

SOLID WASTE + TE&O - INTERIOR RENOVATION

4300 S. 29TH STR. ARLINGTON, VA, 22206

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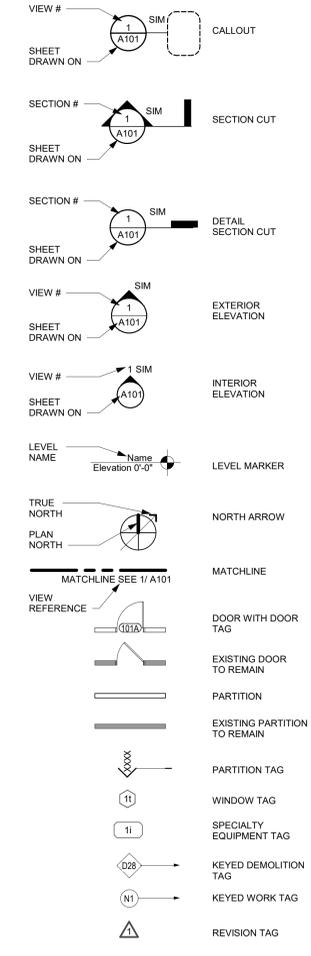
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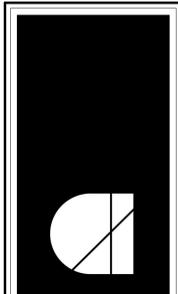
ARCHITECTURAL / INTERIORS ABBREVIATIONS:

| | | | | | | | |
|------------------|---------------------------------|------------------|---|---------------------------|---|----------------|---------------------------------|
| A | AND | F | FIRE ALARM | O | OVEN | T | TREAD |
| AB | ANCHOR BOLT (or) AIR BARRIER | FA | FABRICATE | OA | OVERALL | TAN | TANGENT |
| ABV | ABOVE | FC | FIRE CODE | OC | ON CENTER | TB | TOWEL BAR (or) TACK BOARD |
| A/C | AIR CONDITIONING | FC | FACE OF CONCRETE | OD | OUTSIDE DIAMETER | T&B | TOP AND BOTTOM |
| ACM | ASBESTOS CONTAINING | F/F | FACE OF FINISH | OF/OI | OWNER FURNISHED / OWNER INSTALLED | TECH | TECHNICAL |
| MATERIAL | | F/M | FACE OF MASONRY | OF/CI | OWNER FURNISHED / CONTR | TEL | TELEPHONE |
| ACOUS | ACOUSTICAL | F/O | FACE OF SHEATHING | INSTALLED | | TEMPD | TEMPERED |
| ACT | ACOUSTICAL CEILING TILE / PANEL | F/S | FACE OF STUD | OFF | OFFICE | TEMP | TEMPORARY |
| ADDM | ADDENDUM | F/W | FACE OF WALL | OFD | OVER FLOW DRAIN | THK | THICKNESS |
| ADDN | ADDITION | FD | FLOOR DRAIN | OFF | OFFICE | TM | TRANSITION MEMB |
| ADJ | ADJUSTABLE | FDC | FIRE DEPARTMENT CONN | OH | OPPOSITE HAND (or) OVERHEAD | T/O | TOP OF |
| AFF | ABOVE FINISHED FLOOR | FDN | FIRE DEPARTMENT | OPP | OPPOSITE | TOC | TOP OF CURB (or) -CONCRETE |
| AGOR | AGGREGATE | FE | FIRE EXTINGUISHER | ORIG | ORIGINAL | TOM | TOP OF MASONRY |
| AHU | AIR HANDLING UNIT | FEC | FIRE EXTINGUISHER CABINET | ORV | OVERHEAD | TOS | TOP OF STEEL |
| AL | ALUMINUM | FF | FINISHED FLOOR | OZ | OUNCE | TOW | TOP OF WALL |
| ALT | ALTERNATE | FH | FLAT HEAD | P | PAINT | TPH | TOILET PAPER HOLDER |
| AL | ANGLE (or) STEEL | FHR | FIRE HOSE CABINET | PART BD | PARTICLE BOARD | TV | TELEVISION |
| ANOD | ANODIZED | FIN | FINISH | PAVING OR PAVEMENT | | TWF | THRU WALL FLASH |
| ANUN | ANNUNCIATOR | FL | FLASH | PB | PENCIL SHARPENER BLOCK (or) | TYP | TYPICAL |
| ANUN | ANNUNCIATOR | FLASH | FLASHING | PC | PORCELAIN BASE | U | UNDER COUNTER REFRIGERATOR |
| ANUN | ANNUNCIATOR | FLOR | FLORESCENT | PERP | PERPENDICULAR | (UCR) | UNDERWRITERS LABORATORY |
| AP | ACCESS PANEL | FR | FIREPROOFING | PH | PENTHOUSE | UNFIN | UNFINISHED |
| APPD | APPROVED | FRM | FRAMING | PL | PLATE | UNO | UNLESS NOTED OTHERWISE |
| APPROX | APPROXIMATE | FRMG | FRAMING | PL OR PLAM | PLASTIC LAMINATE | UR | URNAL |
| ARCH | ARCHITECTURAL | FRT | FIRE RETARDANT TREATED | PLAS | PLASTER | UTIL | UTILITY |
| ASPH | ASPHALT(IC) | FT | FOOT OR FEET | PLUMB | PLUMBING | V | VARIABLE (or) VARIES |
| AUTO | AUTOMATIC | FTG | FOOTING | PLYWD | PLYWOOD | VB | VAPOR BARRIER |
| AVG | AVERAGE | FUR | FURRING | PM | PROPOSED MODIFICATION | VCT | VINYL COMPOSITION TILE |
| B | | FUT | FUTURE | PNL | PANEL | VERT | VERTICAL |
| B/O | BOTTOM OF | G | | PORT | PORTABLE | VEST | VESTIBULE |
| BC | BRICK COURSE(S) | GA | GAUGE | PR | PRECAST | VIF | VERIFY IN FIELD |
| BD | BOARD | GALV | GALVANIZED | PRCST | PREFAB | VIN | VINYL |
| BE | BOTTOM ELEVATION | GB | GRAB BAR | PRCST | PREFABRICATED(D) | VNR | VENEER |
| BF | BOTH FACES | GL | GLASS | PRCST | PROJECT | VOL | VOLUME |
| BLDG | BLOCK | GMU | GLASS MESH MORTAR UNIT | PROP | PROPERTY | VWC | VINYL WALL COVERING |
| BLKG | BLOCKING | GR | GRAVEL STOP | PRP | PRESSURE TREATED (or) | W | WEST |
| BM | BEAM (or) BENCH MARK | GS | GRAVEL STOP | PTD | PAPER TOWEL DISPENSER (or) | W/ | WITH |
| BOTT | BOTTOM | GWB | GYPSPUM WALLBOARD | PTR | PARTITION | (W) | WASHER |
| BRK | BRICK | GYP | GYPSPUM | PTR | PAPER TOWEL RECEPTACLE | WAP | WIRELESS ACCESS POINT |
| BRKT | BRACKET | H | | PVC | POLYVINYL CHLORIDE | WB | WHITE BOARD |
| BRZ | BRONZE | HC | ACCESSIBLE | PWR | POWER | WC | WATER CLOSET (or) WALL COVERING |
| BSMT | BASEMENT | HD | HEAD | Q | | WD | WOOD |
| BTW | BETWEEN | HDBD | HARDBOARD | QT | QUARRY TILE | WH | WATER HEATER (or) WALL HUNG |
| BUR | BUILT UP ROOFING | HM | HOLLOW METAL | QUAL | QUALITY | WB | WATER AND ICE BARRIER |
| BW | BOTH WAYS | HW | HARDWARE | QUAN | QUANTITY | W/IN | WITH IN |
| C | | HW | HARDWOOD | R | | WLD | WELDED |
| CAB | CABINET | HWCW | HOLLOW CORE WOOD DOOR | RISER | | W/O | WITHOUT |
| CB | CATCH BASIN | HORIZ | HORIZONTAL | (RA) | RANGE | WP | WATERPROOF (or) WORKING |
| C/C | CENTER TO CENTER | HR | HOUR | R/A | RETURN AIR | WR | WATER RESISTANT |
| CEM | CEMENT | HT | HEIGHT | RAD | RADIUS | WRB | WEATHER RESISTANT BARRIER |
| CF/CI | CONTR FURNISHED / CONTR | HTG | HEATING | RB | RESILIENT BASE | WS | WEATHERSTRIPPING |
| CI | CORNER GUARD | HVAC | HEATING, VENTILATION and AIR CONDITIONING | RC | ROOF DRAIN (or) ROUND (or) ROAD REINFORCING BAR | WSCT | WAINSCOT |
| CHAN | CHANNEL | HW | HOT WATER | REBAR | REBAR | WT | WEIGHT |
| CJ | CONTROL JOINT | ID | INSIDE DIAMETER | RECEP | RECEPTACLE | WWF | WELDED WIRE FABRIC |
| CL | CENTER LINE | INCL | INCLUDE | REF | REFERENCE | X | TIMES (or) BY (AS IN 2X4) |
| CLG | CEILING | INCL | INCLUDE(D) (ING) | REFL | REFLECTED | Y | YARD |
| CLKG | CAULKING | INFO | INFORMATION | REFR | REFRIGERATOR | YD | YARD |
| CLO | CLOSET | INSUL | INSULATION | REQD | REQUIRED | YR | YEAR |
| CLR | CLEAR | INT | INTERIOR | RESIL | RESILIENT | | |
| CMU | CONCRETE MASONRY UNIT | IWB | INTERACTIVE WHITE BOARD | REV | REVISION OR REVERSE | | |
| CONTR (T) | COUNTER TOP | J | | RH | RIGHT HAND (or) ROBE HOOK | | |
| CO | CLEAR OPENING (or) CLEAN OUT | JC | JUNCTION BOX | RM | ROOM | | |
| COL | COLUMN | JST | JOIST | RO | ROUGH OPENING | | |
| CONC | CONCRETE | JT | JOINT | RTU | ROOFTOP UNIT | | |
| CONN | CONNECTION | K | | S | | | |
| CONSTR | CONSTRUCTION | KIT | KITCHEN | S4S | SURFACED FOUR SIDES | | |
| CONT | CONTINUOUS | KO | KNOCKOUT | SAB | SOUND ATTENUATION BLANKET | | |
| CONTD | CONTINUED | KP | KICK PLATE | SAFB | SOUND ATTENUATION FIRE BATT | | |
| CONTR | CONTRACTOR | KRM | KEYED REMOVABLE MULLION | SAN | SANITARY | | |
| COR | CORRIDOR | KS | KNEE SPACE | SC | SEALED CONCRETE (or) SOLDIER COURSE | | |
| CORRUG | CORRUGATED | L | | SCWD | SOLID CORE WOOD DOOR | | |
| CPT | COURSE(S) | LAB | LABORATORY | SCHED | SCHEDULE | | |
| CRS | COURSE(S) | LAM | LAMINATE | SCHEM | SCHEMATIC | | |
| CSK | COUNTERSUNK (SINK) | LAT | LATERAL | SD | SOAP DISPENSER | | |
| CT | CERAMIC TILE | LAV | LAVATORY | SECT | SECTION | | |
| CTR | CENTER | LB (or #) | POUND | SEL | SELECT | | |
| CUST | CUSTODIAL | LH | LEFT HAND | SERV | SERVICE | | |
| CUSTCL | CUSTODIAL CLOSET | LIN | LINEAR | SF (or) SQFT. | SQUARE FEET | | |
| CW | COLD WATER | LKR | LOCKER | SFRM | SPRAY-APPLIED FIRE RESISTIVE | | |
| D | | LL | LIVE LOAD | SH | SHELF OR SHELVING | | |
| (D) | DRYER | LONGL | LONGITUDINAL | SHT | SHEET | | |
| DA | DOUBLE-ACTING | LP | LOW POINT | SHWR | SHOWER | | |
| DBL | DOUBLE | LGT | LIGHT | SIM | SIMILAR | | |
| DD | DECK DRAIN | LTG | LIGHTING | SND | SANITARY NAPKIN DISPENSER | | |
| DEMO | DEMOLISH (or) DEMOLITION | LTV | LIGHT WEIGHT | SOLS | SOLID SURFACE | | |
| DEPT | DEPARTMENT | LVR | LOUVER (S) | SPECL | SPECIAL | | |
| DET | DETAIL | M | | SPECS | SPECIFICATION(S) | | |
| DF | DRINKING FOUNTAIN | MACH | MACHINE | SPECD | SPECIAL EDUCATION | | |
| DF/CT | DEFLECTION | MAINT | MAINTENANCE | SPRCL | SPANDREL GLASS | | |
| DIA | DIAMETER | MATL | MATERIAL | SPKR | SPEAKER | | |
| DIAG | DIAGONAL | MAX | MAXIMUM | SPL | SPLASH | | |
| DIM | DIMENSION | MB | MARKER BOARD | SQ | SQUARE | | |
| DISP | DISPOSER (or) DISPENSER | MECH | MECHANICAL | SS | STAINLESS STEEL | | |
| DIV | DIVISION | MED | MEDIUM | S/S | SERVICE SINK | | |
| DK | DARK | MEZZ | MEZZANINE | ST | STAR | | |
| DL | DEAD LOAD | MEMB | MEMBRANE | STD | SOUND TRANSMISSION CLASS | | |
| DN | DOWN | MFG | MANUFACTURING | STL | STANDARD | | |
| DO | DOOR OPENING | MFR | MANUFACTURER | STOR | STORAGE | | |
| DR | DOOR | MGR | MANAGER | STRUCT | STRUCTURAL | | |
| DS | DOWNSPOUT | MIN | MINIMUM | SURF | SURFACE | | |
| DSP | DRY STANDPIPE | MIRR | MIRROR | SURR | SURROUND | | |
| (DW) | DISHWASHER | MISC | MISCELLANEOUS | SUSP | SUSPEND(ED) | | |
| DWG | DRAWING | ML | METAL LATH | SYM | SYMMETRICAL | | |
| DWR | DRAWER | MO | MASONRY OPENING | SYST | SYSTEM | | |
| E | | MTD | MOUNTED | | | | |
| E1 | EXISTING | MTL | METAL | | | | |
| E2 | EACH | MULL | MULLION | | | | |
| E3 | EXT INSUL AND FIN SYSTEM | (MW) | MICROWAVE | | | | |
| EJ | EXPANSION JOINT | N | | | | | |
| ELEV | ELEVATION | N | NORTH | | | | |
| ELEC | ELECTRIC | NAT | NATURAL | | | | |
| ELEV | ELEVATOR | NEG | NEGATIVE | | | | |
| EMER | EMERGENCY | NIC | NOT IN CONTRACT | | | | |
| ENCL | ENCLOSURE | NO (or #) | NUMBER | | | | |
| ENG | ENGINEERING | NOM | NOMINAL | | | | |
| EQ | EQUAL | NRC | NOISE REDUCTION COEFFICIENT | | | | |
| EQUIP | EQUIPMENT | NTS | NOT TO SCALE | | | | |
| E/W | EACH WAY | | | | | | |
| EW | ELECTRIC WATER COOLER | | | | | | |
| EXCAV | EXCAVATED | | | | | | |
| EXH | EXHAUST | | | | | | |
| EXIST | EXISTING | | | | | | |
| EXP | EXPANSION | | | | | | |
| EXPOS | EXPOSED | | | | | | |
| EXT | EXTERIOR | | | | | | |

SYMBOLS LEGEND:



| COVER SHEET | CS1.01 | COVER SHEET | PERMIT 01/07/2022 | PERMIT REV 02/11/22 | BID 03/18/2022 |
|---------------|--------|--|-------------------|---------------------|----------------|
| CIVIL | C0.0 | COVER SHEET | | | |
| C1.0 | | GENERAL NOTES & DETAILS | | | |
| C1.1 | | GENERAL NOTES & DETAILS | | | |
| C2.0 | | EXISTING CONDITIONS AND DEMOLITION | | | |
| C3.0 | | EROSION AND SEDIMENT CONTROL - PHASE 1 | | | |
| C3.1 | | EROSION AND SEDIMENT CONTROL - PHASE 2 | | | |
| C3.2 | | EROSION AND SEDIMENT CONTROL NOTES AND DETAILS | | | |
| C3.3 | | EROSION AND SEDIMENT CONTROL NOTES AND DETAILS | | | |
| C4.0 | | SITE AND UTILITY PLAN | | | |
| C5.0 | | GRADING PLAN | | | |
| C5.1 | | DETAILED GRADING PLAN | | | |
| ARCHITECTURAL | LS1.01 | LIFE SAFETY | | | |
| AG1.01 | | GENERAL NOTES | | | |
| AG2.01 | | ACCESSIBILITY STANDARDS | | | |
| AD1.01 | | DEMOLITION FLOOR PLAN | | | |
| AD1.11 | | DEMO ROOF PLAN | | | |
| A1.01 | | FLOOR PLAN, EQUIPMENT SCHEDULE | | | |
| A1.10 | | ROOF PLAN | | | |
| A2.01 | | DOOR/WINDOW SCHEDULE | | | |
| A2.02 | | DOOR DETAILS, TRANSITION DETAILS | | | |
| A4.11 | | WALL SECTIONS AND DETAILS | | | |
| A5.01 | | EXTERIOR DETAILS | | | |
| A5.02 | | EXTERIOR DETAILS | | | |
| A6.01 | | ENLARGED PLANS, INTERIOR ELEVATIONS | | | |
| A7.01 | | ELEVATIONS AND SECTIONS | | | |
| A8.01 | | PARTITION TYPES AND WALL TERMINATION | | | |
| A8.11 | | INTERIOR DETAILS | | | |
| A10.01 | | REFLECTED CEILING PLAN | | | |
| F2.01 | | FINISH PLAN AND SCHEDULE | | | |
| STRUCTURAL | S001 | DESIGN NOTES | | | |
| S101 | | ROOF FRAMING AND PARTIAL FOUNDATION PLANS | | | |
| S301 | | SECTIONS AND DETAILS | | | |
| S302 | | SECTIONS AND DETAILS | | | |
| MECHANICAL | M0.01 | SYMBOL LIST AND GENERAL NOTES - MECHANICAL | | | |
| MD1.01 | | DEMOLITION FLOOR PLAN - MECHANICAL | | | |
| M1.01 | | LEVEL FLOOR PLAN - MECHANICAL | | | |
| M1.10 | | ROOF PLAN - MECHANICAL | | | |
| M4.01 | | DETAILS - MECHANICAL | | | |
| M6.01 | | SCHEDULES - MECHANICAL | | | |
| PLUMBING | P0.01 | SYMBOL LIST AND GENERAL NOTES - PLUMBING | | | |
| PD1.01 | | DEMOLITION FLOOR PLAN - PLUMBING | | | |
| P1.00 | | UNDERGROUND PLAN - PLUMBING | | | |
| P1.01 | | FLOOR PLAN - PLUMBING | | | |
| P4.01 | | DETAILS - PLUMBING | | | |
| P6.01 | | SCHEDULES PLUMBING | | | |
| ELECTRICAL | E0.01 | SYMBOL LIST AND GENERAL NOTES - ELECTRICAL | | | |
| ED1.01 | | DEMOLITION FLOOR PLAN - ELECTRICAL | | | |
| ED2.01 | | DEMOLITION FLOOR PLAN - LIGHTING | | | |
| E1.01 | | FLOOR PLAN - ELECTRICAL | | | |
| E1.10 | | ROOF PLAN - ELECTRICAL | | | |
| E2.01 | | FLOOR PLAN - LIGHTING | | | |
| E3.01 | | SCHEDULES - ELECTRICAL | | | |
| E4.01 | | SCHEDULES - ELECTRICAL | | | |



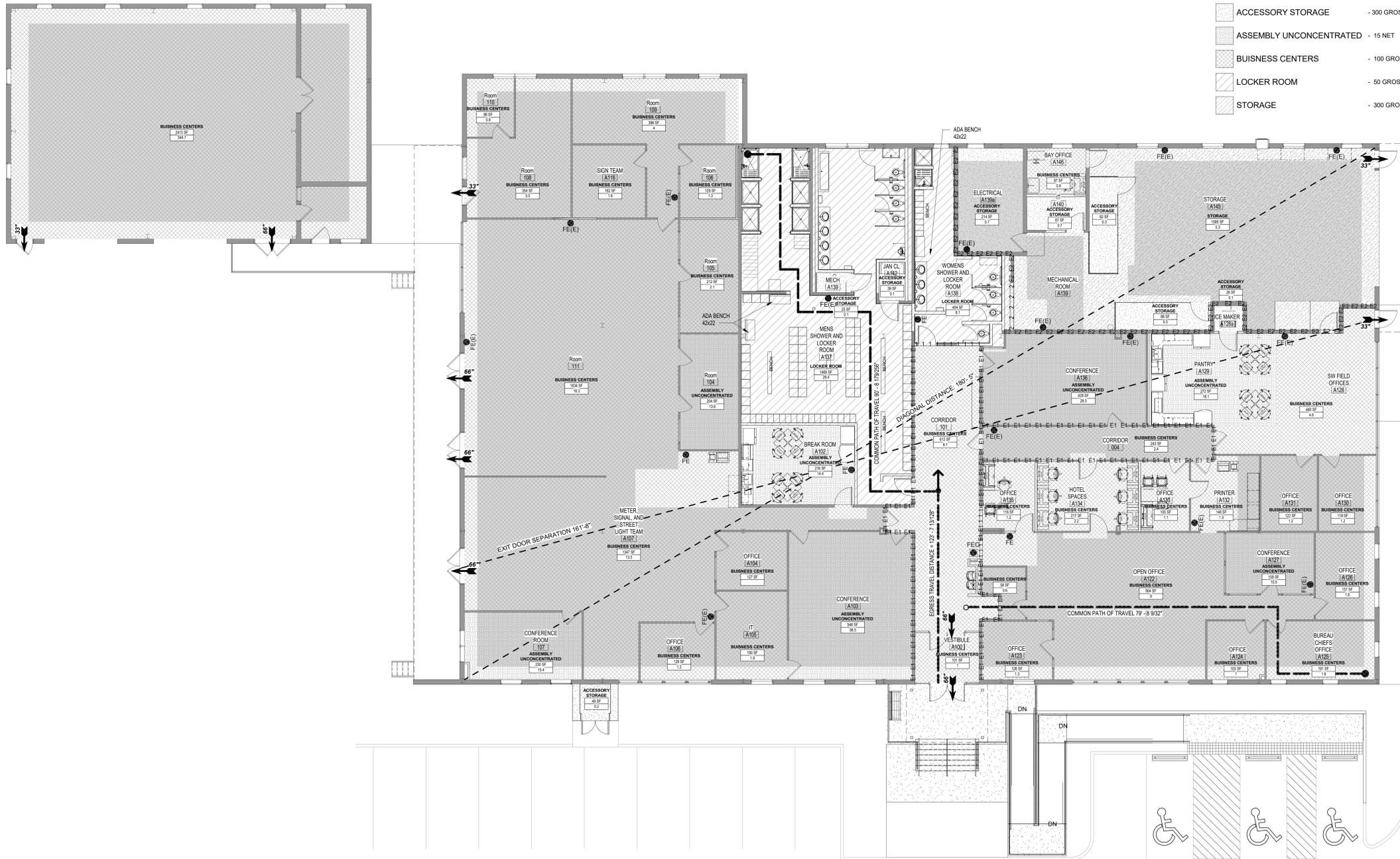
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Construction Documents for:
ARLINGTON COUNTY BOARD
SOLID WASTE + TE&O -
INTERIOR RENOVATION
4300 S. 29TH STR. ARLINGTON, VA, 22206

Project: 21124-01

| Issued | 01/07/22 |
|--------|------------------|
| 1 | PERMIT REVISIONS |
| 2 | BID SET |

COVER SHEET



FUNCTION OF SPACE

| | | |
|--|-------------------------|-------------|
| | ACCESSORY STORAGE | - 300 GROSS |
| | ASSEMBLY UNCONCENTRATED | - 15 NET |
| | BUSINESS CENTERS | - 100 GROSS |
| | LOCKER ROOM | - 50 GROSS |
| | STORAGE | - 300 GROSS |

OCCUPANCY SUMMARY

| FUNCTION OF SPACE | AREA | NUMBER OF OCCUPANTS |
|-------------------------|-----------------|---------------------|
| Level 1 | | |
| ACCESSORY STORAGE | 590 SF | 2.6 |
| ASSEMBLY UNCONCENTRATED | 2056 SF | 137.5 |
| BUSINESS CENTERS | 11048 SF | 87.7 |
| LOCKER ROOM | 1873 SF | 37.5 |
| STORAGE | 1585 SF | 5.3 |
| Grand total | 17153 SF | 270.6 |

BUILDING DATA

PROJECT ADDRESS
4300 S. 29th ST. ARLINGTON, VA 22206

GENERAL DESCRIPTION
Multiple small renovations to an existing 1 story building, includes a new pantry, entry stairs, IT closet, office space, entry ramp, and water service closet as well as renovations to the existing lockers rooms. No increase in occupant load.

APPLICABLE CODES
2015 VEBC (EBC)
2015 VCC (IBC)
2015 VECC (IECC)
2015 IFC
2015 VFGC (IFGC)
2015 VPC (IPC)
2014 VMC (IMC)
2014 NEC
ICC A117-1-2009

ORIGINAL CONSTRUCTION
EXISTING BUILDING COMPLIANCE:
MOST OF THE ALTERATIONS DO NOT AFFECT THE PRIMARY FUNCTION. AREA OF ALTERATION IS LESS THAN 50% OF THE BUILDING AREA = LEVEL 2 ALTERATION. TOTAL WORK AREA OF LEVEL 2 ALTERATION: 5,395 SF

ORIGINAL BUILDING BUILT: 2012
ORIGINAL BUILDING CODE: Virginia Uniform Statewide Building Code 2012

USE GROUP (SECTION 308.3.2)
MIXED USE, SEPARATED: B, S-2 STORAGE

CONSTRUCTION TYPE (SECTION 602)
NONCOMBUSTIBLE: IIB

BUILDING AREA
BUILDING AREA FIRST FLOOR (EXISTING): 16,920 SF
GROUP B:
TOTAL BUILDING AREA: 18,879 SF

ALLOWABLE AREA
PER TABLE 506.2: GROUP B = 23,000 SF; GROUP S-2 = 26,000 SF
AREA MODIFICATION PER 506.2.3: Aa=[A+(NS x If) x 2]

FRONTAGE INCREASE (PER 506.3)
IF=[F/P-0.25]W/30
GROUP B = 17,250 SF; GROUP S-2 = 19,500 SF

TOTAL ALLOWABLE AREA
ALLOWABLE AREA FACTOR + ALLOWABLE INCREASE FOR FRONTAGE: GROUP B = 40,250 SF; GROUP S-2 = 45,500 SF
TOTAL ALLOWABLE AREA: 42,250 SF

BUILDING HEIGHT / NUMBER OF STORIES
NUMBER OF STORIES (ALLOWABLE / PROVIDED) PER T504.4: 3 STORIES / 1 STORIES
BUILDING HEIGHT (ALLOWABLE / PROVIDED): 55'-0" / 14'-11"

FIRE AND SMOKE ALARM: YES

FIRE PROTECTION SYSTEM (SPRINKLER): NO

FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS (RATING) TABLE 601 (RATING / DESIGN)

MISCELLANEOUS FIRE RESISTANCE REQUIREMENTS
SHAFT ENCLOSURES ELEVATOR / MECHANICAL (716.4): 1 HR
EXIT STAIR ENCLOSURE (1023.2): 1 HR
CORRIDOR WALLS (1020.1) (FIRE PARTITIONS): 1 HR
CORRIDOR DOOR FIRE RATINGS (1716.5): 20 MIN
CORRIDOR DOORS - SELF CLOSING REQUIRED (716.5.9): YES

1 LIFE SAFETY AREA PLAN
1/8" = 1'-0"

PLUMBING FIXTURE REQUIREMENTS - IPC 2015

| Classification | Occupancy | Description | Sex | WC Occupancy Factor | Required | Provided | Lav Occupancy Factor | Required | Provided | Bathtubs/Shower Occupancy Factor | Required | Provided | Required DF | Provided DF | Service Sink | |
|-------------------------|-----------|-------------|---------------|-------------------------------------|----------|----------|-------------------------------------|----------|----------|----------------------------------|-----------------|-----------------|-------------|-------------|--------------|-----------------------|
| | | | | | WC | WC | | Lav | Lav | | Bathtubs/Shower | Bathtubs/Shower | | | | |
| BUSINESS | B | BUSINESS | MALE & FEMALE | 1 per 25 FOR FIRST 50 THEN 1 PER 50 | 5 | 10 | 1 per 40 FOR FIRST 80 THEN 1 PER 80 | 4 | 7 | - | - | 8 | 1 per 100 | 1 | 1 | 1 Required Dispensers |
| Total Plumbing Fixtures | | | | | | 10 | | | 7 | | | 8 | | 1 | 1 | 2 Provided Dispensers |

ALL NEW EXTERIOR BUILDING ENVELOPE AND FENESTRATION MUST MEET THE FOLLOWING REQUIREMENTS:
 TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS R VALUE, CLIMATE ZONE 4:
 INSULATION ABOVE ROOF DECK: R-30 CI
 WALLS ABOVE GRADE: MASS: R 9.5 CI
 SLAB ON GRADE, UNHEATED SLABS: R-10 FOR 24" BELOW
 TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U FACTOR, CLIMATE ZONE 4:
 FIXED FENESTRATION: U 0.38 SHGC: U 0.36
 OPERABLE FENESTRATION: U 0.45 SHGC: U 0.36
 SKYLIGHTS: U 0.50 SHGC: 0.40

LIFE SAFETY LEGEND:

| | |
|--|--|
| | NO WORK IN THIS AREA |
| | EXIT SIGN WITH DIRECTIONAL ARROWS |
| | EXISTING EXIT SIGN WITH DIRECTIONAL ARROWS |
| | EXISTING RELOCATED EXIT SIGN WITH DIRECTIONAL ARROWS |
| | EXIT SIGN WITH DIRECTIONAL ARROWS HOSTED |
| | EGRESS PATH WITH TRAVEL DISTANCE |
| | EGRESS PATH WITH TRAVEL DISTANCE DECISION POINT |
| | EGRESS DIAGONAL DISTANCE |
| | EXIT DOOR CAPACITY AND CLEAR EXIT WIDTH |
| | FIRE EXTINGUISHER (E - EXISTING) |
| | FIRE EXTINGUISHER CABINET |
| | 1 HOUR FIRE RATED |
| | 1.5 HOUR FIRE RATED |
| | 2 HOUR FIRE RATED |
| | 2 HOUR FIRE RATED |
| | 2 HOUR FIRE RATED |
| | 2 HOUR FIRE RATED |

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Issued 01/07/22

BID SET

| | |
|--------------------|---------|
| Revisions | |
| 1 PERMIT REVISIONS | 2/11/22 |

LIFE SAFETY

Scale 1/8" = 1'-0"
 Drawn Author
 Checked Checker

LS1.01

BID SET

GENERAL NOTES:

- 1 THE DRAWINGS COMPRISING THIS SET OF CONSTRUCTION DOCUMENTS ARE CONSIDERED TO BE ONE WHOLE. INFORMATION INCLUDED IN THESE DRAWINGS SHALL BE AS SHOWN AS IF INCLUSIVE OF ALL REGULATIONS OF TRADE ASSIGNMENTS. ANY DOUBT AS TO WHETHER ANY WORK IS WITHIN THE SCOPE OF THE CONTRACT SHALL BE RESOLVED IN FAVOR OF AN INTERPRETATION THAT THE WORK IS WITHIN THE SCOPE OF THE CONTRACT, UNLESS AGREED OTHERWISE BY ALL PARTIES. REVIEW ALL DOCUMENTS AND, IMMEDIATELY UPON DISCOVERY, NOTIFY THE ARCHITECT OF DOCUMENT CONFLICTS IN WRITING.
1A THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL OTHER PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR A PROPER COMPLETION OF WORK ASSOCIATED WITH THIS PROJECT.
2 VISIT THE PROJECT TO BE FAMILIAR WITH SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. BY SUBMITTING A BID, THE CONTRACTOR AND HIS SUBCONTRACTORS ARE CONFIRMING THAT THEY HAVE VISITED THE SITE AND HAVE INCLUDED IN THEIR BID ANY ADDITIONAL ITEMS OF CONSTRUCTION THAT MAY BE REQUIRED DUE TO EXISTING PROJECT AND SITE CONDITIONS.
3 CONTACT OWNER'S BUILDING MANAGER FOR RULES AND REGULATIONS THAT MAY IMPOSE RESTRICTIONS ON WORK TIMES, PARKING, NOISE, MATERIAL STORAGE, TRASH LOCATIONS, USE OF LOADING AREAS, AND USE OF UTILITIES
4 DO NOT PROCEED WITH ANY WORK THAT MAY RESULT IN ADDITIONAL COST OR ADDITIONAL TIME TO THE PROJECT UNLESS APPROVED OR INSTRUCTED BY OWNER AND ARCHITECT IN WRITING. DETERMINE THE ADDITIONAL COST OR TIME AND SUBMIT THE PROPOSED MODIFICATIONS TO THE OWNER FOR APPROVAL. PROCEEDING WITH WORK REQUIRING ADDITIONAL COST OR TIME PRIOR TO WRITTEN APPROVAL BY THE OWNER WILL NOT BE APPROVED.
5 ARRANGE TO MEET WITH OWNER'S REPRESENTATIVES PRIOR TO BEGINNING OF CONSTRUCTION TO DOCUMENT EXISTING CONDITIONS OF THE EXISTING FACILITY, PARKING, AND SITE. PROVIDE MACHINE READABLE COPY OF DATED VIDEO/PHOTO-DOCUMENTATION REQUIREMENTS WITHIN 14-DAYS OF NOTICE TO PROCEED.
6 PROVIDE COMPUTER READABLE COPY OF DATED VIDEO / PHOTO-DOCUMENTATION REQUIRED WITHIN 14-DAYS OF NOTICE TO PROCEED.
7 VERIFY EXISTING CONDITIONS AND REPORT DIFFERENCES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
8 ALL WORK IS NEW UNLESS OTHERWISE NOTED.
9 WORK SHALL INCLUDE ALL LABOR, MATERIALS, ASSEMBLIES, AND FINISHES INCLUDING ALL PARTS AND ACCESSORIES NECESSARY TO MAKE A COMPLETE, IN-PLACE, PROPERLY WORKING INSTALLATION.
10 WHERE A DIMENSION IS SPECIFICALLY NOTED WITH A "x" DESIGNATION, THE DIMENSION IS TO BE CONTROLLED BY FIELD VERIFIED CONDITIONS. NOTIFY THE ARCHITECT IMMEDIATELY UPON CONFIRMATION OF THE ACTUAL DIMENSION. NO REFERENCE OR DESIGNATION WITH THESE DOCUMENTS SHALL BE CONSIDERED TO ESTABLISH A CONSTRUCTION TOLERANCE. THE DIMENSIONS ARE PRECISE AS INDICATED.
11 INSTALL ALL MATERIAL/ PRODUCTS/EQUIPMENT FOR THIS PROJECT IN STRICT ACCORDANCE WITH THE MANUFACTURERS' LATEST PUBLISHED SPECIFICATIONS/ RECOMMENDATIONS/ INSTRUCTIONS, UNLESS OTHERWISE NOTED. PROVIDE ANY AND ALL RECOMMENDED ACCESSORIES, PRIMER, AND SURFACE PREPARATION AS PART OF BASE BID WHETHER OR NOT SPECIFICALLY CALLED OUT ON DWGS OR SPECS.
12 PERFORM WORK IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES/ORDINANCES, AND OSHA REQUIREMENTS.
13 USE THE EXISTING BUILDING IN A MANNER WHICH WILL NOT DEFACE OR DAMAGE THE EXISTING FACILITIES IN ANY FASHION. DAMAGE BY CONTRACTOR SHALL BE REPAIRED/ REPLACED BY THE CONTRACTOR AS A COMPONENT OF THE BASE CONTRACT. PROVIDE PROTECTIVE MATERIAL AS WARRANTED.
14 PROVIDE CONSTRUCTION BARRIERS AND NEGATIVE AIR-PRESSURE AS REQUIRED TO CONTAIN DUST WITHIN EACH WORK AREA. PROVIDE TEMPORARY FILTER MEDIA AT ALL RETURN AIR REGISTERS AND OPEN RETURN DUCTS SERVING THE WORK AREA.
15 PROVIDE TEMPORARY STUD AND GWB PARTITIONS TO PREVENT OCCUPANTS FROM ENTERING WORK AREAS WHEN THE BUILDING IS OCCUPIED.
16 ACCESS TO ADJACENT SPACES NOT CONTAINED IN THE CURRENT AREA OF THE WORK SHALL BE BEFORE / AFTER NORMAL HOURS OF BUILDING OPERATION / OCCUPANCY UNLESS APPROVED IN WRITING BY OWNER. AFTER WORK HAS BEEN COMPLETED WITHIN OCCUPIED SPACES, LEAVE THE PREMISES IN THE CONDITION IN WHICH IT WAS FOUND, OR BETTER. OBTAIN WRITTEN PERMISSION FOR ACCESS MIN. OF 24-HOURS IN ADVANCE AND COORDINATE THE WORK WITH THE OWNER/ BUILDING MANAGER/ TENANT FOR SUCH ACCESS.
17 USE ONLY THOSE ENTRANCES AND PARKING FACILITIES APPROVED BY OWNER FOR SITE ACCESS. MATERIAL DELIVERIES AND DEMOLITION / TRASH SHALL BE TRANSPORTED DURING THOSE HOURS AND ON ROUTE PRESENTED TO AND REVIEWED AND APPROVED BY OWNER/ LANDLORD/ TENANT. PROVIDE COMPREHENSIVE TRAFFIC MANAGEMENT PLAN FOR REVIEW AND COMMENT BY THE COUNTY/ LANDLORD PRIOR TO MOBILIZATION.
18 PROVIDE COMPREHENSIVE TRAFFIC MANAGEMENT PLAN FOR REVIEW AND COMMENT BY THE COUNTY/ OWNER/ BUILDING MANAGER PRIOR TO MOBILIZATION.
19 DO NOT ALTER, LOAD OR PENETRATE THE EXISTING STRUCTURE IN ANY MANNER WHICH MAY COMPROMISE ITS INTEGRITY. PROVIDE STRUCTURAL ANALYSIS OF ALL CONSTRUCTION LOADS AND PROPOSED PENETRATIONS REQUIRED FOR THE WORK.
20 PROVIDE AND USE TEMPORARY TOILET FACILITIES. DO NOT UTILIZE EXISTING OR PROPOSED FACILITIES WITHIN OR ADJACENT TO THE PROJECT.
21 WHERE REFERENCE IS MADE TO "BUILDING SYSTEMS", THIS SHALL INCLUDE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, FIRE PROTECTION, TELEPHONE, AUDIO VISUAL, IT, SECURITY, INTERCOM, AND FIRE ALARM / LIFE SAFETY COMPONENTS.
22 COORDINATE MOUNTING / INSTALLATION OF LIGHTING FIXTURES, MECH. DIFFUSERS, SPRINKLER HEADS AND OTHER DEVICES WITH TYPE OF CEILINGS AND WALLS TO BE PROVIDED. PROVIDE HANGERS, SUPPORTS, SEISMIC STRUTS AND CLIPS, CUT-OUTS, TRIM RINGS, AND EDGE TRIM REQUIRED FOR A COMPLETE INSTALLATION.
23 PROVIDE ALL MATERIAL AND LABOR REQUIRED TO PRODUCE A COMPLETED, FINISHED PROJECT. FAILURE TO INCLUDE ITEMS INDICATED TO BE PROVIDED, THOUGH NOT DETAILED, SHALL NOT CONSTITUTE THE BASIS FOR A CHANGE ORDER.
24 FIRESTOP ALL PENETRATIONS THROUGH THE FLOOR / ROOF SLABS AND THROUGH FIRE RATED PARTITIONS PER UL LISTED DETAILS AND COMPLYING WITH APPLICABLE CODES AND LOCAL FIRE MARSHAL REQUIREMENTS. SELECT, PROVIDE AND INSTALL SUCH FIRESTOPPING SYSTEMS AND SOLICIT/ OBTAIN THE NECESSARY APPROVAL(S) FROM THE AUTHORITIES HAVING JURISDICTION.
25 REQUEST ALL REPORTS OWNER MAY HAVE IDENTIFYING ASBESTOS IN THE BUILDING. THE PRESENCE OR ABSENCE OF ASBESTOS CONTAINING MATERIALS IN EXISTING CONSTRUCTION IS NOT KNOWN TO THE OWNER. REPORT WRITTEN FINDINGS OF ANY SUSPECTED ASBESTOS CONTAINING MATERIALS (ACM) TO OWNER IMMEDIATELY. OWNER WILL TEST AND PURSUE ABATEMENT WHERE DETERMINED TO BE REQUIRED BY THE PROJECT.
26 WHERE DEMOLITION OR NEW WORK INTERRUPTS OR REMOVES EXISTING FINISHES, SIGNAGE, OR WALL PROTECTION DEVICES, REPAIR/REPLACE IN KIND UPON COMPLETION OF, AND AS A COMPONENT OF, NEW WORK.
27 PROVIDE NEOPRENE GASKETS AND / OR WASHERS AS APPROPRIATE WHERE DISSIMILAR METALS WOULD COME IN CONTACT WITH ONE ANOTHER TO ENSURE GALVANIC CORROSION OF THE METALS OR FASTENERS IS AVOIDED. SUCH DISSIMILAR METALS INCLUDE BUT ARE NOT LIMITED TO COATED COPPER, STEEL, GALVANIZED STEEL, AND ALUMINUM. AT SUCH CONNECTIONS REQUIRING FASTENERS, STAINLESS STEEL FASTENERS WITH NEOPRENE WASHERS TO ISOLATE THE METALS SHALL BE UTILIZED.
28 DIMENSIONS INDICATED ARE TO FINISHED WALL SURFACES, OR COLUMN CENTER LINES, UNLESS NOTED OTHERWISE.
29 INSPECT, TEST, AND CLEAN ALL EXISTING LIGHT FIXTURES, DIFFUSERS, EQUIPMENT, ETC. TO REMAIN. ASSURE PROPER OPERATION AND FUNCTION.
30 PROTECT ALL EXISTING TO REMAIN WINDOWS & BLINDS IN THE WORK AREAS DURING CONSTRUCTION, AND CLEAN AS PART OF FINAL CLEANING.
31 FILL ALL HOLES IN EXISTING SLAB CREATED IN DEMOLITION WORK W/ CONCRETE TO PROVIDE A SMOOTH, FLAT MONOLITHIC SURFACE AND MAKE READY TO RECEIVE NEW FINISHES.
32 MODIFY EXISTING BUILDING SPRINKLER SYSTEMS TO ACCOMMODATE THE WORK AND COMPLY WITH ALL APPLICABLE CODES, NFPA 13, AND THE FIRE PROTECTION ENGINEER. EXACT LAYOUT OF SPRINKLER HEADS IN AREAS WITH GYPSUM BOARD CEILINGS AND SOFFITS, ETC. SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
33 REMOVE ALL CONSTRUCTION DEBRIS DAILY AND AS REQUIRED TO MAINTAIN A CLEAN ENVIRONMENT AND TO PREVENT THE POSSIBILITY OF ACCIDENT OR FIRE. COORDINATE REMOVAL WORK WITH OWNER IN OCCUPIED SPACES. MAINTAIN WORKING FIRE EXTINGUISHERS IN THE PROJECT AREA DURING CONSTRUCTION WHEN SPRINKLER SYSTEM IS UNDERGOING MODIFICATIONS.
34 ANY AND ALL MATERIALS AND INSTALLATION METHODS USED IN THE MODIFICATION OF THE EXISTING ROOF SYSTEM SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE EXISTING ROOF WARRANTY.
35 CONFIRM LOCATIONS OF ELECTRICAL, DATA, AND COMMUNICATION OUTLETS WHEN SURROUNDED BY OR ABUTTING MILLWORK WITH THE ARCHITECT PRIOR TO ROUGH-IN AND FABRICATION.
36 CONFIRM PLUMBING PENETRATIONS THROUGH THE FLOOR AND FLOOR MOUNTED OUTLET LOCATIONS WITH THE OWNER AND ARCHITECT BEFORE CORE DRILLING OR CUTTING OF FLOOR SYSTEM.
37 CONTACT ARCHITECT FOR CLARIFICATION IF EXISTING OUTLET HEIGHTS OR LOCATIONS DO NOT MATCH THAT INDICATED IN THE DRAWINGS.
38 REPLACE ALL EXISTING DEVICES AND COVER PLATES TO MATCH THOSE SPECIFIED.
39 LOCATE DOWN LIGHTS, SPRINKLER HEADS, SMOKE DETECTORS AND EXIT SIGNS IN THE CENTER OF SUSPENDED CEILING TILES, UNLESS OTHERWISE NOTED.
40 REVIEW PLACEMENT OF WALL OR CEILING ACCESS PANELS WITH THE ARCHITECT.
41 PROVIDE A FINAL PROFESSIONAL CLEANING OF THE ENTIRE SPACE AFTER CONSTRUCTION AND PUNCH LIST ITEMS ARE COMPLETE AND PRIOR TO TENANT OCCUPANCY.
42 SALVAGE, PROTECT, AND STORE UNUSED MATERIALS ORDERED FOR PROJECT. PROVIDE UNUSED MATERIALS AS ATTIC STOCK, AND DELIVER TO OWNERS DESIGNATED LOCATION.
43 ALL EXISTING BUILDING SYSTEMS (EXAMPLE: WATER, SANITARY, FIRE ALARM, ELECTRICAL, ETC.) SHALL REMAIN IN OPERATION THROUGHOUT CONSTRUCTION. ALL NECESSARY INTERRUPTIONS FOR CONNECTION OF NEW WORK SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER IN WRITING, IN ADVANCE. PROVIDE ADEQUATE NOTICE AS AGREED UPON PRIOR TO START OF WORK.

GENERAL DEMOLITION NOTES:

- 1 DEMOLITION PLANS ARE PROVIDED AS A GENERAL GUIDE TO THE DEMOLITION WORK. DEMO PLANS ARE NOT MEANT TO CONTAIN A COMPLETE DESCRIPTION OF ALL MATERIALS TO BE REMOVED. PRIOR TO BIDDING, COORDINATE WITH OWNER AND PERFORM AN INDEPENDENT SITE VISIT IN ORDER TO FIELD SURVEY AND BE THOROUGHLY FAMILIAR WITH THE PROJECT AND DEMOLITION EFFORTS REQUIRED BY THE SCOPE AND EXTENT OF THE WORK INDICATED. CHANGE ORDERS FOR DEMOLITION WORK (WHETHER SHOWN OR NOT) SHALL NOT BE APPROVED WHERE DEMOLITION IS REQUIRED BY THE NEW WORK.
2 SURVEY THE WORK PRIOR TO DEMOLITION ACTIVITY AND PERFORM PROTECTIVE / CORRECTIVE MEASURES AS NECESSARY TO ENSURE INTEGRITY OF EXISTING FIRE PROTECTION SYSTEMS.
3 REFERENCE STRUCTURAL AND MECHANICAL, PLUMBING AND ELECTRICAL (MPE) PLANS FOR ADDITIONAL INFORMATION.
4 COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH ALL WORK.
5 PROVIDE TEMPORARY ENCLOSURE WITH NEGATIVE AIR PRESSURE AND TOOLS EQUIPPED WITH AN INTEGRATED WATER DELIVERY SYSTEM WHEN PERFORMING ANY CONSTRUCTION ACTIVITIES THAT BEAR THE POTENTIAL TO GENERATE DUST AND/OR AIRBORNE PARTICULATE MATTER RELATED TO THE DEMOLITION OF BRICK, MORTAR, GROUT, CONCRETE MASONRY, AND CONCRETE MATERIALS INDOORS OR IN AN ENCLOSED AREA. PROVIDE WORKERS WITH RESPIRATORY PROTECTION AND ASSIGNED PROTECTION FACTOR (APRF) TO PER OSHA STANDARD 29 CFR 1926.1153 - RESPIRABLE CRYSTALLINE SILICA. REFER TO TABLE 1—SPECIFIED EXPOSURE CONTROL METHODS WHEN WORKING WITH MATERIALS CONTAINING CRYSTALLINE SILICA.
6 PROVIDE SHORING, BRACING, AND SUPPORTS AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE PROJECT BEFORE CUTTING OR ALTERING ANY OPENING IN AN EXISTING LOAD BEARING OR NON-LOAD BEARING WALL, FOOTING, OR ROOF DECK. LEAVE BRACING IN PLACE UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS.
7 PROVIDE TEMPORARY MASONRY SUPPORT AT NEW OPENINGS CUT IN EXISTING MASONRY WALLS, WHETHER LOAD BEARING OR NON-LOAD BEARING, WITH MINIMUM #8 BEARING, UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS.
8 TOOTH-IN MASONRY WHERE EXISTING MASONRY ABUTS NEW MASONRY IN THE SAME WALL PLANE. NEW MASONRY SHALL MATCH EXISTING COURSING, TEXTURE, COLOR, AND BOND PATTERN. PROVIDE A FINISHED EDGE BY TOOTHING-IN NEW MASONRY TO MATCH EXISTING WHERE A PORTION OF AN EXPOSED EXISTING MASONRY WALL IS TO BE REMOVED UNO.
9 WHERE RECESSED EQUIPMENT, DATA AND ELECTRICAL OUTLETS ARE CALLED TO BE REMOVED FROM A CMU WALL - DEMOLISH THE ENTIRE CMU FACE AND REPLACE WITH NEW, COORDINATE WITH ELECTRICAL DOCUMENTS.
10 OWNER WILL REMOVE ALL LOOSE AND MOVABLE FURNITURE PRIOR TO THE START OF WORK.
11 THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL SALVAGED ITEMS. STORE SALVAGED ITEMS FOR OWNER WHERE DIRECTED BY THE OWNER.
12 DO NOT PERFORM DEMOLITION BEYOND THE SCOPE REQUIRED BY THE WORK. COORDINATE SUCH EFFORTS PRIOR TO START OF CONSTRUCTION AND MAINTAIN ACTIVE COORDINATION OF DEMOLITION AND THE WORK DURING CONSTRUCTION.
13 PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE FOR DURATION OF CONSTRUCTION. REPAIR/ REPLACE EXISTING CONSTRUCTION WHICH IS DAMAGED DURING COURSE OF CONSTRUCTION AS COMPONENT OF BASE CONTRACT.
14 "READY TO RECEIVE NEW FINISHES" REFERS TO SURFACES WHICH ARE FREE OF DEFECTS, SMOOTH, AND FLAT. PREPARE FLOORS, WALLS, AND CEILINGS AS REQUIRED TO PRODUCE THIS RESULT. AS A COMPONENT OF THE BASE BID, SCRAPE AND LEVEL/FILL SLABS AND SURFACES WITH SELF-LEVELING UNDERLAYMENT; SAND SKIM-COAT GWB WALLS AS NEEDED.
15 REMOVE ALL ABANDONED EXISTING CEILING MOUNTED EQUIPMENT.
16 REMOVE ALL ABANDONED EXISTING SECURITY CAMERAS AND CCTV DEVICES. PATCH AND REPAIR SURFACES AND MAKE READY TO RECEIVE NEW FINISHES.
17 SALVAGE ALL EXISTING INTERIOR SIGNAGE. COORDINATE WITH DEMO AND NEW WORK PLANS AND BUILDING OWNER WHICH SIGNS REMAIN AND WHICH ARE TO BE RELOCATED. TAG THE BACK OF ALL REMOVED SIGNAGE W/ PRIOR LOCATION TO ASSIST W/ REINSTALLATION. REVIEW NEW LOCATIONS WITH THE ARCHITECT.
18 DEMOLISH ALL EQUIPMENT, CASEWORK, ETC. ATTACHED TO PARTITIONS INDICATED TO BE DEMOLISHED.
19 REMOVE ALL EXISTING EXTERIOR LIGHTS. COORD WITH ELEC DOCS FOR REPLACEMENT IN EXISTING LOCATIONS.
20 PATCH AND REPAIR EXISTING PARTITIONS, FLOORS OR CEILINGS WHERE FINISHES HAVE BEEN DISTURBED OR INTERRUPTED DUE TO REMOVAL OF CONTIGUOUS PARTITIONS, DOORS, WINDOWS, CASEWORK OR MECHANICAL, ELECTRICAL OR PLUMBING FIXTURES OR DEVICES. PROVIDE A SMOOTH MONOLITHIC FINISH TO MATCH AND ALIGN WITH ADJACENT SURFACE.
21 REMOVE ALL MISCELLANEOUS MATERIALS, ADHESIVE RESIDUE, OVER-PAINTING, ETC. FROM EXISTING UNPAINTED WINDOW SILLS AND FRAMES. ALL SURFACES TO BE CLEAN, FREE AND CLEAR OF ANY DEBRIS AND FOREIGN MATERIAL.
22 REMOVE ALL MASTICS, ADHESIVES AND GROUTS FROM SURFACES TO REMAIN AND PROVIDE SMOOTH, FLAT SURFACE READY TO RECEIVE NEW FINISHES AS SCHEDULED.
23 SHOT-BLAST EXISTING CONCRETE FLOOR SLABS WHERE RESILIENT FLOOR FINISHES ARE TO BE INSTALLED. PROVIDE A SMOOTH, FLAT SURFACE, FREE OF DEBRIS AND READY TO RECEIVE NEW FINISHES. COORDINATE LOCATIONS WITH FINISH PLAN.
24 PROVIDE THE QUANTITY, SIZE AND LOCATION OF CORE DRILL HOLES TO THE OWNER/BUILDING MANAGER/ARCHITECT FOR REVIEW AND COMMENT. INCLUDE ALL CORES REQUIRED TO COMPLETE THE FULL SCOPE OF THIS PROJECT.
25 CORE DRILL AND REMOVE DEBRIS TO FACILITATE INSTALLATION OF NEW WORK. CORE DRILL EXISTING CONCRETE SLAB ONLY AFTER FIRST USING X-RAY SCANNING TO DETERMINE LOCATIONS OF SLAB REINFORCEMENTS AND CONDUITS. ADJUST LOCATIONS AS REQUIRED TO AVOID HITTING AND/OR CUTTING SLAB REINFORCEMENTS AND CONDUITS. COORDINATE EXTENTS WITH ARCH., MECH., ELEC. AND PLUMB. DRAWINGS.
26 REMOVE ALL EXISTING WALL COVERING, BASE MATERIALS, ETC. FROM EXISTING WALLS TO REMAIN.
27 AT ALL EXISTING WALLS TO RECEIVE NEW ELECTRICAL RECEPTACLE, DEVICES, OUTLETS, CARD READERS, ETC. - GWB SHALL BE CUT TO ACCOMMODATE NEW ITEM. PATCH & REPAIR WALL AS REQUIRED TO RECEIVE NEW FINISHES.
28 ALL EXISTING DEVICES, FIXTURES, RECEPTACLES, SWITCHES, AND CONTROLS TO REMAIN SHALL BE RESET FLUSH WITH NEW FINISHES.

GENERAL FINISH NOTES:

- 1 PROVIDE 24" X 24" WALL SAMPLE OF ALL PAINT COLORS FOR OWNER REVIEW AND APPROVAL PRIOR TO PURCHASE/ INSTALLATION.
2 PROVIDE 24" SAMPLE OF ALL WOOD CEILING, WALL, FLOOR, AND BASE PROFILES FOR OWNER APPROVAL PRIOR TO PURCHASE/ INSTALLATION.
3 PROVIDE ALL FINISH ACCESSORY PIECES REQUIRED FOR FULL AND COMPLETE INSTALLATION OF FINISH MATERIALS.
4 ALL PAINTED GWB CEILINGS TO HAVE A FLAT FINISH, UNO.
5 ALL PAINTED WALLS TO HAVE AN EGGSHELL FINISH, UNO.
6 ALL PAINTED HM FRAMES AND WOOD TRIM / BASE TO HAVE A SEMI-GLOSS FINISH, UNO.
7 ALL PAINTED DOORS TO HAVE A SEMI-GLOSS FINISH, UNO.
8 INTERIOR FINISHES SHALL BE AT LEAST EQUAL TO (OR BETTER THAN) CLASS B WHERE INSTALLED IN CORRIDORS AND EXIT PASSAGEWAYS, AND CLASS C WHERE INSTALLED IN ROOMS/ ENCLOSED SPACES.
9 PROVIDE 3 PERCENT OVERAGE ON FINISH MATERIAL QUANTITIES AS ATTIC STOCK. COORDINATE STORAGE WITH OWNER PRIOR TO PROJECT COMPLETION.
10 REFER TO SPECIFICATIONS AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFORMATION.
11 PROVIDE TRANSITION STRIPS AND THRESHOLDS AS REQUIRED. ARCHITECT TO APPROVE.
12 COPE SADDLES AND THRESHOLDS TO FIT DOOR FRAME PROFILE.
13 UNDERCUT EXISTING DOORS TO PROVIDE 1/4" CLEARANCE OVER THRESHOLDS AND TRANSITIONS.
14 REVIEW ALL FINISH LOCATIONS AND START/STOP POINTS WITH ARCHITECT PRIOR TO INSTALLATION.
15 USE LOW VOC ADHESIVE, FOLLOWING MANUFACTURERS RECOMMENDED PRODUCTS, FOR ALL CARPET, RESILIENT, AND LAMINATE FLOORING.
16 USE LOW VOC PAINTS THROUGHOUT, UNO.
17 PROVIDE ANODIZED ALUMINUM SCHLUTER "SCHIENE" STRIP AT ALL TRANSITIONS FROM CARPETING TO TILE FLOOR FINISH UNO, OR UNLESS A HEIGHT TRANSITION IS NEEDED.
18 PAINT VISIBLE DUCTWORK, PLENUM ELEMENTS, STUDS, AND OTHER ELEMENTS FLAT BLACK WHERE THEY CAN BE SEEN THROUGH GRILLES, REGISTERS, LOUVERS, AND DIFFUSERS.

GENERAL PARTITION NOTES:

- 1 CONSTRUCT FIRE RATED AND STC / ACOUSTIC RATED ASSEMBLIES CONTINUOUS AROUND ROOMS WHERE INDICATED. RATED ASSEMBLIES SHALL TAKE PRECEDENCE OVER ADJACENT AND/OR PERPENDICULAR PARTITIONS. RATED ASSEMBLIES SHALL BE CONSTRUCTED PER THE DETAILS AND REQUIREMENTS OF THE ASSEMBLY INDICATED. SEAL ALL GAPS, SEAMS, AND PENETRATIONS IN STC / ACOUSTIC RATED ASSEMBLIES AIRTIGHT.
2 CONSTRUCT FIRE AND SMOKE BARRIER WALLS CONTINUOUS THROUGH SOFFITS, OVERHANGS, ANY INTERSTITIAL SPACES, AND NON-RATED PARTITIONS. SEAL PENETRATIONS AT FIRE AND SMOKE BARRIER WALLS. WHERE MULTIPLE LAYERS OF GWB USED, STAGGER JOINTS.
3 SEAL ALL FIRE AND SMOKE BARRIER ASSEMBLIES SMOKE-TIGHT (VIA PLASTER/ FIRE-STOP SEALANT OVER CONTINUOUS BACKING ROD) AT THE ENTIRE PERIMETER (FLOOR, ROOF & WALLS). PROVIDE MINERAL WOOL INSULATION IN INTERSTITIAL SPACE BEHIND SEALANT AND BACKING ROD, INCLUDING FLOOR AND ROOF DECK FLUTES ABOVE METAL WALL CHANNELS AT TOP OF WALL.
4 FIT GWB TIGHT TO ALL JUNCTION BOXES AND PENETRATIONS, AND SEAL.
5 PARTITION TAG WITH NUMERICAL SUFFIX INDICATES FIRE RATING REQUIRED.
6 MAINTAINING CONTINUITY OF RATED WALLS MAY REQUIRE INSTALLATION OF GWB IN SOME LOCATIONS OUT-OF-SEQUENCE PRIOR TO COMPLETING THE BALANCE OF PARTITION INSTALLATION.
7 CONSTRUCT REFERENCED RATED ASSEMBLIES IN THEIR ENTIRETY WITHOUT MODIFICATION. UL ASSEMBLIES ARE REPRINTED FROM THE UL PRODUCTS DIRECTORY WITH PERMISSION FROM UNDERWRITERS LABORATORIES INC. © COPYRIGHT © 2016 UNDERWRITERS LABORATORIES INC.
8 PROVIDE HIGH-IMPACT GWB WHERE INDICATED THUS:
9 ALIGN THE ADJACENT EXPOSED FACE OF GYPSUM WALLBOARD (GWB) AND / OR GYPSUM SHEATHING WHERE THE PARTITION THICKNESS VARIES DUE TO DIFFERENT PARTITION TYPES AND EXISTING CONDITIONS. TRANSITIONS ON THE OPPOSITE SIDE OF THESE WALLS SHALL BE HIDDEN AT INTERSECTIONS WITH OTHER PARTITIONS AND CORNERS.
10 PROVIDE 5/8" GLASS MESH MORTAR UNIT (GMMU) BOARD IN LIEU OF GWB ON WALL SURFACES TO RECEIVE CERAMIC TILE.
11 THE GWB GAP AT THE FLOOR SHALL NOT EXCEED 1/4" AND GWB SHALL NOT BE IN CONTACT WITH THE SLAB.
12 TYPICAL PARTITIONS INDICATE DEFLECTION TRACK AT STEEL FRAMED BUILDINGS. OMIT DEFLECTION TRACK AT CONCRETE FRAMED BUILDINGS UNO.
13 PARTITION DESIGNATION TAG SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION.
14 UNLESS NOTED OTHERWISE, PARTITION DESIGNATION TAGS REPRESENT THE ENTIRE LENGTH AND HEIGHT OF THE PARTITION AT WHICH IT IS LOCATED.
15 OFFSET INSTALLATION OF RECESSED JUNCTION BOXES AND EQUIPMENT ONE STUD CAVITY - DO NOT INSTALL BACK-TO-BACK IN SAME STUD CAVITY.
16 THE AGGREGATE SURFACE AREA OF OUTLET BOXES SHALL NOT EXCEED 100 sq IN WITHIN ANY 100 SF.
17 INFILL EXISTING WALLS AND PENETRATIONS WITH MATERIALS AND RATED CONSTRUCTION TO MATCH EXISTING AND ALIGN EXPOSED SURFACES.
18 ALL PARTITIONS SHALL BE TYPE ___ UNLESS NOTED OTHERWISE OR REQUIRED FOR RATED CONSTRUCTION.
19 PROVIDE CONTINUOUS STRIP OF 15-LB FELT OR NEOPRENE SILL GASKET WHERE METAL RUNNER OR WD PLATE IS INSTALLED ON CONCRETE.
20 METAL STUDS INDICATED USE NON-LOAD BEARING, 1/2" DEFLECTION, AND 5 PSF AIR-PRESSURE DESIGN CRITERIA UNLESS OTHERWISE NOTED. METAL STUD CONTRACTOR SHALL EVALUATE STUDS IF HIGHER DESIGN CRITERIA AND/OR LOAD BEARING PARTITIONS ARE USED.
21 METAL STUD CONTRACTOR SHALL BE, OR SHALL CONSULT WITH, A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE PROJECT LOCATION. METAL STUD CONTRACTOR SHALL ENGINEER THE STUD GAUGES AND ATTACHMENT METHODS NECESSARY TO PROVIDE THE FRAMING IN THE CONFIGURATIONS INDICATED. ALL STUD GAUGES SHALL BE DETERMINED BY THE METAL STUD CONTRACTOR AND SHALL BE APPROPRIATE FOR THE APPLICATION. SUBMIT FRAMING SHOP DRAWINGS FOR THE VARIOUS CONDITIONS INDICATING THE STUD SIZE, GAUGE AND CALCULATIONS TO SUPPORT THE DESIGN SIGNED AND SEALED BY AN ENGINEER.
22 SEE TYPICAL DETAILS FOR FRAMING AROUND OBSTRUCTIONS.
23 DO NOT ATTACH GWB TO RESILIENT CHANNEL (RC) AT STUD LOCATIONS. RC MUST REMAIN FREE TO MOVE.

GENERAL CEILING NOTES:

- 1 REFER TO RCP AND FINISH PLANS FOR CEILING FINISH DESIGNATIONS.
2 WHERE EXPOSED STRUCTURE CEILINGS ARE INDICATED, NEATLY BUNDLE EXISTING WIRES, CONDUIT, AND PIPING TIGHT TO DECK OR JOISTS. AVOID LOCATING WIRES, CONDUIT, AND PIPING IN EXPOSED STRUCTURE AREAS.
3 SUBMIT CONTRACTOR PREPARED SHOP DRAWINGS TO AUTHORITY HAVING JURISDICTION FOR SPRINKLER APPROVAL PRIOR TO PERFORMING WORK. PROVIDE CEILING HEIGHTS INDICATED. LOCATE SPRINKLER HEADS IN THE CENTER OF SUSPENDED ACOUSTICAL TILES. ADJUST SPRINKLER HEAD HEIGHTS AND LOCATIONS TO ACCOMMODATE PROPOSED CEILING HEIGHTS, LAYOUT, AND PATTERNS. CEILINGS MAY DIFFER FROM EXISTING CONDITIONS.
4 COORDINATE ALL MPE AND SPRINKLER WORK WITH HEIGHT AND TYPE OF CEILING FINISHES.
5 COORDINATE MOUNTING FLANGES OF ALL FIXTURES WITH CEILING TYPE TO RECEIVE FIXTURES.
6 COORDINATE W/ MECHANICAL, ELECTRICAL, PLUMBING DWGS FOR SPECIFIC ACCESS PANEL LOCATIONS. NOT ALL ARE SHOWN ON RCP.
7 FOLLOW GWB MANUFACTURER'S WRITTEN GUIDELINES FOR RADIUS APPLICATIONS AT CURVED WALLS AND BULKHEADS. PROVIDE LEVEL 5 DRYWALL FINISH ON ALL CURVED WALLS, CEILINGS, AND BULKHEADS.
8 EXTEND GYPSUM BOARD UP EXISTING WALLS WHERE NEW CEILING HEIGHT IS GREATER THAN EXISTING CEILING HEIGHTS.

UL Product IQ™

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• When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
• Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada Design Criteria and Allowable Variances

Design No. U905

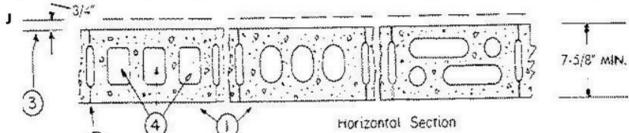
November 09, 2020

Bearing Wall Rating — 2 HR.

Nonbearing Wall Rating — 2 HR

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUVZ

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



- 1. Concrete Blocks* — Various designs. Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers.
2. Mortar — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
4. Loose Masonry Fill — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Klin Process), water repellant vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
5. Foamed Plastic* — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1). ATLAS ROOFING CORP — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", EnergyShield CGF Pro and EnergyShield Ply Pro

CARLISLE COATINGS & WATERPROOFING INC — Type R2+ SHEATH

DUPONT DE NEMOURS, INC. — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax ci Exterior Insulation, Thermax XARMOR ci Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HDP), TUFF-R™ ci Insulation, Thermax Butler StyWall Insulation Board and Thermax Morton Heavy Duty Insulation Board

FIRESTONE BUILDING PRODUCTS CO L L C — "Evereng™ CI Foil Exterior Wall Insulation" and "Evereng™ CI Glass Exterior Wall Insulation"

HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC — Types "Xci-Class A", "Xci Foil (Class A)", "Xci 286"

RMAX, A BUSINESS UNIT OF SIKA CORPORATION — Types "TSX-8500", "ECOMAXci FR", "TSX-8510", "ECOMAX ci FR White", "ECOMAXci", "ECOMAXci FR Air Barrier", "Thermasheath-XP", "Thermasheath", "Durasheath", "Thermasheath-3", "Durasheath-3".

JOHNS MANVILLE — Type "AP Foil-Faced Foam Sheathing"

5A. Building Units* — As an alternate to Items 5, min. 1-in thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in. HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC — "Xci NB", "Xci Ply"

RMAX, A BUSINESS UNIT OF SIKA CORPORATION — "Thermasheath-Si", "ECOBASeg", "ThermaBase-CI", "ECOMAXci FR Ply", "ECOMAXci Ply".

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2020-11-09

The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL's Follow-Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL's Follow-Up Service. Always look for the Mark on the product.

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ARLINGTON COUNTY BOARD SOLID WASTE + TE&O INTERIOR RENOVATION 4300 S. 29TH STR. ARLINGTON, VA. 22206

Project: 21124-01

Issued 01/07/22

BID SET

Revisions

1 PERMIT REVISIONS 2/11/22

GENERAL NOTES

Scale Drawn Author Checked Checker

AG1.01

BID SET



1 DEMOLITION FLOOR PLAN
1/8" = 1'-0"

HAZMAT:
ARLINGTON COUNTY HAS CONTRACTED AEROSOL MONITORING & ANALYSIS, INC. (ENVIRONMENTAL CONSULTANTS) WHO HAVE IDENTIFIED HAZARDOUS MATERIALS IN THE EXISTING BUILDING. REFER TO THE REPORT OF INVESTIGATION, PREPARED BY AEROSOL MONITORING & ANALYSIS, INC. AND ISSUED BY ARLINGTON COUNTY.

ALL HAZARDOUS MATERIALS ARE TO BE ABATED BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES REFERENCED HEREIN AND SHALL BE PERFORMED AS ESTABLISHED BY THE ENVIRONMENTAL CONSULTANTS, IN COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

KEYED DEMO NOTES:

| | |
|-----|--|
| D1 | REMOVE EXISTING CAGE. PATCH AND REPAIR EXISTING SLAB. |
| D2 | DEMOLISH PORTION OF EXISTING CONCRETE FLOOR SLAB TO ALLOW FOR BELOW SLAB PIPE WORK AND PREP FOR NEW CONCRETE SLAB AND PATCHING. |
| D3 | SAW CUT AND REMOVE EXISTING CONCRETE RAMP - REFER STRUCTURAL DRAWINGS FOR CONCRETE PATCH. |
| D4 | REMOVE PORTION OF MASONRY WALL FOR NEW OPENING. INSTALL NEW LINTEL PER STRUCTURAL SCHEDULE. SEE NEW WORK PLANS FOR SIZE OF OPENINGS. CAREFULLY REMOVE EXISTING MASONRY SO NEW MASONRY CAN BE TOOTHED-IN. TOOTH-IN MASONRY WITH SOLID CMU TO PROVIDE SMOOTH OPENING. ALL EXISTING MASONRY BLOCKS INDICATED TO BE REMOVED SHALL BE SALVAGED FOR LATER USE IN PATCHING TO MATCH. PATCH AND LEVEL FLOOR TO RECEIVE NEW FINISHES. |
| D5 | REMOVE FLOOR CARPET, BASE AND MASTIC. CLEAN, PATCH AND PREPARE FLOOR TO RECEIVE NEW FINISHES. |
| D6 | REMOVE EXISTING TOILET PARTITIONS AND ACCESSORIES. |
| D7 | DUCTWORK ABOVE TO REMAIN |
| D8 | REMOVE EXISTING COUNTERTOP, SINKS AND FAUCETS. PREPARE PLUMBING PIPING FOR NEW FIXTURES. COORDINATE WITH PLUMBING DRAWINGS. |
| D9 | REMOVE DOOR(S) AND FRAME(S). (TO INCLUDE STOPS & HOLD OPENS WHERE THEY OCCUR) |
| D10 | REMOVE DOOR ONLY. FRAME TO REMAIN AND BE REUSED WITH NEW DOOR. |
| D12 | REMOVE EXISTING PLUMBING FIXTURES AND PIPING. SEE PLUMBING DRAWINGS. |
| D14 | REMOVE EXISTING WATER HEATER. |
| D16 | REMOVE EXISTING WALL TILE AND ACCESSORIES. PREP FOR NEW SCHEDULED FINISHES. |
| D17 | REMOVE EXISTING METAL LOCKERS AND BENCHES. |
| D19 | REMOVE EXISTING CASEWORK AND APPLIANCES. PATCH / REPAIR FLOOR AND WALL FINISH TO MATCH EXISTING. |
| D20 | REMOVE EXISTING DRINKING FOUNTAIN. PREPARE PIPING FOR NEW DRINKING FOUNTAINS. COORDINATE WITH MEP DRAWINGS. |
| D22 | REMOVE EXISTING CASEWORK AND APPLIANCES. PATCH / REPAIR FLOOR AND WALL FINISH TO MATCH EXISTING. |
| D23 | REMOVE EXISTING SLIDING/FOLDING PARTITIONS CEILING TRACK AND ASSOCIATED STRUCTURAL SUPPORT AND BULKHEAD. |
| D24 | DEMOLISH EXISTING ROOF LADDER AND MATCH. REF. STRUCTURAL DRAWINGS. |
| D25 | DEMOLISH EXISTING WASH STATION. REFER TO PLUMBING. |
| D28 | REMOVE EXISTING WATER COOLER AND PATCH WALL TO MATCH EXISTING. |
| D29 | REMOVE EXISTING LOCKERS AND SALVAGE FOR REINSTALLATION. |
| D31 | EXISTING ICE MAKER TO BE RELOCATED TO ROOM 128A - REF PLUMBING DRAWINGS. |
| D33 | SEE CIVIL DRAWINGS FOR DEMOLITION OF EXTERIOR ITEMS. |
| D34 | REMOVE EXISTING BENCH. |
| D35 | EXISTING STEEL COLUMNS AND CANOPY TO REMAIN. PREPARE TO RECEIVE NEW PAINT. |
| D37 | REMOVE EXISTING RAILING. |
| D38 | REMOVE WOODEN SHED. PATCH AND REPAIR SLAB. |
| D40 | CAREFULLY REMOVE EXISTING LOCKERS AND SAVE FOR RE-INSTALLATION AFTER TILEWORK IS COMPLETE. |
| D42 | REMOVE PORTION OF EXISTING CMU PARTITION FOR NEW WORK. PATCH EXISTING CMU TO PROVIDE SMOOTH SURFACE FOR NEW WORK. |
| D43 | REMOVE PORTION OF EXISTING GWB PARTITION FOR NEW WORK. PATCH AND REPAIR WHERE EXISTING TO REMAIN. |
| D44 | REMOVE PORTION OF EXISTING GWB PARTITION FOR NEW OPENING. PATCH AND REPAIR EXISTING ADJACENT GWB SCHEDULED TO REMAIN. |
| D46 | REMOVE EXISTING FLOOR TILE, TILE BASE, AND ASSOCIATED MORTAR BED AND PREP FLOOR AND WALL FOR SCHEDULED FINISH. |
| D47 | REMOVE AND REINSTALL EXISTING BENCH. |
| D48 | REMOVE EXISTING SLAB AND PREPARE BASE FOR NEW SLAB ON GRADE. REF CIVIL DRAWINGS. |
| D49 | CUT TO CLOSEST EXISTING JOINT AND REMOVE EXISTING CONCRETE PAVING. PREPARE BASE TO RECEIVE NEW CONCRETE SLAB ON GRADE. REF CIVIL DRAWINGS. |
| D50 | REMOVE MECHANICAL DIFFUSER AND TOOTH-IN CMU TO MATCH EXISTING ADJACENT CONSTRUCTION. |
| D51 | REMOVE EXISTING VINYL TILE, BASE AND ANY MASTIC. PATCH, PREPARE AND LEVEL FLOOR AS REQUIRED TO PROVIDE A SMOOTH HOMOGENEOUS SURFACE READY TO RECEIVE NEW FINISHES. |

DEMOLITION LEGEND:

-  KEYED DEMO NOTE
-  DEMO DOOR AND FRAME
-  DEMO DOOR ONLY - FRAME TO REMAIN
-  DEMO PARTITION
-  EXISTING PARTITION TO REMAIN
-  AREA NOT IN PROJECT SCOPE



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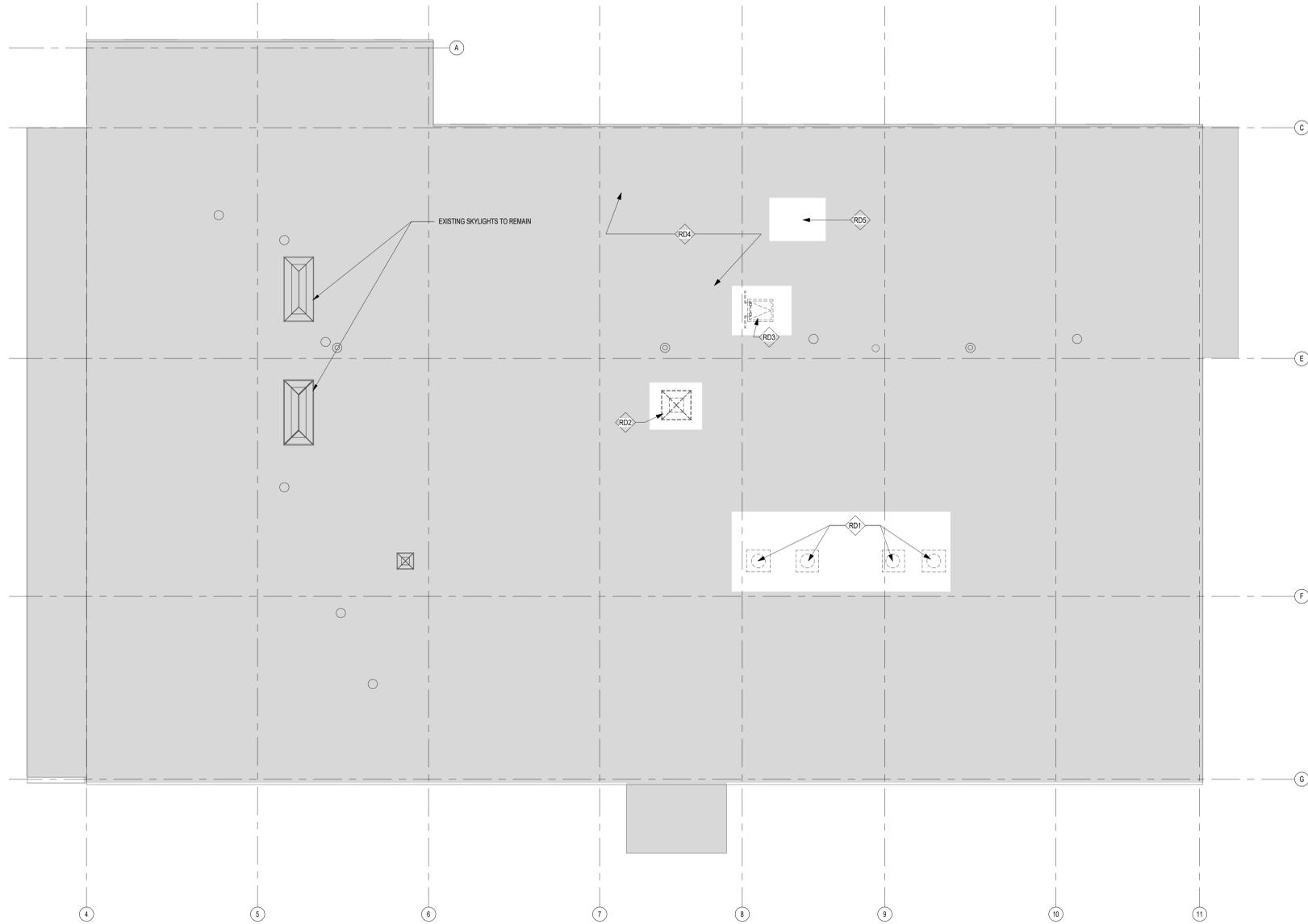
| Revisions | |
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| 1 | PERMIT REVISIONS 2/11/22 |

**DEMOLITION
FLOOR PLAN**

Scale 1/8" = 1'-0"
Drawn DF
Checked MM

AD1.01

BID SET



1 DEMOLITION ROOF PLAN
1/8" = 1'-0"

KEYED DEMO NOTES:

- RD1 DEMO AS REQUIRED FOR NEW TUBE SKYLIGHTS
- RD2 DEMO EXISTING SKYLIGHT
- RD3 REMOVE EXISTING ROOF HATCH & INFILL OPENING
- RD4 REFER TO MECHANICAL ELECTRICAL AND PLUMBING DRAWINGS FOR EXTENT OF ADDITIONAL WORK
- RD5 MODIFY ROOFING AS NECESSARY FOR MECHANICAL WORK - REF MECHANICAL DWGS



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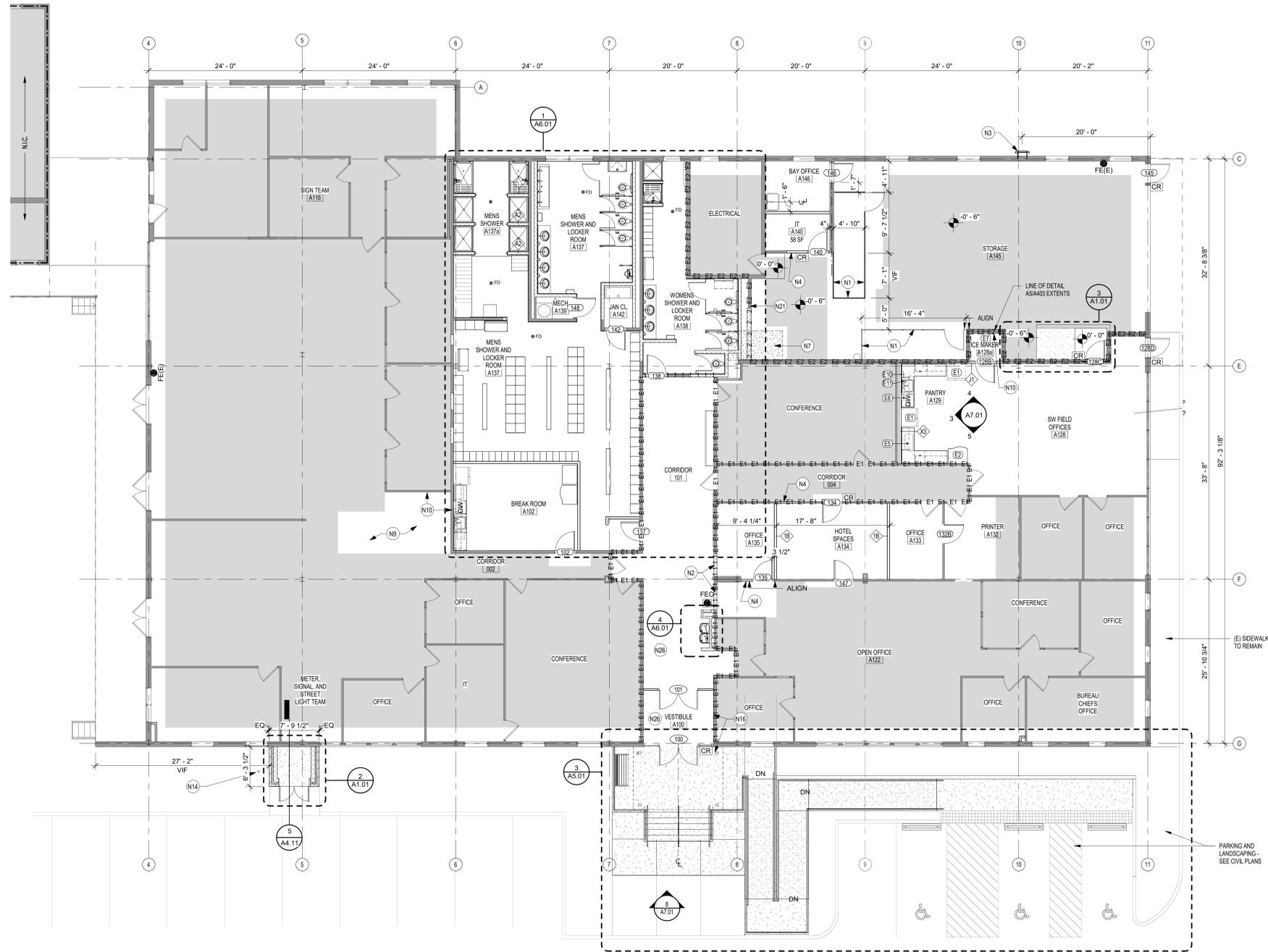
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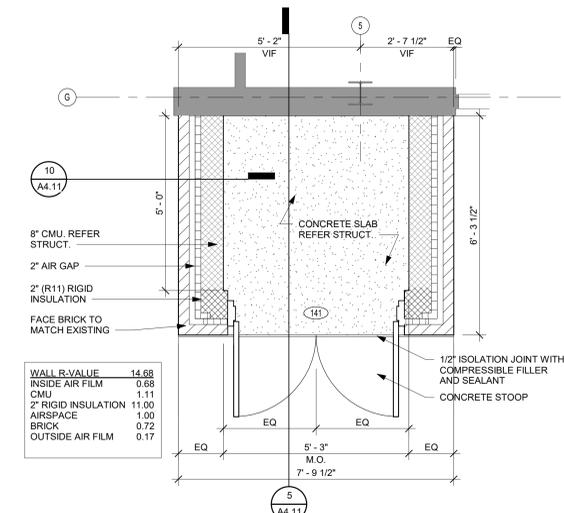
**DEMO ROOF
PLAN**

Scale 1/8" = 1'-0"
Drawn MM
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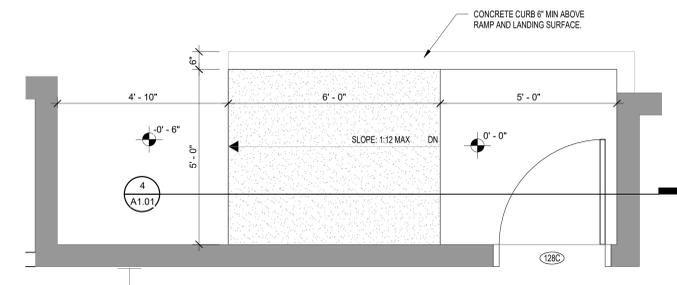
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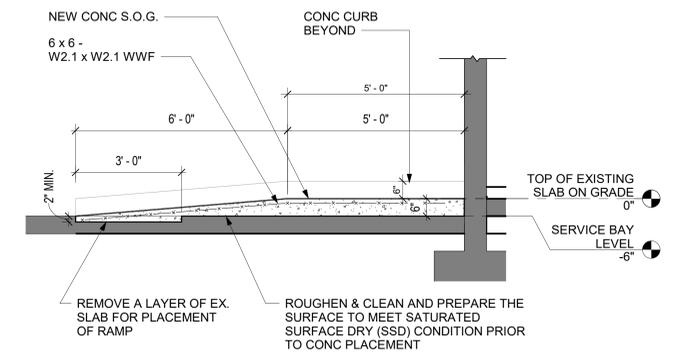
1 FLOOR PLAN
1/8" = 1'-0"



2 WATER SERVICE CLOSET
1/2" = 1'-0"



3 SERVICE BAY RAMP
1/2" = 1'-0"



4 SERVICE BAY RAMP SECTION
1/2" = 1'-0"

KEYED WORK NOTES:

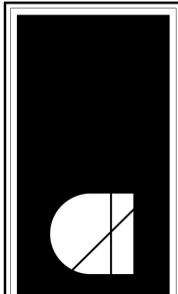
- N1 NEW CHAIN LINK FENCE AND GATES. TO MATCH SIMILAR CONSTRUCTION AND HEIGHT OF PREVIOUSLY DEMOLISHED FENCE AND GATE.
- N2 TOOTH-IN EXISTING OPENING IN CMU WITH NEW CMU TO MATCH EXISTING. FINISH TO MATCH EXISTING. MAINTAIN MIN FIRE RATING AS INDICATED.
- N3 LADDER LOCATED IN BETWEEN WINDOWS AND 10' AWAY FROM CORNER OF BUILDING MINIMUM REF SPEC.
- N4 INFILL EXISTING OPENING WITH METAL STUDS, BATT SOUND INSULATION, AND GWB TO MATCH EXISTING ADJACENT WALL THICKNESS. MATCH EXISTING ADJANET BASE AND CHAIR RAIL AS REQUIRED.
- N5 PROVIDE SCHLUTER CORNER TRIM AT ALL TILE OUTSIDE CORNERS - TYP
- N6 ADA COMPLIANT SHOWER - SLOPE TO DRAIN WITH ADA COMPLIANT THRESHOLD SIMILAR TO ZERO #8452A.
- N7 PATCH EXISTING CONCRETE TO PROVIDE SMOOTH AND HOMOGENIUS SURFACE TO MATCH EXISTING ADJACENT CONCRETE.
- N8 PATCH AND REPAIR SLAB AFTER UNDERGROUND PLUMBING IS INSTALLED.
- N9 REMOVE ALL RESIDUES / ADHESIVES. PATCH & REPAIR EXISTING FLOORING AS REQUIRED TO MATCH ADJACENT.
- N10 PATCH AND PAINT EXISTING WALL TO MATCH ADJACENT.
- N11 CLOSURE AT FACE AND ABOVE.
- N12 REINSTALL EXISTING LOCKERS.
- N13 EXISTING CONCRETE PAD TO REMAIN
- N14 CONDUIT TO ELECTRICAL ROOM. REFER TO ELECTRICAL DRAWINGS.
- N15 PROVIDE 2HR RATED WALL ASSEMBLY.
- N16 DOOR OPERATOR PUSH PLATE.
- N17 NEW TILE TO COVER THE WALL AREA WHERE THE EXISTING TILES ARE REMOVED - MATCH HEIGH
- N18 PLUMBING FIXTURE -REF PLUMBING DRAWINGS
- N19 PROVIDE 4" SHOWER CURB
- N20 NEW DRAIN. REFER TO PLUMBING DRAWINGS. COORDINATE TILE SLOPING TO DRAIN - TYP
- N21 VERIFY WHETHER THE EXISTING WALL IS 2HR FIRE RATED. REPLACE WITH NEW CMU 2HR RATED WALL IF NECESSARY.
- N22 PROVIDE AND INSTALL FIRE EXTINGUISHER AND RECESSED FIRE EXTINGUISHER CABINET
- N23 CASEWORK - REF ELEVATIONS
- N25 TOOTH-IN EXISTING OPENING IN CMU WITH NEW CMU TO MATCH EXISTING. FINISH TO MATCH EXISTING
- N26 PROVIDE UP TO 3" TOPPING SLAB IN THIS AREA TO INFILL PREVIOUS MORTAR BED

SCHEDULE - SPECIALTY EQUIPMENT

| Type Mark | Manufacturer | Model | Description | Installation / Procurement |
|-----------|------------------|-------------|---------------------------------------|--|
| E1 | HAIER | HRQ16N3BGS | REFRIGERATOR | CONTRACTOR PROVIDED AND INSTALLED |
| E2 | | SODA | VENDING MACHINE - SODA | OWNER PROVIDED AND INSTALLED |
| E3 | | CANDY | VENDING MACHINE - CANDY | OWNER PROVIDED AND INSTALLED |
| E4 | Bosch | SGX8BU55UC | DISHWASHER | CONTRACTOR PROVIDED AND INSTALLED |
| E5 | General Electric | JES1657SMSS | MICROWAVE | CONTRACTOR PROVIDED AND INSTALLED |
| E6 | | COOPER | COOPER | OWNER PROVIDED AND INSTALLED |
| E7 | EXISTING | EXISTING | ICE MAKER | EXISTINGS TO BE RELOCATED |
| E8 | INFINITY UV | | HOT AND CHILLED WATER DISPENSER | CONTRACTOR PROVIDED AND INSTALLED. REQUIRES WATER LINE |
| E9 | HAIER | HRQ16N3BGS | REFRIGERATOR W/ WATER AND ICE | CONTRACTOR PROVIDED AND INSTALLED. |
| E10 | BOBRICK | B-2621 | SURFACE-MOUNTED PAPER TOWEL DISPENSER | CONTRACTOR PROVIDED AND INSTALLED |
| E11 | BOBRICK | B-8226 | LAVATORY-MOUNTED SOAP DISPENSER | CONTRACTOR PROVIDED AND INSTALLED |

NEW WORK LEGEND:

- (N1) KEYED NEW WORK NOTE
 - EXISTING DOOR TO REMAIN
 - NEW DOOR AND FRAME
 - NEW DOOR, FRAME, AND SIDE LITE
 - NEW FRAMELESS GLASS DOOR
 - NEW PARTITION
 - EXISTING PARTITION
 - NO WORK IN THIS AREA
 - DIMENSION FROM FACE OF FINISH
 - FIRE EXTINGUISHER CABINET
- REFER TO AG.01 FOR GENERAL NEW WORK NOTES
REFER TO A8.01 FOR PARTITION TYPES
REFER TO F2.01 FOR FINISH PLANS



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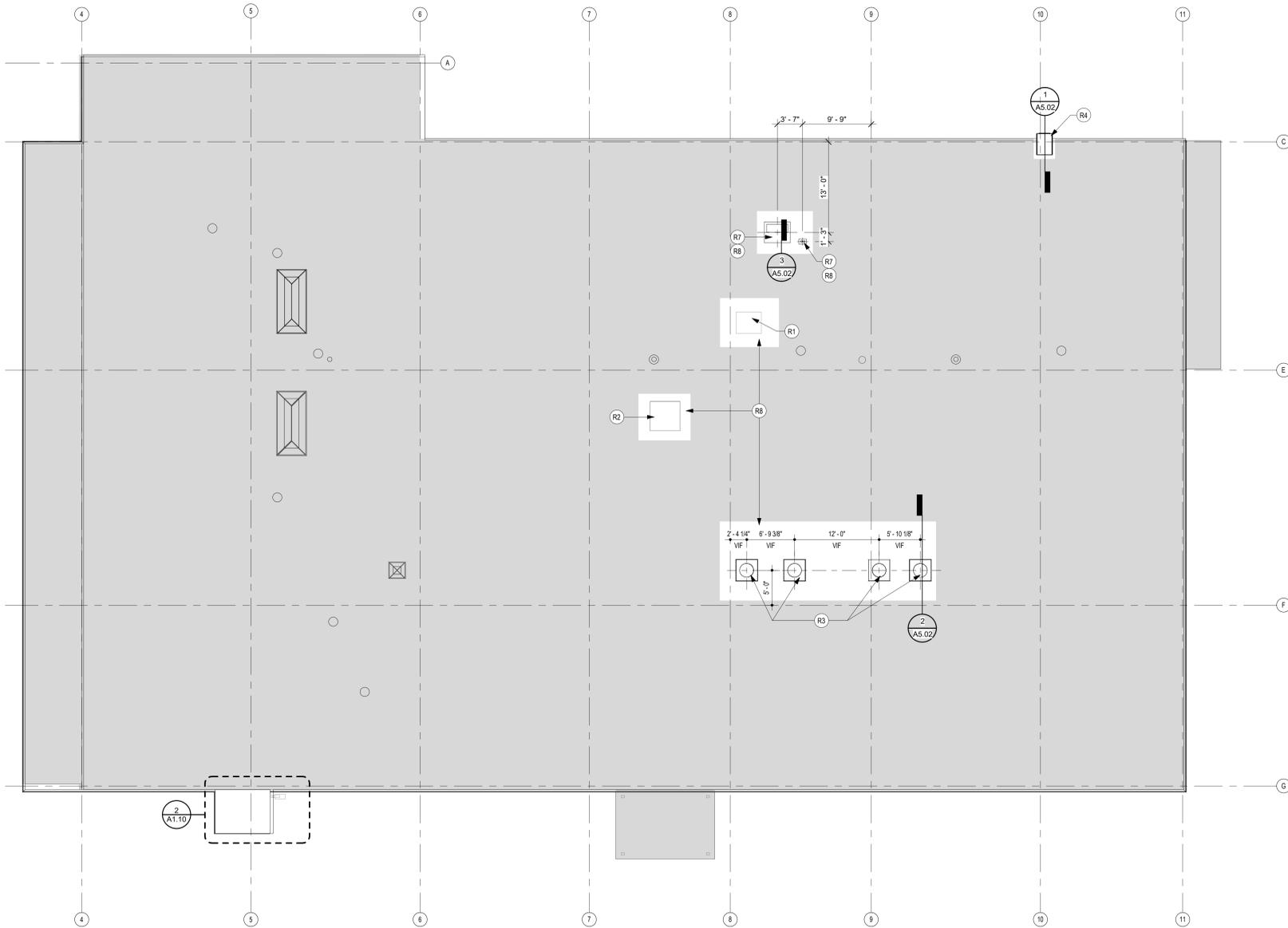
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| Revisions | Revisions |
|--------------------|-----------|
| 1 PERMIT REVISIONS | 2/11/22 |

FLOOR PLAN. EQUIPMENT SCHEDULE

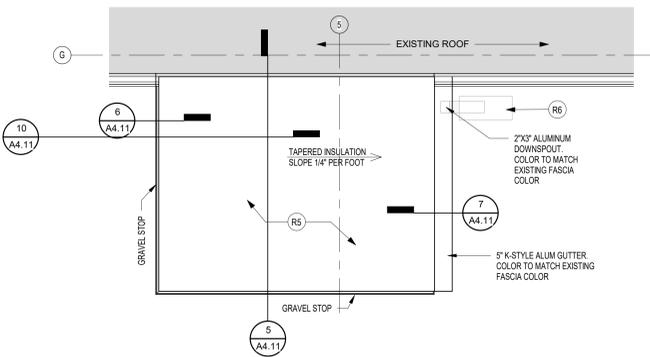
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NOTE: GC TO USE ONE OF THE TWO PREVIOUS CONTRACTORS THAT HAS WORKED ON THE ROOF.
 NASTOS CONSTRUCTION, INC
 OR
 SIMPSON UNLIMITED

1 ROOF PLAN
 1/8" = 1'-0"



KEYED ROOF NOTES:

- R1 PATCH EXISTING ROOF HATCH OPENING WITH METAL ROOF DECK, ROOF INSULATION, PROTECTION BOARD, AND BUILT-UP ASPHALT BALLASTED ROOF SYSTEM TO MATCH EXISTING-REF STRUCTURAL.
- R2 PATCH EXISTING SKYLIGHT OPENING WITH METAL ROOF DECK, ROOF INSULATION, PROTECTION BOARD, AND BUILT-UP ASPHALT BALLASTED ROOF SYSTEM TO MATCH EXISTING-REF STRUCTURAL.
- R3 NEW TUBULAR SKYLIGHTS ON INSULATED CURB. REF STRUCTURAL DWGS. COORDINATE EXACT LOCATION WITH EXISTING STRUCTURE.
- R4 ROOF LADDER WITH TRANSFER PLATFORM AND LOCKING ACCESS DOOR.
- R5 TPO OVER TAPERED INSULATION. SLOPE 1/4" / FT TO GUTTER.
- R6 DOWNSPOUT SPLASH BLOCK.
- R7 REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EXTENT OF ADDITIONAL WORK.
- R8 PATCH AND REPAIR EXISTING BALLASTED BUILT-UP ROOF AS INDICATED. PROVIDED TAPERED INSULATION AND PROTECTION BOARD TO MATCH EXISTING.

ROOF LEGEND:

- (N) NEW WORK KEYED NOTE
- RD ROOF DRAIN
- VTR VENT THRU ROOF (REFER KEYNOTE R#)
- HS HOT STACK
- EP ELECTRICAL OR PLUMBING SYSTEM PENETRATION
- DS DOWNSPOUT - CONDUCTOR HEAD AND SUPPER WHERE NOTED
- MECHANICAL UNIT - VARIES IN SIZE AND SHAPE
- EQUIPMENT DISCONNECT SUPPORT
- ROOF HATCH
- WALKWAY PAD
- SLOPE
- CRICKET / SADDLE (1/2" : 1'-0" SLOPE)
- EXPANSION JOINT
- VERTICAL CONSTRUCTION JOINT OR VERTICAL EXPANSION JOINT
- ROOF DECK PATCH TO MATCH (E) ADJACENT DECK
- TAPERED ROOF AREAS
- NO WORK IN THIS AREA



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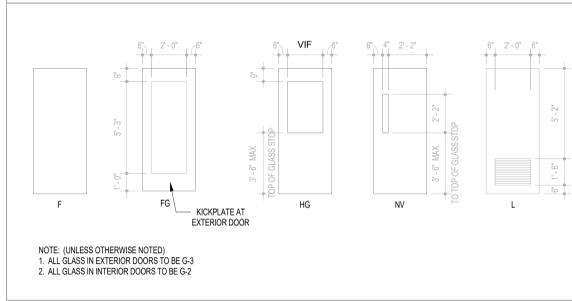
ROOF PLAN

Scale **As indicated**
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BID SET

DOOR TYPES



DOOR FRAME

1/4" = 1'-0"

WINDOW TYPES

1/4" = 1'-0"

WINDOW NOTES

- NOTES APPLY TO ALL FRAME ELEVATION SHEETS
- VERIFY MASONRY & ROUGH OPENINGS, INCLUDING BUT NOT LIMITED TO STRUCTURAL LINTEL LOCATIONS, PRIOR TO FABRICATION.
 - COORDINATE REQUIRED TOLERANCES IN ALL DIMENSIONS NEEDED TO MANUFACTURE AND INSTALL WINDOWS, INCLUDING SUBFRAMES, AS REQUIRED.
 - CONTINUOUSLY SEAL ALL SIDES OF WINDOW AND SUBFRAMES ABUTTING DISSIMILAR MATERIALS AT JAMBS, HEADS, AND SILLS TYPICALLY.
 - PROVIDE APPROPRIATE ANCHORAGE SYSTEM FOR ALL CONDITIONS TO SECURE WINDOWS IN ROUGH OPENINGS.
 - PROVIDE SUBFRAMING AS SHOWN ON DETAILS AND/OR SPECIFIED.
 - SEE HEAD, JAMB, AND SILL DETAIL SHEET FOR MORE INFORMATION.
 - COORDINATE FRAMES WITH PLAN WHEN MORE THAN ONE CONSTRUCTION DETAIL IS REFERENCED.
 - AS REQUIRED FOR DESIGN LOADING, WINDOW MANUFACTURER SHALL PROVIDE MULLION REINFORCING AND VERTICAL EXTENSIONS UP TO STRUCTURE ABOVE ATTACHMENT TO STRUCTURE BY MANUFACTURER. SEE SECTIONS AND DETAILS FOR ADDITIONAL WORK RELATING TO WINDOW SYSTEM.
 - OVERALL DIMENSIONS OF WINDOWS ARE APPROXIMATE. CONTRACTOR TO COORDINATE REQUIRED TOLERANCES IN ALL DIMENSIONS NEEDED TO MANUFACTURE AND INSTALL WINDOWS, INCLUDING SUBFRAMES, AS REQUIRED. CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS IN THE FIELD WITH THOSE SHOWN ON ALL DRAWINGS, INCLUDING DETAILS SHOWN ON OTHER SHEETS, PRIOR TO FABRICATION.
 - PROVIDE HORIZONTAL BLINDS AT ALL INTERIOR OPENINGS INCLUDING DOOR SIDELITES, BUT EXCLUDING DOOR LITES UNLESS OTHERWISE NOTED.
 - COORDINATE WINDOW SYSTEMS WITH AIR BARRIER TRANSITION MEMBRANE SYSTEM AND MANUFACTURER. RECOMMENDED DETAILS FOR A COMPLETE AIR BARRIER SYSTEM.

HOLLOW METAL FRAME NOTES

- CONTRACTOR SHALL VERIFY ALL MASONRY AND ROUGH OPENINGS WITH HOLLOW METAL FRAME SIZES.
- CONTRACTOR TO COORDINATE REQUIRED TOLERANCES IN ALL DIMENSIONS NEEDED TO MANUFACTURE AND INSTALL HOLLOW METAL FRAMES. VERIFY ACTUAL DIMENSIONS IN THE FIELD WITH THOSE SHOWN ON ALL DRAWINGS, INCLUDING DETAILS SHOWN ON OTHER SHEETS.
- CONTINUOUSLY SEAL ALL SIDES OF HOLLOW METAL FRAMES ABUTTING DISSIMILAR MATERIALS AT JAMBS, HEADS, AND SILLS TYPICALLY (EXCEPT AT DOOR SILLS UNLESS OTHERWISE NOTED).
- TYPICAL WIDTH OF RETURNS ON HOLLOW METAL FRAMES IS 1/8" AT HEADS, JAMBS, AND SILLS. CENTER SECTION OF FRAME VARIES IN WIDTH WITH RESPECTIVE WALL TYPE. SEE PLANS.
- SEE HEAD, JAMB, AND SILL DETAIL SHEET FOR MORE INFORMATION.
- FILL ALL HOLLOW METAL JMW FRAMES ABUTTING MASONRY WITH GROUT. FILL INTERMEDIATE MEMBERS AS SHOWN IN DETAILS (TYPICAL).
- PROVIDE HORIZONTAL BLINDS AT ALL INTERIOR OPENINGS INCLUDING DOOR SIDELITES, BUT EXCLUDING DOOR LITES UNLESS OTHERWISE NOTED.

GLASS TYPE KEY

- G-1 1/4" CLEAR GLASS
- G-2 1/4" CLEAR TEMPERED GLASS
- G-3 1" INSULATING GLASS, CONSISTING OF:
 - 1/4" TEMPERED TINTED GLASS, EXTERIOR LITE
 - 1/2" AIR SPACE AND
 - 1/4" TEMPERED GLASS WITH LOW E COATING

NUMBERED REMARKS

- NOTE 1: PROVIDE NO HORIZONTAL LOUVER BLINDS AT THIS FRAME OPENING.
- NOTE 2: PROVIDE MANUAL TRANSLUCENT ROLLER SHADES AT THIS FRAME OPENING.

TYPICAL DETAILS

DOORS NOT LISTED ON THE SCHEDULE SHALL HAVE THE TYPICAL FINISHES LISTED BELOW:

| DOOR | WIDTH | HEIGHT | THICKNESS | TYPE | MATERIAL | FINISH | SILL |
|------|-------|--------|-----------|------|----------|--------|------|
| | 3'-0" | 7'-0" | 1-3/4" | F | HM | J1 | NONE |
| | | | | | | | |

TYPICAL DOOR NOTES

- COORDINATE AND PROVIDE HARDWARE AS DETAILED IN THE SPECIFICATIONS OR, IF NOT SPECIFIED, PROVIDE HARDWARE (OF EQUAL QUALITY TO THAT SPECIFIED, AND MOST SIMILAR IN FUNCTION TO TYPE OF DOOR) REQUIRED FOR DOORS TO OPERATE AND APPEAR AS SHOWN ON DRAWINGS.
- PROVIDE BRUSHED STAINLESS STEEL KICK PLATES ON PUSH SIDE OF DOORS WITH PUSH BARS AND/OR CLOSER DEVICES. KICK PLATE SHALL BE INSET 1/2" FROM EACH SIDE OF DOOR, AND MAXIMUM 8" HIGH OR 1/2" BELOW EDGE OF GLASS LIGHT (IF PRESENT).
- PROVIDE EXPOSED HARDWARE WITH BRUSHED-IN FINISH AND "SILVER" METALLIC IN COLOR (ALUMINUM, CHROME, OR STEEL).
- WHEN EXPOSED CLEAR FINISHED WOOD DOORS ARE PAIRED, TAKE CARE TO SELECT MATCHING GRAIN TYPE AND COLOR FOR EACH DOOR IN PAIR.
- IF CONFLICT EXISTS BETWEEN DOOR RATING AS SCHEDULED AND WALL/PARTITION TYPE FIRE RATING AS SHOWN ON PLANS, PROVIDE DOORS WITH THE GREATER FIRE RATING OF THE TWO.
- VERIFY ALL DIMENSIONS AND CLEARANCES, AND COORDINATE UNDERCUTTING REQUIRED TO CLEAR ADJACENT FLOOR MATERIALS.
- SEE FRAME ELEVATION SHEETS FOR FRAME TYPES. (BOTH H.M. AND ALUM. STOREFRONT) AND GLASS TYPE KEY.
- IF A DISCREPANCY EXISTS BETWEEN THE DOOR SCHEDULE REMARKS AND THE HARDWARE SCHEDULE IN THE SPECIFICATIONS, PROVIDE THE HARDWARE NEEDED TO MEET THE MORE STRINGENT OF THE REQUIREMENTS.
- SEE SPECIFICATIONS FOR SCHEDULED HARDWARE SETS. SEE SPECIFICATIONS FOR HARDWARE SETS INDICATED FOR PACKAGED DOOR SYSTEM.
- PROVIDE CONTINUOUS WEATHERSTRIPPING AND DOOR BOTTOM SEALS AT EXTERIOR DOORS AS SPECIFIED.

NOTES FOR REMARKS COLUMN

NOTE: SEE SPECIFICATIONS FOR ADDITIONAL DOOR INFORMATION. REFERENCE SPECIFICATIONS FOR DETAILED HARDWARE REQUIREMENTS.

- PROVIDE ADA COMPLIANT CLOSER (ONE CLOSER FOR EACH DOOR OF PAIR).
- PROVIDE PANIC HARDWARE.
- NOT USED.
- PROVIDE ADA AUTOMATIC SWING DOOR OPERATOR WITH PUSH BUTTON CONTROLS AND ASSOCIATED SIGNAGE.
- NOT USED.
- PROVIDE WITH HOLD OPEN FEATURE IN CLOSER.
- PROVIDE WEATHERSTRIPPING ON ALL SIDES, TOP AND BOTTOM OF DOOR.
- PROVIDE DOOR WITH INSULATED CORE.
- PROVIDE HARDWARE WITH PRIVACY SET.
- PROVIDE FLUSH BOLTS ON INACTIVE LEAF.
- PROVIDE SOUND SEALS ON TOP AND SIDES WITH DROP SEAL AT DOOR BOTTOM.
- NOT USED.
- PROVIDE WITH PUSH/PULL OPERATION.
- NOT USED.
- PROVIDE WITH CARD READER AND ASSOCIATED HARDWARE.
- NOT USED.
- SECURITY SYSTEM DOOR SWITCH AT HM FRAME. COORDINATE WITH ELECTRICAL.
- PROVIDE WITH MAGNETIC LOCKS AND OPEN RELEASE BUTTON - CONNECT TO FIRE ALARM SYSTEM TO OPEN UPON ACTIVATION - SEE ELECTRICAL DRAWINGS.
- PROVIDE FOOT PULL ON INTERIOR SIDE OF DOOR.
- MODIFY EXISTING FRAME AS REQUIRED FOR NEW HARDWARE.

DOOR AND FRAME SCHEDULE

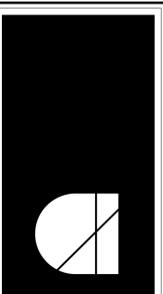
| MARK | LOCATION | ROOM NAME | # OF LEAFS | FINISH | DOOR | | | FRAME | | | RATING (MIN) | DOOR HARDWARE | REMARKS | | | |
|---------|-----------------------------|-----------|------------|-------------|------------|------|--------|-------|--------|-------|--------------|---------------|---------|----------|-------------|--------------------------------------|
| | | | | | PANEL TYPE | MATL | THICK | WIDTH | HEIGHT | TYPE | | | | MATL | HEAD | JAMB |
| Level 1 | | | | | | | | | | | | | | | | |
| 100 | VESTIBULE | | 2 | PREFINISHED | FG | ALUM | 1 3/4" | 6'-0" | 7'-0" | EXIST | ALUM | EXIST | EXIST | EXIST | 442 | 1, 2, 4, 7, 22, 24, 27 |
| 101 | VESTIBULE | | 2 | PREFINISHED | FG | ALUM | 1 3/4" | 6'-0" | 7'-0" | EXIST | ALUM | EXIST | EXIST | EXIST | 443 | 1, 4, 7, 13, 27 |
| 102 | BREAK ROOM | | 1 | PAINT | FG | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H1 | - | - | 111 | |
| 128B | ICE MAKER | | 1 | PAINT | L | HM | 1 3/4" | 3'-0" | 7'-0" | 1A | HM | H2 | J2 | - | 110 | VERIFY ICEMAKER FITS THROUGH OPENING |
| 128C | STORAGE | | 1 | PAINT | F | HM | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H1 | J1 | S1 | 90 MIN, 816 | 1, 7, 8, 22, 24, 27 |
| 128D | SW FIELD OFFICES | | 1 | PAINT | F | HM | 1 3/4" | 3'-0" | 7'-0" | EXIST | HM | EXIST | EXIST | EXIST | 916 | 1, 7, 8, 22, 24, 27 |
| 132B | OFFICE | | 1 | PAINT | NV | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1A | HM | H2 | J2 | S2 | 517 | 1, 11 |
| 134 | CORRIDOR | | 1 | PAINT | NV | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1A | HM | H2 | J2 | S2 | 20 MIN, 815 | 1, 22, 24, |
| 135 | OFFICE | | 1 | PAINT | NV | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1A | HM | H2 | J2 | - | 510 | |
| 137 | CORRIDOR | | 1 | PAINT | F | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H1 | J1 | - | 20 MIN, 210 | 210 GALVANIZED FRAME, 1, 13, 26 |
| 138 | CORRIDOR | | 1 | PAINT | F | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H1 | J1 | - | 20 MIN, 210 | 210 GALVANIZED FRAME, 1, 13, 26 |
| 140 | IT | | 1 | PAINT | F | HM | 1 3/4" | 3'-0" | 7'-0" | 1A | HM | H2 | J2 | - | 815 | 1, 22, 24, |
| 141 | WATER SERVICE | | 2 | PAINT | F | HM | 1 3/4" | 4'-8" | 7'-8" | 2 | HM | 6/4412 | 7/4412 | 1/2A, 02 | 823 | 7, 8, 10 |
| 142 | MENS SHOWER AND LOCKER ROOM | | 1 | PAINT | F | HM | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H1 | J1 | - | 812 | GALVANIZED DOOR AND FRAME, 1, 6 |
| 145 | STORAGE | | 1 | PAINT | HG | HM | 1 3/4" | 3'-0" | 7'-0" | EXIST | HM | EXIST | EXIST | EXIST | 916 | 1, 7, 8, 22, 24, 27 |
| 146 | STORAGE | | 1 | PAINT | HG | HM | 1 3/4" | 3'-0" | 7'-0" | 1A | HM | H2 | J2 | - | 517 | |
| 147 | OPEN OFFICE | | 1 | PAINT | NV | SWCD | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H2 | J2 | S2 | 815 | |
| 148 | MECH | | 1 | PAINT | F | HM | 1 3/4" | 3'-0" | 7'-0" | 1 | HM | H1 | J1 | - | 812 | GALVANIZED DOOR AND FRAME, 1, 6 |
| | | | 21 | | | | | | | | | | | | | |

DOOR HARDWARE SCHEDULE

| QUANTITY | HARDWARE |
|-------------------------|---|
| HARDWARE SET 110 | |
| 1 EA | HINGES BB1279 |
| 1 EA | PASSAGE FUNCTION LATCHSET ND10S SCHLAGE |
| 1 EA | STOP ROCKWOOD |
| HARDWARE SET 111 | |
| 1 SET | HINGES BB1279 HAGER |
| 1 EA | PASSAGE FUNCTION LATCHSET ND10S SCHLAGE |
| 1 EA | SURFACE CLOSER 4040XP-HLCN |
| 1 EA | KICK PLATE 8400 IVES |
| 1 EA | STOP ROCKWOOD |
| HARDWARE SET 210 | |
| 1 EA | HINGES BB1199-32D HAGER |
| 1 EA | PUSH PLATE 8400 IVES |
| 1 EA | PULL PLATE 8302 (TB PULL & CONCEAL FASTENERS UNDER PUSH PLATE) IVES |
| 1 EA | SURFACE CLOSER 4040XP S SRI FINISH LCN |
| 1 EA | KICK PLATE 8400 IVES |
| 1 EA | FOOT PULL FP03 FOOTPULL |
| 1 EA | STOP ROCKWOOD |
| 1 EA | GALVANIZE FRAME |
| HARDWARE SET 442 | |
| 2 SETS | CONTINUOUS HINGES 112HD-TW8 (FACTORY-FINISH TO MATCH STOREFRONT) IVES |
| 1 | ELECTRIFIED DEVICE RX-OEL-9847EO VON DUPRIN |
| 1 | CYLINDER AND CORE - AS REQUIRED SCHLAGE |
| 1 | ELECTRIFIED EXIT DEVICE RX-OEL-XP9847NL-OP-LBR VON DUPRIN |
| 1 | CYLINDER AND CORE - AS REQUIRED SCHLAGE |
| 2 | PULLS 9190H=2 X TYPE 0 MOUNTING IVES |
| 1 | POWER OPERATOR 9542 X LH (REQUIRES 120 VAC) LCN |
| 1 | HARDWIRED JAMB-MOUNTED ACTUATOR 8310-818T (PUSH SIDE) LCN |
| 1 | RF RECEIVER 8310-865 (FOR WIRELESS ACTUATOR) LCN |
| 1 | OPERATOR INTERFACE MODULE BR3 (FOR ACCESS CONTROL SYSTEM INTERFACE) BEA |
| 1 | SURFACE CLOSER 4040XP-SCNS X 30 X 61 LCN |
| 1 SET | WEATHER-STRIPPING - HEAD, JAMBS & MEETING STILE DOOR MANUFACTURER |
| 1 | THRESHOLD 896S NATIONAL GUARD |
| 2 | SILL SWEEPS 200N (GREY NEOPRENE INSERT) NATIONAL GUARD |
| 2 | MAGNETIC DOOR CONTACTS 1076D INTERLOGIX |
| 1 | POWER SUPPLY SECURITY SYSTEM INTEGRATOR |
| 1 | STOP 466 (POER OPERATOR LEAF) ROCKWOOD |
| FUNCTION: | Function: Door is interfaced with Access Control System for automatic locking and unlocking. Door position status monitored through Access Control System. |
| | When door is secured: Card reader shunts door contacts, retracts electric latches and enables subplate actuator; pressing actuator activates power operator. Pressing inside lever shunts door contact, retracts electric latch and activates power operator. |
| | Depressing crash bar shunts door contact. Outside actuator should not function without proper signal from Access Control and Access Control System. |
| | When door is unsecured: Door contacts are shunted, electric latches are retracted and both actuators are functional. Pressing either actuator activates power operator. |
| HARDWARE SET 443 | |
| 2 SETS | CONTINUOUS HINGES 112HD-TW8 (FACTORY-FINISH TO MATCH STOREFRONT) IVES |
| 2 | PUSH / PULL 9190HD-JS32D - IVES |
| 1 | POWER OPERATOR 9542 X LH (REQUIRES 120 VAC) LCN |
| 1 | HARDWIRED JAMB-MOUNTED ACTUATOR 8310-818T (PUSH SIDE) LCN |
| 1 | RF RECEIVER 8310-865 (FOR WIRELESS ACTUATOR) LCN |
| 1 | OPERATOR INTERFACE MODULE BR3 (FOR ACCESS CONTROL SYSTEM INTERFACE) BEA |
| 1 | SURFACE CLOSER 4040XP-SCNS X 30 X 61 LCN |
| 1 | STOP 466 (POER OPERATOR LEAF) ROCKWOOD |
| 1 | THRESHOLD 896S NATIONAL GUARD |
| 1 | SILL SWEEPS 200N (GREY NEOPRENE INSERT) NATIONAL GUARD |
| 1 | DOOR POSITION SWITCH 1076D-INT |
| HARDWARE SET 510 | |
| 1 EA | HINGES BB1279 HAGER |
| 1 EA | OFFICE FUNCTION LOCKSET ND50XD SCHLAGE |
| 1 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | STOP ROCKWOOD |

DOOR HARDWARE SCHEDULE

| QUANTITY | HARDWARE |
|-------------------------|--|
| HARDWARE SET 517 | |
| 1 EA | HINGES BB1279 HAGER |
| 1 EA | OFFICE FUNCTION LOCKSET ND50XD SCHLAGE |
| 1 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | SURFACE CLOSER 4040XP-EDA LCN |
| 1 SET | SOUND SEALS 5075CL - HEAD 7 JAMBS NATIONAL GUARD |
| 1 EA | AUTOMATIC DOOR BOTTOM 522N NATIONAL GUARD |
| 1 EA | STOP ROCKWOOD |
| HARDWARE SET 812 | |
| 1 EA | HINGES BB1191-32D HAGER |
| 1 EA | STOREROOM FUNCTION LOCKSET ND96XD SCHLAGE |
| 1 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | KICK PLATE 8400 IVES |
| 1 EA | STOP ROCKWOOD |
| 1 EA | GALVANIZED DOOR AND FRAME |
| HARDWARE SET 815 | |
| 1 EA | HINGES BB1279 (ETW AT CENTER HINGE) HAGER |
| 1 EA | ELECTRIFIED LOCKSET ND96XDEU-RX - FSE SCHLAGE |
| 1 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | SURFACE CLOSER 4040XP / 4040XP-EDALCN |
| 1 EA | MAGNETIC DOOR CONTACT 1076D INTERLOGIX |
| 1 EA | CARD READER SECURITY SYSTEM INTEGRATOR |
| 1 EA | POWER SUPPLY SECURITY SYSTEM INTEGRATOR |
| 1 EA | STOP ROCKWOOD |
| 1 EA | Function: Card reader shunts door contact and releases electrified lever trim. Turning inside lever shunts door contact. Door position status monitored through Access Control System. |
| HARDWARE SET 816 | |
| 1 EA | HINGES BB1191-32D (ETW AT CENTER HINGE) HAGER |
| 1 EA | ELECTRIFIED LOCKSET ND96XDEU-RX - FSE SCHLAGE |
| 1 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | SURFACE CLOSER 4040XP-H-SCNS LCN |
| 1 EA | CLOSER MOUNTING BRACKET 328SPB (FIELD-PAINT TO MATCH FRAME) ZERO |
| 1 EA | KICK PLATE 8400 IVES |
| 1 SET | WEATHER-STRIPPING 110N - HEAD & JAMBS NATIONAL GUARD |
| 1 EA | THRESHOLD 896S NATIONAL GUARD |
| 1 EA | SILL SWEEP 200N - PULL SIDE NATIONAL GUARD |
| 1 EA | MAGNETIC DOOR CONTACT 1076D INTERLOGIX |
| 1 EA | CARD READER SECURITY SYSTEM INTEGRATOR |
| 1 EA | POWER SUPPLY SECURITY SYSTEM INTEGRATOR |
| 1 EA | Function: Card reader shunts door contact and releases electrified lever trim. Turning inside lever shunts door contact. Door position status monitored through Access Control System. |
| Hardware set 823 | |
| 1 EA | HINGES BB1191-32D HAGER |
| 1 EA | STOREROOM FUNCTION LOCKSET ND96XD SCHLAGE |
| 2 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | FLUSH BOLTS 555 ROCKWOOD |
| 1 EA | DUST STRIKE 570 ROCKWOOD |
| 1 SET | WEATHER-STRIPPING 137SA - HEAD & JAMBS NATIONAL GUARD |
| 1 EA | THRESHOLD 896S NATIONAL GUARD |
| 1 EA | MEETING STILE GASKET 109NA (PULL SIDE OF ACTIVE LEAF) NATIONAL GUARD |
| 2 EA | SILL SWEEPS 200NA NATIONAL GUARD |
| 1 EA | RAIN DRIP 16A NATIONAL GUARD |
| 2 EA | OVERHEAD STOPS 90H X 110-DEGREE S GLYNN-JOHNSON |
| 2 EA | STOP MOUNTING BRACKETS 328SPB(FIELD-PAINT TO MATCH FRAME) ZERO |
| HARDWARE SET 916 | |
| 1 EA | HINGES BB1191-32D (ETW AT CENTER HINGE) HAGER |
| 1 EA | ELECTRIFIED LOCKSET ND96XDEU-RX - FSE SCHLAGE (MODIFIED TO BE ELECTRICALLY LOCKED) MECH UNLOCKED ON BOTH SIDES |
| 1 EA | CYLINDER CORE - AS REQUIRED SCHLAGE |
| 1 EA | SURFACE CLOSER 4040XP-H-SCNS LCN |
| 1 EA | CLOSER MOUNTING BRACKET 328SPB (FIELD-PAINT TO MATCH FRAME) ZERO |
| 1 EA | KICK PLATE 8400 IVES |
| 1 SET | WEATHER-STRIPPING 110N - HEAD & JAMBS NATIONAL GUARD |
| 1 EA | THRESHOLD 896S NATIONAL GUARD |
| 1 EA | SILL SWEEP 200N - PULL SIDE NATIONAL GUARD |
| 1 EA | MAGNETIC DOOR CONTACT 1076D INTERLOGIX |
| 1 EA | CARD READER SECURITY SYSTEM INTEGRATOR |
| 1 EA | POWER SUPPLY SECURITY SYSTEM INTEGRATOR |
| 1 EA | PADLOCK FL400B-12" X K2209AL SCHLAGE |
| 1 EA | FUNCTION: CARD READER SHUNTS DOOR CONTACT AND RELEASES ELECTRIFIED LEVER TRIM. TURNING INSIDE LEVER SHUNTS DOOR CONTACT. DOOR POSITION STATUS MONITORED THROUGH ACCESS CONTROL SYSTEM. |



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Project: 21124-01

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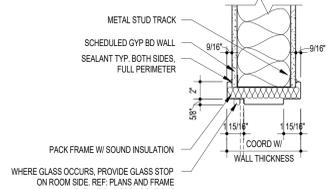
1 PERMIT REVISIONS 2/11/22

DOOR / WINDOW SCHEDULE

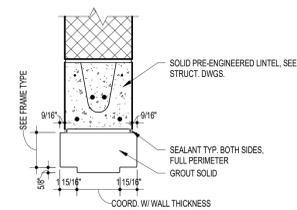
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A2.01

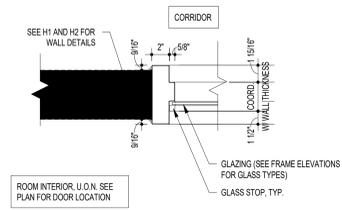
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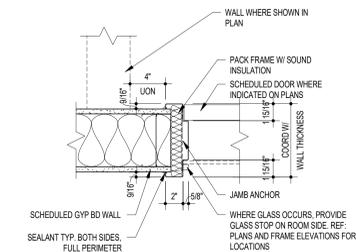
H2 HEAD DETAIL
1 1/2" = 1'-0"



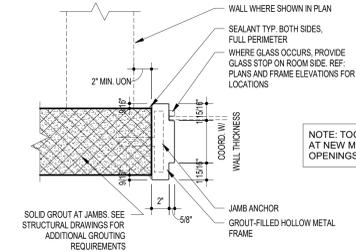
H1 HEAD DETAIL
1 1/2" = 1'-0"



J3 HEAD/JAMB/SILL DETAIL J3.A503
1 1/2" = 1'-0"

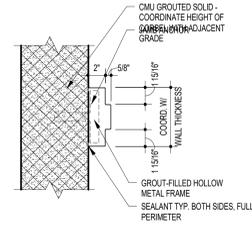


J2 JAMB DETAIL
1 1/2" = 1'-0"

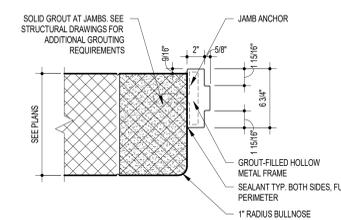


J1 JAMB DETAIL
1 1/2" = 1'-0"

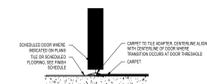
NOTE: TOOTH-IN CMU AT NEW MASONRY OPENINGS



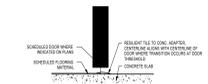
J7 JAMB DETAIL
1 1/2" = 1'-0"



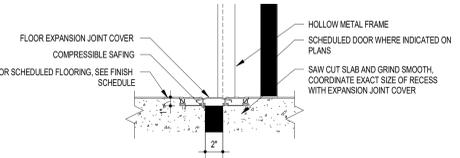
J6 JAMB DETAIL
1 1/2" = 1'-0"



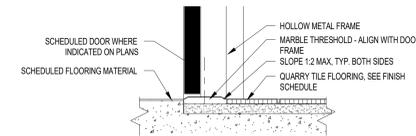
S2 TRANSITION STRIP
1 1/2" = 1'-0"



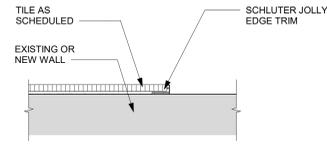
S1 TRANSITION STRIP
1 1/2" = 1'-0"



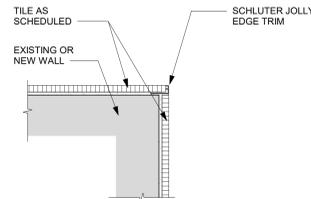
S5 SILL AT EXPANSION JOINT
1 1/2" = 1'-0"



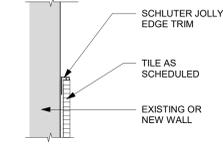
S4 MARBLE THRESHOLD AT QT
1 1/2" = 1'-0"



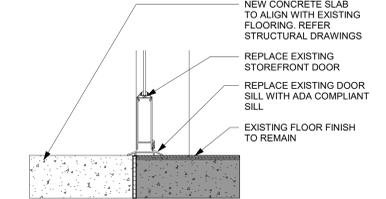
S6 WALL TILE END TRIM
3" = 1'-0"



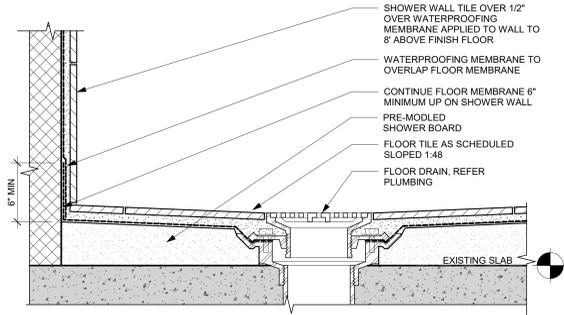
S7 WALL TILE CORNER TRIM
3" = 1'-0"



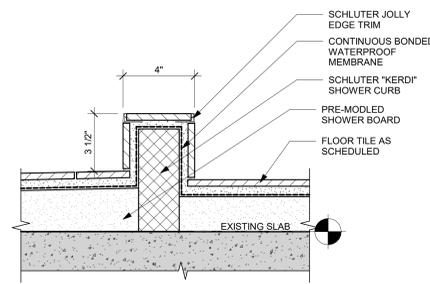
S8 WALL TILE TOP TRIM
3" = 1'-0"



S9 STOREFRONT DOOR SILL
1 1/2" = 1'-0"



F1 SHOWER DRAIN AND WALL DETAIL
3" = 1'-0"



F2 SHOWER CURB DETAIL
3" = 1'-0"



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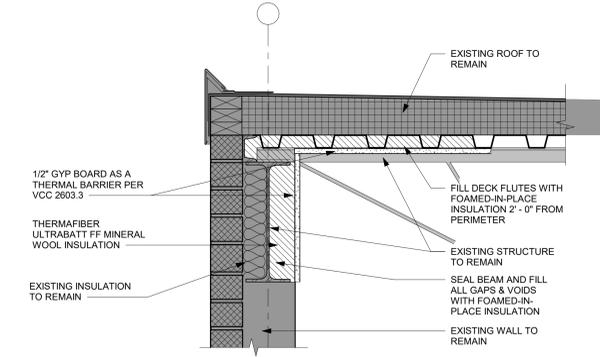
| Revisions | |
|--------------------|---------|
| 1 PERMIT REVISIONS | 2/11/22 |

**DOOR DETAILS.
TRANSITION
DETAILS**

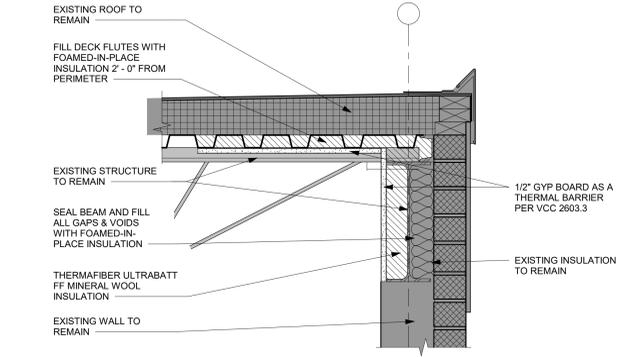
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Checked Checker

A2.02

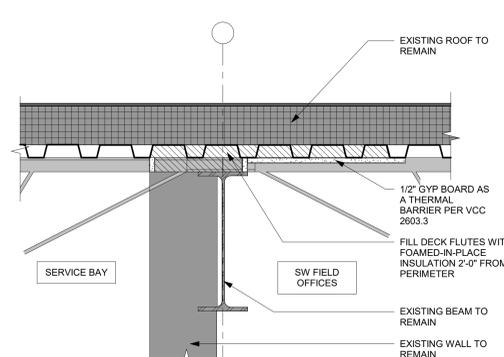
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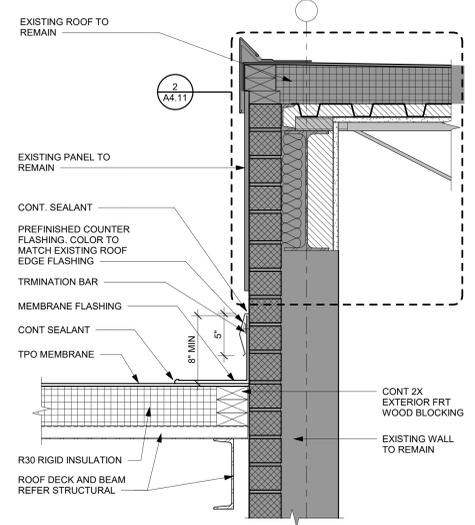
1 ROOF DETAIL AT EXISTING MASONRY WALL
1 1/2" = 1'-0"



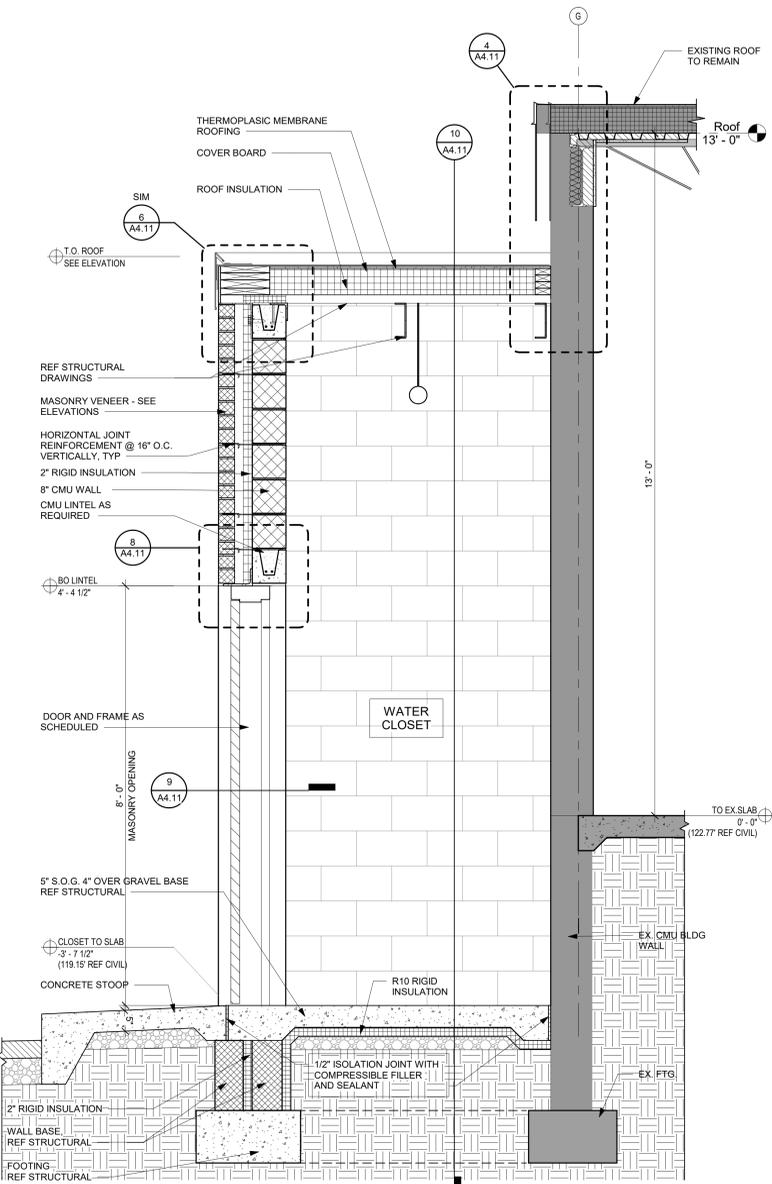
2 ROOF DETAIL AT EXISTING COMPOSITE PANEL
1 1/2" = 1'-0"



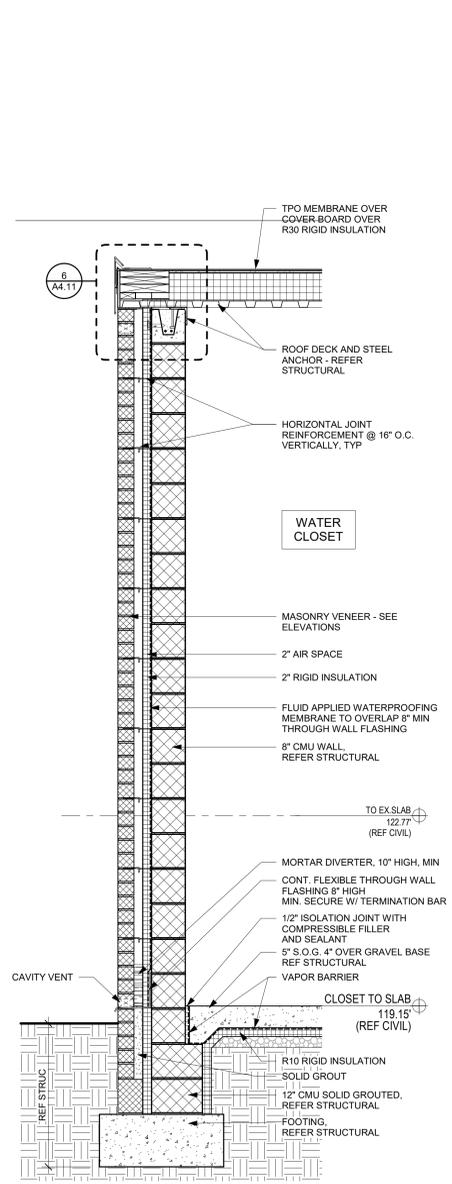
3 ROOF DETAIL AT SERVICE BAY
1 1/2" = 1'-0"



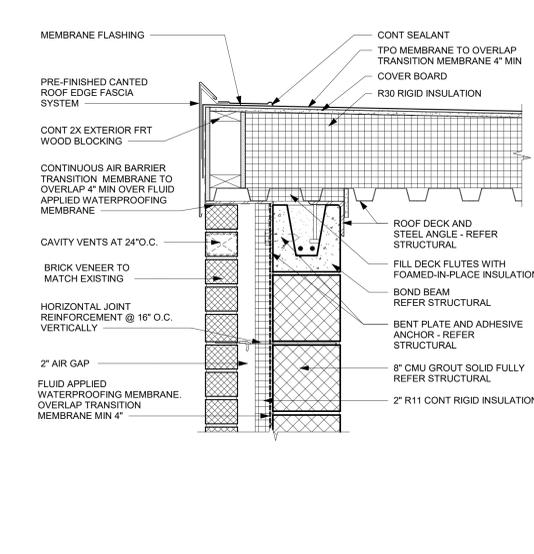
4 ROOF AT WATER SERVICE CLOSET AND EX. WALL
1 1/2" = 1'-0"



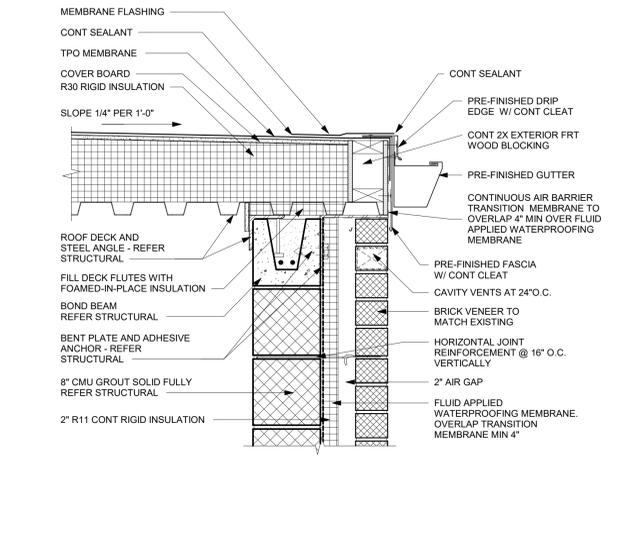
5 SECTION AT UTILITY CLOSET
3/4" = 1'-0"



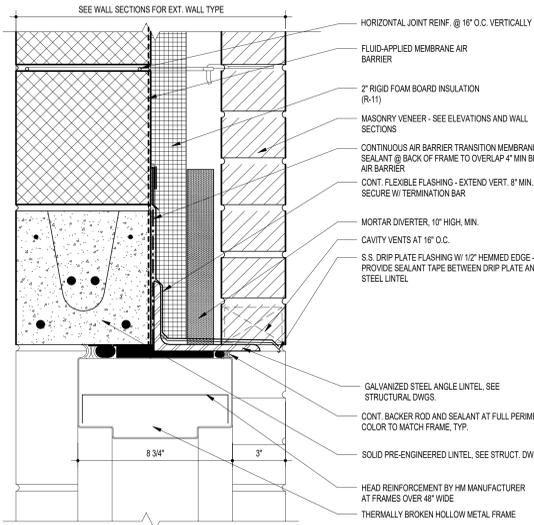
10 WALL SECTION
3/4" = 1'-0"



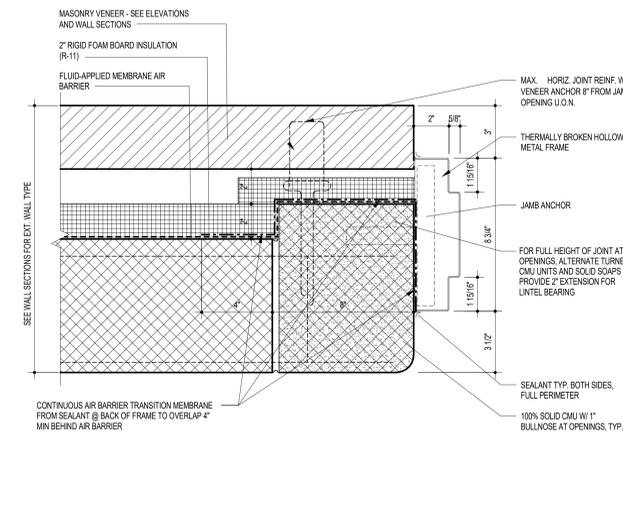
6 ROOF EDGE AT WATER SERVICE CLOSET
1 1/2" = 1'-0"



7 GUTTER DETAIL
1 1/2" = 1'-0"



8 HEAD DETAIL - HM FRAME AT CMU
3" = 1'-0"



9 JAMB DETAIL - HM FRAME AT CMU
3" = 1'-0"



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BID SET

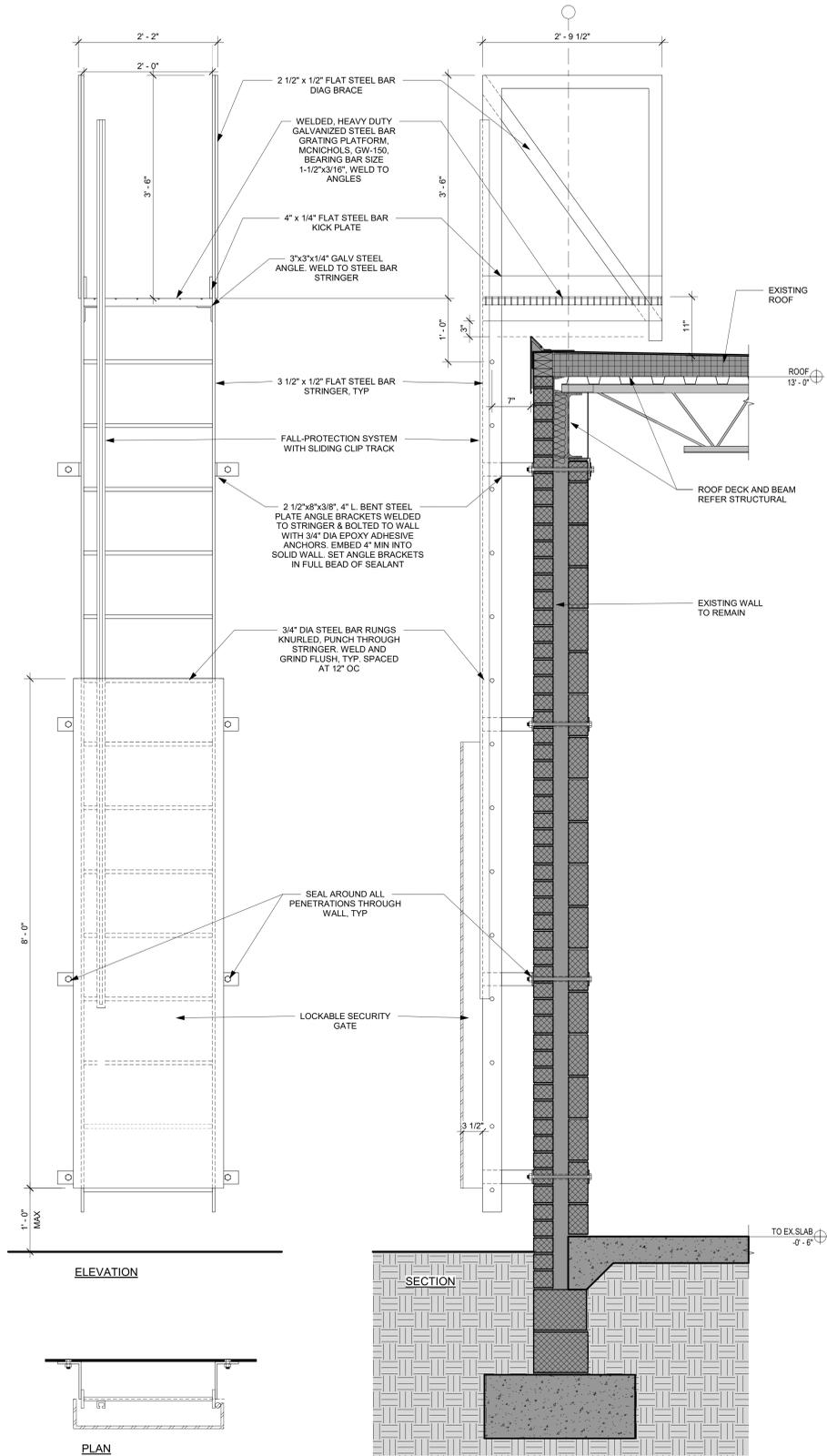
| Revisions | Revisions |
|--------------------|-----------|
| 1 PERMIT REVISIONS | 2/11/22 |

WALL SECTIONS AND DETAILS

Scale As indicated
Drawn Author
Checked Checker

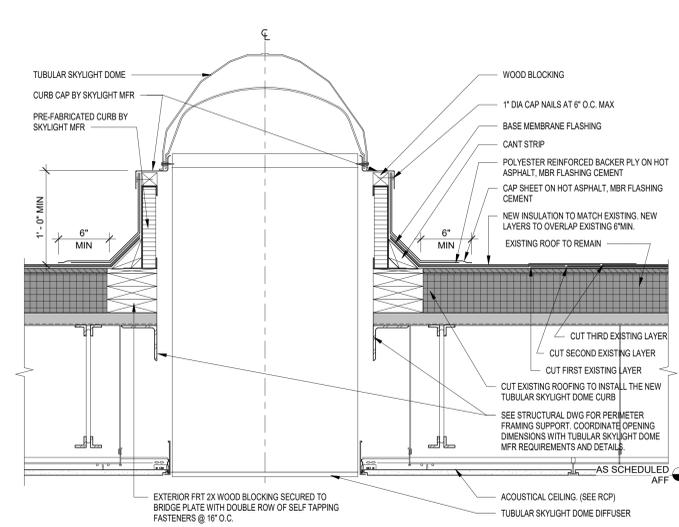
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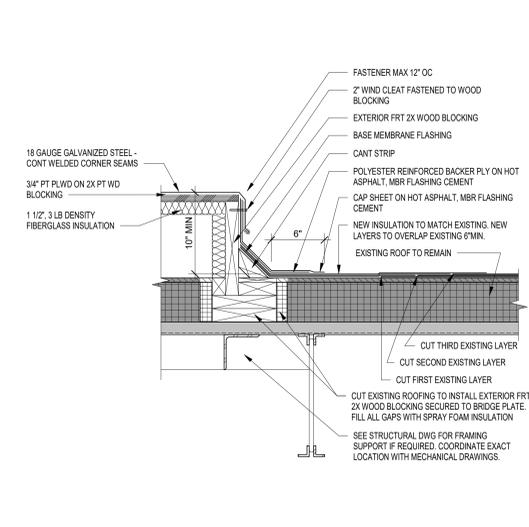


NOTE: LADDER DESIGN AND ATTACHMENT TO BE ENGINEERED BY THE LADDER COMPANY. PROVIDE STAMPED AND SEALED DRAWINGS BY A LICENSED STRUCTURAL ENGINEER.

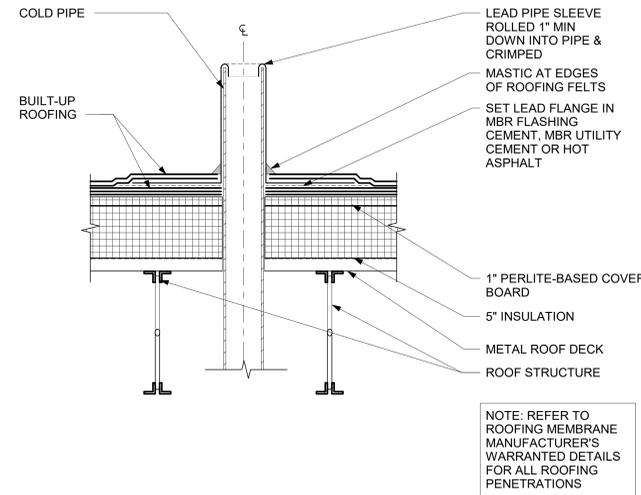
1 ROOF LADDER SECTION AND DETAILS
1" = 1'-0"



2 TUBULAR SKYLIGHT
1 1/2" = 1'-0"



3 CONDENSING UNIT PLATFORM
1 1/2" = 1'-0"



4 VENT THROUGH ROOF (VTR)
1 1/2" = 1'-0"

NOTE: REFER TO ROOFING MEMBRANE MANUFACTURER'S WARRANTED DETAILS FOR ALL ROOFING PENETRATIONS



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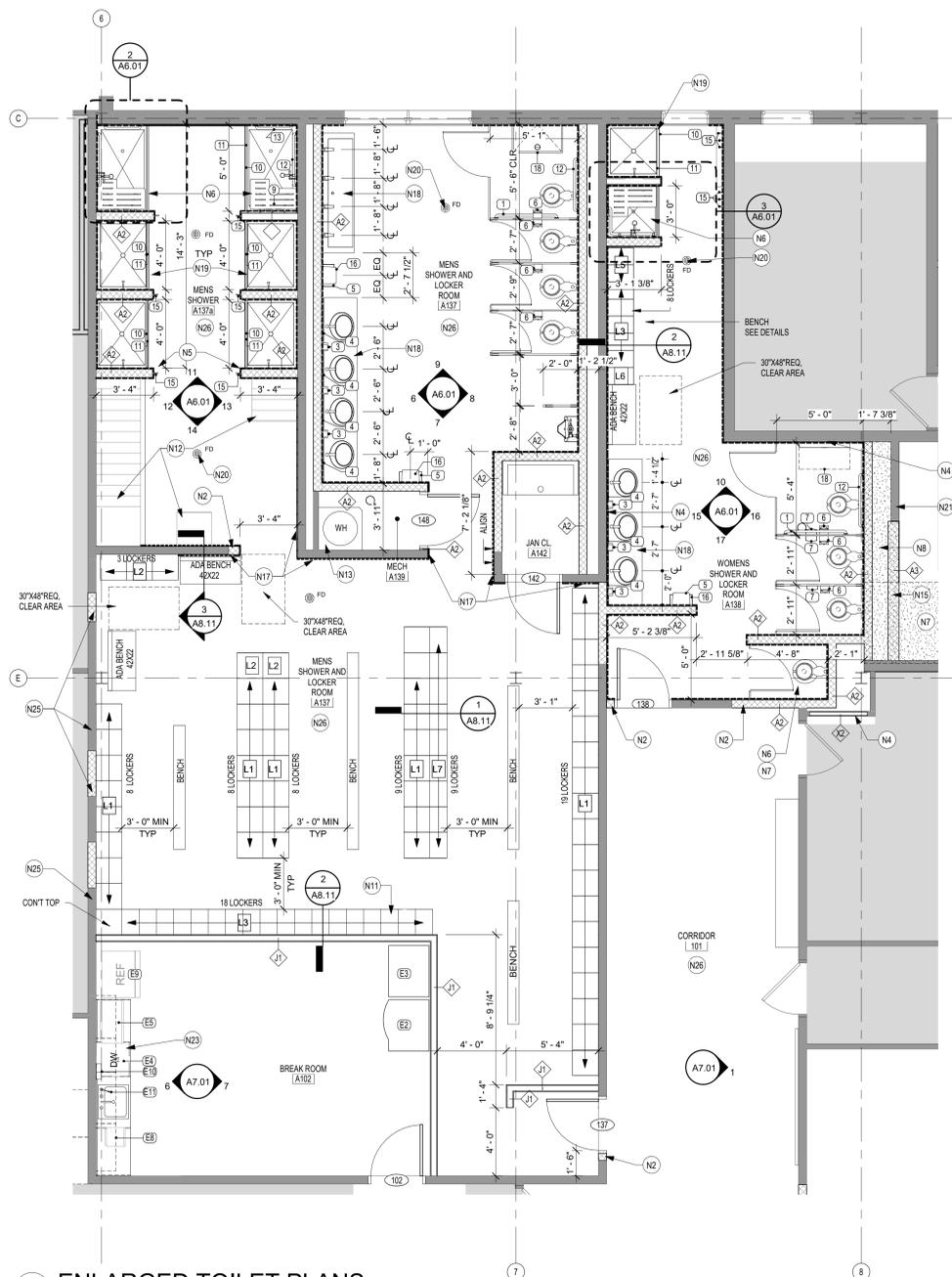
| Revisions | |
|--------------------|---------|
| 1 PERMIT REVISIONS | 2/11/22 |

EXTERIOR
DETAILS

Scale As indicated
Drawn Author
Checked Checker

A5.02

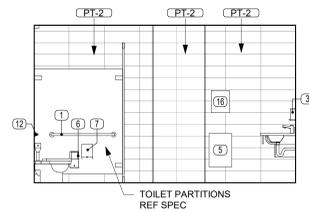
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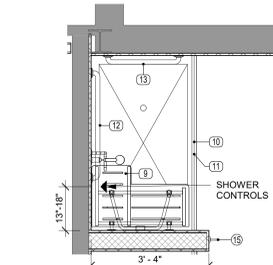
1 ENLARGED TOILET PLANS
1/4" = 1'-0"

| TOILET ACCESSORIES | | | | | | |
|--------------------|---|--------------|----------|--------------|----------------------------------|-------------|
| ITEM # | ACCESSORY DESCRIPTION | BOBRICK | A.S.I. | BRADLEY | Manufacturer | Model |
| 1 | GRAB BAR - 42" | B-6806 99-42 | 3401P-42 | 8122-001420 | Bradley Corporation | B122-001420 |
| 3 | SOAP DISPENSER | B-2112 | | | Bobrick Washroom Equipment, Inc. | B-2112 |
| 4 | Stainless Steel Mirror | B-1556 | | | Bobrick Washroom Equipment, Inc. | |
| 5 | SURFACE MOUNTED WASTE RECEPTACLE W/ LINER-MATE | B-277 | | | Bobrick Washroom Equipment, Inc. | B-277 |
| 6 | Classic Series Surface Mounted Multi-roll Toilet Tissue Dispenser | B-2888 | | | Bobrick Washroom Equipment, Inc. | B-2888 |
| 7 | SANITARY NAPKIN DISPOSAL | B-207 | | | Bobrick Washroom Equipment, Inc. | B-270 |
| 8 | CORNER GRAB BAR | B-62616 99 | 3274P | 8122-0591833 | Bradley Corporation | B120-059000 |
| 9 | Reversible Folding Shower Seat | B-5181 | | | Bobrick Washroom Equipment, Inc. | B-5181 |
| 10 | SHOWER CURTAIN ROD | B-6107 | 1214 | 9558 | | |
| 11 | SHOWER CURTAIN HOOKS | 204-1 | 1200-SHU | 9536 | | |
| 12 | GRAB BAR - 36" | B-6806 99-36 | 3401P-36 | 8122-001360 | Bradley Corporation | B122-001360 |
| 13 | GRAB BAR - 24" | B-6806 99-24 | 3401P-24 | 8122-001240 | Bradley Corporation | B122-001240 |
| 15 | TOWEL HOOK | B-671 | | | | |
| 16 | Automatic Roll Paper Towel Dispenser | | | | Bobrick Washroom Equipment, Inc. | B-72974 |
| 17 | VERTICAL GRAB BAR - 18" | | | | | |
| 18 | Bobrick KB110-SSWM Surface Mounted Baby Changing Station | | | | Bobrick Washroom Equipment, Inc. | KB110-SSWM |

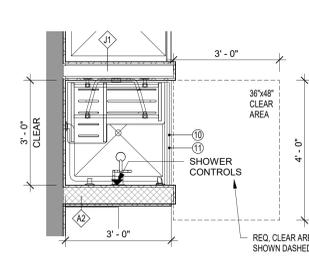
| LOCKER SCHEDULE | | | | | |
|-----------------|------------------------|----|----|----|---------------------|
| TYPE | DESCRIPTION | W | D | H | REMARKS |
| L1 | SINGLE TIER LOCKER | 18 | 18 | 72 | |
| L2 | ADA SINGLE TIER LOCKER | 18 | 18 | 72 | PROVIDE ADA SIGNAGE |
| L3 | SINGLE TIER LOCKER | 12 | 18 | 72 | |
| L5 | DOUBLE TIER LOCKER | 12 | 18 | 72 | |
| L6 | ADA SINGLE TIER LOCKER | 12 | 18 | 72 | PROVIDE ADA SIGNAGE |
| L7 | SINGLE TIER LOCKER | 18 | 12 | 72 | |



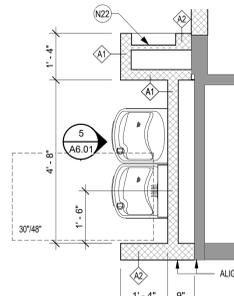
17 WOMEN'S BATHROOM 4
1/4" = 1'-0"



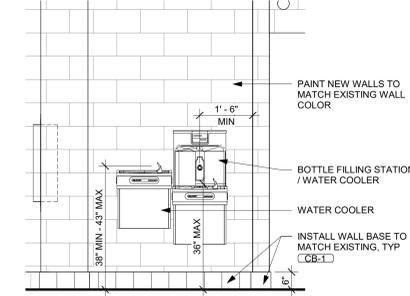
2 LARGE ADA SHOWER
1/2" = 1'-0"



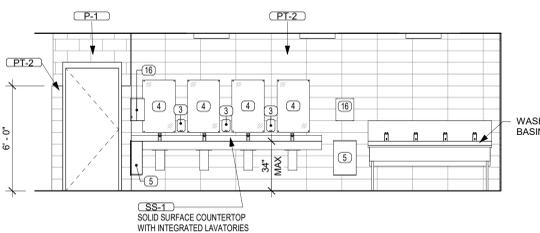
3 TYPICAL ADA SHOWER DETAIL
1/2" = 1'-0"



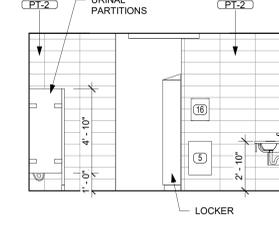
4 DRINKING FOUNTAINS
1/2" = 1'-0"



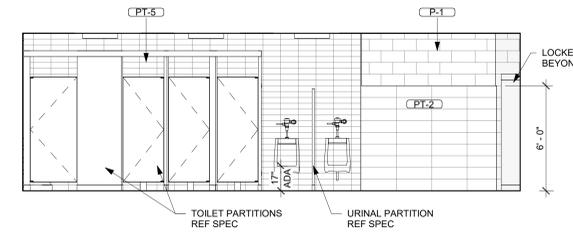
5 DRINKING FOUNTAINS ELEV.
1/2" = 1'-0"



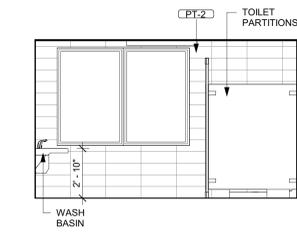
6 MENS BATHROOM ELEVATION 1
1/4" = 1'-0"



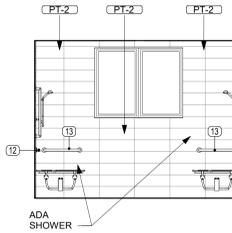
7 MENS BATHROOM 2
1/4" = 1'-0"



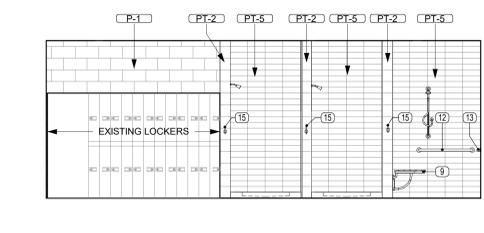
8 MENS BATHROOM ELEVATION 3
1/4" = 1'-0"



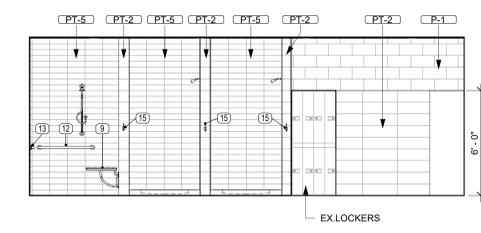
9 MENS BATHROOM 4
1/4" = 1'-0"



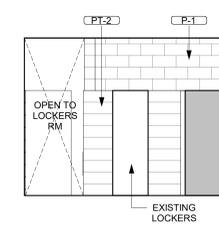
11 MEN'S SH. 2
1/4" = 1'-0"



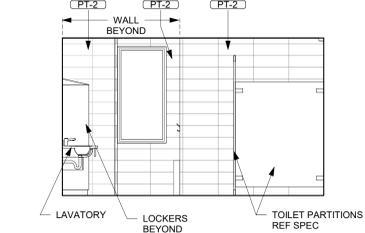
12 MEN'S SHOWER ELEVATION 1
1/4" = 1'-0"



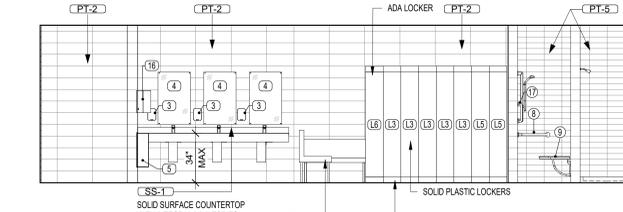
13 MEN'S SHOWER ELEVATION 2
1/4" = 1'-0"



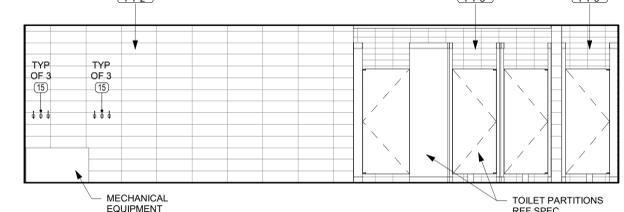
14 MEN'S SHOWER 4
1/4" = 1'-0"



10 WOMEN'S ELEV 2
1/4" = 1'-0"



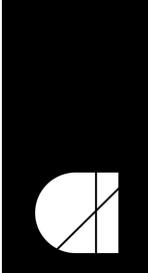
15 WOMEN'S BATHROOM ELEVATION 1
1/4" = 1'-0"



16 WOMEN'S BATHROOM ELEVATION 2
1/4" = 1'-0"

KEYED WORK NOTES:

- N1 NEW CHAIN LINK FENCE AND GATES. TO MATCH SIMILAR CONSTRUCTION AND HEIGHT OF PREVIOUSLY DEMOED FENCE AND GATE.
- N2 TOOTH-IN EXISTING OPENING IN CMU WITH NEW CMU TO MATCH EXISTING. FINISH TO MATCH EXISTING. MAINTAIN MIN FIRE RATINGS AS INDICATED.
- N3 LADDER LOCATED IN BETWEEN WINDOWS AND 10' AWAY FROM CORNER OF BUILDING MINIMUM. REF SPEC.
- N4 INFILL EXISTING OPENING WITH METAL STUDS, BATT SOUND INSULATION, AND GWB TO MATCH EXISTING ADJACENT WALL THICKNESS. MATCH EXISTING ADJACENT BASE AND CHAIR RAIL AS REQUIRED.
- N5 PROVIDE SCHLUTER CORNER TRIM AT ALL TILE OUTSIDE CORNERS. TYP
- N6 ADA COMPLIANT SHOWER - SLOPE TO DRAIN WITH ADA COMPLIANT THRESHOLD SIMILAR TO ZERO #8452A.
- N7 PATCH EXISTING CONCRETE TO PROVIDE SMOOTH AND HOMOGENOUS SURFACE TO MATCH EXISTING ADJACENT CONCRETE.
- N8 PATCH AND REPAIR SLAB AFTER UNDERGROUND PLUMBING IS INSTALLED.
- N9 REMOVE ALL RESIDUES / ADHESIVES. PATCH & REPAIR EXISTING FLOORING AS REQUIRED TO MATCH ADJACENT.
- N10 PATCH AND PAINT EXISTING WALL TO MATCH ADJACENT.
- N11 CLOSURE AT FACE AND ABOVE.
- N12 REINSTALL EXISTING LOCKERS.
- N13 EXISTING CONCRETE PAD TO REMAIN
- N14 CONDUIT TO ELECTRICAL ROOM. REFER TO ELECTRICAL DRAWINGS.
- N15 PROVIDE 2HR RATED WALL ASSEMBLY.
- N16 DOOR OPERATOR PUSH PLATE.
- N17 NEW TILE TO COVER THE WALL AREA WHERE THE EXISTING TILES ARE REMOVED - MATCH HIGH.
- N18 PLUMBING FIXTURE - REF PLUMBING DRAWINGS
- N19 PROVIDE 4" SHOWER CURB
- N20 NEW DRAIN. REFER TO PLUMBING DRAWINGS. COORDINATE TILE SLOPING TO DRAIN - TYP
- N21 VERIFY WHETHER THE EXISTING WALL IS 2HR FIRE RATED. REPLACE WITH NEW CMU 2HR RATED WALL IF NECESSARY.
- N22 PROVIDE AND INSTALL FIRE EXTINGUISHER AND RECESSED FIRE EXTINGUISHER CABINET
- N23 CASEWORK - REF ELEVATIONS
- N25 TOOTH-IN EXISTING OPENING IN CMU WITH NEW CMU TO MATCH EXISTING. FINISH TO MATCH EXISTING
- N26 PROVIDE UP TO 3" TOPPING SLAB IN THIS AREA TO INFILL PREVIOUS MORTAR BED



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Project: 21124-01

Issued 01/07/22

BID SET

Revisions

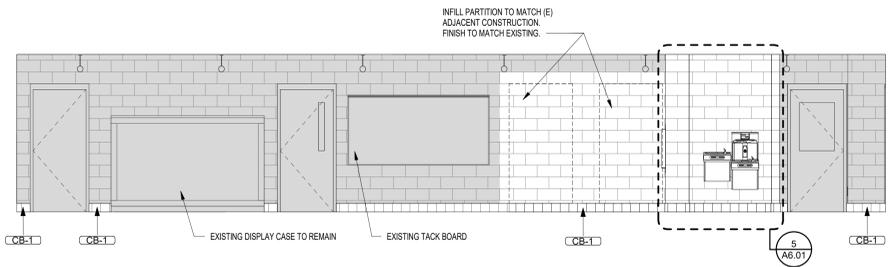
1 PERMIT REVISIONS 2/11/22

**ENLARGED PLANS.
INTERIOR ELEVATIONS**

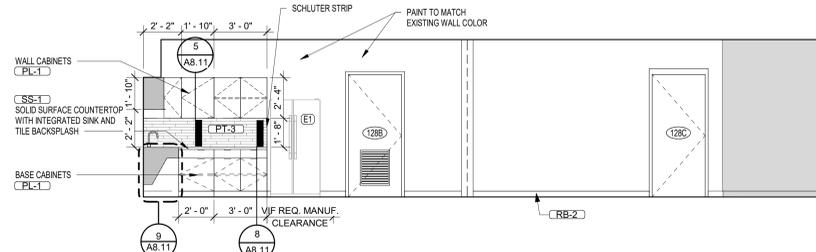
Scale As indicated
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A6.01

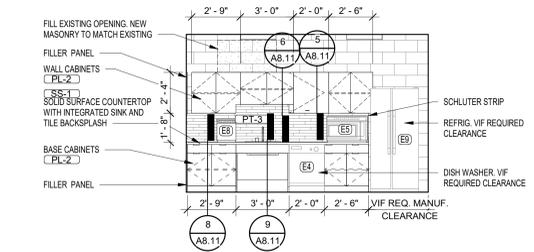
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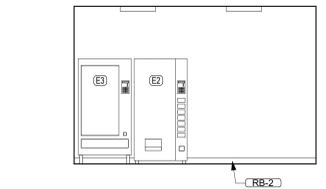
1 CORRIDOR 001 ELEVATION 1
1/4" = 1'-0"



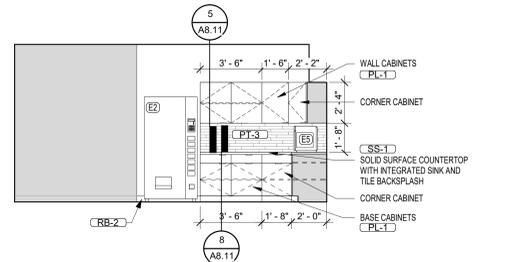
4 SW KITCHEN ELEVATION 2
1/4" = 1'-0"



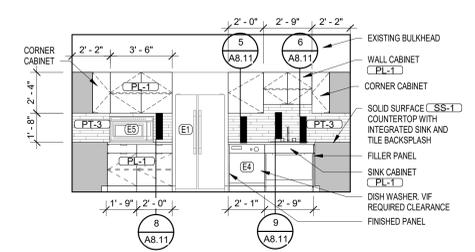
6 TE&O BREAK ROOM ELEVATION 1
1/4" = 1'-0"



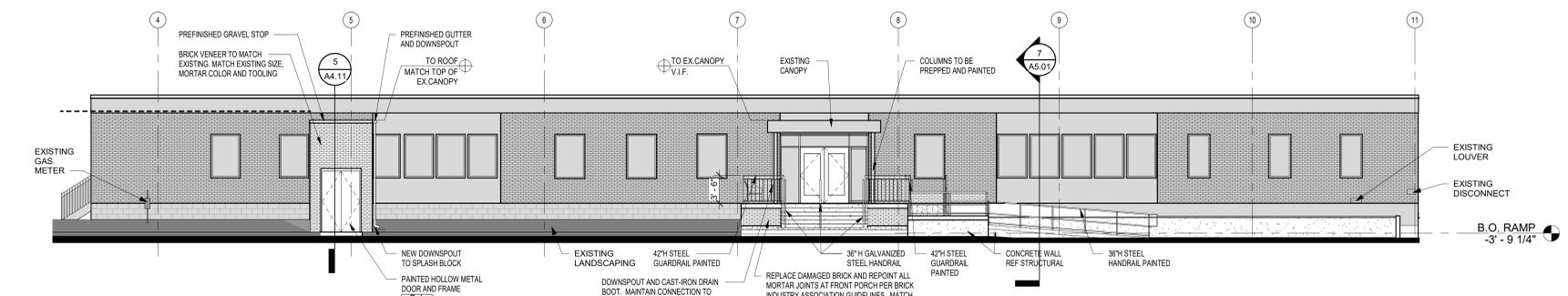
7 TE&O BREAK ROOM ELEVATION 2
1/4" = 1'-0"



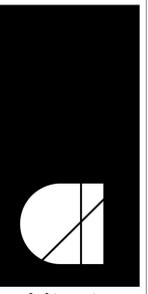
5 SW KITCHEN ELEVATION 3
1/4" = 1'-0"



3 SW KITCHEN ELEVATION 1
1/4" = 1'-0"



8 BUILDING ELEVATION - NORTH
1/8" = 1'-0"



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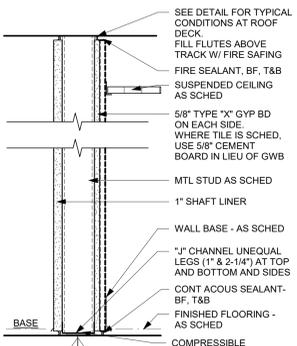
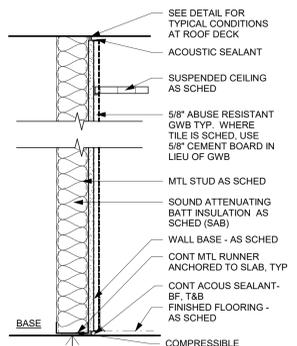
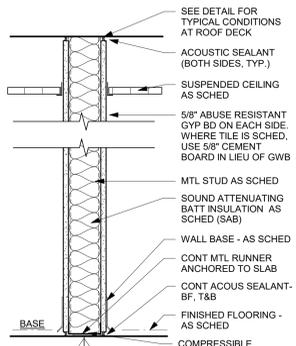
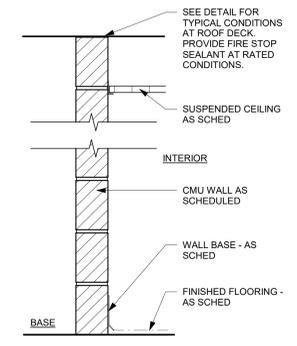
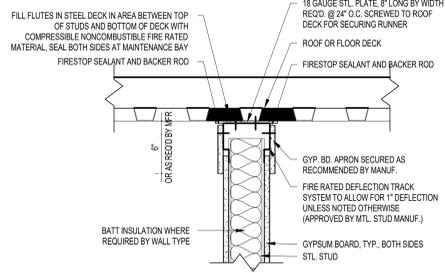
1 PERMIT REVISIONS 2/11/22

**ELEVATIONS
AND SECTIONS**

Scale **As indicated**
Drawn Author
Checked Checker

A7.01

BID SET



TYP PARTITION NOTE: SEE CODE STUDY FOR LOCATIONS OF RATED WALLS. WHERE THESE WALLS ARE INDICATED, COMPLY WITH THE FOLLOWING:
1HR - UL #906 (5 7/8" CMU)
2HR - UL #905 (7 5/8" CMU)
3HR - UL #904 (7 5/8" CMU)

PARTITION TYPES
1 1/2" = 1'-0"

TYPICAL WALL TYPE NOTES

- GENERAL NOTE APPLICABLE TO ALL DRAWINGS - ITEMS AND CONDITIONS DETAILED NOTED OR OTHERWISE IDENTIFIED ON ONE OF THE SECTIONS OR DETAILS ARE APPLICABLE AND BINDING TO ALL OTHER SECTIONS AND DETAILS FOR IDENTICAL OR SIMILAR CONDITIONS.
- NOT ALL WALL TYPES ARE REPRESENTED IN THIS PROJECT.
 - WALLS SHALL EXTEND FULL HEIGHT FROM FLOOR SLAB TO THE FLOOR OR ROOF DECK ABOVE UNLESS SPECIFICALLY NOTED OTHERWISE. IN CORRIDORS, EXTEND COLUMN CHASE AND LOCKER FIN WALLS 4' ABOVE CEILING ONLY.
 - REFER TO THE CODE STUDY AND FLOOR PLANS FOR IDENTIFICATION OF ALL SMOKE AND FIRE WALL CONDITIONS / LOCATIONS. IN ADDITION TO THE REQUIREMENTS INDICATED ON THE CODE STUDY AND FLOOR PLANS, ALL CORRIDOR AND VESTIBULE WALLS SHALL BE BUILT TO RESIST THE PASSAGE OF SMOKE.
 - FIRE WALLS, FIRE SEPARATION WALLS, SMOKE BARRIER WALLS AND WALLS REQUIRED TO RESIST THE PASSAGE OF SMOKE SHALL EXTEND FULL HEIGHT FROM FLOOR SLAB TO THE FLOOR OR ROOF DECK ABOVE AND SHALL BE SEALED TIGHT TO THE DECK OR STRUCTURAL MEMBER WITH AN APPROVED FIRE RESISTIVE JOINT SYSTEM. SEAL ALL PENETRATIONS AND TOPS OF WALLS IN ACCORDANCE WITH SPECIFICATION DIVISION 7 SECTION - FIRE RESISTIVE JOINT SYSTEMS. WALLS AT FIRE AND SMOKE CONDITIONS / LOCATIONS, LISTED ABOVE, SHALL BE BUILT TIGHT TO DUCTS, PIPES AND PENETRATIONS AND SHALL BE TERMINATED IN ACCORDANCE WITH WALL TERMINATION DETAILS ON THIS SHEET. FILL FLUTES IN FLOOR AND ROOF DECKS AS INDICATED. WHERE WALLS AT FIRE AND SMOKE CONDITIONS / LOCATIONS, LISTED ABOVE, ARE INTERRUPTED BY STRUCTURAL MEMBERS, PROVIDE FIRE RESISTIVE JOINT SYSTEM IN AREAS BETWEEN TOP AND/OR SIDE OF WALL AND STRUCTURAL MEMBER AND BETWEEN DECK ABOVE AND STRUCTURAL MEMBER IN ACCORDANCE WITH APPROVED FIRE RESISTIVE JOINT SYSTEM AND TYPICAL WALL TERMINATION NOTE #4 BELOW.
 - SEE WALL SECTIONS AND DETAILS FOR EXTERIOR WALL TYPES.
 - THESE WALL TYPES ARE GENERAL IN NATURE AND DO NOT COVER EVERY VARIATION THAT MAY OCCUR THROUGHOUT THE PROJECT. SEE WALL SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
 - TYPICAL CMU INTERIOR PARTITION SHALL BE TYPE A3 UNLESS INDICATED OTHERWISE BY WALL TYPE SYMBOLS, WALL SECTIONS OR OTHER DETAILS.
 - TYPICAL GYPSUM BOARD/STUD WALL PARTITION SHALL BE TYPE A3 UNLESS INDICATED OTHERWISE BY WALL TYPE SYMBOLS, WALL SECTIONS OR OTHER DETAILS.
 - WALL TYPES MAY NOT HAVE BEEN INCLUDED IN THIS SCHEDULE FOR INTERIOR WALL TYPES WHICH ARE COVERED BY WALL SECTIONS.
 - THESE WALL TYPES DO NOT SHOW LATERAL BRACING OR WALL REINFORCING. SEE STRUCTURAL AND OTHER DRAWINGS FOR THAT INFORMATION.
 - SEE FINISH SCHEDULE FOR FINISHES TO BE APPLIED TO THESE WALL TYPES.
 - ALL WALLS WITH FIRE RATING INDICATED SHALL BE BUILT IN STRICT CONFORMANCE WITH A UL TESTED ASSEMBLY OR OTHER TESTED ASSEMBLY WHICH PROVIDES THE FIRE RATING INDICATED.
 - FURRING CHANNELS AND STUDS SHALL BE 16" O.C. MAXIMUM UNLESS SPECIFICALLY NOTED OTHERWISE.
 - THE GAGE OF ALL METAL STUDS SHALL BE SIZED SO THAT THE DEFLECTION OF THE WALL SHALL NOT EXCEED 1/240 PER ASTM C846 UNLESS A HEAVIER GAGE IS INDICATED ON THE WALL TYPE OR DETAILS.
 - IN ALL WALLS WITH SOUND ATTENUATION BLANKETS OR AN STC RATING LISTED, OUTLETS, SWITCHES, ETC., SHALL NOT BE LOCATED BACK TO BACK. OUTLETS SHALL BE SET AND SEALED. PERIMETERS OF WALLS AT ADJACENT WALLS, COLUMNS, CEILING, ETC.) SHOULD BE SEALED. ADDITIONALLY, WALL PENETRATIONS SHALL BE SEALED WITH APPROPRIATE TYPE OF ACOUSTIC SEALANT.
 - PROVIDE SPACE FOR DEFLECTION OF BEAMS, JOISTS AND STEEL DECK @ TOP OF ALL WALLS THAT RUN TO THE DECK. FILL GAP WITH NON COMBUSTIBLE COMPRESSIBLE FILLER ON NON RATED WALLS AND APPROVED FIRE SAFING ON RATED WALLS - SEE TYP. DETAILS THIS SHEET.
 - FOR CASES WHEN WALLS ARE INDICATED TO EXTEND FULL HEIGHT TO THE DECK BUT STOP AT A STRUCTURAL MEMBER, SEE THE TYPICAL DETAILS ON THIS SHEET FOR THE APPROPRIATE CLOSURE CONDITIONS. IF EXACT CONDITION IS NOT INDICATED, MODIFY CLOSEST CONDITION FOR SPECIFIC APPLICATION.
 - PROVIDE 4" HIGH X 16 GA. X LENGTH REQUIRED STEEL PLATE BLOCKING OR 2H FRD W/ D BLOCKING IN ALL IN ALL STUD WALLS WHERE REQUIRED TO ATTACH LOCKERS, CASEWORK, SHELVING, LIGHTS, ELECTRICAL DEVICES, TOILET ACCESSORIES AND ANY OTHER ITEM WHICH REQUIRE SECURE ATTACHMENT TO THE WALLS.
 - IN ROOMS WHERE FINISHED CEILING IS PROVIDED, EXTEND ALL CHASE WALLS TO FLOOR OR ROOF DECK ABOVE.
 - PROVIDE CONT. SEALANT AT BASE OF ALL GYP. BD. WALLS (BOTH SIDES), TYPICAL.

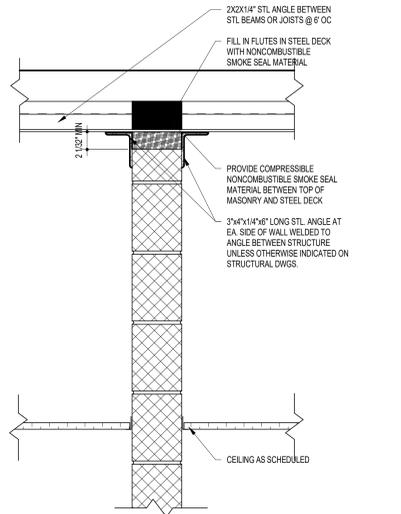
ELECTRICAL BOXES IN FIREWALLS

ELECTRICAL BOXES IN FIRE RATED PARTITIONS SHALL NOT EXCEED 16 SQUARE INCHES IN AREA (IF 4"x4"), SHALL BE MADE OF STEEL, AND SHALL BE SPACED SUCH THAT THE CUMULATIVE AREA OF BOX CUTOUTS IN THE FIREWALL DOES NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. ELECTRICAL BOXES ON OPPOSITE SIDES OF THE SAME FIREWALL SHALL BE SEPARATED BY A HORIZONTAL AND VERTICAL DISTANCE OF NOT LESS THAN 24". THE ELECTRICAL CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS, AS NECESSARY, TO ELECTRICAL BOX LOCATIONS TO ENSURE COMPLIANCE WITH THIS REQUIREMENT SINCE BOX LOCATIONS ARE TYPICALLY NOT DIMENSIONED ON THE DRAWINGS. CONSULT ARCHITECT IF CLARIFICATION IS REQUIRED.

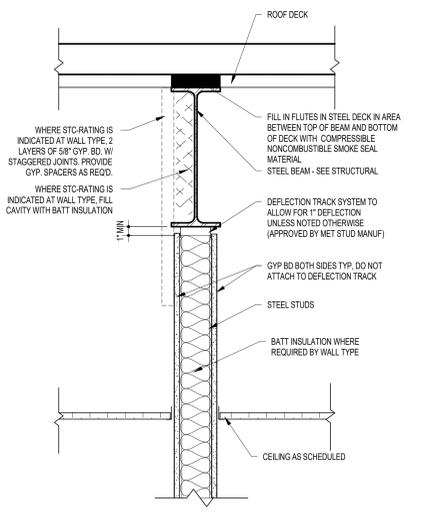
TYPICAL WALL TERMINATION NOTES

- USE THESE TYPICAL WALL TERMINATION DETAILS FOR ALL WALLS INDICATED TO EXTEND TO DECK ABOVE, UNLESS SPECIFICALLY DETAILED OTHERWISE. COORDINATE WITH STRUCTURAL FRAMING PLANS.
- SEE WALL TYPES ABOVE FOR ACTUAL WALL CONSTRUCTION.
- AT FIRE WALLS, FIRE SEPARATION WALLS, SMOKE BARRIER WALLS AND WALLS REQUIRED TO RESIST THE PASSAGE OF SMOKE, ALL COMPRESSIBLE NON-COMBUSTIBLE MATERIALS REFERENCED IN THE WALL TERMINATION DETAILS SHALL BE MATERIALS PROVIDED IN ACCORDANCE WITH THE APPROVED FIRE RESISTIVE JOINT SYSTEM.
- IF A WALL REQUIRING A FIRE RATING IS LOCATED DIRECTLY UNDER A BEAM THE FIRE RATING OF THE WALL SHALL BE MAINTAINED TO THE DECK BY EXTENDING WALL AROUND BEAM. CONSULT ARCHITECT FOR EXACT REQUIREMENTS TO MAINTAIN RATING.

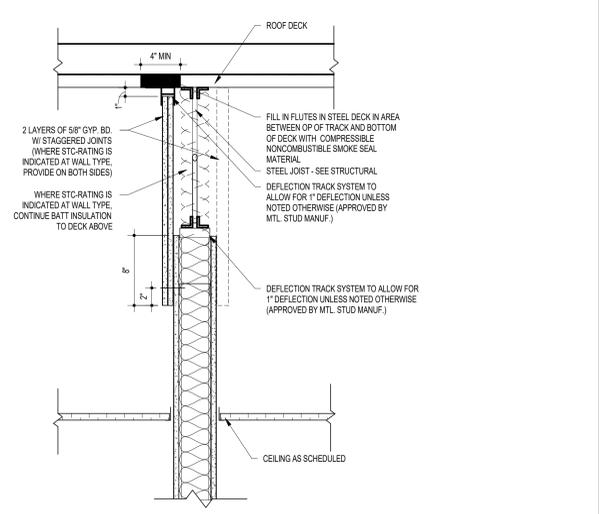
A15 CMU WALL ALIGNED UNDER A JOIST
1 1/2" = 1'-0"



E6 JOIST OR BEAM. PERP. TO WALL
1 1/2" = 1'-0"



A18 NON-RATED CMU WALL ALIGNED UNDER A BEAM
1 1/2" = 1'-0"



A12 CMU WALL
1 1/2" = 1'-0"



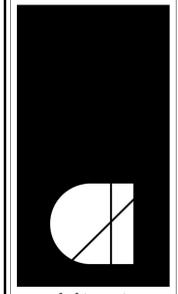
A9 STUD WALL ALIGNED UNDER A BEAM
1 1/2" = 1'-0"



A6 NON-RATED STUD WALL ALIGNED UNDER A JOIST
1 1/2" = 1'-0"



A3 NON-RATED CTUD WALL
1 1/2" = 1'-0"



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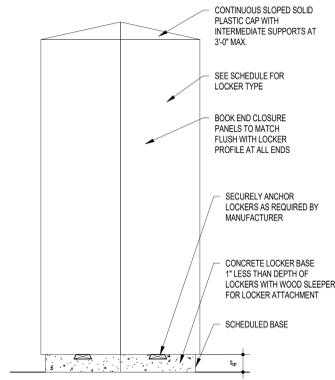
| Revisions | 2/11/22 |
|--------------------|---------|
| 1 PERMIT REVISIONS | |

PARTITION TYPES AND WALL TERMINATION

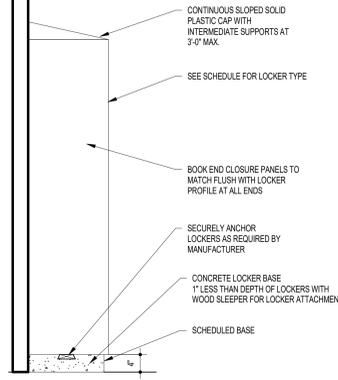
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Drawn Author
Checked Checker

A8.01

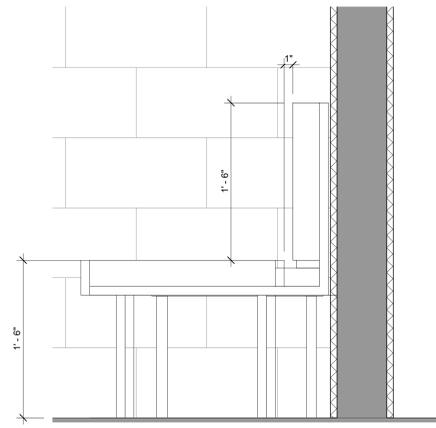
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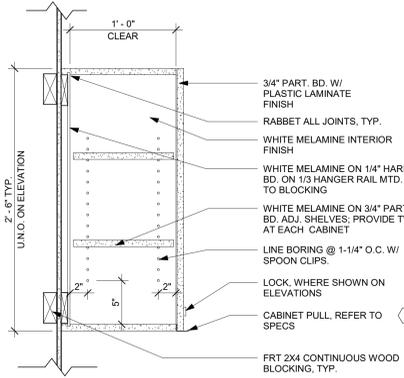
1 A501.J7 TYP. LOCKER
DETAIL - DOUBLE SIDED
3/4" = 1'-0"



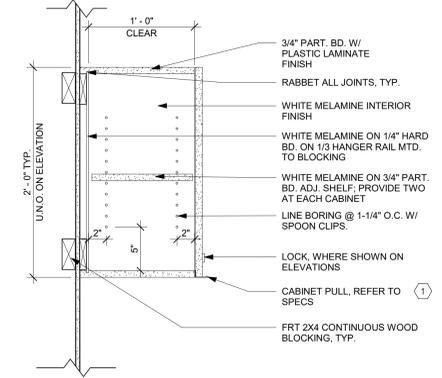
2 A501.J11 SECTION @
MENS LOCKER
3/4" = 1'-0"



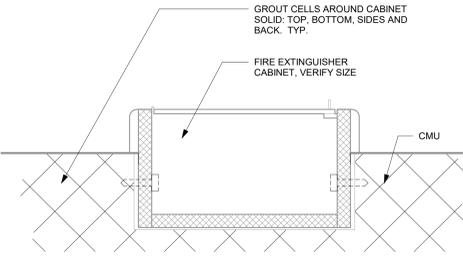
3 SECTION @ ADA BENCH
1 1/2" = 1'-0"



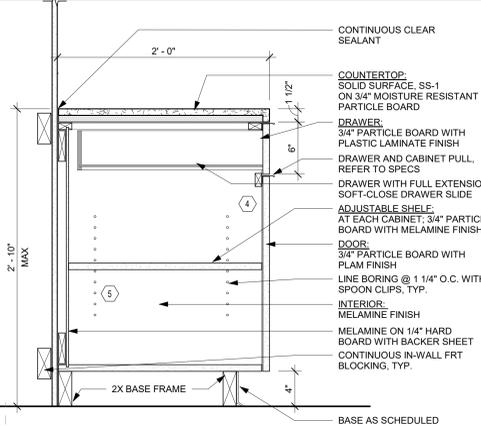
5 TYP. WALL CABINET
1 1/2" = 1'-0"



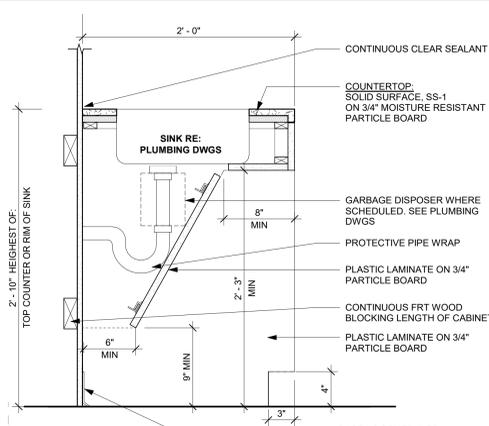
6 TYP. WALL CABINET Copy 1
1 1/2" = 1'-0"



7 FIRE-EXTINGUISHER CABINET DETAIL
3" = 1'-0"

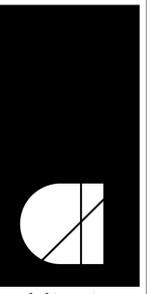


8 MLWK-BASE CABINET
1 1/2" = 1'-0"



9 BASE SINK CABINET
1 1/2" = 1'-0"

| CABINET ACCESSORY / HARDWARE SCHEDULE | | | | | |
|---------------------------------------|--------------------|--------------|--|------------------|--|
| # | DESCRIPTION | MANUFACTURER | MODEL | ACCESSORY FINISH | COMMENTS |
| 1 | 6" TAB PULLS | DP3 | AS | BRUSHED CHROME | HORIZONTAL INSTALLATION; CENTERED ON ALL PULL-OUT DOOR & DRAWERS; 4" O.C. ON MOUNTING AT SWING EDGE OF SWING DOORS |
| 2 | DRAWER SLIDERS | ACCURIDE | 7434 @ DRAWERS | N/A | FULL EXTENSION SLIDES |
| 4 | CONCEALED HINGES | HAFELE | 329.17.507 OR SIMILAR FOR FULL-OVERLAY; SELF-CLOSING | BRUSHED CHROME | 110E OPENING WITH INTEGRAL AND VERTICAL ADJUSTMENT; SELF-CLOSING; FOR FULL OVERLAY DOORS |
| 5 | SHELF SUPPORT PINS | HAFELE | 282.04.739 | NICKEL PLATED | WHERE INDICATED FOR ADJUSTABLE SHELVING |



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|---|------------------|---------|
| 1 | PERMIT REVISIONS | 2/11/22 |

INTERIOR
DETAILS

Scale **As indicated**
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A8.11

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1 REFLECTED CEILING PLAN
1/8" = 1'-0"

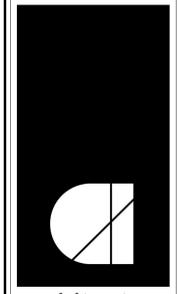
KEYED CEILING NOTES:

| | |
|----|--|
| C1 | NOT USED |
| C2 | NOT USED |
| C3 | NEW TUBULAR SKYLIGHTS. RELOCATE MECHANICAL DUCTS AND LIGHTING SO THAT SKYLIGHTS DO NOT CONFLICT. |
| C5 | REPAIR AND INFILL CEILING/ROOF AT AREA OF DEMOED SKYLIGHT |
| C6 | REPAIR AND REPLACE AS REQUIRED FOR NEW WORK |
| C7 | EXISTING LIGHT FIXTURES TO REMAIN. |

REFLECTED PLAN LEGEND:

| | |
|-----------|--|
| (N1) | NEW WORK KEYED NOTE |
| (1) | NEW LIGHT FIXTURE; SEE ELECTRICAL DRAWINGS |
| [Pattern] | NEW GYPSUM BOARD CEILING |
| [Pattern] | NEW 2X2 ACT AND GRID |
| [Pattern] | EXISTING GYPSUM BOARD CEILING TO REMAIN |
| [Pattern] | EXISTING 2X2 ACT AND GRID TO REMAIN |
| 10'-0" | CEILING HEIGHT ABOVE FINISHED FLOOR |
| CF-1 | CEILING FINISH; SEE FINISH SCHEDULE |
| ETR | EXISTING CEILING TO REMAIN |
| EXS | EXPOSED STRUCTURE OVERHEAD |
| [Blank] | NO WORK IN THIS AREA |

SEE A0.01 FOR GENERAL FINISH NOTES
SEE A10.01 FOR GENERAL CEILING NEW WORK NOTES
SEE F1.01 FOR FINISH SCHEDULE



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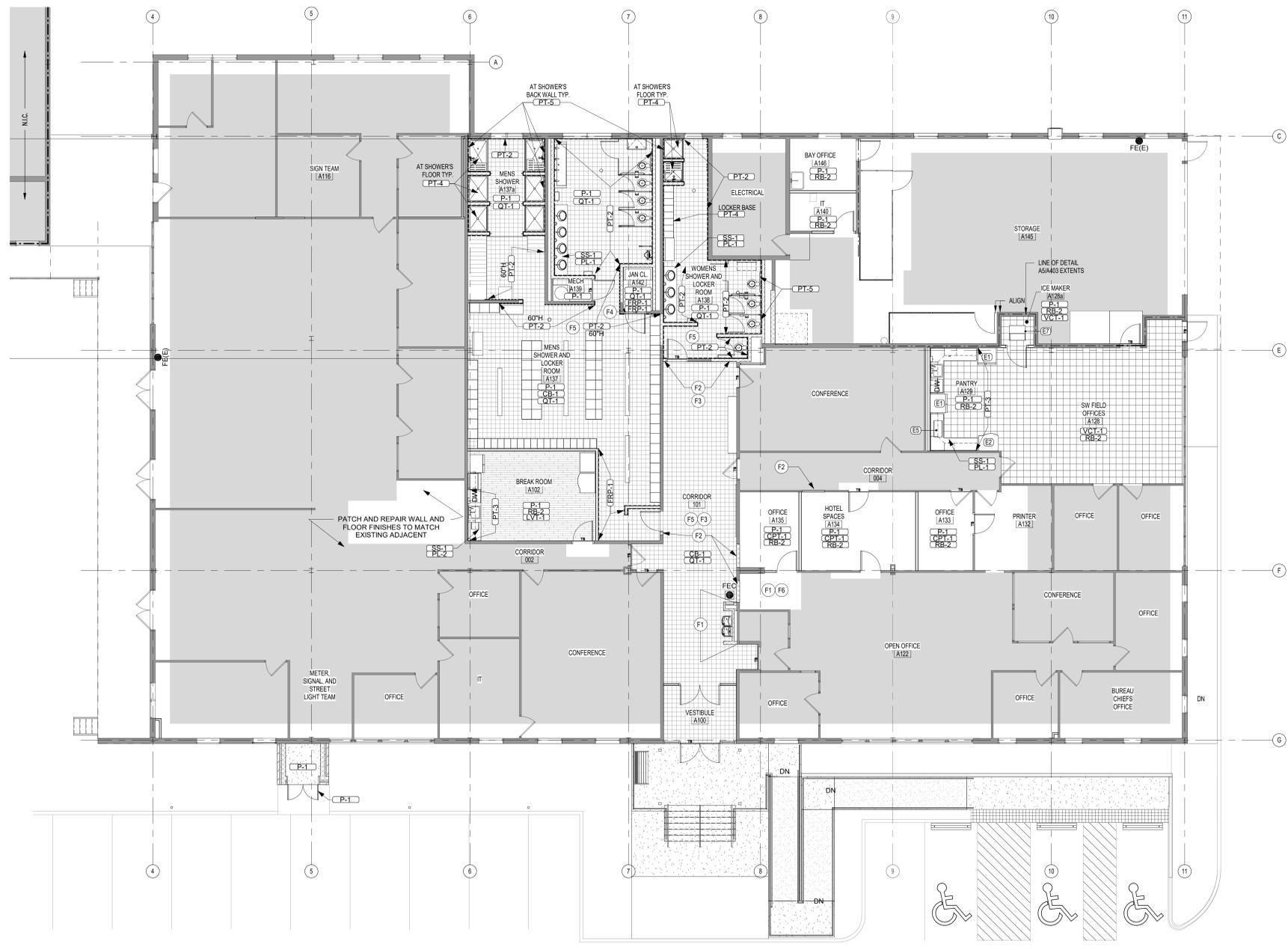
REFLECTED CEILING PLAN

Scale 1/8" = 1'-0"
Drawn DF
Checked MM

A10.01

BID SET

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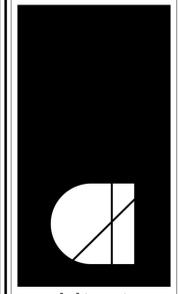
KEYED FINISH NOTES:

| | |
|----|--|
| F1 | PAINT WALL TO MATCH EXISTING WALL COLOR |
| F2 | FINISH WALL TO MATCH EXISTING, FOR SEAMLESS TRANSITION TO EXISTING CONDITIONS. |
| F3 | INSTALL WALL BASE |
| F4 | PROVIDE 8" HIGH FRP |
| F5 | INSTALL NEW TILE FLOOR AT THE SAME LEVEL AS REMOVED EXISTING TILE. |
| F6 | CARPET AND WALL BASE TO MATCH EXISTING |

3 FLOOR PLAN
1/8" = 1'-0"

FINISH SCHEDULE

| TYPE | DESCRIPTION | MANUFACTURER | SERIES / FINISH / STYLE | COLOR | INSTALLATION / PROCUREMENT | LOCATION |
|-------------------------------------|------------------------------|------------------|--|---------------------------|----------------------------|---|
| BASE | | | | | | |
| CB-1 | QUARRY COVE BASE | DAL TILE | DAL TILE QUARRY TEXTURES BULLNOSE 6"x6" | ASHEN GRAY | | ENTRY CORRIDOR, MEN LOCKER ROOM |
| RB-2 | RUBBER BASE | JOHNSONITE | 4" COVE | 199 DOCKSIDE WG | | THROUGHOUT, U.O.N |
| CASEWORK / MILLWORK | | | | | | |
| PL-1 | PLASTIC LAMINATE | FORMICA | MATE | 6413 SILVER RIFTWOOD | | SOLID WASTE |
| PL-2 | PLASTIC LAMINATE | ARBORITE | STANDARD HPL FINISH | W-476 EV VEILED GHOSTWOOD | | BREAK ROOM A102 |
| SS-1 | SOLID SURFACE | WILSONAR | 1/2", EASED EDGE | 9218CM GREY BEOLA | | THROUGHOUT, U.O.N |
| CEILING TILE | | | | | | |
| ACT-1 | ACOUSTIC CEILING TILE | ARMSTRONG | PRELUDE XL 15/16" Grid, FINE FISSURED 15/16" ANGLED REGULAR 24"x24" Tile | WHITE | | WHERE PATCHING EXISTING ACT IS REQUIRED, VERIFY EXISTING COLOR WHEN MATCHING EXISTING |
| FIBERGLASS REINFORCED PANELS | | | | | | |
| FRP-1 | FIBERGLASS REINFORCED PANELS | MARLITE | STANDARD FRP | TBD | | |
| FLOORING | | | | | | |
| CPT-1 | CARPET | SHAW CONTRACT | BRIGHT WORK, SHINE TILE 24" x 24", MATCH EXISTING | 27485 FLASHPOINT | | PREINSTALL MEETING REQUIRED |
| LVT-1 | LUXURY VINYL TILE | SHAW CONTRACT | 48599 SOLITUDE, 6" x 48" PLANK | FRENCH GREY | RANDOM STAGGERED | PREINSTALL MEETING REQUIRED |
| QT-1 | QUARRY TILE | DAL TILE | QUARRY TEXTURES | 0703 ASHEN GRAY 6"x6" | | ENTRY CORRIDOR, SHOWER AND LOCKER ROOMS |
| VCT-1 | VINYL COMPOSITE TILE | ARMSTRONG | IMPERIAL TEXTURE | 52513 CIRQUE WHITE | | PREINSTALL MEETING REQUIRED |
| PAINT | | | | | | |
| P-1 | PAINT | SHERMAN WILLIAMS | EGGSHELL; LOW VOC | SW7004 SNOWBOUND | | TYPICAL PAINT THROUGHOUT, U.O.N |
| P-2 | PAINT | SHERMAN WILLIAMS | SEMI-GLOSS; LOW VOC | SW7004 SNOWBOUND | | TYPICAL DOOR AND FRAME PAINT THROUGHOUT, U.O.N |
| P-5 | PAINT | MATCH EXISTING | FLAT; LOW VOC | WHITE, MATCH EXISTING | | TYPICAL CEILING PAINT THROUGHOUT, U.O.N |
| P-6 | PAINT | SHERMAN WILLIAMS | EGGSHELL; LOW VOC | SW 6530 REVEL BLUE | | TYPICAL ACCENT THROUGHOUT, U.O.N |
| TILE | | | | | | |
| PT-2 | TILE | DAL TILE | COLORWHEEL, SIZE 6"x24" | ALMOND 0135 | 1/8 JOINT | WALLS, HORIZONTAL IN STACKED BOND |
| PT-3 | TILE | DAL TILE | AMITY; MOSAIC, 14" X 12" SHEET | TAUPE | | KITCHEN BACKSPLASH |
| PT-4 | TILE | DAL TILE | Reminiscent, SIZE: MOSAIC | RM23 Reclaimed Gray | 1/8 JOINT | SHOWER FLOORS AND LOCKER BASE |
| PT-5 | TILE | DAL TILE | COLORWHEEL, SIZE 4"x12" | ARCHITECTURAL GRAY | 1/8 JOINT | ACCENT TILE, HORIZONTAL IN STACKED BOND |



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FINISH PLAN AND SCHEDULE

Scale 1/8" = 1'-0"
Drawn Author
Checked Checker

F2.01

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