

CONSTRUCTION PLANS
FOR
McCALL PARK IMPROVEMENTS
EFFINGHAM COUNTY, GEORGIA

EFFINGHAM COUNTY BOARD OF COMMISSIONERS

DRAWING LIST

FEBRUARY 2021

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EFFINGHAM COUNTY BOARD OF COMMISSIONERS
601 N LAUREL STREET
SPRINGFIELD, GEORGIA

GENERAL NOTES:

OWNER: EFFINGHAM COUNTY BOARD OF COMMISSIONERS
601 N LAUREL STREET
SPRINGFIELD, GEORGIA 31329
ATTN: ERIC LARSON, P.E. - COUNTY ENGINEER

SITE LOCATION AND DESCRIPTION:
THE SITE IS LOCATED ON McALL, ROAD IN EFFINGHAM COUNTY JUST WEST OF HWY 21 AND McCALL ROAD INTERSECTION IN EFFINGHAM COUNTY, GEORGIA. THE SITE IS AN EXISTING UNDER-DEVELOPED RECREATION PARK CONTAINING A PLAY GROUND AREA, COVERED PAVILION, AND RESTROOM BUILDING WITH 2 BALL FIELDS. THE PROJECT CONSISTS OF THE DEVELOPMENT OF A NEW RECREATIONAL MULTI-USE AREA WITH NEW DOG PARKS, BASEBALL FIELD, NEW SPORTS FIELD, FULL-COURTBASKETBALL AREA, WALKING TRAIL ALONG WITH A NEW ASPHALT PAVEMENT AREA

UPON MOBILIZATION TO THE SITE, THE COUNTY WILL CLOSE PUBLIC ACCESS TO THE PARK FOR THE DURATION OF THE WORK.

EXISTING PROPERTY BOUNDARY AND LOCATIONS OF EXISTING STRUCTURES AND FEATURES IS BASED ON INFORMATION PROVIDED FROM EFFINGHAM COUNTY GIS DEPARTMENT. TOPOGRAPHIC INFORMATION PROVIDED BY COUNTY LIDAR.

A TEMPORARY BENCHMARK HAS BEEN IDENTIFIED ON THE PLANS AND IS LOCATED AT THE NORTHWESTERN CORNER OF THE EXISTING COVERED PAVILION SLAB ON GRADE AND IS DESIGNATED TO BE ELEVATION 58.00

CONTRACTOR IS TO TEMPORARILY FIELD STAKE CORNERS OF ALL NEW FEATURES, I.E., FIELDS, DOG PARK FENCING, COURTS AND PARKING LOT ALONG WITH PROPERTY LINES FOR VERIFICATION BY THE COUNTY PRIOR TO COMMENCING WORK.

NO GEOTECHNICAL INVESTIGATIONS OR SUBSURFACE UTILITY LOCATIONS HAVE BEEN PERFORMED. ANY GEOTECHNICAL INVESTIGATIONS REQUIRED BY THE CONTRACTOR IS TO BE INCLUDED IN THE CONTRACTOR'S BID. CONTRACTOR IS REQUIRED TO PERFORM "CALL BEFORE YOU DIG" PRIOR TO COMMENCING ANY EARTHWORK.

ALL SUBMITTAL OF EQUIPMENT AND MATERIALS ARE TO BE SUBMITTED TO THE COUNTY PRIOR TO INSTALLATION AND/OR USE.

CONTRACTOR IS TO DESIGNATE AN ON-SITE SUPERINTENDENT FOR ALL COMMUNICATIONS WITH THE COUNTY.

NO WORK ON THE EXISTING PAVILION IS INCLUDED IN THIS CONTRACT. CONTRACTOR IS TO USE CARE IN AVOIDING ANY DAMAGE TO THIS STRUCTURE. EXISTING RESTROOM BUILDING IS TO BE DEMOLISHED AND REBUILT AS BID ALTERNATE.

CONTRACTOR IS TO DESIGN, PERMIT & INSTALL A NEW SHALLOW WATER WELL FOR THE FACILITY AT A LOCATION TO BE DETERMINED BY THE COUNTY

DEMOLITION AND DISPOSAL OF EXISTING PERIMETER FENCING AT THE EXISTING BASEBALL FIELDS IS THE RESPONSIBILITY OF THE CONTRACTOR

ALL CLEARING AND GRADING OF THE SITE NECESSARY FOR THE CONSTRUCTION WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR IS TO COORDINATE ANY WORK WITHIN THE EXISTING McCALL ROAD RIGHT OF WAY FOR THE CONNECTION OF PAVEMENT TO McCALL ROAD THAT WILL INTERFERE WITH NORMAL TRAFFIC USES WITH THE COUNTY AT LEAST 7 BUSINESS DAYS BEFORE COMMENCING WORK. ANY SIGNAGE, FLAGMAN, ETC NEEDED FOR THE ROAD CONNECTION TO McCALL IS TO BE INCLUDED IN THE CONTRACTOR'S BID.

CONTRACTOR IS TO PREVENT ANY DEBRIS, DIRT, ETC FROM BEING DRAGGED OR DEPOSITED IN THE EXISTING ROAD DURING THE CONSTRUCTION.

CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH HIS SUBCONTRACTORS.

MAINTAIN THE SITE IN A REASONABLY NEAT AND ORDERLY CONDITON, FREE FROM ACCUMULATED WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. DO NOT DISPOSE OF TRASH OR DEBRIS BY BURNING ON SITE.

CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL FIELD MEASUREMENTS AND FIELD ENGINEERING REQUIRED FOR THE CONSTRUCTION, FURNISHING ALL GRADES, LINES, AND CONTROL POINTS NECESSARY.

CONTRACTOR IS TO COMPLY WITH ALL LOCAL BUILDING CODES AND REGULATIONS CURRENTLY IN EFFECT. NO WETLANDS ARE AFFECTED BY THE SITE DEVELOPMENT.

GRADING OF ALL AREAS WITHIN THE PROJECT INCLUDING ANY EXCAVATED AND FILL SECTIONS AND ANY ADJACENT TRANSITION AREAS SHALL BE SMOOTH, COMPACTED AND FREE FROM IRREGULAR SURFACE CHANGES.

TREE PROTECTION

TREE PROTECTION FENCING SHALL BE INSTALLED AROUND EXISTING TREES WITHIN THE PROPERTY PRIOR TO ANY CLEARING OR GRUBBING WORK

EROSION, SEDIMENTATION & POLLUTION CONTROL, GRADING/DRAINAGE NOTES:

ALL UNWANTED VEGETATION WITHIN THE WORK LIMITS SHOULD BE REMOVED. STUMPS GRUBBED AND ANY ORGANIC TOPSOIL REMOVED

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

THE OWNER IS TO PREPARE AND SUBMIT LAND DISTURBING ACTIVITIES PERMIT APPLICATIONS FOR THE WORK.

ALL EROSION CONTROL MEASURES ARE TO CONFORM TO THE STANDARDS SET FORTH IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA", LATEST EDITION.

ANY DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.

SEDIMENT CONTROL MEASURES MUST BE INSTALLED BEFORE ANY CLEARING OR GRADING BEGINS.

RECREATIONAL FIELD GRASSING

CONTRACTOR IS TO PROVIDE ALL LABOR, TOOLS, MATERIALS, AND EQUIPMENT FOR THE PROCUREMENT AND INSTALLATION OF THE ATHLETIC FIELD GRASS SOD

A CONTRACTOR WITH EXPERIENCE IN THE INSTALLATION OF BERMUDA GRASS FIELD IS TO BE USED.

REFERENCES:

ASPA (AMERICAN SOD PRODUCERS ASSOCIATION - GUIDELINE SPECIFICATONS TO SODDING

GRASS SOD: UNLESS OTHERWISE APPROVED BY THE COUNTY, SOD SHALL BE TIFWAY 419 BERMUDA WITH WELL MATTED ROOT AND HAVE A FIRM TESTURE HAVING A COMPACT TOP GROWTH AND HEAVY ROOT DEVELOPMENT. SHALL BE SAND BASED AND CONTAIN NO WEED OF ANY TYPE. EMBEDDED SOIL IN THE SOD SHALL BE FREE FROM FUNGUS, WERMIN AND OTHER DISEASES AND SHALL HAVE BEEN MOWED NO MORE THAN 5 DAYS BEFORE SOD IS CUT. USE ONLY SOD CERTIFIED FREE FROM FIRE ANTS. SOD SHALL BE LIVE, FRESH, AND UNINJURED AT THE TIME OF INSTALLATION.

SOD SHALL BE IN ROLLS SIZED 42" WIDE AND 75" LONG. SOIL BASE SHALL BE OF A UNIFORM THICKNESS.

INSTALLATION OF SOD SHALL BE IN ACCORDANCE WITH COUNTY REQUIREMENTS.

GENERAL AREA GRASSING:

ALL EARTH SURFACED AREAS OUTSIDE OF THE RECREATIONAL FIELD ZONES ARE TO BE GRASSED WITH EITHER RYE OR BERMUDA, AS APPROVED BY THE COUNTY.

AREAS TO BE GRASSED SHALL HAVE A RELATIVELY UNIFORM SURFACE FREE FROM ROCKS, CLODS, DEBRIS AND DEPRESSIONS.

CONCRETE WORK:

UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI IN 28 DAYS, TYPE II CEMENT. ALL REINFORCING SHALL BE DEFORMED BARS, CONFORMING TO ASTM A615, LATEST EDITION GRADE 60. (NO EPOXY COATED OR GALVANIZED REINFORCING BARS.

CHAMFER ALL EXPOSED EXTERNAL EDGES WITH 45 DEGREE CHAMFER, 1/4"

CONTRACTOR IS TO SUBMIT HIS PROPOSED MIX DESIGN TO THE COUNTY FOR APPROVAL PRIOR TO PLACING CONCRETE.

PROVIDE MINIMUM 3" COVER FOR REINFORCING STEEL WHEN CONCRETE IS PLACED DIRECTLY AGAINST THE GROUND.

ALL SLABS SHALL HAVE NO HORIZONTAL CONSTRUCTION JOINTS. SLABS ON GRADE SHALL HAVE VERTICAL SAW CUT JOINTS AS SHOWN ON THE PLANS.



EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

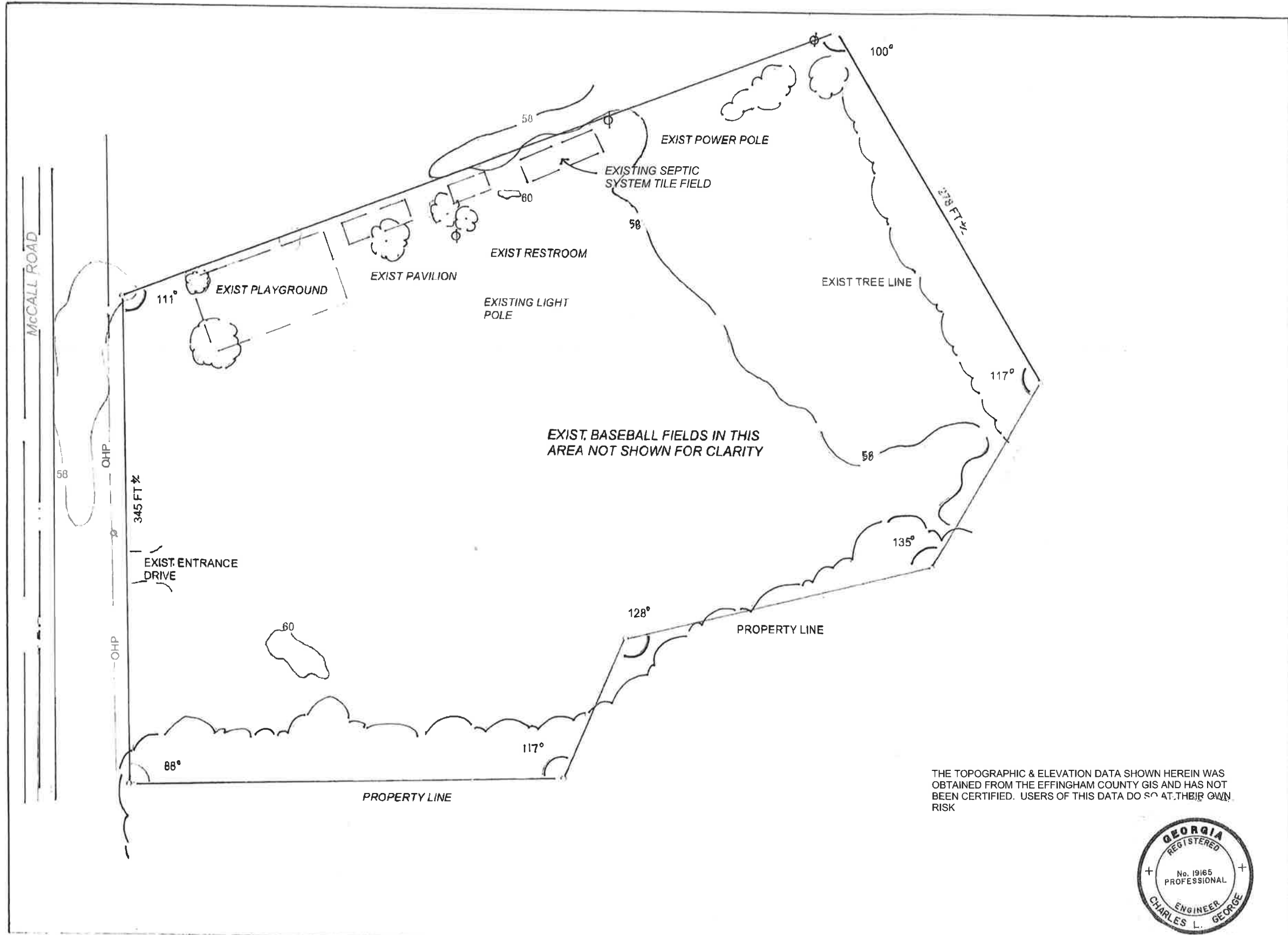
GENERAL NOTES



BY: CLG

DATE: 2/15/21

G-1



EFFINGHAM COUNTY BOARD OF COMMISSIONERS
 PROPOSED McCALL PARK IMPROVEMENTS
 EXISTING SITE



BY: CLG
 SCALE: 1"=60'
 DATE: 2/15/21

THE TOPOGRAPHIC & ELEVATION DATA SHOWN HEREIN WAS OBTAINED FROM THE EFFINGHAM COUNTY GIS AND HAS NOT BEEN CERTIFIED. USERS OF THIS DATA DO SO AT THEIR OWN RISK



TEMPORARY PROJECT BENCHMARK
SW CORNER OF EXIST PAVILION SLAB
ELEV 58.00

BID ALTERNATE NO. 3:
CONTRACTOR TO DESIGN,
PERMIT, & CONSTRUCT NEW
SHALLOW WATER WELL IN A
LOCATION DETERMINED BY THE
OWNER

EXIST SEPTIC SYSTEM TILE FIELD
(NO EXCAVATION IN THIS AREA)

PROPOSED
BASKETBALL
COURT

EXIST RESTROOM BLDG TO
BE RENOVATED
EXIST PAVILION

NEW WALKING
TRAIL

EXIST TREES TO BE REMOVED

EXISTING PLAYGROUND
AREA

PROPOSED WALKING TRAIL
CONTRACTOR TO FIELD STAKE
CENTERLINE OF TRAIL FOR COUNTY
APPROVAL PRIOR TO INSTALLATION

McCALL ROAD

PROPERTY LINE

BASEBALL FIELD

NEW CHAIN LINK FENCE

MULTI-PURPOSE FIELD
(135 FT X 195 FT)

NEW PARKING LOT AREA
BASE BID TO BE GRAVEL
SURFACE
ALTERNATE BID TO BE
ASPHALT PAVEMENT

EXISTING PROPERTY LINE

NEW WALKING
TRAIL

EXISTING TREES TO BE REMOVED

SMALL & LARGE
DOG PARK
(80 FT X 140 FT)



EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS
PARK LAYOUT PLAN



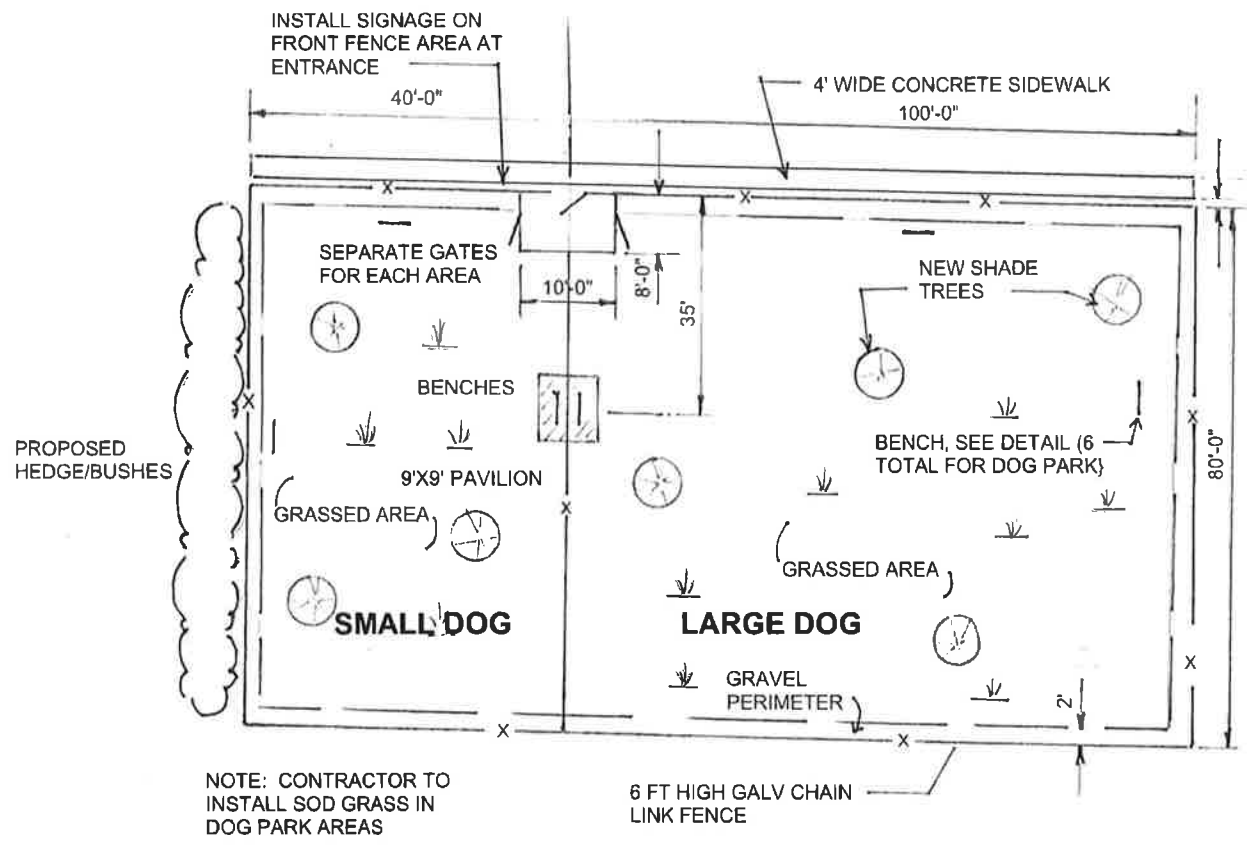
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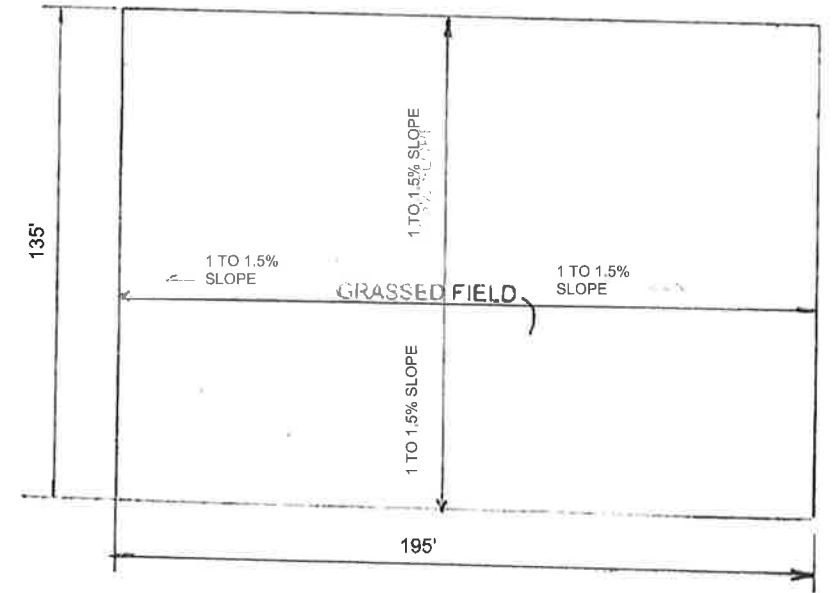
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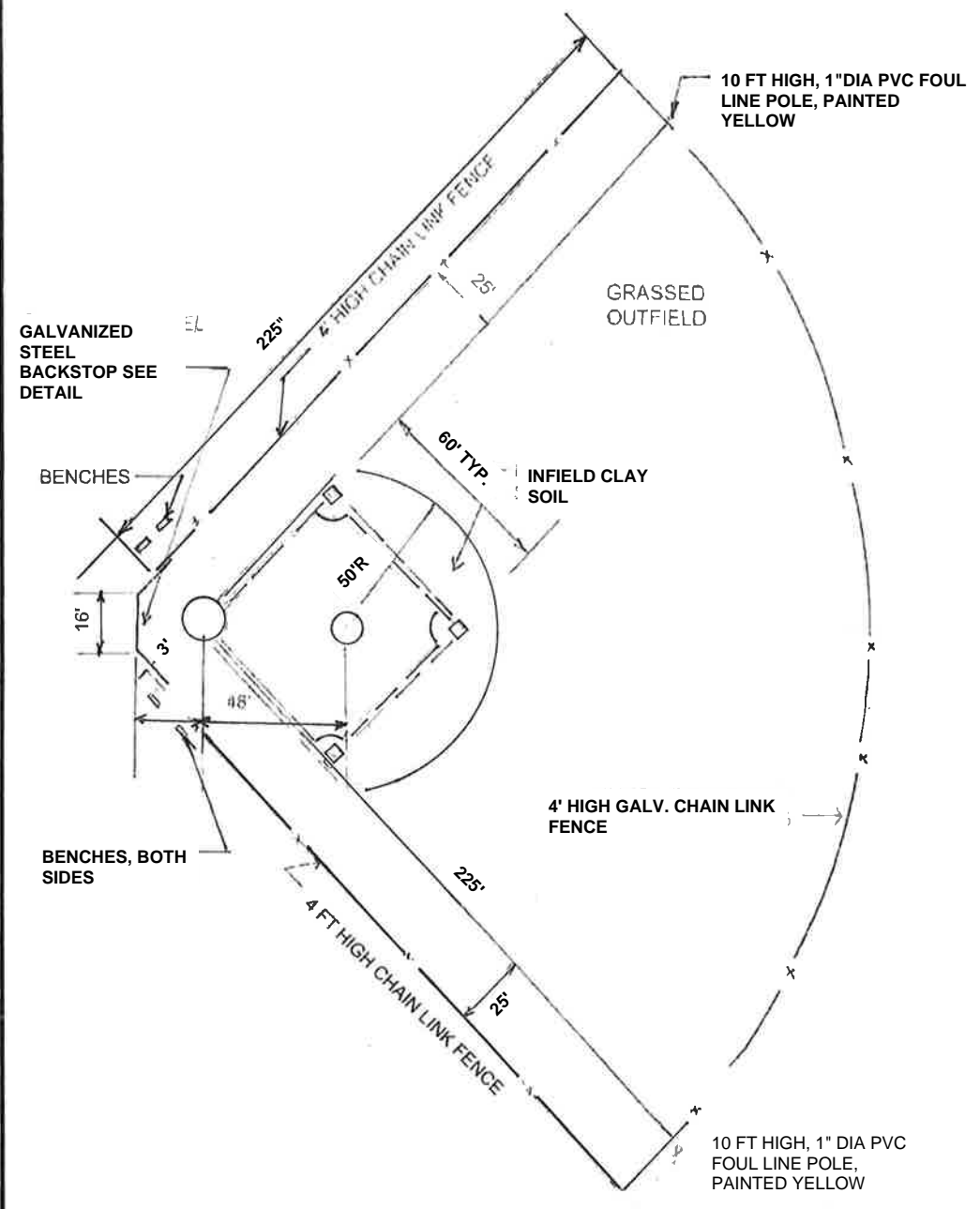
C-2



DOG PARK AREA



MULTI-PURPOSE FIELD



BASEBALL FIELD

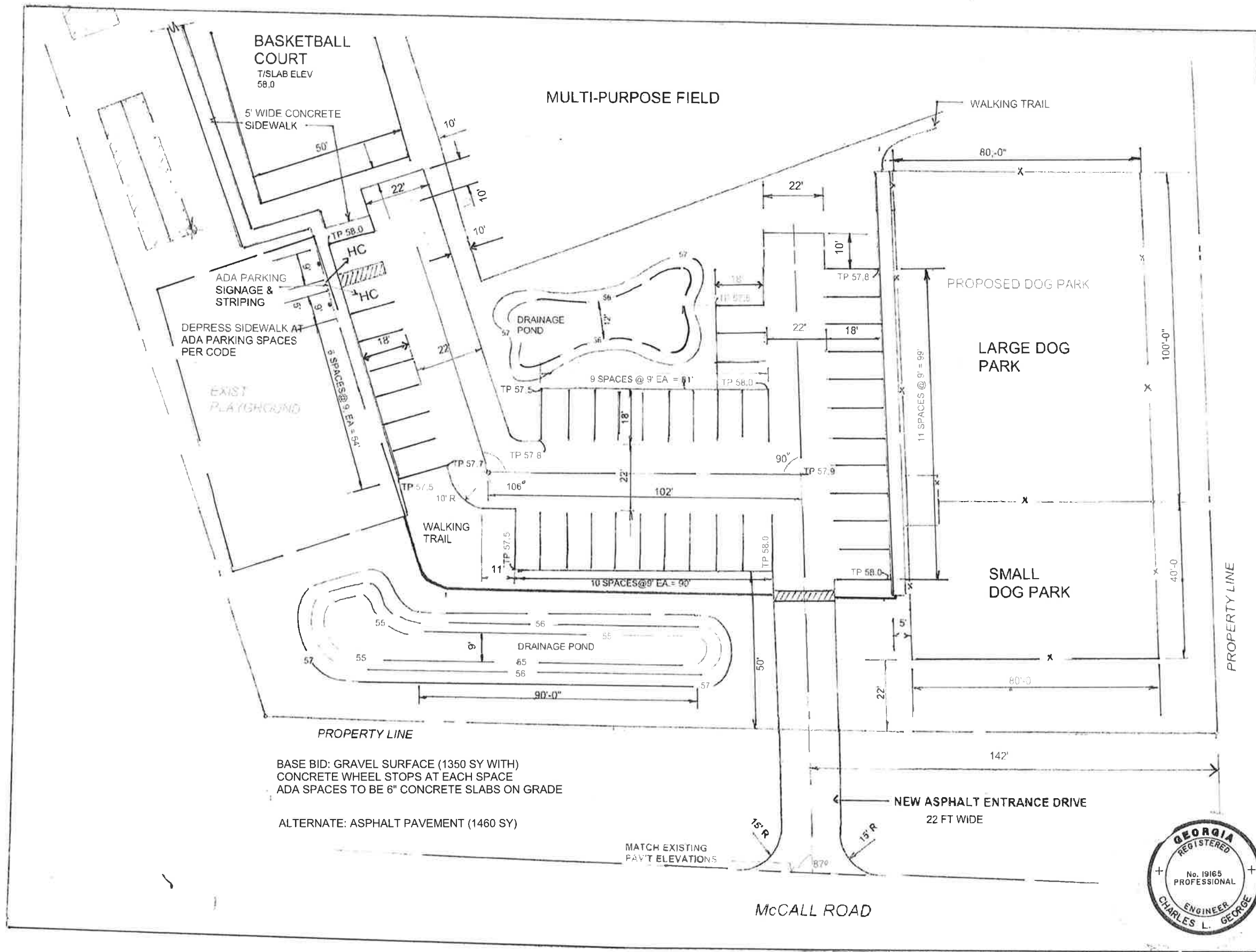
CONTRACTOR TO COORDINATE ALL RECREATIONAL & FIELD/COURT STRIPING AND NEW EQUIPMENT PLACEMENT WITH OWNER



EFFINGHAM COUNTY BOARD OF COMMISSIONERS
 McCall Park
 DETAILS



BY: CLG
 SCALE: NTS
 DATE: 2/15/21



BASE BID: GRAVEL SURFACE (1350 SY WITH)
 CONCRETE WHEEL STOPS AT EACH SPACE
 ADA SPACES TO BE 6" CONCRETE SLABS ON GRADE
 ALTERNATE: ASPHALT PAVEMENT (1460 SY)

MATCH EXISTING
 PAV'T ELEVATIONS

McCALL ROAD



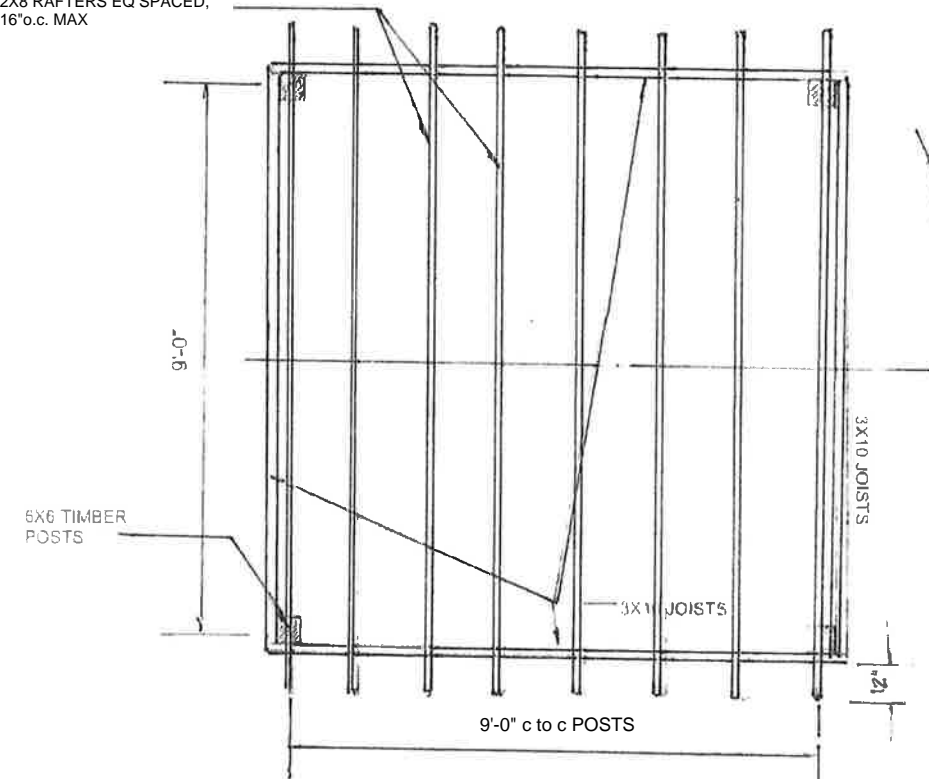
EFFINGHAM COUNTY BOARD OF COMMISSIONERS
 McCALL ROAD
 PARKING LOT ENLARGED PLAN



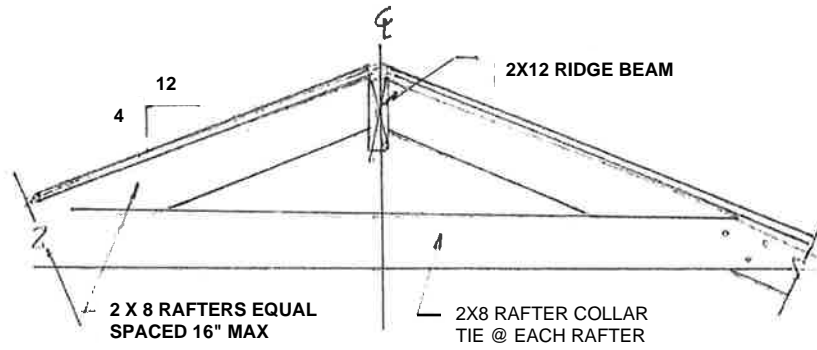
BY: CLG
 SCALE: 1" = 30'
 DATE: 2/15/21

C-4

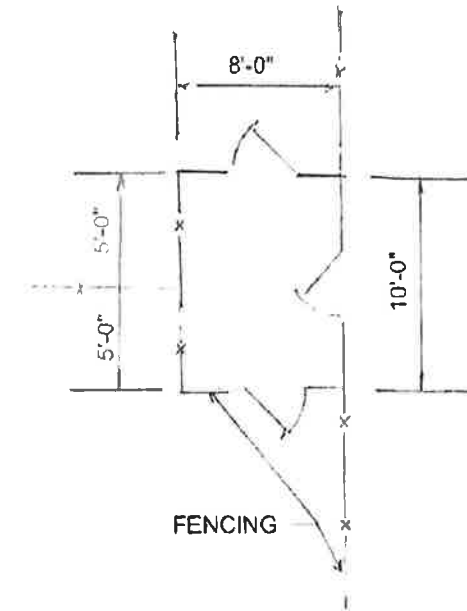
2X8 RAFTERS EQ SPACED,
16"o.c. MAX



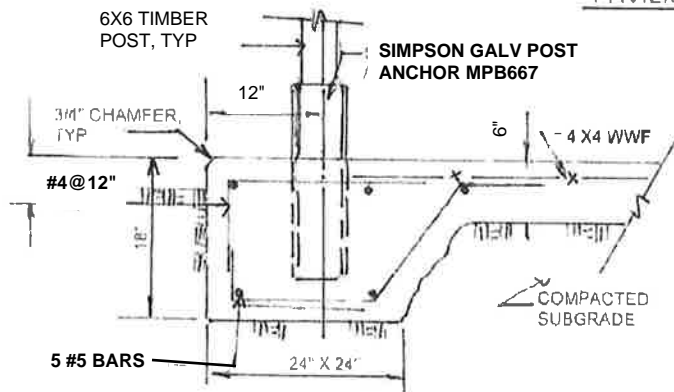
PAVILION PLAN



TYPICAL SECTION



DOG PARK ENTRANCE DETAIL



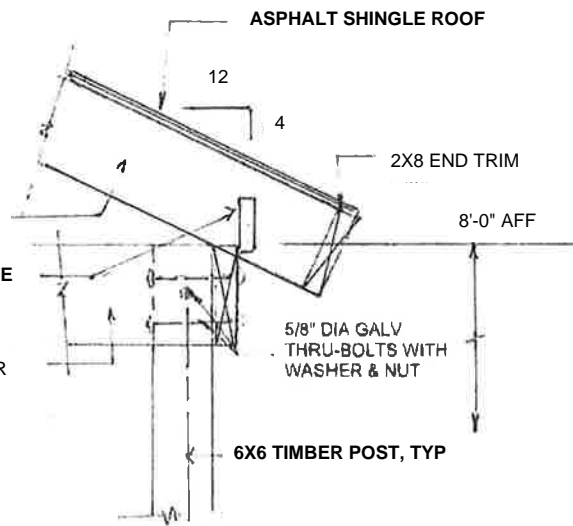
PAVILION SUPPORT DETAIL

TYPICAL OF 4

2X8 TIMBER RAFTERS,
EQ SPACED

SIMPSON STRONG TIE
H2.5 GALV AT EACH
RAFTER

3X10 TIMBER
BEAM



JOIST-POST CONNECTOR DETAIL

EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

PAVILION DETAILS

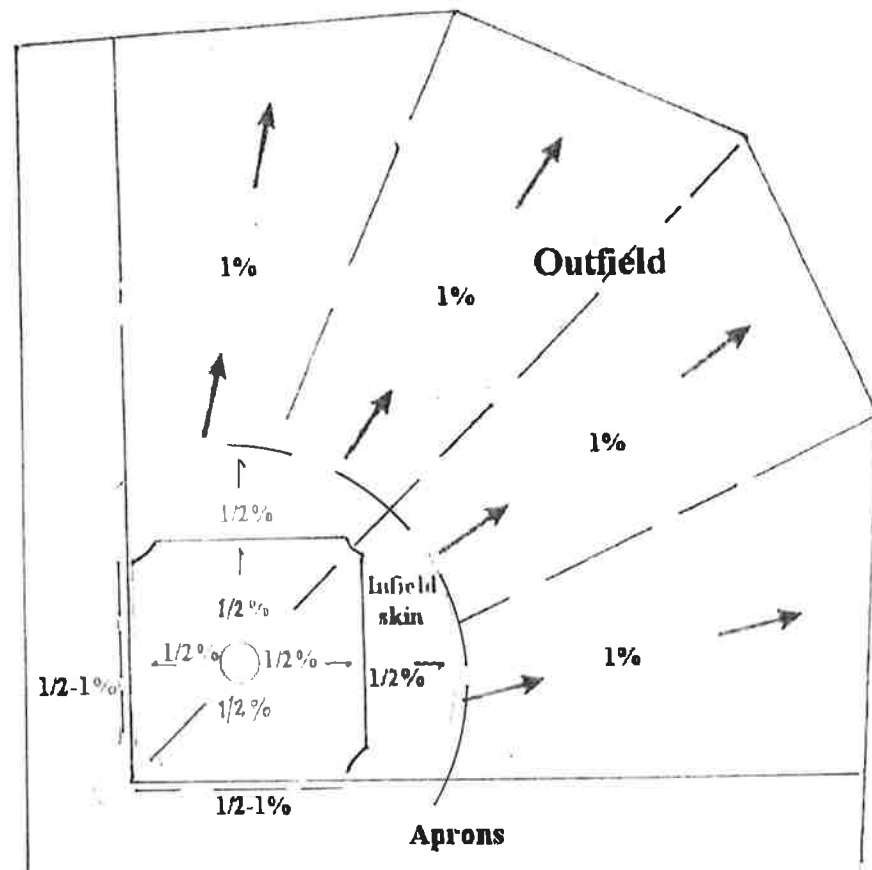


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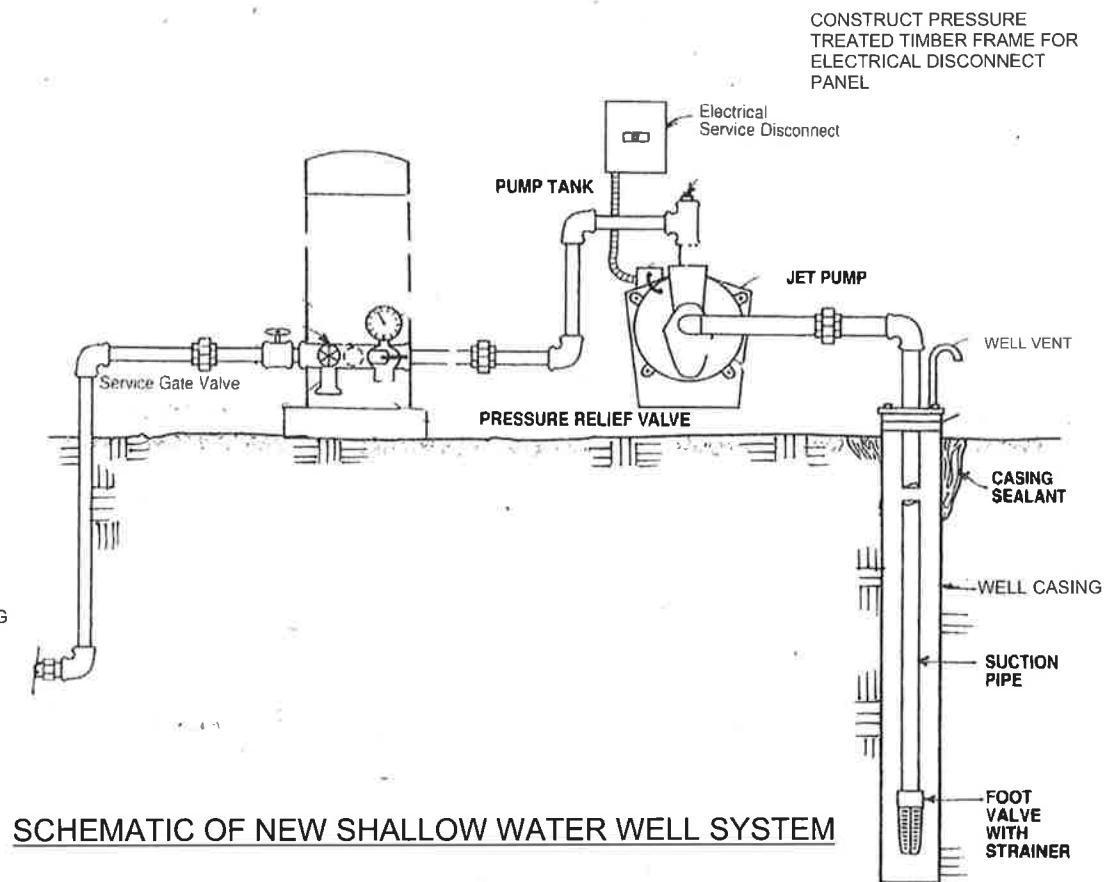
C-5

- 1/2% slope on 4 quadrants surrounding the pitcher's mound/circle as the center point to back of infield skin and edge of 1st and 3rd base lines.
- 1/2 to 1% slope in aprons from edge of base lines to dugouts.
- 1% slope in outfield from back edge of infield skin to outfield fence.



PROPOSED BASEBALL FIELD GRADING PLAN

CONNECT TO EXISTING WATER SUPPLY LINE



SCHMATIC OF NEW SHALLOW WATER WELL SYSTEM

BID ALTERNATE NO.3

EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

DETAILS

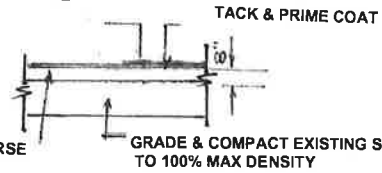


BY: C GEORGE
SCALE: NTS
DATE: 2/15/21



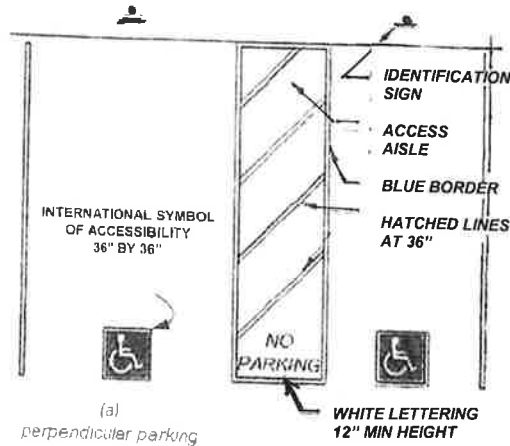
C-6

NEW 2" ASPHALTIC CONCRETE
DOT TYPE II 9.5mm SUPERPAVE
SURFACE COURSE

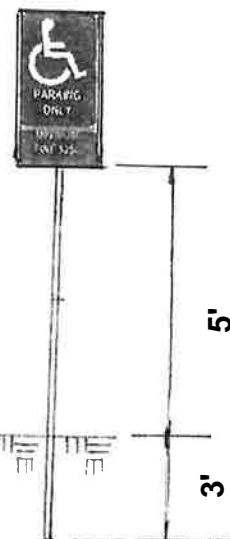


ASPHALT PAVEMENT TO BE
INSTALLED
IN ACCORDANCE WITH GA
DOT SPECIFICATIONS

PARKING LOT PAVEMENT SECTION



PERPENDICULAR PARKING IDENTIFICATION



ADA PARKING IDENTIFICATION SIGN

DOG PARK RULES

Hours are 8:00 a.m. until dusk.

Use of the dog park is at your own risk.

No more than 10 dogs allowed in area at any one time.

Only dogs with current rabies vaccinations and all other vaccinations required by law shall be allowed to use the dog park.

The dog park gates must remain closed at all times their handler at all times; aggressive behavior is prohibited.

Children under 16 years of age must be accompanied by an adult.

Food, alcohol, tobacco, illegal drugs, and glass containers are prohibited.

Unattended dogs are prohibited; all dogs must be supervised by persons of at least 16 years of age.

Dogs under 4 months of age are prohibited.

Female dogs in heat, and sick dogs, are prohibited.

Leashes, pinch collars, or choke chains must be removed once dogs have entered the dog park.

No more than three (3) dogs per person are permitted at any time.

Unleashed dogs are restricted to the area designated for their weight class.

Owners are required to clean up after their dog(s); deposit all litter in trash receptacles provided.

Agility equipment is for dog use only; children are not permitted to climb or play on equipment.

Bicycles, inline or roller skates, skateboards, strollers, and/or motorized carts & vehicles are prohibited.

Dogs must be within sight and under voice control of their handler at all times; aggressive behavior is prohibited.

Dog training classes are prohibited.

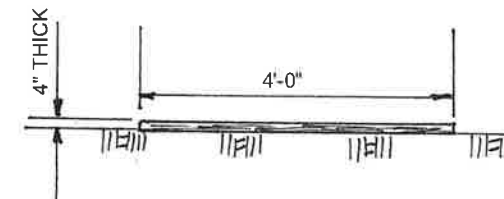
Dog owners are responsible for filling any holes, or repairing other damage created by their pets.

Any dog or owner creating a disturbance shall be required to leave park property upon request by County employee.



DOG PARK SIGNAGE TO BE INSTALLED ON FENCING AT ENTRANCE

DOG PARK SIGNAGE TO BE INSTALLED ON FENCING



WALKING TRAIL TYPICAL SECTION

ASPHALT MILLINGS (RECLAIMED ASPHALT PAVEMENT) RAP WALKING TRAIL

TRAIL MIX TO BE IN ACCORDANCE WITH:

2"	100%
1"	88%
3/4"	75%
3/8"	44%
#4	25%
#16	7%

PREPARE EXISTING SURFACE FOR WALKING TRAIL BY REMOVAL OF ANY GRASS OR OBSTRUCTIONS

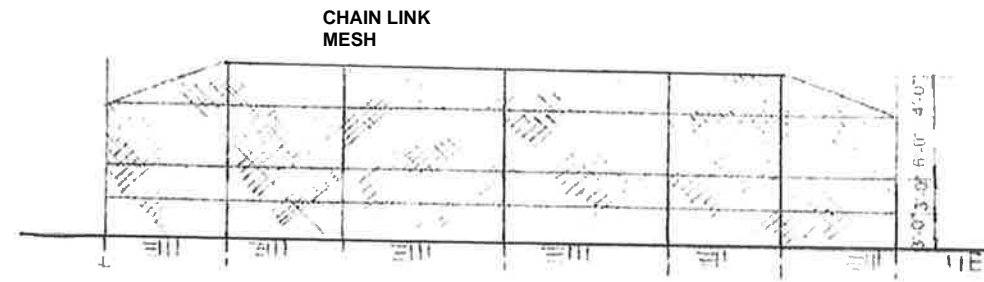
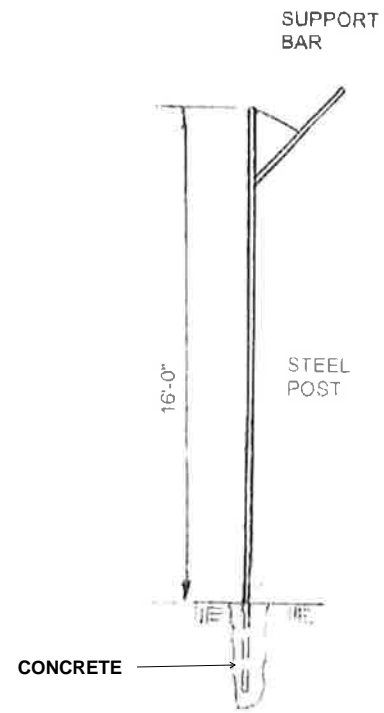


EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS
MISCELLANEOUS DETAILS

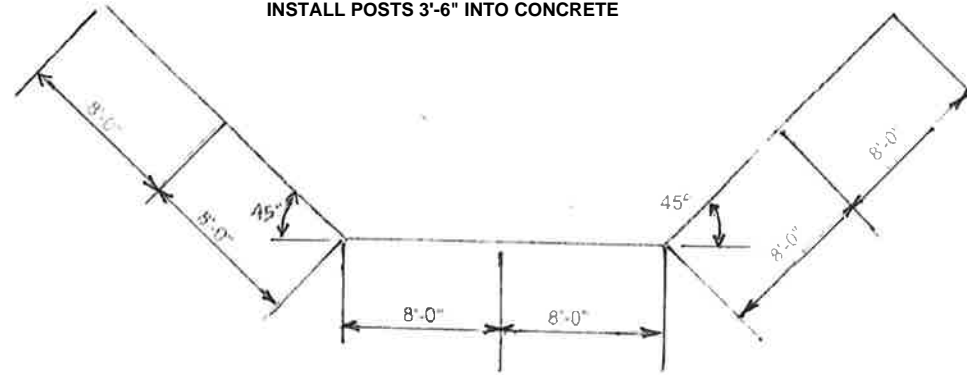


BY: CLG
SCALE: NTS
DATE: 2/15/21

C-7



INSTALL POSTS 3'-6" INTO CONCRETE



BASEBALL BACKSTOP DETAIL



4 FT BENCH WITH BACKSEAT
ITEM NO. T9F34015
COLOR: PARK GREEN

TYPICAL BENCH (10 TOTAL)

GLOBAL INDUSTRIAL CO.
1-888-978-7759
11 HARBOR DRIVE
PORT WASHINGTON, NY



EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

MISCELLANEOUS DETAILS

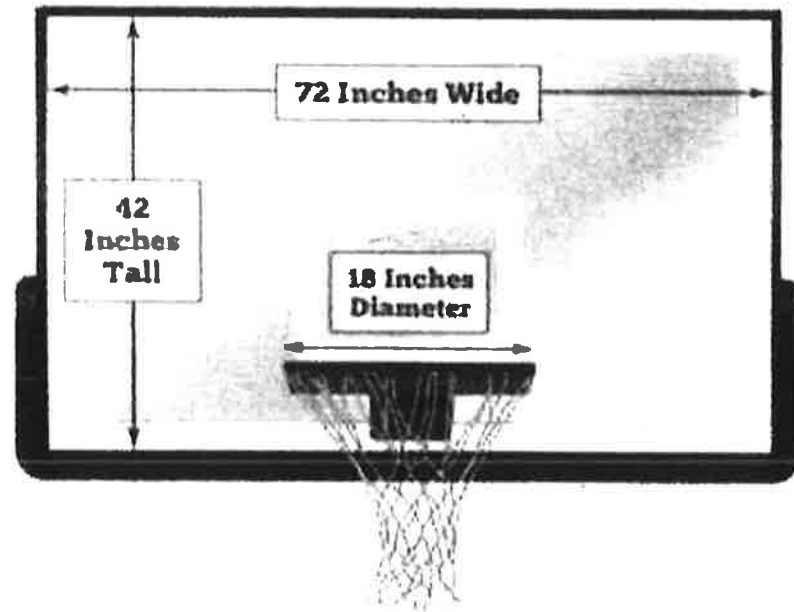
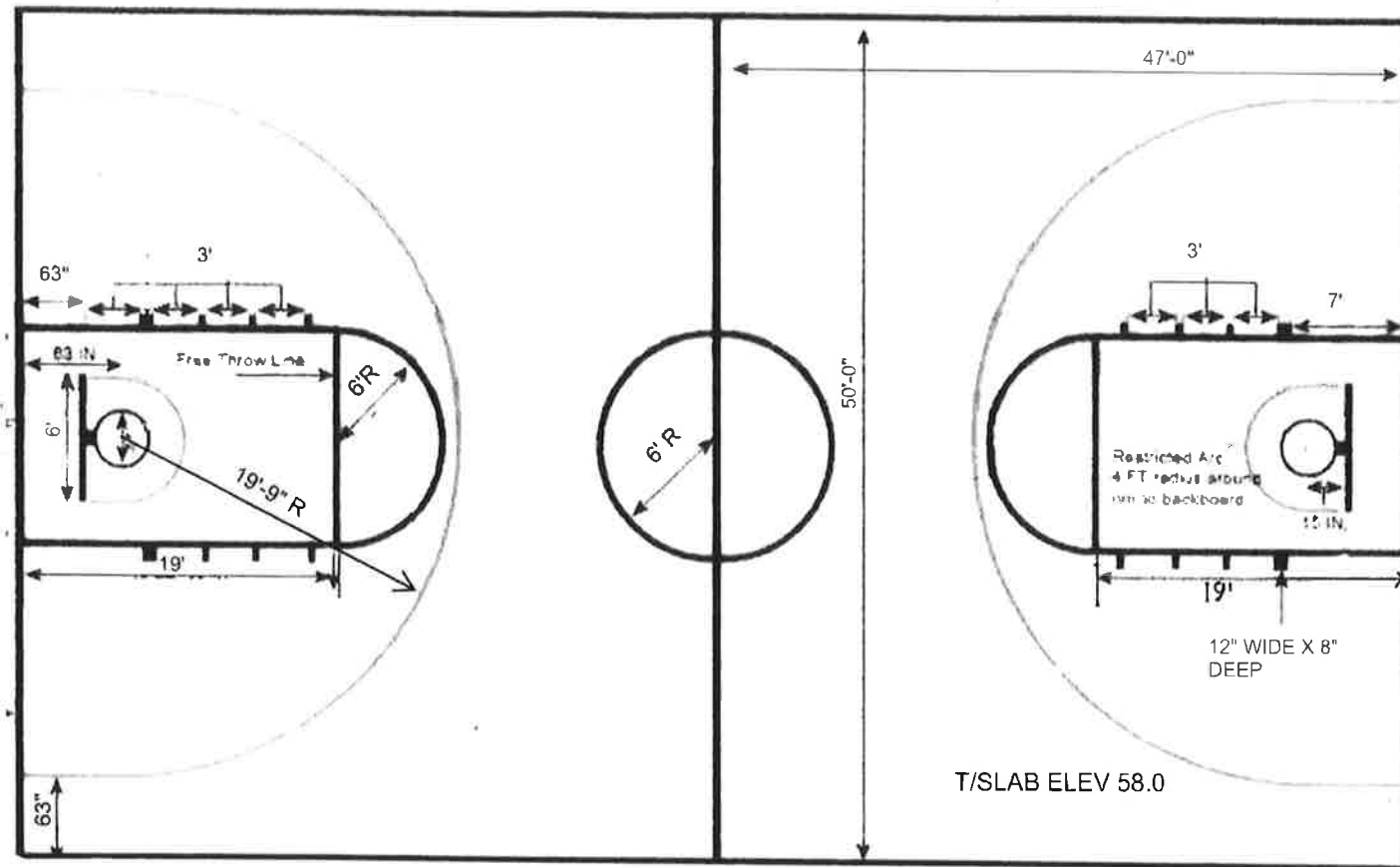


BY: C GEORGE

SCALE: NTS

DATE: 2/15/21

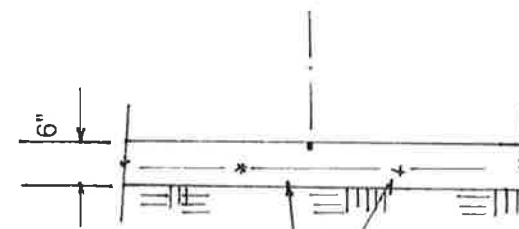
C-8



BASKETBALL GOAL DETAILS

BASKETBALL COURT LAYOUT & STRIPING DETAILS

CONTRACTOR TO SAW CUT CONTROL JOINTS
IN CONCRETE SLAB, 3/8" DEEP @ 20 FT O.C
MAXIMUM EACH DIRECTION



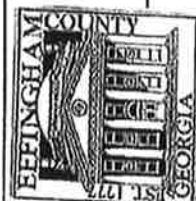
CAST IN PLACE CONCRETE SLAB ON
GRADE WITH 6X6 WWF

COMPACT SUBGRADE TO 95% DRY
DENSITY PRIOR TO POUR ING
CONCRETE

BASKETBALL COURT SLAB TYPICAL SECTION



EFFINGHAM COUNTY BOARD OF COMMISSIONERS
, PROPOSED McCALL PARK IMPROVEMENTS
DETAILS



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C-9

RESTROOM BLDG NOTES:

EXISTING RESTROOM BUILDING IS TO BE DEMOLISHED DOWN TO THE EXISTING CONCRETE SLAB

ALL DEMOLISHED MATERIALS ARE TO BE REMOVED AND DISPOSED OF OFF-SITE.

AFTER DEMOLITION IS COMPLETED CONTRACTOR IS TO PRESSURE WASH EXISTING CONCRETE FLOOR SLAB.

CONTRACTOR IS TO MODIFY EXISTING SEWER & WATER OUTLET PIPING AS REQUIRED TO ACCOMMODATE NEW RESTROOM TOILET AND SINK LOCATIONS.

MASONRY:

CONCRETE BLOCK SHALL BE STANDARD CONCRETE MASONRY UNITS WITH NOMINAL DIMENSIONS OF 16" LONG, 8", AND 8" THICK, PROVIDE SPECIAL BLOCK TYPES WHERE REQUIRED FOR CORNERS, CONTROL JOINTS, HEADERS, LINTELS, AND OTHER SPECIAL CONDITIONS WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS.

PORTLAND CEMENT TO BE ASTM C150, TYPE I

JOINT REINFORCEMENT TO BE WELDED WIRE UNITS PREFABRICATED INTO STRAIGHT LENGTHS NOT LESS THAN 8 FT, WITH DEFORMED CONTINUOUS SIDE RODS AND PLAIN CROSS RODS.

DO NOT WET MASONRY UNITS PRIOR TO LAYING.

DO NOT EXCEED THE FOLLOWING CONSTRUCTION TOLERANCES IN VERTICAL ELEMENTS, INCLUDING SURFACES OF WALLS:

- 1/4" INCH IN 10 FT VARIATION FROM PLUMB
- 1/4" INCH IN 10 FT MAXIMUM FROM LEVEL

VARIATION IN MORTAR JOINT THICKNESS NOT TO EXCEED PLUS OR MINUS 1/8 INCH

LAYOUT MASONRY UNITS FOR ACCURATE PATTERN BOND, FOR UNIFORM JOINT WIDTHS AND ACCURATE LOCATION OF SPECIFIC FEATURES BEFORE BEGINNING ACTUAL CONSTRUCTION.

LAY MASONRY UNITS IN FULL BED JOINTS.

CLEAN MASONRY AFTER MORTAR IS THOROUGHLY SET AND CURED. AS JOINTS ARE BEING TOOLED, REMOVE MORTAR WITH VISIBLE HOLES OR MORTAR WHICH CANNOT BE COMPACTED PROPERLY BECAUSE OF HIDDEN VOIDS AND REPLACE WITH FRESH MORTAR.

INSTALL ALL FIXTURES OF TYPES INDICATED WHERE SHOWN AT DESIGNATED HEIGHTS AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

MATERIALS: STAINLESS STEEL: AISI, TYPE 302/304 WITH POLISHED NO. 4 (22 GAUGE) MIN. THICKNESS.

FASTENERS: SAME AS ACCESSORY UNITS

PAPER TOWEL DISPENSER: SURFACE MOUNTED, FABRICATED OF STAINLESS STEEL WITH HINGED FRONT, EQUIPPED WITH TUMBLER LOCKSET. CAPACITY NOT LESS THAN 300 C-FOLD TOWELS.

TOILET TISSUE DISPENSER: EQUAL TO JRT, JR JUMBO ROLL TISSUE DISPENSER AS MANUFACTURED BY SCOTT OR APPROVED EQUAL. SPECIAL ACCESS KEY FOR ROLL REPLACEMENT, HIGH IMPACT RESISTANT ACRYLIC/PLASTIC SEMI-TRANSPARENT COVER BODY WITH SERRATED EDGE TISSUE TEAR FEATURE AT OPENING IN COVER BASE. COVER DIMENSIONS 10-3/4" WIDE X 10-3/4" HIGH X 5" DEEP.

GRAB BARS TO BE STAINLESS STEEL WITH WALL THICKNESS NOT LESS THAN 0.5" (18 GAUGE), TYPE 304L STAINLESS STEEL TUBING AT EACH TOILET LOCATION PER PLANS. MOUNTING TO BE CONCEALED WITH MANUFACTURER'S STANDARD FLANGES AND ANCHORAGES. CLEARANCE TO BE 1-1/2" CLEAR BETWEEN WALL SURFACE AND INSIDE FACE OF BAR. GRIP SURFACE TO BE SMOOTH SATIN FINISH. LENGTHS ARE TO BE AS SHOWN ON THE DRAWINGS.

DOOR HARDWARE TO BE SELECTED BY OWNER.

WATER CLOSET: WHITE, FLOOR MOUNTED, FLOOR OUTLET, VITREOUS CHINA, SIPHON JET WITH ELONGATED BOWL (DESIGNED FOR 1.5 GPM FLUSH CYCLE), MANUAL FLUSH, FLOOR BOLTS AND CAPS AND OUTLET GASKET. SHALL BE FITTED WITH AN OPEN FRONT SEAT WITHOUT COVER BY AMERICAN STANDARD OR APPROVED EQUAL.

LAVATORY: SHALL BE COUNTER TOP, NORMAL 19" X 17" OVAL VITREOUS CHINA, SELF-RIMMING LAVATORY PUNCHED FOR 4" CENTERS. LAVATORY SHALL BE FITTED WITH PERFORATED GRID, OFF-SET DRAIN, 1-1/4" CAST BRASS P-TRAP, INSULATED WITH SINGLE TEMPERATURE, HAND OPERATED FAUCET BY AMERICAN STANDARD OR APPROVED EQUAL.

PLUMBING:

CONTRACTOR IS TO PROVIDE A TURN-KEY PLUMBING PIPING SYSTEM FOR THE WORK ASSOCIATED WITH THE NEW RESTROOM FACILITY SPECIFIED.

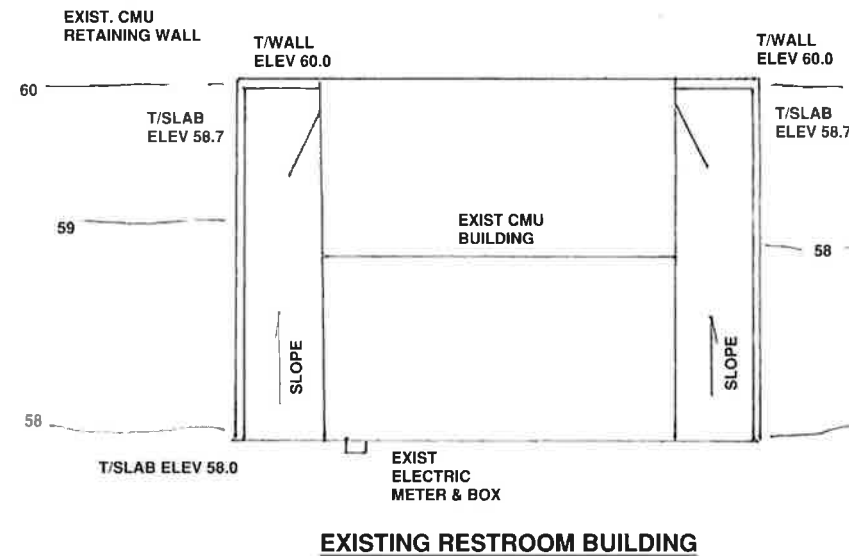
THE EXISTING SEWER & WATER SYSTEM THAT PROVIDED THE SERVICE TO THE EXISTING BUILDING THAT IS BEING DEMOLISHED ARE TO BE MODIFIED TO ACCOMMODATE THE NEW FIXTURE LAYOUT SHOWN.

CONTRACTOR IS TO VERIFY THE LOCATIONS OF THE UNDERGROUND PIPING ASSOCIATED WITH THE EXISTING RESTROOM FOR THEIR LOCATIONS AND CONDITION RELATIVE TO THE PROPOSED LOCATIONS.

ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE STATE AND LOCAL CODES AND THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.

PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND SUPERVISION TO PROPERLY COMPLETE THE SPECIFIED WORK. ALL MATERIALS AND FIXTURES ARE TO BE NEW, UNMISCELLANEOUS, AND FREE FROM ANY DEFECTS.

PROVIDE STANDARD MANUFACTURER'S WARRANTIES ON ALL MATERIALS AND FIXTURES.



EXISTING RESTROOM BUILDING

ALTERNATE NO. 2

WORK CONSISTS OF THE DEMOLITION OF THE EXISTING MASONRY AND WOOD ROOF RESTROOM BUILDING AT McCALL PARK, COMPLETE WITH THE DISPOSAL OF DEMOLISHED MATERIALS OFF-SITE AND THE CONSTRUCTION OF A NEW RESTROOM FACILITY INCLUDING NEW CONCRETE FLOOR SLAB, MASONRY WALLS, TIMBER ROOF FRAMING, ROOF SYSTEM, PLUMBING FIXTURES, WATER & SEWER PIPING TO CONNECT TO THE EXISTING SYSTEMS, PAINTING, ARCHITECTURAL FINISHES AND ALL ASSOCIATED MISCELLANEOUS ITEMS TO PROVIDE A COMPLETE AND OPERABLE RESTROOM FACILITY.



REVISED PER ADDENDUM NO. 1

EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

BID ALTERNATE NO. 2 GENERAL NOTES



BY: CLG
SCALE: NONE
DATE: 3/18/2021

C-10

REVISED PER ADDENDUM NO. 1

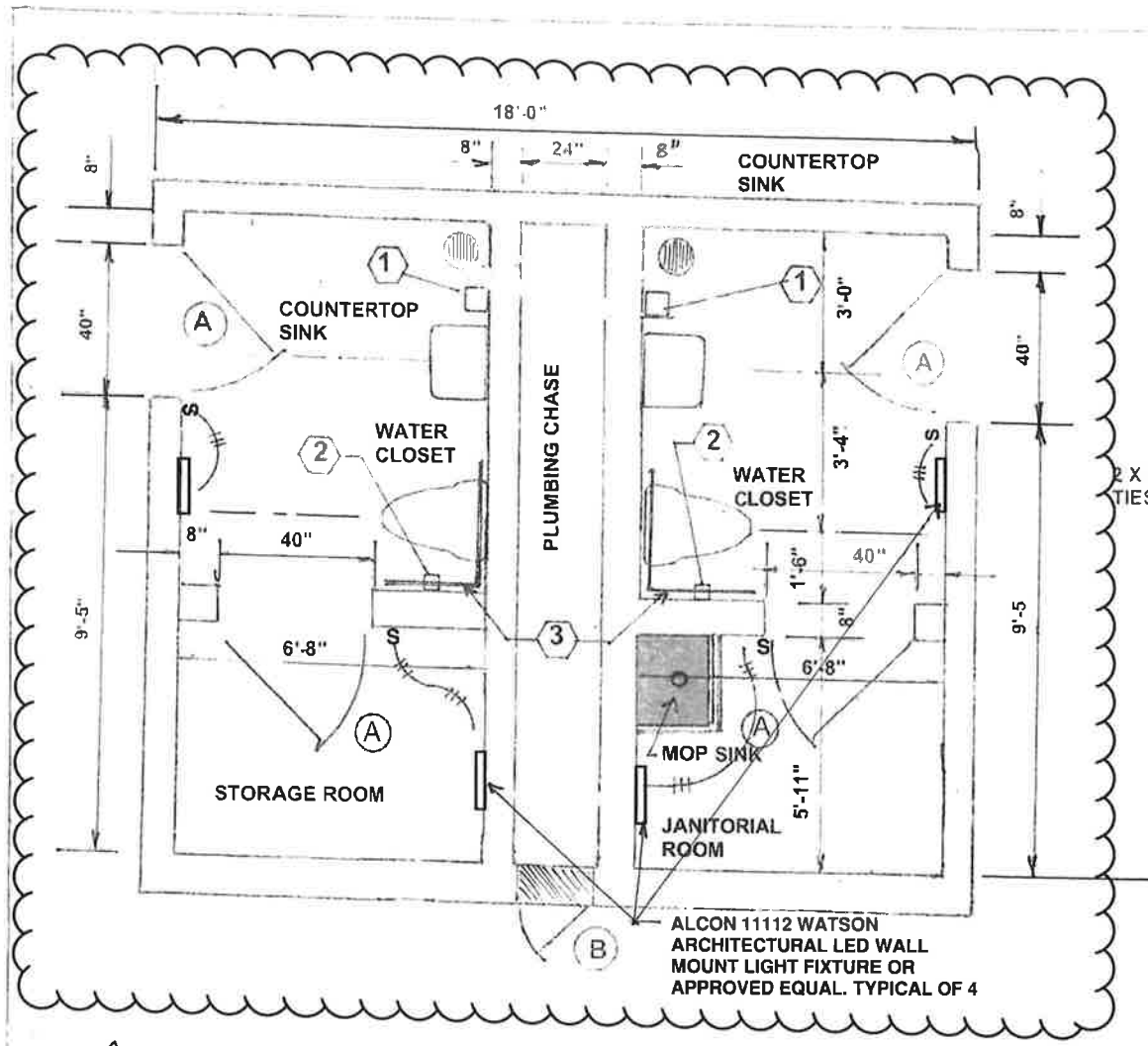
EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED MCCALL PARK IMPROVEMENTS

RESTROOM DETAILS

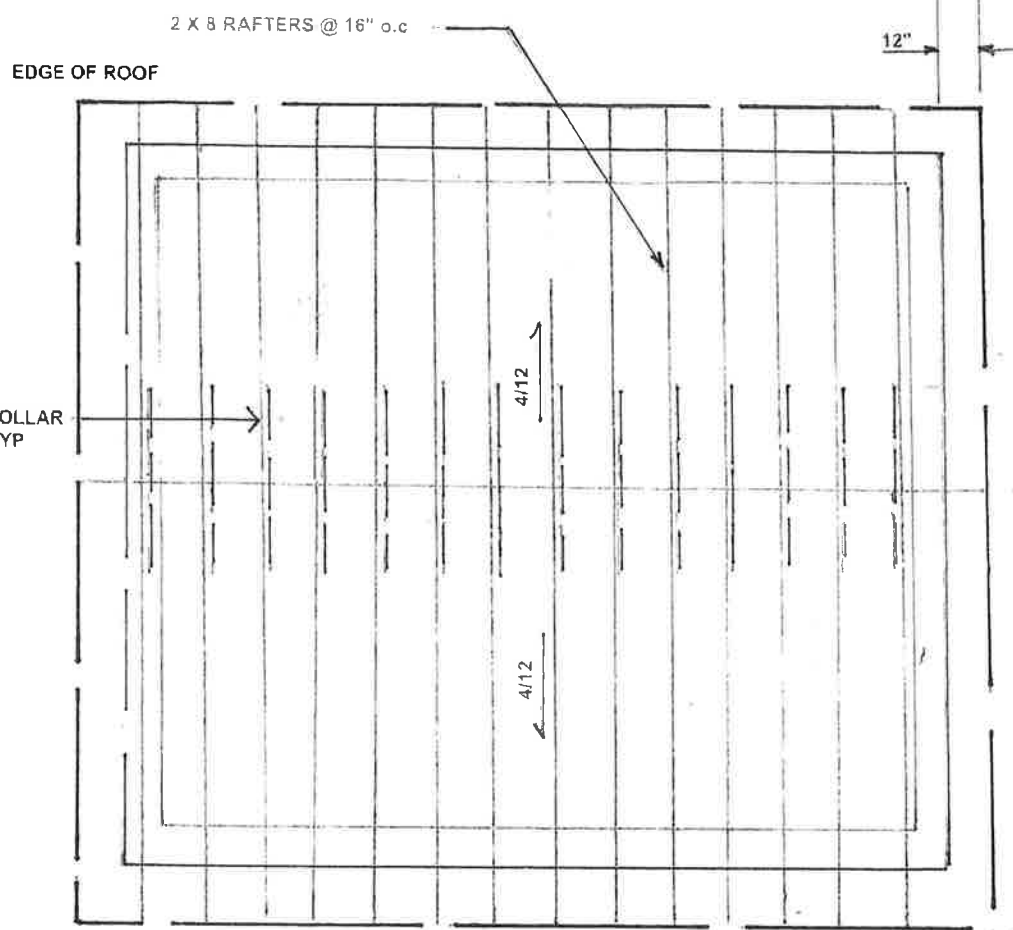


BY: CLG
SCALE: NONE
DATE: 3/18/2021

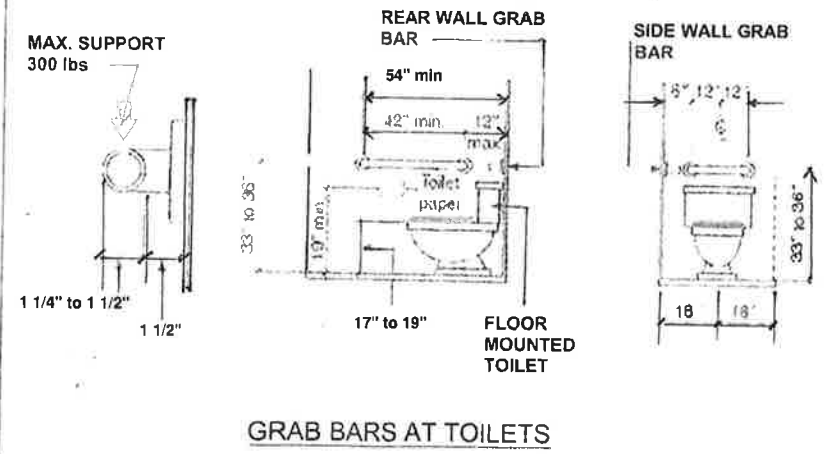
C-11



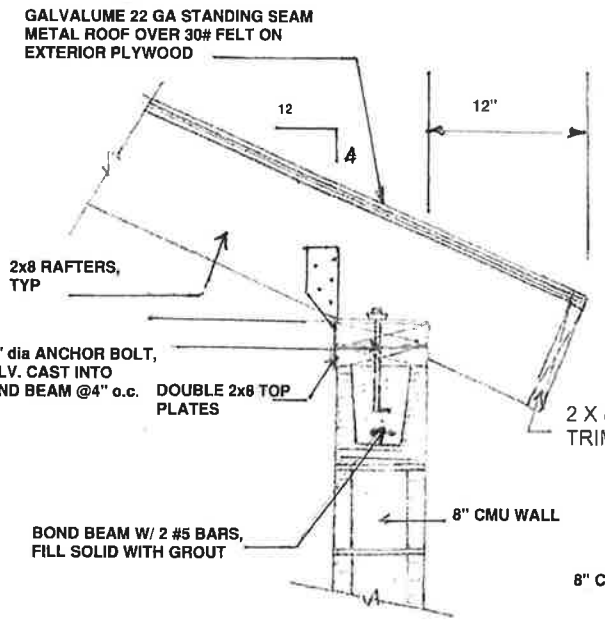
RESTROOM FLOOR PLAN



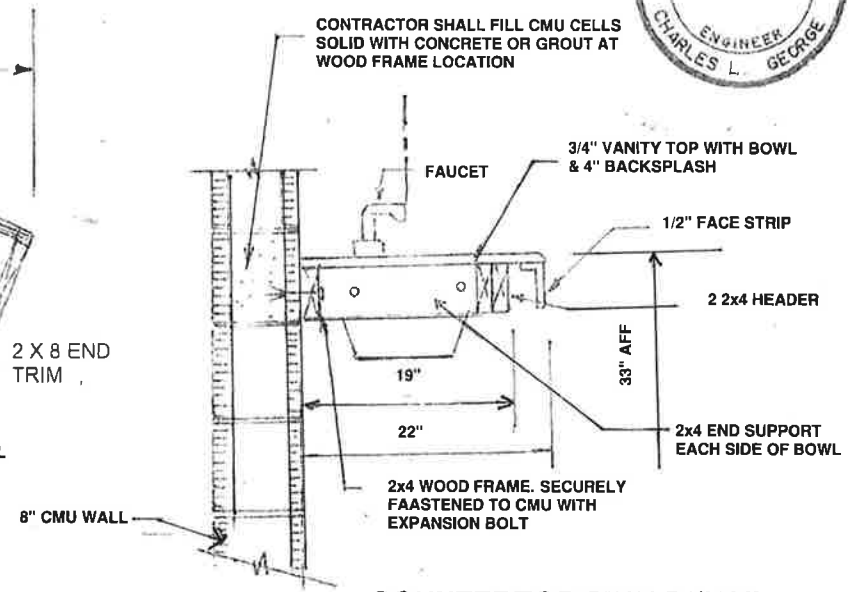
ROOF FRAMING PLAN



GRAB BARS AT TOILETS



ROOF FRAMING @ WALL DETAIL



COUNTERTOP SINK DETAIL

GALVALUME 22 GA STANDING SEAM METAL ROOF OVER 30# FELT ON EXTERIOR PLYWOOD

CONTRACTOR SHALL FILL CMU CELLS SOLID WITH CONCRETE OR GROUT AT WOOD FRAME LOCATION

2x8 RAFTERS, TYP

5/8" dia ANCHOR BOLT, GALV. CAST INTO BOND BEAM @4" o.c.

DOUBLE 2x8 TOP PLATES

BOND BEAM W/ 2 #5 BARS, FILL SOLID WITH GROUT

2 X 8 END TRIM

8" CMU WALL

8" CMU WALL

3/4" VANITY TOP WITH BOWL & 4" BACKSPLASH

FAUCET

1/2" FACE STRIP

2 2x4 HEADER

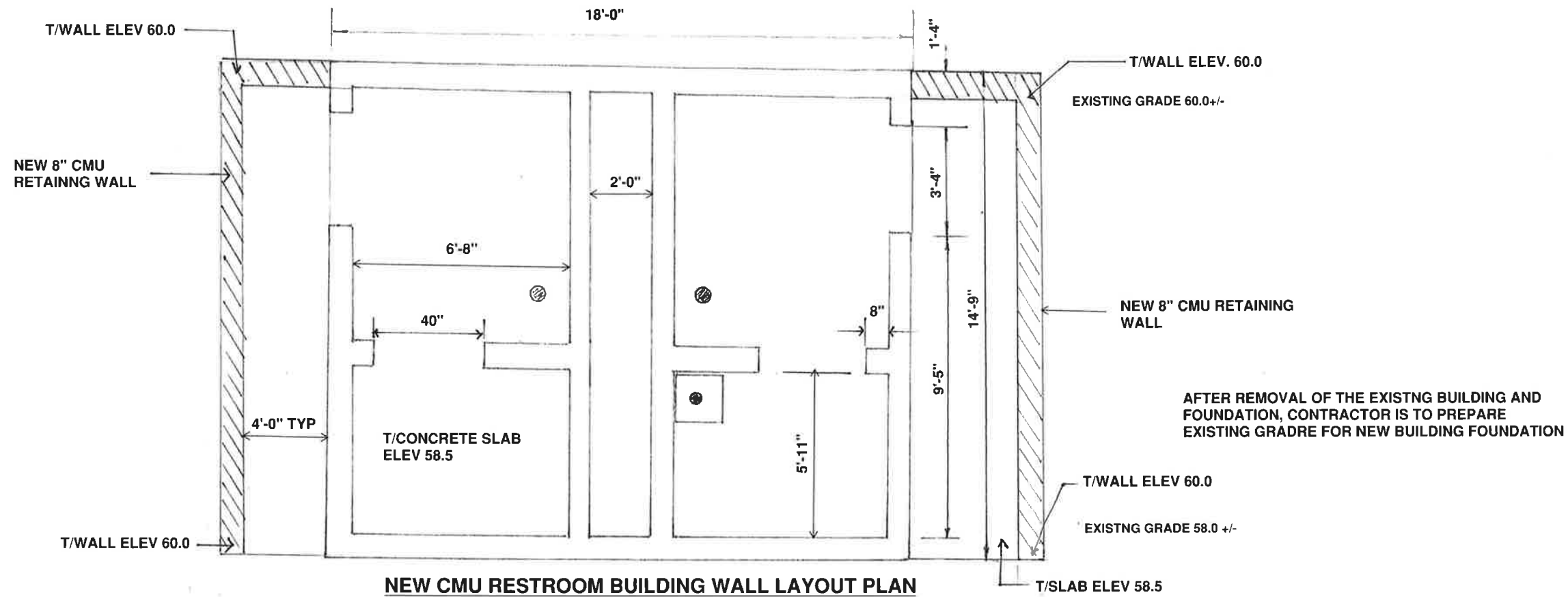
19"

22"

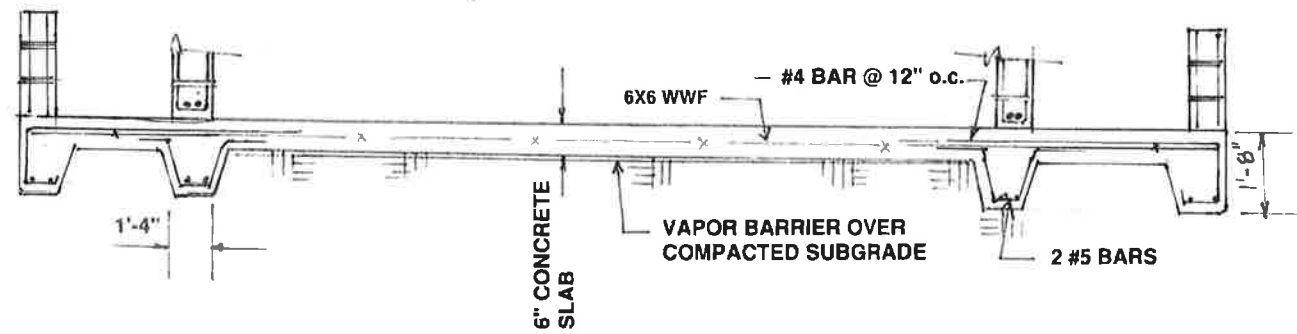
33" AFF

2x4 WOOD FRAME. SECURELY FAASTENED TO CMU WITH EXPANSION BOLT

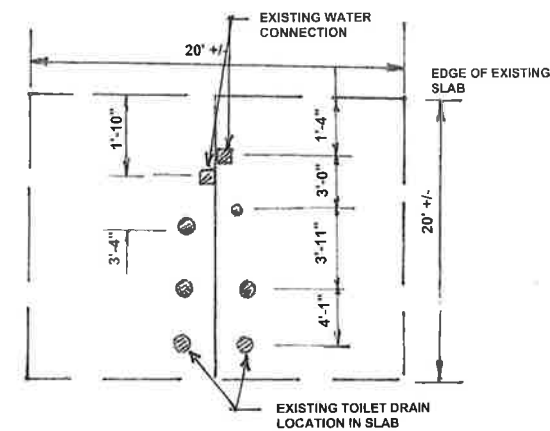
2x4 END SUPPORT EACH SIDE OF BOWL



NEW CMU RESTROOM BUILDING WALL LAYOUT PLAN



NEW RESTROOM BUILDING FOUNDATION SLAB



EXISTING RESTROOM BUILDING SERVICE LOCATIONS IN SLAB

ADDENDUM NO. 1

**EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS**

RESTROOM BUILDING FOUNDATION SLAB



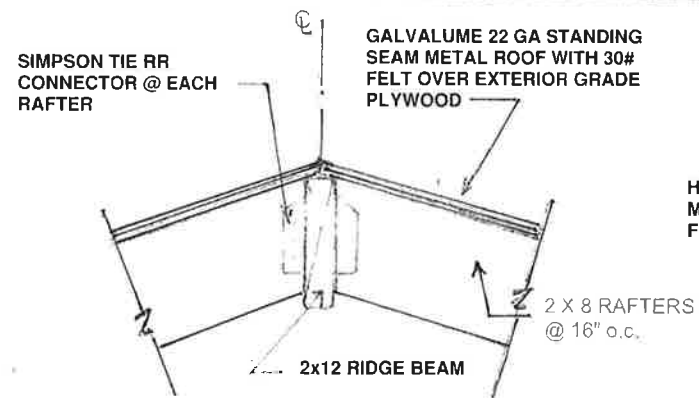
BY: CLG

SCALE: NTS

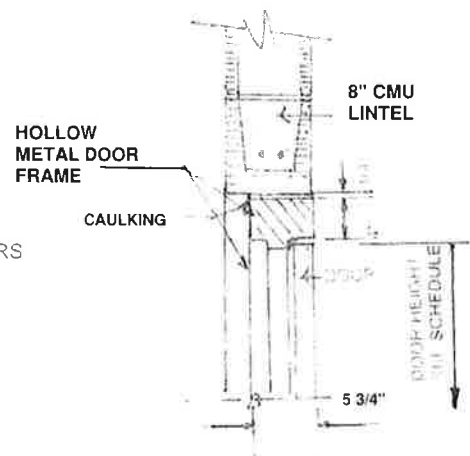
DATE: 2/15/21

C-12





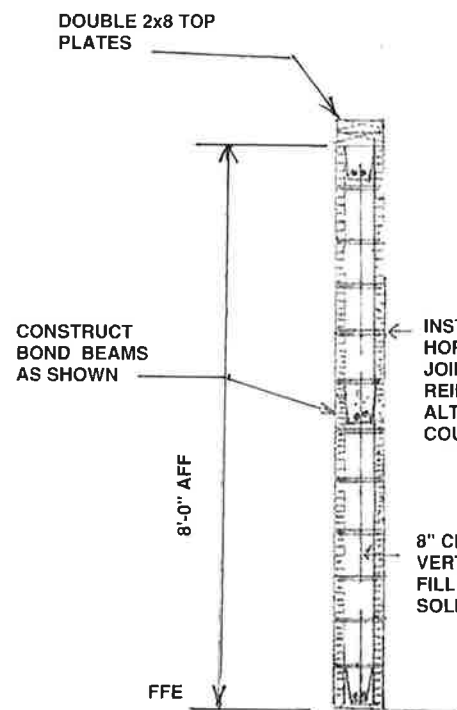
ROOF RAFTERS-TO- RIDGE DETAIL



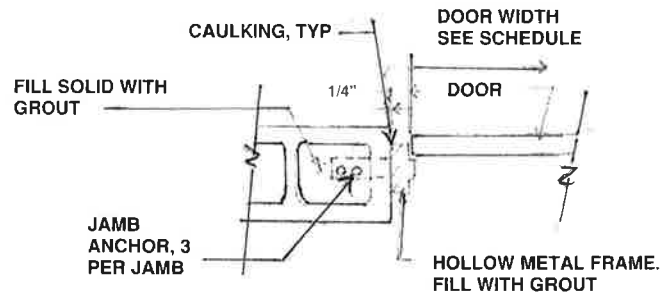
DOOR HEADER DETAIL

DOOR SCHEDULE										
DOOR NO.	DOOR TYPE	DIMENSIONS			DOOR		FRAME		REMARKS	
		WIDTH	HT	THICK.	MAT'L	FINISH	TYPE	MAT'L	FINISH	
1-4	A	3'-0"	7'-0"	1 3/4"	MTL	PAINT	A	MTL	PAINT	LOUVER
5	B	2'-0"	7'-0"	1 3/4"	MTL	PAINT	B	MTL	PAINT	

RESTROOM ACCESSORIES		
NO.	ITEM/DESCRIPTION	REMARKS
1.	PAPER TOWEL DISPENSER	SUBMIT FOR APPROVAL
2.	TOILET TISSUE DISPENSER	SUBMIT FOR APPROVAL
3.	GRAB BARS	SEE DETAILS

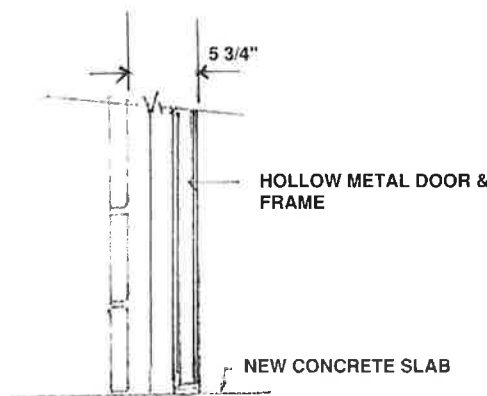


CMU WALL ELEVATION

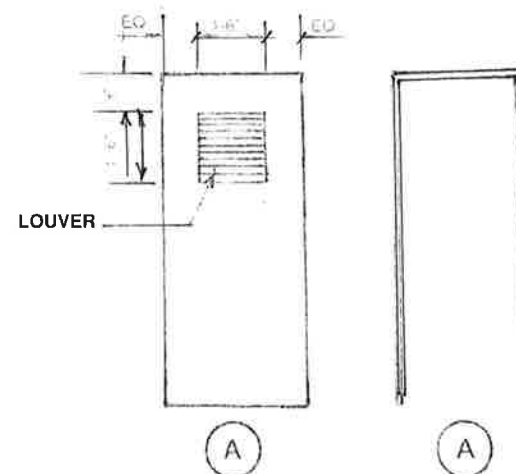


DOOR JAMB DETAIL

INSTALL VERTICAL CONTROL JOINTS IN CMU WALL AT MID-SECTION OF EACH WALL, FULL HEIGHT, SEE DWG C-14 FOR DETAIL



DOOR SILL DETAIL



DOOR ELEVATIONS & FRAMES

EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

RESTROOM DETAILS

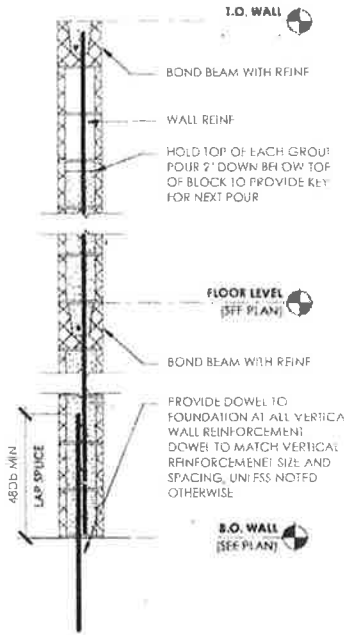
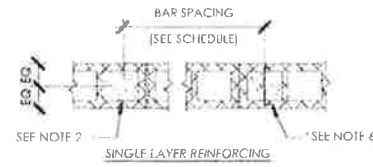


BY: CLG
SCALE: NTS
DATE: 3/18/21



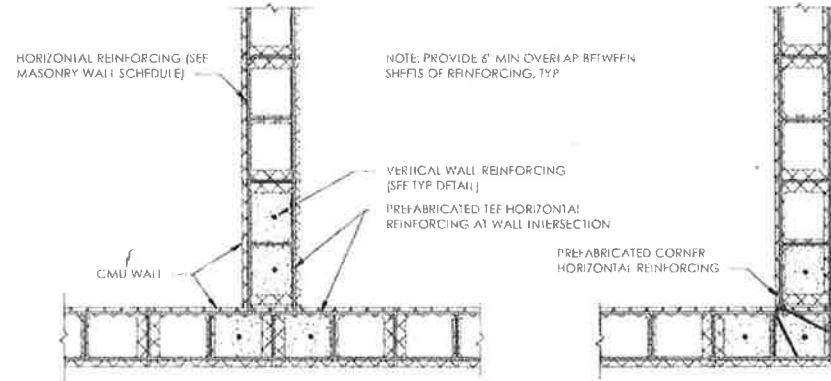
C-13

REVISED PER ADDENDUM NO. 1

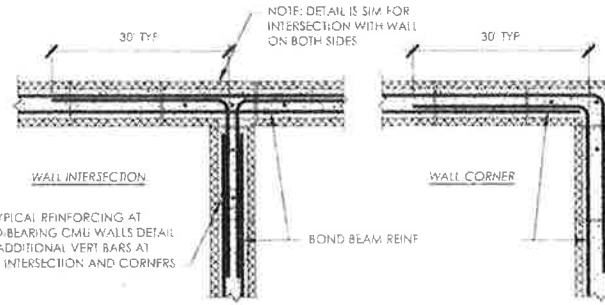


- NOTES:
- SEE MASONRY WALL SCHEDULE FOR BLOCK SIZE, REINFORCEMENT SIZE AND SPACING
 - GROUP REINFORCING SOLID IN BLOCK CORES
 - PROVIDE ADDITIONAL HORIZONTAL JOINT REINFORCEMENT ONE COURSE ABOVE AND BELOW OPENINGS EXTENDING A MINIMUM OF 2'-0" BEYOND FACE OF OPENING ON EACH SIDE
 - PROVIDE BOND BEAMS AT SPACING NOTED STRUCTURALLY CONNECTED ROOF AND FLOOR LEVELS, AND WITHIN 1'-0" OF THE TOP OF WALLS
 - RUN BOND BEAMS WITH REINFORCEMENT THROUGH CONTROL JOINTS SEE TYPICAL CONTROL JOINT DETAIL

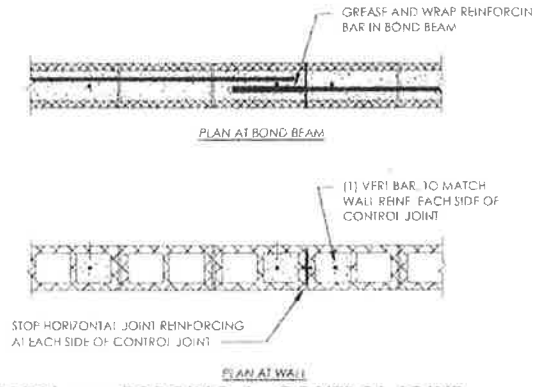
1 TYPICAL CMU WALL REINFORCING
N.T.S.



5 TYPICAL CMU HORIZONTAL REINFORCING DETAIL
N.T.S.



2 TYPICAL DETAIL AT BOND BEAM INTERSECTIONS
N.T.S.



3 TYPICAL REINFORCING AT CONTROL JOINT
N.T.S.

EFFINGHAM COUNTY BOARD OF COMMISSIONERS
PROPOSED McCALL PARK IMPROVEMENTS

RESTROOM DETAILS



BY: CLG
SCALE: NTS
DATE: 3/18/21



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REVISED PER ADDENDUM NO. 1