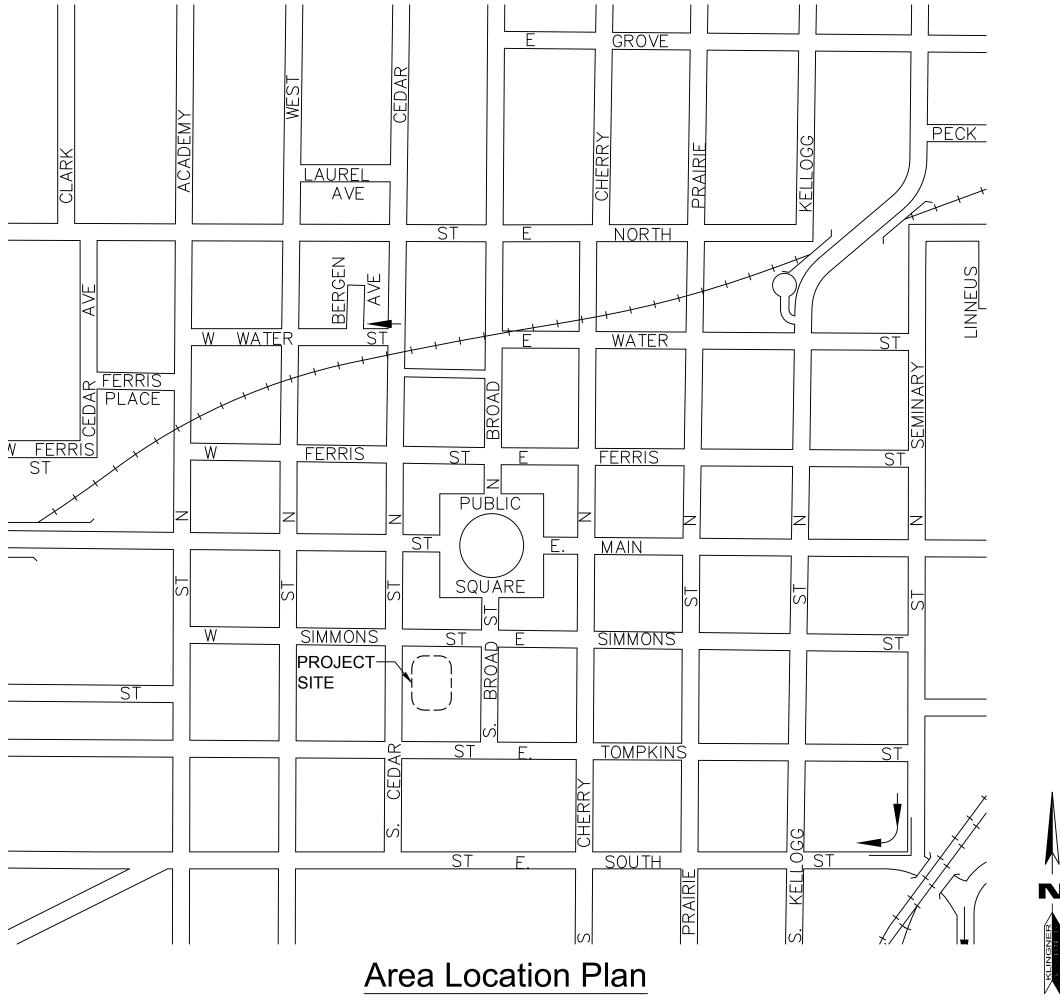
CITY OF GALESBURG PUBLIC SAFETY BUILDING INTERIOR RENOVATIONS - PHASE IIIB 150 SOUTH BROAD STREET GALESBURG, ILLINOIS, 61401

OWNER: CITY OF GALESBURG 55 WEST TOMPKINS STREET GALESBURG, ILLINOIS 61401

ARCHITECT / ENGINEER: KLINGNER & ASSOCIATES, P.C. 49 NORTH PRAIRIE STREET GALESBURG, ILLINOIS 61401 TEL. (309) 342-4042





TITLE SHEET, ABBREVIATIONS, AND SYMBOLS

BASEMENT LEVEL FLOOR REMOVAL PLAN

AD102 BASEMENT LEVEL SELECTIVE DEMOLITION PLAN

AD103 MAIN LEVEL SELECTIVE DEMOLITION PLAN

AD104 6TH LEVEL FLOOR PLAN SELECTIVE DEMOLITION

BASEMENT FLOOR - FLOOR PLAN, PARTITION TYPES

MAIN LEVEL - FLOOR PLAN, INTERIOR ELEVATION

EXTERIOR ELEVATIONS AND WINDOW DETAILS

ASEMENT FLOOR - REFLECTED CEILING PLAN

MAIN LEVEL - REFLECTED CEILING AND

ASEMENT FLOOR - FLOOR FINISHES PLAN

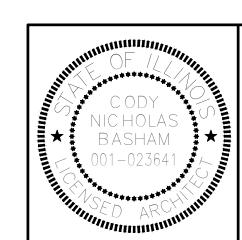
BASEMENT FLOOR - PLUMBING PLANS

LEVEL 2 - PLUMBING PLANS

BASEMENT - ELECTRICAL PLANS

LEVEL 4 - ELECTRICAL PLAN

LEVEL 6 - ELECTRICAL PLAN



THE PORTION OF THE TECHNICAL SUBMISSION DESCRIBED BELOW HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION AND RESPONSIBLE CHARGE OF THE UNDERSIGNED.

CODY NICHOLAS BASHAM LICENSED ARCHITECT ILLINOIS REGISTRATION NO. 001-023641 LICENSE EXPIRATION DATE: 11/30/18 KLINGNER & ASSOCIATES P.C.

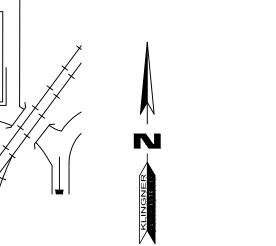
DATE OF ISSUANCE: 12/19/16

SET NO.

PROJECT NO. 3215-073 (15-3027) **DECEMBER 19, 2015** DATE:

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ABBREVIATIONS ANGLE, LONG EAST RADIUS, RANGE, RISER, THERMAL RESISTANCE LAM ANCHOR BOLT EACH LAMINATE(D) **RUBBER BASE** LAM GL **ELECTRICAL (SUB)CONTRACTOR** LAMINATED GLASS AIR CONDITIONER RCP REFLECTED CEILING PLAN ALUMINUM COMPOSITE MATERIAL LAV LAVATORY ACM EXHAUST FAN RD ROOF DRAIN, ROAD LBS POUND ACP REBAR ACOUSTICAL CEILING PANEL **EXPANSION JOINT** REINFORCING STEEL BARS LED ADA LIGHT EMITTING DIODE REINF AMERICANS WITH DISABILITIES ACT **ELEVATION** REINFORCE, REINFORCING LIN LINEAR ADD REQD ADDENDUM ELEC ELECTRIC REQUIRED LIVE LOAD ADJ **ADJACENT** EQ **EQUAL** REV REVISION(S), REVISED LLH LONG LEG HORIZONTAL ET CETERA AFF ABOVE FINISHED FLOOR ETC RM LONG LEG VERTICAL AMERICAN INSTITUTION OF ARCHITECTS EW AIA **EACH WAY** ROUGH OPENING LOUVER ALT ALTERNATE **EWC** ELECTRIC WATER COOLER ROW RIGHT OF WAY ALUM ALUMINUM EXISTING RUBBER STAIR TREADS EX, EXIST METER(S) RTU APPROX **APPROXIMATE EXPANSION** ROOF TOP UNIT MAX MAXIMUM ARCH ARCHITECT (URAL) EXT **EXTERIOR** MC MECHANICAL (SUB)CONTRACTOR ASPH SOUTH **ASPHALT** MECH AUTO MECHANIC(AL) **AUTOMATIC** FIRE ALARM SAN SANITARY MEP MECHANICAL, ELECTRICAL, & PLUMBING AVG **AVERAGE FACE BRICK** SCHED SCHEDULE MEZZ MEZZANINE FURNISHED BY OTHERS FBO SMOKE DETECTOR MFR MANUFACTURER **BOTTOM OF** FCO SECT FLOOR CLEAN OUT SECTION MH MANHOLE BASEBOARD FLOOR DRAIN BB FD SQUARE FEET MIN MINIMUM FOUNDATION BOARD SHEET MISC **MISCELLANEOUS BITUMINOUS** FIRE EXTINGUISHER SIMILAR MM MILLIMETER(S) BLDG BUILDING FEC FIRE EXTINGUISHER CABINET SLR SEALER MO MASONRY OPENING FF&E SNT BLK BLOCK FURNITURE, FIXTURE AND SEALANT MTD MOUNTED BM BENCHMARK **EQUIPMENT** SPEC SPECIFICATION(S) MTL METAL BOF **BOTTOM OF FLASHING** FF EL FINISHED FLOOR ELEVATION S&V STAIN & VARNISH BOT FINISH(ED) STAINLESS STEEL BRG **BEARING** FIN GR FINISH GRADE STREET NORTH BSMT **BASEMENT** FLOW LINE STD STANDARD NOT APPLICABLE BTW BETWEEN FLR FLOOR(ING) STL STEEL NATIONAL ELECTRICAL CODE NEC FACE OF FINISH STORAGE NATIONAL FIRE PROTECTION CFMF **COLD-FORMED METAL** FIBER REINFORCED PLASTIC STRUCT STRUCTURAL **ASSOCIATION** FRAMING FEET, FIRE TREATED SHEET VINYL NIC NOT IN CONTRACT CFT CERAMIC FLOOR TILE FTG FOOTING SWI STORM WATER INLET NO NO NUMBER CIR CIRCLE **FURN** FURNITURE SYMM SYMMETRICAL NOM NOMINAL SECTION INDICATOR CONTROL JOINT NOISE REDUCTION COEFFICIENT GA GAGE, GAUGE TREAD CENTER LINE NTS GALV NOT TO SCALE TOP OF GALVANIZED CLG CEILING CLO CLOSET GC GENERAL CONTRACTOR T&B **TOP & BOTTOM** OC ON CENTER(S) CLEAR GLAZED CONCRETE T&G **TONGUE & GROOVE** OUTSIDE DIAMETER OD CM CENTIMETER(S) TERM MASONRY UNIT TERMINATION, TERMINAL CMT OPH OPPOSITE HAND THK CERAMIC MOSAIC TILE GALVANIZED IRON THICK(NESS) CONCRETE MASONRY UNIT OPNG OPENING CMU GLASS THRU THROUGH OPP OPPOSITE CO **CLEAN OUT** GPB TMPD GL GYPSUM PLASTERING BASE TEMPERED GLASS INTERIOR ELEVATION INDICATOR COL COLUMN GR GRADE, GRADING TUBE STEEL PAR PARALLEL GWB CONC CONCRETE GYPSUM WALLBOARD TYP TYPICAL PIECE CONSTRUCTION GYP CONST GYPSUM PCF POUNDS PER CUBIC FOOT CONT CONTINUOUS UH **UNIT HEATER PERF** PERFORATED CONTRACTOR **HANDICAP UNDERWRITERS LABROTORIES** CONTR PROPERTY LINE COTG CLEAN OUT TO GRADE HARDWOOD ULMT UNDERLAYMENT PLAM PLASTIC LAMINATE UNEX CPT **HOLLOW METAL** UNEXCAVATED CARPET PLAS PLASTER UNLESS NOTED OTHERWISE CS HORIZ UNO COMPOSITION STONE HORIZONTAL PLBG PLUMBING CT CERAMIC TILE HORSE POWER ULTRAVIOLET PLF POUNDS PER LINEAL FOOT CU FT CUBIC FOOT HEIGHT PLATE GLASS PL GL VAV VARIABLE AIR VOLUME CU YD CUBIC YARD HTG HEATING PLYWD PLYWOOD HEATING/VENTILATING/ VINYL BASE PNL PANEL DOUBLE AIR CONDITIONING VCT VINYL COMPOSITION TILE DBL **POLYISO** POLYISOCYANURATE **DEMOLITION VERT** DEMO VERTICAL DRINKING FOUNTAIN INTERNATIONAL BUILDING CODE VERIFY IN FIELD PREFAB PREFABRICATE(D) VOC VOLATILE ORGANIC COMPOUND DIAMETER INSIDE DIAMETER PREFIN PREFINISH IGU DIAG DIAGONAL **INSULATING GLASS UNIT** VINYL TILE ROCK PROJ **PROJECT** INSUL DEAD LOAD INSULATION VTR **VENT THROUGH ROOF**

PSF

INTERIOR

JANITOR

JUNCTION BOX

JANITOR'S CLOSET

INVERT

DR

DS

DTL

DWG

DOOR

DETAIL

DOWNSPOU⁷

DRAWING

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

POINT, PRESSURE TREATED

QUARRY TILE

VWC

W/O

WIN

VINYL WALL COVERING

WOOD BASE

WOOD WIRE GLASS

WITHOUT

WINDOW

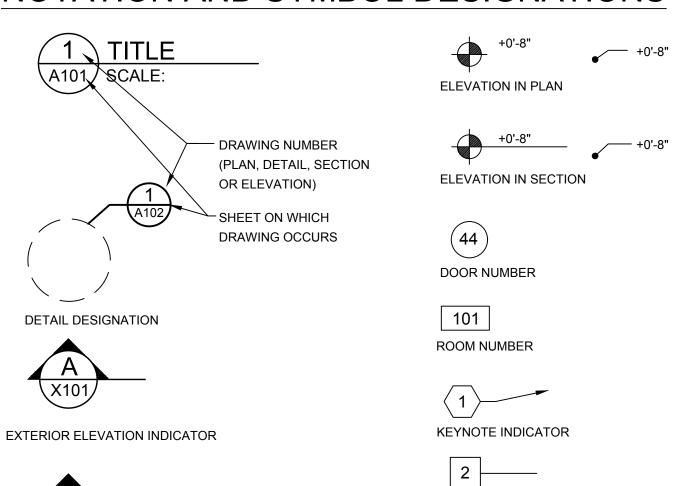
WATER CLOSET

WALL CLEAN OUT

WELDED WIRE FABRIC

WEST, WATT, WIDE, WASTE

NOTATION AND SYMBOL DESIGNATIONS



GENERAL NOTES

- 1. THE CONTRACTOR(S) SHALL CONFIRM CONDITIONS DESCRIBED HEREIN AND TELL ARCHITECT OF ANY DISCREPANCIES ENCOUNTERED PRIOR TO STARTING WORK AFFECTED THEREBY.
- 2. THE CONTRACTOR(S) SHALL MEET ALL APPLICABLE CODES AND REGULATIONS INCLUDING BUT NOT LIMITED TO:
- 2012 INTERNATIONAL BUILDING CODE 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL FIRE CODE 2014 NATIONAL ELECTRICAL CODE 2014 ILLINOIS PLUMBING CODE

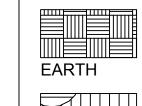
2012 INTERNATIONAL FUEL GAS CODE

- 2012 INTERNATIONAL ENERGY CONSERVATION CODE PER THE ILLINOIS ENERGY
- EXISTING BUILDING CODE PER ILLINOIS PUBLIC ACT 096-0704: 2000 NFPA 101 LIFE SAFETY CODE (INCLUDING REQUIREMENTS FOR EXISTING BUILDINGS) PER ILLINOIS FIRE INVESTIGATION ACT 425 ILCS 25.
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OSHA COMPLIANCE AND JOB SITE SAFETY.
- CONTRACTOR(S) SHALL VERIFY LOCATIONS OF ALL UTILITIES (TELEPHONE, DATA, GAS, ELECTRIC, SANITARY AND STORM SEWERS, ETC.) AT THE SITE BEFORE STARTING EXCAVATION OR CONSTRUCTION. THESE ITEMS SHALL BE MARKED AND PROTECTED.
- CONTRACTOR(S) SHALL TAKE PRECAUTIONS NECESSARY TO PROTECT ADJACENT PROPERTY FROM DAMAGE RESULTING FROM CONSTRUCTION
- THE CONTRACTOR(S) SHALL SUBMIT EVIDENCE OF INSURANCE TO OWNER AND 6. HAVE IT APPROVED AS ACCEPTABLE TO OWNER PRIOR TO STARTING WORK.
- CONTRACTOR(S) SHALL REPORT ANY SUSPICIOUS MATERIALS (POTENTIALLY HAZARDOUS) AT THE SITE IMMEDIATELY TO THE OWNER FOR HIS/HER FURTHER ACTION, UNLESS NOTED SPECIFICALLY ON THE DRAWINGS OR PROJECT MANUAL THE ARCHITECT/ENGINEER IS NOT AWARE OF ANY HAZARDOUS MATERIALS AND HAS NOT BEEN HIRED BY THE OWNER TO DEAL WITH SUCH.

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MATERIAL DESIGNATIONS

BRICK



GRANULAR FILL

Δ . Δ . Δ

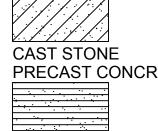
CONCRETE MASONRY

CONCRETE

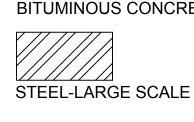
UNITS

\X101,

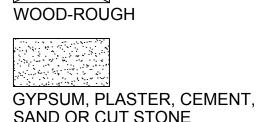








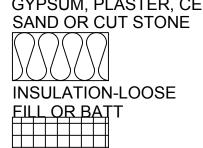




WALL TYPE INDICATOR

BUILDING COLUMN LINE

WINDOW TYPE

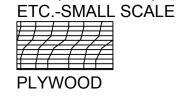




STUD WALL

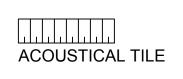


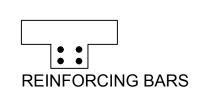


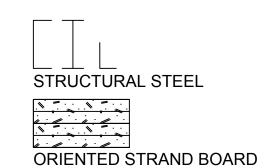




LAMINATED PLASTIC







PARTICLE BOARD



PHA SALESBURG H BROAD ST. ILLINOIS 61 RENOVATIONS RIOR NTE

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S Д Non-Reduced Sheet Size: 24" x 36" Full sized plans have been prepared using standard s

SCALE: DESIGNED DRAWN FIELD FIELD BOOK CHECKED CHECK DATE 12/15/16 SHEET TITLE

TITLE SHEET ABBREVIATIONS, AND SYMBOLS

PROJECT NO. 3215-073 (15-3027) DRAWING ISSUED DATE

G10²

NOTES

FLOOR TILE TO BE REMOVED INDICATED ON PLAN WITH DIAGONAL HATCH PATTERN.

PHASE

CITY OF GALESBURG 150 SOUTH BROAD ST. GALESBURG, ILLINOIS 61401 INTERIOR RENOVATIONS PSB

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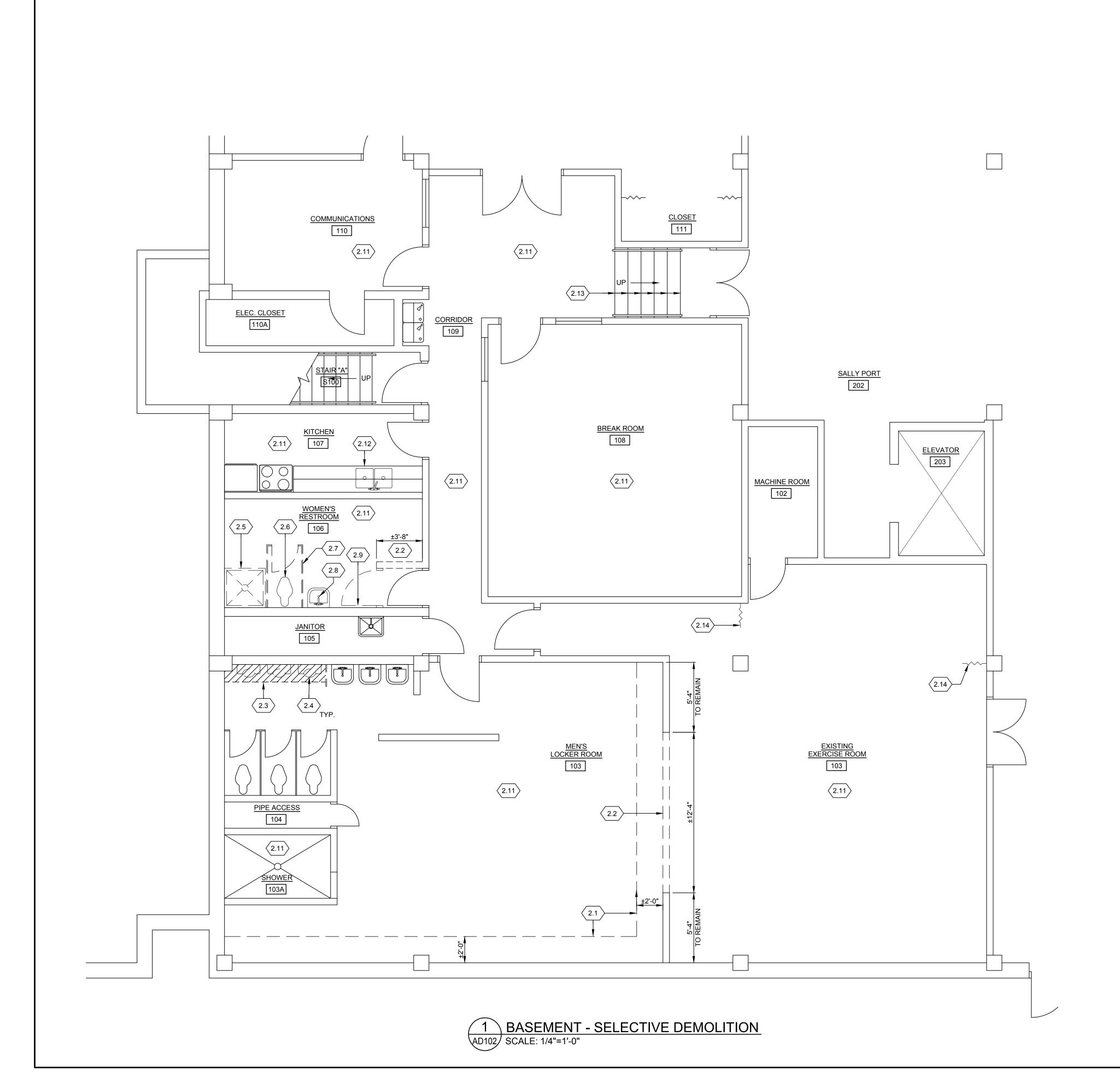
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SHEET TITLE BASEMENT FLOOR -FLOOR TILE REMOVAL PLAN

> PROJECT NO. 3215-073 (15-3027) DRAWING ISSUED DATE: 12/14/16 SHEET

> > AD101

0 2' 4' SCALE: 1/4" = 1'-0"



GENERAL NOTES

- 1. CONTRACTOR TO REMOVE EXISTING ACOUSTICAL PANEL CEILING WHERE INDICATED ON PLAN. PROTECT AND REUSE EXISTING LIGHTING, CAMERAS, SMOKE DETECTORS, AND ANY OTHER ITEMS IN EXISTING ACOUSTICAL PANEL CEILING.
- 2. CONTRACTOR SHALL TAKE STEPS ON A DAILY BASIS TO ASCERTAIN EFFECTIVENESS OF THE CONTROL METHOD(S) RELIED ON TO ASSURE THAT DUST FROM OPEN PLENUM CEILING DO NOT MIGRATE TO ADJACENT WORK AREAS.
- 3. REMOVE EXISTING WALL BASE WHERE NEW FLOORING TO BE INSTALLED U.N.O.
- 4. SEE PLUMBING DRAWINGS FOR FLOOR DEMOLITION IN NEW WOMEN'S RESTROOM. PATCH FLOOR AS NECESSARY FOR NEW FLOORING.
- 5. CONTRACTOR SHALL REMOVE EXISTING LOCKERS IN MEN'S AND WOMEN'S LOCKER ROOMS AND PLACE IN SALLY PORT FOR OWNER TO REUSE.
- 6. CONTRACTOR SHALL MOVE EXISTING EXERCISE EQUIPMENT CURRENTLY LOCATED IN EXERCISE ROOM TO BE RELOCATED ON 6TH LEVEL NORTH END IN NEW EXERCISE ROOM.

KEYNOTES

- 2.1 REMOVE EXISTING 4" HIGH CONCRETE LOCKER BASE. HAVE #3 DOWELS @ 2'-0" O.C. STAGGERED INTO EXISTING FOR NEW FLOORING.
- REMOVAL.
- REMOVE EXISTING MOSAIC FLOOR TILE AT FLOOR MOUNTED
- \langle 2.4 \rangle REMOVE EXISTING FLOOR MOUNTED URINALS. PATCH FLOOR AS NECESSARY FOR NEW FLOORING.
- 2.6 REMOVE EXISTING WALL
- REMOVE EXISTING TOILET PARTITION.
- 2.8 REMOVE EXISTING WALL MOUNTED SINK.
- FRAME. PATCH WALL AS

- 2.12 REMOVE EXISTING LAMINATE COUNTER, BACKSPLASH, (2)
- TREADS AND RISERS.
- WALL PARTITION AND CEILING MOUNTED SYSTEM.

- CONCRETE BASE EXPECTED TO CONCRETE SLAB BELOW. PATCH CONCRETE SLAB AS NECESSARY
- 2.2 SAWCUT AND REMOVE EXISTING 6" CMU WALL FROM FLOOR TO CONCRETE STRUCTURE ABOVE. BRACE AS NECESSARY DURING
- URINALS.
- REMOVE EXISTING FIBERGLASS SHOWER UNIT AND SHOWER BASE.
- MOUNTED TOILET.
- 2.8 REMOVE EXISTING WALL MOUNTED SINK.
- 2.9 REMOVE EXISTING HM DOOR AND NECESSARY FROM FRAME ANCHORS.
- $\langle 2.10 \rangle$ OMIT
- 2.11 REMOVE EXISTING ACOUSTICAL PANEL CEILING SYSTEM.
- BASIN SINK, AND FAUCET.
- (2.13) REMOVE EXISTING RESILIENT
- (2.14) REMOVE EXISTING MOVEABLE

PHA

GALESBURG TH BROAD ST. G, ILLINOIS 614

Full sized plans have been prepared using standard so Reduced size plans may not conform to standard scale

SHEET TITLE

PROJECT NO. 3215-073 (15-3027) DRAWING ISSUED DATE:

12/14/16 SHEET

AD102

BASEMENT FLOOR SELECTIVE **DEMOLITION**

FIELD BOOK

CHECK DATE

12/15/15

SCALE:

CHECKED

CNB

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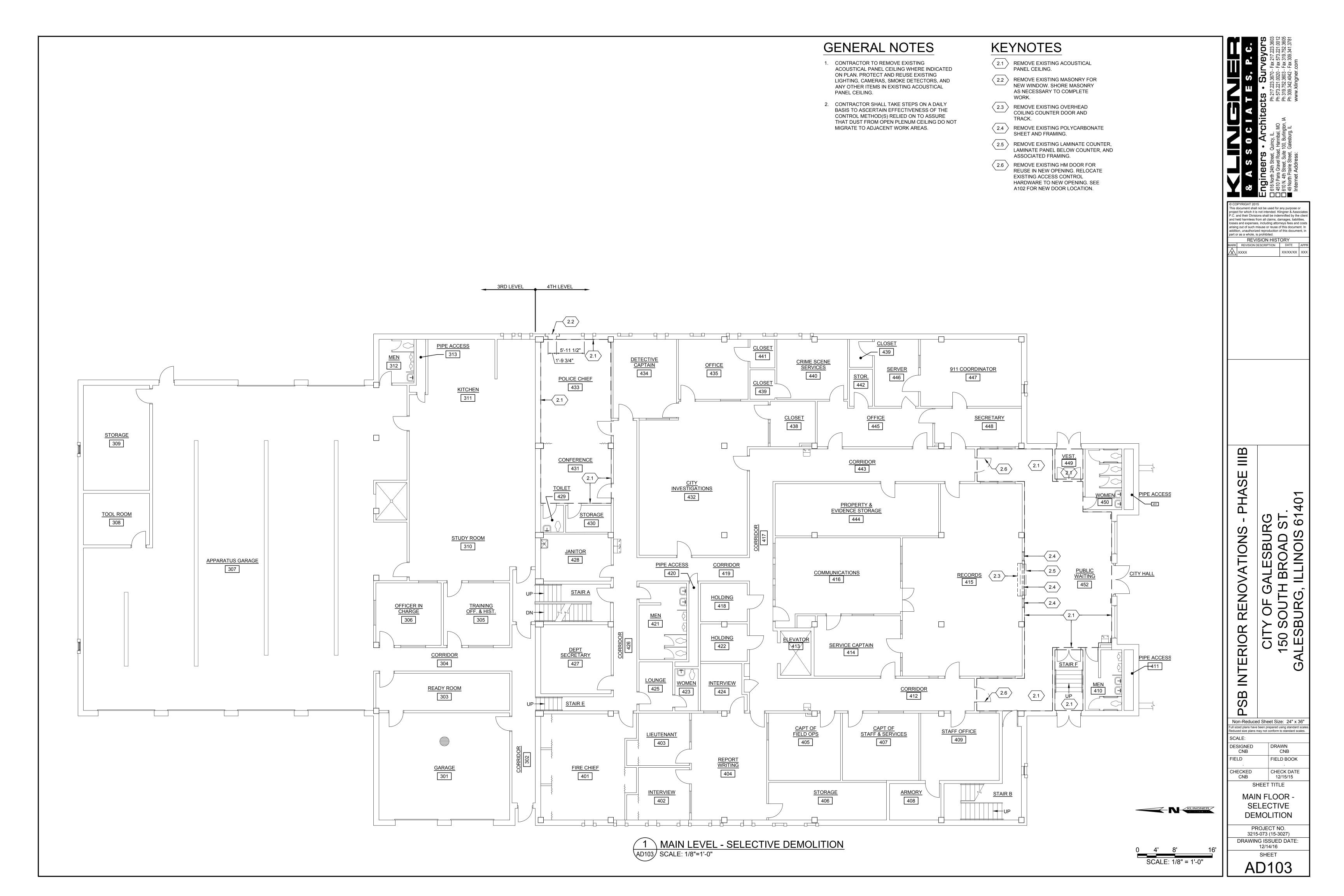
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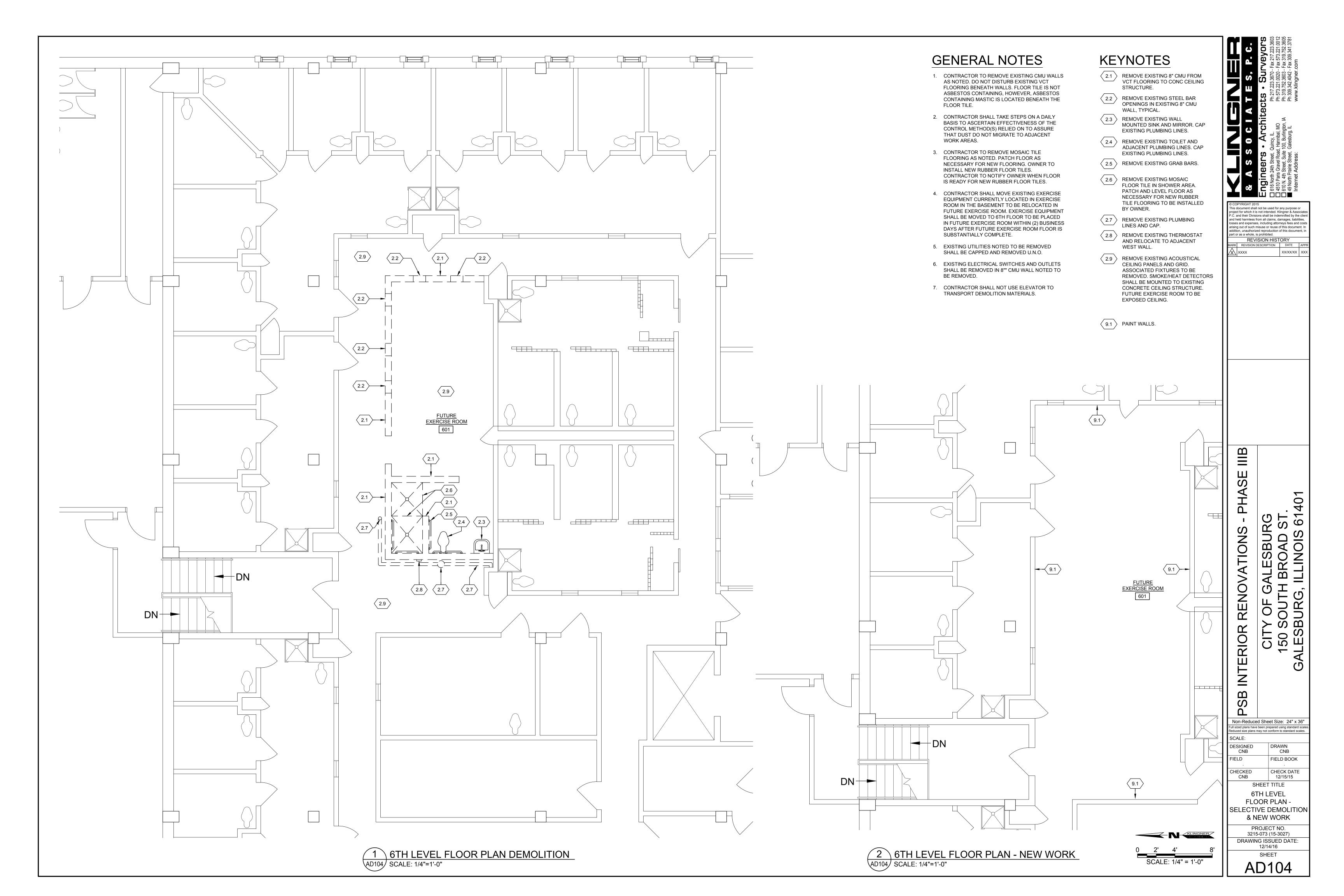
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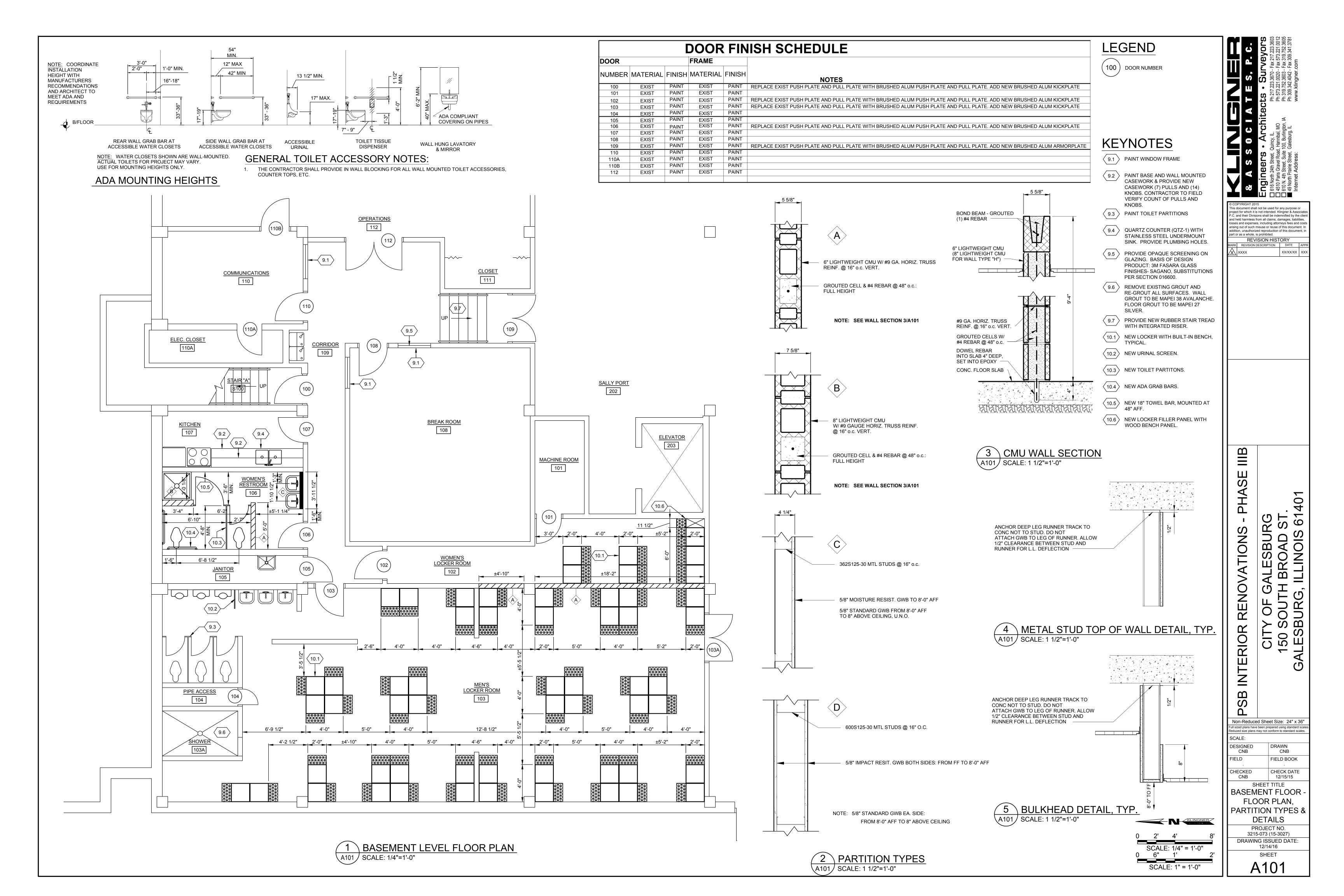
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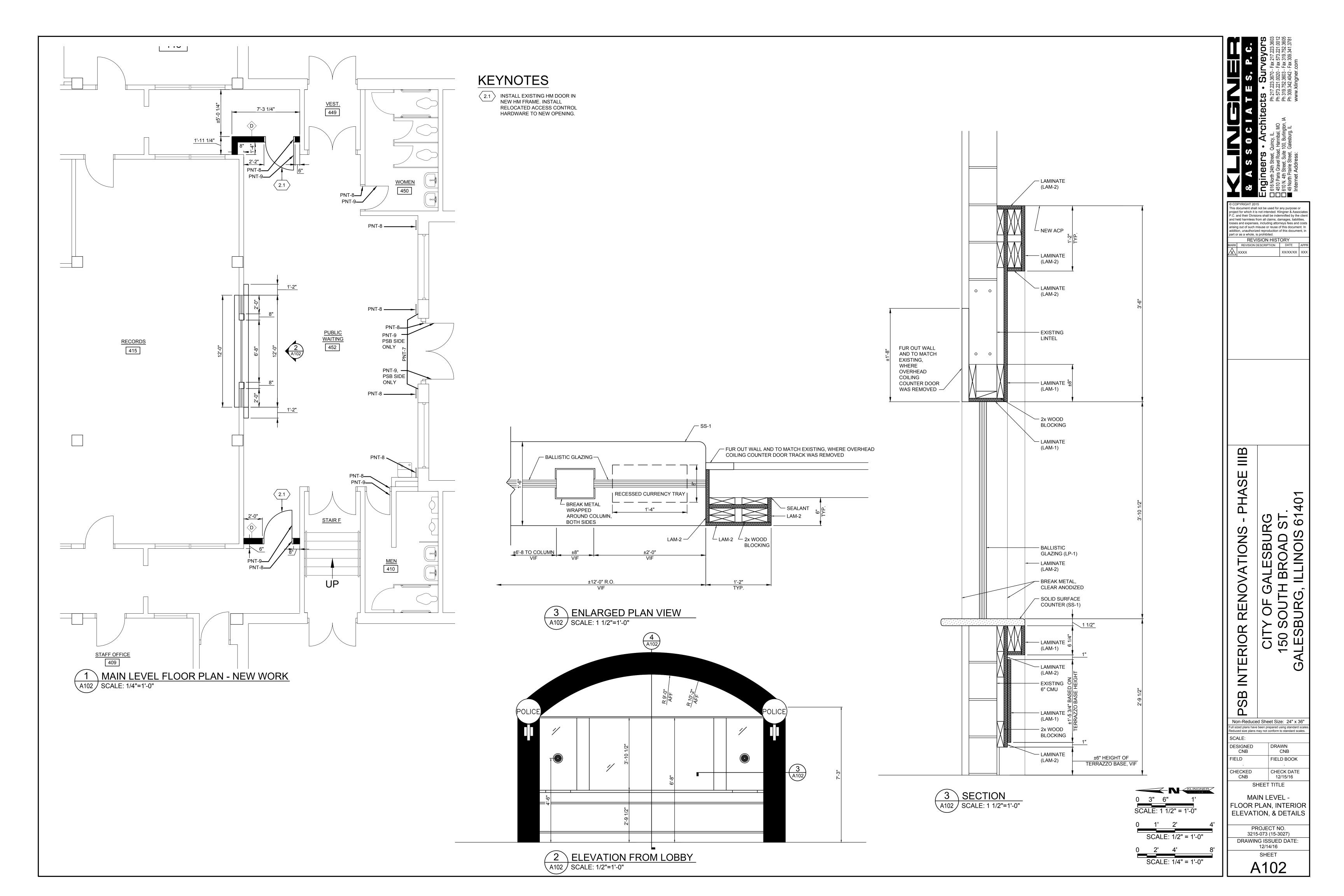
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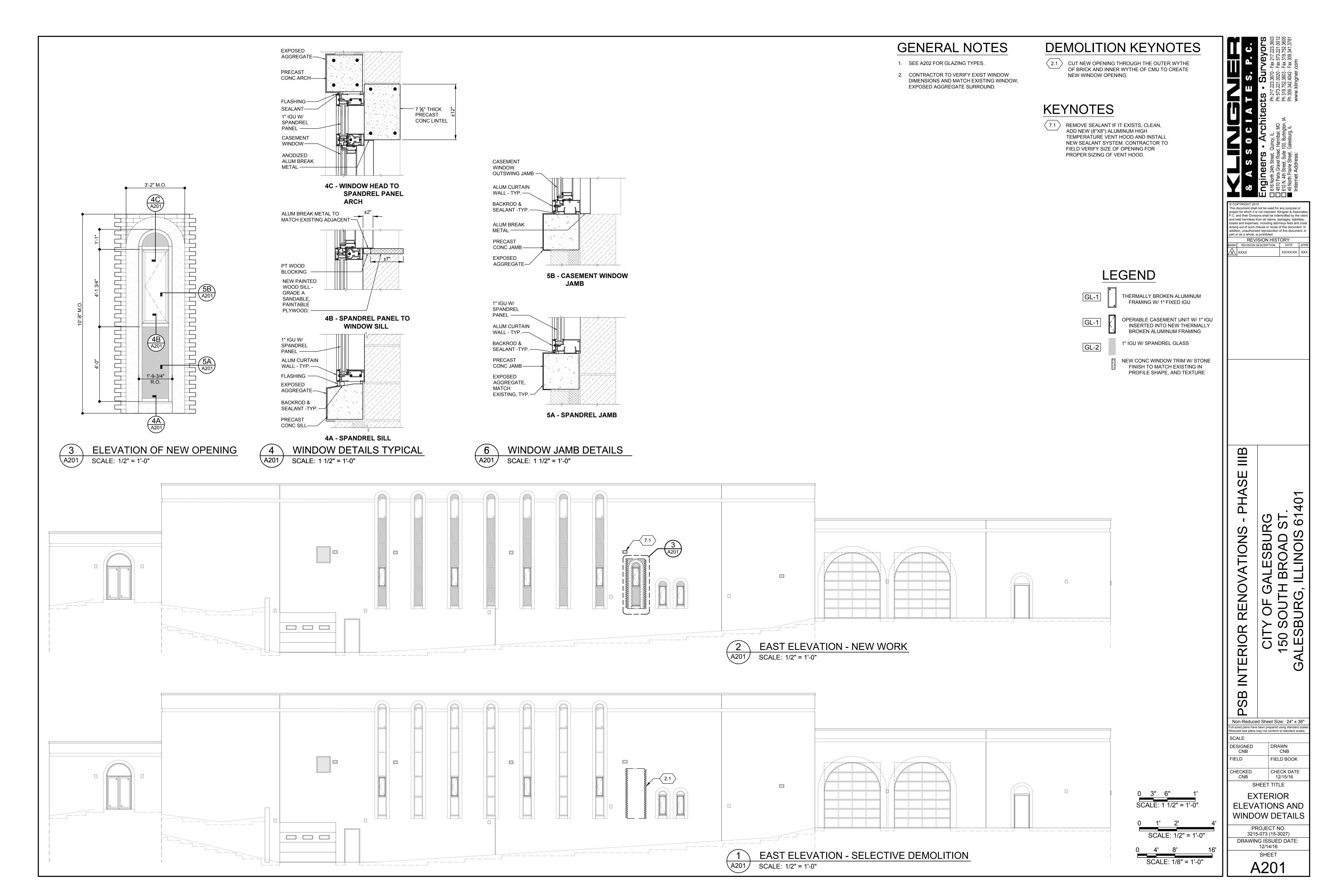
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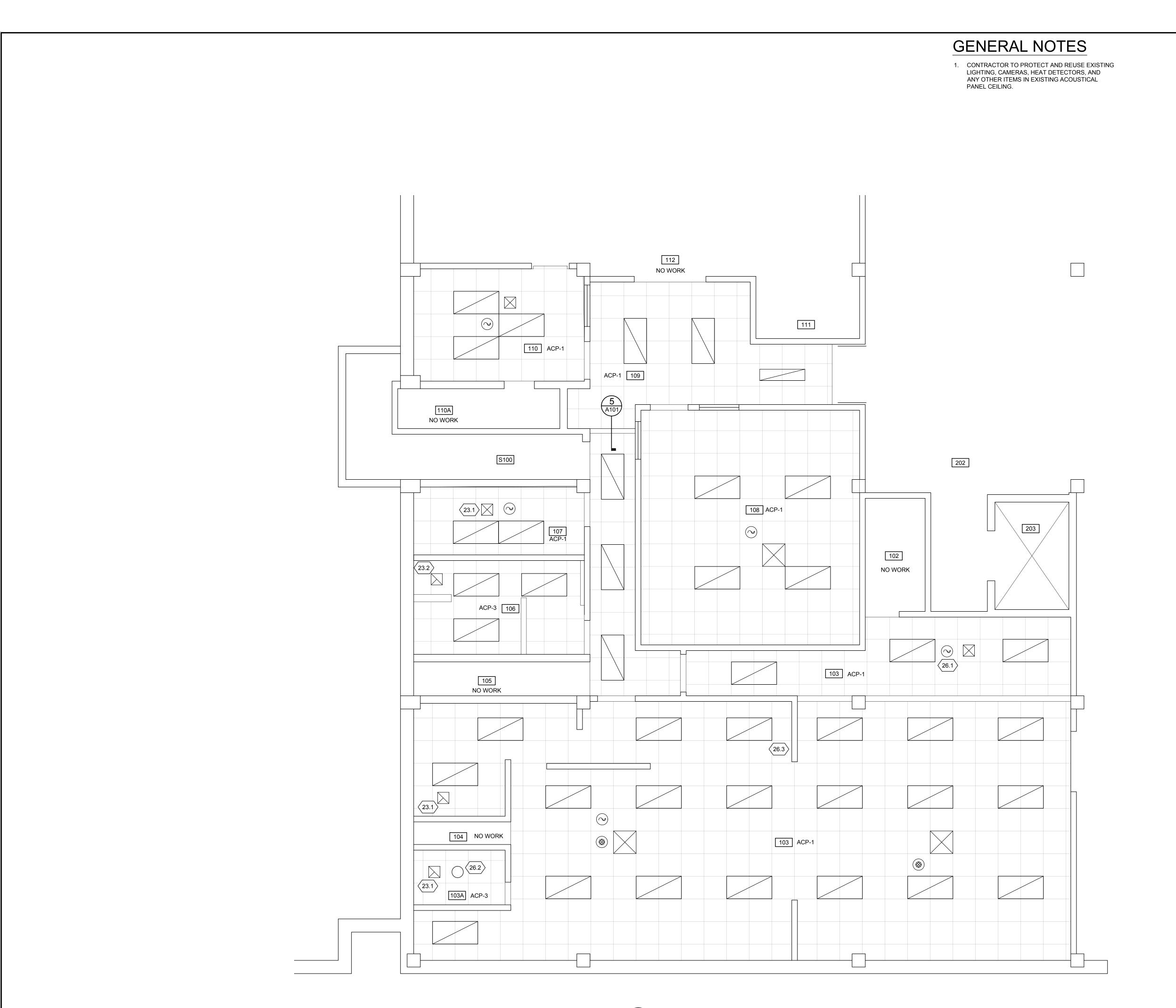












LEGEND

A

ACP = 24x24 ACOUSTICAL CEILING PANEL IN SUSPENDED MTL GRID

ACP-1 TYPICAL ACP CEILING

ACP-2 24x48 ACP CEILING SUSPENDED MTL GRID

ACP-3 MOISTURE PESISTANT 24x48 ACP CEILING

ACP-3 MOISTURE-RESISTANT 24x48 ACP CEILING SUSPENDED MTL GRID

EXISTING SUPPLY DIFFUSER

EXISTING CEILING EXIT LIGHT

EXISTING EXHAUST VENT

EXISTING SUPPLY DIFFUSER

EXISTING 2x4 LIGHT FIXTURE

EXISTING 2x4 LIGHT FIXTURE - EGGCRATE

© EXISTING CAMERA

EXISTING SPEAKER

EXISTING OCCUPANCY SENSOR

EXISTING OUTLET COVER

EXISTING SPRINKLER HEAD

KEYNOTES

PROVIDE NEW ALUMINUM FRAME BAR GRILL, MATCH EXISTING SIZE. FINISH SATIN.

23.2 RELOCATE EXISTING EXHAUST APPROXIMATELY 4'-6" DUE EAST TO BE LOCATED OVER NEW SHOWER UNIT. PROVIDE NEW ALUMINUM FRAME BAR GRILL, MATCH EXISTING SIZE. FINISH SATIN.

RELOCATE EXISTING SENSOR FROM EXISTING EXERCISE ROOM.
TO NEW WOMEN'S LOCKER ROOM.

REPLACE EXISTING CEILING LIGHT WITH NEW RECESSED LIGHT. SEE E101 MORE INFORMATION.

AT SAME ELEVATION.

ANNUNCIATOR AT WALL TO BE

REMOVED DUE EAST AND MOUNT

23.3 RELOCATE EXISTING FIRE

INTERIOR RENOVATIONS - PHASE

GALESBURG TH BROAD ST. G, ILLINOIS 614

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Reduced size plans may not conform to standard scales.

SCALE:

DESIGNED DRAWN

DESIGNED CNB

CNB

FIELD FIELD BOOK

CHECKED CHECK DATE

CNB

CHECK DATE

12/15/16

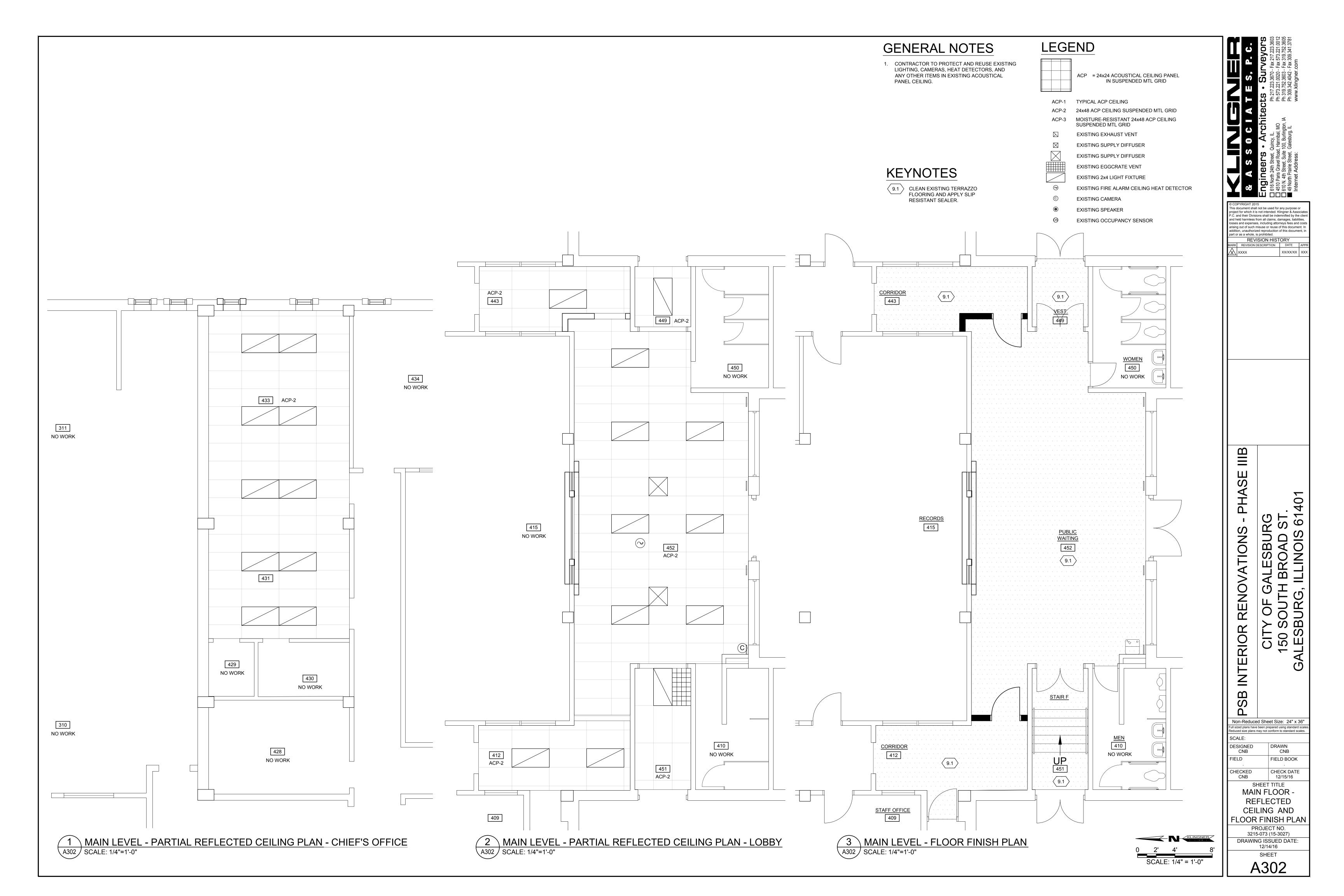
BASEMENT FLOOR REFLECTED CEILING
PLAN

PROJECT NO. 3215-073 (15-3027) DRAWING ISSUED DATE: 12/14/16 SHEET

A301

0 2' 4' 8 SCALE: 1/4" = 1'-0"

1 BASEMENT LEVEL - REFLECTED CEILING PLAN
A301 SCALE: 1/4"=1'-0"



		ROOM FINISH SCHEDULE								
ROOM		FLOOR		BASE	WALL			CEILING		
NUMBER	NAME	MATERIAL	FINISH	MATERIAL	MATERIAL	FINISH	ACCENT	MATERIAL	HEIGHT	NOTES
102	MACHINE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST	MATCH EXIST	
103A	WOMEN'S LOCKER RM	EXIST	RSN-1	RES-1	EXIST	PNT-5		ACP	MATCH EXIST	
103	MEN'S LOCKER RM	EXIST	RSN-1	RES-1	EXIST	PNT-5	EAST PNT-4	ACP	MATCH EXIST	
104	SHOWER	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST	MATCH EXIST	RE-GROUT WALL AND FLOOR TILE.
105	JANITOR	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST	MATCH EXIST	
106	WOMEN'S RESTROOM	EXIST	CT-1& 2	CB-1	EXIST	PNT-1	WEST PNT-5	ACP	MATCH EXIST	
107	KITCHEN	EXIST	CT-1& 2	CB-1	EXIST	PNT-1	WEST PNT-5	ACP	MATCH EXIST	
108	BREAK ROOM	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST	MATCH EXIST	
109A	LOBBY	EXIST	WLK-1,2,3	CB-1	EXIST	PNT-1	EAST PNT-2	ACP	MATCH EXIST	SEE 1/A701 FOR PATTERN
109	CORRIDOR	EXIST	CT-1& 2	CB-1	EXIST	PNT-1		ACP	MATCH EXIST	
110	COMMUNICATIONS	EXIST	CT-1& 2	CB-1	EXIST	PNT-1	NORTH PNT-2	ACP	MATCH EXIST	
111	CLOSET	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST	MATCH EXIST	
112	AUDITORIUM	EXIST	EXIST	EXIST	EXIST	EXIST		EXIST		

MATERIAL LEGEND

BREAK ROOM

108

NO WORK

RESINOUS

COATING

RESINOUS

COATING

ACP = ACOUSTICAL CEILING PANEL IN SUSPENDED MTL GRID

EXIST = EXISTING MATERIAL

AUDITORIUM

112

NO WORK

109

COMMUNICATIONS 110

ELEC. CLOSET

NO WORK

105

NO WORK

NO WORK

NOTES



√ 9.3

→ PROVIDE NEW COUNTERTOP (QTZ-1)

// P WITH STAINLESS STEEL UNDERMOUNT

FINISH LEGEND

- PNT-1 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 ZERO VOC; SHEEN: SEMI-GLOSS; COLOR: SW7015 REPOSE GRAY (FIELD
- PNT-2 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 ZERO VOC; SHEEN: SEMI-GLOSS; COLOR SW7017 DORIAN GRAY (KITCHEN CABINET COLOR, BASEMENT LOBBY ACCENT)
- PNT-3 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 INTERIOR ALKYD; SHEEN: SEMI-GLOSS; COLOR SW6242 BRACING BLUE (TYPICAL METAL DOOR COLOR)
- PNT-4 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 INTERIOR ALKYD; SHEEN:SEMI-GLOSS; COLOR SW7602 INDIGO BATIK (TYPICAL DOOR & WINDOW FRAMES)
- PNT-5 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 ZERO VOC; SHEEN: SEMI-GLOSS; COLOR SW6243 DISTANCE (ACCENT WALL KITCHEN, WOMEN'S RESTROOM, LOCKER ROOMS)
- PNT-6 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 ZERO VOC; SHEEN: EG-SHEL; COLOR: SW 6080 UTTERLY BEIGE (4TH FLOOR
- PNT-7 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 ZERO VOC; SHEEN: EG-SHEL; COLOR: SW6081 DOWN HOME (4TH FLOOR LOBBY, ACCENT)
- PNT-8 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 INTERIOR ALKYD; SHEEN:SEMI-GLOSS; COLOR: SW7020 BLACK FOX (4TH FLOOR LOBBY DOOR FRAMES AS INDICATED)
- PNT-9 BASIS OF DESIGN PRODUCT: SHERWIN WILLIAMS PROMAR 200 INTERIOR ALKYD; SHEEN:SEMI-GLOSS; COLOR: SW7039 VIRTUAL TAUPE (4TH FLOOR DOOR)
- WLK-1 BASIS OF DESIGN PRODUCT: VAN GELDER INC.: CHAMPION SUPER NOP TILE; COLOR: MIDNIGHT BLUE; SIZE: 19.69" X 19.69"
- WLK-2 BASIS OF DESIGN PRODUCT: VAN GELDER INC.: CHAMPION SUPER NOP TILE; COLOR: STEEL BLUE; SIZE: 19.69" X 19.69"
- WLK-3 BASIS OF DESIGN PRODUCT: VAN GELDER INC.: CHAMPION SUPER NOP TILE; COLOR: NATURAL BEIGE; SIZE: 19.69" X 19.69"
- CT-1 BASIS OF DESIGN PRODUCT: TRENDS IN CERAMIC: RIVERGRASS PORCELAIN; COLOR: CANADIAN RYE TICRGPR1224; SIZE: 12"X24"; GROUT WIDTH: MINIMUM ALLOWED BY MANUFACTURER; GROUT COLOR: MAPEI PEARL GRAY 19
- CT-2 BASIS OF DESIGN PRODUCT: TRENDS IN CERAMIC: RIVERGRASS PORCELAIN; COLOR: CANADIAN RYE TICRGPR1212; SIZE: 12"X12"; GROUT WIDTH: MINIMUM ALLOWED BY MANUFACTURER; GROUT COLOR: MAPEI PEARL GRAY 19

ELEVATOR

203

MACHINE ROOM

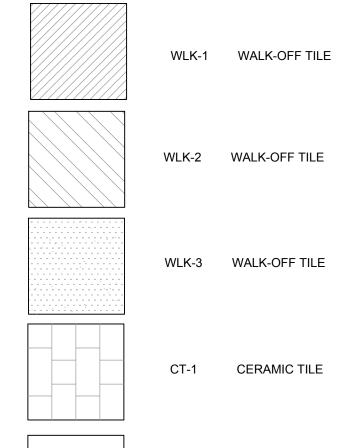
102

NO WORK

103A

- CB-1 BASIS OF DESIGN PRODUCT: TRENDS IN CERAMIC: RIVERGRASS PORCELAIN; COLOR: CANADIAN RYE TICRGPR1224; SIZE: 12"X24"; GROUT WIDTH: MINIMUM ALLOWED BY MANUFACTURER; GROUT COLOR: MAPEI PEARL GRAY 19; CUT TILE TO 6" X 24" AND TOP WITH METAL TOP CAP.
- RES-1 BASIS OF DESIGN PRODUCT: JOHNSONITE: 6" RUBBER COVE BASE; COLOR: TO BE SELECTED BY ARCHITECT
- RES-2 BASIS OF DESIGN PRODUCT: JOHNSONITE: RUBBER STAIR TREAD WITH INTEGRATED RISER RTR-XXX-SQ; COLOR: 30 INK.
- RSN-1 BASIS OF DESIGN PRODUCT: DUR-A-FLEX: HYBRI-FLEX EQ; COLOR: TO BE SELECTED BY ARCHITECT.
- LAM-1 BASIS OF DESIGN PRODUCT: WILSONART; 4842-60 CANYON ZEPHYR;
- LAM-2 BASIS OF DESIGN PRODUCT: FORMICA; 3450-58 MINERAL JET; MATTE
- QTZ-1 BASIS OF DESIGN PRODUCT: SAMSUNG RADIANZ; COLOR: ADIRONDACK BIRCH AB144. (KITCHEN COUNTERTOP)
- SS-1 BASIS OF DESIGN PRODUCT: DUPONT CORIAN; COLOR: DEEP TERRAIN

FLOOR PATTERN LEGEND



EPOXY COATING

SCALE: 1/4" = 1'-0"

PROJECT NO. 3215-073 (15-3027) DRAWING ISSUED DATE: 12/14/16

BASEMENT LEVEL - FLOOR FINISHES PLAN A701 SCALE: 1/4"=1'-0"

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LESBURG ROAD S' LINOIS 6

SCALE: DESIGNED DRAWN CNB/HAO FIELD FIELD BOOK CHECKED CHECK DATE CNB 12/15/16 SHEET TITLE

Non-Reduced Sheet Size: 24" x 36" Full sized plans have been prepared using standard s

BASEMENT FLOOR FLOOR FINISHES PLAN

> SHEET A701

		BASIS (BRANCH	PIPE SIZE (IN)	
//ARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS	CW	HW	W	V
WC-1	TOILET - FLOOR MOUNTED, VITREOUS CHINA, ELONGATED BOWL, SIPHON JET	AMERICAN STANDARD TOTO	3451.001 CT705EN	MOUNT 15" FLOOR TO RIM			4	
	SEAT - ELONGATED, HEAVY DUTY, SOLID PLASTIC, OPEN FRONT, WITH LIFT OFF HINGE	BEMIS OLSONITE	2155C 8C					
	FLUSH VALVE - SENSOR ACTIVATED WITH BUMPER ON ANGLE STOP	SLOAN	ROYAL 111-1.6-ES-S-YO	1.6 GPF	1			
WC-2	TOILET - FLOOR MOUNTED, VITREOUS CHINA, ELONGATED BOWL, SIPHON JET, ADA HEIGHT	AMERICAN STANDARD TOTO	3461.001 CT705ELN	MOUNT 17" FLOOR TO RIM			4	
	SEAT - ELONGATED, HEAVY DUTY, SOLID PLASTIC, OPEN FRONT, WITH LIFT OFF HINGE	BEMIS OLSONITE	2155C 8C					
	FLUSH VALVE - SENSOR ACTIVATED WITH BUMPER ON ANGLE STOP	SLOAN	ROYAL 111-1.6-ES-S-YO	1.6 GPF	1			
UR-1	URINAL - WALL MOUNTED VITREOUS CHINA, WASHOUT FLUSHING ACTION, TOP SPUD	GERBER TOTO	HE-27-720 UT104E	MOUNT 17" FLOOR TO RIM				
	FLUSH VALVE - SENSOR ACTIVATED HIGH EFFICIENCY	SLOAN	ROYAL 186-0.5-ES-S-HEU	0.5 GPF	3/4			
	CARRIER - WITH FLUSH VALVE SUPPORT AND LOAD BEARING PLATE	ZURN WADE JAY R. SMITH	Z1222 2-400-AMI-AMII 0617				2	
	LAVATORY - WALL MOUNTED, VITREOUS CHINA, 4" ON CENTERS	тото	LT307.4				1-1/4	1-1/4
	STRAINER - 1-1/4" CAST BRASS GRID STRAINER	CHICAGO	327-XCP					
	FAUCET - 4" CENTERS, LEVER ACTUATION, SEPARATE HOT/COLD	CHICAGO	802-XKCP-E2805	0.5 GPM	1/2	1/2		
	THERMOSTATIC MIXING VALVE	DELTA	R2910-MIXLF	SET TO 110°F	1/2	1/2		
	LAVATORY - EXISTING						1-1/4	1-1/4
	FAUCET - 4" CENTERS, LEVER ACTUATION, SEPARATE HOT/COLD	CHICAGO	802-XKCP-E2805	0.5 GPM	1/2	1/2		
	THERMOSTATIC MIXING VALVE	DELTA	R2910-MIXLF	SET TO 110°F	1/2	1/2		
	SHOWER - TWO PIECE, GELCOAT, SECTIONAL MODULE	AQUATIC BATH	13632P				2	1-1/2
	FAUCET -THERMOSTATIC MIXING, BRONZE BODY	BRADLEY	S59-2005		1/2	1/2		
	SHOWER HEAD - WALL MOUNT	BRADLEY	1C-SF	1.5 GPM				
	EXISTING SHOWER - BUILT-IN						2	1-1/2
	FAUCET -THERMOSTATIC MIXING, BRONZE BODY	BRADLEY	S59-2005		1/2	1/2		
	SHOWER HEAD - WALL MOUNT	BRADLEY	1C-SF	1.5 GPM				
	SINK - UNDERMOUNT TO SOLID SURFACE COUNTER TOP	KOHLER	K-3350				1-1/4	1-1/4
	STRAINER - 1-1/4" CAST BRASS GRID STRAINER	ELKAY	LK18					
	FAUCET - 8" CENTERS, SINGLE LEVER ACTUATION	CHICAGO	1888-369CP		1/2	1/2		
EMS-1	MOP SINK - EXISTING				1		3	2

GENERAL PLUMBING NOTES:

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS. 2. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS, ACCESSORIES, TOOLS, EQUIPMENT, TRANSPORTATION, LABOR, SERVICES AND OPERATIONS NECESSARY FOR A COMPLETE PLUMBING SYSTEM INCLUDING
- FIXTURES, SANITARY SEWERS, CLEANOUTS, WATER SUPPLY PIPING, AND NATURAL GAS PIPING.

 3. PLUMBING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL INSPECTIONS REQUIRED BY
- STATE OR LOCAL AUTHORITIES. 4. MATERIALS MUST BE NEW, IN FIRST CLASS CONDITION.
- 5. WORK SHALL BE DONE BY TRAINED, EXPERIENCED, SKILLED, JOURNEYMAN UNDER AN APPROVED FULL TIME
- SUPERVISOR. WORK SHALL BE PREFORMED IN A NEAT WORKLIKE MANOR
- 6. PIPE INSTALLATION SHALL BE COORDINATED WITH OTHER TRADES.
 7. PIPING SHALL BE SEPARATELY HUNG AND ANCHORED, FREE TO EXPAND AND CONTRACT QUIETLY, WITHOUT IMPOSING STRAINS ON STRUCTURE, PIPING, VALVES, DEVICES, AND EQUIPMENT. PIPING SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- 8. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL BE SEPARATED BY DIELECTRIC COUPLINGS
 9. CONTRACTOR SHALL PERFORM EXCAVATION REQUIRED TO INSTALL HIS WORK.
- 10. PIPING, ETC., SHALL BE TESTED TO AT LEAST 125 PSI.
- 11. PIPE HANGERS AND SUPPORTS SHALL MEET THE LOCAL SEISMIC REQUIREMENTS. 12. PROVIDE BALL VALVE ON PIPES TO EACH GROUP OF FIXTURES OR TO EACH PIECE OF EQUIPMENT.
- 13. PLUMBING CONTRACTOR SHALL INSTALL GAS PIPING TO WITHIN 2' OF EACH APPLIANCE AND TERMINATE WITH A GAS COCK. HVAC CONTRACTOR TO MAKE FINAL CONNECTION.
- 14. LOCATE ALL SHUT-OFFS, CLEANOUTS, AND OTHER DEVICES REQUIRING ACCESS IN AN EASILY ACCESSIBLE AREA.
- 15. DRAWINGS ARE SCHEMATIC AND SHOW APPROXIMATE LOCATIONS OF PIPING. EXACT LOCATIONS SHALL BE COORDINATED BY THE CONTRACTOR AND VERIFIED IN THE FIELD PRIOR TO ROUGH—IN.
- 16. SEE ARCHITECTURAL SHEET FOR FIRE RATED CONSTRUCTION LOCATIONS. ALL PLUMBING PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE UL LISTED OF EQUAL OR GREATER HOUR RATING.

NOTES

- REMOVE ALL EXISTING DOMESTIC WATER PIPING SERVING THE BASEMENT AS INDICATED.
- PROVIDE ALL NEW WATER PIPING TO BASEMENT PLUMBING FIXTURES.
- EXISTING LAVATORIES TO REMAIN. PROVIDE NEW FAUCETS AND INSTALL ON EXISTING FIXTURES. TYPICAL OF 3.
- $\left\langle \begin{array}{c} 4 \end{array}
 ight
 angle$ 2"CW, 1"HW, AND 3/4" HWC UP.
- \langle 5 \rangle EXISTING MOP SINK TO REMAIN. PROVIDE NEW, WALL MOUNTED FAUCET.
- 6 COORDINATE FLOOR REMOVAL AND REPLACEMENT FOR INSTALLATION OF NEW UNDERFLOOR PLUMBING. EXCAVATE AND BACKFILL AS NECESSARY AND MAKE CONNECTION TO EXISTING BELOW FLOOR PIPE.
- CONNECT NEW PLUMBING VENT PIPING TO EXISTING WITHIN THE EXISTING PLUMBING CHASE.

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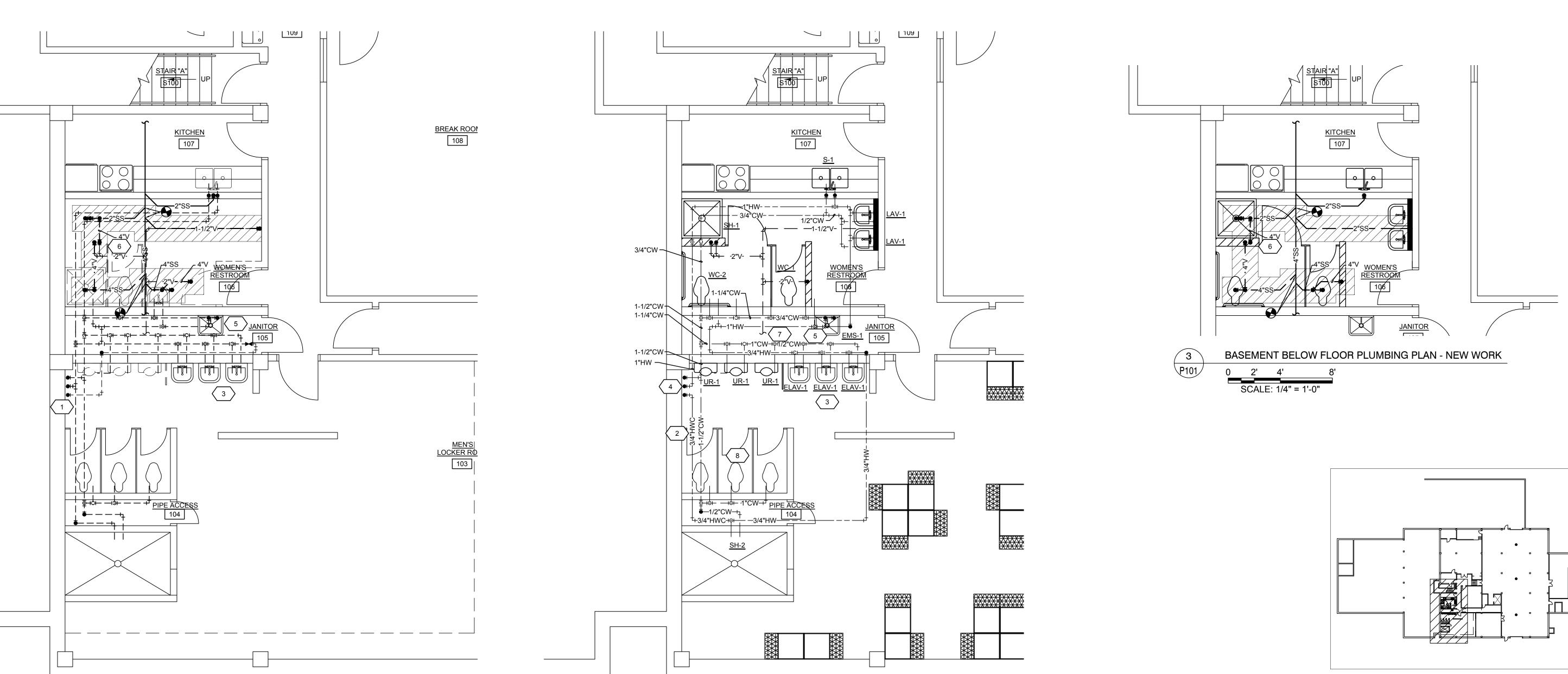
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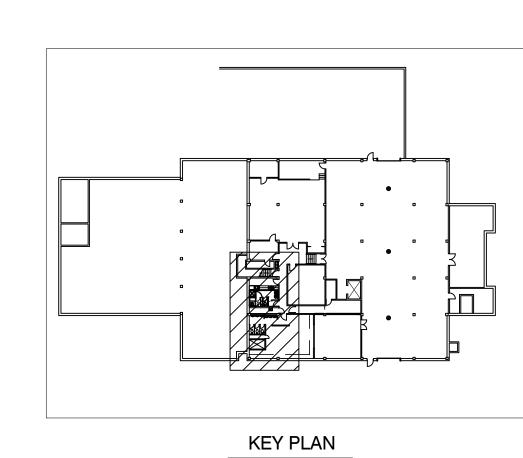
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⟨ 8 ⟩ RECONNECT TO EXISTING WATER CLOSET FLUSH VALVE (TYPICAL OF 3).





NO SCALE

PROJECT NO. 3215-073 (15-3027) DRAWING ISSUED DATE: 12/14/16 SHEET SCALE: 1/4" = 1'-0"

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SHEET TITLE

BASEMENT FLOOR PLUMBING PLANS

FIELD BOOK

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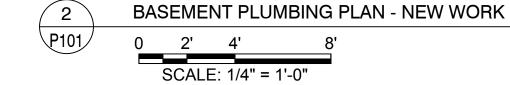
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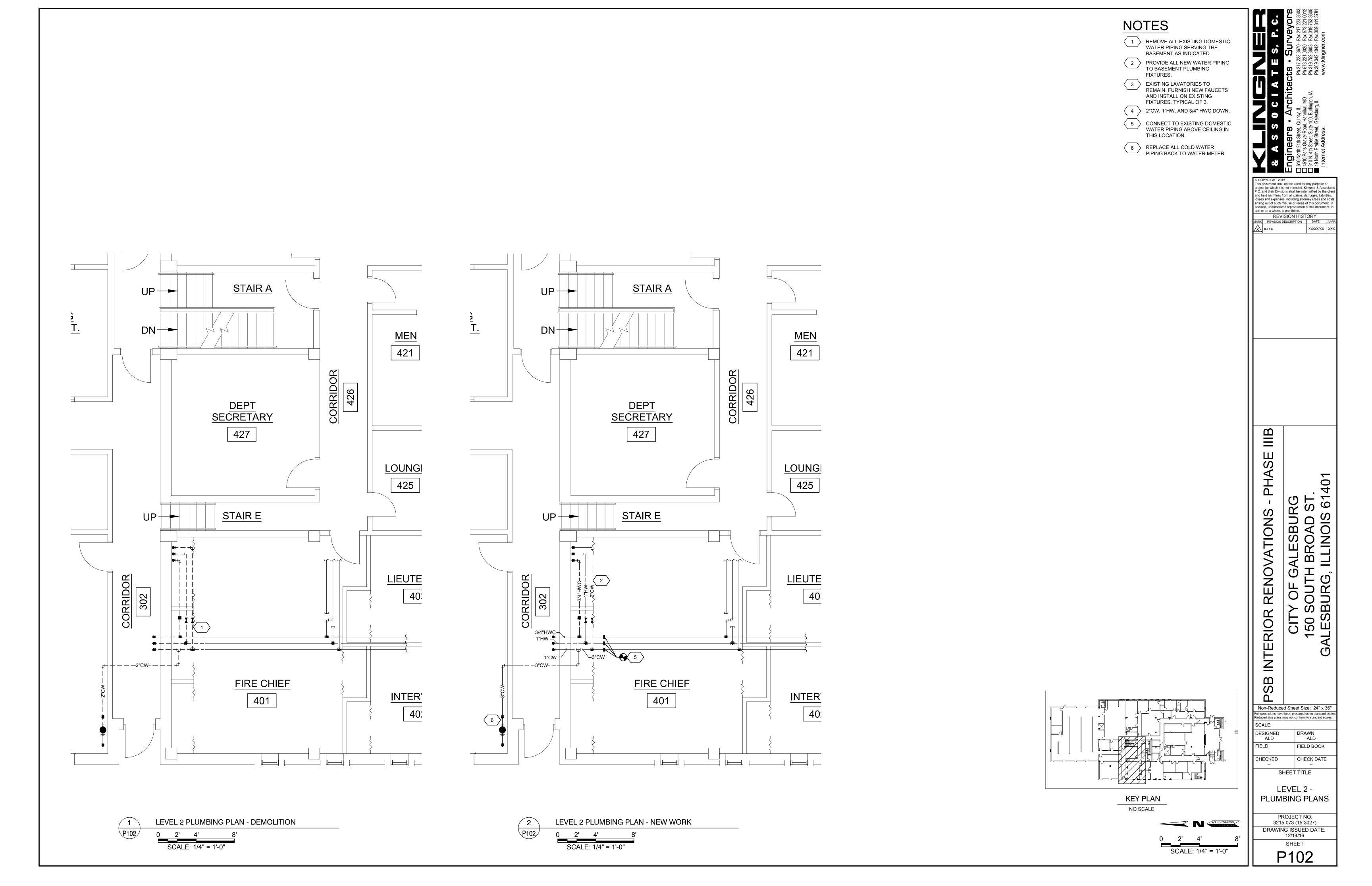
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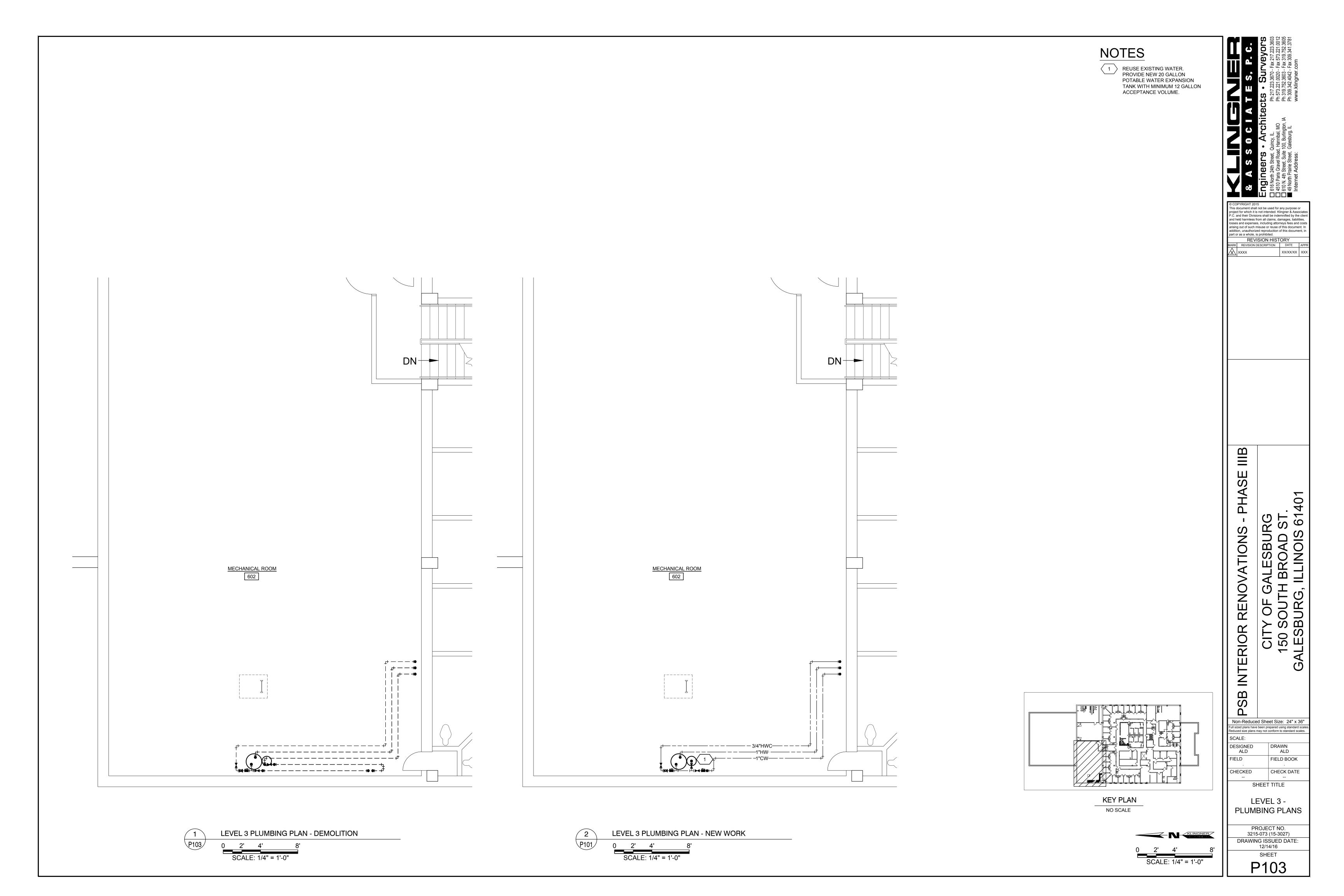
BASEMENT PLUMBING PLAN - DEMOLITION

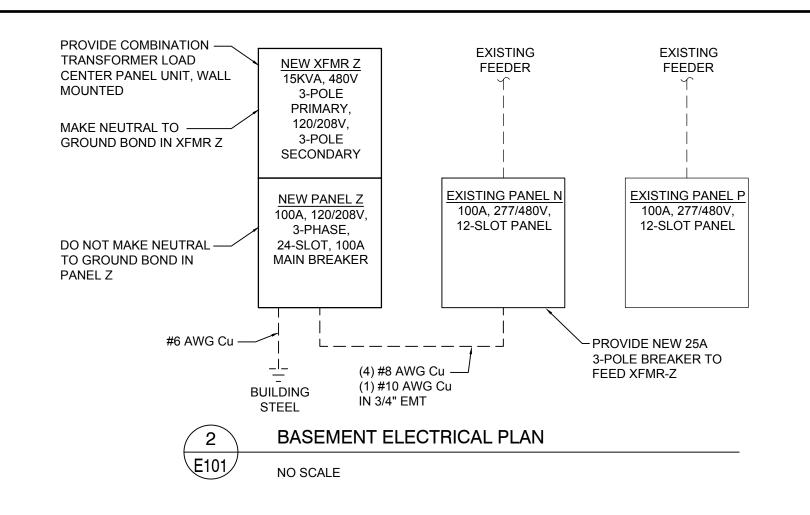
SCALE: 1/4" = 1'-0"

P101





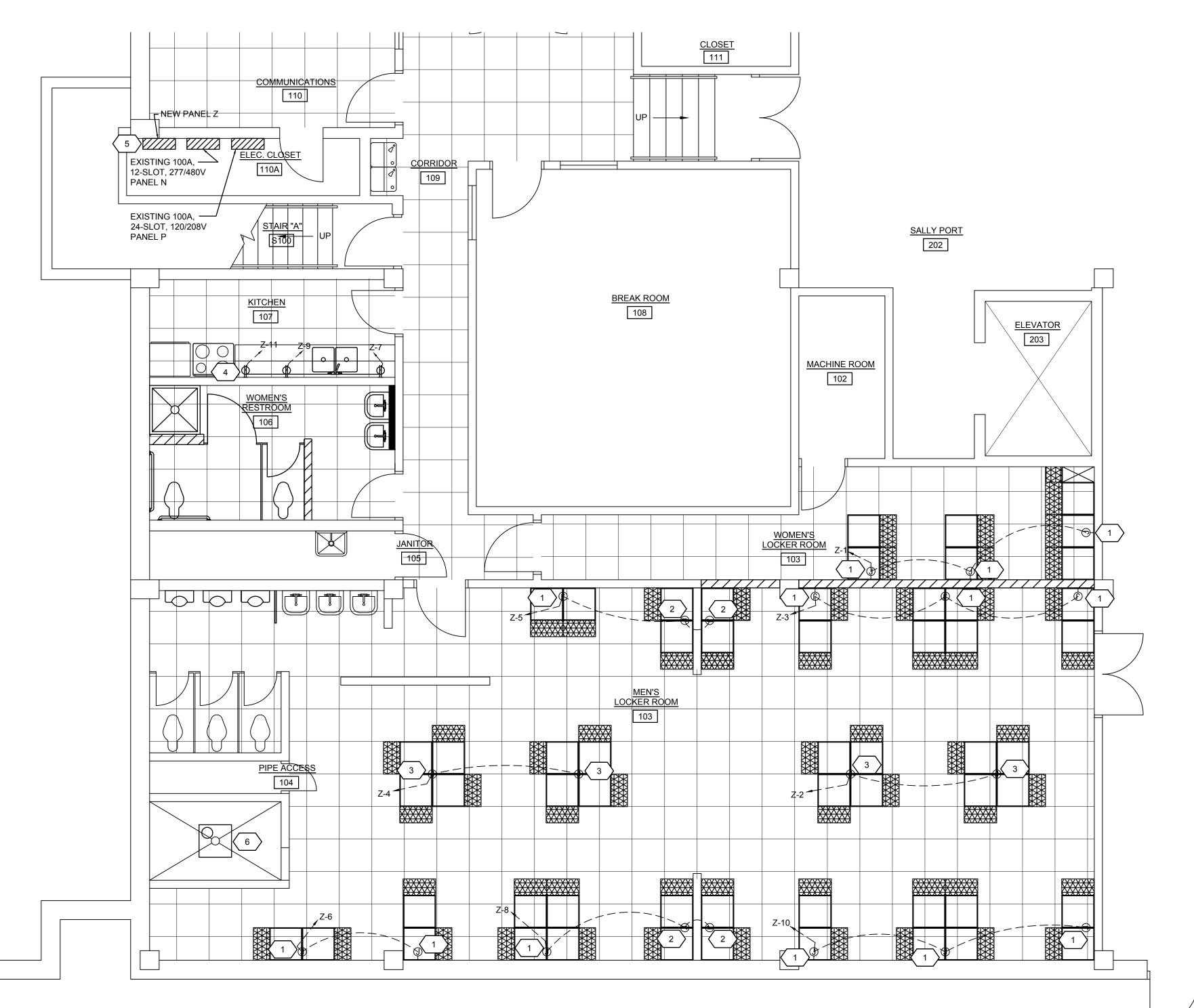




BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

E101/



NOTES

PROVIDE SURFACE MOUNTED JUNCTION BOX AND CONDUIT AND MAKE FINAL CONNECTION TO LOCKERS. PAINT BOX AND CONDUIT TO MATCH WALL FINISH.

PROVIDE RECESSED JUNCTION **BOX AND MAKE FINAL** CONNECTION TO LOCKERS. PAINT BOX COVER PLATE TO MATCH WALL FINISH.

PROVIDE CEILING MOUNTED POWER POLE FROM CEILING TO TOP OF LOCKERS AND MAKE FINAL CONNECTION TO LOCKERS. PAINT POLE TO MATCH WALL FINISH.

REPLACE EXISTING RECEPTACLE WITH SURFACE MOUNTED BOX AND GFCI PROTECTED DUPLEX RECEPTACLE. PROVIDE SURFACE MOUNTED WIREMOLD TO ADDITIONAL BREAKROOM RECEPTACLES.

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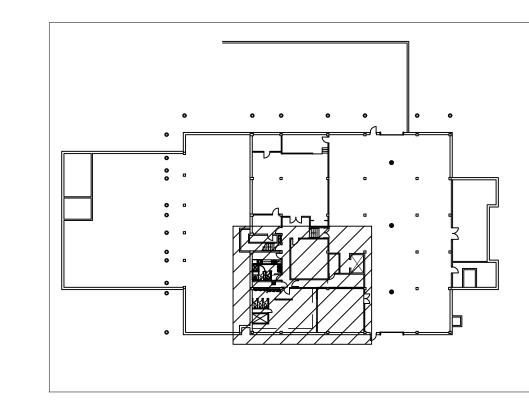
LESBURG ROAD S' LINOIS 6

5 PROVIDE 15KVA TRANSFORMER AND 100A, 120/208V, 24-SLOT, LOAD CENTER COMBINATION UNIT REFER TO ONE-LINE DIAGRAM FOR DETAILS.

REPLACE EXISTING CEILING LIGHT WITH RECESSED, WET LOCATION LISTED. 2'x2' LAY-IN TROFFER (EATON MODEL GR2242FALD44340 OR APPROVED EQUAL).

ELECTRICAL NOTES:

- 1. APPLICABLE STANDARDS: NFPA-70, NFPA-101, STATE BUILDING CODES, AND THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1971 AND ALL AMENDMENTS THERETO; EQUIPMENT, DEVICES, APPARATUS, SYSTEMS, AND INSTALLATIONS SHALL BE ENTIRELY SUITABLE AND SAFE FOR EACH INTENDED APPLICATION AND BE IN FULL COMPLIANCE WITH APPLICABLE STANDARDS, REQUIREMENTS, RULES, REGULATIONS, CODES, STATUTES, ORDINANCES, ETC., OF MUNICIPAL, COUNTY, AND STATE GOVERNMENTS, OWNER'S INSURANCE COMPANY, LOCAL UTILITIES, AND LABOR REGULATIONS. NOTHING CONTAINED IN THESE PLANS AND SPECIFICATIONS SHALL BE CONSTRUED TO CONFLICT WITH THESE LAWS, CODES, AND ORDINANCES.
- 2. DRAWINGS ARE SCHEMATIC AND SHOW APPROXIMATE LOCATIONS OF ELECTRICAL EQUIPMENT. EXACT LOCATIONS SHALL BE COORDINATED BY THE CONTRACTOR AND VERIFIED IN THE FIELD PRIOR TO ROUGH-IN.
- 3. INSTALLATIONS WHICH INCLUDE ELECTRICAL FIXTURES, DEVICES, CONDUIT, SWITCHES, PANELS, HANGERS, WIRE, CABLE, STANDARDS, ETC., MUST BE ENTIRELY SUITABLE FOR TEMPERATURES, HUMIDITY, DAMP AREAS, VOLTAGE, FREQUENCY, AND ALL INSTALLATION CONDITIONS ENCOUNTERED.
- 4. INSTALLATION MUST BE ENTIRELY SAFE IN EVERY RESPECT, AND MUST NOT CREATE ANY CONDITIONS OF ANY KIND WHICH WILL BE HARMFUL TO ANY OCCUPANT OF THE BUILDING. IF CONTRACTOR BELIEVES THAT INSTALLATION WILL NOT BE SAFE FOR ALL PEOPLE, HE/SHE SHALL SO REPORT IN WRITING TO ENGINEER BEFORE ANY EQUIPMENT IS PURCHASED OR WORK IS INSTALLED, GIVING EXACT RECOMMENDATIONS, AND REASONS
- 5. GROUNDING: ALL GROUNDING SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL
- ELECTRICAL CODE (NEC).
- 6. INSTALLATION OF ELECTRICAL DEVICES SHALL BE COORDINATED WITH OTHER TRADES AS NECESSARY TO
- PREVENT ANY CONFLICTS DURING CONSTRUCTION.
- 7. WHERE PHONE/DATA OUTLET LOCATIONS ARE INDICATED INSTALL 1" EMT FROM OUTLET BOX (4"X4"X1½"MIN.) TO TOP OF FINISHED WALL (ABOVE S.A.T. CEILING) OR TO THE PHONE/DATA EQUIPMENT LOCATION, UNLESS
- 8. LIGHTING: FURNISH AND INSTALL ALL LIGHTING FIXTURES COMPLETE WITH LAMPS IN ACCORDANCE WITH THE LIGHTING FIXTURE SCHEDULE SHOWN ON THE DRAWINGS. ALL UNITS SHALL BE COMPLETE WITH SUSPENSION ACCESSORIES, CANOPIES, SOCKETS, LOUVERS, FRAMES, AND ROUGH-IN BOXES, WIRED AND ASSEMBLES TO FURNISH A COMPLETE WORKABLE SYSTEM.
- 9. LOW VOLTAGE CONDUIT AND JUNCTION BOXES SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR. 10. EQUIPMENT GROUNDING CONDUCTORS SHALL BE PULLED WITH ALL BRANCH CIRCUITS. CONDUIT SHALL NOT BE
- USED AS A GROUND U.N.O. 11. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS, ACCESSORIES, TOOLS, EQUIPMENT,
- TRANSPORTATION, LABOR, SERVICES AND OPERATIONS NECESSARY FOR A COMPLETE ELECTRICAL SYSTEM. 12. ELECTRICAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL INSPECTIONS
- REQUIRED BY STATE OR LOCAL AUTHORITIES. 13. MATERIALS MUST BE NEW, IN FIRST CLASS CONDITION.
- 14. CONDUIT SHALL BE SEPARATELY HUNG AND ANCHORED, FREE TO EXPAND AND CONTRACT QUIETLY, WITHOUT IMPOSING STRAINS ON STRUCTURE, DEVICES, AND EQUIPMENT. CONDUIT SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- 15. CONTRACTOR SHALL PERFORM EXCAVATION REQUIRED TO INSTALL HIS WORK.
- 16. SEE ARCHITECTURAL SHEET FOR FIRE RATED CONSTRUCTION LOCATIONS. ALL ELECTRICAL PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE UL LISTED OF EQUAL OR GREATER HOUR RATING.
- 17. XXXXXX CLEARANCE REQUIREMENTS ???



KEY PLAN NO SCALE

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SHEET TITLE

BASEMENT -ELECTRICAL PLANS

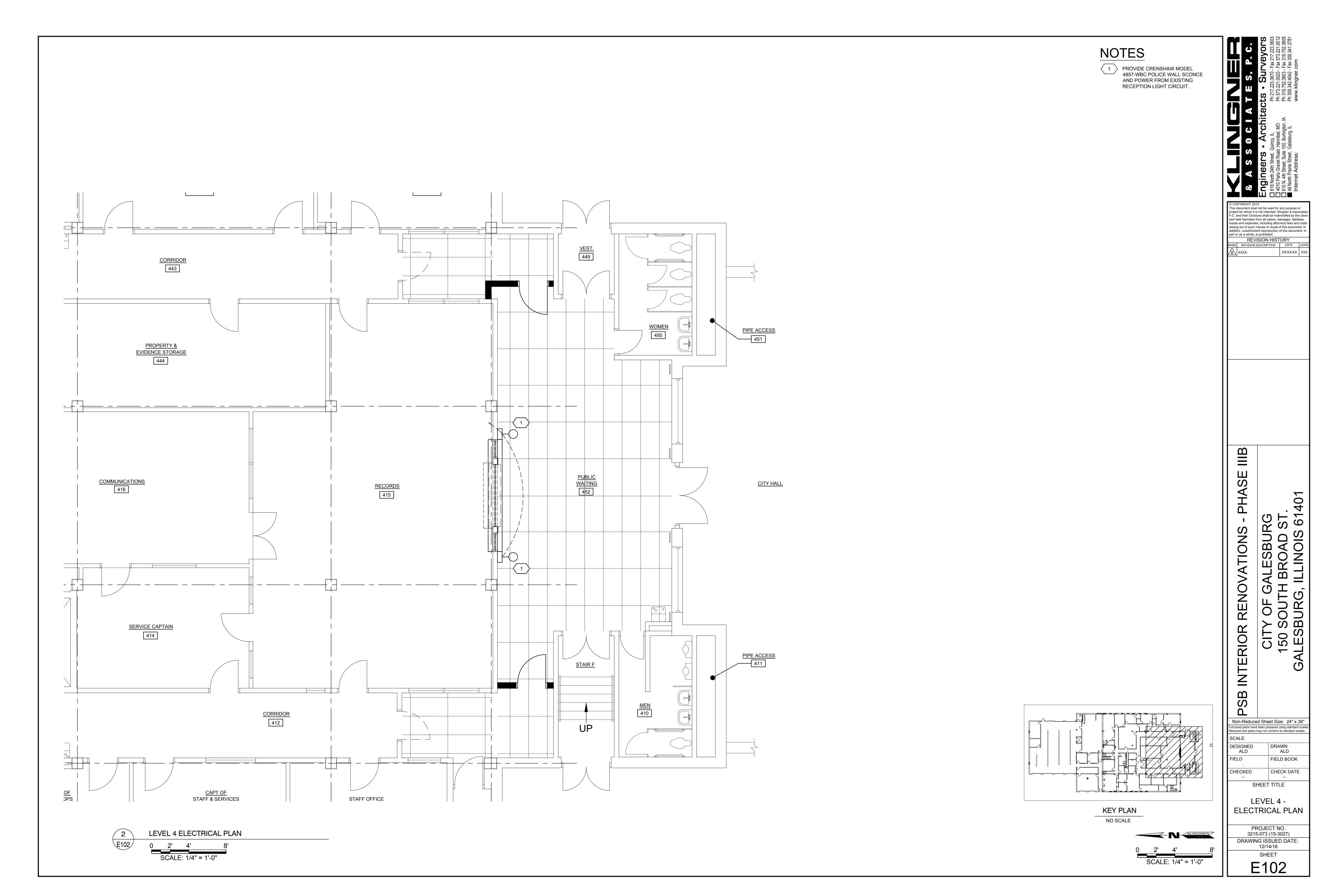
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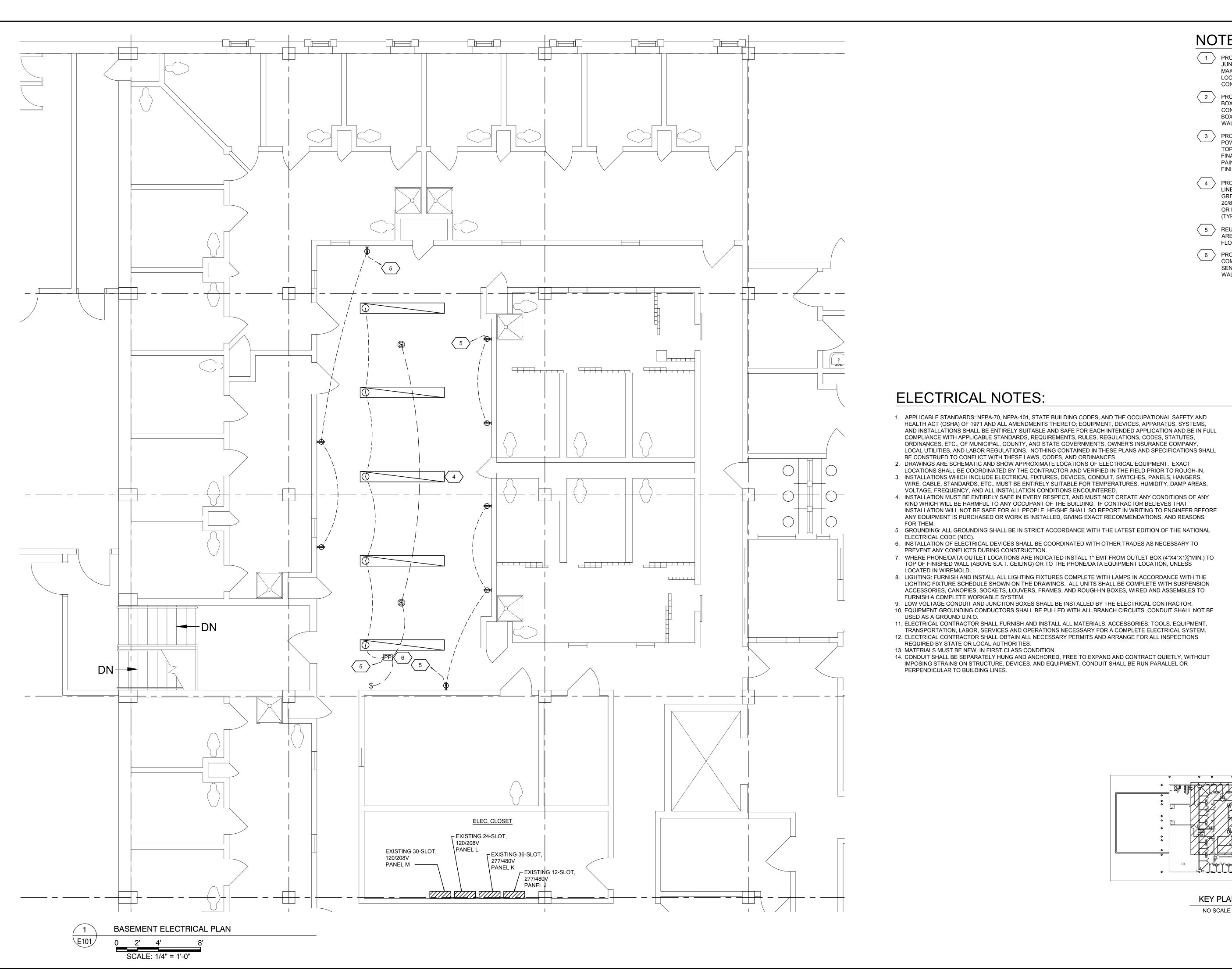
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FIELD BOOK

CHECK DATE

SCALE: 1/4" = 1'-0"





NOTES

1 PROVIDE SURFACE MOUNTED JUNCTION BOX AND CONDUIT AND MAKE FINAL CONNECTION TO LOCKERS. PAINT BOX AND CONDUIT TO MATCH WALL FINISH.

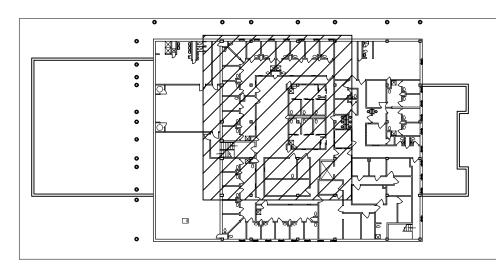
2 PROVIDE RECESSED JUNCTION **BOX AND MAKE FINAL** CONNECTION TO LOCKERS. PAINT BOX COVER PLATE TO MATCH WALL FINISH.

PROVIDE CEILING MOUNTED POWER POLE FROM CEILING TO TOP OF LOCKERS AND MAKE FINAL CONNECTION TO LOCKERS. PAINT POLE TO MATCH WALL FINISH.

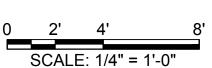
4 PROVIDE LITHONIA SUSPENDED LINEAR LIGHT FIXTURE MODEL GRD-8FT-MSL8-80CRI-40K-ID1000-20/80SCT-24A-C210 OR ENGINEER APPROVED EQUAL (TYPICAL).

REUSE EXISTING CIRCUIT IN THIS AREA FED FROM PANEL ON THIS FLOOR.

6 PROVIDE POWER PACK AND COMPATIBLE OCCUPANCY SENSORS AND LOW VOLTAGE WALL SWITCH.



KEY PLAN



12/14/16 SHEET

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LESBURG ROAD ST. LINOIS 61

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> SHEET TITLE LEVEL 6 -

ELECTRICAL PLAN

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