

Date: May 16, 2018

Requisition No.: 169462

**PURCHASING DEPARTMENT
101 EAST 11TH STREET
CITY HALL
SUITE G13
CHATTANOOGA, TENNESSEE
37402**

Request for Bid (RFB) for the City of Chattanooga, Tennessee

*Proposals will be received at 101 East 11th Street, Suite G13,
Chattanooga, TN 37402 until 2:00 P.M., EST. on May 30, 2018*

Requisition / Bid No.: R169462 / 305114

Ordering Dept.: Parks Division, Public Works

Buyer & E-mail: Mark McKeel mmckeel@chattanooga.gov

**Items Being Purchased: Turf Management & Chemical Application
for Parks**

*****REQUEST FOR BIDS MUST BE RECEIVED*****

2:00 P.M., EST on May 30, 2018

*****PRE-BID CONFERENCE WILL BE CONDUCTED*****

10:00 A.M. EST on May 23, 2018 at

Development Resource Center

1250 Market Street, 2nd Floor Conference Room

Chattanooga, TN 37402

**The City of Chattanooga reserves the right to reject any and/or all proposals,
waive any informality in the proposals received, and to accept any proposal
which in its opinion may be for the best interest of the City.**

**The City of Chattanooga will be non-discriminatory in the purchase of all goods
and services on the basis of race, color or national origin.**

The City's Standard Terms and Conditions may be found on website:

<http://www.chattanooga.gov/purchasing/standard-terms-and-conditions>

Note: ALL BIDS MUST BE SIGNED

All proposals received are subject to the terms and conditions contained herein and as listed in the above referenced website. The undersigned Offeror acknowledges having received, reviewed, and agrees to be bound to these terms and conditions, unless specific written exceptions are otherwise stated.

PLEASE PROVIDE THE FOLLOWING INFORMATION:

Company Name: _____

Mailing Address: _____

City & Zip Code: _____

Phone/Toll Free No.: _____

Fax No.: _____

E-Mail Address: _____

Contact Person: _____

Company Title: _____

Signature: _____

BID SOLICITATION



City of Chattanooga
101 East 11th Street, Suite G13
Chattanooga, TN 37402

BID OPENING DATE AND TIME:

30-MAY-18 at 2:00 PM

BID NUMBER: 305114

SEALED BIDS

Mail or submit two (2) signed copies of bid form to this office in the enclosed envelope. Retain one copy for your file.

BUYER:

PHONE #: (423) 643-7230

DELIVERY REQUIRED:

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City of Chattanooga
 101 East 11th Street, Suite G13
 Chattanooga, TN 37402

Item	Class-Item	Quantity	Unit	Unit Price	Total
<p>Requisition / Bid No.: 169462 / 305114 Ordering Dept.: Park Division, Public Works Buyer: Mark McKeel Phone No.: 423-643-7236</p> <p>Items Being Purchased: Turf Management & Chemical Application for Parks</p> <p>ATTACHMENTS: 1. Bid Sheet (2 pages) 2. Specifications (8 pages) 3. Typical Schedule of Treatments (4 pages) 4. Maps Showing Locations (21 pages) 5. Affirmative Action Plan (2 pages) 6. Insurance Requirements (2 pages) 7. Iran Divestment Act Disclosure (1 page) 8. No Contact / No Advocacy Notice (1 page) City of Chattanooga (COC) Terms and Conditions posted on Website http://www.chattanooga.gov/purchasing/standard-terms-and-conditions If you can't download call buyer for a copy.</p> <p>This Shall Be A Twelve (12) Month Blanket Contract To Supply Turf Management and Chemical Application for Parks.</p> <p>The Contract Term May Be Renewed For An Additional Two (2) Twelve (12) Month Terms Under The Same Terms And Conditions By Mutual Agreement. The City Of Chattanooga And The Contractor May Bilaterally Extend The Contract By Providing Written Confirmation Of Agreement By Both Parties At Least 30 Days Prior To The Contract's Current Expiration Date Into Any Successive Term As Provided Herein.</p> <p>**** Vendor Shall Hold Prices Firm for First (1st) Year of Contract ****</p> <p>Price Escalation Clause: If as a result of a general change in prices or discounts, the Contractor has changed prices to all of its customers, the price under this contract may be adjusted accordingly. Contractor may be requested to show proof of alleged price changes prior to approval of any price adjustments.</p> <p>*** BID MUST BE RECEIVED NO LATER THAN *** *** 2:00 PM EST ON MAY 30, 2018 ***</p> <p>SEALED BIDS: All bids must be delivered to the Purchasing Office in a sealed envelope on or before the time and date specified above. DO NOT email or fax your bid; such bids cannot be considered.</p> <p>PRE-BID CONFERENCE: A non-mandatory pre-bid conference will be held on. May 23, 2018 at 10:00 AM in the Development Resource Building, 1250 Market Street, 2nd Floor Conference Room, Chattanooga, TN</p> <p>NOTE: ALL BIDS MUST BE SIGNED All bids received are subject to the terms and conditions contained herein and as listed in the above referenced website. The undersigned Bidder acknowledges</p>					

BID SOLICITATION



City of Chattanooga
101 East 11th Street, Suite G13
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City of Chattanooga
 101 East 11th Street, Suite G13
 Chattanooga, TN 37402

Item	Class-Item	Quantity	Unit	Unit Price	Total
<p>having received, reviewed, and agrees to be bound to these terms and conditions, unless specific written exceptions are otherwise stated.</p> <p>Any manufacturer's names, trade names, brand names, or catalog numbers used in the specifications are for the purpose of describing and establishing general quality levels. Such references are not intended to be restrictive. Bids will be considered for any brand which meets or exceeds the quality of the specifications listed for any item.</p> <p>The City of Chattanooga reserves the right to reject any and/or all bids, waive any informalities in the bids received, and to accept any bid which in its opinion may be for the best interest of the city.</p> <p>The City of Chattanooga will be non-discriminatory in the purchase of all goods and services on the basis of race, color, or national origin.</p> <p>**** NOTE **** PLEASE PROVIDE US WITH THE FOLLOWING INFORMATION:</p> <p>Company Name _____</p> <p>Address _____</p> <p>Phone/Toll-Free No. _____</p> <p>Fax No. _____</p> <p>eMail Address _____</p> <p>Contact Person's Name _____</p> <p>Estimated Delivery _____</p> <p>Minority-Owned Business _____ Small Business _____ Veteran _____</p> <p>Minority Woman-Owned Business _____ Disabled Veteran _____</p> <p>Woman-Owned Business _____</p> <p>**** ALL ITEMS MUST BE QUOTED F.O.B. DESTINATION ****</p>					

NOTE: ALL BIDS RECEIVED ARE SUBJECT TO THE TERMS AND CONDITIONS

ALL BIDS MUST BE SIGNED – The undersigned offers the above quoted prices under the conditions contained herein.

The City is Exempt from all Federal and State Tax.
 Bids will be received at the above mentioned address.

COMPANY: _____

TERMS OF PAYMENT: _____

SIGNATURE: _____

TELEPHONE NUMBER: _____

NAME AND TITLE: _____

NAME AND TITLE: _____

Bid Sheet

Req# 169462 / Bid# 305114

Turf Management for Parks

<u>Site</u>	<u>Price for Annual Turf Management</u>
1. Coolidge Park	\$ _____
2. Renaissance Park	\$ _____
3. Ross' Landing	\$ _____
4. Chattanooga Green	\$ _____
5. Marina and Medians	\$ _____
6. Tennessee Aquarium Plaza	\$ _____
7. First Street	\$ _____
8. Hunter Museum & Veterans Bridge Southwest End	\$ _____
9. City Hall & City Council Building	\$ _____
10. Development Resource Center	\$ _____
11. Main Terrain Art Park	\$ _____
12. Miller Park – Estimated Completion July 2018	\$ _____
13. Champions Club Tennis Center	\$ _____
14. Bessie Smith Hall	\$ _____
15. Phillips Park	\$ _____
16. NW Corner 4th & Georgia	\$ _____
17. Volkswagen Drive	\$ _____
18. Hixson Youth Athletic Association Football Field	\$ _____
19. Southside Community Park	\$ _____

Other – Square Footage

1. Price per square foot for application (per treatment schedule)

\$ _____

2. Price per square foot for aerification

\$ _____

3. Price per square foot for seeding (High rated Turf-type Tall Fescue)

\$ _____

4. Price per square foot for fungicide application

\$ _____

5. Price per square foot for insecticide application

\$ _____

6. Price per square foot for supplemental fertilizer application

\$ _____

7. List other applications that are not listed that your company can and/or will provide and cost associated with that service:

Specifications for Turf Treatment at Selected City Parks

City of Chattanooga

I. Purpose

1. The City's objective is to produce a fine quality, healthy turf that will withstand moderately close mowing and heavy use by events and visitors. The desire is to have turf that is agronomical sound and tolerant of summer heat and humidity with minimum damage.

II. General

1. Contractor to furnish all necessary materials, equipment, labor, qualified supervision and insurance to selectively treat the specified areas for weed control and re-spray any regrowth at scheduled intervals. Contractor to furnish all necessary materials, equipment, labor, qualified supervision and insurance to fertilize the specified areas. Treatment and fertilization shall be completed on the same days. Thorough treatment and fertilization of all area under this contract shall be completed at least five (5) times annually with periods suggested in the specifications. Select sites will need to 1-2 additional fertilizer applications per growing season and should be priced accordingly. Exact treatment and fertilization dates will be recommended by Contractor and approved by City within the anticipated periods.
2. Contractor is responsible for any additional treatment necessary to maintain healthy, weed-free turf and grass areas during the contract period. Contractor shall provide additional treatments at no charge to City.
3. Contractor shall submit a list of all chemical herbicides and fertilizers proposed for usage under this contract with the bid documents and for approval by the City. Sample labels and material safety data sheets for each product on the list shall be attached to the submittal. In the event product change from the bid documents, no product shall be applied until its use is approved in writing by the City.
4. Records of all chemical application operations, training, authorizations, starting dates and times, methods of applications, chemical formulations, applicator's name and weather conditions at the time of application shall be made and retained in an active file for a minimum of one year.
5. All precautionary measures necessary to ensure public and worker safety shall be employed by the Contractor. Treatment shall be completed during the hours when the parks are closed, 11 PM to 7 AM. For larger parks adjacent to each other, treatment of all areas shall be completed in consecutive days.
 - i. Special events may require additional coordination of applications with Parks staff.

6. Herbicides used should be non-corrosive, non-flammable, and extremely low in toxicity and will be evaluated, registered and regulated by the EPA.
7. All chemicals shall be applied in accordance with the labeled directions. When climatic factors may cause problems of general containment of weed control or fertilizer materials, adjustment of the schedule may be necessary. Application of herbicides or fertilizers prior to forecast heavy rain events shall be avoided. All spraying shall be done only at times when there is little to no wind. Spraying shall be done with extreme care and every effort will be made to avoid overspray into areas bordering treatment areas.
8. All applications shall be made in accordance with federal, state and county requirements and to avoid all hazards to any person or any property damage.
9. Contractor's applicator(s) shall hold a valid Commercial Pesticide Applicator Certification that is needed to legally perform these duties. The Contractor must supply the City with a photocopy of the license(s).
10. Contractor will schedule specific time for the treatment in advance with Director of Park Maintenance in order to avoid programming issues within parks.
11. Contractor will annually run complete soil test analysis of each site to determine needs for nutrient program
12. The Director of Park Maintenance or his/her designee may, on occasion, adjust or change the fertilization specifications as a result of consultation with Contractor or recommendations of a horticultural soils and plant laboratory report for each site. The Contractor shall supply and transport all required fertilizers as a part of his/her contract costs.
13. Select sites will include additional bid pricing for annual aerification and seeding

III. Weed Control

1. Contractor shall be responsible for providing a continuous weed control program for all turf areas under this contract. Weed control shall include removal of "any undesirable or misplaced plant." Weed control in the parks shall be continuous and consist of selective weed control. Weeds shall be completely killed, including rhizomes, roots, stolons and bulbs.
2. Herbicide treatments must not harm desirable turf.
3. All chemicals shall be applied in accordance with the labeled directions and the requirements of the Tennessee Department of Agriculture. In no case will restricted use materials be permitted.

IV. Fertilization

1. Contractor shall be responsible for providing a continuous turf fertilization program. Turf shall be fertilized in a manner to promote healthy turf growth in accordance with the usage and wear that the areas receive. Contractor will fertilize turf areas as per the maintenance specifications attached.
2. Complete fertilizers shall be granular in composition and contain 30% to 50% or more of the nitrogen in a slow- or controlled-release form. The ratio of nitrogen to potash will approximate 1:1 or 2:1 for complete fertilizer formulations (Examples: 15-5-15, 16-4-8, 15-0-15, 12-2-14, 14-3-14). The exact composition of the fertilizer shall be determined on the basis of good industry practice combined with soil testing (see item 2.3.). While nitrogen fertilization is based on the desired growth rate and type of turfgrass being grown, the phosphorus fertilization rate should be based on the analysis of a lawn soil sample and the recommendations obtained from it. The fertilizer shall also contain magnesium and micro-nutrients (i.e., manganese, iron, zinc, copper, etc.). Iron shall be in the sulfate, sucrate or chelated form.
3. Note on Method of Application: If making application of fertilizer granules, caution shall be taken to contain these materials in the planting areas. Use of cyclone spreaders that tend to throw material into paved areas, plant beds and other unintended areas shall be avoided. Use gravity flow spreaders whenever possible to keep material contained in turf areas. Fertilizer will be swept off of all playgrounds, any hard surfaces, walks and drives onto lawns or beds.
4. Contractor will apply fertilizers at the appropriate season and when rain is anticipated within 24 hours. If irrigation is available, the Contractor shall coordinate with Parks staff.
5. All chemicals shall be applied in accordance with the labeled directions and the requirements of the Tennessee Department of Agriculture. In no case will restricted use materials be permitted.

V. Turf Aerification

1. Turfgrass should be actively growing and not under stress during aerification. At least one core aerification shall be performed in a growing season.
2. Aeration cores shall be incorporated back into soil following aerification.

VI. Overseeding

1. Overseed thin, bare areas as grass begins to respond to cooler temperatures in September and early October.
2. Use a blend of tall fescue cultivars highly rated by NTEP at 6 pounds per 1000 square feet.
3. Overseeding should be done post Fall aerification or mechanical seeder shall be utilized to get good seed to soil contact

VII. Reporting

1. Periodic reports, on a form developed by the Contractor and approved by the City's designated representative, of applications shall be provided to the Director of Parks or his/her designee after each treatment.

VIII. Payment

1. Payment shall be in accordance with the City's normal policies and procedures.
2. The Contractor shall submit an invoice for completed work after an inspection of work has been performed and any all deficiencies corrected to the administrative offices at Park Maintenance Division, 1503 Middle St, Chattanooga, TN 37402.

IX. Inspection Procedure

1. The Park Maintenance Division phone number or email shown here are the only acceptable contacts to request an inspection.
2. Contractors must call or e-mail a list of serviced locations on the date of service. When Contractors contact to verify a completed service location, they must give a brief, detailed message about the completed service location as well as the date and time completed. The description of the service location must match the location on bid sheet by name.
3. The inspector will then verify the location has been completed. If the inspector encounters a problem or has questions with the service location, he/she will take notes and digital photographs, then forward the information to the Director of Park Maintenance to determine a resolution.
4. Inspectors will not inspect locations if the Contractor has not called or e-mailed in on the service date. Inspectors will document that Contractor did not call or e-mail in on the service date and in turn will not visit and verify the service location. If the inspector is unable to identify each location, the contract amount will not be paid.
5. Invoices should not be mailed to the City for payment until all locations on the invoice have been treated.
6. The below phone number or email address shall be used for all correspondences. If contractors have questions regarding the contract, they should make contact through the avenues.
7. Contact information: James Bergdoll, Director of Park Maintenance, (423) 643-6122 or jbergdoll@chattanooga.gov.

X. Sites for Turf Treatment

1. Coolidge Park – Bermudagrass,
2. Renaissance Park – mostly Bermudagrass
3. Ross’s Landing Park – Bermudagrass,
4. City Marina and Riverfront Pkwy medians - mixed, mostly bermudagrass
5. Chattanooga Green – bermudagrass
6. Tennessee Aquarium Plaza – Fescue
7. Tennessee Riverwalk Greenway (Downtown)
 - i. First Street – mixed grasses
 - ii. Hunter – mostly bermudagrass
 - iii. Veterans Bridge – Southwest end – Mostly bermudagrass
8. City Hall & City Council Building – cool season, fescues
9. Development Resource Center (DRC) – mixed turf species
10. Main Terrain Art Park – cool season,
11. Miller Park – Estimated completion July 2018
12. Champions Club Tennis Center - Zoysiagrass
13. Bessie Smith Hall - Zoysiagrass
14. Phillips Park - bermudagrass
15. NW Corner 4th & Georgia – mixed grasses
16. Volkswagen Drive – bermudagrass
17. Hixson Youth Athletic Association Football Field – Bermudagrass

XI. Additional

1. The Contract Bid shall be priced for annual treatment per location and will be awarded based on annual cost per site.
2. Available funds will determine which sites are selected for treatment. City staff will notify winning bidders of any sites that cannot be treated because of lack of funding.
3. Approximate areas of turf treatment are included in the bid sheet. These figures are only estimates. Contractor is responsible for inspecting all sites to determine appropriate treatment and ensure bid price is accurate.

Recommended Turf Maintenance Calendars

Bermudagrass Maintenance Calendar

This calendar of suggested management practices is designed to be a general guide in the care of your bermudagrass lawn. Many factors such as location, soil type, and microenvironment will affect the performance of your lawn. For these reasons, the following management practices and dates may need to be adjusted to suit your particular home lawn conditions.

March Through May

Fertilizing: The first application of fertilizer to bermudagrass should be made in spring when the grass is 50% green OR when soil temperatures are above 65 degrees. Apply 1 pound of nitrogen (N) per 1,000 square feet several weeks after complete green-up. Submit a soil sample to determine nutrient and lime requirements. In the absence of a soil test, use a slow-release, complete nitrogen-phosphorus-potassium (N-P-K) turf fertilizer with a 4-1-2 ratio such as 16-4-8. Apply other nutrients if suggested.

Weed Control: Apply preemergence herbicides to control summer annual weeds when forsythia or redbuds are in full bloom. Apply postemergence herbicides in May as needed to control summer annual and perennial broadleaf weeds. Be sure that the product is labeled for use on bermudagrass. Postemergence herbicides are applied when weeds are present, and at least three weeks after the lawn has greened up.

Thatch Removal: Vertically mow in May to remove the thatch after the lawn becomes green, but only if the thatch is more than ½-inch thick. After dethatching, irrigate with ¾ to 1 inch of water. Fertilize with 1 pound of N per 1,000 square feet if the lawn has not already been fertilized.

Renovation: Replant large bare areas using sod or sprigs (3 to 5 bushels per 1,000 square feet). Common bermudagrass can be seeded using hulled bermudagrass at 1 to 2 pounds per 1,000 square feet. Do not seed hybrid bermudagrass lawns with common bermudagrass. Use sod or sprigs of the existing hybrid instead.

June Through August

Fertilizing: Apply ½ to 1 pound of N per 1,000 square feet for a total of 1 to 4 applications during the growing season. Space fertilizer applications 4 to 8 weeks apart using a combination of quick and slowrelease nitrogen (N). Apply other nutrients based on soil test results. Do not apply fertilizer during drought stressed grass.

Insect Control: August is the best time to control white grubs because they are small and close to the soil surface. Mole crickets will begin to hatch in June. Use a soap flush technique to determine if mole crickets are present. Insect Control shall be on an as needed basis, curative applications only

Weed Control: Apply postemergence herbicides as needed to control summer annual and perennial weeds.

Thatch Removal: Vertically mow to remove the thatch if it is more than ½ inch thick. It normally is best to vertically mow in spring whenever possible.

Aerification: Loosens compacted soil and increases the availability of water and nutrients. Enhances oxygen levels in the soil, stimulating root growth and enhancing the activity of thatch-decomposing organisms. Regular decompaction also reduces water runoff, increases the lawn's drought tolerance, and improves its overall health. Bermudagrass should be actively growing and not under stress during aerification. 2-3 aerifications shall be performed in a growing season. Aeration cores shall be incorporated back into soil following aerification.

September through November

Fertilization: In September, if a soil test reports deficient potassium (K) levels, apply 1 pound of potash (K₂O) per 1000 square feet, using muriate of potash (0-0-60), potassium sulfate (0-0-50), or Sul-Po-Mag (0-0-22).

Weed Control: Apply preemergence or postemergence herbicides as needed to control winter annual and perennial broadleaf weeds. Preemergence herbicides are most effective when applied as nighttime temperatures drop into the upper 50s. Preemergence herbicides do not control existing perennial weeds. Apply postemergence herbicides only when weeds are present. Do not apply herbicides designed to control annual bluegrass if the lawn is to be overseeded with ryegrass.

Insect Control: Continue to monitor for white grubs and control if necessary.

December through February

Fertilization: Do not fertilize bermudagrass that has not been overseeded.

Weed Control: Apply broadleaf herbicides as needed to control winter weeds such as chickweed, henbit, and hop clover. Selective herbicides can be applied in November or December to lawns that have not been overseeded to control annual bluegrass (*Poa annua*) and several winter annual broadleaf weeds. Non-Selective herbicides can be used to clean out winter weeds on dormant bermudagrass, this should be done in late February.

Tall Fescue Maintenance Calendar

This calendar of suggested maintenance practices is designed to be a general guide in the care of your fescue lawn. Location, soil type, health of lawn, and other factors affect turf performance. For these reasons, the following management practices and dates should be adjusted to suit your particular home lawn conditions.

March through May

Fertilizing: Do not fertilize tall fescue after April 15.

Weed Control: Apply preemergence herbicides to control crabgrass, goosegrass, dallisgrass, foxtail and other annual weeds. Apply when forsythia or dogwoods are in bloom.

June Through August

Fertilizing: Do not fertilize fescue at this time. Submit a soil sample to your local extension office to determine nutrient requirements.

Weed Control: Avoid the use of herbicides at this time. Fescue stressed by drought and high temperatures is more susceptible to herbicide damage.

Insect Control: Check for grubs in August and control if necessary.

September Through November

Fertilizing: Apply 1 pound of actual nitrogen per 1000 square feet in September and, optionally again in November.

Weed Control: Apply broadleaf herbicides to control dandelions, wild onions, cudweed, and other weeds if necessary. Check product labels carefully because some herbicides may affect newly seeded turf.

Insect control: Check for white grubs through October and control if necessary.

Aerification: Core aerify lawns subject to heavy traffic or on clay soils to minimize compaction and improve rooting. Break up plugs.

Renovation: Overseed thin, bare areas as grass begins to respond to cooler temperatures in September and early October. Use a blend of tall fescue cultivars at 6 pounds per 1000 square feet. Apply a starter fertilizer with high phosphorus at time of seeding. Keep seedbed moist with light, frequent sprinklings several times a day to ensure good germination.

Thatch Removal: It is not necessary to remove thatch with most tall fescue lawns.

December Through February

Fertilizing: Fertilize with 1 pound of actual nitrogen per 1000 square feet in February. In the absence of soil test results, use a complete turf-grade fertilizer with a 4-1-2 ratio.

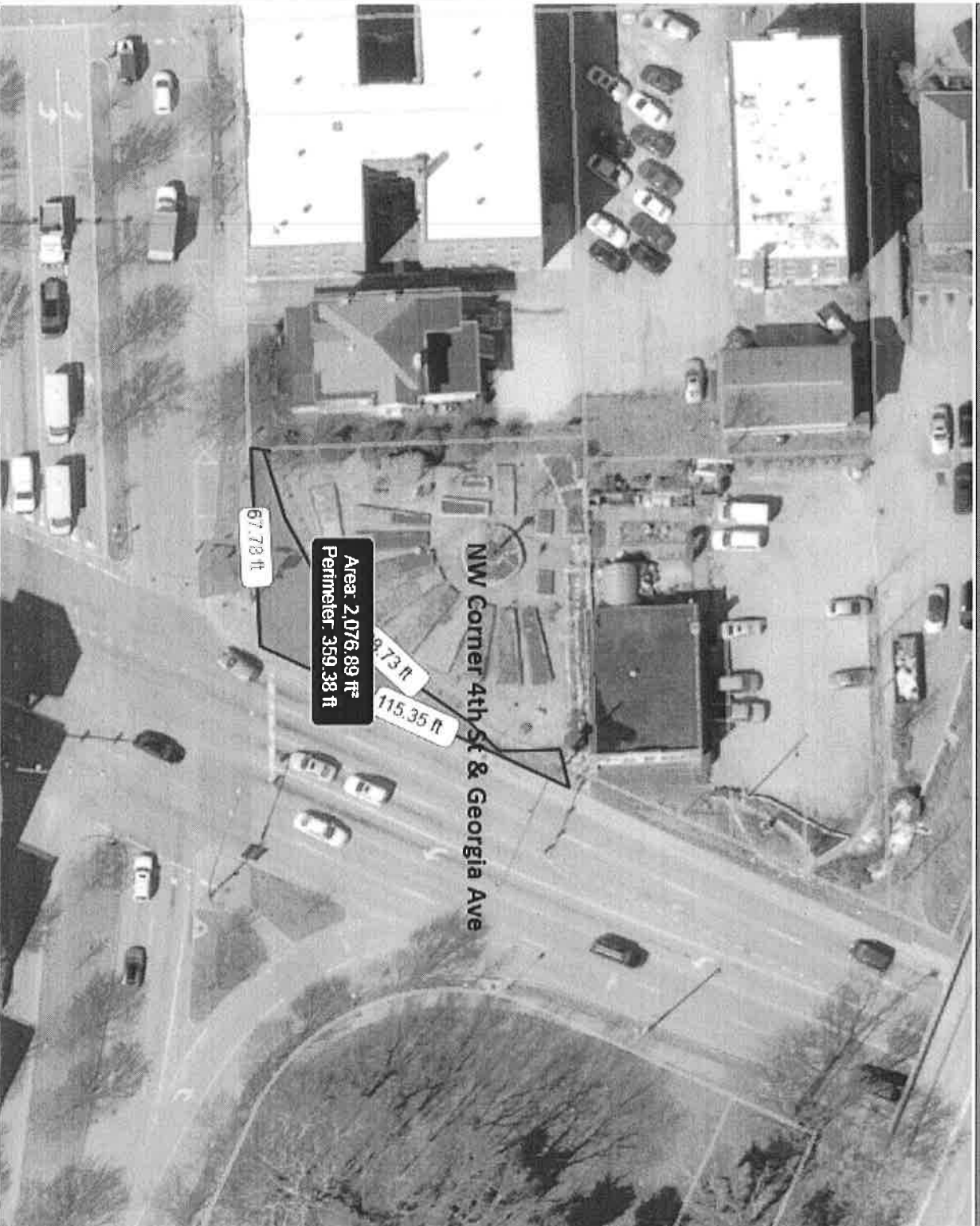
Weed Control: Apply broadleaf herbicides as necessary for control of chickweed, henbit or other weeds.

Typical Schedule of Turf Treatment and Fertilization		
#	Period	Treatment and Fertilization Types
1	Jan 15 - Feb 15	winter fertilization, broadleaf and grassy weed control, preemergent weed control
2	Mar 15 - Apr 15	fertilization, broadleaf weed control, preemergent weed control
3	May 1 - Jun 1	fertilization, zone treat broadleaf and grassy weeds, rye grass removal at this time
4	Jun 1 - July 1	additional fertilization, high use bermudagrass, 4-8 weeks
5	July 1 - Aug 1	additional fertilization, high use bermudagrass, 4-8 weeks
6	Aug 15 - Sep 15	preemergent weed control, fertilization, zone treat for weeds
7	Oct 15 - Nov 15	grassy weed control, broadleaf weed control

Location	Description	Address	Approx Area (sq. ft.)
1	Coolidge Park	150 River St	257,693
2	Renaissance Park	100 Manufacturers Rd	118,652
3	Ross's Landing Park	150 Riverfront Pkwy	216,416
4	Chattanooga Green	100 Chestnut	45,000
5	Marina and Medians	201 Riverfront Pkwy	30,629
6	Tennessee Aquarium Plaza	1 Broad St	30,230
7	First Street	145 Cherry St	6,130
8	Hunter Museum & Veterans Bridge – Southwest end	10 Bluffview	31,862
9	City Hall & City Council Building	100 E 11th Street	2506
10	Development Resource Center (DRC)	1250 Market Street	2,000
11	Main Terrain Art Park	450 West 13th Street	56,746
12	Miller Park – Estimated completion July 2018	928 Market Street	25,000
13	Champions Club Tennis Center	1096 Lupton Drive	75,184
14	Bessie Smith Hall	200 E MLK Blvd	34,000
15	Phillips Park	700 Georgia Avenue	20,000
16	NW Corner 4 th & Georgia	400 Georgia	2,100
17	Volkswagen Drive	See map	
18	Hixson Youth Athletic Association Football Field	5410 School Drive	78,000
19	Southside Community Park	3501 Central Avenue	200,000
other			
20	Price per Square Foot for application (per treatment schedule)		
21	Price per Square Foot for aerification		
22	Price per Square Foot for seeding (High rated Turf-Type Tall Fescue)		
23	Price per Square Foot for fungicide application		
	Price per Square Foot for insecticide application		
	Price per Square Foot for supplemental fertilizer application		
	Miscellaneous		

[illegible]

GISMO 5



Legend
□ Parcels

Disclaimer: This map is to be used for reference only, and no other use or reliance on the same is authorized. This map was automatically generated using HGIS Mapping System. Parcel lines are shown for reference only, and are not intended for conveyances, nor is it intended to substitute for a legal survey or property abstract.

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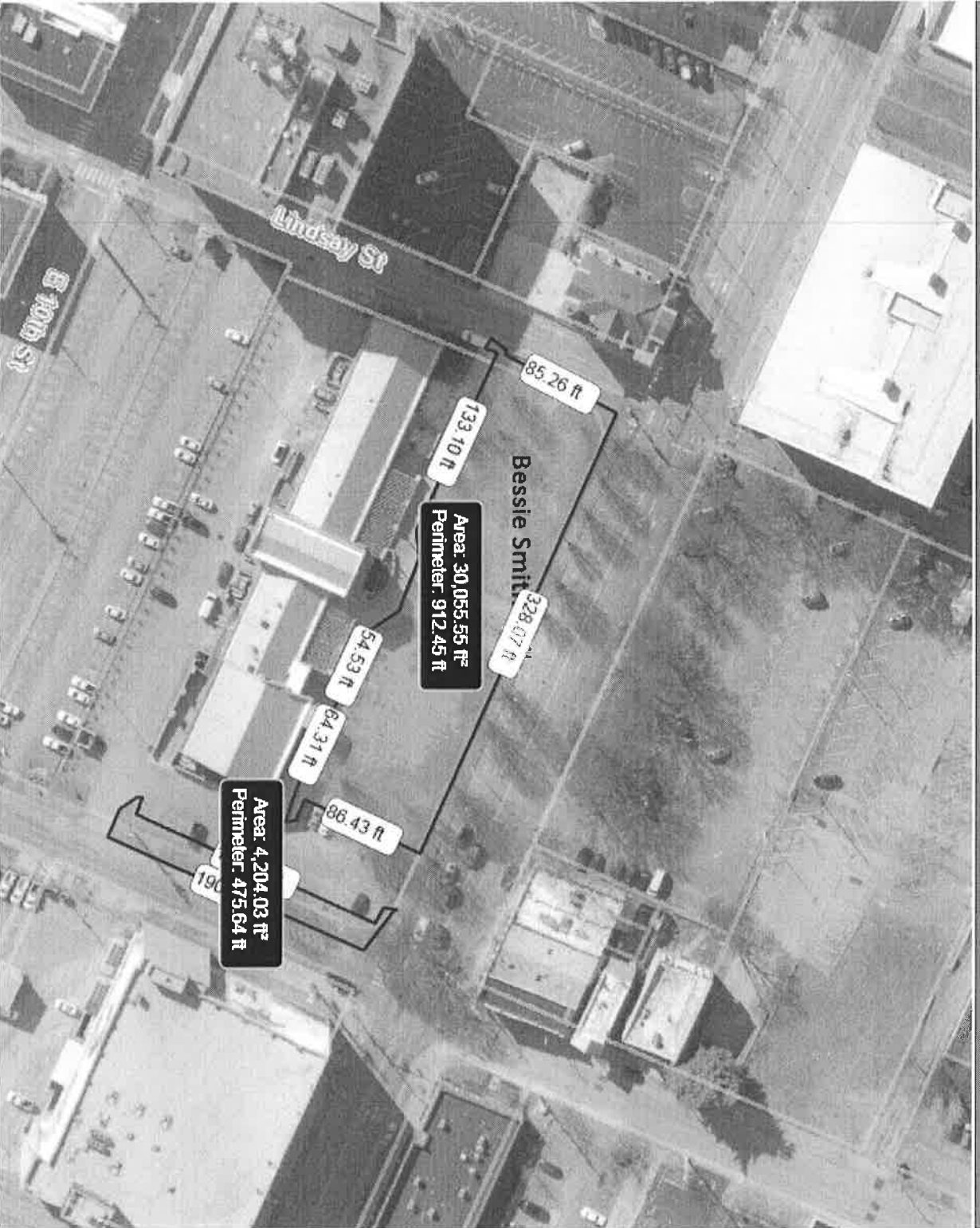
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GISMO 5



Legend
□ Parcels

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NAD_1983 StatePlane_Tennessee_FIPS_4100_Feet
Latitude Geographics Group Ltd.

Disclaimer: This map is to be used for reference only, and no other use or reliance on the same is authorized. This map was automatically generated using HCGIS Mapping System. Parcel lines are shown for reference only and are not intended for conveyance, nor is it intended to substitute for a legal survey or property abstract.

Champions Club

Total Square Footage: 75,183.59



GISMO 5



Legend

□ Parcels

NAD, 1983, StatePlane, Tennessee, FIPS_4100, Feet
Latitude Geographics Group Ltd.

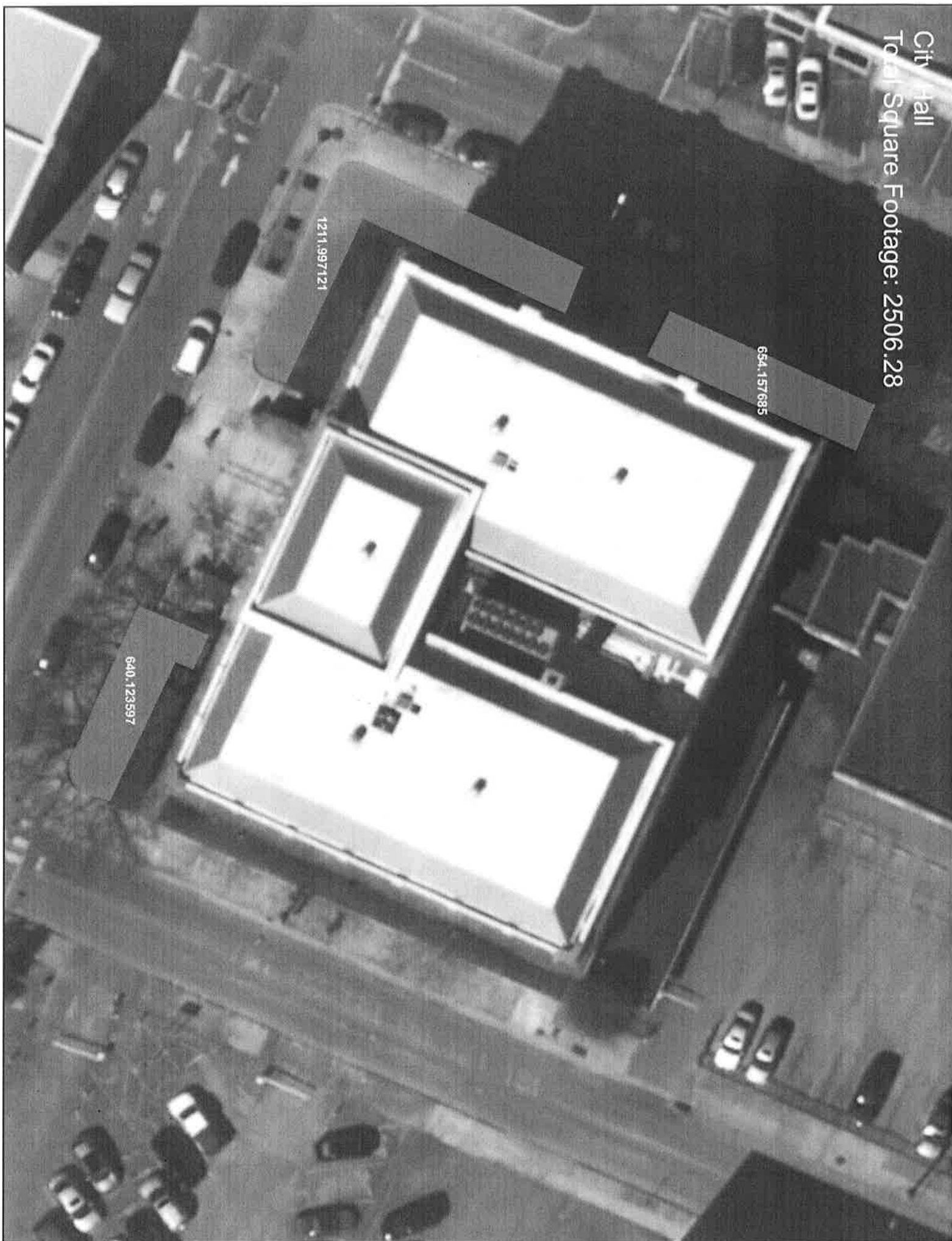
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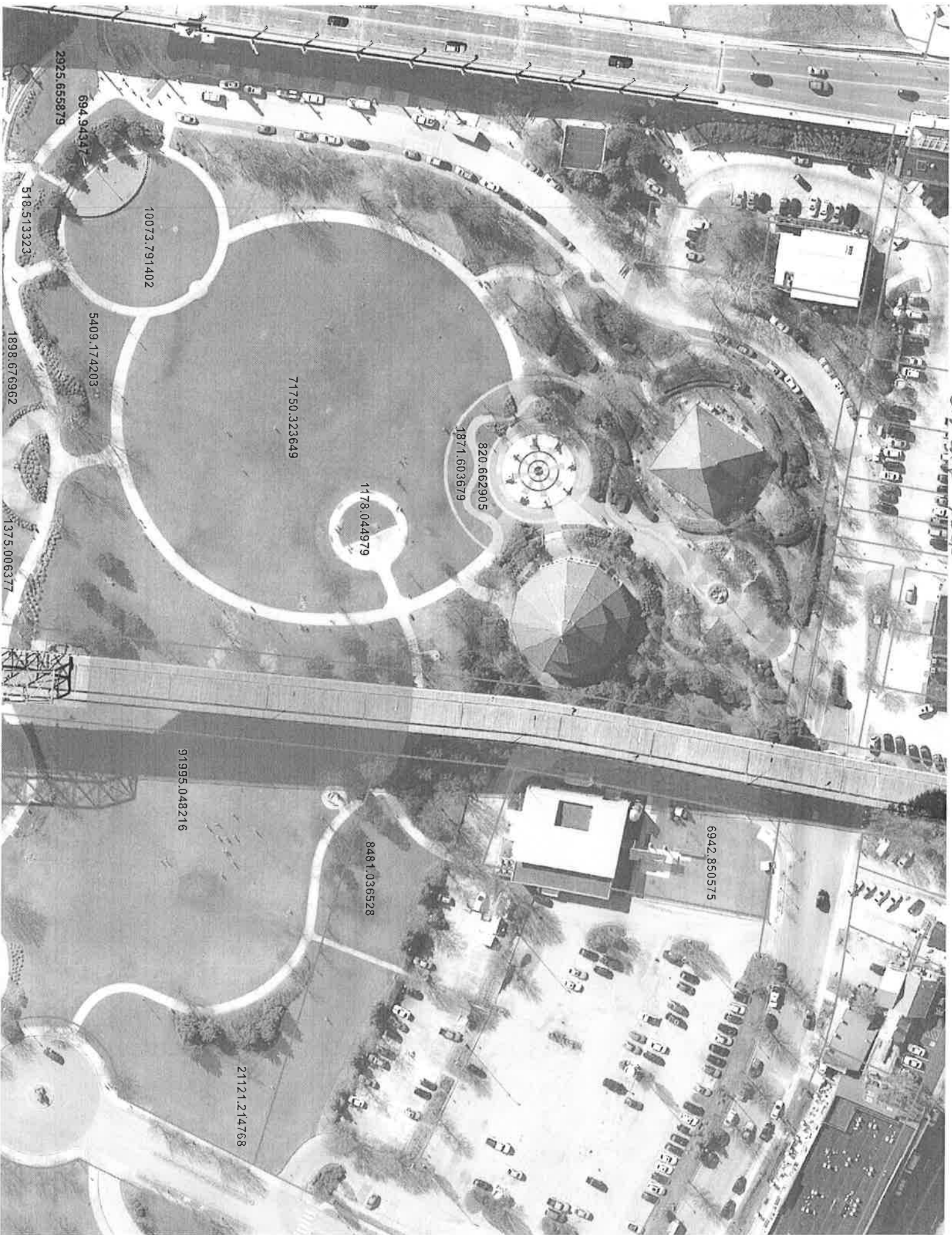
City Hall
Total Square Footage: 2506.28

654,157/685

1211,997/121

640,123/597





Crash Test

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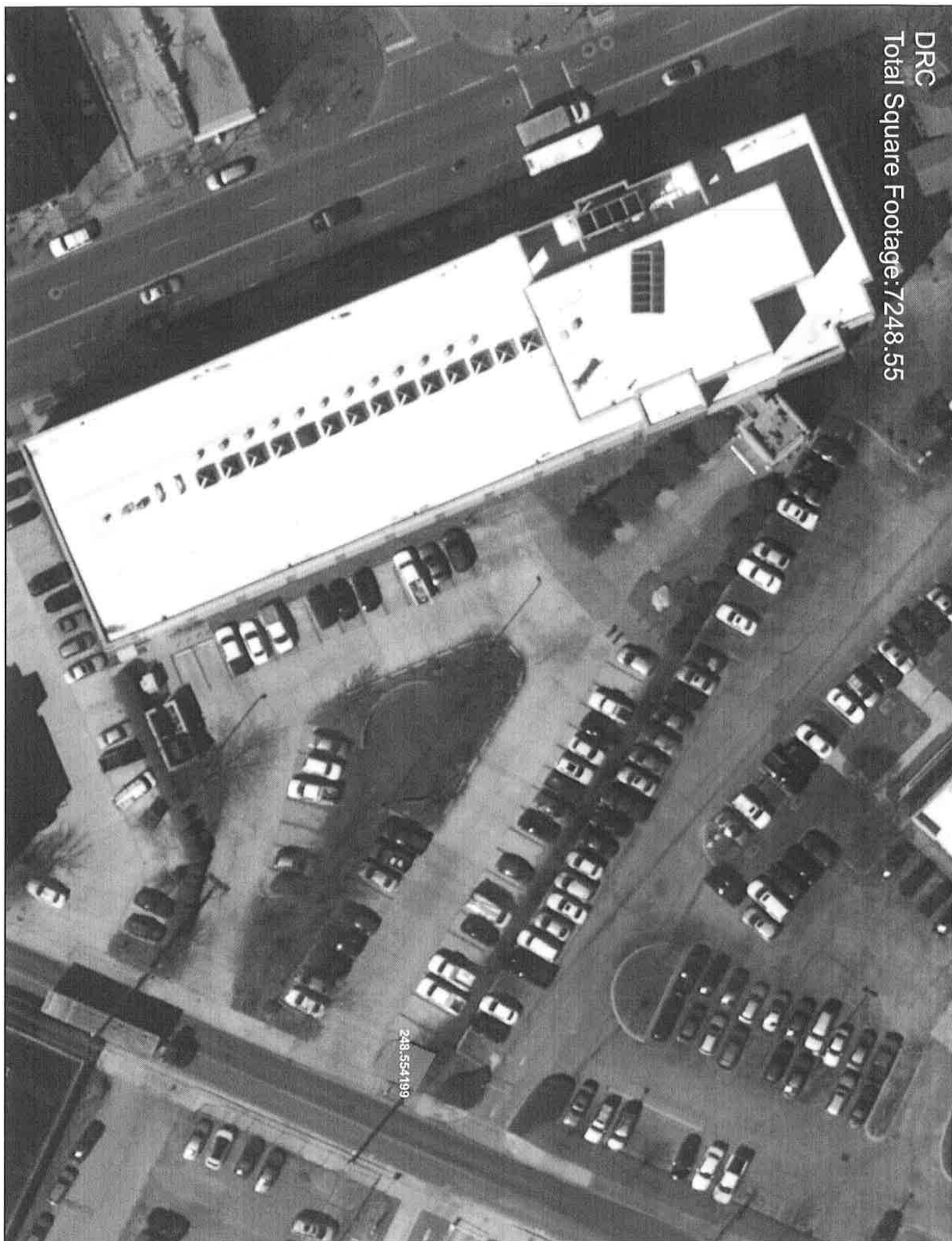
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21121.214768

6942.850575

DRC
Total Square Footage: 7248.55

248.554199



First Street
Total Square Footage:6129.62



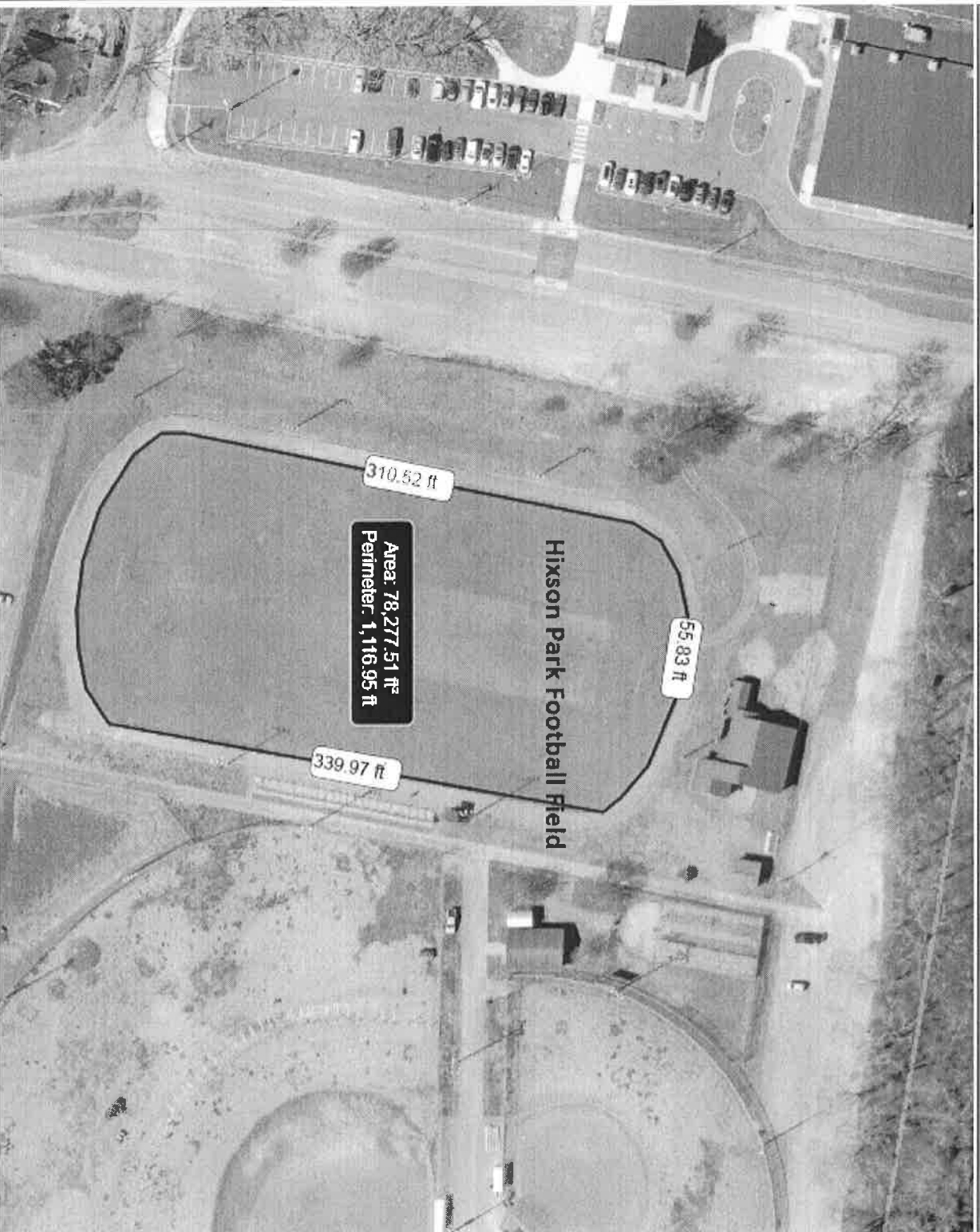
1139.35583

1271.689757

1032.765791

2685.810935

GISMO 5



0 100.00 200.00 Feet

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
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Legend

□ Parcels

Hunter Museum
Total Square Footage: 31,860 sq. ft.

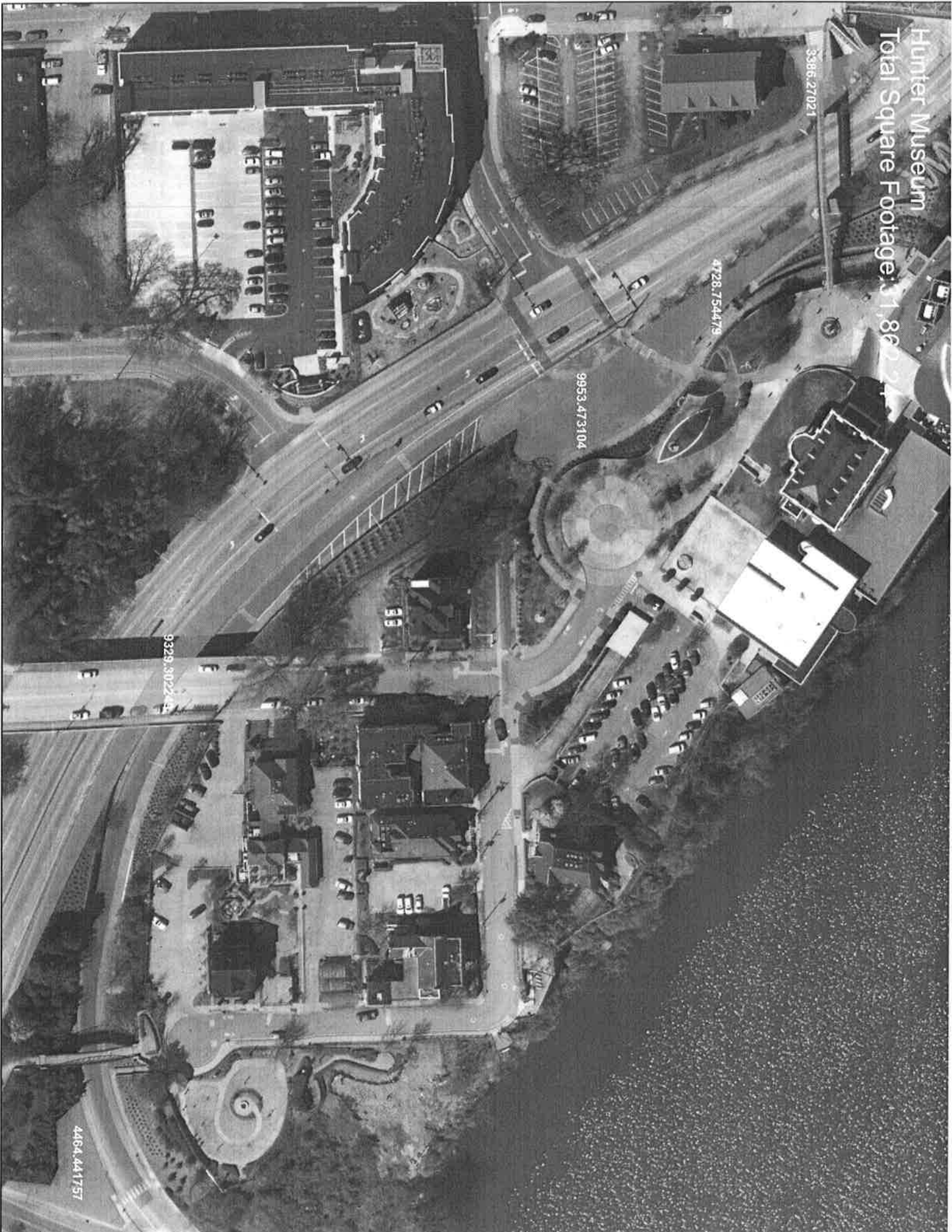
3386.27021

4728.754479

9953.473104

9329.30224

4404.441757



Main Terrain
Total Square Footage: 56,745.55



Marina
Total Square Footage:30,629.89



Miller Park
Total Square Footage: 16,383.07

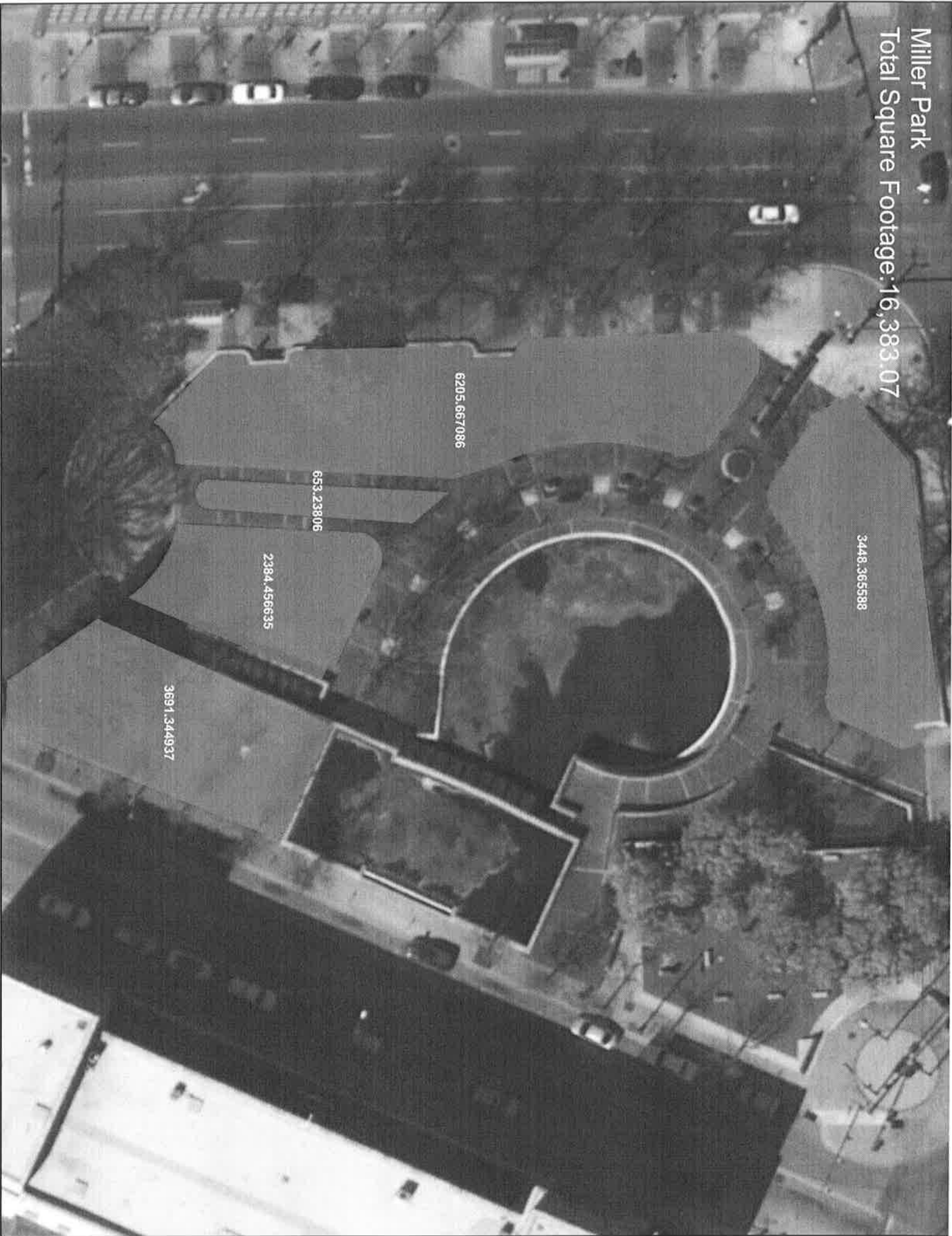
3448.365588

6205.667086

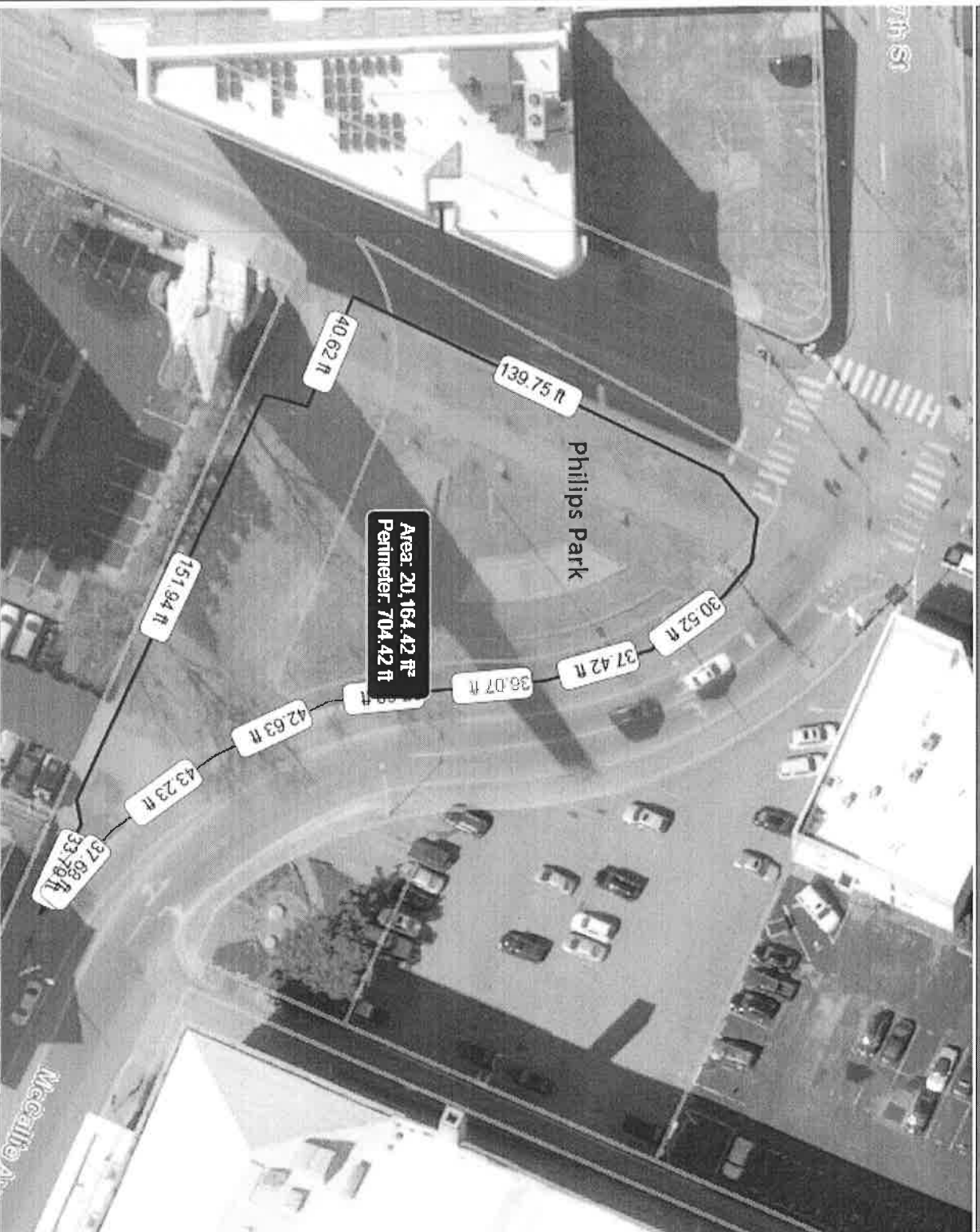
653.23806

2384.456635

3691.344937



GISMO 5



0 50.00 100.00 Feet

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
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Legend
☐ Parcels

Wapamano

7594.865317

9196.71341

7811.084288

3186.470508

38683.311436

2216.165111

1969.747135

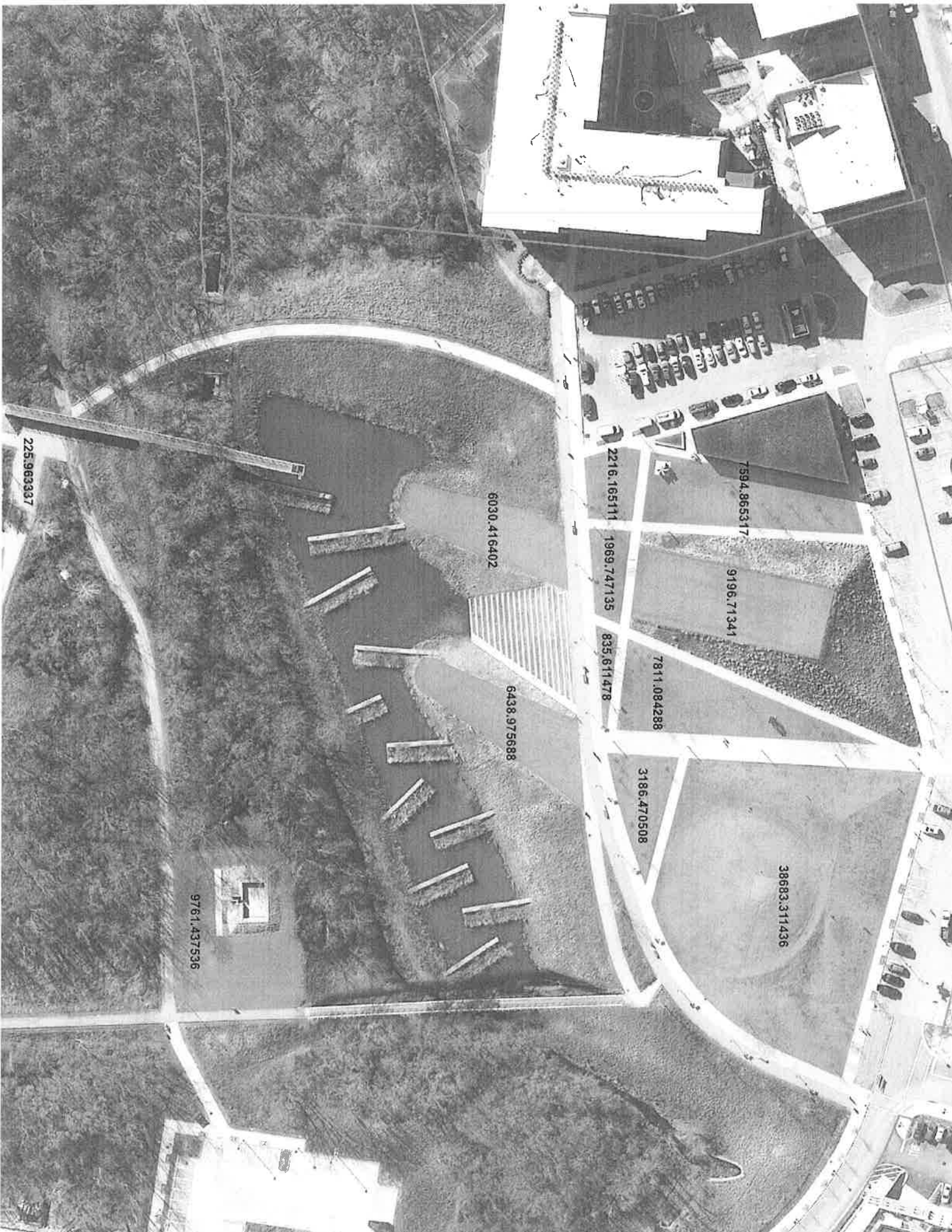
835.611478

6030.416402

6438.975688

9761.437536

225.963337





Ross's Landing 2.jpg

4/10/2018

Small parking

30082.153607

26923.442571

50133.667988

17105.0151

1773



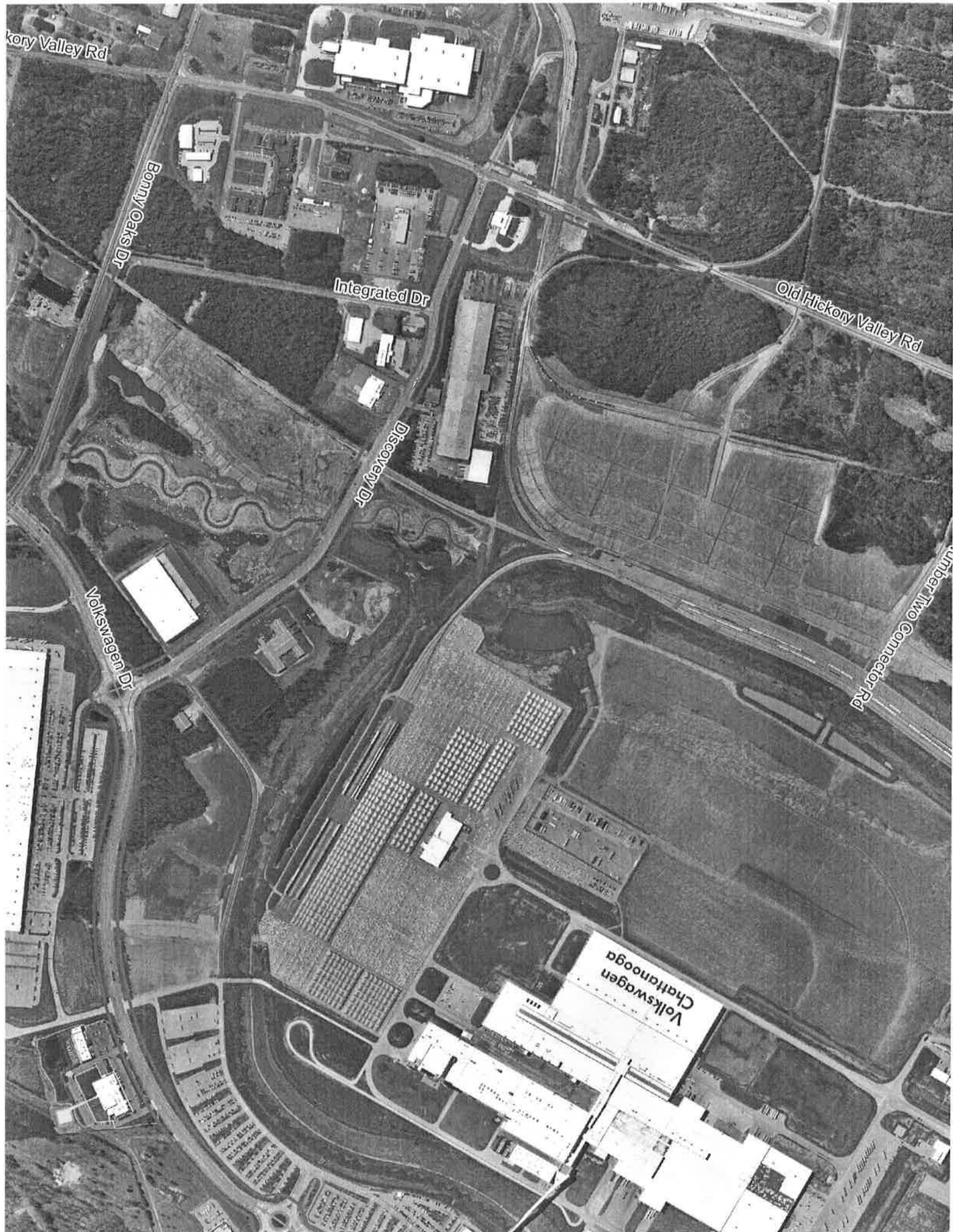
GISMO 5



Legend

□ Parcels

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Affirmative Action Plan

The City of Chattanooga is an equal opportunity employer and during the performance of this Contract, the Contractor agrees to abide by the equal opportunity goals of the City of Chattanooga as follows:

1. The Contractor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or handicap. The Contractor will take affirmative action to ensure that applicants are employed, and the employees are treated during employment without regard to their race, color, religion, sex, national origin, or handicap. Such action shall include, but not be limited to, the following: employment, upgrading, demotion, or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay, or other forms of compensation, and selection for training, including apprenticeship. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.
2. The Contractor will, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin, or handicap.
3. The Contractor will send to each labor union or representative of workers with which he/she has a collective bargaining agreement or other contract or understanding, a notice advising the said labor union or workers' representatives of the Contractor's commitments under this section, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.
4. In all construction contracts or subcontracts in excess of \$10,000 to be performed for the City of Chattanooga, any contractor and/or subcontractor is further required to file in duplicate within ten (10) days of being notified that it is the lowest responsible bidder, an affirmative action plan with the EEO Director of the City of Chattanooga. This plan shall state the Contractor's goals for minority and women utilization as a percentage of the work force on this project.
5. This Plan or any attachments thereto shall further provide a list of all employees annotated by job function, race, and sex who are expected to be utilized on this project. This plan or attachment thereto shall further describe the methods by which the Contractor or Subcontractor will utilize to make good faith efforts at providing employment opportunities for minorities and women.

During the term of this contract, the Contractor upon request of the City, will make available for inspection by the City of Chattanooga copies of payroll records, personnel documents and similar records or documents that may be used to verify the Contractor's compliance with these Equal Opportunity provisions.

6. The Contractor will include the portion of the sentence immediately preceding paragraph 1 and the provisions of paragraphs 1 through 6 in every subcontract so that such provisions will be requested of each subcontractor. The Contractor agrees to notify the City of Chattanooga of any subcontractor who refuses or fails to comply with these equal opportunity provisions. Any failure or refusal to comply with these provisions the Contractor and/or Subcontractor shall be a breach of this contract.

(Signature of Contractor)

(Title and Name of Construction Company)

(Date)

REQUIREMENTS FOR INSURANCE COVERAGE

The Contractor shall not commence work under these Contract Documents until he has obtained all insurance required herein nor shall the Contractor allow any Subcontractor to commence work on his subcontract until similar insurance required of the Subcontractor has been obtained by the Subcontractor. Insurance shall be placed by the Contractor with one or more insurance carriers licensed to do business in the State of Tennessee. Each insurance policy shall be renewed ten (10) days before the expiration date of the policy.

Certificates of Insurance shall be filed with the City prior to commencement of the work. These certificates shall contain a provision that coverage's afforded under the policies will not be changed or canceled unless at least fifteen (15) days' written notice has been given to the City. The Contract shall not be binding upon the City until the insurance coverage required herein has been obtained and certificates have been filed with the City.

Adequate insurance coverage shall be maintained by the Contractor at all times. Failure to maintain adequate coverage shall not relieve the Contractor of any responsibilities or obligations under these Contract Documents. In the event any insurance coverage is canceled or allowed to lapse, the Contractor will not be permitted to prosecute the work until adequate and satisfactory insurance has been obtained and Certificates of Insurance furnished to the City. Failure to keep insurance policies in effect will not be cause for any claims for extension of time under these Contract Documents.

All such policies shall be subject to approval by the City Attorney. Should the City Attorney at any time in his sole discretion determine that the insurance policies and certificate provided may not be sufficient to protect the interests of the City because of the insolvency of the insurance company or otherwise, the Contractor shall replace such policies with policies meeting his approval.

The Contractor shall procure and maintain at his own expense, during the Contract Time, insurance as hereinafter specified:

Workmen's Compensation Insurance that shall protect the Contractor against all claims under applicable state workmen's compensation laws shall be maintained. The Contractor shall also be protected against claims for injury, disease or death of employees which, for any reason, may not fall within the provisions of a workmen's compensation law. This policy shall also include an endorsement providing coverage in all States in which work is performed. The Contractor shall require all the Subcontractors to provide similar Workmen's Compensation Insurance for all the Subcontractors' employees on the work unless such employees are covered by the protection afforded by the Contractor. The liability limits shall not be less than that required by statute.

General Public Liability and Property Damage Insurance that shall be written in comprehensive form and shall protect the Contractor against all claims arising from injuries including death, to members of the public or damage to property of others arising out of any act or omission of the Contractor or his agents, employees, or Subcontractors. In addition, this policy shall specifically insure the contractual liability assumed by the successful bidder to defend and indemnify the City of Chattanooga against such claims or suits.

To the extent that the work may require blasting, explosive conditions or underground operation, the comprehensive general public liability and property damage coverage shall contain no exclusion relative to blasting, explosion, collapse of buildings, or damage to underground property.

The comprehensive general public liability and property damage coverage shall also protect the Contractor against all claims from damage to:

1. Private driveways, walks, shrubbery and plantings;
2. Public utility facilities; and
3. U.S Government monuments.

The liability limits shall not be less than:

Bodily Injury	\$ 500,000 each person \$1,000,000 each occurrence
Property Damage	\$ 250,000 each occurrence \$ 500,000 aggregate

The general public liability and property damage insurance shall carry an endorsement in form satisfactory to the City to the effect that the Contractor shall save harmless the City from any claims and damages whatsoever, including patent infringement. General public liability and property damage insurance shall be kept in force at all times during the course of the work until such time as the work covered by these Contract Documents has been completed and accepted by the City.

Comprehensive Motor Vehicle Liability and Property Damage Insurance that shall be written in comprehensive form and shall protect the Contractor against all claims for injuries to members of the public and damage to property of others arising from the use of motor vehicles, and shall cover operation on or off the site of all motor vehicles licensed for highway use, whether they are owned, non-owned, or hired.

The liability limits shall not be less than:

Bodily Injury	\$ 250,000 each person \$ 500,000 each occurrence
Property Damage	\$ 100,000 each occurrence

Chapter No. 817 (HB0261/SB0377). "Iran Divestment Act" enacted.
Vendor Disclosure and Acknowledgement

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of its knowledge and belief that each bidder is not on the list created pursuant to § 12-12-106.

(SIGNED)

(PRINTED NAME)

(BUSINESS NAME)

(DATE)

For further information, please see website:

https://www.tn.gov/assets/entities/generalservices/cpo/attachments/List_of_persons_pursuant_to_Tenn._Code_Ann._12-12-106,_Iran_Divestment_Act-July.pdf

No Contact/No Advocacy

Notice Receipt

City of Chattanooga

Purchasing Division

For Submission with Sealed Bid Solicitation Responses:

_____ (Vendor Agent name), states that:

(1) He/She is the owner, partner, officer, representative, or agent of _____

_____ (Business name), the Submitter of the

attached sealed solicitation response to Solicitation # _____, and said

Business has taken notice, and will abide by the following No Contact and No Advocacy clauses:

NO CONTACT POLICY: After the posting of this solicitation, a potential submitter is prohibited from directly or indirectly contacting any City of Chattanooga representative concerning the subject matter of this solicitation, unless such contact is made with the Purchasing Division.

NO ADVOCATING POLICY: To ensure the integrity of the review and evaluation process, companies and/or individuals submitting sealed solicitation responses, as well as those persons and/or companies formally/informally representing such submitters, may not directly or indirectly lobby or advocate to any City of Chattanooga representative.

Any business entity and/or individual that does not comply with the No Contact and No Advocating policies may be subject to the rejection or disqualification of its solicitation response from consideration.

Submitter Signature:

Printed Name:

Title: _____

Date: _____