

Project Phase: Construction Documents

Issue Date: 11.07.2019

No.	Description	Date

Job Number: 19089.00

Project Scope, Wall Types, UL Descriptions

**T0.1**

UNITS	FLOORS							TOTAL	
	B	1	2	3	4	5	6		7
STUDIO	3	25	31	31	31	31	31	15	198
ADA	0	0	2	2	2	2	2	2	12
TOTAL	3	25	34	34	34	34	31	15	210

**6 High Rise Unit Matrix**  
NTS

UNITS	FLOORS		
	1	2	TOTAL
STUDIO	1	4	5
1 BR	9	12	21
ADA 0 BR	0	0	0
ADA 1 BR	0	0	0
TOTAL	10	12	26

**5 Low Rise Unit Matrix**  
NTS

**Project Location**  
1515 Isabella Circle  
Knoxville, TN 37915

**Scope of Work**

Interior renovations of existing apartment buildings to include converting units to UFAS accessibility requirements, accessibility repairs in public / common area restrooms, installing HUD compliant smoke detectors and emergency call systems, updating interior flooring and casework, minimal plumbing fixture updates as required, and restriping / marking ADA accessible parking spaces and site access.

**4 Project Description**  
NTS

	EARTH		WOOD - ROUGH
	GRAVEL		BATT INSULATION
	CONCRETE		GYPSUM BOARD
	RIGID INSULATION		ACOUSTIC TILE
	METAL		MASONRY VENER
	PLYWOOD		CONCRETE MASONRY UNIT
	WOOD - FINISHED		

**3 Materials Legend**  
NTS

	CENTER LINE		DEMO NOTE
	COLUMN GRID		EXTERIOR ELEVATION
	ELEVATION MARKER		INTERIOR FINISH ELEVATION
	POINT ELEVATION		NORTH ARROW
	DOOR IDENTIFICATION		BUILDING SECTION
	WINDOW IDENTIFICATION		WALL SECTION
	CEILING IDENTIFICATION		
	WALL TYPE		
	ACCESSORY TAG		
	ROOM IDENTIFICATION		
	REVISION NOTE		

**2 Graphic Symbols**  
NTS

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION IN WRITING FROM THE ARCHITECT.
- INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.
- FIRE EXTINGUISHER(S) ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIRE-BUILDING INSPECTOR.
- CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.
- WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.

**1 General Notes**  
NTS

**7 Wall Types**  
NTS

	<b>Partition (3 5/8" Mtl. Stud)</b> 5/8" GWB ON BOTH SIDES OF 3 5/8" MTL STUDS. EXTEND STUDS TO STRUCTURE AS REQUIRED TO BRACE PARTITION. FINISH EDGES OF PARTITION TO EXISTING CEILING (MUD AT GYP, TRIM AT ACT).
	<b>Partition (3 5/8" Mtl. Stud) - Cavity</b> 5/8" GWB ON EXPOSED SIDE OF 3 5/8" MTL STUDS. EXTEND STUDS TO STRUCTURE AS REQUIRED TO BRACE PARTITION. FINISH EDGES OF PARTITION TO EXISTING CEILING (MUD AT GYP, TRIM AT ACT).
	<b>Partition (6" Mtl. Stud)</b> 5/8" GWB ON BOTH SIDES OF 6" MTL STUDS. EXTEND STUDS TO STRUCTURE AS REQUIRED TO BRACE PARTITION. FINISH EDGES OF PARTITION TO EXISTING CEILING (MUD AT GYP, TRIM AT ACT).
	<b>1 Hr-Rated CMU Wall (UL U905)</b> 8" CMU WALL

**Design No. U905**

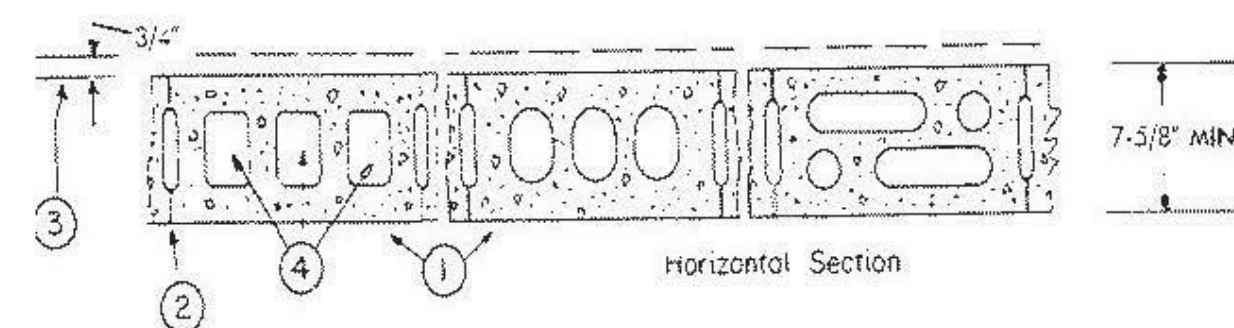
June 10, 2019

Bearing Wall Rating — 2 HR.

Nonbearing Wall Rating — 2 HR

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7.

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



- Concrete Blocks\*** — Various designs. Classification D-2 (2 hr). See **Concrete Blocks** category for list of eligible manufacturers.
- Mortar** — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
- Portland Cement Stucco or Gypsum Plaster** — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
- Loose Masonry Fill** — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
- Foamed Plastic\*** — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).

**ATLAS ROOFING CORP** — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", "EnergyShield C9F Pro" and "EnergyShield Ply Pro"

**CARLISLE COATINGS & WATERPROOFING INC** — Type R2+ SHEATH

**FIRESTONE BUILDING PRODUCTS CO L L C** — "Enverge™ CI Foil Exterior Wall Insulation" and "Enverge™ CI Glass Exterior Wall Insulation"

**HUNTER PANELS** — Types "Xci-Class A", "Xci Foil (Class A)", "Xci 286"

**RMAX OPERATING L L C** — Types "TSX-8500", "ECOMAXci FR", "TSX-8510", "ECOMAXci FR White", "ECOMAXci", "ECOMAXci FR Air Barrier", "Thermasheath-XP", "Thermasheath", "Durasheath", "Thermasheath-3", "Durasheath-3"

**THE DOW CHEMICAL CO** — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax ci Exterior Insulation, Thermax XARMOR ci Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HDP) and TUFF-R™ ci Insulation

**5A Building Units** — As an alternate to Items 5, min. 1-in thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in.

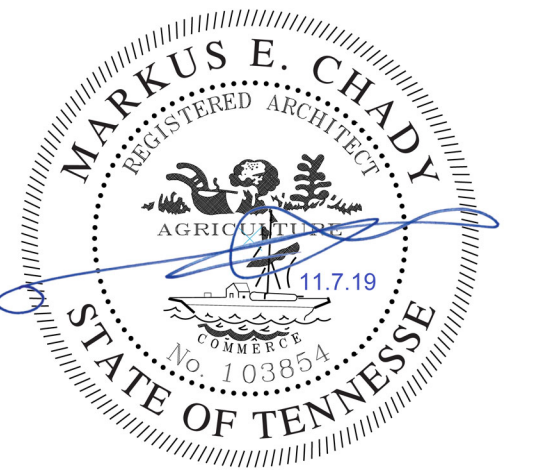
**HUNTER PANELS** — "Xci NB", "Xci Ply"

**RMAX OPERATING L L C** — "Thermasheath-SI", "ECOBASECI", "ThermaBase-CI", "ECOMAXci FR Ply", "ECOMAXci Ply"

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

**8 UL Description - UL #U905**  
NTS





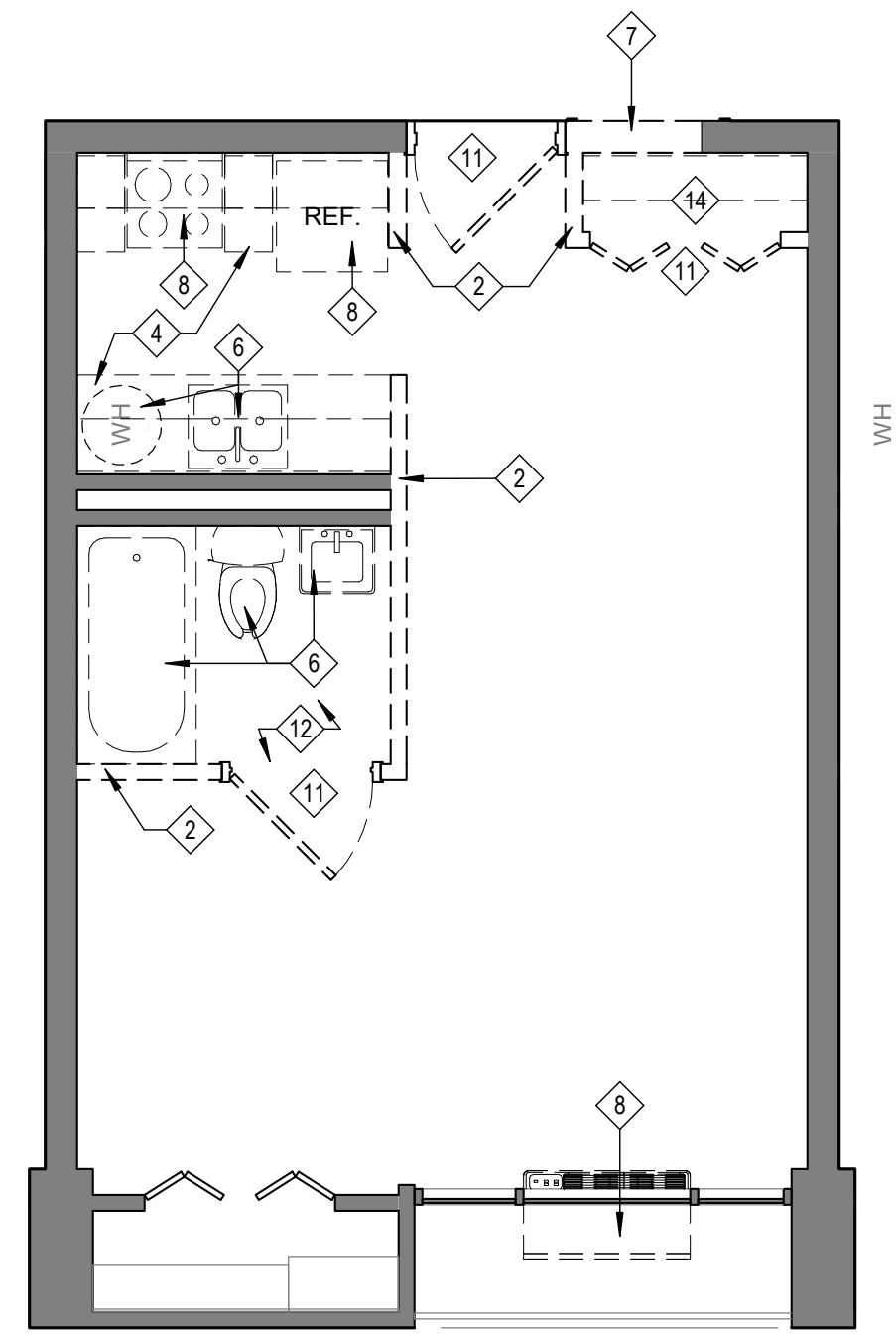
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Issue Date: 11.07.2019

Revisions		
No.	Description	Date

Job Number: 19089.00

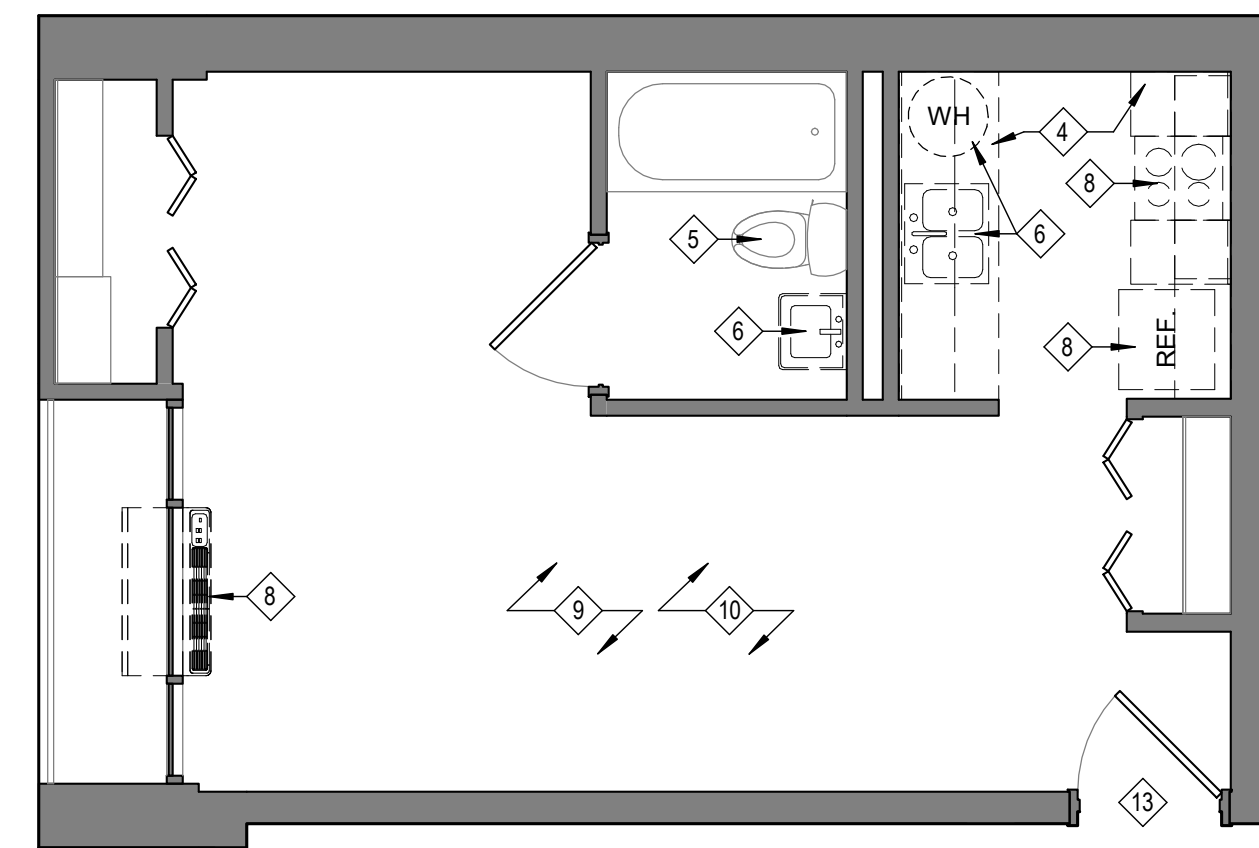
Demolition Plan



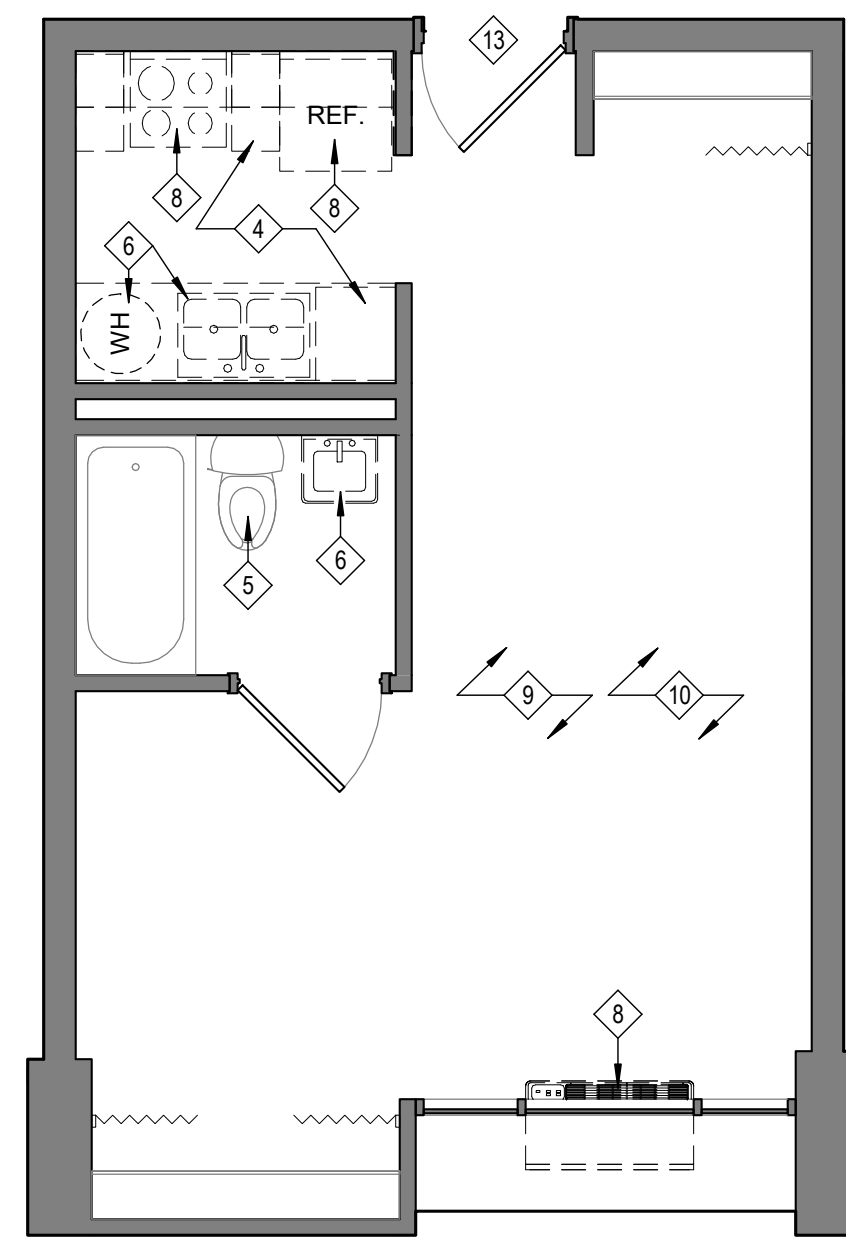
**5 High Rise ADA - Demolition Plan**  
1/4" = 1'-0"

- 1 REMOVE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE, PREPARE OPENING FOR NEW DOOR & FRAME
- 2 REMOVE EXISTING WALL OR PORTION THEREOF TO EXTENTS SHOWN. PATCH AND MATCH ADJACENT FINISHES AS REQUIRED.
- 3 REMOVE EXISTING DECORATIVE COLUMN, TYP. ALL UNITS
- 4 REMOVE EXISTING CASEWORK
- 5 REMOVE EXISTING PLUMBING FIXTURES AND SAVE FOR REINSTALLATION
- 6 REMOVE & DISCARD EXISTING PLUMBING FIXTURES. CAP & CONCEAL LINES AS NECESSARY
- 7 REMOVE EXISTING WALL OR PORTION THEREOF TO EXTENTS SHOWN, PREPARE FOR INSTALLATION OF NEW DOOR AND FRAME
- 8 REMOVE EXISTING APPLIANCES. VERIFY WITH OWNER WHICH APPLIANCES TO DISCARD AND WHICH TO SAVE FOR REINSTALLATION PRIOR TO REMOVAL.
- 9 RETAIN AND PROTECT EXISTING FLOOR, PREPARE FOR INSTALLATION OF FLOATING FLOOR ABOVE.
- 10 RETAIN AND PROTECT EXISTING CEILING.
- 11 REMOVE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE.
- 12 REMOVE & DISCARD EXISTING CEILING.
- 13 REMOVE EXISTING DOOR HARDWARE ON ALL UNIT ENTRY DOORS. REPLACE WITH NEW TYPICAL - SEE DOOR HARDWARE.
- 14 REMOVE & DISCARD EXISTING SHELVING. PATCH AS REQUIRED.
- 15 REMOVE & DISCARD EXISTING TOILET PARTITION.

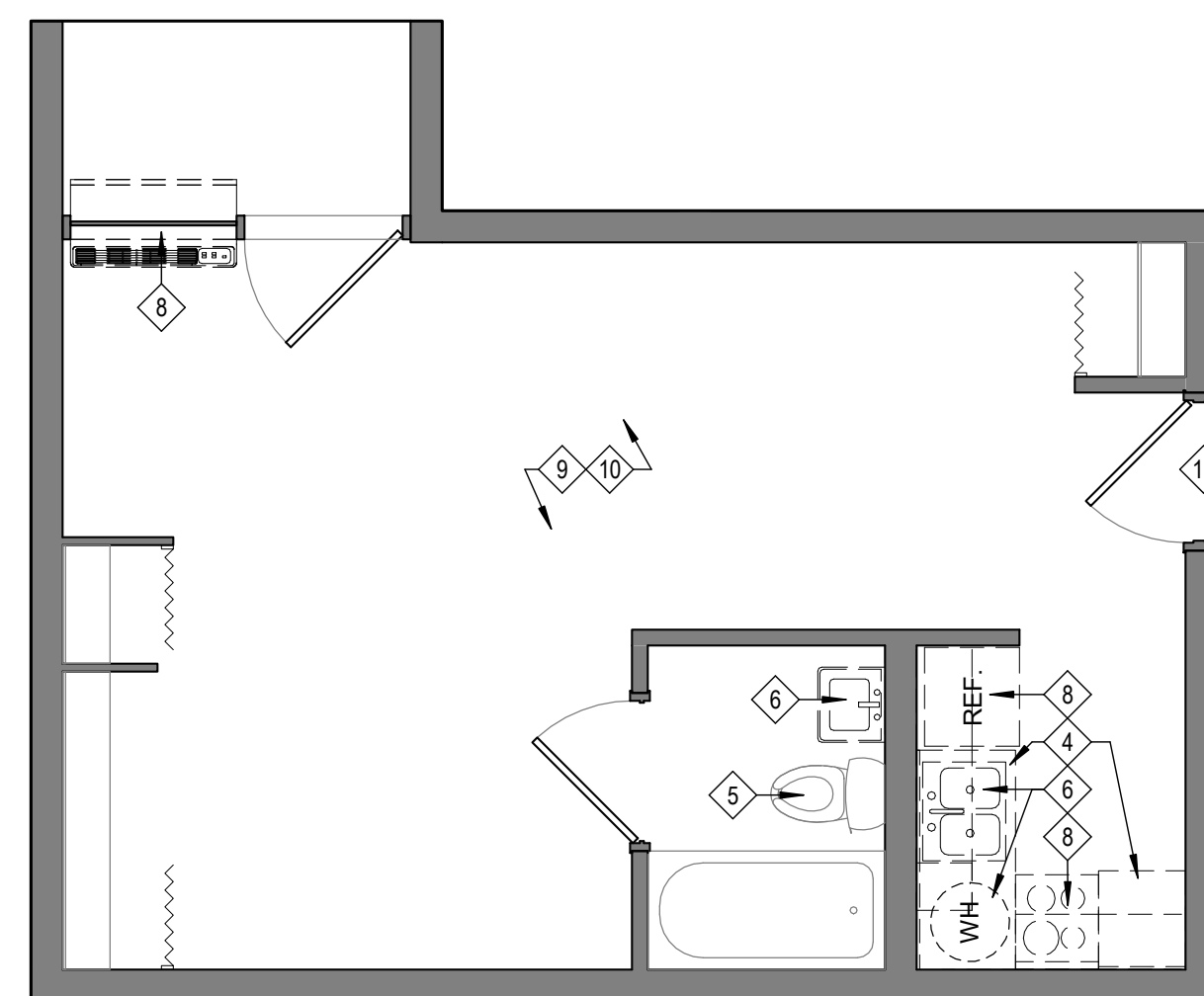
**1 Demolition Legend**  
NTS



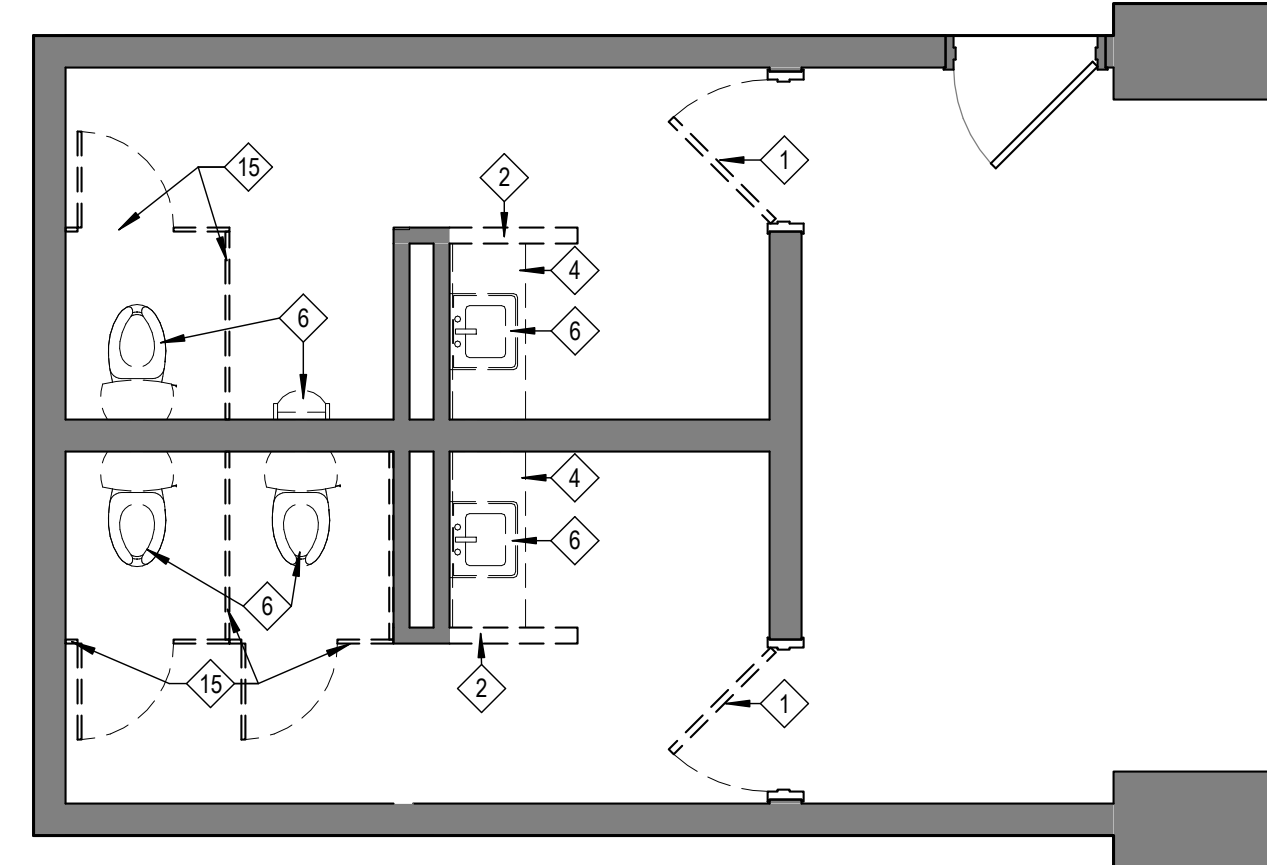
**4 High Rise - Studio Bedroom Apartments B, B1, B2 - Demolition Plan**  
1/4" = 1'-0"



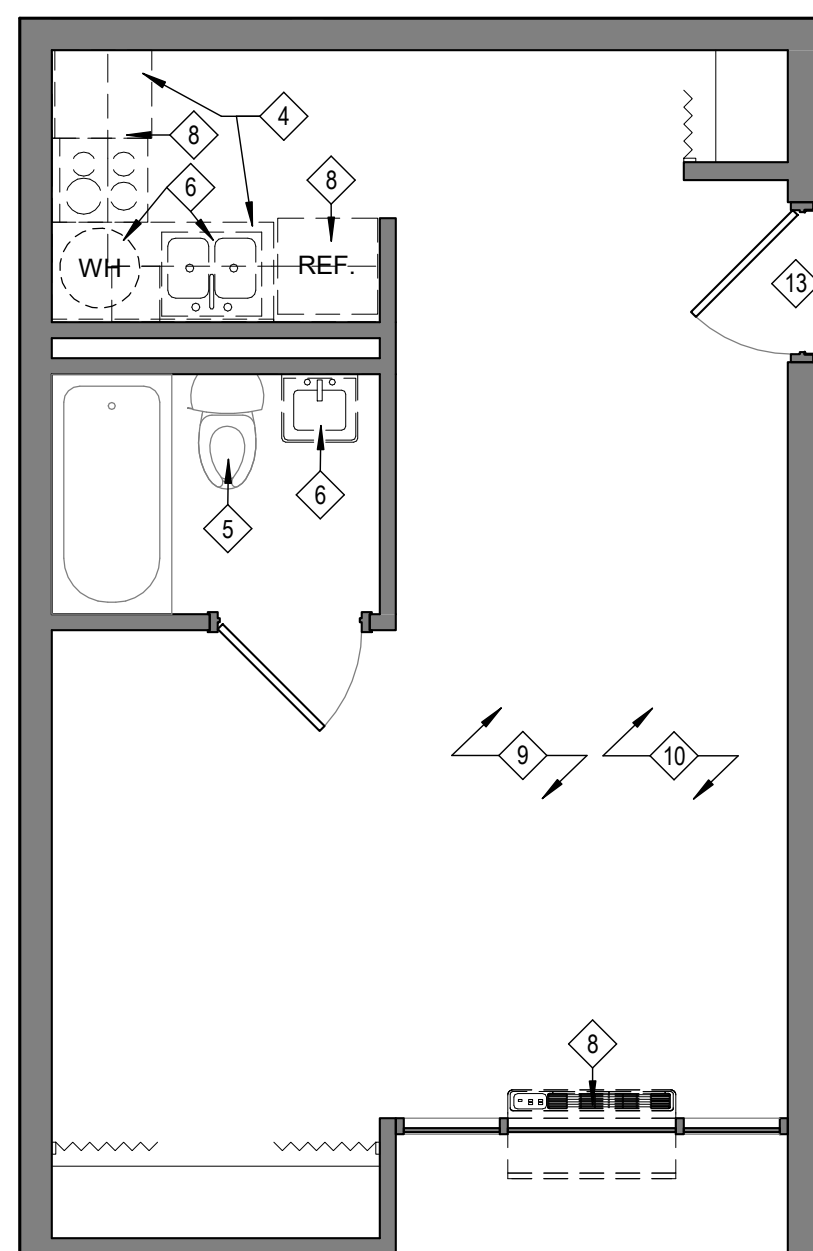
**7 High Rise - Studio Bedroom Type A - Demolition Plan**  
1/4" = 1'-0"



**6 Low Rise - Studio Bedroom Apartment Type A - Demolition Plan**  
1/4" = 1'-0"



**10 High Rise Common Area Restroom - Demolition Plan**  
1/4" = 1'-0"



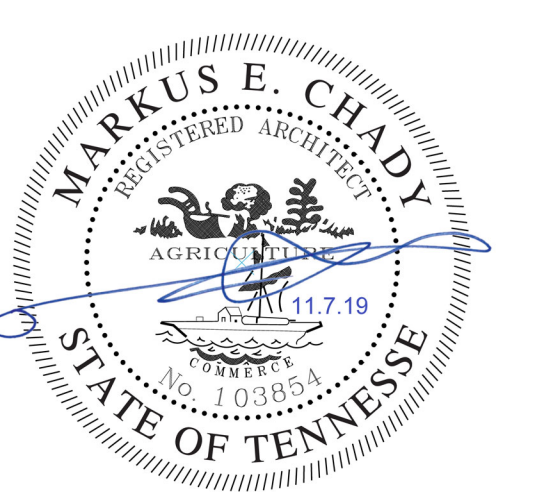
**9 Low Rise - Studio Bedroom Apartment Type B - Demolition Plan**  
1/4" = 1'-0"

**11 Not Used**  
NTS

**8 Not Used**  
NTS

**2 Not Used**  
NTS





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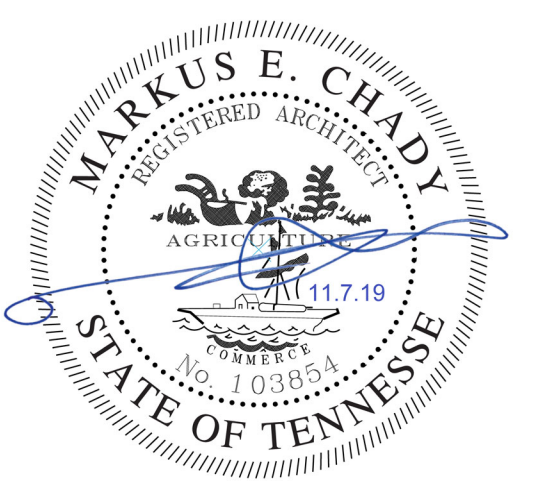
No.	Description	Date

Job Number: 19089.00  
Master Schedule & Notes

High Rise Schedule																
Number	Type	Level	Area	Accessible	Kitchen Casework	Flooring	Shoe Molding	Paint Walls & Ceilings	Pull Stations	Range	Refrigerator	Smoke Detectors	Electrical Panel Replacement	Building		
413	0	Fourth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
414	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
415	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
416	0	Fourth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
417	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
418	0 ADA	Fourth Floor	364 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
419	0 ADA	Fourth Floor	361 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
424	0	Fourth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
425	0	Fourth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
426	0	Fourth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
429	0	Fourth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
430	0	Fourth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
431	0	Fourth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
432	0	Fourth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
433	0	Fourth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
434	0	Fourth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
437	0	Fourth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
438	0	Fourth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
439	0	Fourth Floor	370 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
440	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
441	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
442	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
443	0	Fourth Floor	354 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
500	0	Fifth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
501	0	Fifth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
502	0	Fifth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
504	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
505	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
506	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
507	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
508	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
509	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
510	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
511	0	Fifth Floor	361 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
513	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
514	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
515	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
516	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
517	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
518	0 ADA	Fifth Floor	364 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
519	0 ADA	Fifth Floor	361 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
524	0	Fifth Floor	354 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
525	0	Fifth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
526	0	Fifth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
529	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
530	0	Fifth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
531	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
532	0	Fifth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
533	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
534	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
537	0	Fifth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
538	0	Fifth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
539	0	Fifth Floor	370 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
540	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
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543	0	Fifth Floor	354 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
600	0	Sixth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
601	0	Sixth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
602	0	Sixth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
604	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
605	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
606	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
607	0	Sixth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
608	0	Sixth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
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614	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
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616	0	Sixth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
617	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
618	0 ADA	Sixth Floor	364 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
619	0 ADA	Sixth Floor	361 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
624	0	Sixth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
625	0	Sixth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
626	0	Sixth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
629	0	Sixth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
630	0	Sixth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
631	0	Sixth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
632	0	Sixth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
633	0	Sixth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
639	0	Sixth Floor	370 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
640	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
641	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
642	0	Sixth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
643	0	Sixth Floor	354 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
704	0	Seventh Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
705	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
706	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
707	0	Seventh Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
708	0	Seventh Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
709	0	Seventh Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
710	0	Seventh Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
711	0	Seventh Floor	361 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
713	0	Seventh Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
714	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
715	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
716	0	Seventh Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
717	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A		
718	0 ADA	Seventh Floor	364 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		
719	0 ADA	Seventh Floor	361 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A		

High Rise Schedule														
Number	Type	Level	Area	Accessible	Kitchen Casework	Flooring	Shoe Molding	Paint Walls & Ceilings	Pull Stations	Range	Refrigerator	Smoke Detectors	Electrical Panel Replacement	Building
34	0	Ground Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
37	0	Ground Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
38	0	Ground Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
100	0	First Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
101	0	First Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
102	0	First Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
104	0													





Project Phase: Construction Documents

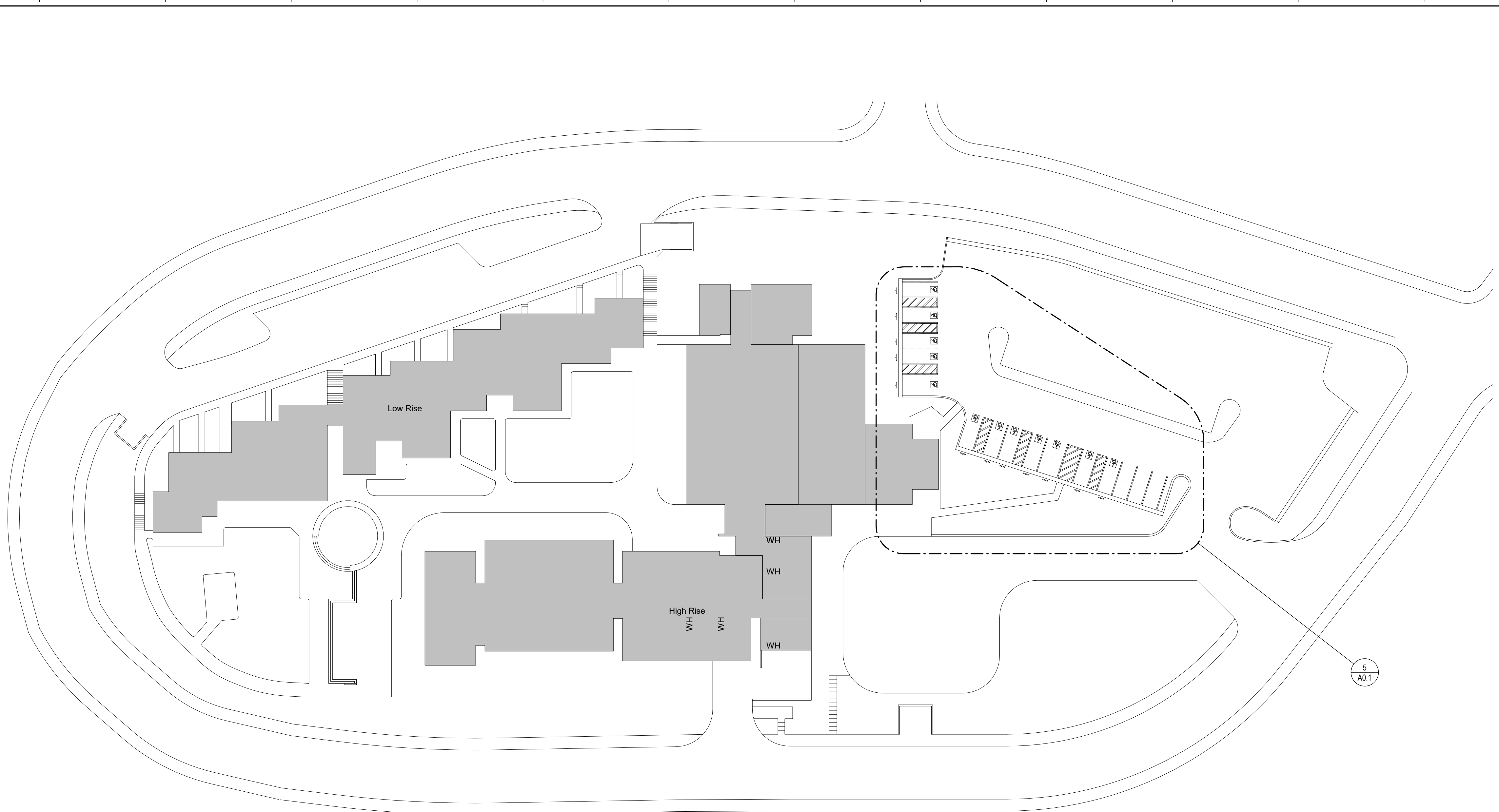
Issue Date: 11.07.2019

Revisions		
No.	Description	Date

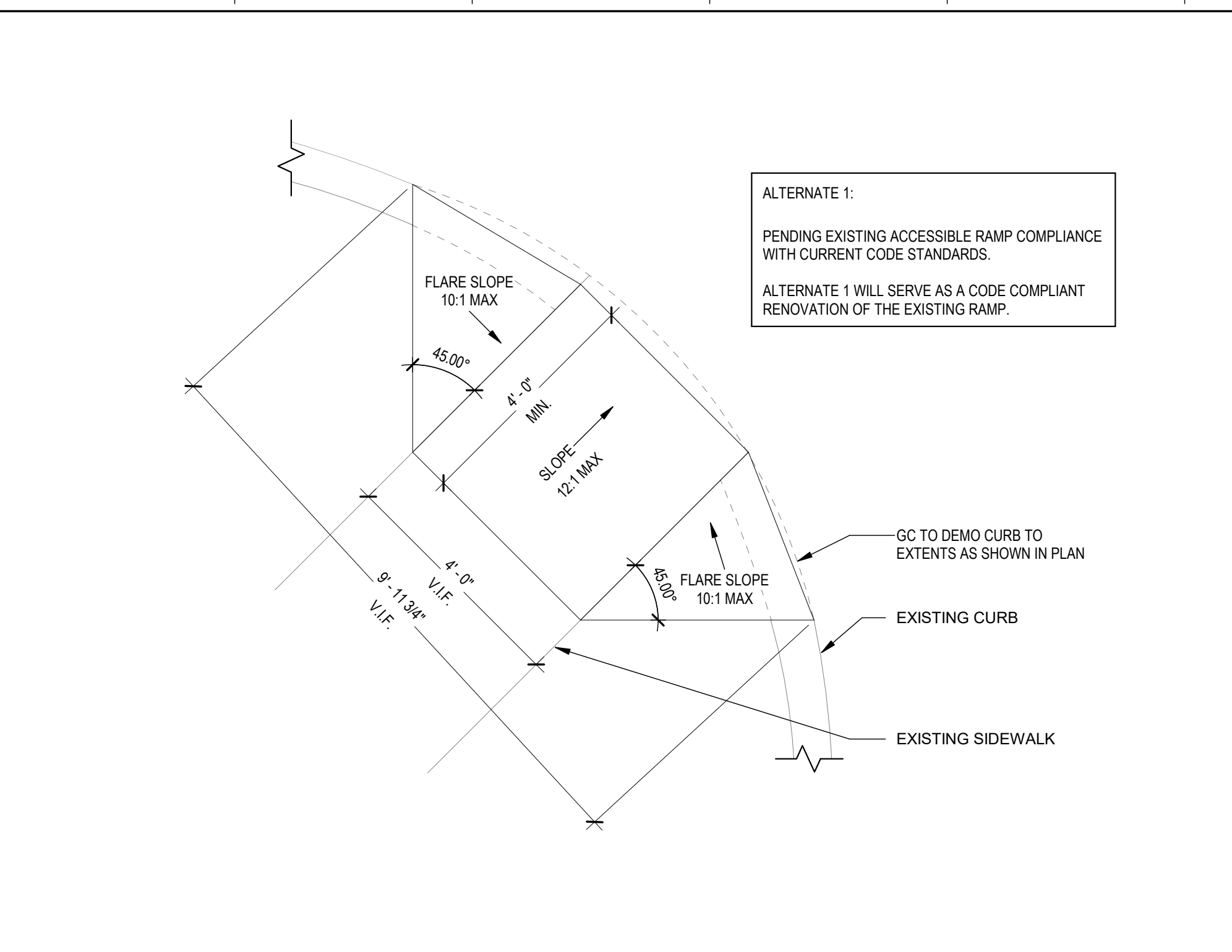
Job Number: 19089.00

Architectural Site Plan

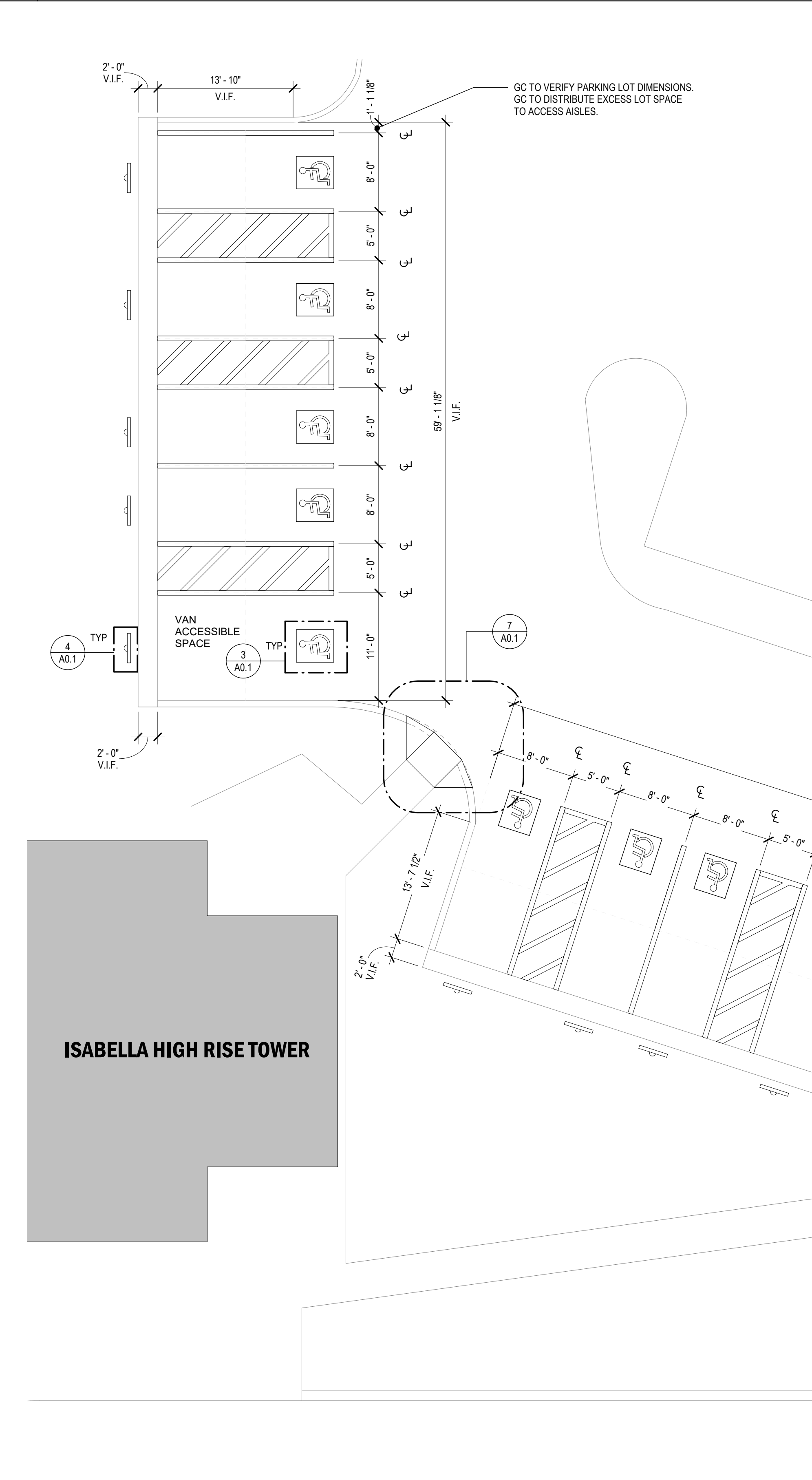
**A0.1**



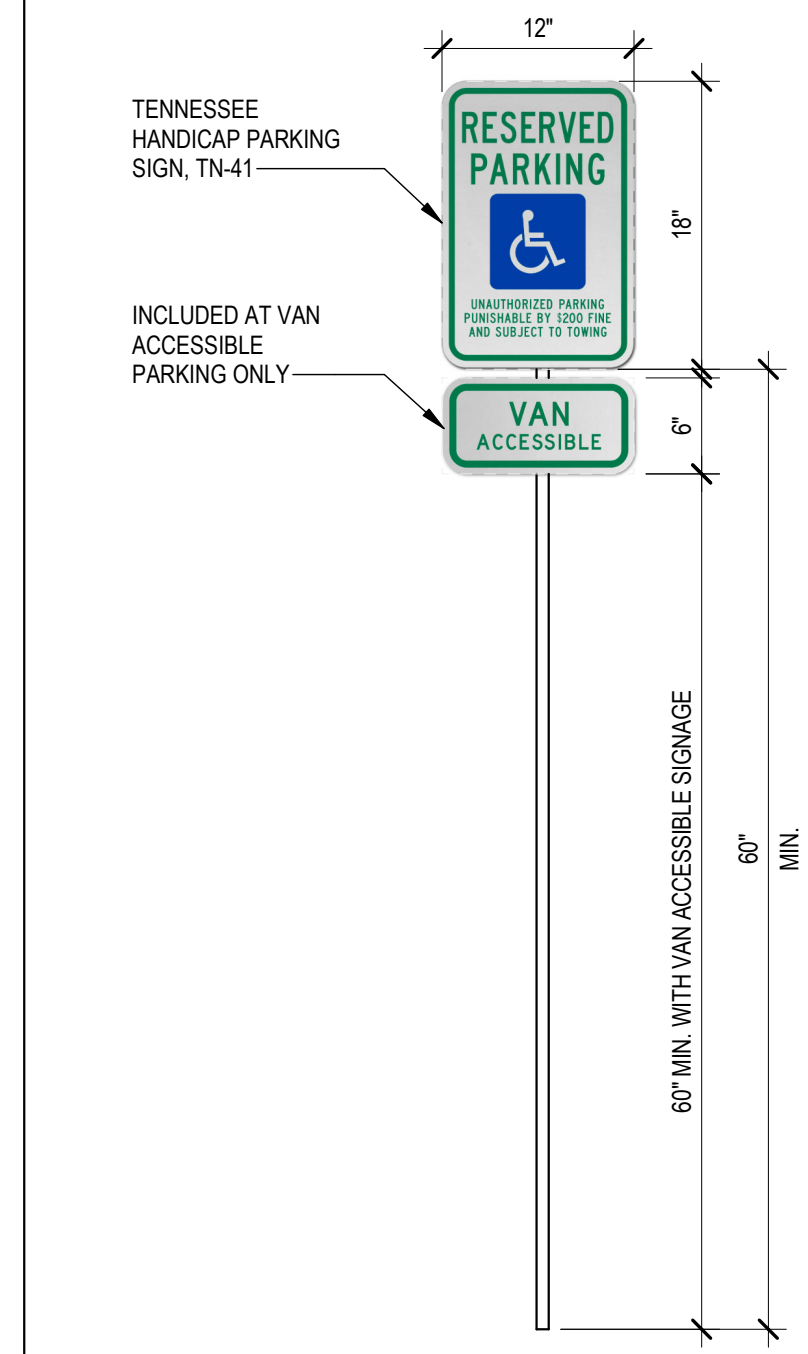
**6 Architectural Reference Site Plan**  
1/32" = 1'-0"



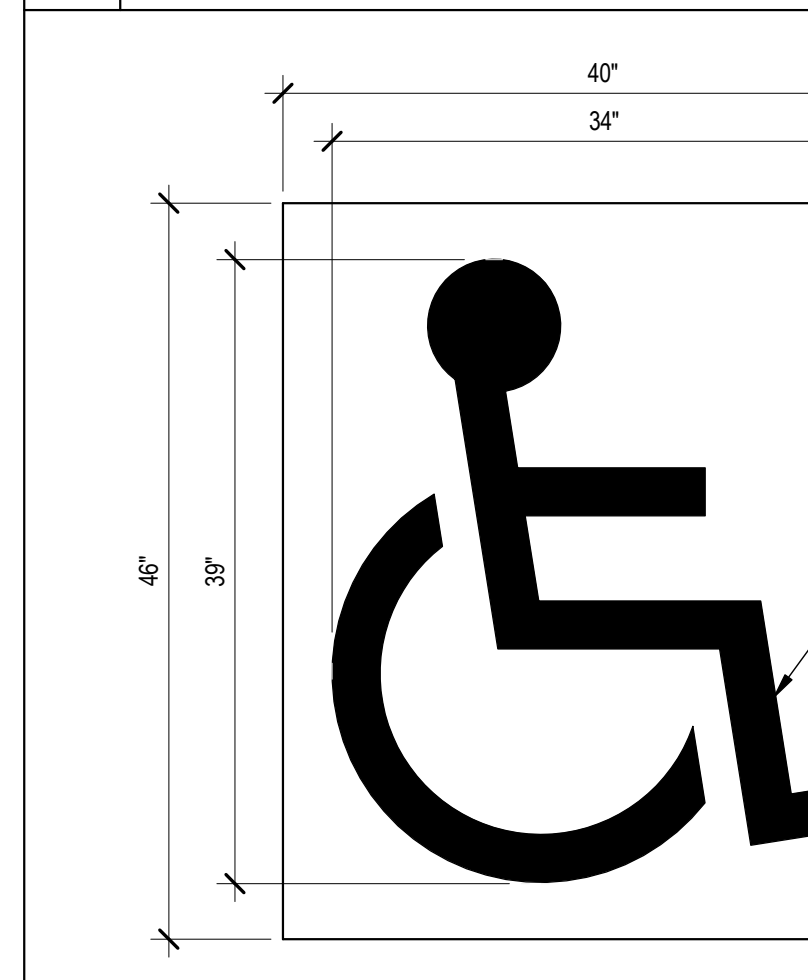
**7 Accessible Parking - Alternate 1**  
1/2" = 1'-0"



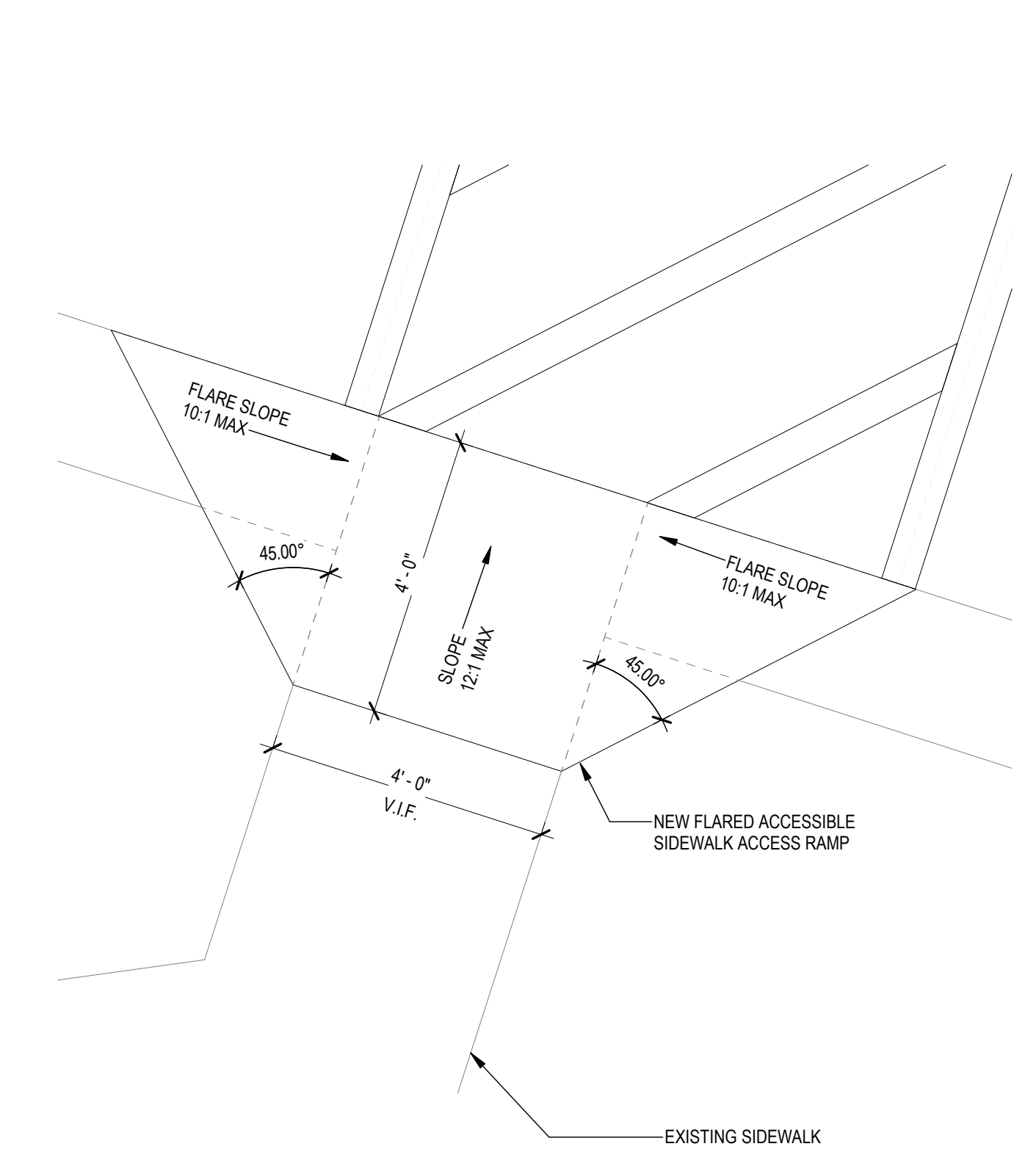
**5 Enlarged Accessible Parking Layout Plan**  
1/8" = 1'-0"



**4 Parking Signage Standard**  
1" = 1'-0"



**3 Handicap Striping Standard**  
1" = 1'-0"



**2 Sidewalk Ramp Detail @ Van Access Aisle**  
1/2" = 1'-0"

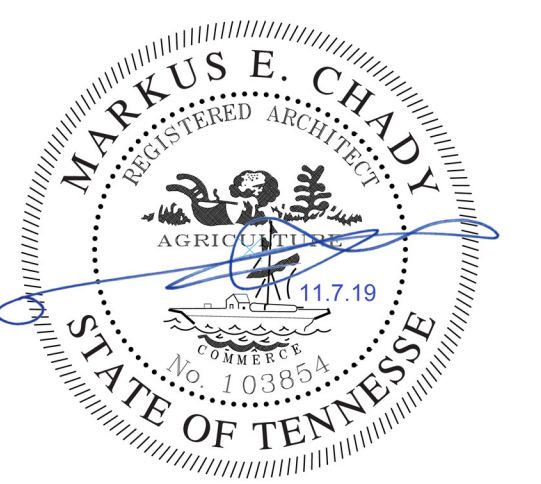
ACCESSIBLE UNITS		
Total Accessible Units	12	
ACCESSIBLE SPACES		
Total Accessible Spaces	*12 (1/6 to be Van Accessible)	10 Car accessible spaces 2 Van accessible spaces
	*2018 IBC, 1106.2.3: 1 Access Space / 1 Access Unit	

**1 Parking Matrix**  
NTS

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Project Phase: Construction Documents

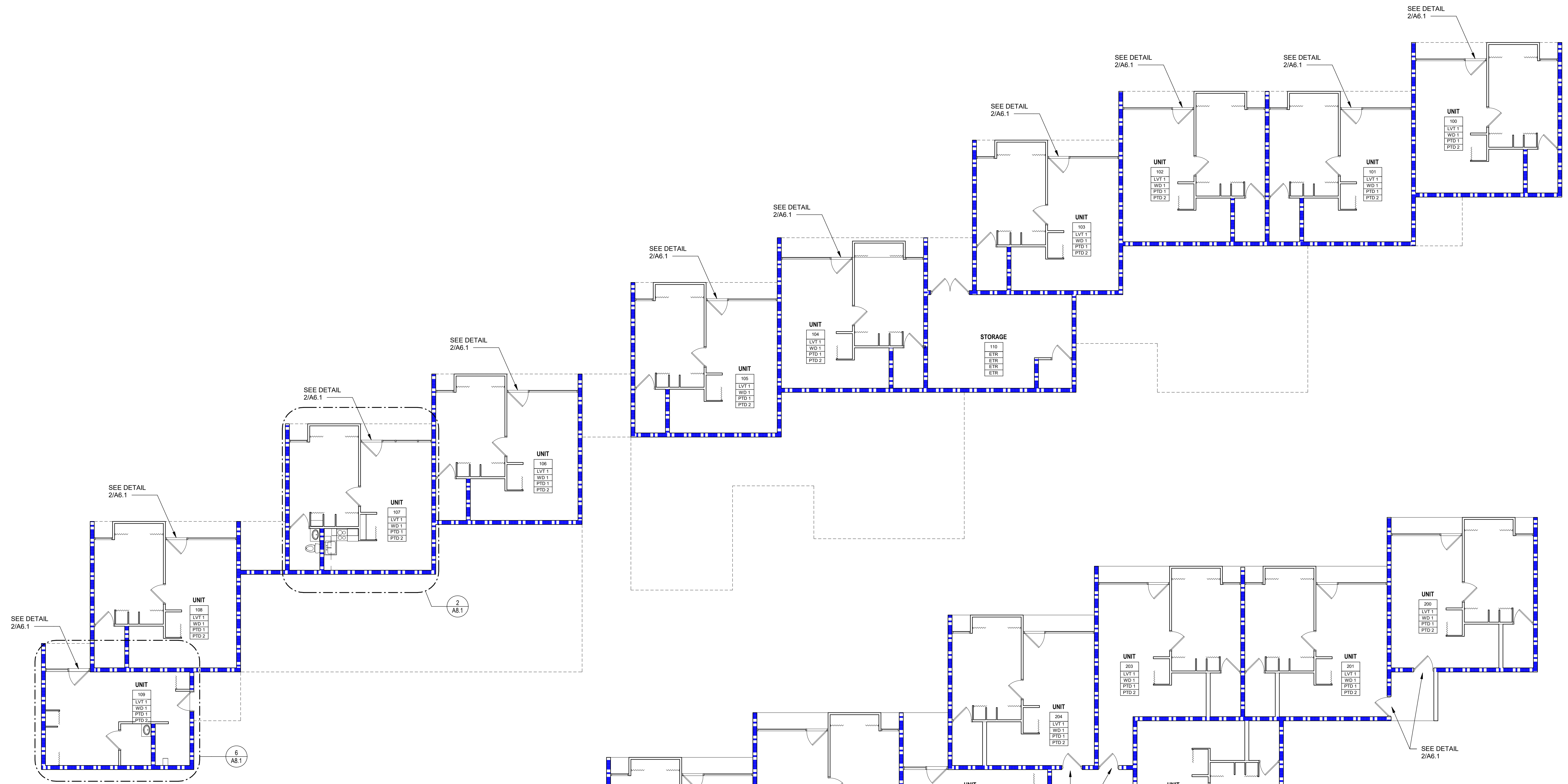
Issue Date: 11.07.2019

Revisions		
No.	Description	Date

Job Number: 19089.00

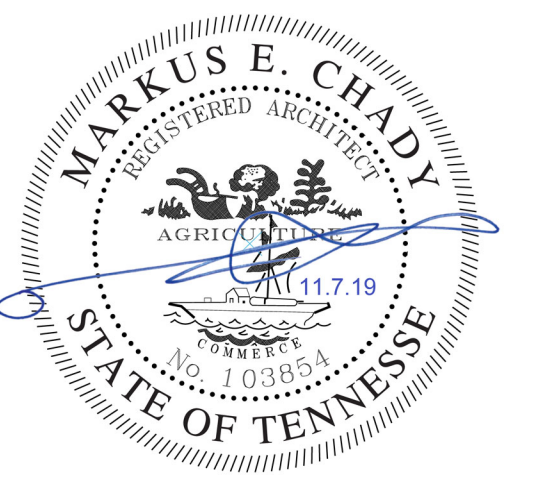
Overall Ground & First  
Floor Plan - Low Rise

**A1.1**



**KCDC - Renovation at Isabella Towers**

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

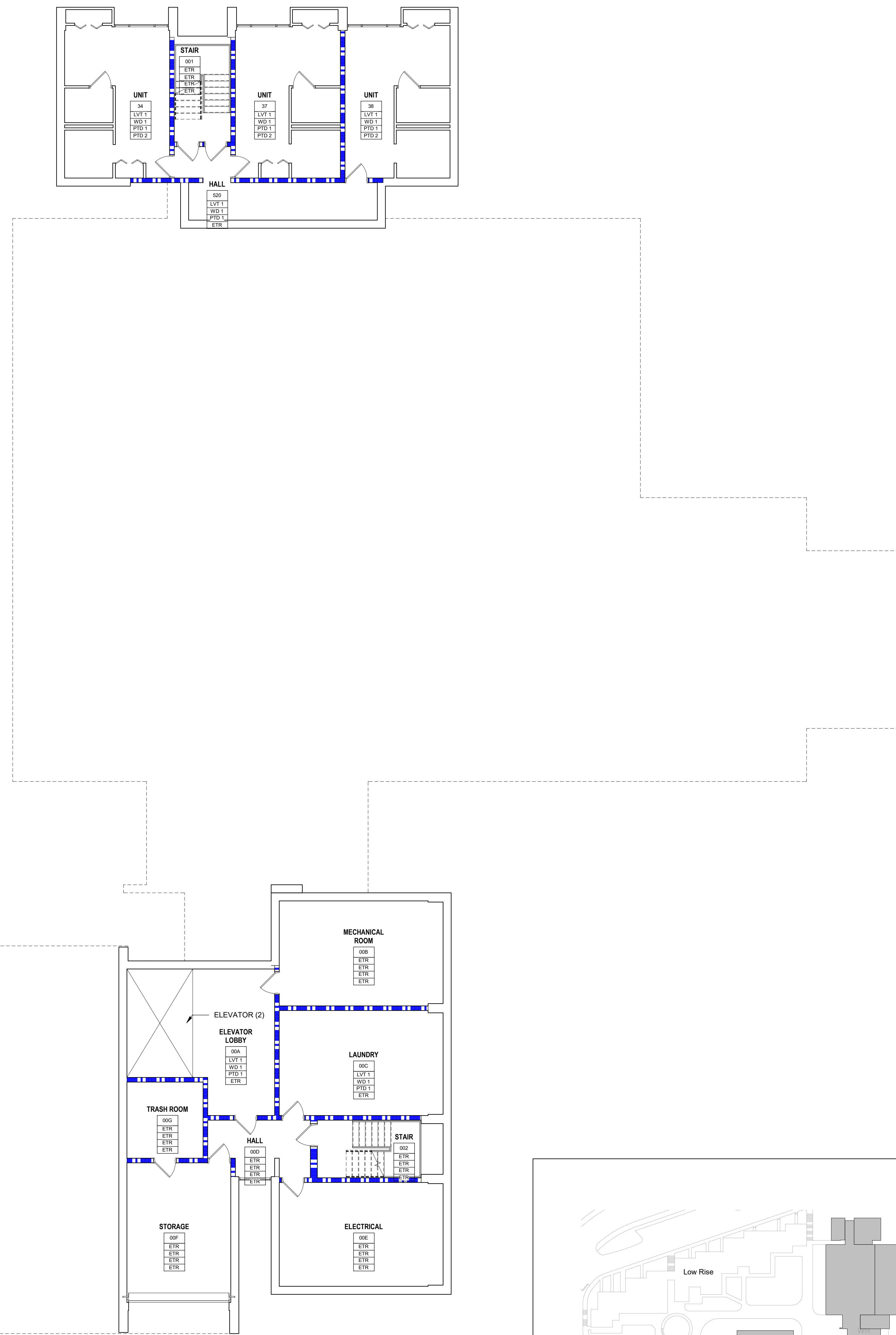
Issue Date: 11.07.2019

Revisions		
No.	Description	Date

Job Number: 19089.00

Overall Ground Floor Plan - High Rise

**A1.2**



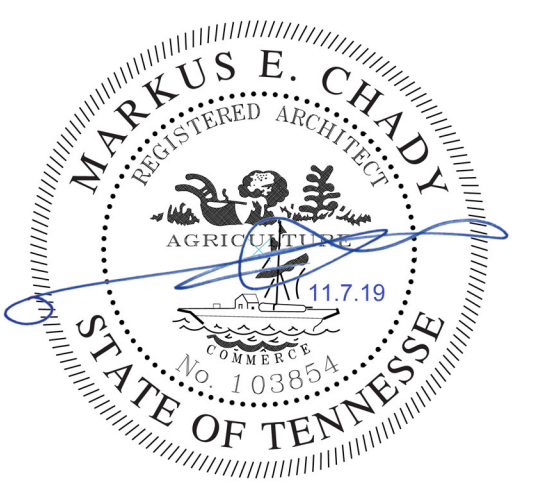
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Checked By: Checker  
File: C:\Revit Local Files\19089\_Isabella\_Central\_unas.rvt

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KCDC - Renovation at Isabella Towers

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

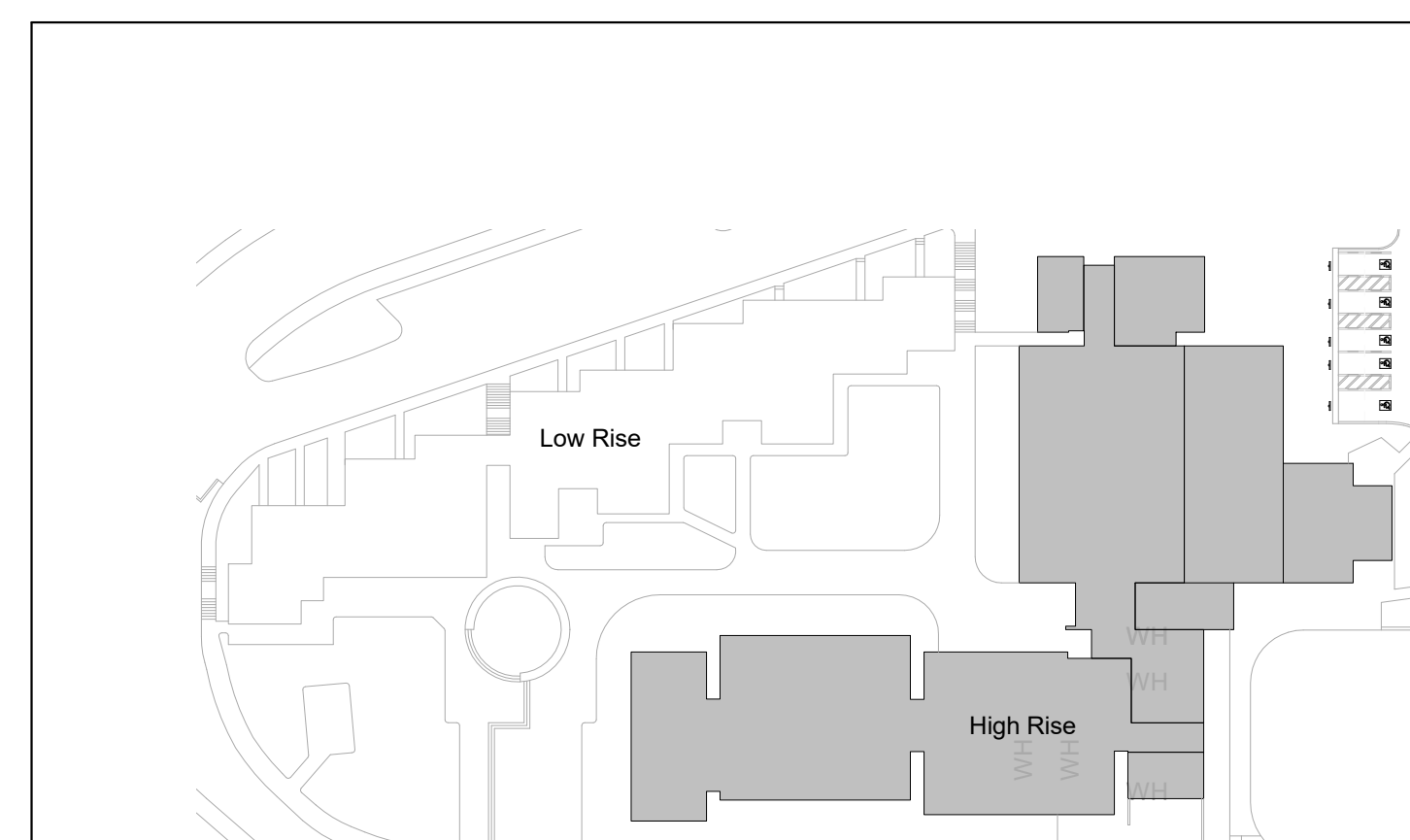
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Revisions		
No.	Description	Date

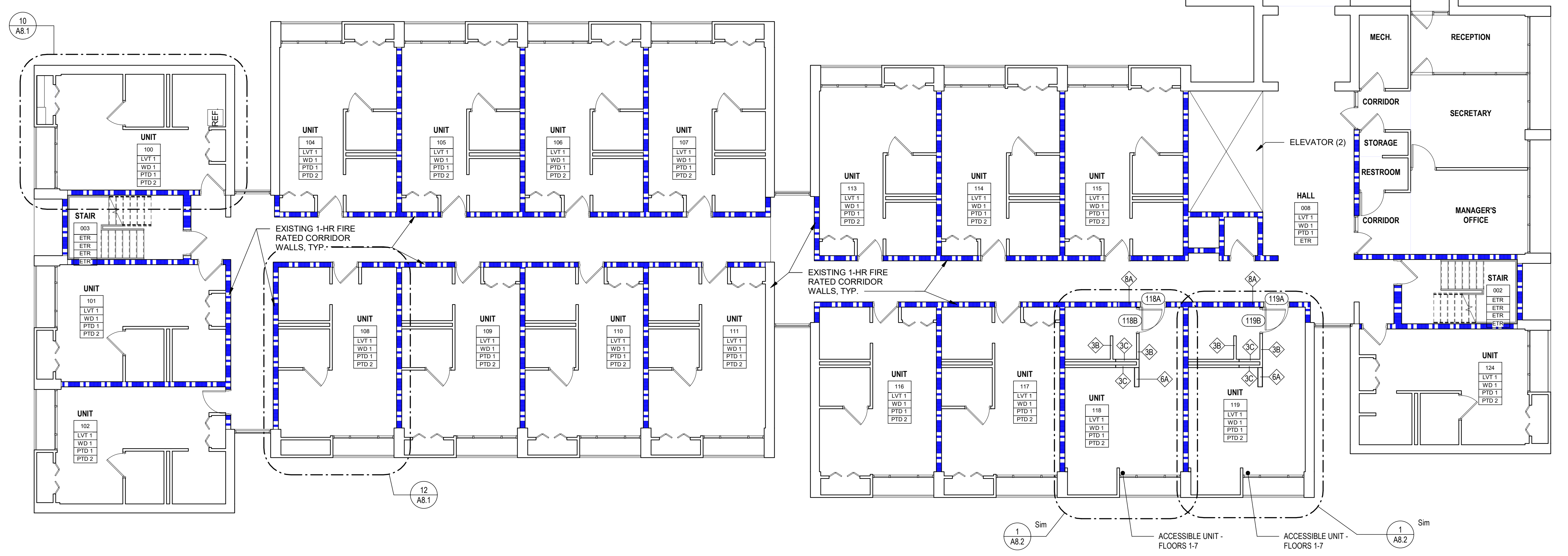
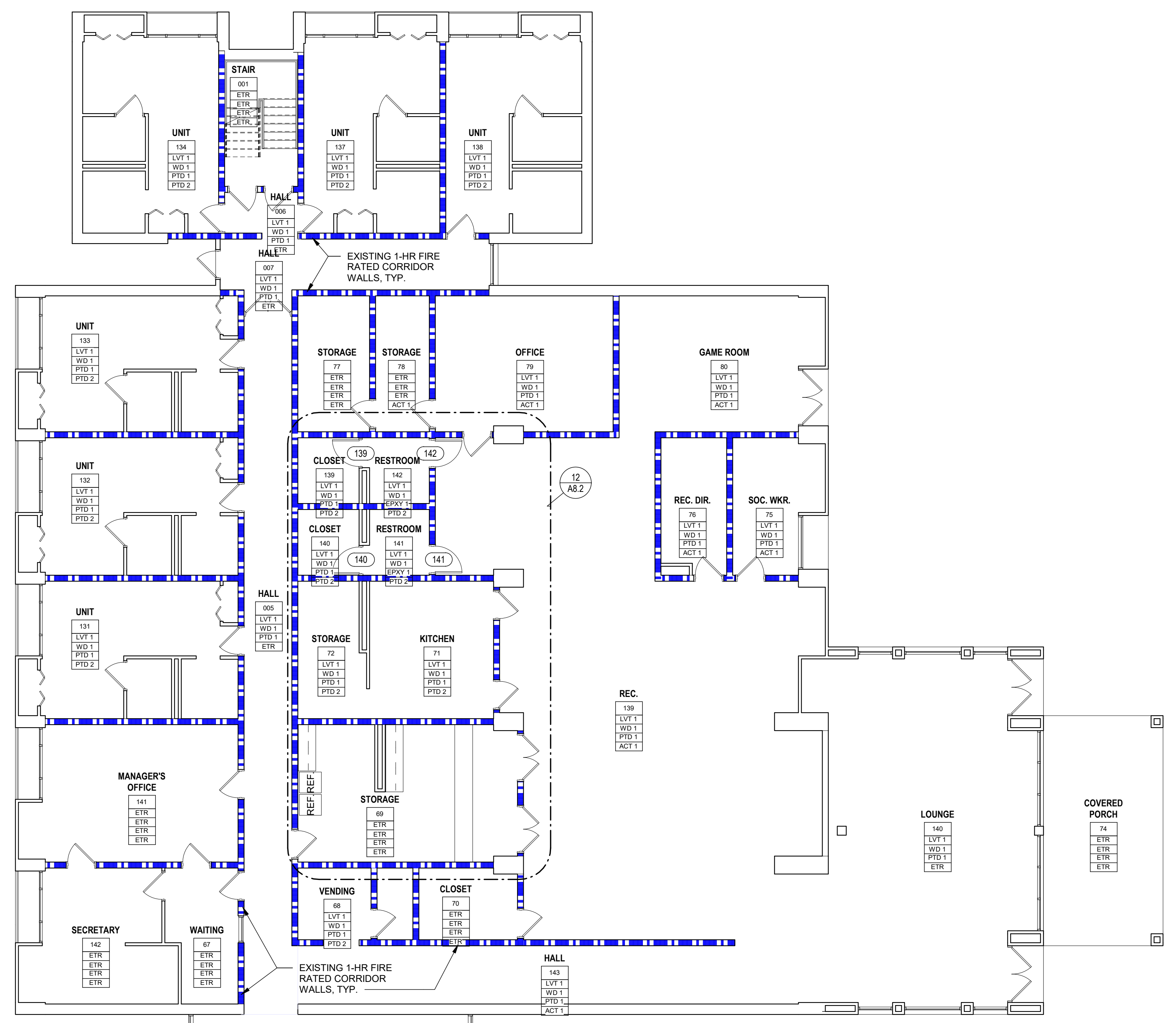
Job Number: 19089.00

Overall First Floor Plan - High Rise

**A1.3**



1 Key Plan



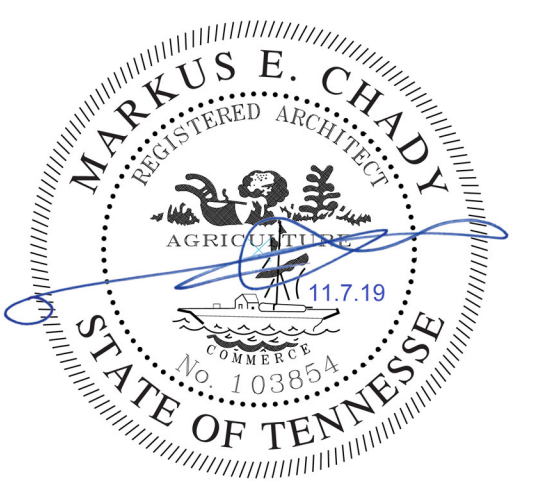
2 Overall First Floor Plan - High Rise  
1/8" = 1'-0"

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KCDC - Renovation at Isabella Towers

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

Issue Date: 11.07.2019

Revisions		
No.	Description	Date

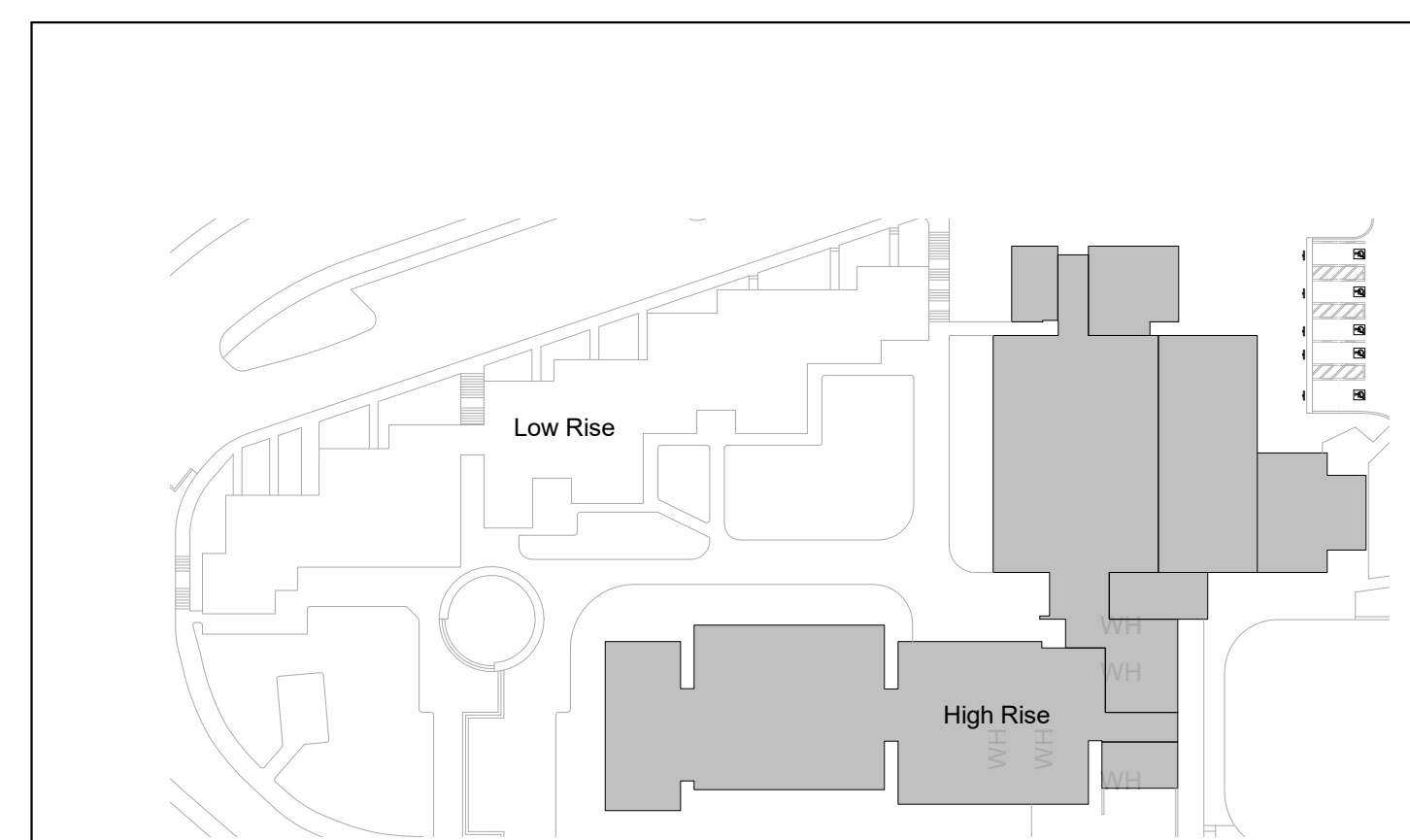
Job Number: 19089.00

Overall Second Through  
Fifth Floor Plans - High  
Rise

**A1.4**

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Checked By: Chady  
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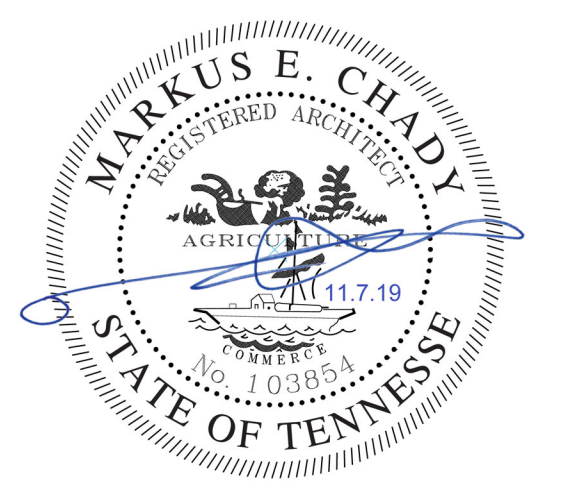
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KCDC - Renovation at Isabella Towers

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

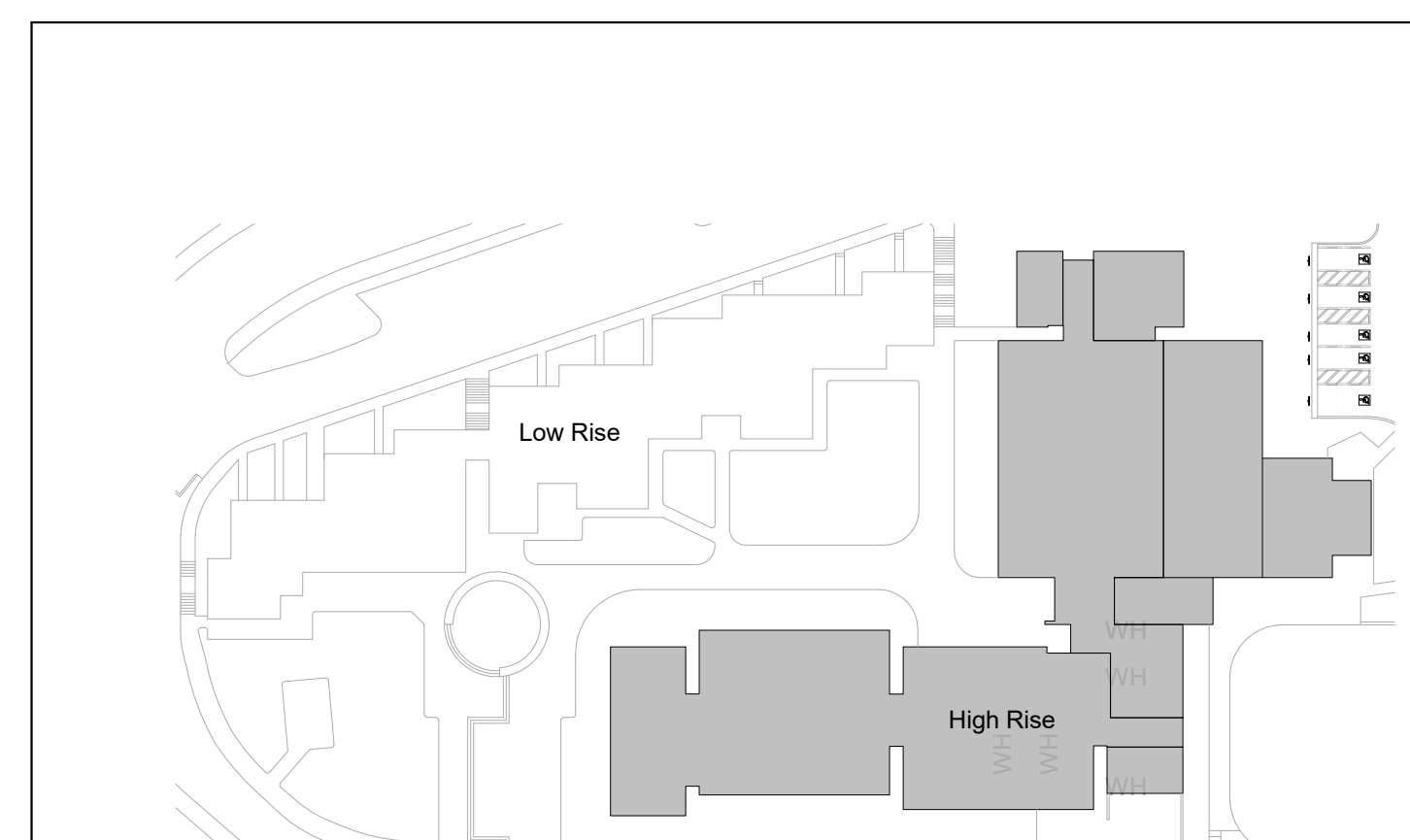
Issue Date: 11.07.2019

Revisions		
No.	Description	Date

Job Number: 19089.00

Overall Sixth Floor Plan - High Rise

**A1.5**

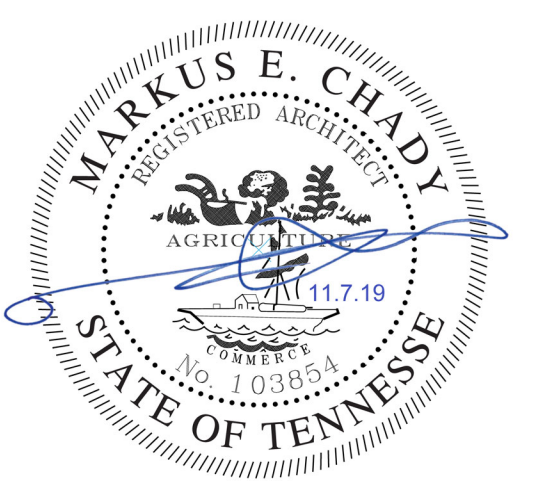


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**KCDC - Renovation at Isabella Towers**

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

Issue Date: 11.07.2019

Revisions		
No.	Description	Date

Job Number: 19089.00

Overall Seventh Floor Plan  
- High Rise

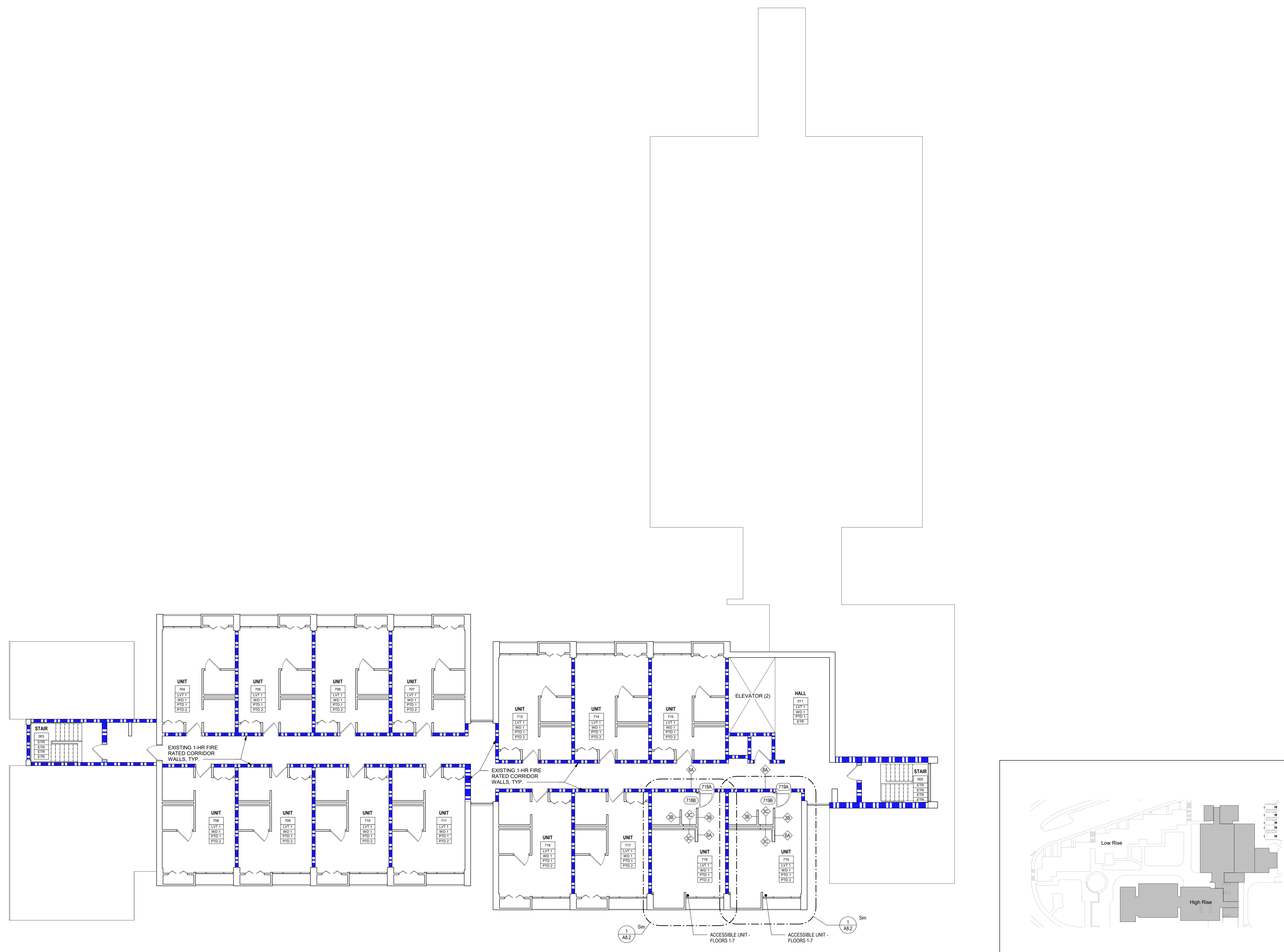
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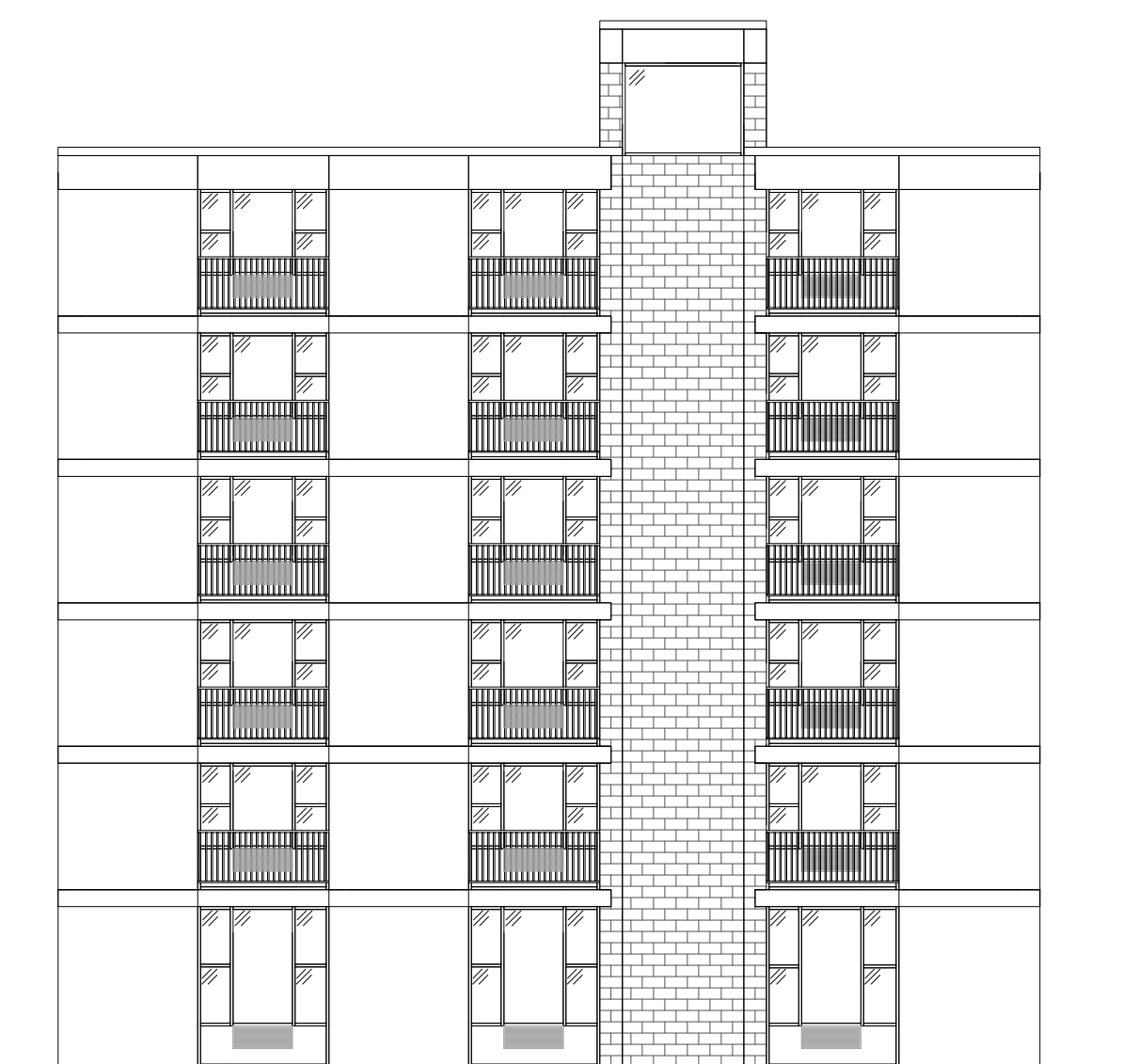
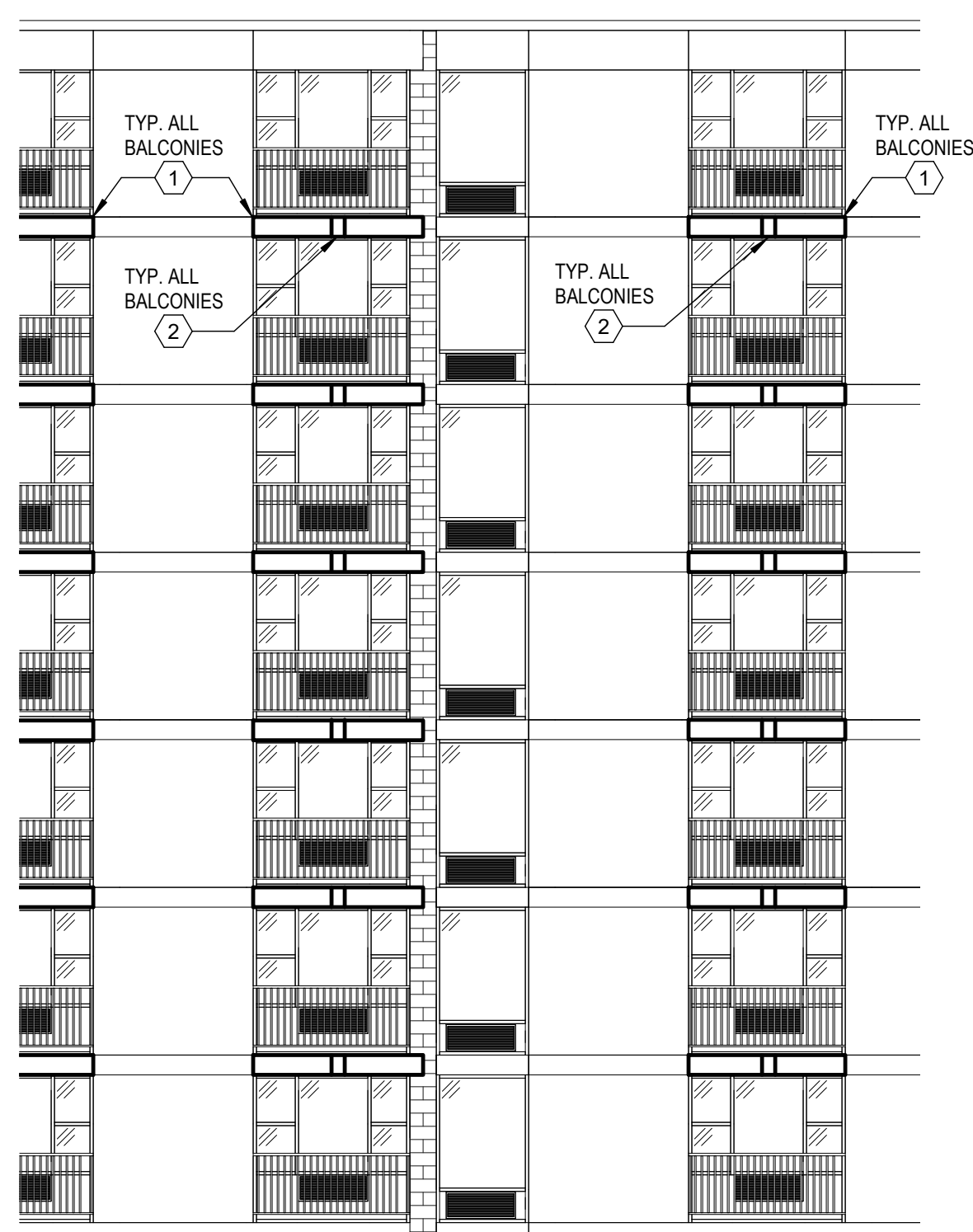
**2 Overall Seventh Floor Plan - High Rise**  
1/8" = 1'-0"

**1 Key Plan**





- 1 AT EIFS MATERIAL BENEATH ALL BALCONIES. REMOVE LAMINA COMPLETELY AND REPAIR PER NOTE #2. RETAIN DRAINAGE REVEAL AS CURRENTLY EXISTS. EXISTING DRAINAGE REVEAL TO REMAIN.
- 2 WHERE HOLES OR OTHER DAMAGES LESS THAN 3"x3" IN SIZE ARE PRESENT. CONTRACTOR IS TO: CUT AND REMOVE LAMINA, EXPOSING A NEAT, UNIFORM SIZED AREA OF INSULATION SLIGHTLY LARGER THAN THE DAMAGED AREA. REMOVE REMAINING FINISH AROUND THE CUT AND EXPOSE THE REINFORCED BASE COAT AROUND THE DAMAGED AREA. CUT AND REMOVE ANY LOOSE OR DAMAGED FOAM TO REVEAL FRESH FOAM. PROPERLY MASK THE SURROUNDING FINISH TO PREVENT UNWANTED DAMAGE. ADEQUATE PATCHING MIXTURE SHOULD BE CHOSEN AND PROPERLY APPLIED TO FILL THE DAMAGED AREA. SMOOTH PATCH AND APPLY FINISH TO MATCH EXISTING.
- 3 WHERE DAMAGES DUE TO IMPACT ARE PRESENT CONTRACTOR IS TO: PROPERLY MASK OFF AREA SLIGHTLY LARGER THAN IDENTIFIED DAMAGED AREA. CUT AND REMOVE THE DAMAGED EIFS EXPOSING A NEAT, UNIFORM SIZED AREA OF INSULATION SLIGHTLY LARGER THAN THE DAMAGED AREA. REMOVE REMAINING FINISH AROUND THE CUT AND EXPOSE THE REINFORCED BASE COAT AROUND THE DAMAGED AREA. INSTALL EPS WITH APPROPRIATE ADHESIVE AND/OR FASTENERS. APPLY NEW BASE COAT AND MESH OVERLAPPING ONTO EXISTING EXPOSED BASE COAT LAYER. PROPERLY MASK THE SURROUNDING FINISH TO PREVENT UNWANTED DAMAGE. PROPERLY APPLY NEW MATCHING FINISH AND BLEND NEW FINISH INTO EXISTING FINISH.
- 4 WHERE CORNER DAMAGES ARE PRESENT, THE CONTRACTOR IS TO: CUT AND REMOVE THE DAMAGED EIFS, IF UPON EXAMINATION THERE IS PRESENT DAMAGE TO THE SUBSTRATE REPAIR AS NECESSARY PRIOR TO EIFS APPLICATION. REMOVE REMAINING FINISH AROUND THE CUT AND EXPOSE THE REINFORCED BASE COAT AROUND THE DAMAGED AREA. INSTALL NEW INSULATION BOARD TO THE SUBSTRATE TIGHT AGAINST EPS WITH APPROPRIATE ADHESIVE AND/OR FASTENERS. PROPERLY MASK THE SURROUNDING FINISH TO PREVENT UNWANTED DAMAGE. INSTALL A CONTINUOUS PIECE OF REINFORCING MESH WRAPPING AROUND THE CORNER AND EXTENDING PAST THE OPPOSING SIDE EXPOSED EPS AND ENSURE THAT IT LAPS ONTO EXISTING BASE COAT AND MESH. PROPERLY MASK OFF THE EXISTING FINISH. APPLY NEW MATCHING FINISH AND BLEND NEW FINISH INTO EXISTING FINISH.
- 5 WHERE CRACKS ARE PRESENT AT CORNER OF DOORS, WINDOWS, AIR CONDITIONERS, ETC., THE CONTRACTOR IS TO: CUT AND REMOVE THE DAMAGED EIFS, IF UPON EXAMINATION THERE IS PRESENT DAMAGE TO THE SUBSTRATE AND DEEMED NO LONGER STRUCTURALLY SOUND, REPAIR AS NECESSARY PRIOR TO EIFS APPLICATION. REMOVE REMAINING FINISH AROUND THE CUT AND EXPOSE THE EXISTING BASE COAT LAYER. PREP AREA FOR EPS EDGE WRAP. INSTALL A NEW CONTINUOUS "L" SHAPED PIECE OF INSULATION BOARD TIGHT AGAINST THE EXISTING EIFS. PROPERLY MASK OFF THE EXISTING FINISH. APPLY NEW MATCHING FINISH AND BLEND NEW FINISH INTO EXISTING FINISH.



8 Elevation Notes  
NTS

7 Typical Enlarged Building Elevation  
1/8" = 1'-0"

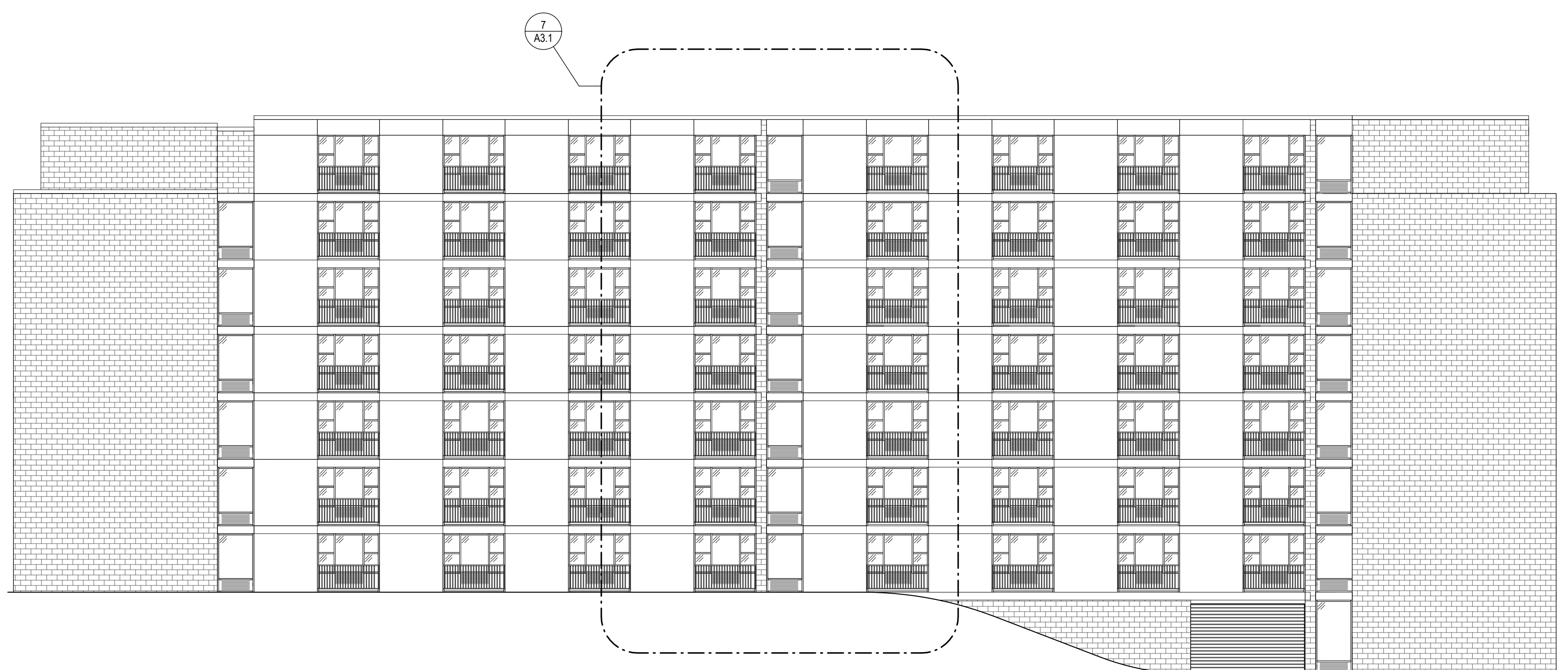
4 Elevation - NW Short Side  
3/32" = 1'-0"

1 Elevation - SW Short Side  
3/32" = 1'-0"



6 Elevation - NE Long Side  
3/32" = 1'-0"

3 Elevation - NW Long Side  
3/32" = 1'-0"

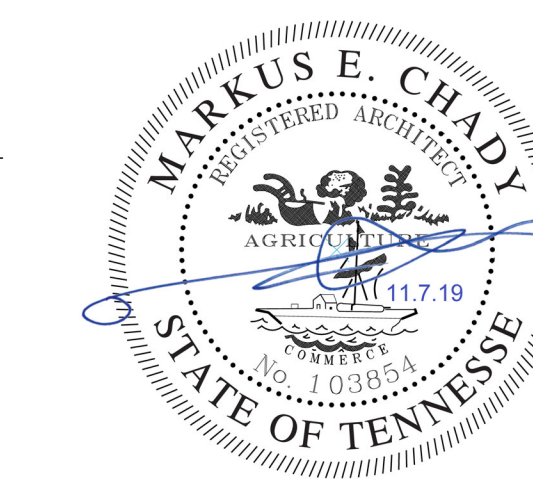


5 Elevation - SE Long Side  
3/32" = 1'-0"

2 Elevation - SW Long Side  
3/32" = 1'-0"

KCDC - Renovation at Isabella Towers

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

Issue Date: 11.07.2019

No.	Description	Date

Job Number: 19089.00

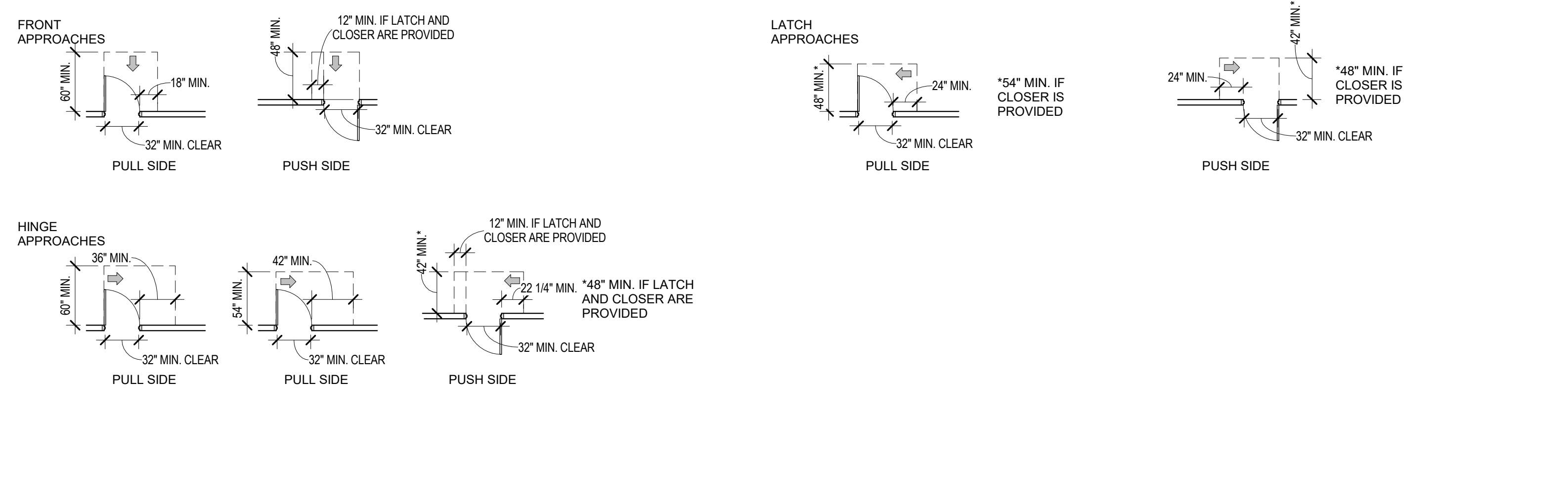
High Rise Elevations & Notes

A3.1

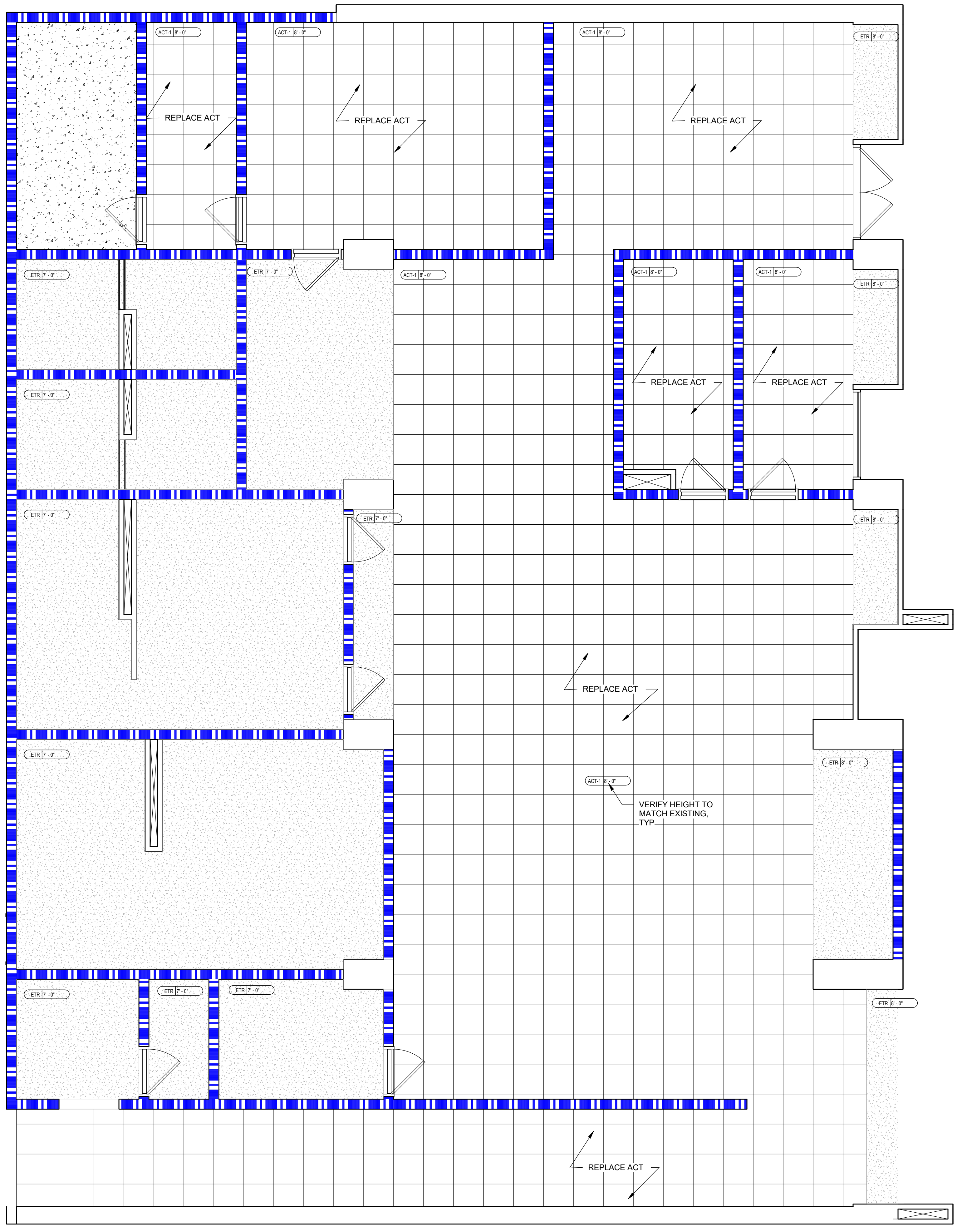
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Checked By: Chady  
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**12 Access - Doorway Clearances**  
1/8" = 1'-0"



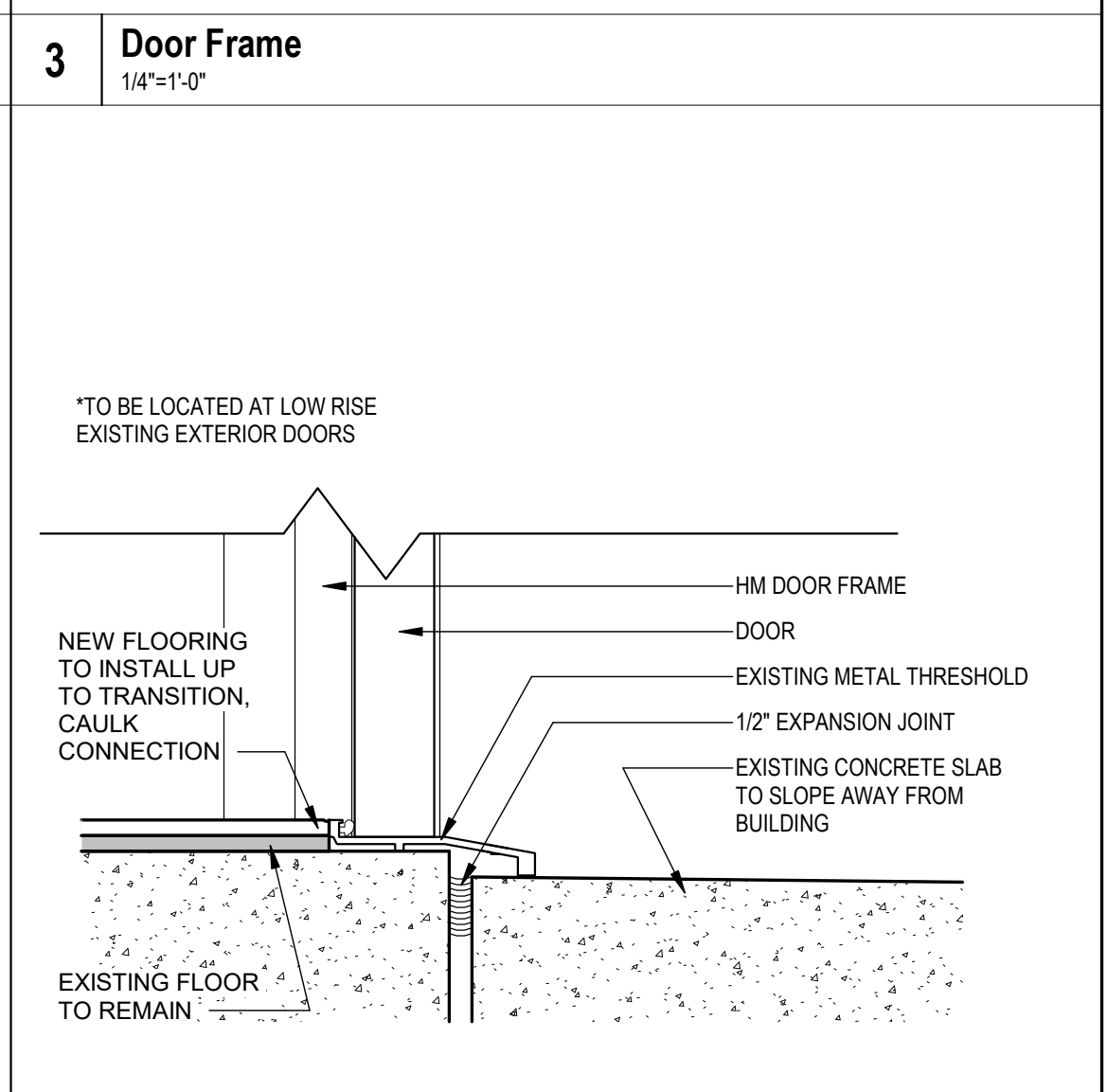
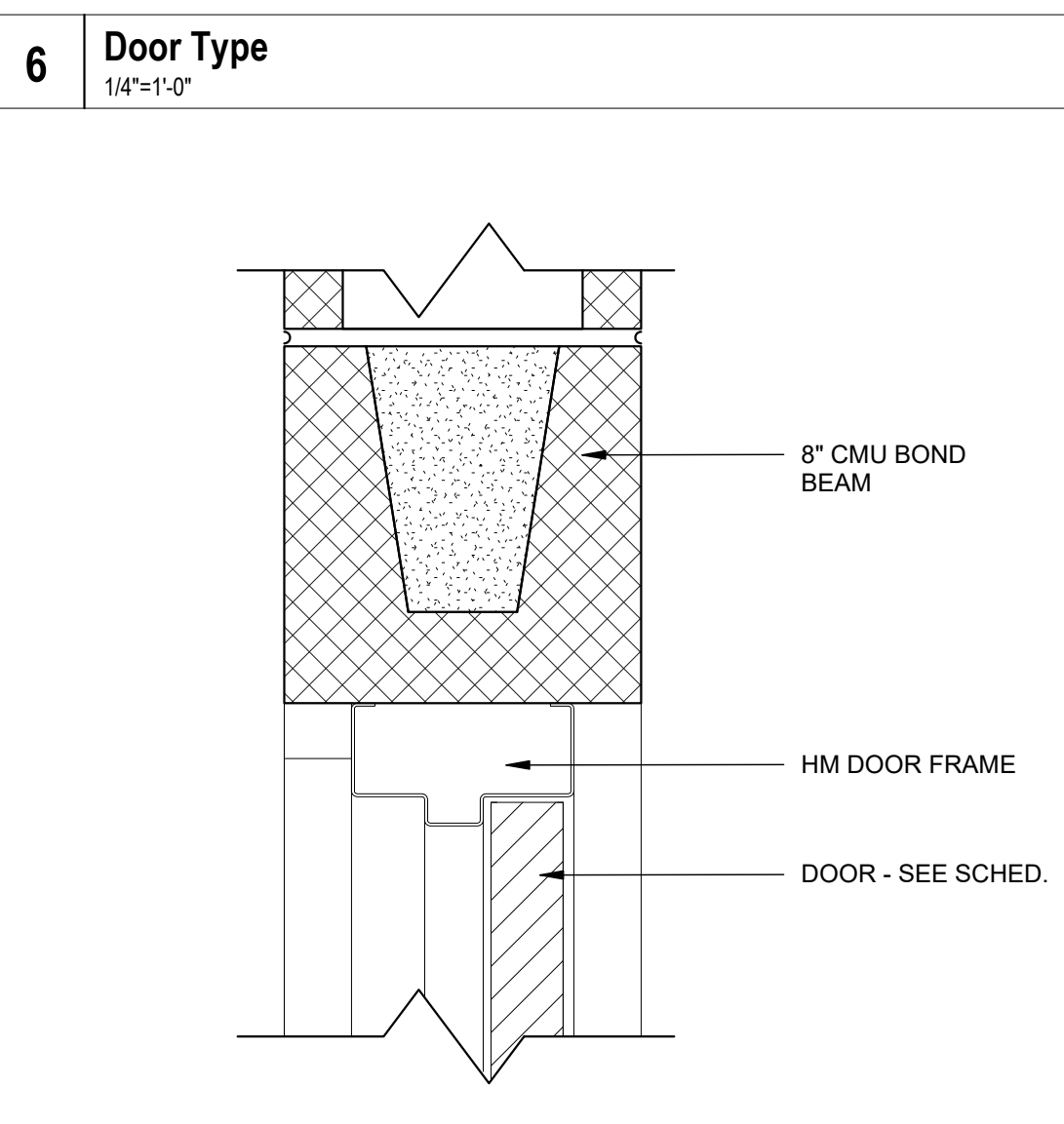
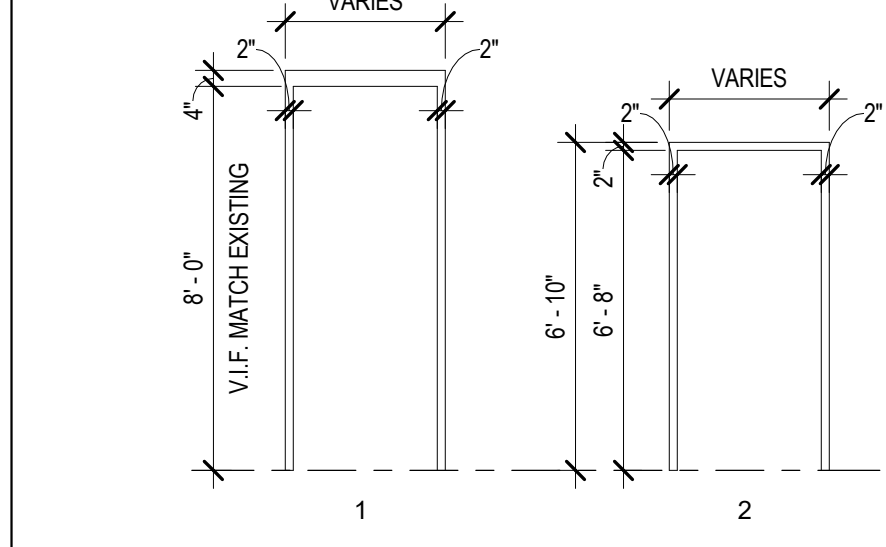
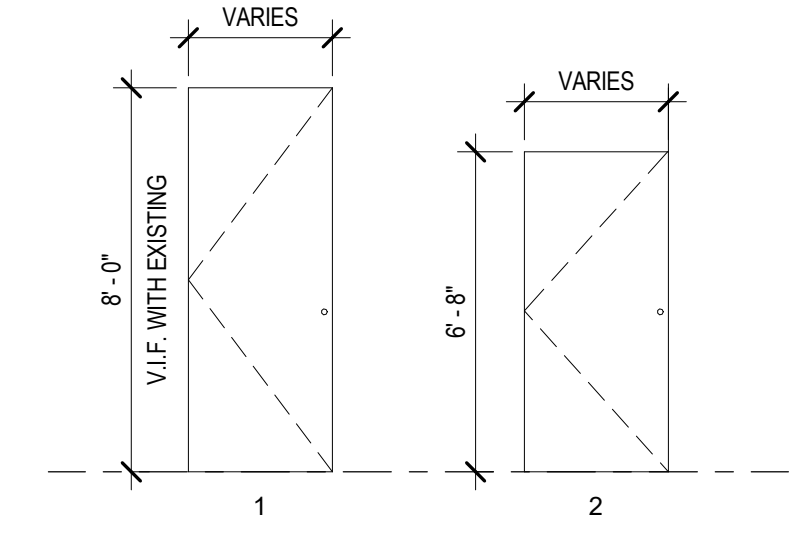
**11 First Floor Common area**  
1/8" = 1'-0"

Door Number	Size		Door Material	Door Type	Leaves	Frames			Details			Hardware Set #	Room Number	Fire Rating
	Width	Thickness				Rough Opening Size	Frame Material	Frame Type	Head	Jamb	Sill			
118A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	118	20 MIN.
118B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	118	
119A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	119	20 MIN.
119B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	119	
139	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	139	
140	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	140	
141	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	5/A6.1	4/A6.1	1/A6.1	2	141	
142	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	5/A6.1	4/A6.1	1/A6.1	2	142	
218A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	218	20 MIN.
218B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	218	
219A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	219	20 MIN.
219B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	219	
318A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	318	20 MIN.
318B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	318	
319A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	319	20 MIN.
319B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	319	
418A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	418	20 MIN.
418B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	418	
419A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	419	20 MIN.
419B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	419	
518A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	518	20 MIN.
518B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	518	
519A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	519	20 MIN.
519B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	519	
618A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	618	20 MIN.
618B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	618	
619A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	619	20 MIN.
619B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	619	
718A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	718	20 MIN.
718B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	718	
719A	3'-0"	0'-1 3/4"	Wood	1	1	3'-4"	H.M.	1	5/A6.1	4/A6.1	1/A6.1	1	719	20 MIN.
719B	3'-0"	0'-1 3/4"	Wood	2	1	3'-4"	H.M.	2	7/A6.1	7/A6.1	1/A6.1	2	719	

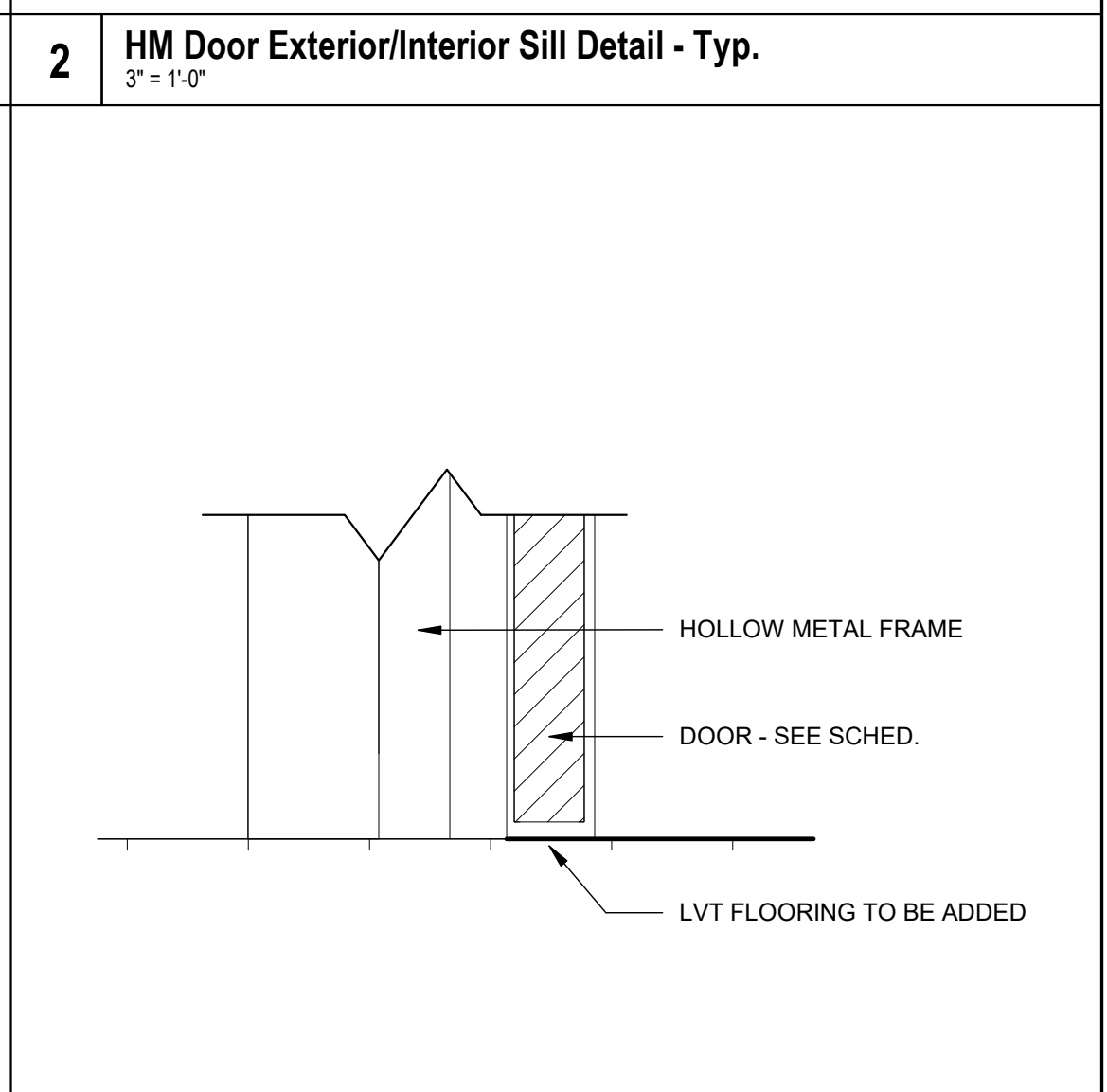
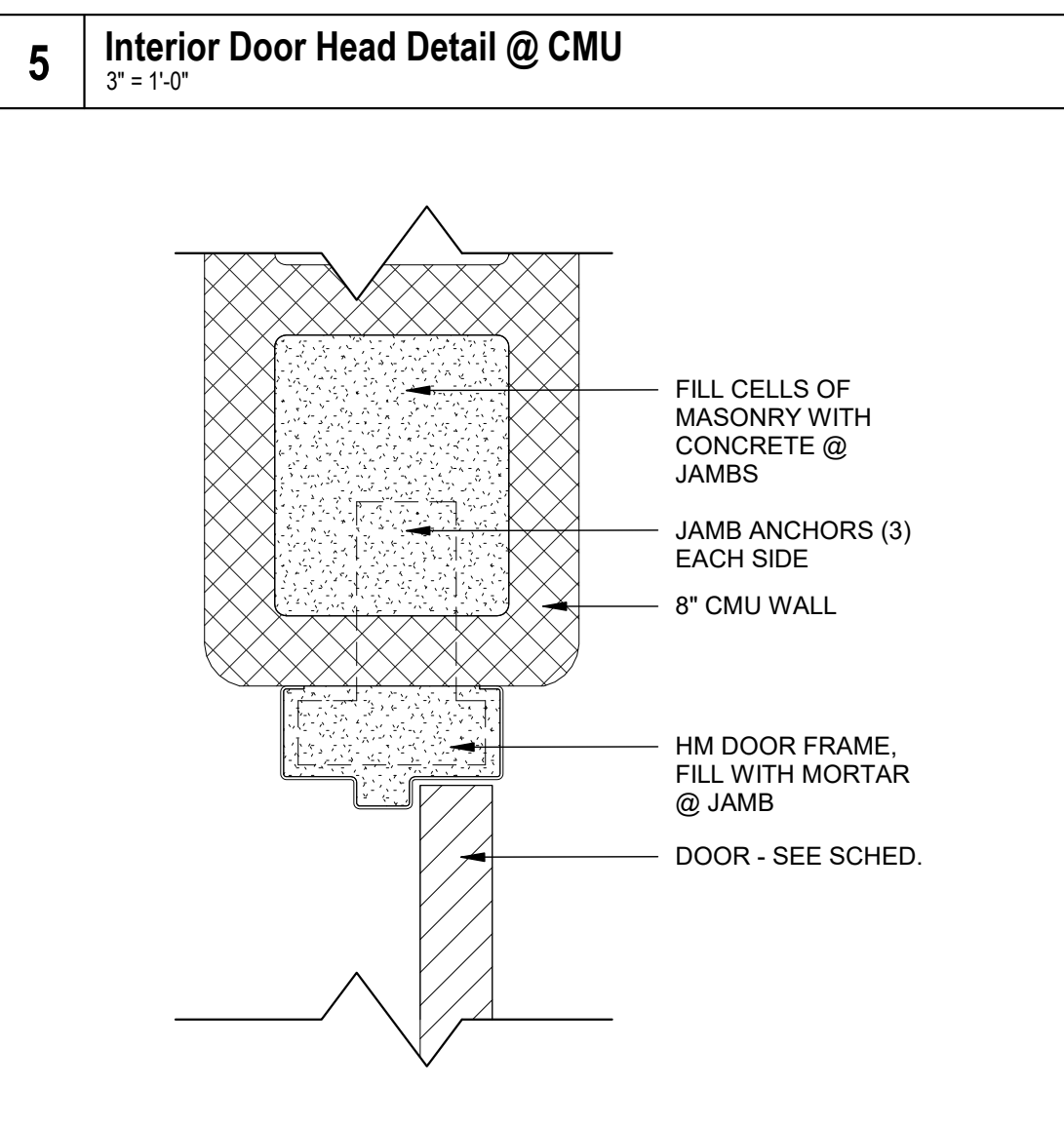
**10 Door Schedule**  
NTS

DOOR HARDWARE SET #1 TO BE INSTALLED AT ALL EXISTING UNIT ENTRY DOORS. SEE DOOR HARDWARE SECTION 08 71 00 IN THE SPECIFICATIONS.

**9 Door Hardware Note**  
NTS



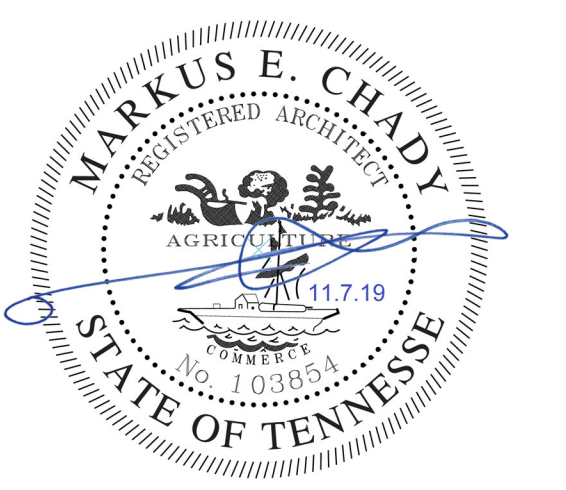
**8 Not Used**  
NTS



**7 Interior WD Door Head / Jamb Detail @ GYP**  
3\"/>

**4 Interior Door Jamb Detail @ CMU**  
3\"/>

**1 Interior Door Sill Detail**  
3\"/>



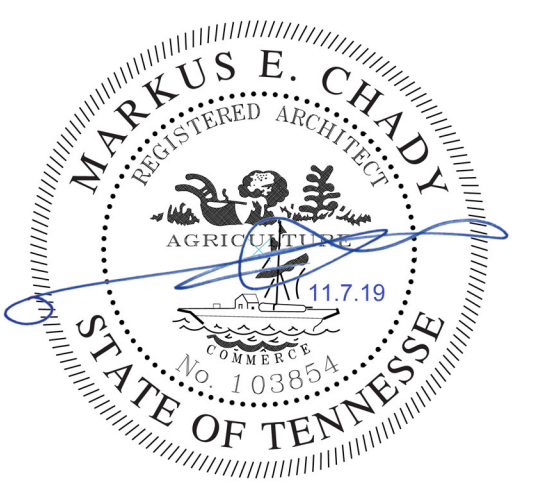
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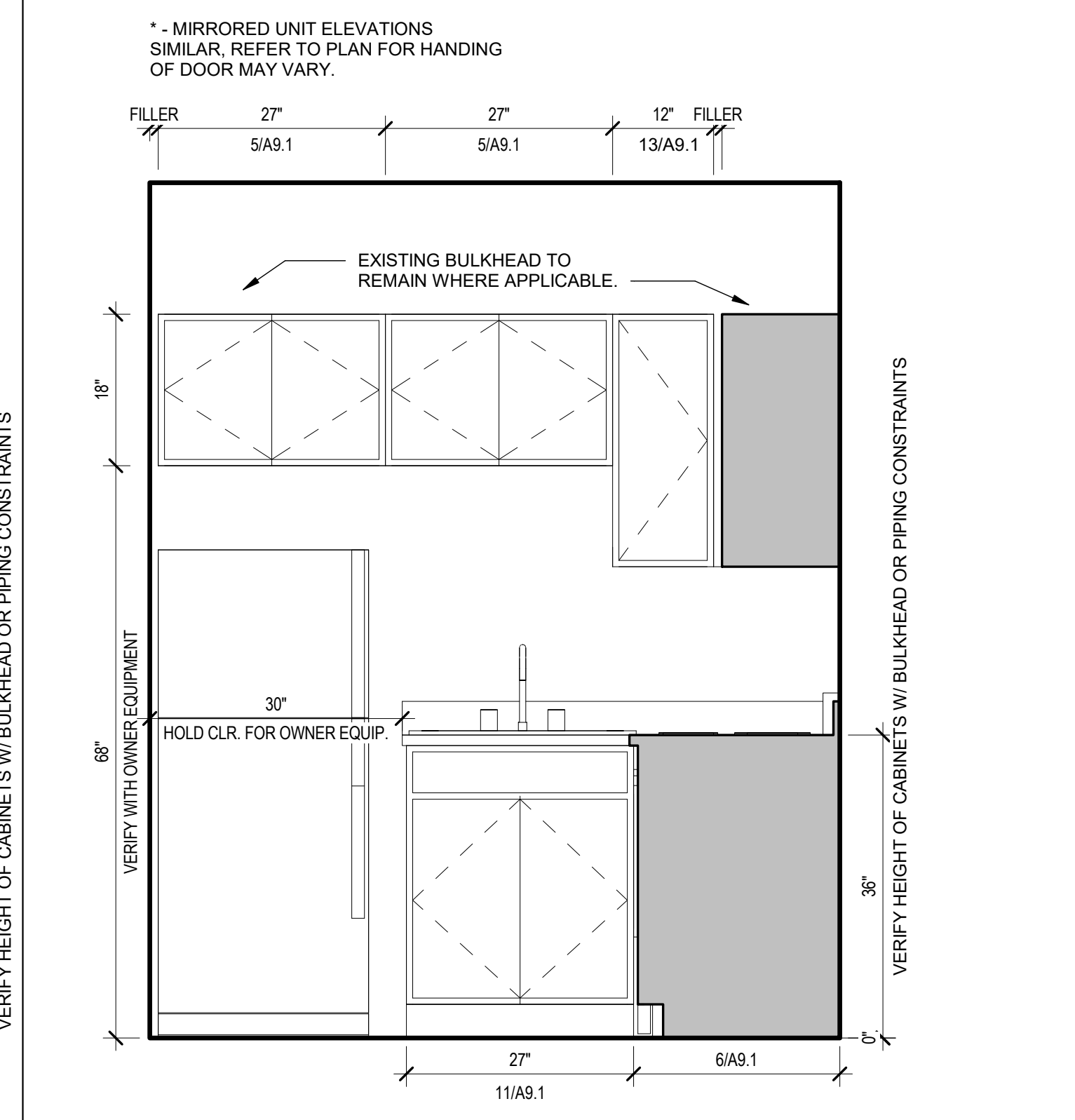
Project Phase: Construction Documents

Issue Date: 11.07.2019		
Revisions		
No.	Description	Date

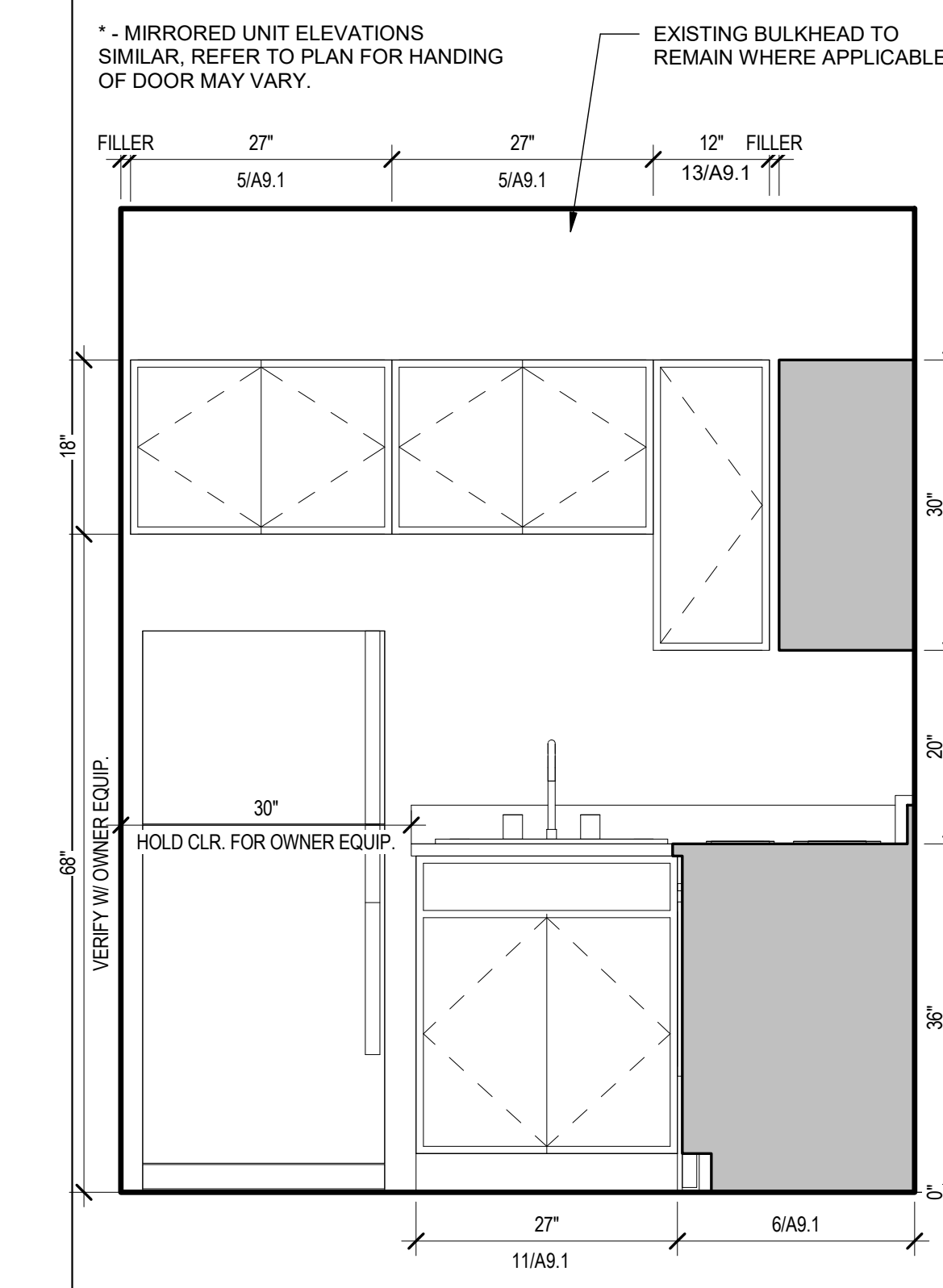
Job Number: 19089.00

Enlarged Typical Floor Plans & Interior Elevations

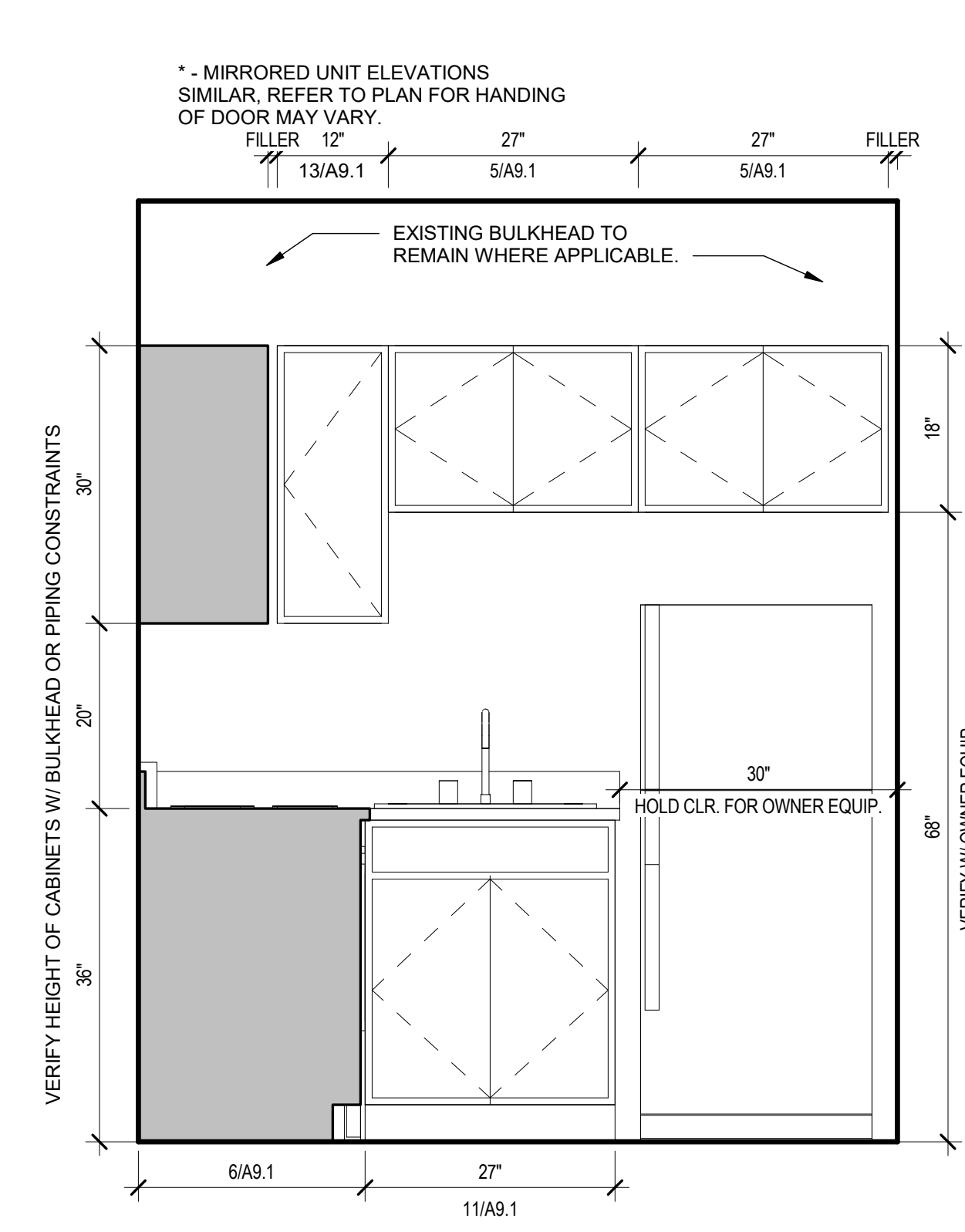
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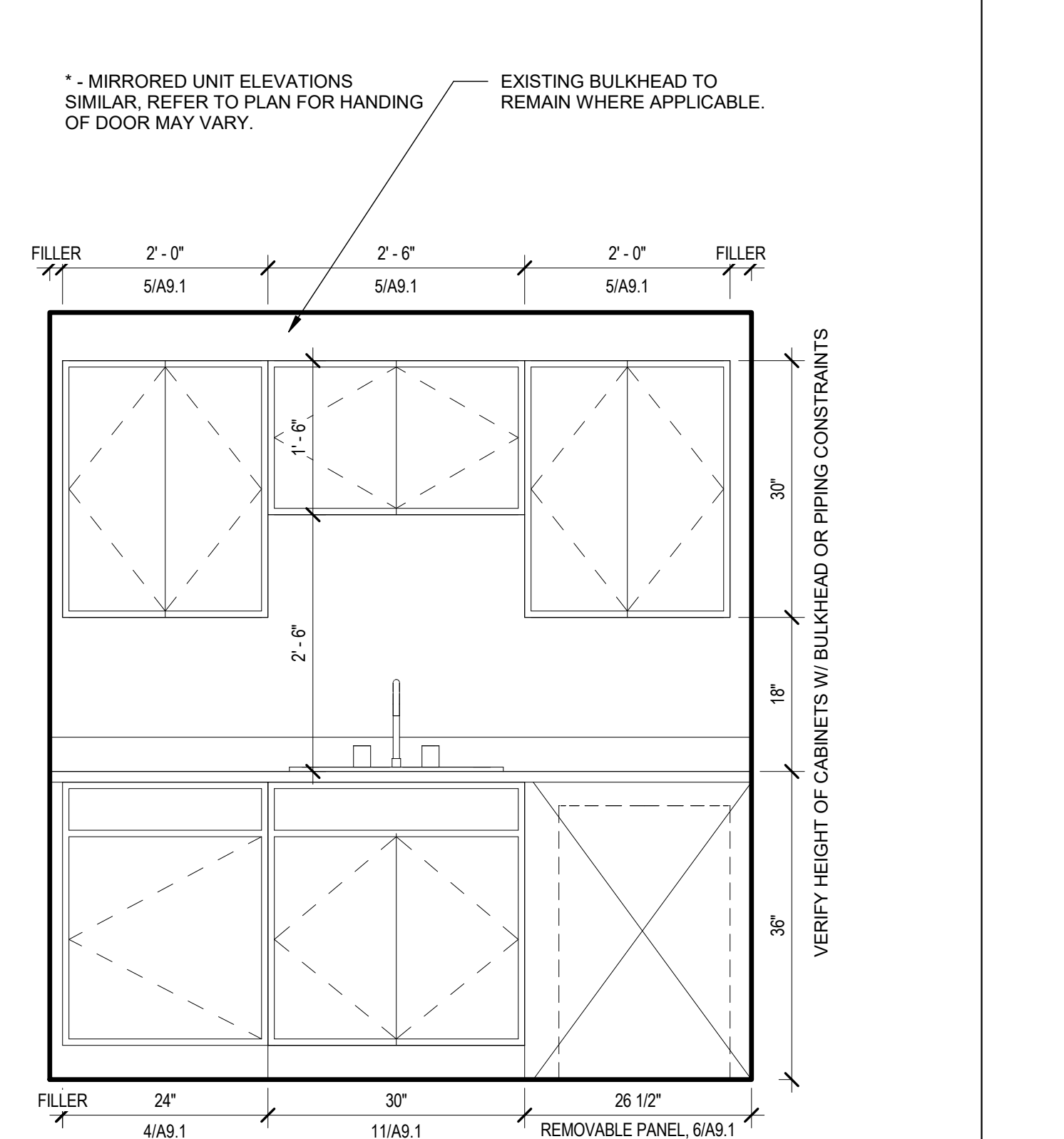
**1 Low Rise - 1 Bedroom Apartment - Elevation B**  
3/4" = 1'-0"



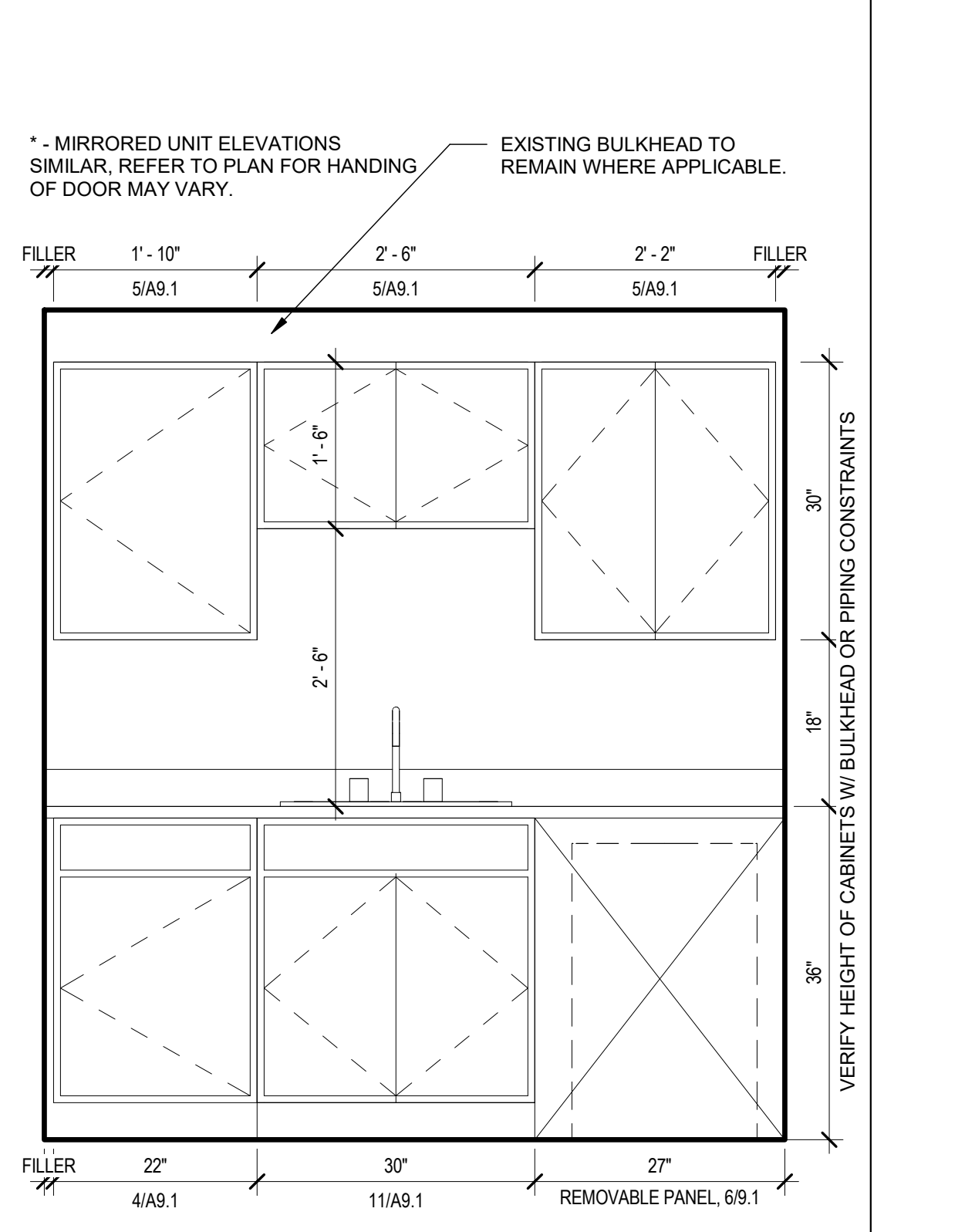
**8 Low Rise - Studio Apartment Type B - Elevation B**  
3/4" = 1'-0"



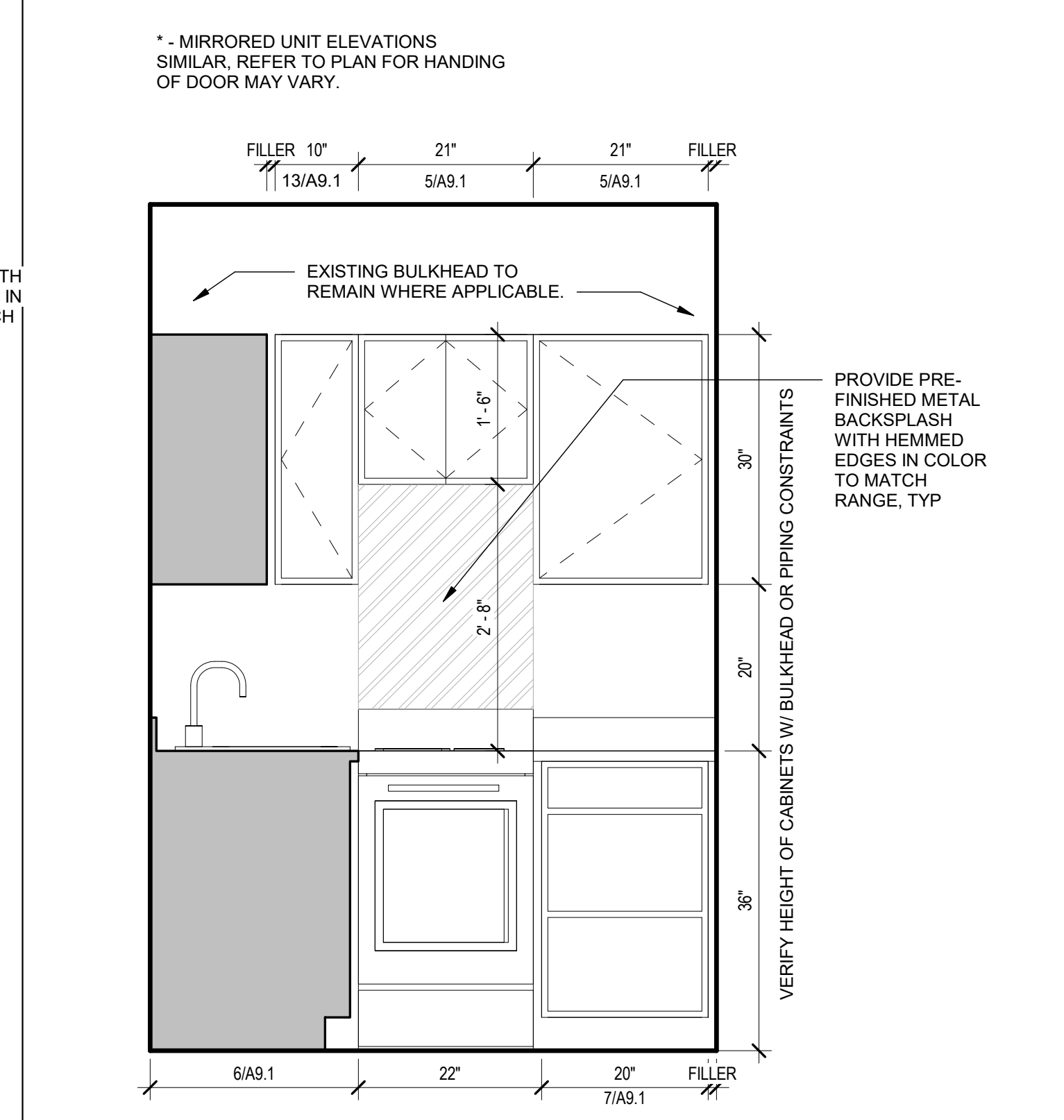
**11 Low Rise - Studio Apartment Type A - Elevation B**  
3/4" = 1'-0"



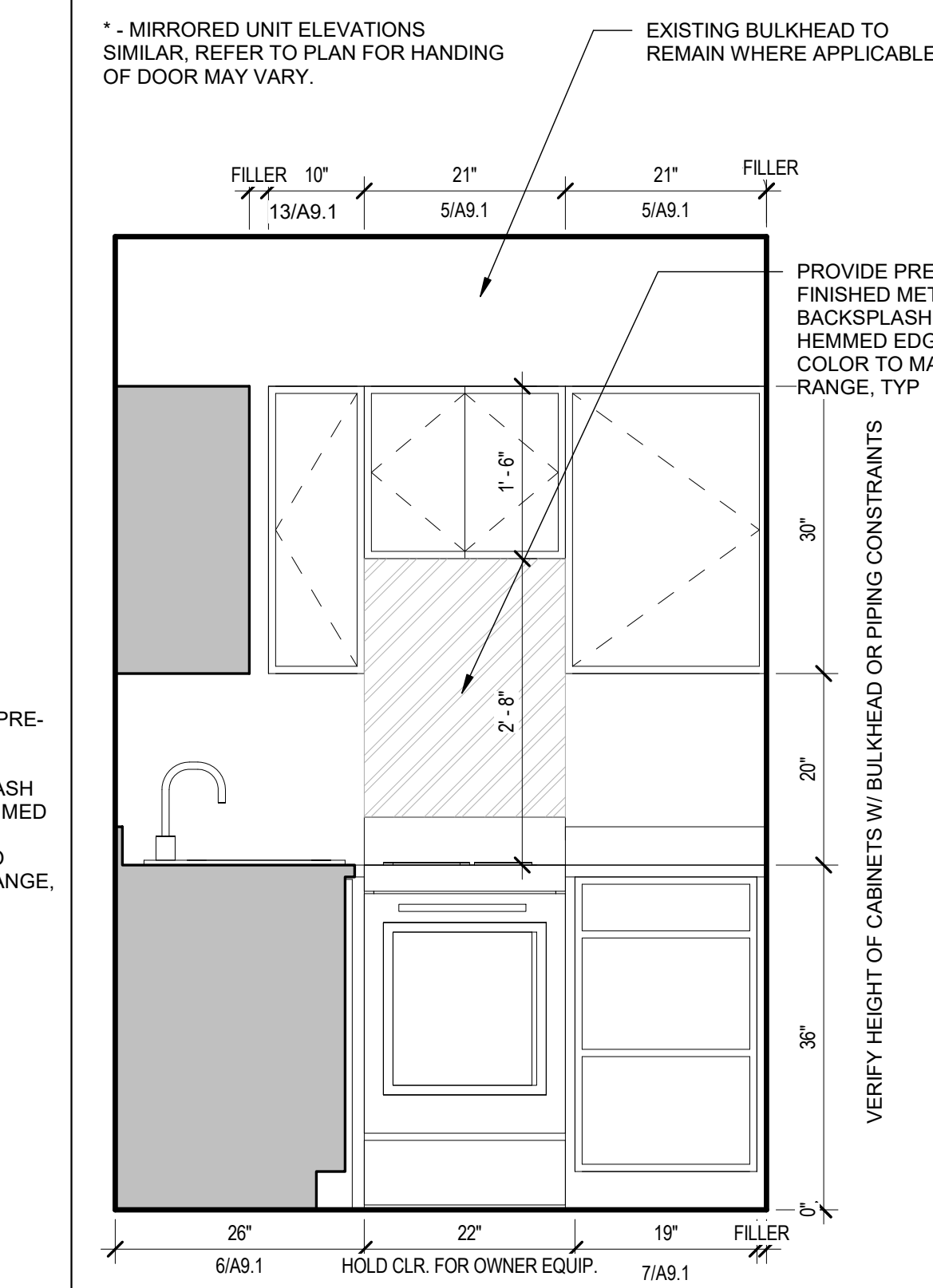
**14 High Rise - Studio Apartment Type B, B1, B2 - Elevation A**  
3/4" = 1'-0"



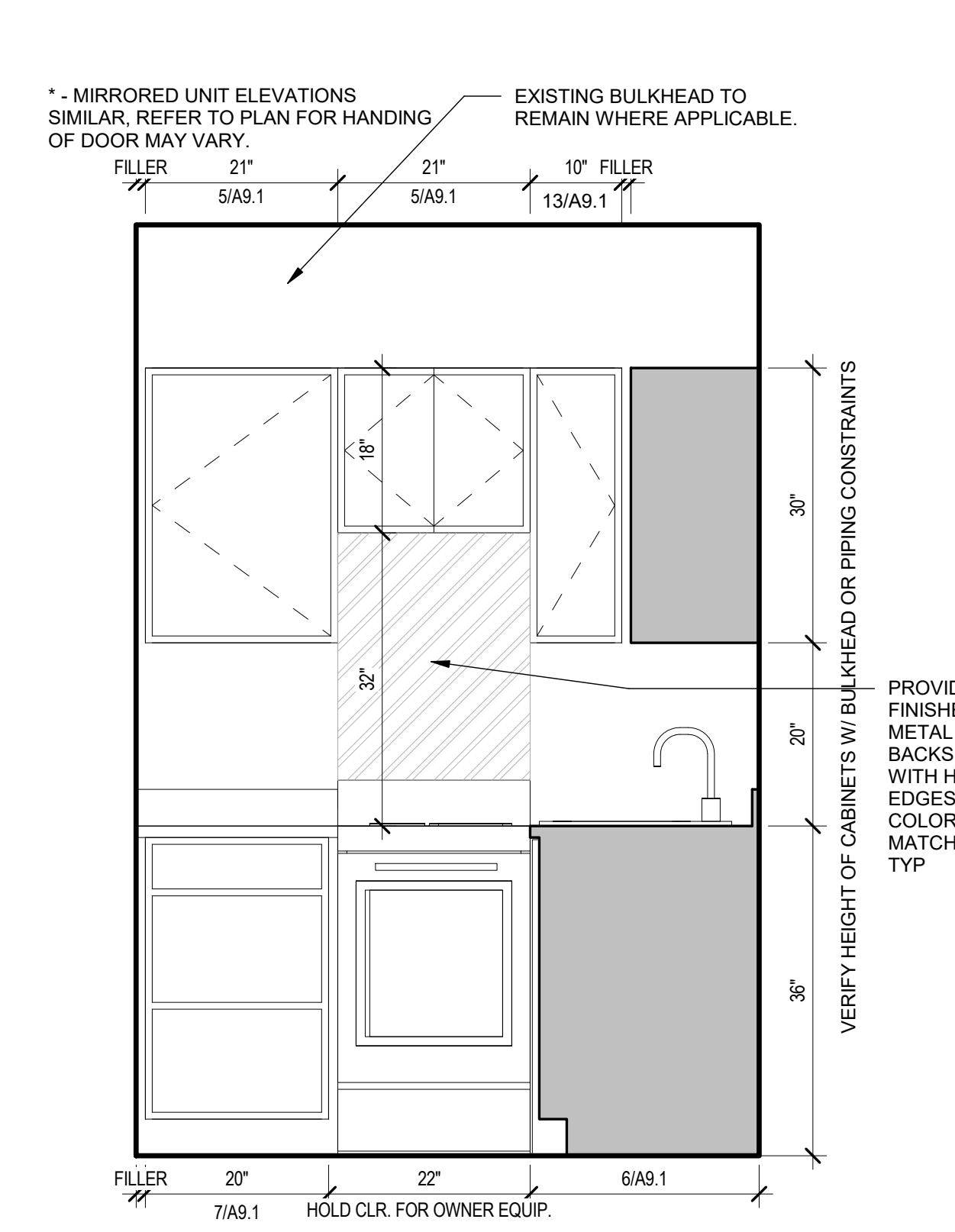
**20 High Rise - Studio Apartment Type A - Elevation B**  
3/4" = 1'-0"



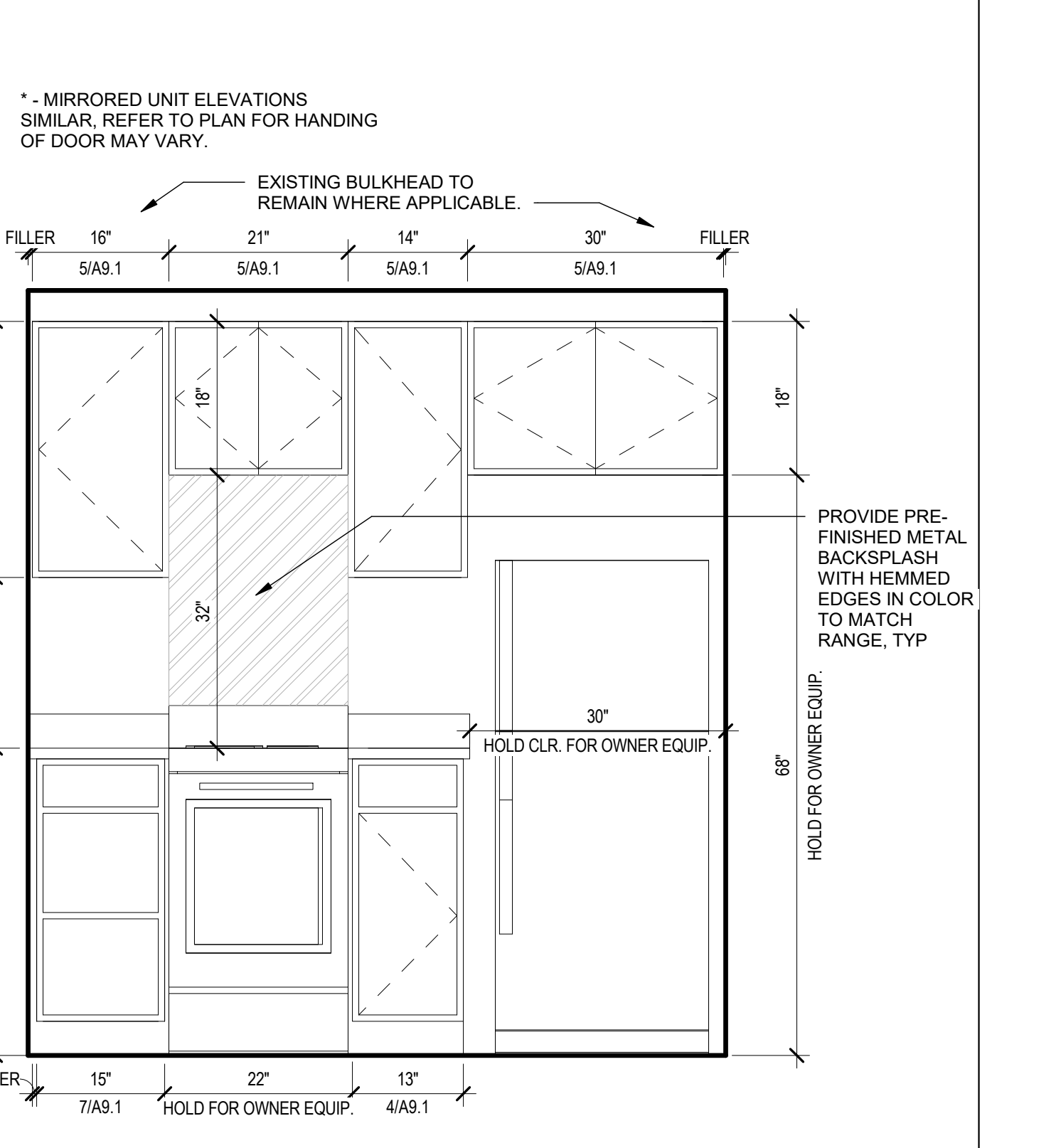
**3 Low Rise - 1 Bedroom Apartment - Elevation A**  
3/4" = 1'-0"



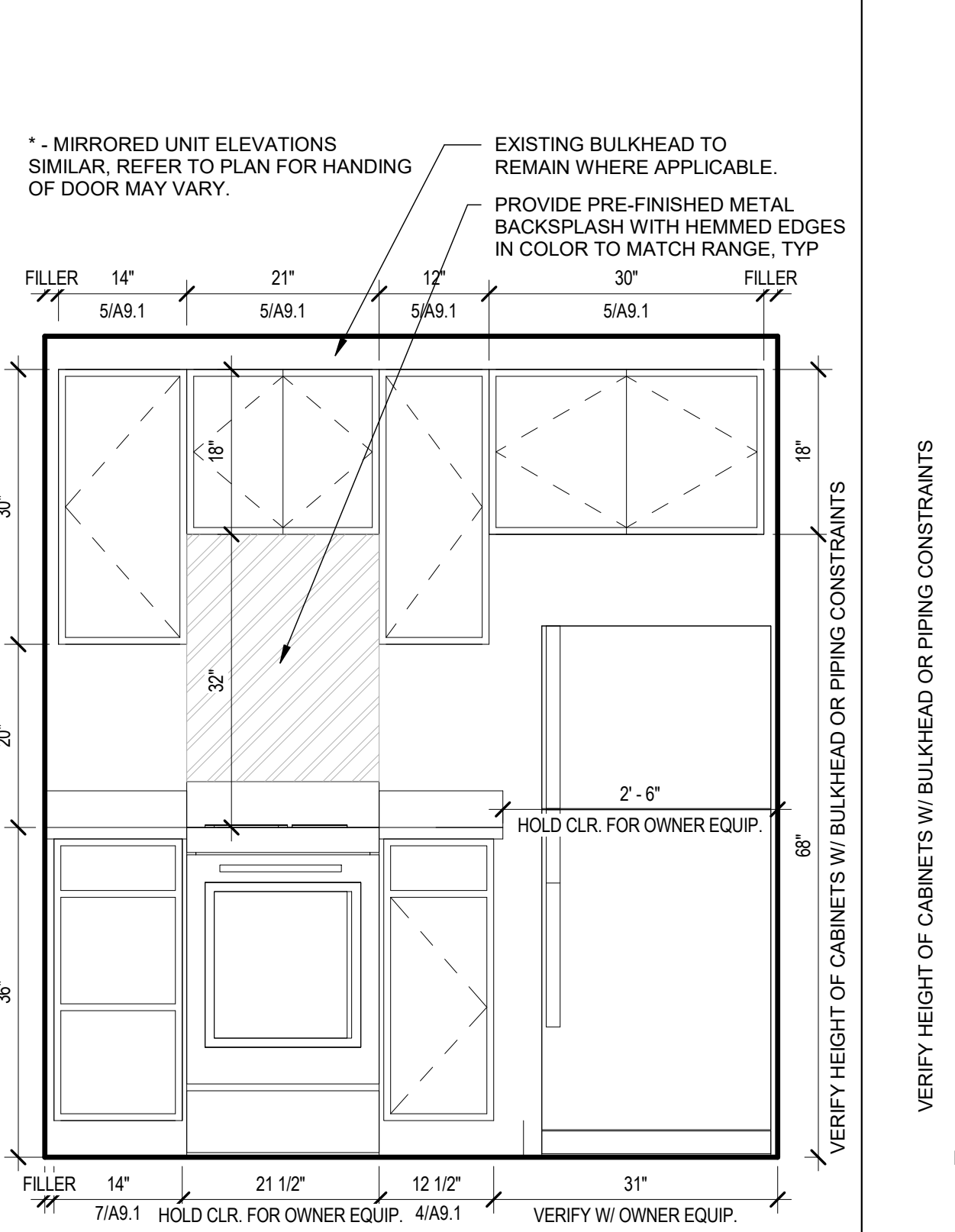
**5 Low Rise - Studio Apartment Type B - Elevation A**  
3/4" = 1'-0"



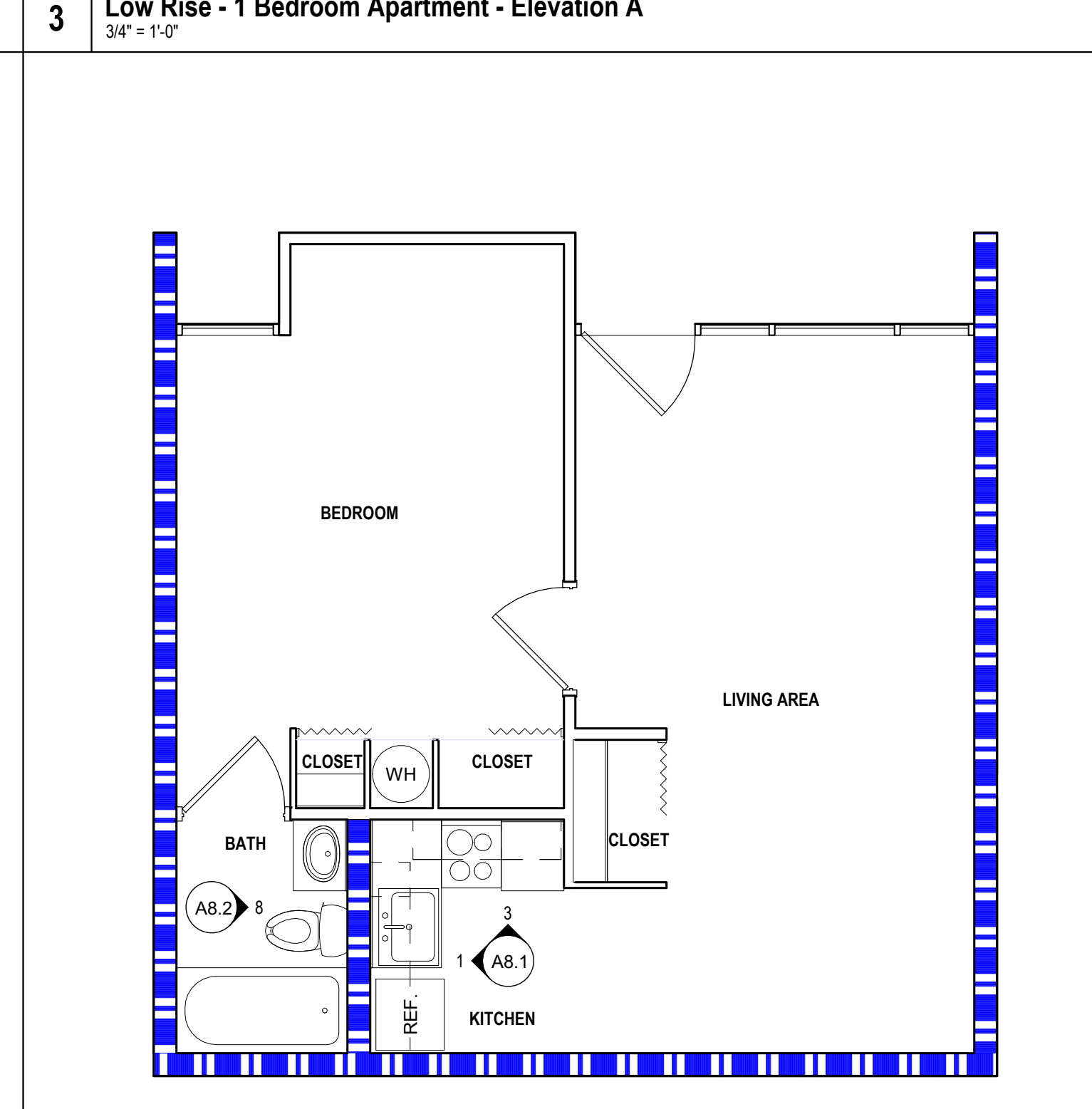
**13 Low Rise - Studio Apartment Type A - Elevation A**  
3/4" = 1'-0"



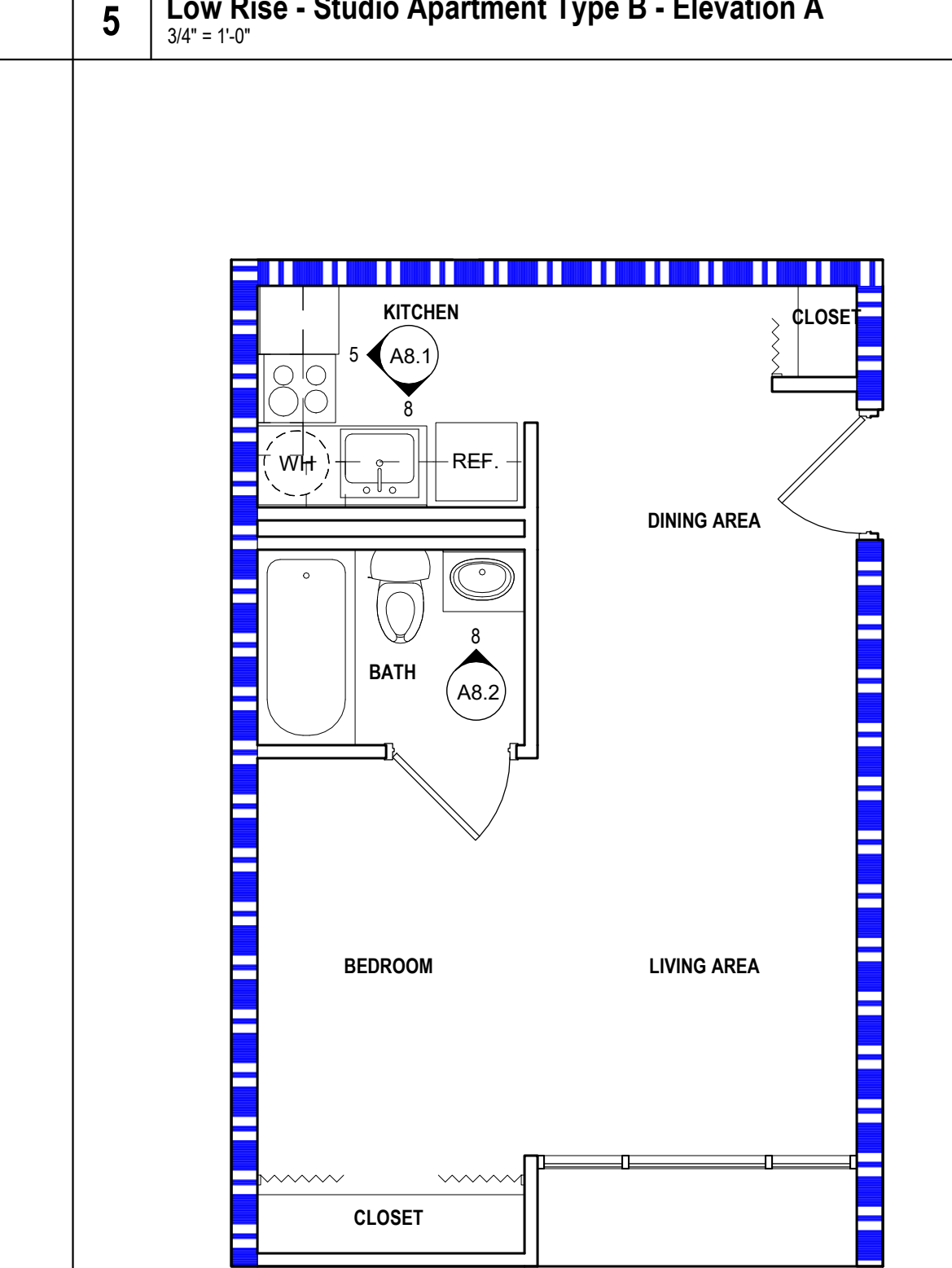
**9 High Rise - Studio Apartment Type B, B1, B2 - Elevation B**  
3/4" = 1'-0"



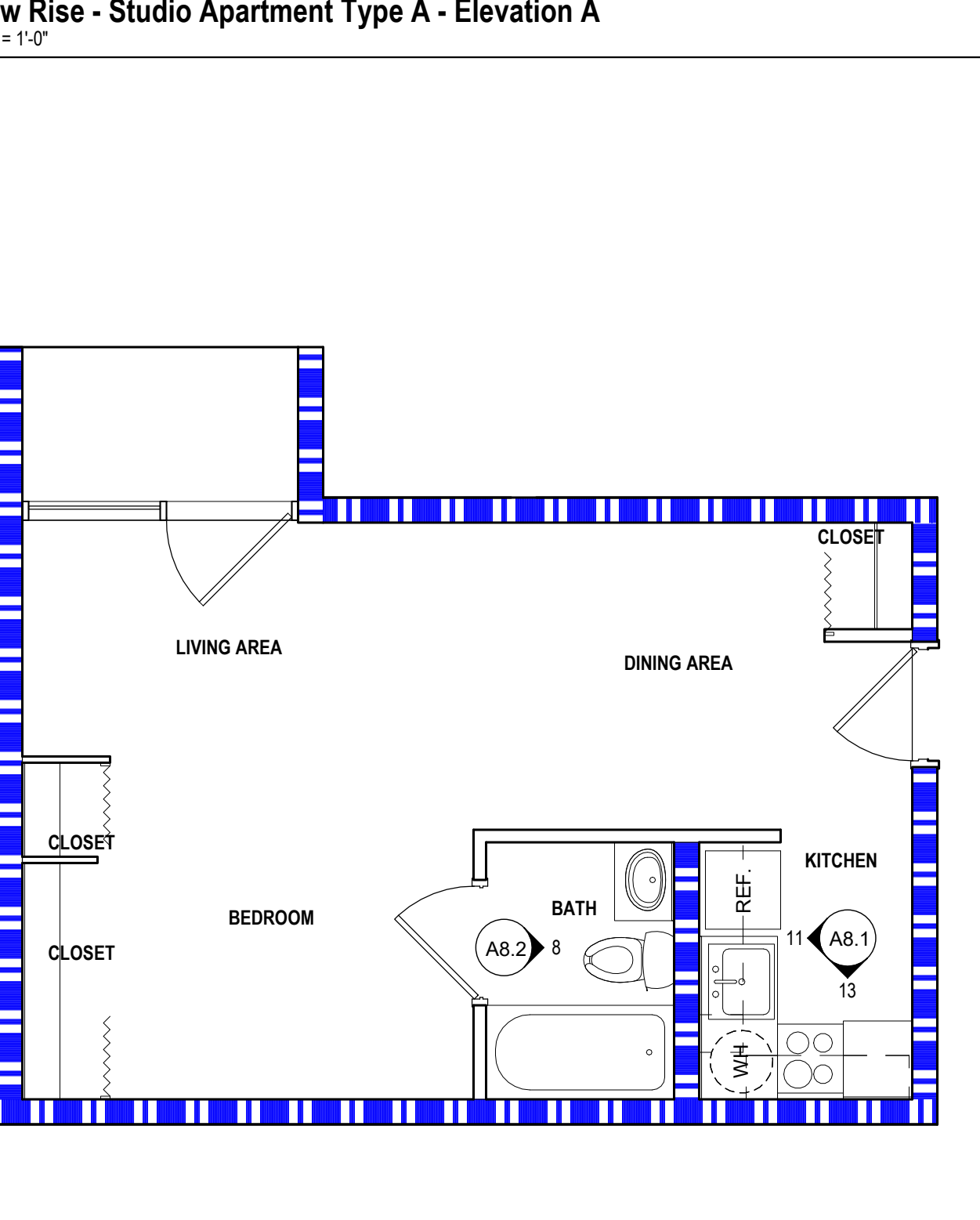
**19 High Rise - Studio Apartment Type A - Elevation A**  
3/4" = 1'-0"



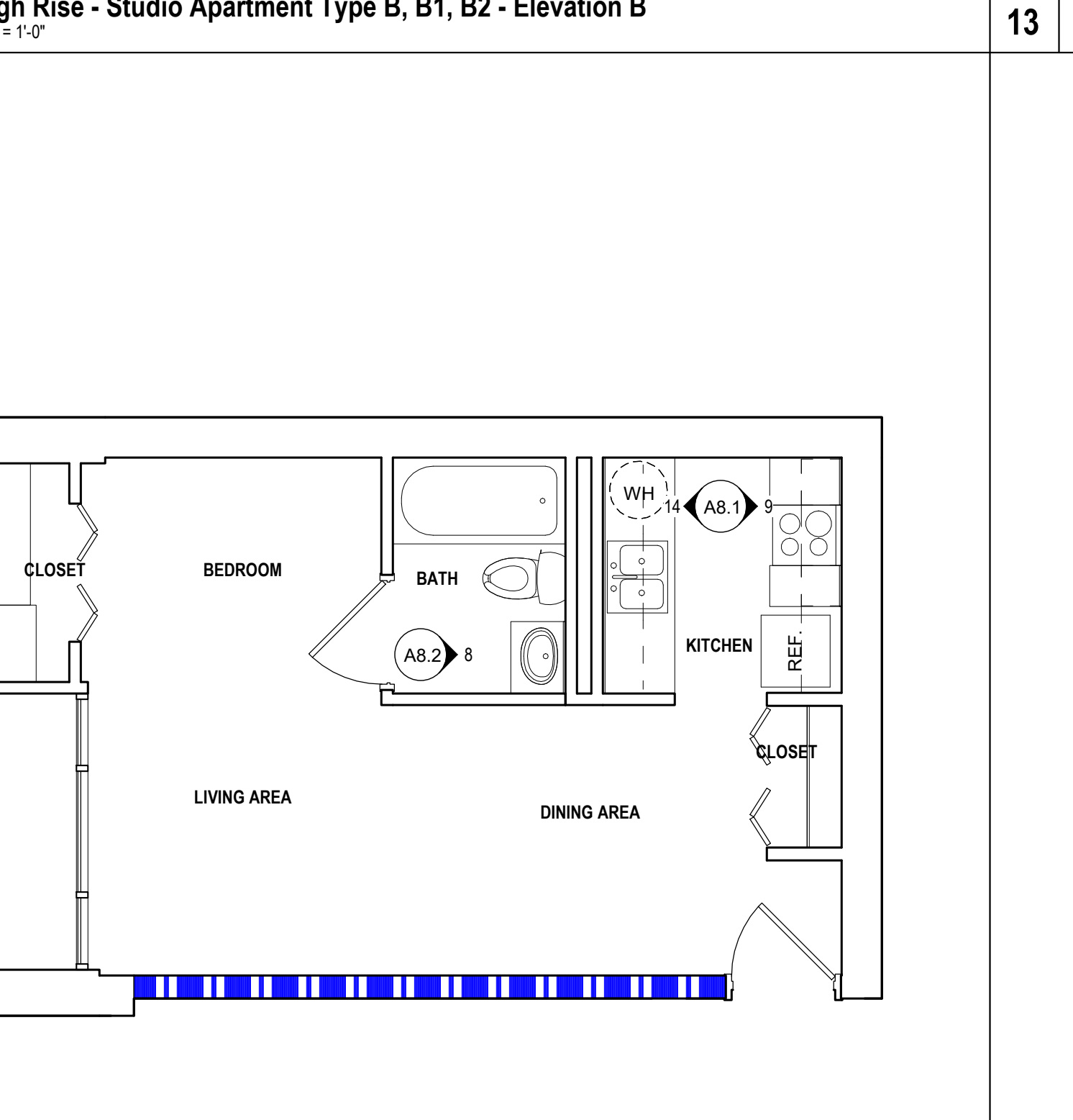
**2 Low Rise - 1 Bedroom Apartment**  
1/4" = 1'-0"



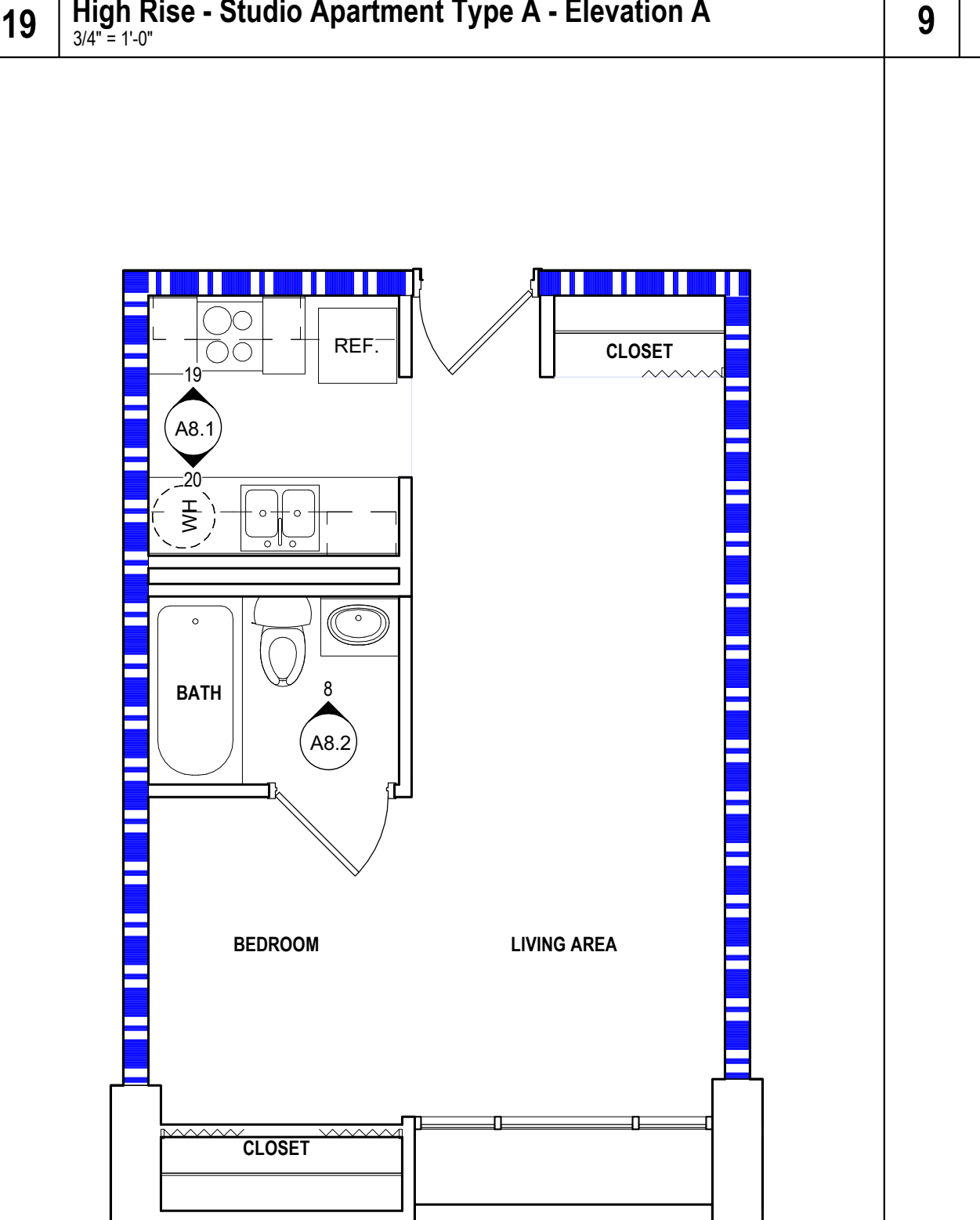
**4 Low Rise - Studio Apartment Type B**  
1/4" = 1'-0"



**6 Low Rise - Studio Apartment Type A**  
1/4" = 1'-0"



**10 High Rise - Studio Apartment Type B, B1, B2**  
1/4" = 1'-0"



**12 High Rise - Studio Apartment Type A**  
1/4" = 1'-0"

Date: 11/07/2019 3:25:45 PM  
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 Checked By: Chador  
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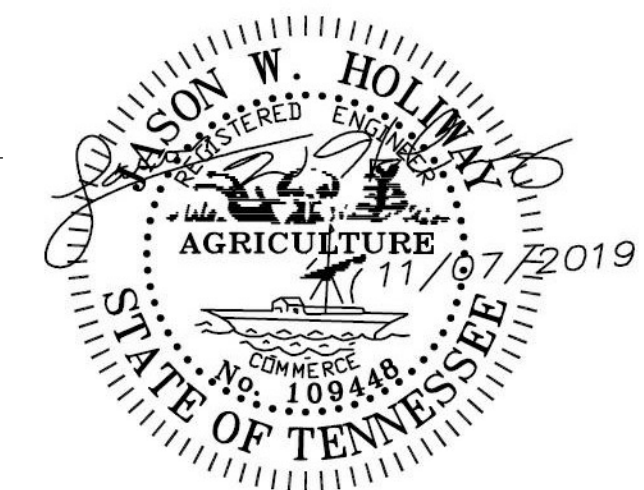












Project Phase: Construction Documents

Issue Date: 09/05/19

Revisions		
No.	Description	Date

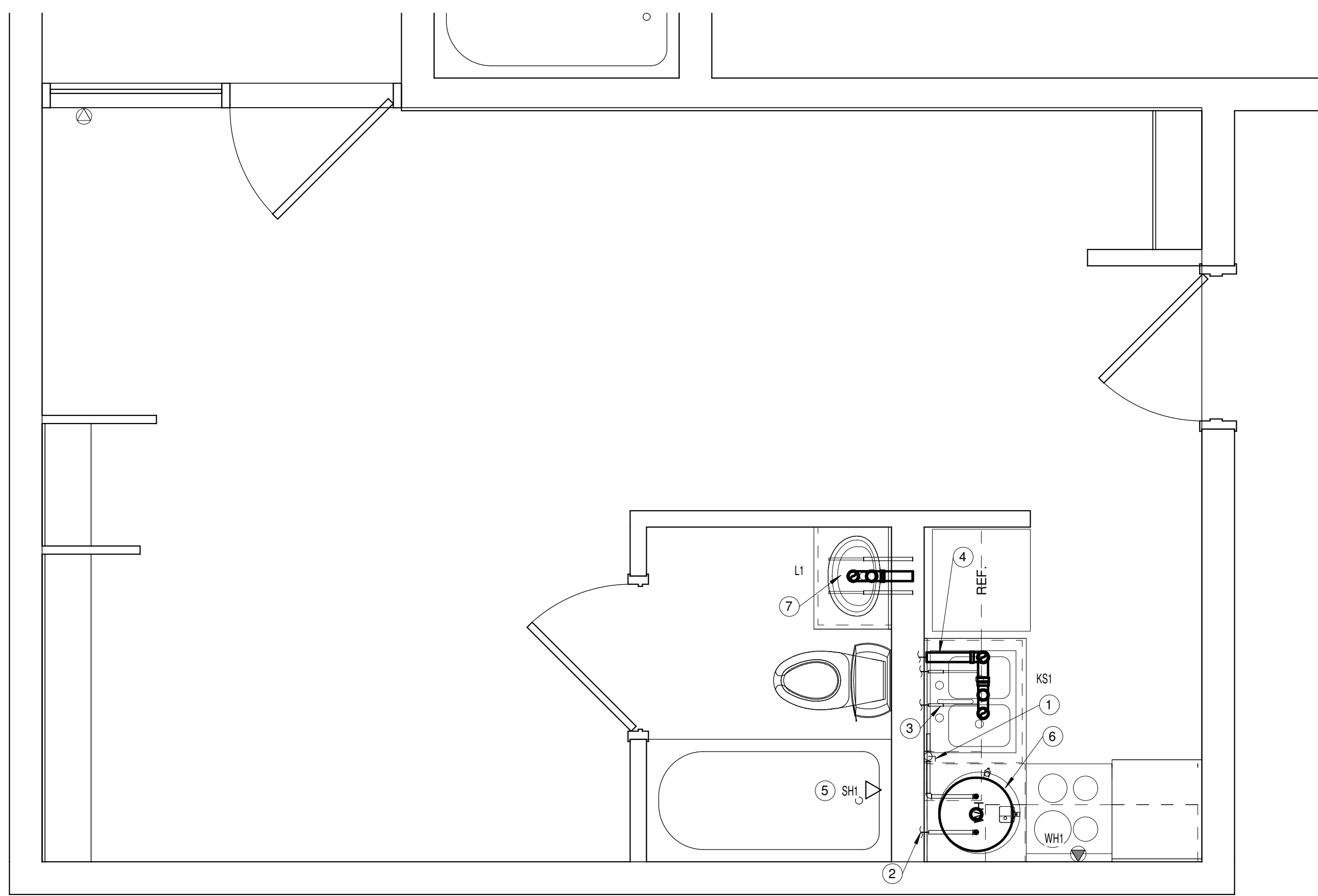
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TWO STORY BUILDING  
TYPICAL FLOOR PLANS

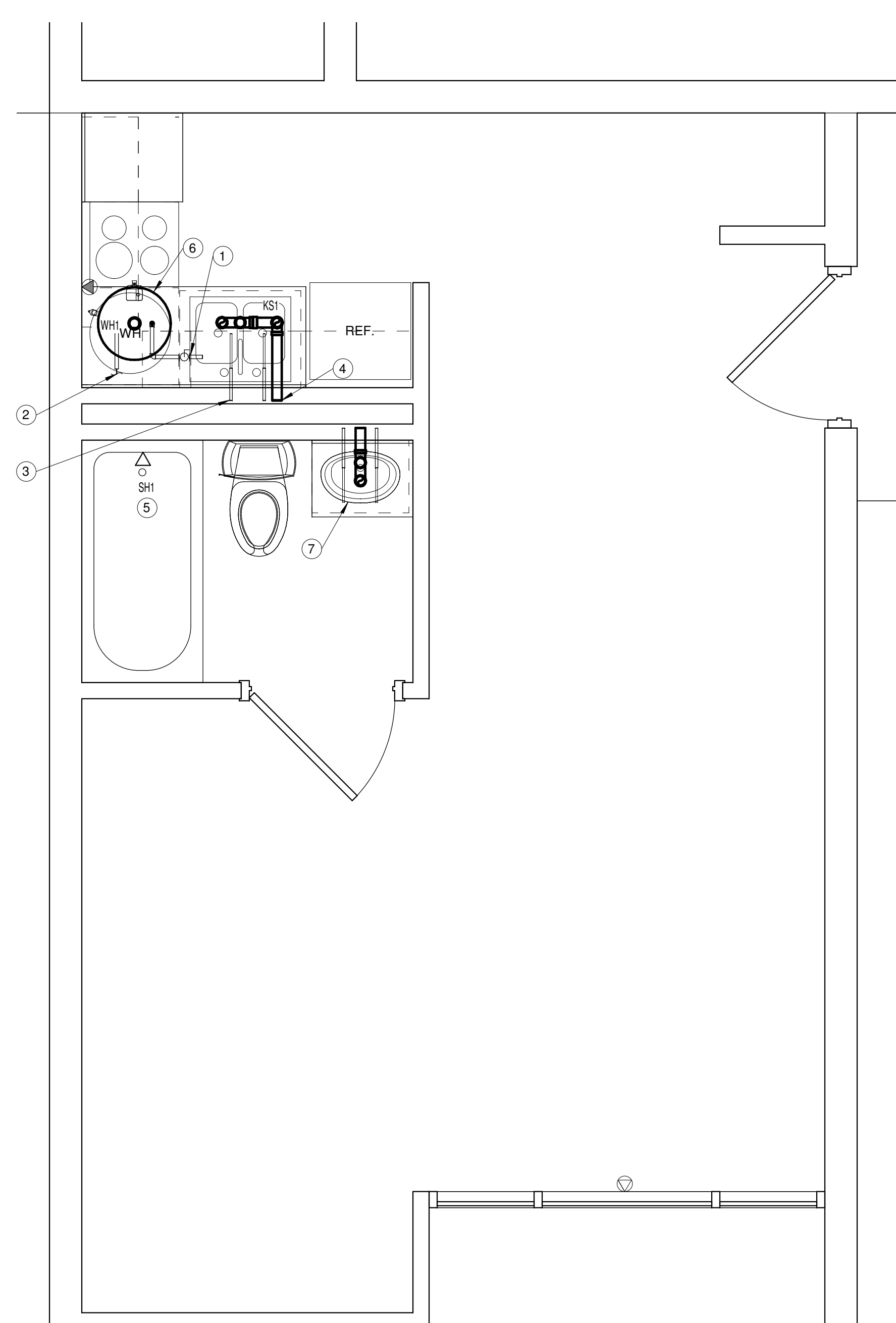
**P1.1**

**GENERAL NOTES:**  
1. ALL EXPOSED PIPING IN CABINETS TO BE DEMOLISHED. RETAIN SUFFICIENT PIPING FROM BEHIND WALL FOR CONNECTION TO NEW PIPING AS SHOWN.  
2. COORDINATE WITH NEW CABINETS TO PROVIDE REQUIRED OPENINGS IN CABINETS FOR CONNECTIONS TO EXISTING PPE.

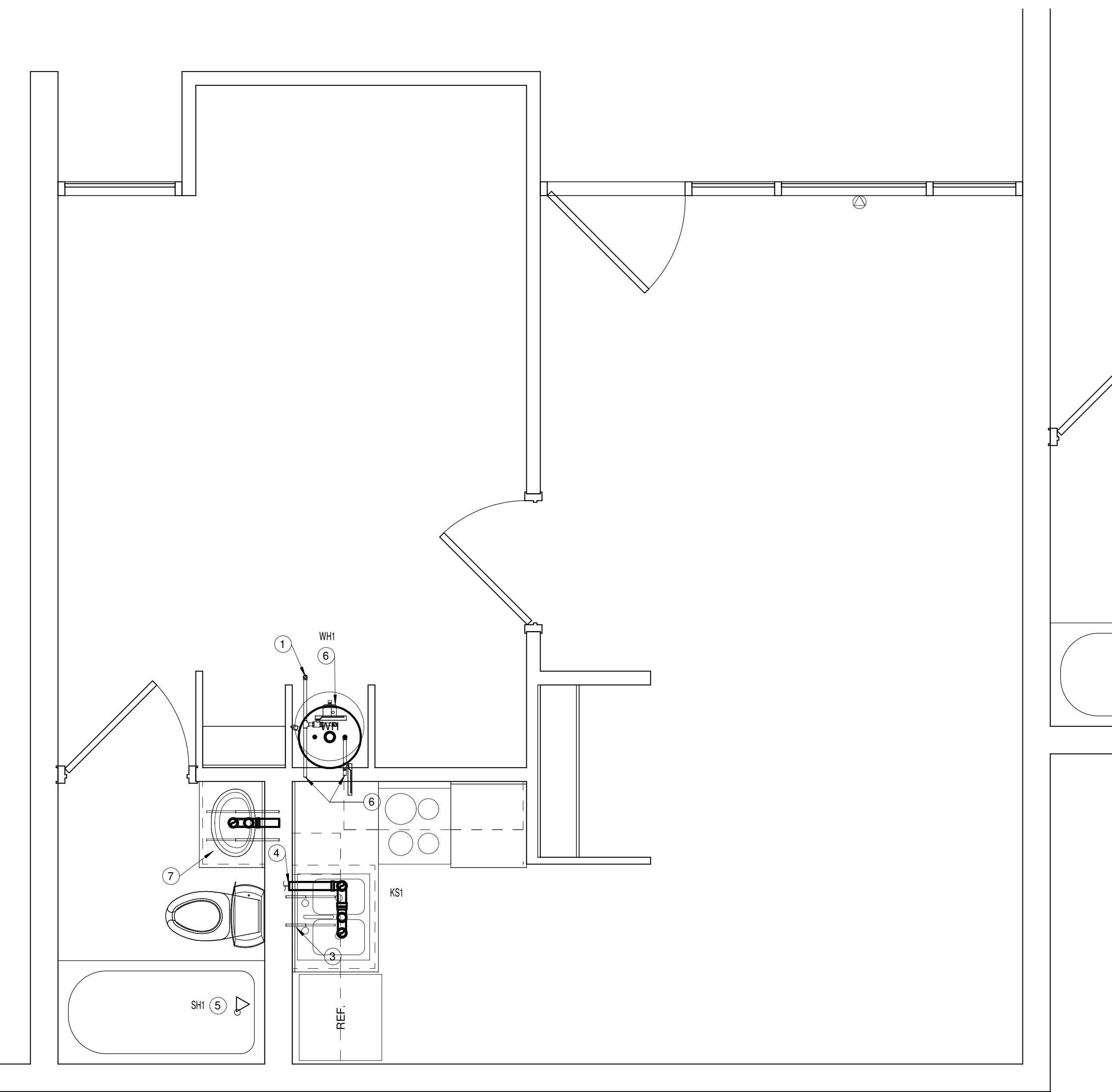
1. CONNECT NEW 3/4" CW TO EXISTING CONNECTION TO DOMESTIC CW RISER IN CHASE. INSTALL 3/4" SHUT-OFF VALVE IN LINE PRIOR TO ANY FUTURE CONNECTIONS.
2. CONNECT NEW 3/4" HW TO EXISTING HW LINE IN CHASE.
3. CONNECT KSI 3/4" CW AND HW SUPPLY TO EXISTING CWHW IN CHASE.
4. CONNECT KSI BRANCH DRAIN TO EXISTING WASTE STACK IN CHASE.
5. REPLACE SHOWER HEAD WITH NEW PER SCHEDULE.
6. NEW WHI, INSTALLED WITH FLEXIBLE HOSE CONNECTIONS AND INSIDE 2" DRAIN PAN. CONNECT TO CW, HW, AND EXISTING TAP RELIEF DRAIN LINE IN CHASE.
7. DEMOLISH LAVATORY. RETAIN SUFFICIENT PLUMBING AT WALL FOR CONNECTION TO NEW FUTURE. CONNECT NEW LAVATORY, L1 TO EXISTING PLUMBING.



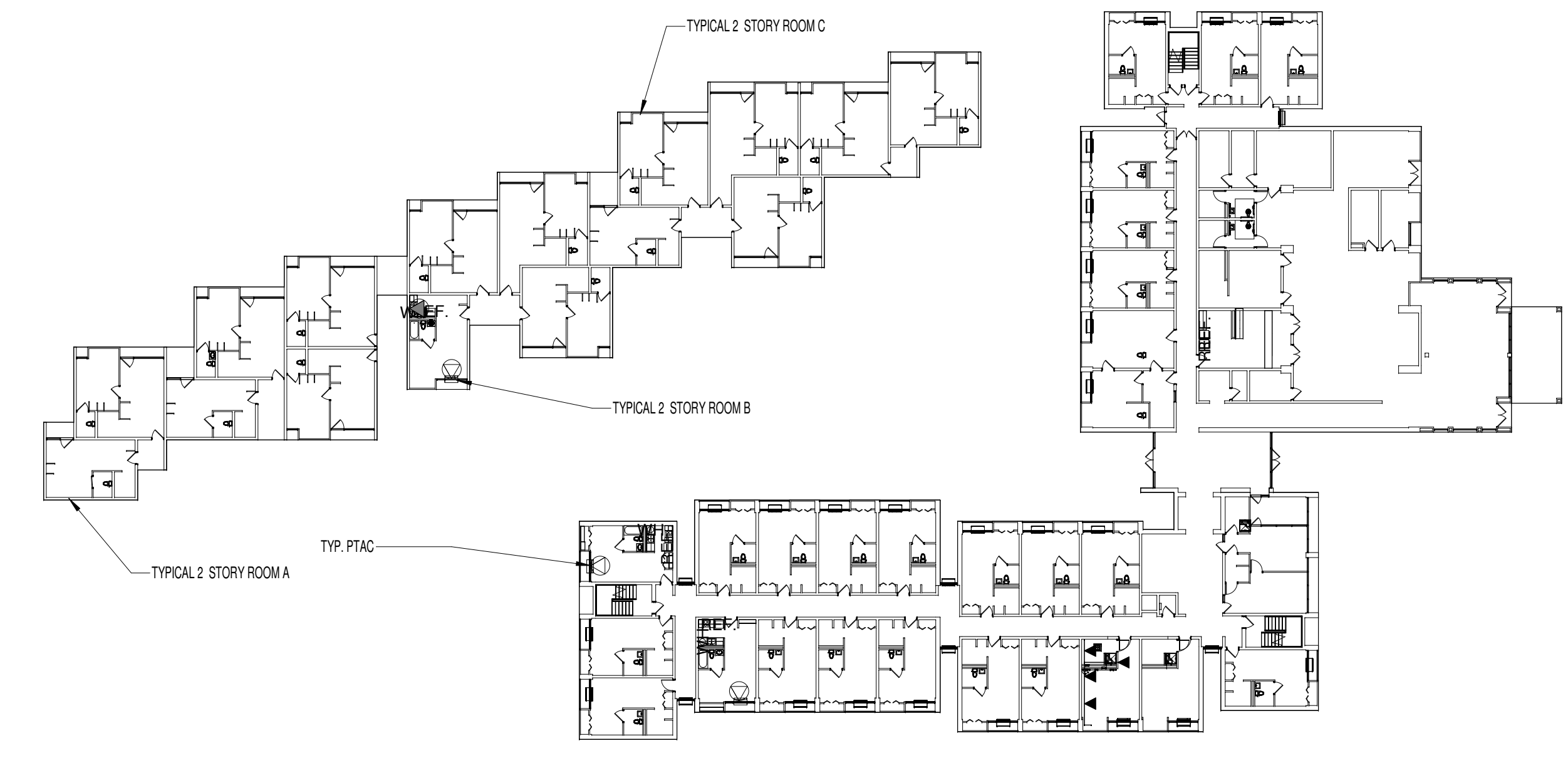
1 2 STORY BUILDING TYPICAL ROOM A  
1/2" = 1'-0"



2 2 STORY BUILDING TYPICAL ROOM B  
1/2" = 1'-0"



3 2 STORY BUILDING TYPICAL ROOM C  
1/2" = 1'-0"

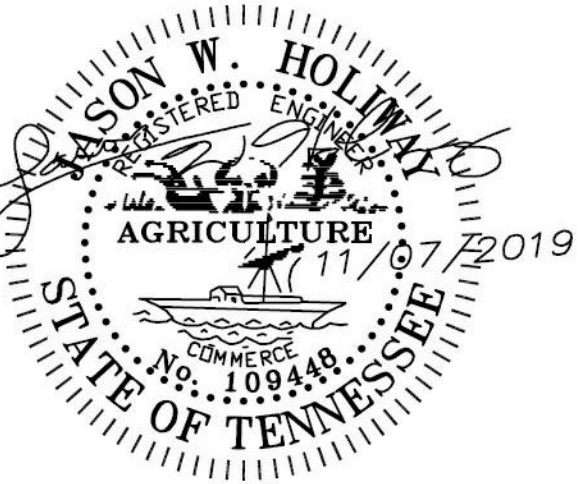


4 MAIN BUILDING KEY PLAN VIEW 2  
1/32" = 1'-0"

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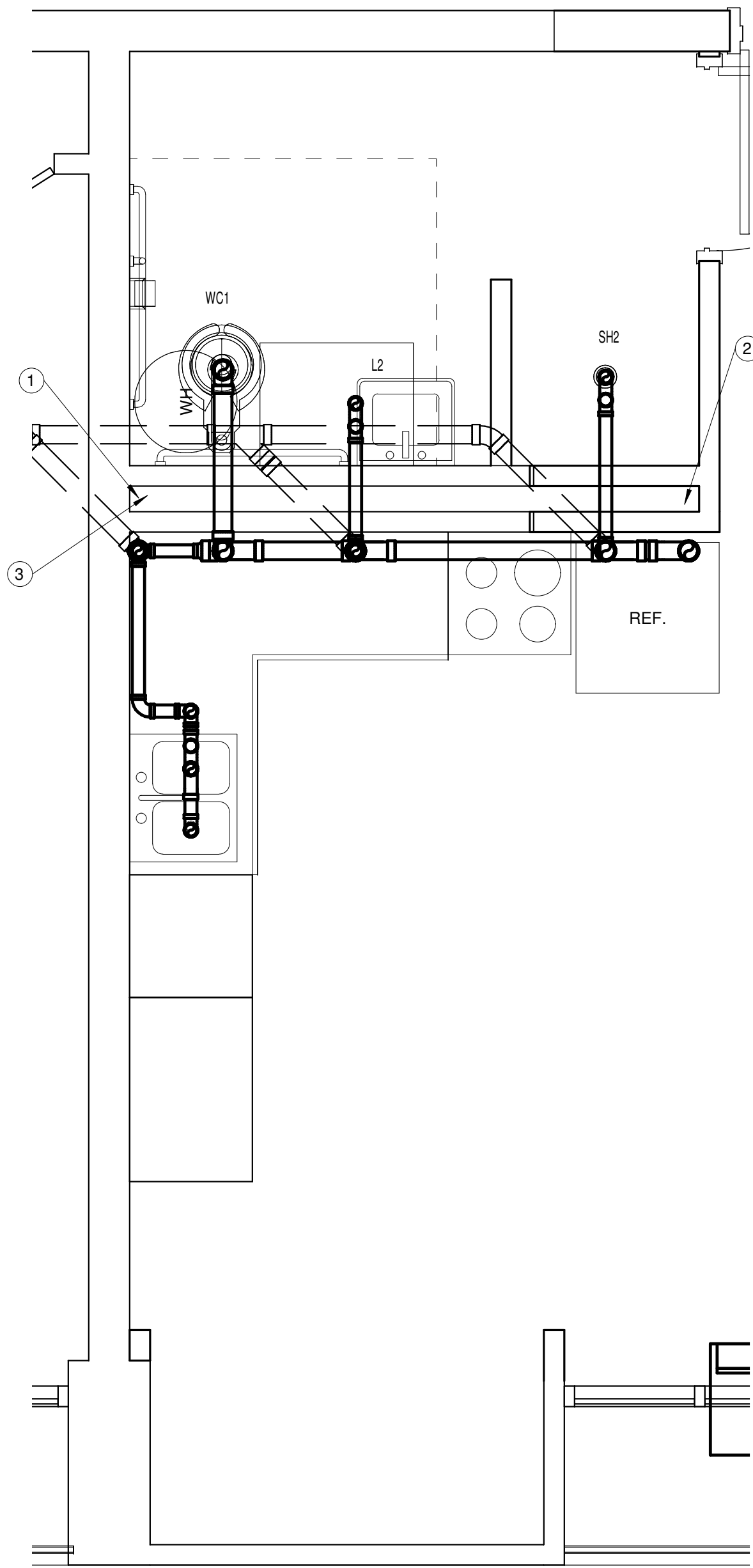


Project Phase: Construction Documents

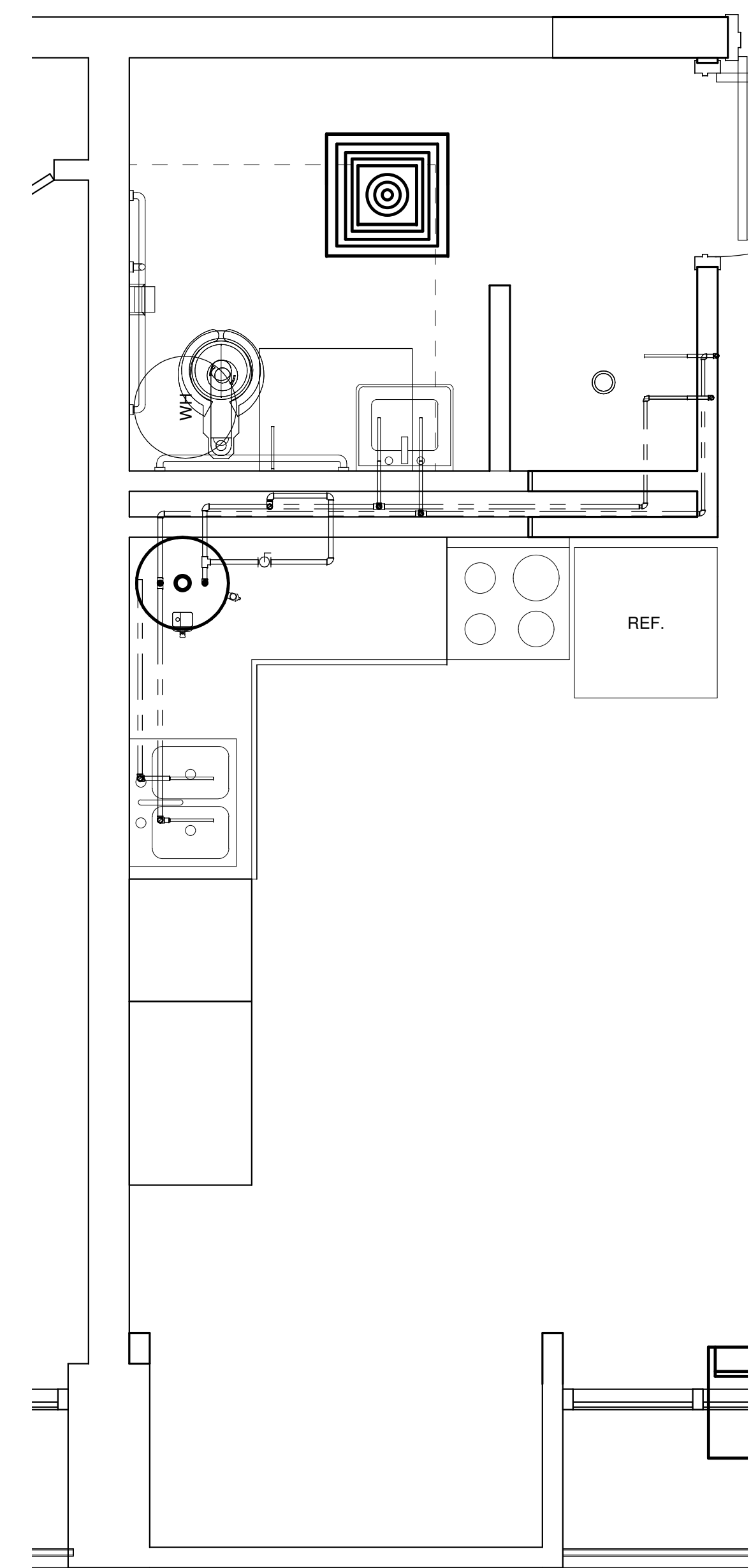
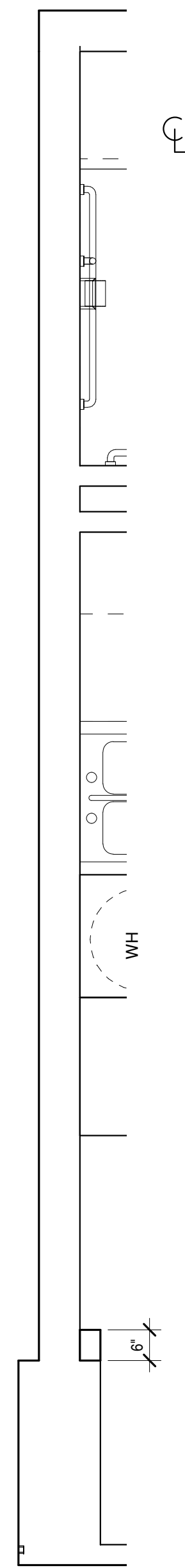
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Revisions		
No.	Description	Date

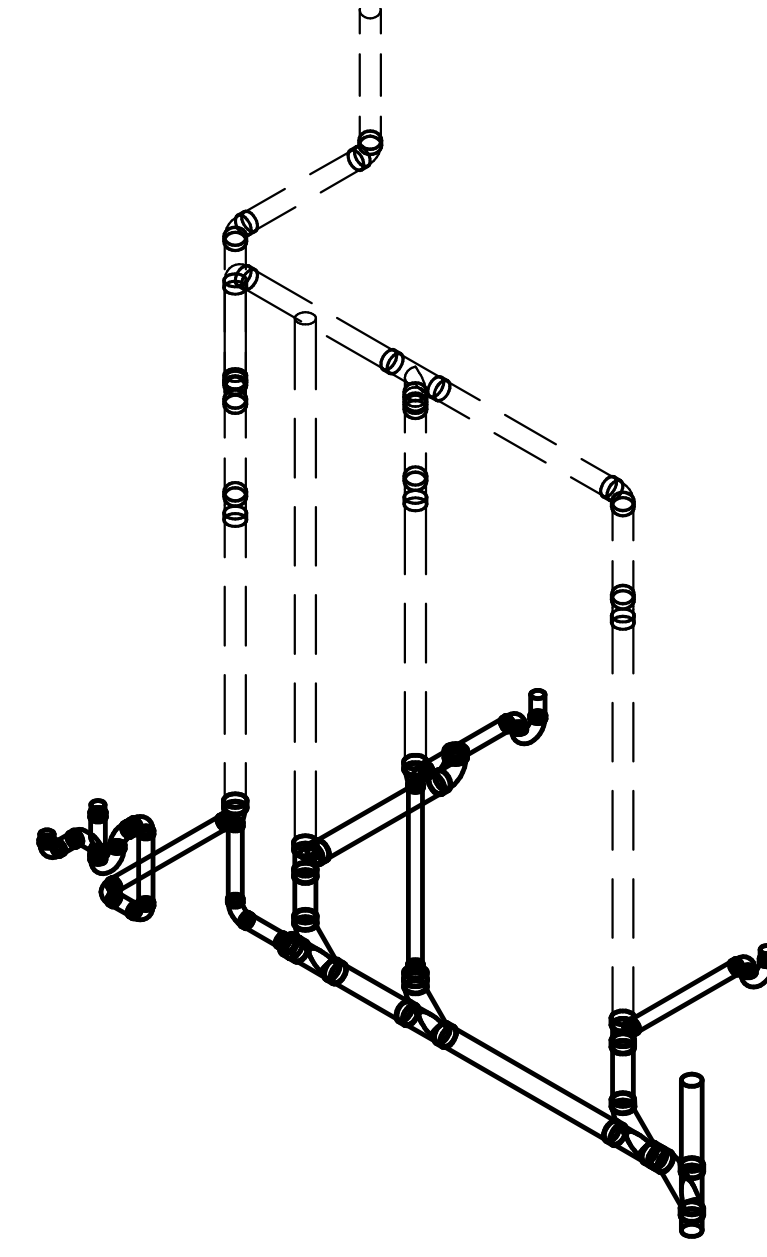
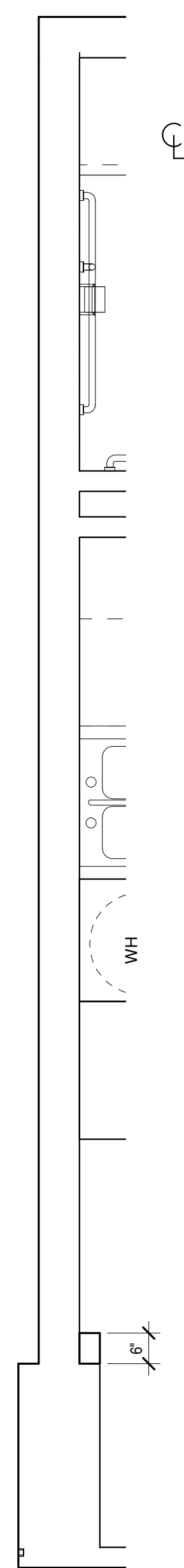
Job Number: 19089.00  
TYPICAL ADA ROOM



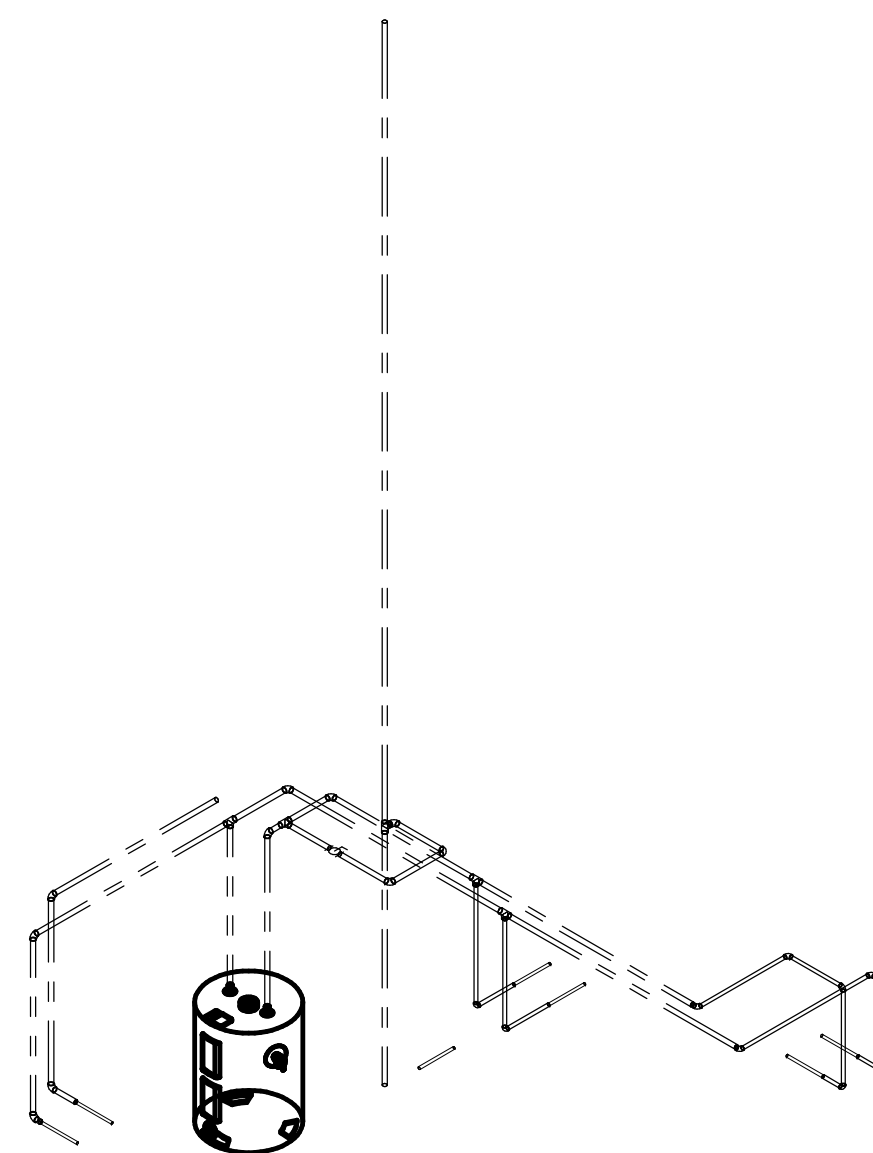
1 TYPICAL ADA SS  
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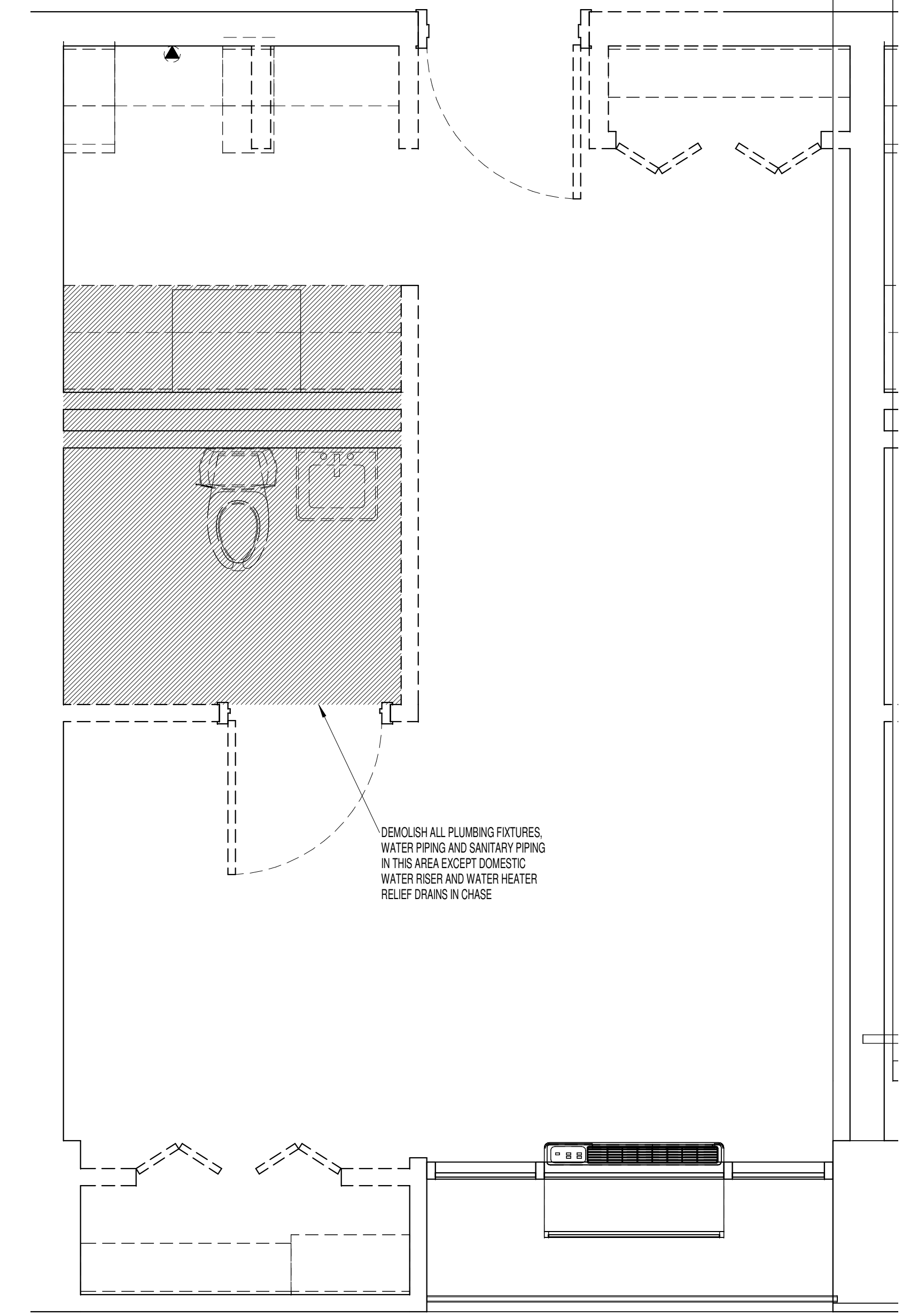
4 TYPICAL ADA DW  
1/2" = 1'-0"



3 PLUMBING ISO SS

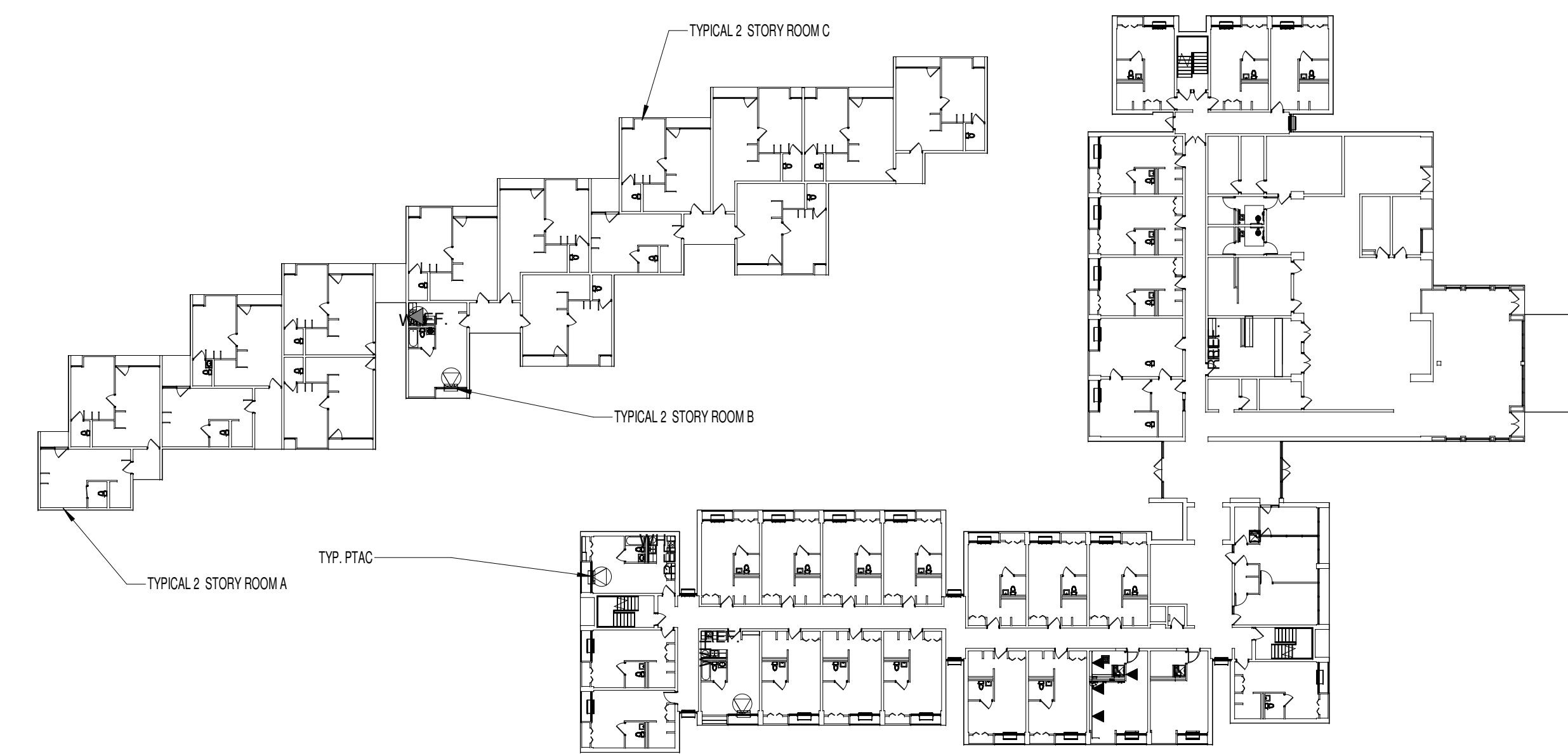


2 PLUMBING ISO DW



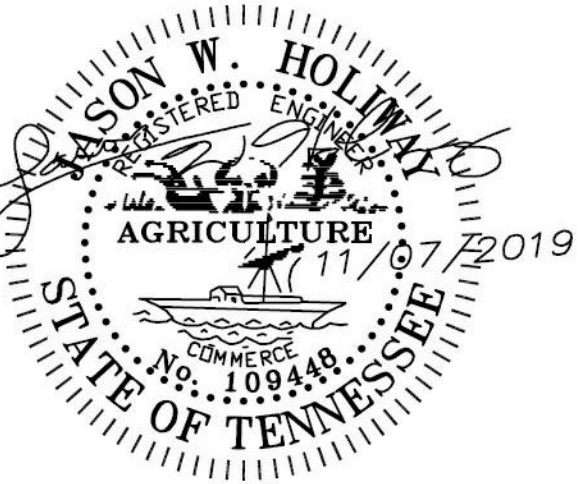
6 TYPICAL ADA DEMO  
1/2" = 1'-0"

- 1 3" VENT FROM FIRST FLOOR FIXTURES UP TO EXISTING VTR.
- 2 4" WASTE STACK FROM SEVENTH FLOOR FIXTURES TO BELOW SLAB AT FIRST FLOOR. CONNECT TO EXISTING HORIZONTAL MAIN BELOW FIRST FLOOR.
- 3 1-1/2" V FROM KSI TO CONNECT TO VENT STACK
- 4 EXISTING DW RISER IN CHASE. CONNECT NEW 3/4" CW RD RISER AND INTO CABINETS. INSTALL NEW QUATER TURN SHUT-OFF UPSTREAM OF ANY FIXTURE CONNECTIONS
- 5 NEW WH1 INSTALLED WITH FLEXIBLE HOSE CONNECTIONS AND INSIDE 2" DRAIN PAN. CONNECT TOP RELIEF TO EXISTING RELIEF DRAIN LINE IN CHASE



5 MAIN BUILDING KEY PLAN VIEW 2 Copy 1  
1/32" = 1'-0"





Project Phase: Construction Documents

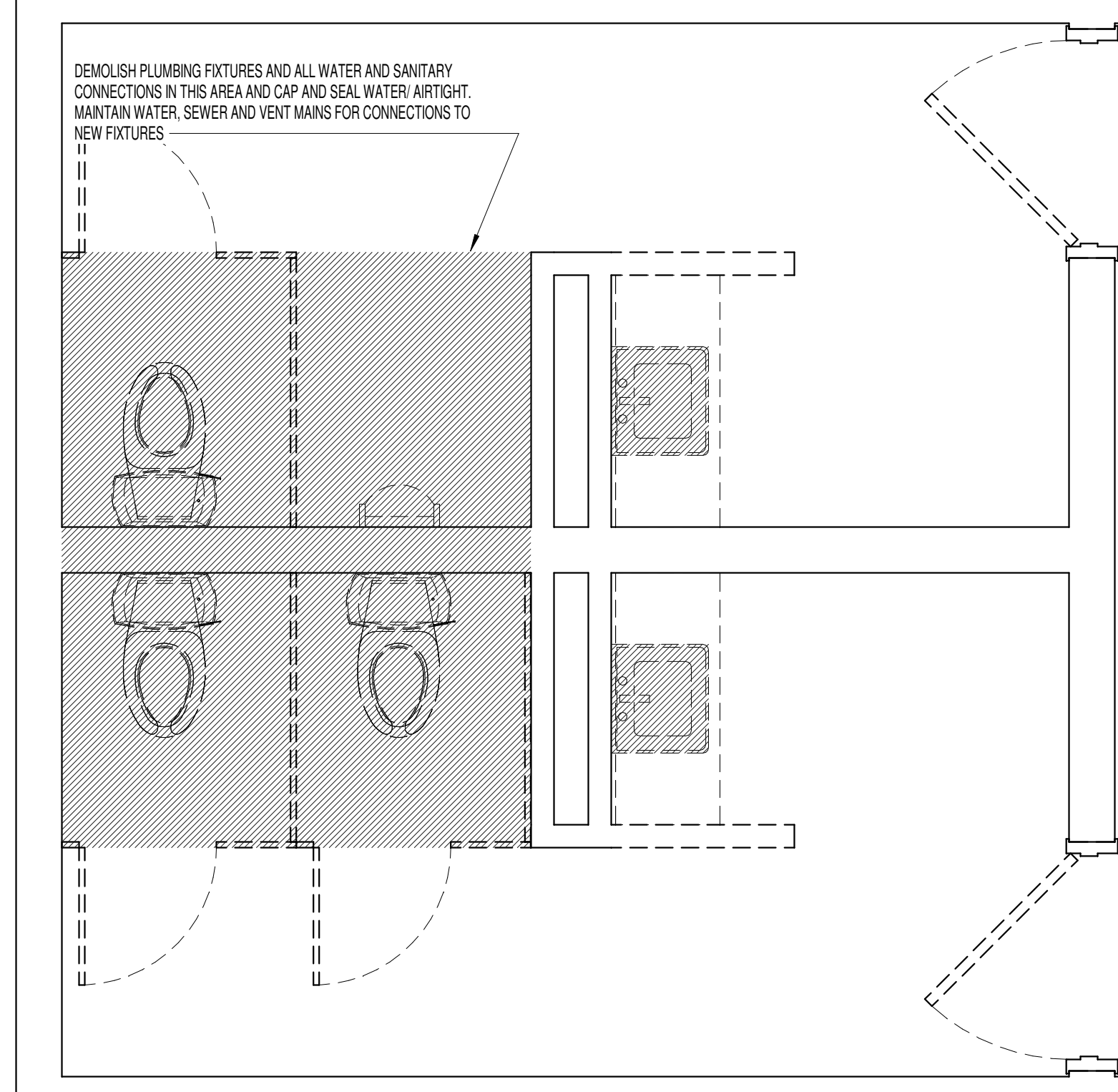
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No.	Description	Date

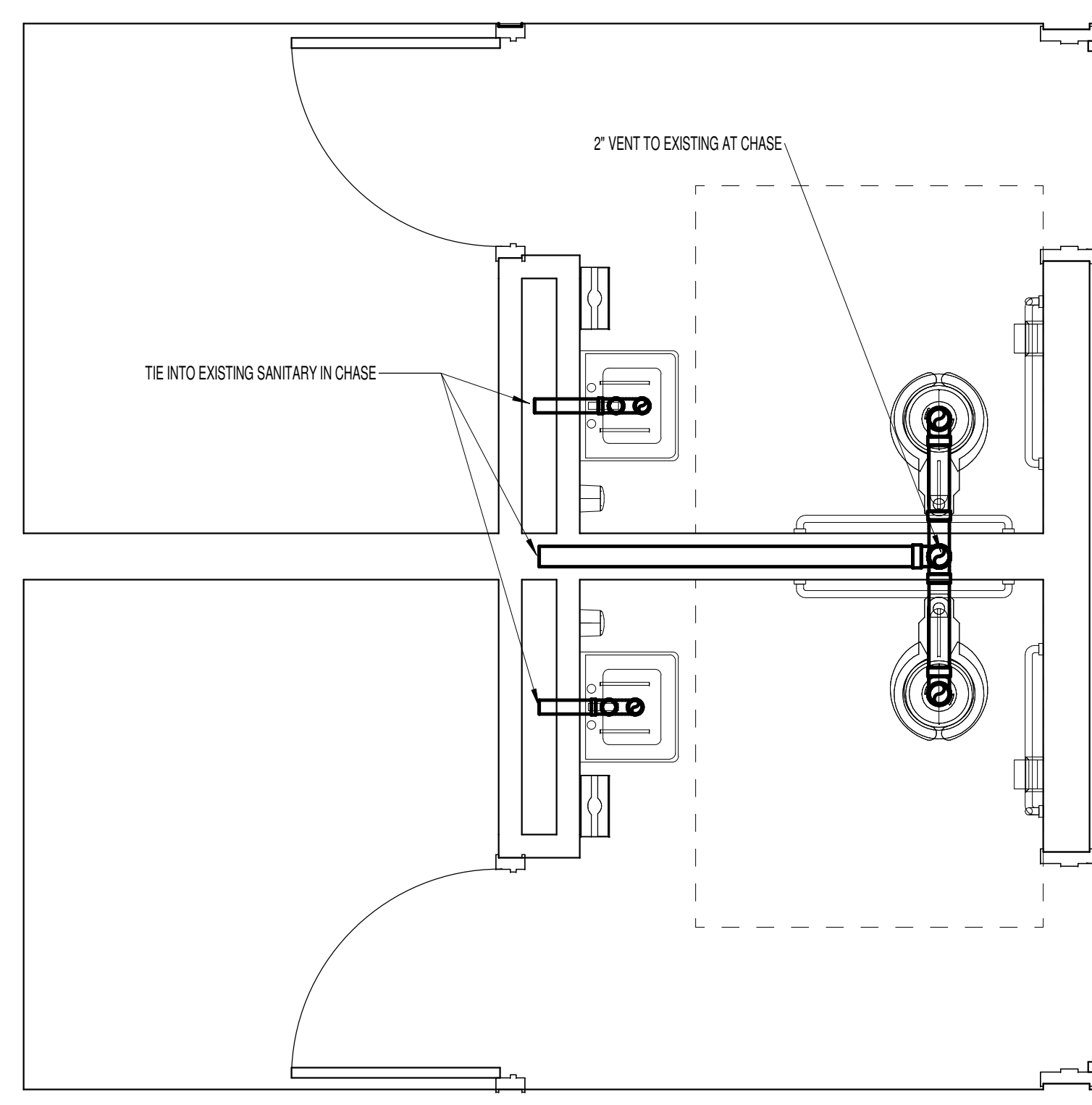
Job Number: 19089.00

TYPICAL ADA PUBLIC BATHROOM

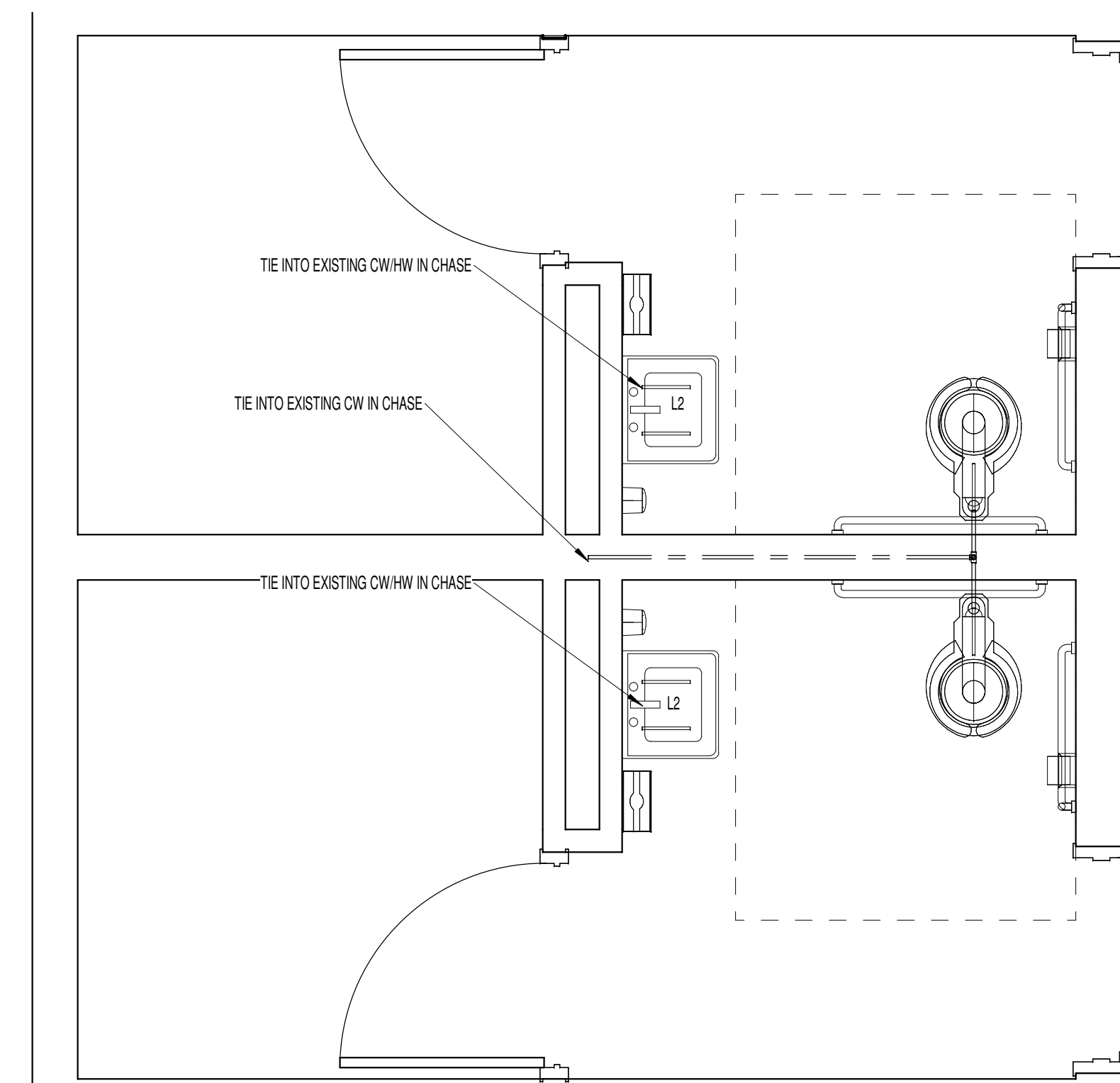
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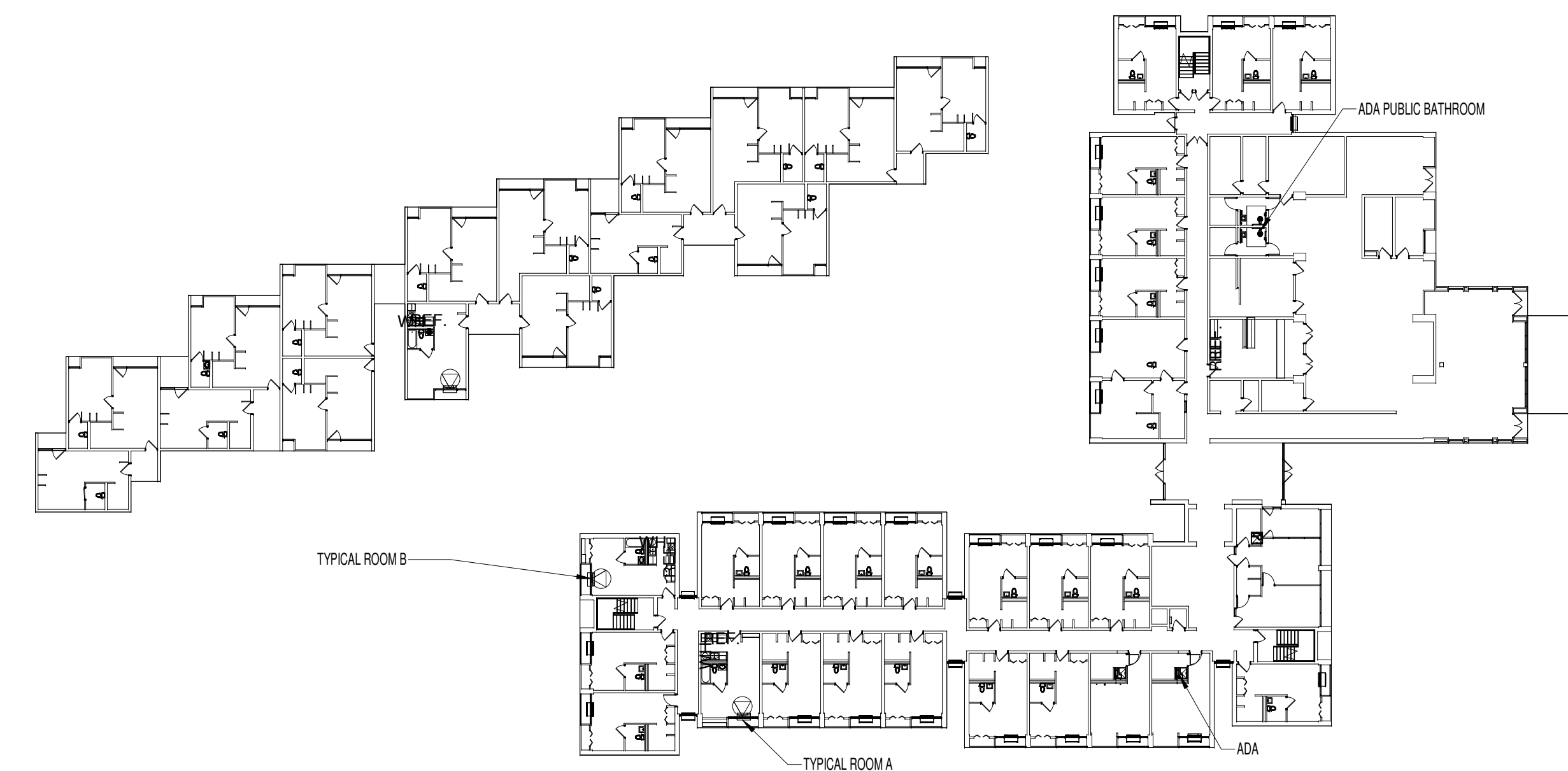
1 TYPICAL PUBLIC ADA BATHROOM DEMO  
1/2" = 1'-0"



3 TYPICAL PUBLIC ADA BATHROOM SS  
1/2" = 1'-0"



2 TYPICAL PUBLIC ADA BATHROOM DW  
1/2" = 1'-0"



4 MAIN BUILDING KEY PLAN VIEW Copy 1  
1/32" = 1'-0"



# Preliminary Sprinkler Calculation Sheet #2

<b>Flow Test Data</b>	
Static Pressure:	134 psi
Residual Pressure:	124 psi
Flow (GPM) :	1066 gpm
Date taken:	9/24/2018
Time:	8:49AM
Test taken by:	MRISTWN SPRINK
Elevation of Hydrant:	...

## GPM Demand of BLDG.

Most remote area or highest demand (Room Name)	LIGHT HAZARD
Design Density (NFPA 13 or supplied by Insurance Co.)	0.1
Design Area (Square footage)	1500 sq. ft.
Overage Factor (1.20 typ.)	1.2
Remote area GPM demand (Density x Area x Overage)	180 gpm
Standpipe GPM demand (if required) (500 gpm for the first, 250 after)	0 gpm
Hose GPM demand (100 Light, 250 ordinary, 500 extra hazard)	100 gpm
Total GPM (Remote Area + Standpipe + Hose)	280 gpm

## Available Pressure

Density	0.1
Max Sprinkler Head coverage (As per NFPA 13 table 8.6.2.2(a-d))	225 sq. ft.
Square footage spacing x Density = GPM sprinkler head (Q)	22.5 gpm
K-Factor of Sprinkler head (K)	5.6 (K)
Equation: Pressure required at head = (Q / K) <sup>2</sup>	16.14317602 psi
Elevation difference from test hydrant to base of riser x .433	15 ft
Elevation difference from base of riser to remote area x .433	70 ft
Backflow Preventer pressure drop	12 psi
Safety Factor (5 psi min.) (SF)	5 psi
Fixed Pressure drop =	69.94817602 psi

## Estimated Friction Drop Thru Fire Line

Length of run from test hydrant to riser (HR)	100 Lin. Ft.
Pipe C Factor (Ductile Iron C-100)	100
Nominal Pipe Inside Diameter (8", 6", 4")	6
	152188.1342
	30874262.29
Friction loss in pipe (psi/ft) (Based on Hazen William Equation)(HW1)	0.004929288 psi/ft
HR x 1.30 x HW1 =	0.640807455 Est. psi/sqft

Length of run from riser to last sprinkler head (estimated.) (RS)	350 Lin. Ft.
Base of Riser to farthest sprinkler	70
Pipe C Factor (Black Steel C-120)	120
Nominal Pipe Inside Diameter (6", 4")	4
	67203.6048
	6005061.547
Friction loss in pipe (psi/ft) (Based on Hazen William Equation)(HW2)	0.011191116 psi/ft
RS x 1.30 x HW2 =	5.091977816 Est. psi/sqft

## Estimated Required Flow Data for Building

Required GPM	280 gpm
Required psi	75.04015384 psi

### FIRE SPRINKLER SYSTEM NOTES:

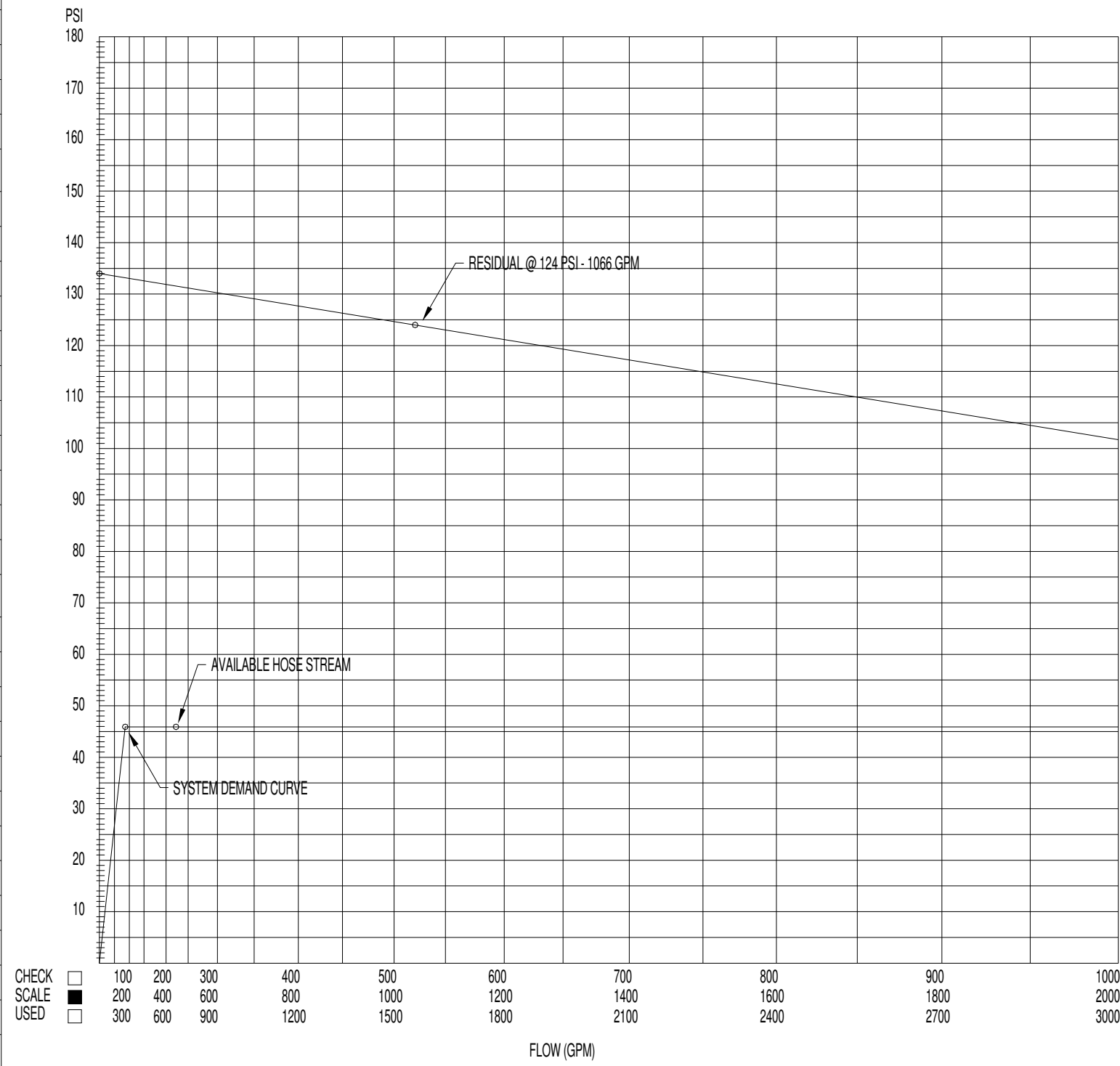
1. FIRE SPRINKLER CONTRACTOR SHALL PROVIDE A FIRE SPRINKLER SYSTEM DESIGN COMPLIANT WITH ALL APPLICABLE PROVISIONS OF NFPA 13:2016 ADDITION.
2. THESE DRAWINGS ARE SCHEMATIC FOR DESIGN INTENT ONLY AND THE DESIGN BLDG CONTRACTOR IS RESPONSIBLE FOR A COMPLETE AND FUNCTIONAL SYSTEM WITH ANY NECESSARY ADJUSTMENTS.
3. FIRE SPRINKLER SHOP DRAWINGS (SETS OF WORKING PLANS, PRODUCT DATA AND HYDRAULIC CALCULATIONS) ARE TO BE SUBMITTED FOR REVIEW AFTER THE ENGINEER OF RECORD IS SATISFIED THAT THE SHOP DRAWINGS SATISFY THE REQUIREMENTS OF THE NFPA 13 AND THE PROJECT DOCUMENTS. THE ENGINEER OF RECORD SHALL GIVE SUCH APPROVAL ON THE SHOP DRAWINGS.
4. ALL DETAIL DESIGN DRAWINGS AND CALCULATIONS SHALL BE SEALED BY A SPRINKLER SYSTEM ENGINEER OR R.A.I.E. LICENSED IN THE STATE OF TENNESSEE.
5. THE SPRINKLER CLASSIFIED AS 1.00 FT. HANGING THROUGH OUT SYSTEM DESIGN CALCULATIONS SHALL INCLUDE SPRINKLERS TO PROVIDE A DESIGN DENSITY OF 0.10 GPM/SQ. FT. FOR THESE OCCUPANCIES. ALL MECHANICAL ROOMS AND JANITOR CLOSETS SHALL HAVE A DESIGN DENSITY OF 0.15 GPM/SQ. FT.
6. ALL SYSTEM VALUES AND GAUGES SHALL BE ACCESSIBLE FOR OPERATION, INSPECTION, TEST AND MAINTENANCE.
7. COORDINATE LOCATION OF SPRINKLER WITH ALL OTHER OCCUPANCIES. SPRINKLER HEADS SHALL BE CENTER OR QUARTERED IN CEILING TILE UNLESS NOTED OTHERWISE. ALL SPRINKLERS IN GRID CEILING TO BE ON RETURN BENCH OR UTILITY FLEXIBLE SPRINKLER DROP (VICTALIC AH202 OR APPROVED EQUAL).
8. CONTRACTOR SHALL SUPPLY FLEXIBLE PIPE COUPLINGS ON ALL PIPES 2" OR LARGER AT ALL FLEXIBLE JOINTS PER NFPA 13. FLEXIBLE COUPLINGS SHALL ALSO BE PROVIDED WITHIN 1' OF BOTH SIDES OF STRUCTURAL ELEMENTS THAT PIPING PASSES THROUGH.
9. ALL PIPING SHALL HAVE HANGERS INSTALLED PER NFPA 13.
10. PENETRATION OF FIRE AND SMOKE BARRIERS/PARTITIONS SHALL BE ADEQUATELY SEALED/PROTECTED.

### SPRINKLER REFERENCE NOTES:

1. ALL PLACES WHERE EXISTING HEADS WERE REMOVED DURING NEW CONSTRUCTION, SPRINKLER PIPING SHALL BE CAPPED BEHIND SURFACE AND/OR CEILING.
2. FIELD LOCATE EXISTING PIPE AND CONNECT NEW HEADS. PROVIDE NEW PIPE WHERE NEEDED.
3. CONTRACTOR RESPONSIBLE FOR HYDROSTATICALLY TESTING SYSTEM AT 200psi FOR 2 HOURS AFTER SYSTEM IS COMPLETE.
4. AS PER NFPA 8.7.1.1.2 - HORIZONTAL SIDEWALL SPRINKLERS SHALL BE PERMITTED TO BE LOCATED IN A ZONE 6 IN. TO 12 IN. OR 12 IN. TO 18 IN. BELOW NON-COMBUSTIBLE AND LIMITED COMBUSTIBLE CEILINGS.
5. EXISTING HEADS SHALL BE ALLOWED TO REMAIN WHERE APPLICABLE AND PROVIDE PROPER COVERAGE IN COMPLIANCE WITH NFPA 13.

THE FIRE PROTECTION SYSTEM IS EXISTING. THE INTENT OF THIS DRAWING IS TO SHOW A NEW HEAD LAYOUT. THE MOST HYDRAULICALLY DEMANDING AREA IS NOT CHANGING NOR IS THE HAZARD CLASSIFICATION.

THE ROOMS WITHOUT HEADS SHOWN ARE EXISTING ROOMS AND ARE ALREADY COVERED BY EXISTING HEADS.



SPRINKLER HEAD LEGEND						
SYMBOL	TYPE	TEMP	K	MAX PRESSURE	MANUFACTURE	MODEL
☉	PENDENT	160°	4.2	175	TYCO	TY2586
☉	PENDENT	155°	4.9	175	TYCO	TY2224
☉	PENDENT	155°	4.2	175	TYCO	TY1334
☐	WALL	155°	4.2	175	TYCO	TY1334

\*PROVIDE ALL BRACING, SUPPORTS AND HANGERS PER NFPA 13 - 2016 EDITION  
 \*WY DENOTES WIRE GUARD  
 \*COORDINATE SPRINKLER HEAD FINISH WITH ARCHITECT

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 Checked By: Checker  
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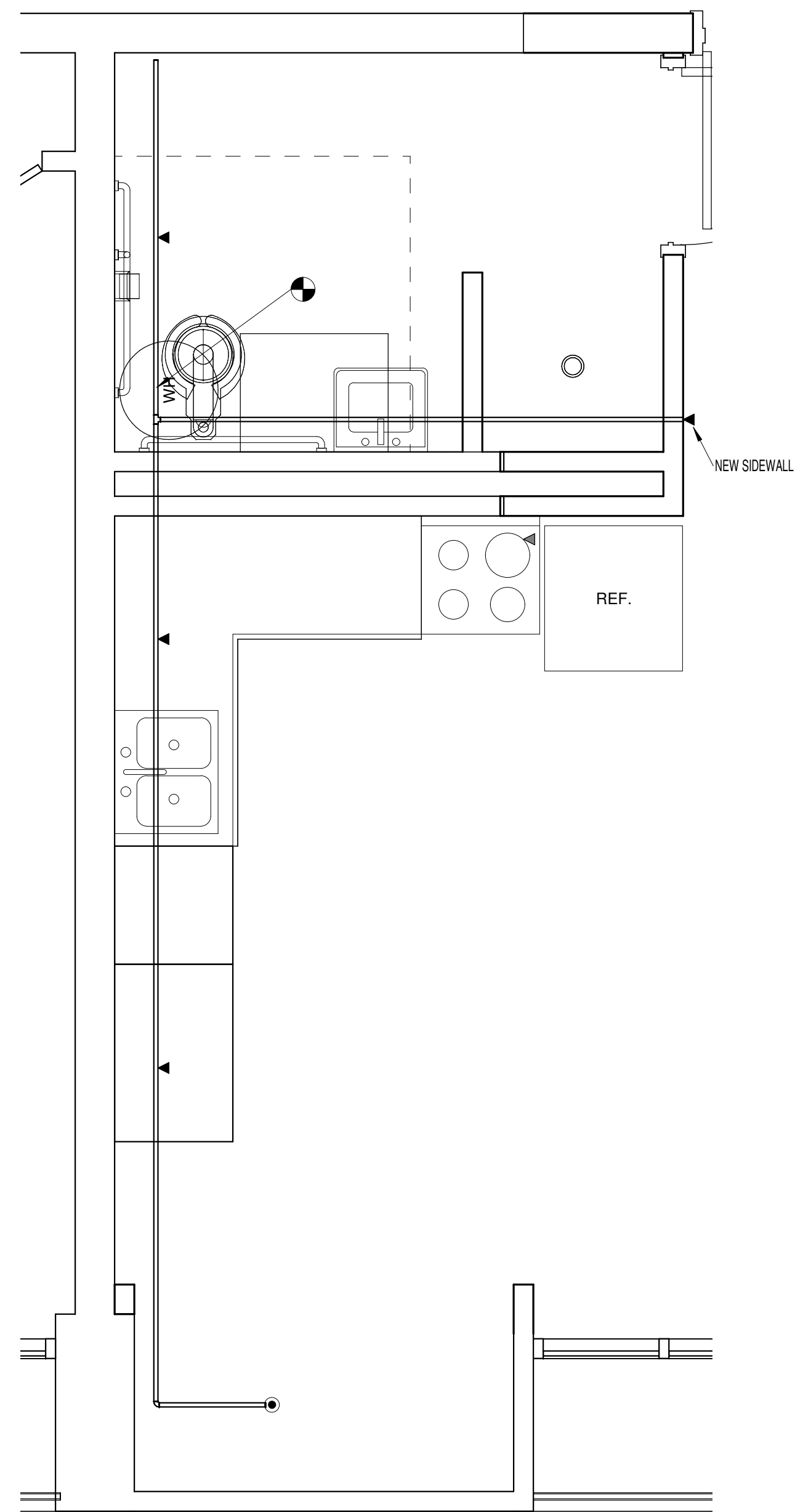


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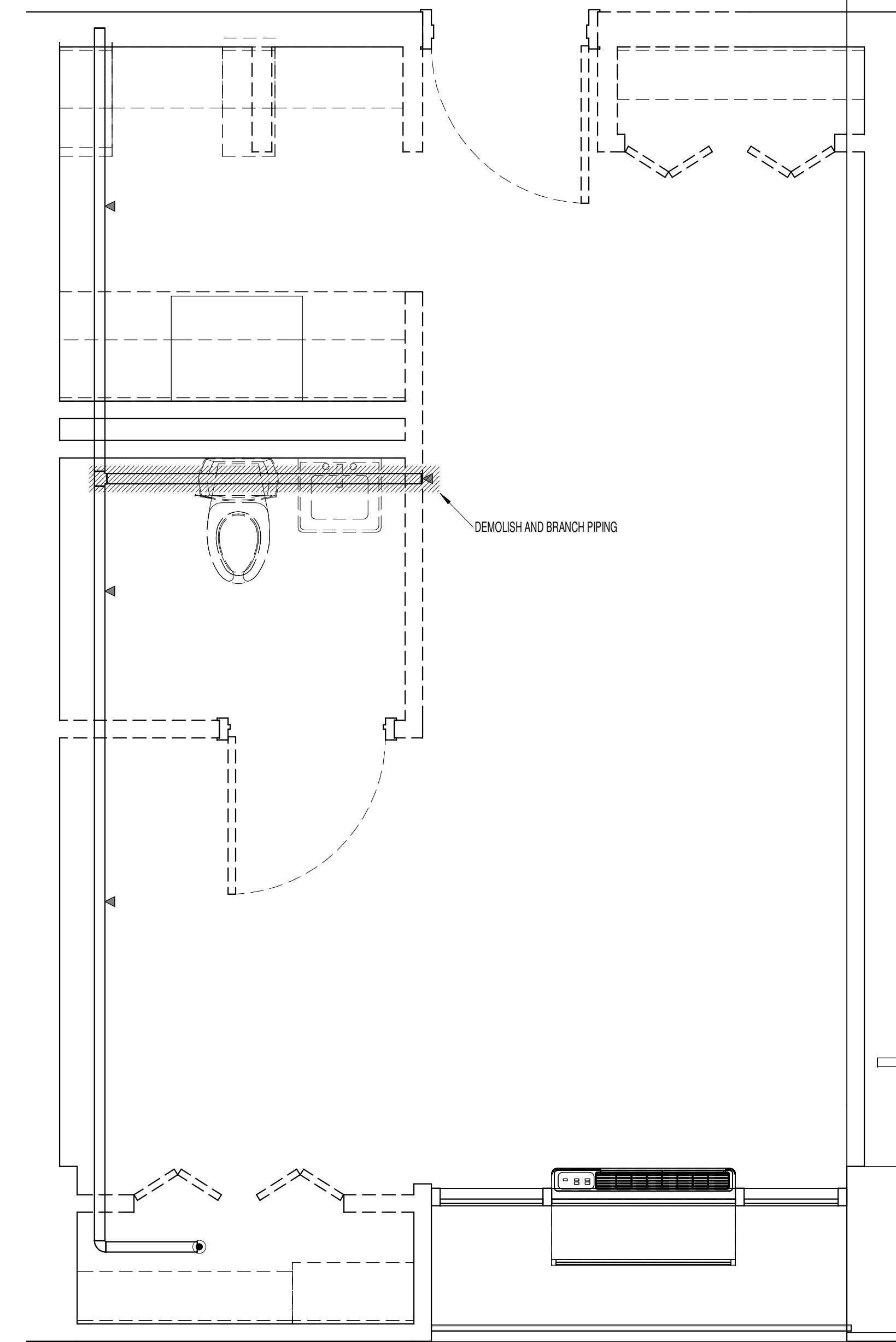
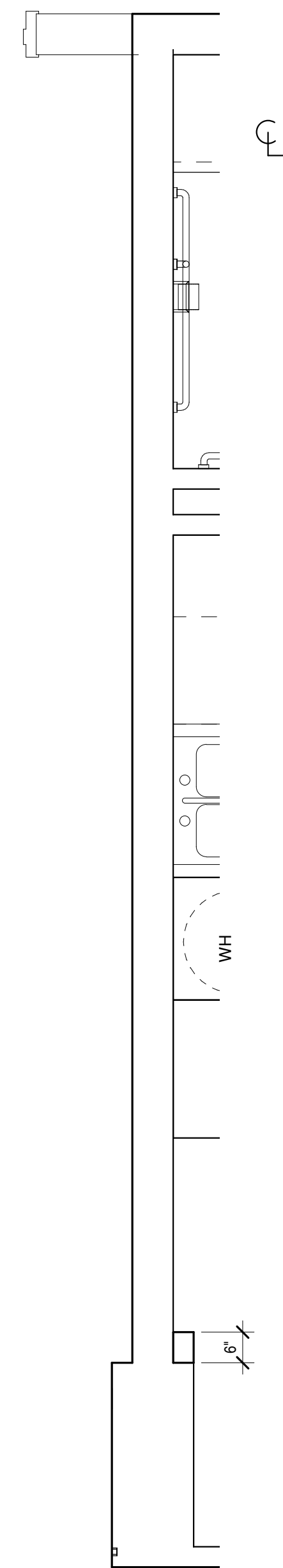
Issue Date: 10/30/19

Revisions		
No.	Description	Date





① TYPICAL ADA FP  
1/2" = 1'-0"



② TYPICAL ADA FP DEMO  
1/2" = 1'-0"

**KCDC - Isabella Towers**

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

Issue Date: 10/30/19

Revisions		
No.	Description	Date

Job Number: 19089.00

ADA FP PLAN

**FP1.1**

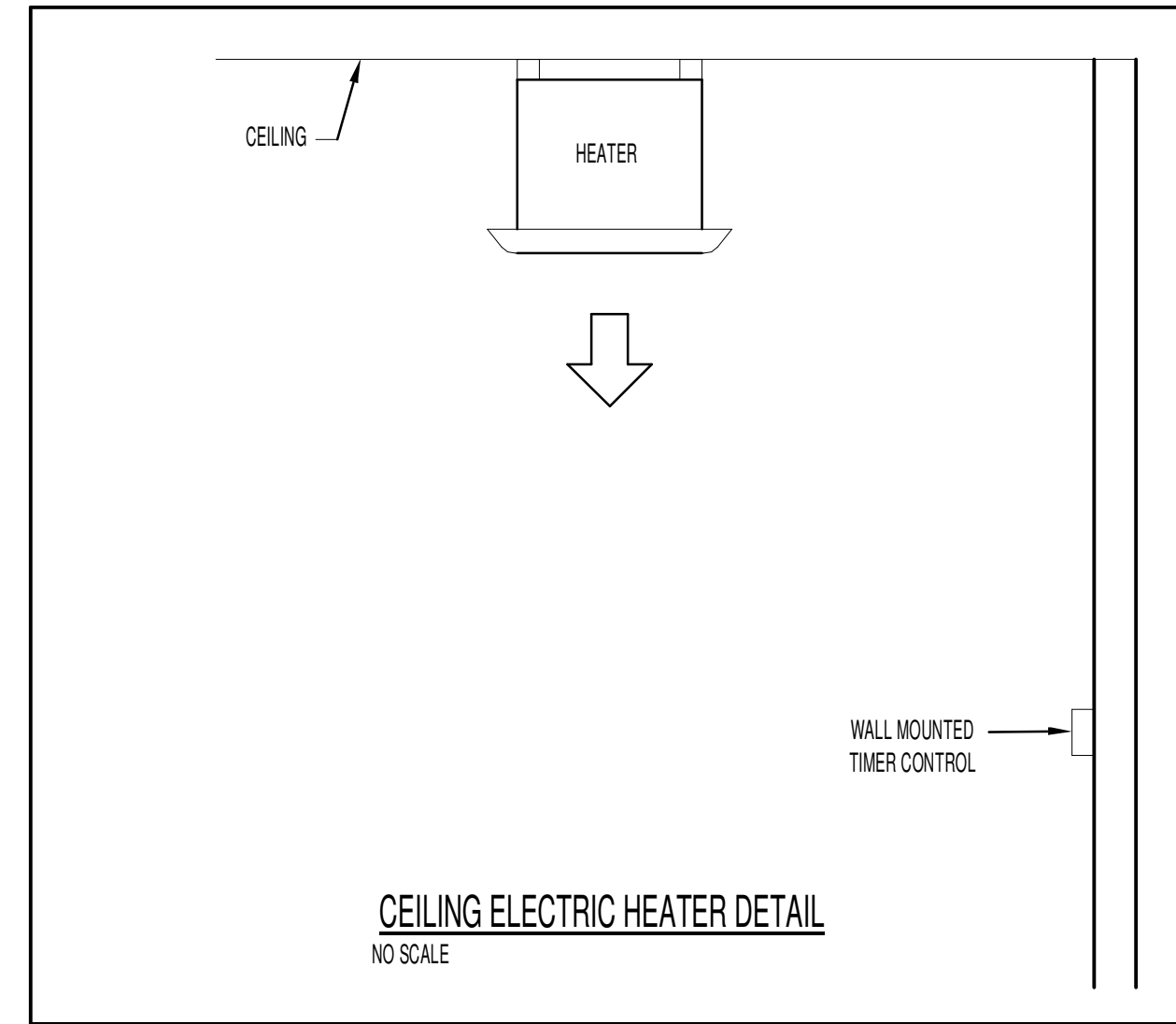
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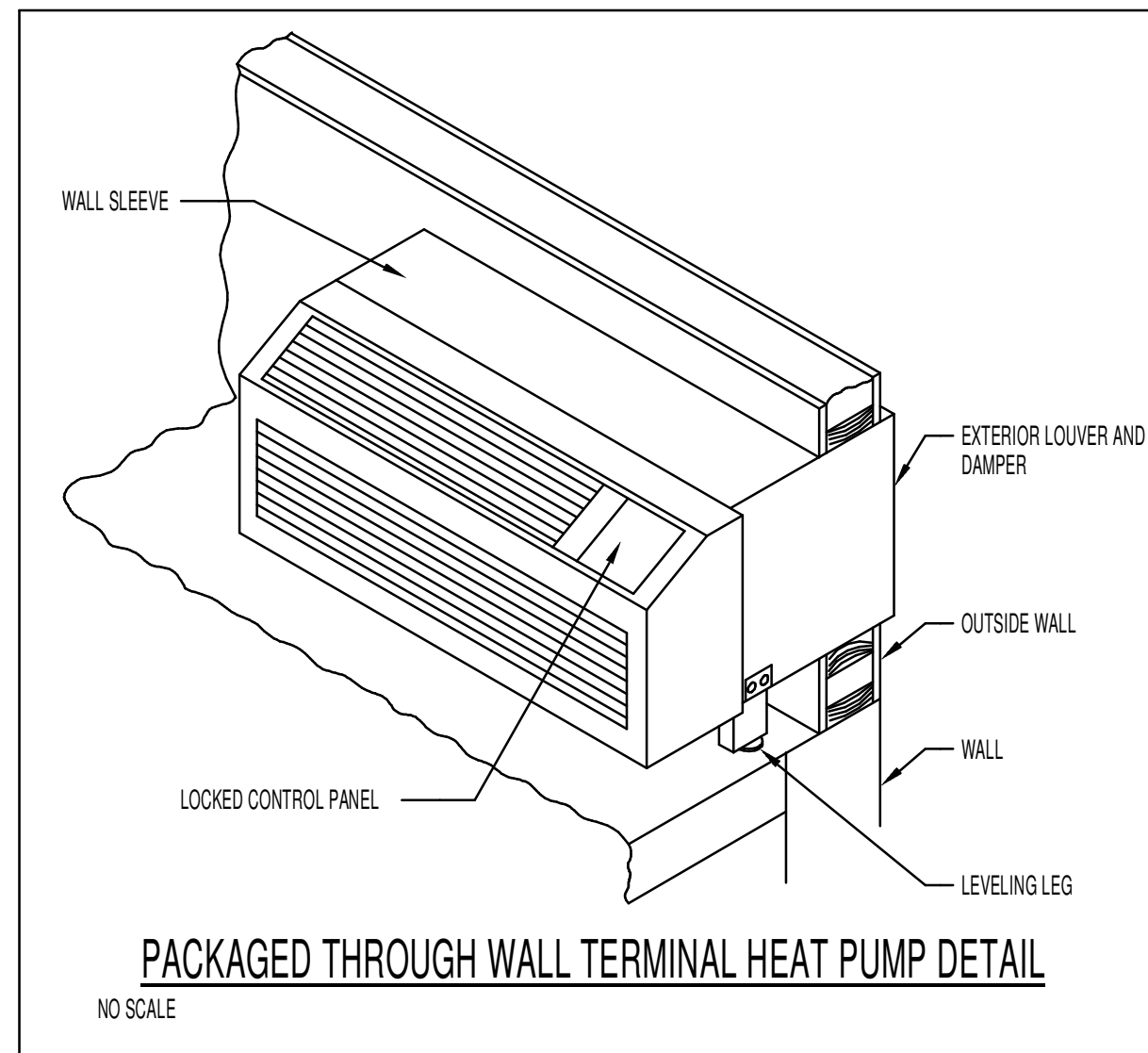


AIR DISTRIBUTION SCHEDULE					
EG-1	LOUVERED EXHAUST GRILLE	SINGLE DEFLECTION FIXED FRONT HORIZONTAL FRONT BARS	STEEL WITH BAKED ENAMEL FINISH	PRICE \$300	* MC 435 * MAX FACE VELOCITY -500 FPM
SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR MOUNTING TYPE REQUIRED. PROVIDE PLASTER FRAME FOR ALL AIR DEVICES LOCATED IN GYP. BOARD CEILINGS. * VERIFY THE MOUNTING OF ALL CEILING AIR DISTRIBUTION DEVICES COMPLY WITH BUILDING STRUCTURE PRIOR TO PURCHASE.					

ELECTRIC HEATER SCHEDULE							
DRAWING SYMBOL	WATTS	CFM	CONTROL	AMPS	VOLTAGE	WEIGHT LBS.	MANUFACTURER & MODEL NUMBER
ECH-1	750	60	TIMER	-	120V	11	STEL PRO SK0751W
ACCESSORIES AND FEATURES: * UNITS MUST BE UL LISTED * PROVIDE INTERNAL DISCONNECT SWITCH. * PROVIDE 50 MIN. WALL MOUNTED TIMER. * PROVIDE MANUFACTURER'S INSTALLATION KIT FOR SURFACE MOUNT OPTION. * ALTERNATE MANUFACTURER'S QMARK, BERKO, MARKEL							



PTAC HEAT PUMP SCHEDULE												
DRAWING SYMBOL	H/LOW CFM	CFM O.A.	EER	COOP	COOLING (BTU/H) TOTAL	HEATING (BTU/H)	AUX. HEAT	HEATER AMPS	MAX FUSE (AMPS)	VOLTAGE	WGT. LBS.	MANUFACTURER & MODEL NO.
TYPICAL PTAC	320/280	0	11.6	3.2	11,800	10,600	5.0	-	20	208/100	128	TRANE PTHF1201HAA
ACCESSORIES AND FEATURES: * 5 YEAR COMPRESSOR WARRANTY. * EQUIPMENT TO BE ARI CERTIFIED AND UL APPROVED. * COOLING CAPACITY AT 80°F DBT, 95.0°F. * HEATING CAPACITY AT 47.0°F. * PROVIDE WITH BUILT-IN THERMOSTAT. * PROVIDE WITH 20 AMP POWER CORD 8-2P MODEL PWR02088. EXTERIOR ARCHITECTURAL GRILLE (COLOR BY ARCHITECT), WALL SLEEVE, INTEGRAL CONDENSATE DRAIN KIT. * PROVIDE WITH UNIT MOUNTED CONTROLS.												



HVAC LEGEND & SYMBOLS	
	A. RECTANGULAR DUCT * MANUAL OPPOSED BLADE DAMPER WITH LOCKING QUADRANT LEVER OPERATOR. OF STEEL CONSTRUCTION. * LOUVERS & DAMPERS MODEL CD-400; KRUGER MODEL 98DQM TYPE 2 OPERATOR FOR LESS THAN 10" WIDE.
	B. ROUND DUCT * ROUND BLADE CONTROL DAMPER OF STEEL CONSTRUCTION WITH MANUAL OPERATOR * LOUVERS AND DAMPERS MODEL CD-80.
	RECTANGULAR ELBOW WITH SINGLE THICKNESS TURNING VANES OF STEEL CONSTRUCTION. DIMENSION: L = 14W, 4" MINIMUM
	SHEET METAL CONNECTORS, INC. HIGH EFFICIENCY TAKEOFF WITH DAMPER AND LOCKING QUADRANT FOR ROUND DUCT TAKEOFFS FROM RECTANGULAR DUCTWORK. INCREASE MAIN DUCT SIZE AT FITTING TO ACCOMMODATE ITS INSTALLATION IF REQUIRED TO MEET SMACNA AND MANUFACTURER'S INSTRUCTIONS. DIMENSION: D = ROUND DIAMETER (8" - 14")
	DUCT RISER
	DUCT DROP
	ROUND DUCT RISER
	ROUND DUCT DROP
	EXHAUST DUCT
	EXISTING DUCT
	INDICATES NEW HVAC EQUIPMENT
	INDICATES EXISTING HVAC EQUIPMENT
	DUCT TRANSITION
	INDICATES 3/4" UNDERCUT DOOR
	CONNECT TO EXISTING SYMBOL
	WALL MOUNTED THERMOSTAT
	SIDEWALL EXHAUST GRILLE

**GENERAL NOTES:**

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF H.V.A.C. COMPONENTS OR PURCHASE OF EQUIPMENT.
- CONTRACTOR SHALL COORDINATE ALL OTHER TRADES WITH THE INSTALLATION OF H.V.A.C. SYSTEM.
- H.V.A.C. LEGEND MAY CONTAIN SYMBOLS AND ABBREVIATIONS NOT USED ON THIS SPECIFIC PROJECT. LEGEND SHALL BE USED FOR REFERENCE PURPOSES.
- CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE H.V.A.C. SYSTEM AS IT RELATES TO DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR IS REQUIRED TO REVIEW ARCHITECTURAL PLANS FOR RATED ASSEMBLIES. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE BUILDING CODES.
- "STANDARD" ACCESSORIES OR CONTROLS ON H.V.A.C. EQUIPMENT SHALL BE THOSE WHICH MANUFACTURER PROVIDES ON THE MAJORITY OF STOCK MERCHANDISE.
- BRAND NAMES AND MODEL NUMBERS ARE PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND PERFORMANCE. "EQUAL TO" ITEMS MAY BE SUBMITTED FOR CONSIDERATION BY THE ENGINEER AND OWNER.
- THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATE THE APPROXIMATE ROUTING OF PIPING AND DUCTWORK. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE NEW PTAC UNITS WITH EXISTING PTAC LOCATIONS.

**HVAC NOTES:**

- CONTRACTOR SHALL FIELD VERIFY ALL TERMINAL DEVICES TO AVOID INTERFERENCES.
- CONDENSATE DRAIN PIPING SHALL BE FULL SIZE FOR EQUIPMENT CONNECTION WITH PVC ROUTED TO INDIRECT CONNECTION WITHOUT CREATING AN OBSTRUCTION. ALL SUPPORTS FOR THE CONDENSATE DRAIN PIPING IS BY THE MECHANICAL / HVAC CONTRACTOR.
- THE MECHANICAL SYSTEMS SHALL HAVE TESTING AND BALANCING PERFORMED BY THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS. THE CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE REPORT IDENTIFYING ALL MAJOR PIECES OF HVAC EQUIPMENT AND AIR DISTRIBUTION DEVICES WITH PERFORMANCE AND FINAL AIR BALANCE OF EACH. SUBMITTAL SHALL BE PRESENTED TO THE ENGINEER AND BUILDING OWNER OR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL. KITCHEN HOOD AND FANS TO BE BALANCED BY ITS SUPPLIER. BOTH PROCEDURES ARE TO BE DONE AT THE SAME TIME AND TO BE COORDINATED TO ATTAIN DESIGN RESULTS.
- PROVIDE MINIMUM 10 FEET SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.

**PENETRATIONS:**

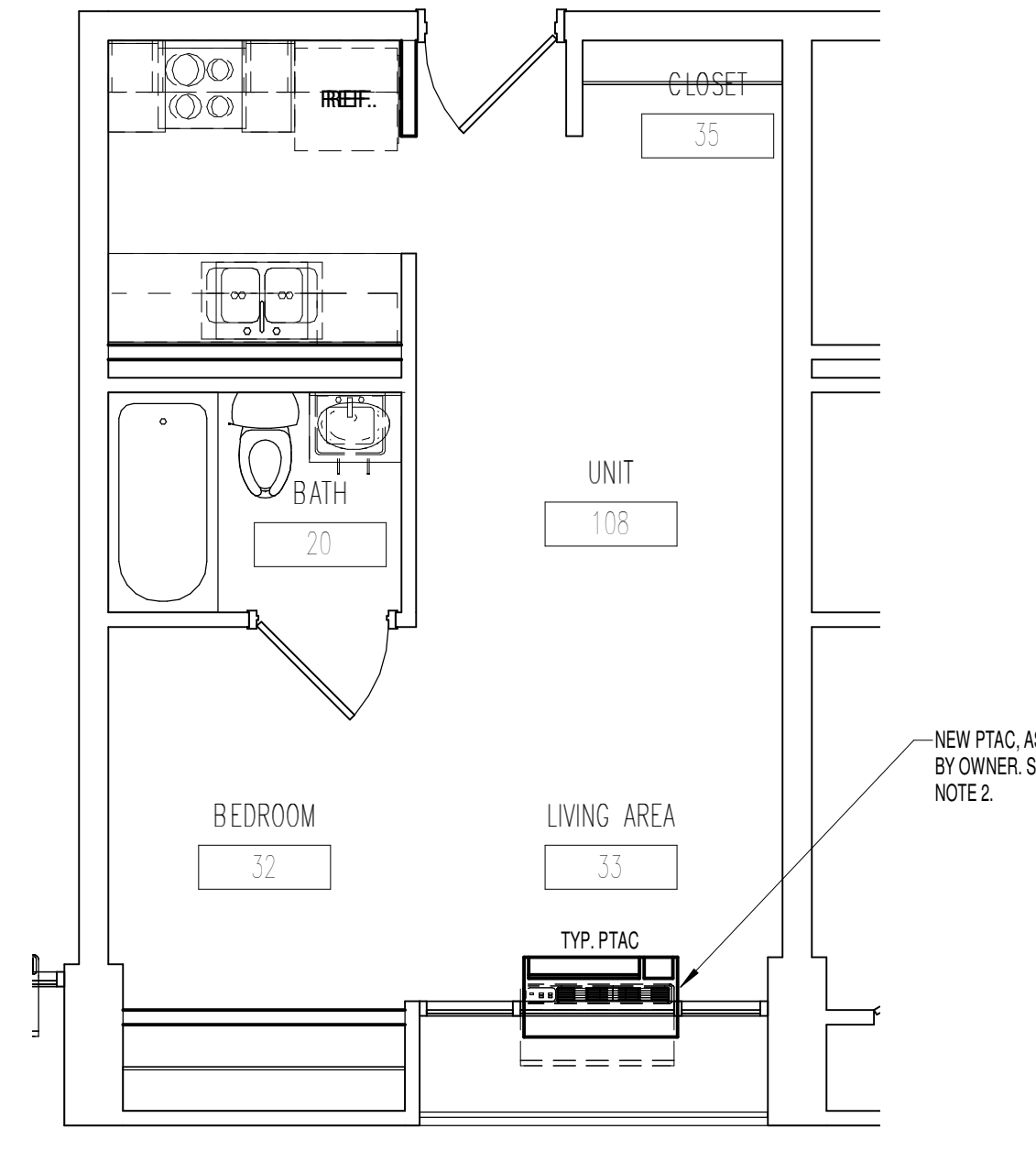
- SLEEVES SHALL BE INSTALLED WHERE DUCTS, LOUVERS, OR PIPING PENETRATE NON-RATED EXTERIOR WALLS, PARTITIONS, FLOORS, OR ROOF. PACK AROUND SLEEVES AND SEAL WEATHER TIGHT. INSTALL FLASHING AS REQUIRED. SLEEVES SHALL BE MINIMUM 16 GAUGE GALVANIZED STEEL AND SHALL BE FIRMLY SET IN BUILDING STRUCTURE.

**SUBMITTALS AND ACCEPTANCE:**

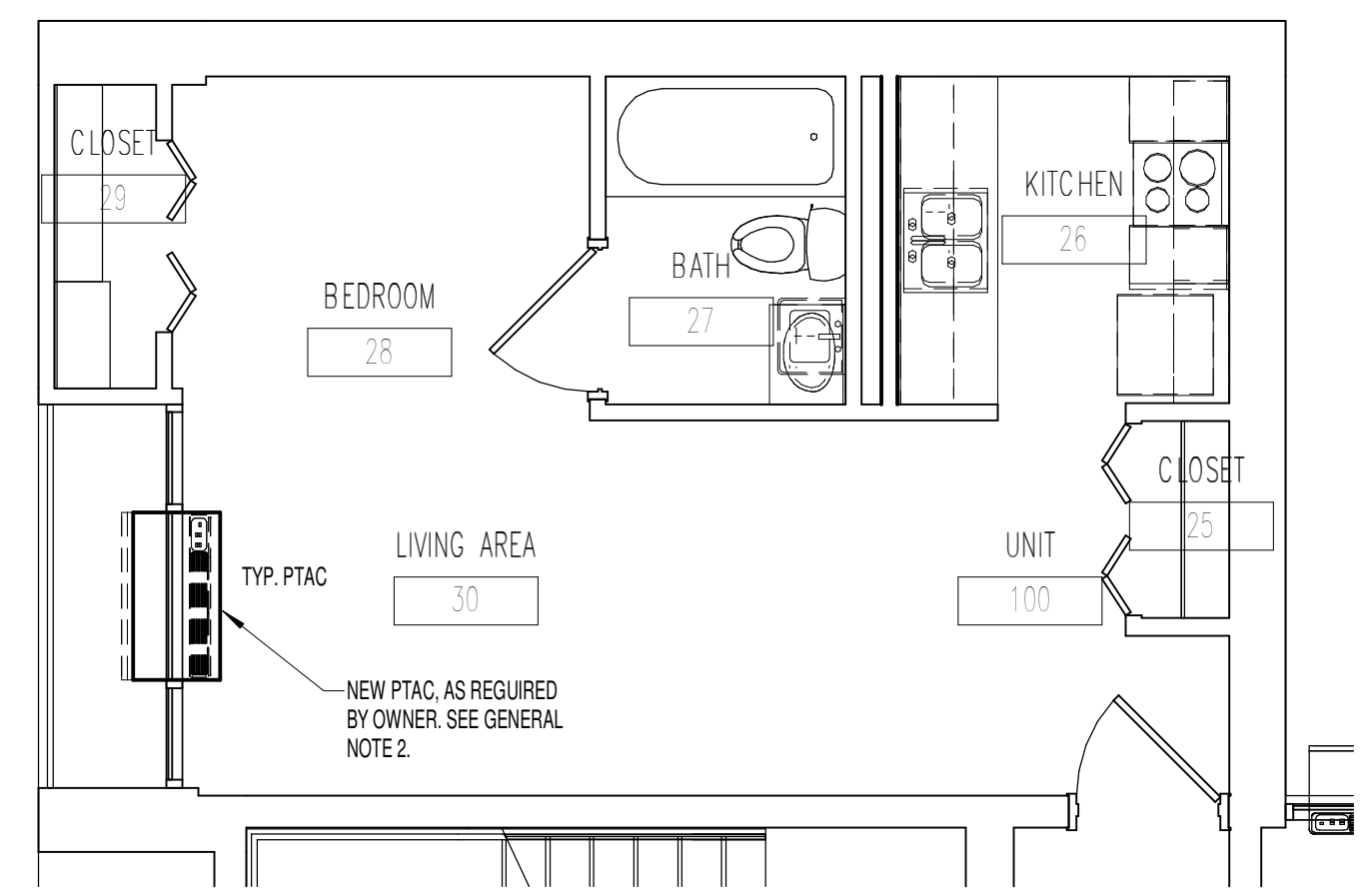
- UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF HVAC SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL THEN RELAY THEM TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT.
- OPERATION AND MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT SHALL BE COMPILED INTO A THREE RING BINDER AND TURNED OVER TO BUILDING OWNER UPON PROJECT COMPLETION.

**GENERAL NOTES:**

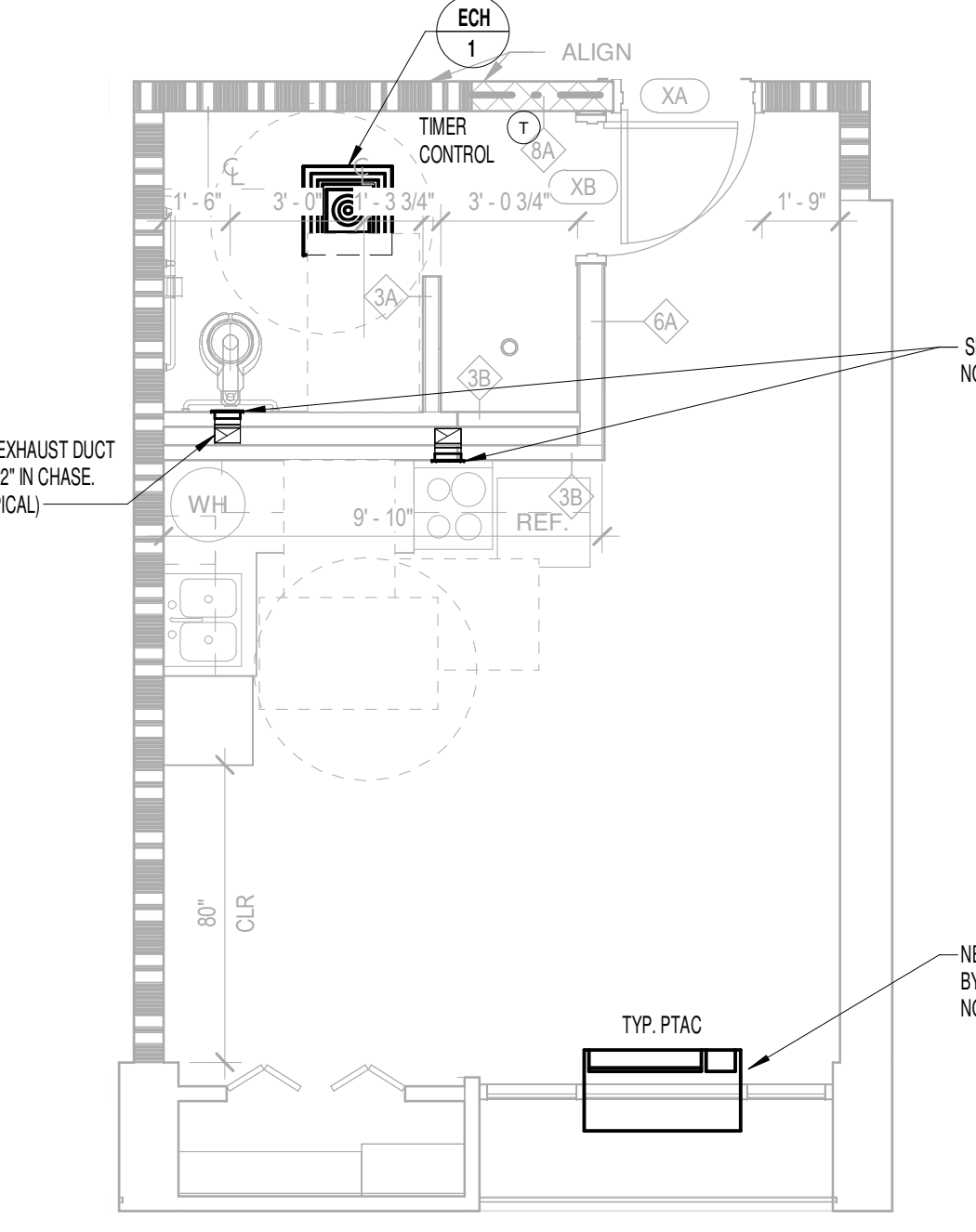
- OWNER TO PURCHASE AND TOTAL PTAC UNITS AS SCHEDULED.
- CONTRACTOR TO REPLACE EXISTING PTAC IN INDIVIDUAL UNITS WITH NEW PTAC WHERE DIRECTED BY OWNER.
- REPLACE EXISTING EXHAUST GRILLES IN ALL ADA APARTMENTS WITH NEW 17"X14" GRILLE. CONNECT TO NEW 7/8" EXHAUST DUCT. FIELD VERIFY EXACT LOCATIONS. DUCT TO EXTEND 22" ABOVE GRILLE.



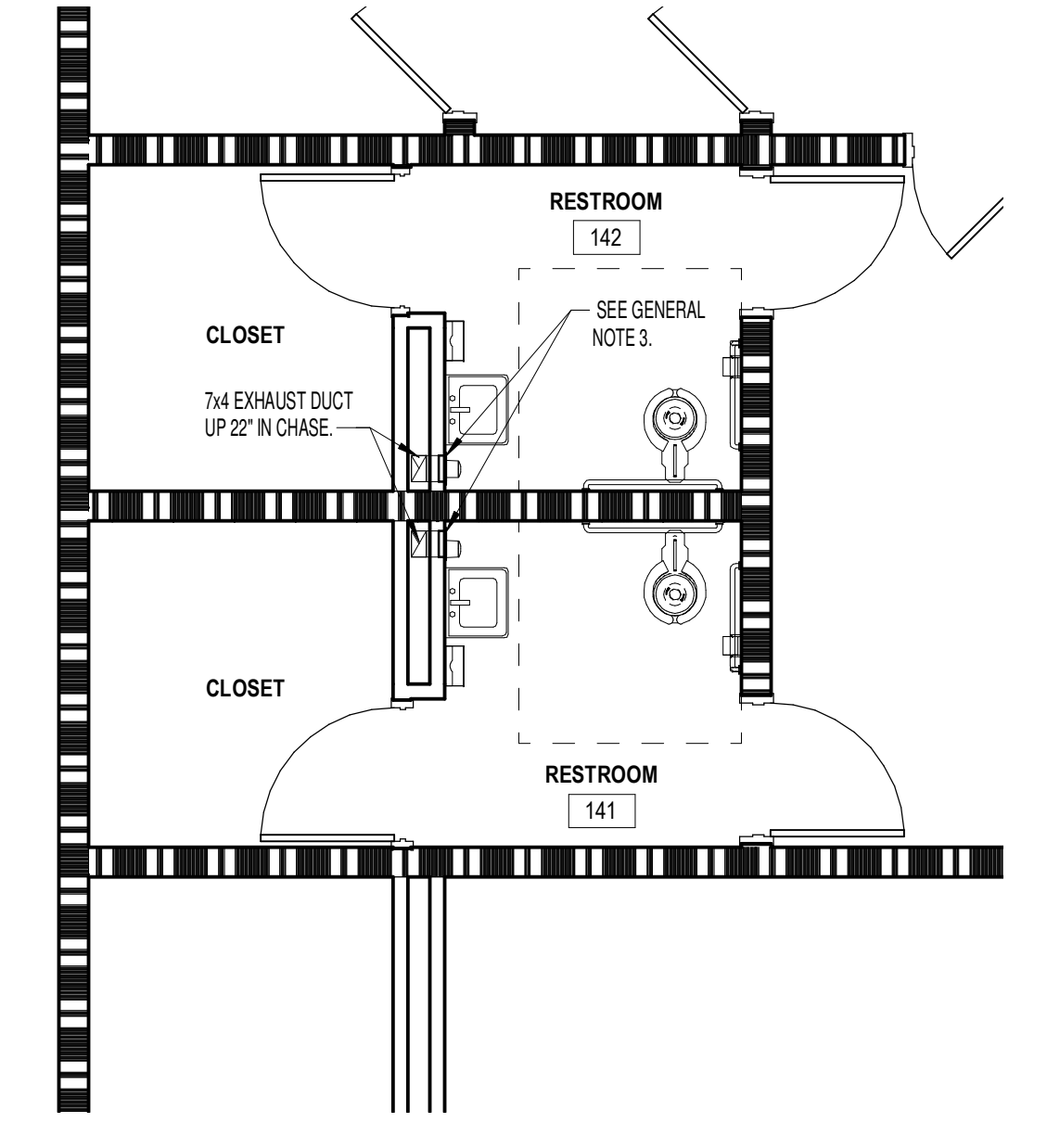
2 HVAC PLAN - Type A 0 - Bedroom (Main Tower)  
1/4" = 1'-0"



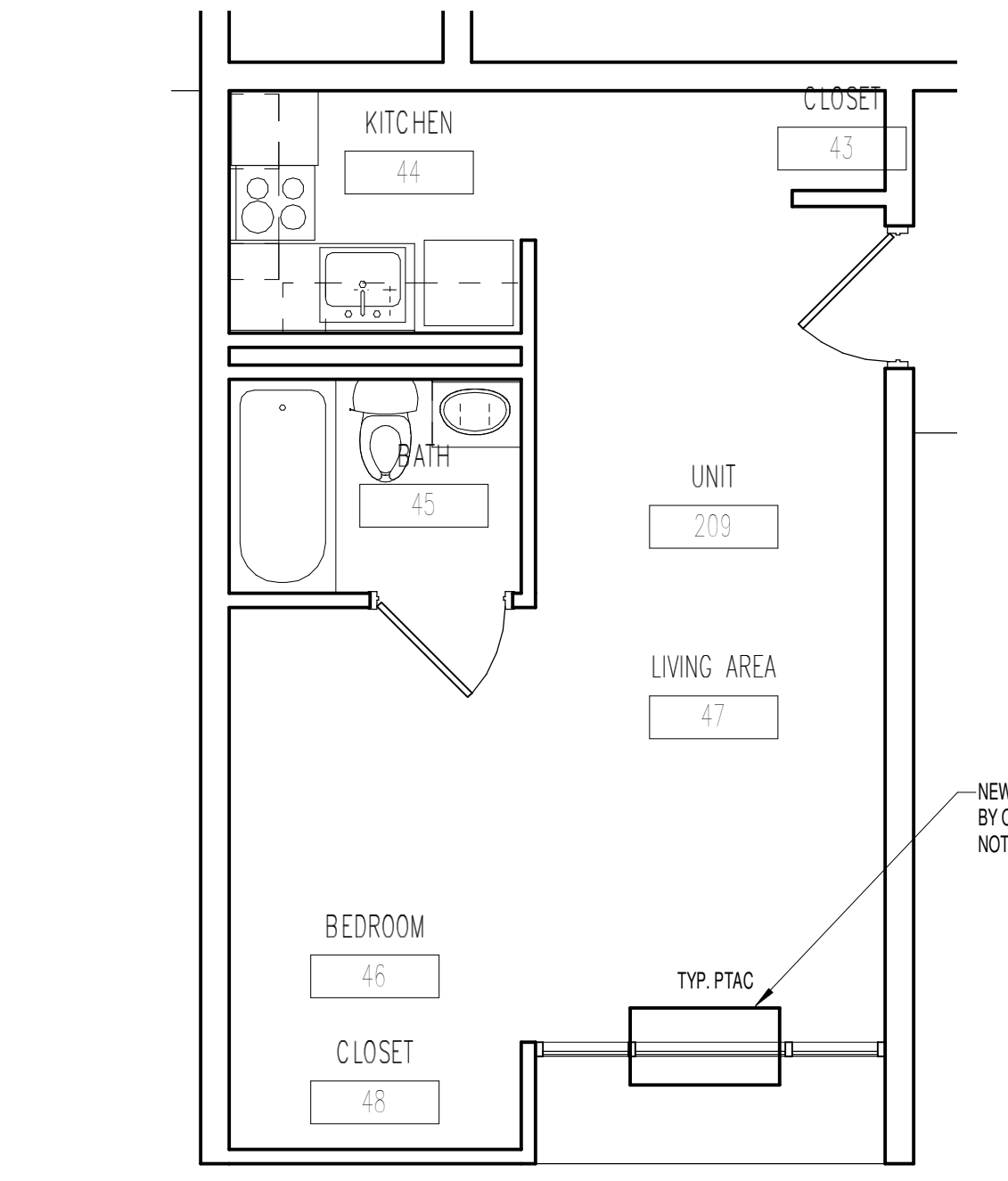
1 HVAC PLAN - 0 - Bedroom Apartment Type B, B1, B2 (Main Tower)  
1/4" = 1'-0"



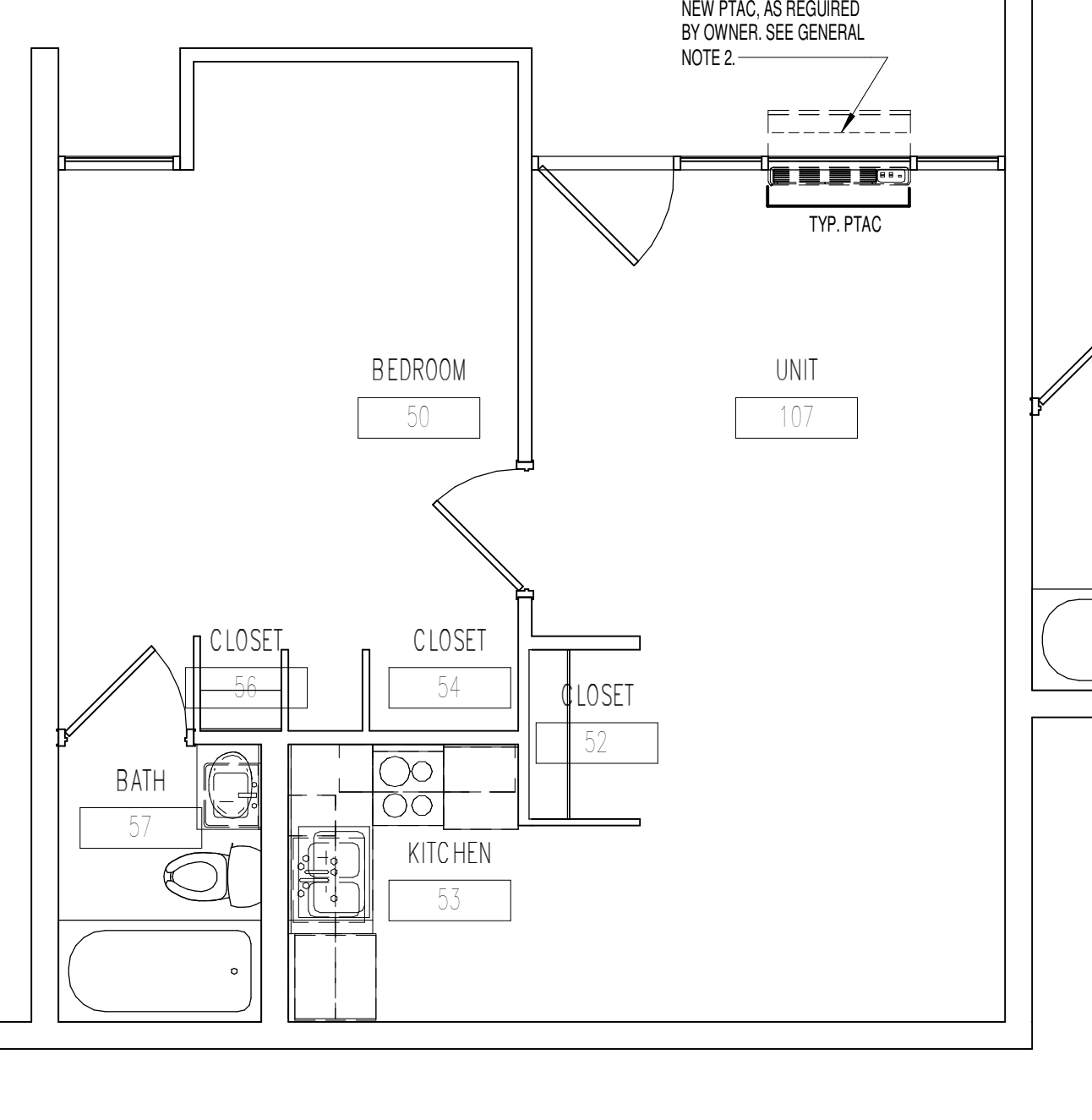
11 HVAC PLAN - Typical ADA apartment (Main Tower)  
1/4" = 1'-0"



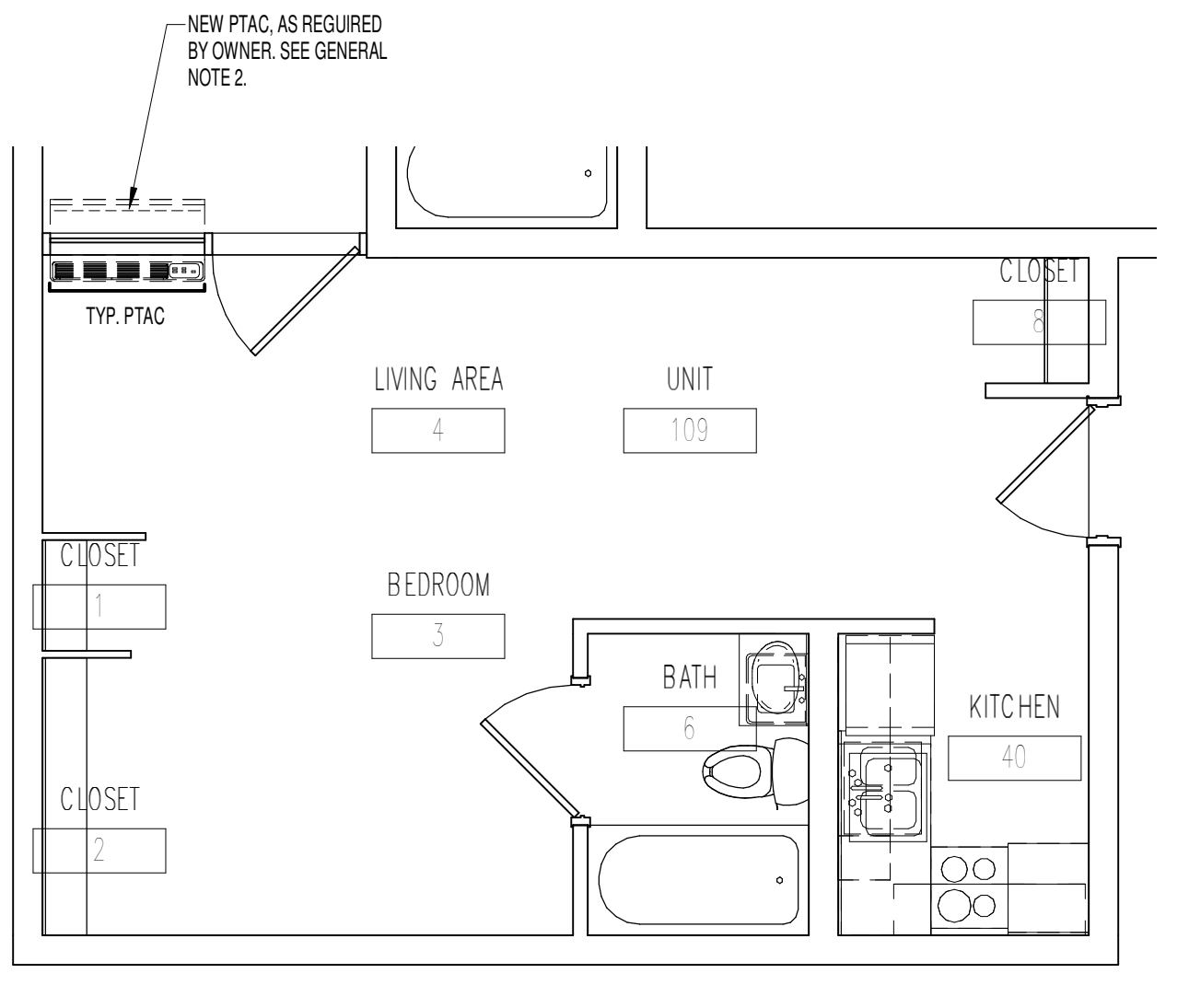
12 First Floor - ADA RR  
1/4" = 1'-0"



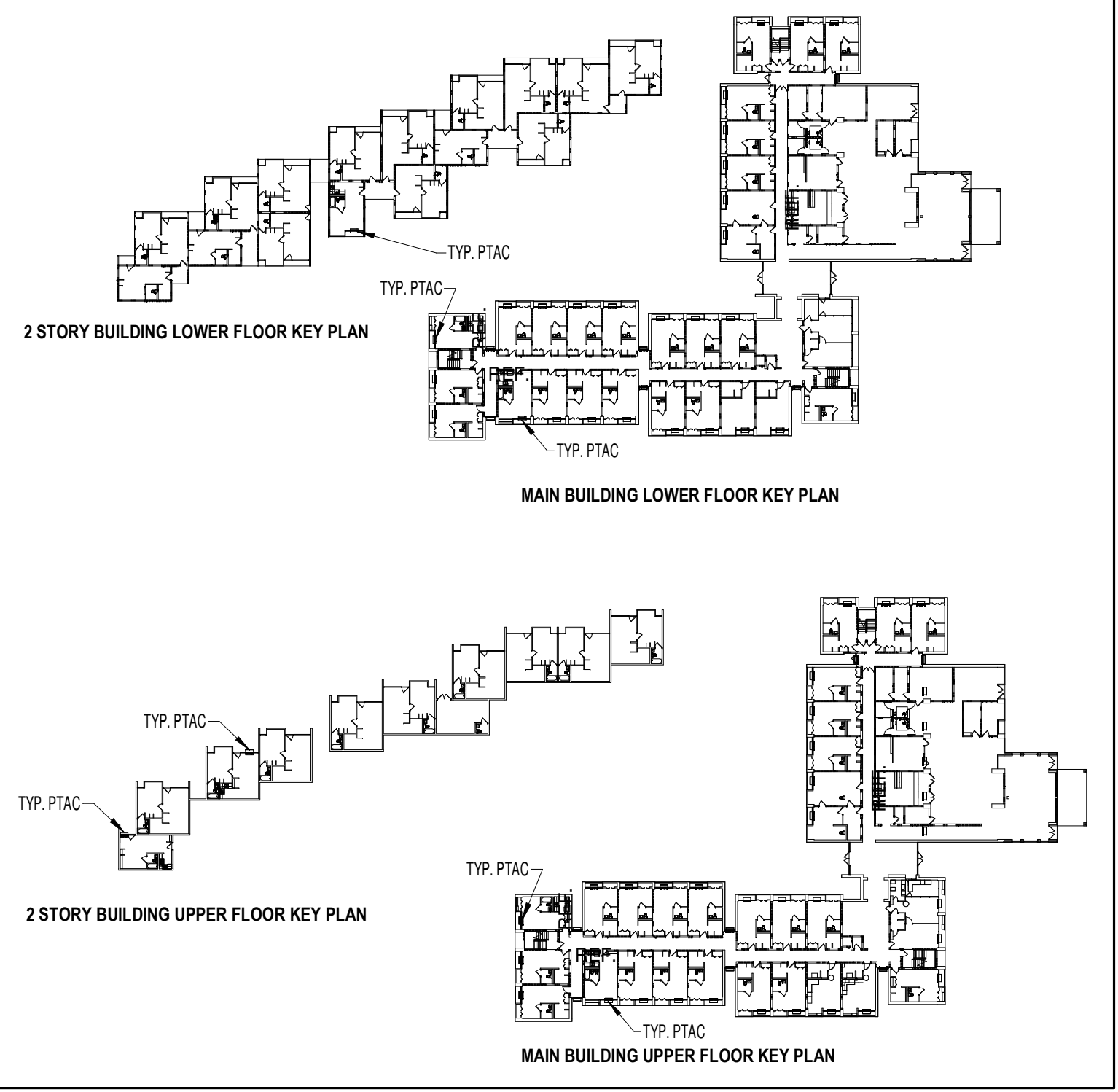
5 HVAC PLAN - 0 - Bedroom Apartment Type B (2 Story Building)  
1/4" = 1'-0"



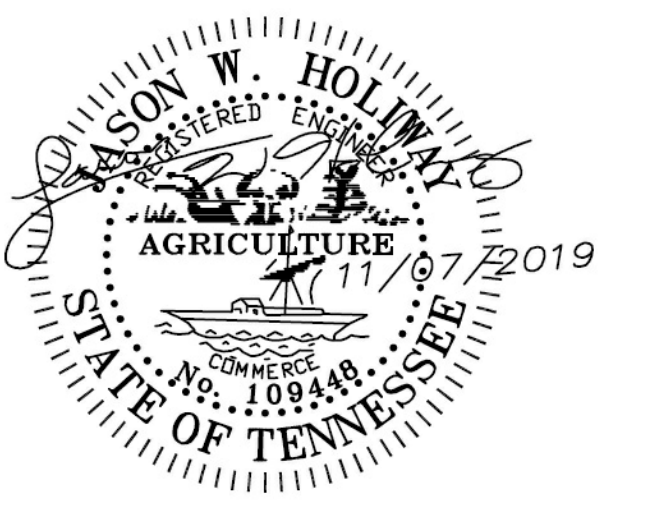
4 HVAC PLAN - 1 - Bedroom Apartment (2 Story Building)  
1/4" = 1'-0"



3 HVAC PLAN - 0 - Bedroom Apartment Type A (2 Story Building)  
1/4" = 1'-0"



**KCDC - Isabella Towers**  
1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

Issue Date: 09/24/19

Revisions	No.	Description	Date

Job Number: 19089.00  
TYPICAL HVAC PLANS

**M0.1**

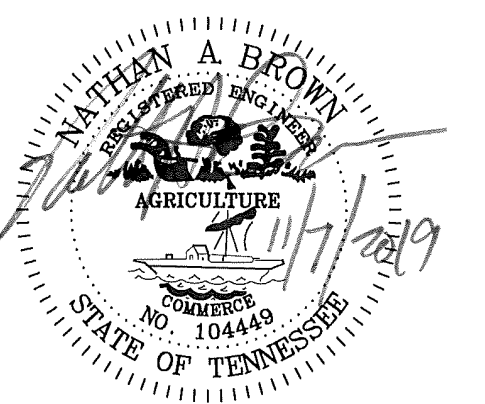












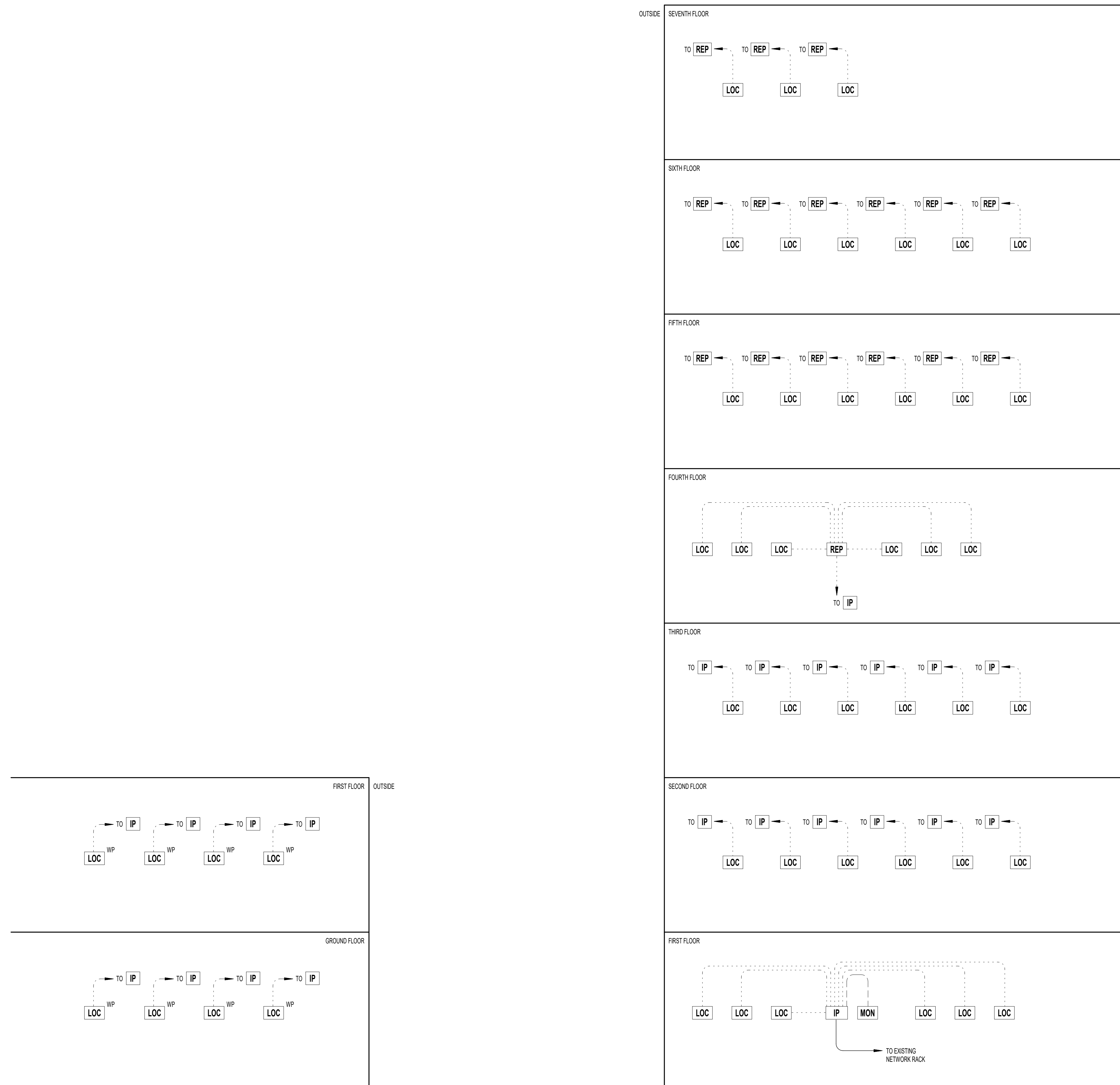
Project Phase: Construction Documents

Issue Date: 11/07/19		
Revisions		
No.	Description	Date

Job Number: 19089.00

EMERGENCY CALL  
SYSTEM DIAGRAM

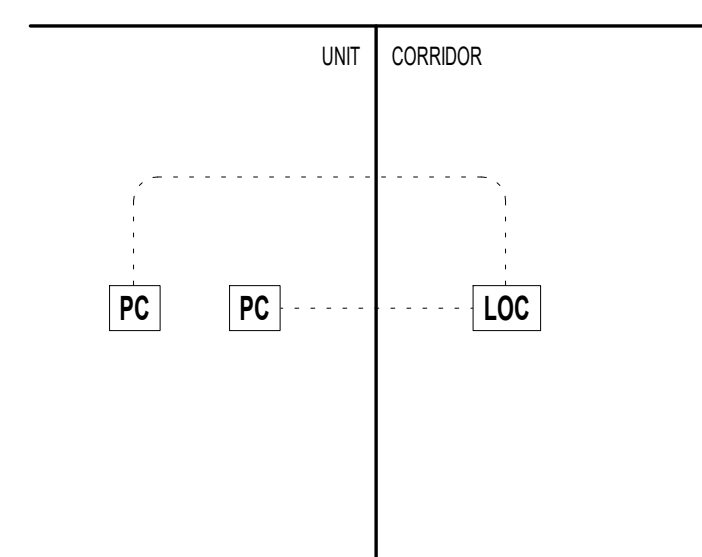
**E0.3**



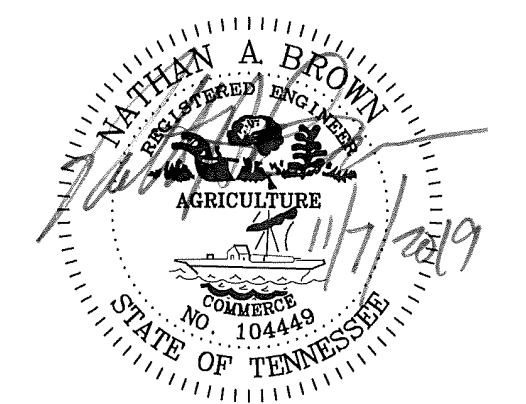
**GENERAL NOTES**

- EMERGENCY CALL CONTRACTOR TO PROVIDE EQUIPMENT LAYOUT PROVIDING RELIABLE WIRELESS NETWORK COMMUNICATION FROM ALL EMERGENCY CALL STATIONS/PULLCORDS IN UNITS TO EMERGENCY CALL SYSTEM HUB ON FIRST FLOOR OF TOWER. DEVIATION FROM CURRENT LAYOUT SHALL NOT BE CAUSE FOR INCREASE IN COST. POWER RECEPTACLES PROVIDED AT EMERGENCY CALL EQUIPMENT AS SHOWN ON POWER PLANS.
- REFER TO ENLARGED FLOOR PLANS FOR CALL STATION/PULLCORD LOCATIONS IN DWELLING UNITS.
- EMERGENCY CALL SYSTEM TO BE MONITORED AT HEAD-END MONITOR DURING NORMAL BUSINESS HOURS AND MONITORED VIA 3RD PARTY OFF-SITE MONITORING COMPANY OUTSIDE OF NORMAL BUSINESS HOURS. OFF-SITE MONITORING TO AT MINIMUM INCLUDE NOTIFICATION THAT A PROPERTY CALL STATION/PULLCORD HAS BEEN ACTIVATED.
- REDUCTION IN NUMBER OF LOCATORS SHOWN ON THE PLANS SHALL RESULT IN COST SAVINGS FOR OWNER.

- WIRELESS SIGNAL
- ..... USB
- ETHERNET (CAT6)



TYPICAL DWELLING UNIT DIAGRAM



Project Phase: Construction Documents

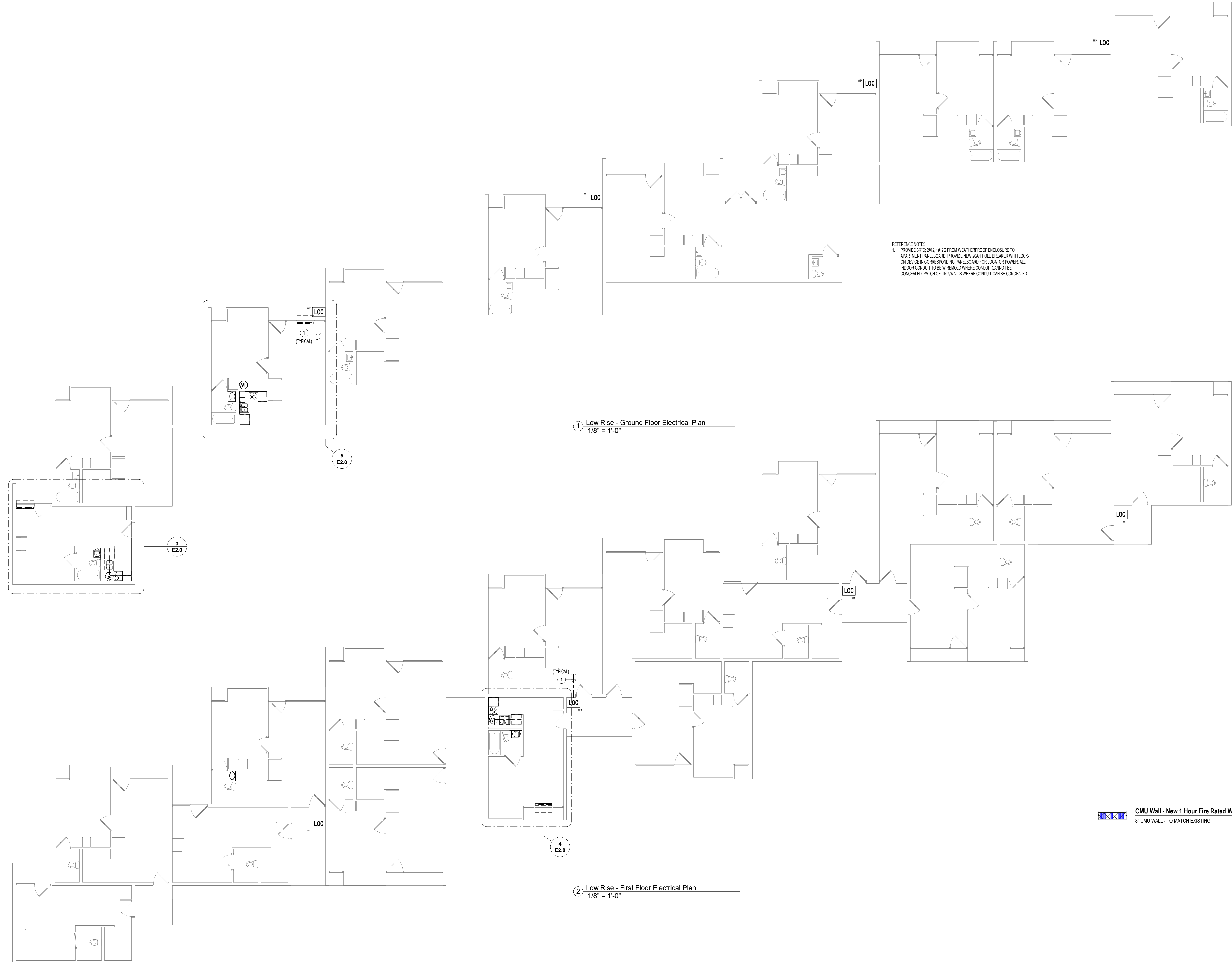
Issue Date: 11/07/19

Revisions		
No.	Description	Date

Job Number: 19089.00

LOW RISE - GROUND  
FLOOR & FIRST FLOOR  
ELECTRICAL PLANS

**E1.0**



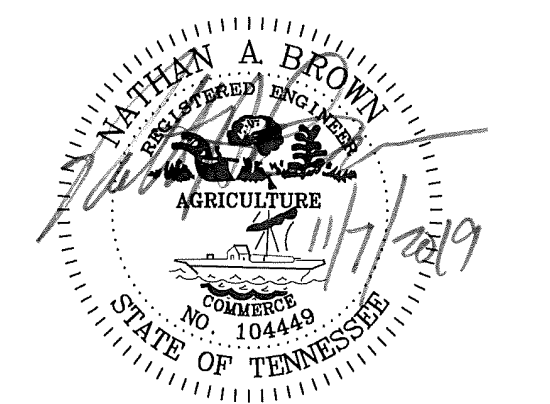
① Low Rise - Ground Floor Electrical Plan  
1/8" = 1'-0"

② Low Rise - First Floor Electrical Plan  
1/8" = 1'-0"

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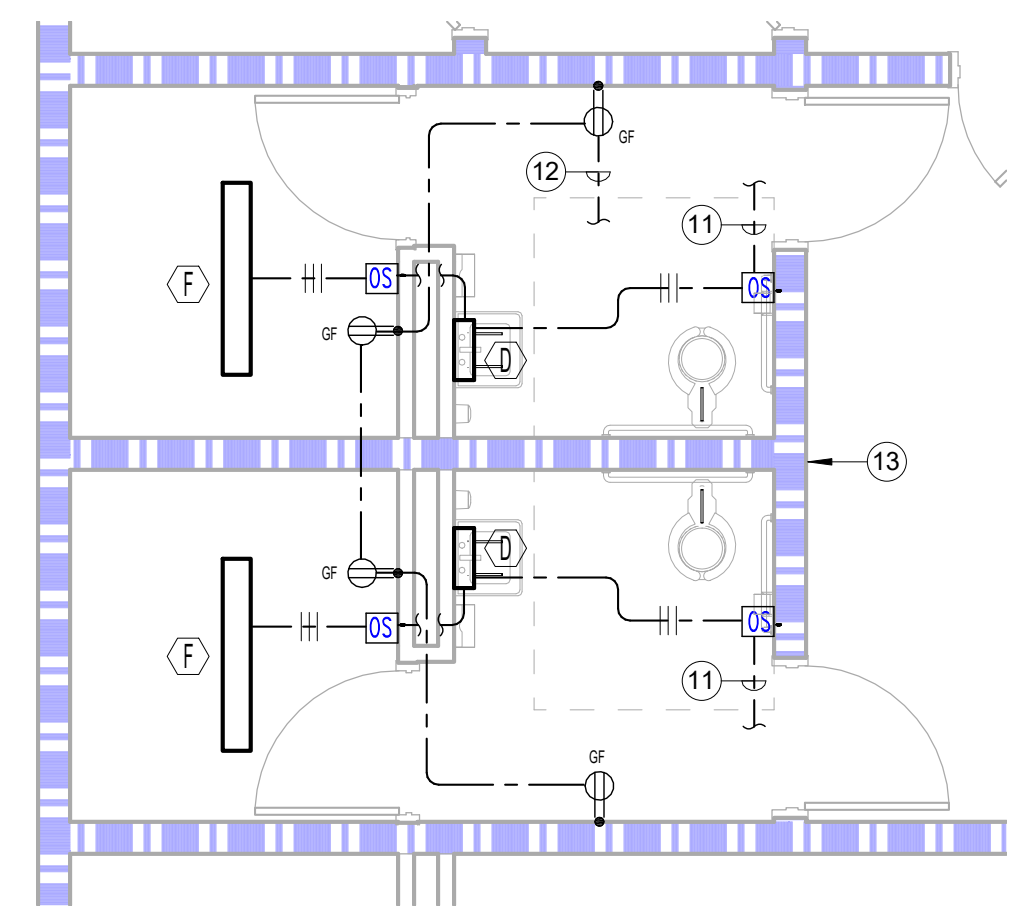
Issue Date: 11/07/19

Revisions		
No.	Description	Date

Job Number: 19089.00

HIGH RISE - GROUND  
FLOOR & FIRST FLOOR  
ELECTRICAL PLANS

**E1.1**

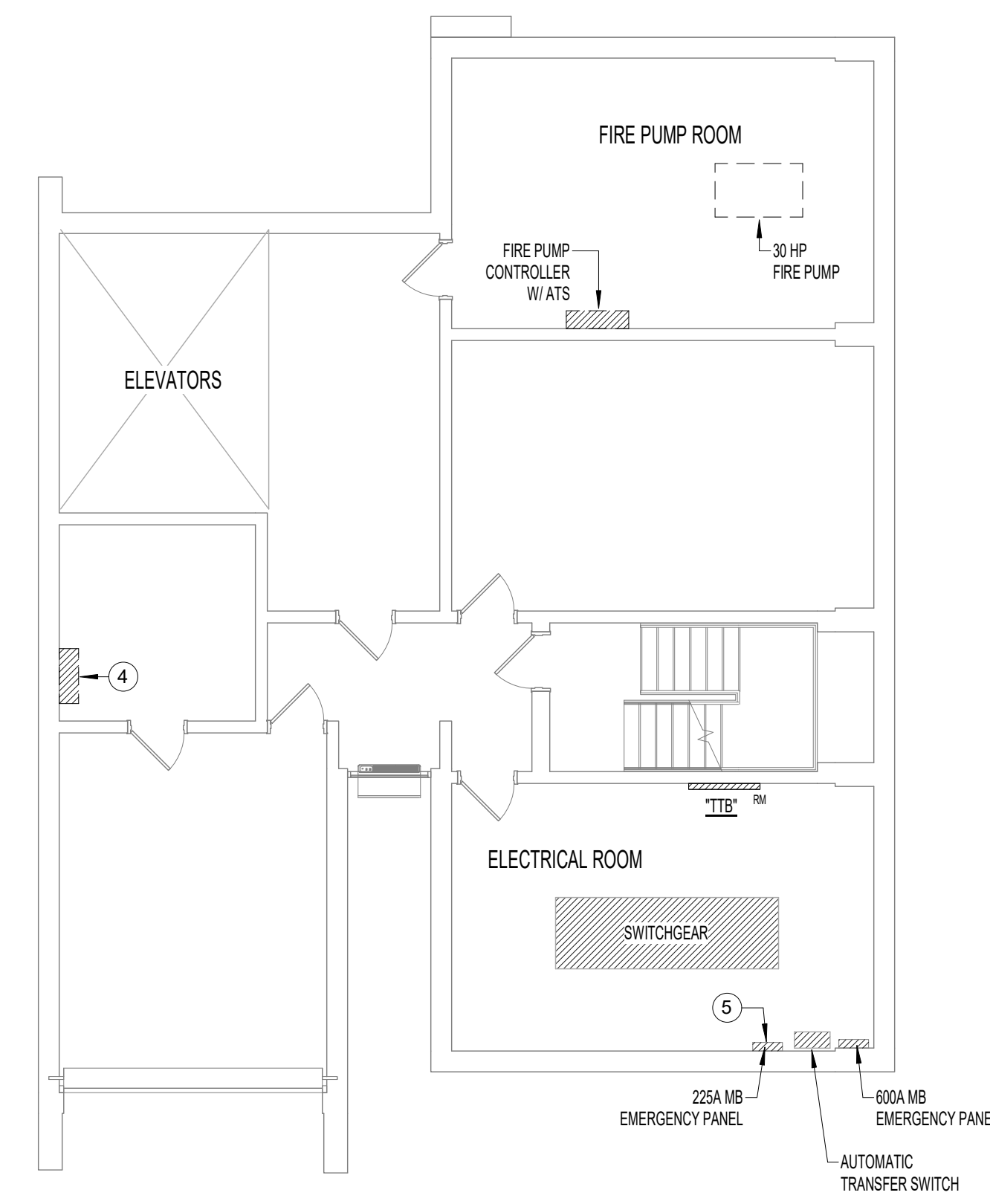
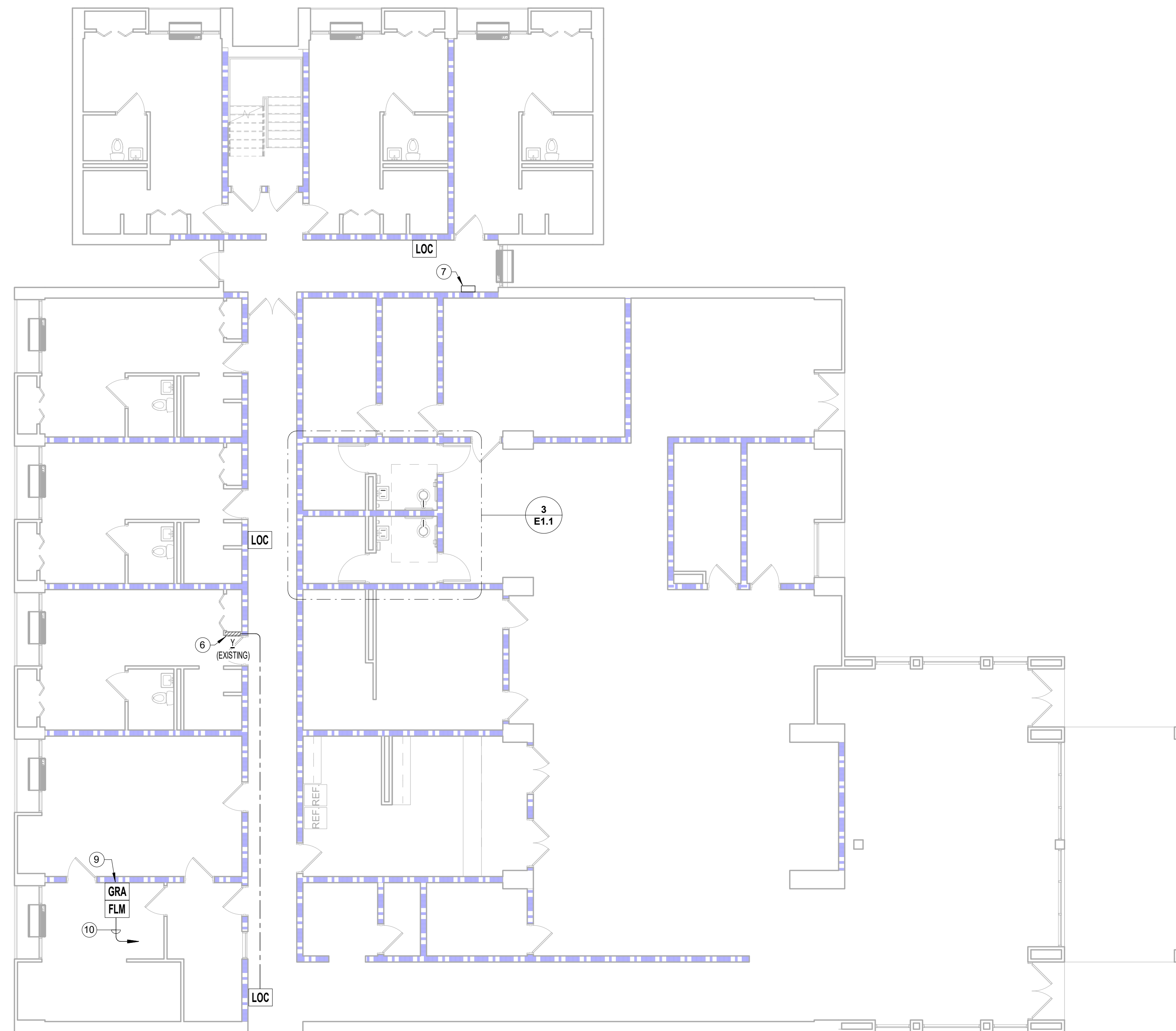


3 High Rise - Enlarged Common Area Bathroom Electrical Plan  
1/4" = 1'-0"

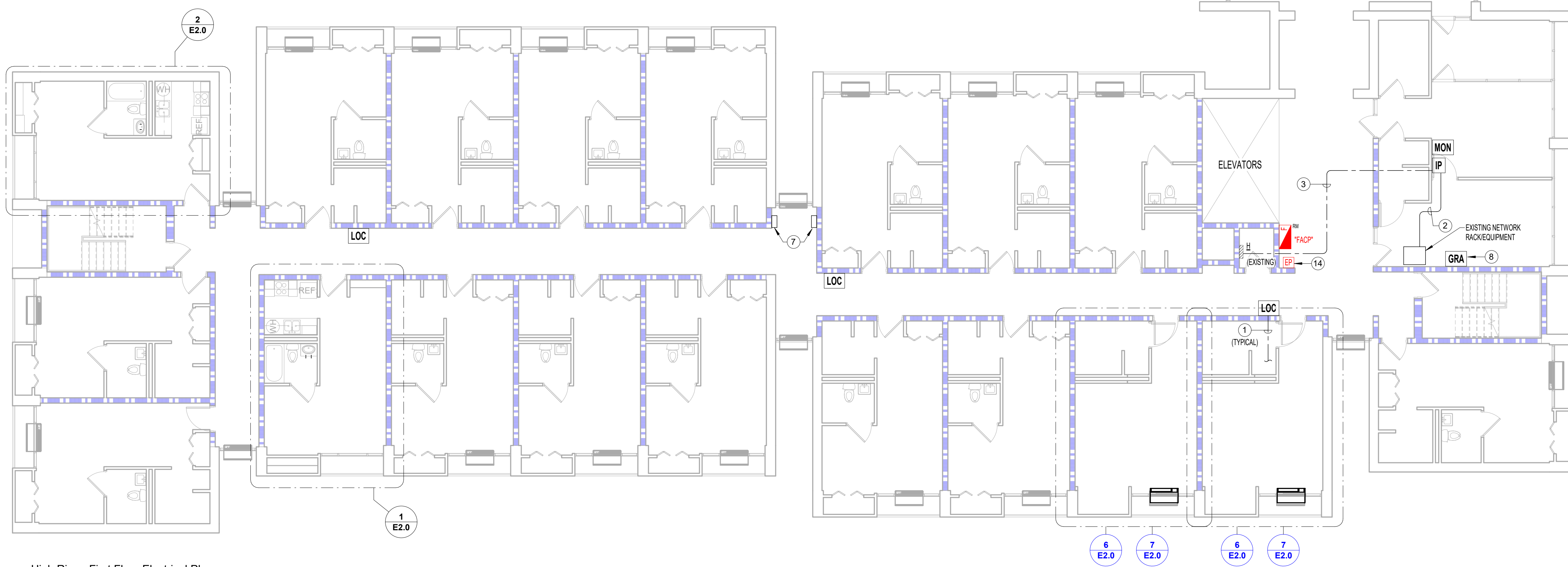
GENERAL NOTES:  
1. COMMON AREA BATHROOM CONDUITS TO BE CONCEALED. CUT AND PATCH CEILING/WALLS WHERE REQUIRED.

- REFERENCE NOTES:
1. PROVIDE NEW SURFACE MOUNTED DUPLEX RECEPTACLE AT EACH LOCATOR LOCATION. PROVIDE 3/4" 2H2, 2H2S FROM LOCATOR RECEPTACLE TO APARTMENT PANEL BOARD. PROVIDE NEW 20A1 POLE BREAKER WITH LOCK-ON DEVICE IN CORRESPONDING PANELBOARD FOR LOCATOR POWER. ALL INDOOR CONDUIT TO BE SURFACE MOUNTED OR WIREKNO WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILING/WALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED.
  2. PROVIDE CAT5 CABLE FROM EMERGENCY CALL SYSTEM HUB TO EXISTING NETWORK RACK. FIELD VERIFY EXACT NETWORK RACK LOCATION.
  3. PROVIDE SURFACE MOUNTED QUAD RECEPTACLE BETWEEN HUB AND MONITOR. PROVIDE 3/4" 2H2, 2H2S FROM QUAD TO NEW 20A1 POLE BREAKER IN PANEL BOARD "P".
  4. LARGE PULLBOX FOR STACKED APARTMENT FEEDERS TO REMAIN.
  5. PROVIDE NEW 20A1P BREAKER IN EXISTING PANEL FOR NEW GENSET DAYTANK. INSTALL 2P10, 1P10S AND EXISTING CONDUIT FOR BATTERY CHARGER AND JACKET HEATER TO GENSET.
  6. PROVIDE NEW 20A1P BREAKER IN EXISTING LOAD CENTER FOR NEW LOCATOR. PROVIDE NEW SURFACE MOUNTED DUPLEX RECEPTACLE AT LOCATOR LOCATION. PROVIDE 3/4" 2H2, 2H2S FROM RECEPTACLE TO LOAD CENTER.
  7. EXISTING CAVY BOX TO REMAIN.
  8. EXISTING GENERATOR REMOTE COMMUNICATOR TO BE REMOVED. SPICE AND EXTEND OR REPLACE AS REQUIRED EXISTING WIRING AND CONDUIT FROM EXISTING ANNUNCIATOR LOCATION TO NEW ANNUNCIATOR LOCATION.
  9. NEW GENERATOR REMOTE ANNUNCIATOR LOCATION.
  10. 1" C WITH CONTROL CABLES PER MANUFACTURER'S REQUIREMENTS TO UNDERGROUND STORAGE TANK. SEE SITE PLAN.
  11. CONNECT TO EXISTING IDENTICALLY LISTED CIRCUIT CURRENTLY SERVING BATHROOMS.
  12. CONNECT TO EXISTING RECEPTACLE CIRCUIT SERVING BATHROOMS.
  13. REMOVE EXISTING LIGHT FIXTURES AND SWITCHES FROM COMMON AREA BATHROOMS.
  14. PROVIDE NEW EXPANSION POWER SUPPLY FOR NEW FIRE ALARM DEVICES IN ADA UNITS.

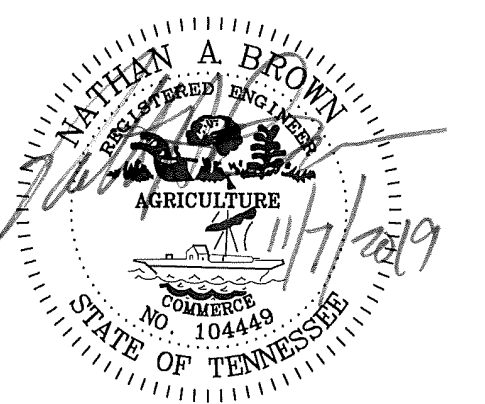
CMU Wall - New 1 Hour Fire Rated Wall  
8" CMU WALL - TO MATCH EXISTING



2 High Rise - Ground Floor Electrical Plan  
1/8" = 1'-0"



1 High Rise - First Floor Electrical Plan  
1/8" = 1'-0"



Project Phase: Construction Documents

Issue Date: 11/07/19

Revisions		
No.	Description	Date

Job Number: 19089.00

HIGH RISE - SECOND THRU  
SIXTH FLOOR ELECTRICAL  
PLAN

**E1.2**



- REFERENCE NOTES**
1. PROVIDE NEW SURFACE MOUNTED DUPLEX RECEPTACLE AT EACH LOCATOR LOCATION. PROVIDE 3/4" x 3/12" 1P1G FROM LOCATOR RECEPTACLE TO APARTMENT PANELBOARD. PROVIDE NEW 20A1 POLE BREAKER WITH LOCK-ON DEVICE IN CORRESPONDING PANELBOARD FOR LOCATOR POWER. ALL INDOOR CONDUIT TO BE WIREMOLD WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILINGSWALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED.
  2. PROVIDE NEW SURFACE MOUNTED DUPLEX RECEPTACLE AT REPEATER LOCATION. PROVIDE 3/4" x 3/12" 1P1G FROM REPEATER RECEPTACLE TO APARTMENT PANELBOARD. PROVIDE NEW 20A1 POLE BREAKER WITH LOCK-ON DEVICE IN CORRESPONDING PANELBOARD FOR LOCATOR POWER. ALL INDOOR CONDUIT TO BE WIREMOLD WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILINGSWALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED.
  3. REPEATER ONLY LOCATED ON 4TH FLOOR.
  4. EXISTING DATY BOX TO REMAIN.

**CMU Wall - New 1 Hour Fire Rated Wall**  
6" CMU WALL - TO MATCH EXISTING

1 High Rise - Second Floor Electrical Plan  
1/8" = 1'-0"

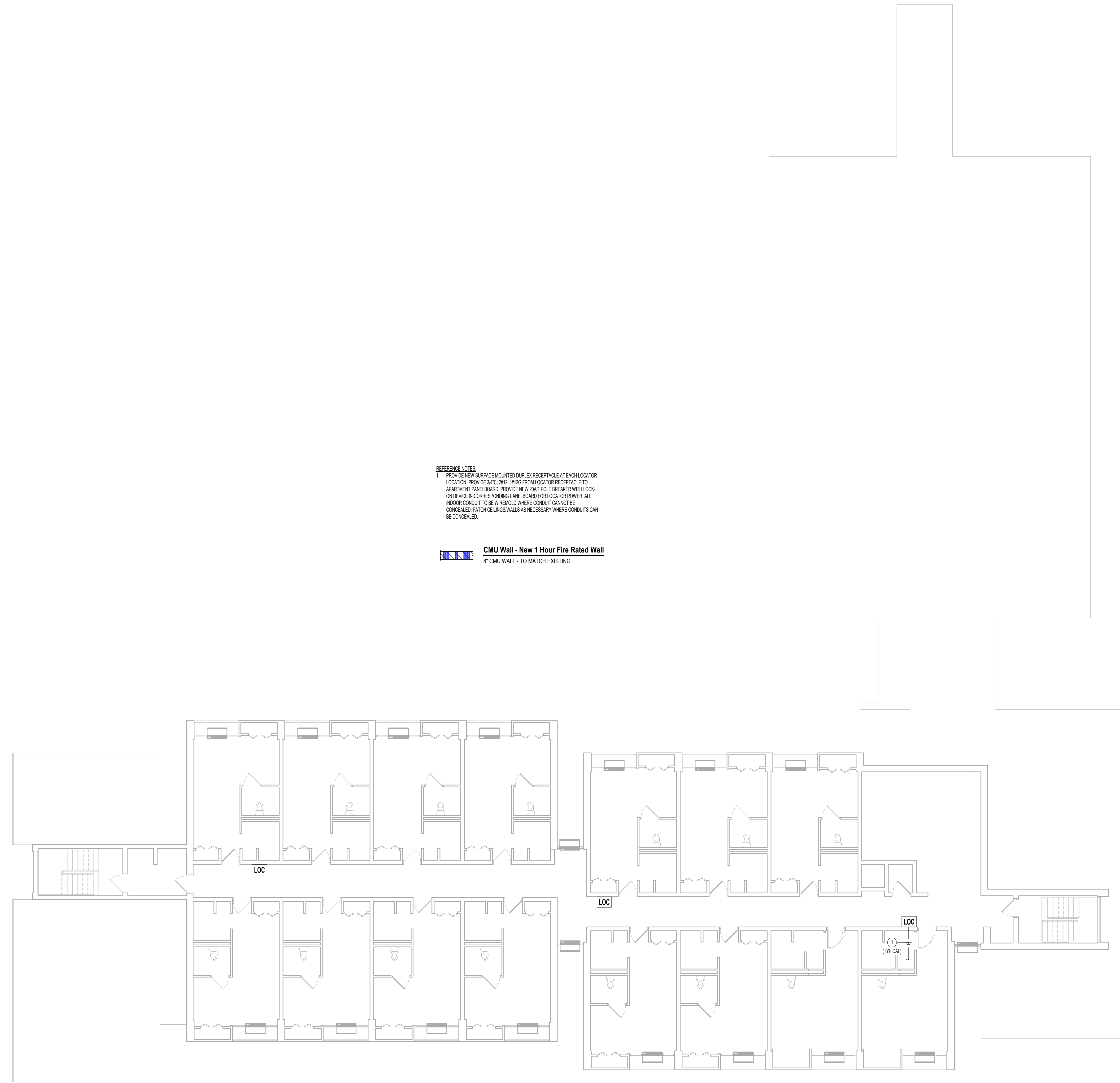
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① High Rise - Seventh Floor Electrical Plan  
1/8" = 1'-0"

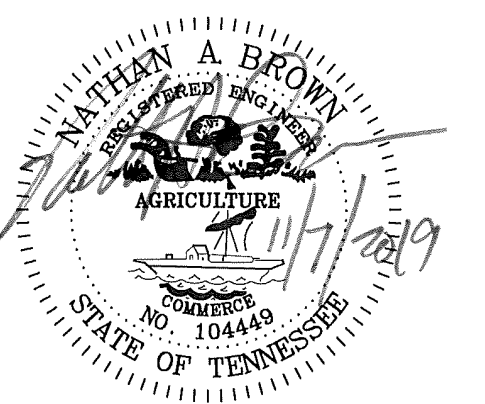


REFERENCE NOTES:  
1. PROVIDE NEW SURFACE MOUNTED DUPLEX RECEPTACLE AT EACH LOCATOR LOCATION. PROVIDE 34"C. 3P/2. 1P/2G FROM LOCATOR RECEPTACLE TO APARTMENT PANELBOARD. PROVIDE NEW 20A 1 POLE BREAKER WITH LOCK ON DEVICE IN CORRESPONDING PANELBOARD FOR LOCATOR POWER. ALL INDOOR CONDUIT TO BE WIREMOLD WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILING/WALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED.

 **CMU Wall - New 1 Hour Fire Rated Wall**  
8" CMU WALL - TO MATCH EXISTING

KCDC - Isabella Towers

1515 Isabella Circle  
Knoxville, TN 37915



Project Phase: Construction Documents

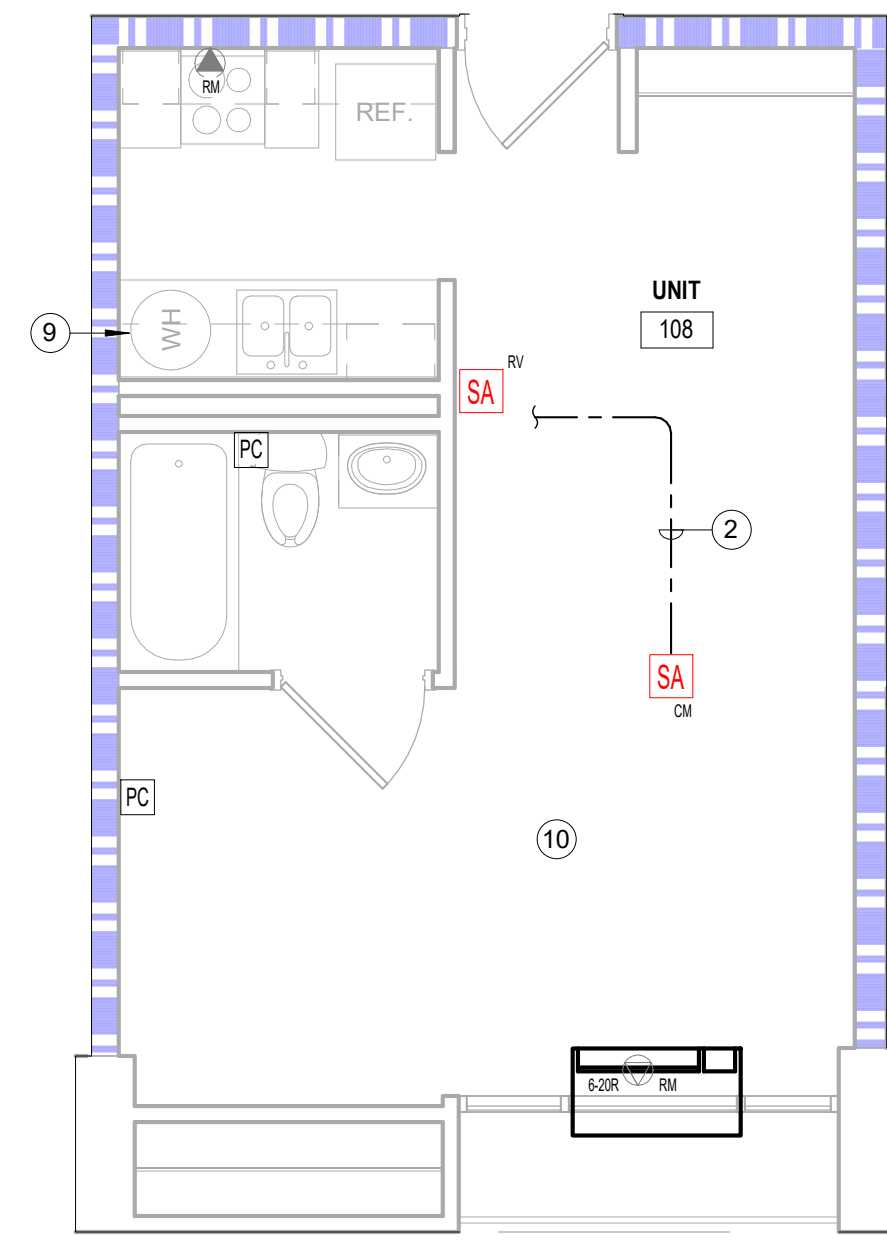
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Revisions		
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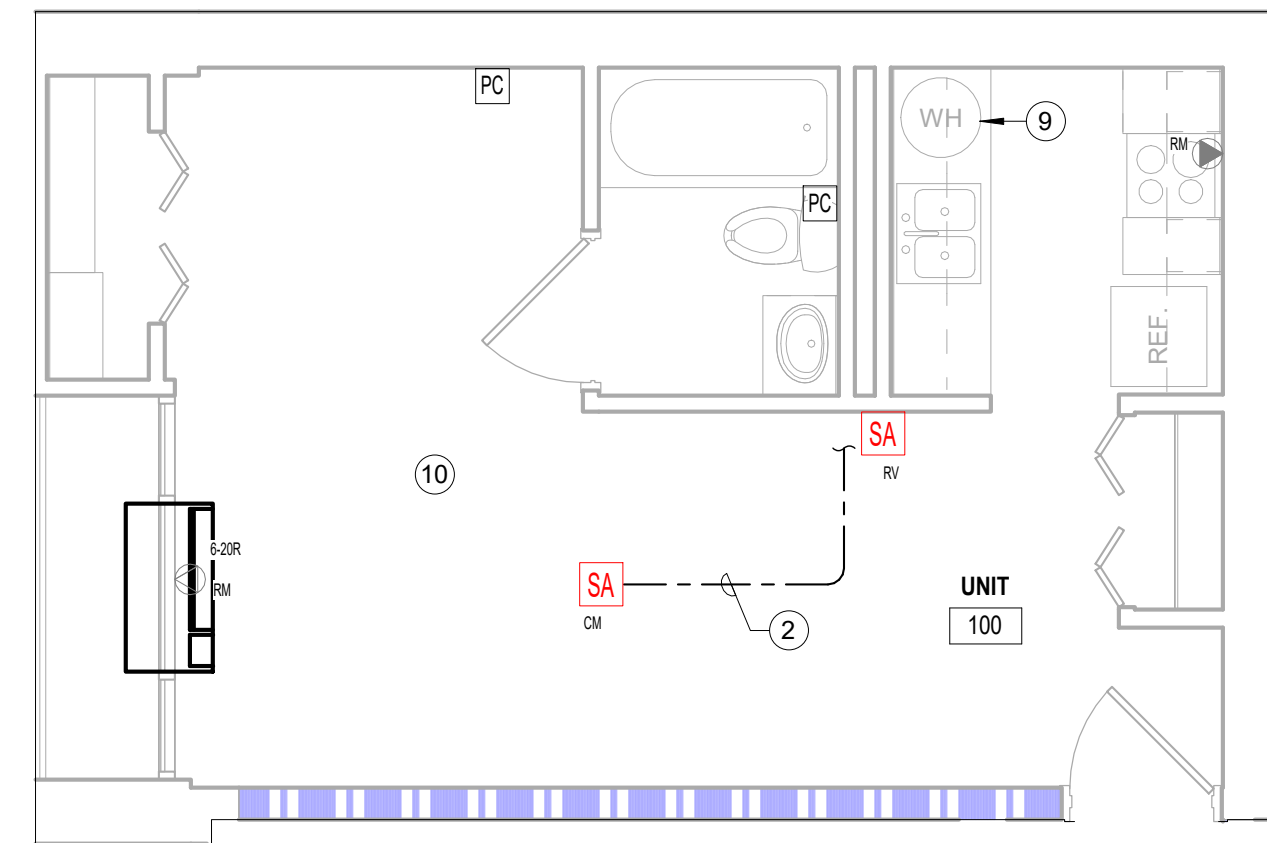
Job Number: 19089.00

HIGH RISE - SEVENTH  
FLOOR ELECTRICAL PLAN

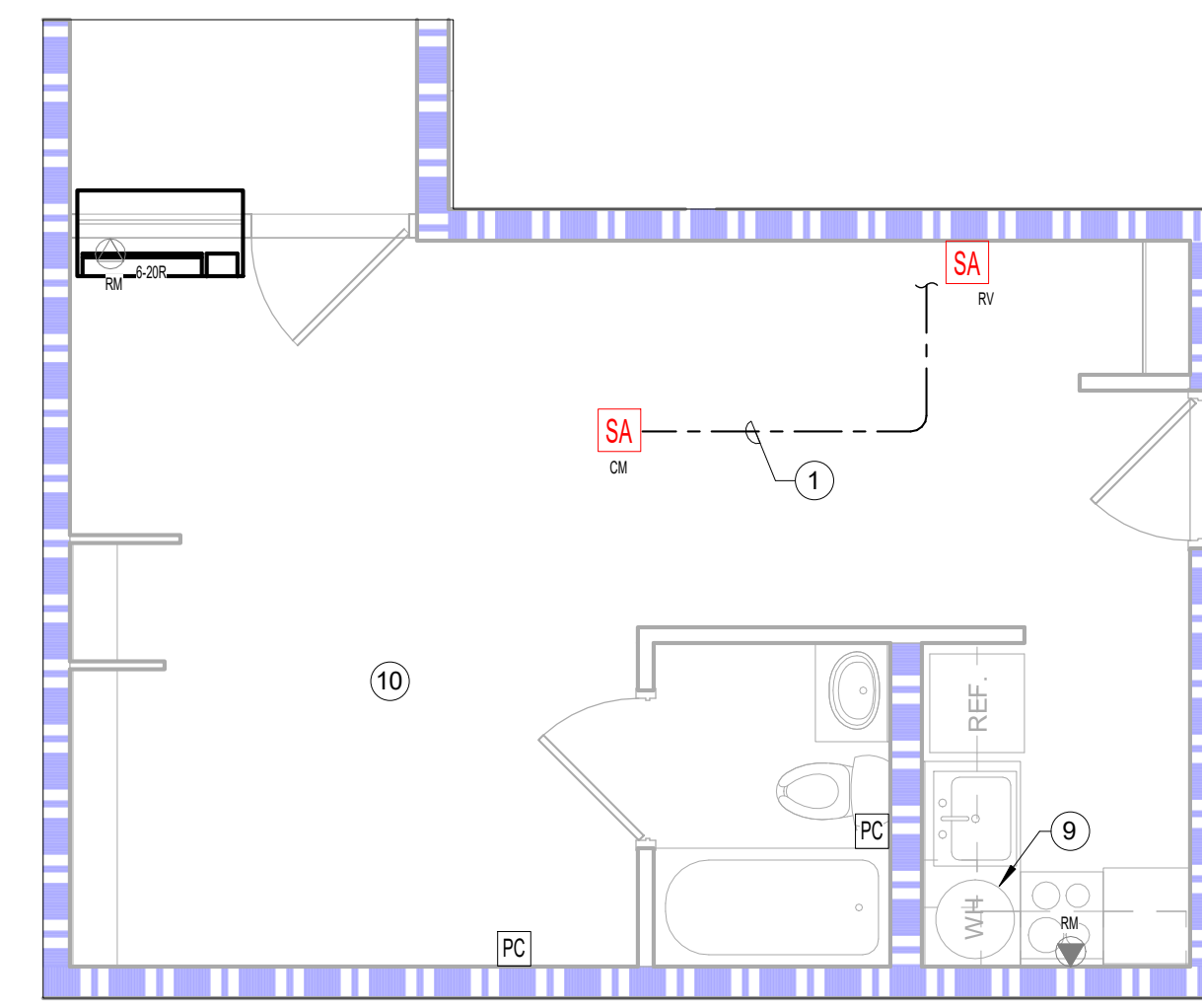
**E1.3**



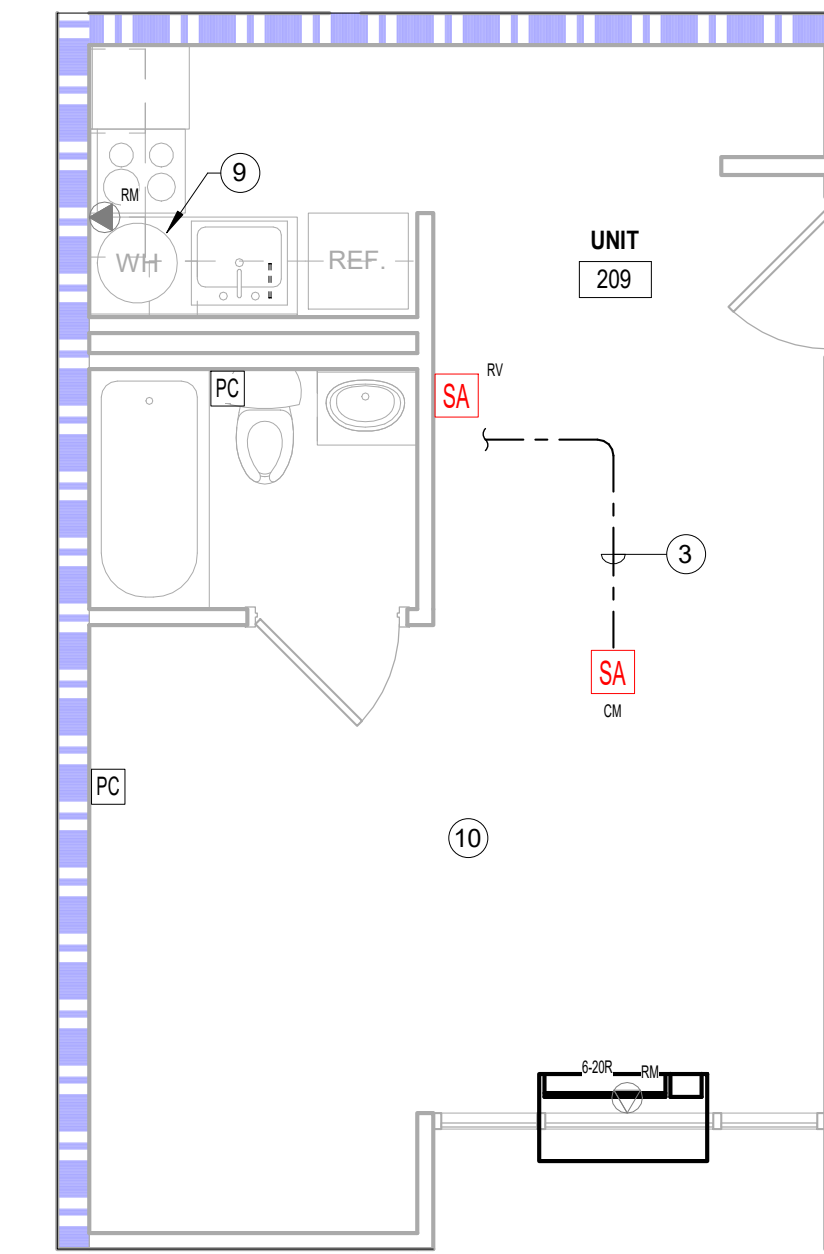
1 High Rise - 0 Bedroom Type A Electrical Plan  
1/4" = 1'-0"



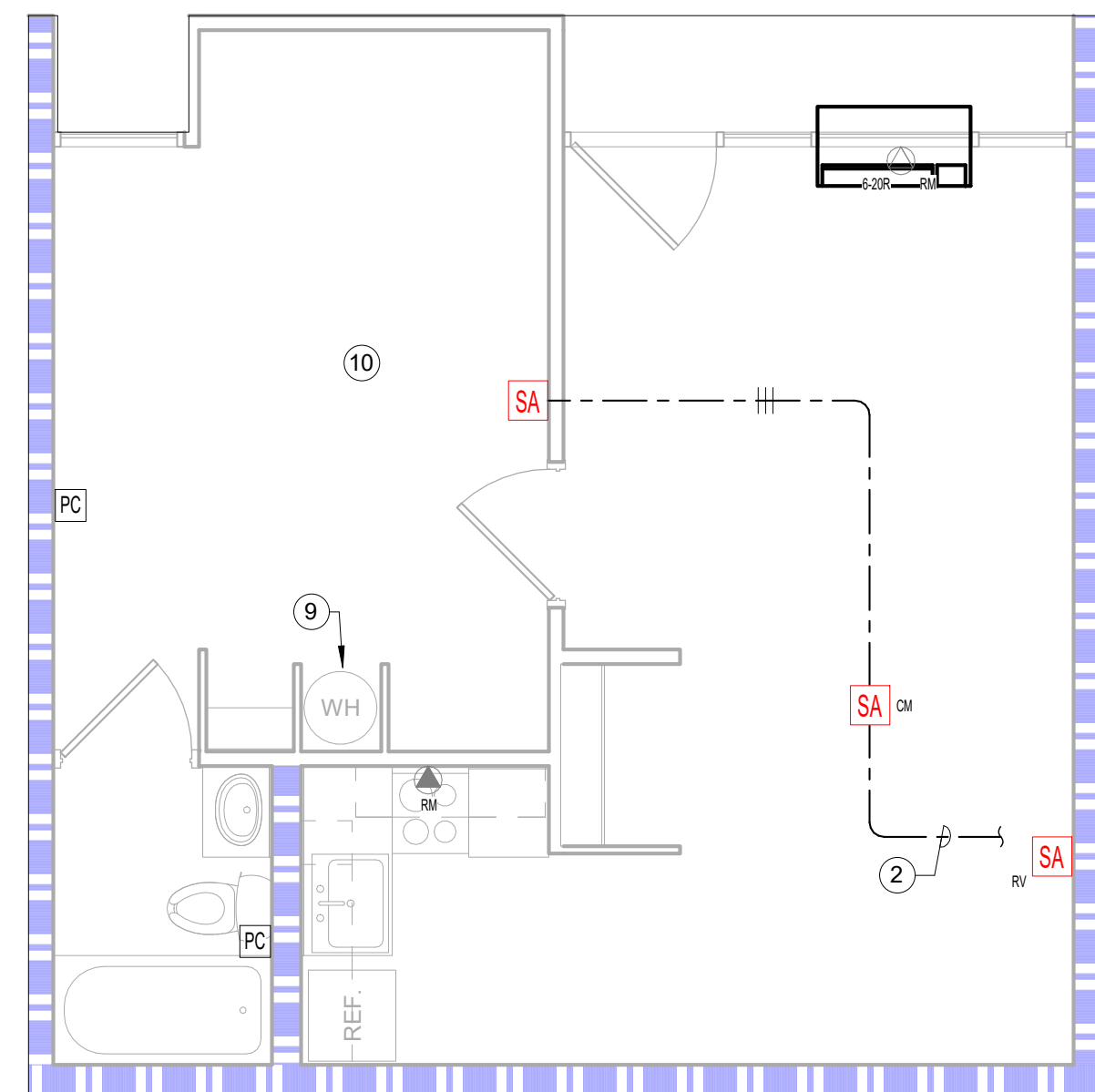
2 High Rise - 0 Bedroom Apartment Type B, B1, B2 Electrical Plan  
1/4" = 1'-0"



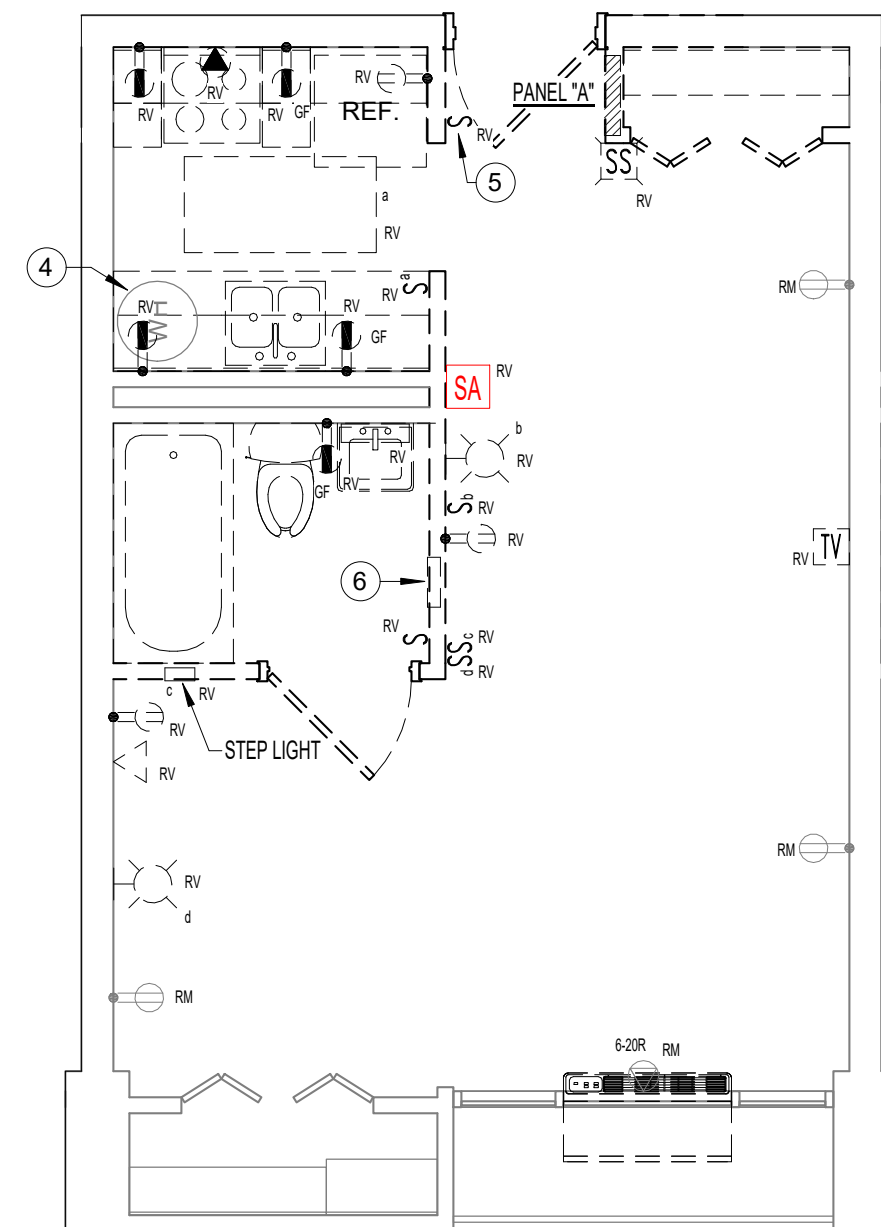
3 Low Rise - 0 Bedroom Apartment Type A Electrical Plan  
1/4" = 1'-0"



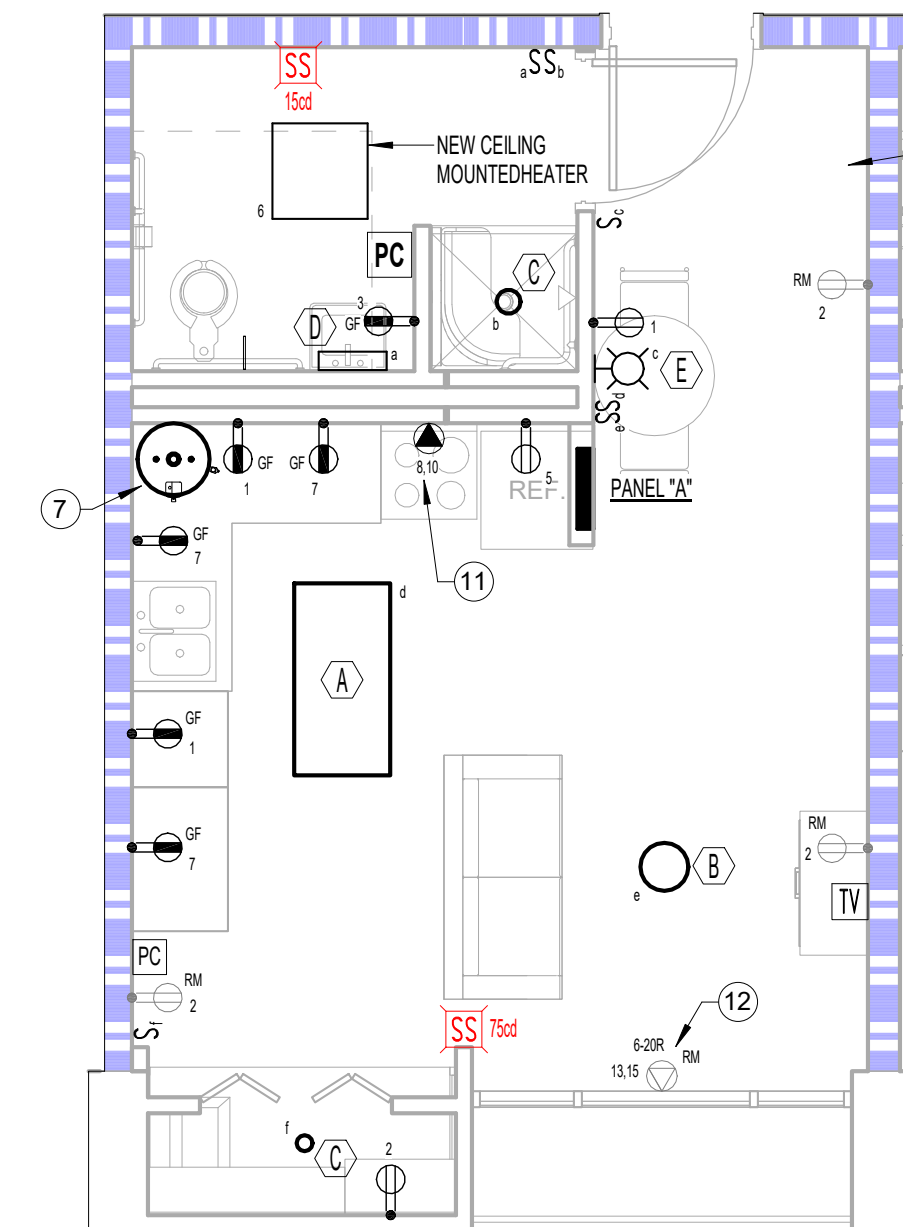
4 Low Rise - 0 Bedroom Apartment Type B Electrical Plan  
1/4" = 1'-0"



5 Low Rise - 1 Bedroom Apartment Electrical Plan  
1/4" = 1'-0"



6 High Rise ADA - X18 - Electrical Demo Plan  
1/4" = 1'-0"  
APPLIES TO UNITS 116, 119, 218, 219, 318, 319, 418, 419, 518, 519, 618, 619, 718, & 719



7 High Rise ADA - X18 - Electrical New Work Plan  
1/4" = 1'-0"  
APPLIES TO UNITS 116, 119, 218, 219, 318, 319, 418, 419, 518, 519, 618, 619, 718, & 719

**GENERAL NOTES:**

1. ALL NEW CONDUITS WITHIN DWELLING UNITS TO BE WIREMOLD WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILING/WALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED.
2. ALL WALL MOUNTED SMOKE ALARMS TO BE MOUNTED AT 8" BELOW CEILING TO CENTERLINE OF SMOKE ALARM.
3. DISCONNECT ALL GARBAGE DISPOSALS IN UNITS WHERE CABINETS ARE REPLACED. REMOVE ASSOCIATED SWITCH AND PROVIDE BLANK COVER ON SWITCH BACKBOX. REMOVE WIRING BETWEEN DISPOSAL AND SWITCH BACKBOX. CAP OFF CONDUCTORS IN BACKBOX.
4. REUSE EXISTING WIRE AND CONDUIT SAME LOCATION WHERE POSSIBLE AND IN GOOD CONDITION.
5. ALL NEW SPEAKER STROBES IN DWELLING UNIT BEDROOMS TO BE LOW FREQUENCY TYPE.
6. ALL NEW GENERAL CONVENIENCE RECEPTACLES IN LIVING AND DINING AREAS TO BE MOUNTED AT SAME HEIGHT AS RECEPTACLES TO REMAIN IN SAME AREA.
7. WIRING IN DWELLING UNITS NOT SHOWN ON PLANS FOR CLARITY. PROVIDE BRANCH CIRCUIT WIRING TO CONNECT ALL DEVICES. FLOORBOX, HVAC UNITS, ETC. TO CIRCUITS INDICATED ON DRAWINGS.

**REFERENCE NOTES:**

1. CONNECT SMOKE ALARMS TO EXISTING UNSWITCHED RECEPTACLE CIRCUIT.
2. CONNECT TO SAME UNSWITCHED LIGHTING CIRCUIT AS EXISTING SMOKE ALARM TO BE REMOVED.
3. CONNECT TO SAME UNSWITCHED CIRCUIT AS EXISTING SMOKE ALARM TO BE REMOVED.
4. WATER HEATER CONNECTION TO BE REMOVED.
5. THIS SWITCH CONTROLS A RECEPTACLE IN LIVING ROOM.
6. EXISTING WALL HEATER TO BE REMOVED.
7. SUPPLY NEW WATER HEATER CONNECTION WITH DISCONNECT AT THIS LOCATION. SUPPLY 2#10, 1#10G, 3#4C BACK TO NEW PANEL LOCATION AND UTILIZE OCKTS 8,11.
8. ALL LIGHTING IN THIS UNIT TO BE SERVED BY OCKT 4 IN NEW PANEL.
9. DISCONNECT EXISTING WATER HEATER AND RECONNECT WATER HEATER UPON COMPLETION OF CABINETS WORK.
10. THE WORK SHOWN ON THIS ENLARGED PLAN IS TYPICAL FOR ALL UNITS OF THIS TYPE IN THE FACILITY.
11. PROVIDE 3#8, 3#4C FOR NEW RANGE RECEPTACLE BACK TO PANEL.
12. PROVIDE 2#12, 1#10G, 3#4C FOR PTAC RECEPTACLE TO REMAIN BACK TO PANEL.

**CMU Wall - New 1 Hour Fire Rated Wall**  
8" CMU WALL - TO MATCH EXISTING

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Knoxville, TN 37915



Project Phase: Construction Documents

Issue Date: 11/07/19

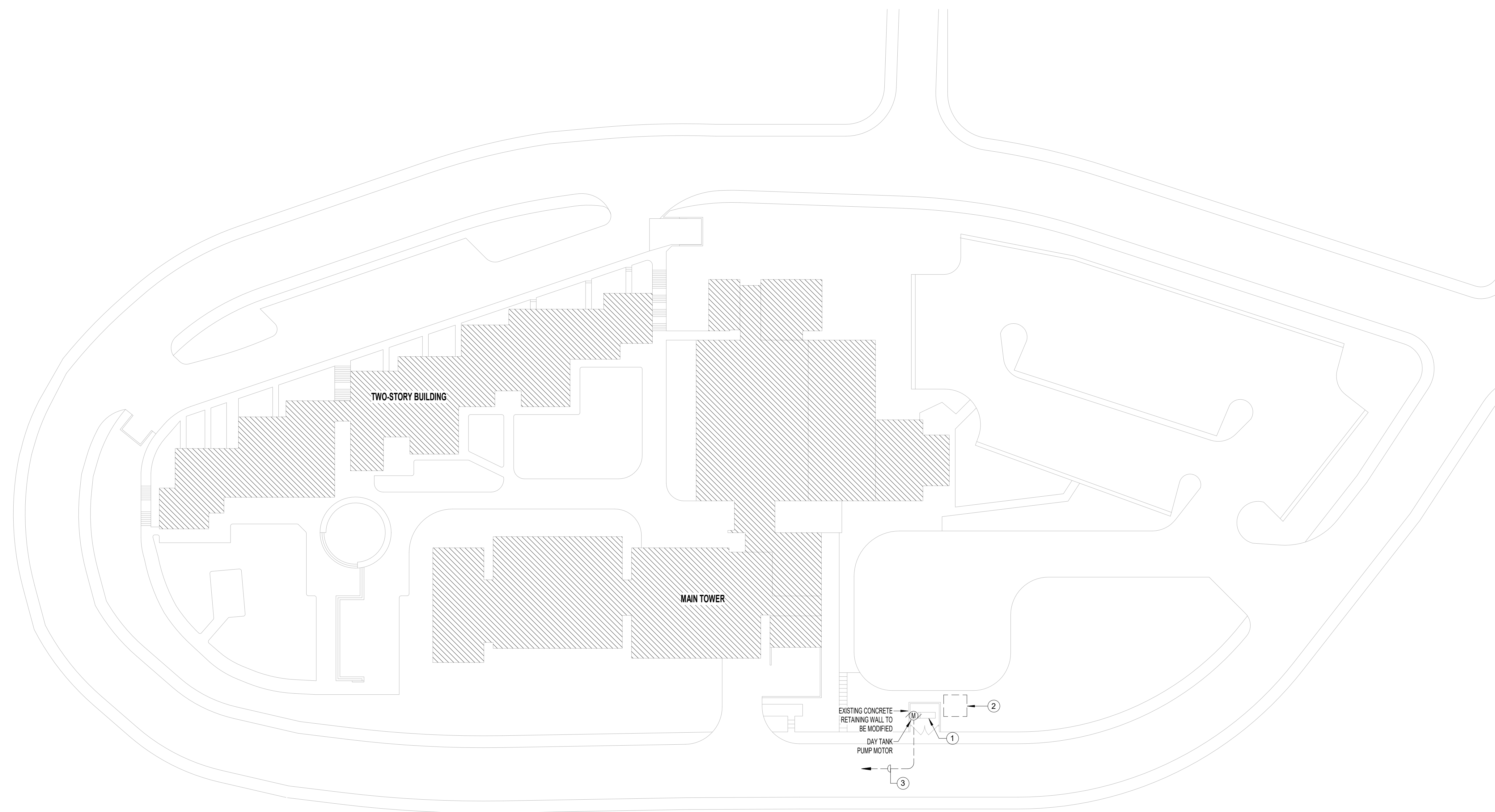
Revisions		
No.	Description	Date

Job Number: 19089.00

TYPICAL AND ADA  
ENLARGED ELECTRICAL  
FLOOR PLANS

**E2.0**





1 ISABELLA TOWERS SITE PLAN  
1" = 30'-0"

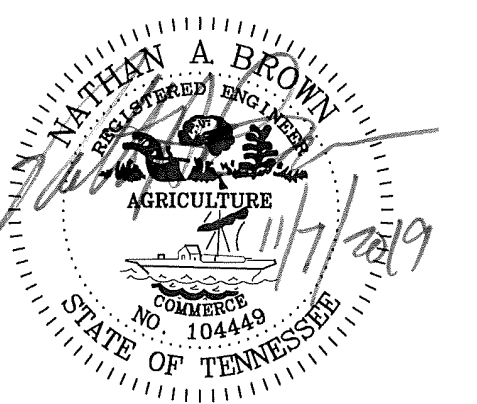
- REFERENCE NOTES**
1. REPLACE EXISTING CUMMINS 03AN 1750CF8 175KW, 208/120V, 3 PHASE GENSET WITH NEW 125KW15KVIAW23KVA GENSET WITH WEATHERPROOF ENCLOSURE IN SAME LOCATION. PROVIDE TEMPORARY GENSET CONNECTED AT 500A EMERGENCY PANEL ON GROUND FLOOR DURING GENSET REPLACEMENT AS REQUIRED BY THE CITY OF KNOXVILLE. UTILIZE EXISTING CONDUIT STUB-UPS AND FEEDERS TO EXTENT POSSIBLE. MODIFY AS REQUIRED. VERIFY ALL REQUIREMENTS. NEW GENSET LOCATION MUST MEET ALL GENERATOR CLEARANCE REQUIREMENTS INCLUDING BUT NOT LIMITED TO PROPER AIR FLOW AND DOOR CLEARANCE PER MANUFACTURER.
  2. PROVIDE 24 HOUR CAPACITY BURIED DIESEL STORAGE TANK FOR NEW GENSET TO MEET CITY OF KNOXVILLE REQUIREMENTS. STORAGE TANK TO MEET PROJECT SPECIFICATIONS. PROVIDE AND INSTALL ALL HOSEPIPE CONNECTIONS, CONTROLS, SWITCHES, AND OTHER ACCESSORIES IN SPECIFICATIONS BETWEEN UNDERGROUND TANK, DAY TANK, AND GENSET TO CREATE FULLY FUNCTIONING SYSTEM. PROVIDE DAY TANK AND PUMP ACCORDING TO SPECIFICATIONS.
  3. ADD 2#8 UTILIZING EXISTING BLOCK HEATER AND BATTERY CHARGER CONDUIT BACK TO 125A EMERGENCY PANEL IN BASKINENT OF HIGH RISE. SEE SHEET E1.1. RE-PULL JACKET HEATER AND BATTERY CHARGER CIRCUITS AS NECESSARY.

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KCDC - Isabella Towers

1515 Isabella Circle  
Knoxville, TN 37915



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ISABELLA TOWERS SITE  
ELECTRICAL PLAN

**ES1.0**