

OWNER:

UNION COUNTY GOVERNMENT

PHONE: (##) ##-####
INSERT STREET ADDRESS HERE
CITY, STATE #####
CONTACT: INSERT NAME HERE

PROJECT MANAGER:

DONEL SHELTON

PHONE: (##) ##-####
INSERT STREET ADDRESS HERE
CITY, STATE #####
CONTACT: INSERT NAME HERE

CONTRACTOR:

INSERT BUSINESS NAME HERE

PHONE: (##) ##-####
INSERT STREET ADDRESS HERE
CITY, STATE #####
CONTACT: INSERT NAME HERE

CIVIL:

WILL ROBINSON AND ASSOCIATES

PHONE: (865) 388-4200
1248 NORTH SHOREWOOD DRIVE
CARYVILLE, TN 37714
CONTACT: WILL ROBINSON

STRUCTURAL:

HAINES STRUCTURAL GROUP

PHONE: (865) 329-9920
800 SOUTH GAY STREET, SUITE 1750
KNOXVILLE, TN 37929
CONTACT: CHARLIE JOHNSON

ARCHITECTURAL:

DESIGN INNOVATION ARCHITECTS, INC.

PHONE: (865) 637-8540
402 S GAY STREET, SUITE 201
KNOXVILLE, TN 37902
CONTACT: OREN YARBROUGH

MECHANICAL & PLUMBING:

BEDINGER CONSULTING ENGINEERS

PHONE: (865) 299-5975
5641 MERCHANTS CENTER BLVD, SUITE A104
KNOXVILLE, TN 37912
CONTACT: STEVEN ZIMNY

ELECTRICAL:

VREELAND ENGINEERS

PHONE: (865) 745-4406
3107 SUTHERLAND AVE
KNOXVILLE, TN 37919
CONTACT: ALAN SUMMERS

KITCHEN:

KATOM RESTAURANT SUPPLY, INC.

PHONE: (865) 388-2915
305 KATOM DRIVE
KODAK, TN 37764
CONTACT: MIKE KNOESEL

- A GENERAL NOTES APPLY TO ALL SHEETS.
- B ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH ARE NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- C EACH TRADE SHALL BE RESPONSIBLE FOR KNOWLEDGE OF THE GENERAL NOTES INCLUDED THROUGHOUT THE CONTRACT DOCUMENTS AND THE APPLICABLE BUILDING CODES.
- D THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TOOLS, LABOR, EQUIPMENT, MATERIALS AND ALL OTHER REQUIRED SUPPLIES AND SERVICES TO COMPLETE THE WORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE LOCAL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL OPERATIONS ARE CARRIED OUT IN CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, STATUTES AND REGULATIONS CONCERNING, BUT NOT LIMITED TO, THE PROTECTION OF LIFE AND PROPERTY.
- E THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- F GENERAL CONTRACTOR SHALL VISIT THE SITE AND REVIEW ANY EXISTING STRUCTURES, IF APPLICABLE, AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- G GENERAL CONTRACTOR SHALL COORDINATE AND MANAGE ALL TRADES AND ASPECTS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- H ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
- I GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BIDDING AND BEGINNING THE WORK.
- J GENERAL CONTRACTOR SHALL RETAIN ONE SET OF PLANS IN GOOD CONDITION TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET OF PLANS SHALL BE RETURNED TO THE OWNER AS PART OF THE REQUIRED CLOSE-OUT PACKAGE.
- K GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, SIGNAGE (WHERE APPLICABLE), MECHANICAL, & ELECTRICAL SYSTEMS, ETC. PRIOR TO INSTALLATION OF THOSE SYSTEMS UNLESS NOTED OTHERWISE.
- L IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONDITIONS AT THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL INCLUDE BUT NOT BE LIMITED TO MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS, AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
- M PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. APPLICATION AND PAYMENT FOR ALL NECESSARY LICENSES AND PERMITS REQUIRED FOR THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND CONTRACT DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
- N FIREPROOFING, SEALANTS, & DAMPERS MAY NOT BE SHOWN ON SOME DRAWINGS FOR CLARITY. HOWEVER, ALL ASSEMBLIES MUST BE INSTALLED IN ACCORDANCE WITH THE LISTED LIFE SAFETY DESIGN. ALL ASSEMBLIES SHALL BE INSTALLED & COORDINATED WITH ALL DISCIPLINES AS OUTLINED IN THE APPLICABLE U.L. (OR EQUIVALENT) DETAIL AS CALLED OUT IN THE LIFE SAFETY DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE OWNER'S REPRESENTATIVE BEFORE CONTINUING CONSTRUCTION.
- O THESE DRAWINGS ARE ONE PORTION OF THE CONTRACT DOCUMENTS. AS SUCH, THEY ARE NOT TO BE DIVIDED INTO PARTIAL SETS AND DISTRIBUTED TO DIFFERENT PARTIES/TRADES WITHOUT THE REMAINING PORTIONS OF THE CONTRACT DOCUMENTS. IF PARTIAL SETS ARE DISTRIBUTED BY THE GENERAL CONTRACTOR, THEN THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION AND SHALL PAY FOR ANY ADDITIONAL ASSOCIATED COSTS RELATED TO THE COORDINATION OR ANY REMEDIATION WORK ARISING FROM THE PARTIAL DISTRIBUTION OF THE CONTRACT DOCUMENTS. THIS PAYMENT SHALL OCCUR AT NO ADDITIONAL COSTS TO THE OWNER, ARCHITECT OR ANY OF THEIR EMPLOYEES OR CONSULTANTS.
- P DETAILS ARE INTENDED TO SHOW DESIGN INTENT OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
- Q DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CAN NOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- R UNLESS SHOWN OR NOTED OTHERWISE, USE CONSTRUCTION DETAILS AND PRACTICES COMMON TO THE STANDARDS OF THE TRADES.
- S GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL ITEMS REQUIRING THE SAME. SUCH ELEMENTS INCLUDE BUT ARE NOT LIMITED TO MILLWORK, RESTROOM ACCESSORIES, WALL STOPS, AND RAILINGS.
- T ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND SHALL BE OF BEST PRACTICE OF EACH TRADE.
- U GENERAL CONTRACTOR SHALL VERIFY AND MAINTAIN ALL THE REQUIRED CLEARANCES AROUND INSTALLED EQUIPMENT.
- V EACH DISCIPLINE (MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, ETC.) SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ACCESS PANELS OR DOORS FOR THEIR SCOPE OF WORK. ACCESS DOORS AND PANELS SHALL BE OF APPROPRIATE SIZE AND CONSTRUCTION OF METAL WITH GYPSUM BOARD PANEL INSERTS FOR THE DOOR FACE UNLESS NOTED OTHERWISE. ACCESS PANELS SHALL BE PRIMED AND PAINTED TO MATCH ADJACENT SURFACE. ACCESS DOORS AND PANELS SHALL COMPLY WITH FIRE RATINGS OR SMOKE PARTITION REQUIREMENTS AS NOTED IN THE DRAWING.
- W SUBSTITUTION OF SPECIFIED MATERIALS WILL ONLY BE ACCEPTED DURING THE BID PHASE AND MUST BE SUBMITTED TO THE ARCHITECT AS AN EQUAL PRODUCT FOR APPROVAL PER CONDITIONS OF THE CONTRACT DOCUMENTS.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com



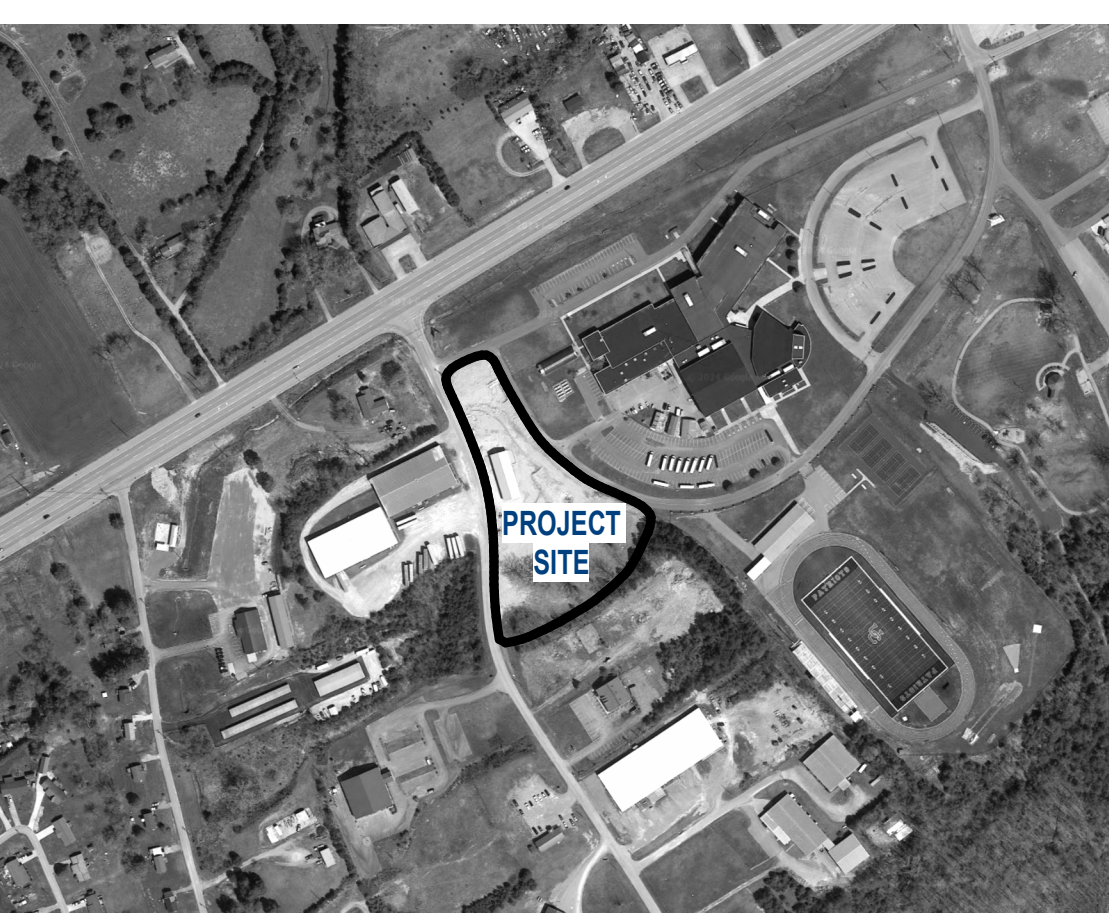
PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 COVER



G000
 PROJECT DATE PROJECT NUMBER
 2024-04-01 **23071**

A04 PROJECT SITE MAP / LOCATION
 NOT TO SCALE

4/4/2024 11:09:15 AM

U
T
S
R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A

U
T
S
R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A

SHEET INDEX						
SHEET #	SHEET NAME	SHEET ISSUE DATE	CURRENT REV. NO.	REV. DESCRIPTION	REV. ISSUED BY	CURRENT REV. DATE
G000	COVER	2024-04-01				
G001	SHEET INDEX	2024-04-01				
G099	PROJECT CODE REQUIREMENTS	2024-04-01				
G199	ARCH LEGENDS & ABBREVIATIONS	2024-04-01				
LS101	FIRST FLOOR LIFE SAFETY PLAN	2024-04-01				
C101	SITE LAYOUT PLAN	2024-03-15				
C102	EROSION CONTROL - 1	2024-03-15				
C103	EROSION CONTROL - 2	2024-04-01				
C104	SITE GRADING PLAN	2024-03-15				
C105	SITE UTILITY PLAN	2024-04-01				
C201	SITE DETAILS - 1	2024-04-01				
C202	SITE DETAILS - 2	2024-04-01				
S001	ABBREVIATIONS, SYMBOLS, AND LEGENDS	2024-04-01				
S002	STRUCTURAL GENERAL NOTES	2024-04-01				
S003	STRUCTURAL GENERAL NOTES	2024-04-01				
S004	SPECIAL INSPECTIONS	2024-04-01				
S005	TYPICAL CONCRETE DETAILS	2024-04-01				
S006	TYPICAL WOOD DETAILS	2024-04-01				
S007	TYPICAL WOOD DETAILS	2024-04-01				
S100	OVERALL SITE PLAN	2024-04-01				
S111	FOUNDATION PLAN - PAVILLION EXTENSION	2024-04-01				
S112	ROOF FRAMING PLAN - PAVILLION EXTENSION	2024-04-01				
S121	FOUNDATION PLAN - COMMERCIAL KITCHEN SHELL - ADDITION	2024-04-01				
S122	ROOF FRAMING PLAN - COMMERCIAL KITCHEN SHELL - ADDITION	2024-04-01				
S131	MUSIC SITE WALLS	2024-04-01				
S201	SECTIONS & DETAILS	2024-04-01				
S202	SECTIONS & DETAILS	2024-04-01				
S203	SECTIONS & DETAILS	2024-04-01				
S301	STRUCTURAL ISO	2024-04-01				
S302	STRUCTURAL ISO	2024-04-01				
AD101	PHASE 01 DEMO PLAN - FLOOR PLAN	2024-04-01				
AD102	PHASE 02 DEMO PLAN - FLOOR PLAN	2024-04-01				
AD103	PHASE 03 DEMO PLAN - FLOOR PLAN	2024-04-01				
AD104	DEMO PLAN - ROOF PLAN	2024-04-01				
AD105	PHASE 01 DEMO PLAN - RCP	2024-04-01				
AS101	ARCHITECTURAL SITE PLAN	2024-04-01				
AG100	WALL TYPES	2024-04-01				
A101	FLOOR PLAN - PHASE 01 - PAVILLION EXTENSION	2024-04-01				
A102	FLOOR PLAN - PHASE 02 - COMMERCIAL KITCHEN SHELL ADDITION	2024-04-01				
A103	FLOOR PLAN - PHASE 03 - COMMERCIAL KITCHEN BUILD-OUT	2024-04-01				
A104	FLOOR PLAN - COMPLETED	2024-04-01				
A111	ROOF PLAN - PHASE 01 - PAVILLION EXTENSION	2024-04-01				
A112	ROOF PLAN - PHASE 02 - KITCHEN ADDITION SHELL	2024-04-01				
A113	ROOF PLAN - COMPLETED	2024-04-01				
A121	RCP - PHASE 01 - PAVILLION EXTENSION	2024-04-01				
A122	RCP - PHASE 02 - COMMERCIAL KITCHEN SHELL ADDITION	2024-04-01				
A123	RCP - PHASE 03 - COMMERCIAL KITCHEN BUILD OUT	2024-04-01				
A125	RCP - COMPLETED	2024-04-01				
A131	ENLARGED KITCHEN EQUIPMENT - FOR REFERENCE ONLY	2024-04-01				
A132	ENLARGED RESTROOM PLANS	2024-04-01				
A133	MUSIC WALL DETAILS	2024-04-01				
A201	EXTERIOR ELEVATIONS	2024-04-01				
A202	EXTERIOR ELEVATIONS	2024-04-01				
A301	BUILDING SECTIONS	2024-04-01				
A302	BUILDING SECTIONS	2024-04-01				
A311	WALL SECTIONS	2024-04-01				
A312	WALL SECTIONS	2024-04-01				
A321	TYPICAL DETAILS	2024-04-01				
A331	PLAN & SECTION DETAILS	2024-04-01				
A500	OPENINGS	2024-04-01				
A741	CASEWORK or MILLWORK	2024-04-01				
K0.0	KITCHEN EQUIPMENT SCHEDULE	2024-03-27				
K1.0	KITCHEN EQUIPMENT PLAN	2024-03-27				
K2.0	KITCHEN EQUIPMENT ELECTRICAL PLAN	2024-03-27				
K3.0	KITCHEN EQUIPMENT PLUMBING PLAN	2024-03-27				
K4.0	KITCHEN EQUIPMENT WASTE PLAN	2024-03-27				
K5.0	KITCHEN EQUIPMENT SPECIAL CONDITIONS PLAN	2024-03-27				
K6.0	KITCHEN EQUIPMENT ELEVATIONS	2024-03-27				
K7.0	KITCHEN EQUIPMENT ISOMETRIC VIEWS	2024-03-27				
P001	SCHEDULES AND DETAILS	2024-04-01				
P101	FLOOR PLAN - WASTE	2024-04-01				
P102	FLOOR PLAN - WATER & LP	2024-04-01				
M001	SCHEDULES & SPECIFICATIONS	2024-04-01				
M002	KITCHEN HOOD EQUIPMENT	2024-04-01				
M003	KITCHEN HOOD EQUIPMENT	2024-04-01				
M101	FLOOR PLAN - HVAC	2024-04-01				
E100	SITE ELECTRICAL PLAN	2024-03-29				
E101	FLOOR PLAN - LIGHTING AND POWER	2024-03-29				
E102	FLOOR PLAN - COMMUNICATIONS, FIRE ALARM, AND HVAC WIRING	2024-03-29				
E201	ENLARGED KITCHEN PLAN - ELECTRICAL	2024-03-29				
E301	LEGEND, SCHEDULES, DETAILS	2024-03-29				
E302	PANELBOARD SCHEDULES, FEEDER DIAGRAM	2024-03-29				

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 SHEET INDEX

G001
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: **23071**

2018 INTERNATIONAL BUILDING CODE (IBC):

IBC CHAPTER 1: SCOPE & ADMINISTRATION
RENOVATION OF EXISTING COMMERCIAL KITCHEN, STORAGE, OFFICE, AND RESTROOMS + AN ADDITION TO THE BUILDING WITH A COMMERCIAL KITCHEN AND ADDITIONAL STORAGE, RESTROOMS, AND A LAUNDRY ROOM. PRIMARY FUNCTION OF SPACE IS AS A COMMERCIAL KITCHEN WITH AN EDUCATIONAL COMPONENT FOR COMMUNITY COOKING CLASSES.

IBC CHAPTER 3: OCCUPANCY CLASSIFICATION & USE
PRIMARY OCCUPANCY: GROUP E EDUCATIONAL - SHOP OR VOCATIONAL USE, NON-SPRINKLERED
SECONDARY OCCUPANCY: GROUP A2 ASSEMBLY - COMMERCIAL KITCHEN - NON-SPRINKLERED
PRIMARY FUNCTION OF ENCLOSED SPACE IS A COMMERCIAL KITCHEN AND STORAGE - REAR ADDITION TO HAVE EDUCATIONAL COMPONENT

IBC CHAPTER 4: SPECIAL DETAILED REQUIREMENTS
N/A

IBC CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS
PROJECT GRADE PLANE ELEVATION: 1175.50 FFE
ALLOWABLE BUILDING HEIGHT (w/o MODIFICATIONS): 40' MAX ALLOWED (TABLES 504.3 & 504.4)
ACTUAL BUILDING HEIGHT: NORTH ELEVATION: 21' PROVIDED - 1-STORY, EAST ELEVATION: 21' PROVIDED - 1-STORY, SOUTH ELEVATION: 21' PROVIDED - 1-STORY, WEST ELEVATION: 21' PROVIDED - 1-STORY

IBC CHAPTER 6: TYPES OF CONSTRUCTION
CONSTRUCTION TYPE: TYPE VB
FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601):
PRIMARY STRUCTURAL FRAME: 0 HOUR
BEARING WALLS: EXTERIOR: 0 HOUR, INTERIOR: 0 HOUR
NON-BEARING WALLS & PARTITIONS: EXTERIOR (TABLE 602): REQ'D LISTED BELOW, PER FIRE SEPARATION DISTANCE; INTERIOR: 0 HOUR
FLOOR CONSTRUCTION & SECONDARY MEMBERS: 0 HOUR
ROOF CONSTRUCTION & SECONDARY MEMBERS: 0 HOUR

IBC CHAPTER 7: FIRE & SMOKE PROTECTION FEATURES
FIRE RESISTANCE RATING REQUIREMENTS: WALLS & PARTITIONS, OPENINGS (TABLE 716.1)
DOORS, WINDOWS
FIRE WALLS (SECTION 706.4): N/A
FIRE BARRIERS (SECTION 707.3): N/A
FIRE PARTITIONS (SECTION 708.3): N/A
SMOKE BARRIERS (SECTION 709.3): N/A
SMOKE PARTITIONS (SECTION 710.3): N/A
SHAFT ENCLOSURES (SECTION 713.4): N/A

IBC CHAPTERS 8 - 9: THE REQUIREMENTS OF CHAPTERS 8 - 9 ARE REFERENCED IN THE PROJECT SPECIFICATIONS / ON THE DRAWINGS AS APPLICABLE TO THIS PROJECT.

IBC CHAPTER 10: MEANS OF EGRESS
NOTE: ALL AREAS ARE APPROXIMATE & INTENDED FOR CODE USE ONLY
FLOOR, FUNCTION OF SPACE, OCCUPANT LOAD FACTOR, AREA, CALCULATED OCC. LOAD, ACTUAL OCC. LOAD, TOTALS PER FLOOR
LEVEL 01 - KITCHEN: 200 GROSS, 1976 SF, 10, 10
LEVEL 01 - EDUCATION: 50 NET, 1660 SF, 34, 24
LEVEL 01 - STORAGE: 300 GROSS, 1025 SF, 4, 0
EGRESS WIDTH PER OCCUPANT SERVED: STAIRWAYS: N/A, OTHER COMPONENTS: 9.6 INCHES, (0.2 INCHES PER OCCUPANT, UNSPRINKLERED)
MINIMUM NUMBER OF EXITS: MINIMUM 2 EXIT OR EXIT ACCESS DOORWAYS PER OCCUPIED SPACE, WHERE THE DESIGN OCCUPANT LOAD IS 49 OR MORE PERSONS (GROUP A-2, E), OR COMMON PATH OF EGRESS TRAVEL DISTANCE OF 75 FEET (GROUP A2, E) EXCEEDS THE ALLOWABLE VALUES (TABLES 1006.2.1 & 1006.3.3)
SEPARATION OF EXIT & EXIT ACCESS DOORWAY CONFIGURATION: DISTANCE APART OF EQUAL TO OR NOT LESS THAN 1/2 MAXIMUM DIAGONAL DIMENSION (SECTION 1007.1.4)
FLOOR, OCC. LOAD, # OF EXITS, OCC. / EXIT, EGRESS DOOR WIDTH (IN.), EGRESS STAIR WIDTH (IN.), EGRESS RAMP / CORRIDOR WIDTH (IN.), A or R
LEVEL 01: 48, 3, 16, 3, MIN. 32" CLEAR (§1010.1.1), 4, MIN. 36" (§1011.2.1), 3, MIN. 36" (§1020.2), NO
EXIT ACCESS TRAVEL DISTANCE: DOES NOT EXCEED 200 FEET, NON-SPRINKLERED FOR OCCUPANCY GROUP A2 & E, (TABLE 1017.2)
MAXIMUM DEAD END CORRIDOR: DOES NOT EXCEED 20 FEET, NON-SPRINKLERED FOR OCCUPANCY GROUP A2 & E, (SECTION 1020.4.x)
EMERGENCY ESCAPE & RESCUE OPENING REQ'D, (SECTION 1030): N/A

2018 INTERNATIONAL BUILDING CODE (IBC) - CONTINUED:

IBC CHAPTER 11: ACCESSIBILITY
TOTAL NUMBER OF PARKING SPACES PROVIDED: 72
ACCESSIBLE PARKING SPACES (TABLE 1106.1): COMPACT, STANDARD, ACCESSIBLE, VAN ACCESS (§1106.5)
TOTAL NUMBER OF DWELLING UNITS PROVIDED: <0>
ACCESSIBLE DWELLING UNITS & SLEEPING UNITS (SECTION 1107): ACCESSIBLE, TYPE 'A', TYPE 'B', TYPE 'C'

IBC CHAPTER 12 - 16: THE REQUIREMENTS OF CHAPTERS 12 - 16 ARE REFERENCED IN THE PROJECT SPECIFICATIONS / ON THE DRAWINGS AS APPLICABLE TO THIS PROJECT.

IBC CHAPTER 17: SPECIAL INSPECTIONS & TESTING REQUIREMENTS
REQUIRED SPECIAL INSPECTIONS & TESTS: SECTION 1705.1.1, SPECIAL CASES <IF APPLICABLE, LIST ADDITIONAL INSPECTION & TESTING REQUIREMENTS AS DETERMINED BY THE BUILDING OFFICIAL>
SECTION 1705.14, SPRAYED FIRE-RESISTANT MATERIALS
SECTION 1705.15, MASTIC & INTUMESCENT FIRE-RESISTANT COATINGS
SECTION 1705.16, EXTERIOR INSULATION & FINISH SYSTEMS (E.I.F.S.)
SECTION 1705.17, FIRE-RESISTANT PENETRATIONS & JOINTS
SECTION 1705.18, TESTING FOR SMOKE CONTROL

IBC CHAPTER 18 - 28: THE REQUIREMENTS OF CHAPTERS 18 - 28 ARE REFERENCED IN THE PROJECT SPECIFICATIONS / ON THE DRAWINGS AS APPLICABLE TO THIS PROJECT.

IBC CHAPTER 29: PLUMBING SYSTEMS
FLOOR, OCCUPANCY, OCC. LOAD, WATER CLOSETS (MALE, FEMALE), LAVATORIES (MALE, FEMALE), D.F., SERVICE SINK
LEVEL 01: KITCHEN / CLASSROOM, 48, 1.00, 6.00, 1.00, 6.00, 1.00, 2.00, 1.00, 2.00, 1.00, 1.00, 1.00, 1.00, 1.00
OUTDOOR MERCANTILE, 104, 1.00, 6.00, 1.00, 6.00, 1.00, 2.00, 1.00, 2.00, 1.00, 1.00, 1.00, 1.00, 1.00
SUBTOTAL: 1.00, 6.00, 1.00, 6.00, 1.00, 2.00, 1.00, 2.00, 1.00, 1.00, 1.00, 1.00, 1.00, 1.00
ARCHITECT NOTE: PLUMBING COUNT TAKES INTO ACCOUNT THE COVERED OUTDOOR OCCUPANCY FOR THE COMMUNITY FARMERS MARKET (MERCANTILE)
ARCHITECT NOTE: PLUMBING COUNT ASSUMES MORE RESTRICTIVE OCCUPANCY FOR KITCHEN/CLASSROOM SPACES OF "E"
PLUMBING FIXTURE COUNT EXCEPTIONS: WATER DISPENSER IN LIEU OF DRINKING FOUNTAIN

IBC CHAPTER 30 - 35: THE REQUIREMENTS OF CHAPTERS 30 - 35 ARE REFERENCED IN THE PROJECT SPECIFICATIONS / ON THE DRAWINGS AS APPLICABLE TO THIS PROJECT.

ADDITIONAL REQUIREMENTS:
NOTE: FOR ADDITIONAL CODE REQUIREMENTS REFER TO PROJECT SPECIFICATIONS & DRAWINGS PER DISCIPLINE, TYP.

PROJECT IDENTIFICATION:

PROJECT NAME: HERITAGE PARK EXPANSION & RENOVATION
PROJECT NUMBER: 23071
LOCATION: 150 DURHAM DR, MAYNARDVILLE, TN
SITE ZONING & CODES REVIEW:
RESEARCH BY: OREN YARBROUGH, DESIGN INNOVATION (DIA)
RESEARCH DATE: 2024-01-20
RESEARCH VERIFIED BY: GREG CAMPBELL, DESIGN INNOVATION (DIA), ARCHITECT OF RECORD

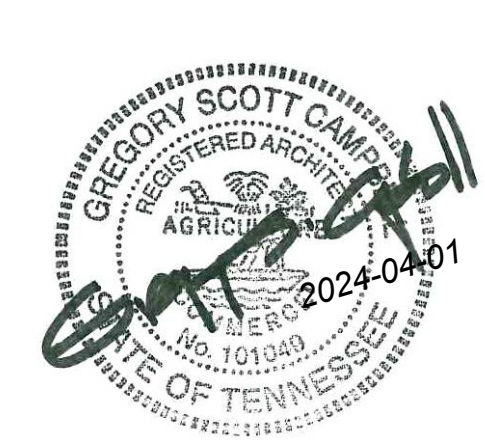
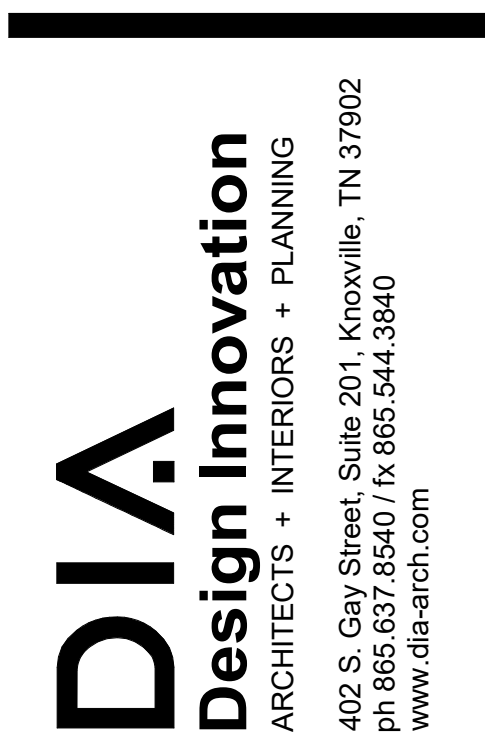
AUTHORITIES HAVING JURISDICTION (AHJ):
CITY OF MAYNARDVILLE - BUILDING CODES DEPT.
CITY OF MAYNARDVILLE - ENGINEERING DEPT.
CITY OF MAYNARDVILLE - FIRE PREVENTION BUREAU
TN DEPARTMENT OF ENVIRONMENT & CONSERVATION (TDEC)
UNION COUNTY HEALTH DEPARTMENT
UNION COUNTY PLANNING COMMISSION

ZONING ORDINANCES & AMENDMENTS:
CITY OF MAYNARDVILLE ZONING ORDINANCE

APPLICABLE CODES & GUIDELINES:
2018 INTERNATIONAL BUILDING CODE (IBC)
2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2012 INTERNATIONAL PLUMBING CODE (IPC)
2017 NATIONAL ELECTRIC CODE (NEC)
2009 ICC / ANSI A117.1 ACCESSIBLE & USABLE BUILDINGS & FACILITIES
2010 AMERICANS WITH DISABILITIES ACT (ADA) - ACCESSIBILITY GUIDELINES
2012 NFPA 101

PROJECT SCOPE:
EXISTING BUILDING IS A COVERED OUTDOOR SHED STRUCTURE SERVING AS A COMMUNITY FARMERS MARKET WITH AN EXISTING COMMERCIAL KITCHEN AND CONCESSION AREA WITH PUBLIC BATHROOMS. STRUCTURE IS CONSTRUCTED OF WOOD STUDS AND COLUMNS WITH A PREFINISHED METAL ROOF AND SIDING.

RENOVATION OF EXISTING COMMERCIAL KITCHEN, STORAGE, OFFICE, AND RESTROOMS + AN ADDITION TO THE BUILDING WITH A COMMERCIAL KITCHEN AND ADDITIONAL STORAGE, RESTROOMS, AND A LAUNDRY ROOM. PRIMARY FUNCTION OF SPACE IS AS A COMMERCIAL KITCHEN WITH AN EDUCATIONAL COMPONENT FOR COMMUNITY COOKING CLASSES.



402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

Table with 3 columns: NO., ISSUED BY, DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNATIONS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
PROJECT CODE
REQUIREMENTS

G099
PROJECT DATE: 2024-04-01
PROJECT NUMBER: 23071

Table of abbreviations: ABV ABOVE, ACC ACCESSIBLE (ACCESSIBILITY), ACT ACoustICAL CEILING TILE, ADU AIR CONDITIONING UNIT, etc.

Table of abbreviations: DEPT DEPARTMENT, DIA DIAMETER, DIAG DIAGRAM, DIM(S) DIMENSIONS, DISC DISCONNECT, etc.

Table of abbreviations: GWB GYPSUM WALL BOARD, DET DETAIL, DRINKING FOUNTAIN, DIA DIAMETER, etc.

Table of abbreviations: OFF OFFICE, OH OVERHEAD, OPN OPPOSITE HAND, OPNG OPENING, etc.

Table of abbreviations: TLT TOILET, OH OVERHEAD, OPN OPPOSITE HAND, OPNG OPENING, etc.

Table of abbreviations: UL UNDERGROUND, UL UNDERWRITERS' LABORATORIES, UNFIN UNFINISHED, UNO UNLESS NOTED OTHERWISE, etc.

Table of abbreviations: V VOLT, VAPOR BARRIER, VINYL BASE, VINYL COMPOSITION TILE, etc.

Table of materials and finishes: ALUMINUM, ASPHALT, BRICK, CMU, CONCRETE (SECTION CUTS & DETAIL VIEWS), etc.

Q05 LEGEND - STANDARD MATERIALS NOT TO SCALE

Q05 LEGEND - STANDARD SYMBOLS NOT TO SCALE. Contains diagrams for: TITLE MARKER REFERENCE, ELEVATION / DATUM REFERENCE, COLUMN REFERENCE, DETAIL SECTION REFERENCE, WALL SECTION REFERENCE, BUILDING SECTION REFERENCE, INTERIOR ELEVATION REFERENCE, EXTERIOR ELEVATION REFERENCE, ROOM TAG, AREA TAG, DIMENSION REFERENCE, WALL ALIGNMENT REFERENCE, KEYED NOTE REFERENCE, ENLARGED DETAIL REFERENCE, CASEWORK TAG, CEILING TAG, WALL TYPE TAG, WINDOW TAG, GLAZING SYSTEM TAG, DOOR TAG, PARKING COUNT TAG, REVISION CLOUD & TAG.

A10 LEGEND - STANDARD SYMBOLS NOT TO SCALE

DIA Design Innovation ARCHITECTS + INTERIORS + PLANNING. 402 S. Gay Street, Suite 201, Knoxville, TN 37902. Phone: 865.637.8540. Fax: 865.544.3840. www.dia-arch.com.

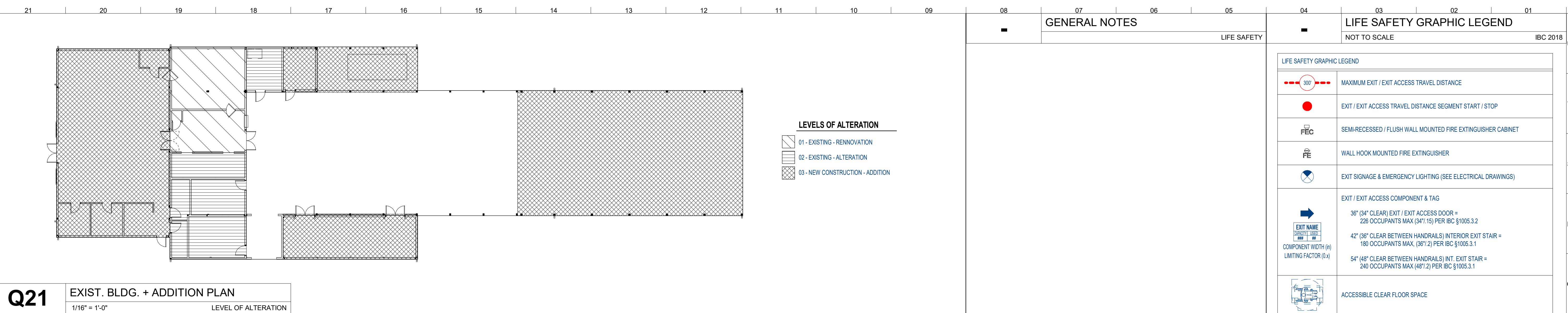


PRE-DESIGN / PROPOSAL HERITAGE PARK ADDITION 115 DURHAM DR, MAYNARDVILLE, TN 37807

Table with columns: NO., ISSUED BY, DATE. Includes a revision cloud with notes: 'ITEMS INSIDE CLOUD ARE MODIFIED FROM PREVIOUS ISSUE'.

SHEET DESCRIPTION ARCH LEGENDS & ABBREVIATIONS

G199 PROJECT DATE 2024-04-01 PROJECT NUMBER 23071



Q21 EXIST. BLDG. + ADDITION PLAN
1/16" = 1'-0" LEVEL OF ALTERATION

LEVELS OF ALTERATION

- 01 - EXISTING - RENNOVATION
- 02 - EXISTING - ALTERATION
- 03 - NEW CONSTRUCTION - ADDITION

GENERAL NOTES

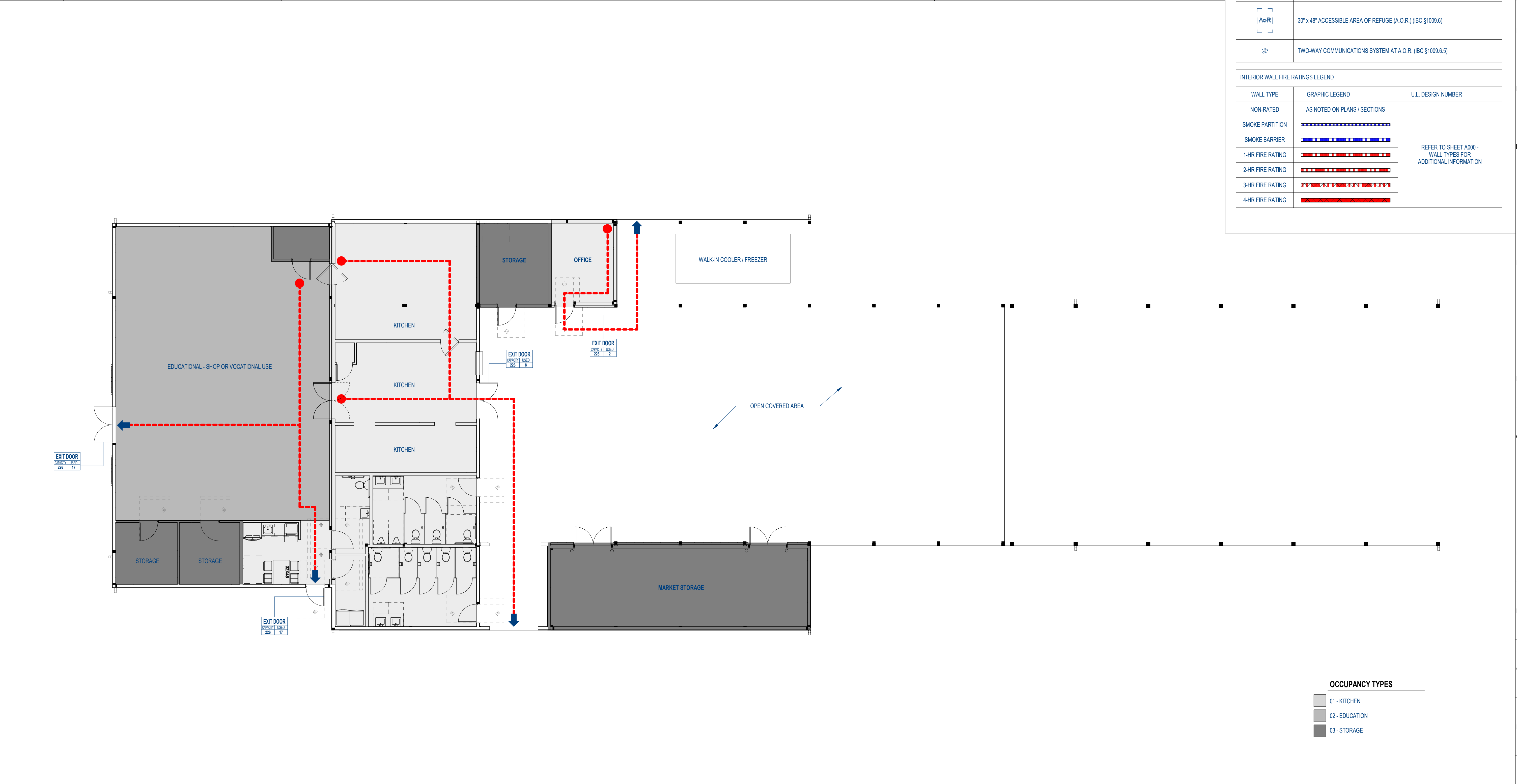
LIFE SAFETY

LIFE SAFETY GRAPHIC LEGEND

NOT TO SCALE IBC 2018

LIFE SAFETY GRAPHIC LEGEND	
	MAXIMUM EXIT / EXIT ACCESS TRAVEL DISTANCE
	EXIT / EXIT ACCESS TRAVEL DISTANCE SEGMENT START / STOP
	SEMI-RECESSED / FLUSH WALL MOUNTED FIRE EXTINGUISHER CABINET
	WALL HOOK MOUNTED FIRE EXTINGUISHER
	EXIT SIGNAGE & EMERGENCY LIGHTING (SEE ELECTRICAL DRAWINGS)
	EXIT / EXIT ACCESS COMPONENT & TAG 36" (34" CLEAR) EXIT / EXIT ACCESS DOOR = 226 OCCUPANTS MAX (34'15) PER IBC §1005.3.2 42" (36" CLEAR BETWEEN HANDRAILS) INTERIOR EXIT STAIR = 180 OCCUPANTS MAX. (36'2) PER IBC §1005.3.1 54" (48" CLEAR BETWEEN HANDRAILS) INT. EXIT STAIR = 240 OCCUPANTS MAX (48'2) PER IBC §1005.3.1
	ACCESSIBLE CLEAR FLOOR SPACE
	30' x 48" ACCESSIBLE AREA OF REFUGE (A.O.R.) (IBC §1009.6)
	TWO-WAY COMMUNICATIONS SYSTEM AT A.O.R. (IBC §1009.6.5)

INTERIOR WALL FIRE RATINGS LEGEND		
WALL TYPE	GRAPHIC LEGEND	U.L. DESIGN NUMBER
NON-RATED	AS NOTED ON PLANS / SECTIONS	
SMOKE PARTITION		
SMOKE BARRIER		
1-HR FIRE RATING		REFER TO SHEET A000 - WALL TYPES FOR ADDITIONAL INFORMATION
2-HR FIRE RATING		
3-HR FIRE RATING		
4-HR FIRE RATING		



A21 FLOOR PLAN - COMPLETED
1/8" = 1'-0" LIFE SAFETY PLAN

OCCUPANCY TYPES

- 01 - KITCHEN
- 02 - EDUCATION
- 03 - STORAGE



DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

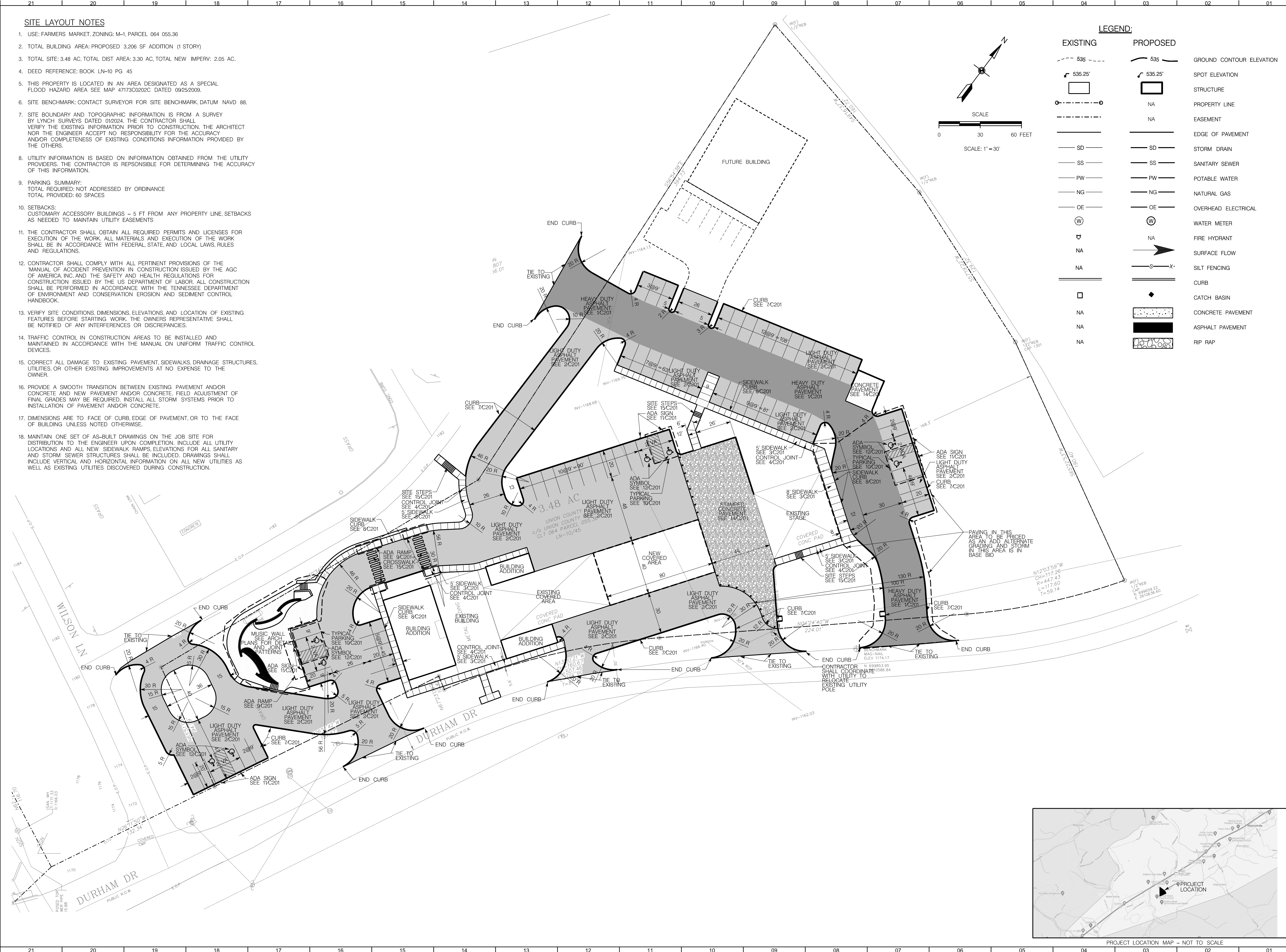
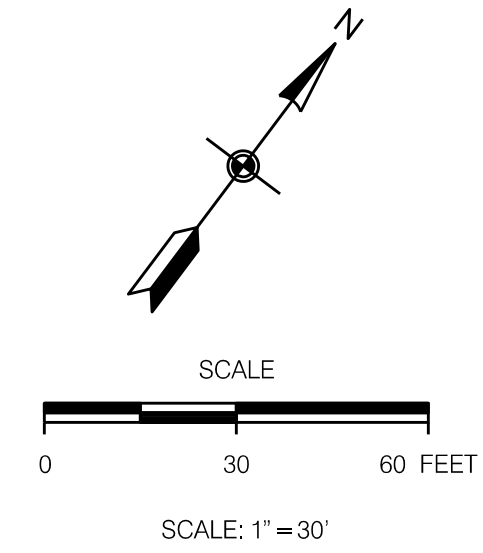
SHEET DESCRIPTION
FIRST FLOOR LIFE SAFETY PLAN

LS101
PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071

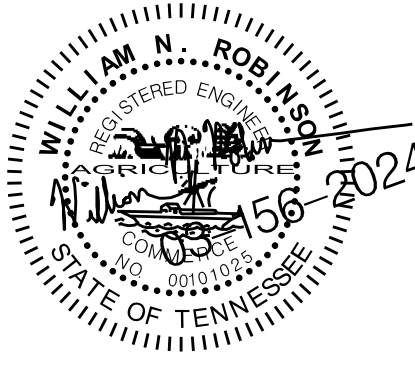
SITE LAYOUT NOTES

- USE: FARMERS MARKET, ZONING: M-1, PARCEL 064 055.36
- TOTAL BUILDING AREA: PROPOSED 3,206 SF ADDITION (1 STORY)
- TOTAL SITE: 3.48 AC, TOTAL DIST AREA: 3.30 AC, TOTAL NEW IMPERV: 2.05 AC.
- DEED REFERENCE: BOOK LN-10 PG 45
- THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 47173C0202C DATED 09/25/2009.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY LYNCH SURVEYS DATED 02/20/24. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY:
TOTAL REQUIRED: NOT ADDRESSED BY ORDINANCE
TOTAL PROVIDED: 60 SPACES
- SETBACKS:
CUSTOMARY ACCESSORY BUILDINGS - 5 FT FROM ANY PROPERTY LINE, SETBACKS AS NEEDED TO MAINTAIN UTILITY EASEMENTS
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP, ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RIP RAP



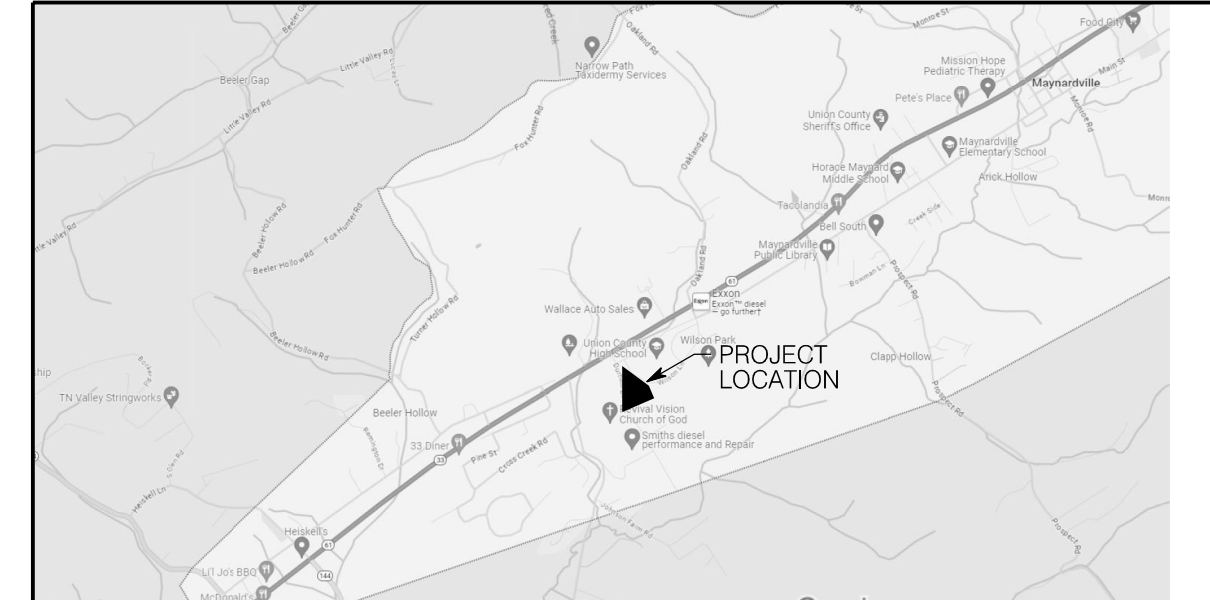
DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

SHEET DESCRIPTION
SITE LAYOUT PLAN

C101	
PROJECT DATE	PROJECT NUMBER
2024-03-15	23071



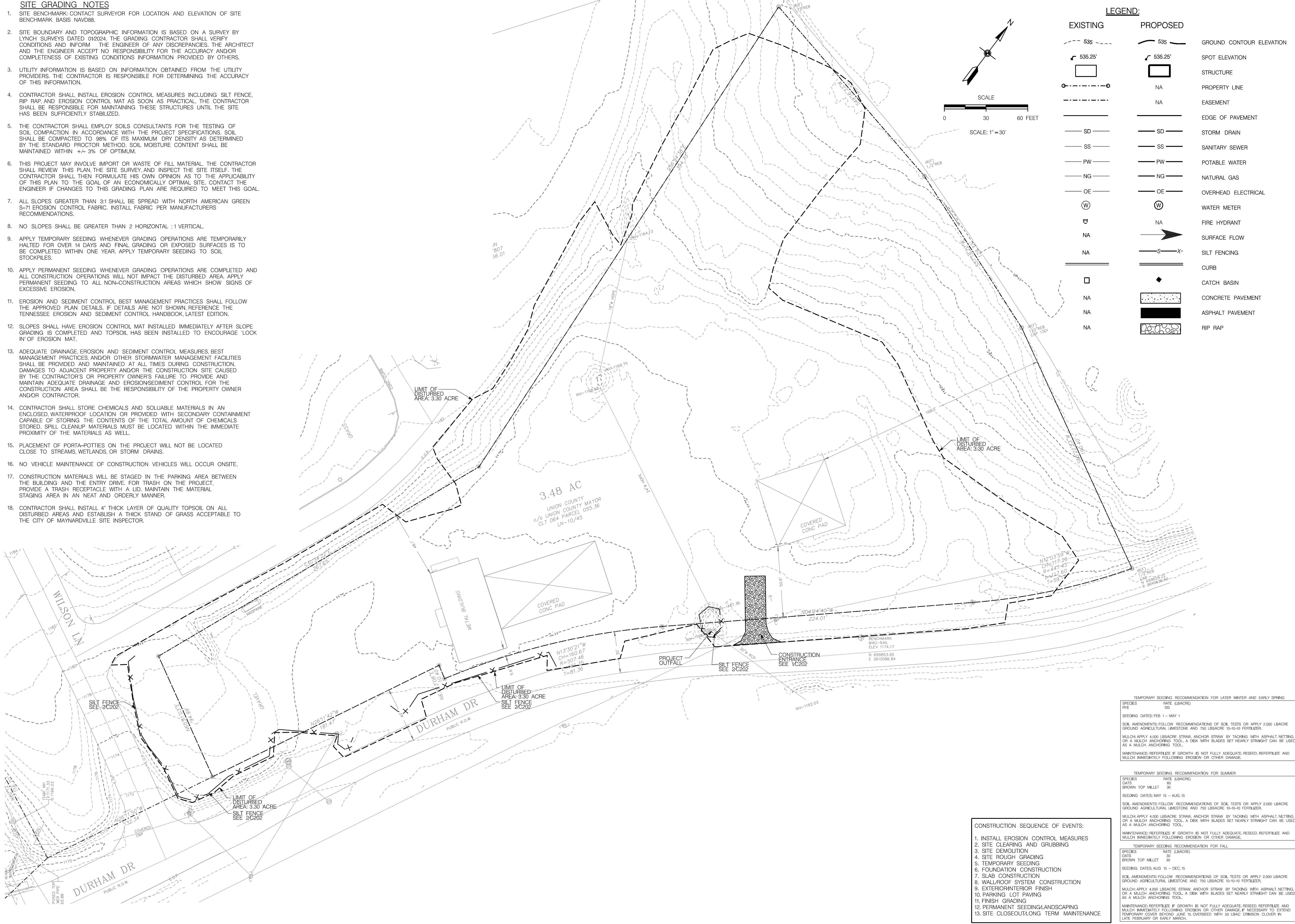
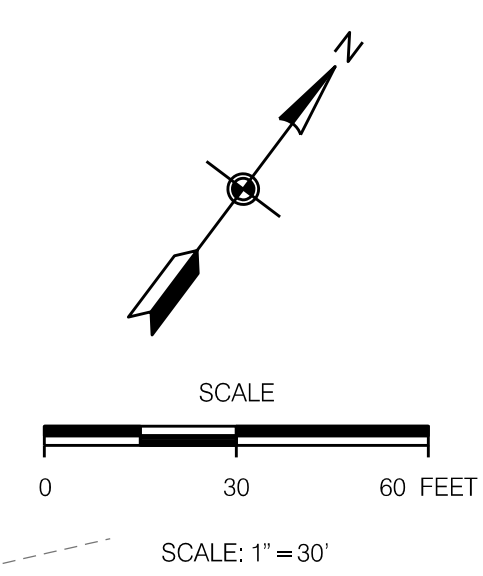
1/12/2024 3:32:00 PM

SITE GRADING NOTES

- 1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NAVD88.
2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LYNCH SURVEYS DATED 01/2024. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
16. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
17. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND THE ENTRY DRIVE. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
18. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF MAYNARDVILLE SITE INSPECTOR.

LEGEND:

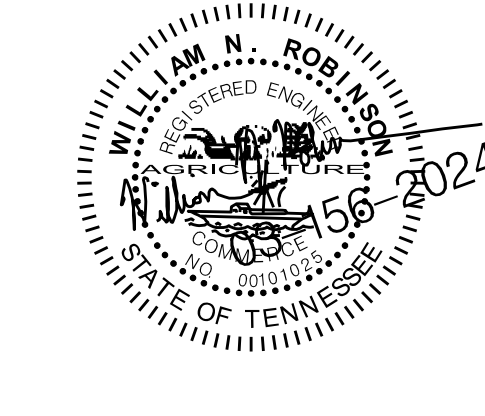
Table with columns for EXISTING and PROPOSED symbols and their corresponding descriptions: GROUND CONTOUR ELEVATION, SPOT ELEVATION, STRUCTURE, PROPERTY LINE, EASEMENT, EDGE OF PAVEMENT, STORM DRAIN, SANITARY SEWER, POTABLE WATER, NATURAL GAS, OVERHEAD ELECTRICAL, WATER METER, FIRE HYDRANT, SURFACE FLOW, SILT FENCING, CURB, CATCH BASIN, CONCRETE PAVEMENT, ASPHALT PAVEMENT, RIP RAP.



- CONSTRUCTION SEQUENCE OF EVENTS:
1. INSTALL EROSION CONTROL MEASURES
2. SITE CLEARING AND GRUBBING
3. SITE DEMOLITION
4. SITE ROUGH GRADING
5. TEMPORARY SEEDING
6. FOUNDATION CONSTRUCTION
7. SLAB CONSTRUCTION
8. WALL/ROOF SYSTEM CONSTRUCTION
9. EXTERIOR/INTERIOR FINISH
10. PARKING LOT PAVING
11. FINISH GRADING
12. PERMANENT SEEDING/LANDSCAPING
13. SITE CLOSEOUT/LONG TERM MAINTENANCE

Temporary Seeding Recommendation tables for Winter/Early Spring, Summer, and Fall. Includes columns for Species, Rate (lb/acre), and Seeding Dates.

DIA Design Innovation ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

Grid table for sheet identification.

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
EROSION CONTROL - 1

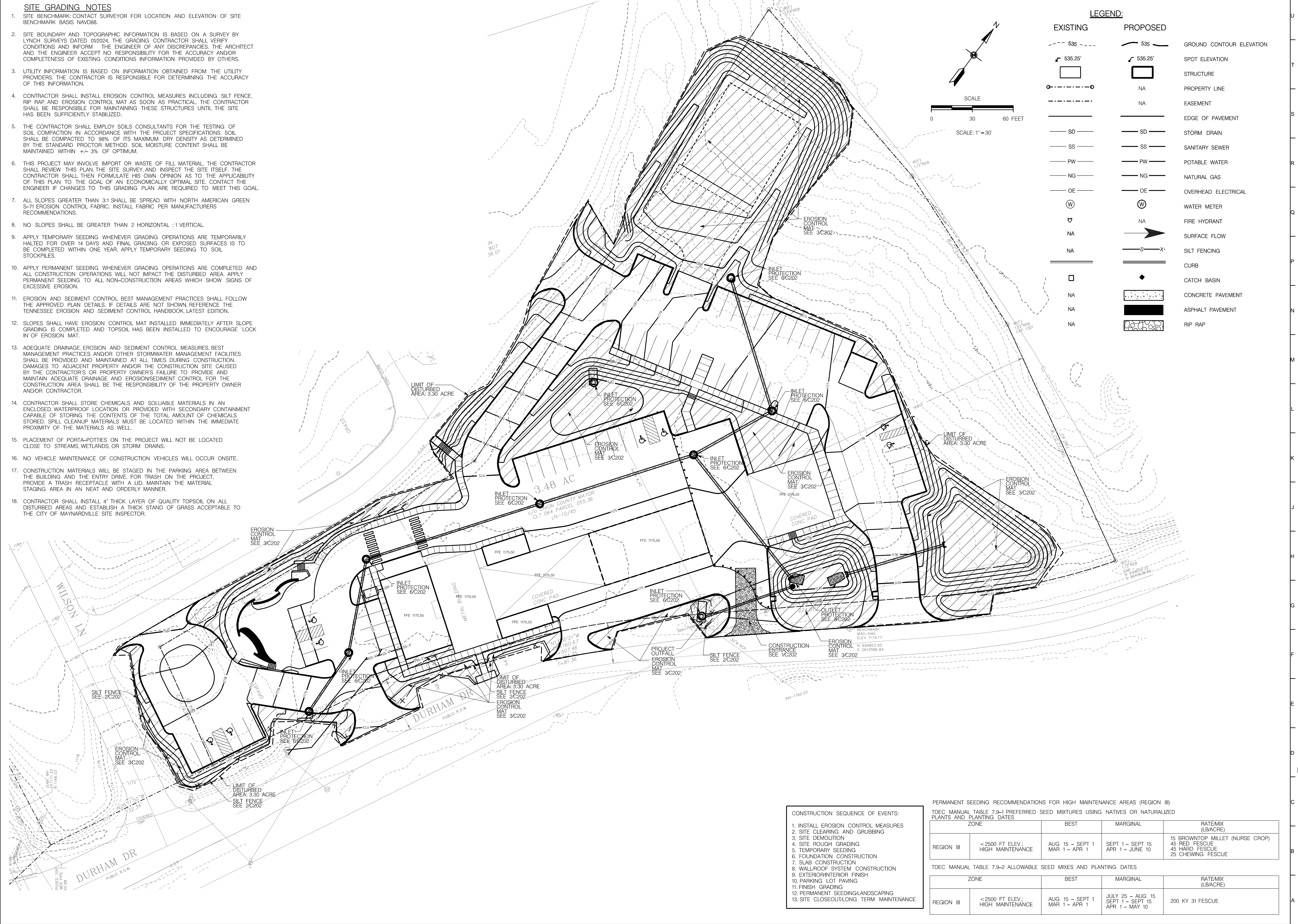
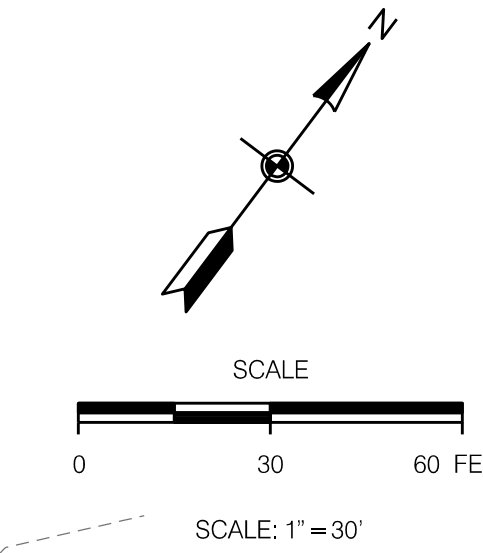
C102
PROJECT DATE: 2024-03-15
PROJECT NUMBER: 23071

SITE GRADING NOTES

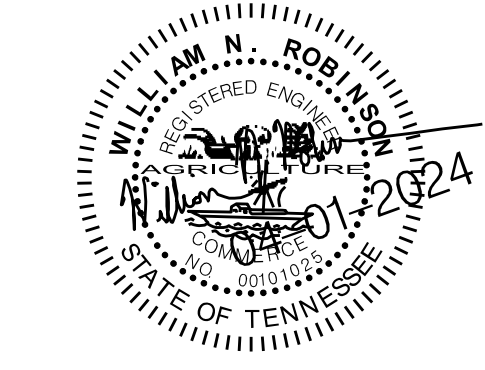
- SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NAVD88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LYNCH SURVEYS DATED 01/20/24. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
- THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
- ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
- NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
- PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
- NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
- CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND THE ENTRY DRIVE. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
- CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF MAYNARDVILLE SITE INSPECTOR.

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
(---) 535	(---) 535	GROUND CONTOUR ELEVATION
(●) 535.25'	(●) 535.25'	SPOT ELEVATION
([---])	([---])	STRUCTURE
(---)	(---)	PROPERTY LINE
(- - -)	(- - -)	EASEMENT
(---) SD	(---) SD	EDGE OF PAVEMENT
(---) SS	(---) SS	STORM DRAIN
(---) PW	(---) PW	SANITARY SEWER
(---) NG	(---) NG	POTABLE WATER
(---) OE	(---) OE	NATURAL GAS
(W)	(W)	OVERHEAD ELECTRICAL
(W)	(W)	WATER METER
(NA)	(NA)	FIRE HYDRANT
(NA)	(→)	SURFACE FLOW
(NA)	(---) S-X	SILT FENCING
([])	([])	CURB
(NA)	([])	CATCH BASIN
(NA)	([---])	CONCRETE PAVEMENT
(NA)	([---])	ASPHALT PAVEMENT
(NA)	([---])	RIP RAP



DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com



CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
 115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
EROSION CONTROL - 2

C103

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

- CONSTRUCTION SEQUENCE OF EVENTS:**
1. INSTALL EROSION CONTROL MEASURES
 2. SITE CLEARING AND GRUBBING
 3. SITE DEMOLITION
 4. SITE ROUGH GRADING
 5. TEMPORARY SEEDING
 6. FOUNDATION CONSTRUCTION
 7. SLAB CONSTRUCTION
 8. WALL/ROOF SYSTEM CONSTRUCTION
 9. EXTERIOR/INTERIOR FINISH
 10. PARKING LOT PAVING
 11. FINISH GRADING
 12. PERMANENT SEEDING/LANDSCAPING
 13. SITE CLOSEOUT/LONG TERM MAINTENANCE

PERMANENT SEEDING RECOMMENDATIONS FOR HIGH MAINTENANCE AREAS (REGION III)
 TDEC MANUAL TABLE 7.9-1 PREFERRED SEED MIXTURES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES

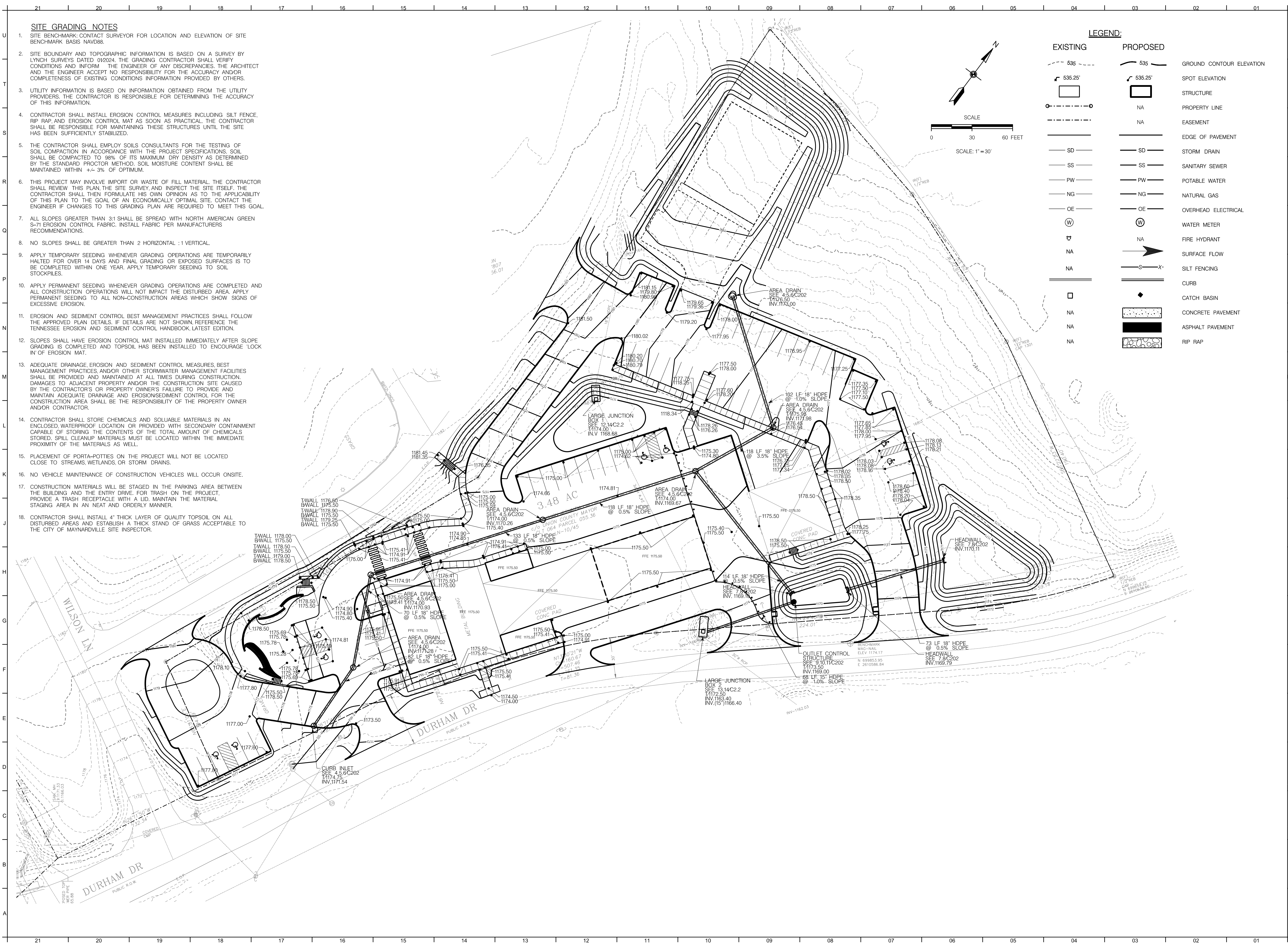
ZONE	BEST	MARGINAL	RATE MIX (LB/ACRE)	
REGION III	<2500 FT ELEV.: HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10	15 BROWNTOP MILLET (NURSE CROP) 45 RED FESCUE 45 HARD FESCUE 25 CHEWING FESCUE

TDEC MANUAL TABLE 7.9-2 ALLOWABLE SEED MIXES AND PLANTING DATES

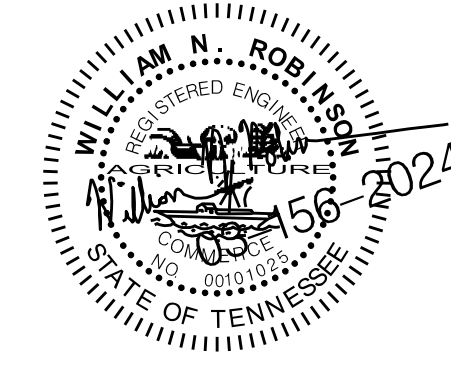
ZONE	BEST	MARGINAL	RATE MIX (LB/ACRE)	
REGION III	<2500 FT ELEV.: HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 25 - AUG 15 SEPT 1 - SEPT 15 APR 1 - MAY 10	200 KY 31 FESCUE

1/12/2024 3:32:00 PM

1/12/2024 3:32:00 PM



DIA
 Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com



CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
 115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

SHEET DESCRIPTION		
SITE GRADING PLAN		
C104		
PROJECT DATE	PROJECT NUMBER	
2024-03-15	23071	

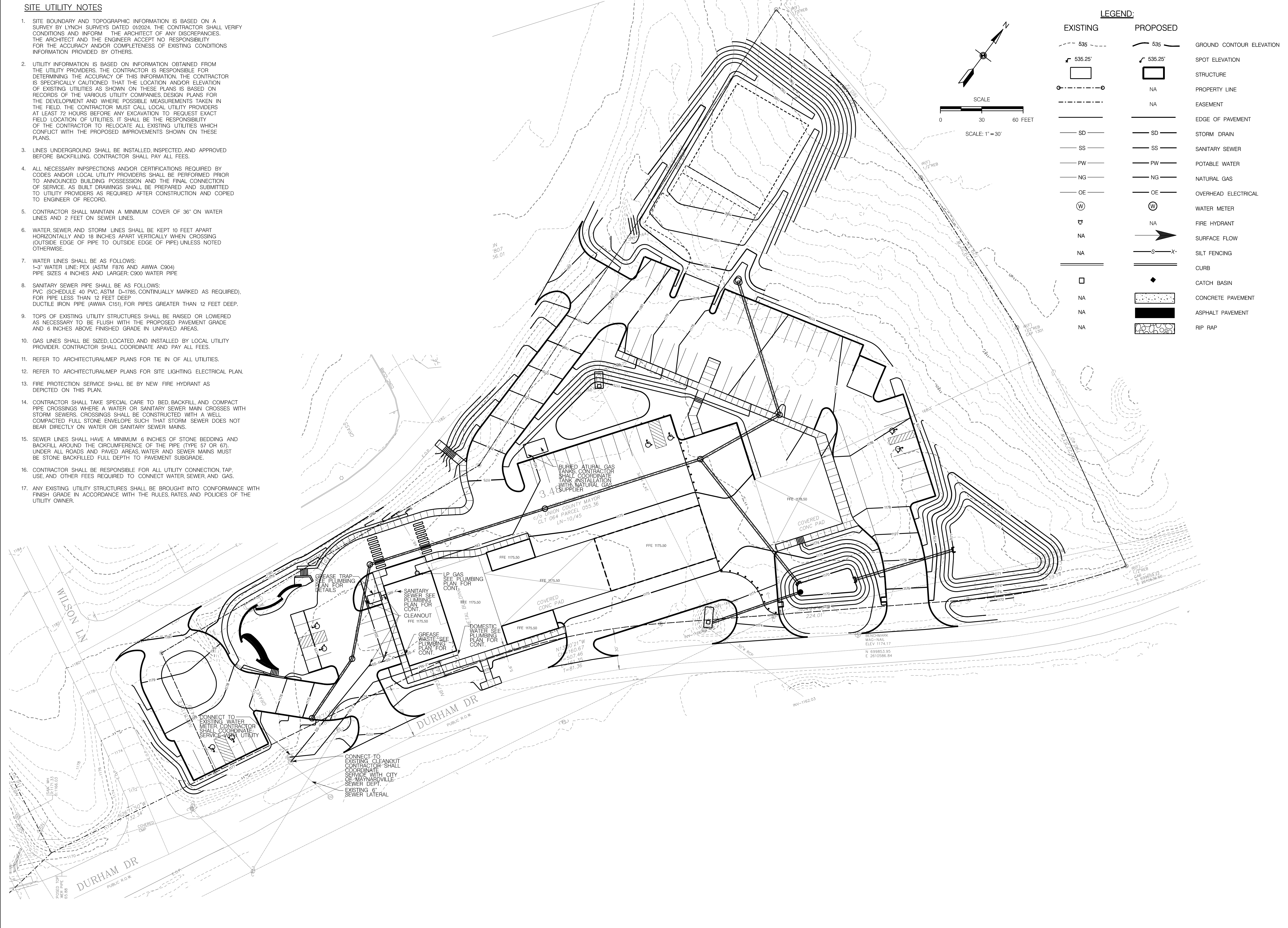
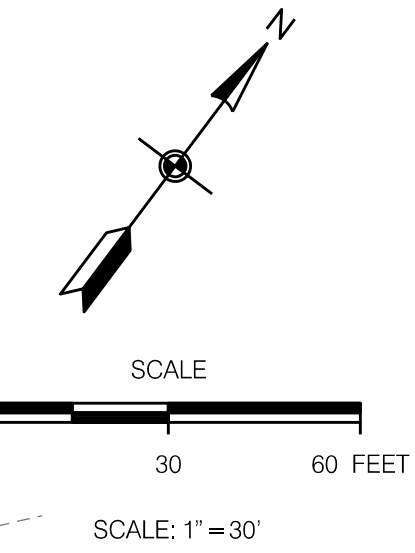
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SITE UTILITY NOTES

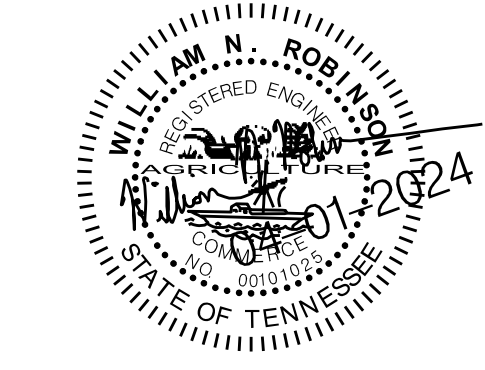
1. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LYNCH SURVEYS DATED 01/20/24. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, DESIGN PLANS FOR THE DEVELOPMENT AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL LOCAL UTILITY PROVIDERS AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED BEFORE BACKFILLING. CONTRACTOR SHALL PAY ALL FEES.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR LOCAL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE. AS BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO UTILITY PROVIDERS AS REQUIRED AFTER CONSTRUCTION AND COPIED TO ENGINEER OF RECORD.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 36" ON WATER LINES AND 2 FEET ON SEWER LINES.
6. WATER SEWER AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) UNLESS NOTED OTHERWISE.
7. WATER LINES SHALL BE AS FOLLOWS:
1-3" WATER LINE: PE (ASTM F876 AND AWWA C904)
PIPE SIZES 4 INCHES AND LARGER: C900 WATER PIPE
8. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PVC (SCHEDULE 40 PVC ASTM D-1785, CONTINUALLY MARKED AS REQUIRED), FOR PIPE LESS THAN 12 FEET DEEP
DUCTILE IRON PIPE (AWWA C151), FOR PIPES GREATER THAN 12 FEET DEEP.
9. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE RAISED OR LOWERED AS NECESSARY TO FINISH WITH THE PROPOSED PAVEMENT GRADE AND 6 INCHES ABOVE FINISHED GRADE IN UNPAVED AREAS.
10. GAS LINES SHALL BE SIZED, LOCATED, AND INSTALLED BY LOCAL UTILITY PROVIDER. CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
11. REFER TO ARCHITECTURAL/MEP PLANS FOR TIE IN OF ALL UTILITIES.
12. REFER TO ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
13. FIRE PROTECTION SERVICE SHALL BE BY NEW FIRE HYDRANT AS DEPICTED ON THIS PLAN.
14. CONTRACTOR SHALL TAKE SPECIAL CARE TO BED BACKFILL AND COMPACT PIPE CROSSINGS WHERE A WATER OR SANITARY SEWER MAIN CROSSES WITH STORM SEWERS. CROSSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FULL STONE ENVELOPE SUCH THAT STORM SEWER DOES NOT BEAR DIRECTLY ON WATER OR SANITARY SEWER MAINS.
15. SEWER LINES SHALL HAVE A MINIMUM 6 INCHES OF STONE BEDDING AND BACKFILL AROUND THE CIRCUMFERENCE OF THE PIPE (TYPE 57 OR 67). UNDER ALL ROADS AND PAVED AREAS WATER AND SEWER MAINS MUST BE STONE BACKFILLED FULL DEPTH TO PAVEMENT SUBGRADE.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY CONNECTION, TAP, USE, AND OTHER FEES REQUIRED TO CONNECT WATER, SEWER, AND GAS.
17. ANY EXISTING UTILITY STRUCTURES SHALL BE BROUGHT INTO CONFORMANCE WITH FINISH GRADE IN ACCORDANCE WITH THE RULES, RATES, AND POLICIES OF THE UTILITY OWNER.

LEGEND:

EXISTING	PROPOSED	
- - - - - 535	— 535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
—	—	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
W	W	WATER METER
NA	NA	FIRE HYDRANT
NA	→	SURFACE FLOW
NA	-S-X-	SILT FENCING
		CURB
NA	◆	CATCH BASIN
NA		CONCRETE PAVEMENT
NA		ASPHALT PAVEMENT
NA		RIP RAP



DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com

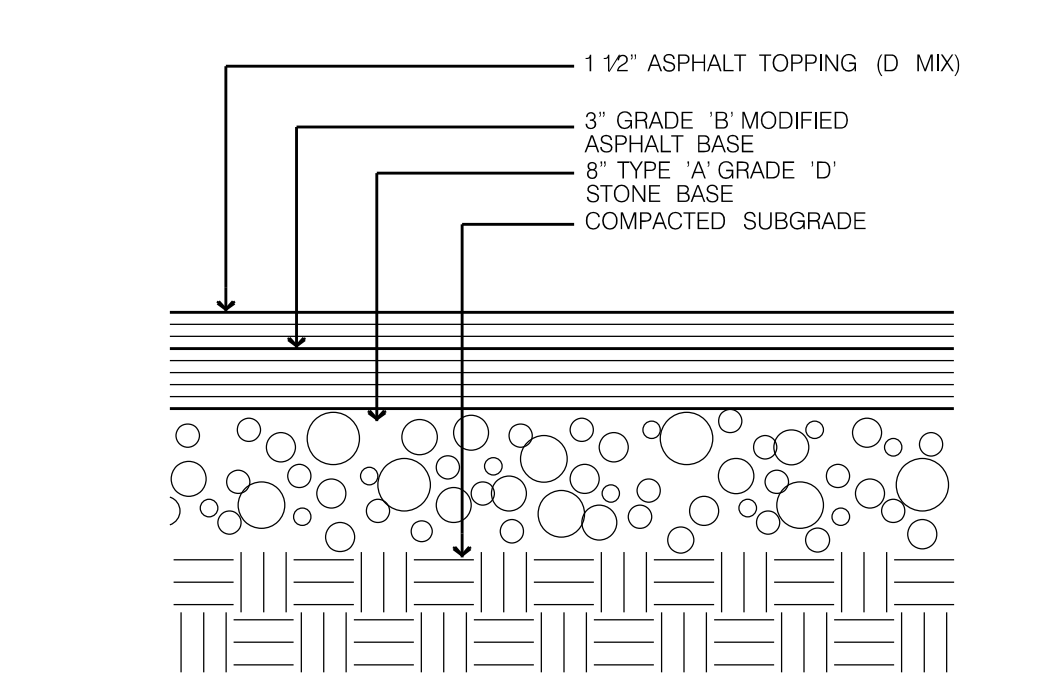


CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

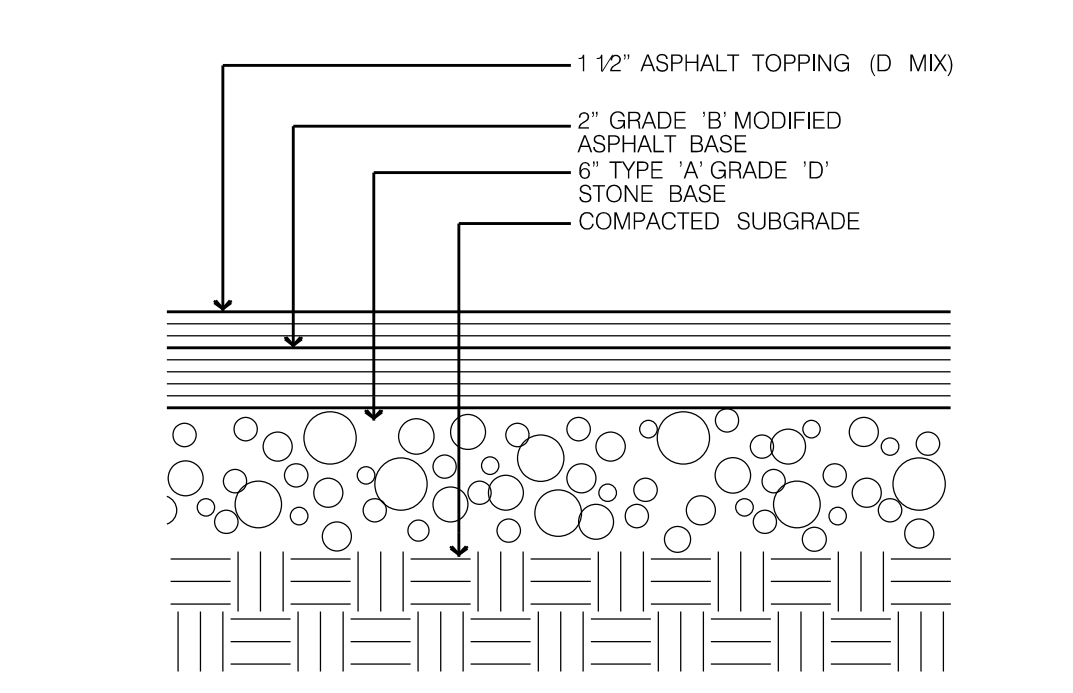
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SITE UTILITY PLAN

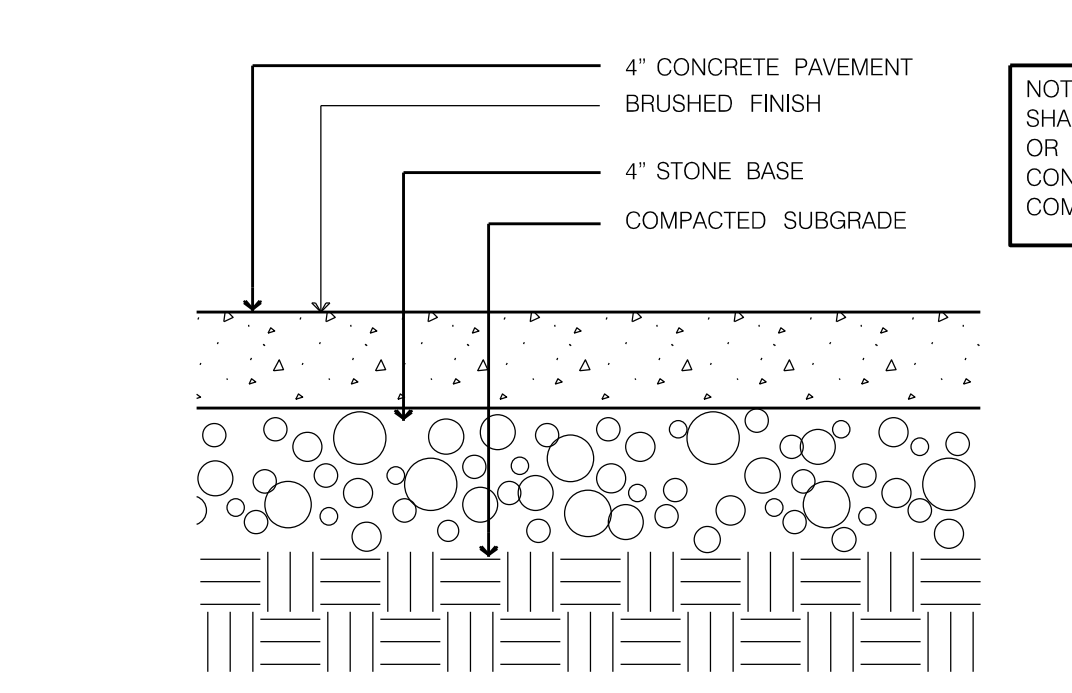
C105
PROJECT DATE: 2024-04-01 | PROJECT NUMBER: 23071



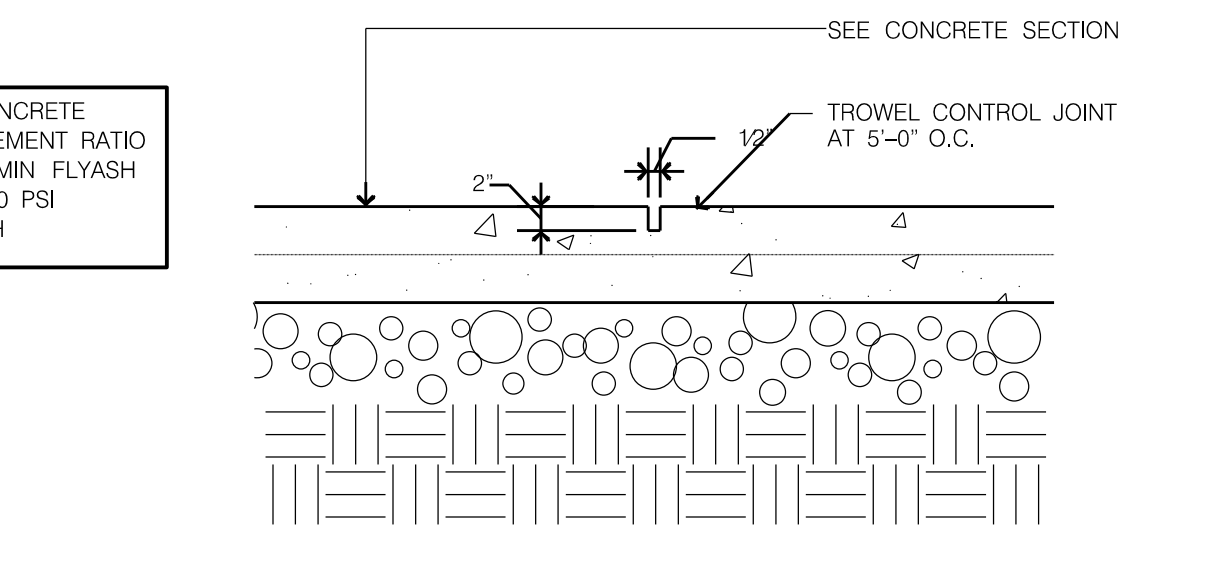
1
C201
HEAVY DUTY PAVING SECTION
NOT TO SCALE



2
C201
LIGHT DUTY PAVING SECTION
NOT TO SCALE



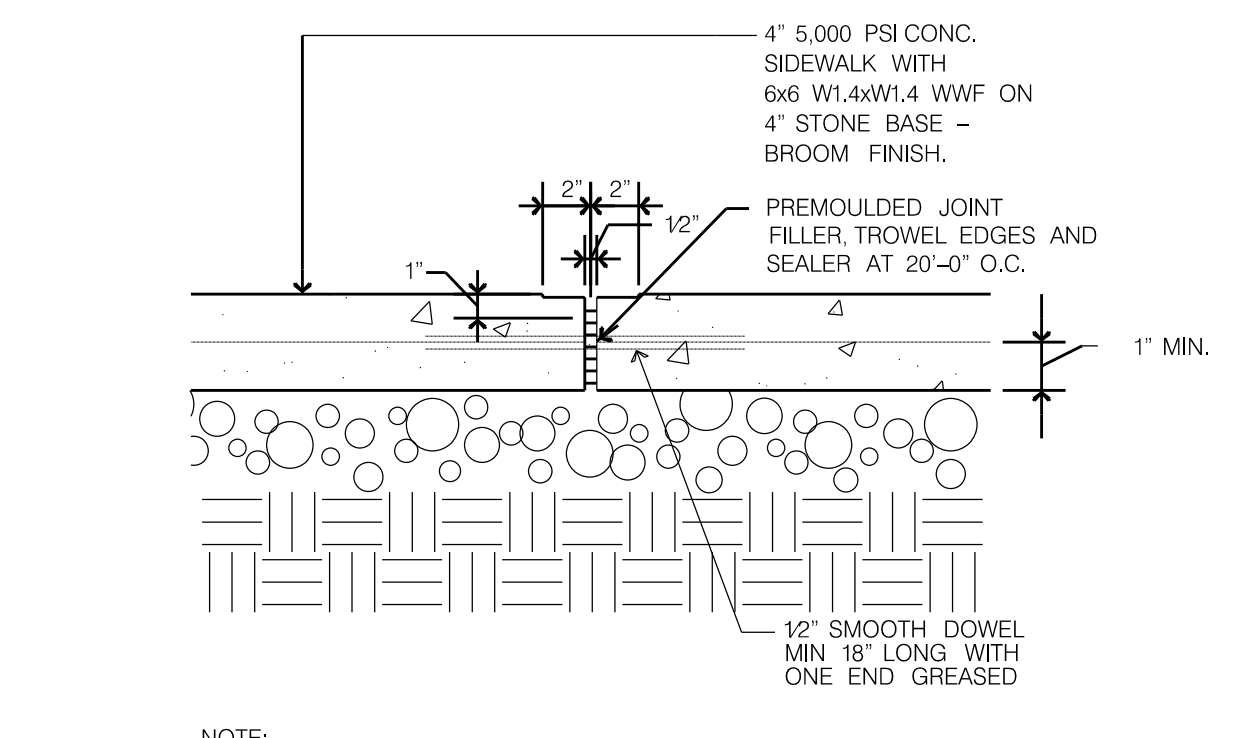
3
C201
TYPICAL SIDEWALK SECTION
NOT TO SCALE



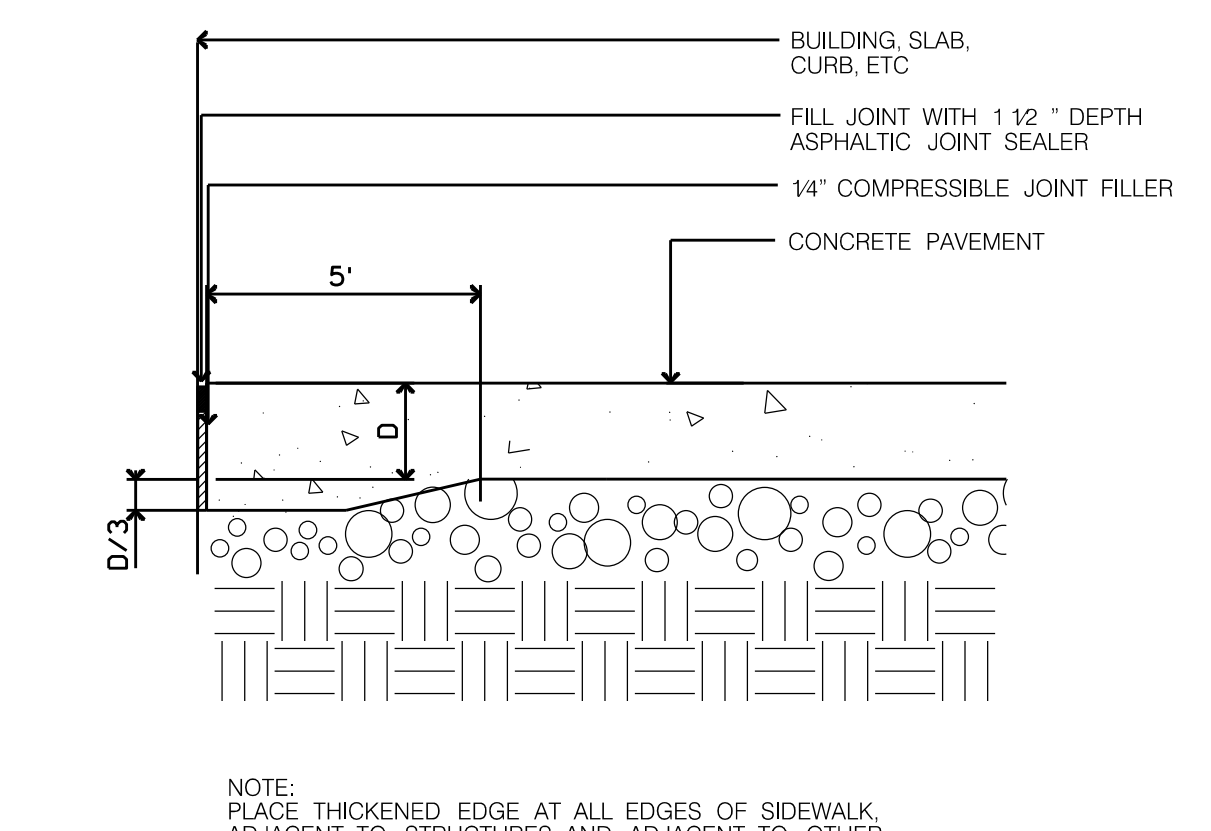
4
C201
CONTROL JOINT DETAIL
NOT TO SCALE

NOTE: ALL EXTERIOR CONCRETE SHALL BE 0.42 WATER CEMENT RATIO OR BETTER WITH 20% MIN FLYASH CONTENT. MINIMUM 5,000 PSI COMPRESSIVE STRENGTH

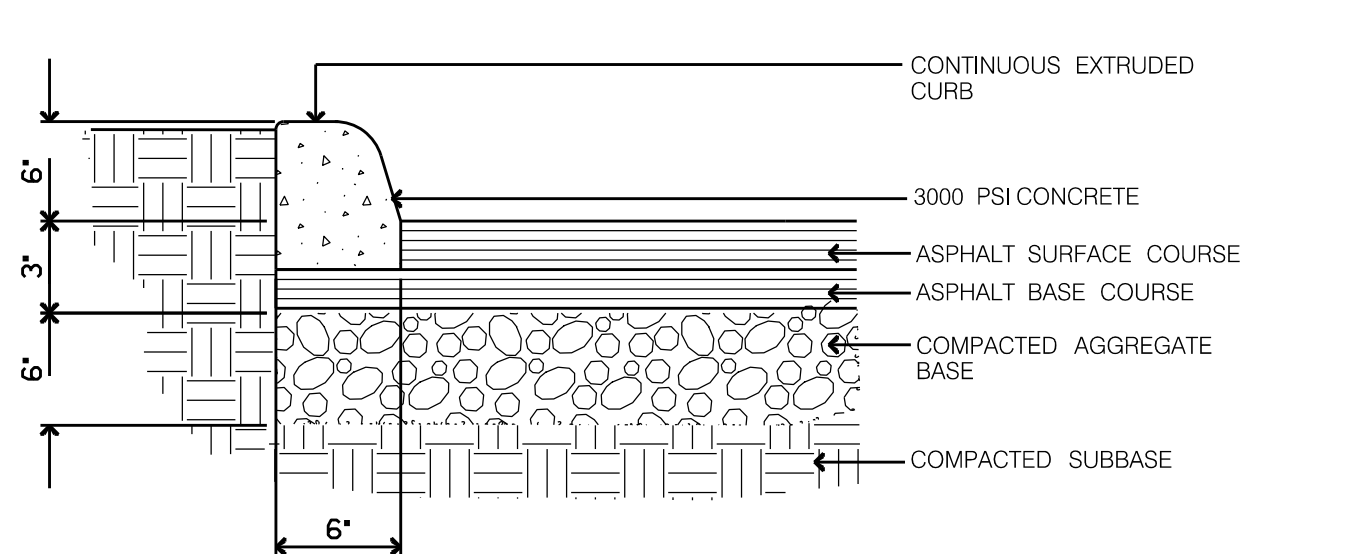
NOTE: PLACE CONTROL JOINTS AT 5' O.C., APPROXIMATE CONTROL JOINT PATTERN IS INDICATED ON THE SITE PLAN



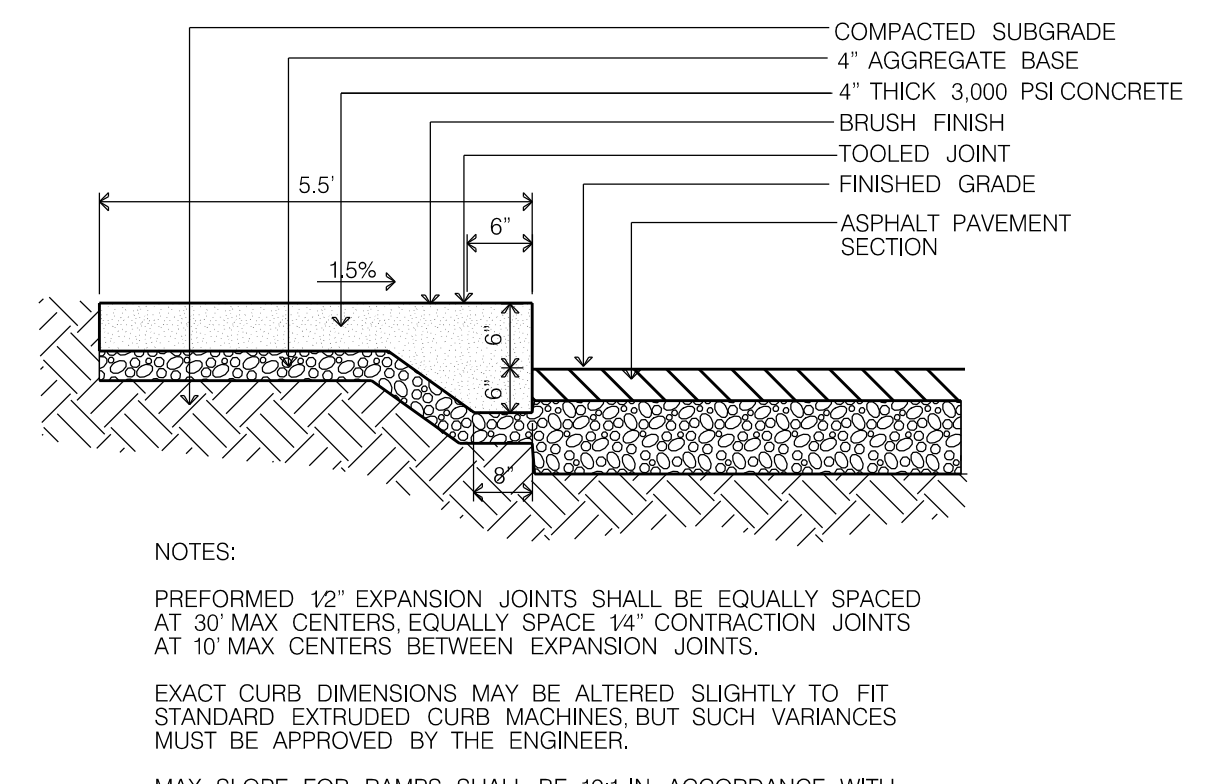
5
C201
EXPANSION JOINT DETAIL
NOT TO SCALE



6
C201
THICKENED EDGE DETAIL
NOT TO SCALE

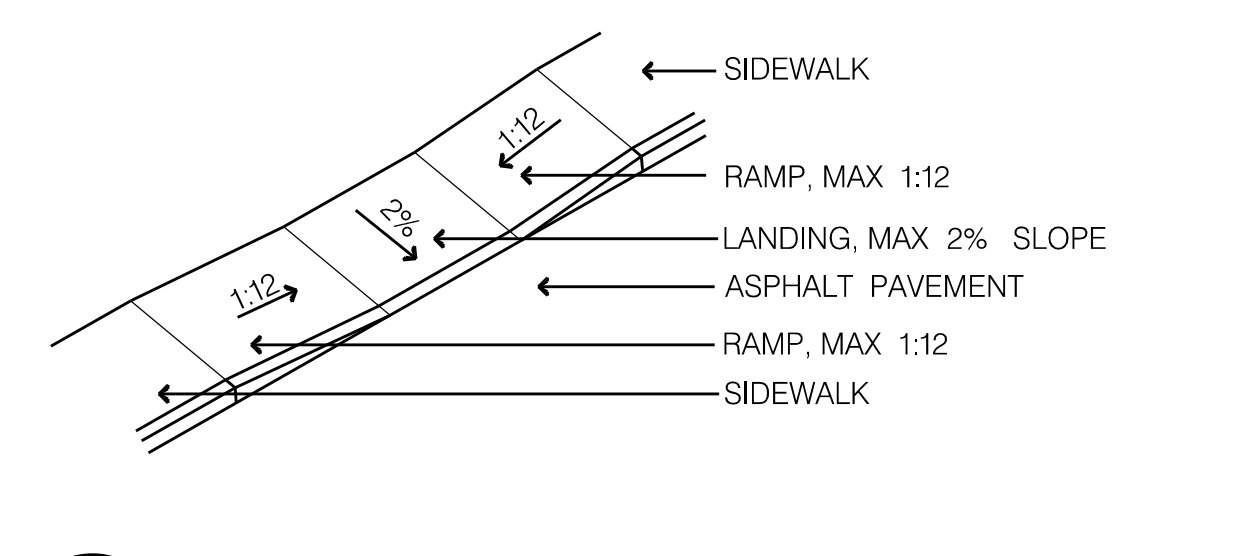


7
C201
TYPICAL CURB
NOT TO SCALE

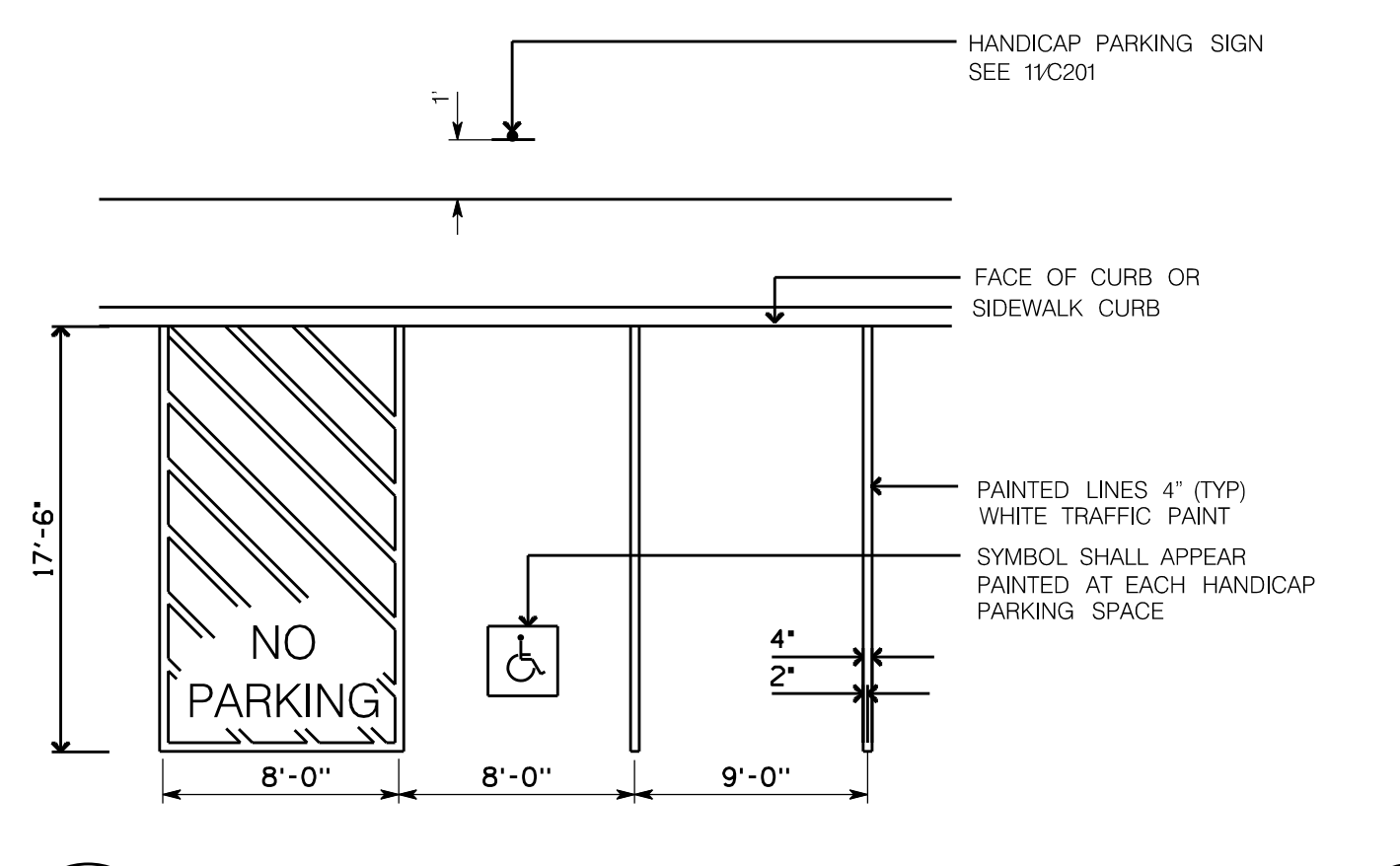


8
C201
SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE

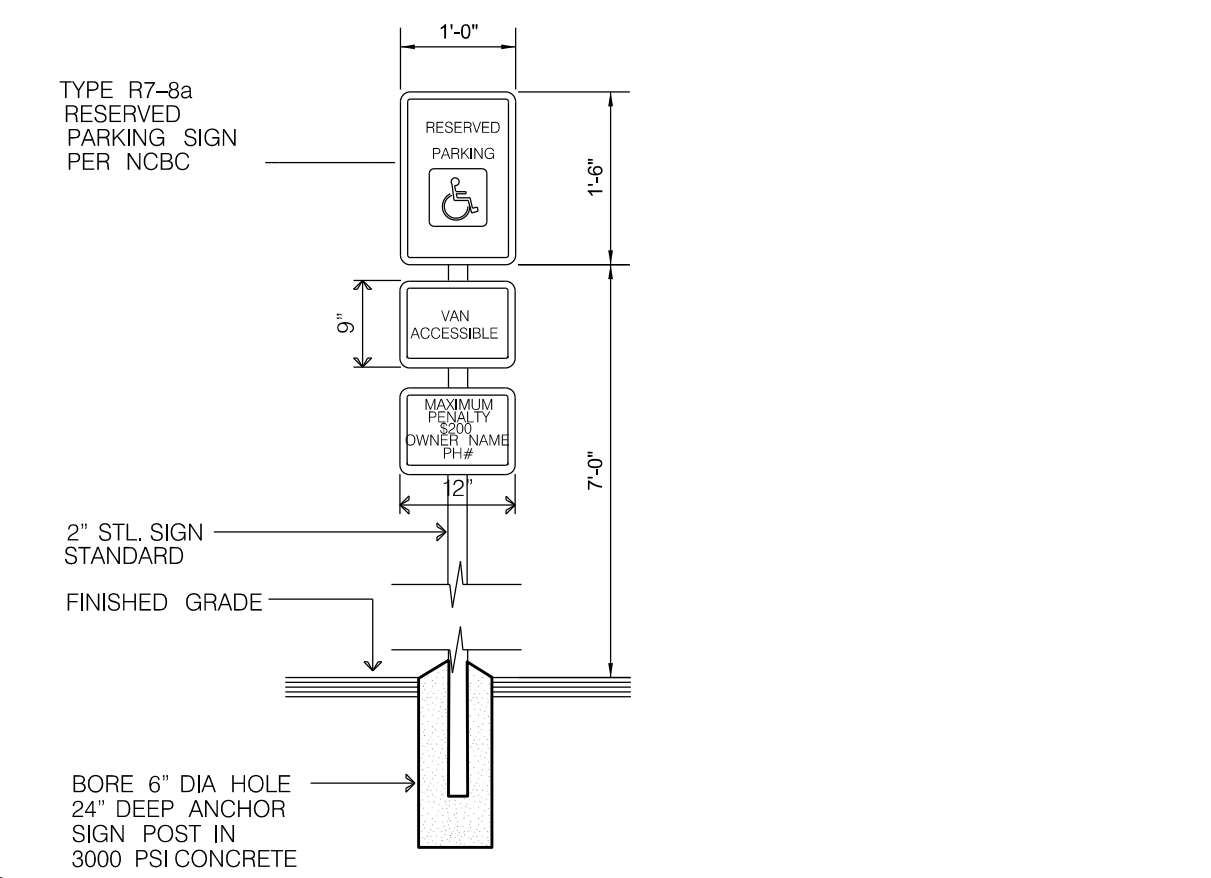
NOTES:
PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAX CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAX CENTERS BETWEEN EXPANSION JOINTS.
EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.
MAX SLOPE FOR RAMPS SHALL BE 1:12 IN ACCORDANCE WITH ADA REQUIREMENTS.



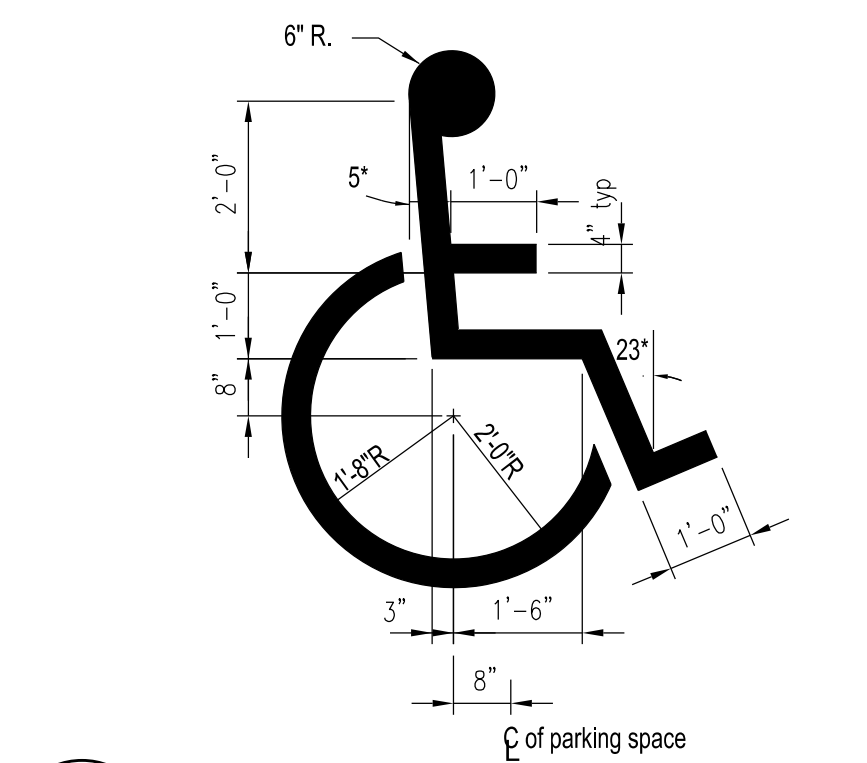
9
C201
ADA SIDE RAMP DETAIL
NOT TO SCALE



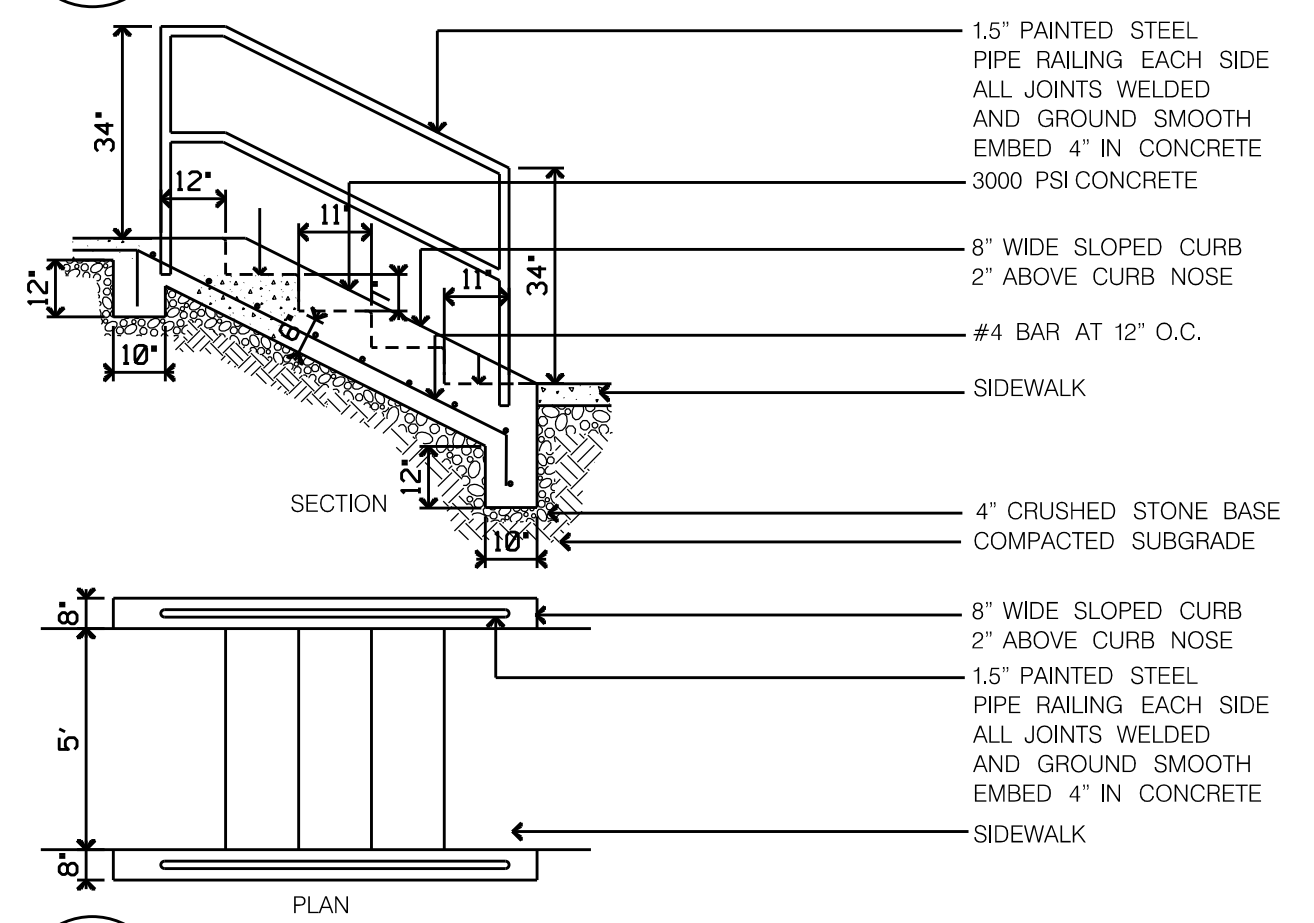
10
C201
TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



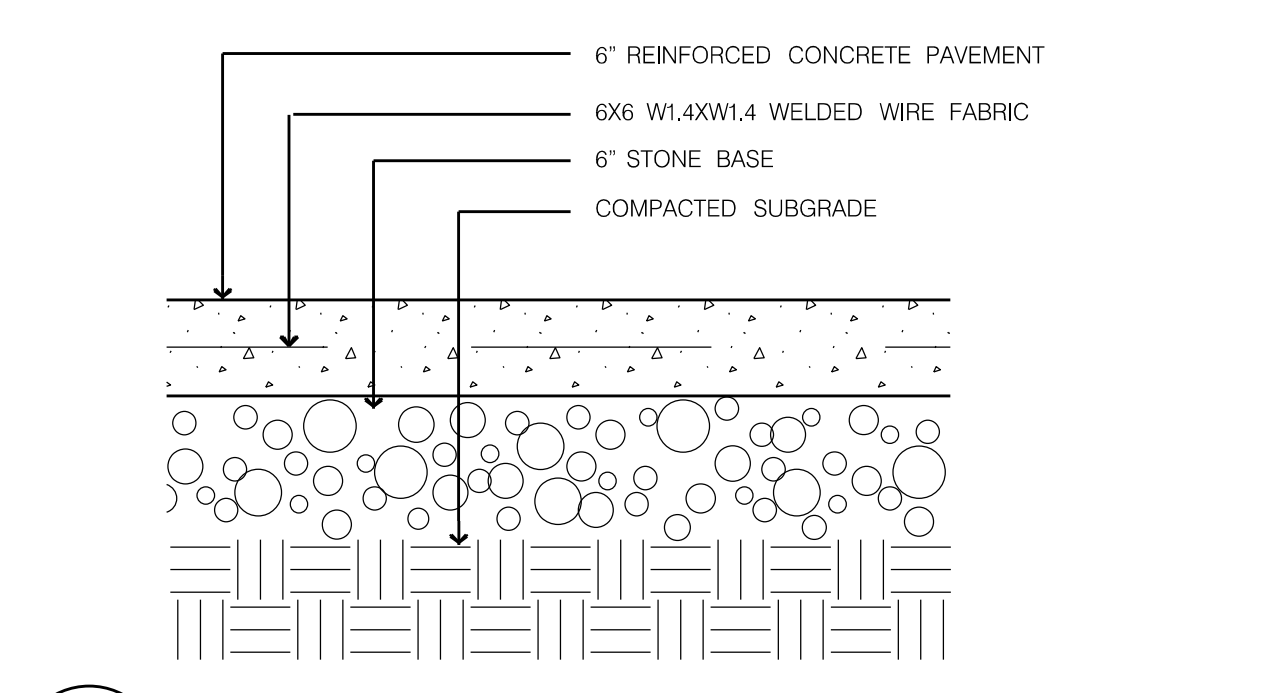
11
C201
HANDICAP SIGN
NOT TO SCALE



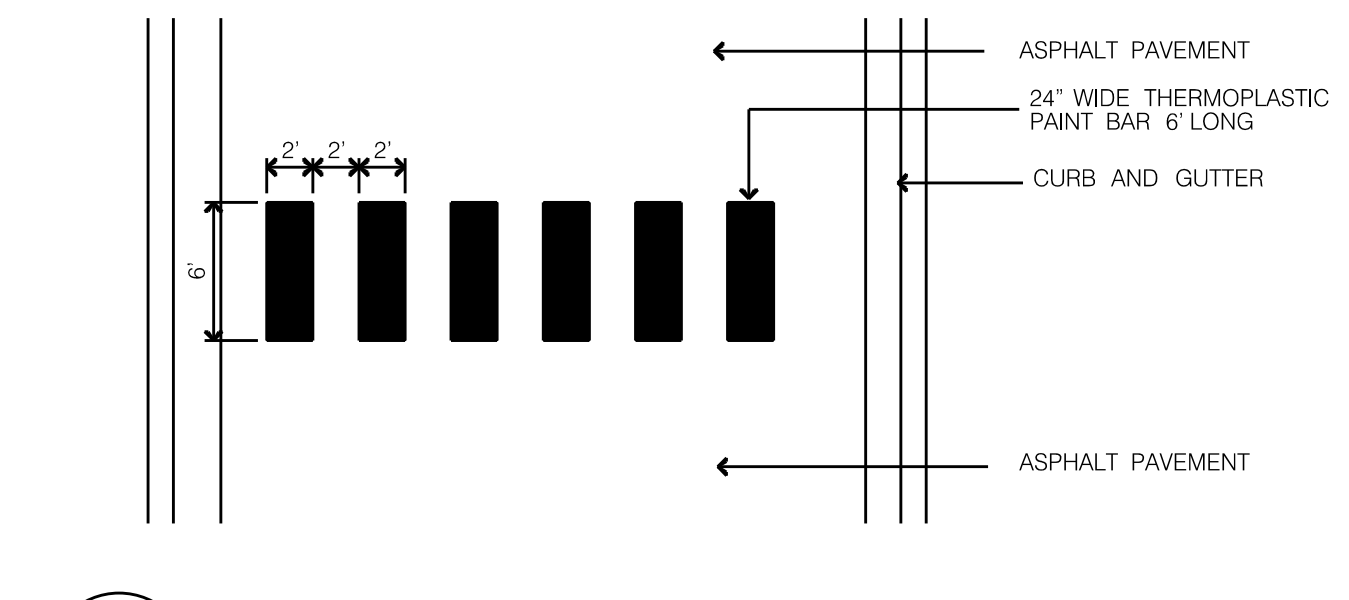
12
C201
ACCESSIBILITY SYMBOL
NOT TO SCALE



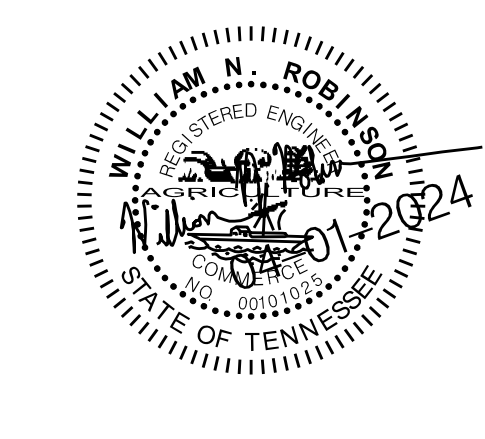
13
C201
STAIR DETAIL
NOT TO SCALE



14
C201
TYPICAL CONCRETE PAVING SECTION
NOT TO SCALE



15
C201
CROSS WALK DETAIL
NOT TO SCALE



CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

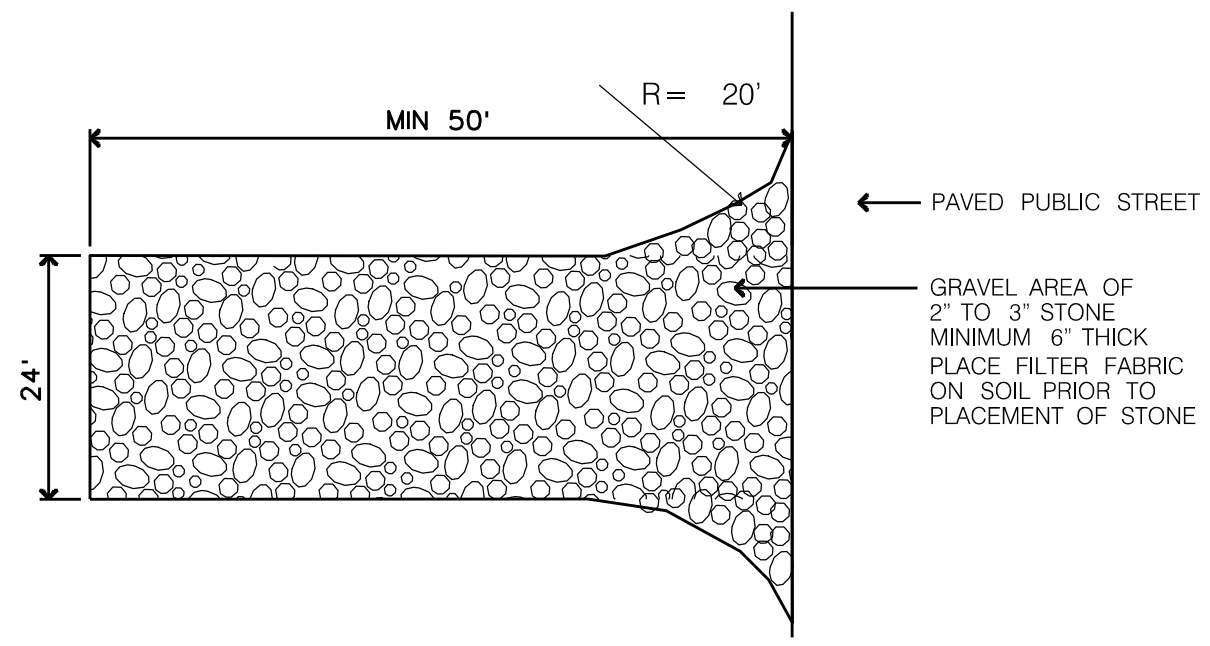
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SITE DETAILS - 1

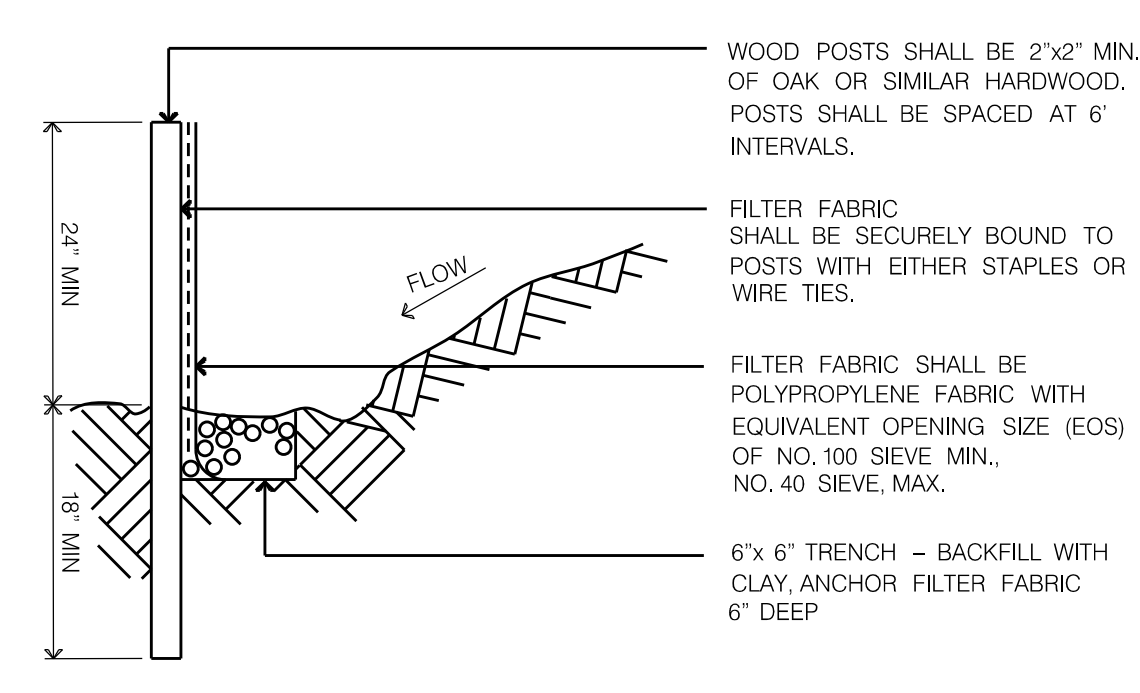
C201

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

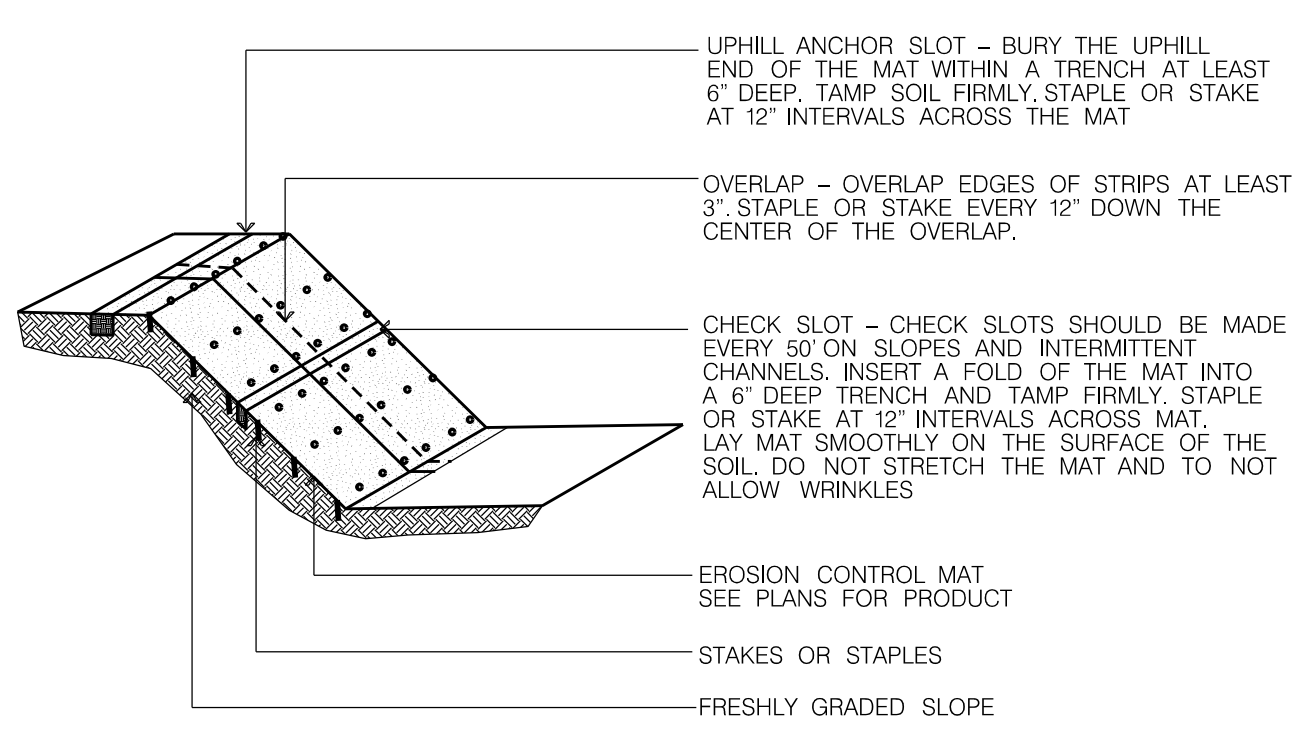
1/12/2024 3:32:00 PM



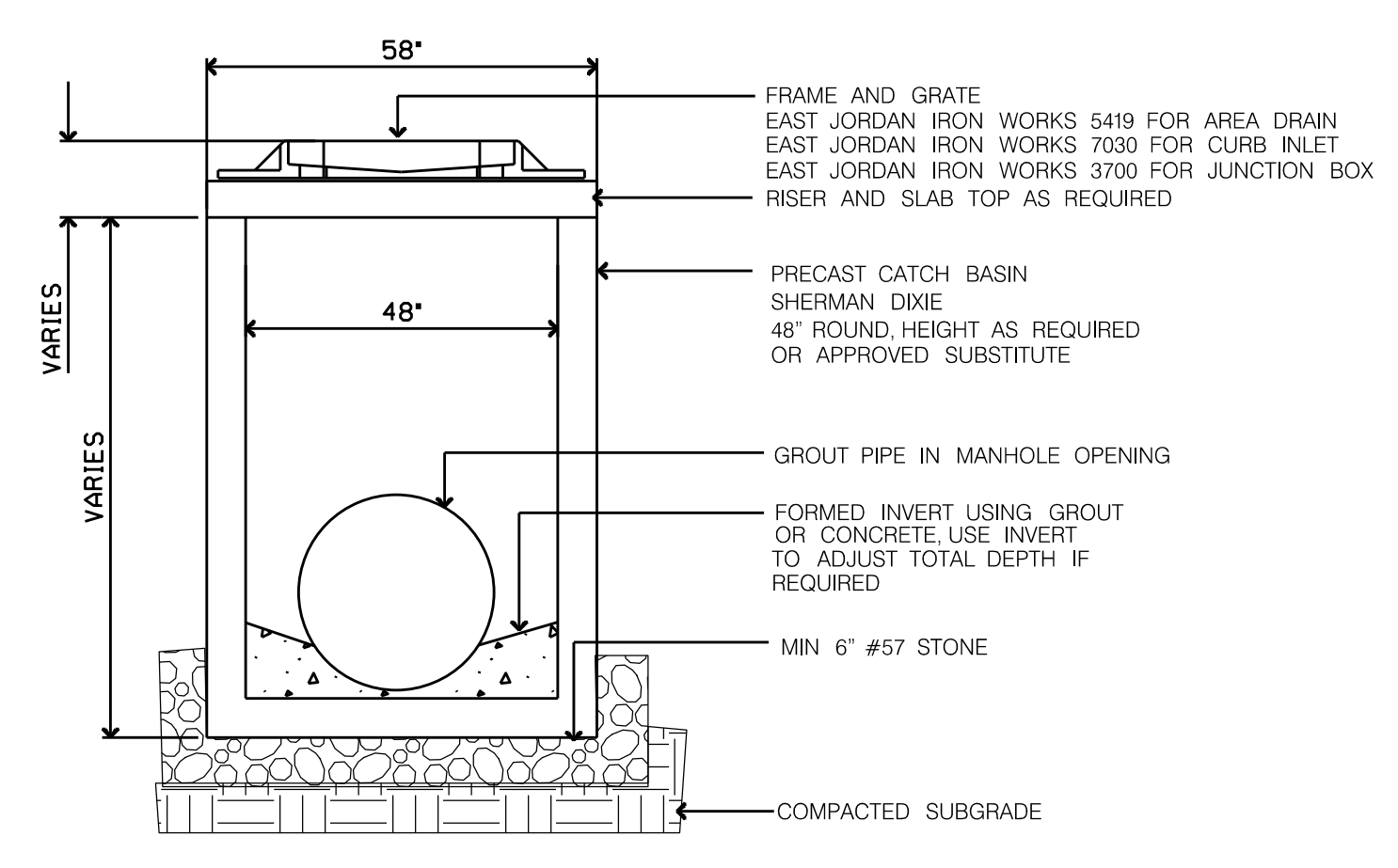
1 CONSTRUCTION ENTRANCE DETAIL
C202 NOT TO SCALE



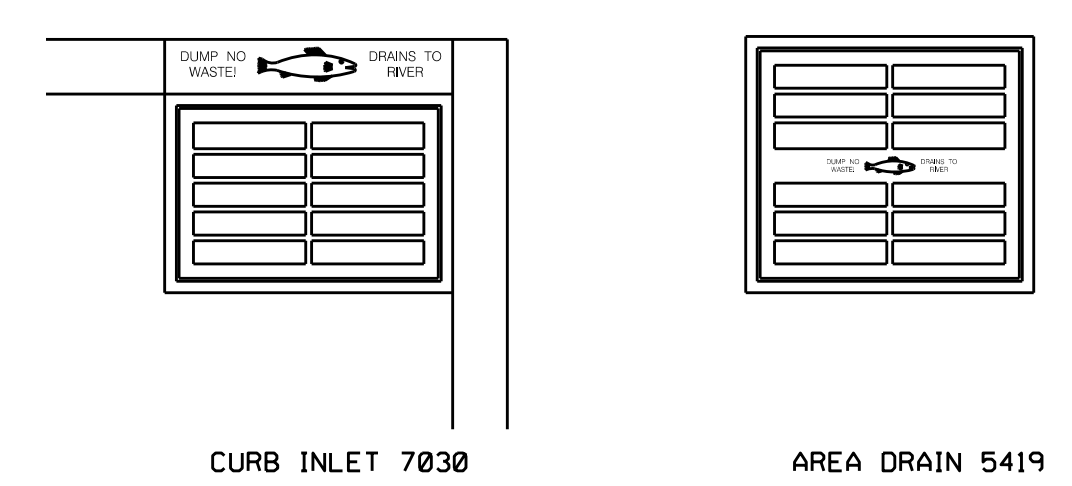
2 SILT FENCE DETAIL
C202 NOT TO SCALE



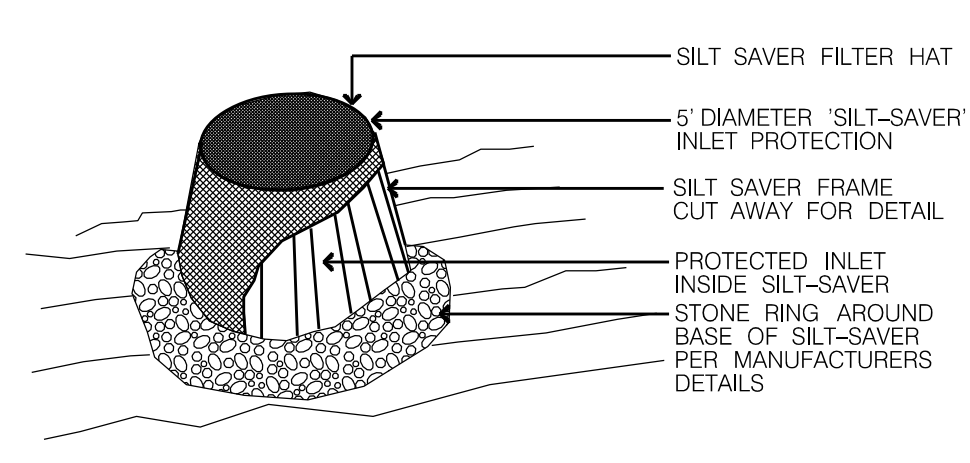
3 EROSION MAT INSTALLATION
C202 NOT TO SCALE



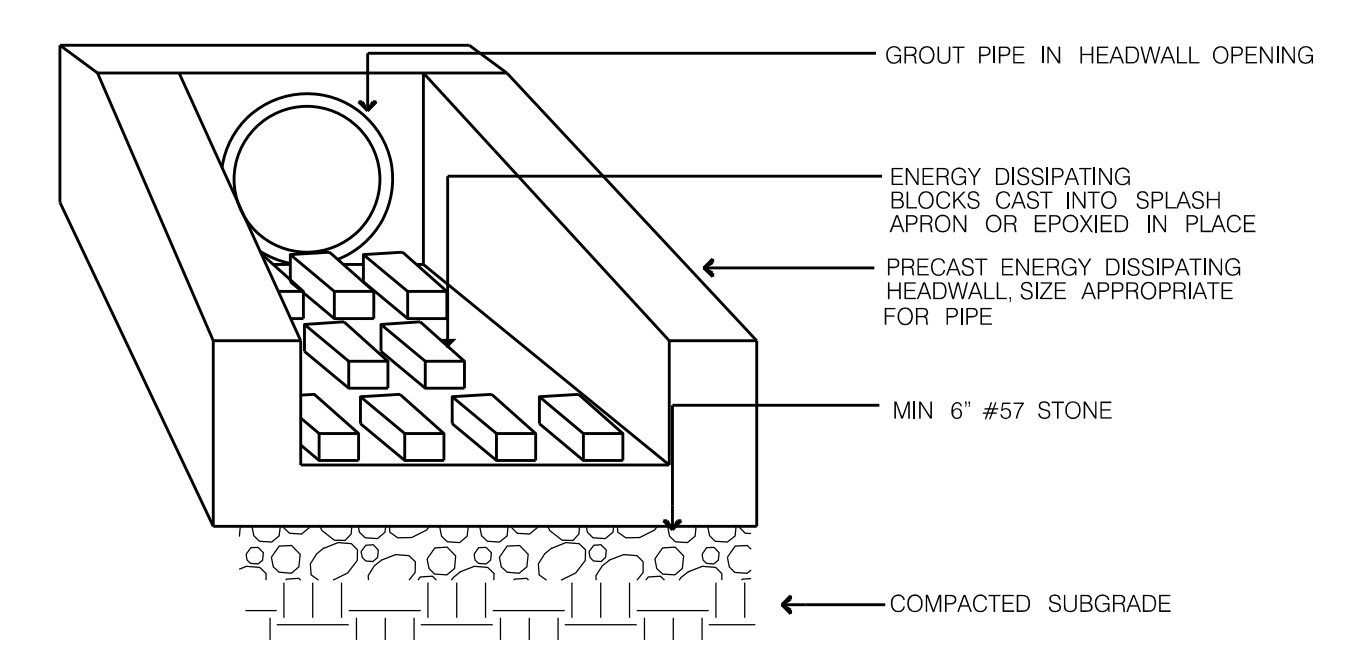
4 48" ROUND CATCH BASIN DETAIL
C202 NOT TO SCALE



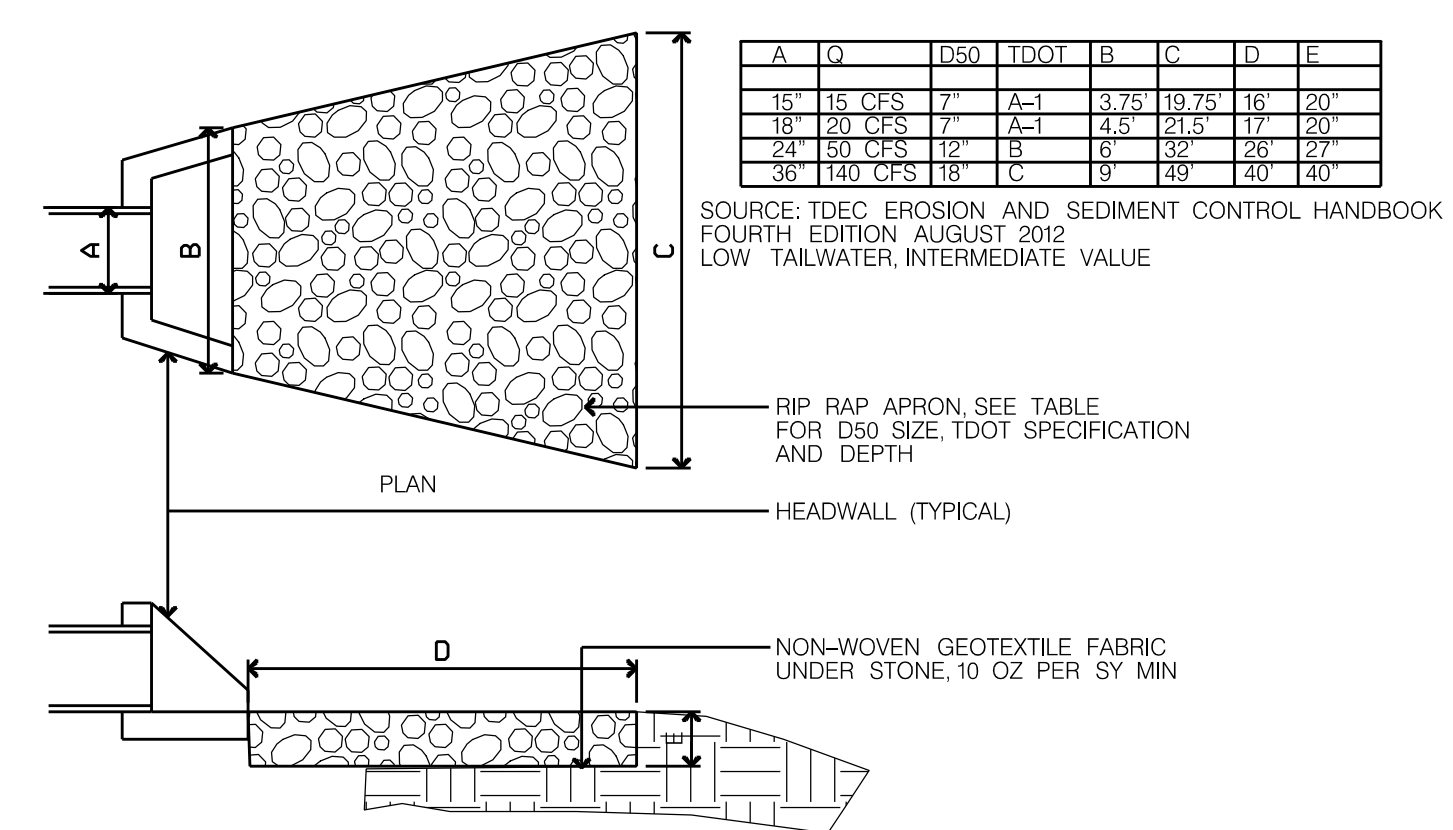
5 ENVIRONMENTAL MESSAGE DETAIL
C202 NOT TO SCALE



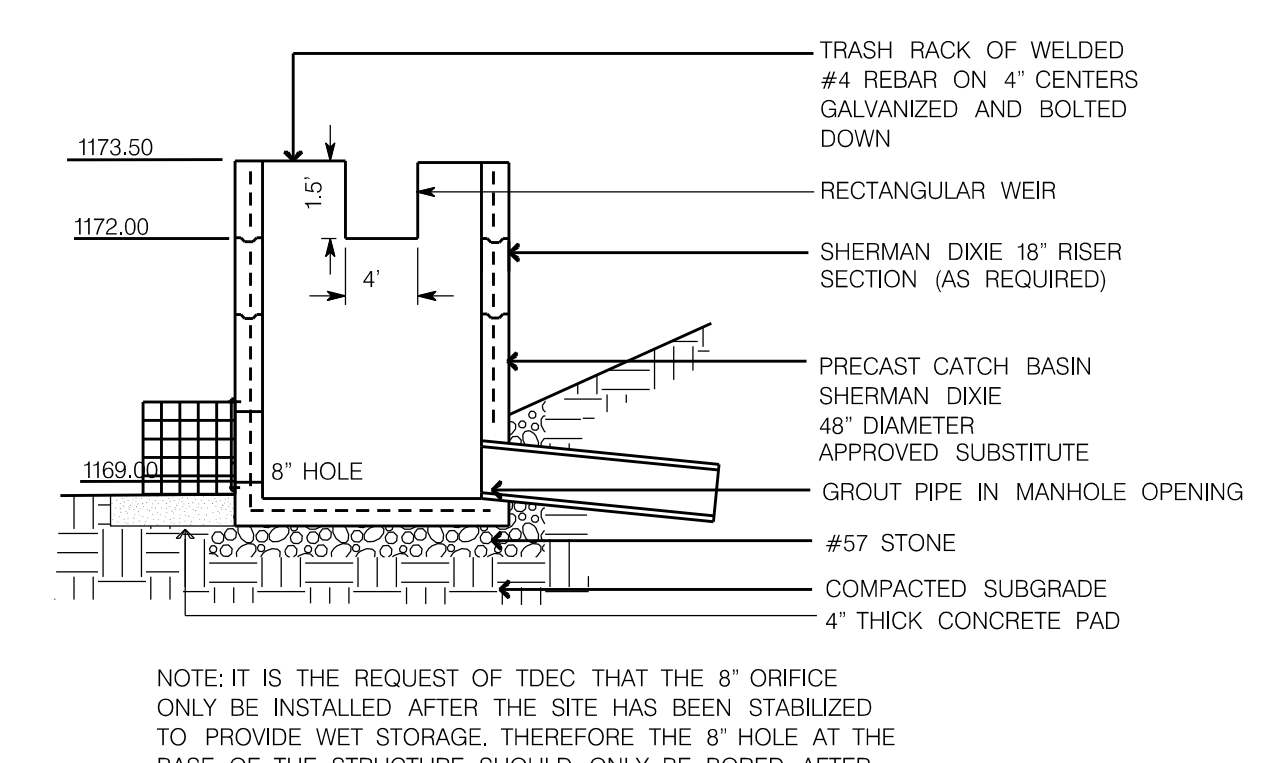
6 INLET PROTECTION DETAIL
C202 NOT TO SCALE



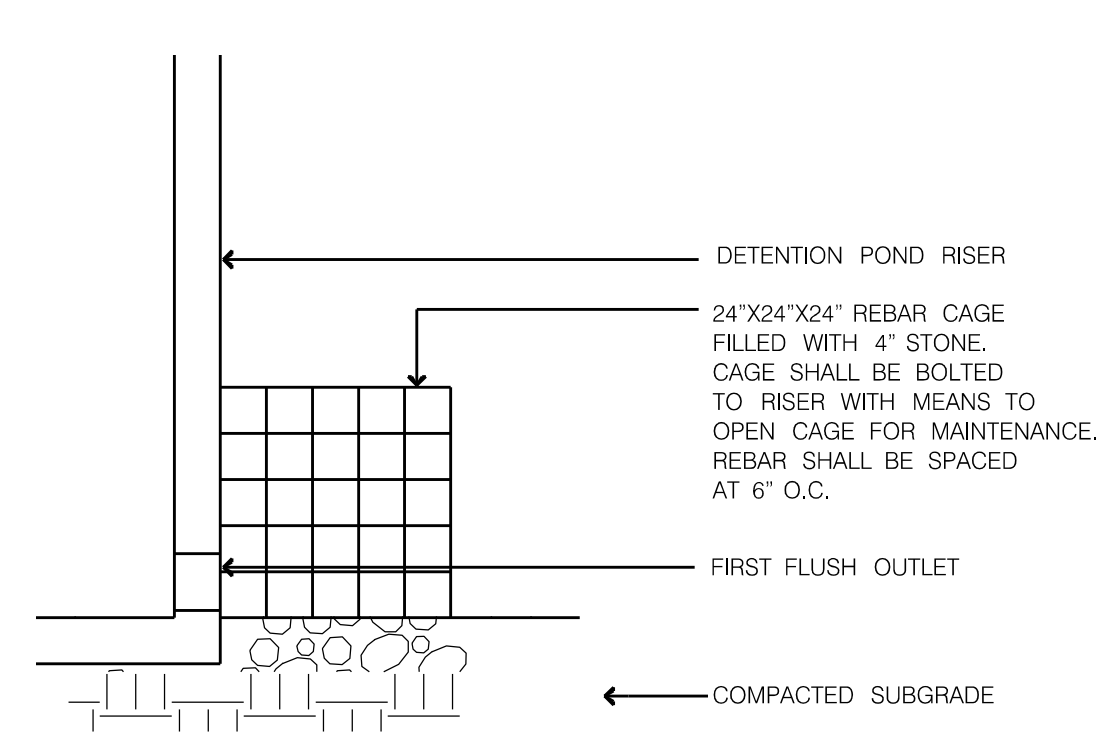
7 ENERGY DISSIPATING HEADWALL DETAIL
C202 NOT TO SCALE



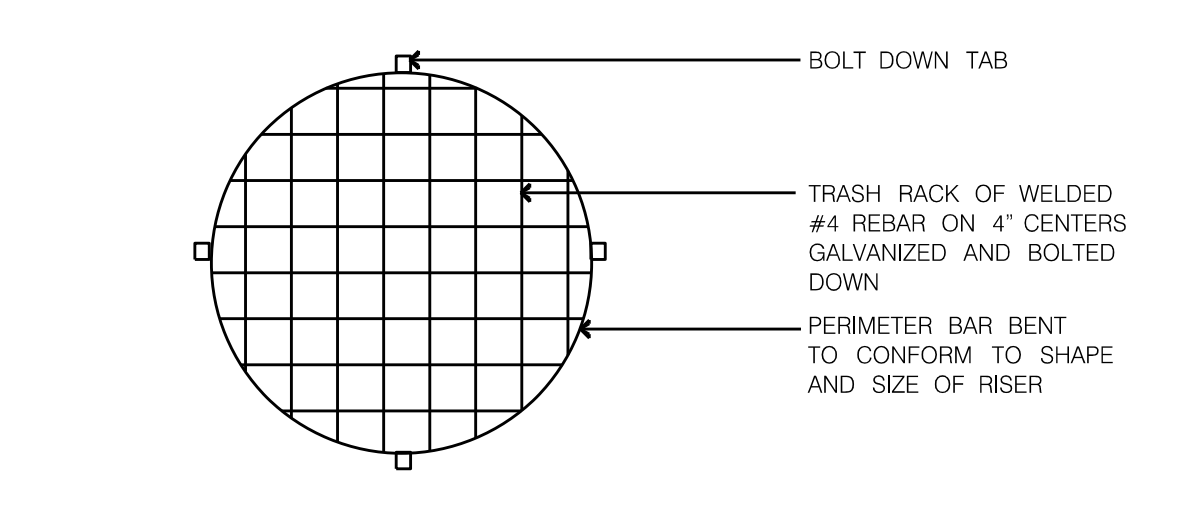
8 LOW TAILWATER OUTLET PROTECTION DETAIL
C202 NOT TO SCALE



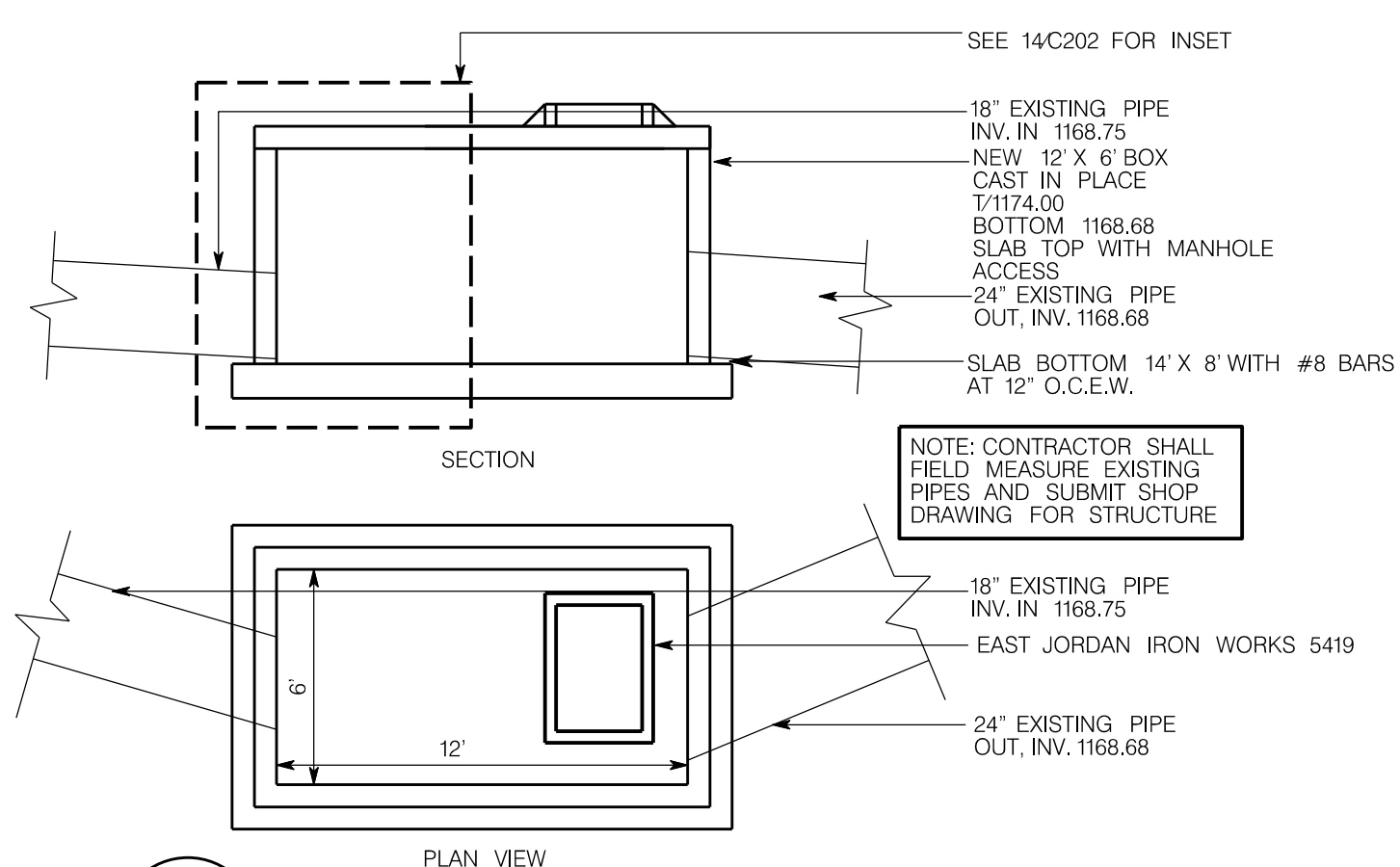
9 POND RISER DETAIL
C202 NOT TO SCALE



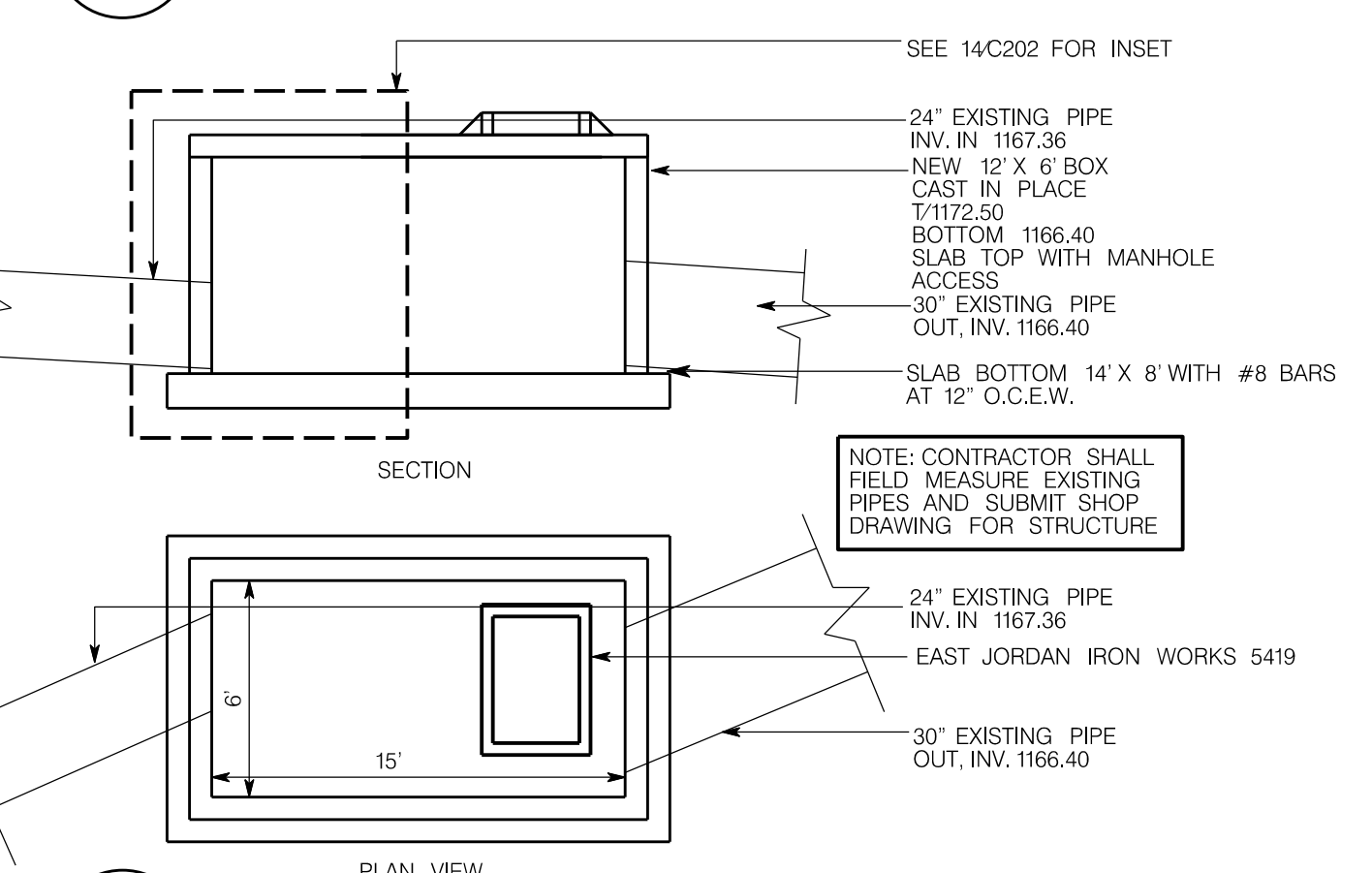
10 WATER QUALITY FILTER
C202 NOT TO SCALE



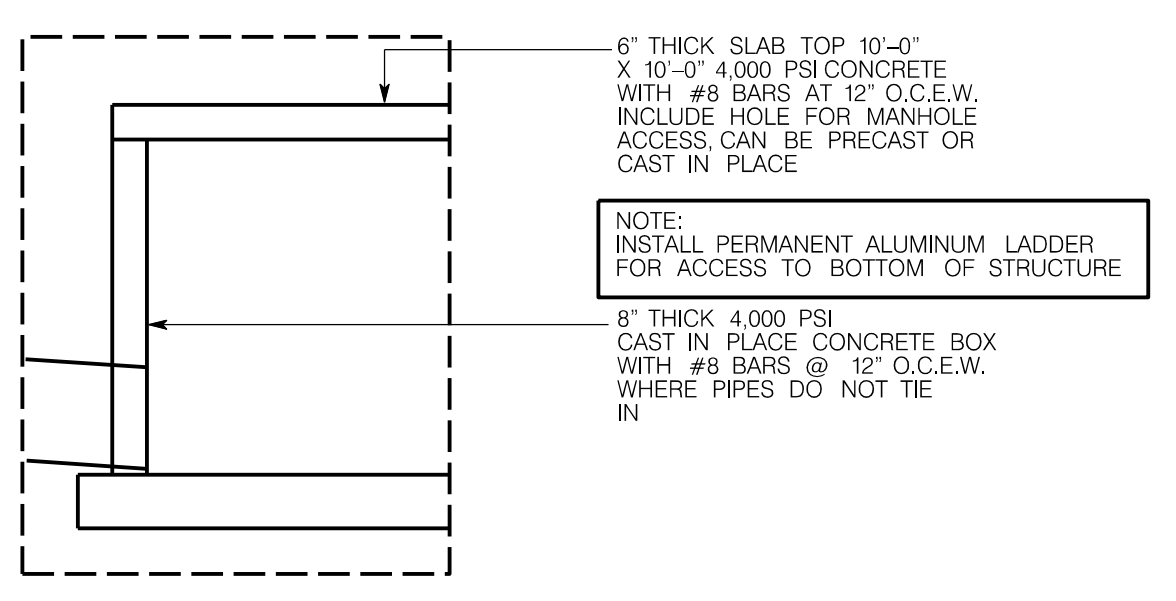
11 TRASH RACK
C202 NOT TO SCALE



12 JUNCTION BOX 1 DETAIL
C202 NOT TO SCALE

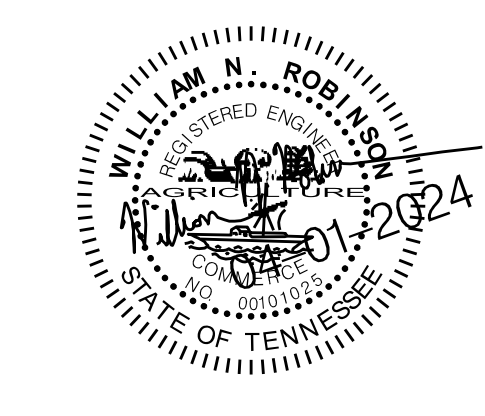


13 JUNCTION BOX 2 DETAIL
C202 NOT TO SCALE



14 INSET DRAWING
C202 NOT TO SCALE

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



CONCEPT SITE PLAN
HERITAGE PARK - UNION COUNTY
115 DURHAM DRIVE, MAYNARDVILLE, TN 37807

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SITE DETAILS - 2

C202

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

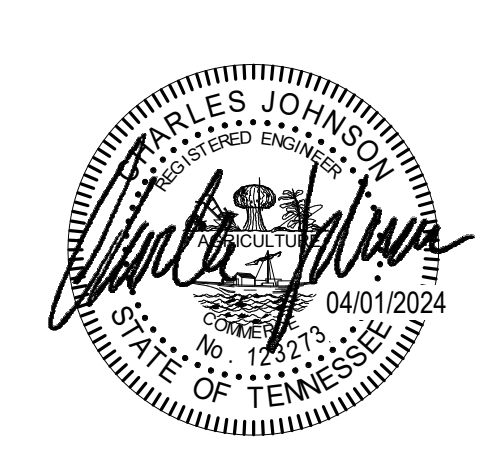
1/12/2024 3:32:00 PM

4/1/2024 2:55:40 PM

Table with columns 01-21 and rows A-U. Contains technical specifications for drawings, design and construction criteria, and concrete details.

Vertical sidebar containing project information: CONSTRUCTION DOCUMENTS, HERITAGE PARK ADDITION, 115 DURHAM DR, MAYNARDVILLE, TN 37607. Includes logos for DIA Design Innovation and HAINES STRUCTURAL GROUP.

DIA Design Innovation ARCHITECTS + INTERIORS + PLANNING 402 S. Gay Street, Suite 201, Knoxville, TN 37902



CONSTRUCTION DOCUMENTS HERITAGE PARK ADDITION 115 DURHAM DR, MAYNARDVILLE, TN 37607

Table with 3 columns: NO., DESCRIPTION, DATE. Intended for tracking revisions to the drawing.

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION.

SHEET DESCRIPTION STRUCTURAL GENERAL NOTES

S002 PROJECT DATE 04/01/2024 PROJECT NUMBER 23071

HAINES STRUCTURAL GROUP logo and contact information: 800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929 (865) 328-9920 | WWW.HAINES-SB.COM

STATEMENT OF SPECIAL INSPECTIONS:

1. SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE IBC CHAPTER 17).
2. THE INSPECTION AND TESTING AGENT(S) SHALL BE ENGAGED BY THE OWNER'S REPRESENTATIVE OR THE SPECIAL INSPECTOR, AND NOT BY THE CONTRACTOR OR SUBCONTRACTOR WHOSE WORK IS TO BE INSPECTED OR TESTED. ANY CONFLICT OF INTEREST MUST BE DISCLOSED PRIOR TO COMMENCING WORK.
3. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING INSPECTION.
4. SPECIAL INSPECTION FREQUENCY:
 - A. PERIODIC - THE PART-TIME OR INTERMITTENT OBSERVATION BY THE SPECIAL INSPECTION OF WORK BEING PERFORMED AS DETERMINED BY THE SPECIAL INSPECTOR TO ADEQUATELY DEMONSTRATE INTENT OF THE CONSTRUCTION DRAWINGS ARE BEING MET.
 - B. CONTINUOUS - THE FULL-TIME OBSERVATION BY THE SPECIAL INSPECTOR OF WORK BEING PERFORMED.
5. DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR:
 - A. THE SPECIAL INSPECTOR SHALL REVIEW ALL WORK LISTED BELOW FOR CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AND THE 2018 IBC. ALL ITEMS NOT IN COMPLIANCE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED, TO THE EOR AND THE BUILDING OFFICIAL.
 - B. THE SPECIAL INSPECTOR SHALL FURNISH SPECIAL INSPECTION REPORTS TO THE EOR, CONTRACTOR, OWNER, AND BUILDING OFFICIAL ON A BI-WEEKLY BASIS, OR MORE FREQUENTLY AS REQUIRED BY THE BUILDING OFFICIAL. REPORTS SHALL DESCRIBE ALL INSPECTIONS, TESTS PERFORMED, DISCREPANCY NOTICES AND CORRECTIVE ACTIONS TAKEN.
 - C. ONCE CORRECTIONS HAVE BEEN MADE BY THE CONTRACTOR, THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT TO THE BUILDING OFFICIAL STATING THAT WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AS WELL AS THE APPLICABLE WORKMANSHIP PROVISIONS OF THE 2018 IBC.
6. DUTIES AND RESPONSIBILITIES OF THE CONTRACTOR:
 - A. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK. IN ACCORDANCE WITH IBC 1704.4, THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF THE SPECIAL INSPECTOR REQUIREMENTS CONTAINED WITHIN THE "STATEMENT OF SPECIAL INSPECTIONS".
 - B. THE CONTRACTOR SHALL NOTIFY THE RESPONSIBLE SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST ONE WORKING DAY (24 HOURS MINIMUM) BEFORE SUCH INSPECTION IS REQUIRED.
 - C. ALL WORK REQUIRING SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL IT HAS BEEN OBSERVED BY THE SPECIAL INSPECTOR.
 - D. THE SPECIAL INSPECTION PROGRAM DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH THE CONTRACT DOCUMENTS. JOBSITE SAFETY AND MEANS AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
7. PLEASE SEE THE "SPECIAL INSPECTION SCHEDULE" ON THIS SHEET FOR THE TYPES, EXTENTS, AND FREQUENCY OF SPECIFIC ITEMS REQUIRING SPECIAL INSPECTIONS AND STRUCTURAL TESTS AS PART OF THIS PROJECT.
8. THIS STATEMENT OF SPECIAL INSPECTIONS ENCOMPASSES THE FOLLOWING DISCIPLINES: STRUCTURAL
9. SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE ARE NOT REQUIRED PER IBC 1705.12.
10. SPECIAL INSPECTIONS FOR WIND RESISTANCE ARE NOT REQUIRED PER IBC 1705.11.



PREPARED BY:
 NAME: CHARLES JOHNSON, P.E., S.E.
 LICENSE # 123273
 SIGNATURE: *Charles Johnson* DATE: 04/01/2024
 DESIGN PROFESSIONAL SEAL

OWNER'S AUTHORIZATION: _____ BUILDING OFFICIAL'S ACCEPTANCE: _____
 SIGNATURE: _____ DATE: _____ SIGNATURE: _____ DATE: _____

SPECIAL INSPECTION SCHEDULE: SOILS			
VERIFICATION AND INSPECTION	REQUIRED?	CONTINUOUS	PERIODIC
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	X		X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	X		X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	X		X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	X	
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	X		X

SPECIAL INSPECTION SCHEDULE: CAST-IN-PLACE FOUNDATION ELEMENTS			
VERIFICATION AND INSPECTION	REQUIRED?	CONTINUOUS	PERIODIC
1. SPECIAL INSPECTIONS AND VERIFICATIONS FOR CONCRETE FOUNDATION CONSTRUCTION IN ACCORDANCE WITH THE SPECIAL INSPECTION SCHEDULE: CONCRETE CONSTRUCTION:			
A. ISOLATED SPREAD CONCRETE FOOTINGS	X		X
B. CONTINUOUS CONCRETE FOOTINGS SUPPORTING WALLS	X		X
C. CONCRETE FOUNDATION WALLS	X		X

SPECIAL INSPECTION SCHEDULE: CONCRETE CONSTRUCTION			
VERIFICATION AND INSPECTION	REQUIRED?	CONTINUOUS	PERIODIC
1. INSPECT REINFORCEMENT AND VERIFY PLACEMENT.	X		X
2. REINFORCING BAR WELDING:			
A. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706	X		X
B. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16"	X		X
C. INSPECT ALL OTHER WELDS	X	X	
3. INSPECT ANCHORS CAST IN CONCRETE	X		X
4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS (NOTE a):			
A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS.	X	X	
B. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4A	X		X
5. VERIFY USE OF REQUIRED DESIGN MIX	X		X
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	X	
7. INSPECT CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	X	
8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	X		X
9. INSPECT PRESTRESSED CONCRETE FOR:			
A. APPLICATION OF PRESTRESSING FORCES			
B. GROUTING OF BONDED PRESTRESSING TENDONS.			
10. INSPECT ERECTION OF PRECAST CONCRETE MEMBERS.			
11. VERIFY IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	X		X
12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED	X		X

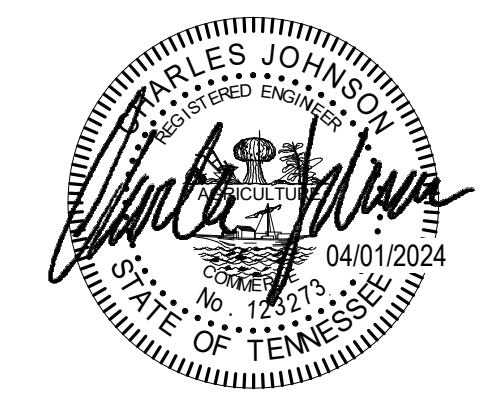
TABLE NOTES:
 a. SPECIFIC REQUIREMENTS FOR SPECIAL INSPECTION SHALL BE INCLUDED IN THE RESEARCH REPORT FOR THE ANCHOR ISSUED BY AN APPROVED SOURCE IN ACCORDANCE WITH ACI 308.2R OR OTHER QUALIFICATION PROCEDURES. WHERE SPECIFIC REQUIREMENTS ARE NOT PROVIDED, SPECIAL INSPECTION REQUIREMENTS SHALL BE SPECIFIED BY THE REGISTERED DESIGN PROFESSIONAL AND SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF THE WORK.

SPECIAL INSPECTION SCHEDULE: OPEN-WEB STEEL JOISTS AND JOIST GIRDERS			
VERIFICATION AND INSPECTION	REQUIRED?	CONTINUOUS	PERIODIC
1. INSTALLATION OF OPEN-WEB STEEL JOISTS AND JOIST GIRDERS:			
A. END CONNECTIONS - WELDING OR BOLTED	X		X
B. BRIDGING THAT DIFFERS FROM THE SJI SPECIFICATIONS LISTED IN SECTION 2207.1	X		X

SPECIAL INSPECTION SCHEDULE: WOOD CONSTRUCTION			
VERIFICATION AND INSPECTION	REQUIRED?	CONTINUOUS	PERIODIC
1. FABRICATION PROCESS OF PREFABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES	X		X
2. INSPECTION OF HIGH-LOAD DIAPHRAGMS:			
A. VERIFY WOOD STRUCTURAL PANEL SHEATHING IS OF THE GRADE AND THICKNESS SHOWN ON THE CONSTRUCTION DOCUMENTS			
B. VERIFY NOMINAL SIZE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES AGREES WITH THE CONSTRUCTION DOCUMENTS			
C. VERIFY FASTENER DIAMETER AND LENGTH, NUMBER OF FASTENER LINES, THE SPACING OF THE FASTENERS IN EACH LINE AND AT EDGE MARGINS AGREE WITH THE CONSTRUCTION DOCUMENTS			
3. INSPECTION OF METAL-PLATE-CONNECTED WOOD TRUSSES SPANNING 60 FEET OR GREATER:			
A. VERIFY TEMPORARY INSTALLATION RESTRAINT/BRACING ARE INSTALLED IN ACCORDANCE WITH APPROVED TRUSS SUBMITTAL PACKAGE			
B. VERIFY PERMANENT INDIVIDUAL TRUSS MEMBER RESTRAINT/BRACING ARE INSTALLED IN ACCORDANCE WITH APPROVED TRUSS SUBMITTAL PACKAGE			
4. VERIFY COMPLIANCE W/ CONSTRUCTION DOCUMENTS OF STRUCTURAL COMPONENTS INCLUDING:			
A. KING STUDS, JACK STUDS, AND HEADERS	X		X
B. BLOCKING, NAILING, AND SILL PLATE ANCHORAGE	X		X
C. STRAPPING, HOLD-DOWNS, AND BEARING	X		X
D. SIZE OF TRUSSES AND ALL SUPPLEMENTARY FRAMING	X		X
E. MECHANICAL CONNECTIONS	X		X
F. MATERIAL PROPERTIES	X		X

H21 SPECIAL INSPECTIONS
 NOT TO SCALE

DIA Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

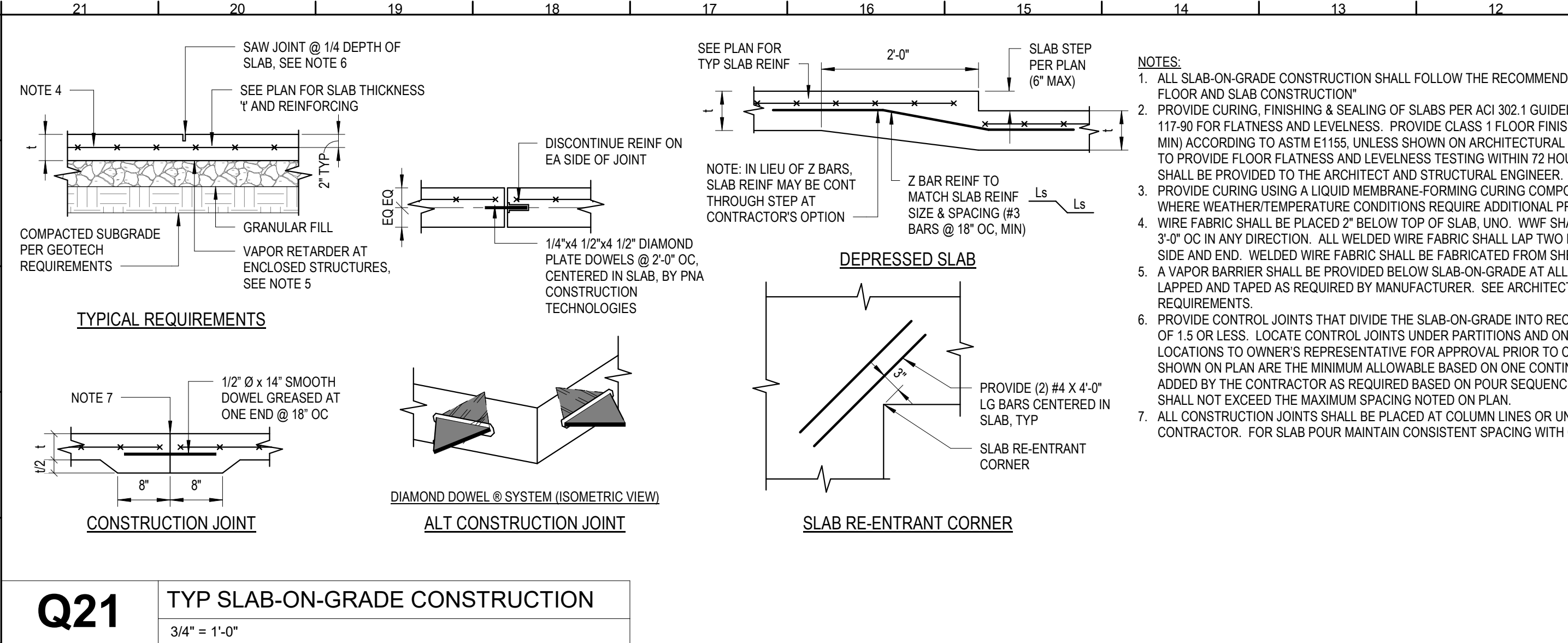
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SPECIAL INSPECTIONS

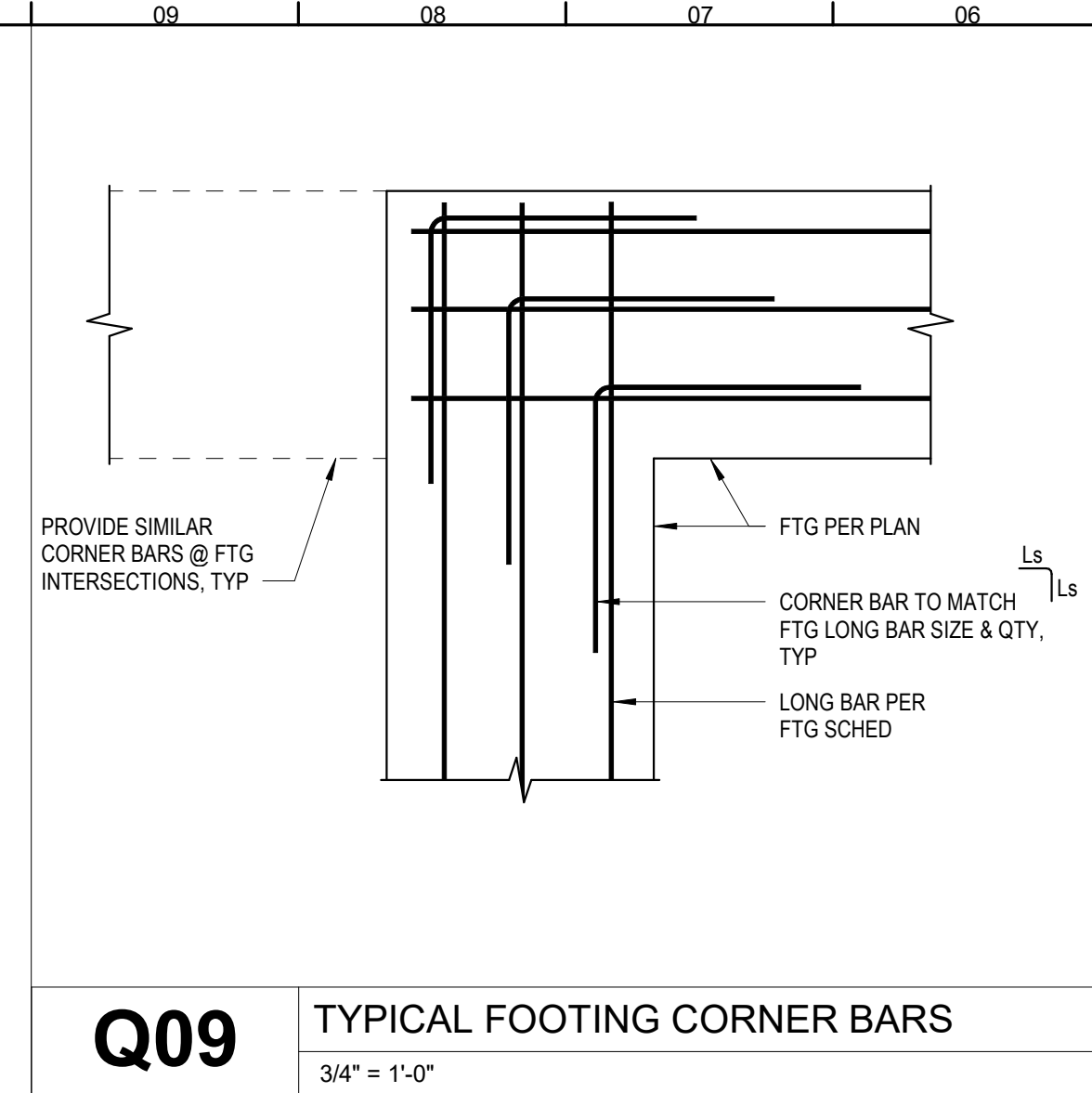
S004
 PROJECT DATE: 04/01/2024 PROJECT NUMBER: 23071

HAINES STRUCTURAL GROUP
 800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
 (865) 328-9920 | WWW.HAINES-SB.COM
 project no. 23093

C.O.K. PLANS REVIEW /
 ELECTRONIC PERMIT STAMP



Q21 TYP SLAB-ON-GRADE CONSTRUCTION
3/4" = 1'-0"

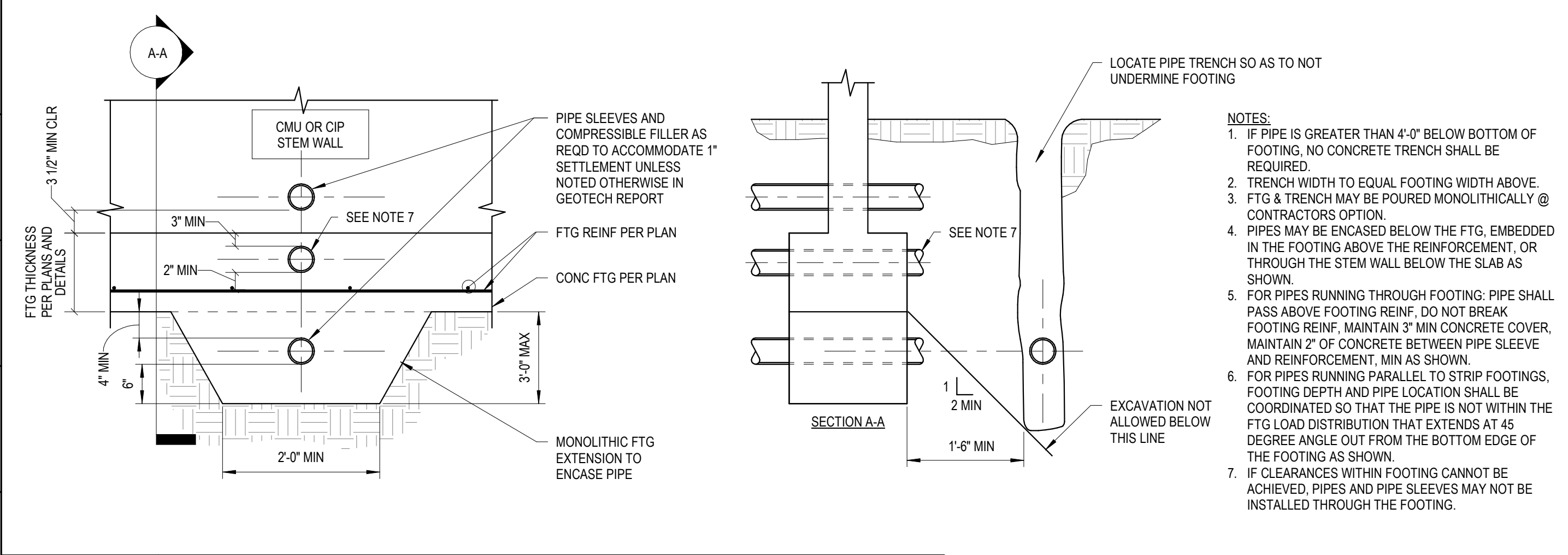


Q09 TYPICAL FOOTING CORNER BARS
3/4" = 1'-0"

THICKENED SLAB EDGE SCHEDULE			
MARK	DEPTH	WIDTH	REINFORCING
TE08	0'-8"	0'-8"	N/A
TE16	1'-4"	0'-8"	(2)-#5 CONT W/ #5 TRANSVERSE @ 1'-6" OC
TE16A	1'-4"	2'-0"	N/A
TE24	2'-0"	1'-6"	(2)-#5 CONT W/ #5 TRANSVERSE @ 1'-6" OC

1/2" ISOLATION JOINT, TYP
SIDEWALK, PER CIVIL
MIN WIDTH PER SCHED
DEPTH PER SCHED
REINF PER SCHED

Q05 TYPICAL THICKENED SLAB EDGE DETAIL
1" = 1'-0"



K21 TYP PIPE AND TRENCH LOCATIONS AT FOOTINGS / WALLS
NTS

NOTES:
1. NOTATIONS:
db: NOMINAL BAR DIAMETER (INCHES)
Ld: TENSION DEVELOPMENT LENGTH (INCHES) FOR REINFORCEMENT SATISFYING THE FOLLOWING REQUIREMENTS:
SLABS AND WALLS: CLEAR SPACING > 2db, AND CONCRETE CLEAR COVER > db
BEAMS AND COLUMNS: CLEAR SPACING > db, AND CONCRETE CLEAR COVER > db
L: DEVELOPMENT LENGTH OF BARS IN THICK CONCRETE = 1.3 X Ld (INCHES)
Lt: DEVELOPMENT LENGTH OF BARS OR DOWELS IN COMPRESSION = 19 X db (INCHES)
Lc: TIED COLUMN LAP SPLICE IN COMPRESSION = 30 X db (INCHES)
Lcs: SPIRAL COLUMN LAP SPLICE IN COMPRESSION = 22.5 X db (INCHES)
Ls: TYPICAL LAP SPLICE LENGTH = 1.3 X Ld (INCHES)
Lsb: LAP SPLICE LENGTH OF HORIZONTAL BARS IN THICK CONCRETE = 1.69 X Ld (INCHES)
2. MULTIPLY VALUES IN THE TABLE BY 1.5 IF CLEAR SPACING OR CONCRETE COVER DO NOT MEET THE REQUIREMENTS FOR Ld IN NOTE 1.
3. MULTIPLY VALUES IN THE TABLE BY 1.5 IF CLEAR SPACING OR CONCRETE COVER DO NOT MEET THE REQUIREMENTS FOR Lt IN NOTE 1.
4. "HORIZONTAL BARS IN THICK CONCRETE" REFERS TO BARS WITH MORE THAN 12 INCHES OF FRESH CONCRETE CAST BELOW. THIS INCLUDES BEAMS, SLABS, FOUNDATIONS, AND WALLS.
5. THE DEVELOPMENT AND SPLICE LENGTHS ARE BASED ON REINFORCEMENT STRENGTH Fy = 60 KSI.
6. #14 AND #18 BARS SHALL NOT BE LAP SPICED. SEE "GENERAL NOTES"
7. MULTIPLY VALUES IN THE TABLE BY 1.3 FOR USE WITH LIGHTWEIGHT AGGREGATE CONCRETE.

Fc = 3,000 PSI					Fc = 4,500 PSI				
BAR SIZE	Ld	Lt	Ls	Lsb	BAR SIZE	Ld	Lt	Ls	Lsb
#3	17	22	22	28	#3	14	18	18	23
#4	22	29	29	38	#4	18	24	24	31
#5	28	36	36	47	#5	23	30	30	38
#6	33	43	43	56	#6	27	35	35	46
#7	48	63	63	81	#7	40	51	51	67
#8	55	72	72	93	#8	45	59	59	76
#9	62	81	81	105	#9	51	66	66	86
#10	70	91	91	118	#10	56	73	73	95
#11	78	101	101	131	#11	62	80	80	104
#14	93	121	--	--	#14	79	102	--	--
#18	124	161	--	--	#18	101	131	--	--

Fc = 4,000 PSI				
BAR SIZE	Ld	Lt	Ls	Lsb
#3	15	19	19	25
#4	19	25	25	33
#5	24	31	31	41
#6	29	37	37	49
#7	42	54	54	71
#8	48	62	62	81
#9	54	70	70	91
#10	61	79	79	102
#11	67	87	87	114
#14	81	105	--	--
#18	108	140	--	--

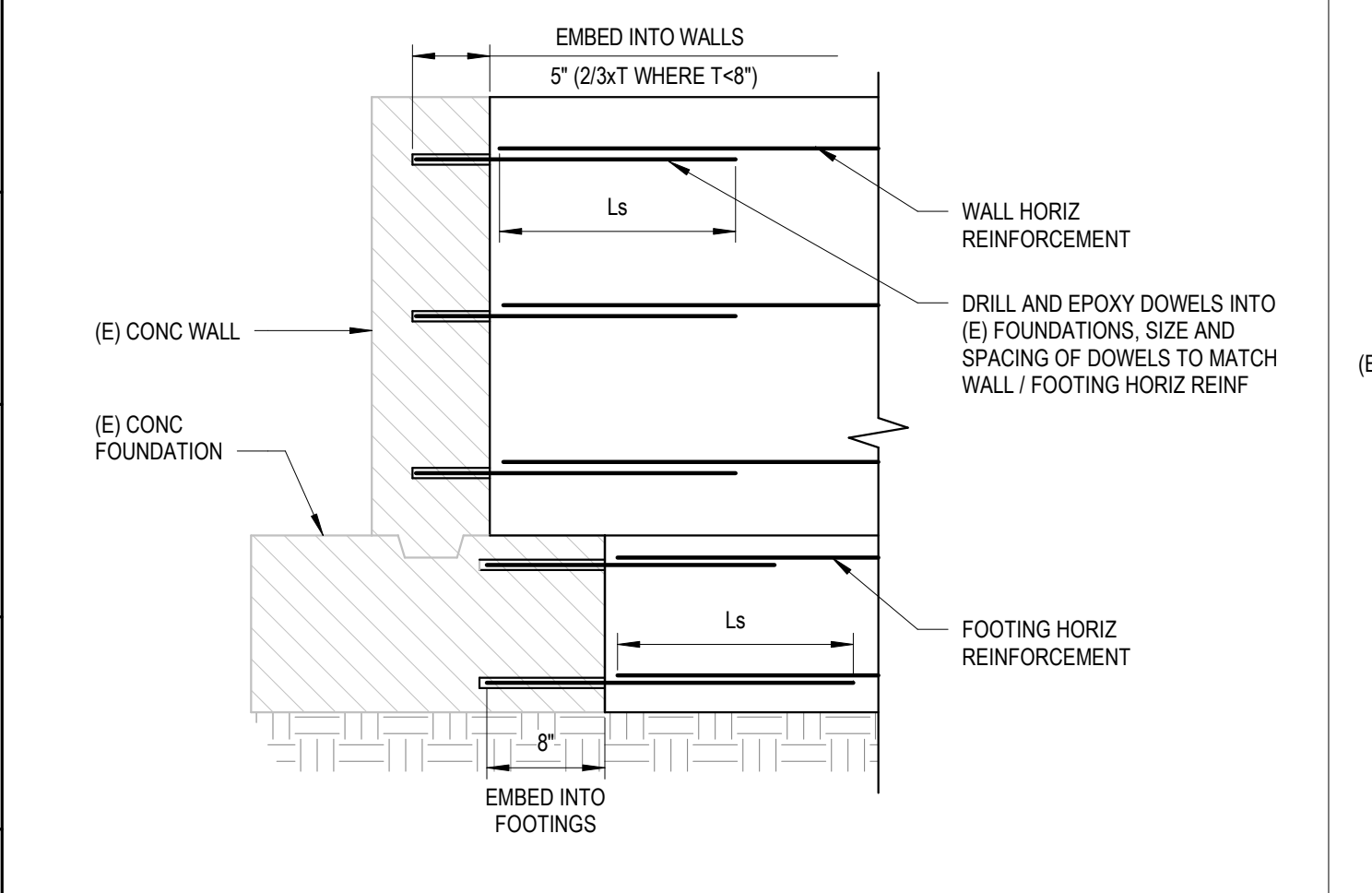
K11 CONCRETE DEVELOPMENT LENGTH SCHEDULE
3/4" = 1'-0"

CONC WALL REINF SCHEDULE

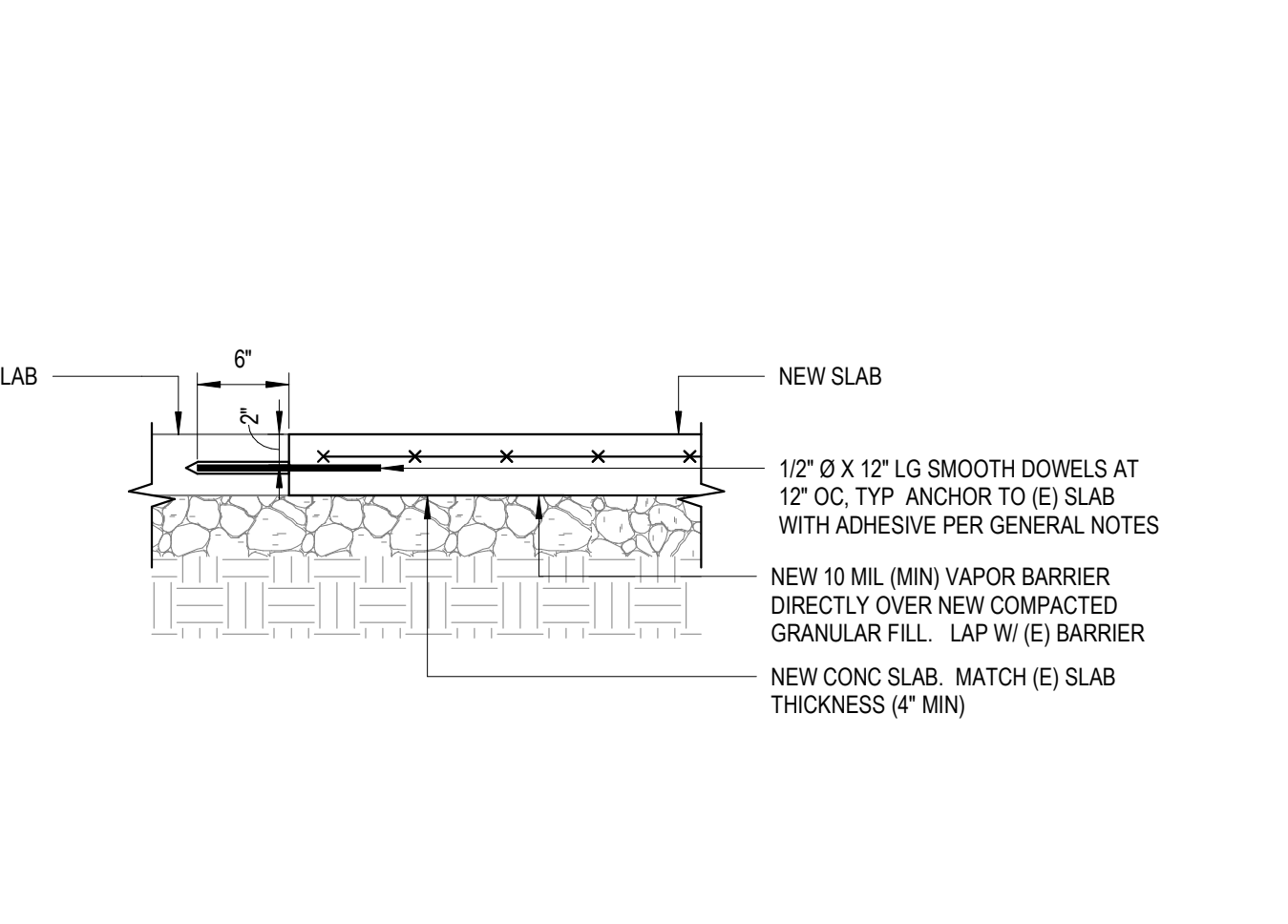
MARK	WALL THICKNESS	VERT BARS	HORIZ BARS	LOCATION
CSA	8"	#5 @ 18" OC	#5 @ 18" OC	CENTERLINE

NOTES:
1. CONCRETE WALLS SHALL HAVE THE MINIMUM REINFORCING SHOWN IN THE TABLE, UNO.
2. LAP WALL REINFORCING Ls AT SPLICES.
3. ALL VERTICAL REINFORCING IN CONCRETE WALLS SHALL BE CONTINUOUS FROM STRUCTURAL FLOOR TO STRUCTURAL FLOOR, OR FROM FOUNDATION TO FIRST STRUCTURAL FLOOR ABOVE, UNO.
4. START HORIZONTAL AND VERTICAL BARS TWO INCHES CLEAR OF EDGE OF OPENINGS, SPACE REINFORCING BARS AT EQUAL SPACES NOT TO EXCEED REQUIRED SPACING.

K04 TYP CONC WALL REINF SCHEDULE
SCALE: NTS



E21 TYP NEW TO EXISTING FOUNDATION DOWELS
1" = 1'-0"



G16 TYPICAL CONCRETE SLAB JOIN
1" = 1'-0"

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com

CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
TYPICAL CONCRETE DETAILS

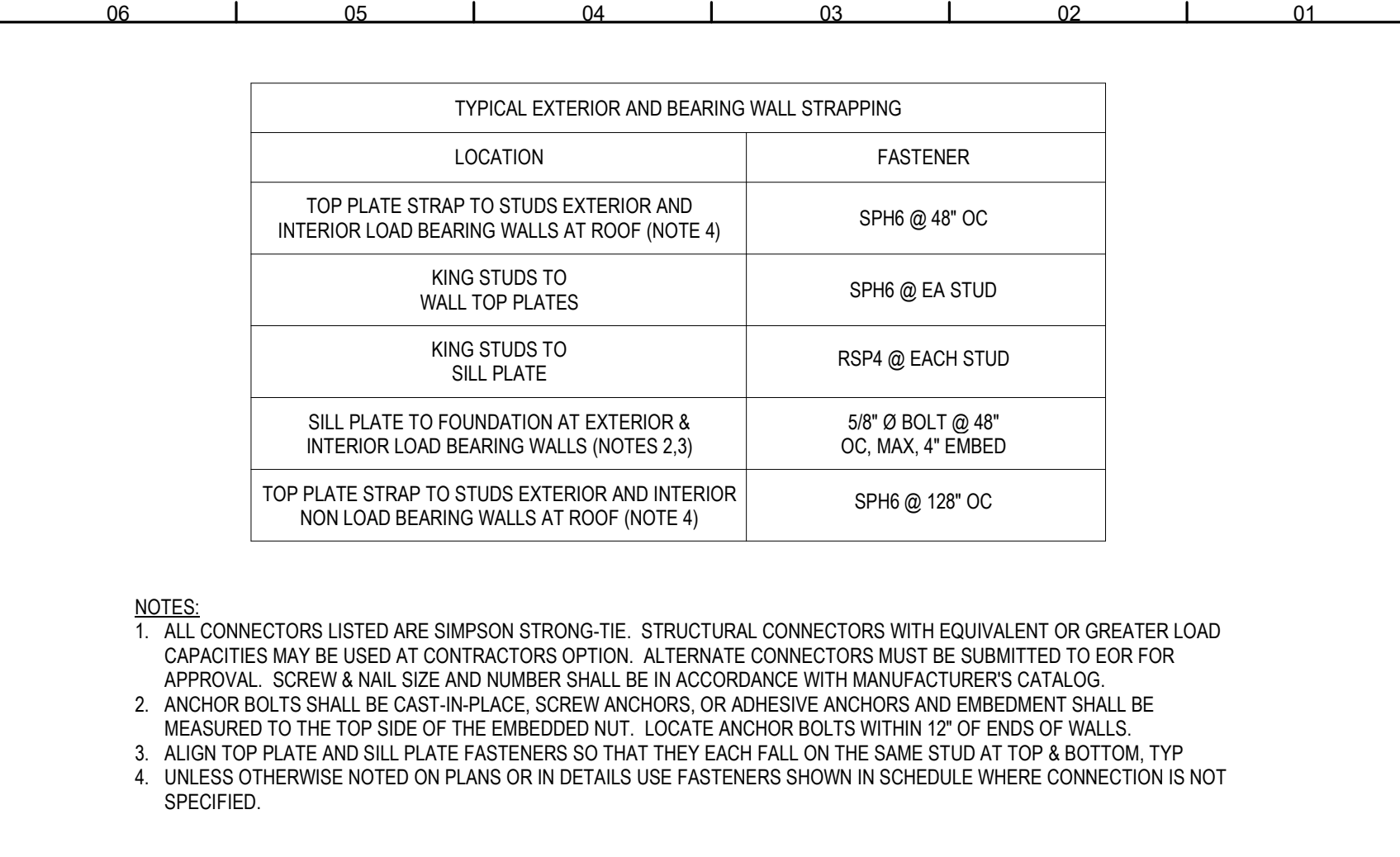
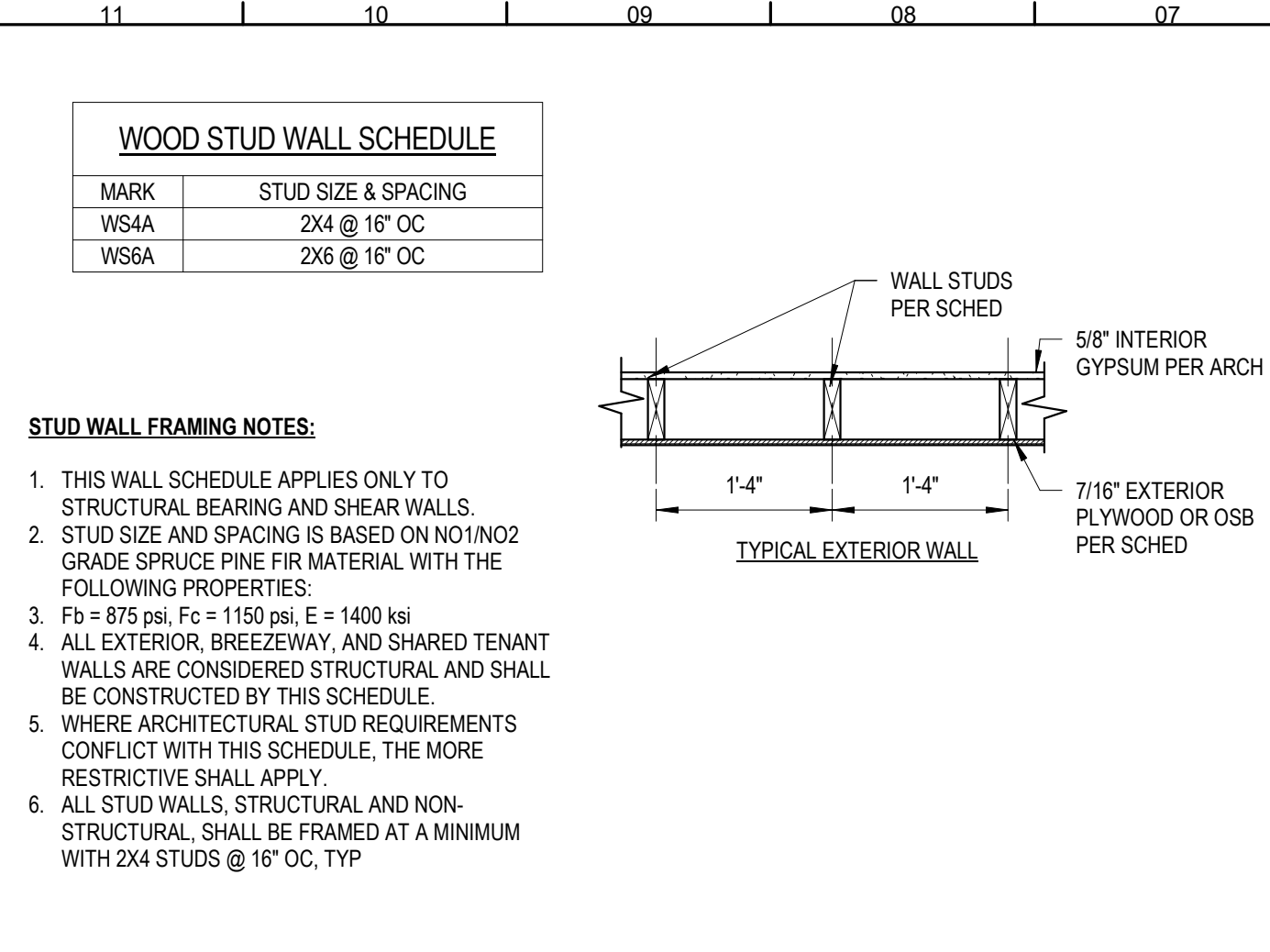
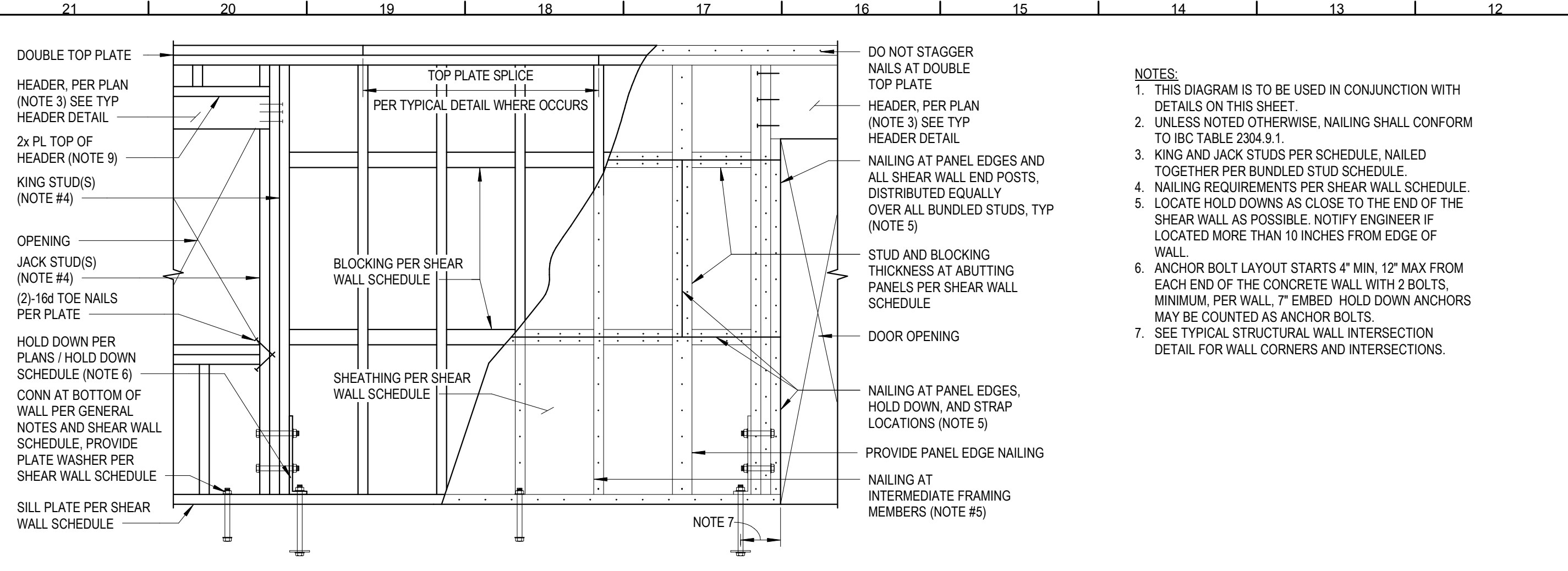
S005

PROJECT DATE	PROJECT NUMBER
04/01/2024	23071

HAINES
STRUCTURAL GROUP

800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
(865) 328-9920 | WWW.HAINES-SG.COM
project no. 23098

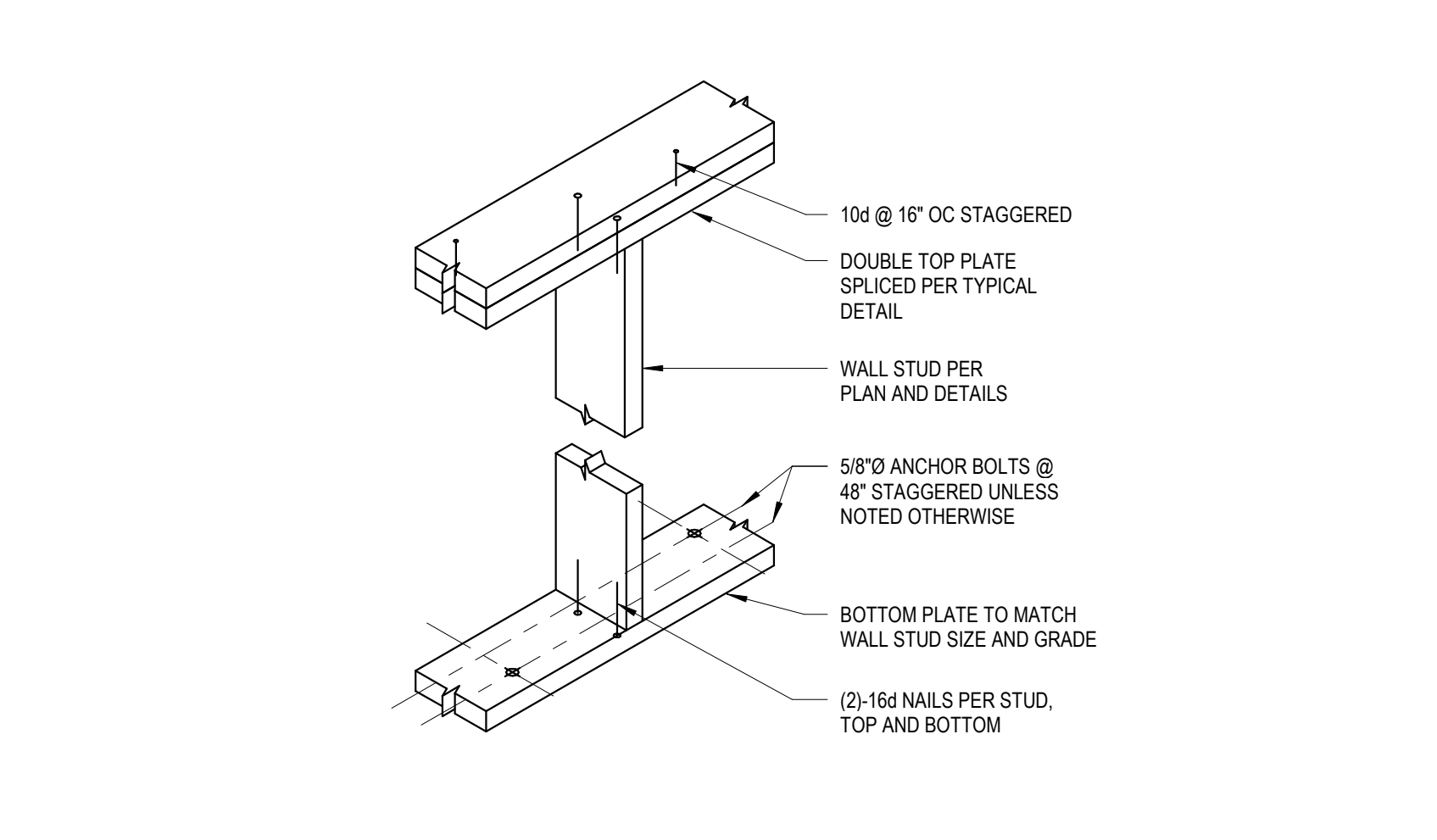
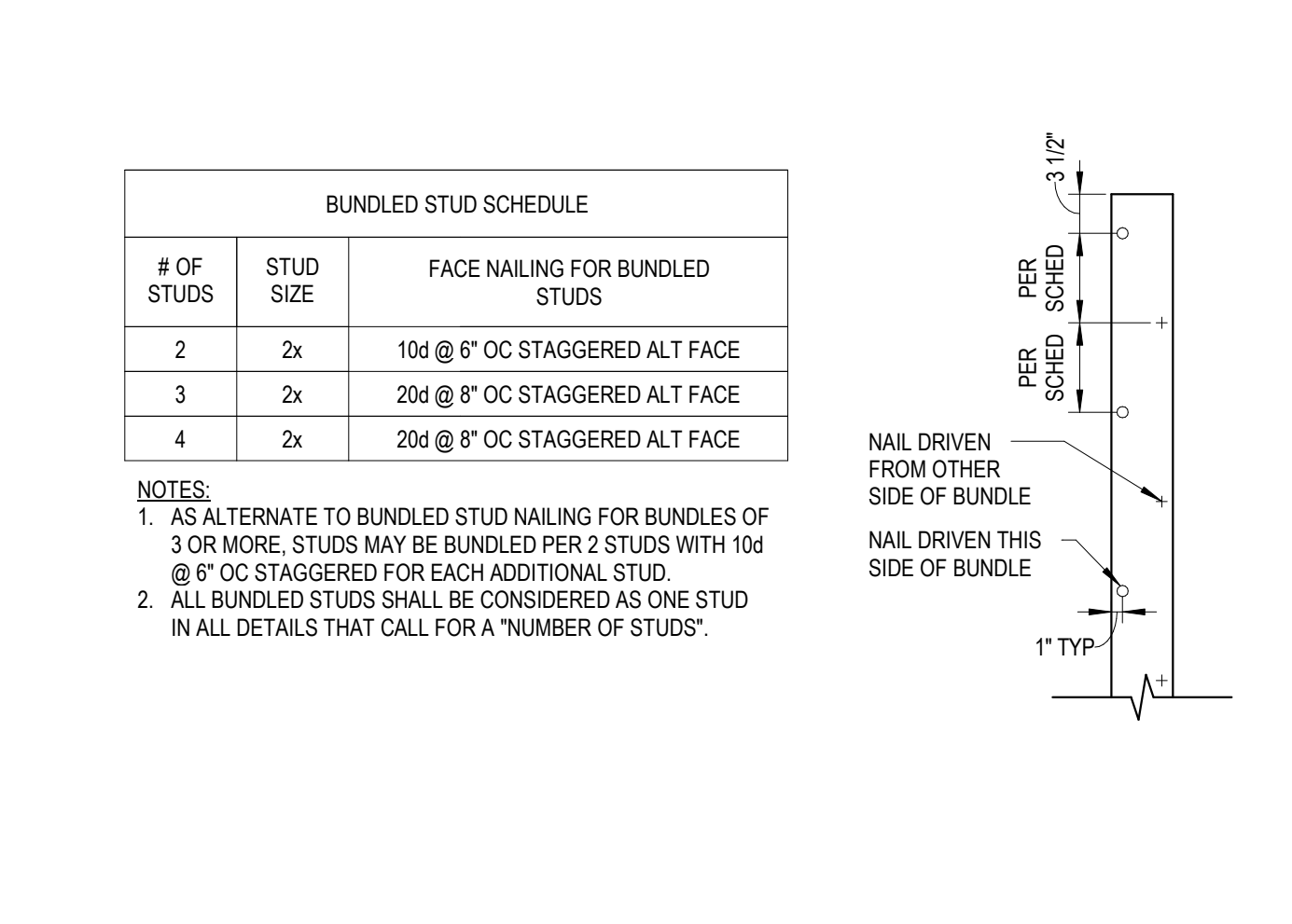
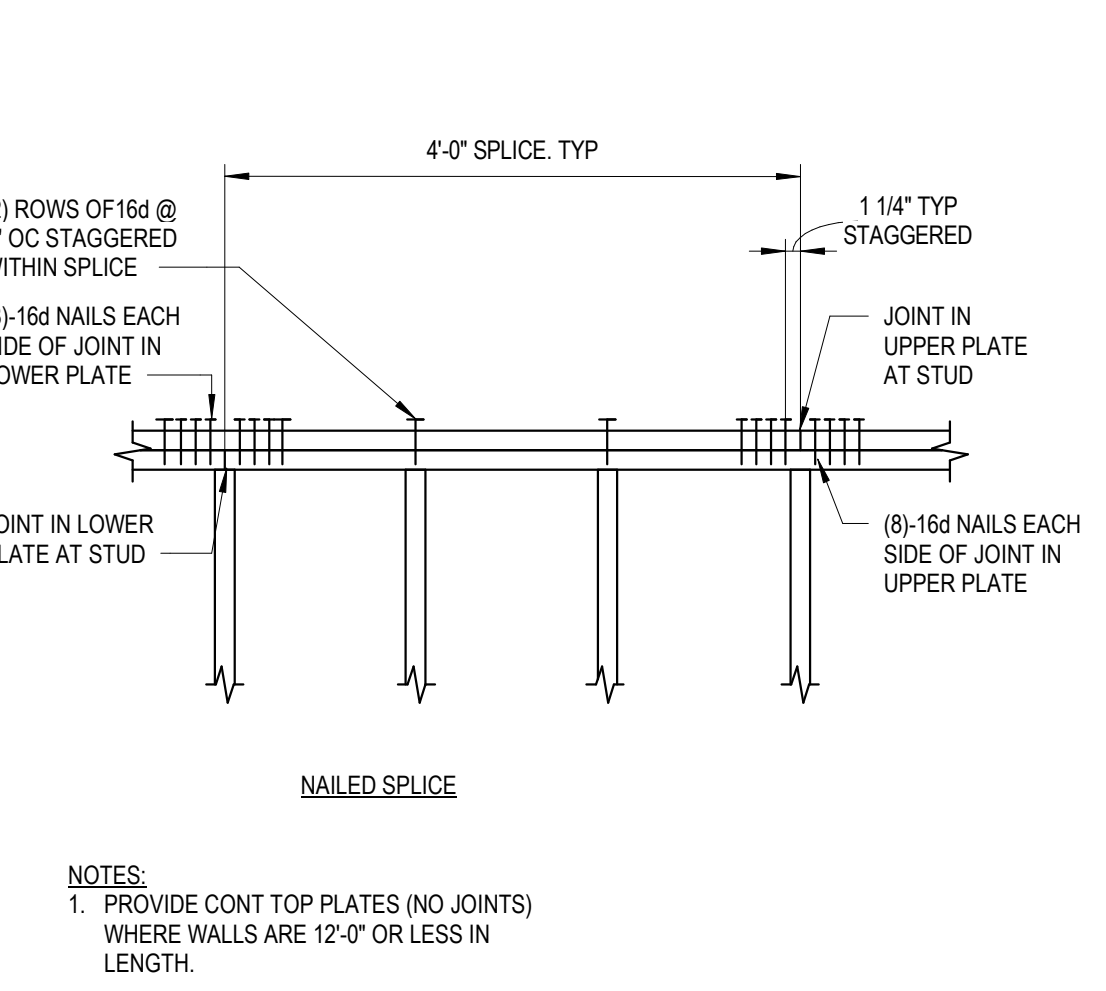
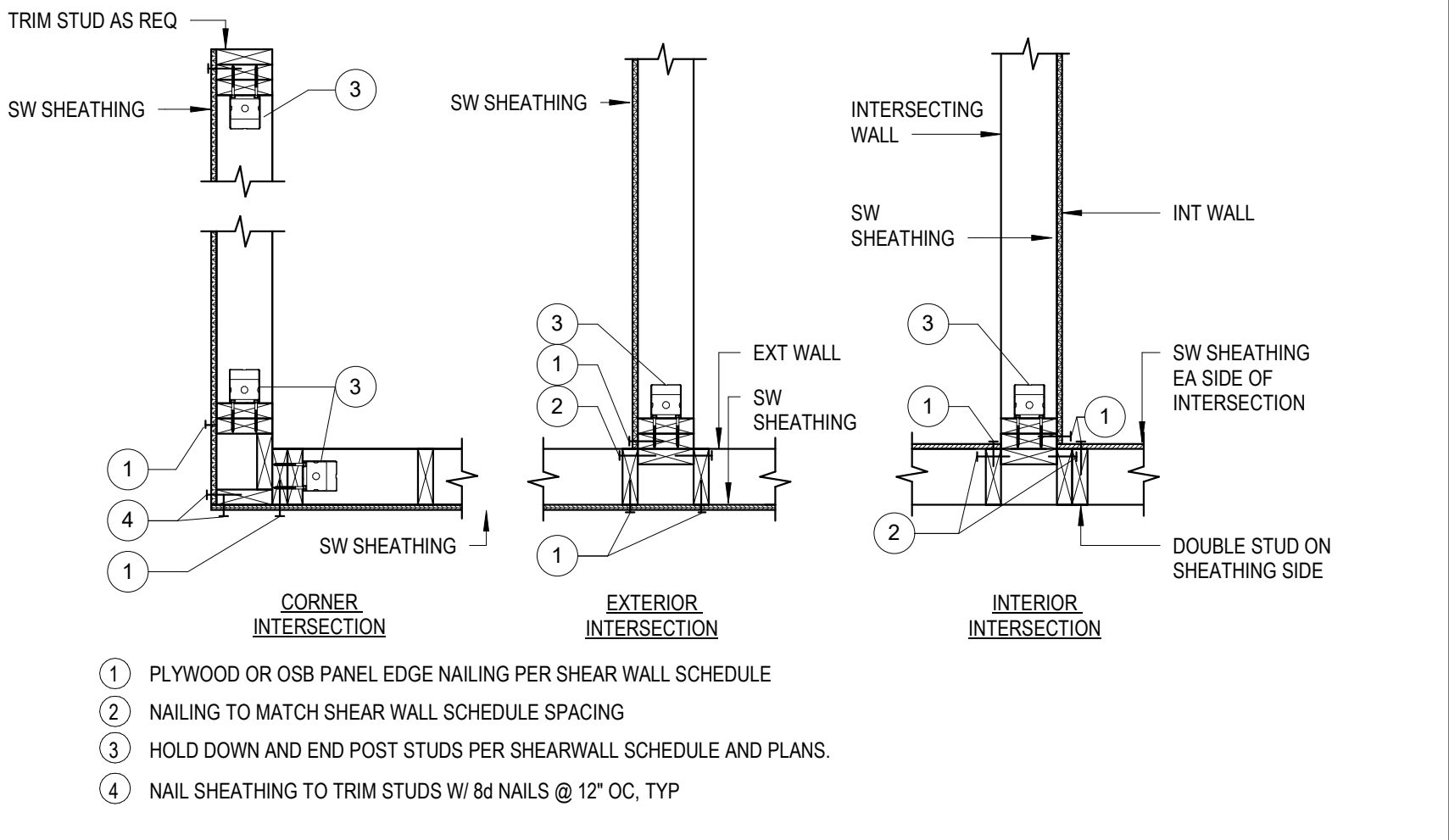
C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



Q21 TYPICAL STRUCTURAL WOOD STUD WALL ELEVATION
3/4" = 1'-0"

Q11 WOOD WALL STUD SCHEDULE
3/4" = 1'-0"

Q06 TYPICAL EXTERIOR & BEARING WALL STRAPPING
3/4" = 1'-0"

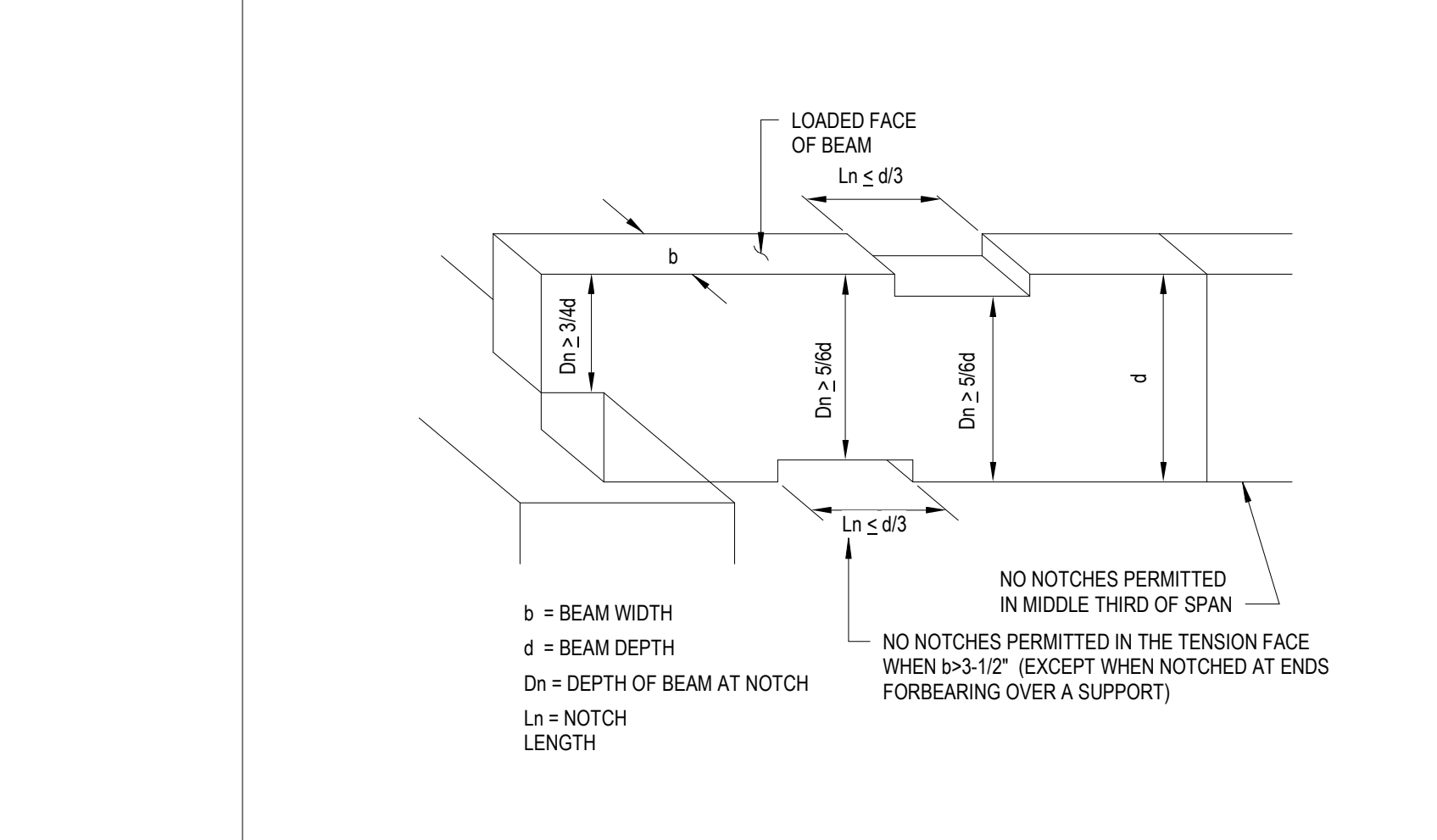
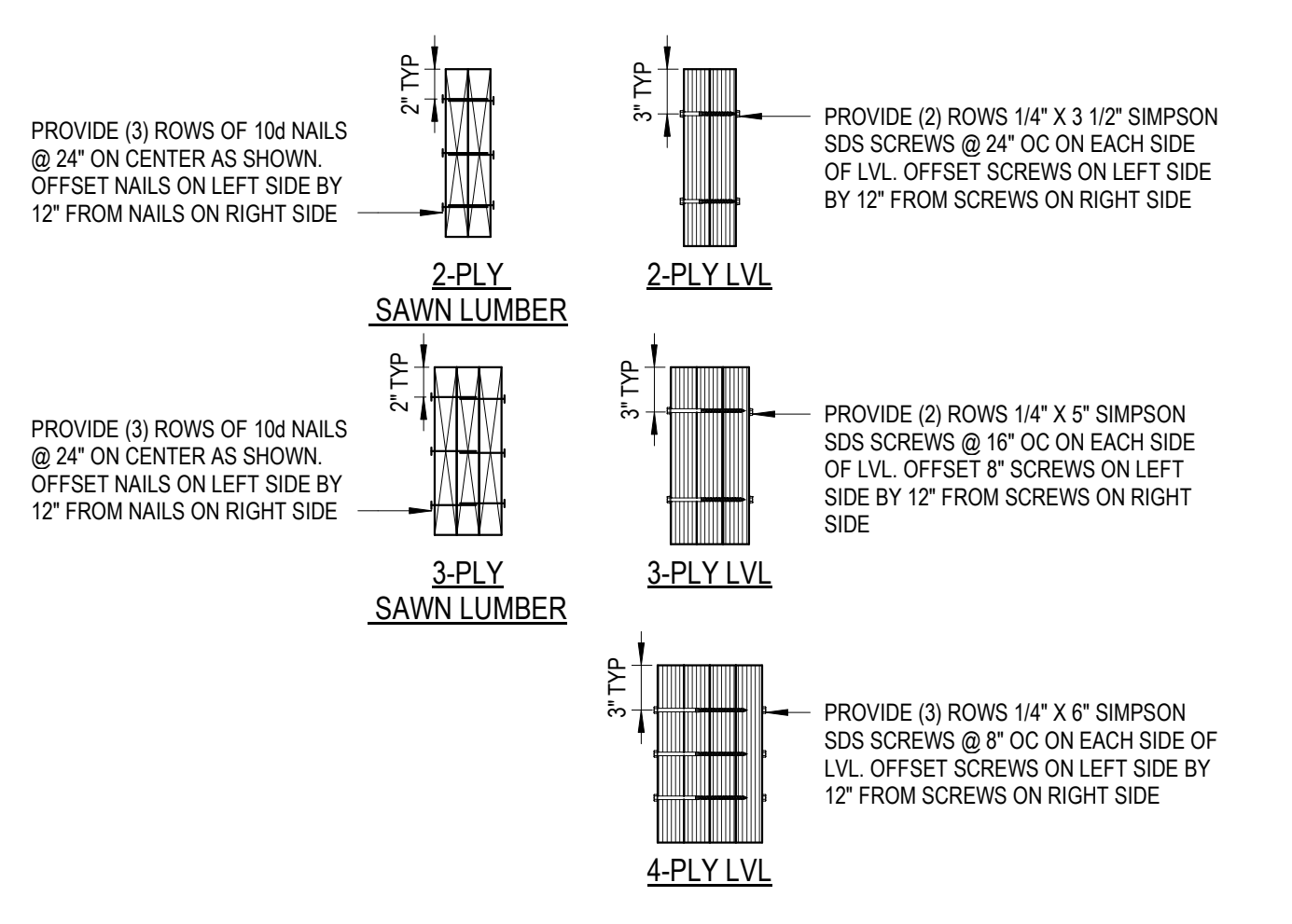
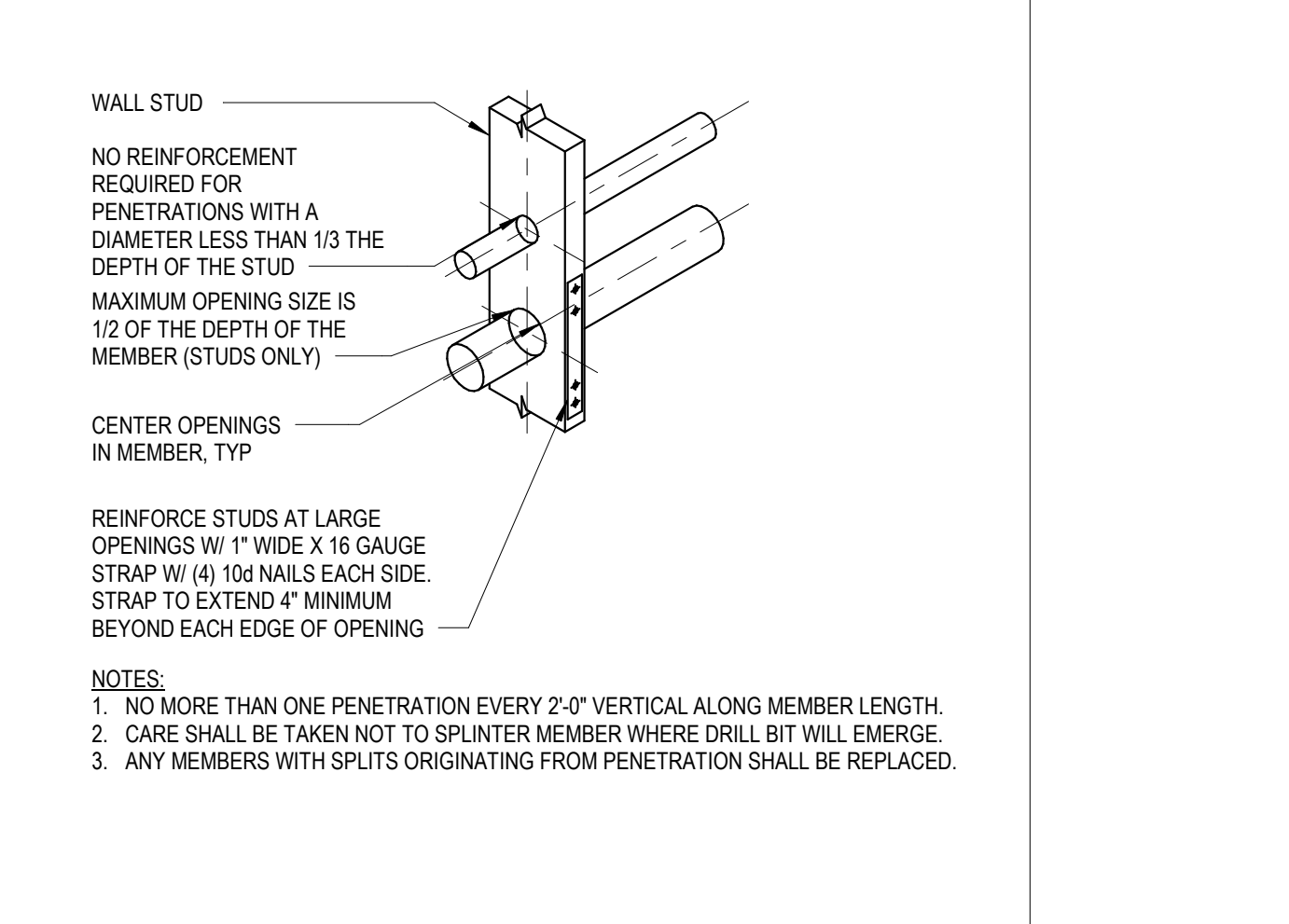
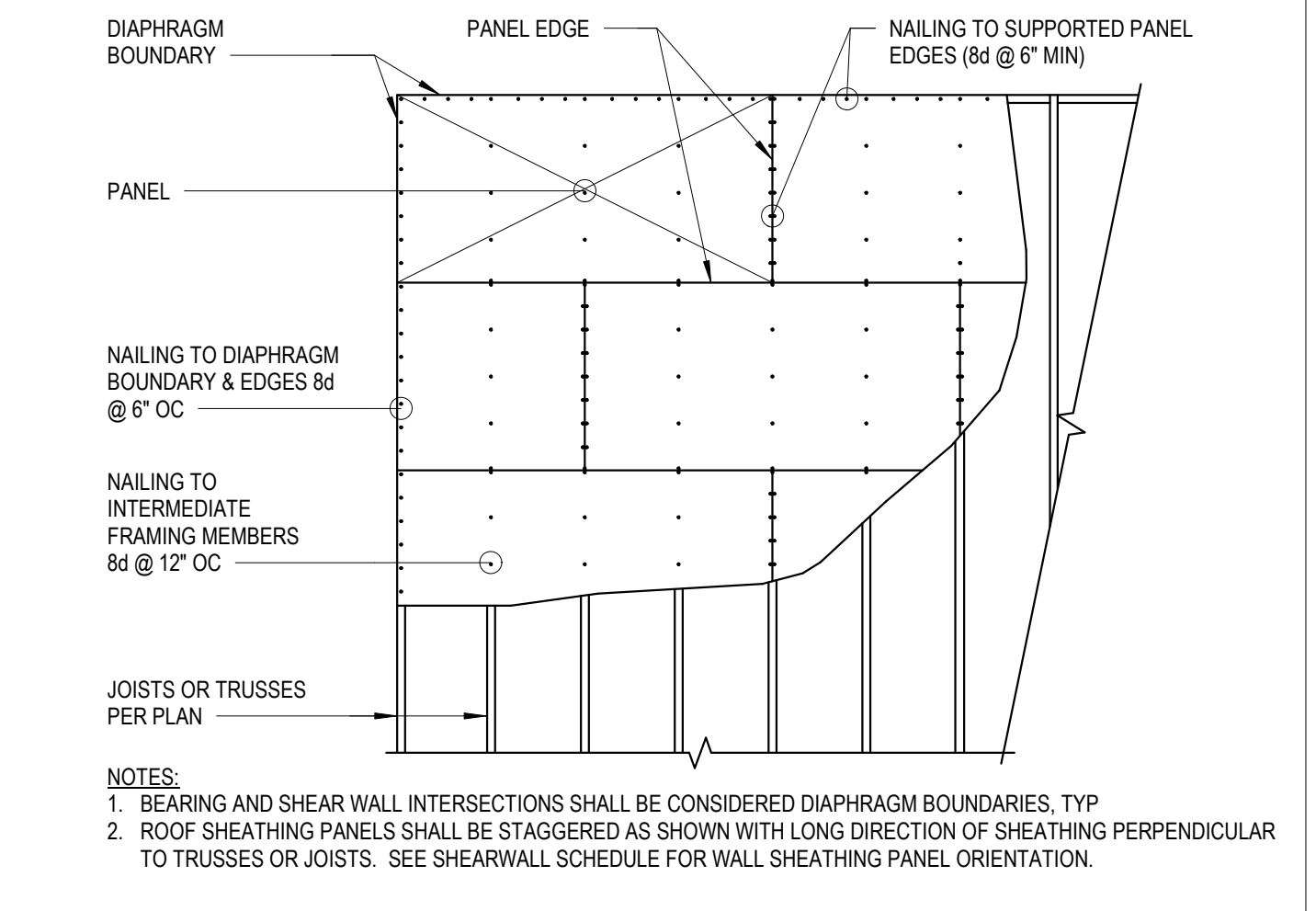


K21 TYPICAL WALL INTERSECTION
3/4" = 1'-0"

K15 TYPICAL TOP PLATE SPLICE
3/4" = 1'-0"

K11 BUNDLED STUD SCHEDULE
3/4" = 1'-0"

K06 TYP WOOD WALL STUD ANCHORAGE
1" = 1'-0"

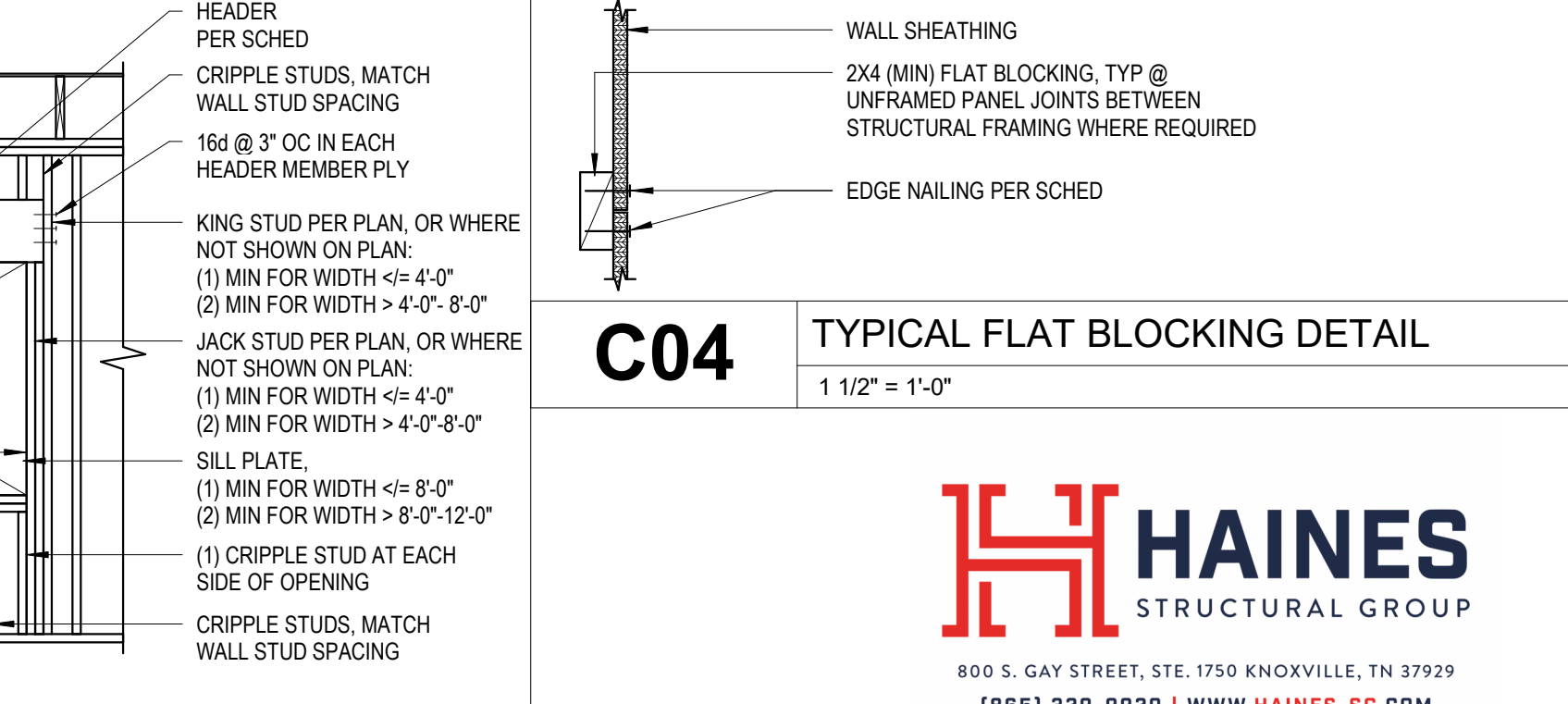
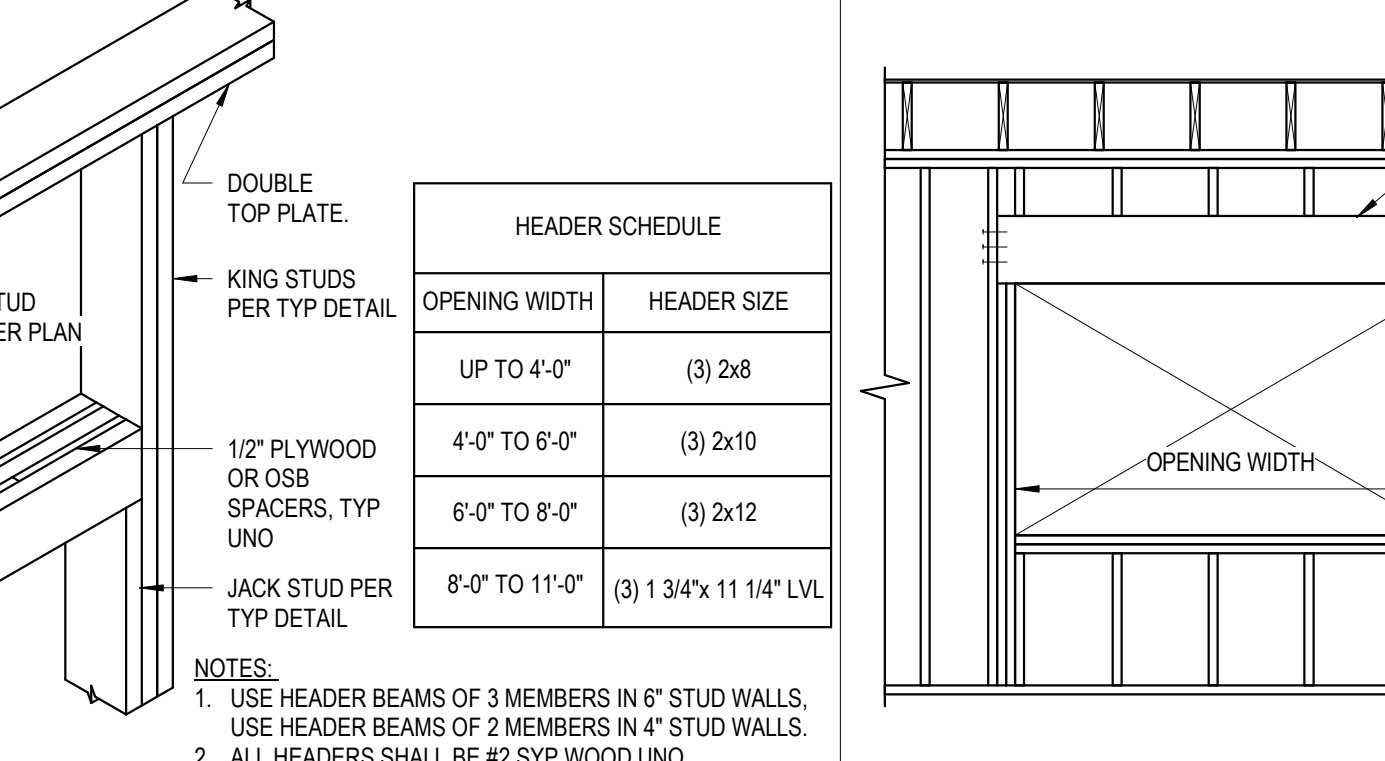
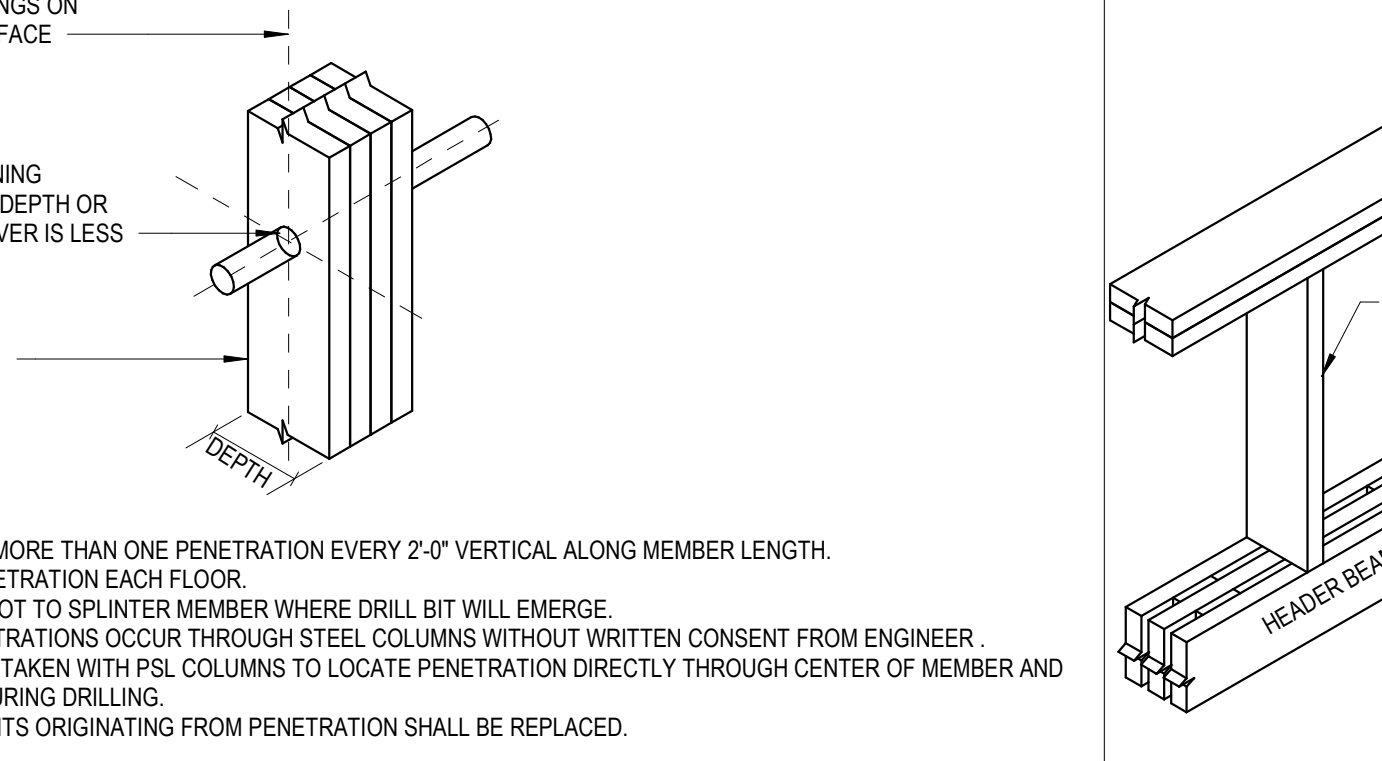
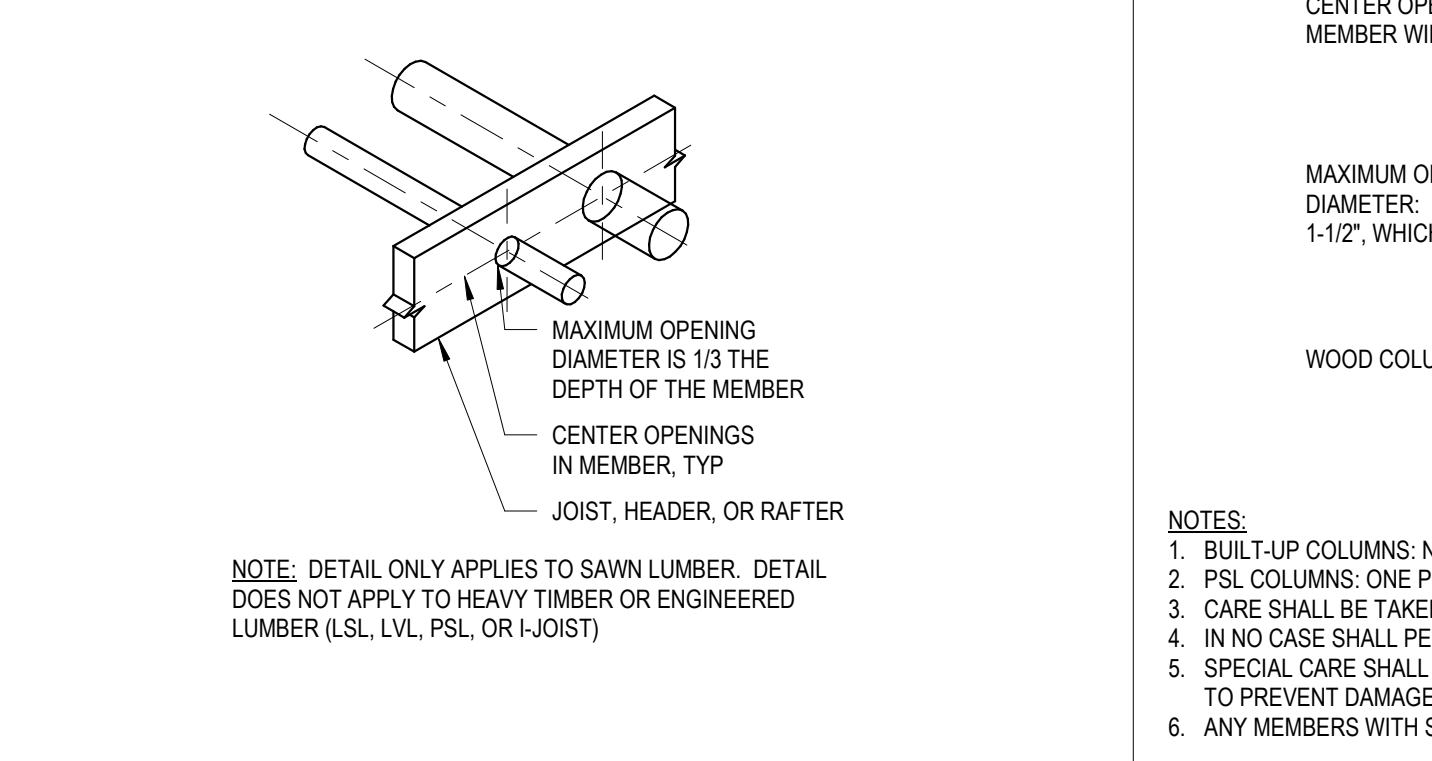


E21 TYPICAL ROOF SHEATHING LAYOUT
3/4" = 1'-0"

E16 TYP WALL STUD PENETRATION DETAILS
1" = 1'-0"

E12 TYP BUILT-UP WOOD BEAM CONNECTIONS
1" = 1'-0"

E05 TYP NOTCH LIMITATIONS FOR SAWN LUMBER
3/4" = 1'-0"



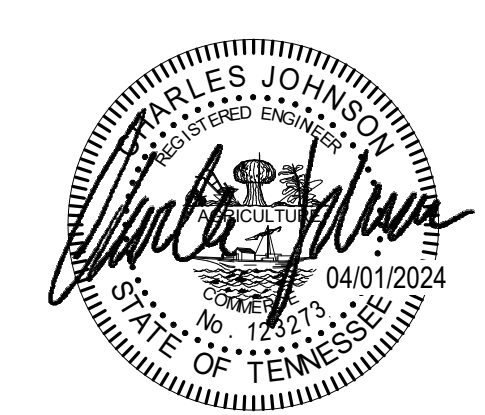
A21 TYPICAL WOOD JOIST PENETRATION
1" = 1'-0"

A17 TYPICAL WOOD COLUMN PENETRATION DETAIL
1" = 1'-0"

A12 TYPICAL HEADER SCHEDULE
3/4" = 1'-0"

A08 TYPICAL HEADER DETAIL
3/8" = 1'-0"

DIA
Design Innovation
ARCHITECTS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
TYPICAL WOOD DETAILS

S006
PROJECT DATE: 04/01/2024
PROJECT NUMBER: 23071

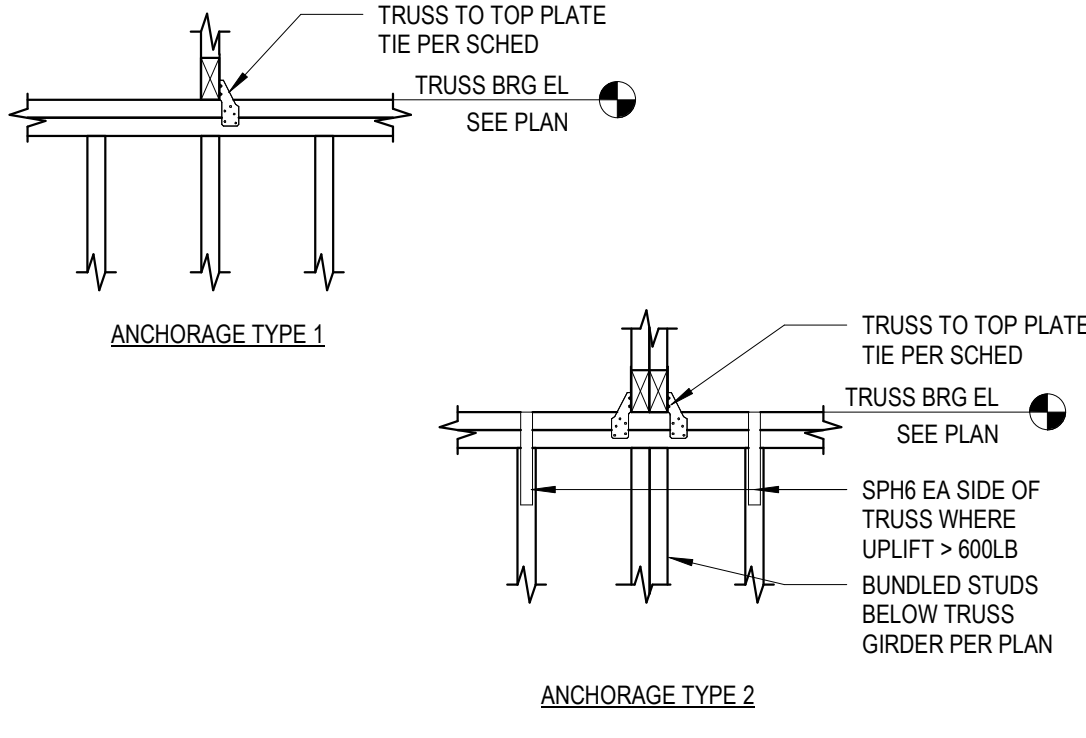
HAINES
STRUCTURAL GROUP
800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
(865) 328-9920 | WWW.HAINES-SB.COM
project no. 23098

CONNECTION	NAIL	LOCATION
JOIST TO SILL OR GIRDER	(3) - 8d COMMON	TOE NAIL
BRIDGING TO JOIST	(2) - 8d COMMON	TOE NAIL EACH END
1" X 6" SUBFLOOR OR LESS TO EACH JOIST	(2) - 8d COMMON	FACE NAIL
WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST	(3) - 8d COMMON	FACE NAIL
2" SUBFLOOR TO JOIST OR GIRDER	(2) - 16d COMMON	BLIND & FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING	16d COMMON @ 16" OC	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING @ BRACED WALL PANEL	(3) - 16d COMMON @ 16" OC	BRACED WALL PANELS
TOP PLATE TO STUD	(2) - 16d COMMON	END NAIL
STUD TO SOLE PLATE	(4) - 8d COMMON	TOE NAIL
STUD TO SOLE PLATE	(2) - 16d COMMON	END NAIL
DOUBLED STUDS	16d (3 1/2" x 0.135") @ 24" OC	FACE NAIL
DOUBLED TOP PLATE	16d (3 1/2" x 0.135") @ 16" OC	TYPICAL FACE NAIL
DOUBLED TOP PLATE	(8) - 16d COMMON	LAP SPLICE
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) - 8d COMMON	TOE NAIL
RIM JOIST TO TOP PLATE	8d (2 1/2" x 0.131") @ 6" OC	TOE NAIL
TOP PLATES, LAPS AND INTERSECTIONS	(2) - 16d COMMON	FACE NAIL
CONTINUOUS HEADER, TWO PIECES	16d COMMON @ 16" OC	ALONG EDGE
CEILING JOISTS TO PLATE	(3) - 8d COMMON	TOE NAIL
CONTINUOUS HEADER TO STUD	(4) - 8d COMMON	TOE NAIL
CEILING JOISTS, LAPS OVER PARTITIONS	(3) - 16d COMMON	FACE NAIL (SEE TABLE 2304.10.1)
CEILING JOISTS TO PARALLEL RAFTERS	(3) - 16d COMMON	FACE NAIL (SEE TABLE 2304.10.1)
RAFTER TO PLATE	(3) - 8d COMMON	TOE NAIL
1" DIAGONAL BRACE TO EACH STUD AND PLATE	(2) - 8d COMMON	FACE NAIL
1" X 8" SHEATHING TO EACH BEARING	(3) - 8d COMMON	FACE NAIL
WIDER THAN 1" X 8" SHEATHING TO EACH BEARING	(3) - 8d COMMON	FACE NAIL
BUILT-UP CORNER STUDS	16d COMMON @ 24" OC	FACE NAIL
BUILT-UP GIRDER AND BEAMS	20d COMMON @ 32" OC	FACE NAIL AT TOP AND BOT STAGGERED ON OPPOSITE SIDES
	(2) - 20d COMMON	FACE NAIL AT ENDS AND AT EACH SPLICE
2" PLANKS	16d COMMON	AT EACH BEARING
COLLAR TIE TO RAFTER	(3) - 10d COMMON	FACE NAIL
JACK RAFTER TO HIP	(3) - 10d COMMON	TOE NAIL
	(2) - 16d COMMON	FACE NAIL
ROOF RAFTER TO 2-BY RIDGE BEAM	(2) - 16d COMMON	FACE OR TOE NAIL
JOIST TO BAND JOIST	(3) - 16d COMMON	FACE NAIL

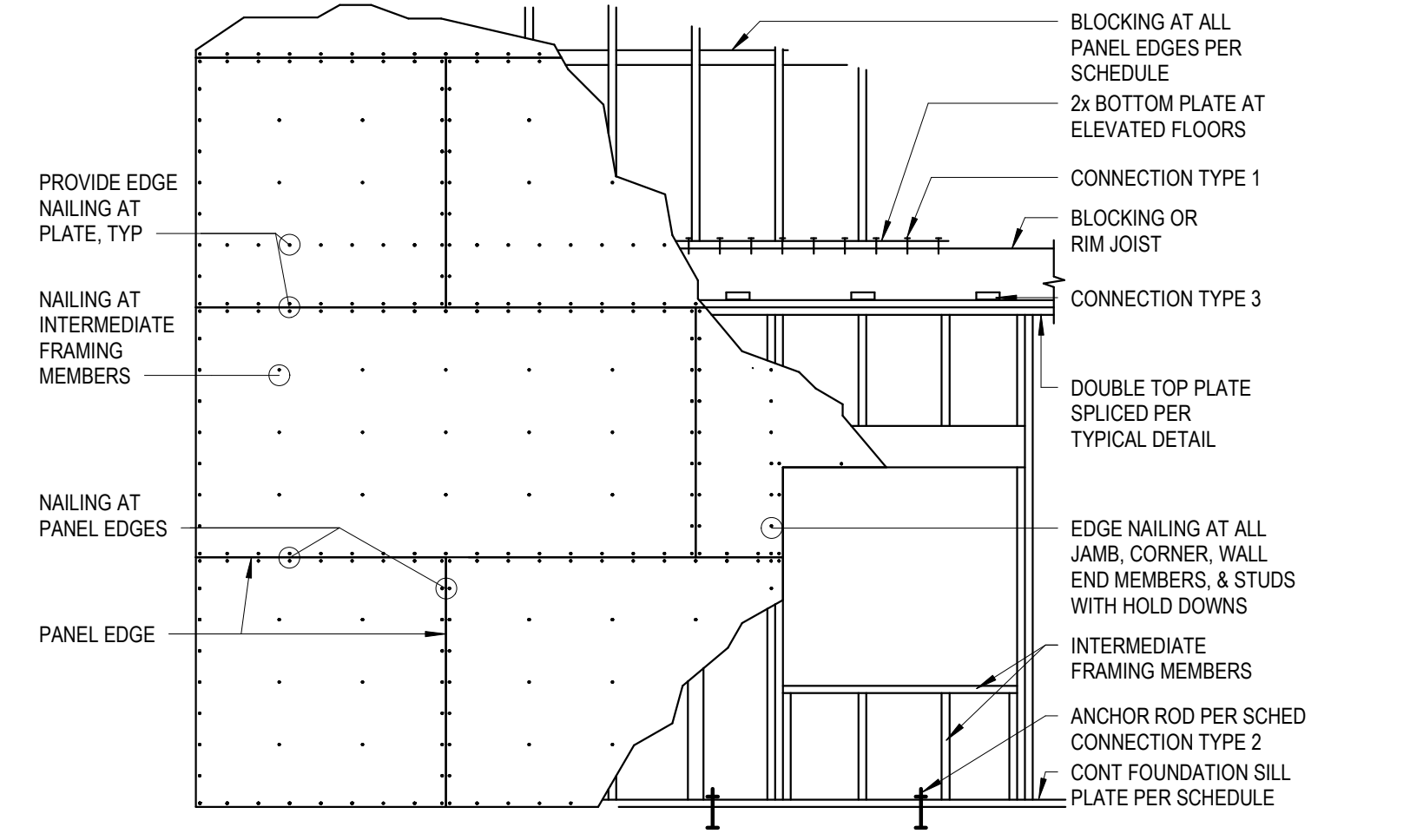
NOTES:
 1. USE NAILING SHOWN UNLESS NOTED OTHERWISE ELSEWHERE IN THESE DRAWINGS.
 2. WHERE NAILING SHOWN DIFFERS FROM OTHER NAILING REQUIREMENTS IN THESE DRAWINGS OR NAILING REQUIREMENTS IN THE BUILDING CODE, USE MORE STRINGENT REQUIREMENT.

UPLIFT	MIN BUNDLED STUDS BELOW BEARING	MIN # OF TRUSS PLYS	TRUSS TO TOP PLATE TIE	TRUSS ANCHORAGE TYPE	TIE TO STUDS BELOW	FLR-FLR TIE	# FLOORS REQUIRED (NOTE 8)	TIE TO FOUNDATION	FASTENERS TO TRUSS	FASTENERS TO WALL TOP PLATES	FASTENERS TO STUDS BELOW	FOUNDATION ANCHOR (NOTE 7)
<600#	NOT REQUIRED	1	H2.5A	1	NOT REQUIRED	NOT REQUIRED	0	NOT REQUIRED	(5) - 8d	(5) - 8d	NOT REQUIRED	NOT REQUIRED
<1200#	NOT REQUIRED	1	(2)-H2.5A (NOTE 2)	2	SPH6 EACH SIDE OF BRG	NOT REQUIRED	0	NOT REQUIRED	(10) - 8d	(10) - 8d	NOT REQUIRED	NOT REQUIRED

NOTES:
 1. PROVIDE APPLICABLE HGT FASTENER ACCORDING TO NUMBER OF TRUSS PLYS AND STAGGER HDU-S HOLD DOWNS TO AVOID SCREW INTERFERENCE ON EACH SIDE OF BUNDLED STUD POST.
 2. WHERE TWO FASTENERS ARE CALLED FOR, INSTALL ONE ON EACH SIDE OF WALL TOP PLATES.
 3. BOLTS CONNECT TIE ABOVE PLATES TO TIE BELOW PLATES. USE SPECIFIED BOLT TO CONNECT FLR-FLR TIES.
 4. ALL CONNECTORS LISTED ARE SIMPSON STRONG-TIE. STRUCTURAL CONNECTORS WITH EQUIVALENT OR GREATER LOAD CAPACITIES MAY BE USED AT CONTRACTORS OPTION. ALTERNATE CONNECTORS MUST BE SUBMITTED TO EOR FOR APPROVAL.
 5. SCREW & NAIL SIZE AND NUMBER SHALL BE IN ACCORDANCE WITH MANUFACTURER'S CATALOG.
 6. ROOF TRUSS CLIPS SHALL BE SELECTED TO PROVIDE THE UPLIFT RESISTANCE SHOWN ON THE ROOF TRUSS SHOP DRAWINGS AND CALCULATIONS.
 7. ANCHORS TO FOUNDATION TO BE HILTI HY200 ADHESIVE ANCHORS WITH HILTI HAS-E RODS. WHERE DISTANCE FROM BOLT CENTERLINE TO EDGE OF CONCRETE IS LESS THAN 3 1/8" EMBEDMENT SHALL BE INTO THE FOOTING BELOW. AT LOCATIONS WITH AN ANCHOR ON EACH SIDE OF THE BUNDLED STUDS, THE EMBEDMENT SHALL BE INTO THE FOOTING BELOW.
 8. FLR-FLR STRAPS SHALL BE UTILIZED ACROSS THE NUMBER OF FLOORS INDICATED. WHERE THE NUMBER OF FLOORS INDICATED EXCEEDS THE HEIGHT OF THE BUILDING, ANCHOR TO THE FOUNDATION PER THE SCHEDULE. WHERE THE BUILDING HEIGHT EXCEEDS THE NUMBER OF FLOORS INDICATED, THE FLR-FLR STRAPS MAY TO TERMINATED AFTER THE NUMBER OF FLOORS INDICATED IS SURPASSED, AND THE FOUNDATION ANCHOR MAY BE ELIMINATED.



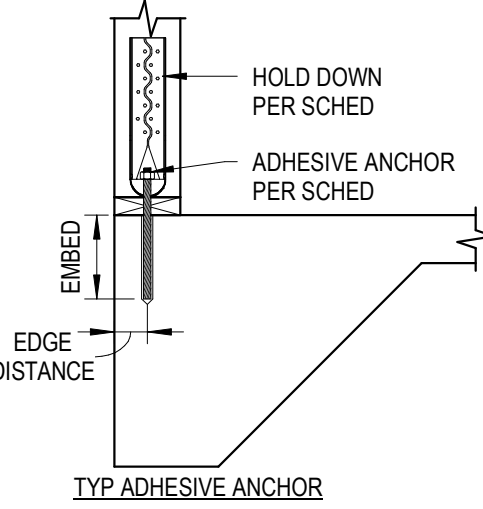
Q16 ROOF TRUSS FASTENER SCHEDULE
 3/4" = 1'-0"



K16 SHEAR WALL SCHEDULE - SPRUCE-PINE-FIR
 3/4" = 1'-0"

HOLD DOWN MARK	WOOD POST AND CONNECTION	HOLD DOWN CAPACITY	ANCHOR SIZE	ADHESIVE ANCHOR TO FND
A	HDU2-SDS2.5	(2) 2x	6-SDS 1/4x2.5	2.215

NOTES:
 1. INSTALL HOLD DOWNS PER MANUFACTURER'S SPECIFICATIONS AND ICC REPORTS. INFORMATION TAKEN FROM THE SIMPSON C-2021 CATALOG.
 2. THE CONTRACTOR SHALL MATCH THE WIDTH OF THE STUD WALLS SHOWN ON THE ARCH DRAWINGS. MULTIPLE STUDS SHALL BE NAILED TOGETHER PER TYPICAL BUNDLED STUD SCHEDULE.
 3. SEE SHEAR WALL SCHEDULE DETAIL FOR SHEATHING EDGE NAILING REQUIREMENTS AT HOLD DOWN POSTS.
 4. THIS SCHEDULE ASSUMES 3,000 PSI CONCRETE OR BETTER.
 5. HOLD DOWN WOOD POSTS ABOVE ARE MINIMUM. SEE PLAN FOR ADDITIONAL POSTS.
 6. END POSTS ARE TO BE FULL HEIGHT AND MAY REPLACE IN ADDITION TO KING STUDS REQUIRED PER TYPICAL DETAILS.

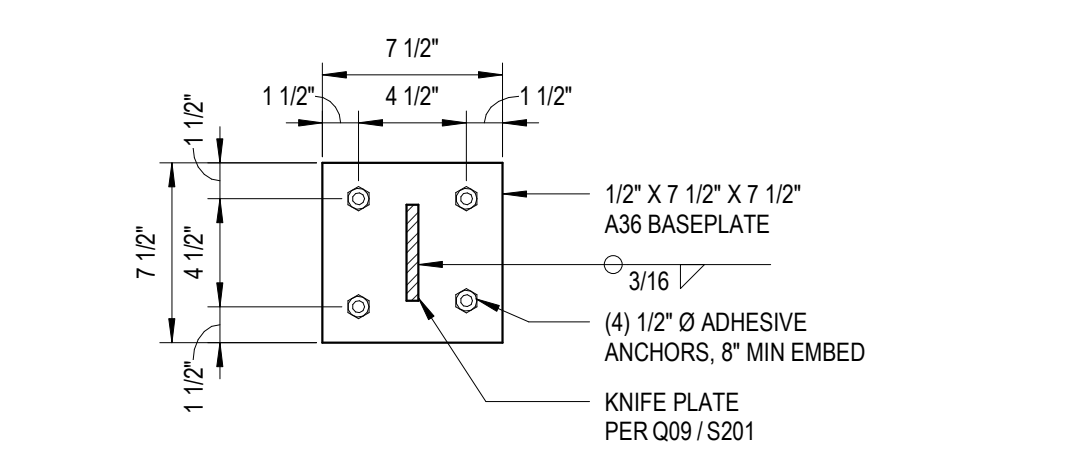
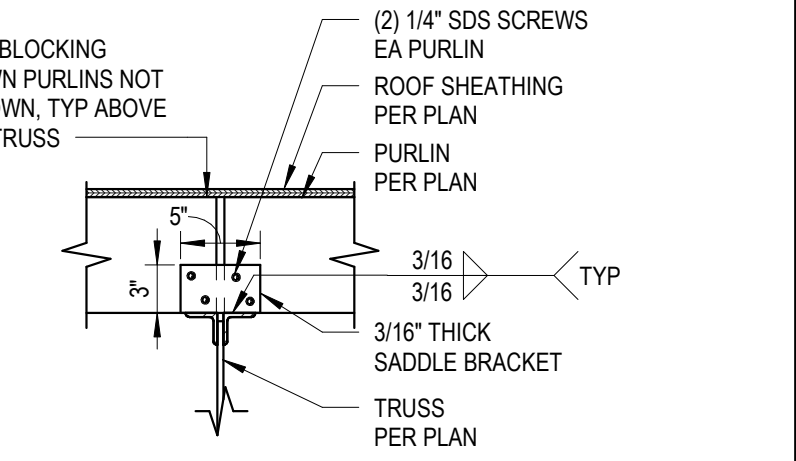


Q07 HOLD DOWN SCHEDULE
 3/4" = 1'-0"

SHEAR WALL TYPE	FRAMING REQUIREMENTS		NAILING REQUIREMENTS		WALL BOTTOM PLATE CONNECTION		CONN TO TOP PLATE		CAPACITY (PLF)
	SHEATHING (NOTES 1,2)	FDN SILL PLATE, WALL STUDS OCCURRING AT BUTTING PANEL EDGES, & BLOCKING (NOTES 4,5,6)	PANEL EDGES (NOTES 7,8)	INTERMEDIATE FRAMING MEMBERS	SILL TO WOOD FRAMING BELOW (CONNECTION TYPE 1)	SILL TO CONCRETE BELOW (CONNECTION TYPE 2) (NOTES 9)	WALL TOP PLATE TO FRAMING ABOVE (CONNECTION TYPE 3) (NOTE 10)		
SW6	7/16" SHEATHING 1 SIDE	2x	8d @ 6" OC	8d @ 12" OC	16d @ 8" OC	5/8" Ø x 7" EMBED AB @ 48" OC	CLIPS @ 24" OC	239	

NOTES:
 1. SHEATHING TO BE APPLIED WITH THE LONG PANEL DIMENSION PERPENDICULAR TO WALL STUDS.
 2. USE 15/32" SHEATHING IF PANELS ARE INSTALLED WITH LONG DIMENSION PARALLEL TO WALL STUDS.
 3. PANEL JOINTS ON OPPOSITE SIDES OF THE WALL SHALL NOT OCCUR AT THE SAME FRAMING MEMBER.
 4. IN LIEU OF 3x MEMBERS, DOUBLE 2x MEMBERS MAY BE USED WHEN NAILED TOGETHER PER WALL BOTTOM PLATE TO WOOD FRAMING BELOW.
 5. WALL STUDS NOT OCCURRING AT BUTTING PANEL EDGES MAY BE 2x.
 6. WALL BOTTOM PLATES OCCURRING ABOVE WOOD FRAMING MAY BE 2x.
 7. STAGGER NAILS AT BUTTING PANEL EDGES.
 8. INSTALL BLOCKING AT PANEL EDGES NOT OCCURRING AT STUDS OR PLATES.
 9. ANCHOR BOLTS SHALL BE CAST-IN-PLACE, ADHESIVE, OR SCREW-ANCHOR TYPE CONNECTORS AND EMBEDMENT SHALL BE MEASURED TO THE TOP SIDE OF THE EMBEDDED NUT. LOCATE ANCHOR BOLTS WITHIN 8" OF ENDS OF WALLS.
 10. FRAMING CLIPS SHALL BE SIMPSON A35, SIMPSON LTP5, OR APPROVED EQUAL.
 11. DO NOT OVER DRIVE NAILS. REFER TO GENERAL NOTES.

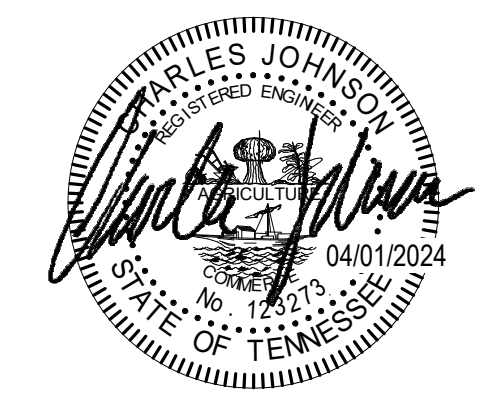
K21 TYPICAL NAILING SCHEDULE
 3/4" = 1'-0"



G21 TYP PURLIN SPLICE DETAIL
 1" = 1'-0"

G18 TYP TIMBER POST BASEPLATE
 1 1/2" = 1'-0"

DIA Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

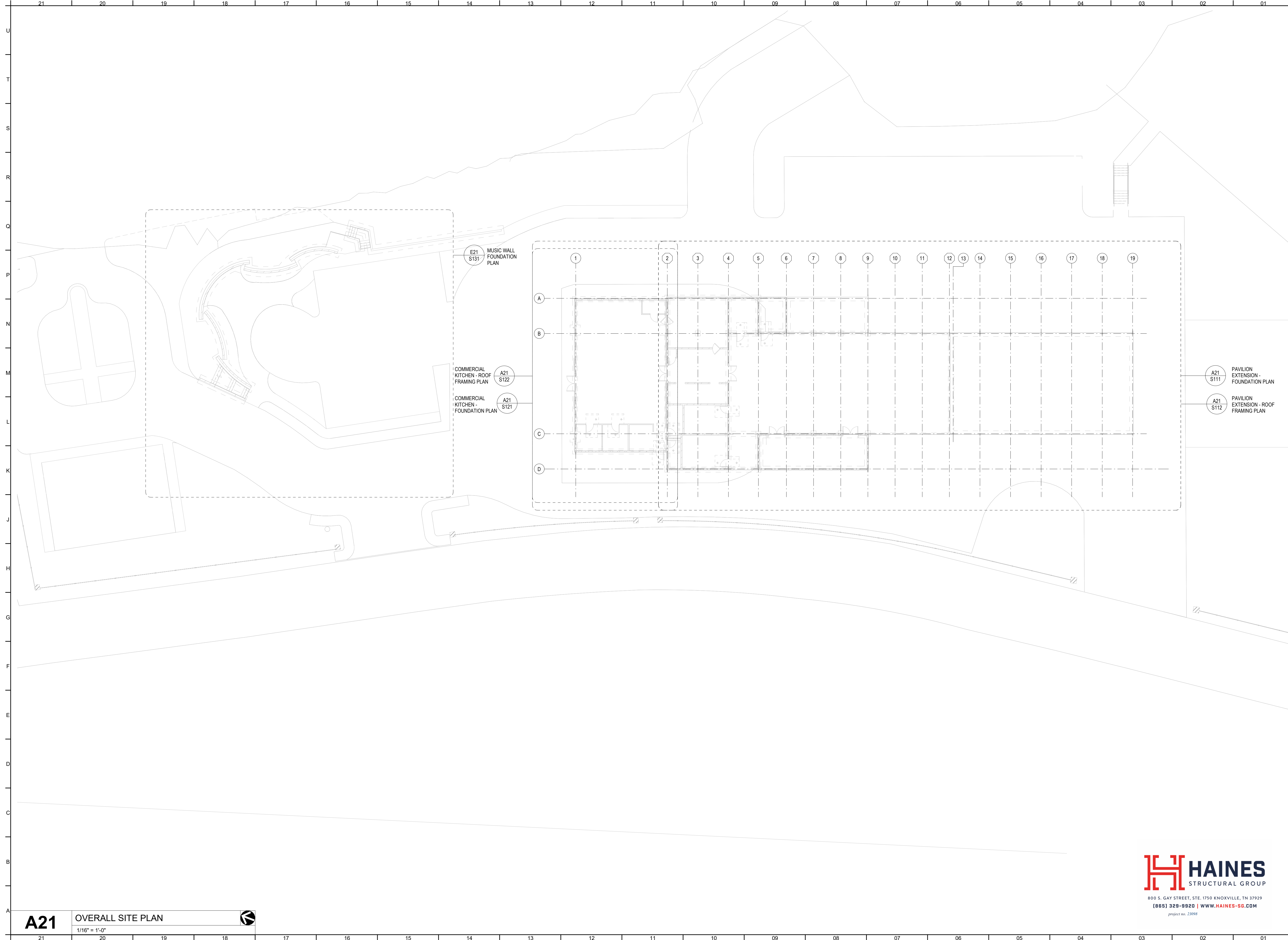
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 TYPICAL WOOD DETAILS

S007
 PROJECT DATE: 04/01/2024
 PROJECT NUMBER: 23071



4/1/2024 2:55:49 PM



E21
S131
MUSIC WALL
FOUNDATION PLAN

A21
S122
COMMERCIAL
KITCHEN - ROOF
FRAMING PLAN

A21
S121
COMMERCIAL
KITCHEN -
FOUNDATION PLAN

A21
S111
PAVILION
EXTENSION -
FOUNDATION PLAN

A21
S112
PAVILION
EXTENSION - ROOF
FRAMING PLAN

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
OVERALL SITE PLAN

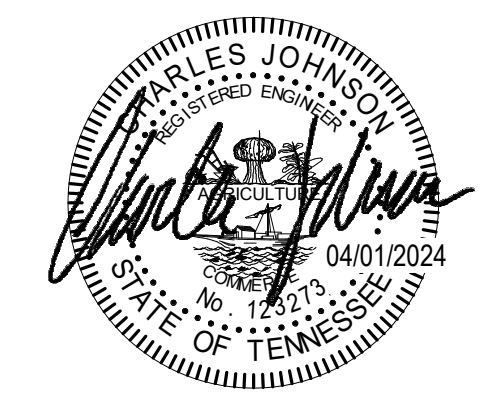
S100
PROJECT DATE: 04/01/2024
PROJECT NUMBER: 23071

H HAINES
STRUCTURAL GROUP
800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
(865) 328-9920 | WWW.HAINES-SG.COM
project no. 23098

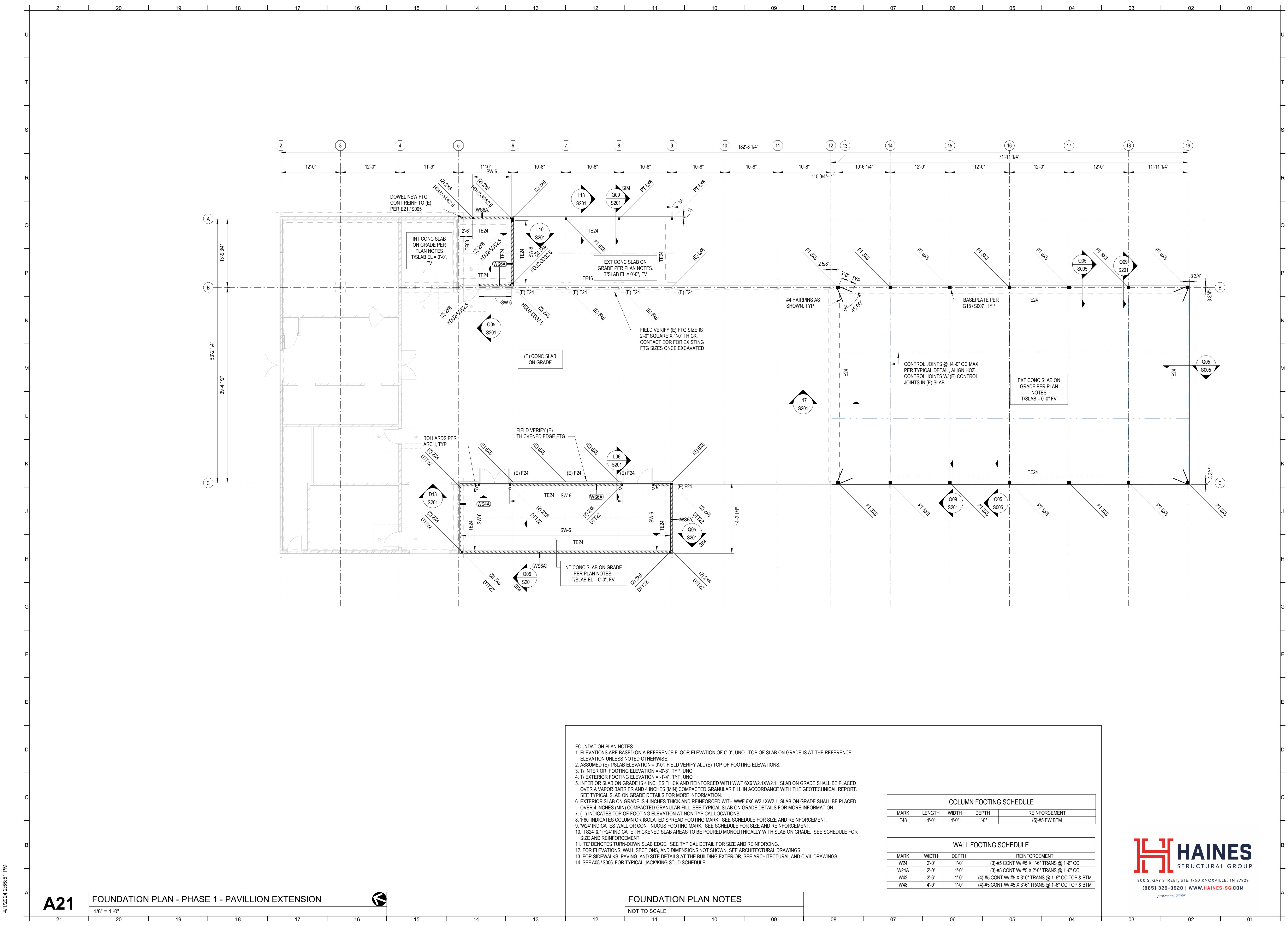
A21 OVERALL SITE PLAN
1/16" = 1'-0"

C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37607



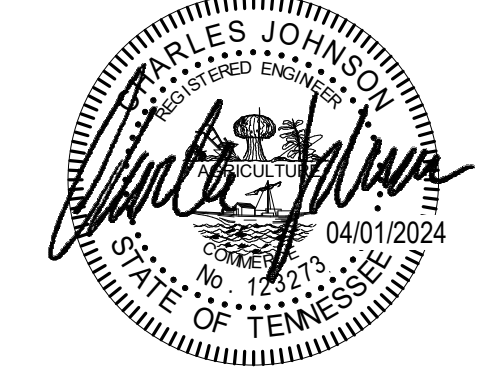
- FOUNDATION PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0\"/>

COLUMN FOOTING SCHEDULE				
MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
F48	4'-0"	4'-0"	1'-0"	(5)#5 EW BTM

WALL FOOTING SCHEDULE				
MARK	WIDTH	DEPTH	REINFORCEMENT	
W24	2'-0"	1'-0"	(3)#5 CONT W/ #5 X 1'-6\"/>	
W24A	2'-0"	1'-0"	(3)#5 CONT W/ #5 X 2'-6\"/>	
W42	3'-6"	1'-0"	(4)#5 CONT W/ #5 X 3'-0\"/>	
W48	4'-0"	1'-0"	(4)#5 CONT W/ #5 X 3'-6\"/>	

A21 FOUNDATION PLAN - PHASE 1 - PAVILLION EXTENSION
 1/8" = 1'-0"

FOUNDATION PLAN NOTES
 NOT TO SCALE



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

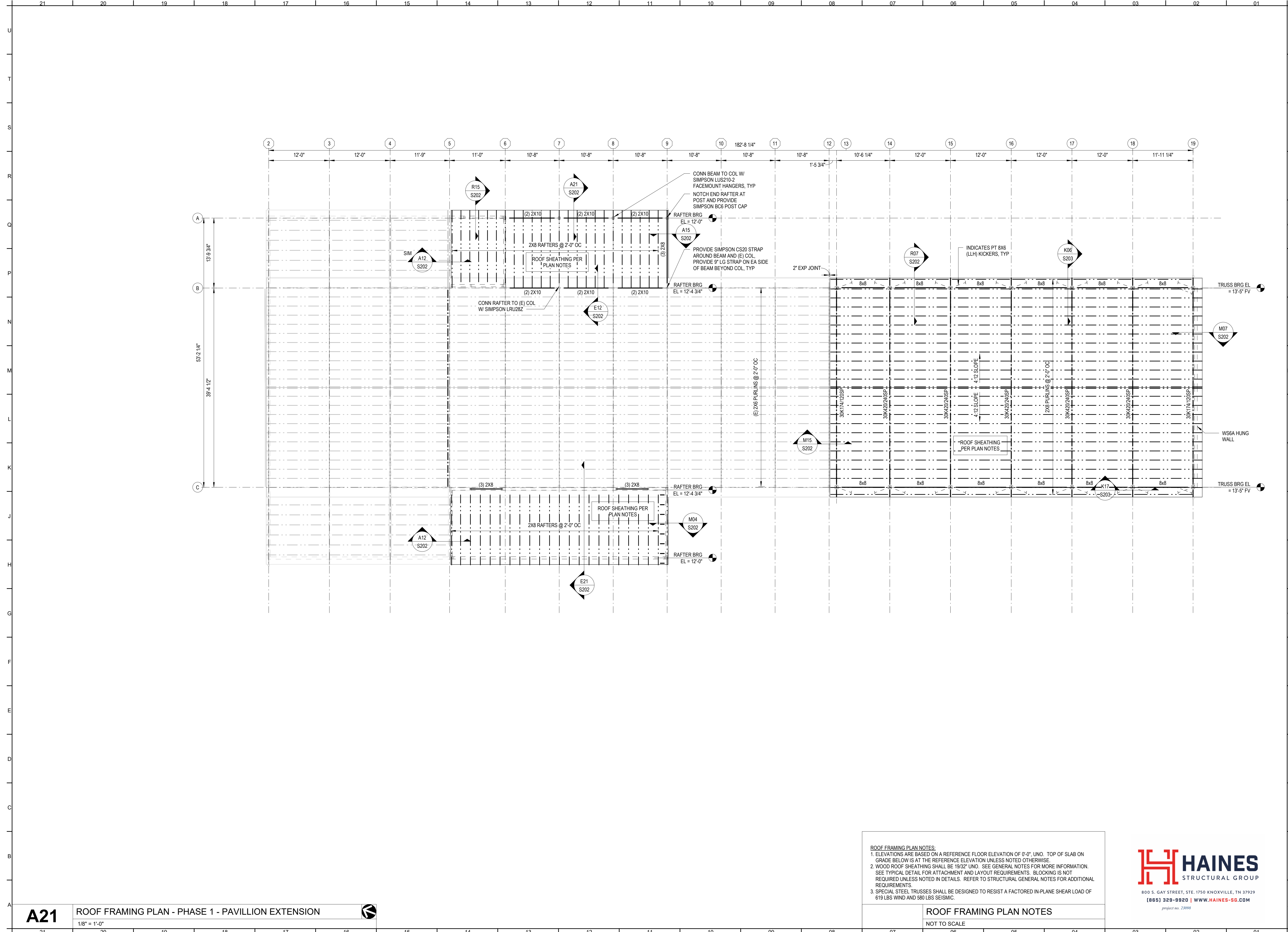
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
FOUNDATION PLAN - PAVILLION EXTENSION

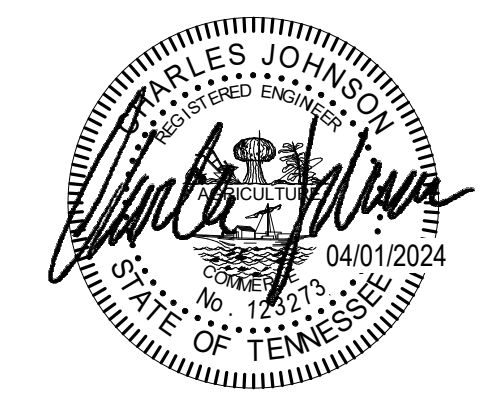
S111
 PROJECT DATE: 04/01/2024
 PROJECT NUMBER: 23071



C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



DIA
 Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
ROOF FRAMING PLAN - PAVILLION EXTENSION

S112
 PROJECT DATE: 04/01/2024
 PROJECT NUMBER: 23071

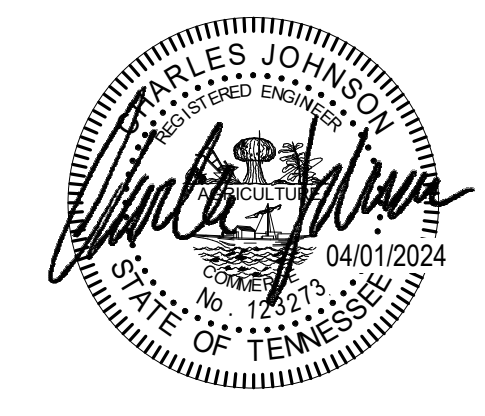
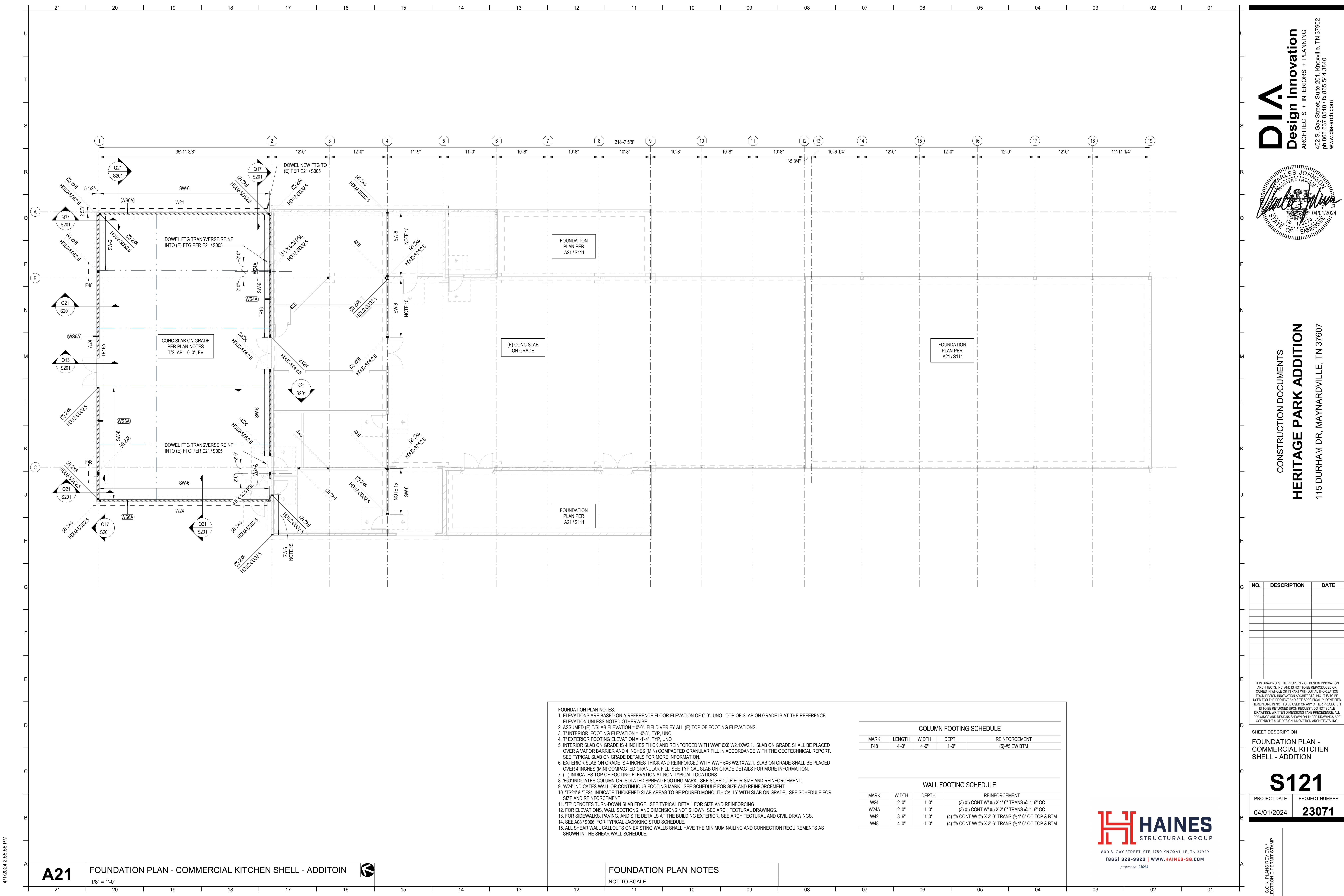
ROOF FRAMING PLAN NOTES
 1. ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 2. WOOD ROOF SHEATHING SHALL BE 19/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
 3. SPECIAL STEEL TRUSSES SHALL BE DESIGNED TO RESIST A FACTORED IN-PLANE SHEAR LOAD OF 619 LBS WIND AND 580 LBS SEISMIC.

ROOF FRAMING PLAN NOTES
 NOT TO SCALE

HAINES
 STRUCTURAL GROUP
 800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
 (865) 328-9920 | WWW.HAINES-SG.COM
 project no. 23098

A21 ROOF FRAMING PLAN - PHASE 1 - PAVILLION EXTENSION
 1/8" = 1'-0"

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 FOUNDATION PLAN -
 COMMERCIAL KITCHEN
 SHELL - ADDITION

S121
 PROJECT DATE: 04/01/2024
 PROJECT NUMBER: 23071



- FOUNDATION PLAN NOTES**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0", UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 - ASSUMED (E) T/SLAB ELEVATION = 0'-0". FIELD VERIFY ALL (E) TOP OF FOOTING ELEVATIONS.
 - T/ INTERIOR FOOTING ELEVATION = 0'-8", TYP. UNO
 - T/ EXTERIOR FOOTING ELEVATION = -1'-4", TYP. UNO
 - INTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
 - EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
 - () INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
 - F87 INDICATES COLUMN OR ISOLATED SPREAD FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - TS24 & TF24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
 - TE DENOTES TURN-DOWN SLAB EDGE. SEE TYPICAL DETAIL FOR SIZE AND REINFORCING.
 - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
 - FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.
 - SEE A08/S006 FOR TYPICAL JACKING STUD SCHEDULE.
 - ALL SHEAR WALL CALLOUTS ON EXISTING WALLS SHALL HAVE THE MINIMUM NAILING AND CONNECTION REQUIREMENTS AS SHOWN IN THE SHEAR WALL SCHEDULE.

COLUMN FOOTING SCHEDULE

MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
F48	4'-0"	4'-0"	1'-0"	(5)-#5 EW BTM

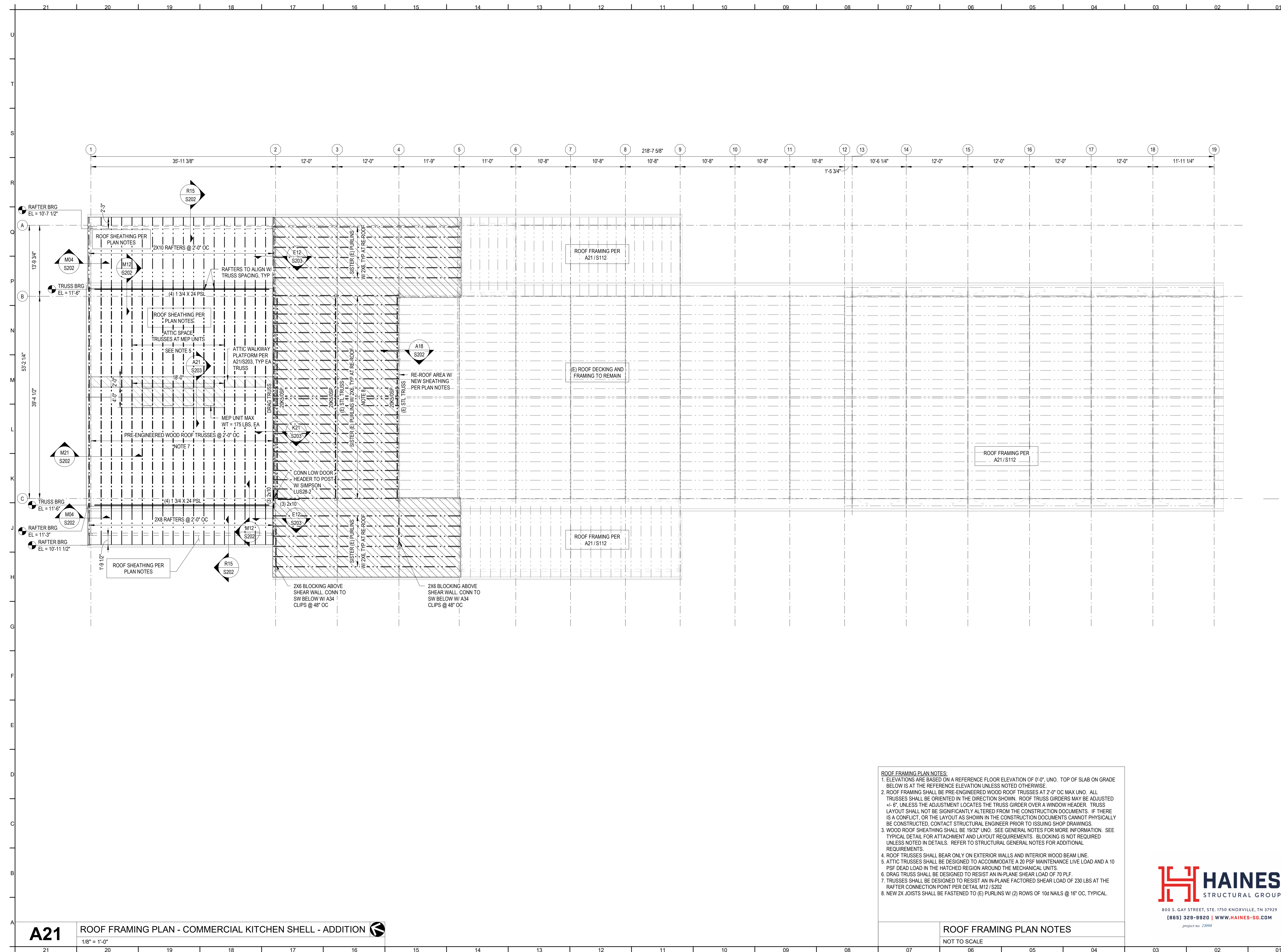
WALL FOOTING SCHEDULE

MARK	WIDTH	DEPTH	REINFORCEMENT
W24	2'-0"	1'-0"	(3)-#5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC
W24A	2'-0"	1'-0"	(3)-#5 CONT W/ #5 X 2'-6" TRANS @ 1'-6" OC
W42	3'-6"	1'-0"	(4)-#5 CONT W/ #5 X 3'-0" TRANS @ 1'-6" OC TOP & BTM
W48	4'-0"	1'-0"	(4)-#5 CONT W/ #5 X 3'-6" TRANS @ 1'-6" OC TOP & BTM

A21 FOUNDATION PLAN - COMMERCIAL KITCHEN SHELL - ADDITIOIN
 1/8" = 1'-0"

FOUNDATION PLAN NOTES
 NOT TO SCALE

4/1/2024 2:55:58 PM



- ROOF FRAMING PLAN NOTES**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
 - ROOF FRAMING SHALL BE PRE-ENGINEERED WOOD ROOF TRUSSES AT 2'-0" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. ROOF TRUSS GIRDERS MAY BE ADJUSTED +/- 6" UNLESS THE ADJUSTMENT LOCATES THE TRUSS GIRDER OVER A WINDOW HEADER. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
 - WOOD ROOF SHEATHING SHALL BE 19/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
 - ROOF TRUSSES SHALL BEAR ONLY ON EXTERIOR WALLS AND INTERIOR WOOD BEAM LINE.
 - ATTIC TRUSSES SHALL BE DESIGNED TO ACCOMMODATE A 20 PSF MAINTENANCE LIVE LOAD AND A 10 PSF DEAD LOAD IN THE HATCHED REGION AROUND THE MECHANICAL UNITS.
 - DRAG TRUSS SHALL BE DESIGNED TO RESIST AN IN-PLANE SHEAR LOAD OF 70 PLF.
 - TRUSSES SHALL BE DESIGNED TO RESIST AN IN-PLANE FACTORED SHEAR LOAD OF 230 LBS AT THE RAFTER CONNECTION POINT PER DETAIL M12/S202.
 - NEW 2X JOISTS SHALL BE FASTENED TO (E) PURLINS W/ (2) ROWS OF 10d NAILS @ 16" OC, TYPICAL.

ROOF FRAMING PLAN NOTES
NOT TO SCALE

HAINES
STRUCTURAL GROUP
800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
(865) 328-9920 | WWW.HAINES-SB.COM
project no. 23098

NO.	DESCRIPTION	DATE

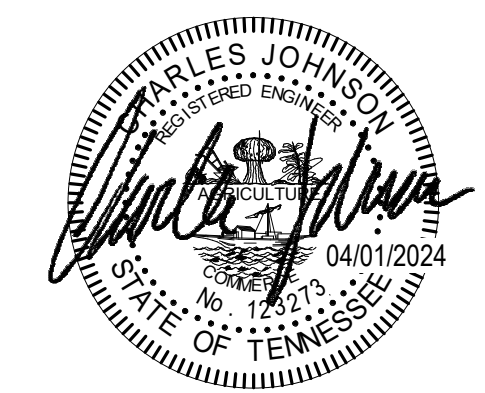
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
ROOF FRAMING PLAN - COMMERCIAL KITCHEN SHELL - ADDITION

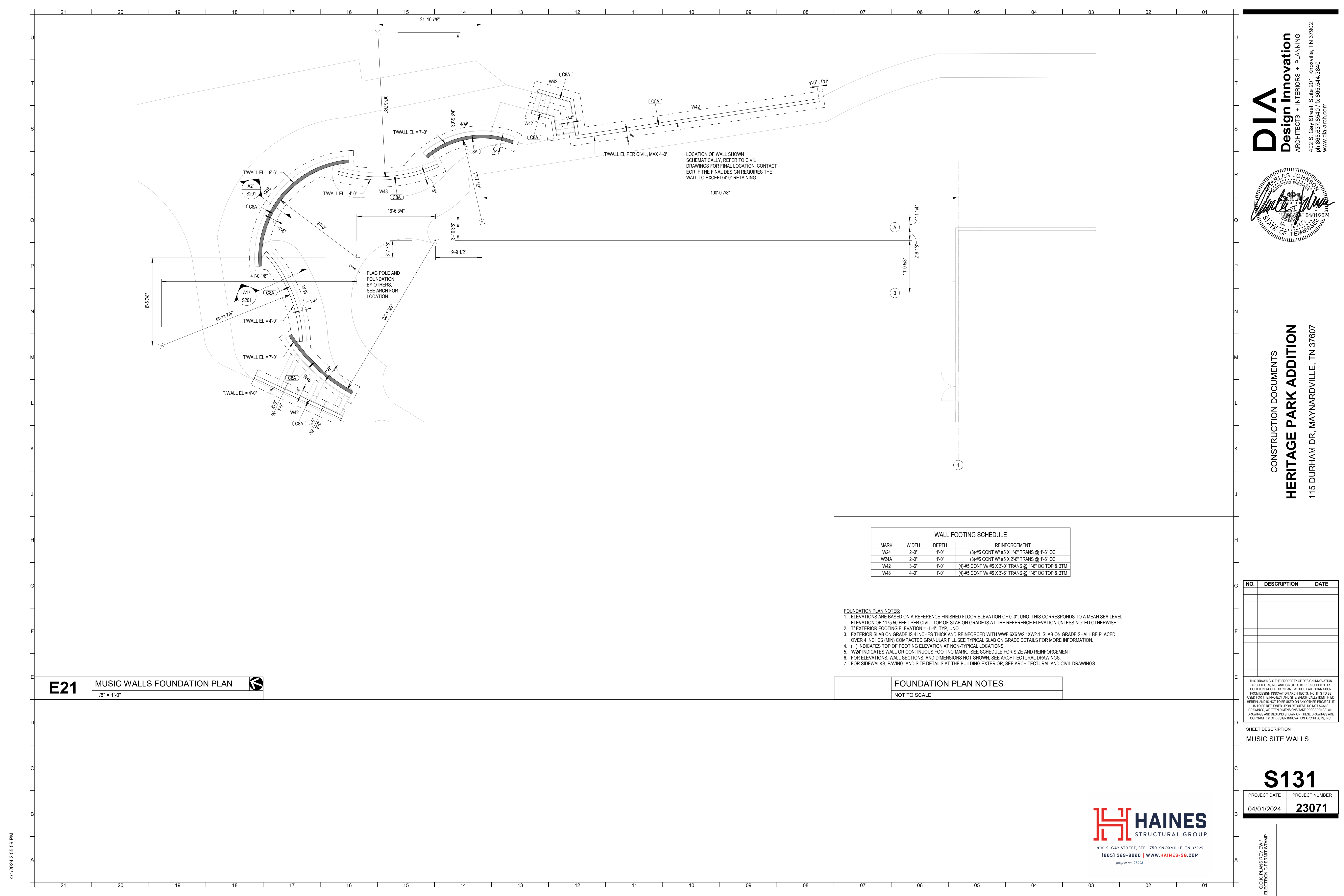
S122
PROJECT DATE: 04/01/2024 PROJECT NUMBER: 23071

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com

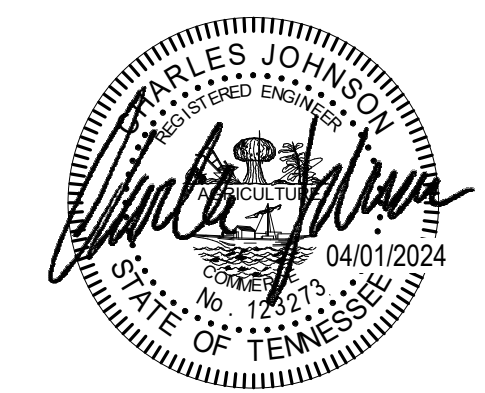


CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37607



E21 MUSIC WALLS FOUNDATION PLAN
1/8" = 1'-0"

FOUNDATION PLAN NOTES
NOT TO SCALE



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

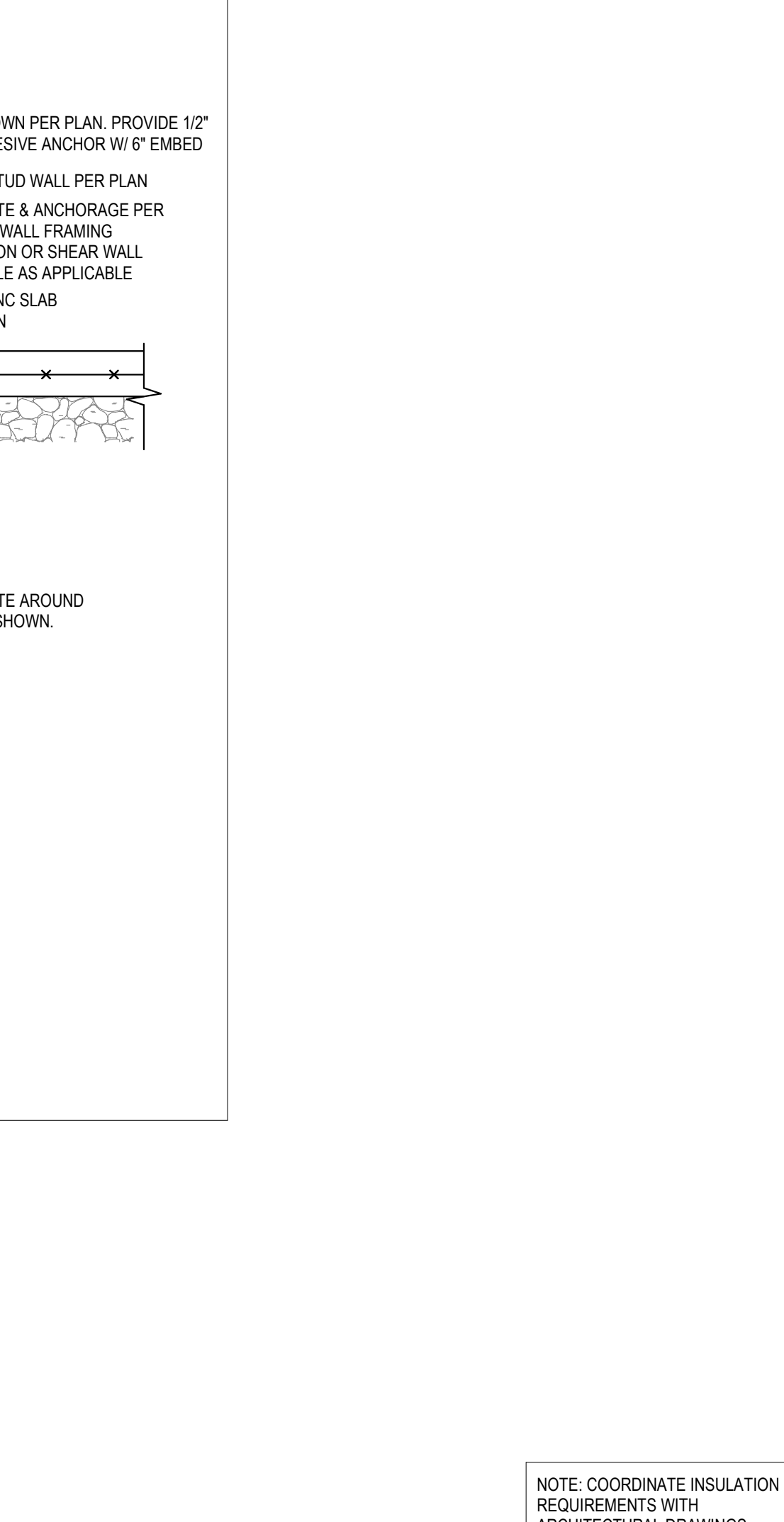
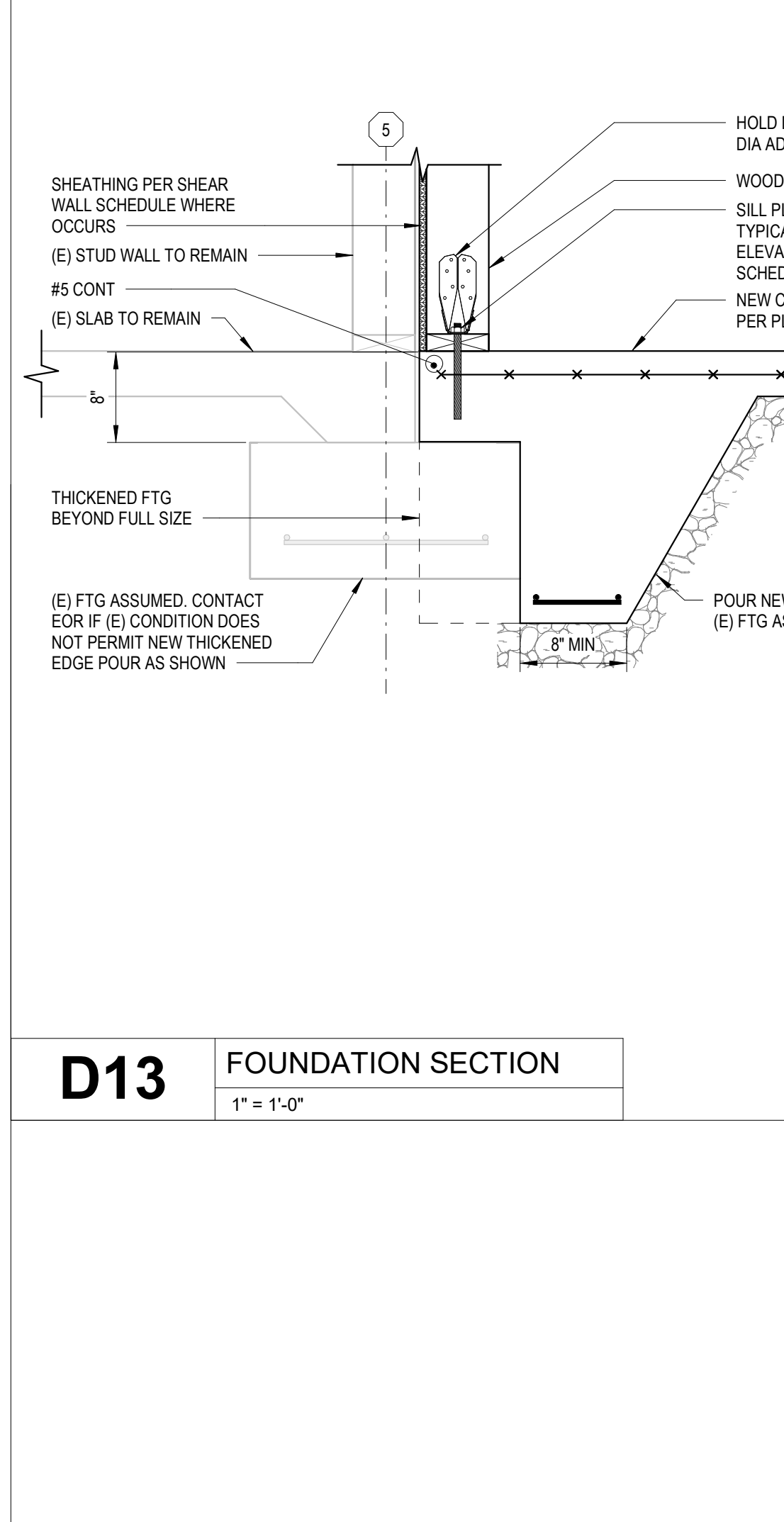
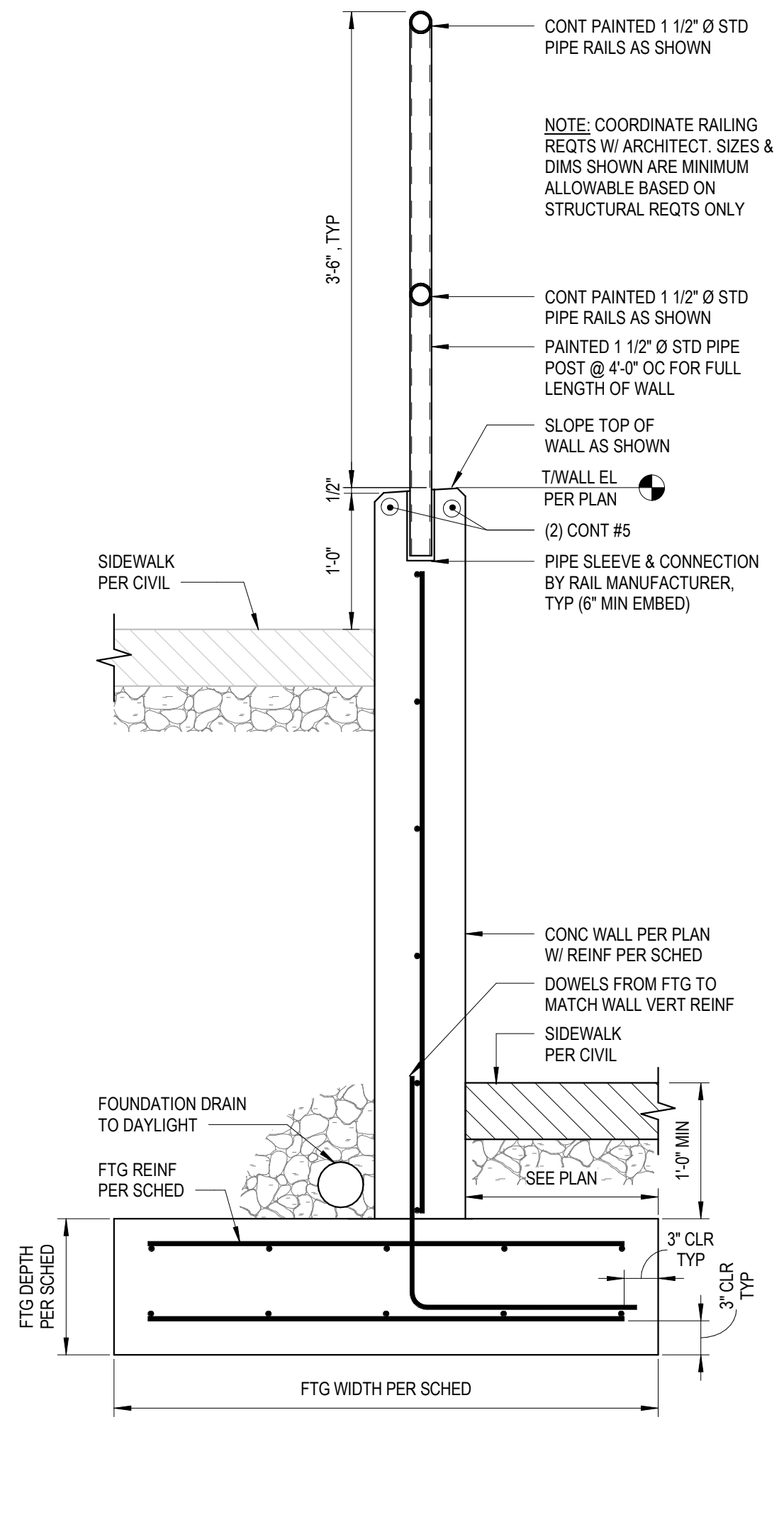
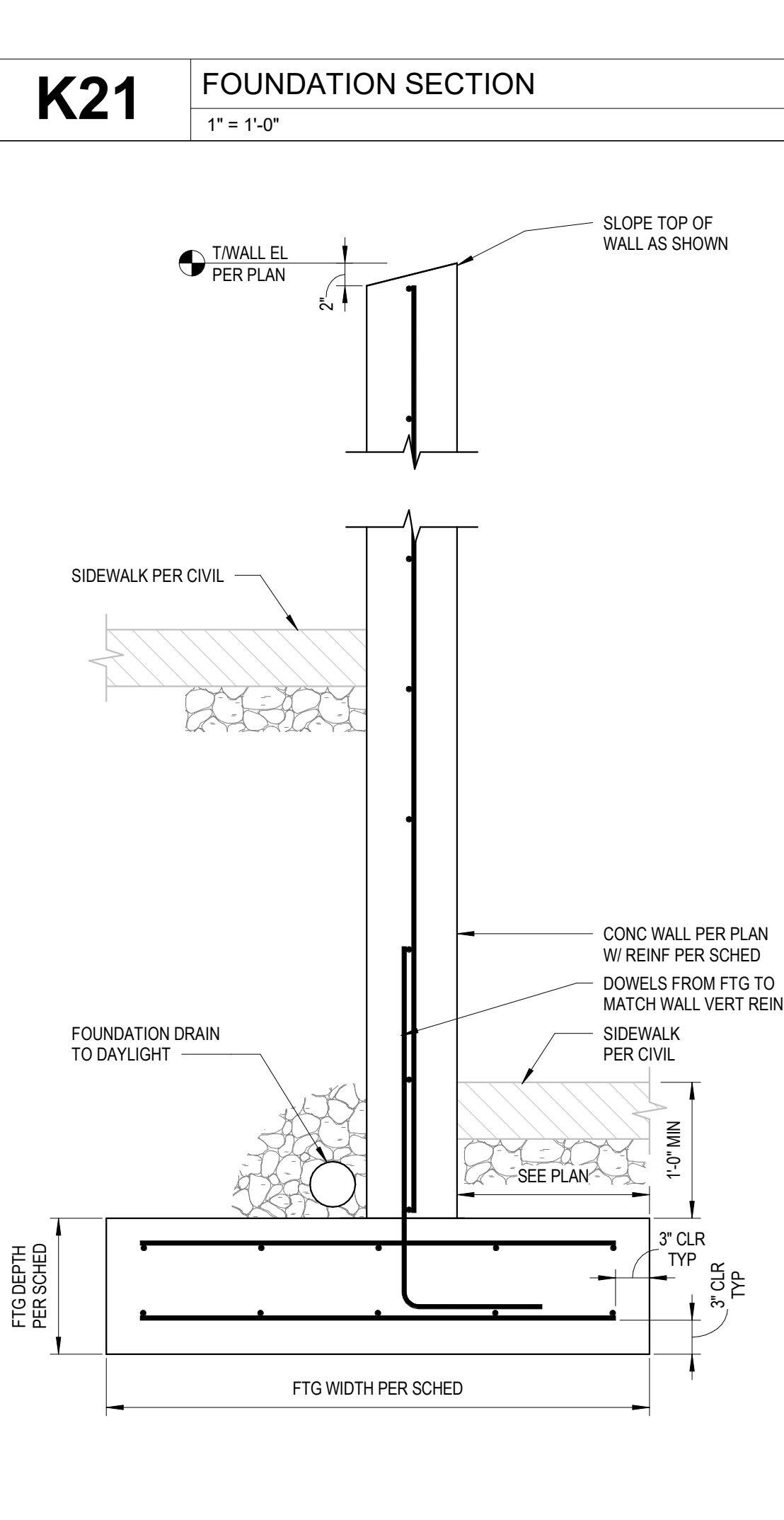
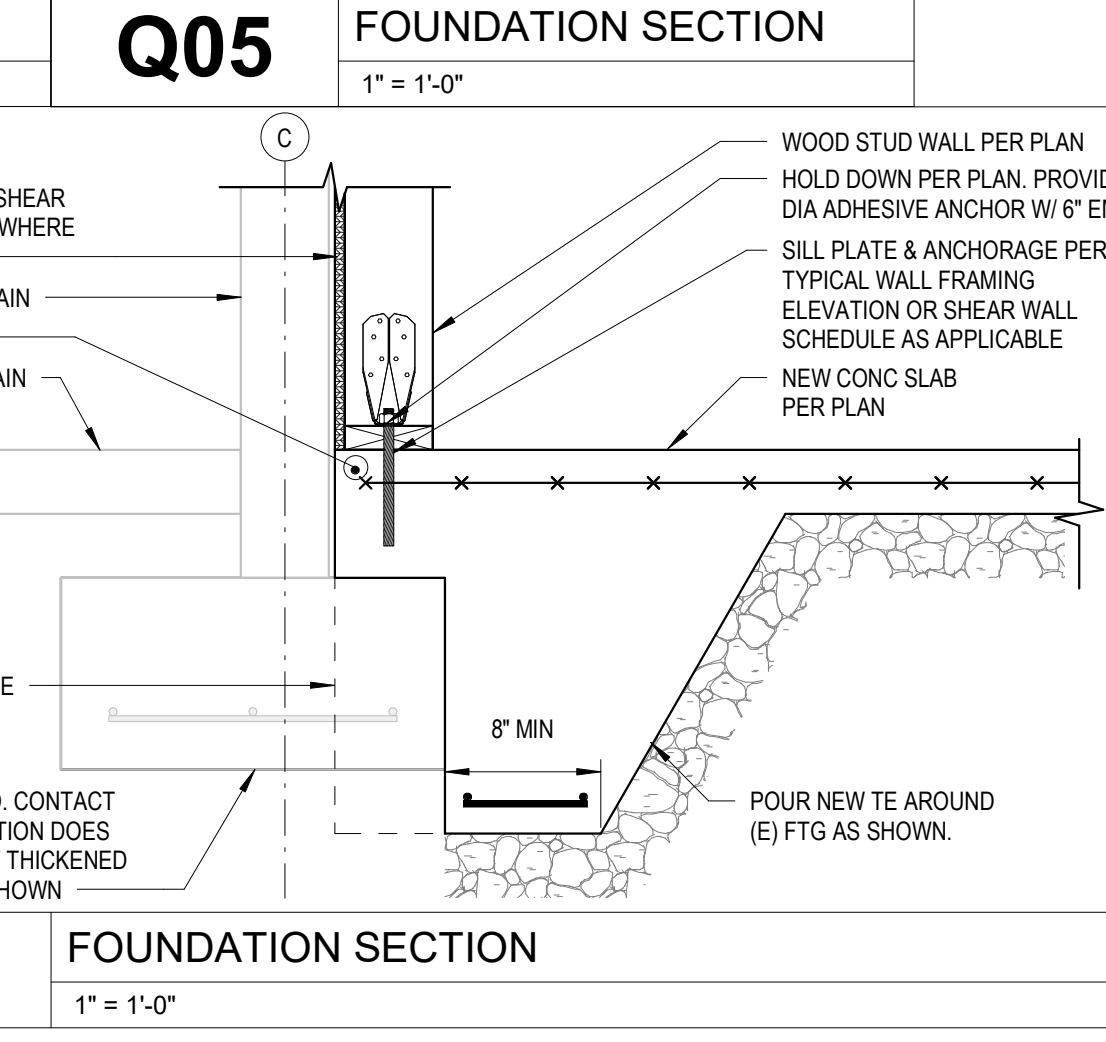
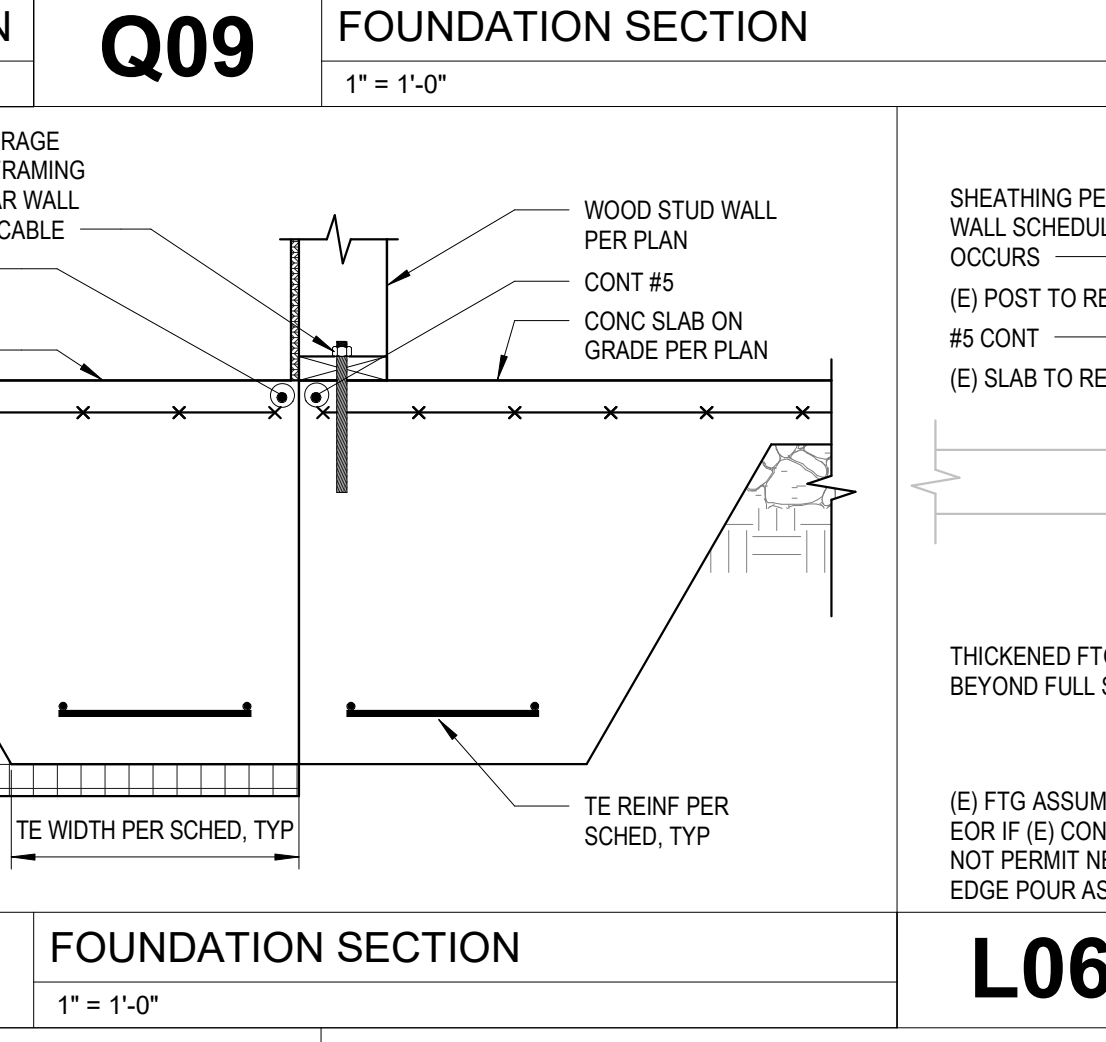
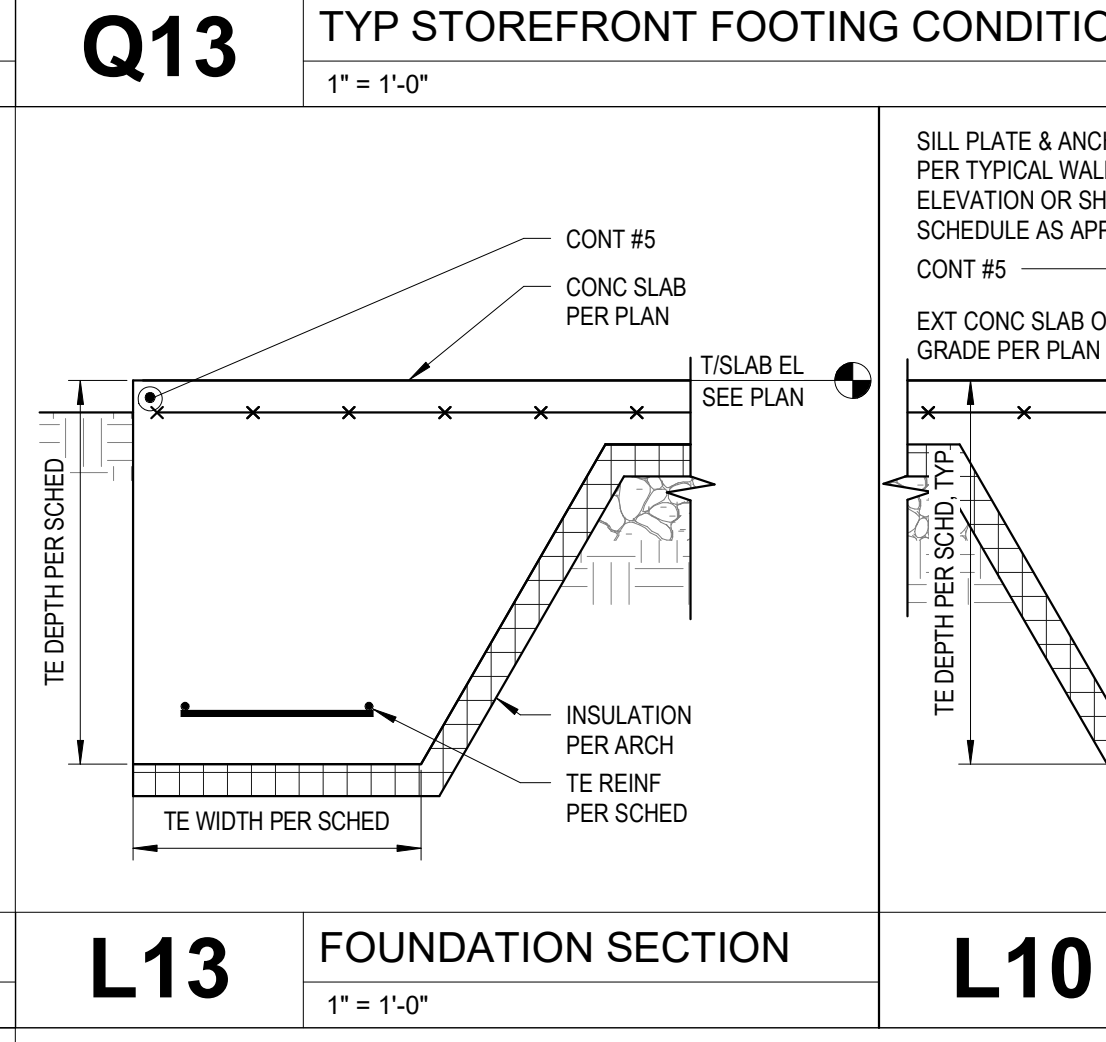
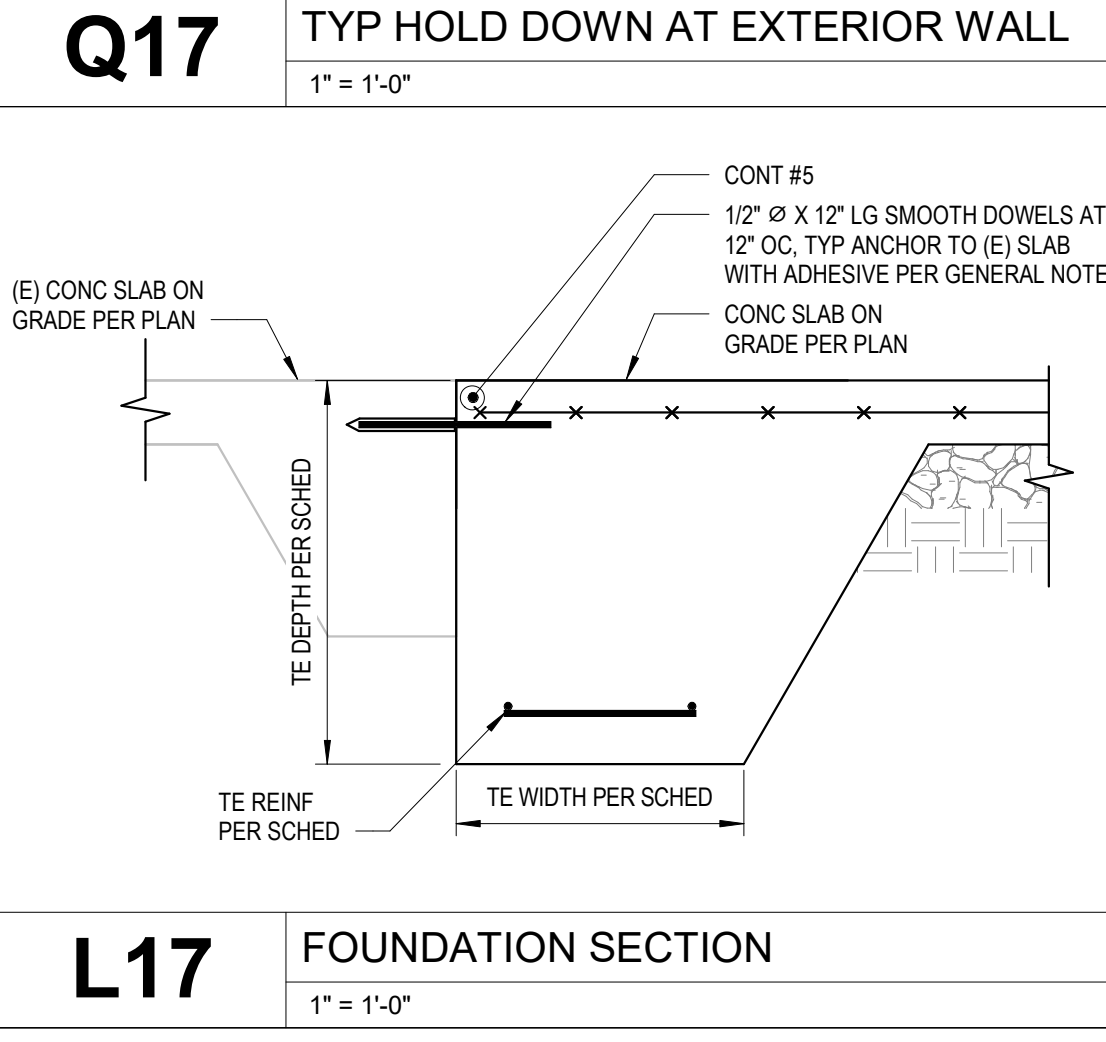
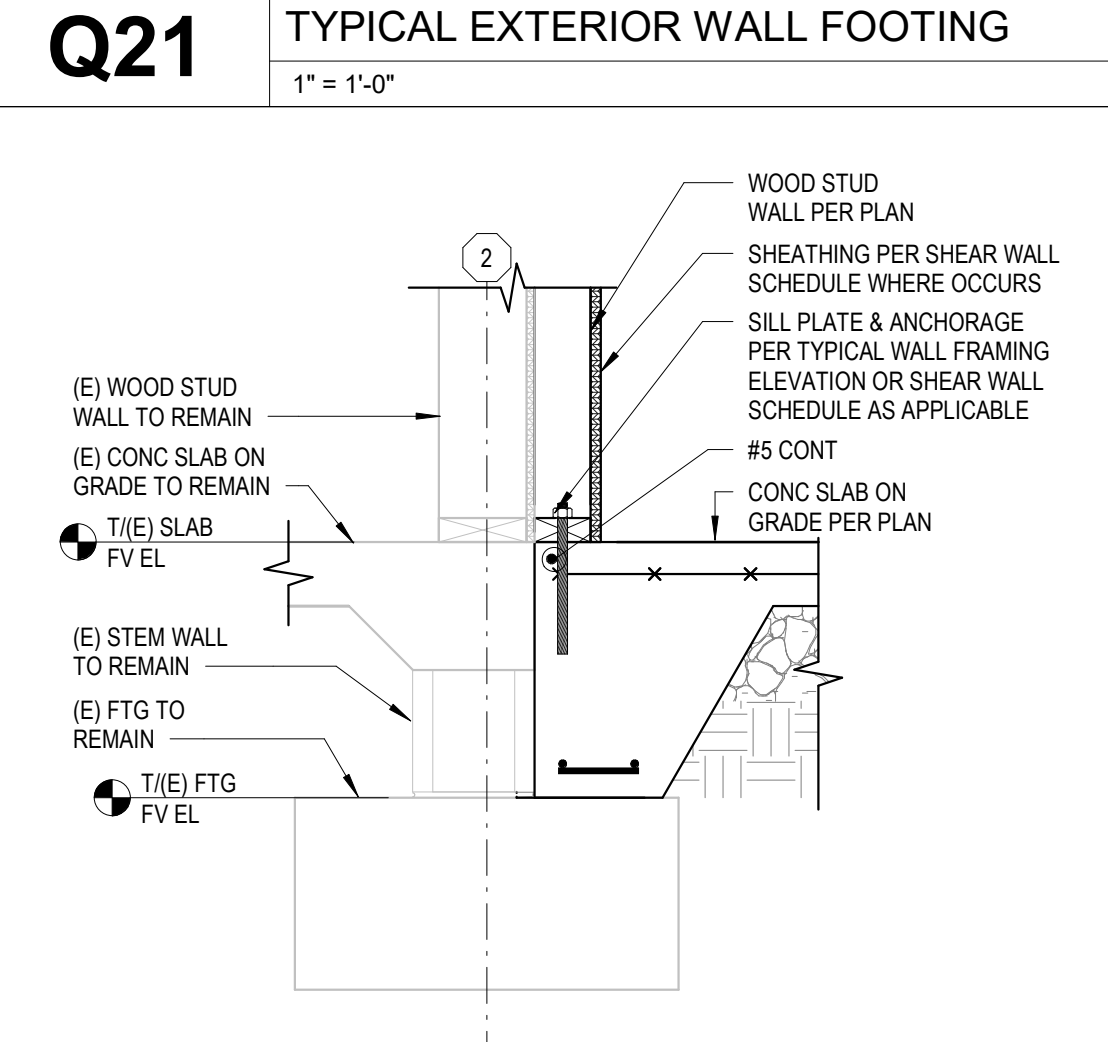
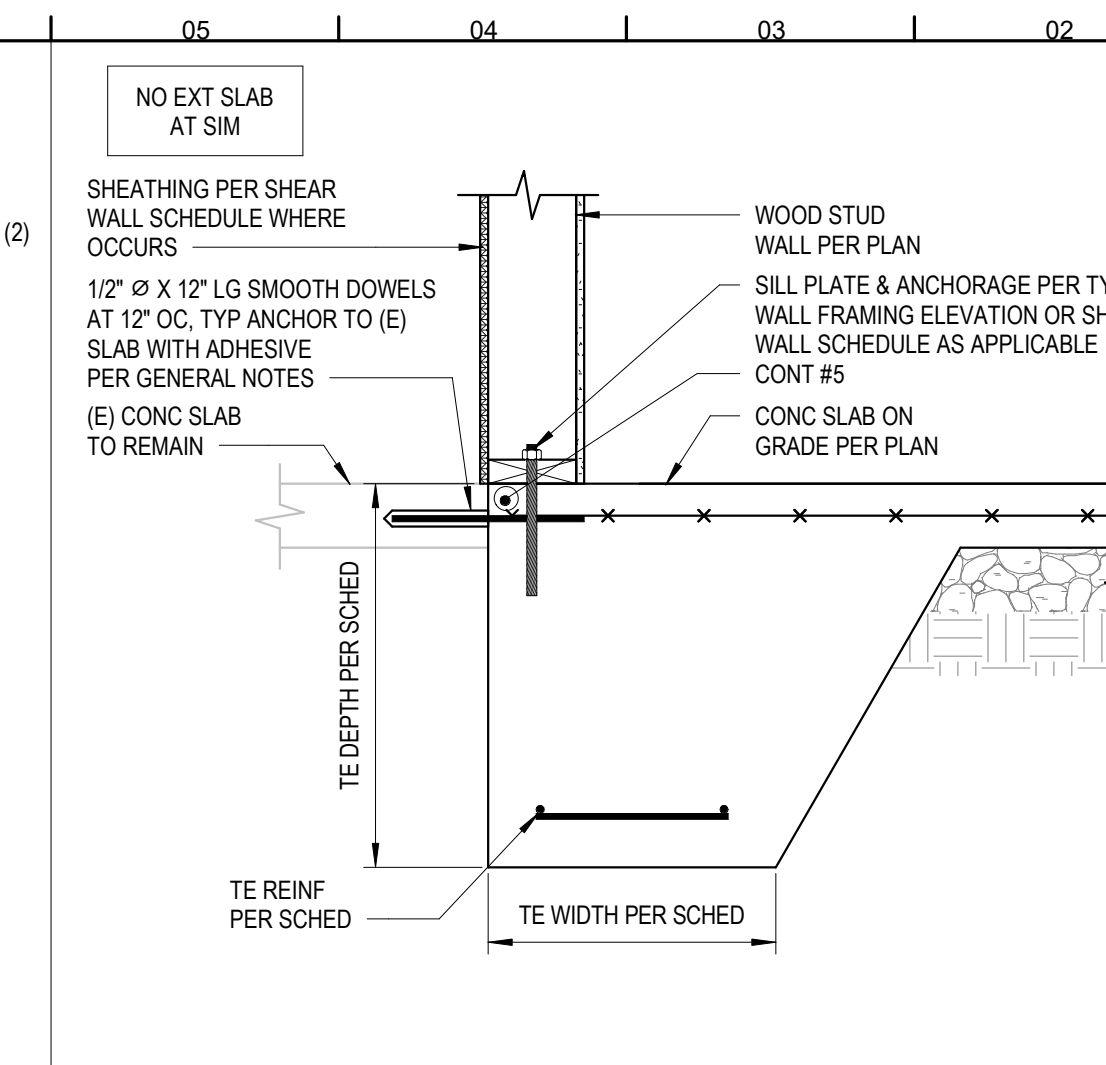
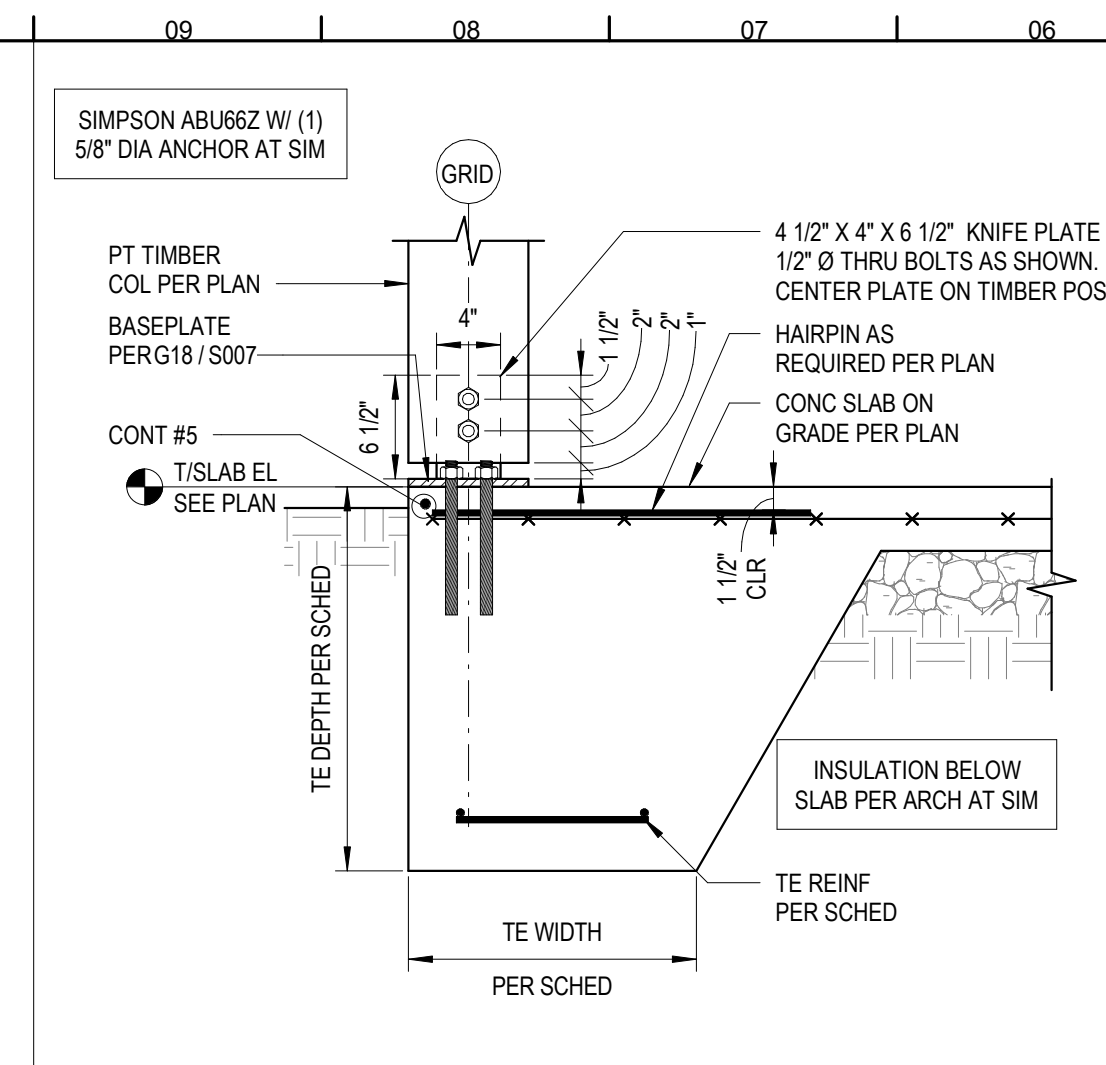
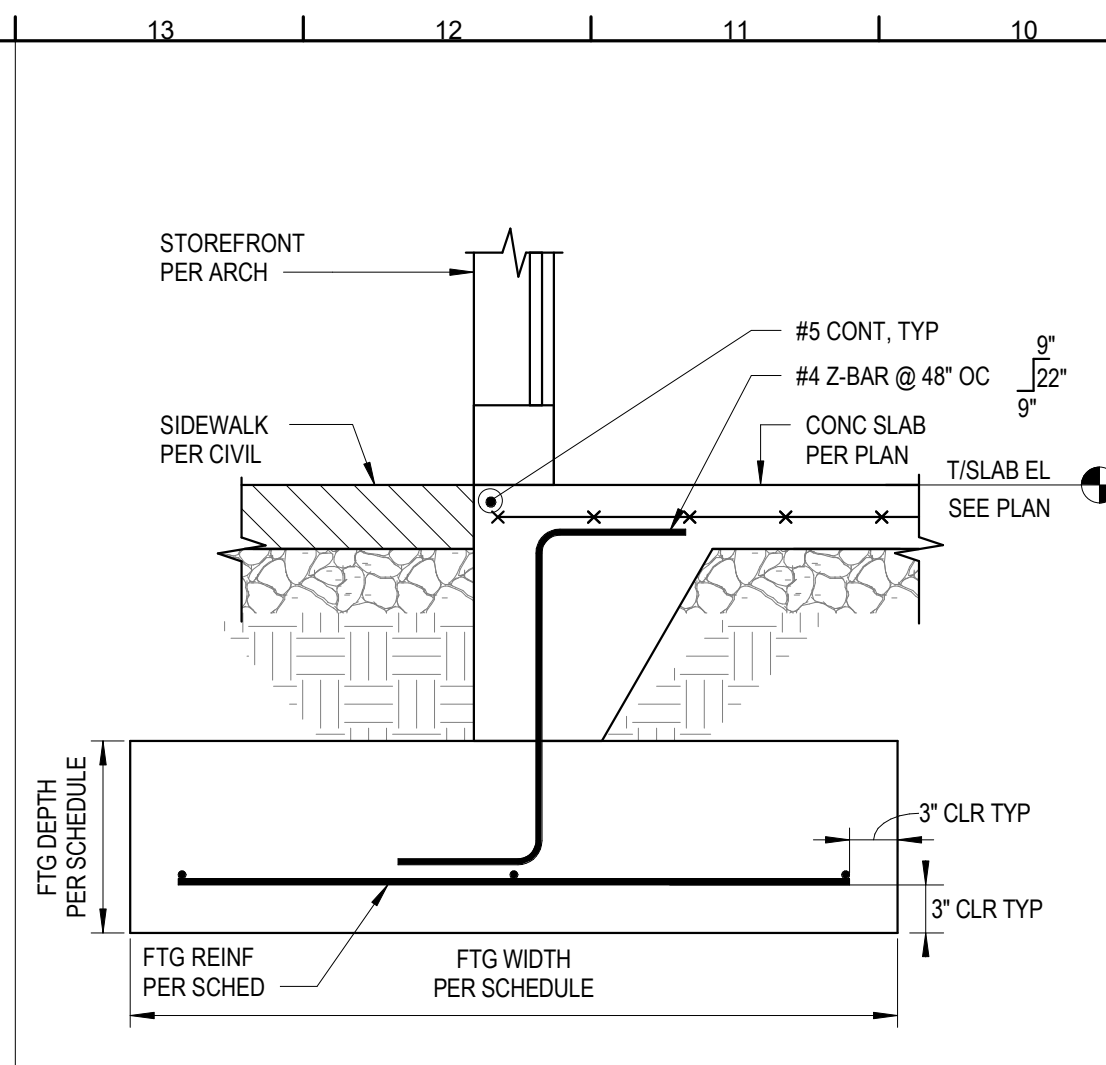
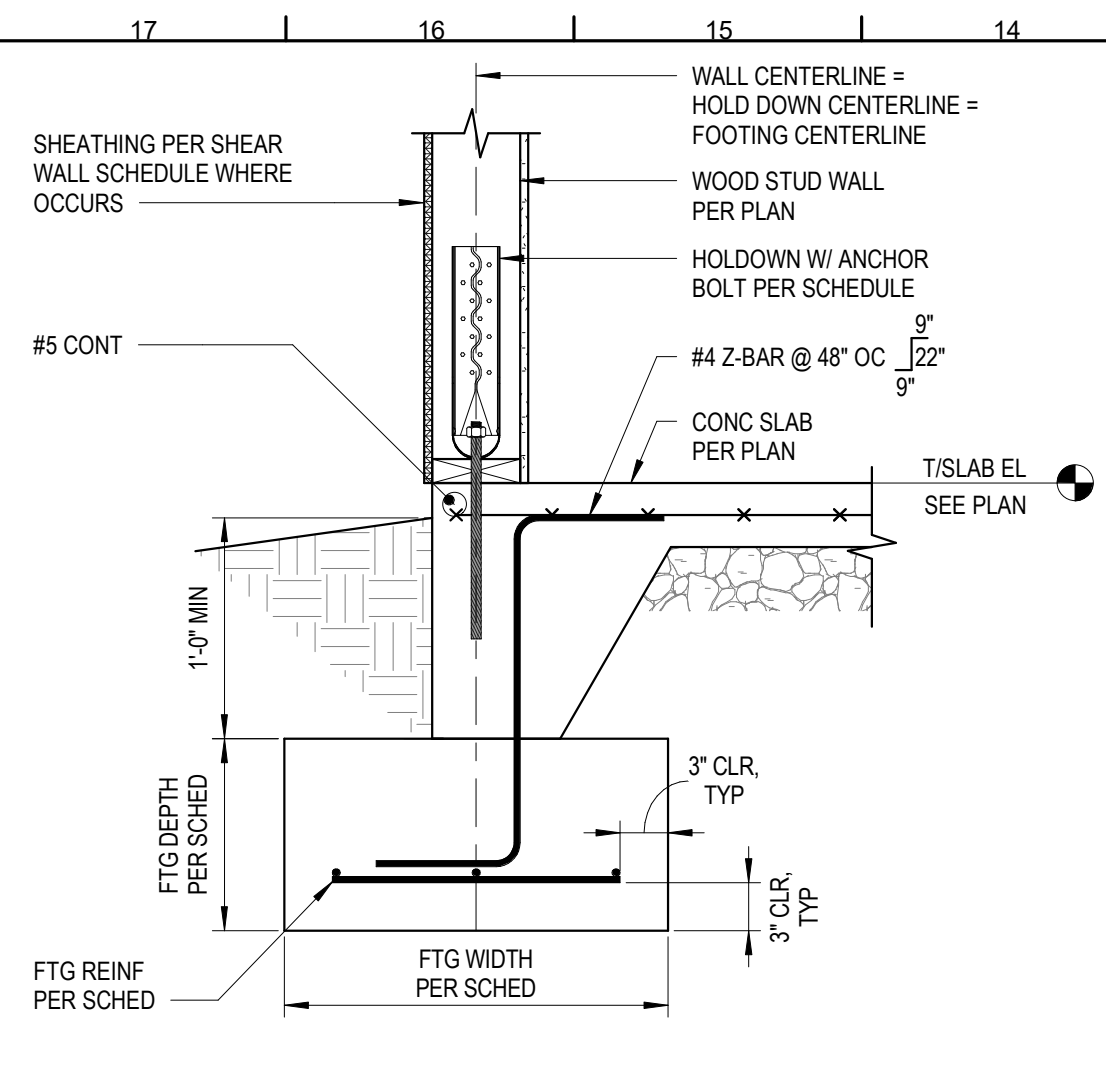
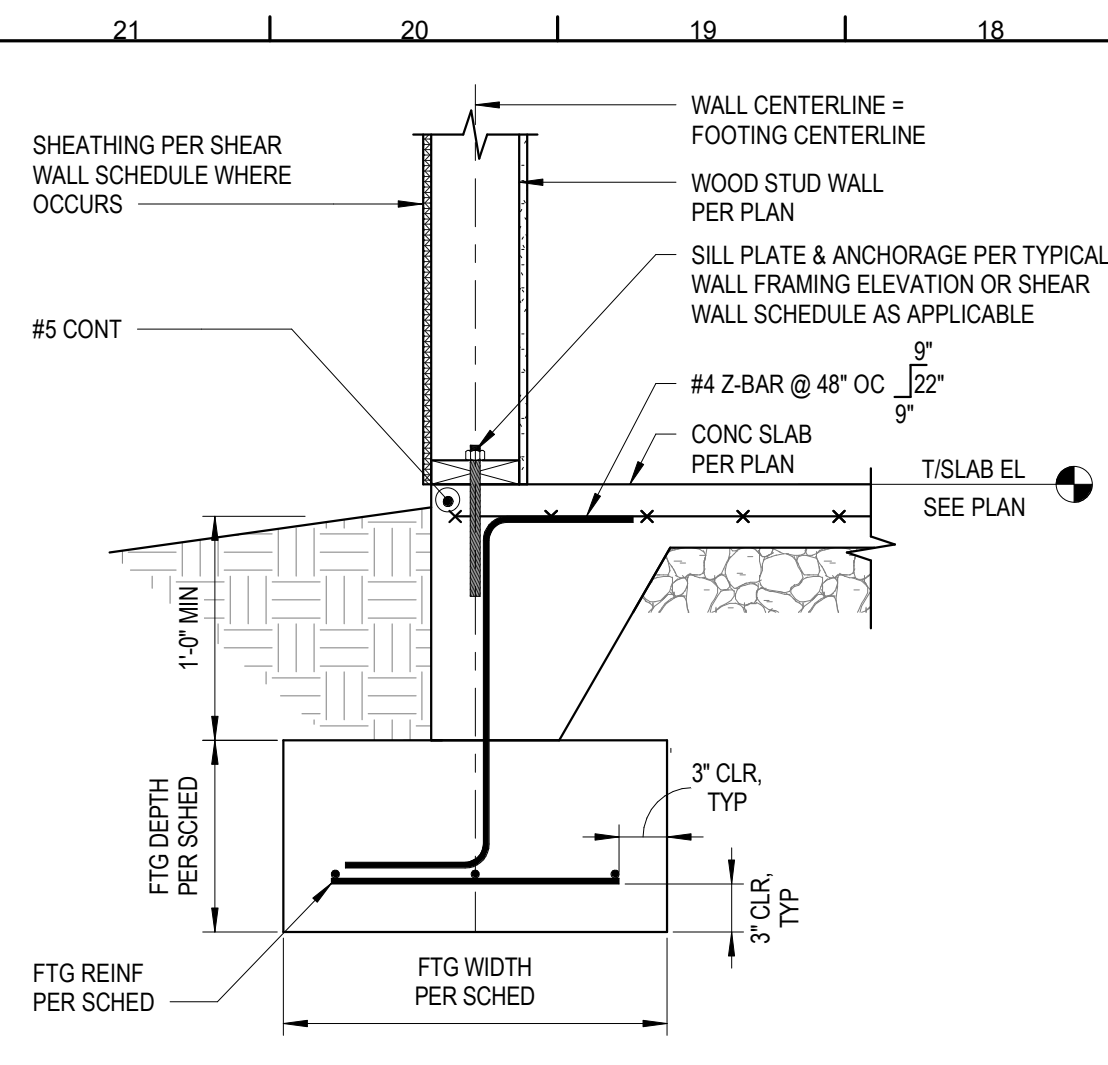
SHEET DESCRIPTION
MUSIC SITE WALLS

S131
PROJECT DATE: 04/01/2024
PROJECT NUMBER: 23071

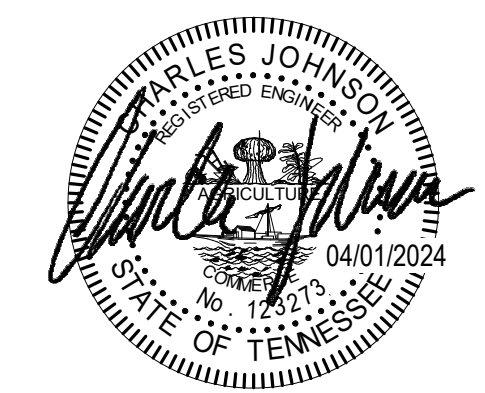


C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP

4/1/2024 2:55:59 PM



NOTE: COORDINATE INSULATION REQUIREMENTS WITH ARCHITECTURAL DRAWINGS



NO.	DESCRIPTION	DATE

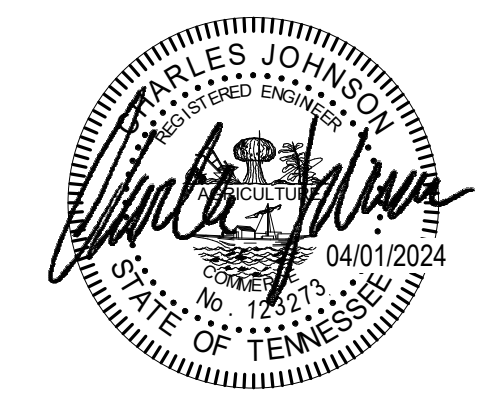
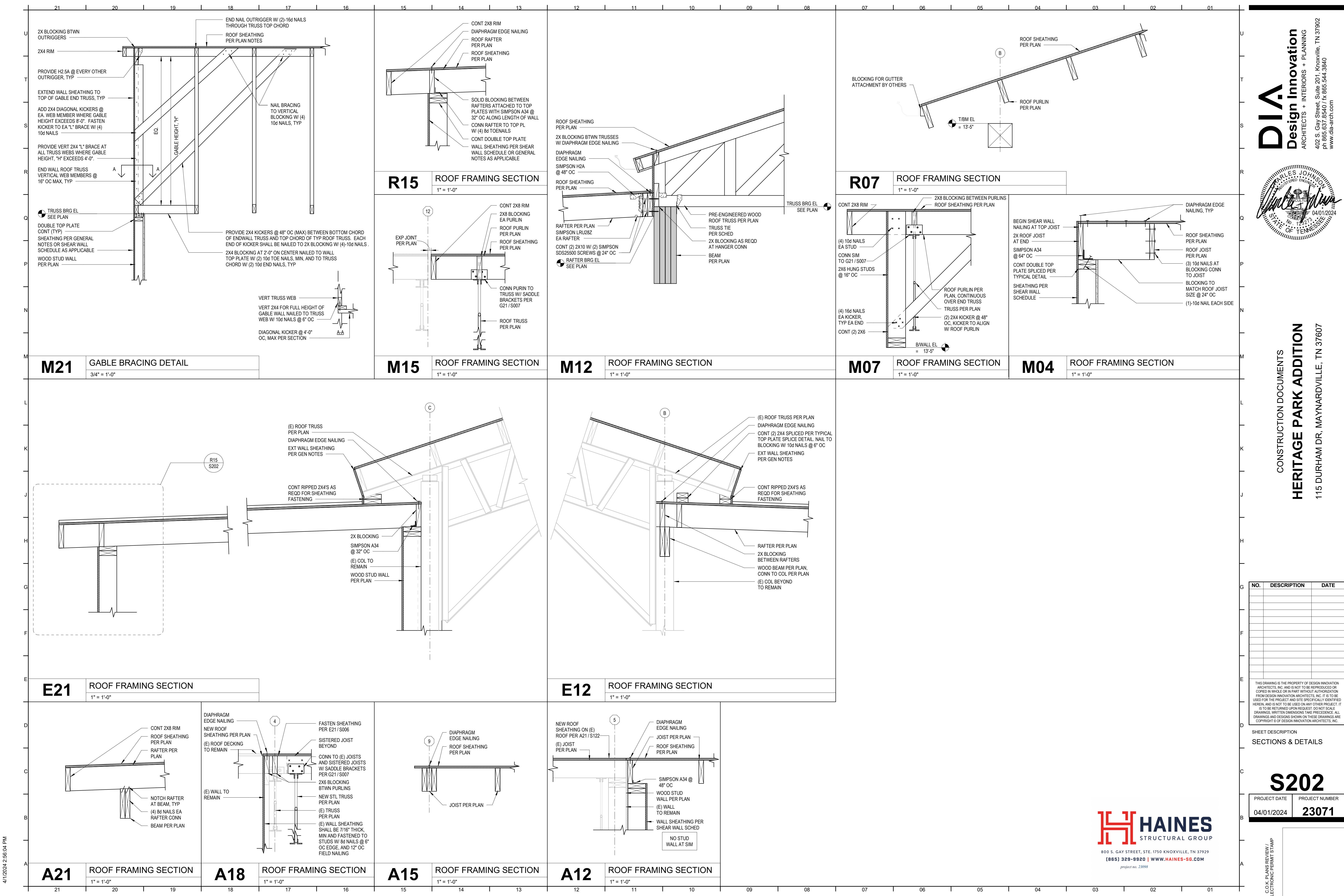
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SECTIONS & DETAILS

S201
PROJECT DATE: 04/01/2024
PROJECT NUMBER: 23071

4/1/2024 2:56:02 PM

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



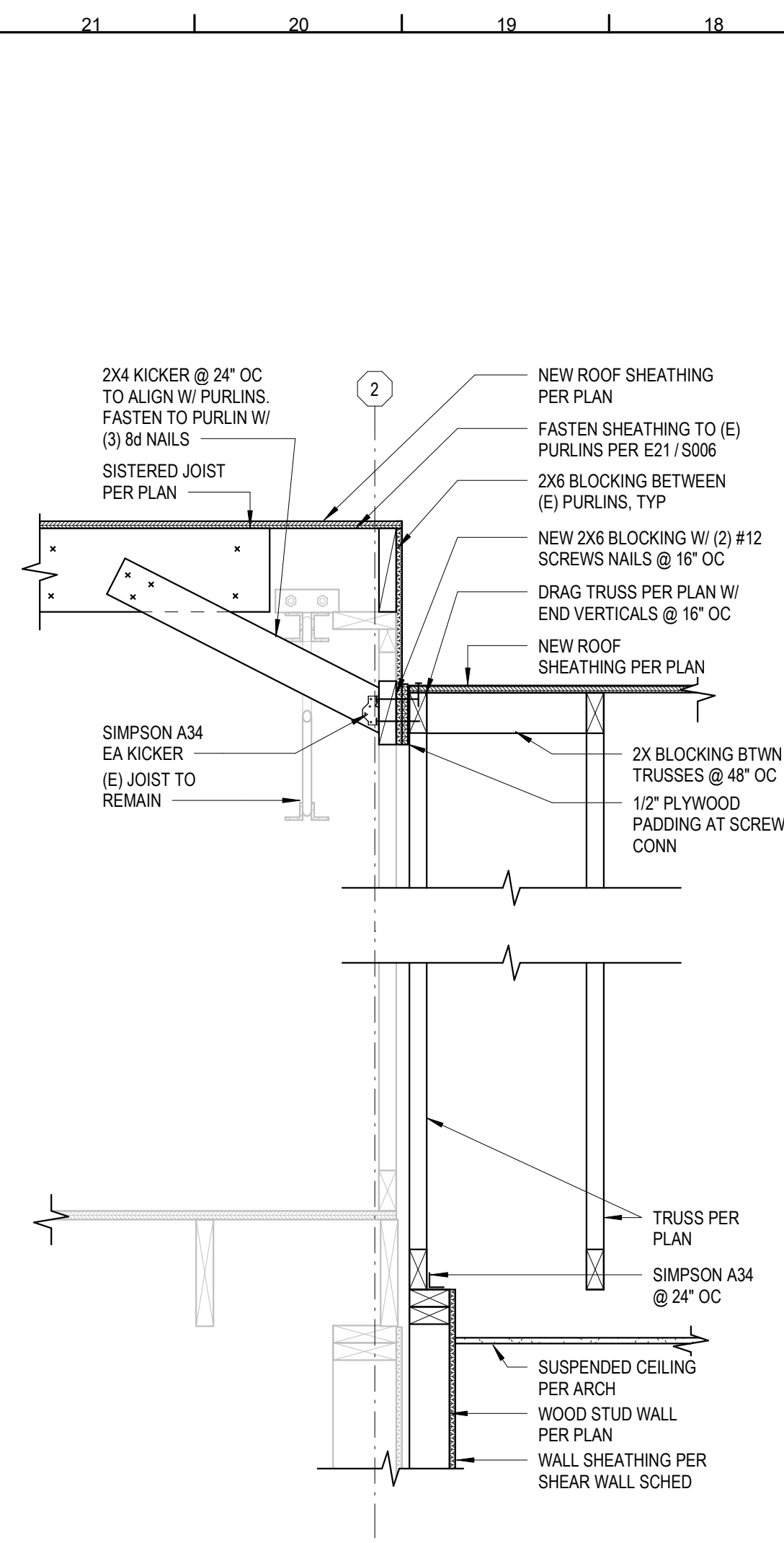
NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

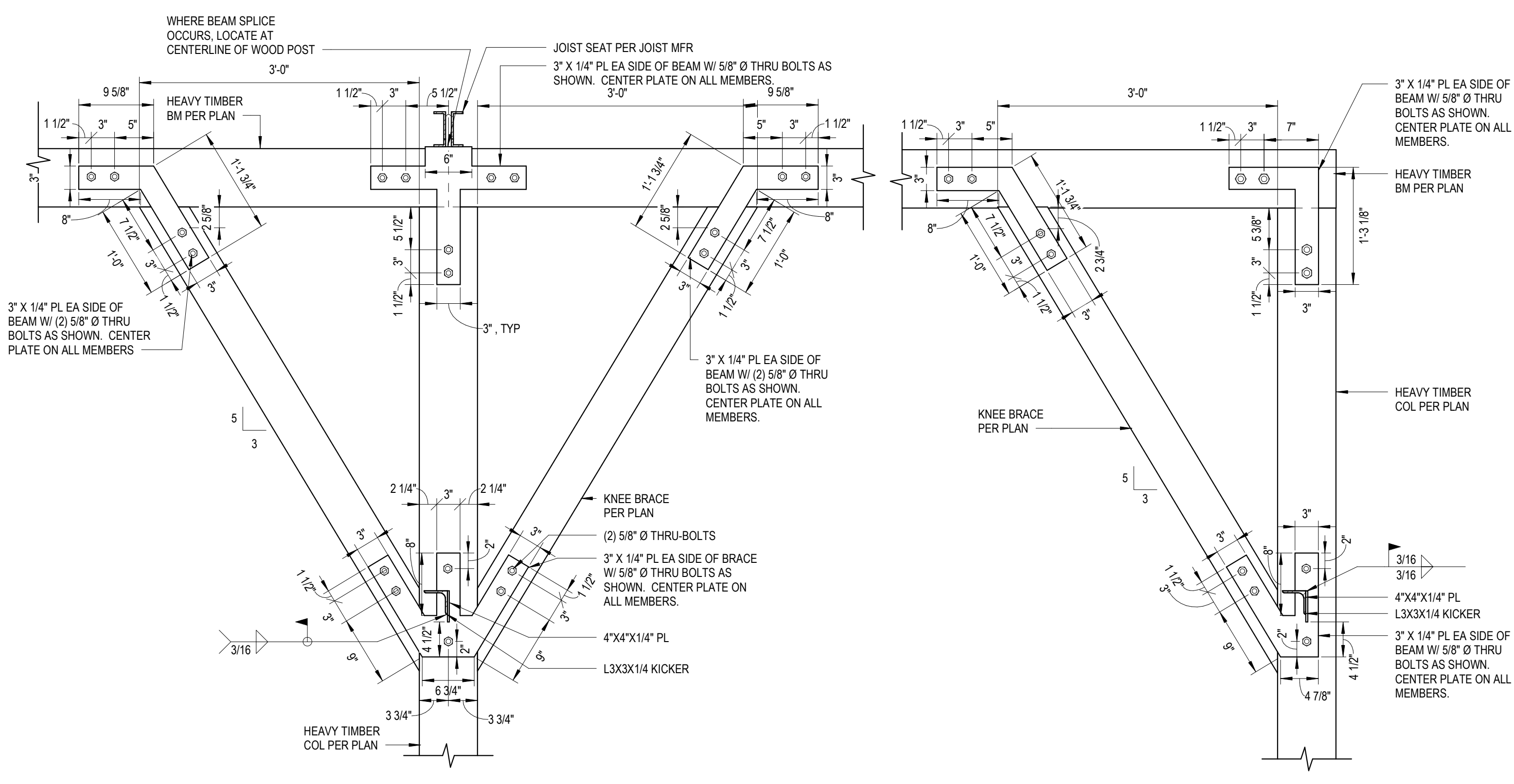
SHEET DESCRIPTION
 SECTIONS & DETAILS

S202
 PROJECT DATE: 04/01/2024
 PROJECT NUMBER: 23071

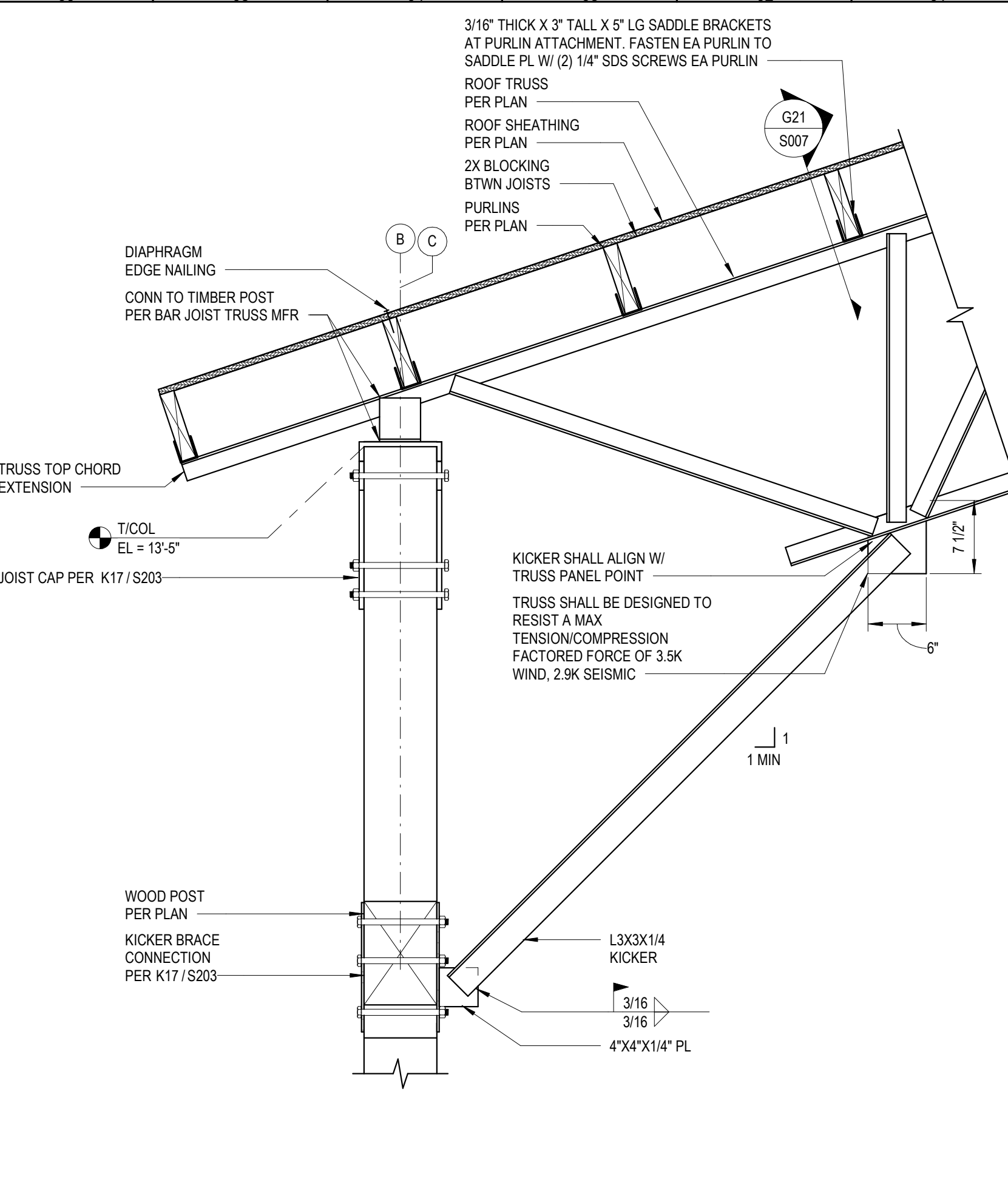
H HAINES
 STRUCTURAL GROUP
 800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
 (865) 328-9920 | WWW.HAINES-SB.COM
 project no. 23098



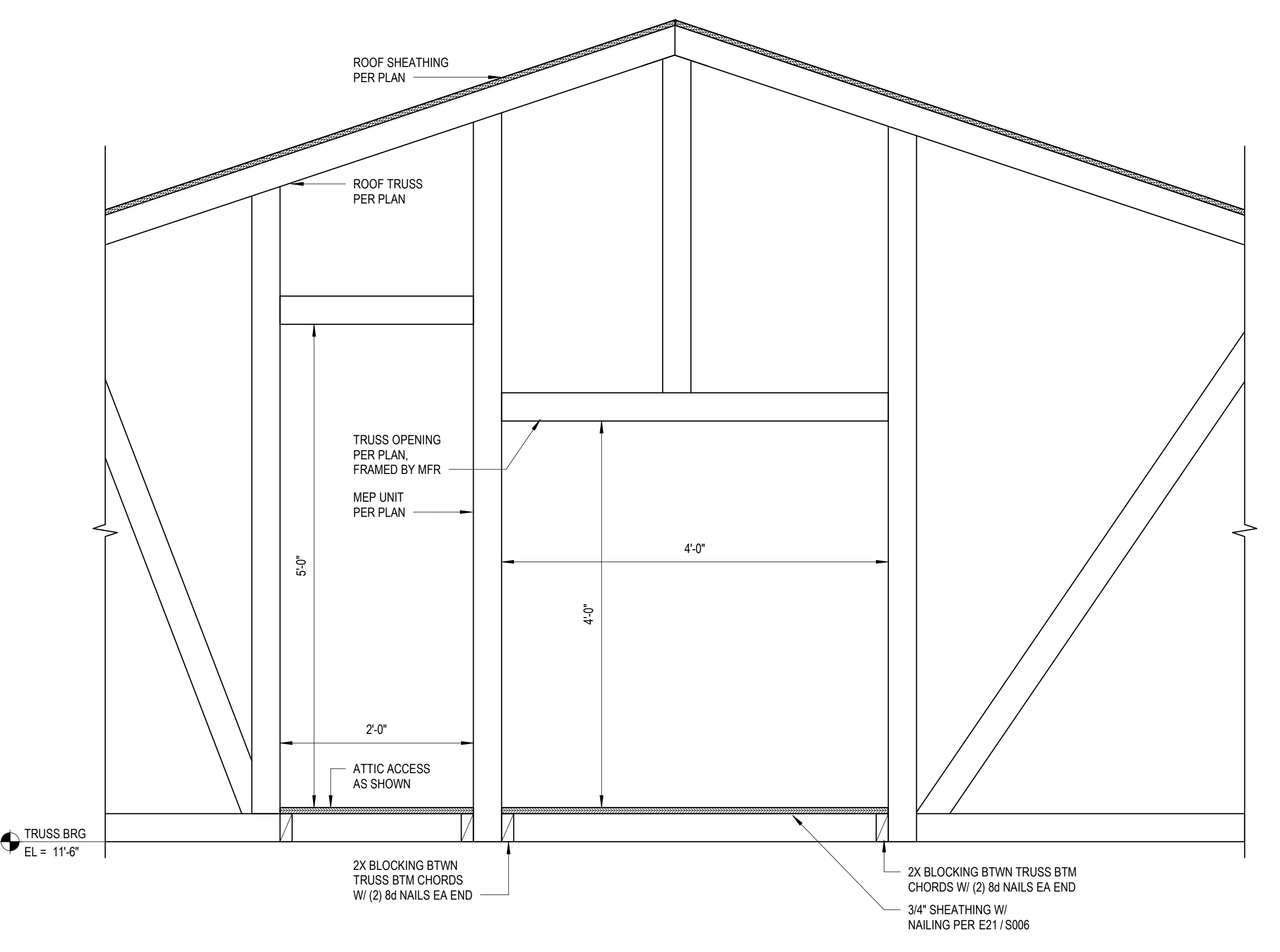
K21 ROOF FRAMING SECTION
1" = 1'-0"



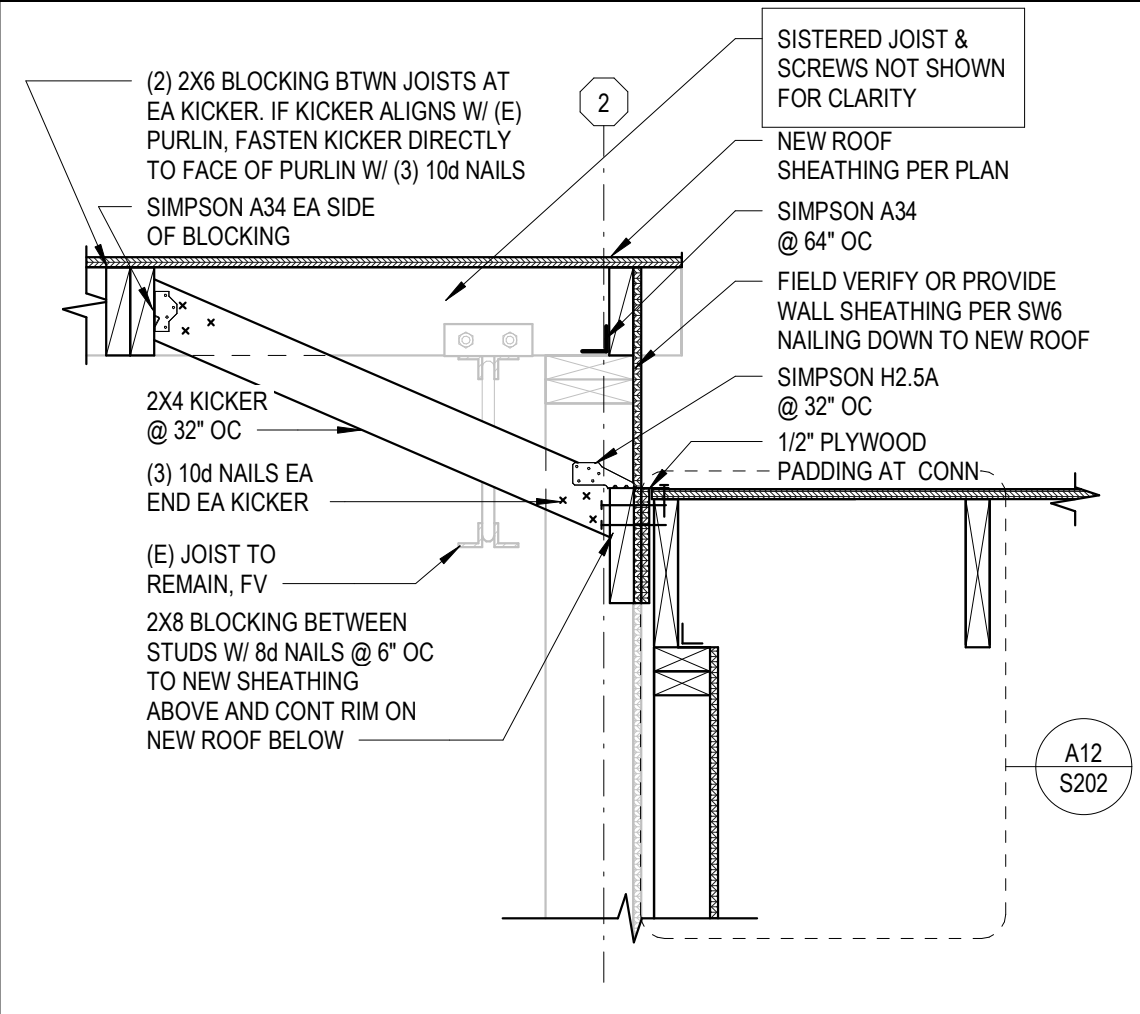
K17 TYP KNEE BRACES
1" = 1'-0"



K06 ROOF FRAMING SECTION
1" = 1'-0"



A21 ROOF FRAMING SECTION
1" = 1'-0"



E12 ROOF FRAMING SECTION
1" = 1'-0"

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

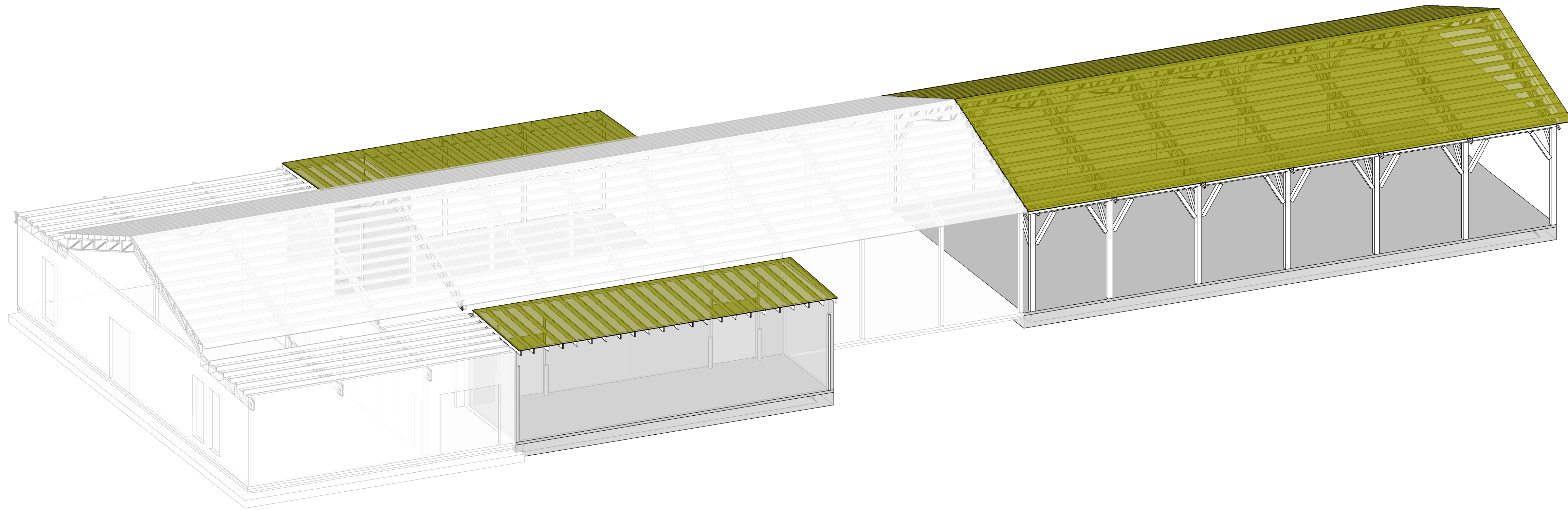
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 SECTIONS & DETAILS

S203
 PROJECT DATE: 04/01/2024
 PROJECT NUMBER: 23071



C.O.K. PLANS REVIEW /
 ELECTRONIC PERMIT STAMP

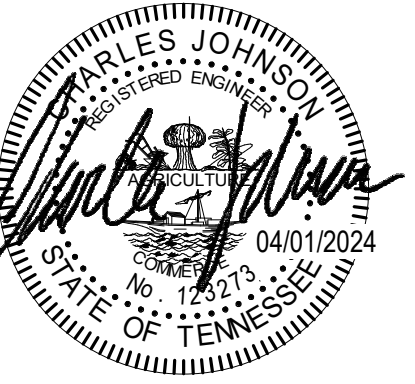


4/1/2024 2:56:08 PM

A21

Structural 3D ISO - PAVILLION EXTENSION

DIA
 Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865 637 8540 / fx 865 544 3940
 www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

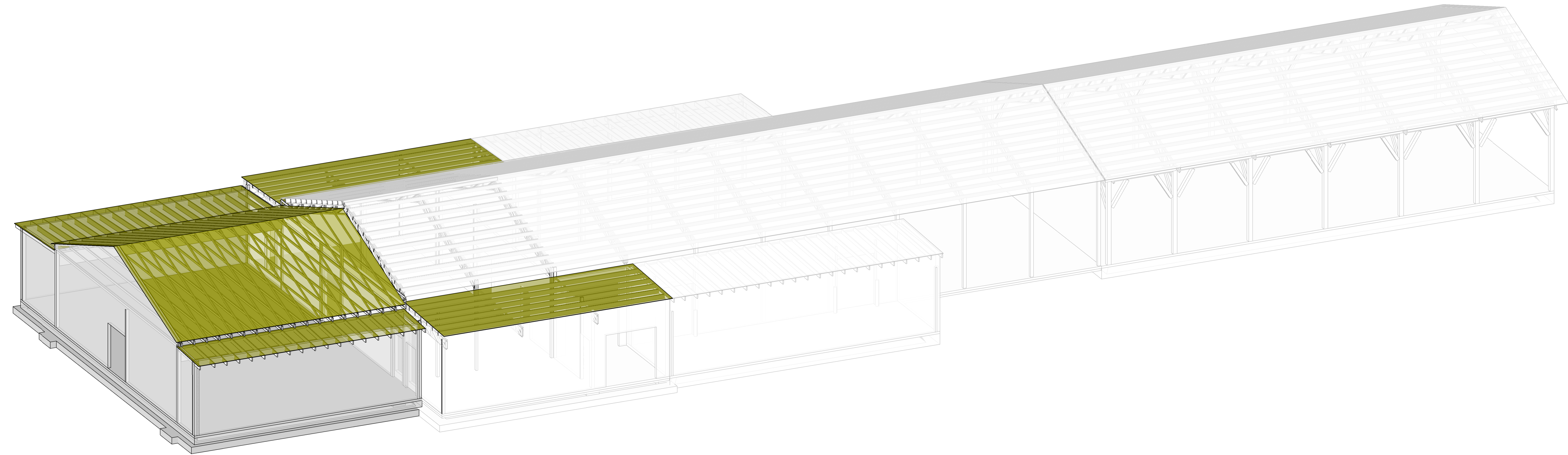
SHEET DESCRIPTION
 STRUCTURAL ISO

S301

PROJECT DATE	PROJECT NUMBER
04/01/2024	23071

HAINES
 STRUCTURAL GROUP
 800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
 (865) 328-9920 | WWW.HAINES-SG.COM
 project no. 23098

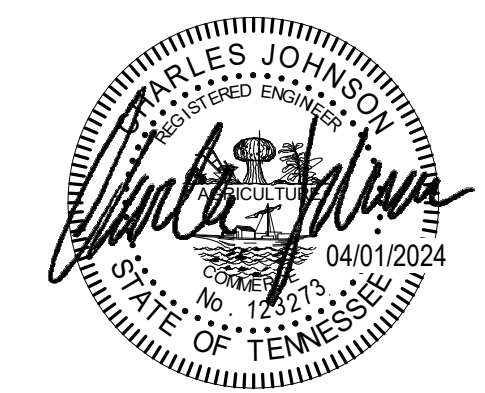
C.O.K. PLANS REVIEW /
 ELECTRONIC PERMIT STAMP



4/1/2024 2:56:10 PM

A21 Structural 3D ISO - COMMERCIAL KITCHEN SHELL - ADDITION

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



CONSTRUCTION DOCUMENTS
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37607

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 STRUCTURAL ISO

S302

PROJECT DATE	PROJECT NUMBER
04/01/2024	23071

H HAINES
 STRUCTURAL GROUP
 800 S. GAY STREET, STE. 1750 KNOXVILLE, TN 37929
 (865) 328-9920 | WWW.HAINES-SG.COM
 project no. 23098

C.O.K. PLANS REVIEW /
 ELECTRONIC PERMIT STAMP

4/4/2024 11:09:19 AM

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01

KEYED NOTES

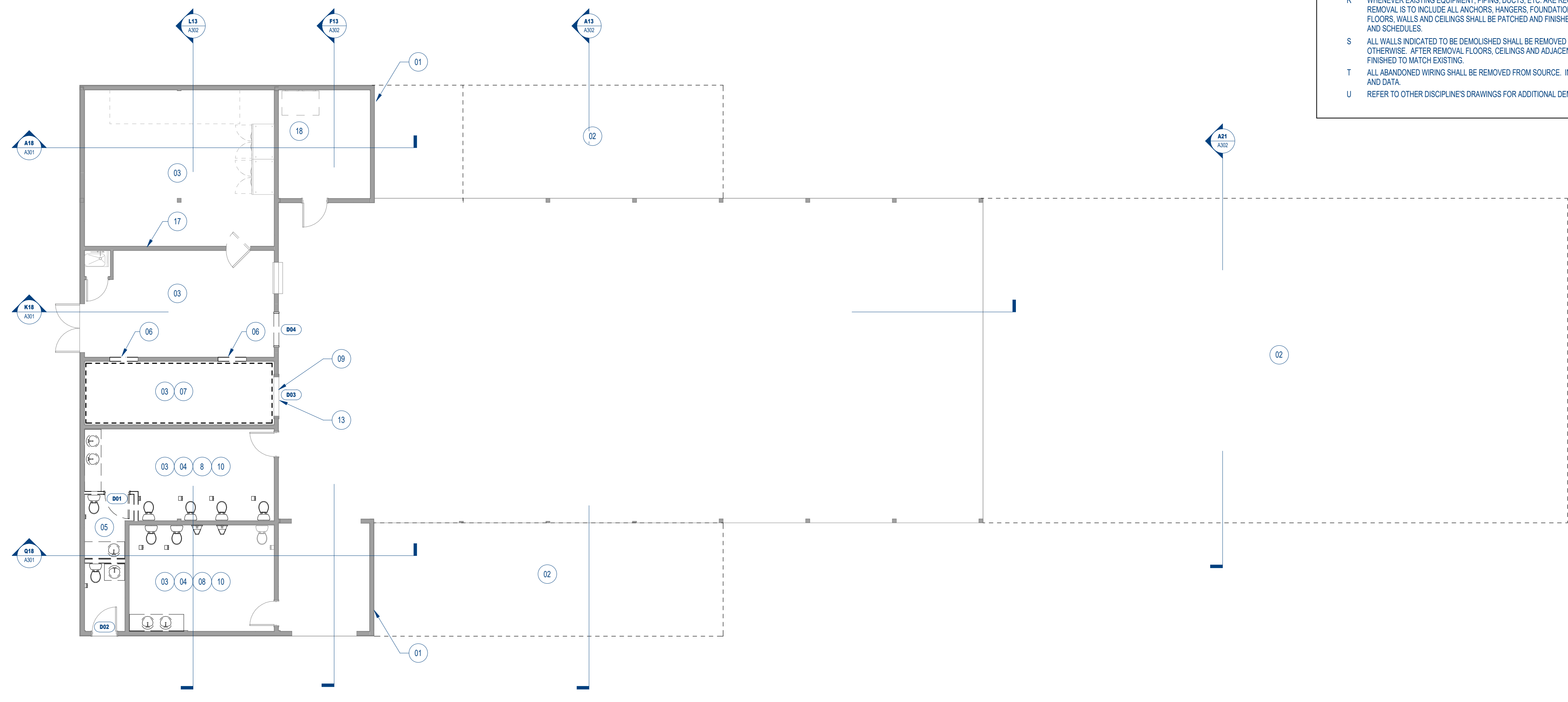
DEMOLITION & REMOVALS

- 01 SELECTIVE DEMOLITION OF EXISTING METAL SIDING TO ALLOW FOR NEW BUILDING ADDITION AT THIS LOCATION - SEE PLANS FOR NEW WORK
- 02 REMOVE EXISTING CONCRETE, GRAVEL, ASPHALT, ETC. AT THIS LOCATION AND PREP SITE AND ADJACENT BUILDING SLAB FOR NEW WORK
- 03 SELECTIVE SLAB REMOVAL REQUIRED FOR NEW WATER AND SEWER - SEE PLUMBING AND FOOD SERVICE DRAWINGS FOR REFERENCE
- 04 REMOVE EXISTING WALL FINISHES AT ALL SIDES OF THE ROOM. SELECTIVE DEMO OF GYP. BD. REQUIRED AT FUTURE WET WALLS AND FIXTURE LOCATIONS - SEE PLUMBING AND ARCHITECTURAL FOR REFERENCE
- 05 DEMO EXISTING TOILET AND TOILET FIXTURES AND PREPARE AREA FOR FUTURE ACCESSIBLE TOILET AND LAUNDRY SPACE
- 06 DEMO EXISTING WALL AND PREPARE FOR NEW FRAMED OPENING
- 07 EXISTING COOLER TO BE REMOVED AND RELOCATED - SEE FLOOR PLAN PHASE 01
- 08 ALL EXISTING RESTROOM FIXTURES TO BE REMOVED AND REPLACED - SEE ENLARGED RESTROOM PLANS
- 09 INFILL EXISTING WALL OPENING - STAINED WOOD VENEER - TO MATCH EXISTING
- 10 REMOVE ALL EXISTING FRP IN RESTROOMS - PREP FOR NEW WALL FINISH PER FINISH PLAN
- 11 DEMO EXISTING WALL AND PREPARE FOR NEW DOOR AND FRAMED OPENING - SEE FRAMED OPENING SCHEDULE
- 12 REMOVE EXISTING EXTERIOR DOOR AND PREPARE FOR INFILL WALL AND NEW SIDING - TO MATCH EXISTING
- 13 DEMO EXISTING WALL AND OPENING TO ALLOW FOR WALKIN RELOCATION. PREPARE OPENING FOR FUTURE INFILL WALL AND RECLADDING - TO MATCH EXISTING - SEE PLANS
- 14 REMOVE EXISTING METAL SIDING, TRIM, FASCIA, GUTTERS, ETC. AT THIS FACADE TO PREPARE FOR NEW CONSTRUCTION - SEE PHASE 02 NEW CONSTRUCTION PLANS FOR ADDITIONAL INFO
- 15 EXISTING DOWNSPOUT LOCATION - REMOVE AND REPLACE DOWNSPOUT TO MATCH EXISTING
- 16 REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS. REPLACE WITH NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING - TYP
- 17 SELECTIVE DEMO OF WALL FINISH AND GYP. BD. REQUIRED TO INSTALL NEW EQUIPMENT AND PLUMBING FIXTURES - SEE FOOD SERVICE DWGS
- 18 SELECTIVE DEMO OF SLAB REQUIRED FOR NEW BUILDING ELECTRICAL - SEE ELECT. DWGS
- 19 PREP EXISTING AREA FOR FUTURE ADDITION BUILD-OUT STUBBING AND CONDUIT
- 20 ALL FUTURE EQUIPMENT AND UTILITIES TO BE STUBBED IN BUILDING SHELL ADDITION TO ALLOW FOR FUTURE KITCHEN ADDITION BUILD-OUT

GENERAL NOTES

DEMOLITION & REMOVALS

- A DEMOLITION NOTES PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS PERTAINING TO ALL CONDITIONS SIMILAR TO THOSE INDICATED, WHETHER SPECIFICALLY IDENTIFIED OR NOT
- B IF DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY
- C THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL & PLUMBING UNLESS NOTED OTHERWISE
- D THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION
- E THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK
- F NO TRASH OR DEBRIS SHALL BE STORED ON SITE. REMOVE ALL DEMOLISHED MATERIALS FROM SITE DAILY
- G THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS
- H PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN W/ NEW
- I ALL PENETRATIONS, NEW OR EXISTING, IN EXISTING RATED WALLS TO BE REPAIRED WITH CODES APPROVED MATERIALS OF EQUAL OR GREATER FIRE RESISTANCE
- J ALL ORIGINAL CODE REQUIRED FIRE RATED PARTITIONS, FIREPROOFINGS, ASSEMBLIES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL RATING
- K THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, ETC. AND PROPERLY STORE THESE ITEMS FOR THE OWNER TO REUSE OR SALVAGE AT THEIR DISCRETION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, HVAC UNITS AND DUCTING, PLUMBING FIXTURES, CURTAINS & WINDOW TREATMENT, ETC. AFTER FIRST REFUSAL BY THE OWNER, THE CONTRACTOR MAY DISCARD THESE ITEMS
- L ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PROPERLY PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BOND. COORDINATE W/ TENANT EXTENT OF EXISTING FLOOR & WALL FINISH REMOVAL
- M ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC. IS TO BE REMOVED
- N RAISE EXISTING PIPING, CONDUIT, ETC. AS REQUIRED TO ACCOMMODATE NEW CEILING, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHERE FEASIBLE
- O DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO ENSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK
- P ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED
- Q PATCH AND REPAIR ALL AREAS OF EXISTING STRUCTURE AFFECTED BY DEMOLITION TO MATCH NEW CONSTRUCTION
- R WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES
- S ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL FLOORS, CEILINGS AND ADJACENT WALLS SHALL BE REPAIRED & FINISHED TO MATCH EXISTING
- T ALL ABANDONED WIRING SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL, TELEPHONE, AND DATA
- U REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL DEMOLITION



DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 PHASE 01 DEMO PLAN - FLOOR PLAN

AD101

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

NOTE: CONTRACTOR TO DEMO EXISTING BUILDING ELEMENTS AND PREPARE FOR FUTURE WORK IN ALL THREE (3) PHASES SHOWN IN THE DRAWINGS.

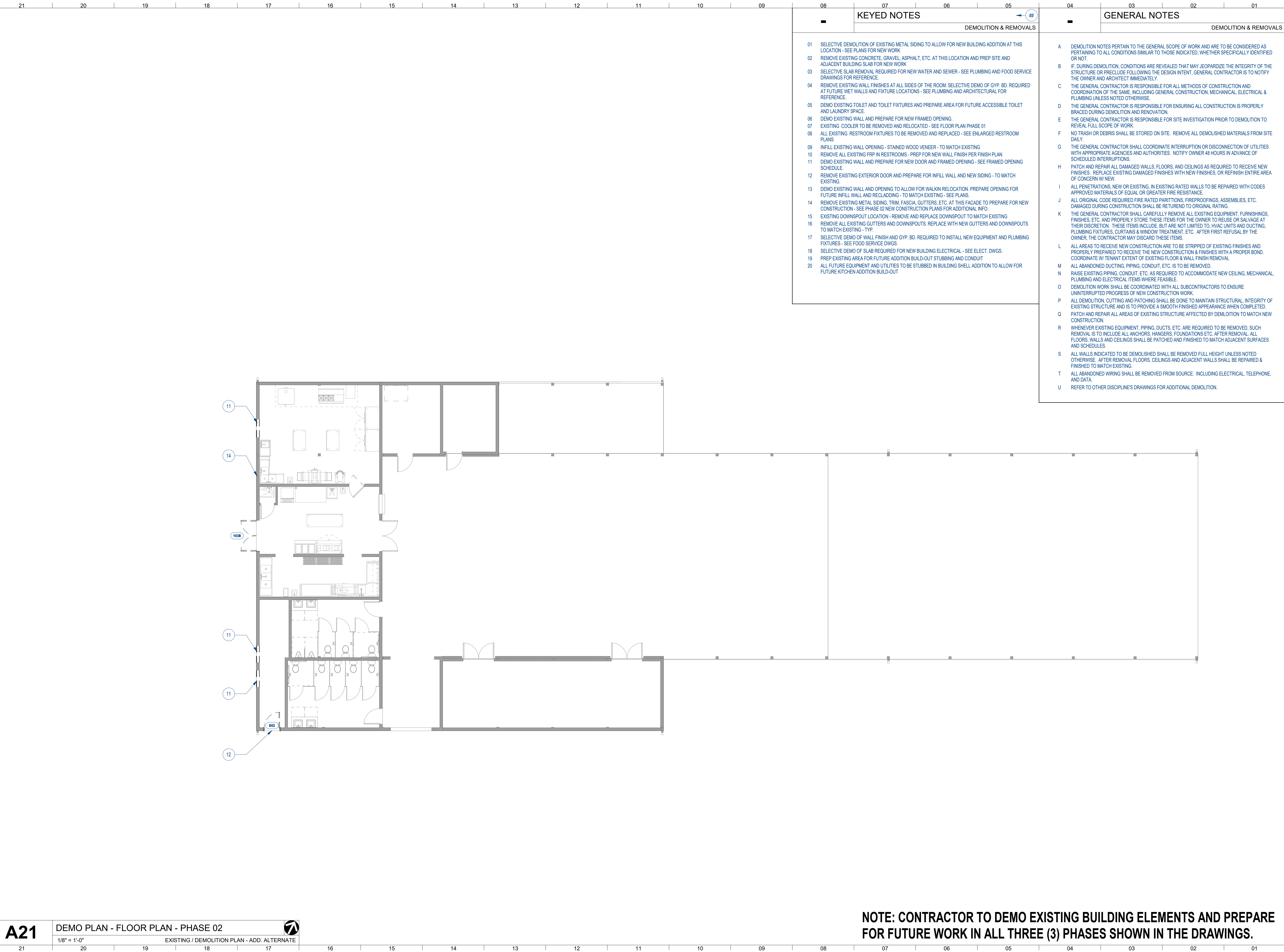
A21 DEMO PLAN - FLOOR PLAN - PHASE 01

1/8" = 1'-0"

EXISTING / DEMOLITION PLAN - BASE BID

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01

4/4/2024 11:09:19 AM



NOTE: CONTRACTOR TO DEMO EXISTING BUILDING ELEMENTS AND PREPARE FOR FUTURE WORK IN ALL THREE (3) PHASES SHOWN IN THE DRAWINGS.

KEYED NOTES	
NO.	DESCRIPTION
01	SELECTIVE DEMOLITION OF EXISTING METAL SIDING TO ALLOW FOR NEW BUILDING ADDITION AT THIS LOCATION - SEE PLANS FOR NEW WORK
02	REMOVE EXISTING CONCRETE, GRAVEL, ASPHALT, ETC. AT THIS LOCATION AND PREP SITE AND ADJACENT BUILDING SLAB FOR NEW WORK
03	SELECTIVE SLAB REMOVAL REQUIRED FOR NEW WATER AND SEWER - SEE PLUMBING AND FOOD SERVICE DRAWINGS FOR REFERENCE
04	REMOVE EXISTING WALL FINISHES AT ALL SIDES OF THE ROOM. SELECTIVE DEMO OF GYP. BD. REQUIRED AT FUTURE WET WALLS AND FIXTURE LOCATIONS - SEE PLUMBING AND ARCHITECTURAL FOR REFERENCE
05	DEMO EXISTING TOILET AND TOILET FIXTURES AND PREPARE AREA FOR FUTURE ACCESSIBLE TOILET AND LAUNDRY SPACE
06	DEMO EXISTING WALL AND PREPARE FOR NEW FRAMED OPENING
07	EXISTING COOLER TO BE REMOVED AND RELOCATED - SEE FLOOR PLAN PHASE 01
08	ALL EXISTING RESTROOM FIXTURES TO BE REMOVED AND REPLACED - SEE ENLARGED RESTROOM PLANS
09	INFILL EXISTING WALL OPENING - STAINED WOOD VENEER - TO MATCH EXISTING
10	REMOVE ALL EXISTING FRP IN RESTROOMS - PREP FOR NEW WALL FINISH PER FINISH PLAN
11	DEMO EXISTING WALL AND PREPARE FOR NEW DOOR AND FRAMED OPENING - SEE FRAMED OPENING SCHEDULE
12	REMOVE EXISTING EXTERIOR DOOR AND PREPARE FOR INFILL WALL AND NEW SIDING - TO MATCH EXISTING
13	DEMO EXISTING WALL AND OPENING TO ALLOW FOR WALKIN RELOCATION. PREPARE OPENING FOR FUTURE INFILL WALL AND RECLADDING - TO MATCH EXISTING - SEE PLANS
14	REMOVE EXISTING METAL SIDING, TRIM, FASCIA, GUTTERS, ETC. AT THIS FACADE TO PREPARE FOR NEW CONSTRUCTION - SEE PHASE 02 NEW CONSTRUCTION PLANS FOR ADDITIONAL INFO
15	EXISTING DOWNSPOUT LOCATION - REMOVE AND REPLACE DOWNSPOUT TO MATCH EXISTING
16	REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS. REPLACE WITH NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING - TYP.
17	SELECTIVE DEMO OF WALL FINISH AND GYP. BD. REQUIRED TO INSTALL NEW EQUIPMENT AND PLUMBING FIXTURES - SEE FOOD SERVICE DWGS
18	SELECTIVE DEMO OF SLAB REQUIRED FOR NEW BUILDING ELECTRICAL - SEE ELECT. DWGS.
19	PREP EXISTING AREA FOR FUTURE ADDITION BUILD-OUT STUBBING AND CONDUIT
20	ALL FUTURE EQUIPMENT AND UTILITIES TO BE STUBBED IN BUILDING SHELL ADDITION TO ALLOW FOR FUTURE KITCHEN ADDITION BUILD-OUT

GENERAL NOTES	
LETTER	DESCRIPTION
A	DEMOLITION NOTES PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS PERTAINING TO ALL CONDITIONS SIMILAR TO THOSE INDICATED, WHETHER SPECIFICALLY IDENTIFIED OR NOT.
B	IF DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
C	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL & PLUMBING UNLESS NOTED OTHERWISE.
D	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
E	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
F	NO TRASH OR DEBRIS SHALL BE STORED ON SITE. REMOVE ALL DEMOLISHED MATERIALS FROM SITE DAILY.
G	THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
H	PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN W/ NEW.
I	ALL PENETRATIONS, NEW OR EXISTING, IN EXISTING RATED WALLS TO BE REPAIRED WITH CODES APPROVED MATERIALS OF EQUAL OR GREATER FIRE RESISTANCE.
J	ALL ORIGINAL CODE REQUIRED FIRE RATED PARTITIONS, FIREPROOFINGS, ASSEMBLIES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL RATINGS.
K	THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, ETC. AND PROPERLY STORE THESE ITEMS FOR THE OWNER TO REUSE OR SALVAGE AT THEIR DISCRETION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, HVAC UNITS AND DUCTING, PLUMBING FIXTURES, CURTAINS & WINDOW TREATMENT, ETC. AFTER FIRST REFUSAL BY THE OWNER, THE CONTRACTOR MAY DISCARD THESE ITEMS.
L	ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PROPERLY PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BOND. COORDINATE W/ TENANT EXTENT OF EXISTING FLOOR & WALL FINISH REMOVAL.
M	ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC. IS TO BE REMOVED.
N	RAISE EXISTING PIPING, CONDUIT, ETC. AS REQUIRED TO ACCOMMODATE NEW CEILING, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHERE FEASIBLE.
O	DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO ENSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK
P	ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
Q	PATCH AND REPAIR ALL AREAS OF EXISTING STRUCTURE AFFECTED BY DEMOLITION TO MATCH NEW CONSTRUCTION.
R	WHenever EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
S	ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL FLOORS, CEILINGS AND ADJACENT WALLS SHALL BE REPAIRED & FINISHED TO MATCH EXISTING.
T	ALL ABANDONED WIRING SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL, TELEPHONE, AND DATA.
U	REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL DEMOLITION.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



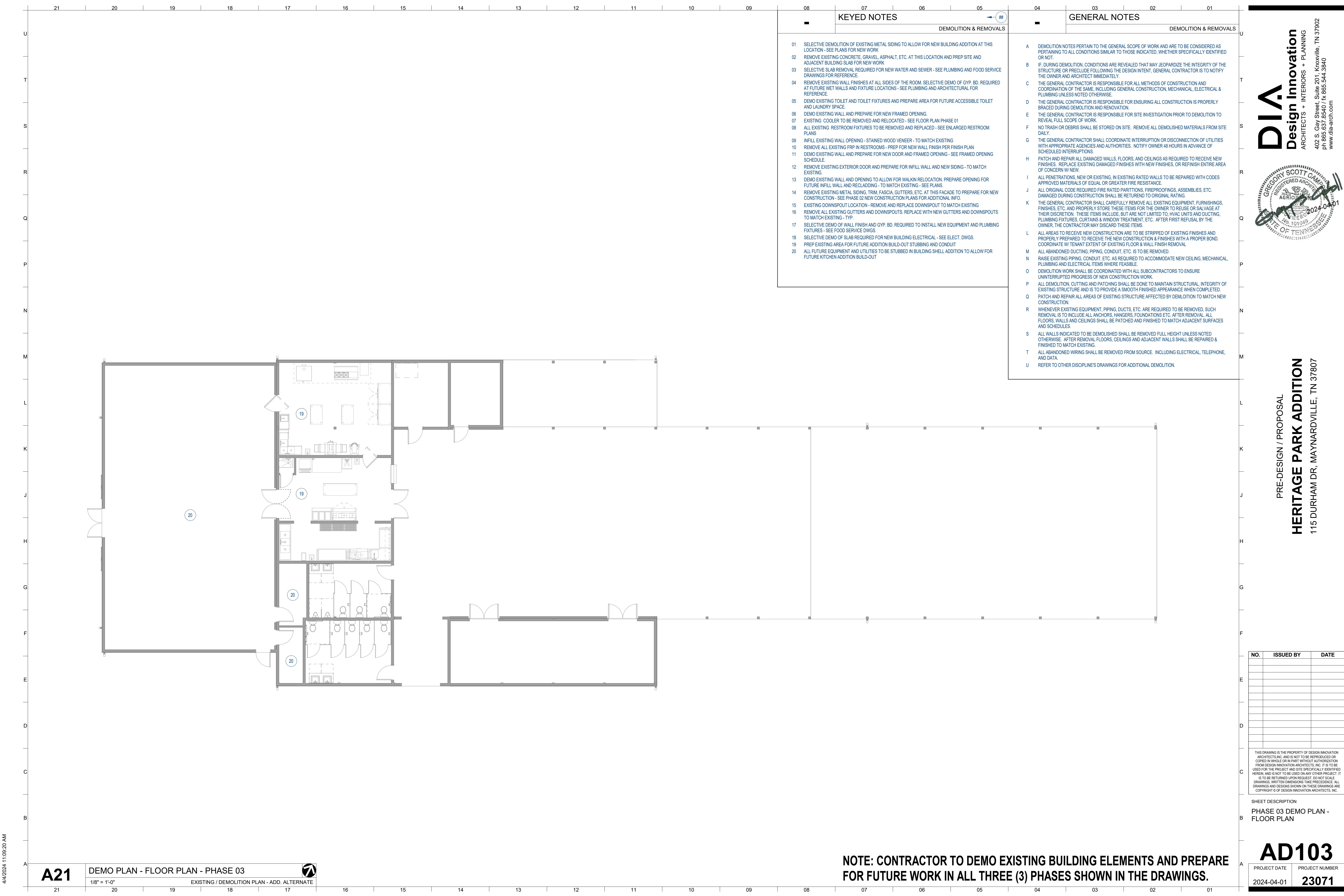
PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 PHASE 02 DEMO PLAN - FLOOR PLAN

AD102
 PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071



KEYED NOTES

GENERAL NOTES

- 01 SELECTIVE DEMOLITION OF EXISTING METAL SIDING TO ALLOW FOR NEW BUILDING ADDITION AT THIS LOCATION - SEE PLANS FOR NEW WORK
- 02 REMOVE EXISTING CONCRETE, GRAVEL, ASPHALT, ETC. AT THIS LOCATION AND PREP SITE AND ADJACENT BUILDING SLAB FOR NEW WORK
- 03 SELECTIVE SLAB REMOVAL REQUIRED FOR NEW WATER AND SEWER - SEE PLUMBING AND FOOD SERVICE DRAWINGS FOR REFERENCE
- 04 REMOVE EXISTING WALL FINISHES AT ALL SIDES OF THE ROOM. SELECTIVE DEMO OF GYP. BD. REQUIRED AT FUTURE WET WALLS AND FIXTURE LOCATIONS - SEE PLUMBING AND ARCHITECTURAL FOR REFERENCE
- 05 DEMO EXISTING TOILET AND TOILET FIXTURES AND PREPARE AREA FOR FUTURE ACCESSIBLE TOILET AND LAUNDRY SPACE
- 06 DEMO EXISTING WALL AND PREPARE FOR NEW FRAMED OPENING
- 07 EXISTING COOLER TO BE REMOVED AND RELOCATED - SEE FLOOR PLAN PHASE 01
- 08 ALL EXISTING RESTROOM FIXTURES TO BE REMOVED AND REPLACED - SEE ENLARGED RESTROOM PLANS
- 09 INFILL EXISTING WALL OPENING - STAINED WOOD VENEER - TO MATCH EXISTING
- 10 REMOVE ALL EXISTING FRP IN RESTROOMS - PREP FOR NEW WALL FINISH PER FINISH PLAN
- 11 DEMO EXISTING WALL AND PREPARE FOR NEW DOOR AND FRAMED OPENING - SEE FRAMED OPENING SCHEDULE
- 12 REMOVE EXISTING EXTERIOR DOOR AND PREPARE FOR INFILL WALL AND NEW SIDING - TO MATCH EXISTING
- 13 DEMO EXISTING WALL AND OPENING TO ALLOW FOR WALKIN RELOCATION. PREPARE OPENING FOR FUTURE INFILL WALL AND RECLADDING - TO MATCH EXISTING - SEE PLANS
- 14 REMOVE EXISTING METAL SIDING, TRIM, FASCIA, GUTTERS, ETC. AT THIS FACADE TO PREPARE FOR NEW CONSTRUCTION - SEE PHASE 02 NEW CONSTRUCTION PLANS FOR ADDITIONAL INFO.
- 15 EXISTING DOWNSPOUT LOCATION - REMOVE AND REPLACE DOWNSPOUT TO MATCH EXISTING
- 16 REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS. REPLACE WITH NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING - TYP.
- 17 SELECTIVE DEMO OF WALL FINISH AND GYP. BD. REQUIRED TO INSTALL NEW EQUIPMENT AND PLUMBING FIXTURES - SEE FOOD SERVICE DWGS.
- 18 SELECTIVE DEMO OF SLAB REQUIRED FOR NEW BUILDING ELECTRICAL - SEE ELECT. DWGS.
- 19 PREP EXISTING AREA FOR FUTURE ADDITION BUILD-OUT STUBBING AND CONDUIT
- 20 ALL FUTURE EQUIPMENT AND UTILITIES TO BE STUBBED IN BUILDING SHELL ADDITION TO ALLOW FOR FUTURE KITCHEN ADDITION BUILD-OUT

- A DEMOLITION NOTES PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS PERTAINING TO ALL CONDITIONS SIMILAR TO THOSE INDICATED, WHETHER SPECIFICALLY IDENTIFIED OR NOT.
- B IF DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- C THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL & PLUMBING UNLESS NOTED OTHERWISE.
- D THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
- E THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- F NO TRASH OR DEBRIS SHALL BE STORED ON SITE. REMOVE ALL DEMOLISHED MATERIALS FROM SITE DAILY.
- G THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
- H PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN W/ NEW.
- I ALL PENETRATIONS, NEW OR EXISTING, IN EXISTING RATED WALLS TO BE REPAIRED WITH CODES APPROVED MATERIALS OF EQUAL OR GREATER FIRE RESISTANCE.
- J ALL ORIGINAL CODE REQUIRED FIRE RATED PARTITIONS, FIREPROOFINGS, ASSEMBLIES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL RATINGS.
- K THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, ETC. AND PROPERLY STORE THESE ITEMS FOR THE OWNER TO REUSE OR SALVAGE AT THEIR DISCRETION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, HVAC UNITS AND DUCTING, PLUMBING FIXTURES, CURTAINS & WINDOW TREATMENT, ETC. AFTER FIRST REFUSAL BY THE OWNER, THE CONTRACTOR MAY DISCARD THESE ITEMS.
- L ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PROPERLY PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BOND. COORDINATE W/ TENANT EXTENT OF EXISTING FLOOR & WALL FINISH REMOVAL.
- M ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC. IS TO BE REMOVED.
- N RAISE EXISTING PIPING, CONDUIT, ETC. AS REQUIRED TO ACCOMMODATE NEW CEILING, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHERE FEASIBLE.
- O DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO ENSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK
- P ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
- Q PATCH AND REPAIR ALL AREAS OF EXISTING STRUCTURE AFFECTED BY DEMOLITION TO MATCH NEW CONSTRUCTION.
- R WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
- S ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL FLOORS, CEILINGS AND ADJACENT WALLS SHALL BE REPAIRED & FINISHED TO MATCH EXISTING.
- T ALL ABANDONED WIRING SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL, TELEPHONE, AND DATA.
- U REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL DEMOLITION.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

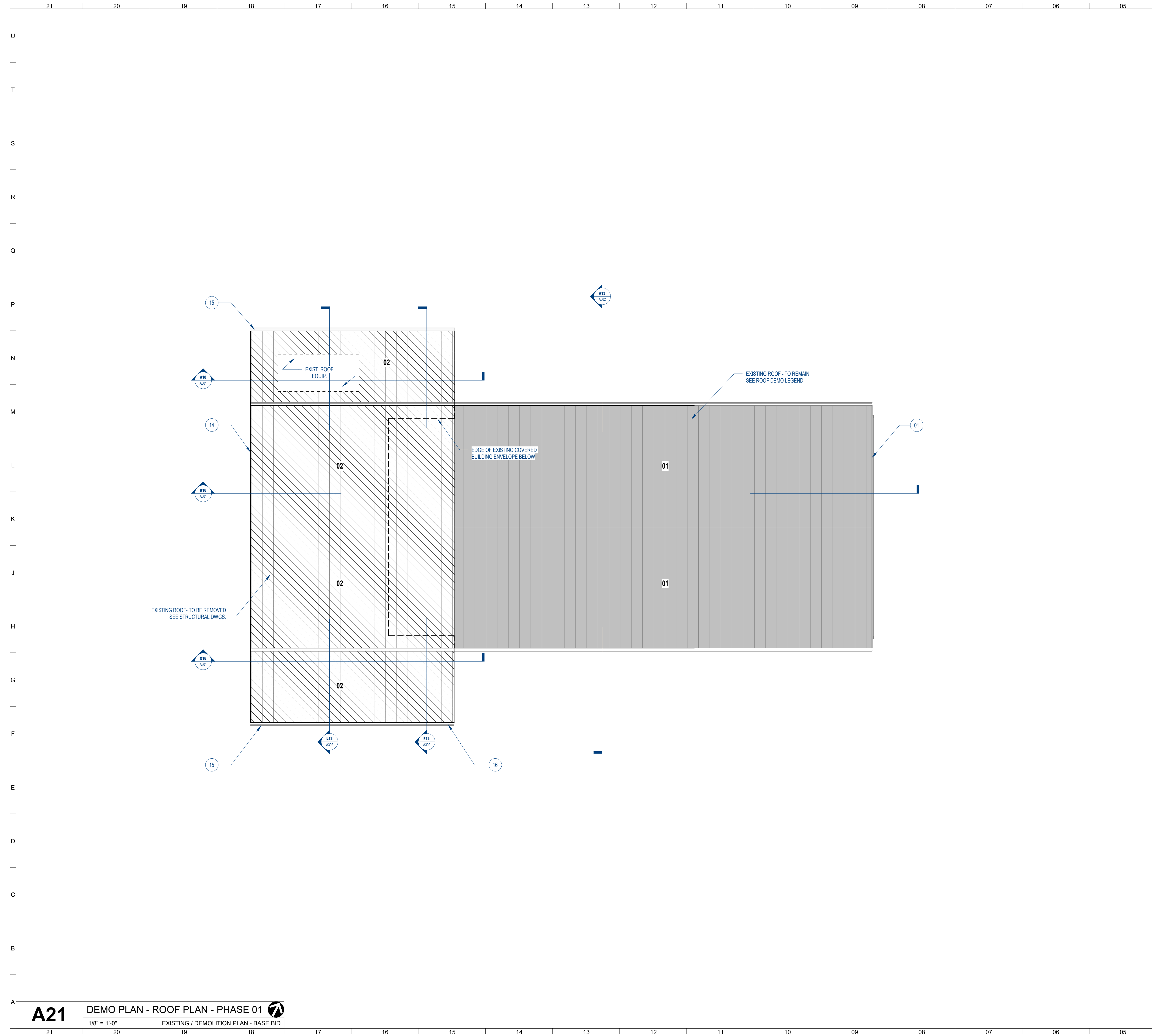
SHEET DESCRIPTION
 PHASE 03 DEMO PLAN - FLOOR PLAN

AD103
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

NOTE: CONTRACTOR TO DEMO EXISTING BUILDING ELEMENTS AND PREPARE FOR FUTURE WORK IN ALL THREE (3) PHASES SHOWN IN THE DRAWINGS.

4/4/2024 11:09:20 AM

4/4/2024 11:09:21 AM



GENERAL NOTES

DEMOLITION & REMOVALS

- A DEMOLITION NOTES PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS PERTAINING TO ALL CONDITIONS SIMILAR TO THOSE INDICATED, WHETHER SPECIFICALLY IDENTIFIED OR NOT.
- B IF, DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- C THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL & PLUMBING UNLESS NOTED OTHERWISE.
- D THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
- E THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- F NO TRASH OR DEBRIS SHALL BE STORED ON SITE. REMOVE ALL DEMOLISHED MATERIALS FROM SITE DAILY.
- G THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
- H PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN WITH NEW.
- I ALL PENETRATIONS, NEW OR EXISTING, IN EXISTING RATED WALLS TO BE REPAIRED WITH CODES APPROVED MATERIALS OF EQUAL OR GREATER FIRE RESISTANCE.
- J ALL ORIGINAL CODE REQUIRED FIRE RATED PARTITIONS, FIREPROOFINGS, ASSEMBLIES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL RATINGS.
- K THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, ETC. AND PROPERLY STORE THESE ITEMS FOR THE OWNER TO REUSE OR SALVAGE AT THEIR DISCRETION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, HVAC UNITS AND DUCTING, PLUMBING FIXTURES, CURTAINS & WINDOW TREATMENT, ETC. AFTER FIRST REFUSAL BY THE OWNER, THE CONTRACTOR MAY DISCARD THESE ITEMS.
- L ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PROPERLY PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BOND. COORDINATE WITH TENANT EXTENT OF EXISTING FLOOR & WALL FINISH REMOVAL.
- M ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC. IS TO BE REMOVED.
- N RAISE EXISTING PIPING, CONDUIT, ETC. AS REQUIRED TO ACCOMMODATE NEW CEILING, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHERE FEASIBLE.
- O DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO ENSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK.
- P ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
- Q PATCH AND REPAIR ALL AREAS OF EXISTING STRUCTURE AFFECTED BY DEMOLITION TO MATCH NEW CONSTRUCTION.
- R WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
- S ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL, FLOORS, CEILINGS AND ADJACENT WALLS SHALL BE REPAIRED & FINISHED TO MATCH EXISTING.
- T ALL ABANDONED WIRING SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL, TELEPHONE, AND DATA.
- U REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL DEMOLITION.

KEYED NOTES

DEMOLITION & REMOVALS

- 01 SELECTIVE DEMOLITION OF EXISTING METAL SIDING TO ALLOW FOR NEW BUILDING ADDITION AT THIS LOCATION - SEE PLANS FOR NEW WORK
- 02 REMOVE EXISTING CONCRETE, GRAVEL, ASPHALT, ETC. AT THIS LOCATION AND PREP SITE AND ADJACENT BUILDING SLAB FOR NEW WORK
- 03 SELECTIVE SLAB REMOVAL REQUIRED FOR NEW WATER AND SEWER - SEE PLUMBING AND FOOD SERVICE DRAWINGS FOR REFERENCE
- 04 REMOVE EXISTING WALL FINISHES AT ALL SIDES OF THE ROOM. SELECTIVE DEMO OF GYP. BD. REQUIRED AT FUTURE WET WALLS AND FIXTURE LOCATIONS - SEE PLUMBING AND ARCHITECTURAL FOR REFERENCE
- 05 DEMO EXISTING TOILET AND TOILET FIXTURES AND PREPARE AREA FOR FUTURE ACCESSIBLE TOILET AND LAUNDRY SPACE
- 06 DEMO EXISTING WALL AND PREPARE FOR NEW FRAMED OPENING
- 07 EXISTING COOLER TO BE REMOVED AND RELOCATED - SEE FLOOR PLAN PHASE 01
- 08 ALL EXISTING RESTROOM FIXTURES TO BE REMOVED AND REPLACED - SEE ENLARGED RESTROOM PLANS
- 09 INFILL EXISTING WALL OPENING - STAINED WOOD VENEER - TO MATCH EXISTING
- 10 REMOVE ALL EXISTING FRP IN RESTROOMS - PREP FOR NEW WALL FINISH PER FINISH PLAN
- 11 DEMO EXISTING WALL AND PREPARE FOR NEW DOOR AND FRAMED OPENING - SEE FRAMED OPENING SCHEDULE
- 12 REMOVE EXISTING EXTERIOR DOOR AND PREPARE FOR INFILL WALL AND NEW SIDING - TO MATCH EXISTING
- 13 DEMO EXISTING WALL AND OPENING TO ALLOW FOR WALKIN RELOCATION. PREPARE OPENING FOR FUTURE INFILL WALL AND RECLADDING - TO MATCH EXISTING - SEE PLANS
- 14 REMOVE EXISTING METAL SIDING, TRIM, FASCIA, GUTTERS, ETC. AT THIS FACADE TO PREPARE FOR NEW CONSTRUCTION - SEE PHASE 02 NEW CONSTRUCTION PLANS FOR ADDITIONAL INFO.
- 15 EXISTING DOWNSPOUT LOCATION - REMOVE AND REPLACE DOWNSPOUT TO MATCH EXISTING
- 16 REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS. REPLACE WITH NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING - TYP.
- 17 SELECTIVE DEMO OF WALL FINISH AND GYP. BD. REQUIRED TO INSTALL NEW EQUIPMENT AND PLUMBING FIXTURES - SEE FOOD SERVICE DWGS.
- 18 SELECTIVE DEMO OF SLAB REQUIRED FOR NEW BUILDING ELECTRICAL - SEE ELECT. DWGS.
- 19 PREP EXISTING AREA FOR FUTURE ADDITION BUILD-OUT STUBBING AND CONDUIT
- 20 ALL FUTURE EQUIPMENT AND UTILITIES TO BE STUBBED IN BUILDING SHELL ADDITION TO ALLOW FOR FUTURE KITCHEN ADDITION BUILD-OUT

ROOF DEMO LEGEND

01 - EXISTING TO REMAIN

02 - EXISTING ROOF TO BE REMOVED TO ALLOW FOR NEW DECKING TO BE INSTALLED TO STRUCTURE BELOW. EXISTING ROOF TO BE RE-INSTALLED AFTER NEW DECKING.

- SEE STRUCTURAL FOR MORE DETAILED INFORMATION
- SEE ROOF PLAN FOR EXTENTS OF INSTALLATION

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNATIONS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

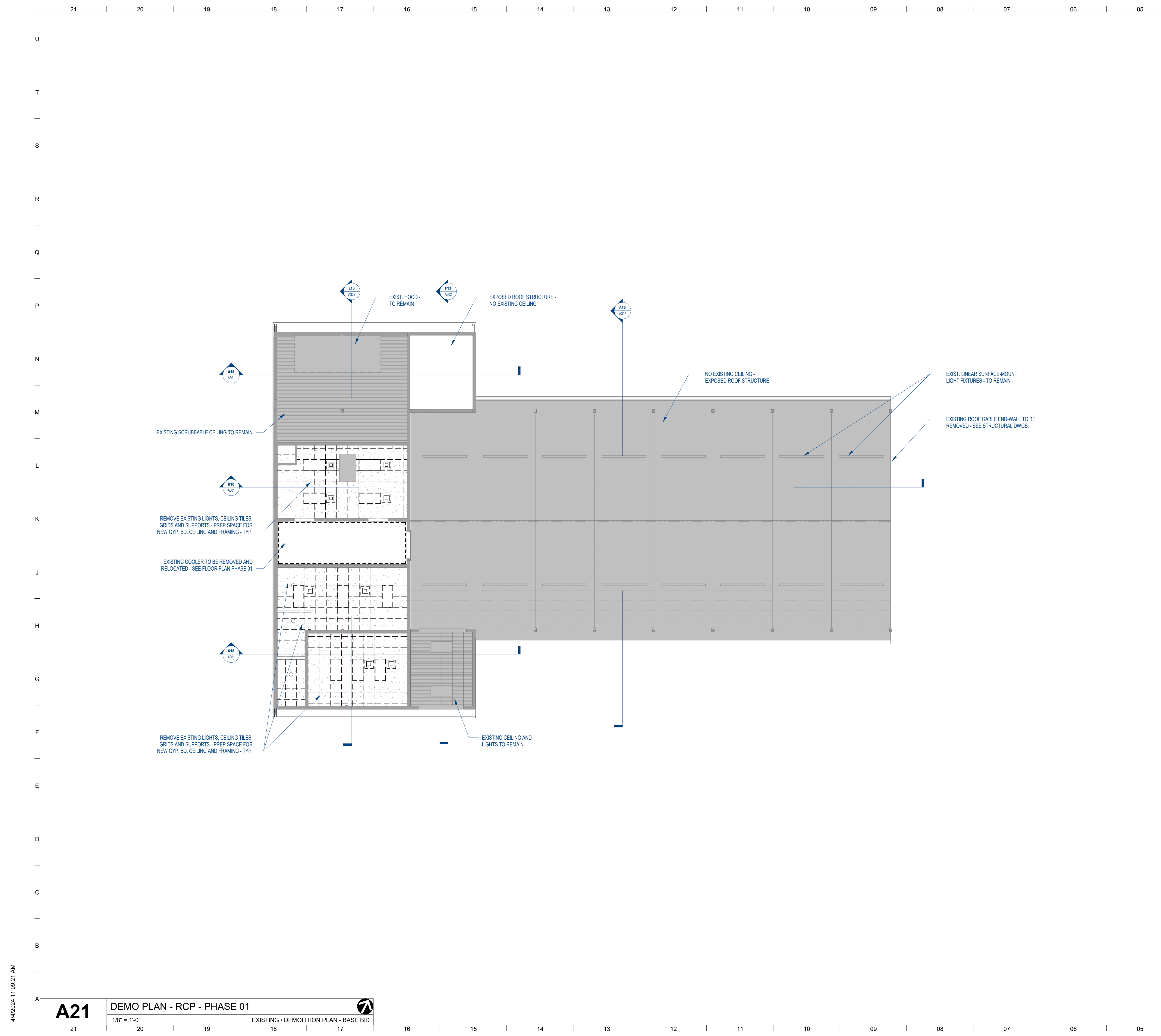
SHEET DESCRIPTION
DEMO PLAN - ROOF PLAN

AD104
PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807



- ### GENERAL NOTES
- DEMOLITION & REMOVALS
- A DEMOLITION NOTES PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS PERTAINING TO ALL CONDITIONS SIMILAR TO THOSE INDICATED, WHETHER SPECIFICALLY IDENTIFIED OR NOT.
 - B IF DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
 - C THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL & PLUMBING UNLESS NOTED OTHERWISE.
 - D THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
 - E THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
 - F NO TRASH OR DEBRIS SHALL BE STORED ON SITE. REMOVE ALL DEMOLISHED MATERIALS FROM SITE DAILY.
 - G THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
 - H PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN W/ NEW.
 - I ALL PENETRATIONS, NEW OR EXISTING, IN EXISTING RATED WALLS TO BE REPAIRED WITH CODES APPROVED MATERIALS OF EQUAL OR GREATER FIRE RESISTANCE.
 - J ALL ORIGINAL CODE REQUIRED FIRE RATED PARTITIONS, FIREPROOFINGS, ASSEMBLIES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL RATINGS.
 - K THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, ETC. AND PROPERLY STORE THESE ITEMS FOR THE OWNER TO REUSE OR SALVAGE AT THEIR DISCRETION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, HVAC UNITS AND DUCTING, PLUMBING FIXTURES, CURTAINS & WINDOW TREATMENT, ETC. AFTER FIRST REFUSAL BY THE OWNER, THE CONTRACTOR MAY DISCARD THESE ITEMS.
 - L ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PROPERLY PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BOND. COORDINATE W/ TENANT EXTENT OF EXISTING FLOOR & WALL FINISH REMOVAL.
 - M ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC. IS TO BE REMOVED.
 - N RAISE EXISTING PIPING, CONDUIT, ETC. AS REQUIRED TO ACCOMMODATE NEW CEILING, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHERE FEASIBLE.
 - O DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO ENSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK.
 - P ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
 - Q PATCH AND REPAIR ALL AREAS OF EXISTING STRUCTURE AFFECTED BY DEMOLITION TO MATCH NEW CONSTRUCTION.
 - R WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
 - S ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL, FLOORS, CEILINGS AND ADJACENT WALLS SHALL BE REPAIRED & FINISHED TO MATCH EXISTING.
 - T ALL ABANDONED WIRING SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL, TELEPHONE, AND DATA.
 - U REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL DEMOLITION.

- ### KEYED NOTES
- DEMOLITION & REMOVALS
- 01 SELECTIVE DEMOLITION OF EXISTING METAL SIDING TO ALLOW FOR NEW BUILDING ADDITION AT THIS LOCATION - SEE PLANS FOR NEW WORK
 - 02 REMOVE EXISTING CONCRETE, GRAVEL, ASPHALT, ETC. AT THIS LOCATION AND PREP SITE AND ADJACENT BUILDING SLAB FOR NEW WORK
 - 03 SELECTIVE SLAB REMOVAL REQUIRED FOR NEW WATER AND SEWER - SEE PLUMBING AND FOOD SERVICE DRAWINGS FOR REFERENCE
 - 04 REMOVE EXISTING WALL FINISHES AT ALL SIDES OF THE ROOM. SELECTIVE DEMO OF GYP. BD. REQUIRED AT FUTURE WET WALLS AND FIXTURE LOCATIONS - SEE PLUMBING AND ARCHITECTURAL FOR REFERENCE
 - 05 DEMO EXISTING TOILET AND TOILET FIXTURES AND PREPARE AREA FOR FUTURE ACCESSIBLE TOILET AND LAUNDRY SPACE
 - 06 DEMO EXISTING WALL AND PREPARE FOR NEW FRAMED OPENING
 - 07 EXISTING COOLER TO BE REMOVED AND RELOCATED - SEE FLOOR PLAN PHASE 01
 - 08 ALL EXISTING RESTROOM FIXTURES TO BE REMOVED AND REPLACED - SEE ENLARGED RESTROOM PLANS
 - 09 INFILL EXISTING WALL OPENING - STAINED WOOD VENEER - TO MATCH EXISTING
 - 10 REMOVE ALL EXISTING FRP IN RESTROOMS - PREP FOR NEW WALL FINISH PER FINISH PLAN
 - 11 DEMO EXISTING WALL AND PREPARE FOR NEW DOOR AND FRAMED OPENING - SEE FRAMED OPENING SCHEDULE
 - 12 REMOVE EXISTING EXTERIOR DOOR AND PREPARE FOR INFILL WALL AND NEW SIDING - TO MATCH EXISTING
 - 13 DEMO EXISTING WALL AND OPENING TO ALLOW FOR WALKIN RELOCATION. PREPARE OPENING FOR FUTURE INFILL WALL AND RECLADDING - TO MATCH EXISTING - SEE PLANS.
 - 14 REMOVE EXISTING METAL SIDING, TRIM, FASCIA, GUTTERS, ETC. AT THIS FACADE TO PREPARE FOR NEW CONSTRUCTION - SEE PHASE 02 NEW CONSTRUCTION PLANS FOR ADDITIONAL INFO.
 - 15 EXISTING DOWNSPOUT LOCATION - REMOVE AND REPLACE DOWNSPOUT TO MATCH EXISTING
 - 16 REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS. REPLACE WITH NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING - TYP.
 - 17 SELECTIVE DEMO OF WALL FINISH AND GYP. BD. REQUIRED TO INSTALL NEW EQUIPMENT AND PLUMBING FIXTURES - SEE FOOD SERVICE DWGS.
 - 18 SELECTIVE DEMO OF SLAB REQUIRED FOR NEW BUILDING ELECTRICAL - SEE ELECT. DWGS.
 - 19 PREP EXISTING AREA FOR FUTURE ADDITION BUILD-OUT STUBBING AND CONDUIT
 - 20 ALL FUTURE EQUIPMENT AND UTILITIES TO BE STUBBED IN BUILDING SHELL ADDITION TO ALLOW FOR FUTURE KITCHEN ADDITION BUILD-OUT

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 PHASE 01 DEMO PLAN - RCP

AD105

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

4/4/2024 11:09:21 AM

A21

DEMO PLAN - RCP - PHASE 01

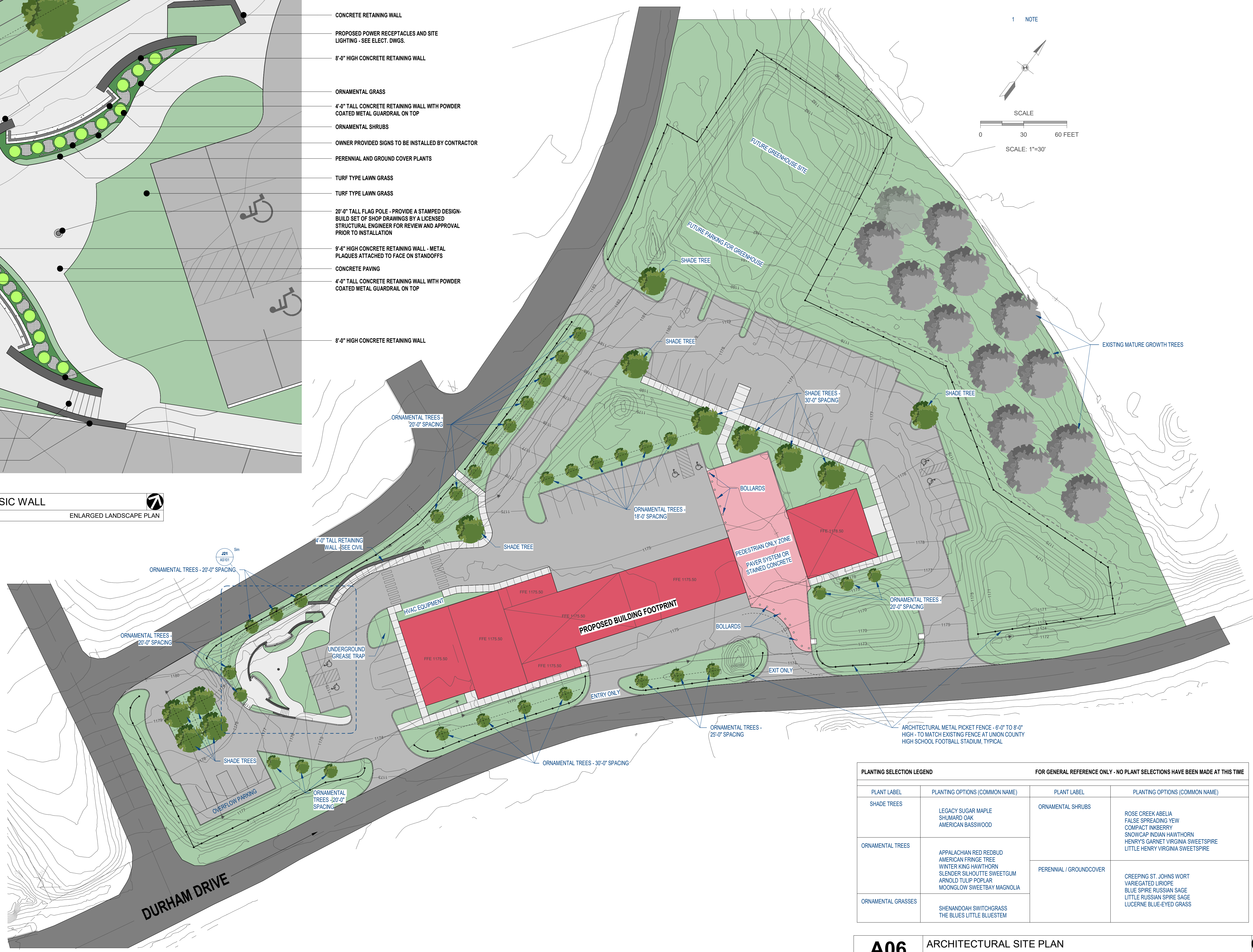
1/8" = 1'-0"

EXISTING / DEMOLITION PLAN - BASE BID



- TURF TYPE LAWN GRASS
- CONCRETE SITE STAIR - SEE CIVIL
- CONCRETE RETAINING WALL
- PROPOSED POWER RECEPTACLES AND SITE LIGHTING - SEE ELECT. DWGS.
- 8'-0" HIGH CONCRETE RETAINING WALL
- ORNAMENTAL GRASS
- 4'-0" TALL CONCRETE RETAINING WALL WITH POWDER COATED METAL GUARDRAIL ON TOP
- ORNAMENTAL SHRUBS
- OWNER PROVIDED SIGNS TO BE INSTALLED BY CONTRACTOR
- PERENNIAL AND GROUND COVER PLANTS
- TURF TYPE LAWN GRASS
- TURF TYPE LAWN GRASS
- 20'-0" TALL FLAG POLE - PROVIDE A STAMPED DESIGN-BUILD SET OF SHOP DRAWINGS BY A LICENSED STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
- 9'-6" HIGH CONCRETE RETAINING WALL - METAL PLAQUES ATTACHED TO FACE ON STANDOFFS
- CONCRETE PAVING
- 4'-0" TALL CONCRETE RETAINING WALL WITH POWDER COATED METAL GUARDRAIL ON TOP
- 8'-0" HIGH CONCRETE RETAINING WALL

J21 ENLARGED PLAN - MUSIC WALL
1/8" = 1'-0" ENLARGED LANDSCAPE PLAN



PLANTING SELECTION LEGEND FOR GENERAL REFERENCE ONLY - NO PLANT SELECTIONS HAVE BEEN MADE AT THIS TIME

PLANT LABEL	PLANTING OPTIONS (COMMON NAME)	PLANT LABEL	PLANTING OPTIONS (COMMON NAME)
SHADE TREES	LEGACY SUGAR MAPLE	ORNAMENTAL SHRUBS	ROSE CREEK ABELIA
	SHUMARD OAK		FALSE SPREADING YEW
	AMERICAN BASSWOOD		COMPACT INKBERRY
ORNAMENTAL TREES	APPALACHIAN RED REDBUD	PERENNIAL / GROUND COVER	SNOWCAP INDIAN HAWTHORN
	AMERICAN FRINGE TREE		HENRY'S GARNET VIRGINIA SWEETSPIRE
	WINTER KING HAWTHORN		LITTLE HENRY VIRGINIA SWEETSPIRE
	SLENDER SILHOUTTE SWEETGUM		
	ARNOLD TULIP POPLAR		
MOONGLOW SWEETBAY MAGNOLIA			
ORNAMENTAL GRASSES	SHENANDOAH SWITCHGRASS		CREEPING ST. JOHNS WORT
	THE BLUES LITTLE BLUESTEM		VARIEGATED LIRIOPE
			BLUE SPIRE RUSSIAN SAGE
			LITTLE RUSSIAN SPIRE SAGE
			LUCERNE BLUE-EYED GRASS

A06 ARCHITECTURAL SITE PLAN
1/32" = 1'-0"

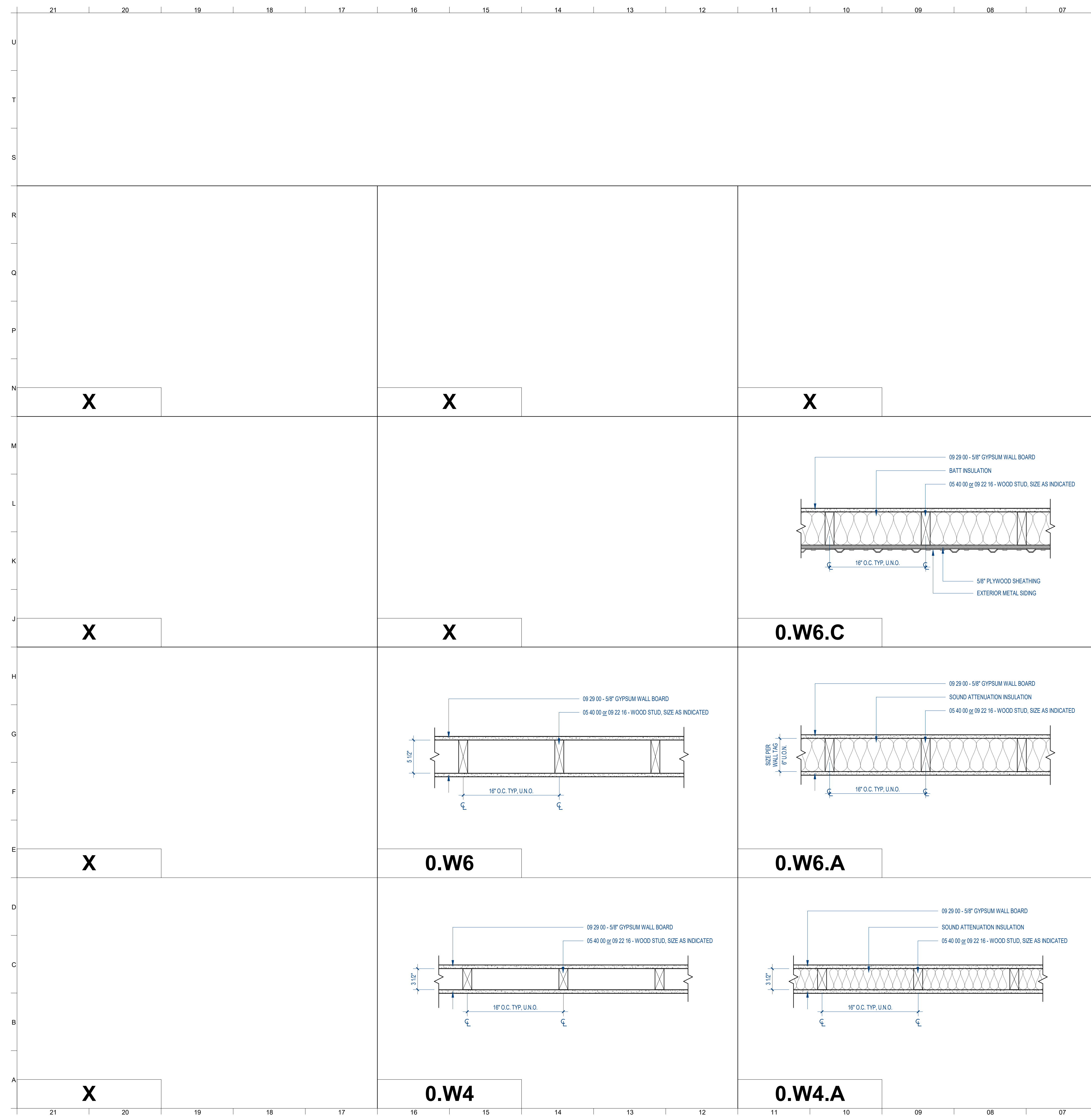


NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
ARCHITECTURAL SITE PLAN

4/4/2024 11:09:55 AM



GENERAL NOTES

WALL TYPES

A ALL INTERIOR WALLS NOT TAGGED TO BE WALL TYPE S3, NON-FIRE-RATED, & UP TO UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE.
 B PROVIDE TYPE 'X' GYPSUM WALL BOARD AT ALL INTERIOR FIRE-RATED WALLS. COORDINATE ASSEMBLY REQUIREMENTS WITH UL DETAILS ON AG111+.
 C PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL TOILET & LOCKER ROOMS, KITCHEN WET WALLS, & JANITOR CLOSETS. USE CEMENTITIOUS TILE BACKER-BOARD AT WALL TILE LOCATIONS.
 D PROVIDE GLASS FIBER SOUND ATTENUATION BLANKETS TO FILL CAVITY AT PERIMETER OF ALL TOILET & LOCKER ROOMS, PERIMETER OF ALL CONFERENCE ROOMS, & AT SHARED DEMISING WALLS BETWEEN PRIVATE OFFICES. TYPICAL UNLESS NOTED OTHERWISE.
 E REFER TO PROJECT SPECIFICATIONS FOR ALL NON-LOAD BEARING METAL STUD GAUGE REQUIREMENTS & ADDITIONAL INFORMATION.
 F REFER TO STRUCTURAL FOR EXTERIOR & LOAD BEARING METAL STUDS, FOR REINFORCING REQUIREMENTS, & ADDITIONAL INFORMATION.
 H ALL EXTERIOR WALLS TO BE 6" METAL STUDS UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS & ENLARGED DETAILS FOR ADDITIONAL INFORMATION.
 I REFER TO SHEET G200 - PROJECT IECC INFORMATION FOR THERMAL ENVELOPE INSULATION REQUIREMENTS AT ALL EXTERIOR WALLS.
 J FOR ALL TYPICAL EXTERIOR WALL ASSEMBLIES, REFER TO A300 SERIES WALL SECTIONS FOR TOP & BOTTOM OF WALL DETAILS, & A500 SERIES GLAZING ELEVATIONS FOR OPENING HEAD, JAMB, & SILL DETAILS.

GRAPHIC LEGEND

NOT TO SCALE WALL TYPES BY PHASE & RATING

	EXISTING, NON-RATED CONSTRUCTION TO REMAIN		1 HOUR-RATED, FIRE PARTITION (IBC §708)
	EXISTING, SMOKE-RATED CONSTRUCTION TO REMAIN		1 HOUR-RATED, FIRE BARRIER (IBC §707)
	EXISTING, FIRE-RATED CONSTRUCTION TO REMAIN		1 HOUR-RATED, SHAFT-WALL FIRE BARRIER (IBC §707)
	EXISTING CONSTRUCTION TO BE DEMOLISHED		2 HOUR-RATED, FIRE PARTITION (IBC §708)
	NON-RATED WALL ASSEMBLY		2 HOUR-RATED, FIRE BARRIER (IBC §707)
	GLAZING SYSTEM, SEE ELEVATIONS & SPECS.		2 HOUR-RATED, SHAFT-WALL FIRE BARRIER (IBC §707)
	NON-RATED, SMOKE PARTITION (IBC §710)		2 HOUR-RATED, CMU FIRE BARRIER (IBC §707)
	1 HOUR-RATED, SMOKE BARRIER (IBC §709)		3 HOUR-RATED, CMU FIRE BARRIER (IBC §707)
	30 MINUTE-RATED, FIRE PARTITION (IBC §708.3)		4 HOUR-RATED CMU FIRE WALL (IBC §708)

WALL TAG CONSTRUCTION LEGEND

NOT TO SCALE

CONSTRUCTION TYPE DESIGNATION:

C. CONCRETE
 CH. LIGHT GAUGE METAL STUD
 G. GENERAL EXISTING / UNDESIGNATED
 L. LAMINATED FINISH MATERIAL
 (GYP BD OVER EXISTING SURFACE)
 M. CONCRETE MASONRY UNIT (CMU)
 S. LIGHT GAUGE METAL STUD / FURRING
 SD. DOUBLE LIGHT GAUGE METAL STUD
 W. WOOD STUD / FURRING
 WD. DOUBLE WOOD STUD

NOTE: REFER TO UNIT SIZE DESIGNATION LIST FOR ADDITIONAL INFORMATION

FIRE RESISTANCE RATING:

0. NO FIRE RATING
 S0. NON-RATED, SMOKE PARTITION
 S1. 1 HOUR FIRE-RATED, SMOKE BARRIER
 S0. 30 MINUTE FIRE-RATED WALL ASSEMBLY
 1. 1 HOUR FIRE-RATED WALL ASSEMBLY
 2. 2 HOUR FIRE-RATED WALL ASSEMBLY
 3. 3 HOUR FIRE-RATED WALL ASSEMBLY
 4. 4 HOUR FIRE-RATED WALL ASSEMBLY

MODIFIER (SUFFIX):

BLANK = TYPICAL / AS SHOWN IN DETAIL
 A. PROVIDE ACOUSTIC INSULATION PER WALL TYPE DETAIL & DESCRIPTION AND / OR PROJECT SPECIFICATION
 B. PROVIDE GYP. BD. AT FINISH SIDE ONLY
 C+ PROJECT SPECIFIC

WALL HEIGHT DESIGNATION:

S. WALL ASSEMBLY TO UNDERSIDE OF STRUCTURE
 C. GYP. BD. TO UNDERSIDE OF ADJACENT FINISH CEILING, STUDS MAY BE CONTINUOUS TO UNDERSIDE OF STRUCTURE OR PARTIAL HEIGHT STUD BRACED PER DETAIL L06 / AG301, U.N.O.
 CG. GYP. BD. TO EXTEND 6" ABOVE ADJACENT FINISH CEILING
 CT. UNDERSIDE OF COUNTERTOP
 P. PARTIAL HEIGHT STUD, 'x' - 'xx' ABOVE FINISH FLOOR, UNCONNECTED - HEIGHT AS NOTED ON WALL TAG OR DRAWING

UNIT SIZE DESIGNATION:

NOTE: SIZE INDICATOR ASSUMES NOM. THICKNESS
 L. GYP. BD. SIZE AS INDICATED, LAMINATED DIRECTLY TO EXISTING FINISH SURFACE

0. ITEM SMALLER THAN 1" THICKNESS:
 0 - 1/2" METAL HAT CHANNEL / Z-FURRING
 0 - 3/4" WOOD FURRING
 0 - 7/8" METAL FURRING

1. SPECIAL LIGHT GAUGE STEEL:
 1" METAL Z-FURRING
 1 1/2" METAL Z-FURRING
 1 - 5/8" METAL STUD

2. NOMINAL 2" THICKNESS:
 1 - 1/2" WOOD FURRING / BLOCKING
 2" METAL Z-FURRING
 2 - 1/2" METAL STUD / CH-STUD

3. 3 - 5/8" METAL STUD - TYPICAL, U.N.O.

4. NOMINAL 4" THICKNESS:
 3 - 1/2" WOOD STUD (2x4)
 3 - 5/8" CONCRETE MASONRY UNIT
 4" CH-STUD

6. NOMINAL 6" THICKNESS:
 5 - 1/2" WOOD STUD (2x6)
 5 - 5/8" CONCRETE MASONRY UNIT
 6" METAL STUD / CH-STUD

8. NOMINAL 8" THICKNESS:
 7 - 1/4" WOOD STUDS (2x8)
 7 - 5/8" CONCRETE MASONRY UNIT
 8" METAL STUD

10. NOMINAL 10" THICKNESS:
 9 - 1/4" WOOD STUD (2x10)
 10" METAL STUD

12. NOMINAL 12" THICKNESS:
 11 - 1/4" WOOD STUD (2x12)
 11 - 5/8" CONCRETE MASONRY UNIT
 12" METAL STUD

NOTE: THICKNESS GREATER THAN 12" AS SHOWN PER WALL TYPE DETAIL & DESCRIPTION

#X#X X

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com

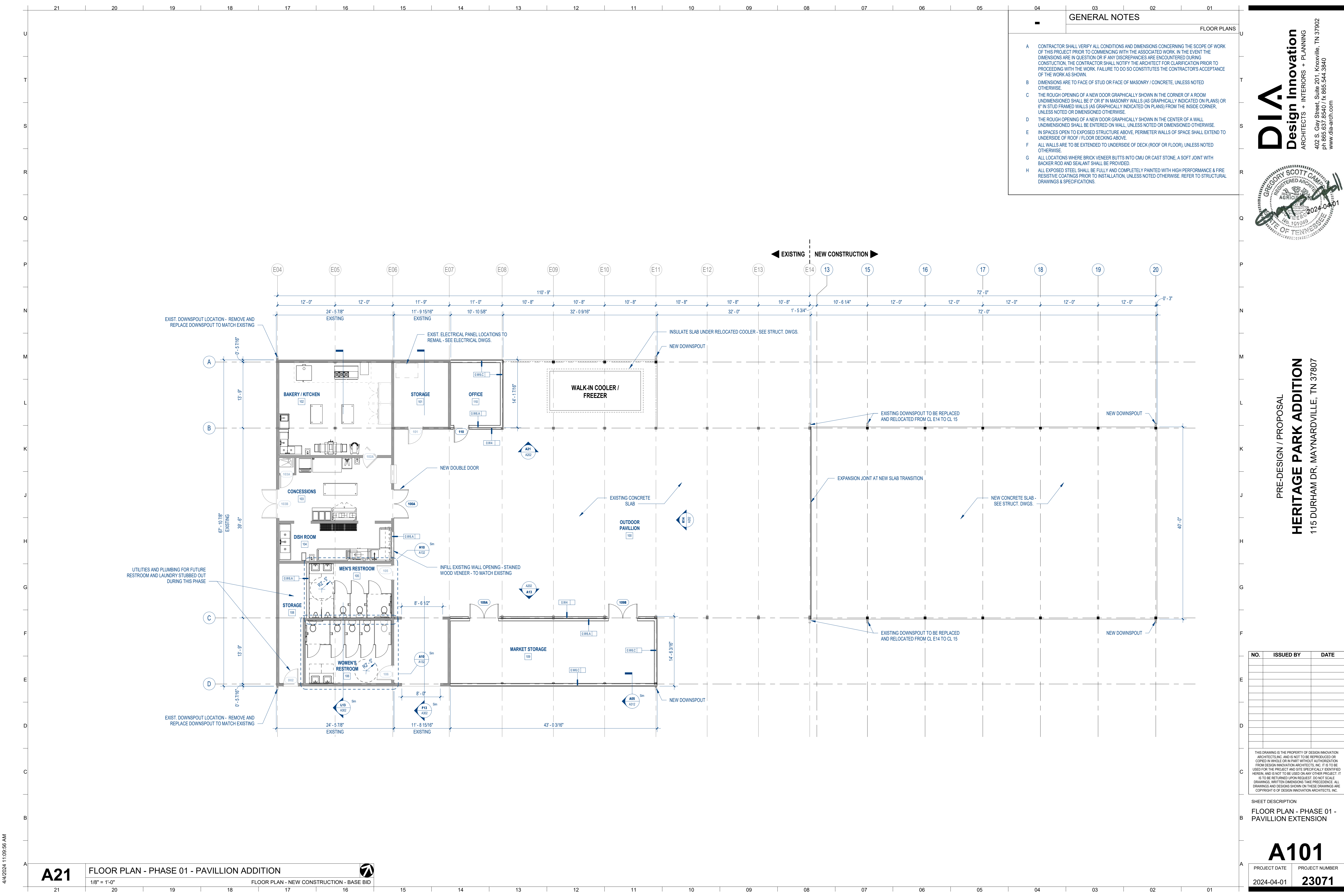
PRE-DESIGN / PROPOSAL

HERITAGE PARK ADDITION

115 DURHAM DR, MAYNARDVILLE, TN 37807

AG100

PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071



GENERAL NOTES

- FLOOR PLANS
- A CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
 - B DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, UNLESS NOTED OTHERWISE.
 - C THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0' OR 8" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS) FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
 - D THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE ENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE. IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
 - E ALL WALLS ARE TO BE EXTENDED TO UNDERSIDE OF DECK (ROOF OR FLOOR), UNLESS NOTED OTHERWISE.
 - G ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED.
 - H ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

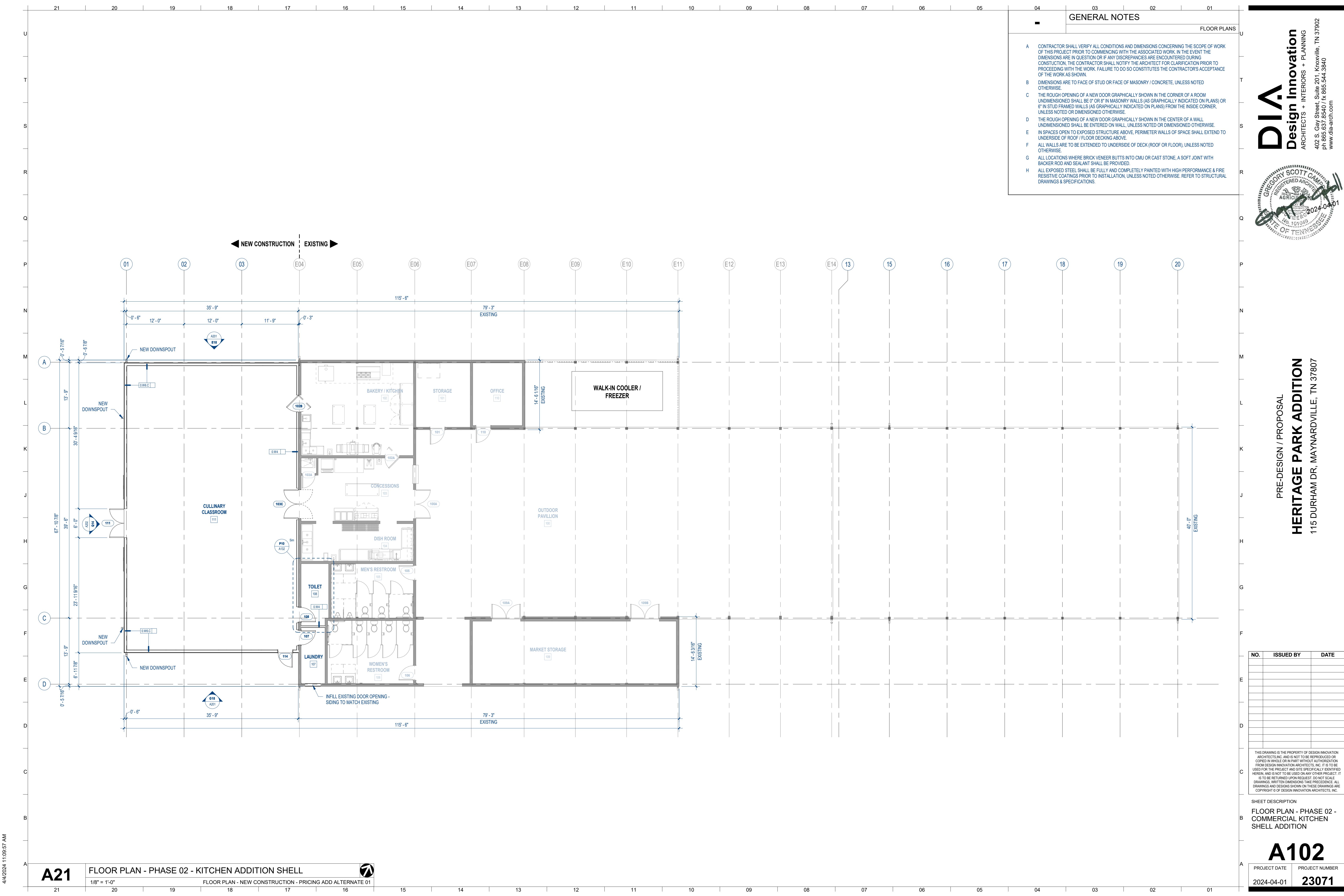
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
FLOOR PLAN - PHASE 01 - PAVILLION EXTENSION

A101
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

4/4/2024 11:09:56 AM



GENERAL NOTES

- A CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
- B DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, UNLESS NOTED OTHERWISE.
- C THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0' OR 6" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS) FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- D THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE ENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE. IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
- E ALL WALLS ARE TO BE EXTENDED TO UNDERSIDE OF DECK (ROOF OR FLOOR), UNLESS NOTED OTHERWISE.
- G ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED.
- H ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND SESSIONS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
FLOOR PLAN - PHASE 02 - COMMERCIAL KITCHEN SHELL ADDITION

A102

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

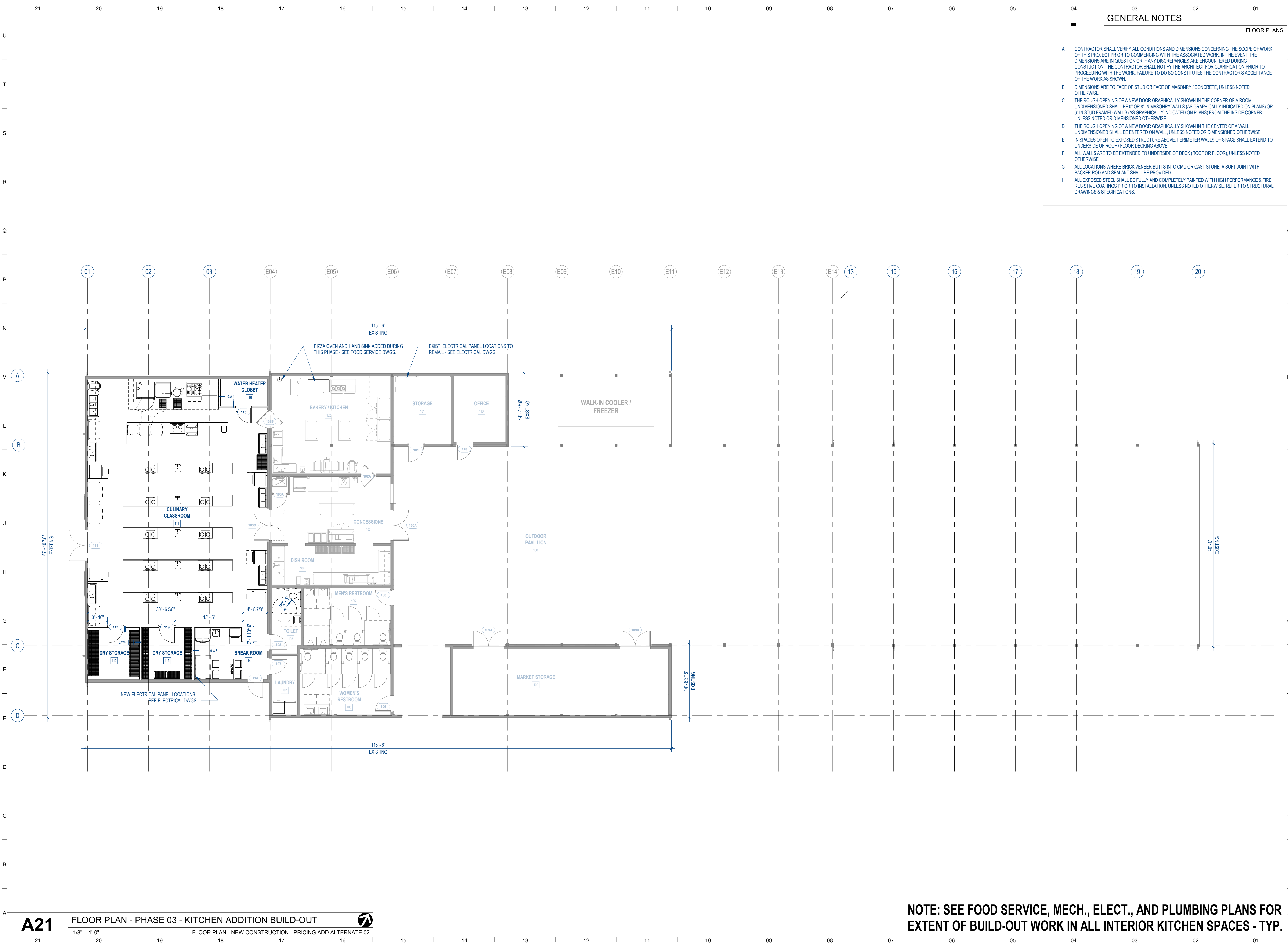
4/4/2024 11:09:57 AM

GENERAL NOTES

FLOOR PLANS

- A CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
- B DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, UNLESS NOTED OTHERWISE.
- C THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 1' OR 8" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS) FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- D THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE ENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE. IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
- E ALL WALLS ARE TO BE EXTENDED TO UNDERSIDE OF DECK (ROOF OR FLOOR), UNLESS NOTED OTHERWISE.
- G ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED.
- H ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 FLOOR PLAN - PHASE 03 -
 COMMERCIAL KITCHEN
 BUILD-OUT

A103
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

NOTE: SEE FOOD SERVICE, MECH., ELECT., AND PLUMBING PLANS FOR EXTENT OF BUILD-OUT WORK IN ALL INTERIOR KITCHEN SPACES - TYP.

4/4/2024 11:09:59 AM

A21 FLOOR PLAN - PHASE 03 - KITCHEN ADDITION BUILD-OUT
 1/8" = 1'-0"
 FLOOR PLAN - NEW CONSTRUCTION - PRICING ADD ALTERNATE 02

4/4/2024 11:09:59 AM

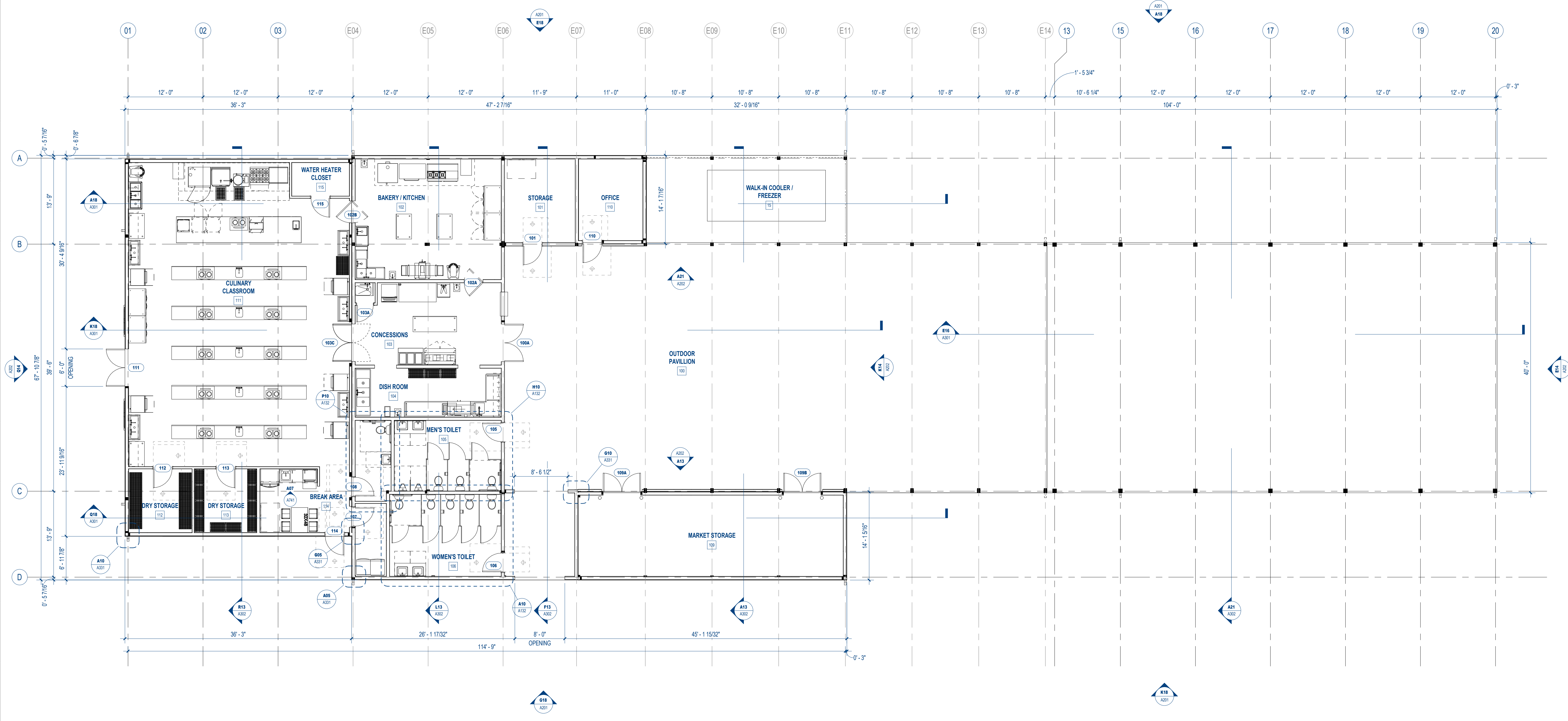
GENERAL NOTES

- A CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.
- B DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, UNLESS NOTED OTHERWISE.
- C THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0" OR 8" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS) FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- D THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE ENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE. IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.
- E ALL WALLS ARE TO BE EXTENDED TO UNDERSIDE OF DECK (ROOF OR FLOOR), UNLESS NOTED OTHERWISE.
- F ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED.
- G ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807



NO.	ISSUED BY	DATE

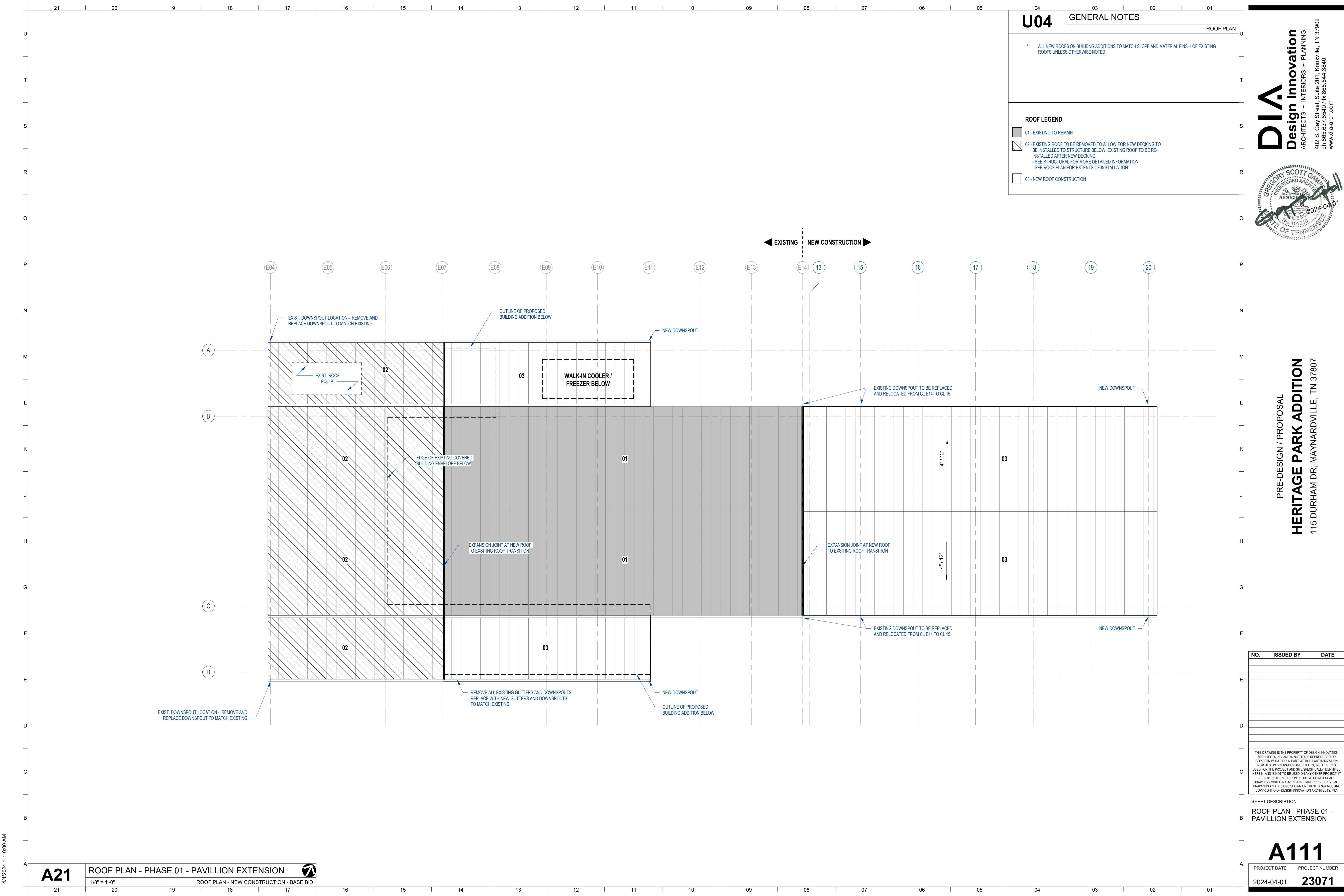
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 FLOOR PLAN - COMPLETED

A104
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

A21 FLOOR PLAN - COMPLETED
 1/8" = 1'-0"
 FLOOR PLAN - NEW CONSTRUCTION

NOTE: COMPLETED PLAN FOR REFERENCE ONLY



U04 GENERAL NOTES

ROOF PLAN

* ALL NEW ROOFS ON BUILDING ADDITIONS TO MATCH SLOPE AND MATERIAL FINISH OF EXISTING ROOFS UNLESS OTHERWISE NOTED

ROOF LEGEND

- 01 - EXISTING TO REMAIN
- 02 - EXISTING ROOF TO BE REMOVED TO ALLOW FOR NEW DECKING TO BE INSTALLED TO STRUCTURE BELOW. EXISTING ROOF TO BE RE-INSTALLED AFTER NEW DECKING. - SEE STRUCTURAL FOR MORE DETAILED INFORMATION - SEE ROOF PLAN FOR EXTENTS OF INSTALLATION
- 03 - NEW ROOF CONSTRUCTION

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com

PROFESSIONAL SEAL: GREGORY SCOTT CAMPBELL, REGISTERED ARCHITECT, AGRICULTURE, 2024-04-01, STATE OF TENNESSEE

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
ROOF PLAN - PHASE 01 - PAVILLION EXTENSION

A111

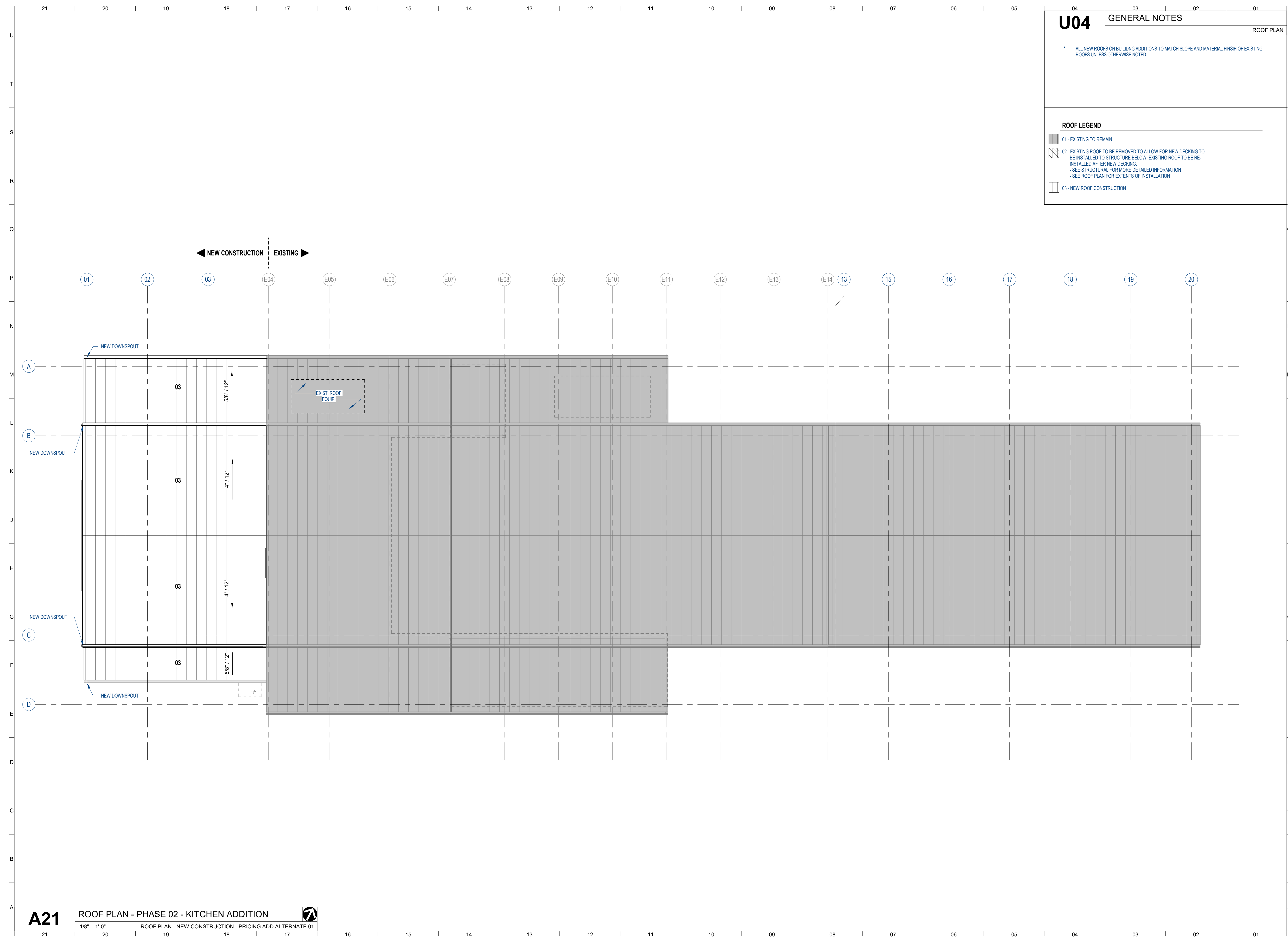
PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071

4/4/2024 11:10:00 AM

A21 ROOF PLAN - PHASE 01 - PAVILLION EXTENSION

1/8" = 1'-0" ROOF PLAN - NEW CONSTRUCTION - BASE BID

4/4/2024 11:10:00 AM



U04 GENERAL NOTES

ROOF PLAN

* ALL NEW ROOFS ON BUILDING ADDITIONS TO MATCH SLOPE AND MATERIAL FINISH OF EXISTING ROOFS UNLESS OTHERWISE NOTED

ROOF LEGEND

- 01 - EXISTING TO REMAIN
- 02 - EXISTING ROOF TO BE REMOVED TO ALLOW FOR NEW DECKING TO BE INSTALLED TO STRUCTURE BELOW. EXISTING ROOF TO BE RE-INSTALLED AFTER NEW DECKING.
- SEE STRUCTURAL FOR MORE DETAILED INFORMATION
- SEE ROOF PLAN FOR EXTENTS OF INSTALLATION
- 03 - NEW ROOF CONSTRUCTION

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

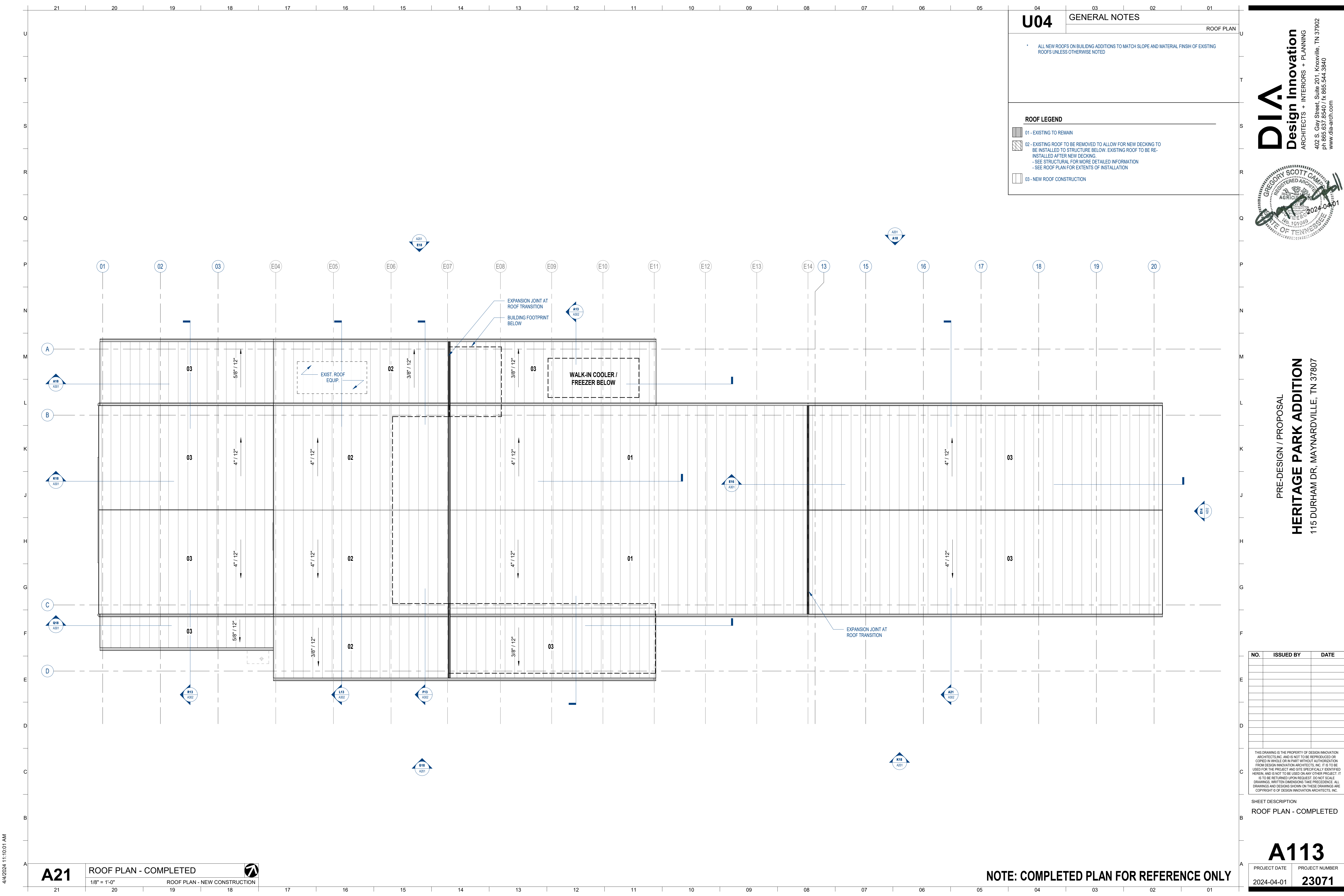
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
ROOF PLAN - PHASE 02 - KITCHEN ADDITION SHELL

A112

PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071



U04 GENERAL NOTES

ROOF PLAN

ALL NEW ROOFS ON BUILDING ADDITIONS TO MATCH SLOPE AND MATERIAL FINISH OF EXISTING ROOFS UNLESS OTHERWISE NOTED

ROOF LEGEND

- 01 - EXISTING TO REMAIN
- 02 - EXISTING ROOF TO BE REMOVED TO ALLOW FOR NEW DECKING TO BE INSTALLED TO STRUCTURE BELOW. EXISTING ROOF TO BE RE-INSTALLED AFTER NEW DECKING. - SEE STRUCTURAL FOR MORE DETAILED INFORMATION - SEE ROOF PLAN FOR EXTENTS OF INSTALLATION
- 03 - NEW ROOF CONSTRUCTION

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 ROOF PLAN - COMPLETED

A113

PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071

4/4/2024 11:10:01 AM

A21 ROOF PLAN - COMPLETED

1/8" = 1'-0"

ROOF PLAN - NEW CONSTRUCTION

NOTE: COMPLETED PLAN FOR REFERENCE ONLY

ROOM FINISH LEGEND

NOT TO SCALE

ROOM FINISH SCHEDULE

NOT TO SCALE

SURFACE	FINISH DESIGNATION	MATERIAL	MANUFACTURER	STYLE NAME OR NUMBER	COLOR NAME	NOTES
FLOOR	EPX-1	EPOXY	C.A. REED	TBD	TBD	--
FLOOR	CONC-1	SEALED CONCRETE	--	--	--	--
BASE	RB-1	RUBBER BASE	JOHNSONITE	TBD	TBD	--
BASE	WB-1	WOOD BASE	TBD	TBD	TBD	--
BASE	EB-1	EPOXY COVE BASE	TBD	TBD	TBD	--
WALL	FRD-1	FIBER REINFORCED PLASTIC	TBD	TBD	TBD	--
WALL	SSTL	STAINLESS STEEL WP	TBD	TBD	TBD	--
WALL	PT-1	PAINT	SHERWIN WILLIAMS	EGSHELL	SW7647 CRUSHED ICE	--
WALL	CG-1	CORNER GUARD	TBD	STEEL ANGLE	SSTL	2" RETURN
WALL	CG-2	CORNER GUARD	TBD	18 GAUGE STAINLESS STEEL	SSTL	--
WALL	WD-1	WOOD	TBD	MATCH EXIST.	MATCH EXIST.	--
WALL	TL-1	FLOOR TILE	TBD	TBD	TBD	--
CEILING	ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	TBD	TBD	REGULAR 2x2
CEILING	ACT-2	ACOUSTIC CEILING TILE	ARMSTRONG	TBD	TBD	WASHABLE 2x2
CEILING	PT-2	PAINT	SHERWIN WILLIAMS	FLAT	SW7007 CEILING BRIGHT WHITE	--

ROOM NO.	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING		NOTES
					MATERIAL	FINISH	
101	STORAGE	EXIST.	EXIST.	PT-1	GYP.	PT-2	--
102	BAKERY/KITCHEN	EPX-1	EB-1	FRP-1	GYP.	FRP-1	CONTRACTOR TO ALSO PRICE TILE AND STAINLESS WALL FINISH AS ALT.
103	CONCESSION	EPX-1	EB-1	FRP-1	GYP.	PT-2	CONTRACTOR TO ALSO PRICE TILE AND STAINLESS WALL FINISH AS ALT.
104	DISH ROOM	EPX-1	EB-1	FRP-1	GYP.	PT-2	--
105	MEN'S TOILET	EPX-1	EB-1	TL-1	GYP.	PT-2	--
106	WOMEN'S TOILET	EPX-1	EB-1	TL-1	GYP.	PT-2	--
107	LAUNDRY	EPX-1	EB-1	PT-1	GYP.	PT-2	--
108	TOILET	EPX-1	EB-1	FRP-1 / PT-1	GYP.	PT-2	--
109	MARKET STORAGE	CONC-1	WB-1	PT-1	GYP.	PT-2	--
110	OFFICE	CONC-1	WB-1	PT-1	GYP.	PT-2	--
111	CULLINARY CLASSROOM	EPX-1	EB-1	FRP-1 / SSTL	GYP. / ACT-2	PT-2	--
112	DRY STORAGE	EPX-1	EB-1	FRP-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
113	DRY STORAGE	EPX-1	EB-1	FRP-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
114	BREAK AREA	EPX-1	EB-1	PT-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
115	WATER HEATER CLOSET	EPX-1	EB-1	PT-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
100	OUTDOOR PAVILLION	EXIST.	WB-1	WD-2 / PT-1	N/A	N/A	WOOD BASE @ EXT. STORAGE WALLS TO MATCH EXIST.

U08

GRAPHIC LEGEND

NOT TO SCALE

REFLECTED CEILING PLANS

	1T - 2 x 2 ACOUSTIC CEILING TILE		RECESSED CAN LIGHT
	2T - 2 x 2 SCRUBBABLE ACOUSTIC CEILING TILE		SLOT DIFFUSER
	GYP - GYPSUM BOARD CEILING		DIFFUSER - SUPPLY
	2 x 4 LED FIXTURE - EXISTING		DIFFUSER - RETURN
	2 x 4 LED FIXTURE - NEW		SPRINKLER HEAD
	2 x 2 LED FIXTURE - EXISTING		EXIT SIGN
	2 x 2 LED FIXTURE - NEW		EMERGENCY LIGHT FIXTURE
	LINEAR SURFACE MOUNTED LIGHT - EXISTING		WALL SCONCE
	LINEAR SURFACE MOUNTED LIGHT - NEW		TRACK LIGHT

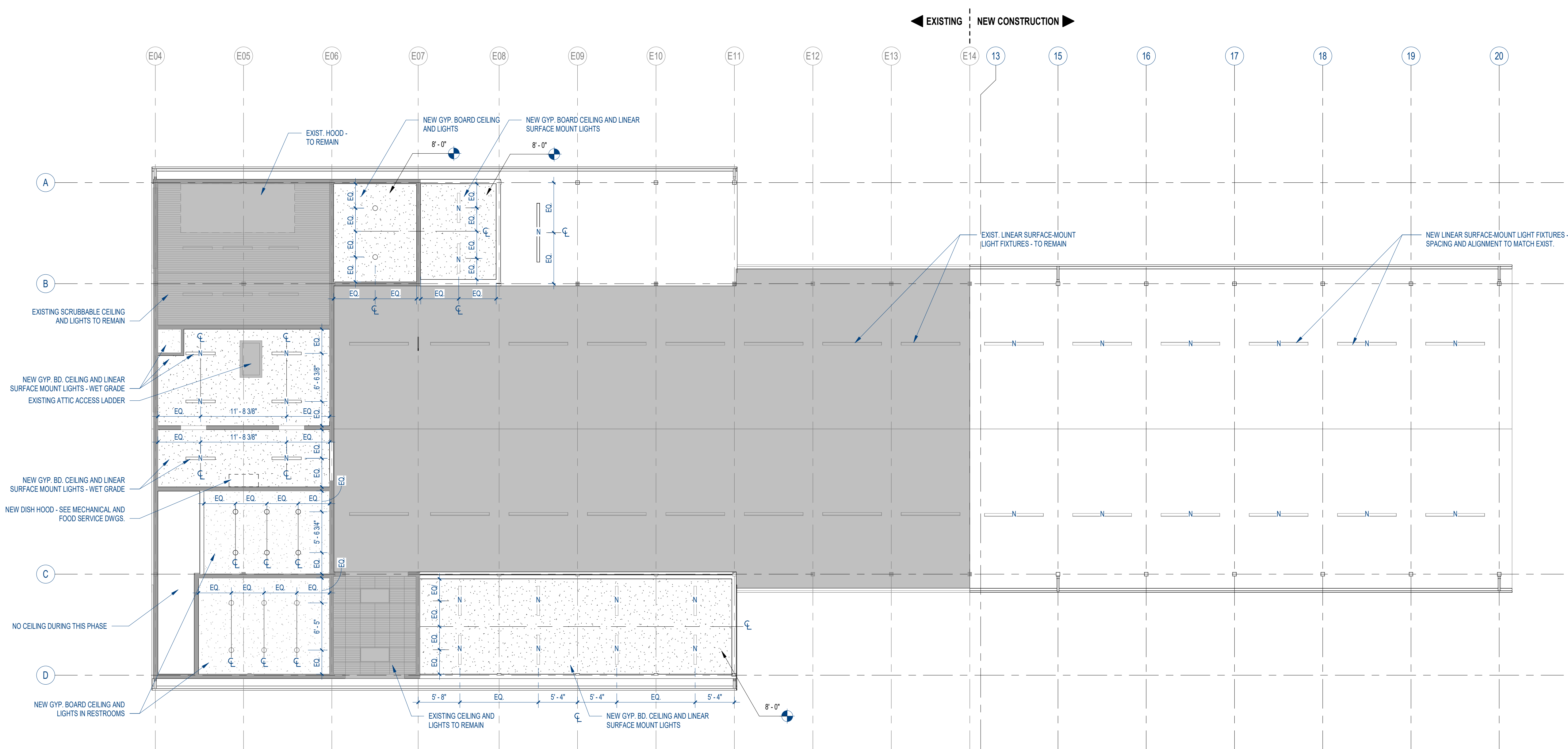
U04

GENERAL NOTES

REFLECTED CEILING PLANS

- A ALL CEILING HEIGHTS ARE ABOVE FINISH FLOOR ELEVATION.
- B COORDINATE INSTALLATION OF SPRINKLER HEADS WITH ARCHITECT UPON SHOP DRAWING SUBMITTAL.
- C DIMENSIONS ON REFLECTED CEILING PLAN ARE SHOWN TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- D ALL EXIT SIGNS, LIGHT FIXTURES, SPEAKERS, AUDIO VISUAL DEVICES, SMOKE DETECTORS AND/OR OTHER DEVICE LOCATIONS SHOWN IN THE REFLECTED CEILING PLAN SHALL BE LOCATED IN THE CENTER OF THE CEILING TILE OR PANELS UNLESS NOTED OTHERWISE.
- E PROVIDE SEISMIC BRACING AS REQUIRED BY LOCAL CODE.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 RCP - PHASE 01 - PAVILLION EXTENSION

A121
 PROJECT NUMBER
 23071

4/4/2024 11:10:02 AM

ROOM FINISH LEGEND

NOT TO SCALE

ROOM FINISH SCHEDULE

NOT TO SCALE

SURFACE	FINISH DESIGNATION	MATERIAL	MANUFACTURER	STYLE NAME OR NUMBER	COLOR NAME	NOTES
FLOOR	EPX-1	EPOXY	C.A. REED	TBD	TBD	--
FLOOR	CONC-1	SEALED CONCRETE	--	--	--	--
BASE	RB-1	RUBBER BASE	JOHNSONITE	TBD	TBD	--
BASE	WB-1	WOOD BASE	TBD	TBD	TBD	--
BASE	EB-1	EPOXY COVE BASE	TBD	TBD	TBD	--
WALL	FRD-1	FIBER REINFORCED PLASTIC	TBD	TBD	TBD	--
WALL	SSTL	STAINLESS STEEL WP	TBD	TBD	TBD	--
WALL	PT-1	PAINT	SHERWIN WILLIAMS	EGSHELL	SW7647 CRUSHED ICE	--
WALL	CG-1	CORNER GUARD	TBD	STEEL ANGLE	SSTL	2" RETURN
WALL	CG-2	CORNER GUARD	TBD	18 GAUGE STAINLESS STEEL	SSTL	--
WALL	WD-1	WOOD	TBD	MATCH EXIST.	MATCH EXIST.	--
WALL	TL-1	FLOOR TILE	TBD	TBD	TBD	--
CEILING	ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	TBD	TBD	REGULAR 2x2
CEILING	ACT-2	ACOUSTIC CEILING TILE	ARMSTRONG	TBD	TBD	WASHABLE 2x2
CEILING	PT-2	PAINT	SHERWIN WILLIAMS	FLAT	SW7007 CEILING BRIGHT WHITE	--

NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING		NOTES
					MATERIAL	FINISH	
101	STORAGE	EXIST.	EXIST.	PT-1	GYP.	PT-2	--
102	BAKERY/KITCHEN	EPX-1	EB-1	FRP-1	GYP.	FRP-1	CONTRACTOR TO ALSO PRICE TILE AND STAINLESS WALL FINISH AS ALT.
103	CONCESSION	EPX-1	EB-1	FRP-1	GYP.	PT-2	CONTRACTOR TO ALSO PRICE TILE AND STAINLESS WALL FINISH AS ALT.
104	DISH ROOM	EPX-1	EB-1	FRP-1	GYP.	PT-2	--
105	MEN'S TOILET	EPX-1	EB-1	TL-1	GYP.	PT-2	--
106	WOMEN'S TOILET	EPX-1	EB-1	TL-1	GYP.	PT-2	--
107	LAUNDRY	EPX-1	EB-1	PT-1	GYP.	PT-2	--
108	TOILET	EPX-1	EB-1	FRP-1 / PT-1	GYP.	PT-2	--
109	MARKET STORAGE	CONC-1	WB-1	PT-1	GYP.	PT-2	--
110	OFFICE	CONC-1	WB-1	PT-1	GYP.	PT-2	--
111	CULLINARY CLASSROOM	EPX-1	EB-1	FRP-1 / SSTL	GYP. / ACT-2	PT-2	--
112	DRY STORAGE	EPX-1	EB-1	FRP-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
113	DRY STORAGE	EPX-1	EB-1	FRP-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
114	BREAK AREA	EPX-1	EB-1	PT-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
115	WATER HEATER CLOSET	EPX-1	EB-1	PT-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
100	OUTDOOR PAVILLION	EXIST.	WB-1	WD-2 / PT-1	N/A	N/A	WOOD BASE @ EXT. STORAGE WALLS TO MATCH EXIST.

U08

GRAPHIC LEGEND

NOT TO SCALE

REFLECTED CEILING PLANS

	1T - 2 x 2' ACOUSTIC CEILING TILE		RECESSED CAN LIGHT
	2T - 2 x 2' SCRUBBABLE ACOUSTIC CEILING TILE		SLOT DIFFUSER
	GYP - GYPSUM BOARD CEILING		DIFFUSER - SUPPLY
	2 x 4' LED FIXTURE - EXISTING		DIFFUSER - RETURN
	2 x 4' LED FIXTURE - NEW		SPRINKLER HEAD
	2 x 2' LED FIXTURE - EXISTING		EXIT SIGN
	2 x 2' LED FIXTURE - NEW		EMERGENCY LIGHT FIXTURE
	LINEAR SURFACE MOUNTED LIGHT - EXISTING		WALL SCONCE
	LINEAR SURFACE MOUNTED LIGHT - NEW		TRACK LIGHT

U04

GENERAL NOTES

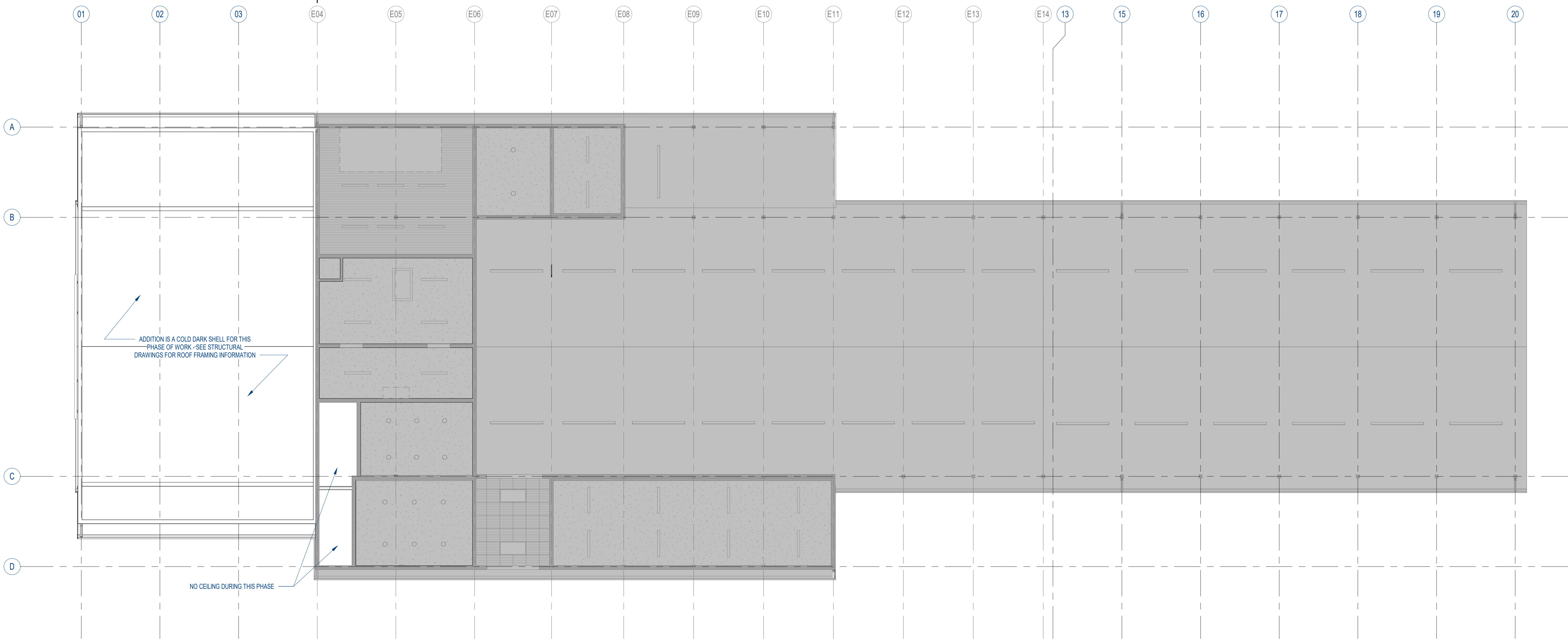
REFLECTED CEILING PLANS

- A ALL CEILING HEIGHTS ARE ABOVE FINISH FLOOR ELEVATION.
- B COORDINATE INSTALLATION OF SPRINKLER HEADS WITH ARCHITECT UPON SHOP DRAWING SUBMITTAL.
- C DIMENSIONS ON REFLECTED CEILING PLAN ARE SHOWN TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- D ALL EXIT SIGNS, LIGHT FIXTURES, SPEAKERS, AUDIO VISUAL DEVICES, SMOKE DETECTORS AND/OR OTHER DEVICE LOCATIONS SHOWN IN THE REFLECTED CEILING PLAN SHALL BE LOCATED IN THE CENTER OF THE CEILING TILE OR PANELS UNLESS NOTED OTHERWISE.
- E PROVIDE SEISMIC BRACING AS REQUIRED BY LOCAL CODE.

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



◀ NEW CONSTRUCTION EXISTING ▶



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND SESSIONS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
RCP - PHASE 02 - COMMERCIAL KITCHEN SHELL ADDITION

A122
PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071

4/4/2024 11:10:03 AM

ROOM FINISH LEGEND

NOT TO SCALE

ROOM FINISH SCHEDULE

NOT TO SCALE

SURFACE	FINISH DESIGNATION	MATERIAL	MANUFACTURER	STYLE NAME OR NUMBER	COLOR NAME	NOTES
FLOOR	EPX-1	EPOXY	C.A. REED	TBD	TBD	--
FLOOR	CONC-1	SEALED CONCRETE	--	--	--	--
BASE	RB-1	RUBBER BASE	JOHNSONITE	TBD	TBD	--
BASE	WB-1	WOOD BASE	TBD	TBD	TBD	--
BASE	EB-1	EPOXY COVE BASE	TBD	TBD	TBD	--
WALL	FRD-1	FIBER REINFORCED PLASTIC	TBD	TBD	TBD	--
WALL	SSTL	STAINLESS STEEL WP	TBD	TBD	TBD	--
WALL	PT-1	PAINT	SHERWIN WILLIAMS	EGSHELL	SW7647 CRUSHED ICE	--
WALL	CG-1	CORNER GUARD	TBD	STEEL ANGLE	SSTL	2" RETURN
WALL	CG-2	CORNER GUARD	TBD	18 GAUGE STAINLESS STEEL	SSTL	--
WALL	WD-1	WOOD	TBD	MATCH EXIST.	MATCH EXIST.	--
WALL	TL-1	FLOOR TILE	TBD	TBD	TBD	--
CEILING	ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	TBD	TBD	REGULAR 2x2
CEILING	ACT-2	ACOUSTIC CEILING TILE	ARMSTRONG	TBD	TBD	WASHABLE 2x2
CEILING	PT-2	PAINT	SHERWIN WILLIAMS	FLAT	SW7007 CEILING BRIGHT WHITE	--

ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING		NOTES
					MATERIAL	FINISH	
101	STORAGE	EXIST.	EXIST.	PT-1	GYP.	PT-2	--
102	BAKERY/KITCHEN	EPX-1	EB-1	FRP-1	GYP.	FRP-1	CONTRACTOR TO ALSO PRICE TILE AND STAINLESS WALL FINISH AS ALT.
103	CONCESSION	EPX-1	EB-1	FRP-1	GYP.	PT-2	CONTRACTOR TO ALSO PRICE TILE AND STAINLESS WALL FINISH AS ALT.
104	DISH ROOM	EPX-1	EB-1	FRP-1	GYP.	PT-2	--
105	MEN'S TOILET	EPX-1	EB-1	TL-1	GYP.	PT-2	--
106	WOMEN'S TOILET	EPX-1	EB-1	TL-1	GYP.	PT-2	--
107	LAUNDRY	EPX-1	EB-1	PT-1	GYP.	PT-2	--
108	TOILET	EPX-1	EB-1	FRP-1 / PT-1	GYP.	PT-2	--
109	MARKET STORAGE	CONC-1	WB-1	PT-1	GYP.	PT-2	--
110	OFFICE	CONC-1	WB-1	PT-1	GYP.	PT-2	--
111	CULLINARY CLASSROOM	EPX-1	EB-1	FRP-1 / SSTL	GYP. / ACT-2	PT-2	--
112	DRY STORAGE	EPX-1	EB-1	FRP-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
113	DRY STORAGE	EPX-1	EB-1	FRP-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
114	BREAK AREA	EPX-1	EB-1	PT-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
115	WATER HEATER CLOSET	EPX-1	EB-1	PT-1	GYP.	PT-2	ALT. FLOOR FINISH CONC-1 PER OWNDER DIRECTION
100	OUTDOOR PAVILLION	EXIST.	WB-1	WD-2 / PT-1	N/A	N/A	WOOD BASE @ EXT. STORAGE WALLS TO MATCH EXIST.

U08

GRAPHIC LEGEND

NOT TO SCALE

REFLECTED CEILING PLANS

	1T - 2 x 2 ACOUSTIC CEILING TILE		RECESSED CAN LIGHT
	2T - 2 x 2 SCRUBBABLE ACOUSTIC CEILING TILE		SLOT DIFFUSER
	GYP - GYPSUM BOARD CEILING		DIFFUSER - SUPPLY
	2 x 4' LED FIXTURE - EXISTING		DIFFUSER - RETURN
	2 x 4' LED FIXTURE - NEW		SPRINKLER HEAD
	2 x 2' LED FIXTURE - EXISTING		EXIT SIGN
	2 x 2' LED FIXTURE - NEW		EMERGENCY LIGHT FIXTURE
	LINEAR SURFACE MOUNTED LIGHT - EXISTING		WALL SCONCE
	LINEAR SURFACE MOUNTED LIGHT - NEW		TRACK LIGHT

U04

GENERAL NOTES

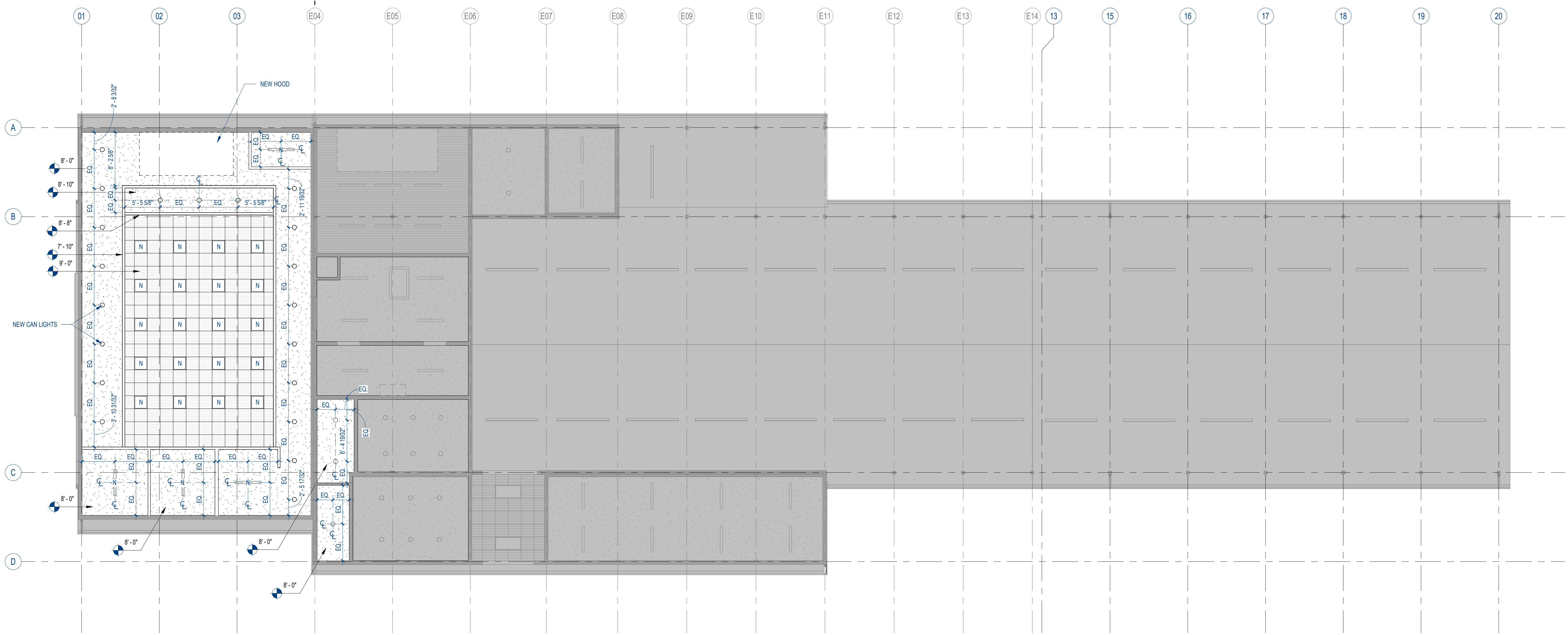
REFLECTED CEILING PLANS

- A ALL CEILING HEIGHTS ARE ABOVE FINISH FLOOR ELEVATION.
- B COORDINATE INSTALLATION OF SPRINKLER HEADS WITH ARCHITECT UPON SHOP DRAWING SUBMITTAL.
- C DIMENSIONS ON REFLECTED CEILING PLAN ARE SHOWN TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- D ALL EXIT SIGNS, LIGHT FIXTURES, SPEAKERS, AUDIO VISUAL DEVICES, SMOKE DETECTORS AND/OR OTHER DEVICE LOCATIONS SHOWN IN THE REFLECTED CEILING PLAN SHALL BE LOCATED IN THE CENTER OF THE CEILING TILE OR PANELS UNLESS NOTED OTHERWISE.
- E PROVIDE SEISMIC BRACING AS REQUIRED BY LOCAL CODE.

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com



◀ NEW CONSTRUCTION EXISTING ▶



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 RCP - PHASE 03 -
 COMMERCIAL KITCHEN
 BUILD OUT

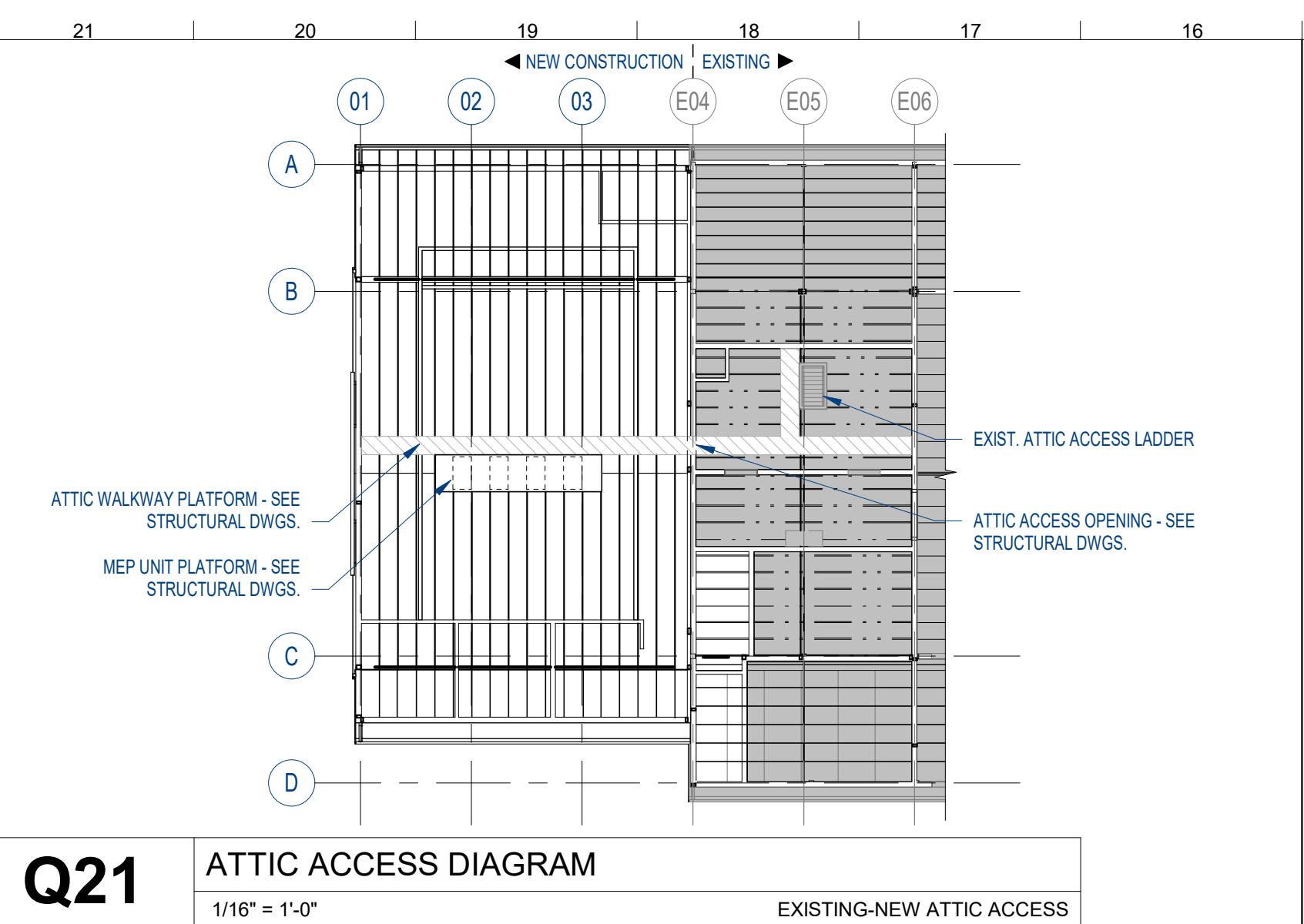
A123

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

4/4/2024 11:10:04 AM

A21 RCP - PHASE 03 - KITCHEN ADDITION BUILD-OUT

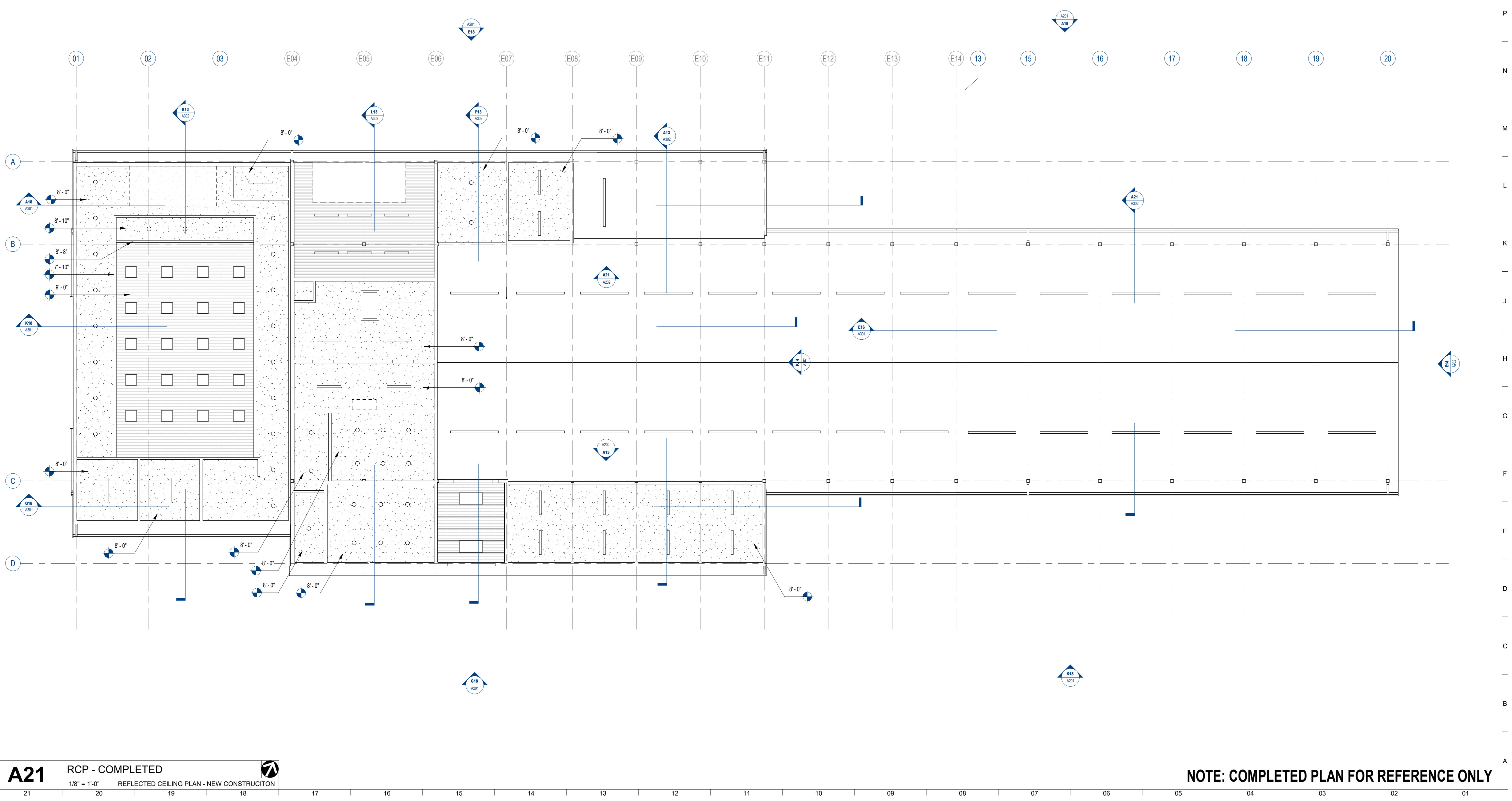
1/8" = 1'-0" REFLECTED CEILING PLAN - NEW CONSTRUCTION - ADD ALTERNATE 02



Q21 ATTIC ACCESS DIAGRAM
 1/16" = 1'-0" EXISTING-NEW ATTIC ACCESS

U08 GRAPHIC LEGEND		REFLECTED CEILING PLANS	
NOT TO SCALE			
	1T-2x2 ACOUSTIC CEILING TILE		RECESSED CAN LIGHT
	2T-2x2 SCRUBBABLE ACOUSTIC CEILING TILE		SLOT DIFFUSER
	GYP - GYPSUM BOARD CEILING		DIFFUSER - SUPPLY
	2x4 LED FIXTURE - EXISTING		DIFFUSER - RETURN
	2x4 LED FIXTURE - NEW		SPRINKLER HEAD
	2x2 LED FIXTURE - EXISTING		EXIT SIGN
	2x2 LED FIXTURE - NEW		EMERGENCY LIGHT FIXTURE
	LINEAR SURFACE MOUNTED LIGHT - EXISTING		WALL SCONCE
	LINEAR SURFACE MOUNTED LIGHT - NEW		TRACK LIGHT

- U04** GENERAL NOTES REFLECTED CEILING PLANS
- A ALL CEILING HEIGHTS ARE ABOVE FINISH FLOOR ELEVATION.
 - B COORDINATE INSTALLATION OF SPRINKLER HEADS WITH ARCHITECT UPON SHOP DRAWING SUBMITTAL.
 - C DIMENSIONS ON REFLECTED CEILING PLAN ARE SHOWN TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 - D ALL EXIT SIGNS, LIGHT FIXTURES, SPEAKERS, AUDIO VISUAL DEVICES, SMOKE DETECTORS AND/OR OTHER DEVICE LOCATIONS SHOWN IN THE REFLECTED CEILING PLAN SHALL BE LOCATED IN THE CENTER OF THE CEILING TILE OR PANELS UNLESS NOTED OTHERWISE.
 - E PROVIDE SEISMIC BRACING AS REQUIRED BY LOCAL CODE.



A21 RCP - COMPLETED
 1/8" = 1'-0" REFLECTED CEILING PLAN - NEW CONSTRUCTION

DIA
 Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3840
 www.dia-arch.com

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

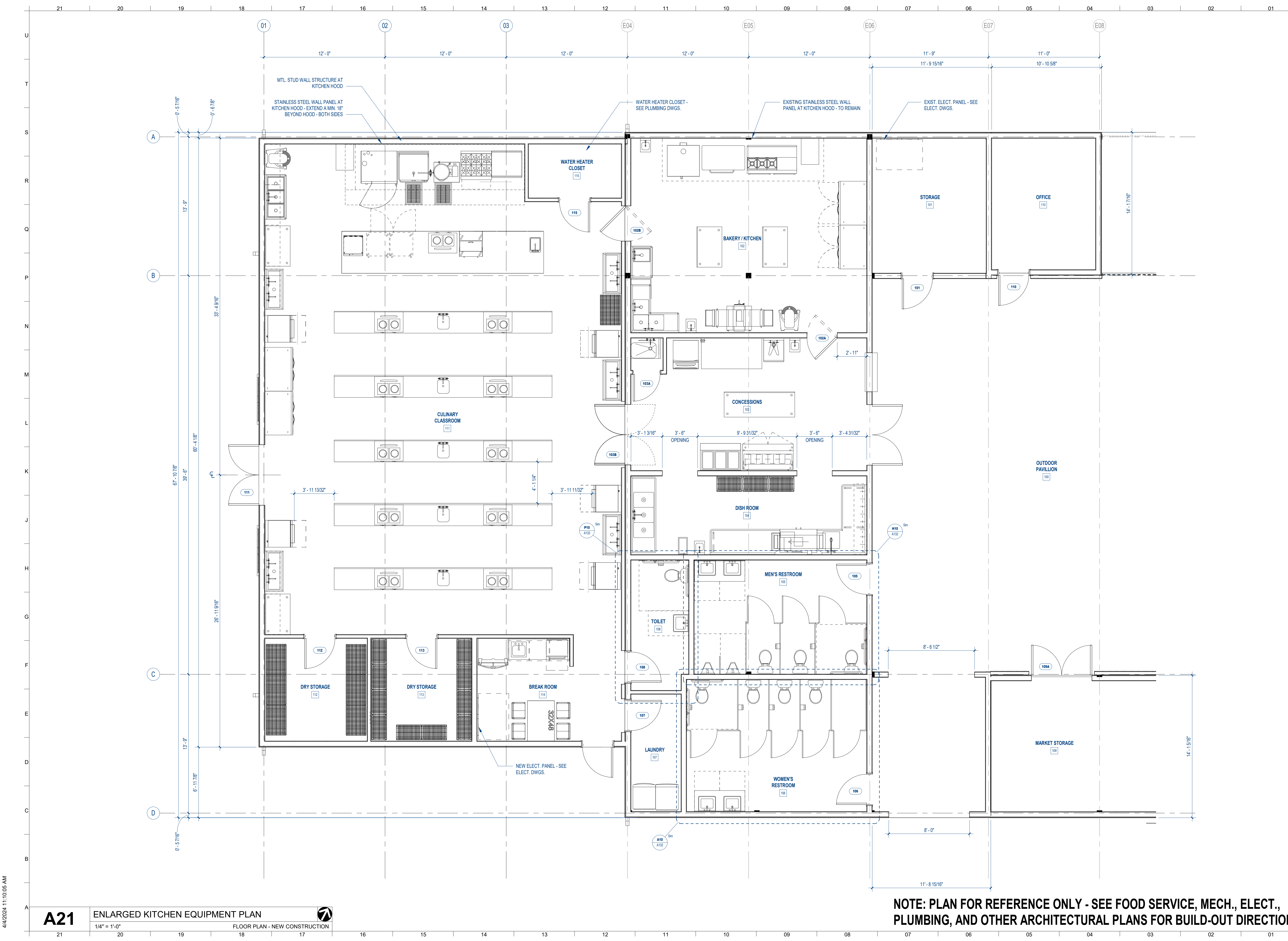
SHEET DESCRIPTION
 RCP - COMPLETED

A125
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

NOTE: COMPLETED PLAN FOR REFERENCE ONLY

4/4/2024 11:10:05 AM

4/4/2024 11:10:05 AM



DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

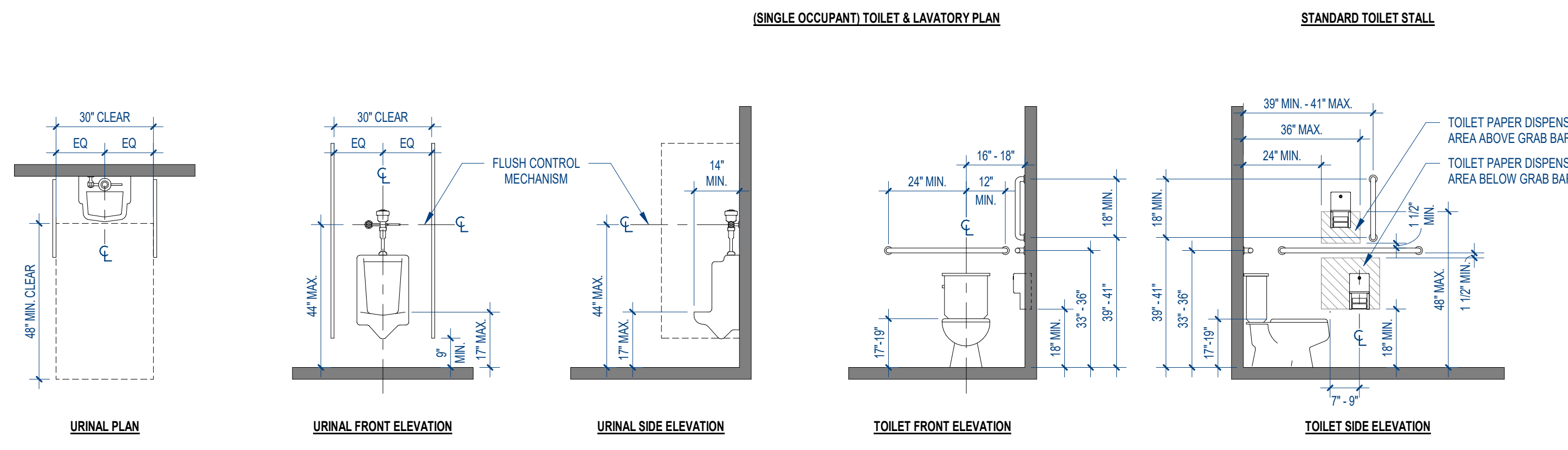
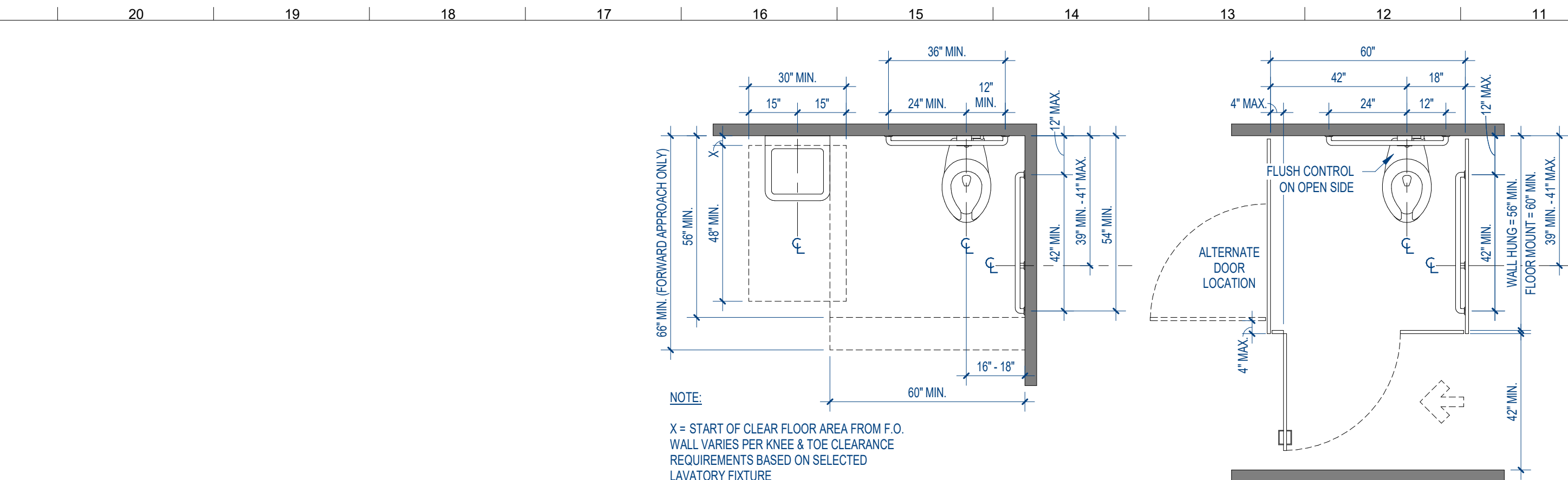
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 ENLARGED KITCHEN EQUIPMENT - FOR REFERENCE ONLY

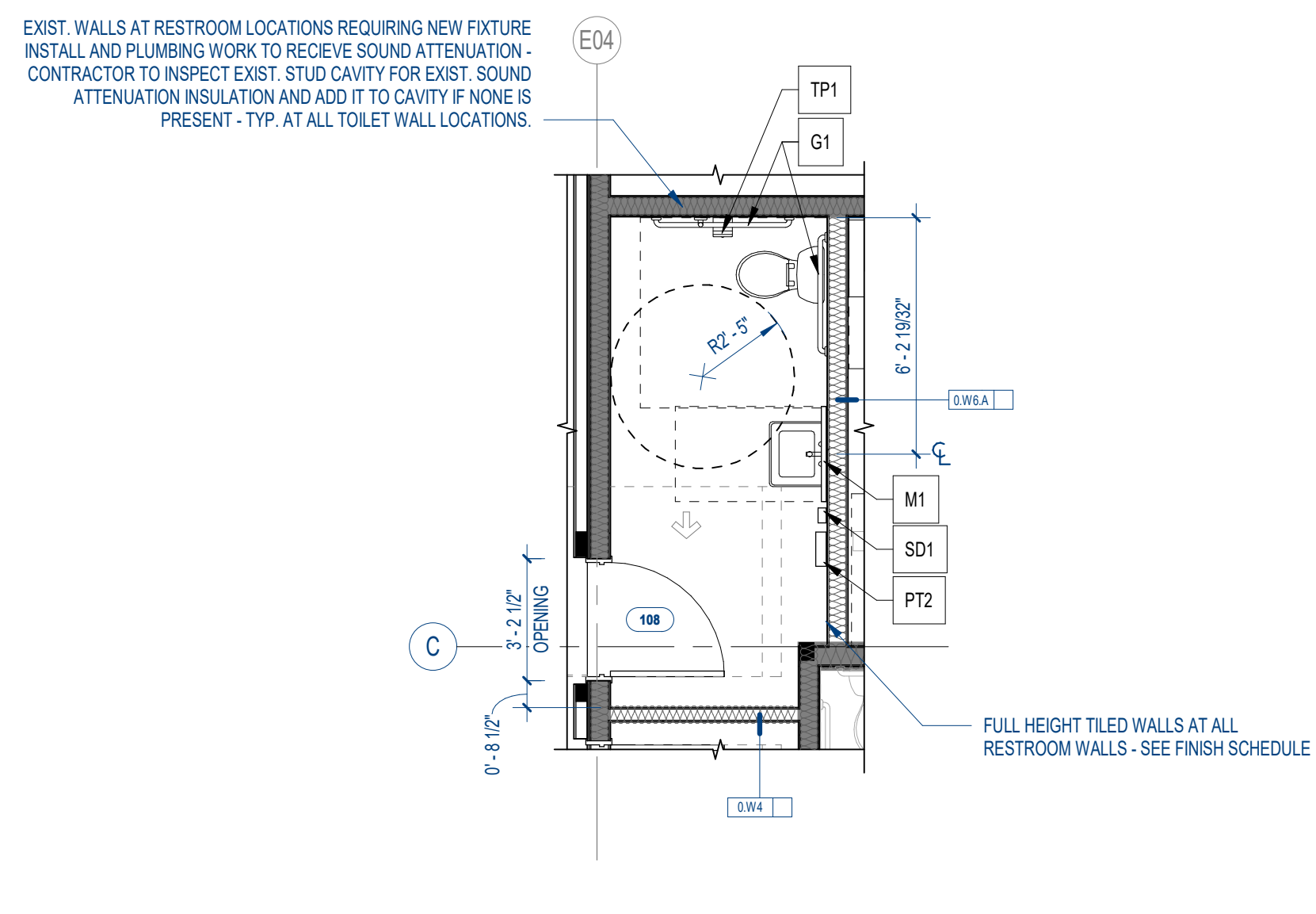
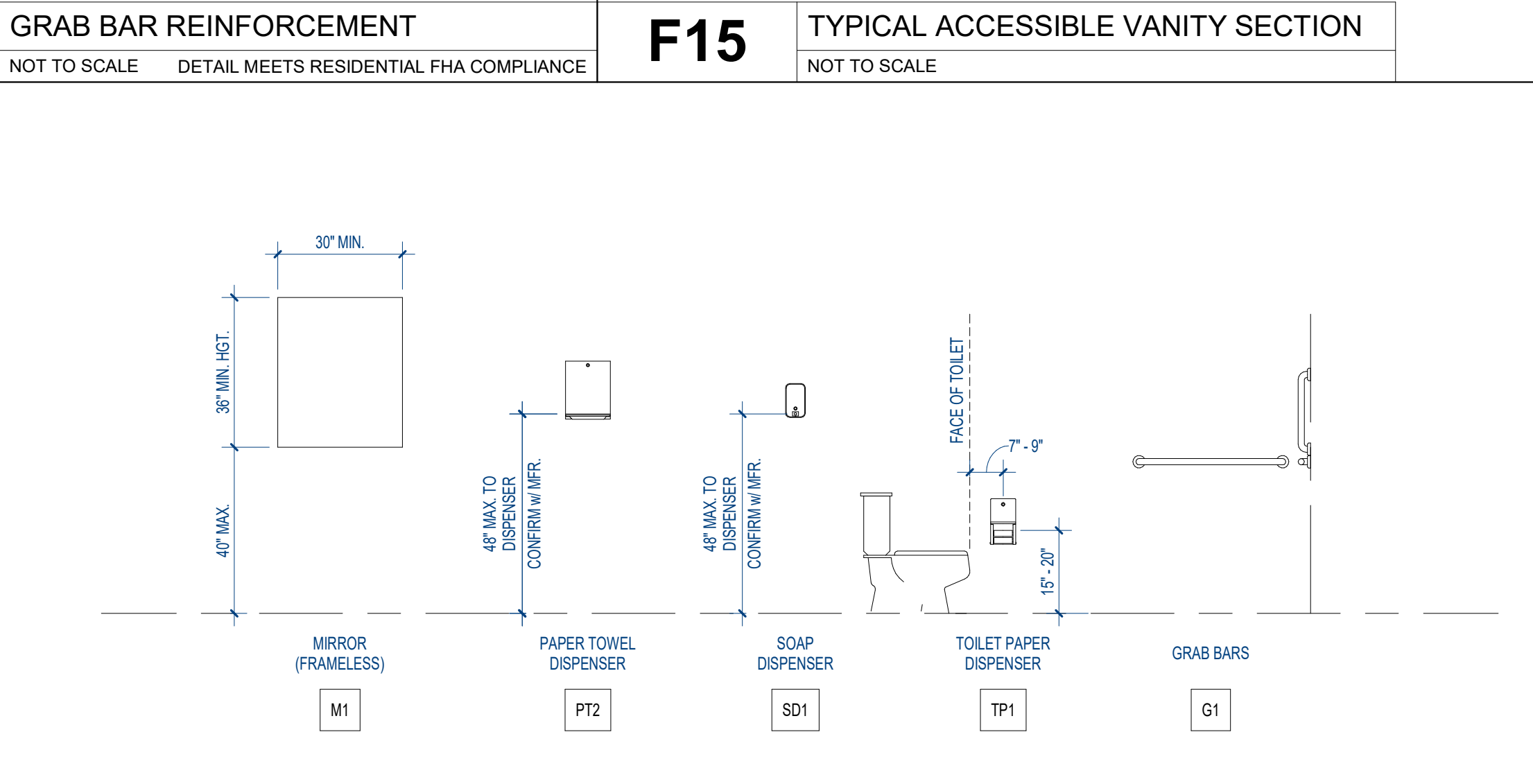
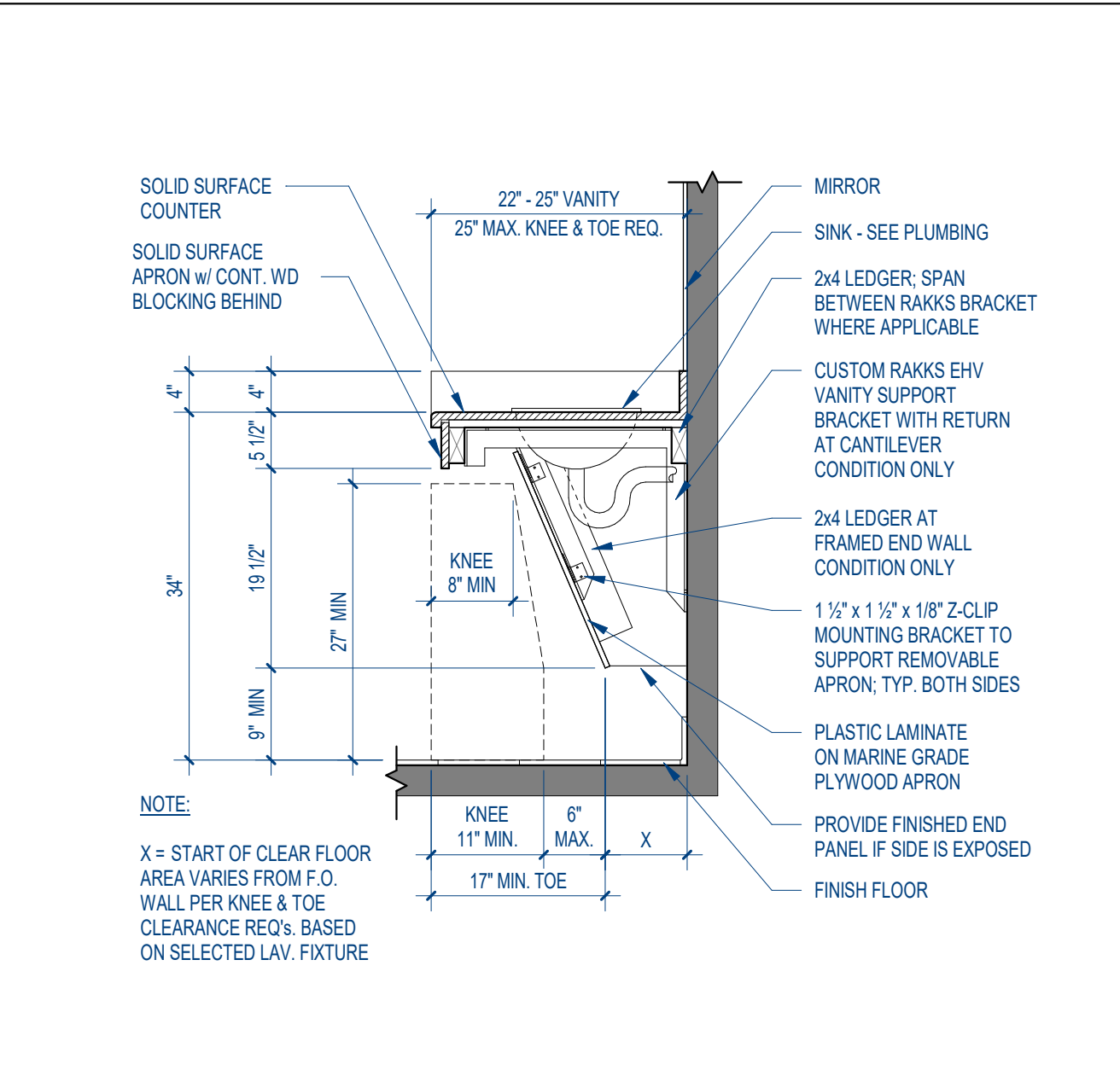
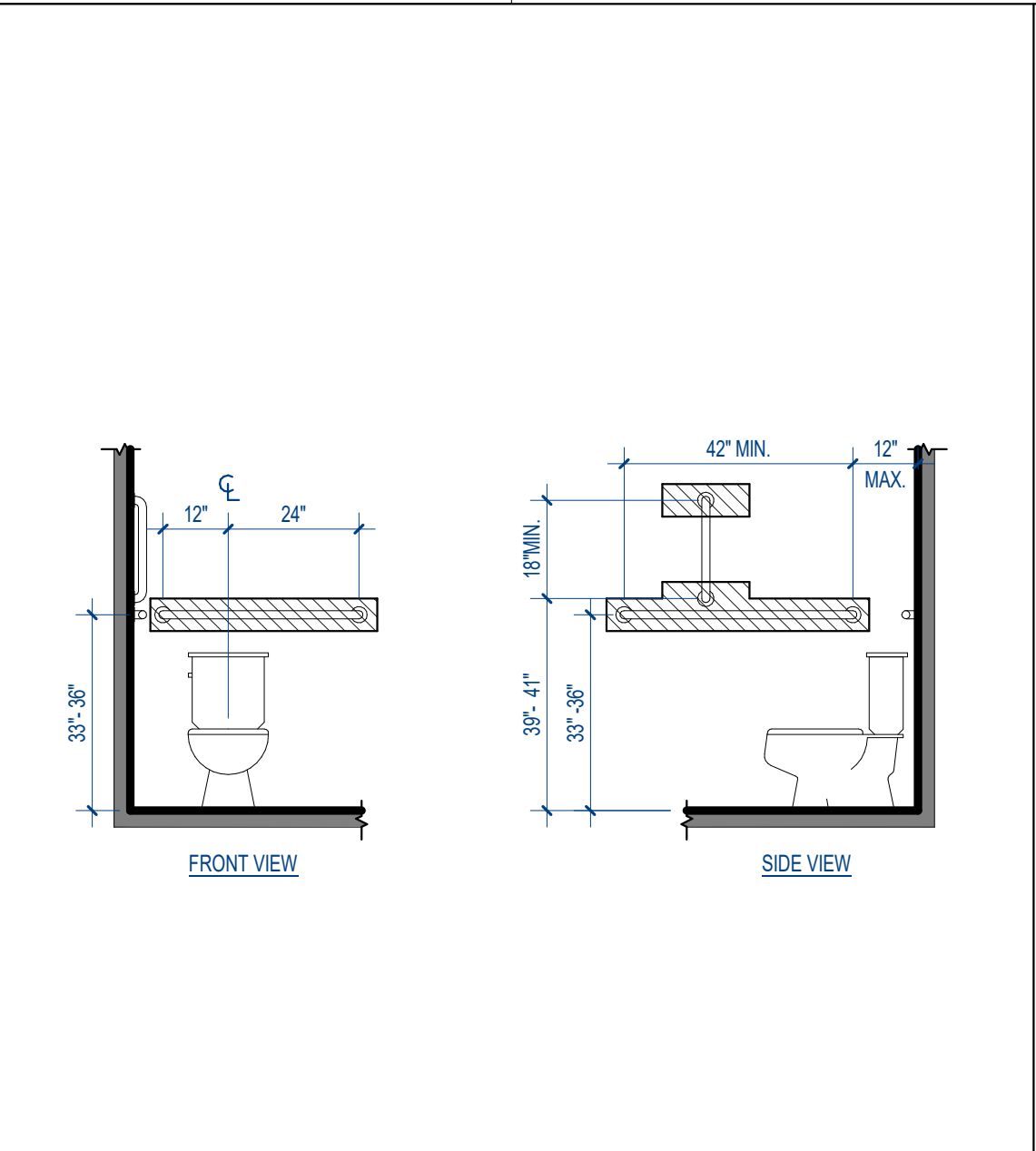
A131
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

NOTE: PLAN FOR REFERENCE ONLY - SEE FOOD SERVICE, MECH., ELECT., PLUMBING, AND OTHER ARCHITECTURAL PLANS FOR BUILD-OUT DIRECTION.

A21 ENLARGED KITCHEN EQUIPMENT FLOOR PLAN - NEW CONSTRUCTION
 1/4" = 1'-0"



M21 ACCESSIBLE RESTROOM FIXTURES
 NOT TO SCALE TYPICAL PLANS & ELEVATION DETAILS

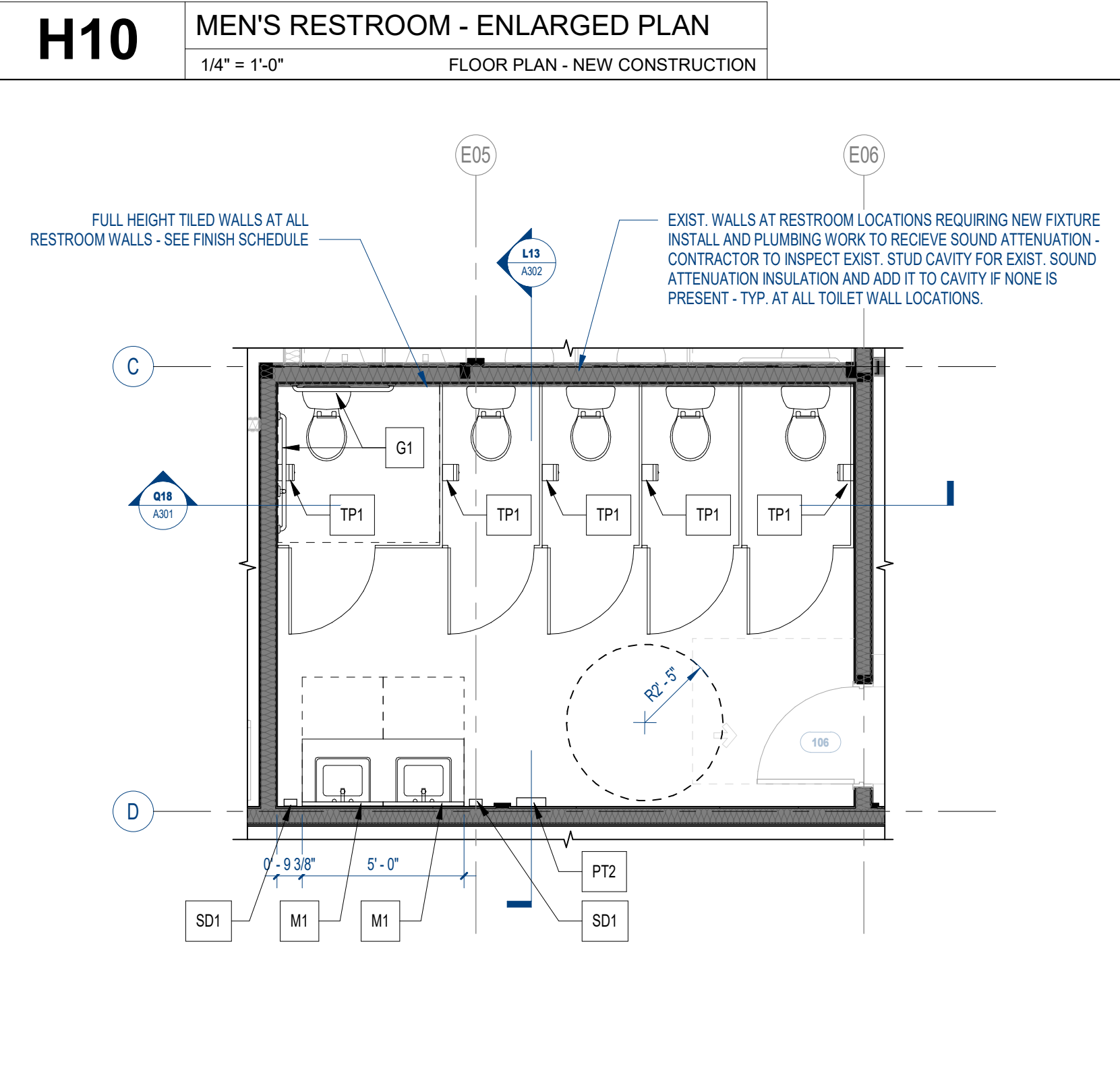
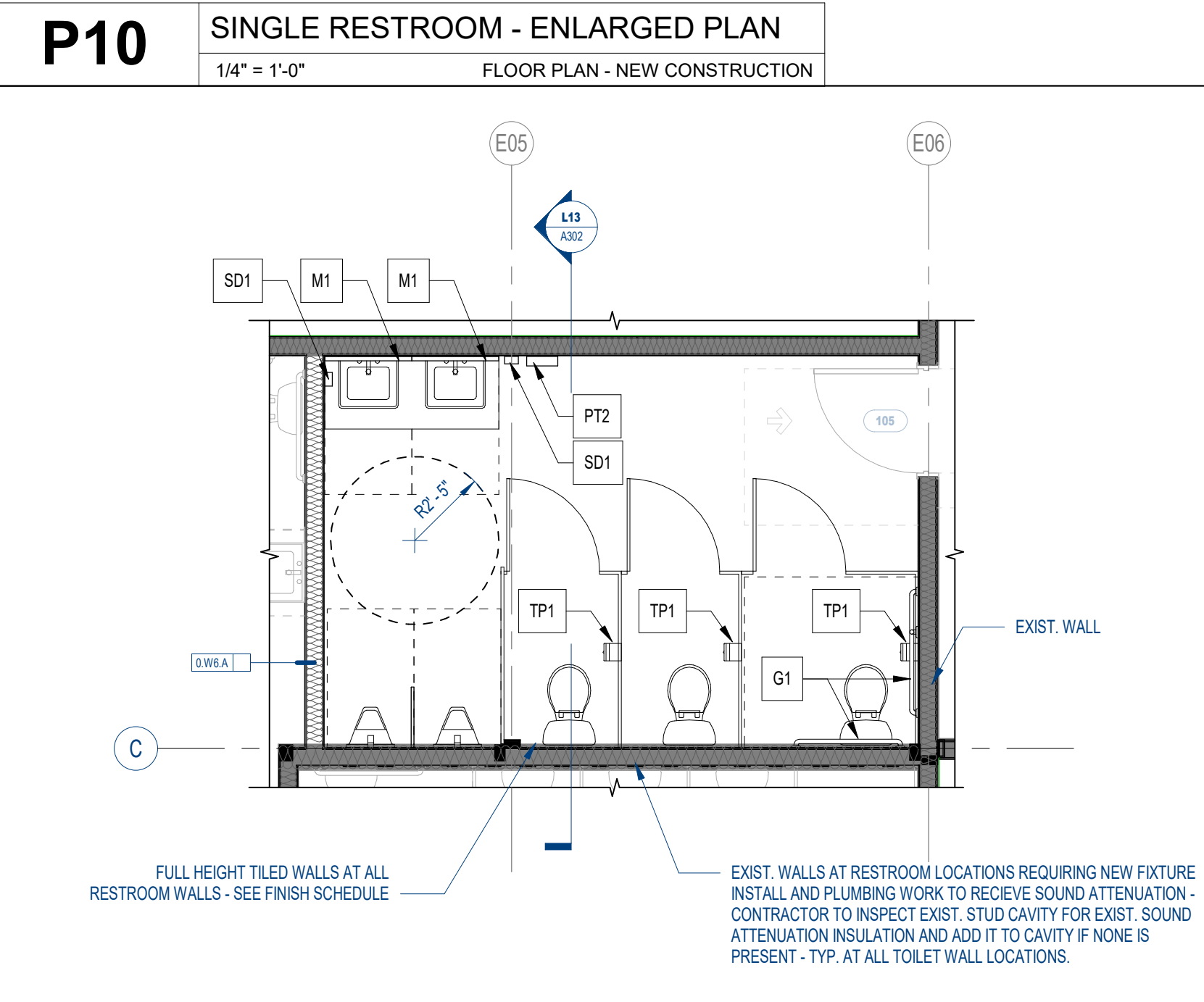


GENERAL NOTES
 ACCESSIBLE FIXTURES

A DIAGRAMS ARE BASED ON ICC A117.1-2009
 B THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER CLOSET, ASSOCIATED GRAB BARS, PAPER DISPENSERS, SANITARY NAPKIN RECEPTACLES, COAT HOOKS, SHELVES, ACCESSIBLE ROUTES, CLEAR FLOOR SPACE AT OTHER FIXTURES, & THE ASSOCIATED TURNING SPACE. NO OTHER FIXTURES OR OBSTRUCTIONS SHALL BE LOCATED WITHIN THE REQUIRED WATER CLOSET CLEARANCE.
 C LAVATORY & WATER CLOSET TO BE LEVER TYPE CONTROLS.
 D HOT WATER & DRIN PIPES UNDER LAVATORY SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST ACCIDENTAL CONTACT.
 E SEE EQUIPMENT / ACCESSORY SCHEDULES & LEGENDS FOR OTHER NOTES, DIMENSIONS, & CLEARANCE REQUIREMENTS.

GENERAL NOTES
 ACCESSIBLE GRAB BARS & BLOCKING / REINFORCEMENT

A REAR & SIDE GRAB BAR REINFORCEMENT IS REQUIRED AT ALL BATHROOMS IN TYPE 'A' & TYPE 'B' RESIDENTIAL UNITS.
 B GRAB BAR REINFORCEMENT ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 LBS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE.
 C GRAB BARS & WATER CLOSET SEATS SHALL WITHSTAND A LOAD OF NOT LESS THAN 250 LBS APPLIED AT ANY POINT.
 D PROVIDE REINFORCEMENT FOR SWING-UP GRAB BARS IN LOCATIONS WHERE A SIDE WALL IS NOT AVAILABLE FOR A 42" GRAB BAR.
 E DIAGONAL HATCH PATTERN INDICATES AREA WITH REINFORCEMENT.
 F PROVIDE MIN. 1-1/2" CLEARANCE BETWEEN GRAB BARS / RAILINGS & FACE OF WALL FOR GRASABILITY.



DIA Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

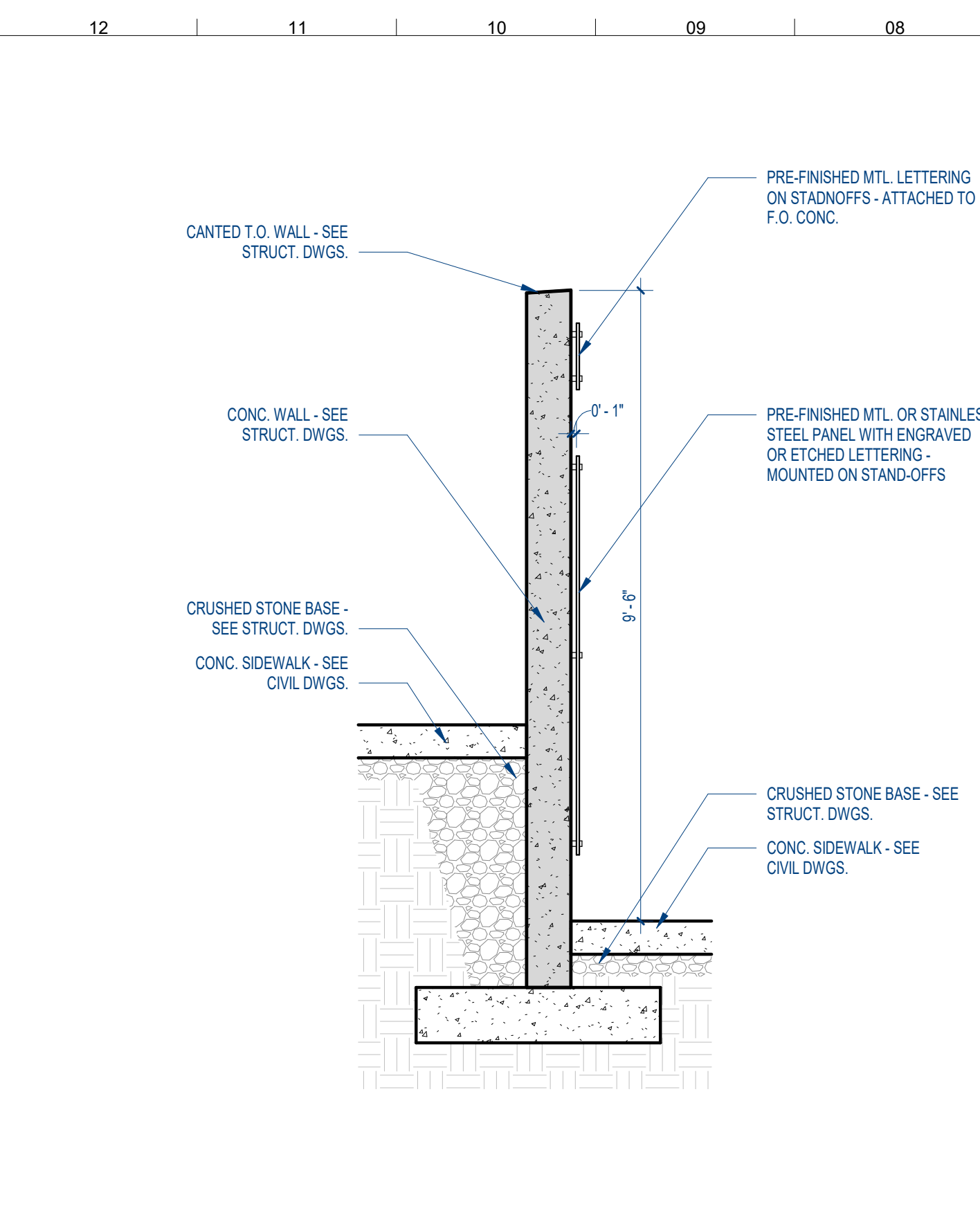
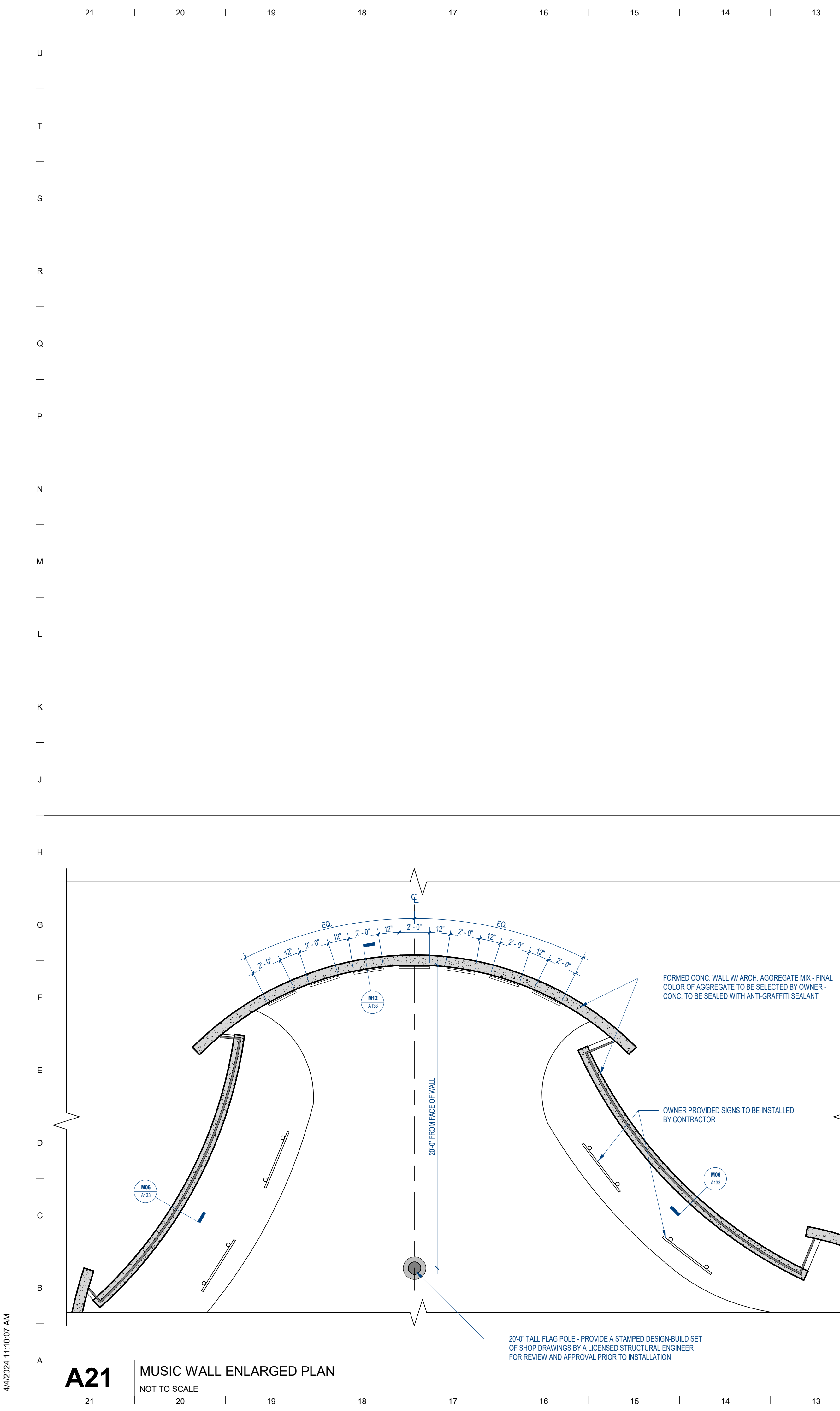
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNATIONS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

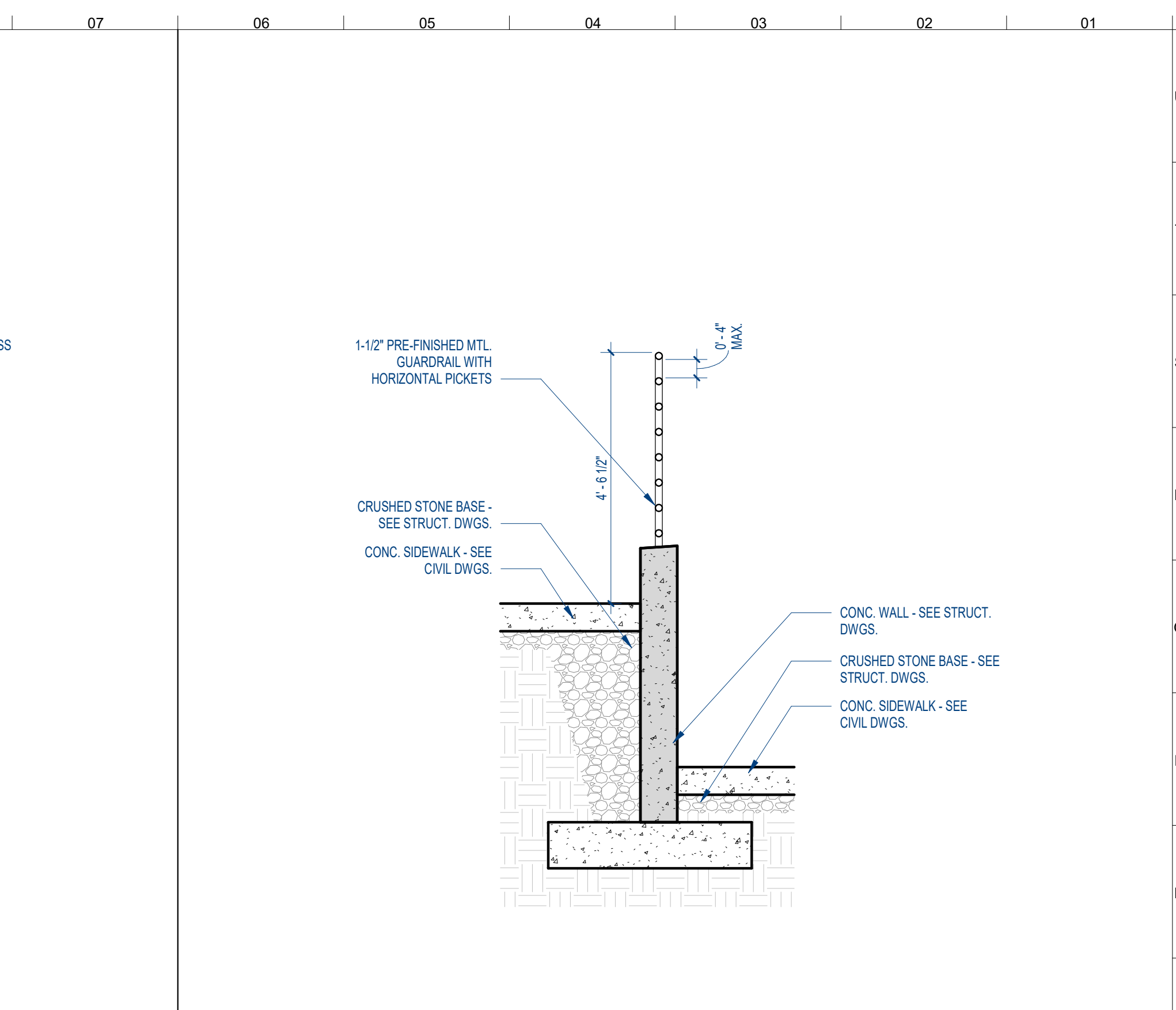
SHEET DESCRIPTION
ENLARGED RESTROOM PLANS

A132
 PROJECT DATE PROJECT NUMBER
 2024-04-01 23071

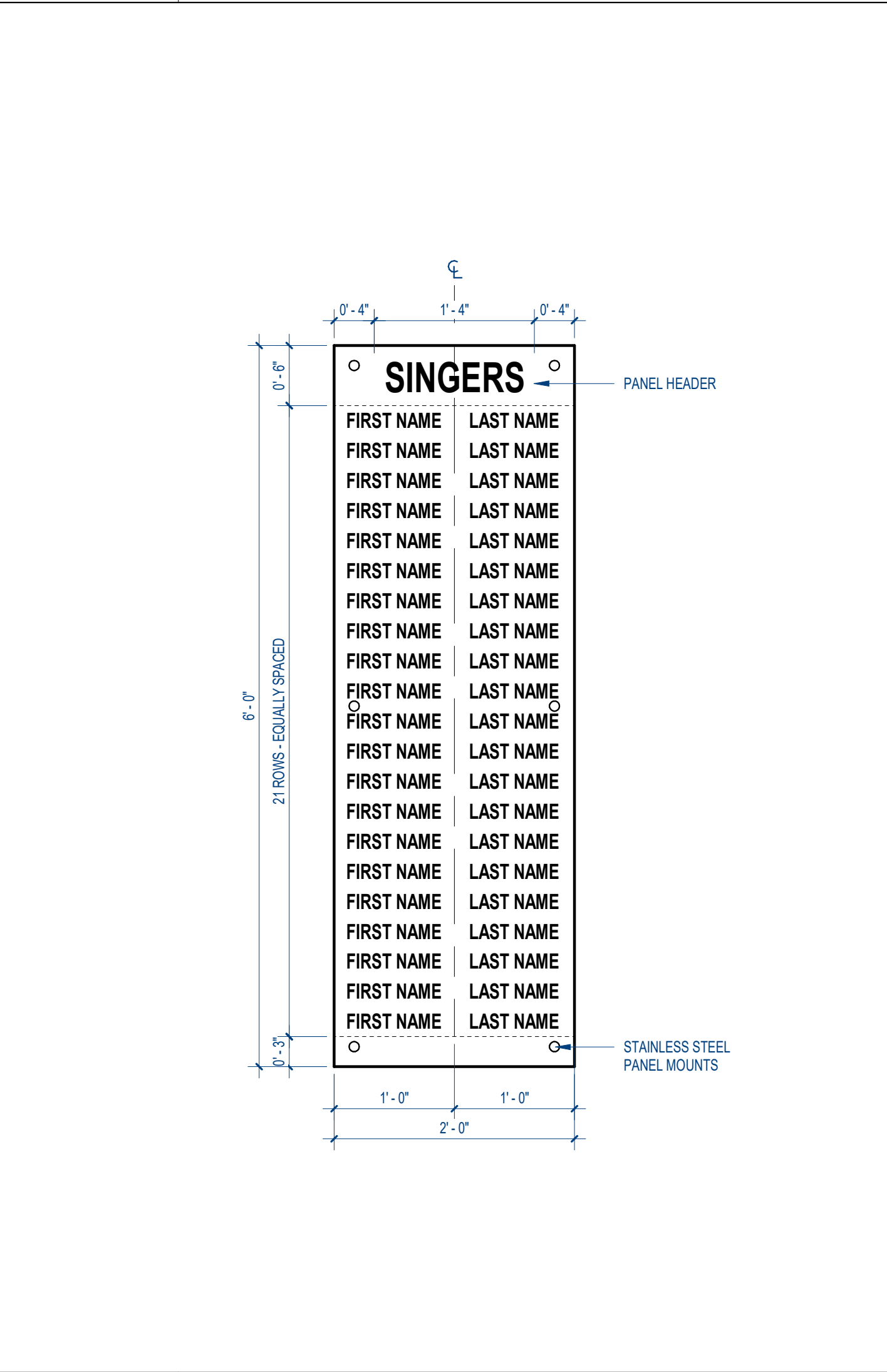
4/4/2024 11:10:06 AM



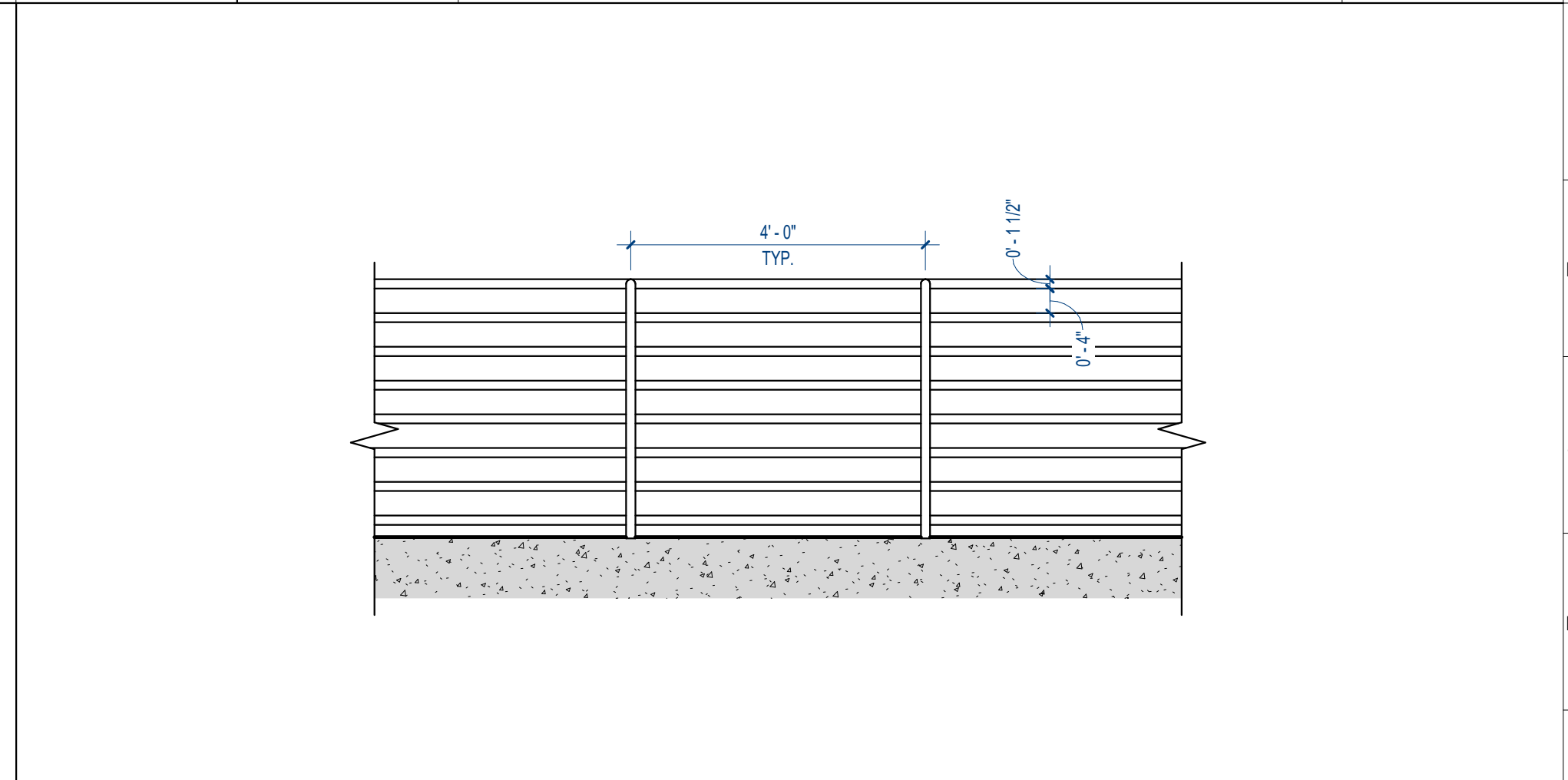
M12 MUSIC WALL DETAIL SECTION - HIGH WALL
1/2" = 1'-0"



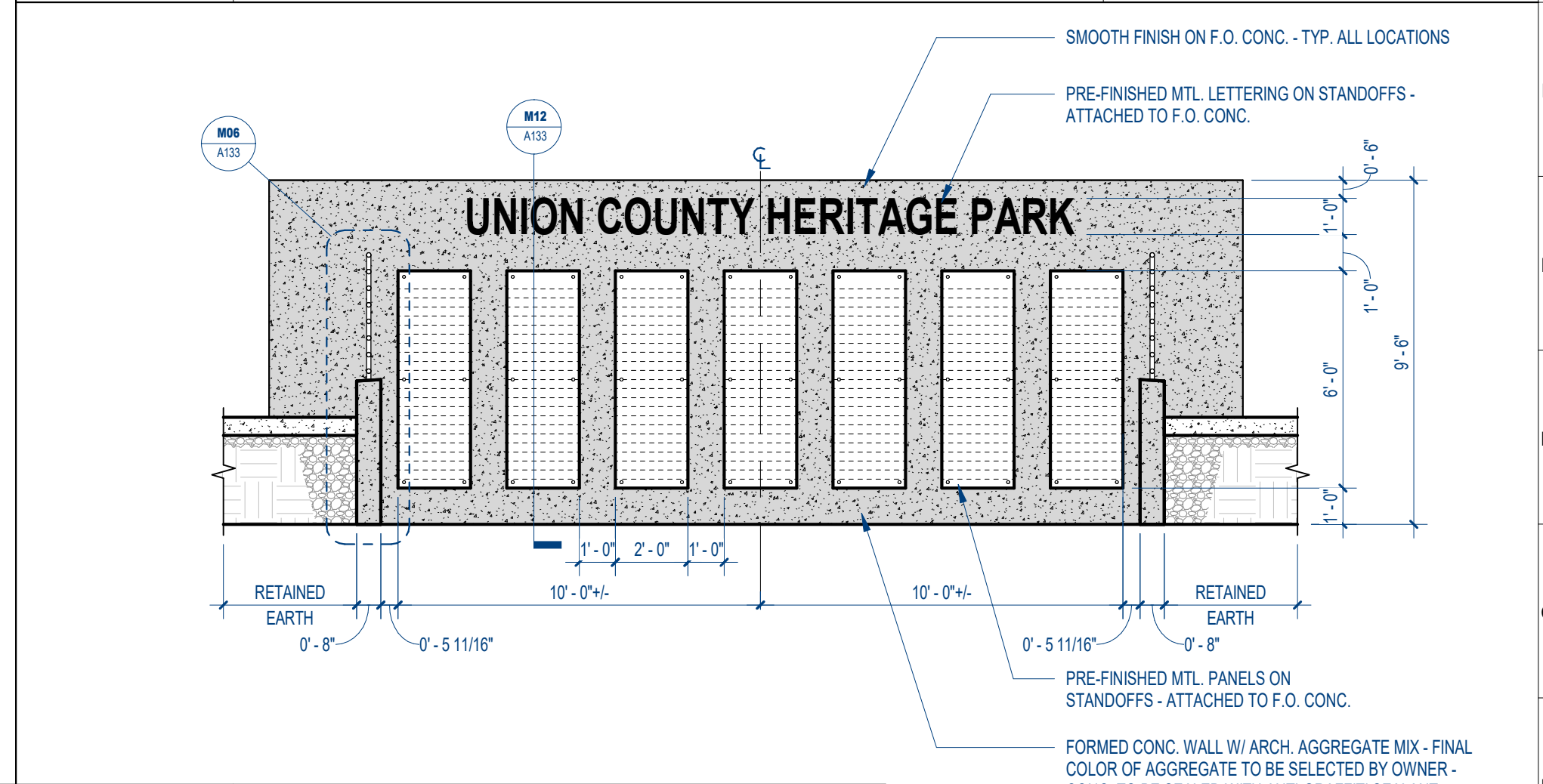
M06 MUSIC WALL DETAIL SECTION - LOW WALL + RAILING
1/2" = 1'-0"



B12 MUSIC WALL ENLARGED PANEL ELEVATION
1" = 1'-0"



G07 MUSIC WALL ENLARGED RAILING ELEVATION
1/2" = 1'-0"



B07 MUSIC WALL ENLARGED ELEVATION
1/4" = 1'-0"

NOTE: FOR GENERAL PRICING AND CONFORMANCE PURPOSES ONLY - CONTRACTOR AND SIGNAGE SUBCONTRACTOR TO COORDINATE WITH OWNERS TO DEVELOP DETAILED SHOP DRAWINGS FOR FINAL MUSIC WALL SIGNAGE

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com

PROFESSIONAL ARCHITECT
GREGORY SCOTT CAMPBELL
NO. 101340
2024-04-01
STATE OF TENNESSEE

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

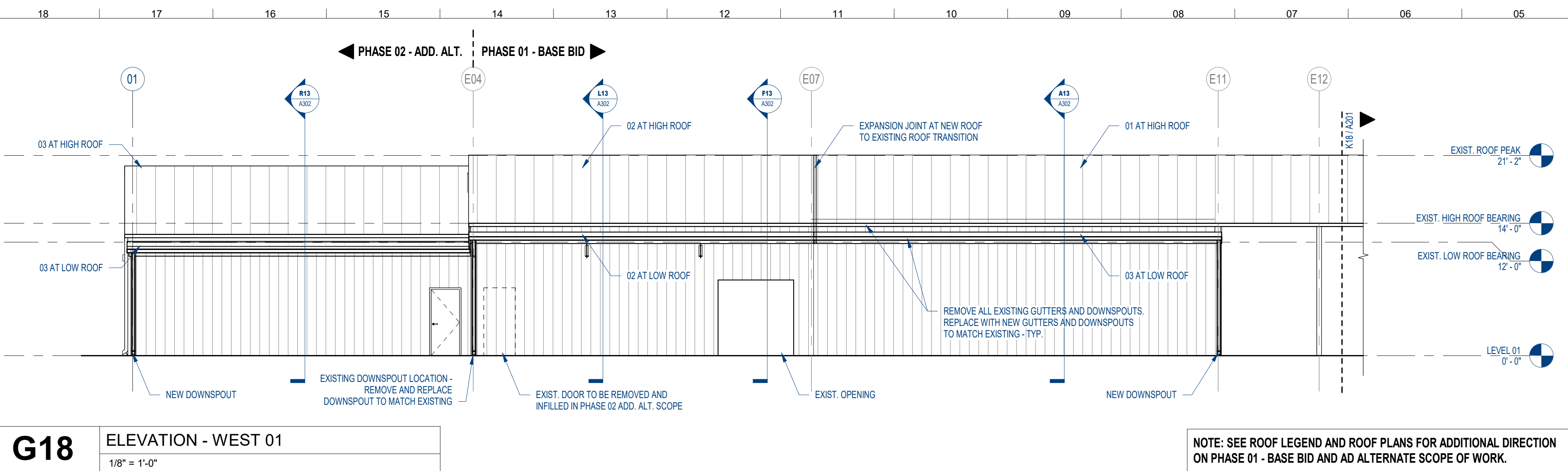
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
MUSIC WALL DETAILS

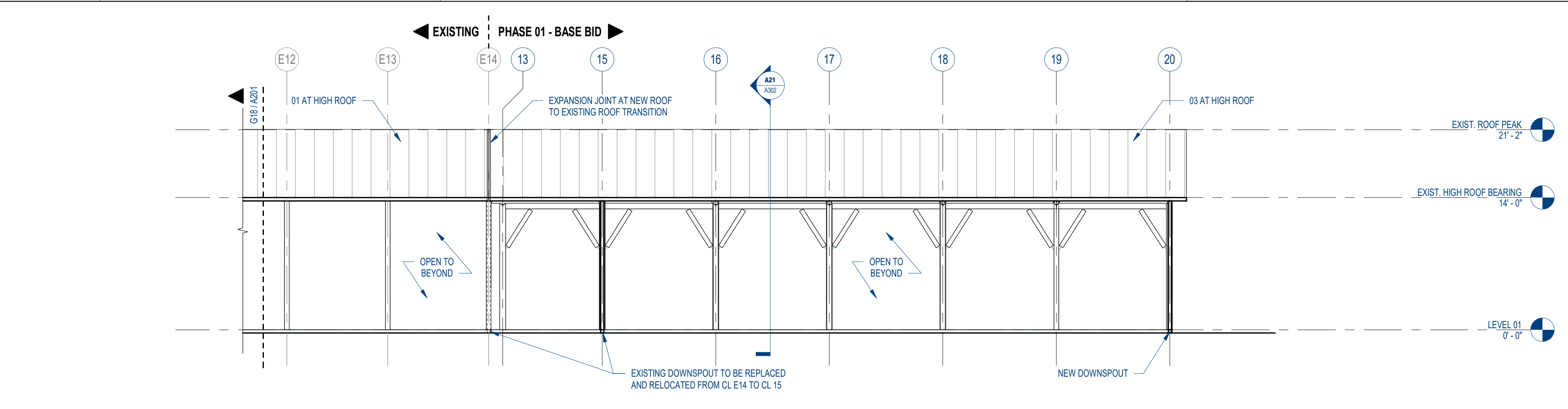
A133
PROJECT DATE: 2024-04-01 PROJECT NUMBER: 23071

4/4/2024 11:10:09 AM



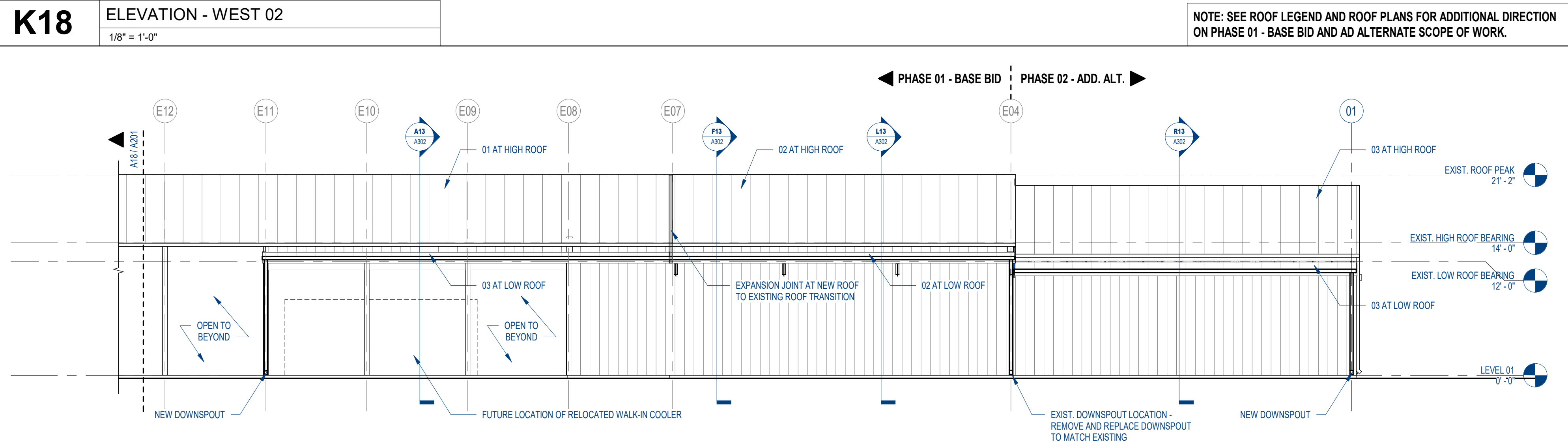
G18 ELEVATION - WEST 01
1/8" = 1'-0"

NOTE: SEE ROOF LEGEND AND ROOF PLANS FOR ADDITIONAL DIRECTION ON PHASE 01 - BASE BID AND AD ALTERNATE SCOPE OF WORK.



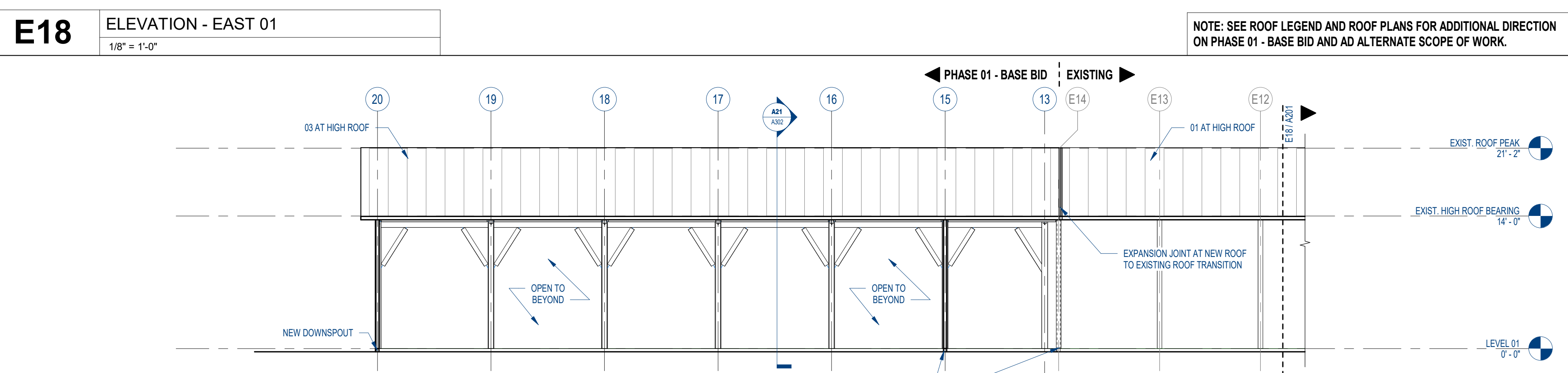
K18 ELEVATION - WEST 02
1/8" = 1'-0"

NOTE: SEE ROOF LEGEND AND ROOF PLANS FOR ADDITIONAL DIRECTION ON PHASE 01 - BASE BID AND AD ALTERNATE SCOPE OF WORK.



E18 ELEVATION - EAST 01
1/8" = 1'-0"

NOTE: SEE ROOF LEGEND AND ROOF PLANS FOR ADDITIONAL DIRECTION ON PHASE 01 - BASE BID AND AD ALTERNATE SCOPE OF WORK.

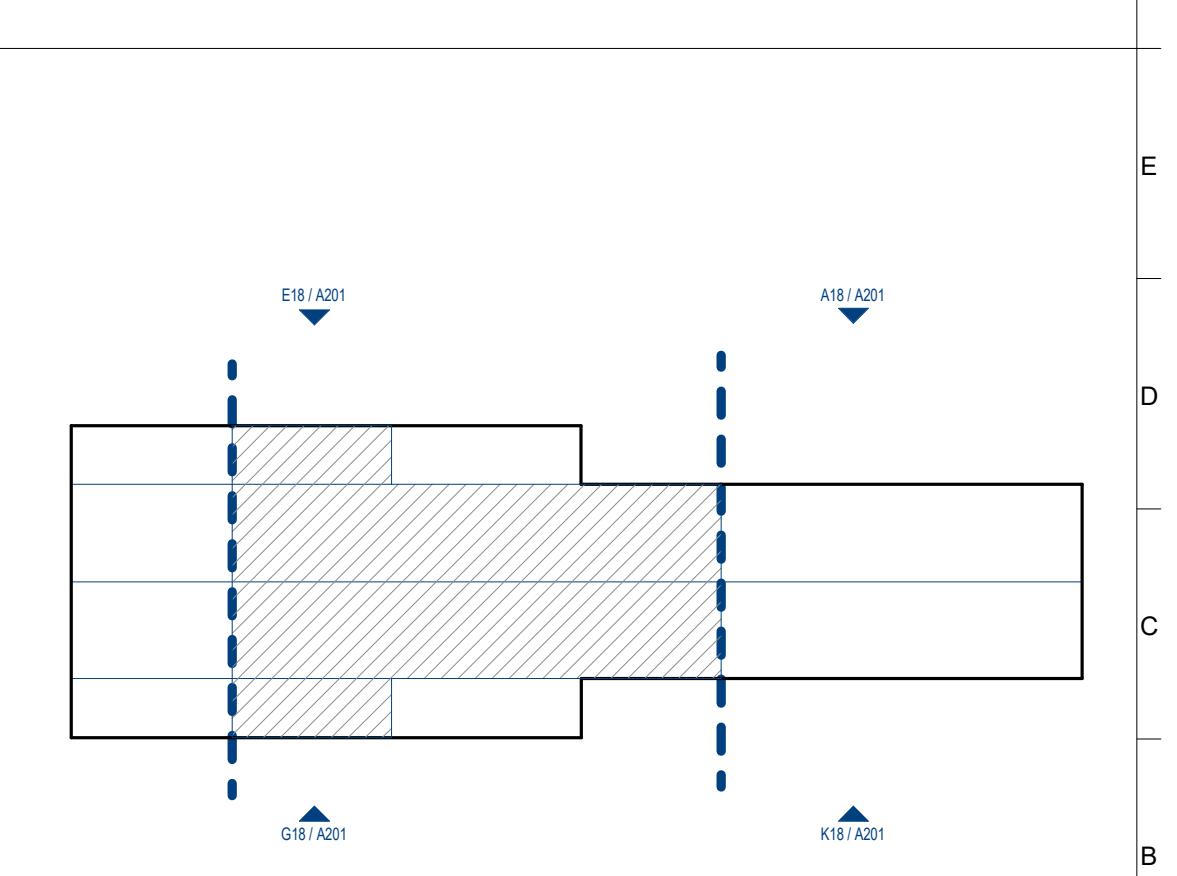


A18 ELEVATION - EAST 02
1/8" = 1'-0"

NOTE: SEE ROOF LEGEND AND ROOF PLANS FOR ADDITIONAL DIRECTION ON PHASE 01 - BASE BID AND AD ALTERNATE SCOPE OF WORK.

U04	GENERAL NOTES	EXTERIOR ELEVATIONS
A EXAMPLE EXTERIOR ELEVATION GENERAL NOTES CONTENT		
Q04	KEYED NOTES	EXTERIOR ELEVATIONS

ROOF LEGEND	
	01 - EXISTING TO REMAIN
	02 - EXISTING ROOF TO BE REMOVED TO ALLOW FOR NEW DECKING TO BE INSTALLED TO STRUCTURE BELOW. EXISTING ROOF TO BE RE-INSTALLED AFTER NEW DECKING. - SEE STRUCTURAL FOR MORE DETAILED INFORMATION - SEE ROOF PLAN FOR EXTENTS OF INSTALLATION
	03 - NEW ROOF CONSTRUCTION



A04	KEY PLAN	NOT TO SCALE
------------	----------	--------------

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com

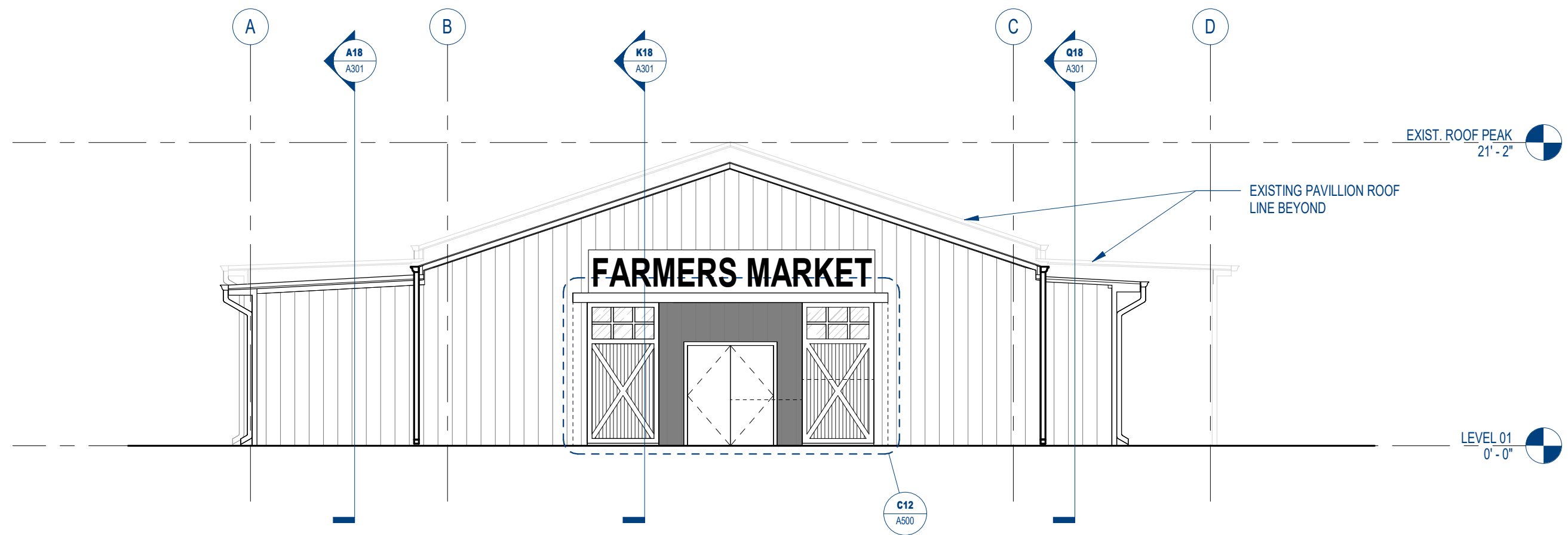
PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

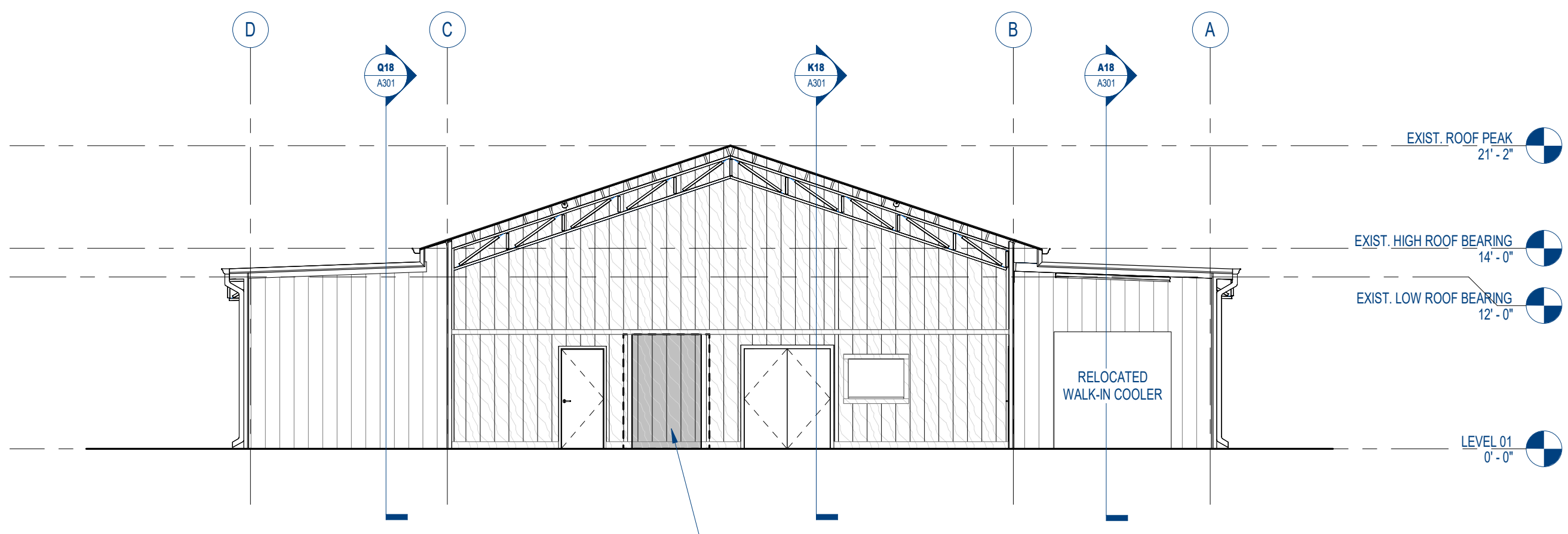
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
EXTERIOR ELEVATIONS

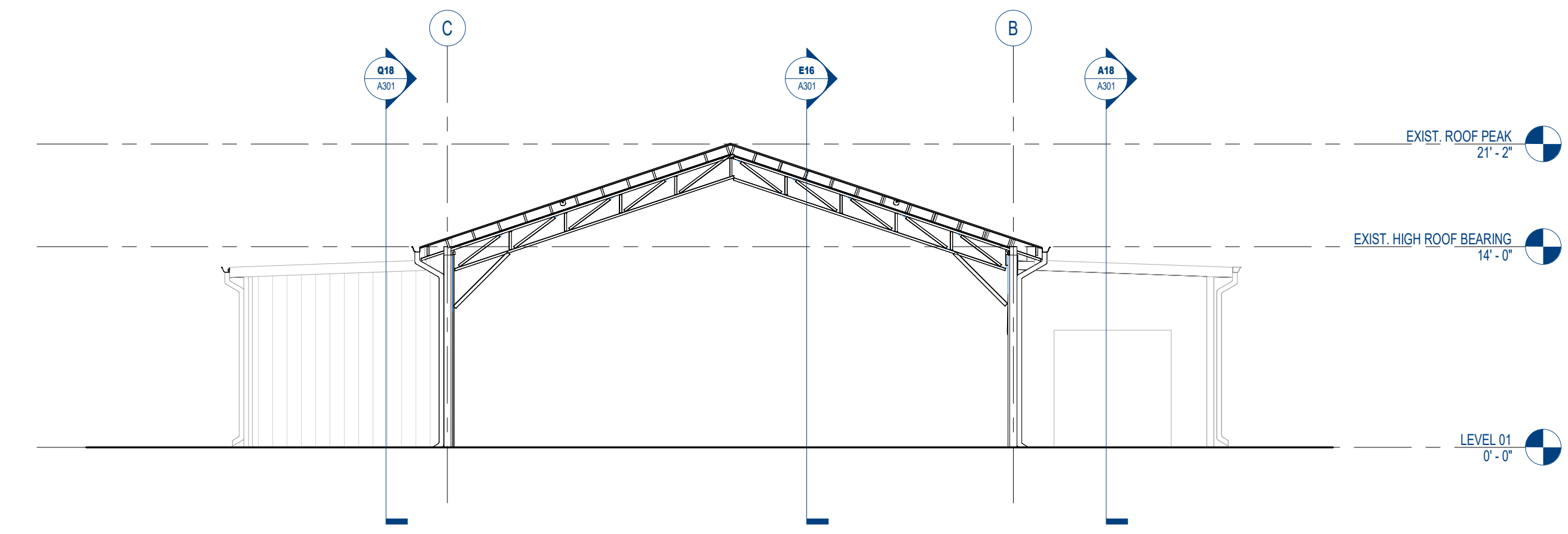
A201	PROJECT DATE	PROJECT NUMBER
	2024-04-01	23071



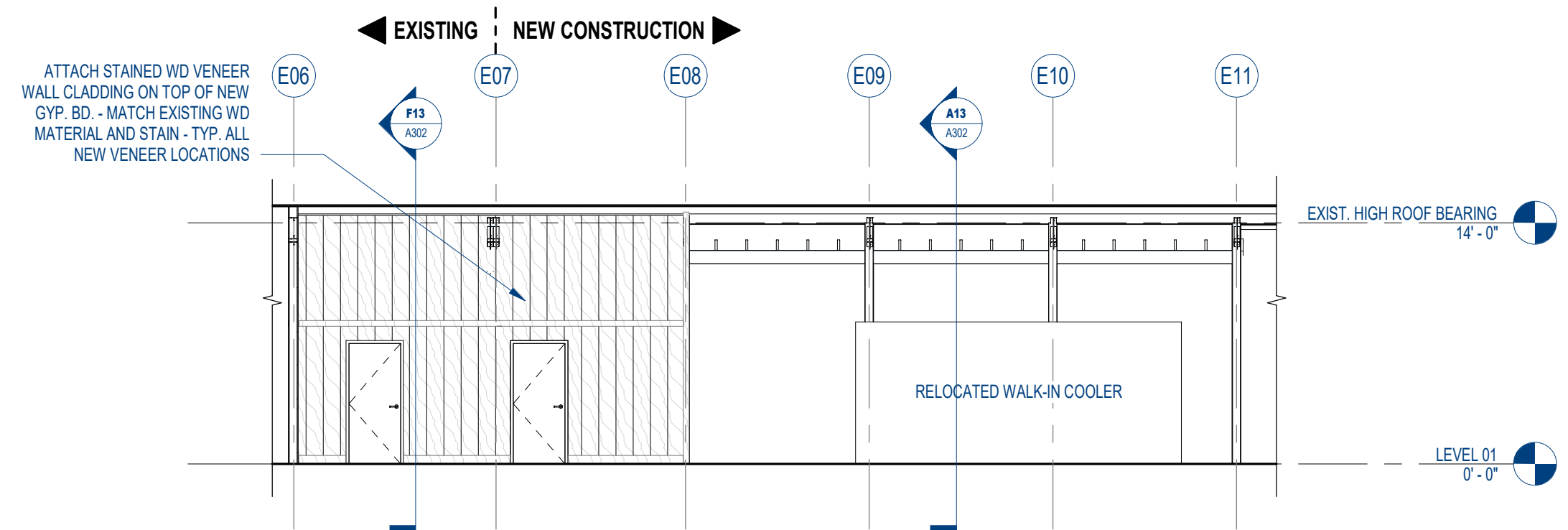
Q14 ELEVATION - NORTH
1/8" = 1'-0"



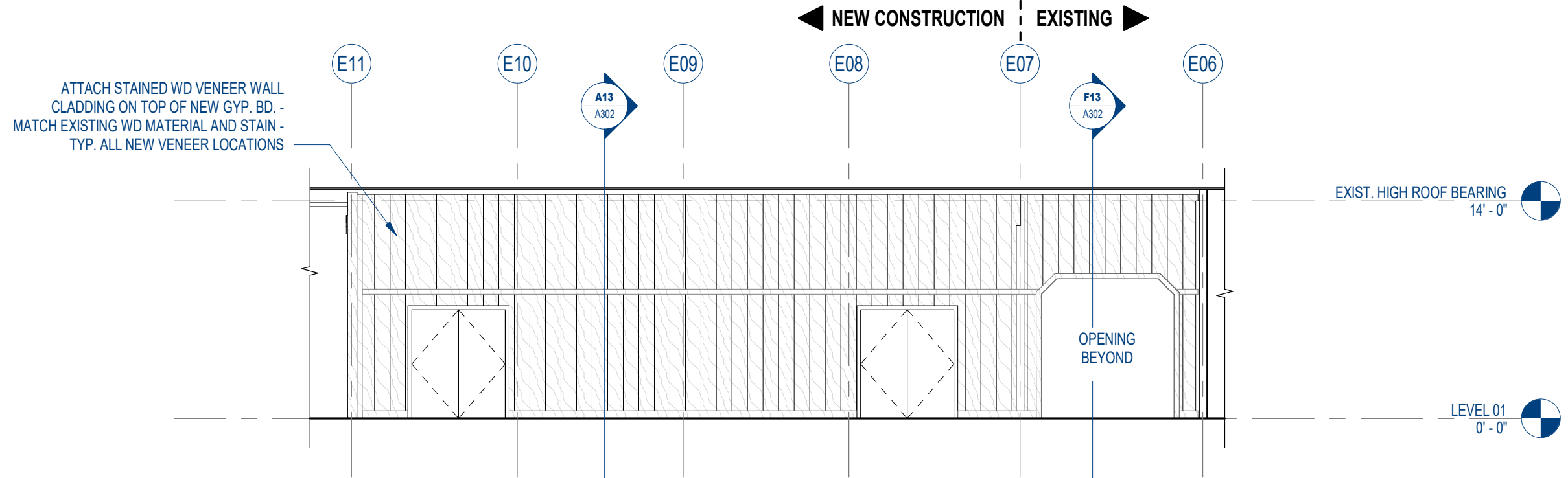
K14 ELEVATION - SOUTH 01
1/8" = 1'-0"



E14 ELEVATION - SOUTH 02
1/8" = 1'-0"



A21 ELEVATION - OFFICE AND STORAGE
1/8" = 1'-0"



A13 ELEVATION - MARKET STORAGE
1/8" = 1'-0"

U04 GENERAL NOTES

A EXAMPLE EXTERIOR ELEVATION GENERAL NOTES CONTENT

Q04 KEYED NOTES

A04 KEY PLAN

NOT TO SCALE

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

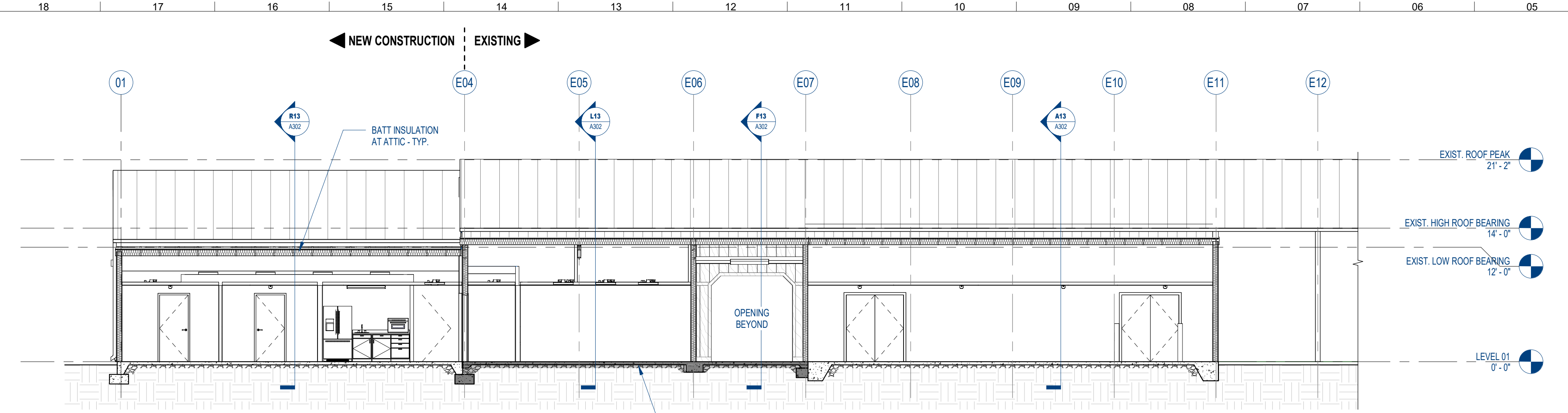
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
EXTERIOR ELEVATIONS

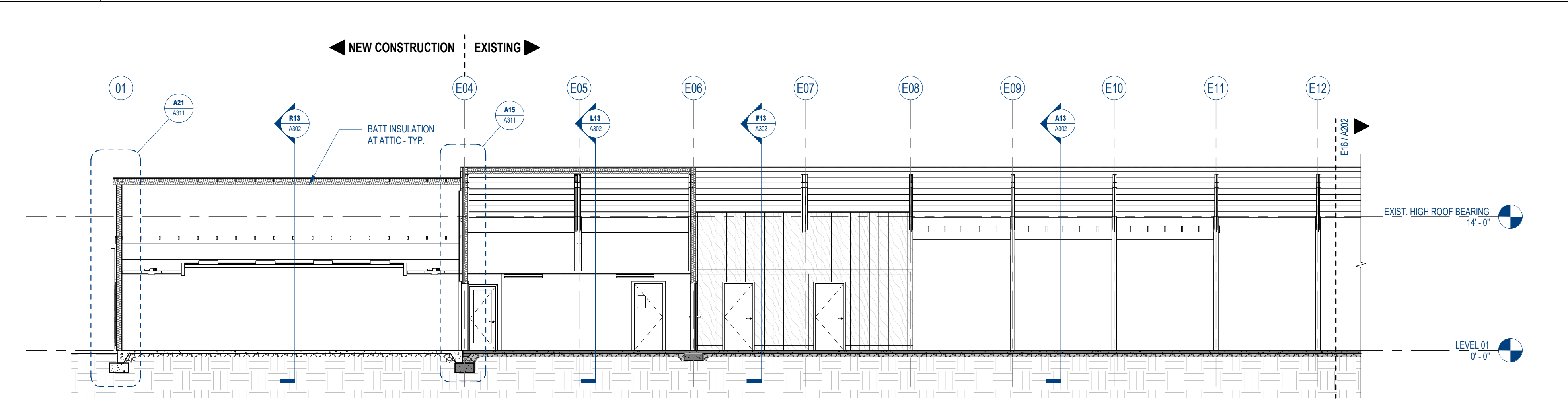
A202
PROJECT DATE 2024-04-01 PROJECT NUMBER 23071

4/4/2024 11:10:10 AM

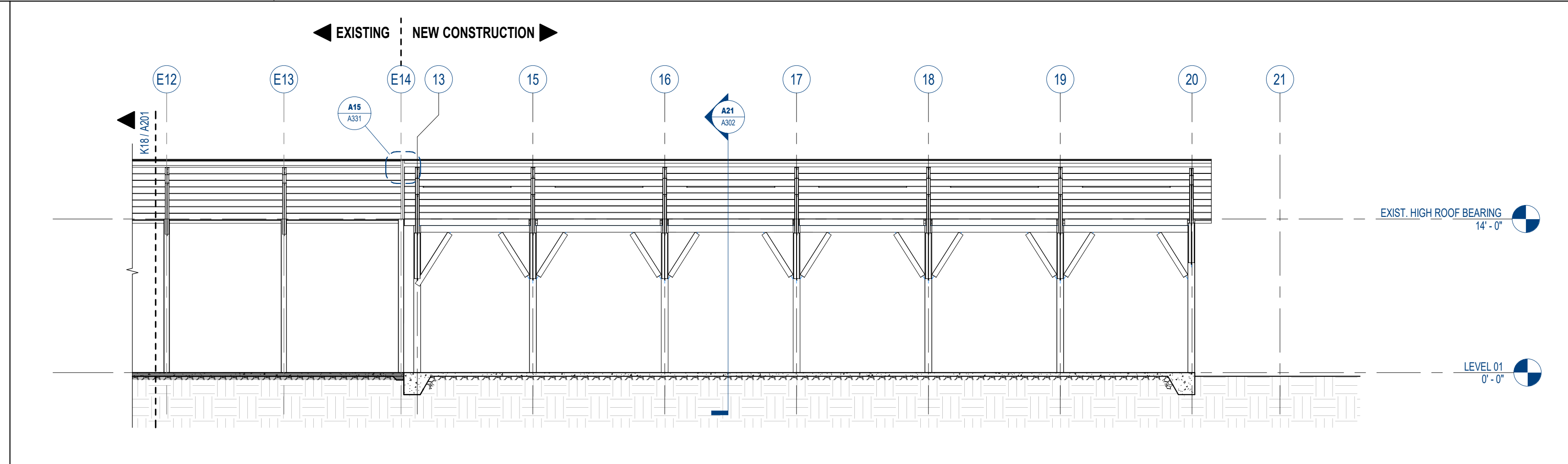
4/4/2024 11:10:12 AM



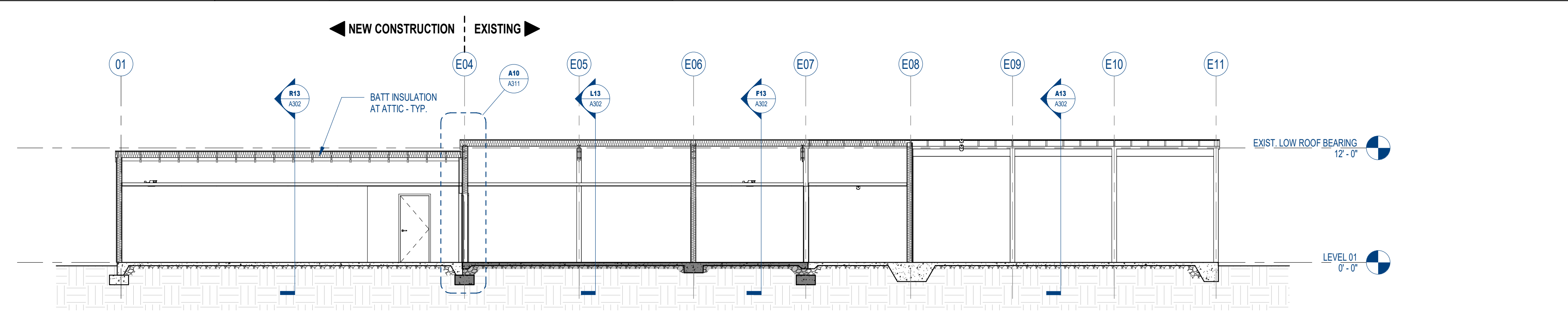
K18 LONGITUDINAL SECTION 01
1/8" = 1'-0"



K18 LONGITUDINAL SECTION 02A
1/8" = 1'-0"



E16 LONGITUDINAL SECTION 02B
1/8" = 1'-0"

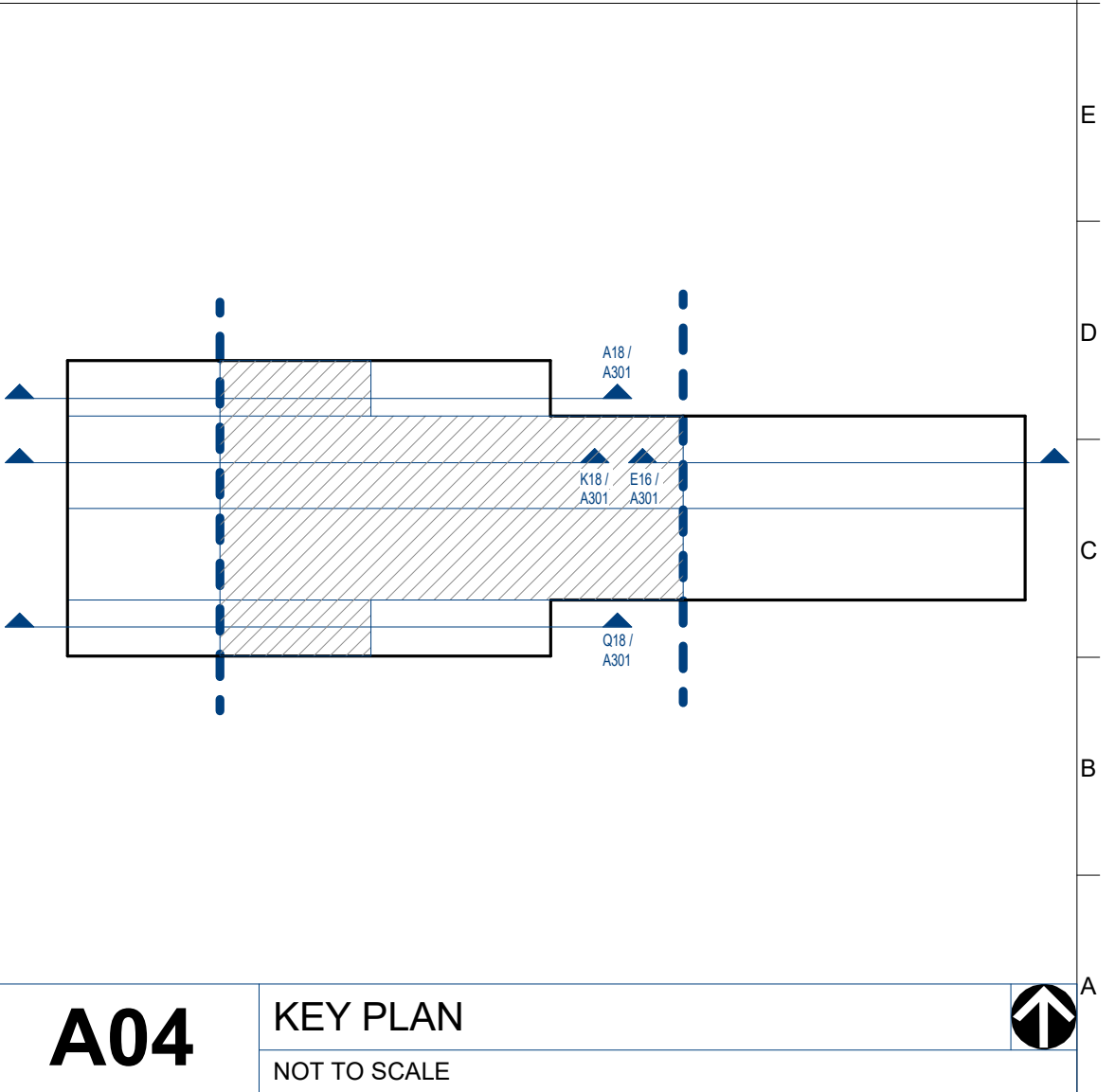


A18 LONGITUDINAL SECTION 03
1/8" = 1'-0"

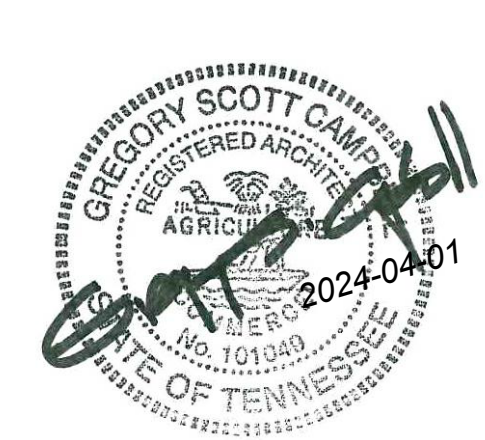
U04	GENERAL NOTES
BUILDING SECTIONS	
A EXAMPLE BUILDING SECTION GENERAL NOTES CONTENT	

Q04	KEYED NOTES
BUILDING SECTIONS	

A04	KEY PLAN
NOT TO SCALE	



DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

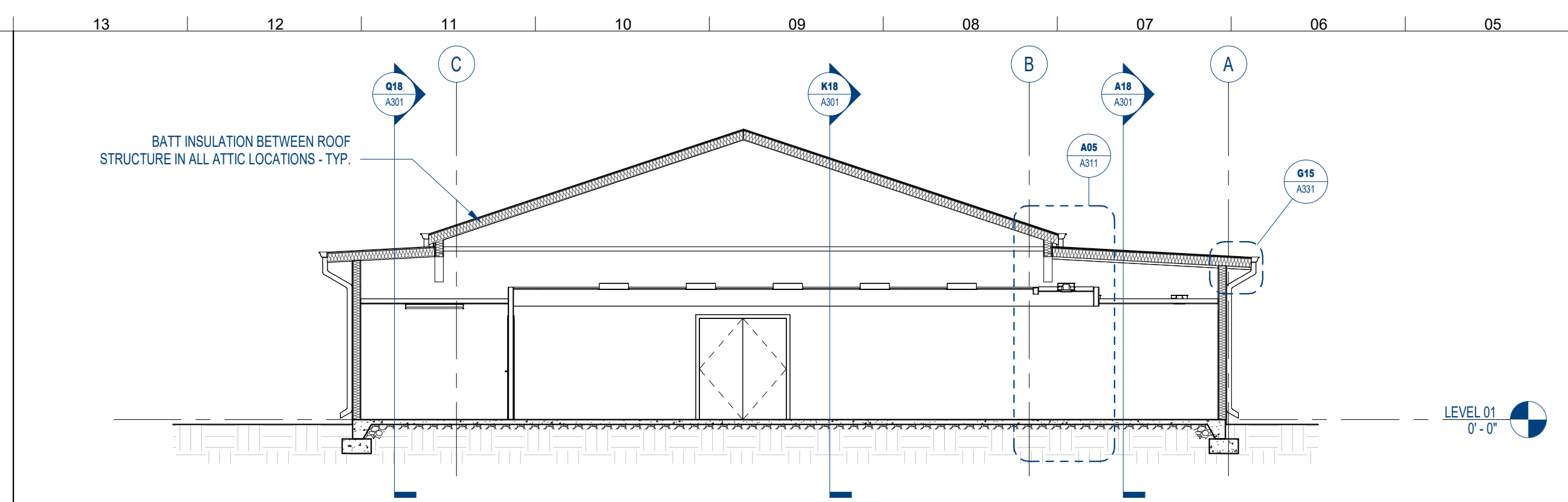
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

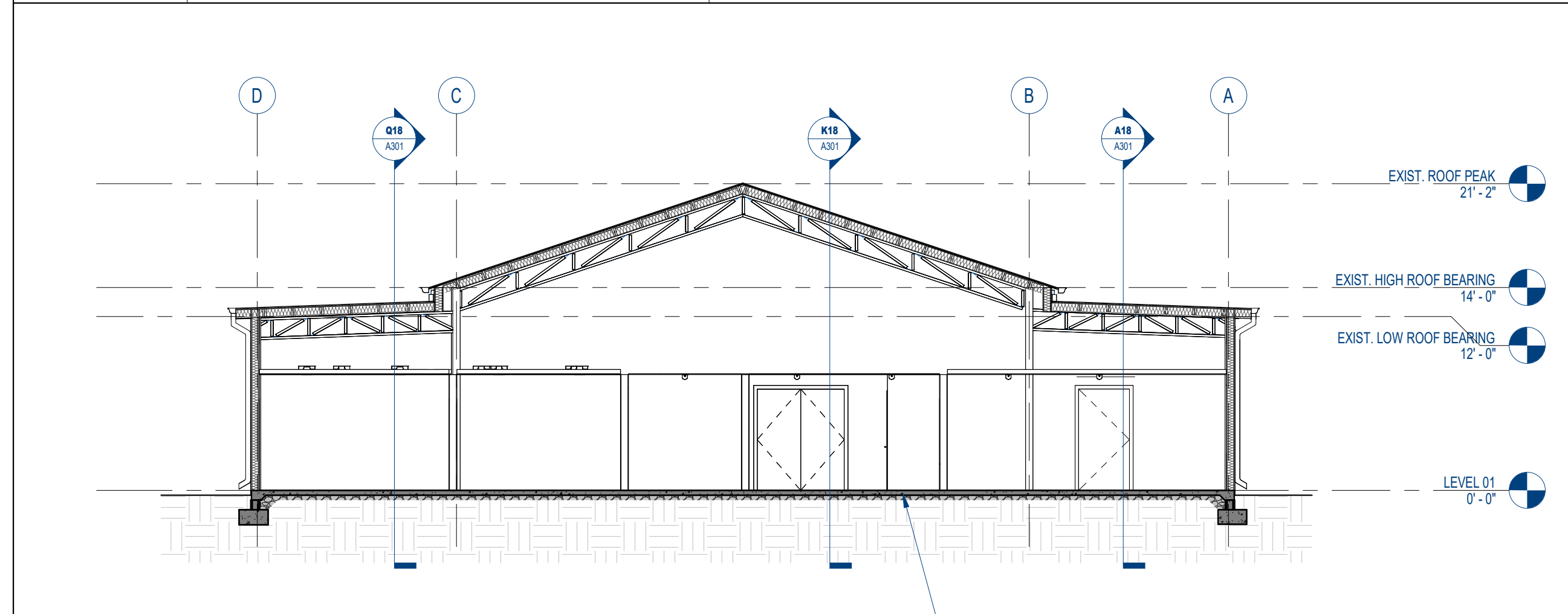
SHEET DESCRIPTION
BUILDING SECTIONS

A301
PROJECT DATE 2024-04-01 PROJECT NUMBER 23071

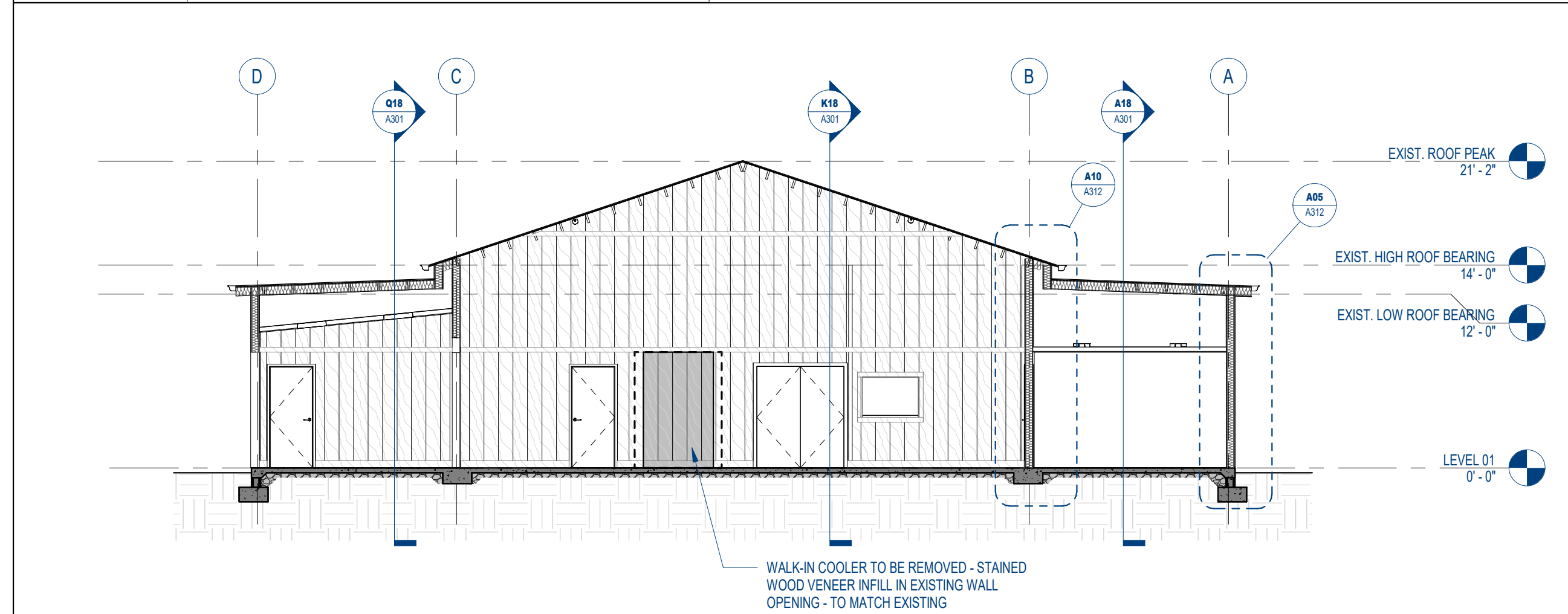
4/4/2024 11:10:14 AM



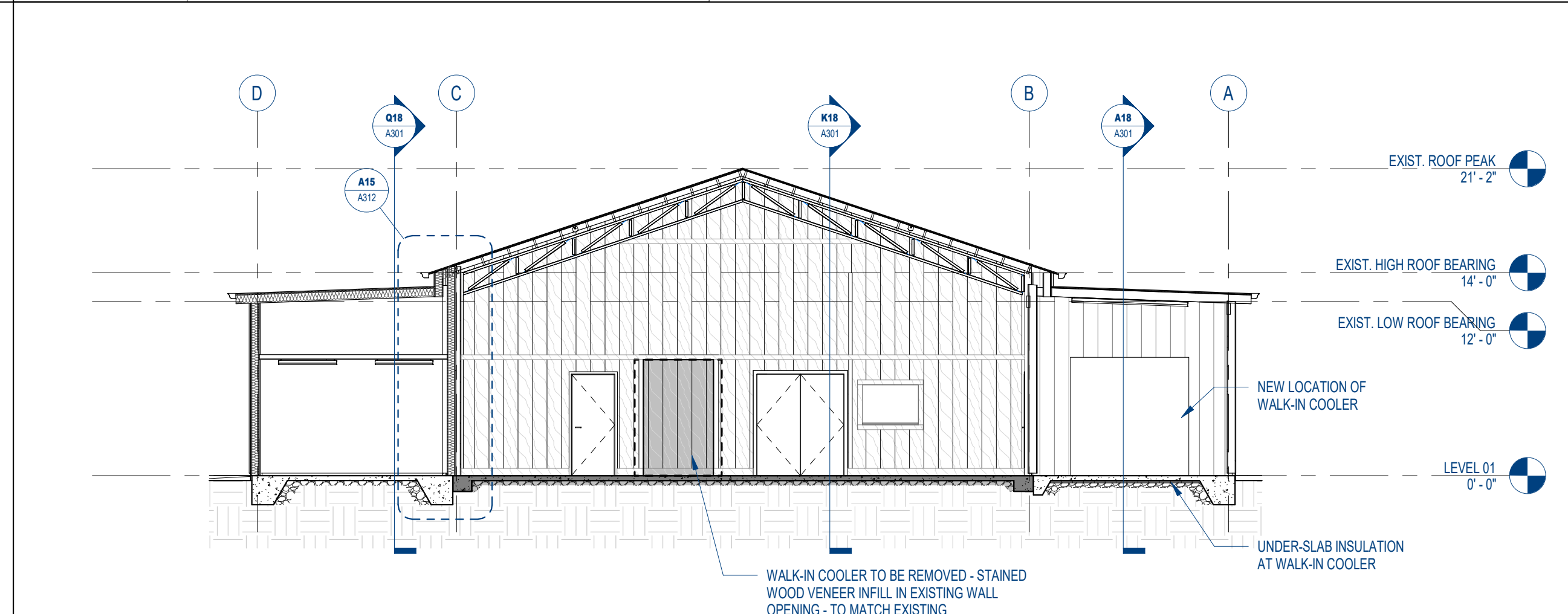
R13 TRANSVERSE SECTION 01
1/8" = 1'-0"



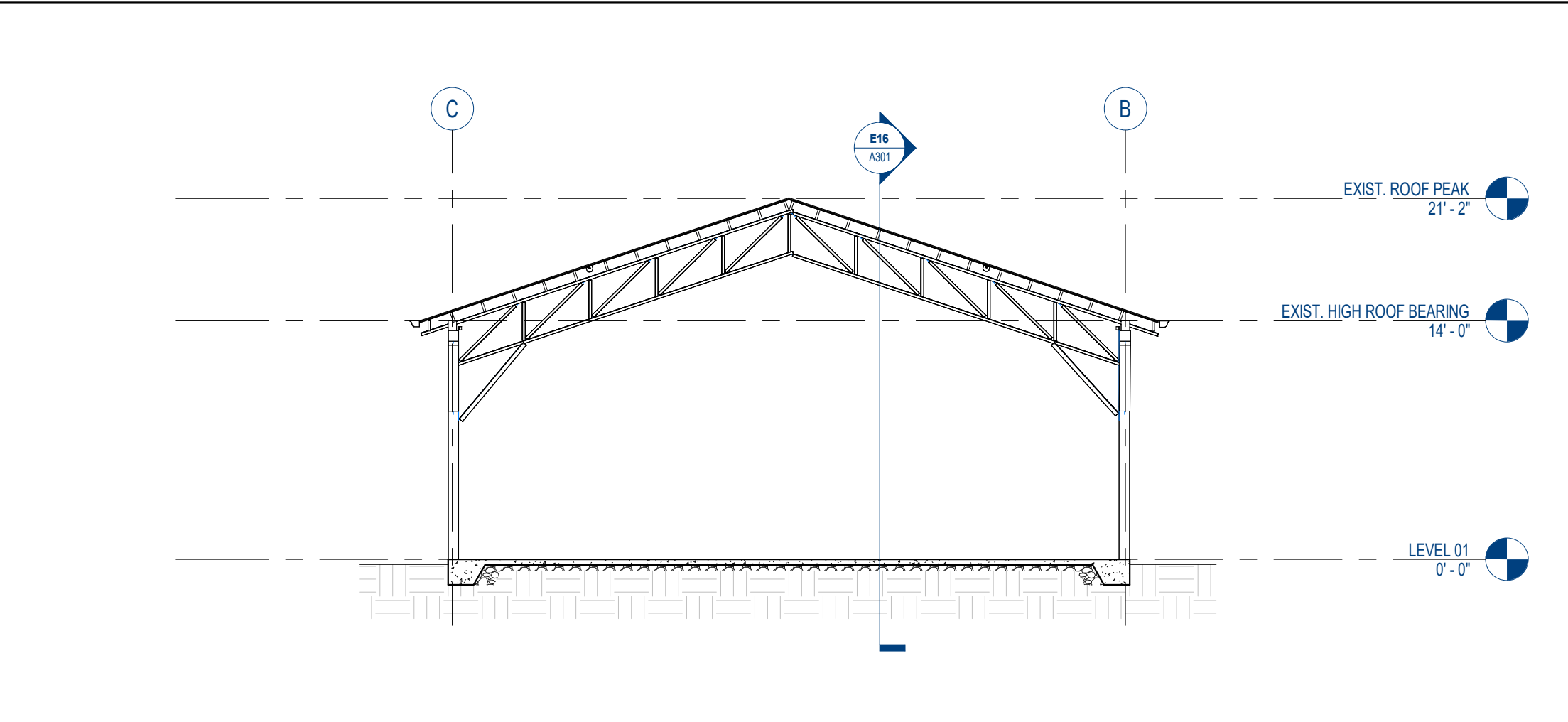
L13 TRANSVERSE SECTION 02
1/8" = 1'-0"



F13 TRANSVERSE SECTION 03
1/8" = 1'-0"



A13 TRANSVERSE SECTION 04
1/8" = 1'-0"

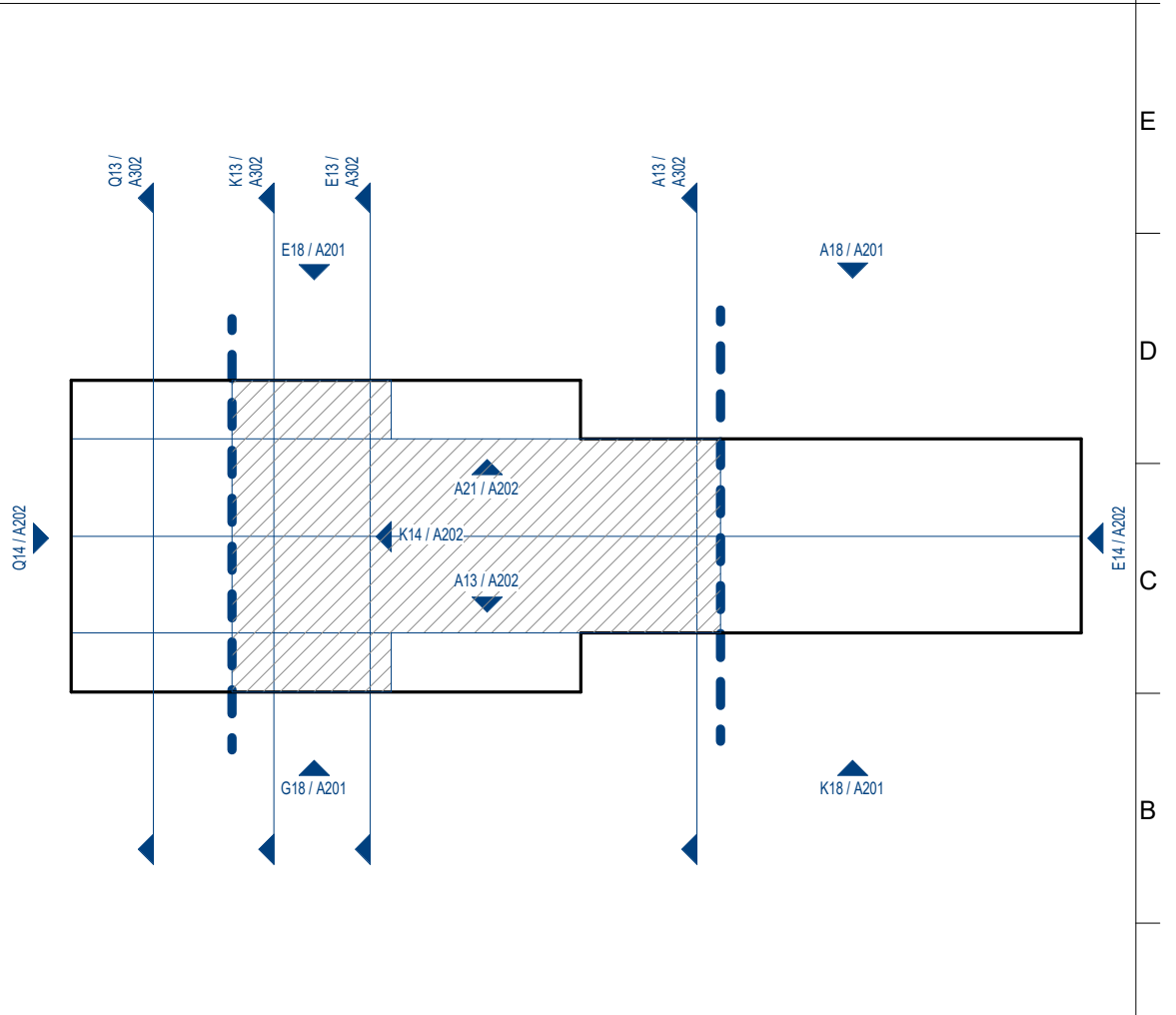


A21 TRANSVERSE SECTION 05
1/8" = 1'-0"

U04 GENERAL NOTES

A EXAMPLE BUILDING SECTION GENERAL NOTES CONTENT

Q04 KEYED NOTES



A04 KEY PLAN
NOT TO SCALE

DIA Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com

GREGORY SCOTT CAMPBELL
REGISTERED ARCHITECT
AGRICULTURE
NO. 101340
2024-04-01
STATE OF TENNESSEE

PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
BUILDING SECTIONS

A302

PROJECT DATE 2024-04-01 PROJECT NUMBER 23071

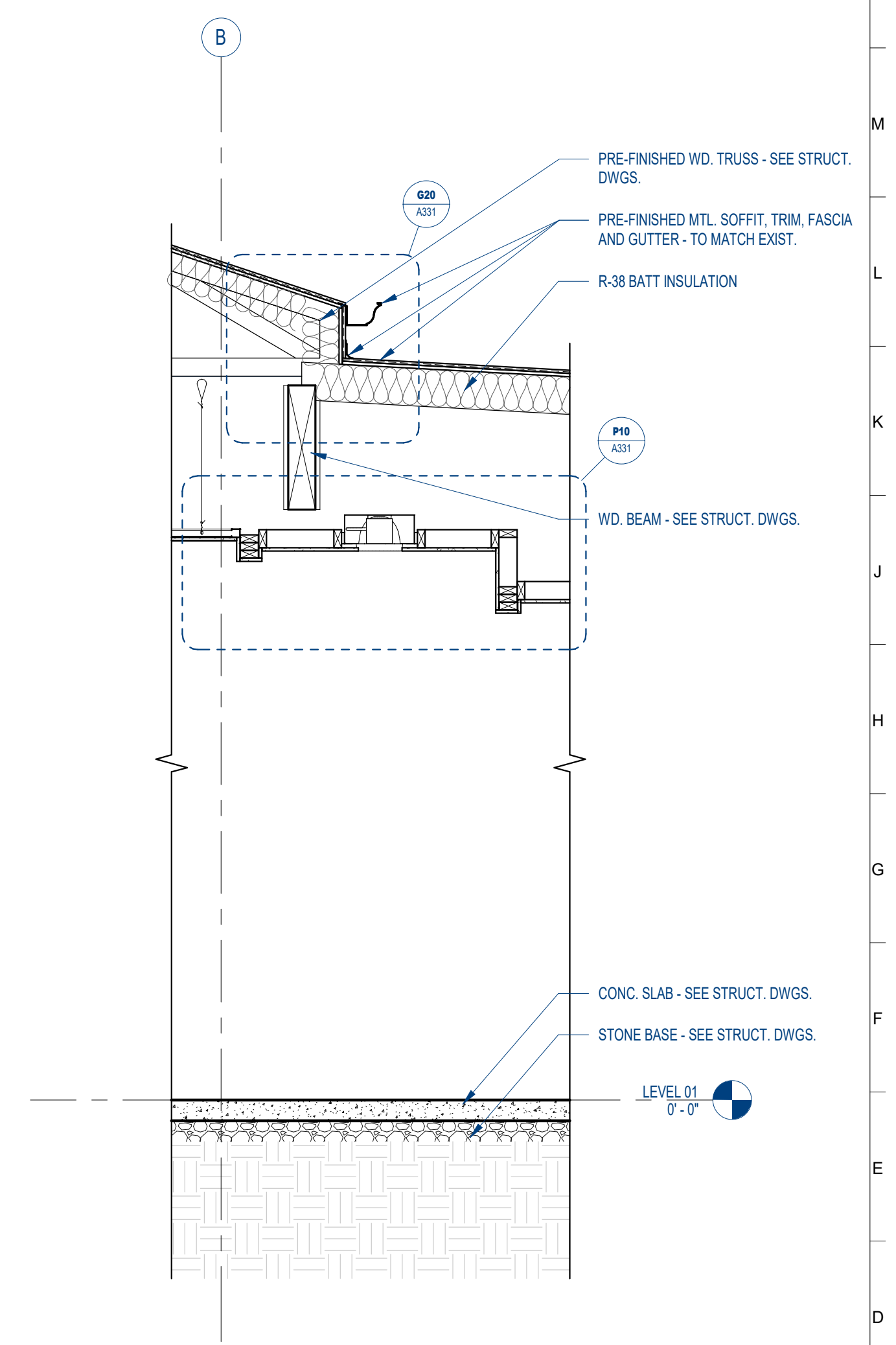
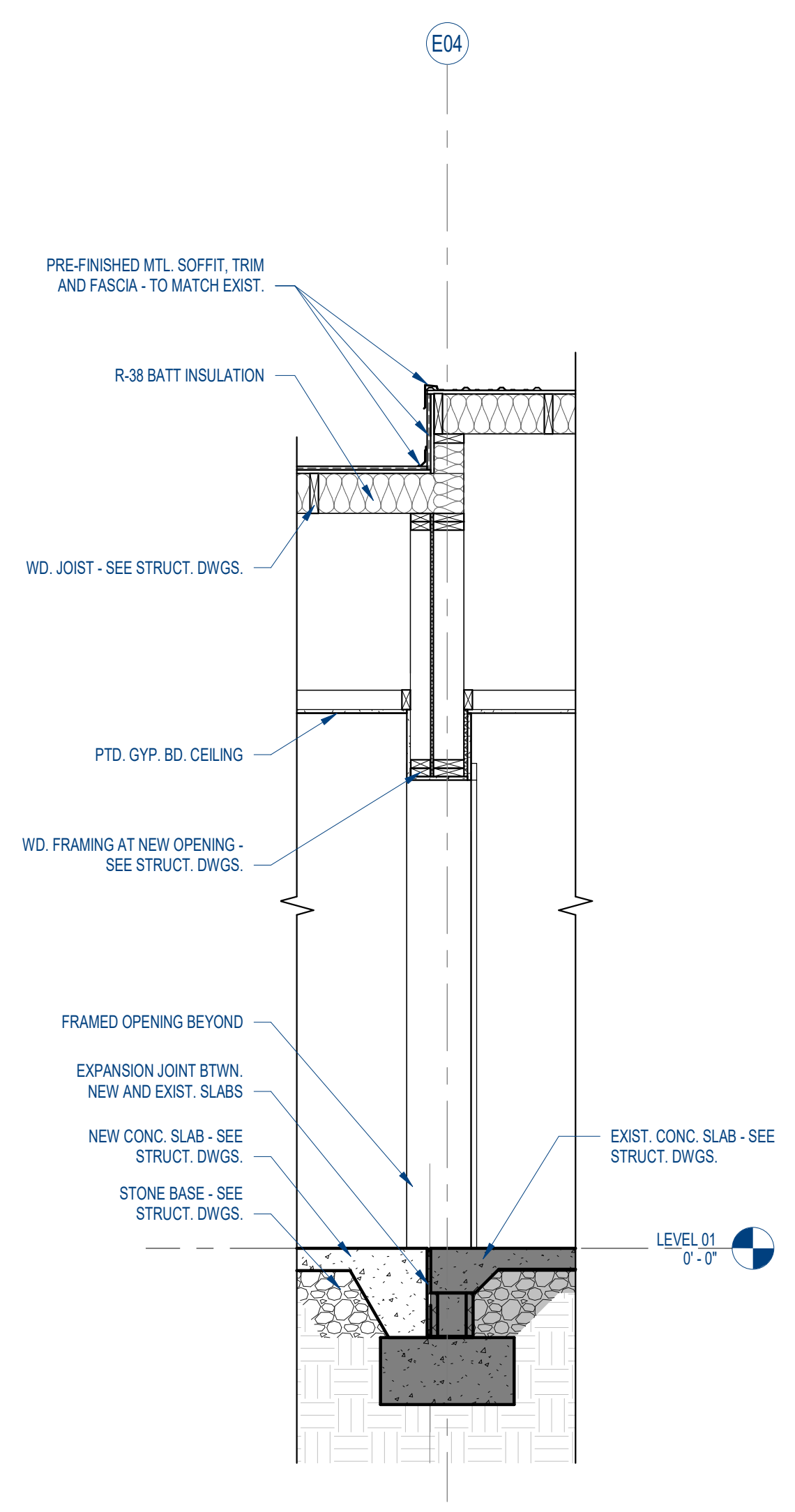
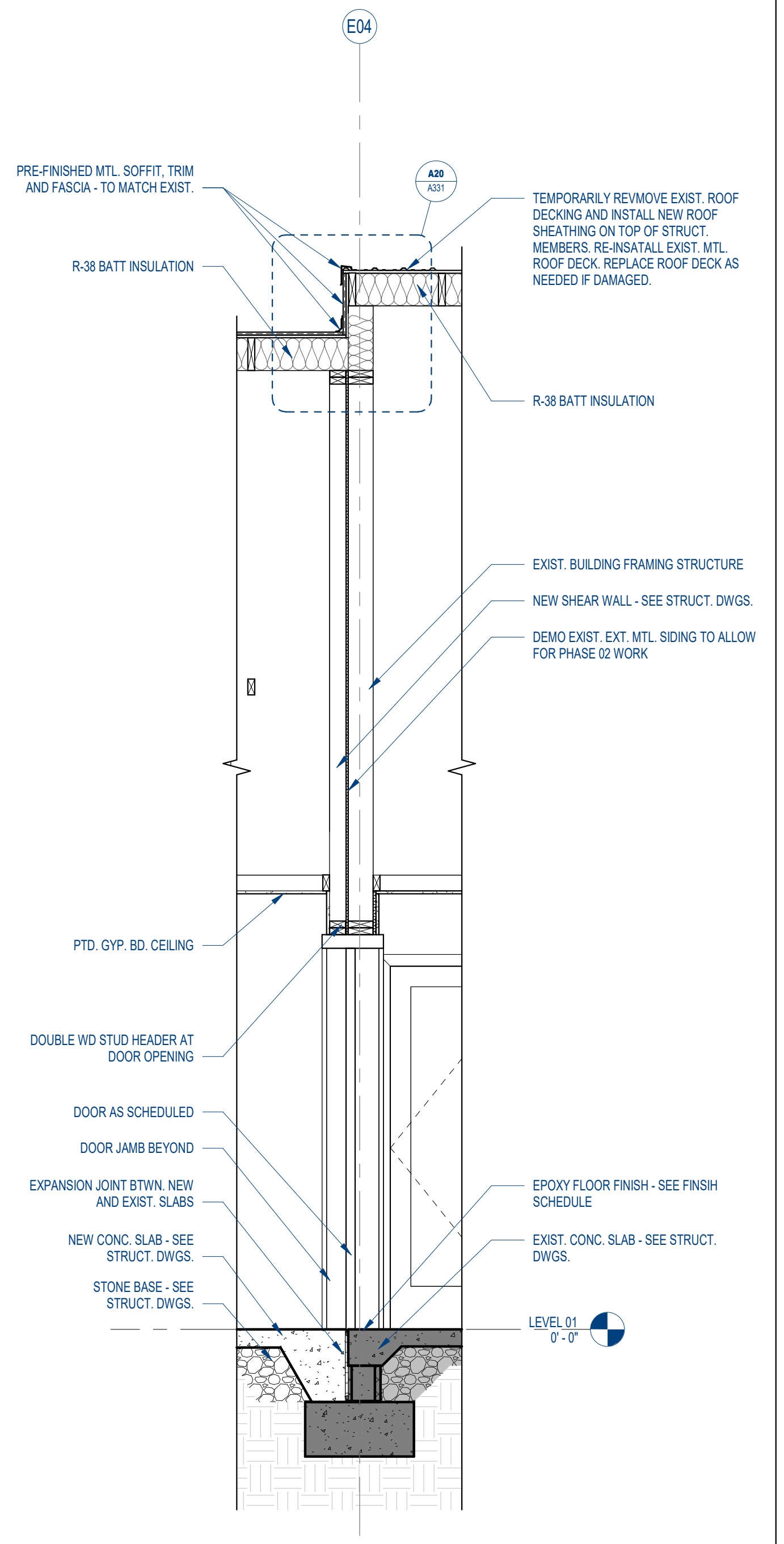
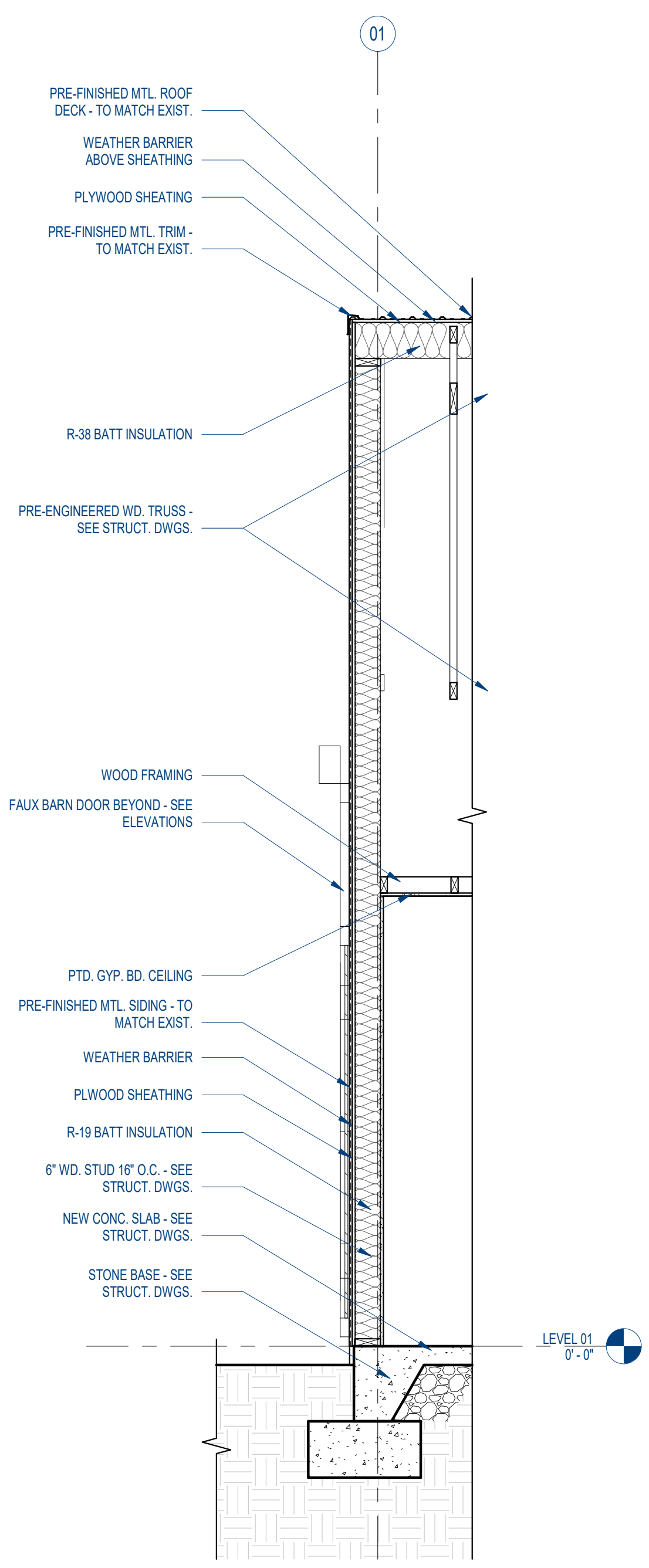
PHASE 02/03

PHASE 02/03

PHASE 02/03

PHASE 02/03

DIA
Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

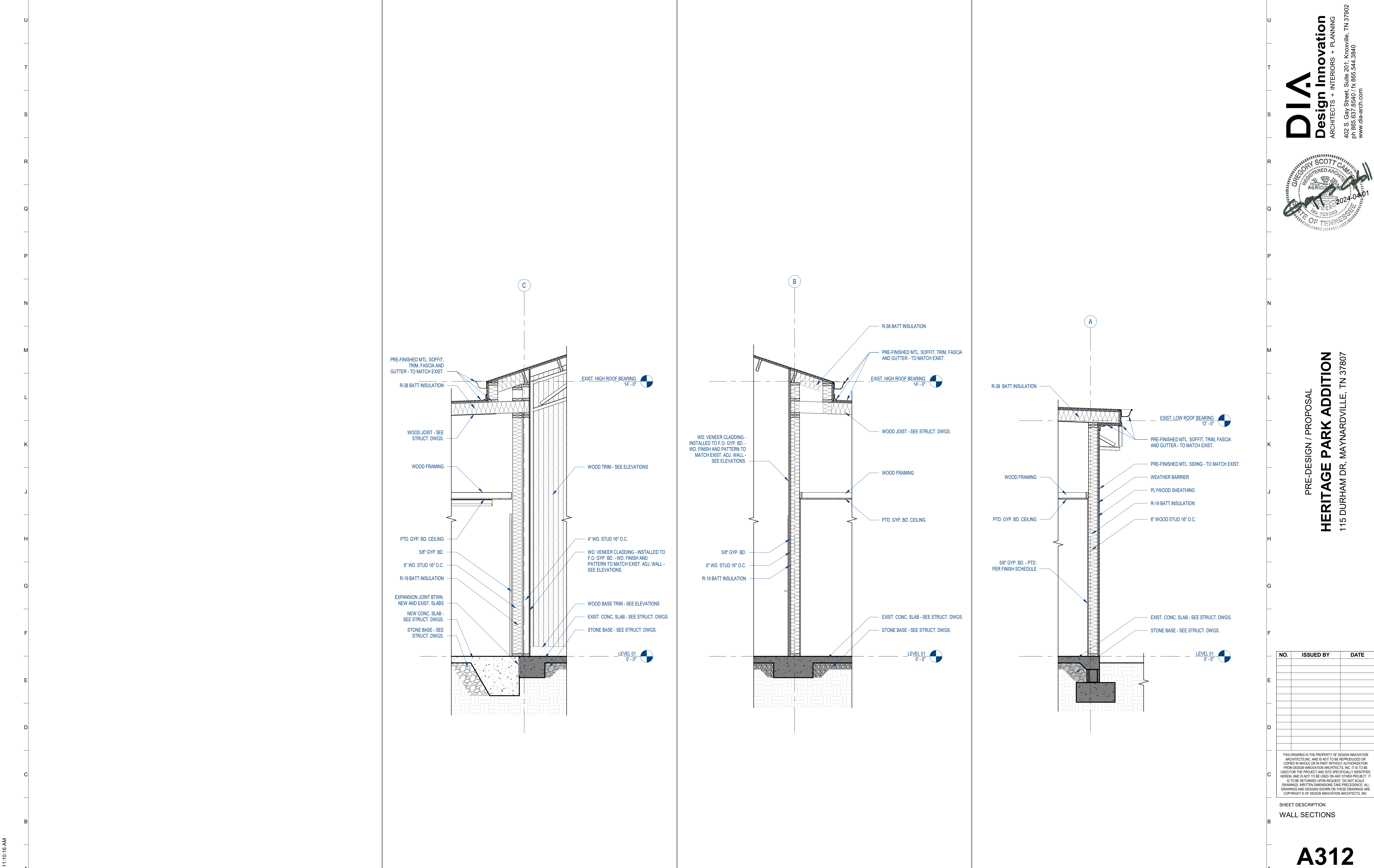
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 WALL SECTIONS

A311
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01



DIA
 Design Innovation
 ARCHITECTS + INTERIORS + PLANNING
 402 S. Gay Street, Suite 201, Knoxville, TN 37902
 ph 865.637.8540 / fx 865.544.3940
 www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 WALL SECTIONS

A312
 PROJECT DATE: 2024-04-01
 PROJECT NUMBER: 23071

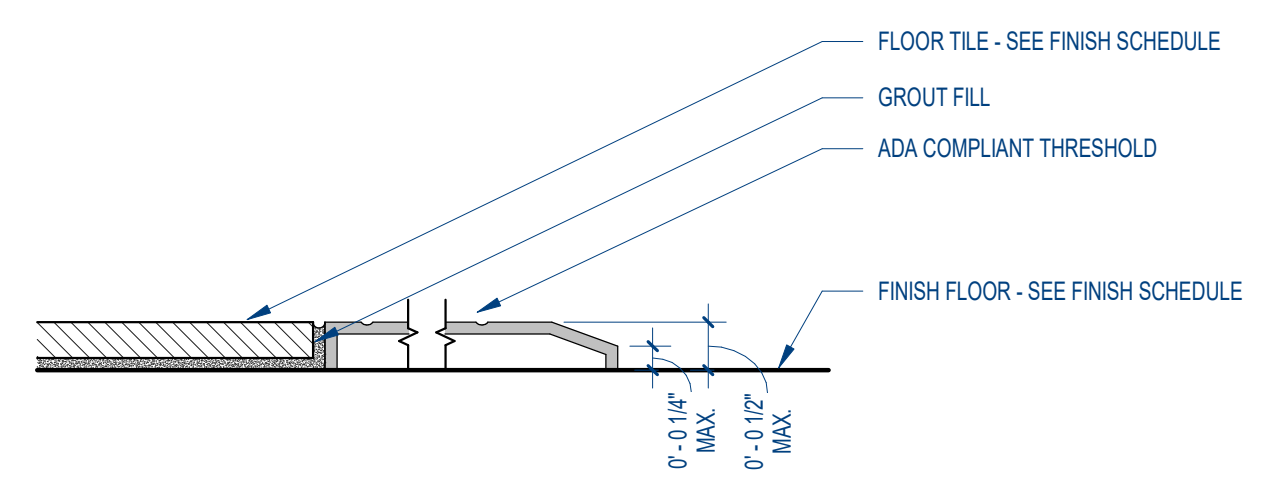
4/4/2024 11:10:16 AM

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01

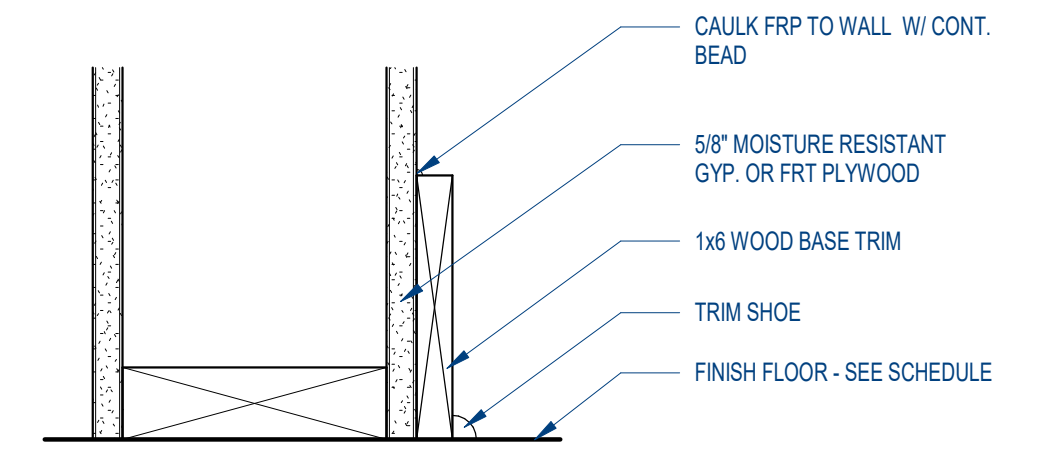
4/4/2024 11:10:16 AM

21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01

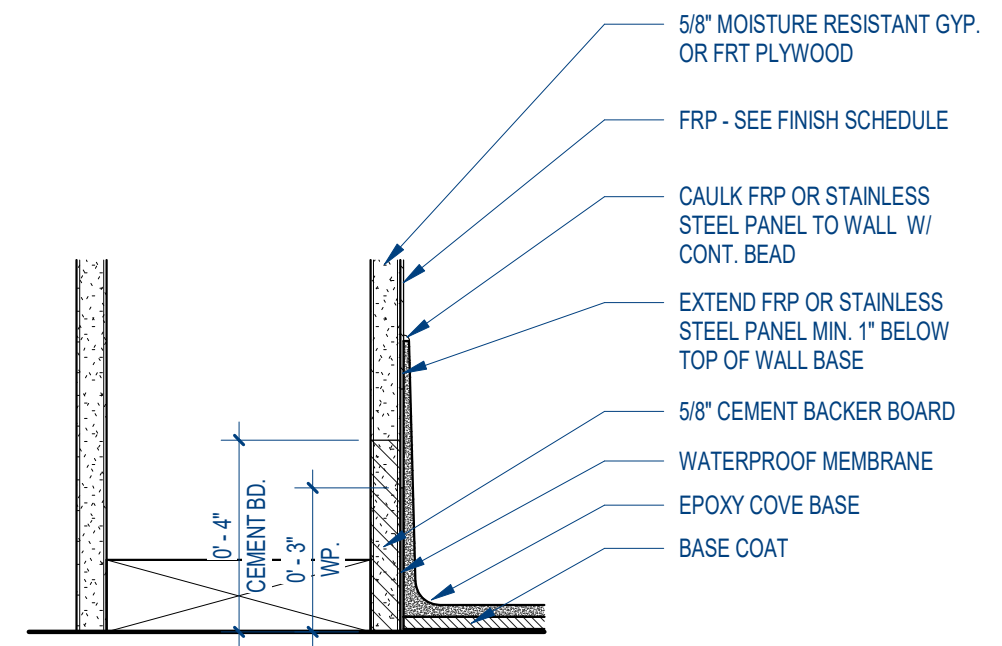
U
T
S
R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A



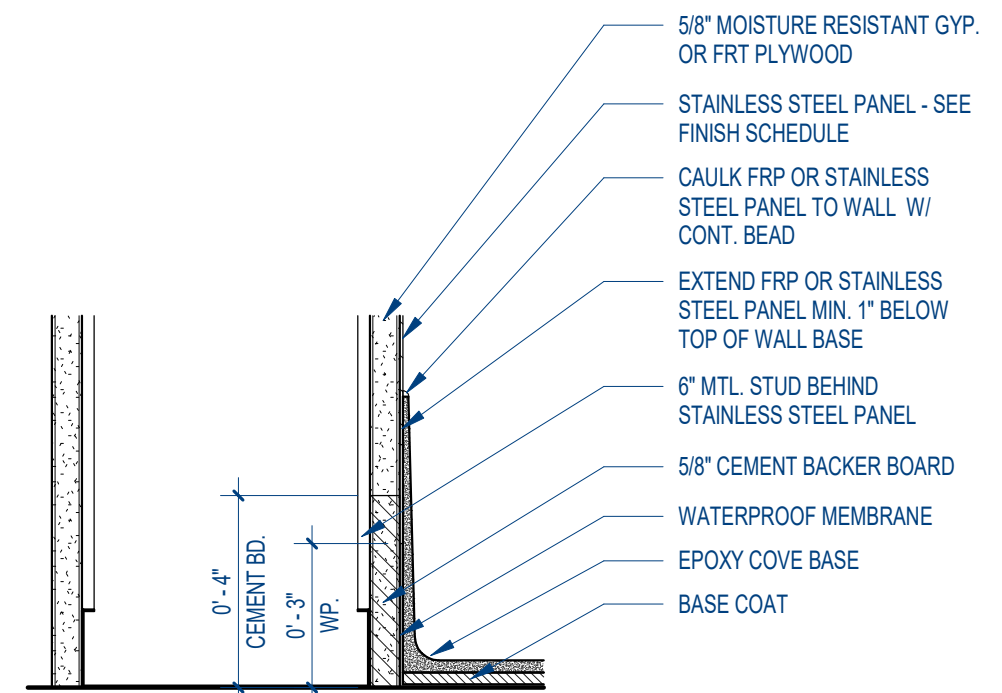
R05 FLOOR TRANSITION DETAIL 01
NOT TO SCALE



L05 BASE DETAIL 03
NOT TO SCALE



F05 BASE DETAIL 02
NOT TO SCALE



A05 BASE DETAIL 01
NOT TO SCALE

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

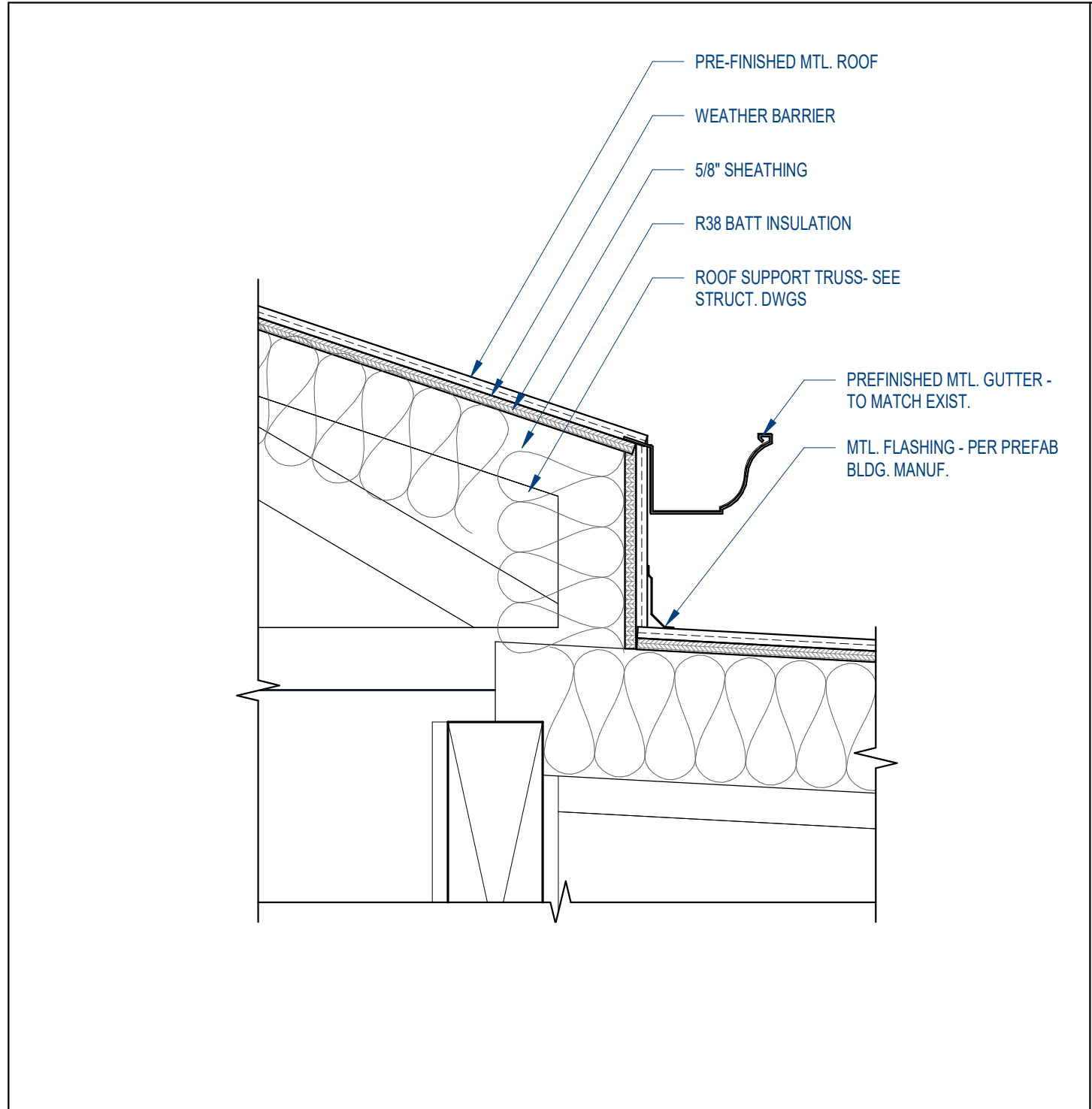
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND SESSIONS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

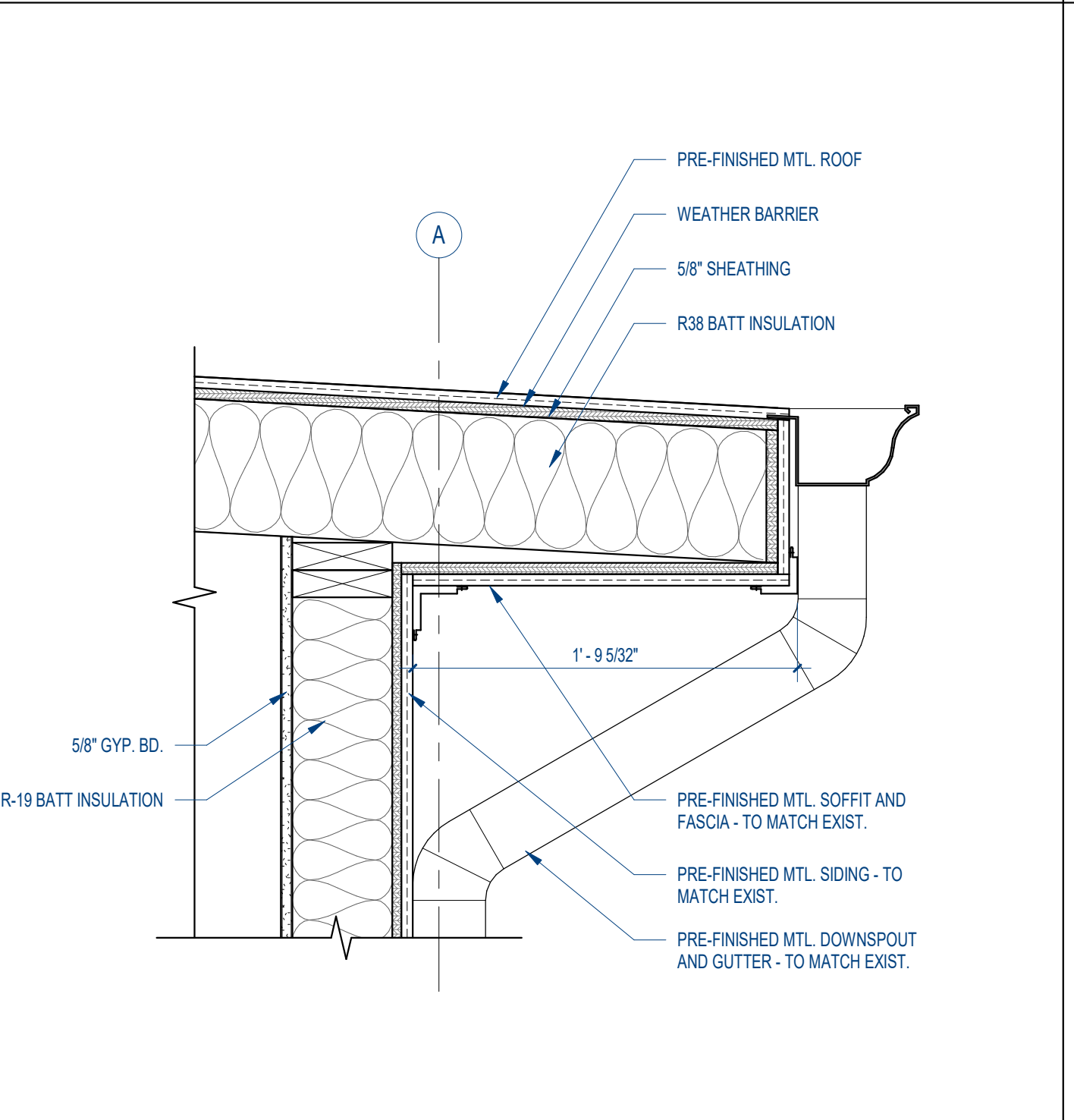
SHEET DESCRIPTION
TYPICAL DETAILS

A321
PROJECT DATE: 2024-04-01
PROJECT NUMBER: 23071

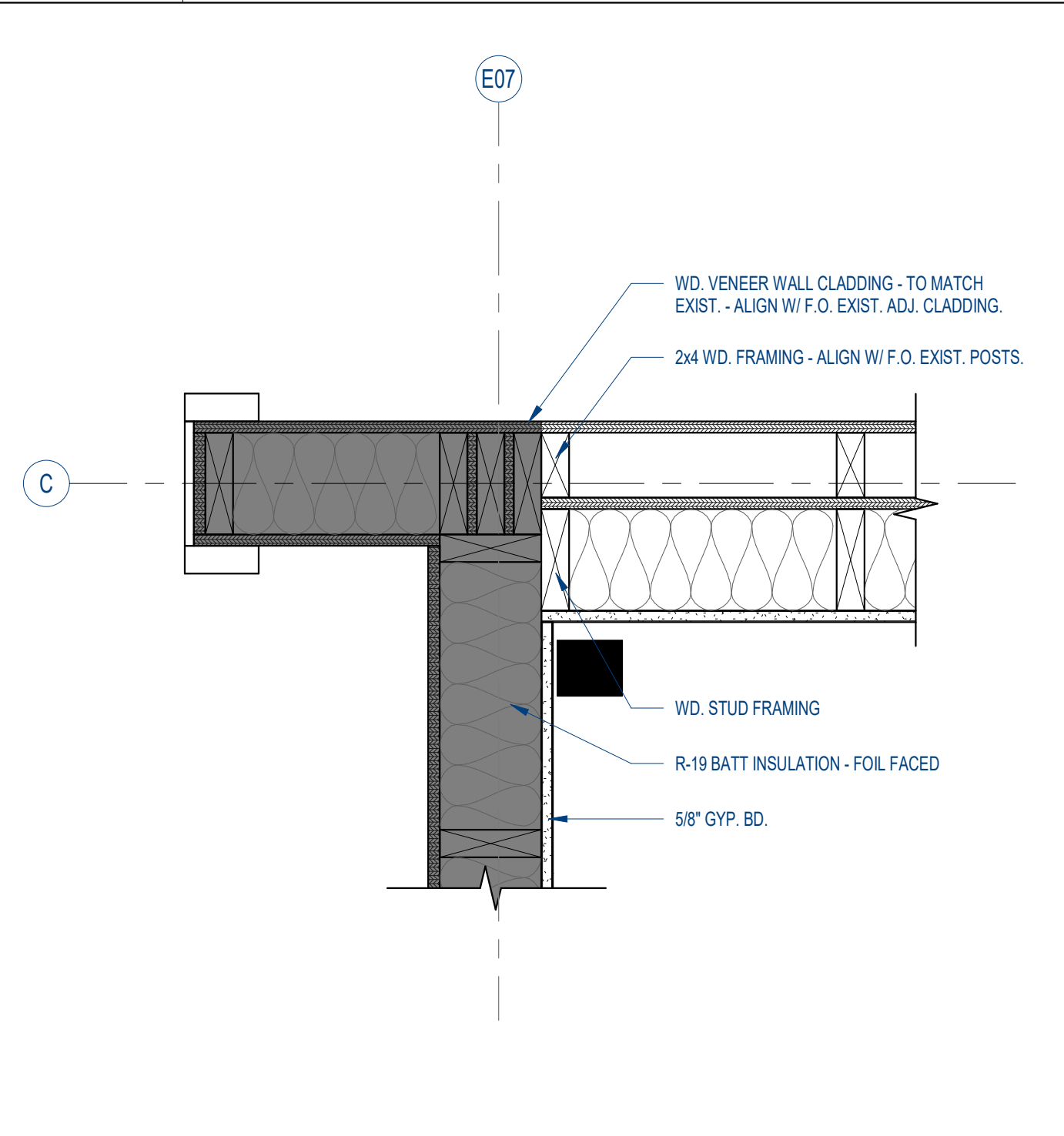
21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01



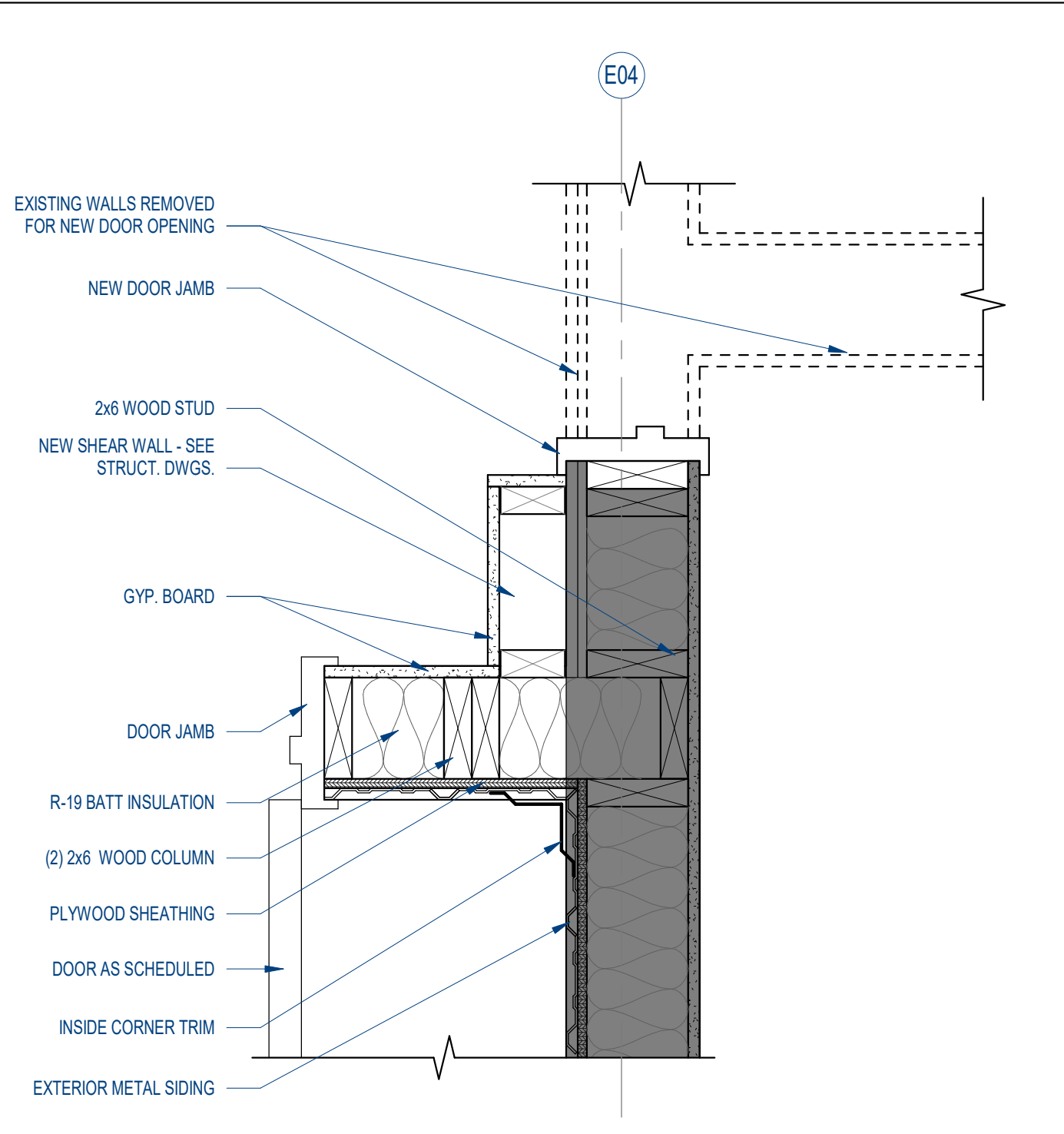
G20 SECTION DETAIL 04
1 1/2" = 1'-0" KITCHEN ADDITION HIGH ROOF - LOW ROOF DETAIL



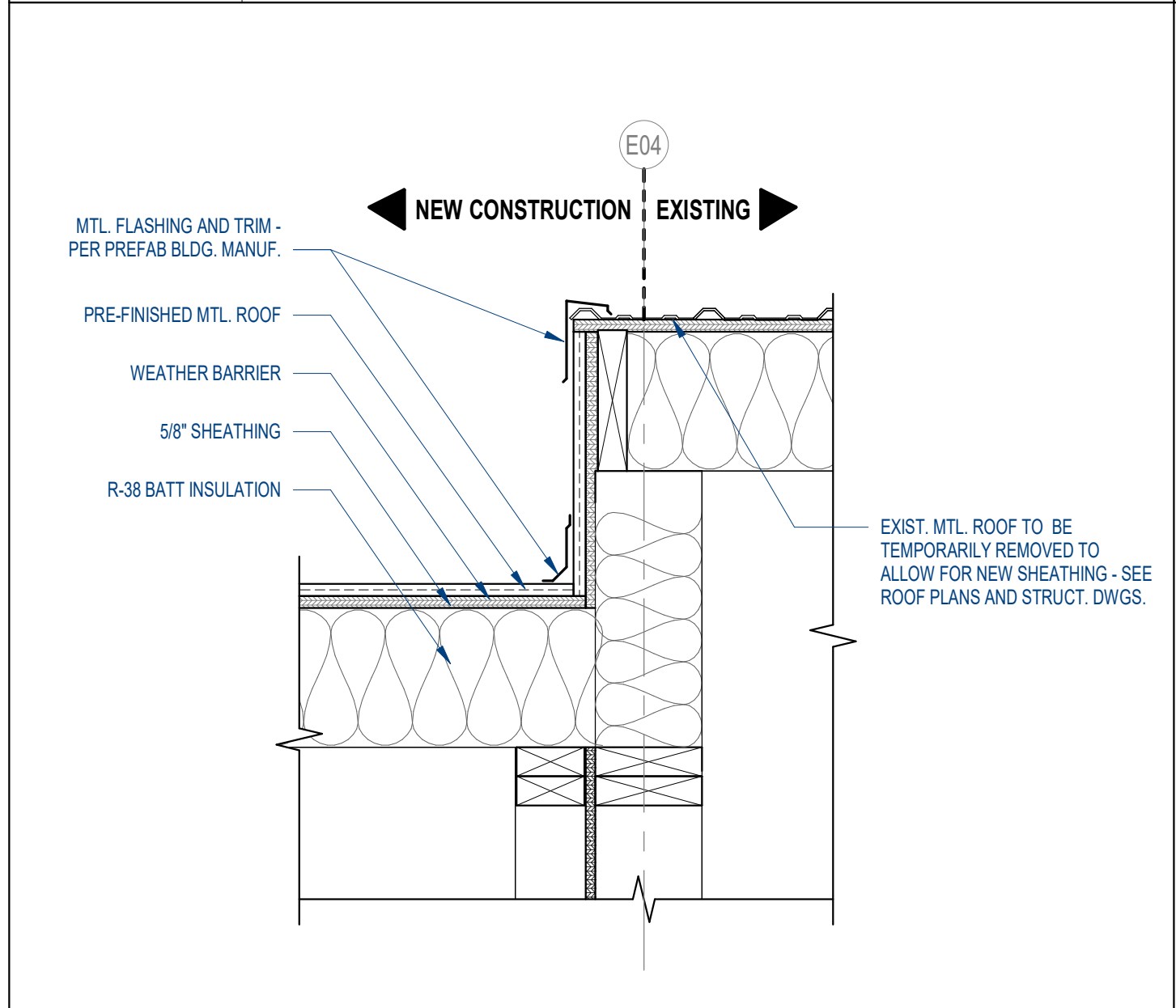
G15 SECTION DETAIL 02
1 1/2" = 1'-0" KITCHEN ADDITION GUTTER AND SOFFIT DETAIL



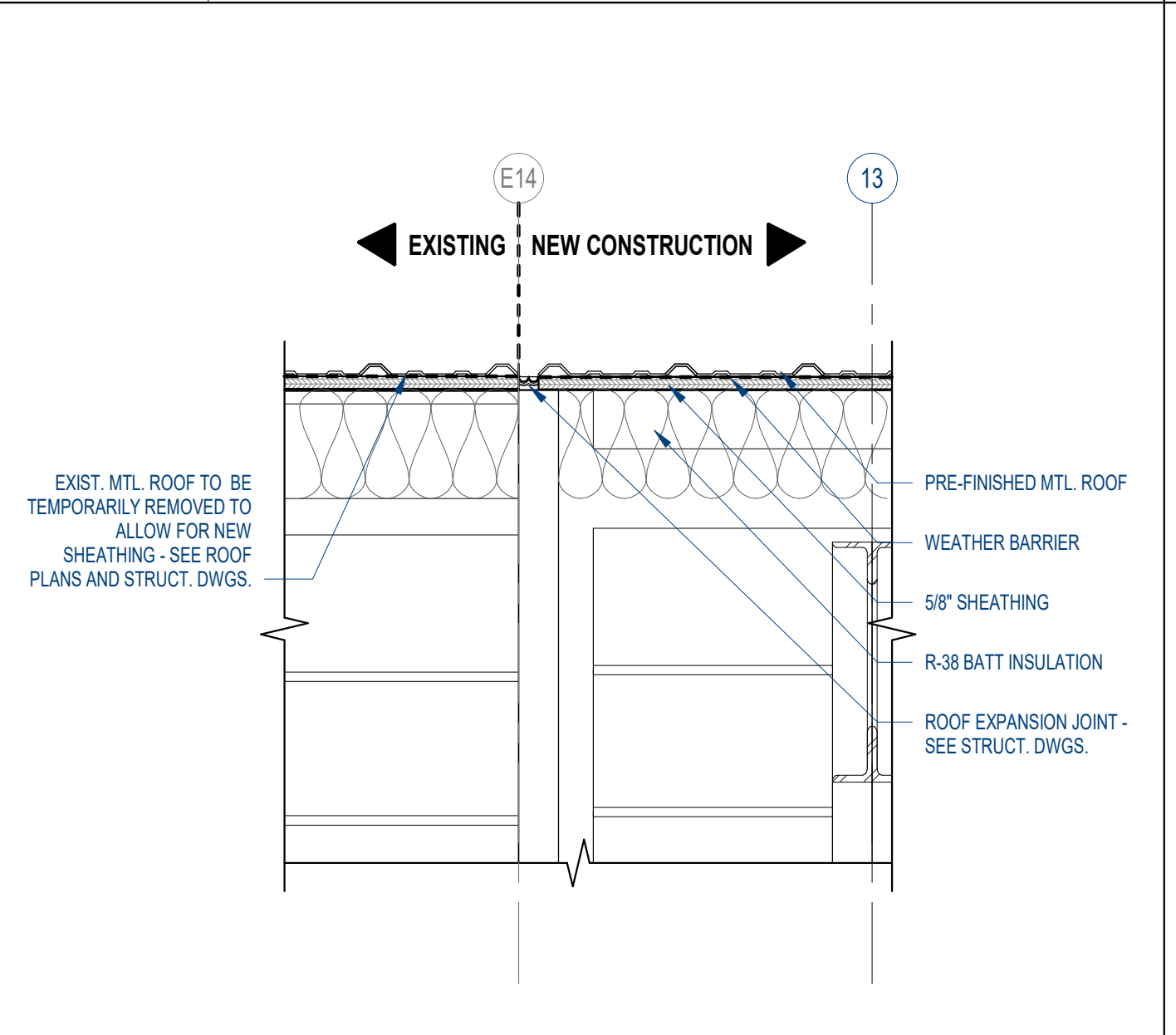
G10 PLAN DETAIL 04
1 1/2" = 1'-0" EXIST. ENTRY - MARKET STOR. FURRING WALL



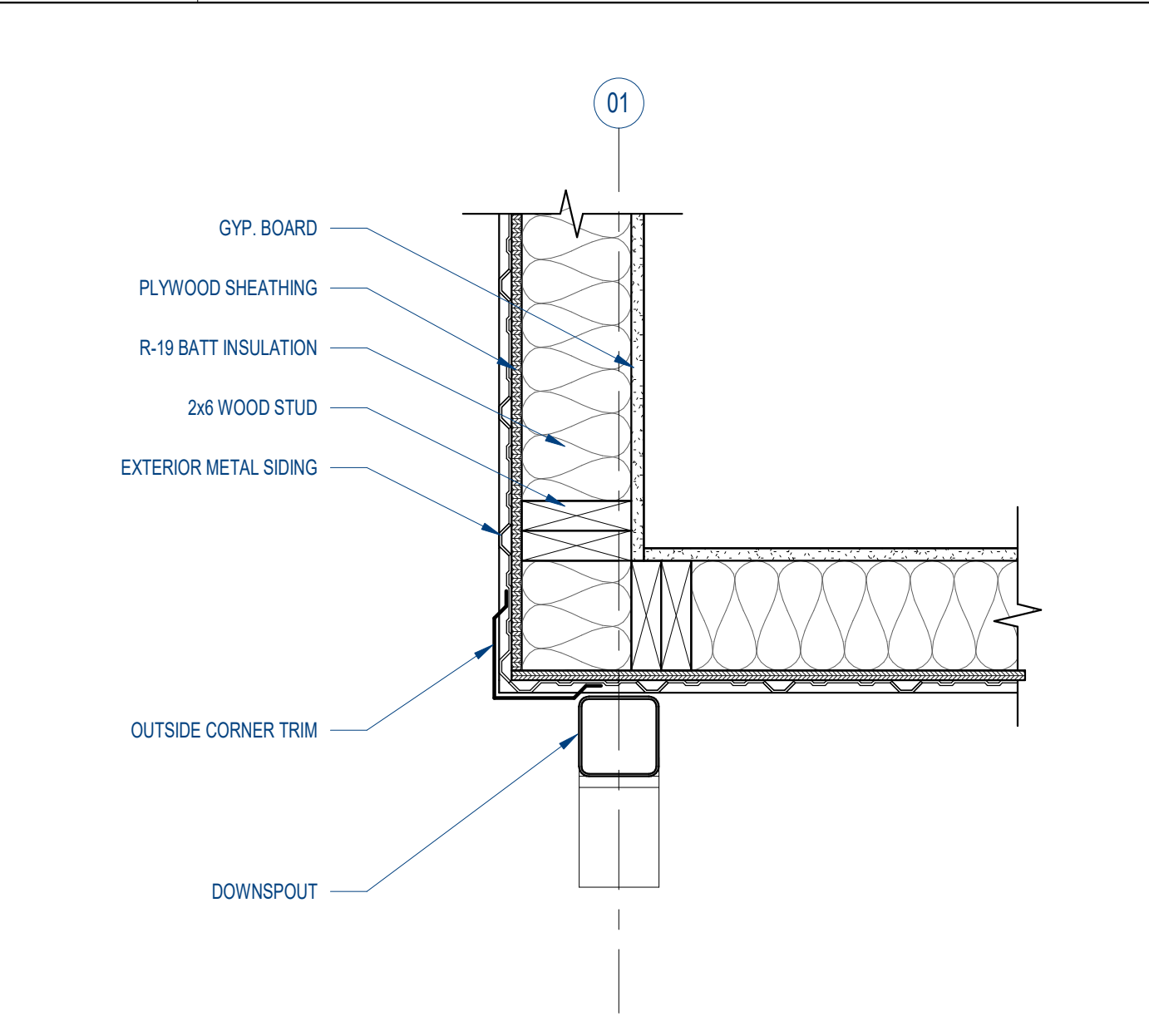
G05 PLAN DETAIL 02
1 1/2" = 1'-0" KITCHEN ADDITION EXTERIOR WALL - EXISTING BUILDING TRANSITION



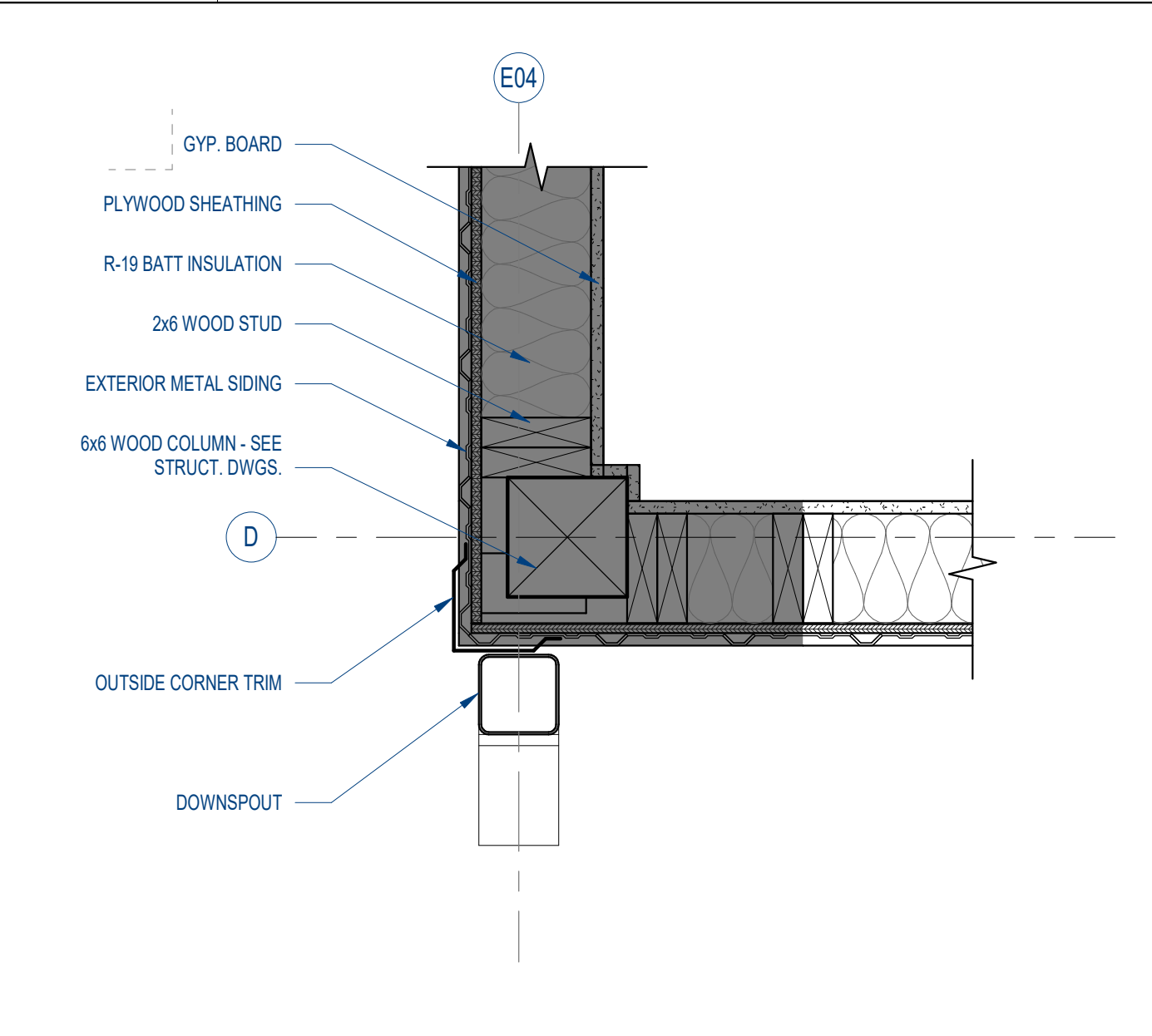
A20 SECTION DETAIL 03
1 1/2" = 1'-0" KITCHEN ADDITION ROOF - EXISTING ROOF DETAIL



A15 SECTION DETAIL 01
1 1/2" = 1'-0" EXIST. PAVILLION - PAVILLION EXTENSION ROOF DETAIL



A10 PLAN DETAIL 03
1 1/2" = 1'-0" KITCHEN ADDITION EXTERIOR CORNER



A05 PLAN DETAIL 01
1 1/2" = 1'-0" EXISTING EXTERIOR CORNER

NO.	ISSUED BY	DATE

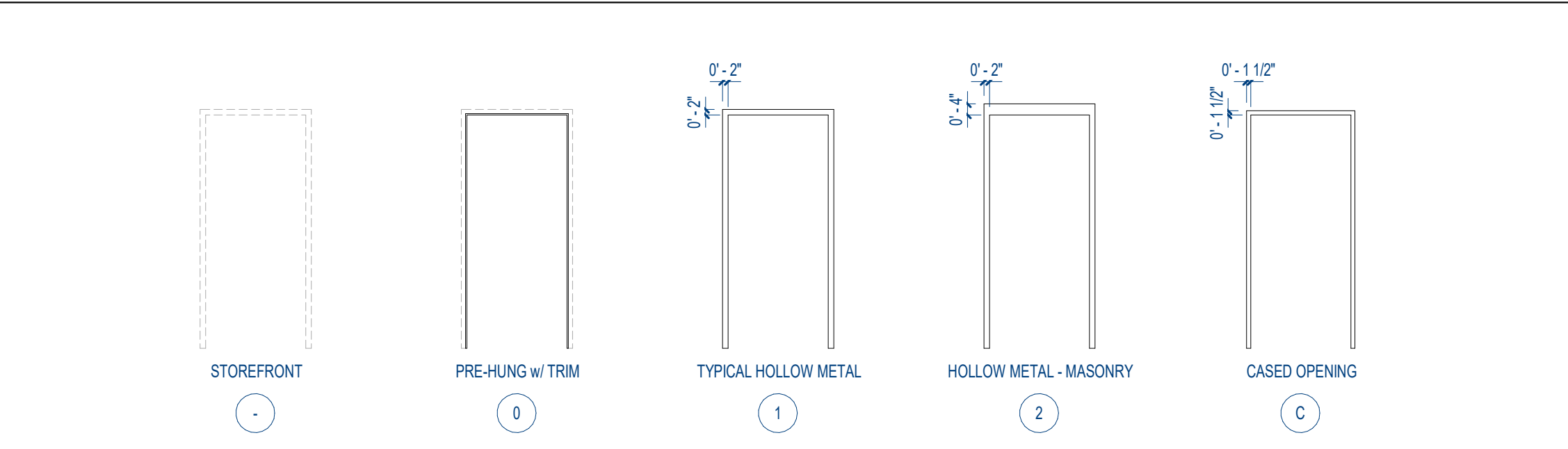
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DETAILS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
PLAN & SECTION DETAILS

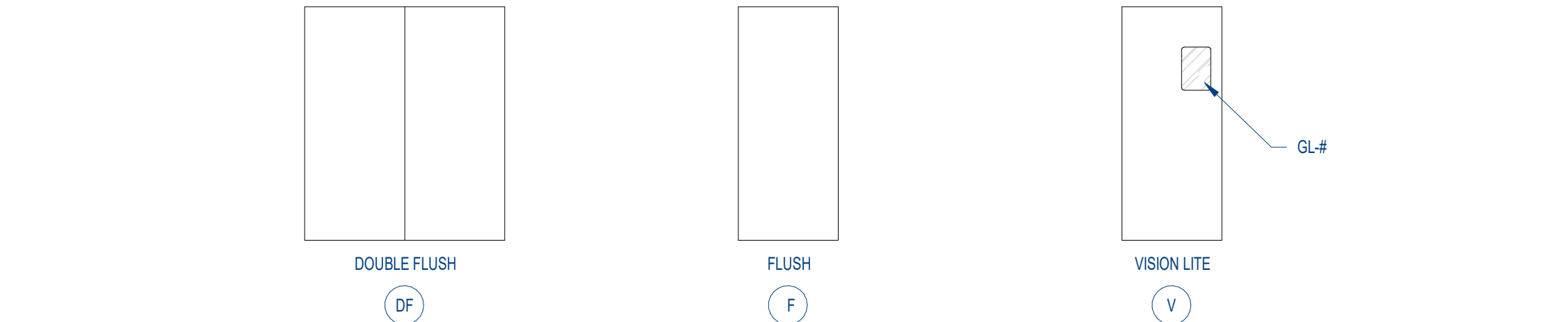
A331

PROJECT DATE	PROJECT NUMBER
2024-04-01	23071

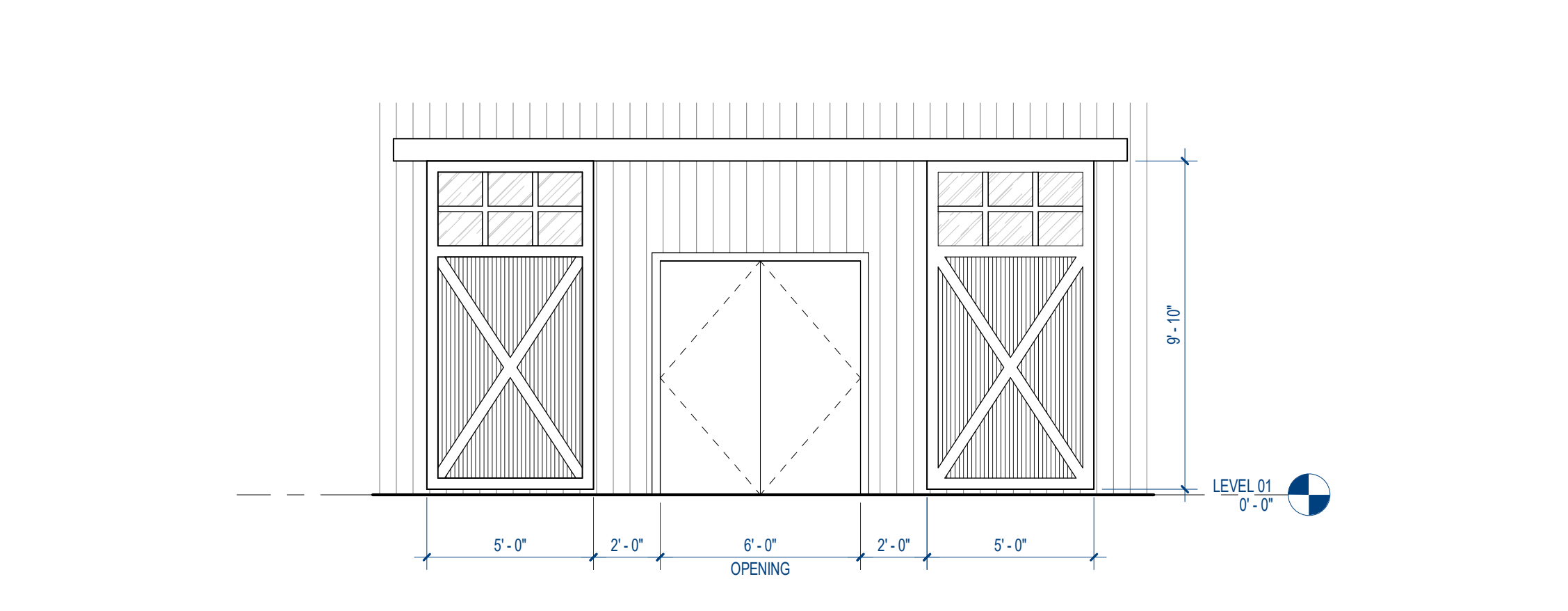
DOOR SCHEDULE										
Mark	TYPE	DOOR			FRAME			FIRE RATING	HARDWARE SET	COMMENTS
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE			
100A	DF	6'-0"	7'-0"	0'-2"					KEYPAD W/ FOB	
101	F	3'-0"	7'-0"	0'-1.34"						EXISTING DOOR TO REMAIN
102A	V	3'-0"	7'-0"	0'-2"					DOUBLE ACTING	EXISTING DOOR TO REMAIN
102B	D	3'-6"	7'-0"	0'-2"					DOUBLE ACTING	
103A	F	2'-8"	6'-8"	0'-1.34"						EXISTING DOOR TO REMAIN
103B	DF	6'-0"	7'-0"	0'-2"						EXISTING DOOR TO BE SALVAGED AND RE-INSTALLED AT DOOR 111 LOCATION - REPLACE WITH TWO DOUBLE ACTING DOORS AT THIS LOCATION
103C	DF	6'-0"	7'-0"	0'-2"					DOUBLE ACTING	
105	F	3'-0"	7'-0"	0'-1.34"						EXISTING DOOR TO REMAIN - LOCKED WHEN NOT IN USE
106	F	3'-0"	7'-0"	0'-1.34"						EXISTING DOOR TO REMAIN - LOCKED WHEN NOT IN USE
107	F	3'-0"	7'-0"	0'-1.34"						
108	F	3'-0"	7'-0"	0'-1.34"						
109A	DF	6'-0"	7'-0"	0'-2"						
109B	DF	6'-0"	7'-0"	0'-2"						
110	F	3'-0"	7'-0"	0'-1.34"						
111	DF	6'-0"	7'-0"	0'-2"					KEYPAD W/ FOB	EXISTING DOOR 103B TO BE SALVAGED AND RE-INSTALLED AT THIS LOCATION
112	F	3'-0"	7'-0"	0'-1.34"						
113	F	3'-0"	7'-0"	0'-1.34"						
114	F	3'-0"	7'-0"	0'-1.34"						
115	F	3'-0"	7'-0"	0'-1.34"						
D01	F	3'-0"	7'-0"	0'-1.34"						EXISTING DOOR TO BE REMOVED
D02	F	3'-0"	7'-0"	0'-1.34"						EXISTING DOOR TO BE REMOVED AND INFILLED
D03	C	4'-10"	8'-0"							EXISTING OPENING TO BE INFILLED
D04	C	4'-0"	7'-0"							EXISTING OPENING TO BE WIDENED AND REPLACED WITH DOUBLE FLUSH DOOR



FRAME TYPES
NOT TO SCALE



DOOR TYPES
NOT TO SCALE



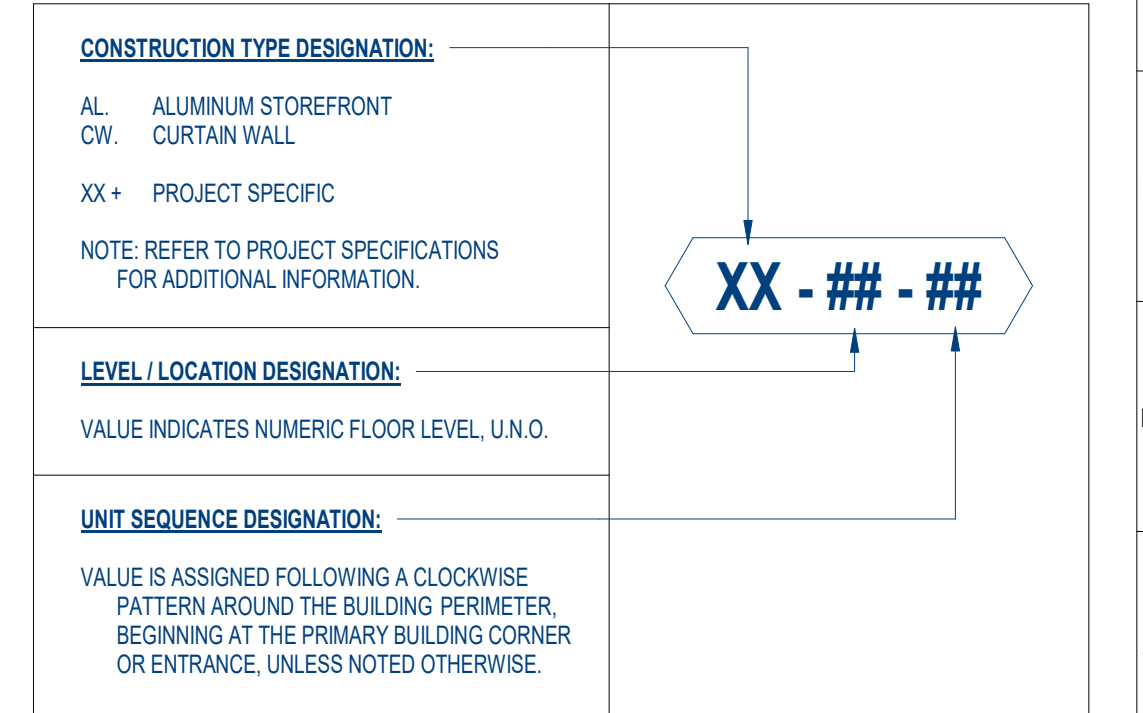
C12 EXTERIOR DECORATIVE BARN DOORS
1/4" = 1'-0"

GENERAL NOTES

OPENINGS

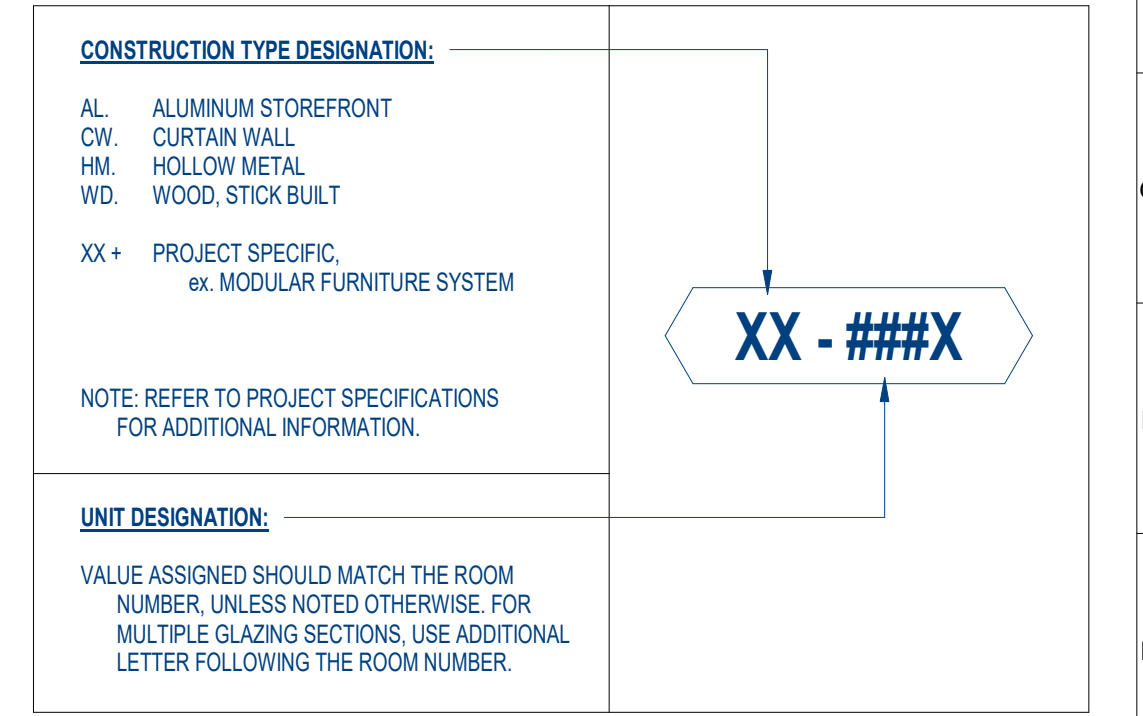
GLAZING SYSTEM TAG LEGEND

NOT TO SCALE EXTERIOR



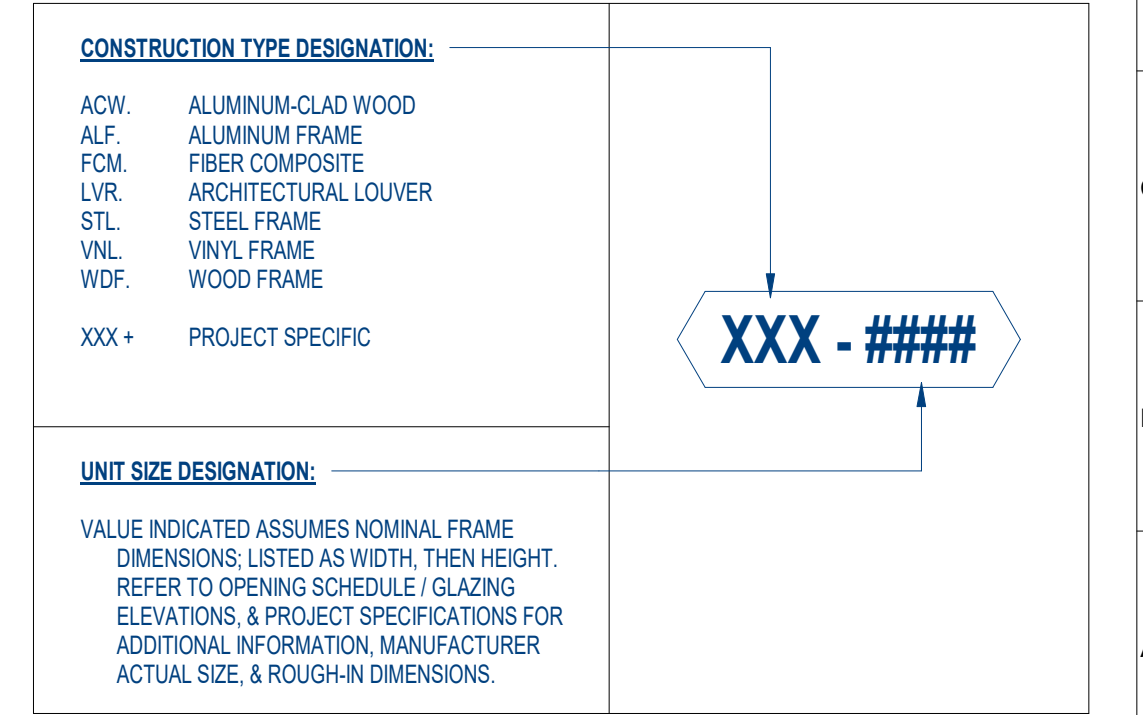
GLAZING SYSTEM TAG LEGEND

NOT TO SCALE INTERIOR



WINDOW TAG LEGEND

NOT TO SCALE PUNCH-OPENINGS



DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

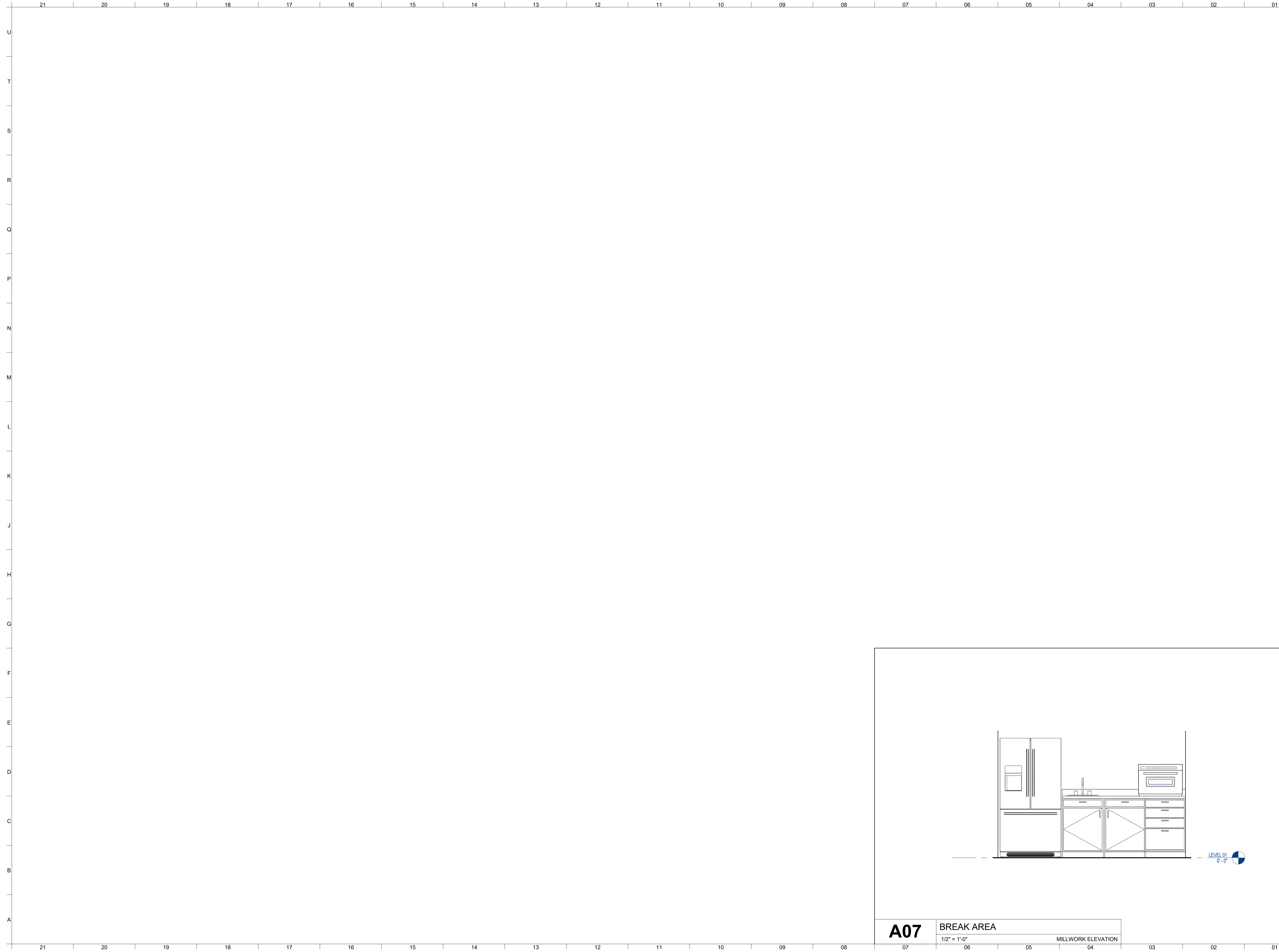
NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGN SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
OPENINGS

A500
PROJECT DATE PROJECT NUMBER
2024-04-01 23071

4/4/2024 11:10:19 AM



A07

BREAK AREA

1/2" = 1'-0" MILLWORK ELEVATION

NO.	ISSUED BY	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
CASEWORK or MILLWORK

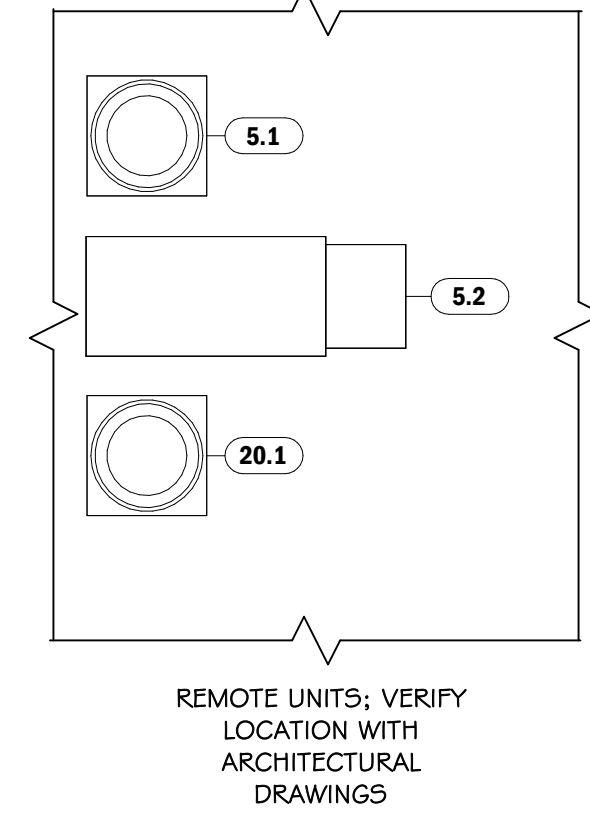
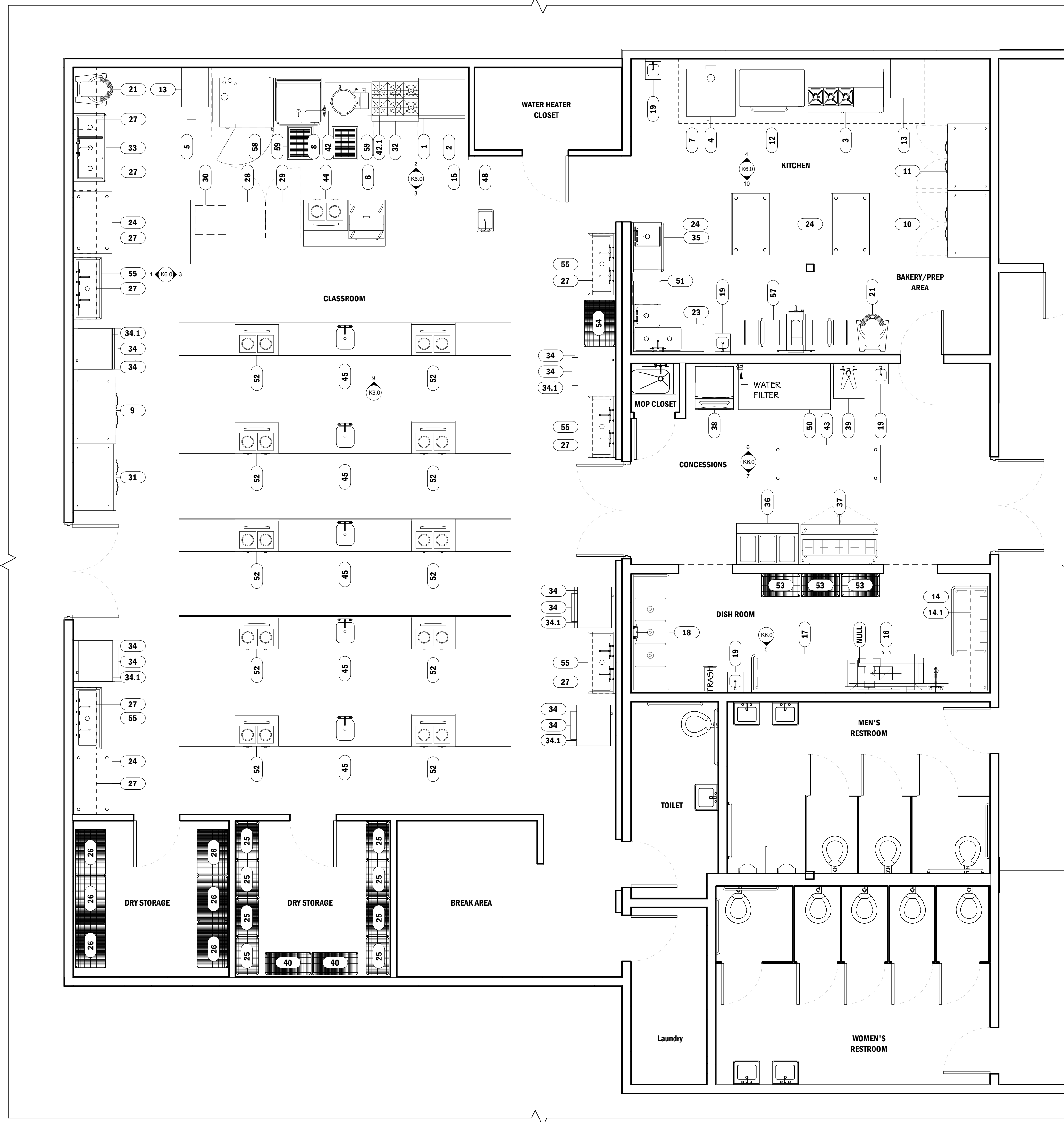
A741

PROJECT DATE PROJECT NUMBER
2024-04-01 **23071**

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807



A New Facility For:
Heritage Park Addition
 115 Durham Drive, Maynardville, TN 37807



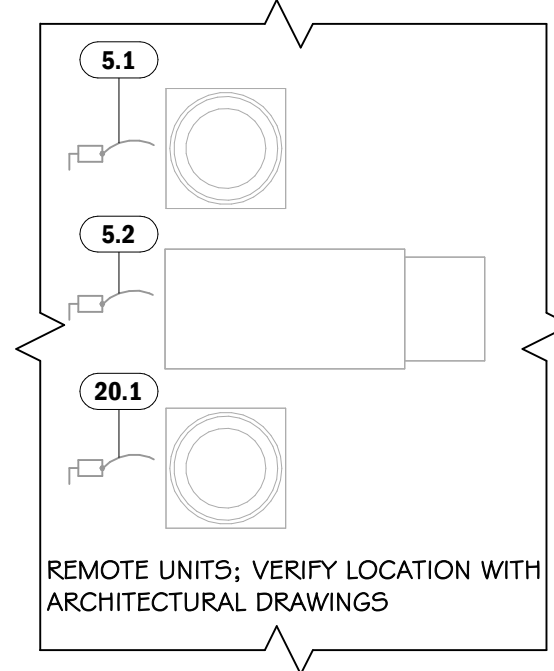
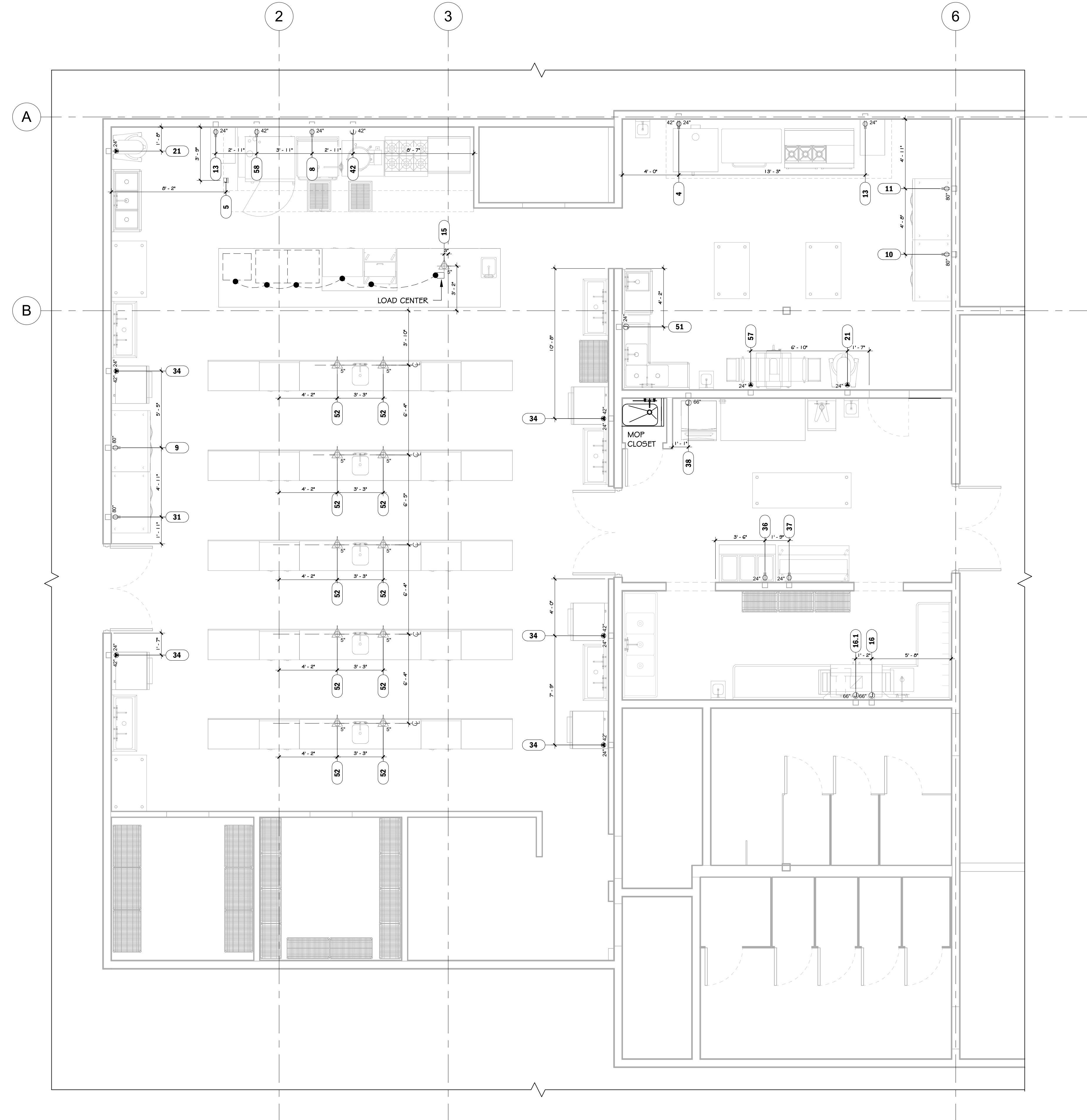
Project Number:	23045.00	
Date:	03/27/24	
Project Mgr :	M. Knoebel	
Drawn By:	H. Phillips	
Checked By:	M. Holbert	
Drawing Issued For:		
	<input type="radio"/> Schematic Design	
	<input type="radio"/> Design Development	
	<input checked="" type="radio"/> Construction	
Revisions:		
No.	Date	Description

Sheet Title:
 Kitchen Equipment
 Equipment Plan
 Sheet No:

K1.0

Date: 03/27/2024 12:28:14 PM
 User: H. Phillips
 File: C:\Local Files\02323045.00_Heritage Park Addition_Maynardville, TN\hphilips2323YT.rvt

© 2024 KaTom Restaurant Supply
 The design, drawing, construction, artwork, and/or written content of this material is the sole property of KaTom Restaurant Supply and may not be used, reproduced or disclosed without the express written permission of KaTom Restaurant Supply. If you are placing equipment into an area which has certain standards or codes other than those accepted in the food services industry - NSF, UL, etc., KaTom Restaurant Supply must be advised of these circumstances in detail before ordering/fabrication of the equipment. There may be additional charges. Failure to notify KaTom before ordering/fabrication begins releases us from any obligation to modify our standards without any additional charges.



- DROP RECEPTACLE ON COARD FROM ABOVE
- DUPLEX RECEPTACLE - GFCI
- DUPLEX RECEPTACLE - GROUND TYPE
- SINGLE RECEPTACLE - GROUND TYPE
- SIMPLEX RECEPTACLE - GROUND TYPE
- ELECTRICAL STUB-UP / CONDUIT
- DISCONNECT SWITCH
- SPECIAL PURPOSE OUTLET, AS INDICATED, GROUND TYPE
- JUNCTION BOX
- FIELD WIRING TO CONNECTION POINT ON EQUIPMENT

2 Electrical Legend
N.T.S.

1. ALL OUTLETS AND CONNECTIONS SHOWN RELATE TO FOOD SERVICE FIXTURE AND EQUIPMENT ONLY. THIS DRAWING MUST BE USED IN CONJUNCTION WITH THE ELECTRICAL DRAWINGS FOR ANY ADDITIONAL ELECTRICAL REQUIREMENTS. THIS ELECTRICAL PLAN IS INTENDED TO SHOW ROUGH-IN OUTLET TYPES, HEIGHTS, LOCATIONS, CONNECTION POSITIONS, AND LOAD REQUIREMENTS. ALL DIMENSIONS SHOWN ARE FROM FINISHED FLOORS AND FINISHED WALLS, OR CENTERLINE OF COLUMNS. CONTRACTOR TO VERIFY ALL WALL PARTITIONS WITH ARCHITECTURAL DRAWINGS AND VERIFY ALL SERVICE REQUIREMENTS.
2. MAX HEIGHT OF FLOOR RECEPTACLES IS 5'-11 1/4" AFF.
3. WALK-IN COOLERS: RUN ELECTRICAL CONDUIT FOR LIGHT FIXTURES ON INSIDE OF WALK-IN BOXES. USE CONDUIT SEAL-OFFS TO PREVENT HEAT TRANSFER WHERE CONDUIT PENETRATES BOX, TYP.
4. ELECTRICAL CONTRACTOR SHALL FURNISH ALL CONDUIT AND CONTROL WIRING, ETC., AS REQUIRED TO MAKE EACH PIECE OF EQUIPMENT FULLY OPERATIONAL. ELECTRICAL CONTRACTOR SHALL FURNISH ALL CONDUIT AND CONTROL WIRING FROM WALK-IN COOLER/FREEZER EVAPORATORS.
5. ELECTRICAL CONTRACTOR TO INSTALL CORDS AND PLUGS PROVIDED FOR EQUIPMENT BY FOOD SERVICE EQUIPMENT CONTRACTOR.
6. ALL ELECTRICAL DISCONNECTS MUST BE FABRICATED FOR MOIST AND HUMID ENVIRONMENTS.
7. REFER TO FOOD SERVICE EQUIPMENT SUPPLIER'S DRAWINGS FOR ALL EQUIPMENT IDENTIFICATION.
8. ELECTRICAL CONTRACTOR SHALL ROUGH-IN AND MAKE FINAL CONNECTIONS TO ALL FOOD SERVICE EQUIPMENT ACCORDING TO MANUFACTURER'S SHOP DRAWINGS.

3 Electrical Notes
N.T.S.

APPROVED FOR CONSTRUCTION

Project Number: 23045.00
 Date: 03/27/24
 Project Mgr: M. Knoebel
 Drawn By: H. Phillips
 Checked By: M. Holbert

Drawing Issued For:
 Schematic Design
 Design Development
 Construction

Revisions:
 No. Date Description

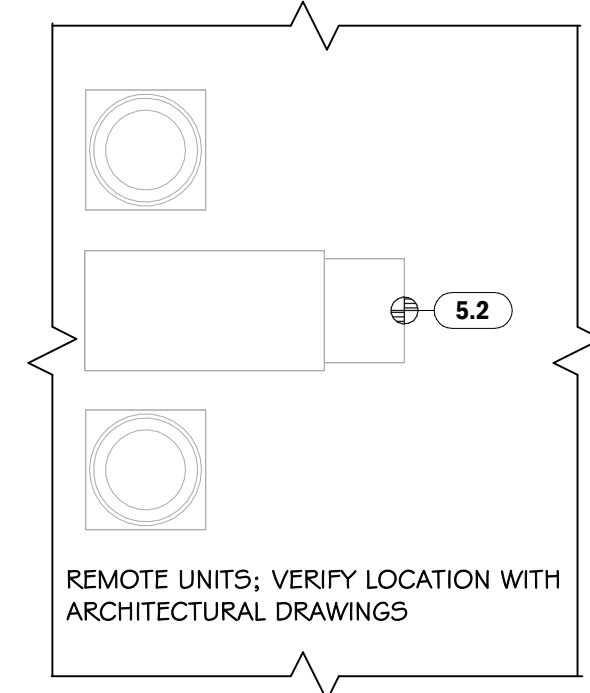
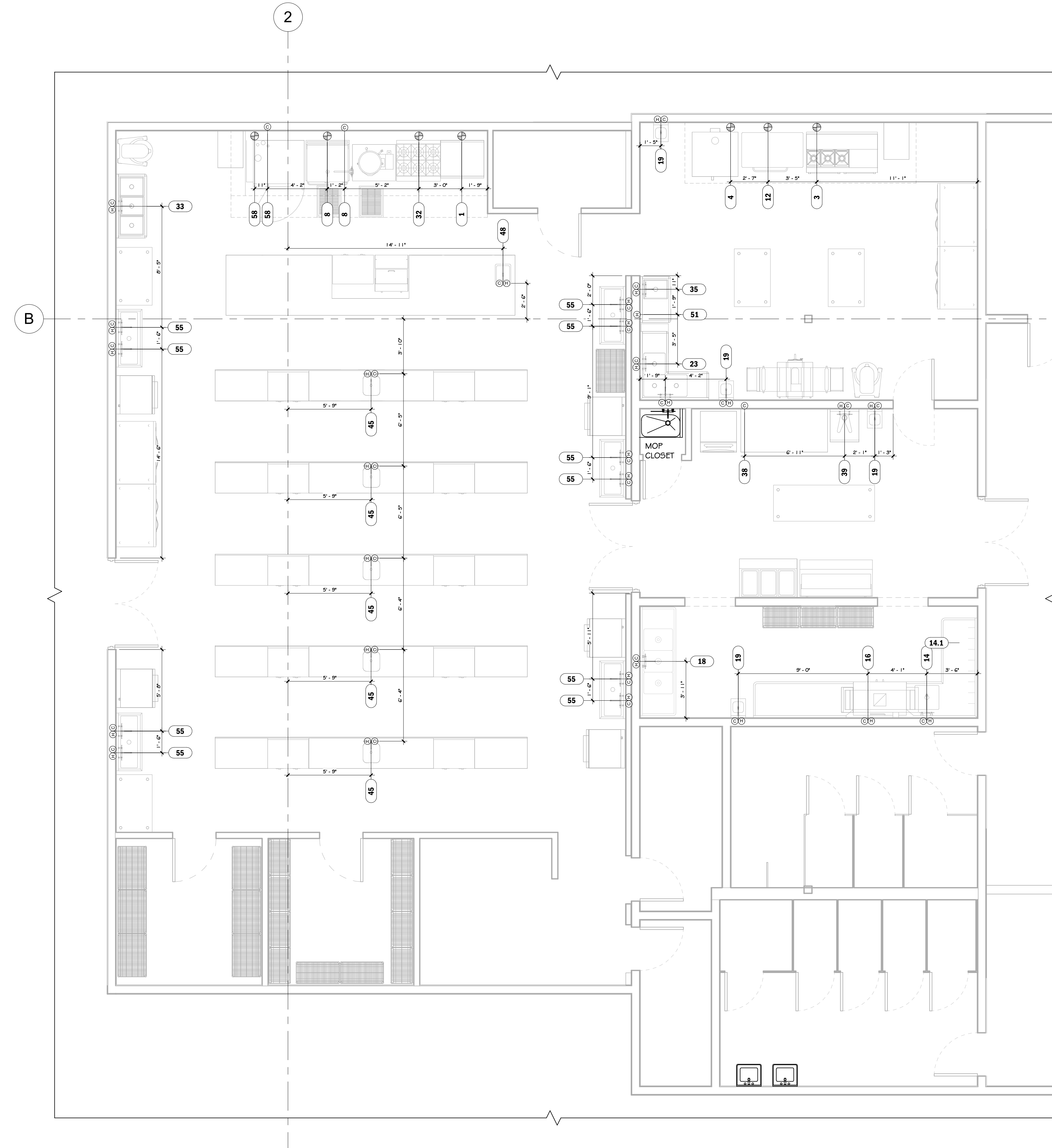
Sheet Title:
 Kitchen Equipment
 Electrical Plan
 Sheet No:

1 Electrical Plan
1/4" = 1'-0"

4 Not Used
N.T.S.

A New Facility For:
Heritage Park Addition
 115 Durham Drive, Maynardville, TN 37807





- ⊕ HW - HOT WATER
- ⊖ CW - COLD WATER
- ⊗ GAS - (NATURAL)
- FIELD CONNECTIONS

1 Plumbing Plan
 1/4" = 1'-0"

2 Plumbing Legend
 N.T.S.

1. ALL PLUMBING UTILITIES SHOWN RELATE TO FOOD SERVICE FIXTURES AND EQUIPMENT ONLY. THIS DRAWING MUST BE USED IN CONJUNCTION WITH THE PLUMBING DRAWINGS FOR ANY ADDITIONAL PLUMBING UTILITIES.
2. THIS PLUMBING PLAN IS INTENDED TO SHOW ROUGH-IN LOCATIONS AND HEIGHTS, CONNECTION SIZES, POSITIONS, HEIGHT, AND LOAD REQUIREMENTS. DIMENSIONS SHOWN ARE FROM FINISHED FLOORS AND FINISHED WALLS, OR COLUMN CENTER LINES. VERIFY WALL PARTITION LOCATIONS WITH ARCHITECTURAL DRAWINGS. PLUMBING CONTRACTOR SHALL ROUGH-IN AND MAKE FINAL CONNECTIONS TO ALL FOOD SERVICE EQUIPMENT ACCORDING TO MANUFACTURER'S SHOP DRAWINGS.
3. PLUMBING CONTRACTOR SHALL FURNISH ALL INDIRECT WASTE PIPING, SHUT-OFF VALVES (WATER), PRESSURE REDUCING VALVES, WATER HAMMER ARRESTORS, ETC., AS REQUIRED TO MAKE EACH PIECE OF EQUIPMENT FULLY OPERATIONAL. REFER TO FOOD SERVICE EQUIPMENT SUPPLIER'S DRAWINGS FOR ALL EQUIPMENT IDENTIFICATION.
4. ALL VACUUM BREAKERS AND CHECK VALVES SHALL BE INSTALLED SUCH THAT THEY CAN BE VISUALLY INSPECTED BY LOCAL HEALTH DEPARTMENT REPRESENTATIVE.

3 Plumbing Notes
 N.T.S.

4 Not Used
 N.T.S.



305 KaTom Drive Kodak, TN 37764
 t (865) 225-1545 f (800) 821-9130
 www.KaTom.com

A New Facility For:
Heritage Park Addition
 115 Durham Drive, Maynardville, TN 37807



Project Number: 23045.00
 Date: 03/27/24
 Project Mgr: M. Knoebel
 Drawn By: H. Phillips
 Checked By: M. Holbert

Drawing Issued For:
 Schematic Design
 Design Development
 Construction

Revisions:

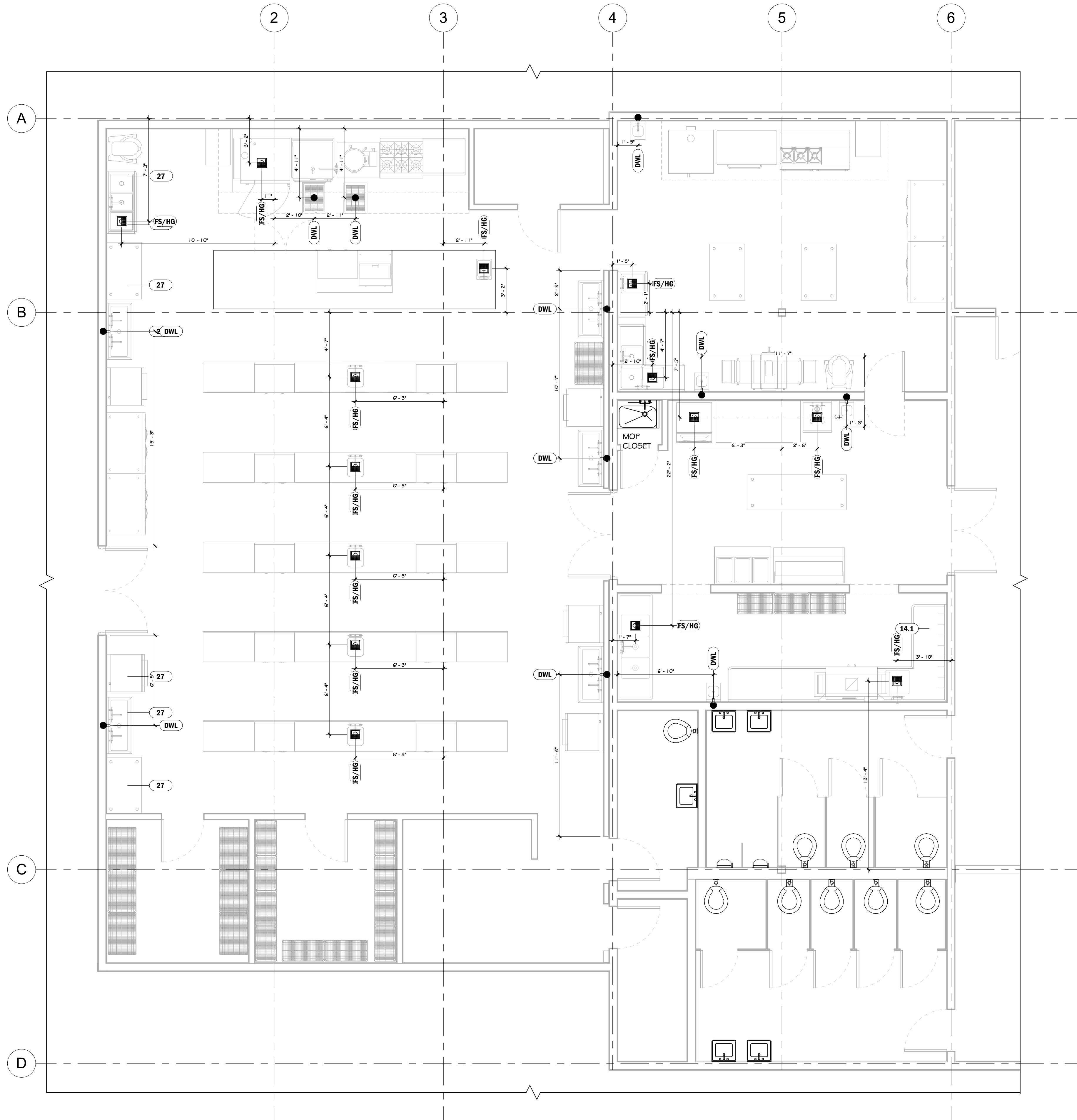
No.	Date	Description

Sheet Title:
 Kitchen Equipment
 Plumbing Plan

Sheet No:
K3.0

Date: 03/27/2024 12:28:16 PM
 User: H. Phillips
 File: C:\Local Files\23045.00_Heritage Park Addition_Maynardville, TN\hphilips23045.rvt

© 2024 KaTom Restaurant Supply
 The design, drawing, construction, artwork, and/or written content of this material is the sole property of KaTom Restaurant Supply and may not be used, reproduced or disclosed without the express written permission of KaTom Restaurant Supply. If you are placing equipment into an area which has certain standards or codes other than those accepted in the food services industry - NSF, UL, etc., KaTom Restaurant Supply must be advised of these circumstances in detail before ordering/fabrication of the equipment. There may be additional charges. Failure to notify KaTom before ordering/fabrication begins releases us from any obligation to modify our standards without any additional charges.



- DWL - DIRECT WASTE LINE
- FIELD CONNECTIONS
- ⊕ FFD - FLOOR DRAIN W/ FUNNEL
- ⊞ FS/HG - FLOOR SINK W/ HALF GRATE
- ⊞ FS/FG - FLOOR SINK W/ FULL GRATE
- ⊞ FS/NG - FLOOR SINK W/ NO GRATE

2 Waste Legend
N.T.S.

1. ALL DRAINS DEDICATED FOR EQUIPMENT, INCLUDING FLOOR TROUGHS, MUST BE FLUSH WITH PLANE OF SURROUNDING FLOOR.
2. GENERAL PURPOSE FLOOR DRAINS, INCLUDING FLOOR TROUGHS, IN AREAS OF HIGH TRAFFIC MUST BE FLUSH WITH PLANE OF SURROUNDING FLOOR.
3. ALL FLOOR DRAINS AND FLOOR SINKS TO BE LOCATED BY A LICENSED PLUMBING ENGINEER. FLOOR DRAIN LOCATIONS ON THIS PLAN ARE APPROXIMATE. DRAIN LINES ARE BY THE PC. PC TO MANIFOLD MULTIPLE WASTE CONNECTIONS AND EXTEND SAFE WASTE OR DIRECT CONNECTIONS AS REQUIRED. IT IS HIGHLY RECOMMENDED THAT THE FIRST 20 FEET OF ALL DRAINS ARE MADE OF CAST IRON. HIGH TEMP DRAIN WATER CAN DAMAGE PVC PIPES AND DISSOLVE JOINT ADHESIVE.
5. CONDENSATE DRAIN LINE FROM EVAP. COILS TO WALK-IN BOX IS BY THE PC, AND SHOULD BE INSTALLED WITH A SLOPE OF 1/4" PER LINEAR FOOT OF PIPING.

3 Waste Notes
N.T.S.

4 Not Used
N.T.S.

1 Waste Plan
1/4" = 1'-0"

KaTom
 RESTAURANT SUPPLY INC.
 305 KaTom Drive Kodak, TN 37764
 t (865) 225-1545 f (800) 821-9130
 www.KaTom.com

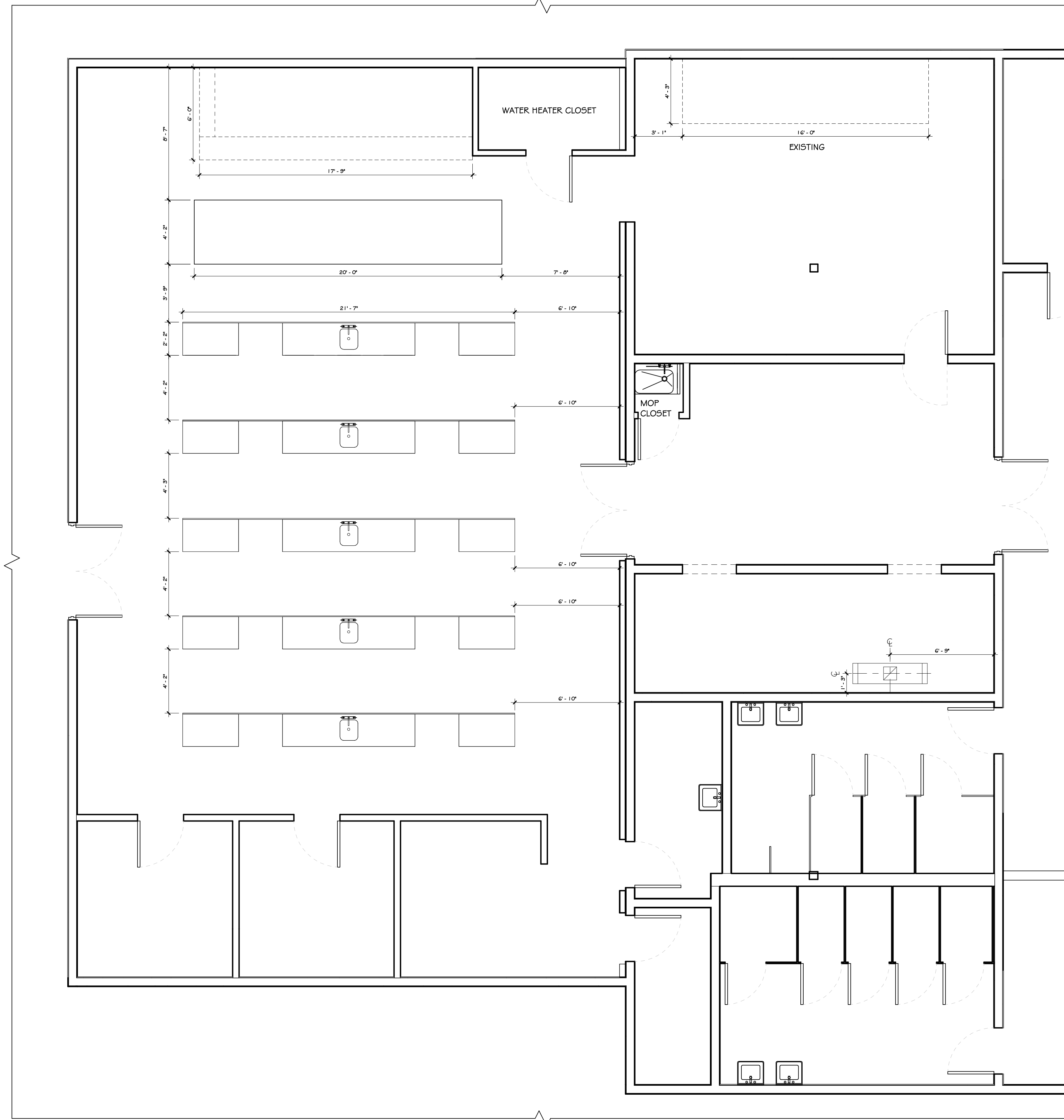
A New Facility For:
Heritage Park Addition
 115 Durham Drive, Maynardville, TN 37807



Project Number:	23045.00	
Date:	03/27/24	
Project Mgr :	M. Knoebel	
Drawn By:	H. Phillips	
Checked By:	M. Holbert	
Drawing Issued For:		
	<input type="radio"/> Schematic Design	
	<input type="radio"/> Design Development	
	<input checked="" type="radio"/> Construction	
Revisions:		
No.	Date	Description

Sheet Title:
 Kitchen Equipment
 Waste Plan
 Sheet No:

K4.0



A New Facility For:

Heritage Park Addition

115 Durham Drive, Maynardville, TN 37807



Project Number: 23045.00
Date: 03/27/24
Project Mgr: M. Knoebel
Drawn By: H. Phillips
Checked By: M. Holbert

Drawing Issued For:
 Schematic Design
 Design Development
 Construction

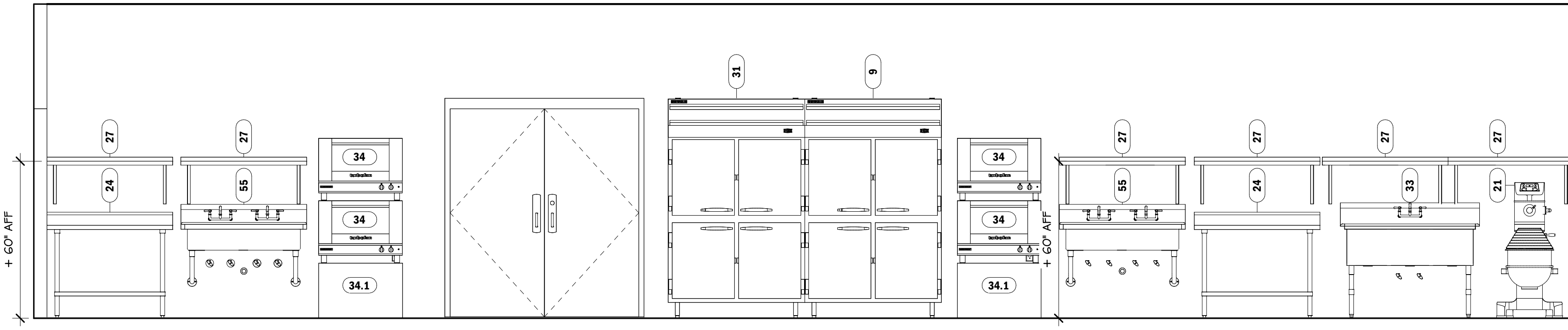
Revisions:
No. Date Description

Sheet Title:
Kitchen Equipment
Special Conditions Plan
Sheet No:

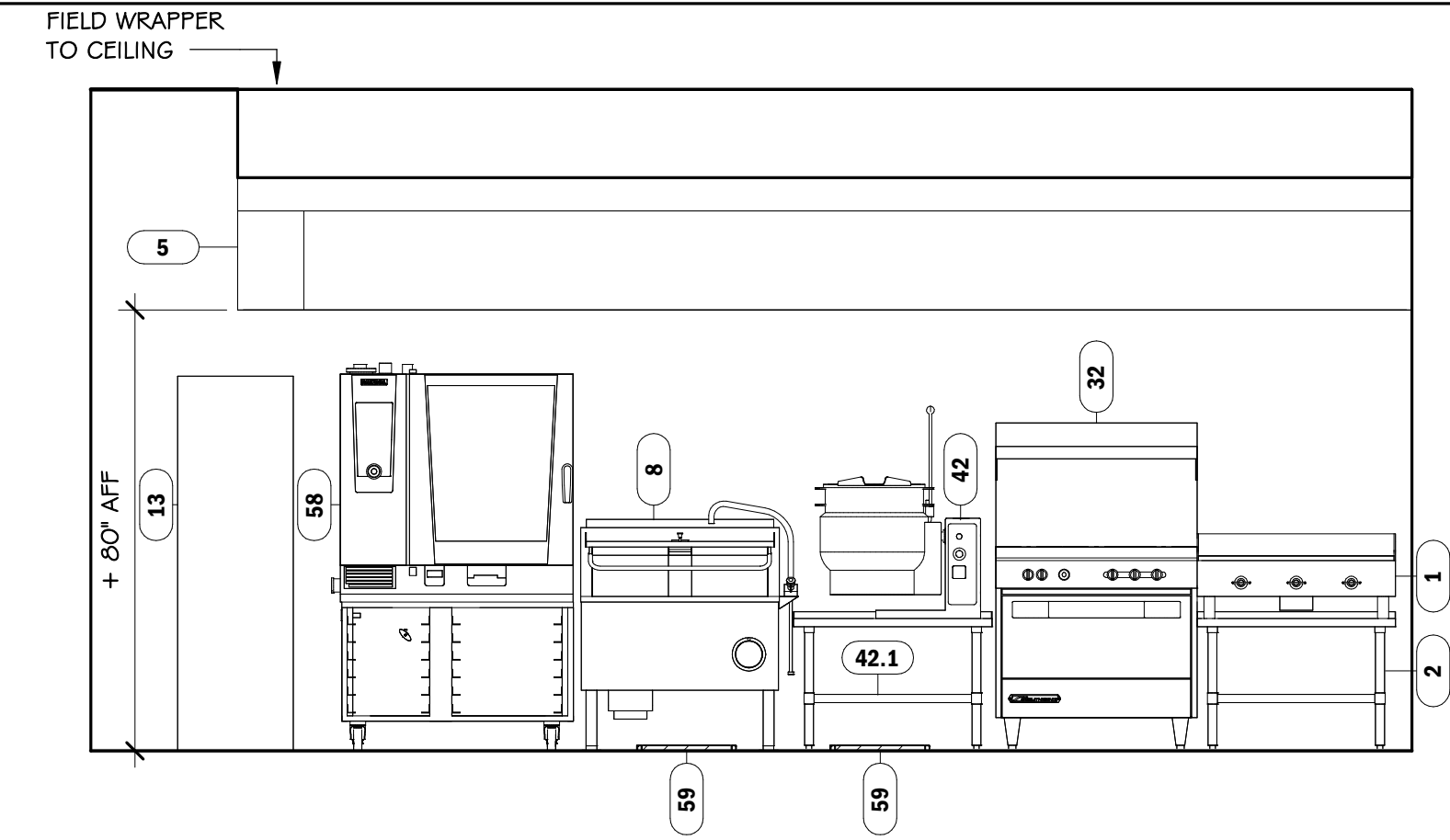
K5.0

Date: 03/27/2024 12:26:16 PM
 User: H. Phillips
 File: C:\Local Files\2023\23045.00_Heritage Park Addition_Maynardville_TN\hphilips23045.rvt

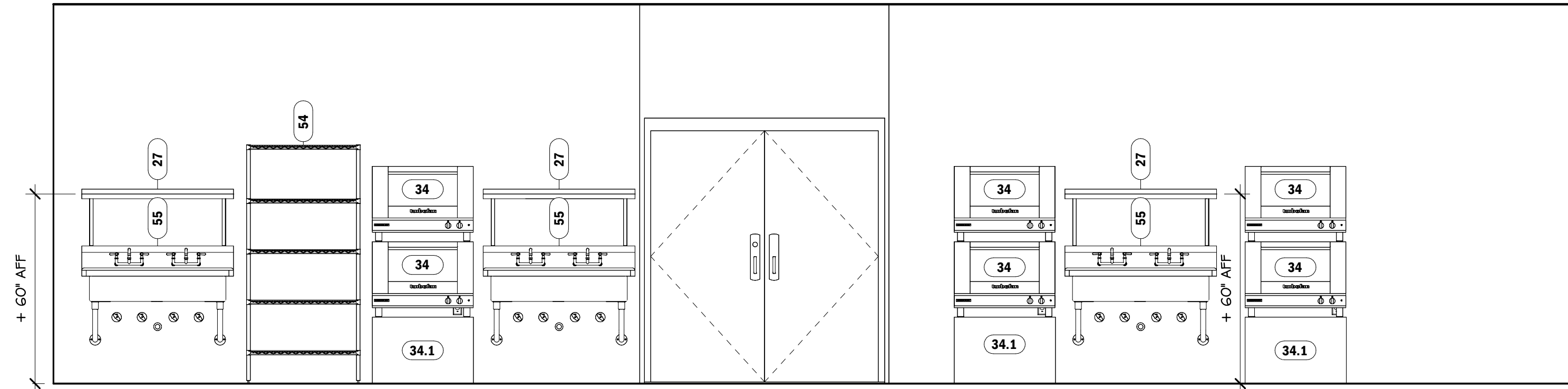
© 2024 KaTom Restaurant Supply
 The design, drawing, construction, artwork, and/or written content of this material is the sole property of KaTom Restaurant Supply and may not be used, reproduced or disclosed without the express written permission of KaTom Restaurant Supply. If you are placing equipment into an area which has certain standards or codes other than those accepted in the food services industry - NSF, UL, etc., KaTom Restaurant Supply must be advised of these circumstances in detail before ordering/fabrication of the equipment. There may be additional charges. Failure to notify KaTom before ordering/fabrication begins releases us from any obligation to modify our standards without any additional charges.



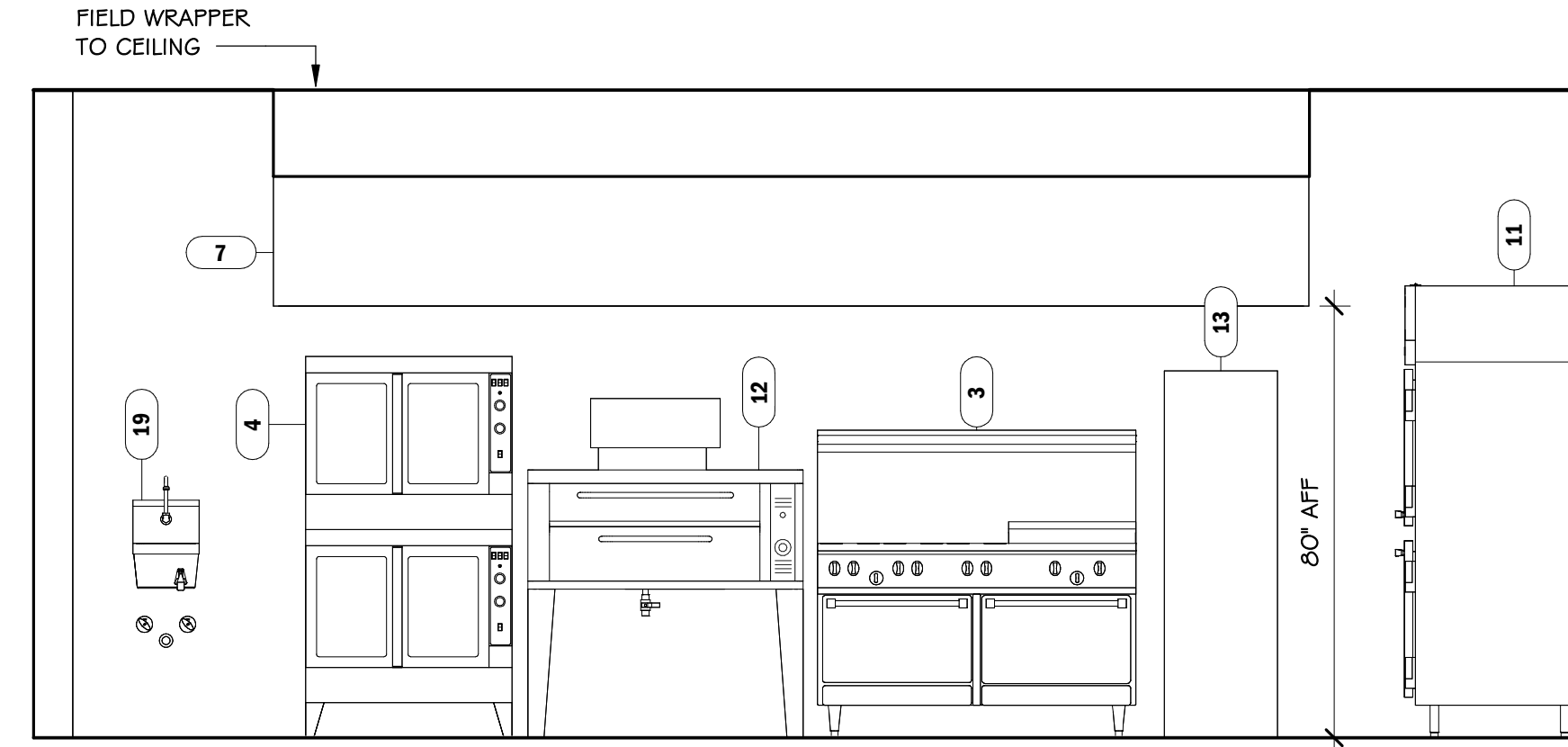
1 Interior Elevation - Classroom West Wall
 3/8" = 1'-0"



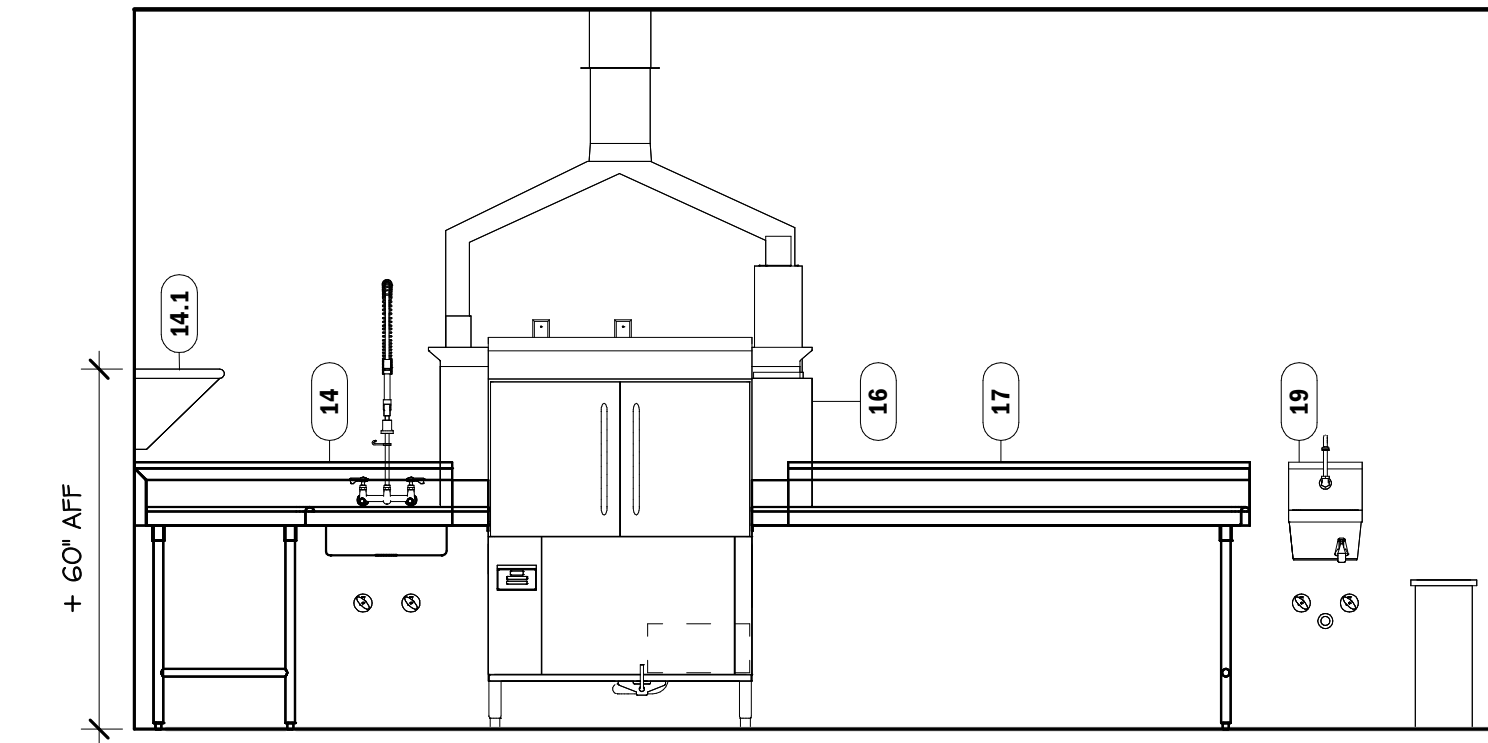
2 Interior Elevation - Classroom Cookline
 3/8" = 1'-0"



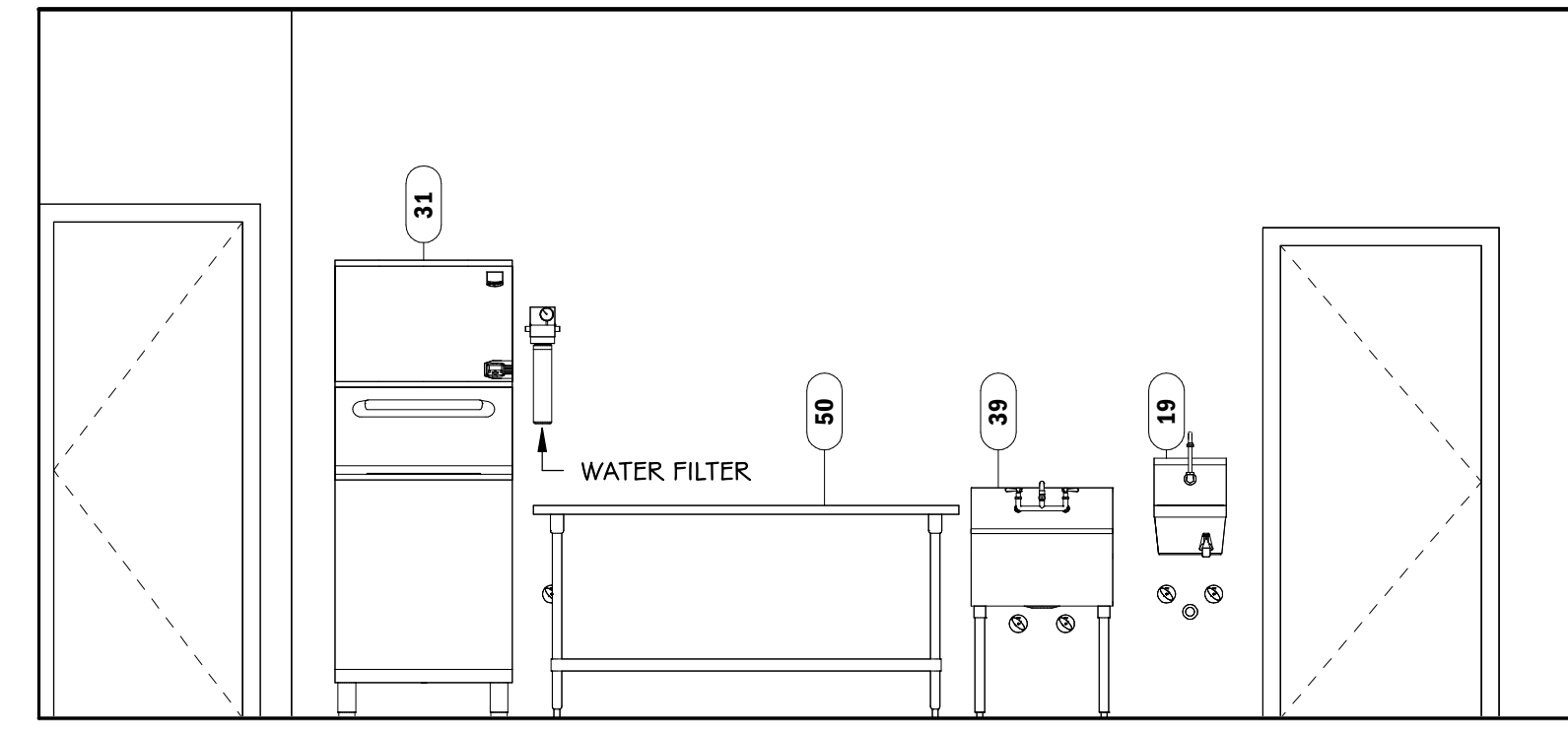
3 Interior Elevation - Classroom East Wall
 3/8" = 1'-0"



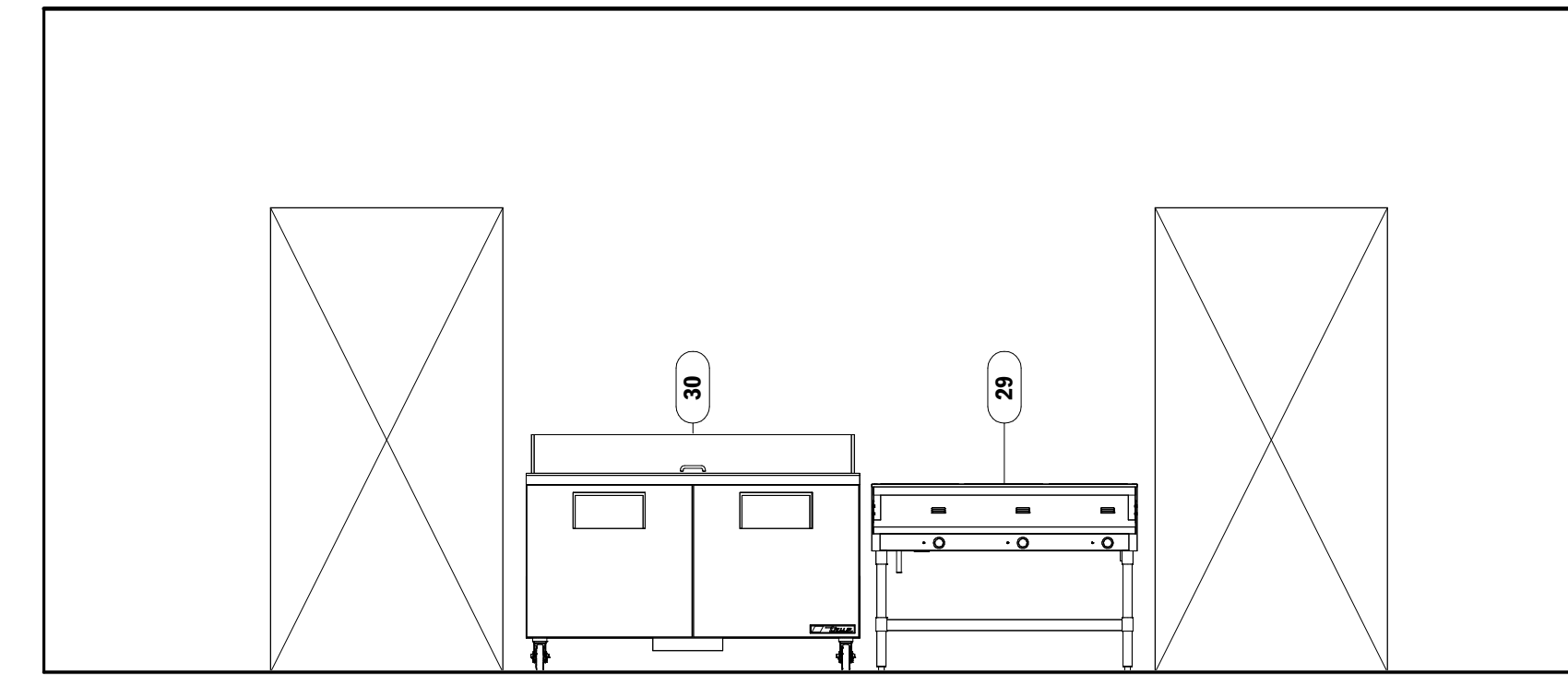
4 Interior Elevation - Kitchen Cookline
 3/8" = 1'-0"



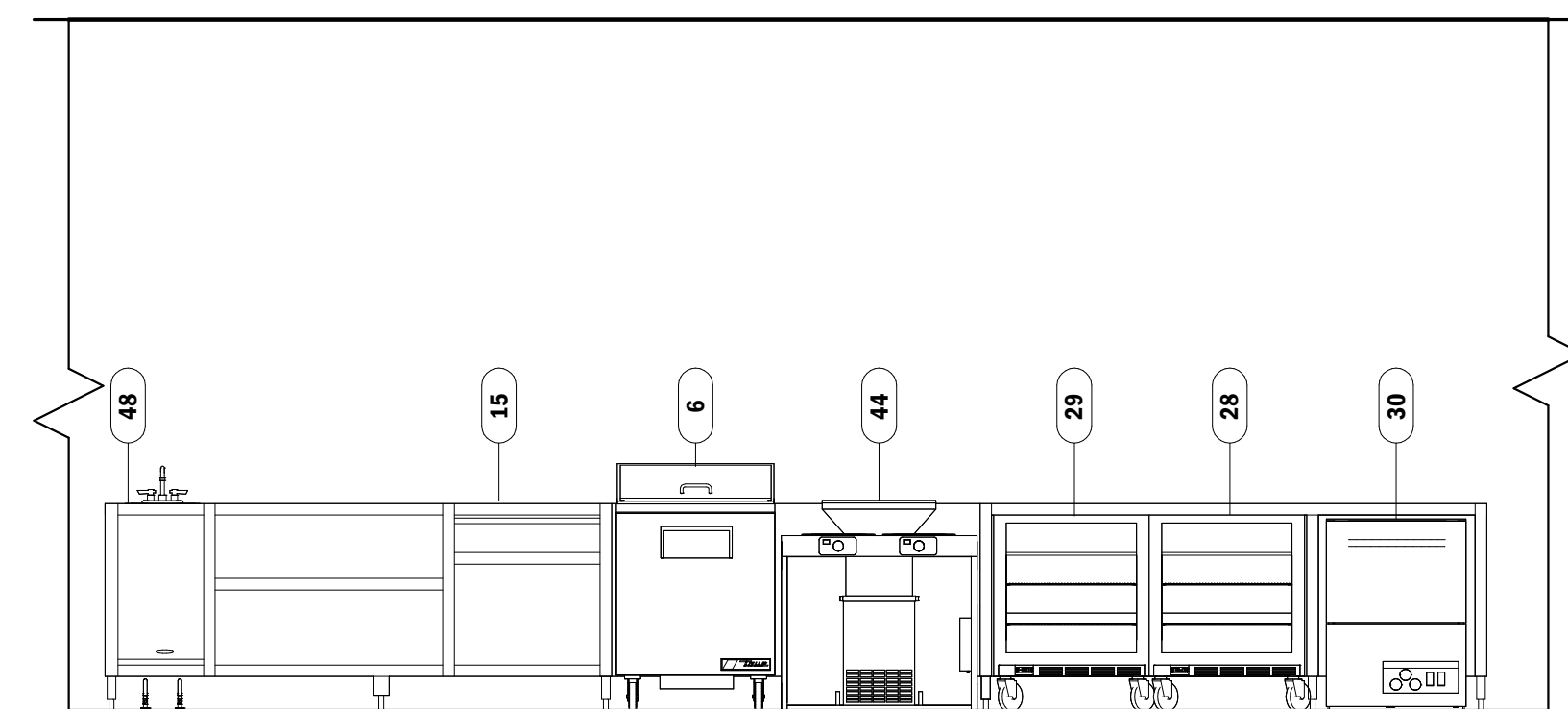
5 Interior Elevation - Dish Area
 3/8" = 1'-0"



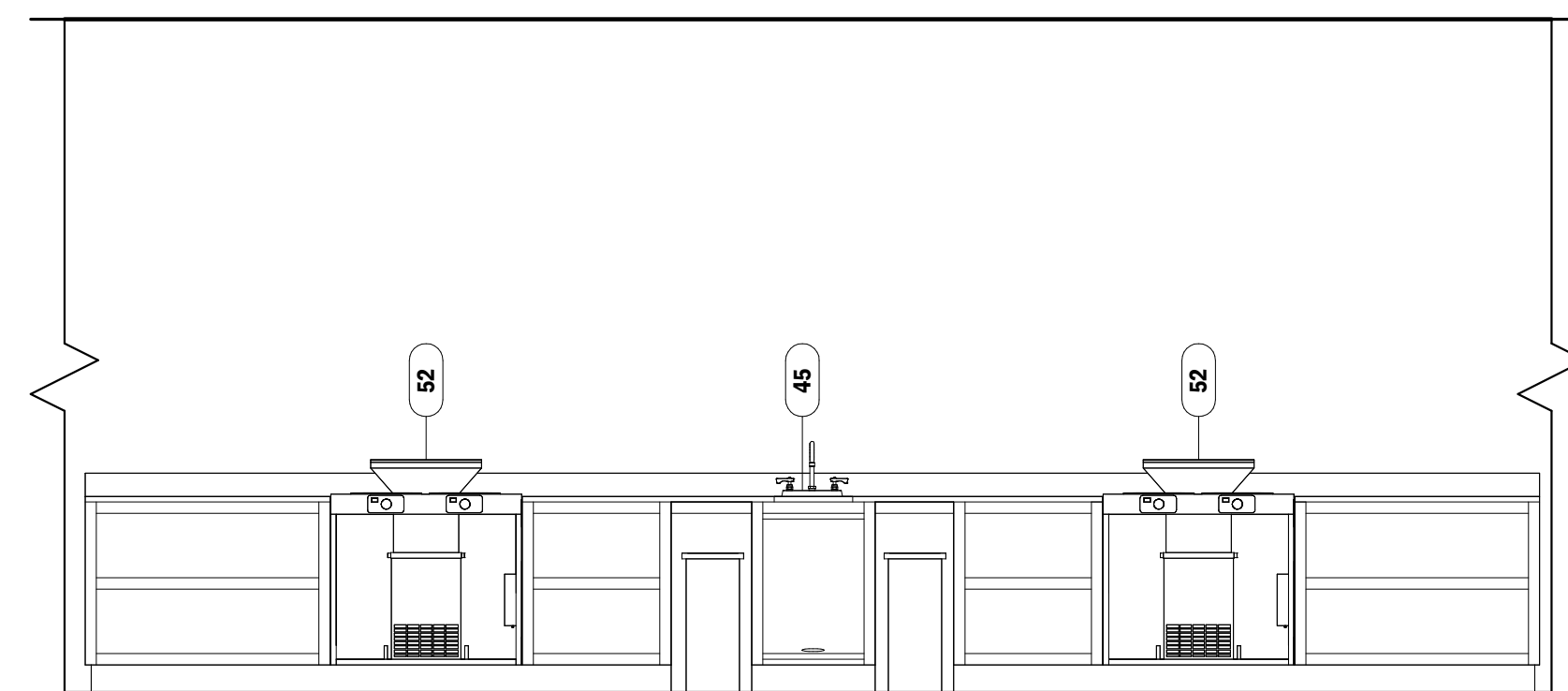
6 Interior Elevation - Concessions North Wall
 3/8" = 1'-0"



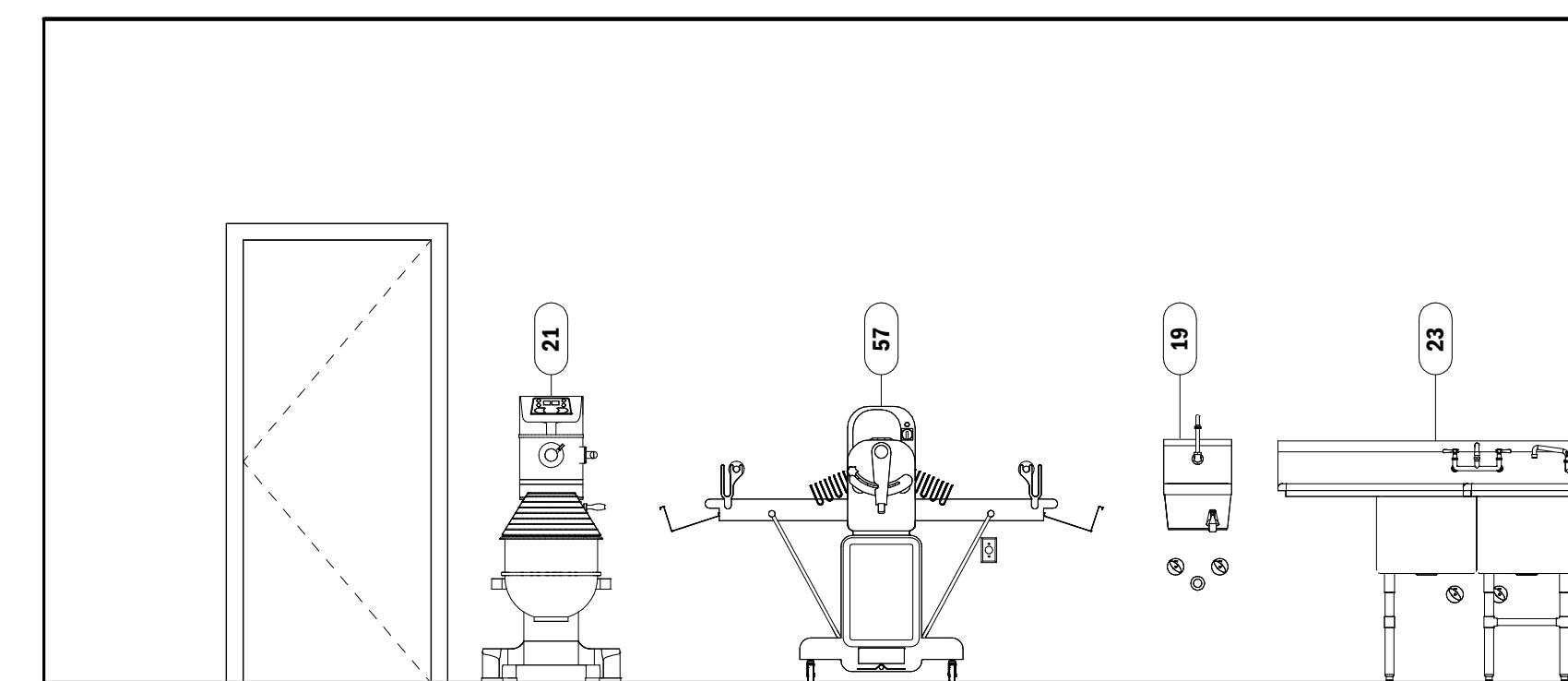
7 Interior Elevation - Concessions South Wall
 3/8" = 1'-0"



8 Interior Elevation - Classroom Teaching Station
 3/8" = 1'-0"



9 Interior Elevation - Classroom Student Work Station
 3/8" = 1'-0"



10 Interior Elevation - Bakery/Prep Area
 3/8" = 1'-0"



305 KaTom Drive Kodak, TN 37764
 t (865) 225-1545 f (800) 821-9130
 www.KaTom.com

A New Facility For:
Heritage Park Addition
 115 Durham Drive, Maynardville, TN 37807



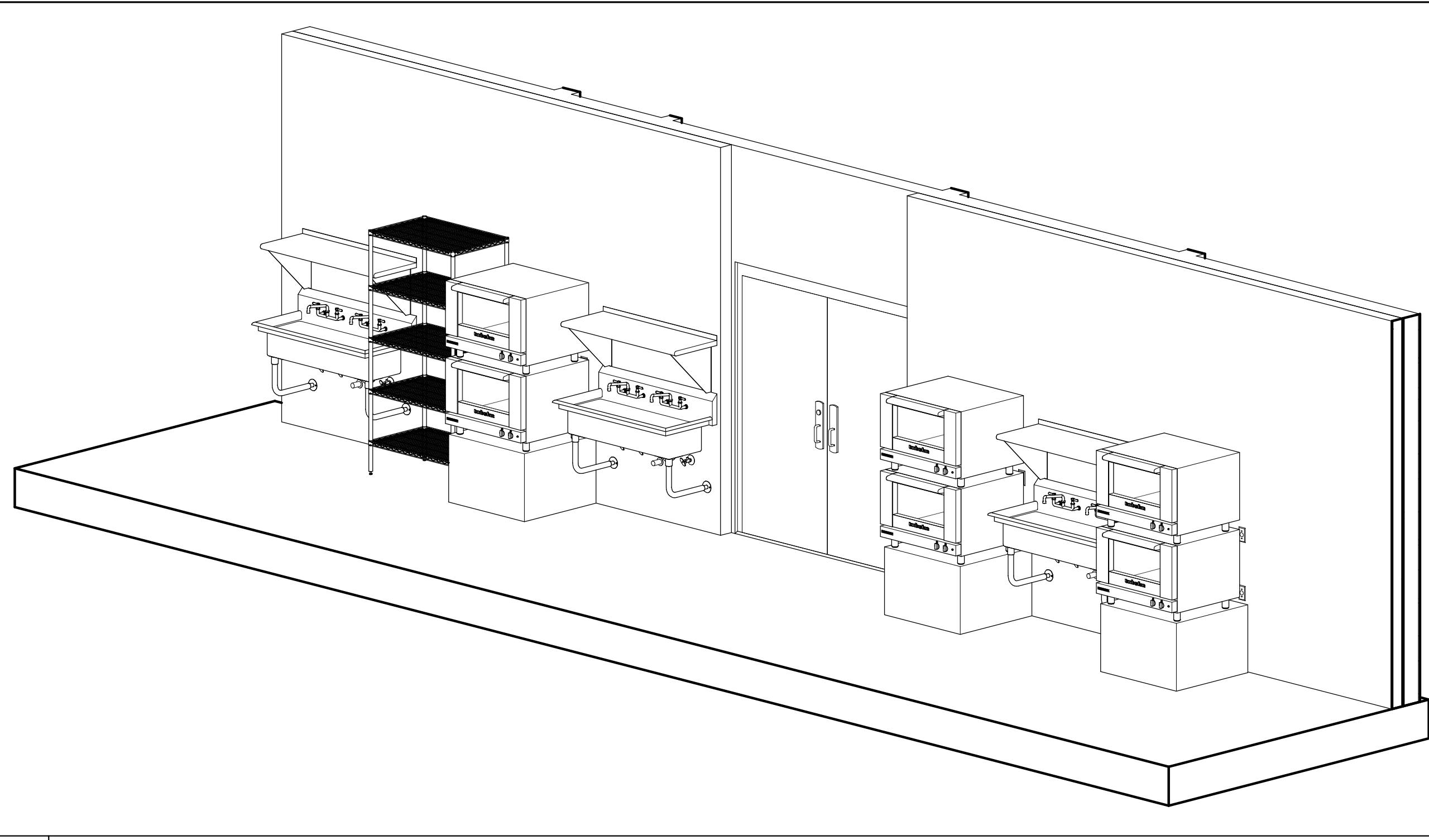
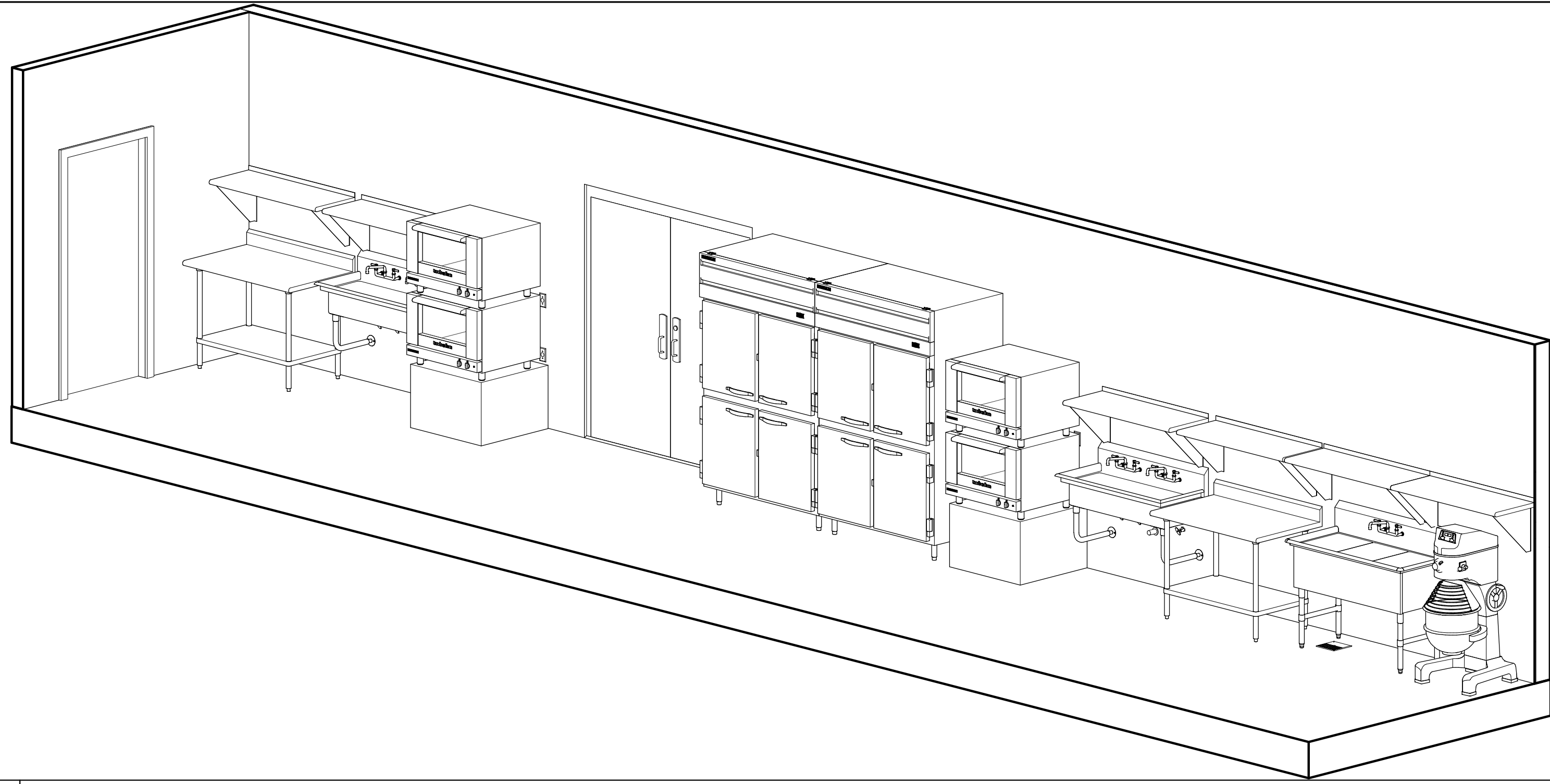
Project Number:	23045.00	
Date:	03/27/24	
Project Mgr :	M. Knoebel	
Drawn By:	H. Phillips	
Checked By:	M. Holbert	
Drawing Issued For:		
	<input type="radio"/> Schematic Design	
	<input type="radio"/> Design Development	
	<input checked="" type="radio"/> Construction	
Revisions:		
No.	Date	Description

Sheet Title:
 Kitchen Equipment
 Elevations
 Sheet No:

K6.0

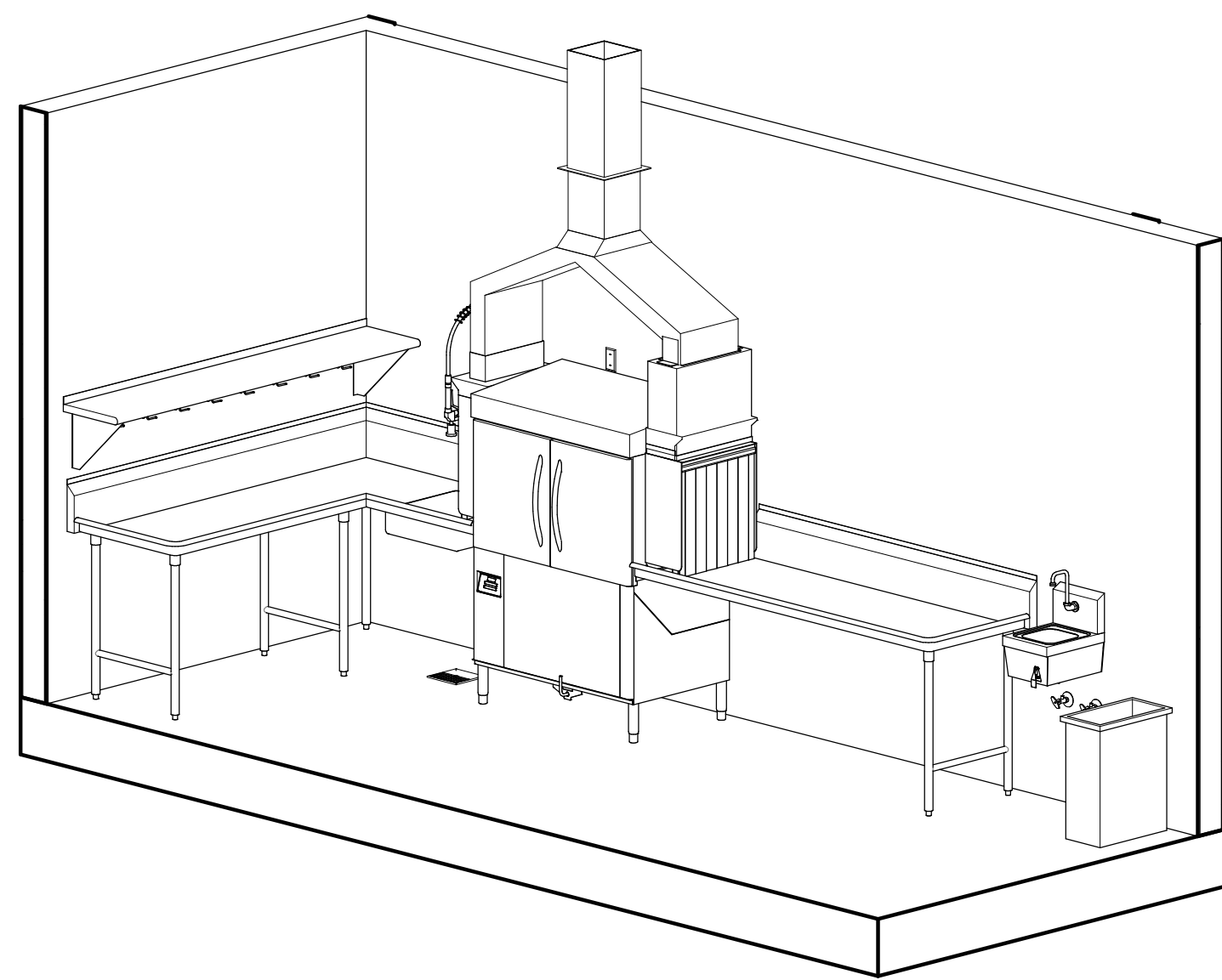
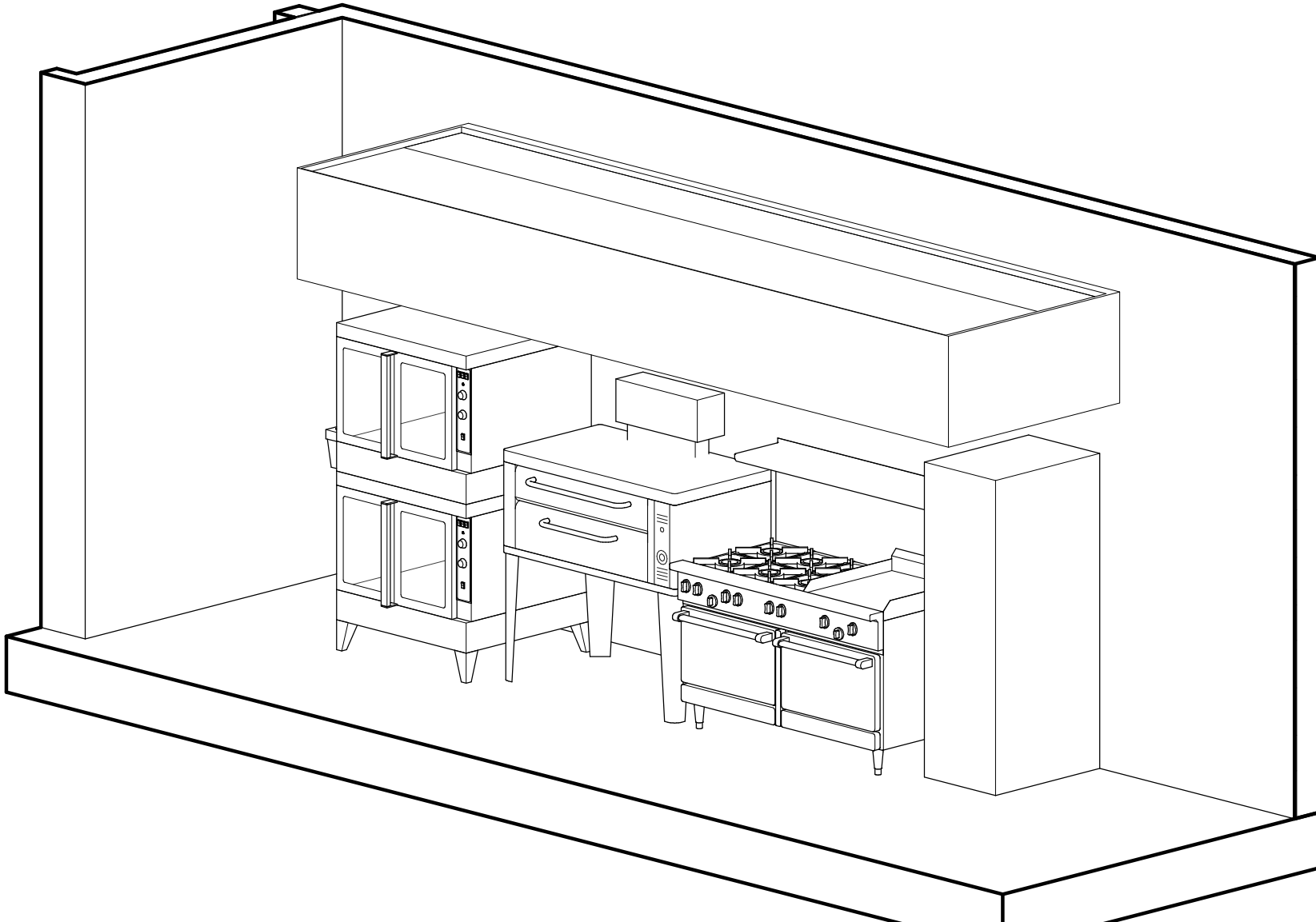
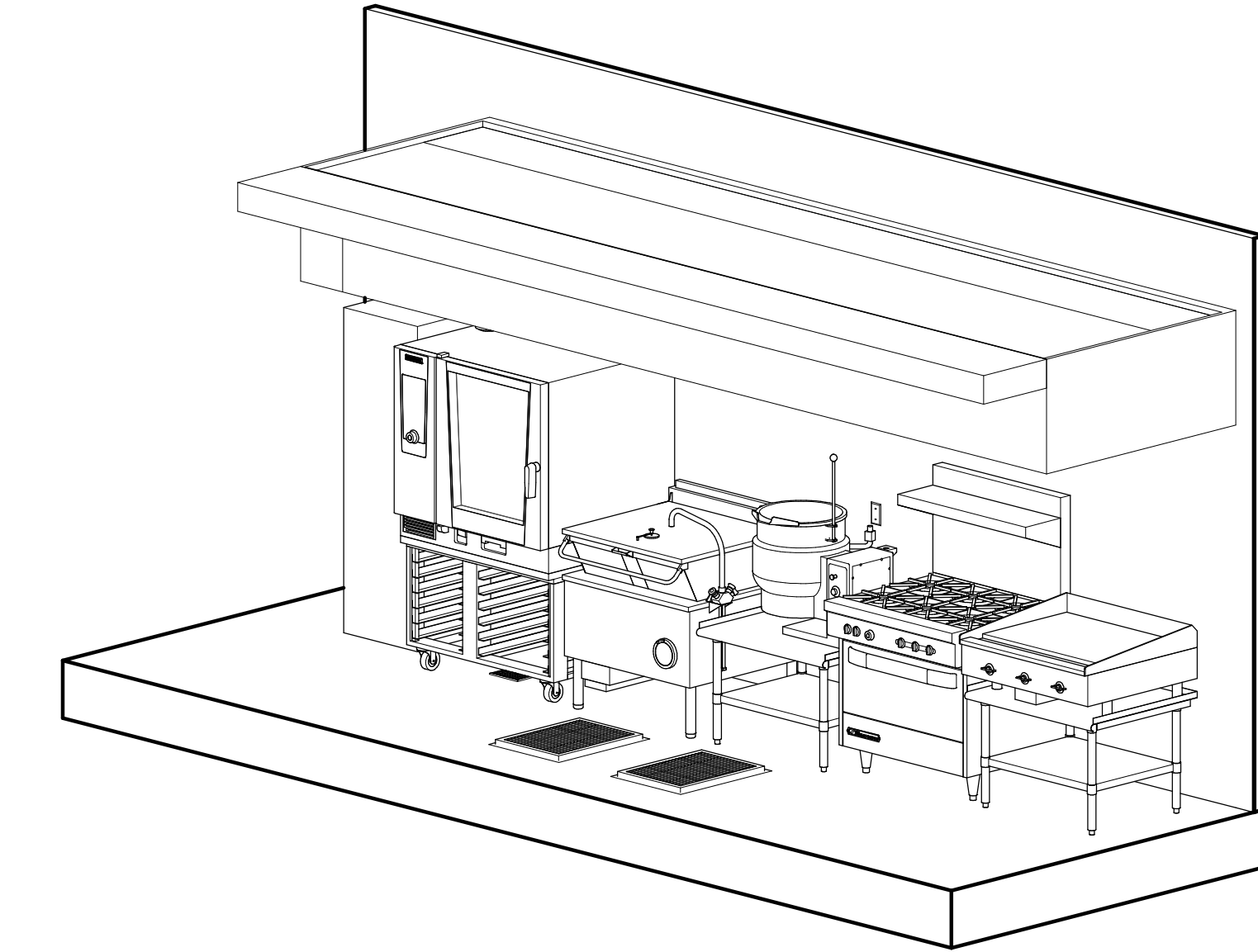
Date: 03/27/2024 12:26:18 PM
 User: H. Phillips
 File: C:\Local Files\2023\23045.00_Heritage Park Addition_Maynardville, TN\hphilips23045.dwg

© 2024 KaTom Restaurant Supply
 The design, drawing, construction, artwork, and/or written content of this material is the sole property of KaTom Restaurant Supply and may not be used, reproduced or disclosed without the express written permission of KaTom Restaurant Supply. If you are placing equipment into an area which has certain standards or codes other than those accepted in the food services industry - NSF, UL, etc., KaTom Restaurant Supply must be advised of these circumstances in detail before ordering/fabrication of the equipment. There may be additional charges. Failure to notify KaTom before ordering/fabrication begins releases us from any obligation to modify our standards without any additional charges.



1 Isometric View - Classroom West Wall

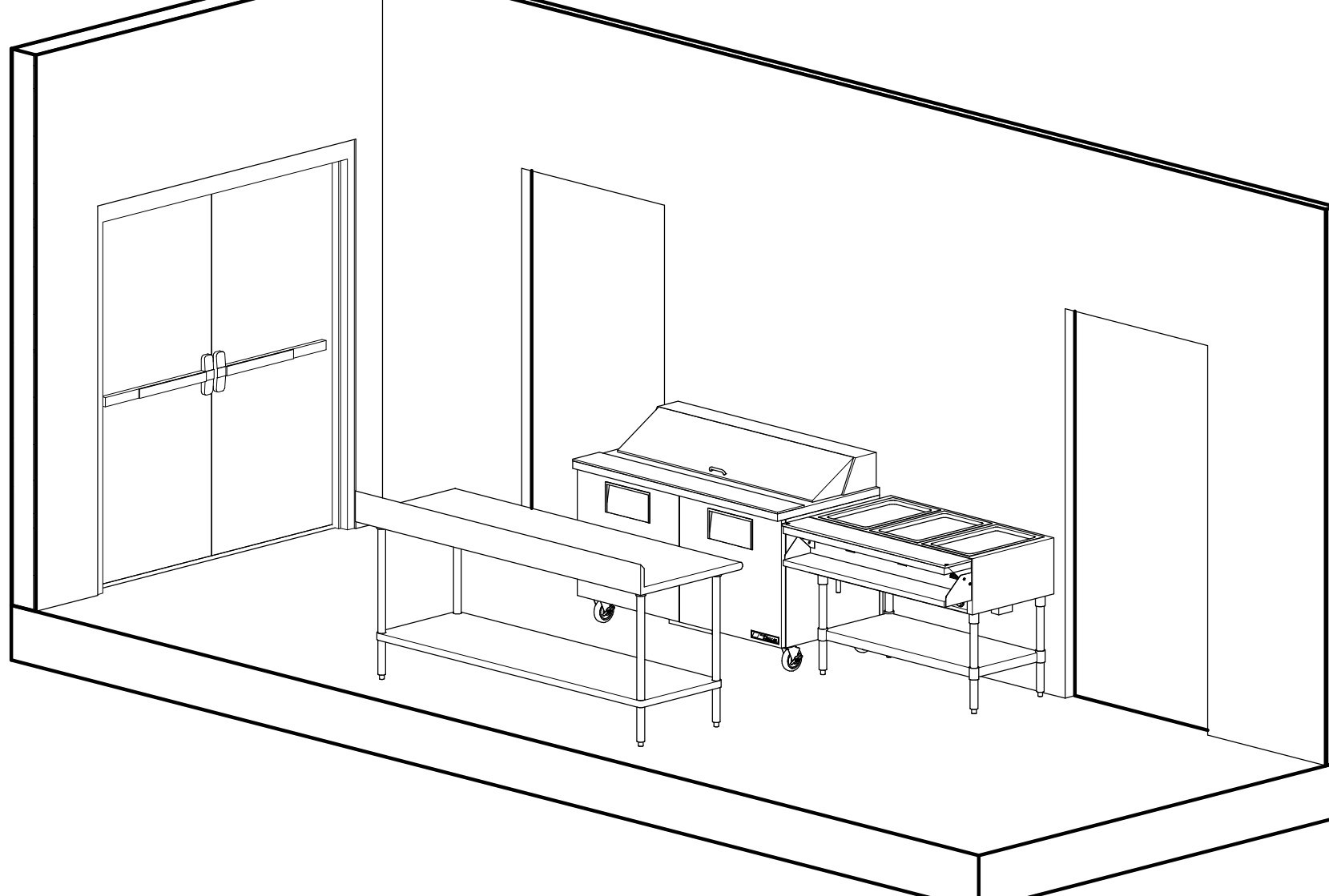
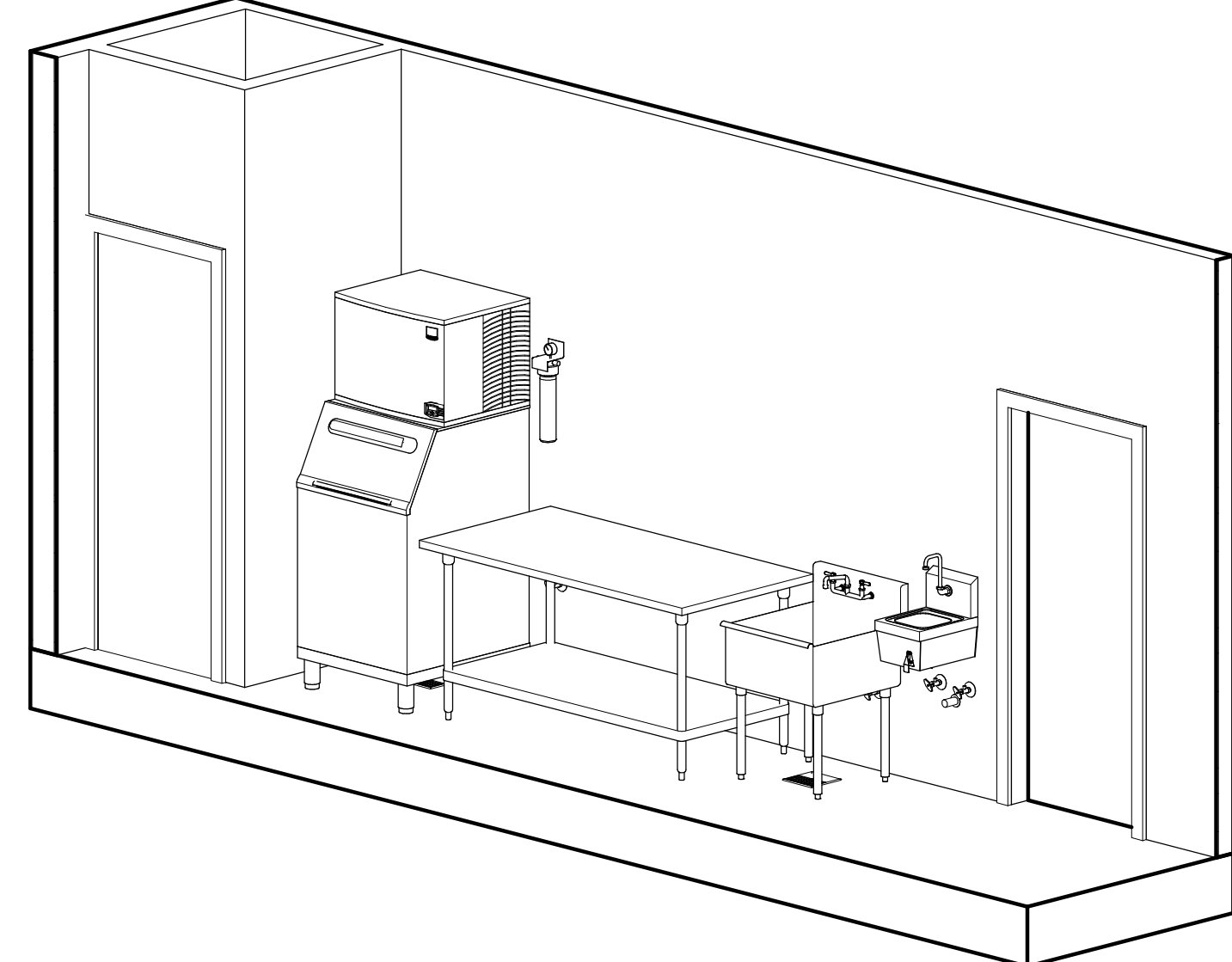
2 Isometric View - Classroom East Wall



3 Isometric View - Classroom Cookline

4 Isometric View - Kitchen Cookline

5 Isometric View - Dish Area



6 Isometric View - Concessions North Wall

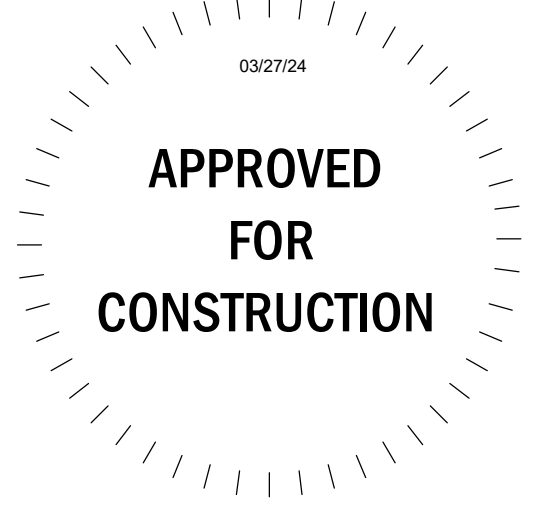
7 Isometric View - Concessions South Wall

8 Not Used



305 KaTom Drive Kodak, TN 37764
 t (865) 225-1545 f (800) 821-9130
 www.KaTom.com

A New Facility For:
Heritage Park Addition
 115 Durham Drive, Maynardville, TN 37807



Project Number: 23045.00
 Date: 03/27/24
 Project Mgr: M. Knoebel
 Drawn By: H. Phillips
 Checked By: M. Holbert

Drawing Issued For:
 Schematic Design
 Design Development
 Construction

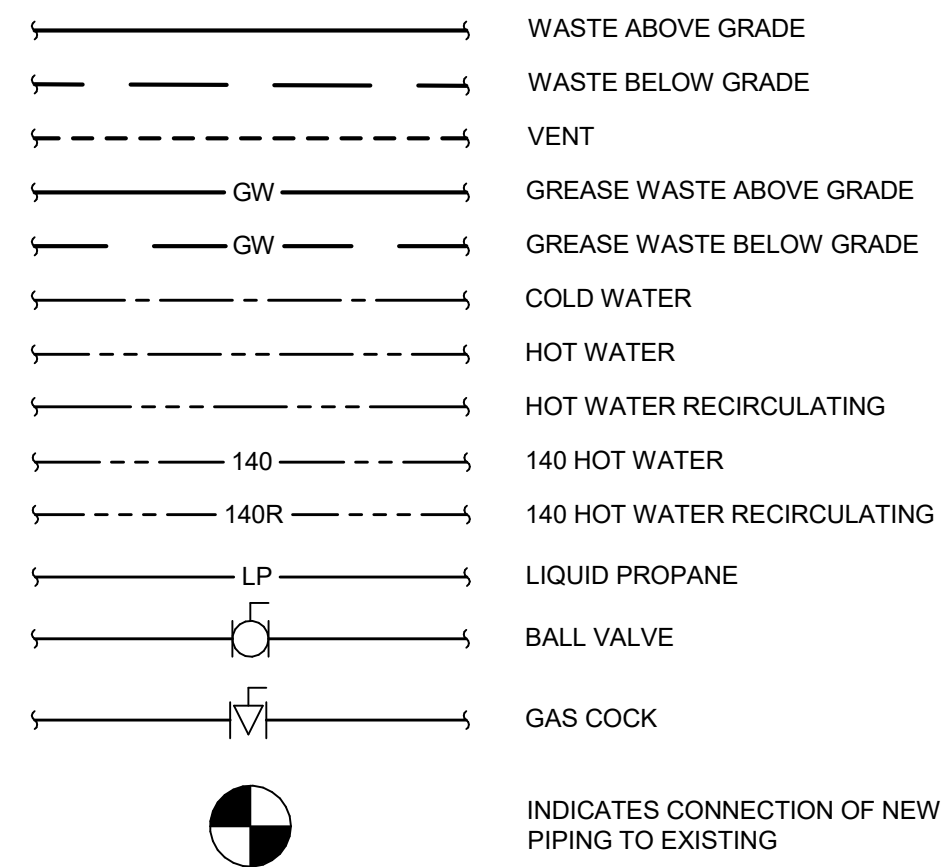
Revisions:
 No. Date Description

Sheet Title:
 Kitchen Equipment
 Isometric Views

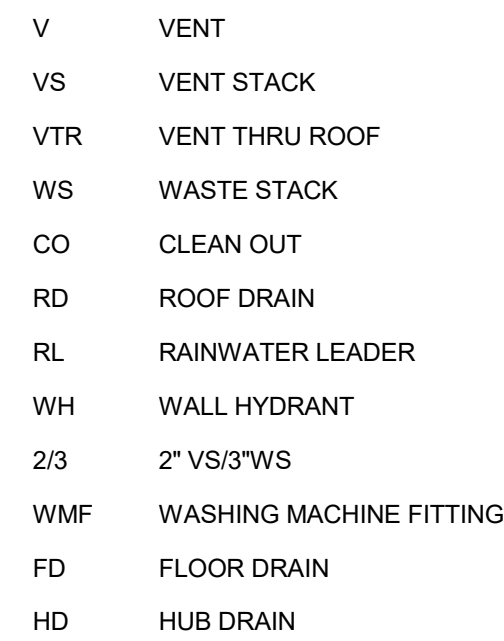
Sheet No:
K7.0

PLUMBING FIXTURE SCHEDULE		
ITEM	DESCRIPTION	SPECIFICATION
W1 - ADA	WATER CLOSET	ZURN, Z5551-(LH/RH)-K HPT 1.6GPF FLOOR MOUNTED TANK TYPE HIGH PERFORMANCE 1000G MAP RATING 3" FLUSH ACTION ADA HEIGHT WATER CLOSET WITH TANK LEVER TO BE DETERMINED BY OPEN AREA EITHER RIGHT OR LEFT AND 2-1/8" FULLY GLAZED TRAPWAY
	SEAT	ZURN, Z59555S-EL-STS ELONGATED WHITE OPEN FRONT TOILET SEAT LESS COVER WITH SELF SUSTAINING STAINLESS STEEL CHECK HINGE
	SUPPLY	ZURN, Z8804-XL-8860-CR-Q-PC 1/2" NOM X 3/8" OD SUPPLY KIT COMPLETE WITH QUARTER TURN STOP, BRAIDED STAINLESS STEEL SUPPLY AND ESCUTCHEON
W2	WATER CLOSET	ZURN, Z5552-(LH/RH)-K HPT 1.6GPF FLOOR MOUNTED TANK TYPE HIGH PERFORMANCE 1000G MAP RATING 3" FLUSH ACTION STANDARD HEIGHT WATER CLOSET WITH TANK LEVER TO BE DETERMINED BY OPEN AREA EITHER RIGHT OR LEFT AND 2-1/8" FULLY GLAZED TRAPWAY
	SEAT	ZURN, Z59555S-EL-STS ELONGATED WHITE OPEN FRONT TOILET SEAT LESS COVER WITH SELF SUSTAINING STAINLESS STEEL CHECK HINGE
	SUPPLY	ZURN, Z8804-XL-8860-CR-Q-PC 1/2" NOM X 3/8" OD SUPPLY KIT COMPLETE WITH QUARTER TURN STOP, BRAIDED STAINLESS STEEL SUPPLY AND ESCUTCHEON
U	URINAL	ZURN, Z5755-U OMNI-FLOW .125 TO 1GPF WALL MOUNTED TOP SPUD ASYMMETRIC BACK WALL URINAL WITH INTEGRAL P-TRAP AND VANDAL RESISTANT OUTLET STRAINER
	FLUSH VALVE	ZURN, Z6003AV-WS1 AQUAVANTAGE MANUAL OPERATED FLUSH VALVE 1GPF CLOG RESISTANT TRIPLE FILTERED BY-PASS, DUAL SEAL AND CHLORAMINE RESISTANT INTERNAL PARTS
	CARRIER	PROVIDE WITH APPROPRIATE APPROVED ZURN CARRIER
L - ADA	LAVATORY	ZURN, Z5344 20"X18" WALL HUNG 4"CC VITREOUS CHINA CONCEALED ARM LAVATORY
	FAUCET	ZURN, Z7440-XL-FC SIERRA SINGLE HANDLE 4CC LAVATORY FAUCET WITH .5GPM AERATOR AND CERAMIC DISC CARTRIDGE
	DRAIN	Zurn, Z8746-PC 1-1/4" CHROME PLATED CAST BRASS 17GA OFFSET GRID DRAIN
	SUPPLIES	ZURN, Z8804-XL-8860-20-LRQ-PC 1/2" X 3/8" COMP X COMP LAVATORY SUPPLY KIT WITH ESCUTCHEONS, 1/4 TURN CHROME PLATED STOPS AND 20 INCH BRAIDED STAINLESS STEEL SUPPLY LINES
	P-TRAP	ZURN, Z8700-PC 1-1/4" CAST BRASS 17GA P-TRAP WITH CLEANOUT
	THERMOSTATIC MIXING VALVE	SYMMONS, 8-210-CK MAXLINE 3/8" THERMOSTATIC ASSE 1017/1070 MIXING VALVE
	TRAP WRAP	ZURN, Z8946-3-NT COMBINATION TRAP WRAP KIT WITH ONE OFFSET TRAP AND TWO SUPPLY PROTECTION WRAPS
WH	WALL HYDRANT	ZURN, Z1321 FREEZE PROOF, LOOSE KEY STYLE EXPOSED HOSE BIBB WITH INTEGRAL VACUUM BREAKER
FD	FLOOR DRAIN	ZURN, ZN415-5BZ1 FLOOR OR SHOWER DRAIN, DURA-COATED CAST IRON BODY, 5" ROUND POLISHED NICKEL BRONZE STRAINER, PROTECTIVE STRAINER COVER TO PROTECT DURING CONCRETE POUR, POST POUR HEIGHT ADJUSTMENT AND LEVELING SHIMS TO CORRECT TILT
	TRAP SEAL	ZURN, Z1072 ZSHIELD BARRIER TRAP SEAL DEVICE
FS	FLOOR SINK	ZURN, ZN1901-1 WHITE ACID RESISTING PORCELAIN ENAMELED CAST IRON FLOOR SINK 12" X 12" X 8" WITHOUT GRATE AND WHITE ABS BOTTOM DOME STRAINER
FCO	CLEANOUT	ZURN, ZN1400-BZ1 DURA-COAT CAST IRON ADJUSTABLE CLEANOUT, NICKEL BRONZE TOP, PROTECTIVE STRAINER COVER TO PROTECT DURING CONCRETE POUR, POST POUR HEIGHT ADJUSTMENT AND LEVELING SHIMS TO CORRECT TILT
GCO	CLEANOUT	ZURN, Z1400-BZ1 DURA-COAT CAST IRON ADJUSTABLE CLEANOUT, CAST IRON TOP, PROTECTIVE STRAINER COVER TO PROTECT DURING CONCRETE POUR, POST POUR HEIGHT ADJUSTMENT AND LEVELING SHIMS TO CORRECT TILT
WCO	CLEANOUT	ZURN, Z1446 WALL CLEANOUT TEE WITH STAINLESS STEEL ROUND ACCESS COVER
WB	WASHER BOX	SYMMONS LM600-F-A LAUNDRYMATE WASHING MACHINE BOX WITH AA SIZE WATER HAMMER ARRESTORS AND FUNNEL FOR DRAIN PIPE SECUREMENT
IMB	ICE MAKER BOX	SYMMONS IM600-A ICEMATE ICE MAKER BOX WITH AA SIZE WATER HAMMER ARRESTOR

PLUMBING LEGEND

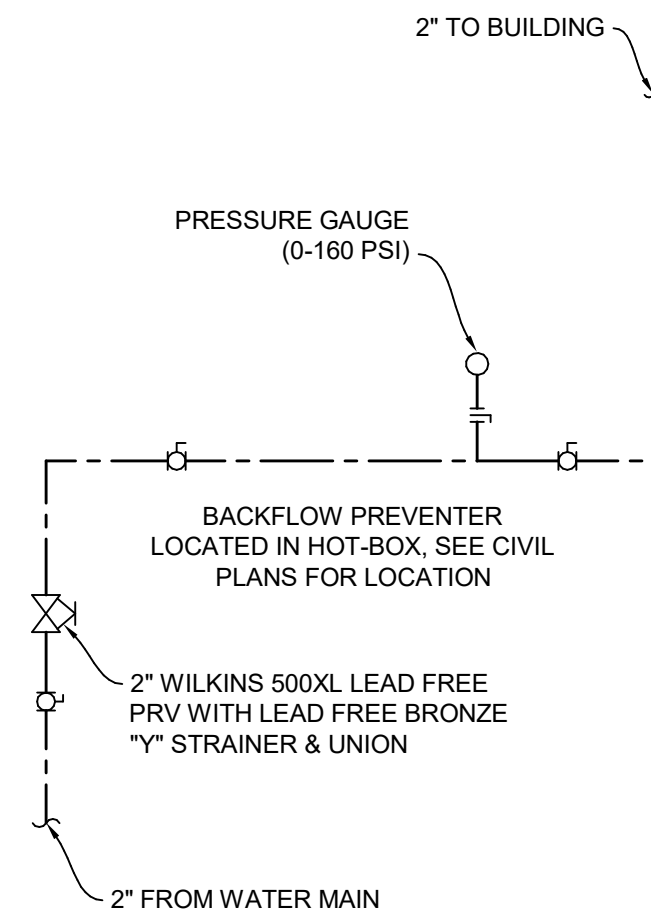


PLUMBING SYMBOLS

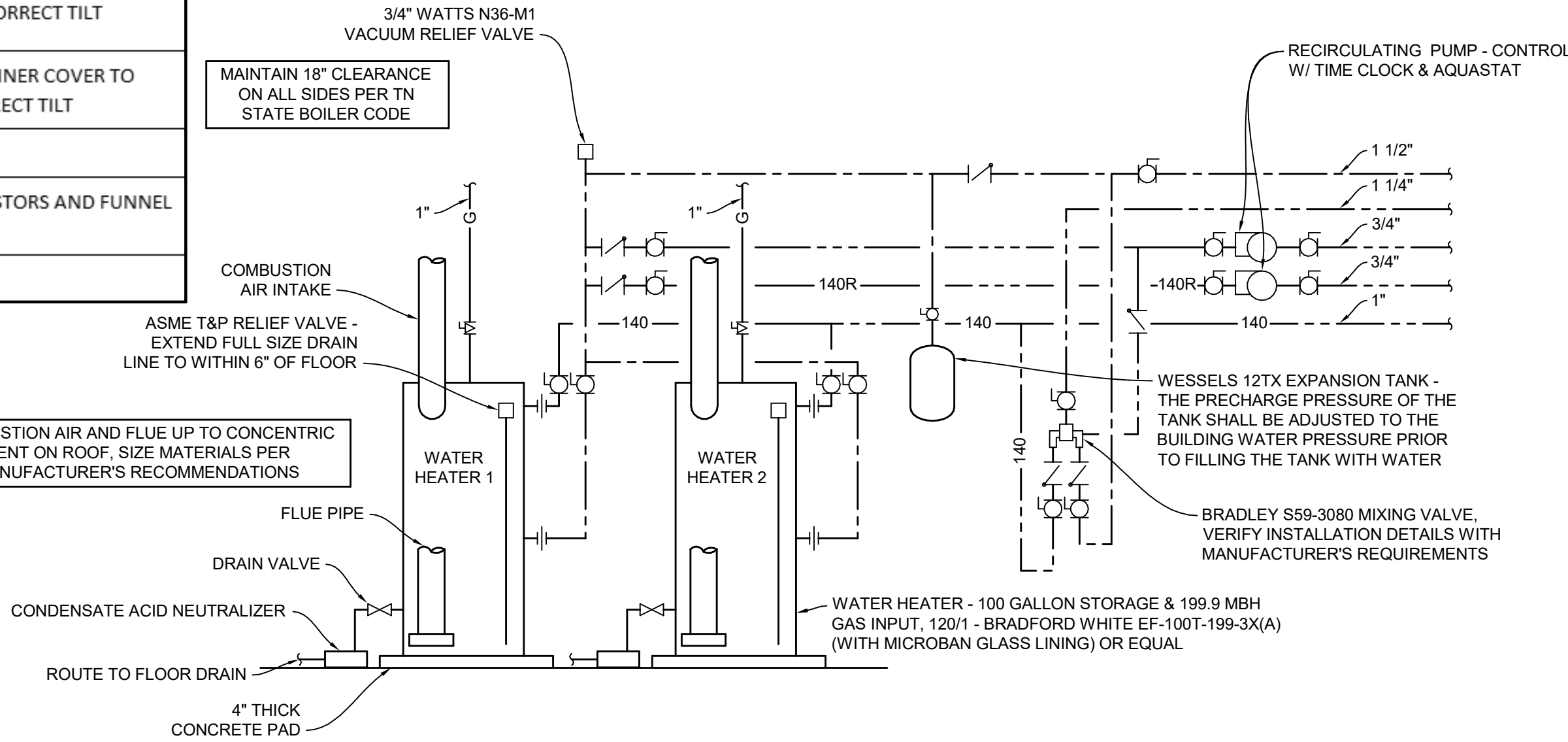


PLUMBING SPECIFICATIONS

- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL A COMPLETE PLUMBING SYSTEM AS INDICATED AND SPECIFIED ON THE DRAWINGS.
- WORK SHALL COMPLY WITH THE INTERNATIONAL PLUMBING CODE AND ALL APPLICABLE LAWS, ORDINANCES & CODES OF THE STATE OF TENNESSEE, LOCAL AUTHORITIES HAVING JURISDICTION AND WITH APPLICABLE RULES & REGULATIONS.
- OBTAIN ALL PERMITS & INSPECTIONS REQUIRED FOR THE COMPLETION OF THE WORK & PAY ALL FEES & COSTS IN CONNECTION THEREWITH.
- THE PLUMBING DRAWINGS ARE GENERALLY DIAGRAMMATIC AND UNLESS SPECIFICALLY DIMENSIONED, THE LOCATIONS OF FIXTURES AND EQUIPMENT AND THE ROUTING OF PIPING IS APPROXIMATE ONLY AND SHALL NOT BE SCALED FROM THE PLUMBING DRAWINGS.
- INSTALL ALL EQUIPMENT AND FIXTURES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- INTERIOR SOIL, WASTE, AND VENT PIPING SHALL BE SCHEDULE 40 PVC SOLID WALL-DWV ASSEMBLED WITH SOLVENT WELD JOINTS.
- THE TOP OF ANY BELOW SLAB PIPING SHALL BE NO LESS THAN 2" FROM THE BOTTOM OF THE SLAB.
- INSTALL CLEANOUTS IN ACCESSIBLE LOCATIONS AT BASE OF ALL SOIL AND WASTE STACKS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.
- THIS CONTRACTOR IS TO ARRANGE WITH THE LOCAL UTILITY COMPANY FOR INSTALLATION OF THE LP SERVICE, METER, REGULATOR, ETC. AND PAY ALL COSTS FOR PERMITS, FEES, INSTALLATION AND INSPECTIONS. LP SERVICE PRESSURE SHOWN ON DRAWINGS SHALL BE VERIFIED WITH UTILITY BEFORE STARTING WORK.
- INSTALLATION OF LP PIPING SHALL COMPLY WITH THE LOCAL UTILITY CO., INTERNATIONAL GAS CODE, NFPA AND ALL OTHER AGENCIES HAVING JURISDICTION. ABOVE GROUND PIPING SHALL BE SCHEDULE 40 BLACK STEEL ASSEMBLED WITH MALLEABLE IRON FITTINGS & GROUND JOINT UNIONS. LP PIPING AT EACH APPLIANCE SHALL HAVE DIRT LEG & AND AGA GAS COCK. PAINT ALL LP PIPING ON THE EXTERIOR AND INTERIOR OF THE BUILDING WITH TWO COATS OF CAUTION YELLOW PAINT.
- UNDERGROUND LP PIPING SHALL BE COATED TYPE AS APPROVED AND USED BY THE UTILITY AND SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18" BELOW FINISHED GRADE. AT THE CONTRACTOR'S OPTION, UNDERGROUND LP PIPING MAY BE PEXCO YELLOWPIPE, OR EQUAL POLYETHYLENE TYPE II, CLASS B, CATEGORY 5, GRADE P24 OR AS APPROVED BY THE LOCAL UTILITY.
- ABOVE GRADE DOMESTIC WATER PIPING SHALL BE HARD DRAWN COPPER, TYPE "L" PIPING ASSEMBLED WITH WROUGHT COPPER SOLDER FITTINGS. CONNECTIONS OF COPPER PIPE TO FERROUS PIPE SHALL BE MADE WITH DIELECTRIC UNIONS OR COUPLINGS.
- BELOW GRADE DOMESTIC WATER PIPING LOCATED INSIDE THE BUILDING SHALL BE SOFT DRAWN COPPER, TYPE "K", ASSEMBLED WITH WROUGHT COPPER SOLDER FITTINGS. THERE SHALL BE NO FITTINGS BELOW GRADE.
- DOMESTIC WATER PIPING MAY BE CROSSLINKED POLYETHYLENE PEXA AS MANUFACTURED BY REHAU. FITTINGS SHALL BE AS RECOMMENDED BY THE PEX MANUFACTURER. PIPE SIZES ARE BASED UPON COPPER. INCREASE SIZES AS RECOMMENDED BY THE MANUFACTURER. ALL STUB OUTS SHALL BE PEX TO COPPER WITH WALL MOUNTING PLATE OR BRACKET.
- ALL COLD WATER, HOT WATER AND HOT WATER RECIRCULATING LINES SHALL BE INSULATED WITH ARMAFLEX, OR EQUAL, WITH A FLAME SPREAD AND SMOKE DEVELOPED RATING NOT EXCEEDING 25 AND 50 RESPECTIVELY.
 - COLD WATER
1/2 TO 1 1/4" PIPE - 1/2" THICK INSULATION
1 1/2" TO 8" PIPE - 1" THICK INSULATION
 - HOT WATER & HOT WATER RECIRCULATING
1/2" TO 1 1/4" PIPE - 1" THICK INSULATION
1" TO 8" PIPE - 1 1/2" THICK INSULATION
- ALL COLD WATER PIPING IN OUTSIDE WALLS OR WALLS ADJACENT TO AN UNHEATED SPACE SHALL BE INSULATED AS SPECIFIED WITH A MINIMUM OF 1" THICKNESS.
- ALL COLD, HOT AND HOT WATER RECIRCULATING PIPING SHALL BE INSTALLED WITHIN THE INSULATION ENVELOPE UNLESS PROVIDED WITH HEAT TRACE.
- THE TAILPIECE, TRAP & WATER SUPPLIES FOR ALL HANDICAPPED LAVATORIES SHALL BE INSULATED WITH MOLDED ANTIMICROBIAL INSULATION KIT EQUAL TO TRUEBERG, INC. HAND-LAV GUARD. VERIFY COLOR WITH THE ARCHITECT.
- HOT WATER CIRCULATOR SHALL BE GRUNDFOS UPS 15-55 SFC. OR APPROVED SUBSTITUTE. STAINLESS STEEL HOUSING, CERAMIC AXIAL BEARINGS, STAINLESS STEEL ROTOR CAN AND BEARING PLATE AND CORROSION RESISTANT COMPOSITE IMPELLER CAPABLE OF CIRCULATING 8 GPM AT 10 FEET HEAD, FURNISHED WITH MANUAL STARTER AND STRAP-ON AQUASTAT.
- DUAL CHECK VALVES SHALL BE ZURN 700XL.
- WASHING MACHINE FITTING & "P" TRAP SHALL BE INSTALLED SUCH THAT THERE IS A MINIMUM DRAIN HEIGHT OF 30" AND A MAXIMUM DRAIN HEIGHT OF 48" WITH A MINIMUM 2" DRAIN DIAMETER.
- FIRE STOPPING SYSTEM SHALL BE PROVIDED AND INSTALLED THROUGH ALL FIRE RATED WALLS, CEILINGS, FLOORS, PARTITIONS OR CONSTRUCTION.
- SUBMIT TO THE ARCHITECT FOR APPROVAL, 10 DAYS AFTER RECEIPT OF NOTICE TO PROCEED WITH THE WORK, A COMPLETE LIST OF MATERIALS, EQUIPMENT AND ACCESSORIES PROPOSED FOR USE, INCLUDING COMPLETE DESCRIPTIONS AND SPECIFICATIONS OF ANY PROPOSED SUBSTITUTIONS, MANUFACTURER'S SHOP DRAWINGS, ROUGHING-IN DRAWINGS, AND ANY OTHER INFORMATION REQUIRED FOR THE PROPER INSTALLATION OF THE WORK. SUBMITTALS SHALL BE IN PDF FORMAT (NO PAPER COPIES).
- AFTER THE WATER SYSTEM HAS BEEN TESTED FOR LEAKS AND BEFORE THE SYSTEM HAS BEEN PLACED IN USE, INTRODUCE HTH SOLUTION, CHLORINE GAS, OR OTHER SIMILAR CHLORINATING AGENT IN SUFFICIENT QUANTITY TO PRODUCE A RESIDUAL OF 100 PPM THROUGHOUT THE ENTIRE SYSTEM AND ALLOW TO STAND THUS FILLED FOR 24 HOURS. AFTER THE 24 HOURS PERIOD, FLUSH CLEAN WATER THROUGHOUT THE PIPING SYSTEM UNTIL ALL NOTICEABLE TRACE OF CHLORINE GAS HAS DISAPPEARED. VERIFY PROCEDURES AND TESTING REQUIREMENTS WITH THE PUBLIC HEALTH AGENCY HAVING JURISDICTION.
- THE WORK SHALL BE GUARANTEED AGAINST ALL DEFECTIVE MATERIALS & WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE. THE CONTRACTOR SHALL MAKE ALL NECESSARY CORRECTIONS WITHOUT COST TO THE OWNER.

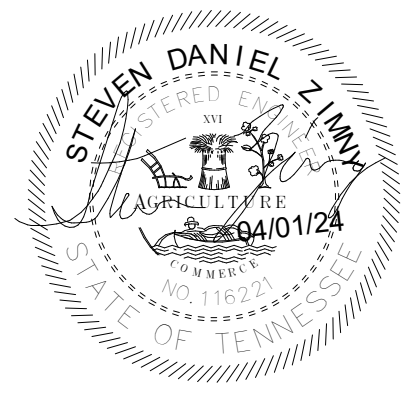


WATER SERVICE DETAIL N.T.S.



WATER HEATER PIPING DIAGRAM N.T.S.

DIA Design Innovation ARCHITECTS + INTERIORS + PLANNING



PRE-DESIGN / PROPOSAL HERITAGE PARK ADDITION 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	DESCRIPTION	DATE

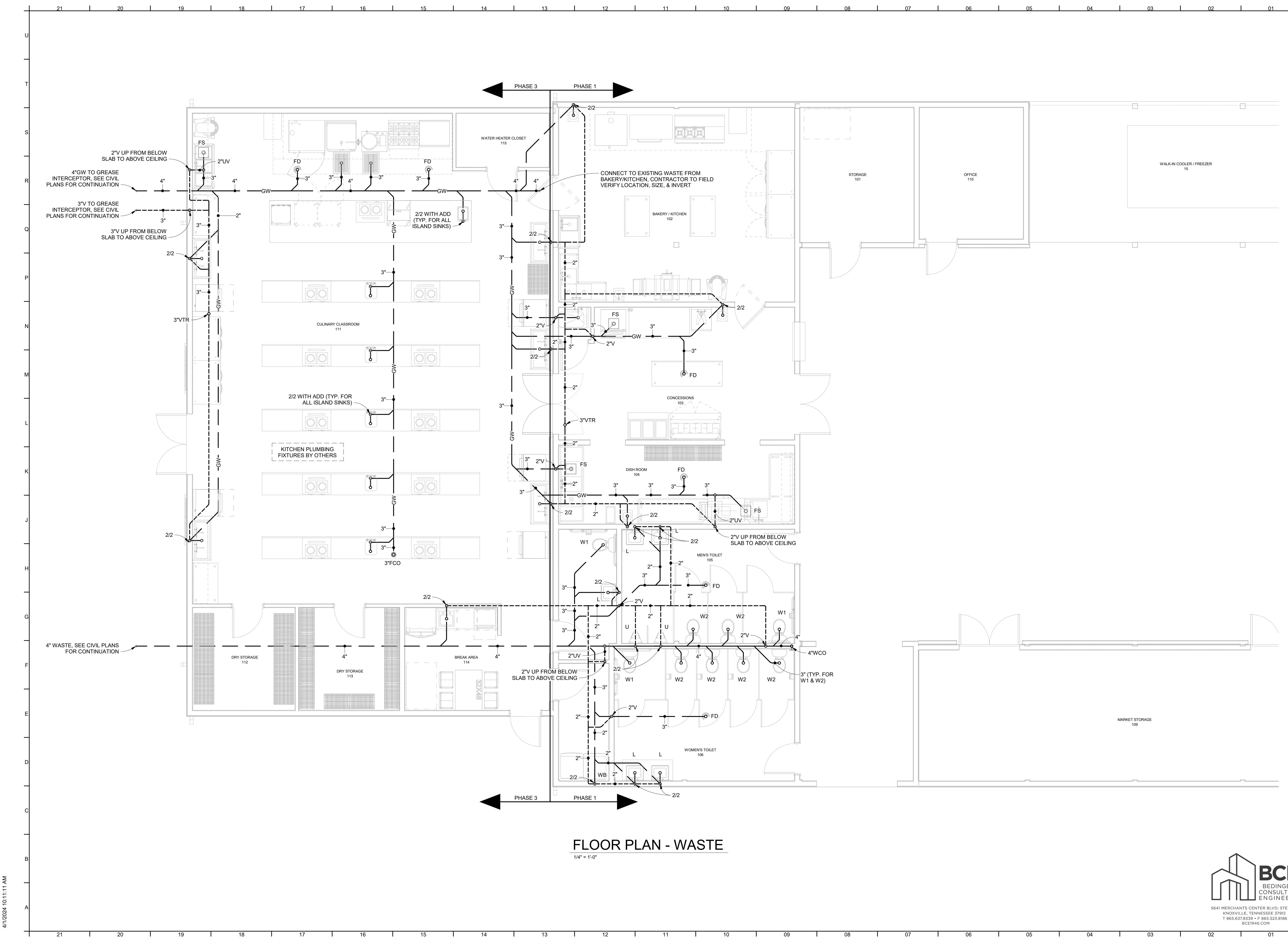
SHEET DESCRIPTION SCHEDULES & DETAILS

P001

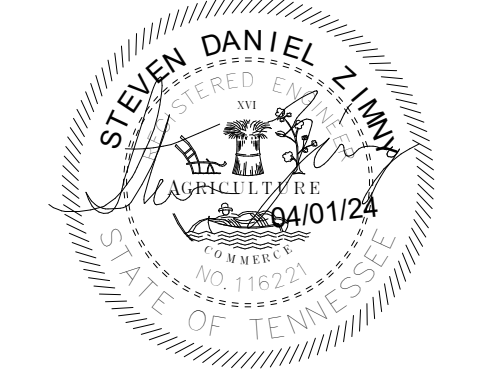
PROJECT DATE	PROJECT NUMBER
04/01/24	23071



C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



FLOOR PLAN - WASTE
1/4" = 1'-0"



NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
FLOOR PLAN - WASTE

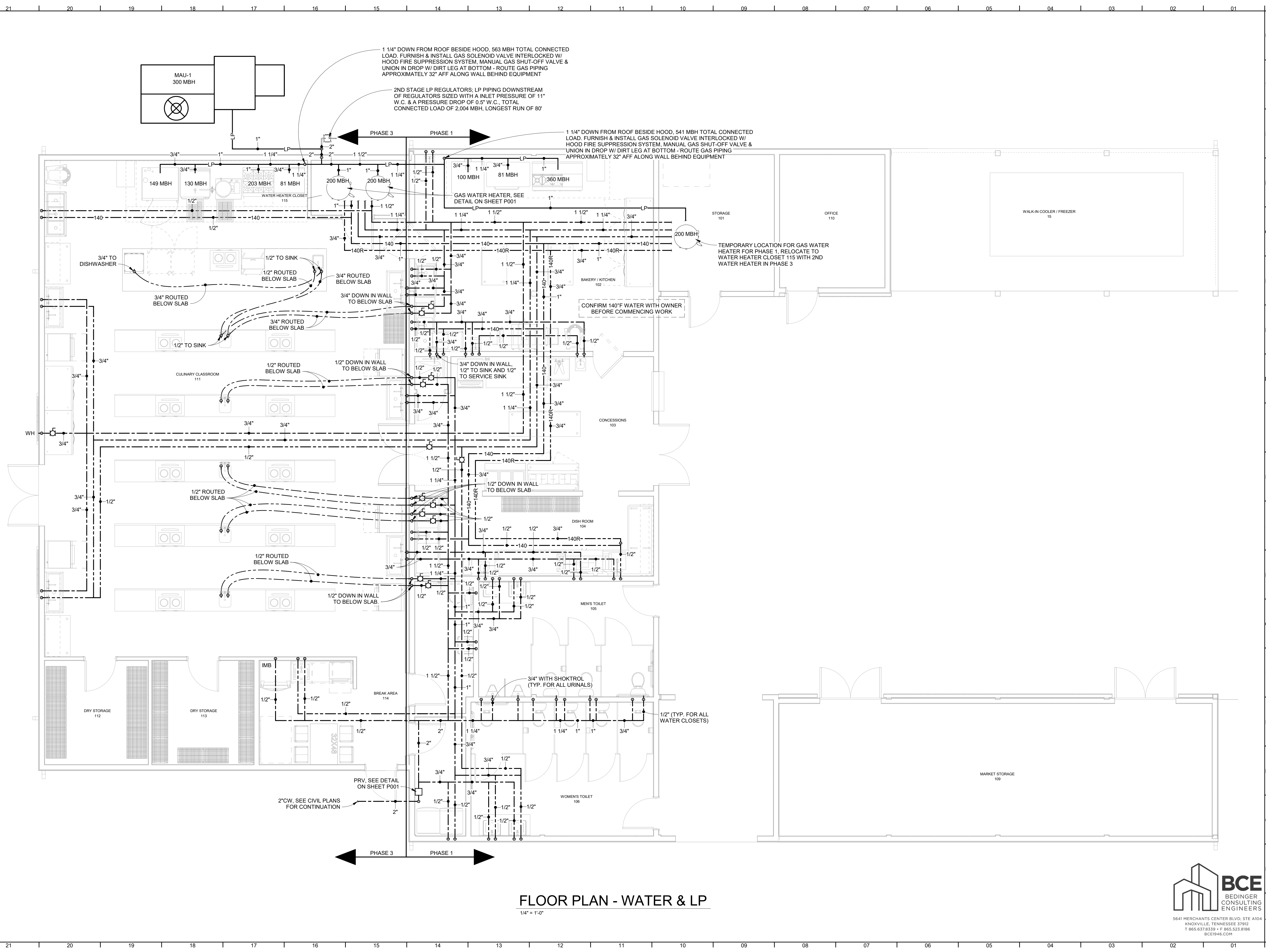
P101
PROJECT DATE: 04/01/24
PROJECT NUMBER: 23071

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



4/1/2024 10:11:11 AM

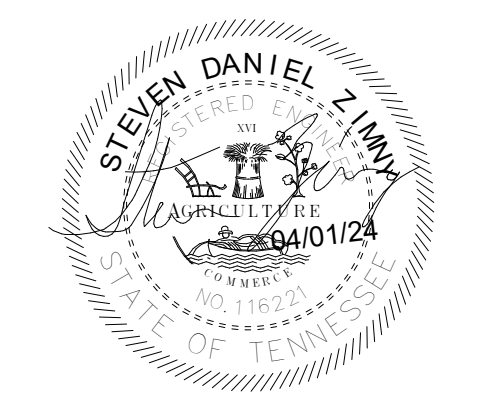
4/1/2024 10:11:13 AM



FLOOR PLAN - WATER & LP

1/4" = 1'-0"

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 | fx 865.544.3940
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DIMENSIONS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

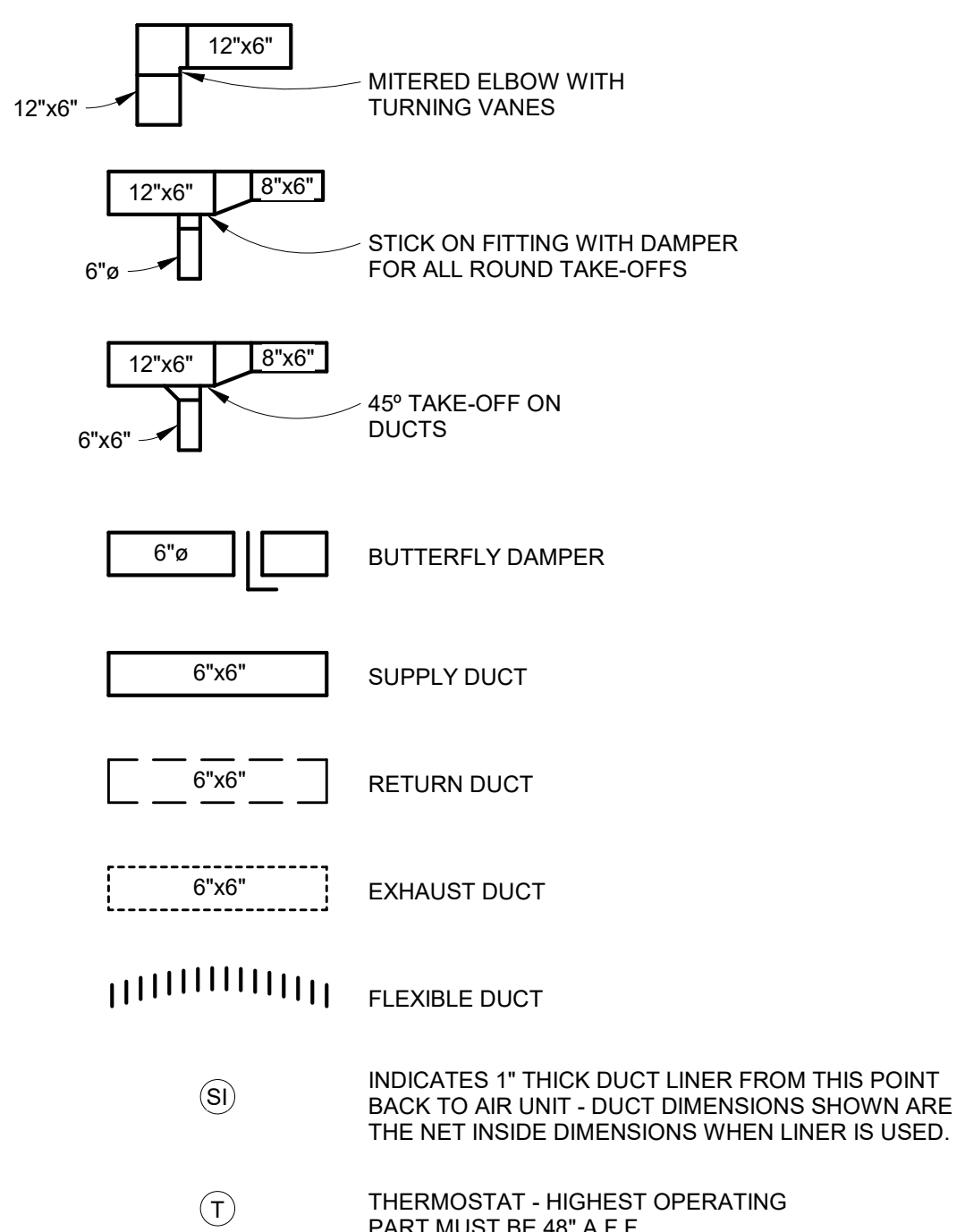
SHEET DESCRIPTION
FLOOR PLAN - WATER & LP

P102
PROJECT DATE: 04/01/24
PROJECT NUMBER: 23071

BCE
BEDINGER CONSULTING ENGINEERS
5641 MERCHANTS CENTER BLVD, STE A104
KNOXVILLE, TENNESSEE 37912
T 865.637.8339 • F 865.523.8186
BCE1946.COM

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP

DUCT LEGEND



HVAC SPECIFICATIONS

- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL A COMPLETE HEATING AND COOLING SYSTEM AS INDICATED AND SPECIFIED ON THE DRAWINGS.
- WORK SHALL COMPLY WITH IMC, NFPA, ALL APPLICABLE LAWS, ORDINANCES & CODES OF THE STATE OF TENNESSEE, LOCAL AUTHORITIES HAVING JURISDICTION AND WITH APPLICABLE RULES & REGULATIONS.
- OBTAIN ALL PERMITS & INSPECTIONS REQUIRED FOR THE COMPLETION OF THE WORK & PAY ALL FEES & COSTS IN CONNECTION THEREWITH.
- THE MECHANICAL DRAWINGS ARE GENERALLY DIAGRAMMATIC AND UNLESS SPECIFICALLY DIMENSIONED, THE LOCATIONS OF DUCTWORK AND EQUIPMENT AND THE ROUTING OF DUCTWORK IS APPROXIMATE ONLY AND SHALL NOT BE SCALED FROM THE MECHANICAL DRAWINGS.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- SUBMIT TO THE ARCHITECT FOR APPROVAL, 10 DAYS AFTER RECEIPT OF NOTICE TO PROCEED WITH THE WORK, A COMPLETE LIST OF MATERIALS, EQUIPMENT AND ACCESSORIES PROPOSED FOR USE, INCLUDING COMPLETE DESCRIPTIONS AND SPECIFICATIONS OF ANY PROPOSED SUBSTITUTIONS, MANUFACTURER'S SHOP DRAWINGS, ROUGHING-IN DRAWINGS, AND ANY OTHER INFORMATION REQUIRED FOR THE PROPER INSTALLATION OF THE WORK. SUBMITTALS SHALL BE IN PDF FORMAT (NO PAPER COPIES).
- ALL ABOVE GRADE DUCTWORK (EXCEPT WHERE NOTED) SHALL BE GALVANIZED STEEL FABRICATED ACCORDING TO SMACNA DETAILS. DUCTS SHALL BE SIZE INDICATED ON DRAWINGS (NET INSIDE DIMENSIONS), RIGIDLY BRACED, ADEQUATELY SUPPORTED & SECURELY FASTENED IN PLACE.
- FLEXIBLE DUCT FOR INSULATED SYSTEMS SHALL BE THERMAFLEX M-KF, OR EQUAL, PRE-INSULATED DUCT WITH A MINIMUM R-VALUE OF 6.0. FLEXIBLE DUCT FOR NON-INSULATED DUCT SYSTEMS SHALL BE THERMAFLEX S-LD, OR EQUAL. ALL FLEXIBLE DUCT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DUCT RUNS SHALL BE AS STRAIGHT AS POSSIBLE AND LIMITED TO MAXIMUM OF 5 FEET IN LENGTH.
- INSTALL SINGLE WALL TURNING VANES AT RIGHT ANGLES AND SMALL RADIUS TURNS IN DUCTS. MAKE REDUCTIONS IN DUCT SIZE WITH TAPERED TRANSITION PIECES. TRANSITIONS FOR CONNECTIONS TO EQUIPMENT SHALL BE DESIGNED TO SUIT CONDITIONS AND SO THAT AIR FLOW IS NOT RESTRICTED.
- IN ALL CASES, AIR VOLUMES SHALL BE ADJUSTED BY MEANS OF MANUAL DAMPERS IN THE DUCTWORK, NOT BY INTEGRAL DAMPERS IN THE TERMINAL OUTLETS OR INLETS. DUCT DAMPER POSITIONS SHALL BE MARKED WITH PERMANENT INK MARKERS OR BLACK SPRAY PAINT AFTER THE FINAL SETTING HAS BEEN MADE.
- DUCTWORK FOR RANGE HOOD EXHAUST SYSTEM SHALL BE CONSTRUCTED OF NOT LESS THAN 18 GAUGE STAINLESS STEEL OR 16 GAUGE BLACK STEEL. ALL SEAMS AND JOINTS SHALL BE CONTINUOUSLY WELDED AND BE LIQUID-TIGHT. THE EXHAUST DUCTWORK FOR THE HOOD SHALL NOT BE INTERCONNECTED WITH ANY OTHER VENTILATION SYSTEM. WHERE DUCTWORK PASSES THROUGH WALLS, CEILINGS, OR PARTITIONS, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT COMBUSTION OF BUILDING MATERIALS AS PER NFPA 96. AN OPENING SHALL BE PROVIDED AT EACH CHANGE OF DIRECTION AND EVERY SIX FEET IN HORIZONTAL DUCTWORK TO FACILITATE CLEANING. THE OPENING SHALL BE CAPABLE OF BEING SEALED AND NOT AFFECT THE INTEGRITY OF THE DUCT SYSTEM. ALL SECTIONS OF THE DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED WITHOUT FORMING DIPS AND TRAPS AND MUST SLOPE NOT LESS THAN 1/4" PER FOOT TOWARD EITHER THE HOOD OR APPROVED RESIDUE TRAP. DUCTS CANNOT PASS THROUGH FIRE PARTITIONS HAVING A FIRE RESISTANCE RATING GREATER THAN TWO HOURS. THE DUCTWORK SHALL LEAD, AS DIRECTLY AS POSSIBLE, TO THE EXTERIOR OF THE BUILDING. WHERE A DUCT CLEARANCE OF NOT LESS THAN 18" FROM COMBUSTIBLE CONSTRUCTION CANNOT BE MET, THE DUCT SHALL BE INSULATED WITH FRYEWRAP MAX 2.0 OR EQUAL FIRE RESISTANT DUCT WRAP. THE WRAP SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO ACHIEVE UP TO A 2 HOUR RATING. THE WRAP SHALL START FROM THE POINT AT WHICH THE DUCT ORIGINATES TO THE OUTLET TERMINAL.
- HOOD SHALL BE INSTALLED AGAINST NON-COMBUSTIBLE MATERIAL APPROVED BY AHJ. HOOD SHALL NOT BE SCREWED INTO WOOD STUDS. FURRING CHANNEL OR OTHER MEANS SHALL BE USED IF WOOD STUDS ARE IN WALL. VERIFY WITH ARCHITECT.
- INSULATE ALL SHEET METAL SUPPLY AIR AND OUTSIDE AIR DUCTWORK WITH 2.2" THICK OWENS-CORNING ASW DUCTWRAP. THOROUGHLY TAPE ALL JOINTS AND SEAMS.
- LINE ALL DUCTWORK (IN ADDITION TO DUCTWRAP) WITH 1" THICK OWENS-CORNING FIBERGLASS DUCT LINER WHERE INDICATED ON THE DRAWINGS. **DO NOT LINE ANY DUCTWORK LOCATED ON THE EXTERIOR OF THE BUILDING.**
- INSULATE ALL SUPPLY AND RETURN AIR DUCTWORK LOCATED OUTSIDE THE BUILDING WITH 2" THICK POLYISOCYANURATE FOIL FACED BOARD RMAX THERMASHEATH-3 (INSTALLED R-VALUE 13.1) COVERED WITH ALUMAGUARD WEATHER BARRIER MEMBRANE. INSTALLED IN STRICT ACCORDANCE WITH THE INSTRUCTIONS OF THE MANUFACTURER AND SHALL BE WATERTIGHT.
- ROUND MOTORIZED DUCT DAMPERS SHALL BE GREENHECK MODEL VCDRM-53, OR EQUAL, WITH A LEAKAGE RATE NOT GREATER THAN 4.0 CFM PER FT2 AT 1.0 INCHES WG.
- LOUVERS SHALL BE GREENHECK MODEL ESD-403 HIGH PERFORMANCE, DRAINABLE BLADE, STATIONARY, EXTRUDED ALUMINUM LOUVER. LOUVERS SHALL HAVE A 4" DEEP EXTRUDED ALUMINUM FRAME AND DRAINABLE BLADES POSITIONED AT 37 DEGREE AND 45 DEGREE ANGLES ON 4" CENTERS. LOUVERS SHALL BEAR THE AMCA CERTIFIED RATINGS SEAL FOR BOTH AIR PERFORMANCE AND WATER PENETRATION. EXPANDED ALUMINUM BIRD SCREEN IN REMOVABLE FRAME SHALL BE INSTALLED ON THE INSIDE OF ALL LOUVERS. LOUVERS SHALL HAVE A KYMAR FINISH WITH COLOR AS SELECTED BY THE ARCHITECT.
- VISIBLE INTERIOR PORTIONS OF DUCTS AT GRILLES AND REGISTERS SHALL BE GIVEN A COAT OF FLAT BLACK PAINT BEFORE GRILLES AND REGISTERS ARE INSTALLED.
- EXHAUST FANS SHALL BE GREENHECK, LOREN COOK, PENNBARRY OR APPROVED SUBSTITUTE, AND BE AS SCHEDULED ON THE DRAWINGS AND HAVE THE ACCESSORIES AS NOTED ON THE DRAWINGS. FAN MOTORS SHALL HAVE BUILT-IN THERMAL OVERLOAD PROTECTION. THE UNITS SHALL BE FURNISHED WITH UNIT MOUNTED SAFETY DISCONNECT. THE UNITS SHALL BE UL LISTED AND BEAR THE AMCA CERTIFIED RATINGS SEAL FOR SOUND AND AIR PERFORMANCE. VERIFY VOLTAGE BEFORE ORDERING EQUIPMENT.
- THE MANUFACTURER'S AUTHORIZED AGENT OF EQUIPMENT INSTALLED ON THE JOB SHALL VERIFY THE REFRIGERATION PIPING SIZES, DETAILS AND ARRANGEMENTS FOR ADEQUACY. THE REFRIGERATION PIPING SHALL BE COPPER WITH HIGH TEMPERATURE SOLDER JOINTS.
- PER THE IECC, REFRIGERANT SUCTION PIPING LESS THAN 1" NOMINAL DIAMETER SHALL BE INSULATED WITH NO LESS THAN 0.75" THICK ARMSTRONG ARMAFLEX II INSULATION. THICKNESS OF ALL OTHER SUCTION PIPING INSULATION SHALL BE NO LESS THAN 1".
- PER THE IECC, FOR HEAT PUMPS, REFRIGERANT LIQUID PIPING LESS THAN 1.5" NOMINAL DIAMETER SHALL BE INSULATED WITH NO LESS THAN 1.0" THICK ARMSTRONG ARMAFLEX II INSULATION. INSULATION THICKNESS FOR ALL OTHER REFRIGERANT LIQUID PIPING FOR HEAT PUMPS SHALL BE NO LESS THAN 1.5".
- ALL REFRIGERANT LINE INSULATION LOCATED OUTSIDE OF THE BUILDING SHALL BE PAINTED WITH TWO COATS OF LATEX SEMI-GLOSS PAINT OR OTHER MEANS BE PROVIDED TO PROTECT INSULATION FROM ULTRAVIOLET DEGRADATION.
- ANY CUTS OR PENETRATIONS THROUGH THE EXISTING ROOF SHALL BE REPAIRED AND MADE WATERTIGHT IN A MANNER TO MAINTAIN THE EXISTING ROOF WARRANTY.
- WHEN THE INSTALLATION IS COMPLETE, IT SHALL BE RUN & ADJUSTED BY THE CONTRACTOR. ANY EXCESSIVE NOISE OR VIBRATION SHALL BE CORRECTED.
- SUBMIT WRITTEN AIR BALANCE REPORT TO THE ARCHITECT A MINIMUM OF 10 DAYS PRIOR TO THE FINAL INSPECTION. THE AIR BALANCE CONTRACTOR SHALL BE AABC OR NEBB CERTIFIED.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE OPERATION OF EQUIPMENT & PROVIDE THE OWNER WITH A COMPLETE SET OF OPERATING INSTRUCTIONS FOR EQUIPMENT INSTALLED UNDER HIS CONTRACT.
- THE WORK SHALL BE GUARANTEED AGAINST ALL DEFECTIVE MATERIALS & EQUIPMENT FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE. THE CONTRACTOR SHALL MAKE ALL NECESSARY CORRECTIONS WITHOUT COST TO THE OWNER.

HEAT PUMP INDOOR UNIT (IU) SCHEDULE

MARK	CFM	OA CFM	APPROX. EXT. STATIC PRESSURE (INCHES W.G.)	MIN. MOTOR HP	COOLING CAPACITY		HEATING CAPACITY @ 47"(MBH)	ELECTRIC HEAT		STAGE 1		VOLTS/ PHASE	WEIGHT (LBS)	TRANE MODEL
					SENSIBLE (MBH)	TOTAL (MBH)		KW	STEPS	MCA	MOCPP			
(2)-(4)-(5)	1600	200	0.50	3/4	35.1	47.8	43.0	10.8	1	44.0	45	208/3	175	TEMA40C49M41
(3)-(6)	1600	200	0.50	3/4	35.1	47.8	43.0	7.2	1	32.0	35	208/3	175	TEMA40C49M41

- NOTES:**
- PROVIDE STAINLESS STEEL DRAIN PAN WITH FLOAT SWITCH; ROUTE 3/4" CONDENSATE TO SERVICE SINK AND SPILL
 - COOLING RATINGS FOR 95°F AMBIENT; 67°F WB & 80°F DB E.A.T. HEATING RATINGS FOR 70°F E.A.T.
 - FURNISH UNITS WITH WALL-MOUNTED 7-DAY PROGRAMMABLE THERMOSTAT (INCLUDE HUMIDITY SENSOR FOR 3 & 6)
 - FURNISH UNITS WITH SINGLE POINT POWER CONNECTION FOR FAN MOTOR & STAGE 1 OF ELECTRIC AUX. HEAT
 - PROVIDE MOTORIZED OA DAMPER (120"); DAMPER SHALL CLOSE DURING "UNOCCUPIED" HOURS
 - PROVIDE RELAY TO USE ELECTRIC AUX. HEAT FOR REHEAT DURING DE-HUMIDIFICATION MODE (UNITS 3 & 6)

HEAT PUMP OUTDOOR UNIT (OU) SCHEDULE

MARK	MCA	MOCPP	VOLTS/PHASE	SEER/HSPF	WEIGHT (LBS)	TRANE MODEL
(2)-(6)	18.0	30.0	208/3	14.5/8.5	220	4TWA4048A3

- NOTES:**
- VERIFY VOLTAGE BEFORE ORDERING EQUIPMENT
 - FURNISH & INSTALL UNITS WITH LOW AMBIENT COOLING TO 0°F, FILTER DRIER, & SERVICE VALVE PANEL COVER

EXHAUST FAN (EF) SCHEDULE

MARK	CFM	EXT. STATIC (INCHES W.G.)	HP (WATTS)	RPM	MAX SONES	WEIGHT (LBS)	VOLTS/ PHASE	TYPE	GREENHECK MODEL
(1)	550	0.35	1/8	860	3.1	60	115/1	IN-LINE	SQ-120
(2)	350	0.45	1/15	1403	6.4	35	115/1	ROOF	CUE-090-D

- NOTES:**
- VERIFY VOLTAGE BEFORE ORDERING EQUIPMENT
 - EXHAUST FANS SHALL BE FURNISHED WITH BACKDRAFT DAMPER, SPEED CONTROLLER, & DISCONNECT
 - INTERLOCK EF-1 TO RUN WHEN IU-2 IS IN "OCCUPIED" MODE.
 - INTERLOCK EF-2 TO RUN WITH DISHWASHER

ELECTRIC UNIT HEATER (EUH) SCHEDULE

MARK	CFM	KW	VOLTS/ PHASE	MARKEL MODEL	WEIGHT (LBS)
1	400	2.5	208/1	5100 SERIES	25
2	700	7.5	208/3	5100 SERIES	55

- NOTES:**
- PROVIDE DISCONNECT, WALL-MOUNTING KIT, & WALL-MOUNTED THERMOSTAT CONTROL

ELECTRIC WALL HEATER (EWH) SCHEDULE

MARK	KW	VOLTS/ PHASE	MARKEL MODEL
1	1.5	208/1	3320 SERIES
2	1.5	208/1	3320 SERIES

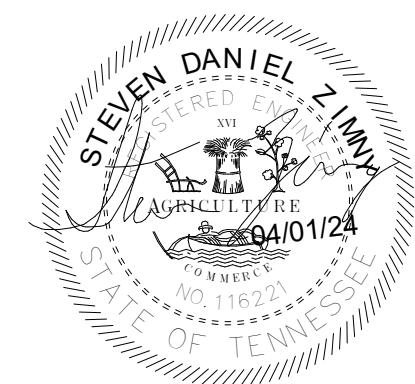
- NOTES:**
- PROVIDE DISCONNECT, WALL-MOUNTING KIT, & WALL-MOUNTED THERMOSTAT CONTROL

GRILLES AND CEILING OUTLET SPECIFICATIONS

- GRILLES AND CEILING OUTLETS SHALL BE PRICE, OR EQUAL, STEEL CONSTRUCTION WITH ELECTRO-DEPOSITION PAINTED FINISH, SIZE SHOWN ON THE DRAWINGS AND SCHEDULED AS FOLLOWS.
- CDS CEILING DIFFUSER, PRICE MODEL SMD-1 SQUARE NECK, LOUVERED FACE DIFFUSER, SURFACE MOUNTED TYPE, 4-WAY BLOW WITH RECTANGULAR OPPOSED BLADE DAMPER. FURNISH WITH SQUARE-TO-ROUND ADAPTER WHERE ROUND DUCT IS INDICATED ON DRAWINGS AND PLASTER FRAME.
 - CD CEILING DIFFUSER, PRICE MODEL SMD-3P SQUARE NECK, LOUVERED FACE DIFFUSER, LAY-IN TYPE, 4-WAY BLOW WITH RECTANGULAR OPPOSED BLADE DAMPER. FURNISH WITH SQUARE-TO-ROUND ADAPTER WHERE ROUND DUCT IS INDICATED ON DRAWINGS.
 - CRS CEILING RETURN, PRICE MODEL 80D-F EGG CRATE RETURN GRILLE, SURFACE MOUNTED TYPE, 1/2" CUBES WITH OPPOSED BLADE DAMPER. FURNISH WITH SQUARE-TO-ROUND ADAPTER WHERE ROUND DUCT IS INDICATED ON DRAWINGS.
 - CR CEILING RETURN, PRICE MODEL 80D-TB EGG CRATE RETURN GRILLE, LAY-IN TYPE, 1/2" CUBES WITH OPPOSED BLADE DAMPER. FURNISH WITH SQUARE-TO-ROUND ADAPTER WHERE ROUND DUCT IS INDICATED ON DRAWINGS.
 - CEB CEILING EXHAUST, PRICE MODEL 80D-F EGG CRATE EXHAUST GRILLE, SURFACE MOUNTED TYPE, 1/2" CUBES WITH OPPOSED BLADE DAMPER. FURNISH WITH SQUARE-TO-ROUND ADAPTER WHERE ROUND DUCT IS INDICATED ON DRAWINGS.

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 | fx 865.544.3940
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SCHEDULES & SPECIFICATIONS

M001

PROJECT DATE	PROJECT NUMBER
04/01/24	23071

BCE
BEDINGER CONSULTING ENGINEERS

5641 MERCHANTS CENTER BLVD, STE A104
KNOXVILLE, TENNESSEE 37912
T 865.637.8339 • F 865.523.8186
BCE1946.COM

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP

HOOD INFORMATION																	
HOOD NO.	MARK	MODEL	HOOD DIMENSIONS (IN.)			HOOD CONSTR.	COOKING LOAD / DUTY RATING	TOTAL CFM	EXHAUST COLLAR(S)				SUPPLY		HANGING WEIGHT LBS.	SECTION LOCATION	
			LENGTH	WIDTH	HEIGHT				WIDTH	LENGTH	DIA.	CFM	S.P.	MUA CFM			AC CFM
1	HD-1 (#5)	XBEW-100-S	100	54	24	430 SS WHERE EXPOSED	HEAVY	1792	10	17		1792	0.394	1583		542	LEFT
2	HD-1 (#5)	XBEW-100-S	100	54	24	430 SS WHERE EXPOSED	HEAVY	1792	10	17		1792	0.394	1428		313	RIGHT

HOOD INFORMATION														
HOOD NO.	MARK	LIGHTING DETAILS			GREASE FILTRATION DETAILS			UTILITY CABINET(S)				CONTROLS		
		FIXTURE TYPE	BULB / LAMP INFO	QTY	FOOT CANDLES	TYPE / MODEL MATERIAL	QTY	SIZE (IN.)	LOCATION	FIRE SYSTEM TYPE	SIZE		MODEL	INTERFACE
1	HD-1 (#5)	INCANDESCENT (GLOBE)	100W A19 (BULBS NOT INCL.)	5	48.51	BAFFLE STAINLESS STEEL	5	16	20	LEFT	ANSUL R102	6	XKC	TOUCHSCREEN
2	HD-1 (#5)	INCANDESCENT (GLOBE)	100W A19 (BULBS NOT INCL.)	5	48.51	BAFFLE STAINLESS STEEL	5	16	20					

SUPPLY PLENUM INFORMATION																		
HOOD NO.	MARK	POS.	TYPE	SIZE (IN.)		INSULATED	DAMPER(S)	LED LIGHT(S) SUPPLIED	QTY	TOTAL CFM	TOTAL S.P.	COLLARS						
				L	W							H	S.P.	TYPE	MOUNTING	QTY	W	L
1	HD-1 (#5)	FRONT	ASP	112	18	4	NO	YES	NO	1583	0.01	MUA	FACTORY	2	16	30	792	238
2	HD-1 (#5)	FRONT	ASP	101	18	4	NO	YES	NO	1428	0.01	MUA	FACTORY	2	16	30	714	214

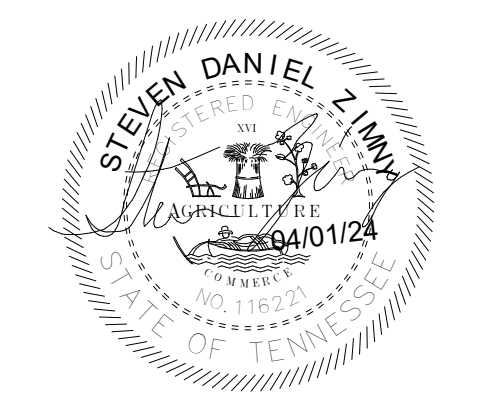
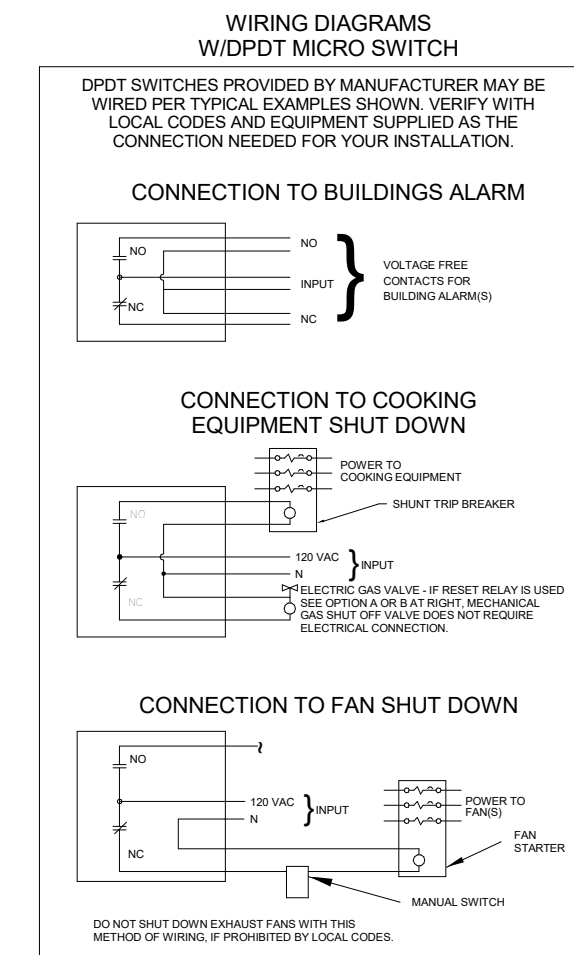
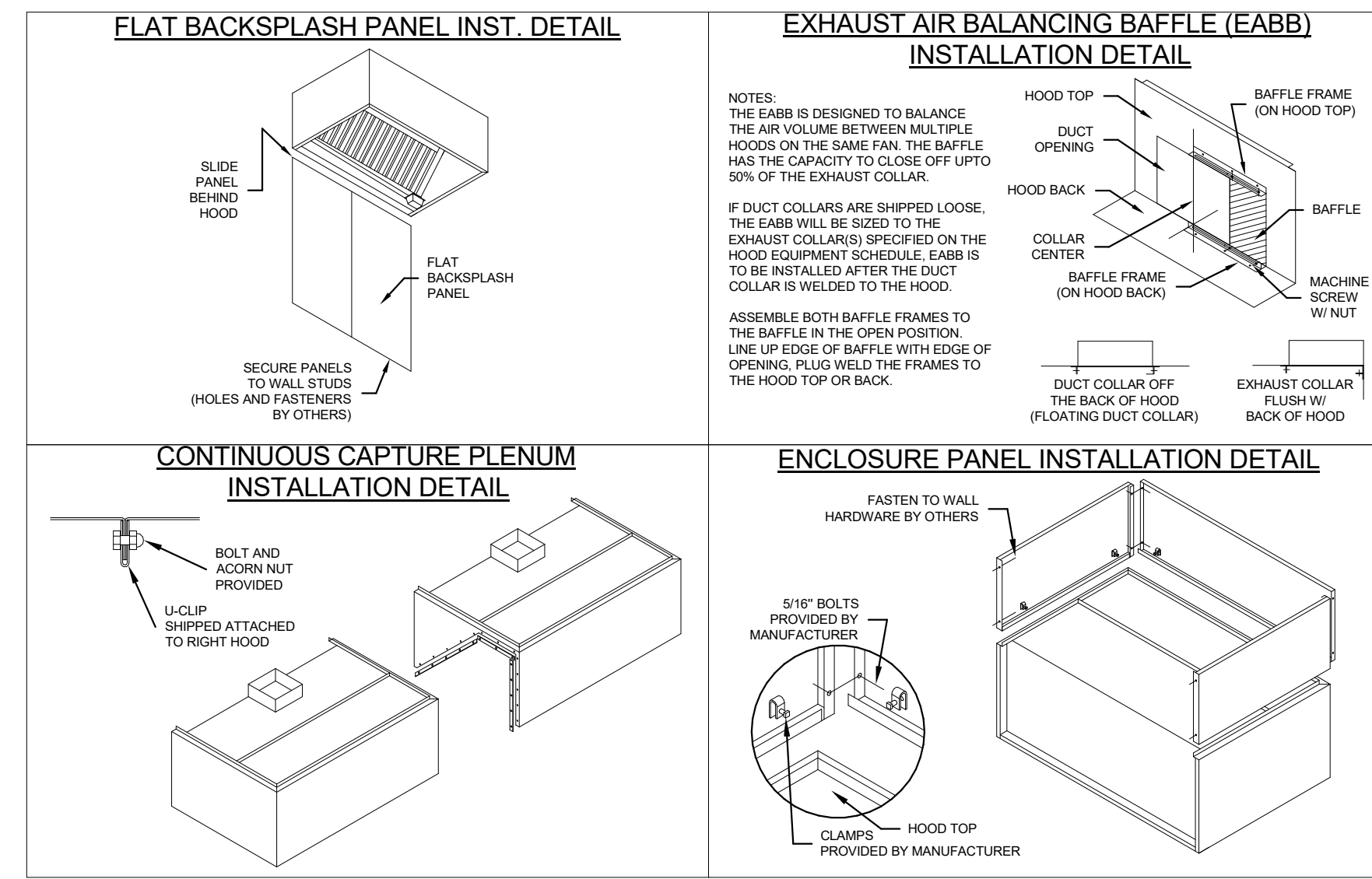
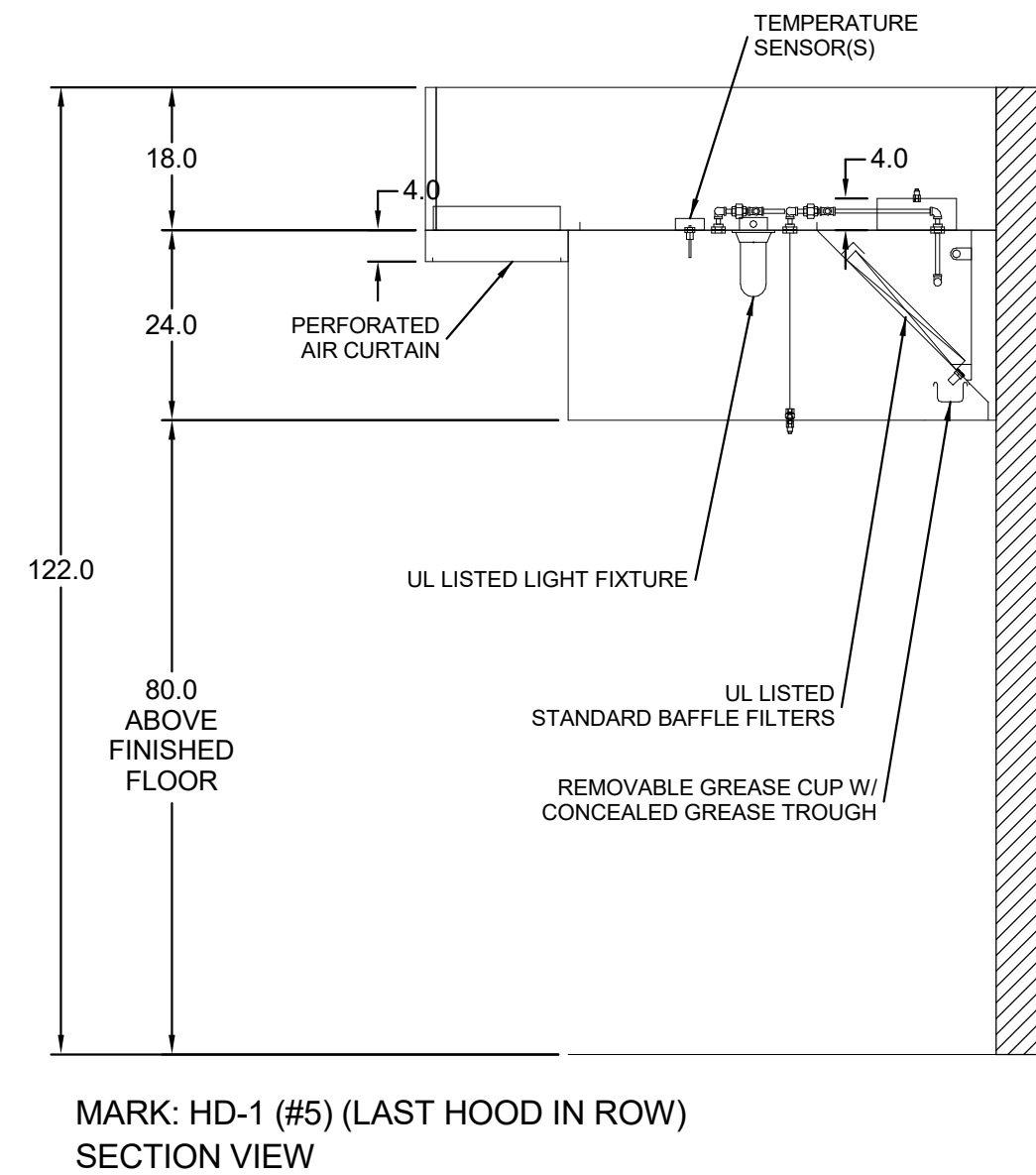
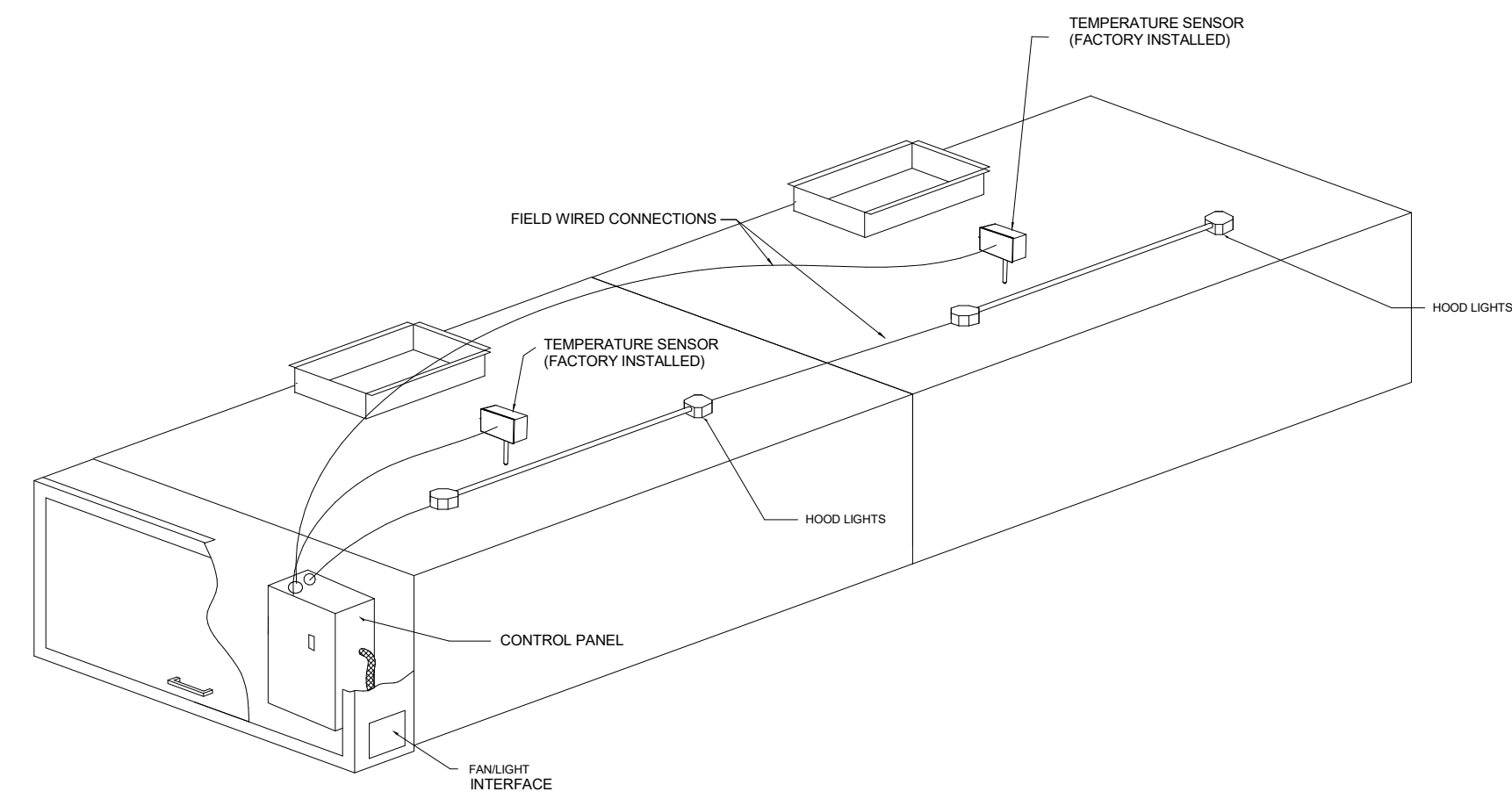
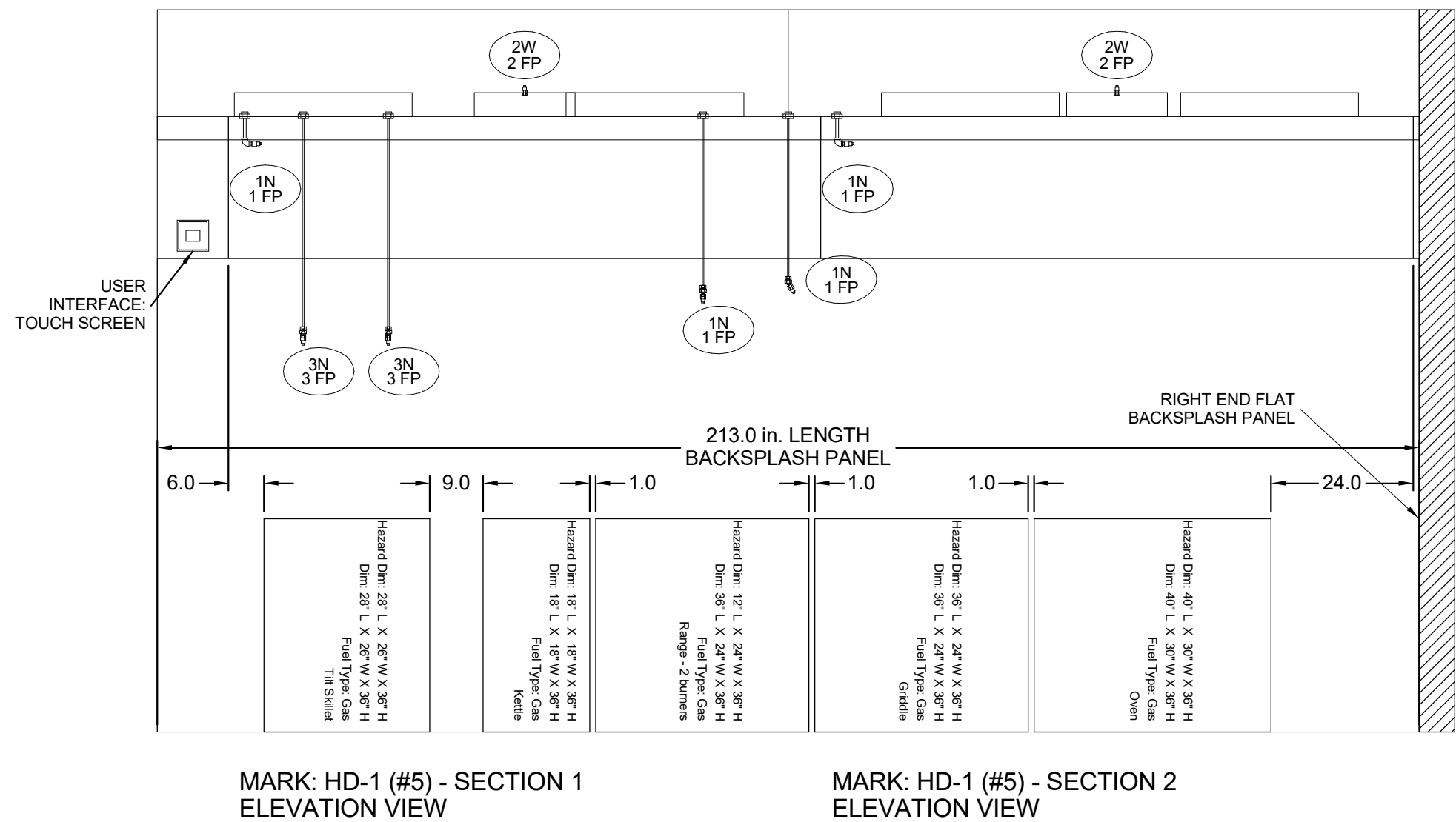
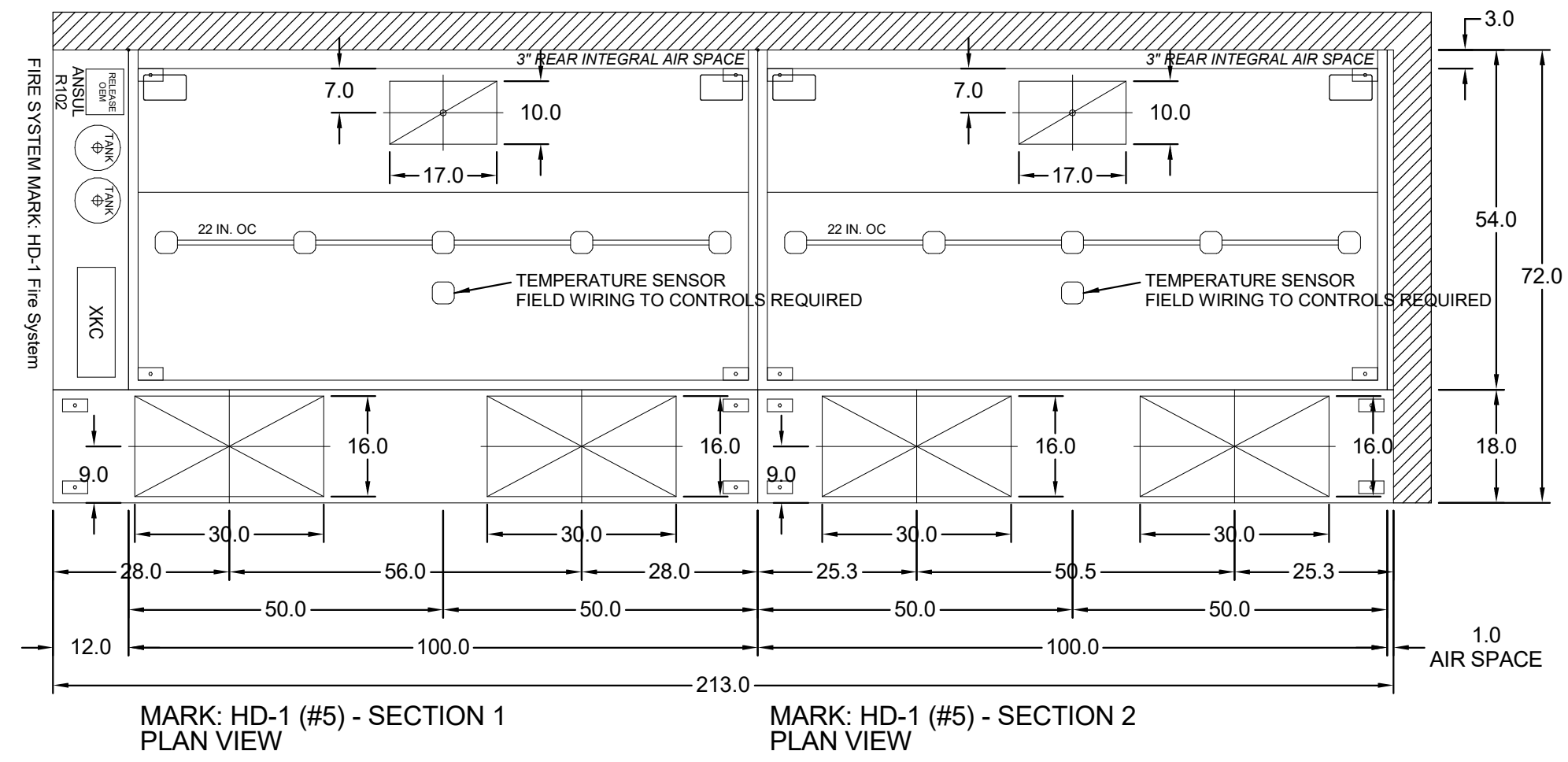
HOOD OPTIONS

- UL 710 LISTED W/ OUT EXHAUST FIRE DAMPER - UL #R25625
- BACK INTEGRAL AIR SPACE - 3 IN WIDE
- RIGHT NON-INTEGRAL AIR SPACE - 1 IN THICK - ZERO CLEARANCE
- 18 IN HIGH CEILING ENCLOSURES - FRONT LEFT RIGHT - FIELD INSTALLED
- CONTINUOUS CAPTURE
- FACTORY MOUNTED EXHAUST COLLAR(S)
- EXHAUST AIR BALANCING BAFFLE(S) - (EABB)
- BACKSPLASH 80.00 IN HIGH 213.00 IN LONG
- RIGHT SIDESPLASH 80.00 IN HIGH 54.00 IN LONG
- PERFORMANCE ENHANCING LIP (PEL) TECHNOLOGY
- STANDING SEAM CONSTRUCTION FOR SUPERIOR STRENGTH

CONTROL INFORMATION			ELECTRICAL CONTROL PACKAGE			USER INTERFACE			FANS CONTROLLED									
MARK	MODEL	LOCATION	TYPE	LOCATION	FAN #	TYPE	FAN	FAN MARK	ZONE	CFM	MOTOR HP	MOTOR VOLT	CYCLE	MOTOR PHASE	MOTOR STARTER IN PANEL	VFD IN PANEL		
																	MARK	MODEL
HD-1 CONTROLS	XKC-DCV-S-11-2-1-0	RIGHT CABINET ON HD-1 (#5)	FULL COLOR TOUCHSCREEN	CABINET - RIGHT CABINET ON HD-1 (#5)	1	EXHAUST	E1	KEF-1 (#5)	1	3440	2	208	53	3	NO	YES		
					2	SUPPLY	S1	DMUA-1	1	4000	5	208	60	3	NO	NO		

CONTROL FEATURES

- HOOD LIGHT CONTROL
- TEMP SENSORS (FACTORY INSTALLED) - QTY. 2
- DRY FIRE CONTACTS - QTY. 2
- LIGHTS OFF DURING FIRE
- EXHAUST MAX DURING FIRE
- SUPPLY OFF DURING FIRE



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	DESCRIPTION	DATE

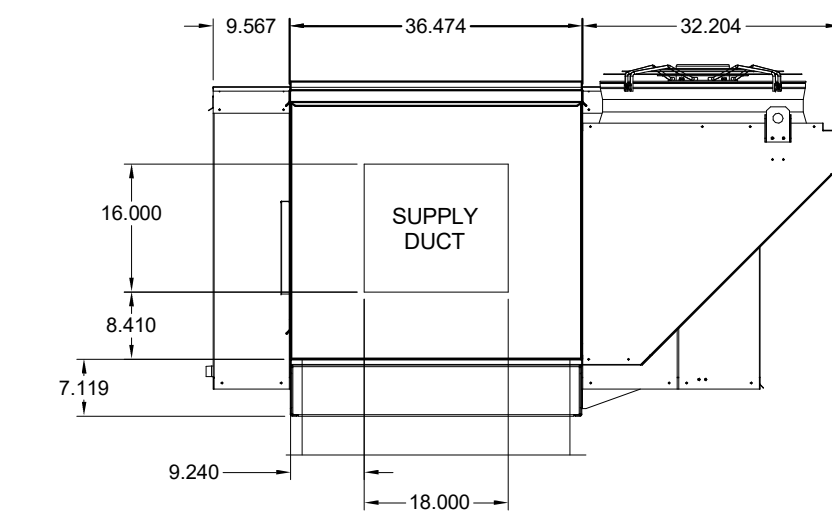
SHEET DESCRIPTION
KITCHEN HOOD EQUIPMENT

M002
 PROJECT DATE: 04/01/24
 PROJECT NUMBER: 23071

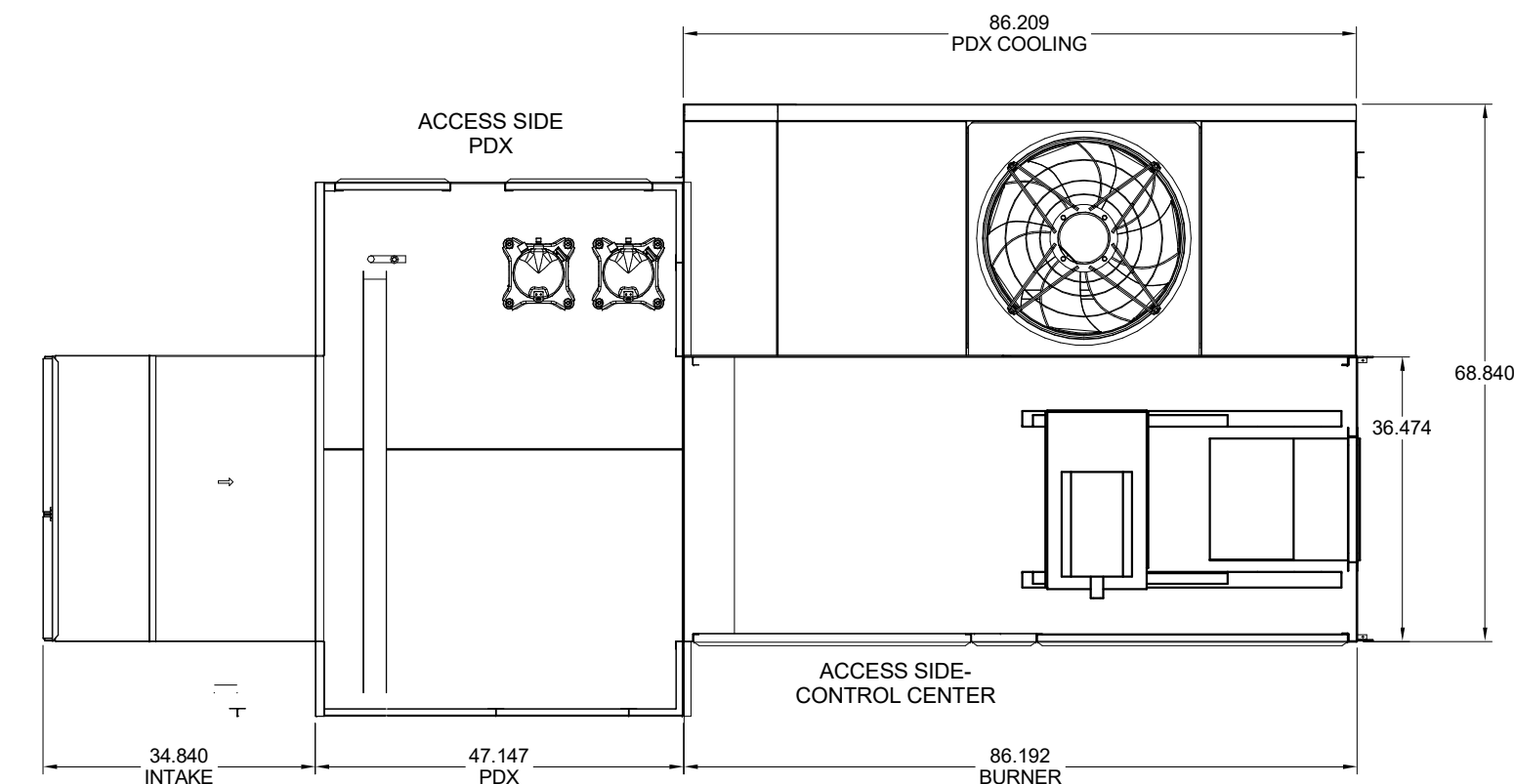


EQUIPMENT SCHEDULE										OPTIONS AND ACCESSORIES			
Tempered Make-Up Air Unit										Mark: DMUA-1			
Qty	Accurex Model	Volume	External SP	Total SP	MCA	MOP	Weight	SCCR					
1	XDG-112-H20-10	4,000 CFM	0.76 in. wg	1.864 in. wg	64.9	80	1,696 lb	5kA					
Motor Information													
Size		V/C/P	Enclosure		Motor with Shaft Grounding		Motor RPM	Operating Power					
5 hp		208/60/3	ODP		No		1725	2.74 hp					
Heating													
Type	Gas Type	Temperature			Energy			Connection Gas (IN)	Building Gas Pressure	Control Access	Gas Pressure		
		Winter DB	Max Δ	Max LAT	Input	Output	Efficiency				Min	Max	
Direct Gas	Natural	15.0 F	60.0 F	75.0 F	281.7 MBH	259.2 MBH	92%	3/4"	1/2 PSI	Right Hand	9 in. wg	0.5 PSI	
Cooling													
Cooling Type		Coil Model		Rows Deep	Fins Per Inch	Face Velocity	Total Energy	Sensible Energy	Entering Air (F)		Leaving Air (F)		
Packaged DX		DX38S02Q10-32x52		2	10	346 ft/min	137.9 MBH	85.9 MBH	95.0 F	78.0 F	75.5 F	69.7 F	
Coil SP		Refrigerant	Suction Temp	Liquid Temp	Super Heat	Code 18/19			Suction Conn Qty / Size		Liquid Conn Qty / Size		
NA		R-410a	45.5 F	110 F	8 F	0			NA		NA		
Outlet Sound Power By Octave Band													
62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones			
94	85.5	79.5	79.8	78.7	75.8	74.2	67.2	83.8	72.8	22.3			
<ul style="list-style-type: none"> • LwA - A weighted sound power level based on ANSI S1.4 • dBA - A weighted sound pressure level based on 11.0 dB attenuation per octave band at 5.0 ft. • Noise Criteria (NC) based on an average attenuation of 11.5 dB per octave band at 5.0 ft. 													

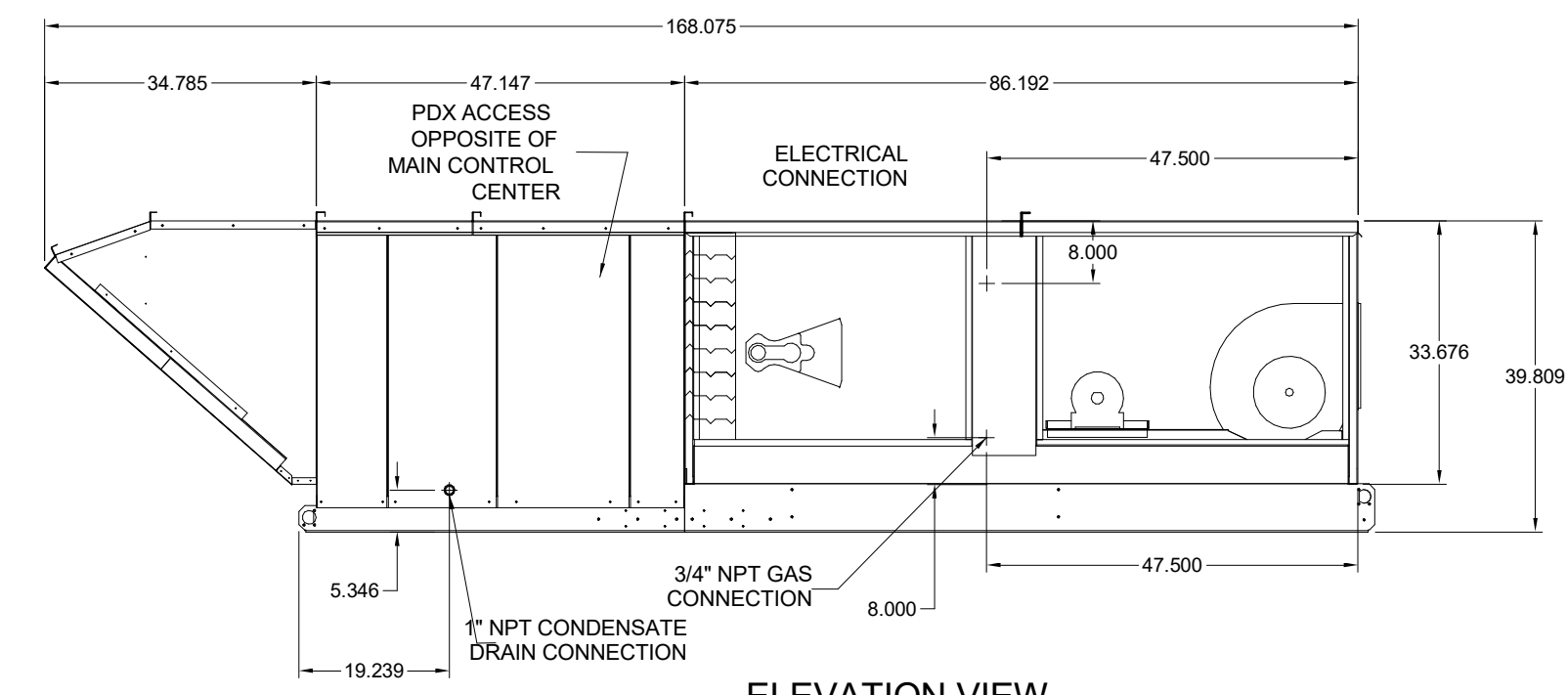
Air Flow Arrangement: Variable Volume
 Weatherhood: Aluminum Mesh, 16x20x2 - (2), 20x20x2 - (2)
 Damper: Inlet
 Outdoor Air Intake Position: End
 Discharge Position: End
 Coating: Galvanized
 Cooling Coil Coating - None
 Insulation: Double Wall - Tempering On
 Supply Fan Control: VFD
 VFD Control: External 0-10 VDC
 Access Side: Right-Hand
 Unit Weight: 1696 lb
 Control Center
 Freeze Protection
 Heat Inlet Air Sensor
 Cool Inlet Air Sensor
 Unit Controls: Terminal Strip
 Temperature Control: Discharge
 Direct Gas Options/Accessories
 Approvals: ETL
 FM Compliant



END VIEW



PLAN VIEW



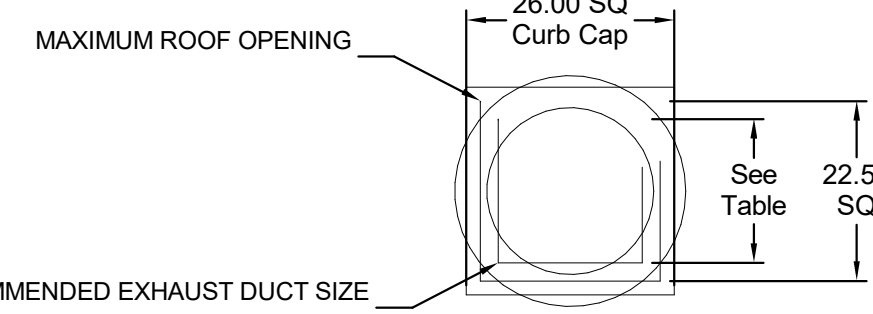
ELEVATION VIEW

Direct Drive Upblast Centrifugal Roof Exhaust Fan

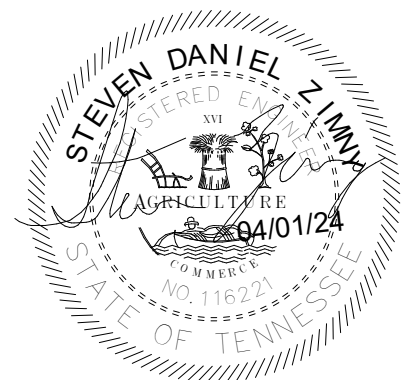
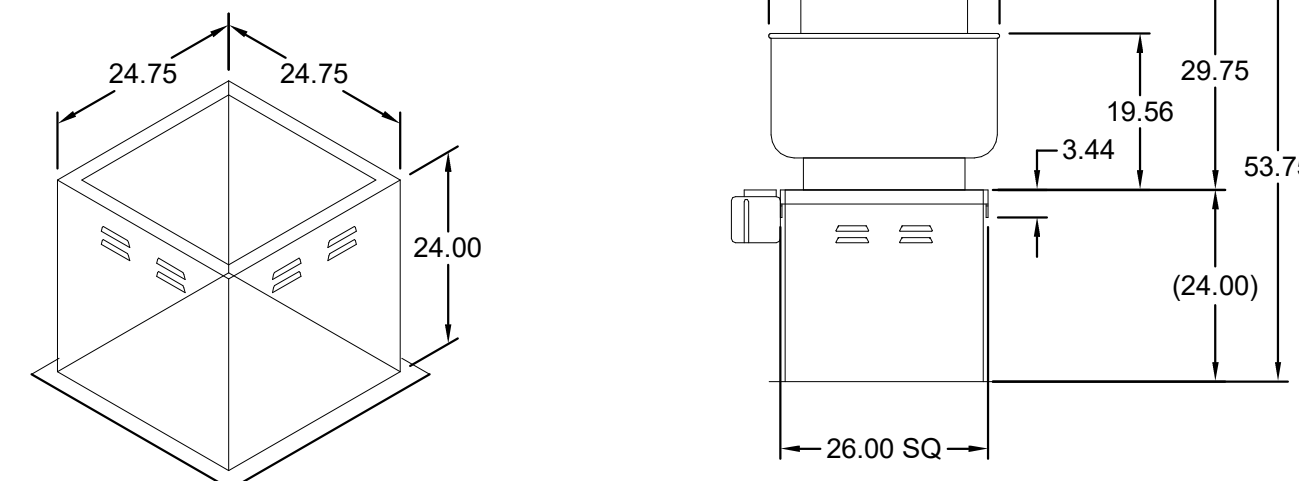
MARK INFORMATION		FAN INFORMATION							MOTOR INFORMATION					
QTY	MARK	MODEL	VOLUME (CFM)	TOTAL EXTERNAL SP (IN WG)	FAN RPM	OPERATING POWER (HP)	WEIGHT (LB.)	SIZE (HP)	V/C/P	ENCLOSURE	MOTOR RPM	WINDINGS	NEC FLA*	
1	KEF-1 (#5)	ACCUREX XCUE-160-A	3,440	1.081	1,520	1.32	115	2	208/60/3	OP	1725	1	7.5	

*NEC FLA - Based on table 430.250 or 430.248 of National Electrical Code 2020. Actual motor FLA may vary for sizing thermal overload, consult factory"

KEF-1 (#5) : SELECTED OPTIONS AND ACCESSORIES
 Motor VFD Rated without Shaft Grounding Protection
 One piece fully welded windband
 Tapered bushing wheel hub
 Breather tube outlet area min. 4.4 sq. in. (sizes 99-480), 2.0 sq. in. (sizes 60-95)
 Min. windband material thickness: 0.051" aluminum (060-240), 0.064" aluminum (240HP, 240XP), 0.080" aluminum (sizes 300-480)
 Larger Curb Cap Size - 26 Square
 UL/cUL 705 Listed - Supplement SC - "Power Ventilators for Restaurant Exh. Appliances" (Formerly UL 762)
 Switch, NEMA-3R, Toggle,
 Hinge, Factory Installed
 Grease Trap (PN 475538)
 Conduit Chase Qty 1



DUCT TYPE	SIZE
STANDARD	18 SQ
FIRE-WRAPPED	12 SQ



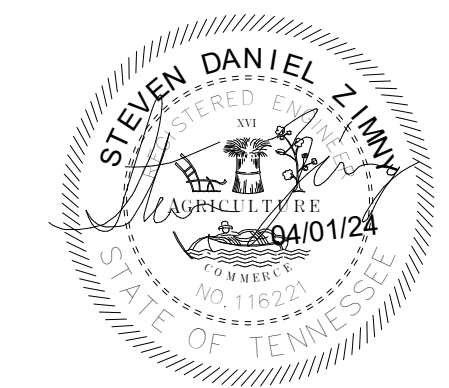
PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	DESCRIPTION	DATE

SHEET DESCRIPTION
KITCHEN HOOD EQUIPMENT

M003

PROJECT DATE	PROJECT NUMBER
04/01/24	23071

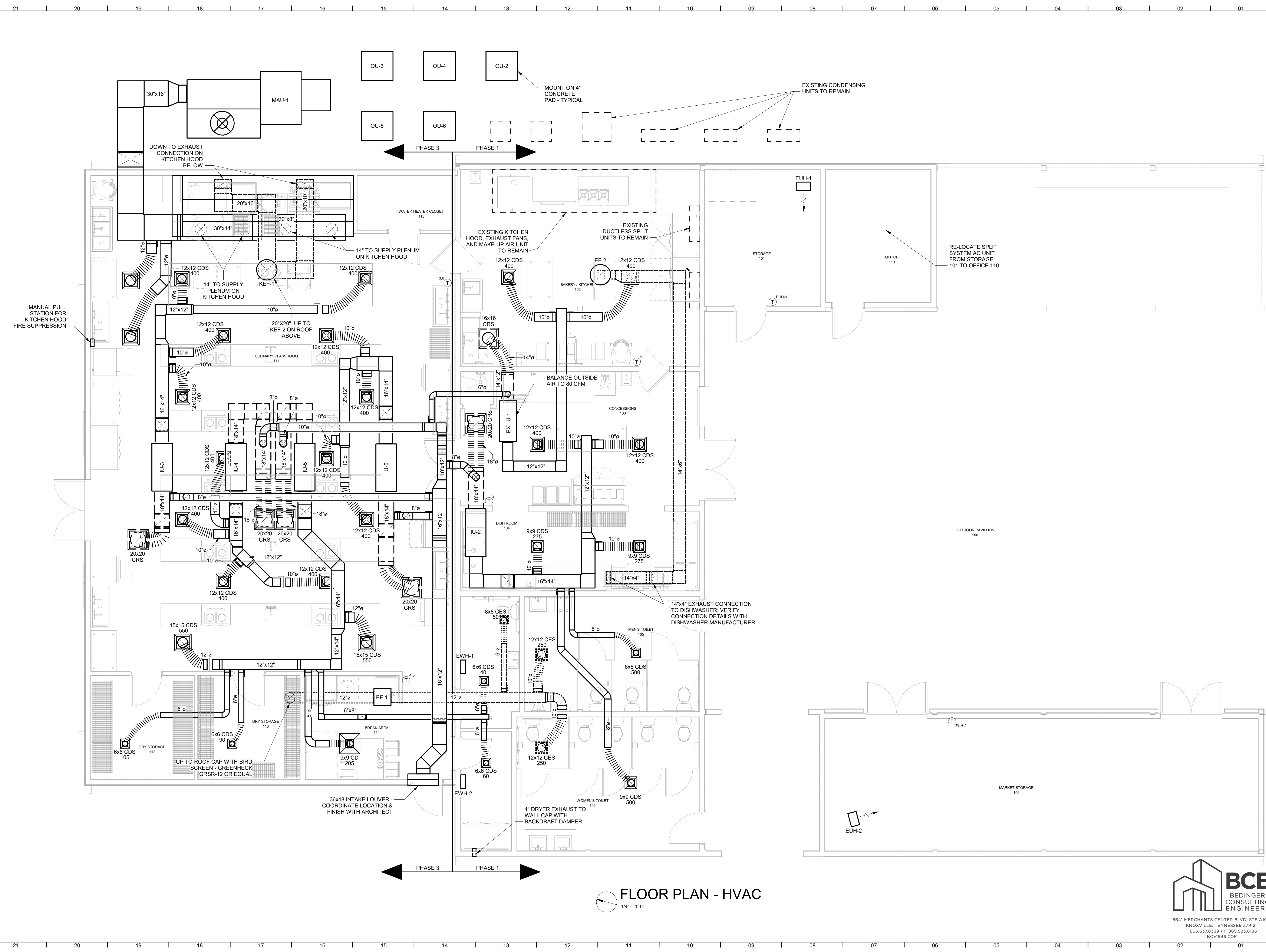


PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

NO.	DESCRIPTION	DATE

SHEET DESCRIPTION
FLOOR PLAN - HVAC

M101
PROJECT DATE: 04/01/24 PROJECT NUMBER: 23071

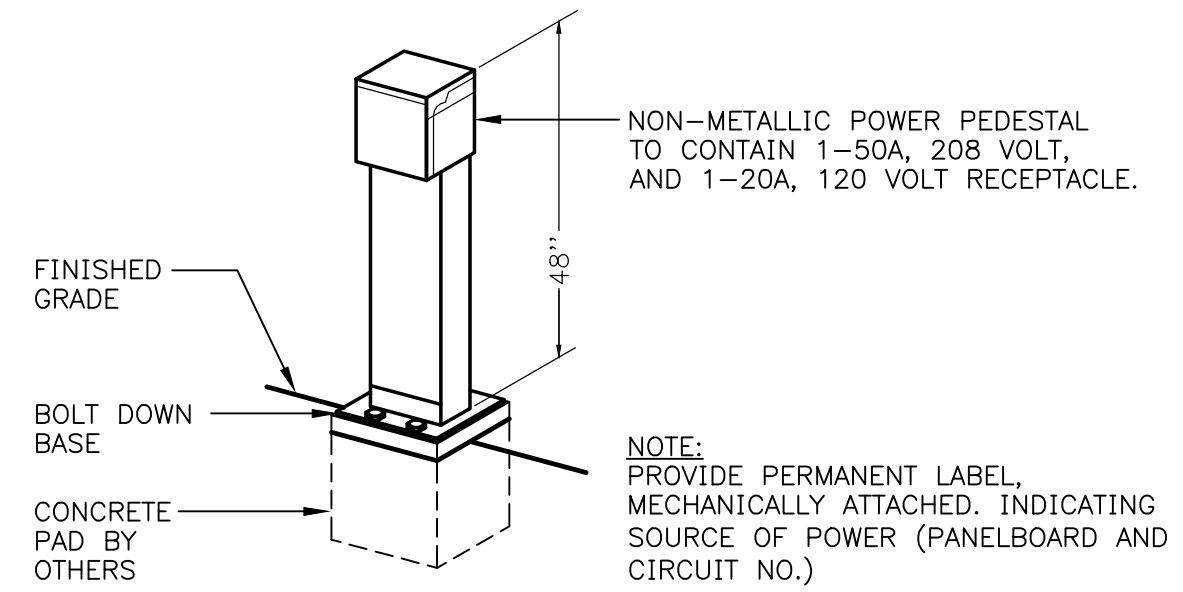


FLOOR PLAN - HVAC
1/4" = 1'-0"

4/1/2024 10:11:09 AM

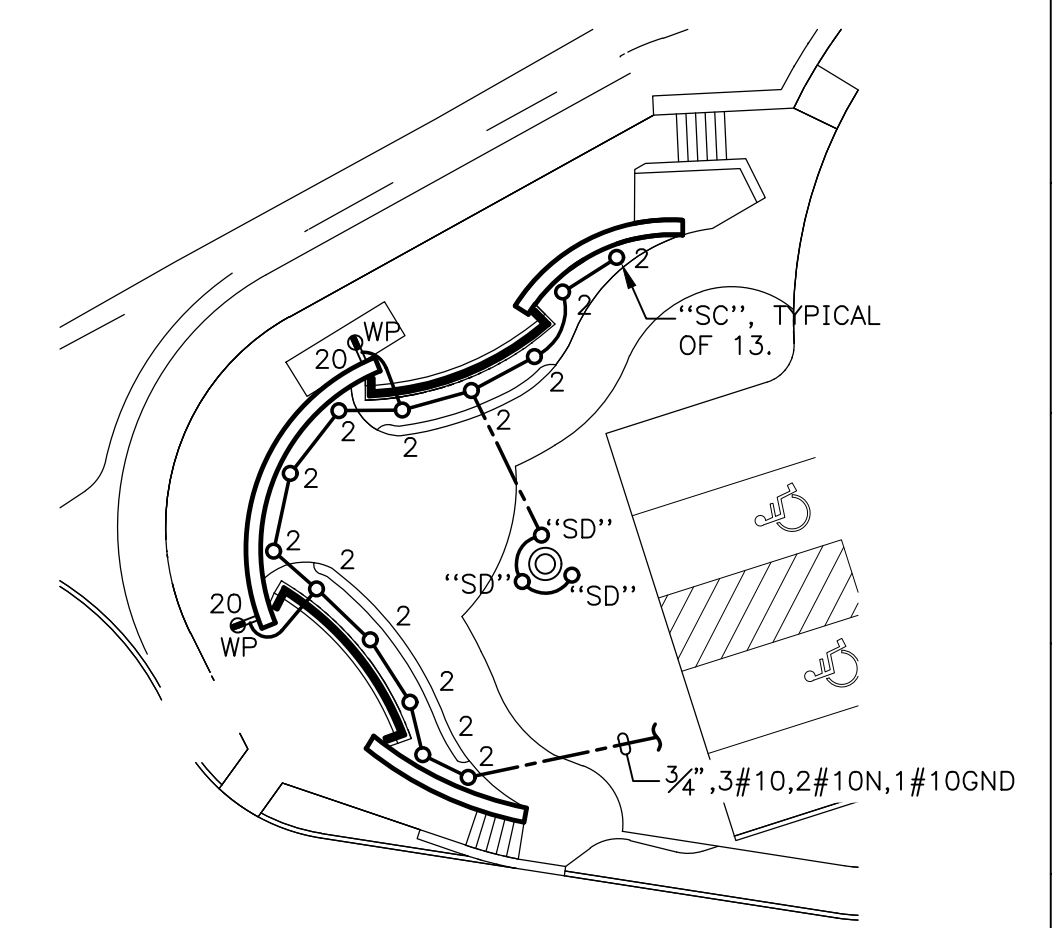
C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP

DESIGNATION	ILLUMINATION			POLE DESCRIPTION: MATERIAL, SHAPE, HEIGHT ABOVE FINISHED GRADE				DESCRIPTION: SHIELDING, TYPE MATERIALS, FINISH, MOUNTING	MANUFACTURER'S PRODUCT ITEM			REMARKS
	WATTS	DELIVERED LUMENS	COLOR TEMPERATURE	ALUMINUM	STEEL	ROUND	SQUARE		COMPANY	POLE CATALOG NO.	LUMINAIRE CATALOG NO.	
S A	102	13763	4000	•	•	•	33 FT	ARM MOUNTED, SINGLE LUMINAIRE ON 30FT. POLE	LITHONIA	SSS 30 5C DM19AS DDBXD	DSX1 LED P3 40K 70CRI T3M MVOLT SPA DDBXD	-
S B	102 PER HEAD	13763 PER HEAD	4000	•	•	•	33 FT	ARM MOUNTED, DOUBLE LUMINAIRE ON 30FT. POLE, TWO FIXTURES AT 180 DEGREES.	LITHONIA	SSS 30 5C DM28AS DDBXD	DSX1 LED P3 40K 70CRI T3M MVOLT SPA DDBXD	-
S C	33	2421	4000					IN-GRADE, WALL WASH, ADJUSTABLE, DOUBLE LENS, SLIP RESISTANT	HYREL		M8420C SS LED P4 40K MVOLT WWD FLCSR 34S STS	-
S D	54	4828	4000					IN-GRADE, UPLIGHTING, NARROW SPOT	HYREL		M9820 A LED WHT41K MVOLT NSP FLC 34B DNA	-

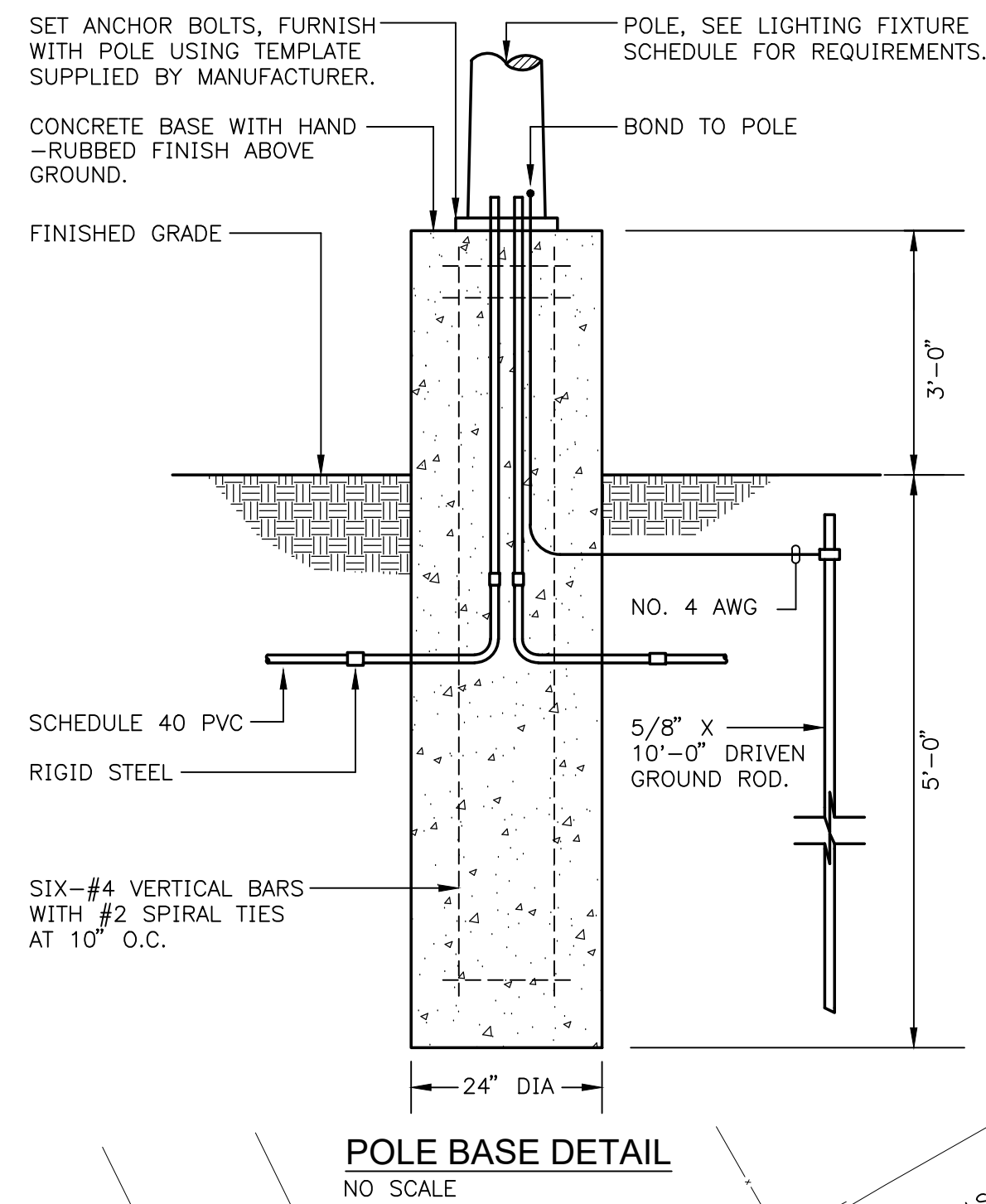


PEDESTAL MOUNTING DETAIL
N.T.S. DRAWING SYMBOL: [Symbol]

NOTE: VERIFY EXACT LOCATIONS ON SITE WITH ARCHITECT/OWNER.



Q04 ENLARGED ELECTRICAL PLAN
1" = 20'-0"



E100 - HERITAGE PARK - SITE ELECTRICAL PLAN.dwg
A.L.S. 03/29/24 1:43 PM HD23369(HD)

DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dia-arch.com



PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
115 DURHAM DR, MAYNARDVILLE, TN 37807

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
SITE ELECTRICAL PLAN

E100

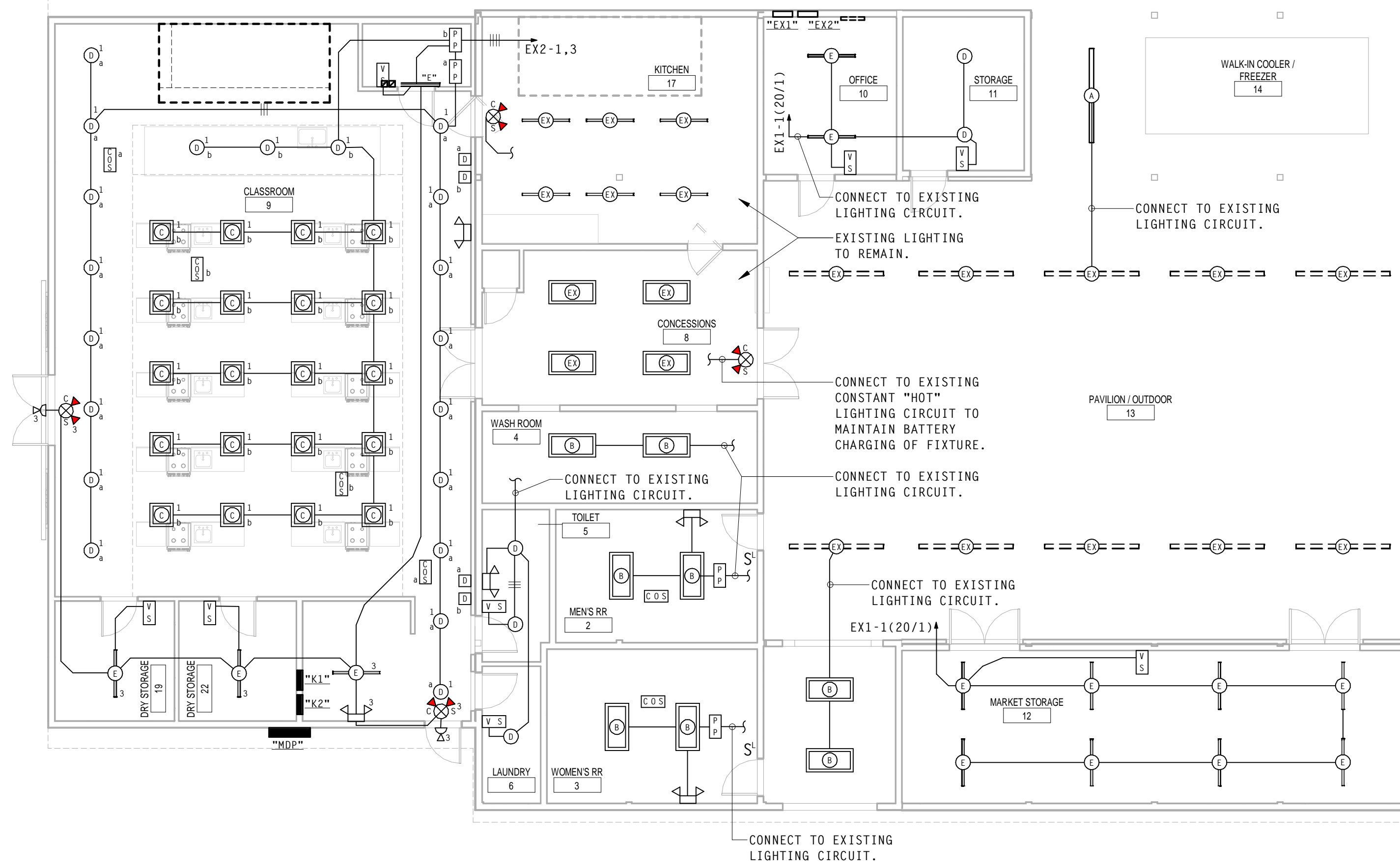
PROJECT DATE: **3/29/2024**
PROJECT NUMBER: **23071**

Vreeland Engineers Inc.
3107 Sutherland Ave.
P.O. Box 10648
Knoxville, TN 37939
865-837-4451
1-800-382-9789
vreelandengineers.com

A08 SITE ELECTRICAL PLAN
1" = 30'-0"

C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP

NOTE: REFER TO ARCHITECTURAL DRAWINGS A101, A102, AND A103 FOR CONSTRUCTION PHASING.



1 FLOOR PLAN - LIGHTING
1/8" = 1'-0"

EXISTING PHASE 01 CONSTRUCTION NOTE: REFER TO ARCHITECTURAL DRAWINGS A101, A102, AND A103 FOR CONSTRUCTION PHASING.

VOLTAGE DROP CALCULATION NOTES:

- REFER TO CONDUCTOR SIZE TABLE FOR WIRE SIZING REQUIREMENTS FOR 20 AMPERE BRANCH CIRCUITS.
- FOR ALL OTHER FEEDER AND BRANCH CIRCUIT WIRING SHOWN ON DRAWINGS, WIRE SIZING HAS BEEN SPECIFIED TO MEET VOLTAGE DROP REQUIREMENTS AS SET FORTH IN NFPA 70 (NEC) AND IECC C405.9.

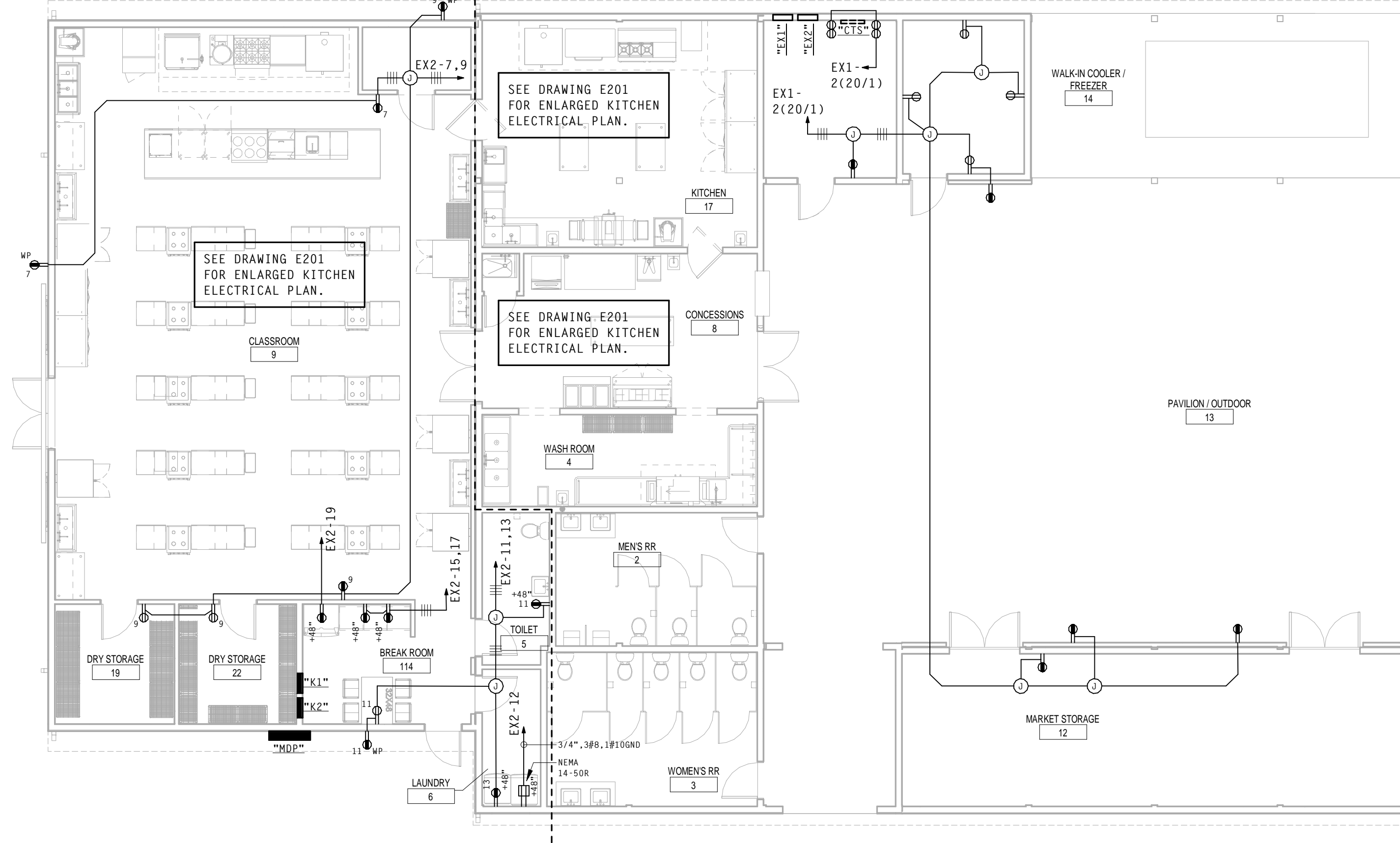
CONDUCTOR SIZE TABLE

FOR 20 AMP BRANCH CIRCUITS, THE FOLLOWING ARE THE MAXIMUM ONE-WAY DISTANCES ALLOWED:

CONDUCTOR SIZE	120V	208V/1Ø	208V/3Ø	277V	480V/3Ø
NO. 12	80'	140'	225'	180'	550'
NO. 10	125'	215'	425'	225'	-
NO. 8	195'	340'	665'	435'	-

TABLE IS BASED ON 3% VOLTAGE DROP ON 12.0 F.L.A., 0.85 POWER FACTOR. USE LARGER SIZES IF SPECIFICALLY NOTED ON PLANS.

NOTE: REFER TO ARCHITECTURAL DRAWINGS A101, A102, AND A103 FOR CONSTRUCTION PHASING.



2 FLOOR PLAN - POWER
1/8" = 1'-0"

EXISTING PHASE 01 CONSTRUCTION NOTE: REFER TO ARCHITECTURAL DRAWINGS A101, A102, AND A103 FOR CONSTRUCTION PHASING.



NO.	DESCRIPTION	DATE

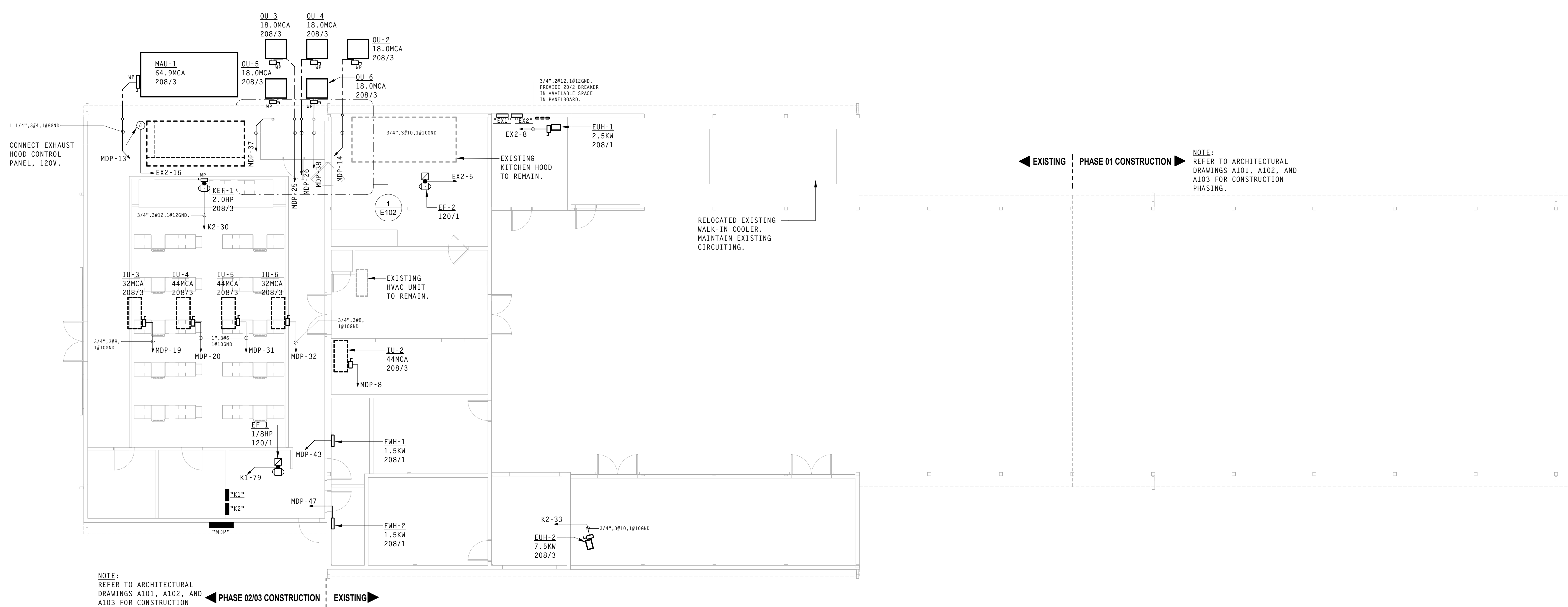
THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
FLOOR PLAN - LIGHTING AND POWER

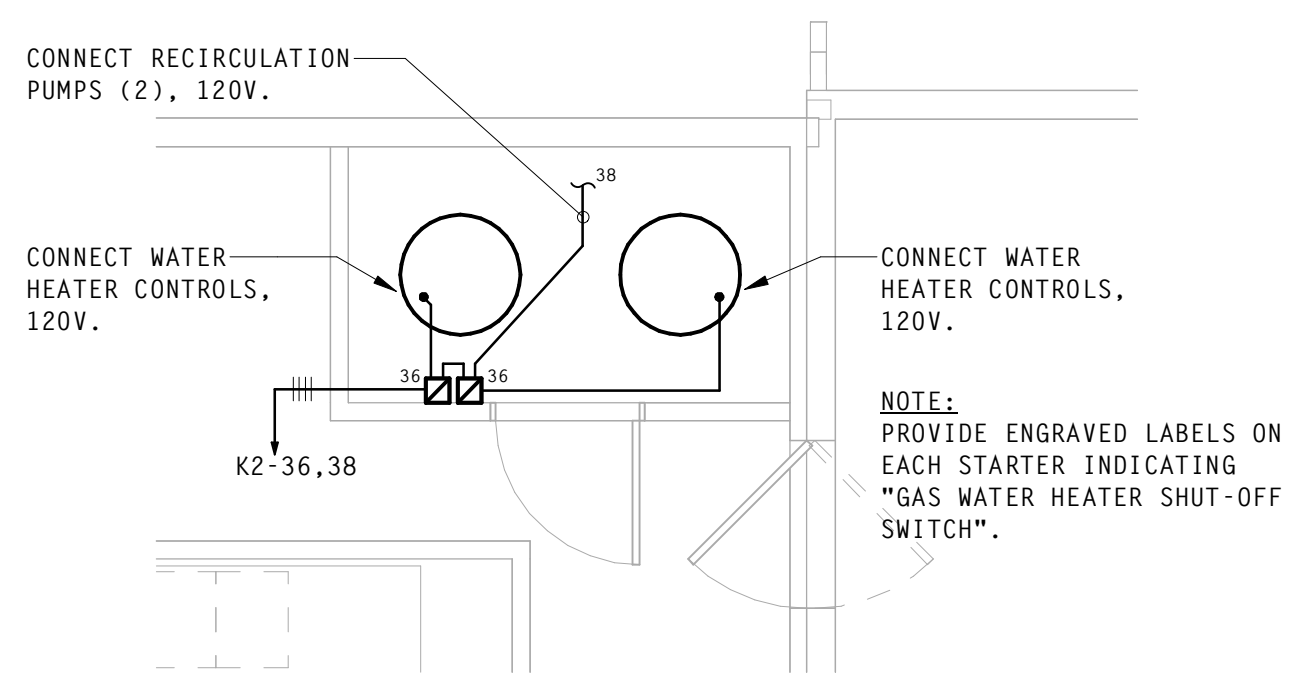
E101
PROJECT DATE: 03/29/24 PROJECT NUMBER: 23071

Vreeland Engineers Inc.
3107 Sutherland Ave.
P.O. Box 10648
Knoxville, TN, 37939
Ph: 865.637.4451
1-800-362-9789
vreelandengineers.com
VE1 Job No.

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP



2 FLOOR PLAN - HVAC WIRING
1/8" = 1'-0"



1 ENLARGED FLOOR PLAN - WATER HEATER WIRING
1/4" = 1'-0"

VOLTAGE DROP CALCULATION NOTES:
1. REFER TO CONDUCTOR SIZE TABLE FOR WIRE SIZING REQUIREMENTS FOR 20 AMPERE BRANCH CIRCUITS.
2. FOR ALL OTHER FEEDER AND BRANCH CIRCUIT WIRING SHOWN ON DRAWINGS, WIRE SIZING HAS BEEN SPECIFIED TO MEET VOLTAGE DROP REQUIREMENTS AS SET FORTH IN NFPA 70 (NEC) AND IEC C405.9.

FOR 20 AMP BRANCH CIRCUITS, THE FOLLOWING ARE THE MAXIMUM ONE-WAY DISTANCES ALLOWED:					
CONDUCTOR SIZE	120V	208V/1Ø	208V/3Ø	277V	480V/3Ø
NO. 12	80'	140'	225'	180'	550'
NO. 10	125'	215'	425'	225'	-
NO. 8	195'	340'	665'	435'	-

TABLE IS BASED ON 3% VOLTAGE DROP ON 12.0 F.L.A., 0.85 POWER FACTOR. USE LARGER SIZES IF SPECIFICALLY NOTED ON PLANS.

Vreeland Engineers Inc.
3107 Sutherland Ave.
P.O. Box 10648
Knoxville, TN, 37939
Ph: (865) 637-4451
1-800-362-9789
vreelandengineers.com
VE1 Job No.

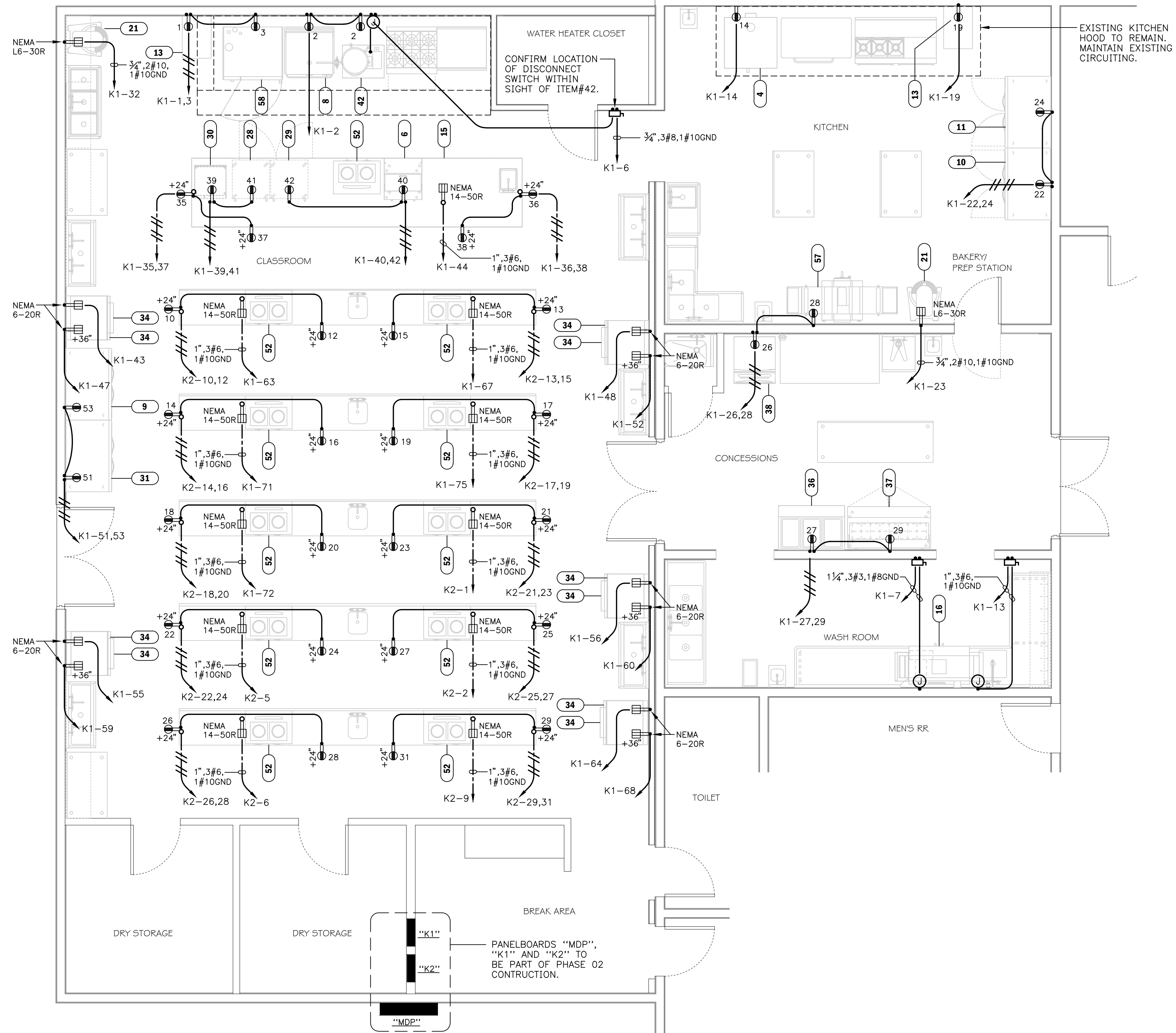
NO.	DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
FLOOR PLAN - HVAC WIRING

E102
PROJECT DATE: 03/29/24
PROJECT NUMBER: 23071

KITCHEN EQUIPMENT SCHEDULE										
ItemNo	Qty	Category	Equip Remarks	Voltage	Cycle	Phase	Amps	NEMA	Height	Electrical Remarks
4	1	Convection Oven, Gas		115	60	1	6.0	5-15P	+42"	Top Oven
	1			115	60	1	6.0	5-15P	+24"	Bottom Oven
5	1	Exhaust Hood		120	60	1	15.0	J-BOX	TOH	
5.1	1	Exhaust Fan	Remote	208	60	3	9.38	Disc.	Remote	
5.2	1	Tempered Make-Up Air Unit	Remote	208	60	3	64.90	Disc.	Remote	
6	1	Sandwich / Salad Preparation Refrig.		115	60	1	3.5	5-15P	+5"	
7	1	Exhaust Hood	Existing	***	***	***	***	***	***	Existing
8	1	Tilting Skillet Braising Pan, Gas		120	60	1	1.8	5-15P	+42"	
9	1	Reach-In Refrigerator		115	60	1	3.8	5-15P	+80"	
10	1	Reach-In Refrigerator	Existing	115	60	1	3.8	5-15P	+80"	Existing
11	1	Reach-In Freezer	Existing	115	60	1	10.7	5-15P	+80"	Existing
13	2	Proofer Cabinet, Mobile		120	60	1	15	5-15P	+24"	
15	1	Teaching Station	Custom	115-208	60	1	42	J-BOX	+5"	
16	1	Dishwasher, Conveyor Type		208	60	3	51.9	J-BOX	+66"	
16.1	1	Booster		208	60	3	74.9	J-BOX	+66"	
20.1	1	Exhaust Fan	Remote	208	60	1	3.2	Disc.	Remote	
21	2	Planetary Mixer		220	60	1	12.0	L6-30P	+24"	
28	1	Undercounter Refrigerator		115	60	1	2.3	5-15P	+5"	
29	1	Reach-In Undercounter Freezer		115	60	1	2.5	5-15P	+5"	
30	1	Dishwasher, Undercounter		208	60	1	37.2	14-50P	+5"	
31	1	Reach-In Freezer		115	60	1	10.7	5-15P	+80"	
32	1	Range, 36", 6 Open Burners								
34	10	Convection Oven, Electric	5 Stacks of 2	208	60	1	20.0	6-20P	+42"	Top Oven
				208	60	1	20.0	6-20P	+24"	Bottom Oven
36	1	Hot Food Serving Counter / Table		120	60	1	12	5-15P	+24"	
37	1	Sandwich / Salad Preparation Refrig.		115	60	1	6.5	5-15P	+24"	
38	1	Ice Maker, Cube-Style		115	60	1	11.5	J-BOX	+66"	
42	1	Kettle, Electric, Countertop		208	60	3	33.0	J-BOX	+42"	
44	1	Induction Range, Built-In / Drop-In		208-240	60	1	23.1	14-50P	***	Electrical via Load Center on Item #15
45	5	Student Work Station	Custom							
51	1	Dishwasher, Undercounter		208	60	1	37.2	J-BOX	+24"	Existing
52	11	Induction Range, Built-In / Drop-In		208-240	60	1	23.1	14-50P	+5"	
57	1	Dough Sheeter		220	60	1	7.8	6-15P	+24"	
58	1	Combi Oven, Gas		120	60	1	7.2	6-20P	+42"	



NOTE:
 ALL WORK SHOWN ON THIS DRAWING, UNLESS NOTED OTHERWISE, IS TO BE PART OF PHASE 03 - BID ALTERNATE, BUILD-OUT OF THE INTERIOR SPACE AND NOT INCLUDED IN THE BASE BID.




PRE-DESIGN / PROPOSAL
HERITAGE PARK ADDITION
 115 DURHAM DR, MAYNARDVILLE, TN 37807

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST. DO NOT SCALE. DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE COPYRIGHT © OF DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION
 ENLARGED KITCHEN PLAN - ELECTRICAL

E201
 PROJECT DATE: 3/29/2024
 PROJECT NUMBER: 23071

Vreeland Engineers Inc.

 3107 Sutherland Ave.
 P.O. Box 10648
 Knoxville, TN 37939
 865-837-4451
 1-800-382-9789
 vreelandengineers.com

A12 ENLARGED KITCHEN PLAN - ELECTRICAL
 1/4" = 1'-0"

E201 - HERITAGE PARK - ENLARGED KITCHEN PLAN.dwg
 A.L.S. 03/29/24 2:21 PM: HD23389(HD)

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP

ELECTRICAL SPECIFICATIONS

- 1. SCOPE: FURNISH PLANT, LABOR, MATERIAL, SERVICES, AND EQUIPMENT NECESSARY FOR AND REASONABLY INCIDENTAL TO THE INSTALLATION OF ELECTRICAL FACILITIES SHOWN ON THE DRAWINGS AND CALLED FOR HEREINAFTER.
2. CODES AND PERMITS: SECURE NECESSARY PERMITS, PAY NECESSARY FEES, CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES.
3. POWER SERVICE: POWER SERVICES SHALL BE TAKEN FROM UTILITY COMPANY POLE MOUNTED TRANSFORMERS AT 120/208-VOLT, 3-PHASE, 4-WIRE, WYE, PROVIDE DISTRIBUTION SYSTEM AS INDICATED ON THE DRAWINGS. PAY ALL ASSOCIATED UTILITY CO. FEES.
4. WIRING METHODS: NEW LINE VOLTAGE POWER WIRING SHALL BE INSTALLED IN METALLIC CONDUIT AS DESCRIBED HEREINAFTER. ALL OVERHEAD WIRING ON THE PROJECT SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING (EMT). ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. PROVIDE COLOR CODING OF CONDUCTORS IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE REQUIREMENTS. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG WITH LARGER SIZES WHERE INDICATED ON DRAWINGS OR AS REQUIRED TO MEET VOLTAGE DROP REQUIREMENTS SET FORTH IN NEC. WIRING SHALL BE INSTALLED CONCEALED TO THE MAXIMUM EXTENT POSSIBLE. WHERE EXPOSED WIRING IS REQUIRED DUE TO EXISTING BUILDING STRUCTURE, CONTRACTOR SHALL OBTAIN APPROVAL FROM ARCHITECT OF PROPOSED ROUTING IN ADVANCE OF INSTALLATION. EXPOSED WIRING RUN BY CONTRACTOR WITHOUT PRIOR APPROVAL OF ROUTING BY ARCHITECT SHALL BE SUBJECT TO REMOVAL AND REINSTALLATION BY CONTRACTOR AT CONTRACTOR'S EXPENSE. ALL WIRING SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER, PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURAL ELEMENTS. NO DIAGONAL RUNS WILL BE PERMITTED.
5. WORK AT EXISTING PANELBOARDS: NEW CIRCUITS REQUIRED FOR WORK IN RENOVATION AREA SHALL BE TAKEN FROM EXISTING PANELBOARDS AS NOTED ON DRAWINGS. EXISTING SPACE AND SPARE CIRCUIT BREAKERS ARE AVAILABLE IN EXISTING PANELBOARDS TO SERVE NEW CIRCUITS INDICATED. CONTRACTOR SHALL PROVIDE MODIFICATIONS TO EXISTING PANELBOARD CIRCUIT DIRECTORIES AS REQUIRED TO REFLECT CHANGES MADE AS PART OF THIS RENOVATION PROJECT. ALL CHANGES TO CIRCUIT DIRECTORIES SHALL BE TYPED, WRITTEN, HANDWRITTEN MODIFICATIONS TO EXISTING CIRCUIT DIRECTORIES SHALL NOT BE PERMITTED.
6. PANELBOARDS: FURNISH AND INSTALL NEW PANELBOARDS WHERE ILLUSTRATED ON DRAWINGS. PANELBOARDS SHALL BE SIMILAR AND EQUAL TO SQUARE D "NO" SERIES WITH COPPER BUSING AND MAINS RATING OF 120/208-VOLTS, 3-PHASE, 4-WIRE, WYE AS INDICATED ON DRAWINGS. PANELBOARDS SHALL BE UTILIZE BOLT-ON TYPE CIRCUIT BREAKERS. EQUAL EQUIPMENT BY SIEMENS, GENERAL ELECTRIC, OR EATON WILL BE APPROVED. PROVIDE A TYPED WRITTEN CIRCUIT DIRECTORY IN EACH PANELBOARD INDICATING DETAILED INFORMATION INCLUDING LOADS SERVED, LOAD LOCATION, ETC.
7. SAFETY SWITCHES: FURNISH AND INSTALL HEAVY-DUTY FUSIBLE SAFETY SWITCHES WHERE INDICATED ON DRAWINGS FOR HVAC EQUIPMENT, AND OTHERWISE AS REQUIRED BY CODE SAFETY SWITCHES SHALL BE HORSEPOWER RATED, QUICK-MAKE, QUICK-BREAK, WITH ARC SHIELDS WITH ENCLOSED CONSTRUCTION. SAFETY SWITCHES LOCATED OUTSIDE SHALL BE HOUSED IN NEMA 3R ENCLOSURES. INSIDE THE BUILDING, UTILIZE NEMA 1 ENCLOSURES FOR SAFETY SWITCHES. PROVIDE FUSING IN EACH SAFETY SWITCH IN ACCORDANCE WITH UNIT NAMEPLATE DATA. COORDINATE MOUNTING LOCATIONS OF ALL SAFETY SWITCHES WITH INSTALLER OF EQUIPMENT (I.E., HVAC) PRIOR TO COMMENCING ROUGH-IN.
8. DRY-TYPE TRANSFORMERS: FURNISH AND INSTALL DRY-TYPE TRANSFORMERS AS INDICATED ON DRAWINGS. TRANSFORMERS SHALL BE RATED 120/240-VOLT, SINGLE-PHASE, 3-WIRE SECONDARY. EACH DRY-TYPE TRANSFORMER SHALL BE RATED 150 DEGREE CELSIUS TEMP. RISE AND HAVE ALUMINUM WINDINGS.
9. LIGHTING FIXTURES: PROVIDE NEW LIGHTING FIXTURES WHERE INDICATED ON DRAWINGS. NEW LIGHTING FIXTURES SHALL BE LED. SEE LIGHTING FIXTURE SCHEDULE FOR REQUIREMENTS.
10. WIRING DEVICES: FURNISH AND INSTALL NEW WIRING DEVICES (I.E., WALL SWITCHES, RECEPTACLES, ETC., WHERE INDICATED ON DRAWINGS. DEVICE AND COVERPLATE TYPE/COLOR SHALL MATCH EXISTING DEVICES IN THE BUILDING. NEW DEVICES SHALL BE SPECIFICATION GRADE TYPE WITH MINIMUM RATING OF 20-AMPERES. THE USE OF 15-AMPERE RATED DEVICES SHALL NOT BE PERMISSIBLE.
11. EXIT SIGNS AND EMERGENCY LIGHTING: FURNISH AND INSTALL EXIT SIGNS WITH BATTERY BACKUP. LED ILLUMINATION SHALL BE UTILIZED. COLOR OF EXIT SIGNS SHALL BE WHITE FINISH WITH RED LETTERS. EXIT SIGNS SHALL BE SIMILAR AND EQUAL TO LITHONIA NO. US1REL.
WHERE TWIN-HEAD UNITS ARE ILLUSTRATED, PROVIDE NICAD BATTERY PACK WITH TWO 1-1/2 WATT LAMP MODULES. TWIN-HEAD UNITS SHALL BE SIMILAR AND EQUAL TO LITHONIA ELM2L. PROVIDE SEPARATE UNSWITCHED 120-VOLT LINE TO ALL BATTERY UNITS.
12. ELECTRICAL DEMOLITION: DUE TO RENOVATION WORK, ELECTRICAL DEMOLITION MAY BE REQUIRED. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN WORK SHOWN ON ELECTRICAL PLANS AND ACTUAL CONDITIONS ENCOUNTERED IN FIELD.
13. GROUNDING: FURNISH AND INSTALL GROUNDING IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE. A SEPARATE INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE PROVIDED IN ALL NEW WIRING RUNS. THESE ARE GENERALLY NOT ILLUSTRATED ON DRAWINGS BUT SHALL BE REQUIRED. GROUND EQUIPMENT AND LIGHTING FIXTURES IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE. PROVIDE GROUNDING OF DRY-TYPE TRANSFORMER AS INDICATED ON DRAWINGS. SEE DETAILS. PROVIDE SERVICE GROUNDING CONSISTING OF THREE (3) DRIVEN 3/4"x10"-0" COPPERWELD GROUND RODS, BONDED TOGETHER BY "CADWELD" PROCESS WITH A #3/0 AWG CU. GROUNDING CONDUCTOR. FROM THE GROUND RODS, EXTEND A #3/0 AWG CU. GROUNDING CONDUCTOR AND BOND TO GROUND BUS/SYSTEM GROUND, EXTEND A #3/0 CU. GROUNDING CONDUCTOR AND BOND TO MAIN METALLIC COLD WATER PIPE WHERE IT ENTERS BUILDING. ALSO, EXTEND A #3/0 CU. GROUNDING CONDUCTOR AND BOND TO "REBAR" IN STRUCTURAL STEEL FOOTING.
14. SHOP DRAWINGS AND SUBMITTAL: PROVIDE ELECTRICAL SUBMITTALS AS CALLED FOR HEREINAFTER. SUBMITTALS SHALL INCLUDE MANUFACTURER'S CUTSHEET WITH SPECIFIC MODEL NUMBERS IDENTIFIED AS THEY APPLY TO THIS PROJECT. SUBMITTALS SHALL INCLUDE LIGHTING, LIGHTING CONTROLS, WIRING DEVICES AND SWITCHGEAR.
15. GUARANTY: GUARANTEE ALL WORK TO BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE OF JOB. MAKE ALL REPAIRS/REPLACEMENT OF DEFECTIVE PARTS/LABOR DURING WARRANTY PERIOD AT NO ADDITIONAL COST TO THE OWNER AS SOON AS POSSIBLE AFTER NOTIFICATION OF DEFICIENT WORK.

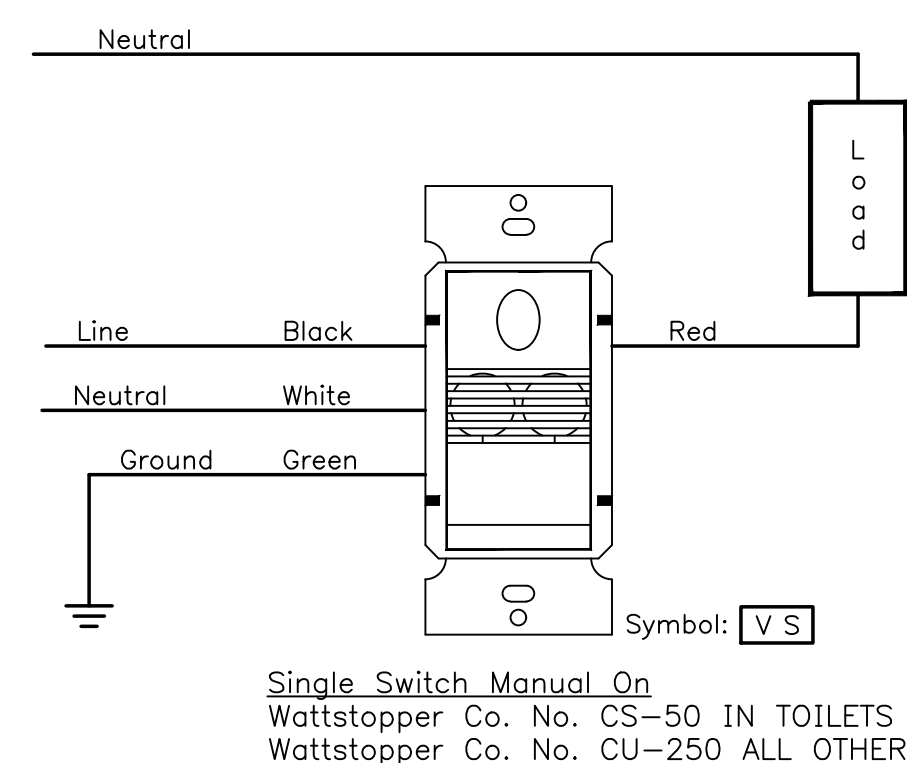
LIGHTING FIXTURE SCHEDULE

Table with columns: DESIGNATION, ILLUMINATION (WATTS, DELIVERED LUMENS, COLOR TEMPERATURE), MOUNTING (CEILING, WALL), DESCRIPTION (SHIELDING, TYPE MATERIALS, FINISH, MOUNTING), MANUFACTURER'S PRODUCT ITEM (COMPANY, CATALOG NO.), *EQUAL PRODUCT PERMITTED (YES/NO), REMARKS. Includes entries for 8FT LENSED STRIP, 2X4 FLAT PANEL, 2X2 FLAT PANEL, 6" DOWNLIGHT, and 4FT LENSED STRIP.

* UNLESS NOTED, EQUAL PRODUCT TO THAT SPECIFIED WILL BE ACCEPTED. THE DESIGN PROFESSIONAL SHALL HAVE SOLE JUDGEMENT CONCERNING EQUIVALENCY OF SUBSTITUTION.

M15 LIGHTING FIXTURE SCHEDULE

NO SCALE

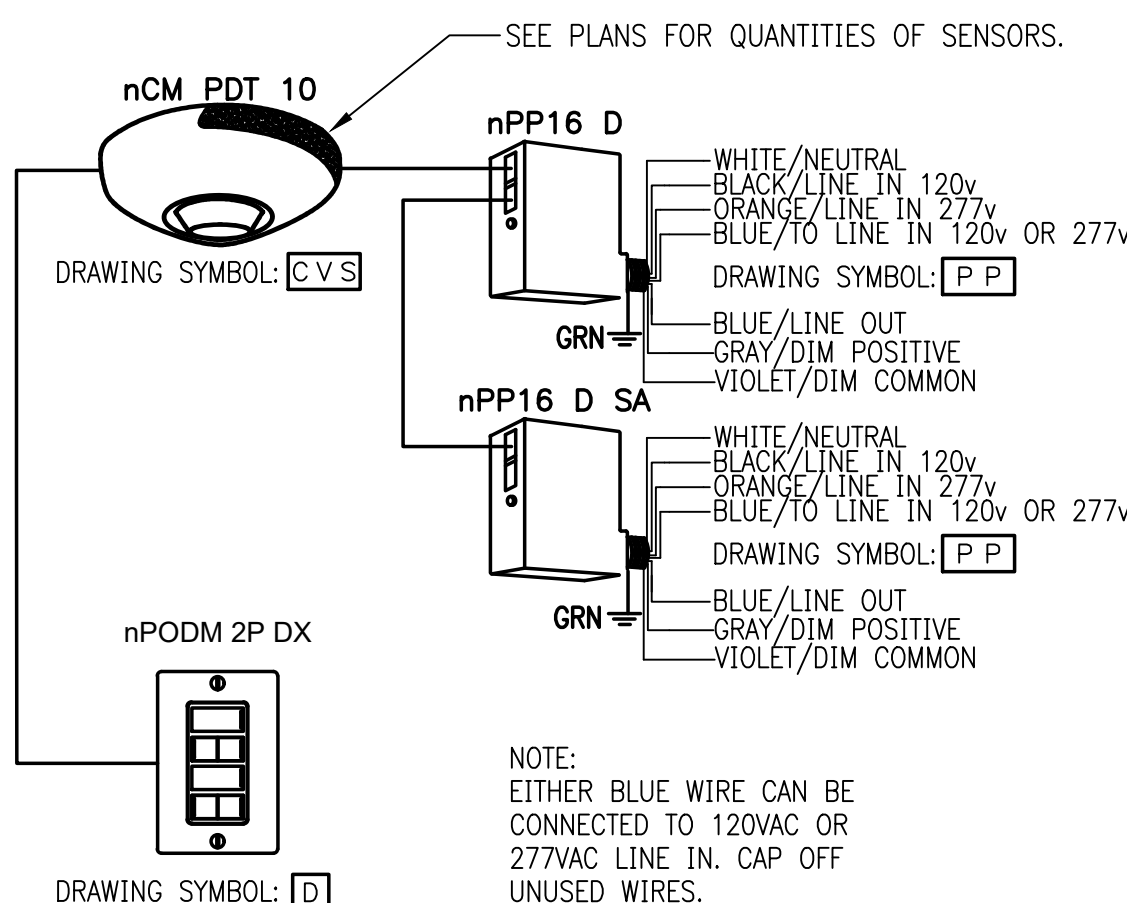


G15 WALL MOUNTED VACANCY SENSOR DETAIL

NO SCALE

G11 0-10V DIMMING LIGHTING CONTROL DETAIL

NO SCALE



LEGEND

Table listing symbols and their descriptions for electrical components such as LED lighting fixtures, wall-mounted twin-head emergency lighting, exit signs, wall switches, duplex plug receptacles, special purpose receptacles, homerun circuit wiring, conduit, junction boxes, motor starters, fused disconnect switches, data/voice outlets, wall-mounted vacancy sensors, power pack room controllers, and communication terminal spaces.

D06 SYMBOL LEGEND

NO SCALE

DIA Design Innovation ARCHITECTS + INTERIORS + PLANNING 402 S. Gay Street, Suite 201, Knoxville, TN 37902



PRE-DESIGN / PROPOSAL HERITAGE PARK ADDITION 115 DURHAM DR, MAYNARDVILLE, TN 37807

Empty grid table for project details.

THIS DRAWING IS THE PROPERTY OF DESIGN INNOVATION ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT AUTHORIZATION FROM DESIGN INNOVATION ARCHITECTS, INC.

SHEET DESCRIPTION LEGEND, SCHEDULES, DETAILS

E301

Table with columns: PROJECT DATE (3/29/2024), PROJECT NUMBER (23071)

Vreeland Engineers Inc. 3107 Sutherland Ave. P.O. Box 10648 Knoxville, TN 37939

E301 - HERITAGE PARK - LEGEND, SCHEDULES, DETAILS.dwg A.L.S. 03/29/24 2:33 PM HD23369(HD)

C.O.K. PLANS REVIEW / ELECTRONIC PERMIT STAMP

