

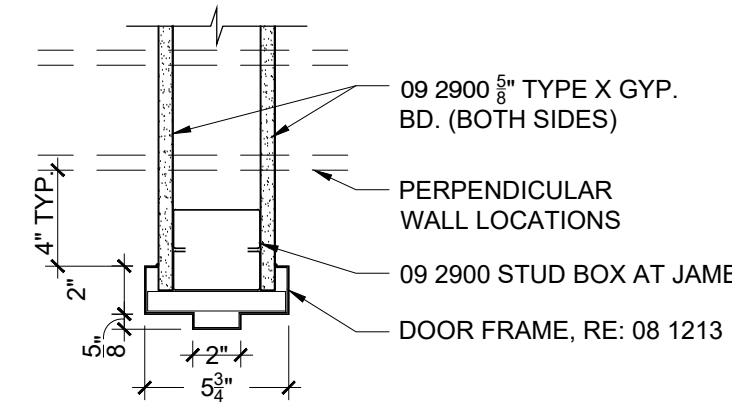
PROJECT DESCRIPTION: ADD WALL AND DOOR AT LOBBY

CODE SUMMARY: NO CHANGE IN BUILDING OCCUPANCY, CLASSIFICATION, HEIGHT OR AREA WITH THIS PROJECT.

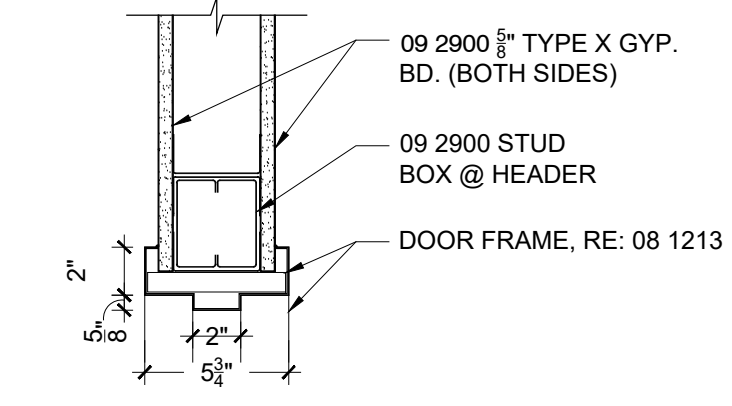
CITY OF PITTSBURG ADOPTED CODES
 2012 International Building Code
 2012 International Mechanical Code
 2012 International Fire Code
 2011 National Electric Code

CONSTRUCTION TYPE: III-B

BUILDING IS FULLY SPRINKLERED

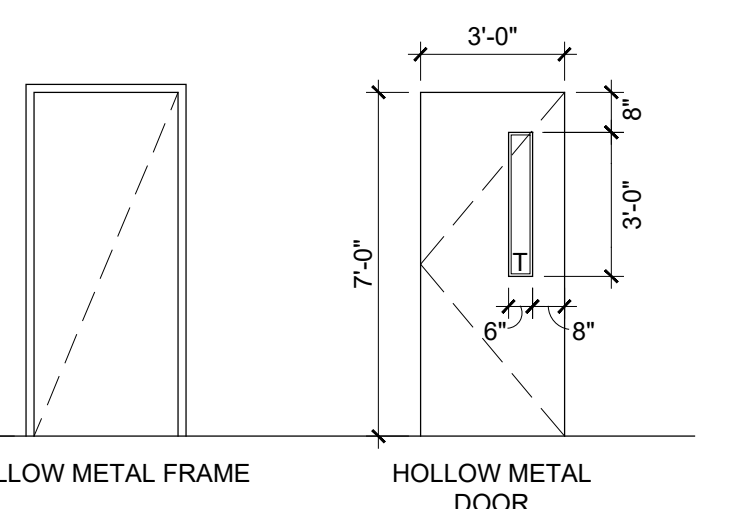


JAMB DETAIL



HEAD DETAIL

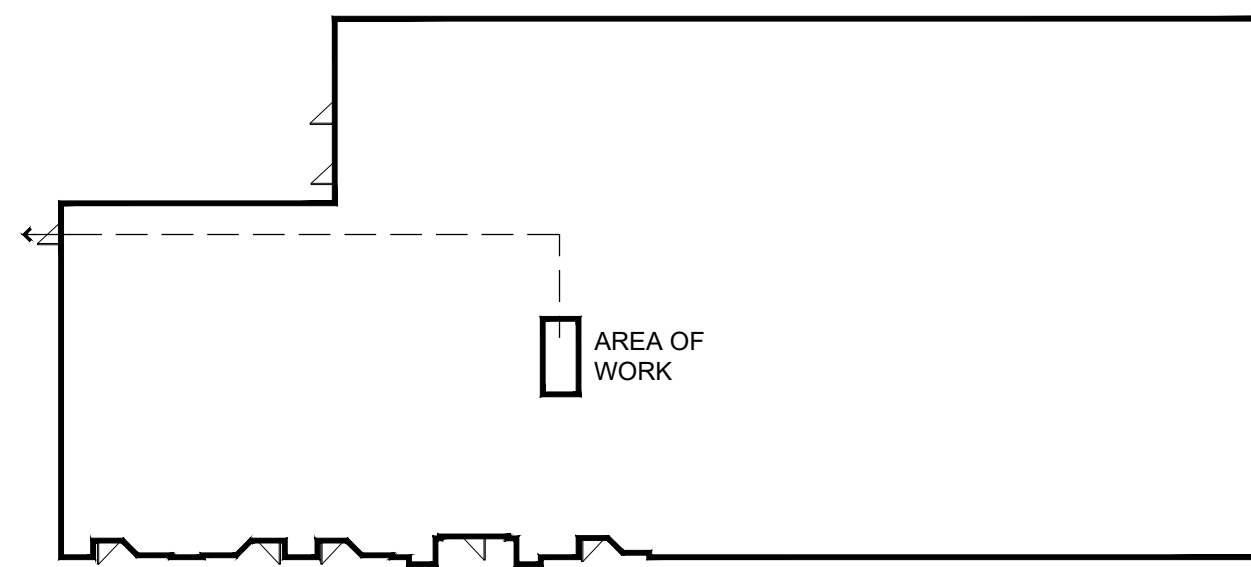
HM HEAD & JAMB DETAILS 11



DOOR INFORMATION 10

ABBREVIATIONS

@	At	MAX	Maximum
ABV	Above	MDF	Medium Density Fiberboard
ACOUS.	Acoustical	M.E.D.	Match Existing Dimension
ADJ	Adjustable	MECH	Mechanical
ADJCNT	Adjacent	MEM.	Membrane
A.F.F.	Above Finish Floor	MFR	Manufacture(r)
ALUM	Aluminum	MIN	Minimum
ALT	Alternate	MNT	Mounted
BD	Board	M.O.	Masonry Opening
BLDG	Building	MTL	Metal
BLKG	Blocking	N	North
BOT.	Bottom	NIC	Not In Contract
B.O.	Bottom of	NOM.	Nominal
BSMT	Basement	N.T.S.	Not To Scale
BYND	Beyond	O.C.	On Center
CHNL	Channel	O.H.	Opposite Hand
C.J.	Control Joint	O.S.	Opposite Side
CLG	Ceiling	OPG	Opening
CLR	Clear	PFB	Prefabricate(d)
CMU	Concrete Masonry Unit	PLAM	Plastic Laminate
COL	Column	PLMB	Plumbing
CONC	Concrete	PNT	Paint(ed)
CONT	Continuous/Continue	PWD	Plywood
CPT	Carpet	R.	Radius or Riser
CT	Ceramic Tile	RCP	Reflected Ceiling Plan
DBL	Double	R.D.	Roof Drain
DGRM	DIAGRAM	RE:	Refer to, Reference
DIA	Diameter	REQ	Require(d)
DIM(S)	Dimension(s)	RFG	Roofing
DN	Down	RFL	Reflect(ed)
D.S.	Downspout	RM	Room
DTL	Detail	R.O.	Rough Opening
DWG	Drawing	S	South
E	East	SCHD	Schedule
EA	Each	SECT	Section
E.J.	Expansion Joint	S.F.	Square Foot (Feet)
ELEC	Electrical	SHTH	Sheathing
ELEV	Elevation	SIM	Similar
EQ.	Equal	SNT	Sealant
EQUIP	Equipment	SPEC	Specified/Specification(s)
EXG	Existing	SSTL	Stainless Steel
EXIST	Existing	STC	Sound Transmission Coefficient
F.C.	Floor Change	STD	Standard
FD	Floor Drain or Fire Department	STL	Steel
F.E.	Fire Extinguisher	STOR	Storage
F.E.C.	Fire Extinguisher Cabinet	STRUCT	Structural
FIXT	Fixture	SYS	System
F.F.E.	Finished Floor Elevation	TB.	Tackboard
FIN	Finish	TG	Tempered Glass
FLR	Floor	T.O.	Top Of
F.O.	Face of	T.O.C.	Top of Concrete
FT	Feet or Foot	T.O.S.	Top of Steel
FV	Field Verify	TPD	Toilet Paper Dispenser
GA	Gauge	TYP	Typical
GALV	Galvanized	U.N.O.	Unless Noted Otherwise
GWB	Gypsum Wall Board	U.O.N	Unless Otherwise Noted
HC	Hollow Core	U/S	Underside
H.M.	Hollow Metal	V.B.	Vapor Barrier
HOR.	Horizontal/Horizontally	VCT	Vinyl Composition Tile
HR	Hour	VERT	Vertical
HT	Height	VEST.	Vestibule
HWD	Hard Wood	VIF	Verify in Field
INSUL.	Insulate(d), (ion)	W	West or Width (wide)
INT	Interior	W/	With
JT	Joint	WO	Without
		W/O	Wood



EXITING KEY PLAN 15

DOOR SCHEDULE

MARK	ROOM NAME	DOOR SIZE	HARDWARE SET	SIGNAGE	HEAD & JAMB	RATING	SPECIAL INSTRUCTIONS
10/G001	RESIDENTIAL LOBBY	3'-0" x 7'-0"	SEE BELOW	PROVIDE SIGNAGE ON BOTH SIDES OF DOOR TO MATCH EXISTING BUILDING SIGNAGE. CONFIRM TEXT, DOOR NUMBER, AND FINISH SELECTIONS WITH OWNER AND ARCHITECT	11/G001	N/A	HARDWARE FINISH TO MATCH EXISTING RESIDENTIAL LOBBY DOOR HARDWARE FINISH. CONFIRM FINAL SELECTION AND STYLE WITH OWNER AND ARCHITECT. SEE HARDWARE SCHEDULE BELOW.

QUANTITY	DESCRIPTION	CATALOG NUMBER	FINISH	MANUFACTURER
3	HINGE	5BB1 4.5 X 4.5	613	IVE
1	OFFICE/ENTRY LOCK	ALX80P6 RHO	613	SCH
1	SURFACE CLOSER	1450 CUSH FC	613	LCN
2	KICK PLATE	8400 10" X 2" LDW B-CS	613	IVE
1	GASKETING	488SBK	BK	ZER

NOTE: VERIFY FINISH SELECTION AND STYLE WITH OWNER AND ARCHITECT

GENERAL NOTES:

- ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE TO FACE OF CONCRETE OR DRYWALL, EXTERIOR FACE OF BRICK VENEER, OR CENTERLINE OF COLUMN, U.N.O. (UNLESS OTHERWISE NOTED). MASONRY DIMENSIONS ARE NOMINAL, U.N.O. EXISTING COLUMN GRID DIMENSIONS ARE APPROXIMATE, CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS.
- EXG CONDITIONS INDICATED ON THESE DRAWINGS ARE TAKEN FROM THE BEST INFORMATION AVAILABLE, PROVIDED TO HELP ILLUSTRATE THE EXTENT OF DEMOLITION AND NEW WORK. CONTRACTOR SHALL VERIFY ALL EXG CONDITIONS & COORD. WITH THE DESIGN INTENT INDICATED ON DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- VERIFY EXISTING CONDITIONS PRIOR TO ANY WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM DRAWINGS PRIOR TO PROCEEDING WITH WORK.
- REPAIR DAMAGE TO EXISTING CONSTRUCTION, PAVING WALKS AND PLANTING AREAS INCURRED DURING CONSTRUCTION. PATCH AND REPAIR ALL FLOOR AREAS, WALLS AND CEILINGS ALTERED DURING CONSTRUCTION TO MATCH EXISTING.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH A.D.A. REQUIREMENTS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS AND INSPECTIONS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PROJECT DOCUMENTS. ACCESS TO THE PROJECT LOCATION DURING BIDDING AND CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER.
- DO NOT SCALE THE DRAWINGS.
- THE WORD "ALIGN" AS USED IN THESE DOCUMENTS SHALL SUPERSEDE ANY DIMENSIONAL INFORMATION GIVEN.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING AND CONFIRMING ALL SUBSTRATE CONDITIONS WHERE NEW MATERIALS ARE APPLIED. THE SUBSTRATE SHALL BE SMOOTH AND FREE OF DEFECTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE FINISHED MATERIAL MANUFACTURERS RECOMMENDATIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP. BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. BARRICADES, SIGNS, DROP CLOTHS, AND OTHER PROTECTIVE MEANS SHALL BE ERRECTED AS NECESSARY TO PROVIDE REASONABLE PROTECTION FOR THE OCCUPANTS AGAINST HAZARD AND NUISANCE. COORDINATE WORK TIME WITH OWNER BEFORE CONSTRUCTION BEGINS TO ENSURE ACCESS TO FACILITIES.

MATERIALS LEGEND

	NEW WALL/PARTITION
	EXISTING CONSTRUCTION (BLANK)
	GYPSUM WALLBOARD
	PLYWOOD
	SOLID WOOD
	WOOD FRAMING
	WOOD BLOCKING
	STEEL
	BATT INSULATION
	RIGID INSULATION

SYMBOL DESIGNATIONS

	ROOM NAME		ROOM NAME AND NUMBER
	WALL & SECTION MARK		PLAN NOTE SYMBOL
	ELEVATION MARK A1 = ELEVATION NO. A201 = SHEET NO.		REVISION SYMBOL
	DETAIL MARK 20 = DETAIL NO. A151 = SHEET NO.		DOOR MARK
	DEMOLITION MARK		EXISTING DOOR TO REMAIN (DOOR MARK AT DOORS ADJACENT TO AREA OF WORK)
	PARTITION MARK (RE: PARTITION TYPES)		SPOT ELEVATION MARK
	ROOM HEIGHT SPEC		CEILING TAG

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VICINITY PLAN 16

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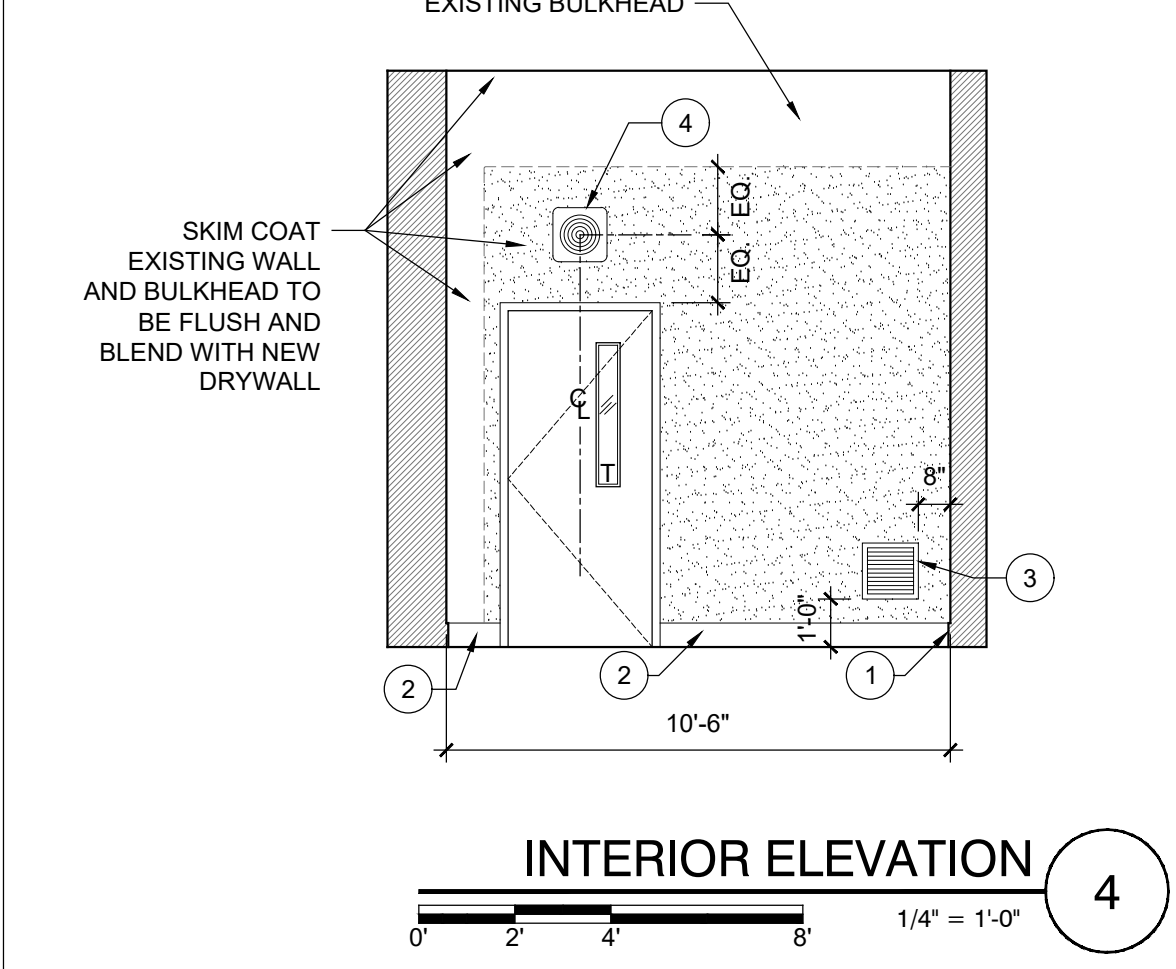
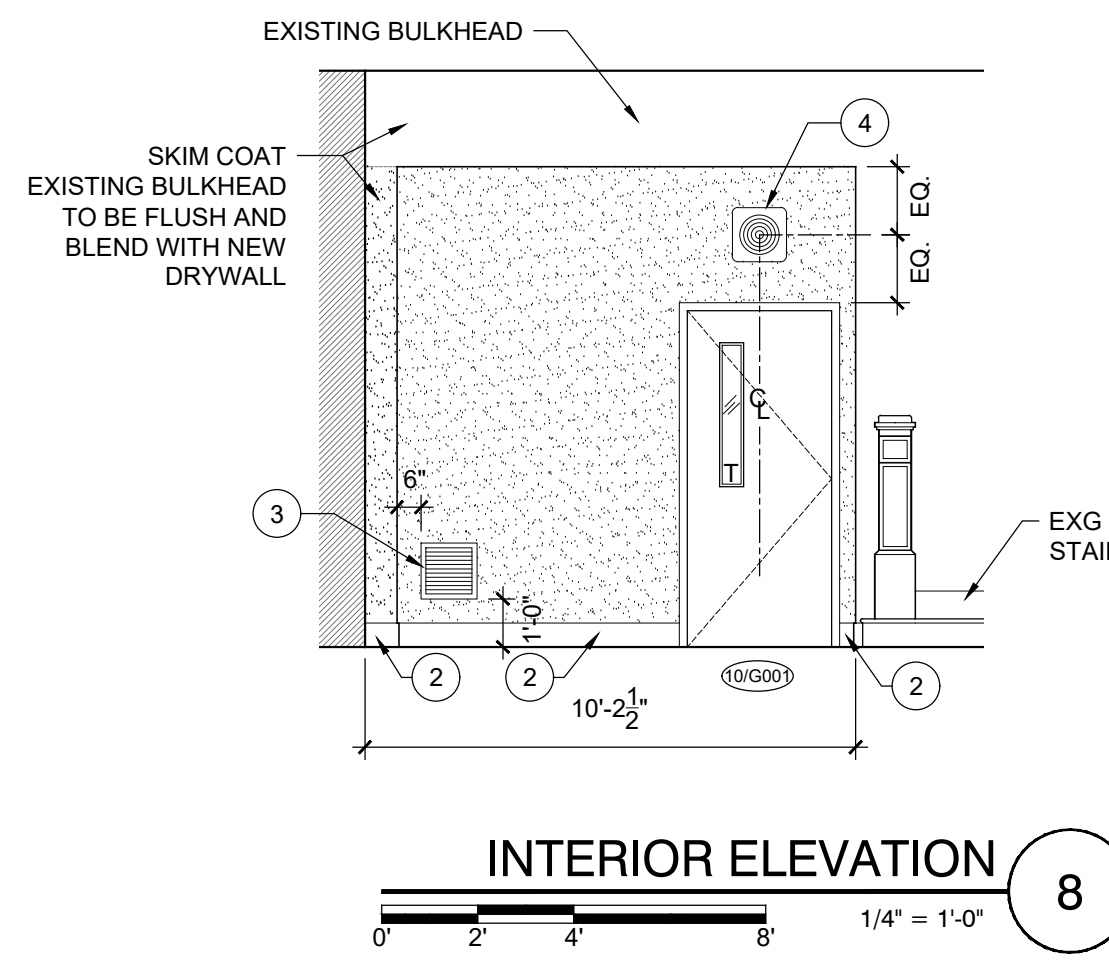
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June 13, 2023
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COVER, GENERAL INFORMATION, AND DOOR SCHEDULE

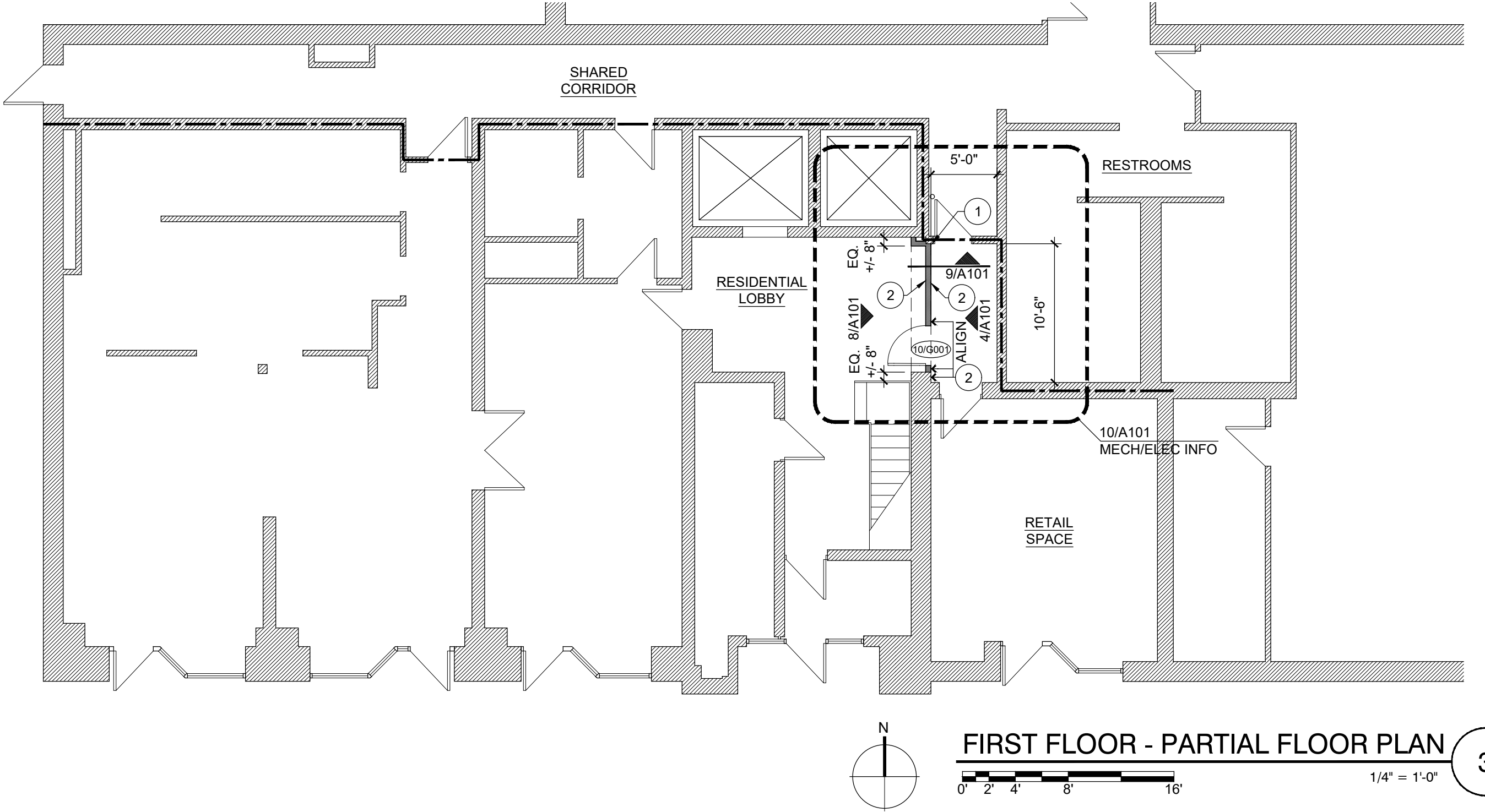
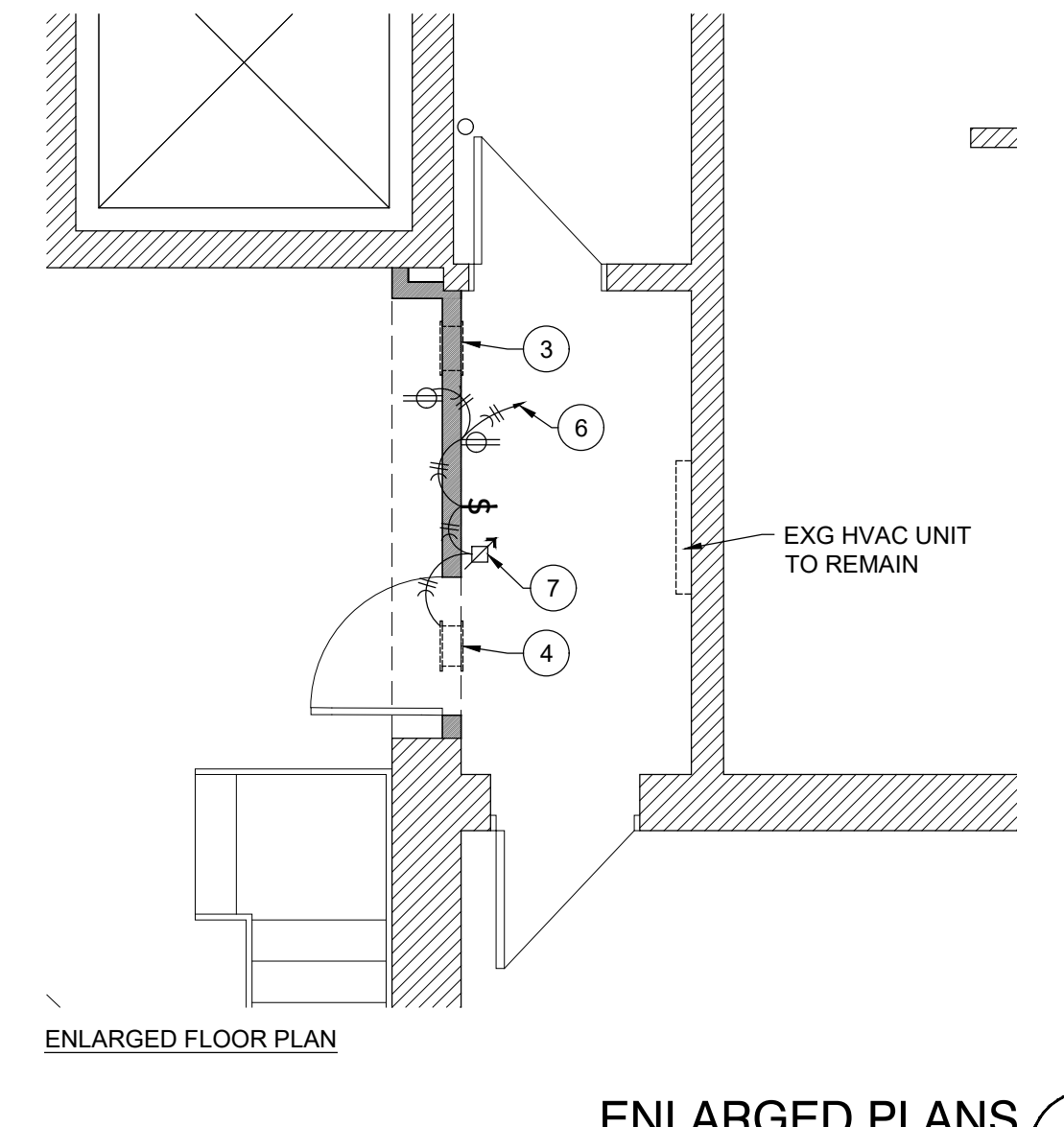
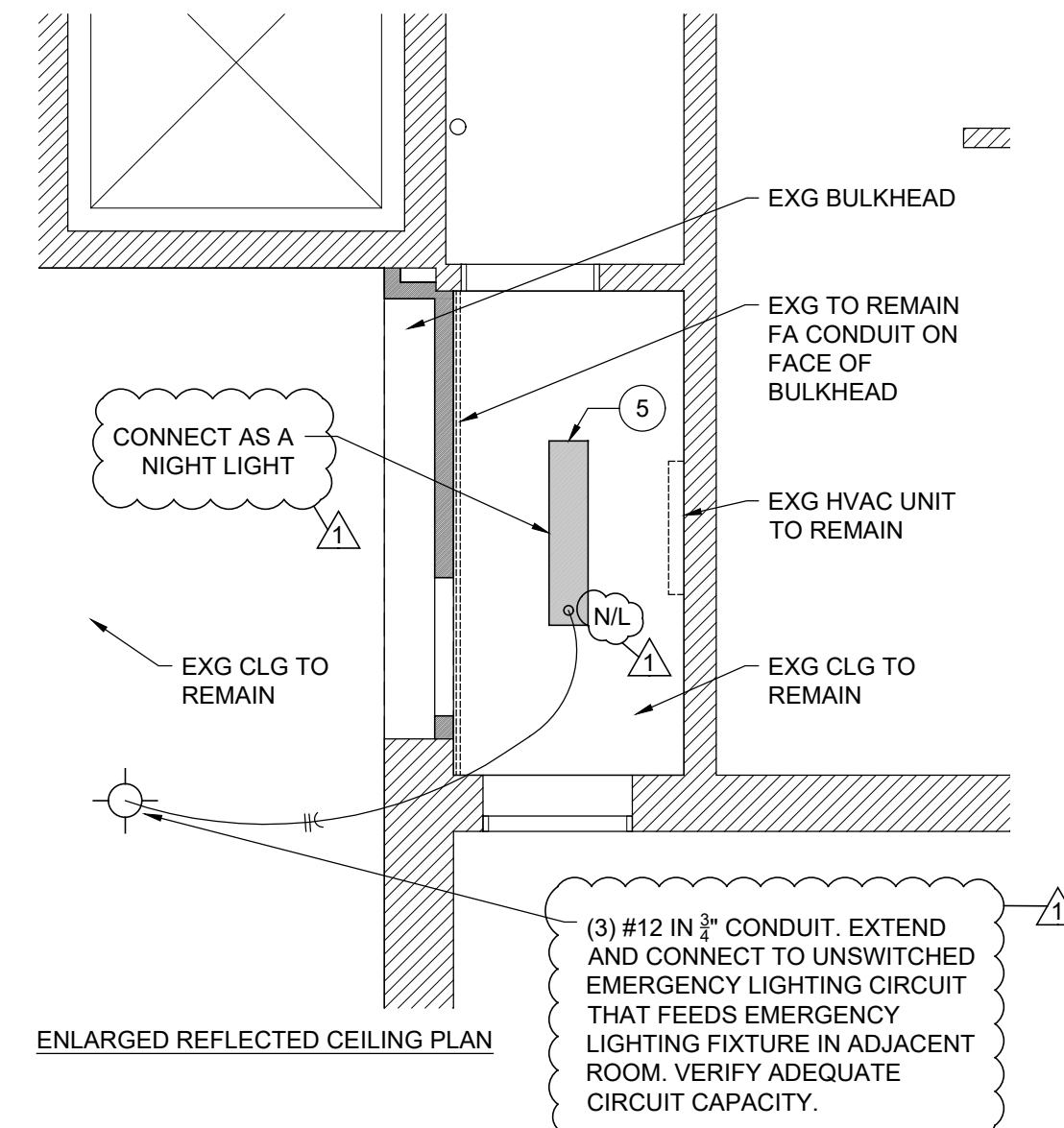
G001



- PLAN KEY**
- EXISTING DOOR TO REMAIN
 - NEW DOOR
 - EXISTING WALL TO REMAIN
 - NEW FULL HEIGHT PARTITION
 - NEW PARTIAL HEIGHT WALL

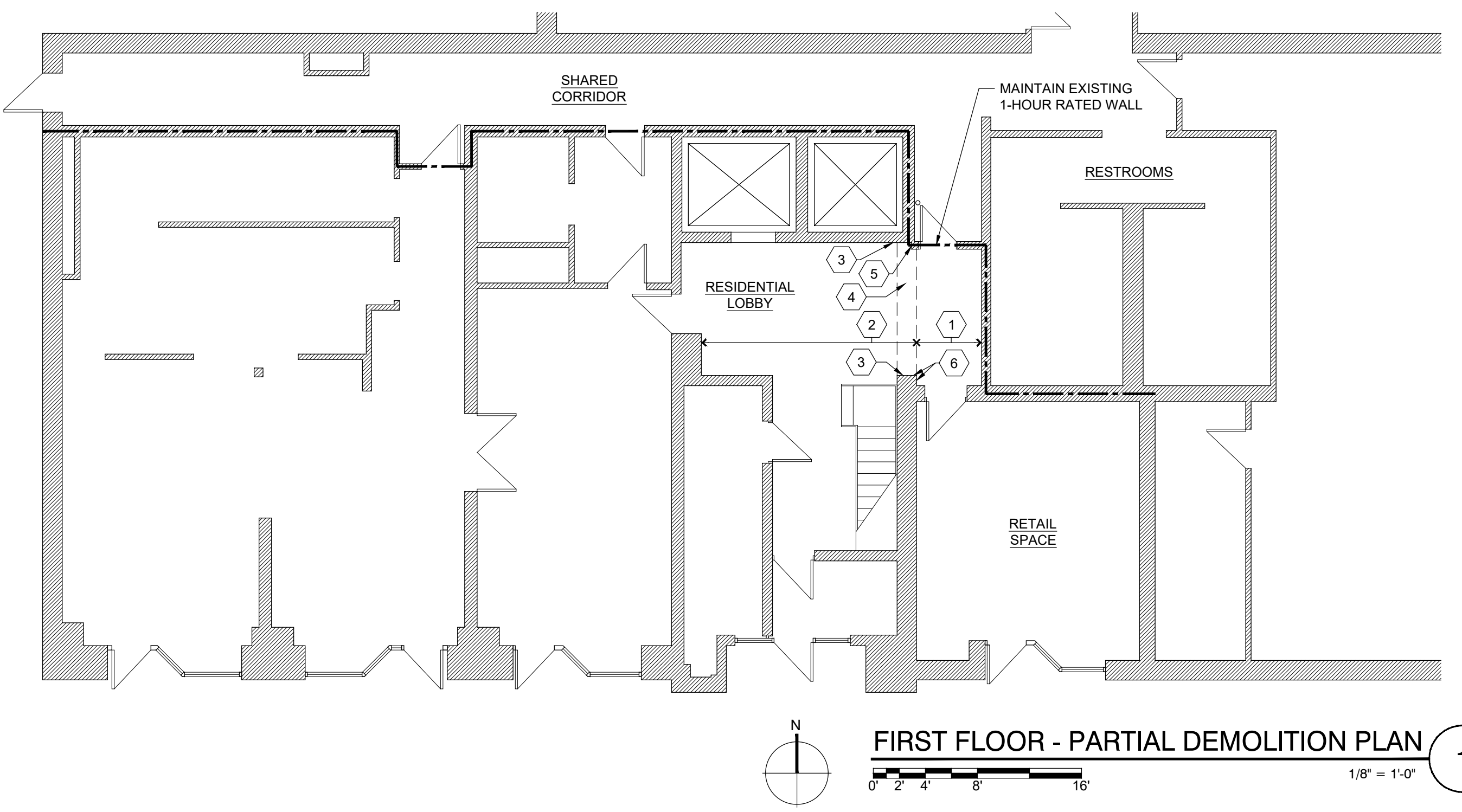
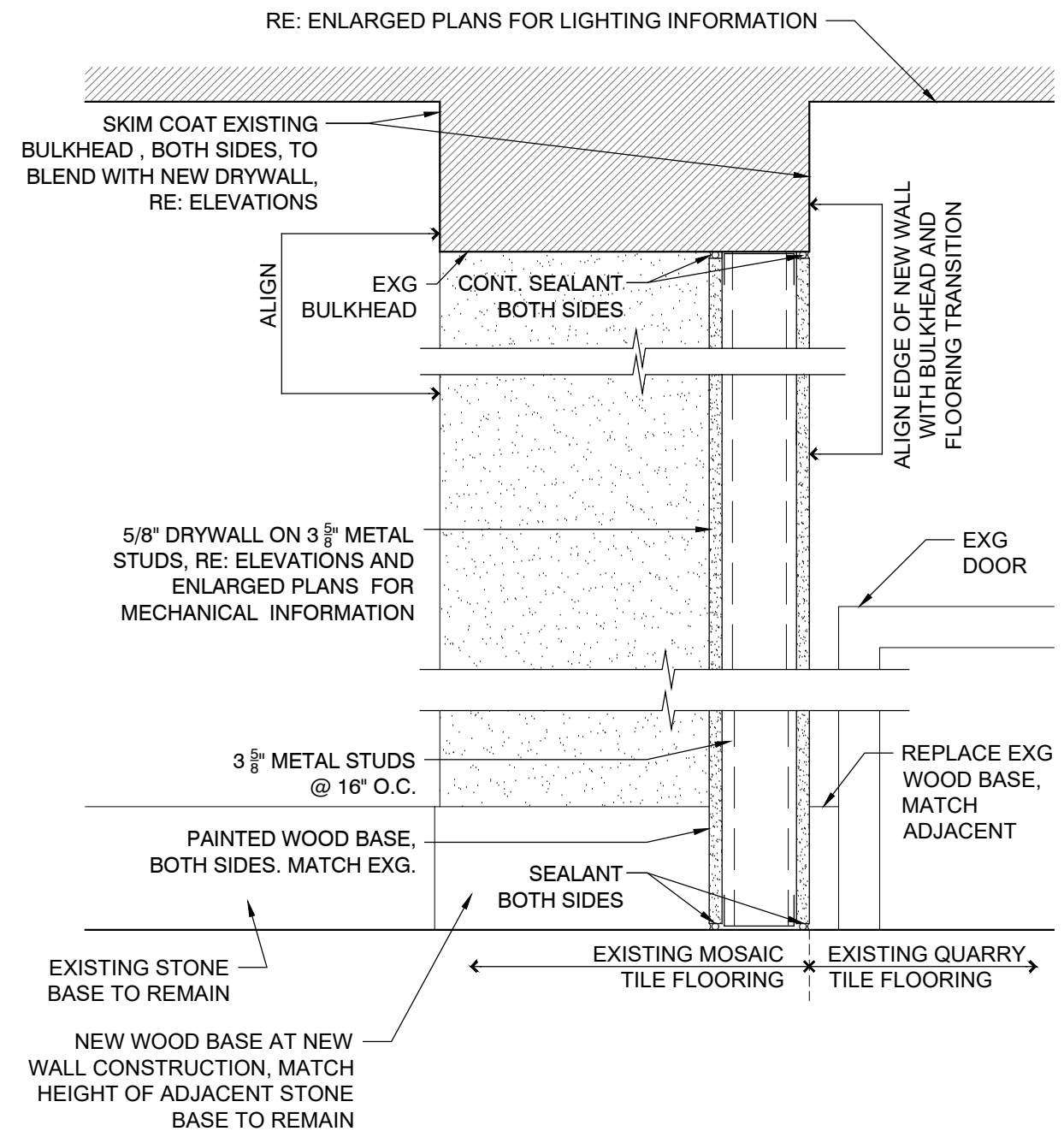
PLAN & ELEVATION NOTES

- 1 MODIFY AND/OR REPLACE EXISTING WOOD BASE AS REQUIRED TO MEET NEW WALL
- 2 NEW WOOD BASE, PAINTED WHITE. MATCH EXISTING ADJACENT BASE.
- 3 14" x 14" EACH OF (2), TRANSFER AIR GRILLES, ONE ON EACH FACE OF WALL. EH PRICE MODEL 96, HEAVY DUTY GRILLE WITH BLADES SPACED 3/4" AND 45° DEFLECTION.
- 4 IN WALL TRANSFER FAN WITH ELECTRONIC SPEED CONTROL MOUNTED IN WALL ABOVE DOOR. BROAN MODEL 510 +/- 370 CFM 120VAC 1 Ø +/- 2 AMPS
- 5 NEW LIGHT FIXTURE HE WILLIAMS MODEL 39 - 4 - L30 835A DIM UNV 4" SURFACE LIGHT FIXTURE WITH FROSTED RIBBED ACRYLIC LENS. 120V 1Ø NOMINAL 3000 LUMENS 23 WATTS 3500 DEGREES K COLOR TEMP AND 80 CRI
- 6 (3) # 12 IN 3/4" c TO 20A IP CB IN EXISTING PANEL, FIELD VERIFY LOCATION
- 7 ELECTRONIC SPEED CONTROL, MOUNT +/- 7-6" A.F.F.



ENLARGED PLANS 10
1/4" = 1'-0"

FIRST FLOOR - PARTIAL FLOOR PLAN 3
1/4" = 1'-0"



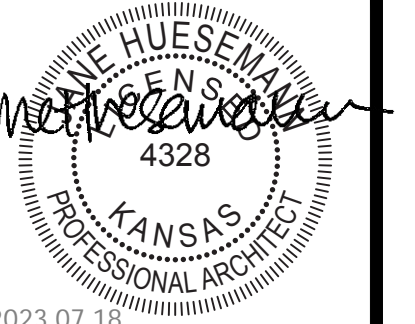
WALL SECTION 9
1 1/2" = 1'-0"

FIRST FLOOR - PARTIAL DEMOLITION PLAN 1
1/8" = 1'-0"

DEMOLITION PLAN NOTES

- 1 EXISTING QUARRY TILE FLOORING TO REMAIN
- 2 EXISTING MOSAIC TILE FLOORING TO REMAIN
- 3 EXISTING STONE BASE TO REMAIN
- 4 EXISTING BULKHEAD TO REMAIN
- 5 REMOVE EXISTING WOOD BASE FOR INSTALLATION OF NEW WALL.
- 6 REMOVE PORTION OF STONE BASE FOR INSTALLATION OF NEW WALL

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REVISION	DESCRIPTION	DATE
1	REVISION 1	07/13/2023

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FLOOR PLANS,
ELEVATIONS AND
DETAILS
A101