



Jones County Board of Commissioners
P.O. Box 1359
Gray, GA 31032
(478) 986-6405

Jason Rizner
County Administrator
(478) 986-8219
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jason.rizner@jonescountyga.org

REQUEST FOR PROPOSALS

Construction Manager at Risk (CMAR)

**Services for the Jones County Jail Additions
and Renovations**

Issue Date: Wednesday, March 13, 2019

JONES COUNTY BOARD OF COMMISSIONERS
166 INDUSTRIAL BLVD./P.O. BOX 1359
GRAY, GA 31032
PHONE: (478) 986-6405 X 119
ATTN: JASON RIZNER, COUNTY ADMINISTRATOR

jason.rizner@jonescountyga.org

BIDS WILL BE RECEIVED UNTIL APRIL 3, 2019 AT 3:00 P.M.

PROPOSALS ARE TO BE SEALED AND MAILED VIA USPS, FEDEX OR UPS TO THE ABOVE ADDRESS OR HAND DELIVERED TO THE COUNTY ADMINISTRATOR'S OFFICE LOCATED IN THE JONES COUNTY GOVERNMENT CENTER AT 166 INDUSTRIAL BLVD., GRAY, GA 31032. ENVELOPES SHOULD BE MARKED WITH "RFP - CONSTRUCTION MANAGER AT RISK SERVICES".



**Request for Proposals (RFP)
For Construction Manager at Risk (CMAR) Services
for the
Jones County Jail Additions and Renovations**

The Jones County Board of Commissioners (the County) requests Proposals from Construction Management at Risk (CMAR) firms for the construction of additions and renovations to the existing Jones County Jail and Sheriff's Office. Upon completion of a review of proposals received, the County anticipates awarding a contract for pre-construction services, and, at the County's discretion, a subsequent contract for construction of the new facility.

Purpose:

The County requires additions and renovations to the existing Jones County Jail and Sheriff's Office located in Gray, Georgia and is considering the services of a Construction Manager at Risk (CMAR) firm to manage the construction, provide technical review during the pre-construction period, and provide cost evaluation assistance to the architectural team. The CMAR will assume responsibility for project construction cost by issuing a guaranteed maximum price (GMP). The GMP will be a contractual obligation. The CMAR will also develop an overall final project schedule, which will be a contractual obligation. In addition, the CMAR will be responsible for methods of construction, safety, and the scheduling and coordination of the work of all construction and miscellaneous contracts required for completion of the project within its established budget and schedule.

The CMAR will be expected to work closely with the Architect, Precision Planning, Inc., to develop final documents and separate bid packages if required.

Project Objectives:

The CMAR will be responsible for pricing, value engineering, and maintainability and constructability issues. When the design documents for the project have been developed in sufficient detail, the CMAR, with the support and assistance of the Architect, will commit to a Guaranteed Maximum Price (GMP) for all construction and site development. If the County requests multiple bid packages, construction will commence with the issuance of the first bid package while remaining bid packages are being finalized. The CMAR shall competitively select construction subcontracts and other work appropriate for competitive selection using cost and other factors. The successful CMAR may perform work with his own forces, but shall not be eligible to enter into contract or subcontract for any of the construction or other services of any nature on the project without the specific approval of the County.

In selecting a firm, the County will place emphasis on experience of the firm and assigned personnel in CMAR contracts for detention/correctional facilities. Emphasis will also be placed on firms having depth, knowledge, and resources in principles of contracting, scheduling, contract coordination and compliance, budget control, familiarity with State and local laws, ordinances and codes as demonstrated by prior experience, and strategies for encouraged participation by local companies and laborers.

Proposal Process:

All written Proposals shall utilize the attached forms, and three (3) hard copies and one (1) electronic copy shall be submitted to the County in a sealed envelope. The County will not accept any submittal by facsimile, electronic submission or any other method other than required by this RFP.



Receipt of all Addenda to this RFP, if any, must be acknowledged on the proposal form. All Addenda shall become part of the requirements of this RFP. Failure to acknowledge receipt of an Addendum may result in rejection of the Proposal. Any cost incurred by respondents in preparing or submitting Proposals for the project shall be the respondents' sole responsibility. It shall be the respondents' responsibility to ensure delivery of the Proposal to the receptionist's desk at the designated office by the designated time. Late Proposals will not be opened and may be returned or destroyed.

Deliver Proposals in Sealed Envelopes to the attention of:

Jason Rizner
County Administrator
166 Industrial Boulevard
Gray, Georgia 31032

Proposals are due no later than April 3rd, 2019 at 3:00pm. Late submittals will not be accepted.

Firms are not allowed to communicate with any County staff or elected officials regarding this procurement. Any unauthorized contact shall disqualify the firm from further consideration.

All questions regarding this project should be directed to Liz Hudson, AIA by e-mail at lizhudson@ppi.us. All responses, inquiries, or correspondence relating to this RFP will become the property of the County when received and shall be regarded as public record. All information received in response to this RFP, including copyrighted material, is deemed public information and will be made available for public viewing and copying after the time for receipt of proposals has passed, and the award has been made, with the following four exceptions: (1) bona fide trade secrets meeting confidentiality requirements that have been properly marked, separated, and documented; (2) matters involving individual safety as determined by the County; (3) any company financial information requested by the County to determine vendor responsibility, unless prior written consent has been given by the offeror; and (4) other constitutional protections.

The County reserves the right to:

1. Refuse any or all submittals received.
2. Cancel or modify this RFP at any time.
3. Reject any and all submittals or responses at any time.
4. Request further documentation or information, and to discuss an RFP submittal for any purpose in order to answer questions or to provide clarification.

Qualification and Submittal Requirements:

1. Letter of Interest – A letter executed by a principal of the firm committing to the requirements specified in this Request.
2. Experience – Provide the year of the company's incorporation, and provide documentation of successful completion of construction of at least three (3) new or renovated detention/correctional projects completed in the last ten (10) years similar to the Project under this RFP. The total cost should be at least three million (\$3,000,000) per project. Please note projects which were delivered as CMAR and project which were



contracted directly with a local government entity. Client references for each project must be included with confirmed email and phone numbers.

3. Project Team – Provide an organizational chart outlining the proposed staff, including superintendent, project manager, project director, cost estimator, project executive, etc., and provide resumes highlighting relevant detention/correctional and secure facility experience.
4. Proposed Preconstruction and Project Management Plan – Provide a summary of preconstruction activities, which staff are committed to each phase of the process, quality control programs, approach to bonding subcontractors, approach to encouraging local participation, and anticipated schedule for construction for the proposed project. Also demonstrate an understanding of special systems and required detention equipment that make this project unique.
5. Financial – Provide financial information including taxes, insurance and benefits, as well as the company's latest financial statement (audited if available). Provide Bonding Agent/Surety Company "good guy letter" and document bonding capacity (performance and payment).
6. Lawsuits – List any pending or settled lawsuits or professional liability claims in which any member of the company was involved during the past ten (10) years.
7. Receipt acknowledgement of all Addenda to this RFQ (if any).
8. Completed Proposal Form, with Exhibit "A."



Jones County Jail Additions and Renovations (The Project) Proposal Form:

Proposing Firm: _____

Signature: _____

Name: _____

Title: _____

Date: _____

CMAR Fees: Amount established by and agreed to by both parties, which is the full amount of compensation due to the CMAR as gross profit and for any and all expenses of the Project not included and identified as the Cost of the Work, provided that the CMAR performs all requirements of the Contract Documents within the time limits established.

A. Pre-Construction Fee: \$ _____ (lump sum)

B. General Conditions: \$ _____ (lump sum –see attached Exhibit “A”)

C. Construction Fee: _____ % (percent of Guaranteed Maximum Price)

Addendum Acknowledgement

Number	Date	Number	Date
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_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

NOTARY

Notary#: _____

Name: _____

Expiration: _____

Signature: _____

Seal

Attachment:

Exhibit A – Jones County Jail Additions and Renovations (The Project) Maximum Allowable General Conditions



EXHIBIT A

Jones County Jail Additions and Renovations (The Project) Maximum Allowable General Conditions

ITEM	DURATION	UNIT COST	TOTAL COST
Project Director		\$	\$
Superintendent		\$	\$
Assistant Superintendent		\$	\$
Senior Project Manager		\$	\$
Project Manager/Project Engineer		\$	\$
Field Engineering		\$	\$
MEP/BIM Coordination		\$	\$
In-House Accounting		\$	\$
On Site Safety Engineer		\$	\$
Safety Materials Program		\$	\$
Field Office Rental, Setup and Removal		\$	\$
Storage Trailer Rental		\$	\$
Temporary Toilets		\$	\$
Job Signs	LUMP SUM	\$	\$
Copier, Fax Machine		\$	\$
Telephone and Internet Costs and Setup		\$	\$
Ice, Cups, Water		\$	\$
Office Supplies		\$	\$
Office Furniture	LUMP SUM	\$	\$
Jobsite Computers and Technology	LUMP SUM	\$	\$
Postage and Couriers		\$	\$
Progress Photographs		\$	\$
Final Photographs	LUMP SUM	\$	\$
Plan Printing and Copying	LUMP SUM	\$	\$
Cellphones and Radios		\$	\$
Supervision Vehicles		\$	\$
Project Management Vehicles and Travel		\$	\$
Gas, Oil and Maintenance		\$	\$
Builder's Risk Insurance	LUMP SUM (based on \$3M)	\$	\$
General Liability & Umbrella Insurance	LUMP SUM (based on \$3M)	\$	\$
Payment and Performance Bond	LUMP SUM (based on \$3M)	\$	\$

Total General Conditions Cost: \$ _____

Note: No direct CMAR labor may be billed as Cost of Work without prior written approval by the County.



General Information:

- Refer to the attached progress Schematic Drawings as a reference point in compiling proposals.
- Preliminary Construction Budget: \$3,000,000
- Preliminary Construction Schedule: 10 months
- The CMAR will be responsible for developing the detailed schedule and coordinating activities to accomplish the scheduled completion of the project.

Owner (County)-Construction Manager at Risk Agreement:

The Construction Manager at Risk (CMAR) will be under contract to supply pre-construction services and subsequently, by change order, construction services (under the AIA A133 agreement) to complete the project and place the Owner in occupancy of the project in a “turnkey” fashion. The Owner has contracted with the Architect separately from the CMAR. Once a Guaranteed Maximum Price (GMP) is agreed upon between the Owner and the CMAR, the CMAR may be issued a change order for the amount of the GMP and will be “at risk” for project price, project schedule, and completion of all construction as set forth in the Contract Documents. The CMAR shall hold all trade contracts and trade supplier contracts.

Selection Process for Construction Management at Risk Firm:

- A. A Selection Committee comprised of Owner, User and Architect representatives will review all proposals received in accordance with the following criteria:
 - a. Successful experience in constructing similar facilities for public entities (30 pts.)
 - b. Successful experience with the CMAR process (15 pts.)
 - c. Qualifications of proposed project team (25 pts.)
 - d. Proposed approach, management plan and financial information (10 pts.)
 - e. Proposed fees (20 pts.)
- B. The Selection Committee reserves the right to interview any and all submitting firms (10 pts.)
- C. The Selection Committee will recommend that the County enter into contract negotiations with the highest ranked firm. If negotiations are not successful, the County will negotiate with the second-ranked proposer, and so on.

RFP Schedule:

Task	Date
Issue RFP	3-13-19
Proposals Due	4-3-19 at 3:00pm
Interview Firms	TBD
Negotiate Contract	TBD



Contractor Insurance Requirements

Contractor's Insurance Provisions: During the life of the contract and for such additional time as may be required, the contractor will provide, pay for, and maintain in full force and effect the insurance outlined here for coverage at not less than the prescribed minimum limits of liability, covering the contractor's activities, those of any and all subcontractors, or anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable.

Certificate of Insurance: Before starting work, the contractor will give the owner a certificate of insurance completed by a duly authorized representative of their insurer certifying that at least the minimum coverage required here are in effect and specifying that the liability coverage are written on an occurrence form and that the coverage will not be canceled, non-renewed, or materially changed by endorsement or through issuance of other policy(ies) of insurance without 60 days advance written notice to:

Jones County Board of Commissioners
P. O. Box 1359
Gray, Ga. 31032

Failure of the owner to demand such certificate or other evidence of full compliance with these insurance requirements or failure of the owner to identify a deficiency from evidence provided will not be construed as a waiver of the contractor's obligation to maintain such insurance.

The acceptance of delivery by the owner of any certificate of insurance evidencing the required coverage and limits does not constitute approval or agreement by the owner that the insurance requirements have been met or that the insurance policies shown in the certificates of insurance are in compliance with the requirements.

If the contractor fails to maintain the insurance as set forth here, the owner will have the right, but not the obligation, to purchase said insurance at the contractor's expense. Alternately, the contractor's failure to maintain the required insurance may result in termination of this contract at owner's option.

Insurance Primary: All coverage required of the contractor will be primary over any insurance or self-insurance program carried by the owner.

No Reduction or Limit of Obligation: By requiring insurance, the owner does not represent that coverage and limits will necessarily be adequate to protect the contractor. Insurance affected or procured by the contractor will not reduce or limit the contractor's contractual obligation to indemnify and defend the owner for claims or suits which result from or are connected with the performance of this contract.

Duration of Coverage: All required coverage will be maintained without interruption during the entire term of this contract and following final acceptance of the property by the owner.

Subcontractor's Insurance: The contractor will cause each sub-contractor employed by contractor to purchase and maintain insurance of the types specified below. When requested by the owner, the contractor will furnish copies of certificates of insurance evidencing coverage for each subcontractor.

Insurance Limits and Coverage: To the extent applicable, the amounts and types of insurance will conform to the minimum terms, conditions, and coverage of Insurance Service Office (ISO) policies, forms, and endorsements.



If the contractor has any self-insured retentions, or deductible under any of the following minimum required coverage, the contractor must identify on the certificate of insurance the nature and amount of such self-insured retentions or deductible and provide satisfactory evidence of financial responsibility for such obligations. All self-insured retentions or deductible will be the contractor's sole responsibility.

Commercial General Liability: The contractor will maintain commercial general liability insurance covering all operations by or on behalf of the contractor on an occurrence basis against claims for personal injury (including bodily injury and death) and property damage (including loss of use). Such insurance will have these minimum limits and coverage:

Minimum limits: \$1,000,000 each occurrence
 \$2,000,000 general aggregate with dedicated limits per project site
 \$2,000,000 products and completed operations aggregate

Worker's Compensation: Contractor's that have employees, sub-contractors, helpers, assistants, or individuals providing assistance on the contract work will maintain workers' compensation covering them during the term of this contract.

Minimum limits: Workers' compensation –Statutory Limit
 Employer's liability:

\$100,000 bodily injury for each accident
\$100,000 bodily injury by disease for each employee
\$500,000 bodily injury disease aggregate



Contractor Affidavit under O.C.G.A. § 13-10-91(b)(1)

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services on behalf of (Jones County) has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present an affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number

Date of Authorization

Name of Contractor

Name of Project

Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on _____, ____, 201__ in _____(city), _____(state).

Signature of Authorized Officer or Agent

Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME

ON THIS THE _____ DAY OF _____, 201__.

NOTARY PUBLIC

My Commission Expires:



Subcontractor Affidavit under O.C.G.A. § 13-10-91(b)(3)

By executing this affidavit, the undersigned subcontractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services under a contract with (_____ -name of contractor) on behalf of (Jones County) has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned subcontractor will continue to use the federal work authorization program throughout the contract period and the undersigned subcontractor will contract for the physical performance of services in satisfaction of such contract only with sub-subcontractors who present an affidavit to the subcontractor with the information required by O.C.G.A. § 13-10-91(b). Additionally, the undersigned subcontractor will forward notice of the receipt of an affidavit from a sub-subcontractor to the contractor within five business days of receipt. If the undersigned subcontractor receives notice of receipt of an affidavit from any sub-subcontractor that has contracted with a sub-subcontractor to forward, within five business days of receipt, a copy of such notice to the contractor. Subcontractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number

Date of Authorization

Name of Subcontractor

Name of Project

Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on _____, ___, 201__ in _____(city), _____(state).

Signature of Authorized Officer or Agent

Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME
ON THIS THE _____ DAY OF _____, 201__.

NOTARY PUBLIC

My Commission Expires:



Sub-subcontractor Affidavit under O.C.G.A. § 13-10-91(b)(4)

By executing this affidavit, the undersigned sub-subcontractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services under a contract for (_____ -name of subcontractor or sub-subcontractor with whom such sub-subcontractor has privity of contract)and (_____ name of contractor) on behalf of (Jones County) has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned sub-subcontractor will continue to use the federal work authorization program throughout the contract period and the undersigned sub-subcontractor will contract for the physical performance of services in satisfaction of such contract only with sub-subcontractors who present an affidavit to the sub-subcontractor with the information required by O.C.G.A. § 13-10-91(b). The undersigned sub-subcontractor shall submit, at the time of such contract, this affidavit to (name of subcontractor or sub-subcontractor with whom such sub-subcontractor has privity of contract). Additionally, the undersigned sub-subcontractor will forward notice of the receipt of any affidavit from a sub-subcontractor to (name of subcontractor or sub-subcontractor with whom such sub-subcontractor has privity of contract). Sub-subcontractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number

Date of Authorization

Name of Sub-subcontractor

Name of Project

Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on _____, ___, 201__ in _____(city), _____(state).

Signature of Authorized Officer or Agent

Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME
ON THIS THE _____ DAY OF _____, 201__.

NOTARY PUBLIC
My Commission Expires:



**Affidavit Verifying Status
County Public Benefit Application
Jones County Board of Commissioners**

By executing this affidavit under oath, as an applicant for a Jones County Georgia Business Occupation Tax Certificate, Alcohol License, Taxi Permit or other public benefit as referenced in O.C.G.A. Section 50-36-1, I am stating the following with respect to my application for a Jones County Business Occupation Tax Certificate, Alcohol License, Taxi Permit or other public benefit (circle one) for _____. [Name of natural person applying on behalf of individual, business, corporation, partnership, or other private entity]

1) _____ I am a United States citizen

OR

2) _____ I am a legal permanent resident 18 years of age or older or I am an otherwise qualified alien or non-immigrant under the Federal Immigration and Nationality Act 18 years of age or older and lawfully present in the United States.*

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of Code Section 16-10-20 of the Official Code of Georgia.

Signature of Applicant:

Date

Printed Name:

SUBSCRIBED AND SWORN

BEFORE ME ON THIS THE

*

____ DAY OF _____, 20__

Alien Registration number for non-citizens

Notary Public _____

My Commission Expires: _____

***Note:** O.C.G.A. § 50-36-1(e)(2) requires that aliens under the federal Immigration and Nationality Act, Title 8 U.S.C., as amended, provide their alien registration number. Because legal permanent residents are included in the federal definition of "alien", legal permanent residents must also provide their alien registration number. Qualified aliens that do not have an alien registration number may supply another identifying number below:



OPTIONAL — FOR NON-BIDDERS ONLY

**JONES COUNTY BOARD OF COMMISSIONERS – PURCHASING DEPARTMENT
NO BID STATEMENT**

In an effort to make the procurement of goods and services for the County as competitive as possible, we are soliciting information from contractors and/or vendors who cannot bid. Your responsiveness and constructive comments will be appreciated. Completion of this form will assist us in evaluating factors which relate to the competitiveness of our bids. Please check any of the boxes below which may apply. Please explain any issues that you feel needs to be addressed.

- Specifications - Restrictive, too light", unclear, specialty item, geared toward one (1) brand or manufacturer only. *(Please explain in detail below).*
- Manufacturing - Unique item, production time for model has expired, etc.
- Bid Time - Insufficient time to properly respond to bid or proposal.
- Delivery Time - Specified delivery time cannot be met.
- Payment - Payment terms unacceptable. *(Please be specific)*
- Bonding - We are unable to meet bonding requirements.
- Insurance - We are unable to meet insurance requirements.
- Removal - Remove our firm from your bidders list for the particular commodity or service.
- Keep - Please keep our company on your bidders list for future reference.
- Project is: ____/ Too Large ____ / Too Small ____ / Site or Location is Too Distant
- Miscellaneous - Do not wish to bid, do not handle this type of item(s) or services, unable to compete, Contract clauses are unacceptable, etc. *(Please be specific)*
- Our company would only be interested in this project as a subcontractor or supplier.

VENDOR STATEMENT:

Bid Description: _____

Company Name: _____

Company Official Name: _____

Company Official Signature: _____

Telephone Number: _____

Email Address: _____

**JONES COUNTY BOARD OF COMMISSIONERS – PURCHASING DEPARTMENT
(478) 986-6405 x 161
leslie.faulk@jonescountyga.org**

SCHEMATIC DESIGN PACKAGE FOR THE:

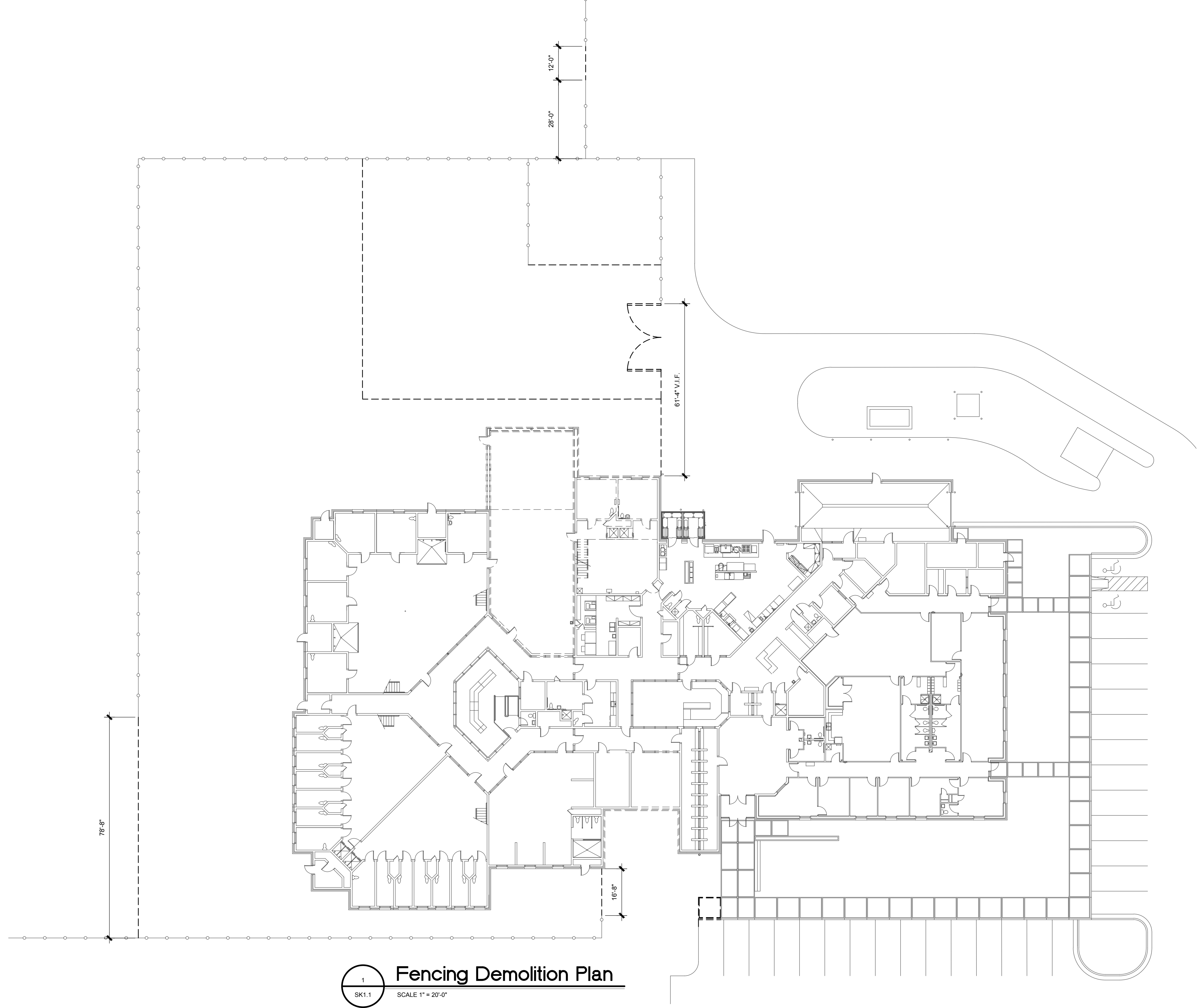
JONES COUNTY JAIL ADDITIONS AND RENOVATIONS

123 HOLMES HAWKINS DRIVE
GRAY, GA. 31032

Symbols legend	General Notes	Building Codes	Project Information																																				
<p>XX DRAWING TITLE</p> <p>xxx ROOM NAME & NUMBER</p> <p>AX.X ENLARGED PLAN DETAIL</p> <p>AX.X DETAIL REFERENCE</p> <p>A5.2 SECTION REFERENCE</p> <p>A5.2 EXTERIOR ELEVATION</p> <p>A5.2 INTERIOR ELEVATION</p> <p>E1 EXTERIOR FINISH TYPE</p> <p>PX PARTITION TYPE</p> <p>101A DOOR REFERENCE</p> <p>6'-0" DIMENSION LINE TO FACE OF STUD OR MASONRY</p> <p>6'-0" DIMENSION LINE TO COLUMN CENTER LINE</p> <p>6'-0" DIMENSION LINE TO FINISH ASSEMBLIES</p> <p>N COLUMN REFERENCE</p> <p>PROPERTY LINE</p> <p>ELEVATION LINE</p> <p>BREAK LINE</p> <p>1 REVISION NUMBER</p> <p>A PLAN KEYNOTES</p> <p>MATCH LINE</p> <p>A WINDOW REFERENCE</p>	<ol style="list-style-type: none"> DO NOT SCALE DRAWINGS. USE ALL WRITTEN DIMENSIONS ONLY. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. ALL BIDDING CONTRACTORS SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID. BIDDERS SHALL BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND WILL BE REQUIRED TO ASSESS EXISTING ITEMS TO BE RELOCATED. BIDDERS SHALL CONSIDER ANY REQUIRED DEMOLITION OR REWORK OF EXISTING BUILDING (M., P., & E. INCLUDED) AND REPAIR OF EXISTING FINISHES REGARDLESS OF INDICATION IN THE CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN DEVELOPED FROM PORTIONS OF THE ORIGINAL CONTRACT DOCUMENTS, OWNER INPUT, AND SITE VISITS. THE CONTRACTOR SHALL VERIFY THAT THESE DRAWINGS CORRESPOND TO EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS THAT CANNOT BE PERFORMED IN ACCORDANCE WITH THE DOCUMENTS DUE TO EXISTING FIELD CONDITIONS. ALL WORK SHALL BE IN COMPLIANCE WITH THE BUILDING CODES, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, AND ALL MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS AND STATE AND LOCAL CODES, UNLESS WRITTEN NOTIFICATION IS RECEIVED FROM THE ARCHITECT. IN ADDITION TO THE INTERNATIONAL CODES LISTED ON THESE DRAWINGS THE FOLLOWING CODES SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT. THE CURRENT EDITION OF THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHAL, OCGA TITLES 25 AND 30 AND CHAPTER 120 OF FIRE COMMISSIONER'S RULES AND REGULATIONS. THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. CARE SHALL BE TAKEN TO PROTECT ALL UTILITIES WHICH ARE TO REMAIN. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY CONSTRUCTION AND ALL STAGING, SCHEDULING, MATERIAL DELIVERIES AND OTHER ITEMS THAT AFFECT THE SEQUENCE OF CONSTRUCTION OR SCHEDULING THE CONSTRUCTION PROJECT. TEMPORARY ENCLOSURES (DUST BARRIERS) SHALL BE USED BETWEEN PRIVING AREAS AND WHERE REQUIRED. THEY SHALL BE TAKEN TO CONSTRUCTED OF HEAVY DUTY PLASTIC WITH TAPED EDGES SO THAT AREA UNDER CONSTRUCTION IS SEALED. THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD. THE GENERAL CONTRACTOR SHALL VERIFY ALL CLEARANCES, DIMENSIONS AND SIZES PRIOR TO ORDERING OR PURCHASING ASSEMBLIES OR FIXTURES FOR CONSTRUCTION. THE BUILDING AND SITE SHALL BE KEPT IN A CLEAN AND ORDERLY MANNER AT ALL TIMES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF DEBRIS IN A CONSISTENT AND LEGAL MANNER. INSULATING MATERIALS OF ANY TYPE SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 AS DETERMINED IN ACCORDANCE WITH ASTM E84. COORDINATE LOCATION OF PLUMBING AND ELECTRICAL EQUIPMENT IN THE FIELD. IN THE EVENT THE OWNER, THE OWNER'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHICH THE OWNER IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO THE CONSTRUCTION DOCUMENTS PREPARED BY PRECISION PLANNING, INC. RELATING TO THIS PROJECT WITHOUT OBTAINING PRECISION PLANNING, INC.'S PRIOR WRITTEN CONSENT, THE OWNER SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE OWNER AGREES TO WAIVE ANY CLAIM AGAINST PRECISION PLANNING, INC. FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH CHANGES. THIS BUILDING SHALL BE A NON-SMOKING FACILITY. SMOKING IS PROHIBITED IN ALL ENCLOSED PUBLIC PLACES AND IN ALL ENCLOSED AREAS WITHIN PLACES OF EMPLOYMENT. ALL MATERIALS USED FOR CONSTRUCTION SHALL BE NEW, UNLESS OTHERWISE NOTED IN THE DOCUMENTS. SALVAGED ITEMS IN GOOD CONDITION MAY BE SUBSTITUTED ONLY AFTER APPROVAL BY THE OWNER. APPROPRIATE CREDIT SHALL BE GIVEN TO THE OWNER. PROVIDE NEW WALL AND/OR CEILING EXPANSION JOINTS AS REQUIRED BY SPECIFICATIONS. EXISTING SHALL NOT BE REUSED. NEW JOINTS SHALL MATCH MATERIAL AND TYPE OF BUILDING STANDARD AND SHALL BE APPROVED BY THE OWNER. THE INTENT OF THIS RENOVATION IS TO MATCH THE LOOK AND FUNCTION OF THE EXISTING BUILDING (ARCHITECTURALLY, STRUCTURALLY, MECHANICALLY AND ELECTRICALLY). ALL NEW COMPONENTS ARE TO MATCH THE EXISTING BUILDING STANDARDS, UNLESS NOTED OTHERWISE. ALL WORK SHALL BE SCHEDULED IN A MANNER AND BE COORDINATED TO ENSURE OWNER'S CONTINUOUS USE OF THE BUILDING AND SITE. IF ANY SERVICES TO BUILDING REQUIRE INTERRUPTION FOR ANY REASON, PROPER NOTICE MUST BE GIVEN TO THE OWNER PRIOR TO SCHEDULING OF THIS WORK. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER WHICH CAUSES THE LEAST DAMAGE TO EACH TYPE OF WORK AND PROVIDE MEANS OF RETURNING SURFACES TO THE APPEARANCE OF NEW WORK. THIS BUILDING IS A FULLY OCCUPIED AND OPERATIONAL JAIL FACILITY HOUSING STAFF AND INMATES 24 HOURS A DAY. THIS BUILDING ALSO HOUSES THE 611 CALL CENTER. SCHEDULING THE WORK WILL HAVE TO COORDINATE WITH OWNER'S OPERATIONS. CONTRACTOR, SUBCONTRACTORS, VENDORS, SUPPLIERS AND ANYONE ASSOCIATED WITH THIS PROJECT SHALL NOT HAVE ANY COMMUNICATIONS/CONTACT WITH INMATES. SPECIAL MEASURES SHALL BE TAKEN TO MAINTAIN A SECURE SITE. 	<p>INTERNATIONAL BUILDING CODE (IBC): 2012 EDITION WITH 2014, 2015, 2017 & 2018 AMENDMENTS</p> <p>INTERNATIONAL PLUMBING CODE (IPC): 2012 EDITION WITH 2014 AND 2015 AMENDMENTS</p> <p>INTERNATIONAL MECHANICAL CODE (IMC): 2012 EDITION WITH 2014 AND 2015 AMENDMENTS</p> <p>INTERNATIONAL FUEL GAS (IFGC): 2012 EDITION WITH 2014 AND 2015 AMENDMENTS</p> <p>INTERNATIONAL ENERGY CONSERVATION CODE: 2009 EDITION WITH 2011 AND 2012 GEORGIA AMENDMENTS</p> <p>NATIONAL ELECTRICAL CODE (NECA): 2017 EDITION WITH NO GEORGIA AMENDMENTS</p> <p>FIRE CODES:</p> <p>INTERNATIONAL FIRE CODE (IFC): 2012 EDITION WITH 2014 AMENDMENTS</p> <p>NFPA 101 LIFE SAFETY CODE: 2012 EDITION</p> <p>US DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN: 2010 EDITION</p>	<p>PROJECT NAME: JONES COUNTY JAIL ADDITIONS AND RENOVATIONS</p> <p>PROJECT ADDRESS: 123 HOLMES HAWKINS DRIVE GRAY, GA. 31032</p> <p>OCCUPANCY GROUP: IBC - GROUP I-3 - INSTITUTIONAL CONDITION 4 NFPA 101 - CHAPTER 39 EXISTING BUSINESS OCCUPANCY NFPA 101 - CHAPTER 23 EXISTING DETENTION AND CORRECTIONS OCCUPANCY, USE CONDITION IV - IMPEDED EGRESS</p> <p>TYPE OF CONSTRUCTION: IIB NEW - IIB EXISTING</p> <p>SPRINKLERED OR UNSPRINKLERED: SPRINKLERED</p> <p>FIRE ALARM: YES</p> <p>TOTAL EXISTING BUILDING AREA: LOWER CONTROL = 690 S.F. MAIN LEVEL = 28,346 S.F. MEZZANINE LEVEL = 4,150 S.F.</p> <p>EXISTING BUILDING TOTAL AREA: 33,186 S.F.</p> <p>EXISTING BUILDING RATED INMATE CAPACITY: 115 TOTAL INMATES</p> <p>TOTAL RENOVATED EXISTING AREA: LOWER CONTROL = 0 S.F. MAIN LEVEL = 1,485 S.F. MEZZANINE LEVEL = 1,150 S.F.</p> <p>TOTAL ADDITIONAL ADDED AREA: LOWER CONTROL = 0 S.F. MAIN LEVEL = 4,338 S.F. MEZZANINE LEVEL = 3,304 S.F.</p> <p>TOTAL NEW BUILDING AREA: 40,828 S.F.</p> <p>NEW BUILDING RATED INMATE CAPACITY: 159 TOTAL INMATES</p> <p>EXISTING BUILDING HEIGHT: 24'-0"</p> <p>CALCULATED NEW OCCUPANT LOAD: XXXXX OCCUPANTS</p>																																				
		<h3>Project Directory</h3> <table border="0"> <tr> <td style="vertical-align: top;"> <p>OWNER: JONES COUNTY BOARD OF COMMISSIONERS 166 INDUSTRIAL BOULEVARD GRAY, GEORGIA 31032 PROJECT MANAGER: JASON RIZNER, COUNTY ADMINISTRATOR</p> <p>CIVIL ENGINEER AND ARCHITECT: PRECISION PLANNING, INC. 400 PIKE BOULEVARD LAWRENCEVILLE, GEORGIA 30046 (770) 338-8000 CIVIL ENGINEER OF RECORD DAVID LEONARD, P.E. ARCHITECT OF RECORD: LANCE DAVIS, AIA</p> <p>STRUCTURAL ENGINEER: STARZER BRADY FAGAN AND ASSOCIATES, INC. 2337 PERIMETER PARK DRIVE SUITE 215 ATLANTA, GEORGIA 30341 ENGINEER OF RECORD: ALAN BRADY, P.E.</p> <p>MECHANICAL PLUMBING AND ELECTRICAL ENGINEER: CORNERSTONE DESIGN SERVICES, LLC. 504 INDIAN TRAIL LILBURN, GEORGIA 30047 ENGINEER OF RECORD: WILLIAM F. BELL, P.E.</p> <p><small>NOTE: COMMUNICATIONS BY AND WITH THE ARCHITECT'S CONSULTANTS SHALL BE THROUGH THE ARCHITECT. COMMUNICATIONS BY AND WITH THE SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL BE THROUGH THE CONTRACTOR.</small></p> </td> <td></td> </tr> </table>	<p>OWNER: JONES COUNTY BOARD OF COMMISSIONERS 166 INDUSTRIAL BOULEVARD GRAY, GEORGIA 31032 PROJECT MANAGER: JASON RIZNER, COUNTY ADMINISTRATOR</p> <p>CIVIL ENGINEER AND ARCHITECT: PRECISION PLANNING, INC. 400 PIKE BOULEVARD LAWRENCEVILLE, GEORGIA 30046 (770) 338-8000 CIVIL ENGINEER OF RECORD DAVID LEONARD, P.E. ARCHITECT OF RECORD: LANCE DAVIS, AIA</p> <p>STRUCTURAL ENGINEER: STARZER BRADY FAGAN AND ASSOCIATES, INC. 2337 PERIMETER PARK DRIVE SUITE 215 ATLANTA, GEORGIA 30341 ENGINEER OF RECORD: ALAN BRADY, P.E.</p> <p>MECHANICAL PLUMBING AND ELECTRICAL ENGINEER: CORNERSTONE DESIGN SERVICES, LLC. 504 INDIAN TRAIL LILBURN, GEORGIA 30047 ENGINEER OF RECORD: WILLIAM F. BELL, P.E.</p> <p><small>NOTE: COMMUNICATIONS BY AND WITH THE ARCHITECT'S CONSULTANTS SHALL BE THROUGH THE ARCHITECT. COMMUNICATIONS BY AND WITH THE SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL BE THROUGH THE CONTRACTOR.</small></p>																																				
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			<h3>Drawing Index</h3> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>SHEET NUMBER</th> <th>SHEET NAME</th> <th>SHEET NUMBER</th> <th>SHEET NAME</th> </tr> </thead> <tbody> <tr> <td>CS</td> <td>COVER SHEET</td> <td>SK2.6</td> <td>MEZZANINE LEVEL DIMENSION PLAN</td> </tr> <tr> <td>SK1.1</td> <td>OVERALL DEMOLITION FENCING SITE PLAN</td> <td>SK2.7</td> <td>MAIN LEVEL FURNITURE PLAN</td> </tr> <tr> <td>SK1.2</td> <td>OVERALL NEW FENCING SITE PLAN</td> <td>SK2.8</td> <td>MEZZANINE LEVEL FURNITURE PLAN</td> </tr> <tr> <td>SK2.1</td> <td>MAIN LEVEL OVERALL PLAN</td> <td></td> <td></td> </tr> <tr> <td>SK2.2</td> <td>MEZZANINE LEVEL OVERALL PLAN</td> <td></td> <td></td> </tr> <tr> <td>SK2.3</td> <td>MAIN LEVEL DEMOLITION PLAN</td> <td></td> <td></td> </tr> <tr> <td>SK2.4</td> <td>MEZZANINE LEVEL DEMOLITION PLAN</td> <td></td> <td></td> </tr> <tr> <td>SK2.5</td> <td>MAIN LEVEL DIMENSION PLAN</td> <td></td> <td></td> </tr> </tbody> </table>	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	CS	COVER SHEET	SK2.6	MEZZANINE LEVEL DIMENSION PLAN	SK1.1	OVERALL DEMOLITION FENCING SITE PLAN	SK2.7	MAIN LEVEL FURNITURE PLAN	SK1.2	OVERALL NEW FENCING SITE PLAN	SK2.8	MEZZANINE LEVEL FURNITURE PLAN	SK2.1	MAIN LEVEL OVERALL PLAN			SK2.2	MEZZANINE LEVEL OVERALL PLAN			SK2.3	MAIN LEVEL DEMOLITION PLAN			SK2.4	MEZZANINE LEVEL DEMOLITION PLAN			SK2.5	MAIN LEVEL DIMENSION PLAN		
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JONES COUNTY JAIL ADDITIONS AND RENOVATIONS		123 HOLMES HAWKINS DRIVE GRAY, GA. 31032	
COVER SHEET	DESIGN	DRAWN	CHECKED
PPI	PPI	NEW	PPI
SHEET TITLE	RELEASE		
DATE: 02-12-19 NO. DESCRIPTION: 02/17/19 SCHEMATIC DESIGN PACKAGE	PROJ. NUMBER: A18-265 FILE NAME: 265-CS.dwg		
CS			



1
SK1.1
Fencing Demolition Plan
SCALE 1" = 20'-0"

NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION

SK1.1

DATE	NO.	DESCRIPTION
02/12/19	1	SCHEMATIC DESIGN PACKAGE

DESIGN		DRAWN		CHECKED	
PPI		WEW		PPI	

FENCING DEMOLITION PLAN

JONES COUNTY JAIL ADDITIONS AND RENOVATIONS

123 HOLMES HAWKINS DRIVE
GRAY, GA. 31032

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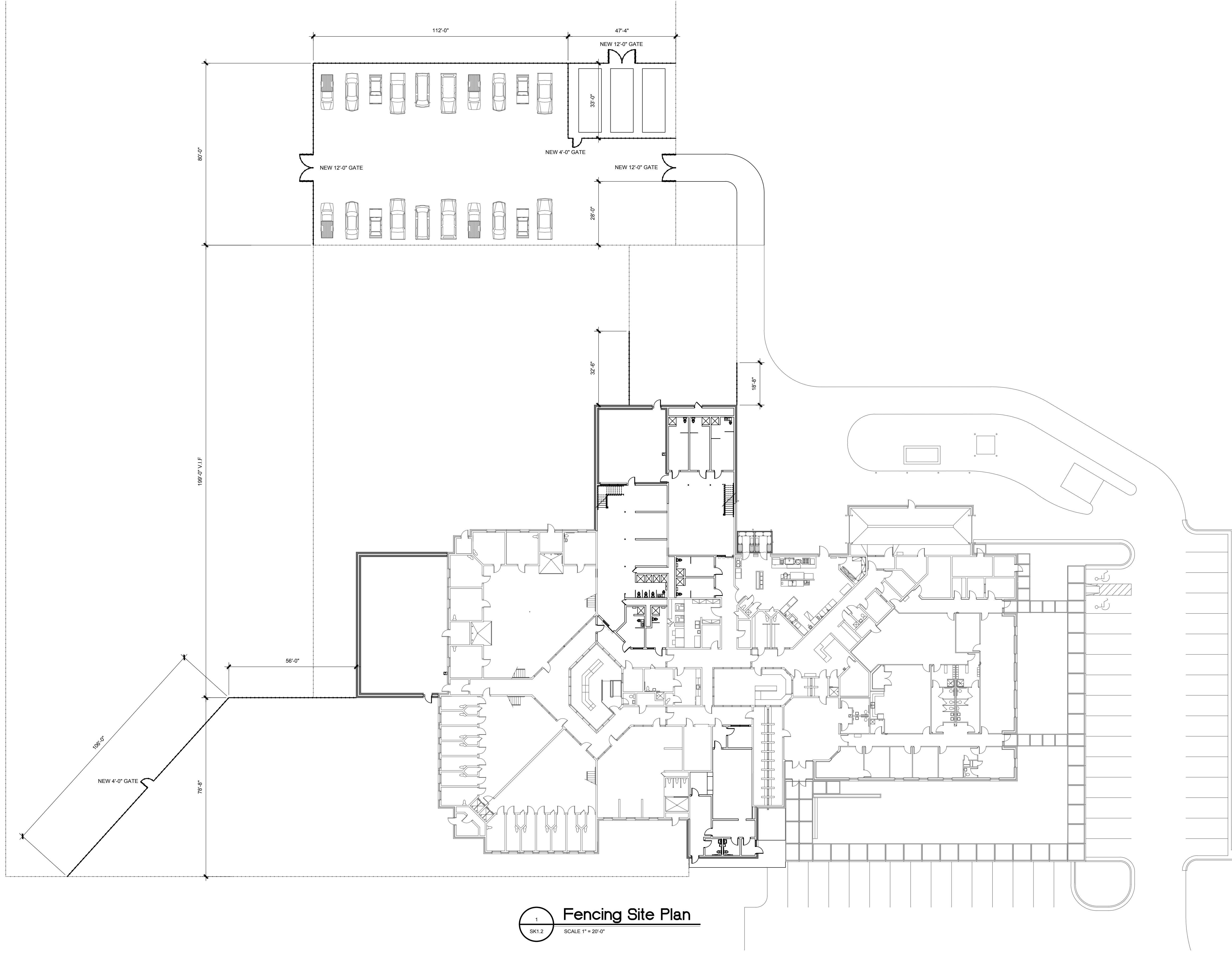
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1
SK1.2 Fencing Site Plan
SCALE 1" = 20'-0"

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SK1.2

DATE	NO. DESCRIPTION
02-12-19	1 SCHEMATIC DESIGN PACKAGE
07/17/19	

FENCING SITE PLAN	
DESIGN	PPI
DRAWN	WEW
CHECKED	PPI

**JONES COUNTY JAIL
ADDITIONS AND
RENOVATIONS**
123 HOLMES HAWKINS DRIVE
GRAY, GA. 31032

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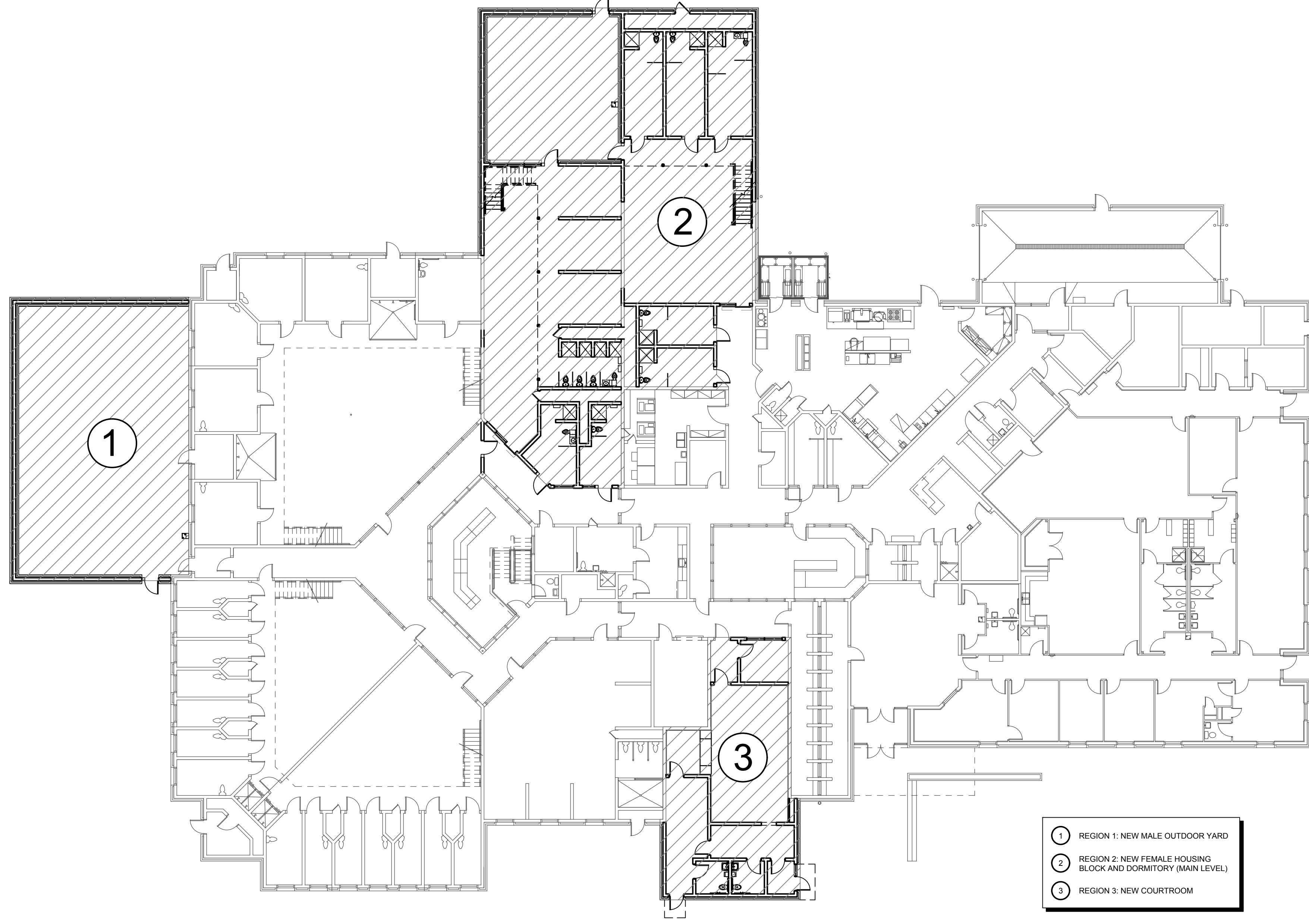
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PROJECT

SHEET TITLE

RELEASE

FILE NUMBER



1 Main Level Overall Floor Plan
 SK2.1 SCALE 1/16" = 1'-0"

- 1 REGION 1: NEW MALE OUTDOOR YARD
- 2 REGION 2: NEW FEMALE HOUSING BLOCK AND DORMITORY (MAIN LEVEL)
- 3 REGION 3: NEW COURTROOM

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SK2.1

DATE: 02-12-19
 PROJ. NUMBER: AB-265
 FILE NAME: 265-SK2.1.dwg
 FILE NUMBER:

DATE	NO.	DESCRIPTION
02/12/19		SCHEMATIC DESIGN PACKAGE

MAIN LEVEL OVERALL FLOOR PLAN	
DESIGN	PPI
DRAWN	WEW
CHECKED	PPI

JONES COUNTY JAIL ADDITIONS AND RENOVATIONS
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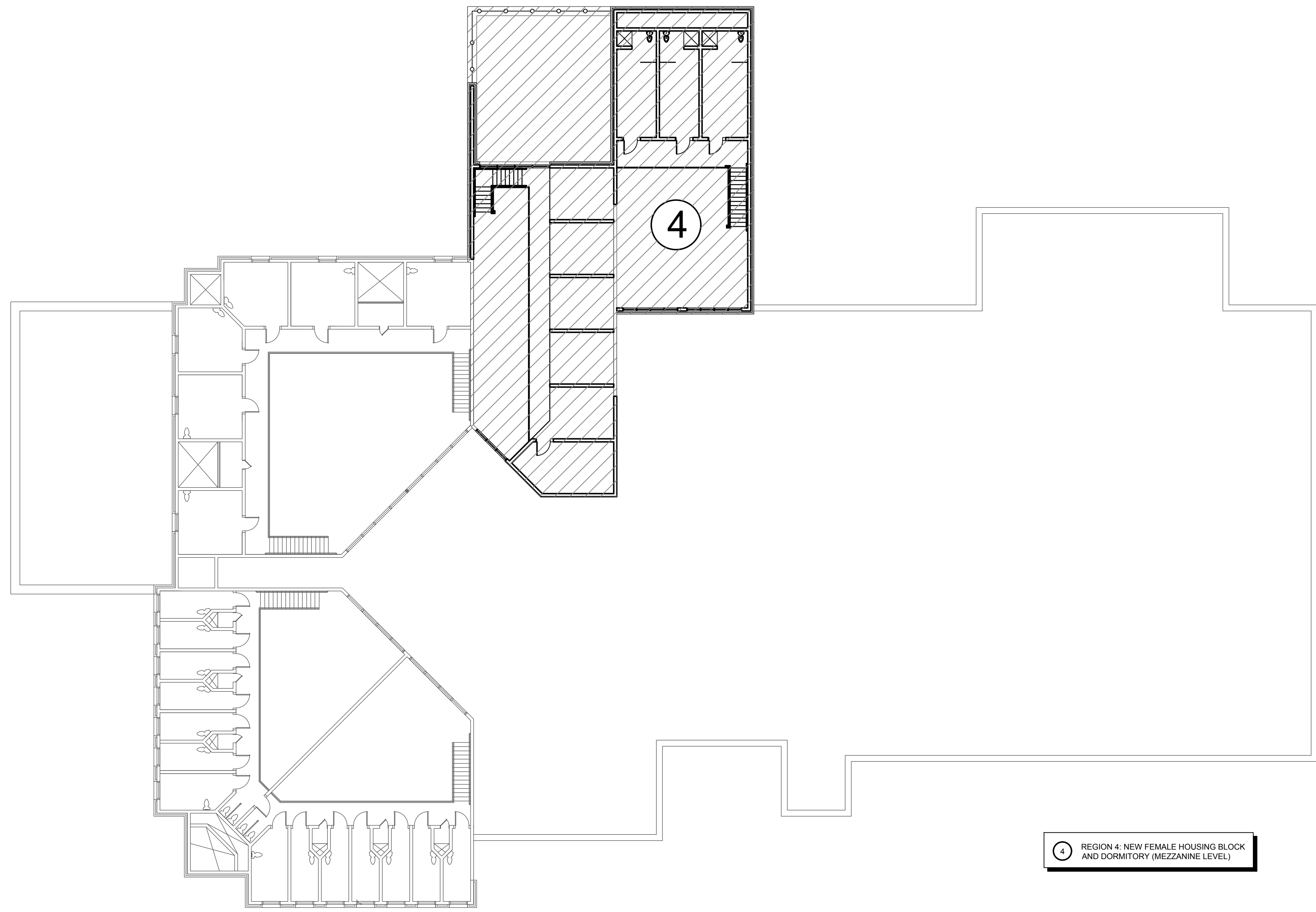
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PROJECT

SHEET TITLE

RELEASE



1 Mezzanine Level Overall Floor Plan
 SK2.2 SCALE 1/16" = 1'-0"

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SK2.2

DATE	NO.	DESCRIPTION
02/12/19		SCHEMATIC DESIGN PACKAGE

MEZZANINE LEVEL OVERALL FLOOR PLAN	
DESIGN	CHECKED
PPI	PPI
DRAWN	
WEW	

**JONES COUNTY JAIL
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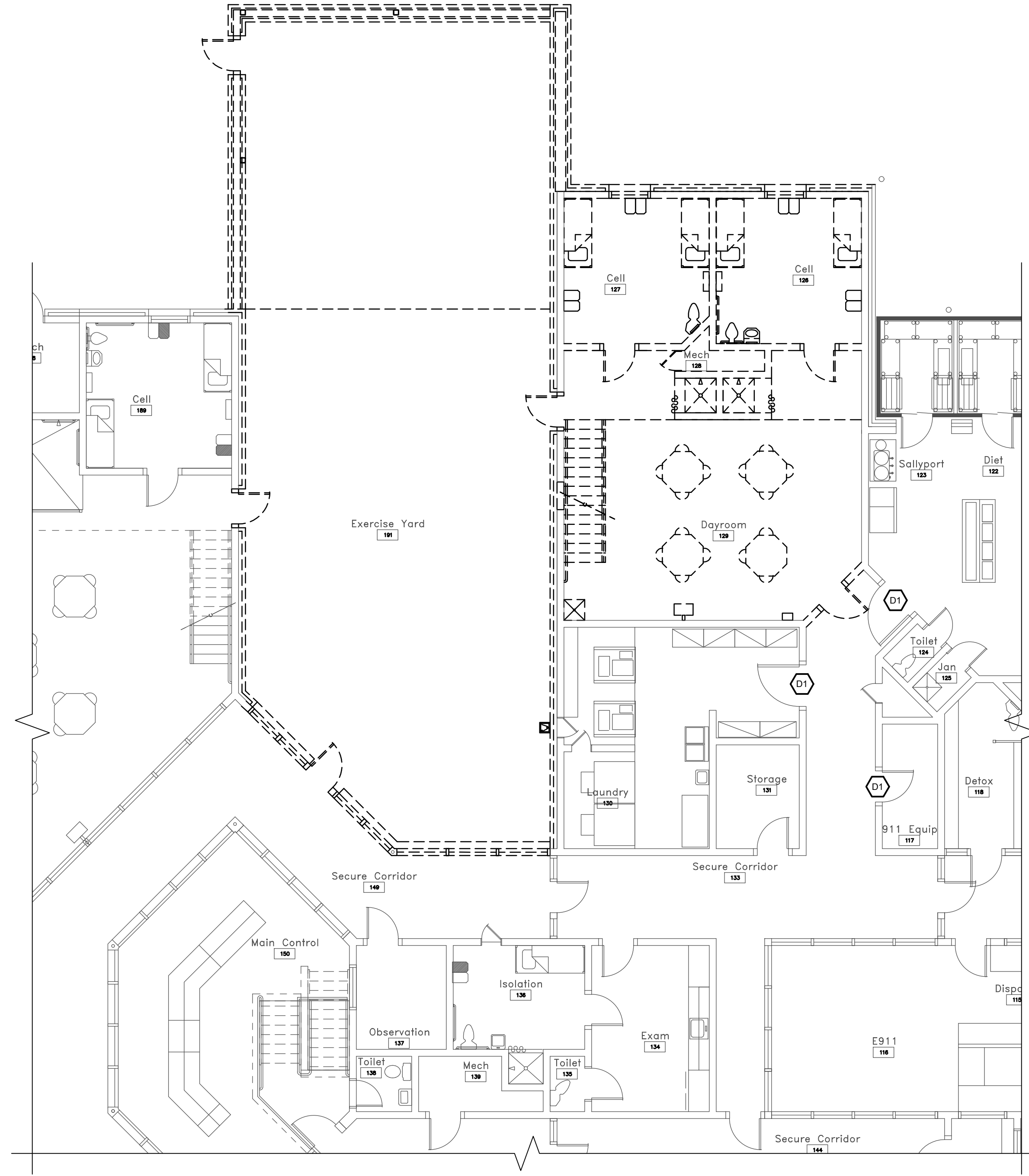
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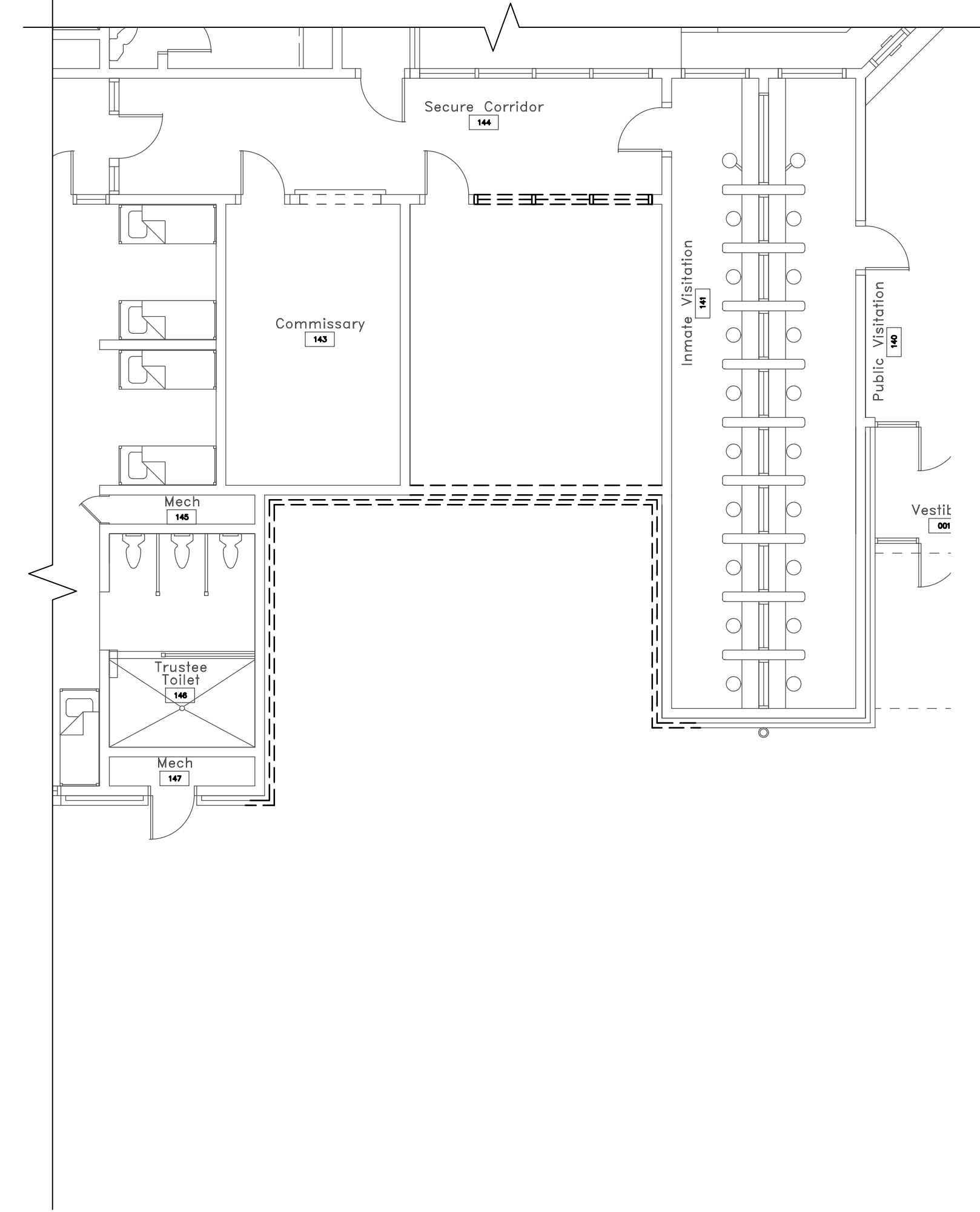
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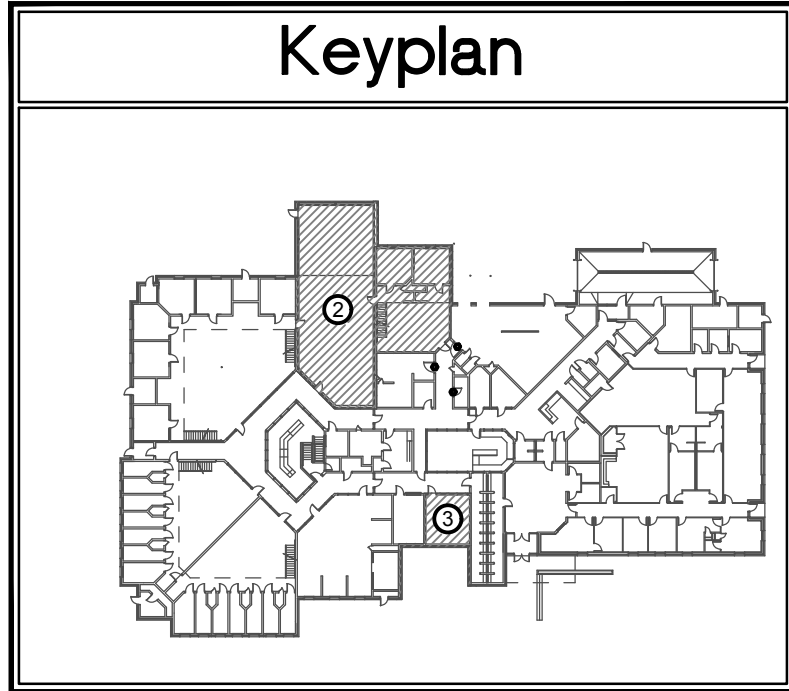
PROJECT



1
SK2.3
Region 2 - Demolition Plan
SCALE 1/8" = 1'-0"



2
SK2.3
Region 3 - Demolition Plan
SCALE 1/8" = 1'-0"



Demolition Key Notes

D1 CONTRACTOR SHALL ALLOW CONTINUOUS ACCESS TO KITCHEN DOOR, LAUNDRY ROOM DOOR, AND EQUIPMENT ROOM DOOR.

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JONES COUNTY JAIL ADDITIONS AND RENOVATIONS
 123 HOLMES HAWKINS DRIVE
 GRAY, GA. 31032

MAIN LEVEL DEMOLITION PLANS

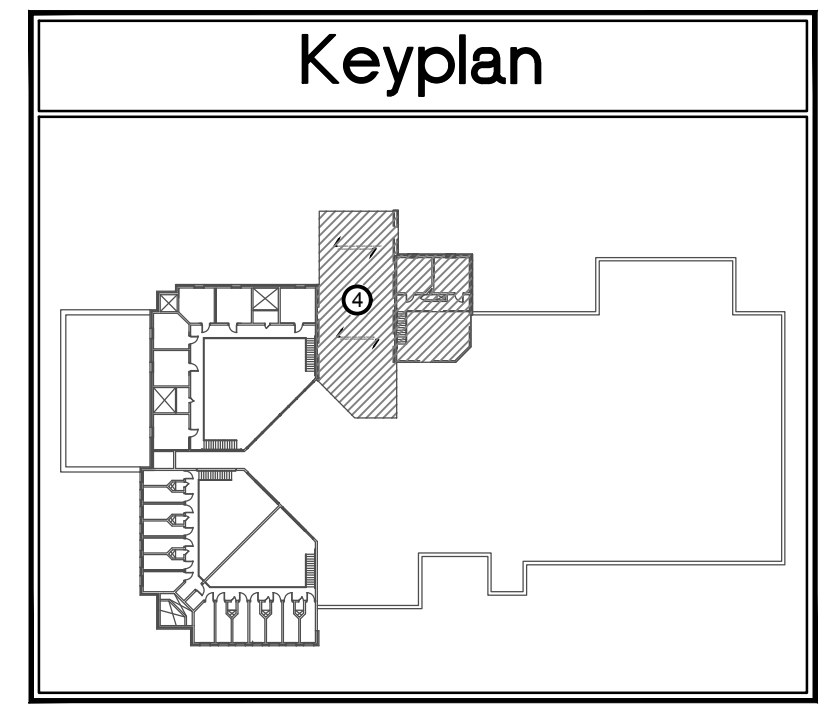
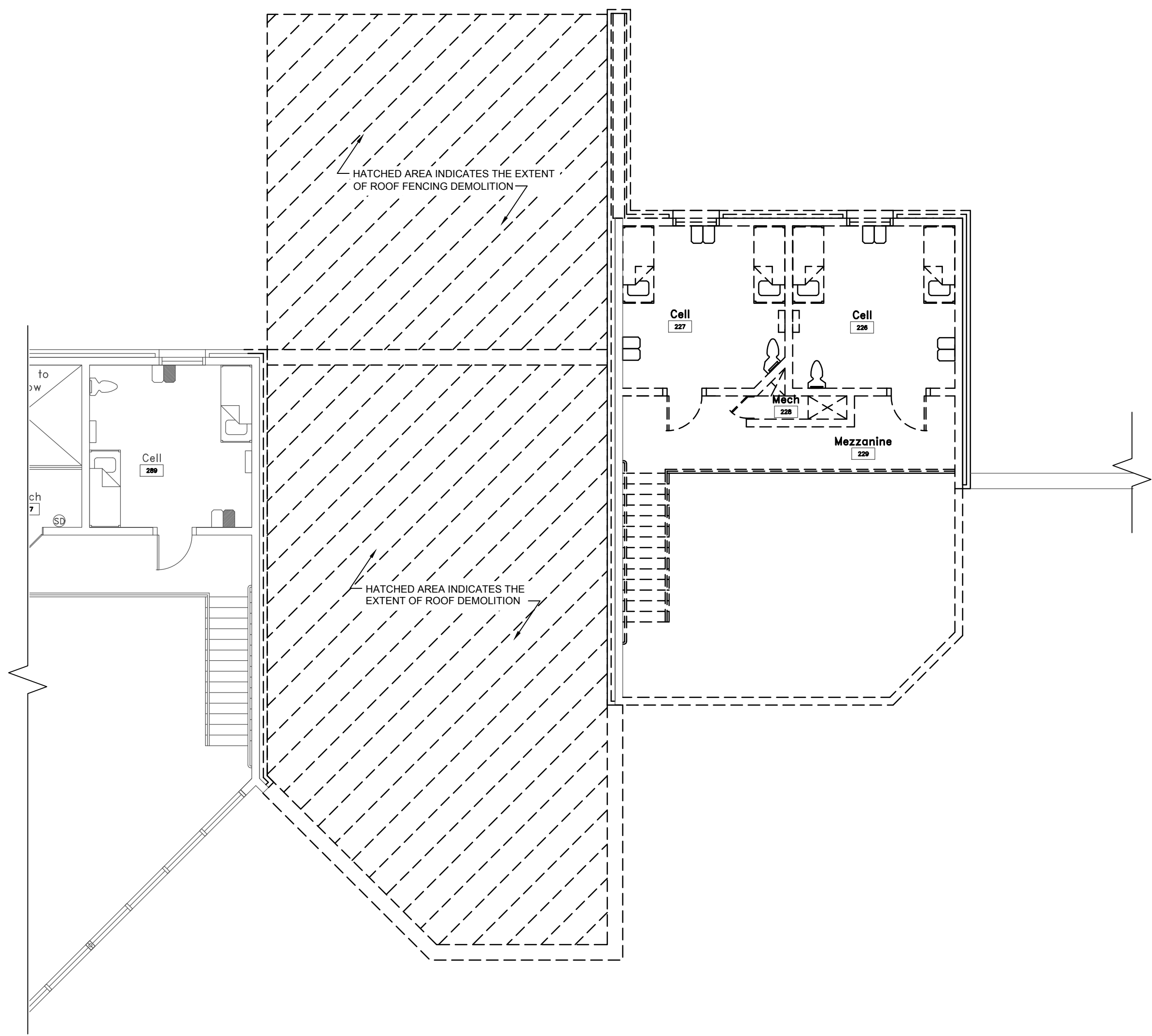
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02-12-19 DATE
 AIB-265 PROJ. NUMBER
 265-SK2.3.dwg FILE NAME
 FILE NUMBER

RELEASE SHEET TITLE PROJECT
 SK2.3

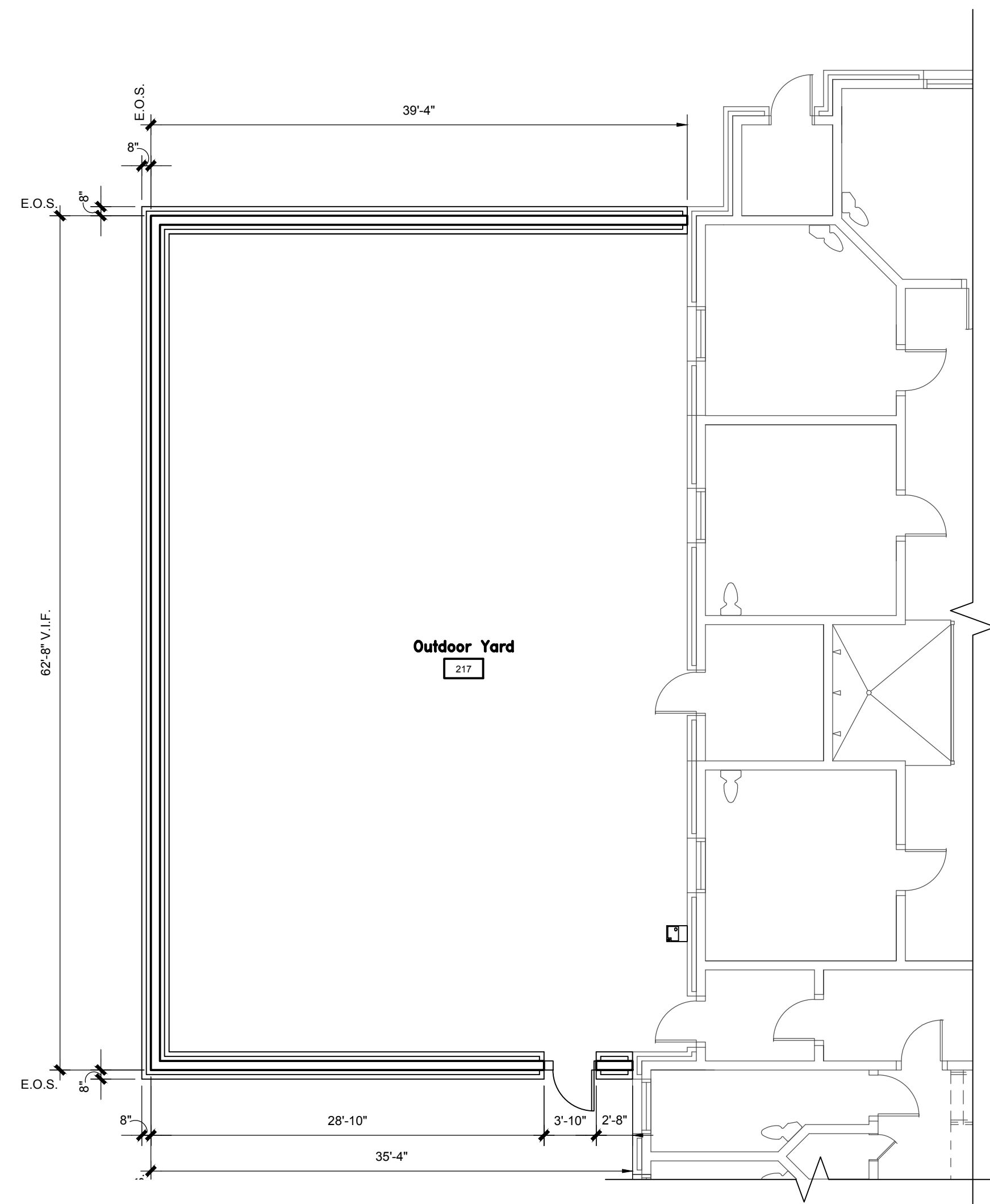
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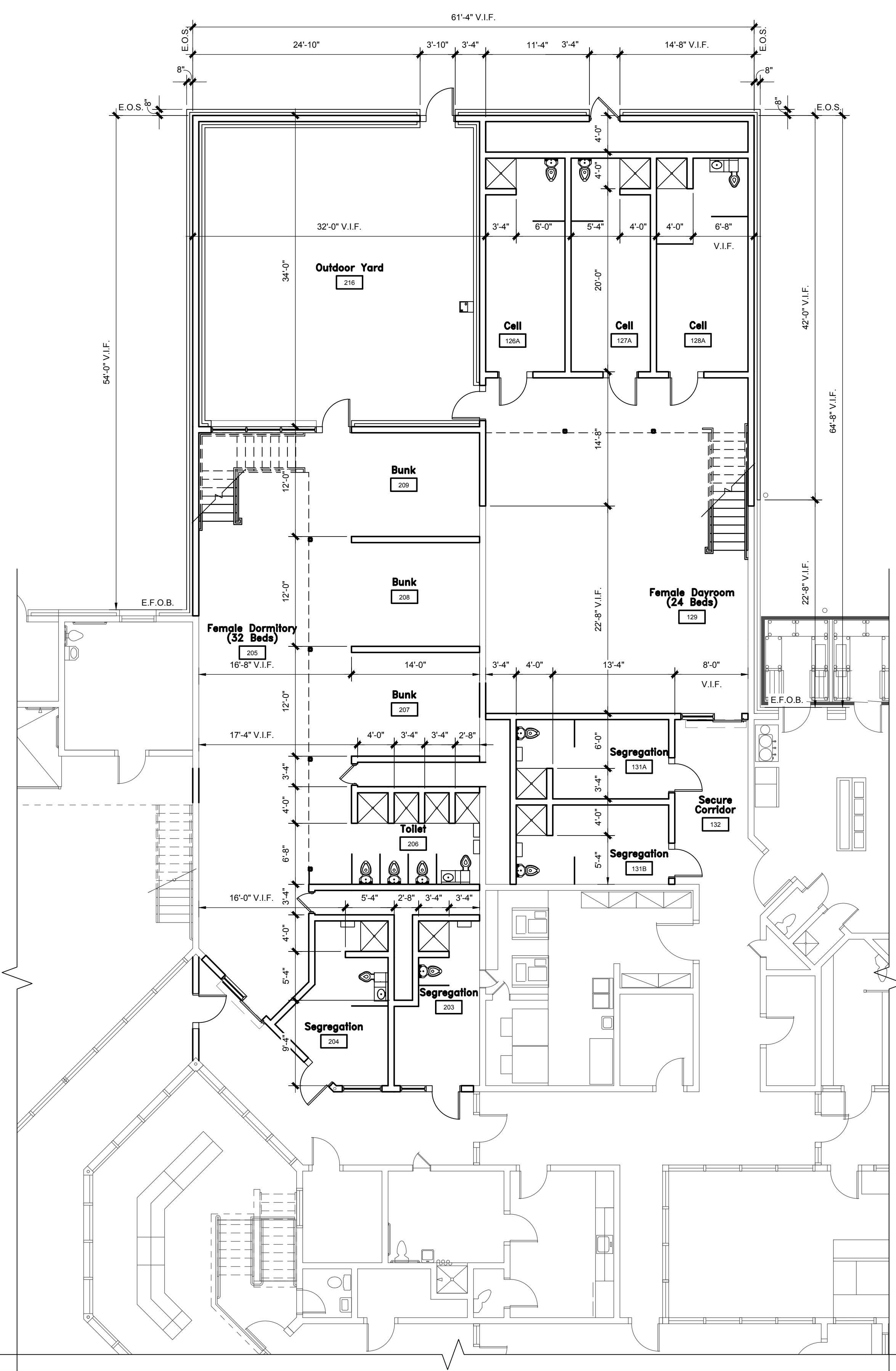
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SK2.4
Region 4 - Demolition Plan
SCALE 1/8" = 1'-0"

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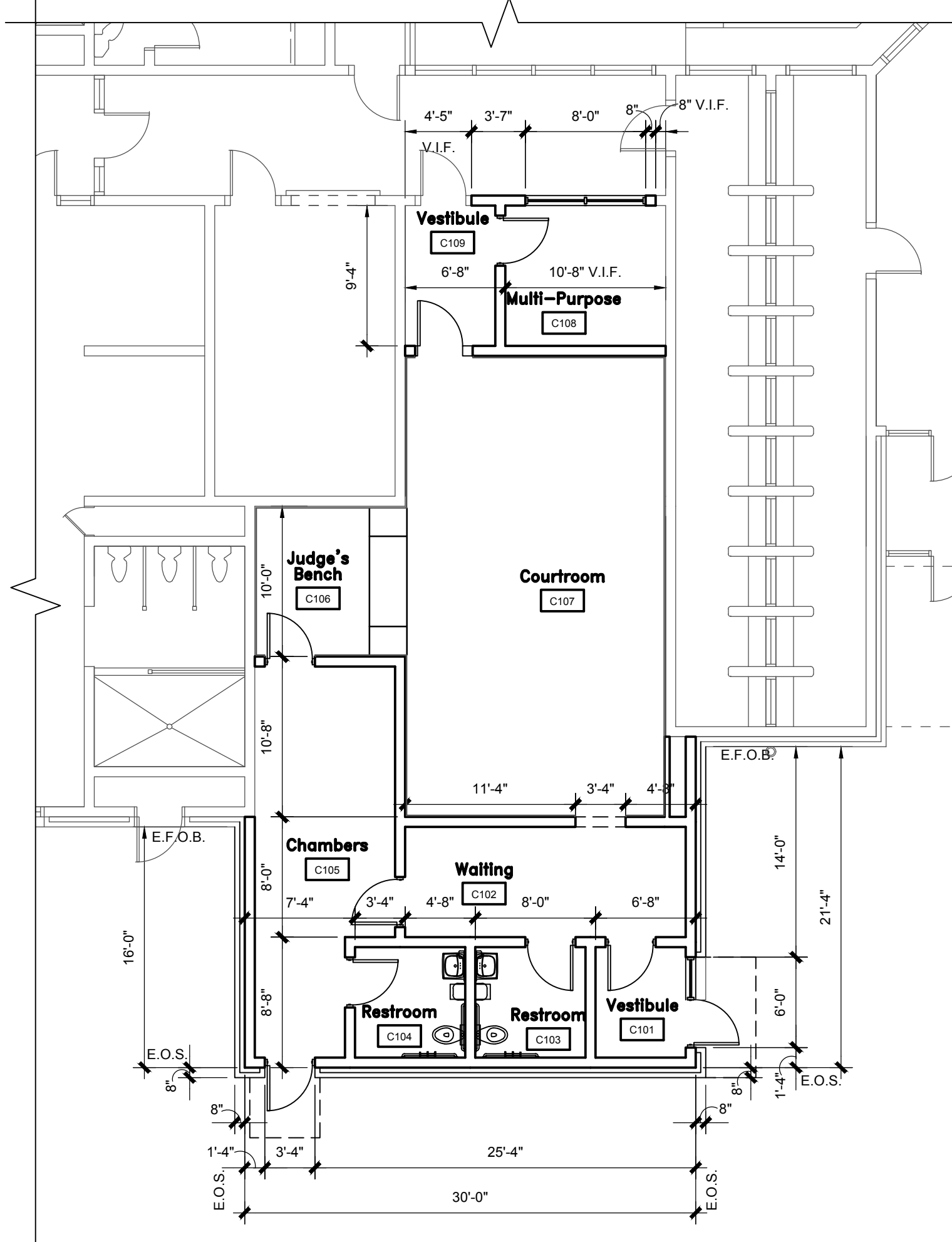
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MEZZANINE LEVEL DEMOLITION PLAN		JONES COUNTY JAIL ADDITIONS AND RENOVATIONS 123 HOLMES HAWKINS DRIVE GRAY, GA. 31032		PROJECT		PROJECT	
DATE 02/12/19	NO. SCHEMATIC DESIGN PACKAGE	DESIGN PPI	DRAWN WEW	CHECKED PPI	SHEET TITLE RELEASE		FILE NUMBER SK2.4
DATE 02-12-19	PROJ. NUMBER AB-265	FILE NAME 265-SK2.4.dwg	FILE NUMBER SK2.4		RELEASE		SK2.4



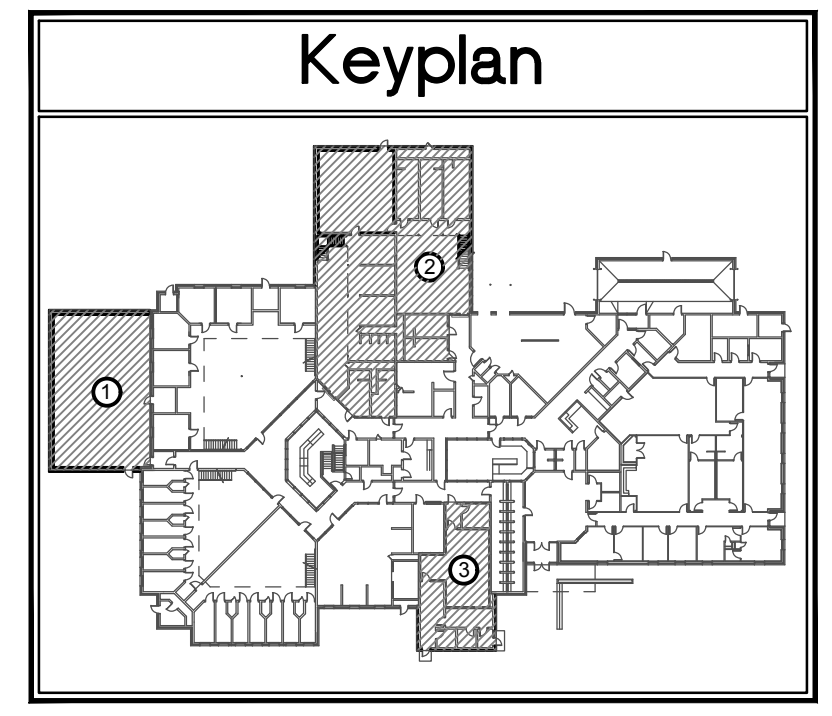
1 Region 1 - Dimension Plan
SK2.5 SCALE 1/8" = 1'-0"



2 Region 2 - Dimension Plan
SK2.5 SCALE 1/8" = 1'-0"



3 Region 3 - Dimension Plan
SK2.5 SCALE 1/8" = 1'-0"



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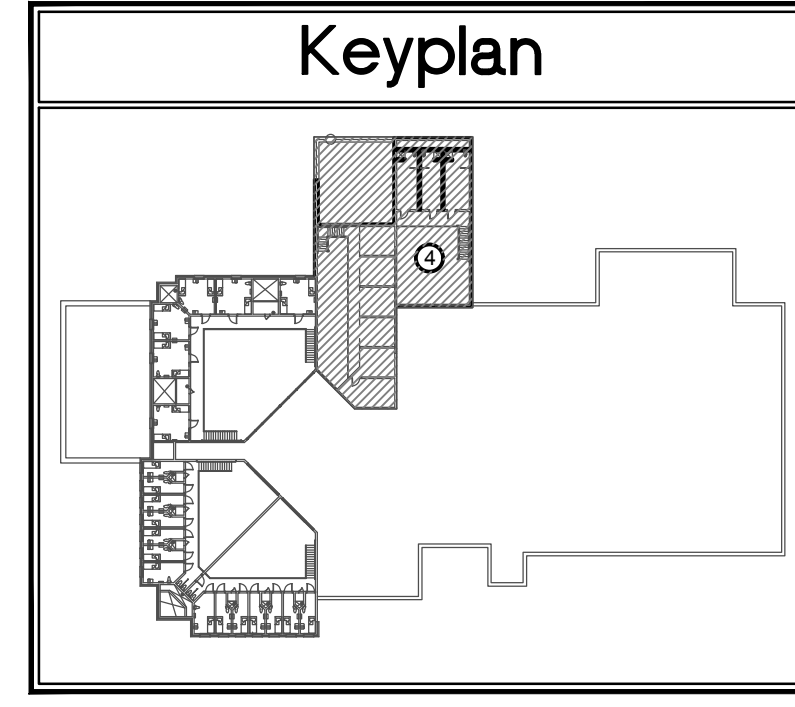
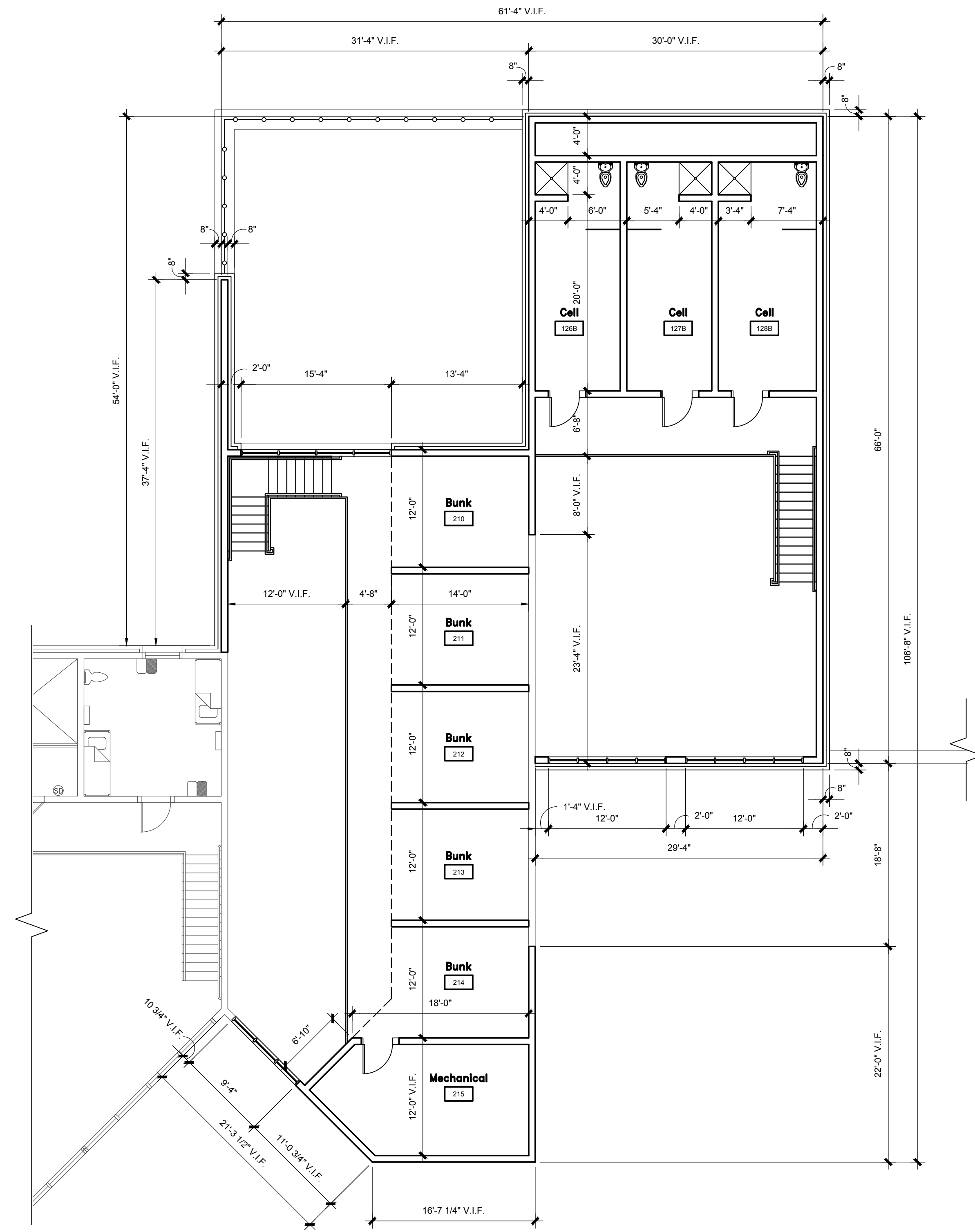
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123 HOLMES HAWKINS DRIVE
GRAY, GA. 31032

MAIN LEVEL DIMENSION PLANS		PROJECT	
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DATE	PROJ. NUMBER	FILE NAME	FILE NUMBER
02-12-19	A18-265	265-SK2.5.dwg	

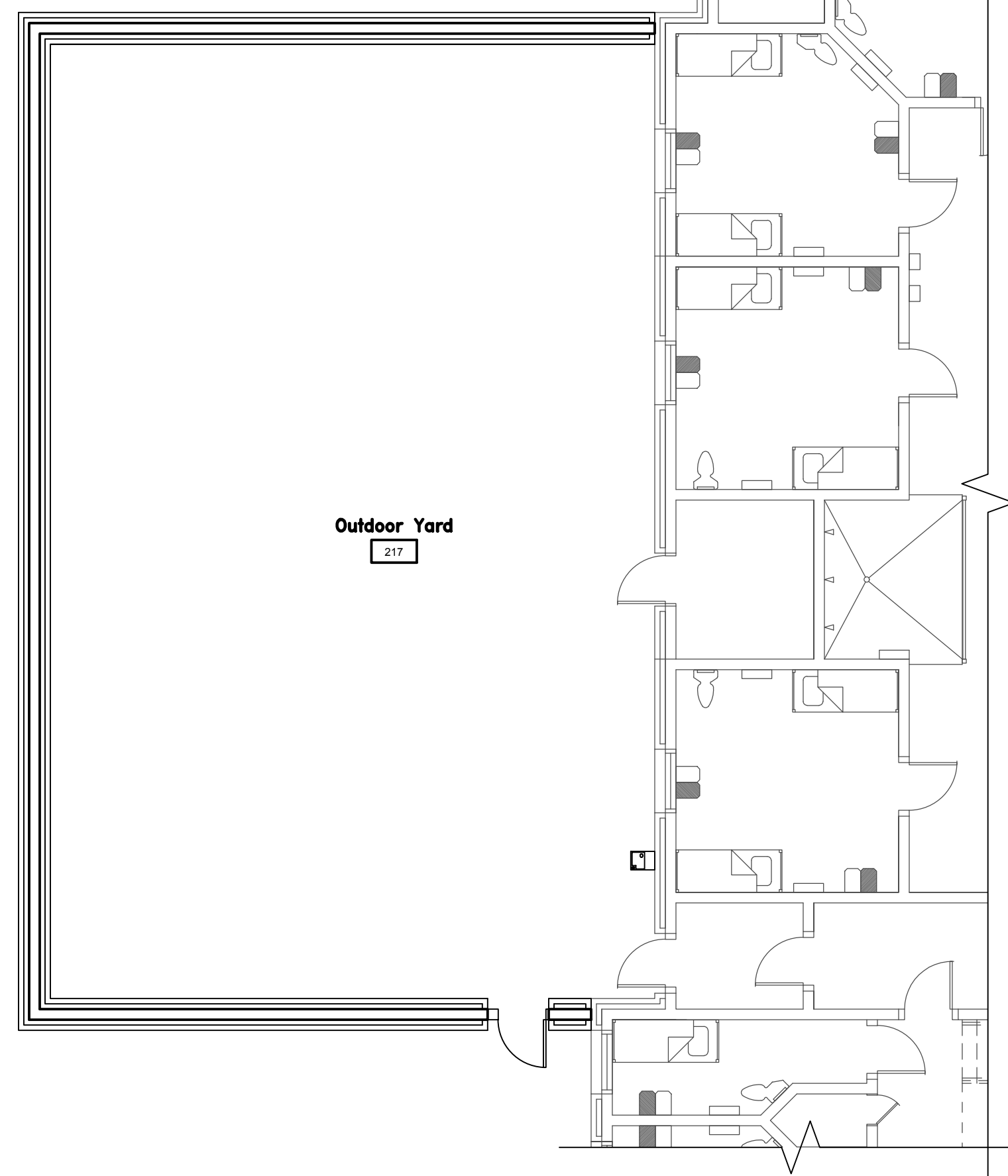
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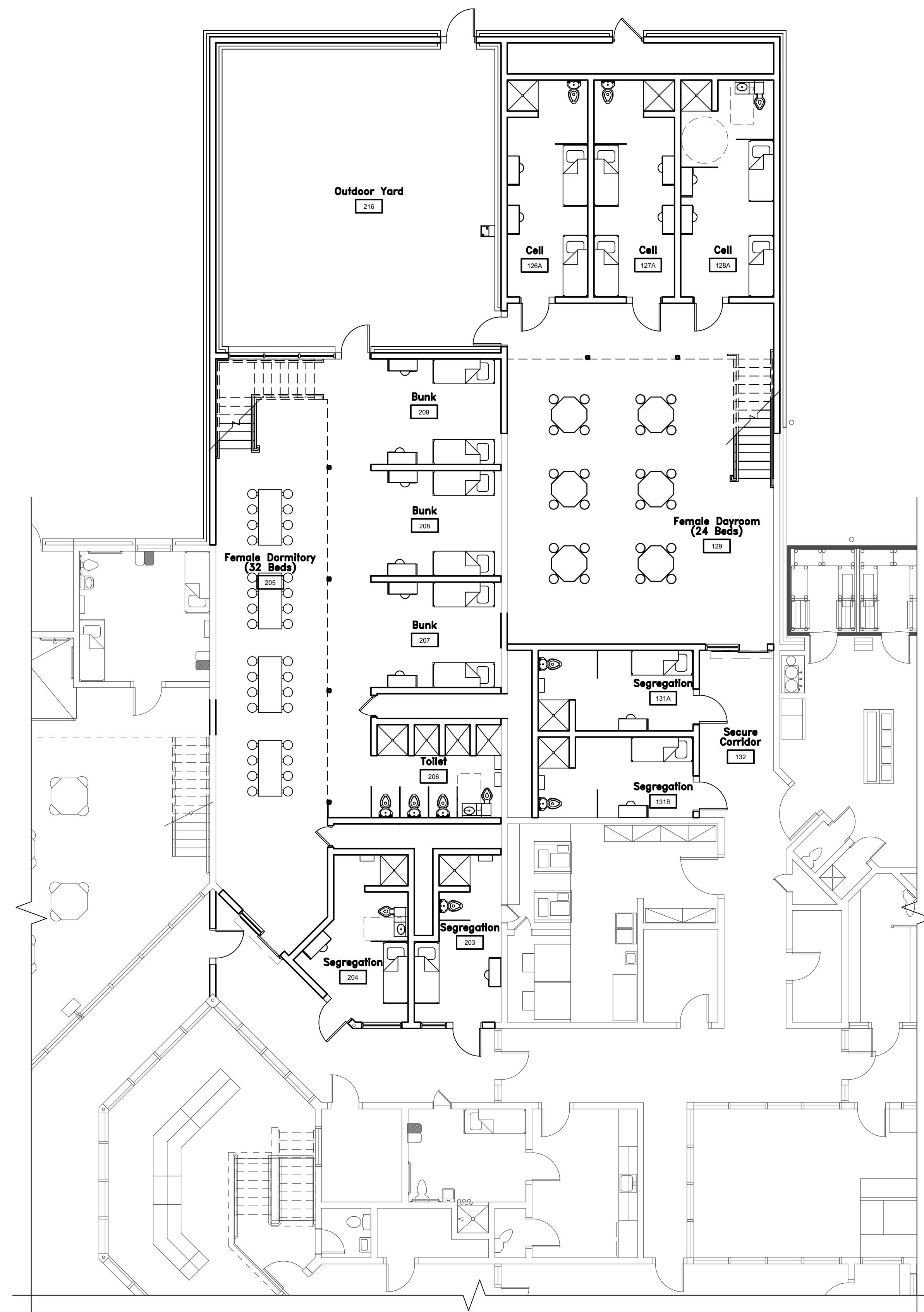
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SK2.6
Region 4 - Dimension Plan
SCALE 1/8" = 1'-0"

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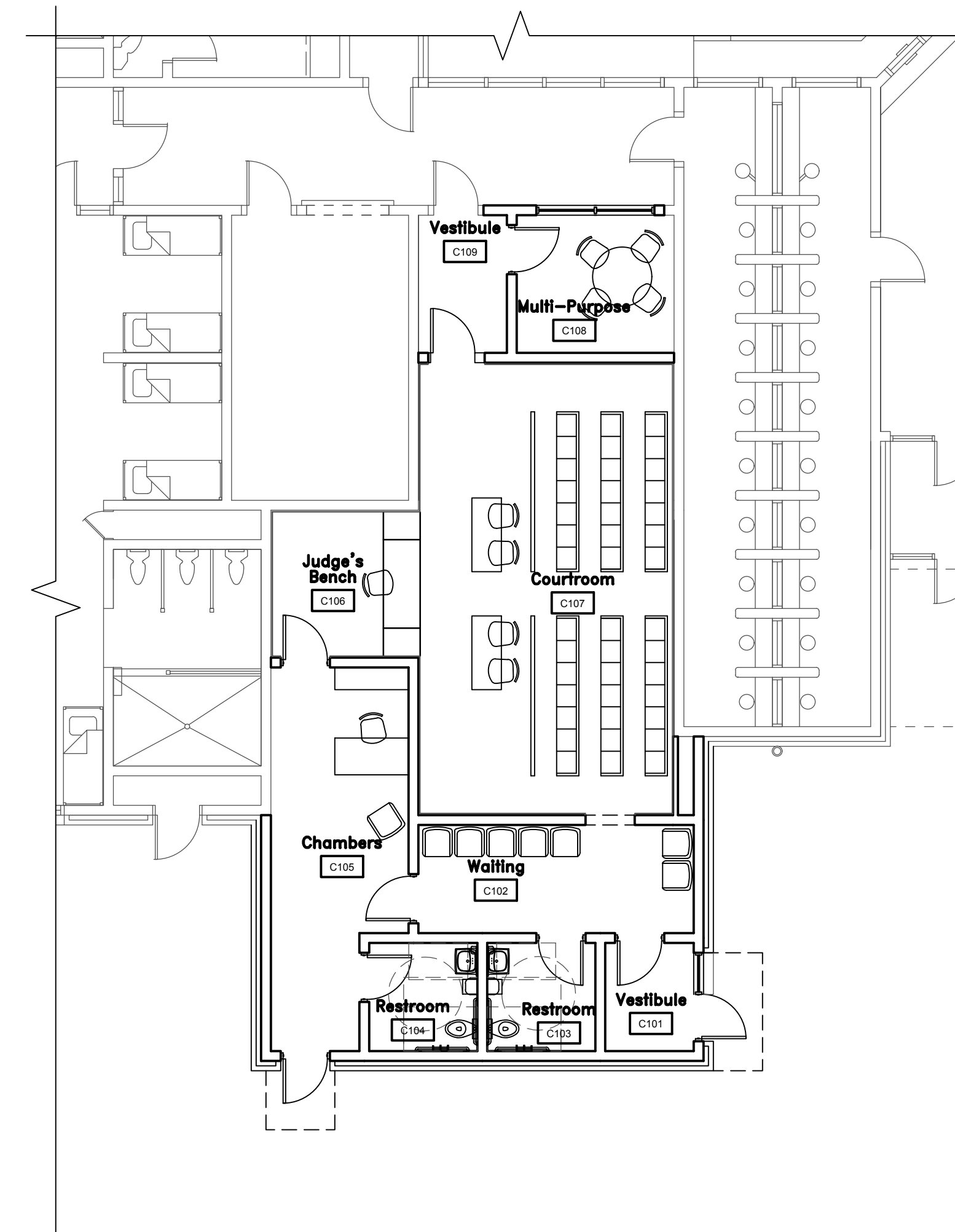
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PRECISION Planning Inc. planners • engineers • architects • surveyors 400 Pike Boulevard, Lawrenceville, Ga 30046 770.338.8000 • www.ppi.us		JONES COUNTY JAIL ADDITIONS AND RENOVATIONS 123 HOLMES HAWKINS DRIVE GRAY, GA. 31032 PROJECT	
MEZZANINE LEVEL DIMENSION PLAN		DESIGN PPI	DRAWN WEW
NO. DESCRIPTION 02-12-19 02/12/19 SCHEMATIC DESIGN PACKAGE		CHECKED PPI	SHEET TITLE RELEASE
DATE 02-12-19	FILE NUMBER SK2.6	FILE NAME 265-SK2.6.dwg	FILE NUMBER SK2.6



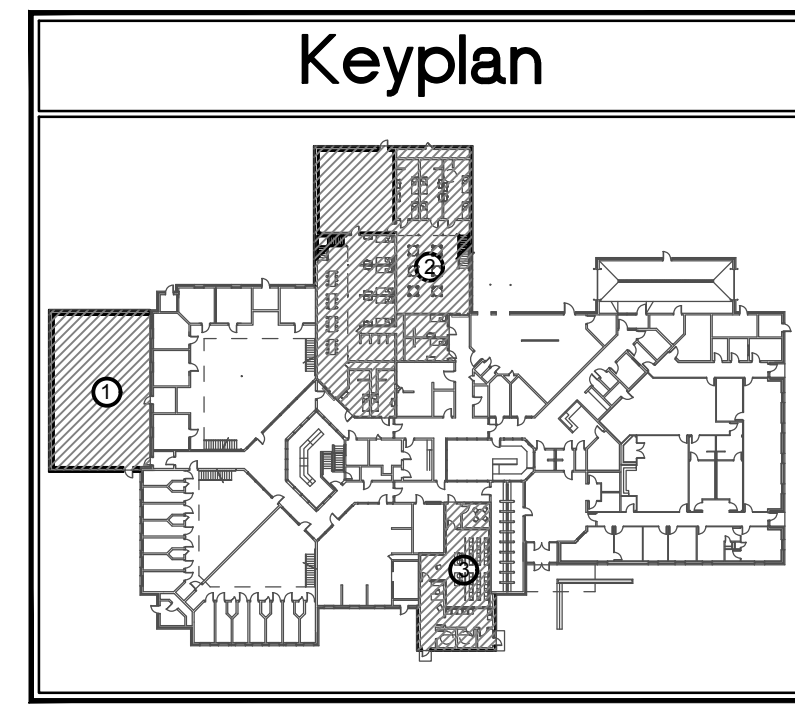
1 Region 1 - Furniture Plan
SK2.7 SCALE 1/8" = 1'-0"



2 Region 2 - Furniture Plan
SK2.7 SCALE 1/8" = 1'-0"



3 Region 3 - Furniture Plan
SK2.7 SCALE 1/8" = 1'-0"



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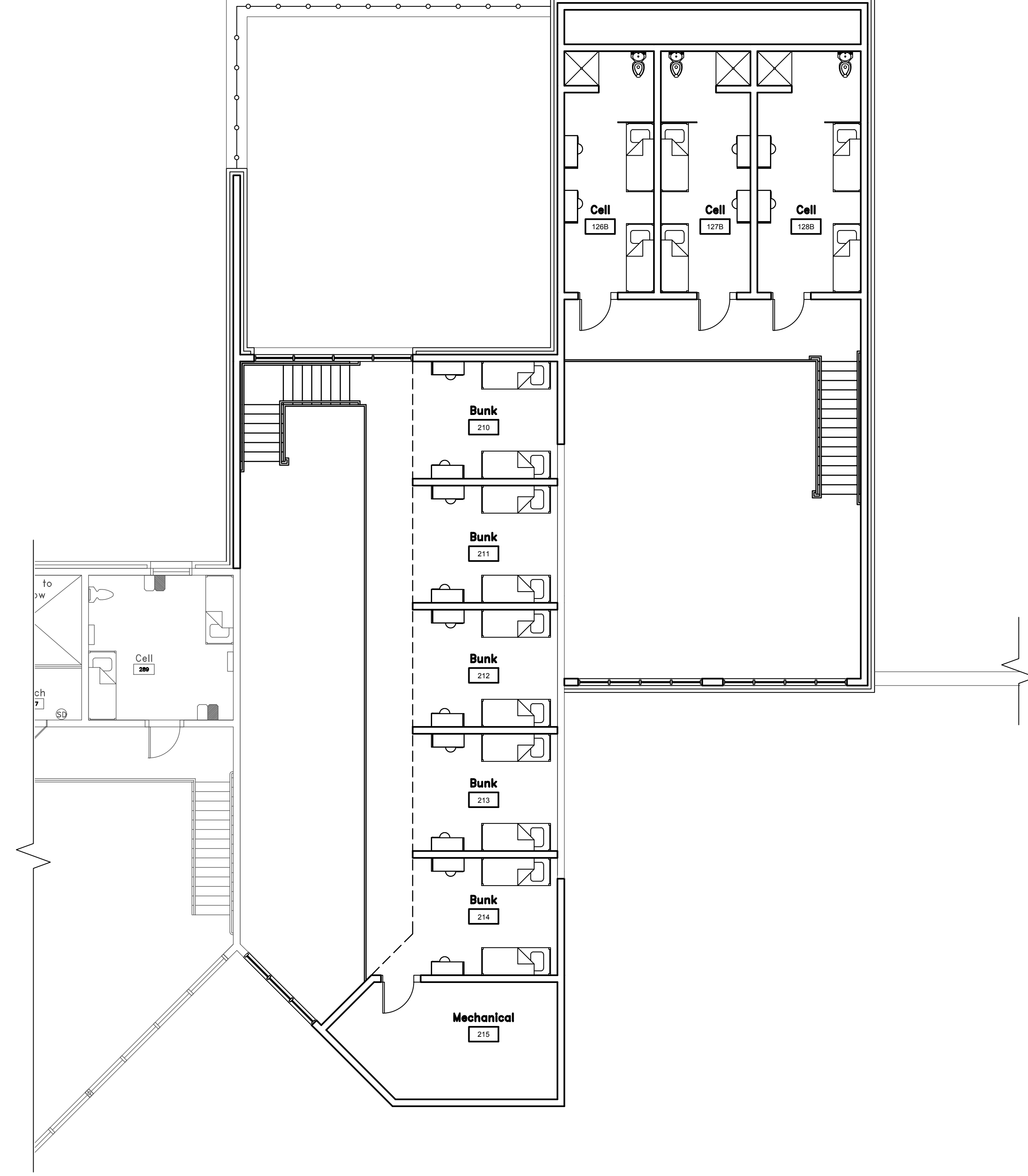
JONES COUNTY JAIL
ADDITIONS AND
RENOVATIONS
123 HOLMES HAWKINS DRIVE
GRAY, GA. 31032

MAIN LEVEL FURNITURE PLANS		SHEET TITLE	
DESIGN	PPI	DRAWN	WEW
CHECKED	PPI	CHECKED	PPI

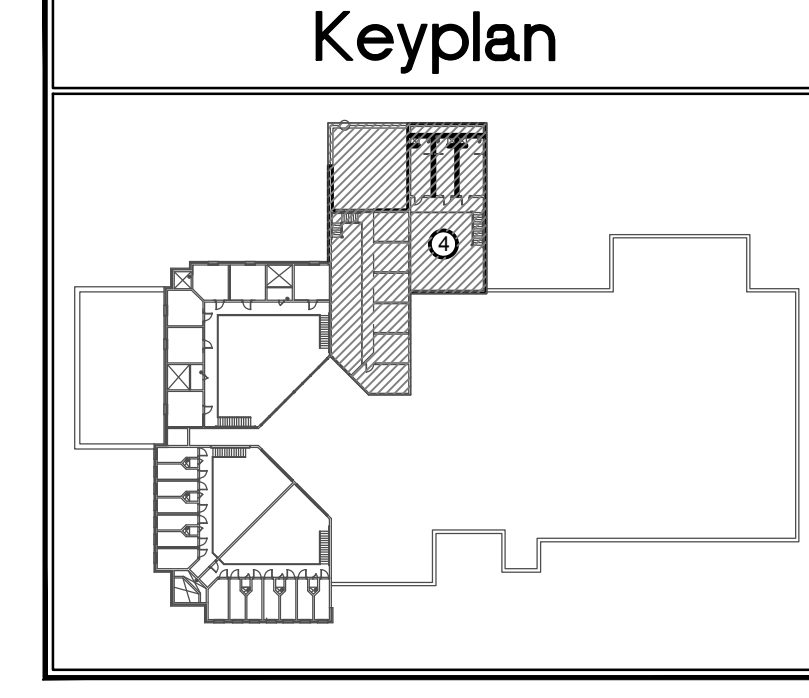
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07/17/19	SCHEMATIC DESIGN PACKAGE	

DATE	PROJ. NUMBER	FILE NAME	FILE NUMBER
02-12-19	A18-265	265-SK2.7.dwg	

SK2.7



1
SK2.8
Region 4 - Furniture Plan
SCALE 1/8" = 1'-0"



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SK2.8

DATE	NO.	DESCRIPTION
02/12/19		SCHEMATIC DESIGN PACKAGE

MEZZANINE LEVEL FURNITURE PLAN	
DESIGN	PPI
DRAWN	WEW
CHECKED	PPI

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PROJECT

SHEET TITLE

RELEASE

FILE NUMBER