

# **OJAI UNIFIED SCHOOL DISTRICT**

**BID ADDENDUM NO. 1** 

ISSUED 11/20/2018

# TO THE CONTRACT DOCUMENTS, SPECIFICATIONS AND PLANS FOR OJAI UNIFIED SCHOOL DISTRICT

# REPAINTING PROJECT AT MIRA MONTE ELEMENTARY SCHOOL PROJECT NO. 2018-1206

THE BIDDER SHALL ATTACH THE ADDENDUM TO THE DOCUMENTS SUBMITTED WITH THE BID TO OJAI UNIFIED SCHOOL DISTRICT TO CERTIFY THAT THE BID ADDENDUM INFORMATION WAS RECEIVED.

# BID DUE DATE: 10:00 am (local) December 6, 2018

The following additions, modifications, corrections, deletions and clarifications are hereby made to the Contract Documents of the subject Project and constitute **Addendum Number 1**. This Addendum is hereby incorporated into the contract documents by reference.

### I. RESPONSES TO REQUESTS FOR INFORMATION

N/A

#### II. GENERAL INFORMATION

A. Contract Documents

No Change.

REPAINTING PROJECT AT MIRA MONTE ELEMENTARY PROJECT NO 2018-1206

ADDENDUM NO. 1



#### III. REVISED SPECIFICATIONS AND DRAWINGS

# A. Specifications - All Projects

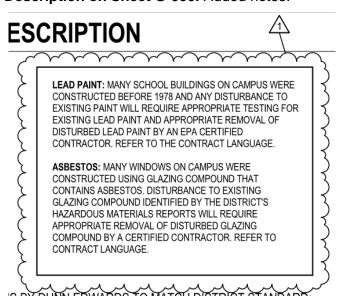
Item 1. Specification Section 090190.52 "Maintenance Repainting" Paragraph 3.1, A.1. Added subparagraph a.:

PART 3 - EXECUTION

- 3.1 MAINTENANCE REPAINTING, GENERAL
  - A. Execution of the Work: In repainting surfaces, disturb them as minimally as possible and as follows:
    - 1. Remove failed coatings and corrosion and repaint.
      - a. Lead Paint: Many school buildings on campus were constructed before 1978 and any disturbance to existing paint will require appropriate testing for existing lead paint and appropriate removal of disturbed lead paint by an EPA certified contractor. Refer to the contract language.

### B. <u>Drawings</u>

# Item 2. Project Description on Sheet G-000. Added notes:



END OF **BID ADDENDUM NO. 1** ISSUED 11/20/2018

REPAINTING PROJECT AT MIRA MONTE ELEMENTARY PROJECT NO 2018-1206

ADDENDUM NO. 1

# MIRA MONTE ELEMENTARY SCHOOL REPAINTING PROJECT NO. 2018-1206

# OJAI UNIFIED SCHOOL DISTRICT

#### **ABBREVIATIONS** HOUR DIAMETER **HEIGHT** AND CL OR C CENTERLINE INSULATION INT. POUND OR NUMBER **INTERIOR ANCHOR BOLT** JOINT LAMINATE LAVATORY LIGHT **MANUFACTURER** ABOVE FINISH FLOOR MATERIAL **MAXIMUM** MACHINE BOLT BUILDING MECHANICAL BLOCKING MINIMUM **MISCELLANEOUS** MOISTURE RESISTANT MTL. METAL BETWEEN NOT IN CONTRACT NO. OR # NUMBER **CALIFORNIA** CONTRACTOR FURNISHED N.T.S. NOT TO SCALE ON CENTER CAST IN PLACE OWNER FURNISHED CONSTRUCTION JOINT **CONTROL JOINT** CONTACTOR INSTALLED C.L. **CHAIN LINK** OWNER FURNISHED OWNER INSTALLED CEILING CLEAR **OPPOSITE** CONCRETE MASONRY UNIT **PULL BOX CLEAN OUT** PERFORATED CENTER OF COLUMN PLATE OR PLASTIC COLUMN PLASTER COMPOSITION PLYWOOD CONC. CONCRETE PAIR CONSTR CONSTRUCTION **PROJECTION** CONT. CONTINUOUS PRESSURE TREATED **CERAMIC TILE DOUGLAS FIR** DOUBLE R OR RAD RADIUS DOUGLAS FIR REFLECTED REFRIGERATOR DRINKING FOUNTAIN DISTRICT FURNISHED REINFORCED OR CONTRACTOR INSTALL REINFORCEMENT DIAMETER REQUIRED OR REQUIREMENTS RM. DIMENSION ROOM DN **DOWN SOLID CORE** DOOR SCHED. SCHEDULE **DRAWING** SHEATHING **EXISTING** SHT. SHEET SIMILAR EACH SJ EJ **EXPANSION JOINT** SAWCUT JOINT S.M.S. SHEET METAL SCREWS ELEV. **ELEVATION** SQUARE S.S. STAINLESS STEEL **EQUAL** STANDARD **EQUIPMENT EXISTING** STL. STEEL EXT. STOR. STORAGE **EXTERIOR** FLOOR DRAIN STRUCT STRUCTURAL FDN. **FOUNDATION** SUSPENDED **TOP & BOTTOM** FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET TEMP. TEMPERED FINISH FLOOR T.O. TOP OF FIN. **FINISH** TOP OF BEAM

TUBE STEEL

TOP OF WALL

UNLESS NOTED OTHERWISE

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

TYPICAL

VERTICAL

DOUGLAS FIR

VERIFY IN FIELD

WHERE OCCURS

WATER RESISTANT

WATERPROOF

V.G.D.F. VERTICAL GRAIN

WOOD

WEIGHT

T.W.

U.N.O.

U.O.N.

V.C.T.

VERT.

**FLOOR** 

FRAMING

FOOTING

**GAUGE** 

GYP. BD. GYPSUM BOARD

HEADER

PANEL

F.O.S.

FRAM'G

HORIZ.

FACE OF CONCRETE

**FACE OF STRUCTURE** 

FIBERGLASS REINFORCED

FACE OF FINISH

**FOOT OR FEET** 

FIELD VERIFY

**GALVANIZED** 

HOT DIP GALV

**HORIZONTAL** 

HOLLOW METAL

GYPSUM WALL BOARD

# **DEMOLITION NOTES**

- 1. IDENTIFY ALL DAMAGED ELEMENTS DESIGNATED TO REMAIN OR BE RELOCATED. REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.
- 2. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXTENT OF DEMOLITION WORK WITH NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BEWARE OF POTENTIAL HAZARDS FROM DEMOLITION WORK NEAR UTILITIES.
- 4. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS FROM THE SITE.
- 5. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 7. UNLESS SPECIFICALLY SHOWN ON THESE PLANS, NO STRUCTURAL MEMBER SHALL BE CUT, NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER, THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 8. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 9. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES, UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 10. SURFACES WHERE MATERIAL IS REMOVED TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING, WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- 11. ALL EXISTING AREAS TO REMAIN THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED.
- 12. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

# **GENERAL NOTES**

- 1. THE PROJECT MANUAL ISSUED AS PART OF THESE CONSTRUCTION DOCUMENTS IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT ALL WORKMANSHIP AND MATERIALS SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES AND FEDERAL REQUIREMENTS AND REGULATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS AND REGULATIONS
- 6. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 7. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS. SECTIONS, AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 8. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT.
- 9. THE ARCHITECT IS NOT RESPONSIBLE FOR ASBESTOS ABATEMENT DISTRICT REPORTS ON LOCATION OF ASBESTOS CONTAINING MATERIAL WILL BE AVAILABLE.
- 10. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE OWNER AND THE ARCHITECT ONLY UPON SUBMITTAL, AND FOR A LIMITED
- 11. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPERATE SUBMITTALS APPROVALS, AND PERMITS, INSTALLING CONTRACTOR IS RESPONSIBLE FOR **OBTAINING PERMITS FOR SUCH ITEMS.**
- 12. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE SMOOTH TRANSITION.
- 13. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH CONDITION IS DRAWN.
- 14. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.
- DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL NOT BE STORED ON FRAMED FLOORS OR ROOF.

# **APPLICABLE CODES**

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24

2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2016 CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3 2016 CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4 2016 CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5 2016 CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6 2016 CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8 2016 CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9

2016 CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, C.C.R. TITLE 24 PART 11 2016 CALIFORNIA REFERENCED STANDARDS CODE, C.C.R. TITLE 24 PART 12 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

# APPLICABLE STANDARDS

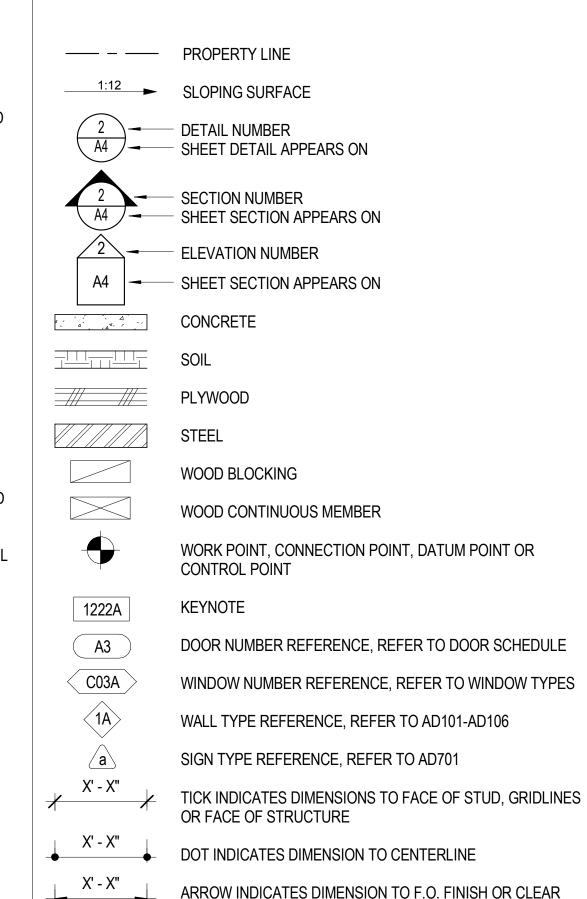
2016 CBC (FOR SFM) REFERENCED STANDARDS CHAPTER 35

AUTOMATIC SPRINKLER SYSTEMS (CALIF. AMENDED), 2016

DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION WET CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION PRIVATE FIRE SERVICE MAINS (CALIF. AMENDED), 2016 EDITION NATIONAL FIRE ALARM CODE (CALIF. AMENDED), 2016 EDITION CRITICAL RADIANT FLUX OF FLOOR COVERINGS, 2015 EDITION NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CALIF. AMENDED),

2015 EDITION

# **LEGEND**



DIMENSION

SPOT ELEVATION

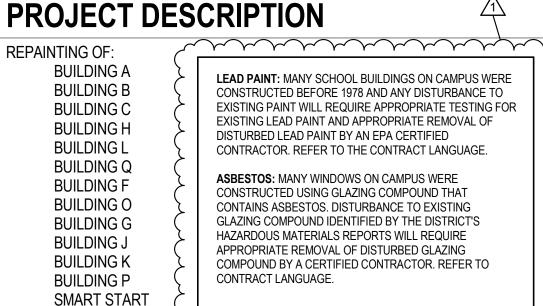
# SHEET INDEX

TITLE SHEET G-000 **BUILDING A BUILDING B BUILDING C** BUILDING F **BUILDING L BUILDING Q** BUILDING Q BUILDING Q **BUILDING Q** A-109 SMART START BUILDINGS F, O & G BUILDINGS J, K & P

# PROJECT DIRECTORY

OJAI UNIFIED SCHOOL DISTRICT 414 E. OJAI AVE OJAI, CA 93023

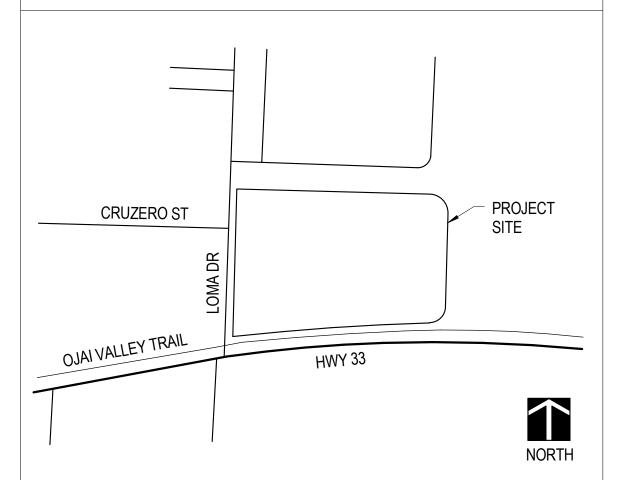
**ARCHITECT** ROESLING NAKAMURA TERADA ARCHITECTS, INC. 285 N VENTURA AVE, SUITE 102 VENTURA, CA 93001 **CONTACT: CATHERINE YOUNG** P: (805) 626-5330



WITH COATING SYSTEMS BY DUNN EDWARDS TO MATCH DISTRICT STANDARD: COLOR 1: CROSSROADS (DE5359)

COLOR 2: WHEAT BREAD (DE5360) COLOR 3: MAYAN CHOCOLATE (DET693)

# **VICINITY MAP**





Roesling Nakamura **Terada Architects** 

> 285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



OJAI **UNIFIED** SCHOOL **DISTRIC**1

MIRA MONTE **ELEMENTARY** SCHOOL REPAINTING **PROJECT** 

1216 LOMA DR, OJAI, CA 93023

BID DOCUMENTS

No. Description 11/20/2018

TITLE SHEET

Sheet Name

18818.00 07/09/2018 Drawn by Checked by CY Sheet Number

G-000

### SECTION 090190.52 - MAINTENANCE REPAINTING

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes maintenance repainting as follows:
  - 1. Patching substrates.
  - 2. Repainting.
    - a. Concrete
    - b. Metal, galvanized and ungalvanized
    - c. Wood, dimensional and panel
    - d. Portland cement plaster (stucco) existing

# 1.2 UNIT PRICES

A. Work of this Section contributes to the amount specified in Section 012100 "Allowances."

#### 1.3 DEFINITIONS

- A. Gloss Level 1: Not more than 5 units at 60 degrees and 10 units at 85 degrees, according to ASTM D523.
- B. Gloss Level 2: Not more than 10 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D523.
- C. Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D523.
- D. Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D523.
- E. Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D523.
- F. Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D523.
- G. Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D523.

# 1.4 PREINSTALLATION MEETINGS

A. Preinstallation Conference: Conduct conference at Project site.

#### 1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Samples: For each type of paint system and each pattern, color, and gloss.
  - 1. Label each Sample for location and application.
- C. Product List: Printout of current "MPI Approved Products List" for each MPI-product category specified in paint systems, with the proposed product highlighted.

### 1.6 INFORMATIONAL SUBMITTALS

A. Color Matching Certificate: For computer-matched colors.

#### PART 2 - PRODUCTS

### 2.1 PREPARATORY CLEANING MATERIALS

- A. Water: Potable.
- B. Hot Water: Water heated to a temperature of 140 to 160 deg F (60 to 71 deg C).
- C. Detergent Solution: Solution prepared by mixing 2 cups (0.5 L) of tetrasodium pyrophosphate (TSPP), 1/2 cup (125 mL) of laundry detergent that contains no ammonia, 5 quarts (5 L) of 5 percent sodium hypochlorite bleach, and 15 quarts (15 L) of warm water for every 5 gal. (20 L) of solution required.
- D. Mildewcide: Commercial proprietary mildewcide or a job-mixed solution prepared by mixing 1/3 cup (80 mL) of household detergent that contains no ammonia, 1 quart (1 L) of 5 percent sodium hypochlorite bleach, and 3 quarts (3 L) of warm water.
- E. Abrasives for Ferrous Metal Cleaning: Aluminum oxide paper, emery paper, fine steel wool, steel scrapers, and steel-wire brushes of various sizes.
- F. Rust Remover: Manufacturer's standard phosphoric acid-based gel formulation, also called "naval jelly," for removing corrosion from iron and steel.

### 2.2 PAINT REMOVERS

A. Low-Odor, Solvent-Type Paste Paint Remover: Manufacturer's standard low-odor, waterrinsable, solvent-type paste, gel, or foamed emulsion formulation for removing paint from masonry, stone, wood, plaster, or metal as required to suit Project; and containing no methanol or methylene chloride.

# 2.3 PAINT, GENERAL

# A. Material Compatibility:

- 1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
- 2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- B. Colors: Match District-standard paint manufacturer and Campus-standard colors as indicated in drawings:
  - 1. COLOR 1: CROSSROADS (DE5359)
  - 2. COLOR 2: WHEAT BREAD (DE5360)
  - 3. COLOR 3: MAYAN CHOCOLATE (DET693)

#### 2.4 PAINT MATERIALS, GENERAL

- A. MPI Standards: Provide products that comply with MPI standards indicated and that are listed in its "MPI Approved Products List."
- B. Transition Coat: Paint manufacturer's recommended coating for use where a residual existing coating is incompatible with the paint system.

#### 2.5 PAINT MATERIALS

- A. Primers and Sealers:
  - 1. Primer Sealer, Latex, Alkalai Resistant, Exterior: MPI #3.
- B. Metal Primers:
  - 1. Primer, Rust-Inhibitive, Water Based: **MPI #107.**
  - 2. Primer, Galvanized, Water Based: MPI #134.
- C. Wood Primers:
  - 1. Primer, Latex for Exterior Wood: **MPI** #6.
- D. Water-Based Paints:
  - 1. Latex, Exterior Low Sheen (Gloss Levels 3-4): MPI #15.
- E. Floor Coatings:
  - 1. Floor Paint, Latex, Low Gloss (Maximum Gloss Level 3): MPI #60.

#### 2.6 PATCHING MATERIALS

- A. Wood-Patching Compound: Two-part, epoxy-resin, wood-patching compound; knife-grade formulation as recommended in writing by manufacturer for type of wood repair indicated, tooling time required for the detail of work, and site conditions. Compound shall be designed for filling voids in damaged wood materials that have deteriorated from weathering and decay. Compound shall be capable of filling deep holes and spreading to feather edge.
- B. Metal-Patching Compound: Two-part, polyester-resin, metal-patching compound; knife-grade formulation as recommended in writing by manufacturer for type of metal repair indicated, tooling time required for the detail of work, and site conditions. Compound shall be produced for filling metal that has deteriorated from corrosion. Filler shall be capable of filling deep holes and spreading to feather edge.
- C. Cementitious Patching Compounds: Cementitious patching compounds and repair materials specifically manufactured for filling cementitious substrates and for sanding or tooling prior to repainting; formulation as recommended in writing by manufacturer for type of cementitious substrate indicated, exposure to weather and traffic, the detail of work, and site conditions.

#### **PART 3 - EXECUTION**

# 3.1 MAINTENANCE REPAINTING, GENERAL

- A. Execution of the Work: In repainting surfaces, disturb them as minimally as possible and as follows:
  - 1. Remove failed coatings and corrosion and repaint.
    - a. <u>Lead Paint: Many school buildings on campus were constructed before 1978 and any disturbance to existing paint will require appropriate testing for existing lead paint and appropriate removal of disturbed lead paint by an EPA certified contractor. Refer to the contract language.</u>
  - 2. Verify that substrate surface conditions are suitable for repainting.
  - 3. Allow other trades to repair items in place before repainting.
- B. Mechanical Abrasion: Where mechanical abrasion is needed for the work, use gentle methods, such as scraping and lightly hand sanding, that will not abrade softer substrates, reducing clarity of detail.
- C. Heat Processes: Do not use torches, heat guns, or heat plates.

#### 3.2 EXAMINATION

A. Examine substrates and conditions, with Installer present, for compliance with requirements for maximum moisture content and other conditions affecting performance of painting work. Comply with paint manufacturer's written instructions for inspection.

# RE-PAINTING PROJECT MIRA MONTE ELEMENTARY SCHOOL OJAI UNIFIED SCHOOL DISTRICT

- B. Maximum Moisture Content of Substrates: Do not begin application of coatings unless moisture content of exposed surface is below the maximum value recommended in writing by paint manufacturer and not greater than the following maximum values when measured with an electronic moisture meter appropriate to the substrate material:
  - Concrete or Fiber Cement: 12 percent.
     Masonry (Clay and CMU): 12 percent.
  - 3. Portland Cement Plaster: 12 percent.
  - 4. Wood: **15** percent.
- C. Alkalinity: Do not begin application of coatings unless surface alkalinity is within range recommended in writing by paint manufacturer. Conduct alkali testing with litmus paper on exposed plaster, cementitious, and masonry surfaces.

### 3.3 PREPARATORY CLEANING

- A. General: Use the gentlest, appropriate method necessary to clean surfaces in preparation for painting. Clean all surfaces, corners, contours, and interstices.
- B. Detergent Cleaning: Wash surfaces by hand using clean rags, sponges, and bristle brushes. Scrub surface with detergent solution and bristle brush until soil is thoroughly dislodged and can be removed by rinsing. Use small brushes to remove soil from joints and crevices. Dip brush in solution often to ensure that adequate fresh detergent is used and that surface remains wet. Rinse with water applied by clean rags or sponges.
- C. Solvent Cleaning: Use solvent cleaning to remove oil, grease, smoke, tar, and asphalt from painted or unpainted surfaces before other preparation work. Wipe surfaces with solvent using clean rags and sponges. If necessary, spot-solvent cleaning may be employed just prior to commencement of paint application, provided enough time is allowed for complete evaporation. Use clean solvent and clean rags for the final wash to ensure that all foreign materials have been removed. Do not use solvents, including primer thinner and turpentine, that leave residue.
- D. Mildew: Clean off existing mildew, algae, moss, plant material, loose paint, grease, dirt, and other debris by scrubbing with bristle brush or sponge and detergent solution. Scrub mildewed areas with mildewcide. Rinse with water applied by clean rags or sponges.

#### E. Chemical Rust Removal:

- 1. Remove loose rust scale with specified abrasives for ferrous-metal cleaning.
- 2. Apply rust remover with brushes or as recommended in writing by manufacturer.
- 3. Allow rust remover to remain on surface for period recommended in writing by manufacturer or as determined by preconstruction testing. Do not allow extended dwell time
- 4. Wipe off residue with mineral spirits and either steel wool or soft rags, or clean with method recommended in writing by manufacturer to remove residue.
- 5. Dry immediately with clean, soft cloths. Follow direction of grain in metal.
- 6. Prime immediately to prevent rust. Do not touch cleaned metal surface until primed.

#### F. Mechanical Rust Removal:

- 1. Remove rust with specified abrasives for ferrous-metal cleaning. Clean to bright metal.
- 2. Wipe off residue with mineral spirits and either steel wool or soft rags.
- 3. Dry immediately with clean, soft cloths. Follow direction of grain in metal.
- 4. Prime immediately to prevent rust. Do not touch cleaned metal surface until primed.

#### 3.4 PAINT REMOVAL

- A. General: Remove paint where existing paint adherence or surface integrity has failed. Where cleaning methods have been attempted and further removal of the paint is required because of incompatible or unsatisfactory surfaces for repainting, remove paint to extent required by conditions.
  - 1. Brushes: Use brushes that are resistant to chemicals being used.
    - a. Metal Substrates: If using wire brushes on metal, use brushes of same metal composition as metal being treated.
    - b. Wood Substrates: Do not use wire brushes.
  - 2. Spray Equipment: Use spray equipment that provides controlled application at volume and pressure indicated, measured at nozzle. Adjust pressure and volume to ensure that spray methods do not damage surfaces.
    - a. Equip units with pressure gages.
    - b. Unless otherwise indicated, hold spray nozzle at least 6 inches (150 mm) from surface and apply material in horizontal, back-and-forth sweeping motion, overlapping previous strokes to produce uniform coverage.
    - c. For chemical spray application, use low-pressure tank or chemical pump suitable for chemical indicated, equipped with nozzle having a cone-shaped spray.
    - d. For water-spray application, use fan-shaped spray tip that disperses water at an angle of 25 to 50 degrees.
    - e. For heated water-spray application, use equipment capable of maintaining temperature between 140 and 160 deg F (60 and 71 deg C) at flow rates indicated.
- B. Paint Removal with Hand Tools: Remove paint manually using hand-held scrapers, wire brushes, sandpaper, and metallic wool as appropriate for the substrate material.
- C. Paint Removal with Low-Odor, Solvent-Type Paste Paint Remover:
  - 1. Apply thick coating of paint remover to dry, painted surface with natural-fiber cleaning brush, deep-nap roller, or large paintbrush. Apply in one or two coats according to manufacturer's written instructions.
  - 2. Allow paint remover to remain on surface for period recommended in writing by manufacturer or as determined by preconstruction testing.
  - 3. Rinse with water applied by low-pressure spray to remove chemicals and paint residue.
  - 4. Use mechanical methods recommended in writing by manufacturer to remove chemicals and paint residue.
  - 5. Repeat process if necessary to remove all paint.

#### 3.5 SUBSTRATE REPAIR

A. General: Repair substrate surface defects that are inconsistent with the surface appearance of adjacent materials and finishes.

### B. Wood Substrate:

- 1. Repair wood defects including dents and gouges more than 1/8 inch (3 mm) in size and all holes and cracks by filling with wood-patching compound and sanding smooth. Reset or remove protruding fasteners.
- 2. Where existing paint is allowed to remain, sand irregular buildup of paint, runs, and sags to achieve a uniformly smooth surface.

#### C. Cementitious Material Substrate:

- 1. General: Repair defects including dents and chips more than 1/4 inch (6 mm) in size and all holes and cracks by filling with cementitious patching compound and sanding smooth. Remove protruding fasteners.
- 2. New and Bare Plaster: Neutralize surface of plaster with mild acid solution as recommended in writing by paint manufacturer. In lieu of acid neutralization, follow manufacturer's written instruction for primer or transition coat over alkaline plaster surfaces.
- 3. Concrete, Cement Plaster, and Other Cementitious Products: Remove efflorescence, chalk, dust, dirt, grease, oils, and release agents. If surfaces are too alkaline to paint, correct this condition before painting.

#### D. Metal Substrate:

- 1. Preparation: Treat repair locations by wire-brushing and solvent cleaning. Use chemical or mechanical rust removal method to clean off rust.
- 2. Defects in Metal Surfaces: Repair non-load-bearing defects in existing metal surfaces, including dents and gouges more than 1/8 inch (3 mm) deep or 1/2 inch (13 mm) across and all holes and cracks by filling with metal-patching compound and sanding smooth. Remove burrs and protruding fasteners.
- 3. Priming: Prime iron and steel surfaces immediately after repair to prevent flash rusting. Stripe paint corners, crevices, bolts, welds, and sharp edges. Apply two coats to surfaces that are inaccessible after completion of the Work.

# 3.6 PAINT APPLICATION, GENERAL

- A. Prepare surfaces to be painted according to the Surface-Preparation Schedule and with manufacturer's written instructions for each substrate condition.
- B. Apply a transition coat over incompatible existing coatings.
- C. Metal Substrate: Stripe paint corners, crevices, bolts, welds, and sharp edges before applying full coat. Apply two coats to surfaces that are inaccessible after completion of the Work. Tint stripe coat different than the main coating and apply with brush.

D. Blending Painted Surfaces: When painting new substrates patched into existing surfaces or touching up missing or damaged finishes, apply coating system specified for the specific substrate. Apply final finish coat over entire surface from edge to edge and corner to corner.

# 3.7 FIELD QUALITY CONTROL

A. Manufacturer's Field Service: Engage paint-remover manufacturer's factory-authorized service representative for consultation and Project-site inspection and to provide on-site assistance when requested by Architect.

#### 3.8 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- C. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

#### 3.9 SURFACE-PREPARATION SCHEDULE

- A. General: Before painting, prepare surfaces for painting according to applicable requirements specified in this schedule.
  - 1. Examine surfaces to evaluate each surface condition according to paragraphs below.
  - 2. Where existing degree of soiling prevents examination, preclean surface and allow it to dry before making an evaluation.
  - 3. Repair substrate defects according to "Substrate Repair" Article.
- B. Surface Preparation for MPI DSD 0 Degree of Surface Degradation:
  - 1. Surface Condition: Existing paint film in good condition and tightly adhered.
  - 2. Paint Removal: Not required.
  - 3. Preparation for Painting: Wash surface by detergent cleaning; use solvent cleaning where needed. Roughen or degloss cleaned surfaces to ensure paint adhesion according to paint manufacturer's written instructions.
- C. Surface Preparation for MPI DSD 1 Degree of Surface Degradation:
  - 1. Surface Condition: Paint film cracked or broken but adhered.
  - 2. Paint Removal: Scrape by hand-tool cleaning methods to remove loose paint until only tightly adhered paint remains.
  - 3. Preparation for Painting: Wash surface by detergent cleaning; use other cleaning methods for small areas of bare substrate if required. Roughen, degloss, and sand the cleaned

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surfaces to ensure paint adhesion and a smooth finish according to paint manufacturer's written instructions.

# D. Surface Preparation for MPI DSD 2 Degree of Surface Degradation:

- 1. Surface Condition: Paint film loose, flaking, or peeling.
- 2. Paint Removal: Remove loose, flaking, or peeling paint film by hand-tool or chemical paint-removal methods.
- 3. Preparation for Painting: Wash surface by detergent cleaning; use solvent cleaning where needed. Use other cleaning methods for small areas of bare substrate if required. Sand surfaces to smooth remaining paint film edges. Prepare bare cleaned surface to be painted according to paint manufacturer's written instructions for substrate construction materials.

# E. Surface Preparation for MPI DSD 3 Degree of Surface Degradation:

- 1. Surface Condition: Paint film severely deteriorated.
- 2. Paint Removal: Completely remove paint film by hand-tool or chemical paint-removal methods. Remove rust.
- 3. Preparation for Painting: Prepare bare cleaned surface according to paint manufacturer's written instructions for substrate construction materials.

# F. Surface Preparation for MPI DSD 4 Degree of Surface Degradation:

- 1. Surface Condition: Missing material, small holes and openings, and deteriorated or corroded substrate.
- 2. Substrate Preparation: Repair, replace, and treat substrate according to "Substrate Repair" Article.
- 3. Preparation for Painting: Sand substrate surfaces to smooth remaining paint film edges and prepare according to paint manufacturer's written instructions for substrate construction materials. Remove rust.
- 4. Painting: Paint as required for MPI DSD 2 degree of surface degradation.

#### 3.10 EXTERIOR MAINTENANCE REPAINTING SCHEDULE

#### A. Cementitious Substrates Horizontal:

- 1. Latex System: **MPI REX 3.1** system:
  - a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
  - b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Alkalai Resistant, Water Based, MPI #3.
  - c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Alkalai Resistant, Water Based, MPI #3.
  - d. Intermediate Coat: Latex, exterior, matching topcoat.
  - e. Topcoat: Floor Paint, Latex, exterior, low sheen (Gloss Level 3), MPI #60.
  - f. Color: Match colors indicated on Drawings.

# B. Cementitious/composite Substrates Vertical:

# 1. Latex System: **MPI REX 3.2** system:

- a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
- b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Alkalai Resistant, Water Based, MPI #3.
- c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Alkalai Resistant, Water Based, MPI #3.
- d. Intermediate Coat: Latex, exterior, matching topcoat.
- e. Topcoat: Latex, Exterior, low sheen (Gloss Level 3), MPI #15.
- f. Color: Match colors indicated on Drawings.

#### C. Ferrous Metal Substrates::

- 1. Latex System: **MPI REX 5.1** system **over a transition coat** where required.
  - a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
  - b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Rust-Inhibitive, Water Based, MPI #107.
  - c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Rust-Inhibitive, Water Based, **MPI** #107.
  - d. Intermediate Coat: Alkyd, exterior, matching topcoat.
  - a. Topcoat: Latex, Exterior, low sheen (Gloss Level 3), MPI #15.
  - b. Color: Match colors indicated on Drawings.

#### D. Galvanized Ferrous Metal Substrates::

- 1. Latex System: MPI REX 5.3 system over a transition coat where required.
  - a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
  - b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Galvanized, Water Based, MPI #134.
  - c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Galvanized, Water Based, MPI #134.
  - d. Intermediate Coat: Latex, exterior, matching topcoat.
  - a. Topcoat: Latex, Exterior, low sheen (Gloss Level 3), MPI #15.
  - b. Color: Match colors indicated on Drawings.

# E. Wood Paneling and Plywood:

- 1. Latex System: **MPI REX 6.4** system.
  - a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
  - b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Latex for Exterior Wood, MPI #6.
  - c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Latex for Exterior Wood, **MPI** #6.
  - d. Intermediate Coat: Latex, exterior, matching topcoat.
  - a. Topcoat: Latex, Exterior, low sheen (Gloss Level 3), MPI #15.
  - b. Color: Match colors indicated on Drawings.

#### F. Dimensional Wood:

- 1. Latex System: **MPI REX 6.3A** system.
  - a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
  - b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Latex for Exterior Wood, MPI #6.
  - c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Latex for Exterior Wood, **MPI** #6.
  - d. Intermediate Coat: Latex, exterior, matching topcoat.
  - e. Topcoat: Latex, Exterior, low sheen (Gloss Level 3), MPI #15.
  - f. Color: Match colors indicated on Drawings.

#### G. Portland Cement Plaster:

- 1. Latex System: **MPI REX 9.1** system:
  - a. Prime Coat: For MPI DSD 1 degree of surface degradation, touch up with topcoat.
  - b. Prime Coat: For MPI DSD 2 degree of surface degradation, spot prime with Primer, Alkalai Resistant, Water Based, MPI #3.
  - c. Prime Coat: For MPI DSD 3 degree of surface degradation, fully prime coat with Primer, Alkalai Resistant, Water Based, MPI #3.
  - d. Intermediate Coat: Latex, exterior, matching topcoat.
  - a. Topcoat: Latex, Exterior, low sheen (Gloss Level 3), MPI #15.
  - b. Color: Match colors indicated on Drawings.

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