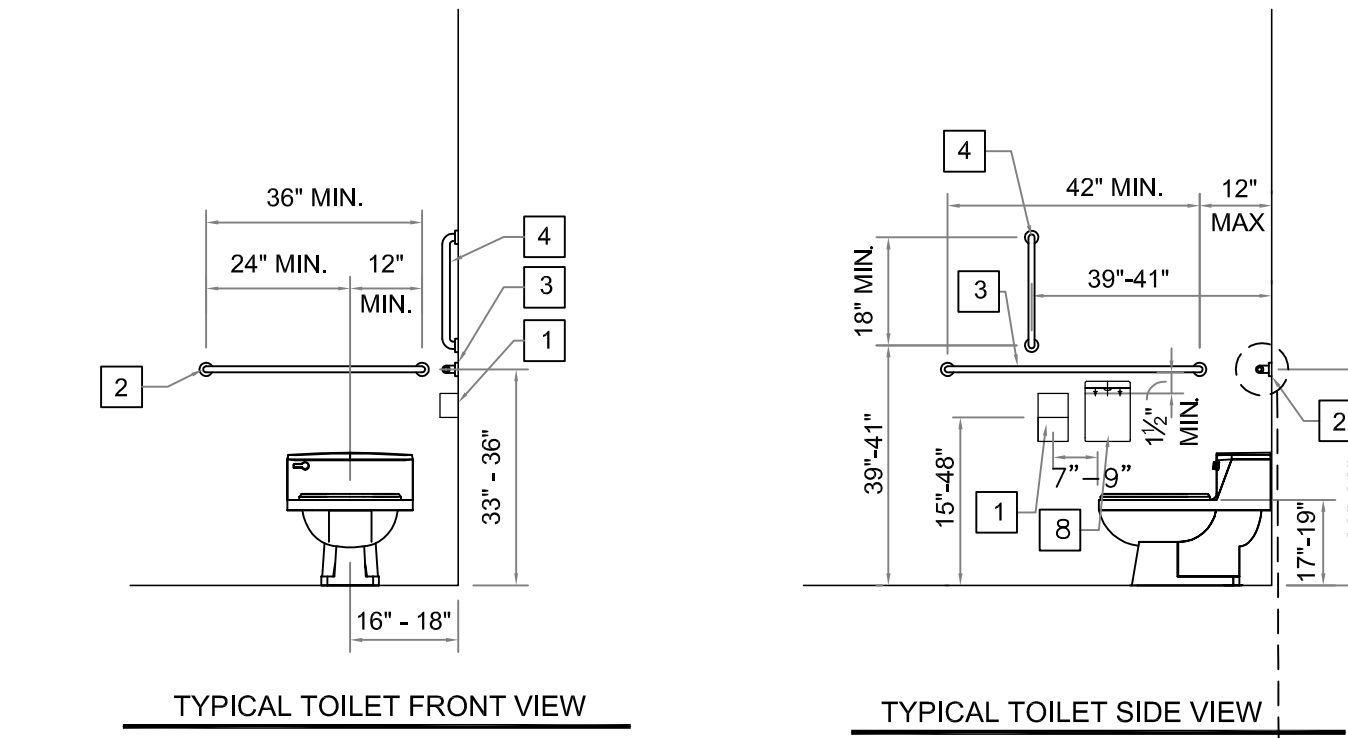
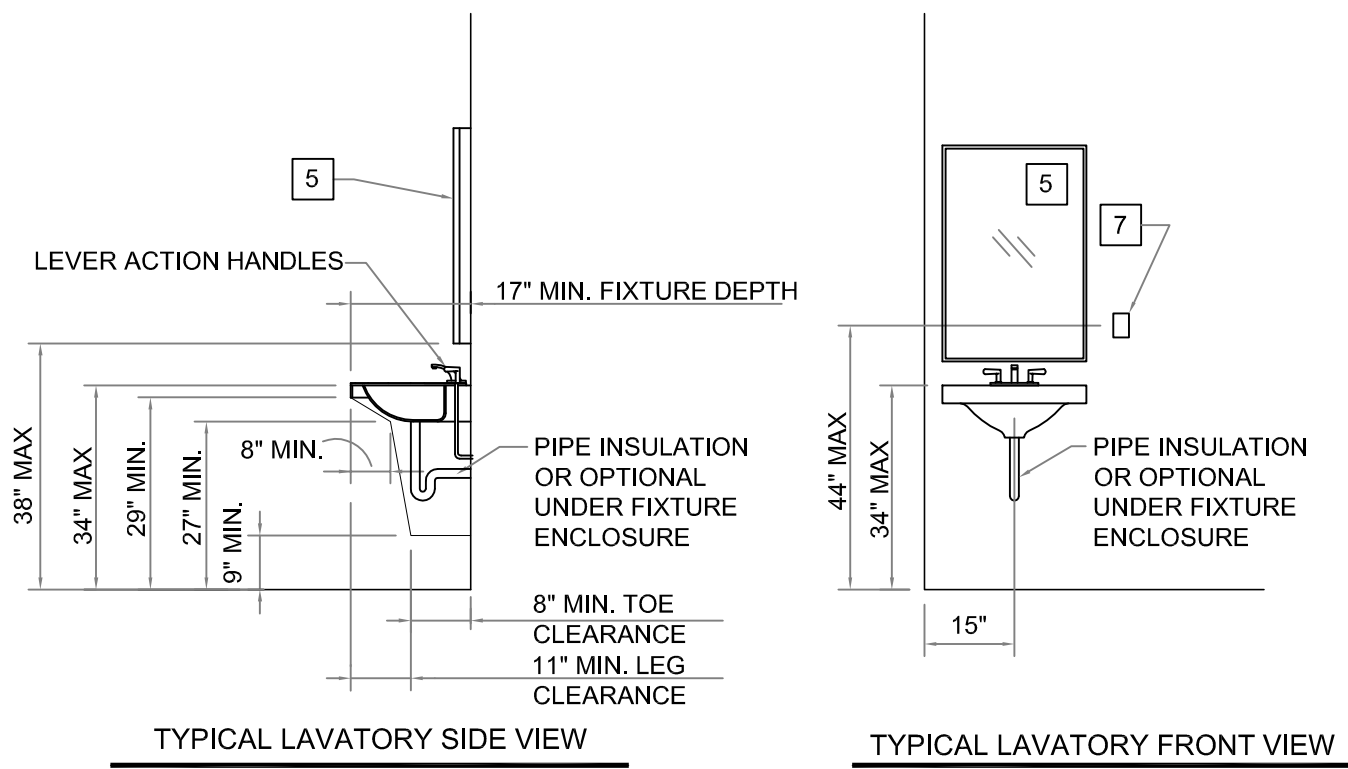


# Public Bathrooms - Remodel

## 111 Calhoun Street, Bluffton, SC 29910

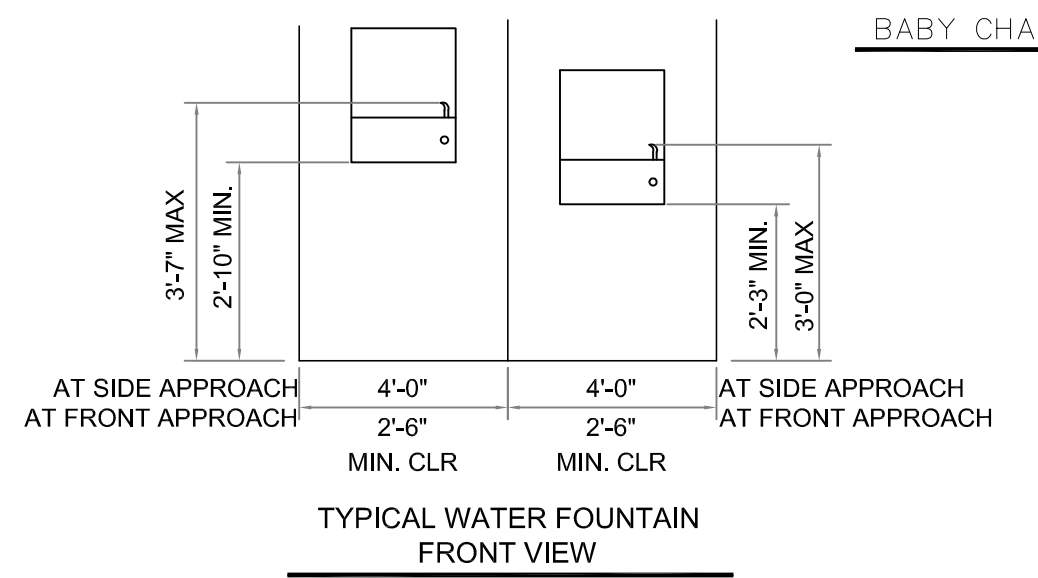
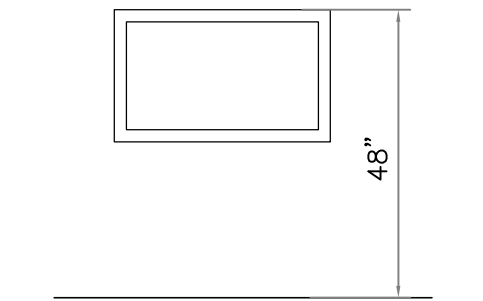
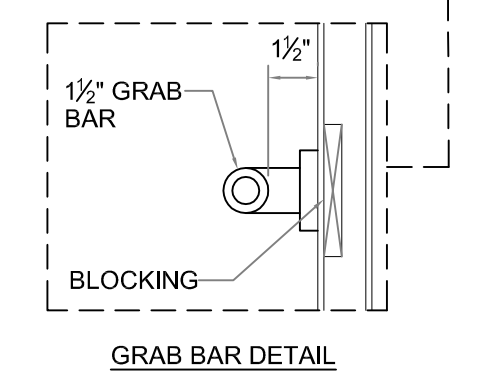
DO NOT SCALE FROM DRAWINGS	
NO.	DATE
RELEASED FOR PERMIT	05.22.19
DESCRIPTION / REVISION LOG	SDB
INITIAL	

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- TOILET ACCESSORIES**
- 1 TOILET PAPER DISPENSER
  - 2 36\"/>

NOTE:  
 1. PROVIDE ICC/ANSI A117.1-2009 COMPLIANT "UNISEX" SIGNAGE W/ BRAILLE  
 2. ALL FIXTURES TO MEET FEDERAL, STATE AND LOCAL ADA REQUIREMENTS.



BABY CHANGING STATION

**PROJECT DESCRIPTION**  
 This project consists of a renovation of an existing 1-story building, located at 111 Calhoun Street, in the Town of Bluffton.

**PROJECT TEAM**  
**ARCHITECT:**  
 Pearce Scott Architects  
 H. Pearce Scott, AIA  
 6 State of Mind Street, Suite 200  
 Bluffton, SC 29910  
 P: 843.837.5700  
 C: 843.816.6067  
 E: pearce@pscottarch.com

**MEP ENGINEER:**  
 Thomas & Reel Engineering Consultants, Inc.  
 Dan. R. Reel  
 9100 White Bluff Road, Suite 306  
 Savannah, GA 31406  
 P: 912.920.0950  
 F: 912.920.0948  
 E: dreel@thomasreel.com

**DRAWING INDEX**

CVR	COVER SHEET & GENERAL DETAILS
	SITE SURVEY
S1.0	STRUCTURAL NOTES
S1.1	STRUCTURAL NOTES
S2.0	STRUCTURAL NOTES
S2.1	SECTION DETAILS
M1.0	MECHANICAL PLAN
E0.1	ELECTRICAL NOTES
E0.2	ELECTRICAL RISER DIAGRAM & SIGN PLAN
E1.0	ELECTRICAL FLOOR PLAN
E2.0	ELECTRICAL SCHEDULES
P1.0	PLUMBING NOTES
P2.0	PLUMBING WASTE PLAN
P2.1	PLUMBING WATER PLAN
P3.0	RISERS
A001	SITE PLAN
A101	EXISTING PLAN & EXTERIOR ELEVATIONS
A102	PROPOSED PLAN & EXTERIOR ELEVATIONS
A103	FOUNDATION & ROOF PLANS
A104	SECTION & DETAILS

**CODE INFORMATION**

**I. GENERAL**

A. Property Address: 111 Calhoun Street  
Bluffton, SC 29910

B. Gross Project Area: 786 sq.ft

C. Building Height in Stories: 1 Story (Existing Wood Framed Structure)

**II. CODE REQUIREMENTS**

A. Applicable Codes (with South Carolina Amendments):  
 2015 International Building Code  
 2014 National Electric Code  
 2015 International Mechanical Code  
 2015 International Plumbing Code  
 2015 International Fire Code  
 2009 International Energy Conservation Code  
 2009 ICC/ANSI 117.1 Accessibility Code  
 2015 NFPA 101 Life Safety Code

B. Occupancy Classification: Utility and Miscellaneous Group U

C. Fire District Provisions: Applicable

D. Construction Type:  
 1. Type VB nonsprinklered and unprotected - (IBC Section 602.2)  
 2. IBC Table 503  
 Maximum Number of stories - 2 stories allowed - Complies  
 Allowable Area: 8,500 sq.ft. per floor (Non-sprinklered)  
 Actual: 786 Net sq.ft. - complies

E. Construction Protection  
 1. Fire Protection of Structural Elements (IBC Table 601)  
 Structural Frame: 0hr Required  
 Bearing Walls - Exterior: 0hr Required  
 Bearing Walls - Interior: 0hr Required  
 Non-bearing Walls: 0hr Required  
 Floor/Ceiling construction: 0hr Required  
 Roof/Ceiling construction: 0hr Required

2. Fire Separation Requirements (IBC 602)  
 A. Fire Resistance Rating Requirements  
 for Exterior Walls based Separation Distance  
 Type VB : 5' < X < 10' - 1 Hour Fire Rating Required

F. Occupancy Load (IBC Table 1004.1.2)  
 1. Public Bathrooms Not Applicable

G. Means of Egress (LSC 7.3.3)  
 1. Stairs(LSC 7.2.2.): Not Applicable  
 Doors(LSC 7.2.1.2.3): Required: 32" - Provided: 34"  
 Corridors:(LSC 13.3.6) Not Applicable  
 Ramps: Not Applicable

2.Number of Exits per Floor (IBC Table 1006.3.1) Required: 2 - Provided: 4 Complies

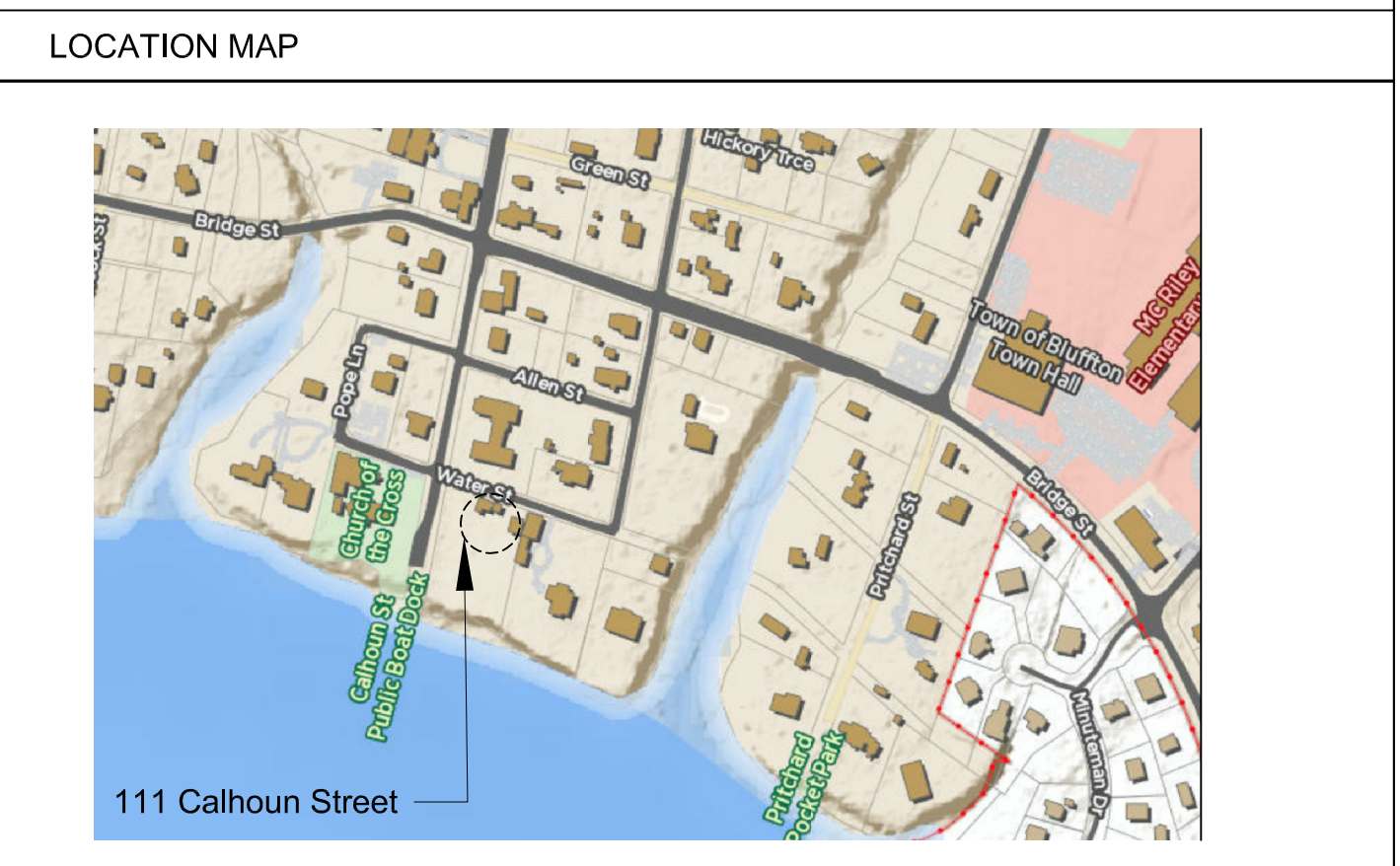
3.Travel Distance to Exits (IBC Table 1017.2) Allowed: 300'-0" max  
Non-sprinklered Actual: 17'-0"

4.Common Path of Travel (IBC Table 1006.2.1) Allowed 100'-0" max.  
Actual: N/A

5.Dead-end Corridor (IBC 1020.4) Allowed: 20'-0" max.  
Actual: N/A

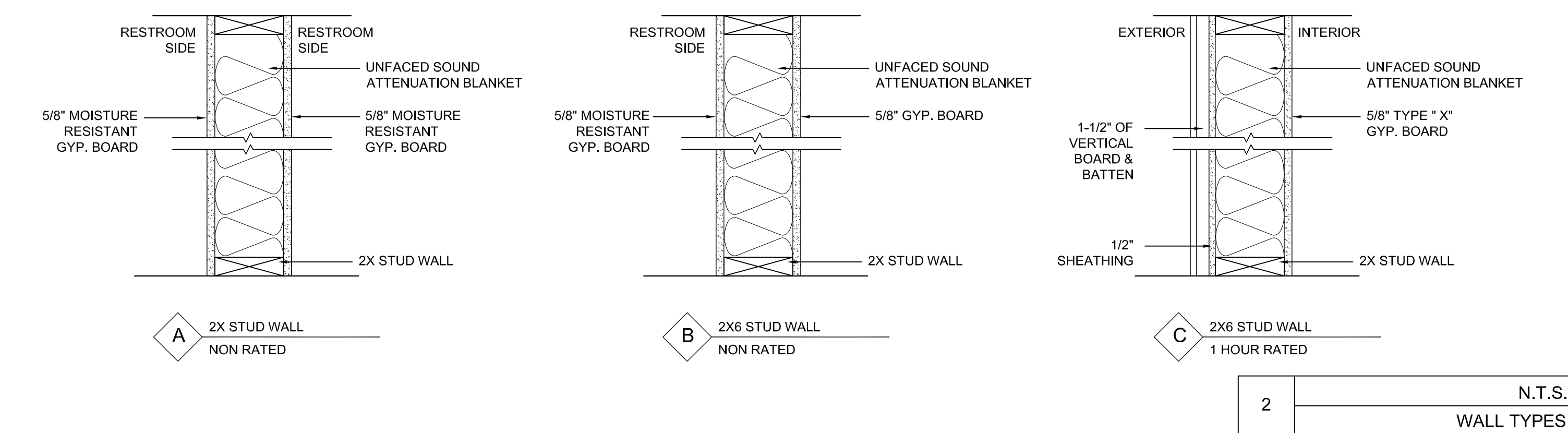
H. Marking Means of Egress (IBC 1008 & 1025)  
 Means of egress shall have signs in accordance with IBC section 1008 Exits, other than main exterior exit doors shall be marked by an approved sign readily visible from any direction of exit access.

I. Interior Finishes (LSC 13.3.3)  
 Wall and Ceiling Finishes: Class A, B or C  
 Floor Finish: No Requirements



**GENERAL NOTES**

- Approved numbers or addresses shall be provided in a position that is visible and legible from the street or roadway. Letters and numbers shall be a minimum of 4 inches in height with a minimum 0.5 inch stroke. (501.2)
- Toilet rooms are required to have a smooth, hard, nonabsorbent surface that extends at least 4 inches onto walls. (1210.2.1)
- Walls within 2 feet of urinals and water closets are required to be covered with a smooth, hard, nonabsorbent surface to a height of 4 feet. (1210.2.2)
- Accessible routes shall coincide with or be located in the same area as a general circulation path. Where the circulation path is interior, the accessible route shall also be interior. (1104.5)
- The minimum ramp width is 44 inches. If a ramp serves an occupant load of 50 or less, it may be 36 inches wide. If the ramp is serving a high occupant load, check exit requirements above for required width. (1012.5.1 & Table 1020.2) If the ramp is part of the means of egress, the maximum slope is 1:12. All other ramps may have a slope of 1:8 or less. (1012.2)
- Landings shall be provided at the top, bottom, points of turning and at doors. (1012.6) Landings shall have a length of at least 60 inches in the direction of travel. (1012.6.3) The surface shall be of slip-resistant materials that are securely attached. (1012.7.1) Handrails shall be per stair requirements. (1012.8) A curb, rail, wall or barrier shall be provided that prevents the passage of a 4 inch diameter sphere, where any portion of the sphere is within 4 inches of the floor or ground surface. (1012.10.1)



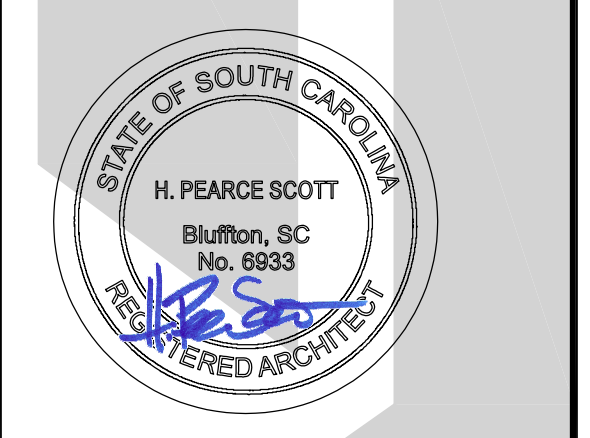
3	N.T.S.
	ADA MOUNTING HEIGHTS

1	N.T.S.
	CODE INFORMATION

2	N.T.S.
	WALL TYPES

**A REMODEL FOR:**  
 TOWN OF BLUFFTON  
 111 CALHOUN STREET  
 OLD TOWN NEIGHBORHOOD  
 BLUFFTON, SC 29910

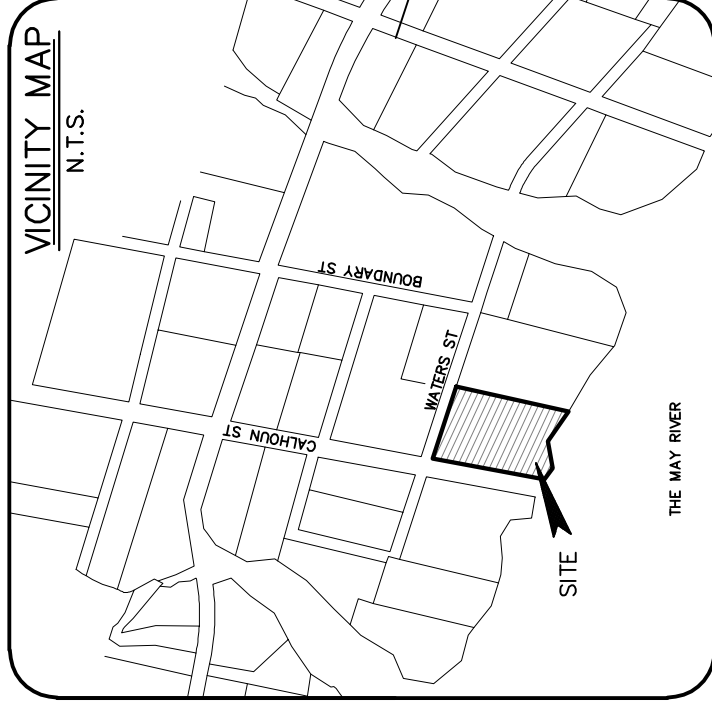
**PEARCE SCOTT ARCHITECTS**  
 6 STATE OF MIND ST  
 SUITE 200  
 BLUFFTON, SC 29910  
 843.837.5700



PROJECT NO.	1866
DATE	05.22.19
DRAWN BY	SDB
CHECKED BY	AWB

**COVER SHEET & GEN. DETAILS**  
 SHEET NO.

**CVR**



R610 039 00A 0106 0000  
BLUFFTON UNITED METHODIST CHURCH INC  
PO BOX 368  
BLUFFTON SC 29910

R610 039 00A 0109 0000  
OWENS CHARLES EDWARD III REBECCA EDE  
BLUFFTON SC 29910

R610 039 00A 0110 0000  
RHODES CAROLYN D  
BLUFFTON SC 29910

- LEGEND & SYMBOLS:**  
TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
  - CMF 3" CONCRETE MONUMENT FOUND
  - IPFF 3/4" IRON PIPE FOUND
  - BM BENCHMARK
  - IEM INVERT ELEVATION MARK
  - PVC POLYVINYL CHLORIDE
  - LO LIVE OAK
  - MAG MAGNOLIA
  - PIN PINE
  - WY WYOMING
  - WO WATER OAK
  - SB SUGAR BERRY
  - CH CHERRY
  - CED CEDAR
  - CH CHERRY
  - ELS ELECTRIC SERVICE
  - TTS TELEPHONE SERVICE
  - WM WATER METER
  - VB VALVE BOX
  - UP UTILITY POLE
  - S SIGN
  - F FIRE HYDRANT
  - L UP TANK (UNDERGROUND)

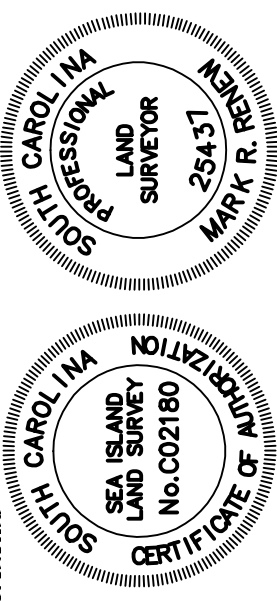
**ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:  
SQUIRE POPE CARRIAGE HOUSE  
CALHOUN STREET TOWN OF BLUFFTON,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: THE TOWN OF BLUFFTON**

DATE: 9/10/18 SCALE: 1" = 20'



**SLIS** Sea Island Land Survey, LLC  
4D Matthews Court,  
Hilton Head Island,  
SC 29926  
Tel: (843) 681-3248  
Fax: (843) 688-3871  
E-mail: slis@slisurvey.com  
DWG No.: 9-1737

**IMPORTANT NOTICE TO THE USER OF THIS INFORMATION:**  
THIS DOCUMENT IS THE PROPERTY OF SEA ISLAND LAND SURVEY, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SEA ISLAND LAND SURVEY, LLC.



NOT VALID UNLESS EMBOSSED.

- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. REVISIONS AND CORRECTIONS TO THIS SURVEY SHALL BE THE RESPONSIBILITY OF THE CLIENT AND WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
  - 4) VERTICAL DATUM IS NAVD83.
  - 5) CONTOUR INTERVAL IS 1'.
  - 6) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 7) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

**REFERENCE PLATS**

- 1) BOUNDARY, ASBUILT, TREE & TOPOGRAPHIC SURVEY OF THE SQUIRE POPE CARRIAGE HOUSE, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA. ROD: BEAUFORT COUNTY, SC BY: TERRY G. HATCHELL S.C.R.L.S. # 11059
- 2) AN ASBUILT SURVEY OF PARCEL 112 & 115, DISTRICT 610, MAP 39-A, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 6/19/01 RECORDED IN BOOK 87, PAGE 174, DATED 6/25/02 ROD: BEAUFORT COUNTY, SC BY: FORREST F. BRIGHMAN S.C.R.L.S. # 4922

**DISTRICT: 610, MAP: 39A, PARCEL: 111**  
**PROPERTY AREA: 1.36 AC. 59,242 S.F.**  
**ADDRESS: 111 CALHOUN STREET**  
**THIS PROPERTY LIES IN FEMA ZONE A6 & C**  
**BASE FLOOD ELEVATION = 14.07 & N/A**  
**COMMUNITY NO. 460251, PANEL 0001A, DATED: 9/29/86**

LINE	LENGTH	BEARING
L1	12.40	N. 65°11'13" W.
L2	39.76	N. 58°51'14" W.
L3	52.22	N. 72°48'59" W.
L4	30.65	N. 52°42'29" W.
L5	30.65	N. 52°42'29" W.
L6	26.90	N. 79°51'02" W.
L7	21.04	S. 32°18'26" W.
L8	20.40	S. 81°24'18" W.
L9	22.84	S. 30°29'43" W.
L10	19.49	N. 62°23'70" W.
L11	19.49	N. 62°23'70" W.
L12	31.56	N. 05°04'25" E.
L13	18.73	N. 76°02'05" E.
L14	9.03	N. 74°19'42" W.
L15	8.36	S. 89°12'17" W.
L16	28.86	N. 60°14'04" W.
L17	25.87	S. 78°50'07" E.
L18	50.84	S. 73°58'10" E.





**VAPOR BARRIER NOTE**

INSTALL 6 MIL VAPOR BARRIER IN CRAWL SPACE. ALL SEAMS MUST BE TAPED AND SEALED PROPERLY. VAPOR BARRIER MUST EXTEND AT LEAST 12" UP EACH PIER AND STEM WALL.

**CONCRETE NOTES**

- 1 ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- 2 ALL CONCRETE WORK SHOULD BE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- 3 ALL REINFORCING STEEL TO BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60 EXCEPT THAT TIES MAY BE DOMESTIC STEEL CONFORMING TO ASTM A-615 GRADE 60.
- 4 WELDED WIRE FABRIC SHALL CONFORM TO A-185. POLYPROPYLENE FIBERMESH OR FIBER STRANDS MAY BE SUBSTITUTED FOR WELDED WIRE FOR NON STRUCTURAL SLAB REINFORCEMENT.
- 5 CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, ANCHOR BOLTS, INSERTS, ETC. AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED. NO SLEEVES, OPENINGS OR INSERTS MAY BE PLACED IN BEAMS OR SLABS UNLESS APPROVED BY THE ENGINEER AND SHOWN ON SHOP DRAWINGS.
- 6 ALL REINFORCING DETAILS TO CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, ACI 315," UNLESS DETAILED OTHERWISE ON STRUCTURAL DRAWINGS.
- 7 PROVIDE SPACERS, CHAIRS, BOLTERS, ETC. AS REQUIRED TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLAN.
- 8 PROVIDE CORNER BARS FOR ALL FOOTINGS, ALL FOOTING DOWEL BARS SHALL HAVE A STANDARD 90 DEGREE HOOK AND SHALL BE EMBEDDED 5" INTO INTERIOR FOOTINGS AND A MINIMUM OF 7" INTO ALL OTHERS. DOWEL BARS LAP VERTICAL WALL REINFORCEMENT A MINIMUM OF 25".
- 9 ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- 10 SOIL UNDER SLAB TO BE PRETREATED FOR TERMITES AS PER THE 2015 INTERNATIONAL BUILDING CODE.
- 11 ALL FOOTINGS TO BE DESIGNED FOR AN ASSUMED SOIL PRESSURE OF 2000 P.S.F. OWNER #/OR CONTRACTOR TO HAVE SOIL PRESSURE VERIFIED AND IF CONTACT PRESSURE IS LESS THAN 2000 P.S.F. FOUNDATION SHALL BE REDESIGNED. COMPACT FILL SOIL TO 95% STANDARD DENSITY IN ACCORDANCE WITH ASTM D-1557 DOWN TO 2'-0" BELOW ALL SLABS & FOOTINGS.
- 12 PLUMBING WASTE PIPE PENETRATING FOOTING SHALL BE CAST IRON OR SCH 40 PVC. GROUT WORK AS PER ASTM C47613. MASONRY WORK AS PER ACI 530.1-02

**STRUCTURAL STEEL COMPONENTS FASTENERS & TIE DOWNS**

- 1 SHAPES, ANGLES, CHANNELS: ASTM A 36 Fy = 36KSI ROUND AND SQUARE METAL PIPE: ASTM A 53 GRADE B Fy = 36 KSI; SQUARE METAL TUBING: ASTM A 500, GRADE B Fy = 36 KSI
- 2 FASTENERS AND TIE DOWNS SHALL CONSIST OF BUT ARE NOT LIMITED TO:  
HIGH STRENGTH BOLTS: ASTM A325  
MACHINE BOLTS: GALVANIZED ASTM A 307
- 3 SHEET METAL ACCESSORIES SHALL CONFORM TO: ASTM A44G OR ASTM A 52G Fy = 33 KSI WITH G90 GALVANIZED COATING IN ACCORDANCE WITH ASTM A 525.
- 4 NAILS SHALL CONSIST OF RING SHANK NAILS WITH MINIMUM DIAMETER AS FOLLOWS:  
8D = .131", 10D = .148", 16D = .162"
- 5 ALL FASTENERS AND TIE DOWNS EMBEDDED IN CONCRETE OR USED IN AN EXTERIOR APPLICATION ARE TO RECEIVE AN ANTI-CORROSIIVE COATING PRIOR TO INSTALLATION.
- 6 ALL FASTENERS AND TIE DOWNS ARE TO PROVIDE THE UPLIFT CAPACITY CALLED FOR IN THE PLANS AS A MINIMUM.
- 7 ALL FASTENER TIE DOWNS, BEAM HANGERS, JOIST HANGERS, AND FLOOR TRUSS STRAPPING ARE TO BE INSTALLED IN ACCORDANCE WITH THE PLANS AND MANUFACTURERS SPECIFICATIONS.
- 8 CONCRETE EMBEDDED "J" BOLTS USED FOR UPLIFT ARE TO BE WET SET PRIOR TO INITIAL SET OF THE CONCRETE SPACING AND ALIGNMENT ARE TO BE IN ACCORDANCE WITH THE DESIGN PLANS.
- 9 CONCRETE EMBEDDED TIE DOWNS USED FOR TRUSS AND WALL UPLIFT ARE TO BE PLACED AROUND EMBEDDED REINFORCING PRIOR TO PLACING GROUT/CONCRETE.
- 10 FASTENERS ARE TO BE GALVANIZED ROOFING NAILS WITH A MINIMUM OF 12 GAUGE SHANK AND A MINIMUM 3/8" DIA. HEAD.
- 11 FASTENERS ARE TO BE LONG ENOUGH TO PENETRATE THE SHINGLES AND STILL PROTRUDE AT LEAST 3/4" INTO OR THROUGH THE ROOF SHEATHING, USE 1" NAILS MIN.

**FOUNDATION DESIGN ASSUMPTIONS**

THE FOUNDATION SHALL BE PLACED ON UNDISTURBED SOIL OR ROCK WITH A BEARING CAPACITY WITH A SAFE WORKING ZONE DESIGNATED BY GEOTECHNICAL ENGINEER. IF PORTIONS OF THE SLAB OR FOUNDATION IS ON PREPARED FILL, A REGISTERED GEO-TECHNICAL ENGINEER SHALL VERIFY SUITABILITY OF THE FILL FOR USE AND ITS FOUNDATION BEARING CAPACITY, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SOIL AND/OR SITE LOCATION PRIOR TO COMMENCING WORK AND NOTIFYING THE ENGINEER OF ANY DISCREPANCIES IN THIS DESIGN IMMEDIATELY.

**SOIL BEARING CAPACITY**

SOIL BEARING PRESSURE ASSUMED AT 2000 P.S.F. OWNER DID NOT FURNISH TESTS TO ESTABLISH S.B.P. OWNER ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY & ALL FOUNDATION SETTLEMENT AND HOLDS HARMLESS ENGINEER.

**ENTRY STEP NOTE**

GENERAL CONTRACTOR SHALL DETERMINE IN-FIELD THE LOCATIONS AND PLACEMENT OF ENTRY STAIR AND LANDINGS AS PER SITE CONDITIONS. THESE STAIRS AND LANDINGS SHALL COMPLY WITH THE IRC 2015.

**DIMENSION NOTE**

SEE ARCHITECTURAL PACKAGE FOR DIMENSIONS AND FINISH FLOOR ELEVATIONS NOT SHOWN HEREIN.

**FRAMING SYSTEM NOTE**

ALL FRAMING SYSTEMS ARE TO BE DESIGNED BY OTHER AND SUBMITTED FOR REVIEW BY ENGINEER UTILIZING L480 DEFLECTION CRITERIA.

**CONTROL JOINT NOTE**

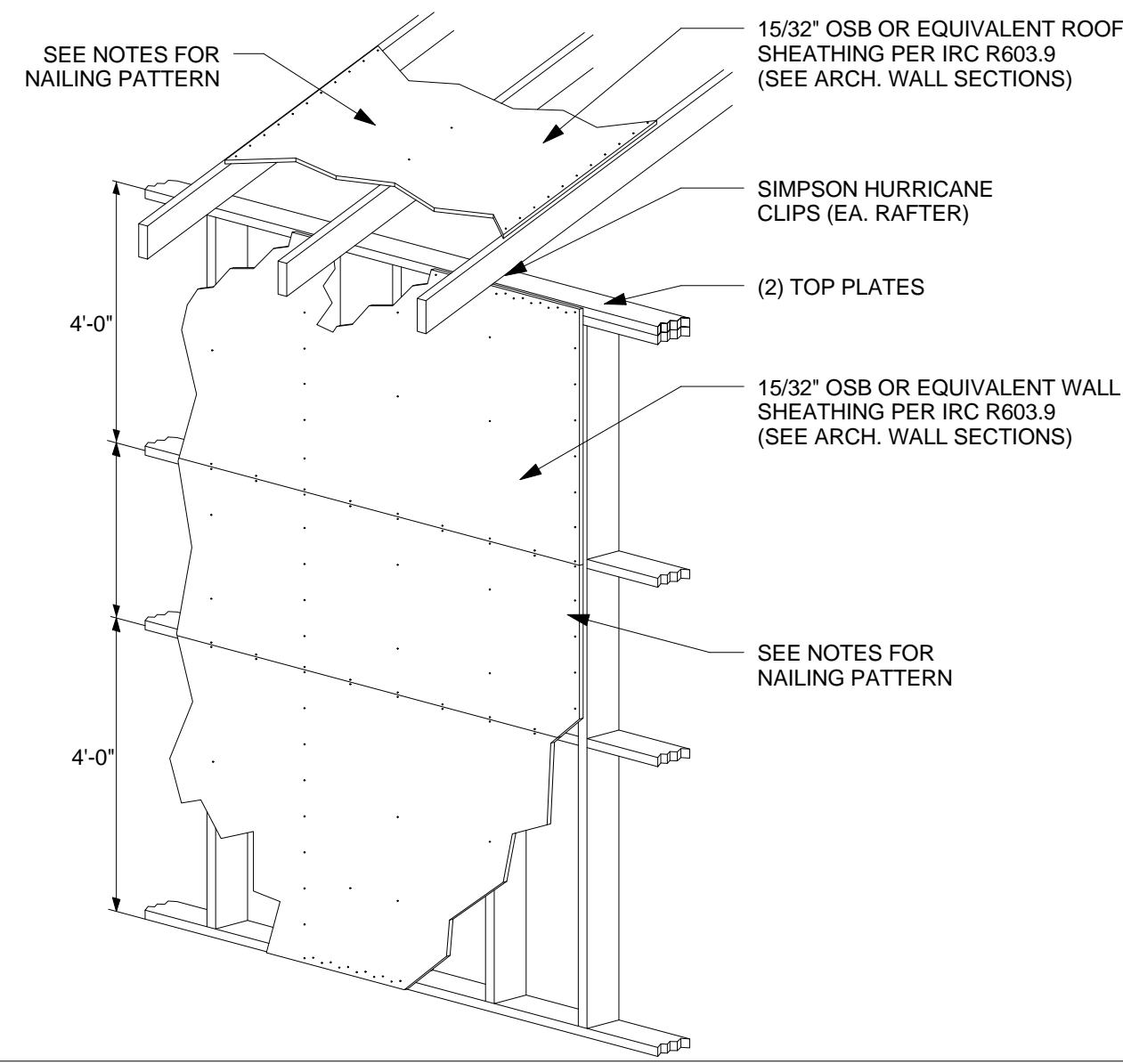
FOR A 4" THICK SLAB, JOINTS SHOULD BE SPACED 8-12 FEET APART AND CUT 1" DEEP.

**MISCELLANEOUS NOTES**

1. ALL EXTERIOR WALLS TO BE SHEAR WALLS WITH NAILING PATTERN: 15/32" O5B OR EQUIVALENT 3" EDGE
2. CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STURCTURE AND ITS INDIVIDUAL MEMBERS THAT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THIS STRUCTURE IS DESIGN FOR A COMPLETE CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY DURING CONSTRUCTION.

**FOR ANY SIDING REPLACEMENT**

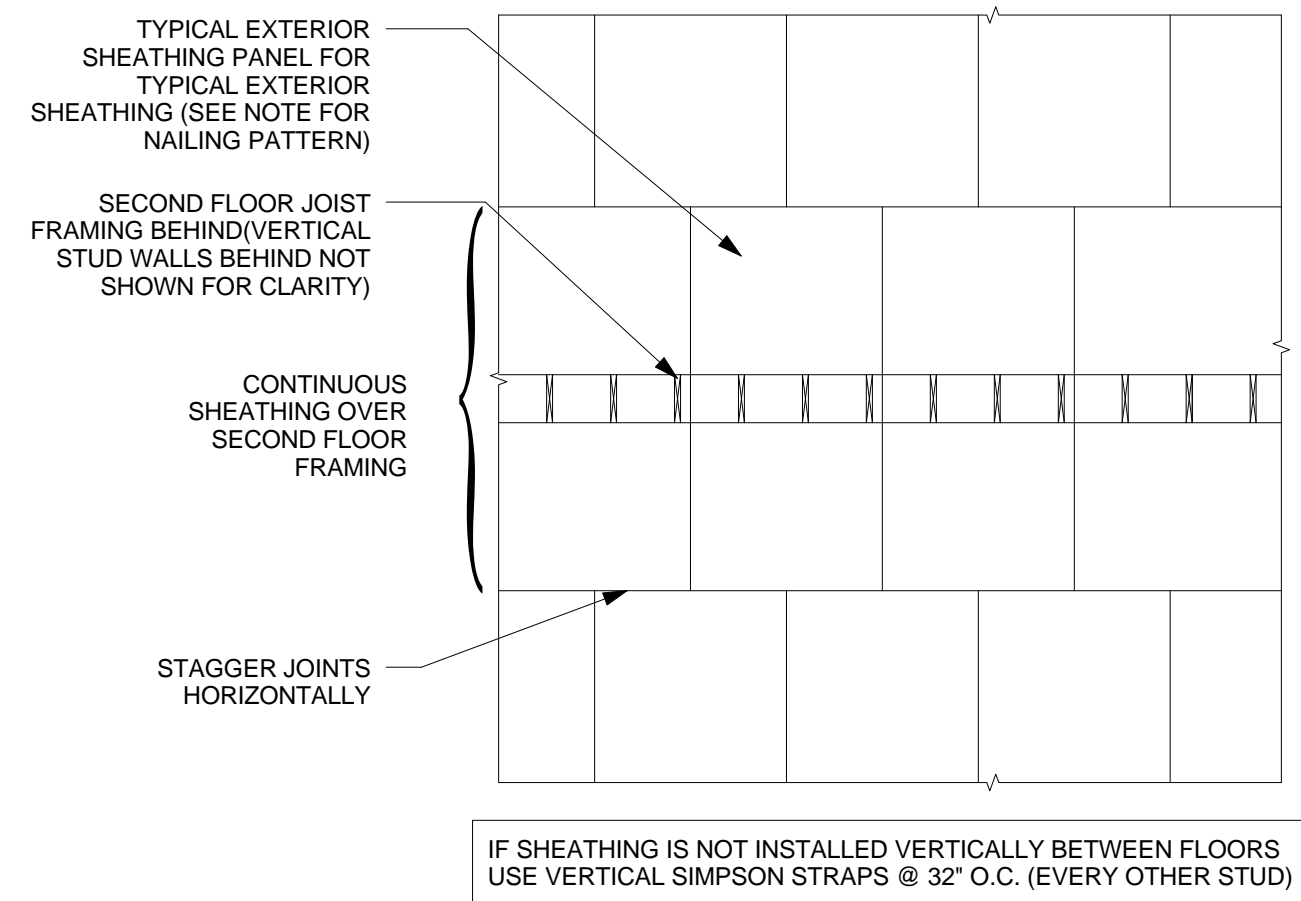
**SHEATHING NAILING PATTERN**



NOTE:  
WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS 3\"/>

NAILS IN ANY SINGLE ROW SHALL NOT BE SPACED CLOSER THAN 3\"/>

**TYPICAL SHEATHING INSTALLATION PATTERN FOR SHEAR BETWEEN FLOORS**

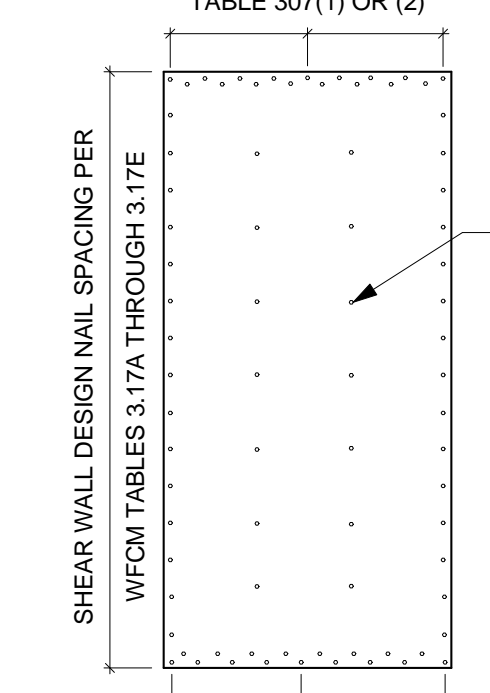


IF SHEATHING IS NOT INSTALLED VERTICALLY BETWEEN FLOORS USE VERTICAL SIMPSON STRAPS @ 32\"/>

SOIL BEARING PRESSURE ASSUMED AT 2000 P.S.F. OWNER DID NOT FURNISH TESTS TO ESTABLISH S.B.P. OWNER ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY & ALL FOUNDATION SETTLEMENT AND HOLDS HARMLESS ENGINEER.

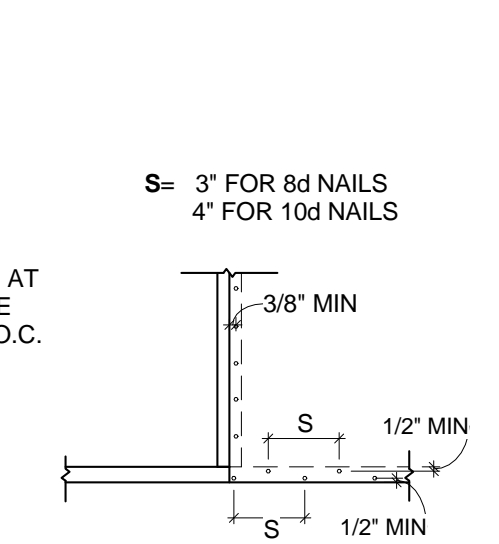
**NAIL SPACING PER ICC 600**

ALTERNATE NAIL SPACING PER TABLE 307(1) OR (2)



ALTERNATE NAIL SPACING PER TABLE 307(1) OR (2)

**DOUBLE EDGE NAIL SPACING**



**NAILING SCHEDULE**

(PER ICC-600)  
(APPLIES UNLESS NOTED OTHERWISE ON DRAWINGS)

CONNECTION	FASTENER	NUMBERS OR SPACING
JOIST TO BAND JOIST, FACE NAIL	16D COMMON	3
JOIST TO SILL OR GIRDER, TOE-NAIL	8D COMMON	3
BRIDGING TO JOIST, TOENAIL EACH END	8D COMMON	2
LEDGER STRIP	16D COMMON	3 @ EACH JOIST
1/8 OR LESS SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	2
OVER 1/8 SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	3
2\"/>		

**NOTE:**

- 1) SEE ARCHITECTURAL DRAWINGS FOR DIMENSION(S) AND CONDITION(S) NOT SHOWN HEREIN.
- 2) FRAMING BY OTHERS. TO BE DESIGNED UTILIZING L/480 DESIGN CRITERIA AND TO BE SUBMITTED TO ENGINEER FOR APPROVAL. SEE ARCHITECTURAL FOR DIMESIONS AND CONDITIONS NOT SHOWN HERIN.
- 3) SOIL BEARING PRESSURE ASSUMED AT 2000 P.S.F. OWNER DID NOT FURNISH TESTS TO ESTABLISH S.B.P. OWNER ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY & ALL FOUNDATION SETTLEMENT AND HOLDS HARMLESS ENGINEER.
- 4) CONTRACTOR TO VERIFY LOCATION OF THICKENED SLAB LOAD BEARING WALLS
- 5) CONTRACTOR TO VERIFY FOOTINGS
- 6) BUILDING CONSIDERED CATEGORIZED AS A "MINOR" STRUCTURE, THEREFORE SPECIAL INSPECTIONS IS NOT REQUIRED

STRUCTURAL

**Thomas & Reel**  
Engineering Consultants, Inc.  
trec | STRUCTURAL | MEP | FORENSICS  
www.thomasreel.com  
912-920-0950  
9100 WHITE BULLY RD., SUITE 206, SAVANNAH, GEORGIA, 31406  
PO BOX 65818 SAVANNAH, GEORGIA 31416



**WRIGHT FAMILY PARK**  
111 CALHOUN STREET OLD TOWN NEIGHBORHOOD BLUFFTON, SC

**PEARCE SCOTT ARCHITECTS**  
FOUNDATION PLAN

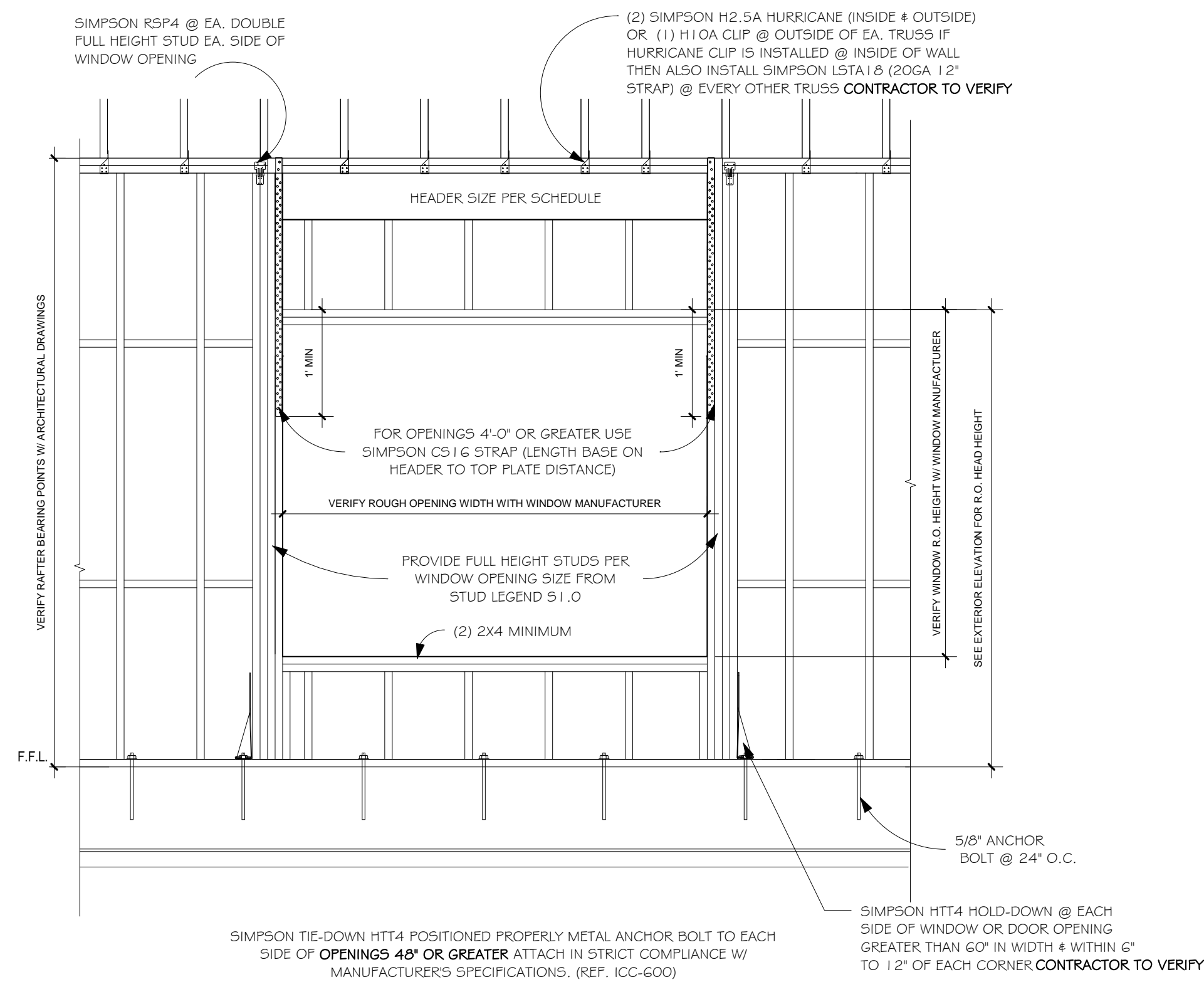
REVISIONS

MARK	DATE	DESCRIPTION

TREC No.	1809-1714-03
Date Printed	5/16/2019 2:38:45 PM
Date Issued	11/30/2018
Designed By	PU
Checked by	DR
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**S2.0**  
1/4" = 1'-0"  
FOUNDATION PLAN

DO NOT SCALE THE DRAWINGS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWINGS. VERIFY ALL DIMENSIONS, FINISHES, MATERIALS, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE OMITTED, INCORRECT, OR NOT CLEAR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.  
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1 WALL OPENING STRAP DETAIL  
N.T.S.

HEADERS IN LOAD BEARING WALLS				
HEADER SPAN (FT)	MINIMUM HEADER SIZE	REQUIREMENT AT EACH END OF HEADER		
		NUMBER OF FULL HEIGHT STUDS	UPLIFT (LB)	LATERAL (LB)
2	(2) 2X4	1	364 lb	157 lb
3	(2) 2X4	2	546 lb	236 lb
4	(2) 2X6	2	728 lb	314 lb
5	(2) 2X8	3	910 lb	393 lb
6	(2) 2X8	3	1092 lb	471 lb
7	(2) 2X10	3	1274 lb	550 lb
8	(2) 2X10	3	1456 lb	626 lb
9	(2) 2X12	3	1638 lb	707 lb
10	(3) 2X12	4	1820 lb	785 lb

HEADERS IN NON-LOAD BEARING WALLS & WINDOW SILL PLATES				
FOR NON-LOAD BEARING WALLS AND WINDOW SILL PLATES, (2) 2X4 (FLAT) CAN BE SUBSTITUTED FOR (1) 2X6				
HEADER SPAN (FT)	MINIMUM HEADER SIZE	REQUIREMENT AT EACH END OF HEADER		
		NUMBER OF FULL HEIGHT STUDS	UPLIFT (LB)	LATERAL(LB)
2	(2) 2 X 4 (FLAT)	1	60 lb	157 lb
3	(2) 2 X 4 (FLAT)	2	90 lb	236 lb
4	(2) 2 X 6	2	120 lb	314 lb
5	(2) 2 X 6	3	150 lb	393 lb
6	(2) 2 X 6	3	180 lb	471 lb
7	(2) 2 X 6	3	210 lb	550 lb
8	(2) 2 X 6	3	240 lb	628 lb
9	(2) 2 X 6	3	270 lb	707 lb
10	(2) 2 X 6	3	300 lb	785 lb
11	(2) 2 X 6	4	330 lb	864 lb

STRUCTURAL STUD SCHEDULE				
LUMBER SPECIES: #2 S.Y.P.K.D. MEDIUM GRAIN				
WALL LOCATION	CEILING HEIGHT	STUD SIZE	O.C. SPACING	OPT. STUD GRADE-(SPF)
EXTERIOR	8'-0"	2 x 4	16"	16"
EXTERIOR	9'-0"	2 x 4	16"	12"
EXTERIOR	10'-0"	2 x 6	16"	
EXTERIOR	12'-0"	2 x 6	12"	
EXTERIOR	14'-0"	2 x 6	12" & DBL @ 36"	
EXTERIOR	16'-0"	2 x 8	16"	
INTERIOR	8'-0"	2 x 4	16"	
INTERIOR	9'-0"	2 x 4	16"	
INTERIOR	10'-0"	2 x 4	16"	
INTERIOR	12'-0"	2 x 6	16"	
INTERIOR	14'-0"	2 x 6	12"	

\* STUDS MAY BE USED AT HEIGHTS AND DISTANCES OTHER THAN WHAT IS LISTED ON THIS CHART IF SHOWN ON THESE PLANS.

ROOF RAFTER SCHEDULE
PER IRC 2015 TABLE R802.5.1(6)
#2 SOUTHERN PINE DEAD LOAD= 10 PSF
2 X 6's O.C. UP TO 9'-2" (UNSHORED) SPAN
2 X 8's O.C. UP TO 11'-7" (UNSHORED) SPAN
2 X 10's O.C. UP TO 13'-9" (UNSHORED) SPAN
2 X 12's O.C. UP TO 16'-0" (UNSHORED) SPAN

CEILING JOIST SCHEDULE (WITHOUT STORAGE)
PER IRC TABLE R 802.4
2 X 6's O.C. UP TO 16'-11" (UNSHORED) SPAN
2 X 8's O.C. UP TO 21'-7" (UNSHORED) SPAN
2 X 10's O.C. UP TO 25'-7" (UNSHORED) SPAN

CEILING JOIST SCHEDULE (WITH LIMITED STORAGE)
PER IRC TABLE R 802.4
2 X 6's O.C. UP TO 12'-0" (UNSHORED) SPAN
2 X 8's O.C. UP TO 15'-3" (UNSHORED) SPAN
2 X 10's O.C. UP TO 18'-1" (UNSHORED) SPAN

FLOOR JOIST SCHEDULE FOR SOUTHERN PINE #2 WITH A DEAD LOAD OF 20 PSF		
PER IRC 2015 R502.3.1(2)		
JOIST SPACING	2X	MAXIMUM SPAN
12" O.C.	2X6	9' 10"
12" O.C.	2X8	12' 6"
12" O.C.	2X10	14' 9"
12" O.C.	2X12	17' 5"
16" O.C.	2X6	8' 6"
16" O.C.	2X8	10' 10"
16" O.C.	2X10	12' 0"
16" O.C.	2X12	15' 1"

STRUCTURAL

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**WRIGHT FAMILY PARK**  
111 CALHOUN STREET OLD TOWN NEIGHBORHOOD BLUFFTON, SC  
PEARCE SCOTT ARCHITECTS  
SECTION DETAILS

REVISIONS		
MARK	DATE	DESCRIPTION

TREC No.	1809-1714-03
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**S2.1**  
As indicated

SECTION DETAILS

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# MECHANICAL SPECIFICATION NOTES

1. ALL WORK SHALL CONFORM TO 1 BC 2015, 1 FC, IMC 2015, NFP70 2014 AND LOCAL CODES AND ORDINANCES.

2. EXHAUST DUCTS: GALVANIZED STEEL.

## GENERAL NOTE:

DRAWING(S) ARE **SCHEMATIC**. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATION AND REQUIREMENTS.

# MECHANICAL LEGEND

- AIR RETURN DUCT/GRILLE
- AIR SUPPLY DUCT/DIFFUSER
- EXHAUST FAN
- ROOF MOUNTED EXHAUST FAN
- SMOKE DETECTOR
- DUCT MTD. SMOKE DETECTOR
- THERMOSTAT
- AH AIR HANDLER
- CU CONDENSING UNIT OR COMPRESSOR UNIT
- EF EXHAUST FAN
- CFM CUBIC FEET PER MINUTE
- OA OUTSIDE AIR
- FD FIRE DAMPER
- RA RETURN AIR
- SA SUPPLY AIR
- FE FIRE EXTINGUISHER

## GENERAL NOTES

- DRAWING(S) ARE SCHEMATIC. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATION AND REQUIREMENTS.
- OWNER AND/OR CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCY AND/OR ITEMS IN NEED OF CLARIFICATION AND/OR DETAIL ELABORATION.
- OWNER AND/OR CONTRACTOR TO NOTIFY ENGINEER OF ANY KNOWN ERRORS AND/OR OMISSIONS IN NEED OF ELABORATION IN WRITING FOR ENGINEERING REVIEW
- OWNER AND/OR CONTRACTOR TO NOTIFY ENGINEER OF ANY DIFFERENT SITE CONDITIONS, STRUCTURAL CONDITIONS, SPACE UTILIZATION OF ANY OTHER DIFFERREING CONDITION IN WRITING. ENGINEER TO REVIEW AND RESPOND TO ALL WRITTEN NOTIFICATIONS.

## SHEET LIST

SHEET NUMBER	SHEET NAME
E2.1	ELECTRICAL LIGHTING PLAN
P2.1	PLUMBING WATER PLAN
M1.0	MECHANICAL PLAN
E1.0	ELECTRICAL GENERAL NOTES
E2.0	ELECTRICAL POWER PLAN
P1.0	PLUMBING GENERAL NOTES
P2.0	PLUMBING WASTE PLAN
P3.0	RISERS

## EQUIPMENT LIST:

QTY.	SYM	DESCRIPTION	ELECTRICAL			GAS		PLUMBING			DESIGN BASIS MANUFACTURER MODEL #
			V	A	HP	BTU/H	SIZE	H	C	WASTE	
1	1	EXHAUST RANGE HOOD	120	3.3	-	-	-	-	-	-	BROAN B5G OR EQUIVALENT
1	2	WATER HEATER	230	40	-	-	3/4"	3/4"	3/4"	-	40 GAL OWNER SELECT
1	3	ELECTRIC RANGE	208	57.6	-	-	-	-	-	-	BY OWNER

## VENTILATION EQUIPMENT SCHEDULE

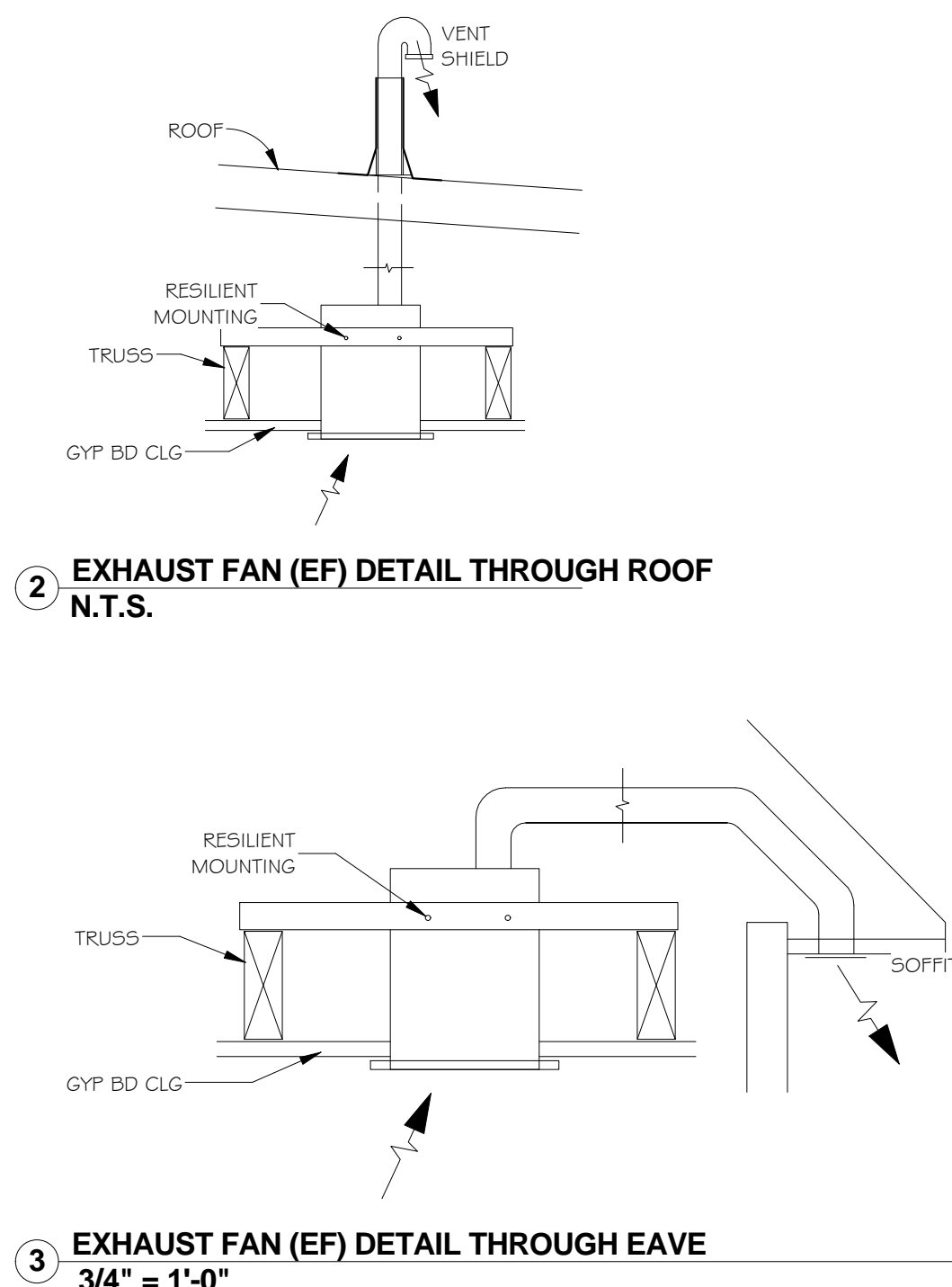
QTY	UNIT NO.	NOMINAL COOLING TONS (T)	MIN. SEER	FAN		OA CFM	ELECTRICAL				NOM WT LBS	DESIGN BASIS MANUFACTURER # MODEL #	NOTES
				CFM	HP		VOLTS	PH	MCA	MOC			
4	EF	-	-	150	-	-	120	1	1.14	20	-	GREENHECK SPB-150 OR EQUIV.	2, 3, 4, 5

### NOTES

- BY OWNER
- OPERABLE FROM LIGHT SWITCH IN EACH BATHROOM
- CONNECTED TO OPERATE WITH LIGHT.
- DIRECT EXHAUST.
- ELECTRIC FAN TO CONFORM TO UL/ULC 507

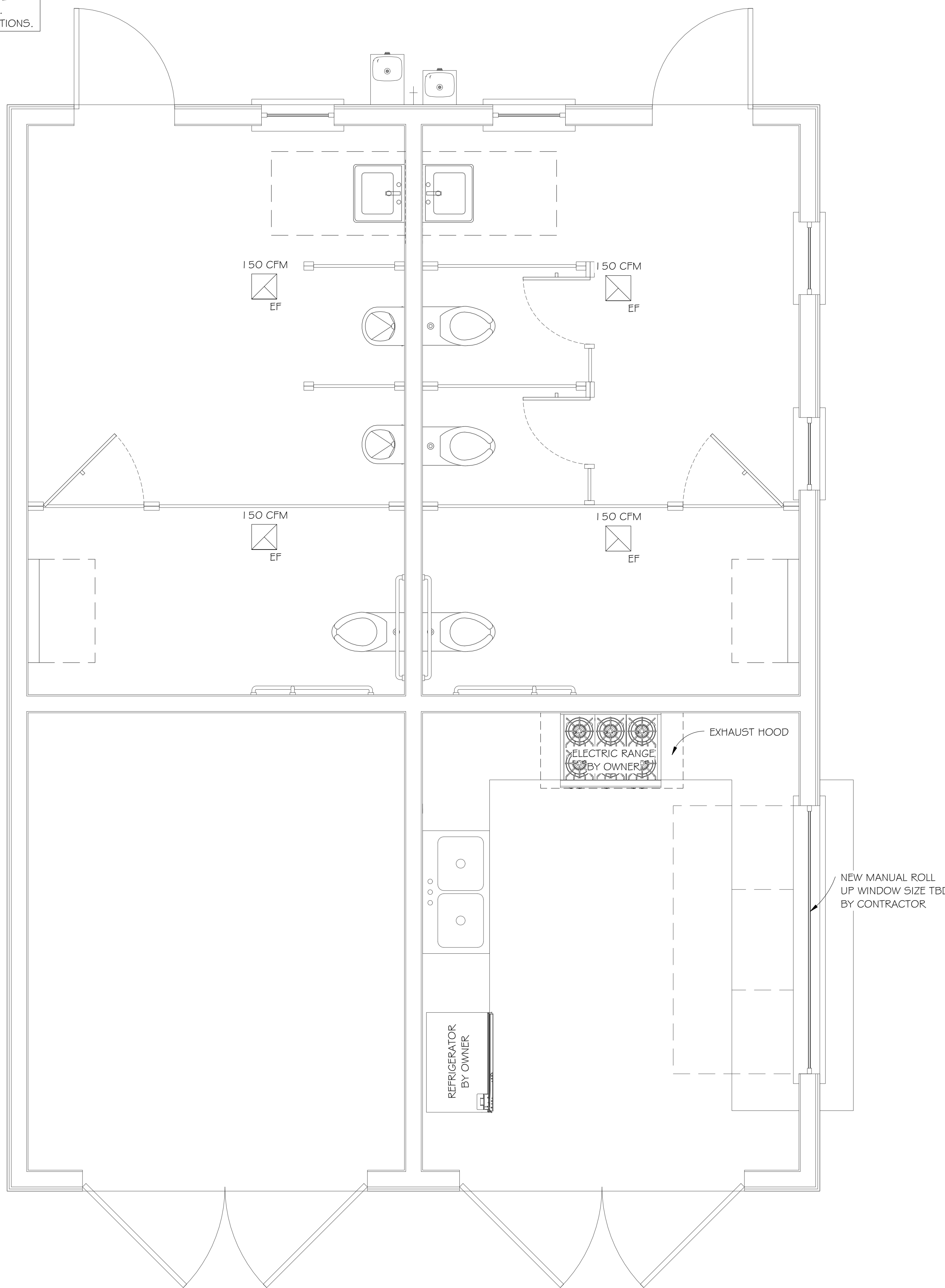
## MECHANICAL / ELECTRICAL COORDINATION

- CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT OR SUBMITTING SHOP DRAWINGS, AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN. SHOP DRAWING SUBMITTALS SHALL CLEARLY STATE THAT THE ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT HAS BEEN COORDINATED WITH THE ELECTRICAL CONTRACT DOCUMENTS AND THE ELECTRICAL CONTRACTOR.
- ALL MECHANICAL EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUSED OR NON-FUSED) WITH EQUIPMENT CHARACTERISTICS, MANUFACTURER'S RECOMMENDATIONS, AND THE ELECTRICAL DRAWINGS.
- ALL REQUIRED CONTROL WIRING (INCLUDING POWER WIRING REQUIRED FOR CONTROL PANELS, DEVICES, ETC.) NOT SHOWN ON THE ELECTRICAL DRAWINGS SHALL BE INCLUDED AS PART OF THE MECHANICAL WORK. WIRING IN HVAC PLENUM SPACES SHALL BE INSTALLED ACCORDING TO CODE REQUIREMENTS.
- UNLESS NOTED OTHERWISE, TRANSFORMERS, CONTROLS AND CONTROL WIRING REQUIRED FOR ALL MECHANICAL SYSTEMS SHALL BE FURNISHED WITH THE EQUIPMENT IT SERVES AND INSTALLED BY THE MECHANICAL CONTRACTOR. MOTOR STARTERS FOR HVAC EQUIPMENT SHALL BE FURNISHED WITH THE MOTOR OR APPARATUS WHICH IT OPERATES. MOTOR STARTER INSTALLATION SHALL BE BY THE DIVISION 16 CONTRACTOR.



## MECHANICAL SPECIFICATION NOTES

- ALL MECHANICAL EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2015 INTERNATIONAL MECHANICAL CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE, NFPA 90A, 96, 101, UNDERWRITERS LABORATORIES (OR ETL) AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- IF ANY OF THE GOVERNING CODES ARE UPDATED, CHANGED, AND/OR MODIFIED AFTER THE SUBMITAL OF THE DRAWINGS TO THE OWNER AND/OR ARCHITECT AND PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THEN THE DRAWINGS MUST BE RESUBMITTED TO THE ENGINEER FOR REVIEW, REEXAMINATION AND/OR REEVALUATION.
- CEILING RETURN AND EXHAUST AIR GRILLES PER OWNER SELECTION
- ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE OWNER TO SUITE HIS OPERATING CONDITIONS. WORK IN ALL AREAS SHALL BE PERFORMED IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS.
- ANY EXISTING WALL, FLOOR, OR CEILING SURFACE THAT IS DISTURBED DURING THE COURSE OF THE MECHANICAL WORK SHALL BE REPAIRED TO MATCH NEW AND/OR EXISTING CONDITIONS.

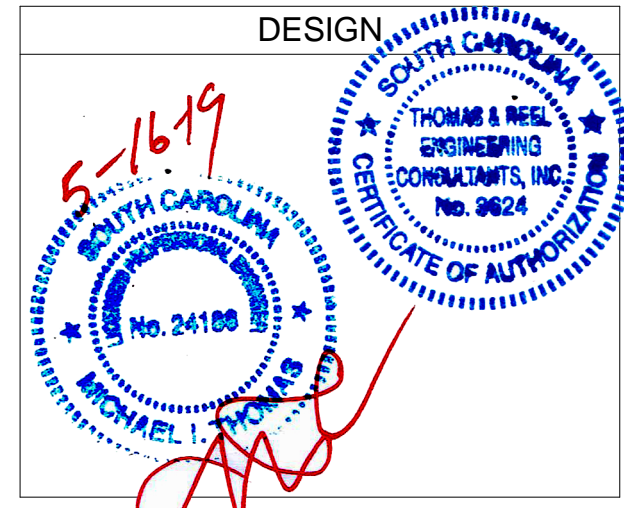


5 MECHANICAL PLAN  
1/2" = 1'-0"

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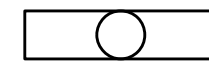
**WRIGHT FAMILY PARK**  
111 CALHOUN STREET OLD  
TOWN NEIGHBORHOOD  
BLUFFTON, SC  
**PEARCE SCOTT ARCHITECTS**  
MECHANICAL PLAN

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**M1.0**  
As indicated  
MECHANICAL PLAN

LIGHTING



LINEAR LED CEILING LIGHT FIXTURE (SEE LIGHT FIXTURE SCHEDULE)



WALL MOUNTED LED LIGHT FIXTURE (SEE LIGHT FIXTURE SCHEDULE)



EXHAUST FAN - SEE MECHANICAL DRAWNGS



20A SGL E POILE WALL SWITCH WITH STAINLESS STEEL COVER PLATE



WALL MOUNTED LINEAR LED LIGHT FIXTURE (SEE LIGHT FIXTURE SCHEDULE)

POWER



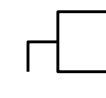
IRRIGATION CONTROL CONTROL BY OTHERS, PROVIDE POWER.



20A 125V DUPLEX (GFIC) - WP (WEATHER PROOF WHERE INDICATED)



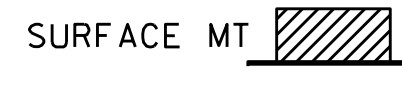
SPECIAL RECEPT. MATCH TO APPLIANCE.



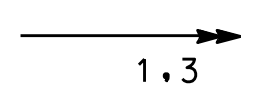
DISCONNECT SWITCH



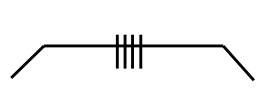
JUNCTION BOX



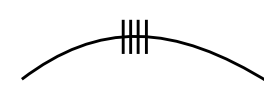
CIRCUIT BREAKER PANELBOARD. SURFACE OR FLUSH MOUNTED AS INDICATED IN SCHEDULE. SIZE AND RATINGS AS INDICATED IN SCHEDULE.



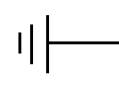
HOMERUN TO PANELBOARD. NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS. "1,3" INDICATES THE CIRCUIT NUMBERS IN THE PANELBOARD FOR CONNECTION.



CONDUITAND CONDUCTOR BURIED 18" BELOW GRADE, UNLESS OTHERWISE INDICATED. (NOTE: GROUNDING CONDUCTORS SHALL BE PROVIDED BUT ARE NOT INDICATED BY HASHMARKS.)



CONDUITAND CONDUCTOR BURIED 2#12AWG & 1#12 AWG GND THHN CU CONCEALED UNLESS PHYSICALLY IMPOSSIBLE, UNLESS OTHERWISE INDICATED. IF EXPOSED, PAINT TO MATCH SURROUNDINGS. (NOTE: GROUNDING CONDUCTORS SHALL BE PROVIDED BUT ARE NOT INDICATED BY HASHMARKS.)



SYSTEM GROUND (NEC ARTICLE 250-50)

ELECTRICAL NOTES:

SEE LANDSCAPE DRAWINGS FOR ALL SITE FEATURES. COORDINATE WITH LANDSCAPE CONTRACTOR FOR POWER REQUIREMENTS AND CONNECTION POINT.

PART I - GENERAL

- A. Codes and Ordinances - The entire installation shall be strictly in accordance with the latest version of the 2017 National Electrical Code, and amendments of the local governing body.
B. Tests - Provide test of all systems to demonstrate proper operation.
C. Provide maintenance and operational instructions for all equipment. All panel boards, disconnect switches, control cabinets, etc., shall be clearly marked with identification externally and internally for each circuit.
D. The contractor shall schedule all required inspections.
E. Provide materials and equipment that are products of manufacturers regularly engaged in the production of such products which are of equal material, design and workmanship. Products shall have been in satisfactory commercial or industrial use for 2 years prior to bid opening. Products manufactured more than 3 years prior to date of delivery to site shall not be used, unless specified otherwise.
F. Lighting shall comply with asrhae 90.1 2007 where applicable.

PART II - PRODUCTS

- A. As a minimum, meet requirements of UL, where UL standards are established for those items, and requirements of NFPA 70 for all materials, equipment, and devices.
B. Light fixtures shall be as per plan.
C. Switches (NEMA WD1,UL20) and receptacles (NEMA WD 1)shall be screw type side wire commercial grade and as per plan. Color selection by owner and may vary.
E. Circuit Breaker and fused protected circuits shall be as per above referenced code.
F. Outlet boxes and conduit boxes shall be metal, cadmium or zinc coated UL514a).
G. Provide grounding conductors in all conduit. Hash marks on drawing do not include grounding conductor.
K. Disconnects switches: NEMA KS1. enclosures - Indoor NEMA 1, Outdoor Heavy Duty NEMA 3R. Provide label indicating source and load.
L. Panelboard is existing. Install a typewritten circuit directory on panel board cover interior, reflecting an "As Wired" condition after completion of wiring. Provide nameplate indicated name and feeder source. Circuit breakers shall match existing type with short rating as indicated. Multipole shall be provided with common trip single operating handle.
M. Contractor to verify all circuit requirements with actual equipment provided.

PART III - EXECUTION

- A. Remove all manufacturers labels and clean all exposed fixtures and equipment.
B. Replace all damaged fixtures and equipment.
C. Adjust or calibrate all items of equipment to assure proper operation.
D. Make all wiring connections in outlet or junction boxes.
E. Nameplates: ATM D709, Provide laminated plastic nameplates for each equipment enclosure, relay, switch, and device; as specified or as indicated on the drawings. Identify the function and, when applicable, the position. Minimum size of nameplates: one by 2.5 inches. Lettering size and style: a minimum of 0.25 inch high normal block style. For panels indicate the panel fed from.
F. Label all devices with permanent label indicating circuit and panel.

ABBREVIATIONS

- A AMPERE
AFF ABOVE FINISHED FLOOR
AL ALUMINUM
1/C ONE CONDUCTOR
3/C THREE CONDUCTOR
C CONDUIT
CATV CABLE TELEVISION
CB CIRCUIT BREAKER
CKT CIRCUIT
CU COPPER
DIA DIAMETER
EB ENCASED BURIAL
EF EXHAUST FAN
EWC ELECTRIC WATER COOLER
EXP EXPLOSION PROOF
FACP FIRE ALARM CONTROL PANEL
GF GROUND FAULT CIRCUIT INTERRUPTER
GFP GROUND FAULT PROTECTION
HPS HIGH PRESSURE SODIUM
HT HEIGHT
HZ HERTZ
JB JUNCTION BOX
LED LIGHT EMITTING DIODE
M METERS
mm/MM MILLIMETERS
MCB MAIN CASE BREAKER
MCP MECHANICAL CONTROL PANEL
M.H. MOUNTING HEIGHT
MLO MAIN LUGS ONLY
N.E.C. NATIONAL ELECTRICAL CODE
NF NON FUSED
NIC NOT IN CONTRACT
NO. NUMBER
PH PHASE
SPS STANDBY POWER SYSTEM
SWD SWITCHING DUTY
TC/SW TIME CLOCK AND H-O-A SWITCH
U.N.O. UNLESS NOTED OTHERWISE
V VOLT
VA VOLTAMPERE
VAV VARIABLE AIR VOLUMN
VSD VARIABLE SPEED DRIVE
W WATTS
WH WATER HEATER
WP WEATHER PROOF

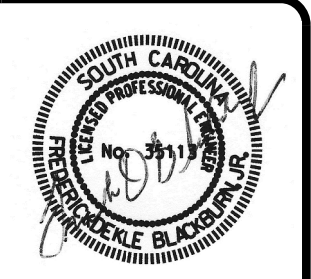
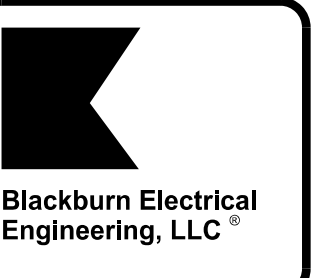


Table with 2 columns: REVISIONS, DESCRIPTION

Table with 2 columns: REVISIONS, DESCRIPTION

Table with 2 columns: DATE, DESCRIPTION

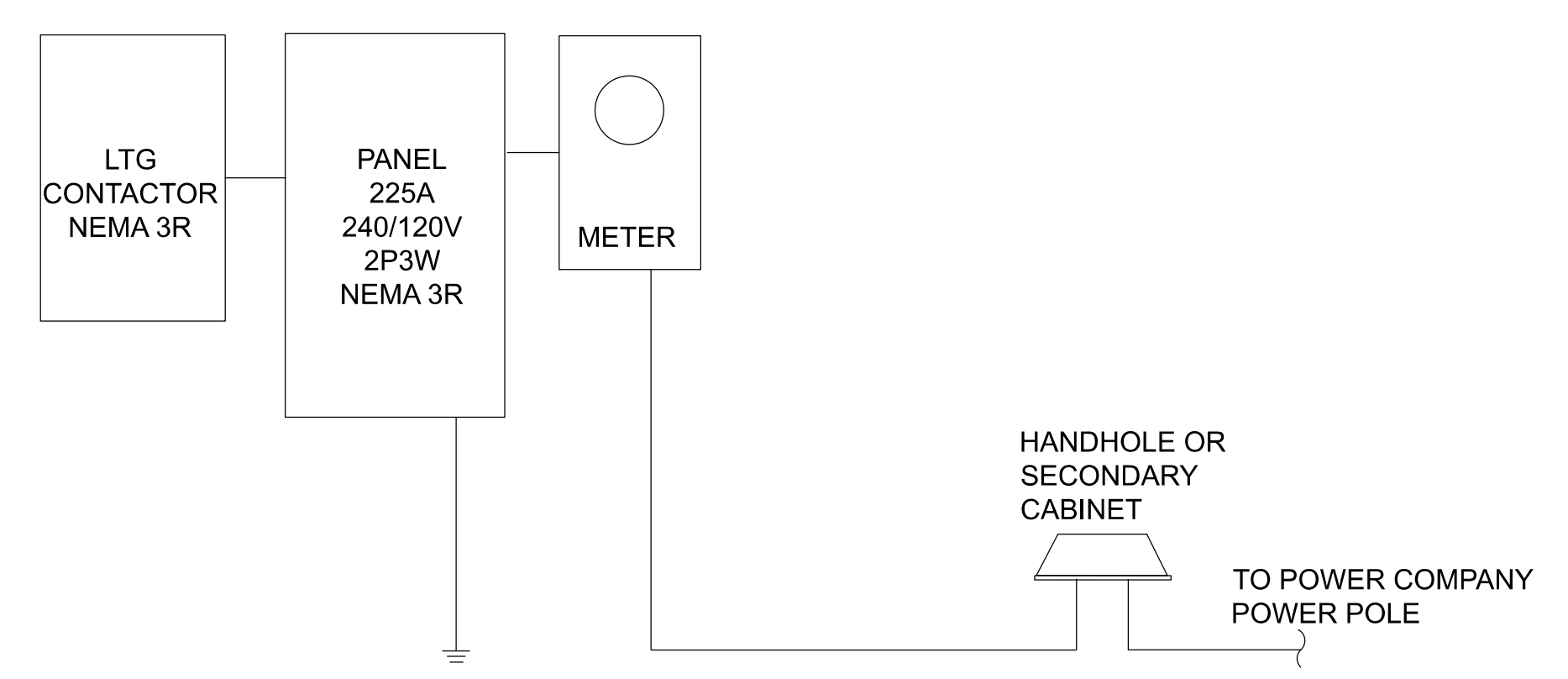
WRIGHT PARK & BATHROOM REMODEL
111 CALHOUN STREET, BLUFFTON, SC 29910

ELECTRICAL NOTES, LEGEND & ABBREVIATIONS

E-0.1

11:42:33 AM 5/16/2019 Fred E-01.dgn

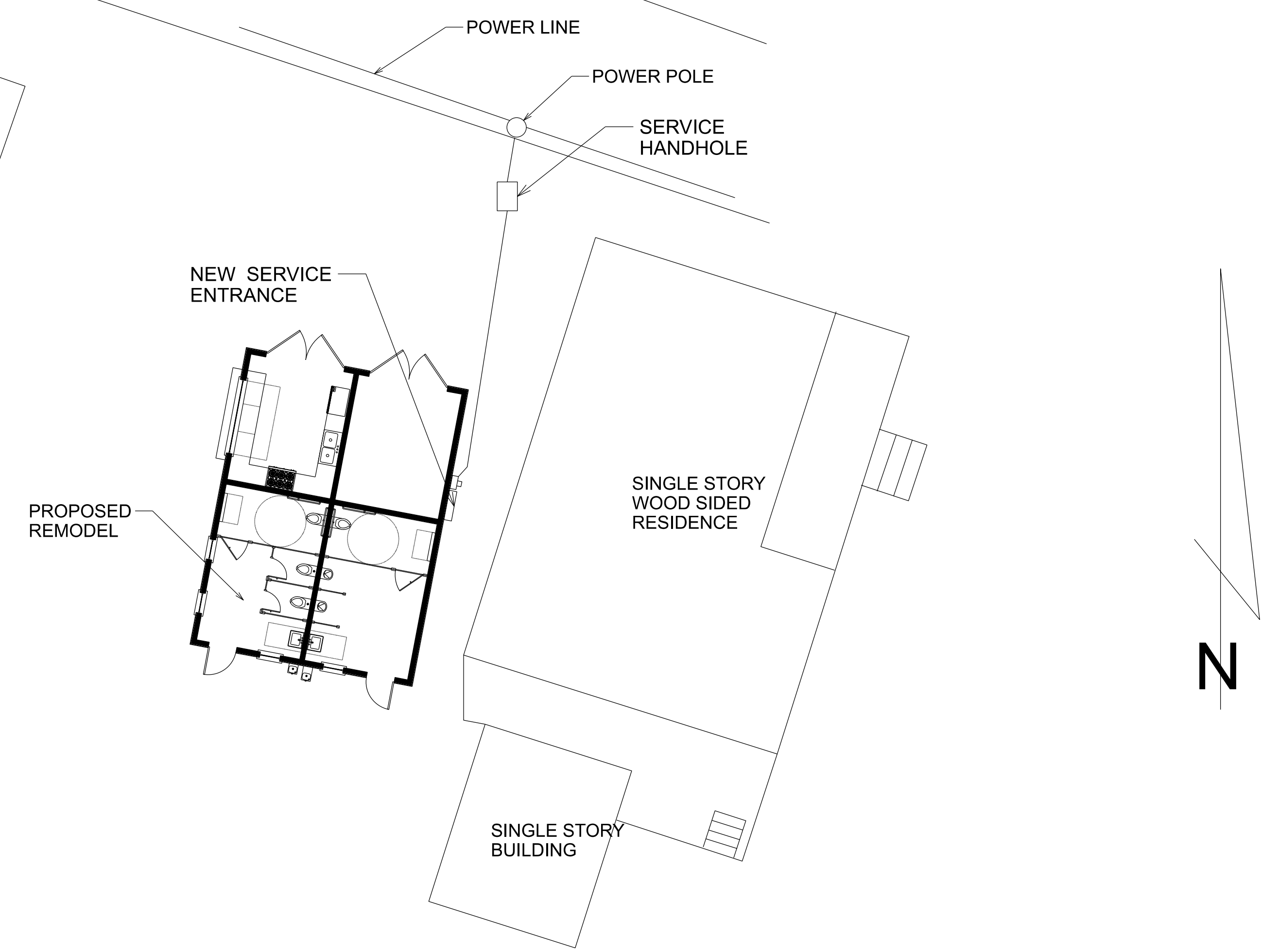




1  
E0.2  
ELECTRICAL RISER DIAGRAM  
NTS

- NOTES:  
 1. COORDINATE WITH POWER COMPANY FOR METERING REQUIREMENT.  
 2. INSTALL SERVICE RUN FROM HANDHOLE TO METER. COORDINATE WITH POWER COMPANY FOR LOCATION. SERVICE CONDUIT AND CONDUCTORS FROM POLE TO HANDHOLE BY POWER COMPANY.  
 3. GROUND IN ACCORDANCE WITH LATEST VERSION OF NEC.  
 4. ALL ENCLOSURES SHALL BE NEMA 3R.

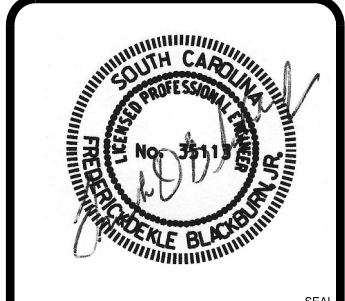
WATER STREET



2  
E0.2  
ELECTRICAL SITE PLAN  
1"=10'

**ELECTRICAL EQUIPMENT CONDUCTOR AND CONDUIT SCHEDULE**

UNIT NUMBER	UNIT DESCRIPTION	AMPS	V	PH	CONDUCTOR AND CONDUIT SIZE
1	FROM HANDHOLE TO PANEL	225	240/120	1	3-4/0AWG CU THHN IN 2-1/2" CONDUIT
2	RANGE	60	240/120	1	2-6AWG AND 1-#10AWG GND CU THHN IN 3/4" CONDUIT
3	WATER HEATER	40	240/120	1	2 #8 AWG & 1 # 10 AWG GND THWN CU IN 3/4" CONDUIT
4	SUBMERSIBLE PUMP	20	240/120	1	2 #12 AWG & 1 # 12 AWG GND THWN CU IN 3/4" CONDUIT
5	IRRIGATION CONTROL	20	120	1	2 #12 AWG & 1 # 12AWG GND THWN CU IN 3/4" CONDUIT



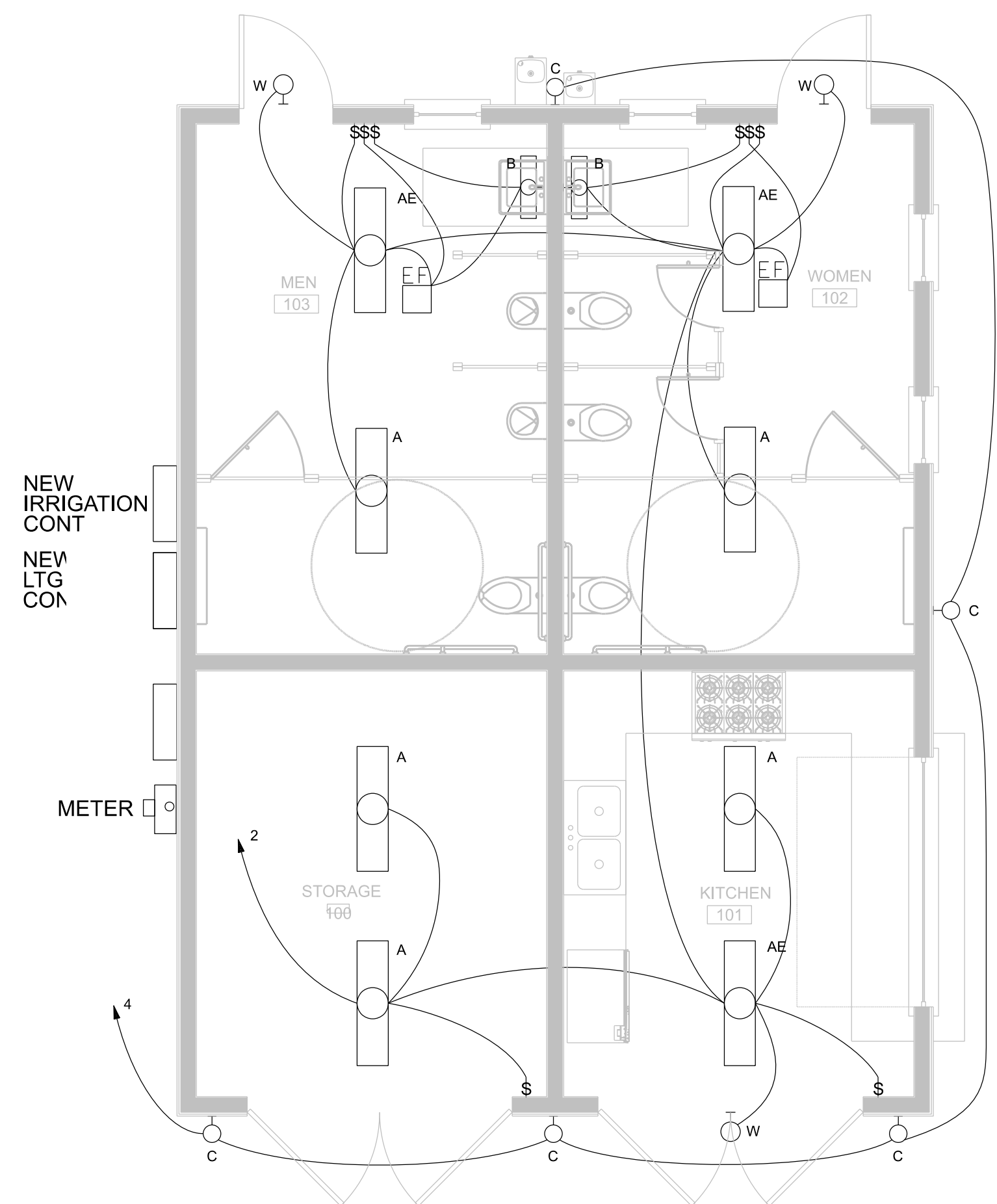
REVISIONS	DATE	APPR.


DESIGNED BY: FDD	DATE:
DWN BY: FDD	CHK BY: FDD
PLOT SCALE: 1,0000' / Fh.	PLOT DATE: 5/16/2019
SIZE: 38x24 (in.)	FILE NAME: E-02.dgn

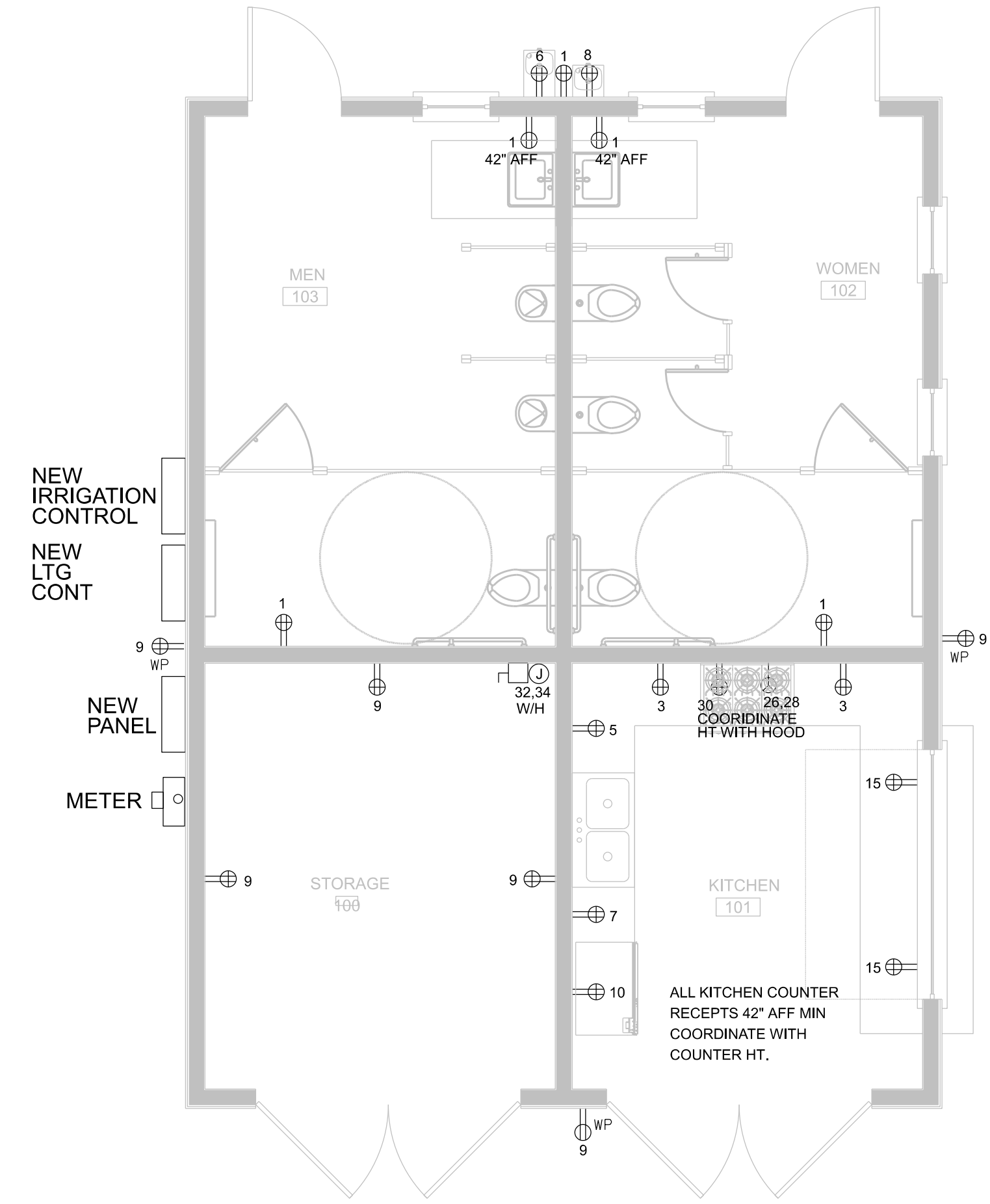
**WRIGHT PARK & BATHROOM REMODEL**  
 111 CALHOUN STREET, BLUFFTON, SC 29910

ELECTRICAL RISER DIAGRAM & SITE PLAN

**E0.2**

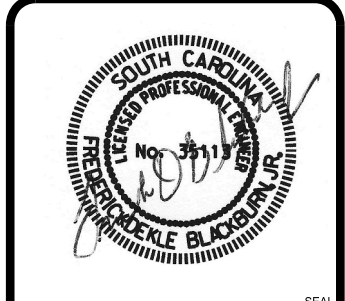
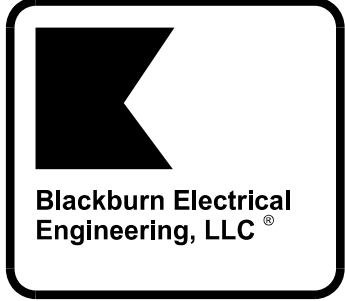


**1**  
E3.0  
ELECTRICAL LIGHTING PLAN  
1/4" = 1'-0"



**2**  
E3.0  
ELECTRICAL POWER PLAN  
1/4" = 1'-0"

29,31  
SUBMERSIBLE PUMP  
SEE SITE PLAN  
FOR LOCATION



DATE	APPR.

REVISIONS	MARK	DESCRIPTION

DESIGNED BY: FDD	DATE:
DWN BY: FDD	CHKD BY: FDD
PLOT SCALE: 1,0000 / Ft.	PLOT DATE: 5/16/2019
SIZE: 38x24 (in.)	FILE NAME: E-1.0.dgn

**WRIGHT PARK & BATHROOM REMODEL**  
111 CALHOUN STREET, BLUFFTON, SC 29910

ELECTRICAL FLOOR PLANS

E-1.0

11:20:24 AM  
2019, 05, 16  
C:\ProgramData\Autodesk\LT2019\Profiles\Default\lsp\AutodeskLT2019.ctb  
E:\Projects\Wright Park & Bathroom Remodel\Wright Park & Bathroom Remodel.dwg  
Fred

## SCHEDULE OF NEW MAIN PANEL

<b>VOLTAGE: 240 / 120</b>			<b>PHASE: 1</b>			<b>WIRE: 3</b>					
<b>BUS AMPS: 225 A</b>			<b>DEVICE AMPS: 225 A</b>			<b>MCB</b>			<b>NEMA: 3R</b>		
<b>A.I.C RATING: 10,000 A</b>			<b>MOUNTING: SURFACE</b>								
LOCATION DESCRIPTION	LOAD (KVA)	LOAD TYPE	TRIP POLE	#	PH	#	TRIP POLE	LOAD TYPE	LOAD (KVA)	LOCATION DESCRIPTION	
RECEPTS	1.0	B	20/1	1	A	2	20/1	A	0.5	LIGHTING (INTERIOR)	
KITCHEN RECEPTS	0.4	B	20/1	3	B	4	20/1	A	0.1	LIGHTING (EXTERIOR)	
KITCHEN RECEPTS	1.1	B	20/1	5	A	6	20/1	H	1.2	WATER FTN	
KITCHEN RECEPTS	0.0	H	20/1	7	B	8	20/0	H	1.2	WATER FTN	
RECEPTS	1.1	B	20/1	9	A	10	20/1	C	1.5	FREEZER	
KITCHEN RECEPT	0.4	B	20/1	11	B	12	20/1	A	0.1	FUTURE TREE LIGHTING (LT2)	
FUTURE POWER PEDESTALS (PP-1)	0.4	B	20/1	13	A	14	20/1	A	0.1	FUTURE TREE LIGHTING (LT2)	
FUTURE POWER PEDESTALS (PP-1)	0.4	B	20/1	15	B	16	20/1	B	0.4	FUTURE GROUND BOX (PP-2A)	
FUTURE POWER PEDESTALS (PP-1)	0.4	B	20/1	17	A	18	30/1	B	1.0	FUTURE GROUND BOX (PP-2B)	
FUTURE POWER PEDESTALS (PP-1)	0.4	B	20/1	19	B	20	20/1	B	0.4	FUTURE GROUND BOX (PP-2A)	
FUTURE POLE LIGHTING (LT-3)	0.4	A	20/1	21	A	22	20/1	H	1.0	LIGHTING CONTACTOR BY OTHERS	
FUTURE POLE LIGHTING (LT-3)	0.4	A	20/1	23	B	24	20/1	B	1.0	IRRIGATION SYSTEM BY OTHERS	
FUTURE POLE LIGHTING (LT-3)	0.4	A	20/1	25	A	26	80/2	C	6.9	ELECTRIC RANGE	
SPACE	0.0			27	B	28		C	6.9		
1-1/2 HP SUBMERSIBLE PUMP	1.2	F	20/2	29	A	30	20/1	C	0.4	KITCHEN HOOD	
	1.2	F		31	A	32	50/2	C	4.8	WATER HEATER	
SPACE			33	B	34	C		4.8			
SPACE				35	A	36				SPACE	
SPACE				37	A	38				SPACE	
SPACE				39	B	40				SPACE	
SPACE				41	A	42				SPACE	

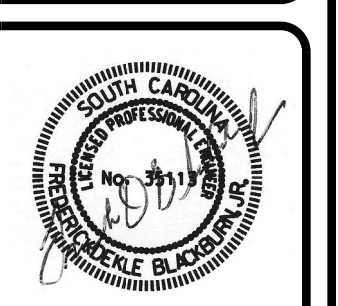
PANEL LOAD ANALYSIS									
Load Type	DESCRIPTION	Conn. KVA	Demand KVA	2011 NEC Reference	Load Type	DESCRIPTION	Conn. KVA	Demand KVA	2011 NEC Reference
A	Lighting	1.8	2.2	NEC Table 220.42	E	Heating	0.0	0.0	NEC Article 220.60
B	Receptacles	8.3	8.3	NEC Table 220.44	F	Largest Motor	2.4	3.0	NEC Article 440.7
C	Kitchen Equip. (Non Dwelling Unit)	25.3	20.3	NEC Table 220.56	G	Other Motors	0.0	0.0	NEC Article 440.7
D	HVAC A/C	0.0	0.0	NEC Article 440.32	H	Other Loads	3.4	3.4	
Phase A Connected Load		23.3 KVA	<b>Notes:</b>		TOTAL CONNECTED LOAD		41.2 KVA	171.8 AMPS	
Phase B Connected Load		17.9 KVA			TOTAL DEMAND LOAD		37.2 KVA	155.1 AMPS	

**LIGHTING NOTES:**

1. SEE LANDSCAPE DRAWINGS FOR FUTURE LANDSCAPE LIGHTING AND POWER RQMT.
2. LANDSCAPE LIGHTING AND CONTACTOR WILL BE BY OTHERS. FIXTURES ARE NOT INCLUDED IN FIXTURE SCHEDULE.
3. APPROVED EQUAL FIXTURES ARE ACCEPTABLE TO MEET THE INTENT, LIGHTING LEVELS, AND APPEARANCE OF THIS DESIGN.

LIGHTING FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MANUFACTURER	WATTAGE	LAMP	VOLTAGE
A	<del>4 FT WRAPAROUND SURFACE LED</del>	<del>METALUX 4 WNLED LD4 32SL F UNV L835 (EL7) CD1</del>	<del>28</del>	<del>LED</del>	<del>120V</del>
B	<del>2 FT WALLBRACKET LED</del>	<del>METALUX 2 BCLD LD4 20SL F UNV L835 CD1</del>	<del>23</del>	<del>LED</del>	<del>120V</del>
C	<del>WALL MOUNTED LED WITH PE CELL</del>	<del>HALO WP1135LPC 3500K BRONZE</del>	<del>13.8</del>	<del>LED</del>	<del>120V</del>
EF	EXAHUST FAN	SEE MECHANICAL DRAWINGS	MAX 100W	N/A	120V
W	WALL MOUNTED REMOTE EXTERIOR EMERG. LIGHT	ATLITE ATLED W A300 WH SD	N/A	LED	

USE FIXTURE SELECTION INCLUDED IN FOLLOWING SECTION 111 CALHOUN ST. BATH RENOVATION LIGHTING



REVISIONS	DATE	APPR.

DESIGNED BY: FDB	DATE:
DRAWN BY: FDB	
CHECKED BY:	
SCALE:	
FILE NAME:	

**WRIGHT PARK & BATHROOM REMODEL**  
111 CALHOUN STREET, BLUFFTON, SC 29910

ELECTRICAL SCHEDULES

E-2.0

11:47:13 AM 5/16/2019 E-2.0.dgn Fred

**PLUMBING SPECIFICATION NOTES**

1.	ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL PLUMBING CODE, 2015 INTERNATIONAL BUILDING CODE, STATE OF SOUTH CAROLINA AMENDMENTS, AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
2.	IF ANY OF THE GOVERNING CODES ARE UPDATED, CHANGED, AND/OR MODIFIED AFTER THE SUBMITTAL OF THE DRAWINGS TO THE OWNER AND/OR ARCHITECT AND PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THEN THE DRAWINGS MUST BE RESUBMITTED TO THE ENGINEER FOR REVIEW, REEXAMINATION AND/OR REEVALUATION.
3.	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF ALL PLUMBING FIXTURES.
4.	PLUMBING CONTRACTOR TO VERIFY ALL PLUMBING FIXTURES WITH ARCHITECT AND/OR OWNER BEFORE PROCUREMENT AND/OR INSTALLATION.
5.	WATER PIPING ROUTED ABOVE CEILING AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE (UNDERSIDE) OF CEILING INSULATION AND HEATED SIDE (INSIDE) OF WALL INSULATION.
6.	SANITARY AND DRAINAGE PIPING 2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT MINIMUM, PIPING 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT MINIMUM.
7.	TOPS OF ALL FLOOR DRAINS AND CLEANOUTS SHALL BE SET FLUSH WITH FINISHED FLOOR.
8.	TRAP PRIMERS ARE TO BE PROVIDED ON ALL FLOOR DRAINS AND HUB DRAINS. TP "A" AUTOMATIC TRAP PRIMERS ARE TO BE PROVIDED IN ALL REQUIRED LOCATIONS.
9.	PLUMBING AND FIRE PROTECTION PIPING IS NOT TO BE INSTALLED IN ELECTRICAL ROOMS, CLOSETS, TELEPHONE ROOMS, OR ELEVATOR EQUIPMENT ROOMS EXCEPT PIPING SERVING THAT SPECIFIC ROOM.
10.	LOCATE ALL SECTIONAL OR MAIN CONTROL VALVES WITHIN 1'-0" FROM ACCESS PANELS, CEILING TILES, OR OTHER POINT OF ACCESS.
11.	ALL COLDWATER, HOT WATER AND DRAIN PIPING AT HANDICAPPED FIXTURES SHALL BE INSULATED WITH HANDI-LAV GUARD MODELS 102 AND 105 INSULATION KITS.
12.	PROVIDE SHOCK ABSORBERS SIZED PER PDI SPECIFICATIONS ON ALL DOMESTIC WATER LINES SERVING FLUSH VALVE FIXTURES, WASHING MACHINES SUPPLIES, PRV STATIONS AND OTHER INSTALLATIONS WITH QUICK CLOSING VALVES.
13.	PROVIDE A BASE CLEANOUT AT THE LOWEST LEVEL OF ALL SANITARY AND WASTE STACKS.
14.	ALL SHOWER HEAD ARMS AND VALVES SHALL BE PROVIDED WITH ADDITIONAL BLOCKING AS REQUIRED AND RIGIDLY SECURED TO ADJACENT STRUCTURE.
15.	ALL SHOWER HEADS SHALL BE INSTALLED WITH THE CENTER POINT OF THE SHOWER HEAD FACE LOCATED 6'-3" MINIMUM ABOVE THE TUB/SHOWER FINISHED SURFACE.
16.	PROVIDE REDUCED PRESSURE BACKFLOW PREVENTORS AT ALL DOMESTIC WATER CONNECTIONS TO MECHANICAL EQUIPMENT, AS REQUIRED BY LOCAL CODE AND AUTHORITIES. BACKFLOW PREVENTORS ARE TO BE LOCATED WITH A MINIMUM OF 1'-0" CLEARANCE AT THE LOWEST POINT AND AT NO MORE THAN 5'-0" ABOVE FLOOR AT THE HIGHEST POINT OF THE DEVICE.
17.	PROVIDE MANUFACTURED EXPANSIONS DEVICE OR FABRICATED EXPANSION LOOP ON ALL PIPING SYSTEMS CROSSING BUILDING EXPANSION JOINTS.
18.	CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PLUMBING EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND THE ELECTRICAL CONTRACTOR AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN.
19.	ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC. INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE AND COMBUSTIBILITY.
20.	ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE-YEAR AFTER FINAL ACCEPTANCE.
21.	ALL PIPE PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE STOPPED AS REQUIRED TO RESTORE ASSEMBLY TO ORIGINAL INTEGRITY. FIRE BARRIER PRODUCTS SHALL BE AS MANUFACTURED BY 3M COMPANY, CP25 CAULK, CS195 COMPOSITE PANEL, FS195 WRAP/SHRINK, TREMCO, HILTI, METACAULK, NELSON, OR P55 7900 SERIES SYSTEMS AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATIONS, OR EQUIVALENT SYSTEM AS APPROVED BY LOCAL CODE OFFICIALS. ALSO, REFER TO DIVISION 7 - THERMAL AND MOISTURE PROTECTION.
22.	ALL VENT THRU ROOF PENETRATIONS SHALL BE ROUTED TO TERMINATE AT THE LEAS VISIBLE LOCATION FROM THE ENTRY VIEW.
23.	WATER LINES INSIDE BUILDING: A. COPPER TYPE 'L' WITH LEAD FREE SOLDER. B. SCHEDULE 40 CPVC WITH SOLVENT JOINTS. C. PEX WITH MANUFACTURER'S APPROVED CONNECTIONS.
24.	WATER LINES OUTSIDE BUILDING: A. WATER METER TO 20' OUTSIDE BUILDING: SCHEDULE 40 PVC WITH SOLVENT JOINTS. B. 20' OUTSIDE BUILDING ENTRY: SCHEDULE 40 CPVC OR COPPER TYPE 'L' WITH LEAD FREE SOLDER.
25.	WASTE AND VENT: SCHEDULE 40 PVC WITH DRAINAGE PATTERN FITTINGS AND SOLVENT WELDED JOINTS.
26.	PROVIDE SHUT-OFF VALVES AT FIXTURES.
27.	EXPOSED FIXTURE TRIM SHALL BE CHROME PLATED.
28.	CAULK/SEAL ALL FIXTURE MOUNTING AT COUNTER, WALL AND FLOOR AS APPLICABLE.
29.	LL FIXTURES AND EQUIPMENT SHALL BE PROVIDED WITH A UNION TYPE CONNECTION TO FACILITATE REMOVAL/SERVICE.
30.	INSULATE HOT WATER LINES FROM WATER HEATER THROUGHOUT SYSTEM WITH 3/4" FIBERGLASS PREFORM OF "FR" TYPE RUBBER OR POLYOLEFIN FLEXIBLE FOAM.
31.	COORDINATE WITH UTILITY COMPANIES AS REQUIRED FOR SERVICE AND METER LOCATIONS.
32.	NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE BUSINESS DAYS PRIOR TO BEGINNING: A. EARTH EXCAVATION OR DIGGING WORK. B. WORK WHICH POTENTIALLY COMES WITHIN 10' OF ANY OVERHEAD HIGH VOLTAGE LINE.
33.	GAS LINES (NATURAL):
34.	NOTIFY ALL RESPECTIVE UTILITY COMPANY(IES) WHOSE LINES ARE ROUTED THROUGH, CONNECTED TO, AND/OR ARE IN 10' PROXIMITY OF CONSTRUCTION SITE. LESS THAN 2 PSI, 2.5" AND LARGER: SCHEDULE 40 BLACK STEEL WITH WELDED JOINTS, 2" AND SMALLER: SCHEDULE 40 BLACK STEEL WITH SCREWED JOINTS, COPPER TYPE 'L' WITH SILVER SOLDER JOINTS (1000°F), TYPE '316' STAINLESS STEEL WITH JACKET AND COMPATIBLE FITTINGS. GREATER THAN 2 PSI: SCHEDULE 40 BLACK STEEL WITH WELDED JOINTS.
35.	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF ALL PLUMBING FIXTURES.
36.	SANITARY AND DRAINAGE PIPING 2" AND SMALLER SHALL BE SET FLUSH WITH FINISHED FLOOR.
37.	PROVIDE A BASE CLEANOUT AT THE LOWEST LEVEL OF ALL SANITARY AND WASTE STACKS.

**GENERAL NOTES**

1.	DRAWING(S) ARE SCHEMATIC, CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATION AND REQUIREMENTS.
2.	OWNER AND/OR CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCY AND/OR ITEMS IN NEED OF CLARIFICATION AND/OR DETAIL ELABORATION.
3.	OWNER AND/OR CONTRACTOR TO NOTIFY ENGINEER OF ANY KNOWN ERRORS AND/OR OMISSIONS IN NEED OF ELABORATION IN WRITING FOR ENGINEERING REVIEW
4.	OWNER AND/OR CONTRACTOR TO NOTIFY ENGINEER OF ANY DIFFERENT SITE CONDITIONS, STRUCTURAL CONDITIONS, SPACE UTILIZATION OF ANY OTHER DIFFERENG CONDITION IN WRITING. ENGINEER TO REVIEW AND RESPOND TO ALL WRITTEN NOTIFICATIONS.

**PLUMBING WASTE NOTES**

1.	LOCATE EXISTING SANITARY SEWER LINES INFIELD.
2.	INSTALL NEW FLOOR DRAIN AND ROUTE 4" WASTE LINE TO EXISTING SEWER LINE. VERIFY LOCATION AND FLOW PRIOR TO INSTALLATION. INSTALL NEW 1/2" TRAP PRIMER LINE FROM FLOOR DRAIN TO LAVATORY.
3.	I.W. = INDIRECT WASTE LINE RUN TO NEAREST FLOOR SINK/HUB DRAIN/FLOOR DRAIN.
4.	MIN 1/8" HORIZONTAL SLOPE PER EVERY FOOT

**PLUMBING LEGEND**

----	SAN SEWER
-----	SAN VENT
_____	COLD WATER
————	HOT WATER
--- -- -- --	GAS LINE
—c-w—	COMBINATION WASTE & VENT
—>>—	DOUBLE CHECK VALVE BACKFLOW PREVENTER
—	PIPE DOWN
—	PIPE UP
—	PIPE CAP
—+ HB	HOSE BIB
—	P-TRAP
—	WATER HAMMER ARRESTOR PISTON TYPE
— —	FLEXIBLE CONNECTION
VTR	VENT THRU ROOF
VTS	VENT THRU STACK
CO	CLEAN OUT (F=FLOOR,G=GRADE,W=WALL)
FD	FLOOR DRAIN
ABV	ABOVE CEILING
P&T	PRESSURE/TEMPERATURE RELIEF VALVE
—	NATURAL GAS METER
—	NATURAL GAS CUT OFF

**PLUMBING FIXTURE SCHEDULE**

SYM.	QTY.	DESCRIPTION	MANUFACTURER MODEL	COLD	HOT	WASTE	NOTES
WC	4	WATER CLOSET, ADA RATED, FLOOR MTD., FLUSH VALVE, 1.6 GPF, VITREOUS CHINA, NOMINAL 18" SEAT HEIGHT		1"	-	3"	1,2,3,4
L	3	LAVATORY, ADA RATED, WALL MTD., GRID DRAIN, VITREOUS CHINA, SINGLE LAYER FAUCET, 4" CENTERS, COMPARTMENT SINK		1/2"	1/2"	1-1/2"	3,4,5
U	2	URINAL		3/4"	-	2"	3,4
WF	1	WATER FOUNTAIN		1/2"	-	3/4"	
REF	1	REFRIGERATOR (BY OWNER)		1/4"	-	-	

**NOTES**

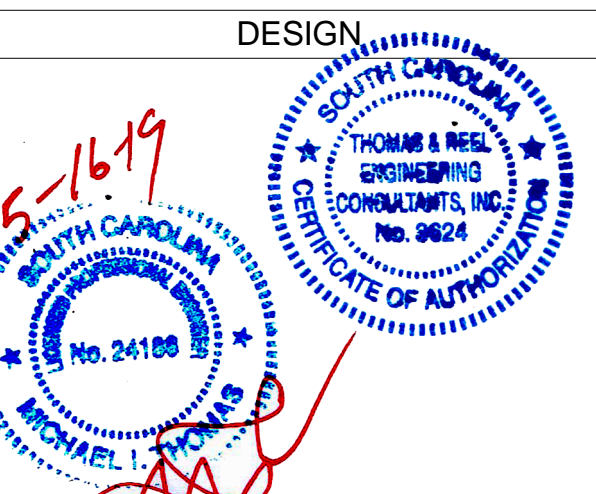
1. SEAT: HEAVY DUTY SOLID PLASTIC, OPEN FRONT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE.
2. LOCATE FLUSH OPERATOR ON MOST OPEN SIDE OF FIXTURE.
3. SOLID BLOCKING IN WALL FOR FIXTURE SUPPORT.
4. CAULK/GROUT/SEAL FIXTURE CONTACT WITH WALL/FLOOR/COUNTER, AS APPLICABLE.
5. PROVIDE MIXING VALVE TO TEMPER WATER (1 10 F).

**SHEET LIST**

SHEET NUMBER	SHEET NAME
E2.1	ELECTRICAL LIGHTING PLAN
P2.1	PLUMBING WATER PLAN
M1.0	MECHANICAL PLAN
E1.0	ELECTRICAL GENERAL NOTES
E2.0	ELECTRICAL POWER PLAN
P1.0	PLUMBING GENERAL NOTES
P2.0	PLUMBING WASTE PLAN
P3.0	RISERS

DO NOT SCALE THE DRAWINGS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWINGS. VERIFY ALL DIMENSIONS, FINISHES, FIXTURES, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE OMITTED, INCORRECT, OR NOT CLEAR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.

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9100 WHITE BULLY RD, SUITE 206 SAVANNAH GEORGIA 31406  
PO BOX 45818 SAVANNAH, GEORGIA 31416



**WRIGHT FAMILY PARK**

111 CALHOUN STREET OLD TOWN NEIGHBORHOOD BLUFFTON, SC

**PEARCE SCOTT ARCHITECTS**

PLUMBING GENERAL NOTES

REVISIONS		
MARK	DATE	DESCRIPTION

TREC No.	1403-1405-11
Date Printed	5/16/2019 2:39:28 PM
Date Issued	12/11/2018
Designed By	Designer
Checked by	Checker
Approved by	Approver

**P1.0**

1/4" = 1'-0"

PLUMBING GENERAL NOTES

# PLUMBING SPECIFICATION NOTES

- ALL WORK SHALL CONFORM TO LOCAL CODES.
- WATER LINES INSIDE BUILDING:
  - COPPER TYPE "L" WITH LEAD FREE SOLDER.
  - SCHEDULE 40 CPVC WITH SOLVENT JOINTS.
  - PEX WITH MANUFACTURER'S APPROVED CONNECTIONS.
- WATER LINES OUTSIDE BUILDING:
  - WATER METER TO 20' OUTSIDE BUILDING: SCHEDULE 40 PVC WITH SOLVENT JOINTS.
  - 20' OUTSIDE BUILDING ENTRY: SCHEDULE 40 CPVC OR COPPER TYPE "L" WITH LEAD FREE SOLDER.
- WASTE AND VENT: SCHEDULE 40 PVC WITH DRAINAGE PATTERN FITTINGS AND SOLVENT WELDED JOINTS.
- PROVIDE SHUT-OFF VALVES AT FIXTURES.
- EXPOSED FIXTURE TRIM SHALL BE CHROME PLATED.
- CAULK/SEAL ALL FIXTURE MOUNTING AT COUNTER, WALL AND FLOOR AS APPLICABLE.
- ALL FIXTURES AND EQUIPMENT SHALL BE PROVIDED WITH A UNION TYPE CONNECTION TO FACILITATE REMOVAL/SERVICE.

## PLUMBING WASTE NOTES

- LOCATE EXISTING SANITARY SEWER LINES IN FIELD.
- RUN NEW 4" WASTE LINE. ADJUST CONNECTION TO EXISTING SANITARY SEWER AS NECESSARY IN FIELD.
- INSTALL NEW FLOOR DRAIN AND ROUTE 4" WASTE LINE TO EXISTING SEWER LINE. VERIFY LOCATION AND FLOW PRIOR TO INSTALLATION. INSTALL NEW 1/2" TRAP PRIMER LINE FROM FLOOR DRAIN TO LAVATORY.
- I.W. = INDIRECT WASTE LINE RUN TO NEAREST FLOOR SINK/HUB DRAIN/FLOOR DRAIN.

## PLUMBING LEGEND

- SAN SEWER
- - - - SAN VENT
- COLD WATER
- HOT WATER
- - - - GAS LINE
- >> DOUBLE CHECK VALVE BACKFLOW PREVENTER
- > PIPE DOWN
- o PIPE UP
- ] PIPE CAP
- HB HOSE BIBB
- AIR GAP
- P-TRAP
- WATER HAMMER ARRESTOR PISTON TYPE
- FLEXIBLE CONNECTION
- VTR VENT THRU ROOF
- CO CLEAN OUT (F=FLOOR,G=GRADE,W=WALL)
- FD FLOOR DRAIN
- AC ABOVE CEILING
- P&T PRESSURE/TEMPERATURE RELIEF VALVE
- M NATURAL GAS METER
- NATURAL GAS CUT OFF

PLUMBING FIXTURE SCHEDULE							
SYM.	QTY.	DESCRIPTION	MANUFACTURER MODEL	COLD	HOT	WASTE	NOTES
WC	4	WATER CLOSET, ADA RATED, FLOOR MTD., FLUSH VALVE, 1.6 GPF, VITREOUS CHINA, NOMINAL 18" SEAT HEIGHT		1"	-	3"	1,2,3,4
L	3	LAVATORY, ADA RATED, WALL MTD., GRID DRAIN, VITREOUS CHINA, SINGLE LAYER FAUCET, 4" CENTERS, COMPARTMENT SINK		1/2"	1/2"	1-1/2"	3,4,5
U	2	URINAL		3/4"	-	2"	3,4
WF	1	WATER FOUNTAIN		1/2"	-	3/4"	
REF	1	REFRIGERATOR (BY OWNER)		1/4"	-	-	

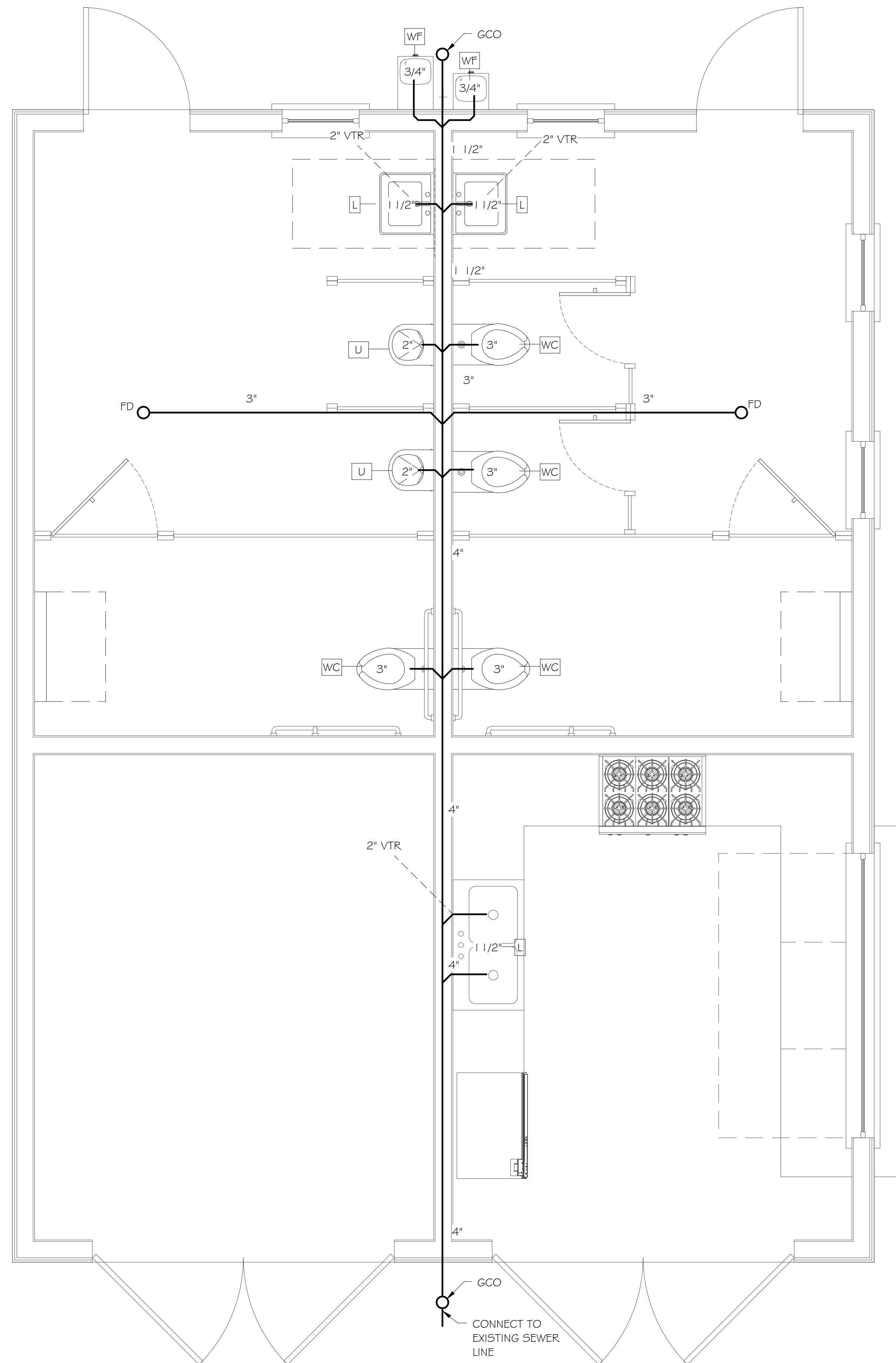
- NOTES
- SEAT: HEAVY DUTY SOLID PLASTIC, OPEN FRONT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE.
  - LOCATE FLUSH OPERATOR ON MOST OPEN SIDE OF FIXTURE.
  - SOLID BLOCKING IN WALL FOR FIXTURE SUPPORT.
  - CAULK/GROUT/SEAL FIXTURE CONTACT WITH WALL/FLOOR/COUNTER, AS APPLICABLE.
  - PROVIDE MIXING VALVE TO TEMPER WATER (110 F).

## GENERAL NOTE:

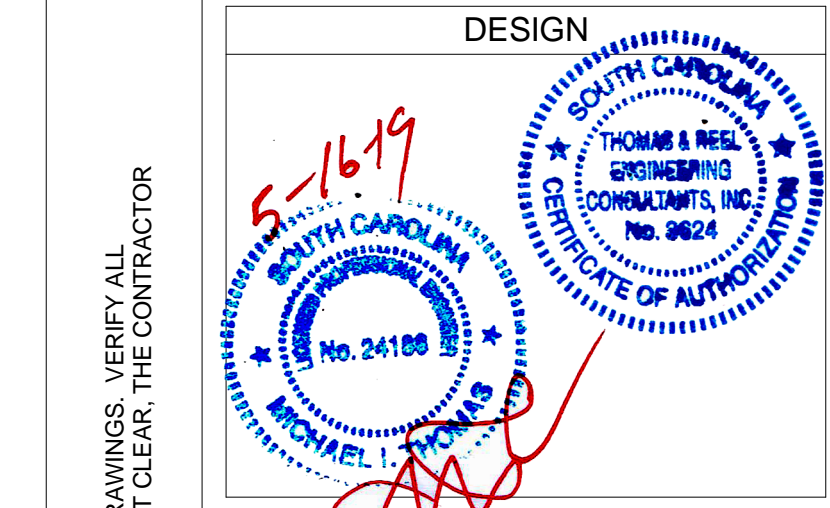
DRAWING(S) ARE **SCHEMATIC**. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATION AND REQUIREMENTS.

- INSULATE HOT WATER LINES FROM WATER HEATER THROUGHOUT SYSTEM WITH 3/4" FIBERGLASS PERFORM OR "FR" TYPE RUBBER OR POLYOLEFIN FLEXIBLE FOAM.
- COORDINATE WITH UTILITY COMPANIES AS REQUIRED FOR SERVICE AND METER LOCATIONS.
  - NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE BUSINESS DAYS PRIOR TO BEGINNING:
    - EARTH EXCAVATION OR DIGGING WORK.
    - WORK WHICH POTENTIALLY COMES WITHIN 10' OF ANY OVERHEAD HIGH VOLTAGE LINE.

- NOTIFY ALL RESPECTIVE UTILITY COMPANY(IES) WHOSE LINES ARE ROUTED THROUGH, CONNECTED TO, AND/OR ARE IN 10' PROXIMITY OF CONSTRUCTION SITE.



② PLUMBING- WASTE PLAN  
1/2" = 1'-0"



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**ISSUE FOR CONSTRUCTION**  
 TREC No. 1403-1405-11  
 Date Printed 5/16/2019 2:39:30 PM  
 Date Issued 12/11/2018  
 Designed By PU  
 Checked by DR  
 Approved by MT

**WRIGHT FAMILY PARK**  
111 CALHOUN STREET OLD TOWN NEIGHBORHOOD BLUFFTON, SC  
**PEARCE SCOTT ARCHITECTS**  
PLUMBING WASTE PLAN

REVISIONS		
MARK	DATE	DESCRIPTION

TREC No. 1403-1405-11  
Date Printed 5/16/2019 2:39:30 PM  
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**P2.0**  
As indicated  
PLUMBING WASTE PLAN

# PLUMBING SPECIFICATION NOTES

- ALL WORK SHALL CONFORM TO LOCAL CODES.
- WATER LINES INSIDE BUILDING:
  - COPPER TYPE "L" WITH LEAD FREE SOLDER.
  - SCHEDULE 40 CPVC WITH SOLVENT JOINTS.
  - PEX WITH MANUFACTURER'S APPROVED CONNECTIONS.
- WATER LINES OUTSIDE BUILDING:
  - WATER METER TO 20' OUTSIDE BUILDING: SCHEDULE 40 PVC WITH SOLVENT JOINTS.
  - 20' OUTSIDE BUILDING ENTRY: SCHEDULE 40 CPVC OR COPPER TYPE "L" WITH LEAD FREE SOLDER.
- WASTE AND VENT: SCHEDULE 40 PVC WITH DRAINAGE PATTERN FITTINGS AND SOLVENT WELDED JOINTS.
- PROVIDE SHUT-OFF VALVES AT FIXTURES.
- EXPOSED FIXTURE TRIM SHALL BE CHROME PLATED.
- CAULK/SEAL ALL FIXTURE MOUNTING AT COUNTER, WALL AND FLOOR AS APPLICABLE.
- ALL FIXTURES AND EQUIPMENT SHALL BE PROVIDED WITH A UNION TYPE CONNECTION TO FACILITATE REMOVAL/SERVICE.
- INSULATE HOT WATER LINES FROM WATER HEATER THROUGHOUT SYSTEM WITH 3/4" FIBERGLASS PERFORM OR "FR" TYPE RUBBER OR POLYOLEFIN FLEXIBLE FOAM.
- COORDINATE WITH UTILITY COMPANIES AS REQUIRED FOR SERVICE AND METER LOCATIONS.
  - NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE BUSINESS DAYS PRIOR TO BEGINNING:
    - EARTH EXCAVATION OR DIGGING WORK.
    - WORK WHICH POTENTIALLY COMES WITHIN 10' OF ANY OVERHEAD HIGH VOLTAGE LINE.
  - NOTIFY ALL RESPECTIVE UTILITY COMPANY(IES) WHOSE LINES ARE ROUTED THROUGH, CONNECTED TO, AND/OR ARE IN 10' PROXIMITY OF CONSTRUCTION SITE.
  - GAS LINES (NATURAL):
    - LESS THAN 2 PSI, 2.5" AND LARGER: SCHEDULE 40 BLACK STEEL WITH WELDED JOINTS. 2" AND SMALLER: SCHEDULE 40 BLACK STEEL WITH SCREWED JOINTS. COPPER TYPE "L" WITH SILVER SOLDER JOINTS (1000°F). TYPE "55T" STAINLESS STEEL WITH JACKET AND COMPATIBLE FITTINGS.
    - GREATER THAN 2 PSI: SCHEDULE 40 BLACK STEEL WITH WELDED JOINTS.

## PLUMBING LEGEND

- SAN SEWER
- - - - SAN VENT
- COLD WATER
- HOT WATER
- - - - GAS LINE
- > DOUBLE CHECK VALVE BACKFLOW PREVENTER
- > PIPE DOWN
- > PIPE UP
- > PIPE CAP
- > HOSE BIBB
- > P-TRAP
- > WATER HAMMER ARRESTOR PISTON TYPE
- > FLEXIBLE CONNECTION
- VTR VENT THRU ROOF
- CO CLEAN OUT (F=FLOOR,G=GRADE,W=WALL)
- FD FLOOR DRAIN
- AC ABOVE CEILING
- > P&T PRESSURE/TEMPERATURE RELIEF VALVE
- M NATURAL GAS METER
- > NATURAL GAS CUT OFF

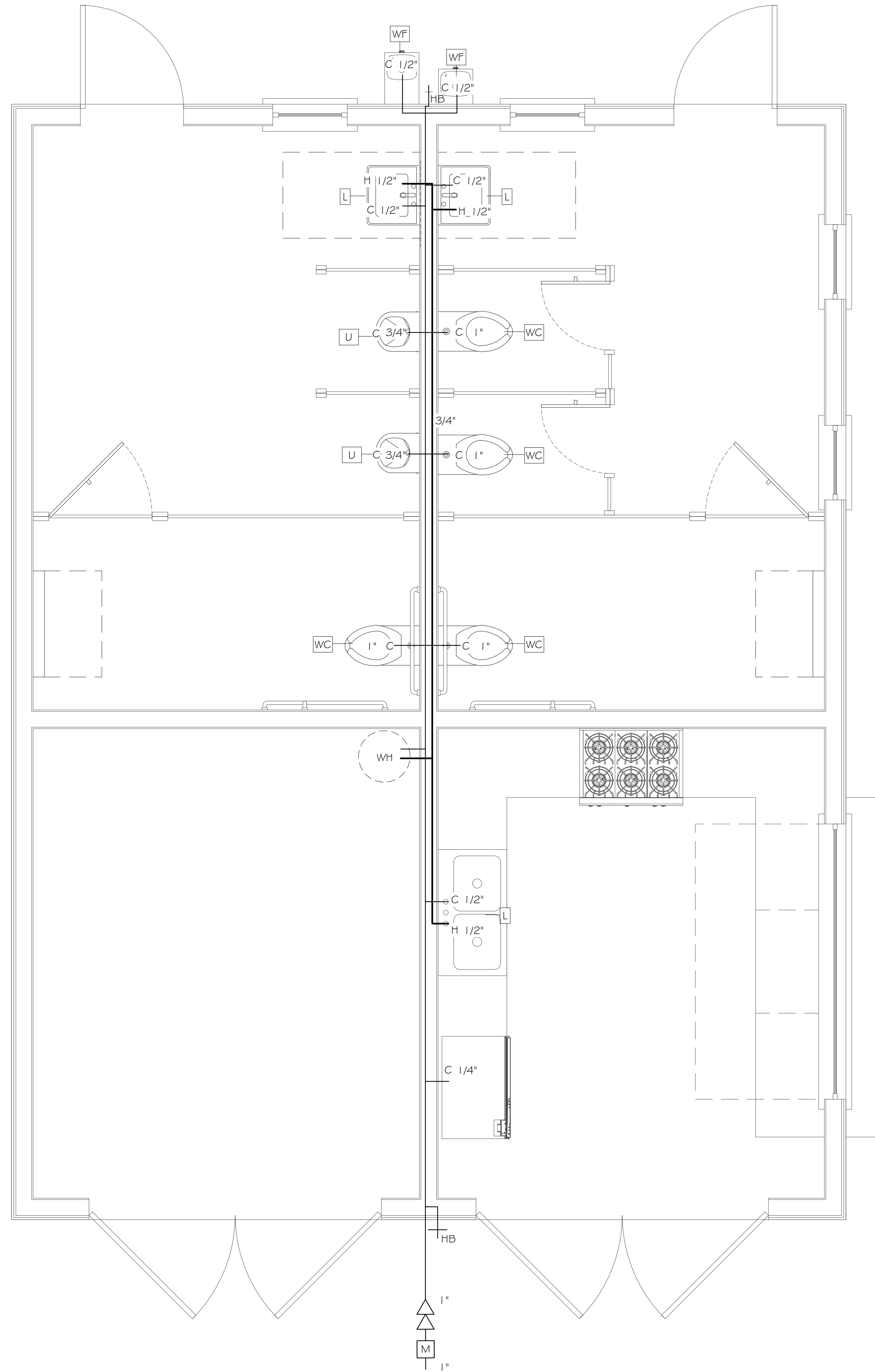
## GENERAL NOTE:

DRAWING(S) ARE **SCHEMATIC**. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATION AND REQUIREMENTS.

## PLUMBING WASTE NOTES

- LOCATE EXISTING SANITARY SEWER LINES IN FIELD.
- RUN NEW 6" WASTE LINE. ADJUST CONNECTION TO EXISTING SANITARY SEWER AS NECESSARY IN FIELD.
- INSTALL NEW FLOOR DRAIN AND ROUTE 4" WASTE LINE TO EXISTING SEWER LINE. VERIFY LOCATION AND FLOW PRIOR TO INSTALLATION. INSTALL NEW 1/2" TRAP PRIMER LINE FROM FLOOR DRAIN TO LAVATORY.
- I.W. = INDIRECT WASTE LINE RUN TO NEAREST FLOOR SINK/HUB DRAIN/FLOOR DRAIN.

PLUMBING FIXTURE SCHEDULE							
SYM.	QTY.	DESCRIPTION	MANUFACTURER MODEL	COLD	HOT	WASTE	NOTES
WC	4	WATER CLOSET, ADA RATED, FLOOR MTD., FLUSH VALVE, 1.6 GPF, VITREOUS CHINA, NOMINAL 18" SEAT HEIGHT		1"	-	3"	1,2,3,4
L	3	LAVATORY, ADA RATED, WALL MTD., GRID DRAIN, VITREOUS CHINA, SINGLE LAYER FAUCET, 4" CENTERS, COMPARTMENT SINK		1/2"	1/2"	1-1/2"	3,4,5
U	2	URINAL		3/4"	-	2"	3,4
WF	1	WATER FOUNTAIN		1/2"	-	3/4"	
REF	1	REFRIGERATOR (BY OWNER)		1/4"	-	-	
NOTES							
1. SEAT: HEAVY DUTY SOLID PLASTIC, OPEN FRONT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE. 2. LOCATE FLUSH OPERATOR ON MOST OPEN SIDE OF FIXTURE. 3. SOLID BLOCKING IN WALL FOR FIXTURE SUPPORT. 4. CAULK/GROUT/SEAL FIXTURE CONTACT WITH WALL/FLOOR/COUNTER, AS APPLICABLE. 5. PROVIDE MIXING VALVE TO TEMPER WATER (110°F).							



1 PLUMBING- WATER PLAN  
1/2" = 1'-0"

DESIGN

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 PO BOX 65618 SAVANNAH, GEORGIA 31416

**WRIGHT FAMILY PARK**  
 111 CALHOUN STREET OLD  
 TOWN NEIGHBORHOOD  
 BLUFFTON, SC

**PEARCE SCOTT ARCHITECTS**  
 PLUMBING WATER PLAN

REVISIONS		
MARK	DATE	DESCRIPTION

TREC No. 1403-1405-11  
 Date Printed 5/16/2019 2:39:31 PM  
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**P2.1**  
 As indicated

PLUMBING WATER PLAN

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# PLUMBING SPECIFICATION NOTES

1. ALL WORK SHALL CONFORM TO LOCAL CODES.
2. WATER LINES INSIDE BUILDING:
  - A. COPPER TYPE "L" WITH LEAD FREE SOLDER.
  - B. SCHEDULE 40 CPVC WITH SOLVENT JOINTS.
  - C. PEX WITH MANUFACTURER'S APPROVED CONNECTIONS.
3. WATER LINES OUTSIDE BUILDING:
  - A. WATER METER TO 20' OUTSIDE BUILDING: SCHEDULE 40 PVC WITH SOLVENT JOINTS.
  - B. 20' OUTSIDE BUILDING ENTRY: SCHEDULE 40 CPVC OR COPPER TYPE "L" WITH LEAD FREE SOLDER.
4. WASTE AND VENT: SCHEDULE 40 PVC WITH DRAINAGE PATTERN FITTINGS AND SOLVENT WELDED JOINTS.
5. PROVIDE SHUT-OFF VALVES AT FIXTURES.
6. EXPOSED FIXTURE TRIM SHALL BE CHROME PLATED.
7. CAULK/SEAL ALL FIXTURE MOUNTING AT COUNTER, WALL AND FLOOR AS APPLICABLE.
8. ALL FIXTURES AND EQUIPMENT SHALL BE PROVIDED WITH A UNION TYPE CONNECTION TO FACILITATE REMOVAL/SERVICE.

9. INSULATE HOT WATER LINES FROM WATER HEATER THROUGHOUT SYSTEM WITH 3/4" FIBERGLASS PERFORM OR "FR" TYPE RUBBER OR POLYOLEFIN FLEXIBLE FOAM.
10. COORDINATE WITH UTILITY COMPANIES AS REQUIRED FOR SERVICE AND METER LOCATIONS.
  - A. NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE BUSINESS DAYS PRIOR TO BEGINNING:
    - A. EARTH EXCAVATION OR DIGGING WORK.
    - B. WORK WHICH POTENTIALLY COMES WITHIN 10' OF ANY OVERHEAD HIGH VOLTAGE LINE.
  - B. NOTIFY ALL RESPECTIVE UTILITY COMPANY(IES) WHOSE LINES ARE ROUTED THROUGH, CONNECTED TO, AND/OR ARE IN 10' PROXIMITY OF CONSTRUCTION SITE.

## PLUMBING LEGEND

- SAN SEWER
- - - - - SAN VENT
- COLD WATER
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- - - - - GAS LINE
- > DOUBLE CHECK VALVE BACKFLOW PREVENTER
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- | PIPE CAP
- + HB HOSE BIBB
- | F-TRAP
- | WATER HAMMER ARRESTOR PISTON TYPE
- | FLEXIBLE CONNECTION
- VTR VENT THRU ROOF
- CO CLEAN OUT (F=FLOOR, G=GRADE, W=WALL)
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PLUMBING FIXTURE SCHEDULE							
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L	3	LAVATORY, ADA RATED, WALL MTD., GRID DRAIN, VITREOUS CHINA, SINGLE LAYER FAUCET, 4" CENTERS, COMPARTMENT SINK		1/2"	1/2"	1-1/2"	3,4,5
U	2	URINAL		3/4"	-	2"	3,4
WF	1	WATER FOUNTAIN		1/2"	-	3/4"	
REF	1	REFRIGERATOR (BY OWNER)		1/4"	-	-	

NOTES

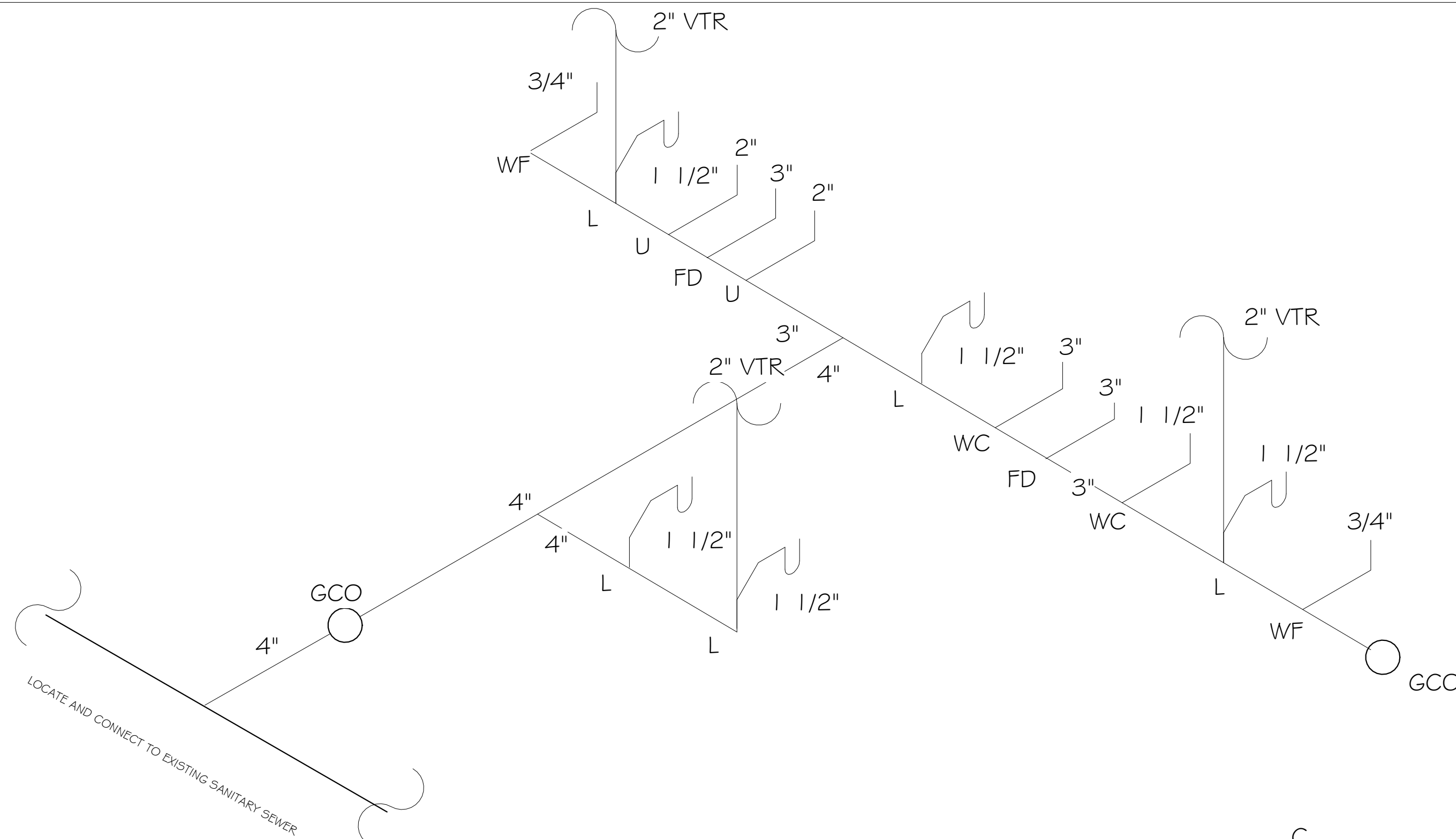
1. SEAT: HEAVY DUTY SOLID PLASTIC, OPEN FRONT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE.
2. LOCATE FLUSH OPERATOR ON MOST OPEN SIDE OF FIXTURE.
3. SOLID BLOCKING IN WALL FOR FIXTURE SUPPORT.
4. CAULK/GROUT/SEAL FIXTURE CONTACT WITH WALL/FLOOR/COUNTER, AS APPLICABLE.
5. PROVIDE MIXING VALVE TO TEMPER WATER (1 TO F).

## GENERAL NOTE:

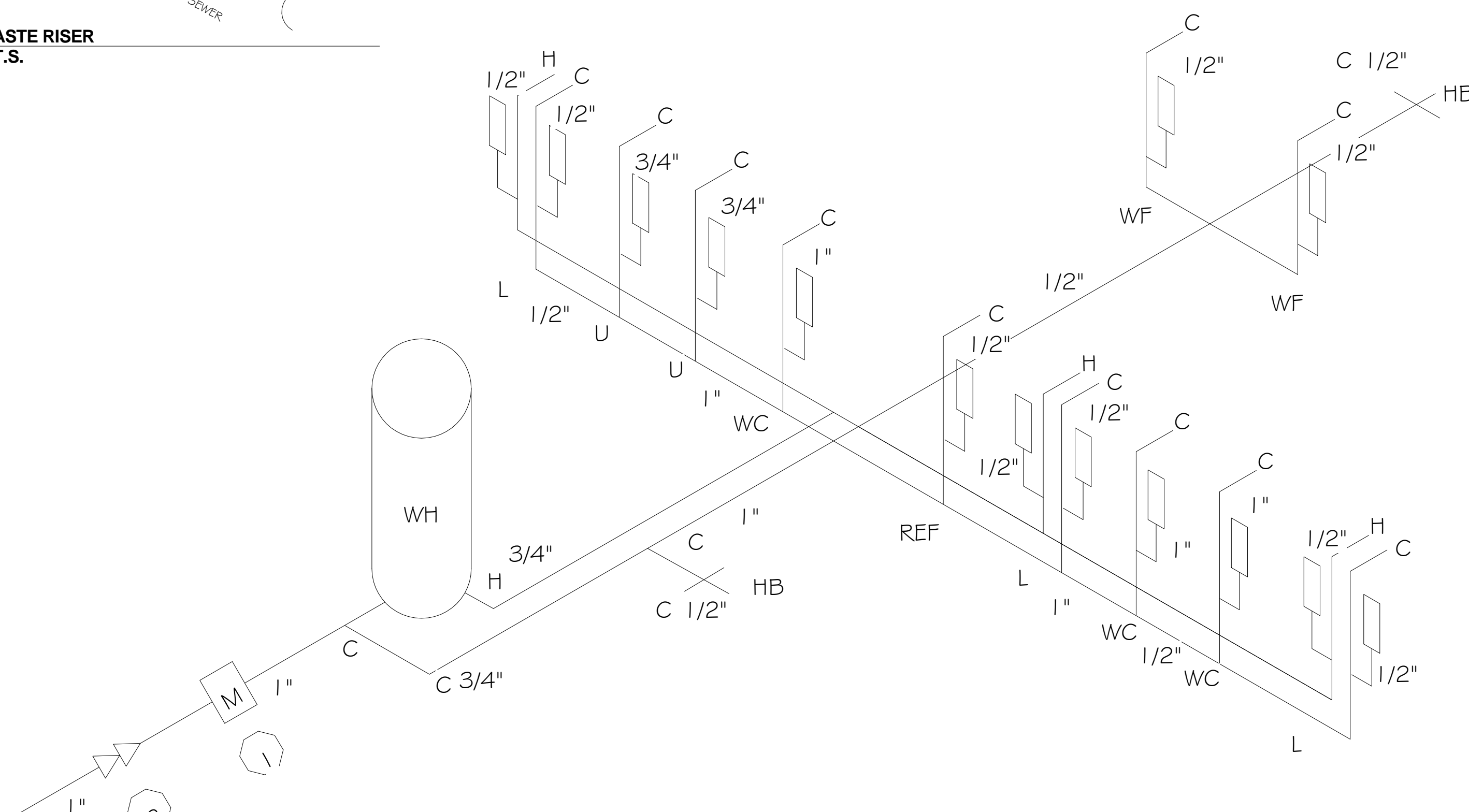
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## PLUMBING WASTE NOTES

1. LOCATE EXISTING SANITARY SEWER LINES IN FIELD.
2. RUN NEW 4" WASTE LINE. ADJUST CONNECTION TO EXISTING SANITARY SEWER AS NECESSARY IN FIELD.
3. INSTALL NEW FLOOR DRAIN AND ROUTE 4" WASTE LINE TO EXISTING SEWER LINE. VERIFY LOCATION AND FLOW PRIOR TO INSTALLATION. INSTALL NEW 1/2" TRAP PRIMER LINE FROM FLOOR DRAIN TO LAVATORY.
4. I.W. = INDIRECT WASTE LINE RUN TO NEAREST FLOOR SINK/HUB DRAIN/FLOOR DRAIN.



1 WASTE RISER N.T.S.



3 WATER RISER N.T.S.

**TYPICAL WATER HEATER CALCULATION**

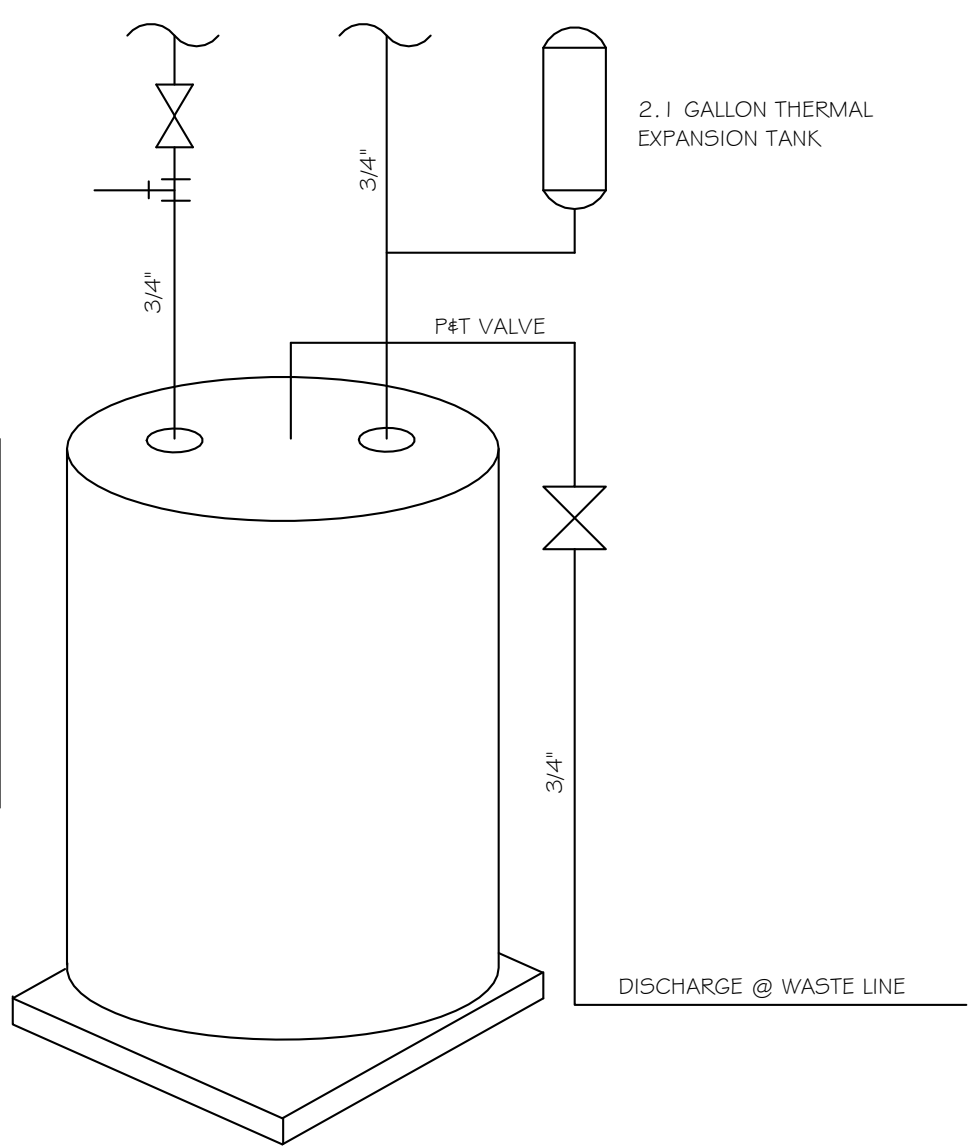
(1) L @ 3 = 3

TOTAL LOAD: 3 GPM X 60 X .80  
1.44 = GPH DEMAND

KW INPUT = GPH x RISE x LB GAL  
THERMAL EFFICIENCY

KW INPUT = 1.44 GPH x 60°F x 8.33 lb  
.98 x 3412 BTU/KW

KW INPUT = 21.5 KW



4 WATER HEATER DETAIL 1/4" = 1'-0"

ISSUE FOR CONSTRUCTION

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DESIGN

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PO BOX 45818 SAVANNAH, GEORGIA 31416

**WRIGHT FAMILY PARK**

111 CALHOUN STREET OLD TOWN NEIGHBORHOOD BLUFFTON, SC

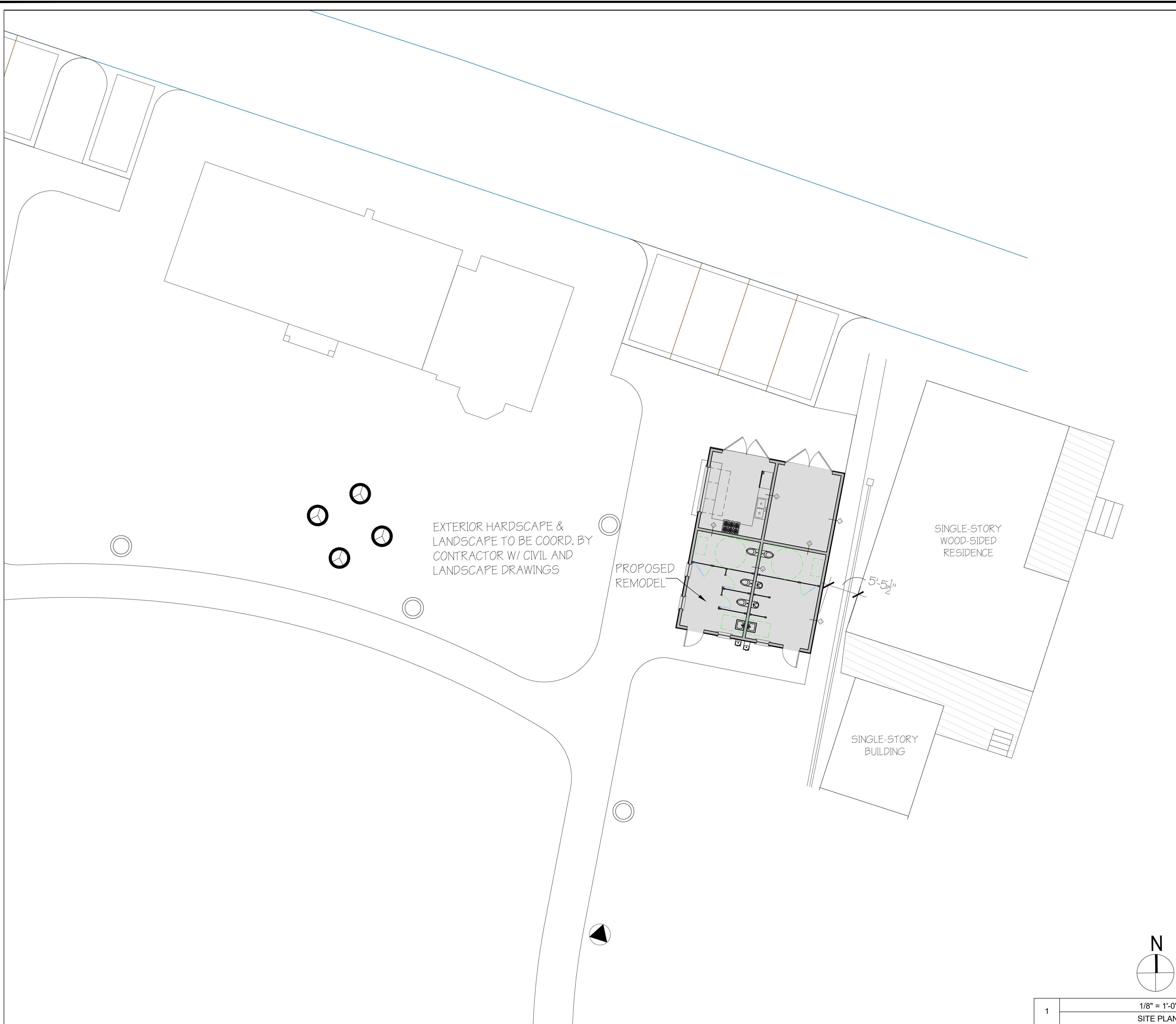
**PEARCE SCOTT ARCHITECTS**  
RISERS

REVISIONS		
MARK	DATE	DESCRIPTION

TREC No.	1403-1405-11
Date Printed	5/16/2019 2:39:32 PM
Date Issued	12/11/2018
Designed By	PU
Checked by	DR
Approved by	MT

**P3.0**  
As indicated

RISERS



- SITE NOTES:
1. VERIFY FINISHED GRADES W/ LANDSCAPE ARCHITECT.
  2. VERIFY LOCATION OF GAS, CABLE, POWER AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.
  3. VERIFY LOCATION OF WATER MAIN AND SEWER LINE ON SITE. COORDINATE SIZE OF LINE W/ PLUMBING SUB-CONTRACTOR.
  4. REFER TO LANDSCAPE PLANS FOR TREES TO BE REMOVED, TREE PROTECTION, SILT FENCING LOCATIONS, DETAILS, & MOBILIZATION.
  5. ALL HARDSCAPE / PAVING, FILL & GRADING TO BE COORD. BY CONTRACTOR & LANDSCAPE ARCHITECT.
  6. CONTRACTOR TO COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.
  7. SEE LANDSCAPE/CIVIL DRAWINGS FOR FINAL SPOT ELEVATIONS AND GRADING.
- X TREES TO BE REMOVED (COORDINATE W/ LANDSCAPE PLAN)

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	RELEASED FOR PERMIT	05.22.19	SDB

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**A REMODEL FOR:**  
 TOWN OF BLUFFTON  
 111 CALHOUN STREET  
 OLD TOWN NEIGHBORHOOD  
 BLUFFTON, SC 29910

**PEARCE SCOTT ARCHITECTS**

6 STATE OF MIND ST  
 SUITE 200  
 BLUFFTON, SC 29910  
 843.837.5700



PROJECT NO.	1866
DATE	05.22.19
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CHECKED BY	AWB

**SITE PLAN**

SHEET NO.

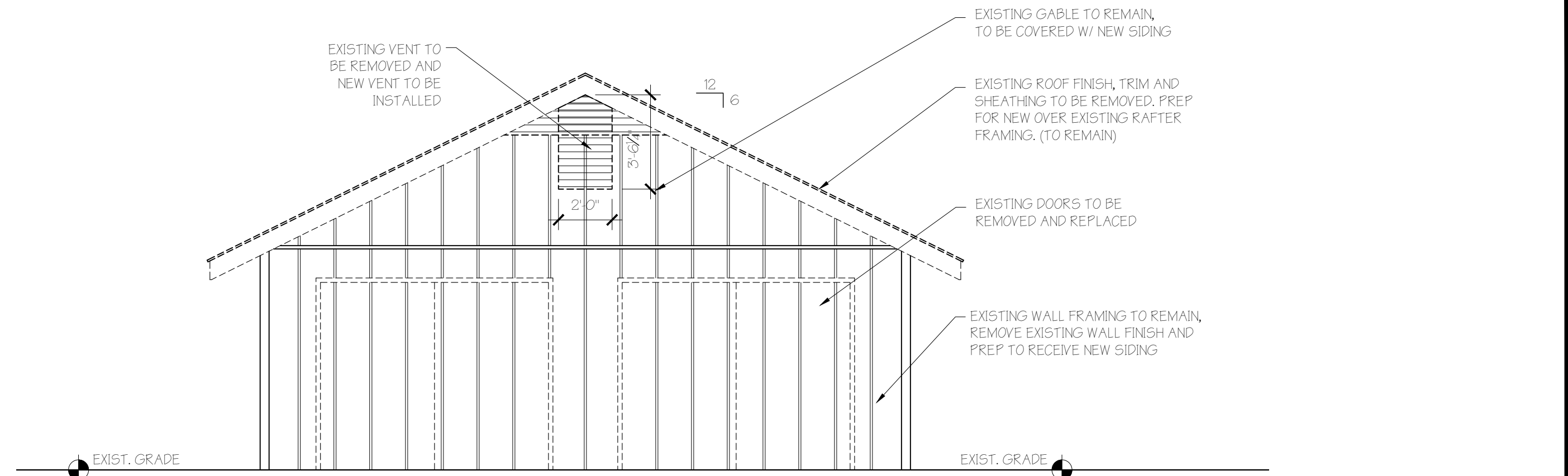
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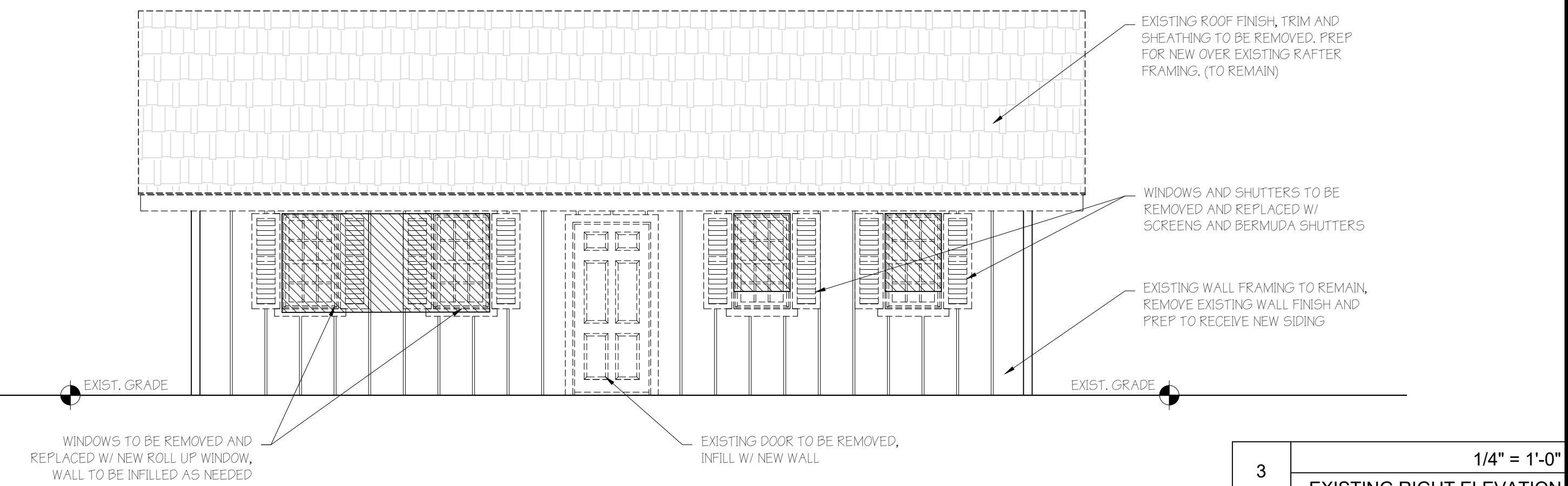
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	RELEASED FOR PERMIT	05.22.19	SDB

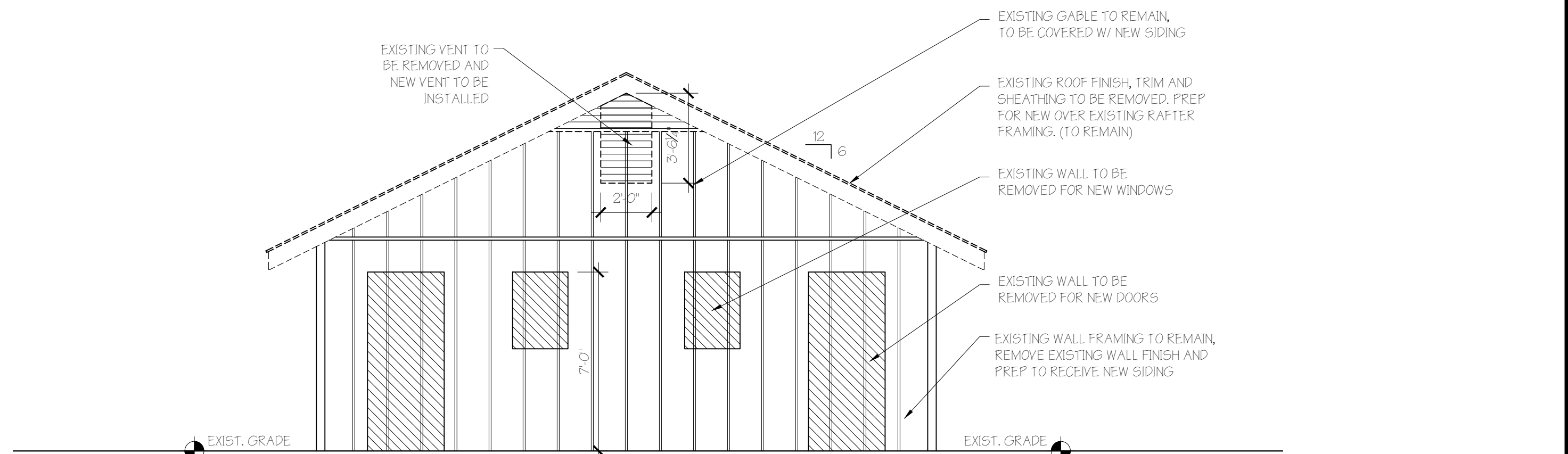
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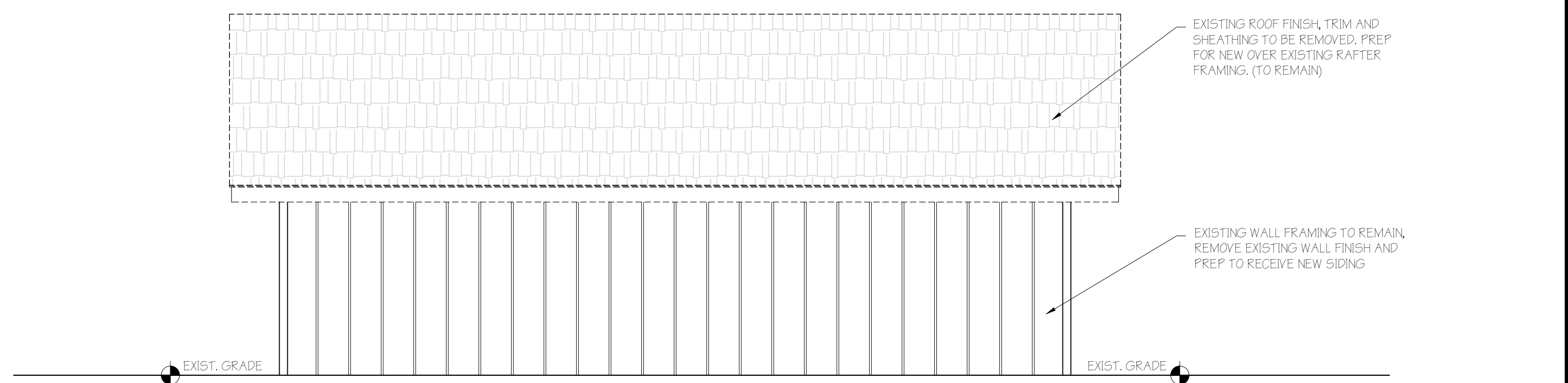
2 1/4" = 1'-0"  
EXISTING FRONT ELEVATION



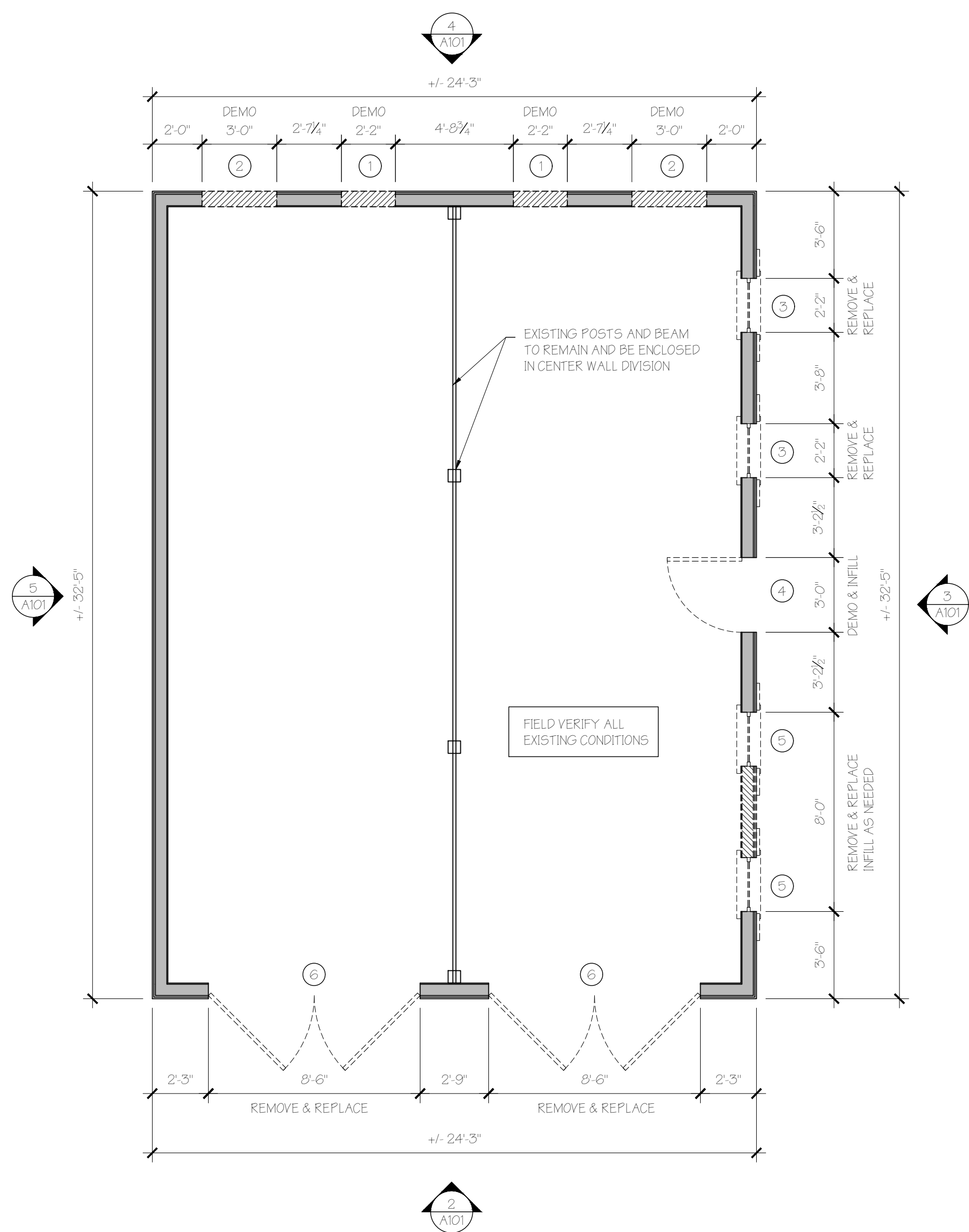
3 1/4" = 1'-0"  
EXISTING RIGHT ELEVATION



4 1/4" = 1'-0"  
EXISTING REAR ELEVATION



5 1/4" = 1'-0"  
EXISTING LEFT ELEVATION



1 1/4" = 1'-0"  
EXISTING FIRST FLOOR PLAN

- DEMO NOTES
- EXISTING WALL TO BE REMOVED FOR NEW FIXED SCREEN AND BERMUDA SHUTTER
  - EXISTING WALL TO BE REMOVED FOR NEW DOOR
  - EXISTING WINDOW TO BE REMOVED AND REPLACED WITH NEW FIXED SCREEN AND BERMUDA SHUTTER, INFILL AS REQUIRED
  - EXISTING DOOR TO BE REMOVED, INFILL WITH NEW WALL FRAMING
  - EXISTING WINDOW TO BE REMOVED AND REPLACED WITH NEW ROLL UP WINDOW, INFILL BELOW AS REQUIRED
  - EXISTING DOORS TO BE REMOVED AND REPLACED

- GENERAL NOTES
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES REQUIRED BY THE LOCAL JURISDICTION.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
  - THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS, ONLY WRITTEN DIMENSIONS ARE TO BE USED.
  - MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
  - THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
  - EACH CONTRACTOR SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER CONTRACTORS. (PLUMBING, ELECTRICAL, MECH)
  - PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
  - EACH CONTRACTOR SHALL DO CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB IN EACH PRIME CONTRACT.
  - ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
  - EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER CONTRACTORS AND SUPPLIERS.

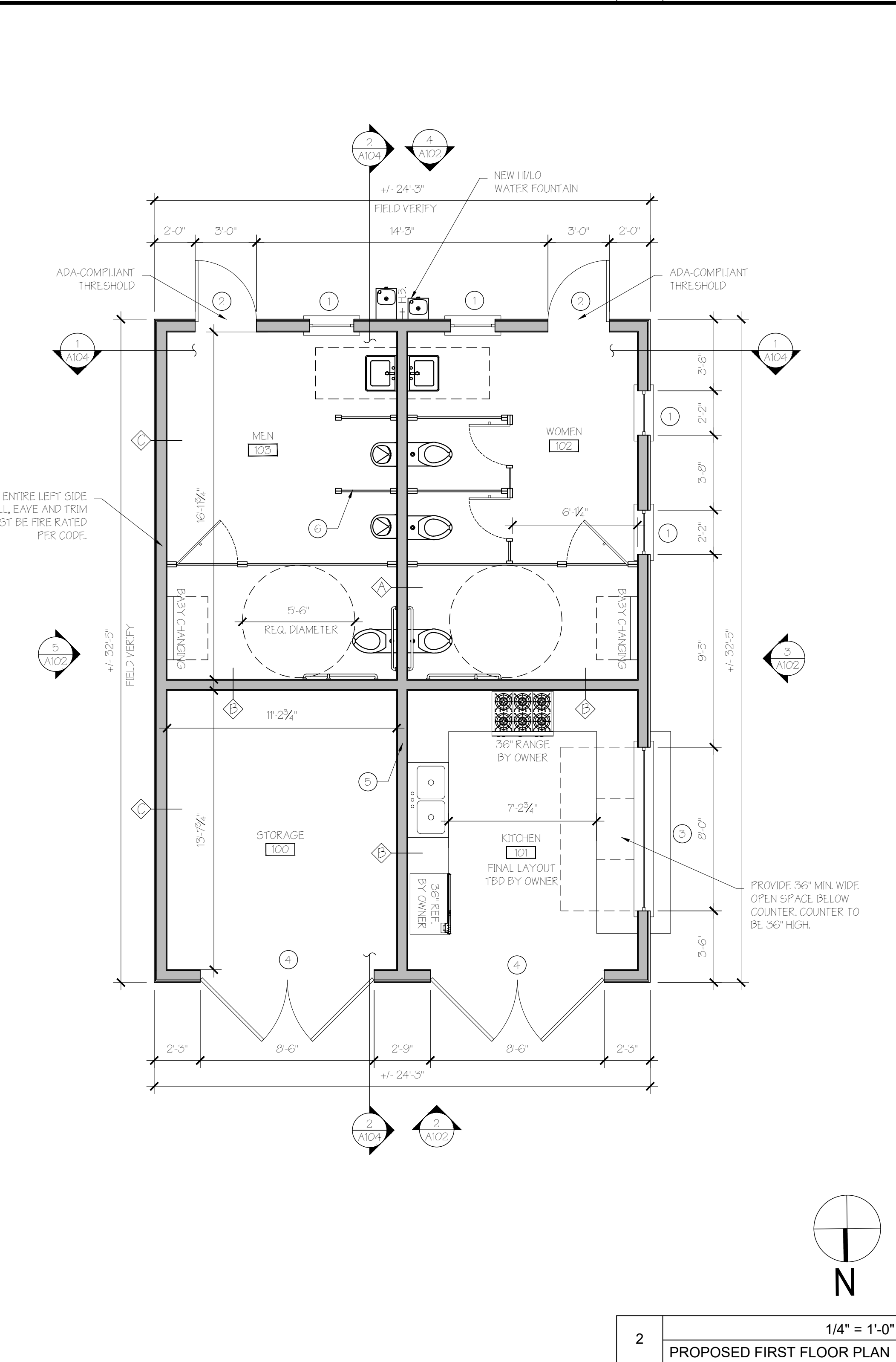
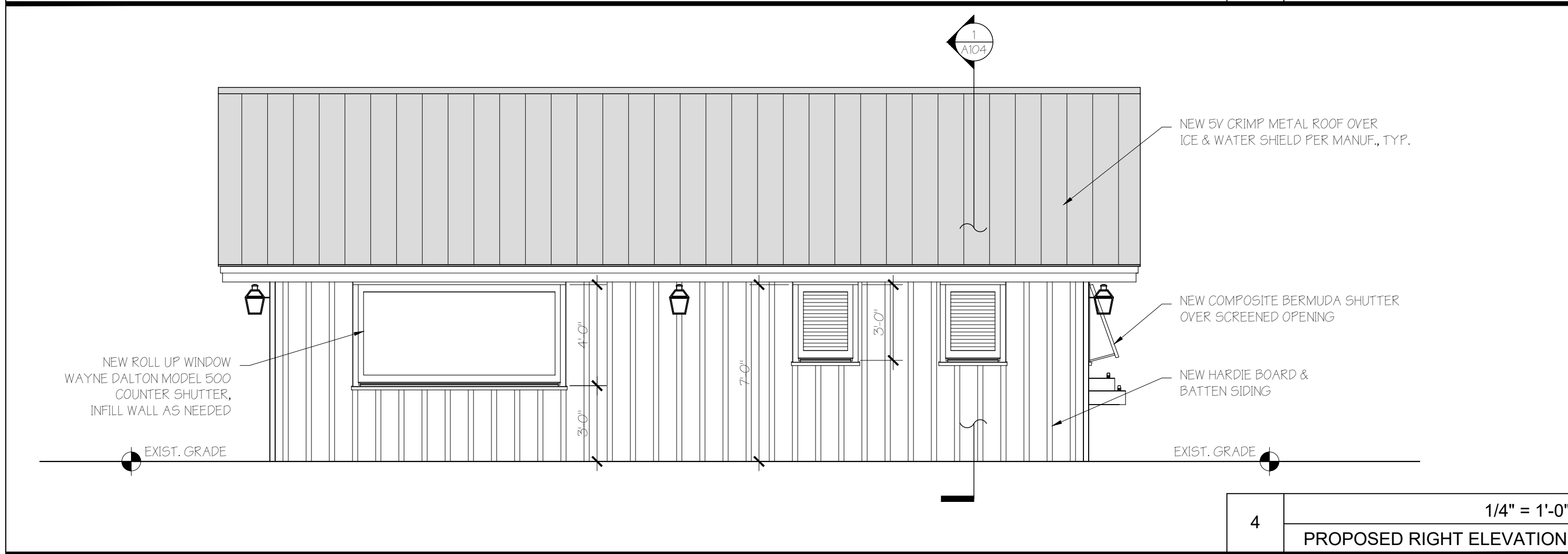
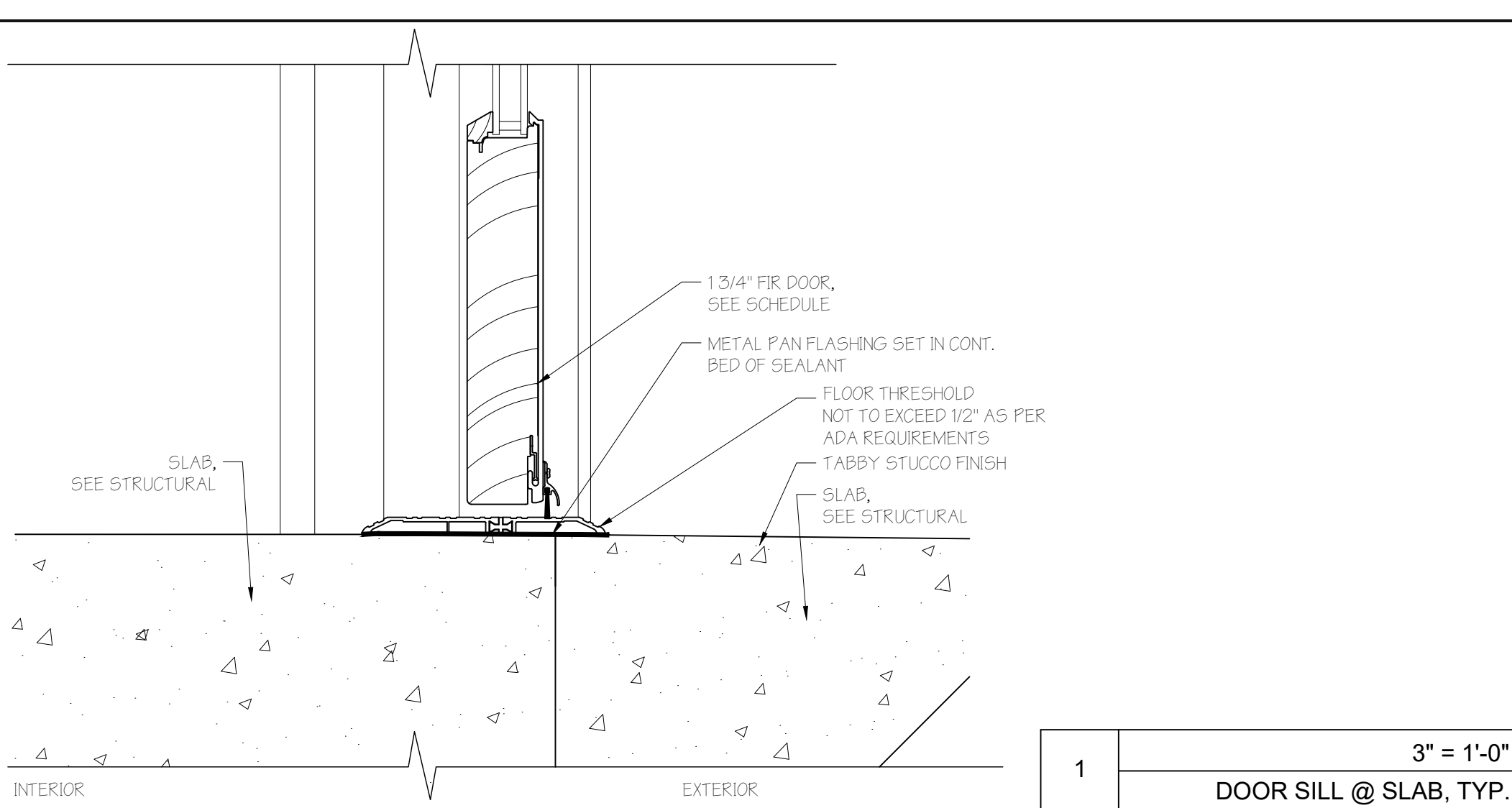
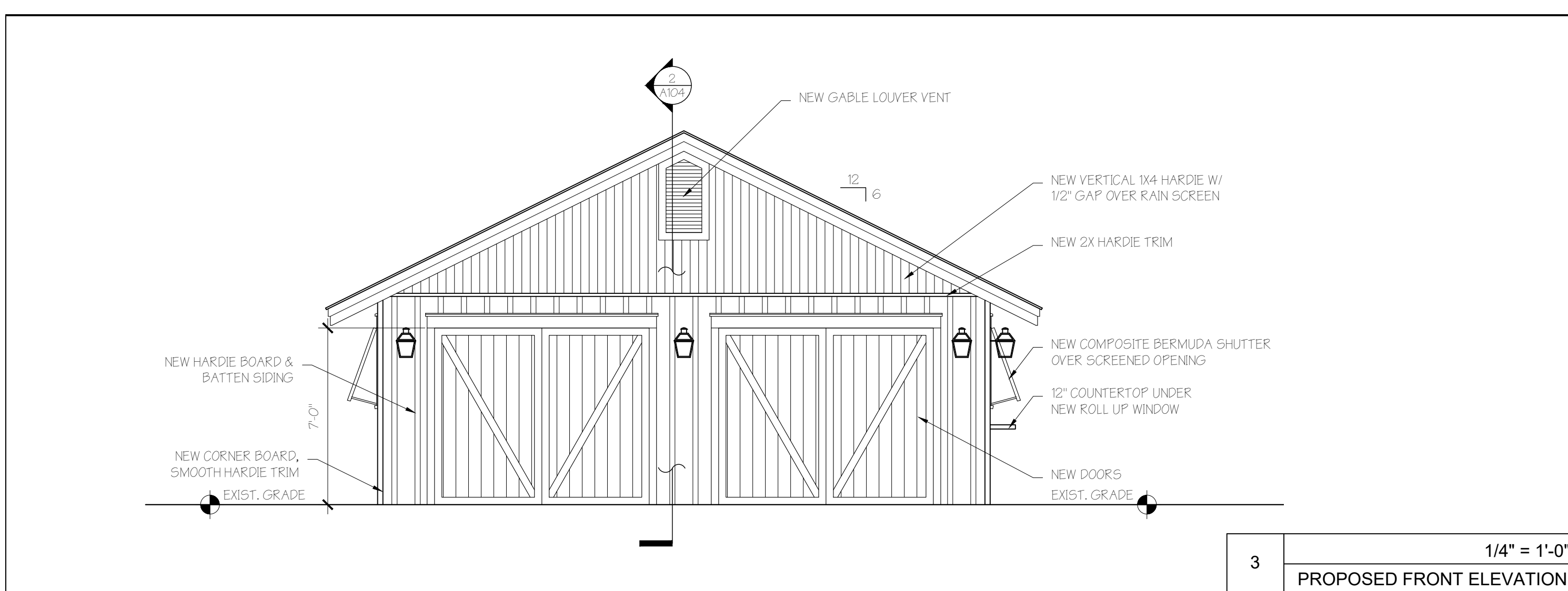
**A REMODEL FOR:**  
TOWN OF BLUFFTON  
111 CALHOUN STREET  
OLD TOWN NEIGHBORHOOD  
BLUFFTON, SC 29910

**PEARCE SCOTT ARCHITECTS**  
6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700



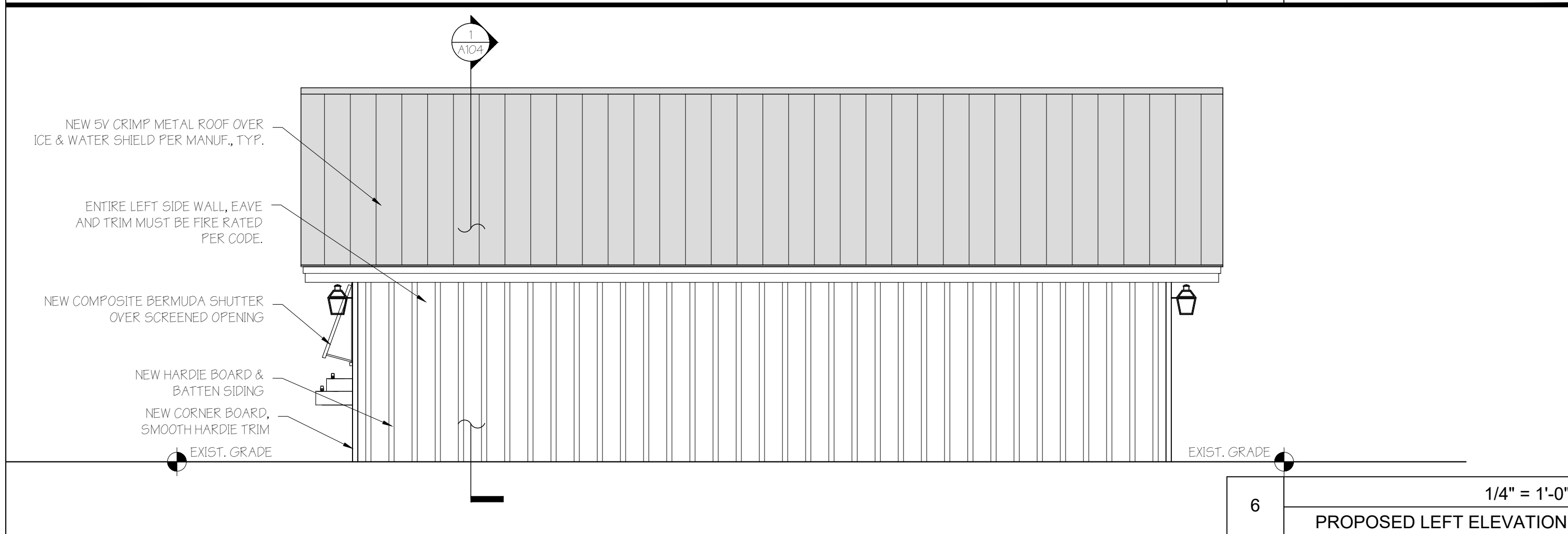
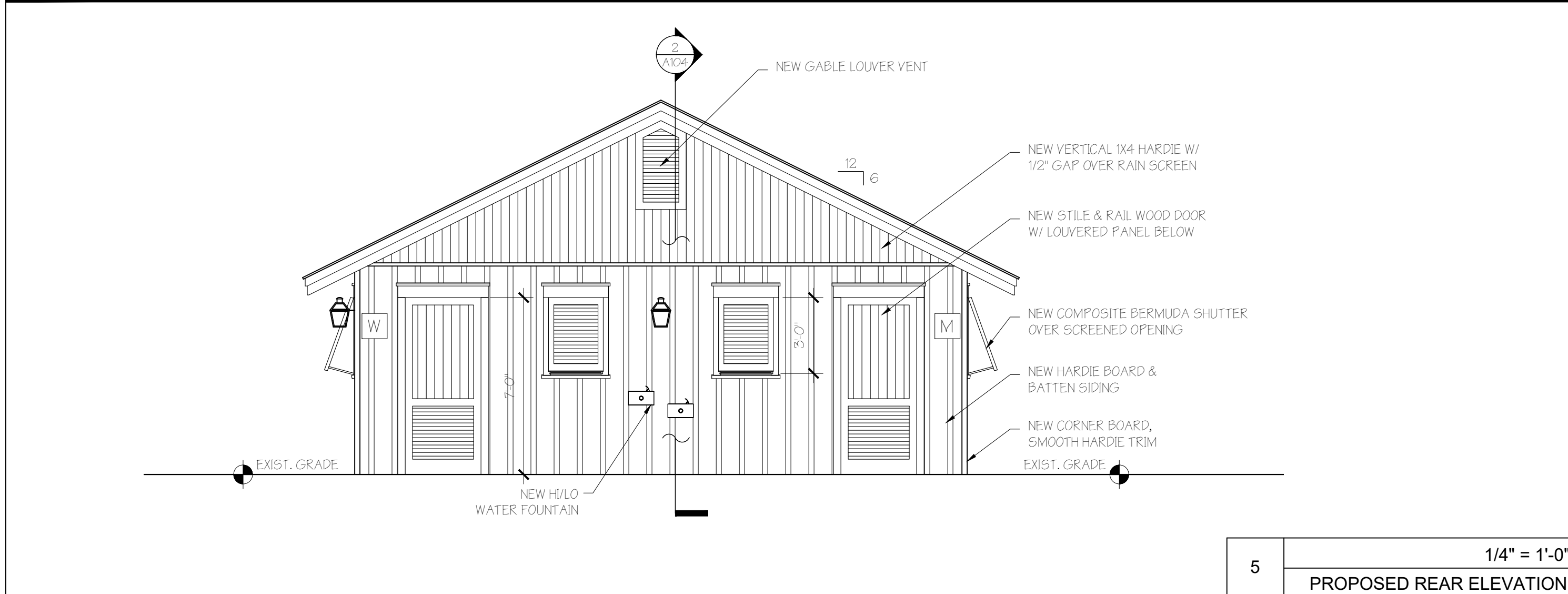
PROJECT NO.	1866
DATE	05.22.19
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CHECKED BY	AWB

**EXST. PLAN & ELEVATIONS**  
SHEET NO.  
**A101**



- REMODEL NOTES**
1. NEW FIXED SCREEN OPENINGS WITH BAHAMA SHUTTERS, SIZE PER PLAN & ELEVATIONS, HEAD HEIGHT TO MATCH DOORS
  2. NEW 3'-0" X 7'-0" FIBERGLASS DOOR WITH LOUVERED PANEL AT BOTTOM, PER ELEVATION
  3. NEW ROLL UP WINDOW, WAYNE DALTON MODEL 500 COUNTER SHUTTER, 4' HIGH BY 8' WIDE
  4. NEW 8'-0" X 7'-0" FIBERGLASS DOUBLE DOORS
  5. NEW 2X6 WALLS
  6. NEW CORRUGATED METAL DIVIDING WALL

- GENERAL NOTES**
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES REQUIRED BY THE LOCAL JURISDICTION.
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  - EACH CONTRACTOR SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER CONTRACTORS. (PLUMBING, ELECTRICAL, MECH.)
  - PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
  - EACH CONTRACTOR SHALL DO CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB IN EACH PRIME CONTRACT.
  - ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
  - EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER CONTRACTORS AND SUPPLIERS.



DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
1			
2			
3			
4			
5			
6			

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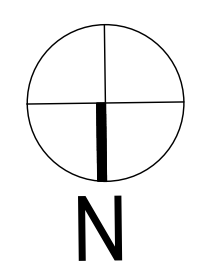
**A REMODEL FOR:**  
TOWN OF BLUFFTON  
111 CALHOUN STREET  
OLD TOWN NEIGHBORHOOD  
BLUFFTON, SC 29910

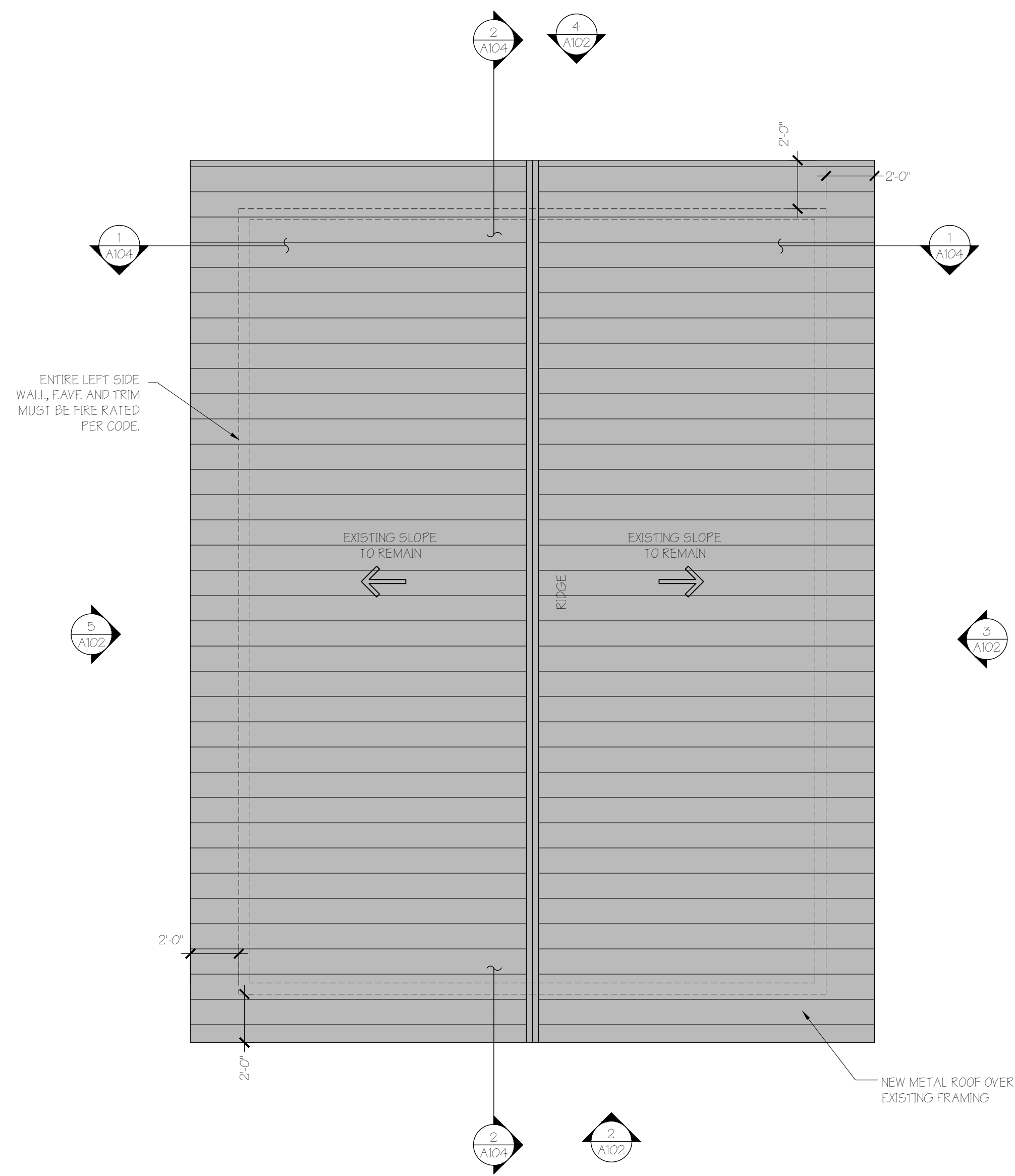
**PEARCE SCOTT ARCHITECTS**  
6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700



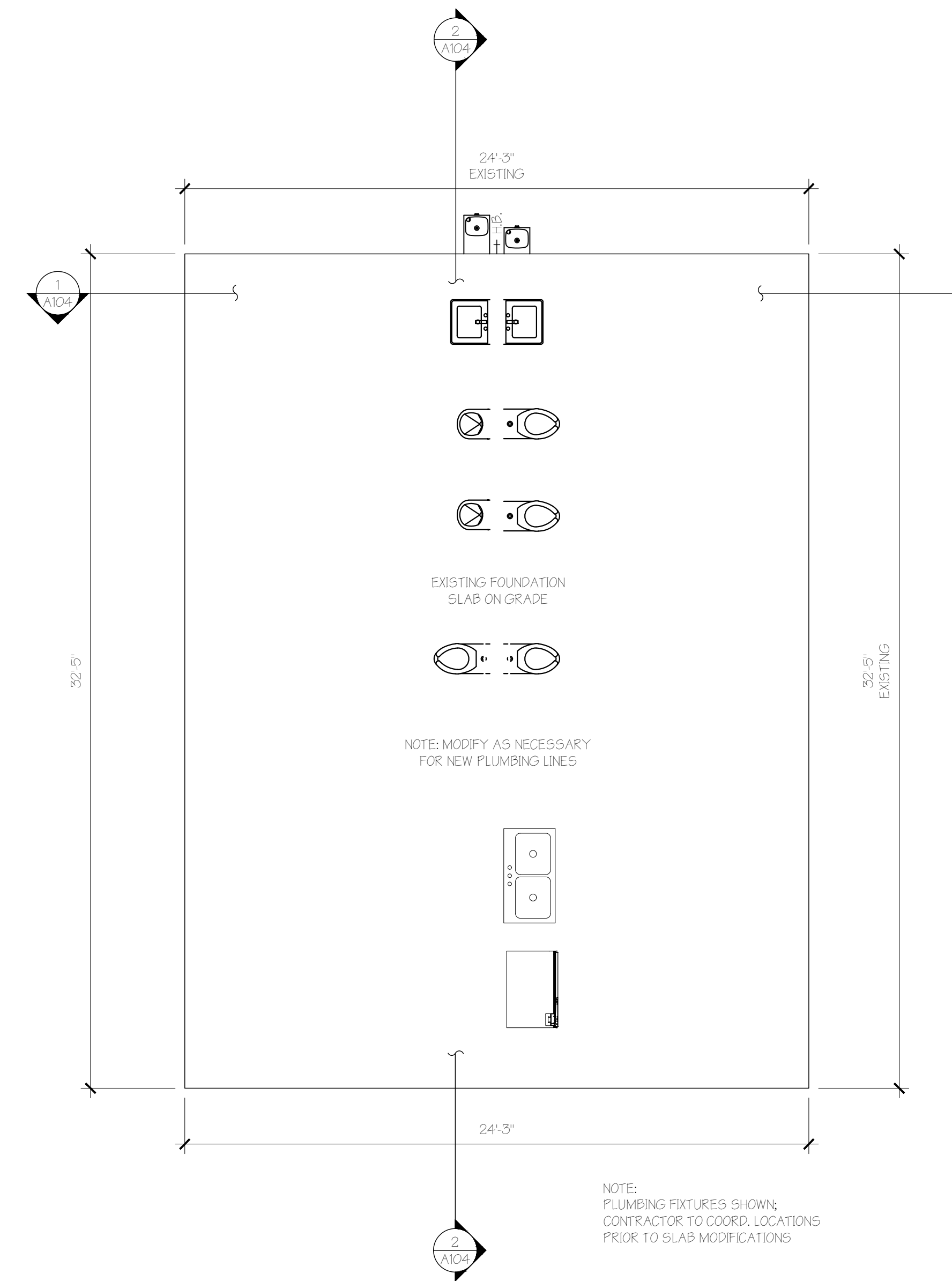
PROJECT NO.	1866
DATE	05.22.19
DRAWN BY	SDB
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**PROP. PLAN & ELEVATIONS**  
SHEET NO.  
**A102**

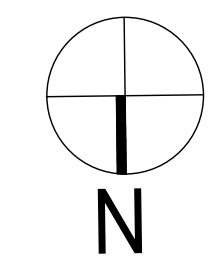




2 1/4" = 1'-0"  
ROOF PLAN



1 1/4" = 1'-0"  
FOUNDATION PLAN



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**A REMODEL FOR:**  
 TOWN OF BLUFFTON  
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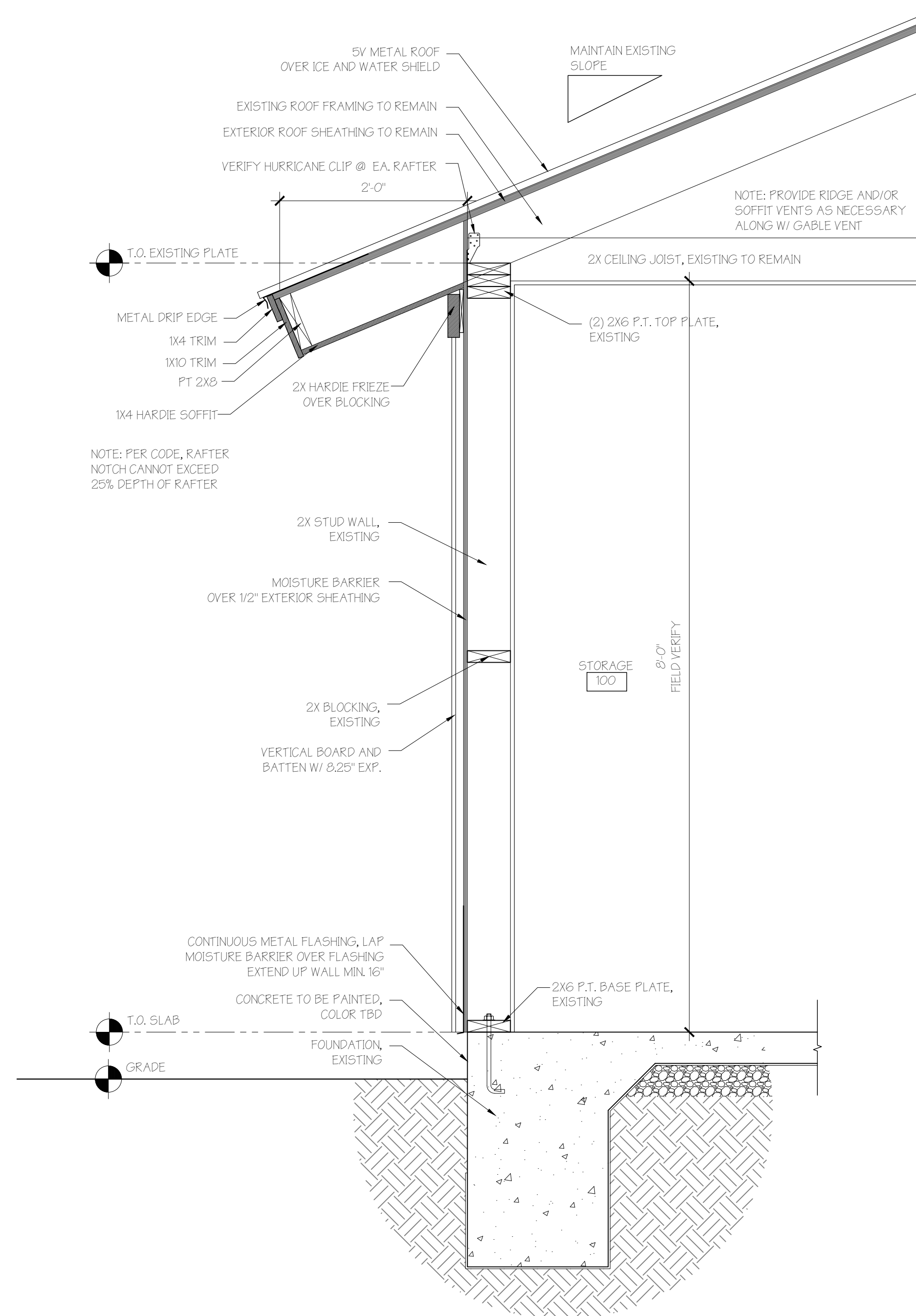
**PEARCE SCOTT ARCHITECTS**  
 6 STATE OF MIND ST  
 SUITE 200  
 BLUFFTON, SC 29910  
 843.837.5700



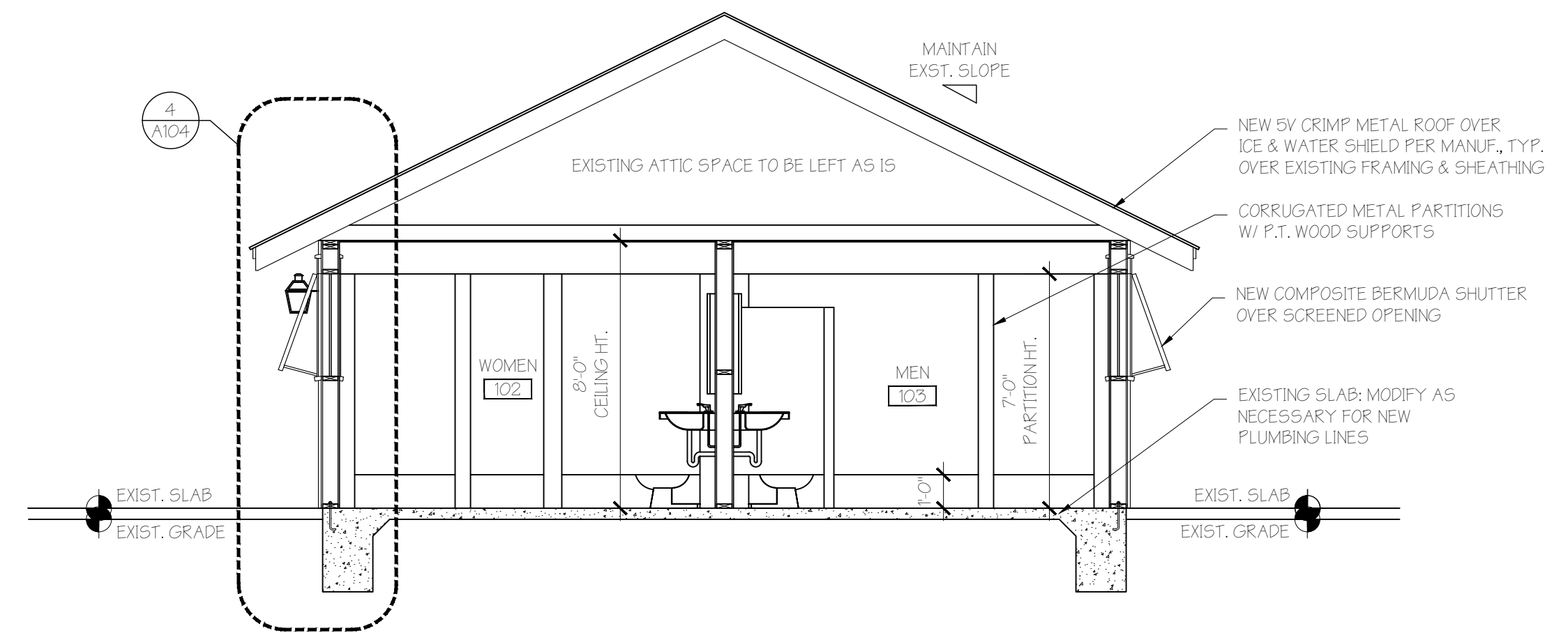
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DATE	05.22.19
DRAWN BY	SDB
CHECKED BY	AWB

**FOUNDATION & ROOF PLANS**  
 SHEET NO.

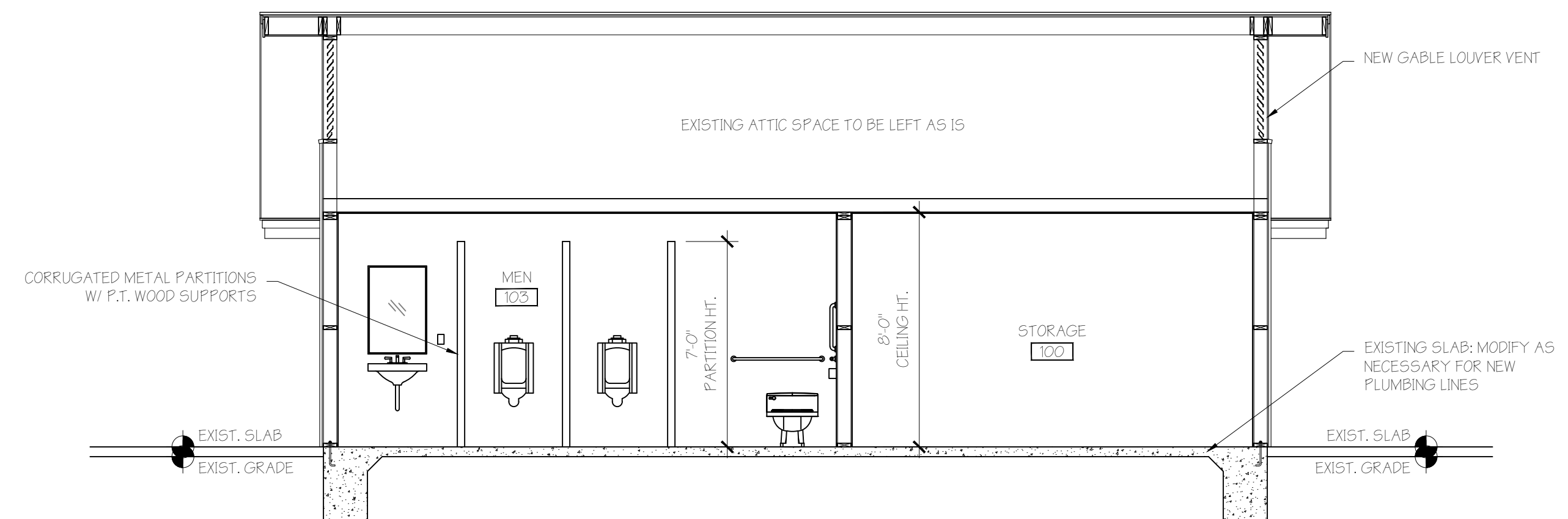
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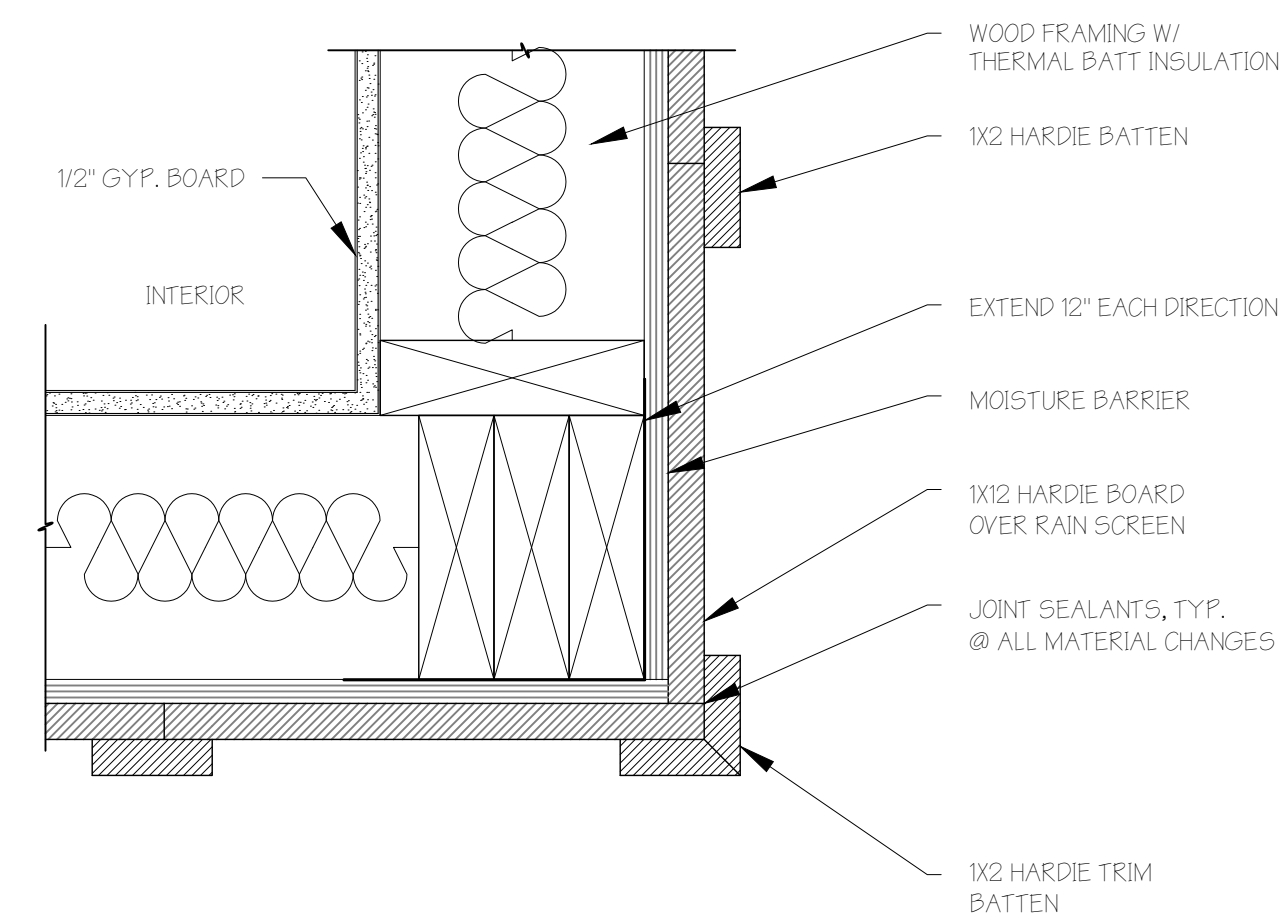
4 1" = 1'-0"  
WALL SECTION



1 1/4" = 1'-0"  
BUILDING SECTION 1



2 1/4" = 1'-0"  
BUILDING SECTION 2



3 3" = 1'-0"  
CORNER BOARD DETAIL

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**SECTIONS & DETAILS**  
SHEET NO.

**A104**