

# CARPENTERS PARK BOARDWALK

## AUGUST, 2022



APPROX. SITE LOCATION

**VICINITY MAP**  
NOT TO SCALE

**CLIENT:**  
CITY OF MILTON  
PO BOX 909  
MILTON, FL 32572  
PHONE: (850) 983-5440

**SITE ADDRESS:**  
5254 MUNSON HWY  
MILTON, FL 32570

**SITE DATA:**  
PROJECT AREA: APPROX. ±29,768 SF OR .68 ACRES

**SHEET INDEX**

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SHEET 2	.....	EX. CONDITIONS - DEMO
SHEET 3	.....	SITE PLAN
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**GENERAL NOTES:**

ALL ELEVATIONS AND SLOPES PROVIDED IN THESE PLANS ARE TO BE STRICTLY ADHERED TO. THERE CAN BE NO MODIFICATIONS OR REVISIONS TO THESE PLANS WITHOUT PRIOR FIELD INSPECTION AND WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND APPROVAL FROM CITY OF MILTON.

ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCIES GOVERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION COMMENCEMENT.

THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF VARIOUS GOVERNMENTAL APPROVALS AND PERMITS.

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF MILTON LAND DEVELOPMENT CODE AND THE STANDARDS OF THE UTILITY SYSTEM AND THE F.D.E.P., ARMY CORPS OF ENGINEERING AND N.W.F.W.M.D. IF THERE ARE ANY DIFFERENCES, THE MOST STRINGENT SHALL PREVAIL.

CONTRACTOR SHALL NOTIFY IN WRITING, THE CITY OF MILTON AND THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.

ALL SUITABLE EXCAVATED MATERIAL IS TO REMAIN ON SITE AND BE STOCK PILED AT LOCATIONS DETERMINED BY THE CITY OF MILTON. UNSUITABLE EXCAVATED MATERIALS ARE TO BE REMOVED FROM THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING IMPROVEMENTS AND/OR FEATURES, INCLUDING PERMANENT SURVEY MARKERS AND BENCHMARKS, WHICH ARE NOT DESIGNATED TO BE REMOVED OR ALTERED ON THE PLANS.

ALL DIMENSIONS AND GRADES ON THESE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE RE-DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH ARGENTINE BAHIA SOD. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER (PRIOR TO INCORPORATION INTO THE PROJECT) A CERTIFICATION FROM THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY STATING THAT THE SOD/ HAY/STRAW/MULCH/SEED MATERIALS ARE FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE.

THE CONTRACTOR SHALL ESTABLISH NEW BENCHMARKS PRIOR TO TREE REMOVAL AND/OR DEMOLITION.

THE ENGINEER OF RECORD TAKES ABSOLUTELY NO RESPONSIBILITY FOR ANY ITEM LABELED BY OTHERS OR FOR SUCH ITEMS AS RETAINING WALLS, BUILDINGS, SUB-SURFACE GEOTECHNICAL CONDITIONS, FOUNDATION DESIGN, OR ANY EXISTING WATER AND SEWER UTILITIES.

ALL AREAS OF CONSTRUCTION ARE TO BE DE-WATERED APPROPRIATELY TO ALLOW FOR PROPER COMPACTION & INSTALLATION PER THE SPECS & DETAILS. CONTRACTOR TO ESTABLISH MEANS & METHODS FOR ACCOMPLISHING THIS AND BID ACCORDINGLY.

CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN BASINS, ROADS, AND THE PIPES AND CHANNELS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

AREAS CONTAINING BLOCK SOD SHALL BE PINNED.

ON ALL CLEARED AREAS WHICH WILL NOT HAVE ACTIVE CONSTRUCTION UNDERTAKEN FOR A PERIOD OF 90 DAYS OR MORE, A GROUND COVER SHALL BE PLANTED OR OTHER FORMS OF STABILIZATION UTILIZED WITHIN 10 WORKING DAYS.

**UTILITY NOTES:**

CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SUNSHINE UTILITIES 48-HOURS PRIOR TO CONSTRUCTION COMMENCEMENT FOR EXISTING UTILITY LOCATION. (SUNSHINE UTILITIES: 1-800-432-4770) EXISTING UTILITIES, WHICH MAY OR MAY NOT BE INDICATED ON THESE PLANS, ARE SHOWN IN THEIR APPROXIMATE LOCATION ONLY.

CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE WITH NO ADDITIONAL COMPENSATION.

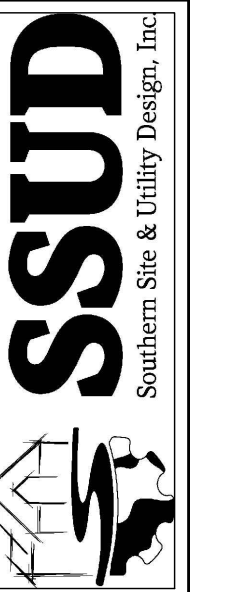
CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF EXISTING UTILITIES IF PROPOSED IMPROVEMENTS IMPACT EXISTING UTILITIES.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GULF POWER, AT&T, MEDIACOM, GAS COMPANY, SOUTH CITY OF MILTON UTILITIES AND ALL OTHER KNOWN PROVIDERS ACCORDING TO SUNSHINE UTILITIES AT THE TIME OF CONSTRUCTION.

Site Plan for:  
**CARPENTERS PARK BOARDWALK**

DRAWN BY: BAH DATE: 9/1/2022

**SOUTHERN SITE & UTILITY DESIGN, INC.**  
FLORIDA CERTIFICATE OF AUTHORITY NO. 8983  
6555 CAROLINE STREET MILTON, FLORIDA 32570  
PH: (850) 623-9493 E-MAIL: ssud@belsouth.net  
EROSION CONTROL PLANS • POTABLE WATER & SANITARY SEWER  
SITE PLANS • SUBDIVISIONS • STORMWATER MANAGEMENT

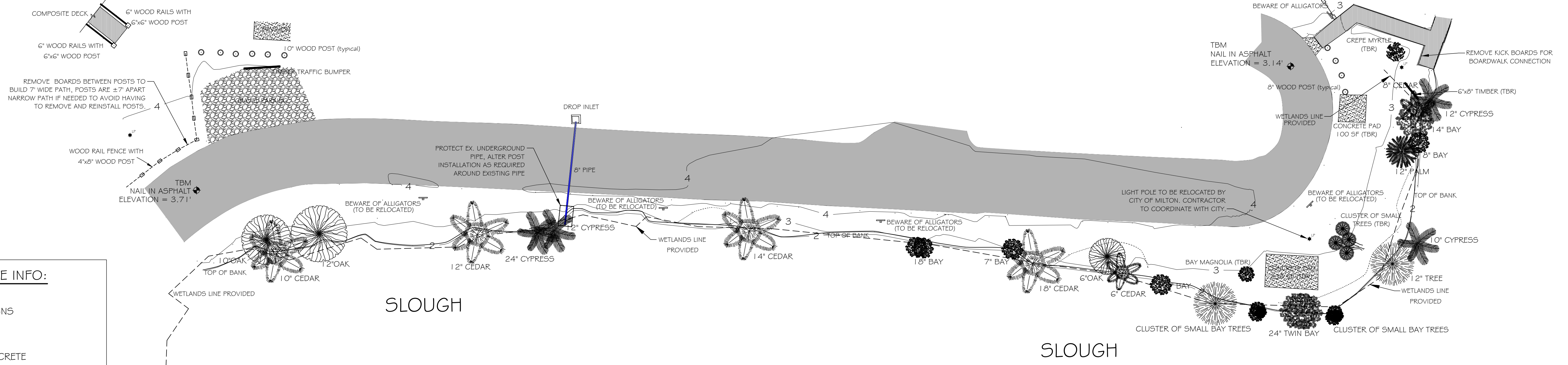
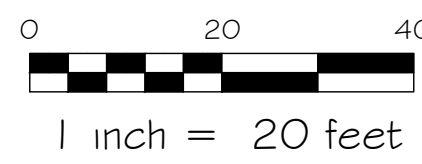
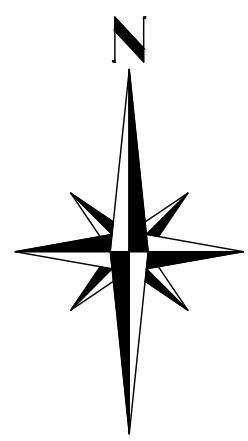


DATE: \_\_\_\_\_  
PAUL A. MCLEOD, JR., P.E.  
FL LICENSE NO. 56697  
DRAWING NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER OF RECORD

**SHEET**  
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# EXISTING CONDITIONS AND DEMO PLAN



## EXISTING SITE INFO:

RELOCATED ITEMS:  
 - 4 ALLIGATOR SIGNS  
 - 1 LIGHT POLE

DEMO ITEMS:  
 - 338 SF OF CONCRETE  
 - 3 TREES  
 - 1 - 6' X 8' L/S TIMBER

TREES SHOWN TO BE PROTECTED, SOME MINOR TRIMMING OF TREE LIMBS OR SHRUBS NOT SHOWN ON THESE PLANS WILL BE REQUIRED TO INSTALL BOARDWALK AS SHOWN.

## STORMWATER / EROSION CONTROL NOTES:

PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A POLLUTION CONTROL PLAN AND PROVIDE A COPY OF THIS PLAN TO THE CITY OF MILTON AND THE ENGINEER FOR REVIEW AND APPROVAL. THIS PLAN SHALL PROVIDE DETAILED INFORMATION TO DESCRIBE HOW THE CONTRACTOR PLANS TO PREVENT EROSION, SEDIMENT TRANSPORT, RELEASE OF TURBID STORMWATER RUNOFF AND OTHER POLLUTION ITEMS FROM OCCURRING.

CONTRACTOR IS TO ENSURE THAT ALL SEDIMENT CONTROL MEASURES ARE FULLY FUNCTIONAL DURING RAINFALL EVENTS. ALL HAY-BALES AND SILT FENCES SHALL REMAIN INTACT UNTIL CONSTRUCTION IS COMPLETE.

CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL TEMPORARY EROSION CONTROL MEASURES AS REQUIRED TO ENSURE NO SEDIMENTS ARE TRANSPORTED OFF-SITE VIA STORMWATER RUN-OFF.

ALL SIDE SLOPES AND EMBANKMENTS SHALL BE SODDED AND PINNED WITH GRASS WHICH IS FREE FROM NOXIOUS WEEDS.

CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN BASINS, ROADS, AND THE RETENTION POND AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

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## LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES EXISTING WOOD STRUCTURE
- DENOTES EXISTING GRAVEL
- DENOTES EXISTING CONCRETE
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED BOARDWALK
- DENOTES EXISTING SIGN
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES TYPICAL BENCHMARK
- DENOTES WOOD RAIL FENCE

Site Plan for:  
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DRAWN BY: BAH DATE: 9/1/2022

REVISIONS:  
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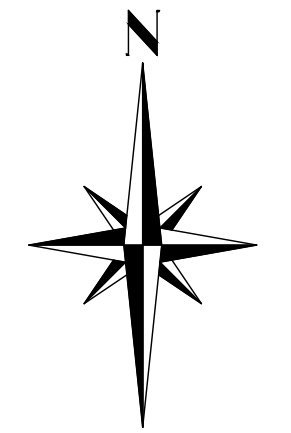


DATE: \_\_\_\_\_  
 PAUL A. MCLEOD, JR., P.E.  
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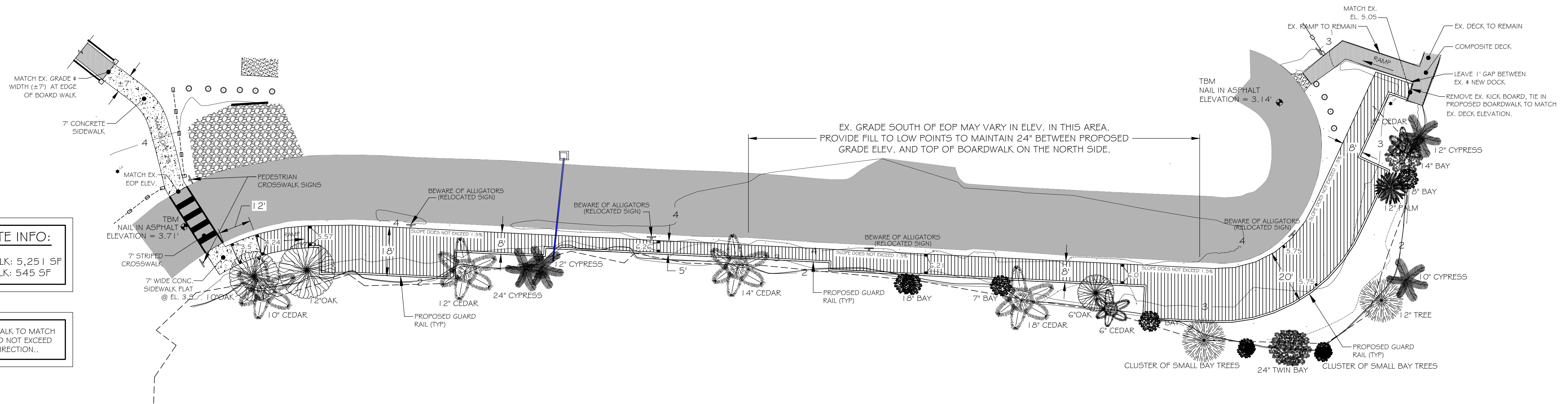
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# CARPENTERS PARK BOARDWALK - OVERALL PLAN

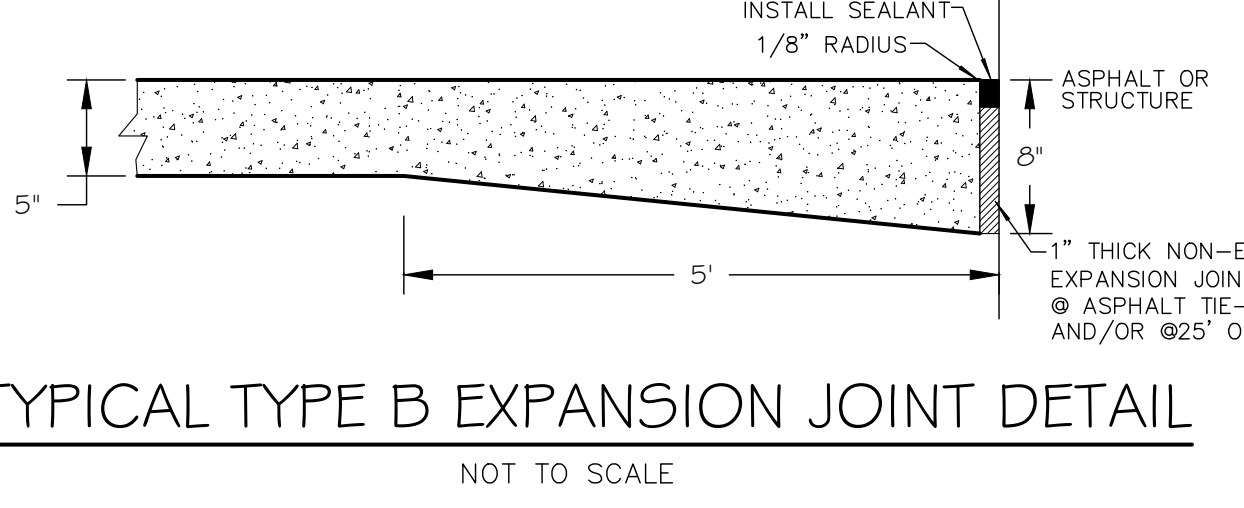
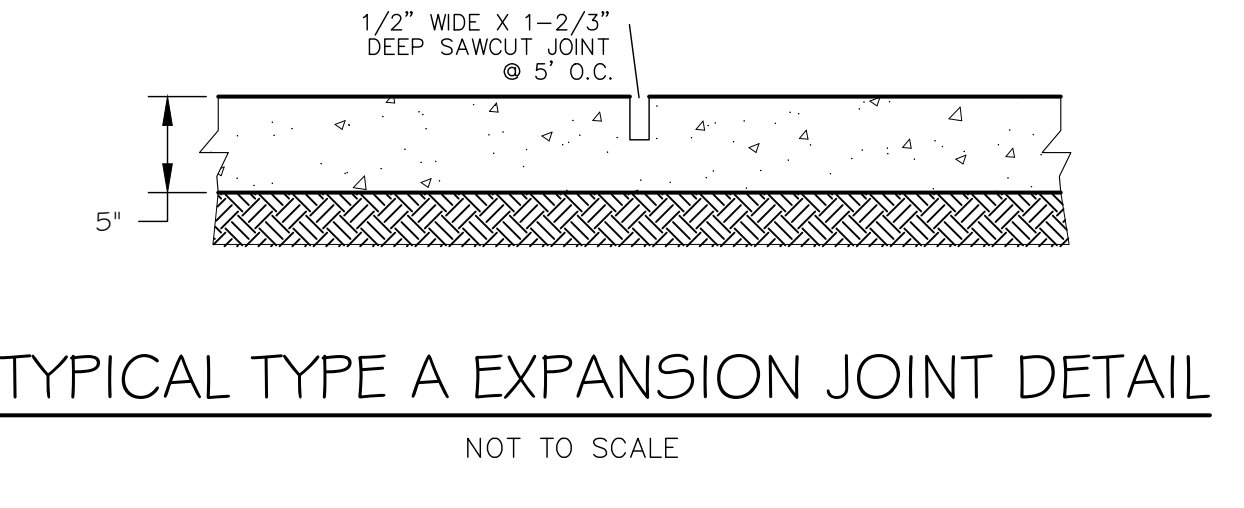
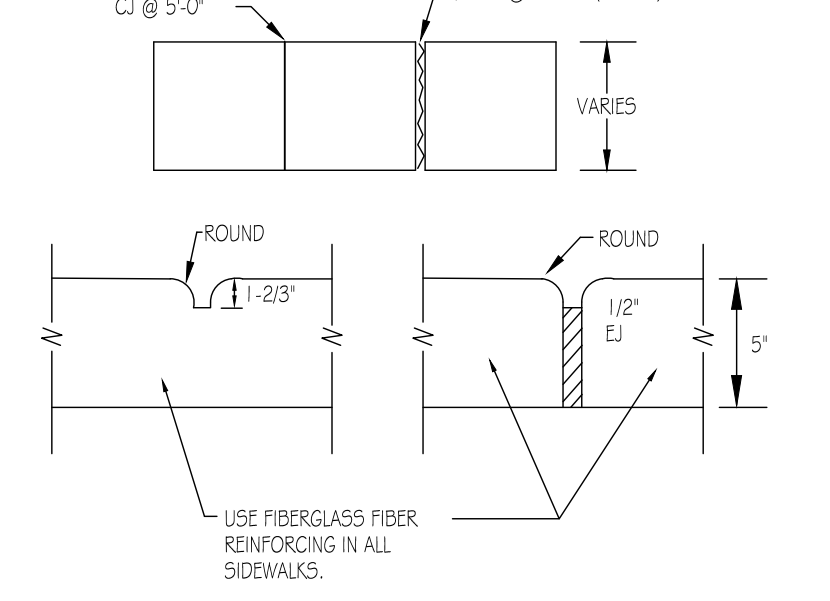
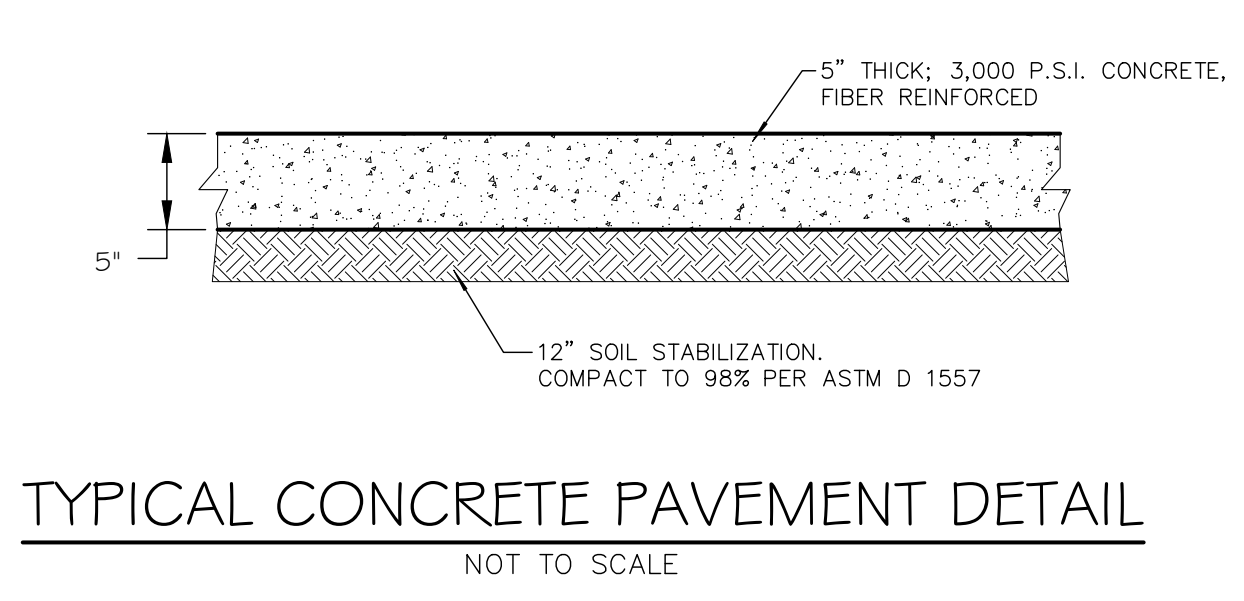
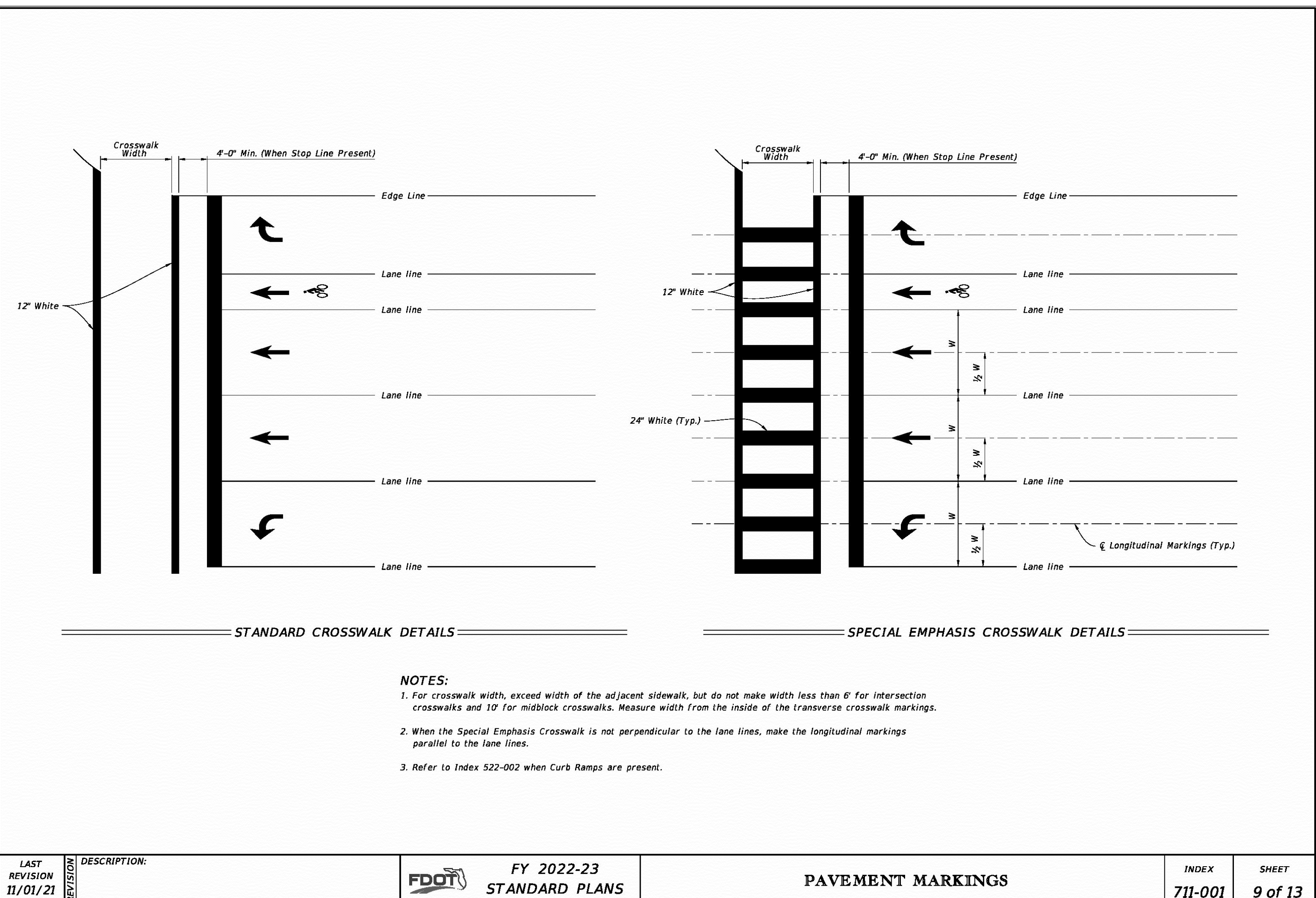


0 20 40  
1 inch = 20 feet



**PROPOSED SITE INFO:**  
PROPOSED BOARDWALK: 5,251 SF  
PROPOSED SIDEWALK: 545 SF

TOP OF CONCRETE SIDEWALK TO MATCH EX. ADJACENT GRADE AND NOT EXCEED 1.5% SLOPE IN ANY DIRECTION...



CROSSWALK STRIPING MUST BE THERMOPLASTIC STRIPING.

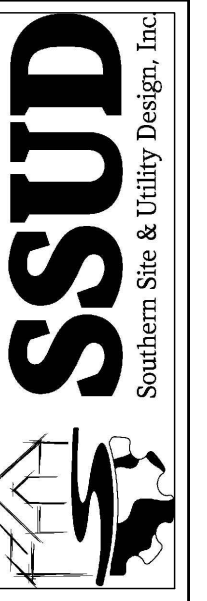
**LEGEND:**

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LAST REVISION	DESCRIPTION:
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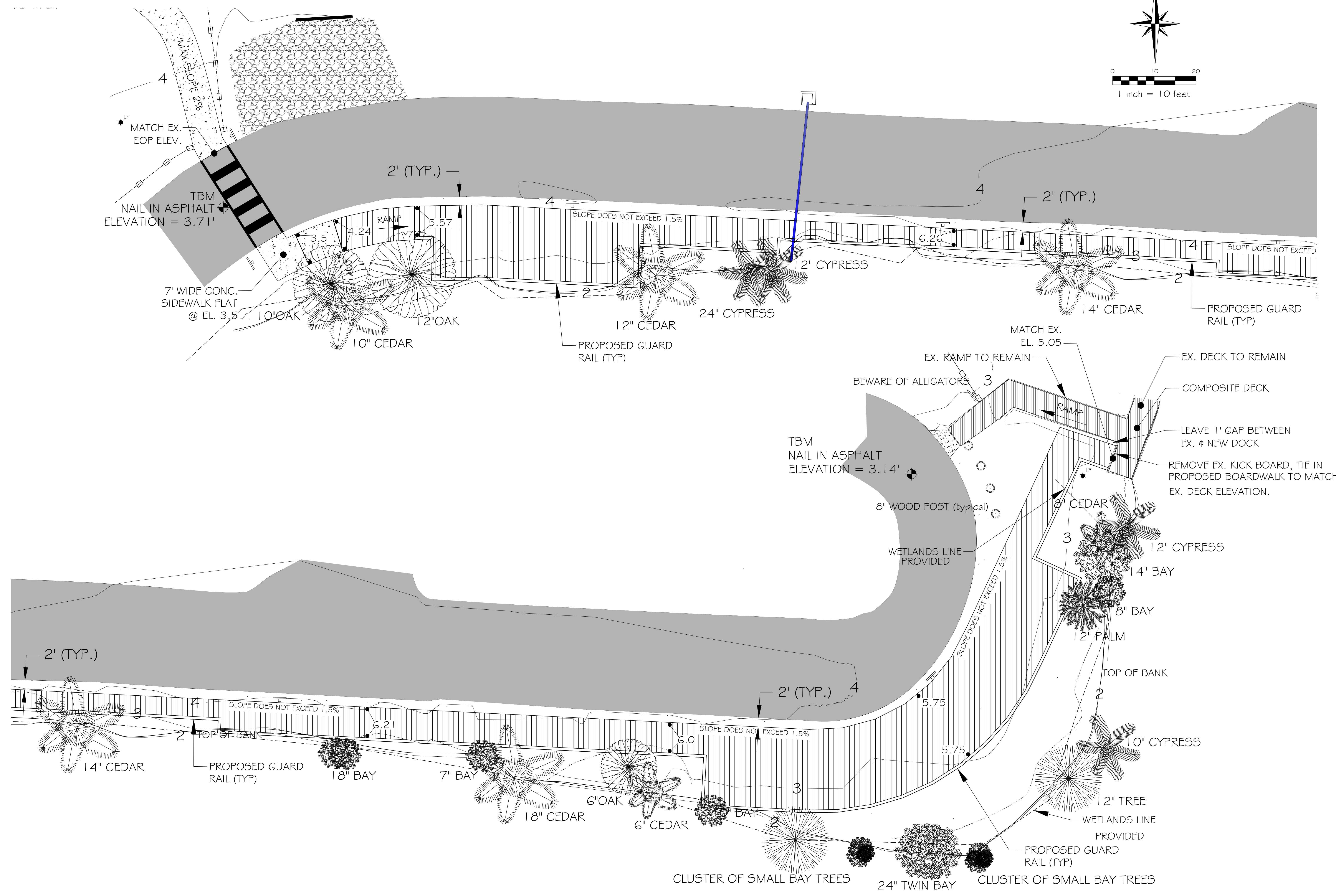
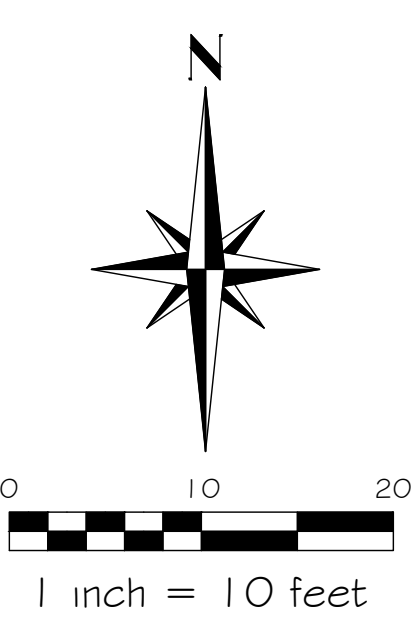
	FY 2022-23 STANDARD PLANS	PAVEMENT MARKINGS	INDEX 711-001	SHEET 9 of 13
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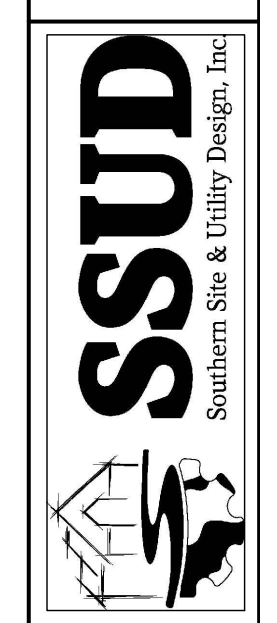


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 AJAN M. MILLER, P.E.  
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# PEDESTRIAN BOARDWALK DETAILS

Site Plan for:  
**CARPENTERS PARK BOARDWALK**

DRAWN BY: JTC DATE: 9/1/2022

REVISIONS:  
1. \_\_\_\_\_  
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4. \_\_\_\_\_

**SSUD**  
Southern Site & Utility Design, Inc.

DATE: \_\_\_\_\_  
PAUL A. McLEOD, JR., P.E.  
FL LICENSE NO. 366297  
JANIS M. MILLER, P.E.  
FL LICENSE NO. 53577  
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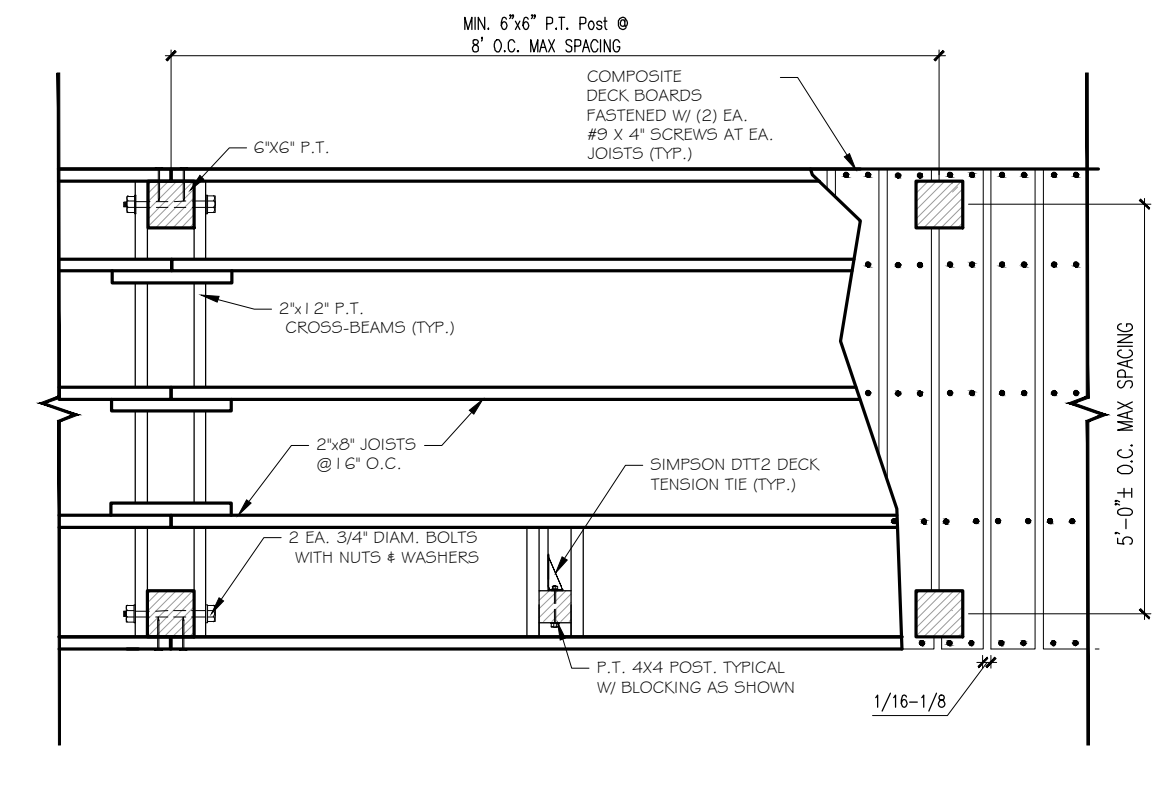
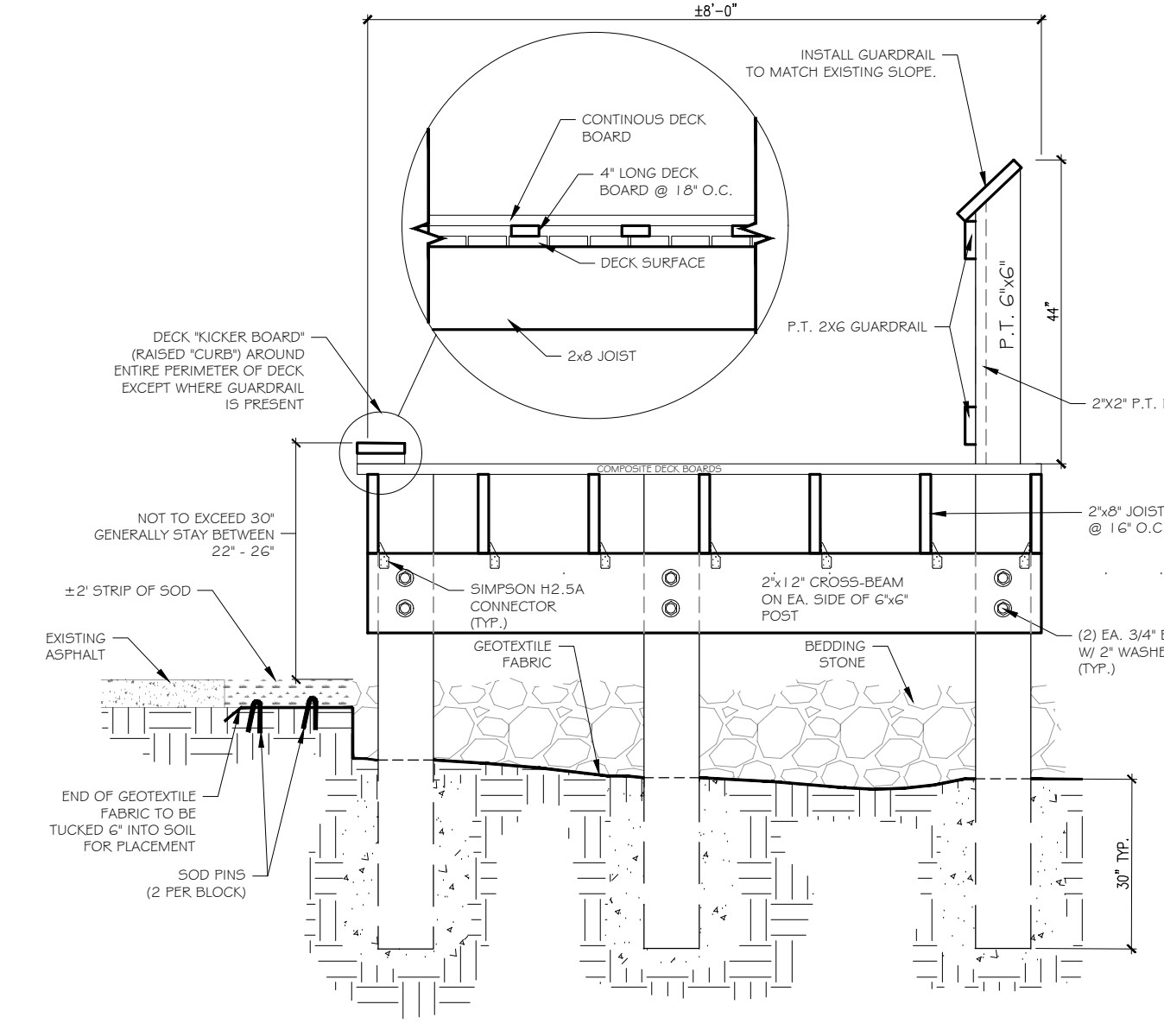
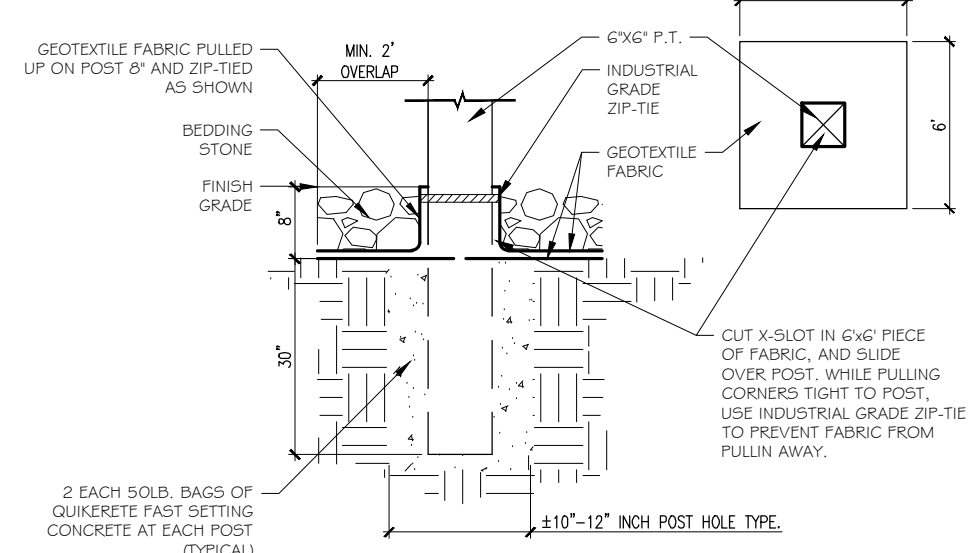
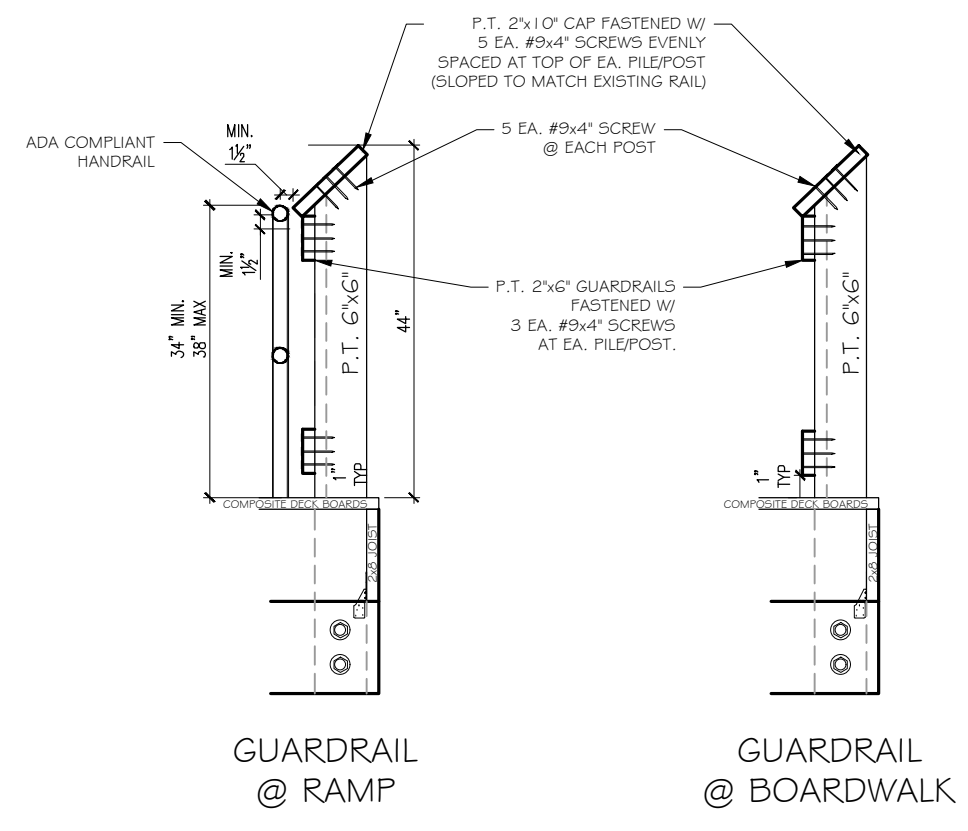
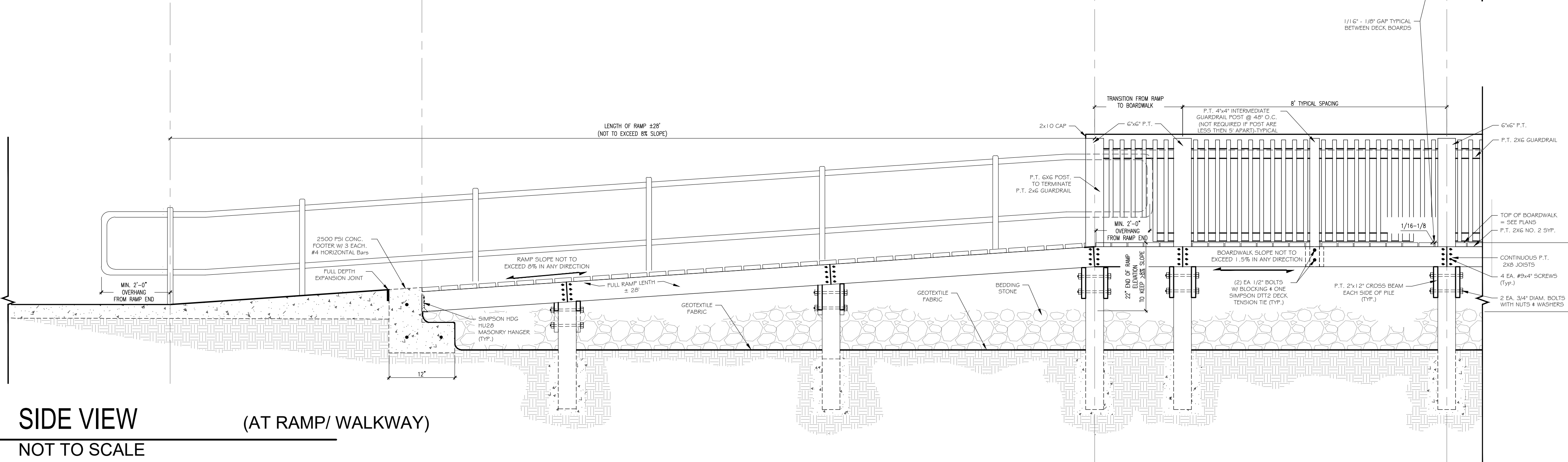
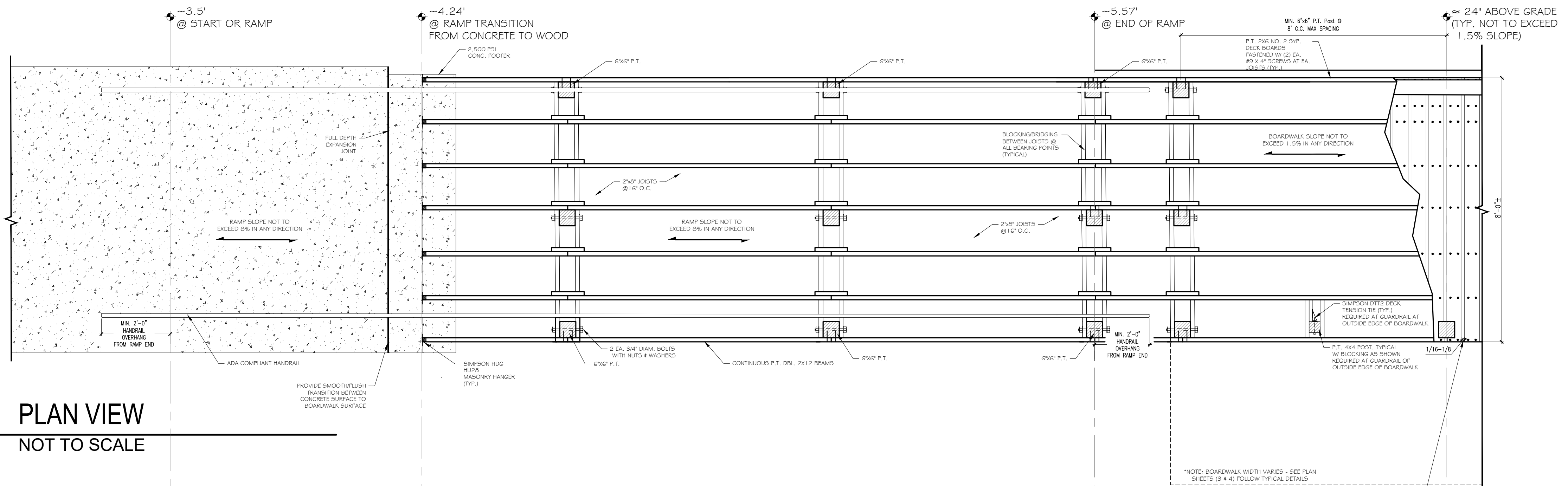
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### GENERAL NOTES:

- STRUCTURAL DESIGN FOR PROPOSED WALKWAY IN ACCORDANCE WITH 2020 FLORIDA BUILDING CODE, SEVENTH EDITION, CHAPTER 16.
  - DESIGN LOADING: LIVE LOADS: 100 PSF // DEAD LOADS: 20 PSF
- ALL LUMBER USED FOR THIS WORK SHALL BE PRESSURE TREATED TO AWPA USE CATEGORY SYSTEM 4C (UC4C) STANDARDS OR BETTER AND SHALL BE MINIMUM NO. 2 GRADE SOUTHERN YELLOW PINE OR BETTER.
- ALL FASTENERS USED SHALL BE 316 STAINLESS STEEL OR HOT DIPPED GALVANIZED (HDG). THIS INCLUDES ANY NAILS, BOLTS, SCREWS, HANGERS, CLIPS, ETC., UNLESS OTHERWISE NOTED, OR APPROVED.
- THE LONGITUDINAL SLOPE FOR THIS PROPOSED WALKWAY SHALL NOT EXCEED +/- 1.5%. THE CROSS SLOPE OF THE WALKWAY SHALL NOT EXCEED 1.0%.
- INSTALL ALL CONNECTORS SPECIFIED IN STRICT ACCORDANCE WITH THE MFG'S SPECIFICATIONS AND INSTRUCTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING IMPROVEMENTS IN THE VICINITY OF THE BOARDWALK INSTALLATION AREA. IF IMPROVEMENTS EXIST THAT ARE DETERMINED TO PRESENT A PROBLEM FOR THE REQUIRED INSTALLATION, CONTACT ENGINEER.
- INSTALL POSTS PLUMB, STRAIGHT, AND TRUE WITHIN STANDARD TOLERANCE FOR THIS TYPE OF WORK. COORDINATE WITH THE CITY ON THE EXACT LOCATIONS AND LAYOUT DIMENSIONS PRIOR TO INSTALLATION.

### BOARDWALK CONSTRUCTION NOTES AND SPECIFICATIONS:

- THE DETAILS SHOWN IN THESE PLANS ARE TYPICAL AND SHALL BE FOLLOWED FOR THE COMPLETE BOARDWALK CONSTRUCTION.
- THE INTENT IS FOR THE PARKING LOT SIDE OF THE BOARDWALK TO BE AT AN ELEVATION OF LESS THAN 30 INCHES ABOVE FINISHED GRADE AT ALL LOCATIONS FOR THE ENTIRE LENGTH OF THE BOARDWALK. A FEW SMALL LOCATIONS MAY REQUIRE A MINOR AMOUNT OF FILL TO ACCOMPLISH THIS. MEETING THIS REQUIREMENT WILL ELIMINATE THE NEED FOR THE GUARDRAIL ON THIS SIDE OF THE BOARDWALK.
- THE "CURB" OR "KICKBOARD" AS SHOWN ON THE DETAIL SHALL BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE BOARDWALK WHERE THE GUARDRAIL IS NOT LOCATED.
- THE GUARDRAIL SHALL BE INSTALLED PER THE DETAILS FOR THE ENTIRE LENGTH OF THE BOARDWALK ALONG THE WATER SIDE.
- PROVIDE 6" X 6" POSTS AS SHOWN AT A LONGITUDINAL SPACING NOT TO EXCEED 8 FEET. THE PERPENDICULAR SPACING OF THE 6" X 6" POST SPACING SHALL NOT EXCEED 5 FEET.
- THE 2" X 8" JOISTS SHALL BE INSTALLED AT 16" O.C. (MAX) AND SHALL NOT EXCEED A SPAN OF 8 FEET. BLOCKING SHALL BE INSTALLED BETWEEN THE JOISTS AT ALL BEARING POINTS. ALL JOISTS SHALL BE ATTACHED TO THE CROSS BEAM WITH A MINIMUM H2.5A CLIP.
- THE 2" X 12" CROSS-BEAMS SHALL NOT SPAN MORE THAN 5 FEET WITHOUT A POST SUPPORT.
- IN AREAS WHERE THE BOARDWALK IS CLOSER TO THE WATER, THE 2" X 12" CROSS BEAMS MAY BE CANTILEVERED OUT UP TO 18 INCHES BEYOND THE POST. THIS OPTION MAY BE USED TO ALLOW THE POST INSTALLATION TO BE LOCATED FURTHER FROM THE WATERS EDGE WHERE THIS CONDITION OCCURS. THE INTERMEDIATE 4" X 4" GUARDRAIL POSTS WITH THE SIMPSON DTT2 DECK TENSION TIE SHALL BE INSTALLED AT 4 FEET O.C.
- THE BOARDWALK SURFACE BOARDS SHALL BE TREX 5/4" X 6" COMPOSITE DECK BOARDS. COLOR SHALL BE BEACH DUNE ENHANCED.
- ALL 6" X 6" POSTS SHALL BE EMBEDDED A MINIMUM DEPTH OF 30" AND SET WITH A MINIMUM OF 2 EACH 50 POUND BAGS OF QUIKRETE FAST SETTING CONCRETE MIX (PRODUCT NO. 1004-50). APPROXIMATE DIAMETER OF DUG OR BORED HOLE FOR POSTS SHALL BE 10 - 12 INCHES.
- THE APPARENT "RADIUS" OF THE BOARDWALK AS SHOWN ON PLAN VIEWS SHALL BE FORMED WITH APPROXIMATELY 8-FOOT-LONG STRAIGHT SEGMENTS.
- INSTALL GUARDRAIL 2" X 2" PICKETS AS SHOWN - SPACE BETWEEN PICKETS SHALL BE LESS THAN 4 INCHES. USE TWO SCREWS AT TOP AND BOTTOM.



(FOR SECTIONS 5'-0" OR SECTIONS LARGER THAN 8'-0")

**ENLARGED GUARDRAIL**  
NOT TO SCALE

**POST EMBEDMENT DETAIL**  
NOT TO SCALE

**SECTION VIEW**  
NOT TO SCALE

**PLAN VIEW**  
NOT TO SCALE