

# RFP 2019-111 ARSENAL WINDOW RESTORATION

## CONTACTS

### Owner:

City of Beaufort  
1911 Boundary Street  
Beaufort, SC 29902

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### Architect:

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Conservator  
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Principal and Mechanical Engineer  
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## PROJECT DATA

### 1. General Information

Address: Beaufort Arsenal/Beaufort History Museum  
713 Craven Street  
Beaufort, SC 29902

Property ID: R120 004 000 819A 0000  
Flood Zone: A11  
Flood Insurance Map Panel #450026 0005D

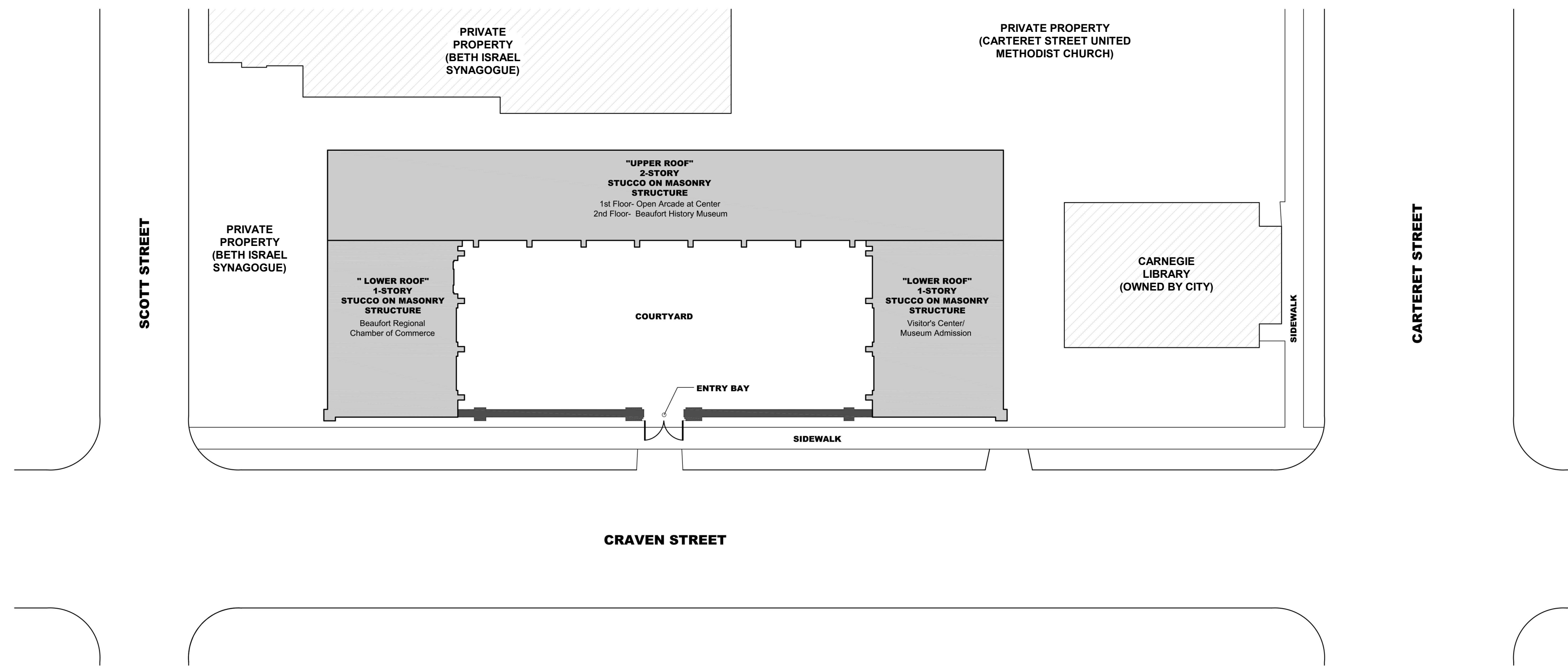
Site Area: 9,212 SF (.212 Acres)

## PROJECT DESCRIPTION

The Beaufort Arsenal is an iconic local historic site and a major contributing structure in the City of Beaufort's National Historic Landmark District. The scope of work for this project includes window restoration, stucco repair adjacent to the windows, and an alternate for restoration of two doors.

## DRAWING LIST

A00 COVER/TITLE SHEET  
A01 NOTES & SPECIFICATIONS  
A101 1ST FLOOR PROPOSED PLAN  
A201 BUILDING ELEVATIONS  
A601 WINDOW & DOOR SCHEDULES



1 SITE PLAN - ARSENAL COMPLEX  
SCALE: 1/8" = 1'-0"



PRINTED ON 4/10/2019 2:15:46 PM FILE LOCATION: P:\Projects\2019-111\2019-111-Beaufort Arsenal Window and Balcony Project\BID Documents\Window Project\Beaufort Arsenal Window Restoration - A00 - Cover Title Sheet.dwg

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

NOT FOR CONSTRUCTION

BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 04/15/19

REVISIONS

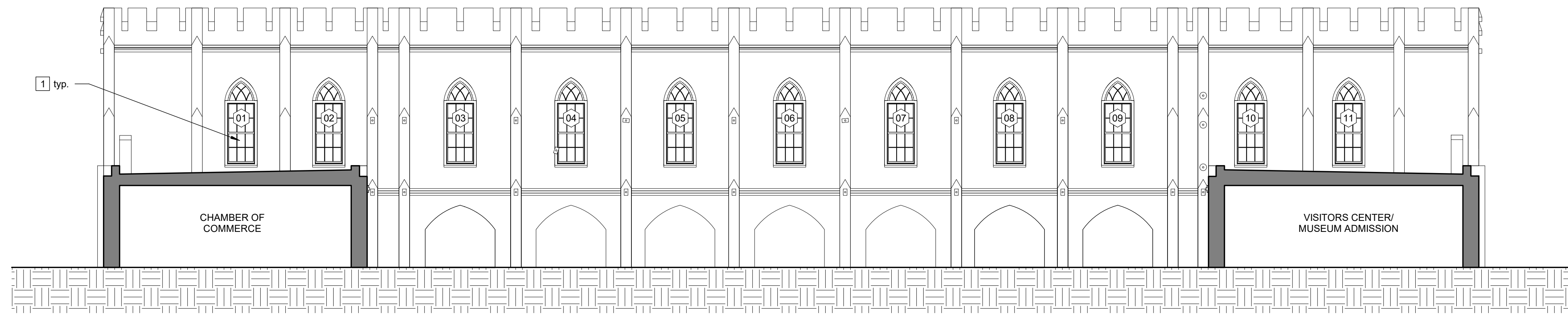
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COVER/TITLE SHEET

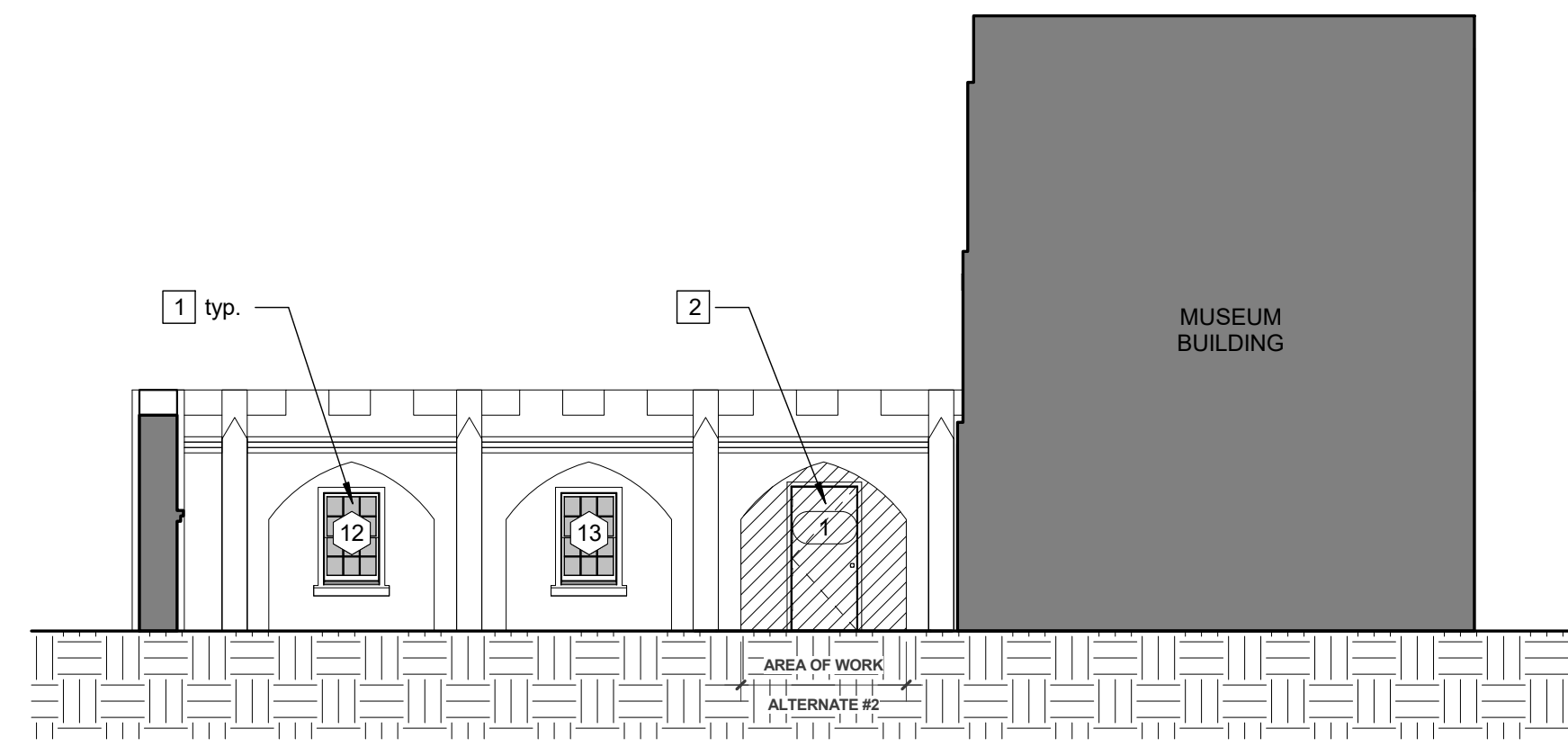
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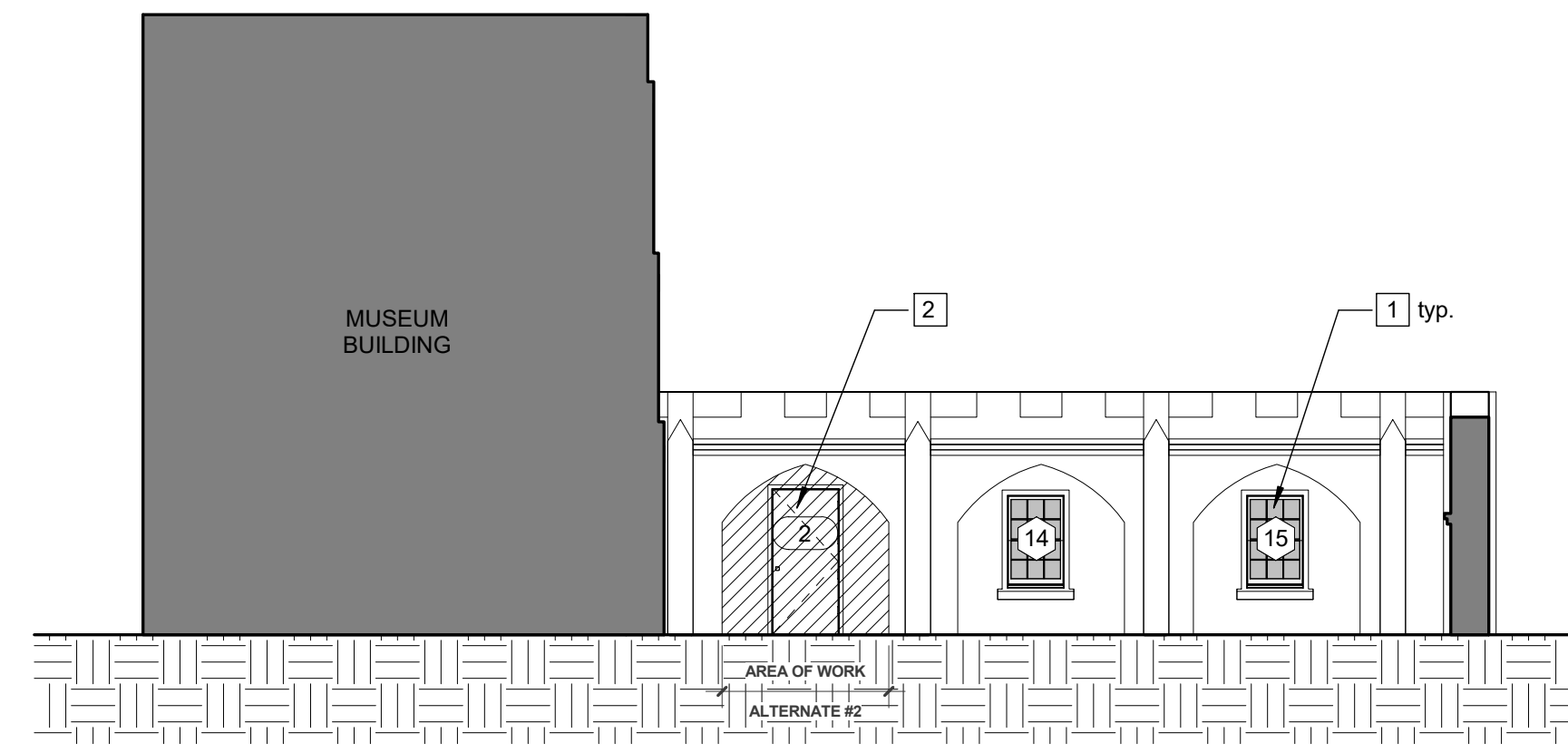




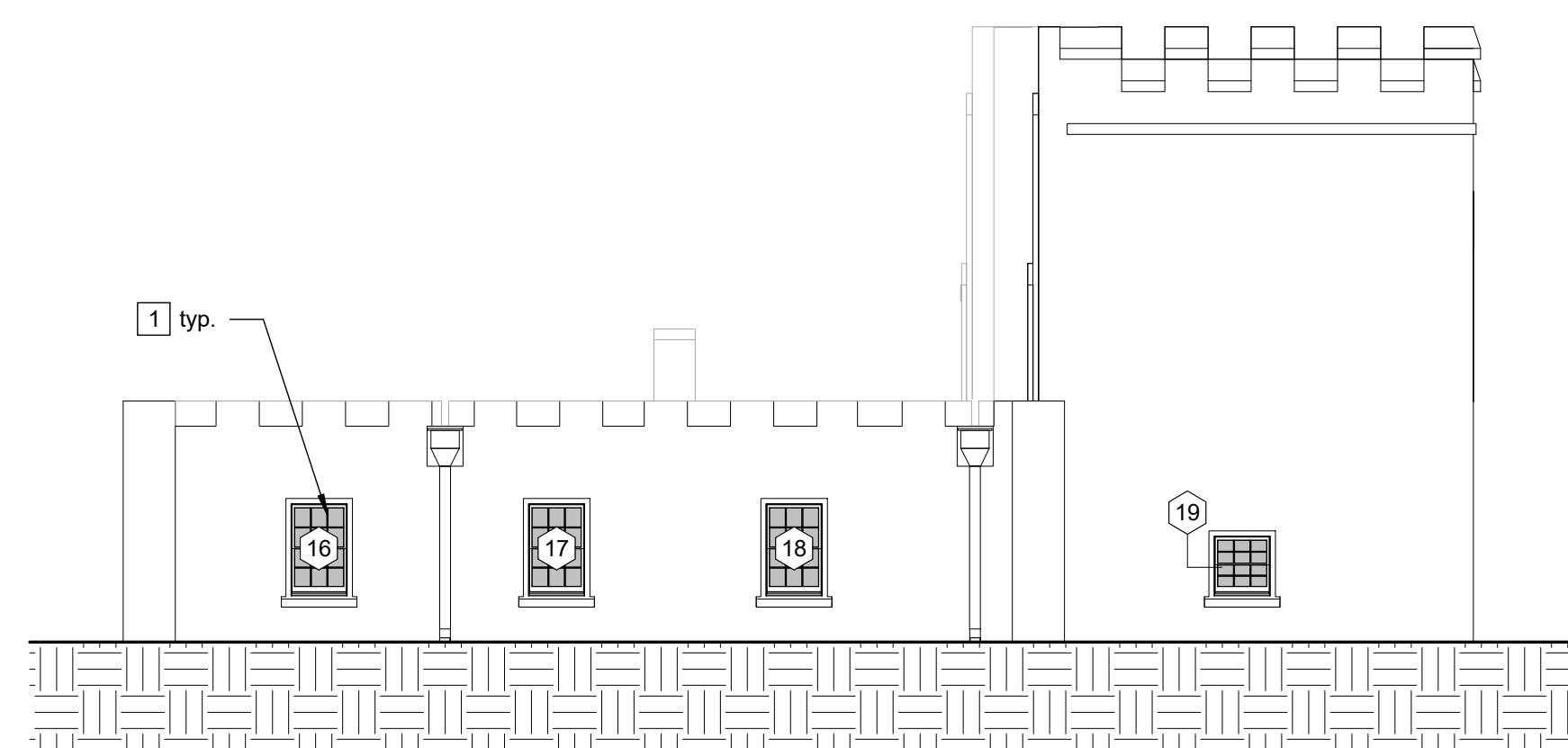
1 EXISTING SOUTH SECTION ELEVATION- COURTYARD  
1/8" = 1'-0"



2 EXISTING EAST INTERIOR ELEVATION- COURTYARD  
1/8" = 1'-0"



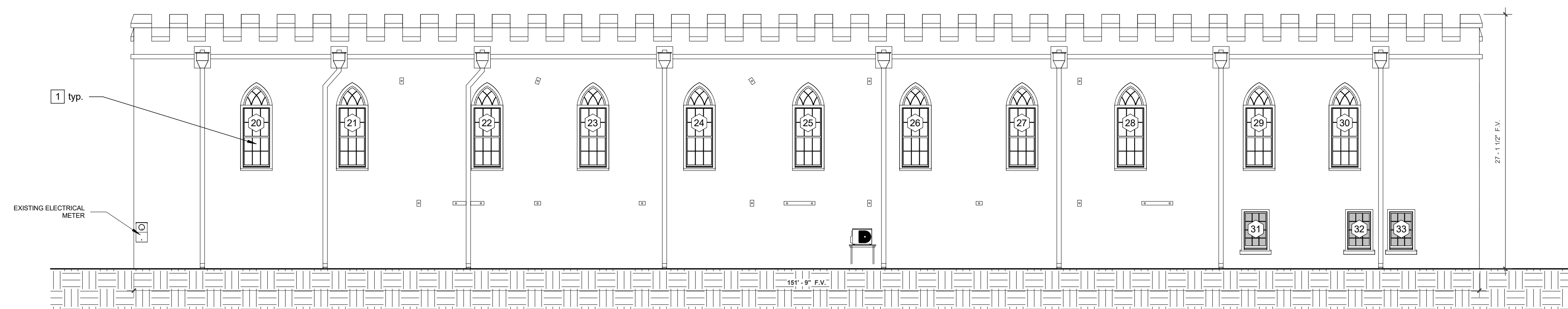
3 EXISTING WEST INTERIOR ELEVATION- COURTYARD  
1/8" = 1'-0"



4 EXISTING EAST EXTERIOR ELEVATION- PERIMETER WALL  
1/8" = 1'-0"



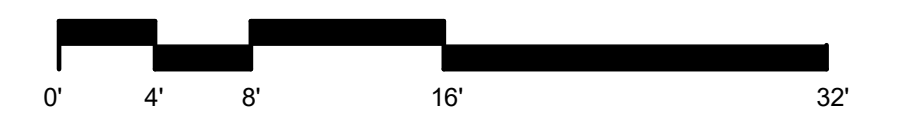
5 EXISTING WEST EXTERIOR ELEVATION- PERIMETER WALL  
1/8" = 1'-0"



6 EXISTING NORTH ELEVATION- PERIMETER WALL  
1/8" = 1'-0"

- ### GENERAL CONSTRUCTION NOTES
1. THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX.
  2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
  3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
  4. PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
  5. ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
  6. ALL DIMENSIONS TO BE FIELD VERIFIED.

- ### NEW CONSTRUCTION NOTES
1. REPAIR AND RESTORE ALL WINDOWS, SEE WINDOW SCHEDULE AND GENERAL WINDOW NOTES.  
  
ALL STUCCO DAMAGED DURING RESTORATION OF THE WINDOWS TO BE RESTORED WITH COMPATIBLE STUCCO. REPOINT MASONRY SUBSTRATE AS REQUIRED. STUCCO PATCHES AND REPAIRS SHALL MATCH EXISTING TEXTURE. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.  
  
REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.  
  
ALTERNATE 1: REMOVE PLASTIC COVERS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.
  2. ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.  
  
SEE GENERAL DOOR NOTES.



**MEADORS**  
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CITY OF BEAUFORT  
BEAUFORT ARSENAL  
713 CRAVEN STREET  
BEAUFORT, SC 29902

BID DRAWINGS

PROJ.	18-0125
ISSUE DATE:	04/15/19
REVISIONS	
#	DATE   NOTES

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BUILDING ELEVATIONS  
**A201**

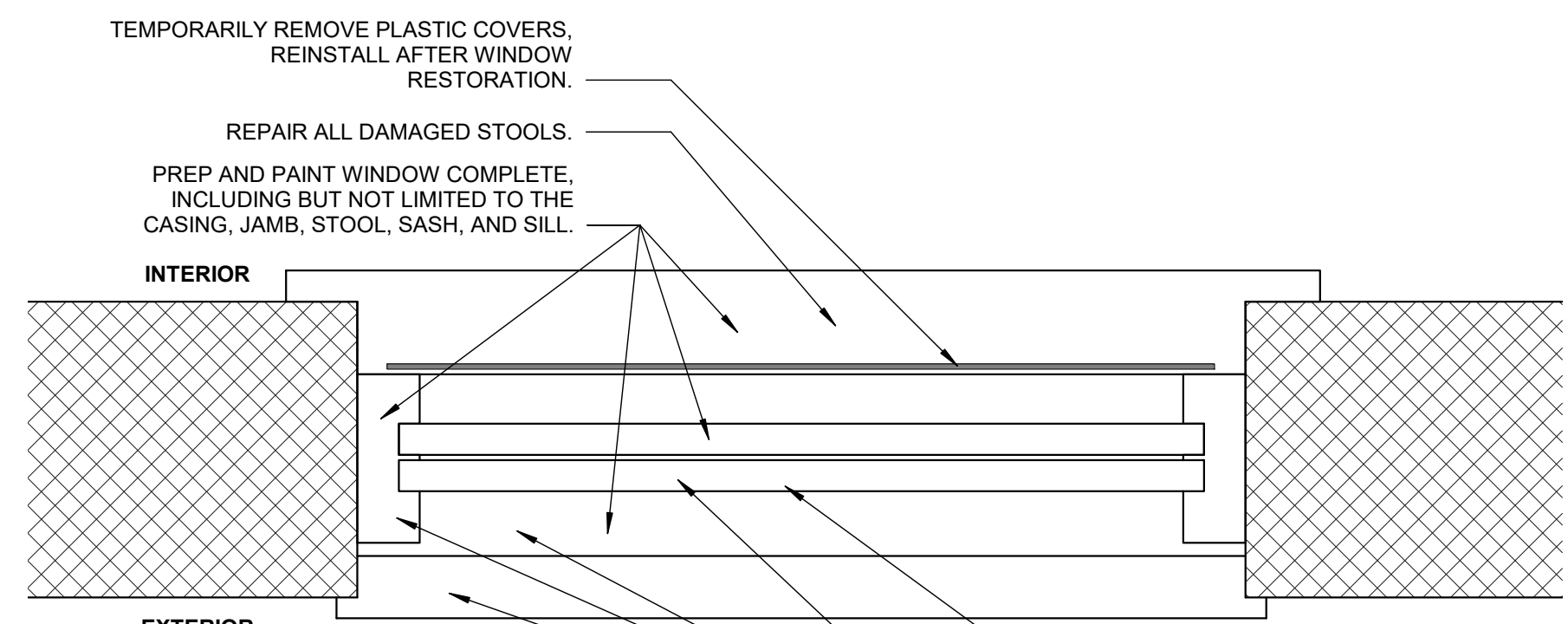
**NOT FOR CONSTRUCTION**

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WINDOW SCHEDULE			
Mark	Window Type	Width	Height
01	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
02	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
03	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
04	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
05	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
06	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
07	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
08	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
09	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
10	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
11	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
12	W2- Double Hung Window	2' - 6"	4' - 0"
13	W2- Double Hung Window	2' - 6"	4' - 0"
14	W2- Double Hung Window	2' - 6"	4' - 0"
15	W2- Double Hung Window	2' - 6"	4' - 0"
16	W2- Double Hung Window	2' - 6"	4' - 0"
17	W2- Double Hung Window	2' - 6"	4' - 0"
18	W2- Double Hung Window	2' - 6"	4' - 0"
19	W2- Double Hung Window	2' - 6"	4' - 0"
20	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
21	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
22	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
23	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
24	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
25	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
26	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
27	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
28	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
29	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
30	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
31	W2- Double Hung Window	2' - 6"	4' - 0"
32	W2- Double Hung Window	2' - 6"	4' - 0"
33	W2- Double Hung Window	2' - 6"	4' - 0"
34	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
35	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
36	W2- Double Hung Window	2' - 6"	4' - 0"
37	W2- Double Hung Window	2' - 6"	4' - 0"
38	W2- Double Hung Window	2' - 6"	4' - 0"
39	W2- Double Hung Window	2' - 6"	4' - 0"

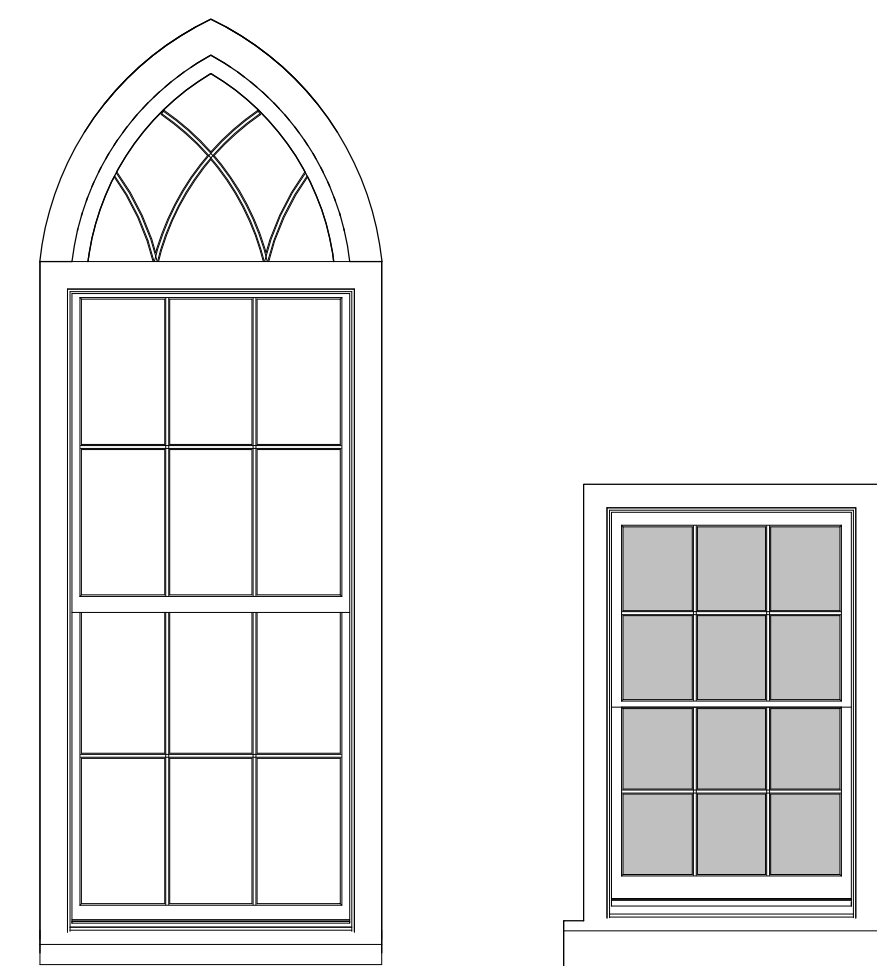
**GENERAL WINDOW NOTES**

- REFER TO WINDOW ASSESSMENT DATED 11.29.17 FOR DETAILS OF EXISTING WINDOW CONDITIONS.
  - BASIS OF DESIGN: REPAIR & RESTORE ALL WINDOWS IN FULL. RESTORE LOWER SASH TO OPERABLE CONDITION, UPPER SASH FIXED. PAINT WINDOWS COMPLETE (INTERIOR AND EXTERIOR COMPONENTS). REPLACE GLAZING COMPLETE. INTERIOR PLASTIC COVERS IN MUSEUM SPACE TO BE TEMPORARILY REMOVED AND REINSTALLED FOLLOWING REPAIRS TO THE WINDOWS.**
  - ALTERNATE 1: REMOVE PLASTIC COVERS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.**
- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- ASSUME THE FOLLOWING WINDOW SASH WILL NEED TO BE REPLACED IN KIND:
  - WINDOW 1 UPPER SASH
  - WINDOW 2 UPPER AND LOWER SASH
  - WINDOW 6 UPPER SASH
  - WINDOW 7 LOWER SASH
  - WINDOW 8 LOWER SASH
  - WINDOW 9 UPPER SASH
  - WINDOW 11 LOWER SASH
  - WINDOW 19 CASEMENT SASH
  - WINDOW 20 LOWER SASH
  - WINDOW 22 UPPER SASH
  - WINDOW 25 LOWER SASH
  - WINDOW 28 LOWER SASH
  - WINDOW 30 UPPER AND LOWER SASH
  - WINDOW 34 UPPER AND LOWER SASH
 IT MAY BE NECESSARY TO REPLACE ADDITIONAL SASH. UNLESS NOTED HERE, SASH REPLACEMENT MUST BE APPROVED BY THE ARCHITECT.
- PROVIDE CONTINGENCY ALLOWANCE FOR REPLACING 6 ADDITIONAL SASH.
- WINDOW 19- PAINT METAL GRILL COMPLETE. REVERSE WINDOW (EXTERIOR SIDE CURRENTLY ON INTERIOR). INSTALL NEW TWO (2) UNLACQUERED BRASS SURFACE BOLTS (INSTALL VERTICALLY AT TOP AND BOTTOM). INSTALL NEW UNLACQUERED BRASS HINGES. MATCH SIZE OF EXISTING HINGES. RESTORE WINDOW COMPLETE. ALL ABANDONED HARDWARE MORTISES AND HOLES TO BE REPAIRED COMPLETE.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
- DO NOT SCALE OFF DRAWINGS.
- REFER TO SPECIFICATIONS AND ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION.
- REPAIR STUCCO DAMAGED DURING WINDOW RESTORATION. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.



**NOTE: WINDOWS WITH ADDED ELEMENTS AND/OR INAPPROPRIATE REPAIRS SHALL BE RETURNED TO ORIGINAL APPEARANCE. PREVIOUS REPAIRS THAT DEVIATE FROM ORIGINAL DETAILS TO BE REMOVED AND APPROPRIATE REPAIRS EXECUTED IN ACCORDANCE WITH THE SPECIFICATIONS. FINAL DETERMINATION OF REPAIRS IN QUESTIONS WILL BE MADE BY THE ARCHITECT. MANY INAPPROPRIATE REPAIRS WERE IDENTIFIED ON THE WINDOW JAMBS AND ARCHED TRANSOMS. ALL ELEMENTS OF THE JAMB AND CASING TO BE IN PLAN WITH ORIGINAL MATERIALS.**

1 DIAGRAMMATIC PLAN DETAIL- WINDOW  
1 1/2" = 1'-0"



WINDOW ELEVATION LEGEND  
1/2" = 1'-0"



EXISTING CONDITIONS- ACCESS DOOR 1 EXTERIOR  
NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 1 INTERIOR  
NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 2 EXTERIOR  
NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 2 INTERIOR  
NOT TO SCALE

**GENERAL DOOR NOTES**

- ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.**
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- DO NOT SCALE OFF DRAWINGS.