

TOURISM OFFICE RENOVATION  
FOR  
CITY OF LAGRANGE

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

(ARCHITECTURAL)

PROJECT NUMBER 1918

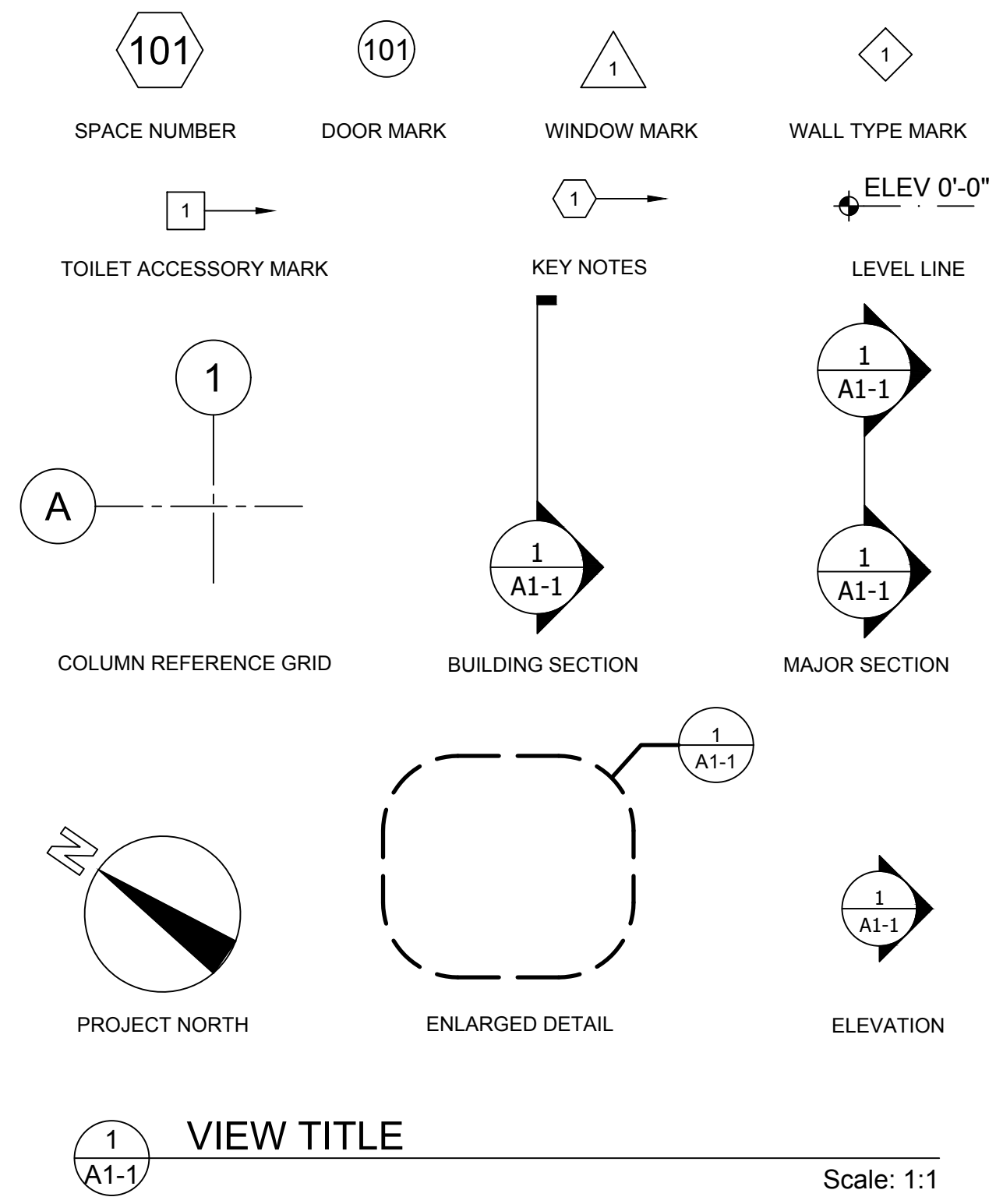
FOR BID AND PERMIT

24 APR 2020

**ABBREVIATIONS:**

@	At	JAN.	Janitor
A.B.	Anchor Bolt	J.B.	Joist Bearing
A.C.	Air Conditioner	J.S.T.	Joist
ACOUST.	Acoustical	J.T.	Joist
ALUM.	Aluminum		
ARCH.	Architectural		
A.T.	Acoustical Tile		
		LAV.	Lavatory
		LLV.	Long Leg Vertical
B.C.	Bottom of Curb	MAS., MSRY	Masonry
BLK.	Block	MCS	Modular Cabinet System
BOTT.	Bottom	MECH.	Mechanical
		MIN.	Minimum
CER.	Ceramic	N	North
CHM.	Custom Hollow Metal	NA	Not Applicable
C.I.	Curb Inlet	N.I.C.	Not In Contract
		NTS	Not to Scale
CLO.	Closet		
CMU.	Concrete Masonry Unit	O.C.	On Center
C.O.	Clean Out	OPP.	Opposite
COL.	Column		
CONC.	Concrete	PL	Plate
CONST.	Construction	PT	Pressure Treated
CONT.	Continuous	PEJ	Premolded Expansion
C.T.	Ceramic Tile	PLAST	Plaster
CHR.	Coat & Hat Rack	PSF	Pounds Per Square Foot
C.J.	Control Joint	PSI	Pounds Per Square Inch
D. DIAM.	Diameter	R	Radius
DF	Drink Fountain	REF	Refrigerator
DI	Drain Inlet	REQ'D	Required
DN	Down	RL	Roof Level
DRIV.	Driver	RM	Room
DS	Downspout	RT	Resilient Tile
DWGS.	Drawings	RW	Regular Weight
DWLS.	Dowels		Round
DR	Drawer		
		SQ.	Square
E.J.; EXP. JT.	Expansion Joint	SIM	Similar
EL.; ELEV	Elevation	SLV	Short Leg Vertical
EQ	Equal	S.M.	Sheet Metal
EQUIP.	Equipment	STL	Steel
E.F.I.S.	Exterior Finish Insulation System	STO.; STOR	Storage
		STRUCT.	Structural
		SH	Shelves
F.E.	Fire Extinguisher		
F.H.	Fire Hose	TC	Teacher Cabinet
FES	Fire Extinguisher Sign	T.C.	Top of Curb
FIN.	Finish	TD	Turn Down
FLEX.	Flexible	TFF	Top of Finished Floor
FLR.	Floor	TFS	Top of Finished Slab
FT.	Foot	T & G	Tongue and Groove
FTG.	Footing	T.M.	Transitional Material
		TP	Top of Pavement
GA	Gauge	T/S	Top of Steel
G.C.	General Contractor	TYP.	Typical
GYP. BRD.	Gypsum Wallboard		
		U.N.O.	Unless Noted Otherwise
H	Height		
HC	Handicapped	Y.C.J.	Veneer Control Joint
HCM	Hollow Concrete Masonry	VERT	Vertical
HORIZ.	Horizontal	VRS	Varies
HW	Hand Wash	VWC	Vinyl Wall Covering
I.D.	Inside Diameter	W	Width
IND.	Industrial	W/	With
INV.	Invert	W.C.	Water Cooler
		WD	Wood
		WWF	Welded Wire Fabric

**INDEX OF SYMBOLS:**



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**CONSTRUCTION MATERIALS:**

PLAN / SECTION	
	face brick
	hollow concrete masonry
	gypsum wallboard
	ceramic/quarry tile
	acoustical tile
	resilient flooring
	carpet
	steel/iron
	aluminum
	small scale metal
	rough lumber
	large scale finish lumber
	small scale finish lumber
	large scale plywood
	small scale plywood
	batt/blanket insulation
	laminated plastic



**SMITH DESIGN GROUP, INC.**  
 206 WEST HARALSON STREET  
 LAGRANGE, GEORGIA 30240  
 706-882-5511  
 www.SDGarch.net

**REVISIONS**

DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**INDEX OF SHEETS**  
**ABBREVIATIONS LEGENDS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>G-2</b>

**CODE SUMMARY**

**SITE ADDRESS**

206 RIDLEY AVENUE - LAGRANGE, GEORGIA 30240

**ZONING** - TO BE DETERMINED

**CODE OFFICIALS CONTACT**

**CITY OF LAGRANGE, BUILDING OFFICIAL**  
 200 RIDLEY AVENUE, LAGRANGE, GEORGIA 30240

**Current Mandatory Codes as Adopted by DCA:**

International Building Code, 2018 Edition, with Georgia Amendments (2020)  
 International Residential Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fire Code, 2018 Edition (No Georgia Amendments)  
 International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)  
 International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)  
 National Electrical Code, 2017 Edition (No Georgia Amendments)  
 International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)  
 International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)  
 For information and questions regarding the Life Safety Code (NFPA 101) or the Georgia Accessibility Code please contact the State Fire Marshal's Office

**OCCUPANCY CLASSIFICATION**

OCCUPANCY	GROSS SQUARE FOOTAGE	OCCUPANCY LOAD
BUSINESS	2,680 GSF	2680 / 100 = 26 PERSONS

**CONSTRUCTION CLASSIFICATION**

**CONSTRUCTION TYPE:** IIB (UNSPRINKLERED)  
 EXTERIOR WALLS OF LOAD BEARING MASONRY WITH MASONRY VENEER  
 ROOF FRAMING AND CONSTRUCTION OF STEEL BAR JOISTS, METAL JOISTS,  
 TECTUM ROOF DECK AND METAL ROOF DECK  
 AND INTERIOR WALLS OF METAL STUD FRAMING

**FOUNDATION:** SLAB-ON-GRADE  
**FAÇADE:** BRICK VENEER  
**ROOF:** 60 MIL TPO FULLY ADHERED  
**SEISMIC ZONE:** SEE STRUCTURAL DRAWINGS  
**FROST DEPTH:** 12" MIN. DESIGN DEPTH  
**SNOW LOAD:** SEE STRUCTURAL DRAWINGS  
**WIND SPEED:** SEE STRUCTURAL DRAWINGS

**ALLOWABLE AREA**

BUSINESS = 19,000 S.F.

**ALLOWABLE HEIGHT**

HEIGHT ALLOWED: 55'-0" / 2 STORIES

HEIGHT PROVIDED: ±24'-0"

**EGRESS REQUIREMENTS**

**EGRESS WIDTH FACTOR:**

LEVEL COMPONENTS = 0.2" PER PERSON EGRESS WIDTH PROVIDED = MIN 36"

STAIRS = 0.3" PER PERSON EGRESS WIDTH REQUIRED = 0.9"  
 (OCCUPANCY = 3 PEOPLE @ ATTIC) EGRESS WIDTH PROVIDED = MIN 36"

MAXIMUM TRAVEL DISTANCE = 150' UNSPRINKLERED [NFPA 101] / 200'-0" UNSPRINKLERED [IBC 2012]  
 COMMON PATH OF TRAVEL = 75'-0" [NFPA 101]  
 MAXIMUM DEAD END CORRIDOR = 20'-0" [NFPA 101]

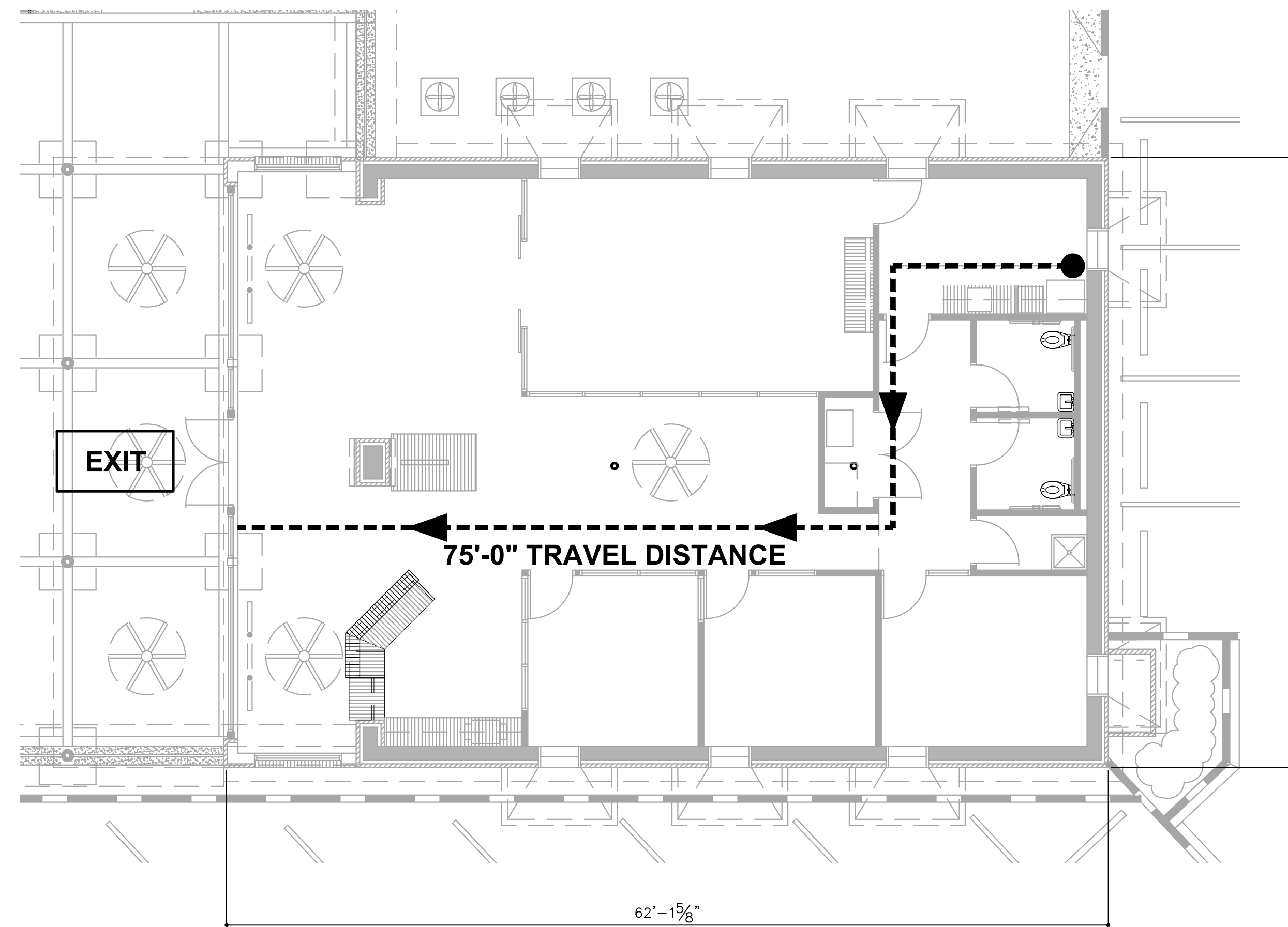
NUMBER OF EXITS PER STORY: EXITS REQUIRED = 2  
 EXITS PROVIDED = 2

**ENERGY CODE REQUIREMENTS**

ROOF: MIN. R-25 INSULATION  
 WALLS: MIN. R-8/13 INSULATION  
 (MIN R-7.6 ci FOR MASS WALLS WITH ci [CONTINUOUS INSULATION])

**FIRE PROTECTION**

NOT REQUIRED WHEN LESS THAN 300 OCCUPANCY LOAD.



**LIFE SAFETY PLAN - UPPER FLOOR**

**±2,680 GSF / OCCUPANCY LOAD 26 PERSONS**

1  
G-3

SCALE: NONE



*[Handwritten Signature]*

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**REVISIONS**

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PROJECT:

**TOURISM OFFICE RENOVATION**

206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:

**LIFE SAFETY PLAN  
 CODE REVIEW**

MODIFIED DATE:

JOB NO:

1918

ISSUED DATE:

SHEET:

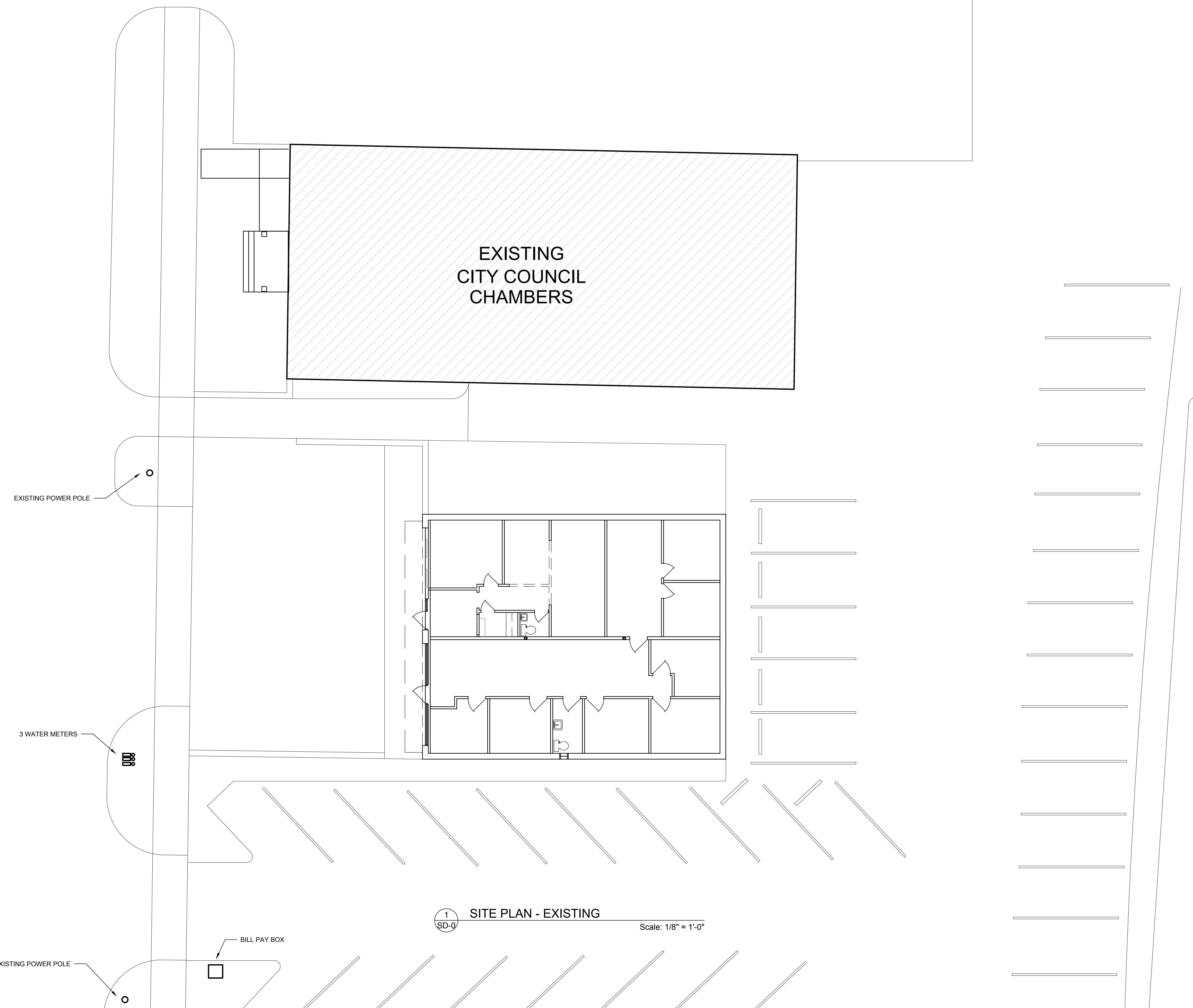
FOR PRICING  
 24 APR 2020

**G-3**





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1  
SD-0 **SITE PLAN - EXISTING** Scale: 1/8" = 1'-0"

REVISIONS		
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PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**SITE PLAN EXISTING**

MODIFIED DATE:	JOB NO: <b>1918</b>
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**DISPOSAL OF DEMOLITION DEBRIS**  
 ALL DEMOLITION DEBRIS IS TO BE HAULED TO GEORGIA EPD CERTIFIED LANDFILL THAT ARE ALLOWED TO ACCEPT CONSTRUCTION DEBRIS. CONTRACTOR TO PAY ALL DUMP FEES AND SUBMIT DUMP TICKETS TO ARCHITECT AND OWNER. CONTRACTOR IS TO PROVIDE WRITTEN NOTIFICATION TO ARCHITECT AND OWNER OF WHICH LANDFILL WILL BE USED AND GEORGIA EPD CERTIFICATION NUMBER OF LANDFILL, 14 DAYS PRIOR TO HAULING TO LANDFILL.

**KEYNOTES**

- ① REMOVE EXISTING CONCRETE PAVERS. STACK ON PALLETS TO BE HAULED AND STORED OFF-SITE BY CITY OF LAGRANGE
- ② REMOVE EXISTING ASPHALT PAVING AND BASE IN THEIR ENTIRETY FROM THE SITE.
- ③ REMOVE EXISTING CONCRETE PAVING AND BASE IN THEIR ENTIRETY FROM THE SITE INCLUDING REMOVAL OF CURB.
- ④ REMOVE EXISTING CONCRETE CURB IN ITS ENTIRETY FROM THE SITE.
- ⑤ REMOVE EXISTING CONCRETE STEPS IN THEIR ENTIRETY FROM THE SITE.
- ⑥ REMOVE EXISTING CONCRETE AND BRICK RAMP AND HANDRAILS IN THEIR ENTIRETY FROM THE SITE.
- ⑦ REMOVE EXISTING CONCRETE SIDEWALK.
- ⑧ REMOVE EXISTING MASONRY SIGN IN ITS ENTIRETY FROM THE SITE.
- ⑨ REMOVE EXISTING LANDSCAPING IN ITS ENTIRETY FROM THE SITE
- ⑩ EXISTING OVERHEAD POWER, PHONE, DATA, TV, ETC. TO BE REMOVED ONCE NEW UNDERGROUND UTILITIES ARE INSTALLED AND IN SERVICE. REMOVAL AND NEW SERVICES BY ELECTRICAL CONTRACTOR. PROVIDE THREE (3) - 2" CONDUITS WITH PULL STRINGS) DOWN POLE AND UNDERGROUND TO BUILDING. CITY OF LAGRANGE TO PROVIDE AND INSTALL DATA, T.V. WIRING AND TERMINATIONS.
- ⑪ REMOVE EXISTING CONCRETE AND BRICK RETAINING WALL IN ITS ENTIRETY FROM THE SITE INCLUDING REMOVAL OF FOOTINGS.
- ⑫ PROVIDE THREE (3) CONCRETE WATER METER VAULTS AND TOPS FLUSH WITH NEW PAVERS FOR THREE EXISTING WATER METERS.
- ⑬ SAW-CUT AND REMOVE EXISTING ASPHALT PAVING AND INSTALL NEW FOUNDATION AND ROOF DRAINS. BACKFILL WITH 100% COMPACTION AND 6" G.A.B. AND 6" OF 4000 PSI BLACK CONCRETE WITH @#S @ 18" O.C. EACH WAY.
- ⑭ EXISTING LIFT STATION TO REMAIN. INSTALL NEW BRICK VENEER AROUND EXTERIOR WALLS AND PROVIDE 14" PLATE TOP OF 2" X 2" TUBE STEEL FRAME WITH LIFTING HANDLES.



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**LEGEND**

— EOHP —	EXISTING OVERHEAD POWER
— EOHTV —	EXISTING OVERHEAD T.V.
— EOHD —	EXISTING OVERHEAD DATA
— X —	CONSTRUCTION FENCE 6' HIGH TEMPORARY CHAIN LINK FENCE MOVABLE WITH SCREEN.
— XX —	SILT FENCE - SEE DETAIL A & B ON SD-15

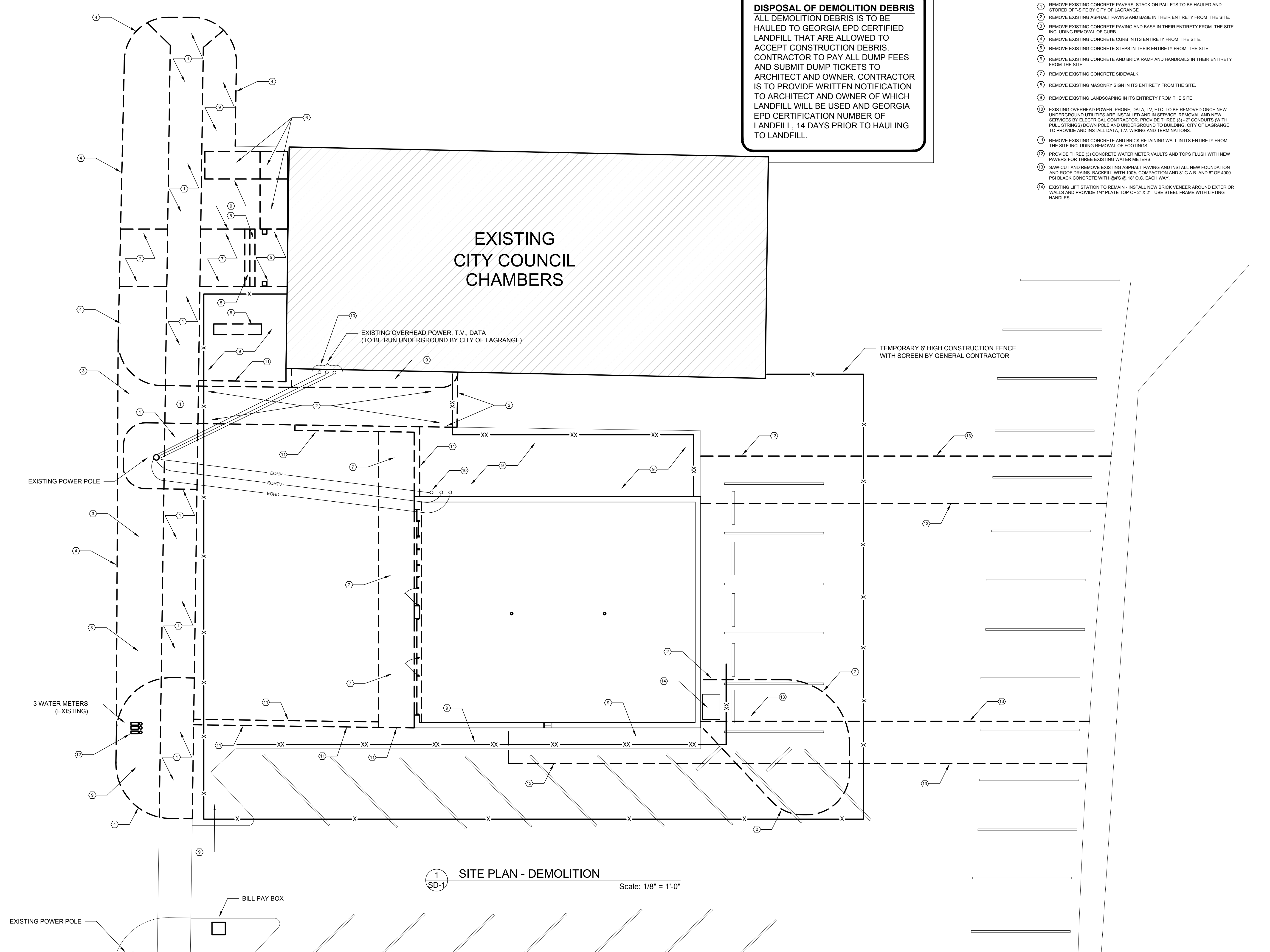
**REVISIONS**

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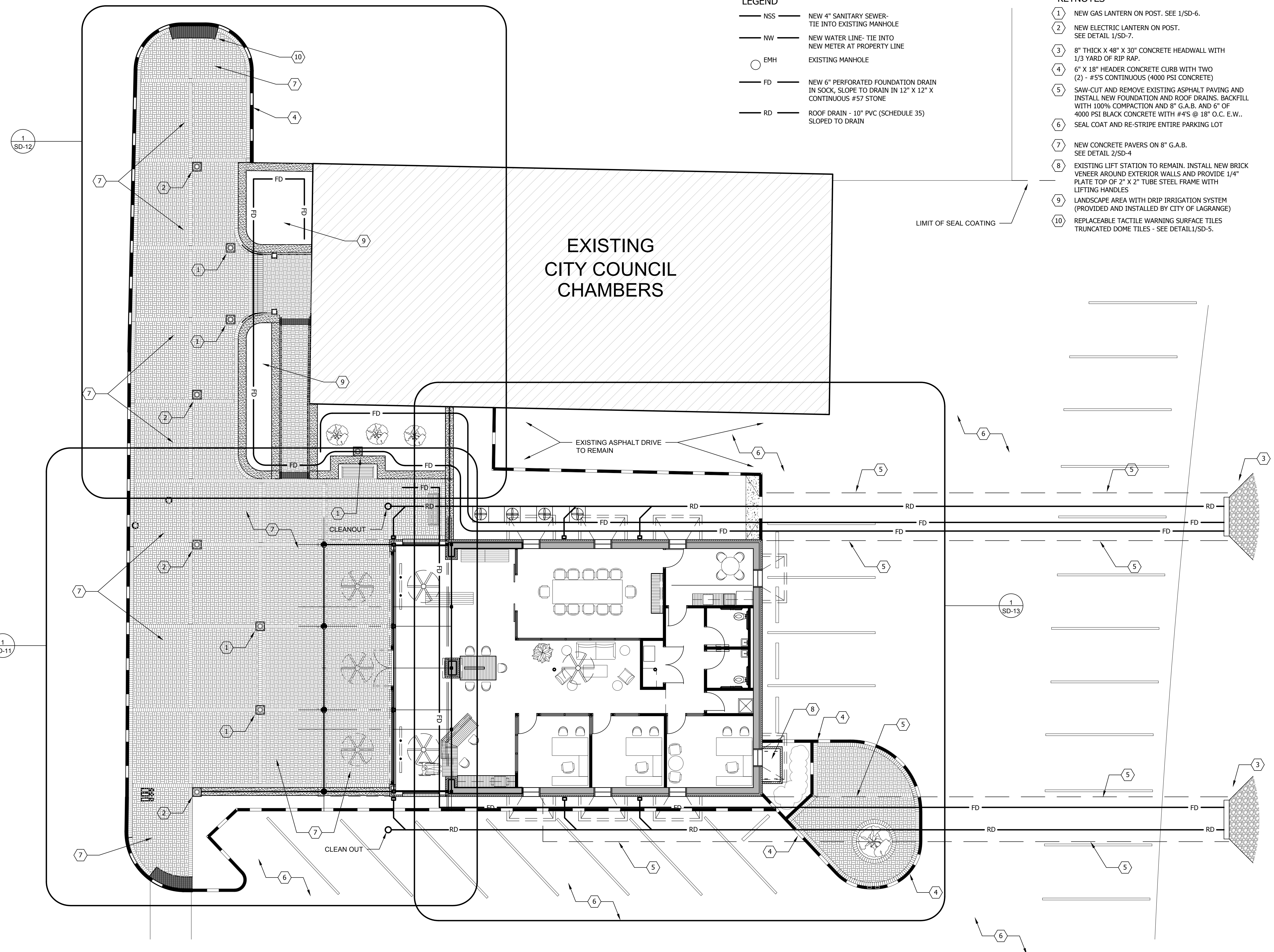
PROJECT:  
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 LAGRANGE, GEORGIA

TITLE:  
**SITE PLAN DEMOLITION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-1</b>



**1 SITE PLAN - DEMOLITION**  
 Scale: 1/8" = 1'-0"



- LEGEND**
- NSS — NEW 4" SANITARY SEWER- TIE INTO EXISTING MANHOLE
  - NW — NEW WATER LINE- TIE INTO NEW METER AT PROPERTY LINE
  - EMH — EXISTING MANHOLE
  - FD — NEW 6" PERFORATED FOUNDATION DRAIN IN SOCK, SLOPE TO DRAIN IN 12" X 12" X CONTINUOUS #57 STONE
  - RD — ROOF DRAIN - 10" PVC (SCHEDULE 35) SLOPED TO DRAIN

- KEYNOTES**
- 1 NEW GAS LANTERN ON POST. SEE 1/SD-6.
  - 2 NEW ELECTRIC LANTERN ON POST. SEE DETAIL 1/SD-7.
  - 3 8" THICK X 48" X 30" CONCRETE HEADWALL WITH 1/3 YARD OF RIP RAP.
  - 4 6" X 18" HEADER CONCRETE CURB WITH TWO (2) - #5'S CONTINUOUS (4000 PSI CONCRETE)
  - 5 SAW-CUT AND REMOVE EXISTING ASPHALT PAVING AND INSTALL NEW FOUNDATION AND ROOF DRAINS. BACKFILL WITH 100% COMPACTION AND 8" G.A.B. AND 6" OF 4000 PSI BLACK CONCRETE WITH #4'S @ 18" O.C. E.W..
  - 6 SEAL COAT AND RE-STRIP ENTIRE PARKING LOT
  - 7 NEW CONCRETE PAVERS ON 8" G.A.B. SEE DETAIL 2/SD-4
  - 8 EXISTING LIFT STATION TO REMAIN. INSTALL NEW BRICK VENEER AROUND EXTERIOR WALLS AND PROVIDE 1/4" PLATE TOP OF 2" X 2" TUBE STEEL FRAME WITH LIFTING HANDLES
  - 9 LANDSCAPE AREA WITH DRIP IRRIGATION SYSTEM (PROVIDED AND INSTALLED BY CITY OF LAGRANGE)
  - 10 REPLACEABLE TACTILE WARNING SURFACE TILES TRUNCATED DOME TILES - SEE DETAIL1/SD-5.



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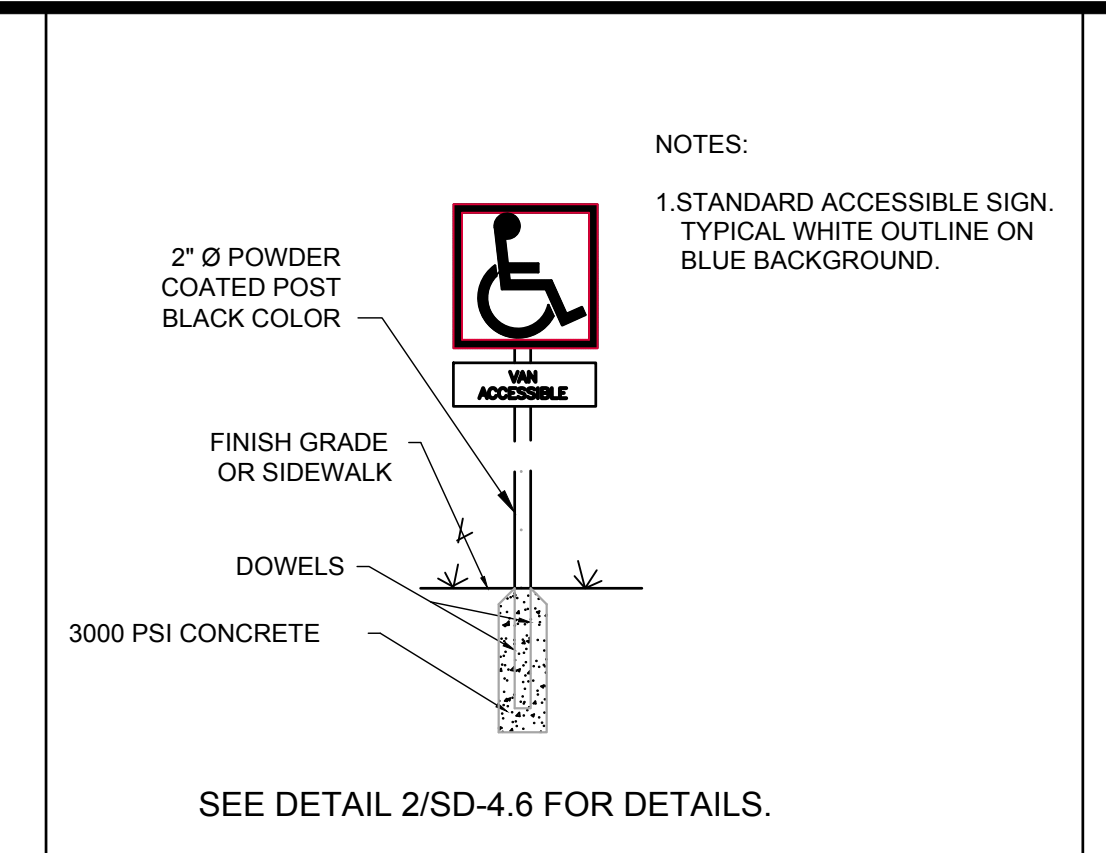
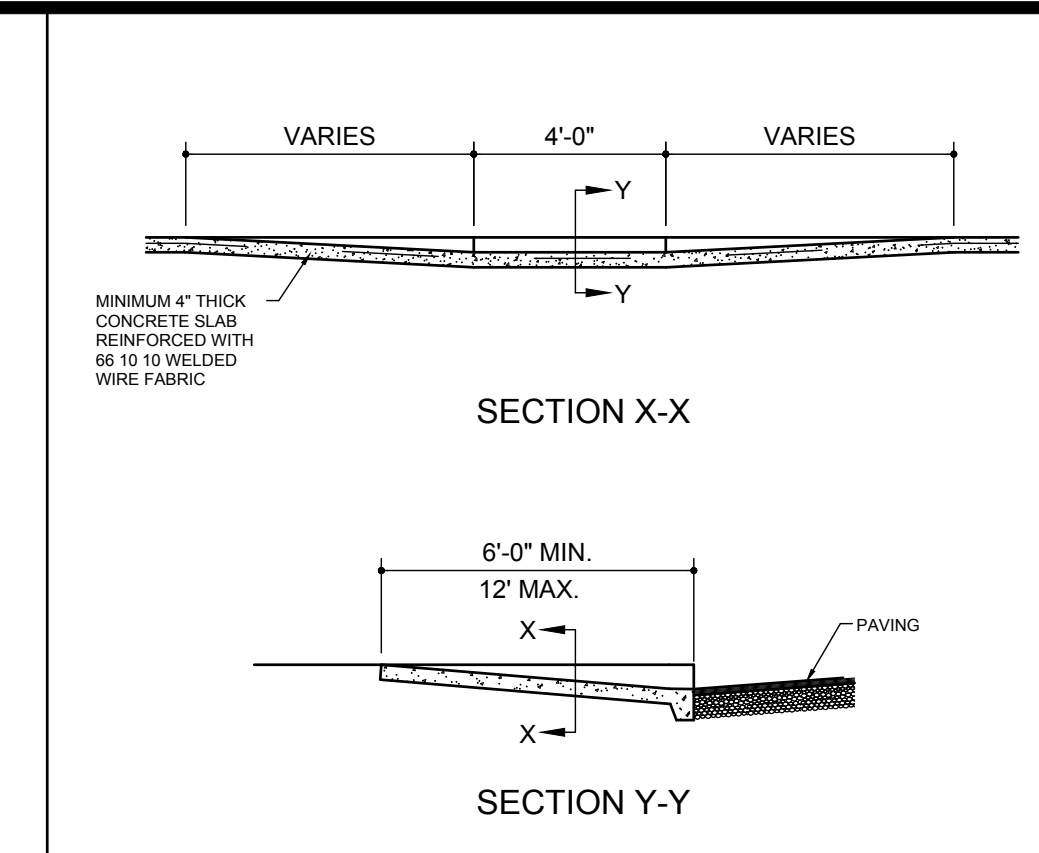
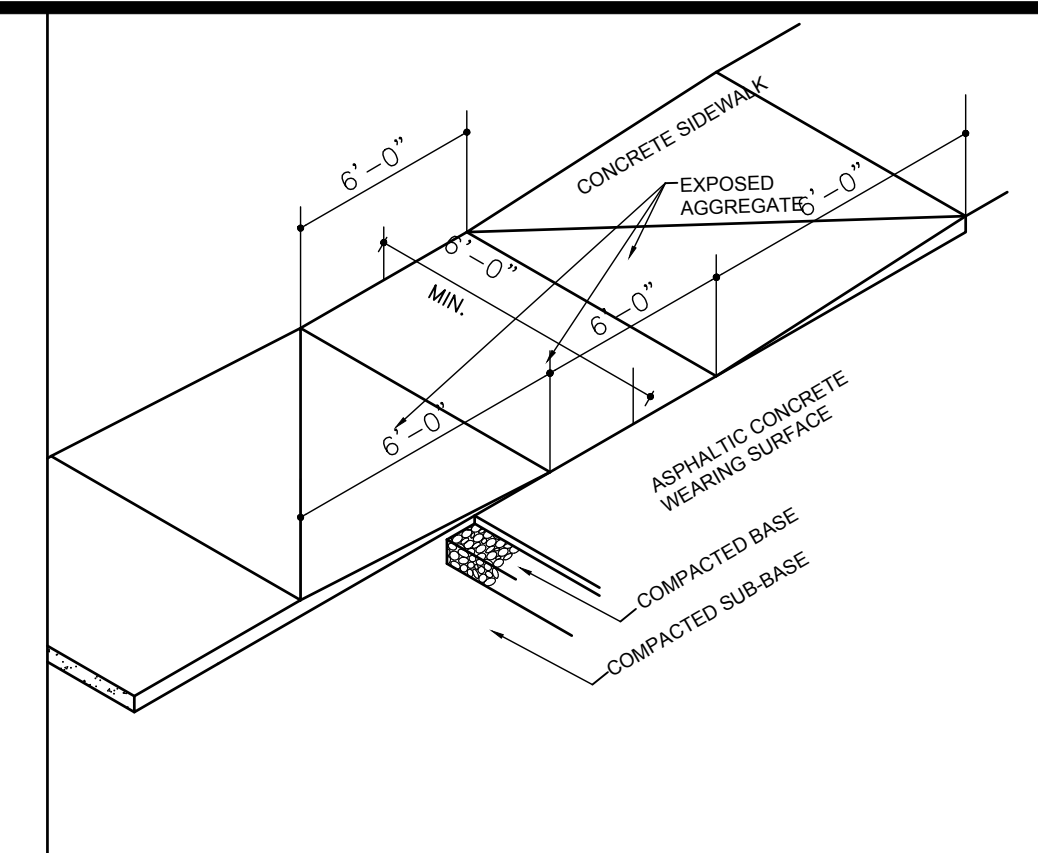
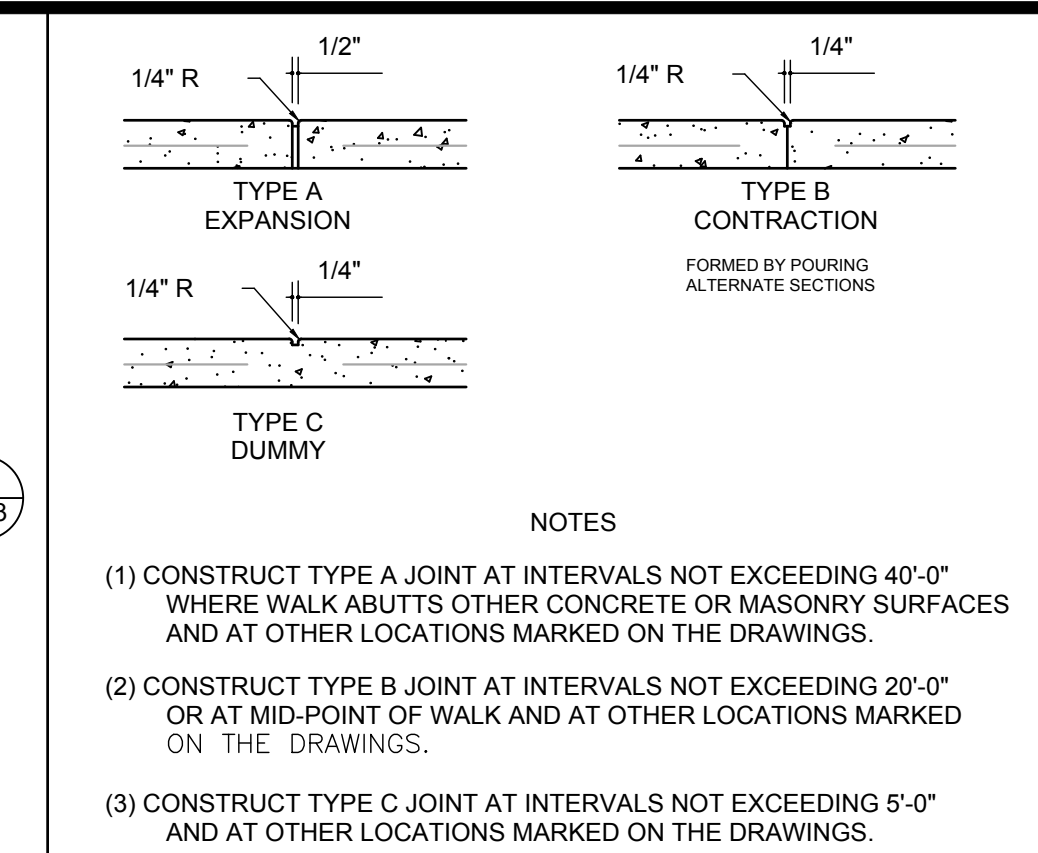
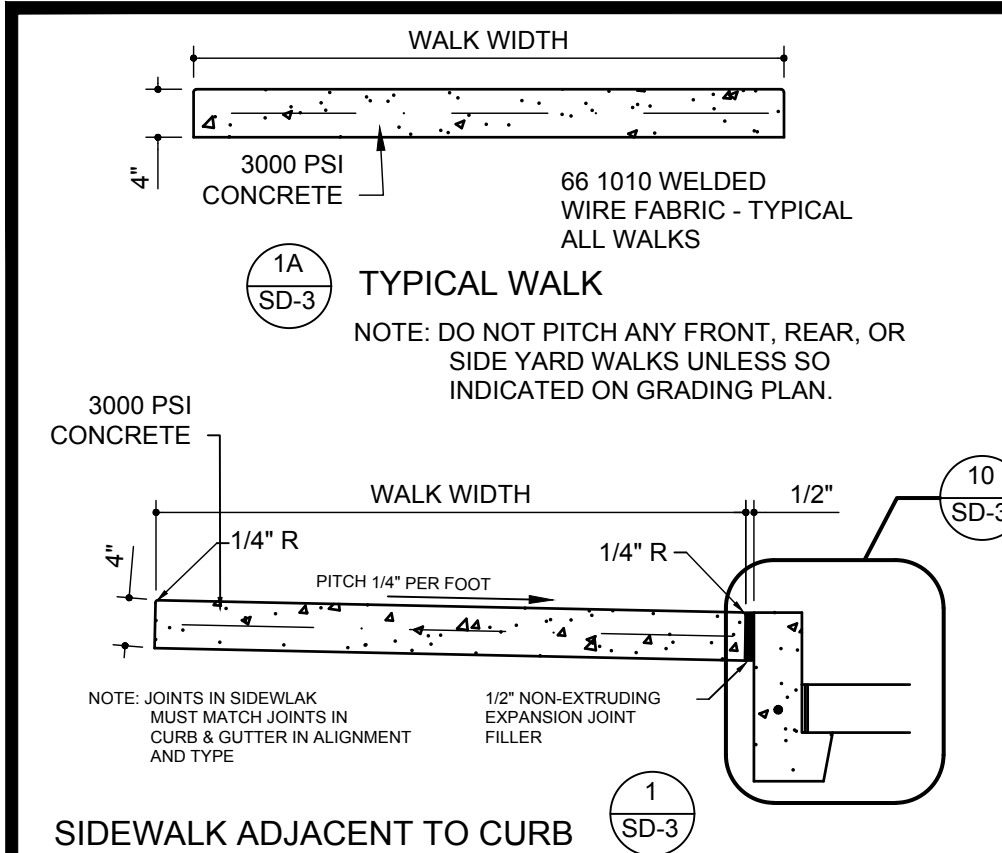
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**TITLE:**

**SITE PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-2</b>

1 SITE PLAN - PROPOSED Scale: 1/8" = 1'-0"



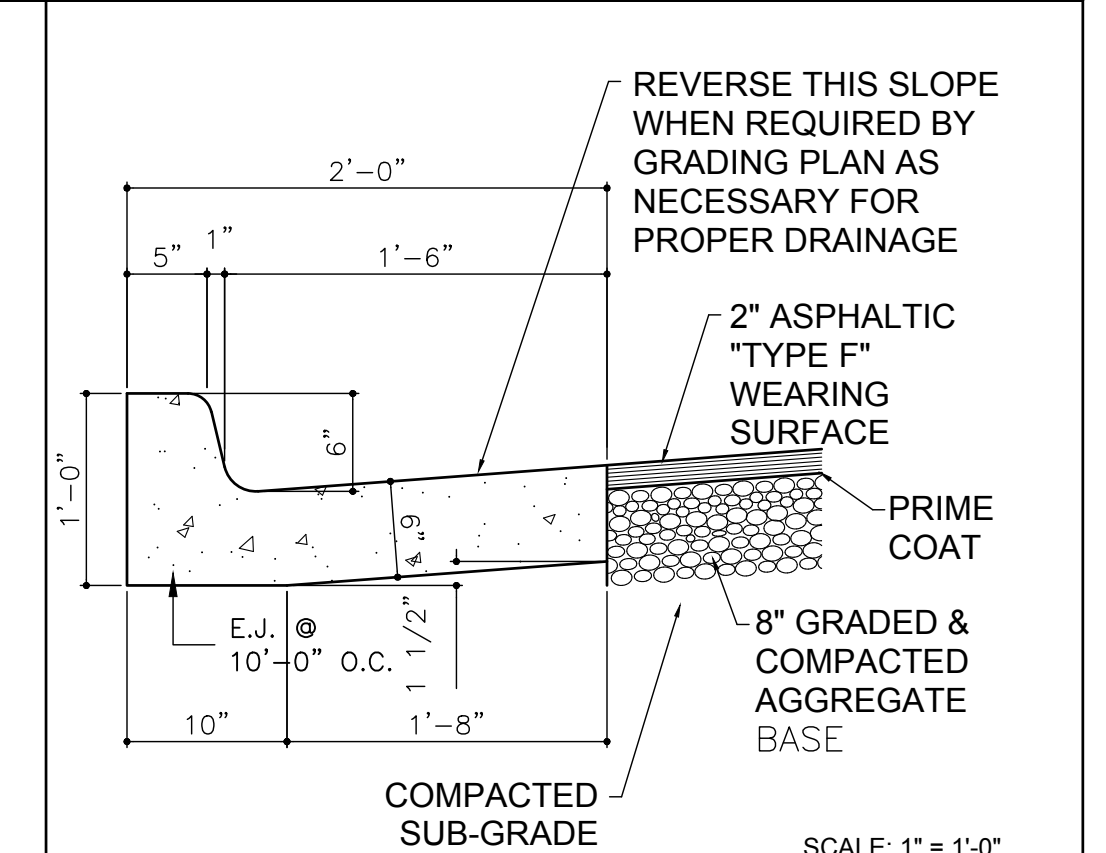
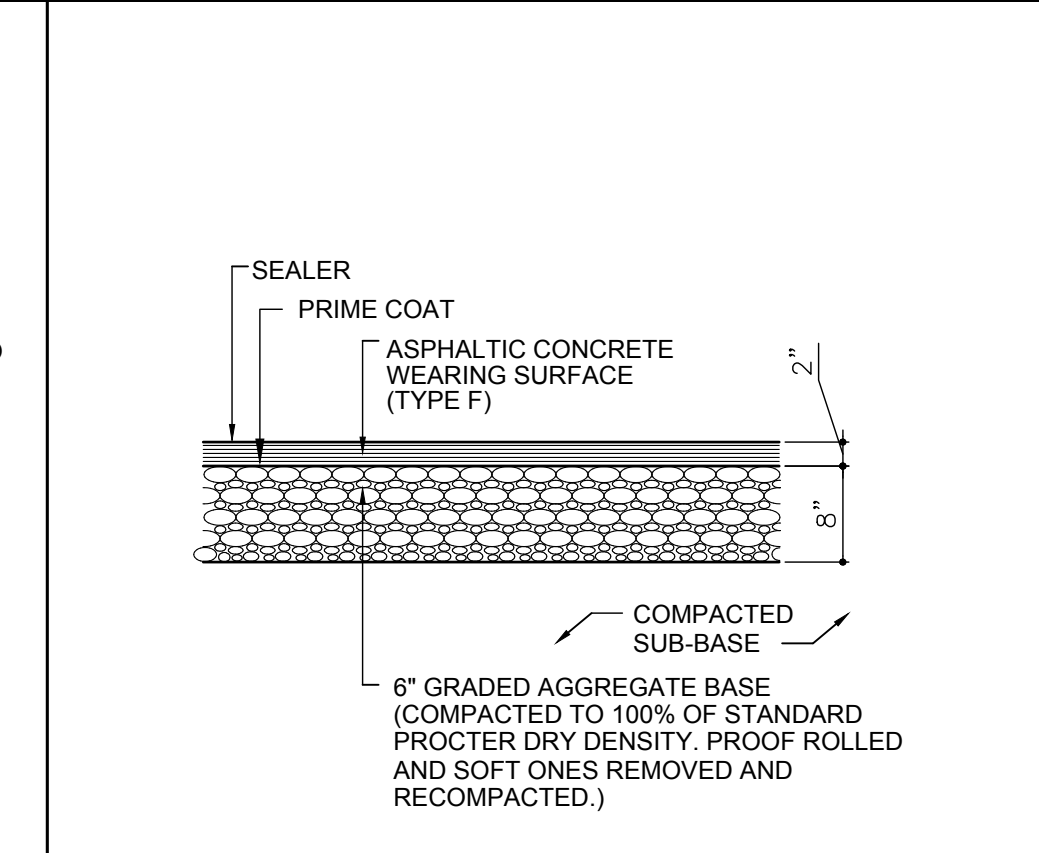
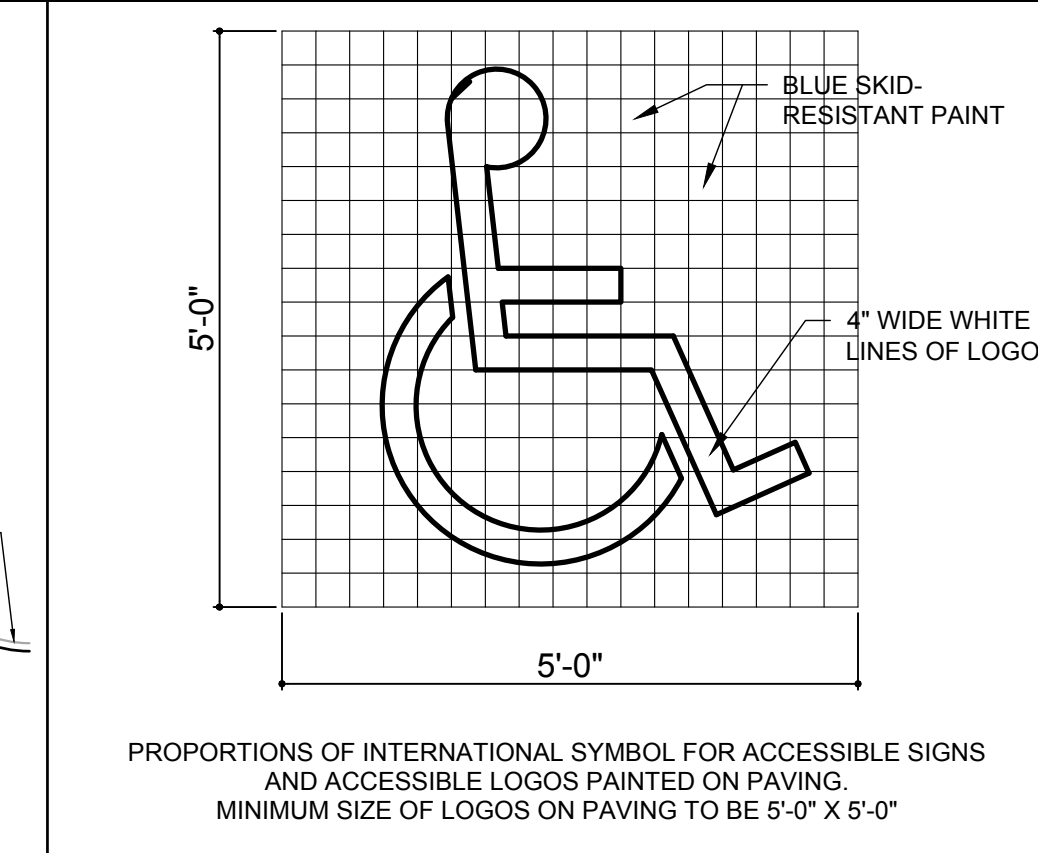
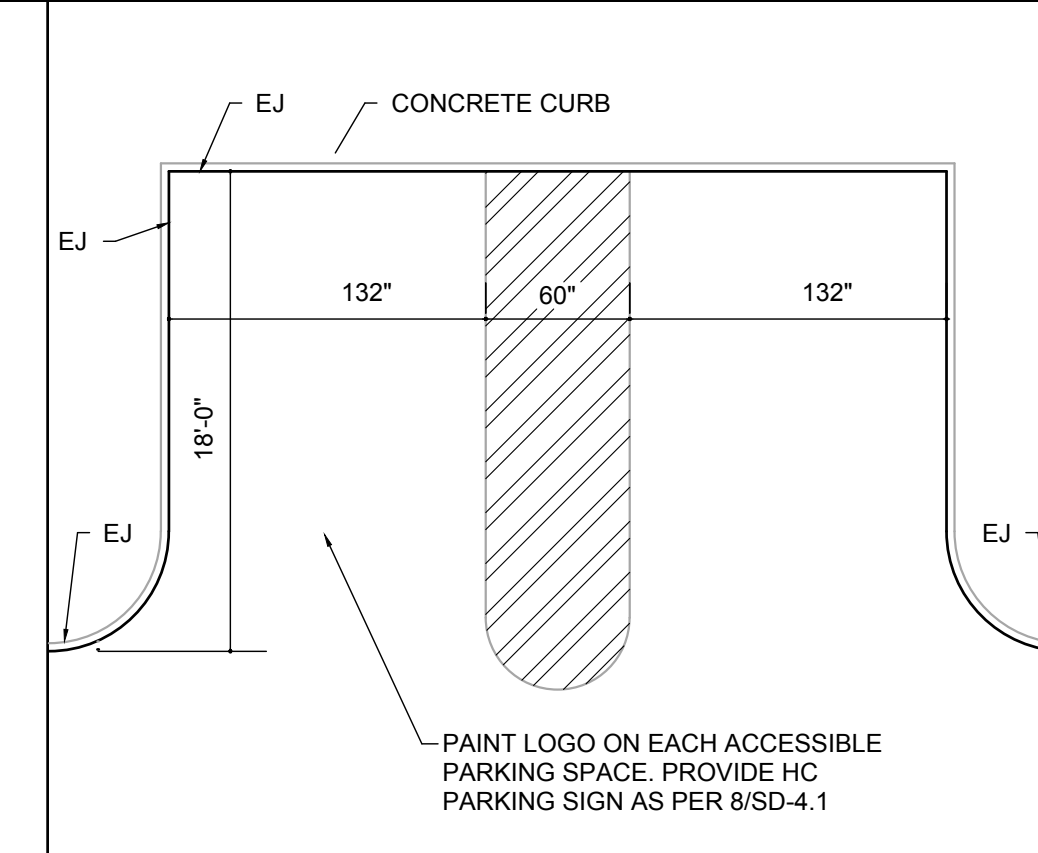
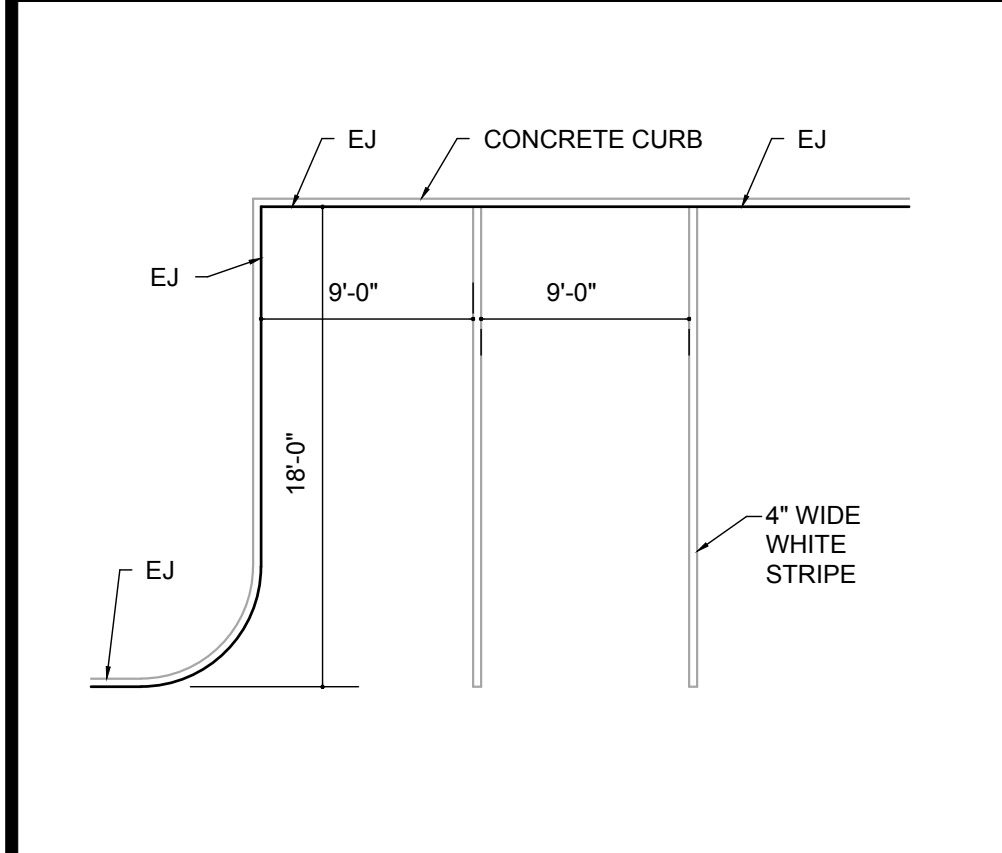
1 TYPICAL WALK  
SCALE 3/4" = 1'-0"

2 CONCRETE WALK JOINTS  
SCALE 3/4" = 1'-0"

3 ISOMETRIC-WHEELCHAIR RAMP  
SCALE 1/4" = 1'-0"

4 WHEELCHAIR RAMP DETAILS  
SCALE 1/4" = 1'-0"

5 ACCESSIBLE PARKING SIGNAGE  
NO SCALE



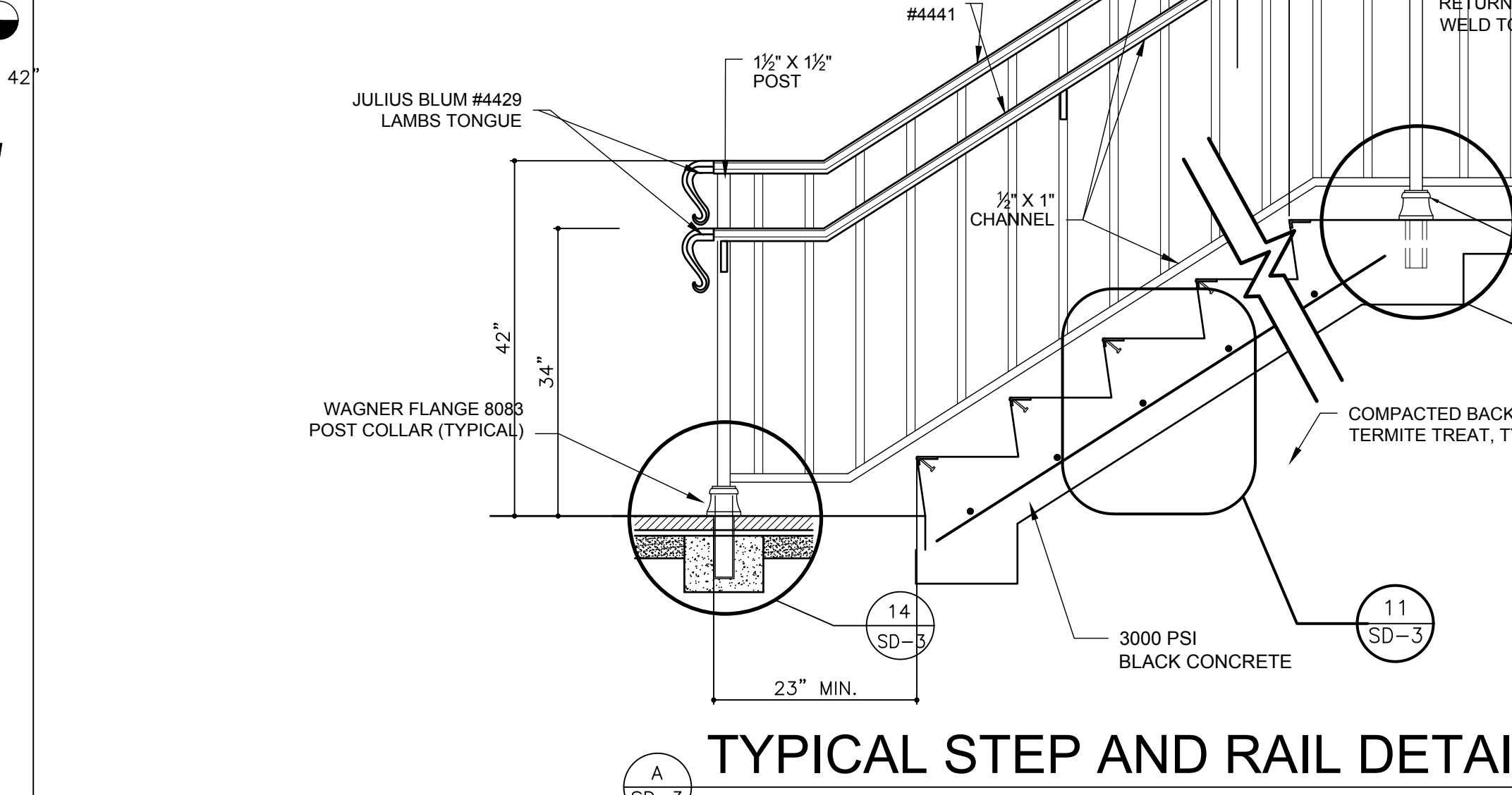
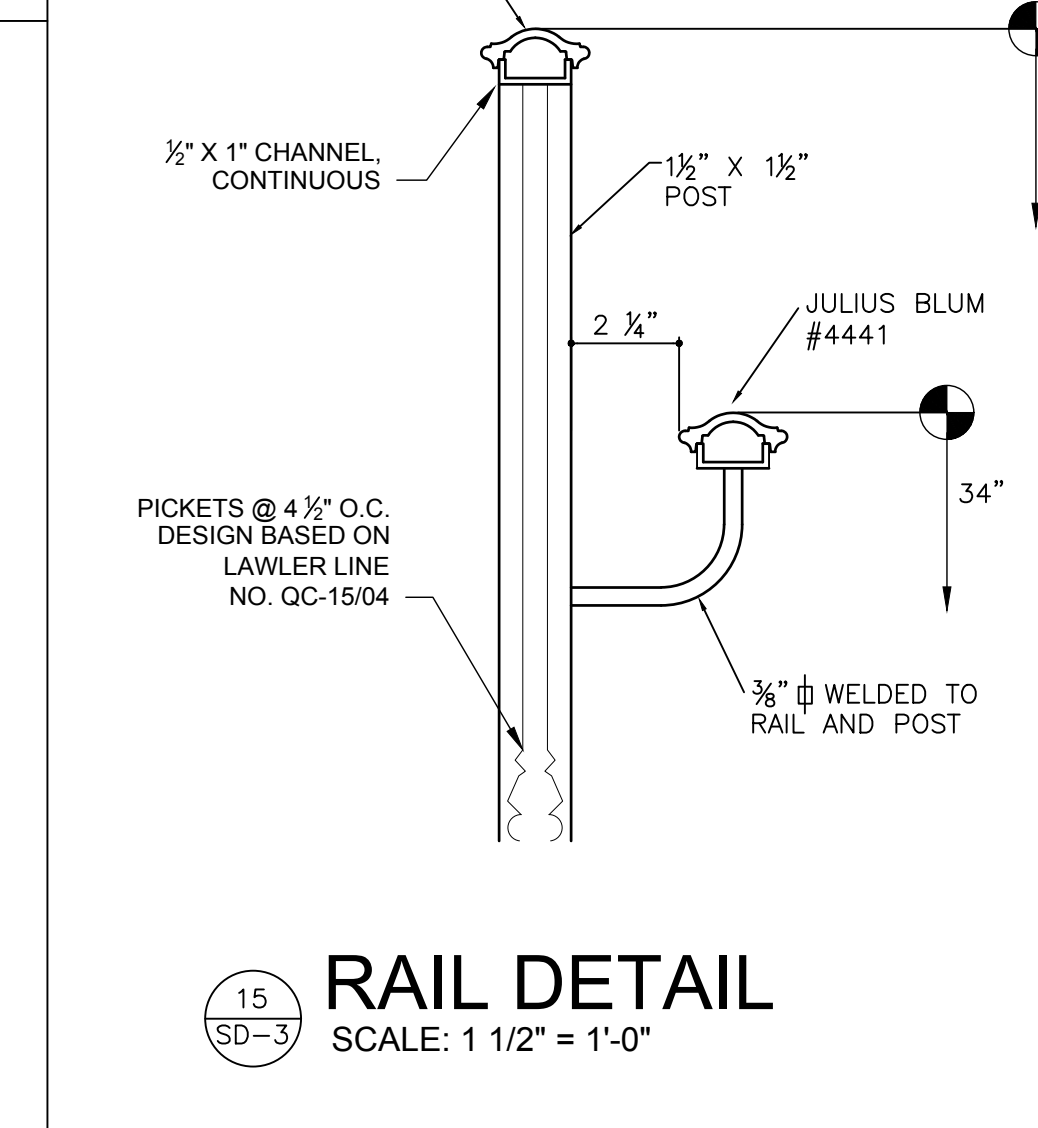
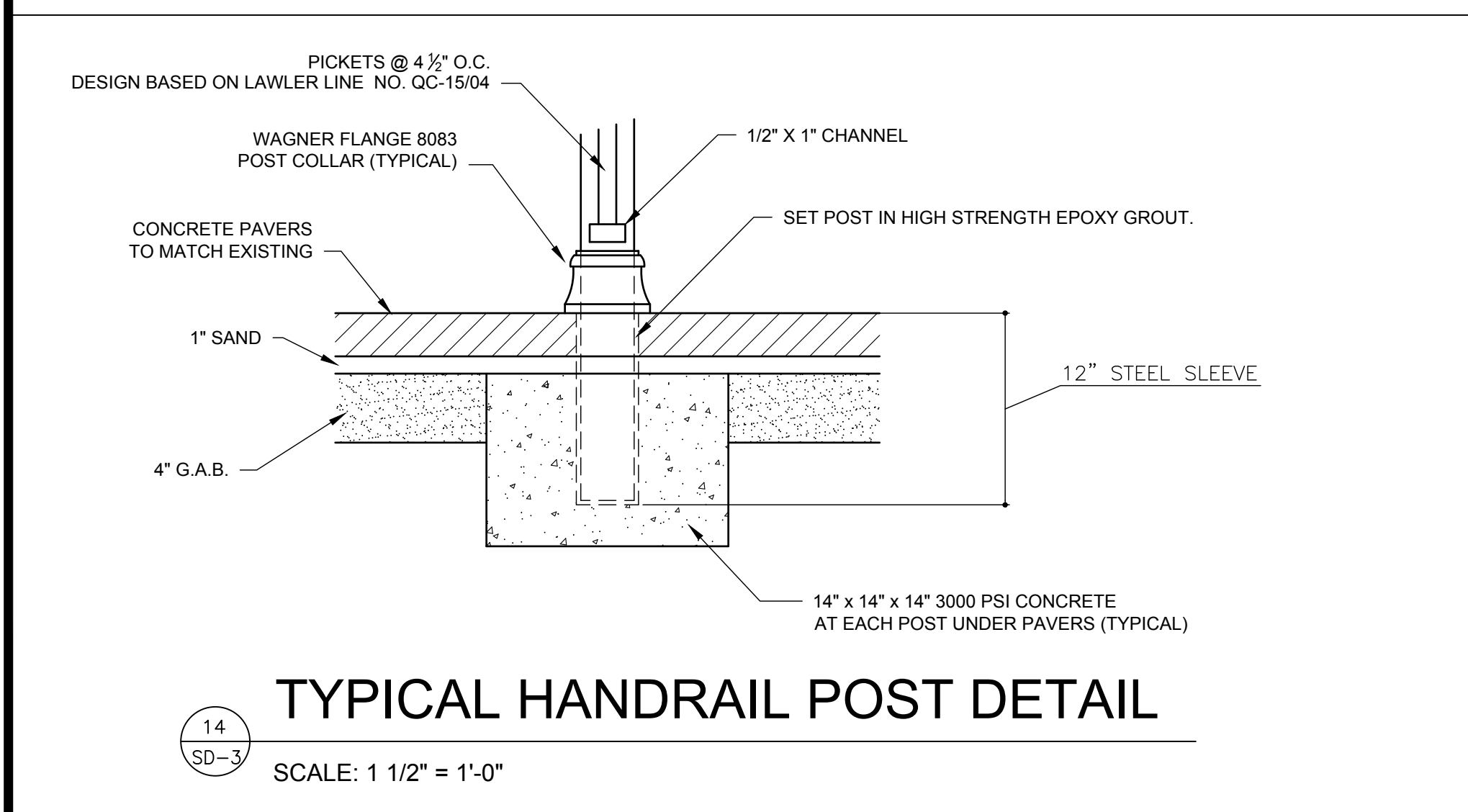
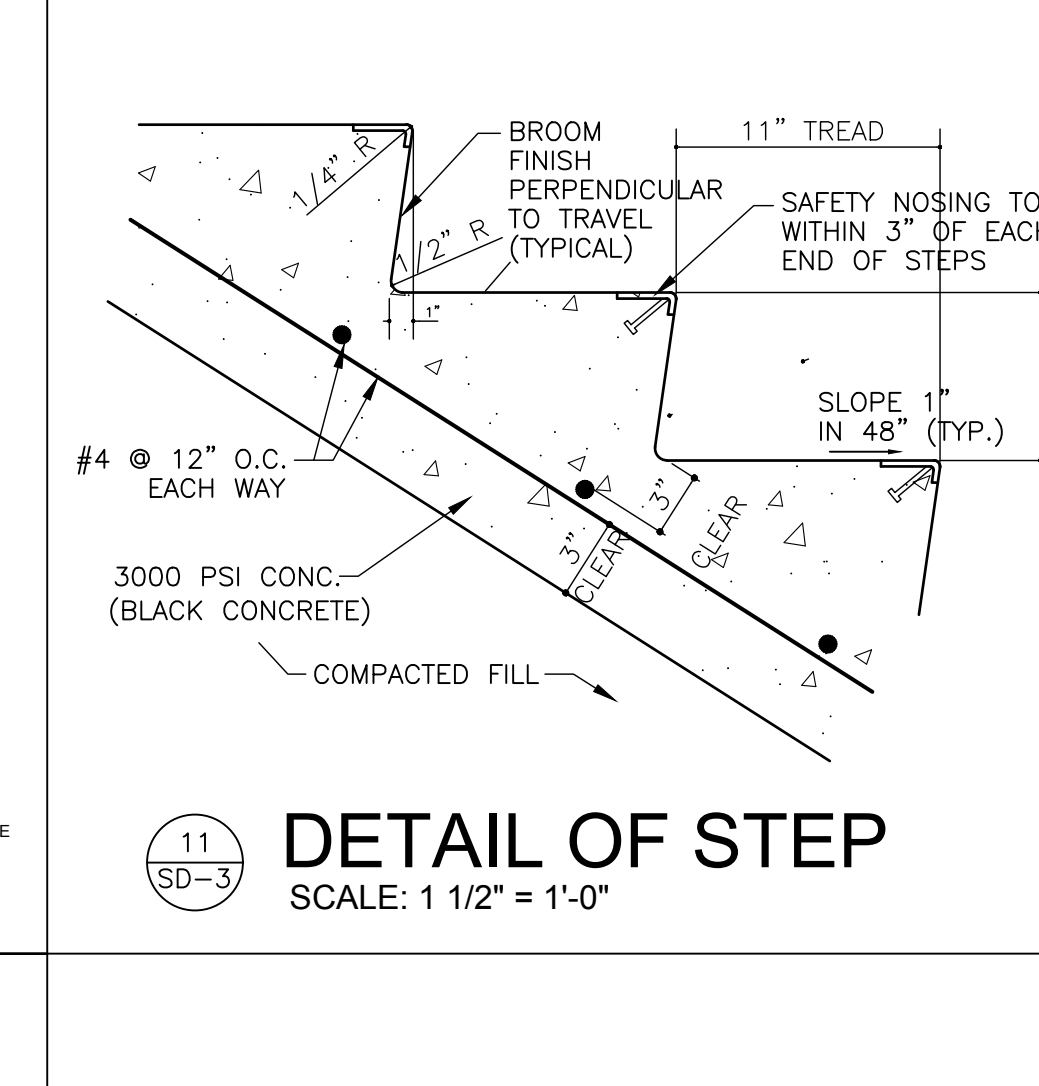
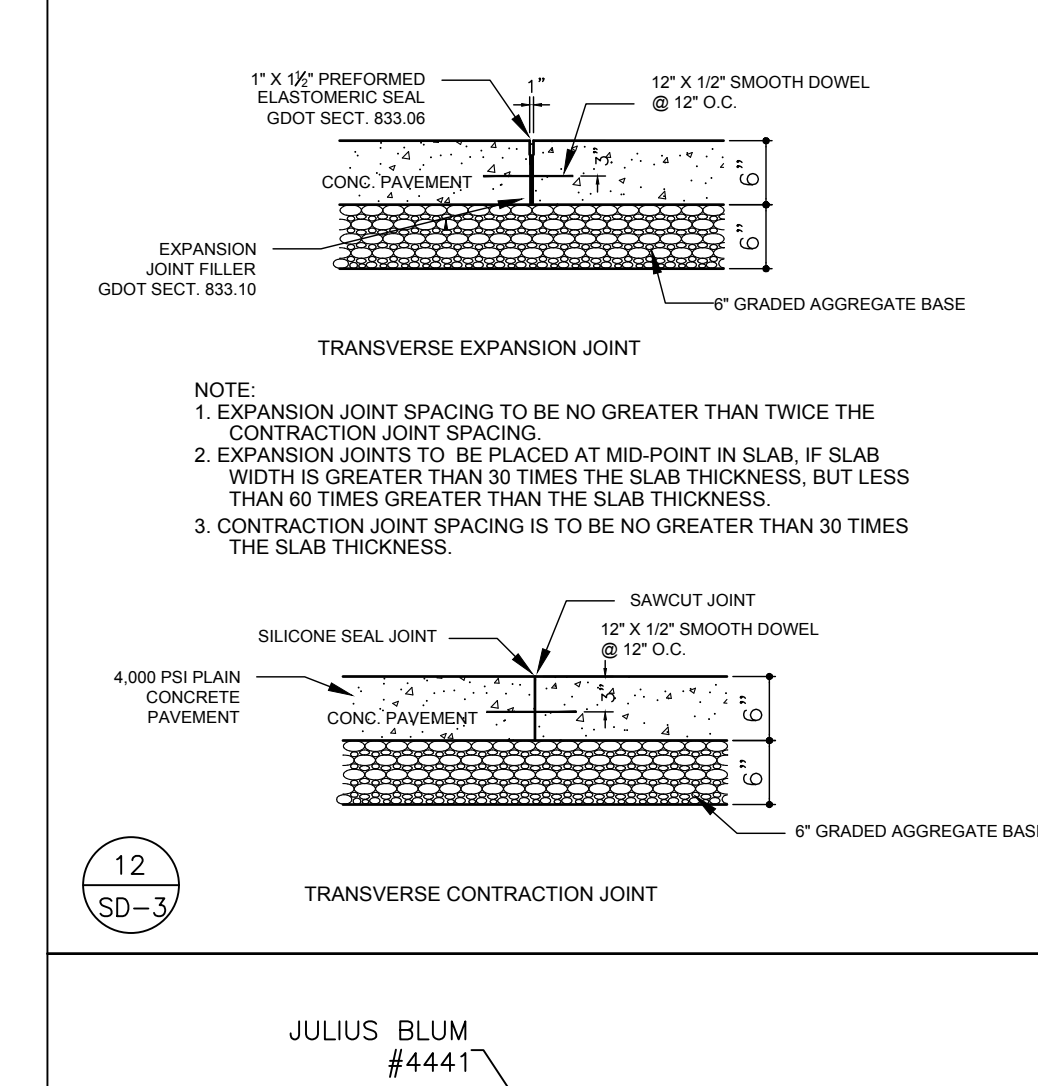
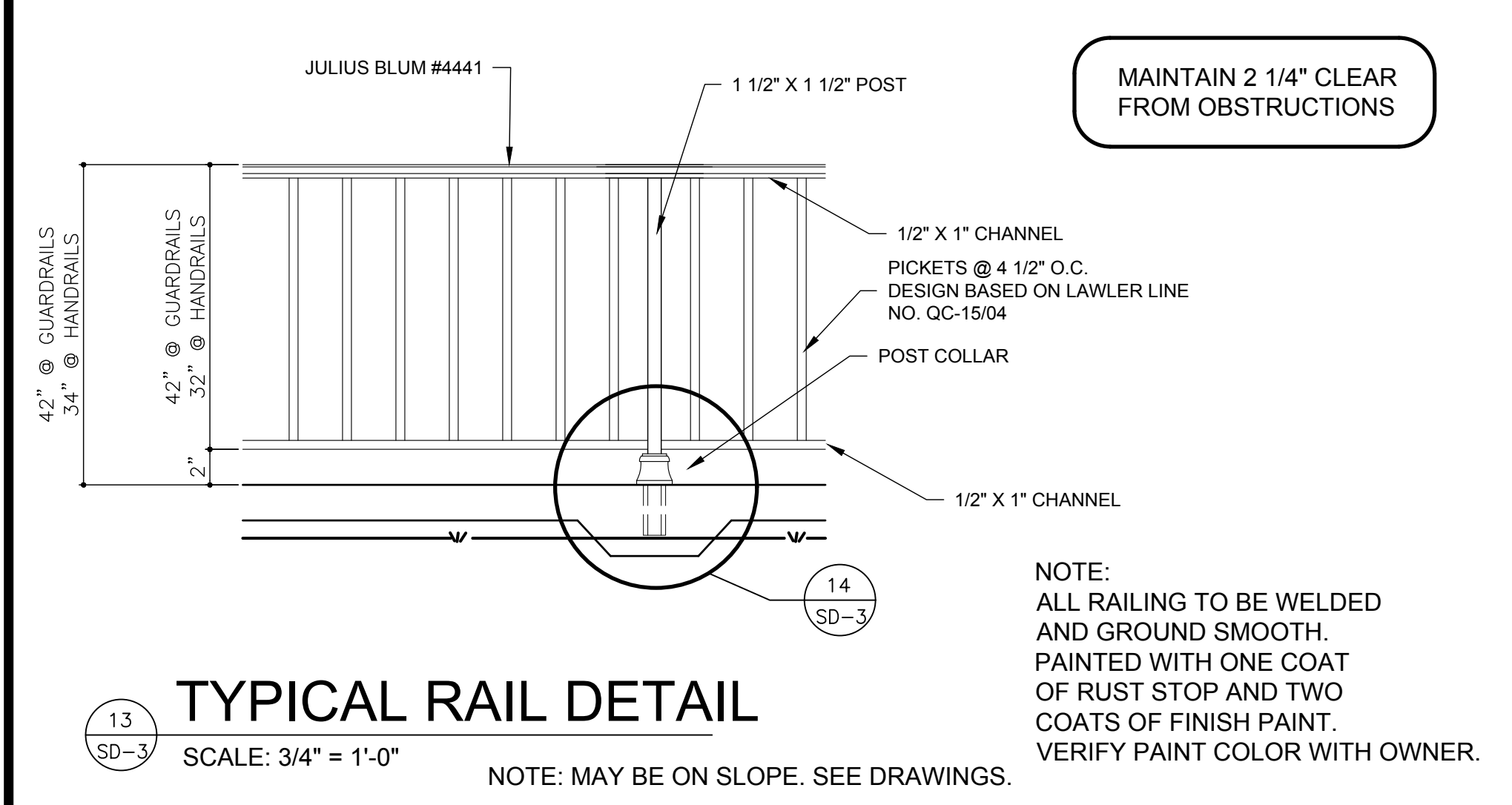
6 PLAN-TYPICAL NON-ACCESSIBLE PARKING SPACES  
SCALE 1/8" = 1'-0"

7 UNIVERSAL ACCESSIBLE PARKING SPACE  
SCALE 1/8" = 1'-0"

8 ACCESSIBLE LOGO (TO BE PAINTED ON ALL  
NO SCALE ACCESSIBLE PARKING SPACES)

9 DETAIL - LIGHT DUTY ASPHALTIC  
SCALE 1" = 1'-0"

10 CONCRETE CURB AND GUTTER AND ASPHALTIC  
SCALE 1" = 1'-0"



13 TYPICAL RAIL DETAIL  
SCALE: 3/4" = 1'-0"

14 TYPICAL HANDRAIL POST DETAIL  
SCALE: 1 1/2" = 1'-0"

15 RAIL DETAIL  
SCALE: 1 1/2" = 1'-0"

11 DETAIL OF STEP  
SCALE: 1 1/2" = 1'-0"

14 TYPICAL STEP AND RAIL DETAIL  
SCALE: 3/4" = 1'-0"

NOTE: STEPS AND RAILING ON RADIUS (SEE PLAN)



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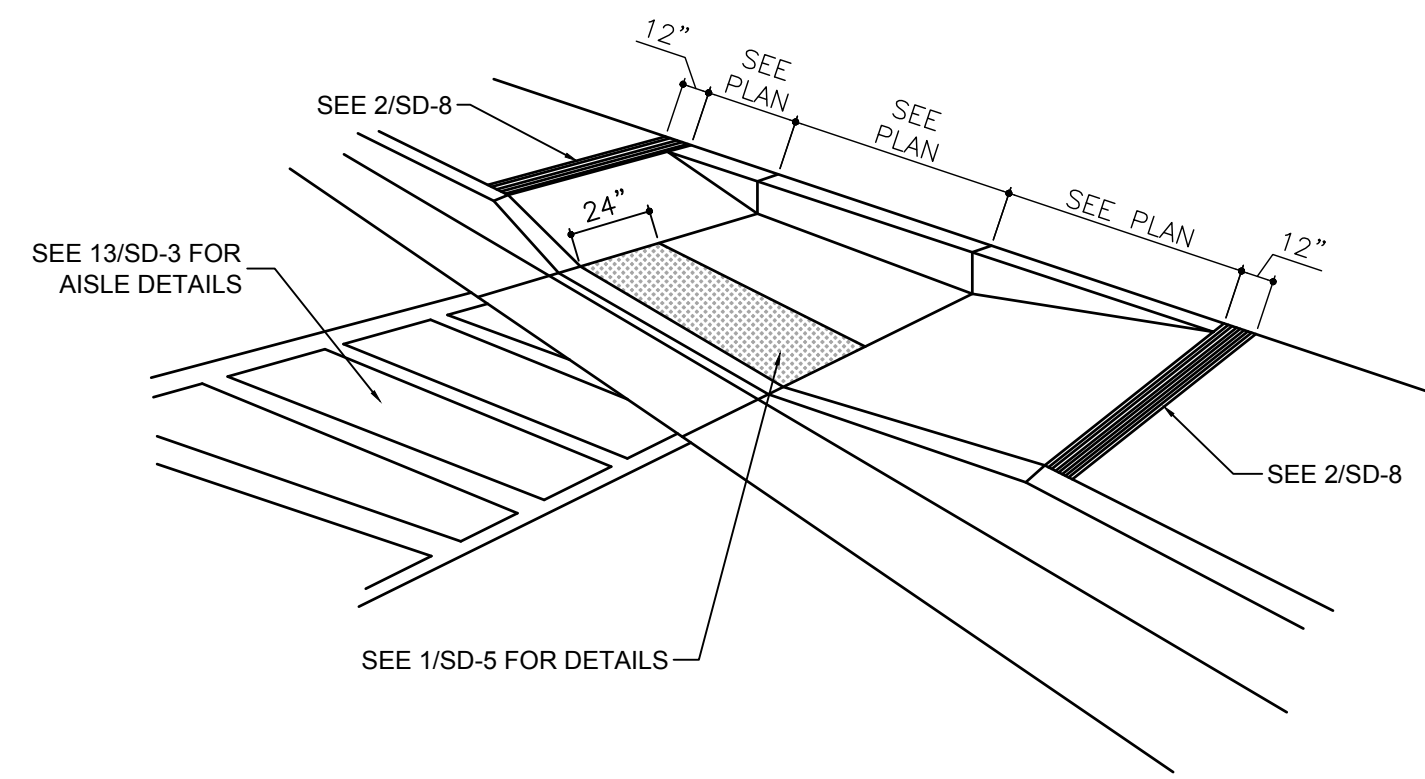
REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

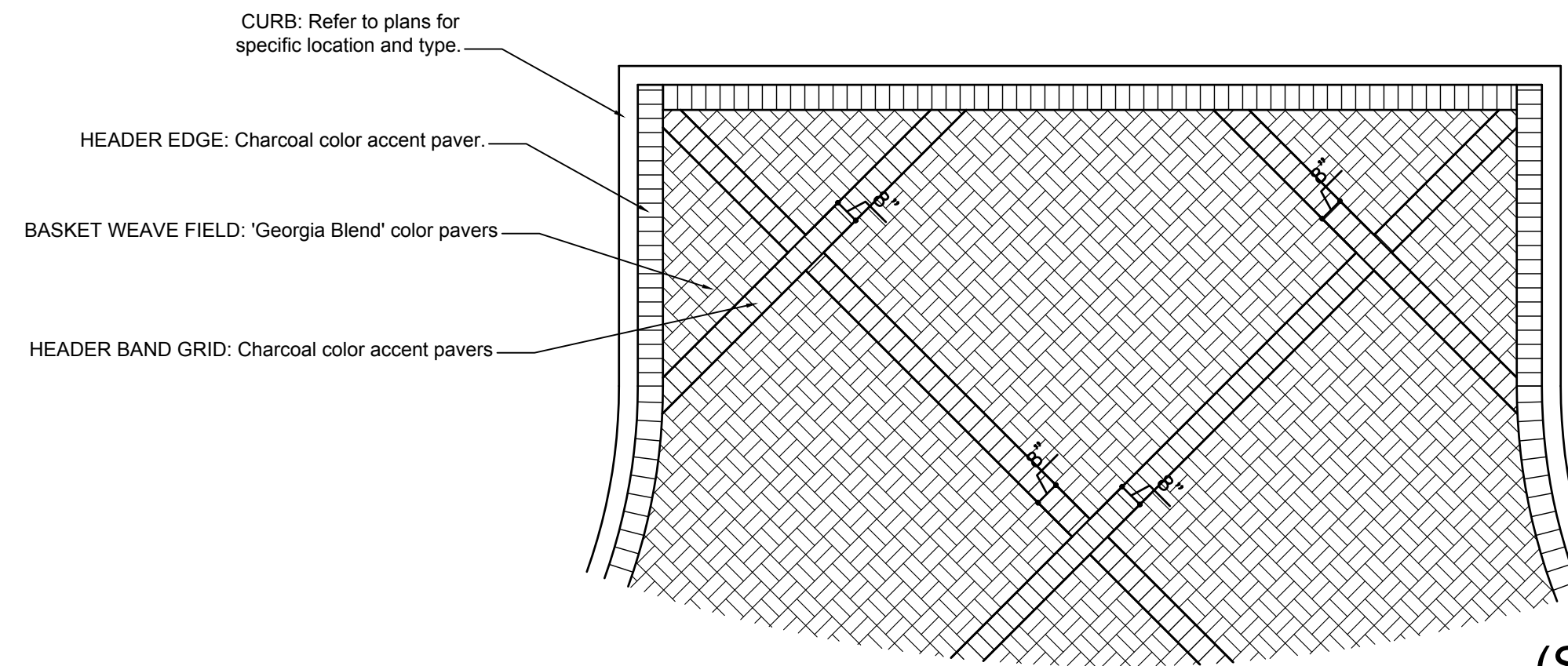
TITLE:  
**SITE DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-3</b>





1  
SD-4  
**TYPICAL CURB RAMP DETAIL**  
SCALE: N.T.S.

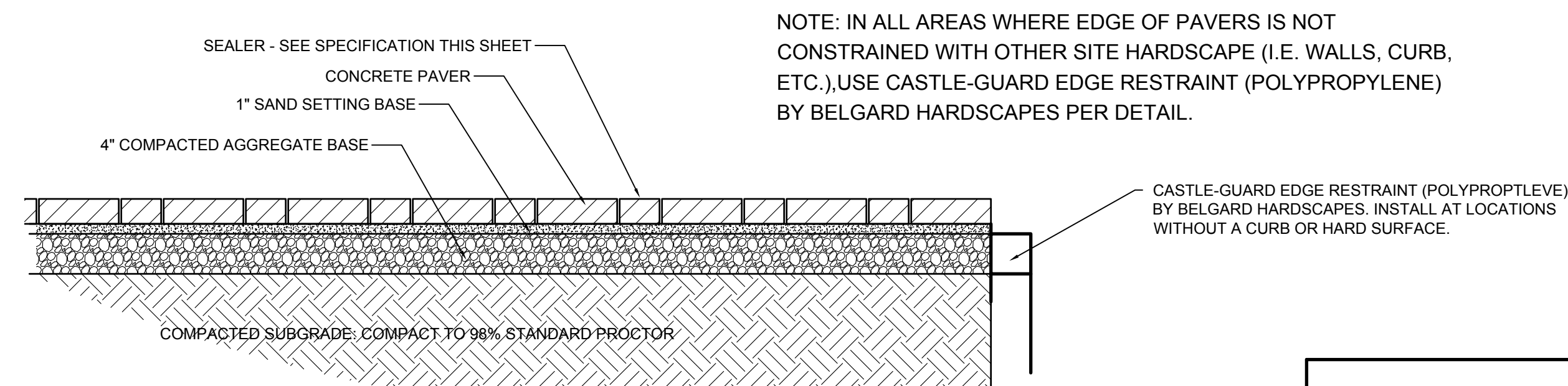


(SEE PLAN FOR EXACT LAYOUT)

2  
SD-4  
**CONCRETE PAVER PATTERN**  
SCALE: NOT TO SCALE

**PAVER LAYOUT NOTES:**

- ALL HERRINGBONE FIELD PAVERS TO BE 'GEORGIA BLEND' COLOR
- ALL HEADER EDGE AND BANDING TO BE 'CHARCOAL' COLOR
- SEE HARDSCAPE PLANS FOR PAVER GRID ORIENTATIONS AND PATTERNS
- ALL GRID PATTERNS TO BE ON 45° DIAGONAL TO EITHER CURB OR PLANTER. START GRID PATTERN AS INDICATED ON CENTERLINE AXIS
- ALL AREA HERRINGBONE FIELDS TO BE 10' X 10' DIAGONAL SQUARES.
- ALL GRID PATTERNS TO BE 10'-8" O.C.
- CUT EDGE PAVERS AS NECESSARY.



3  
SD-4  
**CONCRETE PAVER - PEDESTRIAN AREAS**  
SCALE: 1" = 1'-0"

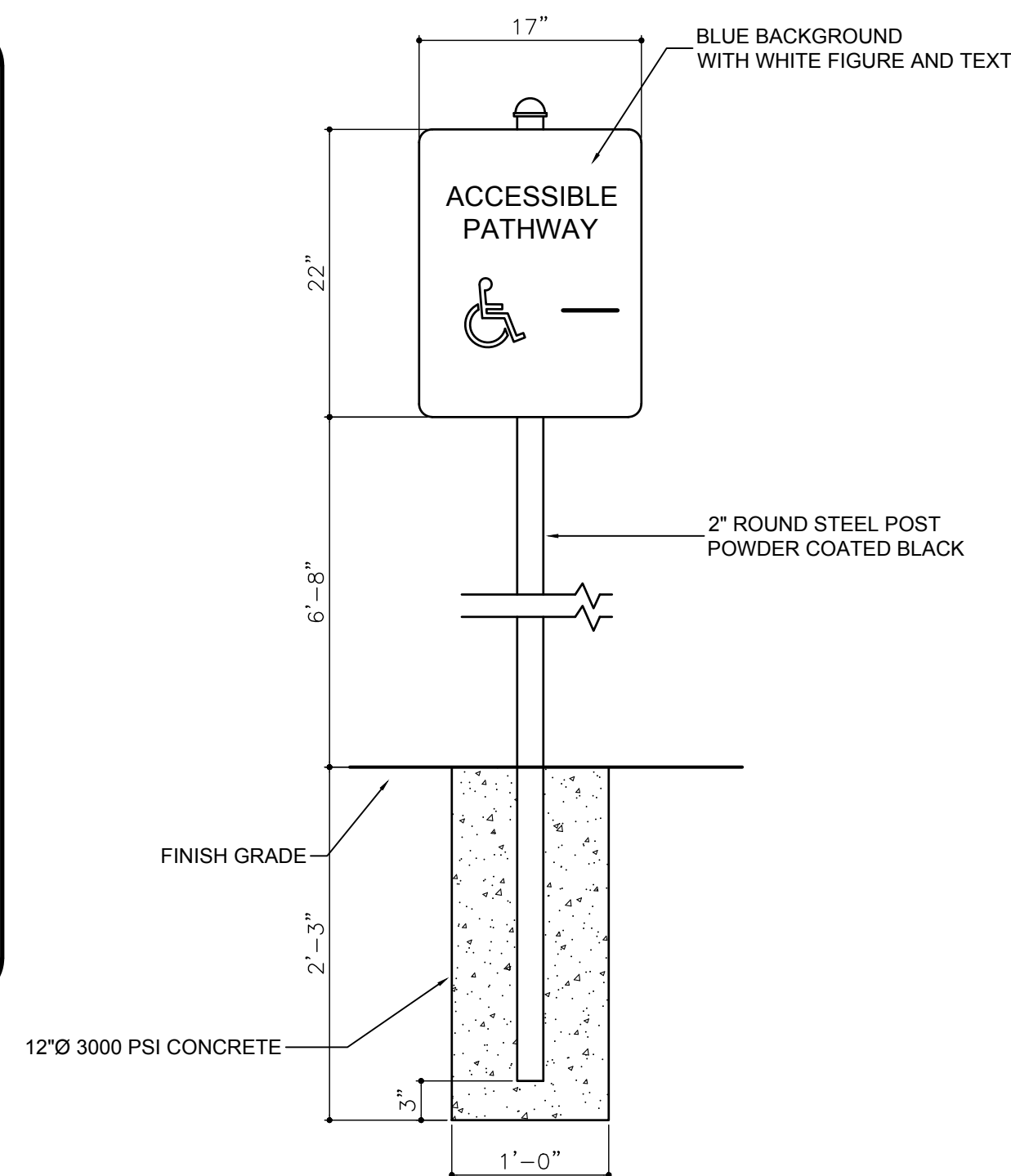
**BRICK AND COLORED MORTAR CASH ALLOWNACE**

1. PROVIDE CASH ALLOWANCE OF \$900.00 PER 1,000 BRICK.
2. PROVIDE CASH ALLOWANCE OF \$18.00 PER BAG OF COLORED MORTAR.
3. PROVIDE SOLID BRICKS IN CASH ALLOWANCE.

**SEALER SPECIFICATION**

SEAL CONCRETE PAVERS WITH TECHNISEAL WLS. ACID WASH PAVERS PRIOR TO INSTALLING SEALER PER MANUFACTURER'S RECOMMENDATIONS. INSTALL 1 GALLON F SEALER PER 130 SQUARE FEET OF PAVERS.

- NOTES:**
1. METAL POST TO BE POWDER COATED. ALL NUTS, BOLTS, WASHERS AND SCREWS MUST BE RUST PROOF.
  2. NOT USED.
  3. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
  4. SIGNS WILL BE FABRICATED BY USING REFLECTIVE COATING IN THE SYMBOL, MESSAGE AND BORDER APPLIED TO A SHEET ALUMINUM BACKING (.080) IN THICKNESS.
  5. MESSAGE LETTERING SHALL BE UPPERCASE (WHITE) (SERIES B) 2" HIGH IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  6. THE SYMBOL IS COMPOSED OF TWO ELEMENTS: A WHITE WHEELCHAIR FIGURE (WHICH SHOULD ALWAYS FACE RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 595a, COLOR #15180.
  7. SIGN POST SHALL BE 2'-0" CLEAR FROM BACK OF CURB.



4  
SD-4  
**ACCESSIBLE PATHWAY SIGNAGE**  
SCALE: 1" = 1'-0"

**CITY WILL REMOVE EXISTING PAVERS; PROVIDE & INSTALL ALL NEW PAVERS**

**PAVER NOTES:**

1. PAVERS TO BE 'HOLLAND STONE' PAVER BY BELGARD. SIZE 3 15/16" X 7 7/8" X 2 3/8" ht. COLOR FOR HERRINGBONE FEILD TO BE 'GEORGIA BLEND'. COLOR FOR PERIMETER HEADER EDGE AND FOR ALL DIAGONAL BANDING TO BE 'CHARCOAL'.
2. IN PREPARATION FOR PAVER INSTALLATION IN VEHICULAR / CROSS WALK AREAS, PROVIDE WELL COMPACTED SUBGRADE 9 3/8" BELOW PROPOSED FINISH ELEVATION OF PAVERS. IN PREPARATION FOR PAVER INSTALLATION IN PEDESTRIAN AREAS, PROVIDE WELL COMPACTED SUBGRADE 7 3/8" BELOW PROPOSED FINISH ELEVATION OF PAVERS.
3. ALL BASE COURSES TO BE LEVELED AND WELL COMPACTED AS REQUIRED.
4. IN ALL AREAS WHERE EDGE OF PAVERS IS NOT CONSTRAINED WITH OTHER SITE HARDSCAPE (I.E. WALLS, CURB, ETC.), EDGE MUST BE CONSTRAINED WITH EDGE. EDGE TO BE CASTLE-GUARD EDGE RESTRAINT (POLYPROPTLEVE) BY BELGARD HARDSCAPES TO BE ±3/4" LOWER THAN (RECESSED) TOP OF ADJACENT PAVER. BORDER GUARD DIMENSIONS ARE 3/16" X 4". INSTALL WITH STAKES PER MANUFACTURER'S RECOMMENDATIONS.
5. WHERE REQUIRED, CUT PAVERS WITH AN APPROVED CUTTING DEVICE TO FIT SECURELY, ACCURATELY AND NEATLY WITHOUT DAMAGE TO PAVER EDGES.
6. TAMP PAVERS WITH A PLATE COMPACTOR, UNIFORMLY LEVEL, TRUE TO GRADE AND FREE OF MOVEMENT.
7. SPREAD A THIN LAYER OF #8 OR #9 AGGREGATE OVER ENTIRE PAVER AREA. MAKE ONE MORE PASS WITH PLATE COMPACTOR TO NEST THE AGGREGATE AND FILL THE JOINTS.
8. SWEEP AND REMOVE SURPLUS JOINT MATERIAL.



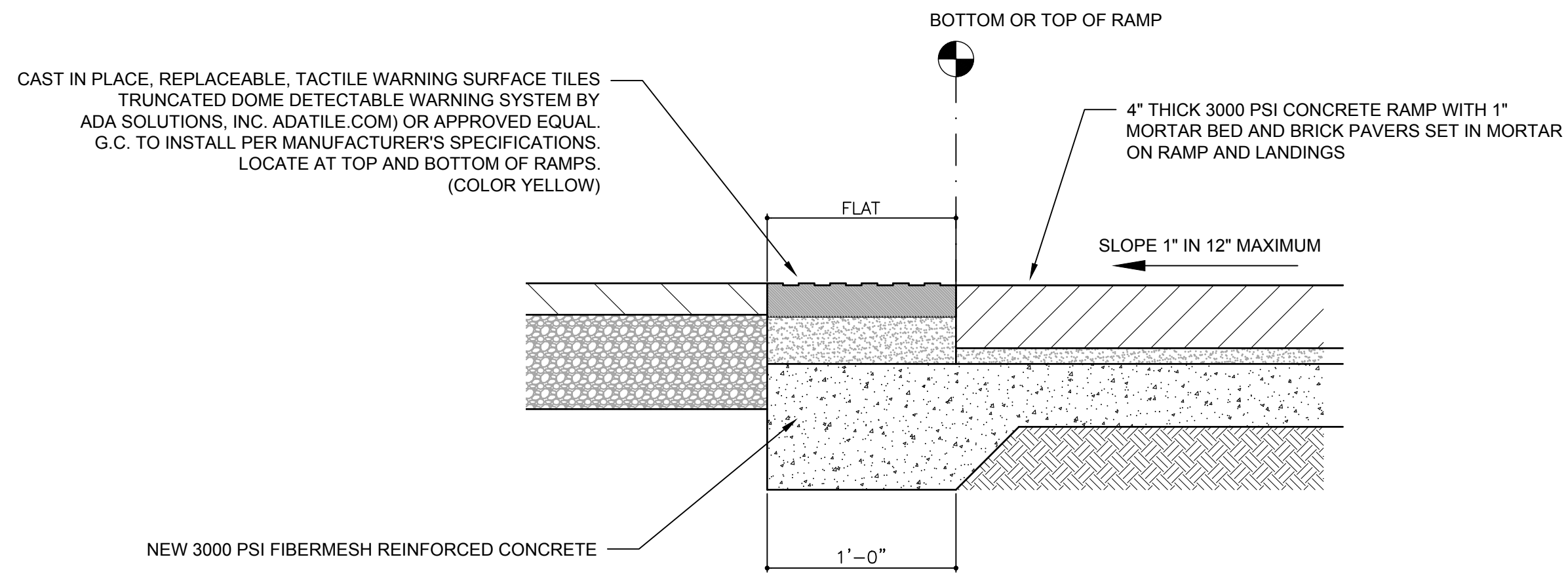
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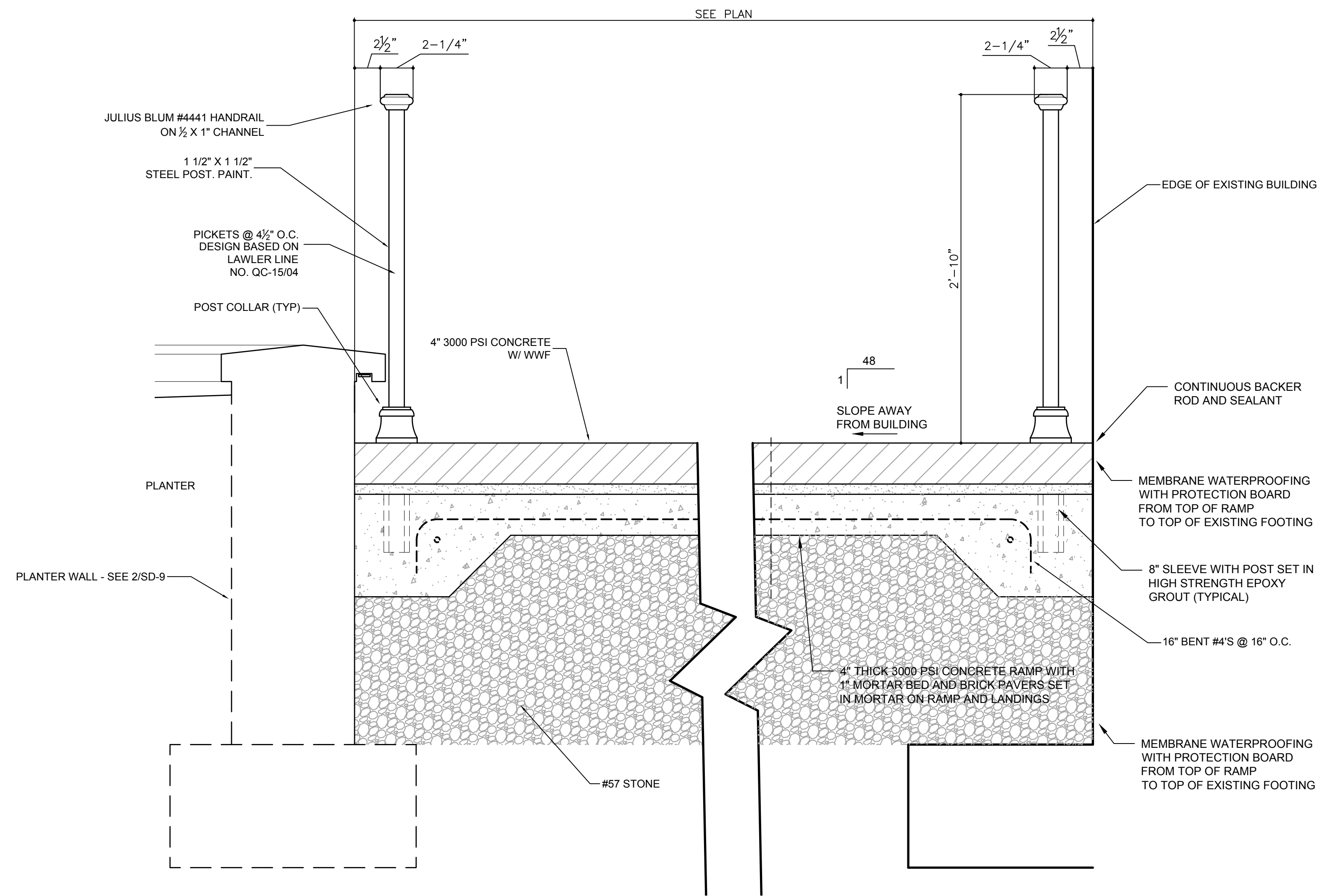
PROJECT:  
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TITLE:  
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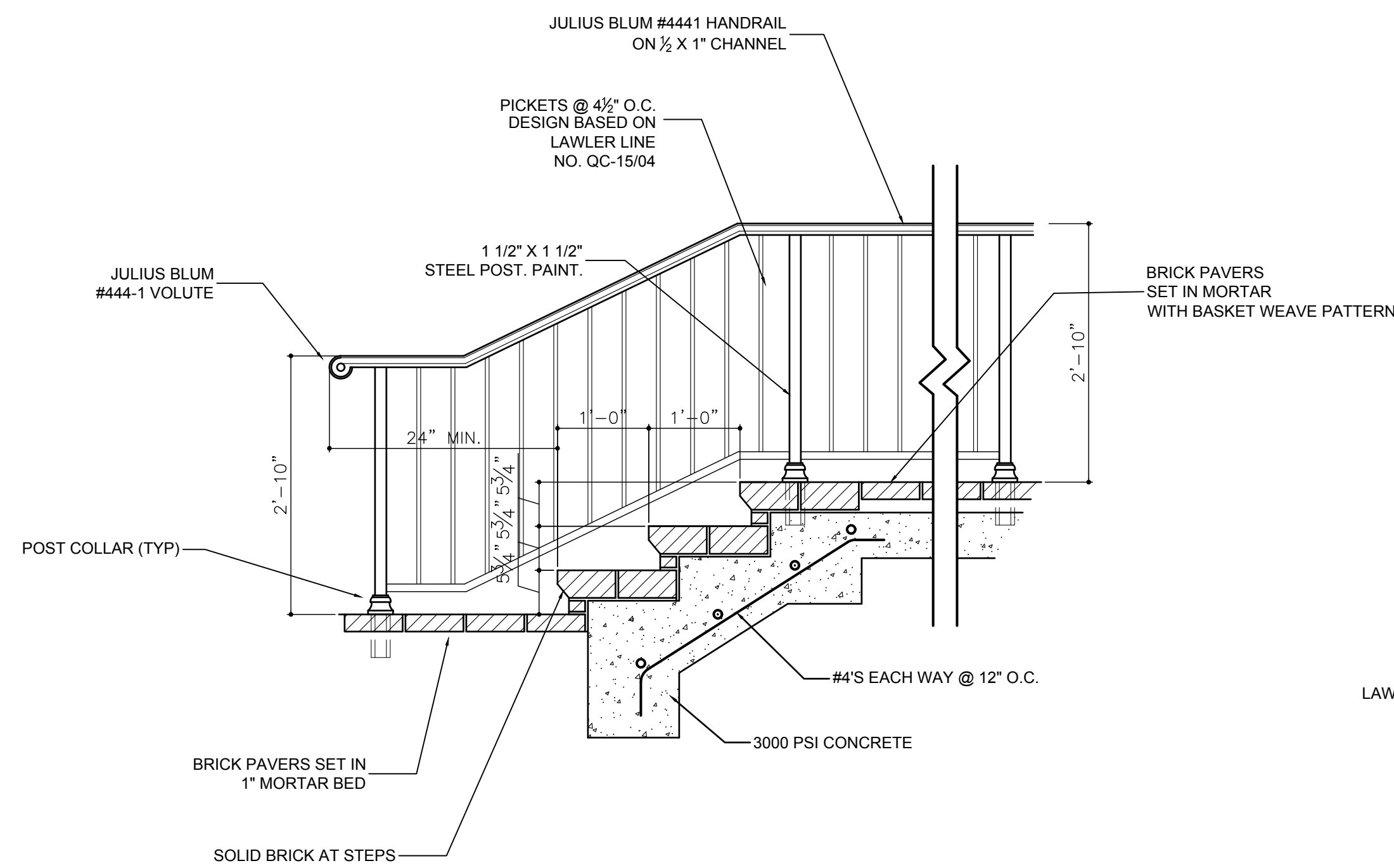
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE:	SHEET: <b>SD-4</b>
FOR PRICING 24 APR 2020	



1  
SD-5 TRUNCATED DOME INSTALLATION DETAIL  
SCALE: 1 1/2" = 1'-0"

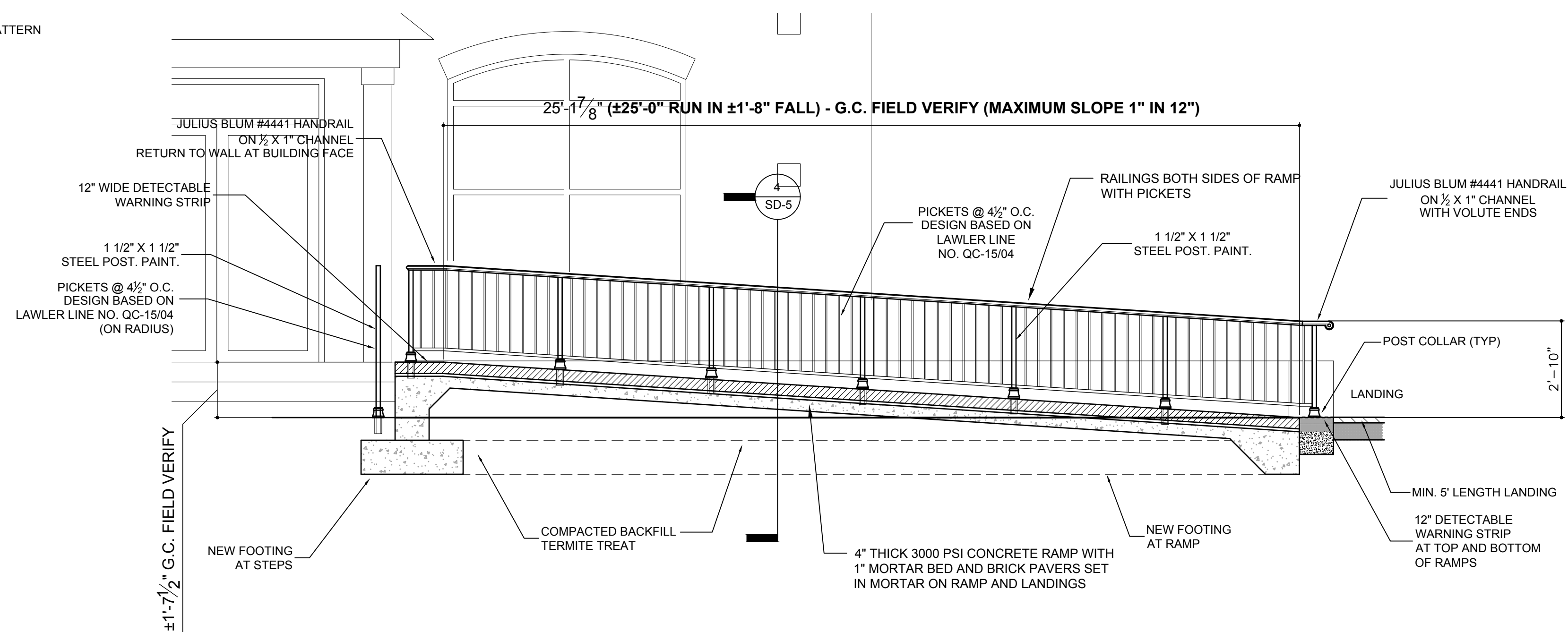


4  
SD-5 RAMP DETAIL  
SCALE: 1-1/2" = 1'-0"



2  
SD-5 STEP DETAIL  
SCALE: 1 1/2" = 1'-0"

NOTE: THESE RAILINGS ARE ON RADIUS  
SEE PLAN.



3  
SD-5 RAMP / STEPS ELEVATION  
SCALE: 3/8" = 1'-0"



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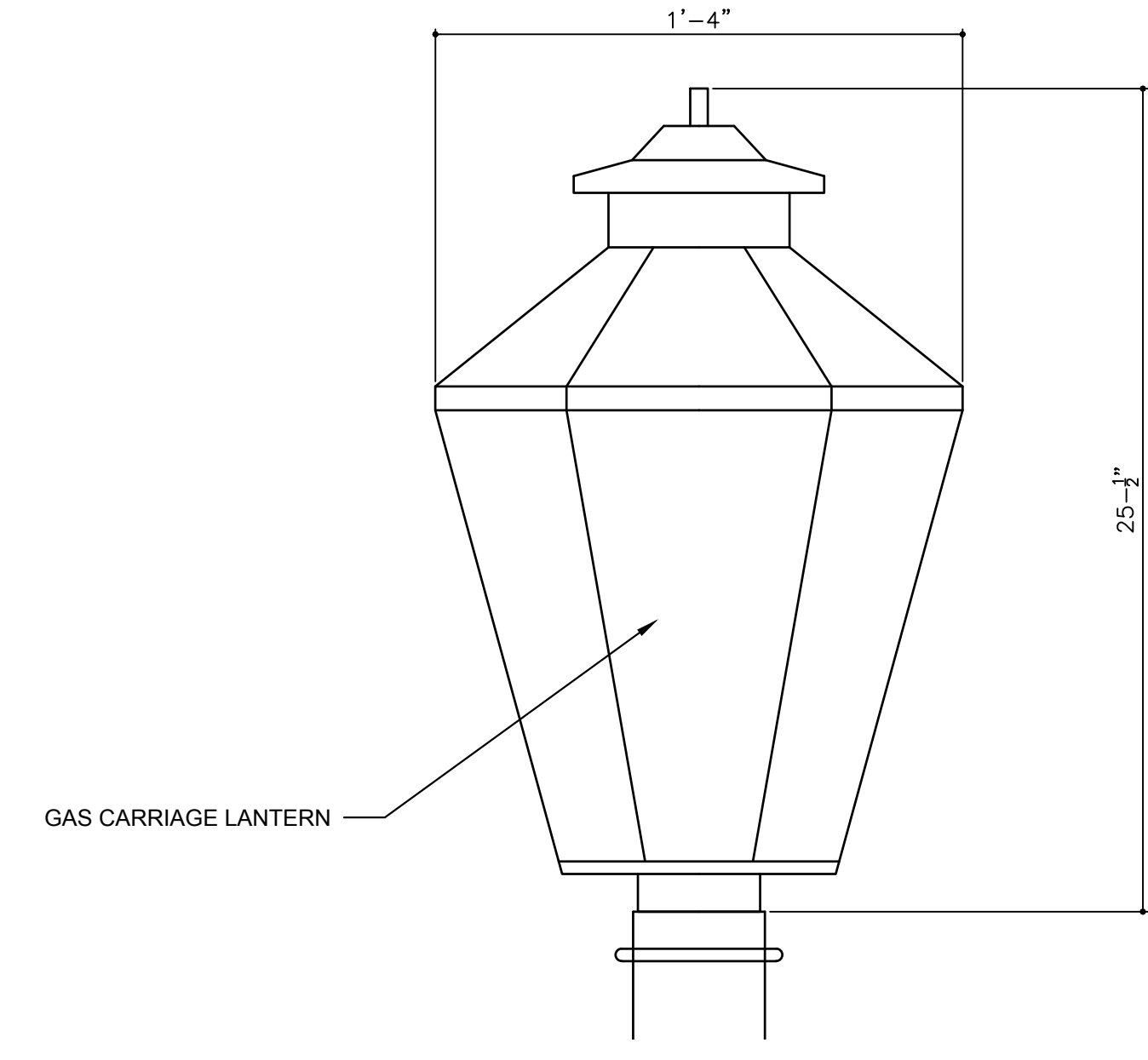
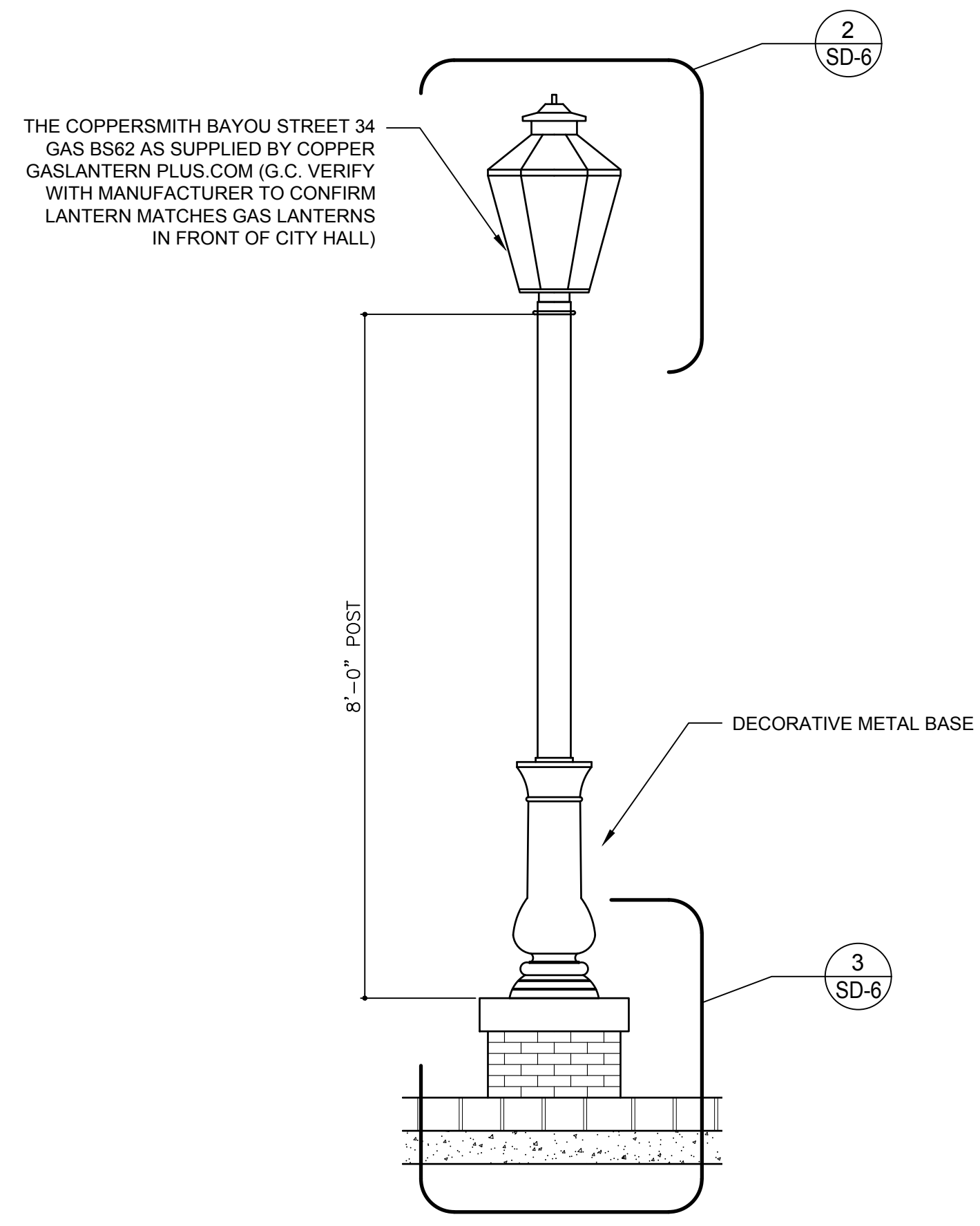
PROJECT:  
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TITLE:  
**SITE DETAILS**

MODIFIED DATE: 10 NOV 2014	JOB NO: 1918
ISSUED DATE: 24 APR 2020	SHEET: SD-5



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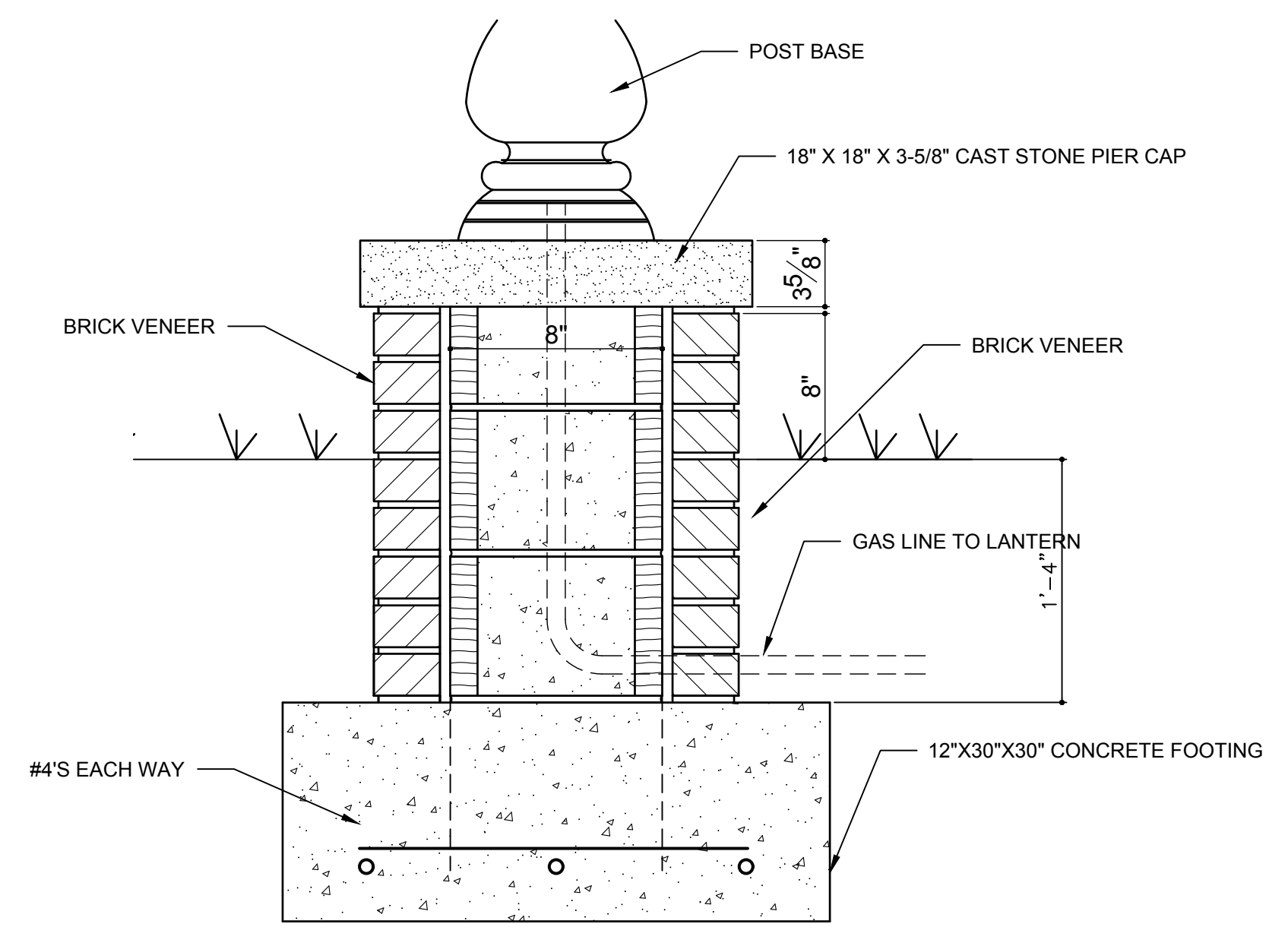


**GAS LANTERN ON 3" POST**  
 SCALE: NOT TO SCALE

**GAS LANTERN ON 3" POST**  
 SCALE: NOT TO SCALE

**NOTE: CAST STONE TO MEET THE FOLLOWING:**

- Physical properties: provide the following:
  - Compressive Strength: ASTM C 1194: 6,500 psi (45 Mpa) min. for products at 28 days.
  - Absorption: ASTM C 1195: 6% max. by cold water method, or 10% max. by the boiling method for products at 28 days.
  - Air Content: ASTM C 173 or C 231, for wet cast product shall be 4-6% for units used in a freeze-thaw environment.
- Manufacturer of cast stone must be a producer member of the Cast Stone Institute. Provide detailed shop drawings with mix design meeting Cast Stone Institute specifications. Color to be white or off-white to match sample in Architect's office at a ten foot distance.



**MASONRY POST PIER**  
 SCALE: 1 1/2" = 1'-0"

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Δ	DATE	DESCRIPTION

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 LAGRANGE, GEORGIA

TITLE:  
**SITE DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE:	SHEET: <b>SD-6</b>
FOR PRICING 24 APR 2020	



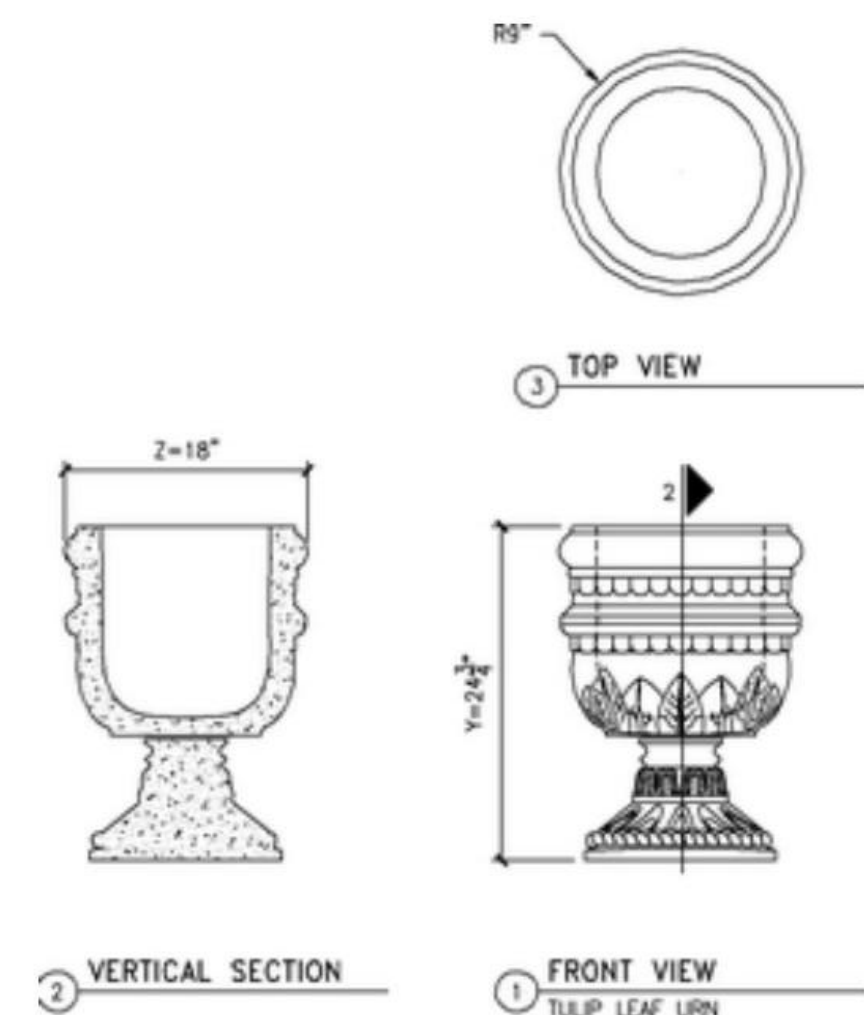
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**KEYNOTES**

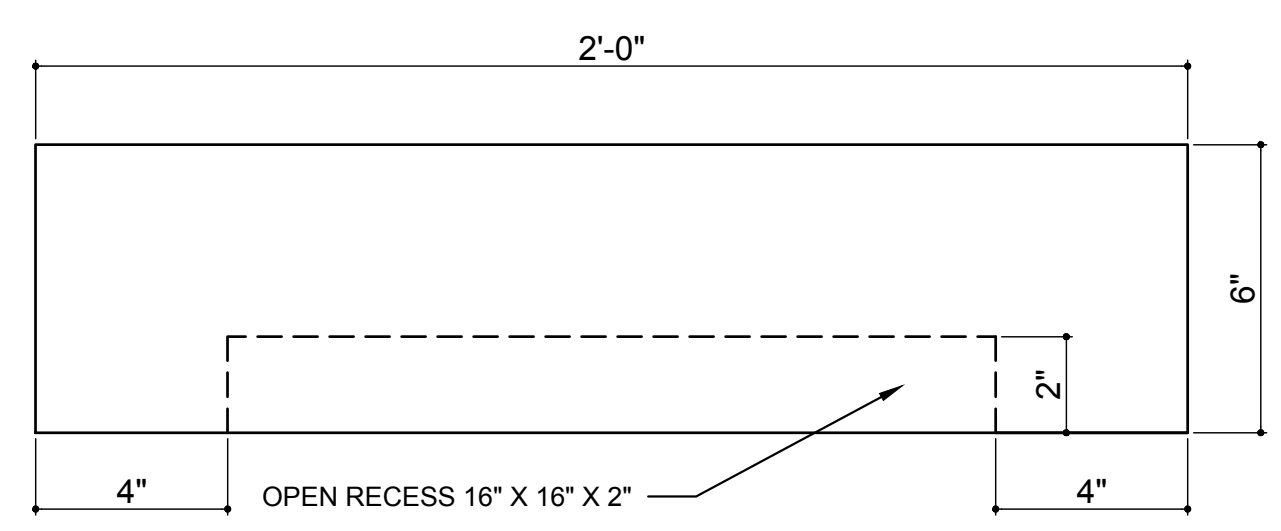
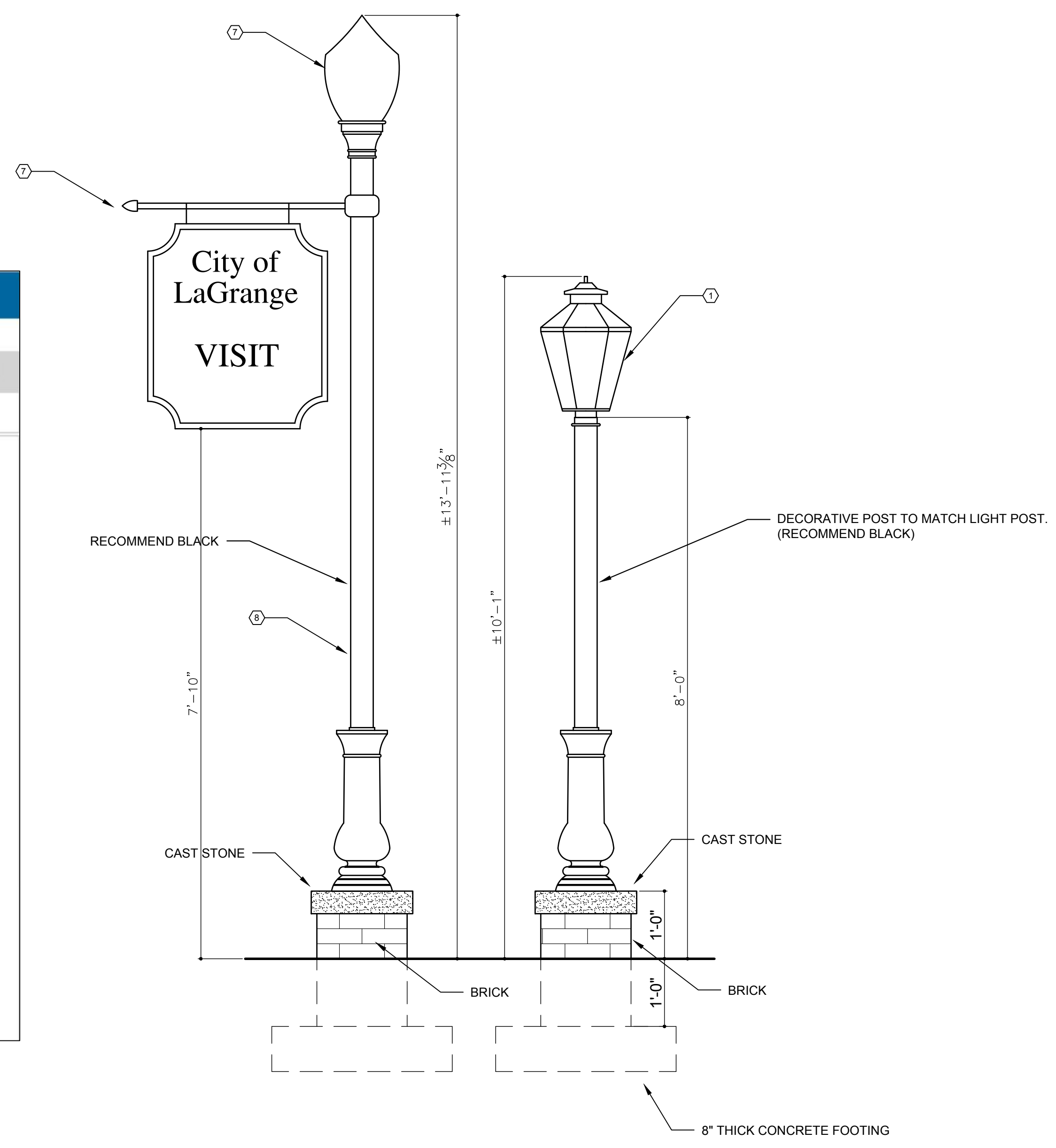
- 1 GAS LANTERN ON 3"Ø POST. SEE SPEC AND DETAIL 1/SD-6.
- 2 7 GALLON FORREST HOLLY
- 3 7 GALLON KOREAN BOXWOOD (X8)
- 4 MULCHED PLANTER BED
- 5 COLUMN UPLIGHT (LED). SEE SPECS. (X4)
- 6 TREE UPLIGHT (LED). SEE SPECS. (X2)
- 7 NEW DECORATIVE POST WITH ACORN FIXTURE AND BANNER ARM. POST, FIXTURE, SIGN BY CITY. INSTALL BY G.C.
- 8 NEW DECORATIVE POST WITH ACORN FIXTURE AND BANNER ARM. WITH NEW 'CITY HALL' SIGNAGE. POST, FIXTURE, SIGN BY CITY. INSTALL BY G.C.
- 9 ACCESSIBLE DIRECTIONAL SIGN. SEE DETAIL 6/SD-1.
- 10 NEW CAST STONE CAP ON TOP OF EXISTING BRICK CHEEK WALL.
- 11 NEW CAST STONE STEPS. SEE DETAIL 3/SD-1.
- 12 NEW GUARDRAIL AND HANDRAIL. SEE DETAIL A/SD-1.
- 13 NEW ENTRY DOORS. SEE DETAILS ON SHEET A2-1.
- 14 CONCRETE PAVERS. SEE DETAILS ON SHEET SD-2.
- 15 NEW CAST STONE CHEEK WALL.
- 16 NEW CAST STONE PEDESTAL FOR POST. SEE DETAIL 7/SD-1.
- 17 NEW SOD: EMERALD ZOYSIA. (VERIFY)
- 18 NEW 4" THICK CAST STONE CAP BLOCK SET IN MORTAR TO REPLACE EXISTING CAST STONE CAP TO BE REMOVED.
- 19 NEW DOOR AND HARDWARE FOR DOORS 1 THRU 4 TO BE PURCHASED BY CITY & INSTALLED BY G.C.
- 20 32" WIDE X 4" THICK, 3000 PSI CONCRETE SWALE WITH WWF SLOPE TO EXISTING YARD DRAIN IN CORNER PROVIDED AND INSTALLED BY CITY. INSTALL 30 MIL VAPOR BARRIER UNDER AND UP SIDES OF CONCRETE SWALE SEAL JOINT AGAINST EXISTING BUILDING WITH SEALANT.
- 21 G.C. TO PROVIDE NEW 16" WIDE X 20" DEEP X 16" HIGH CAST STONE BLOCK SET 6" ABOVE GRADE FOR OWNER PROVIDED STATUE TO BE ATTACHED BY G.C.
- 22 REMOVE AND REPLACE EXISTING BRICK PIER WITH NEW BRICK PIER
- 23 G.C. PROVIDE 1-1/2"Ø SLEEVES FROM GRADE UP TO GAS LANTERN, GAS LANTERNS, GAS PIPING, GAS LANTERN POSTS PROVIDED BY CITY, INSTALLED BY G.C.
- 24 NEW GAS PIPING AND REGULATOR PROVIDED AND INSTALLED BY THE CITY
- 25 G.C. TO PAINT EXISTING TELECOM METAL BOX TO MATCH BRICK
- 26 G.C. TO STAIN / PAINT EXISTING BRICK WINDOW INFILL TO MATCH BUILDING BRICK
- 27 G.C. TO PROVIDE AND INSTALL NEW WOOD CLAD WINDOW TO MATCH EXISTING WINDOW PROVIDE WITH JAMB EXTENSION, INSULATED LOW-E 2 GLASS, BRONZE TINTED; REPLACE WINDOW SILL; PAINT INSIDE OF WINDOW AND STEEL LINTEL.
- 28 SEE DETAIL 1/A1-3 FOR MEMBRANE WATERPROOFING AT EXISTING WALL
- 29 THIS POST TO BE PROVIDED WITH 110V WEATHERPROOF OUTLET AT BASE
- 30 G.C. TO PROVIDE AND INSTALL NEW 1X2 CONCRETE FOOTING WITH 3 #5 THEN LAY NEW 3 BRICK WIDE LOW RETAINING WALL WITH BRICK AND CAST STONE CAP TO MATCH EXISTING
- 31 NEW CAST STONE LANDING.

Unit ID: 433 ~ Product Name: Tulip Leaf Urn

Type Description	Primary View	Primary Modifier	X	Y	Z	Weight	Estimated
Urn		Pedestal	18"	24-3/4"	18"	206 lbs.	\$ 470.25



CITY OF LAGRANGE TO ORDER AND INSTALL TWO URNS AS MANUFACTURED BY STONELEGENDS.COM; PROVIDE WITH 24" X 24" X 6" HIGH CAST STONE BLOCK TO SET URN ON TOP; BLOCK STONE TO MATCH URN STONE  
 VERIFY EXACT LOCATION WITH ARCHITECT



**CAST STONE BLOCK**  
 SCALE: 3" = 1'-0"

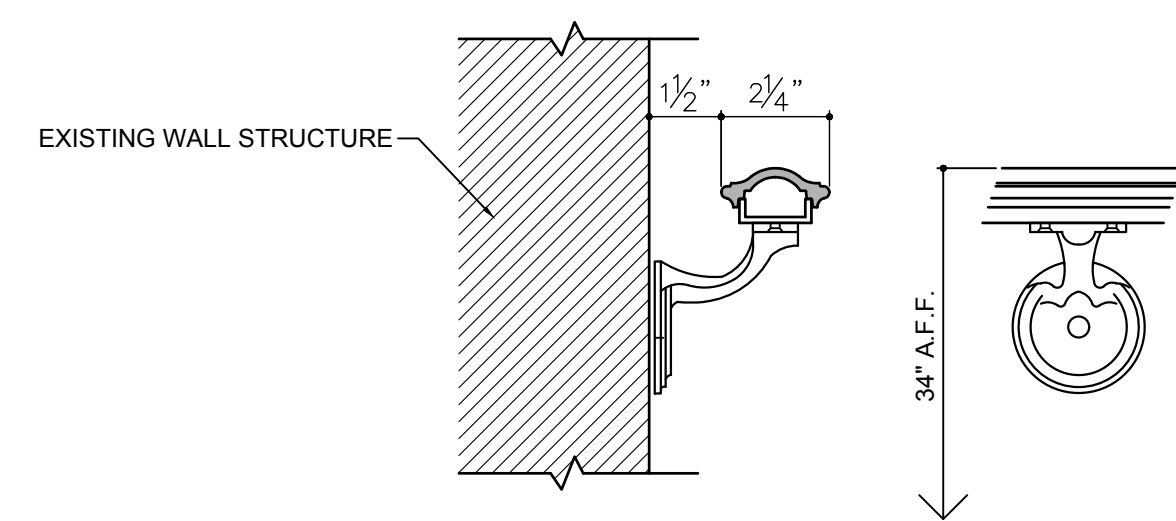
**NEW LIGHT POST / LAMP POST**  
 SCALE: 3/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

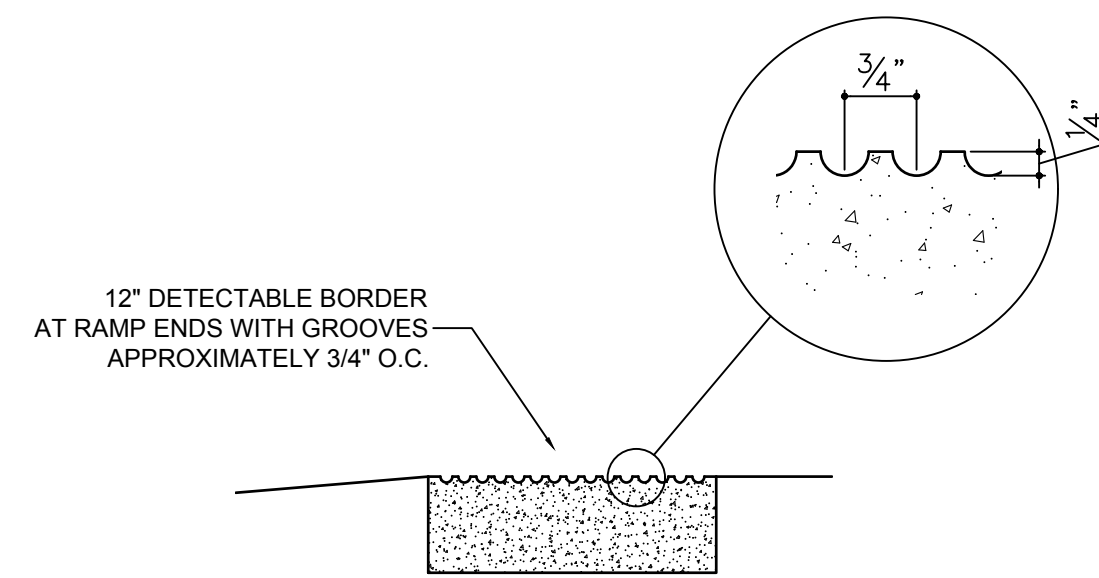
PROJECT:  
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 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**SITE DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
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**1 HANDRAIL DETAIL**  
SCALE: 3" = 1'-0"



**2 RAMP WARNING STRIP DETAIL**  
SCALE: 3" = 1'-0"

NOTES:  
VERIFY EXISTING WALL SUBSTRATE AND PROVIDE ADDITIONAL SUPPORTS AS REQUIRED FOR THE INSTALLATION OF ALL WALL RAILINGS TO COMPLY WITH MINIMUM STRUCTURAL PERFORMANCE REQUIREMENTS. REFER TO RAILING MANUFACTURER'S WRITTEN INSTRUCTIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.

**504 STAIRWAYS**

504.1 GENERAL. STAIRS THAT ARE PART OF A MEANS OF EGRESS ARE REQUIRED TO COMPLY WITH SECTION 504.

504.2 TREADS AND RISERS. ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4" (100 MM) HIGH MINIMUM AND 7" (180 MM) HIGH MAXIMUM. TREADS SHALL BE 11" (280 MM) DEEP MINIMUM.

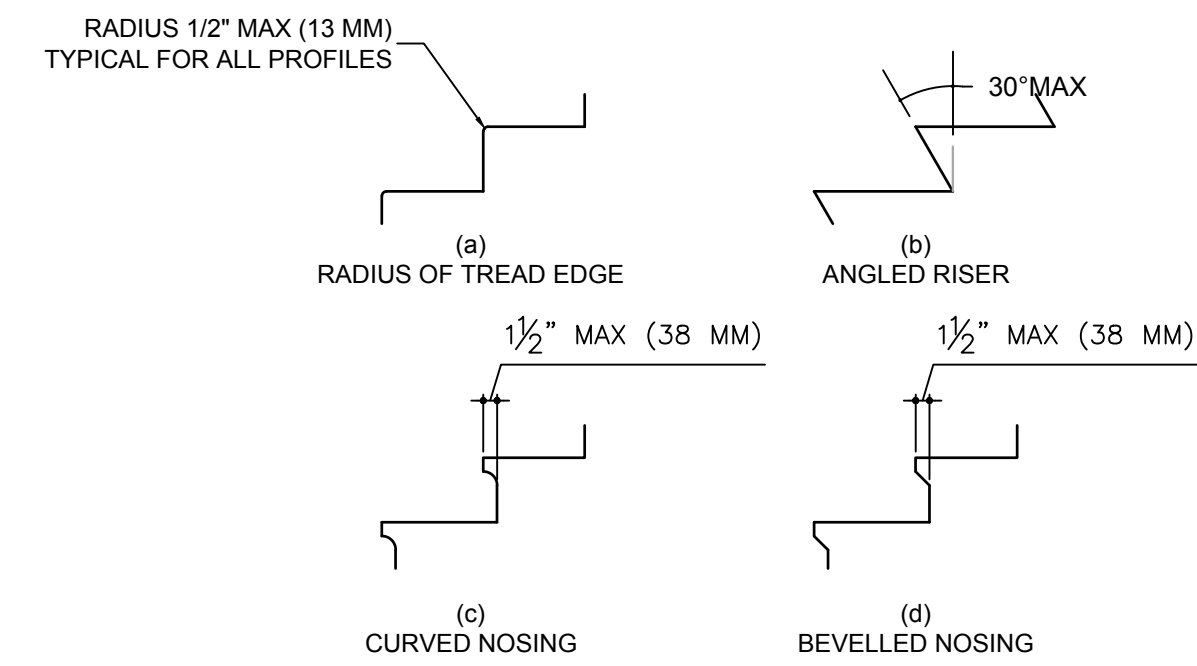
504.3 OPEN RISERS. OPEN RISERS ARE NOT PERMITTED.

504.4 TREAD SURFACE. STAIR TREADS SHALL COMPLY WITH SECTION 302. CHANGES IN LEVEL ARE NOT PERMITTED.

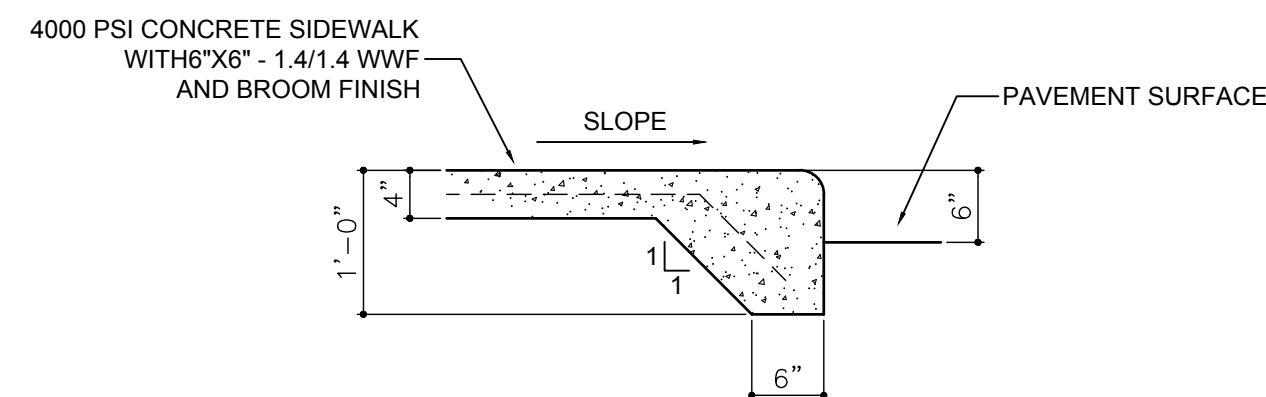
504.5 NOSINGS. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE 1/2" (12 MM) MAXIMUM. NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDES OF THE LEADING EDGE CURVED OR BEVELLED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 30° MAXIMUM FROM VERTICAL. THE PERMITTED PROJECTION OF THE NOSING SHALL EXTEND 1 1/2" (38 MM) MAXIMUM OVER THE TREAD BELOW.

504.6 HANDRAILS. STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 505.

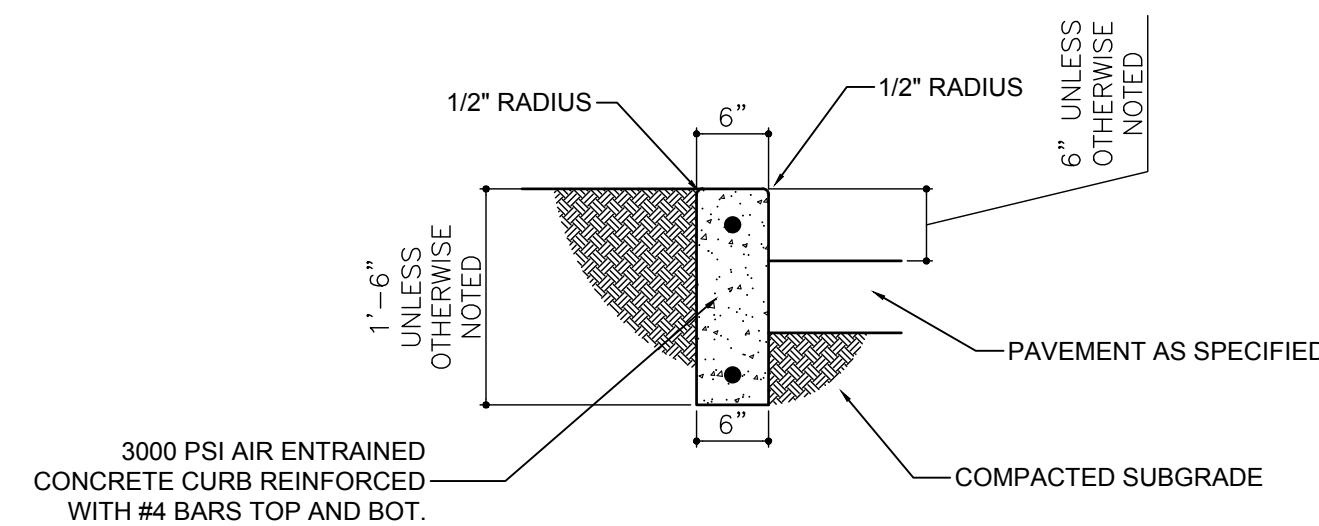
504.7 WET CONDITIONS. STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.



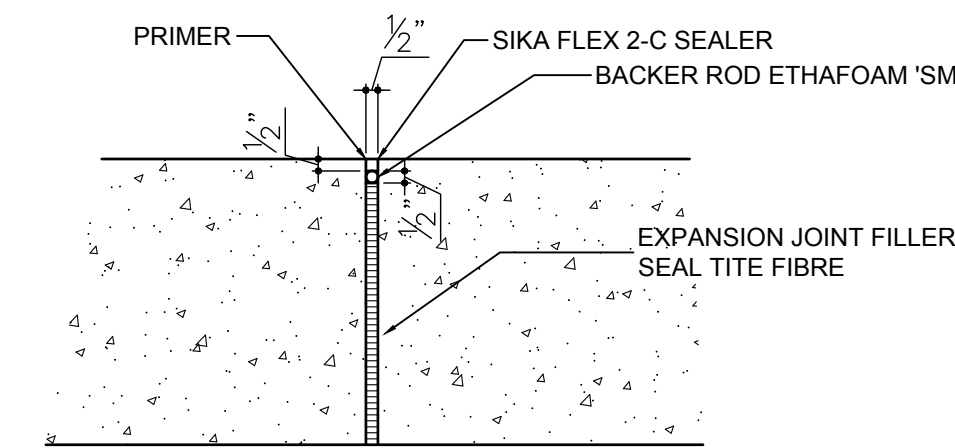
**FIGURE 504.5 STAIR NOSINGS**



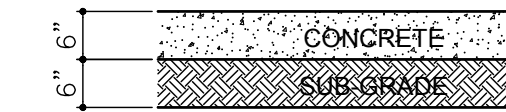
**3 TYPICAL INTEGRATED CURB SIDEWALK**  
SCALE: 3/4" = 1'-0"



**4 6" VERTICAL CURB DETAIL**  
SCALE: 3/4" = 1'-0"

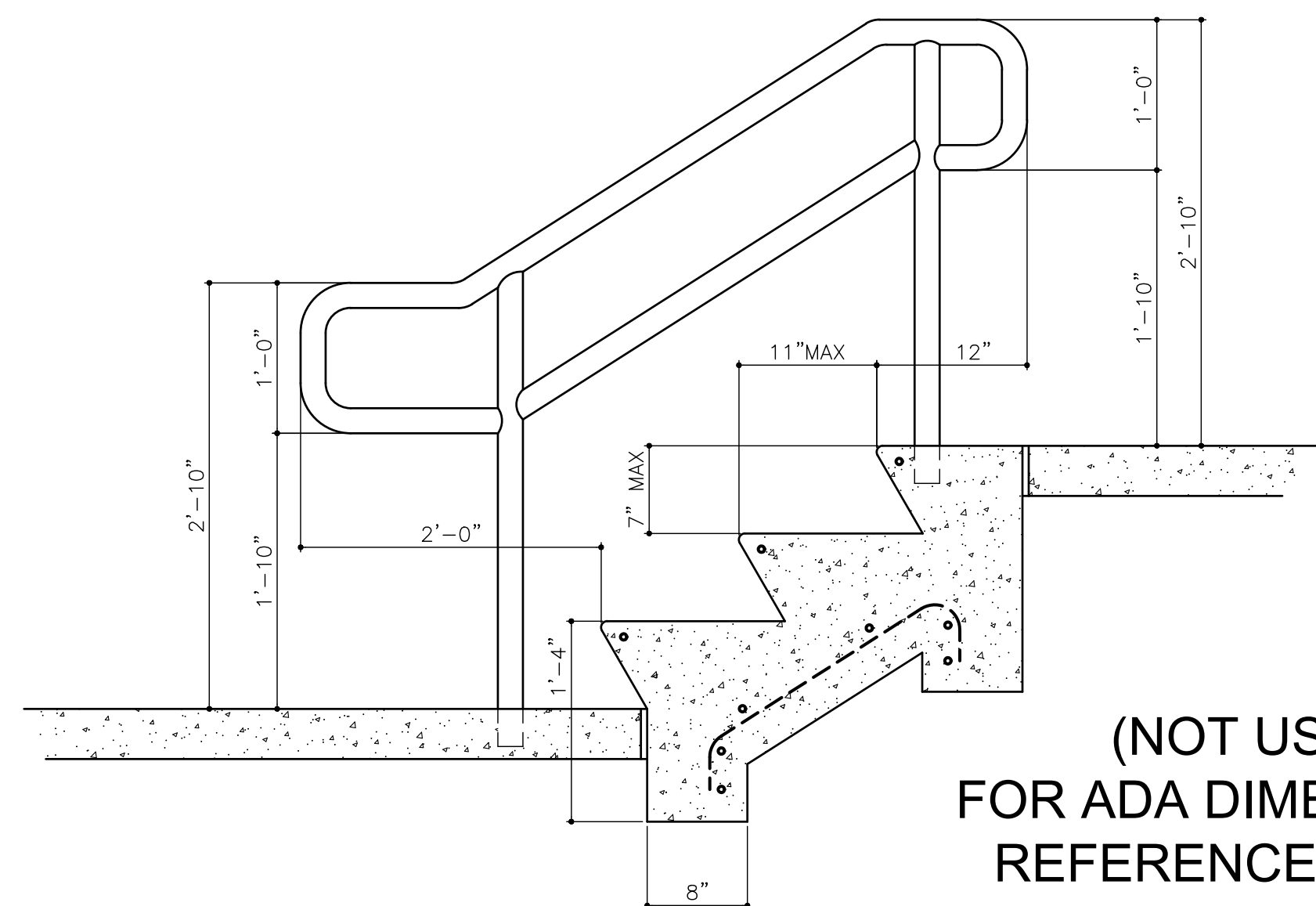


**5 EXPANSION JOINT DETAIL**  
SCALE: 3/4" = 1'-0"



CONCRETE: 6" THICKNESS, 3500 PSI WITH 6"x6" W1.4XW1.4 WWF OR FIBERMESH, LAMBERT CORP. DEEP BLACK 3% COLOR SHALL BE MIXED BY CONCRETE VENDOR.  
SUB-GRADE: 6" COMPACTED SUB-GRADE, LBR 40 COMPACTED TO 98% AASHTO T-180.

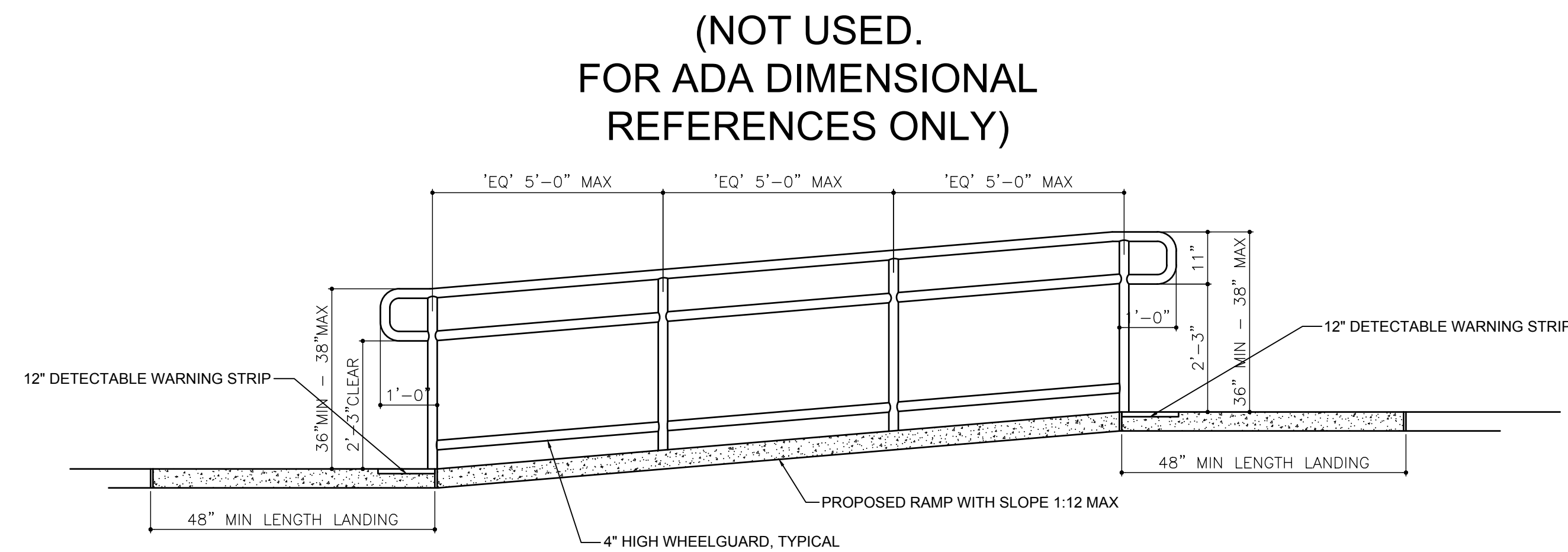
**6 TYPICAL CONCRETE PAVEMENT SECTION**  
SCALE: 1/2" = 1'-0"



**7 TYPICAL HANDRAIL DETAILS**  
SCALE: 1" = 1'-0"

G.C. TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS.

(NOT USED. FOR ADA DIMENSIONAL REFERENCES ONLY)



**8 TYPICAL RAMP DETAILS**  
SCALE: 1" = 1'-0"

G.C. TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS.



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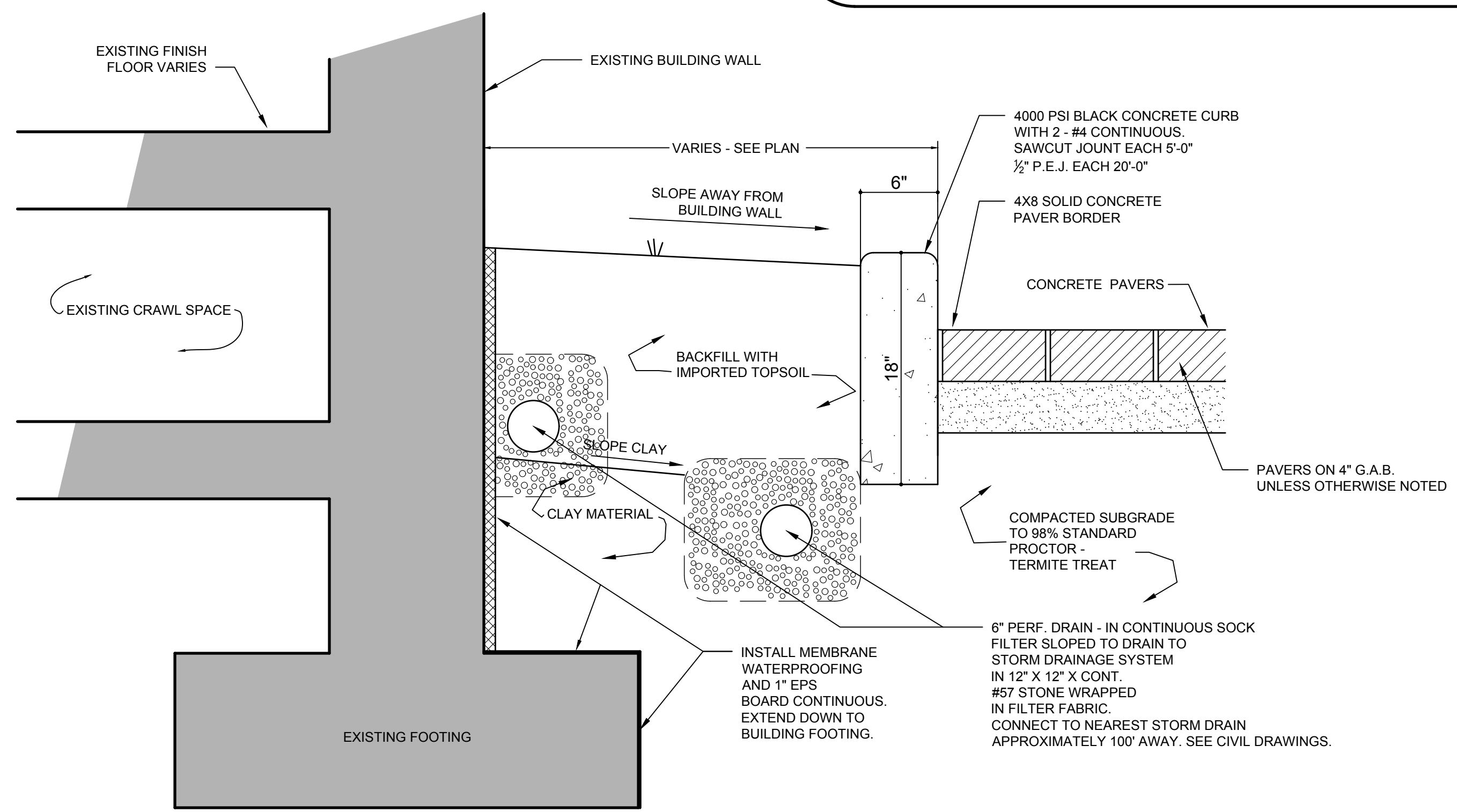
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DATE	DESCRIPTION

PROJECT:  
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LAGRANGE, GEORGIA

TITLE:  
**SITE DETAILS**

MODIFIED DATE: 30 JAN 2015	JOB NO: 1918
ISSUED DATE: 24 APR 2020	SHEET: SD-8

**NOTE:**  
MUD SLAB AT BOTTOM OF PLANTERS IS NOT REQUIRED AT PLANTERS THAT ARE NOT ADJACENT TO A BUILDING.

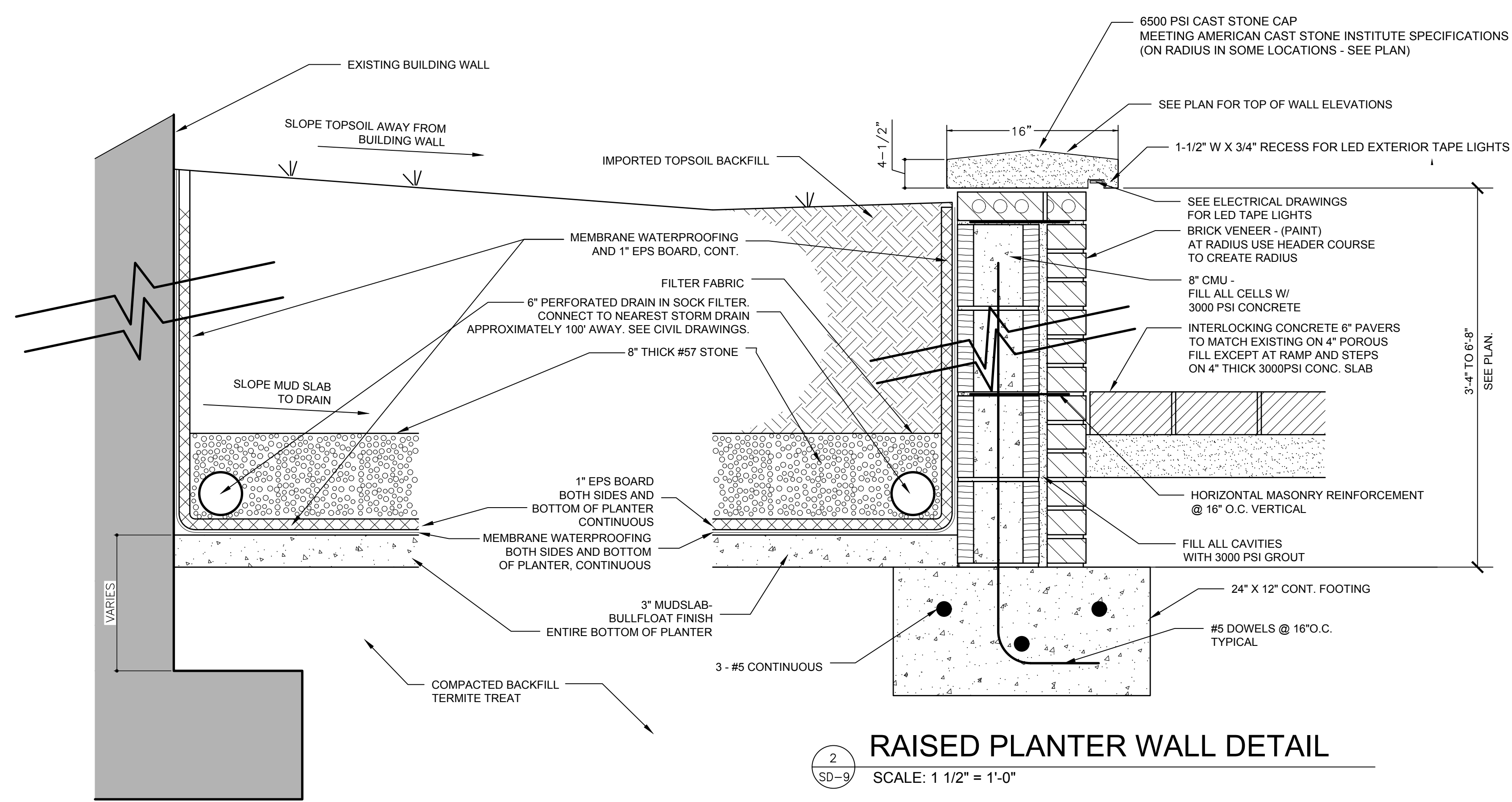


**DETAIL @ CURB PLANTER**

SCALE: 1 1/2" = 1'-0"

**BRICK AND COLORED MORTAR CASH ALLOWNACE**

1. PROVIDE CASH ALLOWNACE OF \$600.00 PER 1,000 BRICK.
2. PROVIDE CASH ALLOWNACE OF \$18.00 PER BAG OF COLORED MORTAR.
3. PROVIDE SOLID BRICKS IN CASH ALLOWNACE.



**RAISED PLANTER WALL DETAIL**

SCALE: 1 1/2" = 1'-0"



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**LEGEND**

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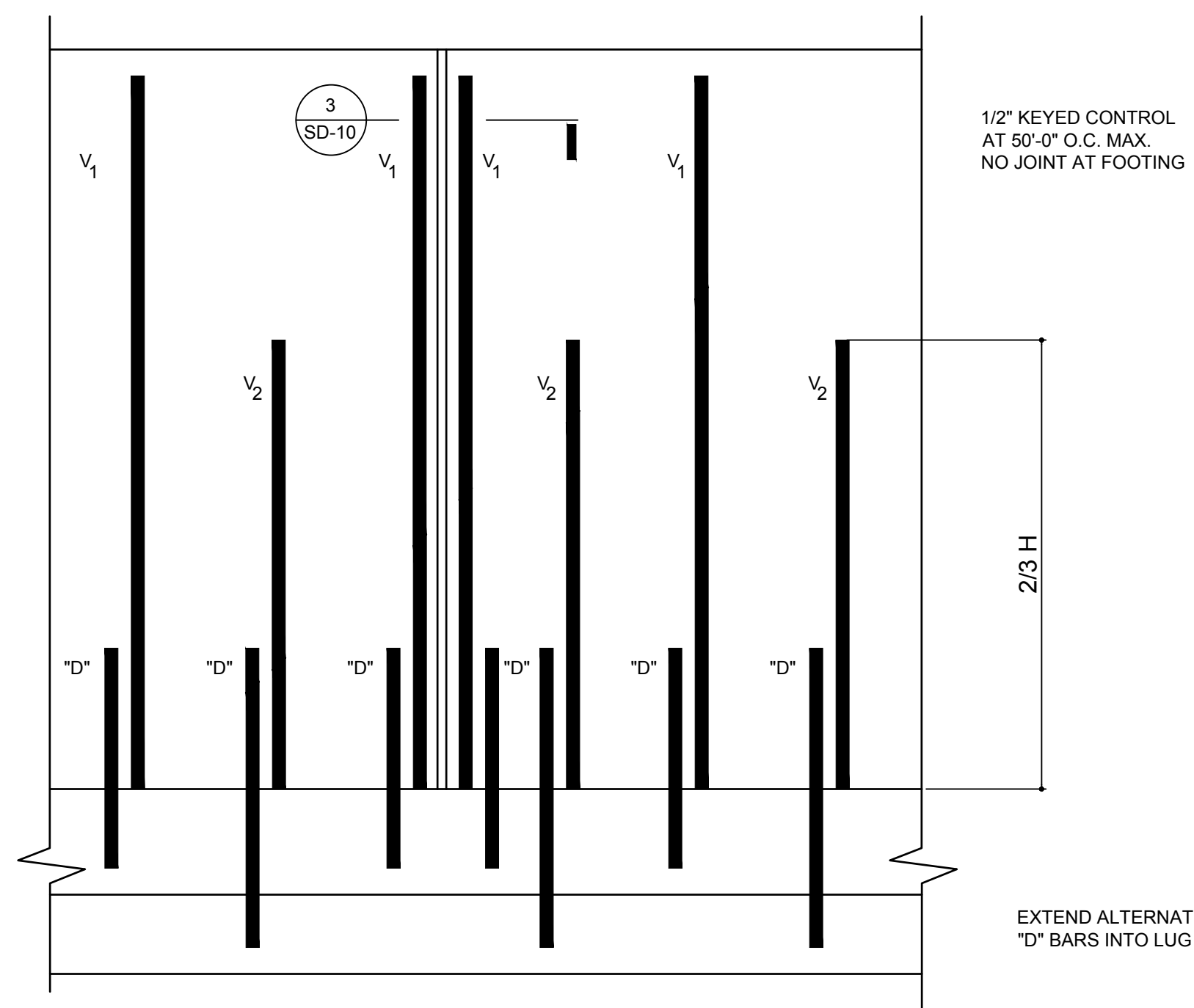
**PROJECT:**  
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LAGRANGE, GEORGIA

**TITLE:**  
**SITE DETAILS**

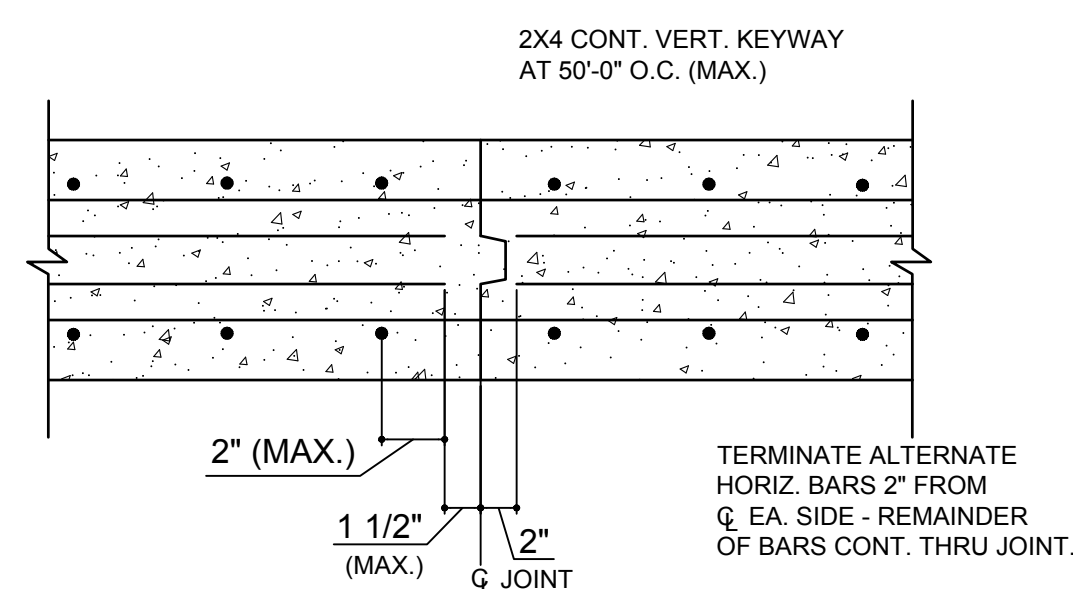
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-9</b>

LINTEL SCHEDULE						
OPENING WIDTH		FOR ALL 4" WALL THICKNESS	WALL DIMENSION AND REINFORCING			
MIN.	MAX.	STEEL	CONCRETE BLOCK OR CONCRETE	4" WALL	8" WALL	12" WALL
----	2'-0"	Ø-3 1/2X3X1/4 SLV	7 5/8"	1 # 4	1 #4BOT.	1 #4BOT.
2'-1"	3'-6"	Ø-3 1/2X3X1/4 SLV	7 5/8"	1 # 4	1 #4BOT.	2 #5BOT.
3'-7"	5'-0"	Ø-3 1/2X3X1/4 SLV	7 5/8"	1 # 4	1 #5BOT.	2 #5BOT.
5'-1"	6'-6"	Ø-4X3 1/2X1/4 LLV	7 5/8"	---	1 #7BOT.	2 #6BOT.
6'-7"	8'-0"	Ø-5X3X1/4 SLV	7 5/8"	---	1 #8BOT.	2 #7BOT.
8'-1"	10'-0"	Ø-6X3X5/16 SLV	15 5/8"	---	1 #8BOT.	---

RETAINING WALL SCHEDULE										
"H"	"A"	"c"	"b"	"a"	BAR SIZE AND SPACING					
					V <sub>1</sub>	V <sub>2</sub>	V <sub>3</sub>	"D"	"L"	"T"
3'-0"	2'-3"	0'-8"	0'-7"	1'-0"	#4@16	---	#4@18	#4@16	#4@12	#4@16
4'-0"	2'-5"	0'-8"	0'-9"	1'-0"	#4@16	---	#4@18	#4@16	#4@12	#4@16
5'-0"	3'-1"	0'-8"	1'-5"	1'-0"	#4@16	---	#4@18	#4@16	#4@12	#4@16
6'-0"	3'-5"	0'-8"	1'-9"	1'-0"	#4@16	---	#4@18	#4@16	#4@12	#4@16
7'-0"	4'-0"	1'-0"	2'-0"	1'-0"	#4@16	#4@16	#4@18	#4@8	#4@12	#4@8
8'-0"	4'-5"	1'-1"	2'-4"	1'-0"	#4@16	#4@16	#4@18	#4@8	#4@12	#4@8
9'-0"	5'-0"	1'-2"	2'-10"	1'-0"	#4@16	#4@16	#4@18	#4@8	#4@12	#4@8
10'-0"	5'-6"	1'-4"	3'-2"	1'-0"	#5@20	#5@20	#4@18	#5@10	#4@12	#5@10
11'-0"	5'-10"	1'-6"	3'-4"	1'-0"	#5@14	#5@14	#4@18	#5@7	#4@12	#5@7
12'-0"	6'-6"	1'-8"	3'-10"	1'-0"	#6@16	#6@16	#4@18	#6@8	#4@12	#6@8

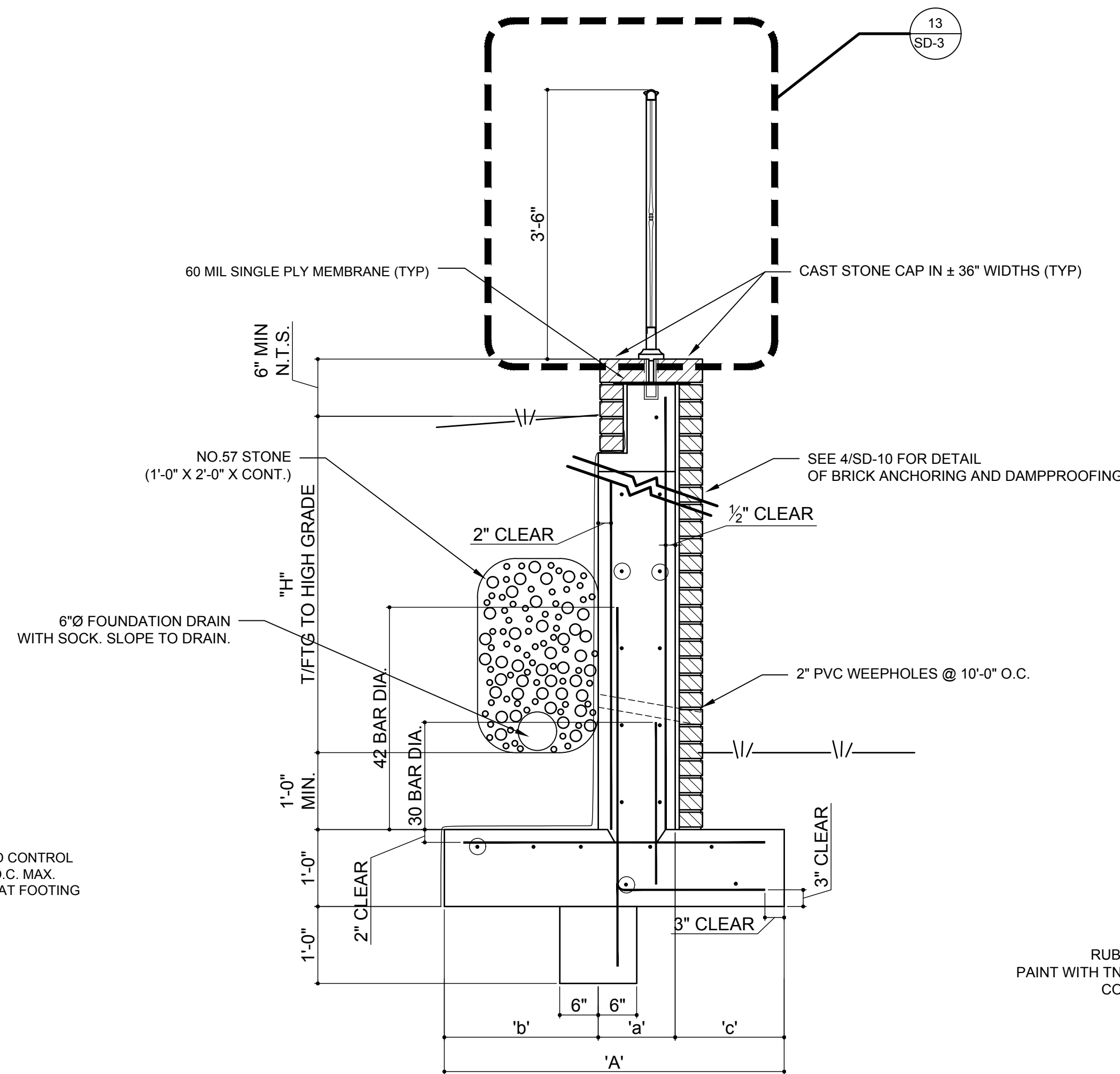


**ELEVATION AND SCHEDULE**  
SCALE: 3/4" = 1'-0"



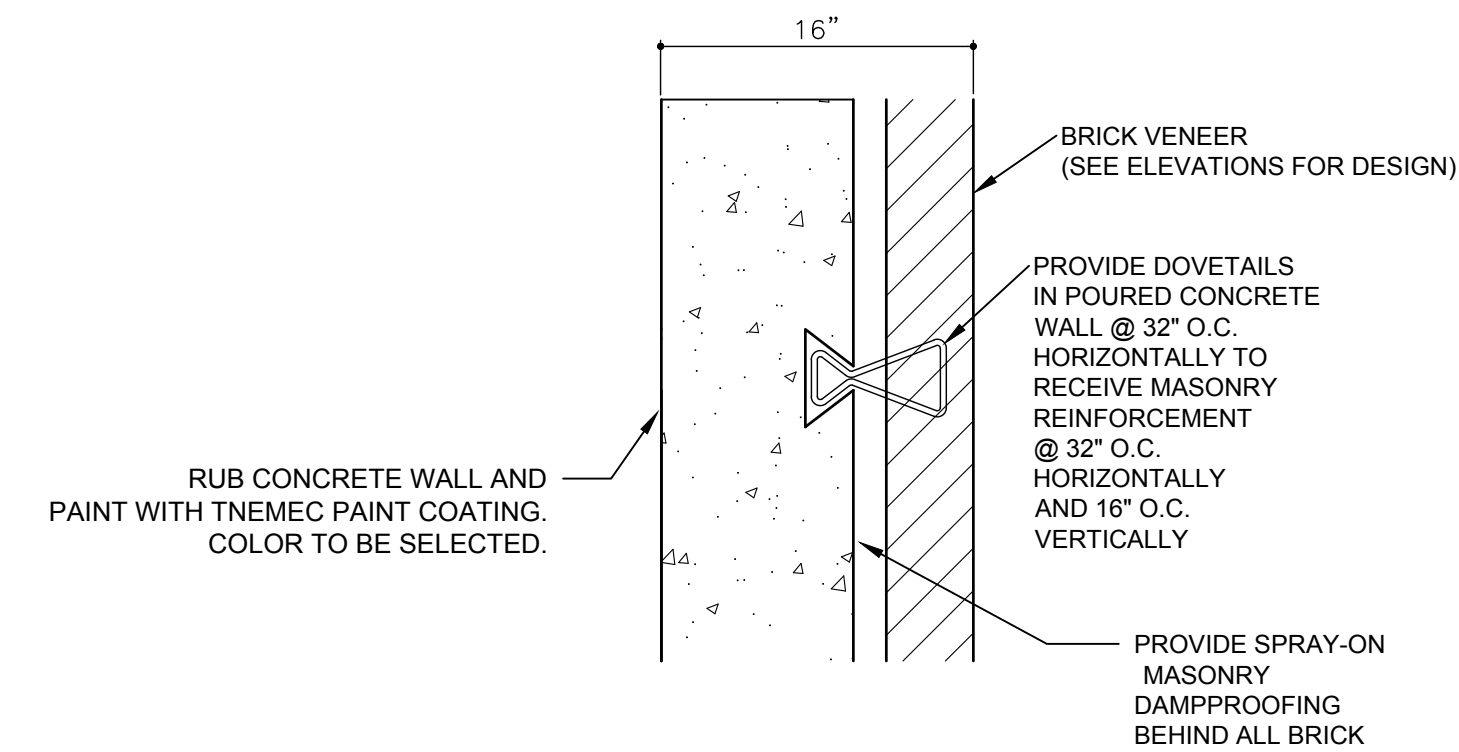
NOTE: REINF. IN BOTH FACES SHOWN - REINF. IN ONE FACE SIMILAR.

**CONSTRUCTION JOINT IN CONCRETE WALLS**  
NOT TO SCALE



\* VERIFY WITH ARCHITECT  
**RETAINING WALL DETAIL**  
SCALE: 3/4" = 1'-0"

SEE SITE PLAN FOR LOCATION OF RETAINING WALL  
SEE 2,3 / SD-4.5 FOR ADDITIONAL INFORMATION.



**SECTION @ BRICK SCREEN WALL**  
SCALE: 1 1/2" = 1'-0"

**BRICK AND COLORED MORTAR CASH ALLOWNACE**

1. PROVIDE CASH ALLOWANCE OF \$900.00 PER 1,000 BRICK.
2. PROVIDE CASH ALLOWANCE OF \$18.00 PER BAG OF COLORED MORTAR.
3. PROVIDE SOLID BRICKS IN CASH ALLOWNACE.

**MINIMUM ALLOWABLE SOIL BEARING CAPACITY SHALL BE 2000 PSF UNDER ALL FOOTINGS AND SLABS.**



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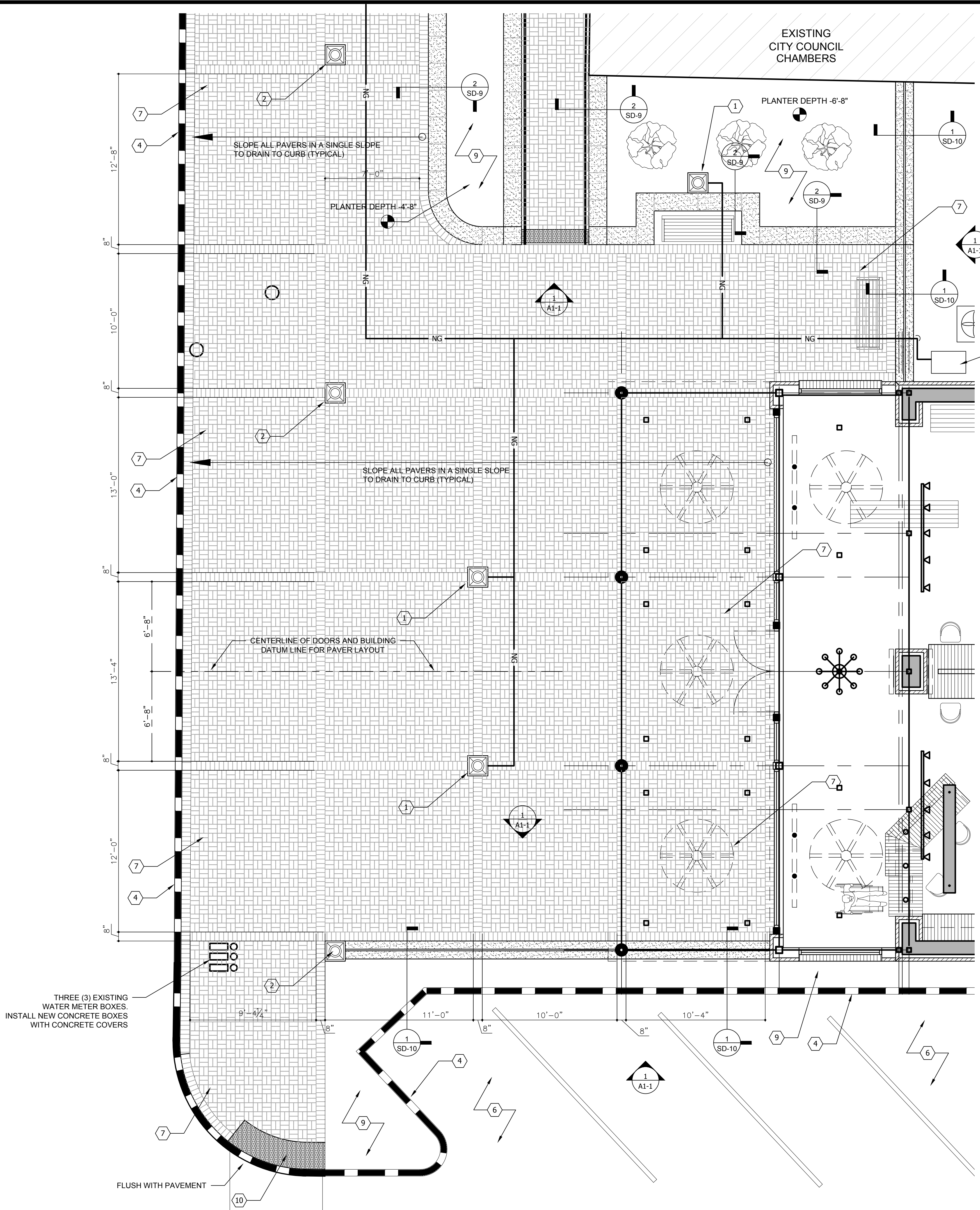
**REVISIONS**

Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**PARTIAL SITE PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-10</b>



**KEYNOTES**

- 1 NEW GAS LANTERN ON POST. SEE 1/SD-6.
- 2 NEW ELECTRIC LANTERN ON POST. SEE DETAIL 1/SD-7.
- 3 8" THICK X 48" X 30" CONCRETE HEADWALL WITH 1/3 YARD OF RIP RAP.
- 4 6" X 18" HEADER CONCRETE CURB WITH TWO (2) - #5'S CONTINUOUS (4000 PSI CONCRETE)
- 5 SAW-CUT AND REMOVE EXISTING ASPHALT PAVING AND INSTALL NEW FOUNDATION AND ROOF DRAINS. BACKFILL WITH 100% COMPACTION AND 8" G.A.B. AND 6" OF 4000 PSI BLACK CONCRETE WITH #4'S @ 18" O.C. E.W..
- 6 SEAL COAT AND RE-STRIP ENTIRE PARKING LOT
- 7 NEW CONCRETE PAVERS ON 8" G.A.B. SEE DETAIL 2/SD-4
- 8 EXISTING LIFT STATION TO REMAIN. INSTALL NEW BRICK VENEER AROUND EXTERIOR WALLS AND PROVIDE 1/4" PLATE TOP OF 2" X 2" TUBE STEEL FRAME WITH LIFTING HANDLES
- 9 LANDSCAPE AREA WITH DRIP IRRIGATION SYSTEM (PROVIDED AND INSTALLED BY CITY OF LAGRANGE)
- 10 REPLACEABLE TACTILE WARNING SURFACE TILES TRUNCATED DOME TILES - SEE DETAIL1/SD-5.

**LEGEND**

- NG — NEW GAS PIPING AND REGULATOR PROVIDED AND INSTALLED BY CITY OF LAGRANGE
- ▬ NEW 6" X 18" HEADER CONCRETE CURB SEE KEYNOTE "4" THIS SHEET

**SEE SHEET D-1 FOR KNOWN UNDERGROUND UTILITIES. FIELD VERIFY BY HAND DIGGING ALL FOOTINGS AND TRENCHES.**

**NOTE - PROVIDE IRRIGATION DRIP FOR ALL LANDSCAPING TO BE PROVIDED AND INSTALLED BY CITY OF LAGRANGE.**

**NOTE:**  
ALL GAS LINES TO BE PROVIDED AND INSTALLED BY CITY OF LAGRANGE. G.C. TO PROVIDE 1 1/2" SLEEVE INSIDE CONCRETE, MASONRY, AND POST UP TO GAS FIXTURE.

**811 CALL BEFORE YOU DIG  
VERIFY ALL UTILITIES WITH OWNER**



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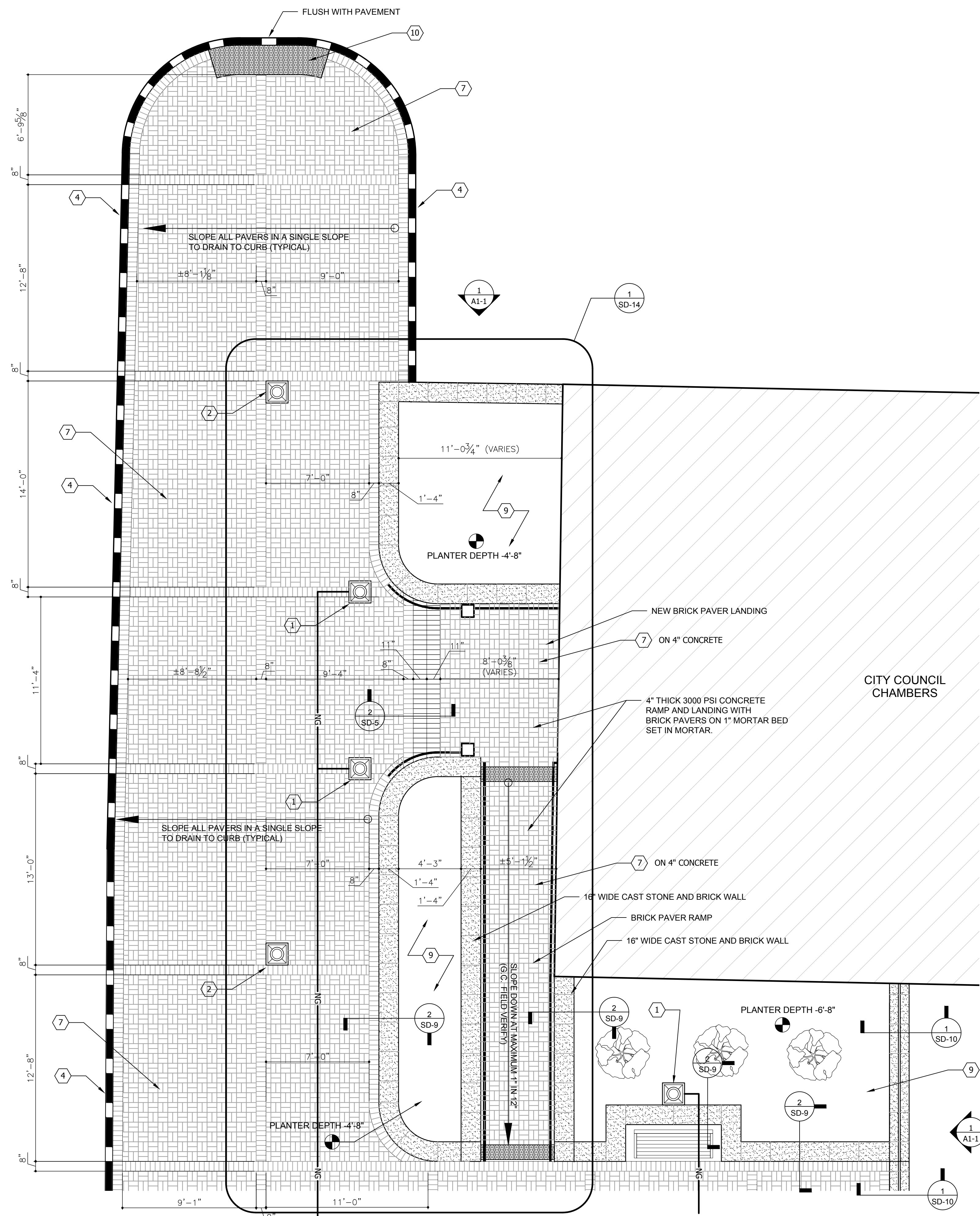
REVISIONS	
Δ	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**PARTIAL SITE PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-11</b>





1 PARTIAL SITE PLAN - PROPOSED  
 Scale: 1/4" = 1'-0"

**LEGEND**  
 NG NEW GAS PIPING AND REGULATOR PROVIDED AND INSTALLED BY CITY OF LAGRANGE

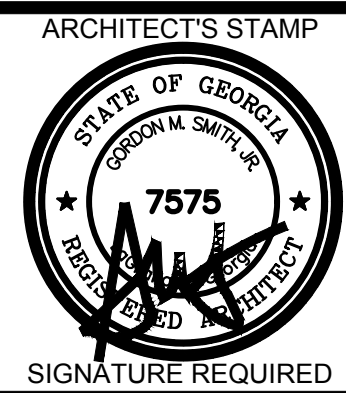
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  - 8 LANDSCAPE AREA WITH DRIP IRRIGATION SYSTEM (PROVIDED AND INSTALLED BY CITY OF LAGRANGE)
  - 9 REPLACEABLE TACTILE WARNING SURFACE TILES TRUNCATED DOME TILES - SEE DETAIL1/SD-5.

**SEE SHEET D-1 FOR KNOWN UNDERGROUND UTILITIES. FIELD VERIFY BY HAND DIGGING ALL FOOTINGS AND TRENCHES.**

**NOTE - PROVIDE IRRIGATION DRIP FOR ALL LANDSCAPING TO BE PROVIDED AND INSTALLED BY CITY OF LAGRANGE.**

**NOTE:**  
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**811 CALL BEFORE YOU DIG**  
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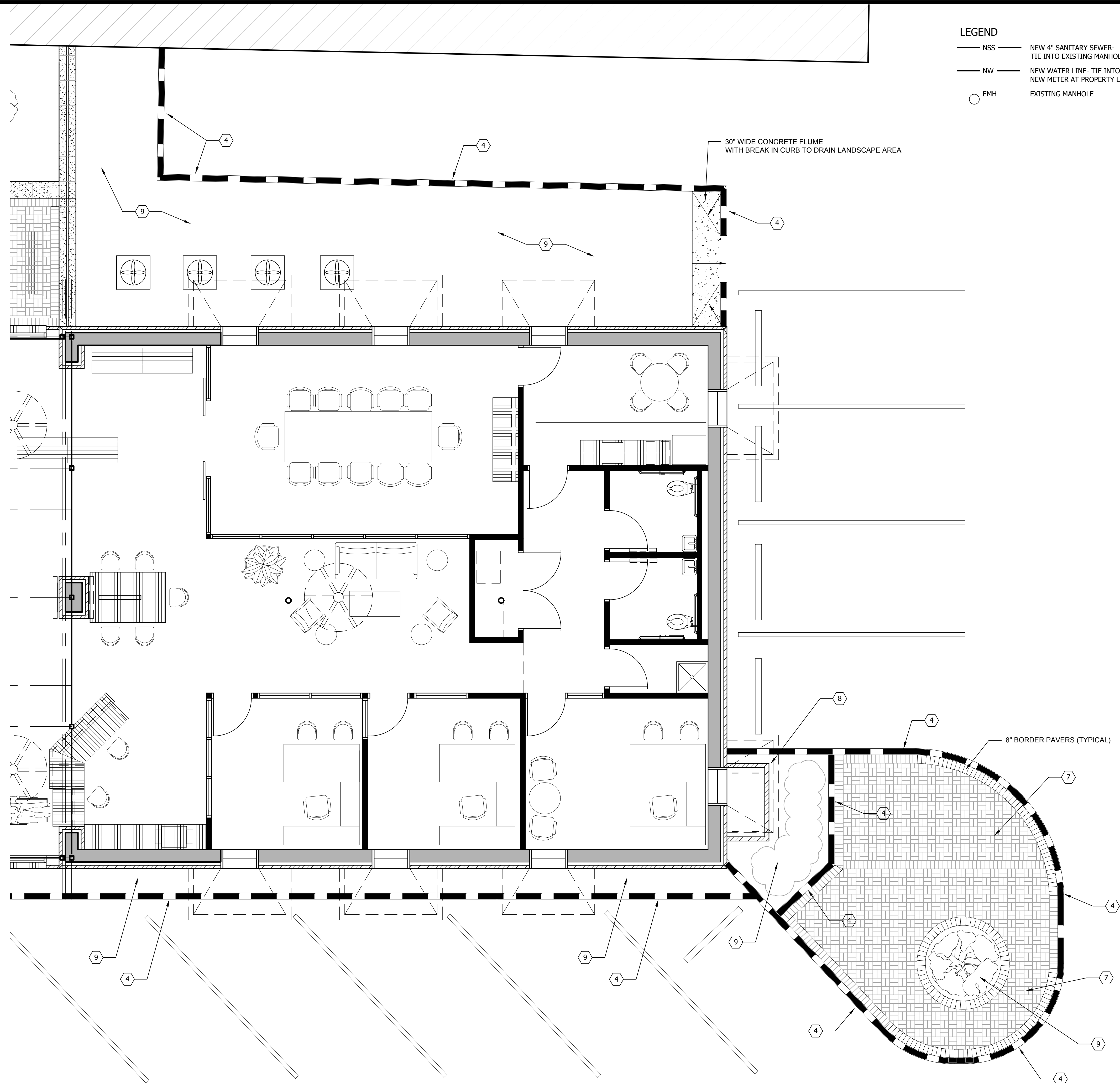
**REVISIONS**

DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**PARTIAL SITE PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 24 APR 2020	SHEET: <b>SD-12</b>



- LEGEND**
- NSS — NEW 4" SANITARY SEWER- TIE INTO EXISTING MANHOLE
  - NW — NEW WATER LINE- TIE INTO NEW METER AT PROPERTY LINE
  - EMH — EXISTING MANHOLE

- KEYNOTES**
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**REVISIONS**

Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**PARTIAL SITE PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-13</b>

1 PARTIAL SITE PLAN - PROPOSED  
 Scale: 1/4" = 1'-0"

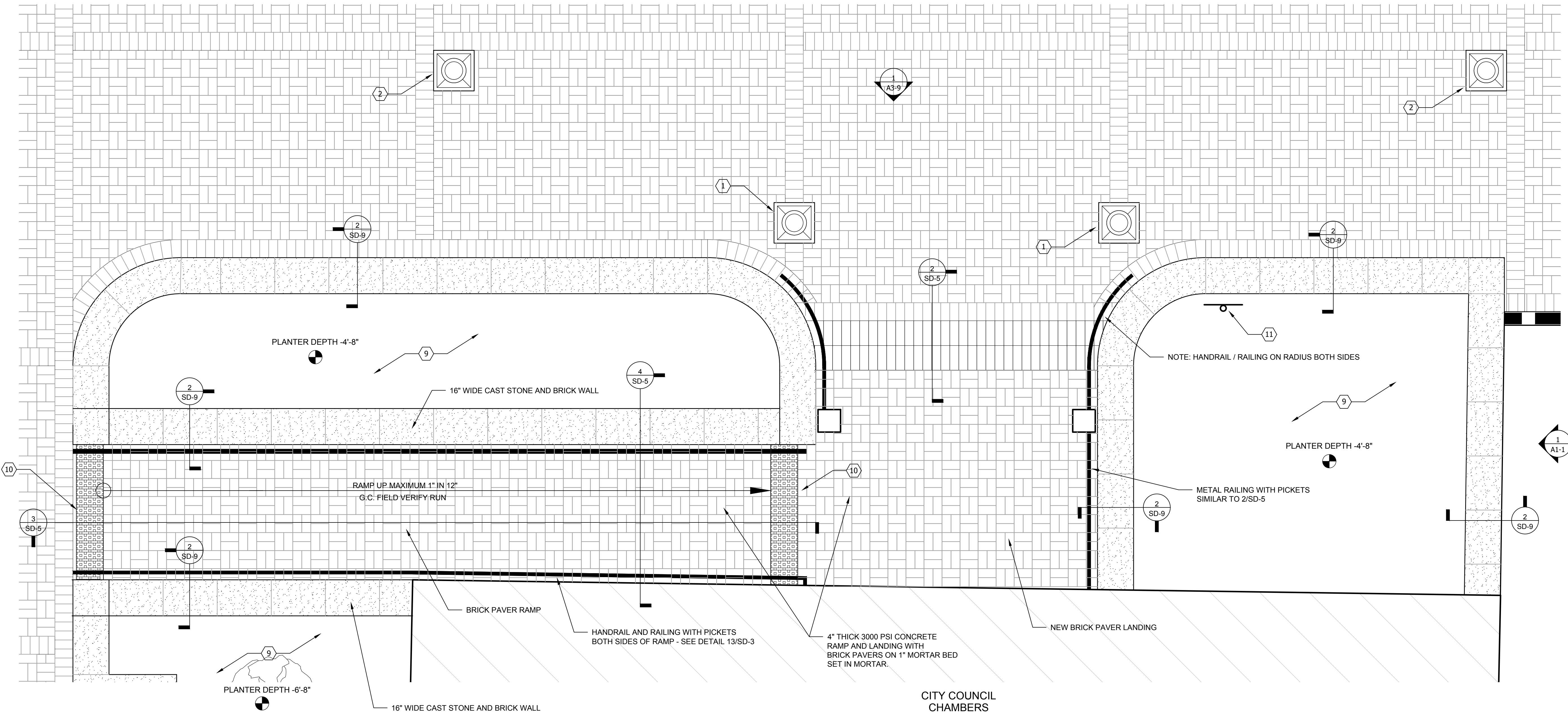


*[Signature]*

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**KEYNOTES**

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- 11 ACCESSIBLE PATHWAY SIGNAGE - SEE DETAIL 4/SD-4.



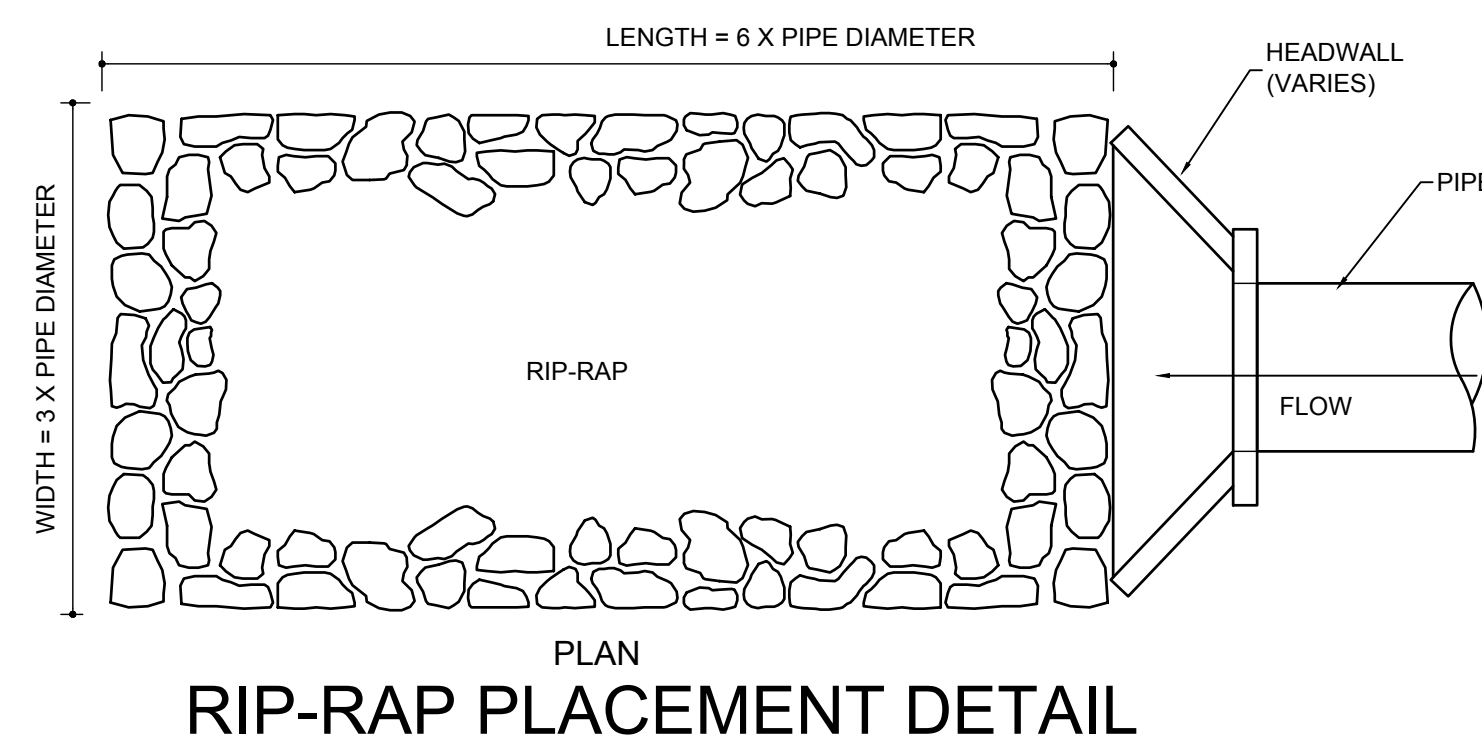
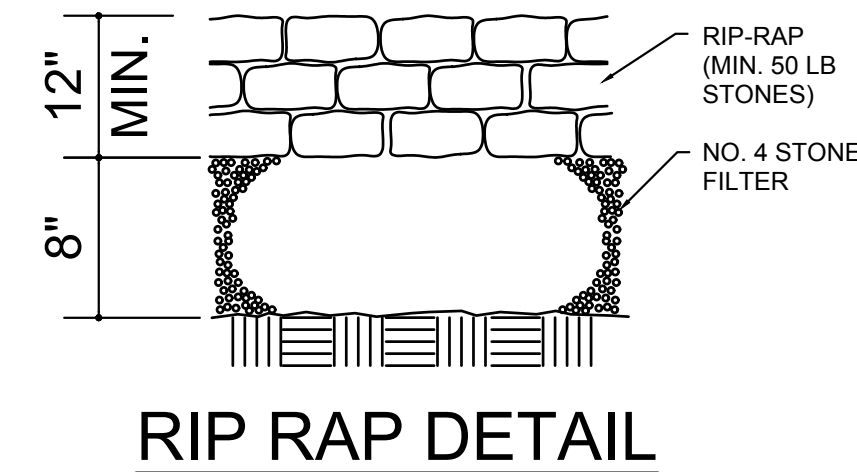
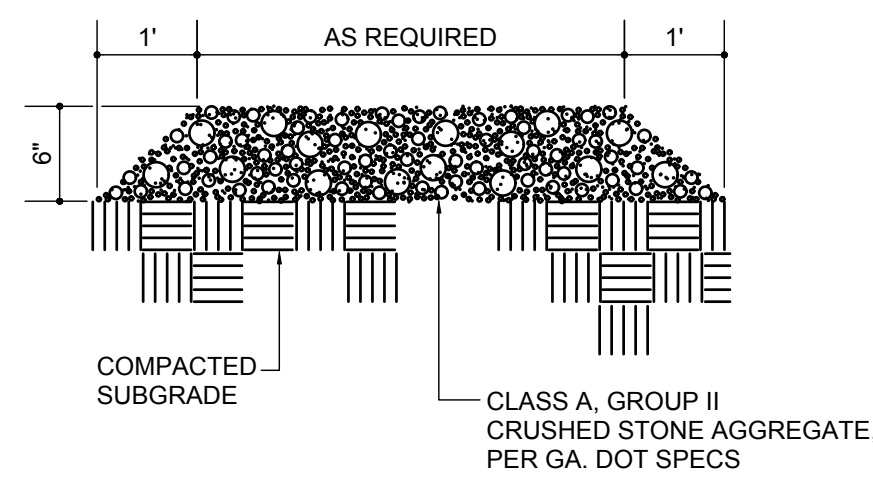
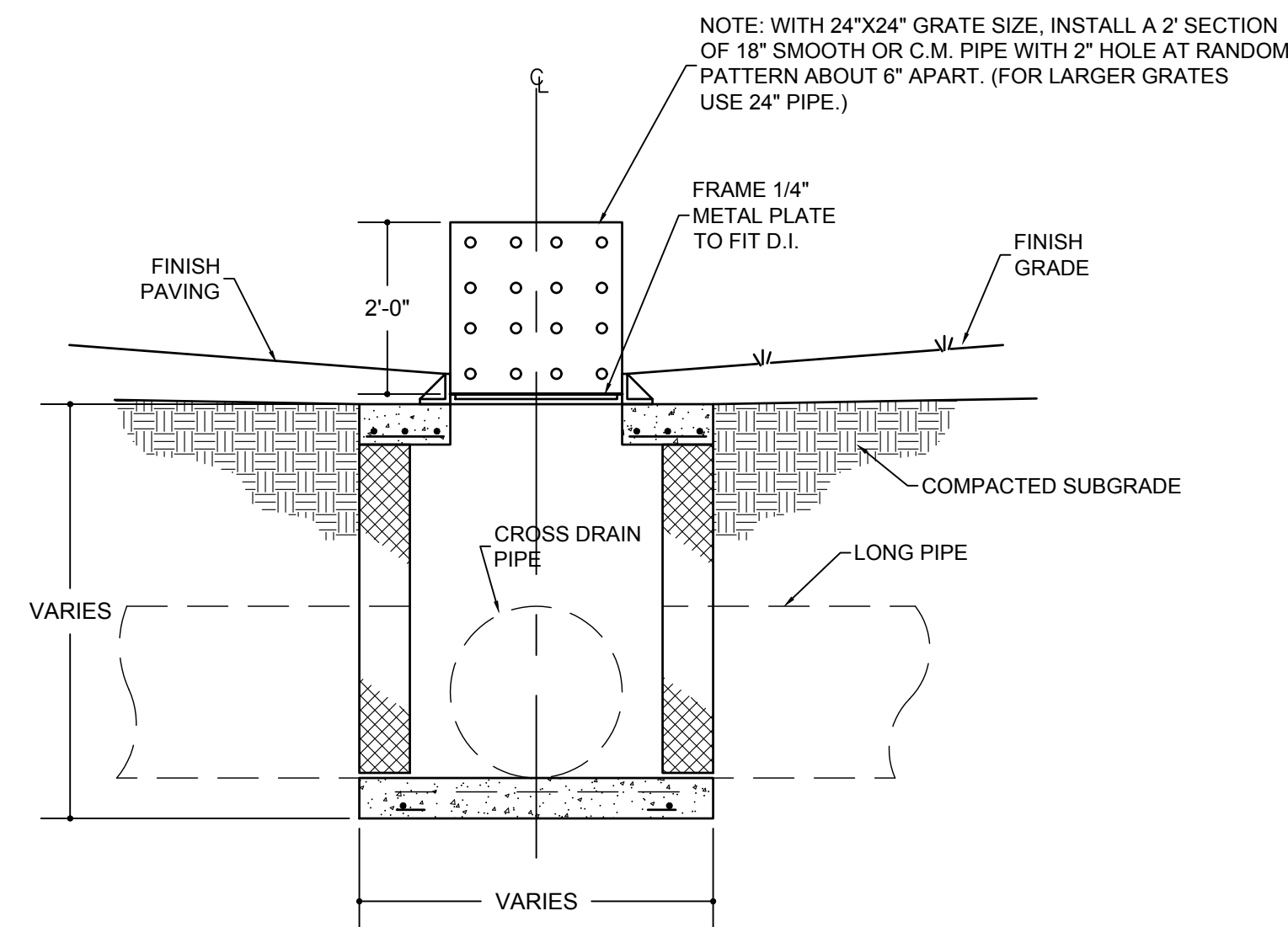
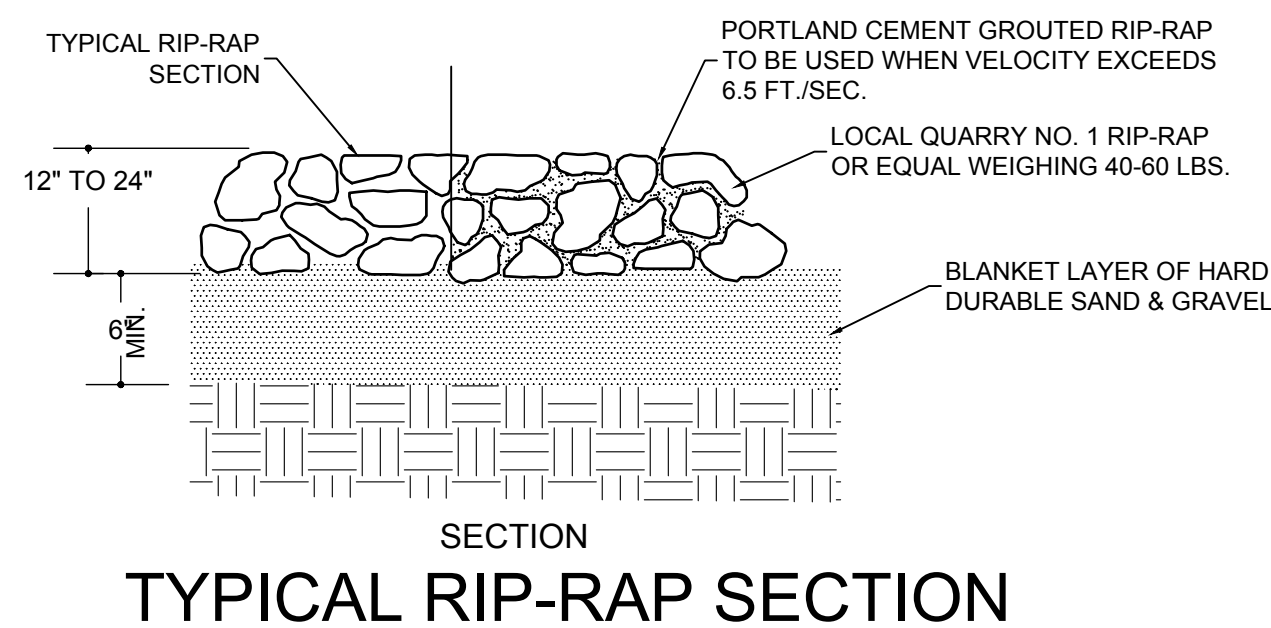
1 PARTIAL SITE PLAN - PROPOSED  
 Scale: 1/2" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

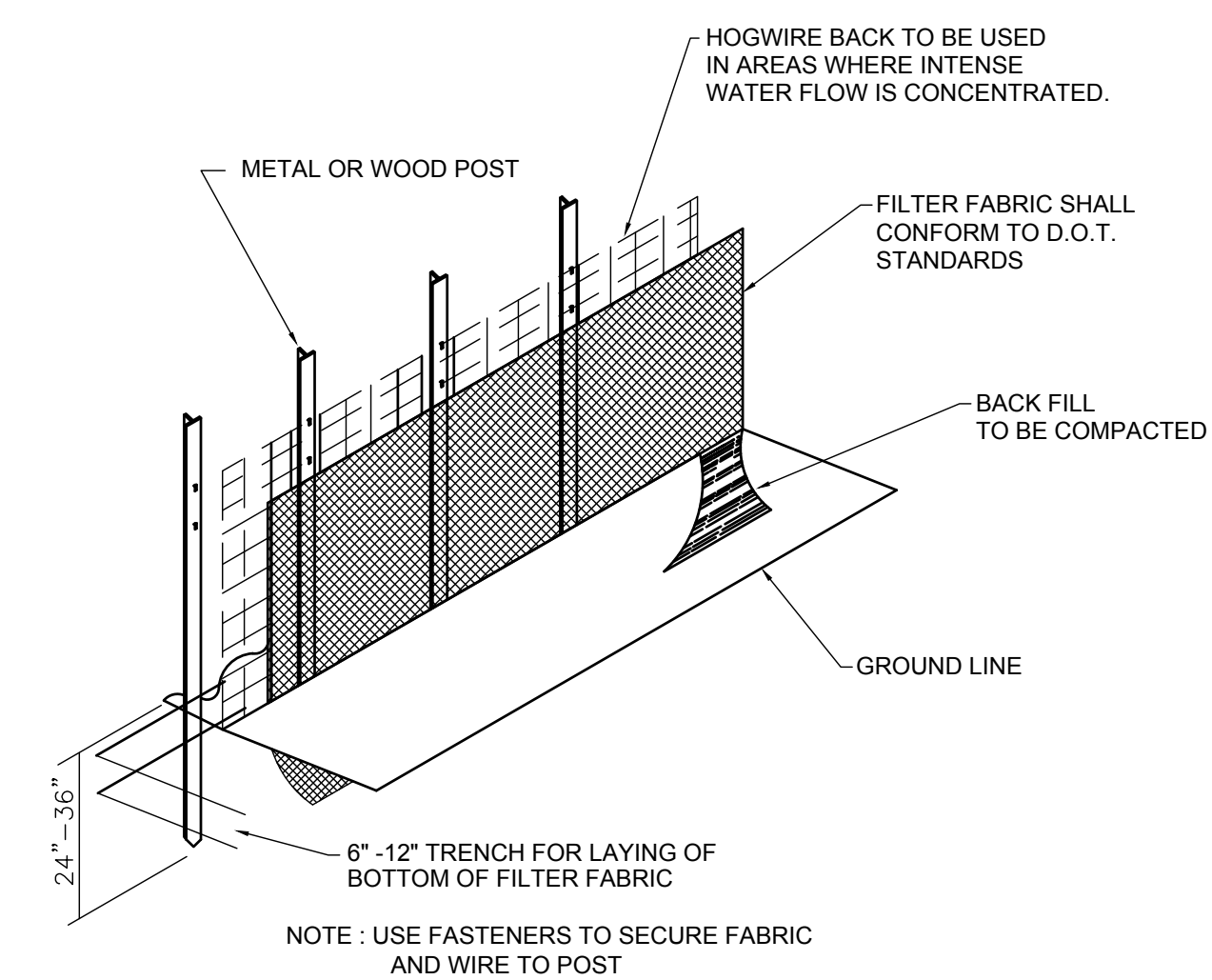
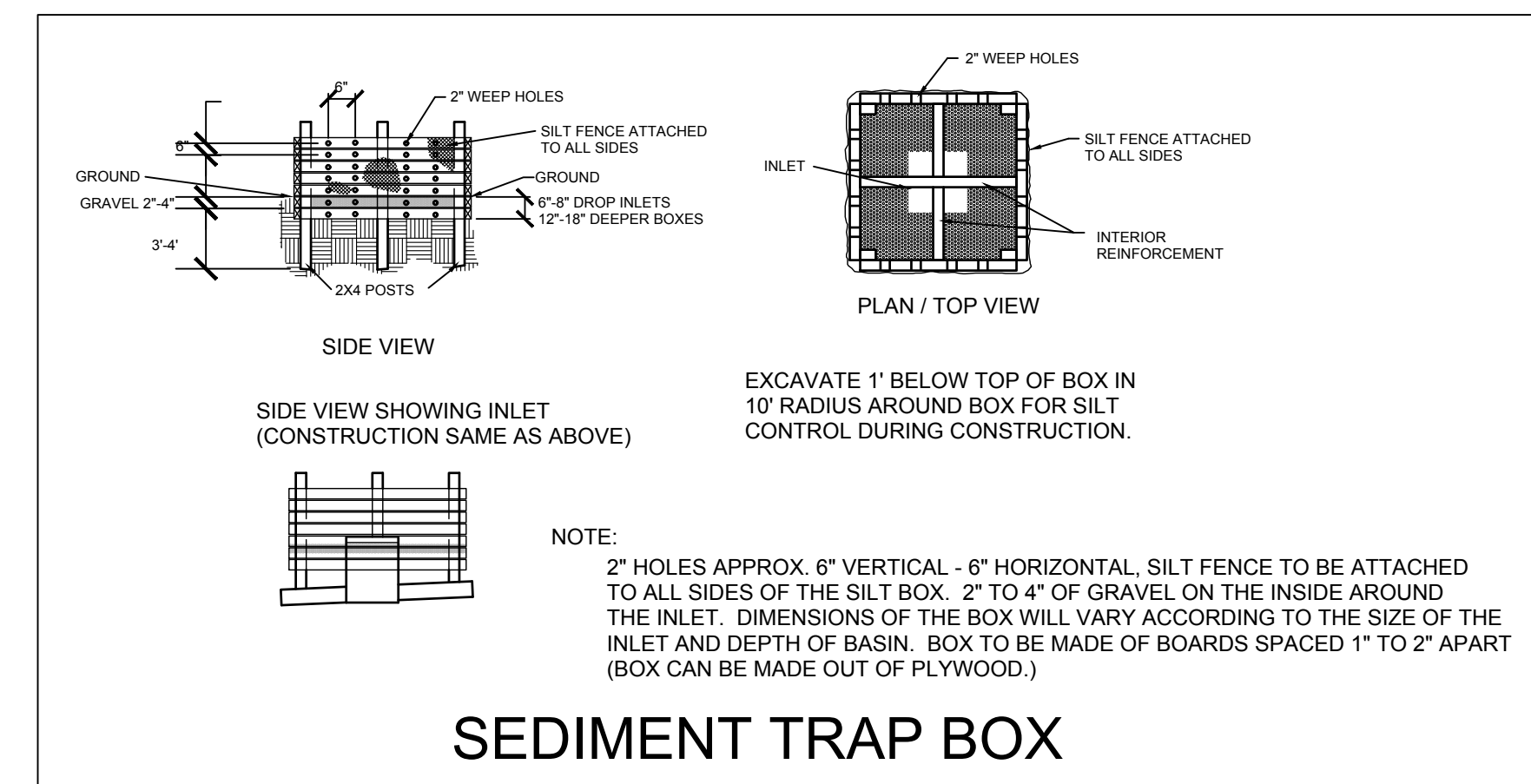
TITLE:  
**PARTIAL SITE PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-14</b>



**SILT GRATE FOR DROP INLETS**

**RIP RAP DETAIL**



NOTE: "RIP-RAP"

#1 RIP-RAP IS LARGE STONE HAVING A WEIGHT OF APPROXIMATELY 40 TO 60 LBS., THIS MATERIAL WILL SUFFICE TO VELOCITIES UP TO 6 FEET PER SECOND. TO MEET WEIGHT CRITERIA FOR HIGHER VELOCITIES RIP-RAP SHOULD BE GROUTED. FOR VELOCITIES FROM 6.5 TO 10 FT./SEC. A 12" DOUBLE LAYER OF GROUTED RIP-RAP SHOULD BE USED. FROM 10 TO 15 FT./SEC. A 18" TRIPLE LAYER OF RIP-RAP SHOULD BE USED. DIMENSIONS OF THIS BLANKET ARE TO BE 6 TIMES THE PIPE DIAMETER FOR THE LENGTH AND AT LEAST 3 TIMES THE DIAMETER FOR THE WIDTH, THIS WIDTH SHOULD BE UP THE SIDES OF THE SECTION AND SHOULD ACCOMMODATE THE 10 YEAR STORM LEVEL.

**GRADED RIP-RAP STONE**

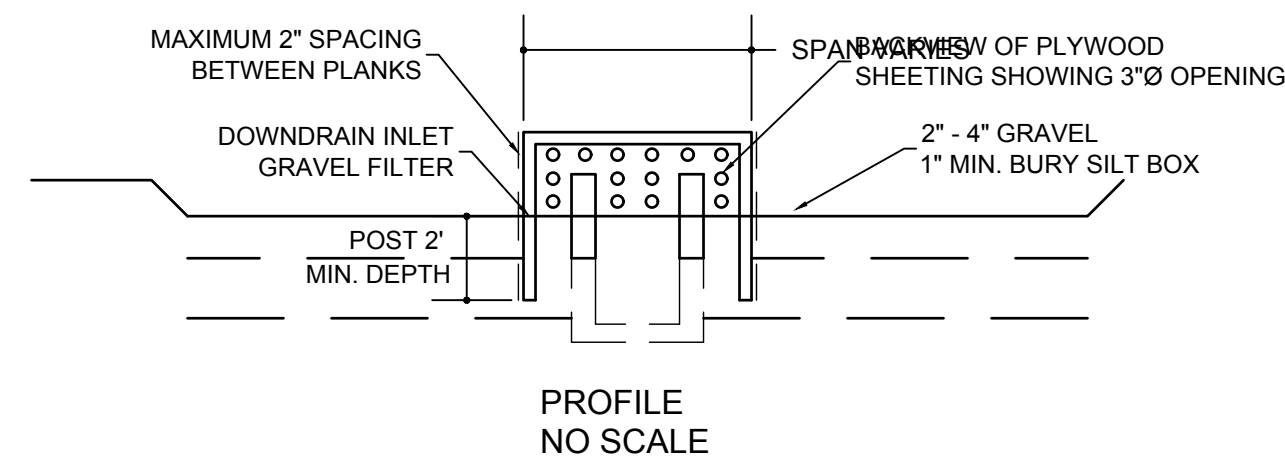
D.O.T. NO.	SIZE INCHES (sq. opening)			COMMON USES
	MAX.	AVG.	MIN.	
TYPE 3	12	9	5	CREEK BANKS PIPE OUTLETS LAKES & SHORELINES RIVERS
TYPE 1	24	12	7	

Georgia Department of Transportation

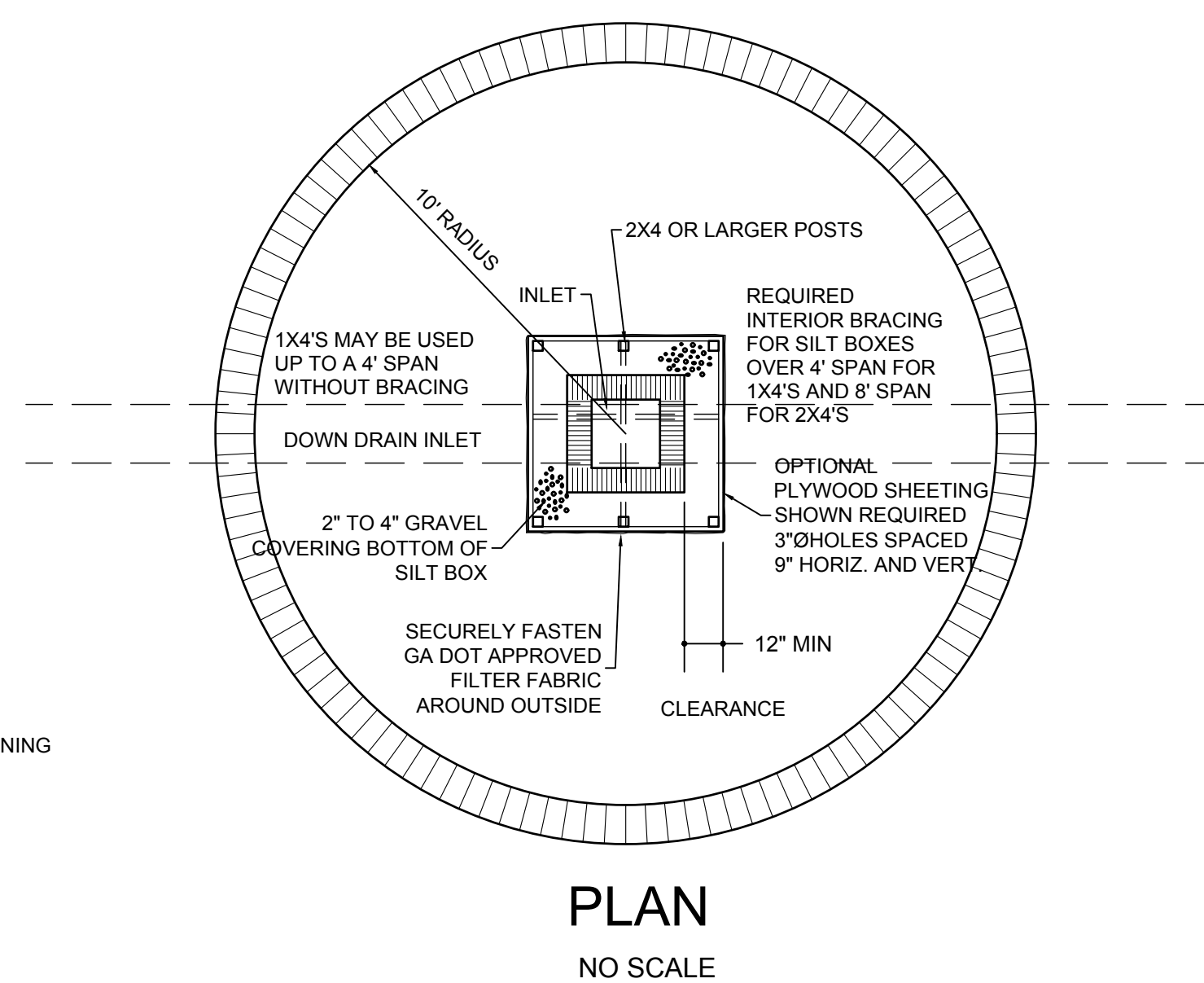
**FILTER BEDDING STONE**

D.O.T. NO.	NOMINAL SIZES (inches)
3	2" - 1"
4	1 1/2" - 3/4"
5	1" - 1/2"
6	3/4" - 3/8"
57	1" - NO. 4

Georgia Department of Transportation



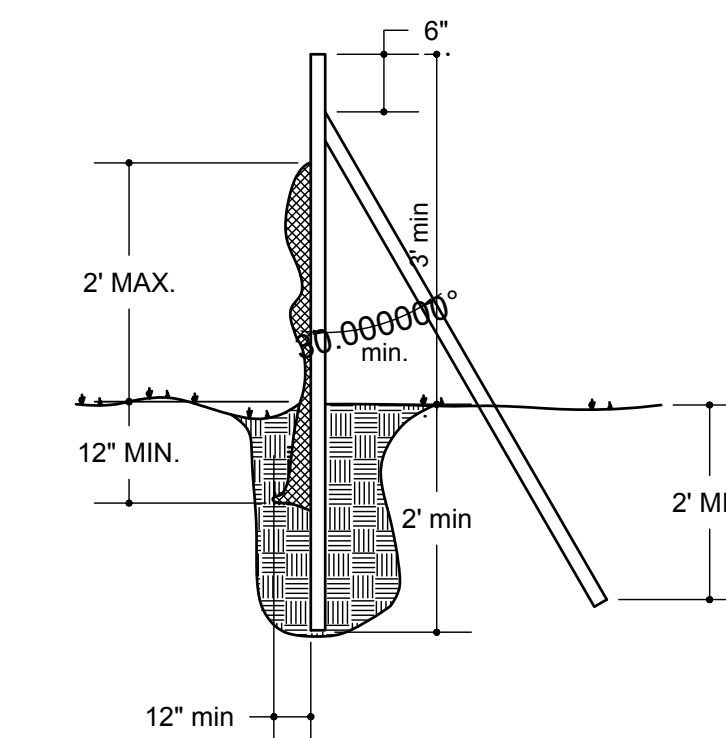
**TEMPORARY SEDIMENT TRAP**



**PLAN**  
NO SCALE

A  
SD-15

**SILT FENCE DETAIL**



B  
SD-15

**THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO AND CONCURRENT WITH LAND DISTURBING ACTIVITIES.**



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**REVISIONS**

DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**SITE DETAILS / NOTES AND SPECIFICATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-15</b>

**PROJECT DESCRIPTION**

This project site is approximately 0.1 acres of a total site acreage. Approximately 0.1 acres will be developed for building renovation and sidewalk rework.

**VEGETATION:**

The site is presently paved with curb and gutter and landscaping. Topsoil will be stockpiled, and spread on areas to be vegetated. Trees outside the clearing limits will be protected from damage by appropriate markings. Supplemental vegetation will be established.

**EROSION CONTROL PROGRAM:**

Clearing will be kept to an absolute minimum. Vegetation and mulch will be applied to applicable areas immediately after grading is completed. Gravel will be applied to roadways as soon as grading is completed. Land disturbing activities will be scheduled to limit exposure of bare soils to erosive elements. Storm water management structures will be used to prevent erosion in areas of concentrated water flows. Erosion at the exits of all storm water structures will be prevented by the installation of storm drain outlet protection devices. Approximately .1 acres are to be disturbed as part of this project.

**SEDIMENT CONTROL PROGRAM:**

Sediment control will be accomplished by the installation of approximately 120 linear feet of silt fence.

**STANDARDS AND SPECIFICATIONS:**

All designs will conform to and all work will be performed in accordance with the 2003 EPA Construction General Permit and specific Sediment Control in Georgia, as well as all local ordinances.

**SAFETY PROTECTION:**

Construction activities will be performed in compliance with all applicable laws, rules, and regulations.

**MAINTENANCE PROGRAM:**

Sediment and erosion control measures will be inspected daily, and any damages observed will be repaired by the end of that day. Clean out of sediment control structures will be accomplished in accordance with the specifications and sediment disposal will be accomplished by spreading on the site. Sediment barriers will remain in place until sediment contributing areas are stabilized. Silt fences and other barriers will then be removed and the areas occupied by these structures planted. Guidelines for the maintenance of established vegetation will be provided to the owner when all disturbed areas are stabilized.

**GENERAL NOTES:**

1. All work performed shall be in accordance with all applicable standards, specifications and practices as established by the local governing agency and City of LaGrange, County of Troup, State of Georgia.
2. The Contractor shall meet all applicable Federal, State, and local codes, laws, regulations, and requirements.
3. The Contractor is responsible for obtaining and maintaining all permit requirements. Prior to starting construction the general contractor shall be responsible to verify that all required permits and approvals have been obtained. No construction or fabrication of any item shall begin until the contractor has received all plans and any other documentation from all of the permitting and other authorities. Failure of the contractor to follow this procedure constitutes his financial responsibility for any subsequent modification of the work mandated by any regulatory authority.
4. The general contractor shall be responsible for on site mulching of all existing vegetation and demolition of structures necessary to develop the site. The general contractor shall remove and recycle all trash and debris from the site upon completion of the project.
5. Dimensions, building location and grading of this site are based on available information at the time layout. Deviations may be necessary in the field. Any such changes or conflicts between this plan and the field conditions are to be reported to the Architect in writing prior to starting construction.
6. Do not scale from drawings.
7. Contractor shall be responsible for verification of all property lines, setbacks and/or easements before beginning construction on all buildings and canopies.
8. All new side slopes shall not exceed 1' vertical to 3' horizontal.
9. All slopes are to be stabilized at earliest practical time.
10. All areas shall be graded to provide positive drainage - into appropriate drainage inlets - and away from proposed building structures.
11. All final grading shall be smooth and uniform.
12. All disturbed uncovered areas shall be appropriately grassed or mulched 6" after topsoil is re-spread.
13. All pavement surfaces that are to be removed, both concrete and asphalt, shall be saw cut in a straight line before pavement is removed.
14. All building and painting subgrade areas shall be compacted in 8" layers to 95% of the maximum dry density at optimum moisture content as determined in accordance with ASTM D-1557 current edition.
15. Commercial driveways are to be constructed in accordance with applicable standard regulations, standards and specifications of the City, County, or State Department of Transportation.
16. For all paved surfaces, the following grades shall be maintained: 10% maximum and 1.5% minimum.

**GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL**

1. THE AREA TO BE DISTURBED ON THIS PROJECT IS APPROXIMATELY 0.1 ACRES.
2. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION DUE TO CONDITIONS NOT SHOWN ON PLANS.
3. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES MAY RESULT IN CONSTRUCTION BEING HALTED.
4. EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND FOLLOWING RAINFALL AND REPAIRED BY CONTRACTOR OR OWNER.
5. ALL SILT FENCING SHALL COMPLY WITH DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A LETTER OF WARRANTY THAT MATERIALS MEET THESE SPECIFICATIONS AND THAT THE FABRIC IS ON THE D.O.T. QUALIFIED PRODUCTS LIST (QPL) #36.
6. TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION SHALL BE PROVIDED WITHIN TWO WEEKS OF REACHING FINAL GRADE.
7. STORM DRAIN SYSTEMS SHALL BE MAINTAINED CLEAN AND FREE OF SILT AND DEBRIS.
8. A RESPONSE TO A NOTIFICATION OF NON-COMPLIANCE OR INADEQUATE MEASURES SHALL BE MADE WITHIN 3 WORKING DAYS AFTER RECEIVING SUCH NOTIFICATION.
9. PERMANENT VEGETATION SHALL BE PROVIDED AT THE EARLIEST SUITABLE GROWING SEASON.
10. CONSTRUCTION BEGIN DATE IS AUGUST 1, 2020.
11. CONSTRUCTION COMPLETION DATE IS MARCH 1, 2021.
12. IMPLEMENTATION AND MAINTENANCE:
  - A. IMPLEMENTATION: NOTIFY THE DEPARTMENT OF ENGINEERING 24 HOURS PRIOR TO COMMENCING WORK.
  - 1. NO CLEARING, GRADING, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL APPROVED EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
  - 2. THESE EROSION AND SEDIMENT CONTROL MEASURES SHALL APPLY TO ALL FEATURES OF THE CONSTRUCTION SITE INCLUDING BUT NOT LIMITED TO STREET AND UTILITY INSTALLATIONS AS WELL AS TO THE PROTECTION OF INDIVIDUAL LOTS.
  - B. MAINTENANCE: ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUOUSLY MAINTAINED BY THE CONTRACTOR OR PERMITEE DURING THE CONSTRUCTION PHASE OF THE DEVELOPMENT AND UNTIL PERMANENT STABILIZATION OF DITCHES, SHOULDERS, SLOPES AND ALL DISTURBED AREAS IS ACCOMPLISHED TO ELIMINATE THE NEED FOR THE TEMPORARY CONTROL MEASURES WHICH SHALL THEN BE REMOVED BY SAME.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.



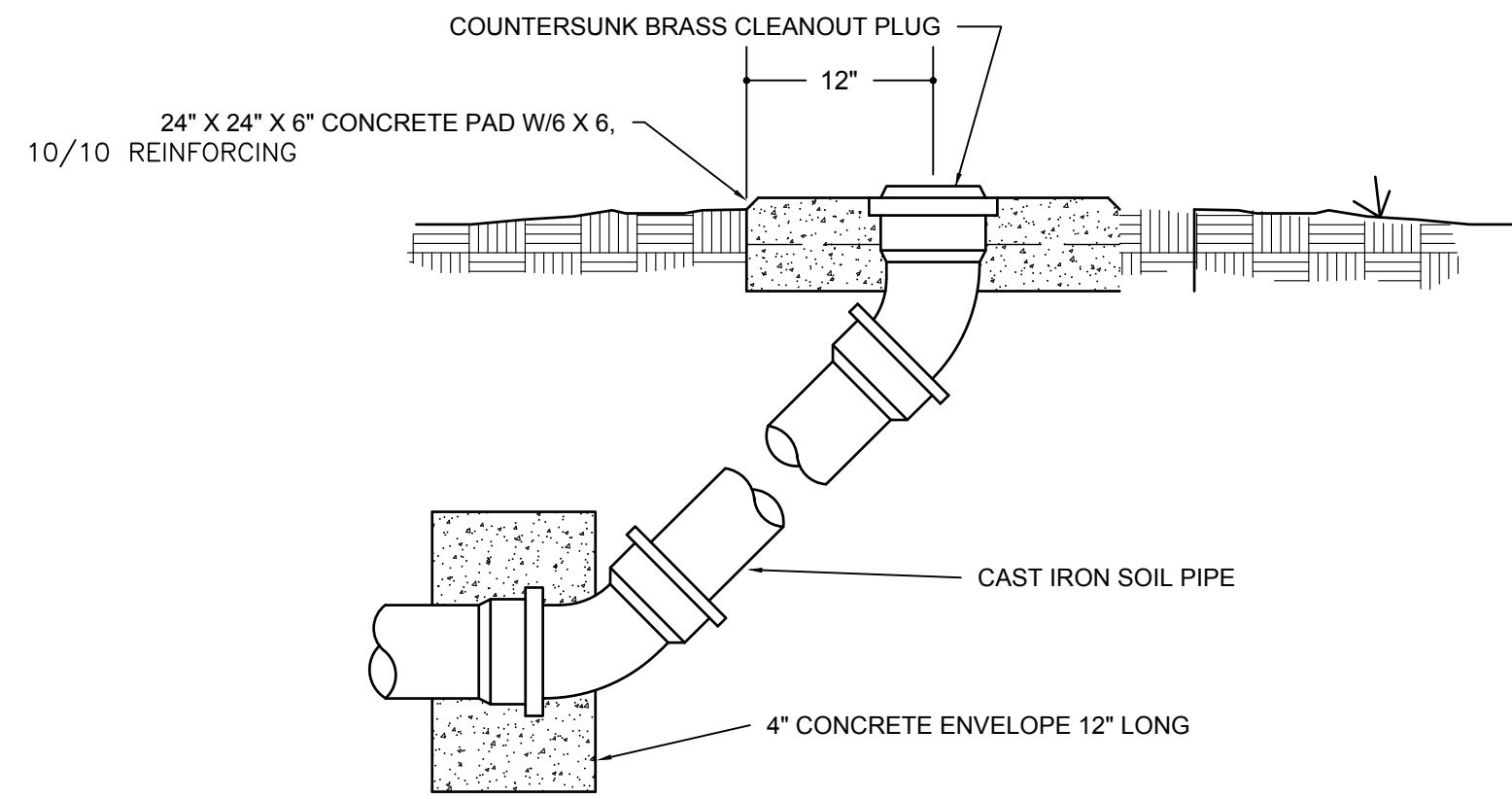
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REVISIONS		
Δ	DATE	DESCRIPTION

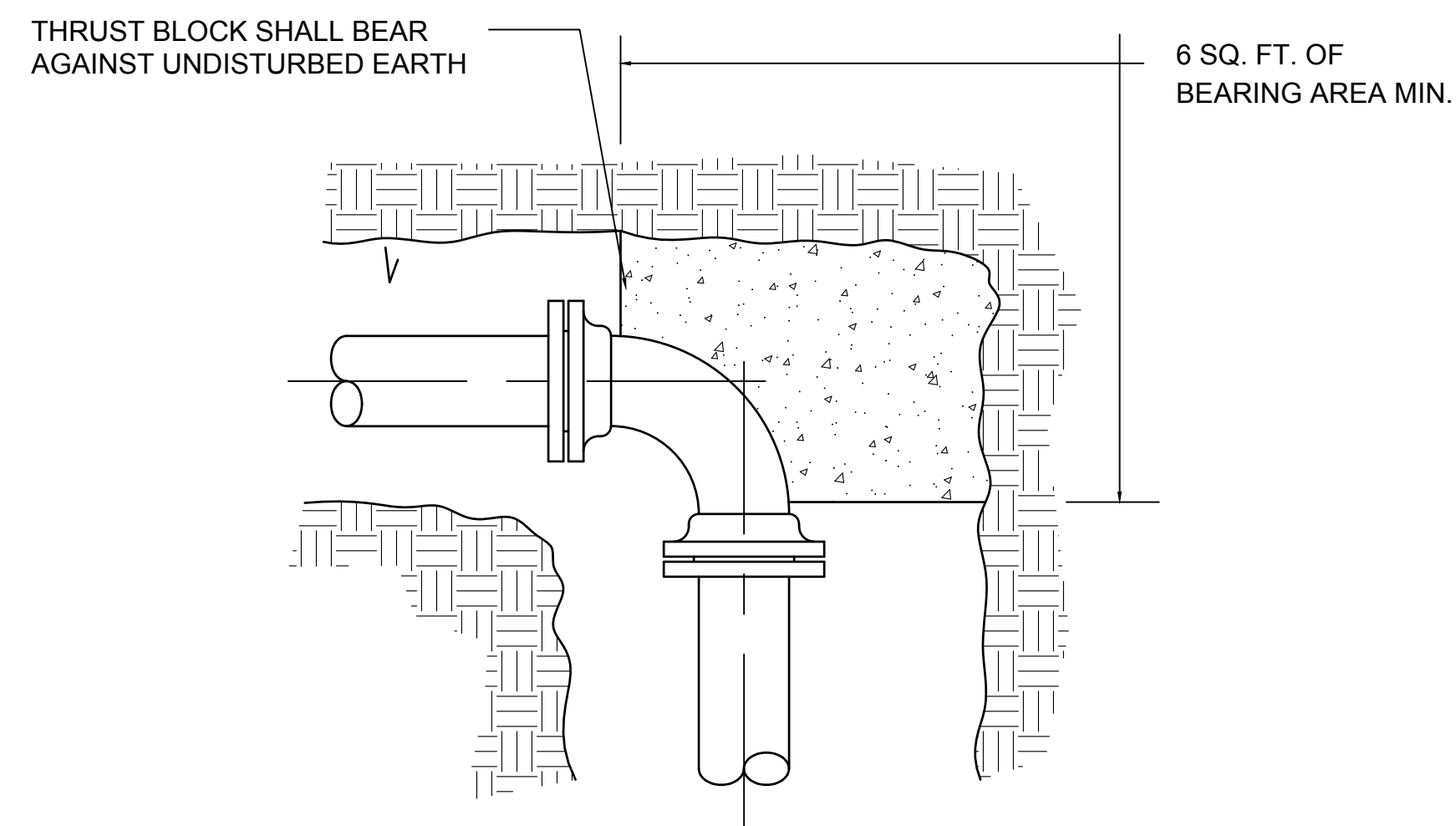
PROJECT:  
  
**TOURISM OFFICE RENOVATION**  
  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
  
**SITE DETAILS / NOTES AND SPECIFICATIONS**

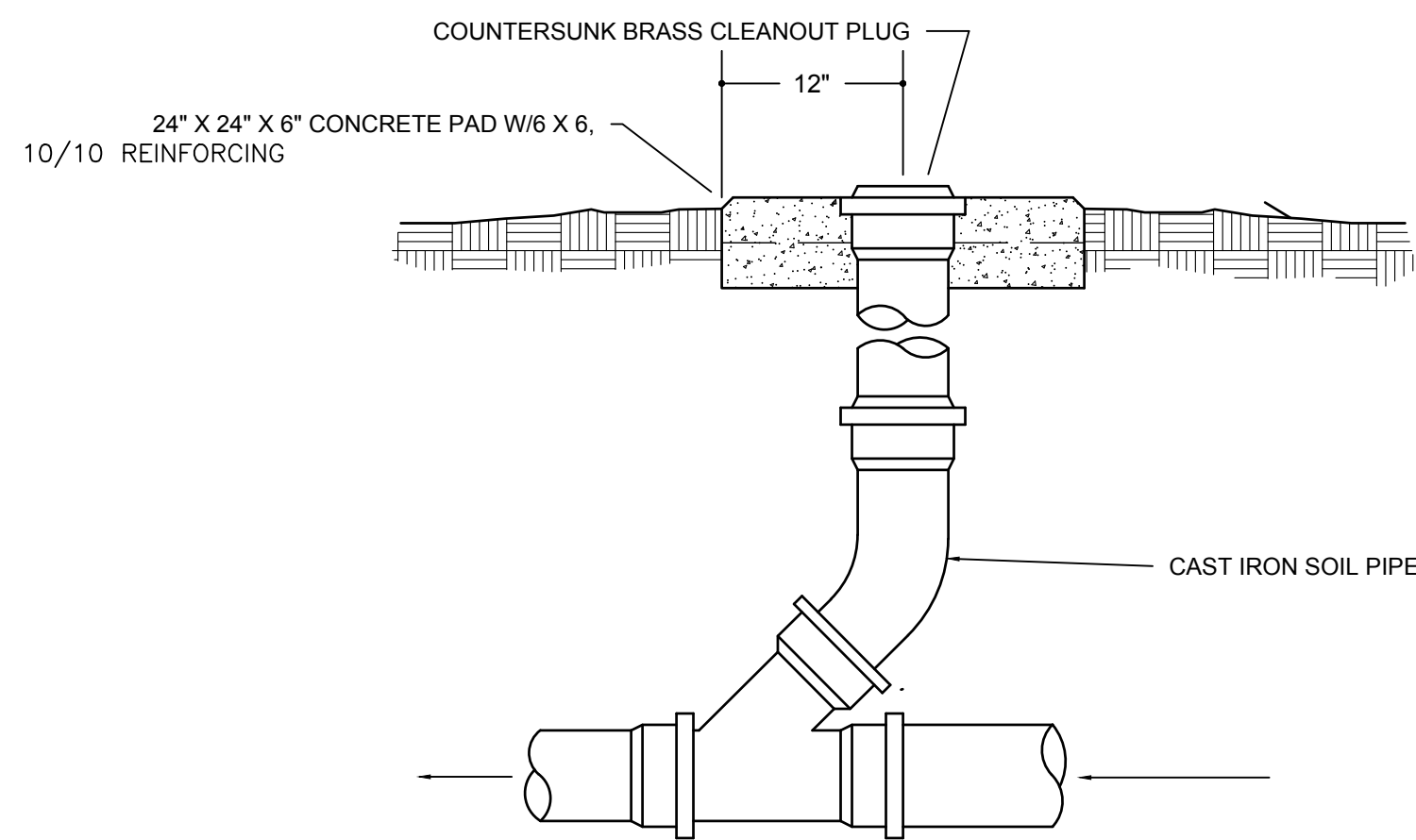
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-16</b>



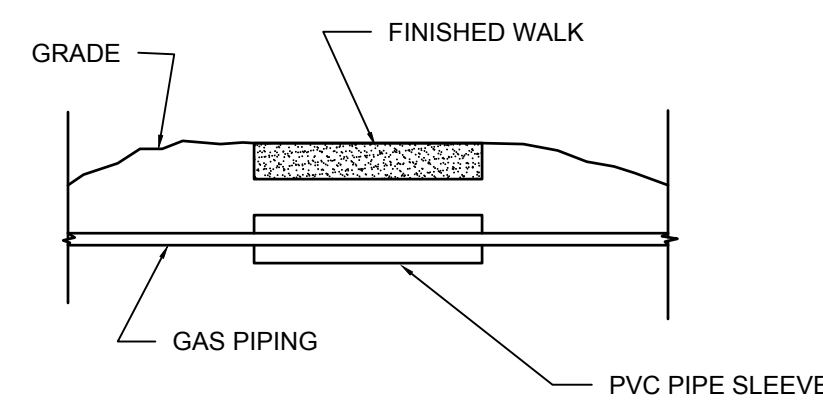
**1**  
SD-17 **CLEANOUT AT END OF LINE**  
NOT TO SCALE



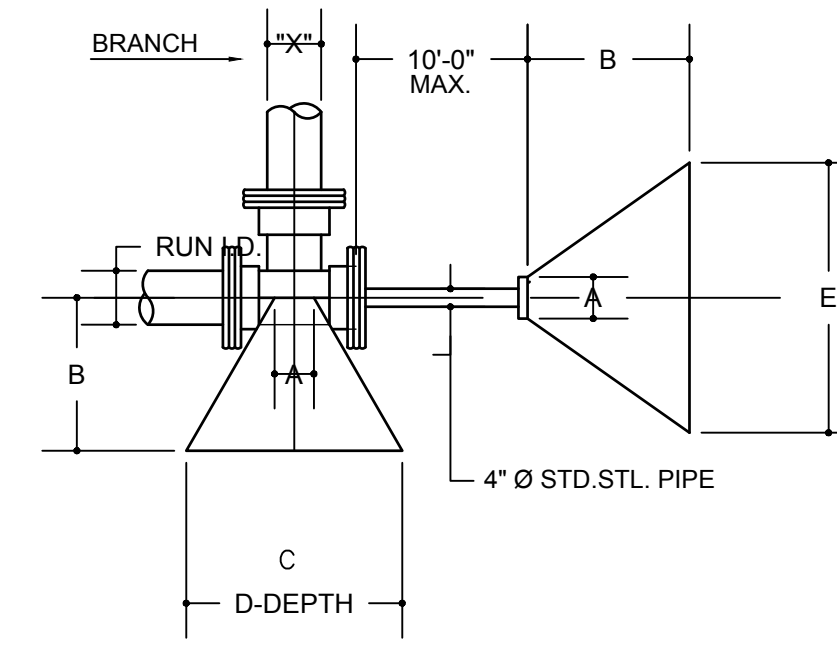
**3**  
SD-17 **WATER MAIN ANCHOR DETAIL**  
NOT TO SCALE



**2**  
SD-17 **CLEANOUT UP TO GRADE**  
NOT TO SCALE

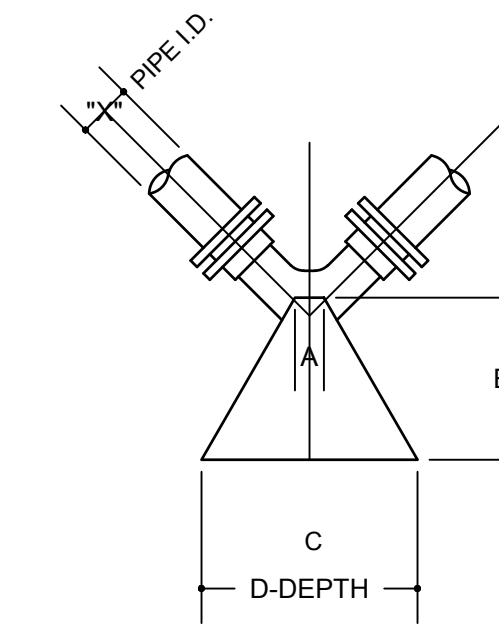


**5**  
SD-17 **GAS PIPING UNDER WALK**  
NOT TO SCALE



		BLOCKING DIMENSIONS					
		TEES					
"X"	A	B	C	D	E	F	
12"	12"	1'-0"	3'-0"	4'-6"	3'-0"	4'-6"	3'-0"
	10"	1'-0"	3'-0"	4'-0"	2'-6"	4'-6"	3'-0"
	8"	1'-0"	3'-0"	3'-3"	2'-0"	4'-6"	3'-0"
	6"	1'-0"	3'-0"	2'-6"	1'-6"	4'-6"	3'-0"
	4"	1'-0"	3'-0"	1'-9"	1'-0"	4'-6"	3'-0"
10"	10"	1'-0"	2'-6"	4'-0"	2'-6"	4'-0"	2'-6"
	8"	1'-0"	2'-6"	3'-3"	2'-0"	4'-0"	2'-6"
	6"	1'-0"	2'-6"	2'-6"	1'-6"	4'-0"	2'-6"
	4"	1'-0"	2'-6"	1'-9"	1'-0"	4'-0"	2'-6"
8"	8"	0'-10"	2'-3"	3'-3"	2'-0"	3'-3"	2'-0"
	6"	0'-10"	2'-3"	2'-6"	1'-6"	3'-3"	2'-0"
	4"	0'-10"	2'-3"	1'-9"	1'-0"	3'-3"	2'-0"
6"	6"	0'-8"	1'-6"	2'-6"	1'-6"	2'-6"	1'-6"
	4"	0'-8"	1'-6"	1'-9"	1'-0"	2'-6"	1'-6"
4"	4"	0'-6"	1'-0"	1'-9"	1'-0"	1'-9"	1'-0"

**4**  
SD-17



		BLOCKING DIMENSIONS			
		TEES			
"X"	A	B	C	D	
90° BEND	12"	12"	4'-3"	6'-0"	3'-3"
	10"	12"	3'-6"	5'-0"	2'-9"
	8"	10"	2'-9"	4'-0"	2'-3"
	6"	8"	2'-0"	3'-0"	1'-9"
	4"	6"	1'-9"	2'-6"	1'-0"
45° BEND	12"	12"	2'-9"	4'-3"	2'-6"
	10"	12"	1'-9"	3'-0"	2'-6"
	8"	10"	1'-6"	2'-6"	2'-0"
	6"	8"	1'-3"	2'-0"	1'-6"
22-1/2° BEND	4"	6"	1'-3"	2'-0"	0'-9"
	12"	12"	1'-9"	3'-0"	1'-9"
	10"	12"	1'-4"	2'-6"	1'-6"
8"	8"	10"	1'-0"	2'-0"	1'-3"
	6"	8"	0'-9"	1'-6"	1'-0"
4"	4"	6"	0'-9"	1'-0"	0'-9"



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**REVISIONS**

Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**SITE DETAILS / NOTES AND SPECIFICATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>SD-17</b>







**GENERAL NOTES:**

THESE NOTES SHALL APPLY UNLESS OTHERWISE INDICATED BY DRAWINGS OR SPECIFICATIONS.  
 STRUCTURAL DRAWINGS INDICATED TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. SHOP DRAWINGS SHALL ALL CONDITIONS IN ACCORDANCE WITH SPECIFIED STANDARDS AND THE SPECIFIC REQUIREMENTS OF THIS PROJECT AS INDICATED ON THE DRAWINGS.  
 BACKFILL AGAINST WALLS SHALL BE DEPOSITED EVENLY AGAINST BOTH SIDES OF THE WALL UNTIL THE LOWER FINAL GRADE IS REACHED.  
 CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD.  
 CONSTRUCTION OR CONTROL JOINTS SHALL BE PROVIDED IN SLABS ON GRADE SO THAT THE MAXIMUM AREA OF SLAB BETWEEN JOINTS SHALL BE 1000 SQUARE FEET, OR AS SHOWN ON THE PLANS.  
 REINFORCING BARS SHALL CONFORM WITH ASTM A 615. ALL BARS SHALL BE GRADE 60.  
 WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-82 AND A-185.  
 ALL WALL AND FOOTING CONCRETE SHALL BE STANDARD WEIGHT 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL SLAB CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, STANDARD WEIGHT.

CONCRETE STRENGTH: CLASS "A" - 3000 PSI  
 CLASS "B" - 4000 PSI

IF, AFTER EXCAVATION, THE CONDITION OF THE SOIL INDICATES A SAFE BEARING CAPACITY OF LESS THAN 2000 PSF ON SOIL, THE ENGINEER SHALL BE NOTIFIED AND THE FOOTINGS REVISED IF NECESSARY. COLUMN FOOTINGS AND WALL FOOTINGS SHALL BE POURED MONOLITHIC WITH TOPS OF ADJACENT FOOTINGS AT THE SAME ELEVATION. ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL, WHERE POSSIBLE. ANY FILL WITHIN 10'-0" OF BUILDING LIMIT SHALL BE COMPACTED TO 95% STANDARD PROCTOR. SEE ARCHITECTURAL DRAWINGS FOR UNDERFLOOR FOUNDATION DRAINS.

**TIMBER NOTES:**

- ALL TIMBER SHALL BE #2 S.Y.P. (M.C.-19%) OR EQUAL UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL WOOD TO WOOD CONNECTIONS SHALL EMPLOY METAL ANCHORS. NO TOE OR END NAILING SHALL BE PERMITTED.
- PROVIDE ONE ROW OF BRIDGING FOR EACH 8'-0" SPAN FOR ROOF JOISTS. STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING UNLESS METAL OR WOOD SIDE PIECES ARE PROVIDED TO STRENGTHEN THE MEMBER.
- PREFABRICATED WOOD TRUSSES CONNECTED WITH LIGHT GAGE METAL PLATES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE. SHOP DRAWINGS SHALL BE SUBMITTED FOR EACH TRUSS DESIGN AND SHALL INDICATE DESIGN LOADS, SPACING AND LATERAL BRACING REQUIREMENTS AND SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER FOR THE STATE IN WHICH THE STRUCTURE IS BUILT.
- ROOF TRUSS LOADING:
 

TOP CHORD	LL	20 PSF
	DL	10 PSF
BOTTOM CHORD	DL	10 PSF
TOTAL LOAD		40 PSF
- ALLOWABLE INCREASE FOR SHORT TERM LOADING = 25%

TENSION DEVELOPMENT LENGTH *		
CONCRETE STRENGTH (psi)	TOP BARS	OTHER BARS
3000	44 BAR DIA.	34 BAR DIA.
4000	38 BAR DIA.	30 BAR DIA.

TENSION LAP SPLICE *		
CONCRETE STRENGTH (psi)	TOP BARS	OTHER BARS
3000	56 BAR DIA.	44 BAR DIA.
4000	48 BAR DIA.	38 BAR DIA.

COMPRESSION LAP SPLICES *	
f'c ≥ 3,000	30 BAR DIA., 12" MIN.

\* LENGTHS SHOWN ARE MINIMUMS, U.N.O. PROVIDE GREATER LENGTHS WHERE SHOWN IN PLANS, DETAILS, SECTIONS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL LAP SPLICES ARE TO BE CONSIDERED TENSION LAP SPLICES.

**REINFORCING STEEL TABLE**

NOT TO SCALE 2 S2

FASTENER SCHEDULE		
NOTE: ALL GYP. BRD. WALLS AND CEILINGS TO BE FASTENED USING SCREWS @ 6" O.C. ON EDGES AND 12" O.C. INTERMEDIATE.		
FASTENER	NUMBER OR SPACING	
JOIST TO SILL OR ORDER, TOE NAIL	8D COMMON	3
BRIDGING TO JOIST, TOE NAIL EACH END	8D COMMON	3
LEDGER STRIP	16D COMMON	3 AT EACH JOIST
1 1/2" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	8D COMMON	2
OVER 1 1/2" SUBFLOOR TO EACH JOIST, FACE NAIL	8D COMMON	3
2" SUBFLOOR TO JOIST OR ORDER, BLIND AND FACE NAIL	16D COMMON	2
SOLE PLATE TO JOIST OR ORDER, FACE NAIL	16D COMMON	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	8D COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8D COMMON	2
DOUBLED STUDS, FACE NAIL	10D COMMON	24" O.C.
DOUBLED TOP PLATES, FACE NAIL	10D COMMON	2
TOP PLATES, LAP AND INTERSECTIONS, FACE NAIL	10D COMMON	2 OR 3 10D COMMON
CEILING JOISTS TO PLATE, TOE NAIL	16D COMMON	16" O.C. ALONG EACH EDGE
CONTINUOUS HANGER TO STUD, TOE NAIL	8D COMMON	3
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	16D COMMON	3 OR 4 10D COMMON
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	16D COMMON	3 OR 4 10D COMMON
RAFTER TO PLATE, TOE NAIL	8D COMMON	3
1-INCH BRACKETS TO EACH STUD AND PLATE, FACE NAIL	8D COMMON	2
1 1/2" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	8D COMMON	2
OVER 1 1/2" SHEATHING TO EACH BEARING, FACE NAIL	8D COMMON	2
BUILT-UP CORNER STUDS	16D COMMON	24" O.C.
BUILT-UP ORDERS AND BEAMS, OF THREE MEMBERS	20D COMMON	32" O.C. AT TOP AND BOTTOM AND STAGGERED 2 ENDS AND AT EACH SPLICE.

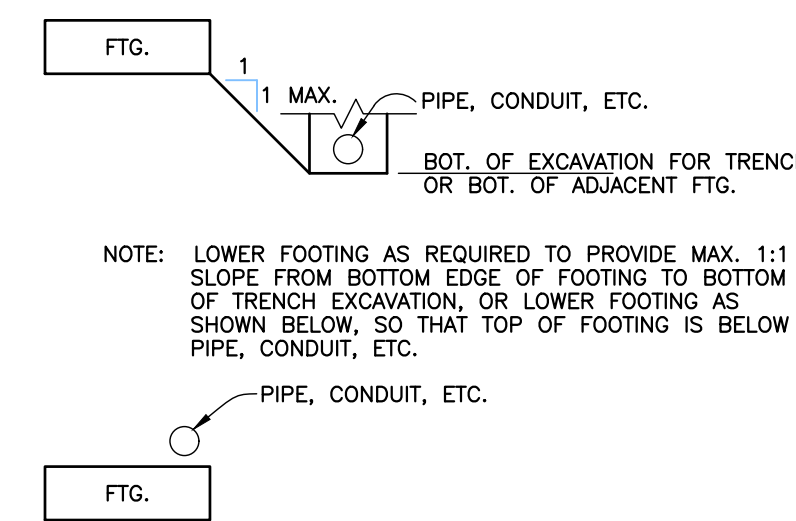
  

FASTENER	NUMBER OR SPACING	
2-INCH PLANKS	16D COMMON	2 EACH BEARING
STUDS TO SOLE PLATE, END NAIL	16D COMMON	2 EACH END
PLYWOOD AND PARTICLEBOARD SUBFLOORING		
1/2"	6D COMMON ANNULAR OR SPIRAL THREAD	6" O.C. EDGES AND 10" O.C. INTERMEDIATE
5/8" - 3/4"	8D COMMON OR 6D ANNULAR OR SPIRAL THREAD	6" O.C. EDGES AND 10" O.C. INTERMEDIATE
1" - 1 1/2"	10D COMMON OR 8D ANNULAR OR SPIRAL THREAD	6" O.C. EDGES AND 10" O.C. INTERMEDIATE
1/2"	18 GA. GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN	4" O.C. EDGES AND 7" O.C. INTERMEDIATE
5/8"	1-5/8" LENGTH	2 1/2" O.C. EDGES AND 4" O.C. INTERMEDIATE
PLYWOOD AND PARTICLEBOARD ROOF & WALL SHEATHING		
1/2" OR LESS	8D COMMON	6" O.C. EDGES AND 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. EDGES AND 12" O.C. INTERMEDIATE
5/16" - 1/2"	18 GA. GALVANIZED WIRE STAPLES, 3/8" MIN. CROWN, LENGTH OF 1" PLUS PLYWOOD OR PARTICLEBOARD THICKNESS	4" O.C. EDGES AND 8" O.C. INTERMEDIATE
5/8" - 3/4"		2" O.C. EDGES AND 5" O.C. INTERMEDIATE
1/2" FIBERBOARD SHEATHING	1-1/2" GALVANIZED ROOFING NAIL	3" O.C. EDGES
25/32" FIBERBOARD SHEATHING	1-3/4" GALVANIZED ROOFING NAIL	6" O.C. AT OTHER BEARINGS
1/2" GYPSUM SHEATHING	8D COMMON NAIL	4" O.C. EDGES
	LARGE HEAD CORROSION-RESISTIVE	6" O.C. AT OTHER BEARINGS
PARTICLEBOARD SIDING		
3/8" - 1/2"	8D	SCREWS @ 6" O.C. EDGES
3/4"	8D	AND 12" O.C. INTERMEDIATE
1/2" AND 5/8" GYPSUM BOARD WALLS AND CEILINGS	1 1/2" SCREWS, SCREW ALL GYPSUM BOARD TO STUDS	

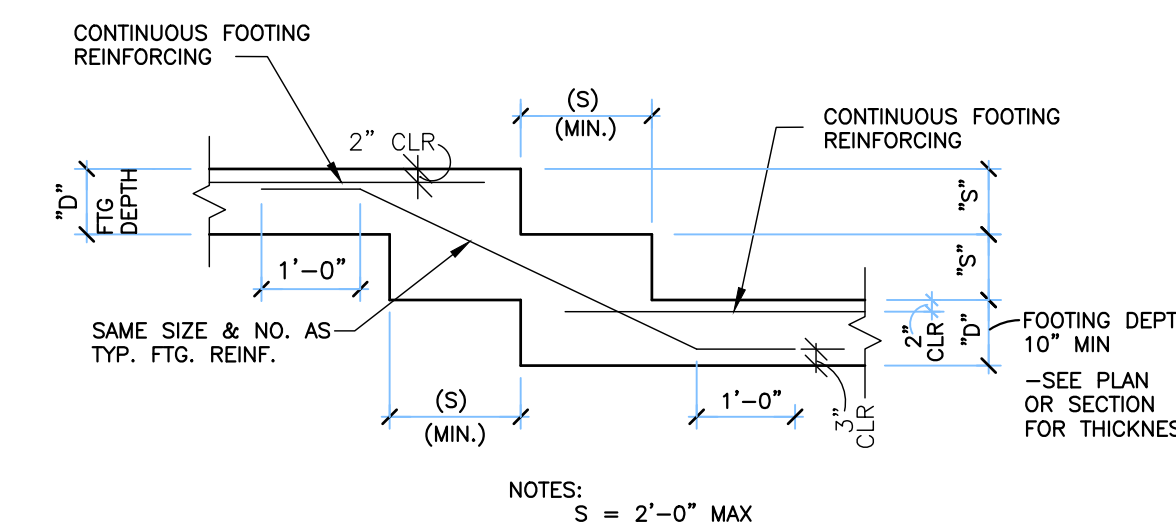
  

1. SIDING APPLIES TO FIVE-EIGHTHS (5/8) INCH NET WOOD SHEATHING OR ONE-HALF (1/2) PLYWOOD OR ONE-HALF (1/2) PARTICLEBOARD SHEATHING.  
 2. CORROSION RESISTANT NAILS SPACED 8-INCHES ON CENTER AT EDGE AND 8-INCHES ON CENTER AT INTERMEDIATE SUPPORTS. NAILS SHALL HAVE A MINIMUM EDGE DISTANCE OF 3/8-INCH.  
 3. SIDING APPLIED TO STUDS SPACED 16-INCH ON CENTER MAXIMUM.  
 4. SIDING APPLIED DIRECTLY TO STUDS SPACED 24-INCHES ON CENTER MAXIMUM.  
 5. USE ANNULAR OR SPIRAL THREAD NAILS FOR COMBINATION SUBFLOOR-UNDERLAMENT.

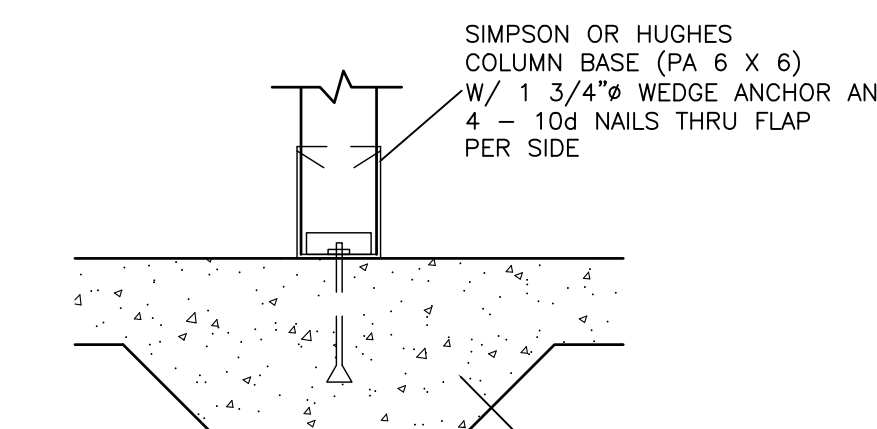
\*FIBERBOARD SHEATHING MAY BE STAPLED USING 18 GAGE GALVANIZED STAPLES 1-1/8" LONG FOR 1/2" SHEATHING AND 1-1/2" LONG FOR 25/32" SHEATHING. STAPLES TO HAVE MINIMUM CROWN OF 7/16" AND SPACED 3" O.C. AT EDGES AND 6" O.C. AT OTHER BEARINGS.



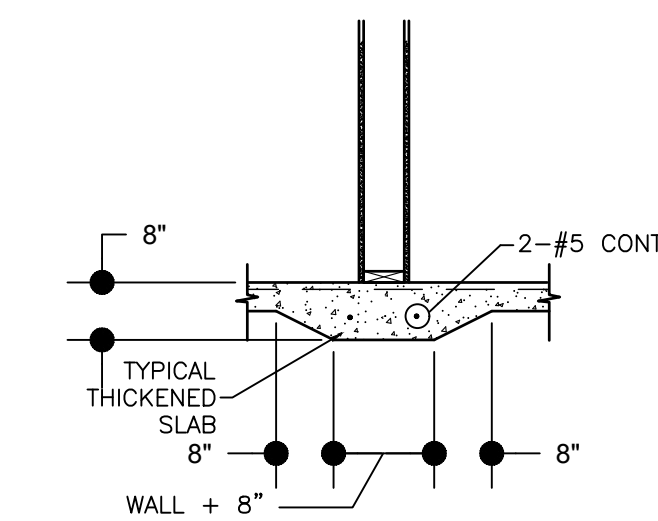
TYPICAL FOUNDATION INFLUENCE DETAIL  
 NOT TO SCALE 3 S2



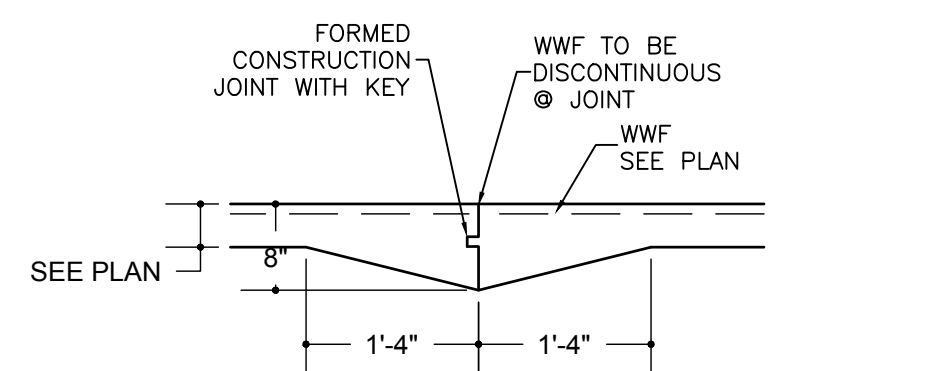
TYPICAL STEPPED FOOTING DETAIL FOR CONCRETE WALLS  
 NOT TO SCALE 4 S2



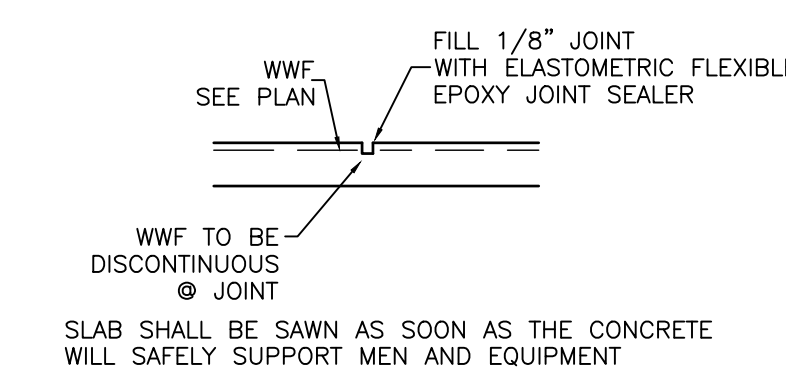
TYPICAL WOOD COL. FTG. DETAIL  
6 S-2



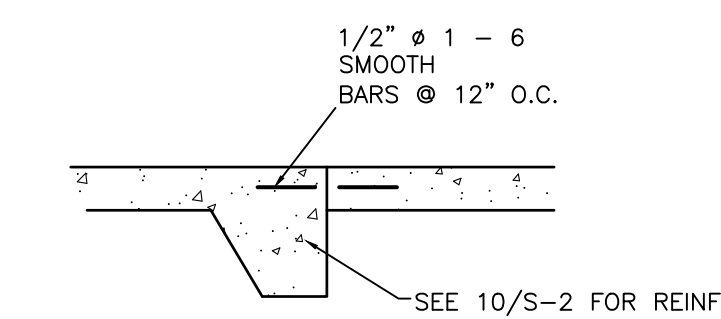
THICKENED SLAB DETAIL  
 NOT TO SCALE  
 TYPICAL AT ALL LOAD BEARING INTERIOR WALLS  
5 S-2



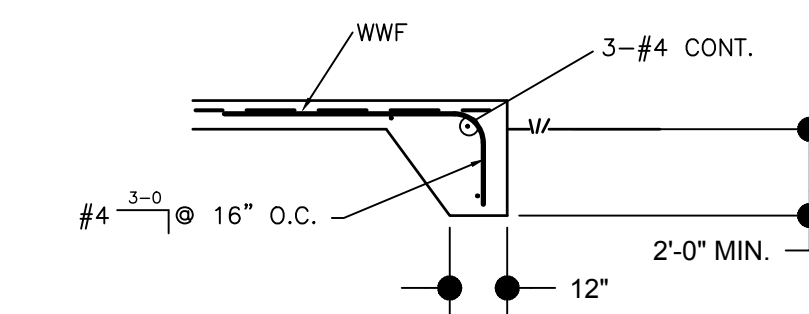
TYPICAL CONST. JOINT DETAIL  
 SCALE: 3/4" = 1'-0"  
7 S-2



TYPICAL CONTROL JOINT DETAIL  
 SCALE: 3/4" = 1'-0"  
9 S-2



SIDEWALK @ T.D. SLAB  
 SCALE: 3/4" = 1'-0"  
8 S-2



TURNED DOWN DETAIL  
 NOT TO SCALE  
10 S-2



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REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**STRUCTURAL NOTES**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>S-2</b>



SECTION 4 NOT USED

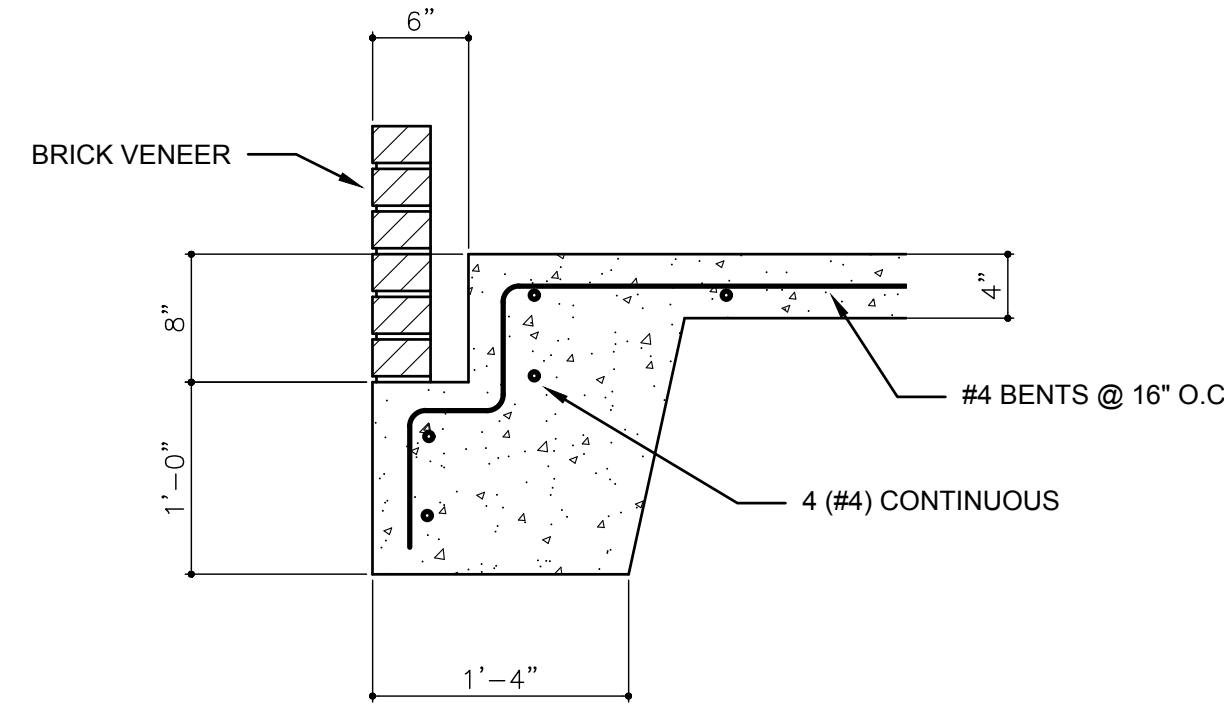
SECTION 5 - STRUCTURAL STEEL

- A. WELDER QUALIFICATIONS: QUALIFY WELDING PROCESSES AND WELDING OPERATORS IN ACCORDANCE WITH AWS "STANDARD QUALIFICATION PROCEDURE". OPERATORS SHALL CARRY PROOF OF QUALIFICATIONS ON THEIR PERSONS.
- B. TEST REPORTS: 2 COPIES, PLUS THE NUMBER CONTRACTOR WANTS RETURNED, OF STEEL PRODUCER'S REPORT OF MILL ANALYSIS AND TENSILE AND BEND TESTS FOR STRUCTURAL STEEL MADE NO MORE THAN 60 DAYS BEFORE SHIPMENT.
- C. CERTIFICATES: TESTING LABORATORY'S CERTIFICATE THAT:  
 1. STRUCTURAL STEEL HAS BEEN FURNISHED AND INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS.  
 2. THE ON-SITE INSPECTIONS HAVE BEEN CONDUCTED AND INSTALLED IN ACCORDANCE WITH THE FIELD QUALITY CONTROL BELOW.
- D. TESTING LABORATORY SHALL INSPECT CONNECTIONS IN ACCORDANCE WITH REFERENCES AS FOLLOWS:  
 1. WELDED CONNECTIONS: INSPECT ALL COMPLETE PENETRATION WELDS AND ALL BUTT WELDS MADE BY FABRICATOR OR BY ERECTOR IN THE FIELD. USE ULTRASONIC OR RADIOGRAPHIC INSPECTION METHODS IN ACCORDANCE W/ AWS D1.1-99. IF THE FABRICATOR USES THE FULL VALUE FOR FILLET WELDS, AS SPECIFIED IN THE REFERENCES, INSPECT 25% OF THESE WELDS. VISUALLY INSPECT 50% MINIMUM OF FIELD WELDS. SHOULD ANY WELDS FAIL, 100% SHALL BE INSPECTED.
2. BOLTED CONNECTORS: INSPECT AT LEAST 10% OF ALL HIGH STRENGTH BOLTS WHICH ARE WELL SCATTERED THROUGHOUT THE STRUCTURE. IF LESS THAN 95% OF THE BOLTS MEET DESIGN TENSION OR IF ANY BOLT IS LESS THAN 85% OF DESIGN TENSION, THEN ALL BOLTS SHALL BE REWORKED. INSPECT 50% OF ALL REWORKED BOLTS. REPEAT THIS PROCESS UNTIL THE ABOVE REQUIREMENTS ARE MET. LOAD INDICATOR WASHERS MAY BE USED TO TEST 100% OF ALL HIGH STRENGTH BOLTS.
3. VISUALLY INSPECT ALL STEEL DECK ATTACHMENT.
4. INSPECT A MINIMUM OF 20% OF SHEAR CONNECTORS.
- E. COPIES OF TEST RESULTS AND INSPECTION REPORTS SHALL BE SENT DIRECTLY TO THE ENGINEER.
- F. PRE-CONCRETE & PRE-STEEL ERECTION CONFERENCES SHALL BE HELD BY THE CONTRACTOR WITH SUBCONTRACTORS, TESTING LAB PERSONNEL, ARCHITECT AS WELL AS ENGINEERS PRESENT. THESE CONFERENCES SHALL BE HELD WELL IN ADVANCE OF CONSTRUCTION TO INSURE PROPER INTERPRETATION OF DESIGN INTENT. STEEL ERECTOR SHALL FIELD VERIFY CORRECTNESS OF FOUNDATION, ANCHOR BOLTS, OR OTHER EXISTING WORK AFFECTING THE STEEL BEFORE STARTING ERECTION.
- G. STRUCTURAL STEEL DETAILING, FABRICATION, AND ERECTION TO BE IN ACCORDANCE WITH THE NINTH EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION. SHOP DRAWINGS SHALL GIVE COMPLETE WELDING INFORMATION, BOTH SHOP AND FIELD, USING AWS SYMBOLS. WELDING ELECTRODES SHALL CONFORM TO AWS A5.1 OR A5.5 E-70XX (LOW-HYDROGEN FOR SMAW WELDING). ALL WELDING PROCEDURES SHALL BE LOW-HYDROGEN PROCESSES. ELECTRODES SHALL BE STORED AFTER OPENING TO MAINTAIN HYDROGEN CONTENT. ALL CONNECTIONS, EXCEPT THOSE INDICATED ON THE DRAWINGS AS WELDED CONNECTIONS, ARE TO BE MADE USING ~" DIAMETER ASTM A-325 BOLTS.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-992 GRADE 50 STEEL, U.N.O. CHANNELS, ANGLES, AND PLATES SHALL CONFORM TO ASTM A-36, U.N.O. TUBES TO BE ASTM A-500 GRADE B, PIPES TO BE ASTM A-53.
- GROUT BELOW BASE PLATES SHALL BE NONSHRINK, HIGH STRENGTH, NONMETALLIC GROUT, WITH A MINIMUM (28) DAY COMPRESSIVE STRENGTH OF 6000 PSI.
- H. SUBMIT SHOP DRAWINGS FOR FABRICATION AND ERECTION OF ALL STEEL MEMBERS IN ACCORDANCE WITH AISC STANDARDS NOTED ABOVE.
- J. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR FIREPROOFING REQUIREMENTS. DO NOT PAINT STRUCTURAL STEEL IF ENCASED IN CONCRETE OR IF SPRAY APPLIED FIRE PROOFING WILL BE APPLIED. COORDINATE STEEL PRIMER/PAINT COLORS WITH ARCHITECT.
- K. FABRICATOR SHALL DESIGN ALL CONNECTIONS NOT SPECIFICALLY DETAILED ON DRAWINGS. REGARDLESS OF PROVISION TO THE CONTRARY IN AISC CODE OF STANDARD PRACTICE FOR BUILDINGS AND BRIDGES, ALL CONNECTIONS DESIGNED BY FABRICATOR SHALL BE HIS RESPONSIBILITY AND REVIEW OF SHOP DRAWINGS BY THE ENGINEER SHALL NOT RELIEVE FABRICATOR OF THIS RESPONSIBILITY.
- L. CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:  
 1. UNLESS OTHERWISE NOTED, ALL BEAM CONNECTIONS SHALL BE STANDARD FRAMED OR SEATED CONNECTIONS AS SHOWN IN PART 4 OF THE AISC MANUAL OF STEEL CONSTRUCTION (NINTH EDITION)  
 2. WHERE BEAM REACTIONS ARE NOT SHOWN ON THE DRAWINGS, CONNECTIONS SHALL BE DETAILED FOR THE MAXIMUM UNIFORM LOAD WHICH THE BEAM WILL SUPPORT (AS SIMPLE BEAM) FOR THE SPAN SHOWN ON DRAWING. MINIMUM COMPOSITE BEAM DESIGN REACTIONS TO BE 1.9 TIMES THIS VALUE. IN NO CASE SHALL A CONNECTION BE DESIGNED FOR A LOAD CAPACITY LESS THAN 6 KIPS  
 3. WHERE BEAM REACTIONS ARE SHOWN ON THE DRAWINGS, THE CONNECTIONS SHALL DEVELOP THE REACTIONS SHOWN.  
 4. WHERE CONNECTIONS ARE SUBJECT TO ECCENTRICITY, SUCH ECCENTRICITY SHALL BE TAKEN INTO ACCOUNT WHEN DETAILING THE CONNECTION. WELDED CONNECTIONS SHALL BE DETAILED TO TAKE INTO CONSIDERATION THE ECCENTRICITIES OF INDIVIDUAL MEMBERS.  
 5. MINIMUM NUMBER OF BOLTS PER CONNECTION SHALL BE AS FOLLOWS:  

BEAM SIZE	MINIMUM NUMBER OF ASTM A325 BOLTS LOADED IN SINGLE SHEAR
W8, W10, W12	4
W14, W16, W18	6
W21, W24, W27	8

 NON-LABELLED CONNECTIONS SHOWN IN DETAILS FOR GENERAL ARRANGEMENT ONLY.  
 6. CONNECTIONS SHALL BE DESIGNED AS BEARING-TYPE CONNECTIONS WITH THREADS IN THE SHEAR PLANE U.N.O. IN NO CASE SHALL THE LENGTH OF FRAMED CONNECTIONS BE LESS THAN ONE-HALF THE "T" DISTANCE OF THE BEAM WEB.  
 7. MINIMUM WELD SIZE SHALL BE 3/16", U.N.O.  
 8. MINIMUM GUSSET PLATE THICKNESS SHALL BE 3/8", U.N.O.

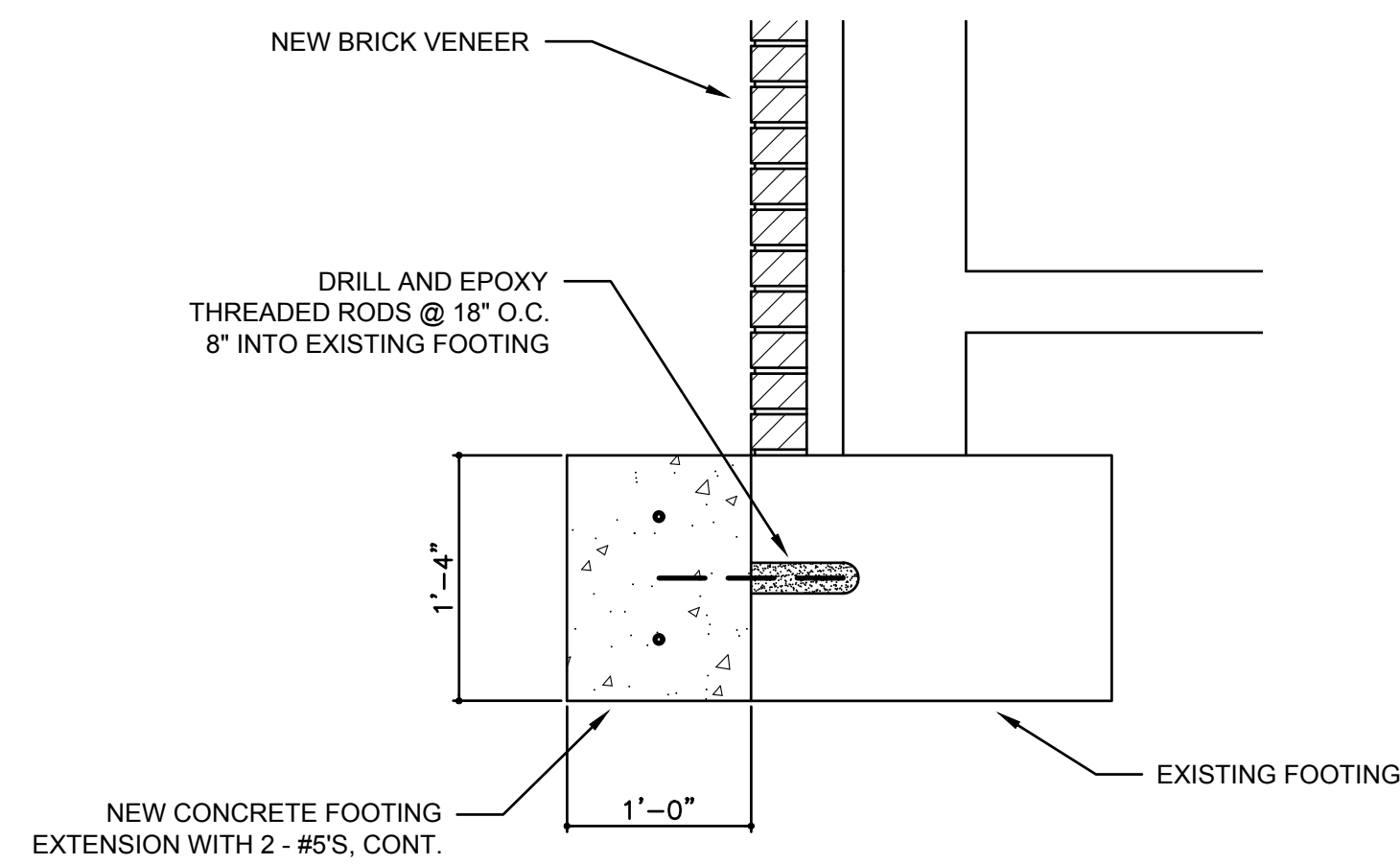
- M. SPLICING OF STRUCTURAL STEEL MEMBERS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER AS TO LOCATION AND TYPE OF SPLICE TO BE MADE. ANY MEMBER HAVING A SPLICE NOT SHOWN AND DETAILED ON SHOP DRAWINGS WILL BE REJECTED.
- N. STRUCTURAL STEEL SHALL BE PUNCHED FOR WOOD BLOCKING AND NAILERS IN ACCORDANCE WITH ARCHITECTURAL DETAILS.
- P. THIS STRUCTURE IS NOT DESIGNED FOR EACH COLUMN LINE BENT TO RESIST LATERAL FORCES FROM WIND OR SEISMIC LOADS. THIS STRUCTURE DEPENDS ON THE DIAPHRAGM AND BRACING MEMBERS SHOWN. THE CONTRACTOR IS TO PROVIDE LATERAL BRACING IN EACH DIRECTION DURING THE ERECTION PHASE. SUCH BRACING SHALL REMAIN IN PLACE UNTIL ALL DIAPHRAGM AND WIND BRACING ELEMENTS ARE IN PLACE IN THEIR ENTIRETY AND HAVE BEEN APPROVED BY THE STRUCTURAL ENGINEER.



TURNDOWN WITH BRICK LEDGE

SCALE: 1" = 1'-0"

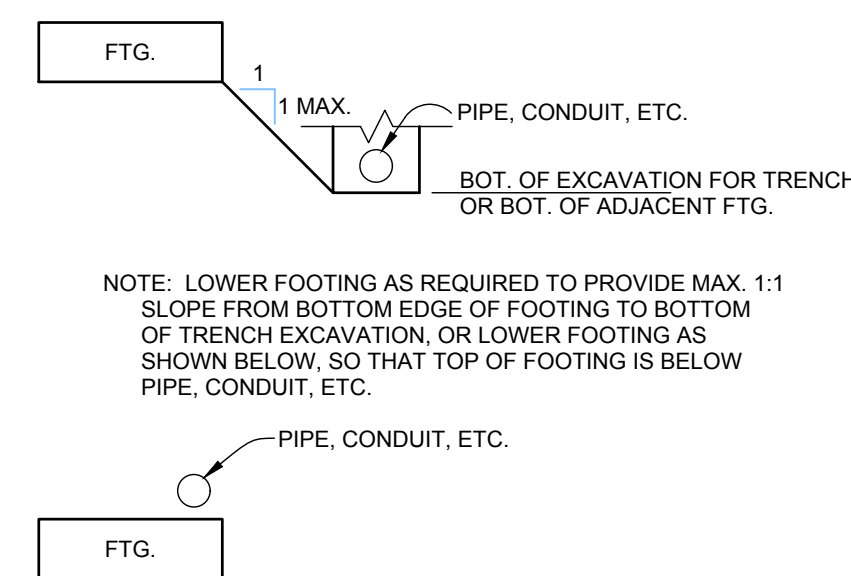
5  
S4



VENEER FOOTING EXTENSION

SCALE: 1" = 1'-0"

6  
S4



TYPICAL FOUNDATION INFLUENCE DETAIL

NOT TO SCALE

3  
S4

LINTEL SCHEDULE							
OPENING WIDTH		FOR EACH 4" WALL THICKNESS	WALL DIMENSION AND REINFORCING				
MIN.	MAX.	STEEL	LIGHTWEIGHT CONCRETE BLOCK				
			DEPTH	4" WALL	6" WALL	8" WALL	
---	2'-0"	~<-3-8x3x-4SLV	7'-0"	1#4	1#4BOT.		
2'-1"	3'-6"	~<-3-8x3x-4SLV	7'-0"	1#4	1#4BOT.	1#4BOT.	
3'-7"	5'-0"	~<-3-8x3x-4SLV	7'-0"	1#4	1#4 T&B	1#5BOT.	
5'-1"	6'-6"	~<-4x3-8x-4LLV	7'-0"	---	1#6 T&B	1#7BOT.	
6'-7"	8'-0"	~<-5x3-8x-4LLV	7'-0"	---	1#8BOT.	2#7BOT.	
8'-1"	10'-0"	~<-6x3-8x-5LLV	15'-0"	---	1#8BOT.	---	
10'-1"	14'-0"	~<-8x4x1/2LLV	---	---	---	---	

- NOTES:  
 1. DO NOT USE THIS SCHEDULE IF CONCENTRATED LOAD IS APPLIED TO LINTEL.  
 2. PROVIDE 1'-4"(MIN.) BEARING AT EACH END FOR MASONRY.  
 3. PROVIDE 8"(MIN.) BEARING AT EACH END FOR STEEL.  
 4. DO NOT USE EXPOSED STEEL LINTELS WITHOUT APPROVAL OF ARCHITECT.
- SEE MECH'L DWGS. & ARCH'L DWGS. FOR QUANTITY & LOCATION OF OPENING AT DOORS, WINDOWS, LOUVERS, VENTS AND RECESSED OPENINGS.

LINTEL SCHEDULE

NOT TO SCALE

1  
S4

TENSION DEVELOPMENT LENGTH *		
CONCRETE STRENGTH (psi)	TOP BARS	OTHER BARS
3000	44 BAR DIA.	34 BAR DIA.
4000	38 BAR DIA.	30 BAR DIA.

TENSION LAP SPLICE *		
CONCRETE STRENGTH (psi)	TOP BARS	OTHER BARS
3000	56 BAR DIA.	44 BAR DIA.
4000	48 BAR DIA.	38 BAR DIA.

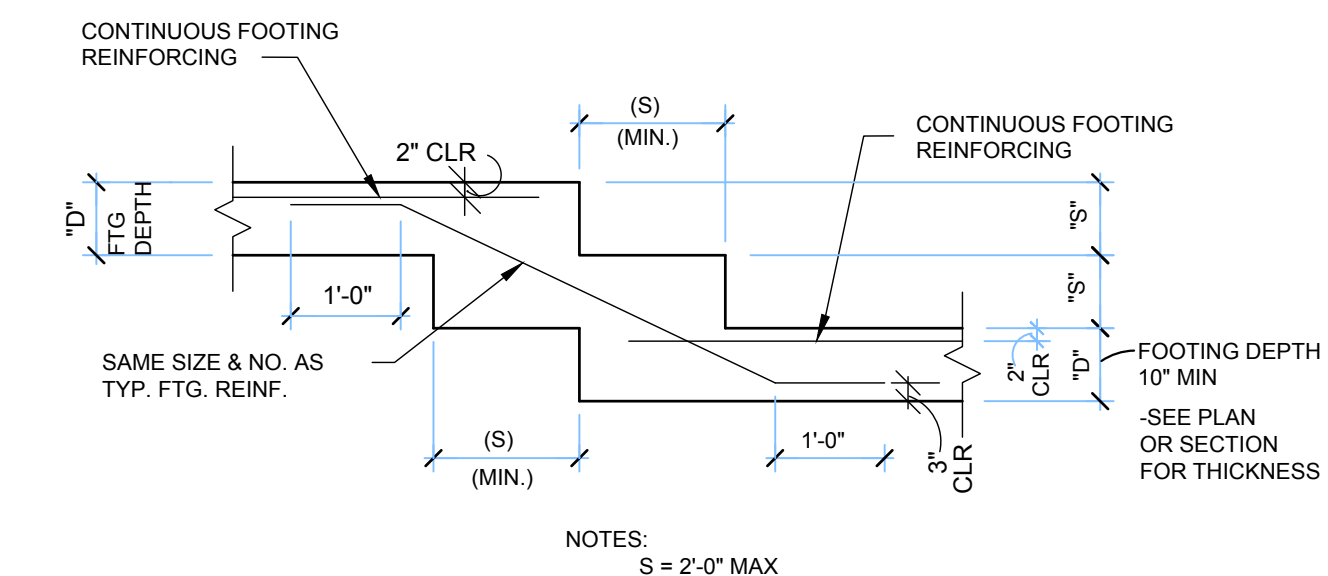
COMPRESSION LAP SPLICES *	
CONCRETE STRENGTH (psi)	TOP BARS
fc > 3,000	30 BAR DIA., 12" MIN.

\* LENGTHS SHOWN ARE MINIMUMS. U.N.O. PROVIDE GREATER LENGTHS WHERE SHOWN IN PLANS, DETAILS, SECTIONS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL LAP SPLICES ARE TO BE CONSIDERED TENSION LAP SPLICES.

REINFORCING STEEL TABLE

NOT TO SCALE

2  
S4



TYPICAL STEPPED FOOTING DETAIL FOR CONCRETE WALLS

NOT TO SCALE

4  
S4



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REVISIONS

DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**STRUCTURAL NOTES AND DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>S-4</b>

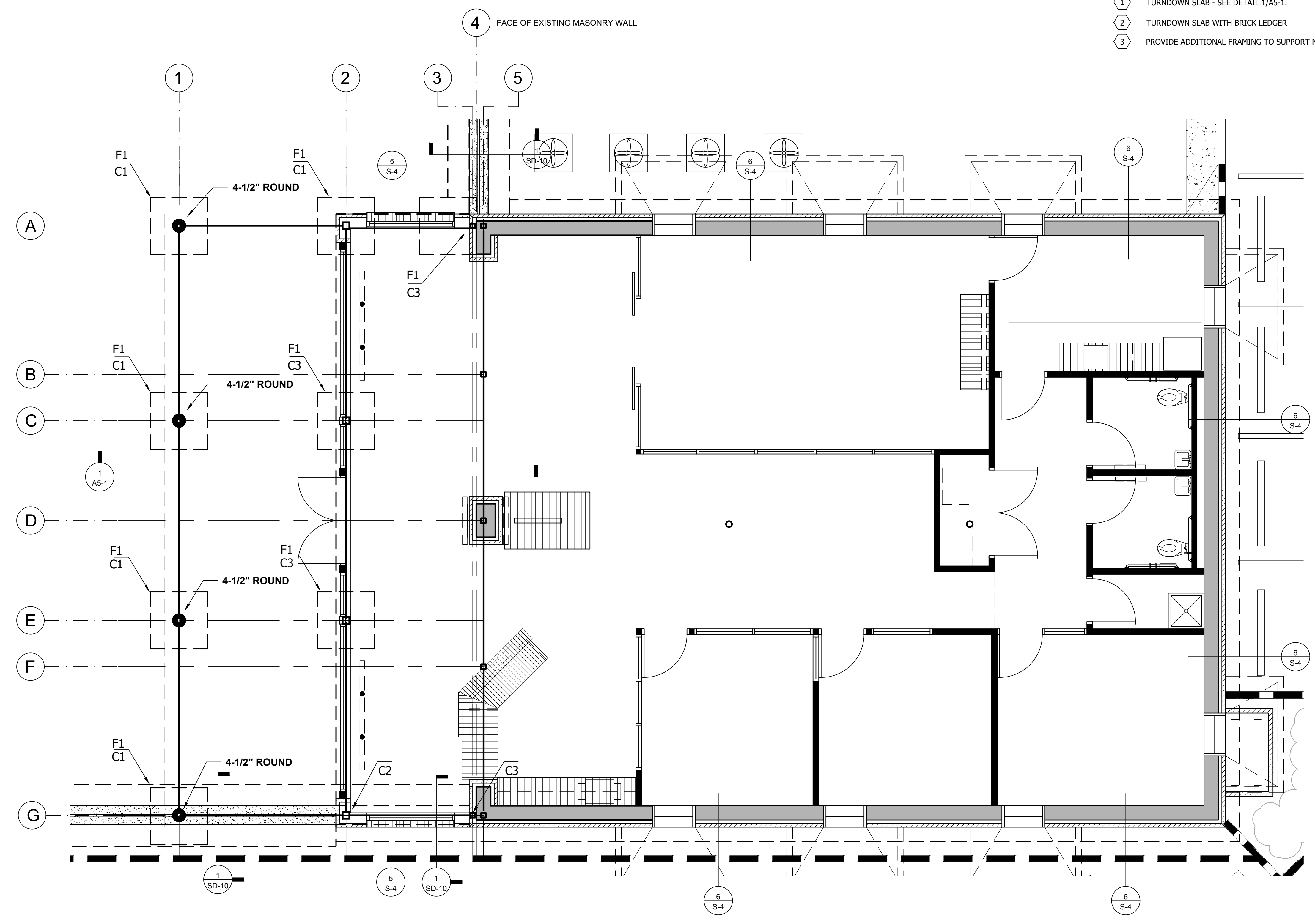
**NOTE:**  
ALL WELDS TO BE  
MOMENT WELDS ALL AROUND

**SCHEDULE**

- F1 3'-6" X 3'-6" X 1'-8" WITH (5) #5 X 3'-6" EACH WAY TOP & BOTTOM
- C1 4-1/2" ROUND (OUTSIDE DIAMETER) WITH BASE PLATE 3/4" X 11" X 11" WITH (4) 3/4"Ø X 1'-0" EMB. HEADED ANCHOR BOLTS
- C2 HSS 6 X 6 X 5/16" WITH BASE PLATE 1-1/4" X 12" X 12" WITH (4) 1-1/4"Ø X 1'-4" EMB. HEADED ANCHOR BOLTS
- C3 TS 4 X 4 X 1/4" WITH BASE PLATE 3/4" X 11" X 11" WITH (4) 3/4"Ø X 1'-0" EMB

**KEYNOTES**

- ① TURNDOWN SLAB - SEE DETAIL 1/A5-1.
- ② TURNDOWN SLAB WITH BRICK LEDGER
- ③ PROVIDE ADDITIONAL FRAMING TO SUPPORT NEW CEILING FANS



① FOUNDATION PLAN  
Scale: 1/4" = 1'-0"



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Δ	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**FOUNDATION PLAN**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>S-5</b>

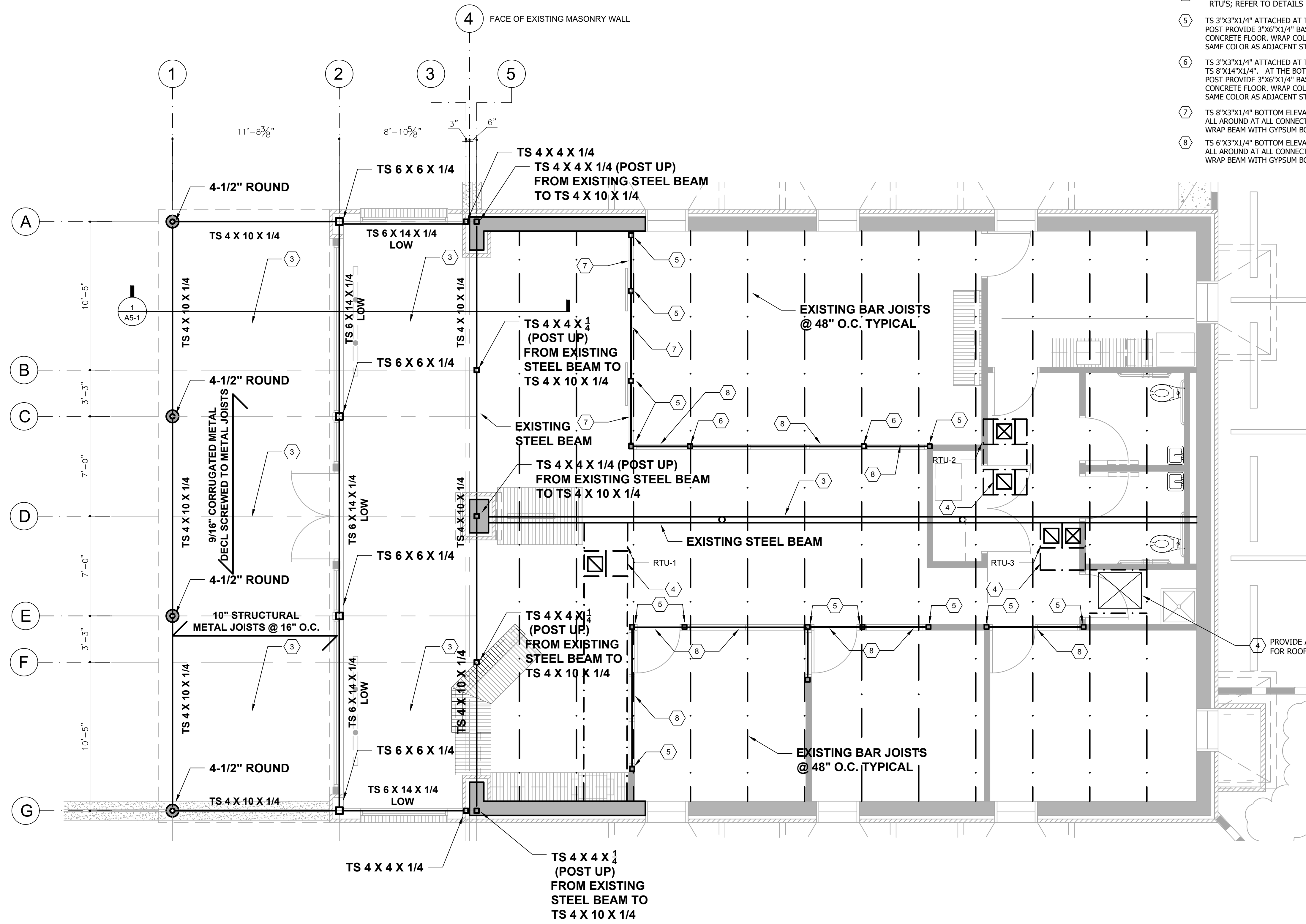
NOTE:  
ALL WELDS TO BE  
MOMENT WELDS ALL AROUND

**SCHEDULE**

- F1 4'-0" X 4'-0" X 1'-8" WITH (5) #5 X 3'-6" EACH WAY TOP & BOTTOM
- C1 4-1/2" ROUND (OUTSIDE DIAMETER) WITH BASE PLATE 3/4" X 11" X 11" WITH (4) 3/4" X 1'-0" EMB. HEADED ANCHOR BOLTS
- C2 HSS 6 X 6 X 5/16" WITH BASE PLATE 1-1/4" X 12" X 12" WITH (4) 1-1/4" X 1'-4" EMB. HEADED ANCHOR BOLTS
- C3 TS 4 X 4 X 1/4" WITH BASE PLATE 3/4" X 11" X 11" WITH (4) 3/4" X 1'-0" EMB

**KEYNOTES**

- 1 TURNDOWN SLAB - SEE DETAIL 1/A5-1.
- 2 TURNDOWN SLAB WITH BRICK LEDGER
- 3 PROVIDE ADDITIONAL FRAMING TO SUPPORT NEW CEILING FANS
- 4 PROVIDE ADDITIONAL STEEL FRAMING TO SUPPORT THREE NEW RTU'S; REFER TO DETAILS 1/S-9, 2/S-9, 3/S-9, AND 4/S-9
- 5 TS 3"x3"x1/4" ATTACHED AT TOP PER DETAIL SIMILAR TO D/A2-7. AT THE BOTTOM OF POST PROVIDE 3"x6"x1/4" BASE PLATE WITH CHEMICAL ANCHORS INTO EXISTING CONCRETE FLOOR. WRAP COLUMN WITH ALUMINUM CLOSURE PIECE ALL AROUND SAME COLOR AS ADJACENT STOREFRONT.
- 6 TS 3"x3"x1/4" ATTACHED AT TOP BY FULL MOMENT WELD TO BOTTOM OF TS 8"x14"x1/4". AT THE BOTTOM OF THE POST PROVIDE 3"x6"x1/4" BASE PLATE WITH CHEMICAL ANCHORS INTO EXISTING CONCRETE FLOOR. WRAP COLUMN WITH ALUMINUM CLOSURE PIECE ALL AROUND SAME COLOR AS ADJACENT STOREFRONT.
- 7 TS 8"x3"x1/4" BOTTOM ELEVATION OF 9'-6 1/8" A.F.F. - PROVIDE FULL MOMENT WELD ALL AROUND AT ALL CONNECTION POINTS TO TS 3"x3"x1/4" POST. WRAP BEAM WITH GYPSUM BOARD.
- 8 TS 6"x3"x1/4" BOTTOM ELEVATION OF 9'-6 1/8" A.F.F. - PROVIDE FULL MOMENT WELD ALL AROUND AT ALL CONNECTION POINTS TO TS 3"x3"x1/4" POST. WRAP BEAM WITH GYPSUM BOARD.



1 STEEL FRAMING PLAN - LOWER ELEVATION  
S-6 Scale: 1/4" = 1'-0"



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**REVISIONS**

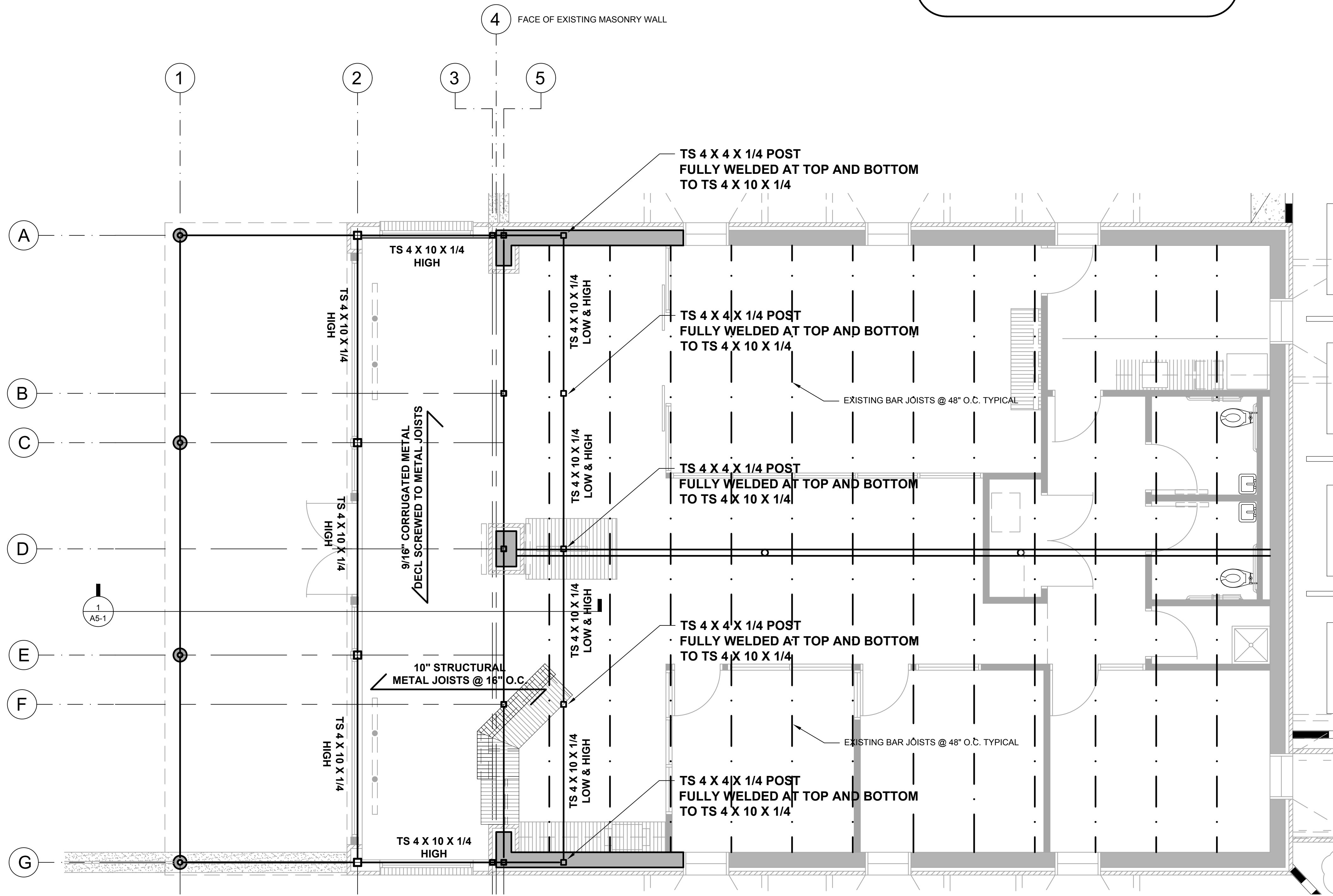
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**STEEL FRAMING PLAN**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>S-6</b>

NOTE:  
ALL WELDS TO BE  
MOMENT WELDS ALL AROUND



1 UPPER STEEL FRAMING PLAN  
S-7 Scale: 1/4" = 1'-0"



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DATE	DESCRIPTION

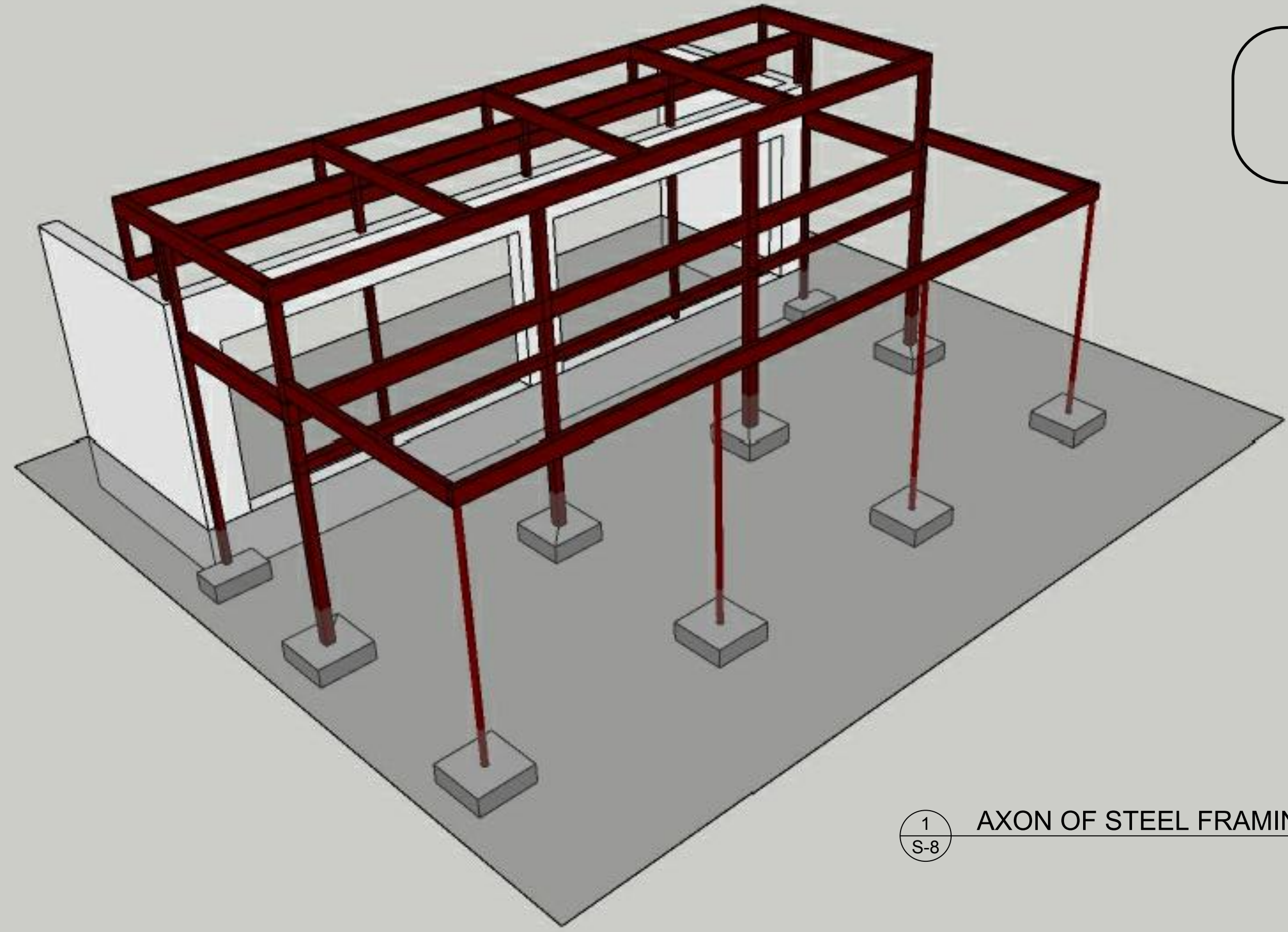
PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**UPPER STEEL FRAMING PLAN**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>S-7</b>

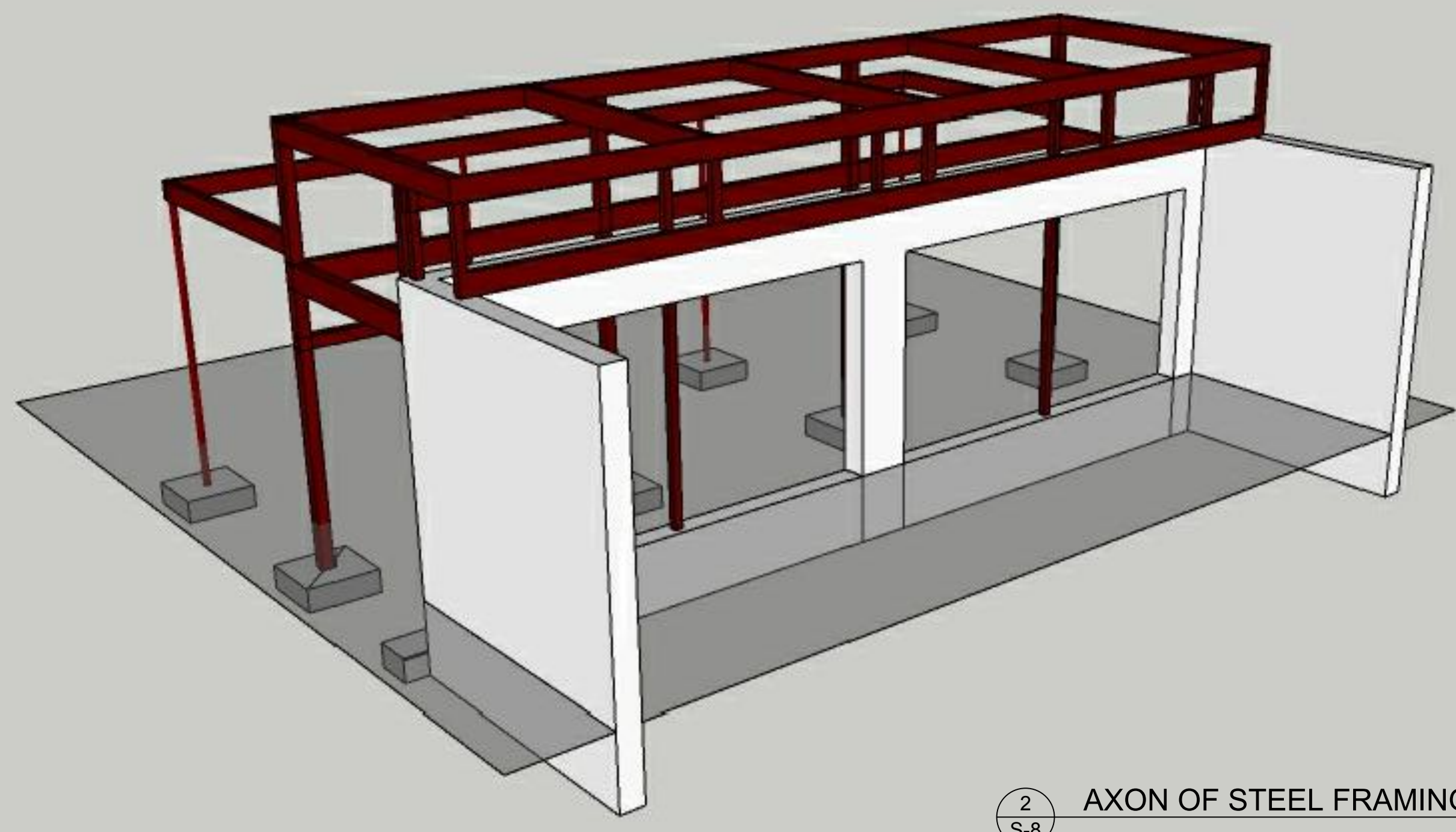


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NOTE:  
 ALL WELDS TO BE  
 MOMENT WELDS ALL AROUND

1 AXON OF STEEL FRAMING  
 S-8 Scale: NOT TO SCALE



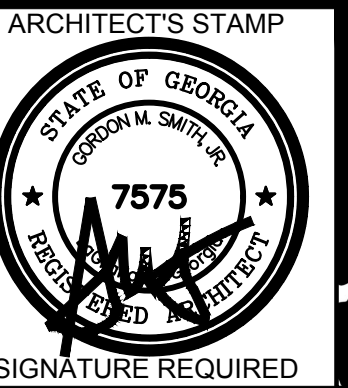
2 AXON OF STEEL FRAMING  
 S-8 Scale: NOT TO SCALE

REVISIONS	
Δ	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
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 LAGRANGE, GEORGIA

TITLE:  
**AXON OF STEEL FRAMING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>S-8</b>



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REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**STRUCTURAL DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 24 APR 2020	SHEET: <b>S-9</b>

**KEYNOTES**

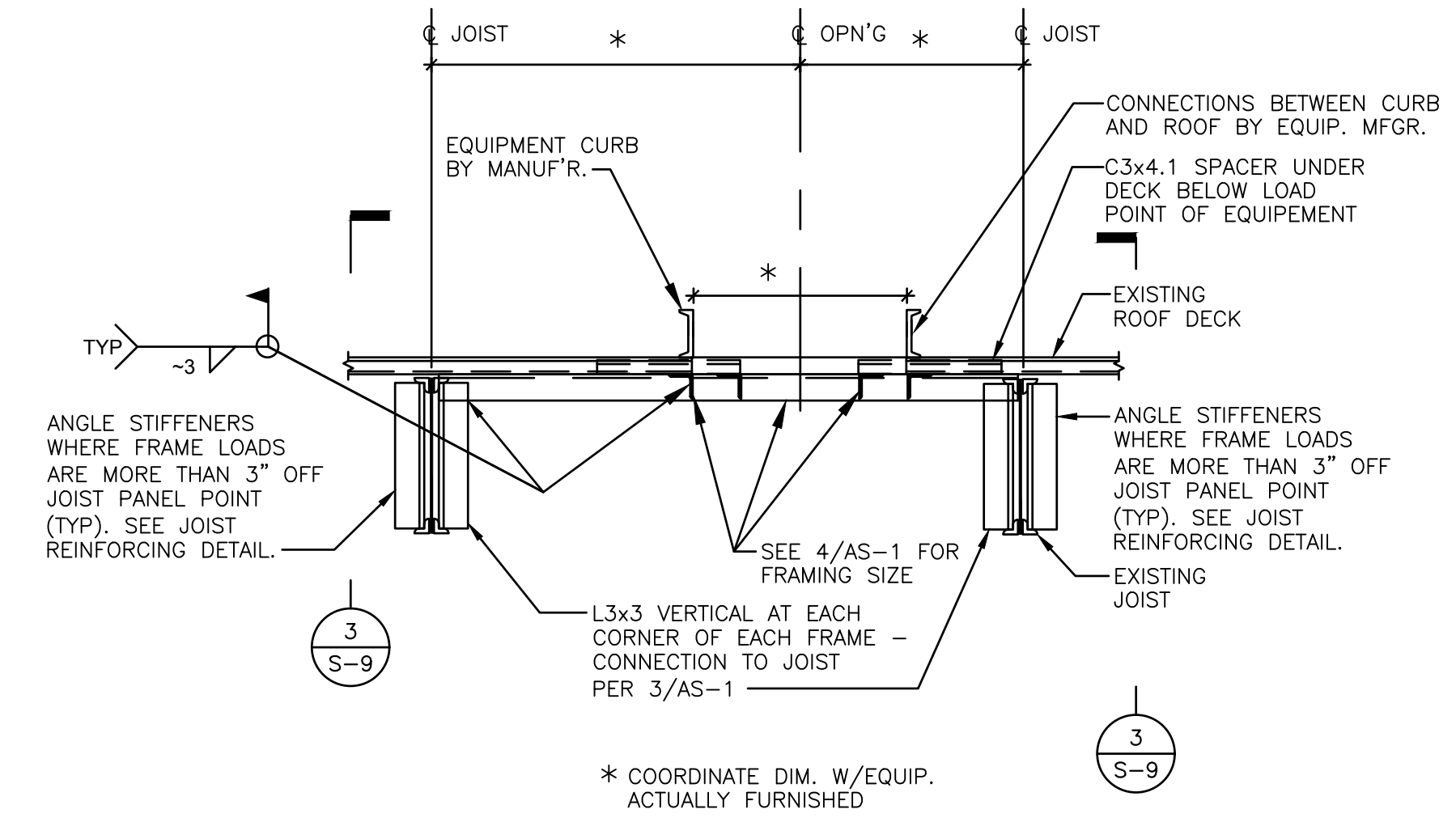
- ① NEW ROOF TOP EQUIPMENT. REMOVE EXISTING ROOF AS REQUIRED. PROVIDE ADDITIONAL STEEL FRAMING AS DETAILED ON 1/S-9, 2/S-9, 3/S-9, AND 4/S-9. PROVIDE NEW CURB. PROVIDE NEW ROOF FLASHING ALL AROUND NEW CURBS AND ALSO PROVIDE NEW PITCH POCKET FOR ELECTRICAL SERVICE TO UNIT. SEE DETAIL 5/A6-4 FOR PITCH POCKET DESIGN TO BE USED FOR ELECTRICAL.

**STRUCTURAL NOTES:**

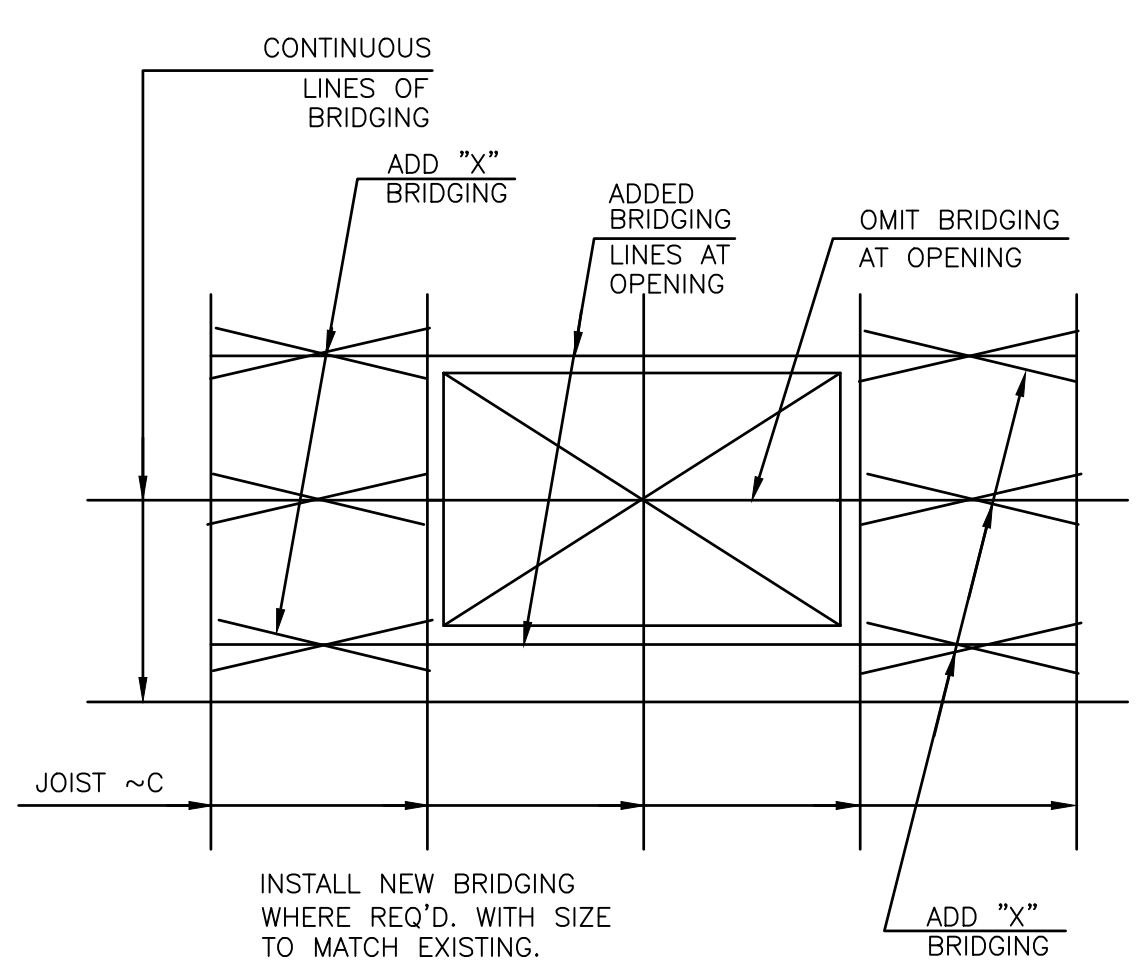
1. COORDINATE EXACT LOCATION AND DIMENSIONS OF SUPPORT FRAMING WITH MECHANICAL EQUIPMENT USED.
2. ALL NEW STEEL ANGLES TO BE A-36, PRIME PAINTED.
3. REMOVE PAINT ON AREAS TO BE WELDED (NEW AND EXISTING FRAMING). TOUCH UP PAINT AFTER INSPECTION.
4. WELDING TO BE PERFORMED PER AWS REQUIREMENTS BY CERTIFIED WELDERS. USE E70xx ELECTRODES. USE LOW HYDROGEN PROCESSES WITH ON SITE ELECTRODE STORAGE TO MAINTAIN HYDROGEN CONTENT.

**NOTE:**

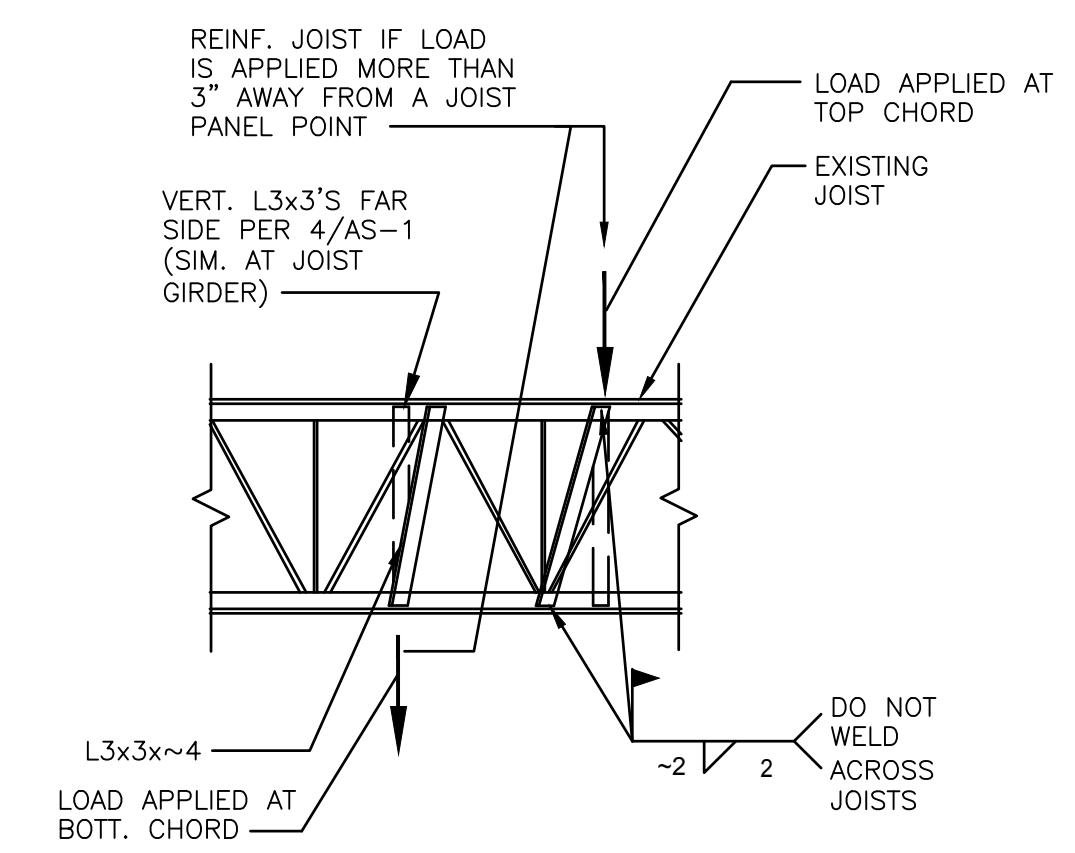
EXISTING JOISTS HAVE BEEN INVESTIGATED AND FOUND ADEQUATE TO SUPPORT MECHANICAL UNITS FOR WEIGHTS INDICATED, IN ADDITION TO UNIFORM ROOF DEAD AND LIVE LOADS, BASED ON SIZES SHOWN ON EXISTING DRAWINGS. OTHERWISE, EQUIPMENT ADDITION COMPLIES WITH STRUCTURAL REQUIREMENTS OF IBC SECTION 3403.



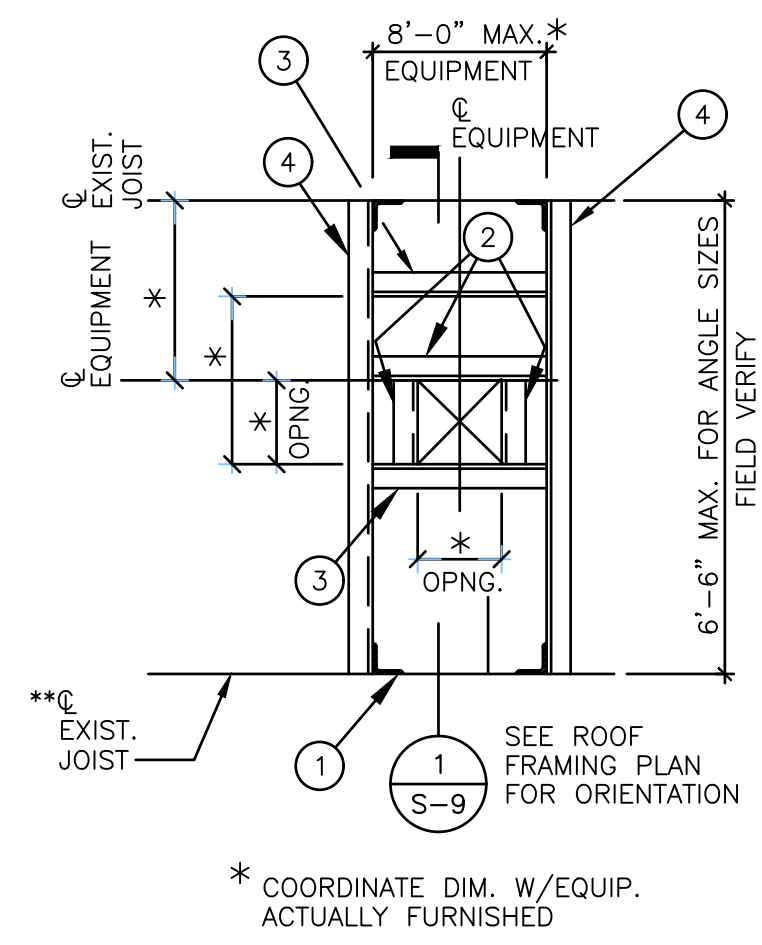
TYP. ROOF OPENING/HVAC SUPPORT FRAME DETAIL WITH ANGLES  
 NOT TO SCALE ① S-9



TYPICAL JOIST BRIDGING RELOCATION DETAIL  
 NOT TO SCALE ② S-9

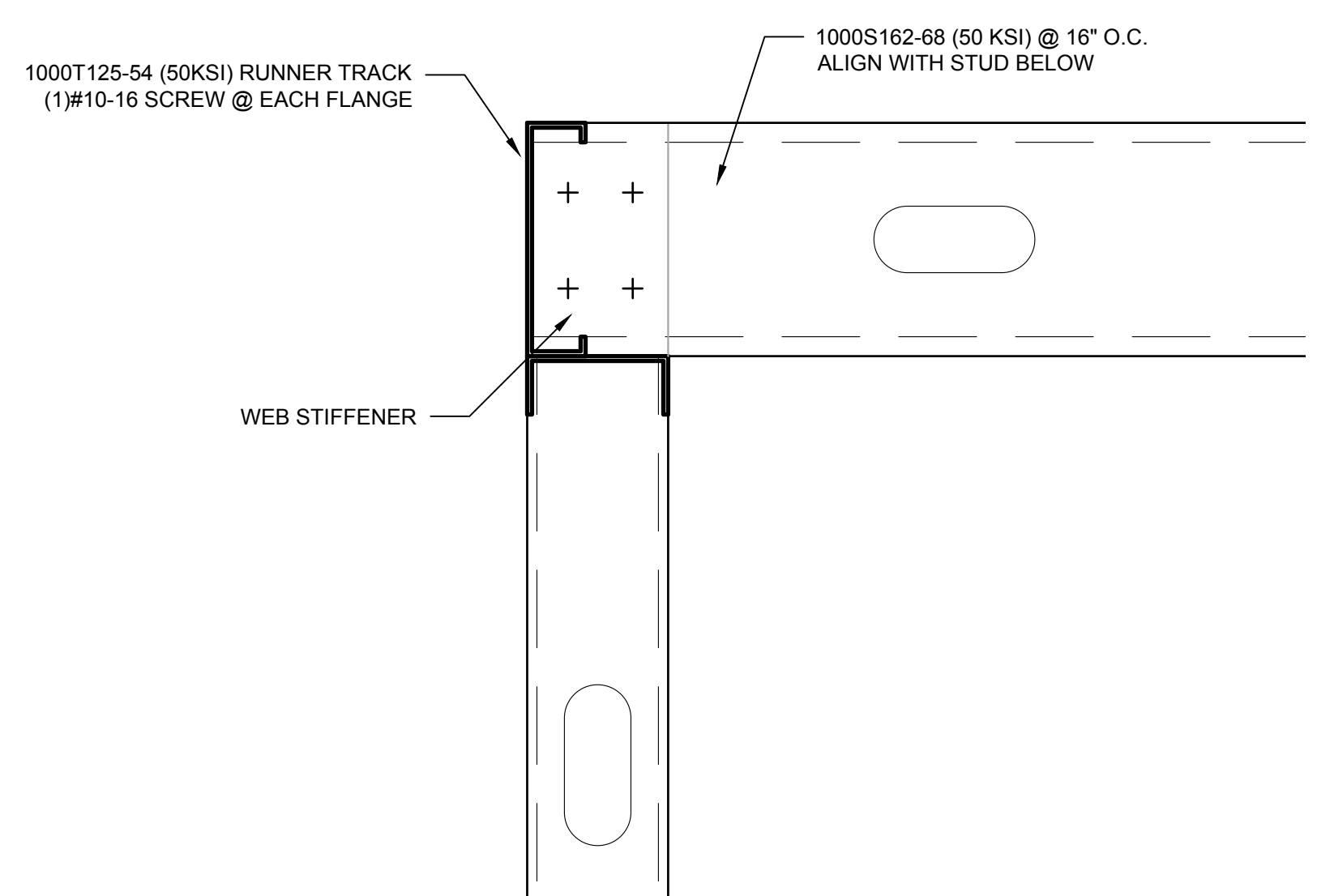


TYP. JOIST REINF. DETAIL AT CONCENTRATED LOADS  
 NOT TO SCALE ③ S-9



TYP. ROOF OPENING/HVAC SUPPORT FRAME DETAIL WITH ANGLES  
 NOT TO SCALE ④ S-9

- KEYNOTES:**
- ① L3x3x~4 VERTICAL AT EACH CORNER SUPPORT AT EXISTING JOIST AND JOIST GIRDER.
  - ② FRAME AROUND OPENING WITH L3x3x~3 FRAMING (ONLY SUPPORT EDGES OF OPENING AND NOT EQUIPMENT CURBS).
  - ③ SUPPORT EQUIPMENT CURBS WITH L3x3x~5
  - ④ FRAME BETWEEN JOISTS WITH L3x3x~3.
- NOTE:**  
 WHEN JOIST BRIDGING INTERFERES WITH ROOF OPENING FRAMES, STOP BRIDGING AT EACH SIDE OF OPENING AND "X" BRIDGE LAST BRIDGING SPACE EACH SIDE OF OPENING. ADD ADDITIONAL BRIDGING WITH "X" BRIDGING AND HORIZONTAL BRIDGING ON EACH SIDE OF CUT BRIDGING AREA. EXTEND ADDED BRIDGING PAST CUT BRIDGING. MATCH EXISTING BRIDGING ANGLE SIZES.



⑤ S-9 **DETAIL OF 10" STRUCTURAL METAL JOIST**  
 Scale: 3" = 1'-0"



**GENERAL NOTE:**  
 ALL EXISTING WIRING, CONDUITS, LIGHT FIXTURES, SWITCHES, ELECTRICAL DEVICES, OUTLETS, DISCONNECTS, PANELS ARE TO BE COMPLETELY REMOVED FROM THE ENTIRE BUILDING AND ATTIC SPACES.  
 ALL EXISTING HVAC UNITS, DISCONNECTS, DUCTWORK, FANS, HEATERS, T-STATS, CONDENSATE LINES AND ASSOCIATED WIRING AND GAS PIPING ARE TO BE REMOVED FROM THE ENTIRE BUILDING AND ATTIC SPACES.

**SLAB AND EXTERIOR WALL DEMOLITION**  
 ALL SLAB SAW CUTTING AND SLAB REMOVAL TO BE COMPLETED AFTER 10:00 P.M. AND BEFORE 6:00 A.M.  
 NEW STRUCTURE IS IN PLACE.

- DEMOLITION NOTES**
- Remove existing wall construction shown dashed in its entirety (unless otherwise noted). Leave no unsupported portion of wall remaining above ceiling. Restore the floor slab flush with adjacent slab by using non-shrink epoxy grout where voids exist and by grinding slab down where high places exist. Any electrical conduit & wiring encountered is to be removed. Leave existing columns. Remove all surface applied electrical devices and conduit. **DO NOT REMOVE LOAD BEARING WALLS UNTIL NEW STRUCTURE IS IN PLACE.**
  - Remove portion of existing wall as necessary to install new door and/or window and frame. Restore floor as described in Note 1. Provide new lintel above new window as required. See detail B/D-1.
  - Remove existing door, frame and hardware as scheduled.
  - Remove existing floor covering (including hard tile and grout) in this area. Prepare floor to receive new floor covering. Provide floor leveling compound as required to prepare floor to receive new floor covering. Grind down high places in slab prior to installation of floor covering.
  - Existing column to remain.
  - Remove existing window/storefront
  - Remove existing roof in its entirety in this area salvage tectum deck for patch work
  - Remove existing plumbing vent and sanitary sewer piping above floor; see plumbing drawing for additional information
  - Remove existing overhead power/data/cable t.v. in their entirety

**CALL BEFORE YOU DIG - 811 AND G.C. TO CONFIRM WITH OWNER ANY UNDERGROUND UTILITIES IN AREA OF NEW WORK PRIOR TO DIGGING.**

**NOTE:**  
 ALL EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR IS TO VERIFY CORRECTNESS OF ALL EXISTING CONSTRUCTION.

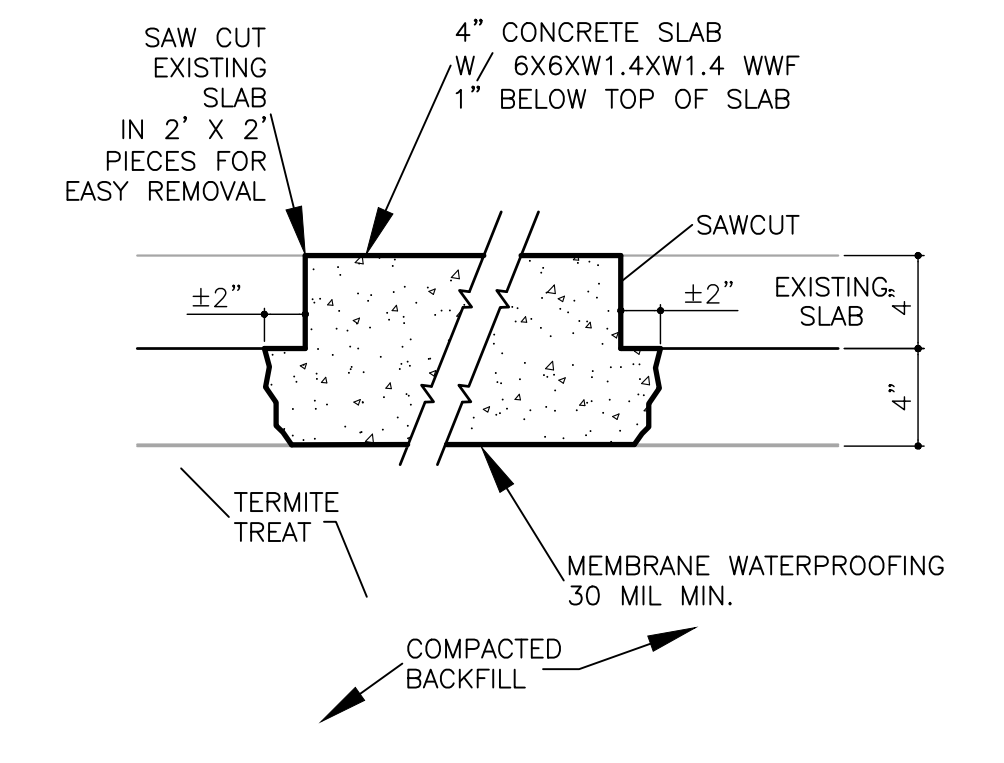
- LEGEND**
- EXISTING WALLS (TO REMAIN)
  - WALLS OR SOFFIT TO BE REMOVED SEE DEMOLITION NOTE 1.
  - EXISTING SPOT ELEVATION
  - REMOVE EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO LEVEL FLOOR AND TO INSTALL NEW PLUMBING OR ELECTRICAL; FILL WITH COMPACTED FILL AND POUR NEW 8" CONCRETE SLAB FLUSH WITH EXISTING FLOOR SURFACE. COORDINATE EXACT LOCATIONS WITH PLUMBING AND ELECTRICAL DRAWINGS.
  - SEE (A D-1) FOR REPLACEMENT DETAIL
  - ESS - APPROXIMATE LOCATION OF EXISTING 4" CAST IRON SANITARY SEWER BELOW THE FLOOR SLAB.
  - TEMPORARY WALL AND DOORS OF 2 X 4's @24" O.C. WITH 1/2" PLYWOOD ONE SIDE (PAINTED) 8'-0" HIGH
  - EOD - EXISTING OVERHEAD DATA LINES TO REMAIN. PROTECT DURING CONSTRUCTION

**DISPOSAL OF DEMOLITION DEBRIS**  
 ALL DEMOLITION DEBRIS IS TO BE HAULED TO GEORGIA EPD CERTIFIED LANDFILL THAT ARE ALLOWED TO ACCEPT CONSTRUCTION DEBRIS. CONTRACTOR TO PAY ALL DUMP FEES AND SUBMIT DUMP TICKETS TO ARCHITECT AND OWNER. CONTRACTOR IS TO PROVIDE WRITTEN NOTIFICATION TO ARCHITECT AND OWNER OF WHICH LANDFILL WILL BE USED AND GEORGIA EPD CERTIFICATION NUMBER OF LANDFILL, 14 DAYS PRIOR TO HAULING TO LANDFILL.

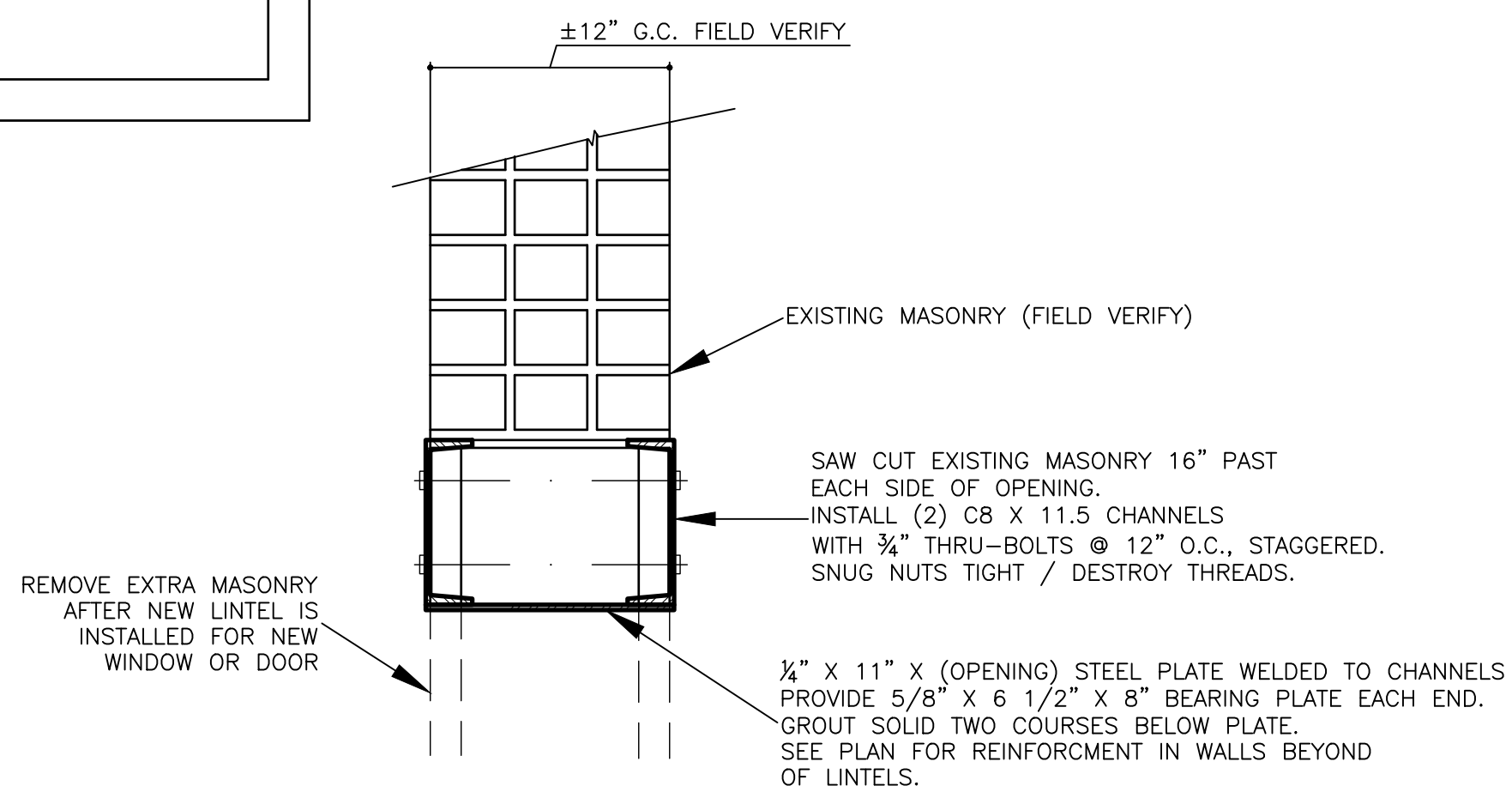
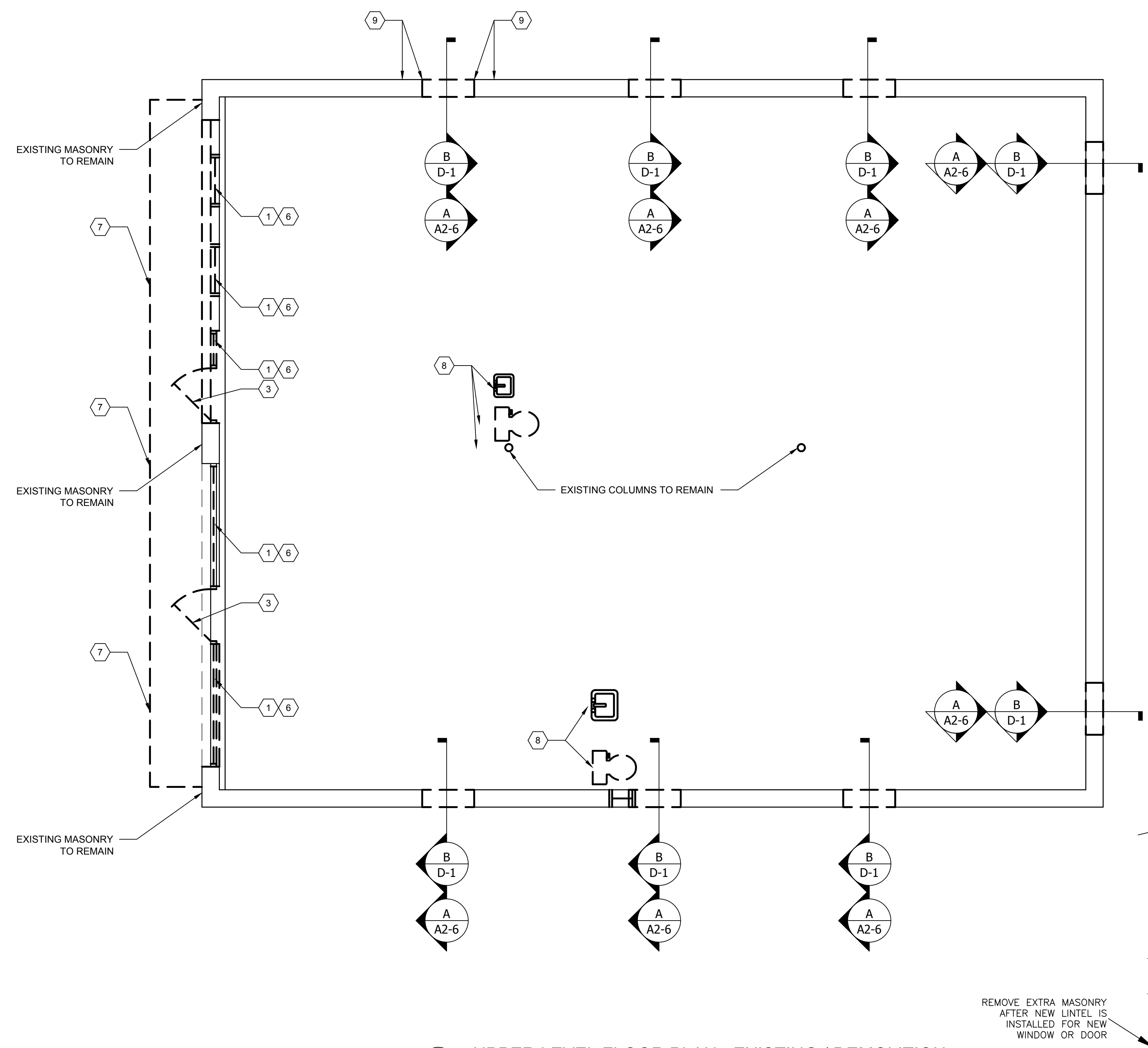
**NOTE:** EXISTING SLAB WILL REQUIRE A CONSIDERABLE AMOUNT OF GRINDING AND FLOOR PATCHING IN ORDER TO PREPARE THE SLAB FOR NEW FLOOR COVERING.

**CONTRACTOR IS TO FIELD VERIFY EXISTING FLOW DIRECTION AND CONDITION OF EXISTING SANITARY SEWER LINE BY USE OF A CAMERA. NOTIFY OWNER AND ARCHITECT OF CONDITION OF EXISTING LINE IN WRITING.**

**VERIFY EXACT LOCATION OF SLAB CUT OUT WITH NEW PLUMBING FIXTURES AND NEW ELECTRICAL DEVICES UNDER SLAB PRIOR TO ANY SLAB DEMOLITION**



**(A D-1) TYPICAL CONCRETE REPLACEMENT**  
 SCALE: 1 1/2" = 1'-0"



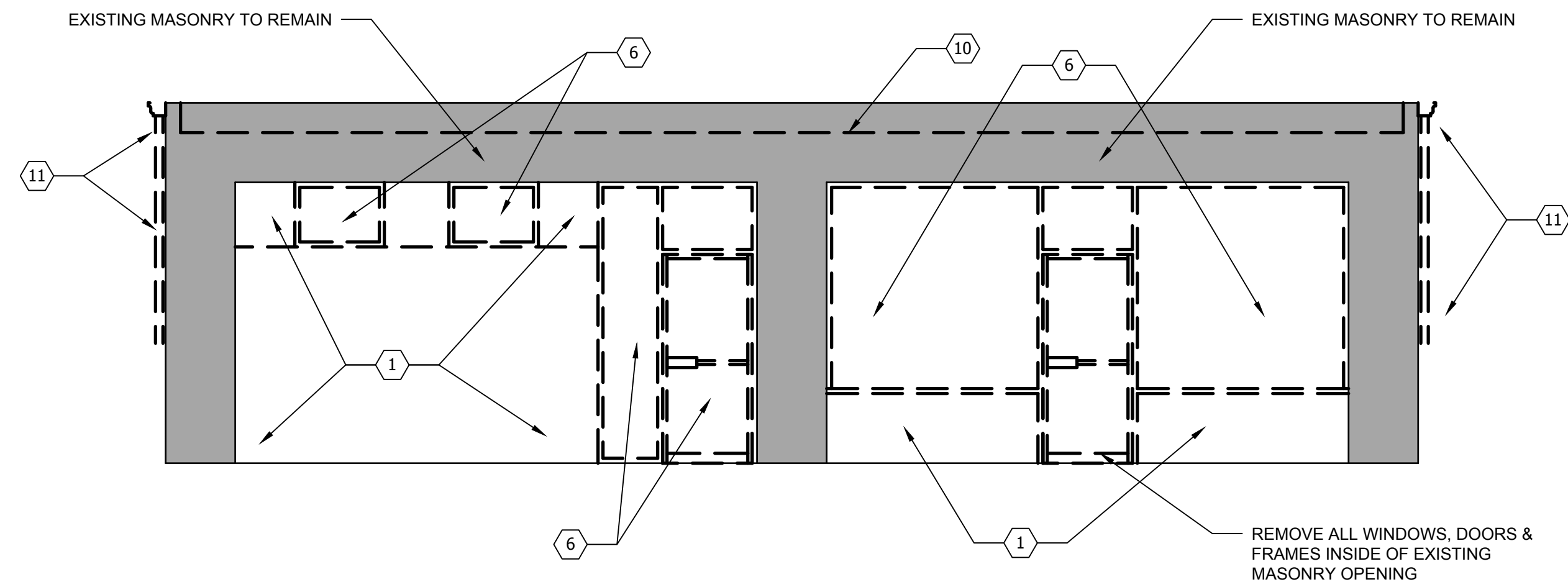
**(B D-1) LINTEL DETAIL**  
 SCALE: 1/4" = 1'-0"  
 (NOTE: SEE DETAIL A/A2-6 FOR ADDITIONAL INFORMATION)

REVISIONS	
DATE	DESCRIPTION

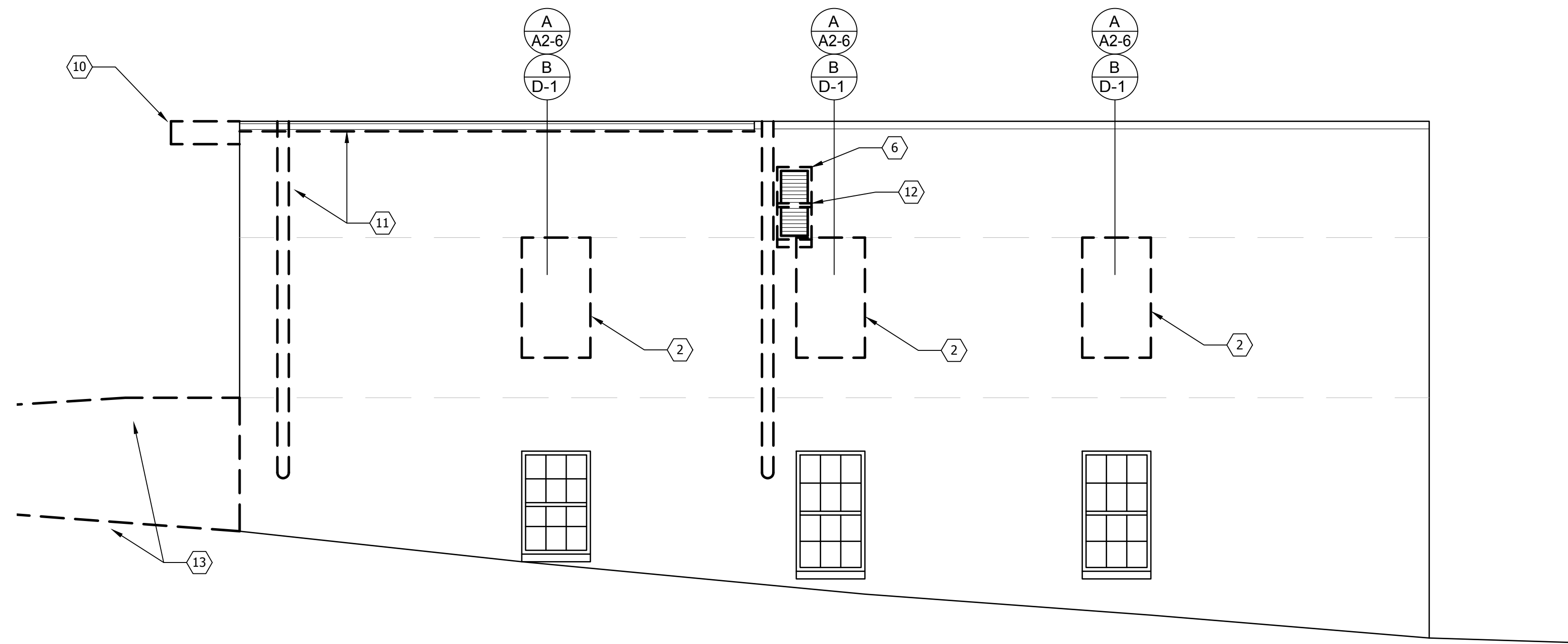
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER FLOOR PLAN EXISTING / DEMOLITION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: <b>24 APR 2020</b>	SHEET: <b>D-1</b>



1 ELEVATION - EXISTING / DEMOLITION  
Scale: 1/4" = 1'-0"



2 ELEVATION - EXISTING / DEMOLITION  
Scale: 1/4" = 1'-0"

DEMOLITION NOTES

- ① Remove existing wall construction shown dashed in its entirety (unless otherwise noted). Leave no unsupported portion of wall remaining above ceiling. Restore the floor slab flush with adjacent slab by using non-shrink epoxy grout where voids exist and by grinding slab down where high places exist. Any electrical conduit & wiring encountered is to be removed. Leave existing columns. Remove all surface applied electrical devices and conduit. **DO NOT REMOVE LOAD BEARING WALLS UNTIL NEW STRUCTURE IS IN PLACE.**
- ② Remove portion of existing wall as necessary to install new door and/or window and frame. Restore floor as described in Note 1. Provide new lintel above new window as required. See detail B/D-1.
- ③ Remove existing door, frame and hardware as scheduled.
- ④ Remove existing floor covering (including hard tile and grout) in this area. Prepare floor to receive new floor covering. Provide floor leveling compound as required to prepare floor to receive new floor covering. Grind down high places in slab prior to installation of floor covering.
- ⑤ Existing column to remain.
- ⑥ Remove existing window/storefront
- ⑦ Remove existing roof in its entirety in this area salvage tectum deck for patch work
- ⑧ Remove existing plumbing vent and sanitary sewer piping above floor; see plumbing drawing for additional information
- ⑨ Remove existing overhead power/data/cable t.v. in their entirety
- ⑩ Remove existing awning.
- ⑪ Remove existing downspout and gutter.
- ⑫ Infill existing opening left by window or louvre with 3 wythe of brick veneer.
- ⑬ Remove existing retaining wall.



*Signature*

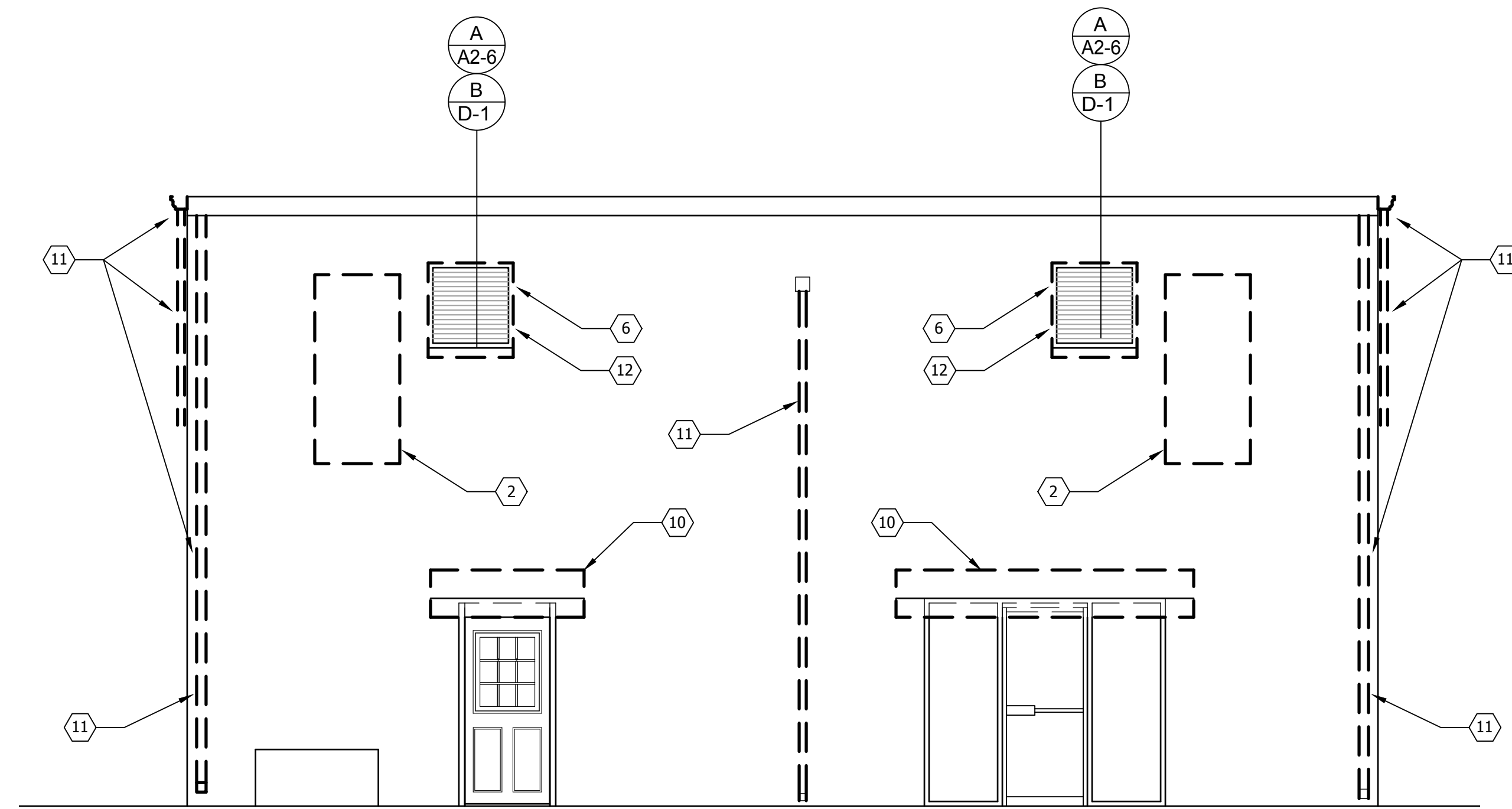
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REVISIONS		
Δ	DATE	DESCRIPTION

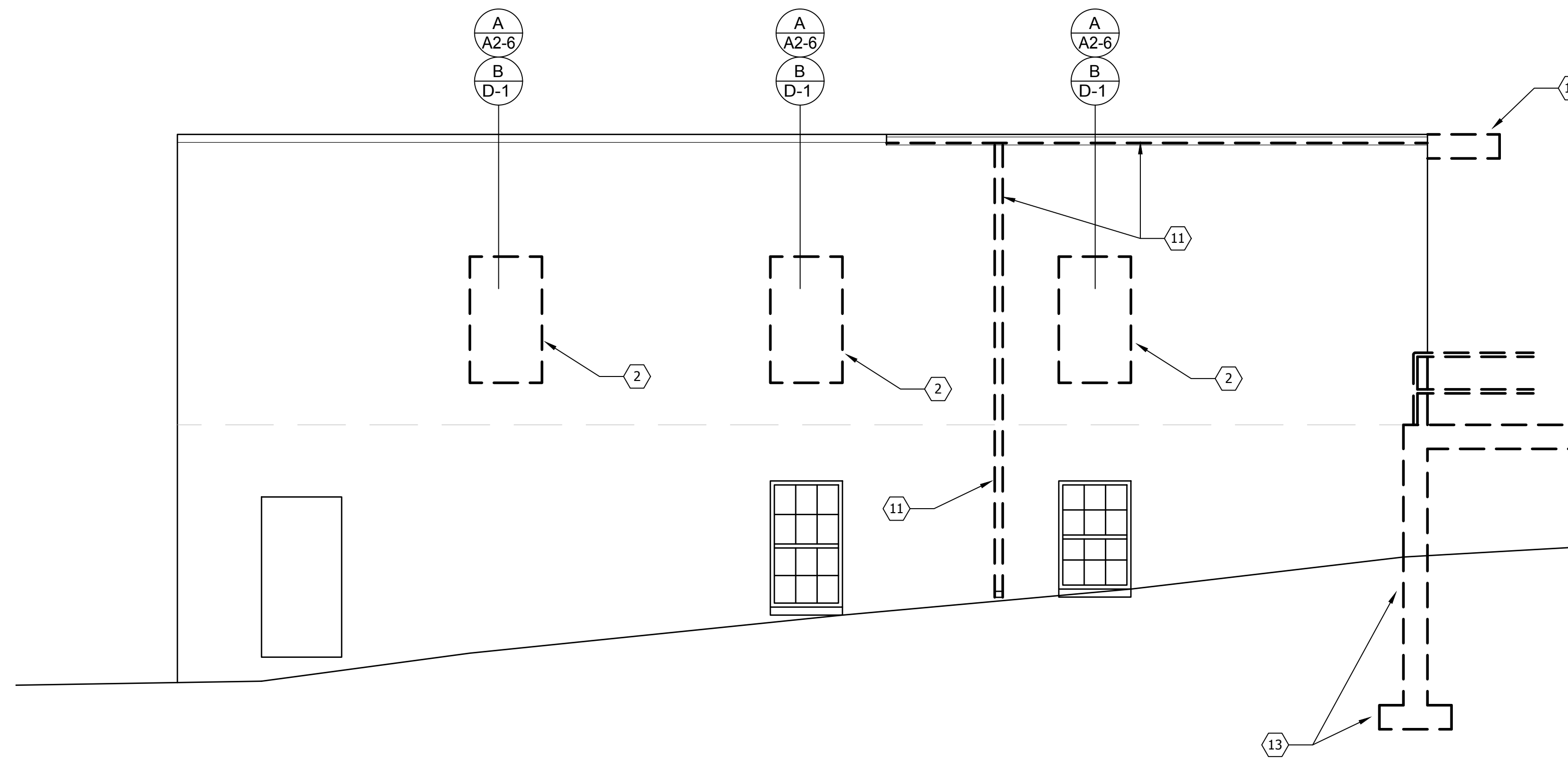
PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**EXTERIOR ELEVATIONS EXISTING / DEMOLITION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>D-2</b>



1 ELEVATION - EXISTING / DEMOLITION  
Scale: 1/4" = 1'-0"



2 ELEVATION - EXISTING / DEMOLITION  
Scale: 1/4" = 1'-0"

DEMOLITION NOTES

- ① Remove existing wall construction shown dashed in its entirety (unless otherwise noted). Leave no unsupported portion of wall remaining above ceiling. Restore the floor slab flush with adjacent slab by using non-shrink epoxy grout where voids exist and by grinding slab down where high places exist. Any electrical conduit & wiring encountered is to be removed. Leave existing columns. Remove all surface applied electrical devices and conduit. **DO NOT REMOVE LOAD BEARING WALLS UNTIL NEW STRUCTURE IS IN PLACE.**
- ② Remove portion of existing wall as necessary to install new door and/or window and frame. Restore floor as described in Note 1. Provide new lintel above new window as required. See detail B/D-1.
- ③ Remove existing door, frame and hardware as scheduled.
- ④ Remove existing floor covering (including hard tile and grout) in this area. Prepare floor to receive new floor covering. Provide floor leveling compound as required to prepare floor to receive new floor covering. Grind down high places in slab prior to installation of floor covering.
- ⑤ Existing column to remain.
- ⑥ Remove existing window/storefront
- ⑦ Remove existing roof in its entirety in this area salvage tectum deck for patch work
- ⑧ Remove existing plumbing vent and sanitary sewer piping above floor; see plumbing drawing for additional information
- ⑨ Remove existing overhead power/data/cable t.v. in their entirety
- ⑩ Remove existing awning.
- ⑪ Remove existing downspout and gutter.
- ⑫ Infill existing opening left by window or louvre with 3 wythe of brick veneer.
- ⑬ Remove existing retaining wall.

ARCHITECT'S STAMP



*Gregory M. Smith*

SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET  
LAGRANGE, GEORGIA 30240

706-882-5511  
www.SDGarch.net

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:	
TOURISM OFFICE RENOVATION	
206 RIDLEY AVENUE LAGRANGE, GEORGIA	
TITLE:	
EXTERIOR ELEVATIONS EXISTING / DEMOLITION	



MODIFIED DATE:	JOB NO:
ISSUED DATE:	1918
FOR PRICING	SHEET:
24 APR 2020	D-3

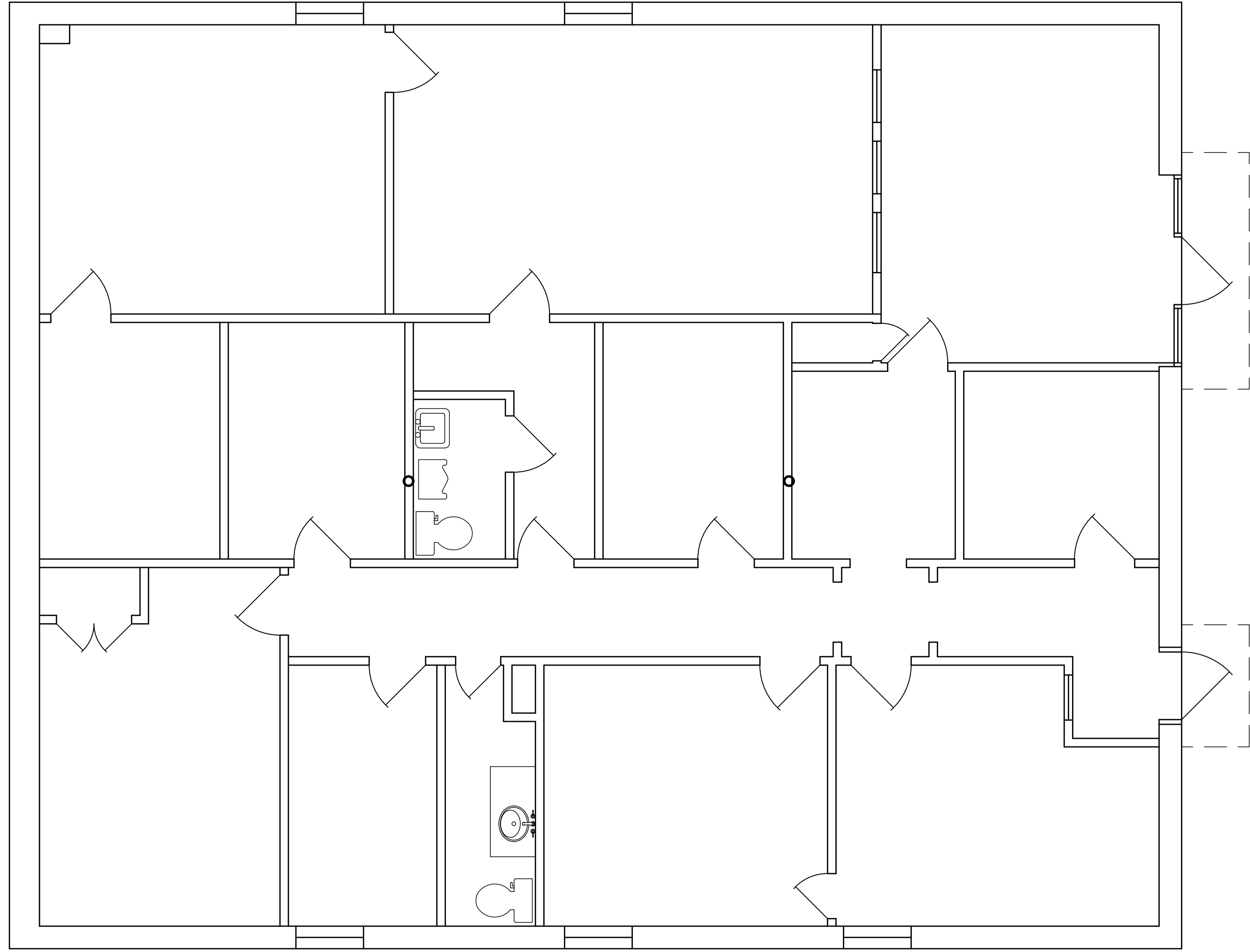


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**KEYNOTES**  
 KEYNOTES KEYNOTES KEYNOTES

**LEGEND**

-  REMOVE EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO LEVEL FLOOR AND TO INSTALL NEW PLUMBING OR ELECTRICAL; FILL WITH COMPACTED FILL AND POUR NEW 4" CONCRETE SLAB FLUSH WITH EXISTING FLOOR SURFACE. COORDINATE EXACT LOCATIONS WITH PLUMBING DRAWINGS. (SEE A/D-1)
- ESS— EXISTING SANITARY LINE. CLEAN LINE TO CONFIRM IT IS ACTIVE. CAP FLOOR DRAINS AS INDICATED ON DRAWINGS.
- ==== EXISTING WALLS (TO REMAIN)
- --- WALLS OR SOFFIT TO BE REMOVED
- E  EXISTING SPOT ELEVATION



1 LOWER LEVEL FLOOR PLAN - EXISTING  
 A1-2 Scale: 1/4" = 1'-0"

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**LOWER LEVEL FLOOR PLAN EXISTING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A1-2</b>



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FIRE EXTINGUISHER; SEE  
 DETAIL A/A2-4

WALL DESIGNATION; SEE  
 DETAIL ON SHEET A2-4

C.G. CORNER GUARD

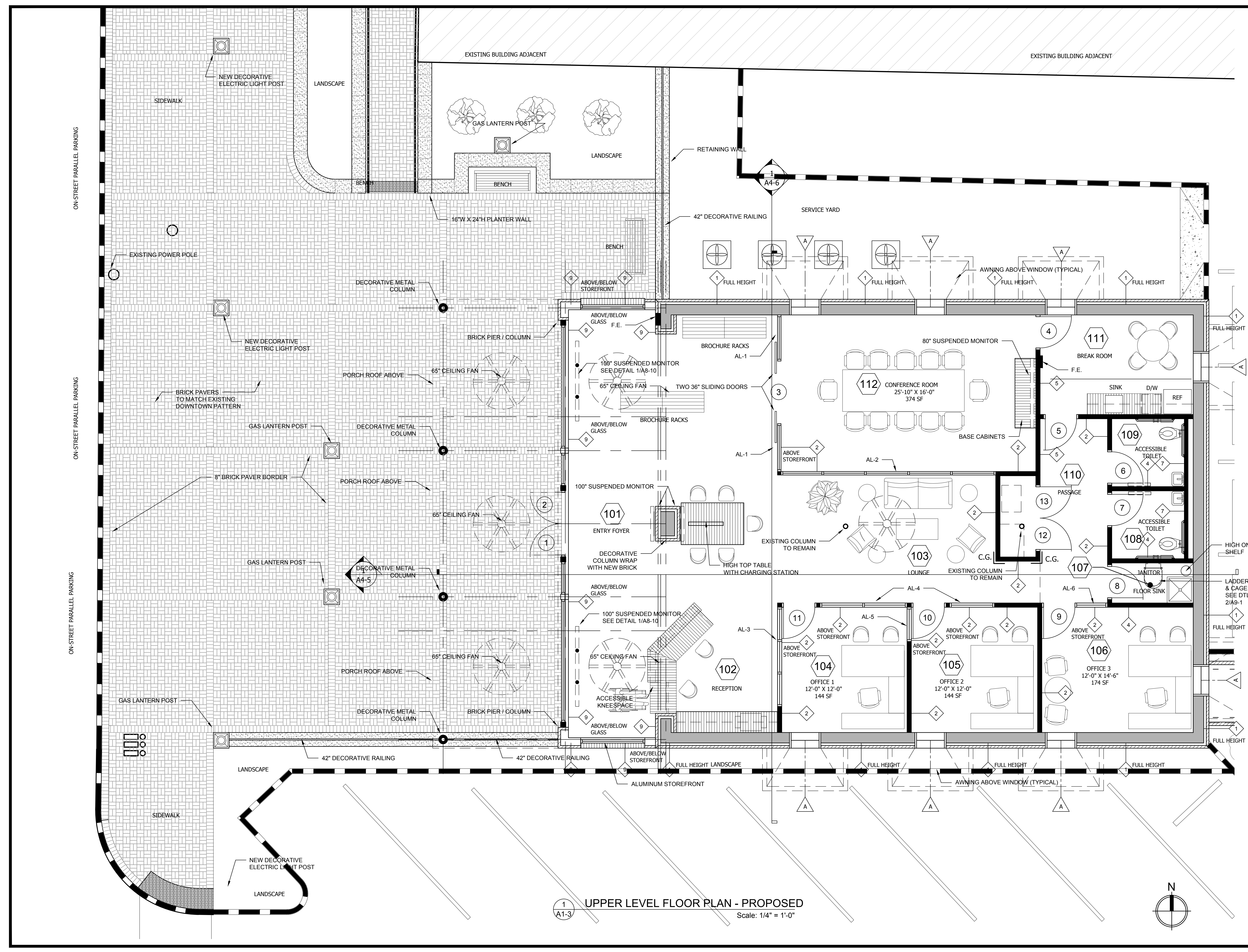
**REVISIONS**

DATE	DESCRIPTION

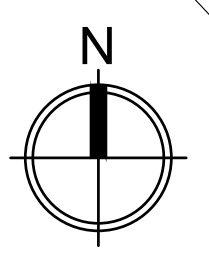
**PROJECT:**  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

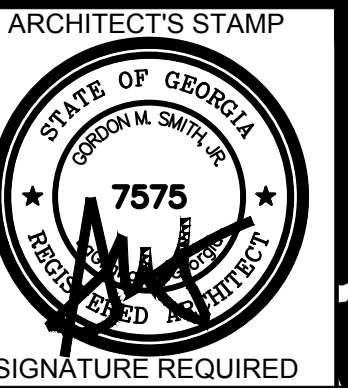
**TITLE:**  
**UPPER LEVEL FLOOR PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 24 APR 2020	SHEET: <b>A1-3</b>



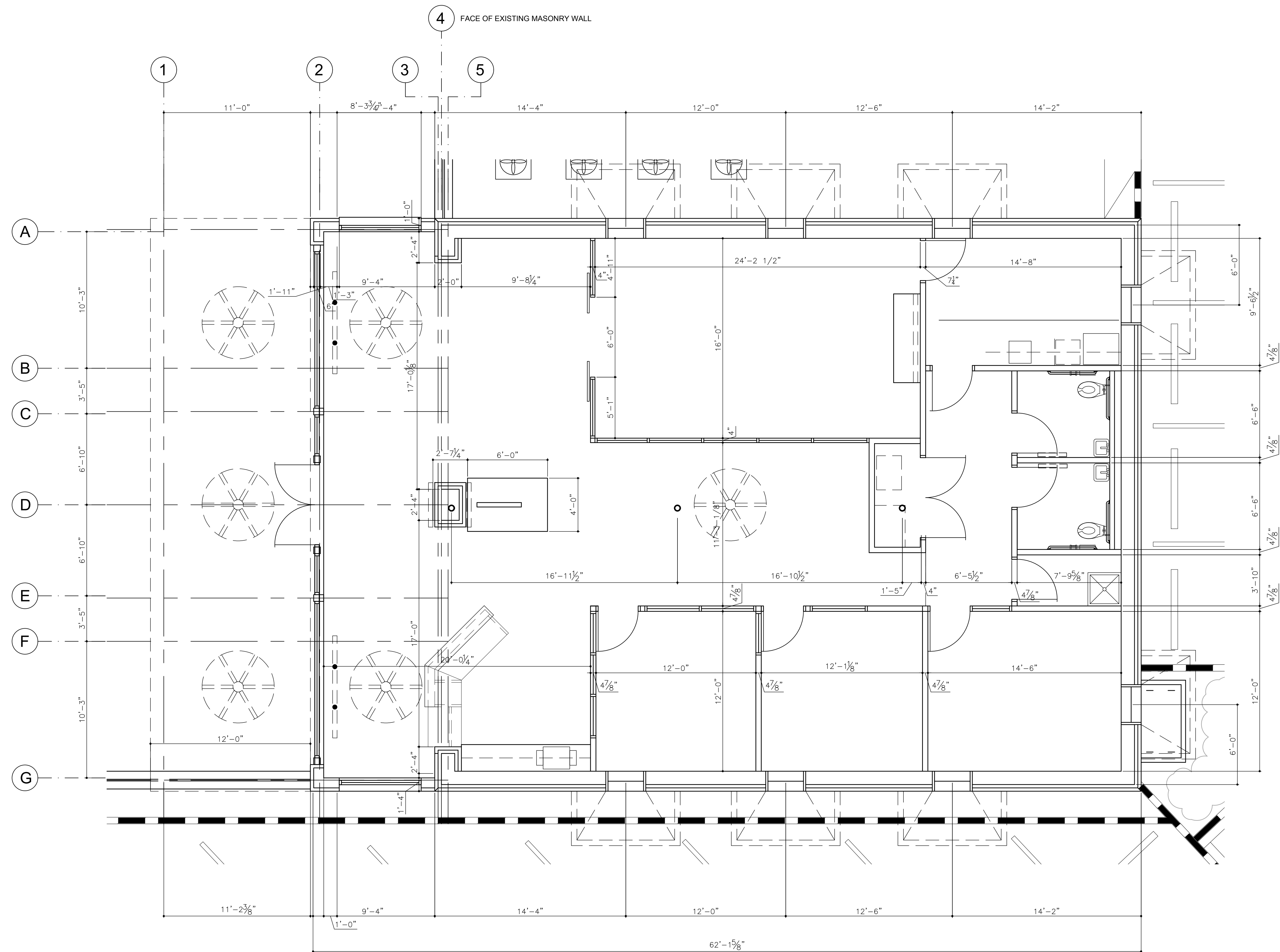
**1 A1-3 UPPER LEVEL FLOOR PLAN - PROPOSED**  
 Scale: 1/4" = 1'-0"





*[Handwritten Signature]*

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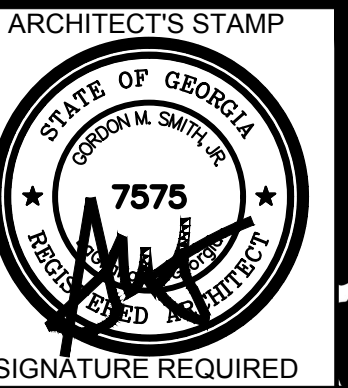
**1 UPPER LEVEL DIMENSION FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

REVISIONS	
Δ	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER LEVEL DIMENSION FLOOR PLAN**

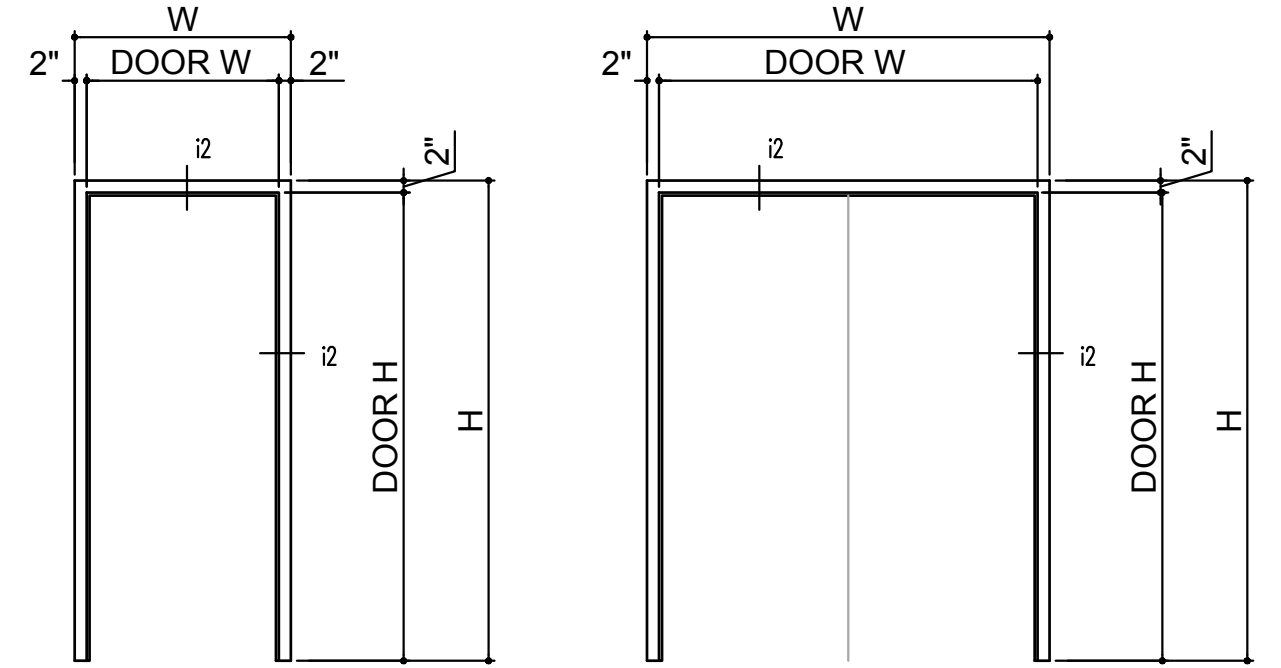
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A1-4</b>



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DOOR AND FRAME SCHEDULE																												
DOOR SCHEDULE										FRAME SCHEDULE																		
DOOR MARK	SIZE			TYPE	MAT'L	FIN.	GLASS		LOUVER		GRILLE		DOOR SIGN LABEL	DOOR SIGN READING	NOTES	SIZE			TYPE	MAT'L	FIN.	DETAIL			FIN. HARDWARE		NOTES	DOOR MARK
	W	H	T				TYPE	W	H	TYPE	W	H				TYPE	W	H				W	H	D	HD	JB		
1	3'-0"	7'-0"	1-3/4"	WD-4	WOOD	STAIN	3	*	*						B. C. WS. X. KP	6'-4"	7'-2"	6-3/4"	CHM-2	METAL	PAINT							1
2	3'-0"	7'-0"	1-3/4"	WD-4	WOOD	STAIN	3	*	*							6'-0"	9'-4"	4-7/8"	C.O.								2	
3	3'-0"	9'-4"	1-3/4"	WD-5	WOOD	STAIN									G.C. TO PROVIDE AND INSTALL (2) WD-5 DOORS AND HARDWARE	3'-4"	7'-2"	5-7/8"	CHM-1	METAL	PAINT							3
4	3'-0"	7'-0"	1-3/4"	WD-1	WOOD	STAIN										3'-4"	7'-2"	5-7/8"	CHM-1	METAL	PAINT							4
5	3'-0"	7'-0"	1-3/4"	WD-2	WOOD	STAIN	1	*	*							3'-4"	7'-2"	5-7/8"	CHM-1	METAL	PAINT							5
6	3'-0"	7'-0"	1-3/4"	WD-1	WOOD	STAIN										3'-4"	7'-2"	5-7/8"	CHM-1	METAL	PAINT							6
7	3'-0"	7'-0"	1-3/4"	WD-1	WOOD	STAIN										3'-4"	7'-2"	5-7/8"	CHM-1	METAL	PAINT							7
8	3'-0"	7'-0"	1-3/4"	WD-1	WOOD	STAIN							1 HOUR			3'-4"	7'-2"	5-7/8"	CHM-1	METAL	PAINT			1 HR				8
9	3'-0"	7'-0"	1-3/4"	AL-1	ALUMINUM	FACTORY	1	*	*							6'-3 1/2"	9'-4"	4"	AL-6	ALUMINUM	FACTORY							9
10	3'-0"	7'-0"	1-3/4"	AL-1	ALUMINUM	FACTORY	1	*	*							20'-9 3/8"	9'-4"	4"	AL-4	ALUMINUM	FACTORY							10
11	3'-0"	7'-0"	1-3/4"	AL-1	ALUMINUM	FACTORY	1	*	*							20'-9 3/8"	9'-4"	4"	AL-4	ALUMINUM	FACTORY							11
12	3'-0"	7'-0"	1-3/4"	WD-1	WOOD	STAIN										6'-4"	7'-2"	5-7/8"	CHM-2	METAL	PAINT							12
13	3'-0"	7'-0"	1-3/4"	WD-1	WOOD	STAIN																						13
14																												14
15																												15

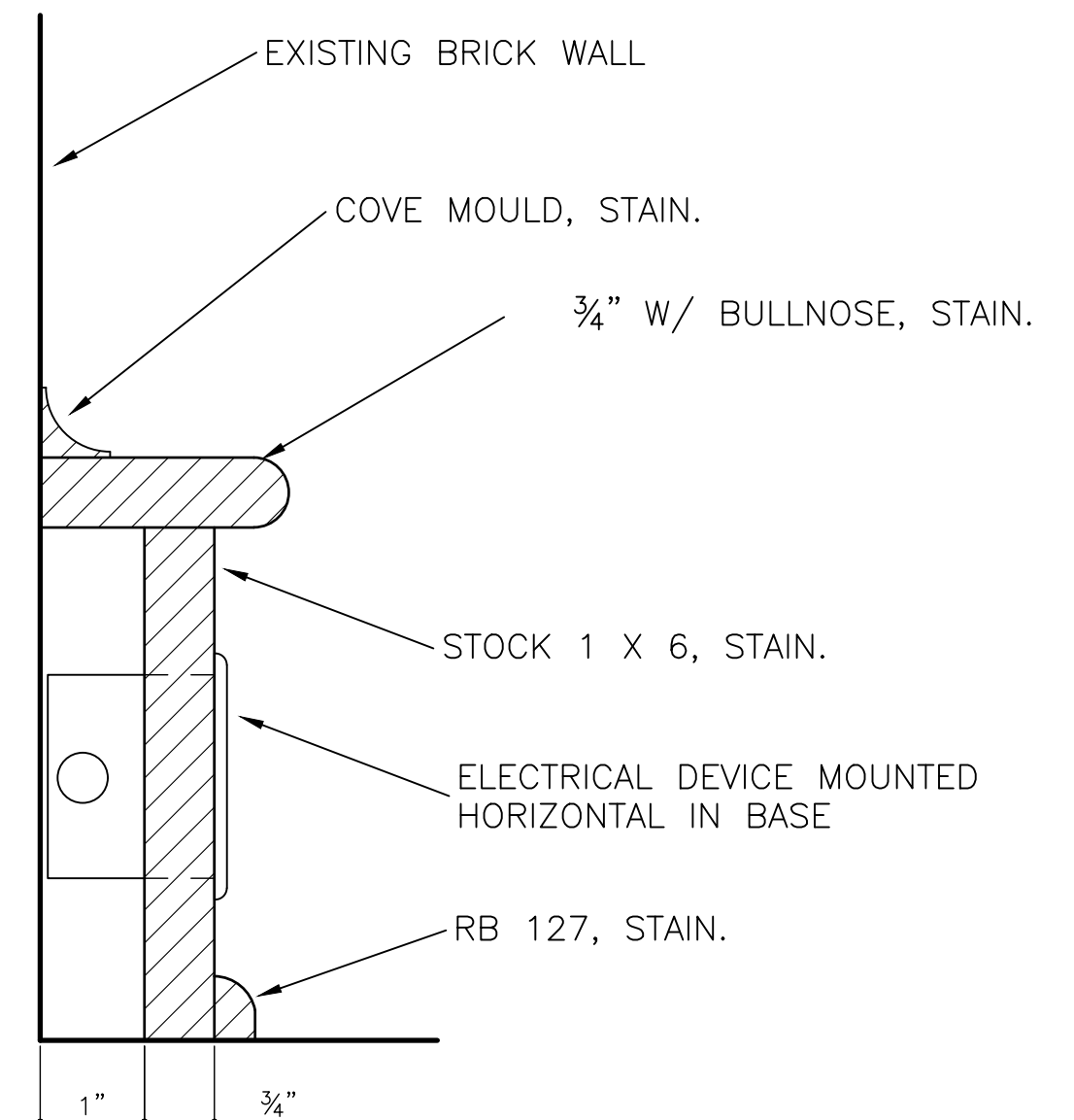
DESIGN BASED ON KAWNEER 190 NARROW STILE DOOR.  
 STANDARD KYMAR 500 FINISH COLOR.  
 PANELINE EXIT DEVICE WITH OFFSET PULL.  
 VERIFY LOCKING WITH OWNER  
 PROVIDE WEATHERSTRIPPING.



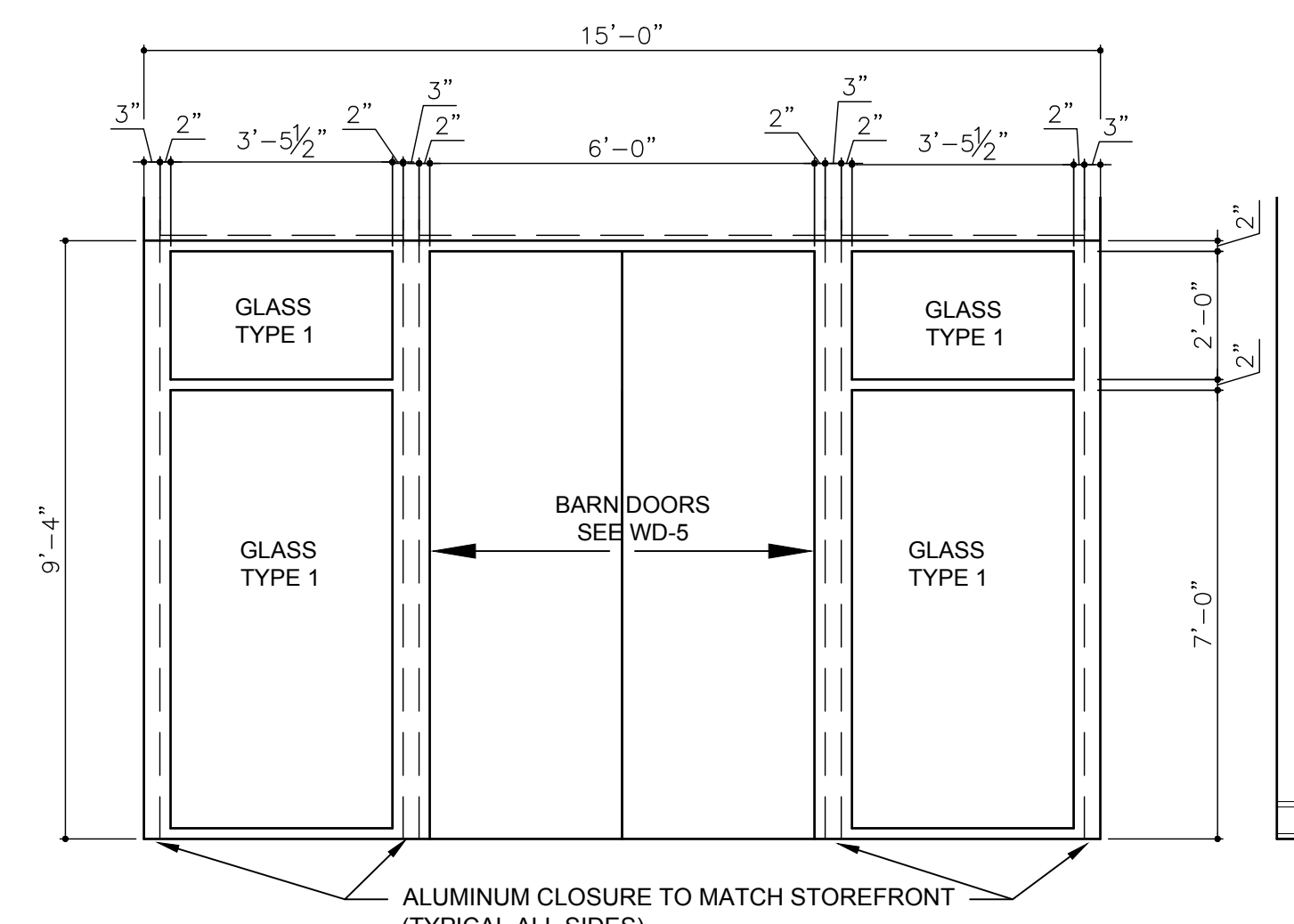
•CHM - 1  
(KNOCK-DOWN ACCEPTABLE)

•CHM - 2

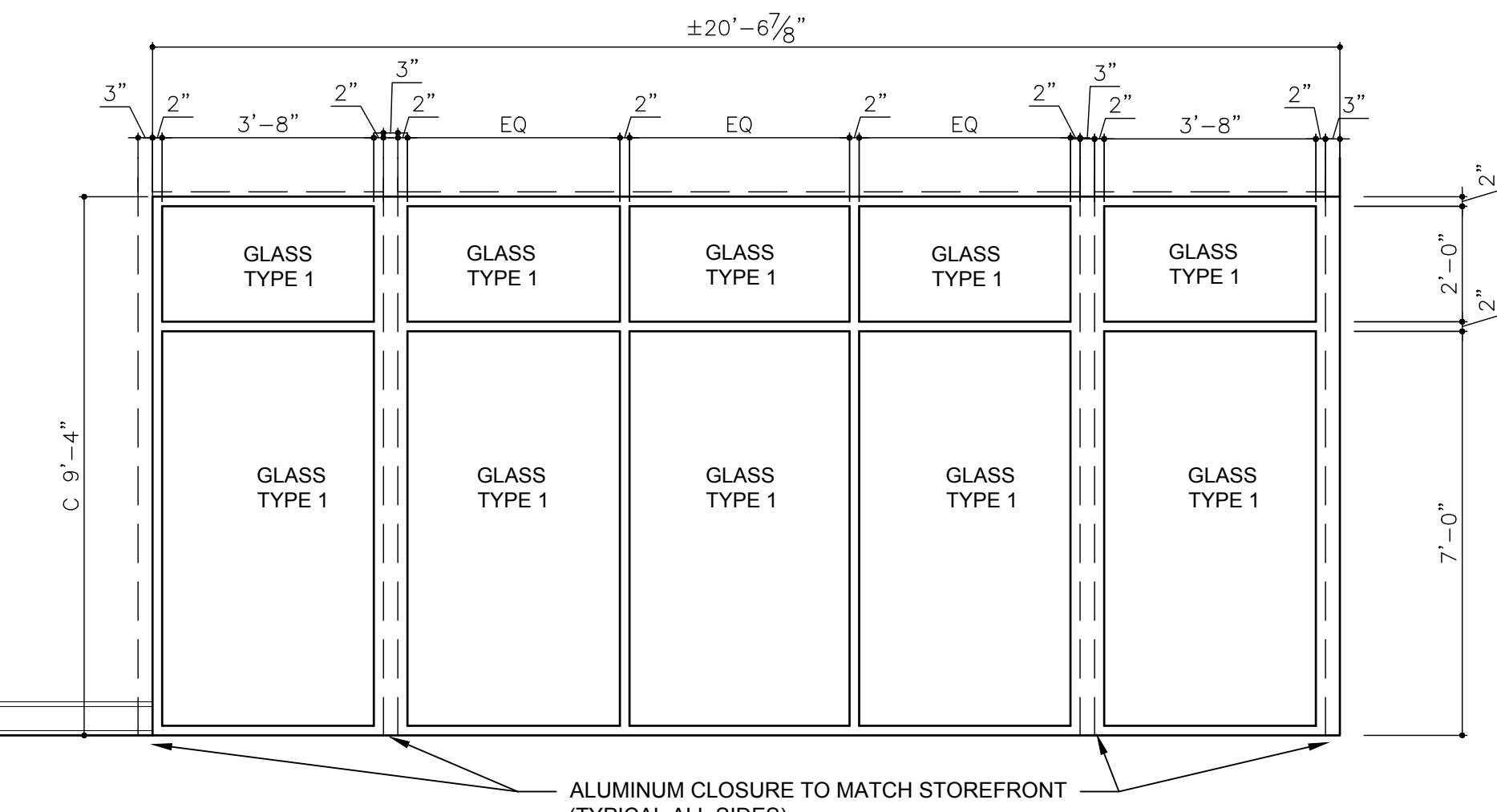
NOTE-  
 BARN DOOR HARDWARE PURCHASE AND INSTALLATION IS IN THE BASE BID AND IS NOT PART OF THE DOOR HARDWARE CASH ALLOWANCE.



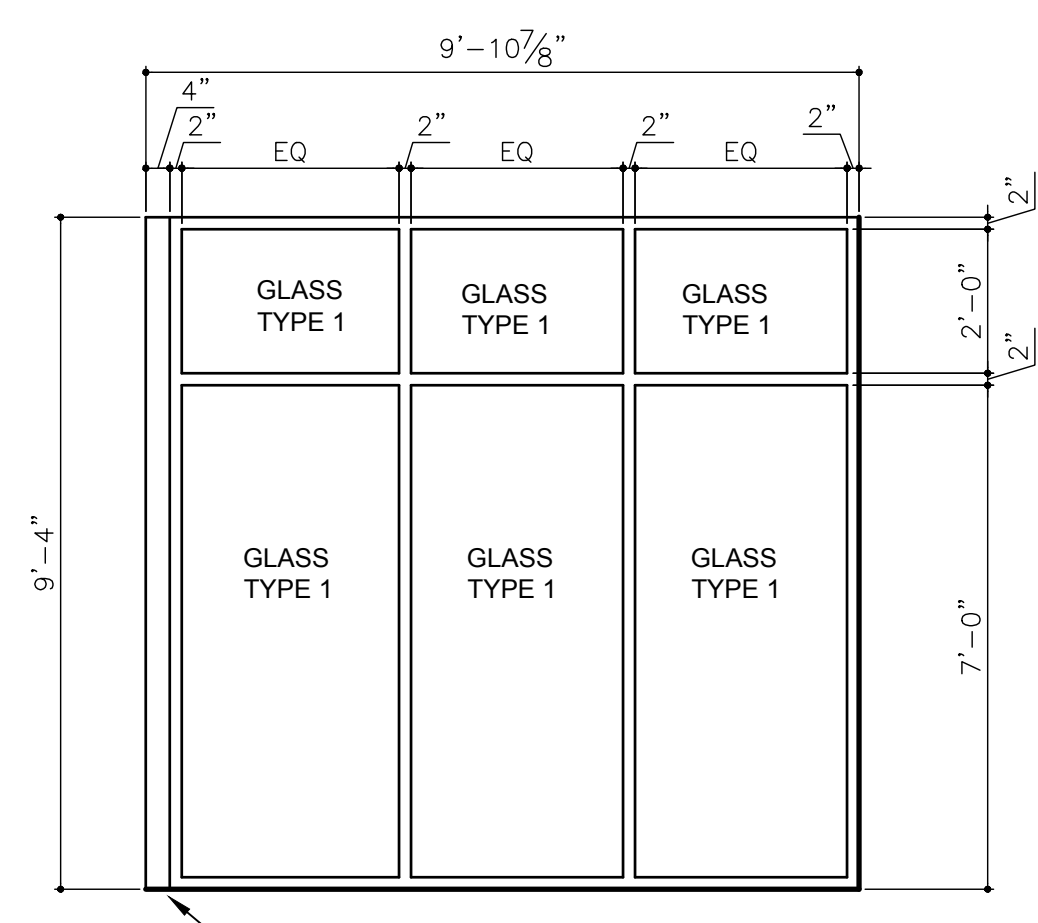
A  
 A2-1 CUSTOM WOOD BASE @ EXISTING WALLS  
 Scale: NOT TO SCALE



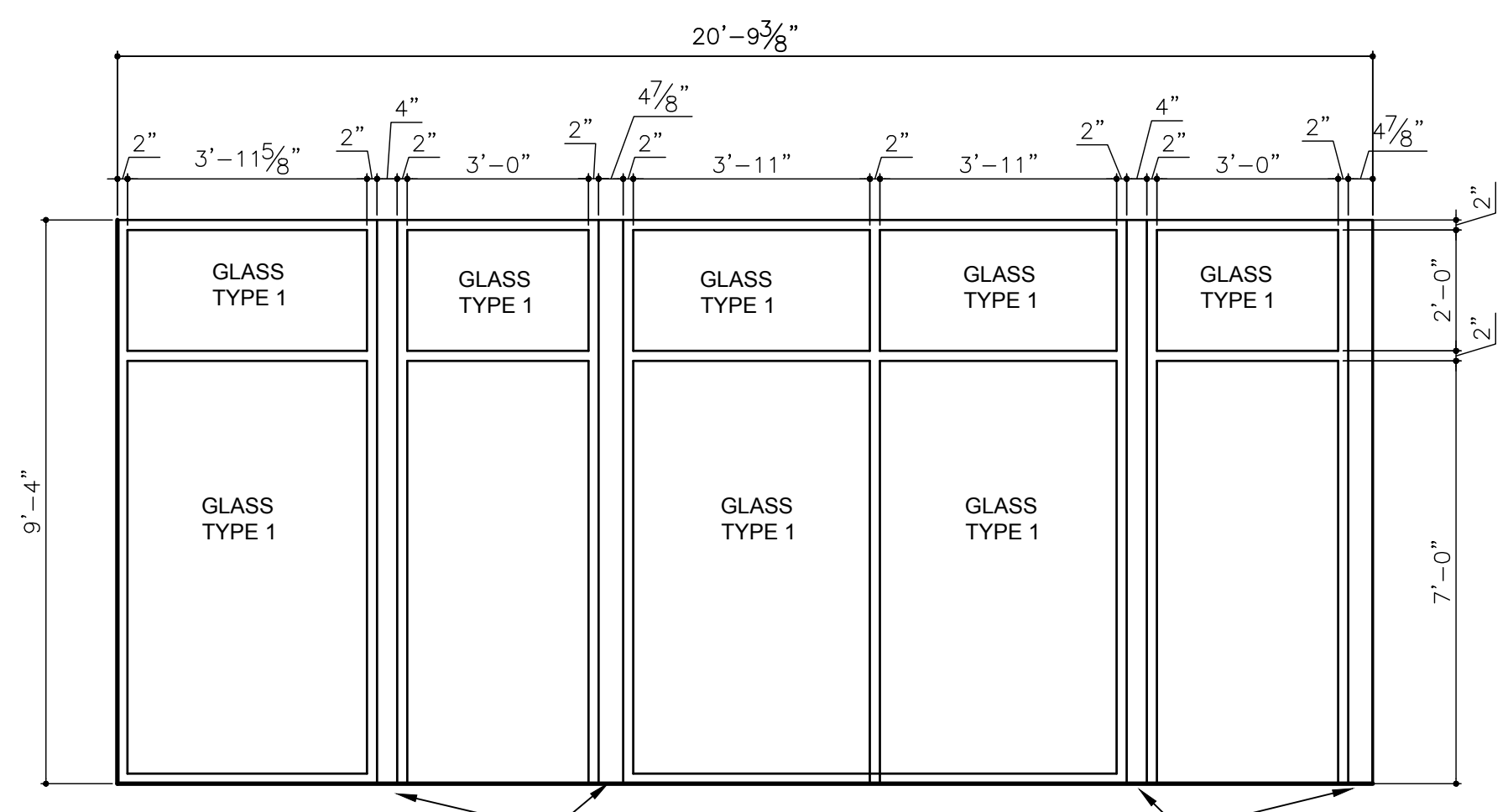
AL-1  
 ALUMINUM STOREFRONT



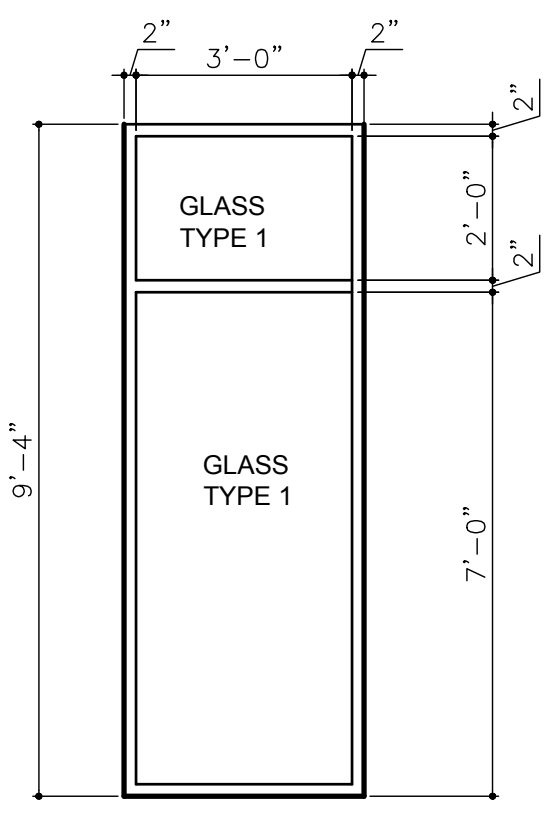
AL-2  
 ALUMINUM STOREFRONT



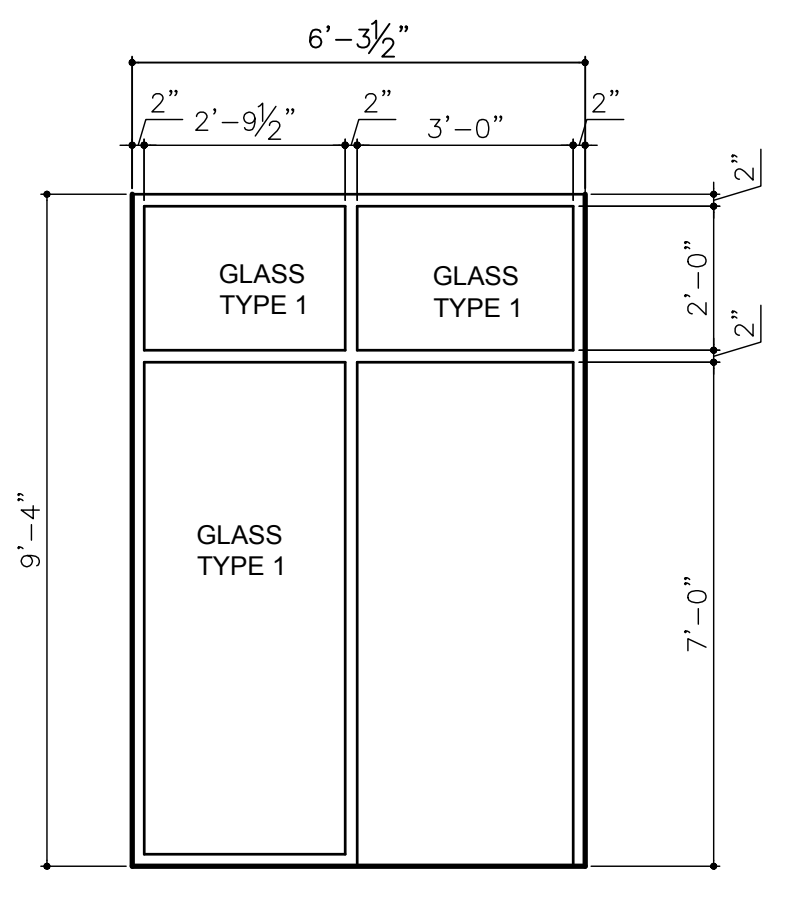
AL-3  
 ALUMINUM STOREFRONT



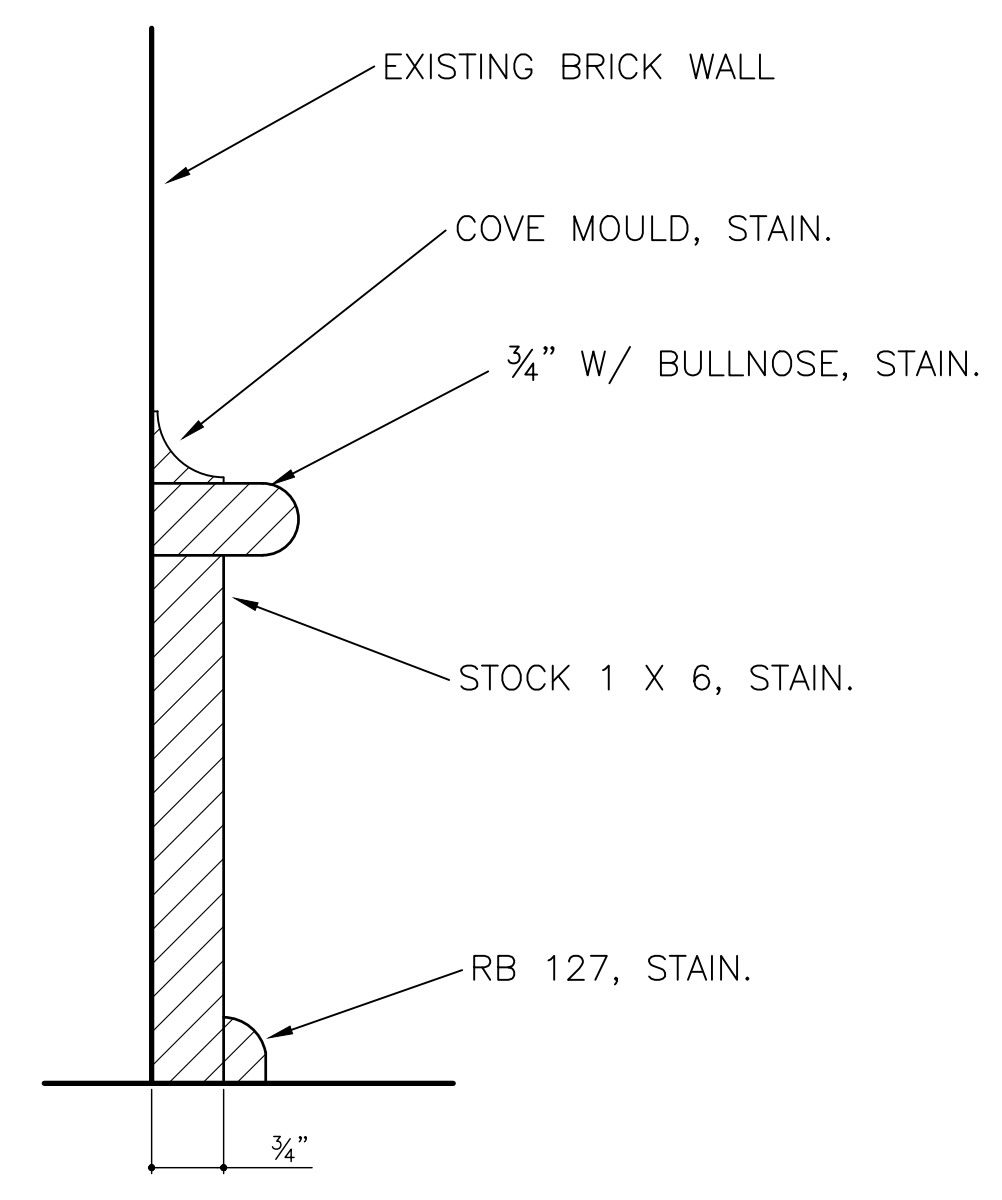
AL-4  
 ALUMINUM STOREFRONT



AL-5  
 ALUMINUM STOREFRONT



AL-6  
 ALUMINUM STOREFRONT



B  
 A2-1 CUSTOM WOOD BASE @ NEW WALLS  
 Scale: NOT TO SCALE

DOOR SCHEDULE HARDWARE ABBREVIATIONS

B	3 BUTT HINGES
C	CLOSER
K	KICKPLATE (8" X 34")
PP	PUSH / PULL HARDWARE
PSG	PASSAGE HARDWARE
PVCY	PRIVACY HARDWARE / OFFICE LOCK
WS	WEATHER SEAL
X	EXIT PANIC HARDWARE W/ LOCKSET
XO	EXIT ONLY PANIC DEVICE HARDWARE
DS	DOOR STOP ON WALL
FS	FLOOR STOP DOOR STOP
DB	DEAD BOLT
KP	KEY PAD WITH ELECTRIC STRIKE
SR	STORE ROOM HARDWARE
BR	BARN DOOR HARDWARE (RECESSED PULL)

LEGEND:  
 { INDICATES A SINGLE FRAME W/ MULTIPLE DOORS  
 \* SEE DOOR TYPES FOR GLASS / FRAME SIZE AND TYPE; SHEET A2-3

REVISIONS

DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**DOOR SCHEDULE**

MODIFIED DATE:	JOB NO: <b>1918</b>
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INTERIOR FINISH SCHEDULE											
SPACE NO.	SPACE NAME	FLOOR	BASE	CROWN	WALLS	CEILING	CLG. HT.	DOOR TRIM	WINDOW TRIM	CABINETS	NOTES
101	ENTRY FOYER	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					
102	RECEPTION	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					
103	LOUNGE	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					SEE A8-0 FOR ACCENT WALL LOCAITON
104	OFFICE 1	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					
105	OFFICE 2	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					
106	OFFICE 3	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					
107	JANITOR	LVT-1	RB-1		PT-1	CL-1					
108	ACCESSIBLE TOILET	CT-2	CT-1		CT-1	CL-2					
109	ACCESSIBLE TOILET	CT-2	CT-1		CT-1	CL-2					
110	PASSAGE	LVT-1	A/A2-1, B/A2-1		PT-1	CL-2					
111	BREAKROOM	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					
112	CONFERENCE ROOM	LVT-1	A/A2-1, B/A2-1		PT-1	CL-1					SEE A8-0 FOR ACCENT WALL LOCAITON
113	MECHANICAL	LVT-1	RB-1		PT-1	CL-2					

FINISH LEGEND	
<b>PAINT:</b>	
P-1	SHERWIN WILLIAMS SW7651 FRONT PORCH EGGSHELL FIELD PAINT
P-2	SHERWIN WILLIAMS SW6755 STARBOARD EGGSHELL ACCENT
P-3	SHERWIN WILLIAMS SW7757 HIGH REFLECTIVE WHITE EGGSHELL HARD CEILING
P-4	SHERWIN WILLIAMS 7069 IRON ORE SEMI-GLOSS DOOR & WINDOW FRAMES
<b>LUXURY VINYL TILE:</b>	
LVT-1	SHAW CONTRACT DIRECT GLUE TERRAIN II 4110V ALDER 07005 7"X48" EXOGUARD 5 MM THICK, 20 MIL WEAR FIELD FLOOR COVERING
<b>CERAMIC TILE:</b>	
CT-1	DALTILE RETROSPACE SUBWAY 3"X6" MODERN WHITE BLACK GROUT RESTROOM WET WALL
CT-2	DALTILE GAINESWOOD PLANK 6"X24" ELM GW06 RESTROOM FLOORS
<b>WALL BASE: [no strips permitted]</b>	
RB-1	JOHNSONITE 4" RUBBER BASE BURNT UMBER 63 FIELD BASE
<b>PLASTIC LAMINATE:</b>	
PL-1	WILSONART RUSSET ALONA Y0291 GENERAL LAMINATE
<b>SOLID SURFACE:</b>	
SS-1	CORIAN LAVA ROCK GENERAL COUNTERTOP
<b>WALL PROTECTION:</b>	
CG-1	INPRO CORPORATION ENVIROGT G-160 CORNER GUARD 90 DEGREE, 2" SURFACE MOUNTED, FULL GALA 0380
<b>WOOD DOOR STAIN:</b>	
ST-1	TBD
<b>CEILING:</b>	
CL-1	EXPOSED EXISTING CEILING TO BE PAINTED; CEILING MAT'L PT-3, JOISTS PT-4
CL-2	2X2 LAY-IN TILE & GRID ARMSTRONG 704-A W/ REVEAL EDGE SHADOW EDGE MOULDING



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REVISIONS	
DATE	DESCRIPTION

**PROJECT:**

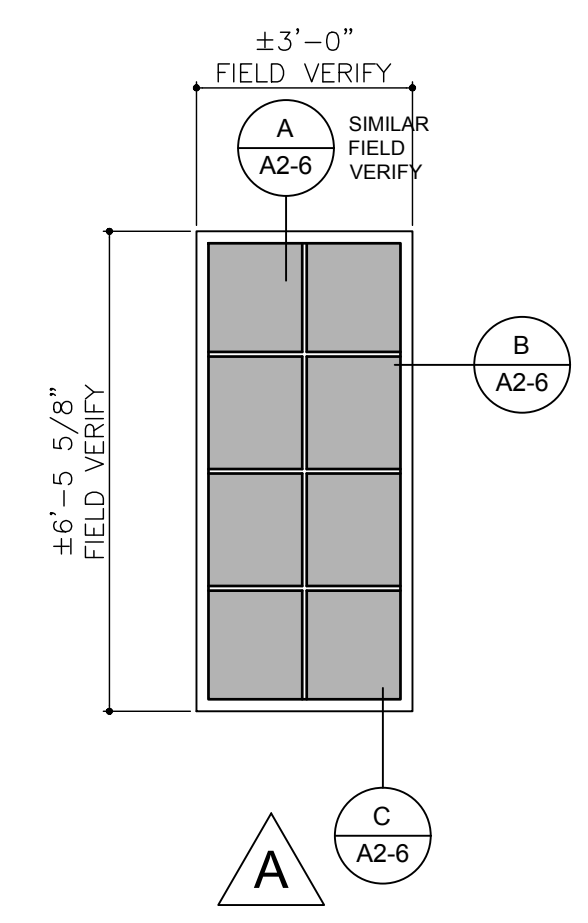
**TOURISM OFFICE RENOVATION**

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

**TITLE:**

**FINISH SCHEDULE**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A2-2</b>



**DOUBLE-HUNG  
CUSTOM SIZE  
G.C. VERIFY**

**WINDOW TYPES**

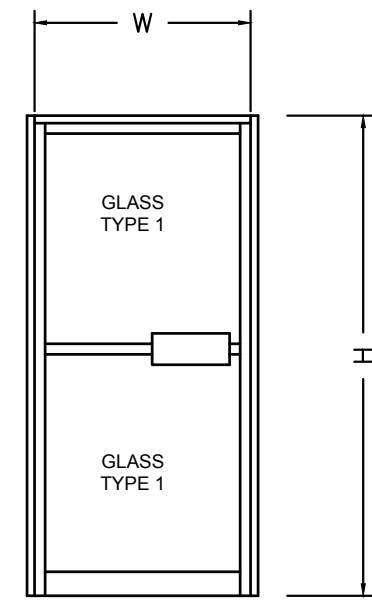
MARVIN INTERGITY  
WOOD - ULTREX DOUBLE HUNG  
G.C. VERIFY STANDARD SIZES

**CONTACT:**  
DAVID HAUCK  
AVI ARCHITECTURAL VISIONS, INC.  
PHONE: 770-362-2278  
EMAIL: DHAUCK@AVIWINDOWSANDDOORS.COM

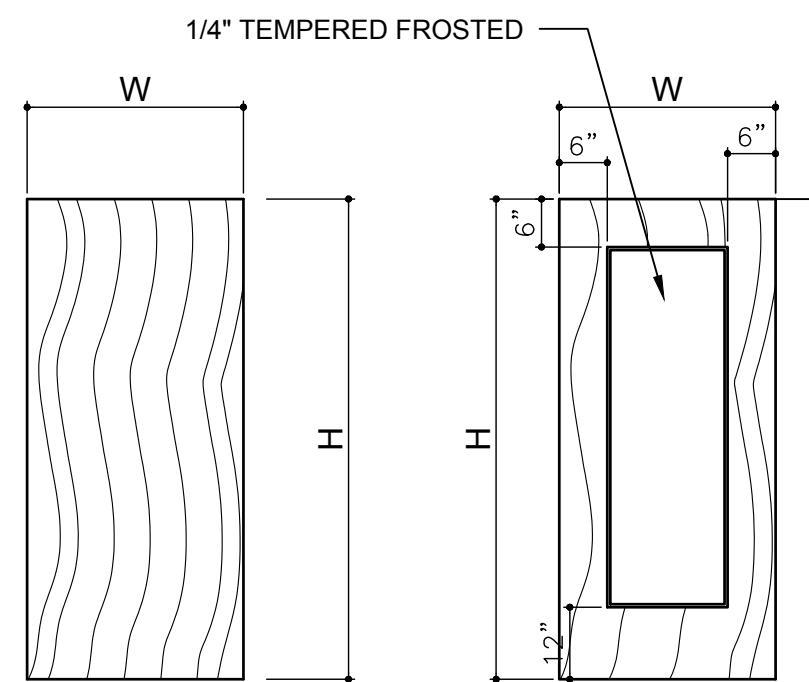
**WINDOW SPECIFICATION:**  
BASIS OF DESIGN -  
MARVIN ELEVATE DOUBLE HUNG (FORMERLY  
INTEGRITY FROM MARVIN WOOD-ULTREX)  
PULTRUDED FIBERGLASS EXTERIOR; PINE  
INTERIOR  
BRONZE EXTERIOR, BARE INTERIOR  
4-9/16" JAMBS  
LOW-E3 WITH ARGON  
7/8" SIMULATED DIVIDED LIGHT WITH BLACK  
INTERNAL SPACER  
PULTRUDED FIBERGLASS BRICK MOULD  
EXTERIOR CASING WITH SILL NOSE



**ALUMINUM STOREFRONT DOOR**  
 DESIGN BASED ON KAWNEER 180 NARROW  
 STILE DOOR WITH PANELINE EXIT DEVICE,  
 OFFSET PULL AND CLOSER, KYNAR 500.  
 COLOR OF FINISH FROM MANUFACTURER'S  
 VERIFY LOCKING DEVICE WITH OWNER.  
 GLASS TO BE 1/4" CLEAR TEMPERED.

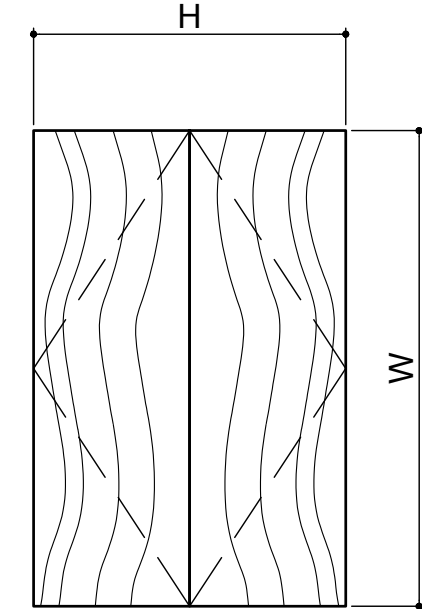


AL - 1

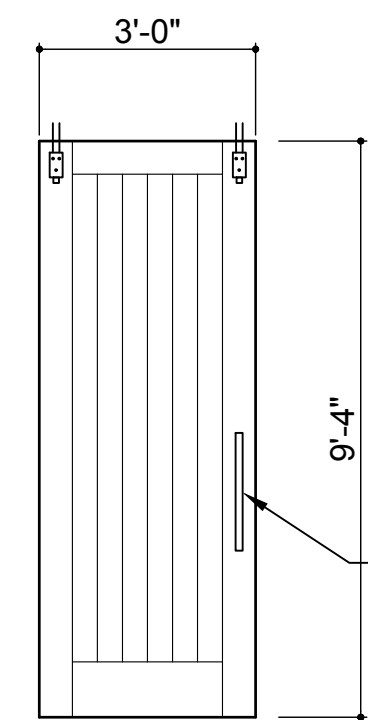


WD - 1

WD - 2  
(NOT USED)



WD - 3 (PAIR OF DOORS)



WD - 5 BARN DOOR

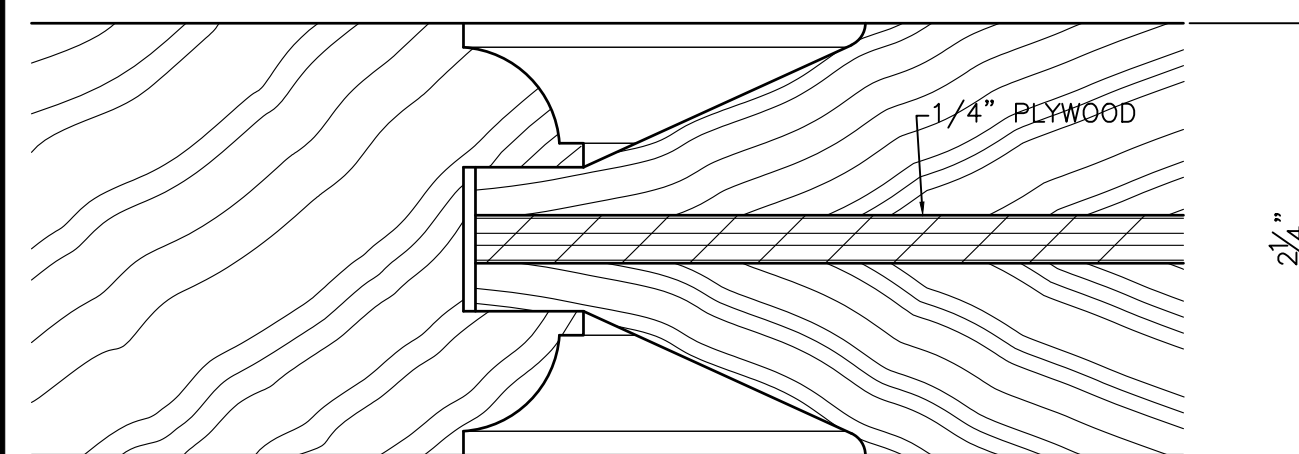
CUSTOM WOOD DOOR 2-1/4"  
 MAHOGANY (FACTORY STAINED, SEALED)  
 DESIGN BASED ON DECORA DOORS,  
 MONTGOMERY ALABAMA - 800-359-7557

**WOOD DOOR TYPES -**

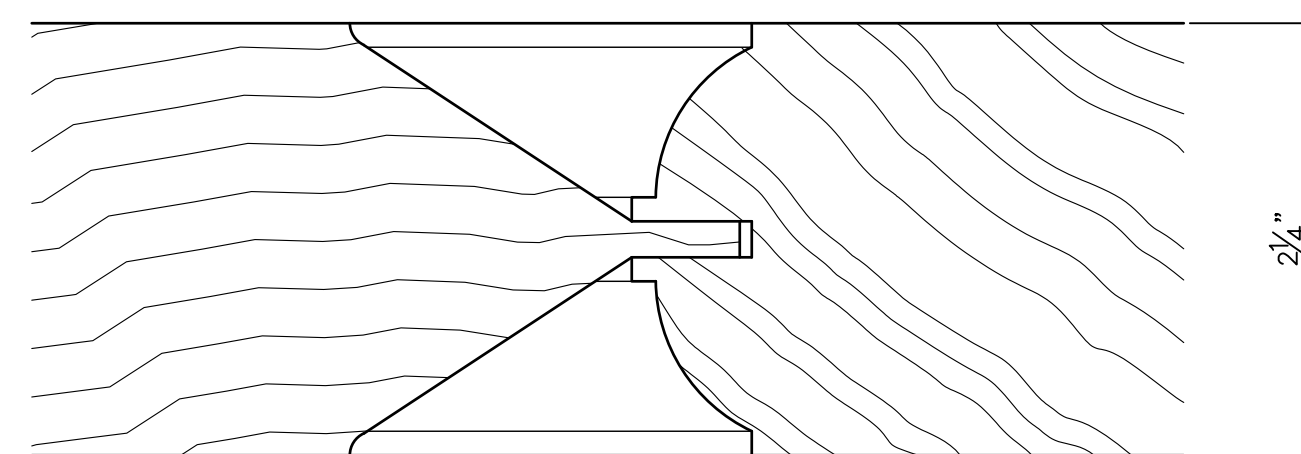
**GLASS TYPES:**

1. 1/4" CLEAR TEMPERED
2. 1/4" FIRE RATED GLASS
3. 1" INSULATED GLASS, TEMPERED WITH LOW E COATING, (ARCTIC BLUE GLASS)
4. 1" INSULATED GLASS, WITH LOW E COATING, (ARCTIC BLUE GLASS)
5. 1/4" ONE-WAY VIEWING GLASS
6. 1/4" TEMPERED GLASS WITH LOW E COATING
7. 1/2" TEMPERED GLASS WITH LOW E COATING

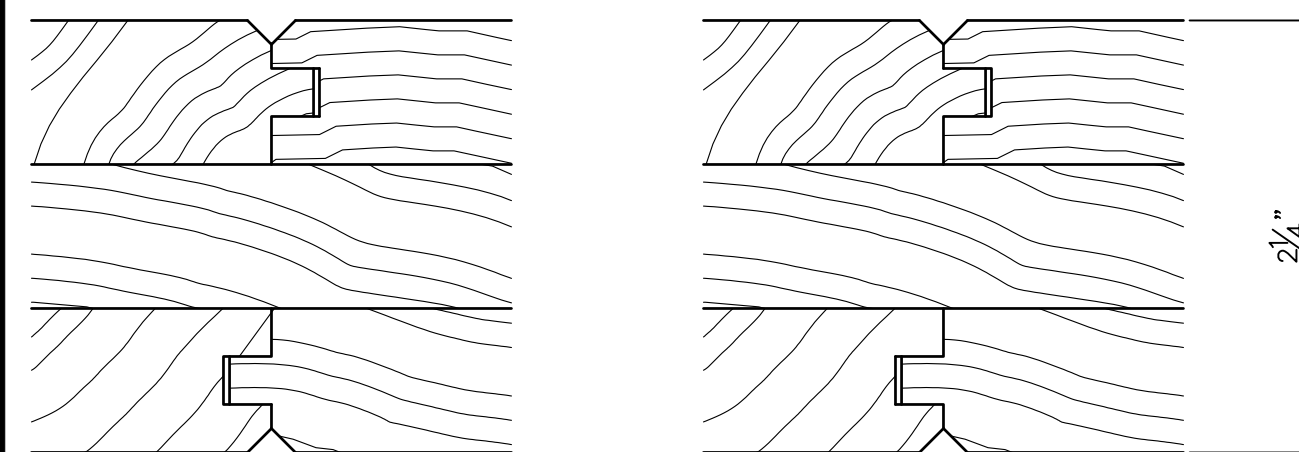
NOTE: STILES AND RAIL DIMENSIONS MAY  
 VARY SLIGHTLY AS REQUIRED BY  
 DIFFERENT MANUFACTURERS TO MAINTAIN  
 WARRANTY.



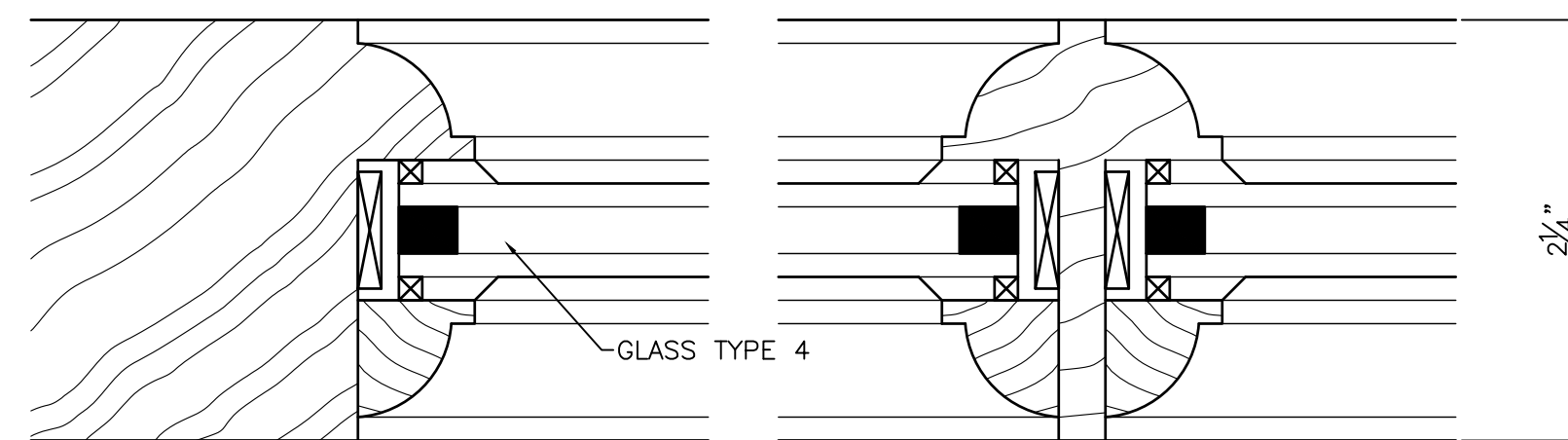
1  
A2-1



2  
A2-1



3  
A2-1



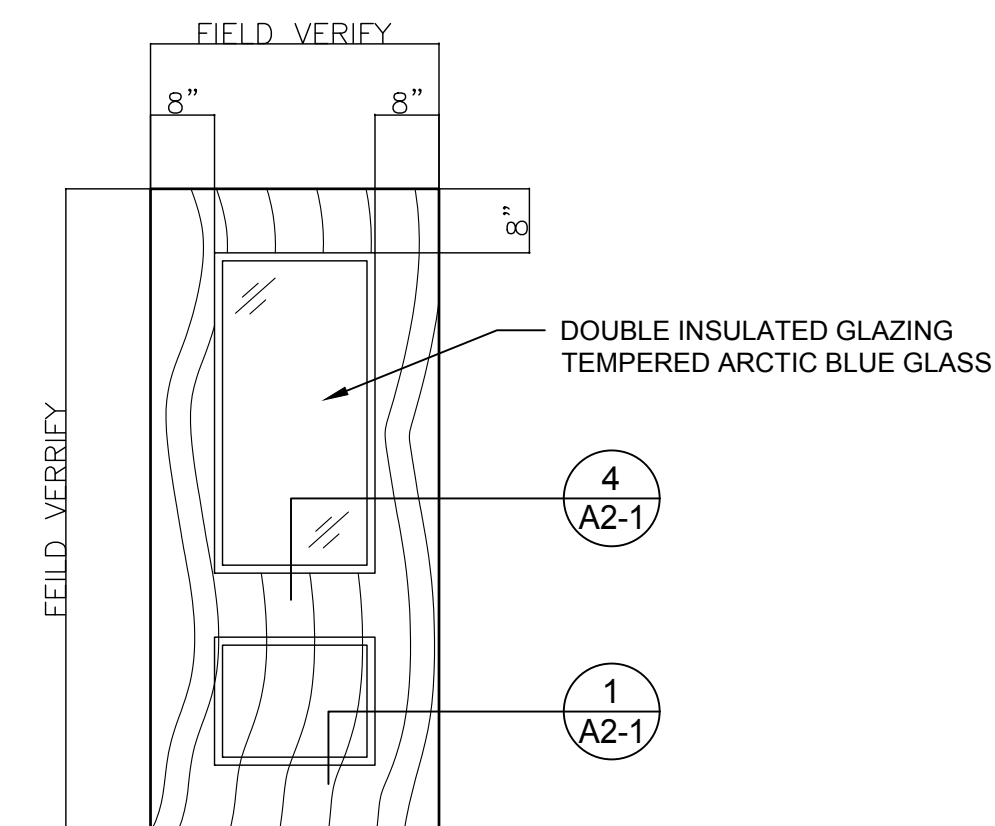
4  
A2-1

**WOOD DOOR DETAILS**

SCALE: FULL SCALE

**DOOR HARDWARE RECOMMENDATION**

- VON DUPRIN 88, SURFACE MOUNTED VERTICAL ROD DEVICE, TRIM 880TP.
- FINISH ON ALL DOOR HINGES, HARDWARE, PANIC DEVICES, ETC. TO BE US108



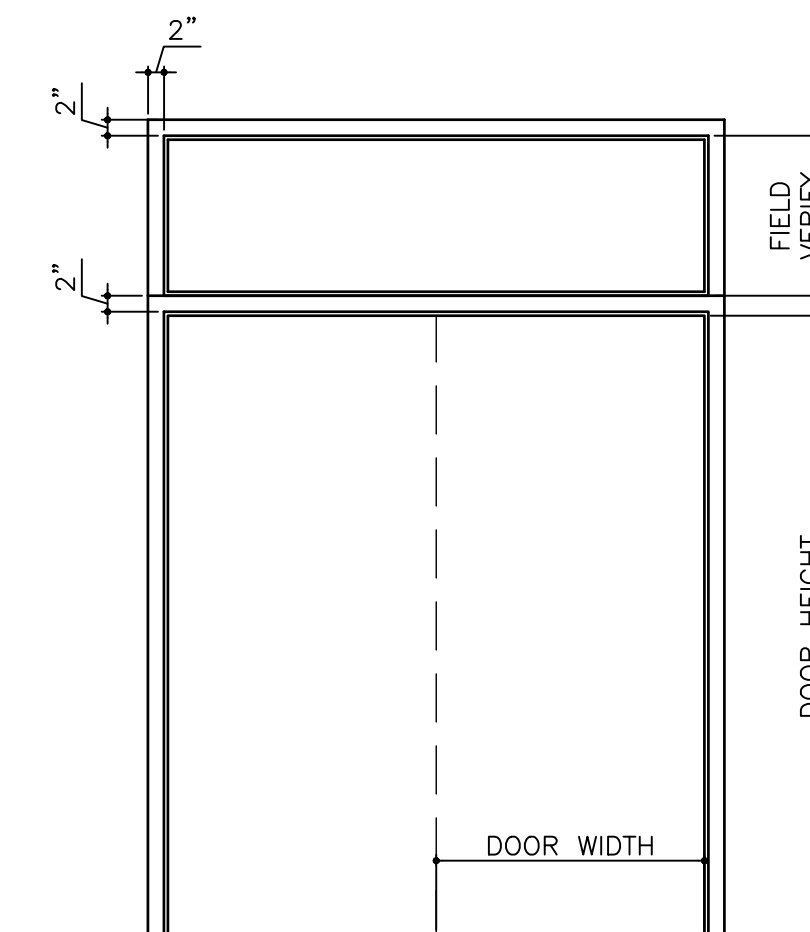
CUSTOM WOOD DOOR 2-1/4"  
 MAHOGONY (FACTORY STAINED, SEALED)  
 DESIGN BASED ON DECORA DOORS,  
 MONTGOMERY, ALABAMA. 800-359-7557

**WD-4**

SCALE: NOT TO SCALE

**NOTE:**  
 DOORS AND HARDWARE FOR DOORS  
 1 AND 2

- TRIM DOOR TRANSOM AND FRAMES WITH RB-3 AND BACKBAND ALL AROUND, PAINT.
- PROVIDE BRICK MOULD ON EXTERIOR OF DOORS 1 AND 2. BACKPAINT AND PAINT.



SUBMIT DETAILED SHOP DRAWINGS OF DOORS,  
 FRAMES AND HARDWARE TO ARCHITECT  
 PRIOR TO ORDERING.

**CHM-1**

SCALE: NOT TO SCALE

**NOTE:**  
 DOORS FRAME & TRIM PROVIDED AND  
 INSTALLED BY G.C.



**SMITH DESIGN GROUP, INC.**

206 WEST HARALSON STREET  
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**REVISIONS**

DATE	DESCRIPTION

PROJECT:

**TOURISM OFFICE  
 RENOVATION**

206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:

**DOOR TYPES**

MODIFIED DATE:

JOB NO:

**1918**

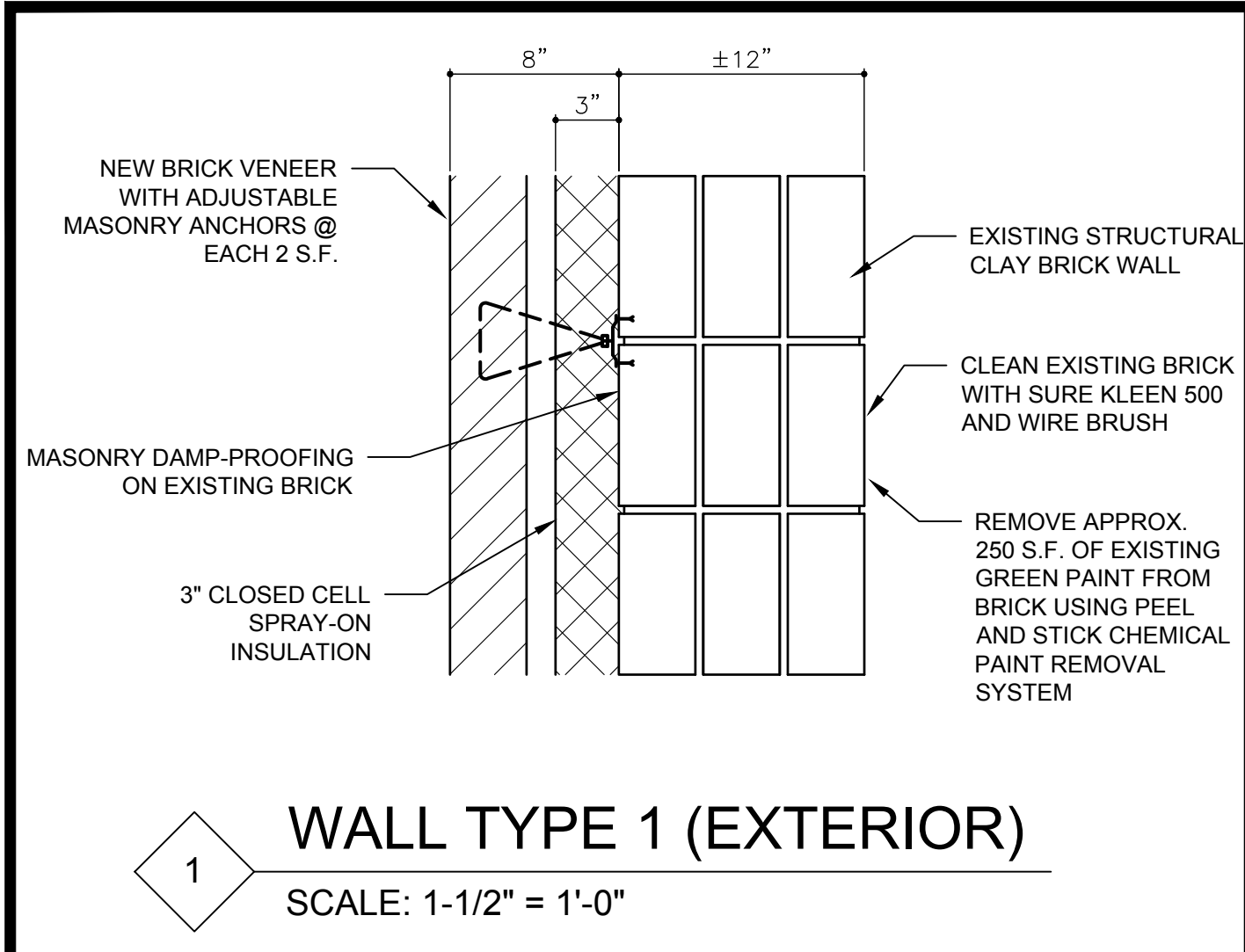
ISSUED DATE:

SHEET:

**A2-3**

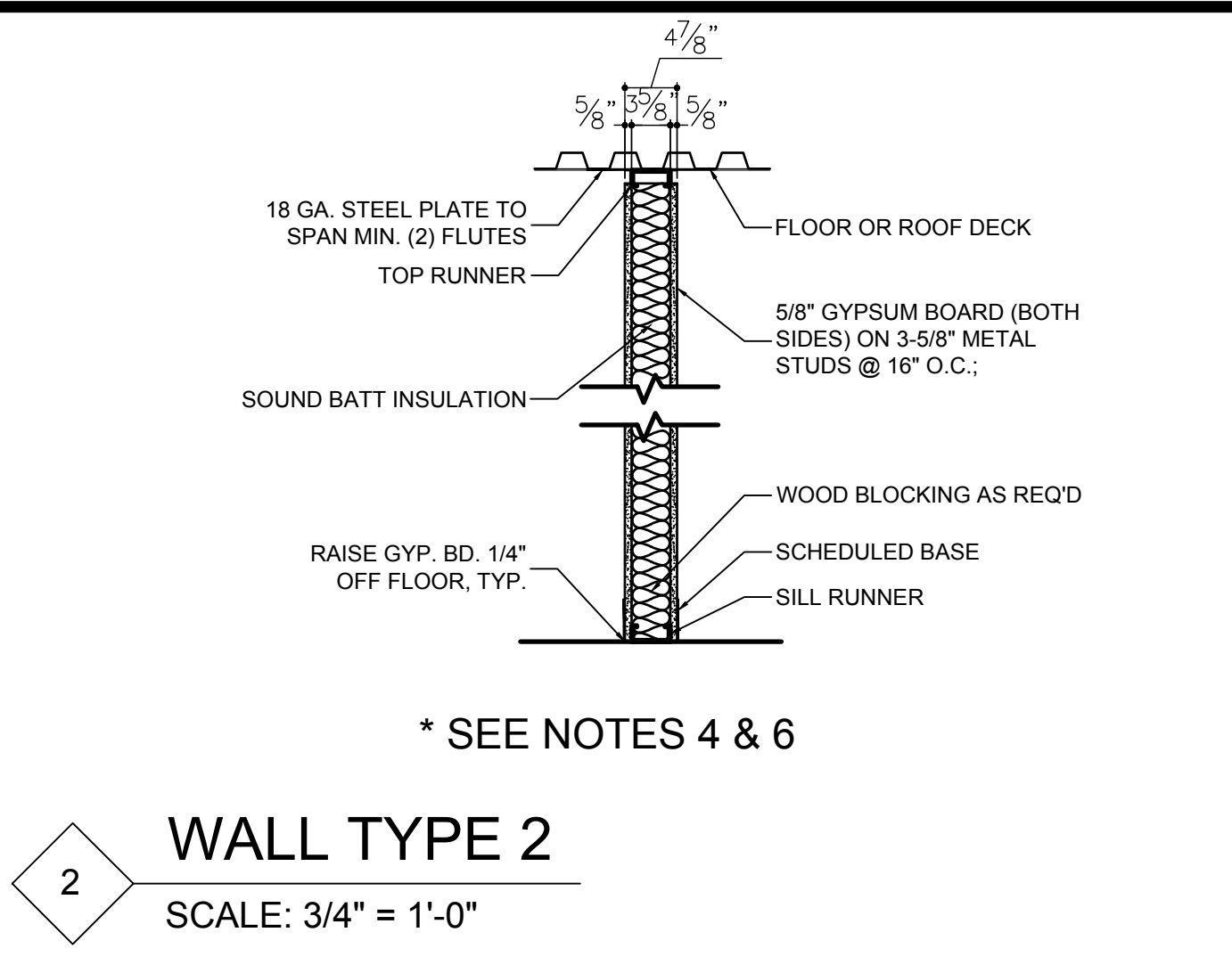
FOR PRICING

24 APR 2020



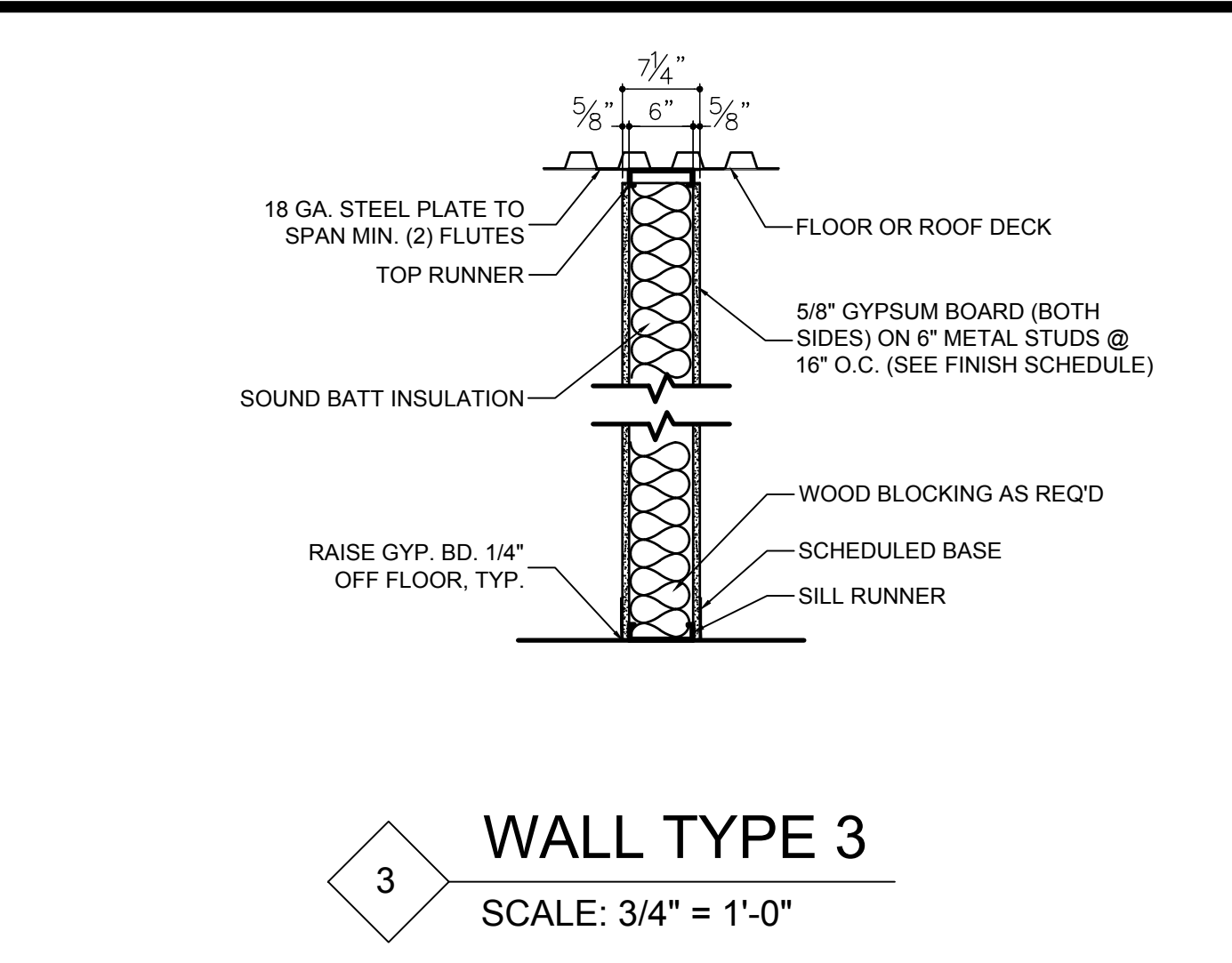
**WALL TYPE 1 (EXTERIOR)**

SCALE: 1-1/2" = 1'-0"



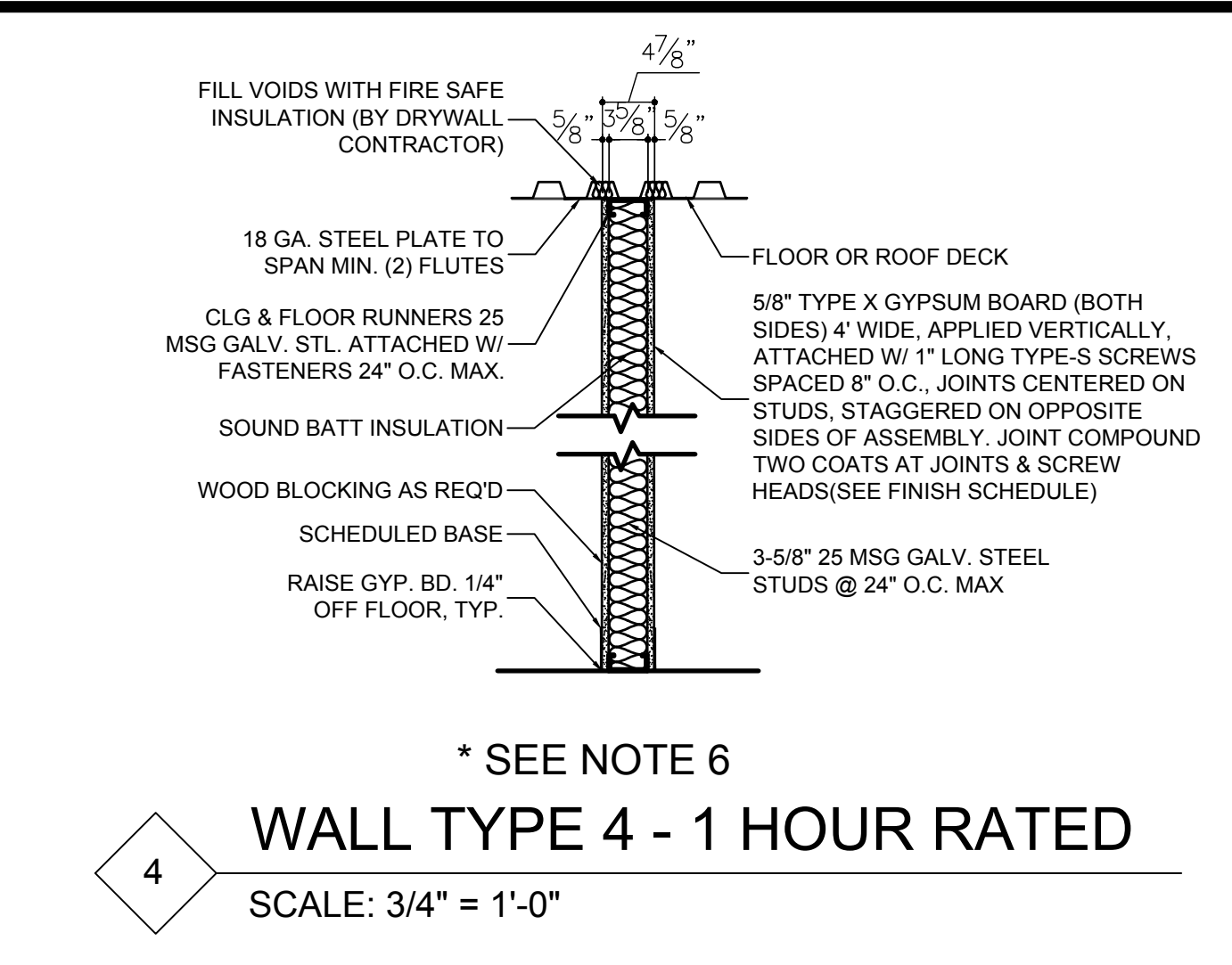
**WALL TYPE 2**

SCALE: 3/4" = 1'-0"



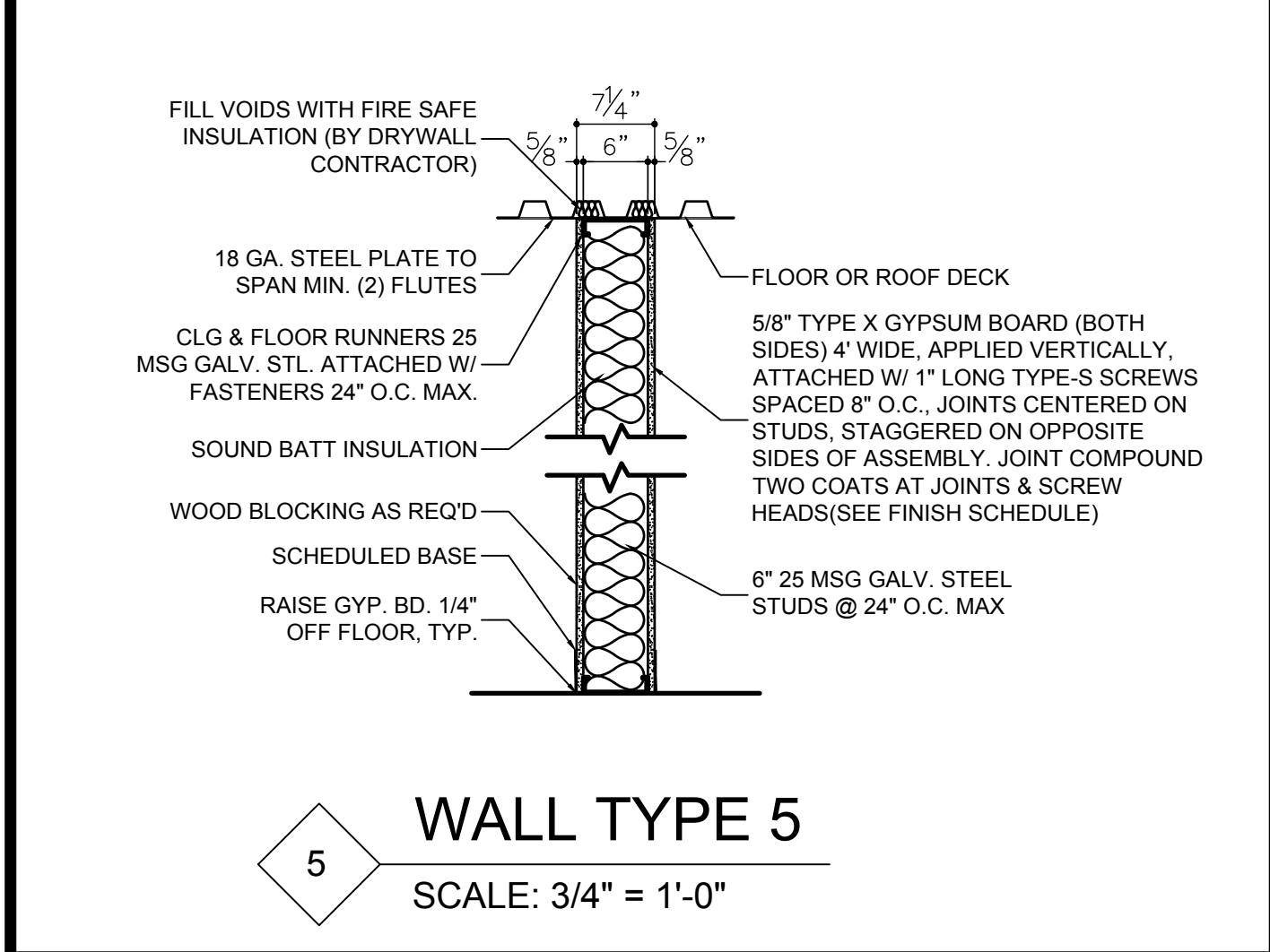
**WALL TYPE 3**

SCALE: 3/4" = 1'-0"



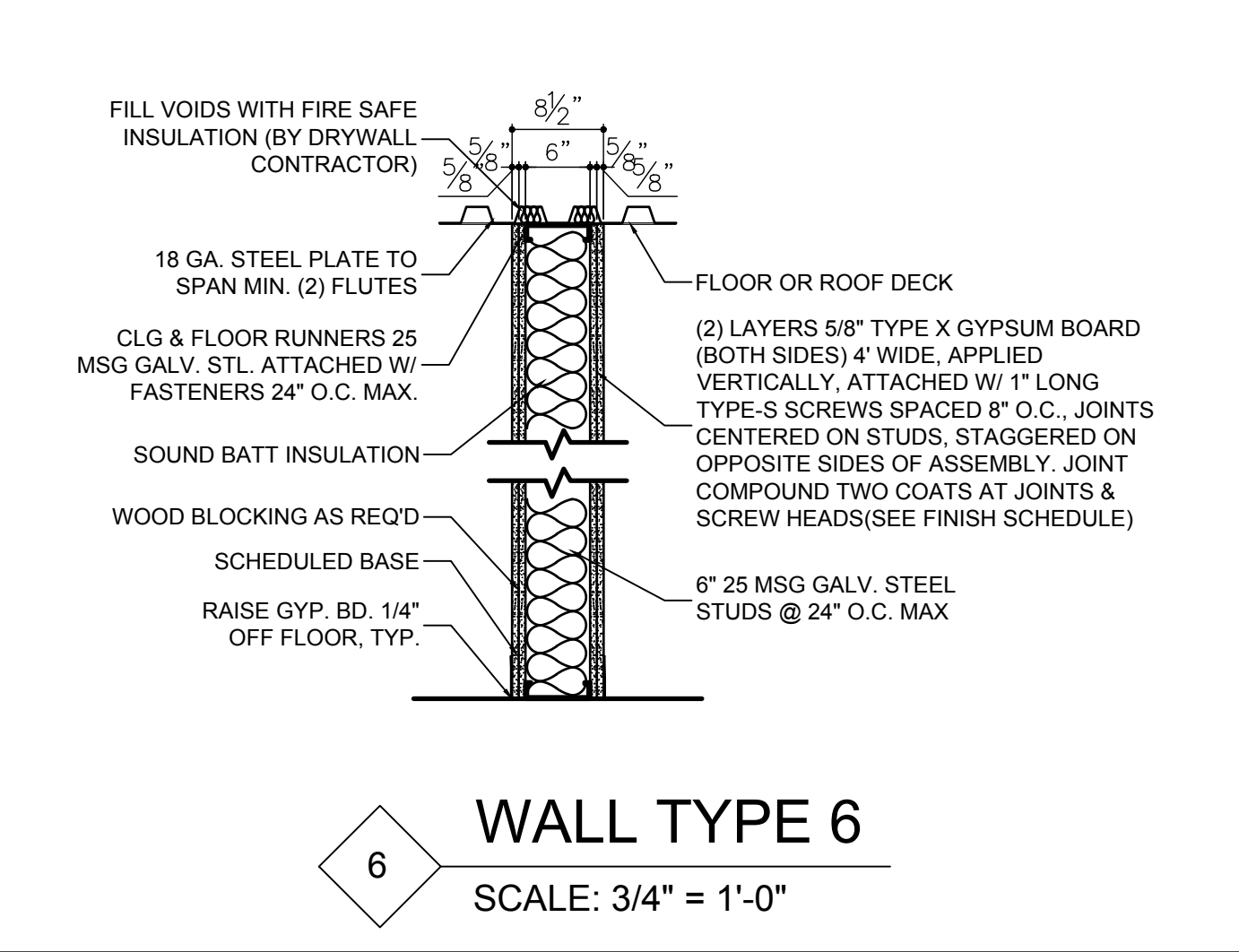
**WALL TYPE 4 - 1 HOUR RATED**

SCALE: 3/4" = 1'-0"



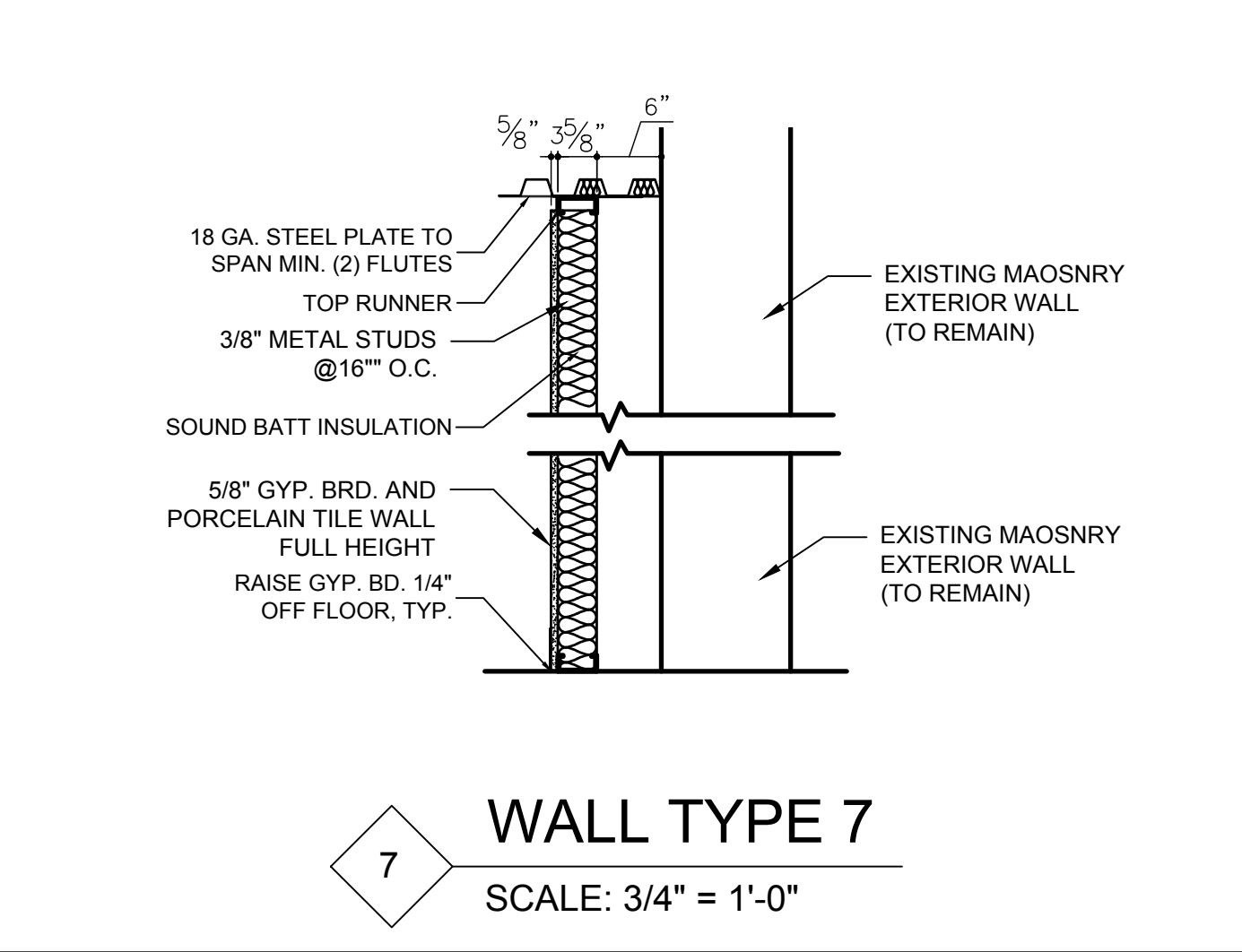
**WALL TYPE 5**

SCALE: 3/4" = 1'-0"



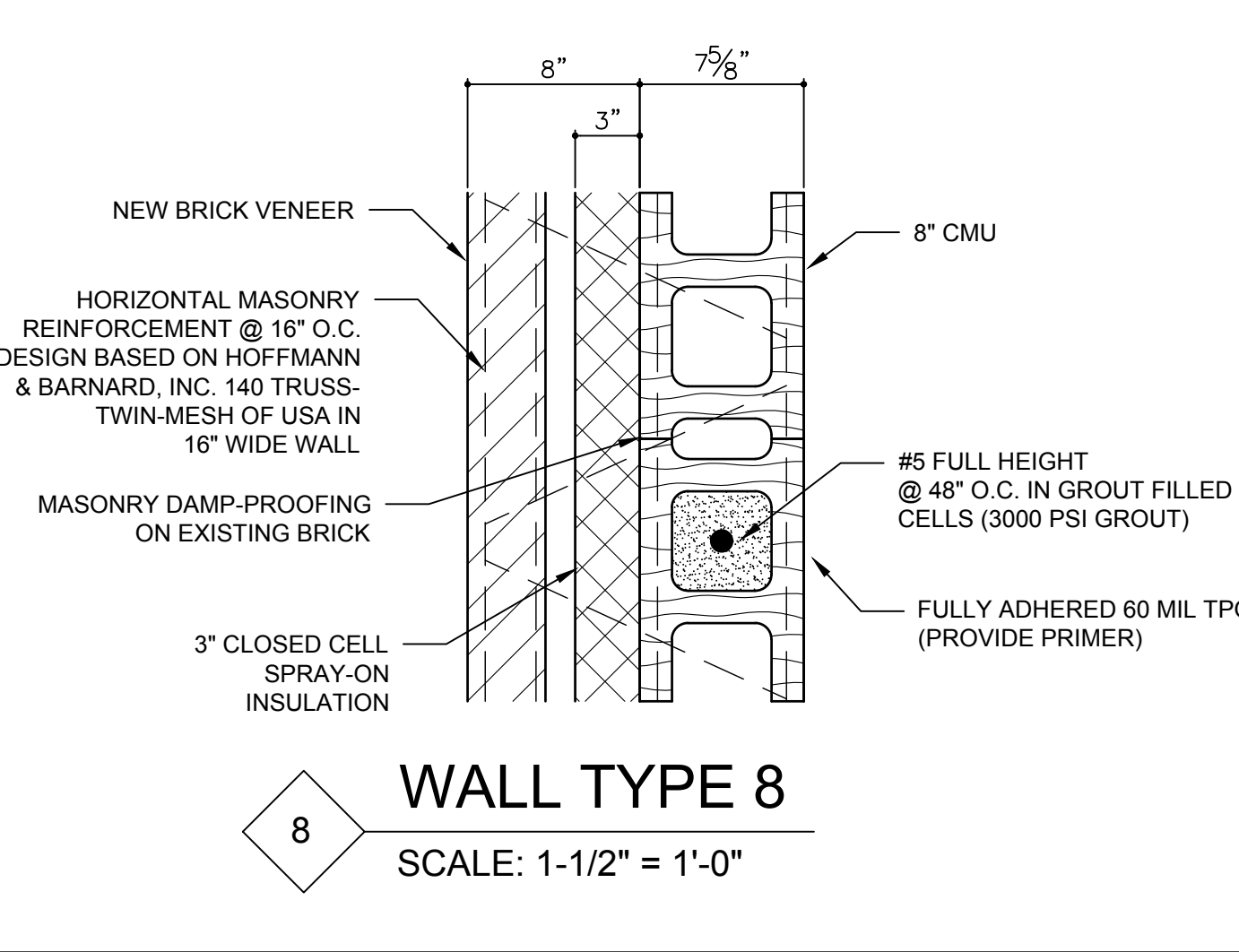
**WALL TYPE 6**

SCALE: 3/4" = 1'-0"



**WALL TYPE 7**

SCALE: 3/4" = 1'-0"



**WALL TYPE 8**

SCALE: 1-1/2" = 1'-0"

**WALL TYPES AND MASONRY DETAILS**

SCALE: 1 1/2" = 1' - 0" UNLESS OTHERWISE NOTED

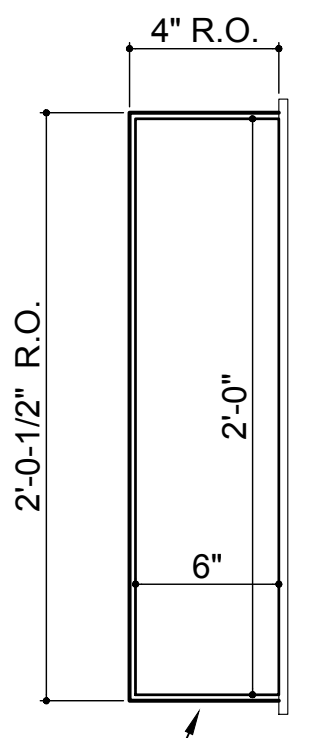
- NOTES**
1. DETAILS SHOWN ARE TYPICAL AND SHALL APPLY TO ALL LIKE AND/OR SIMILAR CONDITIONS WHETHER SPECIFICALLY MARKED OR NOT.
  2. PAINT ABOVE CEILINGS AT 12'-0" O.C. IN 2" HIGH RED LETTERS, [1,2,4] HOUR FIRE WALL AND SMOKE BARRIER - PROTECT ALL OPENINGS.
  3. SEAL ALL PENETRATIONS IN ALL RATED AND NON-RATED WALLS - TYPICAL.

**GENERAL NOTES REGARDING GYPSUM WALLBOARD CONSTRUCTION**

1. USE "WR" GYPSUM BOARD IN ALL AREAS SUBJECT TO WETNESS, DAMPNESS OR AREAS WHICH WILL "TYPICALLY" BE MOIST, INCLUDING BUT NOT LIMITED TO BATHROOMS, TOILET ROOM, KITCHEN AND BREAK ROOM FIXTURE WALLS, ETC.
2. USE EXTERIOR TYPE ("SOFFIT BOARD") GYPSUM BOARD IN ALL AREAS EXPOSED DIRECTLY TO EXTERIOR WEATHER CONDITIONS.
3. INCLUDE METAL OR PLASTIC (VINYL) EDGE TRIM AT ALL "EXPOSED" EDGES AND/OR ENDS OF GYPSUM WALLBOARD. THIS INCLUDES "J"-MOLD OR EQUIVALENT TRIM AT TOPS OF WALLS AND PARTITIONS, ADJACENT TO OR ABUTTING CEILINGS, ETC.
4. INCLUDE CORNER BEAD OR APPROVED EQUIVALENT PROTECTIVE TRIM AND/OR REINFORCING AT ALL EXPOSED CORNERS OF GYPSUM BOARD PARTITIONS AND WALLS. SMOOTH OUT THICKNESS DIFFERENTIAL AT ENDS AND CORNERS OF WALL AND PARTITION CONSTRUCTION TO MAINTAIN "LEVEL", PLUMB AND EVEN FINISHED SURFACES.
5. PROVIDE WOOD BLOCKING AND/OR BRACING AT ALL DOOR FRAMES AND CASED OPENINGS. THIS BLOCKING AND/OR BRACING MUST EXTEND FROM FINISHED FLOOR (STRUCTURAL SURFACE) TO STRUCTURE ABOVE IS POSSIBLE AND WHERE THIS IS NOT POSSIBLE EXTEND AND SECURE TO TOP RUNNER OF WALL OR PARTITION AND THE ACROSS DOOR OR OPENING HEAD.
6. THICKNESSES SHOWN ON DETAIL DRAWINGS ARE ACTUAL DIMENSIONS AND ARE FACE-TO-FACE OF "BASIC WALL".
7. WHERE SEALANT IS NOTED PROVIDE APPROVED (BY GYPSUM ASSOCIATION OR VIA ASTM) SEALANT COMPATIBLE WITH STC RATINGS APPLICABLE FOR WALL OR PARTITION TYPE SHOWN.
8. ALTERNATE CONSTRUCTION AND THICKNESSES FOR FIRE RATED WALLS AND PARTITIONS SHOWN OR REFERENCED WILL BE CONSIDERED AS ACCEPTABLE ALTERNATIVES IF APPROVED (IN WRITING) BY LOCALLY APPLICABLE BUILDING OFFICIALS AND IF SUBMITTED WITH COMPLETE DOCUMENTATION REGARDING ACCEPTABILITY, TESTING REFERENCES, MATERIALS AND/OR DIMENSIONAL DIFFERENCES (IF ANY) IN ADVANCE OF CONSTRUCTION AND/OR INCLUSION IN THE PROJECT.
9. SEE GENERAL NOTES AND NOTES RELATIVE TO THIS PROJECT.
10. TAPING AND SANDING OF JOINTS IN GYPSUM BOARD SHALL BE PERFORMED AS THOUGH THE JOINTS FINISHED SURFACE WILL BE PAINTED, REGARDLESS OF THE FINISH SCHEDULED OR NOTED UNLESS SPECIFICALLY NOTED OTHERWISE.

**ASTM REFERENCE STANDARDS FOR GYPSUM BOARD AND GYPSUM RELATED PRODUCTS AND ASSEMBLIES (REF: GYPSUM ASSOCIATION GA-600-88 MANUAL)**

1. REGULAR GYPSUM WALLBOARD ((C 36))
2. TYPE "X" GYPSUM WALLBOARD ((C36))
3. GYPSUM SHEATHING ((C 79))
4. GYPSUM BACKING BOARD ((C 442))
5. JOINT TREATMENT ((C 475))
6. NAILS AND THE APPLICATION OF GYPSUM WALLBOARD ((C 514))
7. SOFFIT BOARD ("EXTERIOR" GYP. BD) ((C 931))
8. WATER RESISTANT ("WR") GYPSUM BOARD ((C 830))
9. GYPSUM COREBOARD ((C 442))
10. NON-LOAD (AXIAL) BEARING STEEL STUDS, RUNNERS (TRACK) AND RIGID FURRING CHANNELS FOR SCREW APPLICATION OF GYPSUM BOARD ((C845))
11. INSTALLATION OF STEEL FRAMING MEMBERS TO RECEIVE SCREW-ATTACHED GYPSUM WALLBOARD, BACKING BOARD OR WATER-RESISTANT GYPSUM BOARD ((C 745))
12. STEEL DRILL SCREWS FOR APPLICATION OF GYPSUM BOARD (TYPES C, W AND S) ((C 1002))
13. ACCESSORIES FOR GYPSUM WALLBOARD AND GYPSUM VENEER BASE ((C 1047))
14. FOR ITEMS NOT REFERENCED ABOVE REFER TO GYPSUM ASSOCIATION'S PUBLISHED RECOMMENDATIONS.



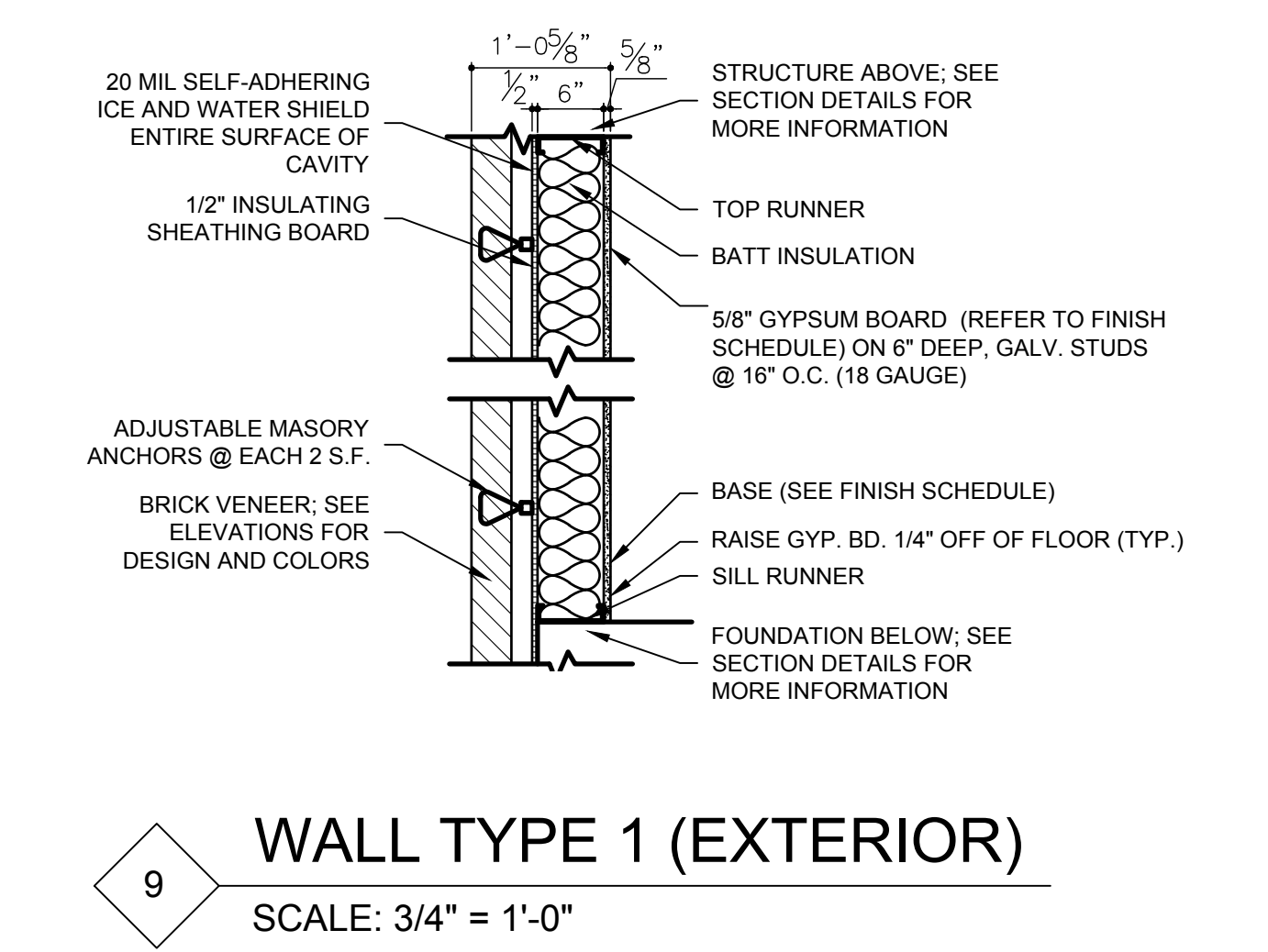
SEMI-RECESSED CABINET TO FIT IN 4-7/8" THICK WALL REMOVE EXISTING PORTION OF EXISTING WALL AS NEEDED.

SEE PLANS FOR LOCATIONS

FIRE EXTINGUISHER CABINETS SHALL BE EQUAL TO LARSEN "OCCULT" SERIES MODEL NO. SS0-2409, FULLY RECESSED, SOLID DOOR STYLE, BLACK TYPE "A" LETTERS, STAINLESS STEEL FINISH.

**A2-4** FIRE EXTINGUISHER CABINET SCALE: 1 1/2" = 1'-0"

NOTE: REMOVE PORTION OF EXISTING WALL AS REQUIRED TO INSTALL CABINET. FIELD VERIFY EXACT LOCATIONS WITH ARCHITECT SINCE DEPTH OF CABINET MAY NOT FIT IN SOME EXISTING WALLS.



**WALL TYPE 1 (EXTERIOR)**

SCALE: 3/4" = 1'-0"



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- NOTES:**
1. DETAILS SHOWN ARE TYPICAL AND SHALL APPLY TO ALL LIKE AND/OR SIMILAR CONDITIONS WHETHER SPECIFICALLY MARKED OR NOT
  2. PAINT ABOVE CEILINGS AT 12'-0" O.C. IN 2" HIGH RED LETTERS [1,2,4] HOUR FIRE WALL AND SMOKE BARRIER - PROTECT ALL OPENINGS.
  3. SEAL AROUND ALL PENETRATIONS IN RATED WALLS.
  4. PROVIDE CONTROL JOINTS @ 30'-0" O.C. FOR THIS WALL TYPE. SEE DETAIL \_\_\_\_ COORDINATE EXACT LOCATIONS WITH ARCHITECT.
  5. 600S162-68 (6" DEEP 1-5/8" WIDE, 14 GAUGE) GALV. STUDS @ 16" O.C. (MAX) ATTACHED TO RUNNERS W/ 1/2" TYPE S-12 SCREW OR PER AISI SPECS PROVIDE LATERAL SUPPORT WHERE REQ'D.
  6. SEAL AROUND ALL PENETRATIONS TO LIMIT SMOKE AND SOUND TRANSMISSION THROUGH NON-RATED WALL TYPES

\*\* ALL APPLICABLE EQUIPMENT AND CONSTRUCTION MATERIALS SHOULD BE FACTORY MUTAL RESEARCH CORPORATION (FMRC) APPROVED. ALL BUILDING MATERIALS INCLUDING ROOF COMPONENTS AND INTERIOR WALL/CEILING FINIS BOARDS USED IN CONSTRUCTION SHOULD BE FM APPROVED OR UL LISTED FOR LOW OR NON-COMBUSTIBILITY. WHEREVER FM-APPROVED ARE NOT AVAILABLE, THE PRODUCT SHOULD BE SPECIFIED AS "EQUAL TO OR BETTER THAN" FM APPROVAL SPECIFICATIONS. EACH OF THE COMPONENTS SHOULD BE LISTED AND APPROVED TO BE INSTALLED WITH ALL OTHER COMPONENTS TO ENSURE A CLASS 1 FIRE RATING. ALL FMRC APPROVED ROOF COVER SYSTEMS MAINTAIN A CLASS 1 FIRE RATING AND A MINIMUM WIND UPLIFT RATING.

\*\* GENERAL CONTRACTOR TO SUBMIT ALL ABOVE FINISH MATERIALS AND ROOF COMPONENTS TO ARCHITECT AND TO OWNERS INSURANCE UNDERWRITER PRIOR TO ORDERING AND INSTALLATION.

REVISIONS	
DATE	DESCRIPTION

**PROJECT:**

**TOURISM OFFICE RENOVATION**

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

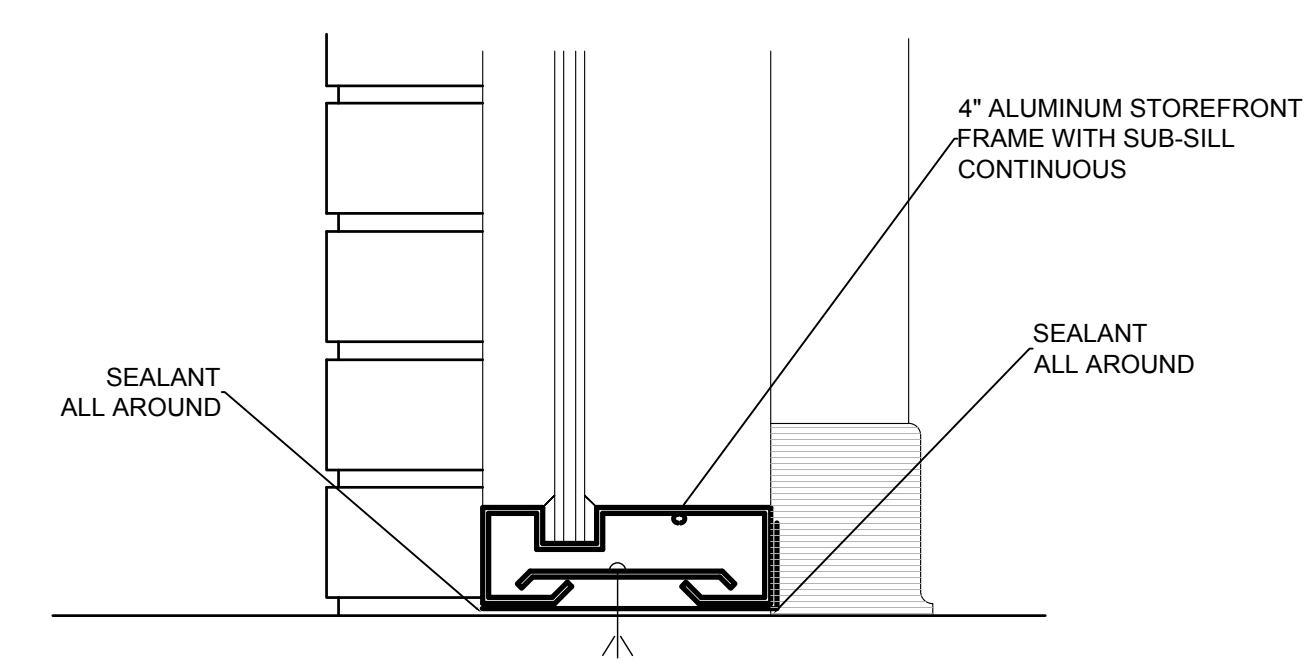
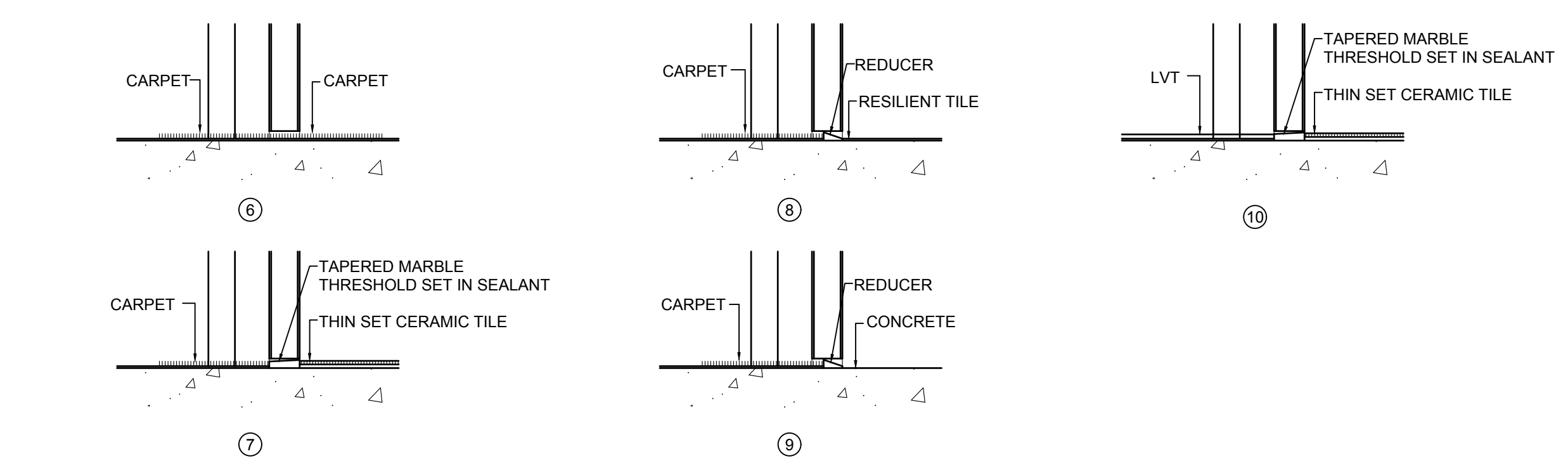
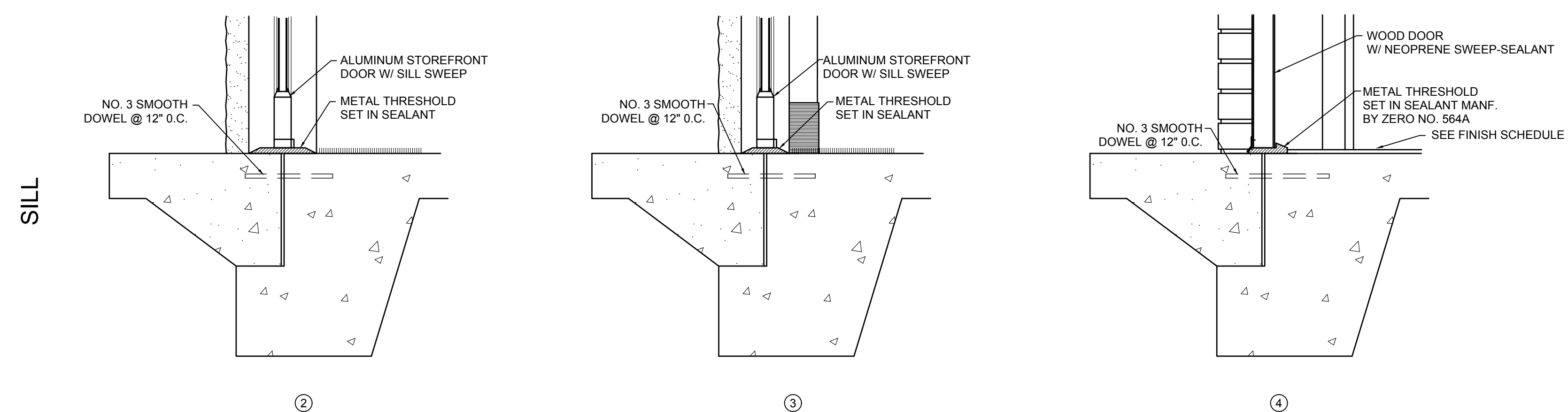
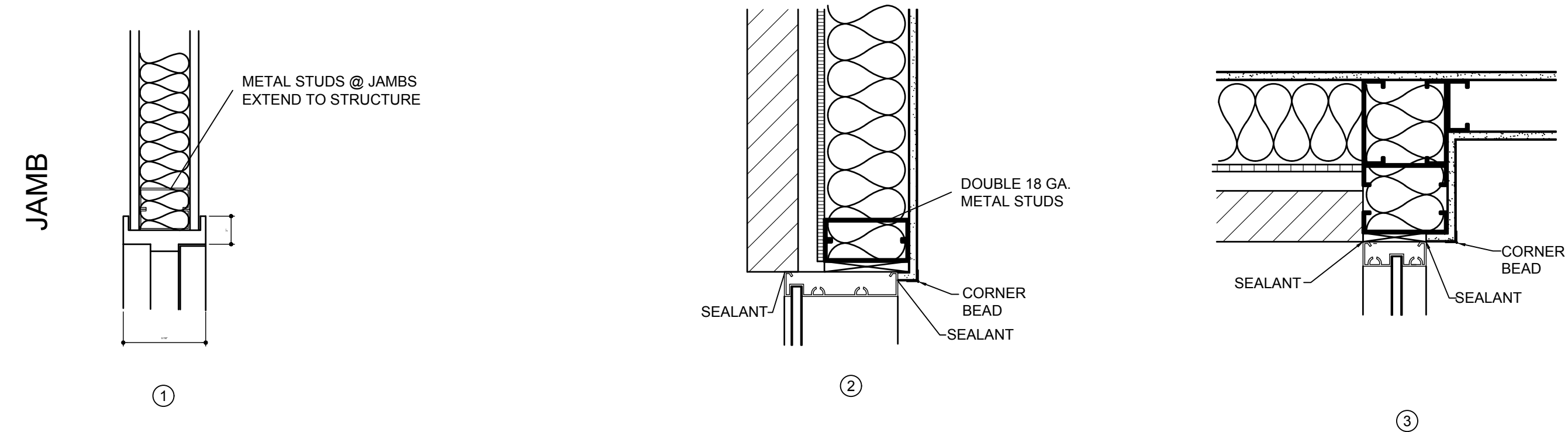
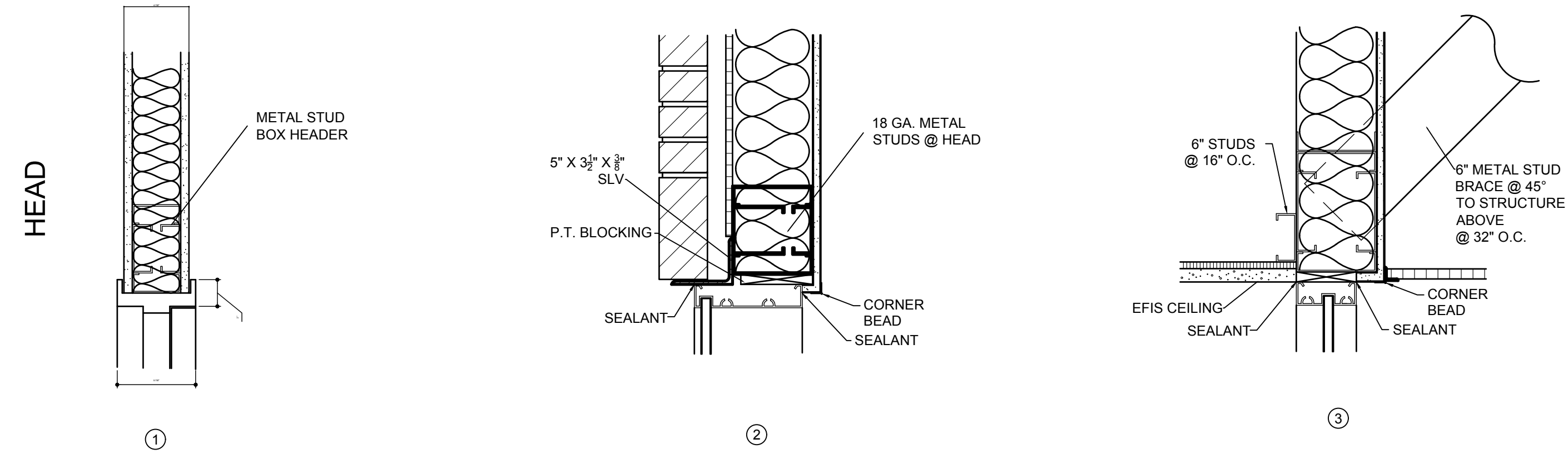
**TITLE:**

**WALL TYPES**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A2-4</b>



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**SILL AT STOREFRONT**  
 SCALE: 3" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**HEAD, JAMB, SILL DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A2-5</b>



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**KEYNOTES**

① ASDF ASDF ASDF

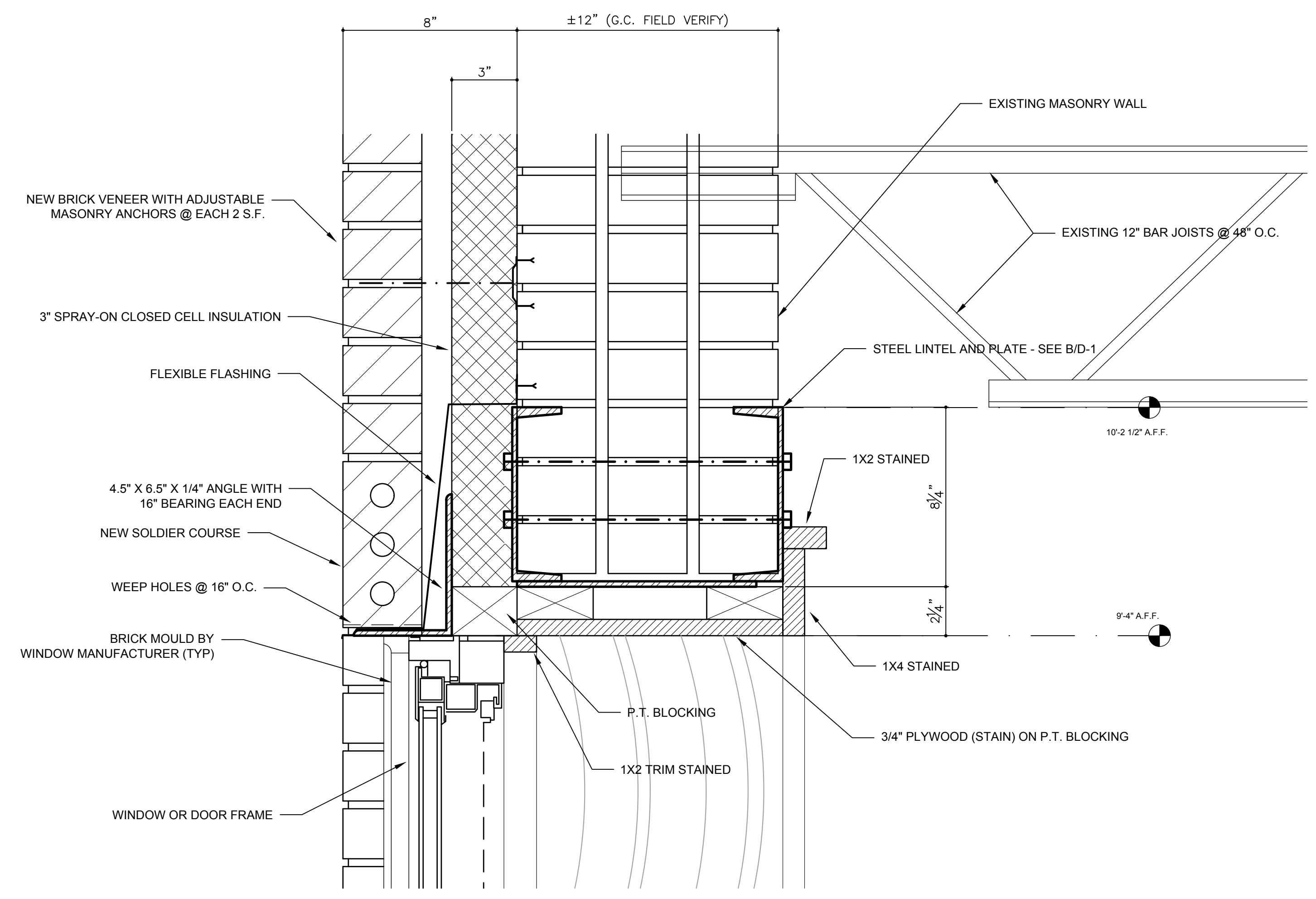
**REVISIONS**

Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

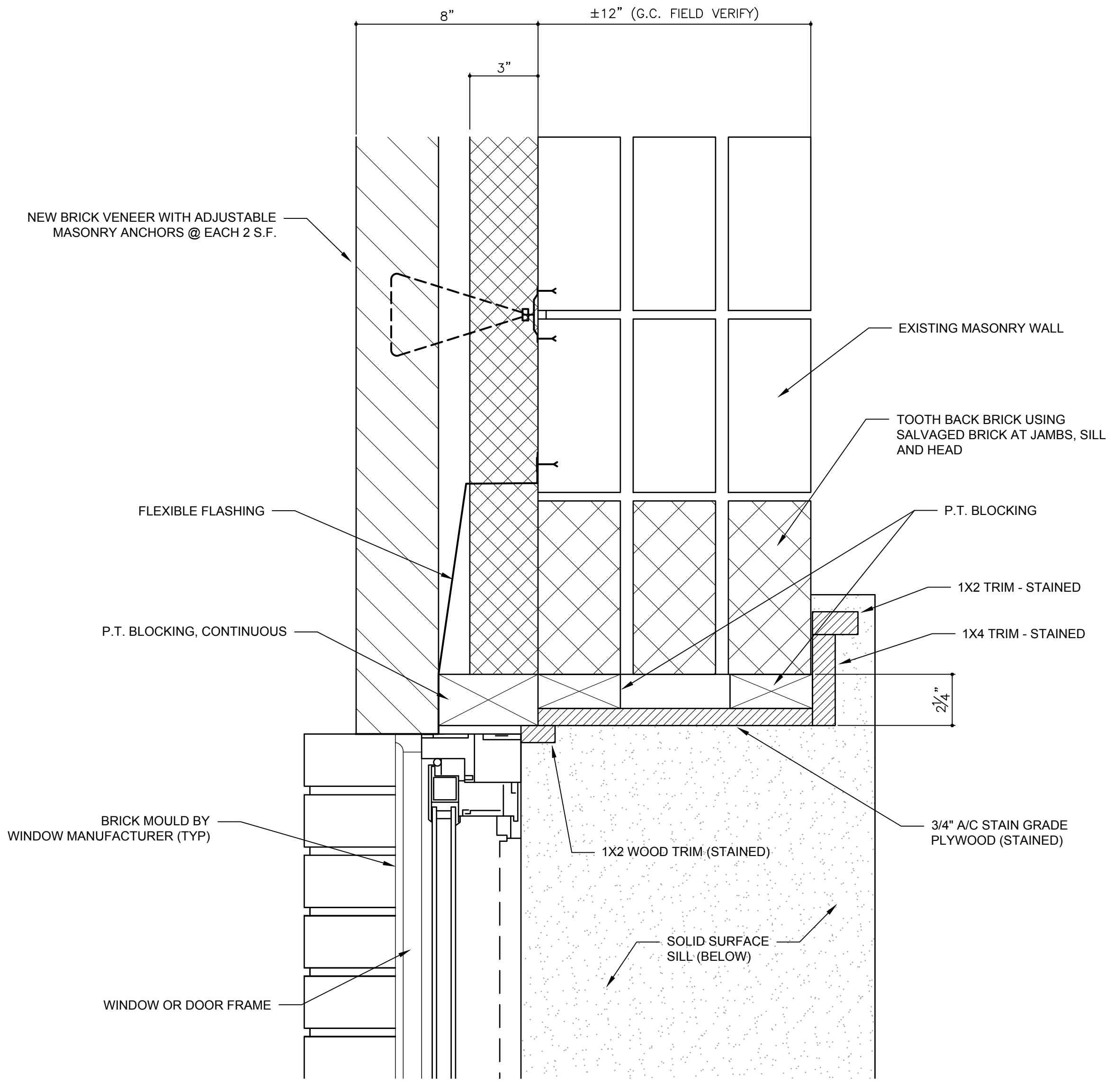
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**WALL DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE:	SHEET: <b>A2-6</b>
FOR PRICING 24 APR 2020	



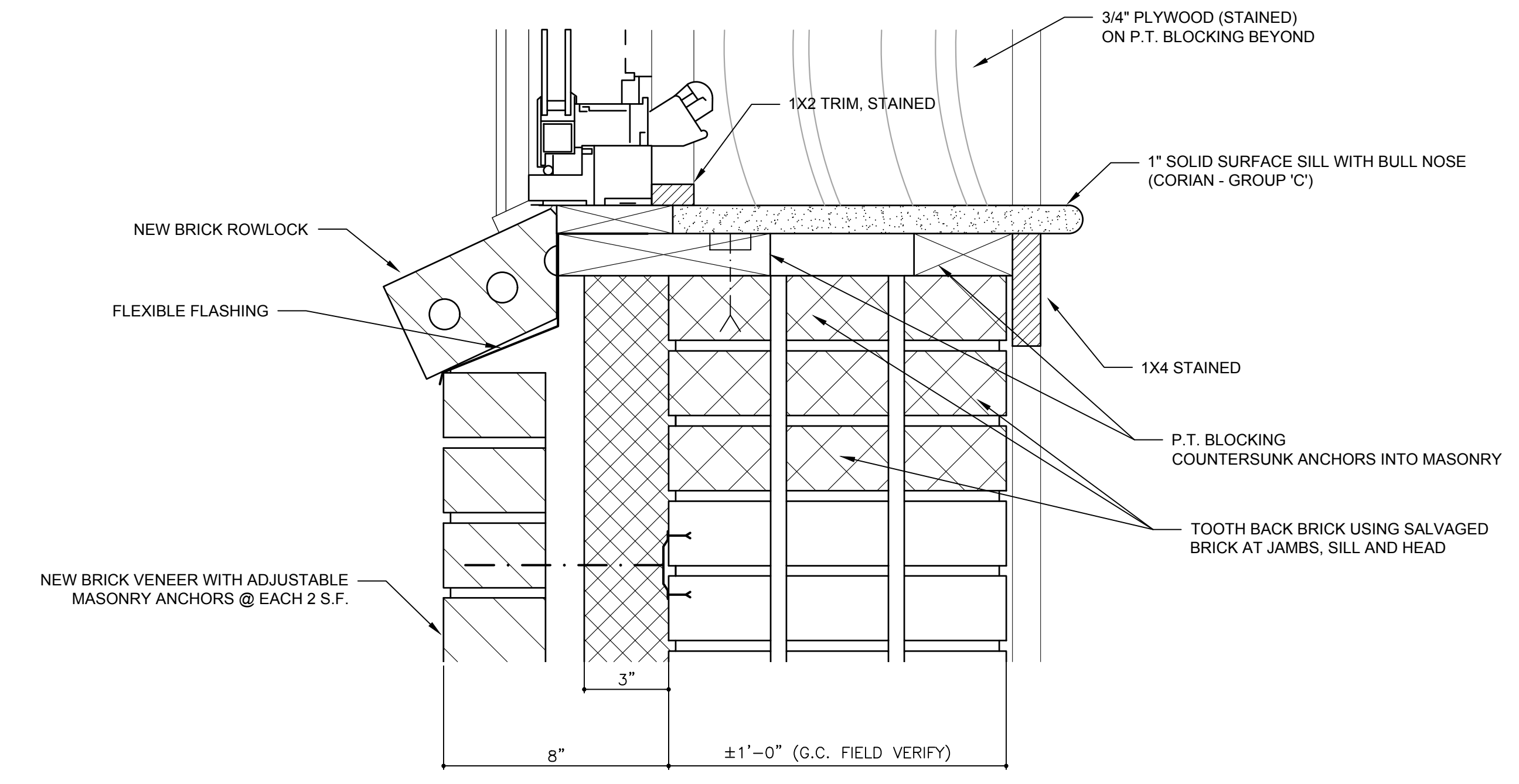
**HEAD DETAIL (BASE BID)**

SCALE: 3" = 1'-0"



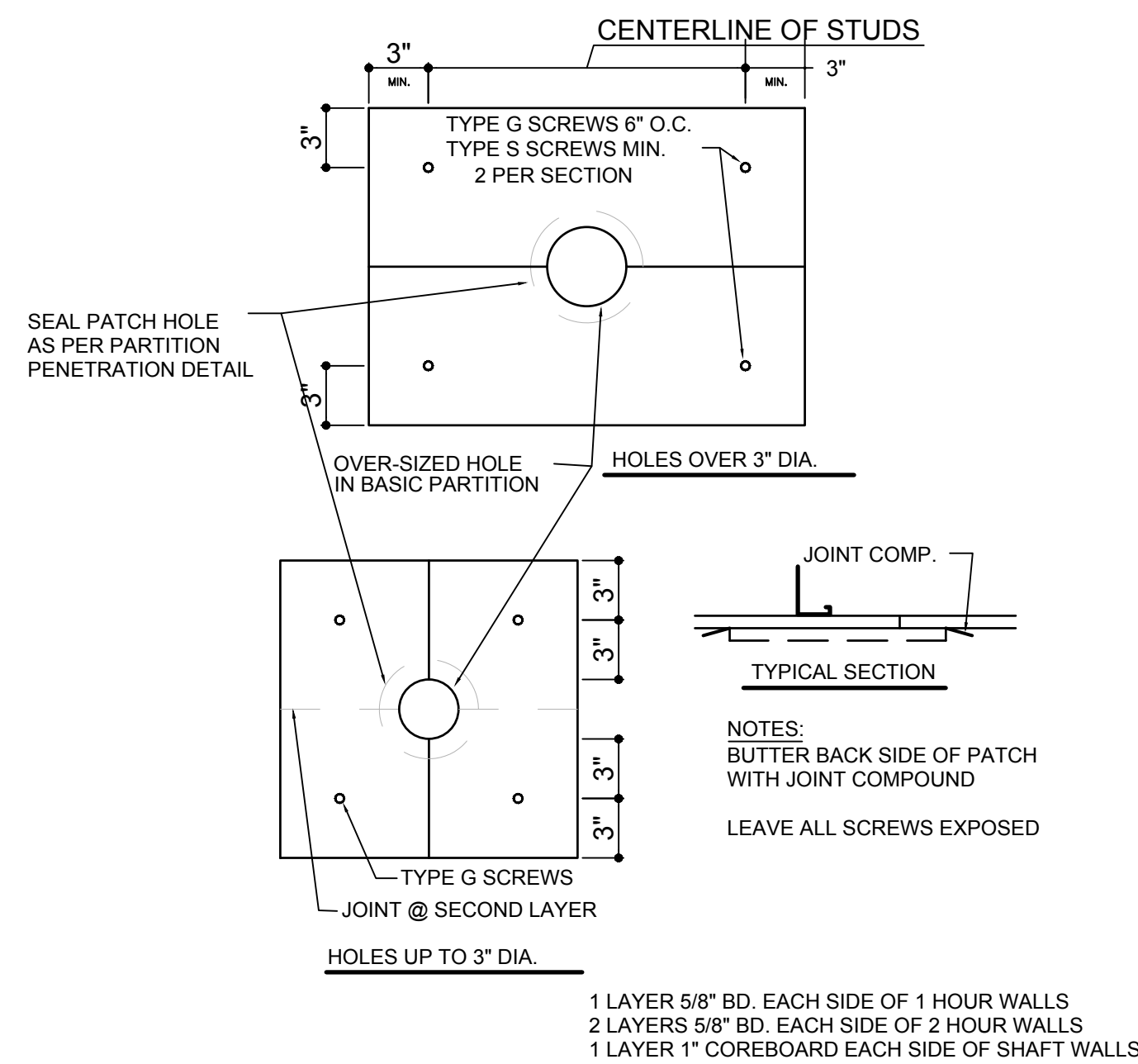
**JAMB DETAIL (BASE BID)**

SCALE: 3" = 1'-0"

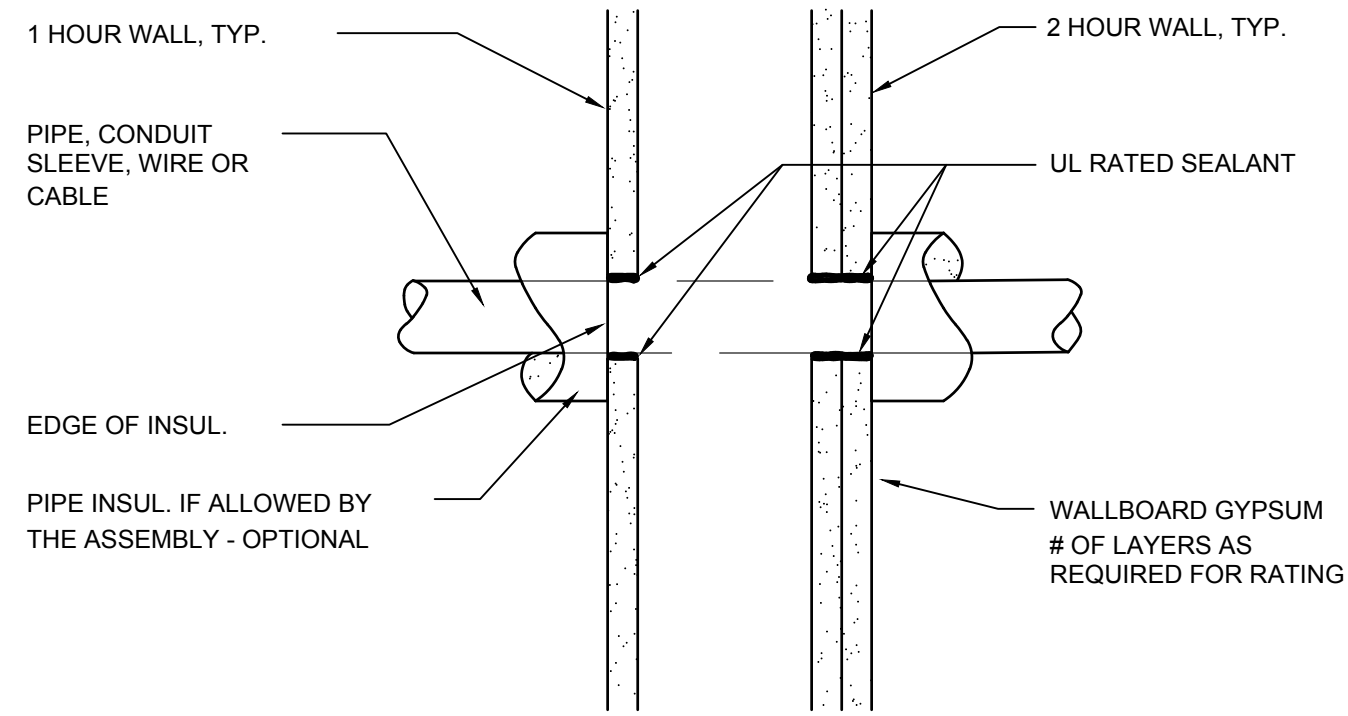


**SILL DETAIL (BASE BID)**

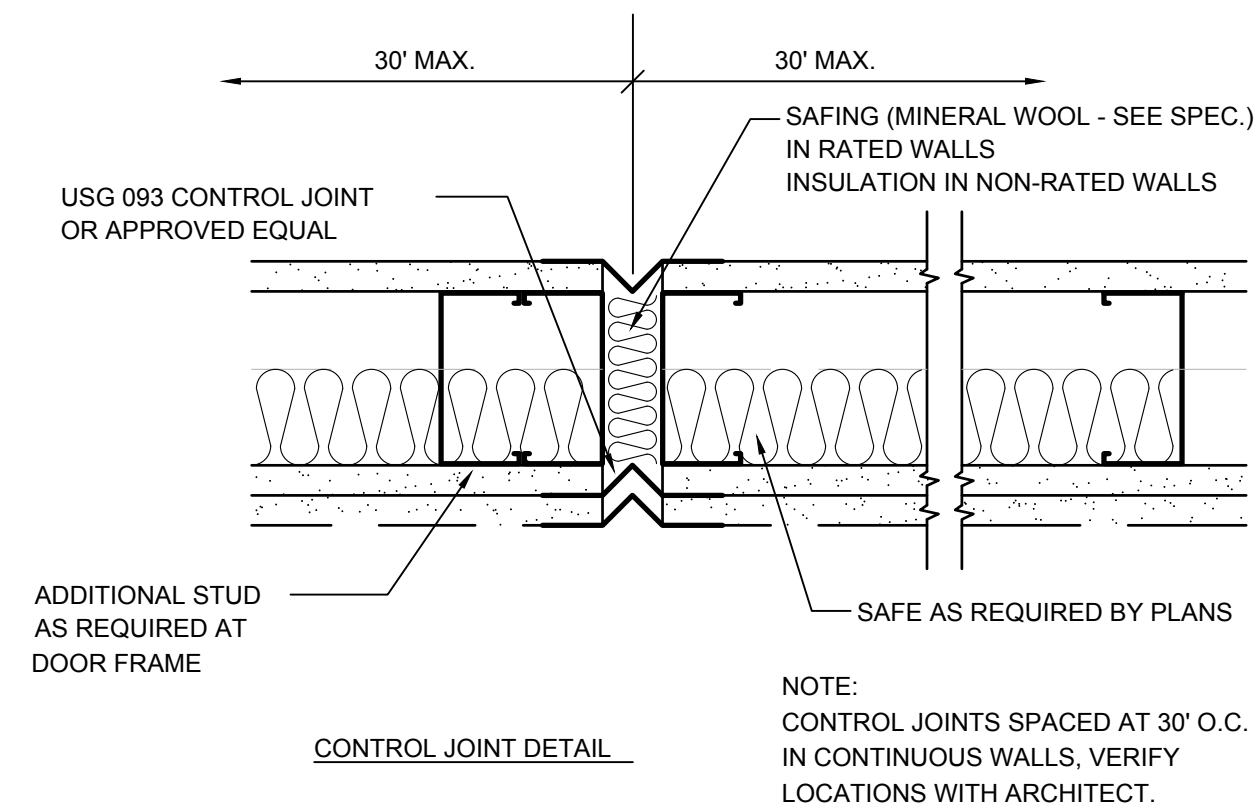
SCALE: 3" = 1'-0"



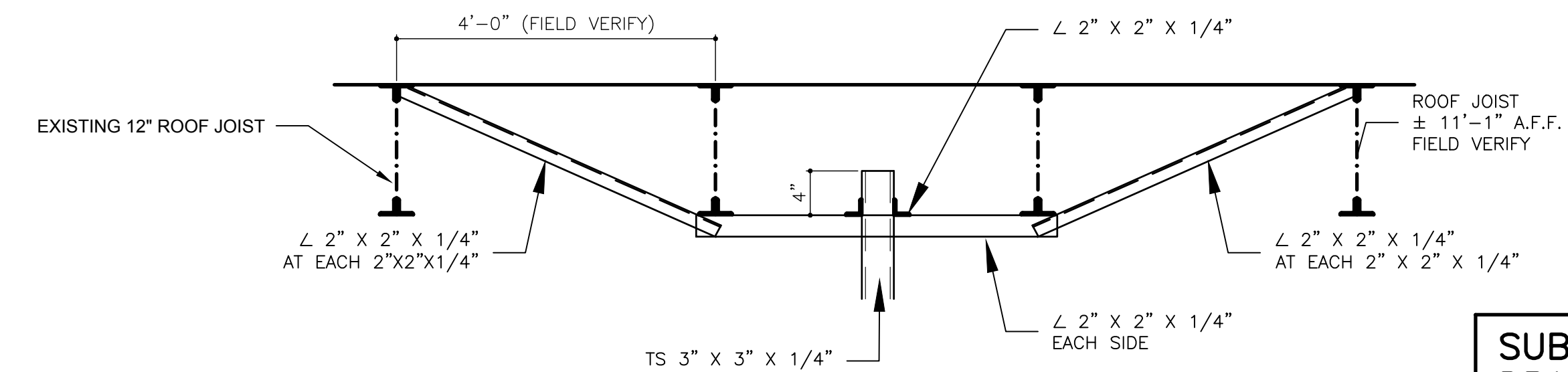
**A**  
A2-7  
**BLOW-OUT PATCH**  
SCALE: 1-1/2" = 1'-0"



**B**  
A2-7  
**GENERIC RATED WALL PENETRATION**  
SCALE: 3" = 1'-0" SIMILAR TO U.L. #WL1001



**C**  
A2-7  
SCALE: 3" = 1'-0"



**D**  
A2-7  
**SLIP CONNECTIONS AT TOP OF POSTS TO ROOF JOISTS**  
NOT TO SCALE

**SUBMIT DETAILED SHOP DRAWINGS OF DOORS TO BE PROVIDED. CONFIRM ALL DIMENSIONS. DIMENSIONS ON THIS DRAWING ARE FOR REFERENCE ONLY AND NOT FOR CONSTRUCTION.**

**GENERAL NOTES REGARDING GYPSUM WALLBOARD CONSTRUCTION**

- USE "WR" GYPSUM BOARD IN ALL AREAS SUBJECT TO WEATHER, DAMPNES OR AREAS WHICH WILL "TYPICALLY" BE MOIST, INCLUDING BUT NOT LIMITED TO BATHROOMS, TOILET ROOM, KITCHEN AND BREAK ROOM FURNITURE WALLS, ETC.
- USE EXTERIOR TYPE ("SOFFIT BOARD") GYPSUM BOARD IN ALL AREAS EXPOSED DIRECTLY TO EXTERIOR WEATHER CONDITIONS.
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- PROVIDE WOOD BLOCKING AND/OR BRACING AT ALL DOOR FRAMES AND CASED OPENINGS. THIS BLOCKING AND/OR BRACING MUST EXTEND FROM FINISHED FLOOR (STRUCTURAL SURFACE) TO STRUCTURE ABOVE IS POSSIBLE AND WHERE THIS IS NOT POSSIBLE EXTEND AND SECURE TO TOP RUNNER OF WALL OR PARTITION AND THE ACROSS DOOR OR OPENING HEAD.
- THICKNESSES SHOWN ON DETAIL DRAWINGS ARE ACTUAL DIMENSIONS AND ARE FACE-TO-FACE OF "BASIC WALL".
- WHERE SEALANT IS NOTED, PROVIDE APPROVED (BY GYPSUM ASSOCIATION OR VIA ASTM) SEALANT COMPATIBLE WITH STC RATINGS APPLICABLE FOR WALL OR PARTITION TYPE SHOWN.
- ALTERNATE CONSTRUCTION AND THICKNESSES FOR FIRE RATED WALLS AND PARTITIONS SHOWN OR REFERENCED WILL BE CONSIDERED AS ACCEPTABLE ALTERNATIVES IF APPROVED (IN WRITING) BY LOCALLY APPLICABLE BUILDING OFFICIALS AND IF SUBMITTED WITH COMPLETE DOCUMENTATION REGARDING ACCEPTABILITY, TESTING REFERENCES, MATERIALS AND/OR DIMENSIONAL DIFFERENCES (IF ANY) IN ADVANCE OF CONSTRUCTION AND/OR INCLUSION IN THE PROJECT.
- SEE GENERAL NOTES AND NOTES RELATIVE TO THIS PROJECT.
- TAPING AND SANDING OF JOINTS IN GYPSUM BOARD SHALL BE PERFORMED AS THOUGH THE JOINTS FINISHED SURFACE WILL BE PAINTED, REGARDLESS OF THE FINISH SCHEDULED OR NOTED UNLESS SPECIFICALLY NOTED OTHERWISE.

ASTM REFERENCE STANDARDS FOR GYPSUM BOARD AND GYPSUM RELATED PRODUCTS AND ASSEMBLIES (REF: GYPSUM ASSOCIATION GA-600-88 MANUAL)

- REGULAR GYPSUM WALLBOARD ((C 36))
- TYPE "X" GYPSUM WALLBOARD ((C36))
- GYPSUM SHEATHING ((C 79))
- GYPSUM BACKING BOARD ((C 442))
- JOINT TREATMENT ((C 475))
- NAILS AND THE APPLICATION OF GYPSUM WALLBOARD ((C 514))
- SOFFIT BOARD ("EXTERIOR" GYP. B'D) ((C 931))
- WATER RESISTANT ("WR") GYPSUM BOARD ((C 830))
- GYPSUM COREBOARD ((C 442))
- NON-LOAD (AXIAL) BEARING STEEL STUDS, RUNNERS (TRACK) AND RIGID FURRING CHANNELS FOR SCREW APPLICATION OF GYPSUM BOARD ((C645))
- INSTALLATION OF STEEL FRAMING MEMBERS TO RECEIVE SCREW-ATTACHED GYPSUM WALLBOARD, BACKING BOARD OR WATER-RESISTANT GYPSUM BOARD ((C 745))
- STEEL DRILL SCREWS FOR APPLICATION OF GYPSUM BOARD (TYPES G, W AND S) ((C 1002))
- ACCESSORIES FOR GYPSUM WALLBOARD AND GYPSUM VENEER BASE ((C 1047))
- FOR ITEMS NOT REFERENCED ABOVE REFER TO GYPSUM ASSOCIATION'S PUBLISHED RECOMMENDATIONS.

**GENERAL NOTES:**  
**SECTION 6 COLD FORMED METAL FRAMING (METAL STUDS DESIGN)**

A. SECTIONS AND DETAILS SHOWN ON THE DRAWINGS ARE FOR CONCEPT ONLY. ACTUAL MEMBER SIZE, SPACING, GAGE AND CONNECTION METAL STUDS SHALL BE DESIGNED FOR "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STRUCTURAL STEEL MEMBERS" FOR ALL APPLICABLE LOADS. APPLICABLE WIND LOADS SHALL BE DETERMINED BY THE 2006 INTERNATIONAL BUILDING CODE.

METAL STUDS SUPPORTING BRICK VENEER SHALL BE DESIGNED TO LIMIT DEFLECTION TO L/600.



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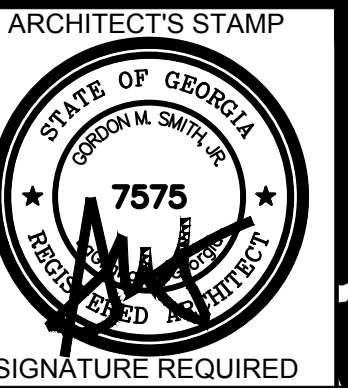
**REVISIONS**

DATE	DESCRIPTION

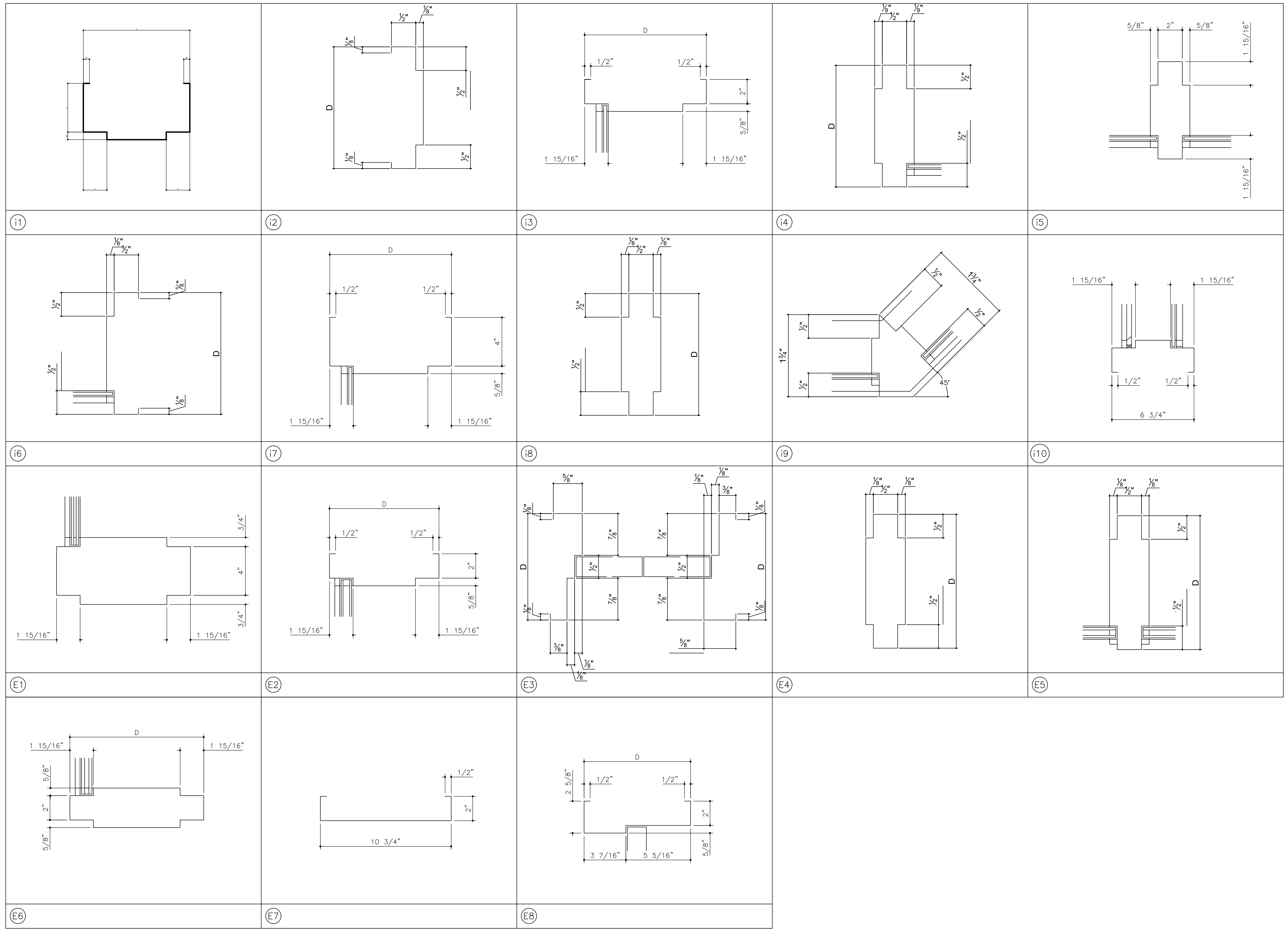
**PROJECT:**  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

**TITLE:**  
**DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 24 APR 2020	SHEET: <b>A2-7</b>



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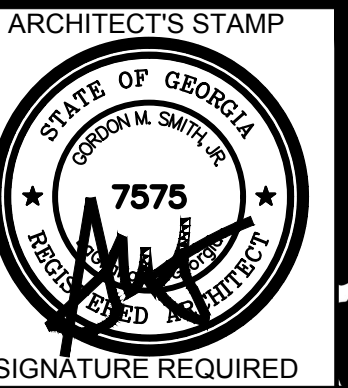
**REVISIONS**

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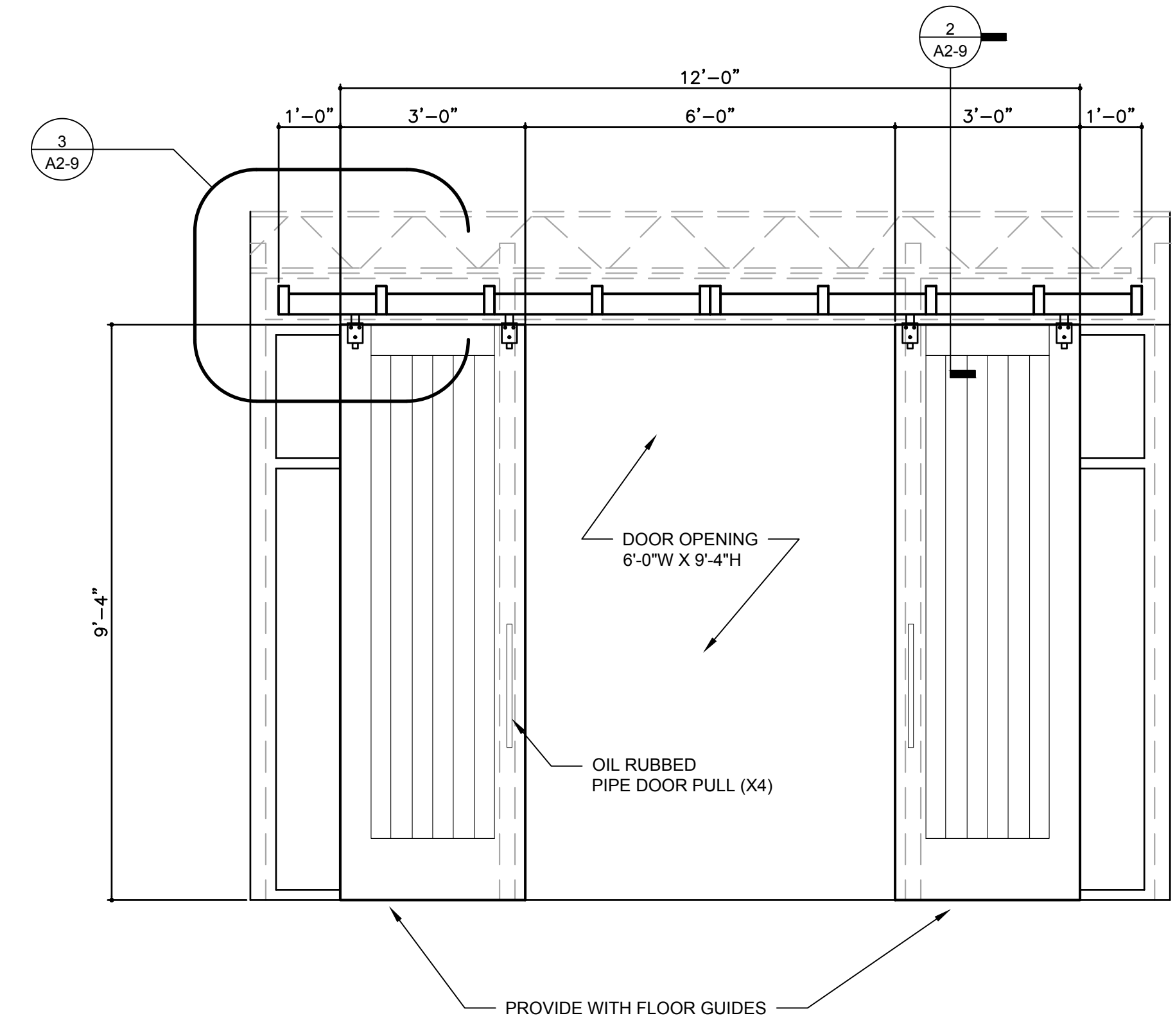
**PROJECT:**  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

**TITLE:**  
**FRAME DETAILS**

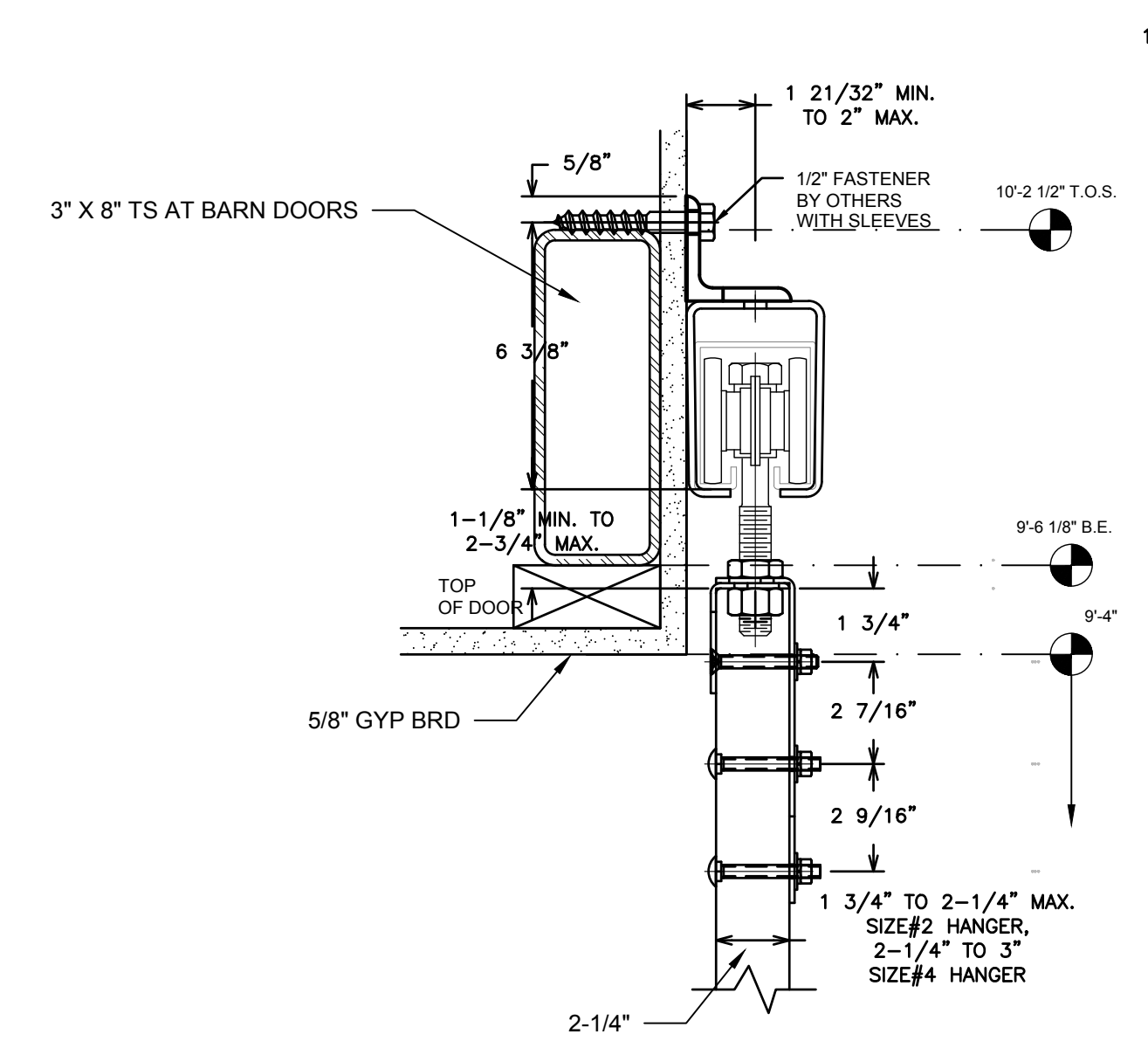
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ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A2-8</b>



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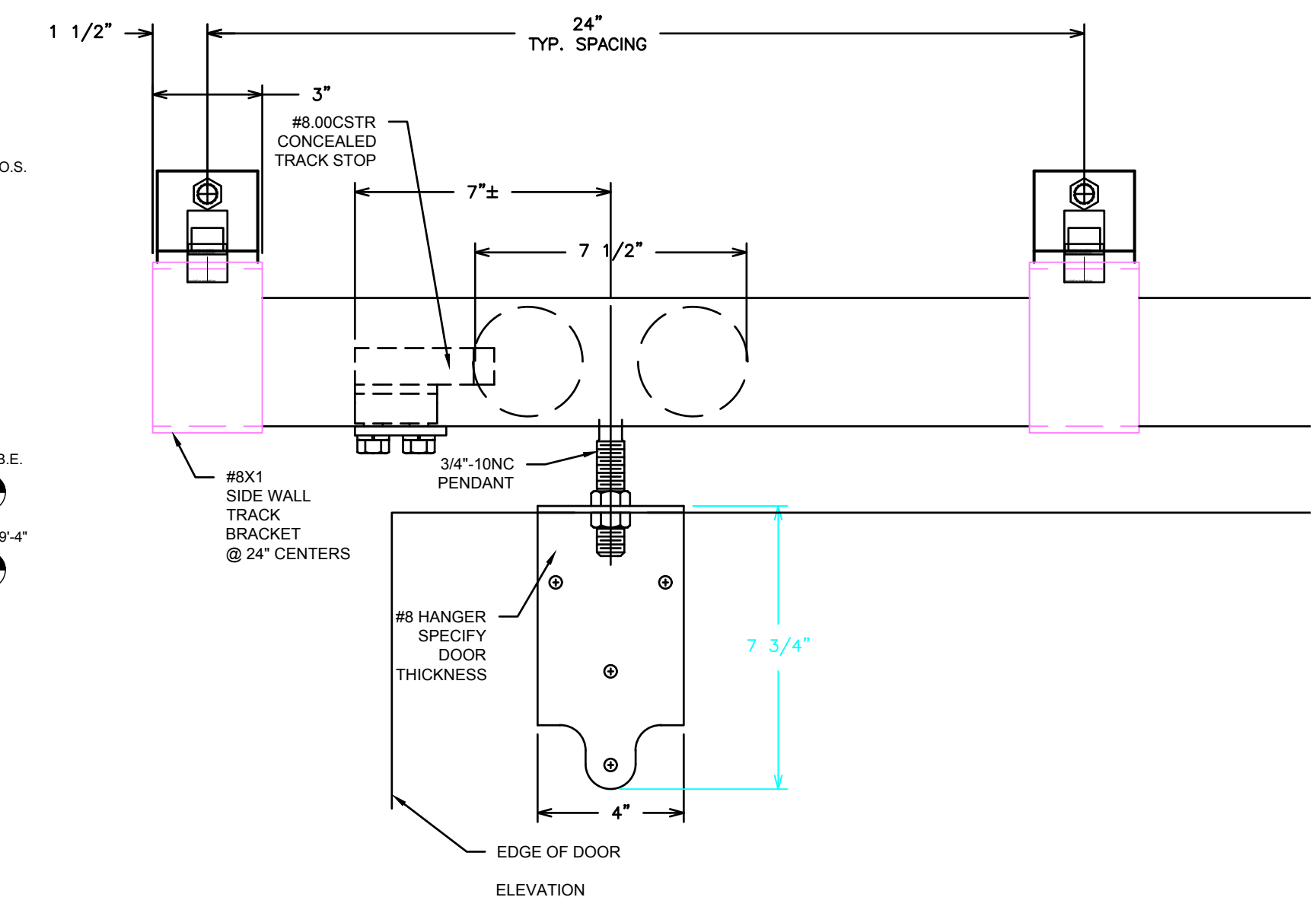


**1 BARN DOORS AT CONFERENCE ROOM**  
 Scale: 1/2" = 1'-0"



**2 BARN DOORS HEAD DETAIL**  
 Scale: 3" = 1'-0"

**BARN DOOR HARDWARE:**  
 #8 HARDWARE 800# CAP.  
 BY CROWN INDUSTRIAL SUPPLY  
 SO. SAN FRANCISCO, CA  
 650-952-5150



**3 BARN DOORS TRACK ELEVATION**  
 Scale: 3" = 1'-0"

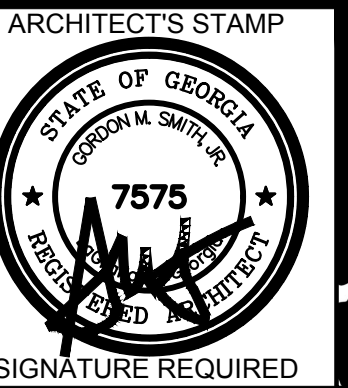
**BARN DOOR HARDWARE:**  
 14'-0" TRACK #8, 800# CAPACITY WITH BLACK FINISH  
 BY CROWN INDUSTRIAL SUPPLY  
 SO. SAN FRANCISCO, CA  
 650-952-5150

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**DOOR / FRAME DETAILS**

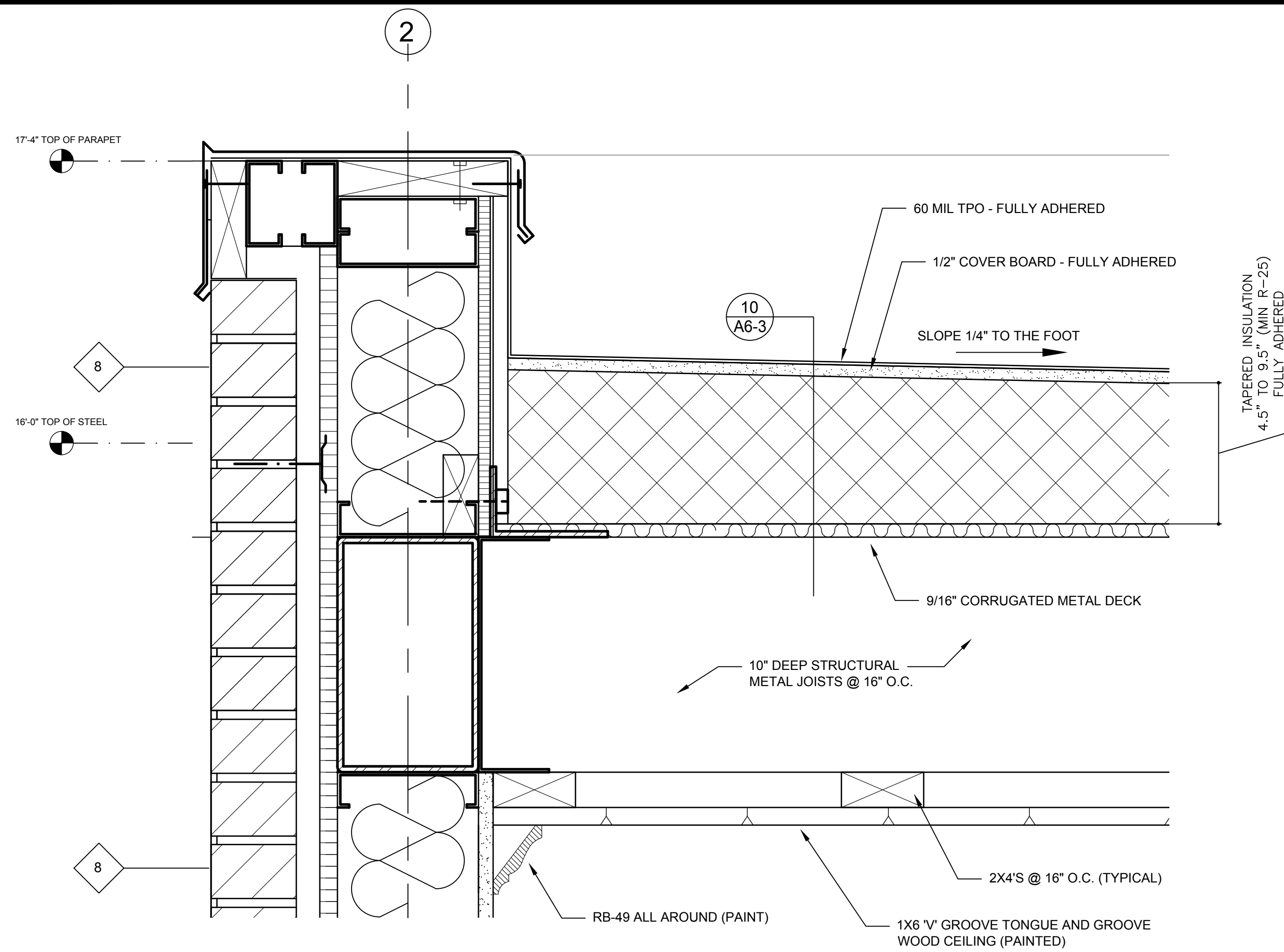
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ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A2-9</b>



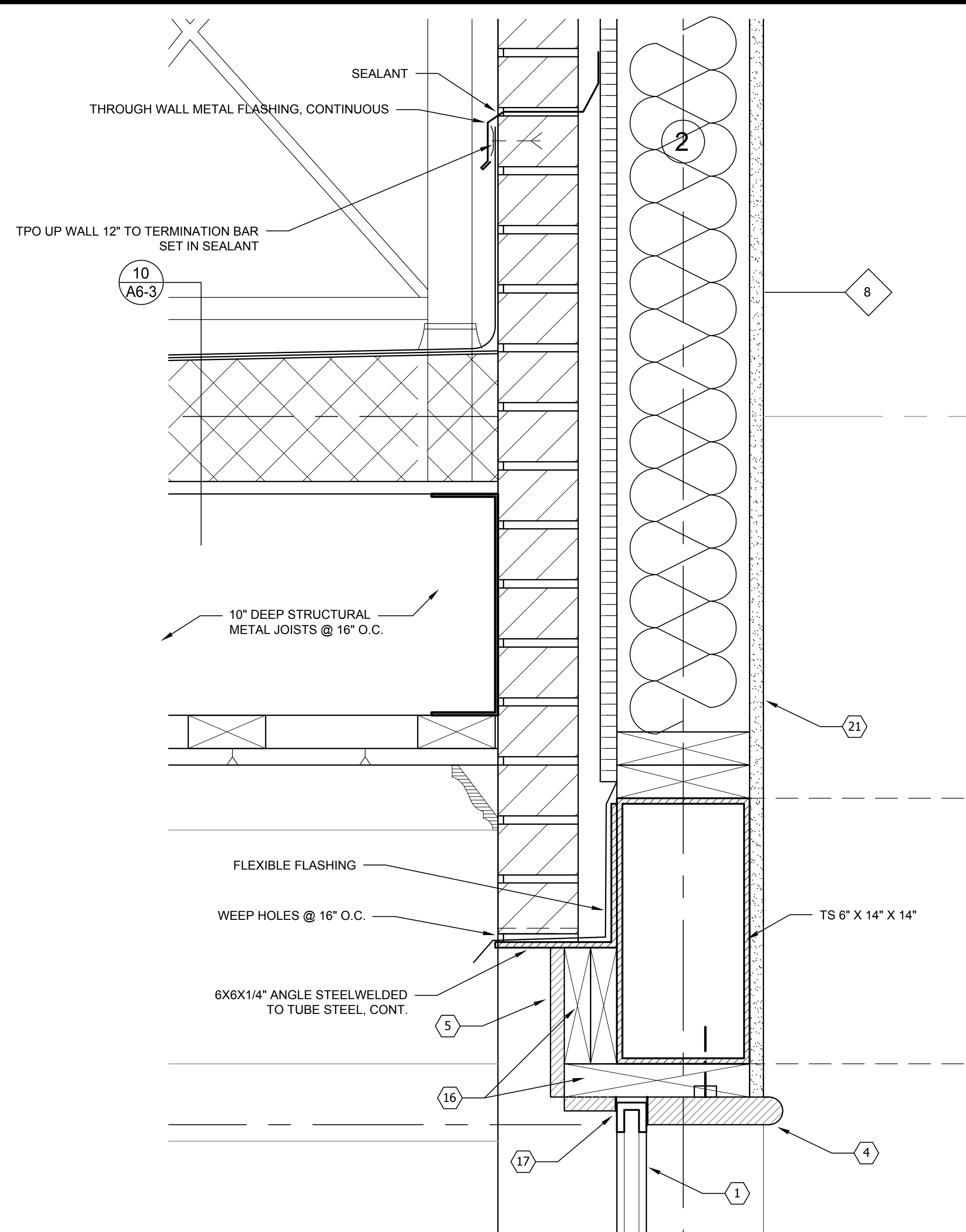
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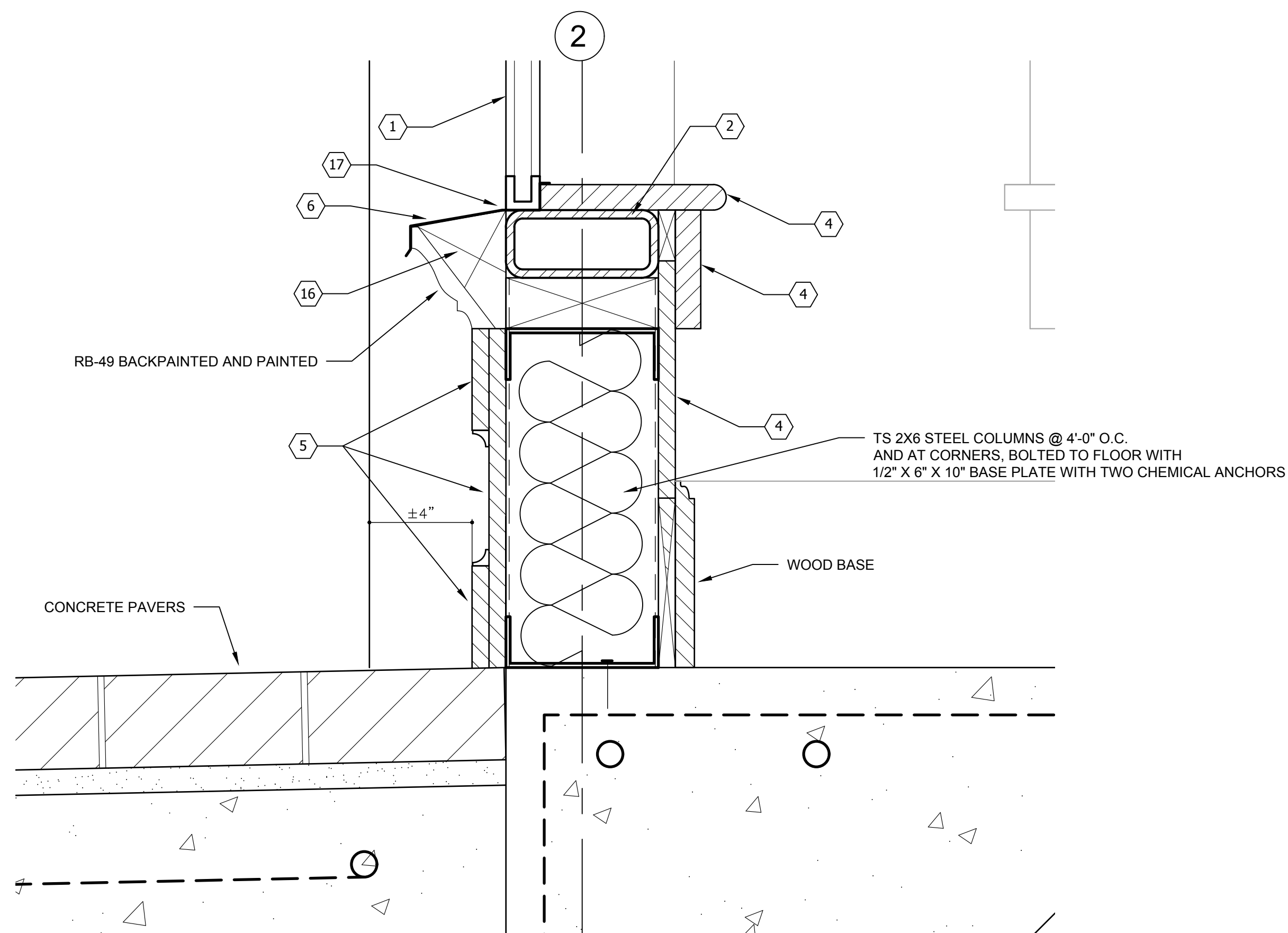
**LEGEND**  
 5 WALL TYPE DESIGNATION: SEE SHEET A2-5.



**1 SECTION DETAIL**  
 A2-10 SCALE: 3" = 1'-0"



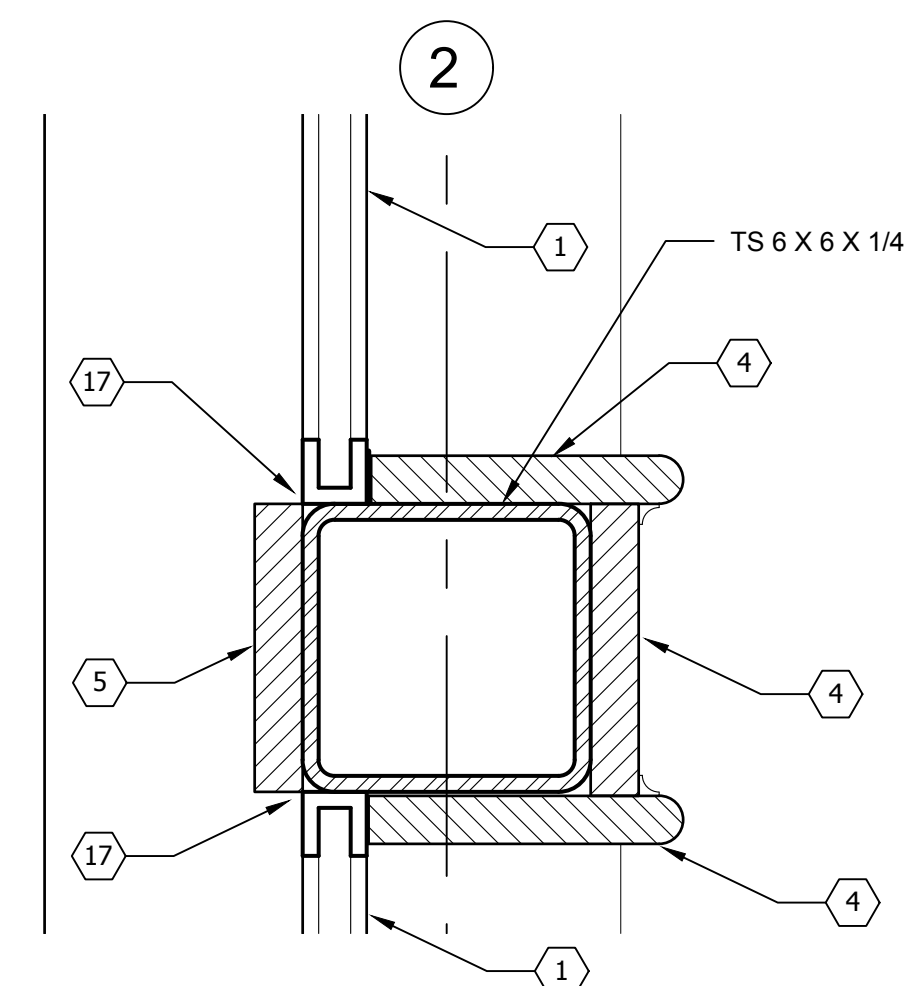
**2 SECTION DETAIL**  
 A2-10 SCALE: 3" = 1'-0"



**4 SECTION DETAIL**  
 A2-10 SCALE: 3" = 1'-0"

**KEYNOTES**

- ① 3/4" THICK TEMPERED GLASS IN 1" METAL FRAME (SUBMIT DETAILS TO ARCHITECT FOR APPROVAL) PROVIDE BUTT JOINTS AS REQUIRED.
- ② TS 6" X 2" X 1/4" WELDED TO FRAME. (SUBMIT SHOP DRAWINGS)
- ③ 6" METAL STUDS WITH 6" BATT INSULATION (STUDS 6005162-43) STAIN.
- ④ FINISHED 1-BY WITH CONTINUOUS CORNER MOULD; BACKPAINT AND PAINT; BULLNOSE ONE END.
- ⑤ HARDIE BOARD; BACK PAINT AND PAINT.
- ⑥ METAL DRIP FLASHING UP UNDER GLASS FRAME
- ⑦ METAL DRIP FLASHING
- ⑧ 6" DEEP HOLLOW METAL FRAME ATTACHED TO TS 2 X 6; PAINT.
- ⑨ 2 1/4" THICK WOOD DOOR
- ⑩ BRICK MOULDING. BACK PAINT AND PAINT.
- ⑪ STEEL LINTEL. SEE SCHEDULE.
- ⑫ 1 5/8" METAL STUDS @ 16"
- ⑬ CORNER MOULD. STAIN.
- ⑭ BRICK VENEER. SEE EXTERIOR ELEVATIONS.
- ⑮ BRICK ROWLOCK
- ⑯ P.T. BLOCKING
- ⑰ SEALANT (ALL AROUND)
- ⑱ BLUESTONE PAVERS SET IN MORTAR BED
- ⑲ CONCRETE SLAB
- ⑳ FINISH FLOOR COVERING TO GO UNDER 1-BY FRAMING AT JAMBS
- ㉑ 5/8" GYPSUM BOARD
- ㉒ NEW 3/8" X 6" CONT. STEEL PLATE; WELD TO TOP AND BOTTOM OF EXISTING STEEL BEAM.
- ㉓ EXISTING 5" Ø STEEL COLUMN. FIELD VERIFY EXACT LOCATION (TO REMAIN)
- ㉔ EXISTING WOOD TRIM TO REMAIN
- ㉕ REPLACE EXISTING METAL FLASHING WITH NEW 20 GAUGE COPPER FLASHING INTO EXISTING MASONRY.
- ㉖ EXISTING STEEL BEAM (TO REMAIN)
- ㉗ EXISTING WOOD BLOCKING BOLTED TO EXISTING BEAM.



**3 SECTION DETAIL**  
 A2-10 SCALE: 3" = 1'-0"

**REVISIONS**

Δ	DATE	DESCRIPTION

PROJECT:

**TOURISM OFFICE RENOVATION**

206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:

**WALL SECTIONS DETAILS**

MODIFIED DATE:

JOB NO:

1918

ISSUED DATE:

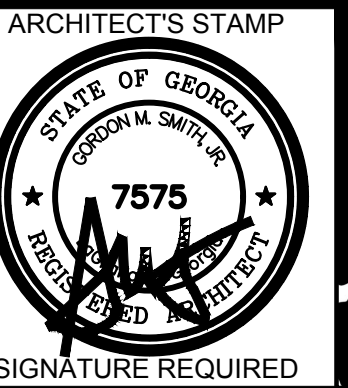
SHEET:

A2-10

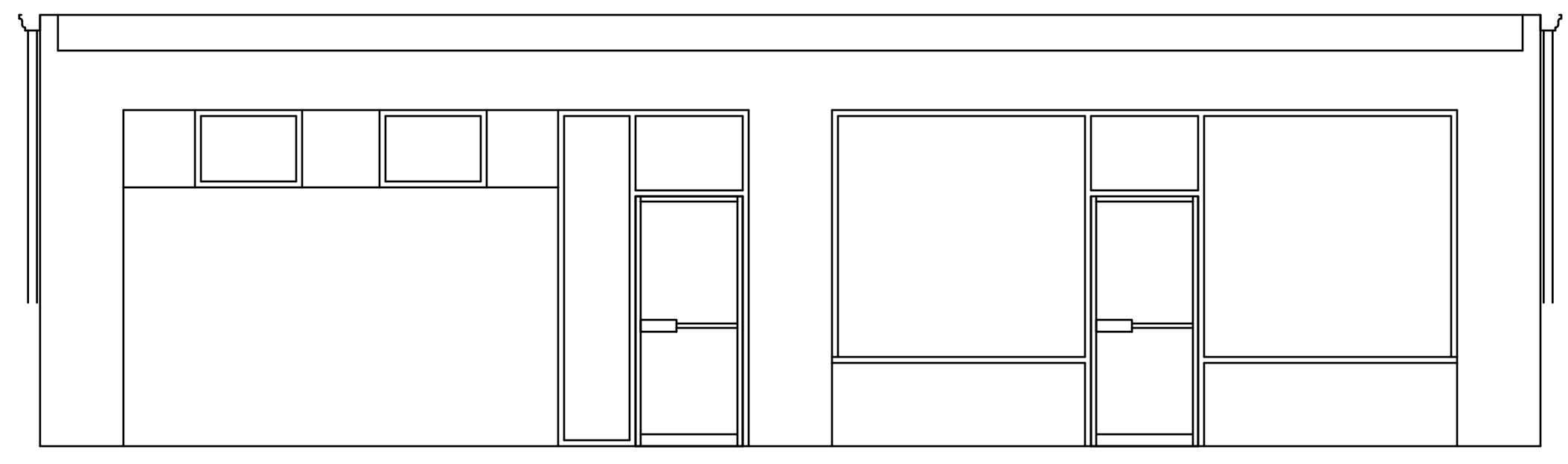
FOR PRICING

24 APR 2020

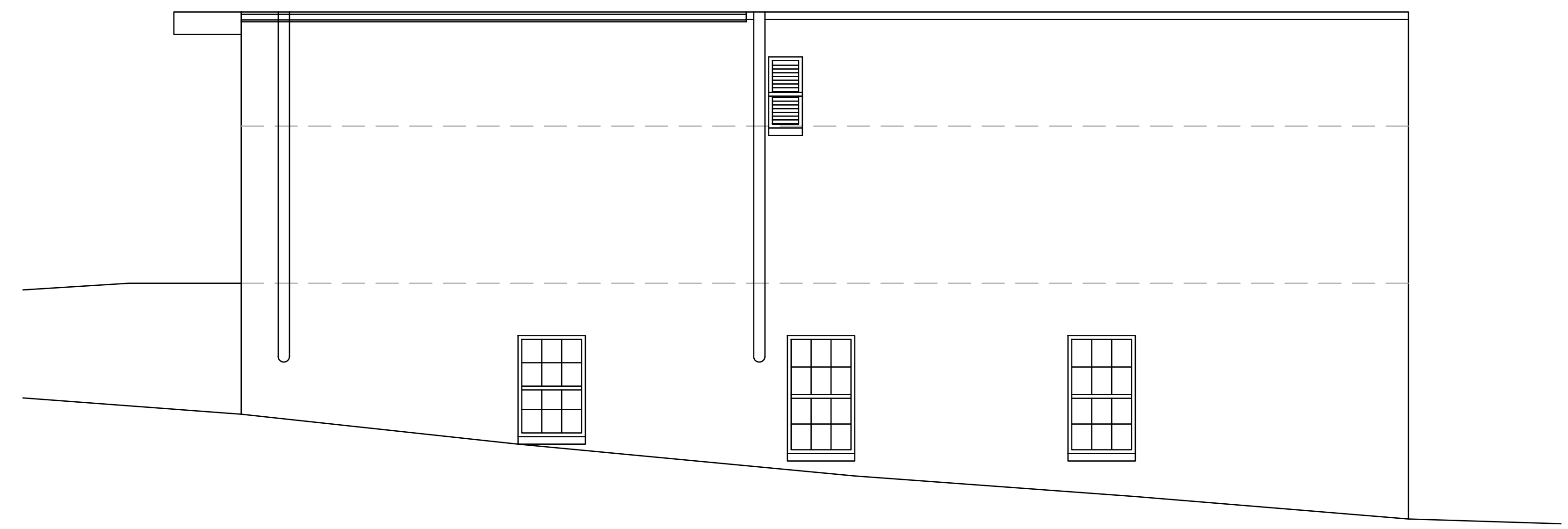




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1  
A3-1 ELEVATION - EXISTING Scale: 1/4" = 1'-0"



2  
A3-1 ELEVATION - EXISTING Scale: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

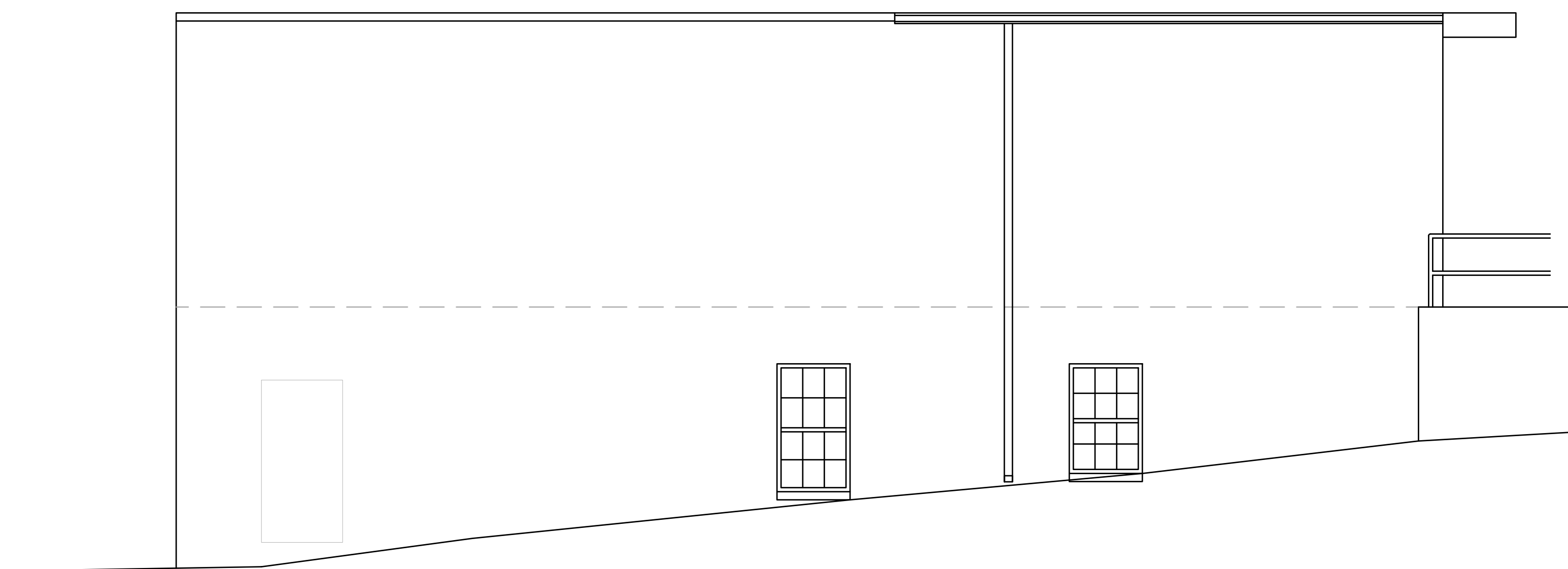
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**EXTERIOR ELEVATIONS EXISTING**

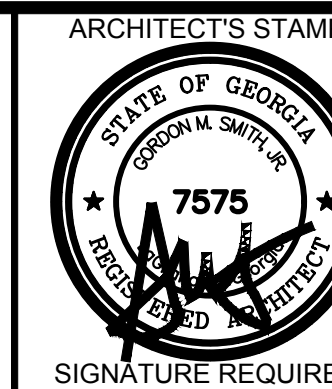
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-1</b>



1  
A3-2 ELEVATION - EXISTING / DEMOLITION  
Scale: 1/4" = 1'-0"



2  
A3-2 ELEVATION - EXISTING / DEMOLITION  
Scale: 1/4" = 1'-0"



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REVISIONS

DATE	DESCRIPTION

PROJECT:  
  
TOURISM OFFICE  
RENOVATION  
  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

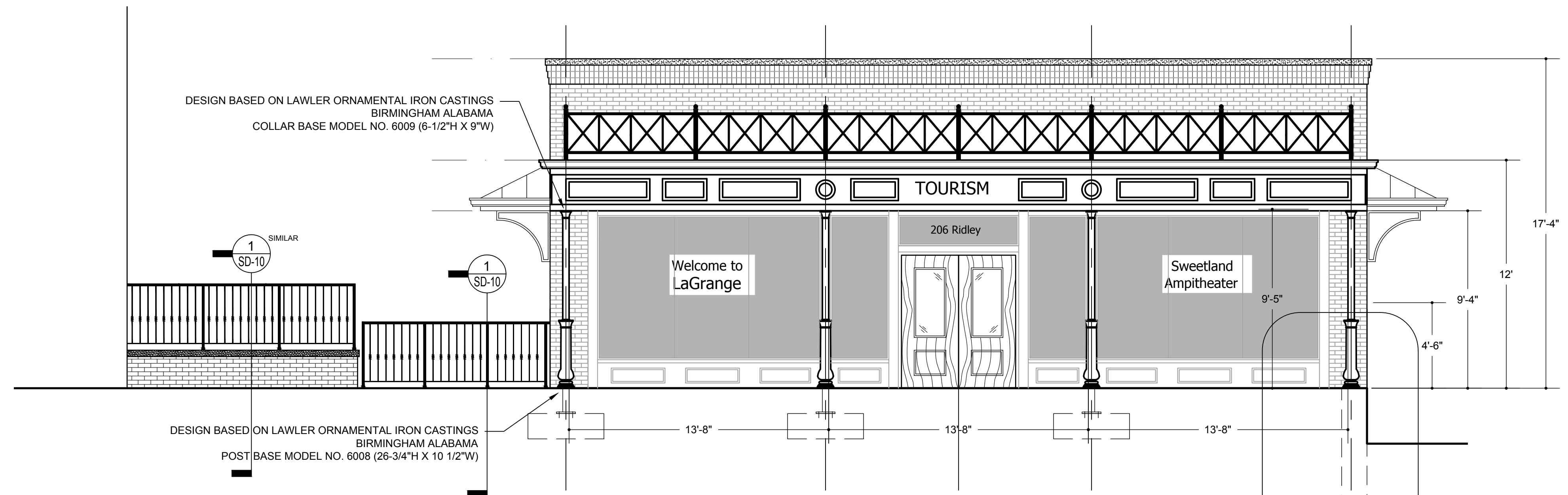
TITLE:  
  
EXTERIOR ELEVATIONS  
EXISTING

MODIFIED DATE:	JOB NO: 1918
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: A3-2



*[Handwritten Signature]*

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1  
A3-3 ELEVATION - PROPOSED Scale: 1/4" = 1'-0"



A  
A3-3 POST BASE AND COLLAR DETAIL Scale: NONE

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
  
**TOURISM OFFICE RENOVATION**  
  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

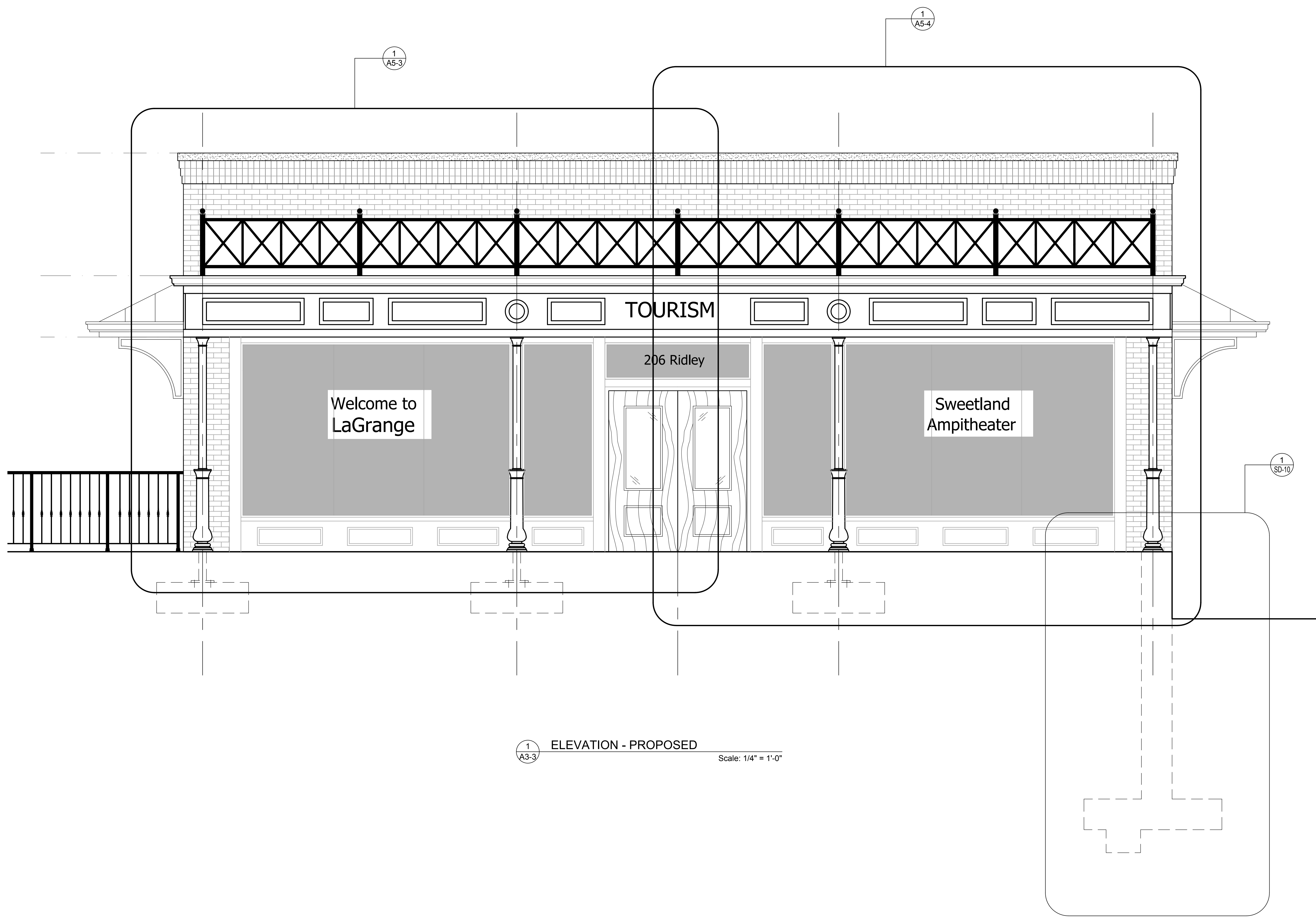
TITLE:  
  
**ELEVATION - PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-3</b>



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1  
A3-3 ELEVATION - PROPOSED Scale: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
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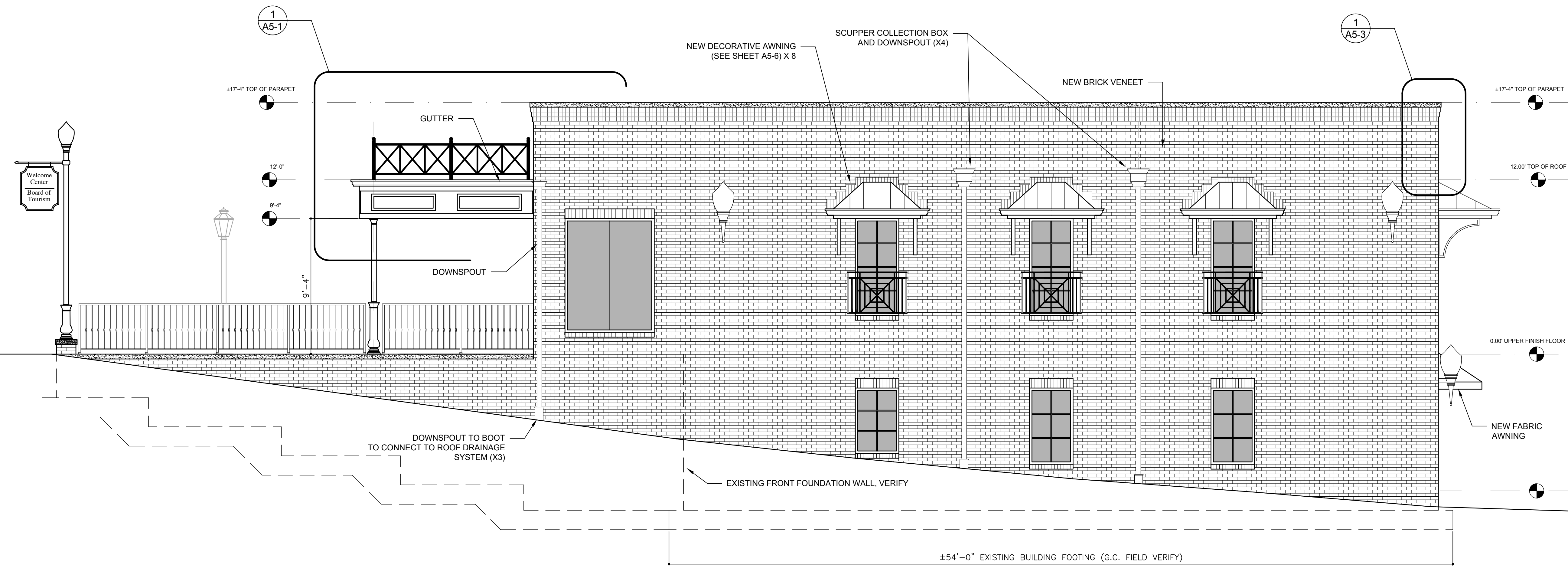
TITLE:  
**ELEVATION - PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-3A</b>



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1  
A3-4 ELEVATION - PROPOSED Scale: 1/4" = 1'-0"

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
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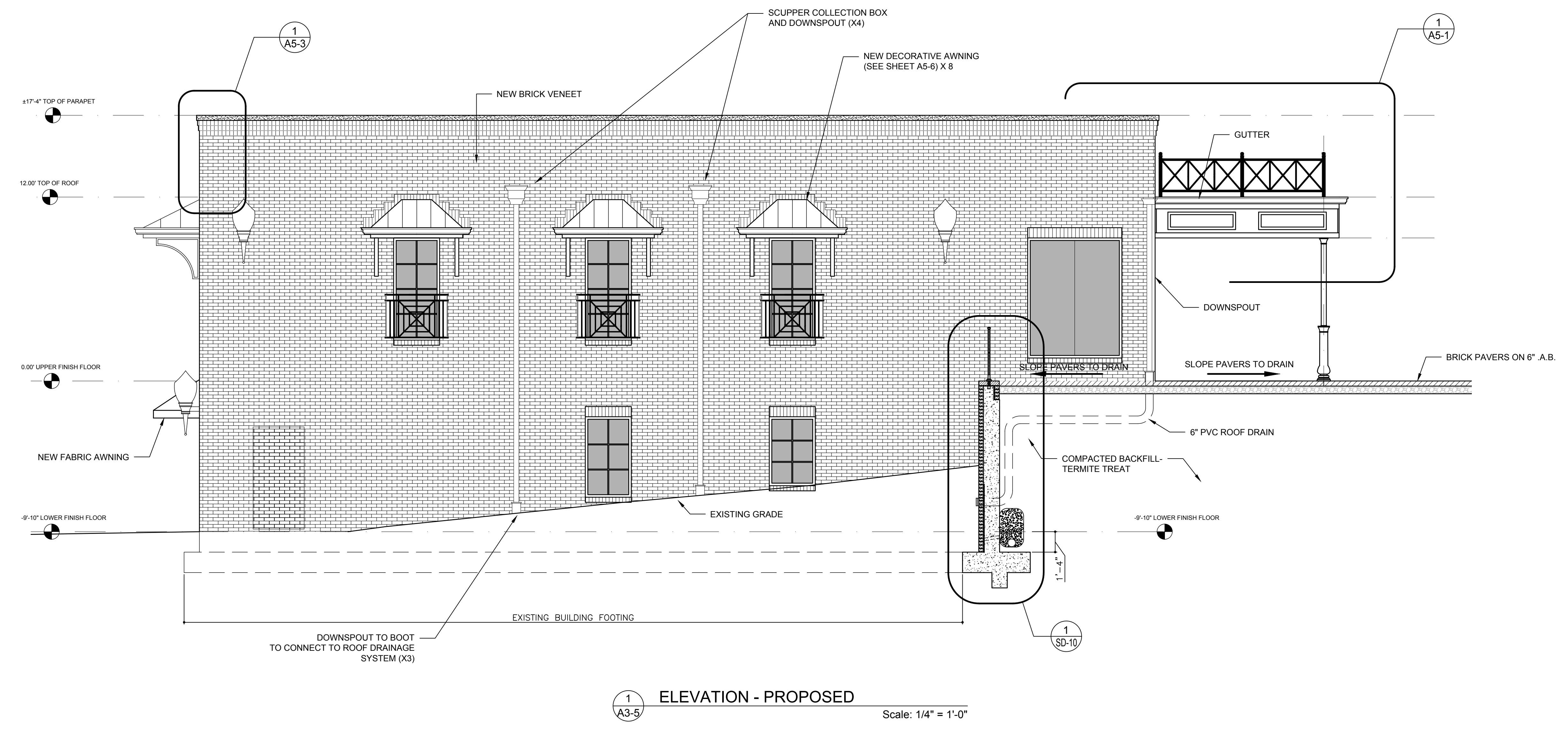
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**ELEVATION - PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-4</b>



*G. M. Smith*

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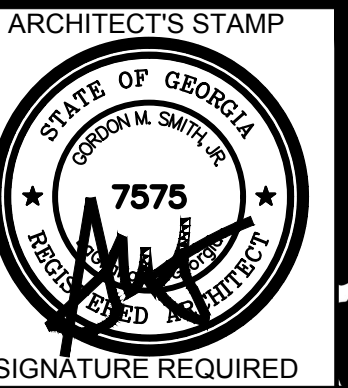
1  
A3-5 ELEVATION - PROPOSED Scale: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

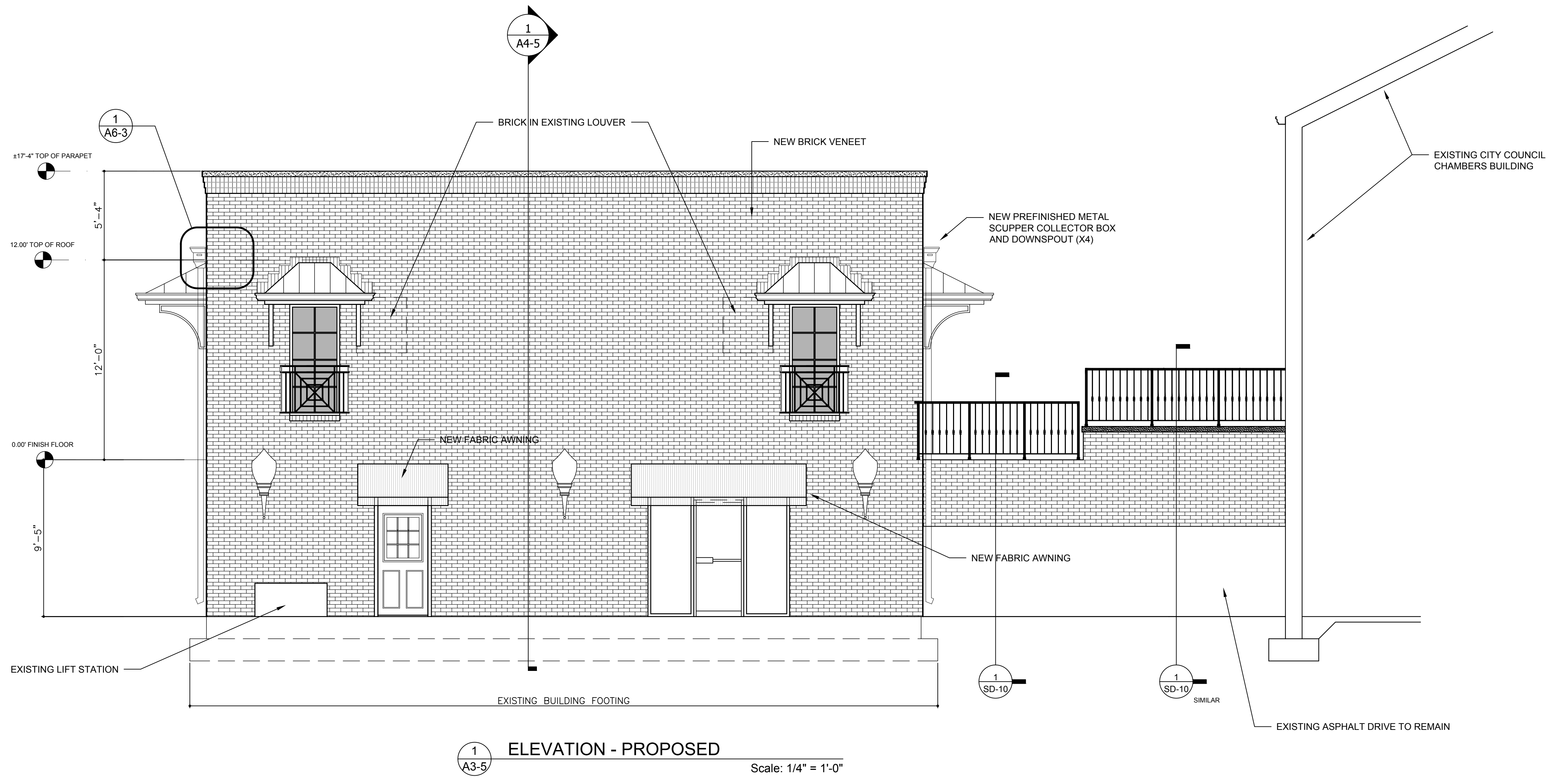
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**ELEVATION - PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-5</b>



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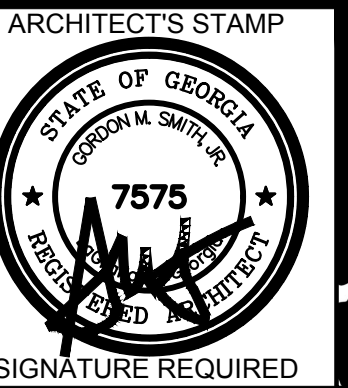
**ELEVATION - PROPOSED**  
 Scale: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

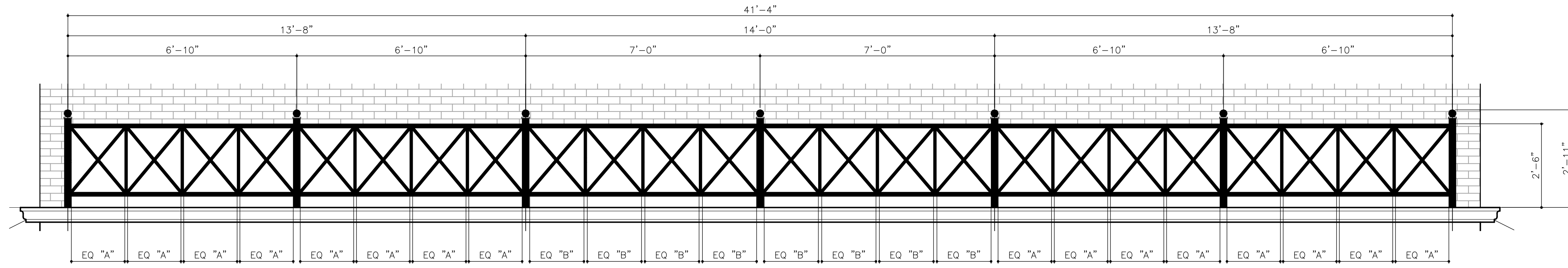
TITLE:  
**ELEVATION - PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-6</b>



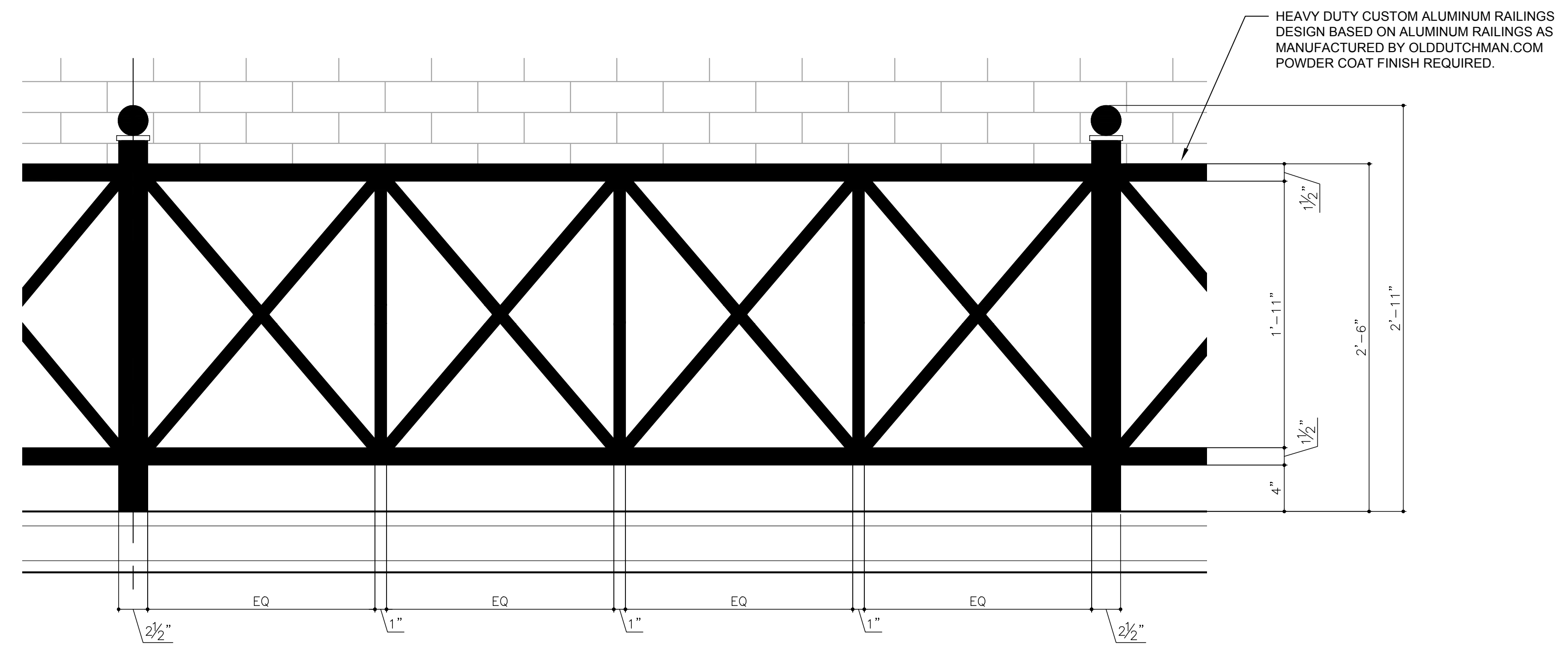
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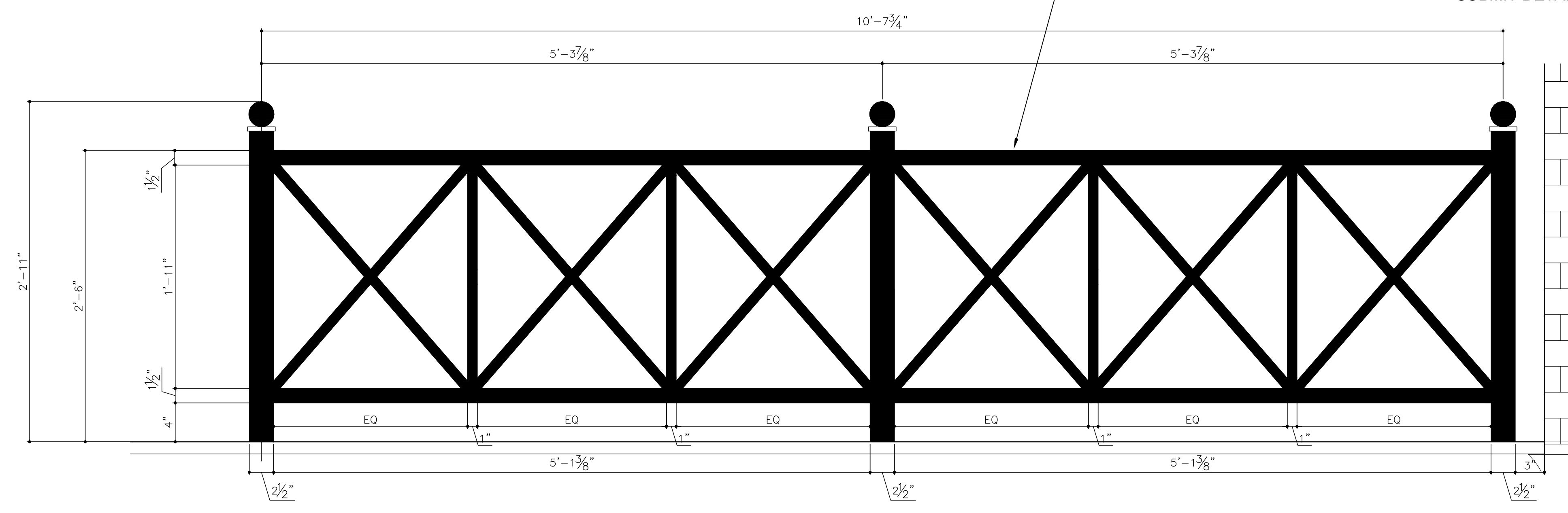
1 PORCH RAILING DETAIL / FRONT ELEVATION  
 Scale: 1/2" = 1'-0"

NOTE - POWDER COATING TO MEET REQUIREMENTS OF AAMA 2605-13  
 SUBMIT DETAILED SHOP DRAWINGS



2 PORCH RAILING DETAIL / FRONT ELEVATION  
 Scale: 1/2" = 1'-0"

NOTE - POWDER COATING TO MEET REQUIREMENTS OF AAMA 2605-13  
 SUBMIT DETAILED SHOP DRAWINGS



3 PORCH RAILING DETAIL  
 Scale: 1-1/2" = 1'-0"

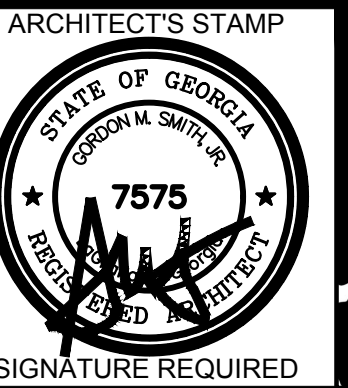
REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

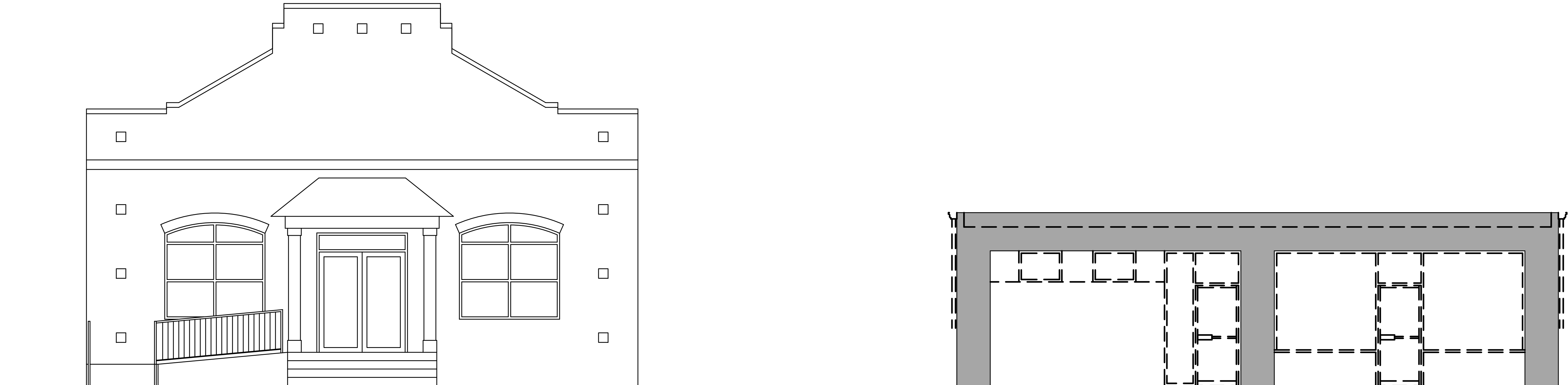
TITLE:  
**FRONT PORCH RAILING DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-7</b>





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1  
 A3-8 COUNCIL CHAMBERS FRONT ELEVATION - EXISTING  
 Scale: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**COUNCIL CHAMBER FRONT ELEVATION EXISTING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-8</b>

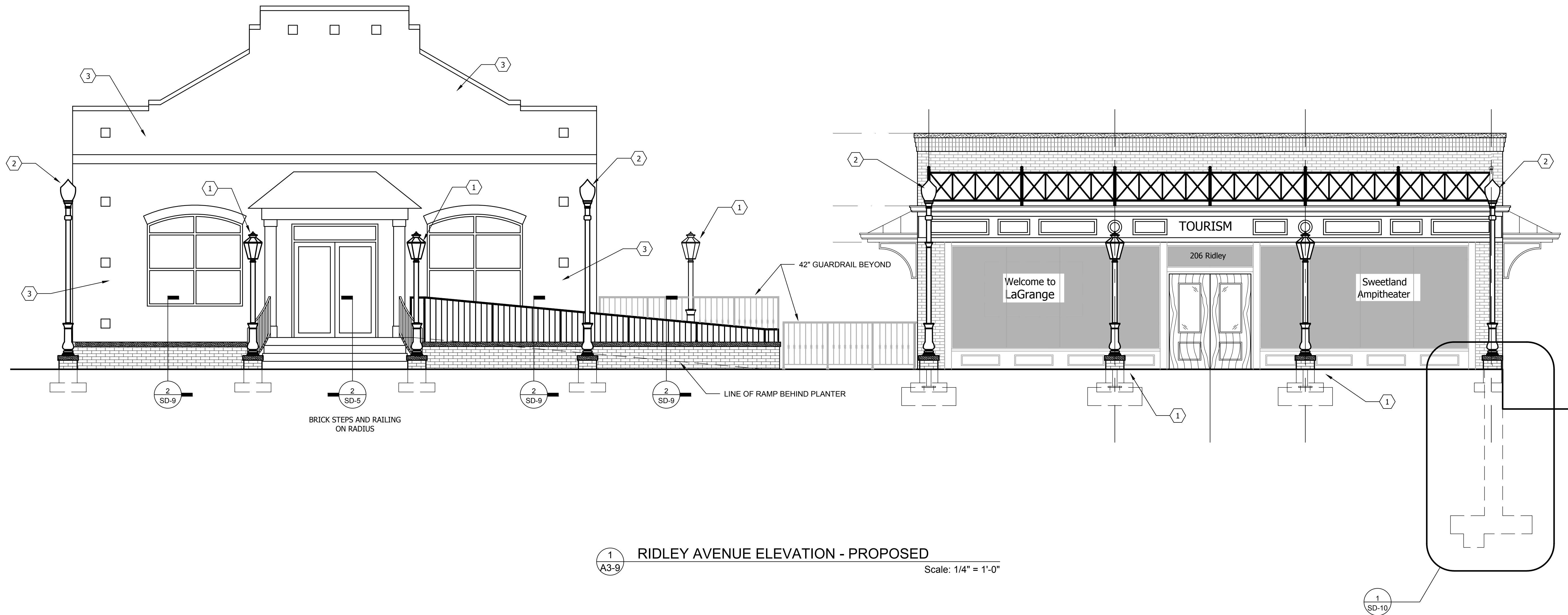
**KEYNOTES**

- ① NEW GAS LANTERN ON POST - SEE DETAIL 1/SD-6.
- ② NEW ELECTRIC LANTERN ON POST - SEE DETAIL 1/SD-7.
- ③ PRESSURE WASH EXISTING BRICK - PAINT WITH ONE COAT OF PRIMER AND TWO COATS OF FINISH PAINT. NOTE HEADER AND SILL BRICK AND BRICK ACCENT DETAILS ARE TO BE PAINTED DIFFERENT COLOR FROM FIELD BRICK.



*[Signature]*

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① **RIDLEY AVENUE ELEVATION - PROPOSED**  
 Scale: 1/4" = 1'-0"

REVISIONS	
Δ	DESCRIPTION

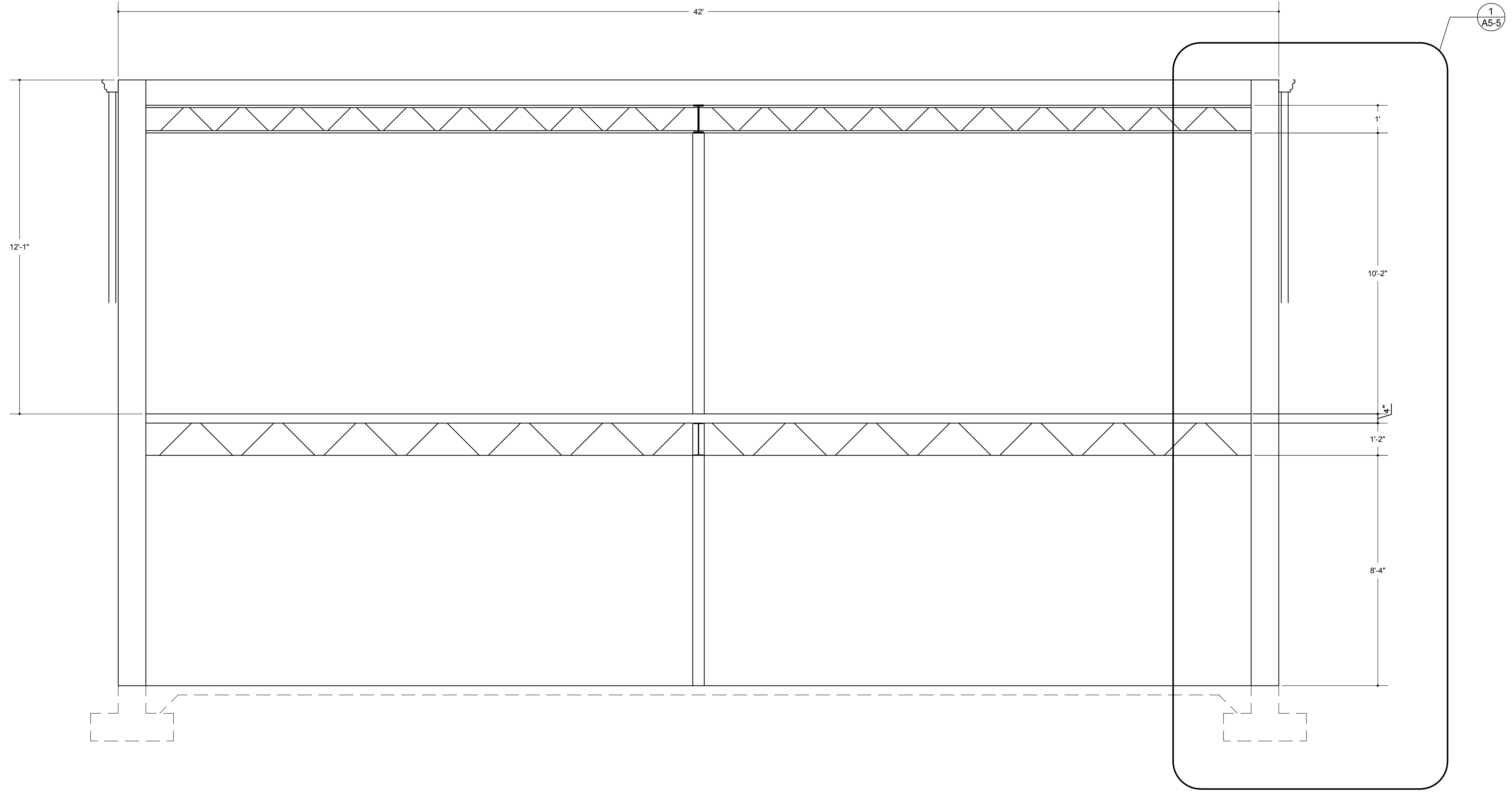
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**COUNCIL CHAMBER FRONT ELEVATION EXISTING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A3-9</b>



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1 BUILDING SECTION - EXISTING  
 A4-1 Scale: 1/2" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

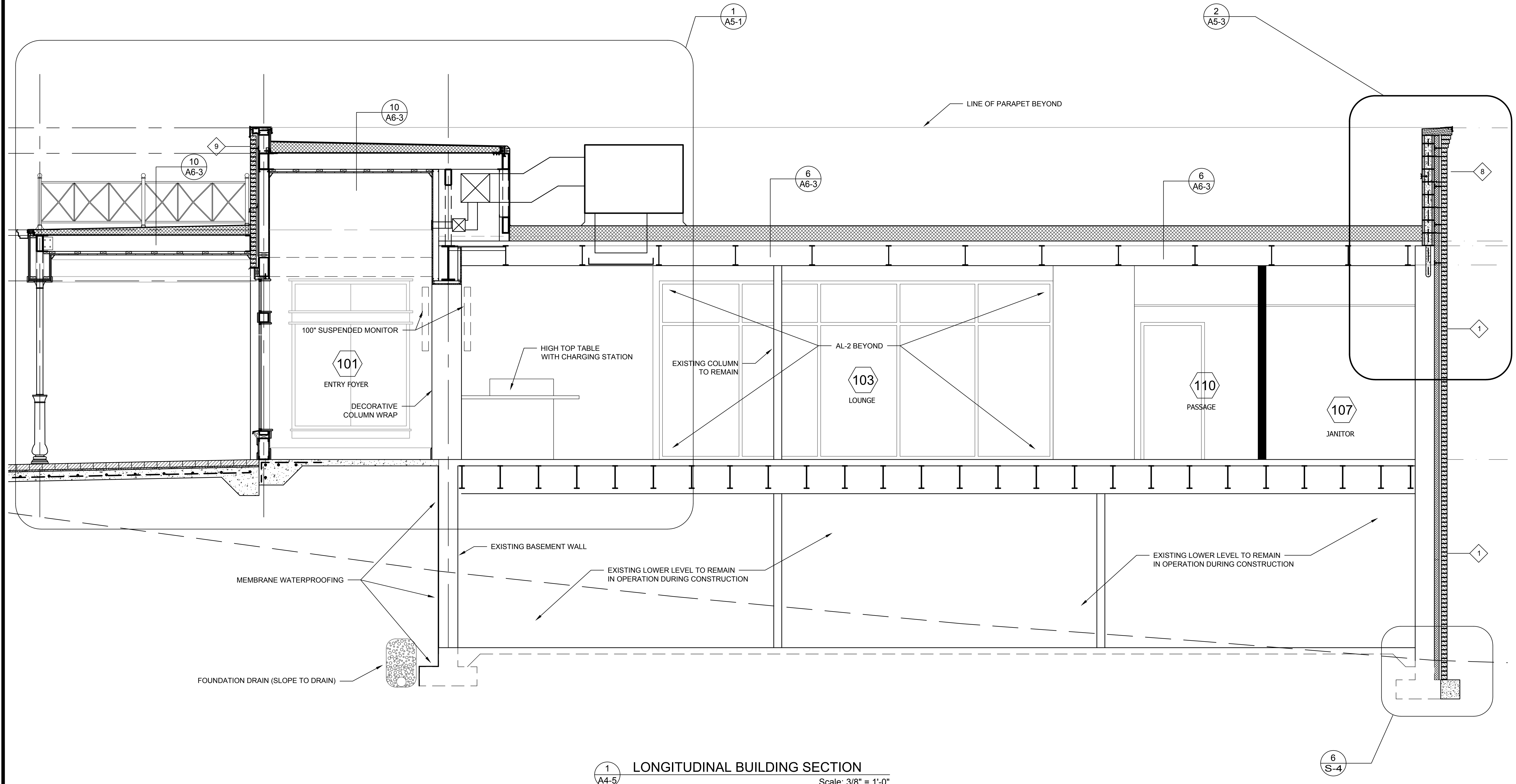
TITLE:  
**ELEVATION - EXISTING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A4-1</b>



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**LEGEND**  
 ◊ 9 WALL TYPE - SEE SHEET A2-4



1 LONGITUDINAL BUILDING SECTION  
 Scale: 3/8" = 1'-0"

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**BUILDING SECTION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A4-5</b>



*Signature*

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**LEGEND**  
 9 WALL TYPE - SEE SHEET A2-4

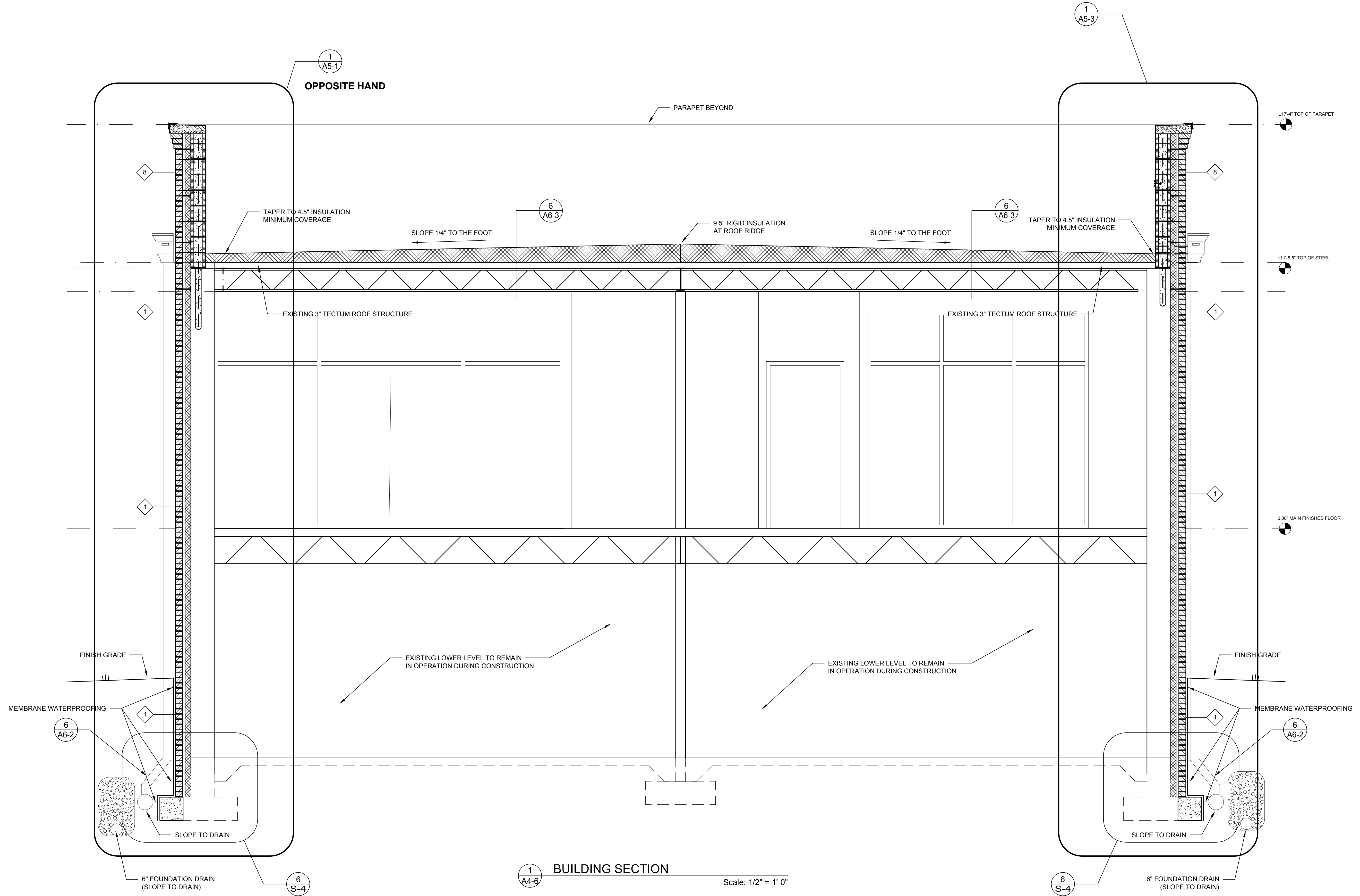
**REVISIONS**

DATE	DESCRIPTION

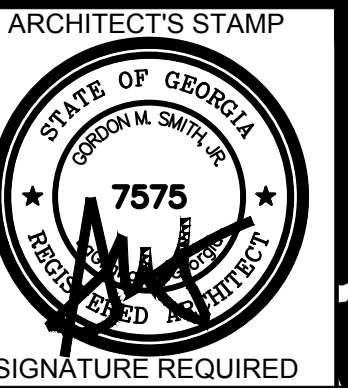
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**BUILDING SECTION**

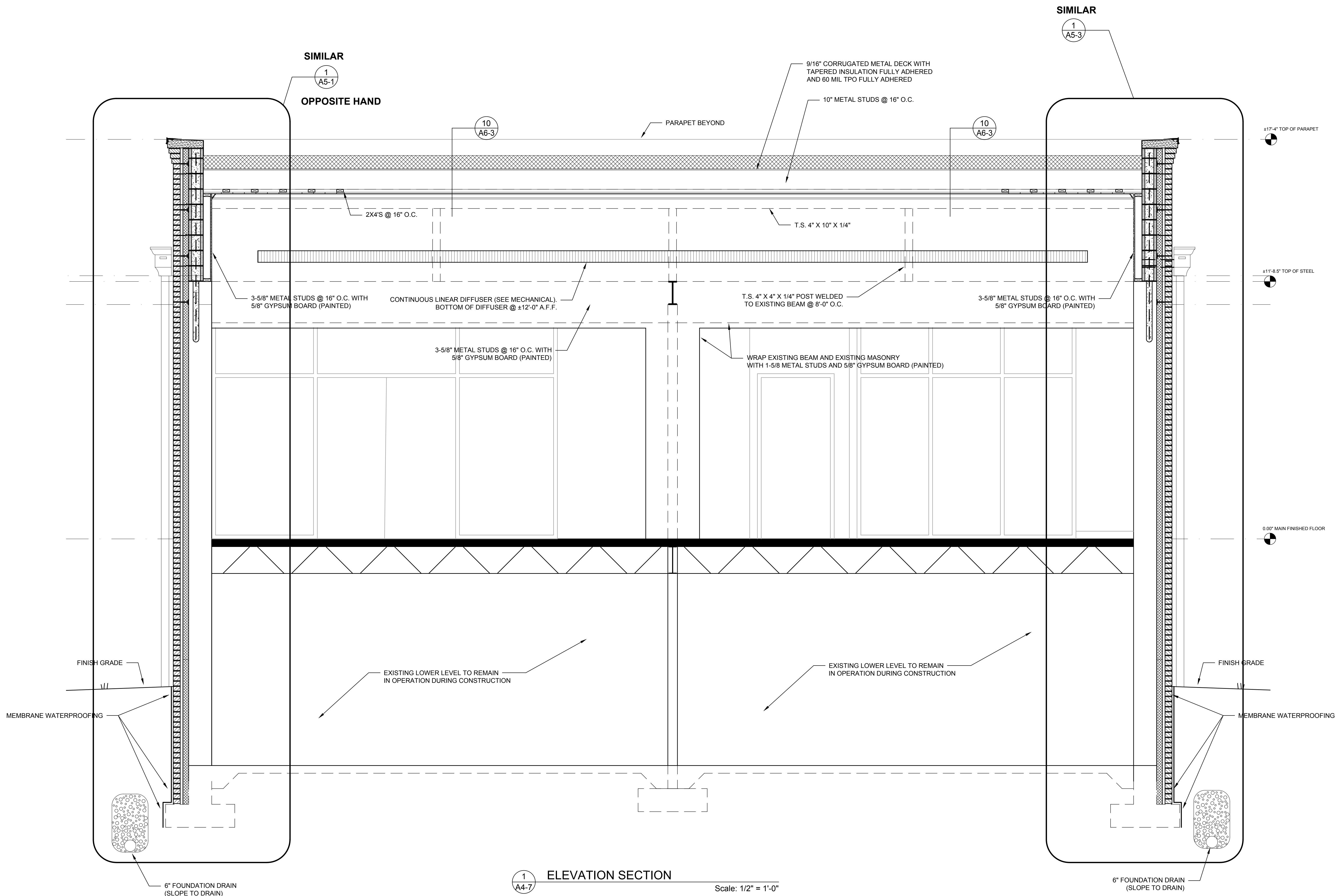
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A4-6</b>



**BUILDING SECTION** Scale: 1/2" = 1'-0"



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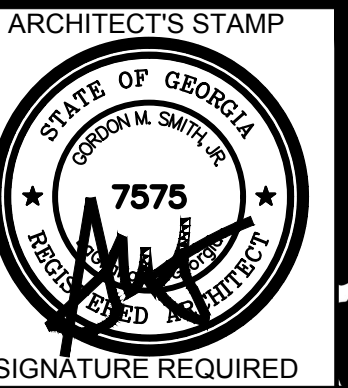
**1**  
**A4-7** ELEVATION SECTION  
 Scale: 1/2" = 1'-0"

REVISIONS	
Δ	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

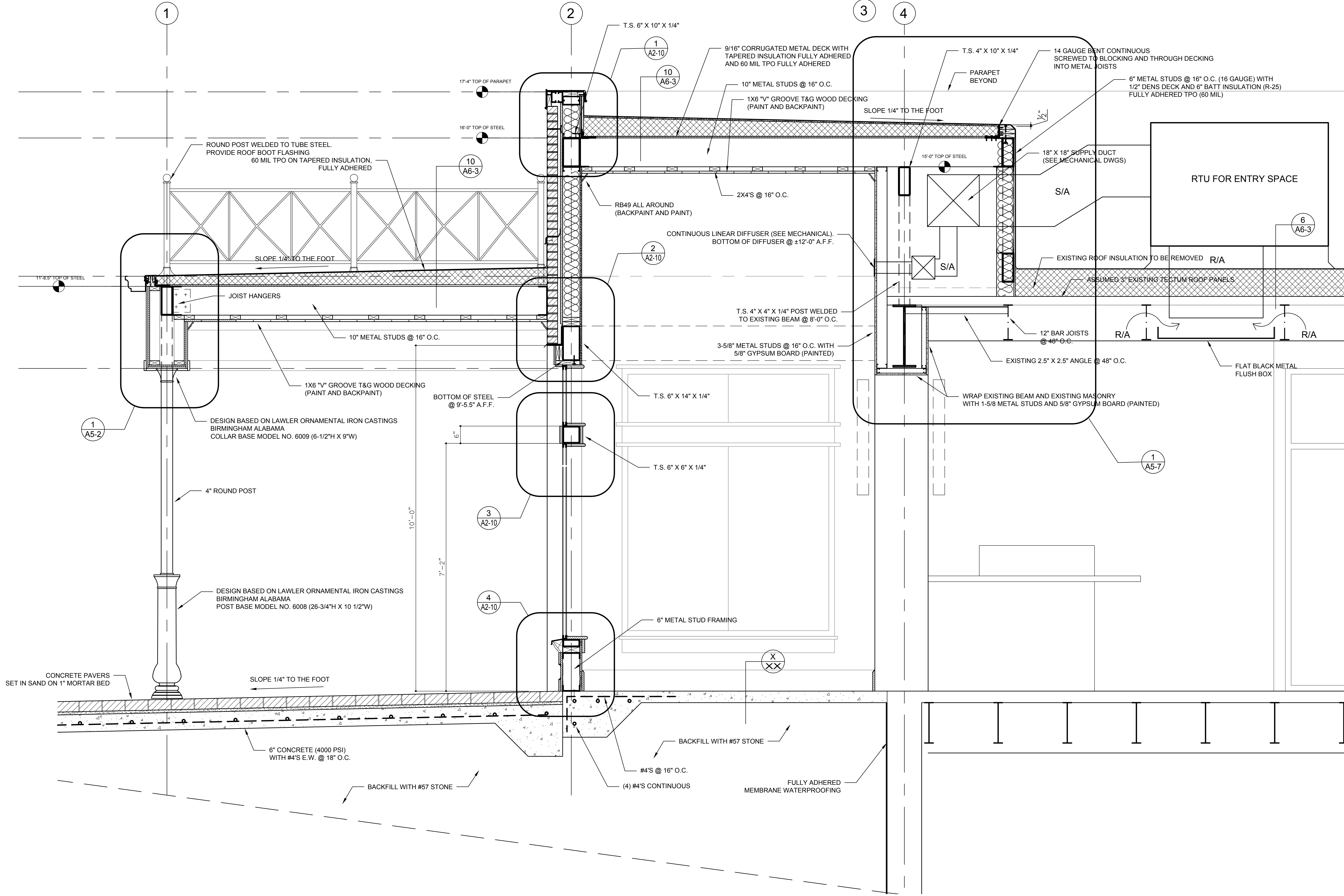
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**ELEVATION SECTION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A4-7</b>



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**LEGEND**  
 9 WALL TYPE - SEE SHEET A2-4



**REVISIONS**

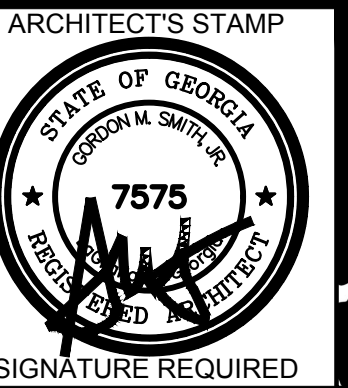
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**SECTION**

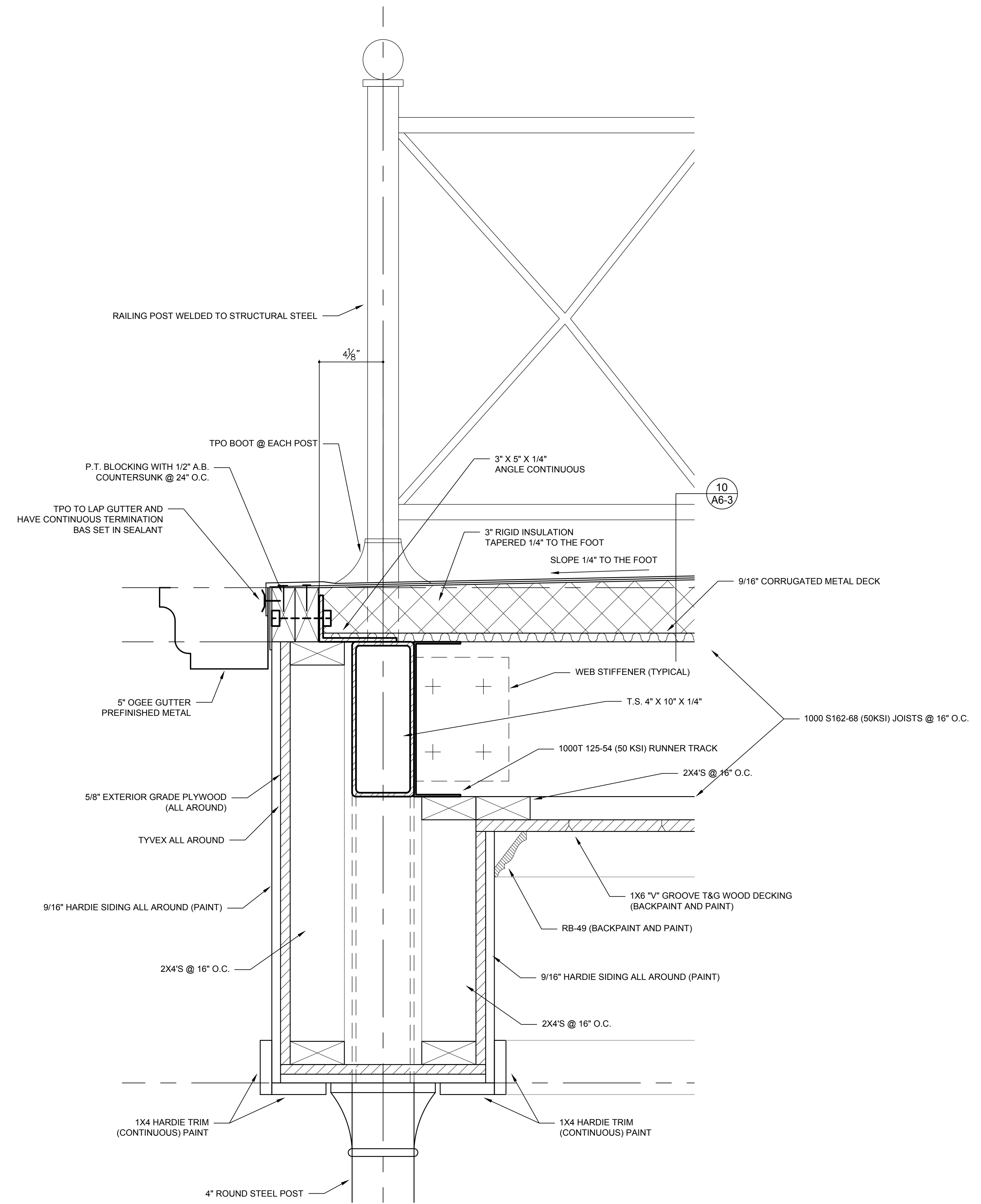
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-1</b>

**SECTION**  
 Scale: 3/4" = 1'-0"



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**1** PORCH EAVE DETAIL  
 A5-2 Scale: 3" = 1'-0"

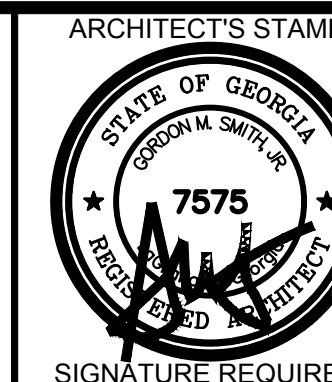
REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
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TITLE:  
**SECTION**

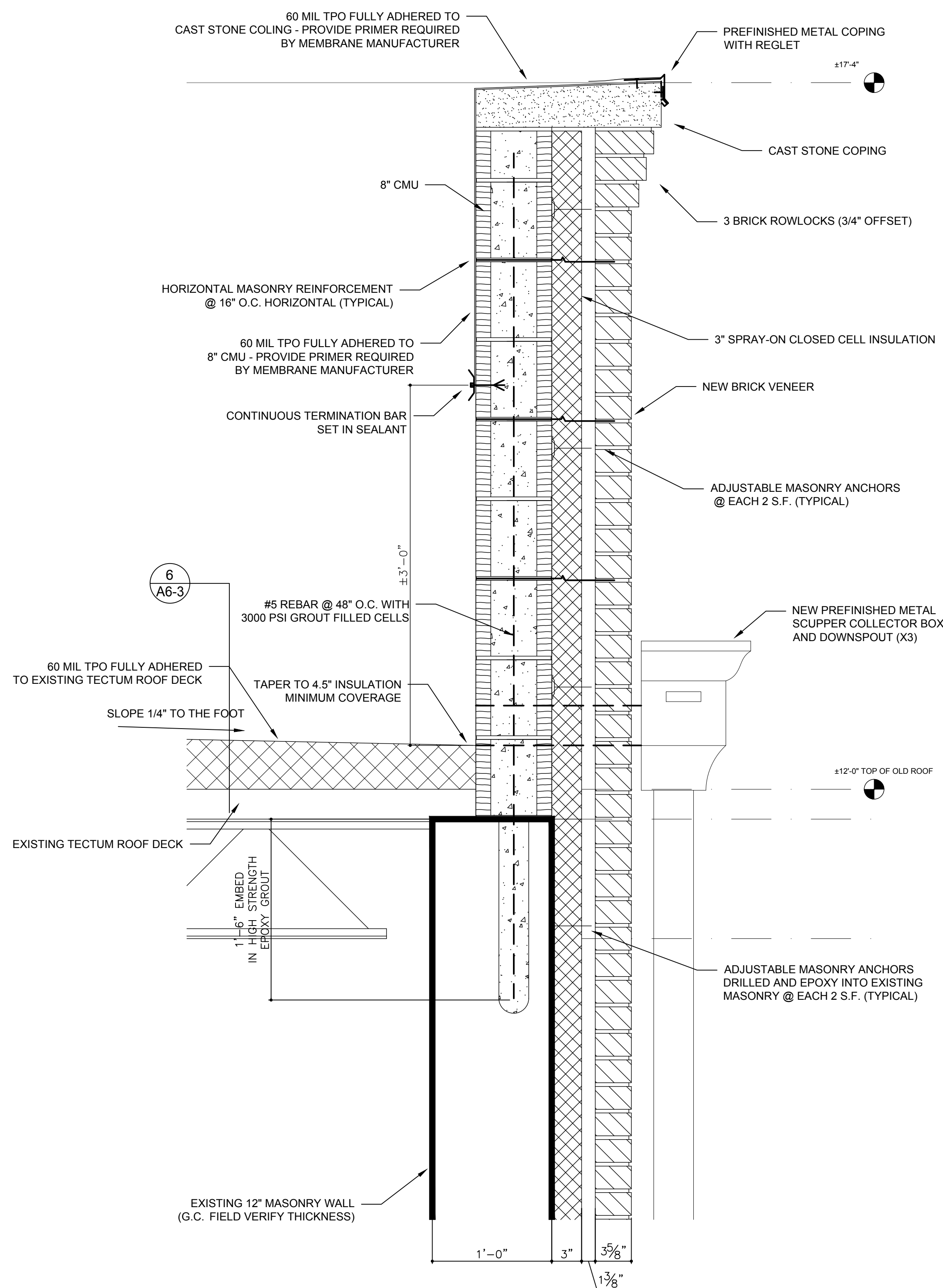
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ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-2</b>



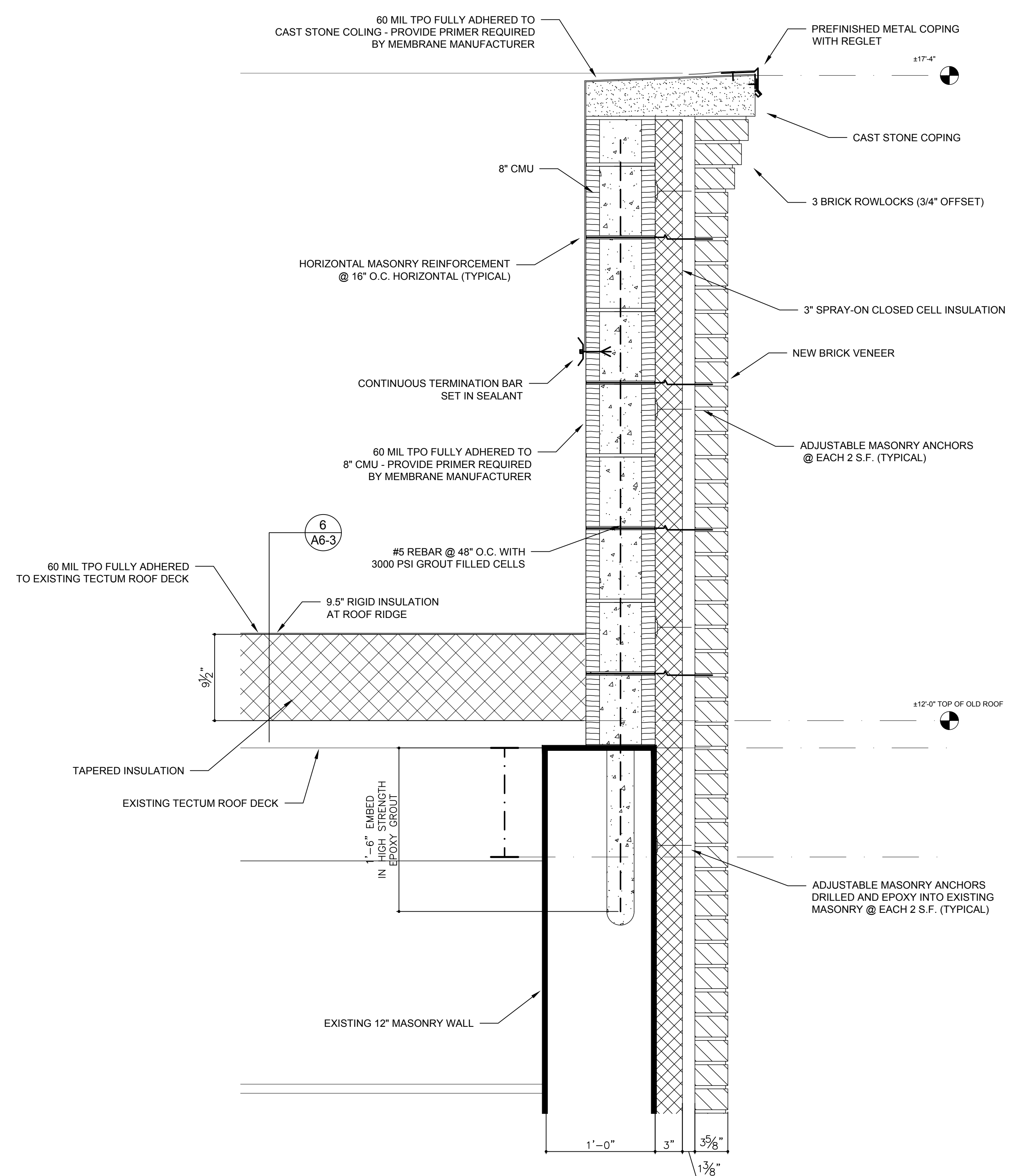


*[Signature]*

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**1 SECTION AT SIDE WALL**  
 Scale: 1-1/2" = 1'-0"



**2 SECTION AT REAR WALL**  
 Scale: 1-1/2" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**SECTION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-3</b>

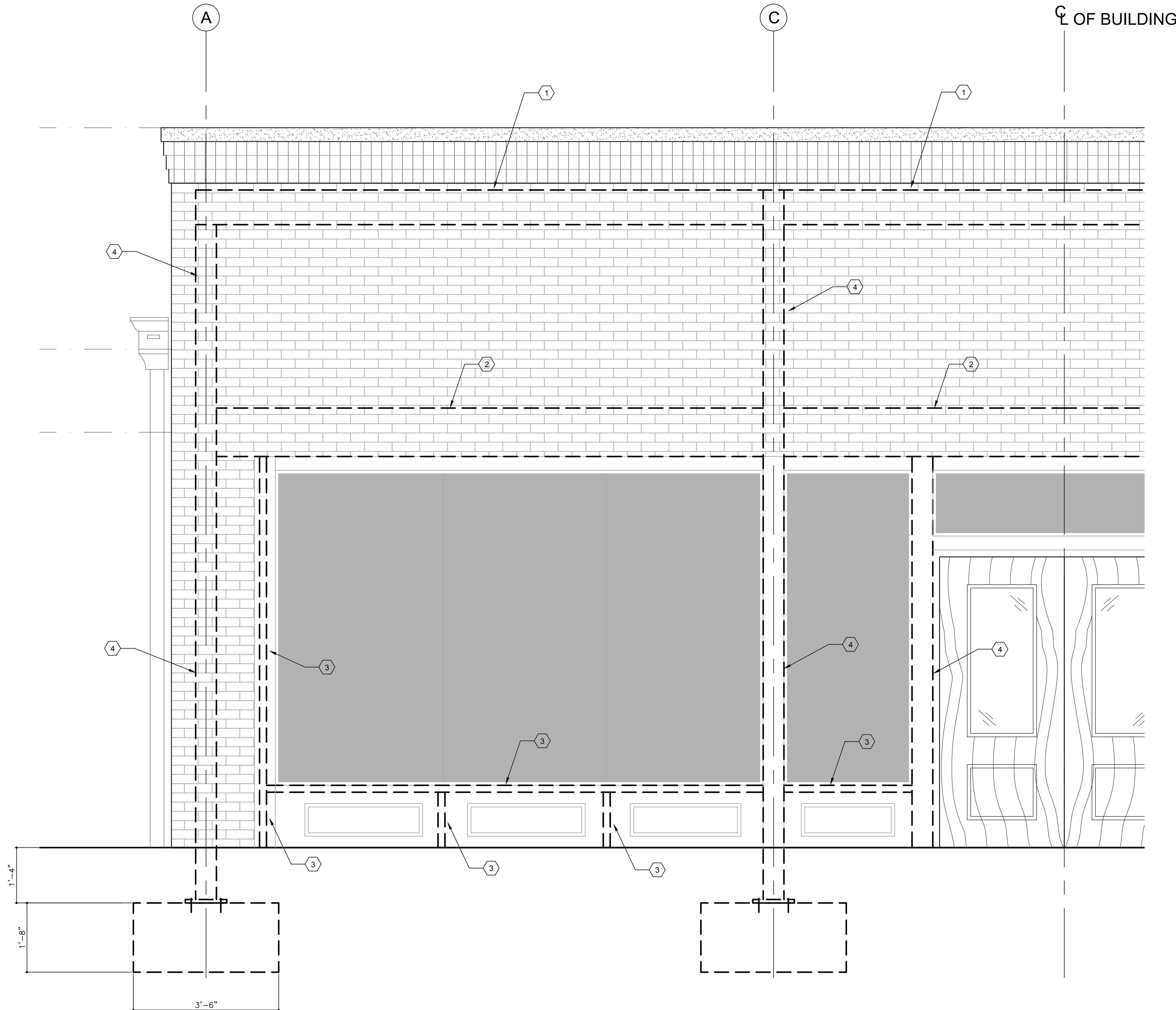
NOTE:  
ALL WELDS TO BE  
MOMENT WELDS ALL AROUND

- KEYNOTES**
- ① TS 10" X 6" X 1/4"
  - ② TS 14" X 6" X 1/4"
  - ③ TS 2" X 6" X 1/4"
  - ④ TS 6" X 6" X 1/4"



*George W. Smith*

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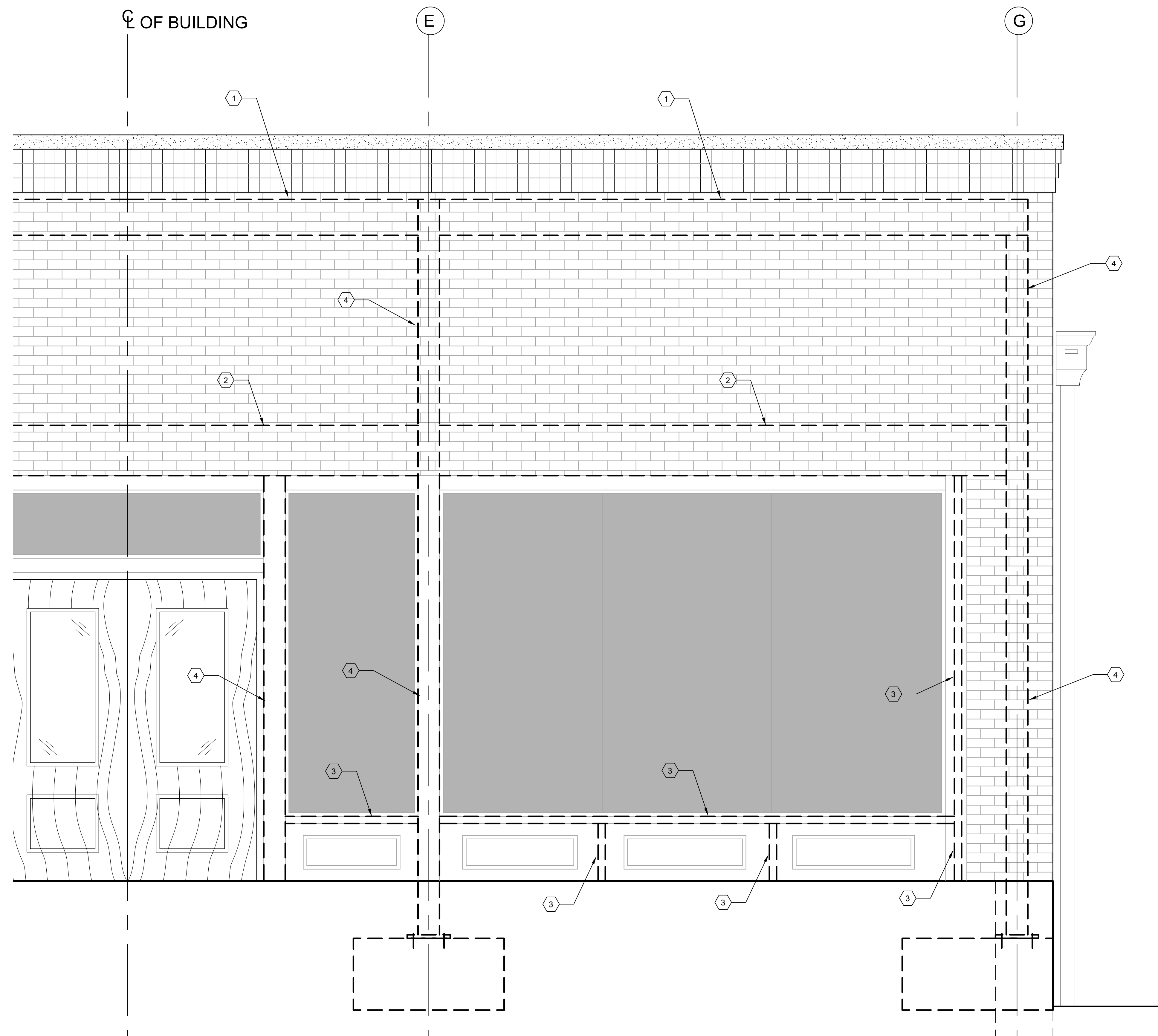
① SECTION  
A5-4 Scale: 3/4" = 1'-0"

REVISIONS	
Δ	DATE
	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**SECTION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-4</b>



- KEYNOTES**
- 1 TS 10" X 6" X 1/4"
  - 2 TS 14" X 6" X 1/4"
  - 3 TS 2" X 6" X 1/4"
  - 4 TS 6" X 6" X 1/4"

NOTE:  
ALL WELDS TO BE  
MOMENT WELDS ALL AROUND



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REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
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206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

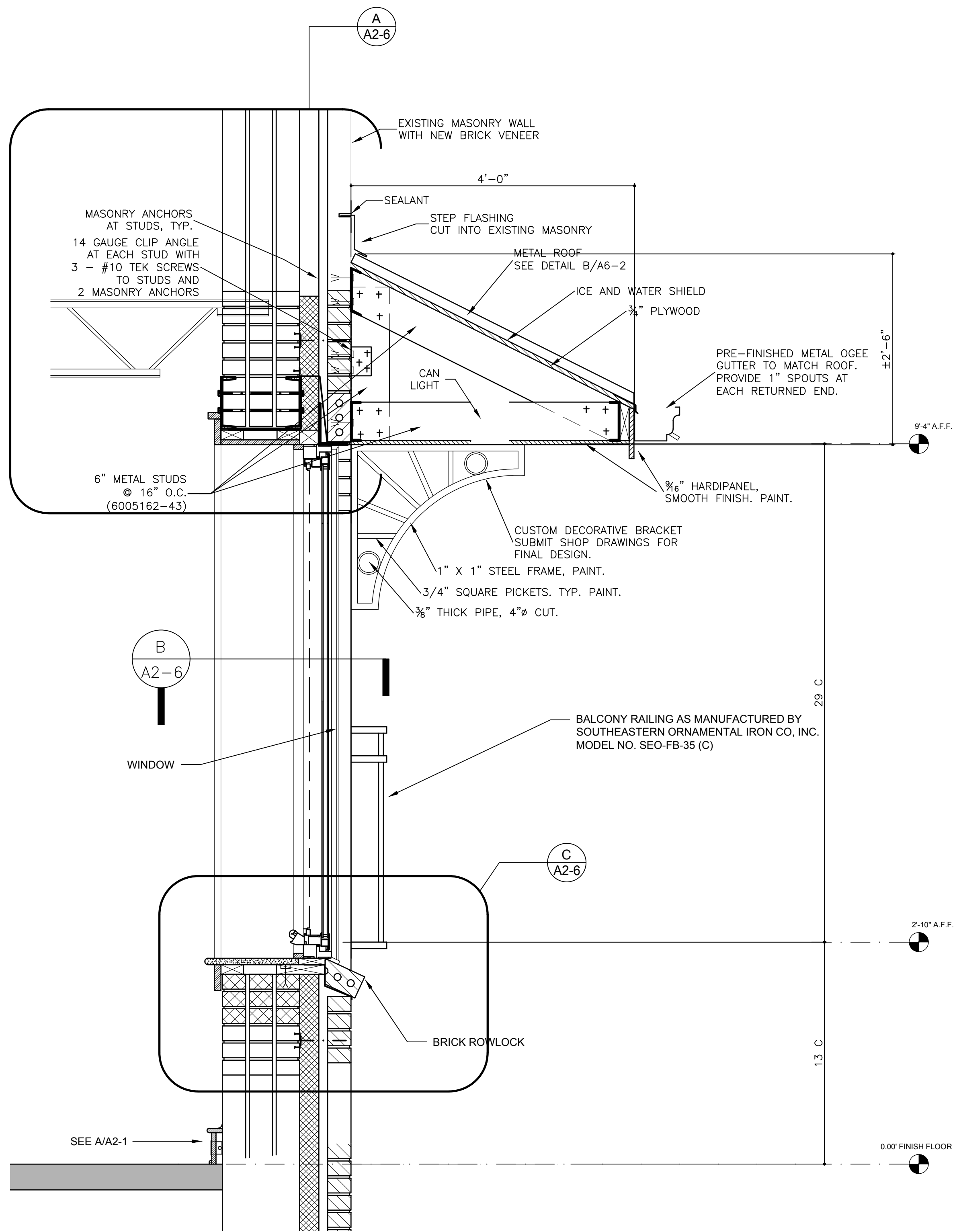
TITLE:  
**SECTION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-5</b>

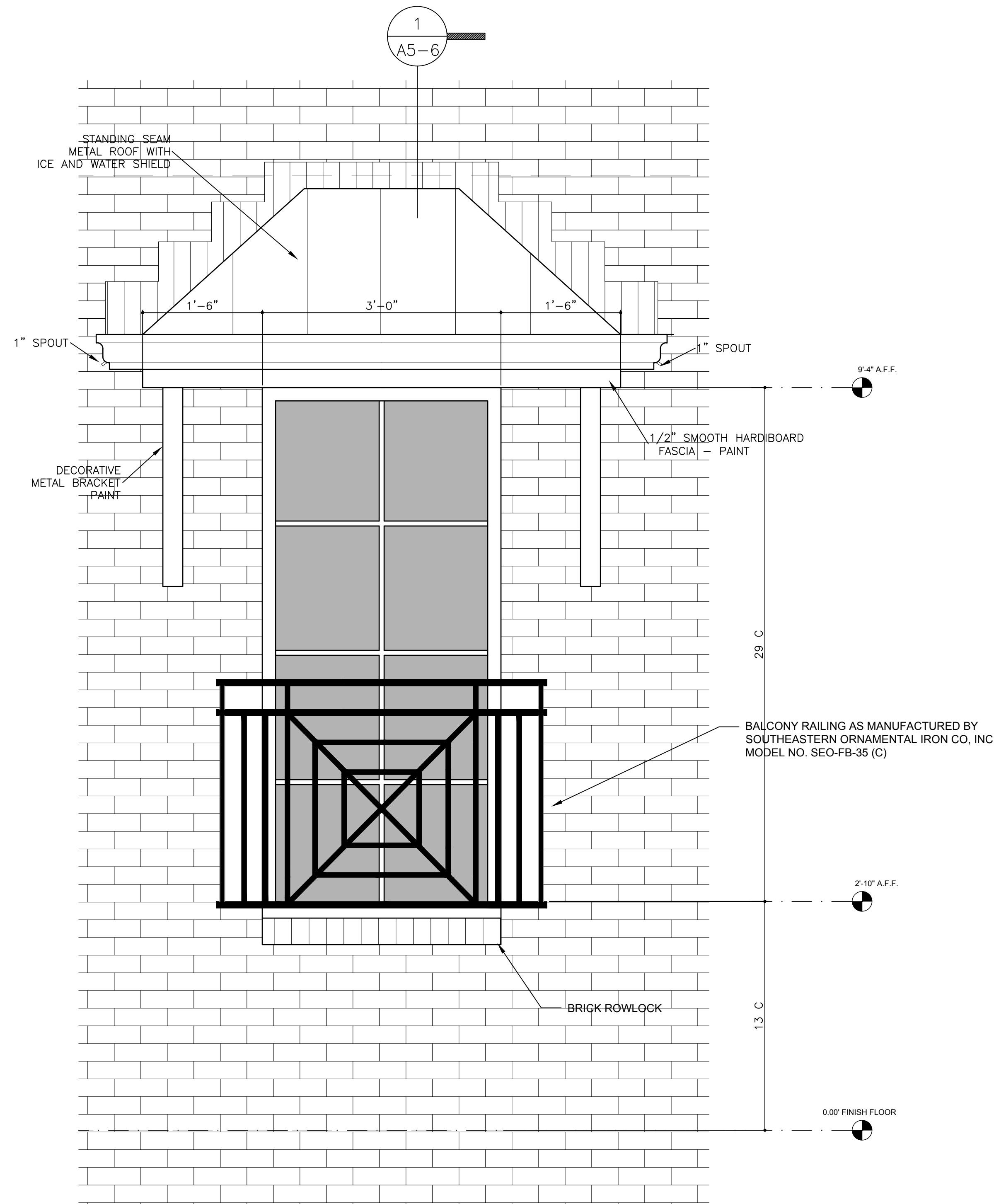
1 SECTION  
A5-5 Scale: 3/4" = 1'-0"



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**1 SECTION AT WINDOW IN EXISTING WALL**  
 Scale: 1" = 1'-0"



**2 WINDOW CANOPY**  
 Scale: 1" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

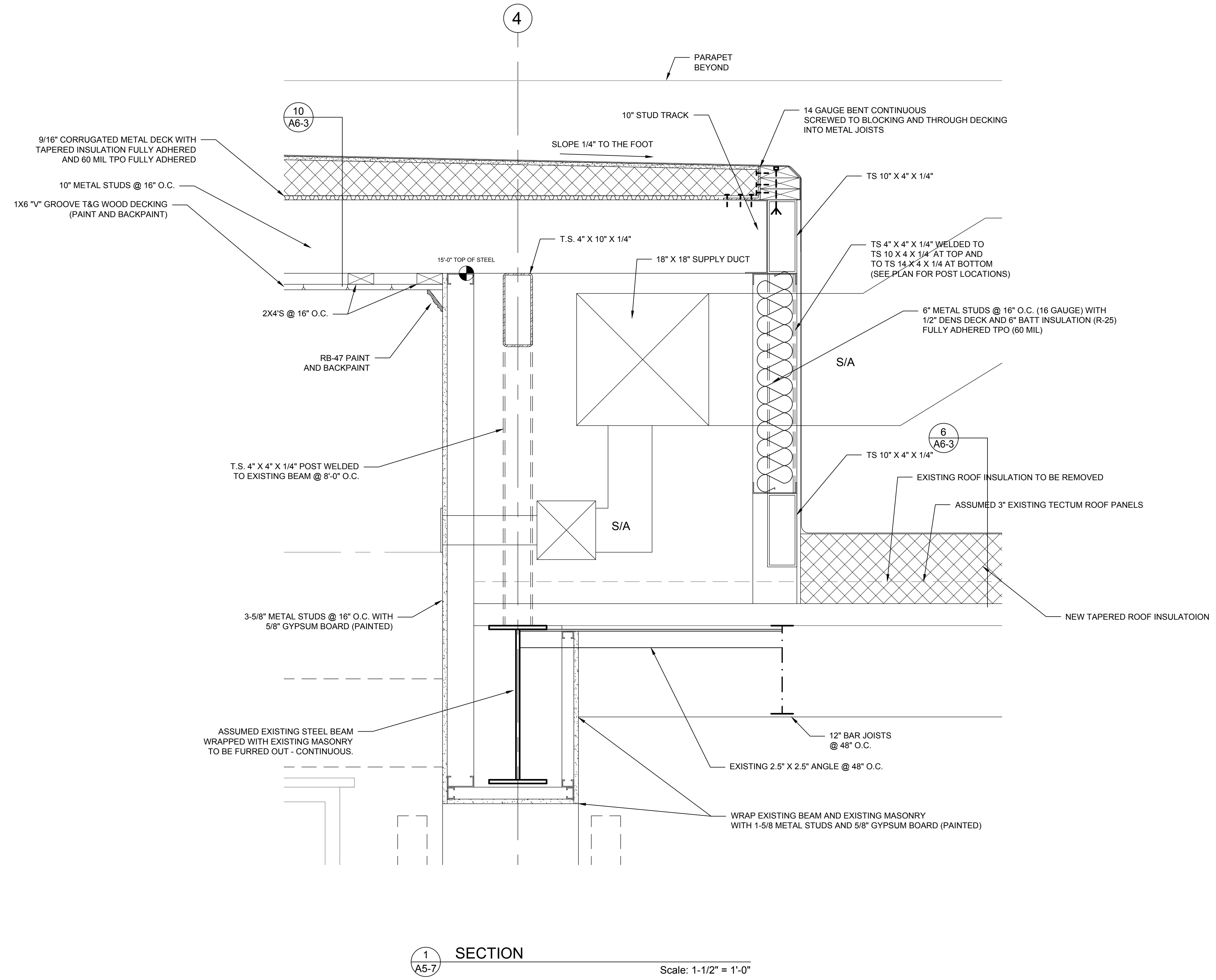
TITLE:  
**SECTION DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-6</b>



*[Handwritten Signature]*

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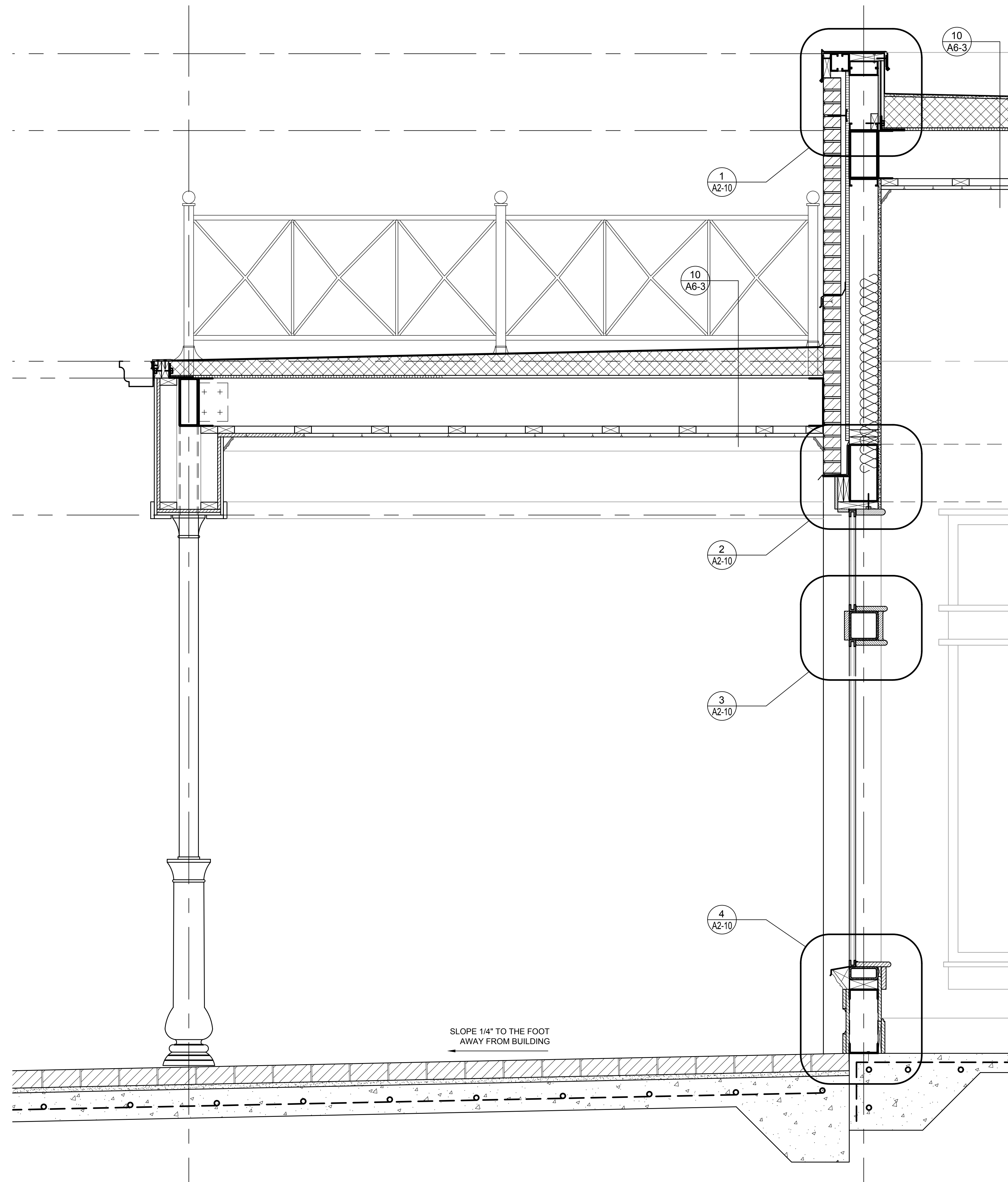
**SECTION**  
 Scale: 1-1/2" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

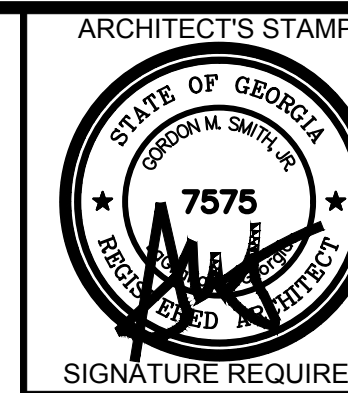
PROJECT:  
**TOURISM OFFICE RENOVATION**  
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 LAGRANGE, GEORGIA

TITLE:  
**SECTION**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-7</b>



1  
A5-8 **PORCH SECTION**  
SCALE: 1" = 1'-0"



*Gordon W. Smith, Inc.*

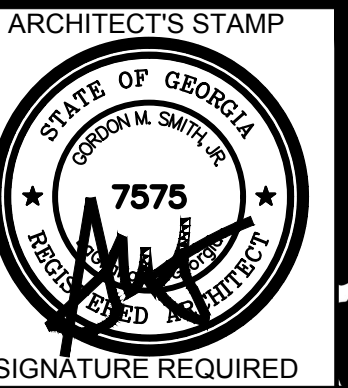
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REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**SECTION DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A5-8</b>



*Signature*

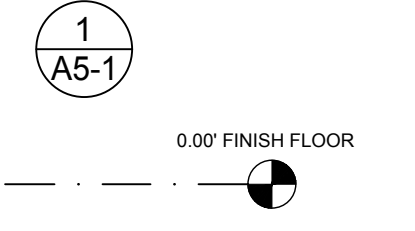
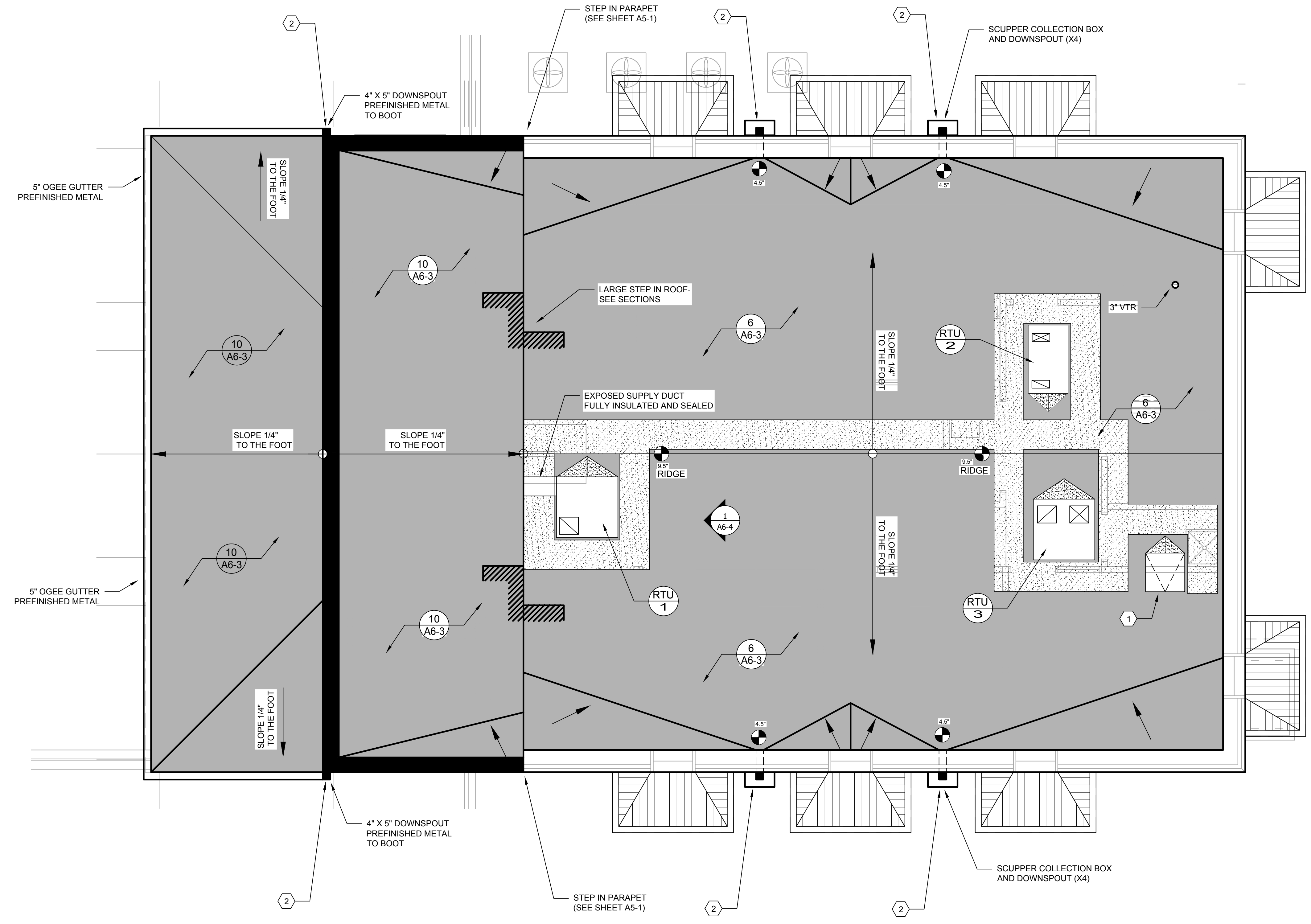
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**LEGEND**

- TAPERED INSULATION SLOPED 1/4" TO THE FOOT. FULLY ADHERED.
- 24" WIDE ROOF WALKWAY PADS. SEE ROOF SPECIFICATIONS.

**LEGEND**

- ① 30" X 36" BILCO ROOF HATCH - SEE DETAIL 1/A9-1.
- ② DOWNSPOUT BOOT TO CONNECT TO ROOF DRAINAGE SYSTEM - SEE 2/A6-2.



REVISIONS	
Δ	DESCRIPTION

PROJECT:  
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 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

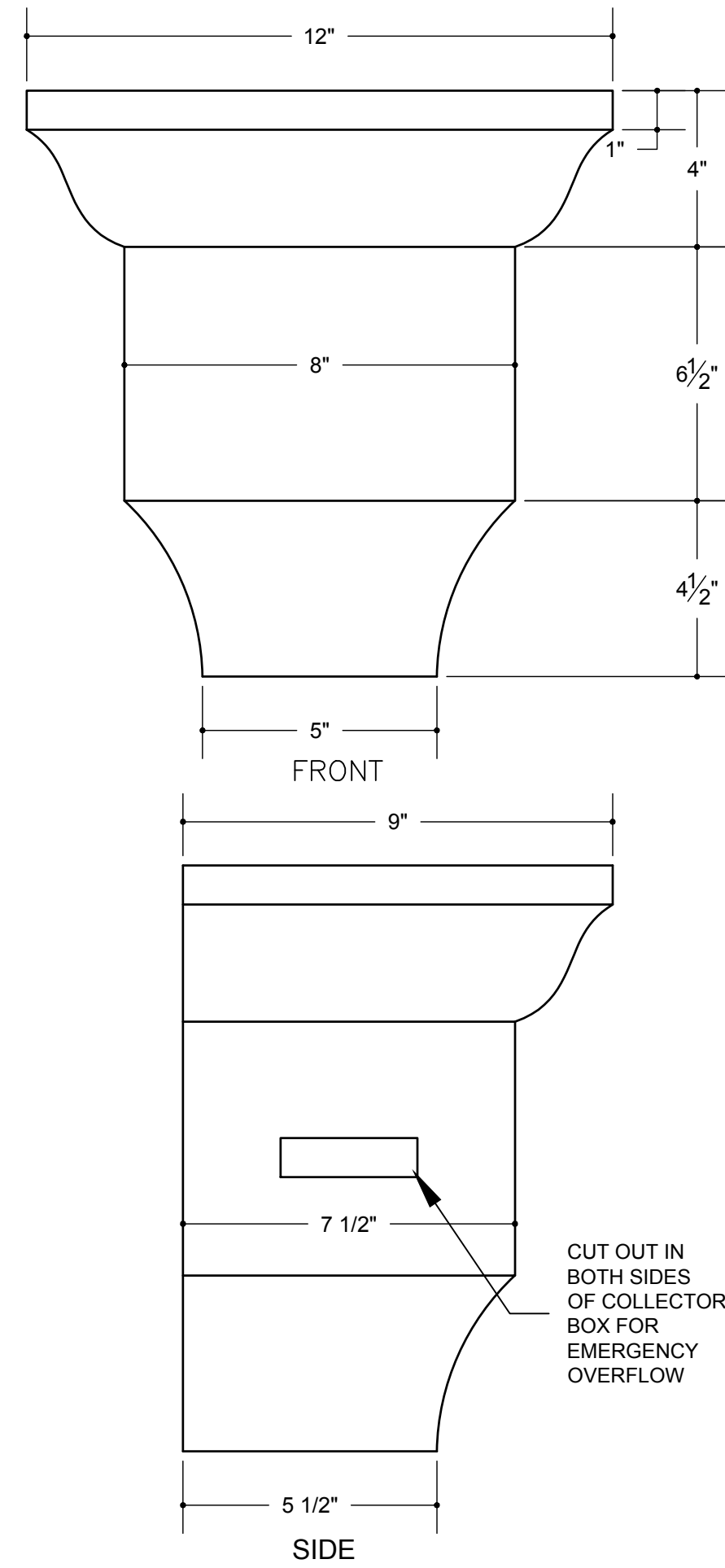
TITLE:  
**ROOF PLAN**

① A6-1 **ROOF PLAN - PROPOSED** Scale: 1/4" = 1'-0"

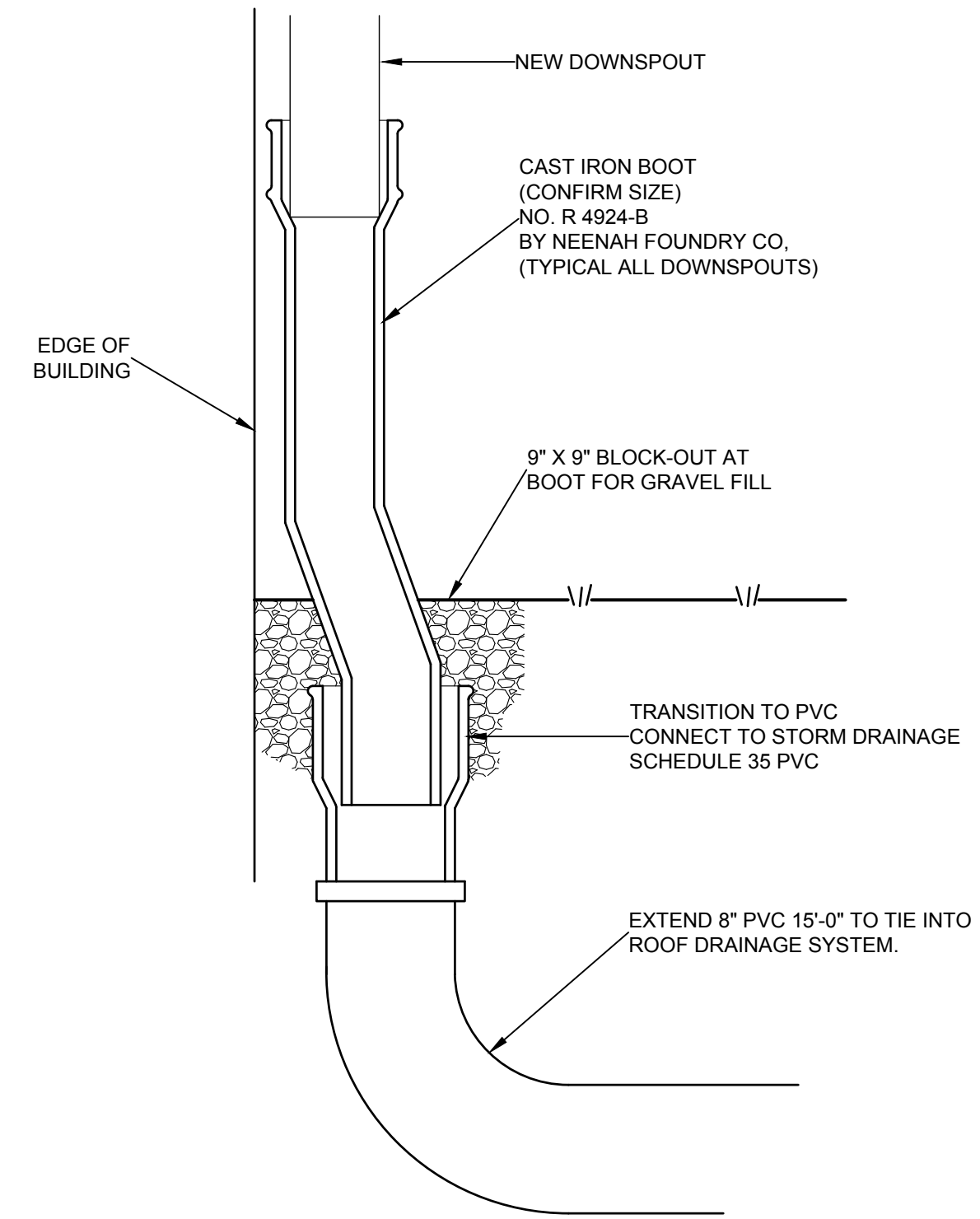
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A6-1</b>



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**1**  
 A6-2 **COLLECTOR BOX DETAIL**  
 SCALE: 3" = 1'-0"  
 (ALL WELDED; NO VISIBLE POP-RIVETS)



**2**  
 A6-2 **DOWNSPOUT BOOT  
 ROOF DRAINAGE DETAIL**  
 SCALE: 1-1/2" = 1'-0"  
 (PROVIDE AT 6 LOCATIONS - SEE ELEVATIONS)

**REVISIONS**

DATE	DESCRIPTION

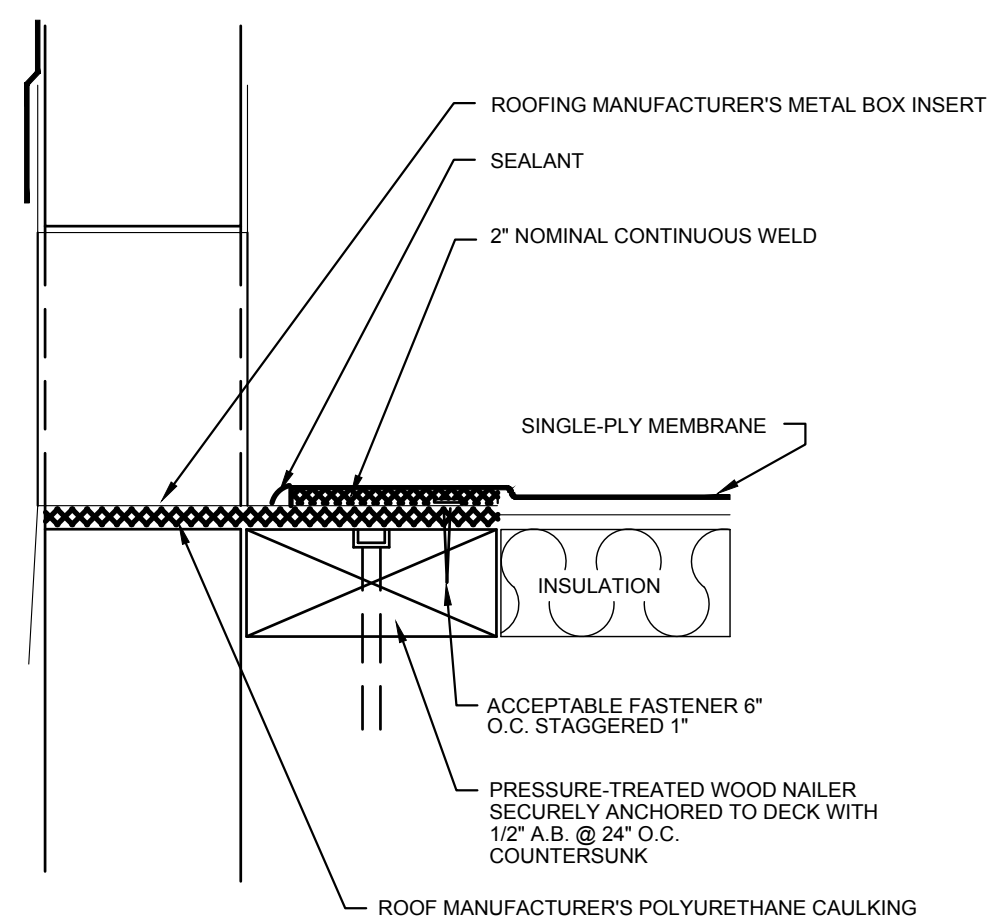
PROJECT:

**TOURISM OFFICE  
 RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:

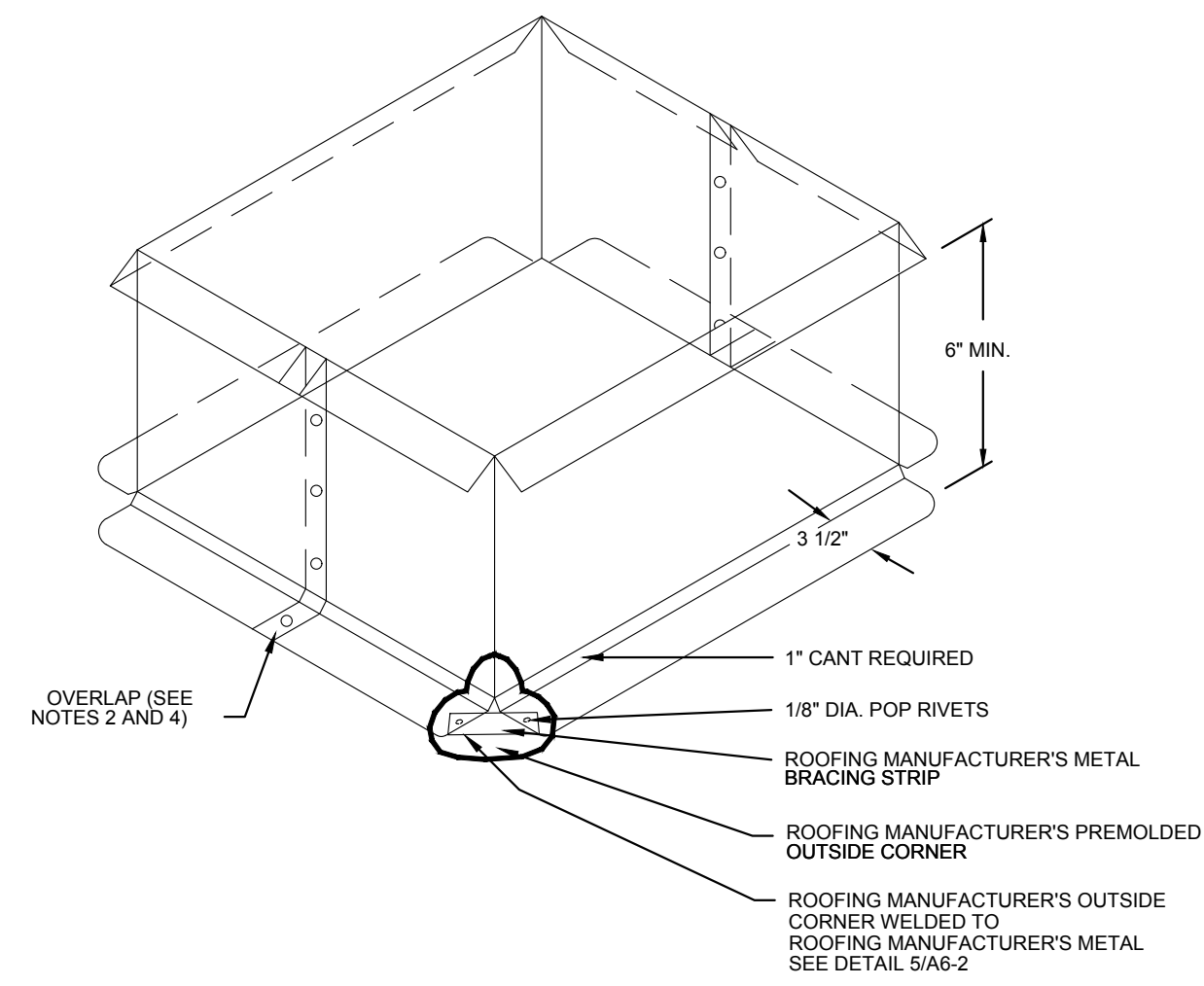
**ROOF DETAILS**

MODIFIED DATE: 5 JAN 2015	JOB NO: 1918
ISSUED DATE: 24 APR 2020	SHEET: <b>A6-2</b>



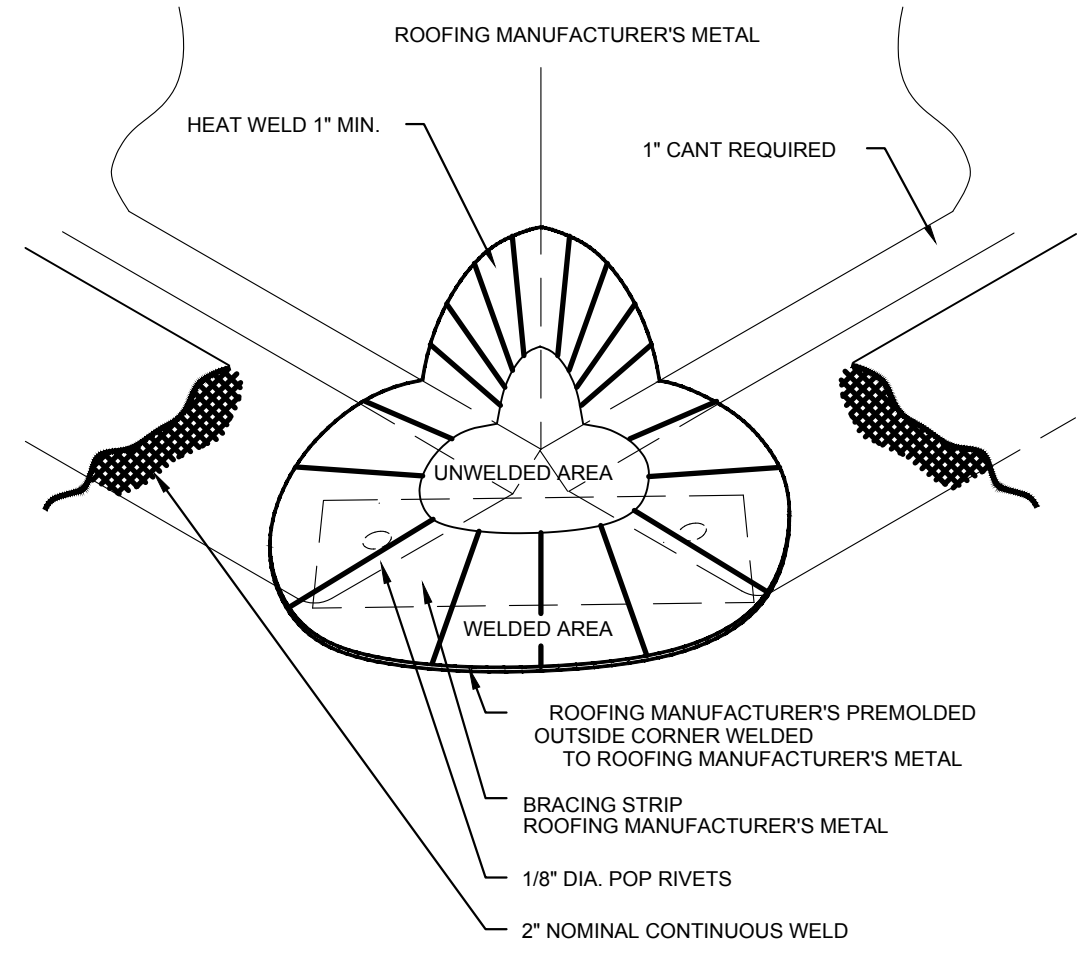
**NOTES:**  
 1. DETAILS TO BE USED IN CONJUNCTION WITH STANDARD GUIDE SPECIFICATIONS CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, SLIPSHEETS, ETC.  
 2. ROOFING CONTRACTOR TO SUBMIT DETAIL OF THRU WALL SCUPPER AND CONDUCTOR BOX WITH ALL WELDED SEAMS TO ARCHITECT.  
 MIN. SCALE 3" = 1'-0"

**3**  
 A6-2 **THRU WALL SCUPPER**  
 NOT TO SCALE



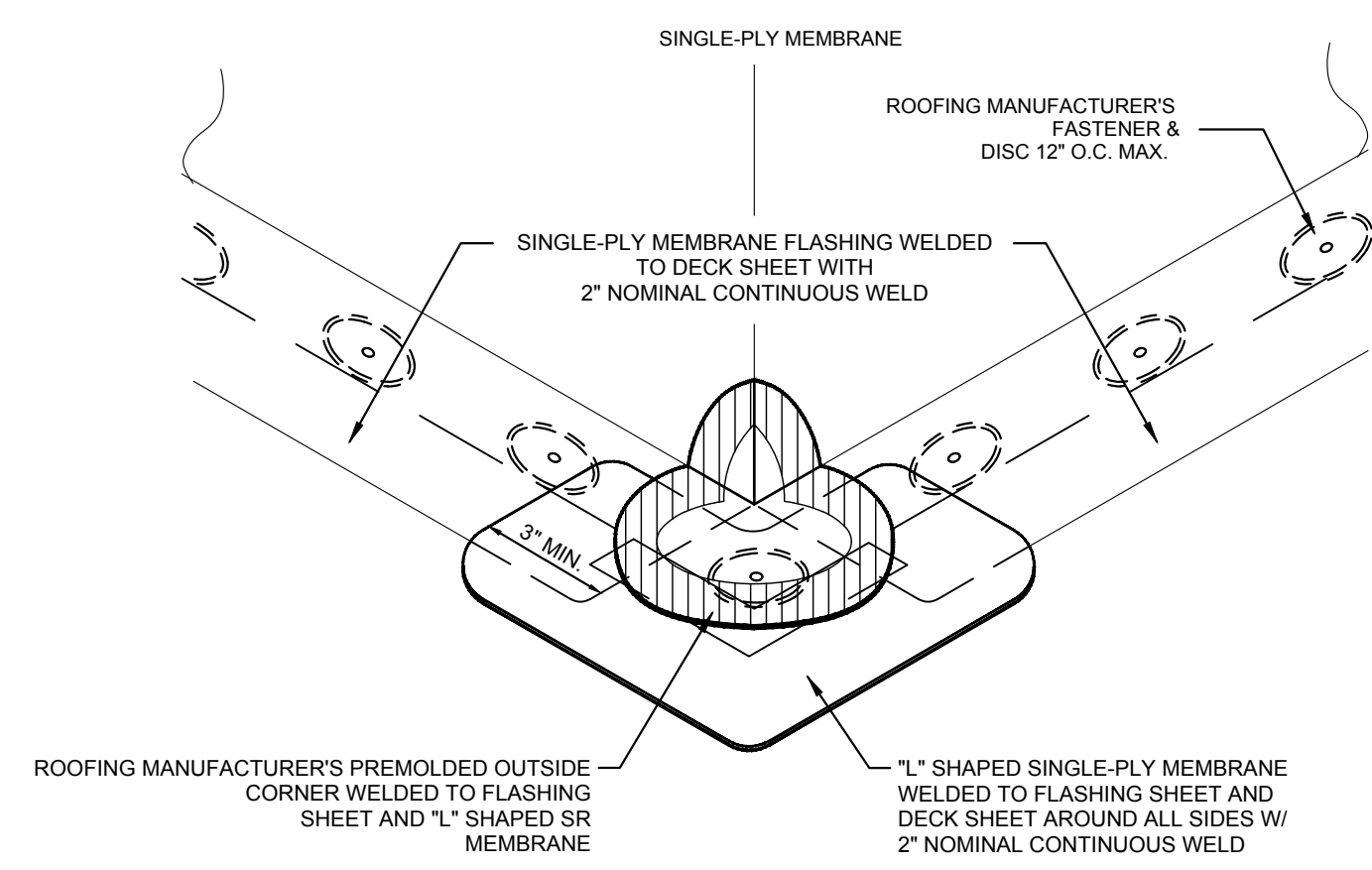
**NOTES:**  
 1. DETAILS TO BE USED IN CONJUNCTION WITH STANDARD GUIDE SPECIFICATIONS OF ROOFING MANUFACTURER CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, SLIPSHEETS, ETC.  
 2. FABRICATION OF 2 PIECES OF HPG METAL, WITH SEAMS OVERLAPPING A MINIMUM OF 1-1/2" AND POP RIVETED 3" O.C.  
 3. SEE BASE TIE-IN DETAILS FOR SECUREMENT.  
 4. COVER METAL SEAMS WITH ROOFING MANUFACTURER'S 6" STRIP.

**4**  
 A6-2 **METAL CURB FLASHING**  
 NOT TO SCALE



**NOTES:**  
 1. DETAILS TO BE USED IN CONJUNCTION WITH STANDARD GUIDE SPECIFICATIONS OF ROOFING MANUFACTURER CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, SLIPSHEETS, ETC.  
 2. OUTSIDE CORNERS MUST NOT BE WELDED SOLID.

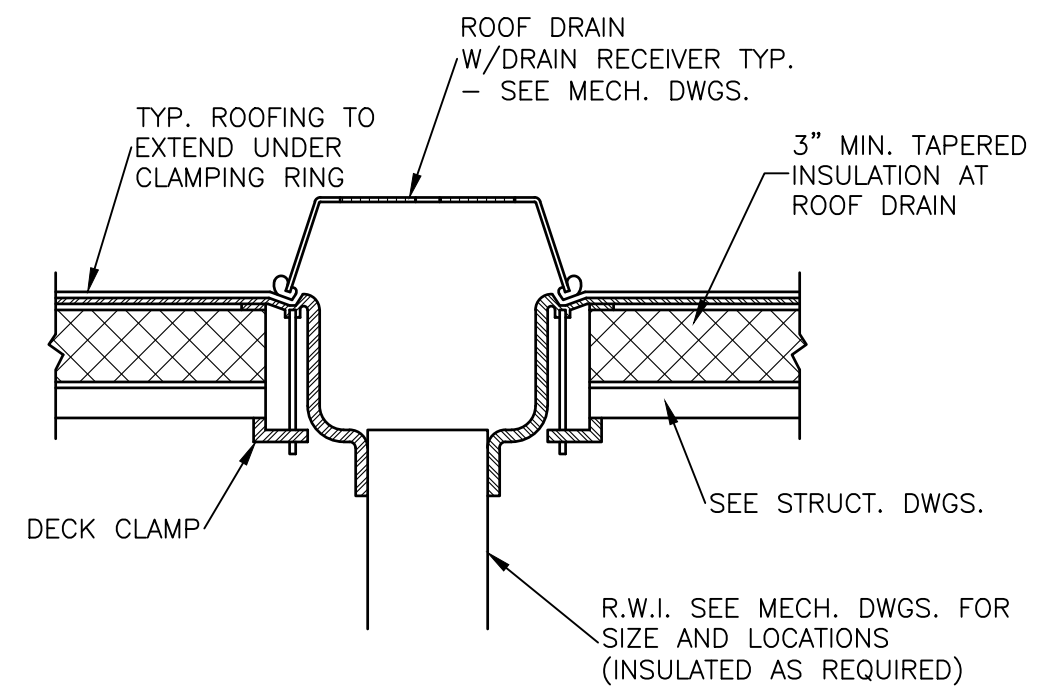
**5**  
 A6-2 **OUTSIDE CORNER  
 (METAL FLASHING)**  
 NOT TO SCALE



**NOTES:**  
 1. DETAILS TO BE USED IN CONJUNCTION WITH STANDARD GUIDE SPECIFICATIONS OF ROOFING MANUFACTURER CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, SLIPSHEETS, ETC.

**6**  
 A6-2 **OUTSIDE CORNER  
 (MEMBRANE FLASHING)**  
 NOT TO SCALE





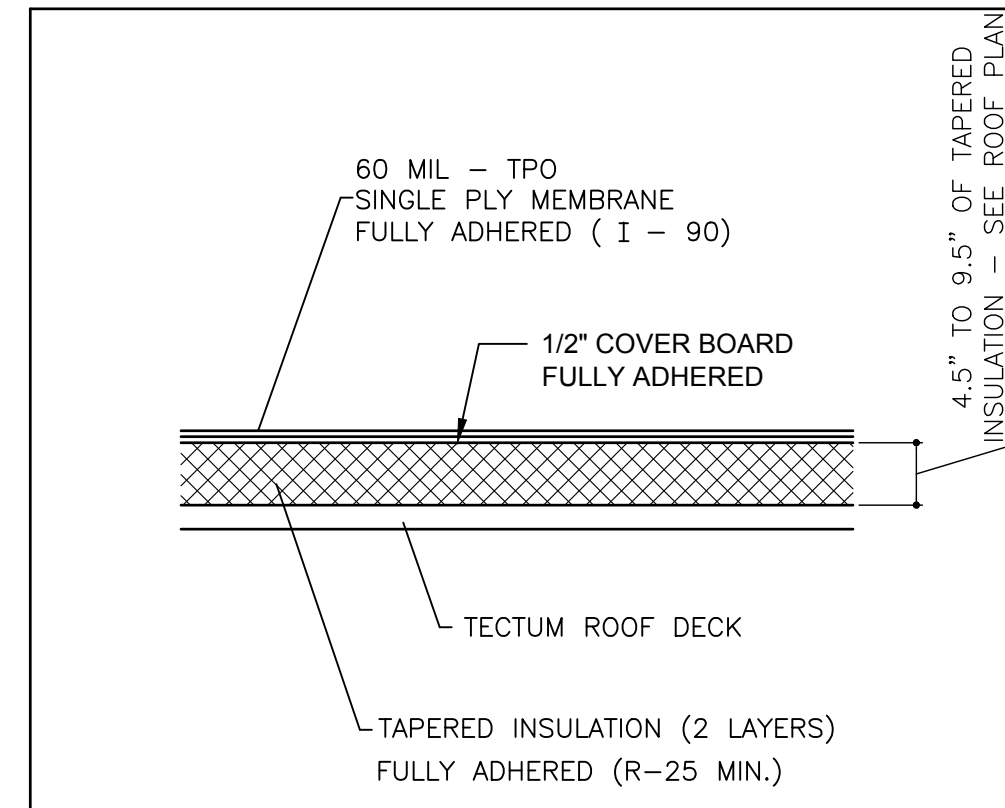
**1**  
A6-3 ROOF DRAIN INLET  
SCALE: 1 1/2" = 1'-0"

**RD-1 ROOF DRAIN**

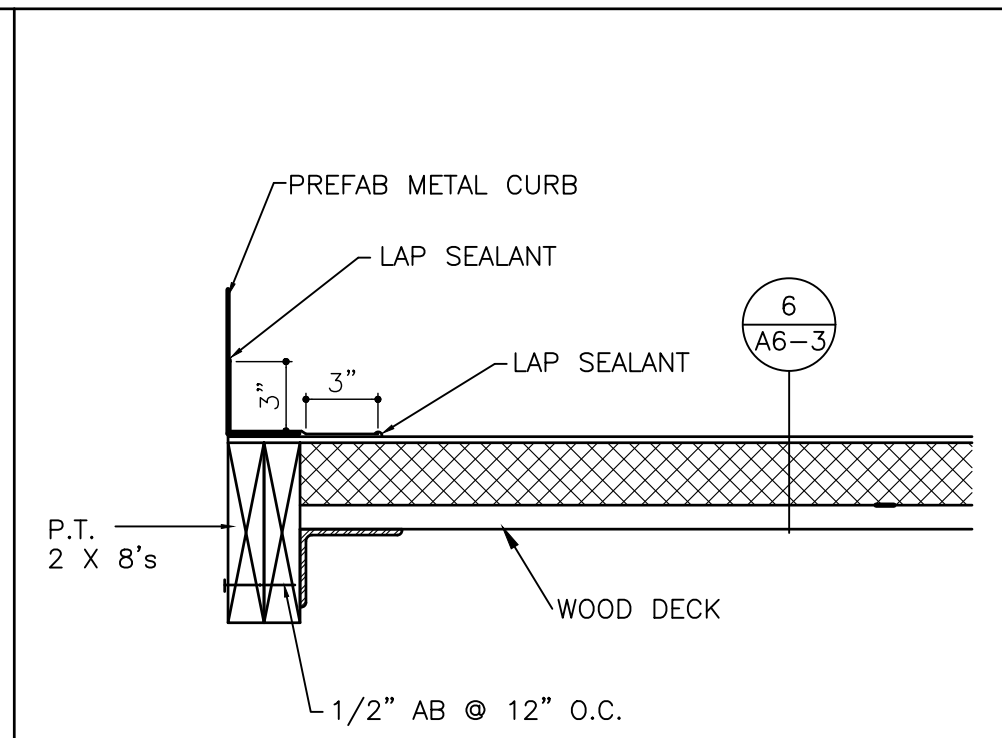
MAIN ROOF DRAIN, DURA-COATED CAST IRON BODY WITH EXTENSION, ROOF SUMP RECEIVER AND UNDER DECK CLAMP. DRAIN SHALL HAVE COMBINATION MEMBRANE FLASHING CLAMP/GRAVEL STOP AND GALVANIZED CAST IRON LOW SILHOUETTE DOME.

**BASIS OF DESIGN**

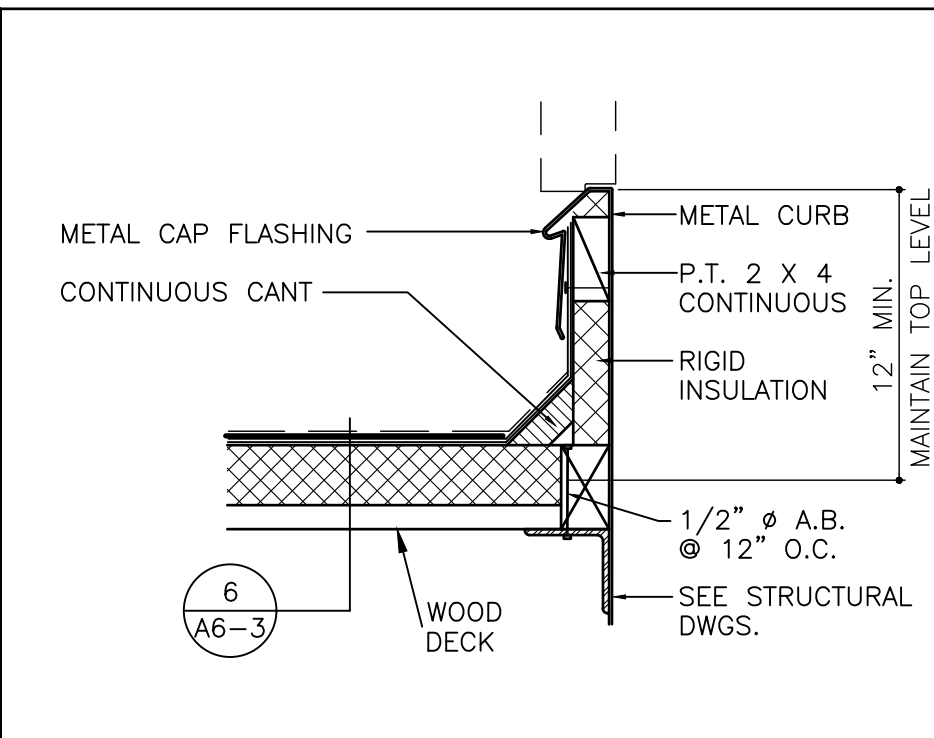
ZURN - ZC-100-EA-R-C-GD



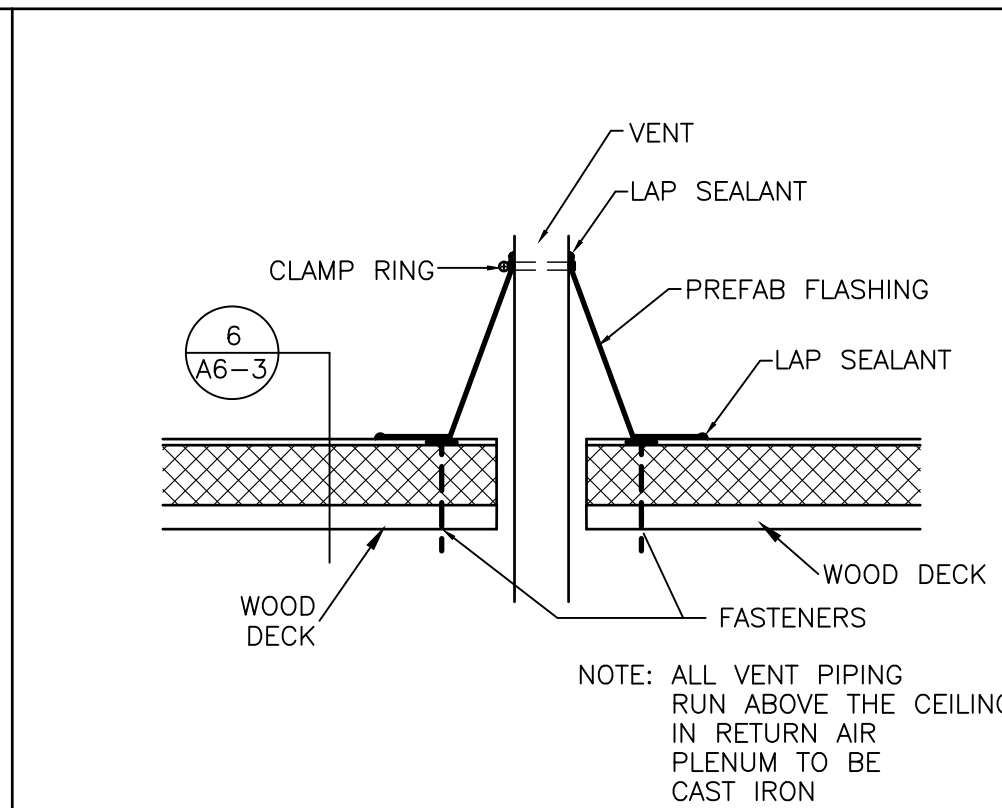
**6**  
A6-3 ROOF AND DECK SYSTEM 1



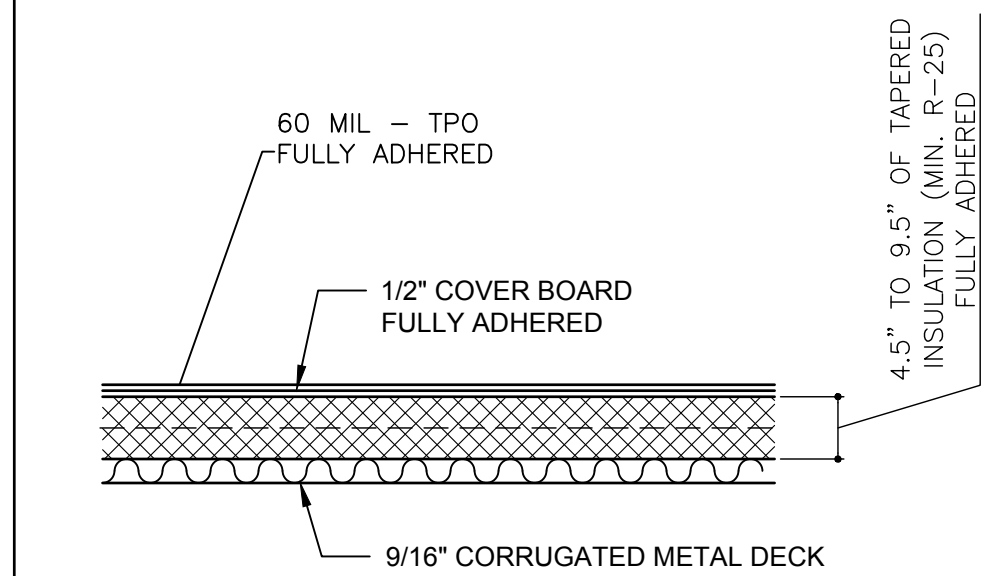
**7**  
A6-3 FLASHING - PREFAB ROOF CURB  
(SEE MECH. DWGS. FOR LOCATIONS)



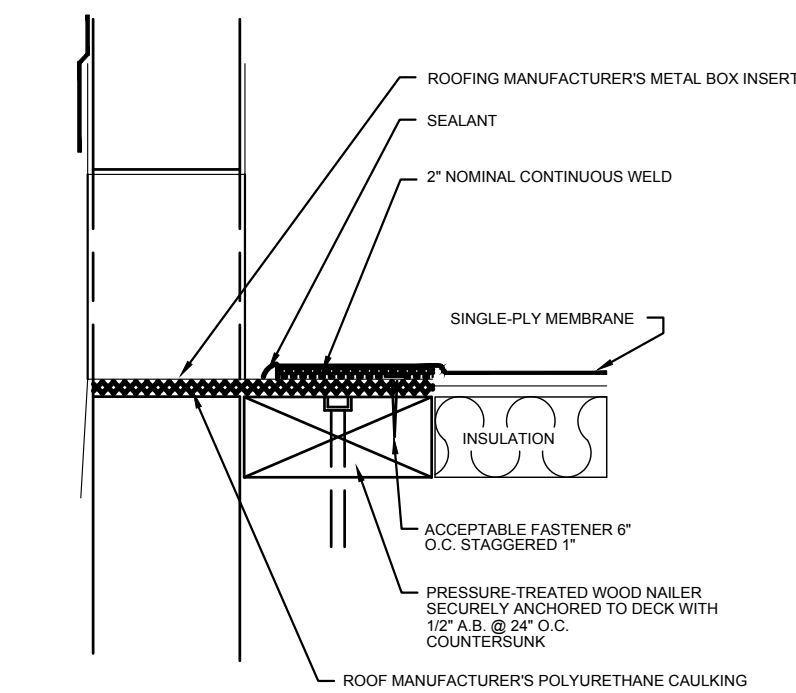
**8**  
A6-3 TYPICAL MECHANICAL CURB DETAIL



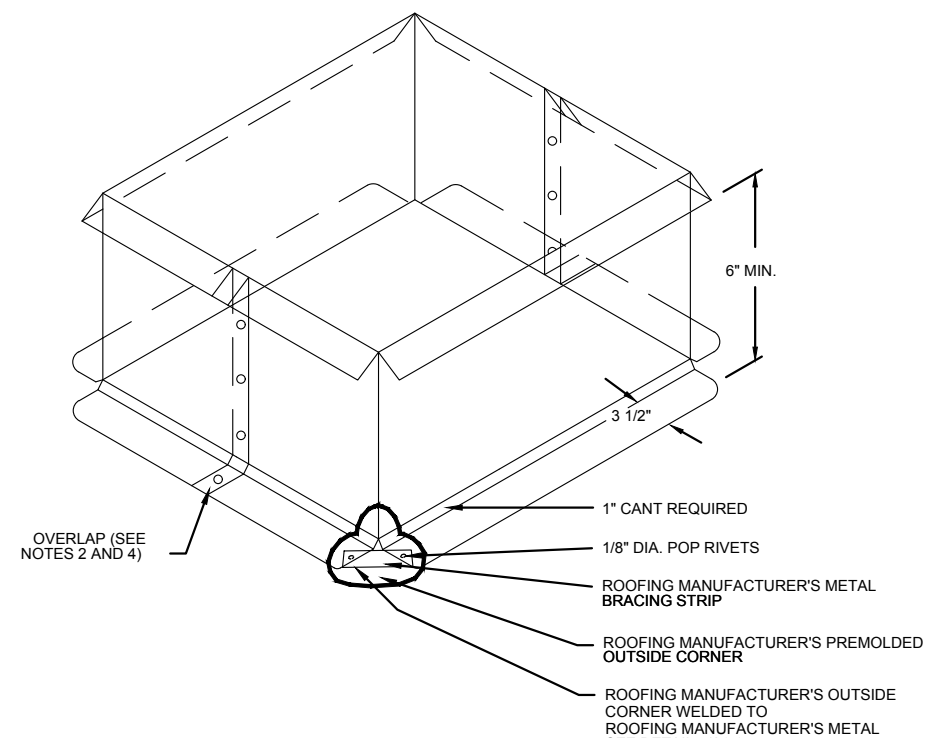
**9**  
A6-3 VENT THRU ROOF  
(SEE PLUMBING DWGS. FOR NUMBER AND LOCATIONS)



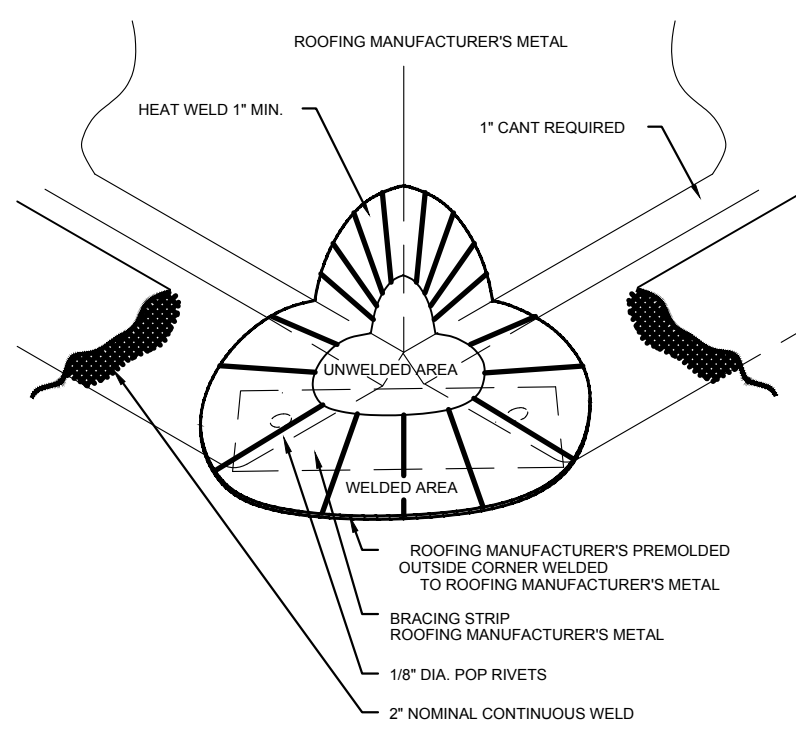
**10**  
A6-3 ROOF AND DECK SYSTEM 2



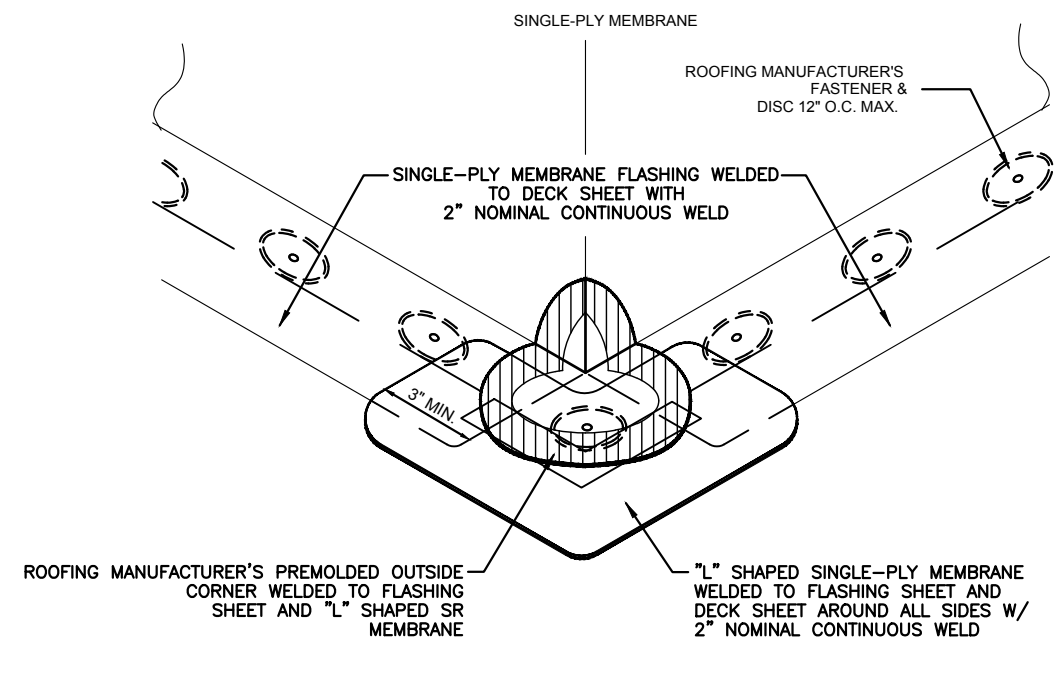
**2**  
A6-3 THRU WALL SCUPPER  
NOT TO SCALE



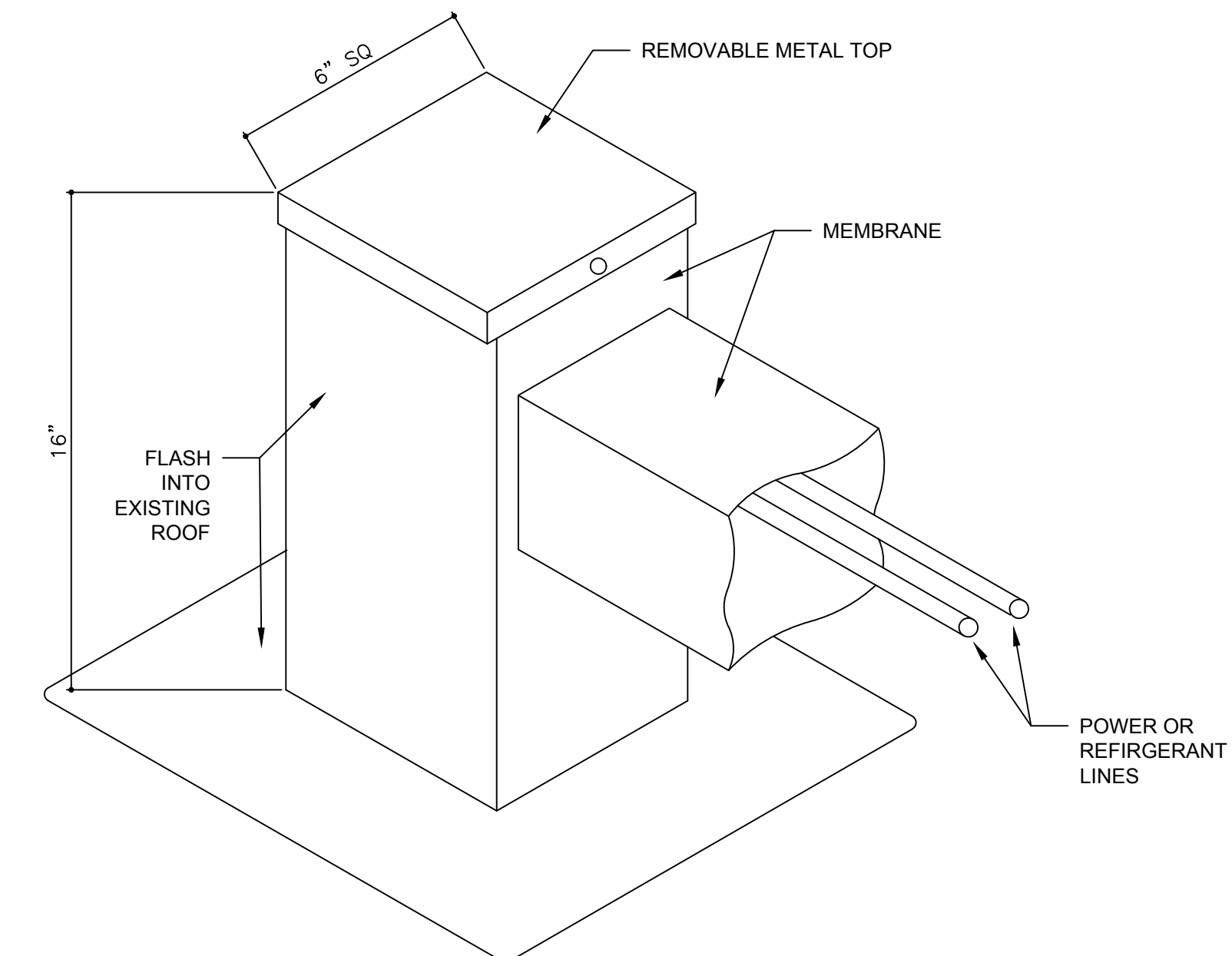
**3**  
A6-3 METAL CURB FLASHING  
NOT TO SCALE



**4**  
A6-3 OUTSIDE CORNER (METAL FLASHING)  
NOT TO SCALE



**5**  
A6-3 OUTSIDE CORNER (MEMBRANE FLASHING)  
NOT TO SCALE



**11**  
A6-3 UNIVERSAL ROOF PENETRATION DETAIL  
SCALE: NONE



*Signature*

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REVISIONS	
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206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

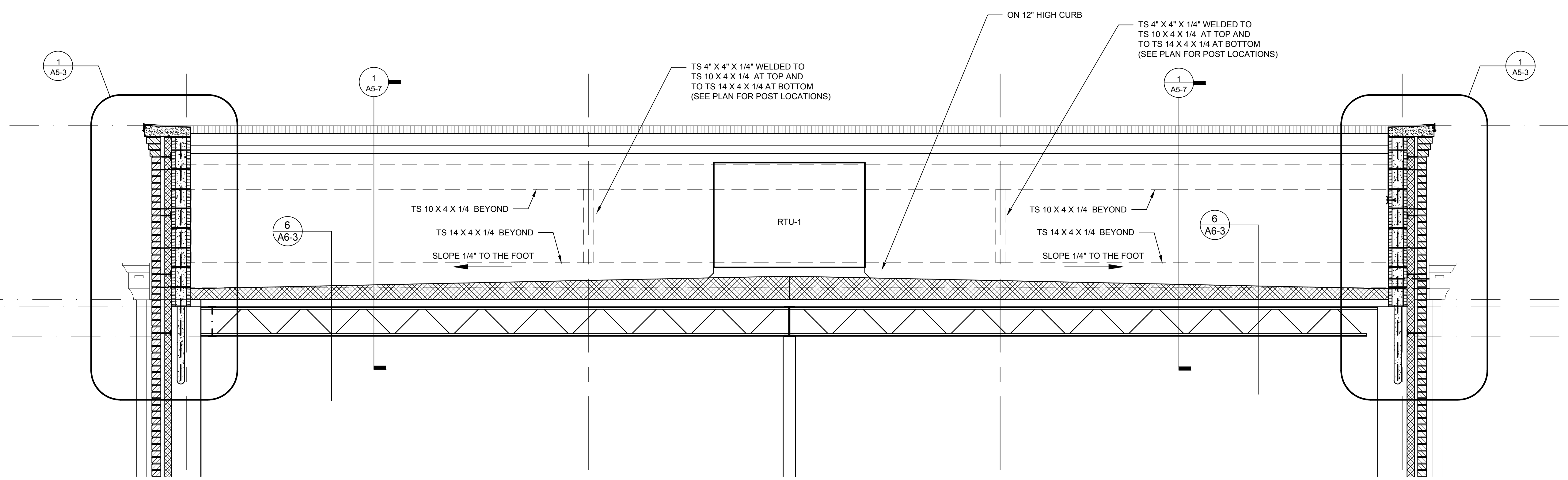
**TITLE:**  
**ROOF DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A6-3</b>



*Signature*

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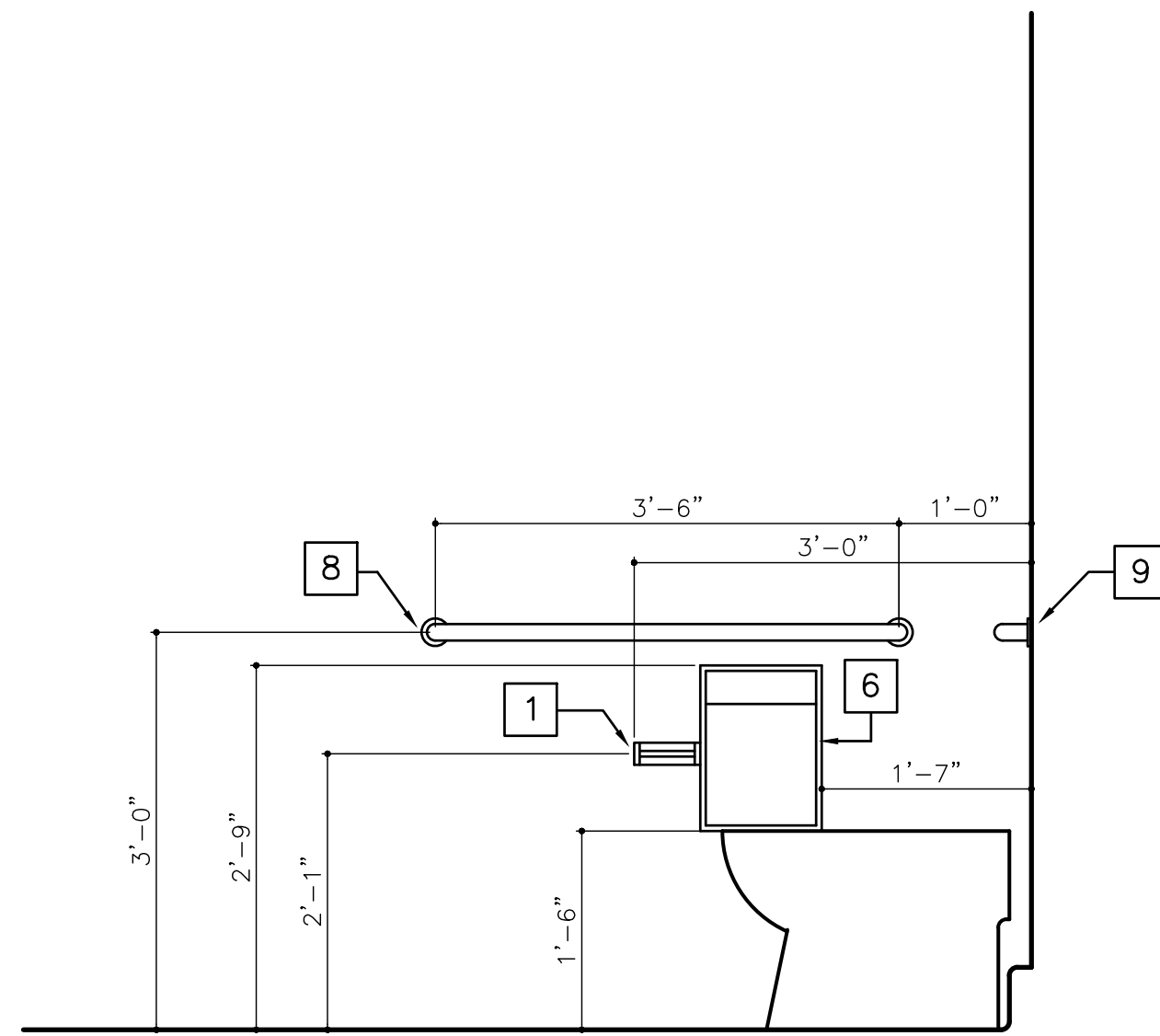
**ROOF ELEVATION AT STEP DOWN**  
 SCALE: 1-1/2" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

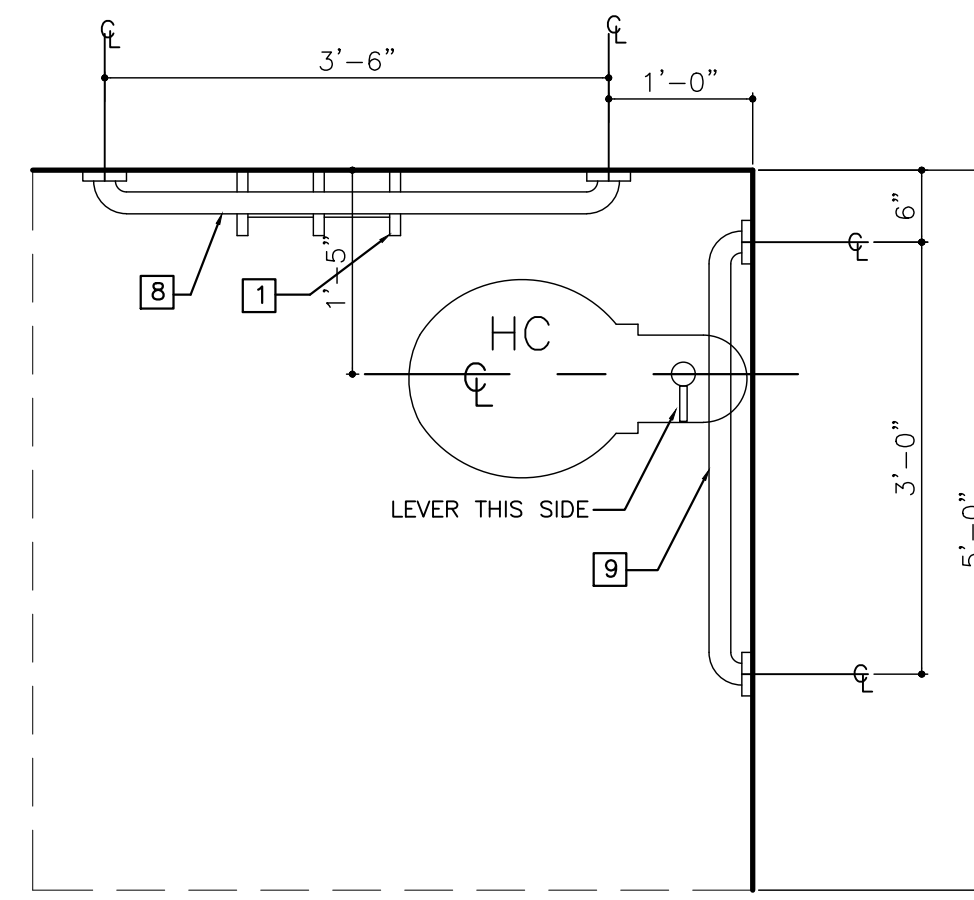
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**ROOF DETAILS**

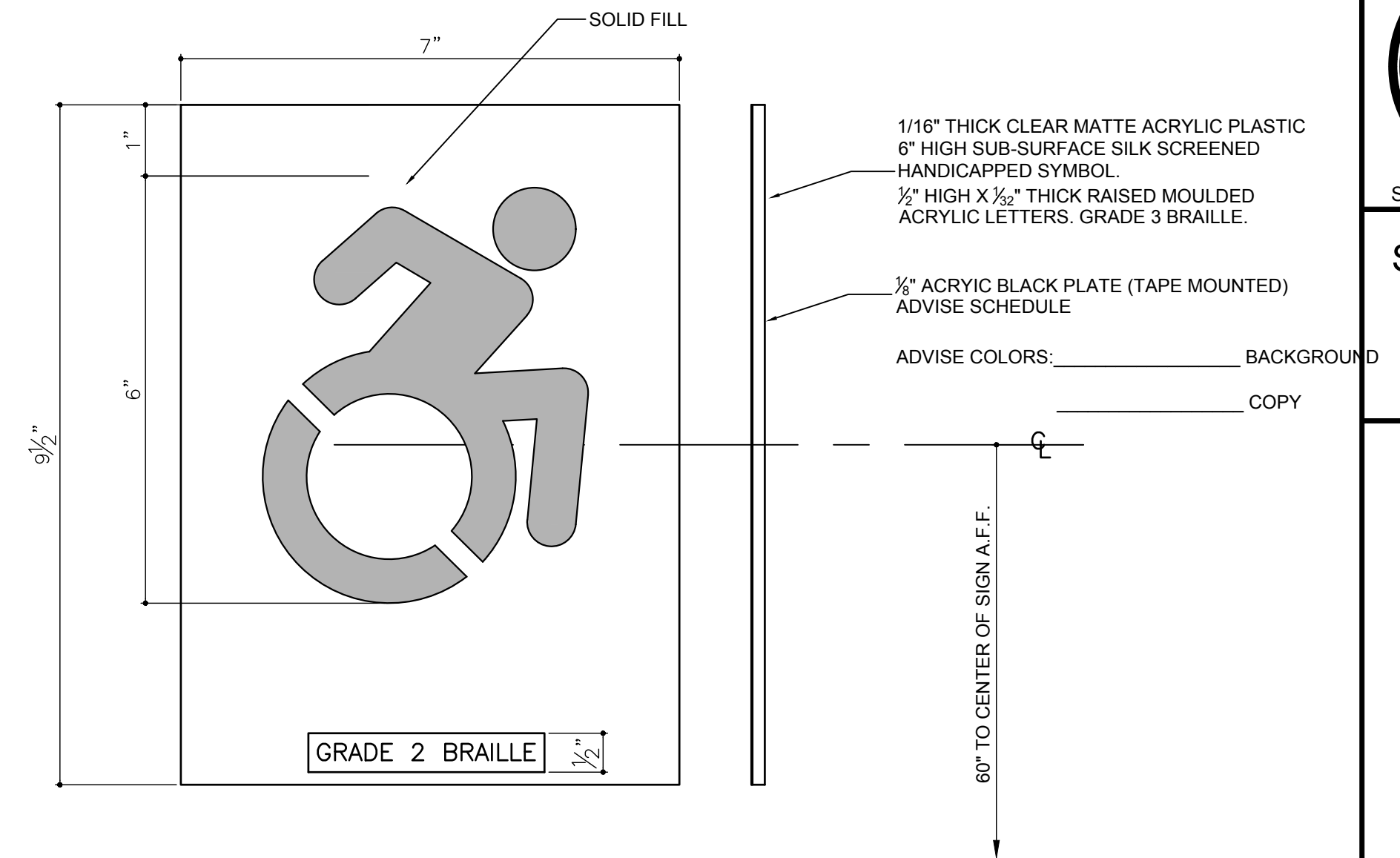
MODIFIED DATE: 5 JAN 2015	JOB NO: 1918
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A6-4</b>



1  
A7-1  
**SECTION (TYPICAL AT ALL NEW TOILET ROOMS)**  
SCALE: 3/4" = 1'-0"

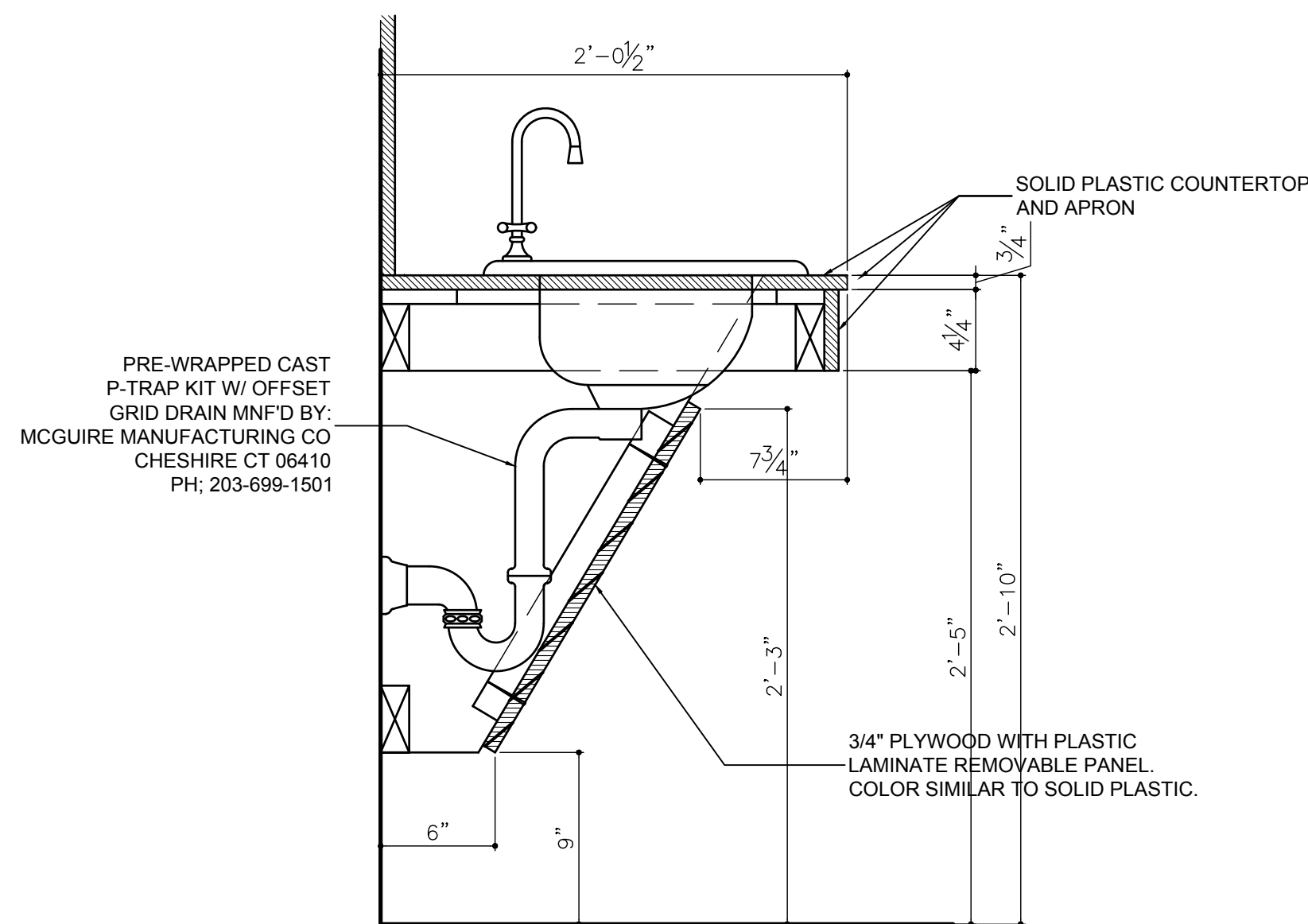


2  
A7-1  
**ACCESSIBLE TOILET PLAN**  
SCALE: 3/4" = 1'-0"

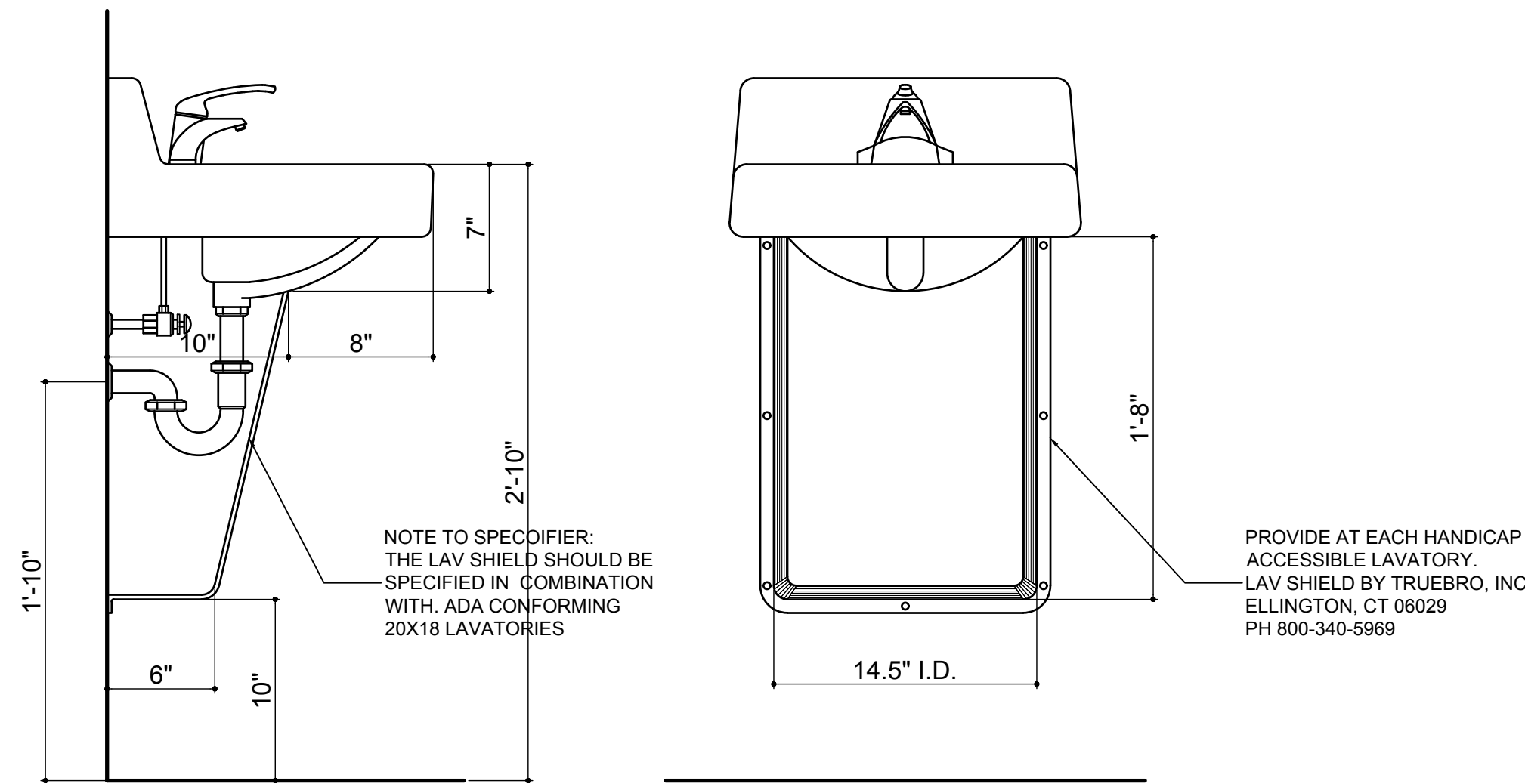


3  
A7-1  
**ACCESSIBLE SIGNAGE**  
SCALE: 6" = 1'-0"

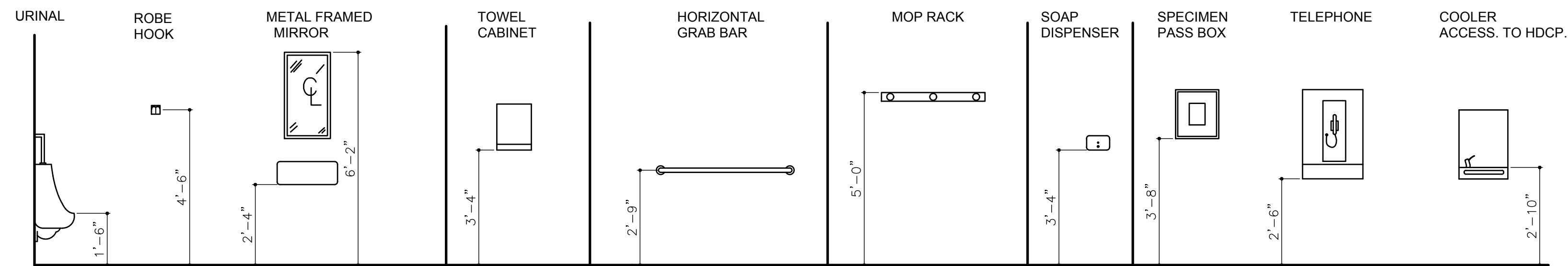
(PROVIDE READING 'TOILET')  
(SEE LARGE SCALE TOILET PLANS FOR LOCATIONS OF HC SIGNAGE)  
NOTE: VERIFY EXACT READING WITH ARCHITECT.  
LOCATE AT 60" A.F.F. TO CENTER OF SIGN ON THE PULL SIDE  
OF ALL TOILET DOORS THAT ARE H.C. ACCESSIBLE



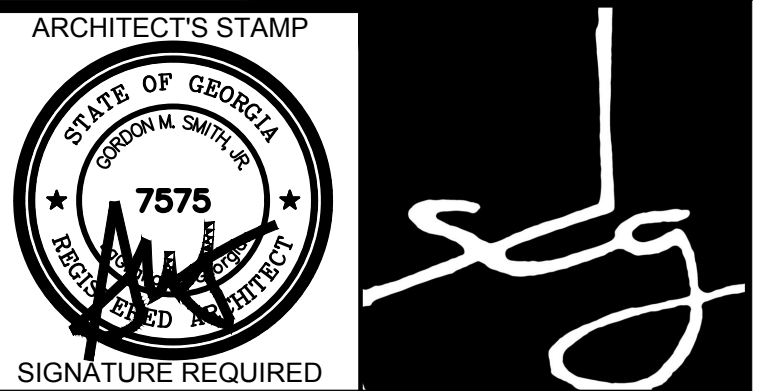
4  
A7-1  
**ACCESSIBLE BASIN SKIRT DETAIL**  
SCALE: 1-1/2" = 1'-0"



5  
A7-1  
**ACCESSIBLE LAVATORY PIPE SHIELD**  
SCALE: 1-1/2" = 1'-0"  
NOTE: G.C. TO PROVIDE SHIELD. PLUMBER TO INSTALL.



5  
A7-1  
**GENERAL MOUNTING HEIGHTS**  
SCALE: 3/8" = 1'-0"



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DATE	DESCRIPTION

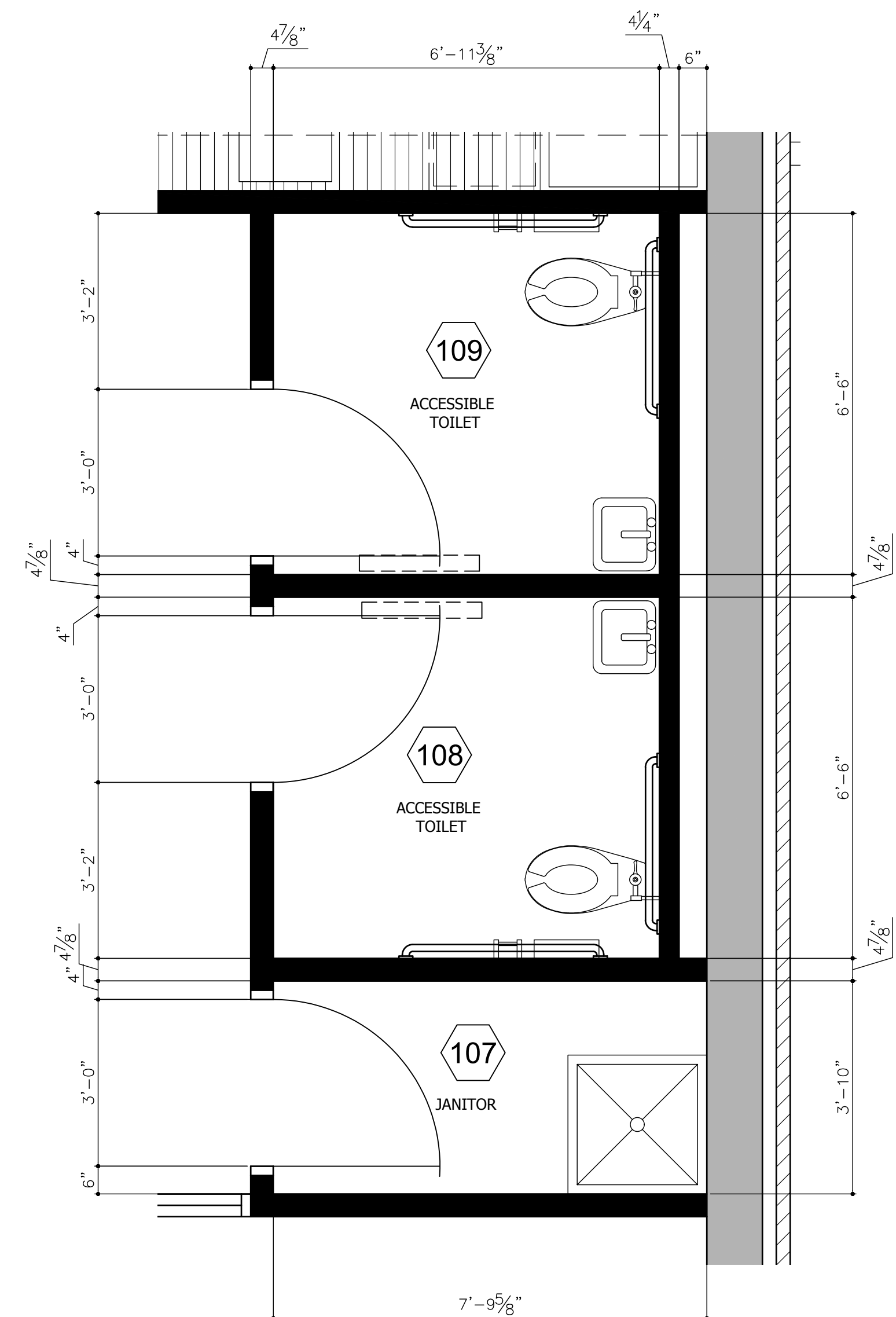
PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**TOILET DETAILS**

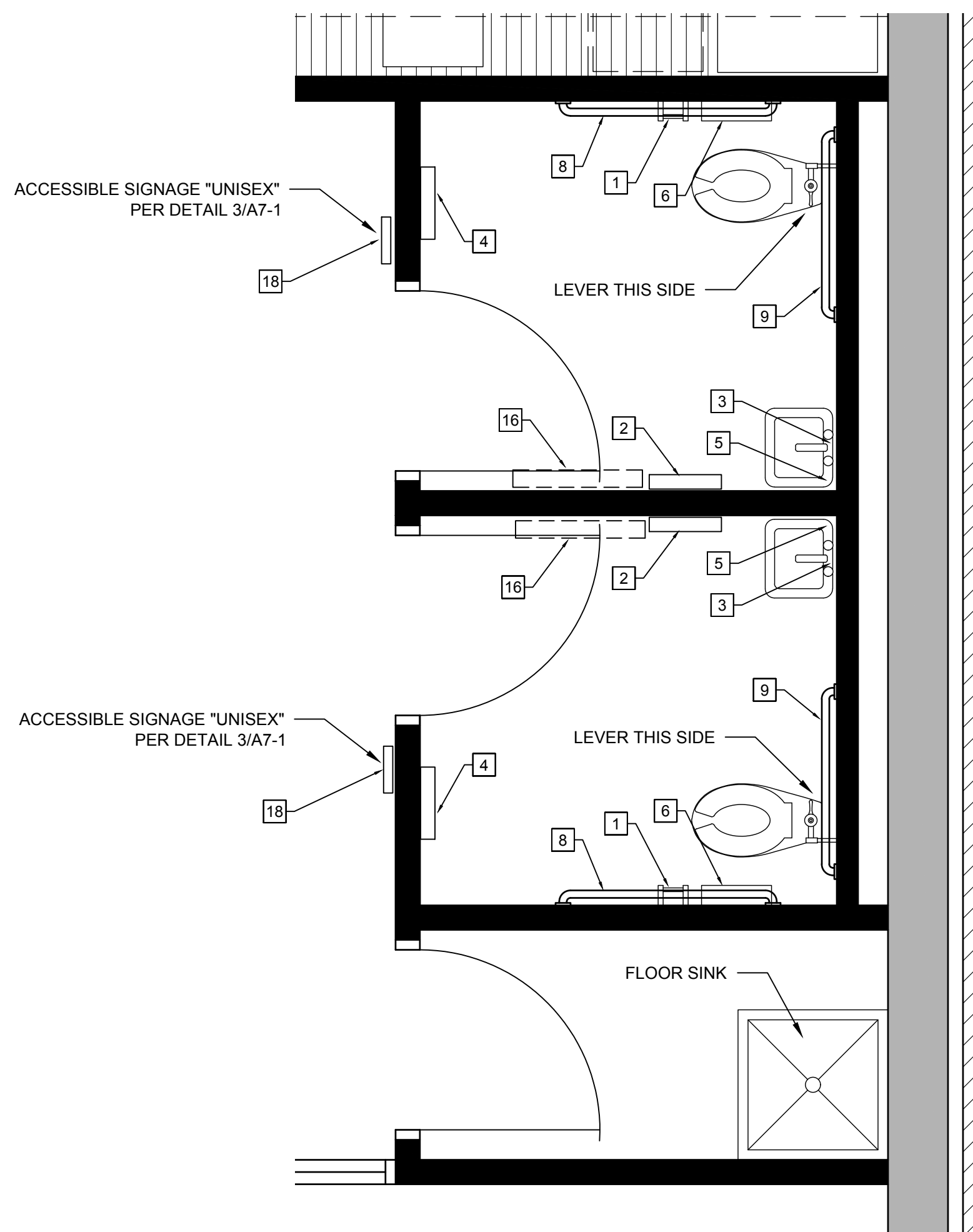
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A7-1</b>

**KEYNOTES**

- ① THIN SET 12" X 24" PORCELAIN TILE FULL HEIGHT (1/3 OFFSET) ON TILE BOARD
- ② PORCELAIN TILE FULL HEIGHT ON WET WALL



① SPACE 107, 108, 109 - DIMENSIONS  
Scale: 1/2" = 1'-0"



② SPACE 107, 108, 109 - ACCESSORIES  
Scale: 1/2" = 1'-0"

**SCHEDULE OF TOILET ACCESSORIES**

ITEMS	SPACE		REMARKS
	No.	QUANTITY	
1 ROLL PAPER HOLDER (R/R)	SPACE 108 - UNISEX	1	
2 TOWEL DISPENSER WITH WASTE	SPACE 109 - UNISEX	1	
3 MIRROR TYPE 1			
4 MIRROR TYPE 2 (HANDICAP)			
5 SOAP DISPENSER			
6 NAPKIN DISPOSAL			
7 TOWEL RACK TYPE 1			
8 GRAB BAR TYPE 1 42"			
9 GRAB BAR TYPE 2 36"			
10 BABY CHANGING STATION (REC.)			
11 TOWEL DISPENSER			
12 DIAPER CHANGER			
13 UNFRAMED MIRROR			
14 SOAP DISPENSER - WALL			
15 SHOWER GRAB BAR			
16 DIAPER CHANGING STATION			
17 PUP DOWN SHOWER SEAT			
18 ACCESSIBLE SIGNAGE - SEE 3/A7-1			
19 SHOWER ROD AND CURTAIN			
20			

NOTE: VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECT EARLY IN CONSTRUCTION SO THAT PROPER BLOCKING AND CUT-OUTS MAY BE PROVIDED.

**GENERAL NOTES - CABINET CONSTRUCTION**

1. ALL CABINETS TO HAVE PLASTIC LAMINATE EXTERIORS WITH MELAMINE INTERIORS.
2. ALL CABINETS TO BE CONSTRUCTED FOLLOWING AWI QUALITY STANDARDS.
3. ALL TOE BOARDS TO BE PRESSURE TREATED.
4. ALL CABINET BODY MEMBERS TO BE 3/4" MELAMINE. BACKS TO BE 1/4" MELAMINE.
5. ALL ADJUSTABLE SHELVES TO BE 3/4" MELAMINE WITH MATCHING PVC EDGE BANDING ON 5 MM SHELF PINS @ 32MM O.C.
6. CABINET HARDWARE:  
 A: DOOR AND DRAWER PULLS.  
 WIRE PULLS NO. 4484, STANLEY HARDWARE  
 B: HINGES 2 PER LEAF  
 NO. 3703VS8, SELF CLOSING, DOWELED HINGE CUP, BY G\*GRASS  
 C: DRAWER GUIDES  
 NO. 6600, G\*GRASS  
 D: SHELF PINS  
 5 MM DIA., 24 MM LONG, NICKEL PLATED, SPACED @ 32 MM O.C.
7. ALL RETRACTABLE KEYBOARDS TO BE BASED ON KNAPE AND VOGT, PHONE (800) 253-1561, KEYNETIX FULLY ADJUSTABLE KEYBOARD SYSTEM WITH AMBIDEXTROUS UNDER SWIVEL MOUSE TRAY.

ARCHITECT'S STAMP



*[Signature]*

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**REVISIONS**

DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**TOILET PLANS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A7-2</b>

ARCHITECT'S STAMP



*[Handwritten Signature]*

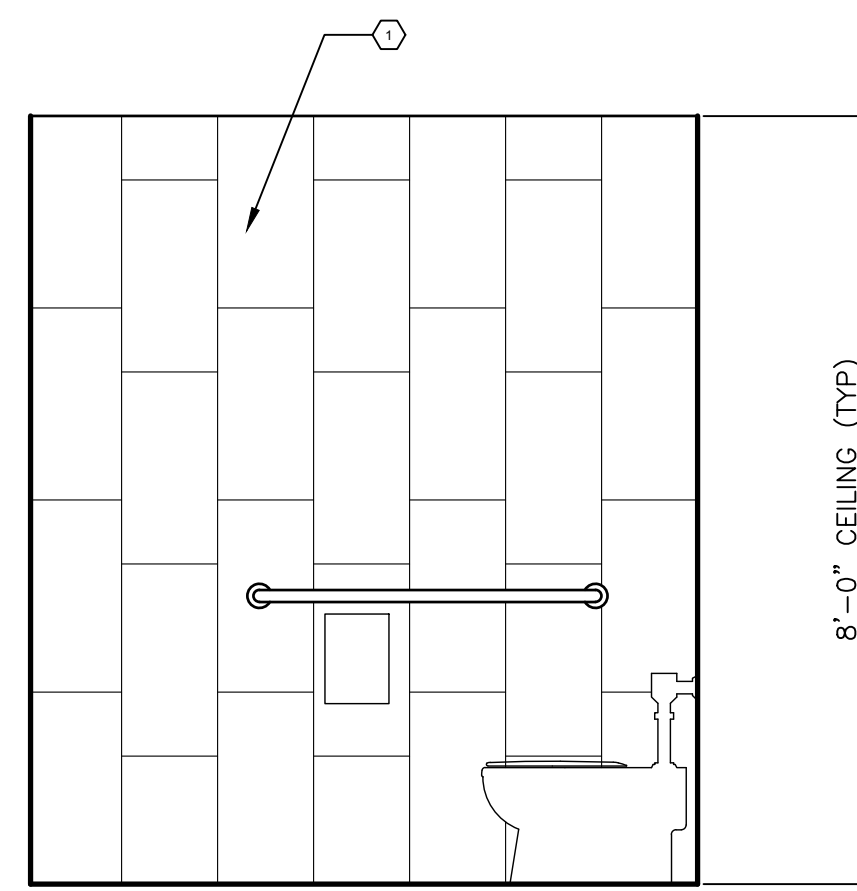
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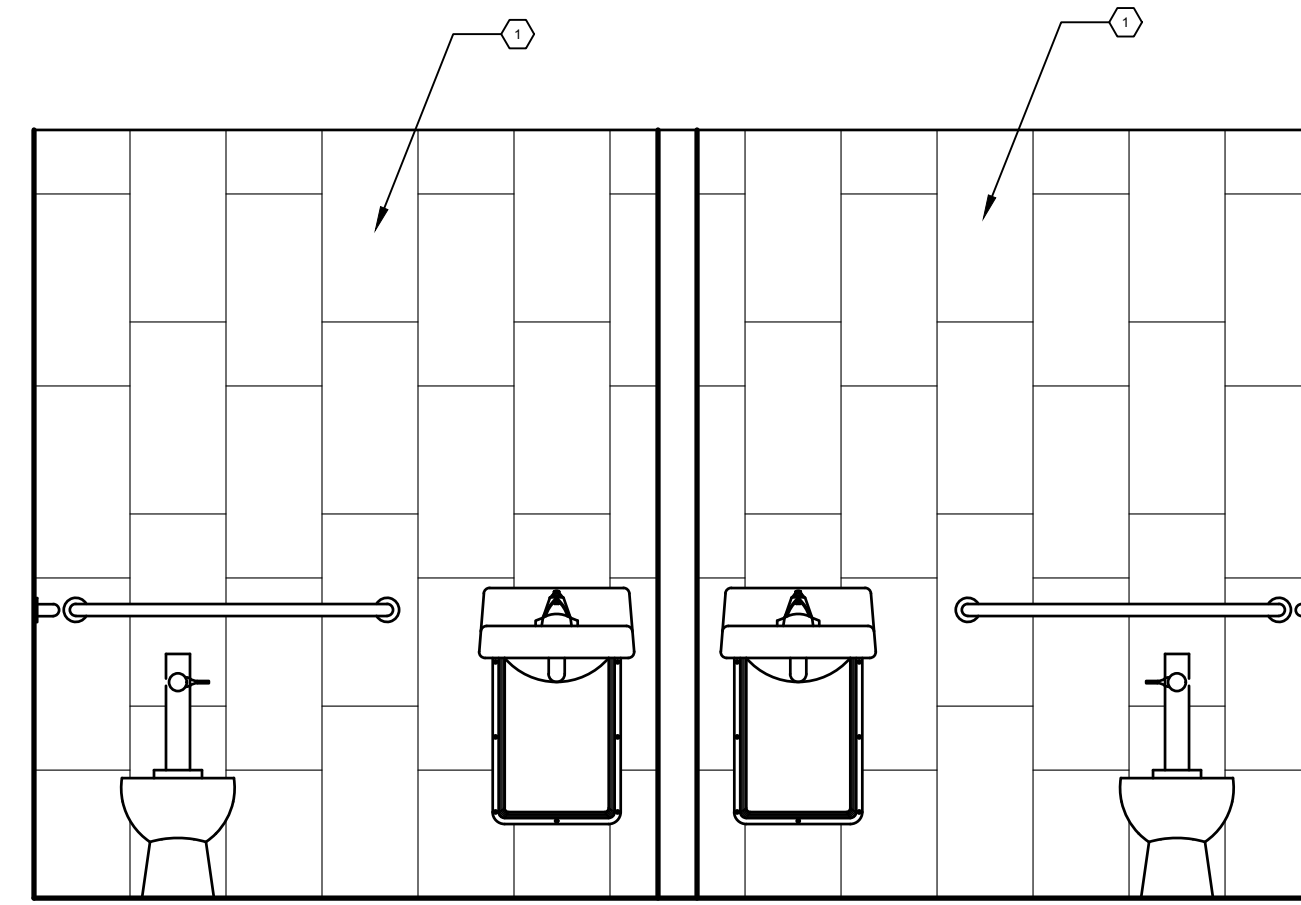
706-882-5511  
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KEYNOTES

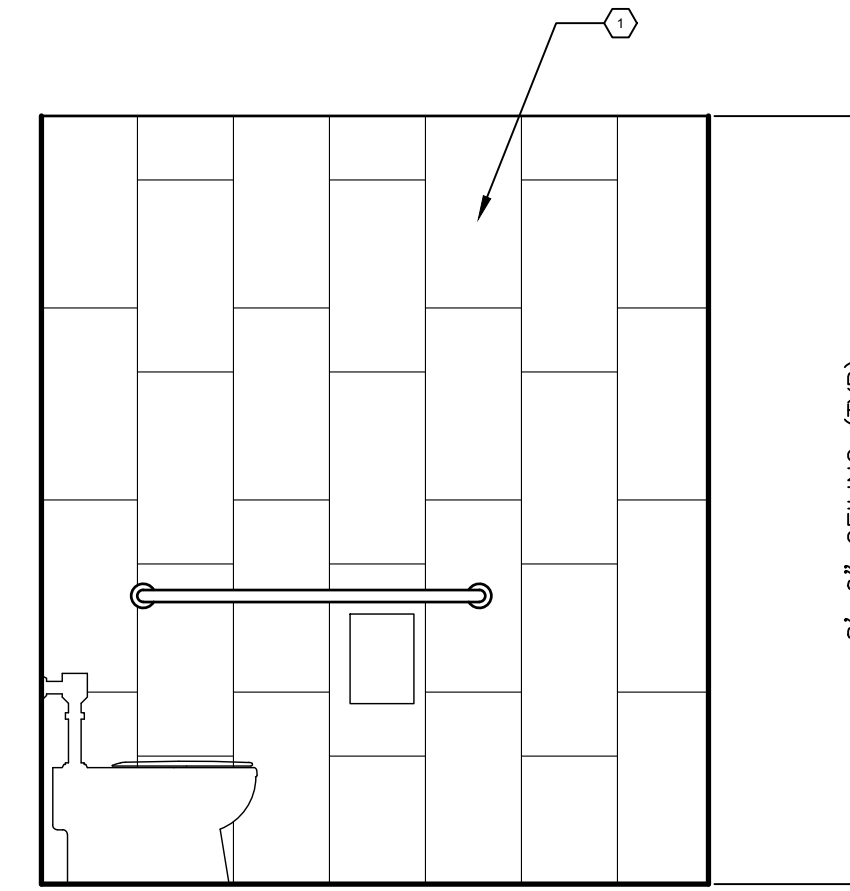
① THIN SET 12" X 24" PORCELAIN TILE FULL HEIGHT (1/2 OFFSET) ON TILE BOARD



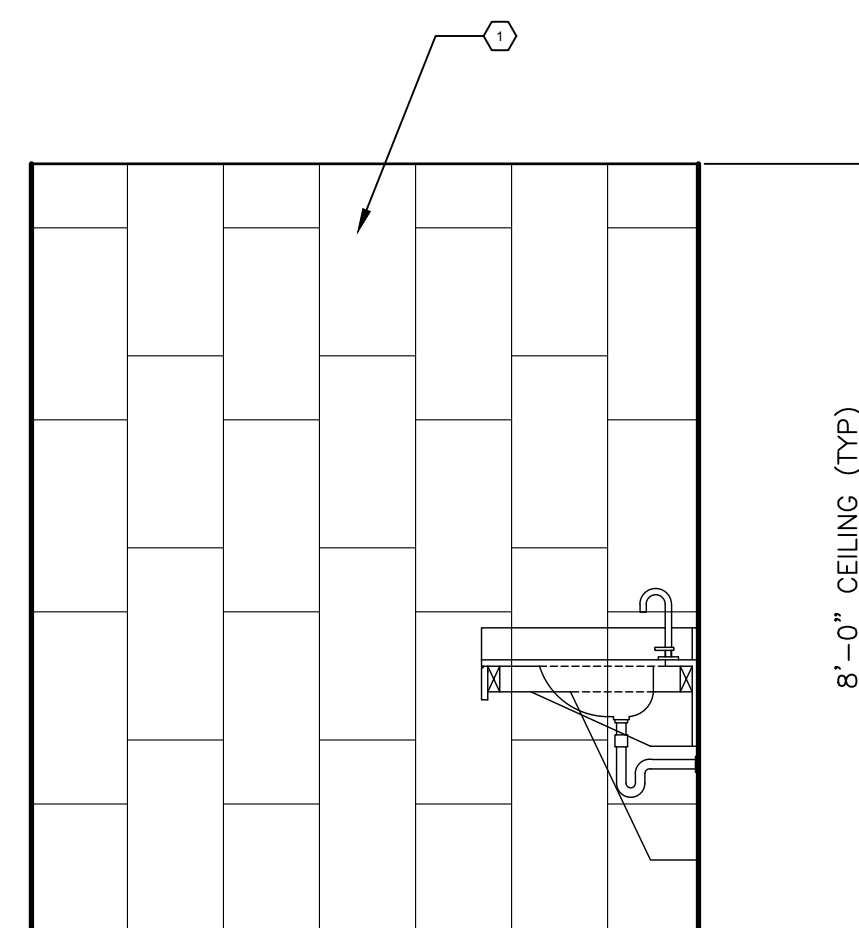
① SPACE 109  
A7-3 Scale: 1/2" = 1'-0"



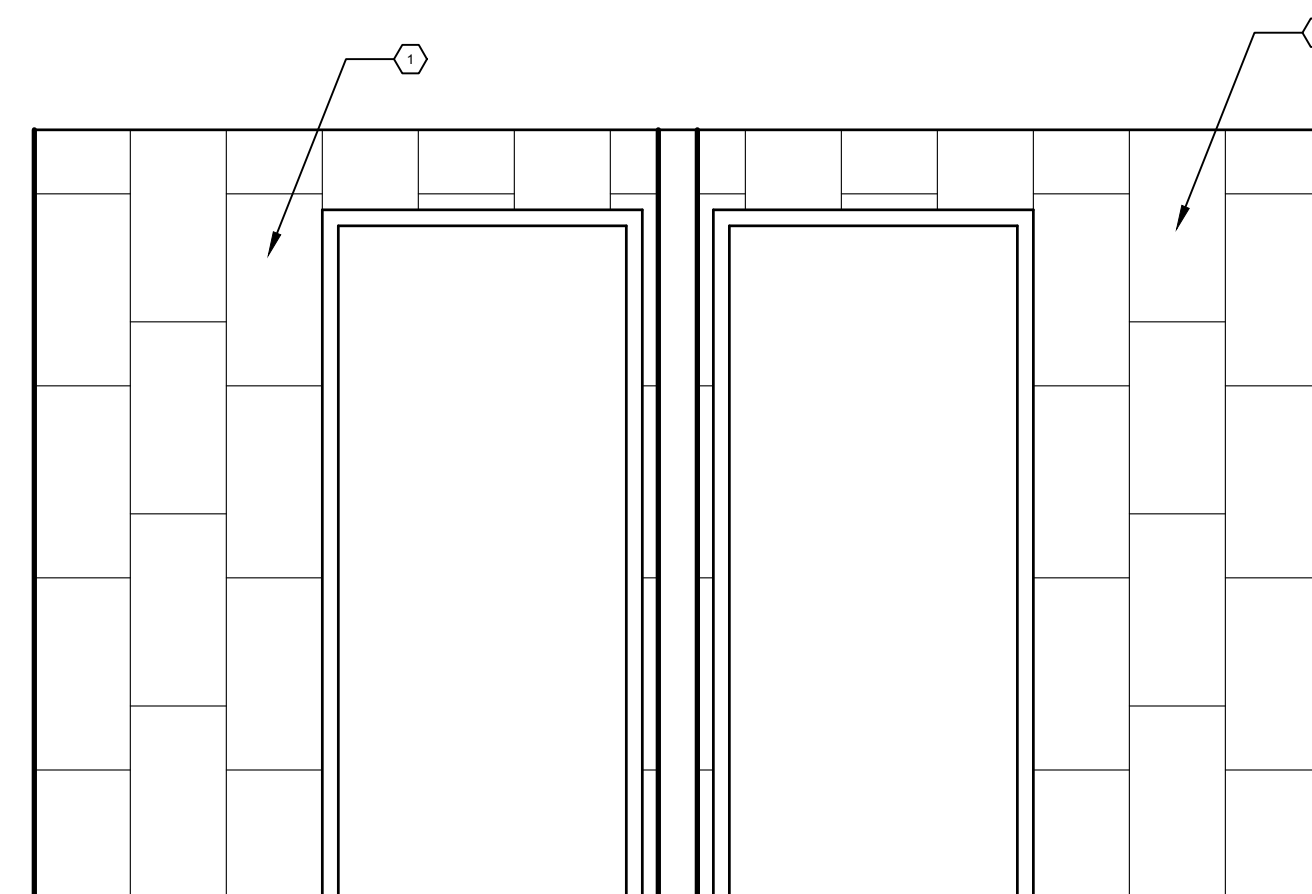
② SPACE 109, 108  
A7-3 Scale: 1/2" = 1'-0"



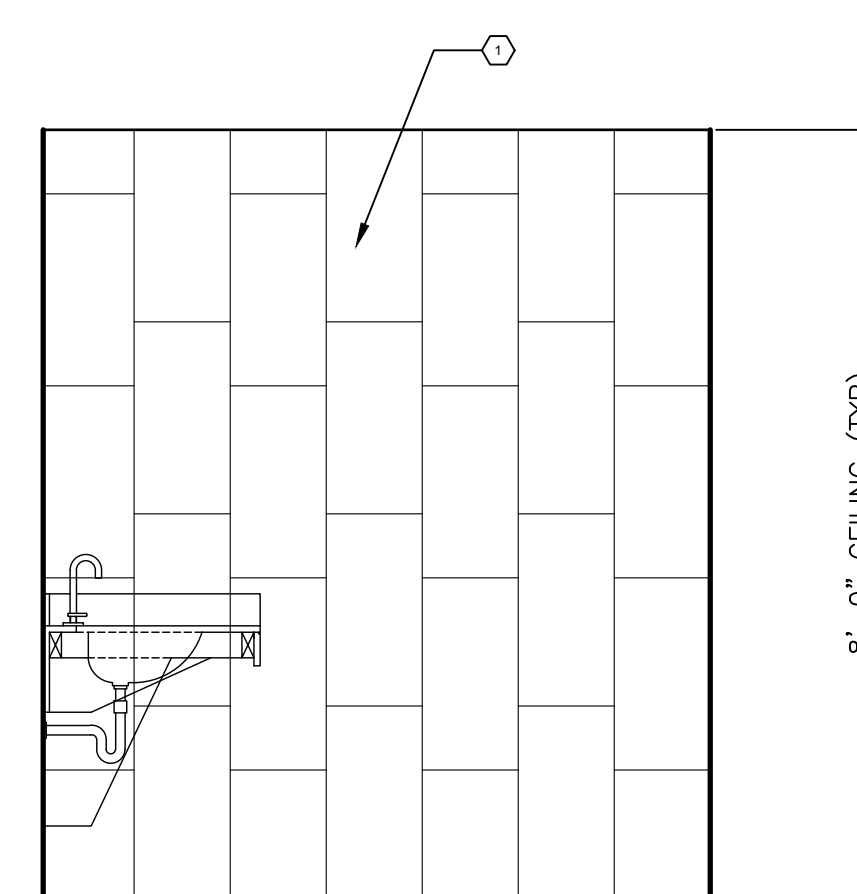
③ SPACE 108  
A7-3 Scale: 1/2" = 1'-0"



④ SPACE 108  
A7-3 Scale: 1/2" = 1'-0"



⑤ SPACE 109, 108  
A7-3 Scale: 1/2" = 1'-0"



⑥ SPACE 109  
A7-3 Scale: 1/2" = 1'-0"

REVISIONS

DATE	DESCRIPTION

PROJECT:

TOURISM OFFICE  
RENOVATION

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:

TOILET ELEVATIONS

MODIFIED DATE:

JOB NO:

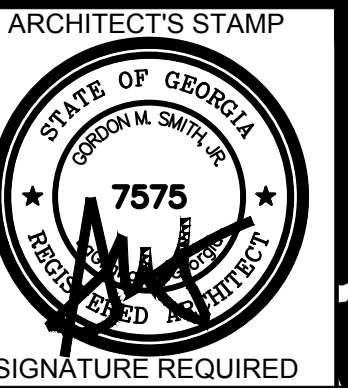
1918

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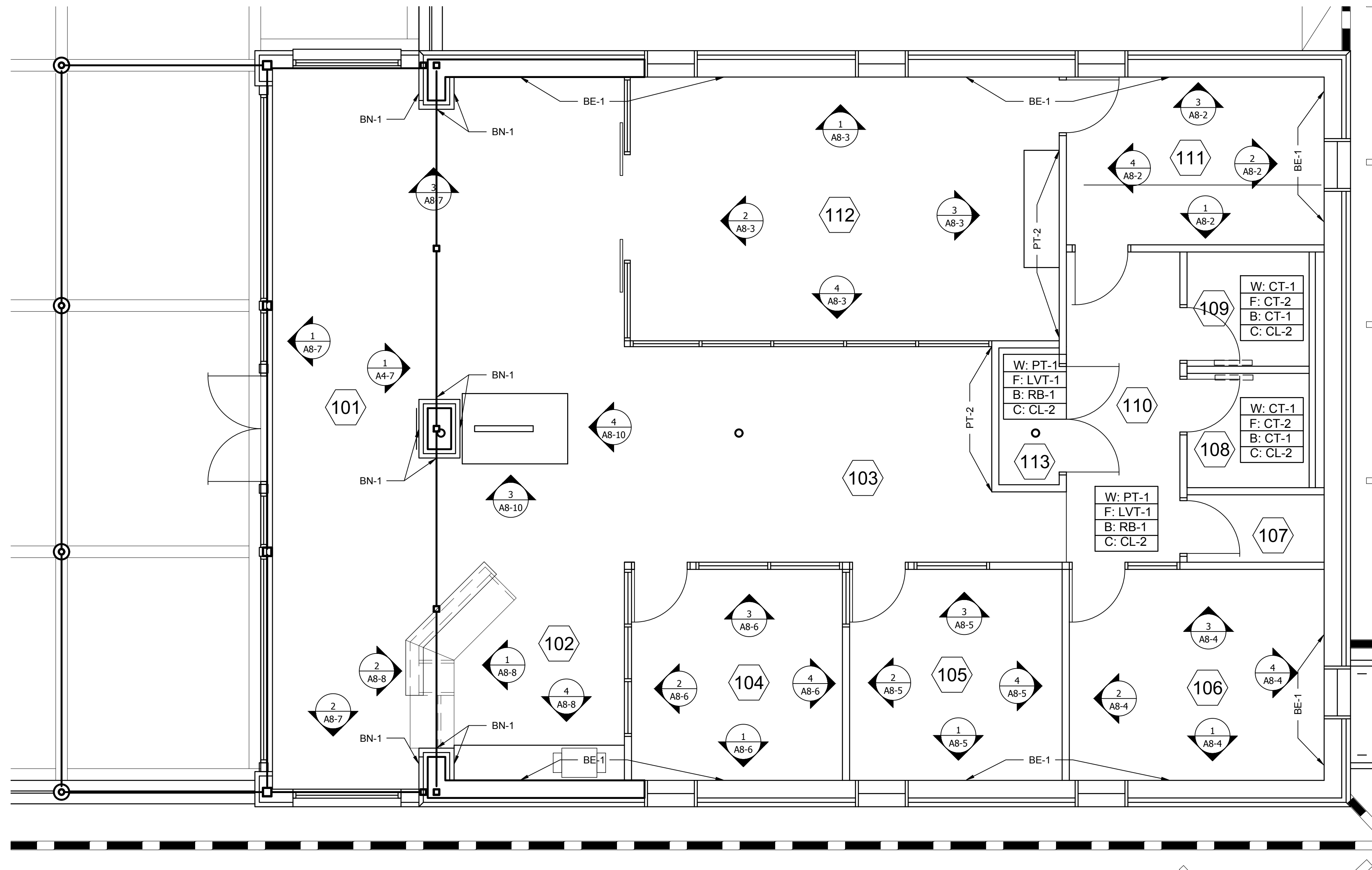
SHEET:

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24 APR 2020

A7-3



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TYPICAL FINISH DESIGNATION TO ALL ROOMS (UNLESS OTHERWISE NOTED)

W: PT-1
F: LVT-1
B: RB-1
C: CL-1

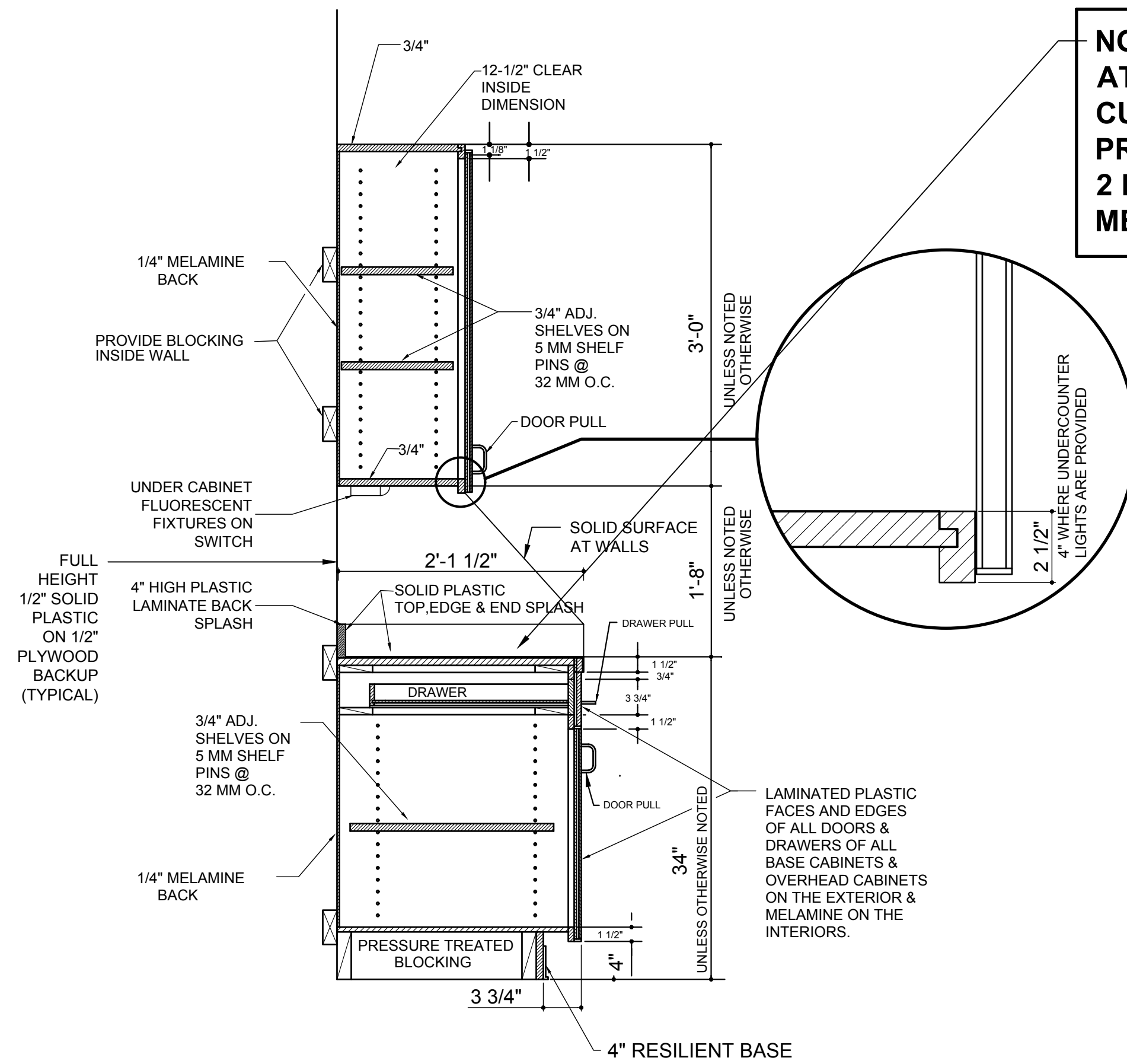
**1** INDEX TO INTERIOR ELEVATIONS  
 Scale: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**INDEX TO INTERIOR ELEVATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A8-0</b>

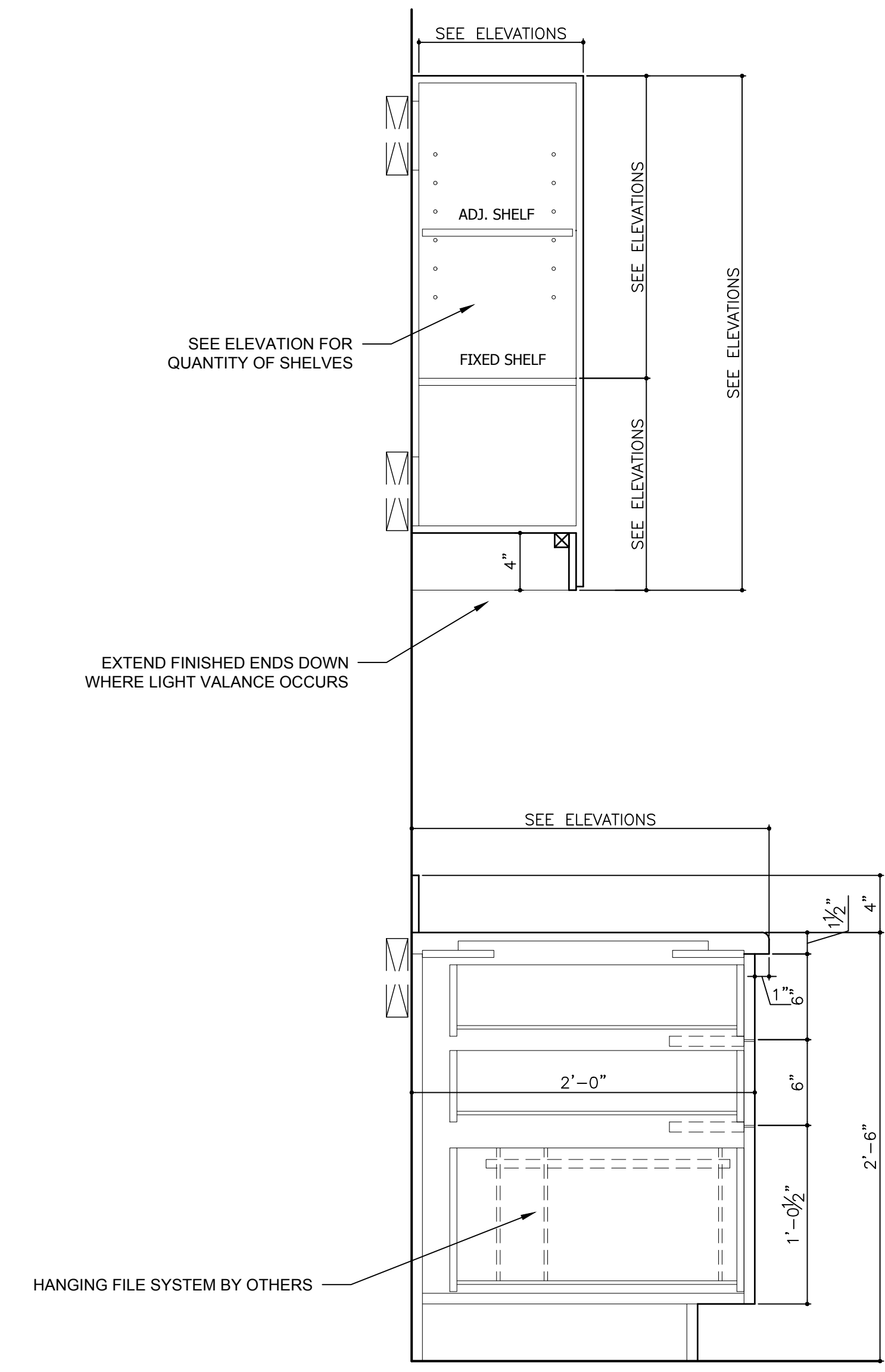


**NOTE:**  
**AT RECEPTION DESK AND CONFERENCE ROOM**  
**CUSTOM CABINET WORK -**  
**PROVIDE NEW COUNTERTOP OF QUARTZSTONE WITH**  
**2 LAYERS OF 3/4\" PLYWOOD SUBSTRATE AND**  
**METAL EDGE DETAIL. SEE 3/A8-9.**

**TYPICAL CABINET SECTION**

A  
 A8-1  
 SCALE: 1" = 1'-0"

- GENERAL NOTES - CABINET CONSTRUCTION**
- ALL CABINETS TO HAVE PLASTIC LAMINATE EXTERIORS WITH MELAMINE INTERIORS.
  - ALL CABINETS TO BE CONSTRUCTED FOLLOWING AWI QUALITY STANDARDS.
  - ALL TOE BOARDS TO BE PRESSURE TREATED.
  - ALL CABINET BODY MEMBERS TO BE 3/4" MELAMINE, BACKS TO BE 1/4" MELAMINE.
  - ALL ADJUSTABLE SHELVES TO BE 3/4" MELAMINE WITH MATCHING PVC EDGE BANDING ON 5 MM SHELF PINS @ 32MM O.C.
  - CABINET HARDWARE:  
 A: DOOR AND DRAWER PULLS.  
 WIRE PULLS NO. 4484, STANLEY HARDWARE  
 B: HINGES 2 PER LEAF  
 NO. 3703V88, SELF CLOSING, DOWELED HINGE CUP, BY G\*GRASS  
 C: DRAWER GUIDES  
 NO. 6600, G\*GRASS  
 D: SHELF PINS  
 5 MM DIA., 24 MM LONG, NICKEL PLATED, SPACED @ 32 MM O.C.
  - ALL RETRACTABLE KEYBOARDS TO BE BASED ON KNAPE AND VOGT, PHONE (800) 253-1561, KEYNETIX FULLY ADJUSTABLE KEYBOARD SYSTEM WITH AMBIDEXTROUS UNDER SWIVEL MOUSE TRAY.



1  
 A8-1  
**CABINET SECTION**  
 Scale: 1-1/2" = 1'-0"

- KEYNOTES**
- DATA RECEPTACLE
  - POWER RECEPTACLE DUPLEX
  - 1/2" SOLID PLASTIC BACK SPLASH WITH 1/2" PLYWOOD BACKUP
  - 3" GROMMETT (VERIFY LOCATION WITH OWNER)
  - SOLID SURFACE COUNTERTOP 16" DEEP ON METAL BRACKETS.
  - FUR DOWN ABOVE OVERHEAD CABINETS WITH 1 5/8" M.S. @ 16" O.C. AND 5/8" GYP. BOARD. PAINT.
  - NEW LAMINATE PLASTIC ON EXISTING COUNTERTOP AND BACKSPLASH.
  - RETURN LAMINATE PLASTIC ON INSIDE JAMB OF WINDOW.
  - 4" RESILIENT BASE
  - LOCK ON CABINET DOOR
  - PAPER TOWEL DISPENSER
  - SOAP DISPENSER
  - GFI OUTLET @ 42" A.F.F.
  - WRITING SURFACE 1-1/2" THICK WITH LAM. PLASTIC ALL AROUND
  - 32" HIGH UNDER CABINET REFRIGERATOR DESIGN BASED ON SUMMIT ALB75 24" BUILT-IN COMPACT REFRIGERATOR WITH 5.5 CU. FT. CAPACITY
  - GLOVE DISPENSER
  - 3/4" TEMPERED SLIDING GLASS DOORS WITH CAM LOCK IN SURFACE-APPLIED TRACK
  - 1 X 2 WOOD TRIM - PAINT
  - RETRACTABLE KEYBOARD HOLDER
  - UNDER CABINET LIGHT
  - QUAD POWER RECEPTACLE
  - PRIVACY SCREEN UP TO 6'-0" AFF. WITH LAMINATE ALL AROUND TO MATCH COUNTERTOPS
  - HORIZONTAL FILES - PROVIDE FILE HANGERS IN EACH DOOR.
  - PROVIDE 4" SKIRT AT BOTTOM OF OVERHEAD CABINET TO CONCEAL UNDER CABINET LIGHTS. SEE DETAIL A/A8-1.
  - 3/4" SOLID PLASTIC HALF DOOR ON A CONTINUOUS PIANO HINGE WITH STOPS.
  - DARK BRONZE LEASH HOLD-ON LOOP. PROVIDE BLOCKING IN CABINET.
  - SECOND COLOR PLASTIC LAMINATE FULLY ADHERED TO 1/2" PLYWOOD.
  - COLOR ONE PLASTIC LAMINATE FULLY ADHERED TO 1/2" PLYWOOD.
  - 6"Ø PLASTIC TRASH GROMMETT
  - 13" DEEP OPEN SHELVES WITH LAMINATED PLASTIC ON ALL EXPOSED TO VIEW SURFACES, FACES AND EDGES.
  - LAMINATED PLASTIC SKIRT TO CONCEAL UNDER CABINET LIGHT.
  - 60"H X 36"W X 1-1/2" THICK TWO LAYERS OF 3/4" PLYWOOD WITH PLASTIC LAMINATE.
  - GLASS DOORS WITH 1/4" TEMPERED GLASS.
  - ADJUSTABLE 1/4" TEMPERED GLASS SHELVES.



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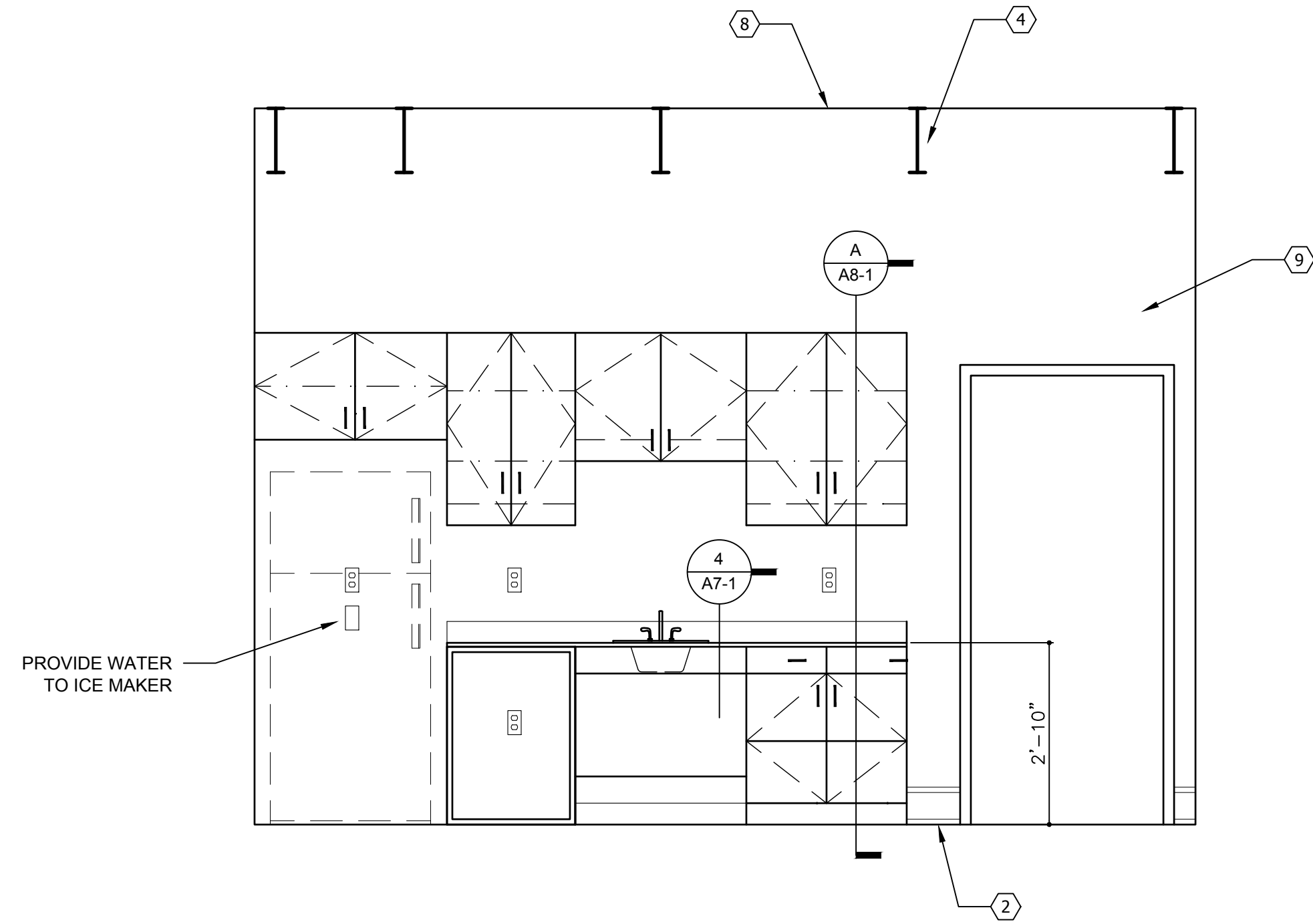
**REVISIONS**

Δ	DATE	DESCRIPTION

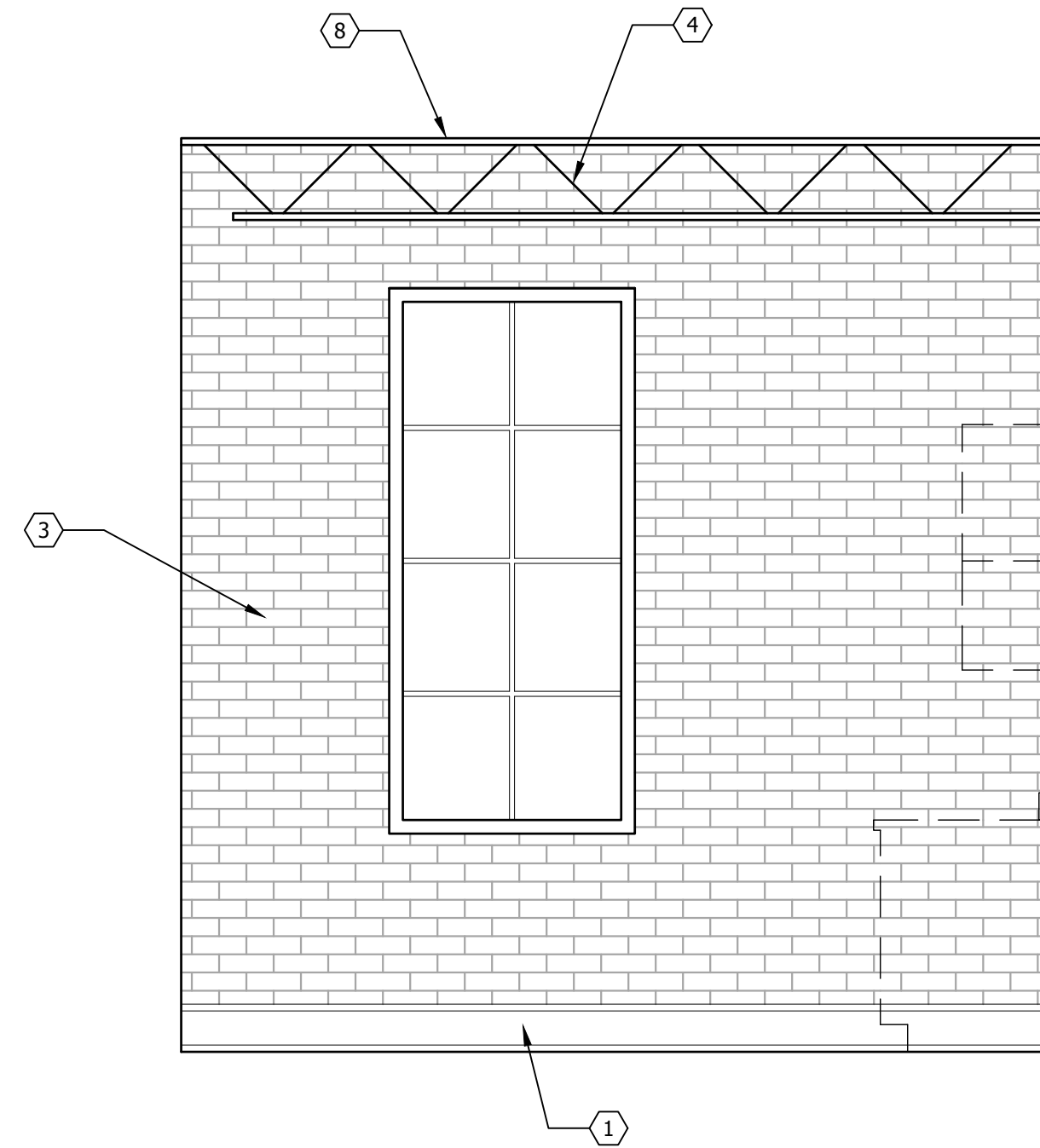
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**CABINETRY DETAILS**

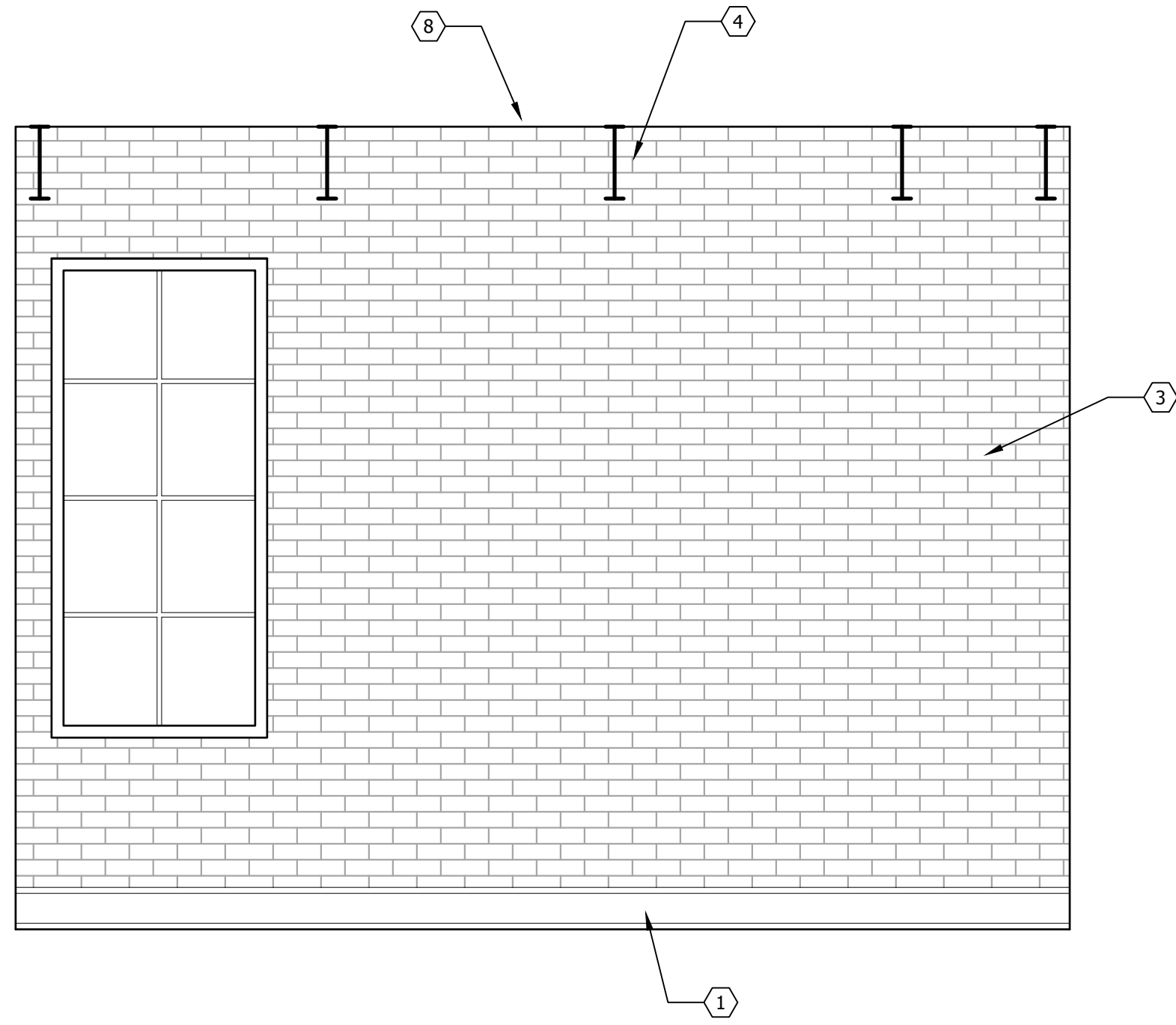
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ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A8-1</b>



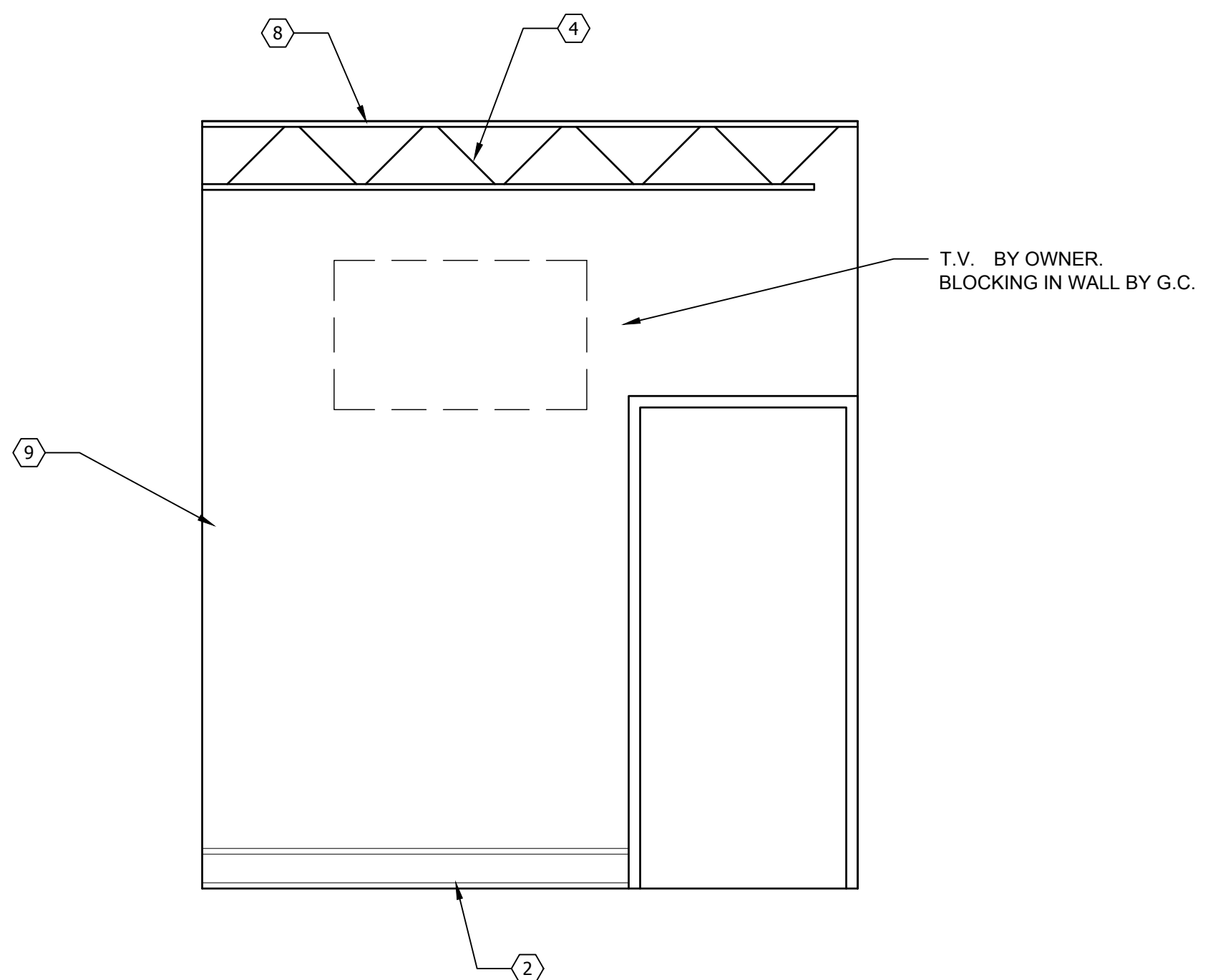
1 INTERIOR ELEVATION - SPACE 111  
A8-2 Scale: 1/2" = 1'-0"



2 INTERIOR ELEVATION - SPACE 111  
A8-2 Scale: 1/2" = 1'-0"



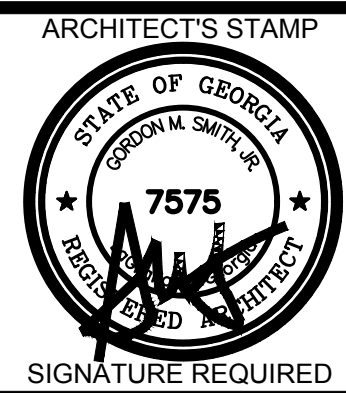
3 INTERIOR ELEVATION - SPACE 111  
A8-2 Scale: 1/2" = 1'-0"



3 INTERIOR ELEVATION - SPACE 111  
A8-2 Scale: 1/2" = 1'-0"

KEYNOTES

- 1 WOOD WALL BASE 0 SEE DETAIL A/A2-1
- 2 WOOD WALL BASE - SEE DETAIL B/A2-1
- 3 EXISTING BRICK WALL TO BE CLEANED. SEE WALL TYPE 1 ON SHEET A2-4.
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- 5 TS 3"x3"x1/4" ATTACHED AT TOP PER DETAIL SIMILAR TO D/A2-7. AT THE BOTTOM OF POST PROVIDE 3"x6"x1/4" BASE PLATE WITH CHEMICAL ANCHORS INTO EXISTING CONCRETE FLOOR. WRAP COLUMN WITH ALUMINUM CLOSURE PIECE ALL AROUND SAME COLOR AS ADJACENT STOREFRONT.
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- 10 1 X 6 "V" GROOVE (TONGUE AND GROOVE) WOOD DECKING ON 2X4'S @ 16" O.C. BACKPAINT AND PAINT.
- 11 TS 6" X 3" X 1/4" BOTTOM ELEVATION AT 9'-6 1/8" A.F.F. (PROVIDE FULL MOMENT WELD ALL AROUND CONNECTION POINTS TO TS 3" X 3" X 1/4" POST. WRAP WITH GYP. BRD..
- 12 NEW COUNTERTOP OF QUARTZSTONE WITH 2 LAYERS OF 3/4" PLYWOOD SUBSTRATE.
- 13 METAL EDGE DETAIL. SEE 3/A8-9.



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PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

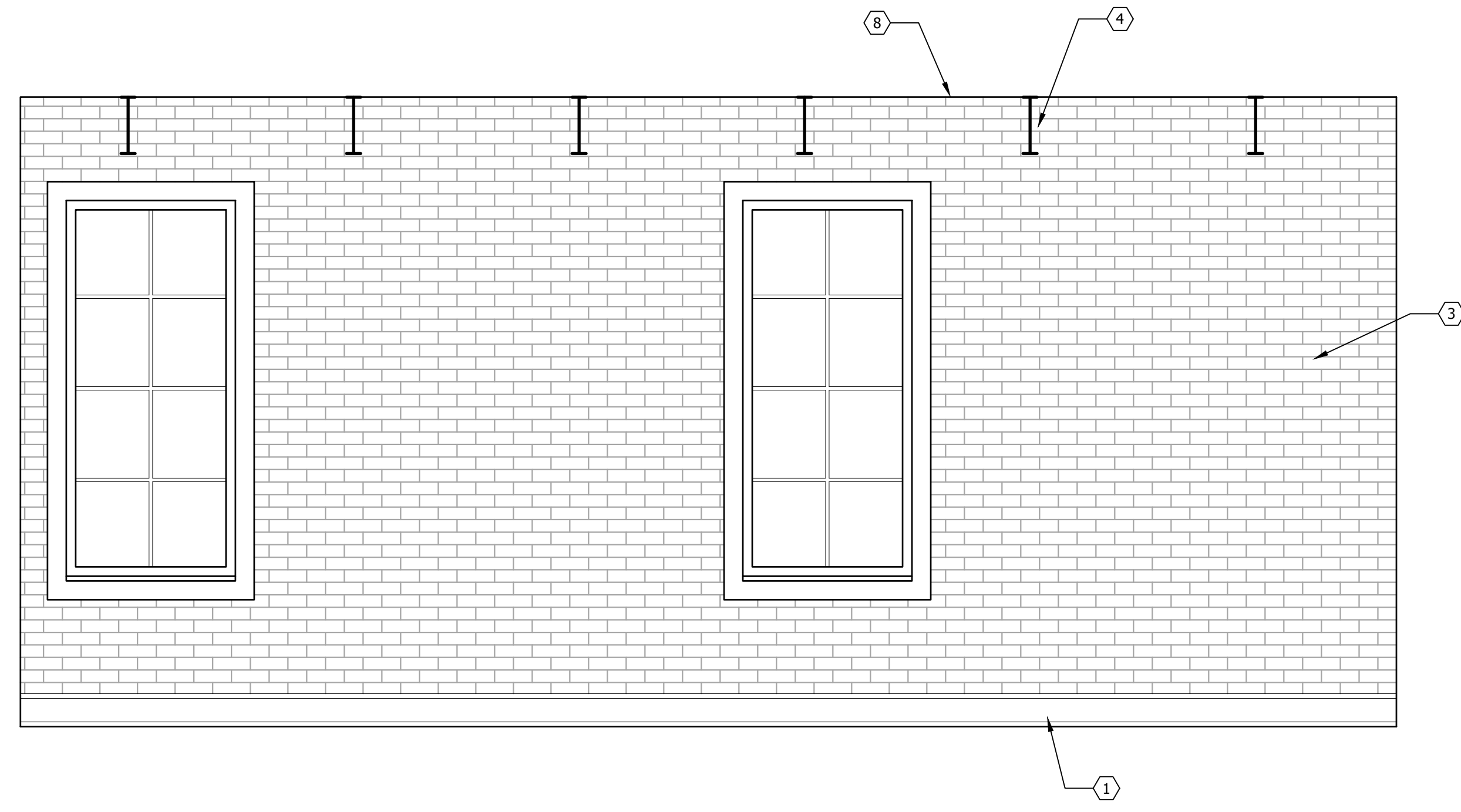
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**INTERIOR ELEVATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A8-2</b>

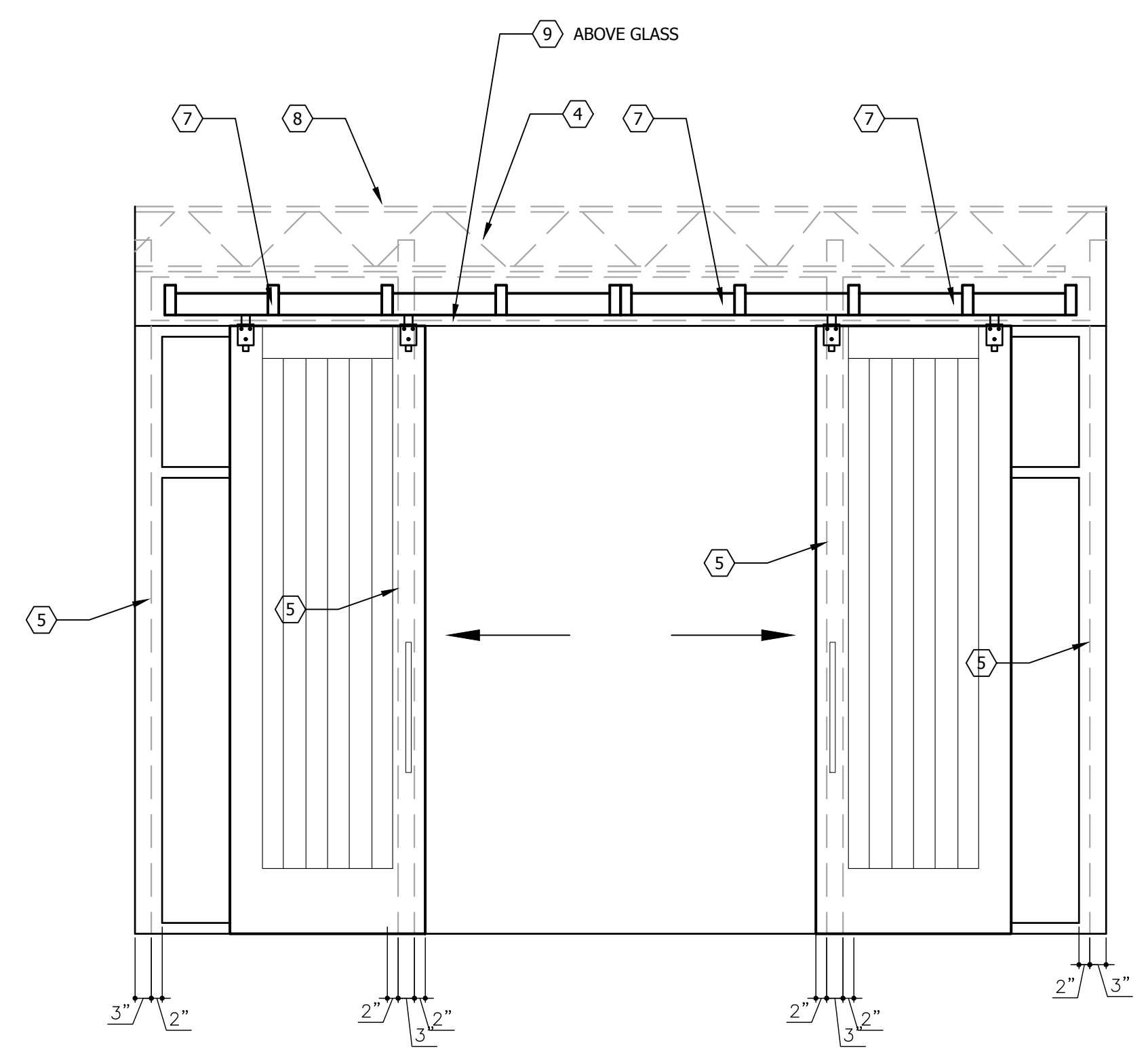




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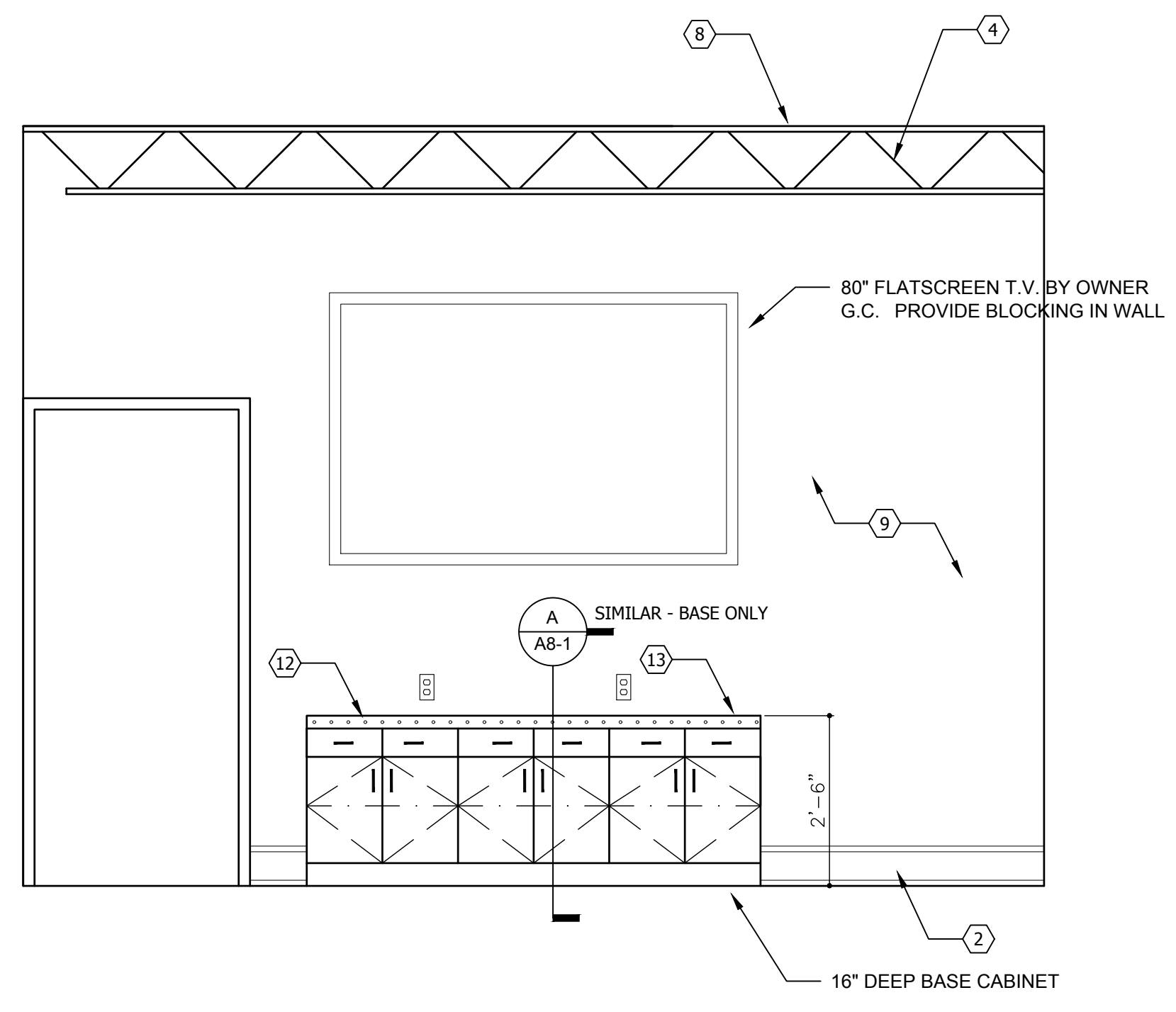
**1 INTERIOR ELEVATION - SPACE 112**  
 Scale: 1/2" = 1'-0"



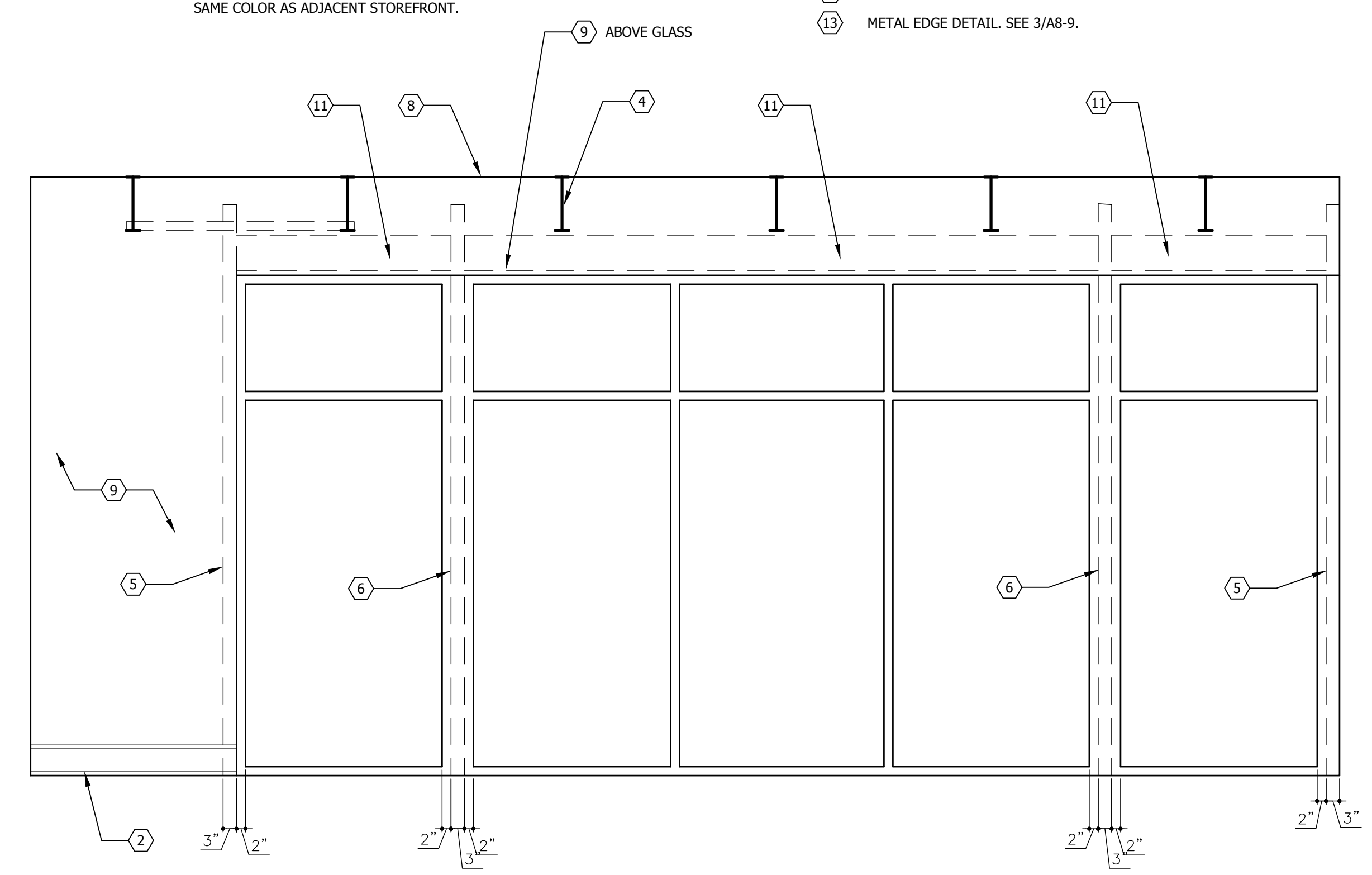
**2 INTERIOR ELEVATION - SPACE 112**  
 Scale: 1/2" = 1'-0"

**KEYNOTES**

- ① WOOD WALL BASE 0 SEE DETAIL A/A2-1
- ② WOOD WALL BASE - SEE DETAIL B/A2-1
- ③ EXISTING BRICK WALL TO BE CLEANED. SEE WALL TYPE 1 ON SHEET A2-4.
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**3 INTERIOR ELEVATION - SPACE 112**  
 Scale: 1/2" = 1'-0"



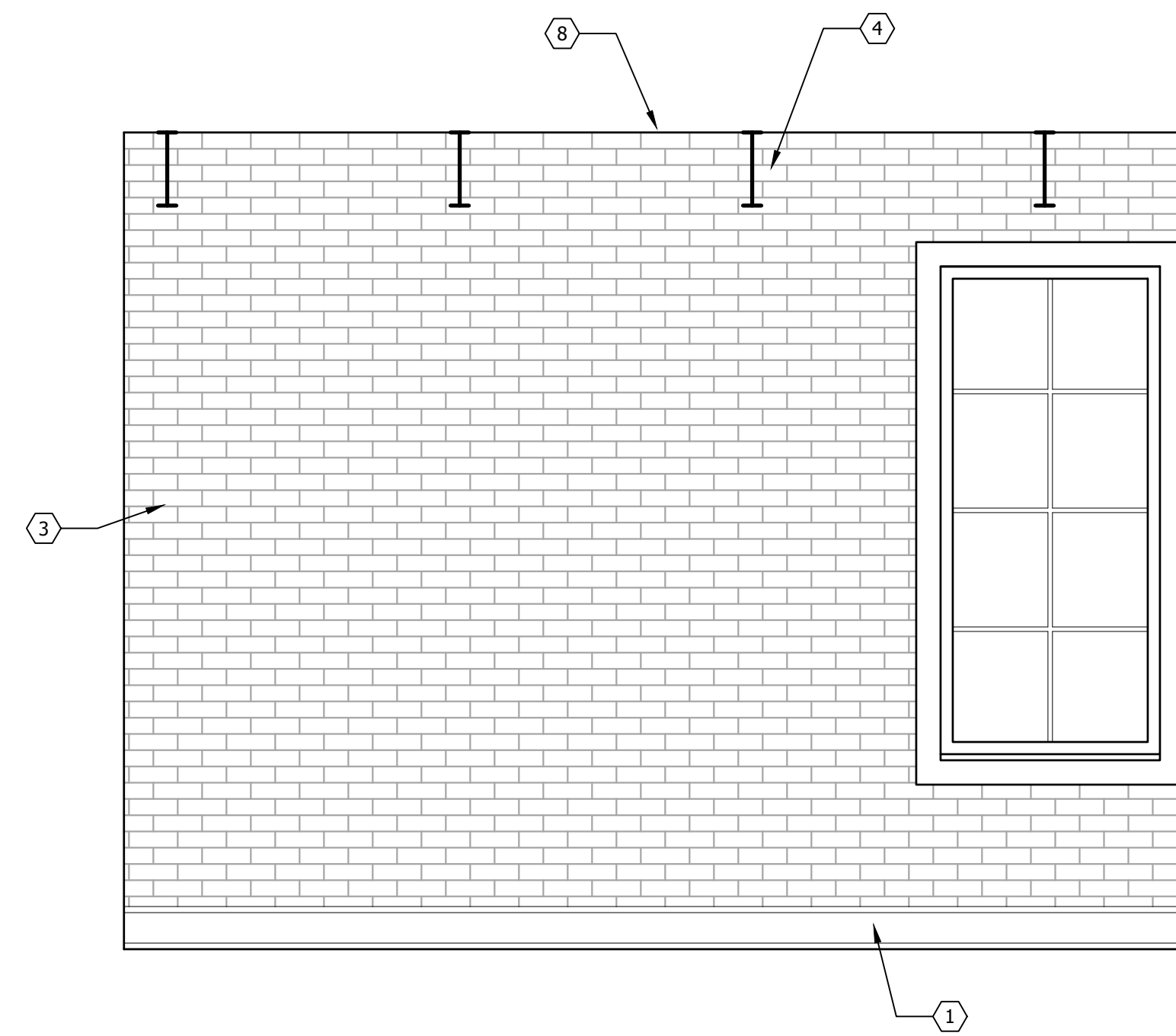
**4 INTERIOR ELEVATION - SPACE 112**  
 Scale: 1/2" = 1'-0"

REVISIONS	
Δ	DATE DESCRIPTION

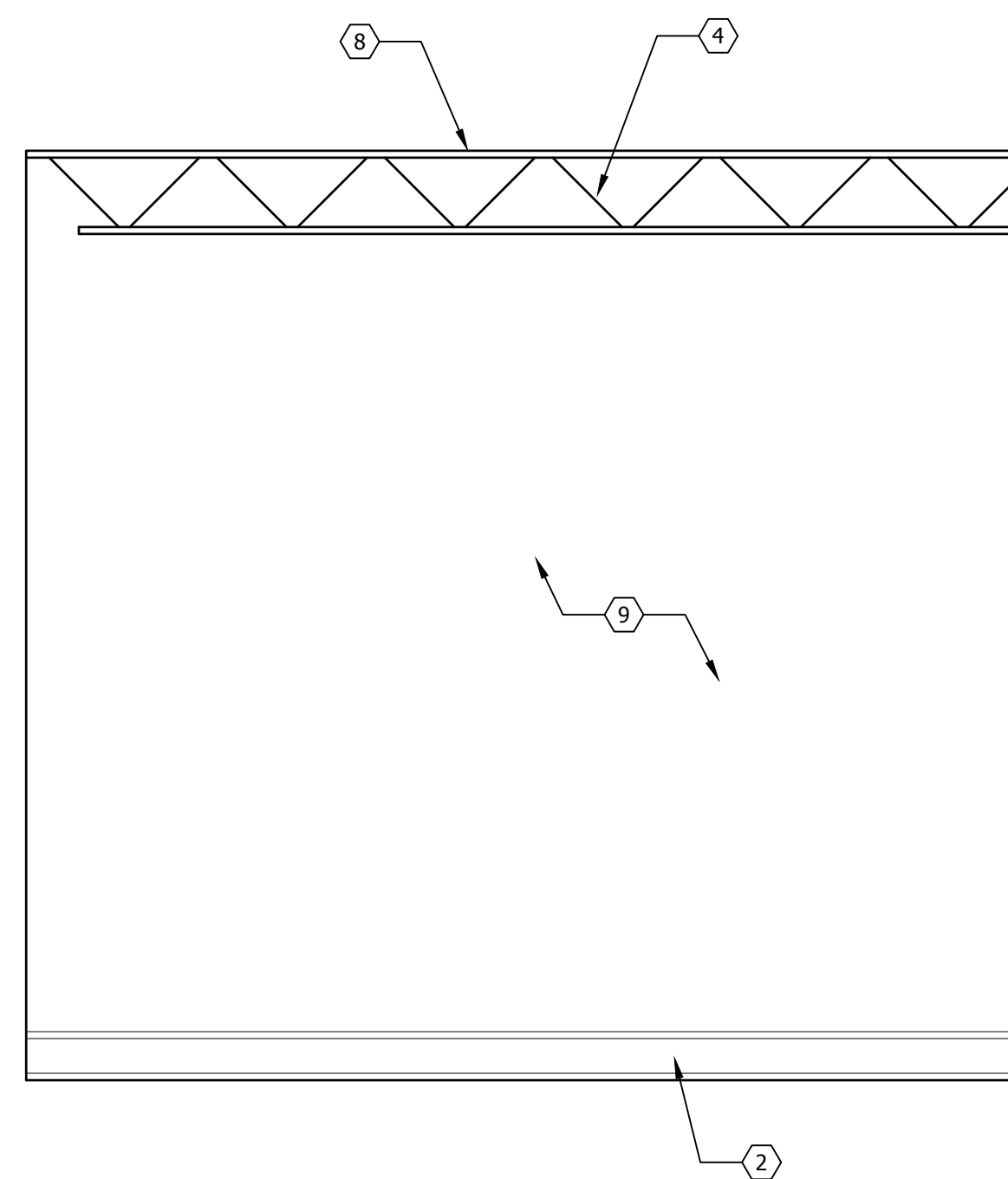
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**INTERIOR ELEVATIONS**

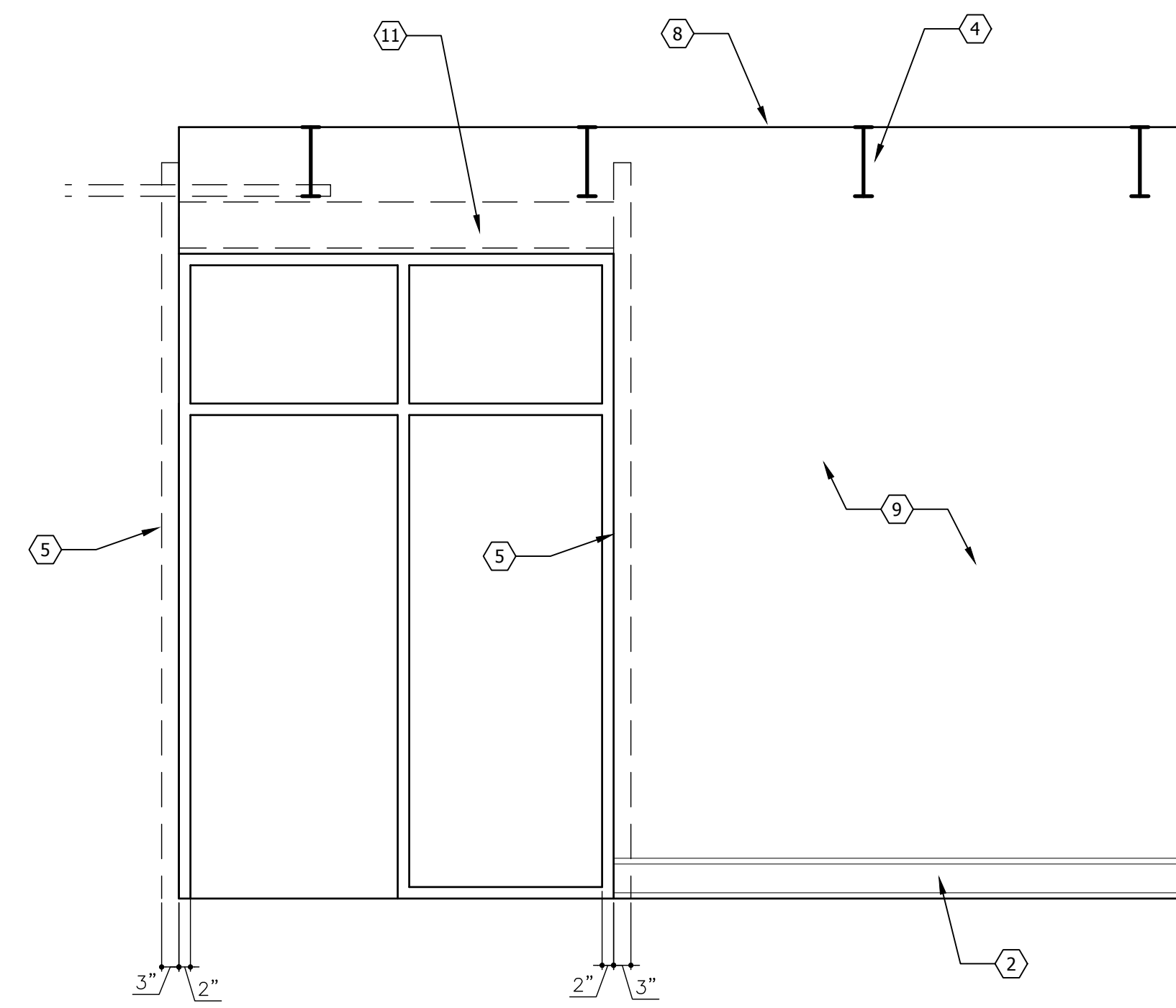
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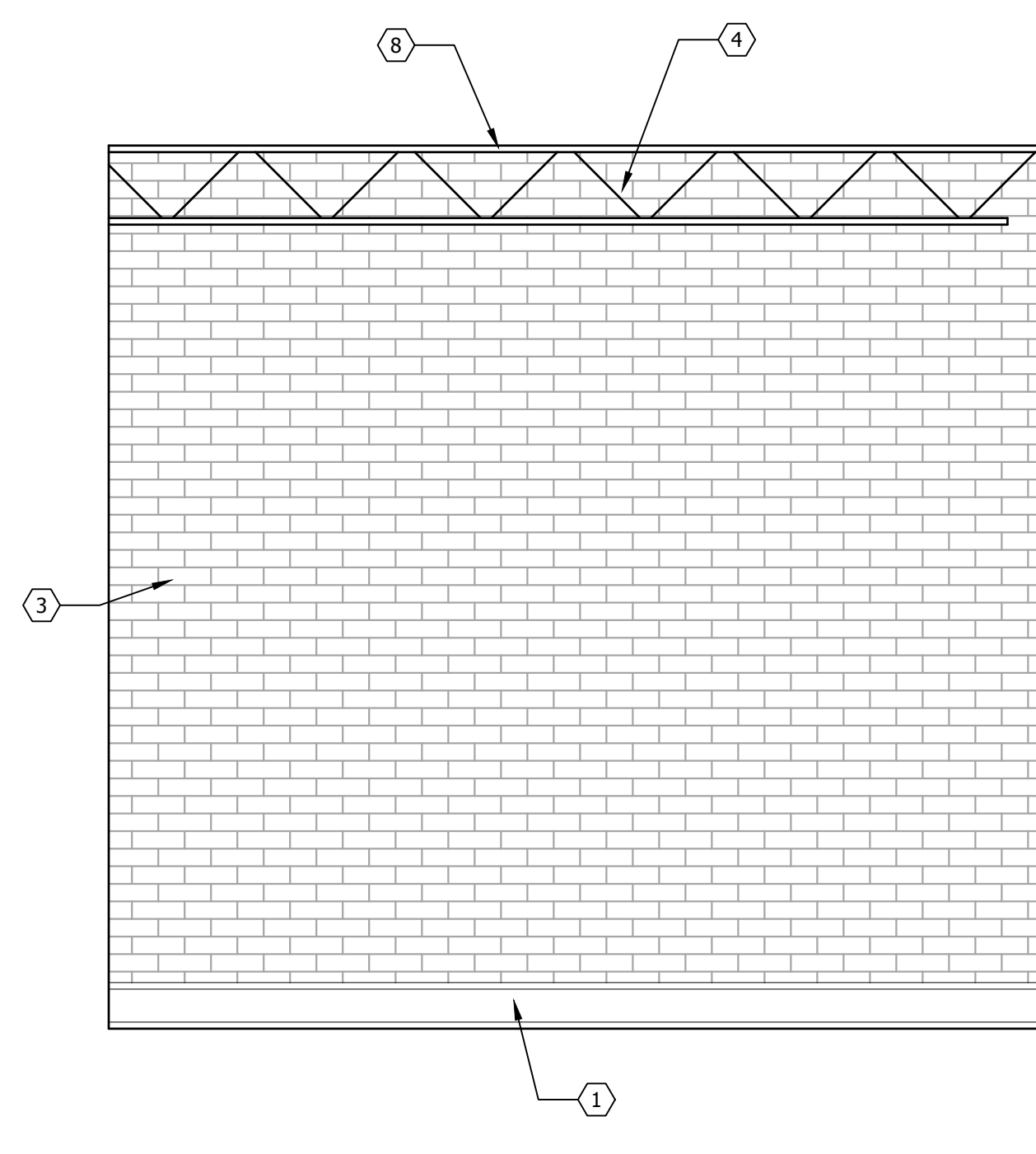
1 INTERIOR ELEVATION - SPACE 106  
A8-4 Scale: 1/2" = 1'-0"



2 INTERIOR ELEVATION - SPACE 106  
A8-4 Scale: 1/2" = 1'-0"



3 INTERIOR ELEVATION - SPACE 106  
A8-4 Scale: 1/2" = 1'-0"



4 INTERIOR ELEVATION - SPACE 106  
A8-4 Scale: 1/2" = 1'-0"

KEYNOTES

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ARCHITECT'S STAMP



*Signature*

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Δ	DATE	DESCRIPTION

PROJECT:

TOURISM OFFICE  
RENOVATION

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:

INTERIOR ELEVATIONS

MODIFIED DATE:

JOB NO:

1918

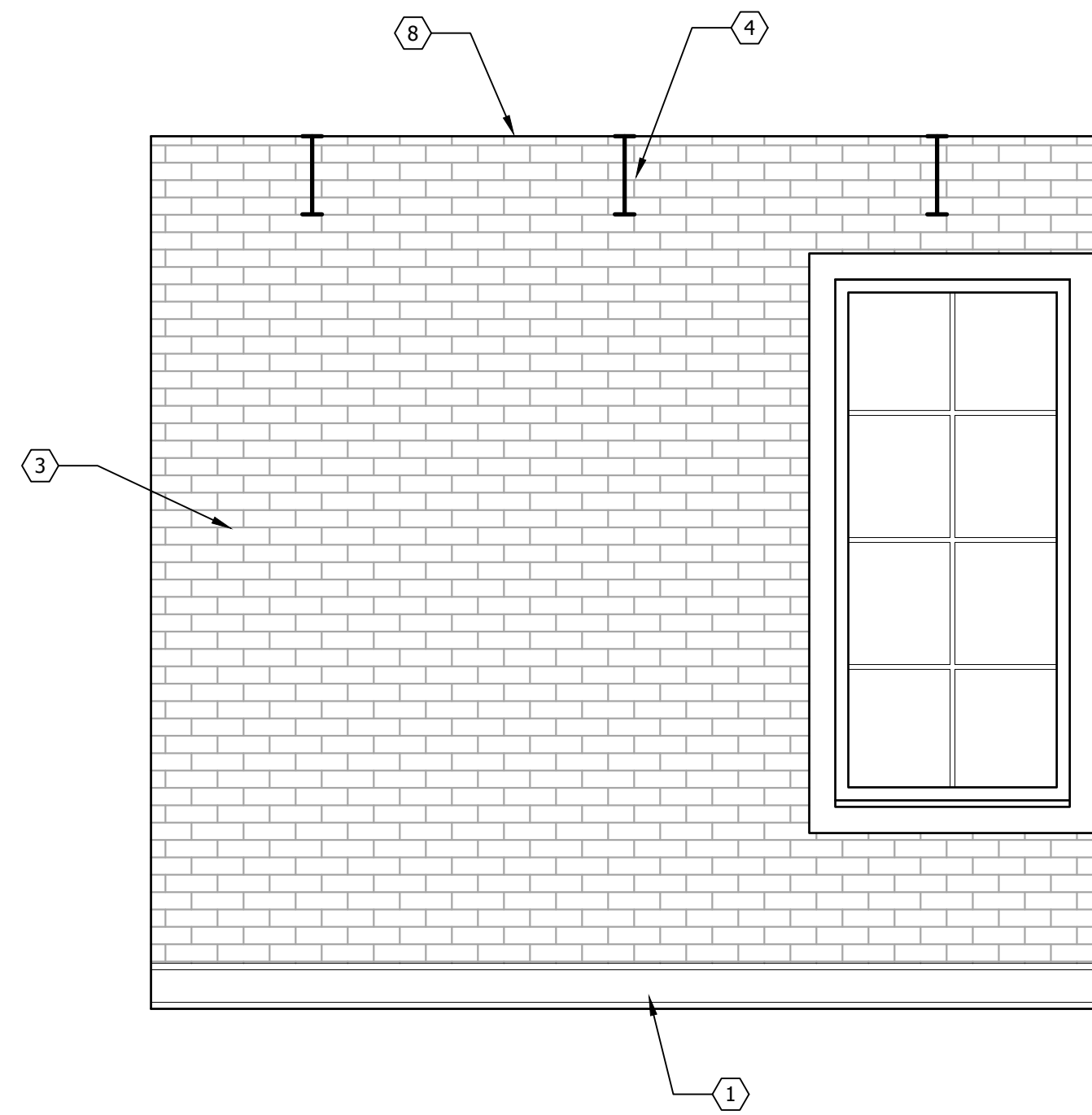
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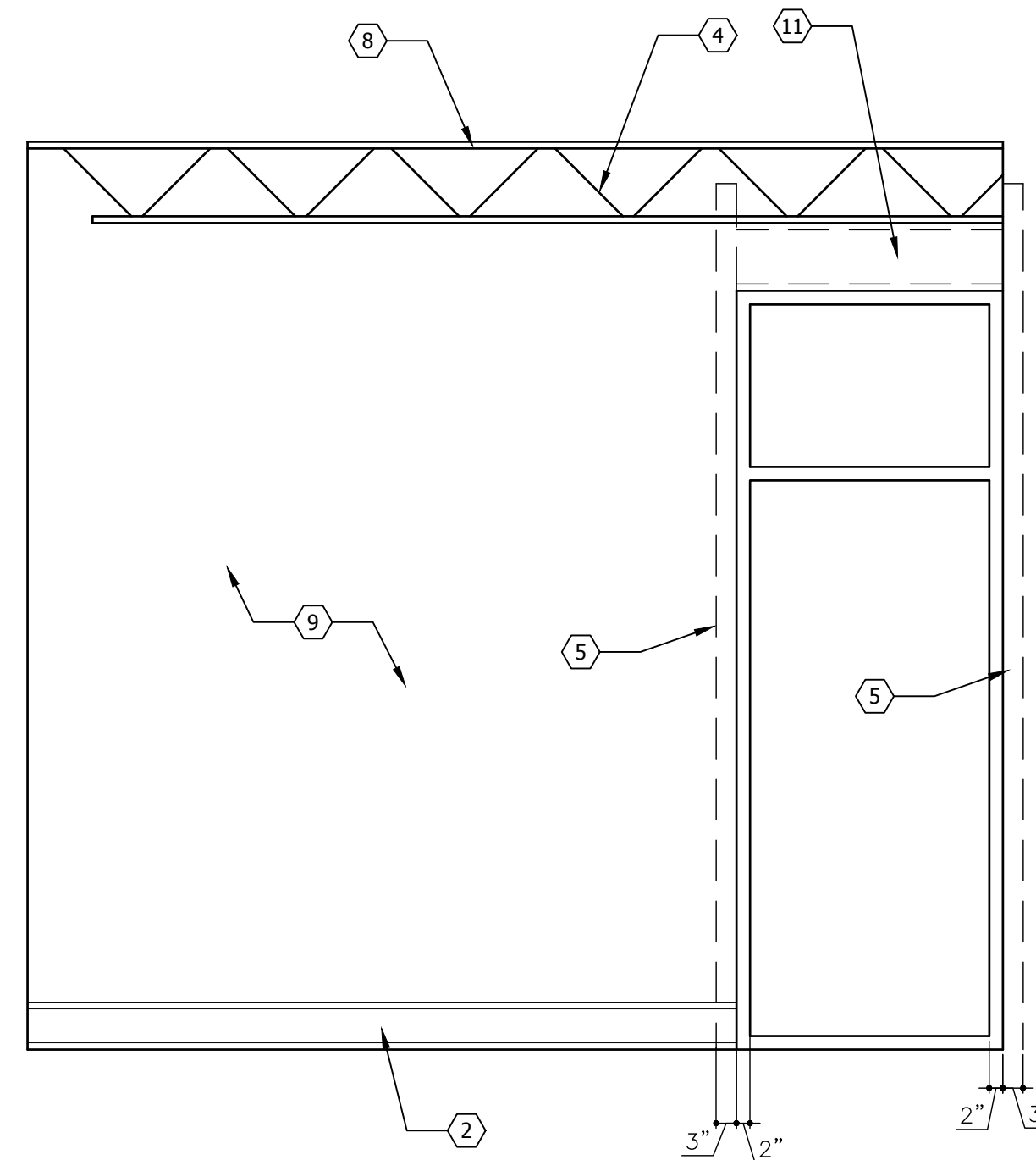
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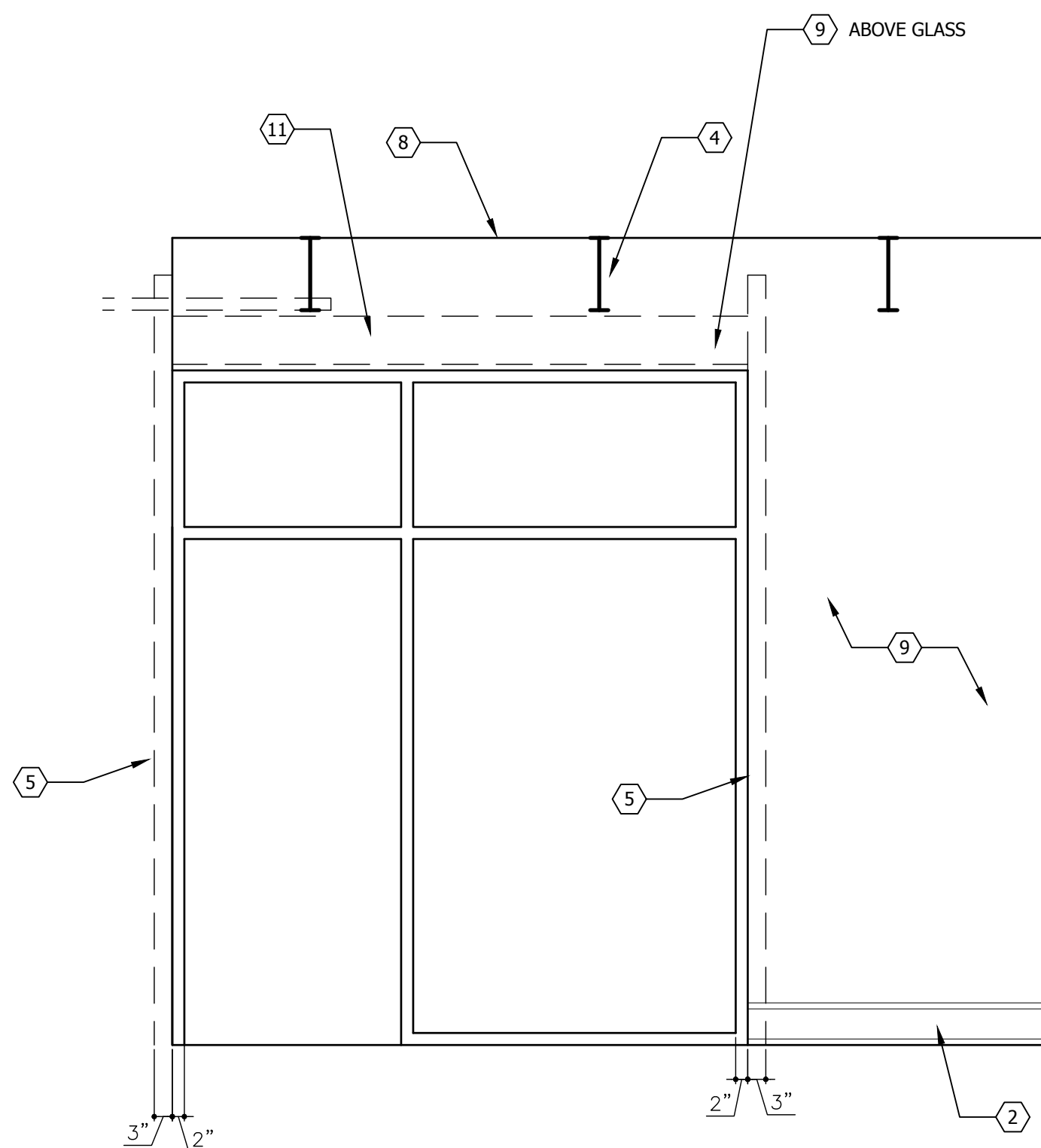
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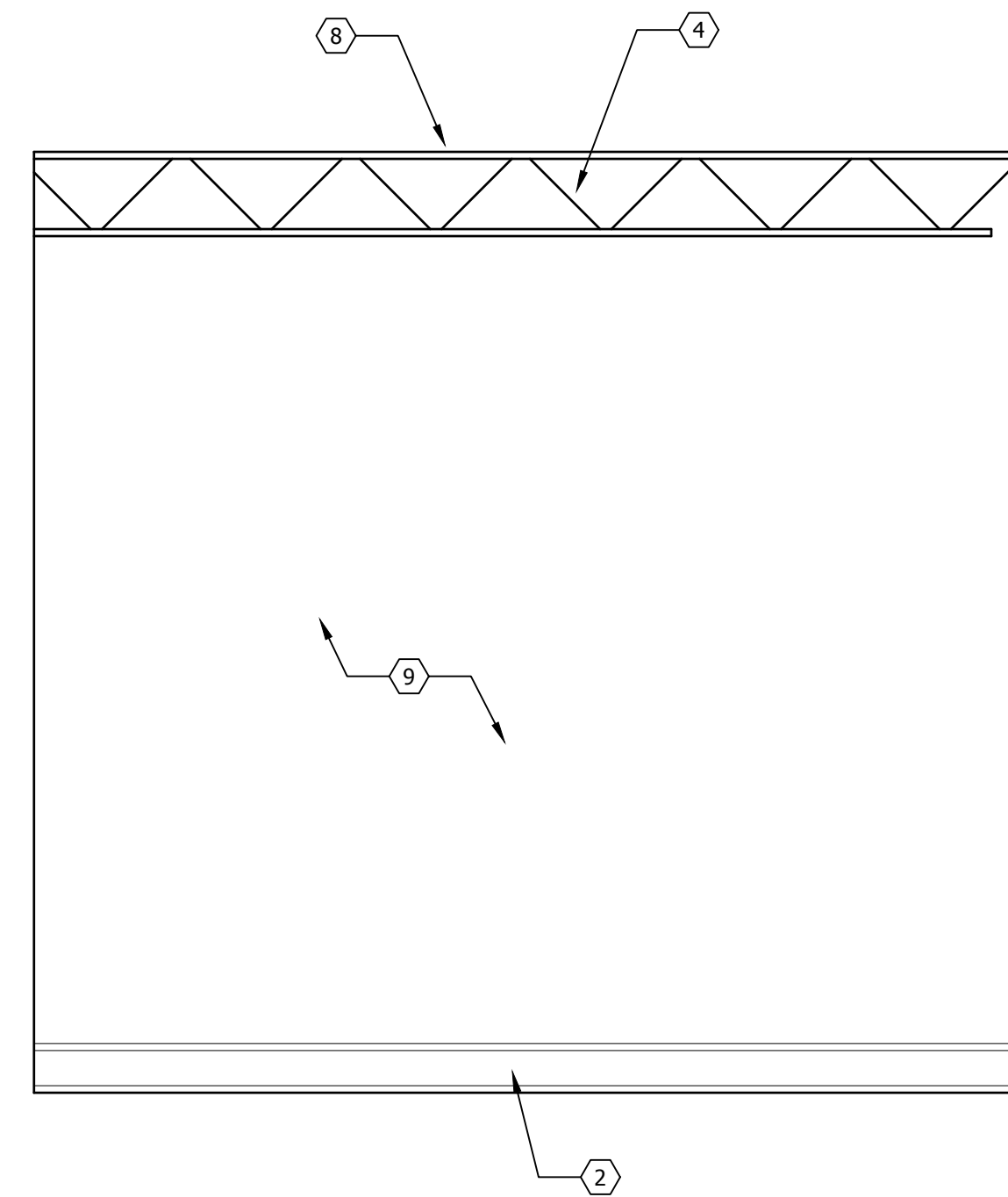
1 INTERIOR ELEVATION - SPACE 105  
A8-5 Scale: 1/2" = 1'-0"



2 INTERIOR ELEVATION - SPACE 105  
A8-5 Scale: 1/2" = 1'-0"



3 INTERIOR ELEVATION - SPACE 105  
A8-5 Scale: 1/2" = 1'-0"



4 INTERIOR ELEVATION - SPACE 105  
A8-5 Scale: 1/2" = 1'-0"

KEYNOTES

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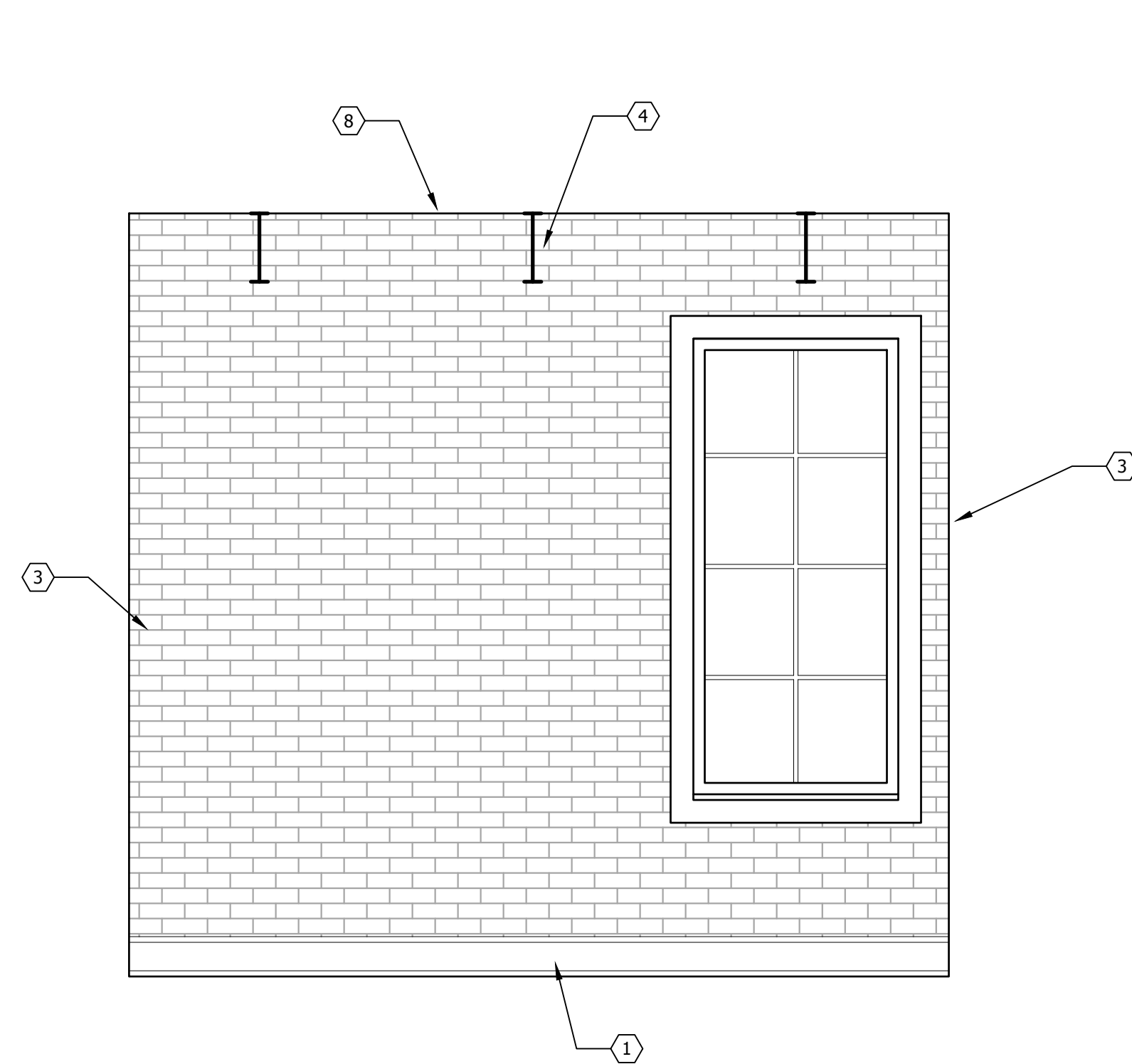
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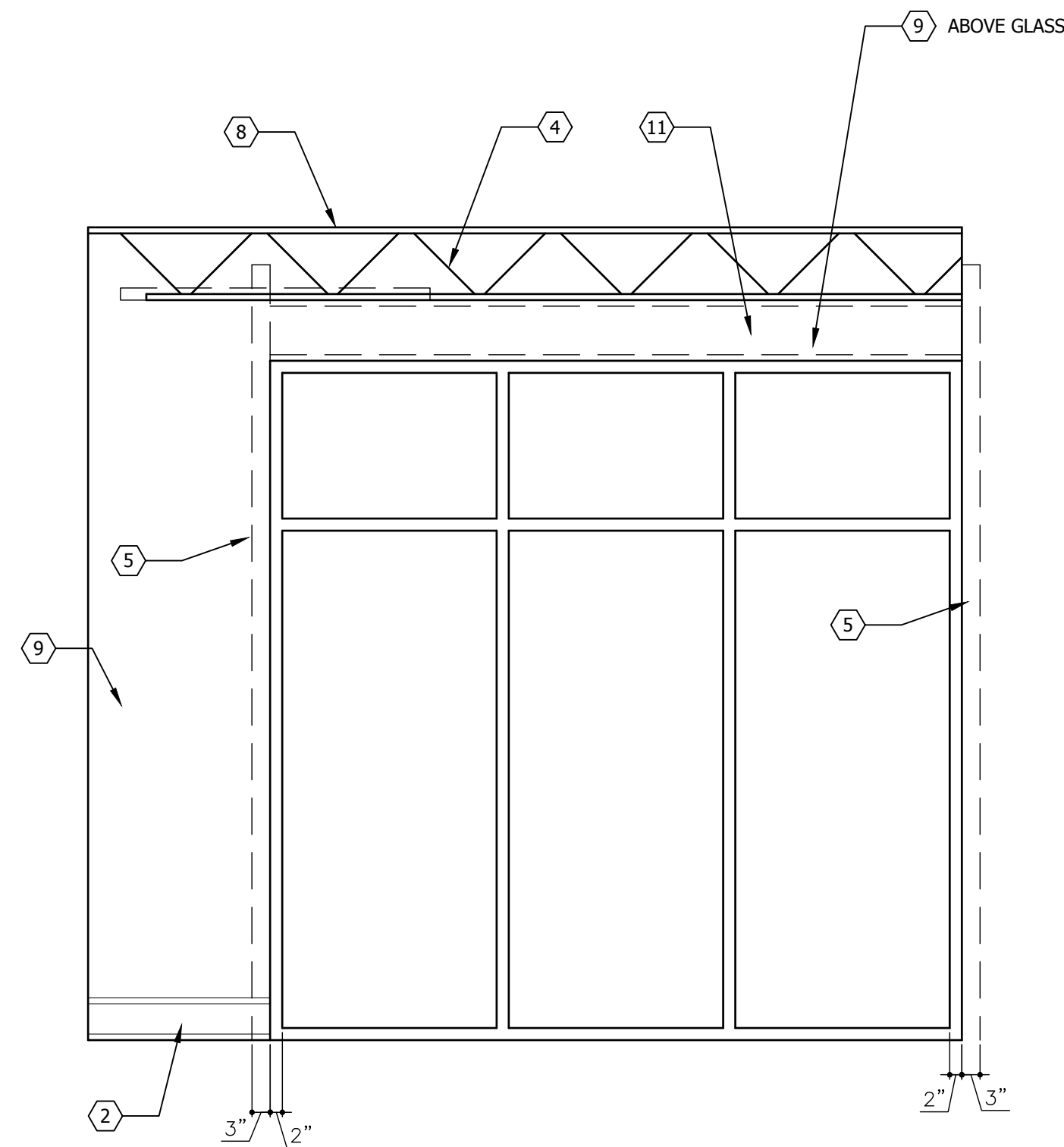
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LAGRANGE, GEORGIA

TITLE:  
**INTERIOR ELEVATIONS**

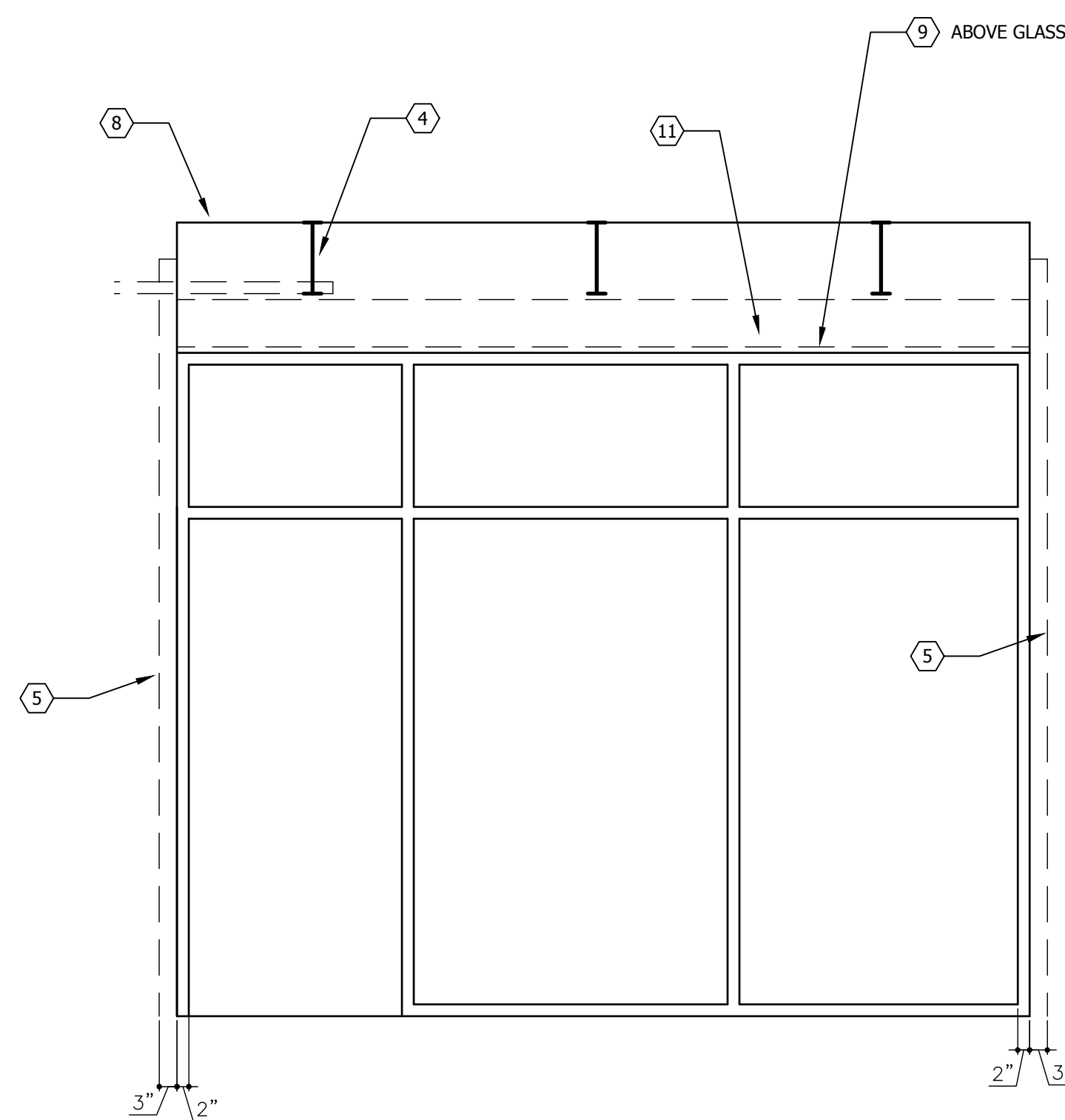
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ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A8-5</b>



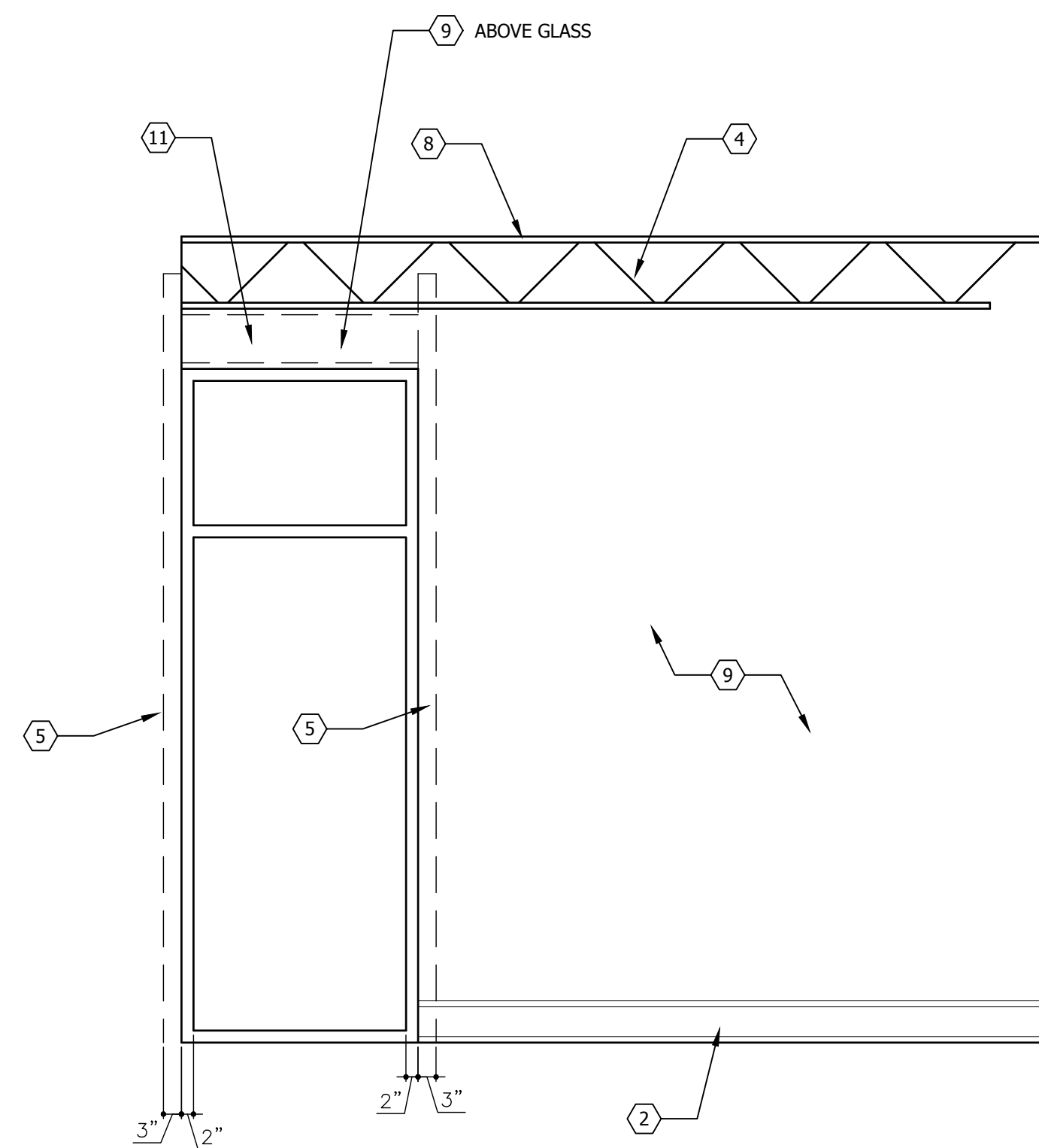
1 INTERIOR ELEVATION - SPACE 104  
A8-6 Scale: 1/2" = 1'-0"



2 INTERIOR ELEVATION - SPACE 104  
A8-6 Scale: 1/2" = 1'-0"



3 INTERIOR ELEVATION - SPACE 104  
A8-6 Scale: 1/2" = 1'-0"



4 INTERIOR ELEVATION - SPACE 104  
A8-6 Scale: 1/2" = 1'-0"

KEYNOTES

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- 3 EXISTING BRICK WALL TO BE CLEANED. SEE WALL TYPE 1 ON SHEET A2-4.
- 4 EXISTING BAR JOISTS TO BE CLEANED, PRIMED AND PAINTED WITH 2 COATS OF PAINT. PAINT COLOR TO BE DIFFERENT FROM THE TECTUM ROOF DECK (TO BE PAINTED).
- 5 TS 3"x3"x1/4" ATTACHED AT TOP PER DETAIL SIMILAR TO D/A2-7. AT THE BOTTOM OF POST PROVIDE 3"x6"x1/4" BASE PLATE WITH CHEMICAL ANCHORS INTO EXISTING CONCRETE FLOOR. WRAP COLUMN WITH ALUMINUM CLOSURE PIECE ALL AROUND SAME COLOR AS ADJACENT STOREFRONT.
- 6 TS 3"x3"x1/4" ATTACHED AT TOP BY FULL MOMENT WELD TO BOTTOM OF TS 8"x14"x1/4". AT THE BOTTOM OF THE POST PROVIDE 3"x6"x1/4" BASE PLATE WITH CHEMICAL ANCHORS INTO EXISTING CONCRETE FLOOR. WRAP COLUMN WITH ALUMINUM CLOSURE PIECE ALL AROUND SAME COLOR AS ADJACENT STOREFRONT.
- 7 TS 8"x3"x1/4" BOTTOM ELEVATION OF 9'-4" A.F.F. - PROVIDE FULL MOMENT WELD ALL AROUND AT ALL CONNECTION POINTS TO TS 3"x3"x1/4" POST. WRAP BEAM WITH GYPSUM BOARD.
- 8 EXISTING TECTUM ROOF DECK TO BE CLEANED, PRIMED AND PAINTED WITH TWO COATS OF PAINT. COLOR TO BE DIFFERENT FROM EXISTING BAR JOISTS.
- 9 NEW PAINTED GYPSUM BOARD WALL (PAINTED) SEE FLOOR PLAN.
- 10 1 X 6 "V" GROOVE (TONGUE AND GROOVE) WOOD DECKING ON 2X4'S @ 16" O.C. BACKPAINT AND PAINT.
- 11 TS 6" X 3" X 1/4" BOTTOM ELEVATION AT 9'-6 1/8" A.F.F. (PROVIDE FULL MOMENT WELD ALL AROUND CONNECTION POINTS TO TS 3" X 3" X 1/4" POST. WRAP WITH GYP. BRD..
- 12 NEW COUNTERTOP OF QUARTZSTONE WITH 2 LAYERS OF 3/4" PLYWOOD SUBSTRATE.
- 13 METAL EDGE DETAIL. SEE 3/A8-9.



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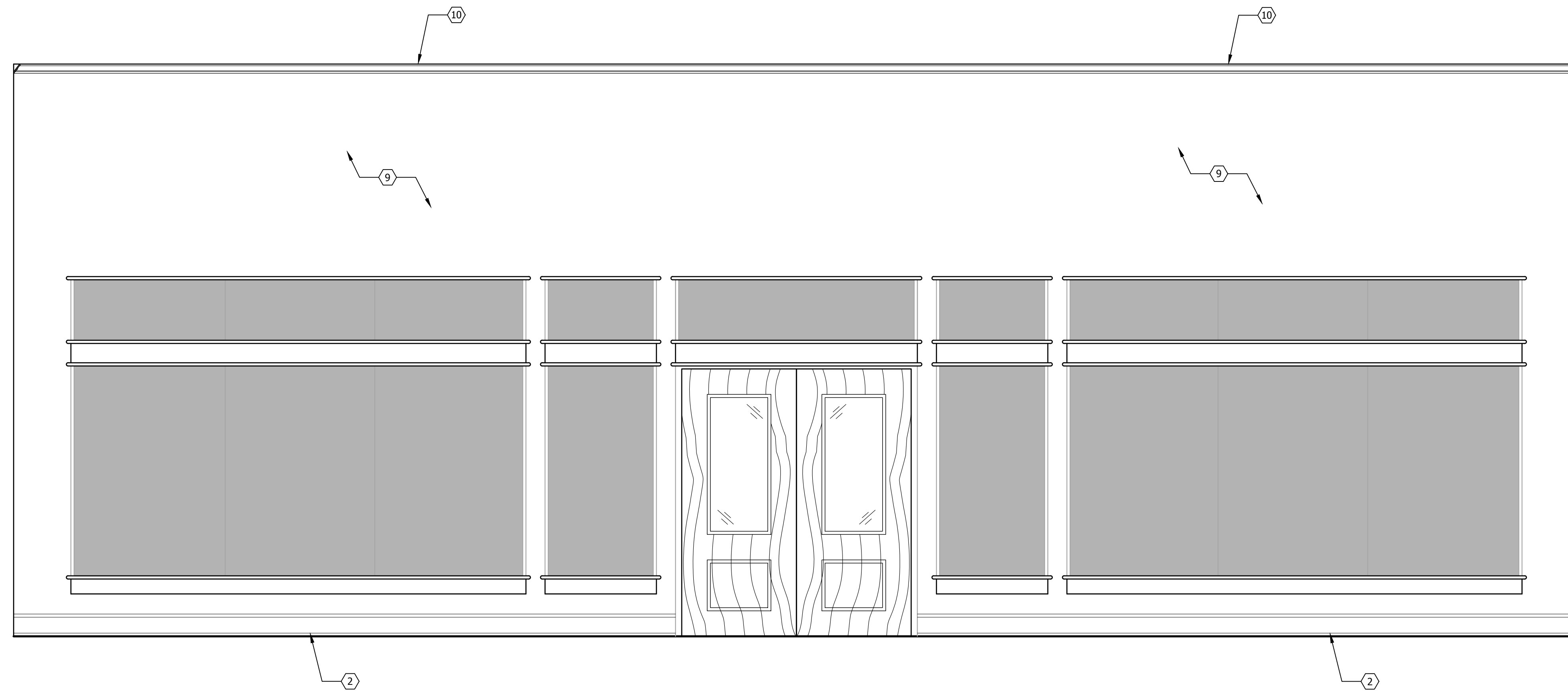
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Δ	DATE	DESCRIPTION

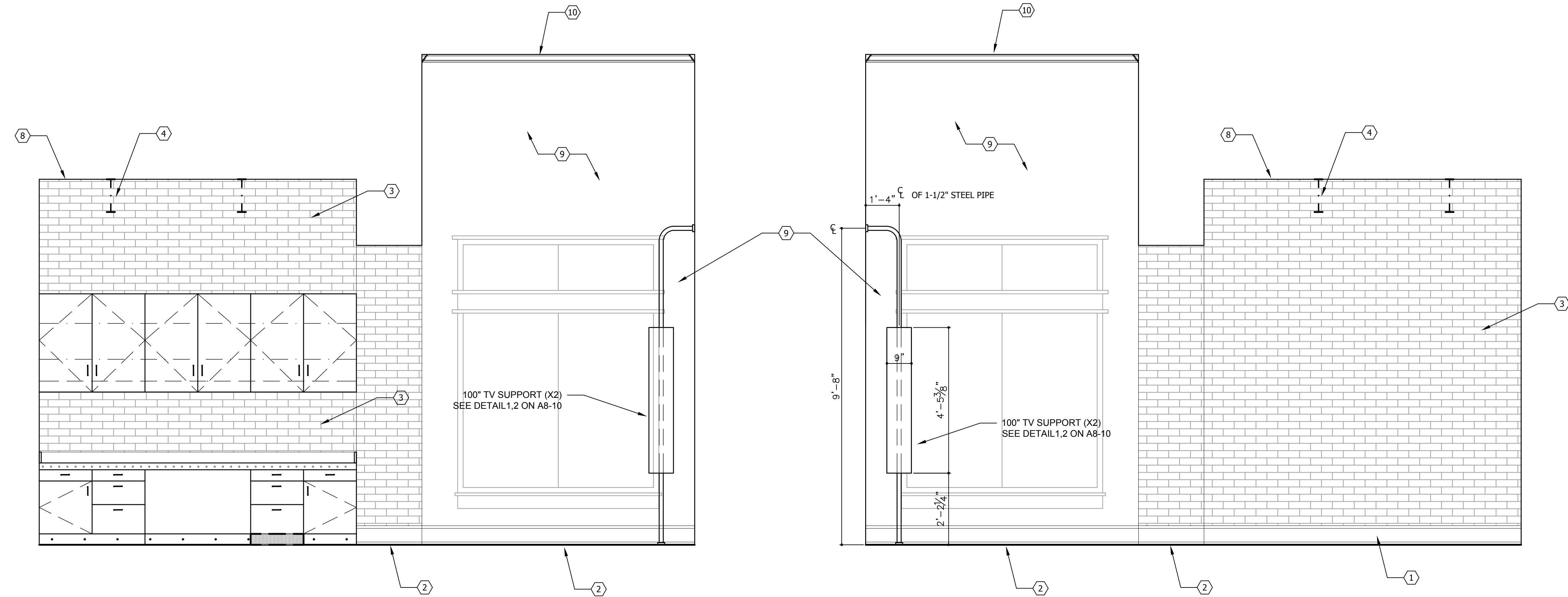
PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**INTERIOR ELEVATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A8-6</b>



1 INTERIOR ELEVATION - SPACE 101  
A8-7 Scale: 1/2" = 1'-0"



2 INTERIOR ELEVATION - SPACE 101  
A8-7 Scale: 1/2" = 1'-0"

3 INTERIOR ELEVATION - SPACE 101  
A8-7 Scale: 1/2" = 1'-0"

KEYNOTES

- 1 WOOD WALL BASE 0 SEE DETAIL A/A2-1
- 2 WOOD WALL BASE - SEE DETAIL B/A2-1
- 3 EXISTING BRICK WALL TO BE CLEANED. SEE WALL TYPE 1 ON SHEET A2-4.
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*[Signature]*

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Δ	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

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**INTERIOR ELEVATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
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**KEYNOTES**

- 1 DATA RECEPTACLE
- 2 POWER RECEPTACLE DUPLEX
- 3 4" HIGH PLASTIC LAMINATE BACK SPLASH
- 4 3" GROMMETT (VERIFY LOCATION WITH OWNER)
- 5 SOLID SURFACE COUNTERTOP 16" DEEP ON METAL BRACKETS.
- 6 FUR DOWN ABOVE OVERHEAD CABINETS WITH 1 5/8" M.S. @ 16" O.C. AND 5/8" GYP. BOARD. PAINT.
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- 8 RETURN LAMINATE PLASTIC ON INSIDE JAMB OF WINDOW.
- 9 6" RESILIENT BASE
- 10 LOCK ON CABINET DOOR
- 11 PAPER TOWEL DISPENSER
- 12 SOAP DISPENSER
- 13 GFI OUTLET @ 42" A.F.F.
- 14 WRITING SURFACE 1-1/2" THICK WITH LAM. PLASTIC ALL AROUND
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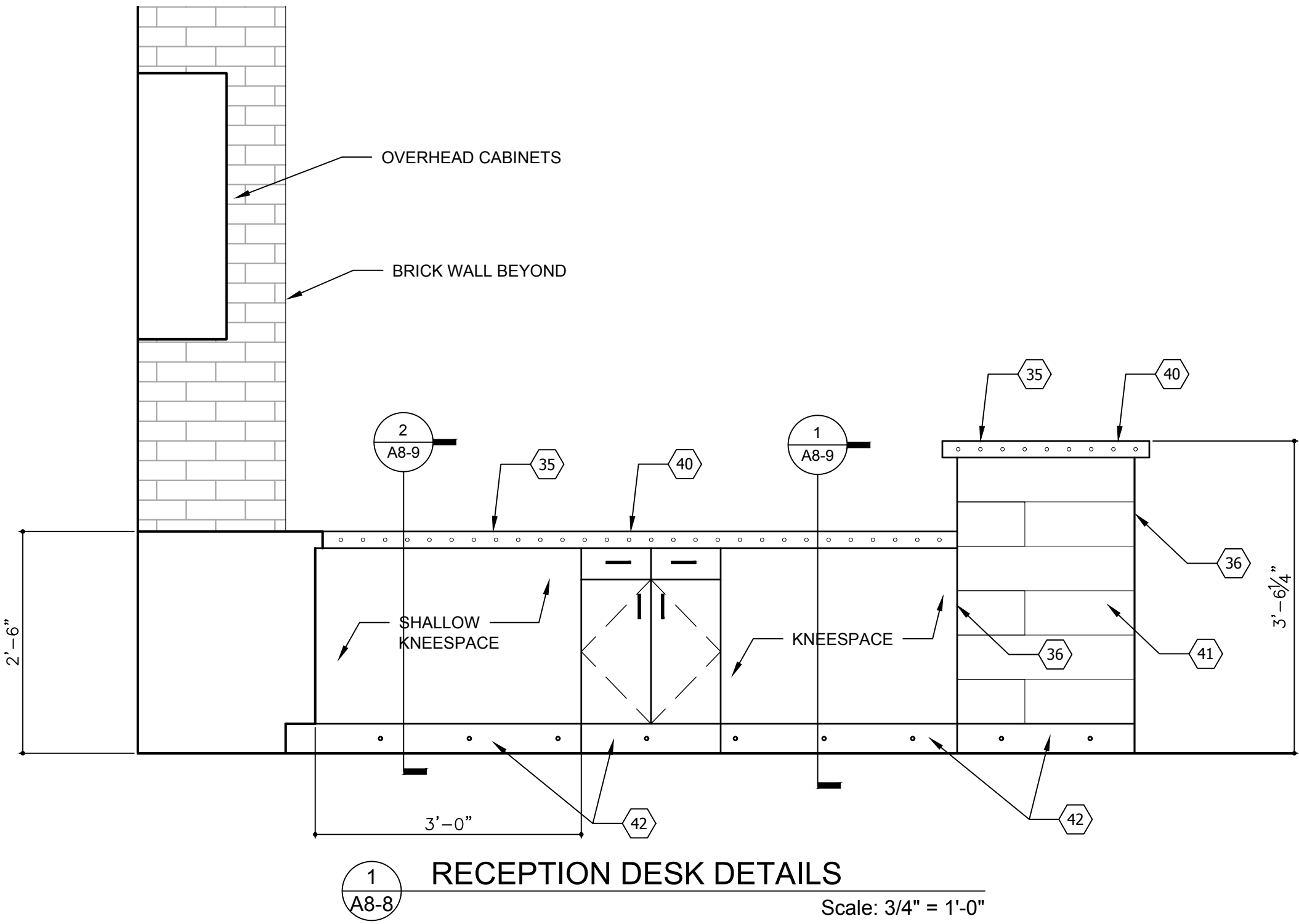
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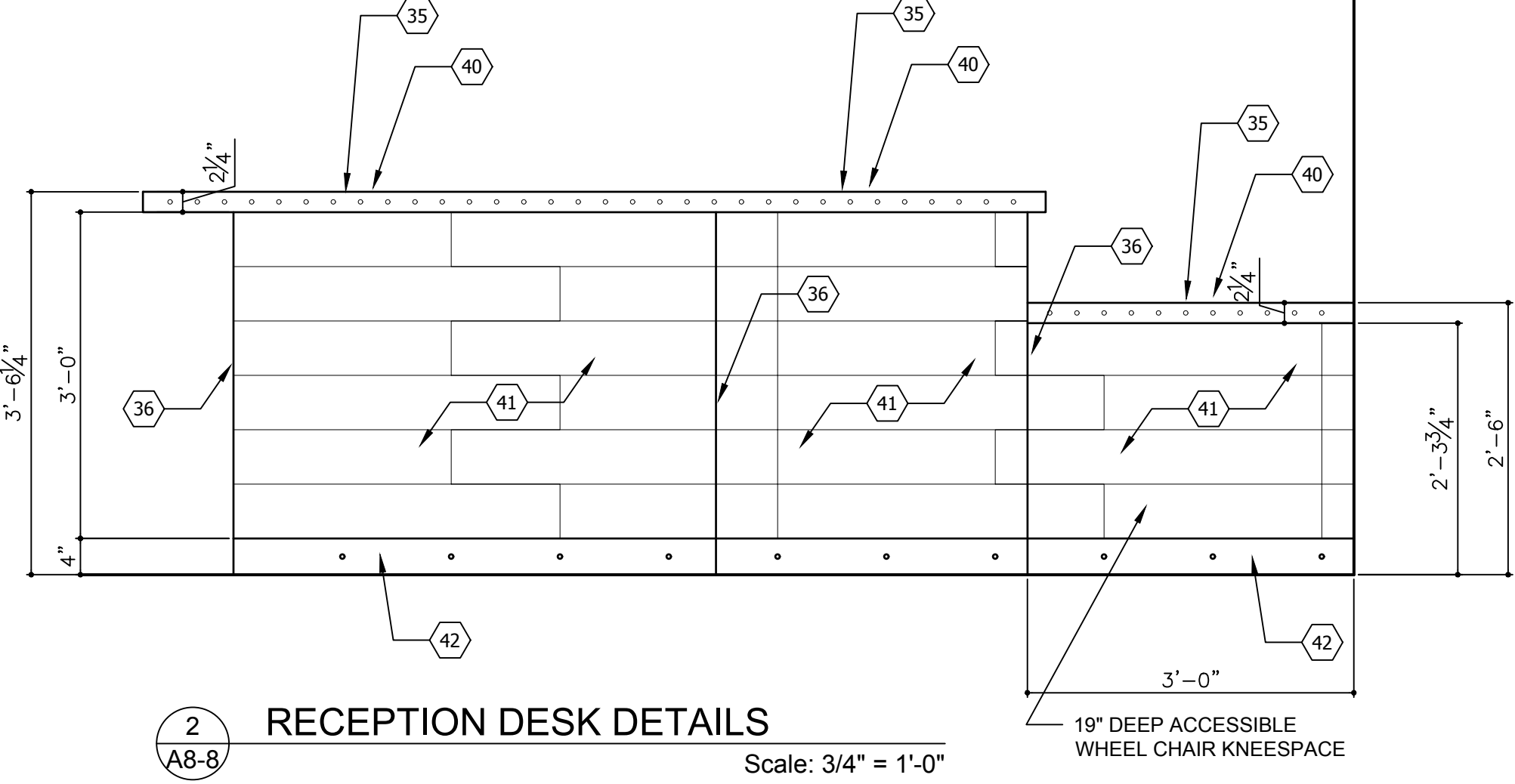
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**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**INTERIOR ELEVATIONS**

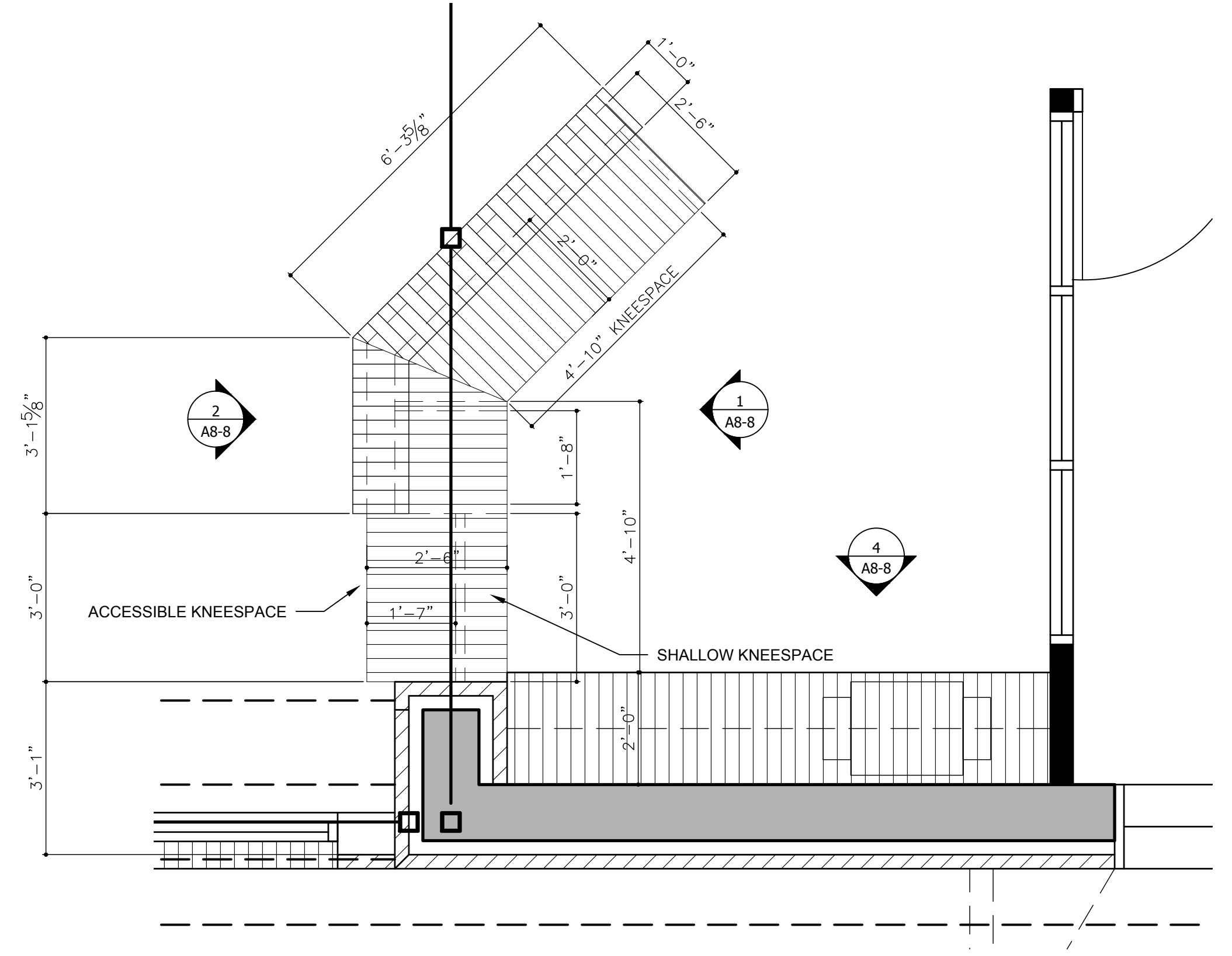
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ISSUED DATE: 24 APR 2020	SHEET: <b>A8-8</b>



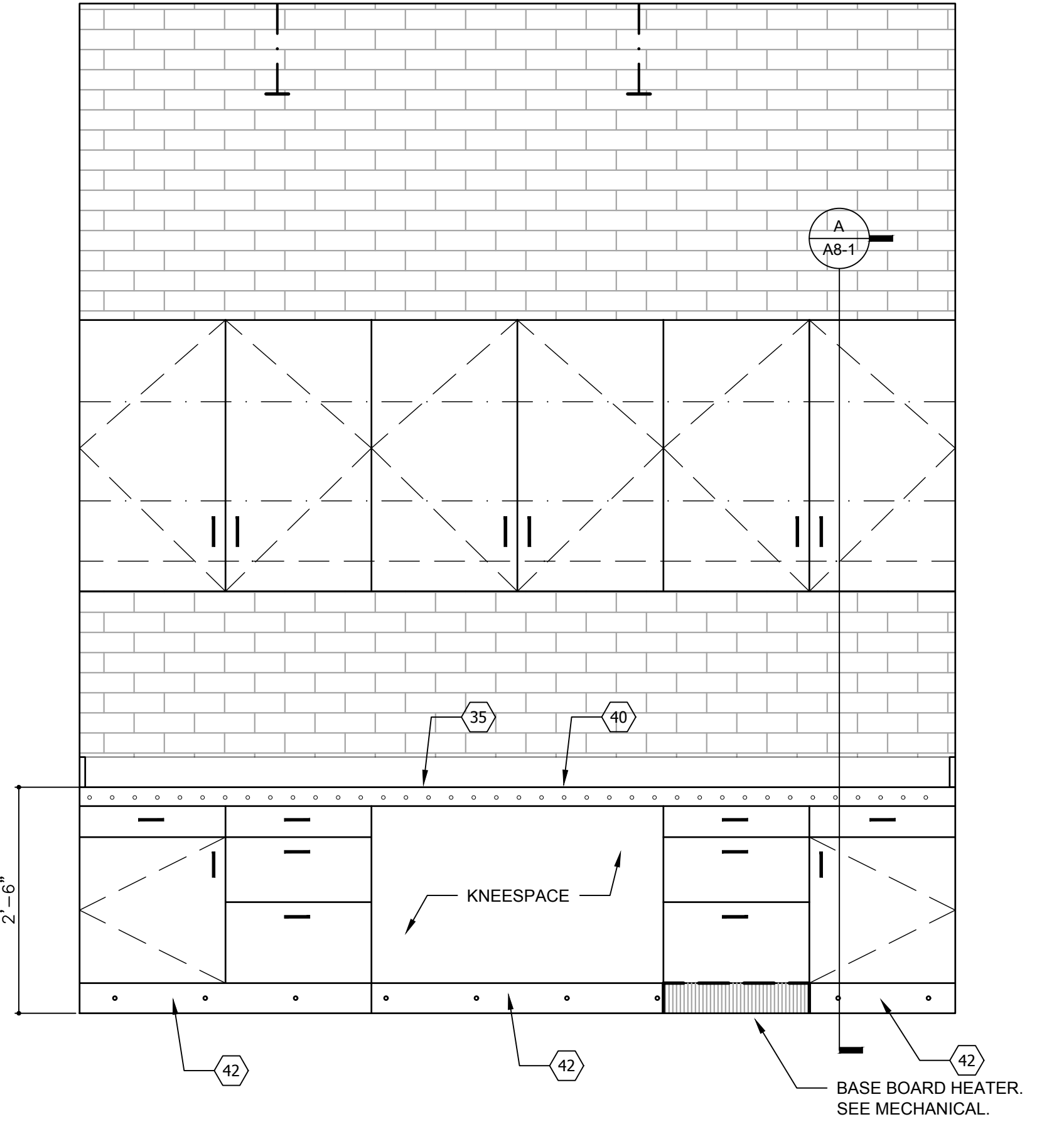
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A8-8  
**RECEPTION DESK DETAILS**  
Scale: 3/4" = 1'-0"



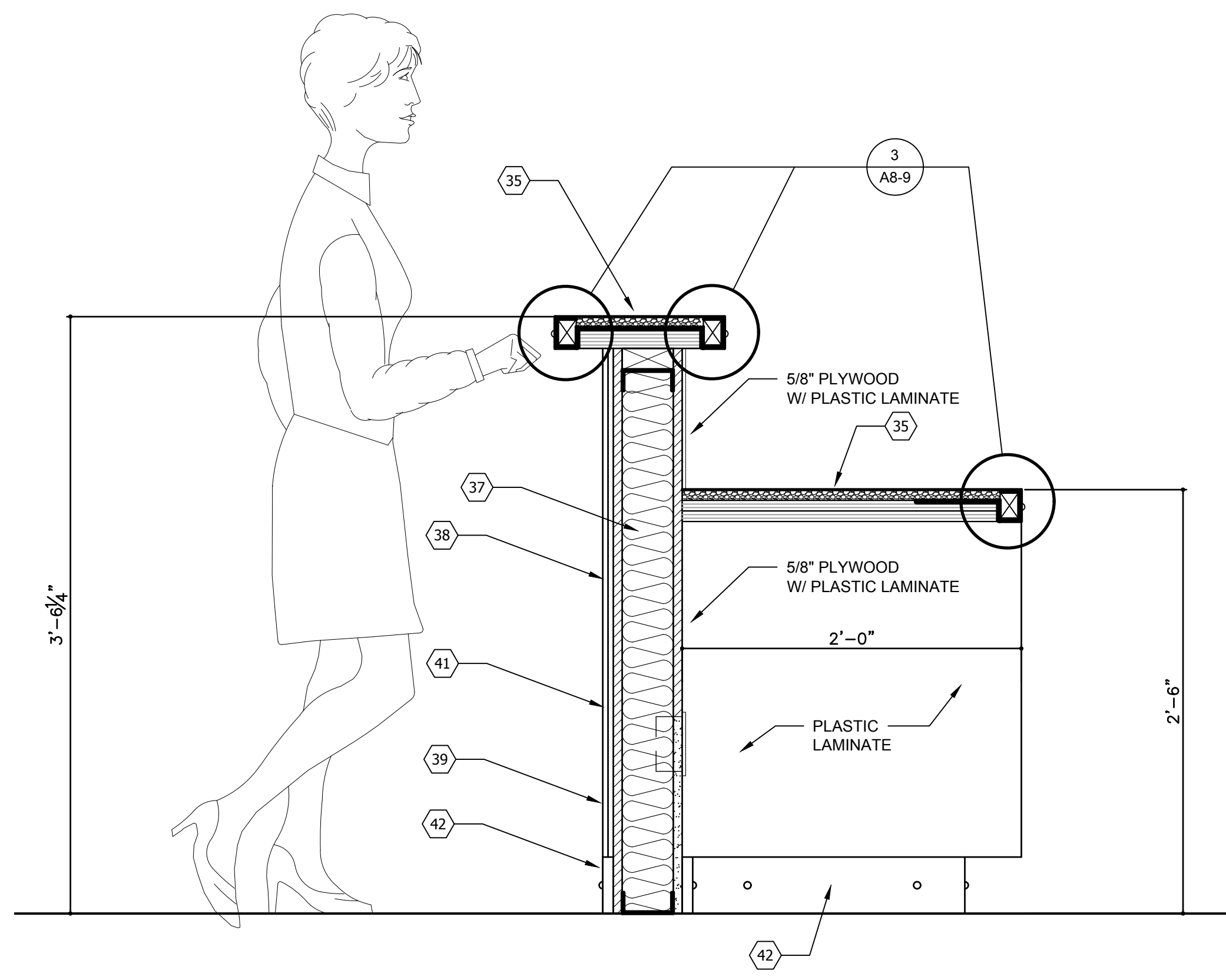
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A8-8  
**RECEPTION DESK DETAILS**  
Scale: 3/4" = 1'-0"



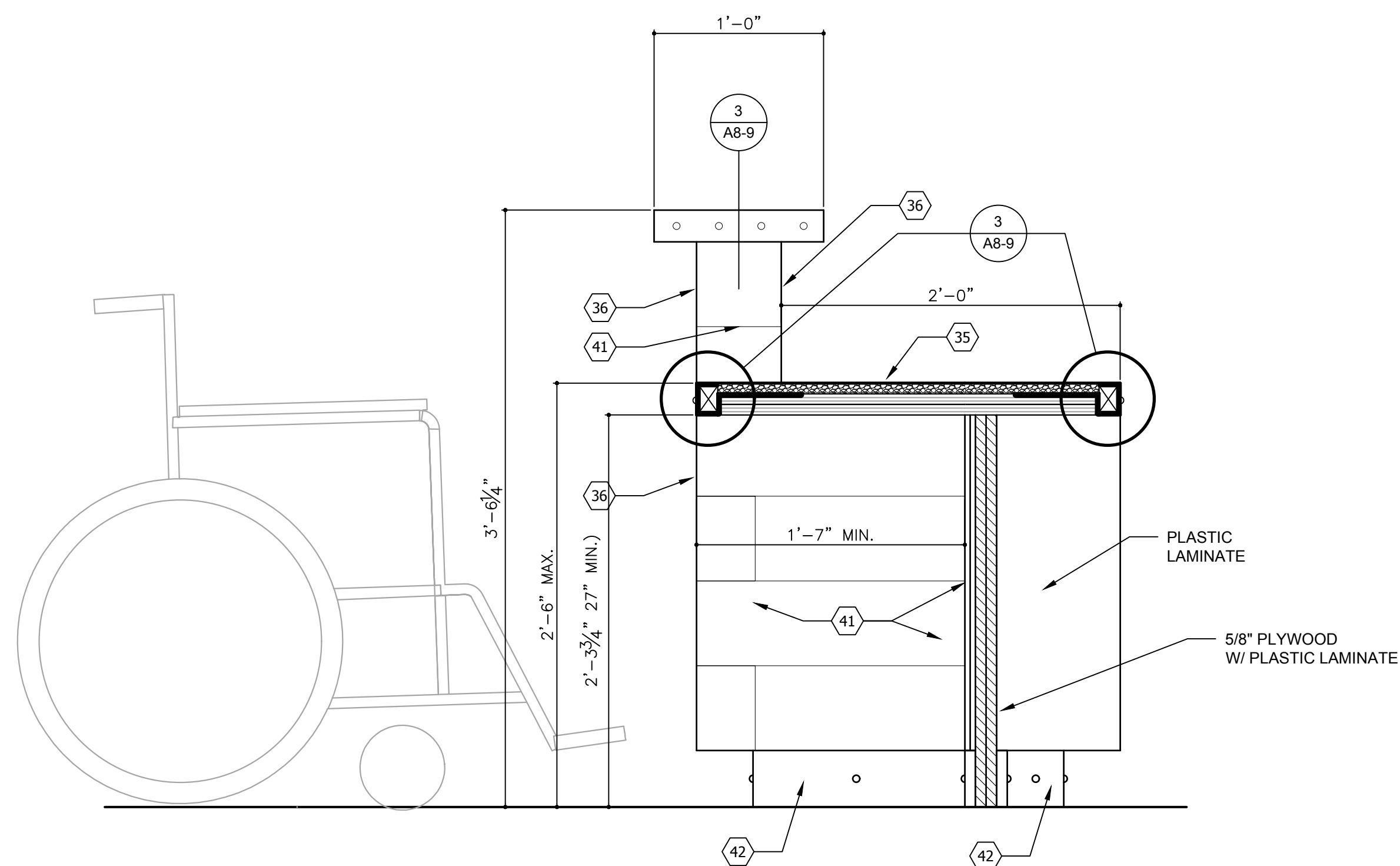
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A8-8  
**PLAN OF RECEPTION DESK**  
Scale: 1/2" = 1'-0"



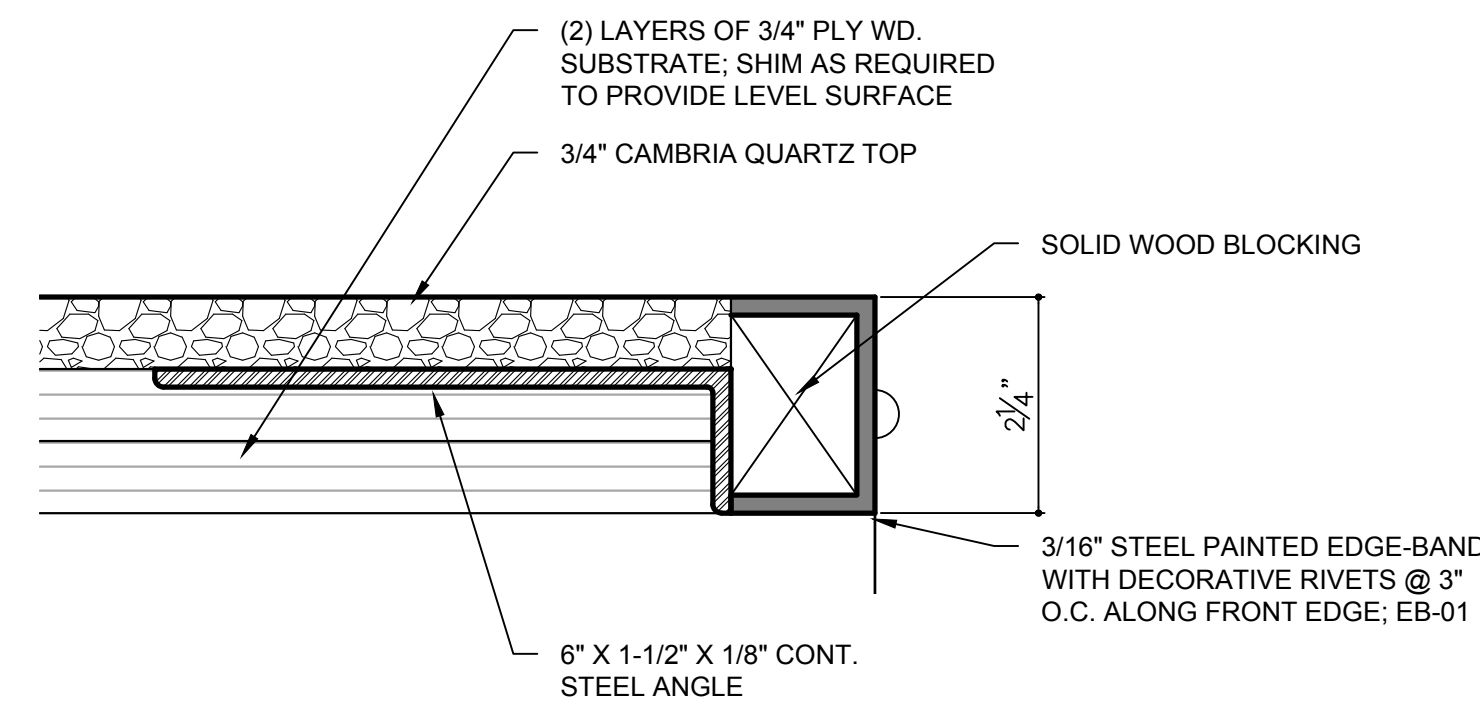
**4**  
A8-8  
**RECEPTION DESK DETAILS**  
Scale: 3/4" = 1'-0"



1 SECTION AT RECEPTION  
Scale: 1-1/2" = 1'-0"



2 SECTION AT ACCESSIBLE KNEESPACE  
Scale: 1-1/2" = 1'-0"



3 COUNTER EDGE DETAIL  
SCALE: 6" = 1'-0"

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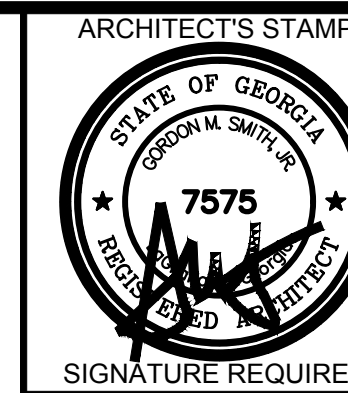
SMITH DESIGN GROUP, INC.  
206 WEST HARALSON STREET  
LAGRANGE, GEORGIA 30240  
706-882-5511  
www.SDGarch.net

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**INTERIOR ELEVATIONS**

MODIFIED DATE:	JOB NO: <b>1918</b>
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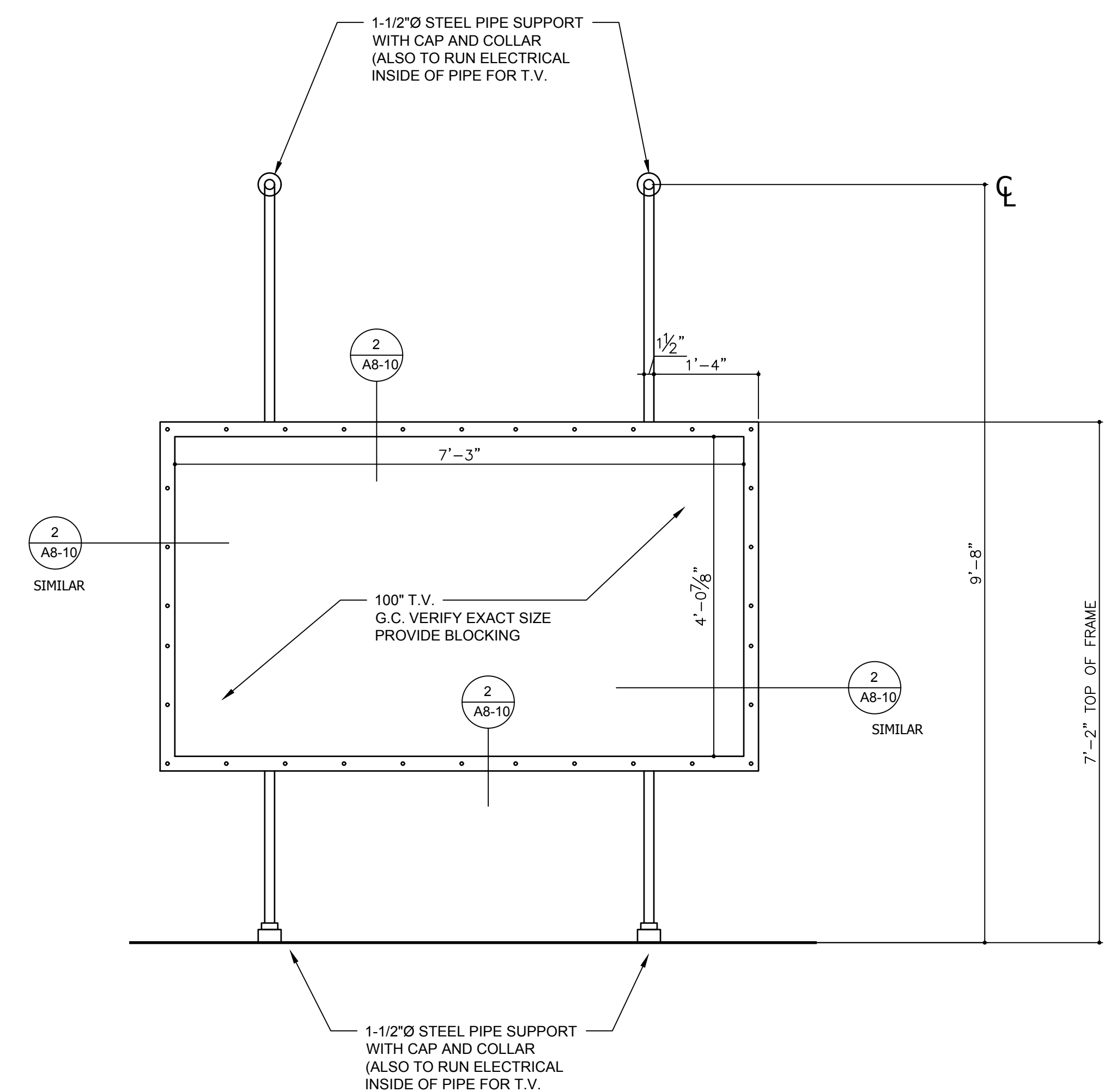
PROJECT:

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 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

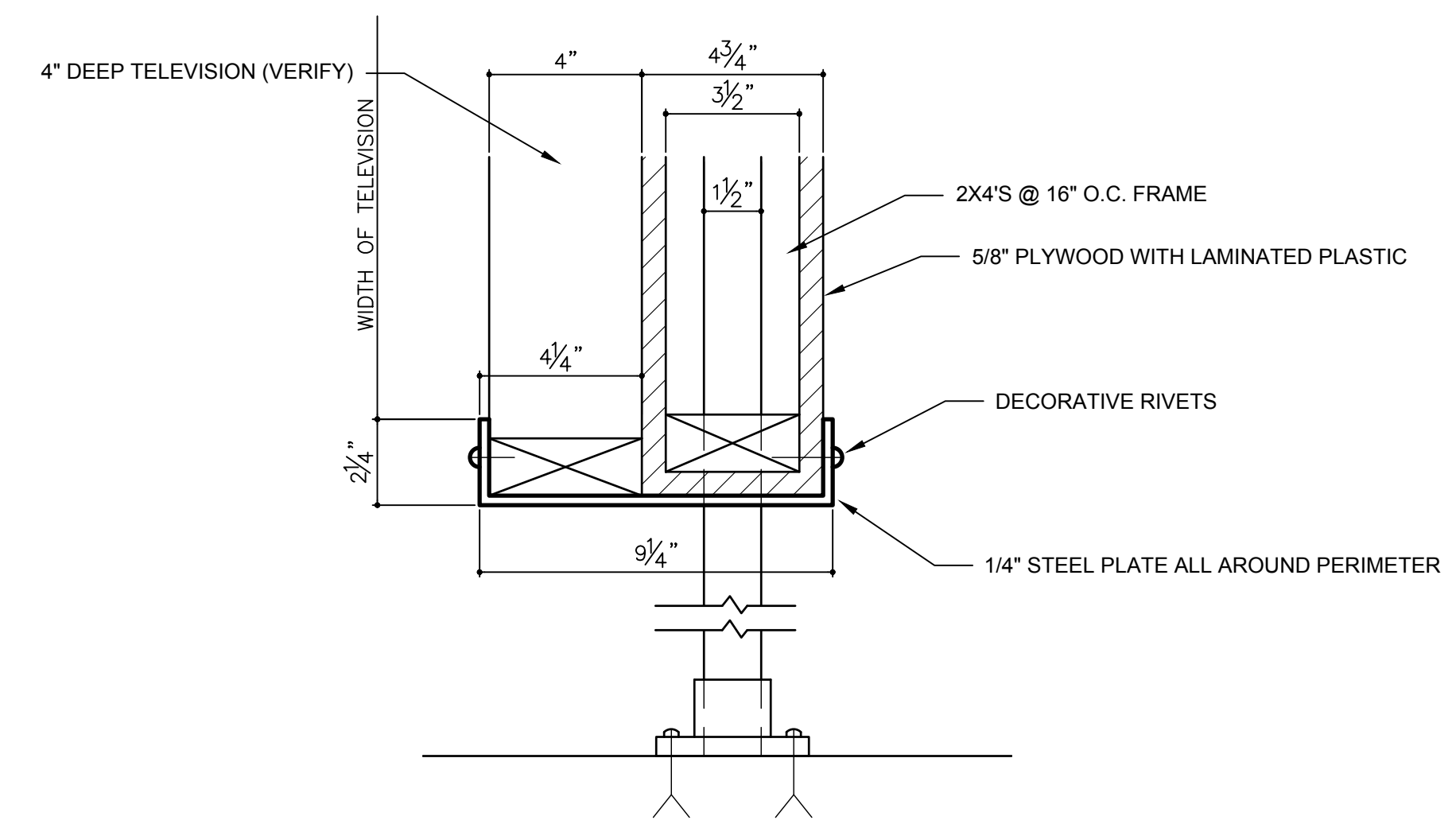
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**INTERIOR DETAILS**

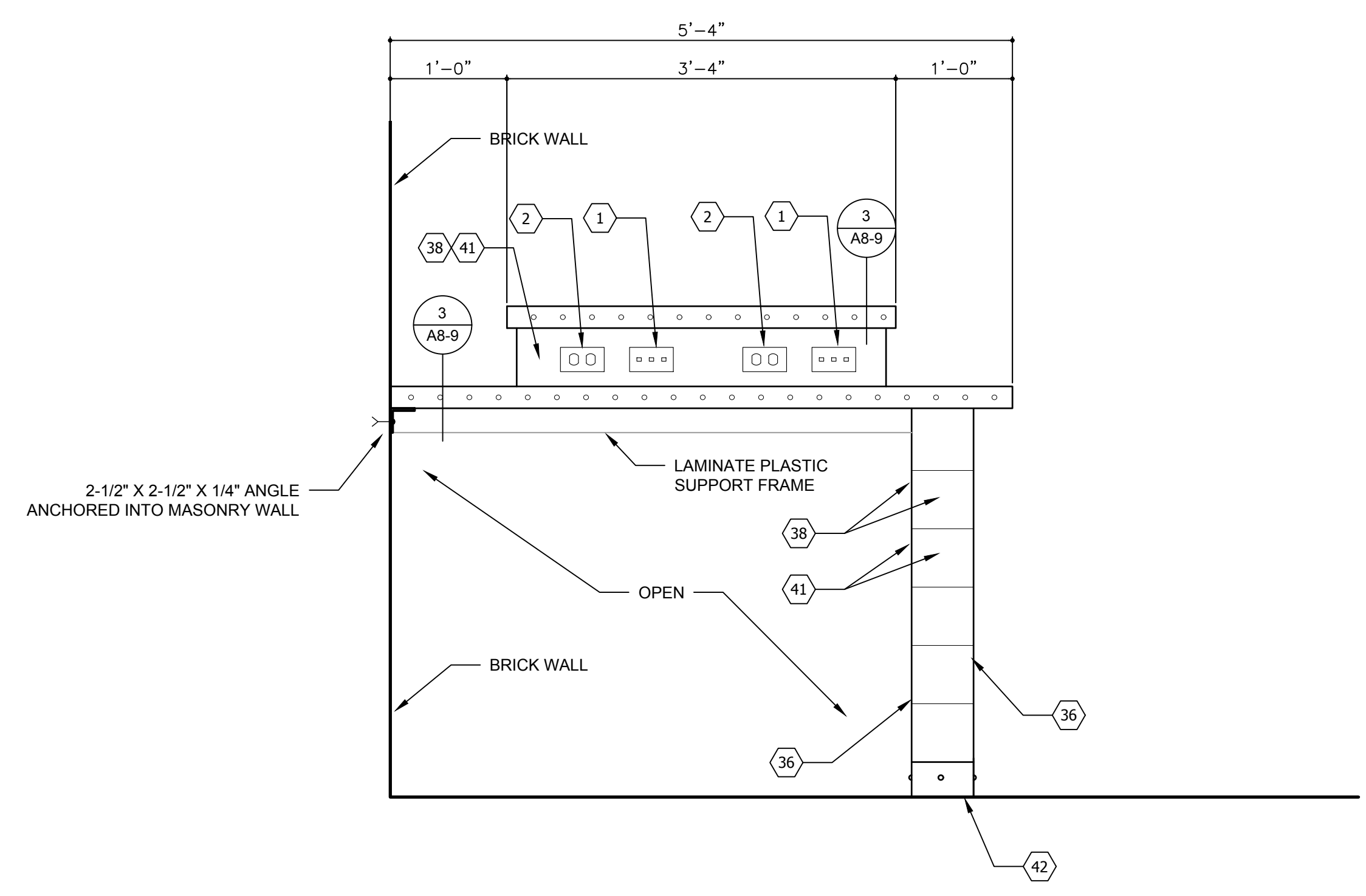
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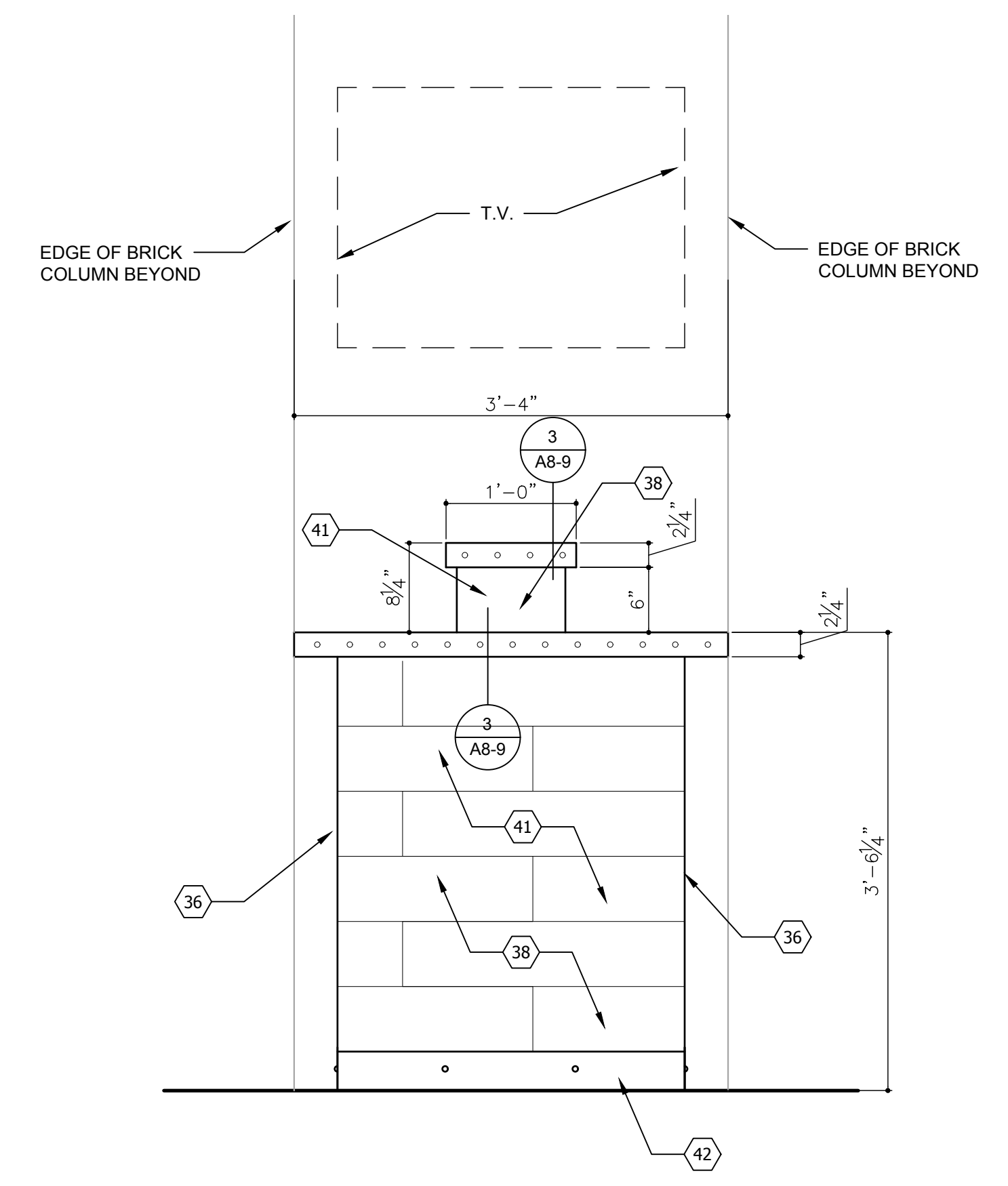
**T.V. SUPPORT DETAIL**  
 SCALE: 3/4" = 1'-0"



**T.V. SUPPORT PERIMETER DETAIL**  
 SCALE: 3" = 1'-0"

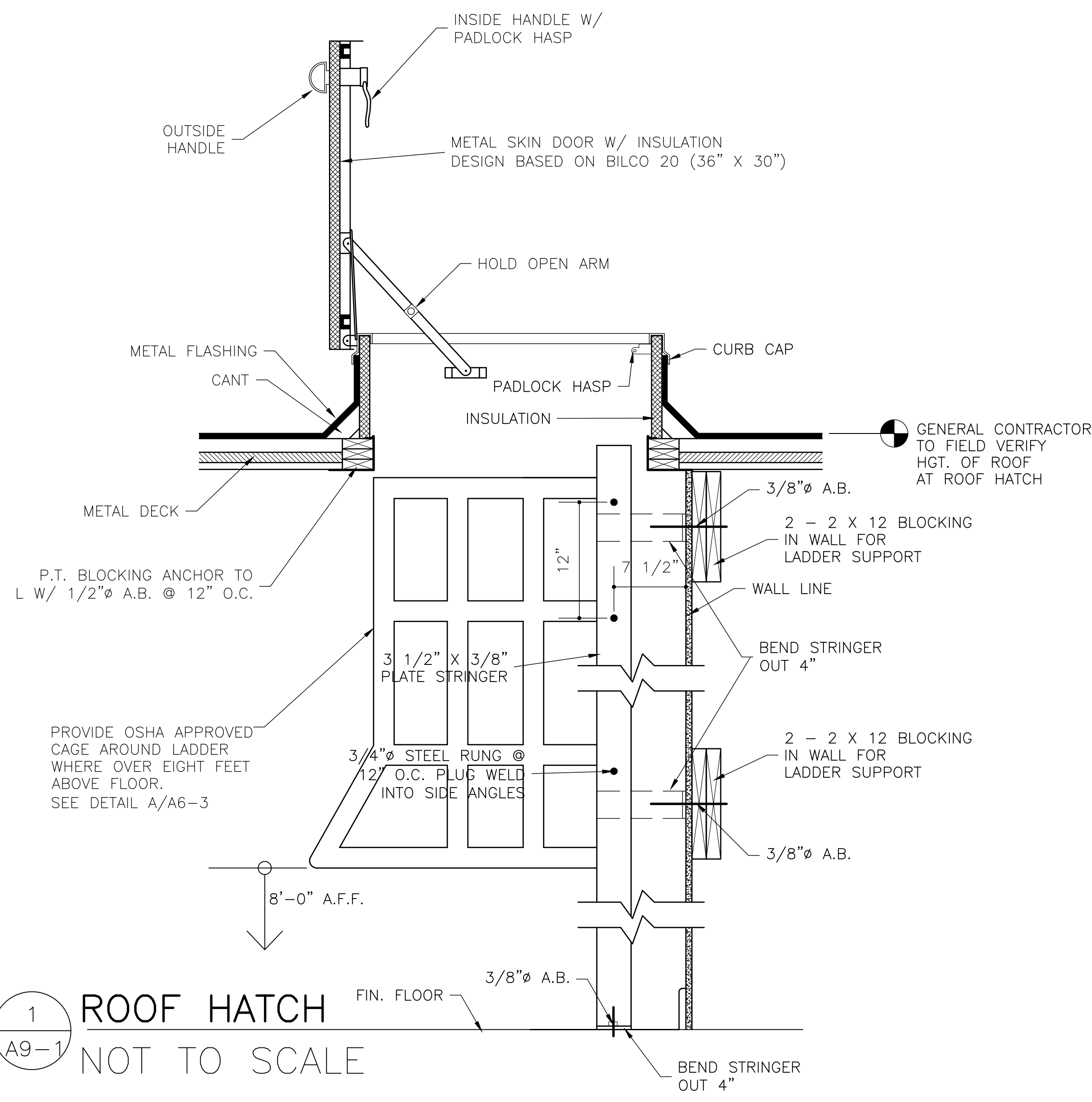


**CHARGING STATION DETAIL**  
 SCALE: 1" = 1'-0"  
 OTHER SIDE SIMILAR

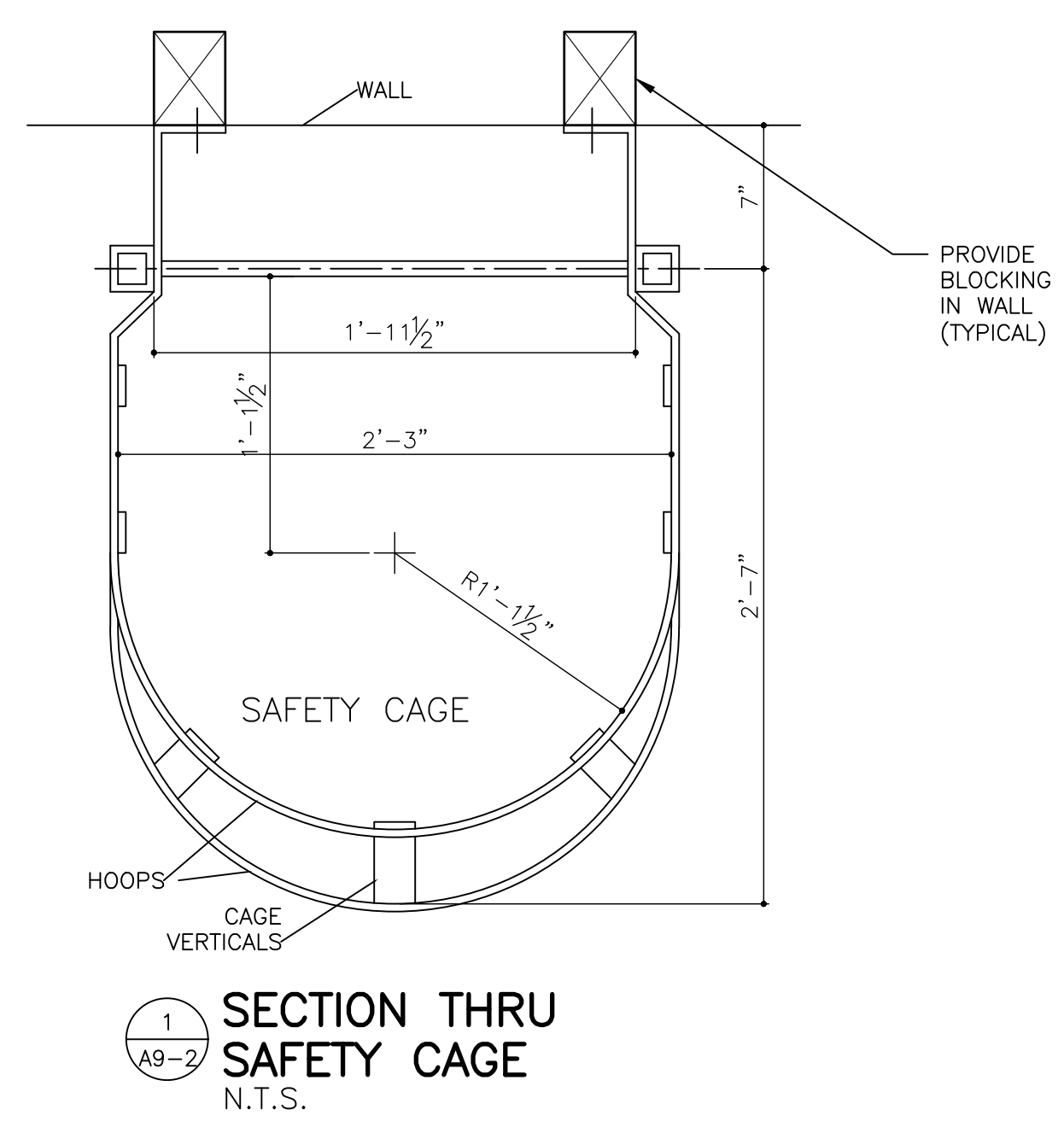


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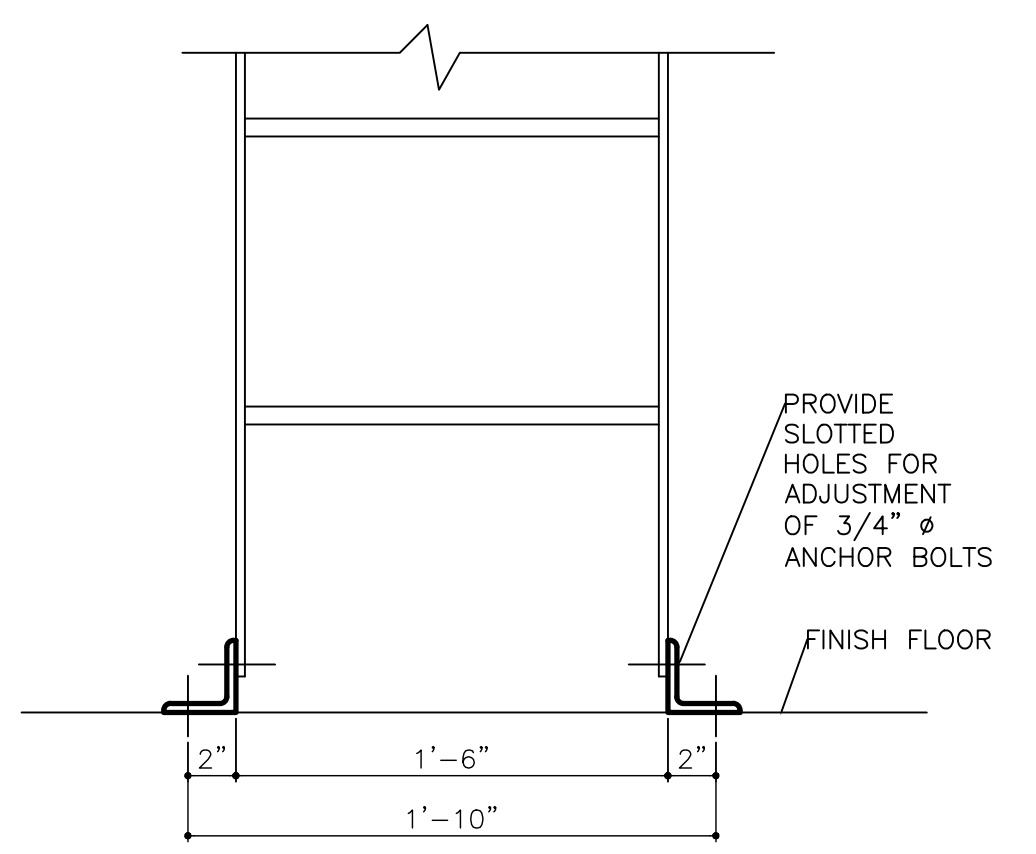




1  
A9-1  
**ROOF HATCH**  
NOT TO SCALE



1  
A9-2  
**SECTION THRU SAFETY CAGE**  
N.T.S.

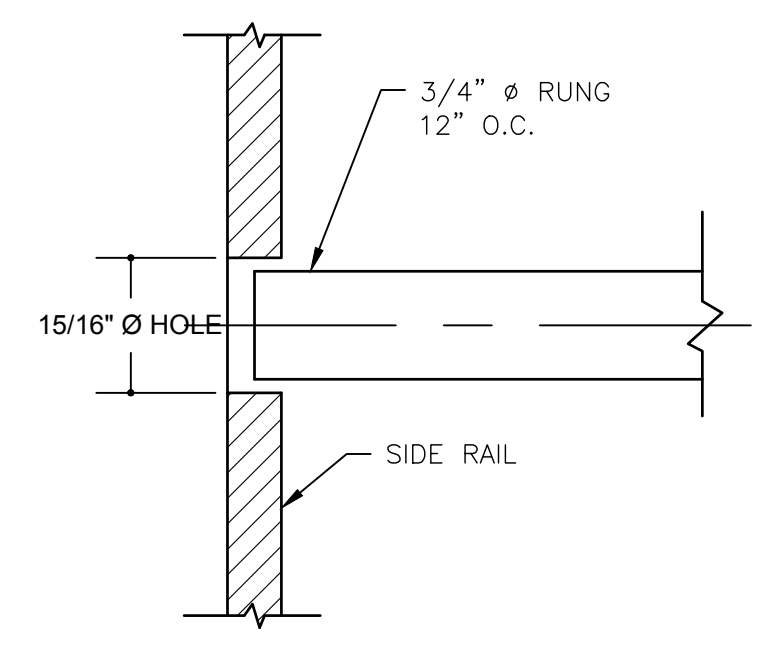


2  
A9-2  
**TYPICAL LADDER FOOTING CONNECTIONS**  
N.T.S.

G.C. TO SUBMIT DETAILED SHOP DWGS. THAT MEET OSHA REQUIREMENTS AND ANSI SPECIFICATIONS A 14.3

**SUGGESTED STEEL LADDER FRAMING**

MEMBER	SIZE	SUPPORT SPACING
LADDER SIDE RAILS	2 1/2" X 3/8"	8'-0" MAXIMUM
	3" X 3/8"	12'-0" MAXIMUM
	3 1/2" X 3/8"	16'-0" MAXIMUM
CAGE HOOP	5" X 3/8"	20'-0" MAXIMUM TOP AND BOTTOM
	2" X 3/8"	ALL INTERMEDIATES
CAGE VERTICALS	2" X 3/8"	SEE SECTION ABOVE
LADDER RUNGS	3/4" $\phi$ PLUG WELDED INTO SIDE RAILS	



**LADDER RUNG DETAIL**



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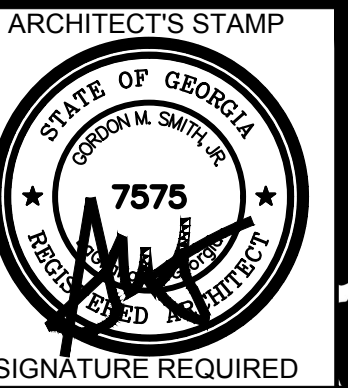
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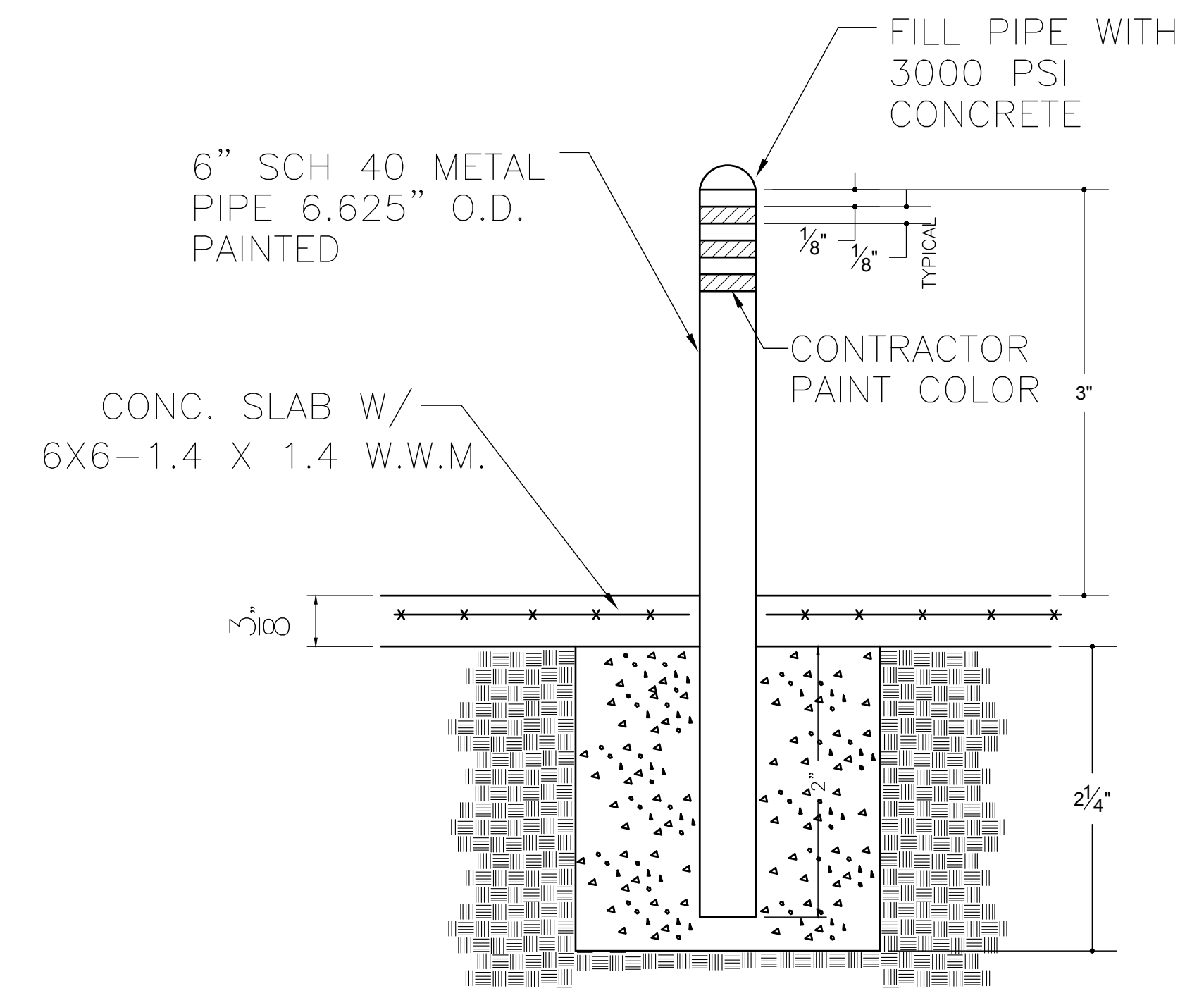
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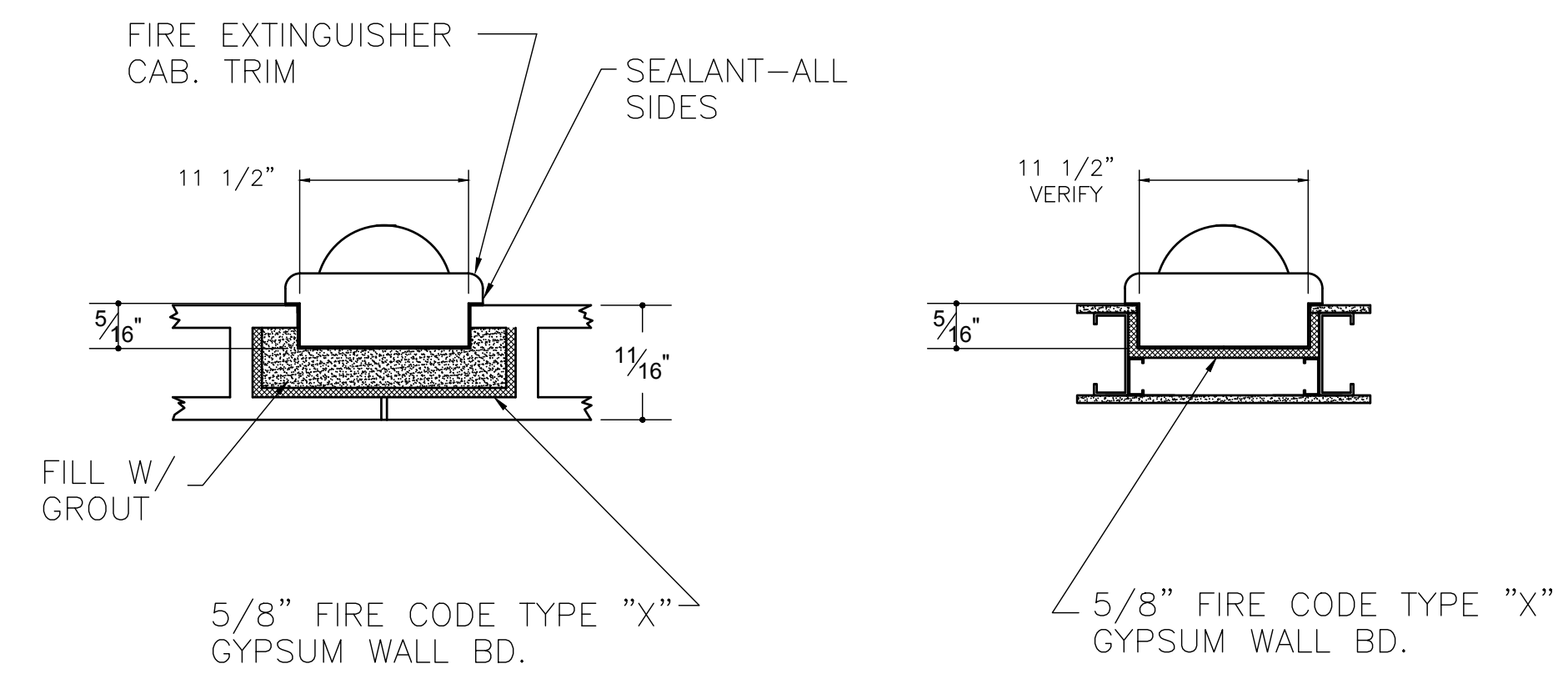
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**1**  
**A9-2** BOLLARD DETAIL  
 SCALE : 3/4" = 1'-0"



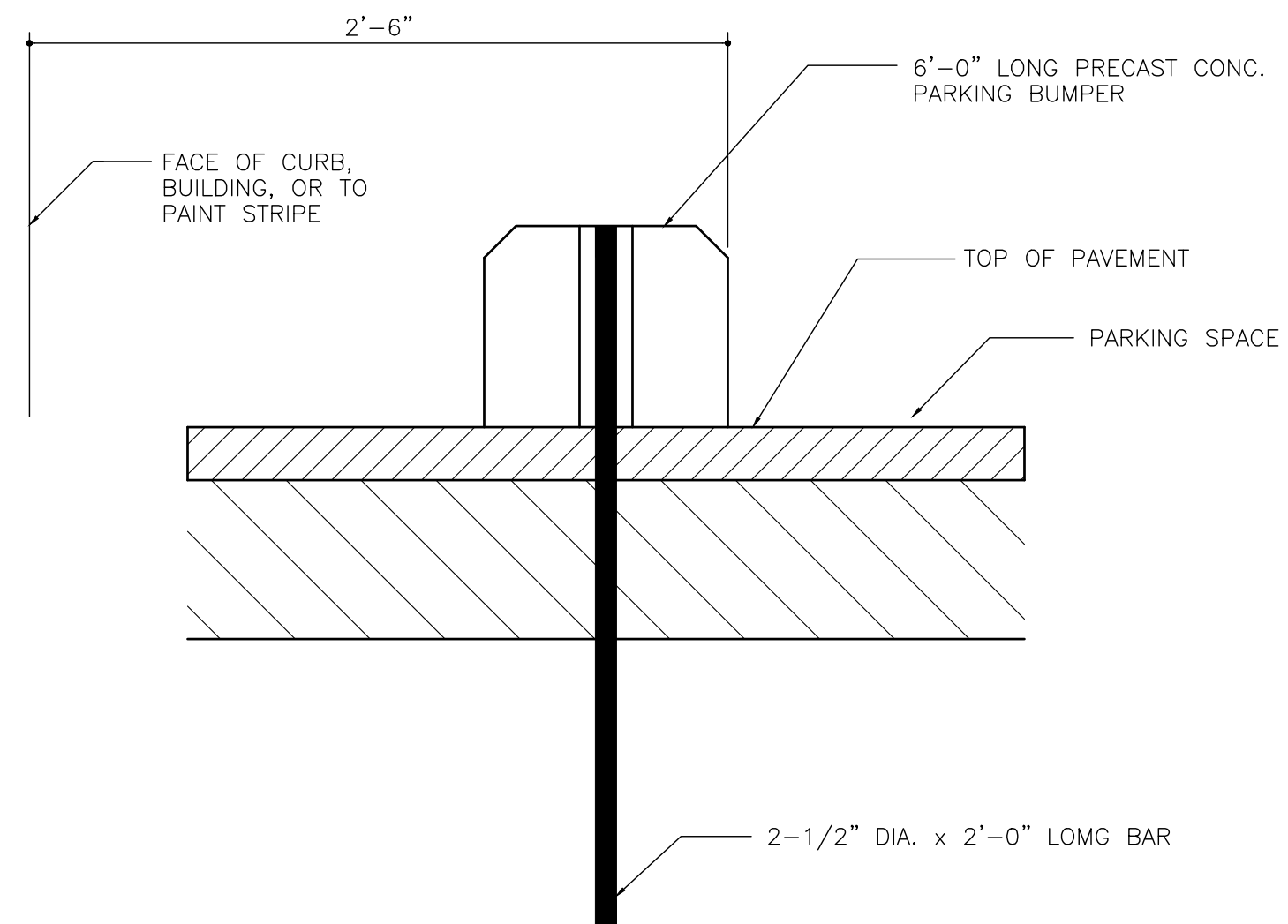
**2**  
**A9-2** FIRE EXTINGUISHER CABINET DETAILS  
 SCALE : NOT TO SCALE  
 (TYPICAL ALL FIRE EXTINGUISHERS)  
 FIVE SIDE BEHIND ALL FIRE EXTINGUISHERS  
 W/ 5/8" FIRECORE TYPE "X" GYP. BOARD

REVISIONS	
Δ	DESCRIPTION

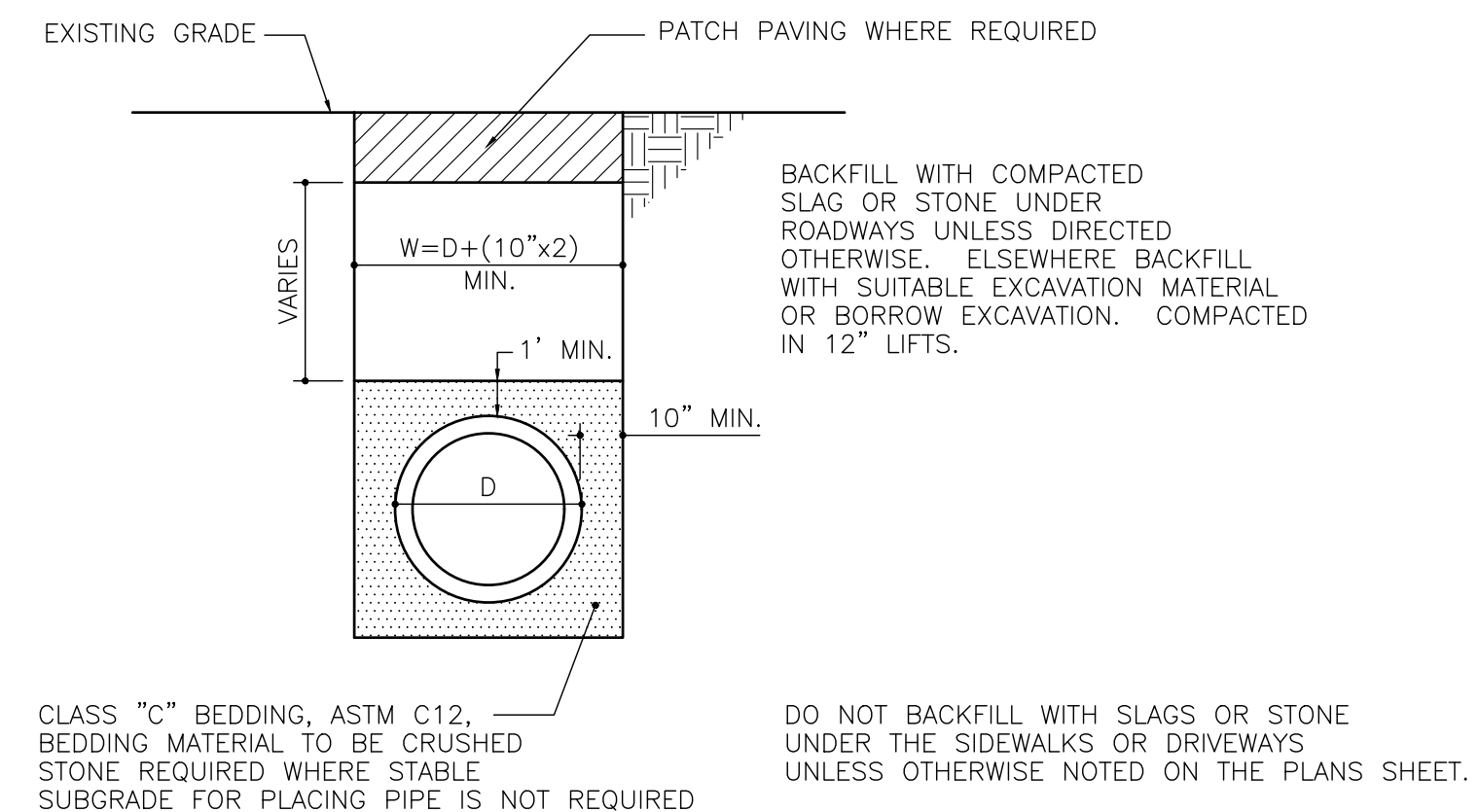
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**DETAILS**

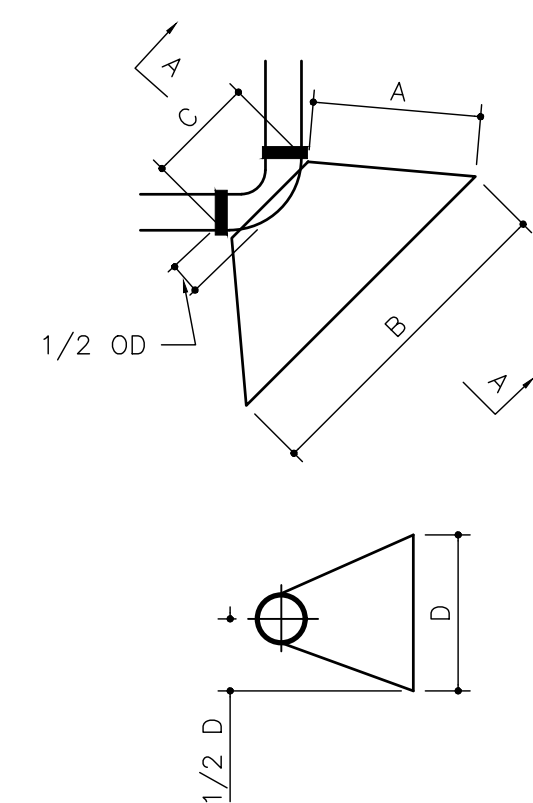
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>A9-2</b>



4 PARKING BLOCK DETAIL  
SCALE: NONE



5 PIPE BEDDING DETAIL  
SCALE: NONE



LINTEL SCHEDULE							
OPENING WIDTH		FOR EACH 4" WALL THICKNESS	WALL DIMENSION AND REINFORCING				
MIN.	MAX.		STEEL	CONCRETE BLOCK OR CONCRETE			
			DEPTH	4" WALL	6" WALL	8" WALL	12" WALL
—	2'-0"	∠ -3 1/2X3X1/4SLV	7 5/8"	1#4	1#4BOT.	1#4BOT.	1#4BOT.
2'-1"	3'-6"	∠ -3 1/2X3X1/4SLV	7 5/8"	1#4	1#4BOT.	1#4BOT.	2#5BOT.
3'-7"	5'-0"	∠ -3 1/2X3X1/4SLV	7 5/8"	1#4	1#5BOT.	1#5BOT.	2#5BOT.
5'-1"	6'-6"	∠ -4X3 1/2X1/4LLV	7 5/8"	—	1#5BOT.	1#7BOT.	2#6BOT.
6'-7"	8'-0"	∠ -5X3 1/2X1/4LLV	7 5/8"	—	—	1#8BOT.	2#7BOT.
8'-1"	10'-0"	∠ -6X3 1/2X5/16LLV	15 5/8"	—	—	1#8BOT.	—
10'-1"	12'-0"	—	15 5/8"	—	—	1#8BOT.	—

NOTES: 1. DO NOT USE THIS SCHEDULE IF CONCENTRATED LOAD IS APPLIED TO LINTEL.  
2. PROVIDE 1'-4"(MIN.) BEARING AT EACH END FOR MASONRY.  
3. PROVIDE 8"(MIN.) BEARING AT EACH END FOR STEEL.

SEE MECH'L DWGS. & ARCH'L DWGS. FOR QUANTITY & LOCATION OF OPENING AT DOORS, WINDOWS, LOUVERS, VENTS AND RECESSED OPENINGS.

NOTES:  
1. SOIL CONDITIONS SHALL BE VERIFIED BY THE ENGINEER BEFORE THRUST BLOCK DESIGN IS IMPLEMENTED.  
DESIGN DATA  
1. DIMENSION OF THRUST BLOCK IN FEET BASED ON 2000 POUNDS PER SQUARE FOOT SOIL BEARING PRESSURE. ACTUAL INSIDE DIAMETER OF D.I.P., CLASS 50, P.S.I. TEST PRESSURE.  
2. CONCRETE SHALL BE CLASS A, 3000 P.S.I.  
3. UNDER ADVERSE CONSTRUCTION CONDITIONS, CONCRETE SHALL BE "HIGH EARLY" TYPE.

BEND	SIZE	A (FT)	B (FT)	C (IN)	D (FT)	VOLUME (CU.YD)	THRUST (LBS)
11-1/4"	6"	1.0	2.0	6	1.0	0.04	1,385
	8"	1.0	2.0	7	1.0	0.05	2,400
	10"	1.0	2.0	9	1.0	0.07	3,830
	12"	1.0	2.5	11	1.5	0.12	5,550
	14"	2.0	2.5	11	2.0	.24	7,550
	16"	2.0	2.5	12	2.0	0.26	9,860
22-1/2"	6"	1.0	2.0	6	1.0	0.04	2,760
	8"	1.0	2.0	7	1.5	0.06	4,905
	10"	1.0	2.0	9	2.0	0.10	7,665
	12"	1.0	3.0	11	2.0	0.16	11,040
	14"	2.0	3.5	11	2.5	0.37	15,025
	16"	2.0	3.5	12	3.0	0.45	19,625
45°	6"	1.0	2.0	6	1.5	0.06	5,415
	8"	1.0	2.5	7	2.0	0.10	9,625
	10"	2.0	3.5	9	2.5	0.31	15,040
	12"	2.0	3.5	11	3.0	0.41	21,655
	14"	2.0	4.0	11	3.75	0.56	29,475
	16"	3.0	5.0	12	4.0	1.45	38,495
90°	6"	1.0	2.5	12	2.0	0.13	10,005
	8"	2.0	3.0	14	3.0	0.38	17,785
	10"	2.5	4.5	18	3.0	0.74	27,785
	12"	3.0	5.0	20	4.0	1.24	40,010
	14"	3.0	5.5	24	5.0	1.77	54,460
	16"	4.0	6.5	26	5.5	2.91	71,125
TEES AND PLUGS	6"	1.0	2.5	12	1.5	0.10	7,070
	8"	1.7	3.25	14	2.0	0.27	12,565
	10"	2.0	4.0	18	2.5	0.50	19,635
	12"	2.5	4.5	20	3.25	0.91	28,275
	14"	3.0	5.0	24	4.0	1.41	38,485
	16"	3.0	5.0	26	5.0	1.77	50,265
TEES AND PLUGS	20"	4.0	7.0	32	5.75	3.69	78,540
	24"	6.0	9.0	40	6.5	7.94	113,100



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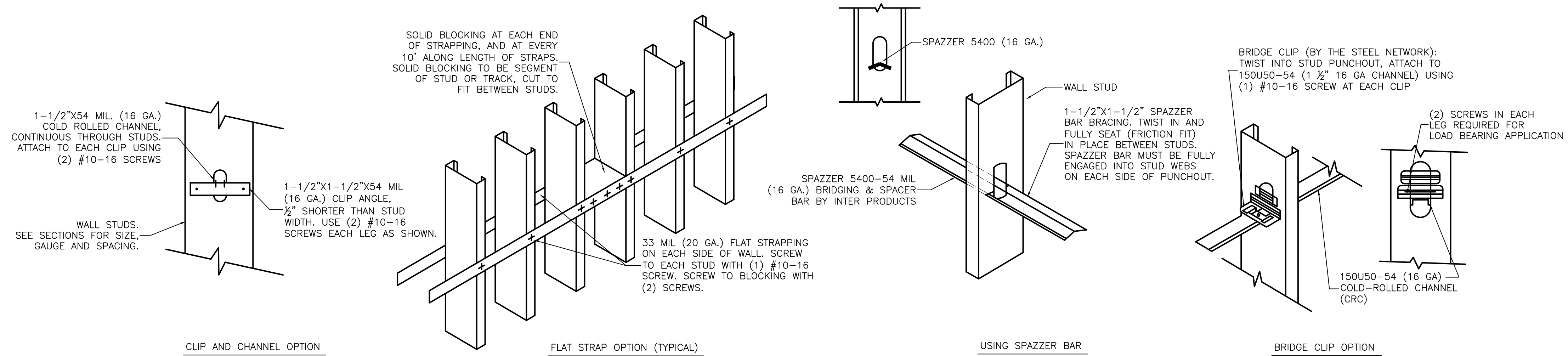
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**DETAILS**

MODIFIED DATE:      JOB NO:  
ISSUED DATE:              **1918**  
FOR PRICING              SHEET:  
24 APR 2020              **A9-3**

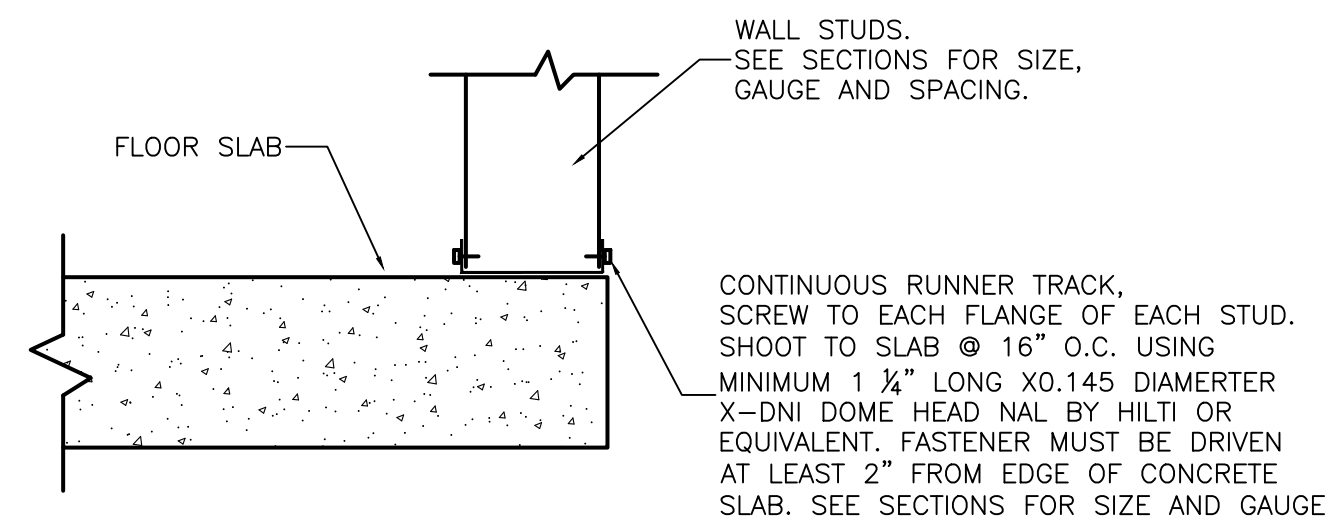


*[Signature]*

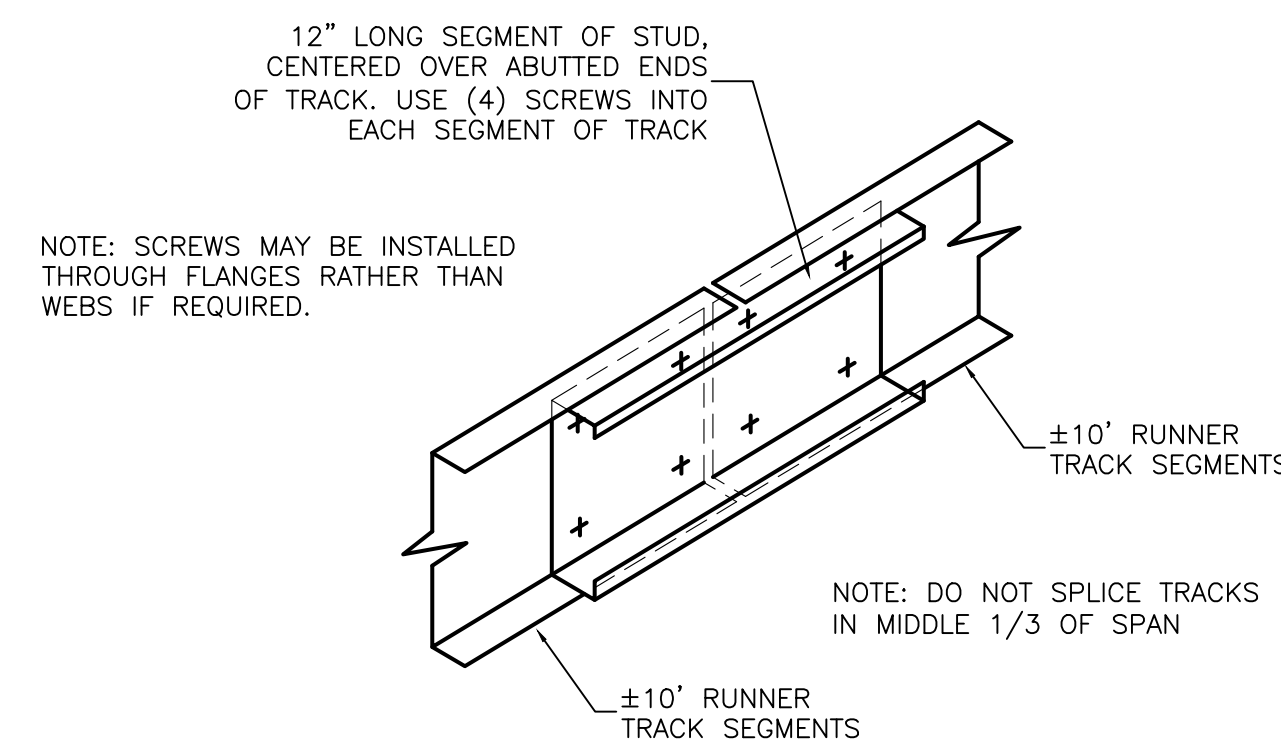
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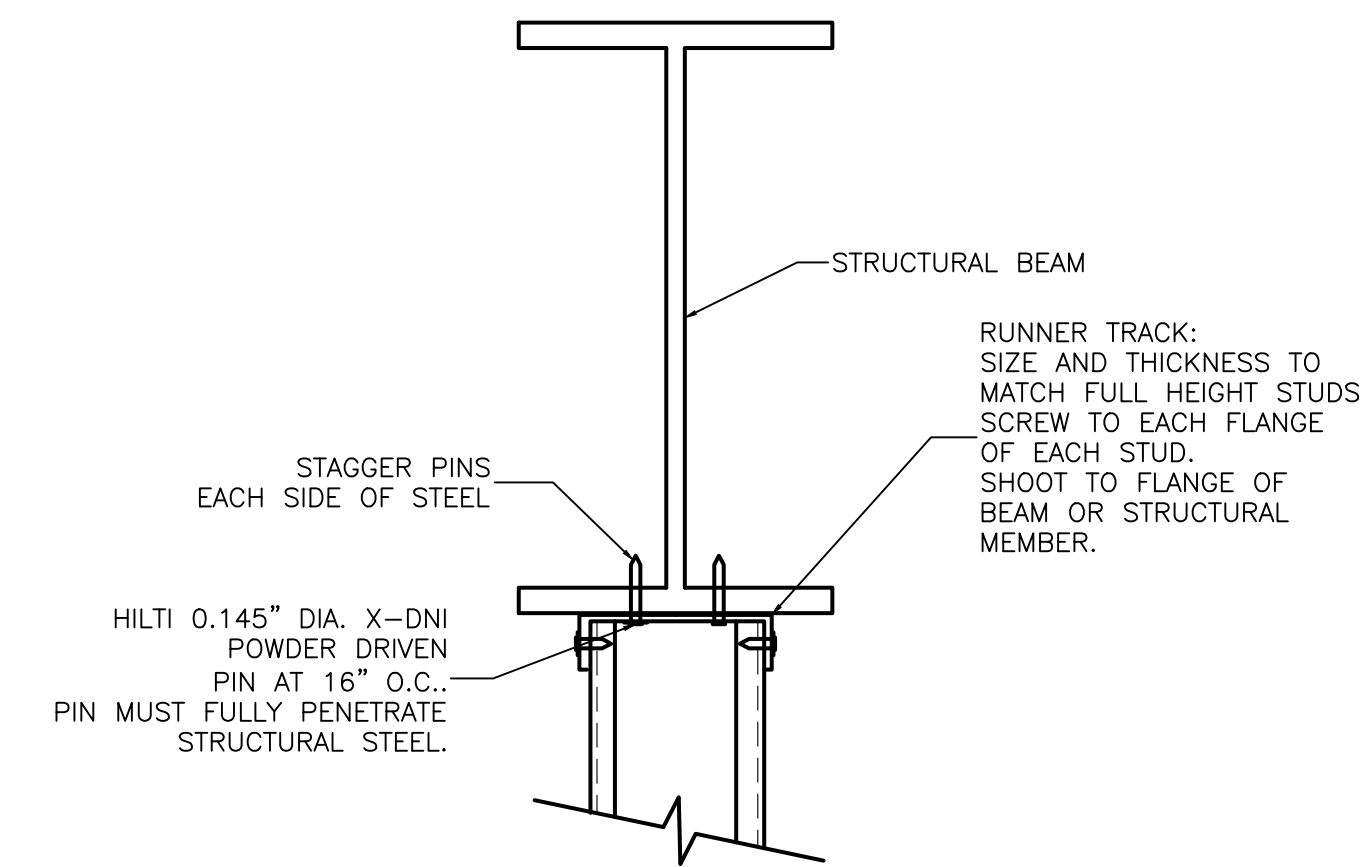
1  
 A9-4  
**FOUR OPTIONS FOR WALL STUD LATERAL BRACING**  
 SCALE: NONE



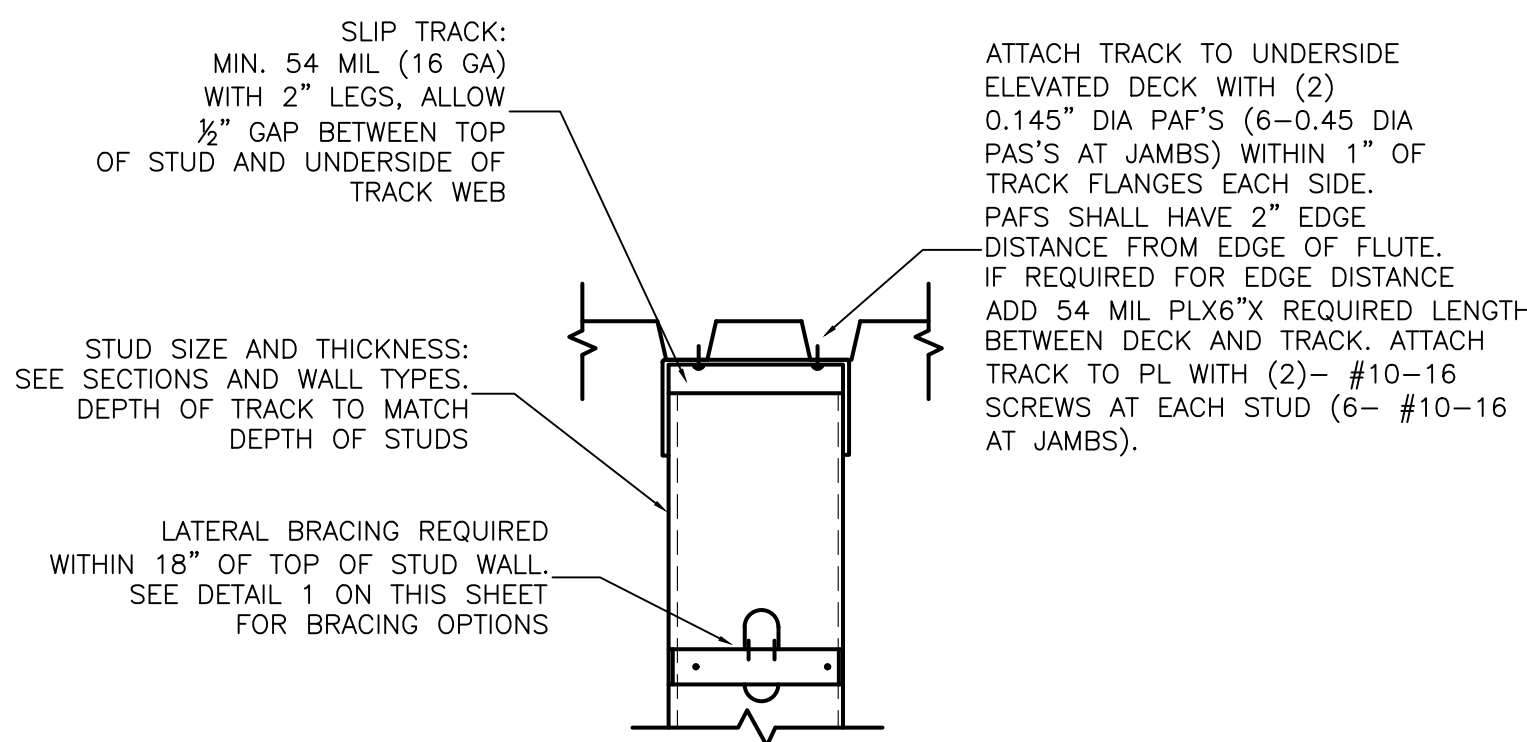
2  
 A9-4  
**SECTION DETAIL: TRACK TO SLAB**  
 SCALE: 1 1/2" = 1'-0"



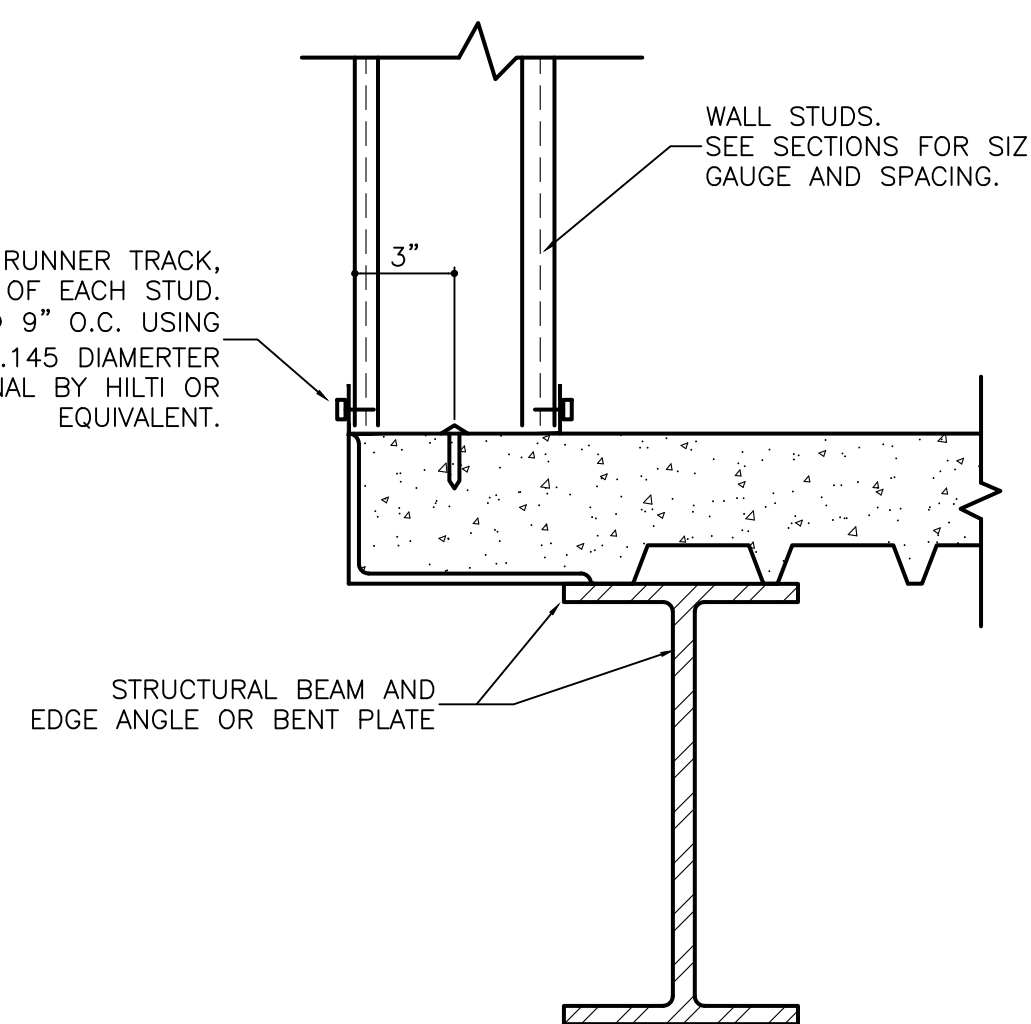
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 A9-4  
**TRACK SPLICE**  
 NOT TO SCALE



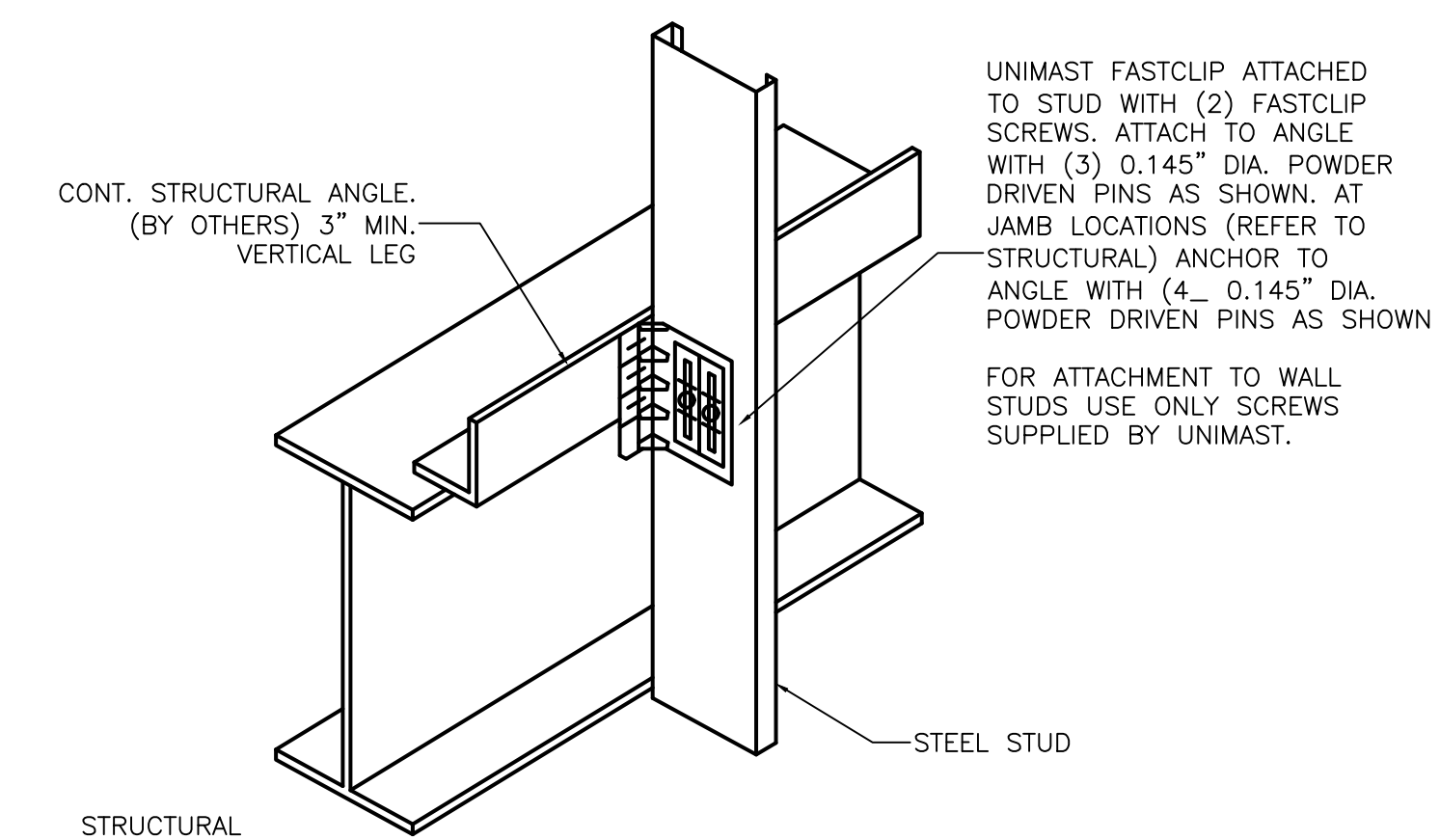
4  
 A9-4  
**CONNECTION TO STEEL**  
 NOT TO SCALE



5  
 A9-4  
**SLIP TRACK**  
 SCALE: NONE



6  
 A9-4  
**SECTION DETAIL: TRACK TO ELEVATED SLAB**  
 SCALE: NONE



7  
 A9-4  
**CONNECTION DETAILS**  
 SCALE: NONE

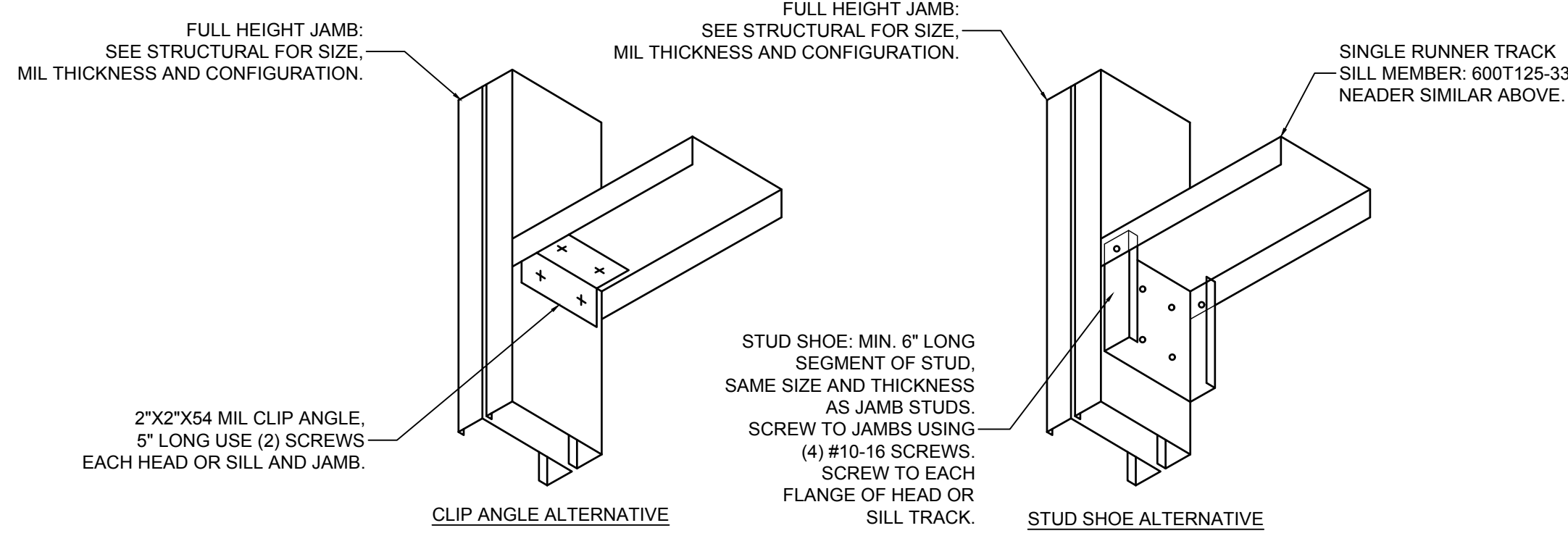
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**DETAILS**

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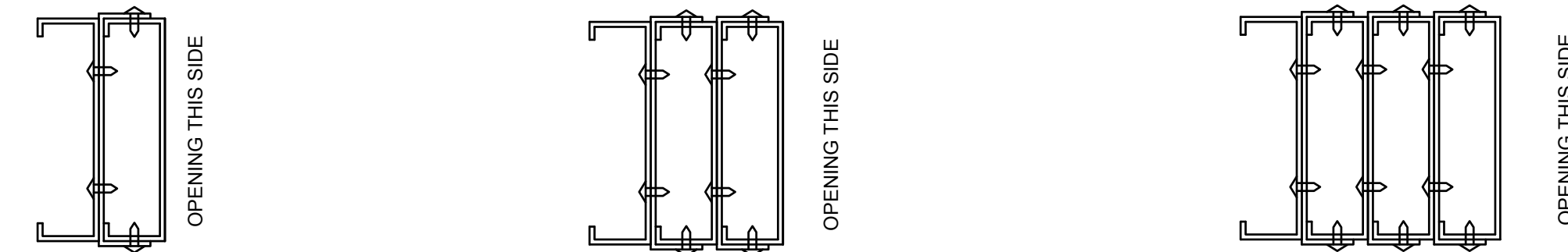


SEE DETAILS THIS SHEET FOR NUMBER OF MEMBERS REQUIRED AT HEAD AND SILL, AS WELL AS CONFIGURATION AND ATTACHMENT OF BUILT-UP MEMBERS.

**TYPICAL CONNECTION SILL TO JAMB**

1  
A9-5

SCALE: NONE



TYPICAL JAMB E.S. OF 6'-0" OPENINGS:  
(2) 600S162-43 STUDS  
(1) TRACK

TYPICAL JAMB E.S. OF 12'-8" OPENINGS:  
(3) 600S162-43 STUDS  
(2) TRACK

TYPICAL JAMB E.S. OF 12'-8" OPENINGS:  
(3) 600S162-43 STUDS  
(2) TRACK

FULL HEIGHT STUDS (SPAN FROM SLAB ON GRADE TO TOP OF PARAPET) AND STUDS SPANNING FROM SLAB ON GRADE TO UNDERSIDE OF LEVEL ELEVATED SLAB

STUDS SPANNING FROM TOP OF LEVEL ELEVATED SLAB TO TOP OF PARAPET

**JAMB CONFIGURATIONS**

1  
A9-5

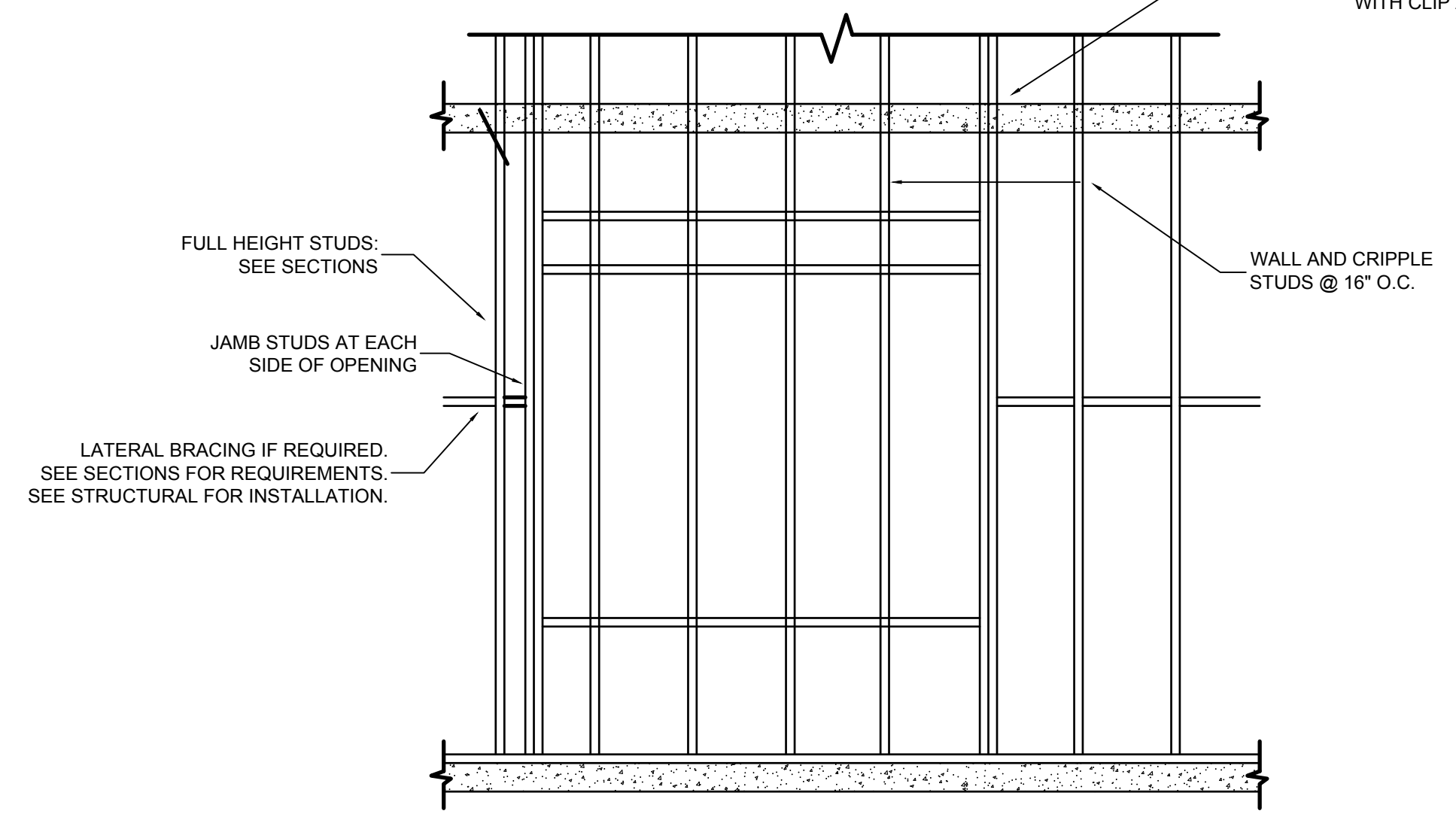
SCALE: 3" = 1'-0"

NOTES:

- FOR ALL JAMBS: SCREW OR WELD ENTIRE ASSEMBLY TOGETHER AS SHOWN. EVERY 12" ON CENTER VERTICALLY.
- STUDS AND TRACKS TO MATCH ADJACENT WALL STUD MATERIAL. SEE DETAILS THIS SHEET FOR CONNECTION TO SLAB AT BASE. DO NOT SPLICE TRACKS IN MIDDLE 1/2 OF SPAN.
- WHERE EDGE OF 6'-0" OPENING AND EDGE OF 12'-8" OPENING ALIGN, JAMB CONFIGURATION SHALL CONFORM TO REQUIREMENTS OF 12'-8" OPENING FULL HEIGHT OF BUILDING.

NOTE: STRAPPING IS NOT REQUIRED BELOW STRUCTURAL TUBE WHERE NO SLIP CONNECTION OCCURS.

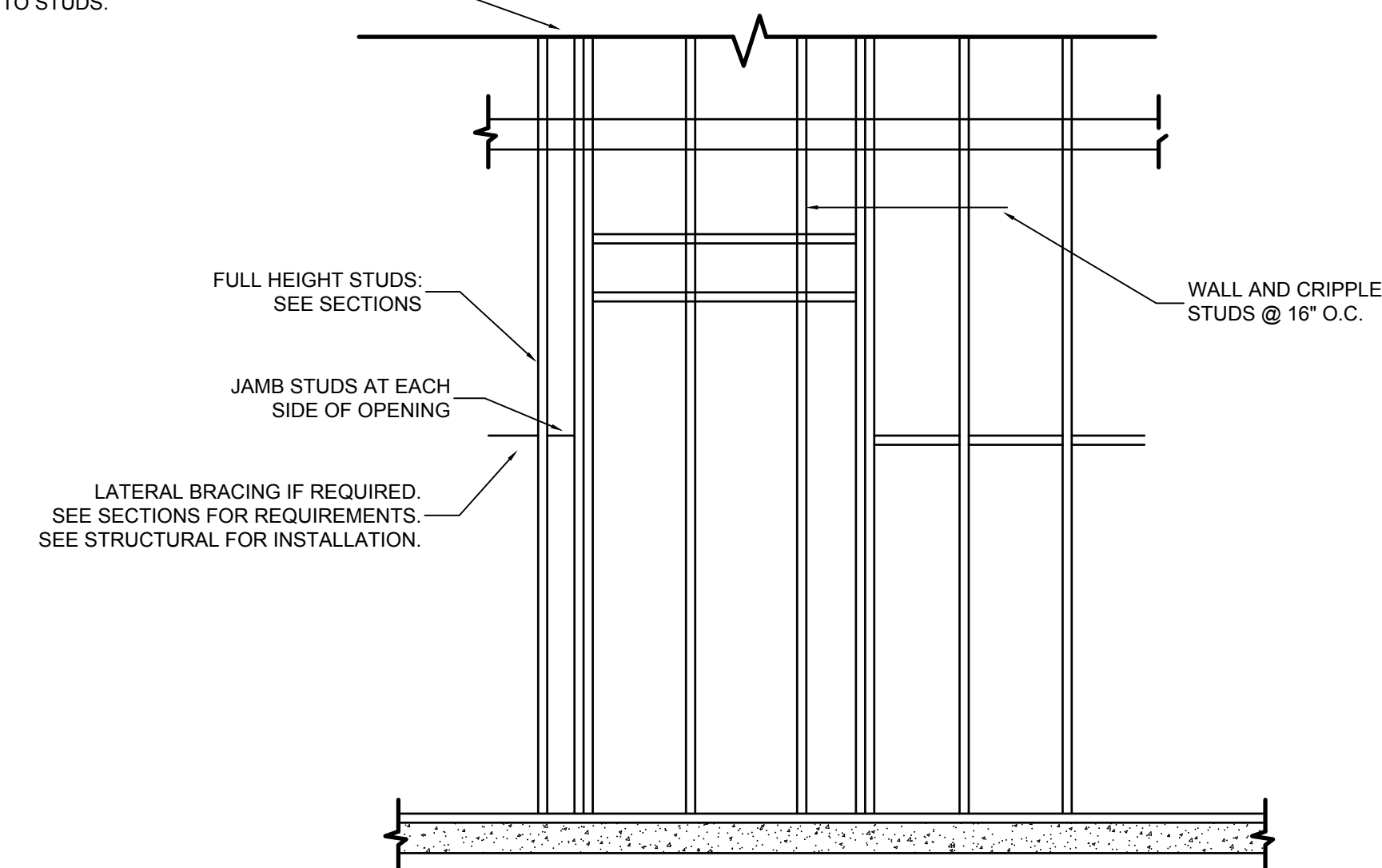
NOTE: AT NON-BYPASS CONDITIONS, WHERE STUDS EXTEND TO UNDERSIDE OF SLAB, USE SL SERIES VERTI-CLIP BY THE STEEL NETWORK TO ATTACH JAMBS INSIDE SLIP TRACK. USE (2) VERTI-CLIPS, ONE EACH SIDE OF JAMB, ATTACH EACH CLIP TO SLIP TRACK WITH (4) #10-18 SCREWS (WITHIN 1" OF LEG). USE SCREWS PROVIDED WITH CLIP AT ATTACH CLIP TO STUDS.



**TYPICAL OPENING DETAIL**

1  
A9-5

SCALE: NONE



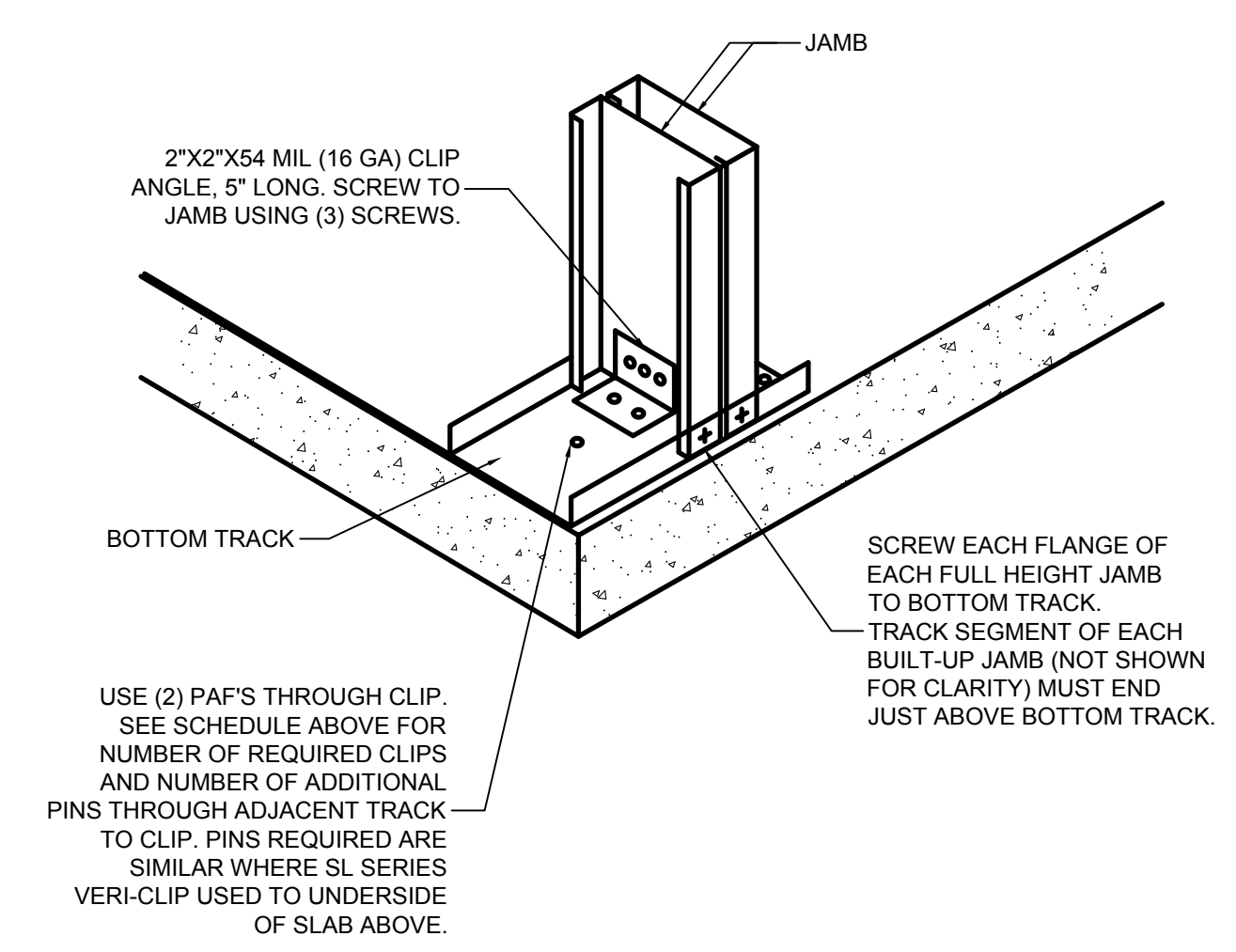
**TYPICAL DOOR OPENING DETAIL**

1  
A9-5

SCALE: NONE

# OF FULL HEIGHT JAMBS	# OF CLIPS REQUIRED	# OF PINS THRU EA. CLIP	# OF PINS THRU EA. TRACK
2"	1	2	2
3	2	2	4
4	2	2	6

NOTE: "\*" DENOTES WHERE JAMB IS SUPPORTED BY METAL STUD BOX HEADER PROVIDE (2) CLIPS. ANCHOR EACH LEG OF CLIP TO STUDS WITH (3) #10-16 SCREWS.



**JAMB TO SLAB AT OPENINGS**

1  
A9-5

SCALE: NONE



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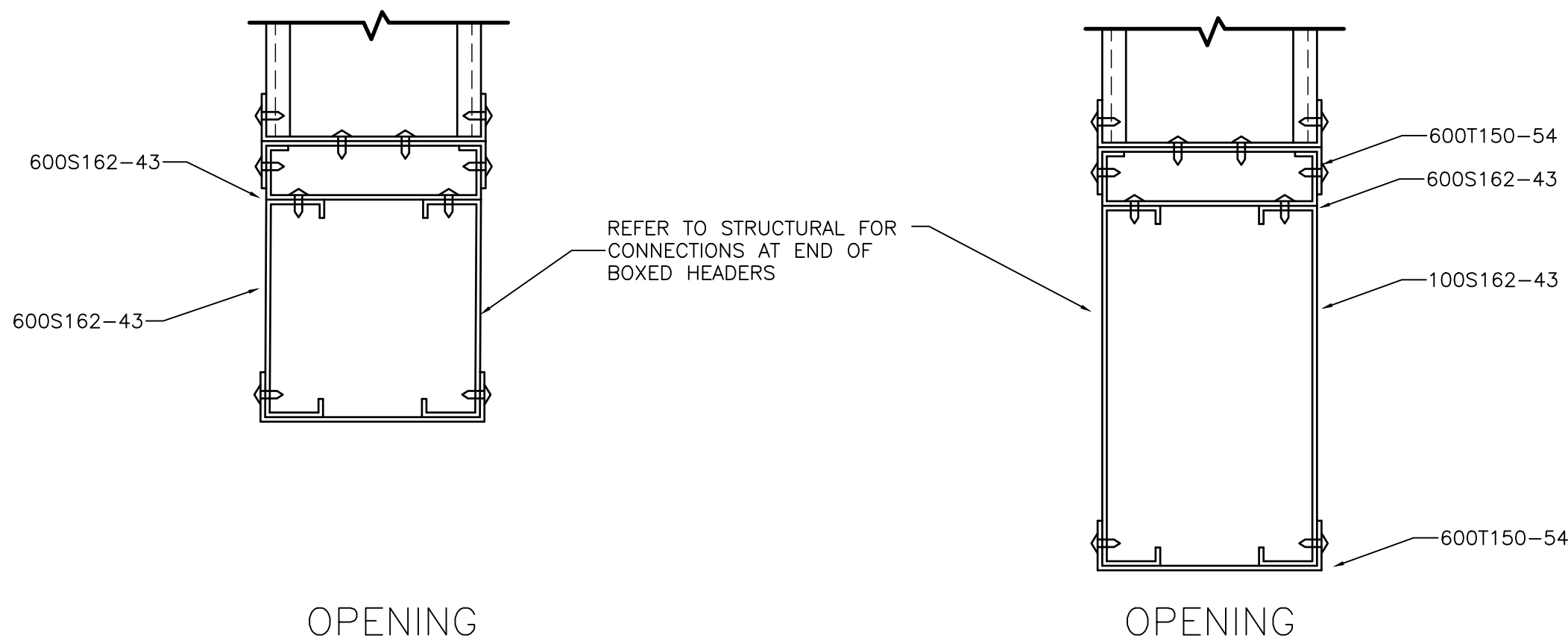
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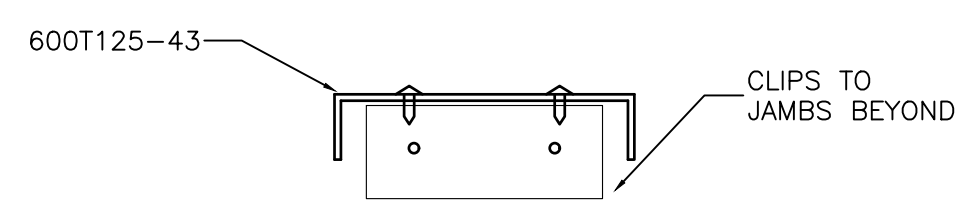
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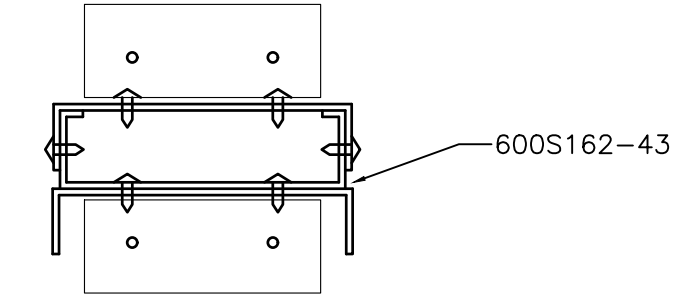


OPENING

OPENING



SILL FOR 6'-0" OPENING

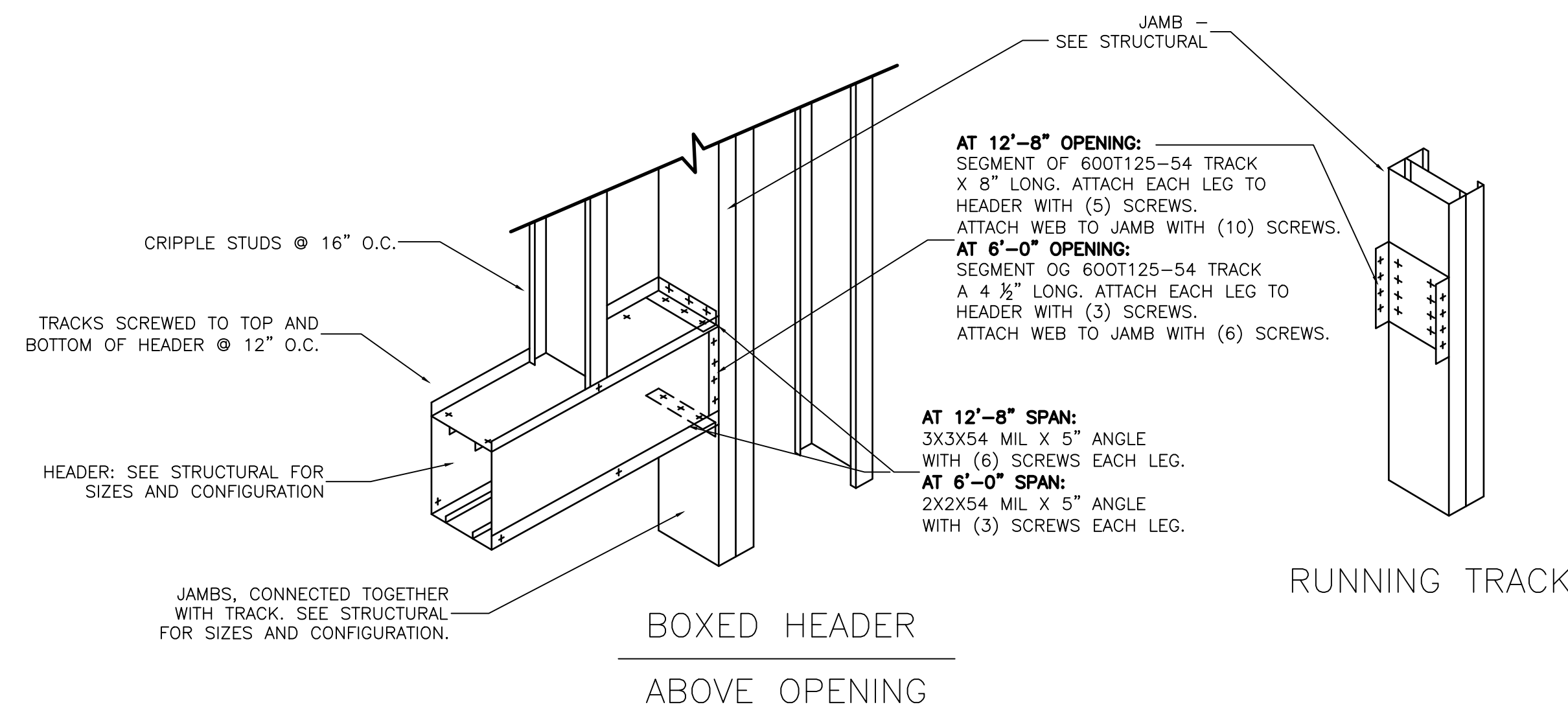


SILL FOR 12'-8" OPENING

2  
A9-6

**SECTION AT HEADER AND SILL**  
N.T.S.

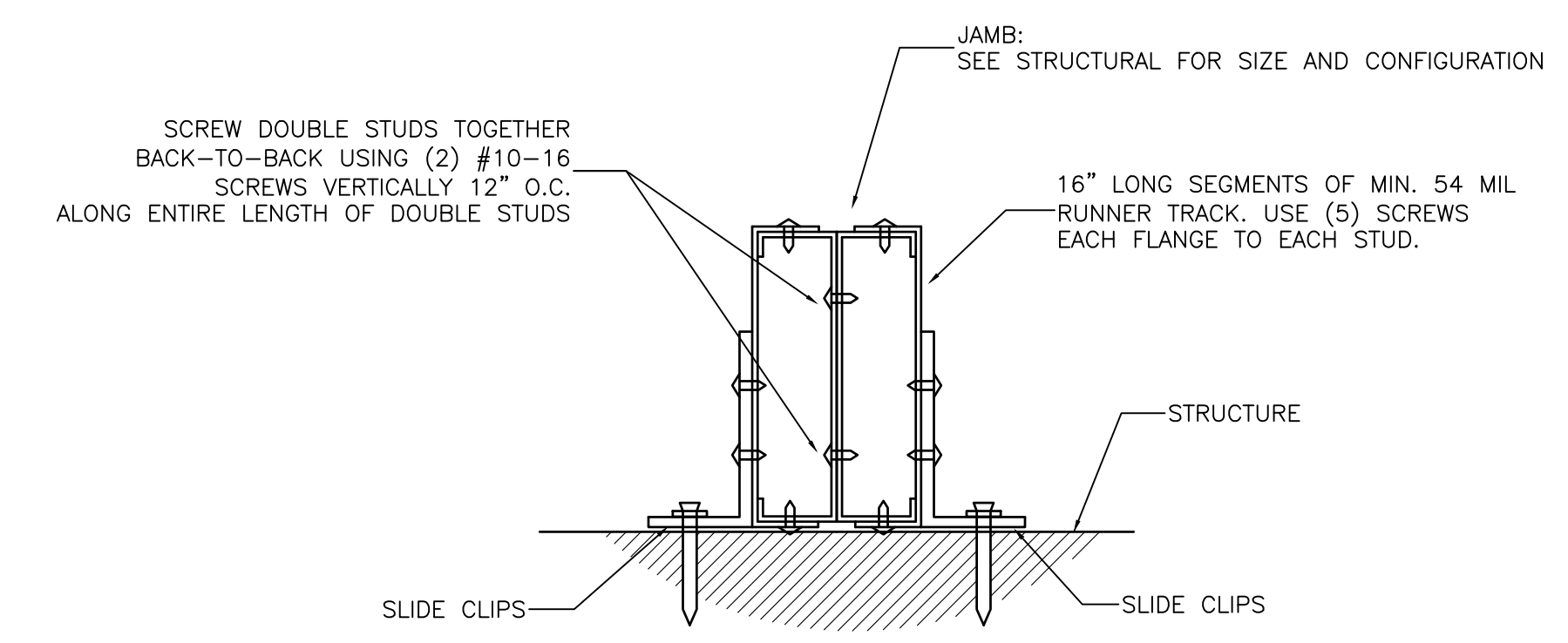
FOR THIS CONFIGURATION, STUD MEMBER USED AS HEAD OR SILL MUST BE CONTINUOUS. ANY TRACK SPLICES MUST BE AWAY FROM MIDDLE 1/3 OF HEAD / SILL SPAN.



BOXED HEADER ABOVE OPENING

3  
A9-6

**BOXED HEADER DETAIL**  
N.T.S.



1  
A9-6

**PLAN DETAIL: MULTIPLE STUD BYPASS**  
N.T.S.

**SECTION 6 COLD FORMED METAL FRAMING**

A. SECTIONS AND DETAILS SHOWN ON THE DRAWINGS ARE FOR CONCEPT ONLY. ACTUAL MEMBER SIZE, SPACING, GAUGE AND CONNECTION DETAILS SHALL BE DESIGNED BY METAL STUD ENGINEER. METAL STUDS SHALL BE DESIGNED PER "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STRUCTURAL STEEL MEMBERS" FOR ALL APPLICABLE LOADS. APPLICABLE WIND LOADS SHALL BE DETERMINED BY THE 2000 INTERNATIONAL BUILDING CODE.

METAL STUDS SUPPORTING BRICK VENEER OR SPLITFACE BLOCK SHALL BE DESIGNED TO LIMIT DEFLECTION TO L/500.

B. DESIGN OF LIGHT GAUGE METAL FRAMING SHALL BE PERFORMED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE IN WHICH THE PROJECT WILL BE CONSTRUCTED. DESIGN CALCULATIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION. DESIGN CALCULATIONS SHALL BE SIGNED AND SEALED BY THE DESIGN ENGINEER.

C. LIGHT GAUGE METAL FRAMING SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION SHOWING WALL SECTIONS COORDINATED WITH DRAWINGS SHOWING FRAMING, ACCESSORIES, ANCHORAGE AND CONNECTION DETAILS.

D. MATERIAL SPECIFICATIONS FOR LIGHT GAUGE STEEL:  
16 GA. OR HEAVIER: ASTM A-446, Fy = 50 KSI MINIMUM.  
18 GA. OR LIGHTER: ASTM A-446, Fy = 33 KSI MINIMUM.

E. GALVANIZING: MINIMUM G-60 COATING.

F. CONNECTION MATERIAL GAUGE  
MATCH STUD GAUGE U.N.O. CLIP ANGLES SHALL BE 14 GA. MINIMUM.

**BUILT-UP MEMBERS**  
FASTEN TOGETHER WITH 1" LONG STITCH WELDS OR #12 SCREWS AT 12" O.C. MAXIMUM, EACH FLANGE AND EACH END TRACK.

H. PROVIDE BRIDGING AT 4'-0" MAXIMUM VERTICAL SPACING IN WALLS.

I. STUDS SHALL BE INSTALLED TO SEAT SQUARELY (WITHIN 1/16") AGAINST THE WEB PORTION OF THE TOP AND BOTTOM TRACKS. TRACKS SHALL REST ON A CONTINUOUS, UNIFORM BEARING SURFACE.

J. TEMPORARY BRACING SHALL BE PROVIDED AND LEFT IN PLACE UNTIL WORK IS PERMANENTLY STABILIZED.

K. SPLICING OF MEMBERS SPANNING BETWEEN SUPPORTS SHALL NOT BE PERMITTED.

L. VERTICAL ALIGNMENT (PLUMBNESS) OF WALLS SHALL BE WITHIN 1/960TH (1/8" IN 10'-0") OF THE SPAN.

M. HORIZONTAL ALIGNMENT (LEVELNESS) OF WALLS SHALL BE WITHIN 1/960TH (1/8" IN 10'-0") OF THEIR RESPECTIVE LENGTHS.

N. SPACING OF STUDS SHALL NOT BE MORE THAN +1/8" FROM THE DESIGNED SPACING PROVIDING THAT THE CUMULATIVE ERROR DOES NOT EXCEED THE REQUIREMENTS OF THE FINISHED MATERIALS.

O. PROVIDE DEEP TRACK ASSEMBLY AT TOPS OF ALL NON-LOAD BEARING STUD WALLS TO ALLOW FOR MOVEMENT OF STRUCTURE. ARCHITECT SHALL REVIEW IN PLACE METAL STUD CONSTRUCTION PRIOR TO THE INSTALLATION OF GYPSUM BOARD OR SHEATHING.



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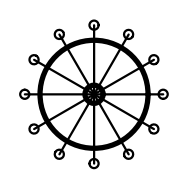
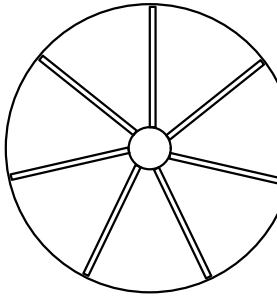



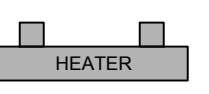


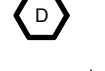
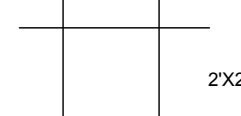
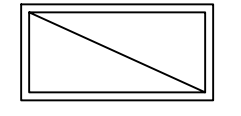
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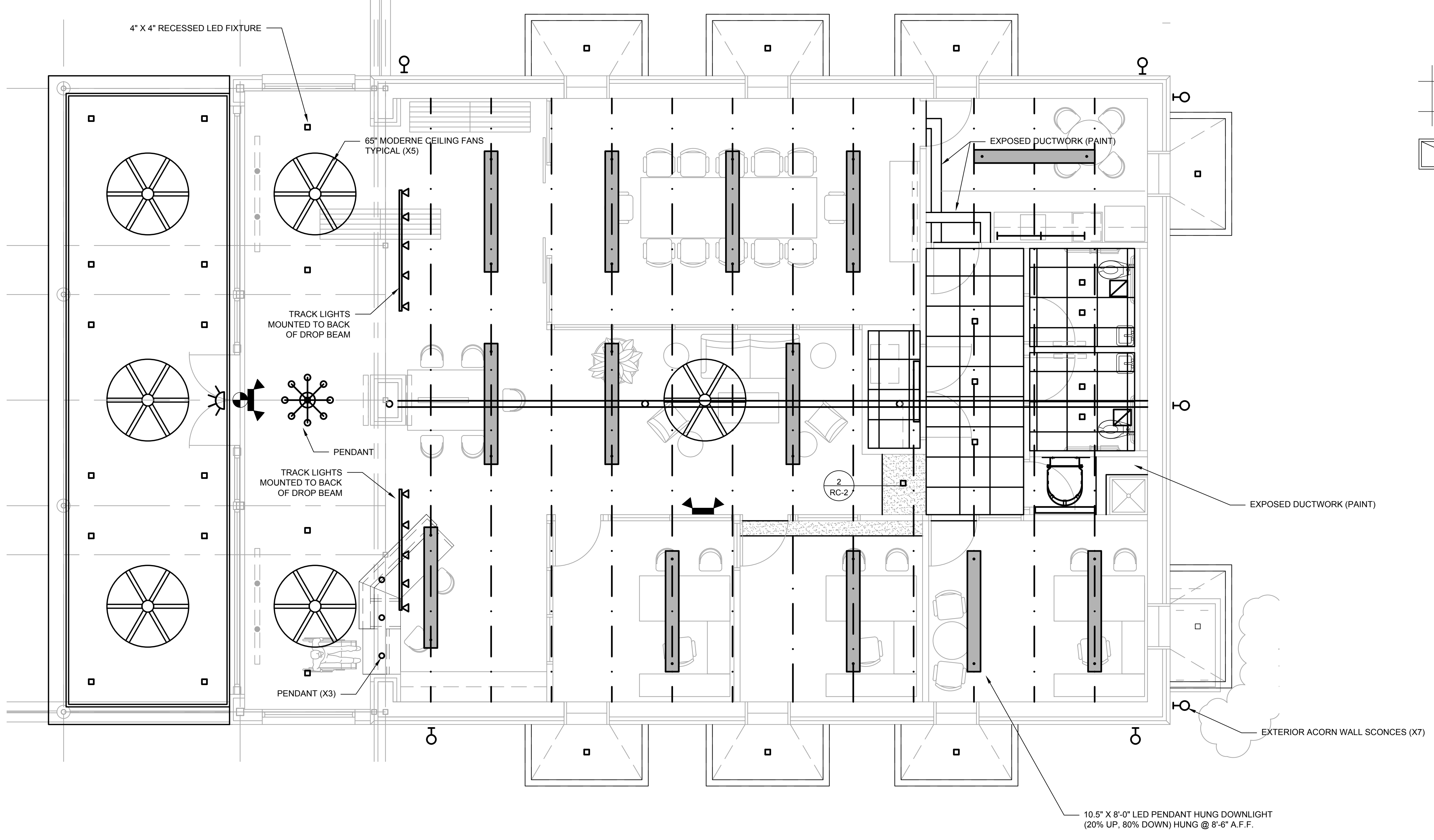
TITLE:  
**DETAILS**

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**KEYNOTES**  
 ① 1X4 1/4" GROOVE WOOD DECKING ON 2X4 BLOCKING @ 16" O.C. (BACKPAINT AND PAINT)

**LEGEND**

-  CHANDELIER ON DIMMER SWITCH
-  96" - 8 BLADE CEILING FAN WITH LED LIGHTS DESIGN BASED ON STELLAR CUSTOM 96 FA-MAD7998BLW
-  RECESSED LED CAN LIGHTS ON DIMMER SWITCH
-  SIDE-WALL THROW SPRINKLER HEAD
-  FULLY RECESSED SPRINKLER HEAD COLOR TO BE DETERMINED
-  INFRARED ELECTRIC HEATER MOUNTED ON ANGLE TO SIDEWALL
-  FULLY RECESSED WALL SPEAKER TIE INTO AV SYSTEM FOR ROOF
-  AUDIO VISUAL FIRE ALARM STROBE
-  CEILING MOUNTED SMOKE DETECTOR
-  2X2 SANITARY LAY-IN CEILING AND GRID (TYPE2)
-  2X4 LAY-IN L.E.D. FIXTURE



**1** REFLECTED CEILING PLAN  
 RC-1 Scale: 1/4" = 1'-0"



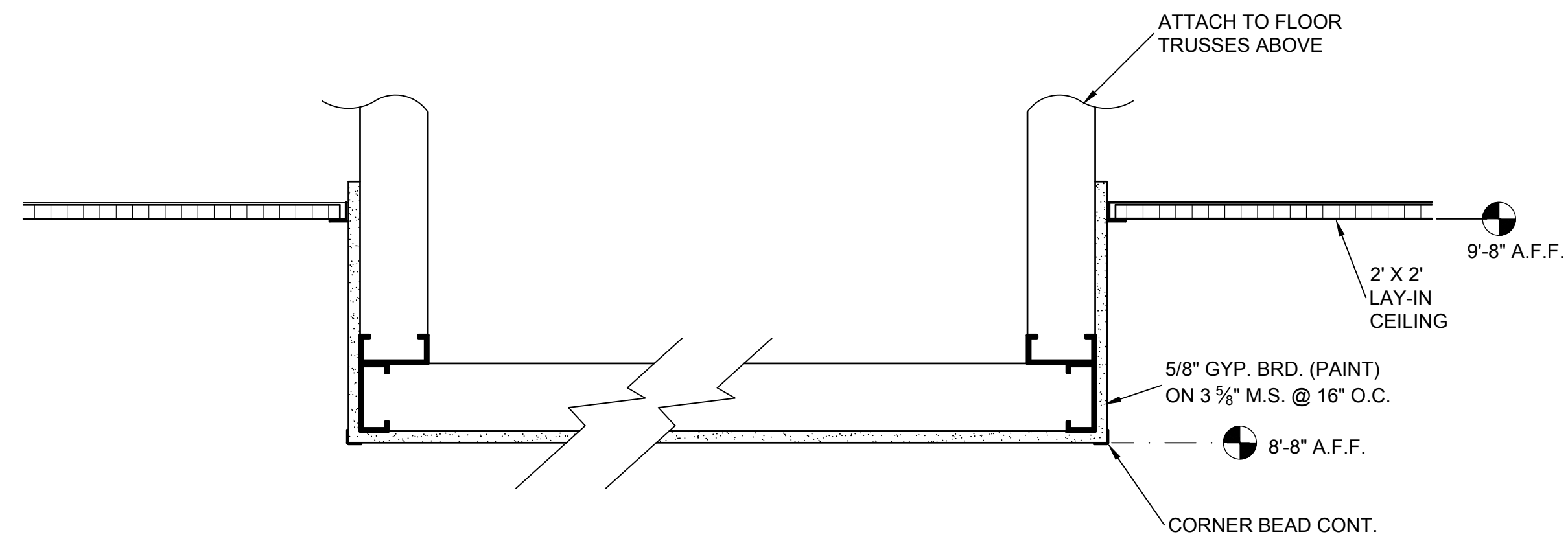
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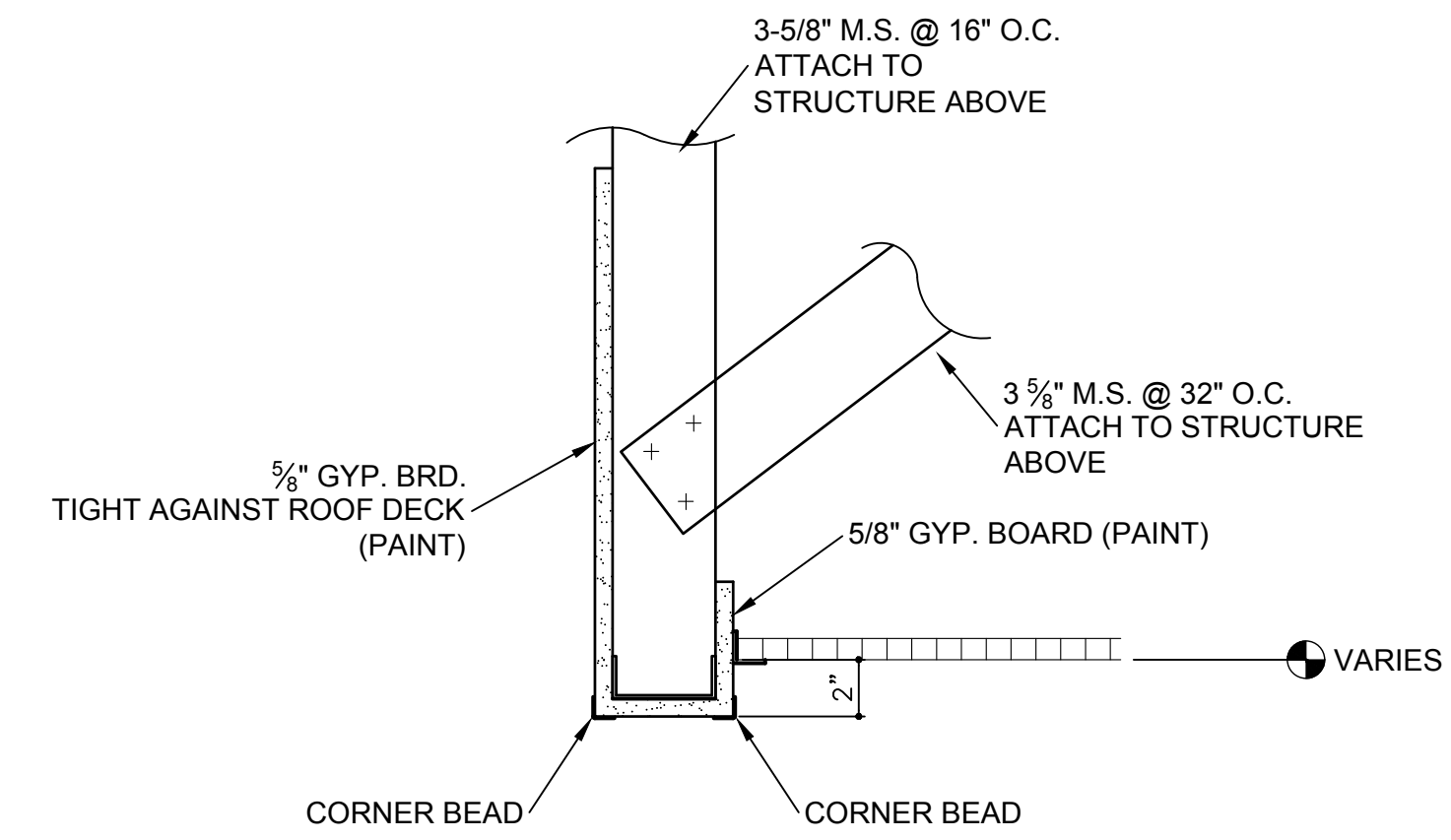
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**REFLECTED CEILING PLAN**

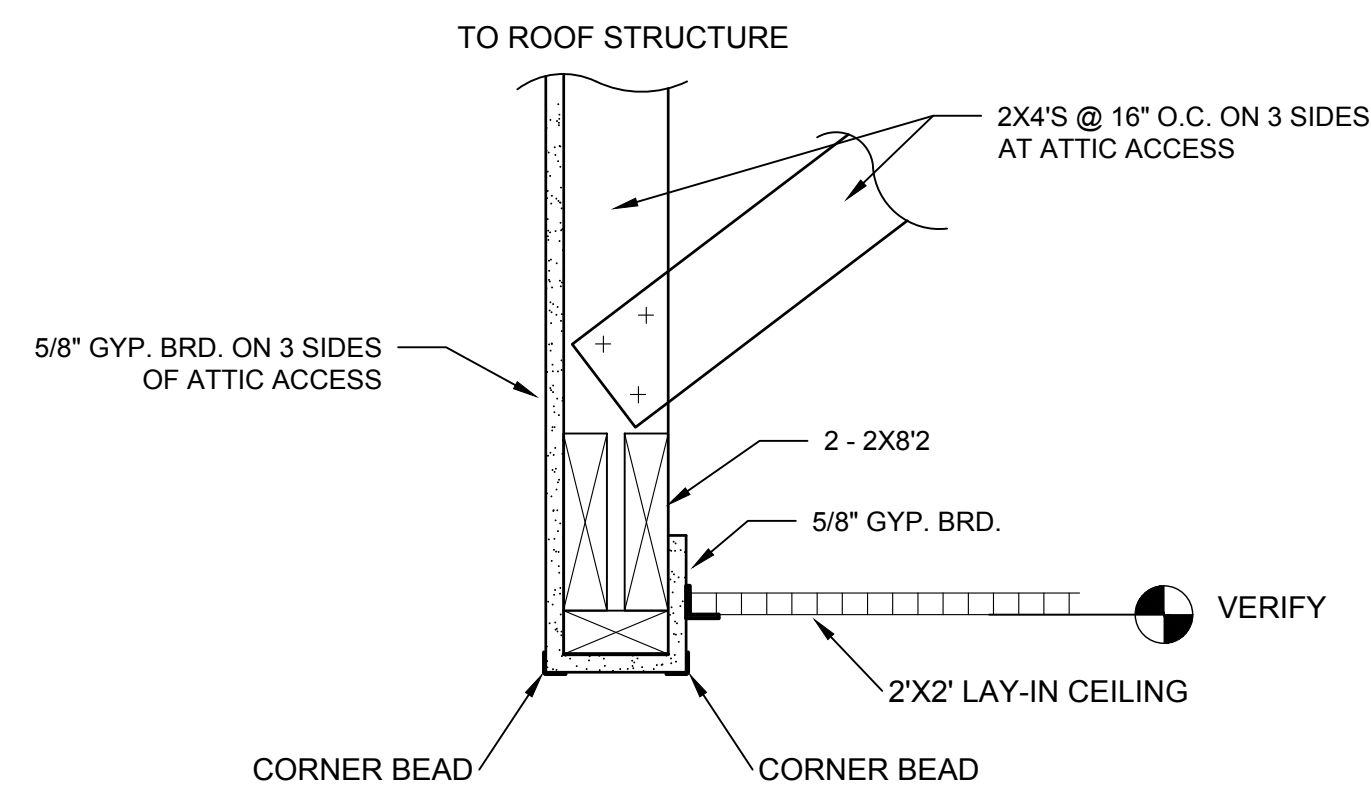
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ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>RC-1</b>



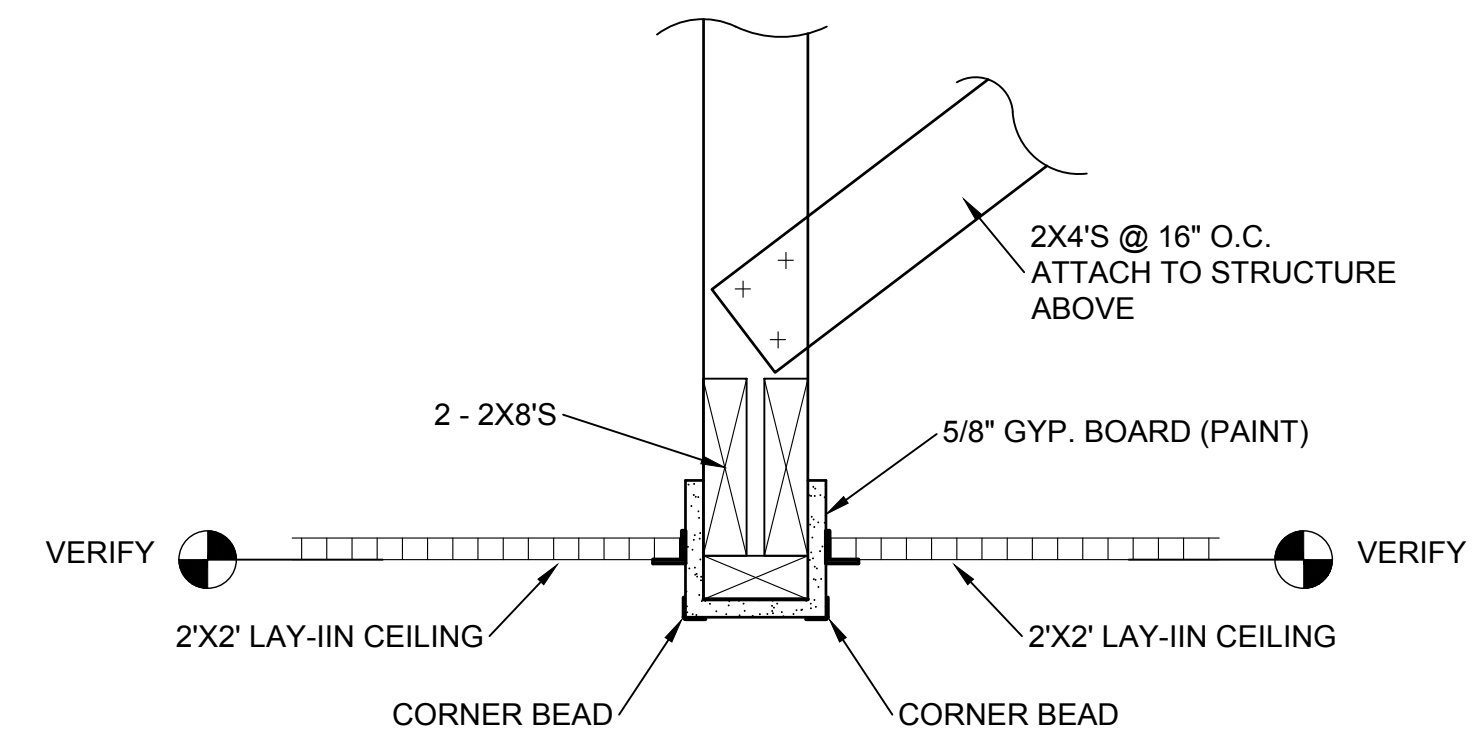
**1 CEILING DROP DETAIL**  
SCALE: NONE



**2 CEILING DROP DETAIL**  
SCALE: NONE



**3 CEILING AT ATTIC RECESS**  
NOT TO SCALE



**4 TYPICAL CEILING TRANSITION**  
NOT TO SCALE



*Green M. Smith*

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**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
**CEILING DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>RC-2</b>





GAS PACKAGED AIR CONDITIONING UNITS														
SYMBOL	SUPPLY CFM	O.A. CFM MIN/MAX	E.S.P. IN W.G.	FAN HP	COOLING DATA				HEATING DATA			MODEL NUMBER	NOTES	
					TOTAL MBH	SENSIBLE MBH	EAT °F		SEER	INPUT BTU/H	OUTPUT BTU/H			AFUE
							DB	WB						
RTU-1	1500	140	0.60	1.00	47.1	34.0	80	67	16.0	90,000	74,000	81%	CARRIER 48VG-B48090	(1)(2)
RTU-2	700	130	0.40	1/2	22.6	16.5	80	67	15.0	40,000	33,000	81%	CARRIER 48VG-B24040	(1)(2)
RTU-3	1100	200	0.50	3/4	34.8	25.1	80	67	16.0	60,000	49,000	81%	CARRIER 48VG-B36060	(1)(2)

- ① PROVIDE UNIT WITH TWO-POSITION MOTORIZED OUTSIDE AIR DAMPER.  
 ② PROVIDE UNIT WITH WALL MOUNTED PROGRAMMABLE THERMOSTAT.

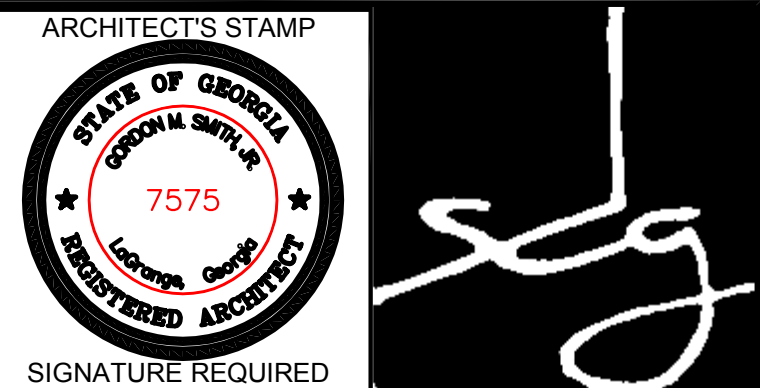
FANS											
MARK	SERVICE	TYPE	CFM	ESP IN W.C.	MAX. RPM	MAX. H.P.	DRIVE	MAX. SONES	CONTROLLED BY	MODEL	ACCESSORIES
F-1	TOILET EXH	IN-LINE	200	0.25	1400	1/10	DIRECT	2.0	TIME CLOCK	COOK GN-522	①

- ① PROVIDE FAN WITH INLET & OUTLET DUCT FLANGES, DISCONNECT, GRAVITY SHUTTER AND SPEED CONTROL SWITCH FOR BALANCING.

ELECTRIC HEAT									
MARK	SERVICE	TYPE	CFM	Δ P IN	BLOWER HP	KW	STEPS	MODEL	REMARKS
EH-1	RECEPTIONIST	TOESPACE HEATER	170	-	1/10	1.5/75	2	MARKEL TSH20J	

AIR DISTRIBUTION DEVICES						
MARK	TYPE	NECK SIZE	OBD	FINISH	MODEL	REMARKS
A	LINEAR BAR TYPE SUPPLY REGISTER	32"4"x4"	YES	OFF-WHITE	PRICE 388X4-LBP27B-1000-DV-VCS3-C	
B	LAY-IN CEILING DIFFUSER	6"φ	YES	OFF-WHITE	PRICE SPD-31, 12X12 LAY-IN, VCR7 DAMPER	
C	LAY-IN CEILING DIFFUSER	6"φ	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER	
D	SIDEWALL SUPPLY REGISTER	12X4	YES	OFF-WHITE	PRICE 520D-F-S-A	
E	SIDEWALL SUPPLY REGISTER	16X4	YES	OFF-WHITE	PRICE 520D-F-S-A	
F	SIDEWALL SUPPLY REGISTER	24X6	YES	OFF-WHITE	PRICE 520D-F-S-A	
G	LAY-IN RETURN AIR GRILLE	16"φ	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	
H	SIDEWALL RETURN AIR GRILLE	12X6	NO	OFF-WHITE	PRICE 530-F-L-A	
J	SIDEWALL RETURN AIR GRILLE	16X6	NO	OFF-WHITE	PRICE 530-F-L-A	
K	SIDEWALL RETURN AIR GRILLE	24X14	NO	OFF-WHITE	PRICE 530-F-L-A	
L	LAY-IN EXHAUST REGISTER	6"φ	YES	OFF-WHITE	PRICE 80DAL-TB, 24X24 LAY-IN	
M	SIDEWALL EXHAUST REGISTER	8X4	YES	OFF-WHITE	PRICE 530D-F-L-A	
N	LAY-IN CEILING DIFFUSER	8"φ	NO	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN	

HVAC LEGEND	
	SLOT DIFFUSER
	SUPPLY DIFFUSER
	RETURN OR EXHAUST GRILLE
	DUCT DIMENSION: A - HORIZONTAL B - VERTICAL
	DUCT RISE
	DUCT DROP
	DUCT WITH ACOUSTICAL LINER
	DUCT TURN DOWN
	DUCT TURN UP
	FLEXIBLE DUCT CONNECTION
	FLEXIBLE DUCTWORK
	SPIN-IN FITTING
	FIRE DAMPER
	CONDENSATE DRAIN LINE
	90° ELBOW WITH TURNING VANES
	OPPOSED BLADE DAMPER (PLAN)
	OPPOSED BLADE DAMPER (SECTION)
	FABRIC DUCT/DIFFUSER
	SMOKE DETECTOR
	NIGHT SETBACK THERMOSTAT
	COMBINATION STARTER/DISCONNECT
	THERMOSTAT
	FAN SWITCH
	EQUIPMENT DESIGNATION: X - EQUIPMENT Y - EQUIPMENT NUMBER
	AIR DISTRIBUTION DEVICE: X - LETTER DEVICE CFM - AIR QUANTITY IN FT <sup>3</sup> /MIN.



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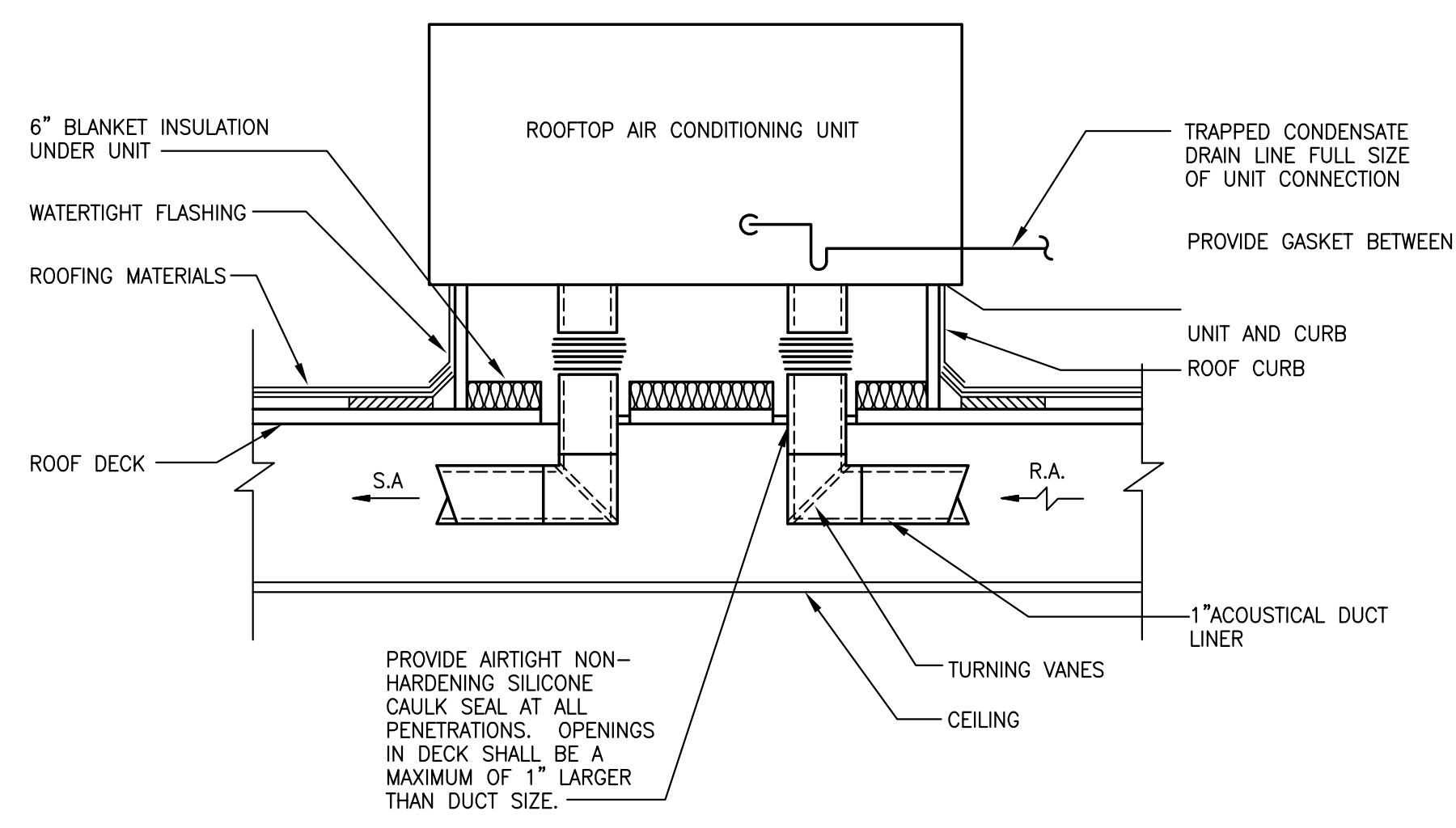


REVISIONS		
Δ	DATE	DESCRIPTION

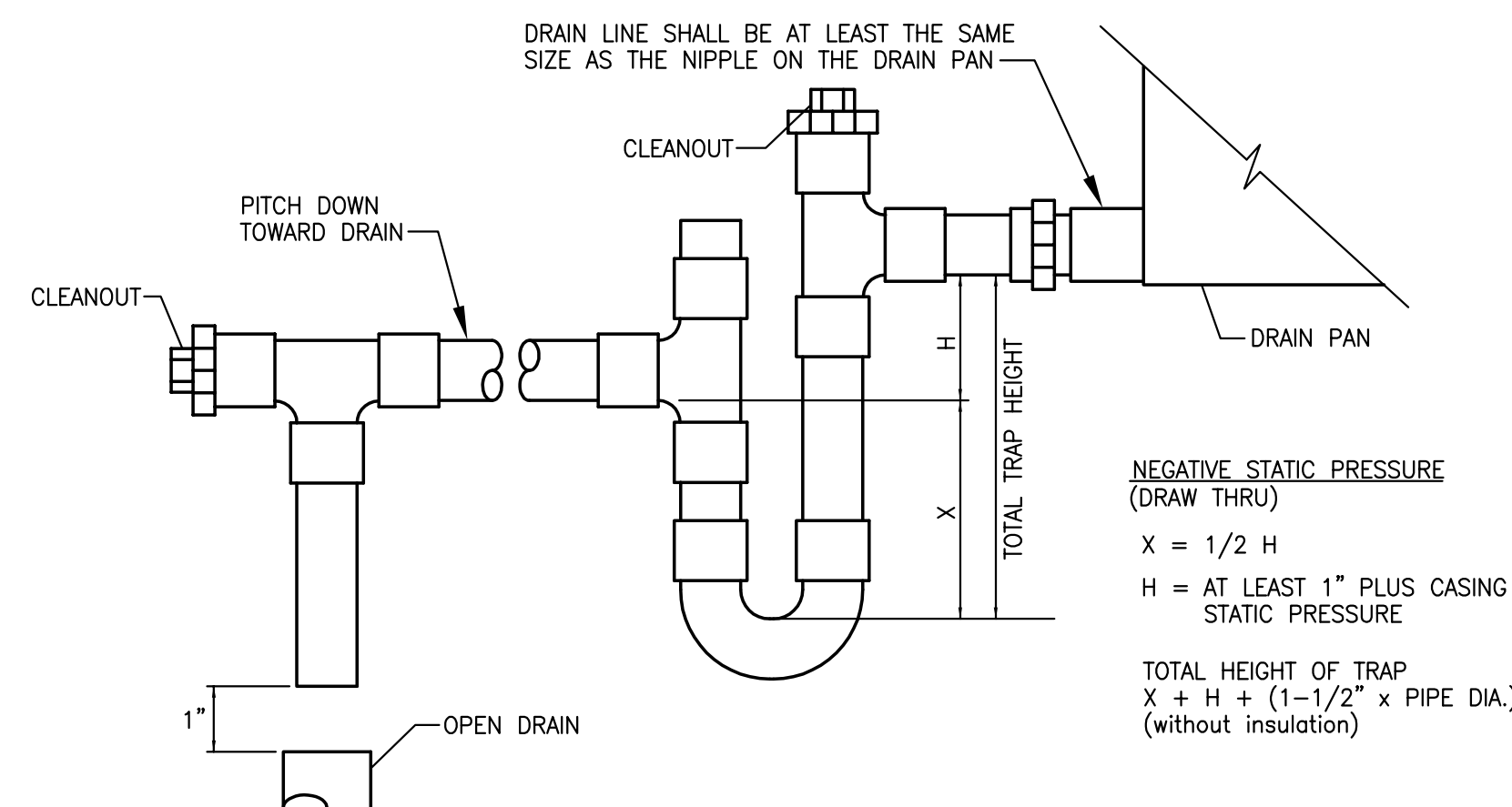
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**HVAC DETAILS AND SCHEDULES**

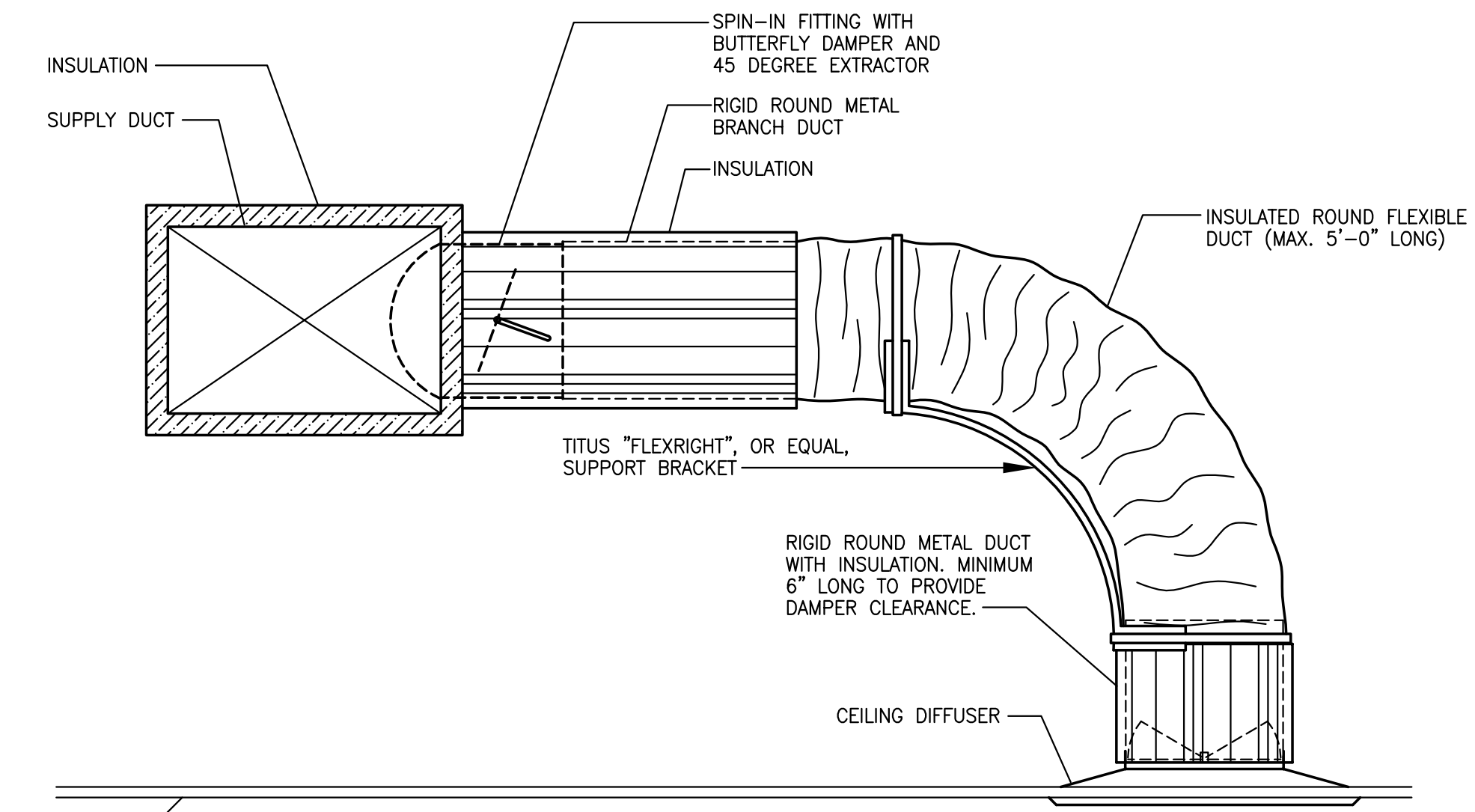
MODIFIED DATE:	JOB NO: 1918
ISSUED DATE: 20 APR 2020	SHEET: M1-2



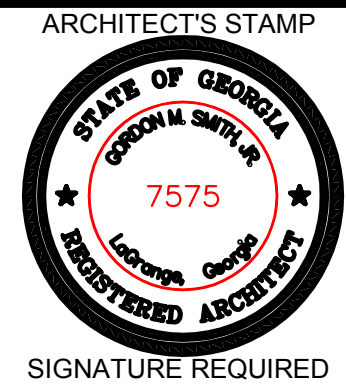
1 ROOFTOP UNIT - TYPICAL  
 M1-2 NOT TO SCALE



2 CONDENSATE DRAIN TRAP DETAIL  
 M1-2 NOT TO SCALE



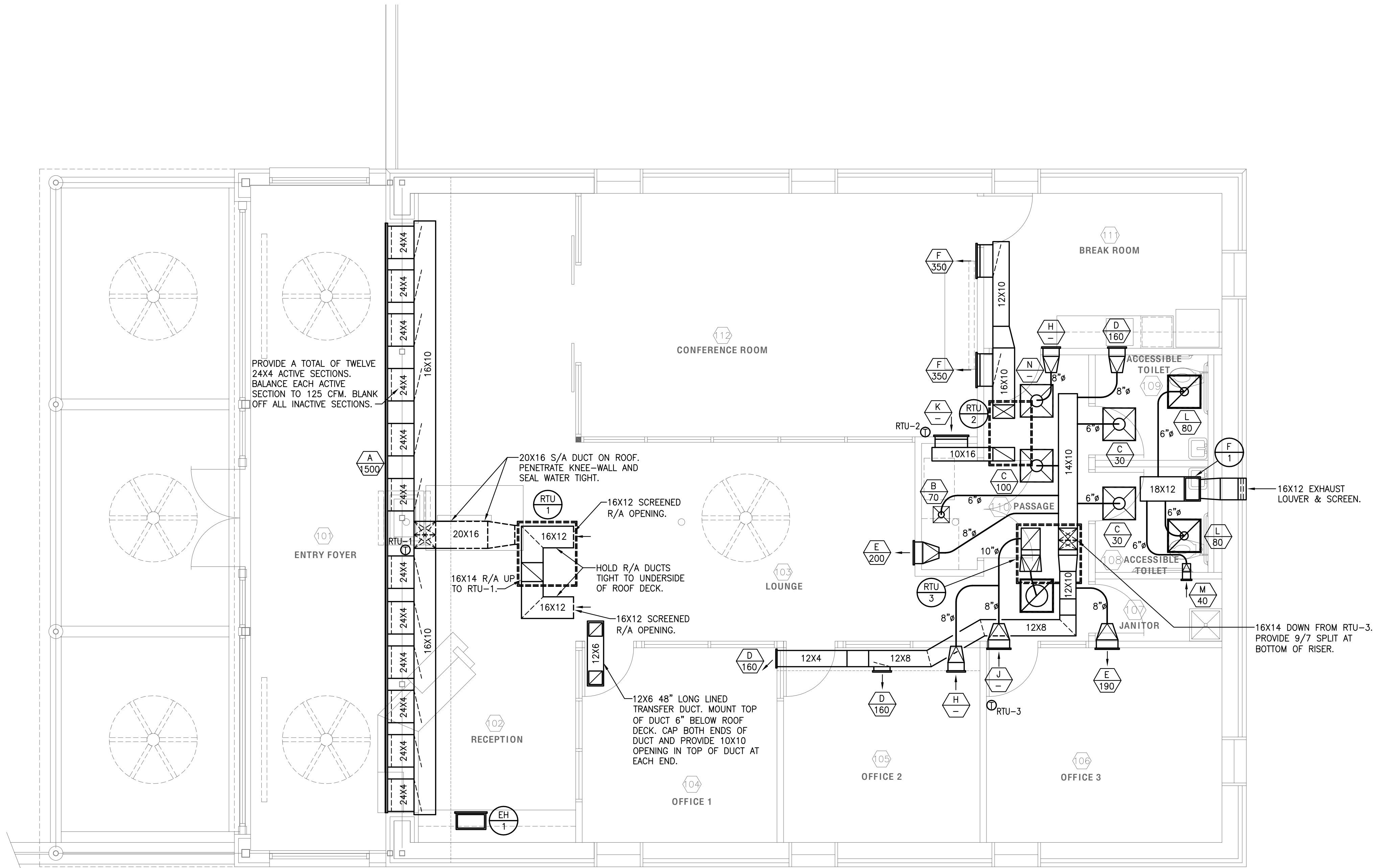
3 CEILING DIFFUSER RUNOUT DETAIL  
 M1-2 NOT TO SCALE



*[Signature]*

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REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER FLOOR PLAN - HVAC**

**1 UPPER FLOOR PLAN - HVAC**  
 M2-1 SCALE: 1/4" = 1'-0"

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 20 APR 2020	SHEET: <b>M2-1</b>

# PLUMBING SPECIFICATIONS

**SCOPE:**  
THE WORK UNDER THIS SECTION SHALL BE TO PROVIDE A COMPLETE PLUMBING SYSTEM. ALL ITEMS OF WORK, OF COST AND EXPENSE OF ANY NATURE WHATSOEVER BELONGING WITH OR NECESSARY TO THE COMPLETION OF WORK CALLED FOR IN THIS SPECIFICATION OR IN THE CONTRACT DOCUMENTS ARE HEREBY SPECIFIED TO BE INCLUDED IN THIS CONTRACT.

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, AS WELL AS ANY LOCAL CODES AND ORDINANCES.

**WARRANTY:**  
EQUIPMENT FURNISHED SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.

**SUBMITTALS:**  
ALL MATERIALS AND EQUIPMENT WHICH THE CONTRACTOR PROPOSES TO FURNISH SHALL BE SUBMITTED FOR REVIEW. DATA SHALL BE COMPLETE IN ALL RESPECTS AND SHALL REFERENCE, WHERE APPLICABLE, TO THE UNIT SYMBOL UTILIZED ON THE DRAWINGS AND SPECIFICATIONS.

**PIPING:**  
ALL SANITARY WASTE AND VENT PIPING SHALL BE SCHEDULE 40 DWV PVC WITH DRAINAGE TYPE FITTINGS.

DOMESTIC WATER PIPING SHALL BE TYPE L COPPER TUBING WITH WROUGHT COPPER SWEAT FITTINGS AND LEAD-FREE SOLDER JOINTS.

NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH BLACK MALLEABLE IRON SCREW FITTINGS. PAINT ALL PIPING EXPOSED ON THE EXTERIOR OF THE BUILDING WITH MINIMUM TWO COATS OF RUST-INHIBITING PAINT.

**VALVES:**  
VALVES FOR DOMESTIC WATER SYSTEM: GATE VALVES SHALL HAVE BRONZE BODY, RISING STEM, SOLID WEDGE, THREADED BONNET, AND SOLDER ENDS FOR 125# SWP. WHERE GATE 2" AND SMALLER ARE SPECIFIED, QUARTER-TURN FULL PORT BALL VALVES MAY BE SUBSTITUTED.

**CLEANOUTS:**  
PROVIDE CLEANOUTS IN SOIL AND WASTE LINES AS SHOWN, AS REQUIRED BY THE GOVERNING CODE, AT THE BOTTOM OF EACH EXPOSED FIXTURE TRAP WHICH IS NOT INTEGRAL WITH THE FIXTURE, AT THE END OF EACH BRANCH DRAINAGE LINE, AT EACH CHANGE OF HORIZONTAL DIRECTION GREATER THAN 45 DEGREES, AT THE FOOT OF EACH SOIL AND RAINWATER STACK, AND IN HORIZONTAL DRAIN LINES AT INTERVALS OF NOT MORE THAN 75'.

**FLOOR DRAINS:**  
FLOOR DRAINS SHALL BE EQUAL TO JOSAM MODEL 30000-A. EACH FLOOR DRAIN SHALL HAVE A TRAP PRIMER.

**TRAPS:**  
PROVIDE TRAPS FOR ALL FIXTURES AND FLOOR DRAINS, EXCEPT AS NOTED OTHERWISE. SET TRAPS TRUE AND LEVEL. PROVIDE EXPOSED TRAPS WITH BRASS CLEANING SCREWS.

**INSULATION:**  
PIPE INSULATION SHALL BE ONE-PIECE FIBROUS GLASS SECTIONAL PIPE INSULATION WITH FACTORY APPLIED GLASS REINFORCED ALUMINUM FOIL AND WHITE KRAFT PAPER FLAME RETARDANT VAPOR BARRIER JACKET. LONGITUDINAL JACKET LAPS AND BUTT STRIPS SHALL BE SELF-SEALING. INSULATE ALL DOMESTIC WATER PIPING WITH MINIMUM 1" THICK INSULATION.

**PLUMBING FIXTURES:**  
ALL FIXTURES SHALL BE COMMERCIAL GRADE VITREOUS CHINA, ENAMELED CAST IRON, OR STAINLESS STEEL, AS INDICATED. FOR EACH FIXTURE, PROVIDE CHROME PLATED BRASS STOP VALVES ON BOTH COLD AND HOT WATER SUPPLIES, WITH STAINLESS STEEL BRAIDED RUBBER SUPPLY HOSES FROM THE STOP VALVES TO THE FIXTURES. EACH SINK AND LAVATORY SHALL ALSO BE PROVIDED WITH A 17 GAUGE, CHROME-PLATED BRASS P-TRAP, WITH CLEANOUT PLUG. ALL FAUCETS SHALL BE CHROME PLATED BRASS CONSTRUCTION.

**FIXTURES SHALL BE AS FOLLOWS:**  
F1 - WATER CLOSET (ACCESSIBLE): FLOOR MOUNTED, TANK TYPE, ELONGATED WHITE VITREOUS CHINA, 16.5" HIGH RIM, 1.28 GPF PRESSURE ASSISTED FLUSH, OPEN FRONT SEAT, ADA COMPLIANT. AMERICAN STANDARD, KOHLER, ELJER OR CRANE.

F2 - LAVATORY (ACCESSIBLE): WHITE VITREOUS CHINA, WALL HUNG, WITH BACKSPASH, AMERICAN STANDARD, KOHLER, ELJER OR CRANE, ADA COMPLIANT. FAUCET SHALL BE CHROME PLATED BRASS, SINGLE LEVER TYPE, WITH STANDARD SPOUT, 0.5 GPM AERATOR AND GRID DRAIN, AMERICAN STANDARD, CHICAGO, KOHLER OR MOEN, ADA COMPLIANT.

F3 - SINGLE COMPARTMENT SINK (ACCESSIBLE): MINIMUM 18 GAUGE STAINLESS STEEL SINK WITH 16"x13.5"x6.5" DEEP BOWL, SOUND UNDERCOAT, SINGLE LEVER FAUCET WITH SWIVEL SPOUT, DRAIN WITH REMOVABLE CRUMB CUP, ADA COMPLIANT. ELKAY, JUST, MOEN OR EQUAL.

F4 - MOP RECEPTOR: NOMINAL 24X24 MOLDED STONE BASIN, WITH STAINLESS STEEL RIM GUARD, GRID DRAIN AND WALL MOUNTED FAUCET. FAUCET SHALL BE CHROME PLATED BRASS, WITH INTEGRAL STOPS, VACUUM BREAKER, BLADE HANDLES, HOSE THREADS, BUCKET HOOK AND ANGLE WALL BRACE. MOUNT FAUCET AT 3'-0" AFF.

**WATER HEATER:**  
WATER HEATERS SHALL BE ELECTRIC, STORAGE TYPE, ENERGY EFFICIENT, COMPLYING WITH ASHRAE STANDARD 90.1, WITH MANUAL DRAIN VALVE AND ASME P&T RELIEF VALVE. HEATER SHALL BE PIPED AS SHOWN IN DETAIL 1/PO.1. CAPACITIES SHALL BE AS SCHEDULED ON THE DRAWINGS. HEATER SHALL BE A.O. SMITH, AS SCHEDULED, OR EQUAL STATE, OR RHEEM.

PLUMBING FIXTURE SCHEDULE									
MARK	FIXTURE	NOTES	RIM HEIGHT	COLD WATER		HOT WATER		SOIL/WASTE	
				BRANCH	CONN.	BRANCH	CONN.	BRANCH	CONN.
F1	WATER CLOSET (ACCESSIBLE)	1, 2, 3	16.5"	1/2"	1/2"	-	-	4"	4"
F2	LAVATORY (ACCESSIBLE)	1, 4, 6	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/4"
F3	ONE COMPARTMENT SINK (ACCESSIBLE)	1, 5, 7	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/2"
F4	MOP RECEPTOR	3, 8	12"	1/2"	1/2"	1/2"	1/2"	3"	3"

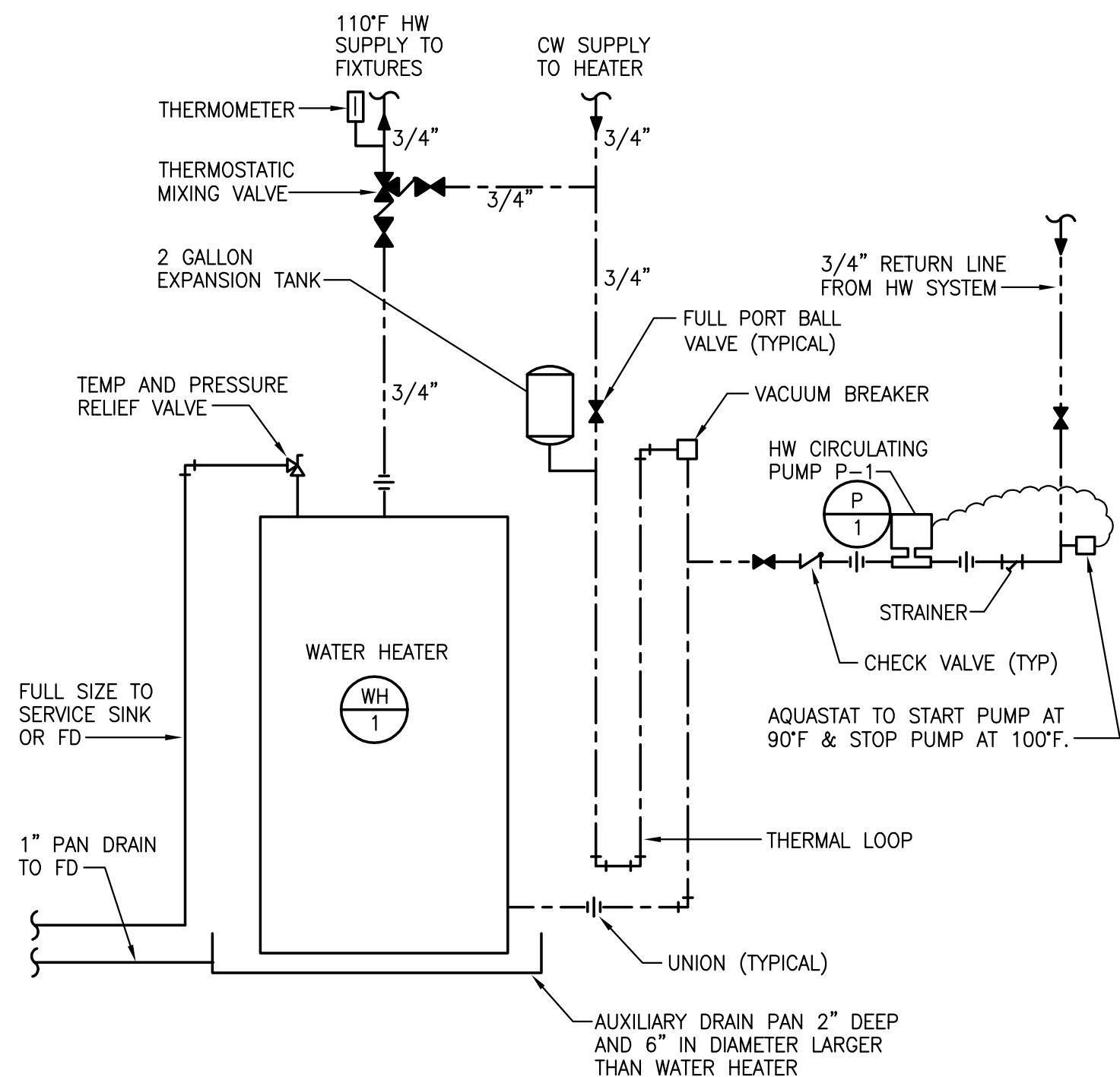
  

①	HANDICAP ACCESSIBLE FIXTURE	⑤	COUNTERTOP FIXTURE
②	1.28 GPF PRESSURE ASSISTED FLUSH	⑥	SINGLE LEVER FAUCET WITH STANDARD SPOUT, 0.5 GPM
③	FLOOR MOUNTED FIXTURE	⑦	SINGLE LEVER FAUCET WITH SWIVEL SPOUT, 2.0 GPM
④	WALL HUNG FIXTURE	⑧	WALL MOUNTED FAUCET

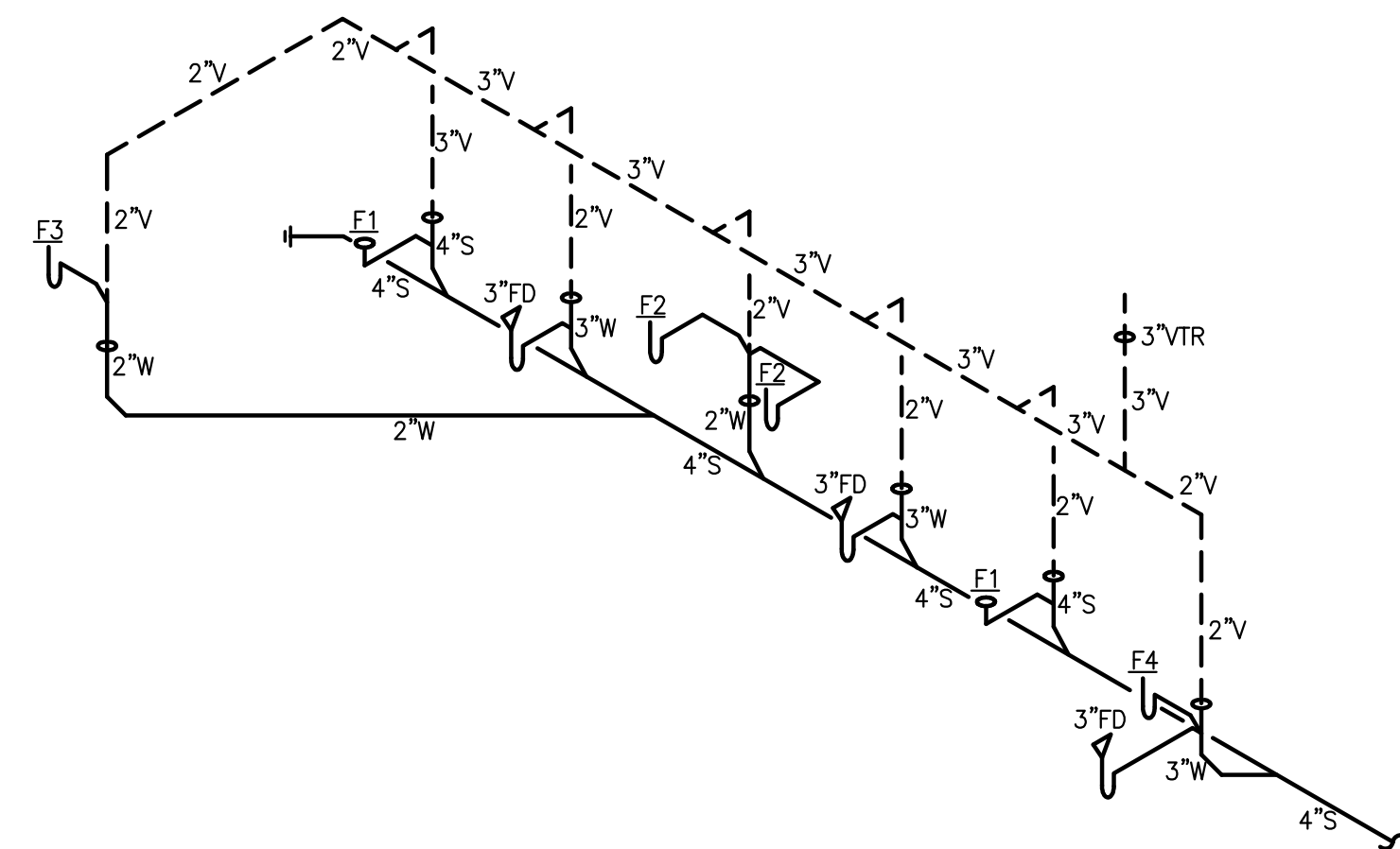
WATER HEATER SCHEDULE								
SYMBOL	HEATER SERVICE	HEATER TYPE	HEAT INPUT	STORAGE CAPACITY	RECOVERY RATE (GPH @ 100°F RISE)	DISCHARGE TEMP (°F)	MANUFACTURER & MODEL	REMARKS
WH-1	DOMESTIC HOT WATER	ELECTRIC STORAGE	3.0 KW	15 GAL	12.3	140	A. O. SMITH DEL-15-3.0	

PUMPS									
SYMBOL	SERVICE	TYPE	GPM	HEAD FT. H <sub>2</sub> O	RPM	MAX. H.P.	ELECTRICAL VOLTS/PH	MODEL	REMARKS
P-1	HOT WATER RECIRC	IN-LINE	5	12	1760	1/8	120/1	GRUNDFOS UP15-42B7	

PLUMBING LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
---	S,W	SOIL OR WASTE PIPE
----	V	VENT PIPE
----	CW	COLD WATER PIPE
----	HW	HOT WATER PIPE
----	HWC	HOT WATER CIRC. PIPE
⊖	FS	FLOOR SINK
⊖	FD	FLOOR DRAIN
⊖	FCO	FLOOR CLEANOUT
⊖	COTG	CLEANOUT TO GRADE
⊖	GV	GATE VALVE
⊖	CKV	CHECK VALVE
⊖	STR	STRAINER
⊖	U	UNION
⊖	-	CONNECT TO EXISTING
⊖	AFF	ABOVE FINISHED FLOOR
⊖	A/C	ABOVE CEILING
⊖	(BF)	BARRIER FREE
⊖	B/F	BELOW FLOOR
⊖	B/G	BELOW GRADE
⊖	F	PLUMBING FIXTURE
⊖	VTR	VENT THRU ROOF



1 **DETAIL - WATER HEATER**  
P1-1 NOT TO SCALE



2 **SANITARY PIPING RISER DIAGRAM**  
P1-1 NOT TO SCALE



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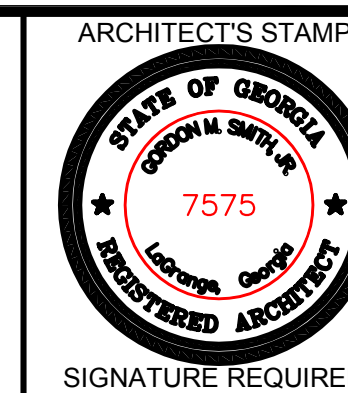


REVISIONS		
Δ	DATE	DESCRIPTION

**PROJECT:**  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

**TITLE:**  
**PLUMBING DETAILS, SCHEDULES AND SPECIFICATIONS**

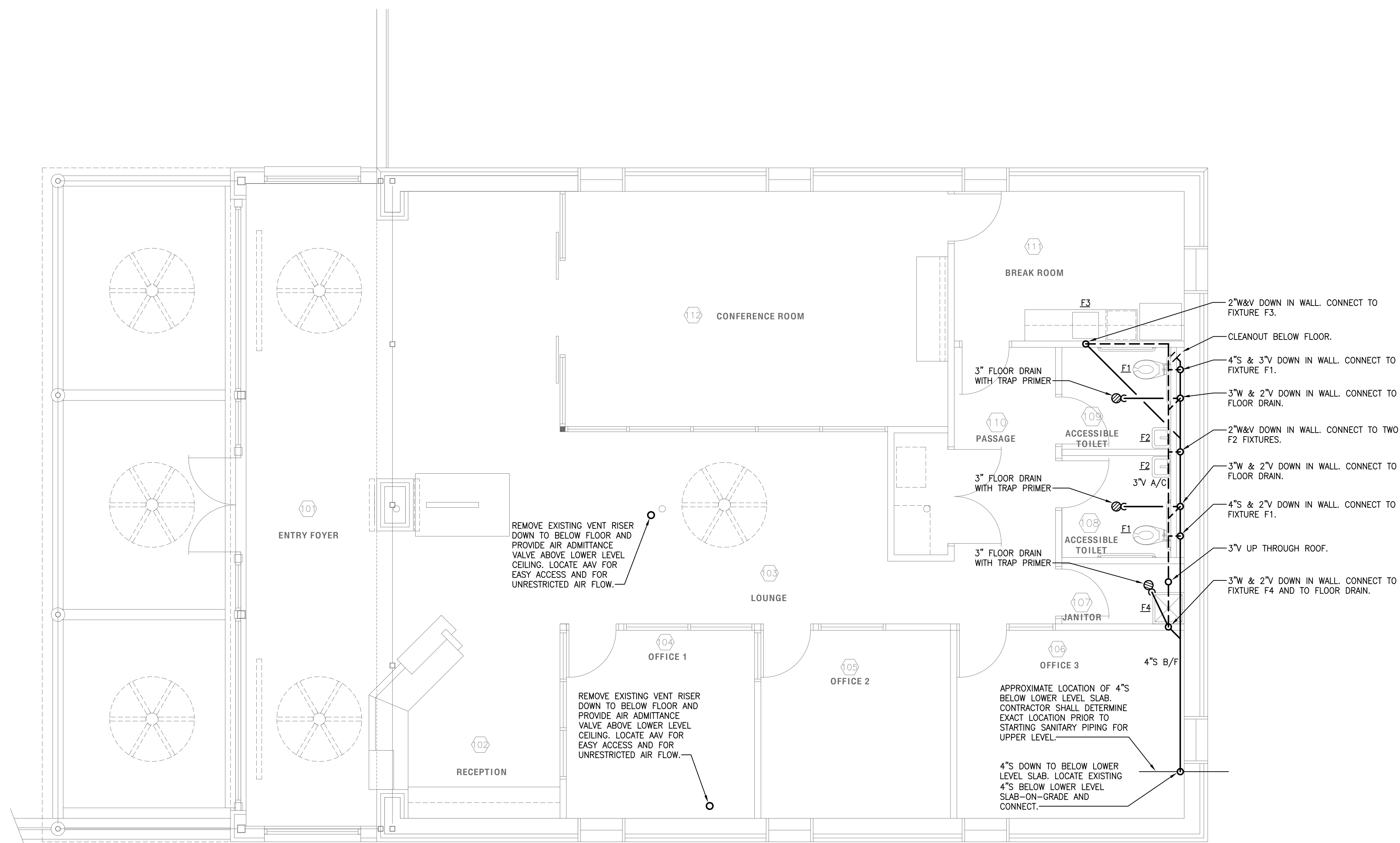
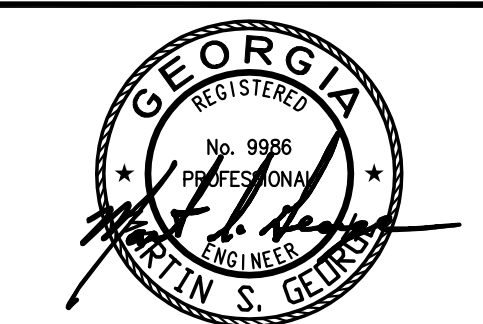
MODIFIED DATE:	JOB NO:
ISSUED DATE:	1918
20 APR 2020	SHEET:
	<b>P1-1</b>



*[Signature]*

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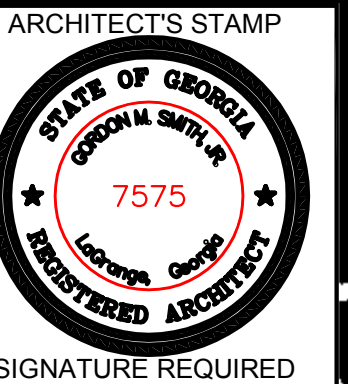
REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER FLOOR PLAN - SANITARY PIPING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 20 APR 2020	SHEET: <b>P2-1</b>

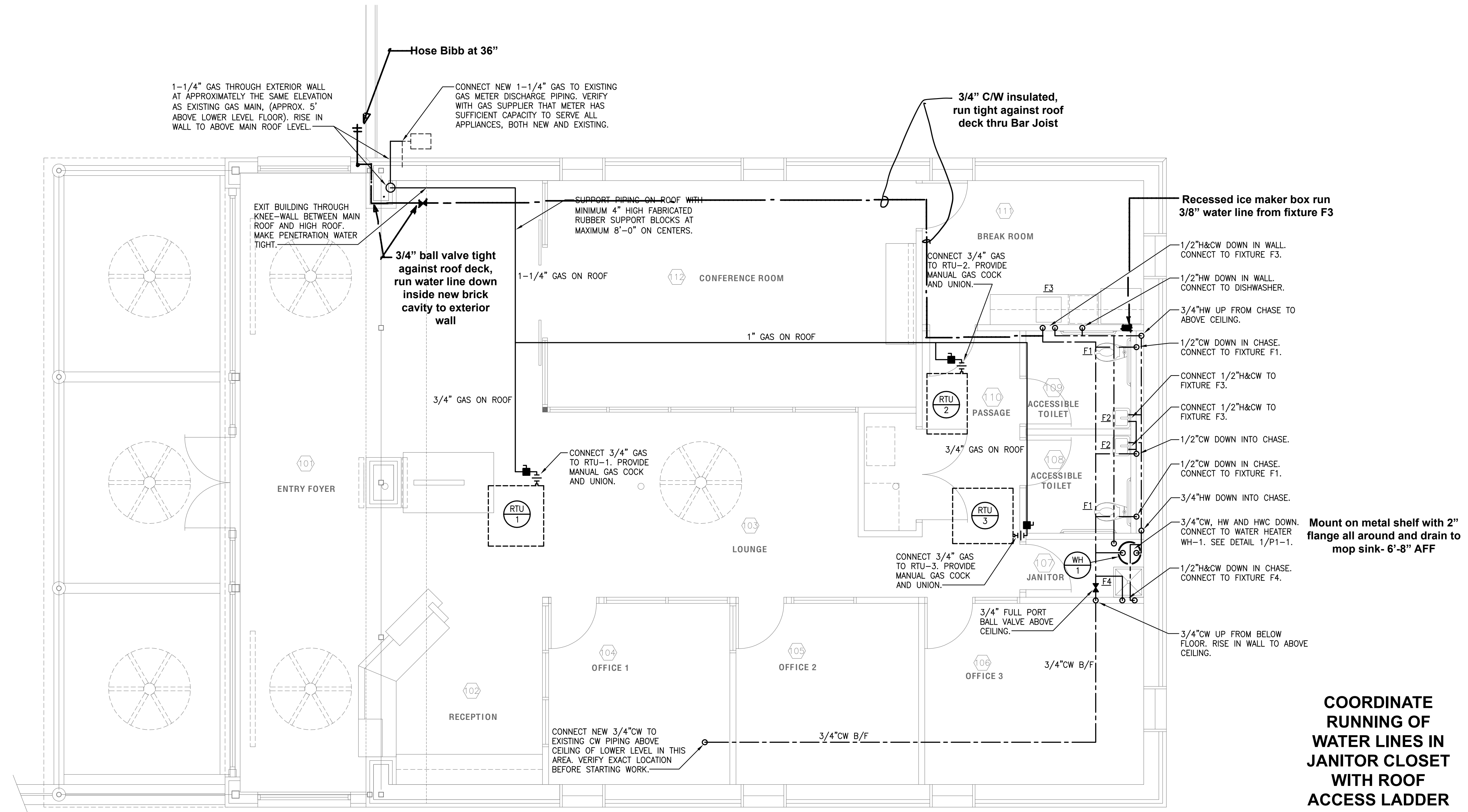
**1 UPPER FLOOR PLAN - SANITARY PIPING**  
 P2-1 SCALE: 1/4" = 1'-0"



*[Signature]*

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**COORDINATE RUNNING OF WATER LINES IN JANITOR CLOSET WITH ROOF ACCESS LADDER AND CAGE.**

**Mount on metal shelf with 2" flange all around and drain to mop sink- 6'-8" AFF**

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER FLOOR PLAN - GAS AND WATER PIPING**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: 20 APR 2020	SHEET: <b>P2-2</b>

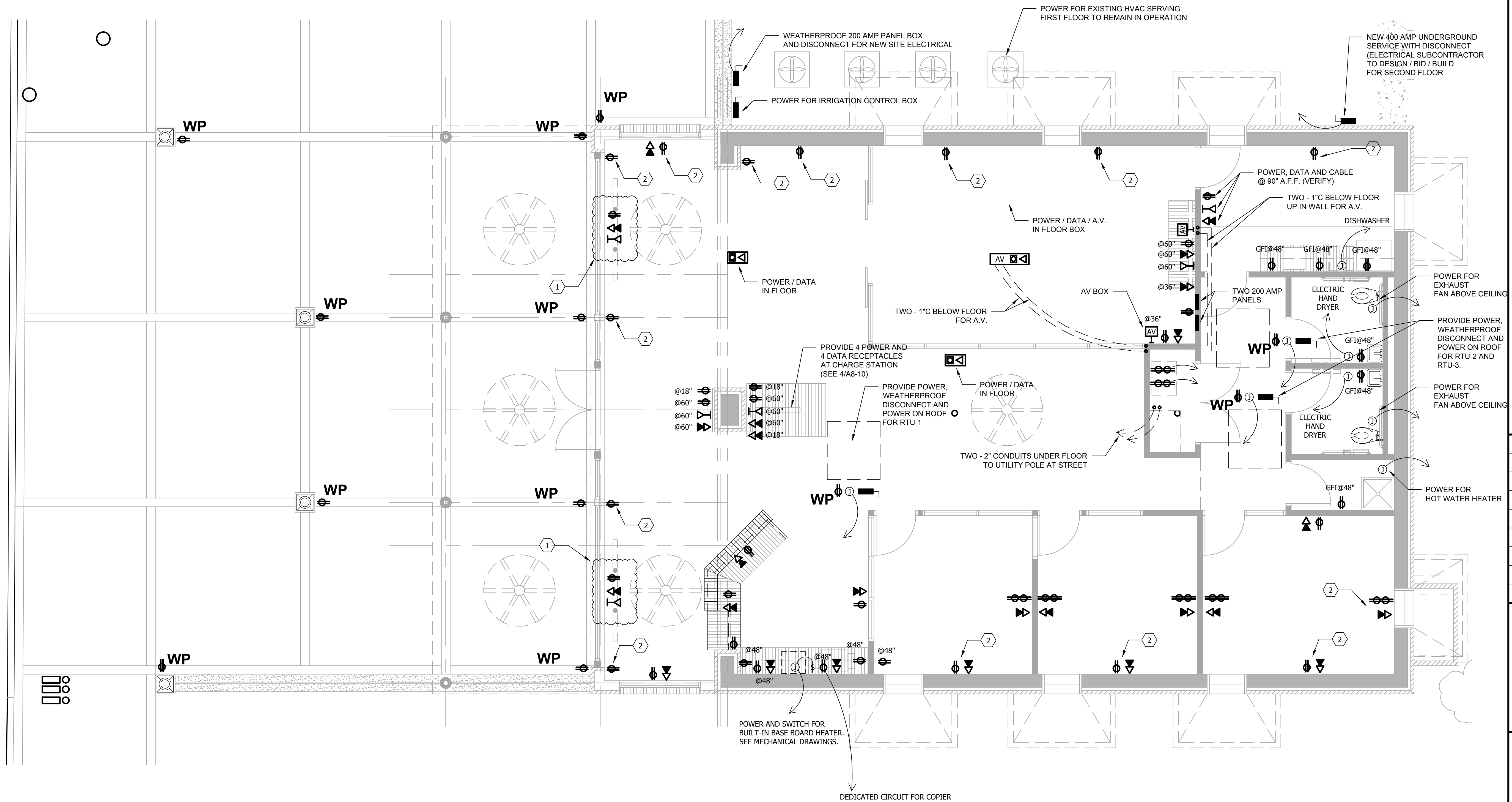
**1 UPPER FLOOR PLAN - WATER & GAS PIPING**  
 P2-2 SCALE: 1/4" = 1'-0"

**NOTE:**  
**ELECTRICAL SUBCONTRACTOR IS TO DESIGN / BID / BUILD**  
**NEW UNDERGROUND SERVICE TO BOTH FLOORS OF**  
**EXISTING BUILDING AND SITE ELECTRICAL. EXISTING FIRST**  
**FLOOR TO REMAIN IN OPERATION DURING CONSTRUCTION.**

- KEYNOTES**
- 1 LOCATE POWER / DATA / CABLE IN CONCEALED IN CEILING ABOVE FOR CEILING HUNG 100" T.V.
  - 2 ELECTRICAL DEVICES INSTALLED ON EXTERIOR WALLS TO BE INSTALLED HORIZONTALLY INSIDE CUSTOM WOOD BASE. SEE DETAIL 1/A8-1.



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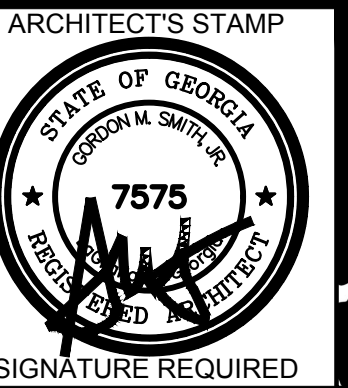
REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER LEVEL ELECTRIC PLAN**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>E-1</b>

1 UPPER LEVEL ELECTRIC PLAN  
 E-1 Scale: 1/4" = 1'-0"



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LEGEND

- OCCUPANCY SENSOR
- TOGGLE SWITCH
- DIMMER SWITCH (SLIDER)

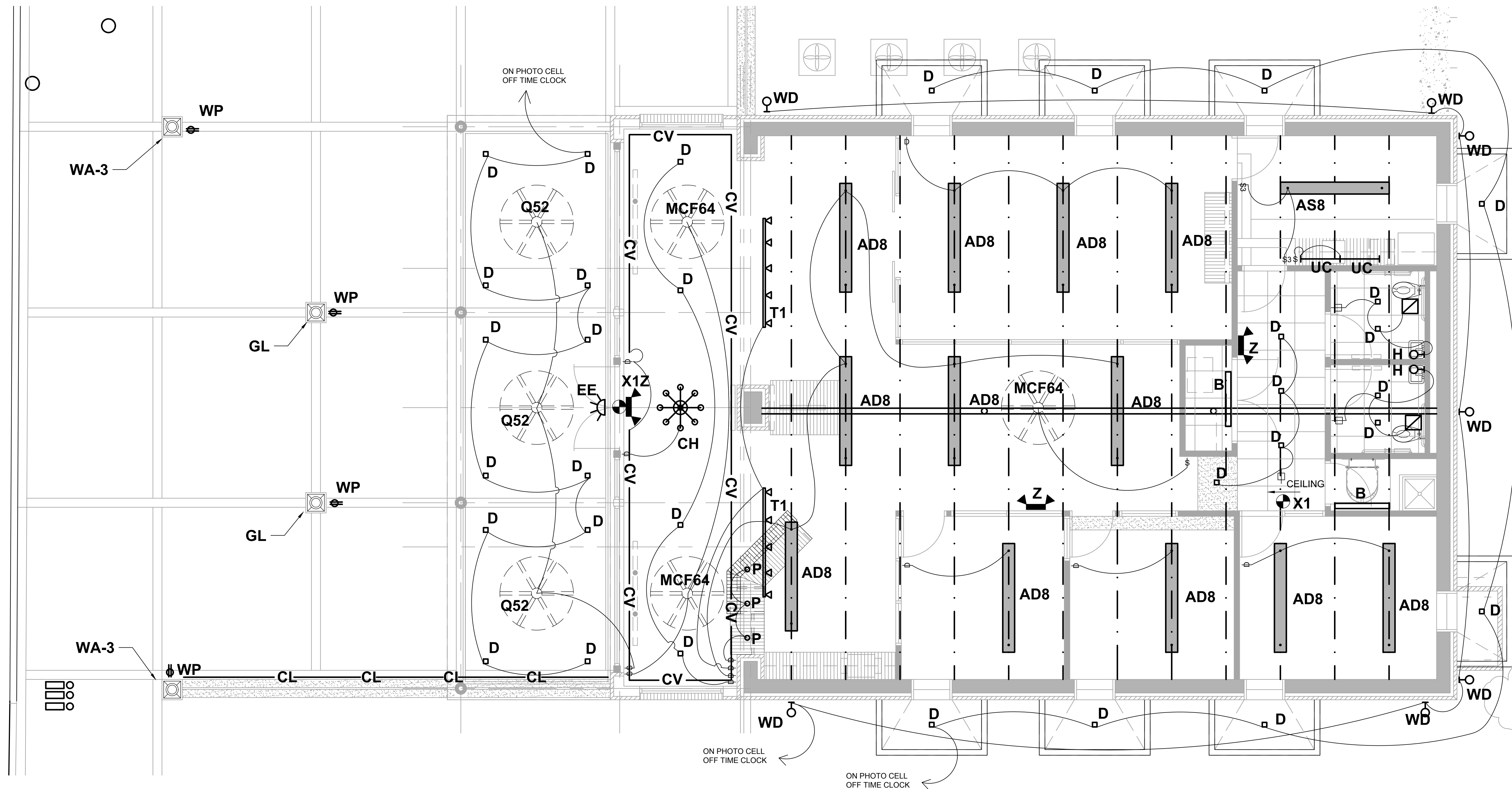
REVISIONS

DATE	DESCRIPTION

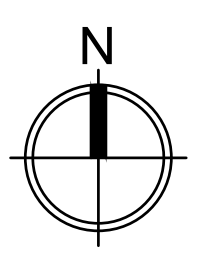
PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**UPPER LEVEL LIGHTING PLAN**

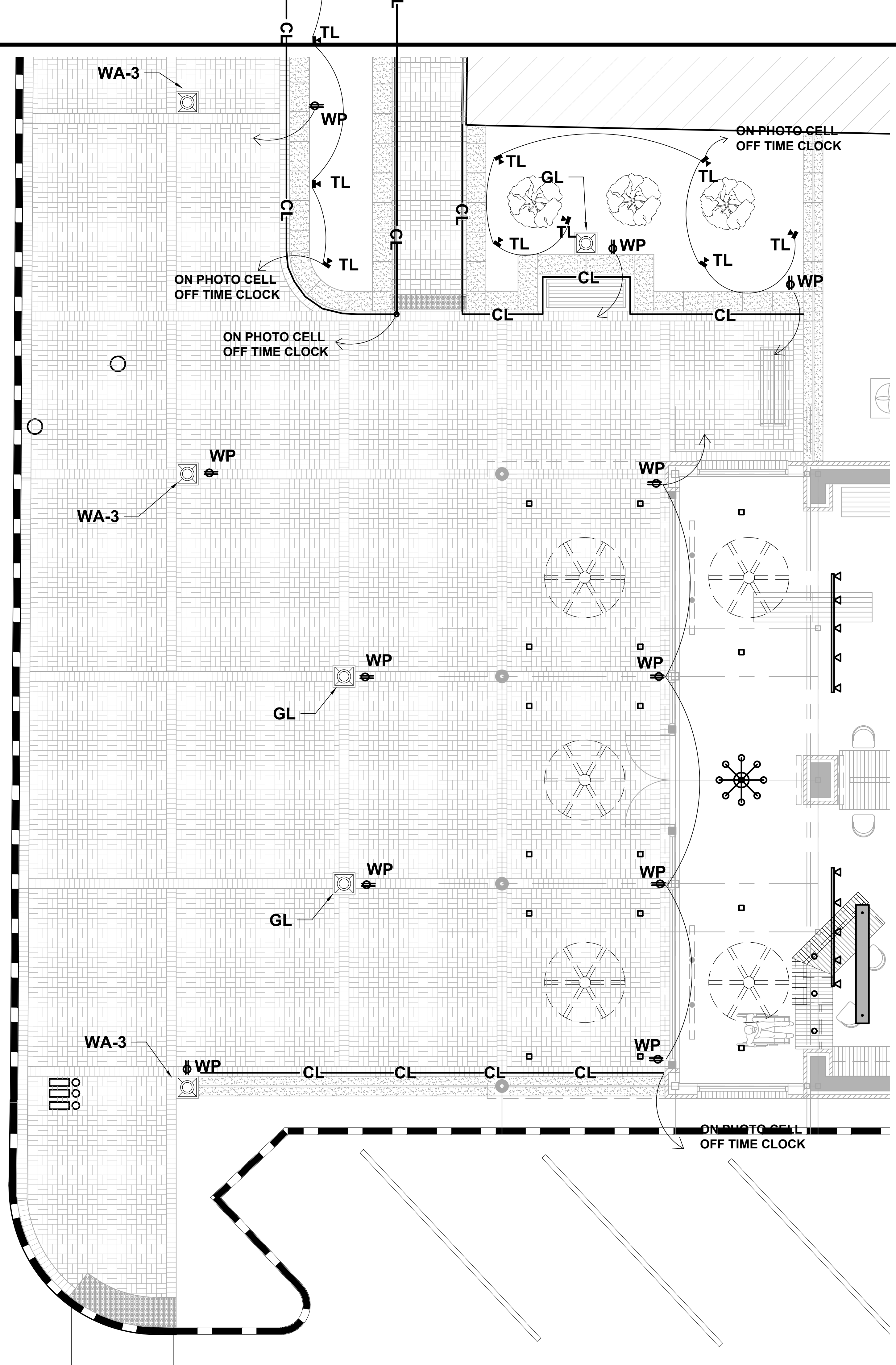
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>E-2</b>



1 UPPER LEVEL LIGHTING PLAN  
 E-2 Scale: 1/4" = 1'-0"







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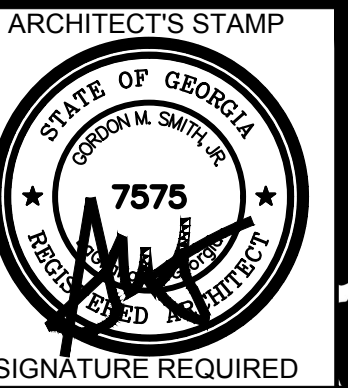
REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**PARTIAL SITE ELECTRIC PLAN PROPOSED**

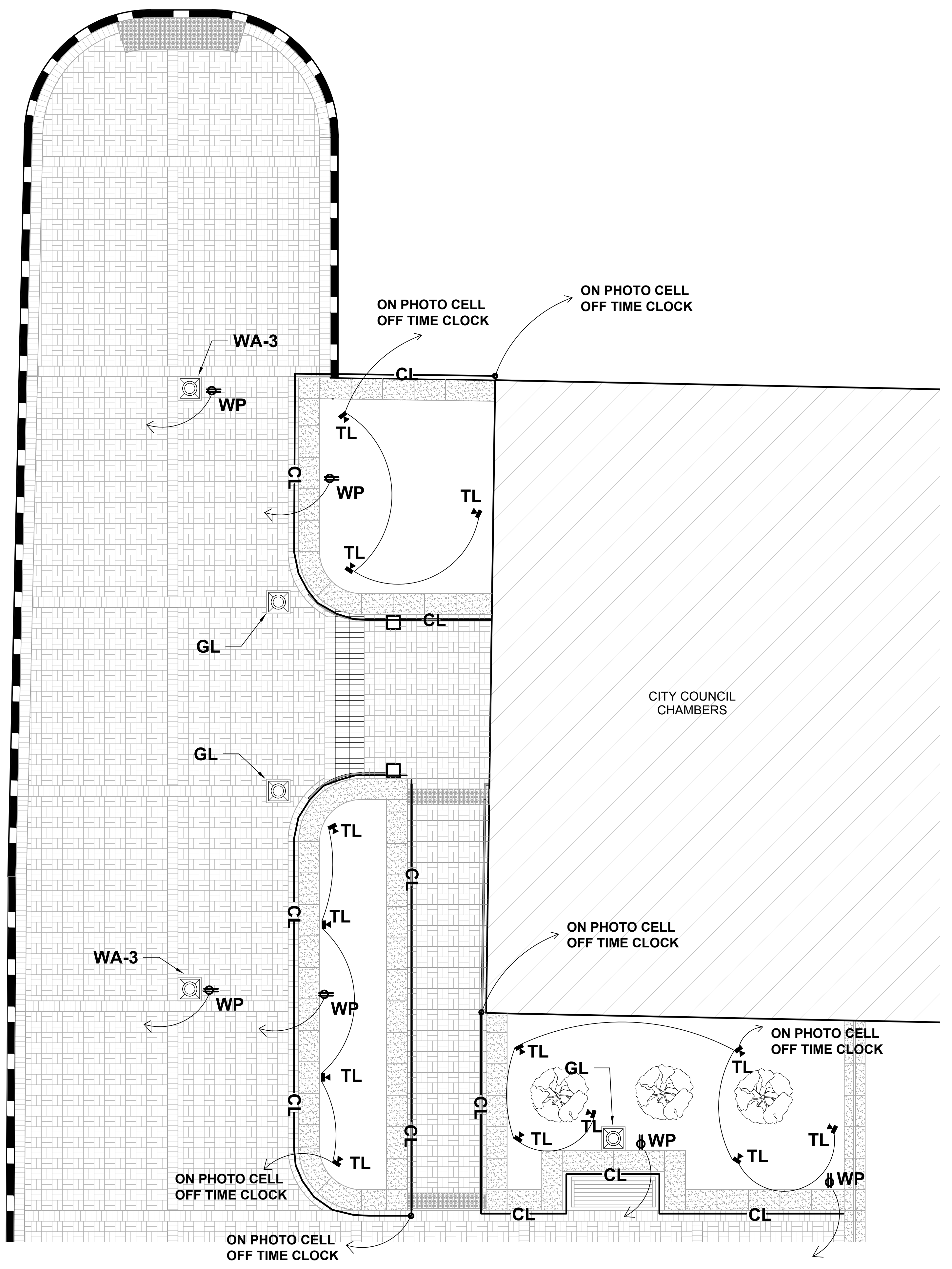
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>E-3</b>

1 PARTIAL SITE ELECTRIC PLAN - PROPOSED  
 Scale: 1/4" = 1'-0"



*sg*

**SMITH DESIGN GROUP, INC.**  
 206 WEST HARALSON STREET  
 LAGRANGE, GEORGIA 30240  
 706-882-5511  
 www.SDGarch.net



REVISIONS	
Δ	DESCRIPTION
DATE	

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**PARTIAL SITE ELECTRIC PLAN PROPOSED**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>E-4</b>

1  
E-4 **PARTIAL SITE ELECTRIC PLAN - PROPOSED**  
 Scale: 1/4" = 1'-0"

Project		
Type	Manufacturer/Brand	Catalog Number
WA3	ABL-Antique Street Lamps	RGPL D 32LED 700MA 4K ARF R3
WA3	ABL-Antique Street Lamps	PX NY20 12 F5 FG-S ANBK
WA3	ABL-Antique Street Lamps	FX NY20 12 F5 FG-S ANBK
WA3	ABL-Antique Street Lamps	FX NY20 12 F5 FG-S ANBK
WA3	ABL-Antique Street Lamps	FX NY20 12 F5 FG-S ANBK
WA3	ABL-Antique Street Lamps	FX NY20 12 F5 FG-S ANBK

**Submit detailed shop drawing to architect for final approval of light fixtures prior to ordering**

NOTE:  
CITY WILL PURCHASE ALL LIGHT FIXTURES FOR ELECTRICAL CONTRACTOR TO INSTALL


NOTE:  
ALL FIXTURES TO WORK OFF 110 VOLTAGE

Project		
Project	RGPL D 32LED 700MA 4K ARF R3 MVOLT ANBK	
Catalog Number		WA3
Notes		

### ANTIQUE STREET LAMPS

#### RG LED SERIES CLEAR TOP

CATALOG #  
PROJECT  
TYPE



This ornate styled luminaire consists of a decorative luminaire base with an integral globe holder/gear housing and an acorn shaped globe.

- Injection molded, refractive, clear acrylic or polycarbonate base with clear top
- Optional trim selection: Finials, Bands, Medallions
- Tool-less gear housing option
- Stainless steel hardware
- 9 Different styles of bases coordinate with this luminaire
- CSA listed and labeled as suitable for wet locations
- Powder coat finish
- 3" O.D. x 3" tall taben required for mounting

Max EPL: 1.52 ft  
Max Height: 44-1/2" (113.0cm)  
Max Width: 19-1/8" (48.5cm)  
Max Weight: 30 lb (13.6 kg)  
Listing: CSA listed for wet locations

Sample Catalog number as it might appear when ordering below:

RGAL	A	32LED	525MA	4K	ARF	R3	MVOLT	ANBK	RF
Decorative Base	Series	LED Driver	Color Temperature	Lens Options	Distribution Options	Voltage	Finish	Final Options	Arm Options

Ordering Guide:

Series	D	32LED	700MA	4K	ARF	R3	MVOLT	ANBK	RF
Decorative Base	LED Driver	Color Temperature	Lens Options	Distribution Options	Voltage	Finish	Final Options	Arm Options	
RGAL	A	32LED	525MA	4K	ARF	R3	MVOLT	ANBK	RF
RGTL	D	E	32LED	700MA	4K	PRF	347	SMF	ARY
RGPL	K	W					480	SFF	ARU
	N	X						PDF	GF
								RF	PF
								ESF	AMF
								SAF	PGF
								RPF	
								AMF	
								PGF	

Med Options', Band Options', Photocontrol Options, Fuse Options, ANBK, Finish

MD3	MD12	B51	B571	BL41	PEB1	SF	DBL
MD4	MD13	B52	B581	BL51	PEB2	DF	DDB
MD5	MD14	B53	BL1	BL61	PE1*		DNA
MD6	MD15	B54	BL2	BL71	PE3*		DWH
MD7	MD16	B55	BL3	BL81	PE4*		CS
MD8	MD17	B56	BL4		PE7*		CM
MD9	MD18	B57	BL5		PER*		ANBK
MD10	MD19	B58	BL6				ANDB
		B51	BL1				ANDG
		B51	BL1				ANVG
		B51	BL1				

Historic / Progressive RG LED SERIES  
Antique Street Lamps™ | 3823 Columbia Road | Granville, OH 43023 | Phone: 1-800-410-8899 | www.antiquestreetlamps.com  
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Project		
Project	RGPL D 32LED 700MA 4K ARF R3 MVOLT ANBK	
Catalog Number		WA3
Notes		

### SERIES

SELECT YOUR OPTIONS FROM

RGAL  
 RGTL  
 RGPL

### DECORATIVE BASES

SELECT YOUR OPTIONS FROM

Mount to 3" O.D. x 3" tall taben: 373

A  
 K  
 X

AU  
 M  
 D  
 N  
 E  
 W

### LED/DRIVER

SELECT YOUR OPTIONS FROM

32LED 525MA (Type V only)  
 32LED 700MA (Type V only)

### COLOR TEMPERATURE

SELECT YOUR OPTIONS FROM

3K  
 4K  
 5K

Historic / Progressive RG LED SERIES  
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Project		
Submitted By	DON BLACKBURN & ASSOC INC	
Catalog Number	RGPL D 32LED 700MA 4K ARF R3 MVOLT ANBK	
Type		WA3

### LENS OPTIONS

SELECT YOUR OPTIONS FROM

ARF (Acrylic Refractor)  
 PRF (Polycarbonate Refractor)

### DISTRIBUTION OPTIONS

SELECT YOUR OPTIONS FROM

R3 Type III (32 LEDs)  
 RS Type V (32 LEDs)

### VOLTAGE

SELECT YOUR OPTIONS FROM

MVOLT  
 347  
 480

### FINIAL OPTIONS

SELECT YOUR OPTIONS FROM

FPF  
 SFF  
 SF  
 SF  
 PDF  
 GF  
 RF  
 FSF  
 SAF  
 PPF  
 RPF  
 AMF  
 PGF

### ARM OPTIONS

SELECT YOUR OPTIONS FROM

ARH  
 ARY  
 ARU  
 ARV

Notes:  
\* Arm, medallion and band must be selected together.  
None of these options can be selected alone.

Historic / Progressive RG LED SERIES  
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Project		
Submitted By	DON BLACKBURN & ASSOC INC	
Catalog Number	RGPL D 32LED 700MA 4K ARF R3 MVOLT ANBK	
Type		WA3

### MED OPTIONS

SELECT YOUR OPTIONS FROM

MD3  
 MD4  
 MD5  
 MD6  
 MD7  
 MD8  
 MD9  
 MD10  
 MD11  
 MD12  
 MD13  
 MD14  
 MD15  
 MD16  
 MD17  
 MD18  
 MD19

Notes:  
\* Arm, medallion and band must be selected together.  
None of these options can be selected alone.

### BAND OPTIONS

See Thru Designs, Solid Designs

SELECT YOUR OPTIONS FROM

B51  
 B52  
 B53  
 B54  
 B55  
 B56  
 B57  
 B58  
 B521  
 B51  
 B571  
 B581  
 B51  
 B51  
 B51  
 B51  
 B51  
 B51  
 B51

Notes:  
\* Arm, medallion and band must be selected together.  
None of these options can be selected alone.

### PHOTOCONTROL OPTIONS

SELECT YOUR OPTIONS FROM

PEB1  
 PEB2  
 PE1  
 PE3  
 PE4  
 PE7  
 PER

Notes:  
\* Arm, medallion and band must be selected together.  
None of these options can be selected alone.  
\* PEB is required when PE1, PE3, PE4 or PE7 is used.

### Historic / Progressive RG LED SERIES

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Project		
Submitted By	DON BLACKBURN & ASSOC INC	
Catalog Number	RGPL D 32LED 700MA 4K ARF R3 MVOLT ANBK	
Type		WA3

### FUSE OPTIONS

SELECT YOUR OPTIONS FROM

SF Single Fuse  
 DF Double Fuse

### FINISH

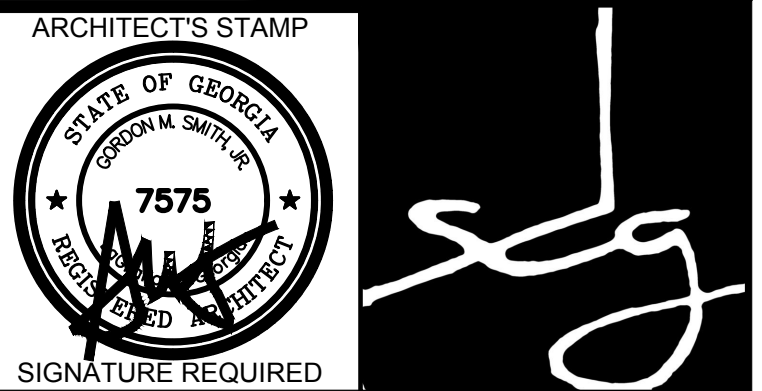
SELECT YOUR OPTIONS FROM

DBL Black  
 DDB Dark Bronze  
 DNA Natural Aluminum  
 DWH White  
 CS Custom Select (RAL colors)  
 CM Custom Match  
 ANBK ASL Black  
 ANDB ASL Dark Bronze  
 ANDG ASL Dark Green  
 ANVG ASL Verde Green

Notes:  
\* Consult factory for CM option.

### Historic / Progressive RG LED SERIES

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**SMITH DESIGN GROUP, INC.**  
206 WEST HARALSON STREET  
LAGRANGE, GEORGIA 30240

706-882-5511  
www.SDGarch.net

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
**TOURISM OFFICE RENOVATION**  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:	<b>DETAILS</b>
MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE:	SHEET: <b>E-5</b>
FOR PRICING	24 APR 2020

Project ██████████	Catalog Number PX NY20 12 F5 FG-S ANBK	Type <b>WA3</b>
Notes <b>LESS BANNER ARM</b>		
Cast Aluminum Posts extruded shafts		<b>NEW YORK Series 20" dia. base</b>
<b>Post to be designed to accept banner arms</b>		
		<b>Provide 8'-0" x 3" round post for the 4 gas lanterns, coordinate with gas lanterns manufacturer</b>
<b>Electrical subcontractor to confirm size of precast foundations will work with this base size</b>		
<b>NOTE:</b> PROVIDE 110V WEATHERPROOF OUTLET AT THE BASE OF ALL (4) POSTS		
<b>DESCRIPTION</b> The lighting post shall be all aluminum, one-piece construction, with a classic tapered and fluted base design. The shaft shall be _____ (insert shaft options from back page). The post shall be Antique Street Lamp's catalog number PX NY20 XX XX (finish).	<b>INSTALLATION</b> The post shall be provided with four hot-dip galvanized U-type anchor bolts to be installed on a 18" diameter root circle. A door shall be provided in the base for anchorage and wiring access. A ground screw shall be provided inside the base opposite the door.	<b>FINISH</b> For finish specifications and color options, see "Finish" section in catalog.
<b>ANTIQUE Street Lamps</b> 2011-B W. Rundberg Ln. • Austin, TX 78758 • ph(512) 977-8664 • fax(512) 977-9622		

Project ██████████	Catalog Number PX NY20 12 F5 FG-S ANBK	Type <b>WA3</b>																																																								
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**Tree upright at city Hall**  
**Fixture "TL"**

Notes: Tree upright at city Hall, Fixture "TL"

Type: Tree upright at city Hall

**FEATURES & SPECIFICATIONS**  
**INTENDED USE**  
 The OL8 LED Bullet Floodlight is a long-lasting energy-efficient landscape floodlight. Available with spot or flood optics making it ideal for many commercial and residential outdoor applications such as lighting of landscapes, building details and flag poles.  
**CONSTRUCTION**  
 Die-cast aluminum housing has integral heat sink fins to optimize thermal management through convective and conductive cooling. The LED driver is mounted in the lower housing providing a low operating temperature and long life. Housing is sealed against moisture and environmental contaminants (IP65).  
 Finish: Exterior parts are protected by a thermoplastic powder coat finish that provides superior resistance to corrosion and weathering. A highly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.  
**OPTICS**  
 Optics are engineered for superior field-to-beam ratios, uniformity and spacing. Available with SR+ flood optics for illuminating larger objects or 2H+ V spot optics for illuminating targets up to 50 feet away. Light engines are available in 300K (90 CR min.) or 500K (66 CR min.) configurations.  
**ELECTRICAL**  
 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).  
 Light engine consists of four (4) discrete LEDs directly mounted directly to the heat sink to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L82).  
 Driver is thermally isolated in base to promote long-life.  
 Operating temperature: -30°C to 40°C.  
**INSTALLATION**  
 Integral adjustable knuckle with 1/2-14 NPS threaded pipe facilitates quick and easy installation in a variety of mounting methods.  
**LISTINGS**  
 UL Listed to U.S. and Canadian safety standards for wet locations within four feet of the ground. Tested in accordance with IESNA LM-79 and LM-80 standards.  
**WARRANTY**  
 5-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/Customersuccess/Faq\\_and\\_conditions.aspx](http://www.acuitybrands.com/Customersuccess/Faq_and_conditions.aspx).  
 Actual performance may differ as a result of end-user environment and application.  
 Note: Specifications may differ to change without notice.

**OLB**  
LED Bullet Flood Light

All dimensions are inches (centimeters) unless otherwise indicated.

Series	8	Light engine	30K	300K	50K	500K	Voltage	(blank)	MVOLT	DOB	DOB
OL8F	54	Flood optics	30K	300K	50K	500K	(blank)	MVOLT	DOB	DOB	Dark bronze
OL8S	24	Spot optics	30K	300K	50K	500K	(blank)	MVOLT	DOB	DOB	Dark bronze

**NOTE:**  
CITY WILL PURCHASE ALL LIGHT FIXTURES FOR ELECTRICAL CONTRACTOR TO INSTALL

<p><b>OLB LED Bullet Flood Light</b></p> <p><b>LIGHTING FACTS</b> To see complete photometric reports or download .Jes files for this product, visit <a href="http://www.lithonia.com">www.lithonia.com</a>. Actual wattage may differ by +/- 8% when operating at 120V or 277V +/- 10%.</p>	<p><b>NEW YORK Series</b></p> <p><b>Cast Aluminum Posts</b></p>															
<p><b>OLBF 8 30K DOB</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td colspan="2">Light Output (Lumens)</td><td style="text-align: right;"><b>592</b></td></tr> <tr><td colspan="2">Watts</td><td style="text-align: right;"><b>10.5</b></td></tr> <tr><td colspan="2">Lumens per Watt (Efficacy)</td><td style="text-align: right;"><b>56</b></td></tr> <tr><td colspan="2">Color Accuracy</td><td style="text-align: right;"><b>84</b></td></tr> <tr><td colspan="2">Light Color</td><td style="text-align: center;"><b>3005 (Bright White)</b></td></tr> </table>	Light Output (Lumens)		<b>592</b>	Watts		<b>10.5</b>	Lumens per Watt (Efficacy)		<b>56</b>	Color Accuracy		<b>84</b>	Light Color		<b>3005 (Bright White)</b>	<p><b>NEW YORK Series</b></p> <p><b>Cast Aluminum Posts</b></p>
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**LITHONIA LIGHTING**  
Antiquity Brands Company

	<p><b>D-Series Size 1 LED Flood Luminaire</b></p> <p><b>Column upright -- "C"</b></p>	<p>Notes: For finish specifications and color options, see "Finish" section in catalog or contact Acuity Brands Lighting.</p>																
<p><b>Specifications</b></p> <p>EPA: 0.6 ft<sup>2</sup> (0.05 m<sup>2</sup>)</p> <p>Depth: 3-1/8" (83.0 mm)</p> <p>Width: 8-7/8" (22.4 cm)</p> <p>Height: 7-3/4" (19.8 cm)</p> <p>Overall Height: 12" (30.5 cm)</p> <p>Weight: 7.2 lbs (3.3 kg)</p>																		
<p><b>Introduction</b></p> <p>The D-Series Size 1 Flood features precision optics to beautifully illuminate a variety of applications while its sleek, compact styling blends seamlessly with the environment.</p> <p>The D-Series Flood reflector systems and cutting-edge chip-on-board LED technology produce excellent uniformity combined with precision beam patterns for minimal spill light and incredible photometric performance. It's the ideal long-life replacement for 70 - 150W metal halide floods, with typical energy savings of 72% and expected service life of over 100,000 hours.</p>																		
<p><b>Ordering Information</b></p>																		
<p><b>EXAMPLE: DSXF1 LED P1 40K MSP MVOLT THK DOBDO</b></p>																		
<table border="1" style="width:100%; border-collapse: collapse;"> <tr><th>Series</th><th>Performance Package</th><th>Color Temperature</th><th>Distribution</th><th>Voltage</th><th>Mounting</th><th>Options</th><th>Finish (required)</th></tr> <tr><td>DSXF1 LED</td><td>P1</td><td>30K 3000K 40K 4000K 50K 5000K</td><td>NSP Narrow spot MSP Medium spot FL Flood WFL Wide flood WFR Wide flood, rectangular HMF Horizontal flood</td><td>120 V 208 V 240 V 277 V</td><td>MVOLT</td><td>Shipped installed TKR Knuckle with 1/2" NPS threaded pipe IS Intra-clip diffuser (fits 3-3/8" O.D. tenon) SF Single-face (120, 277, 347V) DF Double-face (208, 240V) DNG 0-30V dimming driver (no dimmer) DSXF1/ZTS Triaxial Lightizer (6-3/8" O.D. THK required) FTS GGG Tenon Lightizer (fits 3-3/8" x 2-7/8" O.D. tenon. NPS60 required)</td><td>DOBBD Dark bronze BRDLD Black DNAND Natural aluminum DHWDD White</td></tr> </table>	Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options	Finish (required)	DSXF1 LED	P1	30K 3000K 40K 4000K 50K 5000K	NSP Narrow spot MSP Medium spot FL Flood WFL Wide flood WFR Wide flood, rectangular HMF Horizontal flood	120 V 208 V 240 V 277 V	MVOLT	Shipped installed TKR Knuckle with 1/2" NPS threaded pipe IS Intra-clip diffuser (fits 3-3/8" O.D. tenon) SF Single-face (120, 277, 347V) DF Double-face (208, 240V) DNG 0-30V dimming driver (no dimmer) DSXF1/ZTS Triaxial Lightizer (6-3/8" O.D. THK required) FTS GGG Tenon Lightizer (fits 3-3/8" x 2-7/8" O.D. tenon. NPS60 required)	DOBBD Dark bronze BRDLD Black DNAND Natural aluminum DHWDD White	<p><b>Accessories</b></p> <p>Standard Part Number      Stock Part Number</p> <p>DSXF1 LED P1 30K WFL MVOLT THK DOBDO      DSXF1 LED P1 50K</p> <p>DSXF1 LED P1 40K WFL MVOLT THK DOBDO      DSXF1 LED P1 40K</p> <p>DSXF1 LED P2 50K WFL MVOLT THK DOBDO      DSXF1 LED P2 40K</p> <p>DSXF1 LED P2 40K WFL MVOLT THK DOBDO      DSXF1 LED P2 40K</p>	<p><b>NOTES</b></p> <ol style="list-style-type: none"> <li>MVOLT driver operates on line voltage from 120-277V. Specify voltage when ordering with using SR, DF or photo control (PL, PCK).</li> <li>Also available as accessories, see Accessories information at left.</li> <li>Rated 25C maximum ambient for performance package P2. Specify PCK for higher ambient temperature.</li> <li>Photometric (P), PCK requires 120, 208, 240, 277 or 347 voltage option.</li> <li>Must specify 120, 277 or 347 voltage option.</li> <li>Must specify 208 or 347 voltage option.</li> </ol>
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options	Finish (required)											
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**Performance Data**

**Lumen Output**  
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerance allowed by lighting facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

Performance Package	System KVA	Dist. Type	Beam Angle		Beam Diameter (ft)		Beam Diameter (m)		Beam Diameter (ft)		Beam Diameter (m)		
			°	ft	m	ft	m	ft	m				
P1	21W	MSP	37	38	18	19	16.316	2.661	124	18.839	2.876	137	18.839
			51	51	27	28	23.008	2.239	123	18.834	2.850	136	18.834
			65	65	18	19	4.027	2.653	118	4.452	2.653	138	4.452
			84	84	39	39	7.255	2.682	128	2.684	2.685	141	2.684
			109	109	86	85	1.666	2.784	132	1.652	3.058	146	3.052
P2	42W	MSP	92	89	18	19	3.909	2.784	133	2.680	3.059	142	2.680
			124	124	48	48	2.001	2.829	133	2.272	2.575	133	2.272
			151	151	27	28	18.500	4.099	112	18.567	5.176	124	18.567
			40	39	46	45	7.240	4.459	106	8.115	4.898	117	8.115
			84	81	99	97	4.111	4.889	116	4.545	5.466	139	5.465

**Projected LED Lumen Maintenance**  
Data references the extrapolated performance projections for the DSXF1 LED P2 platform tested in a 25C ambient, based on 10,000 hours of LED testing based per IESNA LM-80-08 and projected per IESNA TM-35-15.

To calculate L80 use the Lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Current (%)				
	100	200	240	277	347
P1	0.16	0.1	0.08	0.08	0.07
P2	0.35	0.20	0.16	0.15	0.12

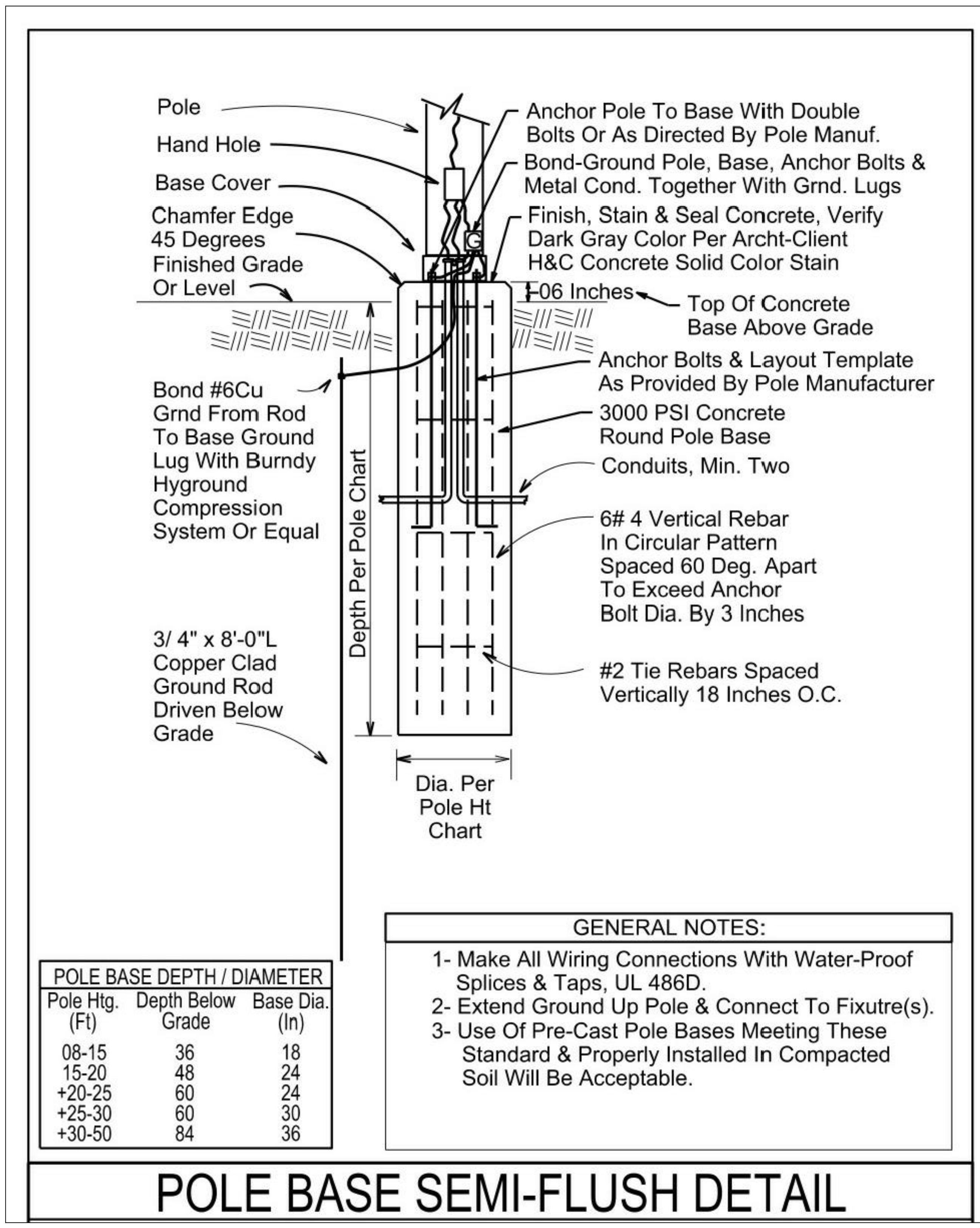
**Photometric Diagrams**  
To see complete photometric reports or download .Jes files for this product, visit [www.lithonia.com](http://www.lithonia.com). Actual wattage may differ by +/- 8% when operating at 120V or 277V +/- 10%.

Isocandela plots for the DSXF1 LED P2 40K.

**SMITH DESIGN GROUP, INC.**  
206 WEST HARALSON STREET  
LAGRANGE, GEORGIA 30240

706-882-5511  
[www.SDGarch.net](http://www.SDGarch.net)

REVISIONS	
DATE	DESCRIPTION
PROJECT:	
TOURISM OFFICE RENOVIATION	
206 RIDLEY AVENUE LAGRANGE, GEORGIA	
TITLE:	
DETAILS	
MODIFIED DATE:	JOB NO:
	1918
ISSUED DATE:	SHEET:
FOR PRICING	E-6
24 APR 2020	



POLE BASE DEPTH / DIAMETER		
Pole Htg. (Ft)	Depth Below Grade	Base Dia. (In)
08-15	36	18
15-20	48	24
+20-25	60	24
+25-30	60	30
+30-50	84	36

**NOTE:**  
 POLE BASE TO BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE SIZE WITH OWNER PROVIDE METAL DECORATIVE POSTS.

**Mounting, Options and Accessories**

**THK - Knuckle with 1/2" NPS threaded pipe**  
**YK62 - Yoke with 50 cord**  
**IS - Integral slipfitter**  
**UBV - Upper/bottom visor**  
**FV - Full visor**  
**VG - Vandal guard**

**FEATURES & SPECIFICATIONS**

**INTENDED USE**  
 The sleek design of the D-Series Size 1 Flood reflects the embedded high performance LED technology. It is ideal for landscape, signage and accent lighting in many commercial and residential applications.

**CONSTRUCTION**  
 Die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the casting to promote low operating temperatures and long life. Housing is completely sealed against moisture and environmental contaminants using a tempered glass lens (IP66). Low EFA (8.6 ft) for optimized beam loading.

**FINISH**  
 Exterior parts are protected by a zinc-infused Super Durable TGIC thermostat powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mil thickness for a finish that can withstand extreme climate changes without cracking or peeling.

**OPTICS**  
 A variety of precision-molded vacuum-metallized specular reflectors are engineered for superior target illumination, uniformity and spacing. Light engines are available in 3000K (70 CRI min.), 4000K (70 CRI min.) or 5000K (70 CRI min.) configurations. Optional visors offer additional versatility.

**ELECTRICAL**  
 Light engine(s) consist of chip-on-board (COB) LEDs directly coupled to the housing to maximize heat dissipation and promote long life (100,000 hrs. LED). Single-engine unit uses a Class 2 electronic driver; dual-engine unit uses a Class 1 electronic driver. Both drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours. Standard 60V surge protection meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

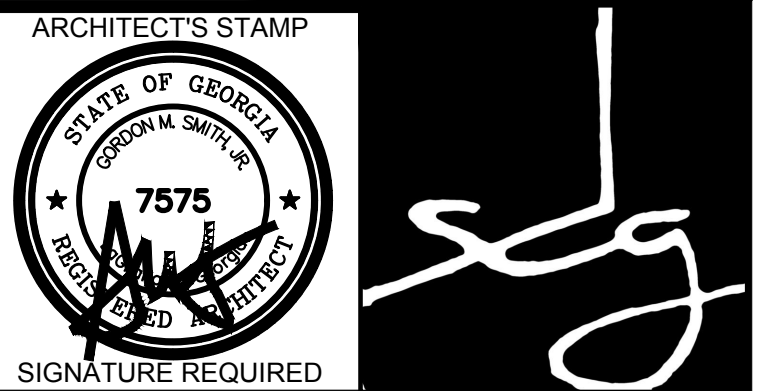
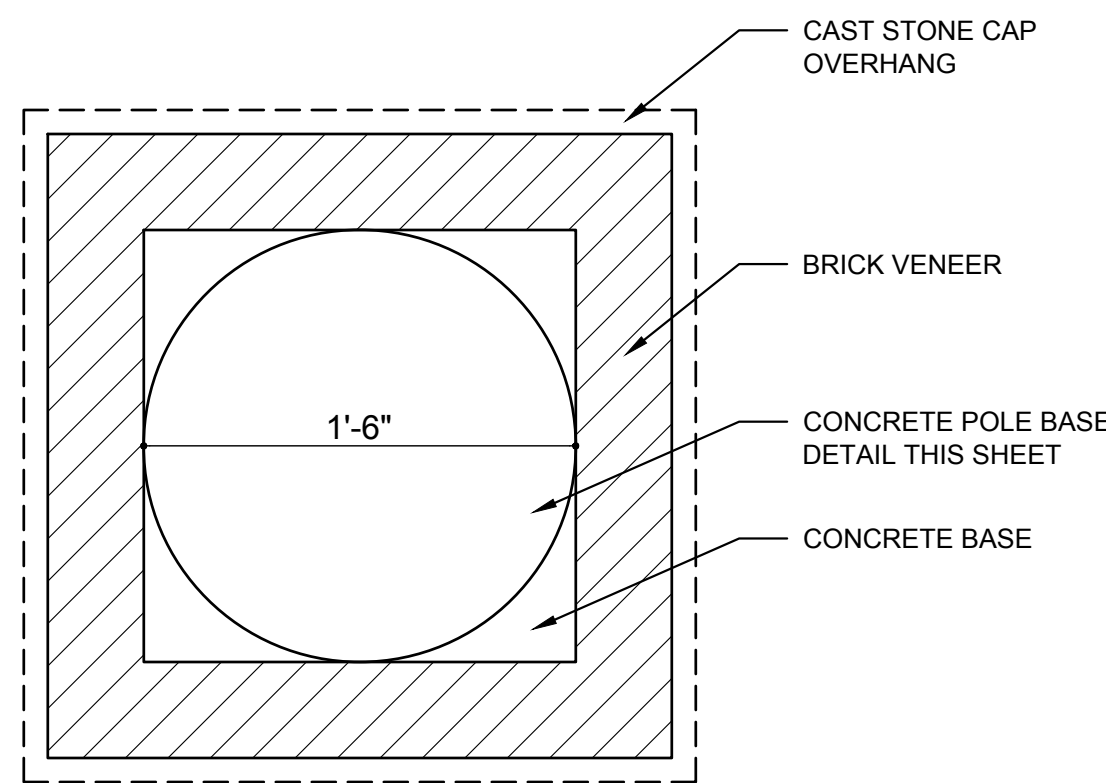
**INSTALLATION**  
 Integral adjustable knuckle with 1/2-14NPS threaded pipe, tension slipfitter, or integral slipfitter, facilitates quick and easy installation to a variety of mounting accessories. The secure connection enables the D-Series Size 1 to withstand up to a 1.5 G vibration load rating per ANSI C136.31.

**LISTINGS**  
 CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. Rated for -40°C minimum ambient.

**WARRANTY**  
 5-year limited warranty. Complete warranty terms located at: [www.designlights.com/Content/TechnicalDocs/StandardTermsAndConditions.aspx](http://www.designlights.com/Content/TechnicalDocs/StandardTermsAndConditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

**NOTE:**  
 CITY WILL PURCHASE ALL LIGHT FIXTURES FOR ELECTRICAL CONTRACTOR TO INSTALL



**SMITH DESIGN GROUP, INC.**  
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 LAGRANGE, GEORGIA 30240  
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REVISIONS	
DATE	DESCRIPTION

**PROJECT:**  
 TOURISM OFFICE RENOVATION  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

**TITLE:**  
 DETAILS

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>E-7</b>

## GENERAL NOTES

1. VERIFY ALL DEVICE LOCATIONS AND MOUNTING HEIGHTS.
2. VERIFY LOCATIONS OF ALL MECHANICAL EQUIPMENT.
3. ALL EQUIPMENT USED SHALL BEAR THE LABEL OF A RECOGNIZED STANDARD SETTING LABOR (i.e. UL, ETC.)
4. ALL SWITCHES AND RECEPTACLES TO BE IVORY.
5. ALL EQUIPMENT AND ACCESSORIES SHALL BE NEW AND UNUSED, UNLESS OTHERWISE NOTED.
6. ALL EXTERIOR OUTLETS SHALL BE WP, GFCI.
7. NOT USED.
8. SEAL ALL PENETRATIONS OF FIRE RATED SURFACES TO MAINTAIN THE FIRE RATED INTEGRITY.
9. PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM.
10. MATERIALS AND INSTALLATIONS SHALL COMPLY WITH CODES, LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
11. PROVIDE LOCAL DISCONNECT SWITCHES FOR ALL MOTORS.
12. SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE ELECTRICAL WORK.
13. NOTIFY THE ARCHITECT/ENGINEER/OWNER OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, OR IN VIOLATION OF LAWS, ORDINANCES, RULES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
14. PROVIDE TEMPORARY POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL TEMPORARY WIRING AT THE COMPLETION OF CONSTRUCTION.
15. ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
16. ALL CUTTING, DRILLING AND PATCHING OF MASONRY, STEEL OR IRON WORK BELONGING TO THE BUILDING MUST BE DONE BY THIS CONTRACTOR IN ORDER THAT THIS WORK MAY BE PROPERLY INSTALLED, BUT UNDER NO CONDITIONS, MAY STRUCTURAL WORK BE CUT, EXCEPT AT THE DIRECTION OF THE ARCHITECT, DESIGNER OR THEIR REPRESENTATIVE.
17. PROVIDE "AS-BUILT" DRAWINGS AND SUBMIT TO THE OWNER.
18. IN SUSPENDED CEILING, SUPPORT JUNCTION AND CONDUIT BOXES DIRECTLY FROM THE STRUCTURAL SLAB, DECK OR FRAMING PROVIDED FOR THAT PURPOSE.
19. COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS AND INFORM ARCHITECT/ENGINEER OF ANY CONFLICTS/DISCREPANCIES.
20. WHERE FLOOR FITTINGS REQUIRE PENETRATION OF THE FLOOR SLAB, THEY SHALL BE STANDARD DEVICE LISTED BY UL FOR THAT PURPOSE AND HAVE A UL FIRE RATING EQUAL TO THE FLOOR RATING.
21. NUMBERED CIRCUITS AND RACEWAY ROUTINGS ARE FOR CONVENIENCE OF DESIGN ONLY. ACTUAL FIELD CONDITIONS WILL VARY. INDICATE THE CIRCUIT NUMBER USED ON THE "AS-BUILT" DRAWINGS.
22. ELECTRICAL EQUIPMENT INSTALLED IN PLENUMS SHALL BE APPROVED FOR USE AS SUCH.
23. E.C. TO COORDINATE WITH LOCAL UTILITY COMPANY: TRANSFORMER, C.T. AND METER LOCATIONS AND CONNECTION REQUIREMENTS.

**ELECTRIC HAND DRYER-  
DESIGN BASED ON ASI 20200 TRI-UMPH  
(HAND DRYER) WITH OPTIONAL WALL  
PROTECTOR BACKSPLASH PLATE.  
PROVIDED AND INSTALLED  
BY ELECTRICAL SUBCONTRACTOR.**

### LIGHT FIXTURE SCHEDULE - EXTERIOR

TYPE	DESCRIPTION
WA-3	DECORATIVE ACORN ACRYLIC GLOBE WITH LED, 12". DECORATIVE POLE, 30" BANNER ARMS SIMILAR TO BOYD PARK, BLACK.
WB-4	SAME AS WA-3 EXCEPT MOUNTED ATOP BRICK PIER WITH CAST STONE CAP.
WC	42" INCHES TALL, 8" DIAMETER, WEATHERPROOF FLUTED CAST ALUMINUM BOLLARD IN BLACK
WD	LED STEP LIGHT, DIE-CAST ALUMINUM HOUSING, FULLY RECESSED. COLOR BY ARCHITECT.
WG	IN-GRADE LED UPLIGHT, WATERPROOF, TEMPERED GLASS, SS LENS FRAME. 2832N/2184A LUMEN LED, 4000K IN CONCRETE BASE, NARROW BEAM.
WH	36" SURFACE MOUNT GOOSENECK FIXTURE AND HOOP, LED. RUN CONDUITS BEHIND PARAPET AND OVER PARAPET TO FIXTURE.
WJ	48" LONG LINEAR LED DOWN LIGHT TO LIGHT EXISTING SIGNAGE. RUN CONDUITS BEHIND PARAPET AND OVER PARAPET TO FIXTURE.
WP	WEATHERPROOF DUPLEX OUTLET - MOUNT 6" ABOVE GRADE
GL	GAS LANTERN FIXTURE - SEE DETAIL

**SUBMIT CUT SHEETS ON ALL FIXTURES  
TO ARCHITECT FOR APPROVAL**

## G.C. TO VERIFY ALL FINISHES / COLORS OF ALL FIXTURES WITH OWNER

### LIGHTING FIXTURE SCHEDULE (Design based on Specs) - OTHER MANUFACTURERS ACCEPTABLE

- SINGLE NUMERAL PREFIX IN LAMP COLUMN INDICATES NUMBER OF LAMPS IN FIXTURE (3-F40WW). NO PREFIX INDICATES SINGLE LAMP (150A-A19).
- MOUNTING HEIGHTS AND DETAILED INFORMATION ARE INDICATED IN REMARKS COLUMN.
- USE THE FOLLOWING MOUNTING ABBREVIATIONS: C=CEILING R=RECESSED S=SURFACE W=WALL T=TRACK

SYMBOL	TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	LAMP	MTG	REMARKS
	D	HALO OR SIMILAR	SUBMIT CUT SHEET (INTERIOR / EXTERIOR)	120	3500 K (LED)	R	DOWNLIGHT FIXTURE (4 INCH SQUARE RECESSED LED ON DIMMERS)
	D1	LITHONIA	LED SURFACE MOUNTED	120	4100 K (LED)	S	BLACK TRIM / ON DIMMERS
	H	MIRROR AND MARBLE, INC	FRONT-LIGHTED LED BATHROOM MIRROR 24" W X 36" H; WALL MOUNTED WITH DIMMING OPTION SWITCH	120	4100 K (LED)	W	ONE LAMP, MOUNTED EACH SIDE OF MIRROR, FIXTURE 36IN HIGH
	UC	LITHONIA	UCEL (12 IN TO 48 IN) 40K 90 CRI WH	120	4100 K (LED)	S	UNDERCABINET LED (2' LONG) (3' LONG) VERIFY W/ CABINETS HARDWIRED TO WALL SWITCH (NO TOGGLE SWITCH ON FIXTURE)
	X1	LITHONIA OR DUAL LITE	KSR-LED-EP	120	FURNISHED	W/C	LED EXIT SIGN
	SL	SHOP LITE	4'-0" WITH REFLECTOR		2-BULB	S	
	Z	LITHONIA	QUANTUM ELM SERIES	120/ 277	FURNISHED	S	SELF-CONTAINED NON-ADJUSTABLE TWIN HEAD EMERGENCE LIGHTING UNIT COMPLETE WITH AUTOMATIC CHARGER, 90 MINUTE LEAD CALCIUM BATTERY & HALOGEN LAMPS. MOUNT HIGHT ON WALL FOR WIDE COVERAGE.
	TL	LITHONIA LIGHTING	OLBF 8 50K DDB	120	LED	S	EXTERIOR UPLIGHT (ON WITH PHOTOCELL, OFF WITH TIMELOCK)
	EE	LITHONIA	AFN-B-EXT	120		S	WET LOCATION - EMERGENCY EGRESS LIGHT
	T1	JUNO	8' SURFACE TRACK UNIT (5 LIGHTS) T252L-35K-N-BL	120		P	TRACK ON 24" HIGH PENDANT SUPPORTS
	G	LITHONIA "GT" SERIES, METALUX, COLUMBIA DAY-BRITE, WILLIAMS, LIGHTOLIER	DESIGN BASED ON LITHONIA LIGHTING RECESSED TROFFER, LED, 2X4, 2GTL4 LP 840 NO DIMMING BALLAST REQUIRED. 4100K. - SMOOTH FLAT LENS.				
	G2	2'X2' FLAT PANEL LED FIXTURE - SMOOTH FLAT LENS, SAME AS FIXTURE 'G'.					
	CH	DUTTON BROWN - COLOR CROWN CUP CHANDELIER, 30", 51000	IN CUSTOM GREEN COLOR	PROVIDE WITH EXTENSION RODS OF 48"		SEE ATTACHED CUT SHEET ON DRAWING E-11	
	P	REJUVENATION CARSON 12" CORD PENDANT WITH CAGE, GLOSS GREEN MOUNT BOTTOM @ 6'-8" A.F.F.	SEE ATTACHED CUT SHEET ON E-11				
	MCF64	MINKA AIRE MODEL# F803L-BK INTERIOR FAN - 58"	SEE ATTACHED CUT SHEET ON E-11				
	Q52	MINKA AIRE MODEL# F589-HT INTERIOR FAN - 54"	SEE ATTACHED CUT SHEET ON E-11				
	GL	GAS LANTERN ON POST - SEE DETAIL 1/SD-6					
	CL	EXTERIOR LED TAPE LIGHT - SEE SPECS ON E-9, E-10 (TO BE INSTALLED UNDER CAST STONE, SEE DETAIL 2/SD-9)					

FIXT ID	DESCRIPTION	Nom Size	Lamp Qty & Type	Ballast / Driver Type	Power V	Power VA	Mount Notes	Manufacturer / Series / Model
AS8	Pendant Indirect - Direct, S-Std Non Dim, 8" length Top Dust Cover. Verify finish color with architect, Adjustable Air-Craft Cable Pendant Hung, Continuous run fitting for rows.	06W 03H	LED, Up-8,000 Lum Dn-5,000 Lum, 35K	Non-Dim Per Manu	Unv 120V 277V	146	PH- 24"	Lightcontrol: P-ID-L12-08-SOF-STD-35K-140/D25-CWM-Std-Inv-LK
AD8	Same as type "AS8" except dimmable	06W 03H	LED, Up-8,000 Lum Dn-5,000 Lum, 35K	0-10V Dimmable Per Manu	Unv 120V 277V	146	PH- 24"	Lightcontrol: P-ID-L12-08-SOF-STD-35K-140/D25-CWM-D10-Inv-LK
B	Over Door, occupancy sensor equipped, 4' LED Wrap around	04x 06x 54L	LED, 3,000 Lum 35K	ESD	Unv 120V 277V	31	WM above door	Columbia: LBIL-4-35K-LLW-ESD-UNV
CV	LED Cove Light, lengths as shown, complete with all hardware, supports, drivers & controls. Field verify exact arrangements, lengths & details prior to ordering.	n/a	LED	0-10V-Dim Per Manu	Unv 120V 277V	2.5 watts per foot	Cove - see architectural details	Celestial Lighting: Andromeda LS Series
WD	Decorative wall bracket mounted acorn globe, wet location (Note - same style & finish as site post globes)	22H, 08 Dia 10FB	Provide Cree LED A21-lamp, 1600 Lumen	n/a	120V	2.5 watts per foot	WM Htg per Architect	Sternberg: A830 / 16F



**SMITH DESIGN GROUP, INC.**  
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#### REVISIONS

DATE	DESCRIPTION

PROJECT:

#### TOURISM OFFICE RENOVATION

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:

### LIGHTING SCHEDULE

MODIFIED DATE:

ISSUED DATE:

FOR PRICING

24 APR 2020

JOB NO:

1918

SHEET:

E-8



Catalog Number	Tree uplight at city Hall
Notes	Fixture "TL"
Type	

### FEATURES & SPECIFICATIONS

**INTENDED USE**  
The OLB LED Floodlight is a long-lasting energy-efficient landscape flood light. Available with spot or flood optics making it ideal for many commercial and residential outdoor applications such as lighting of landscapes, building details and flag poles.

**CONSTRUCTION**  
Die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. The LED driver is mounted in the lower housing promoting a low operating temperature and long life. Housing is sealed against moisture and environmental contaminants (IP65).

**OPTICS**  
Optics are engineered for superior field-to-beam ratios, uniformity and spacing. Available with 51° x 4° flood optics for illuminating larger objects or 20° x 2° spot optics for illuminating targets up to 50 feet away. Light engines are available in 3000K (80 CB min.) or 5000K (66 CB min.) configurations.

**ELECTRICAL**  
MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Light engine consists of four (4) discrete LEDs directly mounted to the heat sink to maximize heat dissipation and promote long life (100,000 hrs at 40°C L82). Driver is thermally isolated in base to promote long-life.

**INSTALLATION**  
Integral adjustable knuckle with 1/2-3/4 NPT threaded pipe facilitates quick and easy installation in a variety of mounting methods.

**LISTINGS**  
UL Listed to U.S. and Canadian safety standards for wet locations within four feet of the ground. Tested in accordance with IESNA LM-79 and LM-80 standards.

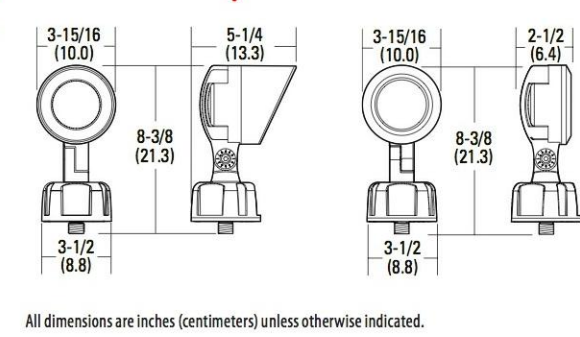
**WARRANTY**  
5-year limited warranty. Complete warranty terms located at [www.aacilybrands.com/CustomersResources/terms\\_and\\_conditions.aspx](http://www.aacilybrands.com/CustomersResources/terms_and_conditions.aspx)

**Actual performance may differ as a result of end-user environment and application.**

Note: Specifications subject to change without notice.



**OLB**  
LED Bullet Flood Light



All dimensions are inches (centimeters) unless otherwise indicated.

### ORDERING INFORMATION

For shortest lead times, configure product using **bolded options**. **Example:** OLBFB 30K DD8

Series	Light engine	Color temperature (CCT)	Voltage	Finish
<b>OLBF</b>	5x4 flood optics	<b>30K</b>	<b>12V</b>	<b>DD8</b>
<b>OLB5</b>	2x2 spot optics	<b>50K</b>	<b>24V</b>	<b>DD8</b>

DECORATIVE INDOOR & OUTDOOR

OLB LED



## PRODUCT DATA SHEET

Fixture "CL"

ColorBright™  
Color Changing  
RGB 150 Series



[www.FlexfireLEDs.com](http://www.FlexfireLEDs.com)

page 3

### Weatherproof Color Changing RGB 150 Series • Product Datasheet

Fixture "CL"

### Description

The Outdoor ColorBright™ Color Changing RGB LED strip light is a reel of linear color changing LED chips mounted on a flexible strip of printed circuit board (PCB) with a strong adhesive backing. To achieve weather protection, the strips are enveloped in a silicone plastic casing. Sometimes referred to as "color changing LED tape lights," the flexible design of LED strips means the lights can be installed in basically any space you can imagine. With these strips you can change the lights to nearly any color combination for a wide range of creative options. These lights work perfectly for outdoor installations as well as indoor spaces such as aquariums or in bathrooms that may be exposed to water.

The IP65 rating means that the LED strip lights are able to withstand jets and splashes of water from all sides. It cannot be submerged in water, but it will withstand the elements. We also recommend outdoor lights for use indoors in high splash areas or if you're looking for a strip that is easier to clean.

### Product Features

- Highest Brightness RGB LED Chips
- Fully dimmable and color controllable
- Highest quality components and premium packaged
- 5050 LEDs
- Single BIN LED selection to ensure color consistency (3-Step MacAdam)
- 3M 9731 adhesive for a strong bond to the weatherproof silicone sleeve
- 120° Beam Angle
- Only 1/2" (12mm) strip width
- Short LED pitch of 1 1/4" (33mm)
- 12V or 24V DC Input Options
- Segment length of 4" (6 1/2" for 24V)
- Can be cut every 3 LEDs (5 LEDs for 24V)
- 9 LEDs / Foot (30 / Meter)
- Thick double layer 2oz copper PCB for excellent thermal management
- Operating Temperature -4°F to +104°F (-20°C to 40°C)
- IP65 Rated with non-yellowing and UV resistant silicone sleeve

### Product Specific Specifications

Product SKU	LED Chips per foot (Meter)	Voltage Input	Watts / foot (Meter)	Lumen / foot (Meter)	Color Wavelengths (Nanometers)	Max. Run Length in Series
IP65-CB-RGB-12V	9 LEDs/Foot (30/Meter)	12V DC	2.2 W/ft (7.2 W/m)	R: 11LM (35/m) G: 46LM (150/m) B: 10LM (30/m)	R: 617-627 nm G: 515-525 nm B: 464-474 nm	32' 10" (10 meters)
IP65-CB-RGB-24V	9 LEDs/Foot (30/Meter)	24V DC	2.2 W/ft (7.2 W/m)	R: 11LM (35/m) G: 46LM (150/m) B: 10LM (30/m)	R: 617-627 nm G: 515-525 nm B: 464-474 nm	48' (15 meters)

V.2017.12.11

page 1

### Weatherproof Color Changing RGB 150 Series • Product Datasheet

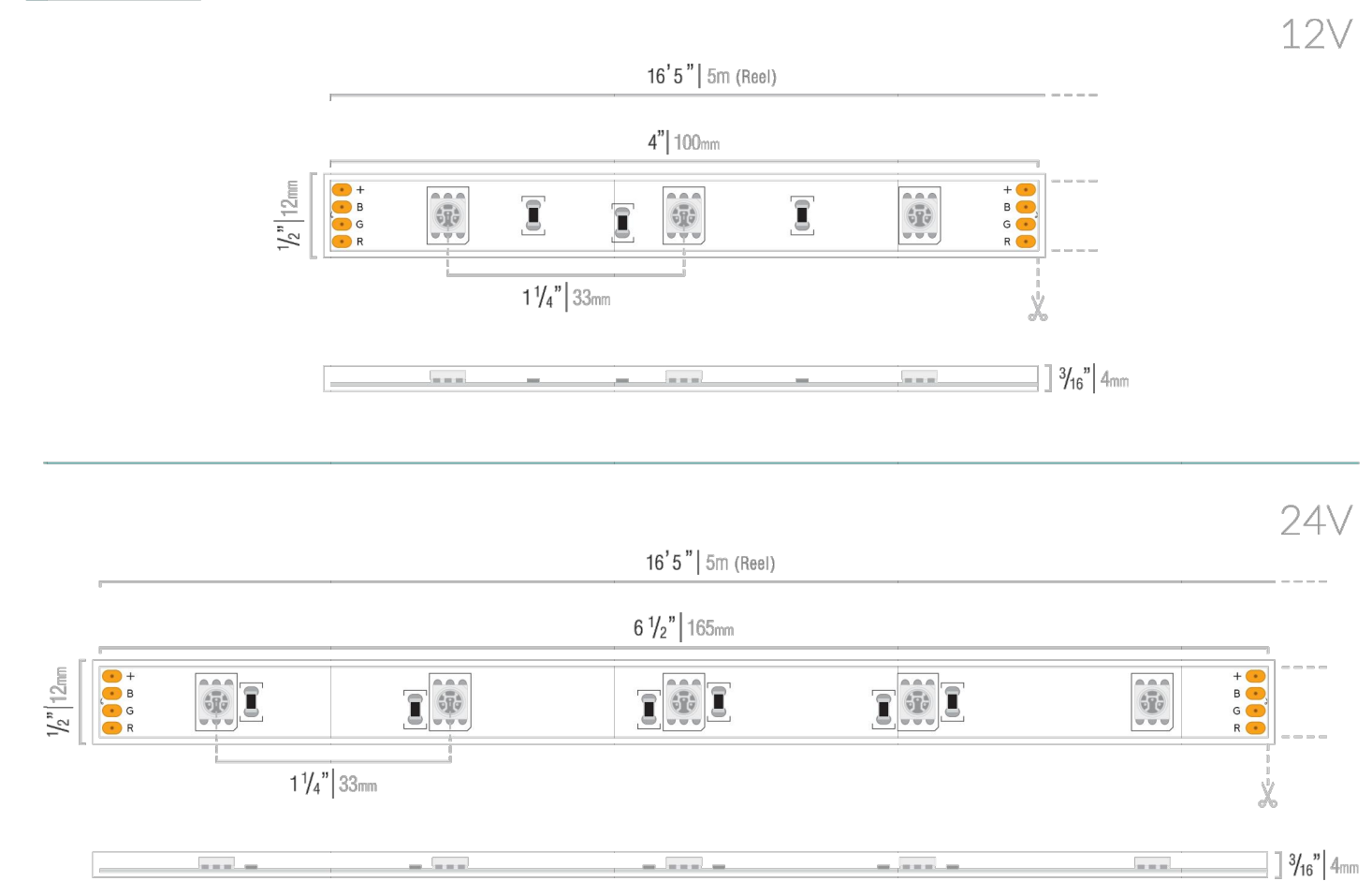
### Ordering Code

Fixture "CL"

OUTDOOR

IP Protection	Brand	Color	Voltage	Length
IP65 - Weatherproof	CB - ColorBright™	RGB	12V	08 FT - 8 ft Reel
IP68 - Waterproof			24V	16 FT - 16 ft Reel

### Dimensions



V.2017.12.11

page 2

### Weatherproof Color Changing RGB 150 Series • Product Datasheet

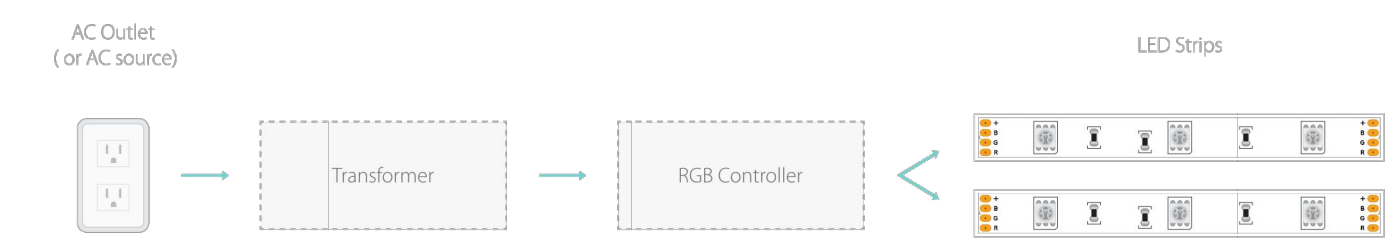
### Example Installation and Layout

Fixture "CL"

IN SERIES



IN PARALLEL



V.2017.12.11

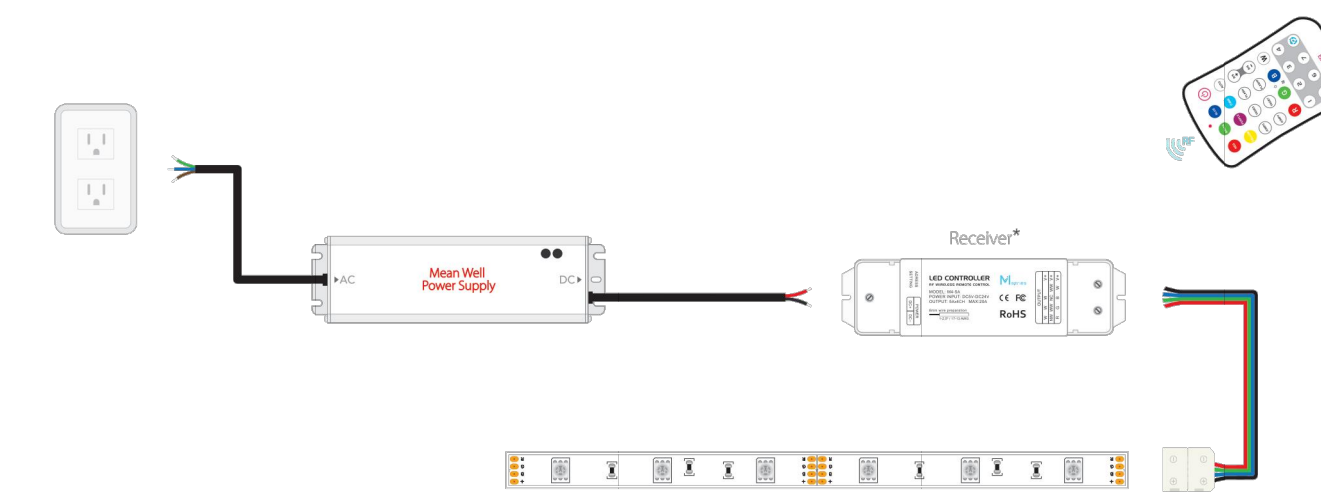
page 3

### Weatherproof Color Changing RGB 150 Series • Product Datasheet

### Dimming Options

Fixture "CL"

In-Line Dimming



\* The receiver and controller may differ from the one shown.

**Provide with three light colors and dimmers**

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page 4



SMITH DESIGN GROUP, INC.  
206 WEST HARALSON STREET  
LAGRANGE, GEORGIA 30240

706-882-5511  
www.SDGarch.net

SIGNATURE REQUIRED

REVISIONS

DATE	DESCRIPTION

PROJECT:

**TOURISM OFFICE RENOVATION**

206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:

**SITE LIGHTING DETAILS**

MODIFIED DATE:

JOB NO:  
**1918**

ISSUED DATE:

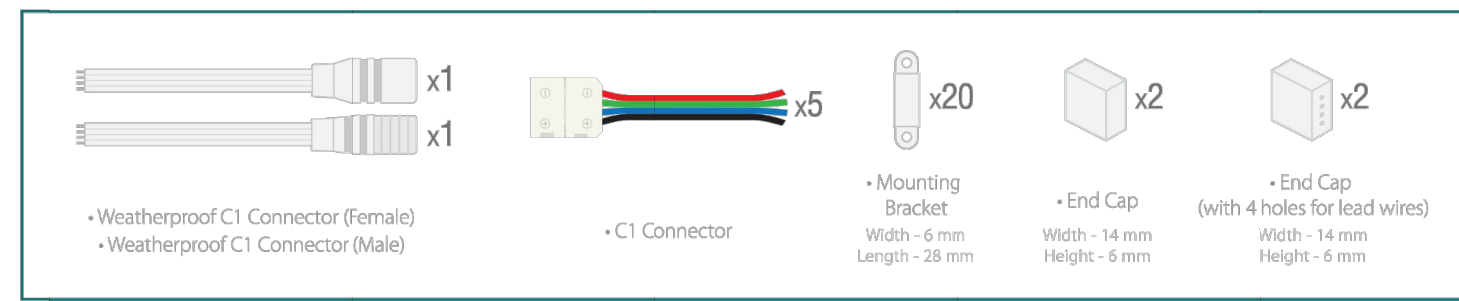
SHEET:  
**E-9**

FOR PRICING

**24 APR 2020**

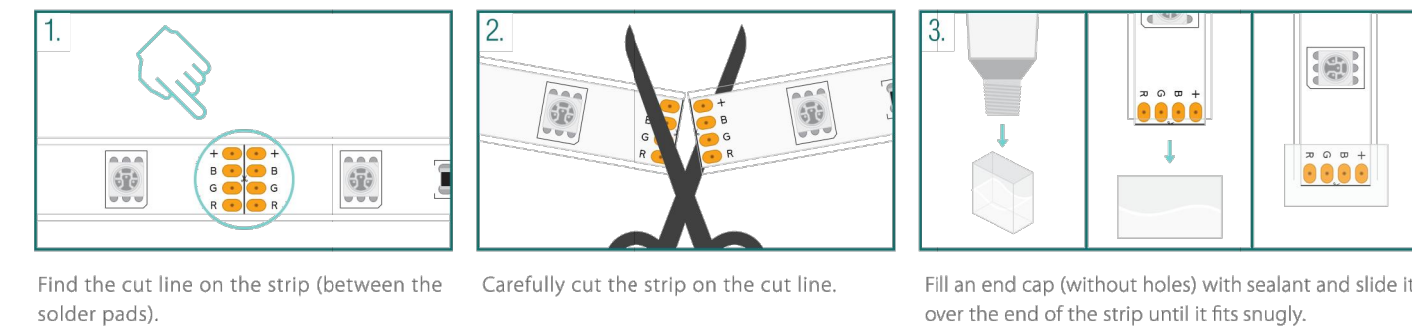
### Included Accessories

## Fixture "CL"



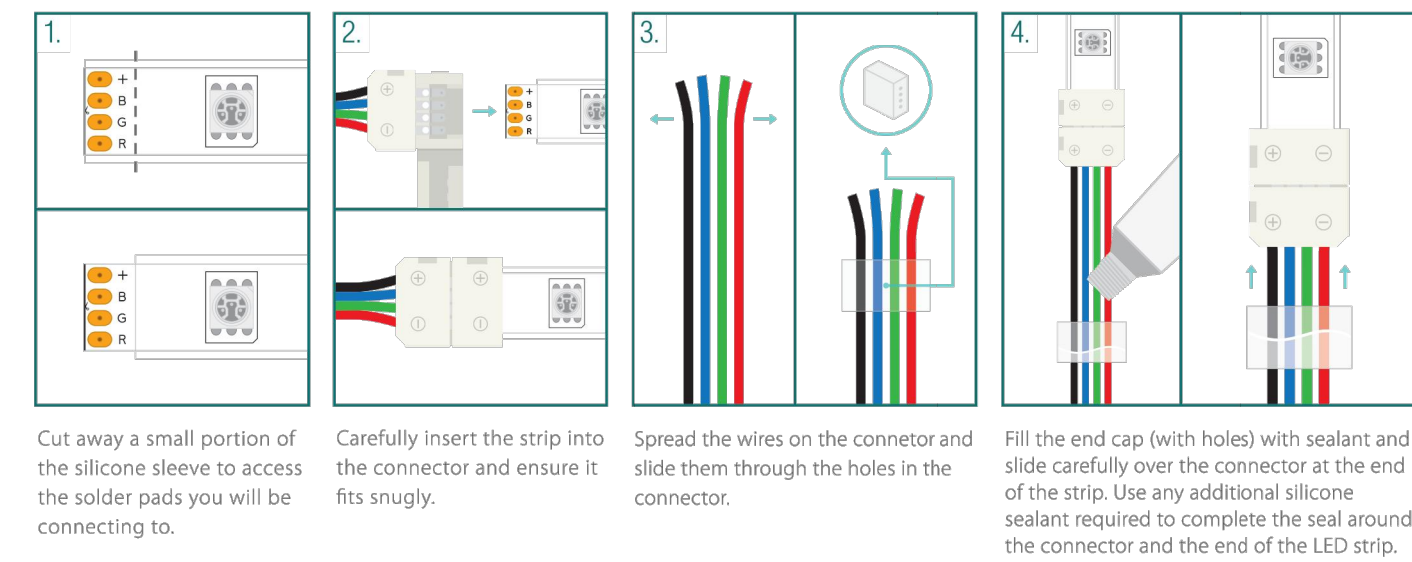
### Resealing Outdoor Strips

#### Sealing Outdoor Strips with End Caps



Find the cut line on the strip (between the solder pads). Carefully cut the strip on the cut line. Fill an end cap (without holes) with sealant and slide it over the end of the strip until it fits snugly.

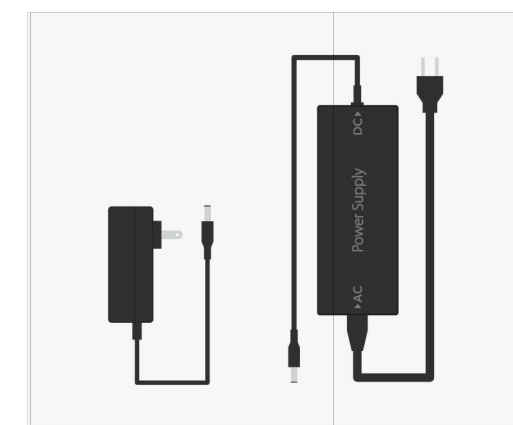
#### Sealing Outdoor Strips with End Caps and a Solderless Connector



Cut away a small portion of the silicone sleeve to access the solder pads you will be connecting to. Carefully insert the strip into the connector and ensure it fits snugly. Spread the wires on the connector and slide them through the holes in the connector. Fill the end cap (with holes) with sealant and slide carefully over the connector at the end of the strip. Use any additional silicone sealant required to complete the seal around the connector and the end of the LED strip.

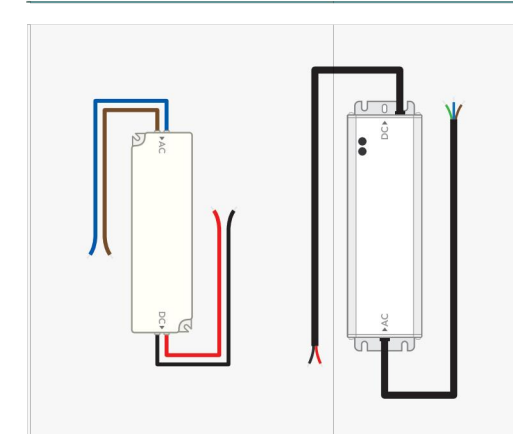
### Compatible Drivers (12V only) Fixture "CL"

#### Wall Mounted Power Supply / Desktop Power Supply



LED Strip Length	SKU
1-4 ft	12V-WMPS-1
5-9 ft	12V-DPS-2
10-18 ft	12V-DPS-4
18-26 ft	12V-DPS-6
22-35 ft	12V-DPS-8

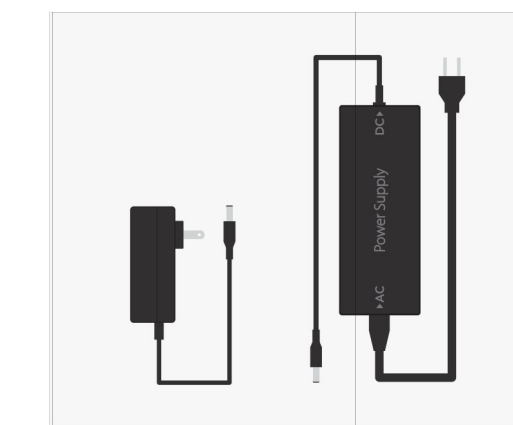
#### Mean Well



LED Strip Length	SKU	LED Strip Length	SKU
1-8 ft	LPV-20-12	61-108 ft	HLG-320H-12A
9-15 ft	HLG-40H-12A	109-185 ft	HLG-600H-12A
14-23 ft	HLG-80H-12A		
23-38 ft	LPV-100-12		
28-46 ft	HLG-120H-12A		
35-58 ft	HLG-150H-12A		
44-74 ft	HLG-240H-12A		

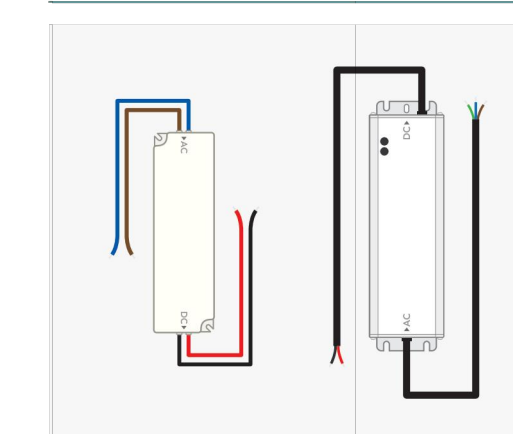
### Compatible Drivers (24V only) Fixture "CL"

#### Wall Mounted Power Supply / Desktop Power Supply



LED Strip Length	SKU
1-9 ft	24V-WMPS-1
9-22 ft	24V-DPS-2.5
22-35 ft	24V-DPS-4
28-44 ft	24V-DPS-5

#### Mean Well



LED Strip Length	SKU	LED Strip Length	SKU
1-8 ft	LPV-20-24	73-125 ft	HLG-320H-24A
8-13 ft	LPV-35-24	126-232 ft	HLG-600H-24A
9-15 ft	HLG-40H-24A		
14-23 ft	HLG-60H-24A		
22-37 ft	HLG-100H-24A		
28-46 ft	HLG-120H-24A		
43-71 ft	HLG-185H-24A		
55-92 ft	HLG-240H-24A		

### Compatible Aluminum Extrusion Fixture "CL"

#### KLUS GIP Anodized Extrusion (SKU: KL-B4574ANODA-1m)



- Covers**  
 - G-L Frosted Cover (SKU: KL-00413-1m)  
 - End Caps  
 - GIP - L End Cap without Wire Hole (SKU: KL-00306)
- Mounting Accessories**  
 - GP Surface Spring (SKU: KL-00293)  
 - minimum surface thickness 10mm (3/8")  
 - Mounting Bracket (SKU: KL-24143)

#### GIZA Anodized Extrusion (SKU: KL-B5556ANODA-1m)



- Covers**  
 - H5 22 Clear Cover (SKU: KL-17022-1m)  
 - H5 22 Frosted Cover (SKU: KL-17011-1m)  
 - End Caps  
 - GIZA End Cap without Wire Hole (SKU: KL-24007)
- Mounting Accessories**  
 - GP Surface Spring (SKU: KL-00293)  
 - minimum surface thickness 10mm (3/8")  
 - Mounting Bracket (SKU: KL-24143)

### Safety And Disclosures Fixture "CL"

- Installation must be in accordance with local and national electrical code regulations.
- To ensure safety and correct installation, our strips are intended to be installed by a qualified, licensed electrician.
- Only install with a Class 2 DC Constant Voltage LED driver to meet UL requirements.
- Do not install in environment where excessive heat may occur.
- LED strip lights must be handled with care. Excessive handling, bending, and pressure may damage the product, voiding the warranty.
- Do not install indoor LED tape light products in outdoor / wet location environments. Only use copper wiring. Use wires rated for at least 176°F (80°C) and certified for use with external connection of electrical equipment.
- Each maximum run requires a dedicated power feed from the driver. Do not extend beyond the recommended maximum run length.
- Make sure the appropriate gauge wire is installed between driver, LEDs, and any dimmers. When choosing wire, calculate voltage drop, maximum amperage rating, and the location ratings on the wire. Improper wire selection and installation could overheat wires, and cause fire.
- Do not modify product beyond instructions or warranty will be void.
- We reserve the right to modify and improve the design of our fixtures without prior notice. Although we try our best to order the same colors every time, due to changes in technology and phosphors over time, we cannot guarantee to match existing installed fixtures for subsequent orders or replacements in regards to product appearance, CCT, or lumen output.

### Warranty Information

This product has a 5-year limited warranty that starts from the date of shipment. Products must be installed as instructed for warranty to be valid. This warranty does not include the additional accessories referenced in this data sheet. Complete warranty details for fixtures and additional accessories are available at <https://www.flexfireds.com/returns-and-exchanges/> within the Policies section. For warranty related questions please contact our support team (support@flexfireds.com).



**SMITH DESIGN GROUP, INC.**  
 206 WEST HARALSON STREET  
 LAGRANGE, GEORGIA 30240  
 706-882-5511  
 www.SDGarch.net

REVISIONS		
DATE	DESCRIPTION	

PROJECT:  
**TOURISM OFFICE RENOVATION**  
 206 RIDLEY AVENUE  
 LAGRANGE, GEORGIA

TITLE:  
**SITE LIGHTING DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: <b>E-10</b>




**minkaAire**

Item # **F589-HT**  
Product Family Name: **Sundowner®**  
Category: **EXTERIOR FAN**  
Classification: **E75795**  
Patents:  
Notes:

UPC Code: **706411200397**  
Finish: **Heritage™**  
Category Type: **Ceiling Fan**

Image File Name: F589-HT.jpg



**MEASUREMENTS**

Blade Finish:	Reversible Blades: No
Blade Material: <b>ABS Construction</b>	Blade Pitch: <b>16 DEGREES</b>
Blade Sweep: <b>54"</b>	Blade Weight: <b>29.32</b>
Downrod 1: <b>6"</b>	Downrod 2 Outside Dia: <b>0.75"</b>
CEILING TO LOWEST POINT (Dim A): <b>15.0"</b>	Lead Wire: <b>80"</b>
	Motor Size: <b>188x20mm</b>

RPM: **50** | LowMed: **69** | Medium: **105** | MedHigh: **133**  
 Amps: **0.233** | Watts: **2.46** | CFM: **1747.0** | CFM/Watts: **184.67**

**LAMPING**

No. of Bulbs: <b>0</b>	Light Type: <b>N/A</b>
Max Bulb Socket:	
Light Kit: <b>No</b>	Dimmable: <b>No</b>
Bulb/LED Included:	Ballast: <b>No</b>
Color Temp:	Rated Life Hours: <b>No</b>
CRI:	Uplight: <b>No</b>
Initial Lumens:	Delivered Lumens:

**GLASS**

Description: <b>Etched Opal</b>	Material: <b>GLASS</b>
Part No.:	Quantity: <b>1</b>
Width:	Height: <b>11.00</b>
	Length: <b>11.00</b>

**FAN CONTROLS**

Works with Remote Control: <b>No</b>	Works with Wall Control: <b>Yes</b>
Included Remote Control: <b>Yes</b>	Included Wall Control: <b>No</b>
Compatible Remote Control(s): <b>WC105, WC106</b>	Compatible Wall Control(s): <b>WC105, WC106</b>

**SHIPPING**

Carton Width: <b>13.88</b>	Carton Height: <b>10.63</b>	Carton Length: <b>20.88</b>
Carton Weight: <b>31.24</b>	Carton Cubic Feet: <b>1.783</b>	Small Package Shipper: <b>Yes</b>
Master Pack Width: <b>13.88</b>	Master Pack Height: <b>10.63</b>	Master Pack Length: <b>20.88</b>
Master Pack Weight: <b>31.24</b>	Master Cubic Feet: <b>1.783</b>	Multi-Pack: <b>1</b>

Warnings: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.  
 For additional information, please contact Customer Care: 1-800-221-7977 / Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

**minkaAire**

Item # **F803L-BK**  
Product Family Name: **Artemis™**  
Category: **INTERIOR FAN**  
Classification: **E75795**  
Patents:  
Notes:

UPC Code: **706411055270**  
Finish: **High Gloss Black**  
Category Type: **Ceiling Fan**

Image File Name: F803L-BK.jpg



**MEASUREMENTS**

Blade Finish:	Reversible Blades: <b>No</b>
Blade Material: <b>PC BLADES</b>	Blade Pitch: <b>VARIABLE</b>
Blade Sweep: <b>58"</b>	Hanging Weight: <b>25.51</b>
Downrod 1: <b>6"</b>	Downrod 2 Outside Dia: <b>0.75"</b>
CEILING TO LOWEST POINT (Dim A): <b>13.0"</b>	Lead Wire: <b>80"</b>
	Motor Size: <b>188MMx25MM</b>

RPM: **62** | LowMed: **82** | Medium: **105** | MedHigh: **133**  
 Amps: **0.43** | Watts: **22.0** | CFM: **2982.0** | CFM/Watts: **129.65**

**LAMPING**

No. of Bulbs: <b>1</b>	Light Type: <b>LED</b>
Max Bulb Socket: <b>LED MODULE</b>	
Light Kit: <b>Yes</b>	Dimmable: <b>Yes</b>
Bulb/LED Included: <b>Yes</b>	Ballast: <b>Yes</b>
Color Temp.: <b>3000K</b>	Rated Life Hours: <b>30000</b>
CRI: <b>83</b>	Uplight: <b>No</b>
Initial Lumens:	Delivered Lumens: <b>1566.0</b>
Delivered Lumens:	

**GLASS**

Description: <b>Etched Opal</b>	Material: <b>GLASS</b>
Part No.:	Quantity: <b>1</b>
Width:	Height: <b>11.00</b>
	Length: <b>11.00</b>

**FAN CONTROLS**


Works with Remote Control: <b>Yes</b>	Works with Wall Control: <b>Yes</b>
Included Remote Control: <b>Yes</b>	Included Wall Control: <b>Yes</b>
Compatible Remote Control(s): <b>RCSE12</b>	Compatible Wall Control(s): <b>WCSE12</b>

**SHIPPING**

Carton Width: <b>22.0</b>	Carton Height: <b>8.88</b>	Carton Length: <b>35.0</b>
Carton Weight: <b>30.45</b>	Carton Cubic Feet: <b>3.957</b>	Small Package Shipper: <b>Yes</b>
Master Pack Width: <b>22.0</b>	Master Pack Height: <b>8.88</b>	Master Pack Length: <b>35.0</b>
Master Pack Weight: <b>30.45</b>	Master Cubic Feet: <b>3.957</b>	Multi-Pack: <b>1</b>

Warnings: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.  
 For additional information, please contact Customer Care: 1-800-221-7977 / Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

**REJUVENATION**




**Carson 12" Cord Pendant with Cage**  
Gloss Green  
Item #A1903  
<http://www.rejuvenation.com/s/18f33>

Specification	Detail
Item #	A1903
Width	12"
Height	10"-100" (includes 8 ft of wire)
Weight	15 lbs.
Number of Sockets	1
Maximum Wattage	100W
UL Location Rating	Dry
Canopy Diameter	5"
Canopy Height	3/4"
Fitter and Installed Shade Height	7"
Shade Diameter	12"

UL LISTED

WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.  
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Color Crown Cup Chandelier 30"  
51000



**dutton brown**

Available Finishes:  
Satin brass, polished nickel, and satin black  
Available in multiple colors. Custom colors also available.

Material:  
Brass, steel

Wiring:  
Configured to be hard-wired

Lampholder:  
Ten medium base (E26) sockets

Rating:  
120V 60Hz, MAX 60W, Type A bulbs (not included); fixture is dimmable. Fixture may be labeled for lower maximum wattage to meet energy efficiency requirements by request. UL listed for dry locations. Damp location available by request.

**UL** LISTED

Hanging Method:  
Fixture includes two 6" rods and one 12" rod. Minimum fixture height of 13" achieved using one 6" rod. Extension rods may be added and are available in 2", 4", 6", and 12" lengths.


Measurements:

Canopy	5.7"
Fixture Height	10.5"
Hanging Height	13-31"
Width	30"
Weight	12 lbs

Dutton Brown Design LLC  
1-612-789-0530  
support@duttonbrown.com  
www.duttonbrown.com

Instagram.com/duttonbrown  
facebook.com/duttonbrown  
pinterest.com/duttonbrown

ARCHITECTS STAMP



SIGNATURE REQUIRED

**SMITH DESIGN GROUP, INC.**  
206 WEST HARALSON STREET  
LAGRANGE, GEORGIA 30240  
706-882-5511  
www.SDGarch.net

REVISIONS	
DATE	DESCRIPTION

PROJECT:  
  
**TOURISM OFFICE RENOVATION**  
  
206 RIDLEY AVENUE  
LAGRANGE, GEORGIA

TITLE:  
  
**LIGHTING DETAILS**

MODIFIED DATE:	JOB NO: <b>1918</b>
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FOR PRICING 24 APR 2020	