RFP 2019-111 ARSENAL WINDOW RESTORATION

CONTACTS

Owner:

City of Beaufort 1911 Boundary Street Beaufort, SC 29902

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Principal and Mechanical Engineer
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PROJECT DATA

1. General Information

Address: Beaufort Arsenal/Beaufort History Museum

713 Craven Street Beaufort, SC 29902

Property ID: R120 004 000 819A 0000

Flood Zone:

Flood Insurance Map Panel #450026 0005D

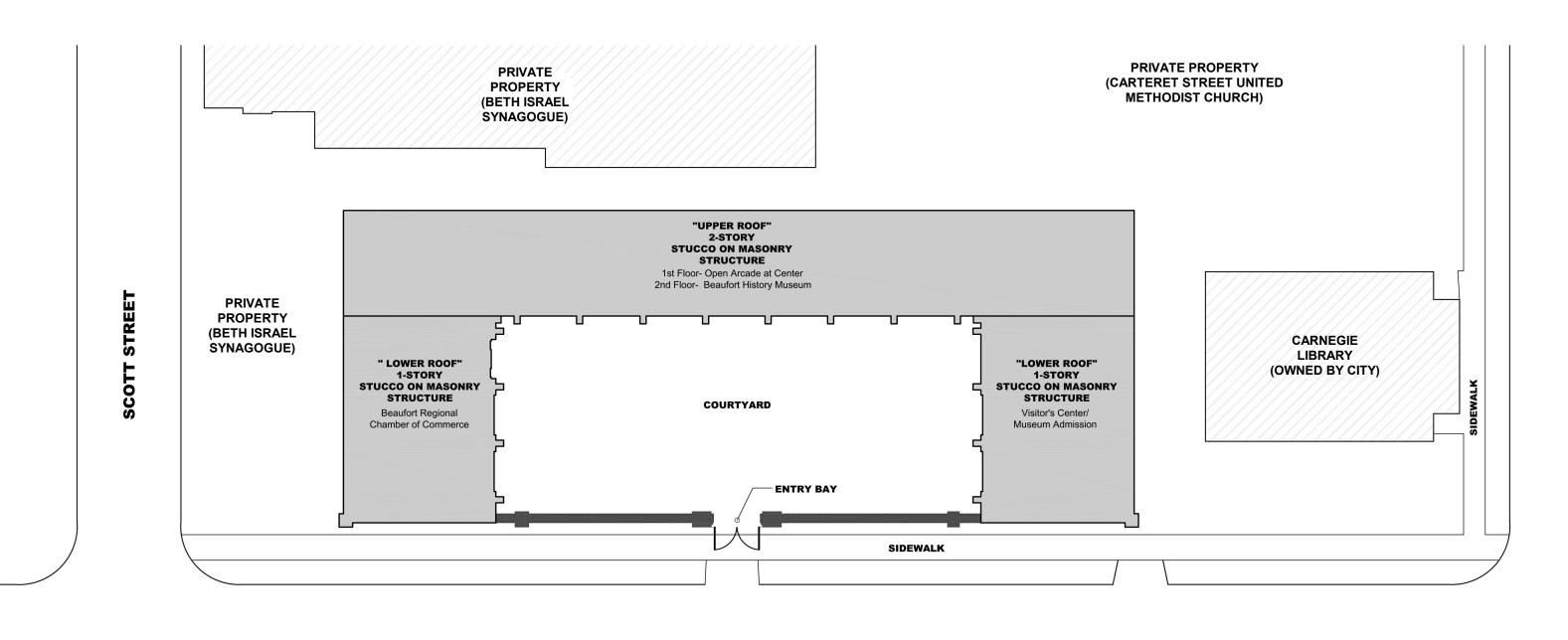
Site Area: 9,212 SF (.212 Acres)

PROJECT DESCRIPTION

The Beaufort Arsenal is an iconic local historic site and a major contributing structure in the City of Beaufort's National Historic Landmark District. The scope of work for this project includes window restoration, stucco repair adjacent to the windows, and an alternate for restoration of two doors.

DRAWING LIST

A00 COVER/TITLE SHEET
A01 NOTES & SPECIFICATIONS
A101 1ST FLOOR PROPOSED PLAN
A201 BUILDING ELEVATIONS
A601 WINDOW & DOOR SCHEDULES



CRAVEN STREET





AINCE 1984

713 CRAVEN STREET BEAUFORT, SC 29902

BID DRAWINGS

CITY OF BEABEAUFORT A

PROJ. 18-0125
ISSUE DATE: 04/15/19

REVISIONS

DATE NOTES

COVER/TITLE SHEET

A00

- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
- SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION. TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES. THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- 10. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS. AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
- 11. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- 12. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- 14. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND. AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH. IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- 15. CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- 16. CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- 17. NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING, THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES
- 18. DO NOT SCALE OFF DRAWINGS.
- 19. THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- 21. ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.
- 22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- 23. COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- 24. FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK

SYMBOLS LEGEND Code Compliance with the Following: - ELEVATION NUMBER WALL TAG International Building Code (IBC), 2015 Edition with **ELEVATION**: South Carolina Modifications International Existing Building Code (IEBC), 2015 Edition WINDOW TAG (1i) SHEET DRAWN **DETAIL NUMBER** DOOR TAG 101 DETAIL A101 2009 Edition INDICATES SIMILAR DETAIL FROM OTHER LOCATION SHEET DRAWN DIRECTION OF VIEW **INDICATES SIMILAR** SECTION DETAIL FROM OTHER LOCATION DRAWING NUMBER SHEET DRAWN DRAWING TITLE 1/8" = 1'-0" → SCALE DRAWN

(Work Area Compliance Method, Alteration Level 2) International Fire Code (IFC), 2015 Edition with South Carolina Modifications International Mechanical Code (IMC), 2015 Edition International Plumbing Code (IPC), 2015 Edition National Electrical Code, 2014 Edition, NFPA 70 South Carolina Energy Conservation Code (SCECC), Federal Emergency Management Agency American with Disabilities Act (ADA) ANSI A117.1 2017 Edition - Accessible & Usable **Buildings & Facilities**

GENERAL DEMOLITION NOTES

VIEW NUMBER

- A. PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. THESE PLANS DO NOT SHOW EACH ITEM THAT IS REQUIRED TO BE REMOVED. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO KEYED REPAIR PLAN FOR LIMITED SCOPE.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OR REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- EXISTING STRUCTURAL SYSTEM SHALL NOT BE REMOVED OR MODIFIED UNLESS APPROVED IN ADVANCE BY THE ARCHITECT AND/OR ENGINEER.
- REMOVE EXISTING ITEMS AS REQUIRED FOR REUSE IN THE NEW PLAN OR NEW FINISH. CATALOG AND STORE ITEMS IN A SAFE STORAGE AREA SUBJECT TO THE OWNER'S APPROVAL UNTIL THE TIME OF REINSTALLATION. LOST ITEMS SHALL BE REPLACED WITH COMPARABLE NEW ITEM AT NO COST TO THE OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- SALVAGED MATERIAL: DOCUMENT ITEMS TO BE SALVAGED BEFORE PERFORMING ANY WORK. ITEMS TO BE MARKED WITH A REMOVABLE LABEL DESIGNATING ORIGINAL LOCATION AND STORED IN AN AREA TO PROTECT THEM FROM DAMAGE OR THEFT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE. SHAPE, AND DETAIL, VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- K. COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- M. CLEAN AND RETURN EACH SPACE TO PRE-CONSTRUCTION CONDITION READY FOR USE BY OWNER PRIOR TO PROCEEDING TO NEXT WORK AREA.
- USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL PLASTER FINISHES.

N. AVOID DAMAGE TO INTERIOR FINISHES DURING THE COURSE OF WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE

- O. NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- P. GC SHALL KEEP A TRACKING LOG OF ALL HISTORIC BUILDING ELEMENTS THAT ARE SALVAGED AND REMOVED FROM THE BUILDING; LOG SHALL STATE ORIGINAL LOCATION, WHEN REMOVED & BY WHOM, WHERE TAKEN, AND WHEN RETURNED. GC SHALL UPDATE LOG REGULARLY AND PRESENT TO OWNER & ARCHITECT AS REQUIRED.
- Q. PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- R. REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)

APPLICABLE CODES

ABBREVIATIONS LEGEND							
& @ ACOUS ACT	AND AT ACOUSTICAL ACOUSTICAL CEILING TILE	KDAT LT WT LLH	KILN DRIED AFTER TREATMENT LIGHT WEIGHT LONG LEG HORIZONTAL				
ADA AFF ALT ALUM	AMERICANS WITH DISABILITY ACT ABOVE FINISHED FLOOR ALTERNATE ALUMINUM	LLV LP LVL	LONG LEG VERTICAL LOW POINT LAMINATED VENEER LUMBER				
APPROX ARCH BLDG	APPROXIMATE ARCHITECTURAL BUILDING	MAT'L MAX MECH MFR	MATERIAL MAXIMUM MECHANICAL MANUFACTURER				
BLKG BM B.O.	BLOCKING BEAM BOTTOM OF	MIN MISC MO MTL	MINIMUM MISCELLANEOUS MASONRY OPENING METAL				
CAT CJ CL CLG CMU COL	CATALOGUE CONTROL JOINT CENTERLINE CEILING CONCRETE MASONRY UNIT COLUMN	NIC NOM NON-COM NTS	NOT IN CONTRACT NOMINAL NON-COMBUSTIBLE NOT TO SCALE				
CONC CONN CONST CONT	CONCRETE CONNECTION CONSTRUCTION CONTINUOUS	OC OPNG OPP OF/CI	ON CENTER OPENING OPPOSITE OWNER FURNISHED - CONTRACTOR INSTALLED				
DET / DTL DIAG DIA DIM DN DR DS DWGS	DETAIL DIAGONAL DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DRAWINGS	OF/OI PLUMB PR PRE-FAB PT PT PVB	OWNER FURNISHED - OWNER INSTALLED PLUMBING PAIR PRE-FABRICATED PAVER TILE PRESSURE-TREATED POLY VAPOR BARRIER				
EA EJ ELEV EOS EQ EQUIP EX./EXIST EXT	EACH EXPANSION JOINT ELEVATION EMERGENCY OVERFLOW SCUPPER EQUAL EQUIPMENT EXISTING EXTERIOR	RAD RD REF REINF REQ'D REV RO	RADIUS ROOF DRAIN REFERENCE REINFORCING REQUIRED REVISION ROUGH OPENING				
FACP FD FDN FE FEC FFE FIG FIN FLR FRP FTG	FIRE ALARM CONTROL PANEL FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER & CABINET FURNITURE, FIXTURES, & EQUIPMENT FIGURE FINISH FLOOR FIBERGLASS REINFORCED PLASTIC FOOTING	SCHED SEC SECT SIM SOG SPECS SQ SQ FT STD STL STRUCT SYM	SCHEDULE SECURE / SECURITY SECTION SIMILAR SLAB ON GRADE SPECIFICATIONS SQUARE SQUARE SQUARE FEET STANDARD STEEL STRUCTURE / STRUCTURAL SYMMETRICAL				
GALV GA	GALVANIZED GAUGE OR GAGE	TEMP THK'NS	TEMPORARY THICKNESS				

FFE	FURNITURE, FIXTURES, & EQUIPMENT	SQ	SQUARE
FIG	FIGURE	SQ FT	SQUARE FEET
FIN	FINISH	STD	STANDARD
FLR	FLOOR	STL	STEEL
FRP	FIBERGLASS REINFORCED PLASTIC	STRUCT	STRUCTURE / STRUCTUR
FTG	FOOTING	SYM	SYMMETRICAL
GALV	GALVANIZED	TEMP	TEMPORARY
GA	GAUGE OR GAGE	THK'NS	THICKNESS
GYP BD	GYPSUM BOARD	T.O.	TOP OF
GIR	GIRDER	TRTD	TREATED
GRD BM	GRADE BEAM	T.T.W.	TO THE WEATHER
		TYP	TYPICAL
H/C	HANDICAPPED		
HB	HOSE BIB	UNO	UNLESS NOTED OTHERV
HM	HOLLOW METAL		

RWISE HOLLOW METAL HORIZ HORIZONTAL VCT VINYL COMPOSITION TILE **VERT VERTICAL HIGH POINT** HT **HEIGHT** VIF **VERIFY IN FIELD** HVAC HEATING, VENTILATION, & AIR VL VINYL CONDITIONING

WITH INSUL **INSULATION** W/O WITHOUT WP WATERPROOFING INTR INTERIOR INV WS WATER STOP INVERT WEIGHT

GENERAL SPECIFICATIONS

JOINT

THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.

ADDITIONAL NOTES:

*** Contractor is responsible to verify all dimensions and relevant bidding criteria.

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SPECIFICATIONS

GENERAL CONSTRUCTION NOTES

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE
 WINDOW RESTORATION FOR ALL STRUCTURES
 COMPRISING THE BEAUFORT ARSENAL COMPLEX.
 - ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
 - PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- 7. ALL DIMENSIONS TO BE FIELD VERIFIED.

NEW CONSTRUCTION NOTES

1 REPAIR AND RESTORE ALL WINDOWS, SEE WINDOW SCHEDULE AND GENERAL WINDOW NOTES.

ALL STUCCO DAMAGED DURING RESTORATION OF THE WINDOWS TO BE RESTORED WITH COMPATIBLE STUCCO. REPOINT MASONRY SUBSTRATE AS REQUIRED. STUCCO PATCHES AND REPAIRS SHALL MATCH EXISTING TEXTURE. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.

REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.

ALTERNATE 1: REMOVE PLASTIC COVERS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.

ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.

SEE GENERAL DOOR NOTES.

FLOOR PLAN LEGEND

Room name 101 ROOM NUMBER REFER TO ROOM FINISH SCHEDULE 150 SF DOOR NUMBER REFER TO DOOR SCHEDULE WINDOW NUMBER REFER TO WINDOW SCHEDULE

1i WINDOW NUMBER
REFER TO WINDOW SCHEDULE

EXISTING WALL CONSTRUCTION

NEW WALL CONSTRUCTION (RESTROOM

PROJECT IS BE BID SEPARATE FROM THE WINDOW PROJECT)

NEW CONSTRUCTION NUMBERED NOTE REFER TO DESCRIPTIONS ON THIS PAGE

GENERAL FLOOR PLAN NOTES:

- A. REFER TO ROOM FINISH SCHEDULES ON SHEET A901.
 B. REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
- C. REFER TO GENERAL NOTES ON SHEET A01.
 D. WALLS ARE DIMENSIONED TO FINISH FACE OF WALL.
 E. DOORS AND WINDOWS ARE DIMENSIONED TO THE
- FINISHED OPENING.

 NEW INTERIOR WALL AND CEILING FINISHES TO BE INSTALLED IN ALL NEW AND RENOVATED RESTROOMS.

CITY OF BEAUFORT BEAUFORT ARSENAL 713 CRAVEN STREET BEAUFORT, SC 29902

BID DRAWINGS

PROJ. 18-0125
ISSUE DATE: 04/15/19

REVISIONS

DATE NOTES

1ST FLOOR PROPOSED PLAN

A101

6 EXISTING NORTH ELEVATION- PERIMETER WALL 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- 6. ALL DIMENSIONS TO BE FIELD VERIFIED.

NEW CONSTRUCTION NOTES

- REPAIR AND RESTORE ALL WINDOWS, SEE WINDOW SCHEDULE AND GENERAL WINDOW NOTES.
 - ALL STUCCO DAMAGED DURING RESTORATION OF THE WINDOWS TO BE RESTORED WITH COMPATIBLE STUCCO. REPOINT MASONRY SUBSTRATE AS REQUIRED. STUCCO PATCHES AND REPAIRS SHALL MATCH EXISTING TEXTURE. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.
 - REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.
 - ALTERNATE 1: REMOVE PLASTIC COVERS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.
- ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.

SEE GENERAL DOOR NOTES.

EAUFORT ARSENAL

CITY OF BEABEAUFORT A

BID DRAWINGS

PROJ. 18-0125 ISSUE DATE: 04/15/19 REVISIONS # DATE NOTES

> BUILDING **ELEVATIONS**

A201

REPAIR AND REPLACE GLASS IN SASHES AS

REPAIR AND RESTORE WINDOW COMPLETE,

INCLUDING BUT NOT LIMITED TO THE CASING,

JAMB, SASH, AND SILLS. REPLACE ALL

DETERIORATED ELEMENTS IN-KIND.

NECESSARY. ALL UNITS TO BE REGLAZED.

INSTALL NEW WEATHERSTRIPPING ON ALL

LOWER SASH.

TEMPORARILY REMOVE PLASTIC COVERS,

REINSTALL AFTER WINDOW

REPAIR ALL DAMAGED STOOLS.

PREP AND PAINT WINDOW COMPLETE,

CASING, JAMB, STOOL, SASH, AND SILL.

EXTERIOR

NOTE: WINDOWS WITH ADDED ELEMENTS AND/OR

REPAIRS EXECUTED IN ACCORDANCE WITH THE

JAMB AND CASING TO BE IN PLAN WITH ORIGINAL

1 DIAGRAMMATIC PLAN DETAIL- WINDOW 1 1/2" = 1'-0"

WINDOW ELEVATION LEGEND

INAPPROPRIATE REPAIRS SHALL BE RETURNED TO ORIGINAL

INAPPROPRIATE REPAIRS WERE IDENTIFIED ON THE WINDOW

JAMBS AND ARCHED TRANSOMS. ALL ELEMENTS OF THE

APPEARANCE, PREVIOUS REPAIRS THAT DEVIATE FROM

ORIGINAL DETAILS TO BE REMOVED AND APPROPRIATE

SPECIFICATIONS. FINAL DETERMINATION OF REPAIRS IN

QUESTIONS WILL BE MADE BY THE ARCHITECT. MANY

INCLUDING BUT NOT LIMITED TO THE

RESTORATION.

WINDOW &

DOOR

SCHEDULES

DATE NOTES

GENERAL DOOR NOTES

- ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO
- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE
- DO NOT SCALE OFF DRAWINGS.

GE	IERAL WINDOW NOTES	
1.	REFER TO WINDOW ASSESSMENT DATED 11.29 A. BASIS OF DESIGN: REPAIR & RESTORE A CONDITION, UPPER SASH FIXED. PAINT REPLACE GLAZING COMPLETE. INTERIC AND REINSTALLED FOLLOWING REPAIR B. ALTERNATE 1: REMOVE PLASTIC COVE	A W OF

9.17 FOR DETAILS OF EXISTING WINDOW CONDITIONS. ALL WINDOWS IN FULL. RESTORE LOWER SASH TO OPERABLE WINDOWS COMPLETE (INTERIOR AND EXTERIOR COMPONENTS). OR PLASTIC COVERS IN MUSEUM SPACE TO BE TEMPORARILY REMOVED

RS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.

THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.

ASSUME THE FOLLOWING WINDOW SASH WILL NEED TO BE REPLACED IN KIND: **WINDOW 1 UPPER SASH**

WINDOW 2 UPPER AND LOWER SASH **WINDOW 6 UPPER SASH WINDOW 7 LOWER SASH WINDOW 8 LOWER SASH**

WINDOW 11 LOWER SASH WINDOW 19 CASEMENT SASH WINDOW 20 LOWER SASH WINDOW 22 UPPER SASH WINDOW 25 LOWER SASH WINDOW 28 LOWER SASH

WINDOW 9 UPPER SASH

WINDOW 30 UPPER AND LOWER SASH WINDOW 34 UPPER AND LOWER SASH IT MAY BE NECESSARY TO REPLACE ADDITIONAL SASH. UNLESS NOTED HERE, SASH REPLACEMENT MUST BE APPROVED BY THE ARCHITECT.

PROVIDE CONTINGENCY ALLOWANCE FOR REPLACING 6 ADDITIONAL SASH. WINDOW 19- PAINT METAL GRILL COMPLETE. REVERSE WINDOW (EXTERIOR SIDE CURRENTLY ON INTERIOR). INSTALL NEW TWO (2) UNLACQUERED BRASS SURFACE BOLTS (INSTALL VERTICALLY AT TOP AND BOTTOM). INSTALL NEW UNLACQUERED BRASS HINGES, MATCH SIZE OF EXISTING HINGES. RESTORE WINDOW COMPLETE. ALL ABANDONED HARDWARE MORTISES AND HOLES TO BE REPAIRED COMPLETED.

BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE

IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE

STRINGENT SHALL GOVERN. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS

POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED. DO NOT SCALE OFF DRAWINGS.

REFER TO SPECIFICATIONS AND ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION. REPAIR STUCCO DAMAGED DURING WINDOW RESTORATION. STUCCO DAMAGED AND REPAIRED DURING WINDOW

RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.

2' - 10 3/4" W1- Double Hung Window With Arched Transom 2' - 6" 31 W2- Double Hung Window 32 W2- Double Hung Window 2' - 6" 2' - 6" 33 W2- Double Hung Window 2' - 10 3/4" W1- Double Hung Window With Arched Transom 2' - 10 3/4" W1- Double Hung Window With Arched Transom 36 2' - 6" W2- Double Hung Window 2' - 6" W2- Double Hung Window 2' - 6" W2- Double Hung Window 2' - 6" W2- Double Hung Window

WINDOW SCHEDULE

Width

2' - 10 3/4"

2' - 10 3/4"

2' - 10 3/4"

2' - 10 3/4"

2' - 10 3/4"

2' - 10 3/4"

2' - 10 3/4"

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Height

6' - 6"

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4' - 0"

Window Type

W1- Double Hung Window With Arched Transom

W2- Double Hung Window

Mark

01

04

06

80

09

12

13

15

16

20

22

23

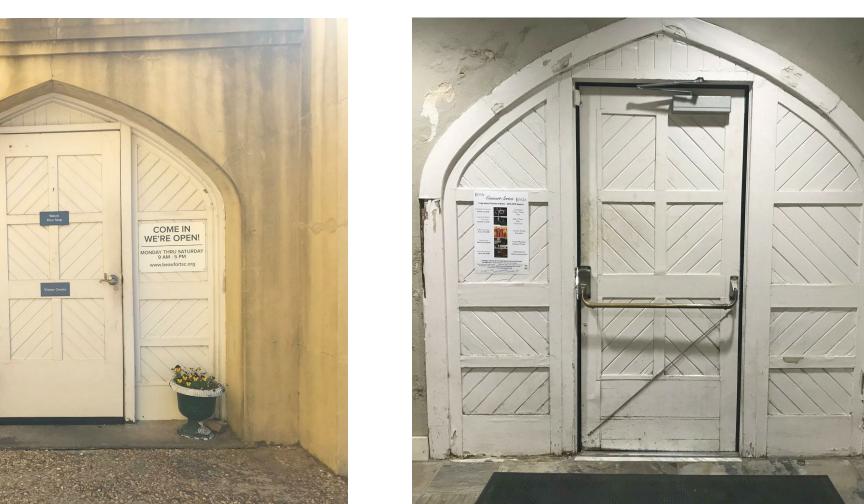
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25

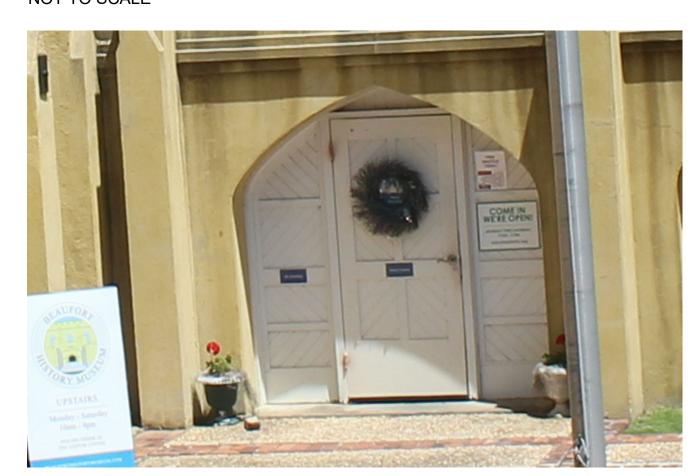
26

28

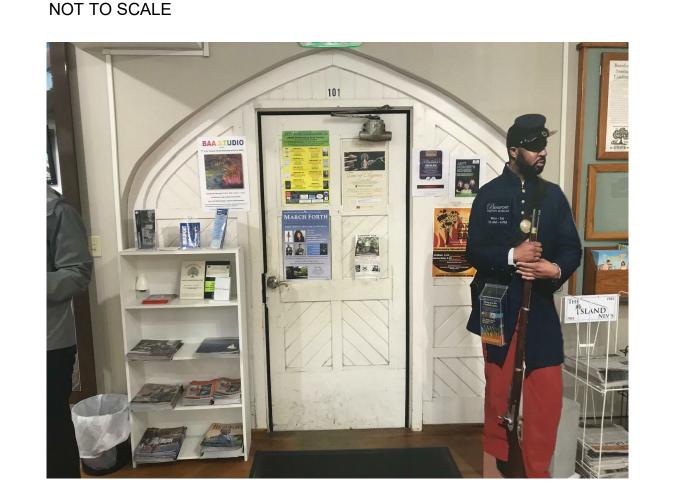
29



EXISTING CONDITIONS- ACCESS DOOR 1 EXTERIOR NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 2 EXTERIOR NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 2 INTERIOR NOT TO SCALE

EXISTING CONDITIONS- ACCESS DOOR 1 INTERIOR

REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.

BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE

CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE

STRINGENT SHALL GOVERN.