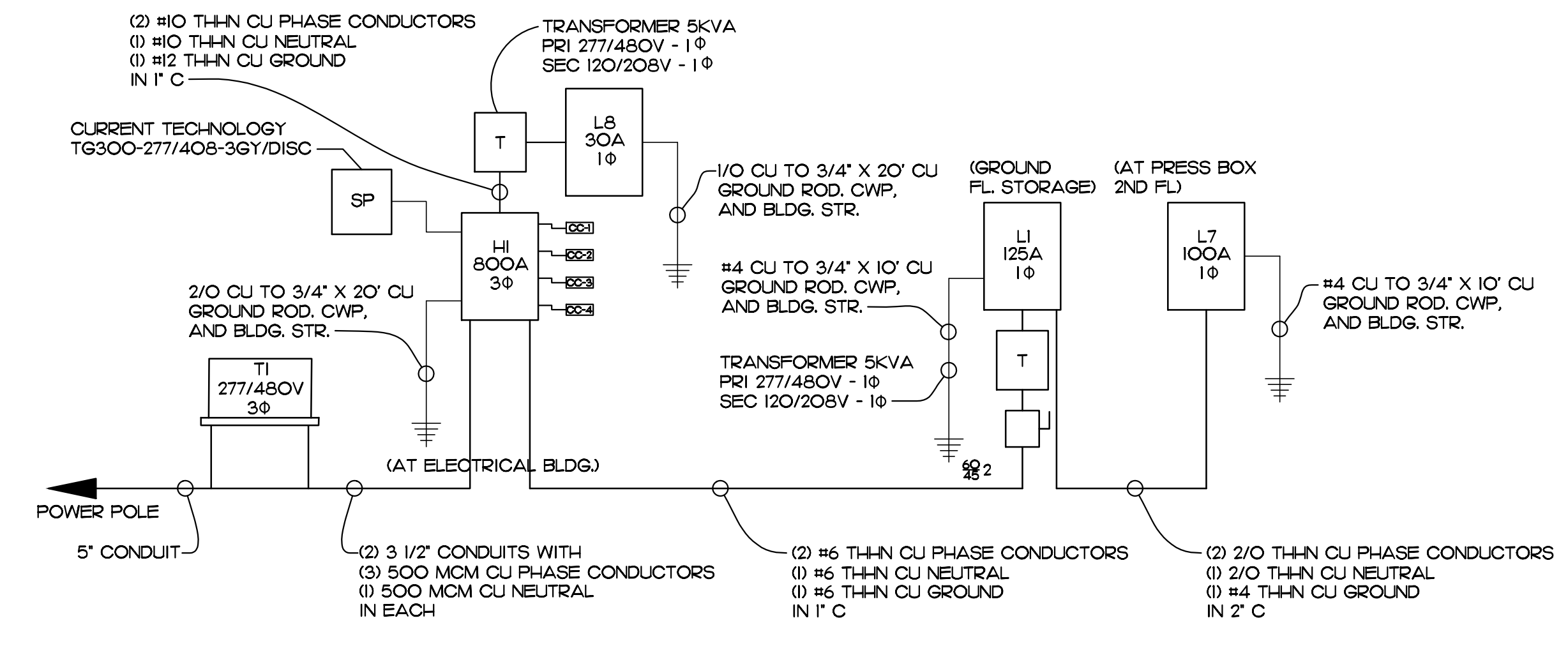
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COMM. NO: OIC223VB
DATE: JUNE 20, 2024
BY: LJD
CHKD: JFB

SHEET NO.
A-1
OF TWO

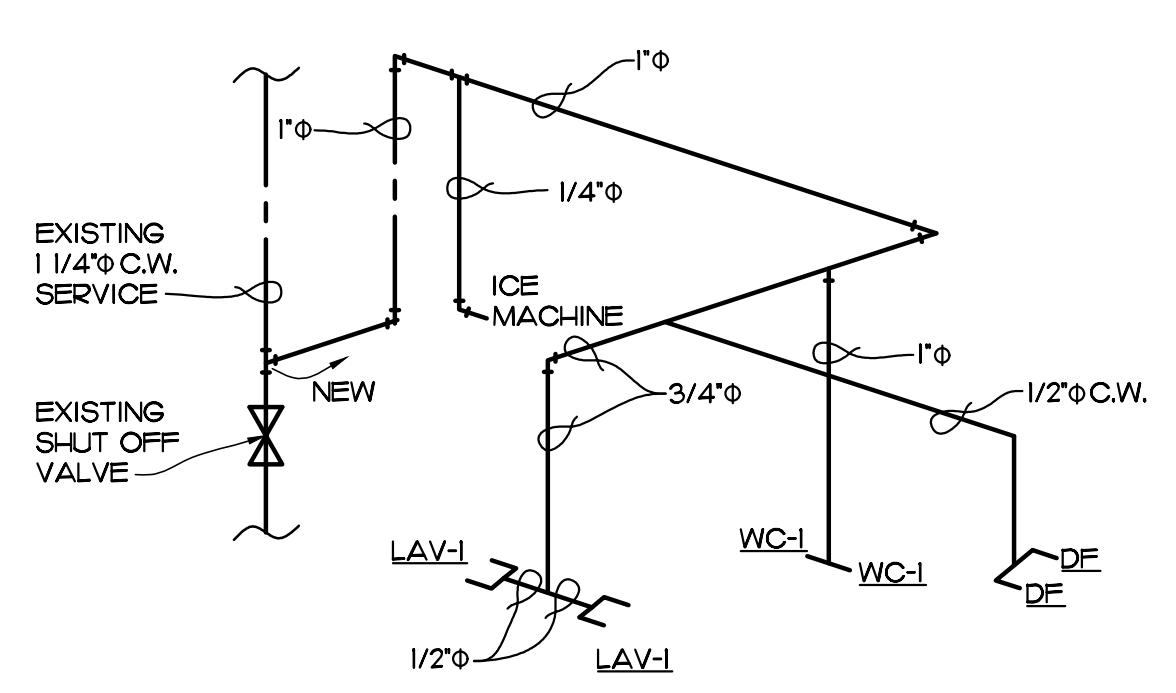
PANEL: 11		VOLTAGE: 120/208V - 1Ø		BUS AIC RATING: 22000		MOUNTING: FLUSH		BUS RATING: 125A	
LOCATION: CONCESSION/PRESS		BREAKER AIC:		DEVICE FAMILY: PLUG-ON		MAIN CONNECTION: BREAKER 125A			
FED FROM: TRANSFORMER		FEEDER & CONDUIT SIZE: (3) #1 THHN CU - 1 1/2" C		POLES: 42					
DESCRIPTION	WIRE O.K.T. SIZE BKR	POLES	CONNECTED KVA	NO.	NO.	CONNECTED KVA	POLES	O.K.T. WIRE BKR SIZE	DESCRIPTION
LIGHTING	12 20	1	0.5	1	2	0.8	1	20 12	RECEPTACLES
LIGHTING	12 20	1	0.7	3	4	0.8	1	20 12	RECEPTACLES
LIGHTING	12 20	1	0.6	5	6	0.8	1	20 12	RECEPTACLES
				7	8	0.6	1	20 12	RECEPTACLES
				9	10	0.6	1	20 12	RECEPTACLES
				11	12				
				13	14				
				15	16				
				17	18				
				19	20				
				21	22				
				23	24				
				25	26				
				27	28				
				29	30				
				31	32				
				33	34				
				35	36				
				37	38				
				39	40	2.1	2	30 10	ELEVATOR
			1.2	41	42	2.1			
			TOTAL		= TOTAL KVA				
SERVES		CONNECTED LOAD - KVA		DF		CALCULATED DEMAND - KVA			
TOTALS									

EXISTING PANEL SCHEDULE
SCALE: NTS



EXISTING POWER RISER DIAGRAM
SCALE: NTS

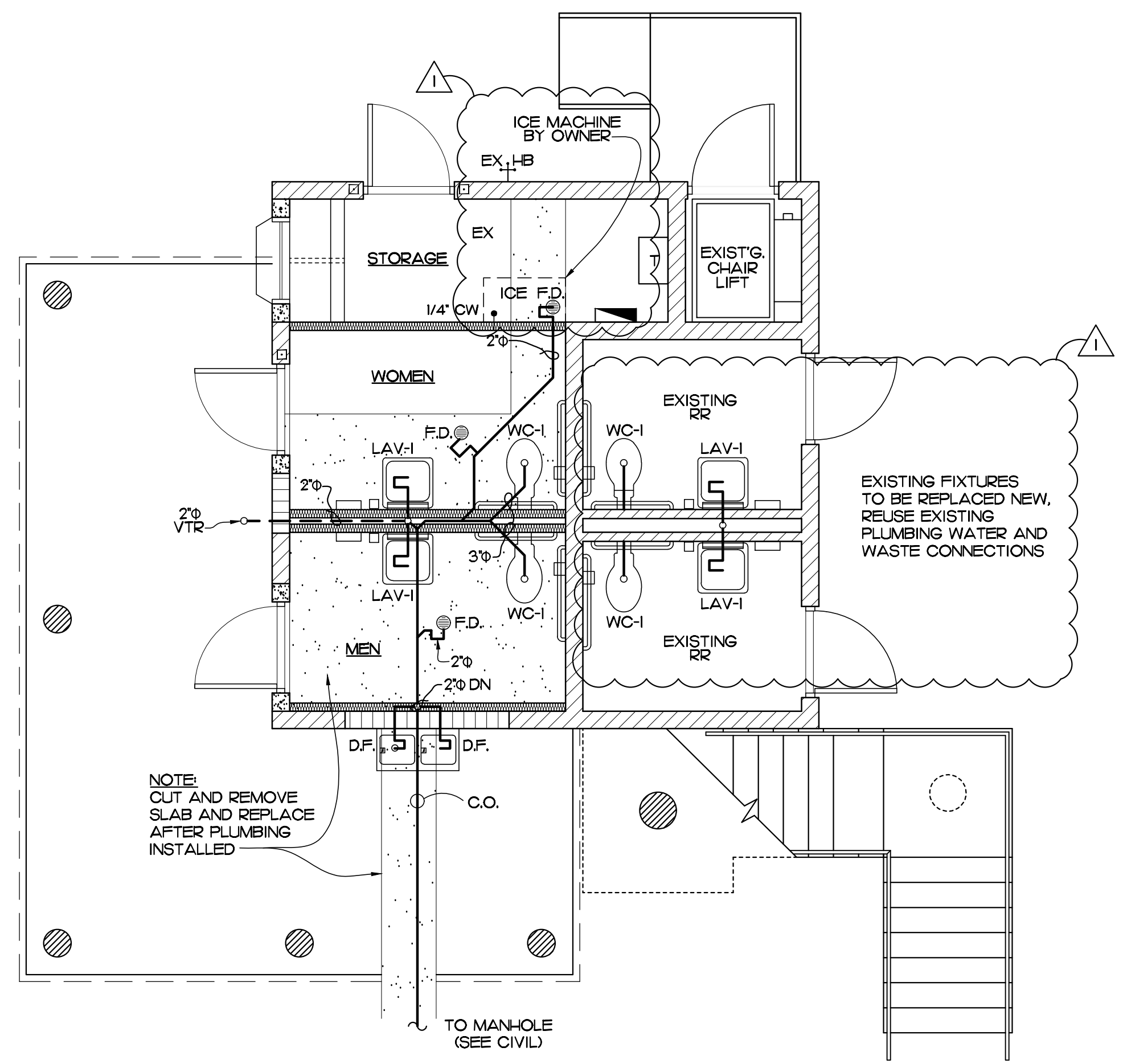
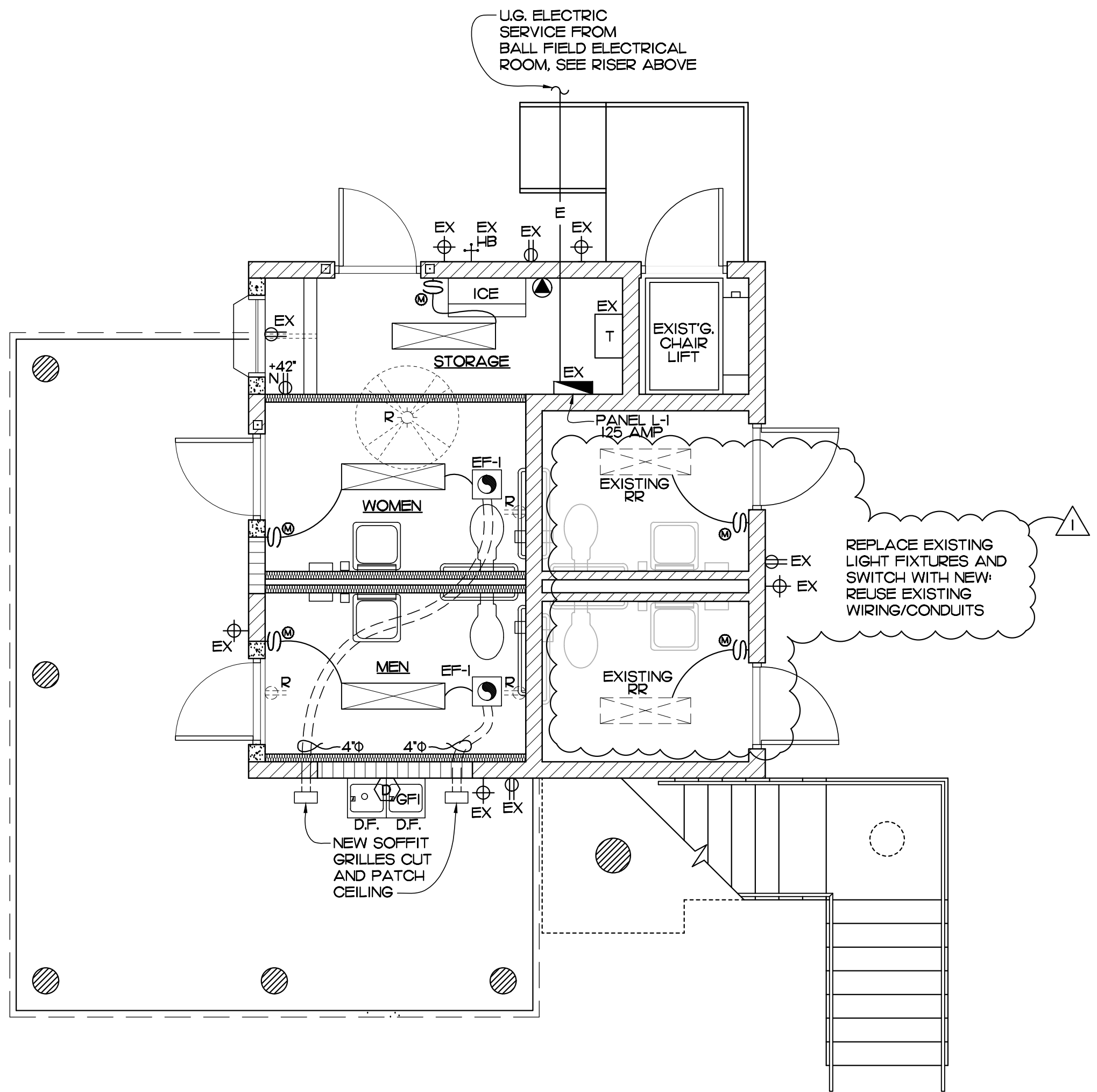
WASTE WATER RISER DIAGRAM
SCALE: NTS



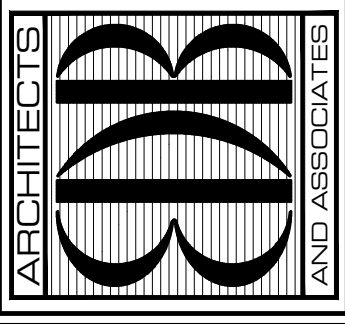
PLUMBING FIXTURE SCHEDULE	
LAV-1	HANDICAP LAVATORY, AMERICAN STANDARD, LUCERNE LUCERNE WALL HUNG LAVATORY MODEL NO. 0356-028, WHITE WITH TBS BRASS FAUCET BS-2701-VF05. CONTRACTOR TO SUPPLY CONCEALED ARM SUPPORT CARRIER FOR MOUNTING OF LAV. WADE MODEL 520-M36, SUPPLY PLUMBEREX MODEL 4333 INSULATION KIT. MUST MEET ADA CODE.
WC-1	HANDICAP WATER CLOSET - FLUSH VALVE BOWL, FLOOR MOUNTED, SIPHON JET VITREOUS CHINA WITH ELONGATED RIM AND 1-1/2" TOP SPUD, 18" HIGH AMERICAN STANDARD 3541-00US ELDERLY NEW CADET AQUAMETER, 126 GPF TOILET WITH SLOAN ROYAL III-1.6 FLUSH VALVE AND CENTCO 500CC OPEN FRONT SEAT LESS COVER.
F.D.	FLOOR DRAIN, JOSAM SERIES 3000QA, C.I. BODY, POLISHED BRONZE STRAINER, INTEGRAL TRAP, WITH PRIMER CONNECTION AND TRAP GUARD INSERT BY PROSET.
C.O.	EXTERIOR CLEAN OUT, ADJUSTABLE TOP, INTERNAL CLOSURE PLUG, HEAVY DUTY COVER PLATE.
D.F.	ELKAY VRCTLWWSK EZ-20 HIGH-LOW BARRIER FREE 8 GPH VANDAL-RESISTANT ADA WATER FOUNTAIN BOTTLE FILLER - NON-FILTERED (REFRIGERATED DRINKING FOUNTAIN-WALL MOUNTED-OUTDOOR)

LIGHT FIXTURE SCHEDULE		
MARK	TYPE	MANUFACTURER
A	4 FT. LONG SURFACE MOUNTED LED FIXTURE WITH WEATHER PROOF COVER	H.E. WILLIAMS 75L-4-1.38-840 -A 12125-DRV-UNV OR EQUAL

- LEGEND:**
- ⊖ R REMOVE EXISTING OUTLET
 - EX EXISTING TO REMAIN
 - ⊖ NEW 1X4 LED SURFACE MTD LIGHT FIXTURE
 - ⊖ NEW SINGLE POLE SWITCH
 - ⊖ NEW SWITCH W/MOTION SENSOR
 - ⊖ REMOVE EXISTING CEILING FAN
 - EF-1 NEW 150 CFM EXHAUST FAN WITH NEW 4" DUCT TO EXTERIOR
 - ⊖ NEW SPECIAL PURPOSE OUTLET
 - NE-T NEW 110V OUTLET
 - EX-T EXISTING STEP DN. TRANSFORMER TO REMAIN
 - ⊖ EXISTING ELECTRICAL PANEL TO REMAIN
 - ⊖ DIRECT CONNECTION 110 VOLT W/GFI PROTECTION



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DATE: JUNE 20, 2024
BY: LJD
CHK'D: JFB

SHEET NO.
MEP-1
OF ONE

SECTION 08700 - FINISH HARDWARE

PART 1 – GENERAL

1.01 **WORK NOT INCLUDED**

- A. Rough Hardware
- B. Casework Hardware
- C. Installation of Hardware

1.02 **GENERAL**

- A. All exterior doors shall open outward or in direction of travel to an exit.
- B. Copies of the Hardware Schedule, templates and keying schedules shall be submitted to the Architect and approved before ordering.
- C. Exchange schedules and template lists, with related trades, for coordination with their Shop Drawings.

1.03 **GUARANTEE**

- A. The hardware supplier shall provide a written guarantee that all materials furnished under this Section will be free from defects in the materials and the workmanship for a period of one (1) year from the date of a final **“Certificate of Occupancy”**.
- B. The hardware supplier, after a complete and thorough inspection by the Architect, shall further certify that all items furnished under this Section have been properly located, in accordance with the Hardware Schedule and the manufacturer’s instructions.

1.04 **SUBMITTALS**

- A. Three (3) copies of the Hardware Schedule, complete with catalog cuts, shall be submitted for approval. Door numbers and hardware groups are not to be changed.
- B. Approval of the Hardware Schedule shall be for type, operation and finish only.

1.05 **DELIVERY**

- A. Each item of hardware shall be delivered to job site, packaged separately, complete with the necessary fasteners, screws and anchors. Provide templates and/or instructions as required.
- B. Mark each item so as to correspond with the Hardware Schedule, identifying contents and defining location.

PART 2 - PRODUCTS

2.01 HINGES

- A. All Hinges shall be STANLEY, HAGER, McKINNEY.
- B. Use three hinges per door leaf on all doors up to a door height of 7'-6" and width up to 3'-0". Add an extra hinge for each additional twenty-four (24) inches of door height and widths over 36" to a maximum of 48".
- C. Provide the following size and type hinges unless otherwise noted in the hardware groups which takes priority. Provide non-removable pins for exterior doors.
 - 1. **Exterior Doors:**
4-1/2" x 4-1/2", Stainless Steel
 - 2. **Interior Doors with Closers:**
4-1/2" x 4-1/2", US26D finish
 - 3. **Interior Doors without Closers:**
4-1/2" x 4-1/2", US26D finish
- D. Finish
 - 1. Exterior Doors: Stainless Steel
 - 2. Interior Doors: Satin Chromium Plated Finish

2.02 LOCKS & EXIT DEVICES

- A. All locksets shall be AS SPECIFIED ON THE HARDWARE SCHEDULE. All locks shall have a minimum throw of 1/2". Finish to be per the Finish Hardware Schedule. Functioning of the locks shall be as designated in the hardware groups.
- B. Locksets shall comply with the following additional requirements:
 - 1. The hardware manufacturer will meet with the **owner** to finalize keying requirements and to obtain keying instructions in writing.
 - 2. All cylinders will be 6-pin interchangeable core type. All cylinders will be keyed to the existing **Schlage** key system.
 - 3. All cylinders will be supplied with Temporary construction cores. Construction Cores and keys will be a different keyway (key section) than the final cores.
 - 4. The following will be provided by the Contractor:
 - a. 3 change keys each cylinder
 - b. 4 Construction keys
 - c. 2 Construction core removal keys
 - d. 2 Each of all GGMK, GMK and MK's used in the system

- e. Catalog cuts and parts manuals

5. All keys shall be stamped "DO NOT DUPLICATE".

2.03 CLOSING DEVICES

- A. All hydraulic door closers shall be provided by one manufacturer and guaranteed for five (5) years.
- B. Door Closers shall be LCN, HAGER at all doors per schedule, fully hydraulic, full rack and pinion action. Closers shall have a separate adjustment for latch speed, general speed and back check. All closers and accessories, except special purpose types, whether applied to hinge side, stop face, over door or on bracket, shall be non-handed. All closers are to be installed on the room side of the door except where noted in the Hardware Schedule. All closers are to be installed with thru-bolts and five screws in the foot.

2.04 STOPS

- A. Wall Stops shall be AS SPECIFIED ON THE HARDWARE SCHEDULE, NOTE: Utilize Rockwood Model 409, US26D/626 at all doors that have push button locks. This model has a larger diameter recessed receiving hole. Wall stops to be utilized on interior/exterior frame walls to have solid wood backing to prevent drywall failure. Wall Stops WB11 should be mounted to the wood base. Areas with Vinyl or Ceramic Tile Base should utilize the wall stops 50C/60C.

2.05 THRESHOLD, WEATHERSTRIP

- A. Thresholds and Weather stripping shall be PEMKO, HAGER to match the types and sizes indicated on the Hardware Schedule or detailed on the drawings.
- B. Provide screws and anchors as required.
- C. Finish to be per Schedule.

2.06 PLACEMENT OF HARDWARE

Various items shall have the following heights and locations, unless otherwise indicated. (Heights are shown from finish floor to center line of item):

- A. Hinges: Standard Placement
- B. Cylindrical Lockset 38"

C. Closer per manufacturer template to give maximum degree of opening. All closers to be mounted on room side of door.

D. Stops:

1. Wall: On wall where knob or pull hits.
2. Floor: As per standard practice.
3. Chain Door: As per standard practice.
4. Over-Head: Per manufacturer template to give maximum degree of opening. All Over-Head stops to be mounted on room side of door.

PART 3 - EXECUTION

3.01 KEYING

A. All installed locksets shall be keyed to the Owner's satisfaction. Coordinate with Owner as to manufacturer, function and type prior to ordering specified locksets.

B. Submit keying schedule, based on the instructions and prior approval of the Owner's representative, for final approval before ordering locksets.

C. Delivery

1. All locks are to be delivered to the job site without the permanent key. All locks are to be keyed to the existing Owner's master key, if required.
2. A representative of the Hardware Supplier, upon the completion of the project, shall check all locks for proper location, operation and keying as well as deactivate the construction-key operation and transfer all locks to a permanent key operation.
3. All permanent keys shall be properly identified and tagged with a code number and location and shall be turned over directly to the Owner's representative.
4. Furnish six (6) master keys of each set to the Owner.

3.02 DESCRIPTION OF HARDWARE GROUP NUMBERS

The following Hardware Schedule is to be used as a general guide. Special or unusual conditions not covered in the schedule will have hardware of a similar type and quality to meet the job conditions, and it shall be the hardware consultant's responsibility to insure that all hardware is supplied to meet job requirements and produce a complete job.

Door, Frame & Hardware

Fran B. Adams Concession/Restroom

<u>Total</u>	<u>Each</u>	<u>1</u>	<u>Mark 1</u>			
			EXT			
1	1	Ea.	Frame	3070 x 5-3/4" 16GA Welded A60 Galv HMF	Primed	Daybar
1	1	Ea.	Door	3070 x 1-3/4" Flush 18GA A60 Galv HMD	Primed	Daybar
			HW Set			
3	3	Ea.	Hinges	4.5 x 4.5 BB NRP	US32D	PHG
1	1	Ea.	Door Pull	10" CTC - 1" Round Pull Bar	US32D	PHG
1	1	Ea.	Deadbolt	LU220 Deadbolt Thumb-Turn Interior and Occupancy Indicator	US32D	PHG
1	1	Ea.	Closer	9000 Series	689	PHG
1	1	Ea.	Threshold	36" 520S Threshold	MIL	TND/Hager
1	1	Ea.	Door Bottom	778S 36" Door Bottom	MIL	Hager
1	1	Ea.	Weather Strip	726D 17' Press On	Charcoal	Hager

END OF SECTION

SECTION 09900 - PAINTING

1.01 GENERAL

1. Submittals:

- a. In addition to manufacturer's data, application instructions, and label analysis for each coating material, submit samples for Architect's review of color and texture only. Resubmit samples if requested until required sheen, color and texture is achieved. Submittals must also include material requirements data per Article 1.08.
- b. On 8" x 8" hardboard, provide two (2) samples of each color and material, with texture to simulate finish conditions.
- c. On wood surfaces provide two (2) 4" x 8" samples for natural and stained wood finish.
- d. On actual wall surfaces and other building components, duplicate painted finishes of acceptable samples, for approval by the Architect.

1.02 DESCRIPTION OF WORK

1. Painting and finishing of interior and exterior items and surfaces, unless otherwise indicated.
2. Paint exposed surfaces, except as otherwise indicated, whether or not colors are designated. If not designated, colors will be selected by Architect from standard colors available for the coatings required.
3. Work Not Included: Unless otherwise indicated, shop priming of ferrous metal items and fabricated components are included under their respective trades. Unless otherwise indicated, painting not required on surfaces of concealed areas. Finished metals such as anodized aluminum, stainless steel, bronze, and specialty metals will not be painted. Do not paint any moving parts of operating units, or over any equipment identification, performance rating, name or nomenclature plates or code-required labels.

1.03 DELIVERY AND STORAGE

1. Deliver materials to job site in new, original, and unopened containers bearing manufacturer's name, trade name, and label analysis. Store where indicated in accordance with manufacturer's instructions.

1.04 PROTECTION:

1. Protect work of other trades. Correct any painting related damage, by cleaning, repairing or replacing, and refinishing, as directed by Architect.

1.05 PROJECT CONDITIONS:

1. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 98 degrees. Do not apply paints in rain, fog or mist; when relative humidity exceeds 95 percent; at temperatures less than 5 degrees F above the dew point; or to damp or wet surfaces.
2. Provide finish coats which are compatible with prime paints used. Provide barrier coats over incompatible primers where required. Notify Architect in writing of anticipated problems using specified coatings with substrates primed by others.
3. Surface Conditions: Apply paint and coatings when the following surface conditions have been met:
 - a. Interior Drywall - 12% maximum moisture content.
 - b. Exterior Stucco and Cementitious Wall Panels- 12% maximum moisture content.
 - c. Exposed Wood, Wood Doors, Wood Trim- 15% maximum moisture content.

1.06 EXTRA MATERIALS:

1. Provide a minimum of 1 gallon of each material and color of paint as materials applied that are packaged and stored with identification labels describing contents.

1.07 SURFACE PREPARATION:

1. Perform preparation and cleaning procedures in strict accordance with coating manufacturer's instructions of each substrate condition.
2. Remove hardware and accessories, machined surfaces, plates, lighting fixtures and similar items in place that are not to be finish-painted or provide surface-applied protection. Re-install removed items and remove protective coverings at completion of work.
3. Seal all wood required to be job-painted. Prime edges, ends, face, undersides and backsides of counters, cases, fascias, soffits, cabinets, counters, etc.

4. Back-prime with one coat on interior paneling only where masonry, plaster, or other wall construction occurs on backside.
5. Seal tops, bottoms, and cut-outs of wood doors with heavy coat of quick drying sealer immediately upon delivery to job. Do not paint door UL Labels.

1.08 MATERIAL REQUIREMENTS:

1. Paints and coatings used on the interior of the building (i.e., inside of the weatherproofing system and applied on site) must comply with the following criteria as applicable to the project scope:
 - a. Architectural paints and coatings applied to interior walls and ceilings must not exceed the volatile organic compound (VOC) content limits established in Green Seal Standard GS-11, Paints, 1st Edition, May 20, 1993.
 - b. Anti-corrosive and anti-rust paints applied to interior ferrous metal substrates must not exceed the VOC content limit of 250 g/L established in Green Seal Standard GC-03, Anti-Corrosive Paints, 2nd Edition, January 7, 1997.
 - c. Clear wood finishes, floor coatings, stains, primers, sealers and shellacs applied to interior elements must not exceed the VOC content limits established in South Coast Air Quality Management District (SCAQMD) Rule 1113, Architectural Coatings, rules in effect on January 1, 2004.

1.09 MATERIAL PREPARATION:

1. Mix, prepare, and store painting and finishing materials in accordance with manufacturer's directions.

1.10 APPLICATION:

1. Apply painting and finishing materials in accordance with manufacturer's directions. Use applicators, and techniques best suited for materials and surfaces to which applied, but in no case will spray application be used unless approved by Architect.
2. Apply additional coats when undercoats, stains, or other conditions show through final paint coat, until paint film is of uniform finish, color and appearance.
3. Paint surfaces behind movable equipment same as similar exposed surfaces. Paint surfaces behind permanently fixed equipment with prime coat only before equipment is installed.
4. Finish exterior doors on tops, bottoms and edges same as exterior faces, unless otherwise indicated. Do not paint door UL Labels.
5. Sand lightly between succeeding enamel, urethane or varnish coats.

6. Omit first coat (primer) on metal surfaces which have been shop-primed and touch-up painted, unless otherwise specified.
7. Apply prime coat to material which is required to be painted or finished, and which has not been prime coated by others.
8. Apply each material at not less than the manufacturer's recommended spreading rate, to provide a total dry film to thickness of not less than 4.0 mils for entire coating system of prime and finish coats for (3) coat work.
9. Provide a total dry film thickness of not less than 2.5 mils for entire coating system of prime and finish coat for two (2) coat work.

1.11 COMPLETED WORK:

1. Match approved samples for color, texture and coverage. Remove, finish or repaint work not in compliance with specified requirements.

1.12 TOUCHING UP AND CLEANING:

1. Upon completion, all touching up as required shall be done and paint removed from all surfaces which are not specified to receive paint.

1.13 PAINT, GENERAL:

1. Material Compatibility:
 - a. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
 - b. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.

1.14 PAINTING SCHEDULE

The following paints specified shall be manufactured by one of the following manufacturer's or an approved, comparable product:

Benjamin Moore Paints
Sherwin Williams Paints
Porter Paints
Devoe Paints
MAB Paints
ICI Paints

Armourcoat, USA

NOTE: Color selections to be by the Owner, the Architect, and/or the Interior Designer. See Finishes Schedule on the plans for location of paint. When more than five (5) colors are selected for interior or for exteriors, a painting upcharge shall be negotiated prior to application of paints.

- A. Exterior wood Trim, Wood Siding, Wood Fascias & Soffits, Etc.: One (1) coat sealer primer on all faces and edges
Two (2) coats Benjamin Moore Exterior Acrylic Latex paint on exposed surfaces.
- B. Interior Drywall: Two (2) coats Benjamin Moore Regal AquaVelvet Eggshell (319) over base sealer coat. Specialty finishes may apply also.
- C. Galvanized Metal: One (1) coat Benjamin Moore Galvanized Iron Primer. Two (2) coats Benjamin Moore Meta-lastic Paint.
- D. Metal Surfaces: Structural Steel Beams & Columns, Wall girts, Roof purlins, Fire Sprinkler Riser Assemblies, Steel Trusses, Steel Tanks:

Exterior Exposed – Two (2) coats Benjamin Moore Retard-X Rust Inhibitive Latex Primer 162 over the shop delivered primer, welds and bolts. Allow a minimum of 4 hours between coats. Finish with two (2) coats Benjamin Moore Eggshell alkyd house paint 108.

Interior Exposed – Same applications but one (1) coat only of latex Primer 162.

NOTE: All galvanized metal to be washed with mineral spirits to remove any oil.

- E. Exterior Stucco and Cementitious Wall Panels: One (1) coat Benjamin Moore Masonry sealer. Two (2) coats Benjamin Moore Latex, or Acrylic Latex paint. Flat finish.
- F. Steel Doors & Frames: Spot prime any scratches in factory primer with Benjamin Moore Iron Clad Rust Inhibiter Red Oxide. Finish with (2) coats Benjamin Moore oil based or water based enamel, (semi-gloss).
- G. Wood Doors and Trim (Interior): (When Finish Schedule calls for Painted): One (1) coat sealer primer. Two (2) coats Benjamin Moore oil based enamel, (semi-gloss).
- H. Wood Doors and Trim (Interior): (When Finish Schedule calls for Sealed): Three coats of Satin Finish clear urethane, lightly sanded between coats.
- I. Interior Aluminum or Steel Handrails: One coat metal primer and two coats shop applied industrial enamel, or factory powder coating, (both gloss finish).

- J. Exposed finish Grade Concrete Block: One coat block filler and sealer primer. Specialty Paint, two (2) coats acrylic latex, over primer in accordance with the Manufacturers Specifications.
- K. Exterior Aluminum Tubing, Handrails, Guardrails, Caps, Cast Trim and Frames: Powder coated after completed fabrication and assembly and prior to installation. Powder Coat RAL standard color as specified on Architectural Details.
- L. Exterior Architectural Masonry Units (such as decorative split faced, split ribbed, and smooth faced colored block, and any manufactured stone such as Herpel), including the mortar used to set the units, shall be sealed with a water repellent-anti graffiti coating after installation and cleaning of all block faces.
EXCEPTION: If the block manufacturer supplies an integral water repellent admixture in their block and a water repellent is added to the grout (mortar) during installation, then no exterior sealer is required.
- M. Toilet Room Walls: Apply water base epoxy coating full height on the wall materials scheduled in toilet rooms/bathrooms, to achieve an impervious finish.

NOTE: DO NOT APPLY EPOXY PAINTS TO ANY INTERIOR FACES OF BARE BLOCK AT MASONRY EXTERIOR WALLS. UTILIZE LATEX PAINTS WITH BREATHABILITY OF 1 PERM OR GREATER.

- 1. **ON INTERIOR MASONRY** - Semigloss Finish using Sherwin Williams Paints.
 - a. **1st coat:** S-W KEM CATI-COAT EPOXY FILLER/SEALER B42 WA8/B42 WA9 (87-108 sq. ft./gal @ 8-10 mild dry).
 - b. **2nd coat:** S-W Water Based Catalyzed Epoxy B70/B60 V25.
 - c. **3rd coat:** S-W Water Based Catalyzed Epoxy B70/B60 V25, (8mils wet, 3 mils wet per coat).
- 2. **ON DRYWALL** - Semi-Gloss Finish using Sherwin Williams Paints.
 - a. **1st coat:** S-W PrepRite 200 Latex Primer, B28W200, (4 mils wet, 1.2 mils dry).
 - b. **2nd coat:** S-W Heavy Duty Epoxy, B67 Series/B60 V3. (3 mils dry per coat)
 - c. **3rd coat:** S-W Heavy Duty Epoxy, B67 Series/ B60 V3. (3 mils dry per coat)

- N. Stained Concrete Floors when called for on Finish Schedule: Two coats solid color stain material. Apply over a clean, cured, dry, dirt and dust free, lightly broomed finished concrete slab. Color as selected by the Architect. Make a special effort to never apply concrete sealers to any surface to receive concrete stains.

- O. Specialty Coatings, when scheduled on the Interior Finish Schedule, shall be placed in accordance with manufacturer's specification for application and protected until the project is occupied by the end user.

- P. Specialty coatings approved, when scheduled on the interiors include:
 - a. Amourcoat
 - b. Polymix

***** END OF THIS SECTION*****