KCDC - Renovation at Isabella Towers

1515 Isabella Circle Knoxville, TN 37915

11.07.2019

Construction Documents 11.07.2019

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T0.1 Project Scope, Wall Types, UL Descriptions 11.07.2019 11.07.2019 11.07.2019 AD1.1 Demolition Plan ARCHITECTURAL A0.0 Master Schedule & Notes Architectural Site Plan 11.07.2019 .1 Overall Ground & First Floor Plan - Low Rise 11.07.2019 A1.2 Overall Ground Floor Plan - High Rise 11.07.2019 A1.3 Overall First Floor Plan - High Rise 11.07.2019 A1.4 Overall Second Through Fifth Floor Plans - High Rise
A1.5 Overall Sixth Floor Plan - High Rise
A1.6 Overall Seventh Floor Plan - High Rise 11.07.2019 11.07.2019 11.07.2019 11.07.2019 A3.1 High Rise Elevations & Notes A6.1 Door Schedule, Elevations, Details, & RCP 11.07.2019 A8.1 Enlarged Typical Floor Plans & Interior Elevations
A8.2 Enlarged ADA Floor Plans & Interior Elevations
A9.1 Interior Details 11.07.2019 11.07.2019 11.07.2019 17 11.07.2019 P0.1 Plumbing Notes & Schedules P1.0 Main Tower Typical Floor Plans
P1.1 Two Story Building Typical Floor Plans 18 11.07.2019 11.07.2019 P1.2 Typical ADA Room 11.07.2019 11.07.2019 P1.3 Typical ADA Public Bathroom FP0.1 Fire Protection Notes FP1.1 ADA FP Plan 11.07.2019 MECHANICAL M0.1 Typical HVAC Plans 11.07.2019 E0.1 Electrical Legend & Notes E0.2 Emergency Call System Diagram
E1.0 Low Rise - Ground Floor & First Floor Electrical Plans 11.07.2019 11.07.2019 1.1 High Rise - Ground Floor & First Floor Electrical Plans 11.07.2019

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ARCHITECTURE & INTERIORS
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3 Drawing List

2 High Rise - Second Floor Thru Sixth Floor Electrical Plans

High Rise - Seventh Floor Electrical Plan

ES1.0 Isabella Towers Site Electircal Plan

Typical and ADA Enlarged Electrical Floor Plans

Overview

APPLICABLE CODES:

International Building Code, 2018 edition w/ amendments International Energy Code, 2018 edition w/ amendments International Electrical Code, 2017 edition w/ amendments International Plumbing Code, 2018 edition w/ amendments International Mechanical Code, 2018 edition w/ amendments International Fuel Gas Code, 2018 edition w/ amendments

International Fire Code, 2018 edition w/ amendments

ACCESSIBILITY CODE: 2010 ADA Standards for Accessible Design

Residential, R-2 Apartment House

CONSTRUCTION TYPE: Type I, Unprotected, Sprinklered

Renovation

KCDC

Project Phase: Construction Documents

Revisions								
No.	Descripton	Date						

19089.00 Job Number: Cover Sheet

2 Code Information

KCDC 901 N Broadway, Knoxville, TN 37917 T (865) 403-1371 Contact: Jack Canada

414 Clinch Ave. Knoxville, TN 37902 T 865.523.5001 F 865.523.5003 Contact: Marcus Chady

Studio Four Design

Contractor:

MEP Engineer: Facility Systems Consultants, LLC 713 S Central St # 101, Knoxville, TN 37902 T (865) 246-0164 Contact: Mark Newlin

Contact Information

Design No. U905 June 10, 2019 Bearing Wall Rating - 2 HR. Nonbearing Wall Rating — 2 HR This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7 * Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively. Concrete Blocks* — Various designs. Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers. 2. Mortar — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered. 3. Portland Cement Stucco or Gypsum Plaster — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1). 4. Loose Masonry Fill — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellant vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification. 5. Foamed Plastic* — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1). ATLAS ROOFING CORP — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", EnergyShield CGF Pro and EnergyShield Ply Pro CARLISLE COATINGS & WATERPROOFING INC — Type R2+ SHEATHE FIRESTONE BUILDING PRODUCTS CO L L C — "Enverge™ CI Foil Exterior Wall Insulation" and "Enverge™ CI Glass Exterior Wall Insulation" HUNTER PANELS — Types "Xci-Class A", "Xci Foil (Class A)", "Xci 286" RMAX OPERATING L L C — Types "TSX-8500", "ECOMAXci FR", "TSX-8510", "ECOMAX xi FR White", "ECOMAXci", "ECOMAXci FR Air Barrier", "Thermasheath-XP", "Thermasheath", "Durasheath", "Thermasheath-3", "Durasheath-3".

(HDP) and TUFF-R™ ci Insulation

UL Description - UL #U905

HUNTER PANELS — "Xci NB", "Xci Ply"

THE DOW CHEMICAL CO — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Finish Insulation, Thermax ci Exterior Insulation, Thermax XARMOR ci Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus

5A. Building Units — As an alternate to Items 5, min. 1-in thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in.

RMAX OPERATING L L C — "Thermasheath-SI", "ECOBASEci", "ThermaBase-CI", "ECOMAXci FR Ply", "ECOMAXci Ply".

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6 High Rise Unit Matrix

	FLOC	ORS	
UNITS	1	2	TOTAL
STUDIO	1	4	5
1 BR	9	12	21
ADA 0 BR	0	0	0
ADA 1 BR	0	0	0
TOTAL	10	12	26

5 Low Rise Unit Matrix

1515 Isabella Circle

Scope of Work

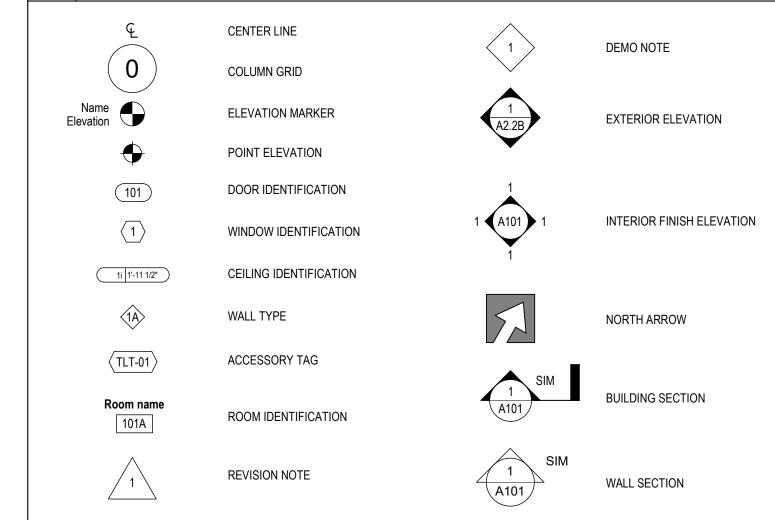
Knoxville, TN 37915

Interior renovations of existing apartment buildings to include converting units to UFAS accessibility requirements, accessibility repairs in public / common area restrooms, installing HUD compliant smoke detectors and emergency call systems, updating interior flooring and casework, minimal plumbing fixture updates as required, and restriping / marking ADA accessible parking spaces and site access.

Project Description
NTS

		EARTH	WOOD - ROUGH
		GRAVEL	BATT INSULATION
4 7	4 4	CONCRETE	GYPSUM BOARD
		RIGID INSULATION	ACOUSTIC TILE
		METAL	MASONRY VENEER
		PLYWOOD	CONCRETE MASONRY UNIT
		WOOD - FINISHED	

Materials Legend



Graphic Symbols NTS

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION, IN WRITING, FROM THE ARCHITECT. INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR
- FIRE EXTINGUISHER(S) ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIRE/BUILDING INSPECTOR. CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF
- THE GENERAL DESIGN INTENT. GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY. WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR
- ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.

| General Notes

Renovation

abella

at

Project Phase: Construction Documents Issue Date: 11.07.2019 No. Descripton

Job Number: Project Scope, Wall Types,

Partition (3 5/8" Mtl. Stud) - Cavity 5/8" GWB ON EXPOSED SIDE OF 3 5/8" MTL STUDS . EXTEND STUDS TO STRUCTURE AS REQUIRED TO BRACE PARTITION. FINISH EDGES OF PARTITION TO EXISTING CEILING (MUD AT GYP, TRIM AT ACT). Partition (6" Mtl. Stud) 5/8" GWB ON BOTH SIDES OF 6" MTL STUDS . EXTEND STUDS TO STRUCTURE AS REQUIRED TO BRACE PARTITION. FINISH EDGES OF PARTITION TO EXISTING CEILING (MUD AT GYP, TRIM AT ACT).

Partition (3 5/8" Mtl. Stud)

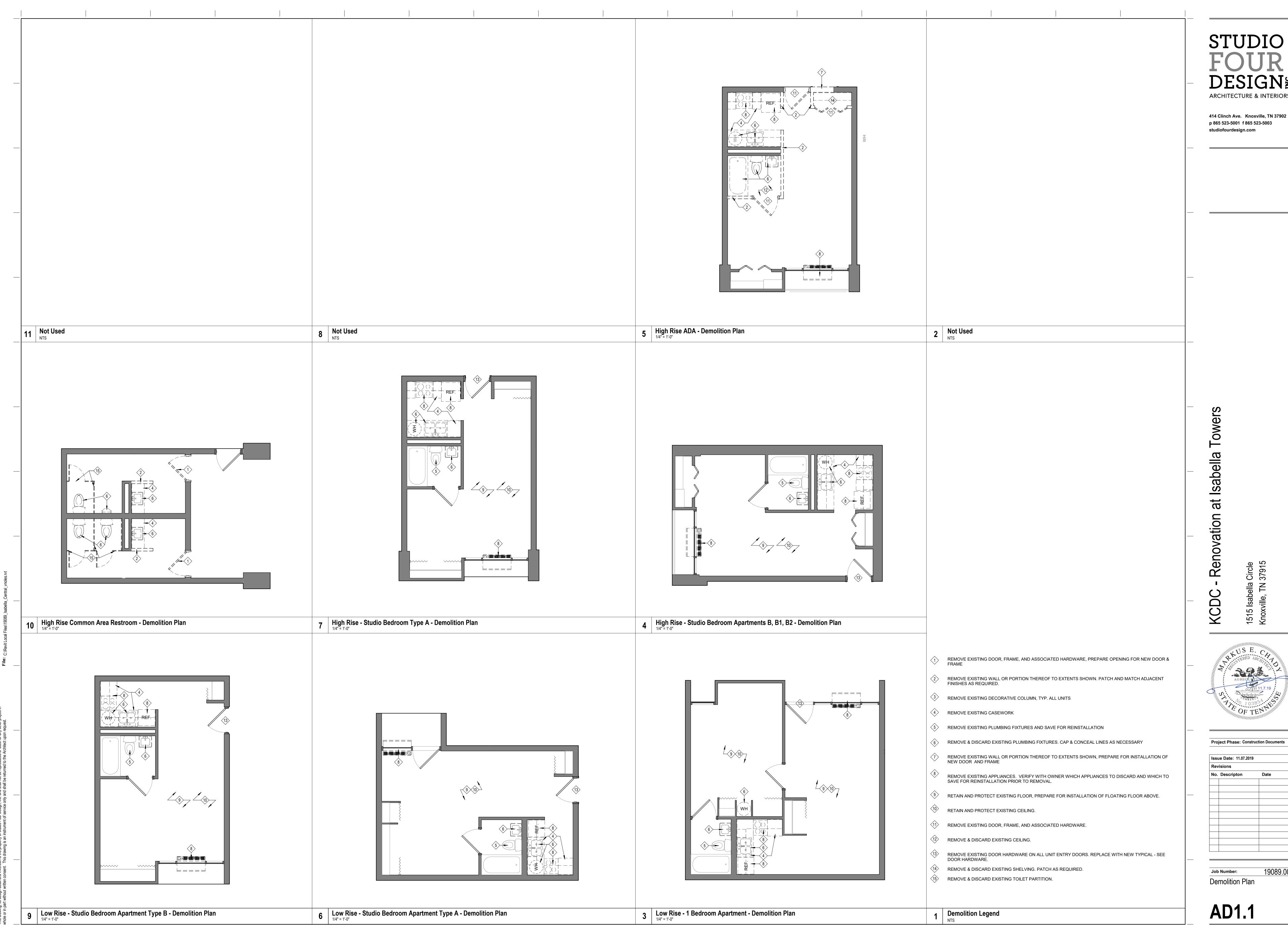
5/8" GWB ON BOTH SIDES OF 3 5/8" MTL STUDS . EXTEND STUDS TO

STRUCTURE AS REQUIRED TO BRACE PARTITION. FINISH EDGES OF PARTITION TO EXISTING CEILING (MUD AT GYP, TRIM AT ACT).

1 Hr-Rated CMU Wall (UL U905)

7 Wall Types

UL Descriptions



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Revisions								
No.	Descripton	Date						

19089.00

High Rise Schedule Shoe Paint Walls & Pull Smoke | Electrical Panel Flooring Molding Ceilings Stations Range Refrigerator Detectors Replacement Building Number Type Level Accessible Kitchen Casework 9/A8.1, 14/A8.1 **Ground Floor** Ground Floor 360 SF 9/A8.1, 14/A8.1 359 SF 9/A8.1, 14/A8.1 **Ground Floor** 359 SF 9/A8.1, 14/A8.1 First Floor 362 SF 9/A8.1, 14/A8.1 First Floor 9/A8.1, 14/A8.1 362 SF First Floor First Floor 9/A8.1, 14/A8.1 First Floor 364 SF 9/A8.1, 14/A8.1 First Floor 364 SF 9/A8.1, 14/A8.1 First Floor 9/A8.1, 14/A8.1 First Floor 363 SF 9/A8.1, 14/A8.1 363 SF First Floor 9/A8.1, 14/A8.1 363 SF 9/A8.1, 14/A8.1 First Floor 361 SF 9/A8.1, 14/A8.1 360 SF First Floor 9/A8.1, 14/A8.1 364 SF 9/A8.1, 14/A8.1 First Floor First Floor 364 SF 9/A8.1, 14/A8.1 First Floor 360 SF 9/A8.1, 14/A8.1 First Floor 364 SF 9/A8.1, 14/A8.1 First Floor 364 SF 5/A8.2, 9/A8.2, 11/A8.2 0 ADA First Floor 362 SF 5/A8.2, 9/A8.2, 11/A8.2 359 SF First Floor 9/A8.1, 14/A8.1 9/A8.1, 14/A8.1 First Floor 366 SF 9/A8.1, 14/A8.1 363 SF 9/A8.1, 14/A8.1 First Floor First Floor 360 SF 9/A8.1, 14/A8.1 First Floor 359 SF 9/A8.1, 14/A8.1 359 SF 9/A8.1, 14/A8.1 First Floor 359 SF 9/A8.1, 14/A8.1 Second Floor Second Floor 362 SF 9/A8.1, 14/A8.1 Second Floor 362 SF 9/A8.1, 14/A8.1 360 SF Second Floor 9/A8.1, 14/A8.1 Second Floor 364 SF 9/A8.1, 14/A8.1 364 SF 9/A8.1, 14/A8.1 Second Floor 360 SF 9/A8.1, 14/A8.1 Second Floor Second Floor 9/A8.1, 14/A8.1 9/A8.1, 14/A8.1 Second Floor 363 SF Second Floor 363 SF 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 Second Floor 360 SF 9/A8.1, 14/A8.1 9/A8.1, 14/A8.1 Second Floor 364 SF Second Floor 364 SF 9/A8.1, 14/A8.1 Second Floor 360 SF 9/A8.1, 14/A8.1 Second Floor 364 SF 9/A8.1, 14/A8.1 Second Floor 5/A8.2, 9/A8.2, 11/A8.2 Second Floor 0 ADA 5/A8.2, 9/A8.2, 11/A8.2 359 SF 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 Second Floor Second Floor 362 SF 9/A8.1, 14/A8.1 Second Floor 363 SF 9/A8.1, 14/A8.1 366 SF Second Floor 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 366 SF Second Floor 363 SF 9/A8.1, 14/A8.1 Second Floor 359 SF 9/A8.1, 14/A8.1 359 SF Second Floor 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 Second Floor 9/A8.1, 14/A8.1 Second Floor Second Floor 354 SF 9/A8.1, 14/A8.1 Third Floor 359 SF 9/A8.1, 14/A8.1 362 SF Third Floor 9/A8.1, 14/A8.1 Third Floor 362 SF 9/A8.1, 14/A8.1 360 SF 9/A8.1, 14/A8.1 Third Floor 364 SF Third Floor 9/A8.1, 14/A8.1 Third Floor 364 SF 9/A8.1, 14/A8.1 Third Floor 360 SF 9/A8.1, 14/A8.1 363 SF 9/A8.1, 14/A8.1 Third Floor 363 SF 9/A8.1, 14/A8.1 Third Floor 363 SF 9/A8.1, 14/A8.1 Third Floor 9/A8.1, 14/A8.1 9/A8.1, 14/A8.1 Third Floor 364 SF 9/A8.1, 14/A8.1 Third Floor 364 SF 9/A8.1, 14/A8.1 Third Floor 9/A8.1, 14/A8.1 Third Floor 364 SF 9/A8.1, 14/A8.1 364 SF 5/A8.2, 9/A8.2, 11/A8.2 0 ADA Third Floor 0 ADA 361 SF Third Floor 5/A8.2, 9/A8.2, 11/A8.2 Third Floor 359 SF 9/A8.1, 14/A8.1 362 SF Third Floor 9/A8.1, 14/A8.1 9/A8.1, 14/A8.1 Third Floor 363 SF 9/A8.1, 14/A8.1 Third Floor 9/A8.1, 14/A8.1 Third Floor 9/A8.1, 14/A8.1 366 SF Third Floor 9/A8.1, 14/A8.1 363 SF Third Floor 9/A8.1, 14/A8.1 Third Floor 360 SF 9/A8.1, 14/A8.1 Third Floor 359 SF 9/A8.1, 14/A8.1 Third Floor 359 SF 9/A8.1, 14/A8.1 Third Floor 9/A8.1, 14/A8.1 9/A8.1, 14/A8.1 364 SF 9/A8.1, 14/A8.1 Third Floor 364 SF 9/A8.1, 14/A8.1 Third Floor 9/A8.1, 14/A8.1 Fourth Floor 359 SF 9/A8.1, 14/A8.1 Fourth Floor 362 SF 9/A8.1, 14/A8.1 Fourth Floor 9/A8.1, 14/A8.1 Fourth Floor 360 SF 9/A8.1, 14/A8.1 Fourth Floor 364 SF 9/A8.1, 14/A8.1 Fourth Floor 364 SF 9/A8.1, 14/A8.1 360 SF Fourth Floor 9/A8.1, 14/A8.1 Fourth Floor 363 SF 9/A8.1, 14/A8.1 363 SF 9/A8.1, 14/A8.1 Fourth Floor 363 SF Fourth Floor 9/A8.1, 14/A8.1 Fourth Floor 9/A8.1, 14/A8.1

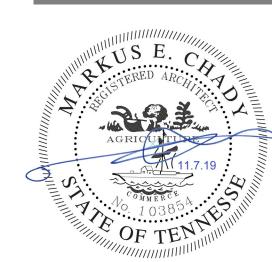
						High R	ise Schedule							
Number	Туре	Level	Area	Accessible	Kitchen Casework	Flooring	Shoe Molding	Paint Walls & Ceilings	Pull Stations	Range	Refrigerator	Smoke Detectors	Electrical Panel Replacement	Building
	0	Fourth Floor	360 SF 364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
415	0	Fourth Floor Fourth Floor	364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A A
	0	Fourth Floor Fourth Floor	360 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
418	0 ADA	Fourth Floor	364 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A
	0 ADA 0	Fourth Floor Fourth Floor	361 SF 359 SF	Yes No	5/A8.2, 9/A8.2, 11/A8.2 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
425	0	Fourth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
0	0	Fourth Floor Fourth Floor	362 SF 363 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
430	0	Fourth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0	Fourth Floor Fourth Floor	366 SF 366 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
	0	Fourth Floor Fourth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0	Fourth Floor	360 SF 359 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A A
	0	Fourth Floor Fourth Floor	359 SF 370 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A A
	0	Fourth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0	Fourth Floor Fourth Floor	364 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
443	0	Fourth Floor	354 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0	Fifth Floor Fifth Floor	359 SF 362 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
502	0	Fifth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						Α
-	0	Fifth Floor Fifth Floor	360 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
506	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
00.	0	Fifth Floor Fifth Floor	360 SF 363 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
509	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
0.0	0	Fifth Floor Fifth Floor	363 SF 361 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
513	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
011	0	Fifth Floor Fifth Floor	364 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
516	0	Fifth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
0	0 0 ADA	Fifth Floor Fifth Floor	364 SF 364 SF	No Yes	9/A8.1, 14/A8.1 5/A8.2, 9/A8.2, 11/A8.2	Yes Yes	Yes Yes	Yes Yes						A
519	0 ADA	Fifth Floor	361 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A
0_ :	0	Fifth Floor Fifth Floor	359 SF 362 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
0_0	0	Fifth Floor Fifth Floor	362 SF 363 SF	No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes	Yes Yes	Yes Yes						A
	0	Fifth Floor	366 SF	No No	9/A8.1, 14/A8.1	Yes Yes	Yes	Yes						A
001	0	Fifth Floor Fifth Floor	366 SF 366 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
533	0	Fifth Floor	363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
00.	0	Fifth Floor Fifth Floor	360 SF 359 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
538	0	Fifth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
000	0	Fifth Floor Fifth Floor	370 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
541	0	Fifth Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
0.2	0	Fifth Floor Fifth Floor	364 SF 354 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
600	0	Sixth Floor	359 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
001	0	Sixth Floor Sixth Floor	362 SF 362 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						$\frac{A}{A}$
00.	0	Sixth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
333	0	Sixth Floor Sixth Floor	364 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
	0	Sixth Floor Sixth Floor	360 SF 363 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
000	0	Sixth Floor	363 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
0.0	0	Sixth Floor Sixth Floor	363 SF 361 SF	No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						Ā
	0	Sixth Floor	360 SF	No No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0	Sixth Floor Sixth Floor	364 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						Δ
616	0	Sixth Floor	360 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
V	0 0 ADA	Sixth Floor Sixth Floor	364 SF 364 SF	No Yes	9/A8.1, 14/A8.1 5/A8.2, 9/A8.2, 11/A8.2	Yes Yes	Yes Yes	Yes Yes						A
619	0 ADA	Sixth Floor	361 SF	Yes	5/A8.2, 9/A8.2, 11/A8.2	Yes	Yes	Yes						A
624 625	0	Sixth Floor Sixth Floor	359 SF 362 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
626	0	Sixth Floor	362 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
020	0	Sixth Floor Sixth Floor	363 SF 366 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
631	0	Sixth Floor	366 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
002	0	Sixth Floor Sixth Floor	366 SF 363 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A
639	0	Sixth Floor	370 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
0.0	0	Sixth Floor Sixth Floor	364 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A A
0.2	0	Sixth Floor	364 SF		9/A8.1, 14/A8.1	Yes	Yes	Yes						A
704	0	Sixth Floor Seventh Floor	354 SF 360 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A A
. 00	0	Seventh Floor Seventh Floor	364 SF 364 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						Α
	0	Seventh Floor	360 SF	No No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A A
	0	Seventh Floor Seventh Floor	363 SF 363 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes	Yes Yes	Yes Yes						Α
	0	Seventh Floor	363 SF	No No	9/A8.1, 14/A8.1	Yes Yes	Yes	Yes						A
	0	Seventh Floor Seventh Floor	361 SF 360 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						A A
714	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0	Seventh Floor Seventh Floor	364 SF 360 SF	No No	9/A8.1, 14/A8.1 9/A8.1, 14/A8.1	Yes Yes	Yes Yes	Yes Yes						Α
717	0	Seventh Floor	364 SF	No	9/A8.1, 14/A8.1	Yes	Yes	Yes						A
	0 ADA 0 ADA	Seventh Floor Seventh Floor	364 SF 361 SF	Yes Yes	5/A8.2, 9/A8.2, 11/A8.2 5/A8.2, 9/A8.2, 11/A8.2	Yes Yes	Yes Yes	Yes Yes						A A
	↓ / ID/\	SSTORIGHT HOUR	301 01	1.00		. 30	, 55	1.30		1	1	I		• •

,	STUDIO
	FOUR
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	ARCHITECTURE & INTERIORS

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Project Phase: Construction Documents

No.	Descripton	Date
	·	

Job Number: 19089.0

Master Schedule & Notes

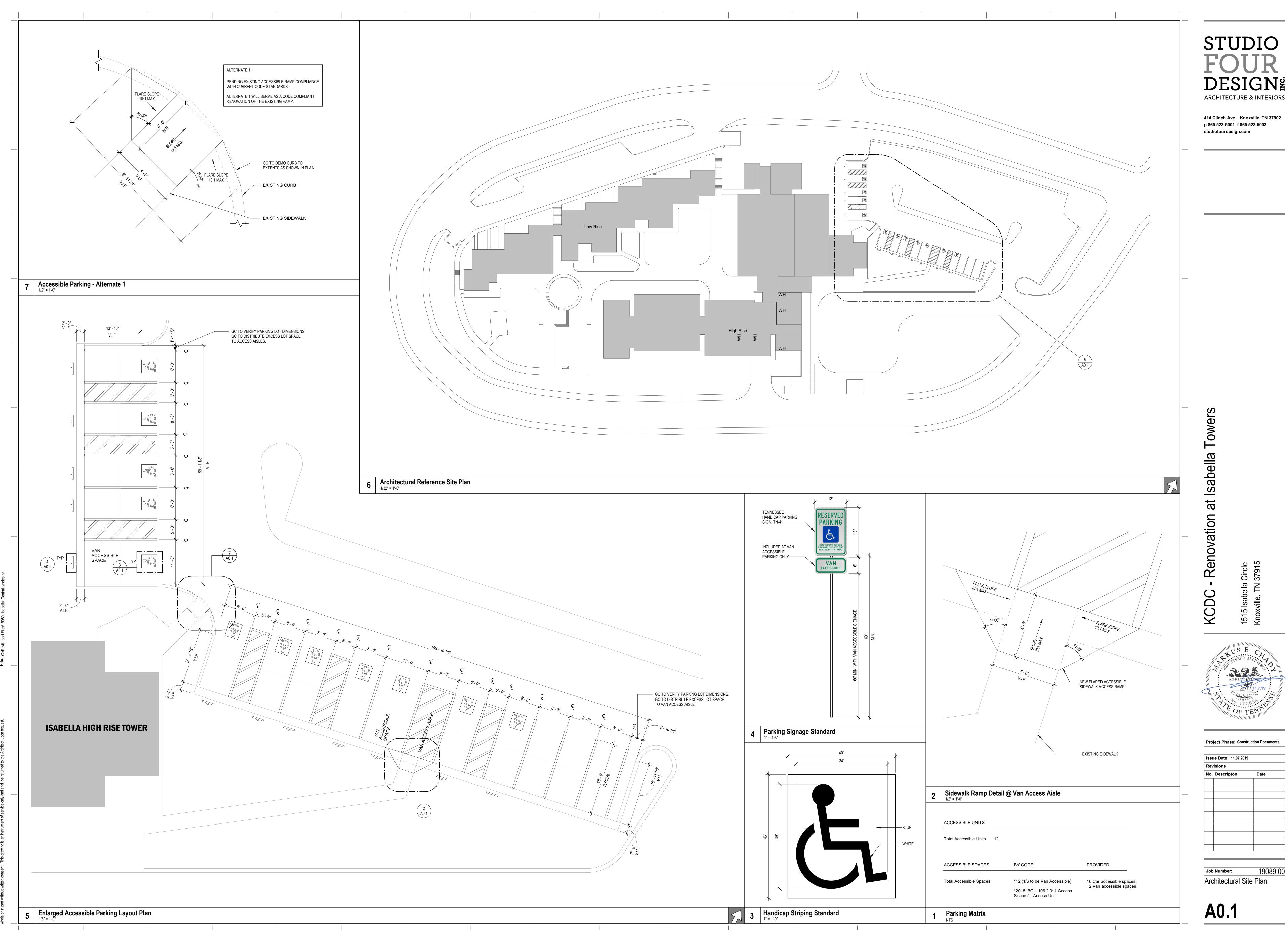
A0.0

3 High Rise Master Schedule

			L	ow Rise Scheo	lule			
Number	Name	Level	Area	Accessible	Kitchen Casework	Flooring Replacement	Shoe Molding	Paint Walls & Ceilings
100	1	Ground Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
101	1	Ground Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
102	1	Ground Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
103	1	Ground Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
104	1	Ground Floor	542 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
105	1	Ground Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
106	1	Ground Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
107	1	Ground Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
108	1	Ground Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
109	0	Ground Floor	392 SF	No	11/A8.1, 13/A8.1	Yes	Yes	Yes
200	1	First Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
201	1	First Floor	554 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
202	1	First Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
203	1	First Floor	599 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
204	1	First Floor	538 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
205	0	First Floor	424 SF	No	11/A8.1, 13/A8.1	Yes	Yes	Yes
206	1	First Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
207	1	First Floor	593 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
208	1	First Floor	538 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
209	0	First Floor	372 SF	No	5/A8.1, 8/A8.1	Yes	Yes	Yes
210	1	First Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
211	1	First Floor	543 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
212	1	First Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
213	0	First Floor	419 SF	No	11/A8.1, 13/A8.1	Yes	Yes	Yes
214	1	First Floor	539 SF	No	1/A8.1, 3/A8.1	Yes	Yes	Yes
					· · · · · · · · · · · · · · · · · · ·			

							Finish Inde	X		
Material Code	Material Name	Manufacturer	Collection	Product Number	Product Name	Size	Color Number	Color Name	Installation Method	Comments
ETR	EXISTING TO REMAIN									
FLOOR FINISH										
LVT 1	LUXURY VINYL TILE	GERFLOR	CREATION CLIC SYSTEM			7" x 39"	#0360	DEEP FOREST	FLOATING	REMOVE AND REINSTALL PLUMBING FIXTURES AS NEEDED FOR CONTINUOUS FLOORING BENEATH.
CPT 1	CARPET 1	PATCRAFT	FOOT IN THE DOOR II	10304	WALK RIGHT IN II	24" x 24"	#00595	EBONY	MONOLITHIC	
TRIM & BASE FINISH										
WD 1	WOOD BASE - PAINTED								SEMI-GLOSS FINISH	PROFILE TO MATCH EXISTING, ADD SHOE MOLDING. SEE DETAIL 3/A9.1
WALL FINISH										
PTD 1	PAINT	SHERWIN WILLIAMS						MATCH EXISTING	EGGSHELL FINISH	
EPXY 1	EPOXY PAINT	SHERWIN WILLIAMS						MATCH EXISTING		LOCATED IN COMMON AREA RESTROOMS
MILLWORK FINISH										
STN WD	STAINED WOOD (VERTICAL)							TBD BY OWNER	STAIN GRADE PLYWOOD	
PLAM 1	PLASTIC LAMINATE (HORIZONTAL)	FORMICA	STANDARD					TBD BY OWNER		ALL COUNTERTOPS, U.N.O.
SSM 1	SOLID SURFACE	FORMICA						TBD BY OWNER		ALL RESTROOM COUNTERTOPS W/ 816P INTEGRAL SINK
CEILING FINISH										
PTD 2	PAINT	SHERWIN WILLIAMS						CEILING WHITE	EGGSHELL FINISH	
ACT 1	ACOUSTIC CEILING TILE	ARMSTRONG						MATCH EXISTING		
MISCELLANEOUS FINIS										
	DOORS	SHERWIN WILLIAMS						MATCH EXISTING	SEMI-GLOSS FINISH	ALL DOOR SIDES ADJACENT TO NEW PAINTED WALLS TO BE PAINTED (INCLUDING EXISTING DOORS
	DOOR FRAMES	SHERWIN WILLIAMS						MATCH EXISTING	SEMI-GLOSS FINISH	ALL DOOR FRAMES ADJACENT TO NEW PAINTED WALLS TO BE PAINTED UNTIL STOP

1 Finish Index



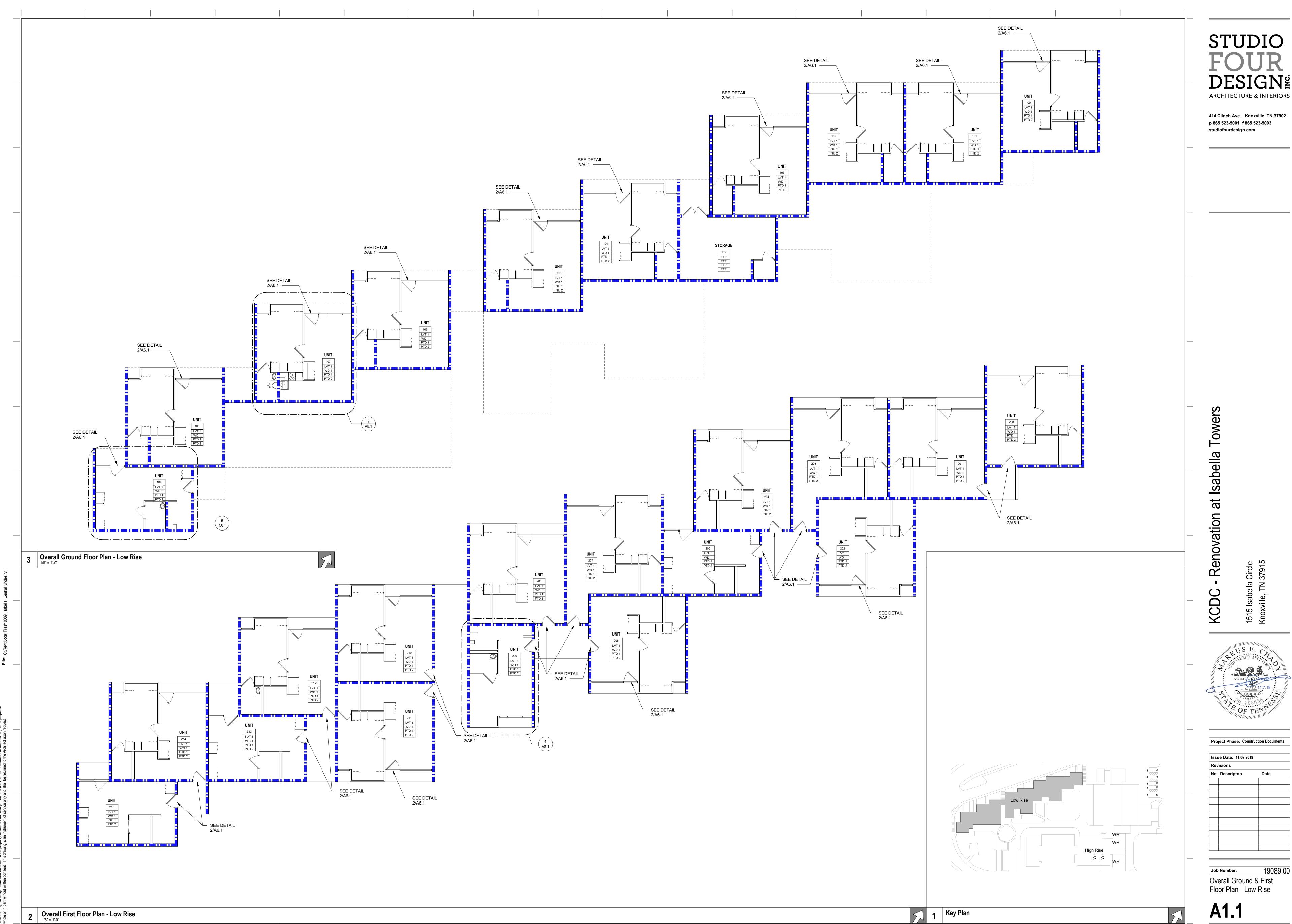
STUDIO **DESIGN**



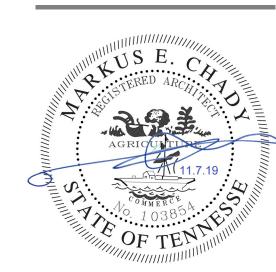
Project Phase: Construction Documents

Revisions								
No. Descripto	1	Date						

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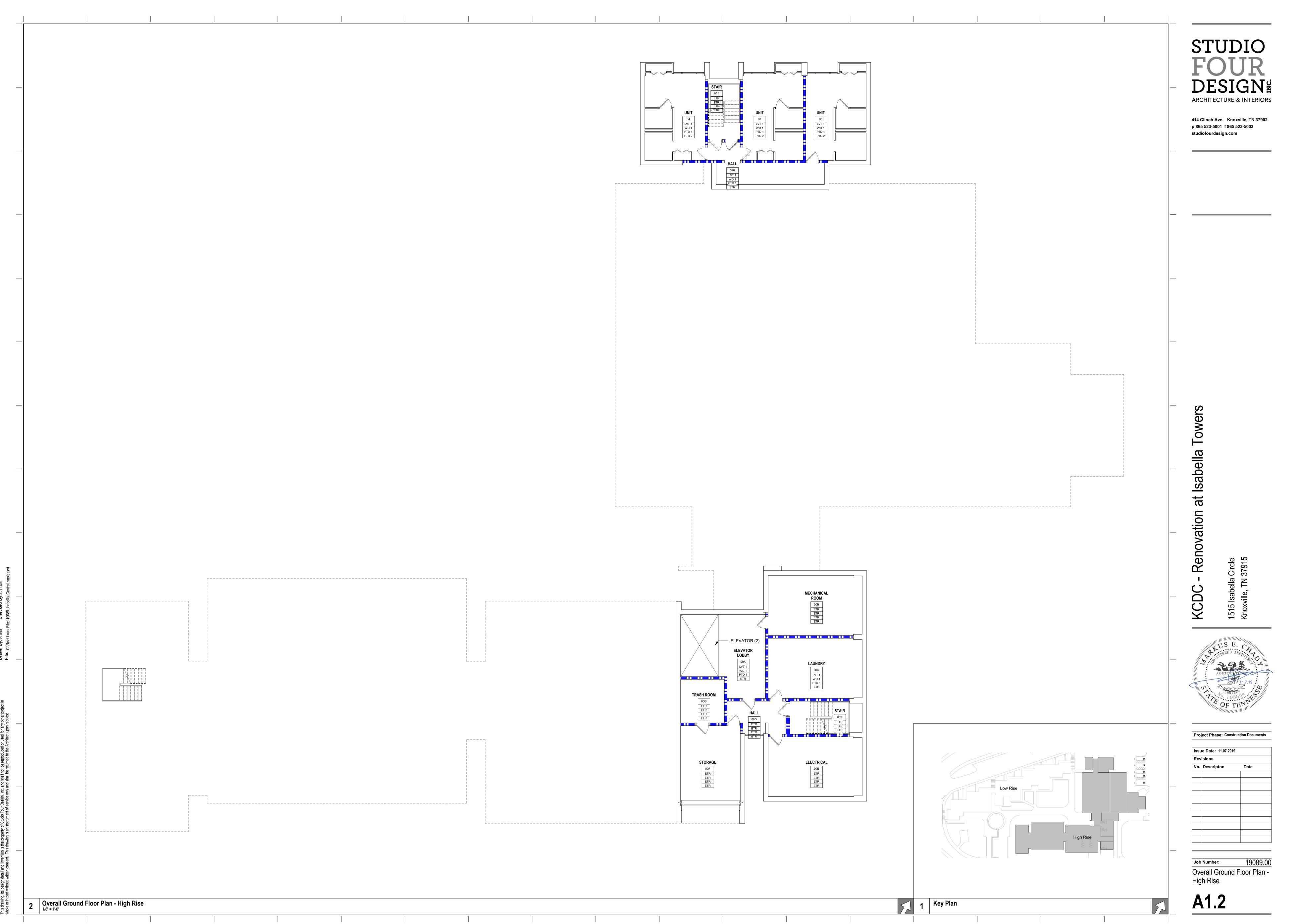


Project Phase: Construction Documents

Revisions		
No. Descripton	Date	

19089.00 Overall Ground & First Floor Plan - Low Rise

A1.1



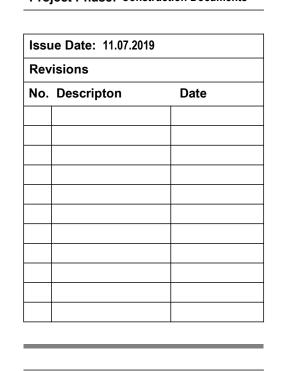


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Project Phase: Construction Documents



19089.00 Job Number: Overall First Floor Plan -High Rise

A1.3



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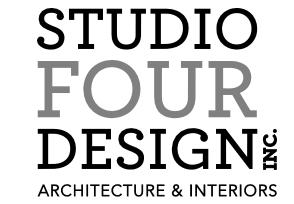
Project Phase: Construction Documents

Revisions							
No.	Descripton	Date					

19089.00 Job Number: Overall Second Through Fifth Floor Plans - High

Rise A1.4





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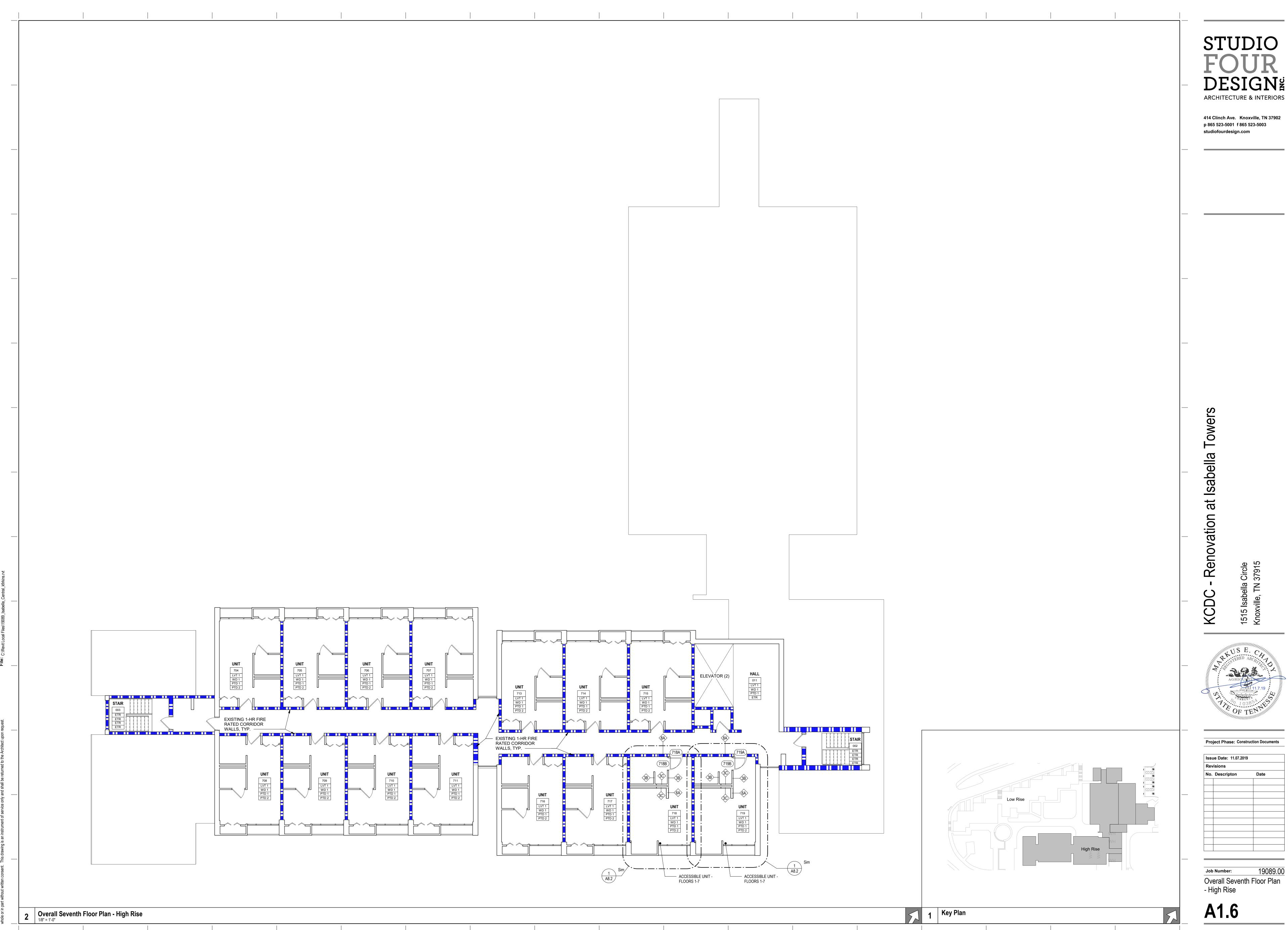
Project Phase: Construction Documents

Revisions	
No. Descripton	Date

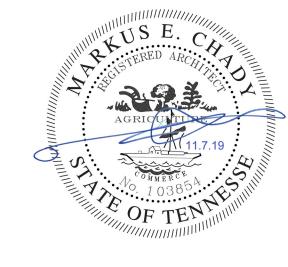
Job Number: 19089.00

Overall Sixth Floor Plan High Rise

A1.5



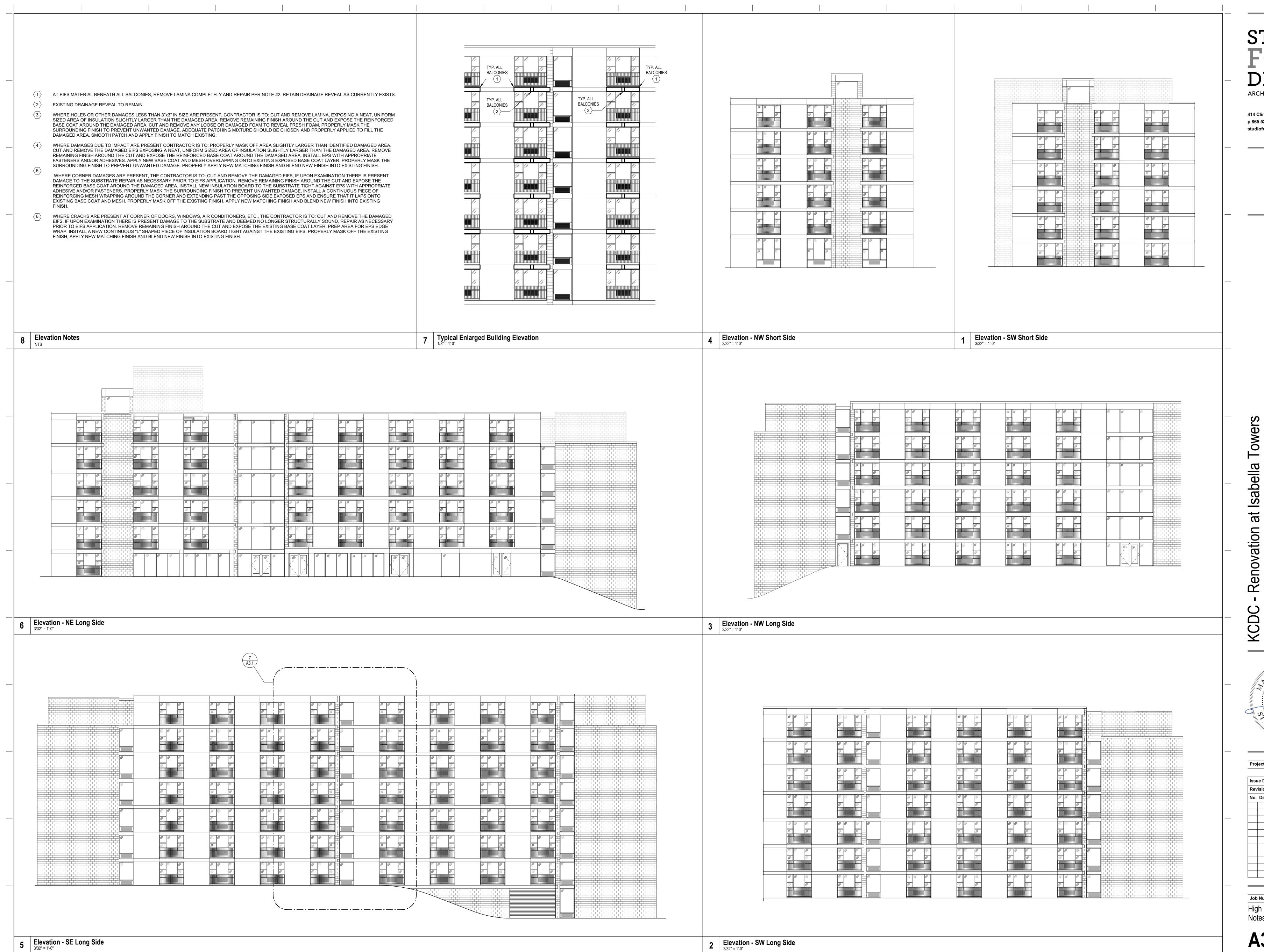
DESIGN



Project Phase: Construction Documents

Rev	isions			
No.	Descripton	Date		

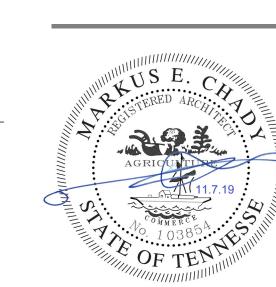
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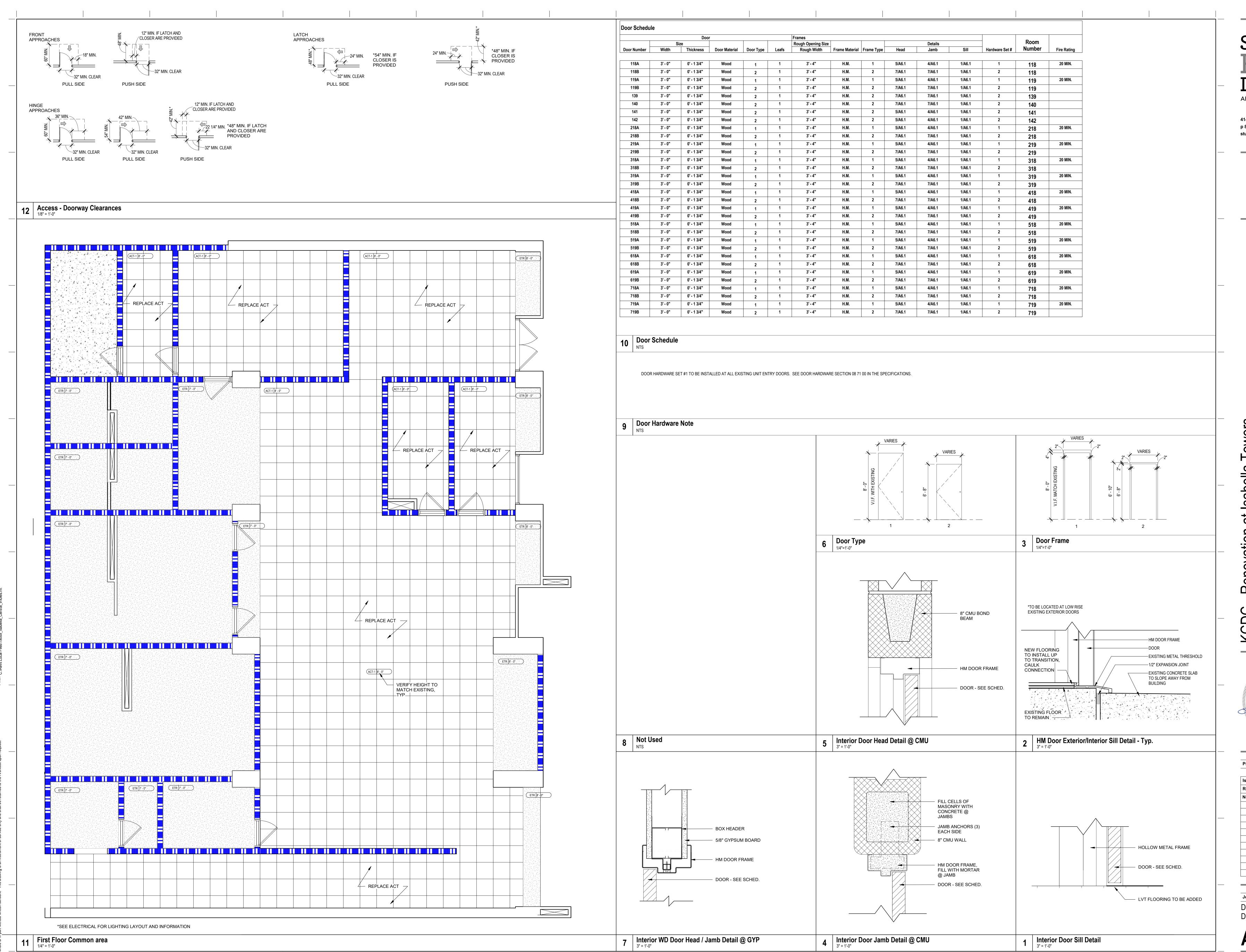


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Rev	isions	
No.	Descripton	Date

19089.00 High Rise Elevations & Notes

A3.1



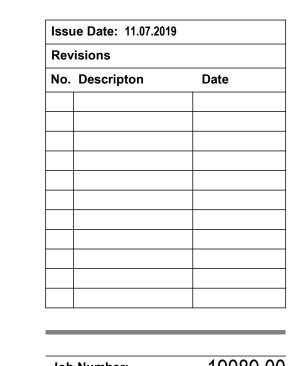
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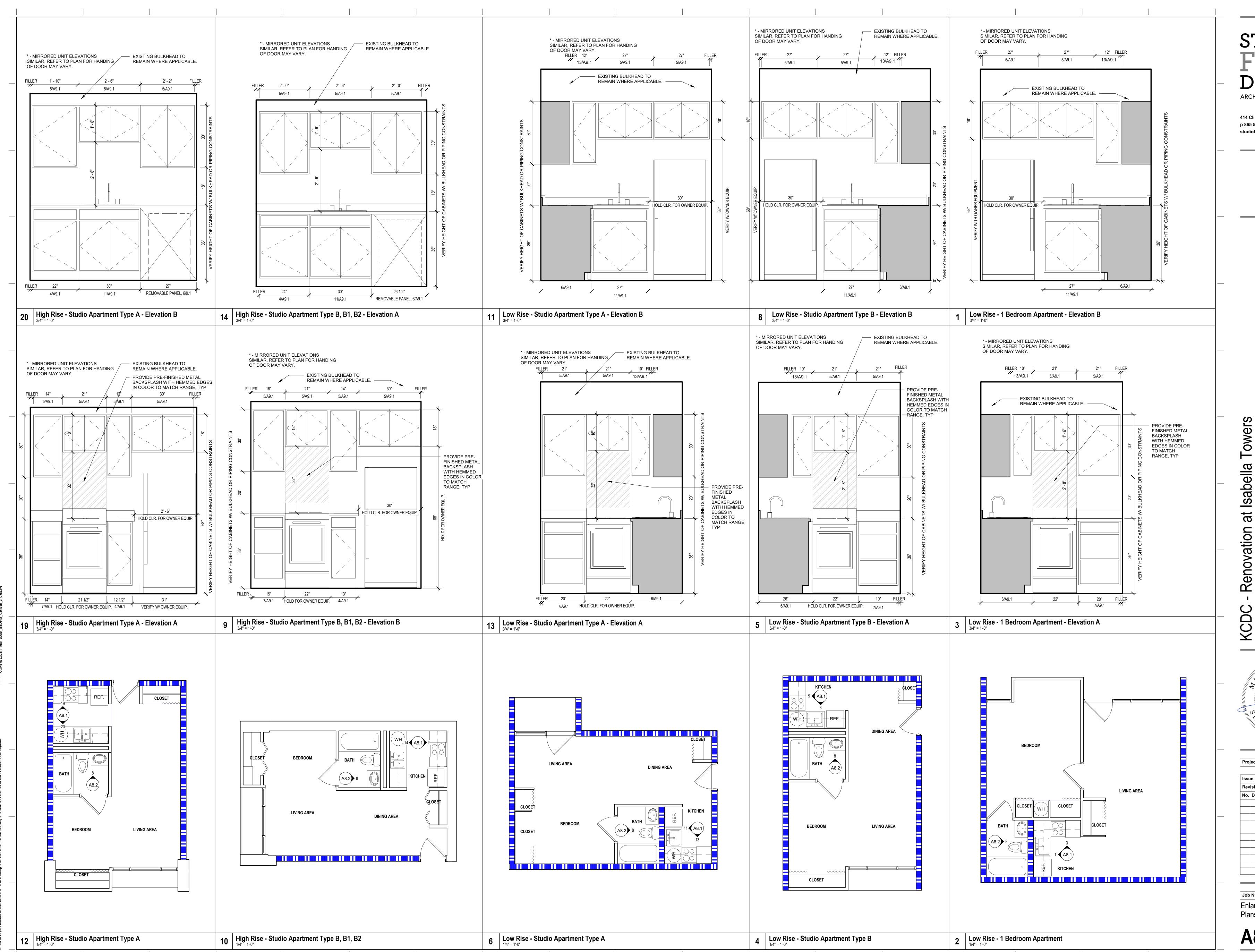


Project Phase: Construction Documents



19089.00 Job Number: Door Schedule, Elevations, Details, & RCP

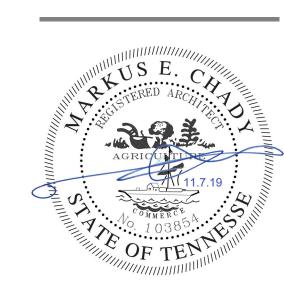
A6.1



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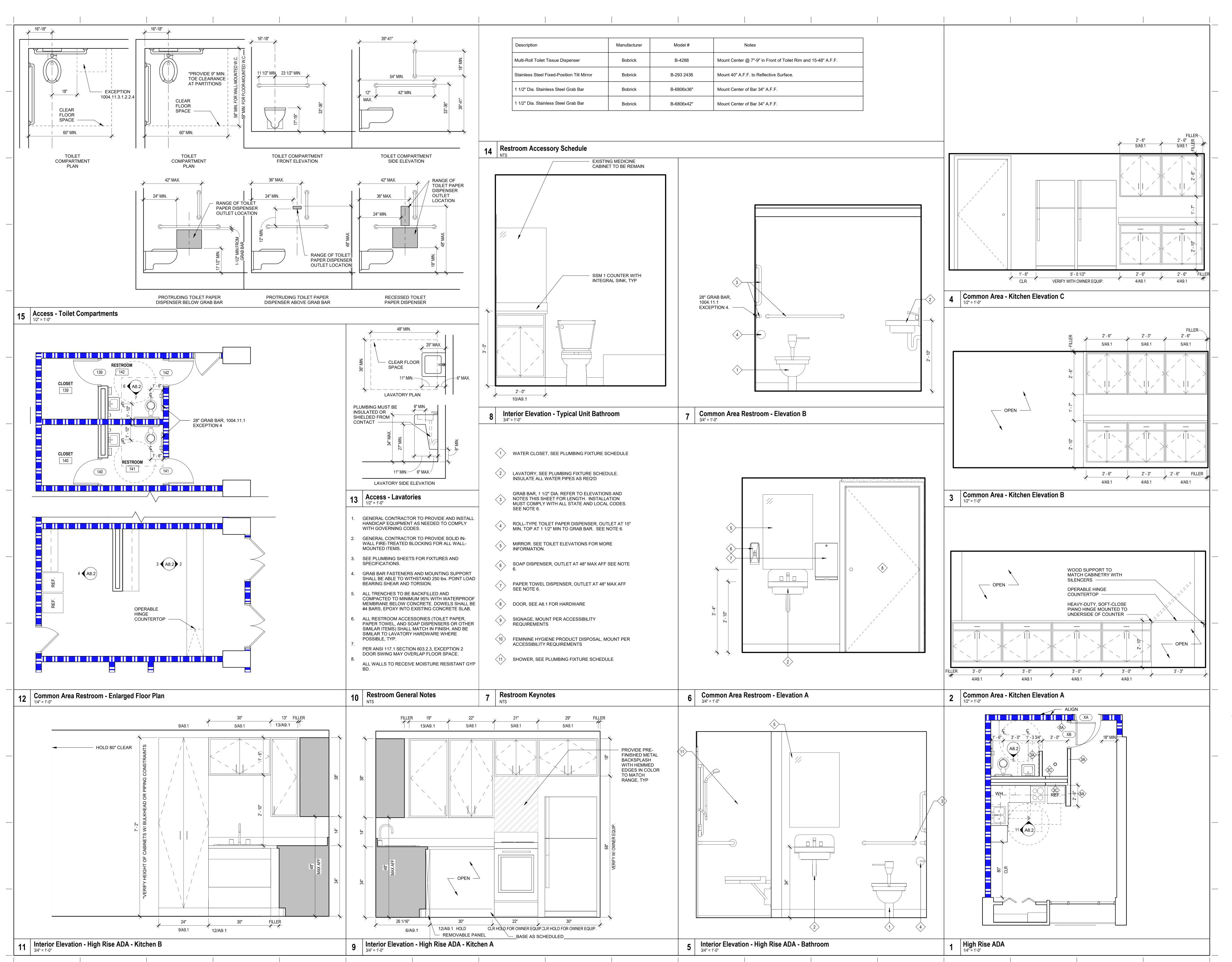


Project Phase: Construction Documents

No. Descripton	Date			

19089.00 Enlarged Typical Floor Plans & Interior Elevations

A8.1



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Issue Date: 11.07.2019

Revisions

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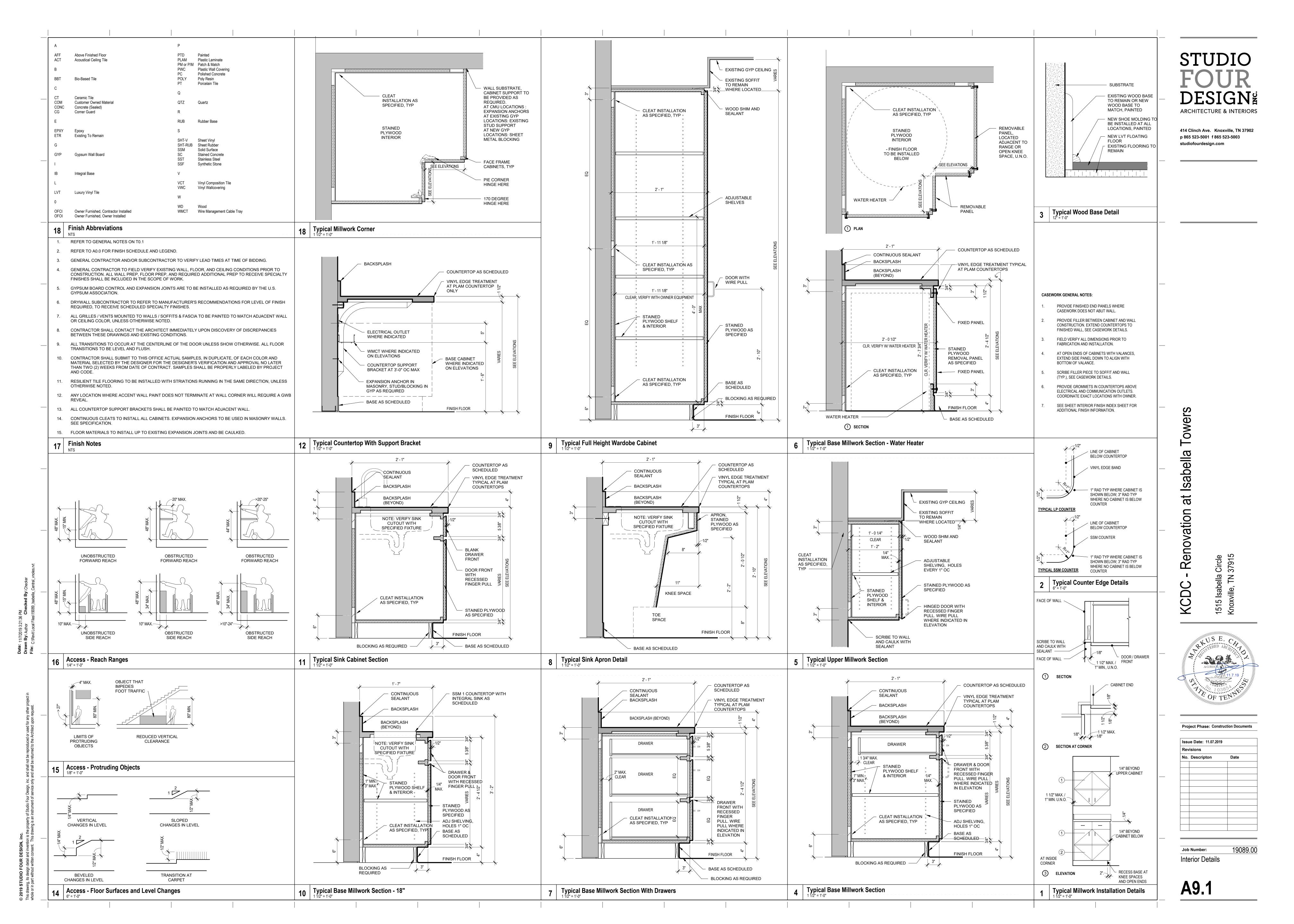
Interior Elevations

19089.00

19089.00

19089.00

A8.2



PL	U	MI	31	N	G	N	0	TE	3
		5	AΝ	/	ЧKY	W	AS	ΤE	A۱

TAND VENT PIPING BOTH ABOVE AND BELOW GRADE SHALL BE SCHEDULE 40 PVC-DWV PLASTIC PIPE AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPING AND PIPING COMPONENTS SHALL BE LISTED AS CONFORMING

WITH ANSI/NSF STD. 14 AND ASTM D-2665. CAST IRON WHERE INDICATED. 2. UNLESS INDICATED OTHERWISE ON DRAWINGS, INTERNAL WATER PIPING IS TO BE ROUTED IN CEILING SPACES, ATTICS, CRAWL SPACES AND IN AND BETWEEN WALL STUDS, ETC. (AS AND WHERE APPLICABLE) AND ON INSIDE OF INSULATED BUILDING ENVELOPE. THIS PIPING SHALL BE TYPE "L" COPPER AND INSTALLED IN ACCORDANCE WITH 2012 INTERNATIONAL PLUMBING CODE. TYPE "A" (REHAU OR UPONOR) PEX IS PERMISSIBLE UPON OWNERS APPROVAL ONLY ON WATER LINES 2" AND SMALLER. WHERE PEX IS USED COLD AND HOT WATER MAINS SHALL BE TYPE L COPPER WITH BRANCH PIPING BEING PEX. WHERE PEX IS USED AS MAINS IN LIEU OF COPPER, PIPING SHALL BE A PIPE SIZE LARGER THAN WHAT IS SHOWN ON PLANS. ALL EXPOSED PIPING MUST BE TYPE L COPPER.

- 3. ALL VENT PIPING TO PENETRATE ROOF A MINIMUM OF 12" ABOVE ROOF. FLASH AND SEAL TO ROOF WEATHERTIGHT. PAINT VENT PIPING ABOVE ROOF AND WITH 2 COATS EPOXY BASED PAINT. COLOR TO MATCH ROOF.
- 4. CONTRACTOR SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH MAY AFFECT WORK, INCLUDING VERIFICATION OF LOCATIONS AND RELATIONSHIP BETWEEN FIXTURES AND CONNECTIONS. 5. PIPING PLACED IN TRENCHES SHALL BE EMBEDDED IN 6" OF LOOSE AGGREGATE FILL, TAMP FILL MATERIAL ON EACH SIDE IN 6" LAYERS. ALL PIPING UNDER SLAB SHALL HAVE A MINIMUM 1" COVER FROM BOTTOM OF SLAB TO TOP OF PIPE AT HIGH
- POINT. PROTECT PIPING FROM BEING CRUSHED OR OTHERWISE CONSTRICTED. 6. EACH SINK, WATER CLOSET, ETC. SHALL HAVE SHUT-OFF VALVES LOCATED AT THE FIXTURE.
- 7. THE PLUMBING SYSTEM IN ITS ENTIRETY SHALL NOT BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE OWNER.
- 8. PRIOR TO COVERING THE WATER SUPPLY SYSTEM, IT SHALL BE PRESSURE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE NOT LESS THAN 25 P.S.I. ABOVE THE WORKING PRESSURE UNDER WHICH IT IS TO BE OPERATED. THIS TEST SHALL BE COMPLETED AND APPROVED IN THE PRESENCE OF THE OWNER.
- 9. ALL SOLDERED JOINTS SHALL BE CLEANED BRIGHT AND ALL BURRS SHALL BE REMOVED AND THE INTERIOR PIPE DIAMETER SHALL BE RETURNED TO FULL BORE.
- 10. ALL SOLDER AND FLUX USED IN THE INSTALLATION OR REPAIR OF THE WATER SUPPLY OR DISTRIBUTION SYSTEM SHALL BE LEAD FREE. 11. ALL SOLDERED JOINT MATERIAL SUCH AS FITTINGS, SOLDER, TUBING SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- 12. ALL MATERIALS, METHODS, AND PRACTICES SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING CODE.
- 13. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED FITTINGS TO CREATE A COMPLETE AND FUNCTIONAL PLUMBING SYSTEM. CONTRACTOR SHALL DETERMINE ANY FITTINGS REQUIRED FOR CONNECTION TO FIXTURES SPECIFIED.
- 14. PROVIDE REMOVABLE PVC COVERS ON ALL EXPOSED SUPPLY AND WASTE FITTINGS TO COMPLY WITH ANSI STD. A117.1 REQUIREMENTS. 15. CLEANOUTS:
- A. INTERIOR FINISHED FLOOR AREAS (FCO) LACQUERED CAST IRON BODY WITH ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR, THREADED TOP ASSEMBLY AND ROUND GASKETED DEPRESSED COVER TO ACCEPT FLOOR FINISH. B. INTERIOR FINISHED WALL AREAS (WCO) - LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED GASKET COVER, AND ROUND STAINLESS STEEL ACCESS COVER SECURED WITH MACHINE SCREW.
- C. EXTERIOR SURFACED AREAS ROUND CAST NICKEL BRONZE ACCESS FRAME AND NON-SKID COVER.
- D. EXTERIOR UN-SURFACED AREAS LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED GASKET COVER.
- 16. ALL HOT WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1 1/2" FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL COLD WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1/2" FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 17. ALL BALL/CONTROL/BALANCING VALVES WHICH ARE NOT READILY ACCESSIBLE VIA LAY-IN CEILING OR OPEN TO SPACE SHALL BE PROVIDED WITH AN ACCESSIBLE LOCKING PANEL EQUAL TO MIFAB TYPE CAD-FL ACCESS PANEL SHALL BE PAINTED
- 18. ALL CONDENSATE PIPING SHALL BE INSULATED WITH 1" THICK ARMAFLEX INSULATION WITH GLUED JOINTS, OR 1 1/2" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER MASTIC WRAP. 19. ALL HORIZONTAL RAINWATER PIPING ABOVE GRADE SHALL BE INSULATED WITH 1" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER MASTIC WRAP.
- 20. PROVIDE VACUUM BREAKERS WHERE ANY THREADED CONNECTIONS ARE PRESENT ON WATER SUPPLY LINE.
- 21. WATER HAMMER ARRESTORS TO BE INSTALLED ON EQUIPMENT PER MANUFACTURER RECOMMENDATIONS.

<u>PLUI</u>	MBING LEGEND
\$	COLD WATER LINE HOT WATER SUPPLY HOT WATER RETURN HOT WATER - 140°F SANITARY SEWER LINE GREASE WASTE VENT LINE CONDENSATE AIR
	POINT OF CONNECTION TO EXISTING PLUMBING FLOOR DRAIN FLOOR SINK
	WATER CLOSET CONNECTION FLOOR/GRADE CLEAN-OUT WALL CLEAN-OUT FIXTURE CONNECTION HOSE BIBB WATER HAMMER ARRESTOR
NOTE:	(TURES, SEE PLUMBING FIXTURE SCHEDULE.

ELECTRIC WATER HEATER SCHEDULE

1. ALTERNATIVE MANUFACTURERS: LOCHINVAR, A.O. SMITH, STATE IND.

3. RECIRCULATING PUMP SHALL BE EQUIPPED W/ AUTOMATIC TIMER

DESIGN MANUFACTURER

RECOVERY @ 100 DEG. F. RISE

4. UNITS SHALL BE ASME LISTED.

ELECTRICAL (VOLTS/HZ/PH)

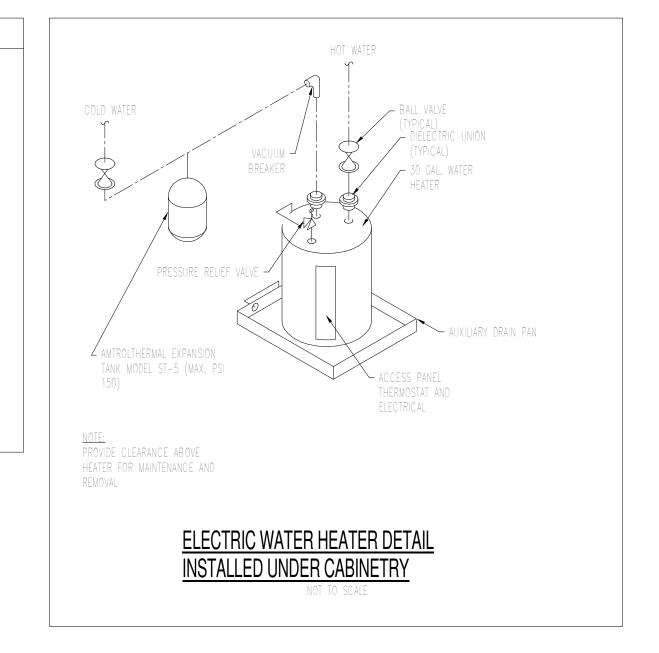
HEATNG. CAP. (KW) - NON-SIMULTANEOUS

2. PROVIDE RECIRULATING PUMP SEE SCHEDULE.

MODEL NUMBER GALLON CAPACITY A.O SMITH

ENLB-30

PIPING SY	YMBOLS	<u>ABBREVIATIONS</u>
ς τ	BALL VALVE	BV BALL VALVE
, - ,		CI CAST IRON
S	BUTTERFLY VALVE	CO CLEAN OUT
S	GATE VALVE	CON CONDENSATE
→	CHECK VALVE	CW COLD WATER
<u></u>	GLOBE VALVE	CHK. V CHECK VALVE
, ISI		EX EXISTING
, i	GAS COCK / PLUG VALVE	FD FLOOR DRAIN
S	UNION	FS FLOOR SINK
5	CIRCUIT SETTER	GW GREASY WASTE
<u> </u>	PRESSURE REGULATING VALVE	HB HOSE BIB/WALL HYDRANT
· ~ ~		HW HOT WATER
S	DDECCLIDE DELIEE VALVE	HWS HOT WATER SUPPLY
<u></u>	PRESSURE RELIEF VALVE	HWR HOT WATER RETURN
C+S	PIPE TURN DOWN	P1 FIXTURE NUMBER (SEE SCHEDULE)
0+	PIPE TURN UP	SS SANITARY SEWER
5 101 5	PIPE TEE DOWN	VS VENT STACK
<u> </u>	PIPE TEE UP	VT VENT LINE
		VTR VENT THRU ROOF
	PIPE TRANSITION	VB VACUUM BREAKER WH WATER HEATER
5 5	STRAINER	WS WASTE STACK
E	CLEAN OUT	WO WASIESTAUN



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PLUMBING NOTES & SCHEDULES

P0.1

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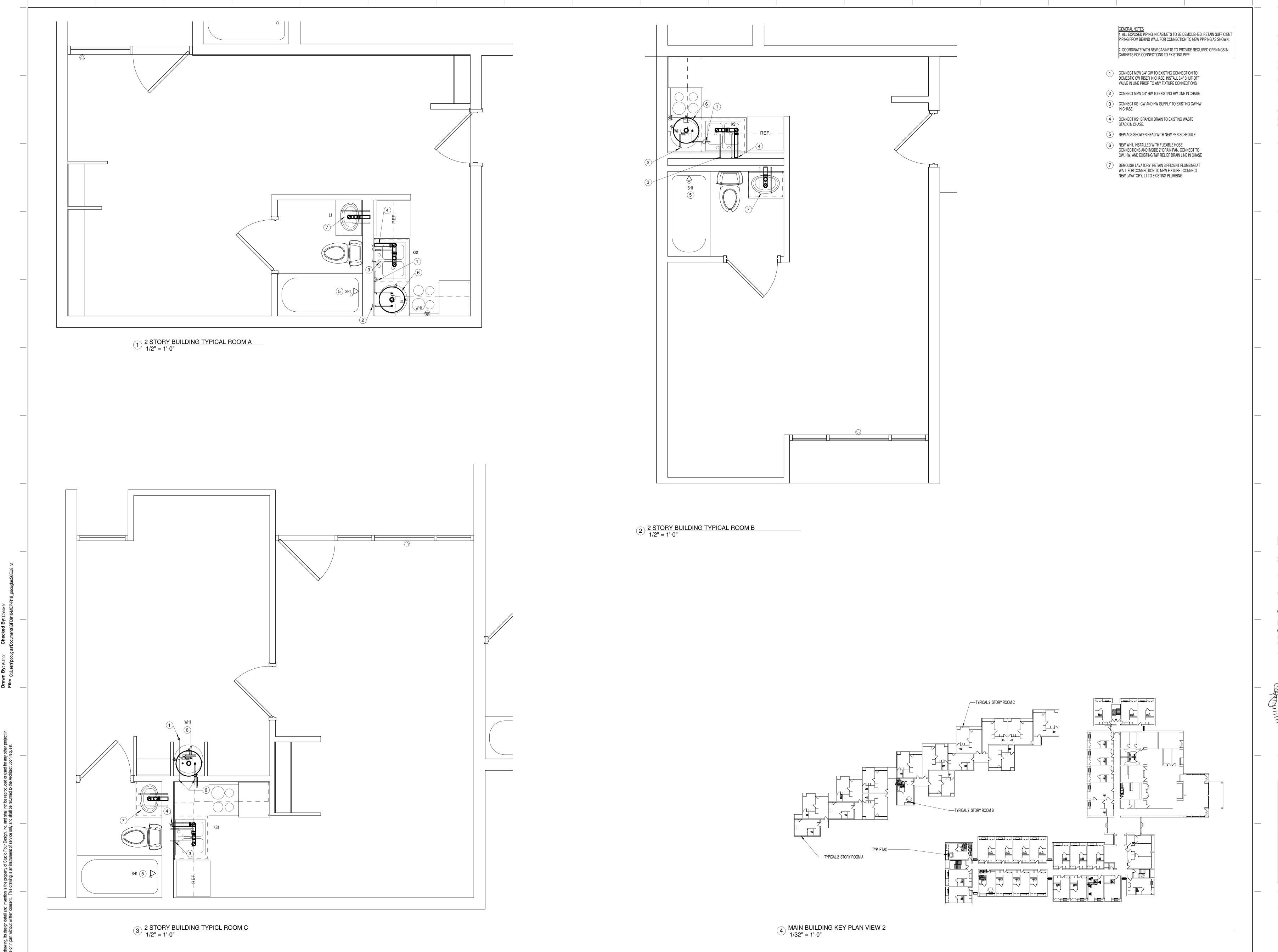
NO. 109448

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Revisions
No. Descripton Date

Job Number: 19089.00

MAIN TOWER TYPICAL
FLOOR PLANS

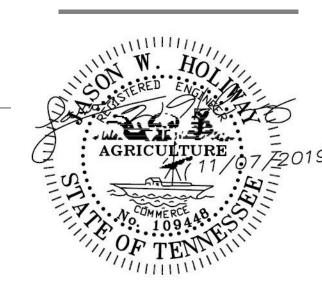


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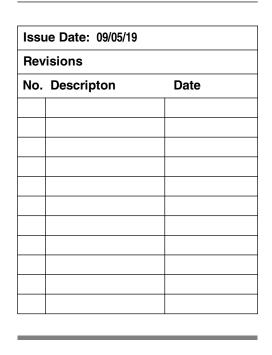
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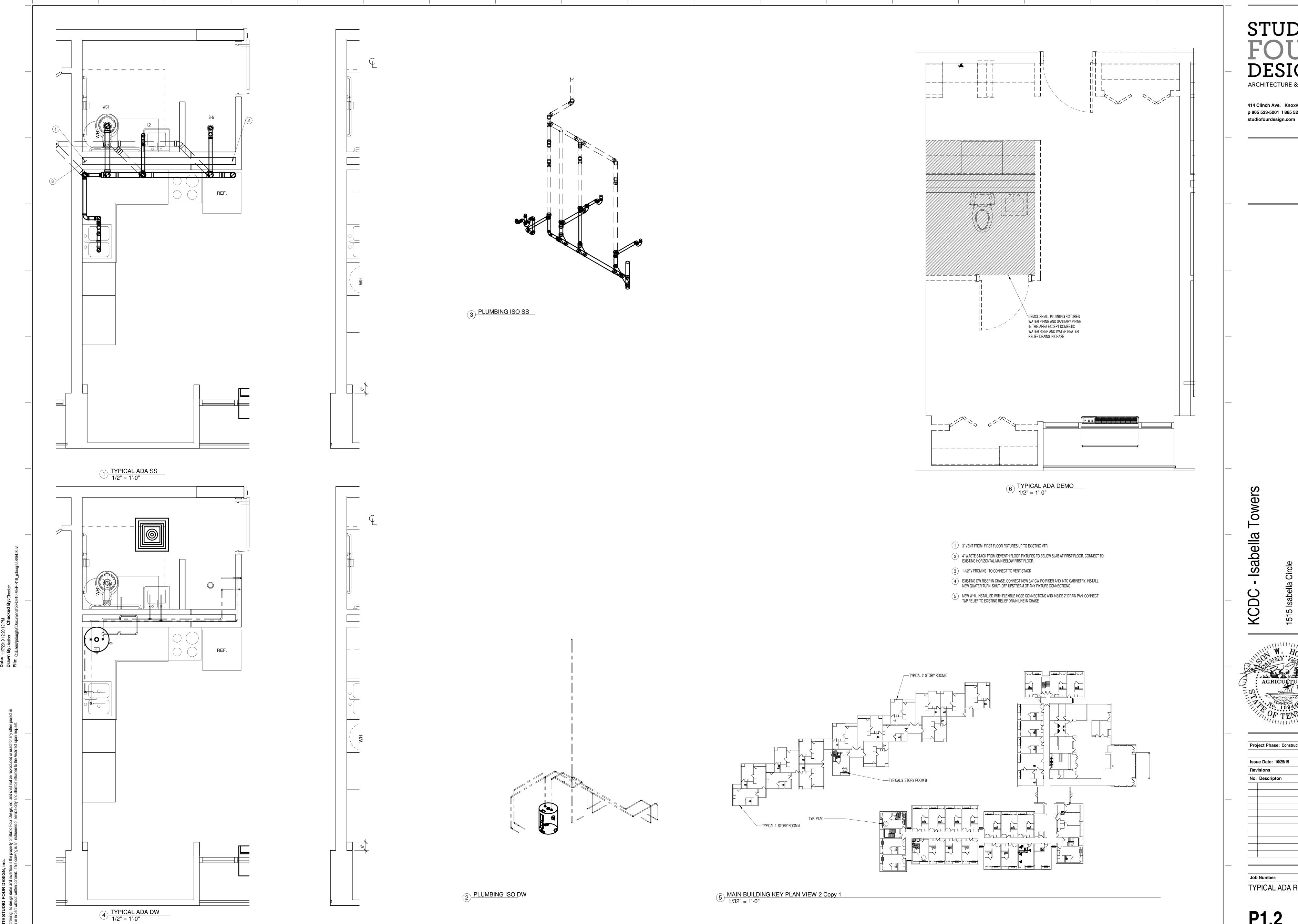
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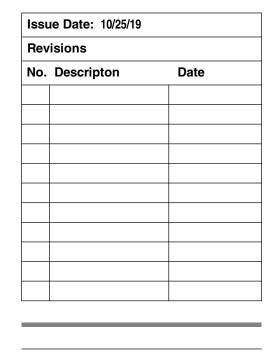
TWO STORY BUILDING
TYPICAL FLOOR PLANS



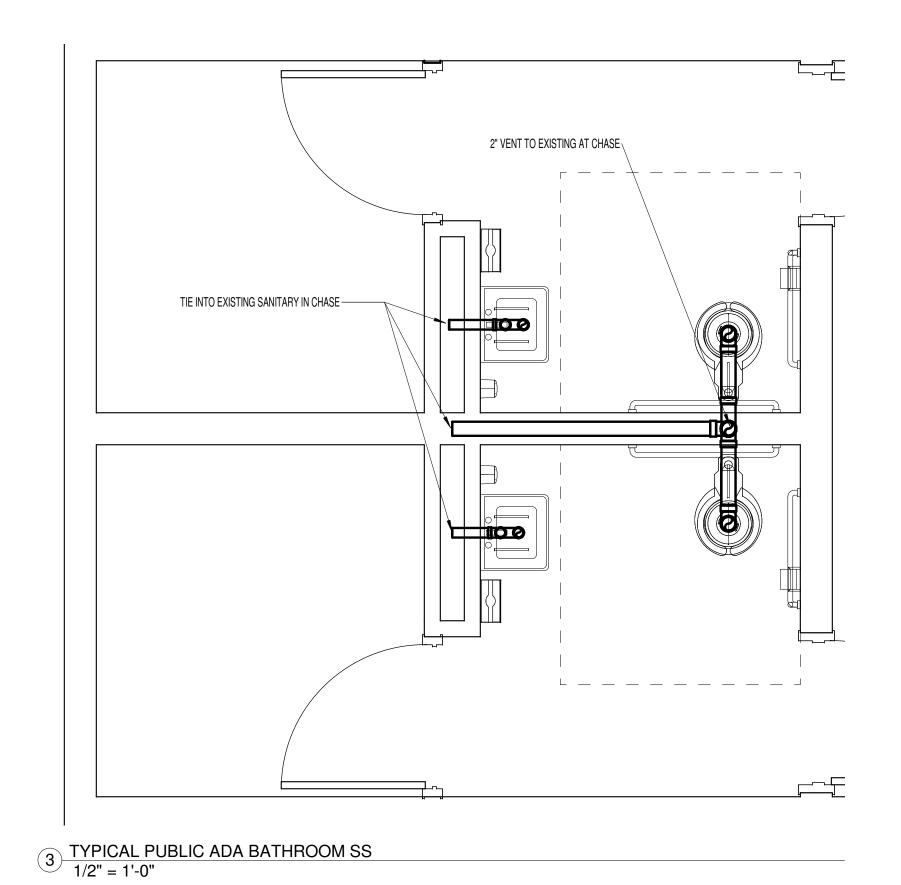
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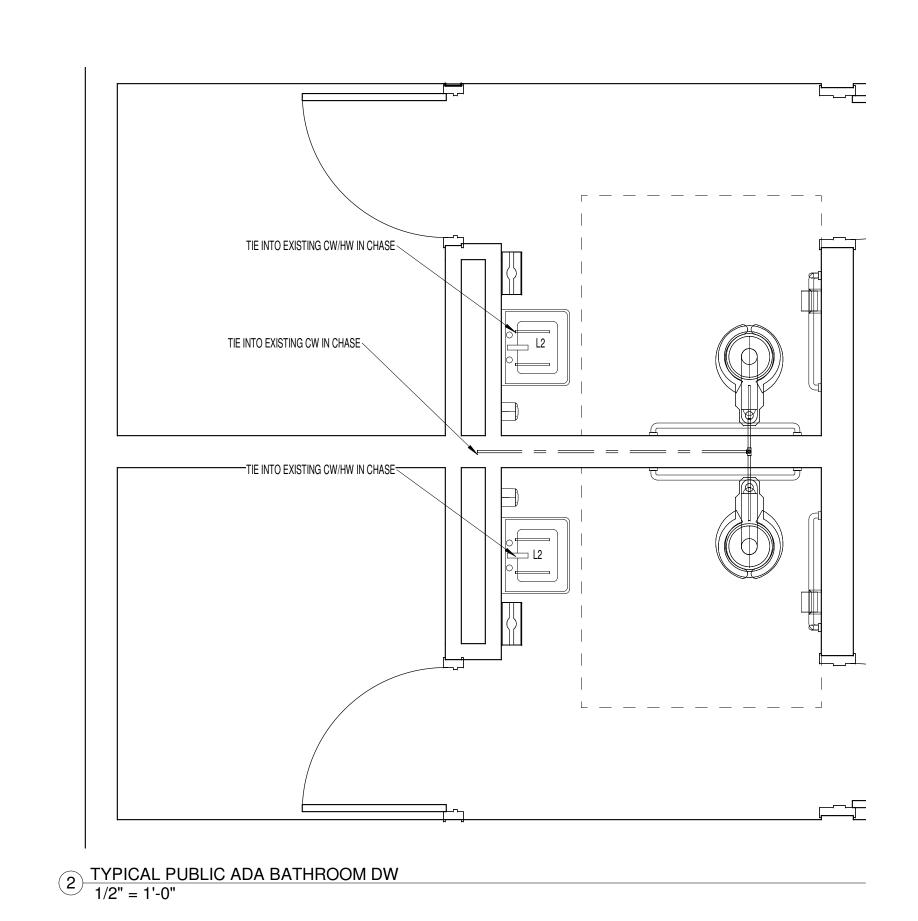
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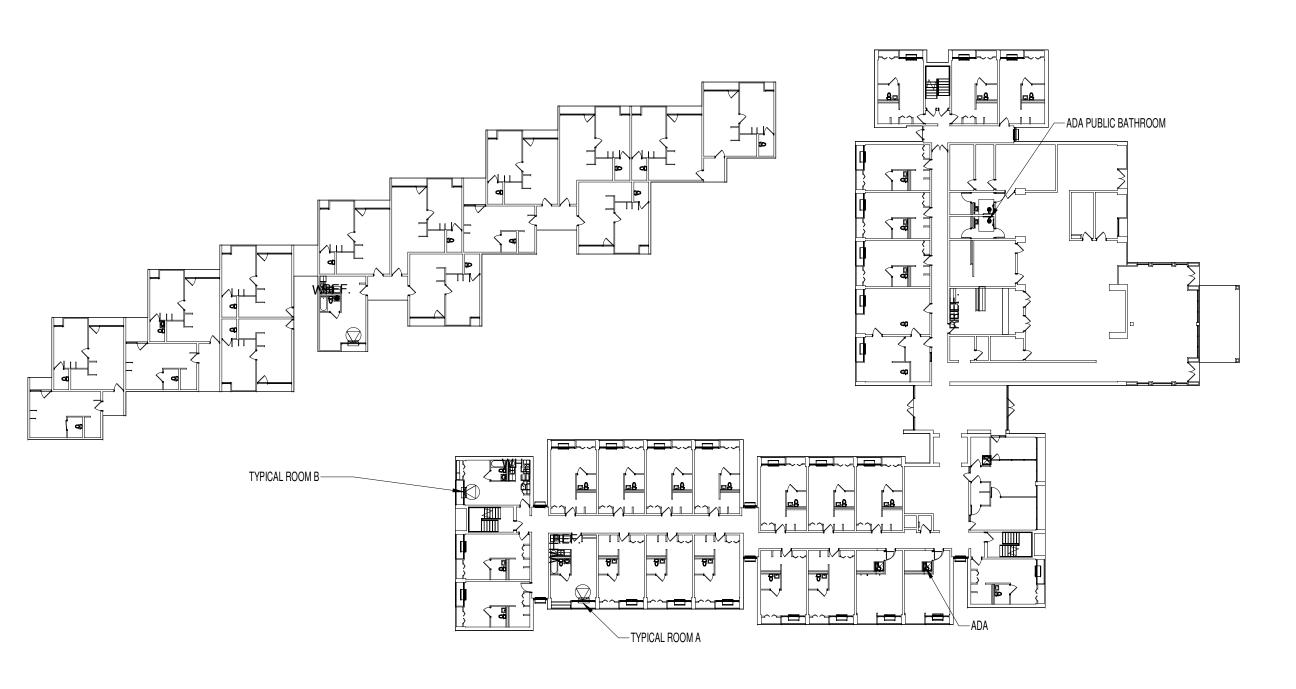
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Job Number: 19089.00
TYPICAL ADA ROOM







MAIN BUILDING KEY PLAN VIEW Copy 1

1/32" = 1'-0"

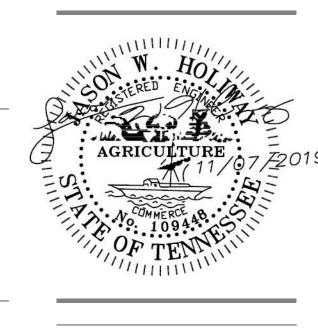
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Project Phase: Construction Documents

Issue Date: 11/05/19 Revisions							
No. D	escripton	Date					

Job Number: 19089.0
TYPICAL ADA PUBLIC
BATHROOM

FIRE SPRINKLER SYSTEM NOTES:

FIRE SPRINKLER CONTRACTOR SHALL PROVIDE A FIRE SPRINKLER SYSTEM DESIGN COMPLIANT WITH ALL APPLICABLE PROVISIONS OF NFPA 13 2016 ADDITION. 2. THESE DRAWINGS ARE SCHEMATIC FOR DESIGN INTENT ONLY AND THE DESIGN-BUILD CONTRACTOR IS RESPONSIBLE FOR A COMPLETE AND FUNCTIONAL SYSTEM WITH ANY

NECESSARY APPURTENANCES. FIRE SPRINKLER SHOP DRAWINGS (2 SETS OF WORKING PLANS, PRODUCT DATA AND HYDRAULIC CALCULATIONS) ARE TO BE SUBMITTED FOR REVIEW AFTER THE ENGINEER

OF RECORD IS SATISFIED THAT THE SHOP DRAWINGS SATISFY THE REQUIREMENTS OF THE NFPA 13 AND THE PROJECT DOCUMENTS. THE ENGINEER OF RECORD SHALL CITE SUCH APPROVAL ON THE SHOP DRAWINGS

ALL DETAIL DESIGN DRAWINGS AND CALCULATIONS SHALL BE SEALED BY A SPRINKLER SYSTEM ENGINEER OR R.M.E. LICENSED IN THE STATE OF TENNESSEE. THE SPACES ARE CLASSIFIED AS "LIGHT HAZARD" THROUGHOUT SYSTEM, DESIGN CALCULATIONS SHALL INCLUDE SPRINKLERS TO PROVIDE A DESIGN DENSITY OF 0.10 GPM/SQ. FT. FOR THESE OCCUPANCIES. ALL MECHANICAL ROOMS AND JANITOR CLOSETS SHALL HAVE A DESIGN DENSITY OF 0.15 GPM/SQ. FT. ALL SYSTEM VALVES AND GAUGES SHALL BE ACCESSIBLE FOR OPERATION, INSPECTION, TEST, AND MAINTENANCE.

COORDINATE LOCATION OF SPRINKLER WITH ALL OTHER DISCIPLINES. SPRINKLER HEADS SHALL BE CENTER OR QUARTERED IN CEILING TILE UNLESS NOTED OTHERWISE. ALL SPRINKLERS IN GRID CEILING TO BE ON RETURN BENDS OR UTILIZE FLEXIBLE SPRINKLER DROP (VICTAULIC AH2CC OR APPROVED EQUAL). CONTRACTOR SHALL SUPPLY FLEXIBLE PIPE COUPLINGS ON ALL PIPES 2" OR LARGER AT ALL FLEXIBLE JOINTS PER NFPA 13. FLEXIBLE COUPLINGS SHALL ALSO BE PROVIDED

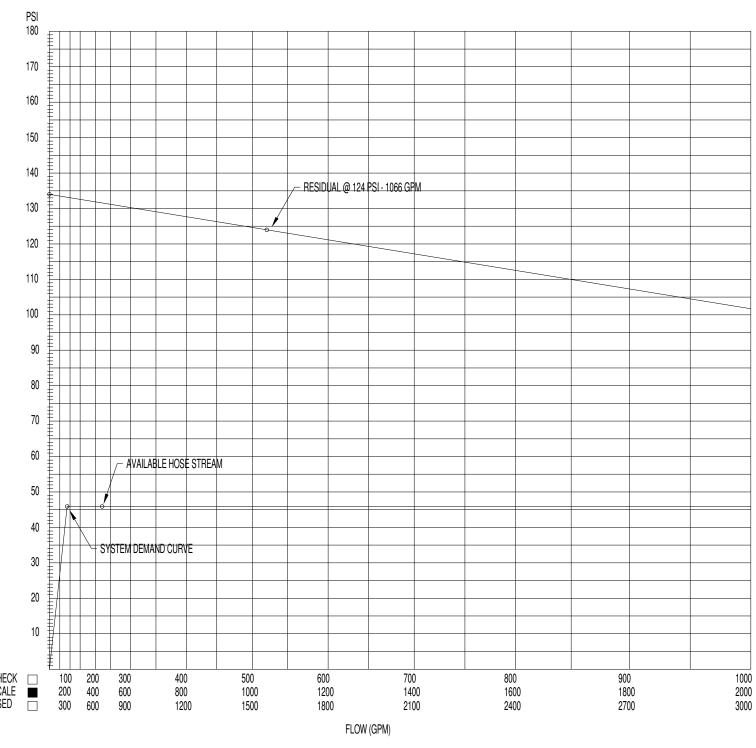
WITHIN 1' OF BOTH SIDES OF STRUCTURAL ELEMENTS THAT PIPING PASSES THROUGH. 9. ALL PIPING SHALL HAVE HANGERS INSTALLED PER NFPA 13. 10. PENETRATION OF FIRE AND SMOKE BARRIERS/PARTITIONS SHALL BE ADEQUATELY SEALED/PROTECTED.

SPRINKLER REFERENCE NOTES:

ALL PLACES WHERE EXISTING HEADS WERE REMOVED DURING NEW CONSTRUCTION, SPRINKLER PIPING SHALL BE CAPPED BEHIND SURFACE AND/OR CEILING. FIELD LOCATE EXISTING PIPE AND CONNECT NEW HEADS. PROVIDE NEW PIPE WHERE NEEDED.

CONTRACTOR RESPONSIBLE FOR HYDROSTATICALLY TESTING SYSTEM AT 200psi FOR 2 HOURS AFTER SYSTEM IS COMPLETE. AS PER NFPA 8.7.4.1.1.2 - HORIZONTAL SIDEWALL SPRINKLERS SHALL BE PERMITTED TO BE LOCATED IN A ZONE 6 IN. TO 12 IN. OR 12 IN. TO 18 IN.. BELOW NON-COMBUSTIBLE AND LIMITED COMBUSTIBLE CEILINGS.

EXISTING HEADS SHALL BE ALLOWED TO REMAIN WHERE APPLICABLE AND PROVIDE PROPER COVERAGE IN COMPLIANCE WITH NFPA 13.



	SPRINKLER HEAD LEGEND							
SYMBOL	TYPE	TEMP	K	MAX PRESSURE	MANUFACTURE	MODEL	SERIES	COMMENTS
•	PENDENT	160°	4.2	175	TYCO	TY2596	LFII	CONCEALED, FLAT PLATE
0	PENDENT	155°	4.9	175	TYCO	TY2234	LFII	RESIDENTIAL
4	WALL	155°	4.2	175	TYCO	TY1334	LFII	RESIDENTIAL
* "WG" DE	* PROVIDE ALL BRACING, SUPPORTS AND HANGERS PER NFPA 13 - 2016 EDITION * "WG" DENOTES WIRE GUARD * COORDINATE SPRINKLER HEAD FINISH WITH ARCHITECT							

THE FIRE PROTECTION SYSTEM IS EXISTING. THE INTENT OF THIS DRAWING IS TO SHOW A NEW HEAD LAYOUT. THE MOST HYDRAULICALLY DEMANDING AREA IS NOT CHANGING NOR IS THE HAZARD CLASSIFICATION.

THE ROOMS WITHOUT HEADS SHOWN ARE EXISTING ROOMS AND ARE ALREADY COVERED BY EXISTING HEADS.

ARCHITECTURE & INTERIORS

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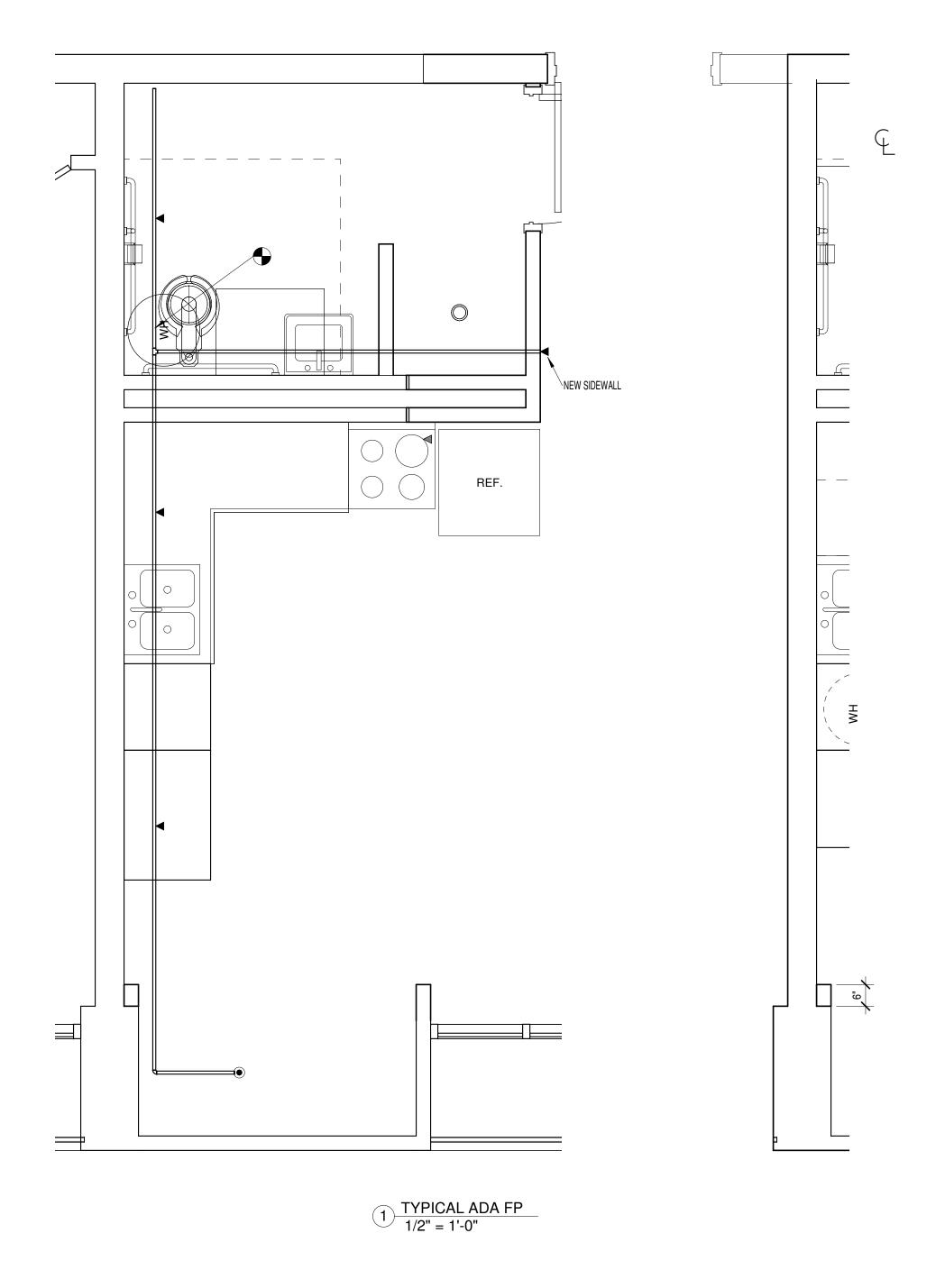
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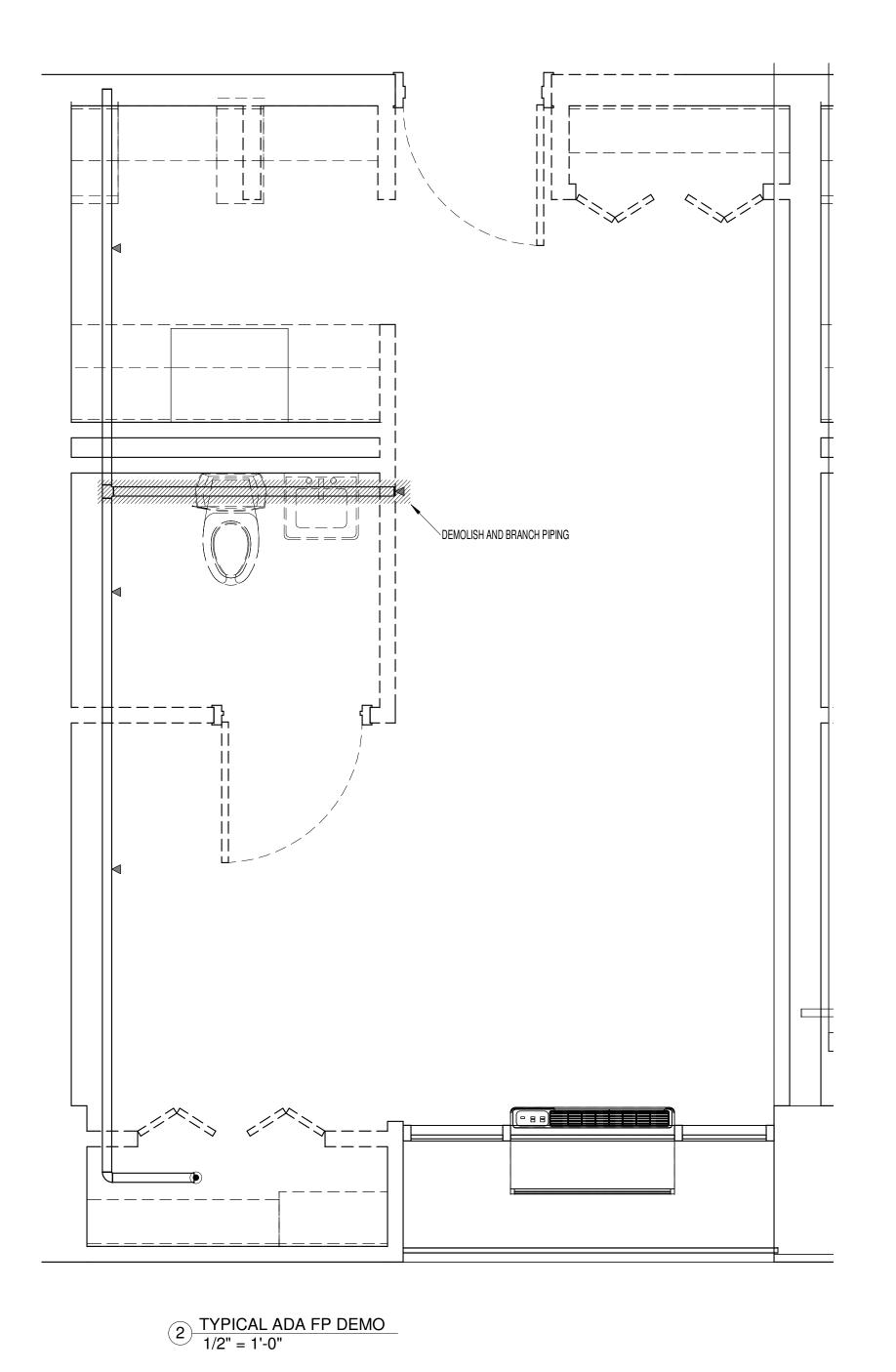
Project Phase: Construction Documents

Issue Date: 10/30/19 No. Descripton

Job Number: 19089.00
FIRE PROTECTION NOTES

FP0.1





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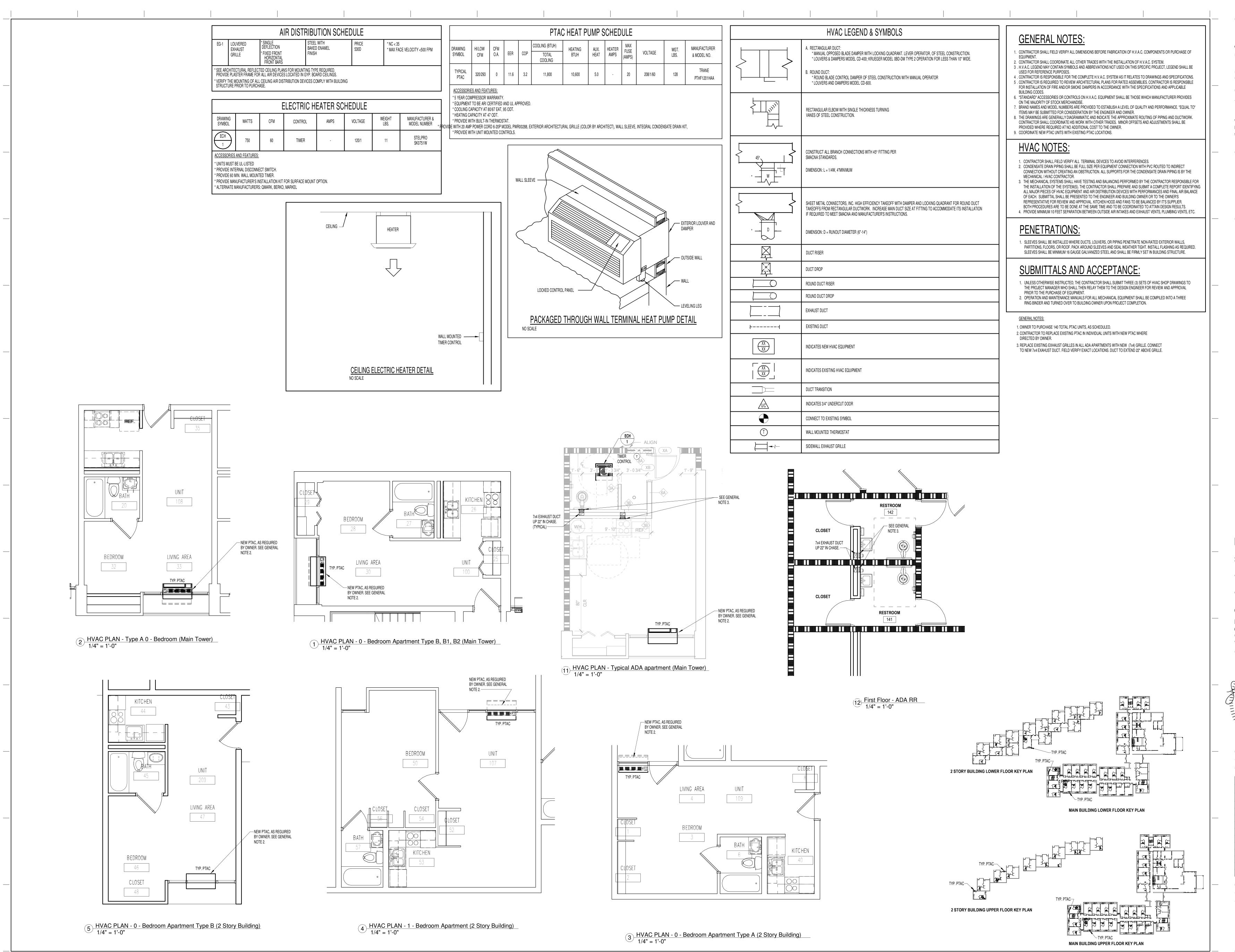


Project Phase: Construction Documents

Revisions							
No.	Descripton	Date					

Job Number:
ADA FP PLAN

FP1.1

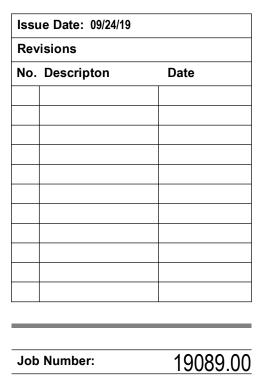


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Isabella KCDC

Project Phase: Construction Documents



TYPICAL HVAC PLANS

	LEGEND	
SYMBOL:	DESCRIPTION:	ABE
	PANELBOARD, MOUNT TOP 6'-0" AFF, REFER TO PANELBOARD SCHEDULES FOR REQUIREMENTS. SIDE WITH DESIGNATION IS FRONT UNLESS OTHERWISE NOTED.	
	EXISTING PANELBOARD	
<u>"TTB"</u>	EXISTING TTB TO REMAIN	
\\\A-1	HOME RUN TO PANEL WITH CIRCUIT SHOWN, CROSS MARKS INDICATE NUMBER OF CURRENT CARRYING CONDUCTORS WHERE MORE THAN TWO, NOT INCLUDING GROUND, MINIMUM #12 AWG.	
 - 	OVERHEAD WIRING	
	UNDERGROUND WIRING	
	FLUORESCENT OR LED LIGHTING FIXTURE; "A" INDICATES TYPE, REFER TO LIGHTING FIXTURE SCHEDULE. "b" CORRESPONDS TO CONTROLLING SWITCH.	
_b A	HID, INCANDESCENT, LED, OR COMPACT FLUORESCENT LIGHTING FIXTURE; "A" INDICATES TYPE, REFER TO LIGHTING FIXTURE SCHEDULE. "b" CORRESPONDS TO CONTROLLING SWITCH.	
Sa	LIGHT SWITCH, TOGGLE, 20 AMP. 277V, MTD 48" AFF, UNO. "a" CORRESPONDS TO FIXTURES CONTROLLED BY SWITCH.	
S_{3}	3-WAY LIGHT SWITCH, 20 AMP, 277V, MTD 48" AFF, UNO.	
OS	OCCUPANCY SENSOR, DUAL TECHNOLOGY, WALL MOUNTED, WATTSTOPPER DW-100 OR EQUAL, INSTALL 48" AFF. VACANCY STYLE.	
J	JUNCTION BOX, SIZE AND USE AS REQUIRED	
•=	20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE MTD. 42" AFF, UNO. TAMPER RESISTANT TYPE IN DWELLING UNITS.	
•	20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD 18" AFF, UNO. "U" INDICATES DEVICE WITH USB CHARGING PORT. TAMPER RESISTANT TYPE IN DWELLING UNITS.	
•	20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD 42" AFF, UNO. TAMPER RESISTANT TYPE IN DWELLING UNITS.	
•	20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD 18" AFF, UNO. TAMPER RESISTANT TYPE IN DWELLING UNITS.	
\bigcirc	50A, 250V, 3 POLE, 3-WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 10-50R.	
\bigcirc	20A, 250V, 2 POLE, 3-WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 6-20R.	
	EXHAUST FAN, PROVIDE 120 VOLT CONNECTION PER NEC.	
4	HEAVY DUTY FUSED DISCONNECT SWITCH, PROVIDE FUSES AS RECOMMENDED BY EQUIPMENT MFGR. USE NEMA CONFIGURATION AS REQUIRED	
M	ELECTRIC MOTOR	
TV	TELEVISION OUTLET. PROVIDE 3/4" CONDUIT FROM BOX TO NEAREST CATV BOX IN CORRIDOR OF SAME FLOOR. MTD AT SAME HEIGHT AS EXISTING. EXTEND 1 RG-6 BACK TO CATV BOX.	
\triangleleft —	EXISTING PHONE OUTLET.	S\
SA	SINGLE STATION ALARM COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WALL OR CEILING MOUNTED AS INDICATED ON PLANS, CONNECT TO 120V, MOUNT TOP OF DETECTOR 6" BELOW CEILING WHERE WALL MOUNTED. INTERLOCK ALL DETECTORS IN UNITS. KIDDE MODEL NO. KN-COPE-1 OR EQUAL.	
Н	CEILING HEATER	
PC	WIRELESS EMERGENCY CALL SYSTEM PULLCORD. PROVIDE SINGLE GANG PLASTIC BOX AND MOUNT PULLCORD AT HEIGHT TO WHERE CORD HANGS WITHIN 3" OF FLOOR. RCARE BP-7RWR OR EQUAL. PROVIDE BATTERIES AS NECESSARY.	
LOC	WIRELESS EMERGENCY CALL SYSTEM LOCATOR. MOUNTED UP HIGH ON WALL JUST CLEAR OF CEILING. PROVIDE MOUNTING BRACKET AND POWER SUPPLY. RCARE LT-490-G4 OR EQUAL. "WP" INDICATES LOCATOR TO BE MOUNTED IN WEATHERPROOF ENCLOSURE WITH BUILT-IN DUPLEX RECEPTACLE, HEATING PLATE, AND COOLING FAN. RCARE WPE OR EQUAL.	
[P]	WIRELESS EMERGENCY CALL SYSTEM HUB WITH BUILT-IN MASTER RECEIVER. PROVIDE SHELF AND MOUNT ABOVE EMERGENCY CALL SYSTEM MONITOR. RCARE RCUBE OR EQUAL.	
REP	WIRELESS EMERGENCY CALL SYSTEM REPEATER. MOUNTED UP HIGH ON WALL JUST CLEAR OF CEILING. PROVIDE MOUNTING BRACKET AND POWER SUPPLY. RCARE RP-990-G4 OR EQUAL.	
MON	WIRELESS EMERGENCY CALL SYSTEM CONSOLE WITH TOUCHSCREEN. PROVIDE VESA WALL MOUNT BRACKET AND MOUNT AT HEIGHT CONFIRMED BY OWNER. RCARE CC980 OR EQUAL.	
GRA	GENERATOR REMOTE ANNUNCIATOR.	
FLM	FUEL LEVEL MONITORING CONSOLE FOR GENSET BURIED TANK. VEEDER-ROOT TLS-450 PLUS OR SIMILAR.	
	-	ı

THE CONTRACTOR SHALL VISIT THE JOB SITE AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS THAT WILL AFFECT EXECUTION OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING ALL UTILITY CO. AID TO CONSTRUCTION FEES. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT/APPLICABLE NATIONAL ELECTRICAL CODE, NFPA 70, LOCAL CODES/ORDINANCES AND THE APPLICABLE ACCESSIBILITY CODE. SHOULD PLANS AND CODES CONFLICT, THE CODE TAKES PRECEDENCE. MAKE NO CHANGES, EVEN IN THE CASE OF CONFLICT, WITHOUT FIRST OBTAINING APPROVAL OF THE "PROVIDE" AS USED HERE AND ON THE DRAWINGS, IS AN ALL-INCLUSIVE TERM REQUIRING CONTRACTOR TO FURNISH, INSTALL, WIRE, AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, AND MOUNTING HARDWARE TO ENSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET SYSTEM REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT OTHER FACILITIES AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR

REPLACEMENT OF FACILITIES, EQUIPMENT, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE COMPLETION OF THIS WORK. ELECTRICAL CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO TENNESSEE ONE CALL, (800) 351-1111, PRIOR TO COMMENCEMENT OF ANY EXCAVATION. PROVIDE SPECIFIED EQUIPMENT, AS NOTED ON DRAWINGS, OR APPROVED EQUAL. ADDITIONAL EQUIPMENT AND MATERIAL MAY BE REQUIRED OTHER THAN THAT SHOWN ON DRAWINGS TO INSTALL THE SPECIFIED EQUIPMENT SUCH AS HANGERS, SUPPORTS, ETC. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, AND EQUIPMENT REQUIRED. THE CONTRACTOR SHALL VERIFY THAT THE ACTUAL EQUIPMENT SUPPLIED HAS THE SAME ELECTRICAL SPECIFICATIONS AS THE EQUIPMENT USED AS THE BASIS OF DESIGN. IF THE EQUIPMENT IS DIFFERENT, THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE PANELS AND CIRCUITS AND INCLUDE THEM IN SUBMITTALS.

ALL ITEMS SHALL BE NEW. USED EQUIPMENT AND MATERIALS WILL NOT BE ALLOWED UNLESS SPECIFICALLY NOTED TO BE EXISTING OR RELOCATED ON RESPECTIVE PROJECT SITE. ALL MATERIALS SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORY, INC. D. DESIGN IS BASED ON AN EXISTING 208Y/120 VOLT, THREE PHASE, FOUR WIRE, SOLIDLY GROUNDED WYE SERVICE. 1. UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT A DIGITAL (PDF) COPY OF ELECTRICAL SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL RELAY THEM TO THE

DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT. THE SUBMITTAL SHALL INCLUDE LIGHTING FIXTURES, SWITCHGEAR, GENERATOR AND FIRE ALARM EQUIPMENT, WHEN INCLUDED IN THE PROJECT. OPERATION AND MAINTENANCE MANUALS FOR ALL ELECTRICAL EQUIPMENT SHALL BE COMPILED AND SUBMITTED IN DIGITAL (PDF) TO THE BUILDING OWNER UPON PROJECT COMPLETION.

2. ALL WIRES SHALL BE TERMINATED AND LABELED. ALL JUNCTION BOXES SHALL BE LABELED TO INDICATED THE CIRCUITS CONTAINED IN THE BOX. 3. PANELBOARD LEGENDS SHALL BE TYPED. LABEL ALL PANELBOARDS/SWITCHGEAR INDICATING LOCATION OF BREAKER SERVING PANEL IN ACCORDANCE WITH N.E.C.

4. ALL FEEDERS #4 AND LARGER SHALL BE MEGGER TESTED AFTER INSTALLATION. 5. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER AND #12 AWG MINIMUM WITH THHN/THWN, 600 VOLT INSULATION.

3. PROVIDE A DEDICATED NEUTRAL, COLOR CODED, FOR EACH UNGROUNDED CONDUCTOR. SHARING OF NEUTRALS IS PROHIBITED. 7. DO NOT INSTALL MORE THAN THREE CIRCUITS (SIX CURRENT CARRYING CONDUCTORS) IN A CONDUIT. 18. THE MINIMUM CONDUIT SIZE SHALL BE 1/2". INTERIOR CONDUITS SHALL BE EMT; UNDERGROUND CONDUIT AND CONCRETE ENCASED CONDUIT SHALL BE SCHEDULE 40 PVC. EXTERIOR

EXPOSED CONDUIT SHALL BE SCHEDULE 80 PVC., UNLESS NOTED OTHERWISE. 19. MC CABLE MAY BE USED FOR CONCEALED BRANCH CIRCUIT WIRING IN INTERIOR DRY LOCATIONS.

20. A GREEN, COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND EQUIPMENT. 1. BONDING JUMPERS SHALL BE USED TO BOND CONDUIT TO ENCLOSURES, BOXES, AND EQUIPMENT WHERE KNOCKOUTS ARE USED.

22. ALL DIMENSIONS ARE MEASURED TO THE CENTER OF THE DEVICE. 23. THE CONTRACTOR SHALL PROVIDE FIRESTOPPING OF ALL RATED PENETRATIONS PER DETAILS. ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDES OF A FIRE RATED WALL SHALL HAVE A TWO

FOOT MINIMUM HORIZONTAL SEPARATION. 24. THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY POWER AND LIGHT. EQUIVALENT TO ONE 150-WATT INCANDESCENT LAMP PER 200 SQ. FT. 25. THE CONTRACTOR SHALL GUARANTY ALL WORK TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.

CONTRACTOR SHALL FURNISH AND INSTALL LIGHT SWITCHES/CONTROLS FOR ALL LIGHTING AT LOCATIONS AS SHOWN ON THE DRAWINGS. CONFIRM EXACT LIGHT FIXTURE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

CONNECT ALL EXIT AND EMERGENCY LIGHTS TO UNSWITCHED LIGHTING CIRCUITS. UNITS SHALL OPERATE AUTOMATICALLY UPON LOSS OF POWER. PRIOR TO ORDERING THE SPECIFIED LIGHT FIXTURES, THE CONTRACTOR SHALL VERIFY THE FIXTURE IS SUITABLE FOR THE CEILING TYPE. FOR EXAMPLE, A FIRE RATED FIXTURE SHALL BE INSTALLED IN A FIRE RATED ASSEMBLY. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING.

ALL LIGHT FIXTURES REMOVED SHALL BE TURNED OVER TO OWNER.

CONTRACTOR SHALL FURNISH AND INSTALL FUSED DISCONNECTS FOR ALL HVAC EQUIPMENT WITH FUSES AS PER MANUFACTURER RECOMMENDATIONS. AMPACITY, POLES, AND TYPE NEMA ENCLOSURE OF DISCONNECT SWITCHES AS REQUIRED. FURNISH AND INSTALL A WEATHERPROOF, GFCI DUPLEX RECEPTACLE OUTLET WITHIN 25 FEET OF EACH HVAC PIECE OF

MOUNT ALL SWITCHES AND OTHER ELECTRICAL EQUIPMENT IN COMPLIANCE WITH APPLICABLE PROVISIONS OF THE APPLICABLE ACCESSIBILITY CODE.

ALL RESTROOM, EXTERIOR, COUNTER TOP, AND ROOF TOP HVAC SERVICE RECEPTACLES SHALL BE GFCI. ALL EXTERIOR RECEPTACLES SHALL HAVE APPROVED WEATHERPROOF COVERS AS PER NEC 406.8 (B). 5. ALL DAMP AND WET LOCATION DEVICES SHALL BE WEATHER RESISTANT.

CONTRACTOR SHALL FURNISH AND INSTALL ALL COMBINATION TELEPHONE AND DATA CONDUITS, BOXES, PLYWOOD TERMINAL BOARD, ETC. PROVIDE APPROPRIATE NYLON PULLSTRING/ROPE IN ALL EMPTY CONDUITS.

FOR ADDITIONAL INFORMATION.)

REMOVE ALL EXISTING DEVICES IN WALL AND CEILINGS BEING REMOVED AND PROPERLY ABANDON CONDUIT SYSTEM. REMOVE ALL EXISTING UNUSED OR ABANDONED CONDUIT, WIRING, JUNCTION BOXES, ETC. ABOVE CEILING.

EXPAND THE EXISTING FIRELITE ADDRESSABLE FIRE DETECTION AND EVACUATION SYSTEM AS DESCRIBED HEREIN AND AS SHOWN ON THE PLANS: TO BE WIRED, CONNECTED, TESTED, AND LEFT IN FIRST-CLASS OPERATING CONDITION. THE SYSTEM SHALL USE ADDRESSABLE INITIATING DEVICE CIRCUITS WITH REQUIRED SUPERVISION. ALL EQUIPMENT SHALL BE UL LISTED AND LABELED. THE ENTIRE INSTALLATION SHALL CONFORM TO THE APPLICABLE SECTIONS OF NFPA 72, NATIONAL FIRE ALARM CODE; NFPA 101, LIFE SAFETY CODE; NFPA 70, NATIONAL ELECTRICAL

CODE; THE AMERICANS WITH DISABILITIES ACT; AND LOCAL AUTHORITIES HAVING JURISDICTION TO MEET THE COMPLETE FUNCTIONALITY REQUIREMENTS AS SET FORTH IN THESE COORDINATE AND INSTALL REQUIRED ANCILLARY ALARM FUNCTIONS WHERE SHOWN ON THE PLANS. EXAMPLES ARE MONITORING OF SPRINKLER SYSTEMS AND HVAC SHUTDOWN.

ADDRESSABLE FIRE ALARM CONTROL PANEL - EXISTING TO REMAIN, FIRELITE MS-9600UDLS. PROVIDE BATTERY CALCULATIONS TO SHOW THAT THE PROPER QUANTITY OF BATTERIES ARE SUPPLIED THAT UPON LOSS OF 120 VAC POWER WILL PROVIDE A MINIMUM OF 24 HOURS OF NORMAL SUPERVISORY MODE FOLLOWED BY 5 MINUTES OF ALARM INDICATION. PROVIDE SUBMITTALS CONTAINING COMPLETE DESCRIPTIVE DATA AND CADD DRAWING SHOWING CONDUIT LAYOUT, WIRE COUNT, AND DEVICE LOCATIONS.

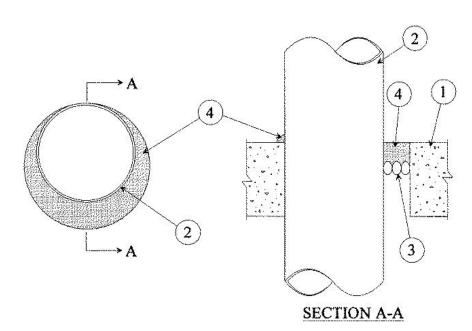
SYSTEM SHALL BE FULLY TESTED BY A NICET CERTIFIED TECHNICIAN IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND BE WARRANTED FOR ONE YEAR.

ALL REQUIRED DOCUMENTATION REGARDING THE DESIGN OF FIRE DETECTION, ALARM, AND COMMUNICATIONS SYSTEMS AND THE PROCEDURES FOR MAINTENANCE, INSPECTION, AND TESTING OF FIRE DETECTION, ALARM AND COMMUNICATIONS SYSTEMS SHALL BE MAINTAINED AT AN APPROVED, SECURED LOCATION FOR THE LIFE OF THE SYSTEM. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE FIRE ALARM SYSTEM IS ACCEPTABLE TO THE LOCAL FIRE OFFICIAL HAVING JURISDICTION. ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR AN OPERATING AND FULLY FUNCTIONAL SYSTEM IS INCLUDED IN THIS CONTRACT. THE FIRE ALARM CONTRACTOR MUST BE CERTIFIED IN ACCORDANCE WITH THE TENNESSEE ALARM CONTRACTORS LICENSING ACT OF 1991, TCA TITLE 62, AND CHAPTER 32 (CALL 615-741-9771 **ELECTRICAL ABBREVIATIONS**

ABBREVIATIONS DESCRIPTION: ABOVE FINISHED FLOOR - MEASURED FROM FLOOR TO CENTER OF DEVICE, EXCEPT AS OTHERWISE SPECIFICALLY NOTED. AMERICANS WITH DISABILITIES ACT OF 1990 ADA ABOVE FINAL GRADE AFG AUTOMATIC GENERATOR TRANSFER DEVICE AGTD INDICATES DEVICE TO BE CEILING MOUNTED INDICATES FIXTURE TO BE CONNECTED TO BUILDING EMERGENCY POWER SYSTEM. ELECTRIC UNIT HEATER FUSE FUSE AS REQUIRED FUSE PER NAMEPLATE REQUIREMENTS GROUND INDICATES RECEPTACLE OR CIRCUIT BREAKER, AS APPLICABLE, TO HAVE GROUND FAULT PROTECTION MCM Kcmil (THOUSAND CIRCULAR MILS) NEC NATIONAL ELECTRICAL CODE INDICATES FIXTURE TO BE CONNECTED UNSWITCHED TO SERVE AS A "NIGHT" LIGHT INDICATES DEVICE IS EXISTING TO RELOCATED RELOCATED-SHOWN AT FINAL LOCATION INDICATES DEVICE IS EXISTING TO REMAIN INDICATES DEVICE TO BE REMOVED SCIR SHORT CIRCUIT INTERRUPTING RATING S.O. SPACE ONLY TRANSIENT VOLTAGE SURGE SUPPRESSOR UNO UNLESS NOTED OTHERWISE VARIABLE FREQUENCY DRIVE - PROVIDED UNDER DIVISION 15 VFD **VERIFY IN FIELD** INDICATES DEVICE TO HAVE WEATHERPROOF COVER, TAYMAC MODEL NO. MX3200 OR EQUAL.

FIRE ALARM DEVICE LEGEND							
SYMBOL:	DESCRIPTION OF DEVICE	HEIGHT					
F "FACP"	FIRE ALARM CONTROL PANEL	TOP @ 6'-0"					
RA	REMOTE ANNUNCIATOR PANEL	TOP @ 5'-6"					
Р	MANUAL PULL STATION	48"					
S	SMOKE DETECTOR	CLG					
CO	CARBON/HEAT DETECTOR	CLG					
DD	DUCT MOUNTED SMOKE DETECTOR	DUCT MOUNTE					
R	REMOTE TEST STATION FOR DD	5'-6"					
HS 15cd	HORN/STROBE UNIT, 15cd, RED	7'-6"					
HS 75cd	HORN/STROBE UNIT, 75cd, RED	7'-6"					
HS 110cd	HORN/STROBE UNIT, 110cd, RED	7'-6"					
HS WP	WEATHER PROOF HORN/STROBE UNIT	7'-6"					
S 15cd	STROBE UNIT, 15cd, RED	7'-6"					
S 75cd	STROBE UNIT, 75cd, RED	7'-6"					
S 110cd	STROBE UNIT, 110cd, RED	7'-6"					
SS 15cd	SPEAKER/STROBE UNIT, 15cd, RED	7'-6"					
SS 30cd	SPEAKER/STROBE UNIT, 30cd, RED	7'-6"					
SS 75cd	SPEAKER/STROBE UNIT, 75cd, RED	7'-6"					
SS 110cd	SPEAKER/STROBE UNIT, 110cd, RED	7'-6"					
TS	TAMPER SWITCH	AS REQUIRED					
FS	FLOW SWITCH	AS REQUIRED					
PS	PRESSURE SWITCH	AS REQUIRED					
EP	EXPANSION POWER SUPPLY, 120V	AS REQUIRED					
PW	NAC POWER, 4 POINT	AS REQUIRED					
ВА	12 VOLT BATTERY 10 AH (2)	AS REQUIRED					
RL	IAM RELAY, IDNET	AS REQUIRED					
H 190°	HEAT DETECTOR 190° FIXED TEMP.	CLG					
H 135°	HEAT DETECTOR 135° FIXED TEMP.	CLG					
DH	DOOR HOLDER	AS REQUIRED					
M	MINI HORN - 520 HZ	7'-6"					
HS 15cd	HORN/STROBE UNIT, 75cd, RED, 520 HZ	7'-6"					
HS 75cd	HORN/STROBE UNIT, 75cd, RED, 520 HZ	7'-6"					

System No. C-AJ-1044 F Ratings - 2, 3, and 4 Hr (See Items 2A and 4) T Rating - 0 Hr L Rating At Ambient - 2 CFM/sq ft L Rating At 400 F - less than 1 CFM/sq ft



1. Floor or Wall Assembly - Lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete. Except as noted in table under Item 4, min thickness of solid concrete floor or wall assembly is 4-1/2 in. (114 mm). Floor may also be constructed of any min 6 in. (152 mm) thick UL Classified hollow core Precast Concrete Units*. When floor is constructed of hollow core precast concrete units, packing material (Item 3) and caulk fill material (Item 4) to be installed symmetrically on both sides of floor, flush with floor surface. Wall assembly may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is in solid lightweight or normal weight concrete. Floor is 32 in. (813 mm). Max diam of opening in floor constructed of hollow-core precast concrete units is 7 in. (178 mm).

See Concrete Blocks (CAZT) and Precast Concrete Units (CFTV) categories in the Fire Resistance Directory for names of manufacturers.

1A. Steel Sleeve (Optional, not shown) - Max 15 in. (381 mm) ID (or smaller) Schedule 10 (or heavier) steel sleeve cast or grouted into floor or wall assembly. Sleeve may extend a max of 2 in. (51 mm) above top of floor or beyond either surface of wall. Max 16 in. (406 mm) ID (or smaller) min 0.028 (0.71 mm) wall thickness (or heavier) galvanized steel sleeve cast or grouted into floor or wall assembly. Sleeve may extend a max of 1/2 in. (13 mm) beyond either surface of floor or wall.

2. Through Penetrants - One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. Max annular space between pipe, conduit or tubing and edge of through opening or sleeve is dependent on the parameters shown in Item 4. Min annular space between pipe or conduit and edge of through opening is 0 in. (0 mm) (point contact). Pipe conduit or tubing to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:

A. Steel Pipe - Nom 30 in. (762 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe. B. Iron Pipe - Nom 30 in. (762 mm) diam (or smaller) cast or ductile iron pipe. C. Conduit - Nom 6 in. (152 mm) diam (or smaller) rigid steel conduit. **D. Conduit -** Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing.

E. Copper - Tubing Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tube. **F. Copper Pipe** - Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe.

3. Packing Material - Polyethylene backer rod or nom 1 in. (25 mm) thickness of tightly-packed mineral wool batt or glass fiber insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of caulk fill material (Item 4).

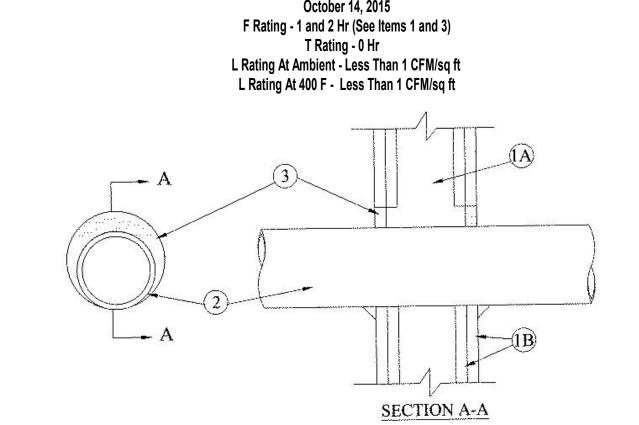
4. Fill, Void or Cavity Material* - Caulk or Sealant - Applied to fill the annular space flush with top surface of floor. In wall assemblies, required caulk thickness to be installed symmetrically on both sides of wall, flush with wall surface. At point contact location between penetrant and sleeve or between penetrant and concrete, a min 1/4 in. (6 mm) diam bead of caulk shall be applied at

top surface of floor and at both surfaces of wall. The hourly F Ratings and the min required caulk thickness are dependent upon a number of parameters, as shown in the following table:

Min Floor or Wall Thkns In.	Nom Pipe Tube or Conduit Diam In.	Max Annular Space In.	Min Caulk Thkns In.	F Rating Hr
2-1/2 (64)	1/2-12 (13-305)	1-3/8 (35)	1/2 (13)	2
2-1/2 (64)	1/2-12 (13-305)	3-1/4 (83)	1 (25)	2
4-1/2 (114)	1/2-6 (13-152)	1-3/8 (35)	1/4 (6) (a)	2
4-1/2 (114)	1/2-12 (13-305)	1-1/4 (32)	1/2 (13)	3
4-1/2 (114)	1/2-20 (13-508)	2 (51)	1 (25)	3
4-1/2 (114)	1/2-20 (13-508)	2 (51)	1 (25)	3
4-1/2 (114)	1/2-12 (13-305)	3-1/4 (83)	1 (25)	3
4-1/2 (114)	22-30 (558-762)	2 (51)	2 (51)	3
5-1/2 (140)	1/2-6 (13-152)	1-3/8 (35)	1 (25) (b)	4

(a)Min 2 in. (51 mm) thickness of mineral wool batt insulation required in annular space. (b)Min 1 in. (25 mm) thickness of mineral wool batt insulation required in annular space on both sides of floor or wall assembly. Min 1 in. (25 mm) thickness of caulk to be installed flush with

3M COMPANY - CP 25WB+ caulk or FB-3000 WT sealant. (Note: W Rating applies only when FB-3000 WT sealant is used.) the UL Classification Marking



System No.W-L-1054

Wall Assembly — The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features: A. Studs — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced 16 in. (406

mm) OC. Steel studs to be min 2-1/2 in. (64 mm) wide and spaced max 24 in. (610 mm) OC. When steel studs are used and the diam of opening exceeds the width of stud cavity, the opening shall be framed on all sides using lengths of steel stud installed between the vertical studs and screw-attached to the steel studs at each end. The framed opening in the wall shall be 4 to 6 in. (102 to 152 mm) wider and

4 to 6 in. (102 to 152 mm) higher than the diam of the penetrating item such that, when the penetrating item is installed in the opening, a 2 to 3 in. (51 to 76 mm) clearance is present between the penetrating item and the framing on all four sides. B. Gypsum Board* — 5/8 in. (16 mm) thick, 4 ft (122 cm) wide with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 32-1/4 in. (819 mm) for steel stud walls. Max diam of opening is 14-1/2 in. (368 mm) for wood stud walls.

Through-Penetrants — One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. The annular space shall be min 0 in. to max 2-1/4 in. (57 mm). Pipe may be installed with continuous point contact. Pipe, conduit or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:

A. Steel Pipe — Nom 30 in. (762 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.

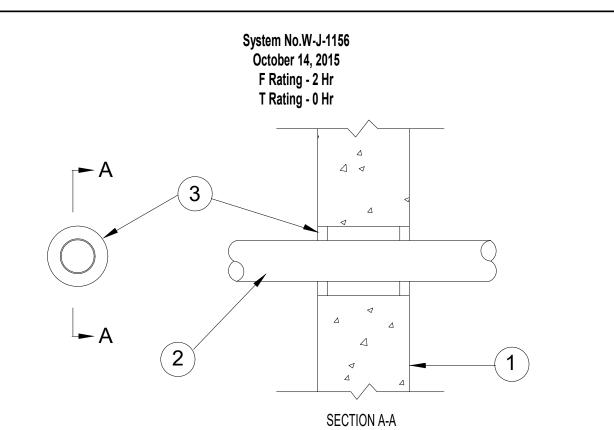
B. Iron Pipe — Nom 30 in. (762 mm) diam (or smaller) cast or ductile iron pipe. C. Conduit — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing or 6 in. (152 mm). diam steel conduit.

D. Copper Tubing — Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing. E. Copper Pipe — Nom 6 in. (152 mm) diam (or smaller) regular (or heavier) copper pipe.

The F and FH Ratings of the firestop system are equal to the fire rating of the wall assembly.

3. Fill, Void or Cavity Material* — Sealant — Min 5/8 in. (16 mm) thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point or continuous contact locations between pipe and wall, a min 1/2 in. (13 mm) diam bead of fill material shall be applied at the pipe wall interface on both surfaces of wall.

HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-One Sealant or FS-ONE MAX Intumescent Sealant Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively. Last Updated on 2015-10-14



. Wall Assembly - Min 6 in. (152 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete wall. Wall may also be constructed of any UL Classified Concrete Blocks*. Diam of opening to be min 1/2 in. (13 mm) to max 4 in. (102 mm) greater than outside diam of through-penetrant.

See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers. Through Penetrants - One metallic pipe, conduit or tubing centered within opening. Annular space between penetrant and periphery of opening to be min 1/4 in. (6 mm) to max

WIRE: | 4 | BUS: | CU

2 in. (51 mm). Penetrant to be rigidly supported on both sides of wall. The following types and sizes of penetrants may be used: A. Steel Pipe - Nom 6 in. (152 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.

D. Copper Tubing - Nom 3 in. (76 mm) diam (or smaller) Type L (or heavier) copper tubing.

B. Iron Pipe - Nom 6 in. (152 mm) diam (or smaller) cast or ductile iron pipe. C. Conduit - Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing (EMT) or nom 6 in. (152 mm) rigid steel conduit.

E. Copper Pipe - Nom 3 in. (76 mm) diam (or smaller) Regular (or heavier) copper pipe. 3. Fill, Void or Cavity Material* - Sealant - Min 5/8 in. (16 mm) thickness of sealant applied within annulus, flush with both surfaces of wall.

3M COMPANY - FB-1000 NS *Bearing the UL Classification Marking

		LIGHT	ING F	XTUF	RE S	CHEDULE		
SYM		CATALOG NUMBER	PERFORMANCE				MOUNTING	DESCRIPTION
	COMPANY	MODEL NUMBER	WATTS	TEMP IN K	MIN CRI	DELIVERED LUMENS		
А	LITHONIA	EPANL-2X4-6000LM-80CRI-3500K-MIN10-ZT-MVOLT-2X4SMKSH	54	3500	80	6300	SURFACE	SURFACE MOUNTED FLAT PANEL 2X4 LED FIXTURE
В	KICHLER	10788NILED	48	3000	90	3725	SURFACE	24" DIAMETER SURFACE MOUNTED ROUND DECORATIVE LED FIXTURE
С	CONTECH	CMR2-4-30K-C-WHT	13	3000	90	570	SURFACE	4" SURFACE MOUNTED WET LOCATION DOWNLIGHT
D	KICHLER	11142NILED	20	3000	90	1400	WALL, MOUNTED ABOVE MIRROR	24" DECORATIVE LED VANITY FIXTURE
E	ACCESS LIGHTING	20439LEDD-BS/OPL	16	3000	90	900	MTD AT SAME HEIGHT AS EXISTING SCONCES TO BE REMOVED	DECORATIVE WALL SCONCE WITH BRUSHED STEEL FINISH AND OPAL GLASS DIFFUSER.
F	LITHONIA	CLX-L48-3000LM-SEF-FDL-MVOLT-GZ10-35K-80CRI	21	3500	80	2700	SURFACE	SURFACE MOUNTED 4' STRIP LIGHT WITH FLAT DIFFUSER
NOTES:			1				I	

1. THE FINISH OF ALL FIXTURES (NOTED BY? IN THE MODEL NUMBER) SHALL BE VERIFIED WITH AND APPROVED BY THE ARCHITECT.

2. REFER TO THE ARCHITECT'S REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF FIXTURES.

3. ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH ELECTRONIC DRIVERS WITH MAXIMUM 10% THP. 4. ALL FIXTURES IN KITCHEN OR FOOD PREP AREAS SHALL BE LENSED OR HAVE SHATTER PROOF LAMPS.

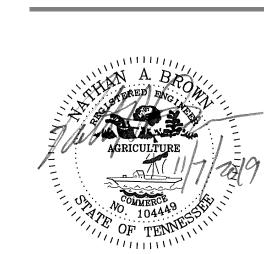
		PANEL:	A (EXISTING)		VOLTAGE :	120/208	PHASE:	3	WIRE:	4	BUS:	EX
BUS RATING: 200 AMP LUGS/PHASE: #250 MCM AL		200 AMP	MAIN: NO-MLO					ENCLOSURE:	NEMA 1			
		#250 MCM AL	ENTRY:		BOTTOM AIC:		EXISTING	MOUNTING:	RECESSED			
#	AMP	POLE	DESCRIPTION	LOAD	А	В	С	LOAD	DESCRIPTION	POLE	AMP	#
1	20	1	RECEPTACLES	500.0	1,400.0	-	-	900.0	RECEPTACLE	1	20	2
3	20	1	GARBAGE DISP	1,200.0	-	1,900.0	-	700.0	LIGHTS	1	20	4
5	20	1	FRIDGE	800.0	-	-	2,000.0	1,200.0	BATH HEATER	1	20	6
7	20	1	RECEPTACLES	500.0	4,500.0	-	-	4,000.0	RANGE	2	50	8
9	30	2	WATER HEATER	2,250.0	-	6,250.0	-	4,000.0		I	I	10
11	1	I		2,250.0	-	-	2,250.0	0.0	SPACE			12
13	30	2	AHU	1,800.0	1,800.0	-	-	0.0	SPACE			14
15	1	I		1,800.0	-	1,800.0	-	0.0	SPACE			16
17	20	1	EXISTING LOAD	500.0	-	-	500.0	0.0	SPACE			18
19			SPACE	0.0	0.0	-	-	0.0	SPACE			20
21			SPACE	0.0	-	0.0	-	0.0	SPACE			22
23			SPACE	0.0	-	-	0.0	0.0	SPACE			24
		PICAL OF	0 BEDROOM UNITS IN	TOTAL	7,700.0	9,950.0	4,750.0	VA	EXISTING PANEL HAS FEED THRU LUGS		UGS	
HIGH	KISE			TOTAL CO	NNECTED		22,400.0	VA				

													1	
	BUS RATING: 200 AMP LUGS/PHASE: #250 MCM AL			MAIN: YES - 200A/3P				ENCLOSURE:			NEMA 1			
			ENTRY:		BOTTOM AIC:		10,000	MOUNTING:	RECESSED					
	#	AMP	POLE	DESCRIPTION	LOAD	А	В	С	LOAD	DESCRIPTION	POLE	AMP	#	
	1	20AG	1	RECEPTACLES	500.0	1,400.0	-	-	900.0	RECEPTACLE	1	20AF	2	
	3	20	1	BATH RECEPT	180.0	-	380.0	-	200.0	LIGHTS	1	20AF	4	
	5	20AG	1	FRIDGE	800.0	-	-	2,000.0	1,200.0	BATH HEATER	1	20AF	6	
	7	20AG	1	RECEPTACLES	500.0	4,500.0	-	-	4,000.0	RANGE	2	50	8	
	9	30	2	WATER HEATER	2,250.0	-	6,250.0	-	4,000.0		I		10	
	11	I	I		2,250.0	-	-	2,250.0	0.0	SPARE	1	20AF	12	
	13	30	2	AHU	1,800.0	1,800.0	-	-	0.0	SPARE	1	20AG	14	
	15	I	I		1,800.0	-	1,800.0	-	0.0	SPACE			16	
	17	20AF	1	EXISTING LOAD	500.0	-	-	500.0	0.0	SPACE			18	
	19			SPACE	0.0	0.0	-	-	0.0	SPACE			20	
	21			SPACE	0.0	-	0.0	-	0.0	SPACE			22	
	23			SPACE	0.0	-	-	0.0	0.0	SPACE			24	
	IN HIG	SH RISE; I	PROVIDE	0 BEDROOM ADA UNITS 6" BY 20" CABINET AND	TOTAL	7,700.0	8,430.0	4,750.0	VA	AF=AFCI TYPE; AG=AF/GF (PROVIDE LOCK-ON DEVICE			RM	
	SUB-F 	EED LUG	SS ON MA	IN BREAKER INPUT.	TOTAL COI	NNECTED		20,880.0	VA	CKT				

VOLTAGE: | 120/208

ARCHITECTURE & INTERIORS

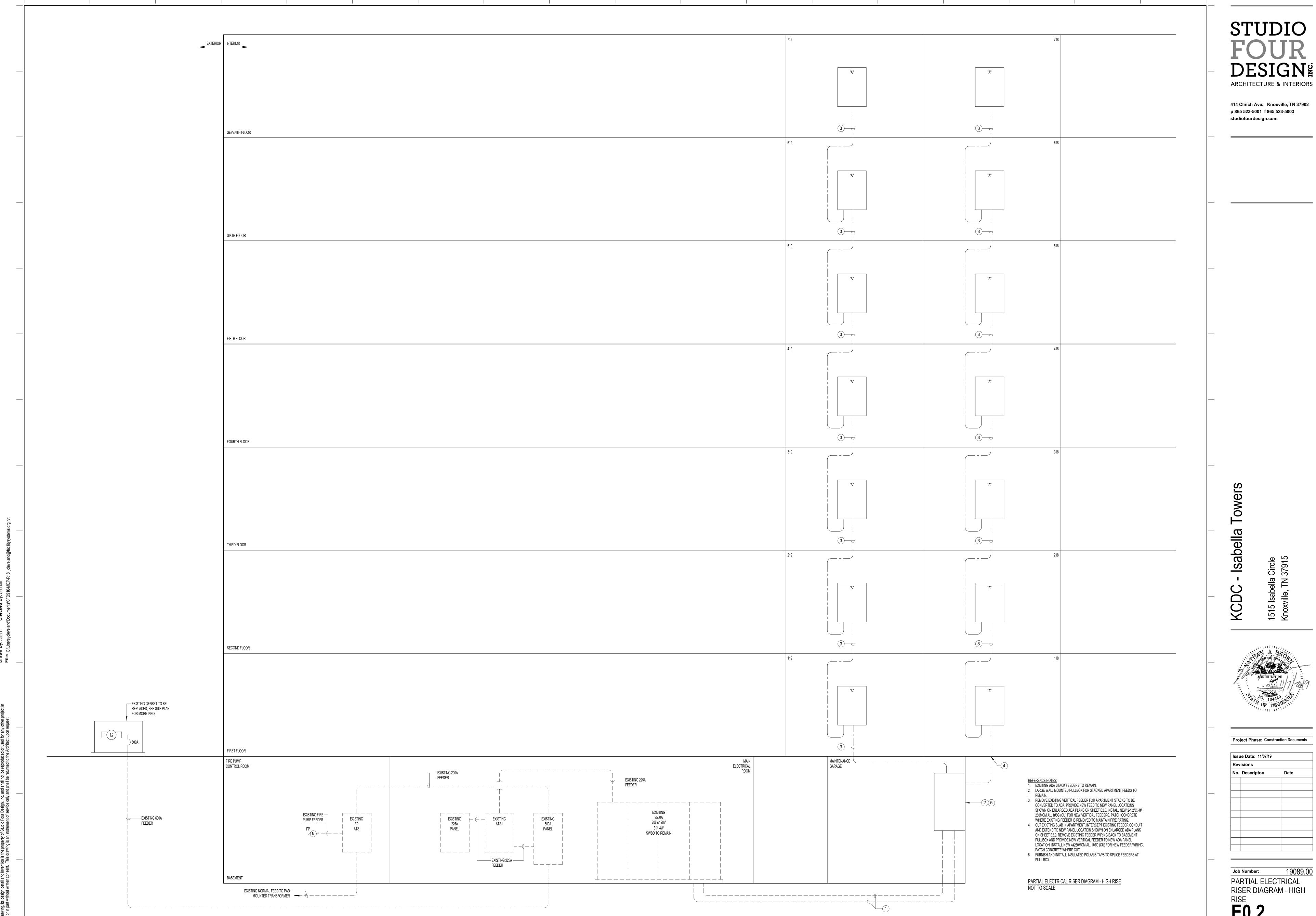
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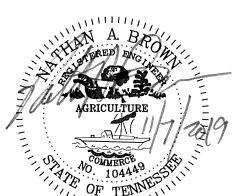
Project Phase: Construction Documents

Rev	isions			
No.	Descripton	Date		

Job Number:



DESIGN



Project Phase: Construction Documents

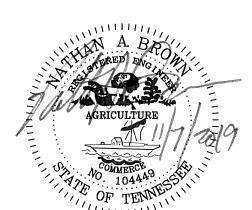
Revisions		
No. Descript	on	Date

RISER DIAGRAM - HIGH

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EMERGENCY CALL

SYSTEM DIAGRAM

E0.3

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Project Phase: Construction Documents

Issu	ie Date: 11/07/19	
Rev	isions	
No.	Descripton	Date

Job Number: 19089.00

LOW RISE - GROUND

FLOOR & FIRST FLOOR

ELECTRICAL PLANS

E1.0

STUDIO **DESIGN** ARCHITECTURE & INTERIORS

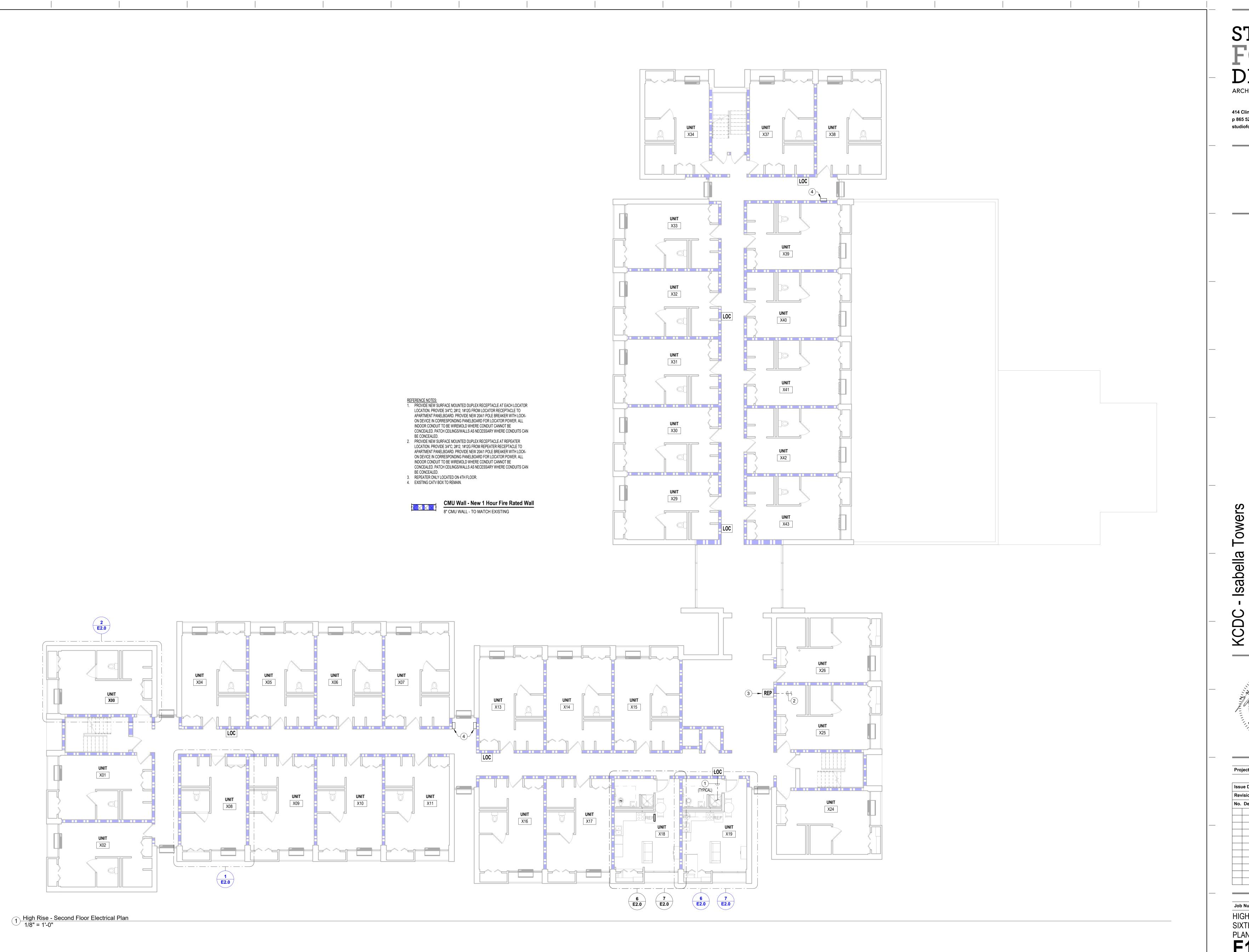
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Project Phase: Construction Documents

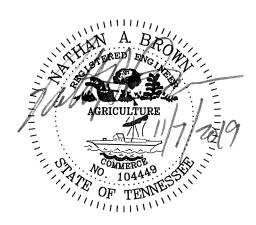
Issue Date: 11/07/19 No. Descripton

Job Number: HIGH RISE - GROUND FLOOR & FIRST FLOOR ELECTRICAL PLANS E1.1



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No. Descripto	n Date

HIGH RISE - SECOND THRU SIXTH FLOOR ELECTRICAL

E1.2

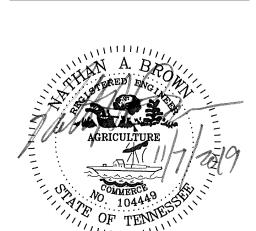
REFERENCE NOTES:

1. PROVIDE NEW SURFACE MOUNTED DUPLEX RECEPTACLE AT EACH LOCATOR LOCATION. PROVIDE 3/4"C; 2#12, 1#12G FROM LOCATOR RECEPTACLE TO APARTMENT PANELBOARD. PROVIDE NEW 20A/1 POLE BREAKER WITH LOCK-ON DEVICE IN CORRESPONDING PANELBOARD FOR LOCATOR POWER. ALL INDOOR CONDUIT TO BE WIREMOLD WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILINGS/WALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED. CMU Wall - New 1 Hour Fire Rated Wall
8" CMU WALL - TO MATCH EXISTING 1 High Rise - Seventh Floor Electrical Plan 1/8" = 1'-0"

STUDIO FOUR DESIGNE ARCHITECTURE & INTERIORS

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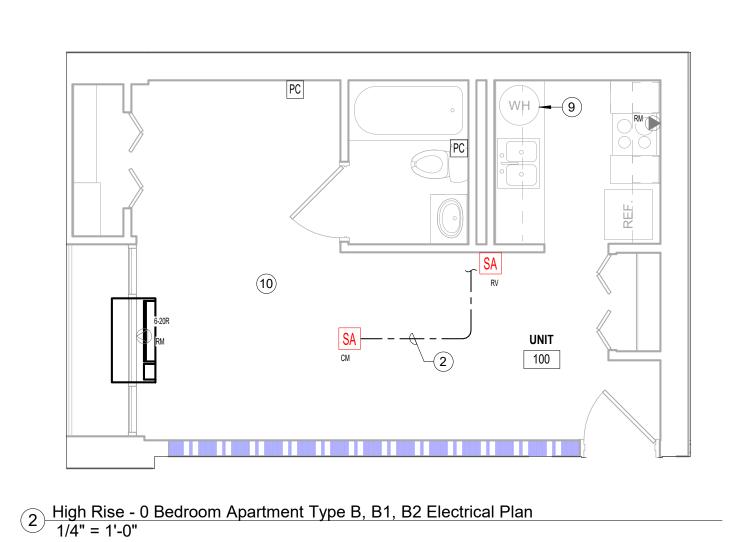
Project Phase: Construction Documents

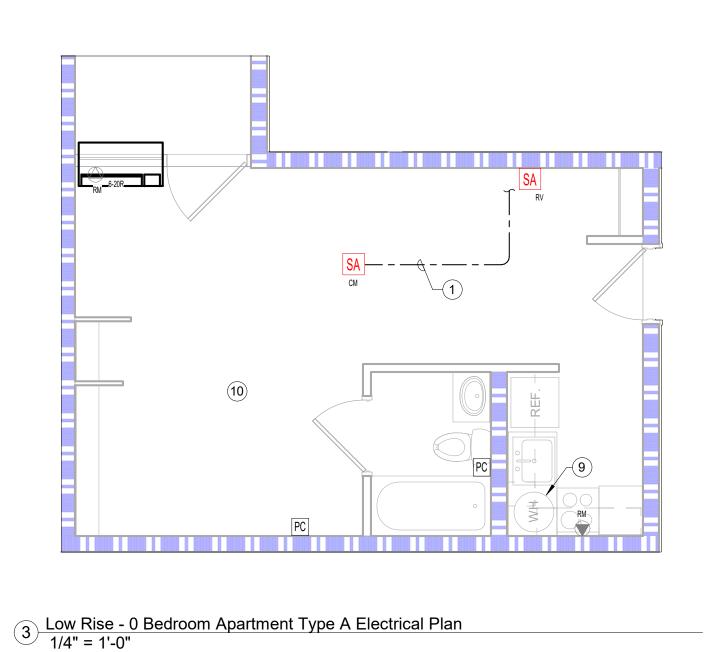
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No.	Descripton	Date

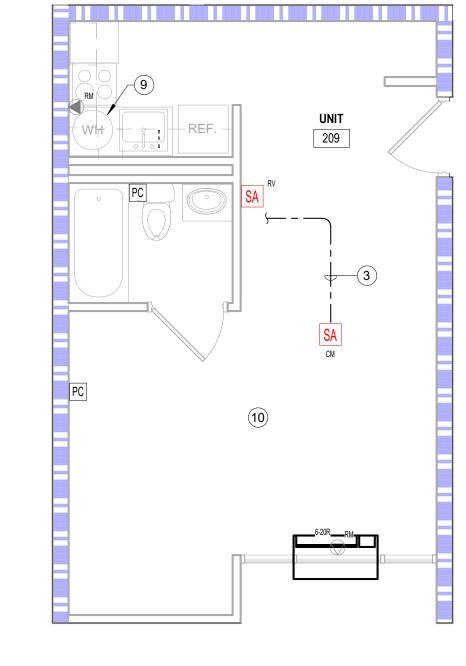
Job Number: 19089.00
HIGH RISE - SEVENTH
FLOOR ELECTRICAL PLAN

E1.3

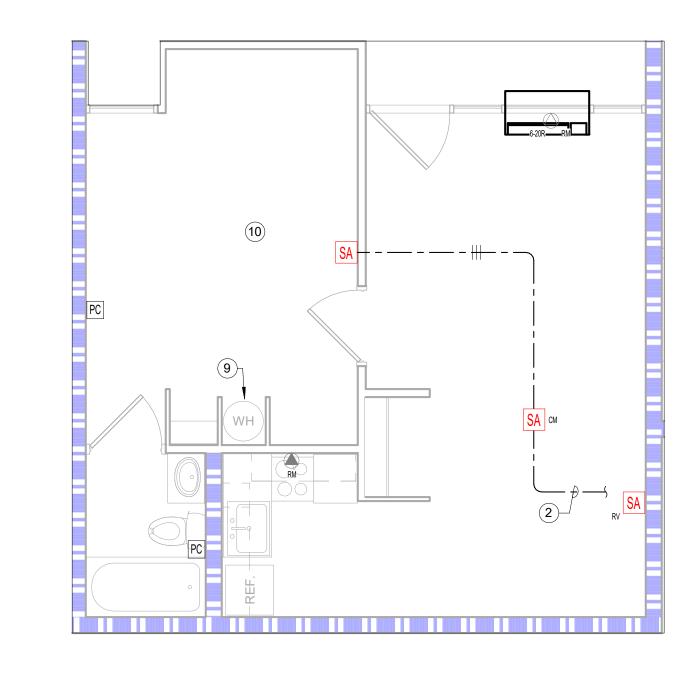
High Rise - 0 Bedroom Type A Electrical Plan 1/4" = 1'-0"



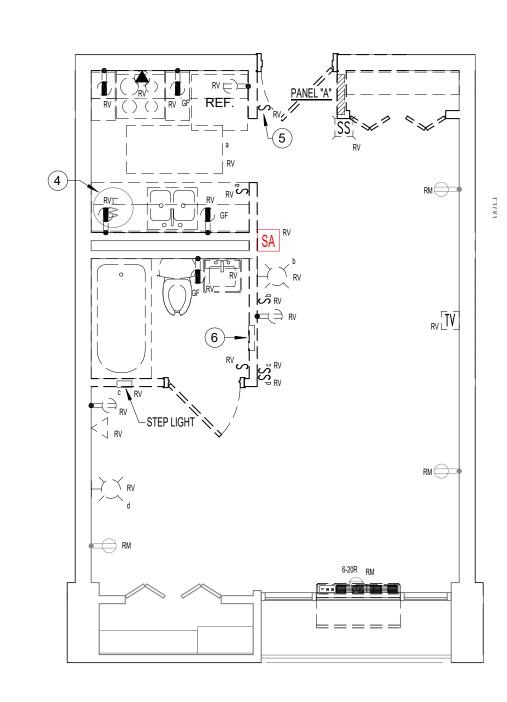




4 Low Rise - 0 Bedroom Apartment Type B Electrical Plan 1/4" = 1'-0"

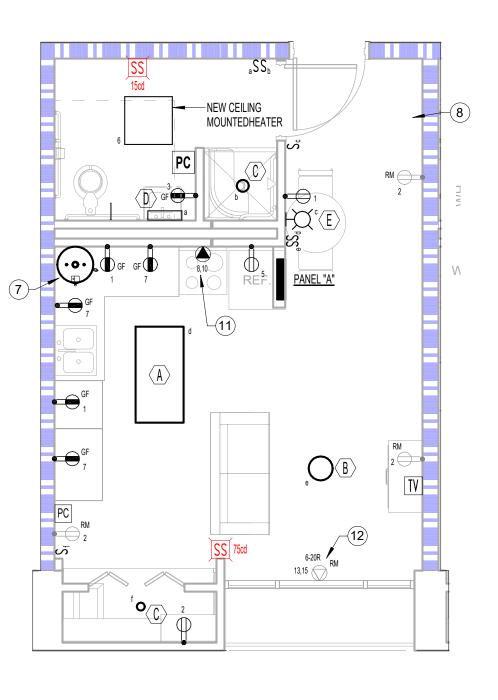


5 Low Rise - 1 Bedroom Apartment Electrical Plan 1/4" = 1'-0"



6 High Rise ADA - X18 - Electrical Demo Plan 1/4" = 1'-0"

APPLIES TO UNITS 118, 119, 218, 219, 318, 319, 418, 419, 518, 519, 618, 619, 718, & 719



High Rise ADA - X18 - Electrical New Work Plan
1/4" = 1'-0" APPLIES TO UNITS 118, 119, 218, 219, 318, 319, 418, 419, 518, 519, 618, 619, 718, & 719

GENERAL NOTES:

1. ALL NEW CONDUITS WITHIN DWELLING UNITS TO BE WIREMOLD WHERE CONDUIT CANNOT BE CONCEALED. PATCH CEILINGS/WALLS AS NECESSARY WHERE CONDUITS CAN BE CONCEALED.

- ALL WALL MOUNTED SMOKE ALARMS TO BE MOUNTED AT 8" BELOW CEILING TO CENTERLINE OF SMOKE ALARM.
- 3. DISCONNECT ALL GARBAGE DISPOSALS IN UNITS WHERE CABINETS ARE
- REPLACED. REMOVE ASSOCIATED SWITCH AND PROVIDE BLANK COVER ON SWITCH BACKBOX. REMOVE WIRING BETWEEN DISPOSAL AND SWITCH BACKBOX. CAP OFF CONDUCTORS IN BACKBOX.
- 4. REUSE EXISTING WIRE AND CONDUIT IN SAME LOCATION WHERE POSSIBLE AND IN GOOD CONDITION.
- ALL NEW SPEAKER STROBES IN DWELLING UNIT BEDROOMS TO BE LOW FREQUENCY TYPE.
- 6. ALL NEW GENERAL CONVENIENCE RECEPTACLES IN LIVING AND DINING AREAS TO BE MOUNTED AT SAME HEIGHT AS RECEPTACLES TO REMAIN
- IN SAME AREA.
- 7. WIRING IN DWELLING UNITS NOT SHOWN ON PLANS FOR CLARITY.
 PROVIDE BRANCH CIRCUIT WIRING TO CONNECT ALL DEVICES,
 FIXTURES, HVAC UNITS, ETC. TO CIRCUITS INDICATED ON DRAWINGS.
- REFERENCE NOTES:
 1. CONNECT SMOKE ALARMS TO EXISTING UNSWITCHED RECEPTACLE CIRCUIT.
- 2. CONNECT TO SAME UNSWITCHED LIGHTING CIRCUIT AS EXISTING SMOKE ALARM TO BE REMOVED.
 3. CONNECT TO SAME UNSWITCHED CIRCUIT AS EXISTING SMOKE ALARM TO
- 4. WATER HEATER CONNECTION TO BE REMOVED. 5. THIS SWITCH CONTROLS A RECEPTACLE IN LIVING ROOM.
- 6. EXISTING WALL HEATER TO BE REMOVED.
 7. SUPPLY NEW WATER HEATER CONNECTION WITH DISCONNECT AT THIS LOCATION. SUPPLY 2#10, 1#10G, 3/4"C BACK TO NEW PANEL LOCATION AND
- 8. ALL LIGHTING IN THIS UNIT TO BE SERVED BY CKT. 4 IN NEW PANEL.
- DISCONNECT EXISTING WATER HEATER AND RECONNECT WATER HEATER UPON COMPLETION OF CABINETRY WORK.
 THE WORK SHOWN ON THIS ENLARGED PLAN IS TYPICAL FOR ALL UNITS
- OF THIS TYPE IN THE FACILITY. 11. PROVIDE 3#8, 3/4"C FOR NEW RANGE RECEPTACLE BACK TO PANEL. 12. PROVIDE 2#12, 1#12G, 3/4"C FOR PTAC RECEPTACLE TO REMAIN BACK TO

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STUDIO

DESIGN

ARCHITECTURE & INTERIORS

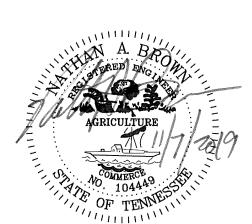
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Project Phase: Construction Documents

Issue	Date: 11/07/19		
Revis	ions		
No. D	escripton	Date	

Job Number: TYPICAL AND ADA **ENLARGED ELECTRICAL** FLOOR PLANS **E2.0**



Project Phase: Construction Documents

Issu	ie Date: 11/07/19	
Rev	isions	
No.	Descripton	Date

Job Number: 19089.00
ISABELLA TOWERS SITE
ELECTRICAL PLAN

ES1.0

TWO-STORY BUILDING MAIN TOWER REFERENCE NOTES:

1. REPLACE EXISTING CUMMINS ONAN 175DGFB 175KW, 208/120V, 3 PHASE GENSET WITH NEW 125KW/156KVA/672SKVA GENSET WITH WEATHERPROOF ENCLOSURE IN SAME LOCATION. PROVIDE TEMPORARY GENSET CONNECTED AT 600A EMERGENCY PANEL ON GROUND FLOOR DURING GENSET REPLACEMENT AS REQUIRED BY THE CITY OF KNOXVILLE. EXISTING CONCRETE
RETAINING WALL TO
BE MODIFIED DAY TANK—
PUMP MOTOR UTILIZE EXISTING CONDUIT STUB-UPS AND FEEDERS TO EXTENT POSSIBLE. MODIFY AS REQUIRED. FIELD VERIFY ALL REQUIREMENTS. NEW GENSET LOCATION MUST MEET ALL GENERATOR CLEARANCE REQUIREMENTS LOCATION MUST MEET ALL GENERATOR CLEARANCE REQUIREMENTS
INCLUDING BUT NOT LIMITED TO PROPER AIR FLOW AND DOOR
CLEARANCE PER MANUFACTURER.

2. PROVIDE 24 HOUR CAPACITY BURIED DIESEL STORAGE TANK FOR NEW
GENSET TO MEET CITY OF KNOXVILLE REQUIREMENTS. STORAGE TANK TO
MEET PROJECT SPECIFICATIONS. PROVIDE AND INSTALL ALL HOSE/PIPE
CONNECTIONS, CONTROLS, SWITCHES, AND OTHER ACCESORIES IN
SPECIFICATIONS BETWEEN UNDERGROUND TANK, DAY TANK, AND GENSET
TO CREATE A FULLY FUNCTIONING SYSTEM. PROVIDE DAY TANK ABD PUMP
ACCORDING TO SPECIFICATIONS.

3. ADD 2#8, UTILIZING EXISTING BLOCK HEATER AND BATTERY CHARGER
CONDUIT BACK TO 225A EMERGENCY PANEL IN BASEMENT OF HIGH RISE,
SEE SHEET E1.1. RE-PULL JACKET HEATER AND BATTERY CHARGER
CIRCUITS AS NECESSARY. 1 ISABELLA TOWERS SITE PLAN
1" = 30'-0"