

ADDENDUM

Addendum No: **004**
Date: 03/05/2021

Project: Brown Early Childhood Center
520 W 5th St, Portales, NM 88130

Project No: 18-0032
PSFA Project No: K-18-011 & S-20-008
RFP No: 20-21-0001

From: Formative Architecture
209 Gold Ave SW
Albuquerque, NM 87102

To: All Prospective Bidders and Plan Holders



This Addendum forms a part of the Procurement Documents and modifies the Procurement Documents issued by Formative Architecture and dated 12/10/2019. Acknowledge receipt of this Addendum on the Price Proposal Form. Failure to do so may subject the offeror to disqualification. All other provisions of the Procurement Documents shall remain unchanged. This Addendum contains a total of three (3) 8 ½"x11" pages, twenty-four (24) 24" x 36" pages.

1. RFP REQUIREMENTS:

1.1. RFP DEADLINE AND LOCATION REMAIN UNCHANGED. FINAL ADDENDUM DATE CHANGED

2. SPECIFICATIONS:

NO CHANGES TO THE SPECIFICATIONS AT THIS TIME

3. DRAWINGS:

3.1. AD102 – EXISTING SLAB DEMOLITION PLAN AND NEW SLAB PLAN - Revised Sheet AD102 is attached and made part of this Addendum.

3.1.1. **RENAME** sheet to read "SLAB AND UTILITY TRENCHING DEMOLITION PLAN AND NEW PLAN"

3.1.2. **REVISE** Legend in its entirety

3.1.3. **REVISE** Reference Keynotes in its entirety

3.1.4. **REPLACE** drawing 'A5' and 'D5' in their entirety

3.1.5. **RENAME** drawing 'A5' and 'D5'

3.2. AS101 – SITE PLAN - Revised Sheet AS101 is attached and made part of this Addendum.

3.2.1. **ADD** general note "J. ITEMS OUTSIDE PROPERTY LINE ARE CONSIDERED ABOVE ADEQUACY AND WILL BE PAID FOR BY DISTRICT AS PART OF BID LOT #4"

3.2.2. **ADD** property line to drawing A5

3.2.3. **REVISE** keynotes to include Bid Lot designations

3.2.4. **ADD** note to read "REFER TO AD102 FOR FULL EXTENTS OF NEW CONCRETE AND LANDSCAPING WORK"

3.3. FX101A FIRE PROTECTION FLOOR PLAN – AREA A – BID LOT #1

3.3.1. Revised location of Fire protection BFP, FDC. See plan.

3.3.2. Revised Keynote 4, to include coordination of routing to avoid existing trees and existing tree root system.

ADDENDUM

- 3.3.3.Added Keynote 9. For reference to Water Entry detail. See plan.
- 3.3.4.Added Keynote 10 for noting ordinary hazard group 1 coverage at Electrical and IT rooms. See plan.
- 3.3.5.Added Keynote 11 for noting that Electrical and IT spaces be provided with dedicated branch lines. See plan.
- 3.3.6.Added General note N. to General Sheet Notes for upright fire protection where combustible materials are found in the ceiling plenum. See plan.
- 3.4. FX101B FIRE PROTECTION FLOOR PLAN – AREA- B – BID LOT #1
 - 3.4.1.Revised General note, see plan.
 - 3.4.2.Revised notes 4, 5 and 6. See plan.
 - 3.4.3.Added notes to Jan 121, Elec 122 and Jan., See plan
- 3.5. FX501 FIRE PROTECTION DETAILS
 - 3.5.1.Revised Fire riser diagram A3, see sheet.
 - 3.5.2.General notation change, see plan.
- 3.6. PD100A PLUMBING DEMOLITION FLOOR PLAN AREA A
 - 3.6.1.Added General note K and L, see plan.
 - 3.6.2.Modified keynote 5 to read Not Used.
 - 3.6.3.Added keynote 6. See plan.
 - 3.6.4.Miscellaneous phasing changes to plan, see plan.
 - 3.6.5.Added keynote 6 to plan. See plan.
- 3.7. PD100B PLUMBING DEMOLITION FLOOR PLAN AREA B
 - 3.7.1.Added General note K, see plan.
 - 3.7.2.Revised keynotes 3,4 and 5. See plan.
 - 3.7.3.Miscellaneous phasing changes to plan, see plan.
- 3.8. PD101A PLUMBING DEMOLITION FLOOR PLAN AREA A –BID LOT #1
 - 3.8.1.Added General note K and L, see plan.
 - 3.8.2.Added Keynotes 8 and 9, see plan.
 - 3.8.3.Miscellaneous phasing changes to plan, see plan.
- 3.9. PD101B PLUMBING DEMOLITION FLOOR PLAN AREA B–BID LOT #1
 - 3.9.1.Revised Keynotes 4, 6, 7, 8, 9, and 10. See plan.
 - 3.9.2.Added General note K and L, see plan.
 - 3.9.3.Miscellaneous phasing changes to plan, see plan.
- 3.10. PG101A PIPED GASES FLOOR PLAN AREA A – BID LOT #1
 - 3.10.1. Keynotes 1 and 2 changed to not used, see plan.
 - 3.10.2. Added Keynote 3 for phasing requirements, see plan.
- 3.11. PL100A WASTE AND VENT FLOOR PLAN AREA A
 - 3.11.1. Revised keynote 5, see plan.
 - 3.11.2. Added keynotes 10, 11, 12, 13, and 14. See plan.
 - 3.11.3. Miscellaneous waste and vent routing changes, see plan.
- 3.12. PL100B WASTE AND VENT FLOOR PLAN AREA B
 - 3.12.1. Revised keynote 10, see plan.
 - 3.12.2. Added keynotes 14, 15, 16 and 17. See plan.
 - 3.12.3. Miscellaneous waste and vent routing changes, see plan.
- 3.13. PL101A WASTE AND VENT FLOOR PLAN AREA A BID LOT #1
 - 3.13.1. Revised keynote 3 to not used, see plan.
 - 3.13.2. Revised keynotes 8, 9 and 10. See plan.
 - 3.13.3. Miscellaneous waste and vent routing changes, see plan.
- 3.14. PL101B WASTE AND VENT FLOOR PLAN AREA B BID LOT #1
 - 3.14.1. Revised Keynote 9, see plan.
 - 3.14.2. Added keynotes 11. 12. 13 and 14. See plan.
 - 3.14.3. Miscellaneous waste and vent routing changes, see plan.
- 3.15. PL140A PLUMBING ROOF PLAN AREA A
 - 3.15.1. Revised keynotes 1, 2, 3, 6 and 7.
 - 3.15.2. Pipe sizing, pressure and routing revisions, See plan.
- 3.16. PL140B PLUMBING ROOF PLAN AREA B
 - 3.16.1. Revised keynotes 1 and 2. See plan.

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- 3.16.2. Added keynotes 8 and 9, see plan.
- 3.16.3. Pipe sizing, pressure and routing revisions, See plan.
- 3.17. PL141A PLUMBING ROOF PLAN AREA A – Bid Lot #1
 - 3.17.1. Revised keynotes 1 and 2, see plan.
 - 3.17.2. Pipe sizing, pressure and routing revisions, See plan.
- 3.18. PL141B PLUMBING ROOF PLAN AREA B – Bid Lot #1
 - 3.18.1. Revised keynotes 1 and 2, see plan.
 - 3.18.2. Pipe sizing, pressure and routing revisions, See plan.
- 3.19. PP100A PRESSURE PIPING FLOOR PLAN AREA A
 - 3.19.1. Revised plan to show additional sizing requirements and fixture call outs, See plan.
- 3.20. PP100B PRESSURE PIPING FLOOR PLAN AREA B
 - 3.20.1. Revised plan to show additional sizing requirements and fixture call outs, See plan.
- 3.21. PP101A PRESSURE PIPING FLOOR PLAN AREA A BID LOT #1
 - 3.21.1. Revised plan to show additional sizing requirements and fixture call outs, See plan.
- 3.22. PP101B PRESSURE PIPING FLOOR PLAN AREA B BID LOT #1
 - 3.22.1. Revised plan to show additional sizing requirements and fixture call outs, See plan.
 - 3.22.2. Added Keynote 2, see plan.
- 3.23. P-501 PLUMBING DETAILS
 - 3.23.1. Revised details A3, C3, C5 and added D1, and added NATURAL GAS METER/REGULATOR DEATAIL.
- 3.24. P-701 PLUMBING SPECIFICATIONS
 - 3.24.1. Revised Plumbing Fixture Schedule, see sheet.

4. PRIOR APPROVALS

NO PRIOR APPROVALS AT THIS TIME

5. RESPONSES TO QUESTIONS

NO RESPONSES TO QUESTIONS AT THIS TIME

All other provisions of the Contract Documents shall remain unchanged. This addendum is hereby made a part of the Contract Documents to the same extent as those provisions contained in the original documents and all itemized listings thereof.

End of Addendum



SEAL

PROJECT

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

▲	02/17/2021	ADDENDUM 001
▲	03/05/2021	ADDENDUM 004
▲		
▲		
▲		

DRAWN BY	NW
REVIEWED BY	OK
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

SLAB AND UTILITY TRENCHING DEMOLITION PLAN AND NEW PLAN

SHEET NO
AD102

GENERAL SHEET NOTES

- IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS PHYSICALLY SURVEYED THE SITE TO OBTAIN A SOLID UNDERSTANDING OF EXISTING CONDITIONS, BOTH ON-SITE AND ADJACENT TO THE SITE, THAT WILL AFFECT SCHEDULING OF WORK INCLUDING DEMOLITION AND REMOVAL OF DEBRIS. ANY QUESTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- CONTRACTOR IS TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CHANGES IN DETAILING MAY BE REQUIRED AS A RESULT OF NEW FINDINGS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS, VEHICLES, AND ALL EXISTING IMPROVEMENTS TO REMAIN.
- UNLESS OTHERWISE INDICATED, COORDINATE WITH OWNER ITEMS TO BE REMOVED. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL DEMOLISHED ITEMS.
- UNLESS OTHERWISE INDICATED, ALL DEMOLITION ITEMS ARE TO BE REMOVED TO A LEGAL WASTE FACILITY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING REFUSE CONTAINERS TO HANDLE ALL DEBRIS TO BE REMOVED, AS WELL AS PROVIDING ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF REMOVED ITEMS.
- CONTRACTOR TO COORDINATE ALL PENETRATIONS THROUGH NEW AND EXISTING WALLS, ROOF AND FLOOR WITH MEP AND STRUCTURAL.
- CONTRACTOR TO COORDINATE THE INSTALLATION OF ANY UTILITY WITH ALL EXISTING CONDITIONS. ROUTE UTILITY TO MINIMIZE THE AMOUNT OF REPAIR TO EXISTING UTILITIES, IRRIGATION, STORM WATER, CONCRETE, ASPHALT, AND LANDSCAPING. COORDINATE WITH CIVIL.
- EXISTING UTILITIES ARE SHOWN FOR REFERENCE ONLY. NOT ALL EXISTING UTILITIES APPEAR ON THIS SHEET. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATING. SEE CIVIL AND ELECTRICAL PLANS FOR UTILITIES.
- UTILITIES SCHEDULED FOR DEMOLITION SHALL BE CARRIED OFF AS CLOSE TO THE SOURCE AS POSSIBLE AND COMPLETELY REMOVED. UTILITY DEMOLITION IS TO BE COMPLETE INSIDE THE LIMITS ON WORK AND INCLUDES, BUT IS NOT LIMITED TO: CONDUIT, PIPE, WIRES, ANCHORS, TIES, ETC.
- EXISTING UTILITY STUDS THAT REMAIN SHALL BE DOCUMENTED ON SURVEYED AS-BUILT DRAWINGS THAT SHALL BE TURNED OVER TO THE OWNER AT CONTRACT CLOSE OUT.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT UTILITIES TO REMAIN BUILDINGS ADJACENT TO THE SITE REMAIN OPERATIONAL. IF UTILITIES TO ADJACENT BUILDINGS ARE AFFECTED, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE TIMING AND DURATION WITH THE OWNER.
- ITEMS TO BE SALVAGED AND RELOCATED ARE NOTED IN KEYNOTES ON DEMOLITION PLAN.
- PATCH AND REPAIR SUB-FLOOR FOR NEW FLOOR FINISH AND NEW VINYL WALL BASE. COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION AND THE OWNER.
- DURING DEMOLITION, ALL STRUCTURES, FINISHES, ETC. WHICH ARE NOT TO BE REMOVED ARE TO BE CAREFULLY PROTECTED FROM DAMAGE.
- PATCH, REPAIR OR REPLACE ANY ITEMS DAMAGED DURING DEMOLITION.
- EXISTING FLOORING AND WALL BASE TO REMAIN UNLESS OTHERWISE NOTED. PROTECT FROM DAMAGE. PATCH, REPAIR, OR REPLACE ANY DAMAGE DURING CONSTRUCTION.
- REMOVE AND PROPERLY CAP PLUMBING AND ELECTRICAL CONNECTIONS ASSOCIATED WITH REMOVALS. RELOCATE ACCORDINGLY TO COORDINATE WITH NEW CONSTRUCTION.
- COORDINATE REMOVAL OF ALL EXISTING FLOOR FINISHES WITH NEW SCHEDULED FLOOR FINISHES.
- REPAIR CONCRETE AS REQUIRED RELATED TO ALL UTILITY IMPROVEMENTS.
- REFER TO PLUMBING DEMO SHEETS FOR SLAB SAWCUT LOCATIONS. FOR PATCHING DETAIL AT SLAB SAWCUT LOCATIONS REFER TO STRUCTURAL.
- ALL EXISTING WALL & CEILING DEVICES IN CLASSROOMS TO BE REMOVED. ITEMS INCLUDED BUT NOT LIMITED TO EXISTING CHALKBOARDS, CUBBIES, CASEWORK, WALL CLOCKS, SPEAKERS, DISPENSERS, CONDUIT, ETC.
- ASBESTOS ABATEMENT TO BE PROVIDED BY OWNER. CONTRACTOR TO COORDINATE SCHEDULING WITH OWNER PRIOR TO COMMENCEMENT OF WORK. ABATEMENT TO OCCUR IN TWO PHASES TO ALLOW SCHOOL TO REMAIN OPERATIONAL. COORDINATE WITH CONSTRUCTION PHASING. ABATEMENT FOR EACH PHASE MUST BE COMPLETED IN THE AREA PRIOR TO CONSTRUCTION.
- ALL LOCKSETS FROM EXISTING DOORS TO BE CAREFULLY REMOVED AND SALVAGED TO BE REUSED ON NEW DOORS. REFER TO DOOR SCHEDULE A521.
- ALL EXTERIOR PARTY WALLS AND SFFITTS TO BE CLEANED AND PREPARED TO RECEIVE NEW PLASTER FINISH AS SPECIFIED. ALL EXISTING WALL & CEILING DEVICES ON EXTERIOR TO BE PROTECTED. REFERENCE SECTION 09 0710 FOR ADDITIONAL INFORMATION.
- NOT ALL ITEMS OF DEMOLITION ARE SHOWN ON THIS DEMOLITION PLAN. THERE ARE MANY SPECIFIC AND SMALL ITEMS OF DEMOLITION THAT WILL BE NECESSARY THROUGHOUT THE COURSE OF THE WORK WHICH IS APPARENT BY A COMPLETE AND THOROUGH REVIEW OF EXISTING CONDITIONS AND ALL OF THE CONSTRUCTION DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION OPERATIONS REQUIRED FOR THIS PROJECT.

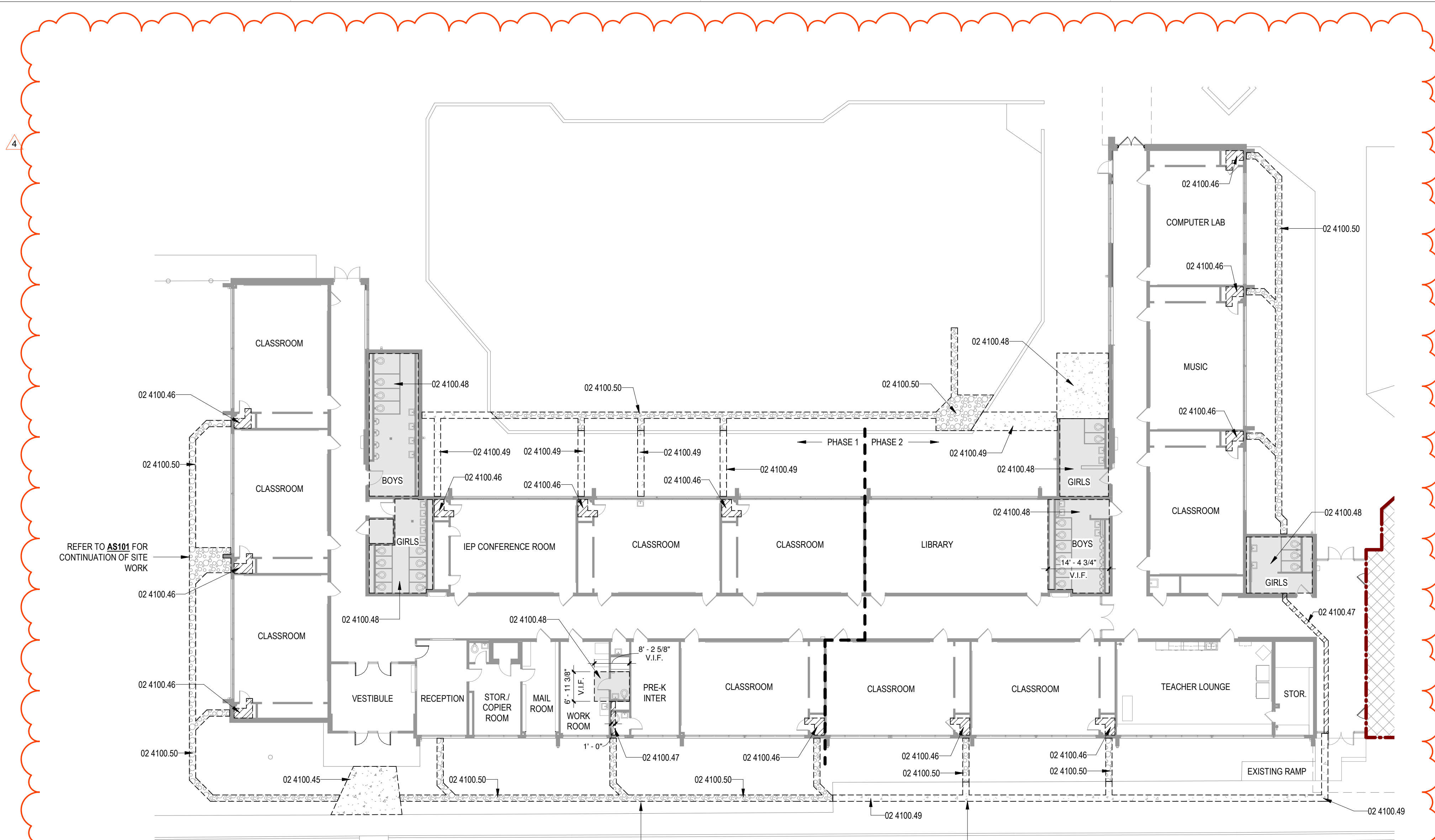
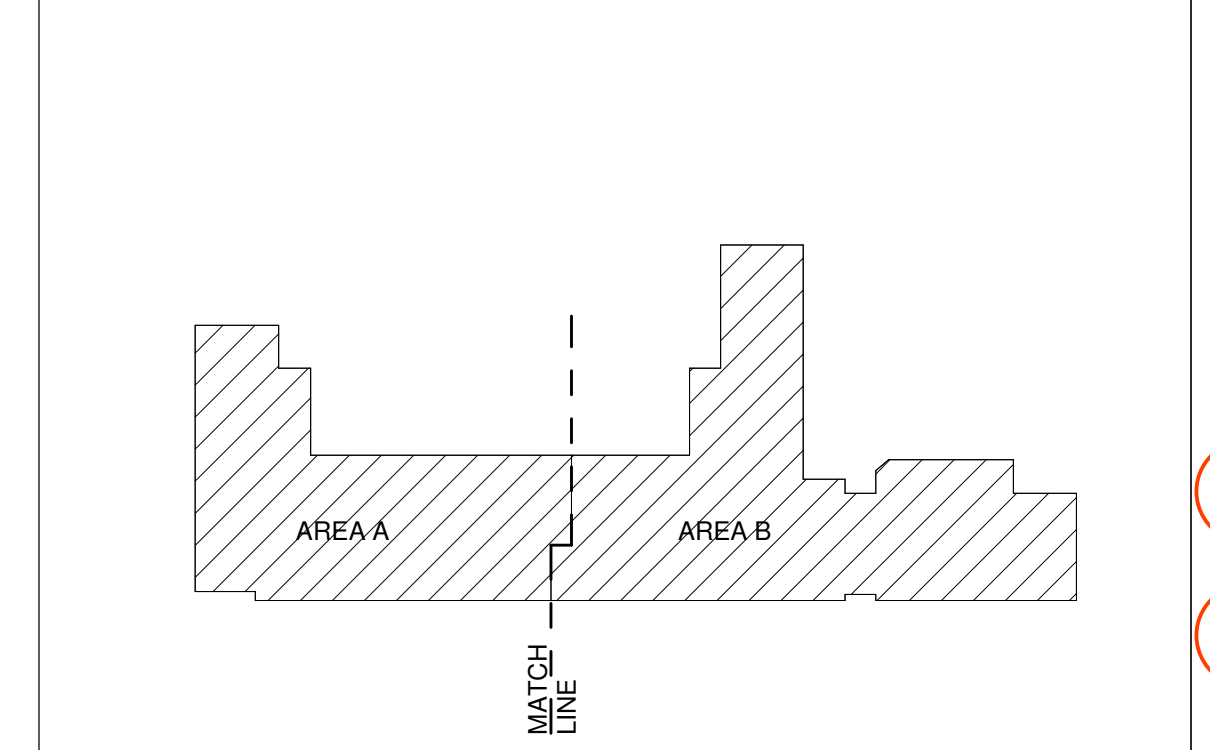
REFERENCE KEYNOTES

02 4100 45	EXISTING RAMP AND RAILING TO BE REMOVED. SALVAGE RAILING TO OWNER
02 4100 46	HATCHED AREA DENOTES PLUMBING SAWCUT LOCATIONS. EXTENTS TO BE MATCHED TO EXISTING FLOOR FINISHES. IF AVAILABLE TO AVOID ADDITIONAL SAW CUTTING, CORE DRILL SLABS AT THESE LOCATIONS. PROTECT, PATCH AND REPAIR ADJACENT FLOORING AS NECESSARY.
02 4100 47	HATCHED AREA DENOTES PORTION OF EXISTING SLAB TO BE SAWCUT AND REMOVED. EXACT LOCATION UNKNOWN. COORDINATE LOCATION WITH PLUMBING LINE TO BE REMOVED.
02 4100 48	HATCHED AREA DENOTES PORTION OF EXISTING SLAB TO BE REMOVED IN ITS ENTIRETY.
02 4100 49	HATCHED AREA DENOTES PORTION OF EXISTING CONCRETE TO BE REMOVED AS NECESSARY FOR NEW UTILITY TRENCHING.
02 4100 50	HATCHED AREA DENOTES PORTION OF EXISTING LANDSCAPE TO BE REMOVED FOR UTILITY TRENCHING. UTILITY TRENCHING TO BE HAND EXCAVATED.
03 3000 01	HATCHED AREA DENOTES 2" RECESSED SLAB TO ACCEPT FLOOR TILE SYSTEM. COORDINATE EXACT EXTENTS OF RECESS WITH ARCHITECTURAL REQUIREMENTS. REFER TO STRUCTURAL FOR SLAB DETAIL.
03 3000 02	HATCHED AREA DENOTES NEW SLAB ON GRADE. FINISH LEVEL AND DEPTH TO MATCH EXISTING SLABS. REFER TO STRUCTURAL.
03 3000 03	HATCHED AREA DENOTES NEW CONCRETE SLAB INFILL TO MATCH ADJACENT SLAB.
03 3000 18	PATCH AND REPAIR CONCRETE AS NECESSARY AT UTILITY TRENCHING LOCATIONS.
32 9200 01	PATCH AND REPAIR LANDSCAPE AS NECESSARY AT UTILITY TRENCHING LOCATIONS. MATCH EXISTING ADJACENT LANDSCAPE.

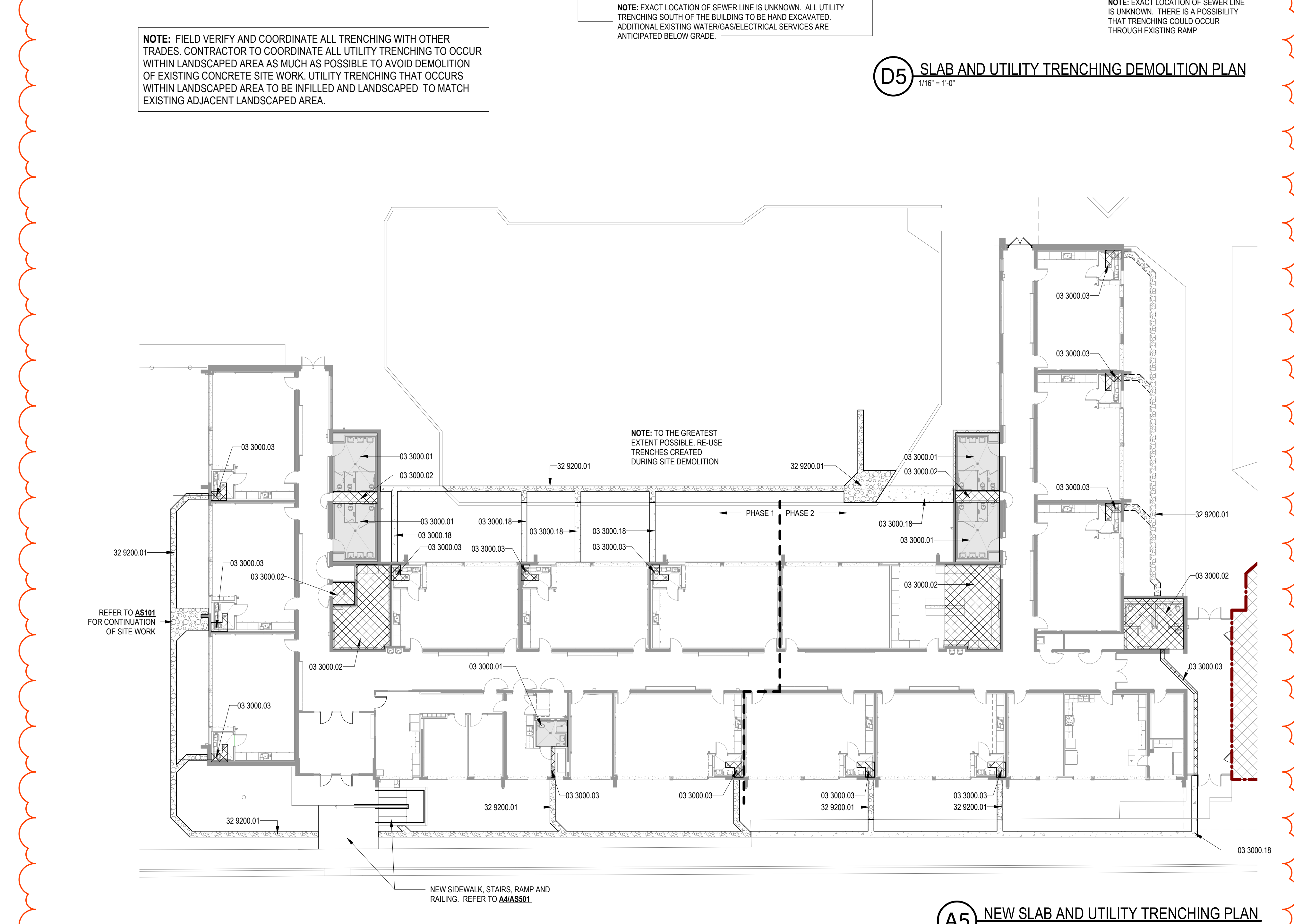
LEGEND

- NO WORK
- PORTION OF EXISTING CONCRETE SLAB TO BE SAWCUT
- PORTION OF EXISTING CONCRETE SLAB TO BE REMOVED
- PORTION OF EXISTING CONCRETE TO BE REMOVED AS NECESSARY FOR UTILITY TRENCHING
- PORTION OF EXISTING LANDSCAPE TO BE REMOVED AS NECESSARY FOR UTILITY TRENCHING
- NEW CONCRETE SLAB. FINISH HEIGHT TO MATCH EXISTING SLAB
- NEW CONCRETE SLAB. RECESSED 2" TO ACCEPT FLOOR TILE SYSTEM
- PATCH AND REPAIR CONCRETE AS NECESSARY AT UTILITY TRENCHING LOCATIONS
- PATCH AND REPAIR LANDSCAPE AS NECESSARY AT UTILITY TRENCHING LOCATIONS

KEY PLAN



D5 SLAB AND UTILITY TRENCHING DEMOLITION PLAN
1/16" = 1'-0"



A5 NEW SLAB AND UTILITY TRENCHING PLAN
1/16" = 1'-0"

NOTE: FIELD VERIFY AND COORDINATE ALL TRENCHING WITH OTHER TRADES. CONTRACTOR TO COORDINATE ALL UTILITY TRENCHING TO OCCUR WITHIN LANDSCAPED AREA AS MUCH AS POSSIBLE TO AVOID DEMOLITION OF EXISTING CONCRETE. SITE WORK, UTILITY TRENCHING THAT OCCURS WITHIN LANDSCAPED AREA TO BE INFILLED AND LANDSCAPED TO MATCH EXISTING ADJACENT LANDSCAPED AREA.

NOTE: EXACT LOCATION OF SEWER LINE IS UNKNOWN. ALL UTILITY TRENCHING SOUTH OF THE BUILDING TO BE HAND EXCAVATED. ADDITIONAL EXISTING WATER/GAS/ELECTRICAL SERVICES ARE ANTICIPATED BELOW GRADE.

NOTE: TO THE GREATEST EXTENT POSSIBLE, RE-USE TRENCHES CREATED DURING SITE DEMOLITION

THIS SHEET IS FOR REFERENCE ONLY. BASE BID AND ALL BID LOTS ARE SHOWN TOGETHER FOR CLARITY



SEAL

PROJECT

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION
DOCUMENTS

REVISIONS

03/03/2021	ADDENDUM 003
03/05/2021	ADDENDUM 004

DRAWN BY	NW
REVIEWED BY	OK
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K	K-18-011
PSFA SYSTEMS	S-20-008
DRAWING NAME	SITE PLAN

SHEET NO
AS101

GENERAL SHEET NOTES

- CONTRACTOR SHALL ESTABLISH A TREE PROTECTION ZONE AROUND EACH EXISTING TREE TO REMAIN. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A CIRCLE CONCENTRIC WITH EACH TREE WITH A RADIUS 1.5 TIMES THE DIAMETER OF THE DRIP LINE UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL ERECT PROTECTIVE BARRIERS (FENCING) AT THE PERIMETER OF TREE PROTECTION ZONES. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
- CONTRACTOR SHALL NOT STORE OR DRIVE EQUIPMENT, VEHICLES OR MATERIALS WITHIN THE TREE PROTECTION ZONE.
- CONTRACTOR SHALL PROTECT EXISTING ROOTS FROM DAMAGE WHEN WORKING WITHIN THE TREE PROTECTION ZONE. THE CONTRACTOR SHALL LIMIT DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES WITHIN THE ROOT PROTECTION ZONE TO THE MINIMUM DISTURBANCE REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR SHALL NOT ALLOW CONCRETE TRUCKS TO CLEAN CHUTES OR DUMP EXCESS CONCRETE OR ANY OTHER CEMENTITIOUS PRODUCTS IN ANY PORTION OF THE SITE. CONTRACTOR SHALL CLEAN THE WASTE OF OTHER CEMENTITIOUS MATERIALS FROM THE SURFACE AND THEY SHALL NOT BE TURNED UNDER DURING FINAL GRADING.
- CONTRACTOR TO COORDINATE WITH OWNER TO PROVIDE TEMPORARY IRRIGATION TO EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR TO PATCH, REPAIR OR REPLACE ANY SITE ELEMENTS THAT ARE REMOVED WHERE UTILITIES ARE RUNNING UNDERGROUND. PATCH AND REPAIR TO MATCH PREVIOUSLY EXISTING SITE CONDITION. REFER TO FIRE PROTECTION, PLUMBING AND ELECTRICAL.
- EXISTING IRRIGATION SYSTEM TO REMAIN OPERATIONAL THROUGHOUT THE DURATION OF THE PROJECT. IF IRRIGATION LINES, SPRINKLER HEADS OR ANY OTHER PORTIONS OF THE SYSTEM ARE DAMAGED REPAIR AS REQUIRED.
- INSTALL GRASS SOD IN AREAS WHERE TRENCHING OR HEAVY TRAFFIC HAS DAMAGED EXISTING GRASS SOD SPECIES TO MATCH EXISTING.
- ITEMS OUTSIDE PROPERTY LINE ARE CONSIDERED ABOVE ADEQUACY AND WILL BE PAID FOR BY DISTRICT AS PART OF BID LOT #4.

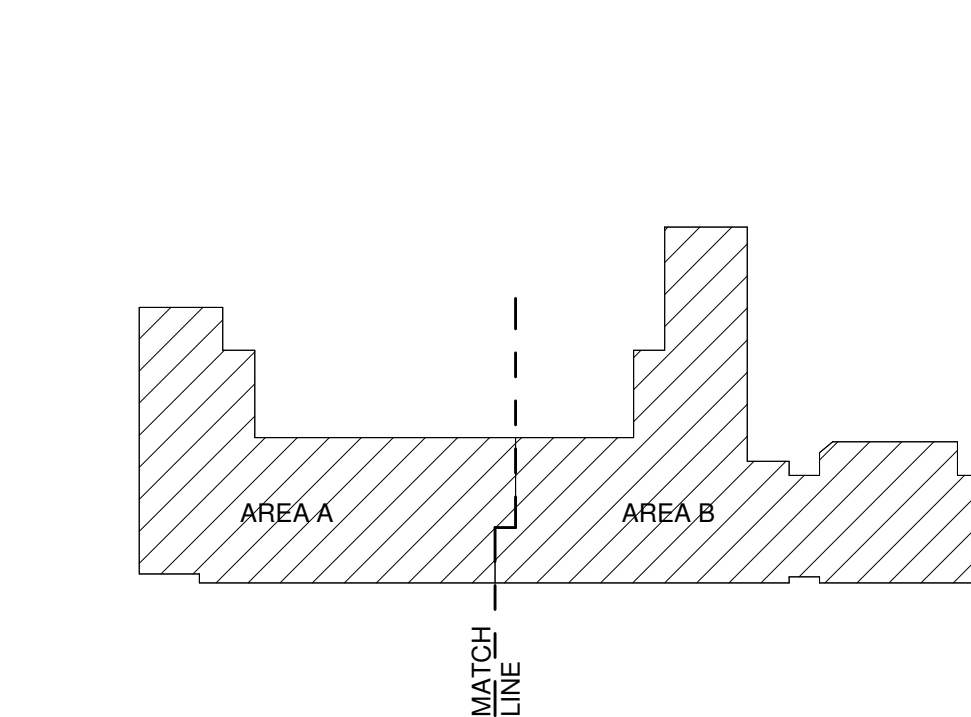
REFERENCE KEYNOTES

01 5639 01	EXISTING TREE TO REMAIN. PROTECT TREE AND DRIP LINE AREA AS INDICATED
01 5639 02	EXISTING SHRUB TO REMAIN. PROTECT SHRUB AND DRIP LINE AREA AS INDICATED
02 0100 38	EXISTING BACKFLOW PREVENTER
02 0100 39	EXISTING IRRIGATION BOX
02 0100 42	EXISTING FLAG POLE
02 0100 43	EXISTING MONUMENT SIGN TO REMAIN
02 0100 44	EXISTING GAS METER TO REMAIN
02 0100 45	EXISTING FIRE HYDRANT TO REMAIN
02 4100 45	EXISTING RAMP AND RAILING TO BE REMOVED. SALVAGE RAILING TO OWNER
03 3000 18	PATCH AND REPAIR CONCRETE AS NECESSARY AT UTILITY TRENCHING LOCATIONS
09 9123 06	EXISTING GATE TO RECEIVE PAINT FINISH IN COLOR TBD
22 0000 03	HEATED ENCLOSURE. REFER TO PLUMBING
31 1000 01	EXISTING BUSH TO BE REMOVED
32 1216 01	PATCH AND REPAIR ASPHALT PAVING AS NECESSARY AT UTILITY TRENCHING LOCATIONS
32 9200 01	PATCH AND REPAIR LANDSCAPE AS NECESSARY AT UTILITY TRENCHING LOCATIONS. MATCH EXISTING ADJACENT LANDSCAPE

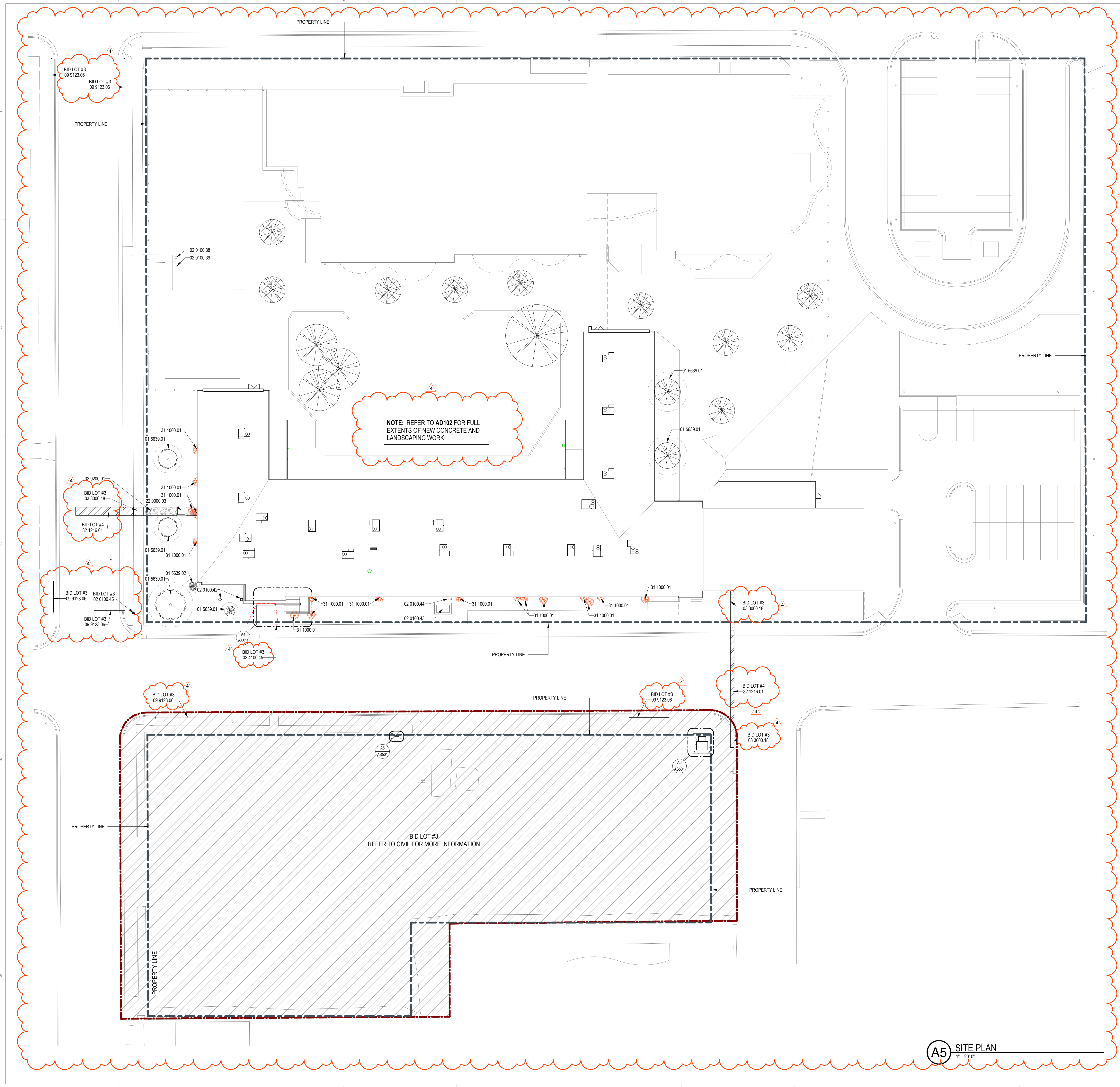
LEGEND

- BID LOT #3
- PATCH AND REPAIR CONCRETE
- PATCH AND REPAIR LANDSCAPE
- PATCH AND REPAIR ASPHALT PAVING
- TREE PROTECTION ZONE AND DRIP LINE (1.5 TIMES TREE CANOPY)
- EXISTING TO BE REMOVED
- PROPERTY LINE

KEY PLAN

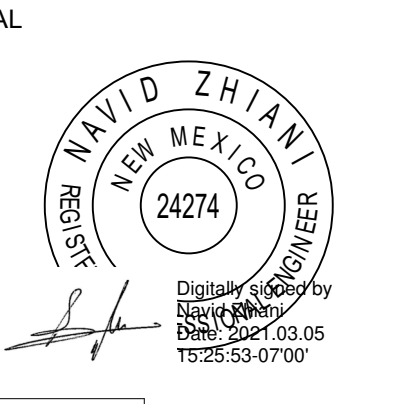


A5 SITE PLAN
1" = 20'-0"



NOTE: REFER TO A4102 FOR FULL EXTENTS OF NEW CONCRETE AND LANDSCAPING WORK

**BID LOT #3
REFER TO CIVIL FOR MORE INFORMATION**



PROJECT

GENERAL SHEET NOTES

- A. THE CONTRACTOR SHALL COMPLY WITH NFPA-13 AND REQUIREMENTS OF THE AHJ.
- B. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO COMMENCING WORK.
- C. ALL EQUIPMENT AND MATERIALS SHALL CONFORM TO NFPA STANDARDS AND BE UL LISTED.
- D. SPRINKLER SYSTEMS SHALL BE DESIGNED FOR LIGHT HAZARD WITH DESIGN DENSITY OF 0.10 GPM / 1500 SQ.FT. THROUGHOUT ENTIRE BUILDING UNLESS NOTED OTHERWISE.
- E. MAXIMUM SPRINKLER HEAD COVERAGE SHALL BE 225 SQ.FT. PER HEAD IN LIGHT HAZARD AREAS.
- F. THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MECHANICAL, PLUMBING, AND ELECTRICAL PRIOR TO FABRICATION AND DURING INSTALLATION.
- G. THE CONTRACTOR SHALL SUPPLY AND INSTALL AN INSPECTORS TEST CONNECTION (ITC) FOR EACH SPRINKLER SYSTEM. RUN THROUGH EXTERIOR WALLS WHERE APPROVED BY ARCHITECT / ENGINEER.
- H. THE ARCHITECT SHALL APPROVE THE AESTHETICS OF THE SPRINKLER HEADS AND EXPOSED PIPING LAYOUT.
- I. PROVIDE PENDANT AND UPRIGHT SPRINKLERS IN ALL CONCEALED COMBUSTIBLE SPACES.
- J. USE FLUSH CONCEALED HEADS IN ALL TOILET ROOMS. PROVIDE SPRINKLERS UNDER EXPOSED DUCT OR OBSTRUCTIONS 48" WIDE AND LARGER.
- K. REFER TO CEILING TILE DETAIL C1/FX-501 FOR SPRINKLER HEAD LOCATIONS IN CEILING TILES.
- L. PROVIDE SIDEWALL SPRINKLER HEADS AT TOP OF SKYLIGHTS.
- M. REFER TO FIRE RISER DIAGRAM A3/FX501 FOR MORE INFORMATION.
- N. PROVIDE UPRIGHT SPRINKLER PROTECTION WHERE CUMBUSTABLE MATERIALS ARE FOUND IN CEILING PLENUM.

KEYNOTES

- 1. CONNECT NEW 6" BRANCH LINE TO PUBLIC WATER UTILITY MAIN.
- 2. PUBLIC UTILITY MAIN SHUTOFF VALVE & VALVE BOX.
- 3. HEATED ENCLOSURE. REFER TO DETAIL A1/FX201 FOR ADDITIONAL INFORMATION. COORDINATE LOCATION AND FIRE LINE ROUTING WITH SITE LANDSCAPING AND CIVIL PLANS. EXISTING TREES IN THIS AREA ARE TO REMAIN. COORDINATE ROUTING TO AVOID EXISTING TREES AND TREE ROOT SYSTEM.
- 4. FIRE RISER ASSEMBLY. REFER TO DETAIL A3/FX501 FOR ADDITIONAL INFORMATION.
- 5. FIRE SPRINKLER SUPPLY MAIN.
- 6. PHASE 1 INTERIM INSPECTOR TEST VALVE LOCATION.
- 7. TERMINATE IN ACCORDANCE WITH NFPA 13.
- 8. WATER ENTRY. SEE DETAIL B3/FX201.
- 9-10. PROVIDE ORDINARY HAZARD GROUP 1 COVERAGE AT DESIGN DENSITY OF 0.15 GPM/1500 SQ.FT.
- 11. SUPPLY THIS SPACE WITH A DEDICATED BRANCH LINE. NO OTHER PIPING SHALL RUN THROUGH THIS ROOM.

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

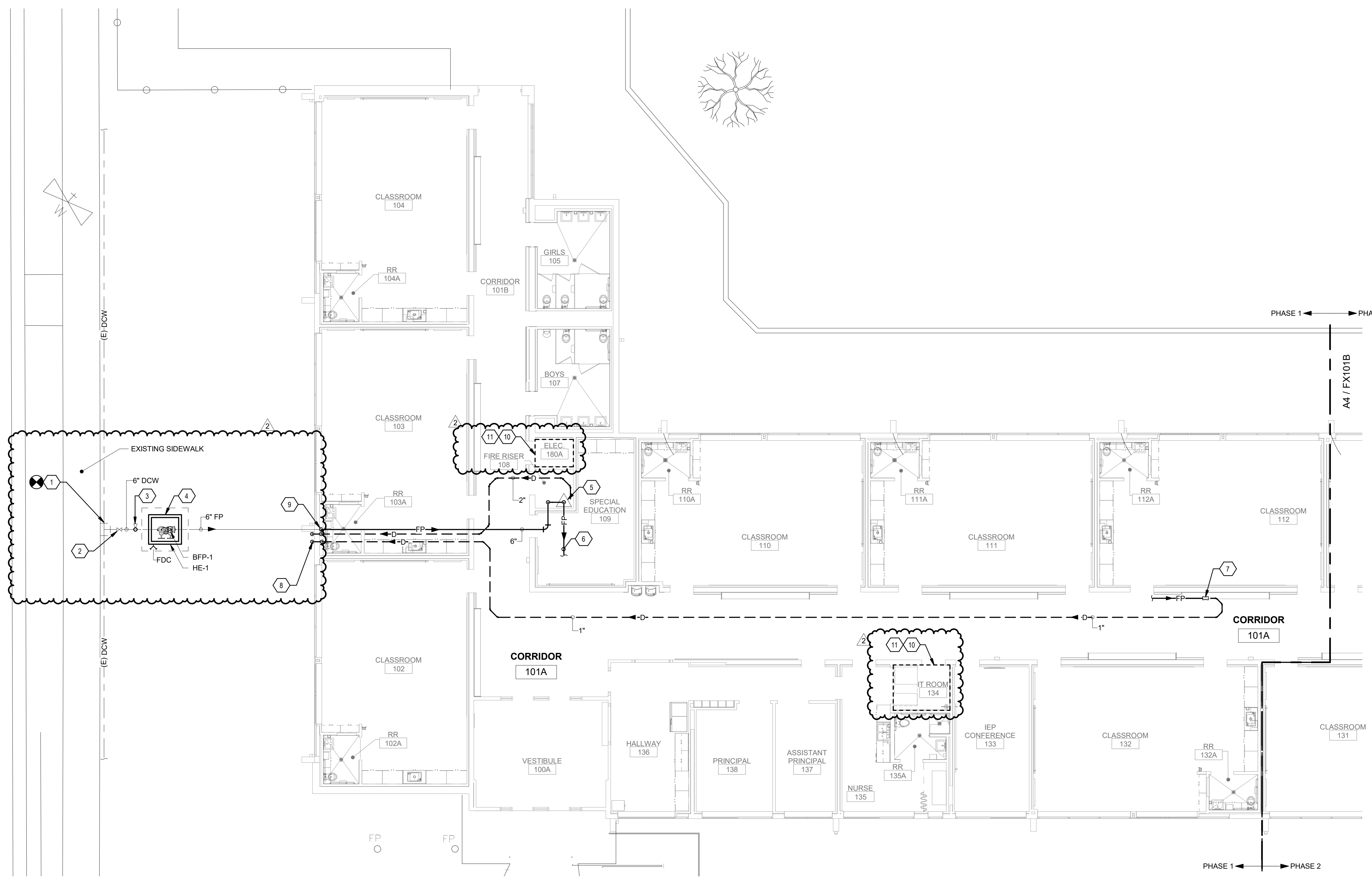
REVISIONS

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DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

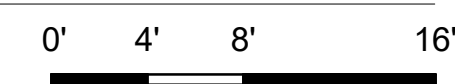
FIRE PROTECTION FLOOR PLAN - AREA A - BID LOT #1

SHEET NO
FX101A



A4 FIRE PROTECTION FIRST FLOOR PLAN - AREA A - BID LOT #1

SCALE: 1/8" = 1'-0"



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Bridgers & Paxton Project No. 8022

GENERAL SHEET NOTES

- A. THE CONTRACTOR SHALL COMPLY WITH NFPA-13 AND REQUIREMENTS OF THE AHJ.
- B. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO COMMENCING WORK.
- C. ALL EQUIPMENT AND MATERIALS SHALL CONFORM TO NFPA STANDARDS AND BE UL LISTED.
- D. SPRINKLER SYSTEMS SHALL BE DESIGNED FOR LIGHT HAZARD WITH DESIGN DENSITY OF 0.10 GPM / 1500 SQ.FT. THROUGHOUT ENTIRE BUILDING UNLESS NOTED OTHERWISE.
- E. MAXIMUM SPRINKLER HEAD COVERAGE SHALL BE 225 SQ.FT. PER HEAD IN LIGHT HAZARD AREAS.
- F. THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MECHANICAL, PLUMBING, AND ELECTRICAL PRIOR TO FABRICATION AND DURING INSTALLATION.
- G. THE CONTRACTOR SHALL SUPPLY AND INSTALL AN INSPECTOR'S TEST CONNECTION (ITC) FOR EACH SPRINKLER SYSTEM. RUN THROUGH EXTERIOR WALLS WHERE APPROVED BY ARCHITECT / ENGINEER.
- H. THE ARCHITECT SHALL APPROVE THE AESTHETICS OF THE SPRINKLER HEADS AND EXPOSED PIPING LAYOUT.
- I. PROVIDE PENDANT AND UPRIGHT SPRINKLERS IN ALL CONCEALED COMBUSTIBLE SPACES.
- J. USE FLUSH CONCEALED HEADS IN ALL TOILET ROOMS. PROVIDE SPRINKLERS UNDER EXPOSED DUCT OR OBSTRUCTIONS 48" WIDE AND LARGER.
- K. REFER TO CEILING TILE DETAIL C1/FX-501 FOR SPRINKLER HEAD LOCATIONS IN CEILING TILES.
- L. PROVIDE SIDEWALL SPRINKLER HEADS AT TOP OF SKYLIGHTS.
- M. REFER TO FIRE RISER DIAGRAM A3/FX501 FOR MORE INFORMATION.
- N. PROVIDE UPRIGHT SPRINKLER PROTECTION WHERE CUMBUSTABLE MATERIALS ARE FOUND IN CEILING PLENUM.

KEYNOTES

- 1. TERMINATE IN ACCORDANCE WITH NFPA-13.
- 2. INSPECTOR'S TEST VALVE. REFER TO DETAIL B5/FX501 FOR ADDITIONAL INFORMATION.
- 3. ~~DO NOT REMOVE HEAD~~
- 4. NO WORK IN THIS AREA.
- 5. PROVIDE ORDINARY HAZARD GROUP 1 COVERAGE AT DESIGN DENSITY OF 0.15 GPM/1,500 SQ.FT.
- 6. SUPPLY THIS SPACE WITH A DEDICATED BRANCH LINE. NO OTHER PIPING SHALL RUN THROUGH THIS ROOM.

**Brown Early Childhood Center
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CONSTRUCTION DOCUMENTS

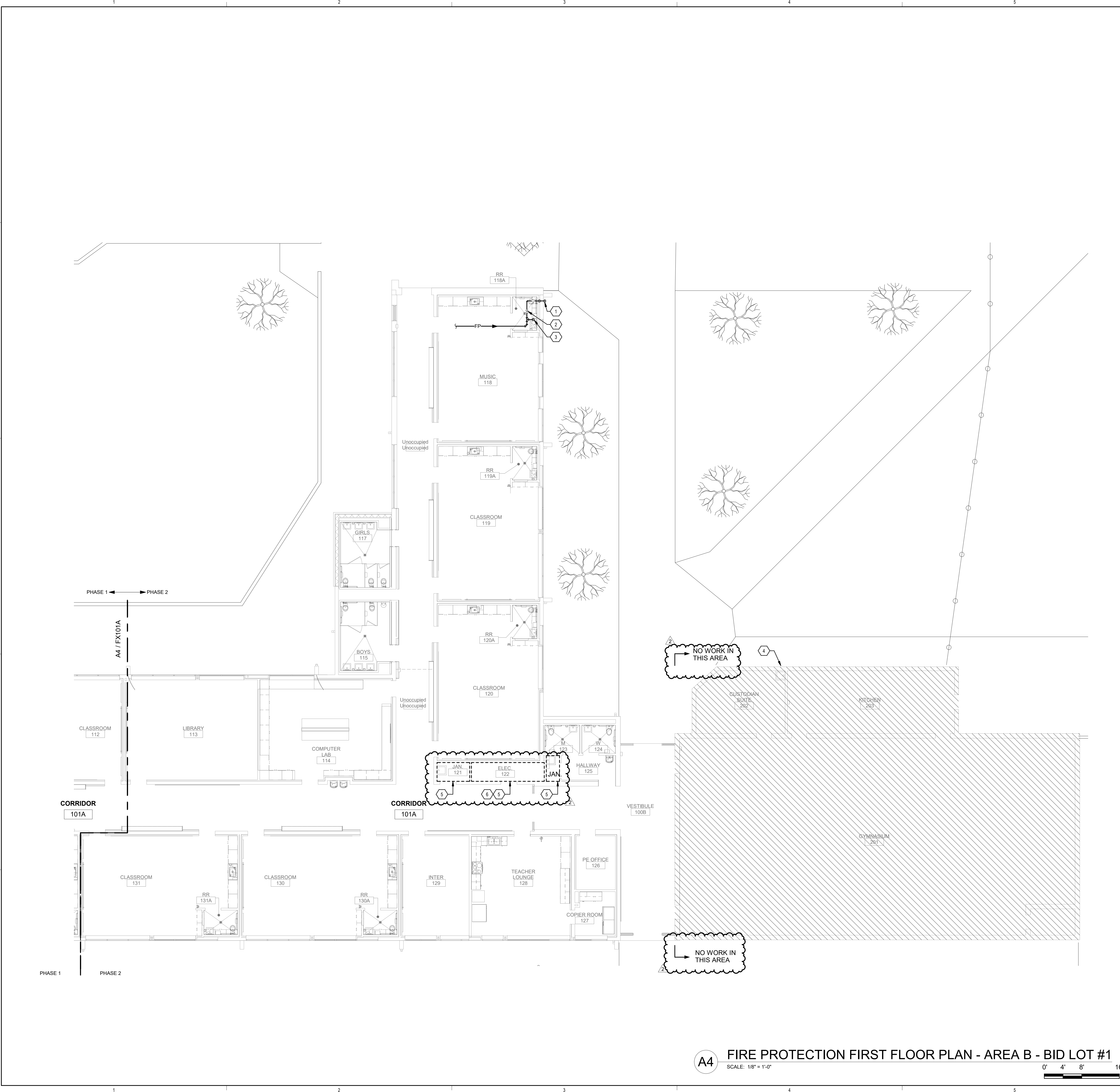
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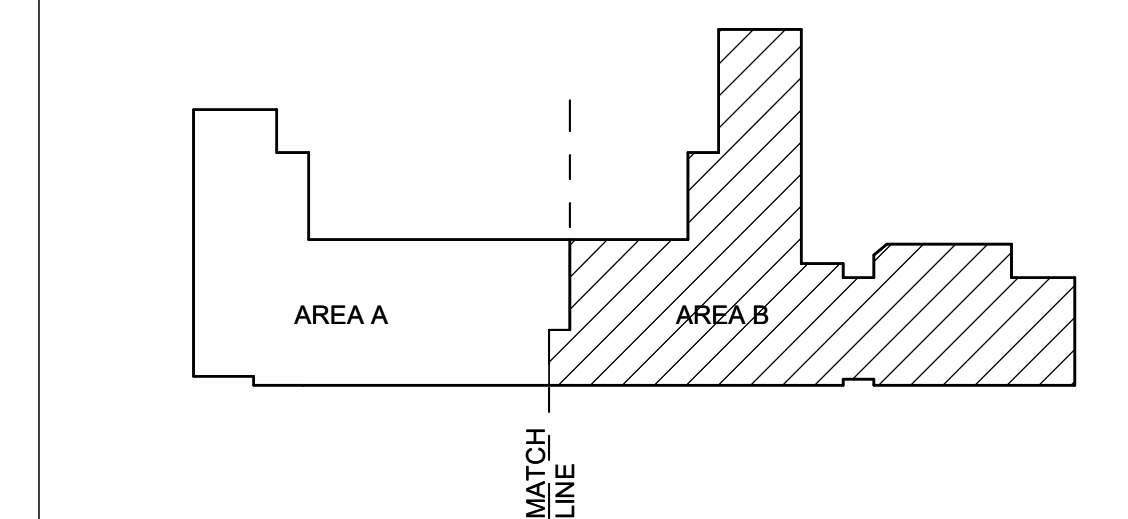
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DATE	12/10/2019
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PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

FIRE PROTECTION FLOOR PLAN - AREA B - BID LOT #1

SHEET NO
FX101B



KEYPLAN



A4 FIRE PROTECTION FIRST FLOOR PLAN - AREA B - BID LOT #1

SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'

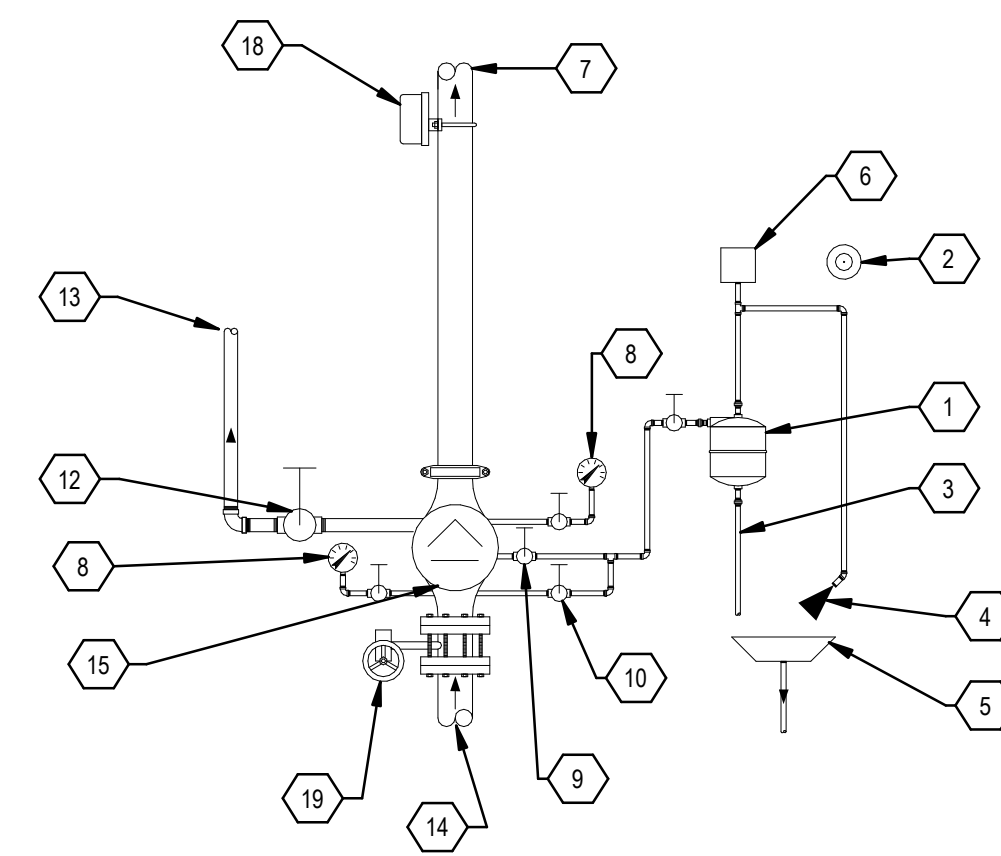
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 Bridges & Paxton Project No. 8022

REVISIONS	
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DRAWN BY	PCN
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO	K-18-011
PSFA SYSTEMS PROJECT NO	S-20-008
DRAWING NAME	

FIRE PROTECTION DETAILS

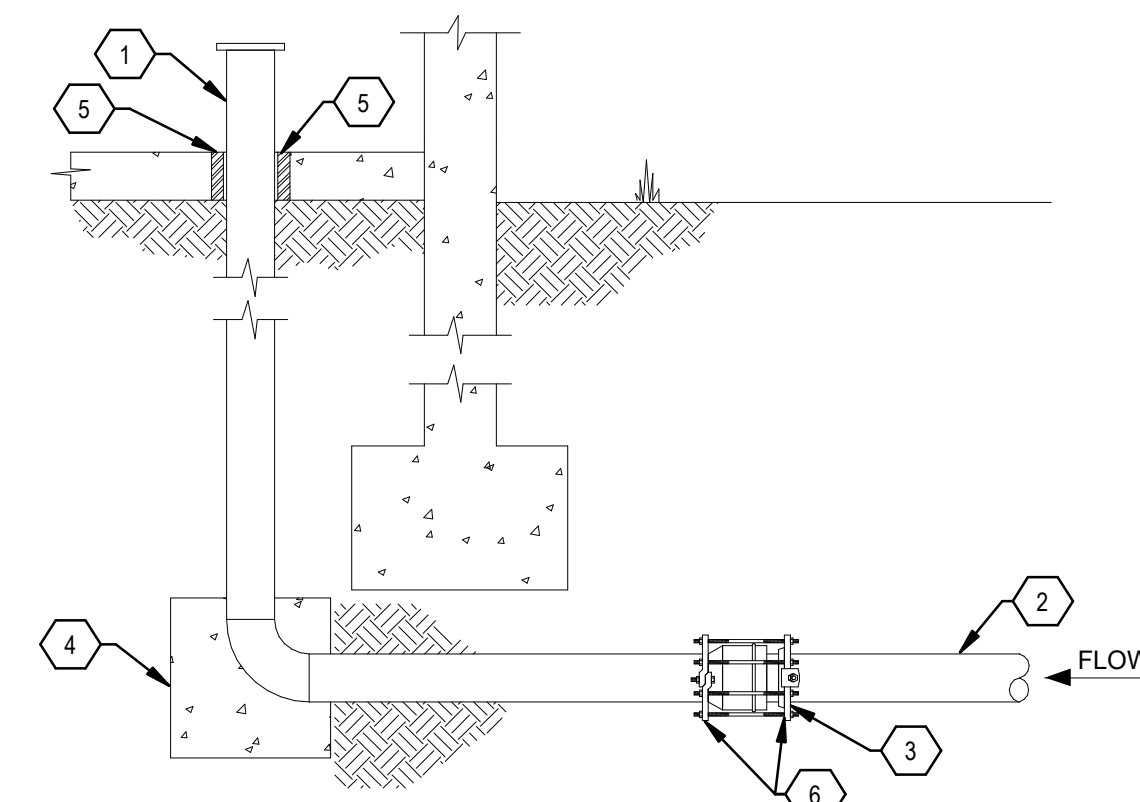
SHEET NO
FX501



- | | |
|---|--|
| 1 RETARDING CHAMBER | 11 NOT USED |
| 2 ELECTRIC ALARM LOCATED 8'-0" AFG & ADJACENT TO SIAMESE FIRE DEPARTMENT INLET CONNECTION | 12 FULL SIZED MAIN DRAIN VALVE |
| 3 AUTOMATIC DRIP | 13 TO EXTERIOR DISCHARGE |
| 4 RESTRICTED VENT | 14 FROM FIRE PROTECTION MAIN SUPPLY LINE |
| 5 DRIP CUP W/DRAIN LINE TO EXTERIOR DISCHARGE | 15 ALARM CHECK VALVE |
| 6 ALARM SWITCH | 16 NOT USED |
| 7 TO SPRINKLER SYSTEM | 17 NOT USED |
| 8 WATER PRESSURE GAUGE | 18 FLOW SWITCH |
| 9 ALARM SHUT-OFF VALVE & CHECK VALVE (NORMALLY OPEN) | 19 INDICATING BUTTERFLY VALVE |
| 10 ALARM TEST VALVE (NORMALLY CLOSED) | |

D3 SPRINKLER ALARM VALVE

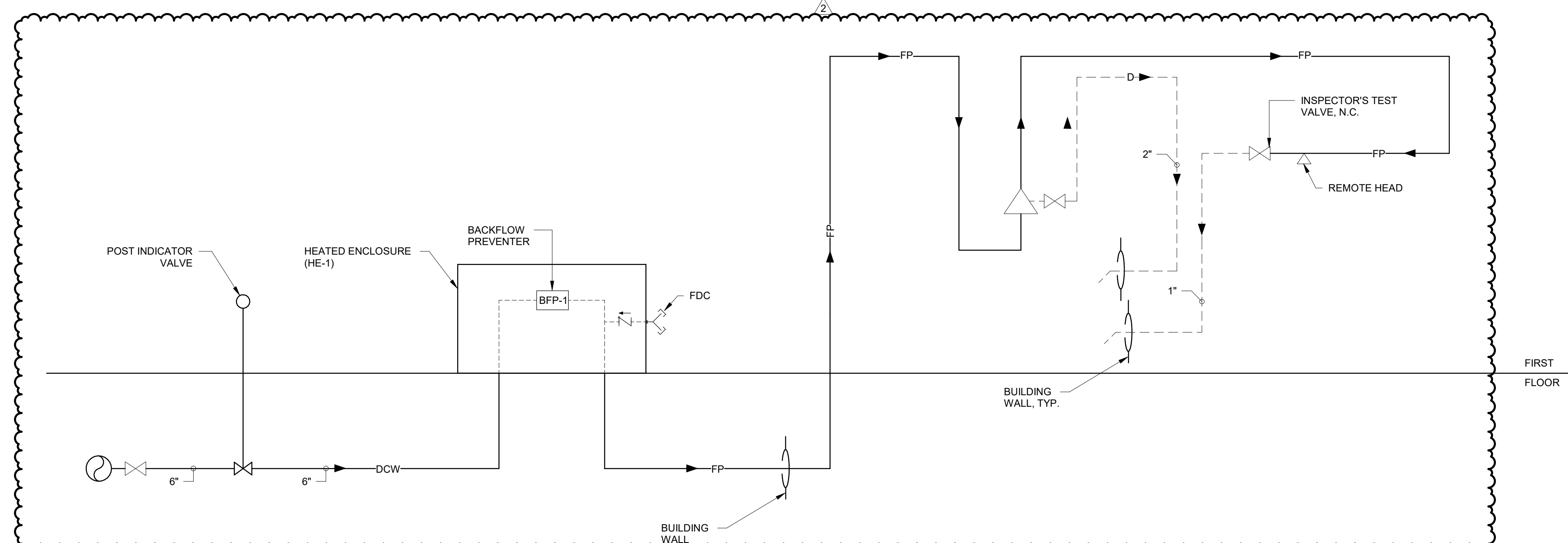
SCALE: NOT TO SCALE



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|---|---|
| 1 AMES IN-BUILDING RISER, STAINLESS STEEL TYPE 304. SEE PLANS FOR SIZE AND SERVICE | 4 CONCRETE THRUST BLOCK SIZED IN ACCORDANCE WITH UBC IF REQUIRED BY AHJ |
| 2 DUCTILE, CAST-IRON, OR PVC WATER SERVICE | 5 PIPE SLEEVE, SEE SPECIFICATIONS |
| 3 MECHANICAL JOINT FROM SUPPLY PIPE TO STAINLESS STEEL, CONTINUE INTO BUILDING WITH STAINLESS STEEL | 6 MEGALUG PIPE RESTRAINT HARNESS |

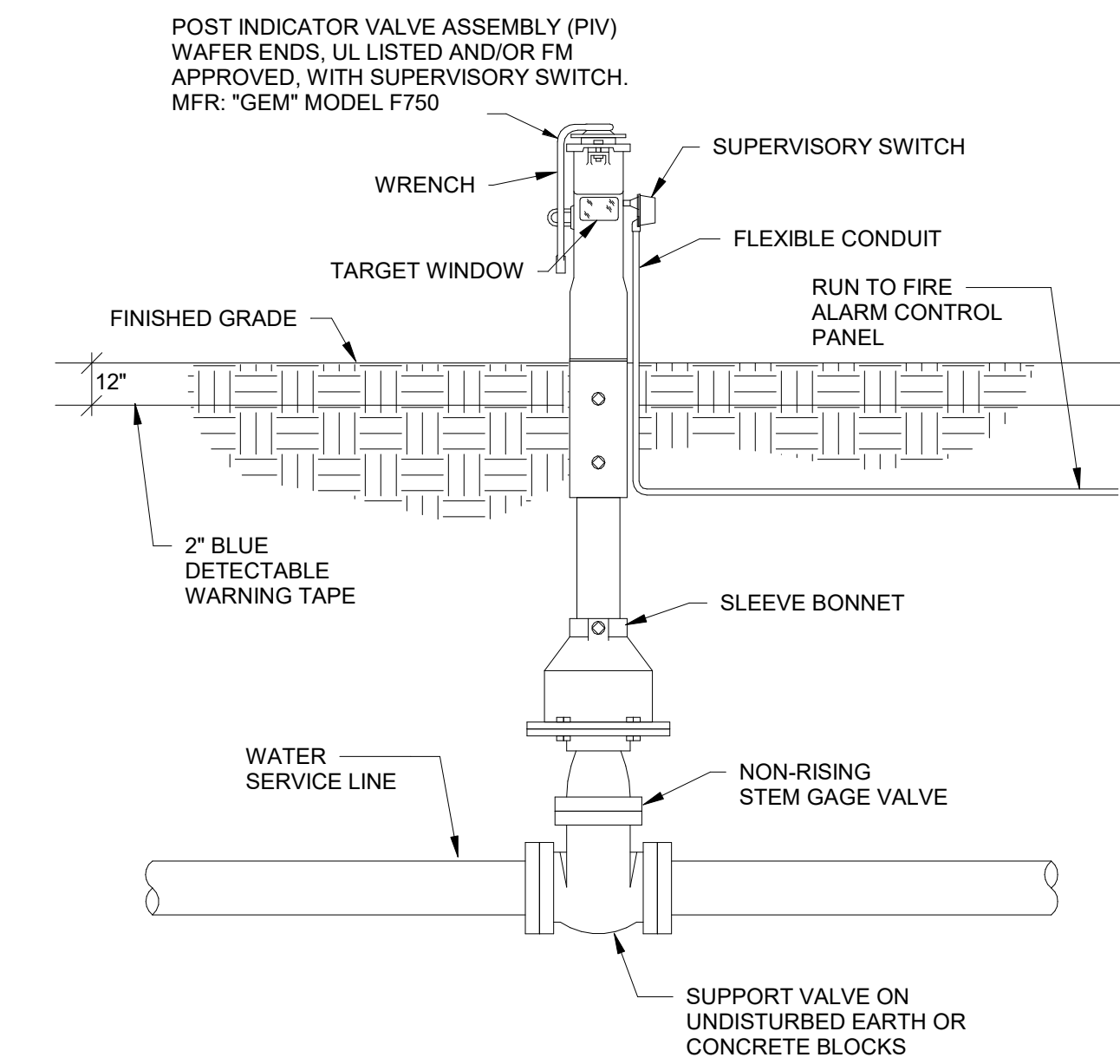
B3 FIRE PROTECTION ENTRY BELOW FOOTING DETAIL

SCALE: NOT TO SCALE



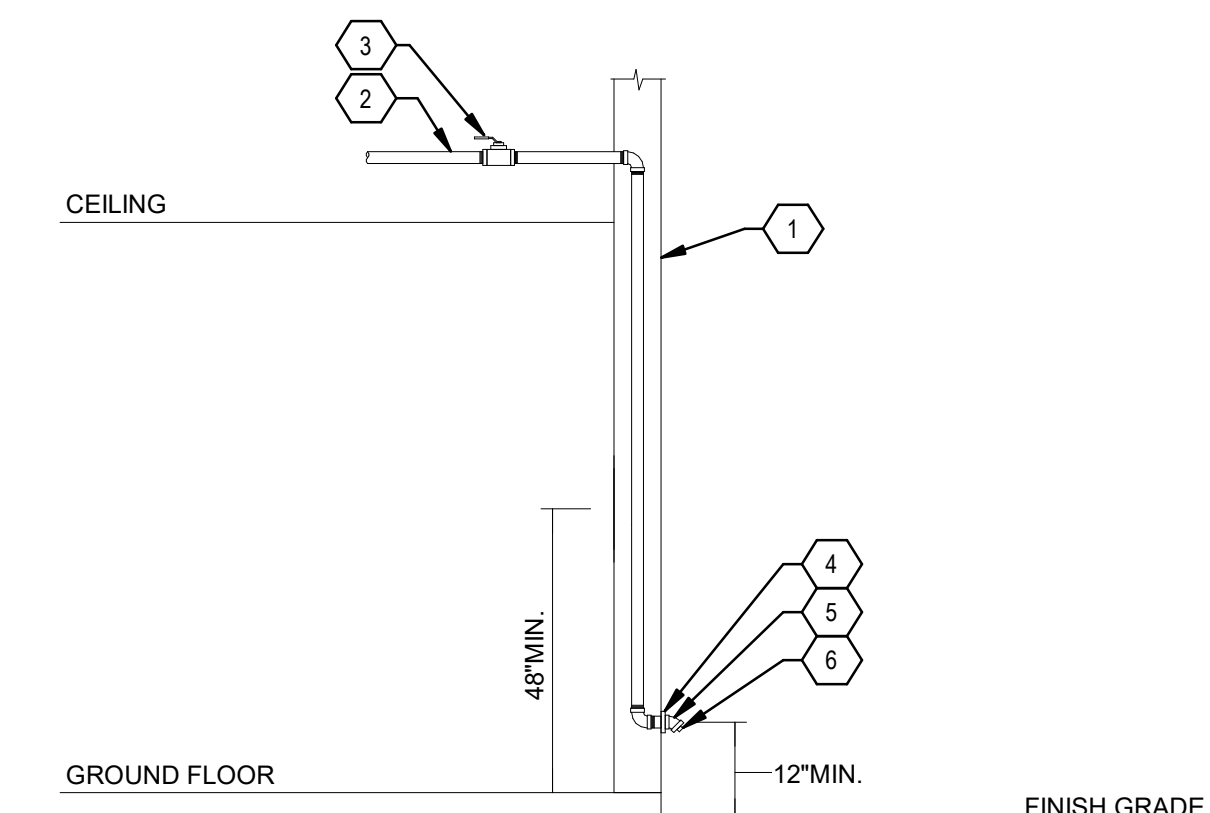
A3 FIRE RISER DIAGRAM

SCALE: NOT TO SCALE



D5 POST INDICATOR VALVE DETAIL

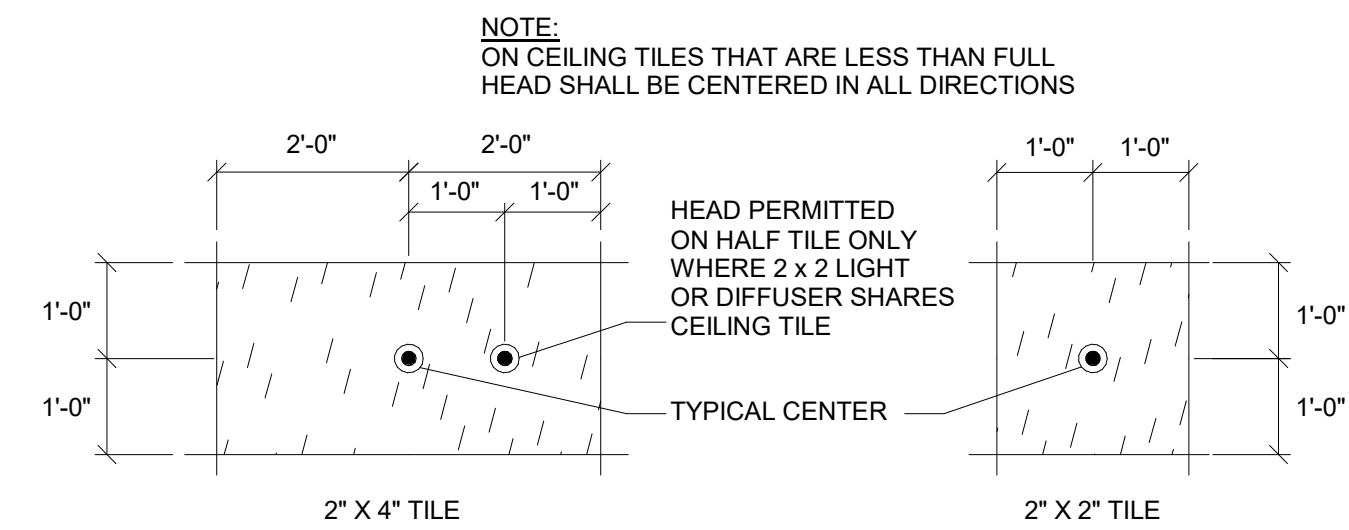
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|---|---|
| 1 EXTERIOR WALL | 5 1" GALVANIZED 45 DEGREE ELBOW |
| 2 1" SUPPLY FROM SPRINKLER SYSTEM ZONE | 6 SMOOTH BORE CORROSION RESISTANT OUTLET WITH FLOW EQUAL TO ONE SPRINKLER WITH SMALLEST ORIFICE |
| 3 1" TEST & DRAIN VALVE WITH SIGNAGE (NORMALLY CLOSED) ON WARM SIDE OF INSULATION | |
| 4 1" GALVANIZED WALL PLATE | |

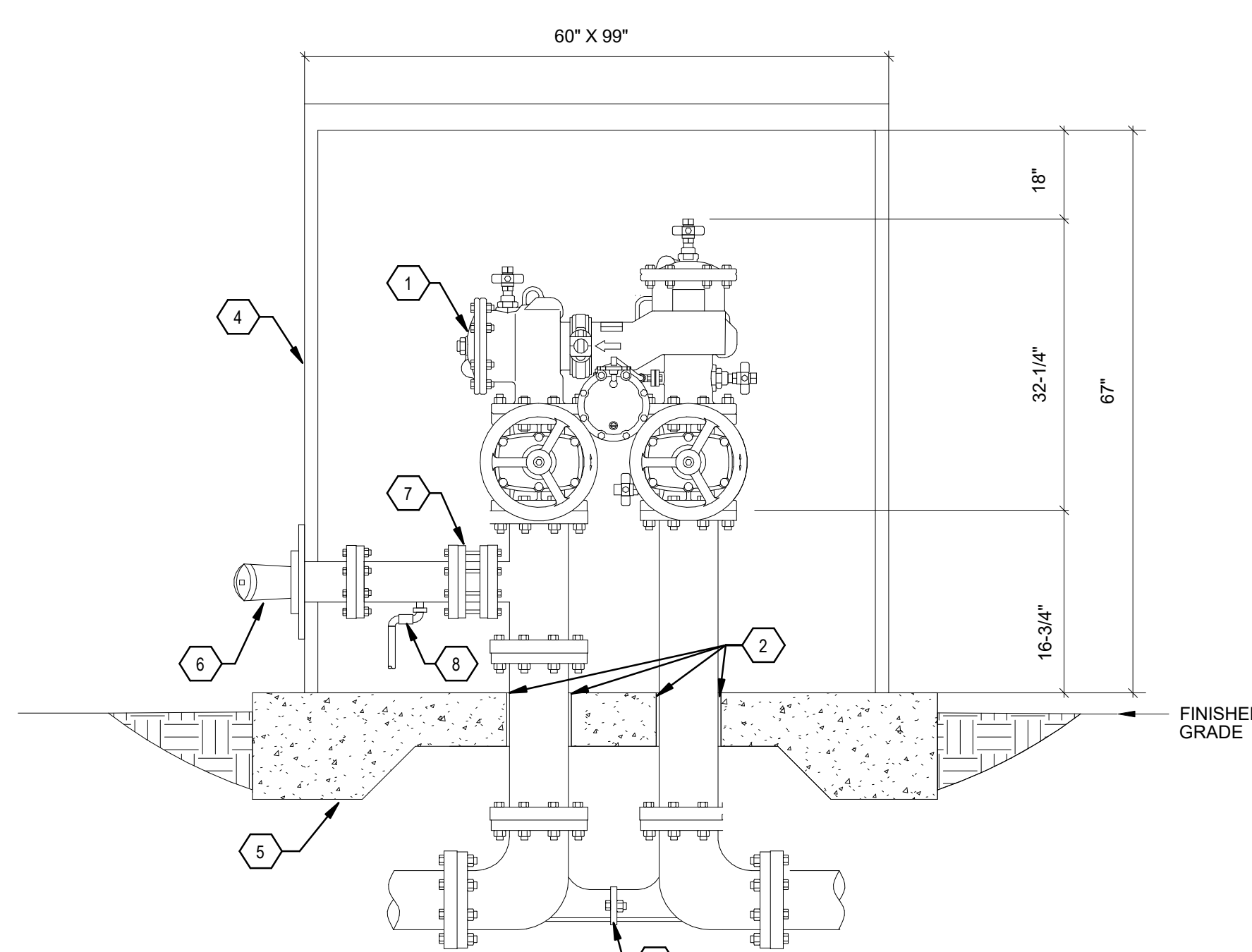
B5 INSPECTORS TEST DRAIN VALVE

SCALE: NOT TO SCALE



C1 TYPICAL FIRE SPRINKLER CEILING TILE DETAIL

SCALE: NOT TO SCALE



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|--|--|
| 1 N-PATTERN FIRE REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY. DOMESTIC BACKFLOW PREVENTER NOT SHOWN FOR CLARITY | 5 CONCRETE PAD |
| 2 SLEEVE AND CAULK SLAB PENETRATION | 6 FIRE DEPARTMENT CONNECTION. CONFIRM ELEVATION WITH AHJ |
| 3 VALVE SETTER | 7 FM APPROVED WAFER CHECK VALVE |
| 4 HEATED ENCLOSURE CUSTOM MODEL | 8 AUTO-BALL DRIP VALVE |

A1 REDUCED PRESSURE BACK FLOW PREVENTER WITH FDC

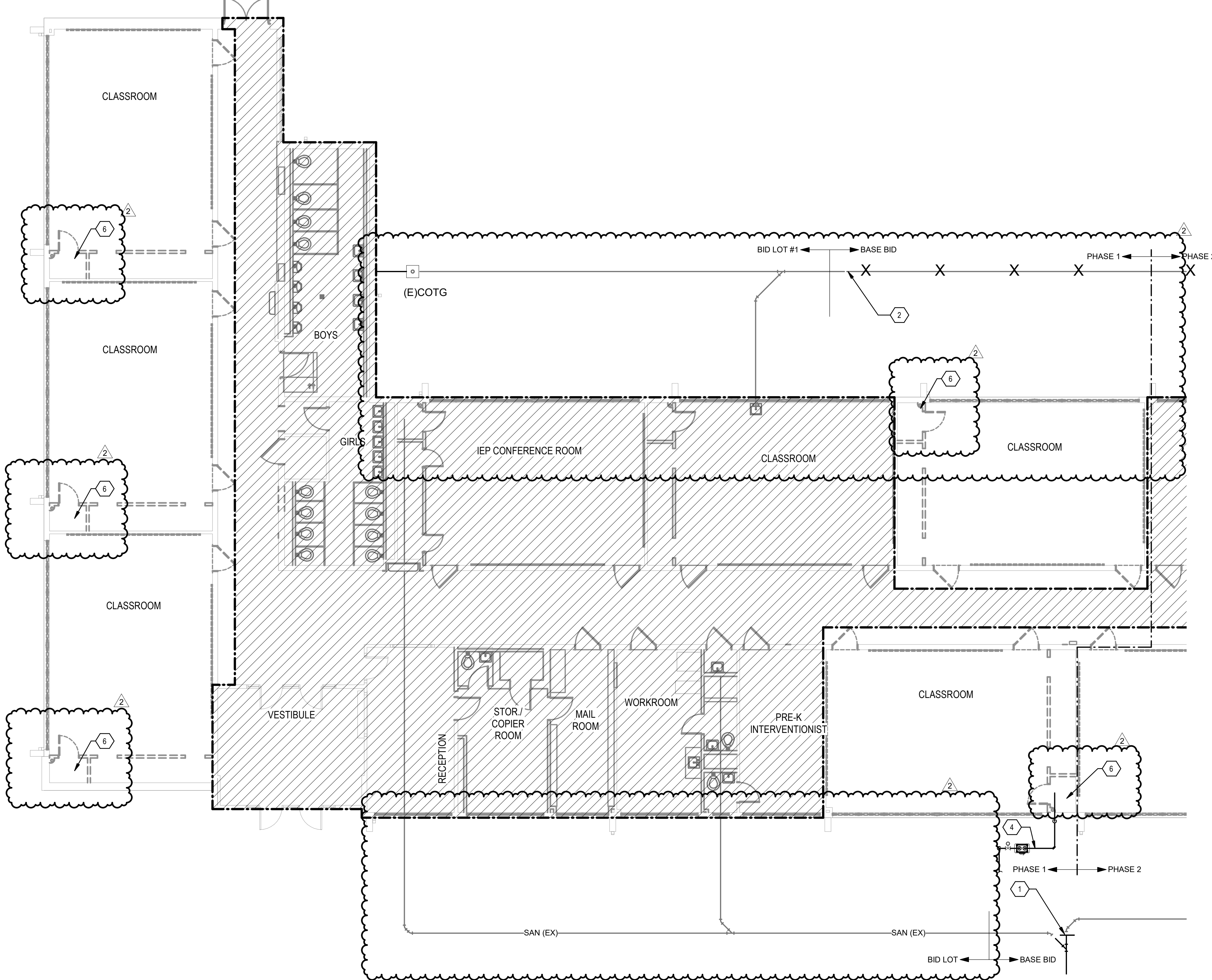
SCALE: NOT TO SCALE

GENERAL SHEET NOTES

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- B. VERIFY EXISTING LOCATIONS OF EQUIPMENT, PIPING AND SYSTEM COMPONENTS PRIOR TO DEMOLITION. IF EXISTING CONDITIONS ARE DIFFERENT THAN WHAT IS INDICATED ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- C. MINIMIZE DISTURBANCE AND/OR DAMAGE TO EXISTING FINISHED SURFACES AND FINISHES. WHERE DEMOLITION OF EXISTING PLUMBING SYSTEM COMPONENTS DAMAGES EXISTING SURFACES THAT ARE TO REMAIN, RESTORE THOSE SURFACES TO THE SAME CONDITION AS THE ADJACENT SURFACES. RESTORATION MUST BE PERFORMED BY WORKMAN SKILLED IN PERFORMING SUCH WORK. ALL FIRE AND SMOKE RATINGS SHALL BE RETAINED AS PART OF THE REPAIRS AND PATCH/SEAL HOLES WEATHERTIGHT WHERE REQUIRED. ALL PATCHES AND REPAIRS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- D. ALL AREAS OF EGRESS SHALL BE KEPT OPEN AND FREE FROM DEBRIS AT ALL TIMES.
- E. DO NOT REMOVE ITEMS SUPPORTING OTHER ITEMS WITHOUT PROVIDING OTHER TEMPORARY OR PERMANENT SUPPORT AS REQUIRED. SEE DRAWINGS FOR AREAS AND EXTENT OF DEMOLITION. PROPERLY SUPPORT ALL EXISTING ITEMS TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED SUPPORTS FOR AFFECTED ITEMS.
- F. VERIFY EXTENT OF PIPING, EQUIPMENT, COMPONENTS AND CONTROLS TO BE RETAINED OR REUSED PRIOR TO THE DEMOLITION OF SPECIFIC SYSTEM. PROTECT ITEMS WHICH ARE TO BE REUSED ON SITE TO MINIMIZE POST CONSTRUCTION REPAIRS. ANY ITEMS THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.
- G. VERIFY ALL EXISTING STRUCTURAL CONDITIONS AND NOTIFY STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO PENETRATING EXISTING BUILDING STRUCTURAL SYSTEMS.
- H. NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES OR EQUIPMENT SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EQUIPMENT HAS BEEN REMOVED TO BUILDING EXTERIOR.
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- J. CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR DISTRIBUTION OF RESPONSIBILITY AMONG CONTRACTORS, FOR SPECIFIC PORTIONS OF CUTTING AND PATCHING WORK. CONTRACTOR SHALL COORDINATE ALL CUTTING AND PATCHING WORK WITH ALL OTHER CONTRACTORS.
- K. REMOVE AND CAP ALL EXISTING PIPING IN VAULTS. THERE MAY BE ACTIVE LINES THAT WILL NEED TO REMAIN FOR PHASE 2, TO REMAIN OPERATIONAL.
- L. DEMOLITION OF PIPE AT PLAYGROUND SIDE SHOULD STOP AT THE CORNER OF EXISTING NEW CONSTRUCTION.

KEYNOTES

- 1. REMOVE PIPING UP TO THIS POINT.
- 2. REMOVE ALL PIPING DOWNSTREAM OF THIS POINT.
- 3. NOT USED.
- 4. REMOVE GAS PIPING DOWN STREAM OF METER/REGULATOR ASSEMBLY IN A PHASED MANNER THAT MAINTAINS FUNCTIONALITY OF ALL DOWN STREAM EQUIPMENT AS REQUIRED TO KEEP SERVICE TO GAS SYSTEM THAT IS TO BE DEMOLISHED AS PART OF PHASE 2. REFER TO DETAIL.
- 5. NOT USED.
- 6. COORDINATE SAWCUTTING, PATCHING AND REPAIR REQUIREMENTS WITH ARCHITECTURAL.



A4 PLUMBING DEMOLITION FLOOR PLAN - AREA A
SCALE: 1/8" = 1'-0"

0' 4' 8' 16'



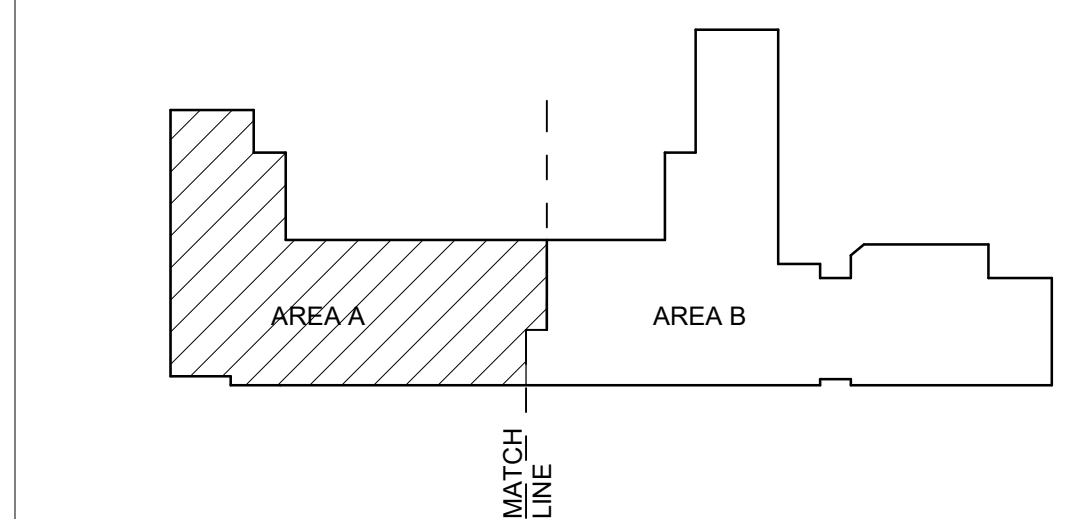
**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
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KEYPLAN



DRAWN BY	PCN
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO.	18-0032
PSFA PRE-K PROJECT NO.	K-18-011
PSFA SYSTEMS PROJECT NO.	S-20-008
DRAWING NAME	

PLUMBING DEMOLITION FLOOR PLAN - AREA A

SHEET NO.

PD100A

GENERAL SHEET NOTES

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- D. ALL AREAS OF EGRESS SHALL BE KEPT OPEN AND FREE FROM DEBRIS AT ALL TIMES.
- E. DO NOT REMOVE ITEMS SUPPORTING OTHER ITEMS WITHOUT PROVIDING OTHER TEMPORARY OR PERMANENT SUPPORT AS REQUIRED. SEE DRAWINGS FOR AREAS AND EXTENT OF DEMOLITION. PROPERLY SUPPORT ALL EXISTING ITEMS TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED SUPPORTS FOR AFFECTED ITEMS.
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- H. NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES OR EQUIPMENT SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EQUIPMENT HAS BEEN REMOVED TO BUILDING EXTERIOR.
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KEYNOTES

- 1. REMOVE PIPING UP TO THIS POINT
- 2. REMOVE PIPING BETWEEN THESE APPROXIMATE POINTS
- 3. EXISTING PLUMBING FIXTURE TO REMAIN
- 4. EXISTING SANITARY PIPING IN THIS AREA SHALL BE HAND EXCAVATED. ADDITIONAL EXISTING WATER/GASELECTRICAL SERVICES MAY EXIST BELOW GRADE. FIELD COORDINATE ALL TRENCHING IN THIS AREA WITH ALL TRADES.
- 5. COORDINATE SAWCUTTING, PATCHING AND REPAIR REQUIREMENTS WITH ARCHITECTURAL

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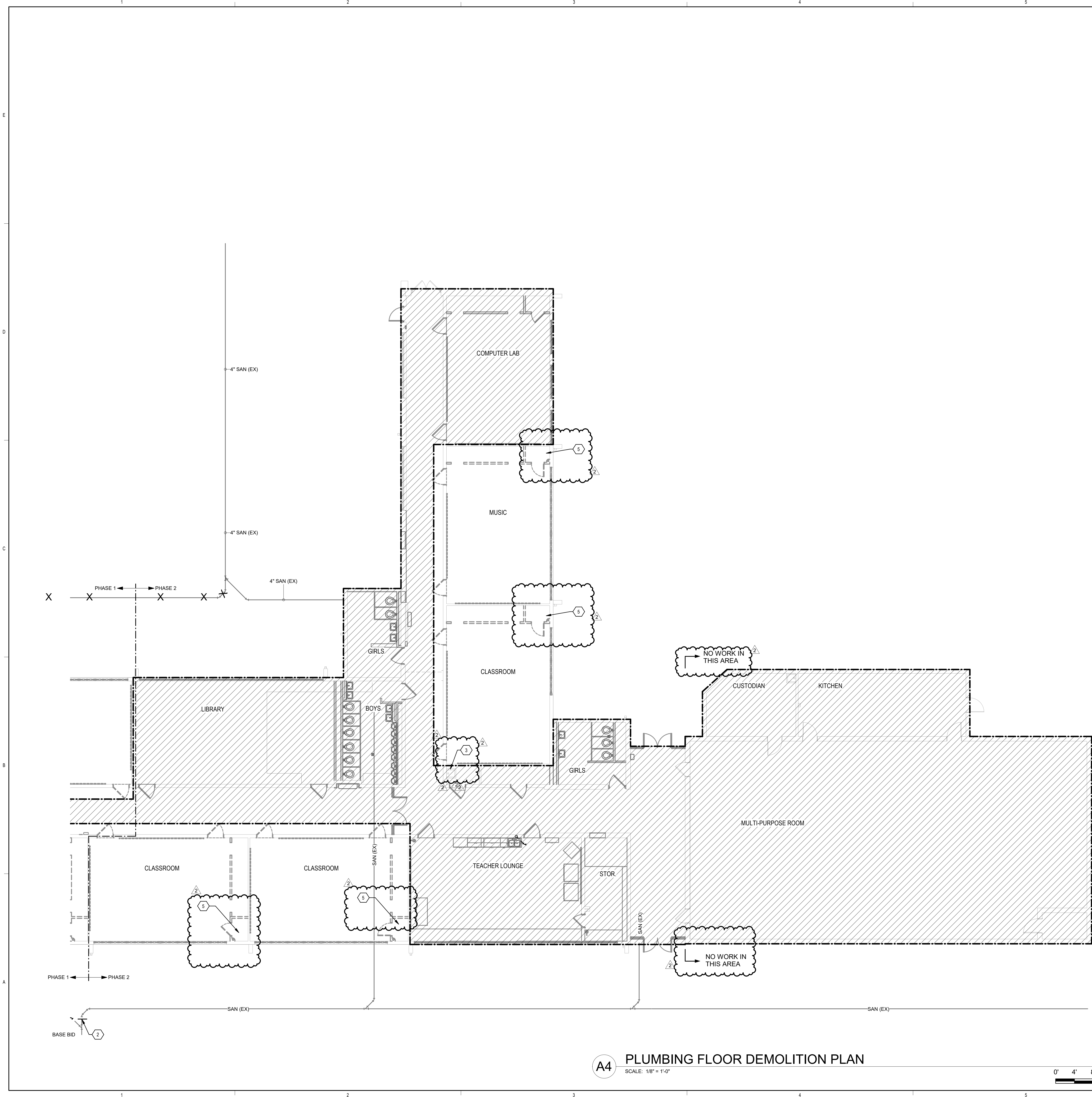
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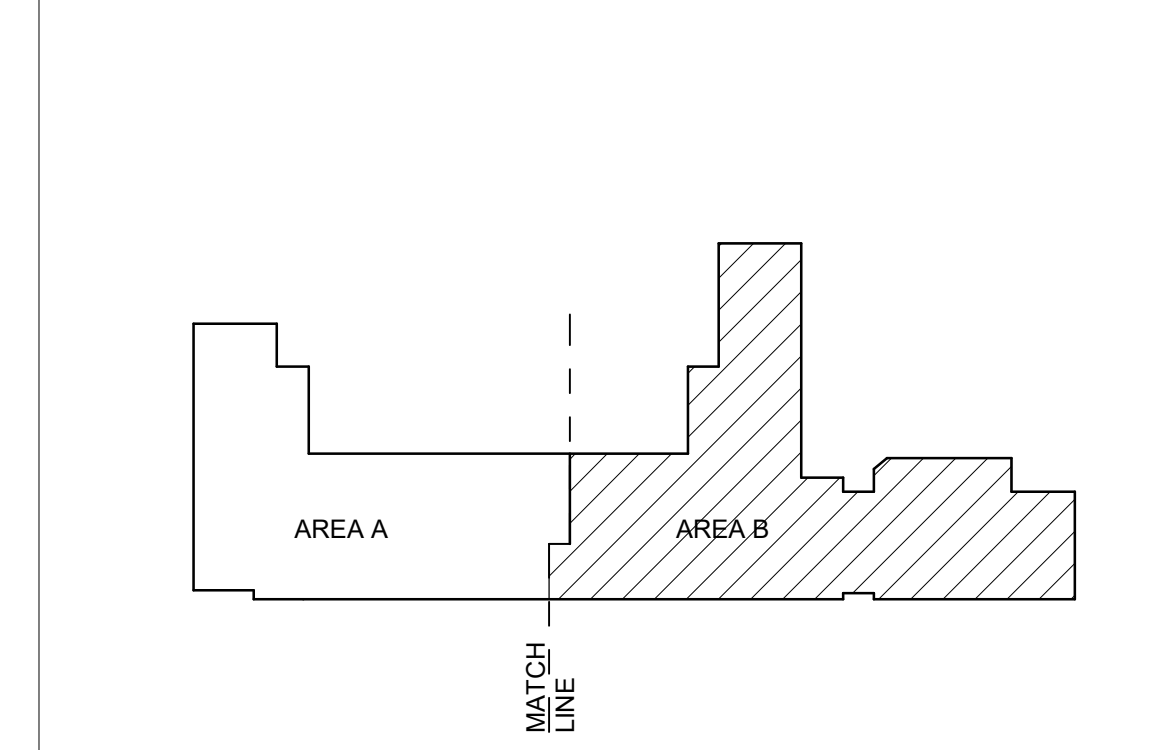
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DRAWING NAME	

PLUMBING DEMOLITION FLOOR PLAN - AREA B

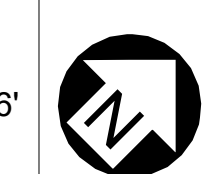
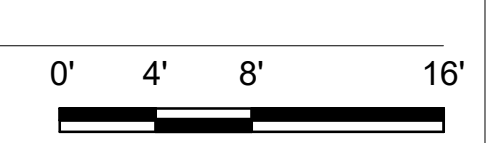
SHEET NO
PD100B



KEYPLAN



A4 PLUMBING FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



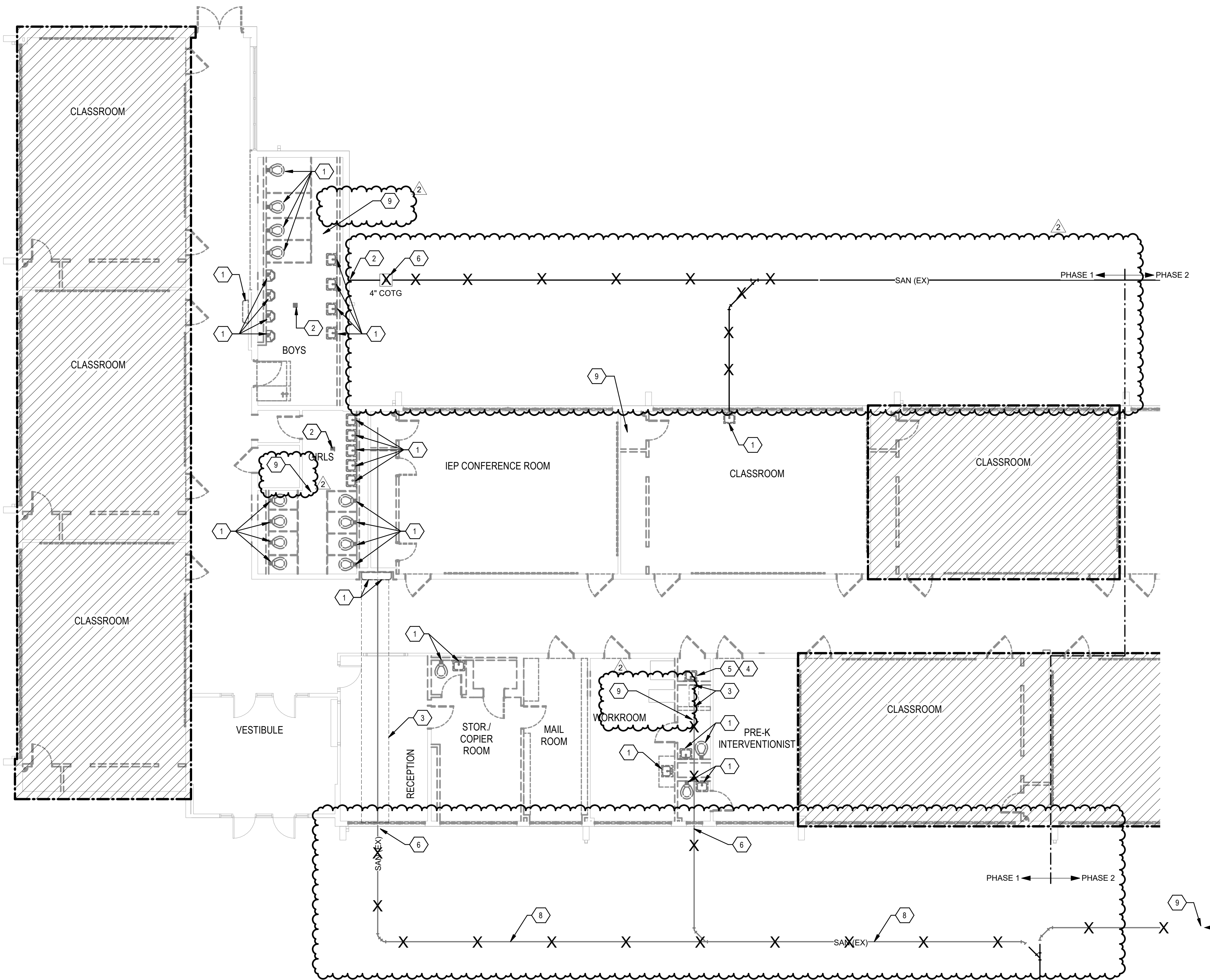
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 Bridges & Paxton Project No. 8022

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KEYNOTES

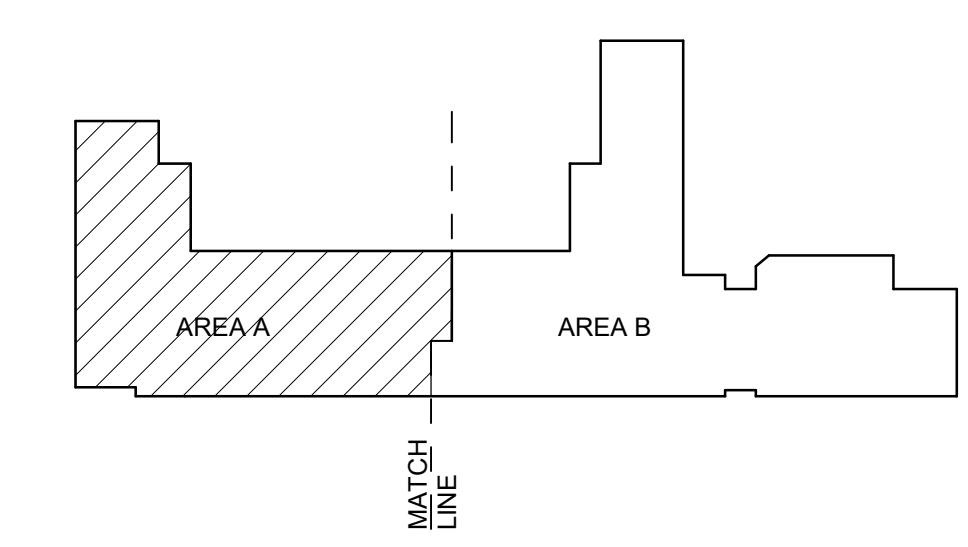
- 1. REMOVE EXISTING PLUMBING FIXTURE & TRIM COMPLETE. REMOVE ALL SUSPENDED & BURIED WATER, WASTE, AND VENT PIPING ASSOCIATED WITH FIXTURES.
- 2. REMOVE EXISTING FLOOR DRAIN & ASSOCIATED DWV PIPING COMPLETE.
- 3. ABANDON IN PLACE. DO NOT SAW OUT SLAB.
- 4. CAP BELOW SLAB AND ABANDON IN PLACE. PATCH FLOOR AS REQUIRED.
- 5. PRESSURE WASH AND ABANDON IN PLACE SANITARY SEWER PIPING AND CAP WITH GAS TIGHT CONNECTIONS. (TYPICAL THROUGH OUT).
- 6. REMOVE ALL PIPING DOWNSTREAM OF THIS POINT.
- 7. REMOVE ALL PIPING TO SLAB.
- 8. EXISTING SANITARY PIPING IN THIS AREA SHALL BE HAND DEMONSTRATED. ADDITIONAL EXISTING WATER/GAS/ELECTRICAL SERVICES MAY EXIST BELOW GRADE. FIELD COORDINATE ALL TRENCHING IN THIS AREA WITH ALL TRADES.
- 9. COORDINATE SAWCUTTING, PATCHING AND REPAIR REQUIREMENTS WITH ARCHITECTURAL CONTRACTOR.



A4 PLUMBING FIRST FLOOR DEMOLITION PLAN - AREA A - BID LOT #1
SCALE: 1/8" = 1'-0"



KEYPLAN



**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS	
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DRAWN BY	Author
REVIEWED BY	Checker
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

PLUMBING DEMOLITION FLOOR PLAN - AREA A - BID LOT #1

SHEET NO
PD101A

GENERAL SHEET NOTES

- A. INFORMATION REGARDING THE EXISTING CONDITIONS WAS GATHERED FROM THE AVAILABLE EXISTING DRAWINGS, SURVEY AND CORRESPONDANCE WITH UTILITY, STAFF AND MUNICIPAL PERSONAL. THERE ARE NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION AND IS OFFERED FOR INFORMATION ONLY. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO SUBMITTAL OF BID.
- B. VERIFY EXISTING LOCATIONS OF EQUIPMENT, PIPING AND SYSTEM COMPONENTS PRIOR TO DEMOLITION. IF EXISTING CONDITIONS ARE DIFFERENT THAN WHAT IS INDICATED ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- C. MINIMIZE DISTURBANCE AND/OR DAMAGE TO EXISTING FINISHED SURFACES AND FINISHES. WHERE DEMOLITION OF EXISTING PLUMBING SYSTEM COMPONENTS DAMAGES EXISTING SURFACES THAT ARE TO REMAIN, RESTORE THOSE SURFACES TO THE SAME CONDITION AS THE ADJACENT SURFACES. RESTORATION MUST BE PERFORMED BY WORKMAN SKILLED IN PERFORMING SUCH WORK. ALL FIRE AND SMOKE RATINGS SHALL BE RETAINED AS PART OF THE REPAIRS AND PATCHES. HOLES WEATHERTIGHT WHERE REQUIRED. ALL PATCHES AND REPAIRS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- D. ALL AREAS OF EGRESS SHALL BE KEPT OPEN AND FREE FROM DEBRIS AT ALL TIMES.
- E. DO NOT REMOVE ITEMS SUPPORTING OTHER ITEMS WITHOUT PROVIDING OTHER TEMPORARY OR PERMANENT SUPPORT AS REQUIRED. SEE DRAWINGS FOR AREAS AND EXTENT OF DEMOLITION. PROPERLY SUPPORT ALL EXISTING ITEMS TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED SUPPORTS FOR AFFECTED ITEMS.
- F. VERIFY EXTENT OF PIPING, EQUIPMENT, COMPONENTS AND CONTROLS TO BE RETAINED OR REUSED PRIOR TO THE DEMOLITION OF SPECIFIC SYSTEM. PROTECT ITEMS WHICH ARE TO BE REUSED ON SITE TO MINIMIZE POST CONSTRUCTION REPAIRS. ANY ITEMS THAT ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.
- G. VERIFY ALL EXISTING STRUCTURAL CONDITIONS AND NOTIFY STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO PENETRATING EXISTING BUILDING STRUCTURAL SYSTEMS.
- H. NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES OR EQUIPMENT SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EQUIPMENT HAS BEEN REMOVED TO BUILDING EXTERIOR.
- I. THE CONTRACTOR SHALL REFER TO ALL SECTIONS AND DRAWINGS OF THE CONTRACT DOCUMENTS FOR DEMOLITION OF PLUMBING SYSTEM COMPONENTS INCLUDED IN THE PLUMBING CONTRACT. NOTIFY THE ARCHITECT OF ALL DISCREPANCIES OR QUESTIONS PERTAINING TO EXTENT OF WORK PRIOR TO BIDDING.
- J. CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR DISTRIBUTION OF RESPONSIBILITY AMONG CONTRACTORS, FOR SPECIFIC PORTIONS OF CUTTING AND PATCHING WORK. CONTRACTOR SHALL COORDINATE ALL CUTTING AND PATCHING WORK WITH ALL OTHER CONTRACTORS.
- K. REMOVE AND CAP ALL EXISTING PIPING IN VAULTS. THERE MAY BE ACTIVE LINES THAT WILL NEED TO REMAIN FOR PHASE 2. TO REMAIN OPERATIONAL.
- L. DEMOLITION OF PIPE AT PLAYGROUND SIDE SHOULD STOP AT THE CORNER OF EXISTING NEW CONSTRUCTION.

KEYNOTES

- 1. REMOVE EXISTING PLUMBING FIXTURE & TRIM COMPLETE. REMOVE ALL SUSPENDED & BURIED WATER, WASTE, AND VENT PIPING ASSOCIATED WITH FIXTURES.
- 2. REMOVE EXISTING FLOOR DRAIN & ASSOCIATED DWV PIPING COMPLETE.
- 3. COORDINATE CUTTING, PATCHING AND REPAIRS WITH OTHER CONTRACTORS.
- 4. PRESERVE WALL MOUNTED SANITARY SEWER PIPING AND CAP WITH GAS TIGHT CONNECTIONS, (TYPICAL THROUGH OUT).
- 5. EXISTING PLUMBING FIXTURE TO REMAIN.
- 6. REMOVE EXISTING SANITARY PIPING UP THIS POINT.
- 7. EXISTING SANITARY PIPING IN THIS AREA SHALL BE HAND EXCAVATED. ADDITIONAL EXISTING WATER/GAS/ELECTRICAL SERVICES MAY EXIST BELOW GRADE. FIELD COORDINATE ALL TRENCHING IN THIS AREA WITH ALL TRADES.
- 8. REMOVE PIPING BETWEEN THESE APPROXIMATE POINTS.

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

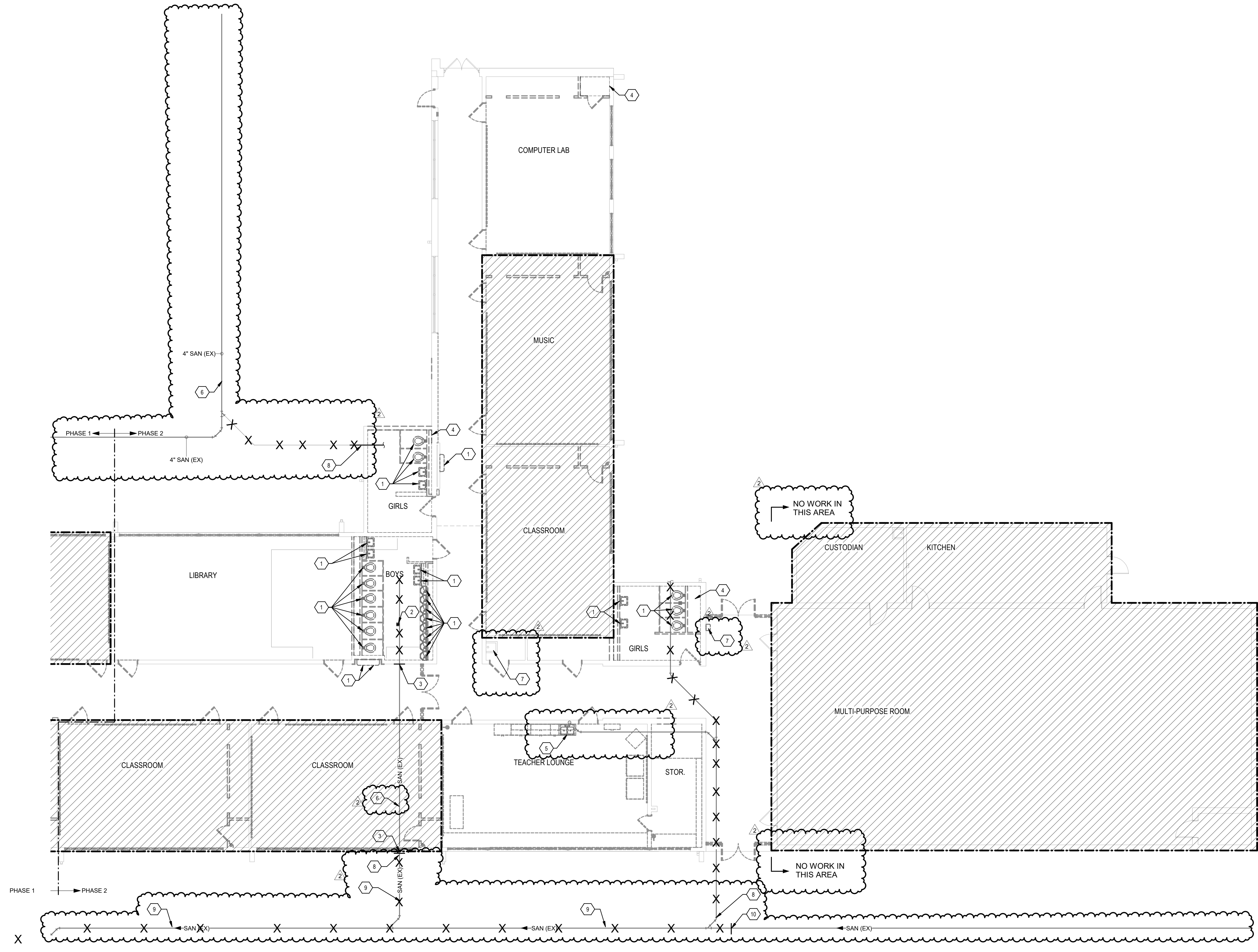
REVISIONS

NO.	DATE	DESCRIPTION
1	3/5/2021	ADDENDUM 4
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3		
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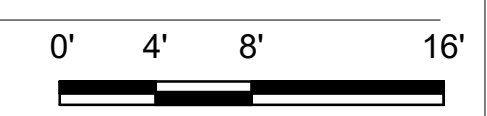
DRAWN BY	Author
REVIEWED BY	Checker
DATE	12/10/2019
PROJECT NO.	18-0032
PSFA PRE-K PROJECT NO.	K-18-011
PSFA SYSTEMS PROJECT NO.	S-20-008
DRAWING NAME	

PLUMBING DEMOLITION FLOOR PLAN - AREA B - BID LOT #1

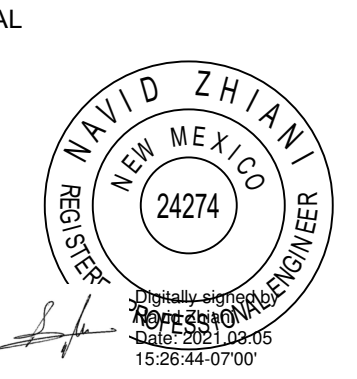
SHEET NO. **PD101B**



A4 PLUMBING FIRST FLOOR DEMOLITION PLAN - AREA B - BID LOT #1
SCALE: 1/8" = 1'-0"



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 Bridges & Paxton Project No. 8022



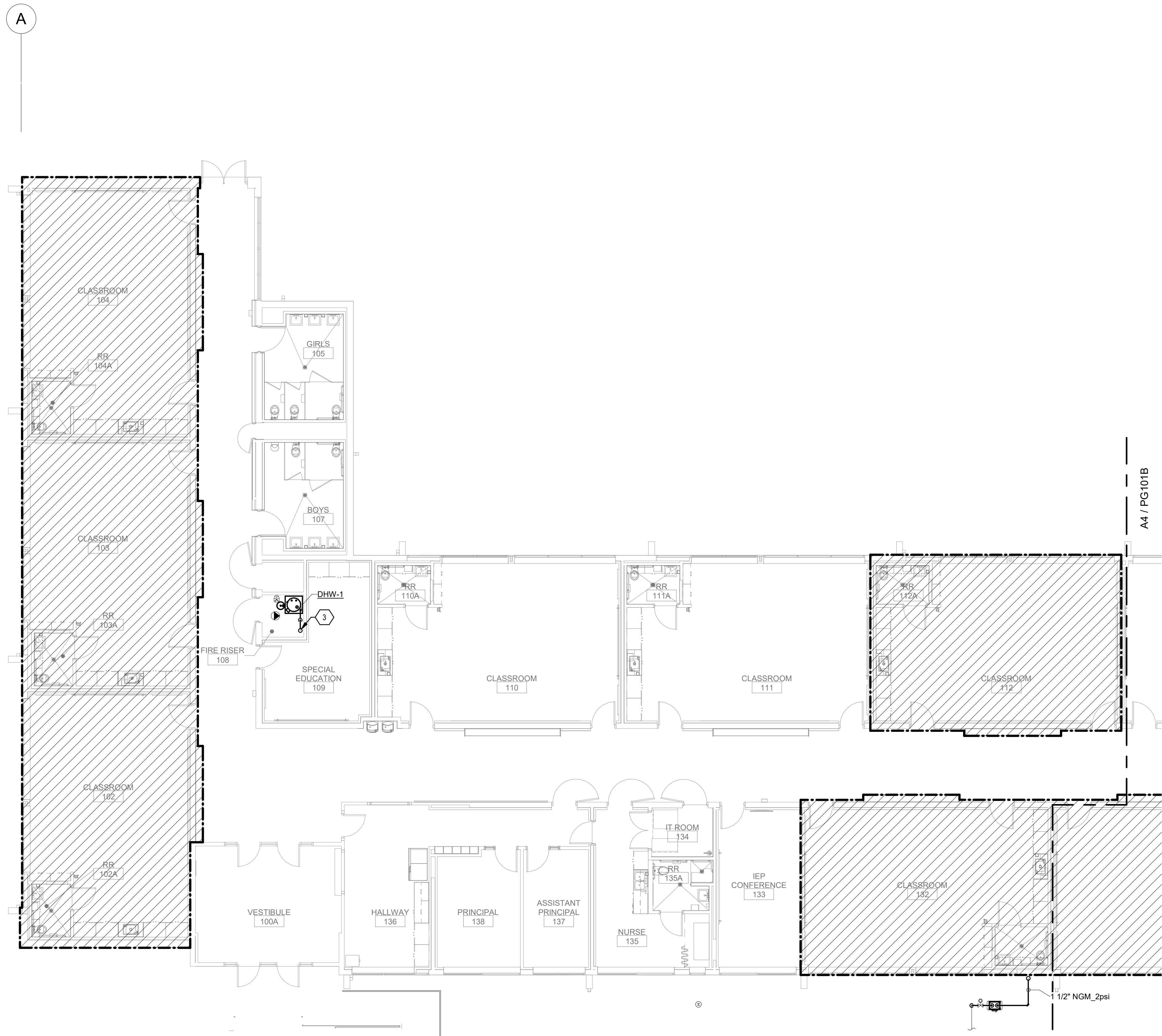
PROJECT

GENERAL SHEET NOTES

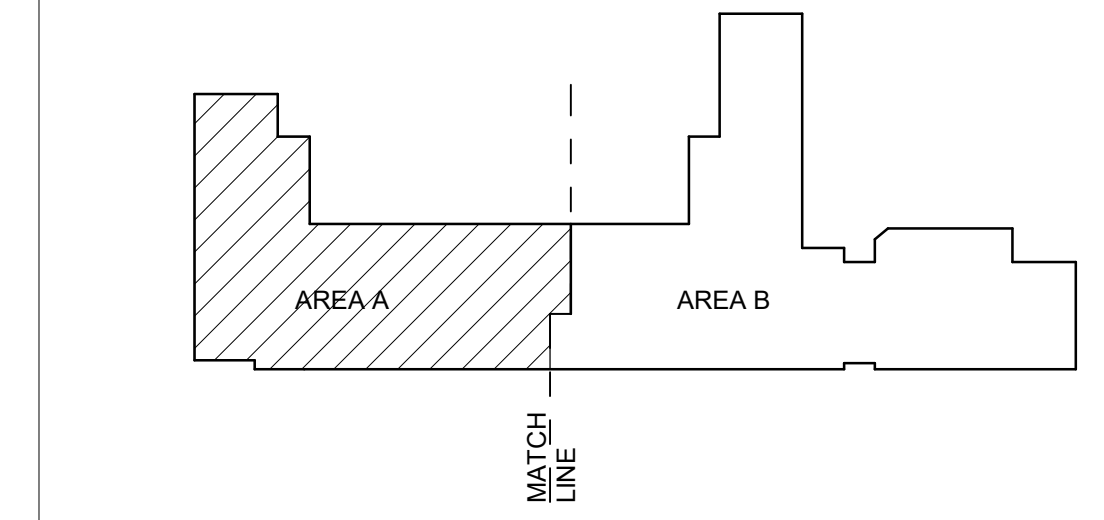
- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENTOR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - 4. INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CAULKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C1 NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

- 1. NOT USED.
- 2. NOT USED.
- 3. THE NATURAL GAS AND WATER HEATER INSTALLATION SHALL BE PART OF BASE BID. SHOWN HERE FOR CLARITY. 1/2" NGM GAS LINE DOWN FROM ROOF TO FIRE RISER 108. ROUTE 1/2" NGM PIPING TO VENTLESS REGULATOR. REGULATOR SHALL REDUCE PRESSURE DOWN TO 7" TO 14" W.C. EXTEND 3/4" GAS PIPING TO WATER HEATER AND CONNECT PER MANUFACTURERS REQUIREMENTS. PROVIDE CONNECTION TO WATER HEATER WITH UNION, PETE'S PLUGS, DIRT-LEG, GAS COCK AND FLEXIBLE CONNECTION. REFER TO A31P501 FOR ADDITIONAL INFORMATION.

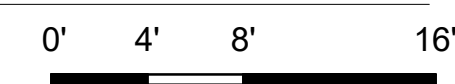


KEYPLAN



A4 PIPED GASES FIRST FLOOR PLAN - AREA A - BID LOT #1

SCALE: 1/8" = 1'-0"



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 Bridges & Paxton Project No. 8022

**Brown Early Childhood Center
Old Wing Renovation**
 520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	3/5/2021	ADDENDUM 4
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3		
4		
5		

DRAWN BY	Author
REVIEWED BY	Checker
DATE	12/10/2019
PROJECT NO.	18-0032
PSFA PRE-K PROJECT NO.	K-18-011
PSFA SYSTEMS PROJECT NO.	S-20-008
DRAWING NAME	

**PIPED GASES
FLOOR PLAN -
AREA A - BID LOT
#1**

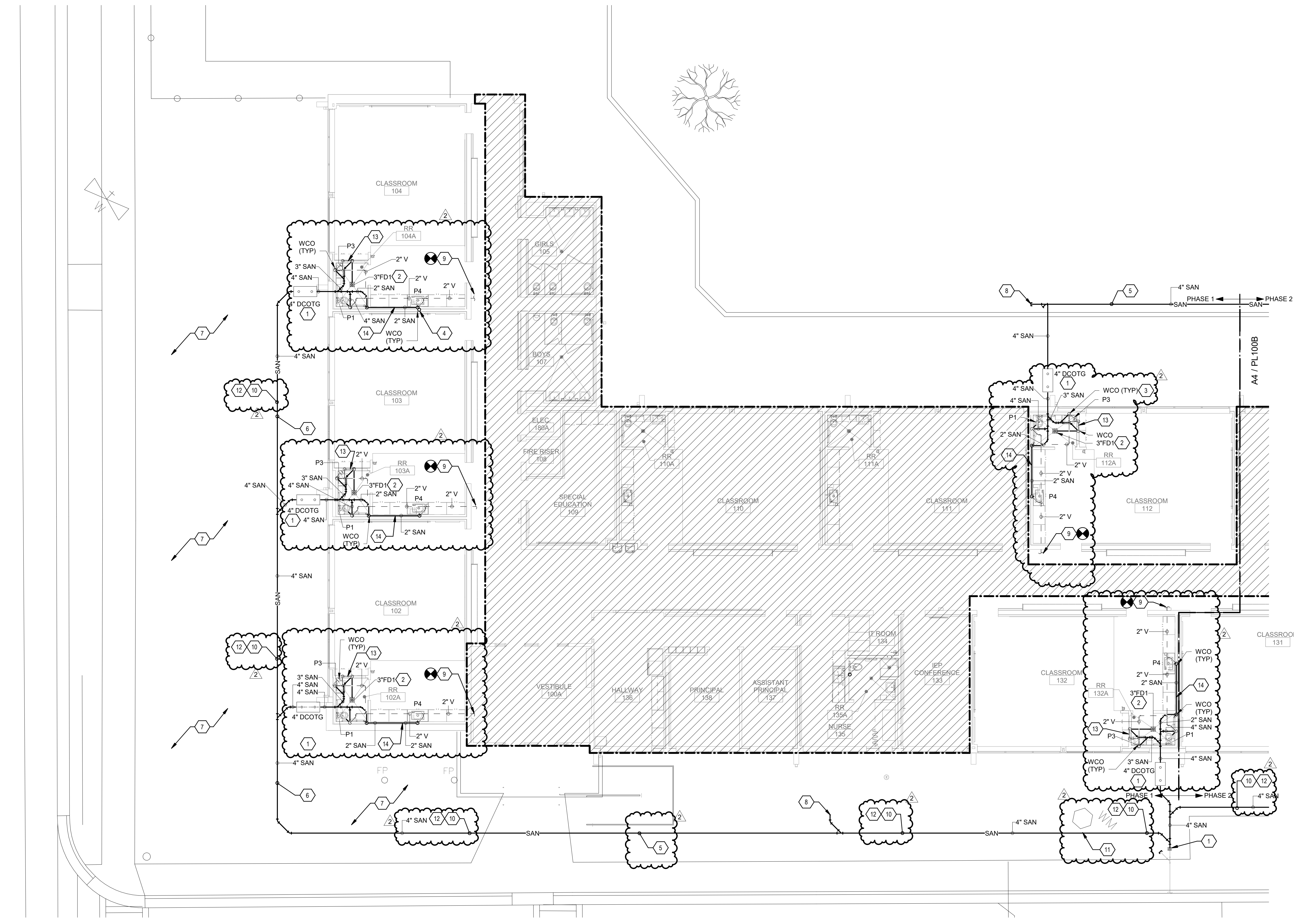
SHEET NO
PG101A

GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 4. INSTALLATION COMPLES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CALLED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.
- Q. AT CONTRACTORS OPTION THEY CAN REUSE EXISTING VTR LOCATION. VENT PIPING SHALL BE APPROPRIATELY SIZE PER CODE.

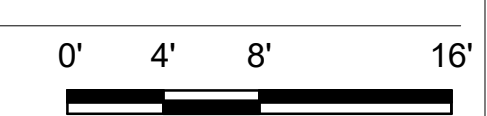
KEYNOTES

1. INSTALL DOUBLE CLEANOUT TO GRADE IN ACCORDANCE WITH DETAIL D3P-501.
2. INSTALL FLOOR DRAIN IN ACCORDANCE WITH DETAIL C1P-501.
3. INSTALL WALL CLEANOUT IN ACCORDANCE WITH DETAIL C5P-501.
4. TERMINATE CONDENSATE DRAIN IN SINK OR DISH DRAIN. REFER TO PLP-501.
5. INSTALL NEW PIPING IN EXISTING TRENCH. EXCAVATE EXISTING TRENCH AS REQUIRED TO MEET NEW SPEC'S. NEW PIPING SHALL FOLLOW ROUTING OF EXISTING SIZED LINE.
6. WIRE PIPING TO AVOID TREE PROTECTION ZONE.
7. TREE PROTECTION ZONE. REFER TO ARCHITECT AND COORDINATE SANITARY PIPE ROUTING.
8. SEE PL101A FOR EXTENSION TO BID LOT.
9. REFER TO GENERAL NOTES OF SUPPLEMENTAL SPECIFICATIONS FOR PIPE LINE AND VTR. MATCH ADEQUATE PIPE LINE SIZE.
10. COORDINATE EXACT ROUTING WITH ARCHITECT.
11. ENCASE SANITARY PIPING IN CONCRETE IN PROXIMITY OF WATER LINE.
12. EXISTING SANITARY PIPING IN THIS AREA SHALL BE HAND EXCAVATED TO AVOID EXISTING TREES AND EXISTING TREE ROOT SYSTEM. ADDITIONAL EXISTING WATER/ELECTRICAL SERVICES MAY EXIST BELOW GRADE. FIELD COORDINATE ALL TRENCHING IN THIS AREA WITH ALL TRADES.
13. OFFSET AND ROUTE VENT PIPING BELOW CHANGING STATION.
14. ROUTE 2" SANITARY PIPING AT 1/4" PER FOOT IN WALL. DROP TO BELOW GRADE AS SHOWN AND PROVIDE WITH A WALL CLEAN OUT (WCO).

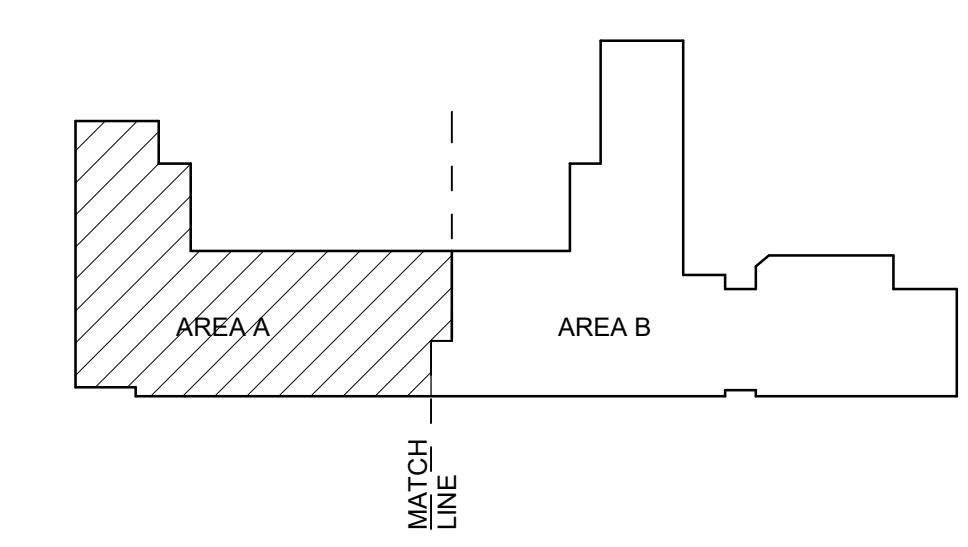


A4 WASTE & VENT FLOOR PLAN - AREA A

SCALE: 1/8" = 1'-0"



KEYPLAN



**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

1	3/5/2021	ADDENDUM 4
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DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

WASTE & VENT FLOOR PLAN - AREA A

SHEET NO
PL100A

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 Bridges & Paxton Project No. 8022

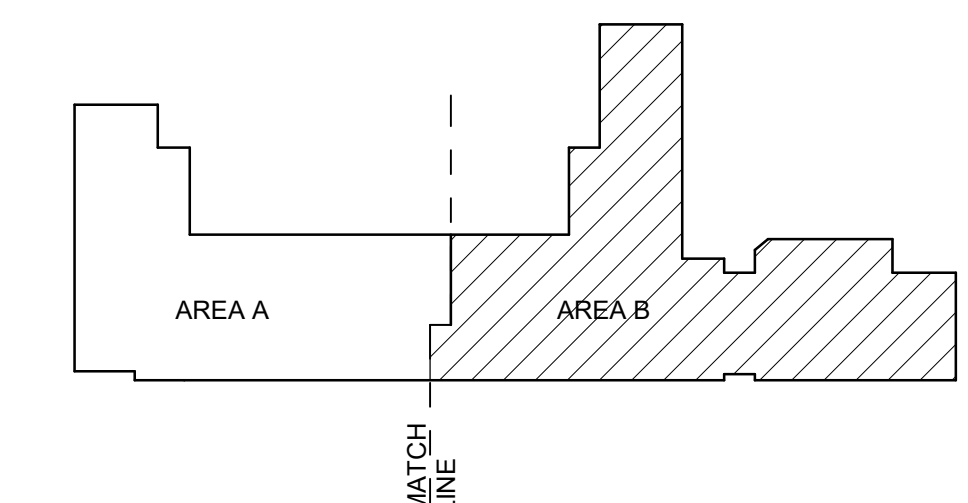
GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 4. INSTALLATION COMPLES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATE DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CALKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CALKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWING.
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- M. SANITARY SEWER PIPING SHALL BE C1 NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.
- Q. AT CONTRACTORS OPTION, THEY CAN REUSE EXISTING VTR LOCATION. VENT PIPING SHALL BE APPROPRIATELY SIZE PER CODE.

KEYNOTES

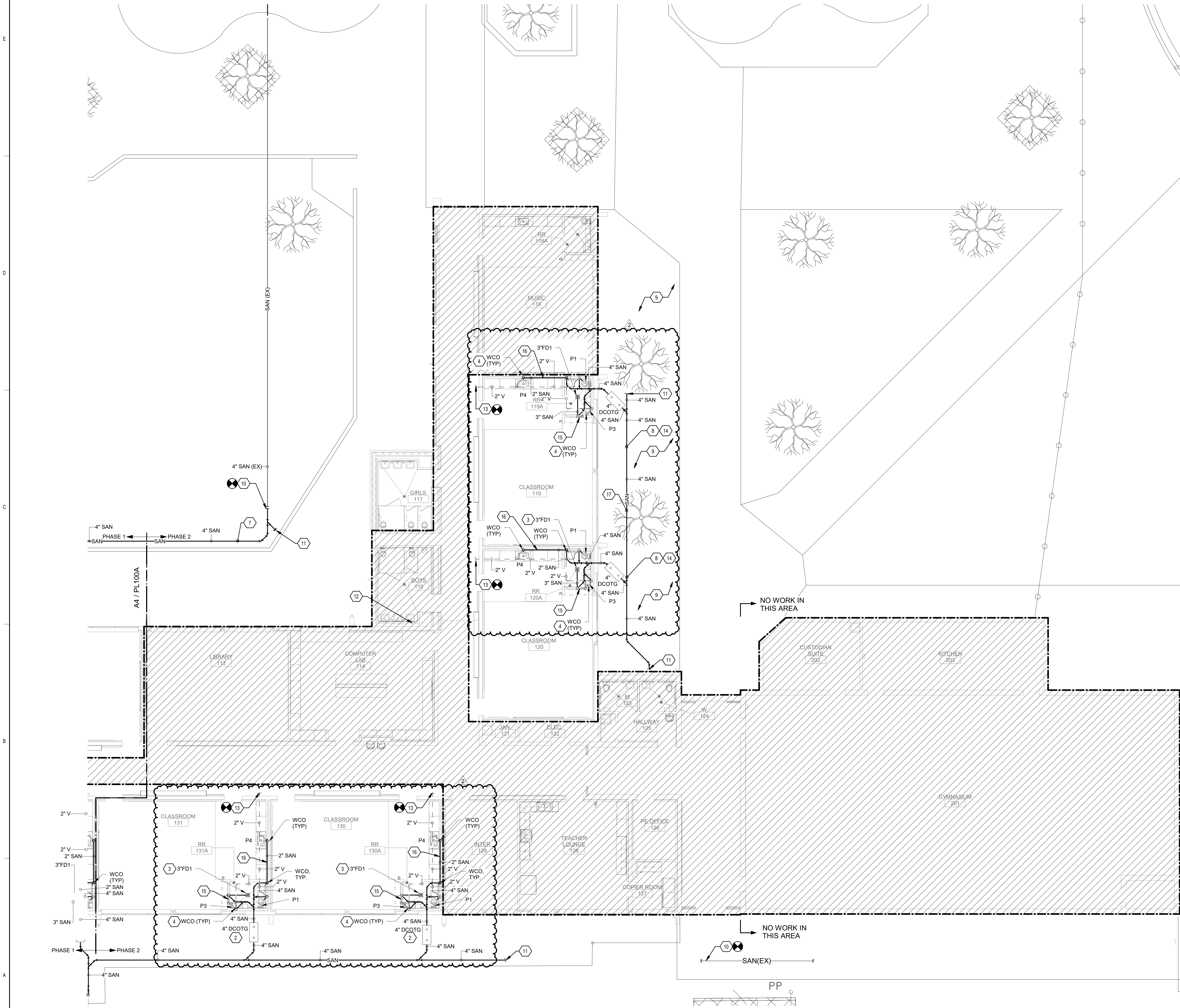
1. EXISTING TO REMAIN, NO PLUMBING SCOPE OF WORK IN THIS AREA.
2. INSTALL DOUBLE CLEANOUT TO GRADE IN ACCORDANCE WITH DETAIL D3IP-501.
3. INSTALL FLOOR DRAIN IN ACCORDANCE WITH DETAIL C1IP-501.
4. INSTALL WALL CLEANOUT IN ACCORDANCE WITH DETAIL C5IP-501.
5. TERMINATE CONDENSATE DRAIN LINE INDIRECTLY INTO SERVICE SINK 2X PIPE DIA. ABOVE SINK RIM.
6. EXTEND NEW SANITARY SEWER PIPING FROM EXISTING POINT AS INDICATED.
7. INSTALL NEW PIPING IN EXISTING TRENCH.
8. ROUTE PIPING TO AVOID TREE PROTECTION ZONE AREA.
9. PROVIDE DOUBLE CLEANOUT TO GRADE IN ACCORDANCE WITH DETAIL D3IP-501.
10. CONNECT NEW SANITARY PIPING INTO EXISTING SANITARY FIELD VERIFY EXISTING INVERT.
11. SET PIPING ON EXISTING SINK TAIL PIECE.
12. TERMINATE CONDENSATE DRAIN LINE DIRECTLY INTO SINK TAIL PIECE. REFER TO A11/P-501.
13. REFER TO GENERAL NOTE Q. FOR VENT. FIELD VERIFY EXISTING VENT PIPE LINE AND VTR. MATCH LINE TO P-701.
14. COORDINATE EXACT ROUTING WITH ARCHITECT.
15. OFFSET AND ROUTE VENT PIPING BELOW CHANGING STATION.
16. ROUTE 2" SANITARY PIPING AT 1/4" PER FOOT IN WALL. DROP TO BELOW GRADE AS SHOWN AND PROVIDE WITH A WALL CLEAN OUT (WCO).
17. EXISTING SANITARY PIPING IN THIS AREA SHALL BE HAND EXCAVATED. CARE SHALL BE TAKEN TO AVOID EXISTING TREES AND TREE ROOT SYSTEM. FIELD COORDINATE ALL TRENCHING IN THIS AREA WITH ALL TRADES.

KEYPLAN



A4 WASTE & VENT FLOOR PLAN - AREA B

SCALE: 1/8" = 1'-0"



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 Bridges & Paxton Project No. 8022

GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT OR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 4. INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATE DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CALKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CALKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.
- Q. AT CONTRACTORS OPTION THEY CAN REUSE EXISTING VTR LOCATION. VENT PIPING SHALL BE APPROPRIATELY SIZE PER CODE.

KEYNOTES

1. SEE PL100A FOR EXTENSION FROM BASE BID.
2. INSTALL DOUBLE CLEANOUT TO GRADE IN ACCORDANCE WITH DETAIL.
3. SEE DETAIL C2P-501 FOR FLOOR SINK IN ACCORDANCE WITH DETAIL C2P-501.
4. INSTALL WALL CLEANOUT IN ACCORDANCE WITH DETAIL C5P-501.
5. INSTALL NEW PIPING IN EXISTING TRENCH.
6. REFER TO GENERAL NOTE Q FOR VENT. FIELD VERIFY EXISTING VENT PIPE LINE AND VTR.
7. REFER TO GENERAL NOTE Q FOR VENT. FIELD VERIFY EXISTING VENT PIPE LINE AND VTR.
8. INSTALL FLOOR DRAIN IN ACCORDANCE WITH DETAIL C1P-501.
9. OFFSET AND ROUTE VENT PIPING BELOW CHANGING STATION.
10. ROUTE 2" SANITARY PIPING AT 1/4" PER FOOT IN WALL. DROP TO BELOW GRADE AS SHOWN AND PROVIDE WITH A WALL CLEAN OUT (WCO).

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	3/5/2021	ADDENDUM 4

DRAWN BY

MAD

REVIEWED BY

SDS

DATE

12/10/2019

PROJECT NO

18-0032

PSFA PRE-K PROJECT NO:

K-18-011

PSFA SYSTEMS PROJECT NO:

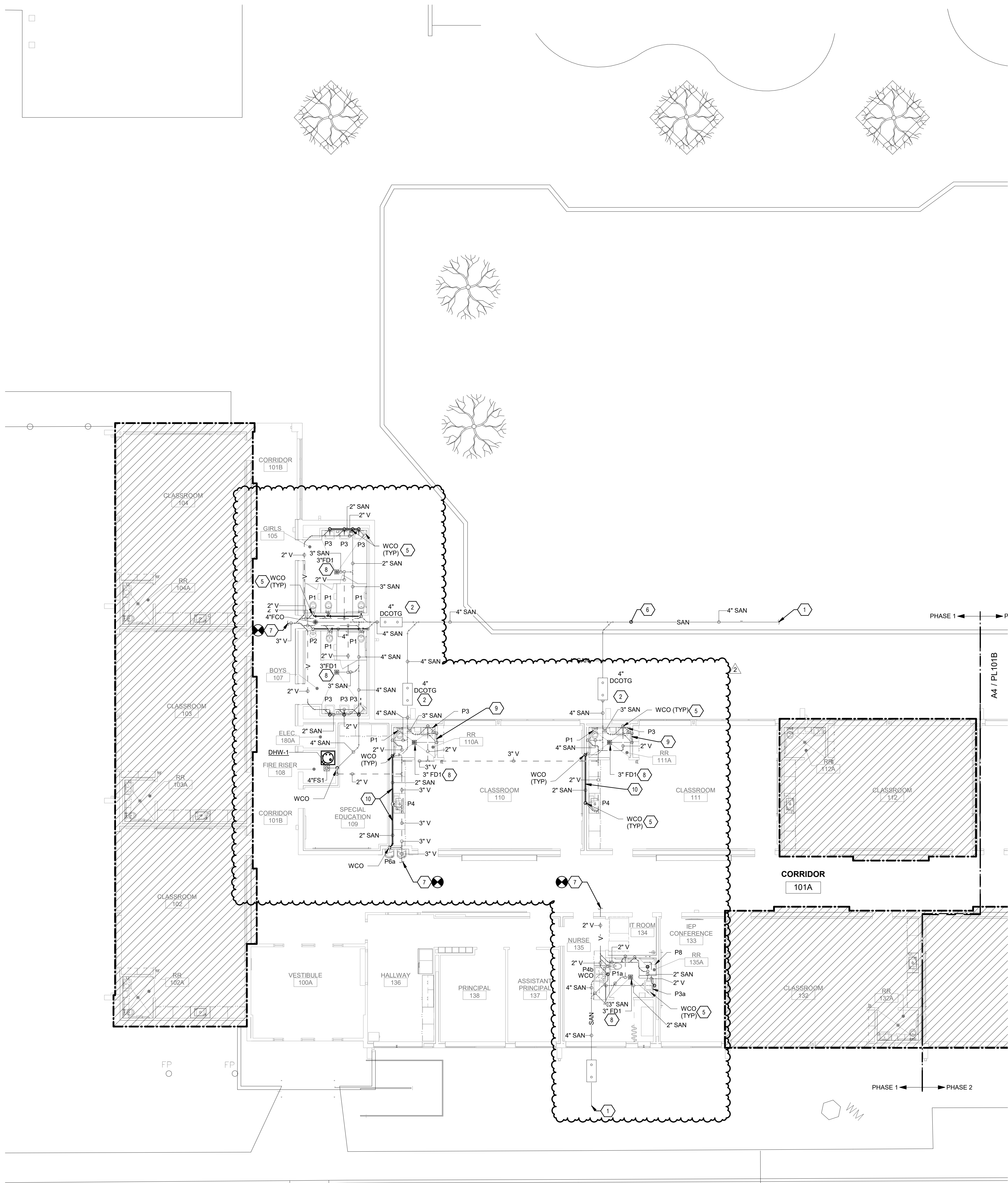
S-20-008

DRAWING NAME

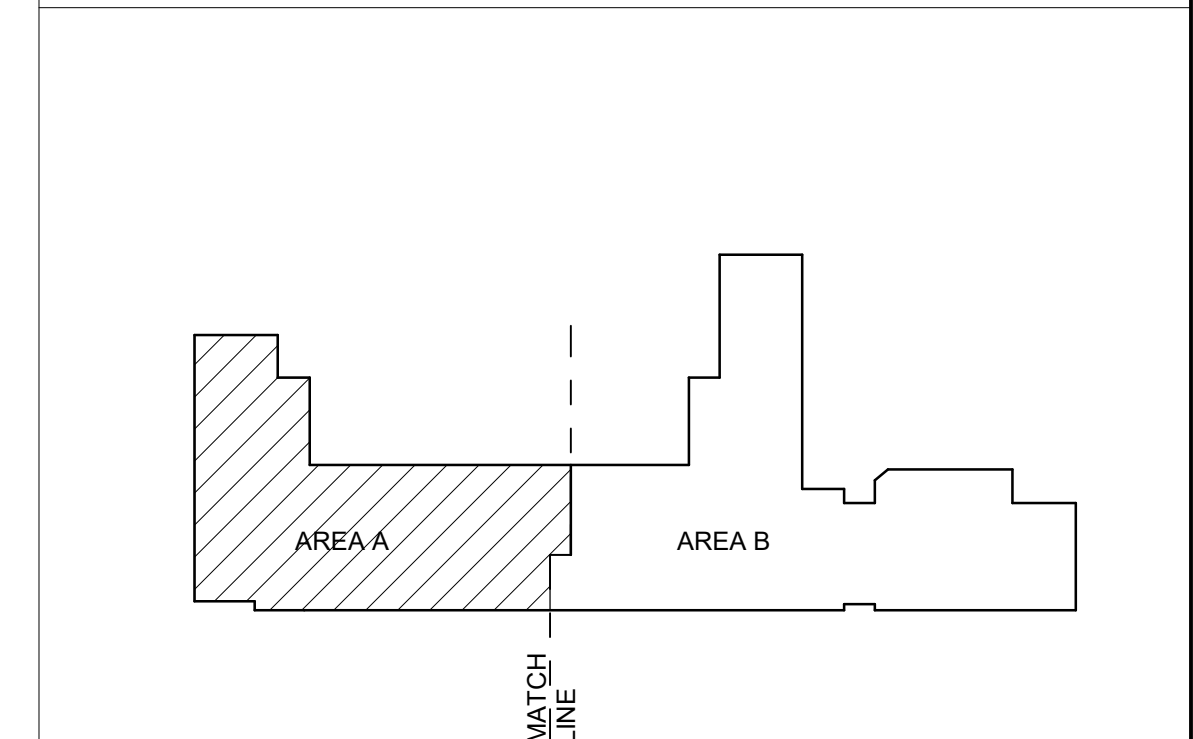
WASTE & VENT FLOOR PLAN - AREA A - BID LOT #1

SHEET NO

PL101A



KEYPLAN



A4 WASTE & VENT FIRST FLOOR PLAN - AREA A - BID LOT #1

SCALE: 1/8" = 1'-0"

0' 4' 8' 16'



GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT OR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - 4. INSTALLATION COMPLES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CALLED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILING AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.
- Q. AT CONTRACTORS OPTION THEY CAN REUSE EXISTING VTR LOCATION. VENT PIPING SHALL BE APPROPRIATELY SIZE PER CODE.

KEYNOTES

- 1. SEE PL100A FOR EXTENSION FROM BASE BID.
- 2. REUSE EXISTING PIPING WITHIN WALL. ROUTE NEW PIPING THROUGH WALL FURRING TO MAKE CONNECTION AT NEW SINK LOCATION. CONNECT NEW VENT PIPING TO EXISTING VENT PIPING WITH WALL.
- 3. CONNECT EXISTING PIPING FROM EXISTING TEACHERS LOUNGE TO NEW SANITARY PIPING.
- 4. INSTALL CLEANOUT TO GRADE IN ACCORDANCE WITH DETAIL.
- 5. INSTALL DOUBLE CLEANOUT TO GRADE IN ACCORDANCE WITH DETAIL D3P-501.
- 6. INSTALL FLOOR DRAIN IN ACCORDANCE WITH DETAIL C1P-501.
- 7. INSTALL WALL CLEANOUT IN ACCORDANCE WITH DETAIL C5P-501.
- 8. TERMINATE CONDENSATE DRAIN LINE INDIRECTLY INTO SERVICE.
- 9. CONDENSATE DRAIN DOWN FROM ROOF. ROUTE AND DROP DOWN IN WALL AND TERMINATE CONDENSATE DRAIN LINE DIRECTLY INTO SINK TAIL PIPE. REFER TO A1/B 501.
- 10. REFER TO GENERAL NOTE C FOR VENT FIELD VENT EXISTING VENT PIPE LINE AND VTR. MATCH PIPE LINE SIZE.
- 11. OFFSET AND ROUTE VENT PIPING BELOW CHANGING STATION.
- 12. COORDINATE EXACT SANITARY PIPE ROUTING WITH ARCHITECT.
- 13. ROUTE 2" SANITARY PIPING AT 1/4" PER FOOT IN WALL. DROP TO BELOW GRADE AS SHOWN AND PROVIDE WITH A WALL CLEAN OUT (WCO).
- 14. EXISTING SANITARY PIPING BELOW GRADE TO REMAIN.

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

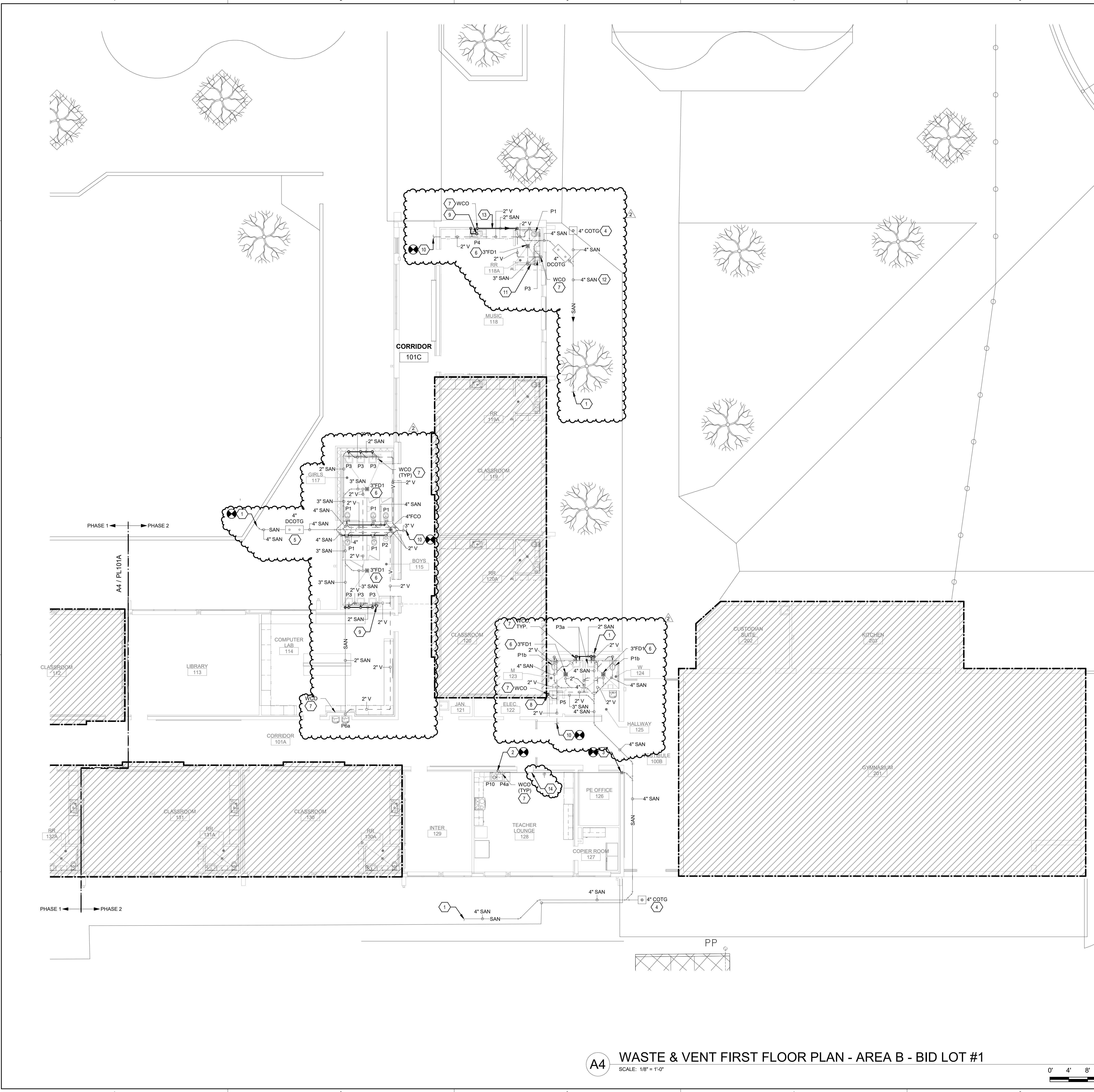
REVISIONS

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3		
4		
5		

DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

WASTE & VENT FLOOR PLAN - AREA B - BID LOT #1

SHEET NO **PL101B**



A4 WASTE & VENT FIRST FLOOR PLAN - AREA B - BID LOT #1
SCALE: 1/8" = 1'-0"



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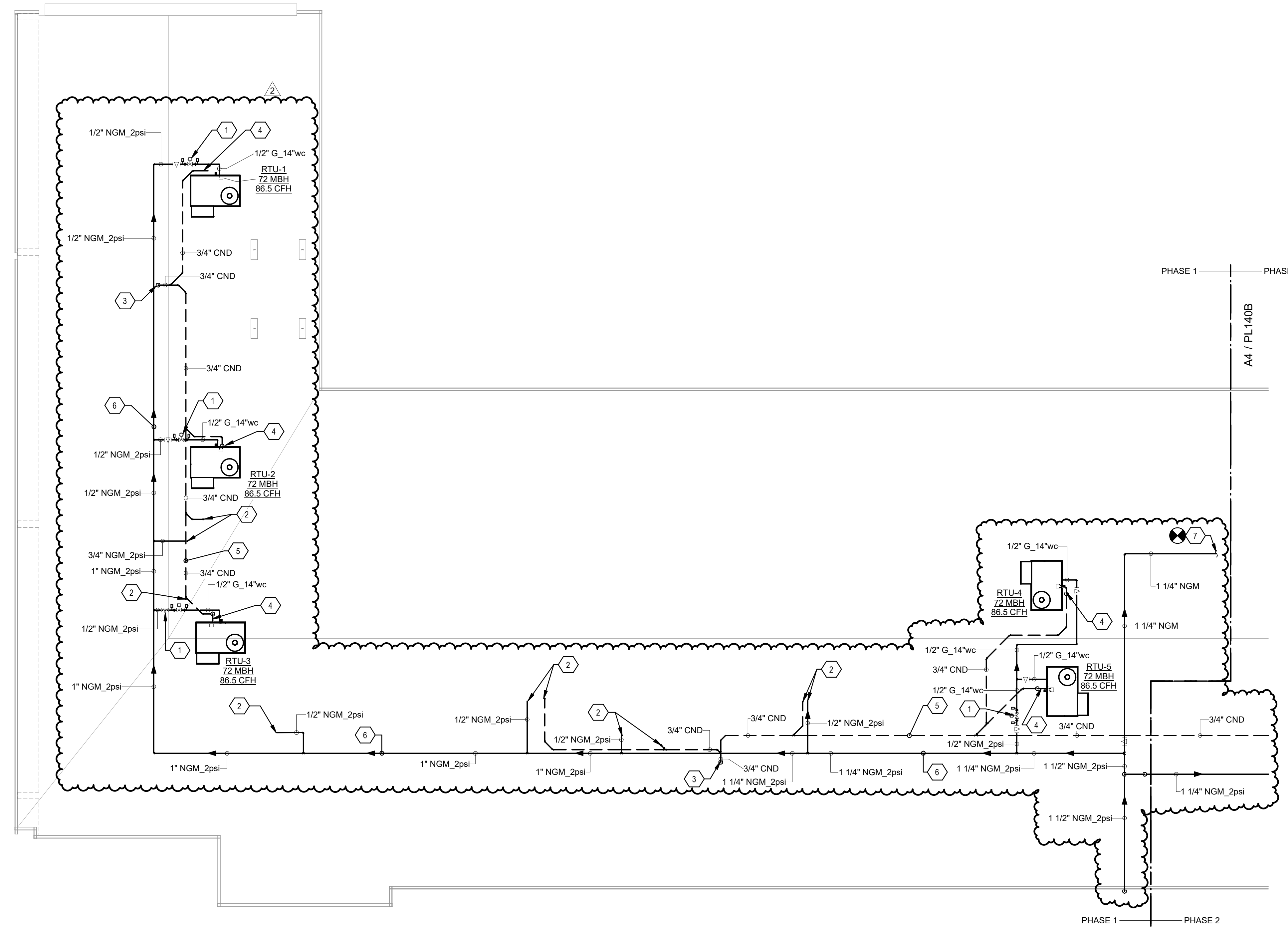
PROJECT

GENERAL SHEET NOTES

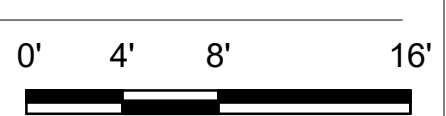
- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENTOR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - 4. INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
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- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CAULKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C1 NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

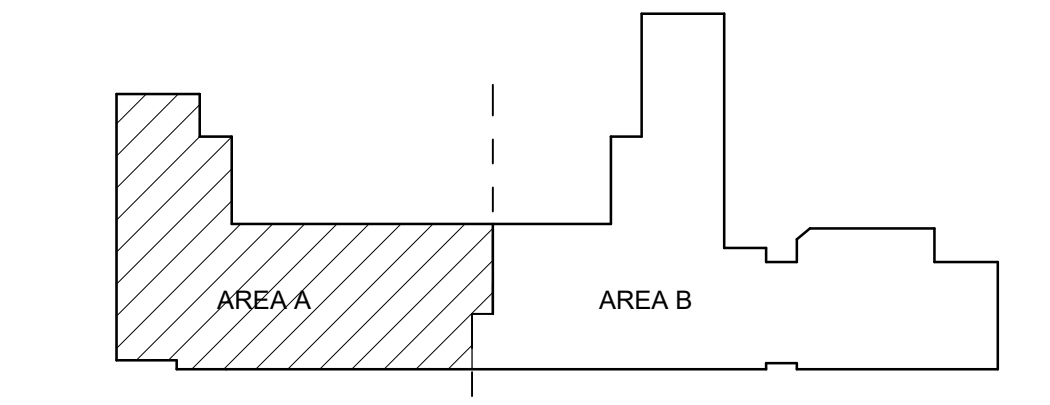
- 1. PROVIDE PLUG VALVE, PETE'S PLUG BEFORE AND AFTER REGULATOR, UNION, VENTLESS REGULATOR, DIRTLEG AND FLEX CONNECTION TO MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS AND DETAIL C3P-501. REGULATOR SHALL REDUCE PRESSURE DOWN TO 14" WC.
- 2. REFER TO SHEET PL141A FOR EXTENSION AND CONTINUATION TO BID LOT #1.
- 3. ROUTE CONDENSATE PIPE DOWN INTO CEILING SPACE, TIGHT TO STRUCTURE. SLOPE TO DRAIN AND ROUTE TO NEAREST FLOOR SINK/POD SINK AND TERMINATE INDIRECTLY AT FUTURE FIELD COORDINATE ROUTING.
- 4. CONNECT CONDENSATE DOWN TO UNIT WITH UNION AND FLEXIBLE CONNECTOR.
- 5. CONDENSATE PIPING ROUTED EXPOSED ON ROOF. PROVIDE PROTECTIVE FLASHING TO DRAIN TO DRAIN.
- 6. GAS PIPING ROUTED ON ROOF. PROVIDE ROOF TOP SURFACE EQUAL TO DRAIN-SLOPE.
- 7. CONNECT NGM GAS TO EXISTING MAIN. AS REQUIRED TO KEEP SERVICE RUNNING TO EXISTING RTU'S NOT BEING REPLACED UNTIL PHASE 2. THIS INCLUDES A TEMPORARY LINE TO ALSO SERVE



A4 PLUMBING ROOF PLAN - AREA A
SCALE: 1/8" = 1'-0"



KEYPLAN



**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

1	3/5/2021	ADDENDUM 4
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DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

PLUMBING ROOF PLAN - AREA A

SHEET NO
PL140A

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 Bridges & Paxton Project No. 8022

REVISIONS	
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DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

**PLUMBING ROOF
PLAN - AREA B**

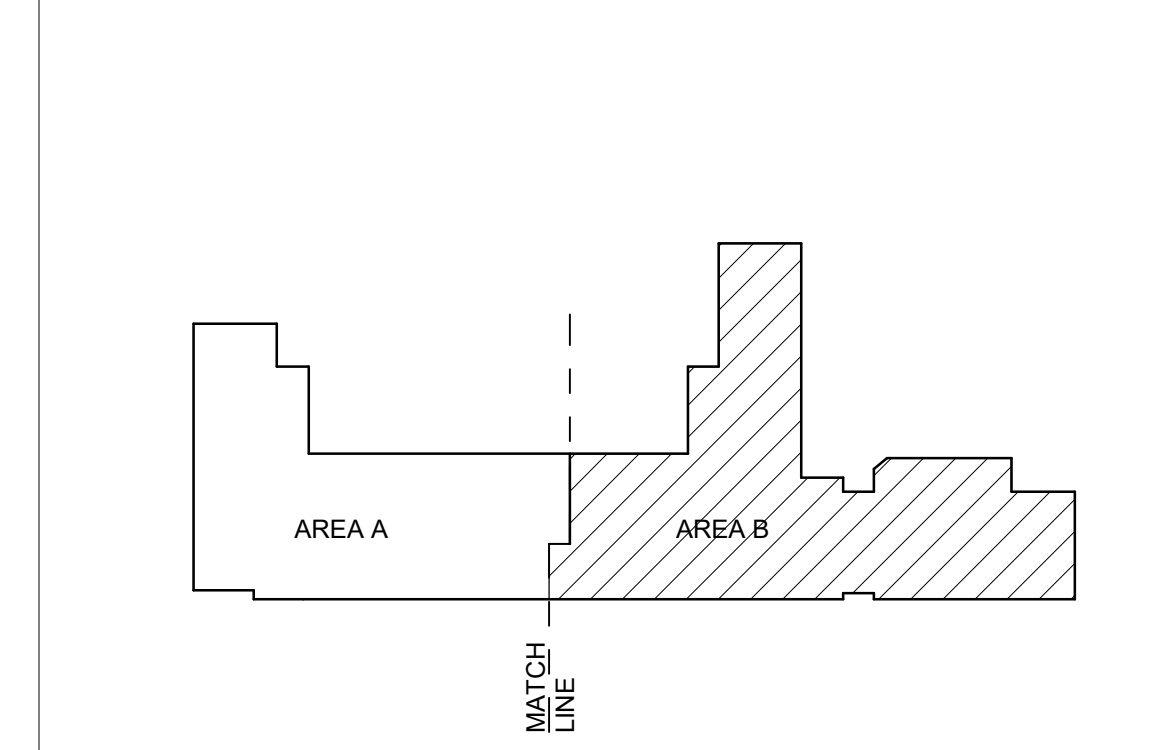
GENERAL SHEET NOTES

- FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT OR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - INSTALLATION COMPLES WITH STATE AND LOCAL CODES.
- PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
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- UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
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- SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
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- REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

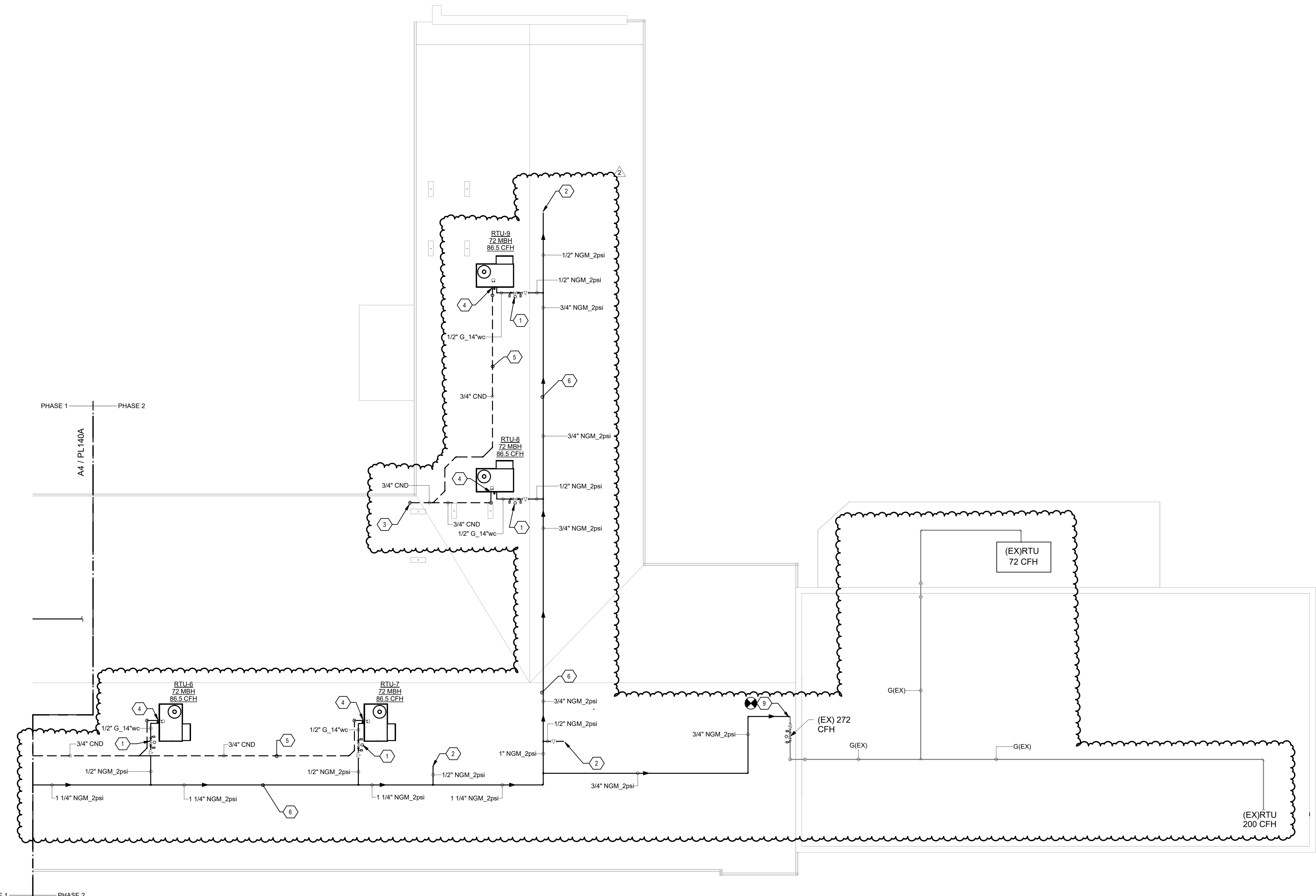
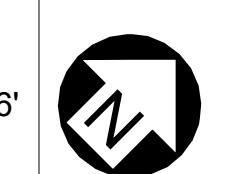
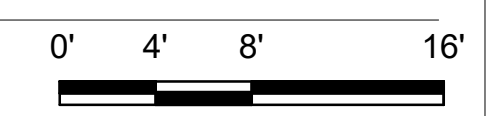
- PROVIDE P-UC VALVE, PETE'S PLUG (BEFORE AND AFTER REGULATOR), UNION, DIRT LEG AND FLEX CONNECTION TO MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS AND DETAIL C3P-501.
- REFER TO SHEET PL141B FOR CONTINUATION TO RID LOT 1.
- ROUTE CONDENSATE PIPE DOWN INTO CEILING SPACE, TIGHT TO STRUCTURE.
- CONNECT CONDENSATE DRAIN TO UNIT WITH UNION AND FLEXIBLE CONNECTOR.
- CONDENSATE PIPING ROUTED EXPOSED ON ROOF. PROVIDE ROOF TOP PIPING SUPPORTS (EQUAL TO DURA-BLOCK).
- GAS PIPING ROUTED ON ROOF. PROVIDE ROOF TOP SUPPORTS (EQUAL TO DURA-BLOCK).
- PROVIDE P-UC VALVE, PETE'S PLUG (BEFORE AND AFTER REGULATOR), UNION, DIRT LEG AND FLEX FOR CONNECTION TO EXISTING LINE SERVING EXISTING GYMNASIUM. EXISTING REGULATOR SERVING GYMNASIUM SHALL BE REMOVED AND REPLACED.
- CONNECT PIPING TO 3/4" NGM (2 PSI) PIPING TO EXISTING REGULATOR SERVING EXISTING GYMNASIUM.

KEYPLAN

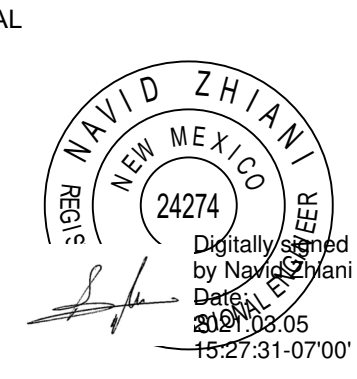


A4 PLUMBING ROOF PLAN - AREA B

SCALE: 1/8" = 1'-0"



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 Bridges & Paxton Project No. 8022



PROJECT

GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
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- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CAULKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

- 1. PROVIDE PLUG VALVE, PETE'S PLUG (BEFORE AND AFTER REGULATOR), UNION, VENTLESS REGULATOR, DIRTLEG AND FLEX CONNECTION TO MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS AND DETAIL C31P-501. REGULATOR SHALL REDUCE PRESSURE DOWN TO 14" W.C.
- 2. REFER TO SHEET PL104 FOR CONTINUATION FROM BASE BID.
- 3. CONNECT CONDENSATE DRAIN TO UNIT WITH UNION AND FLEXIBLE CONNECTOR.
- 4. CONDENSATE PIPING ROUTED EXPOSED ON ROOF. PROVIDE ROOFTOP PIPING SUPPORTS(EQUAL TO DURAB-LOCK).
- 5. GAS PIPING ROUTED ON ROOF. PROVIDE ROOFTOP SUPPORTS(EQUAL TO DURAB-LOCK).
- 6. ROUTE GAS LINE DOWN TO FIRE RISER 108.

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	3/5/2021	ADDENDUM 4

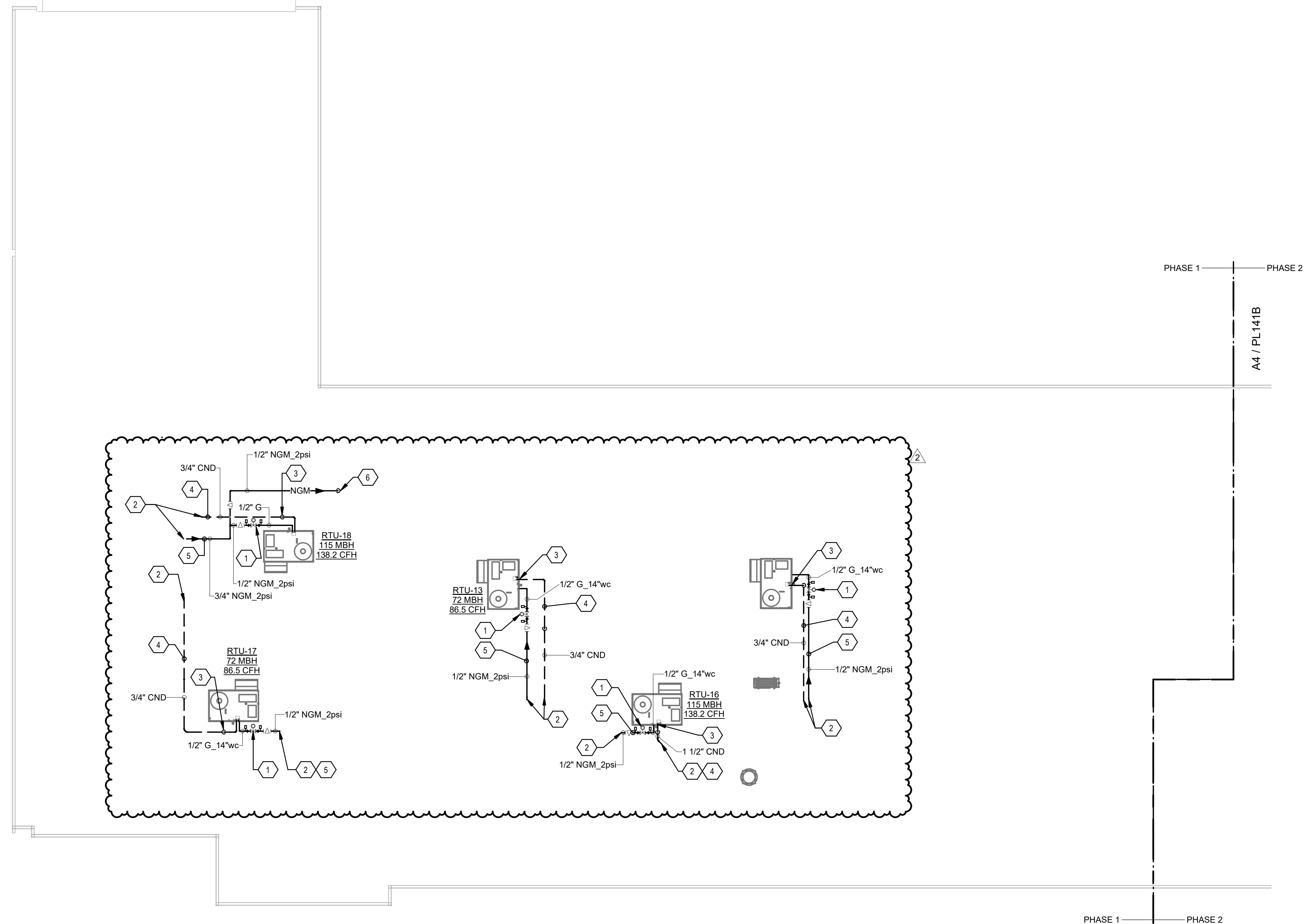
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DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO.	18-0032
PSFA PRE-K PROJECT NO.	K-18-011
PSFA SYSTEMS PROJECT NO.	S-20-008
DRAWING NAME	

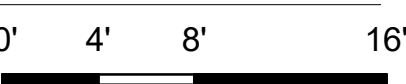
PLUMBING ROOF PLAN - AREA A - BID LOT #1

SHEET NO.

PL141A



A4 PLUMBING ROOF PLAN - AREA A - BID LOT #1
SCALE: 1/8" = 1'-0"



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PROJECT

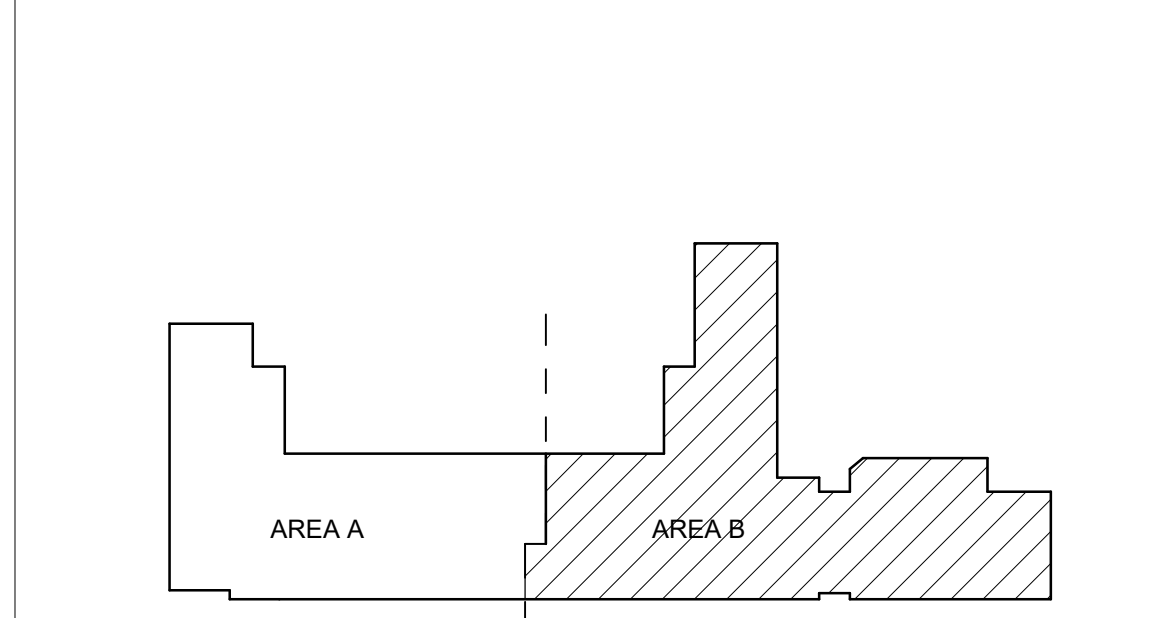
GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT OR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - 4. INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CALKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CALKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

- 1. PROVIDE PLUG VALVE, PETE'S PLUG (BEFORE AND AFTER REGULATOR) UNION, DIRTLEG AND FLEX CONNECTION TO MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS AND DETAIL C3P-501.
- 2. REFER TO SHEET PL 1408 FOR CONTINUATION FROM BASE BID.
- 3. COORDINATE CONDENSATE PIPE DOWN INTO CEILING SPACE, FIGHT TO STRUCTURE.
- 4. CONNECT CONDENSATE DRAIN TO UNIT WITH UNION AND FLEXIBLE CONNECTOR.
- 5. CONDENSATE PIPING ROUTED EXPOSED ON ROOF. PROVIDE ROOFTOP PIPING SUPPORTS (EQUAL TO DURA-BLOCK).
- 6. GAS PIPING ROUTED ON ROOF. PROVIDE ROOFTOP SUPPORTS (EQUAL TO DURA-BLOCK).

KEYPLAN



**Brown Early Childhood Center
Old Wing Renovation**
 520 W 5th St, Portales, NM 88130

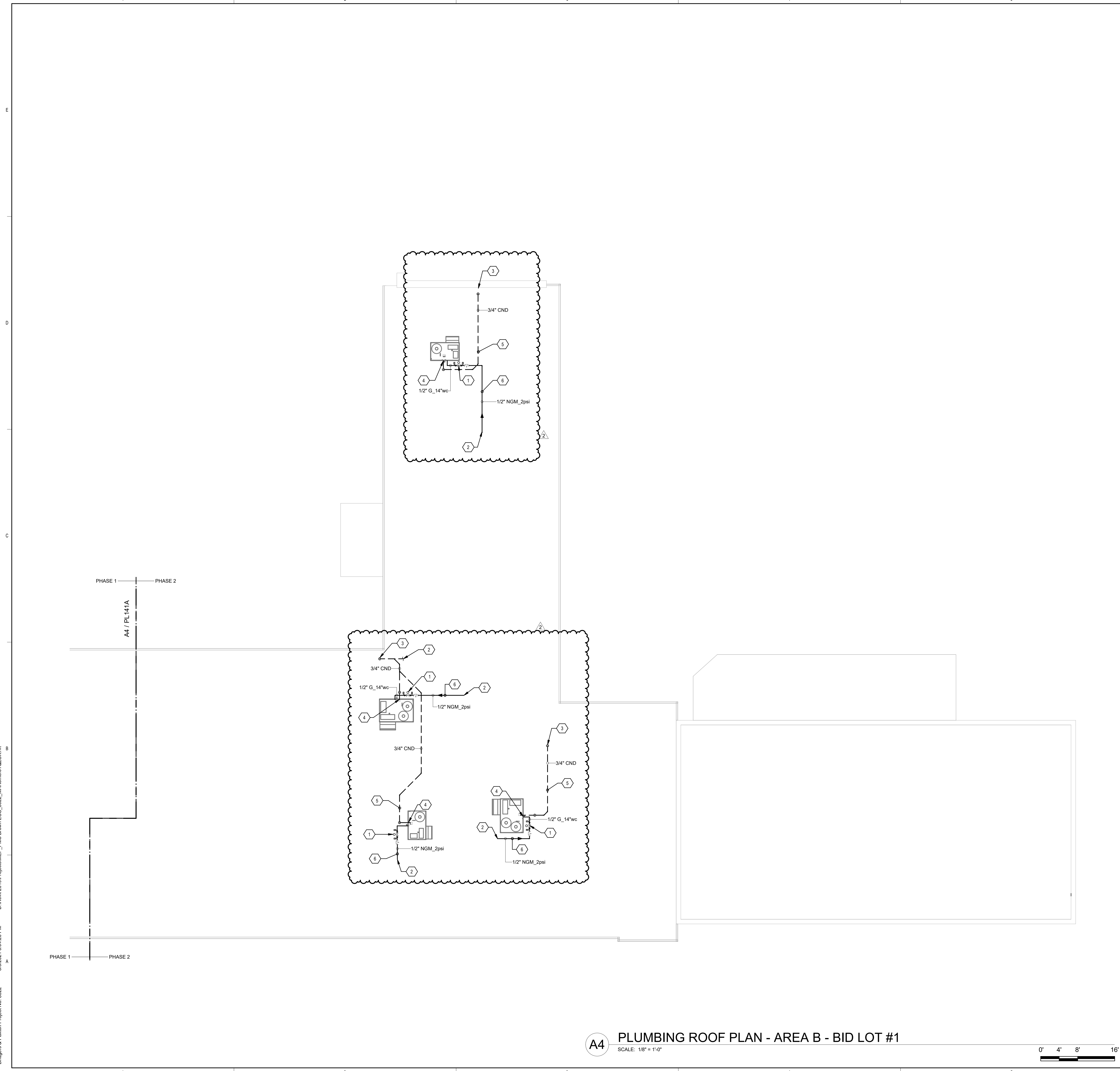
CONSTRUCTION DOCUMENTS

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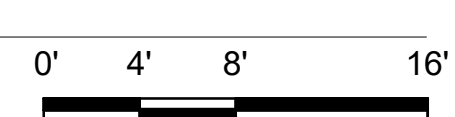
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REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO	18-0032
PSFA PRE-K PROJECT NO:	K-18-011
PSFA SYSTEMS PROJECT NO:	S-20-008
DRAWING NAME	

PLUMBING ROOF PLAN - AREA B - BID LOT #1

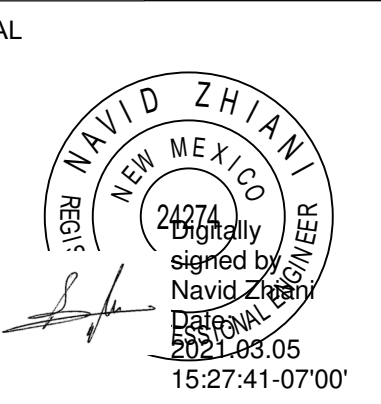
SHEET NO
PL141B



A4 PLUMBING ROOF PLAN - AREA B - BID LOT #1
SCALE: 1/8" = 1'-0"



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PROJECT

GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT OR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - 4. INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CALKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CALKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
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- K. ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- L. PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- M. SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

- 1. WATER ENTRY. REFER TO DETAIL D01P-501
- 2. SEE PP101A FOR EXTENSION TO BID LOT.
- 3. BYPASS NORMALLY OPEN UNDER BASE BID.
- 4. CAPPED FOR FOR EXTENSION TO PHASE 2
- 5. DOMESTIC WATER HEATER, REFER TO DETAIL A3P-501 FOR MORE INFORMATION.
- 6. REMOVE PIPING, CLOSE VALVE, AND CAP PIPE DOWNSTREAM OF ISOLATION VALVES UPON COMPLETION OF PHASE 2.

**Brown Early Childhood Center
Old Wing Renovation**
 520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

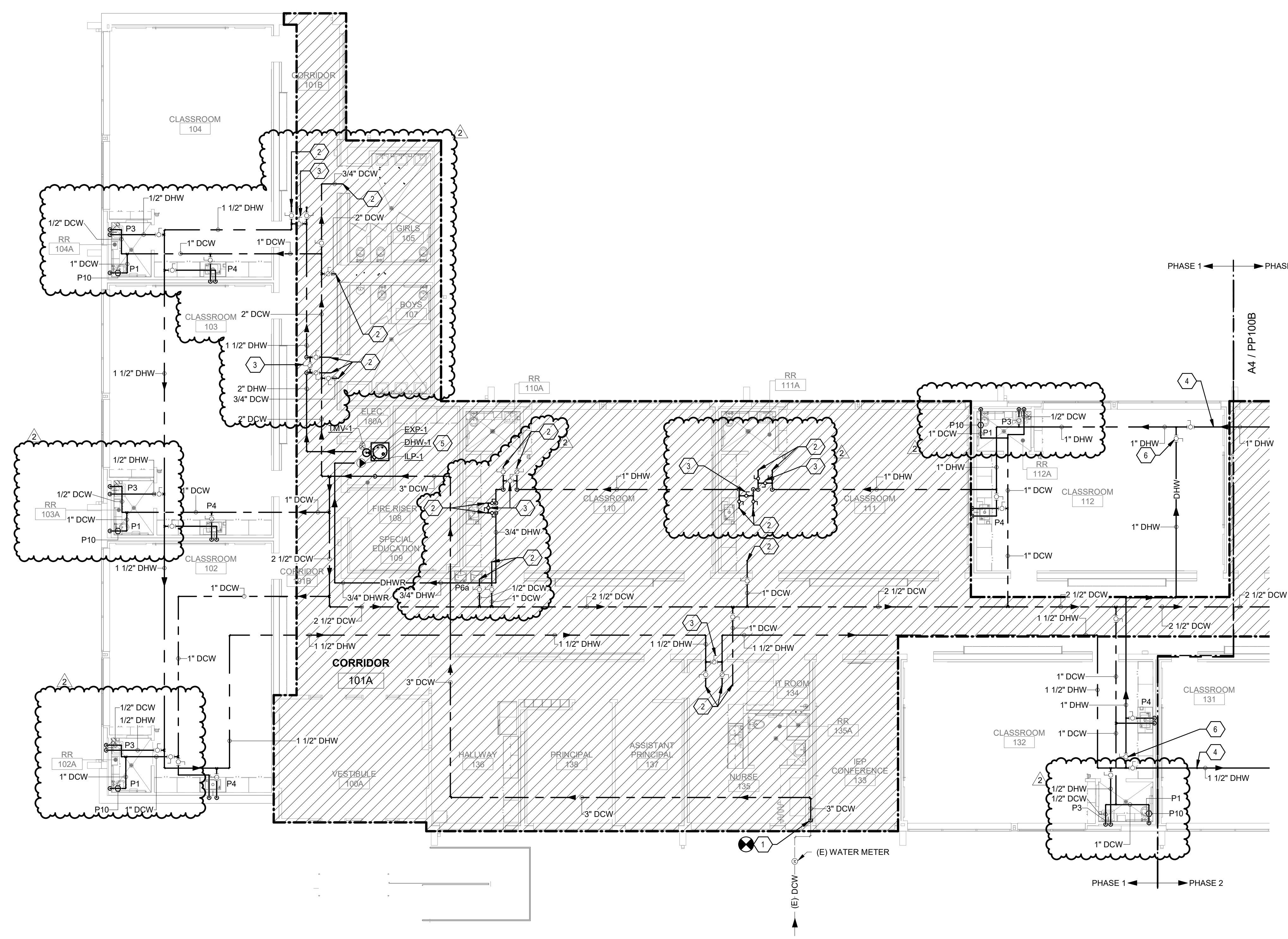
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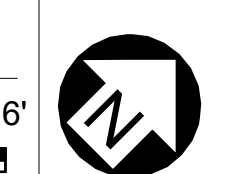
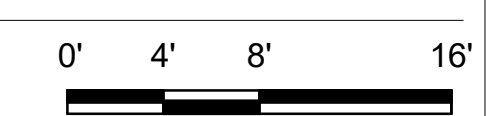
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REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO.	18-0032
PSFA PRE-K PROJECT NO.	K-18-011
PSFA SYSTEMS PROJECT NO.	S-20-008
DRAWING NAME	

PRESSURE PIPING FLOOR PLAN - AREA A

SHEET NO
PP100A



A4 PRESSURE PIPING FLOOR PLAN - AREA A



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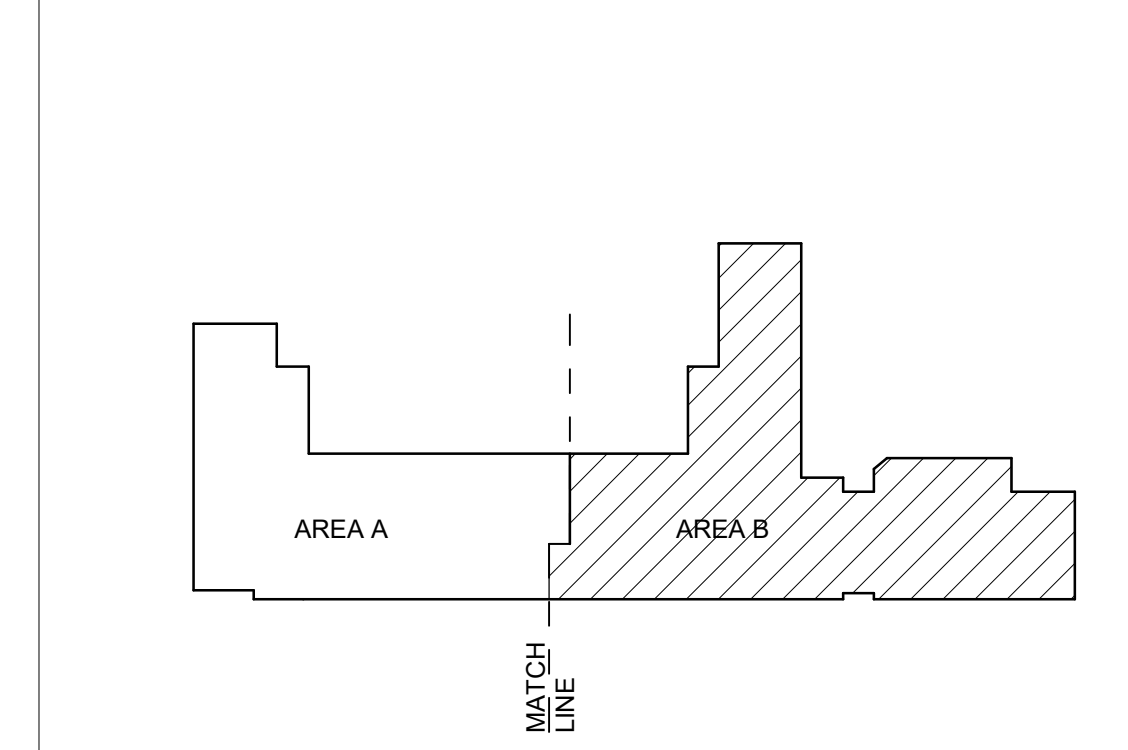
GENERAL SHEET NOTES

- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- C. THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - 1. FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENT OR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - 2. CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - 3. NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - 4. INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- D. PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- E. COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CAULKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- G. UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- H. ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- I. ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- J. REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
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- N. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

- 1. EXISTING TO REMAIN, NO PLUMBING SCOPE OF WORK IN THIS AREA.
- 2. SEE PP101B FOR EXTENSION TO BID LOT.
- 3. BYPASS NORMALLY OPEN UNDER BASE BID.

KEYPLAN



**Brown Early Childhood Center
Old Wing Renovation**
 520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

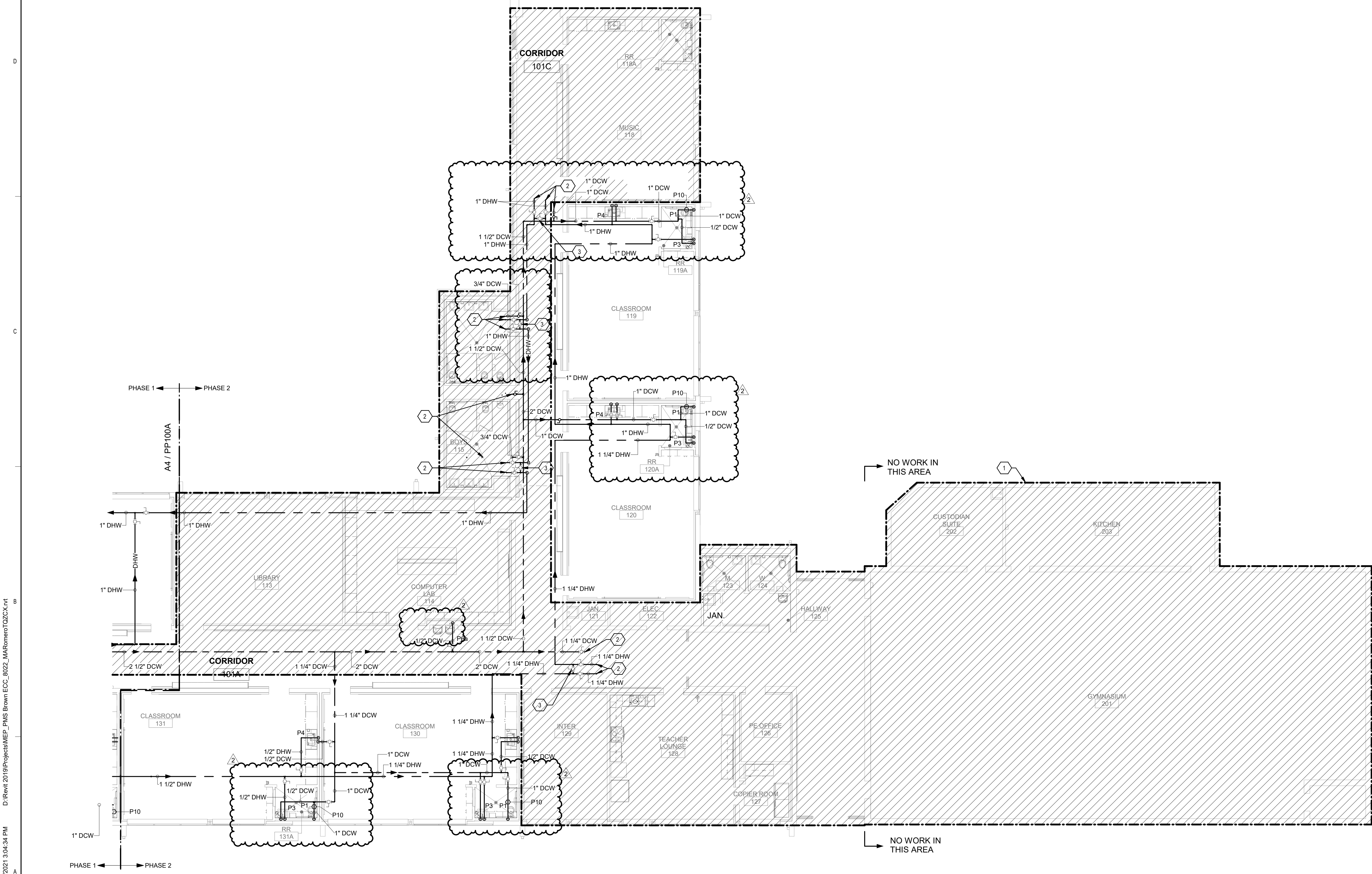
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REVIEWED BY	SDS
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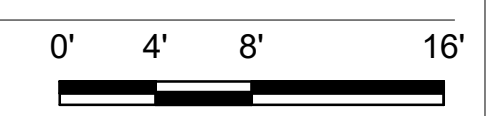
PRESSURE PIPING FLOOR PLAN - AREA B

SHEET NO
PP100B



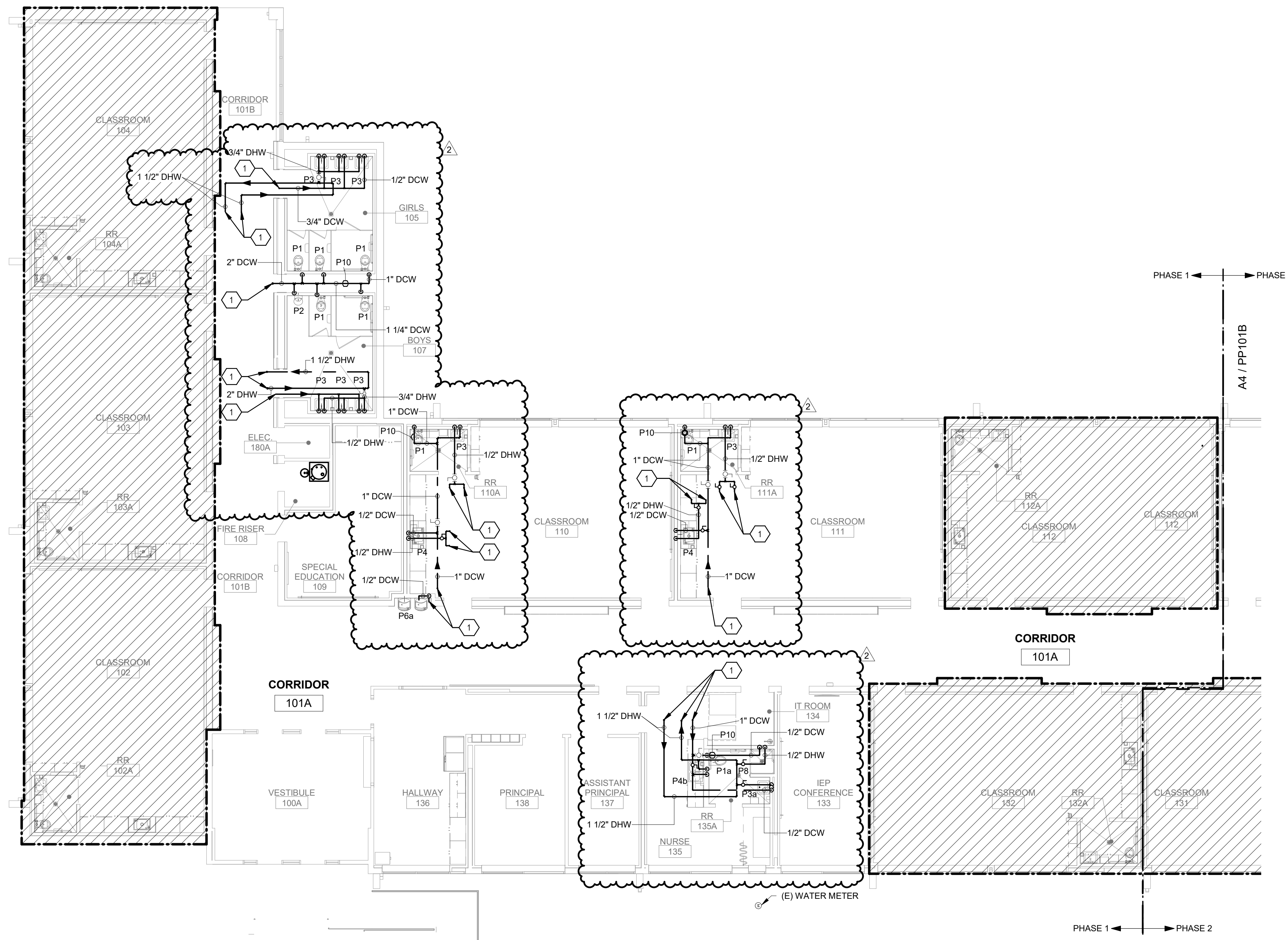
A4 PRESSURE PIPING FLOOR PLAN - AREA B

SCALE: 1/8" = 1'-0"



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A4 PRESSURE PIPING FIRST FLOOR PLAN - AREA A - BID LOT #1
 SCALE: 1/8" = 1'-0"

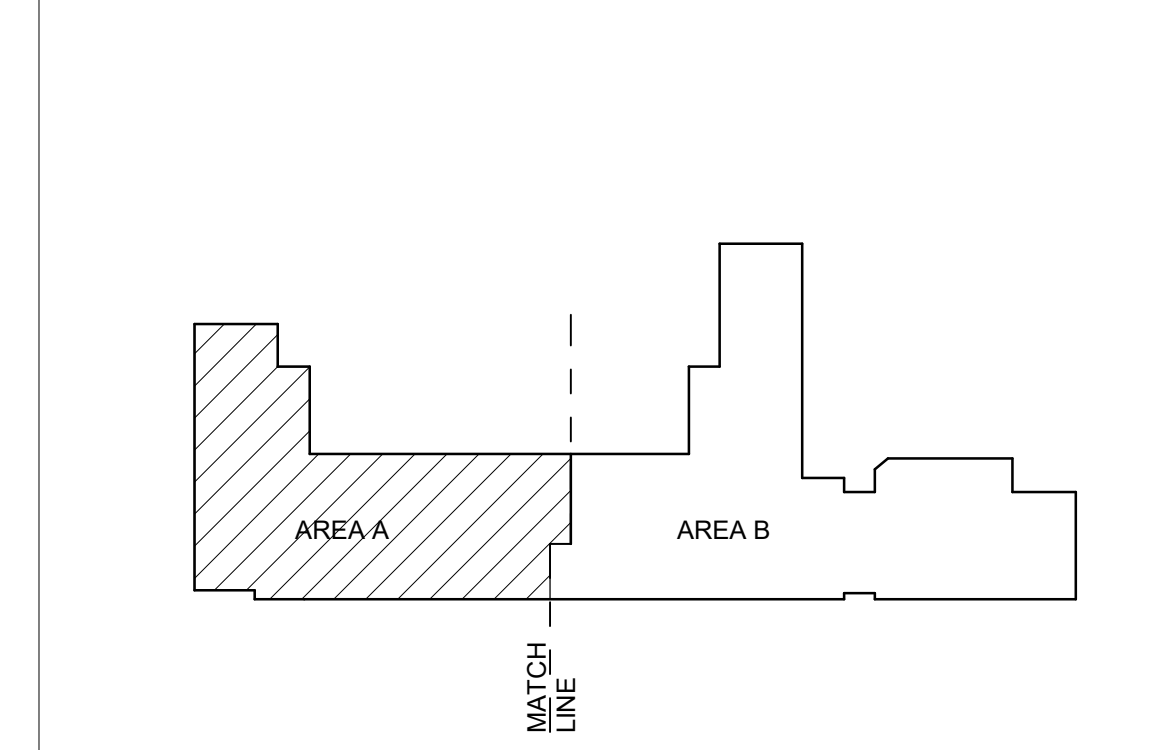


- ### GENERAL SHEET NOTES
- A. FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
 - B. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
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 - O. ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
 - P. REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

1. SEE PP100A FOR EXTENSION FROM BASE BID.

KEYPLAN



FORMATIVE
architecture

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 109 GOLD AVENUE, SUITE 200
 ALBUQUERQUE, NM 87102
 505.510.4000

BRIDGES & PAXTON
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 Albuquerque, NM 87110
 505.883.4111 www.btpipe.com

SEAL

MAID ZHIANI
 24274
 Digitally signed by Navid Zhanian
 DN: cn=Navid Zhanian, o=PP101B, ou=PP101B, email=navid.zhanian@pp101b.com, c=US

PROJECT

**Brown Early Childhood Center
 Old Wing Renovation**
 520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS	ADDENDUM #
△ 3/5/2021	ADDENDUM 4
△	
△	
△	
△	

DRAWN BY	MAD
REVIEWED BY	SDS
DATE	12/10/2019
PROJECT NO.	18-0032
PSFA PRE-K PROJECT NO.	K-18-011
PSFA SYSTEMS PROJECT NO.	S-20-008
DRAWING NAME	

PRESSURE PIPING FLOOR PLAN - AREA A - BID LOT #1

SHEET NO. **PP101A**

REVISIONS

△	3/5/2021	ADDENDUM #4
△		
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△		
△		

DRAWN BY	MAD
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DATE	12/10/2019
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DRAWING NAME	

PRESSURE
PIPING FLOOR
PLAN - AREA B -
BID LOT #1

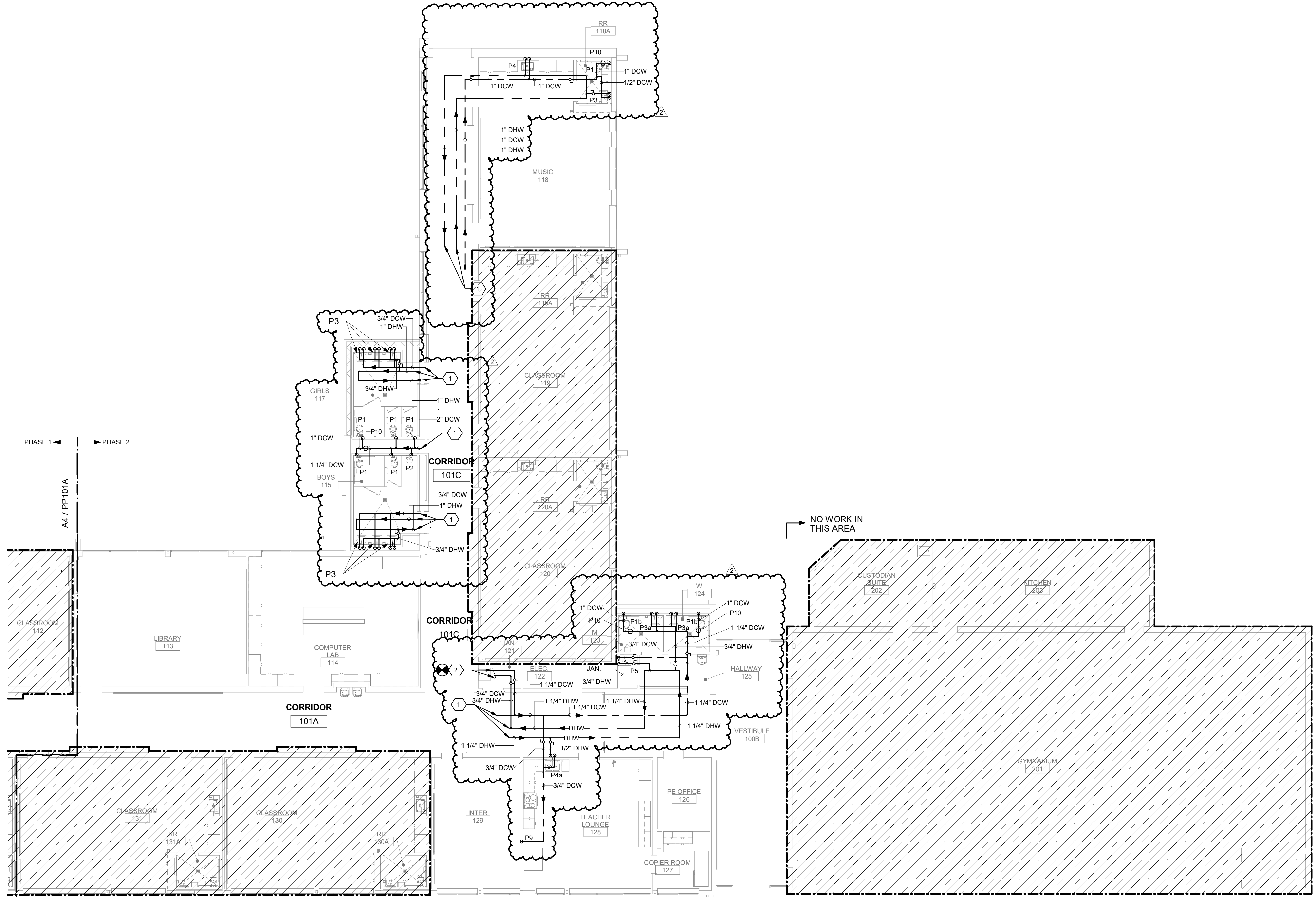
SHEET NO
PP101B

GENERAL SHEET NOTES

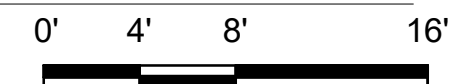
- FINISHED FLOOR ELEVATION = 100'-0" UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND PERFORM A FIELD SURVEY TO CONFIRM LOCATION AND SIZES OF EXISTING PLUMBING SERVICES.
- THE CONTRACTOR MAY SUBMIT HIS BID BASED ON AN ALTERNATE PIPING LAYOUT, PROVIDING IT COMPLIES WITH FOLLOWING:
 - FIELD SURVEY HAS BEEN COMPLETED AND PROPOSED PLUMBING LAYOUT WON'T CONFLICT WITH EXISTING EQUIPMENTOR WILL NOT DISRUPT PRESENTLY OCCUPIED AREAS.
 - CONTRACTOR HAS REVIEWED ALL PLANS FOR COORDINATING WITH HVAC, FIRE PROTECTION, ARCHITECTURAL, AND ELECTRICAL TRADES TO AVOID CONFLICTS.
 - NEW PIPING SHALL NOT CONNECT TO EXISTING SERVICES OF LESSER SIZE.
 - INSTALLATION COMPLIES WITH STATE AND LOCAL CODES.
- PIPING LOCATIONS HAVE BEEN SHOWN FOR CLARITY AND DO NOT NECESSARILY REFLECT THE EXACT LOCATION OF PIPE. COORDINATE ROUTING WITH ALL OTHER TRADES BEFORE INSTALLATION OR MAKEUP OF PIPE. PROVIDE COORDINATION DRAWINGS PER SPECIFICATIONS.
- COORDINATE ALL PLUMBING PIPING WITH ALL OTHER TRADES AND PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL FIRE RATED AND OR SMOKE RATED WALLS AND ASSEMBLIES. PIPING PENETRATIONS OF FIRE AND SMOKE RATED WALLS AND LISTED ASSEMBLIES SHALL BE CAULKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.L. LISTED FIRE PROOF CAULKING MATERIAL.
- UNDERGROUND STORM AND SANITARY PIPING SHOWN ON DRAWINGS RUNNING IN THE CORRIDORS SHALL BE INSTALLED IN THE MIDDLE OF THE CORRIDOR WHERE POSSIBLE. CONTRACTOR SHALL NOT UNDERMINE FOOTINGS.
- ALL MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF WORKSITE OF ANY MATERIAL THAT IS OF THEIR TRADE.
- ALL PENETRATIONS THROUGH EXISTING DRYWALL OR SOLID SURFACES SHALL BE PROVIDED WITH ESCUTCHEONS IF EXPOSED. PENETRATIONS SHALL BE PATCHED TO MATCH SURROUNDING SURFACES.
- REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATION AND HEIGHTS OF ALL PLUMBING FIXTURES BEFORE ROUGH-IN OR INSTALLATION OF PIPE. PLUMBING FIXTURES SHALL BE MOUNTED AT HEIGHTS SHOWN ON ARCHITECTURAL ELEVATION DRAWINGS.
- ALL PIPING IN FINISHED ROOMS SHALL BE CONCEALED IN FURRED CHASES UNLESS OTHERWISE NOTED ON THIS DRAWING.
- PROVIDE HINGED ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTERS, ISOLATION BALL VALVES LOCATED IN NONACCESSIBLE CEILINGS AND CHASES. DOORS FURNISHED PER ARCHITECTURAL SPECIFICATIONS AND PURCHASED AND INSTALLED PER DIVISION 22 ACCESS DOOR RATING SHALL MATCH THE CLASSIFICATION OF WALLS AND CEILING FIRE RATING. COORDINATE COLOR AND TYPE OF ACCESS DOOR WITH ARCHITECTURAL PRIOR TO PERFORMING WORK.
- SANITARY SEWER PIPING SHALL BE C.I. NO-HUB UNLESS NOTED OTHERWISE. INSTALL PER UPC CODE.
- DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE K OR L COPPER WITH 95-5 SOLDER JOINTS. ALL WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- ALL PIPING SHALL BE TESTED PER 2015 UPC AND PER SPECIFICATIONS.
- REFER TO DRAWING P-701 FOR PLUMBING ROUGH IN REQUIREMENTS.

KEYNOTES

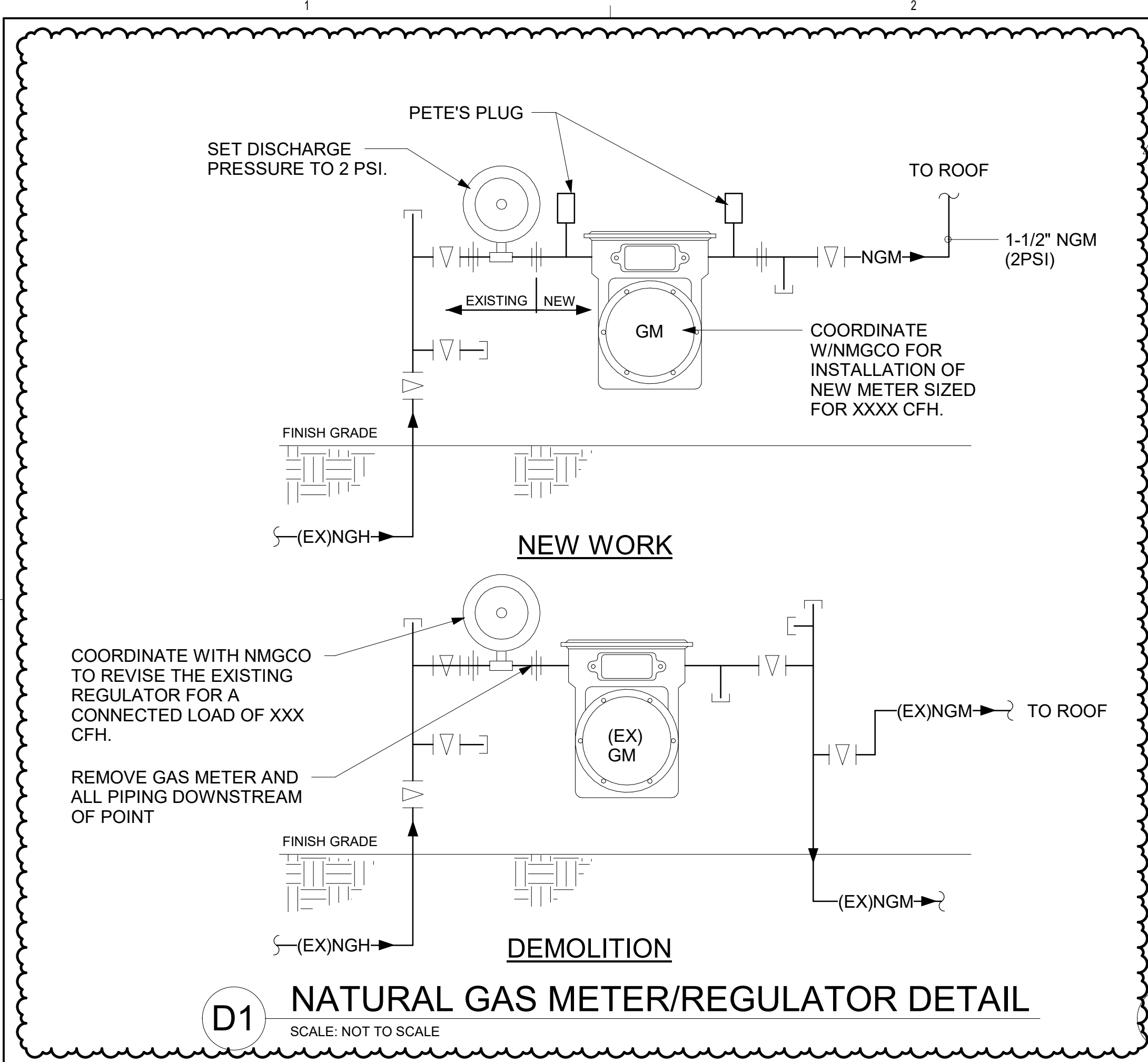
- SEE P101B FOR EXTENSION FROM BASE BID
- EXISTING JANITORS SINK IS TO REMAIN. CONNECT NEW 3/4" DCHW TO EXISTING PIPING SERVING EXISTING JANITOR SINK. FIELD VERIFY EXACT POINT OF CONNECTION.



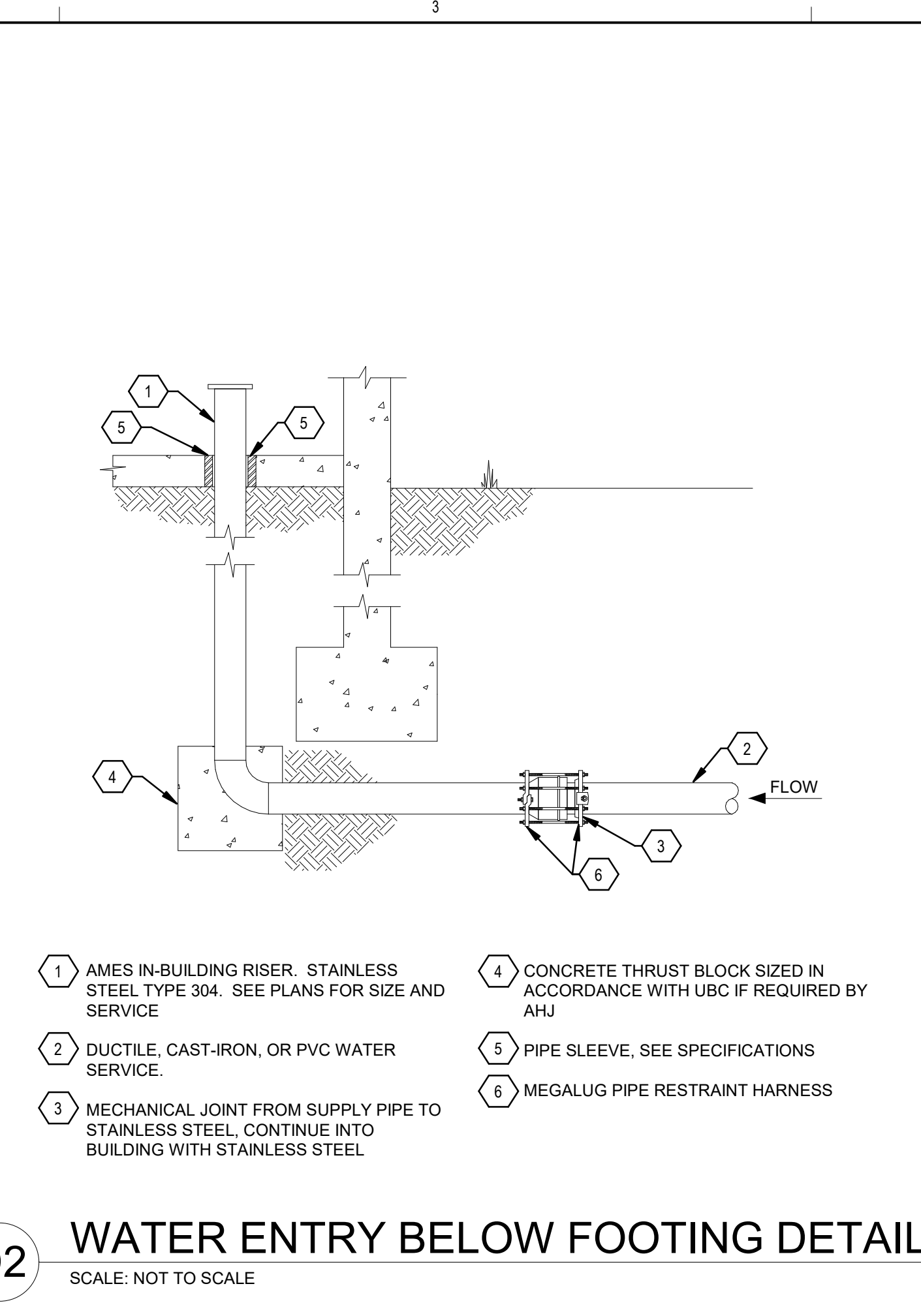
A4 PRESSURE PIPING FIRST FLOOR PLAN - AREA A - BID LOT #1
SCALE: 1/8" = 1'-0"



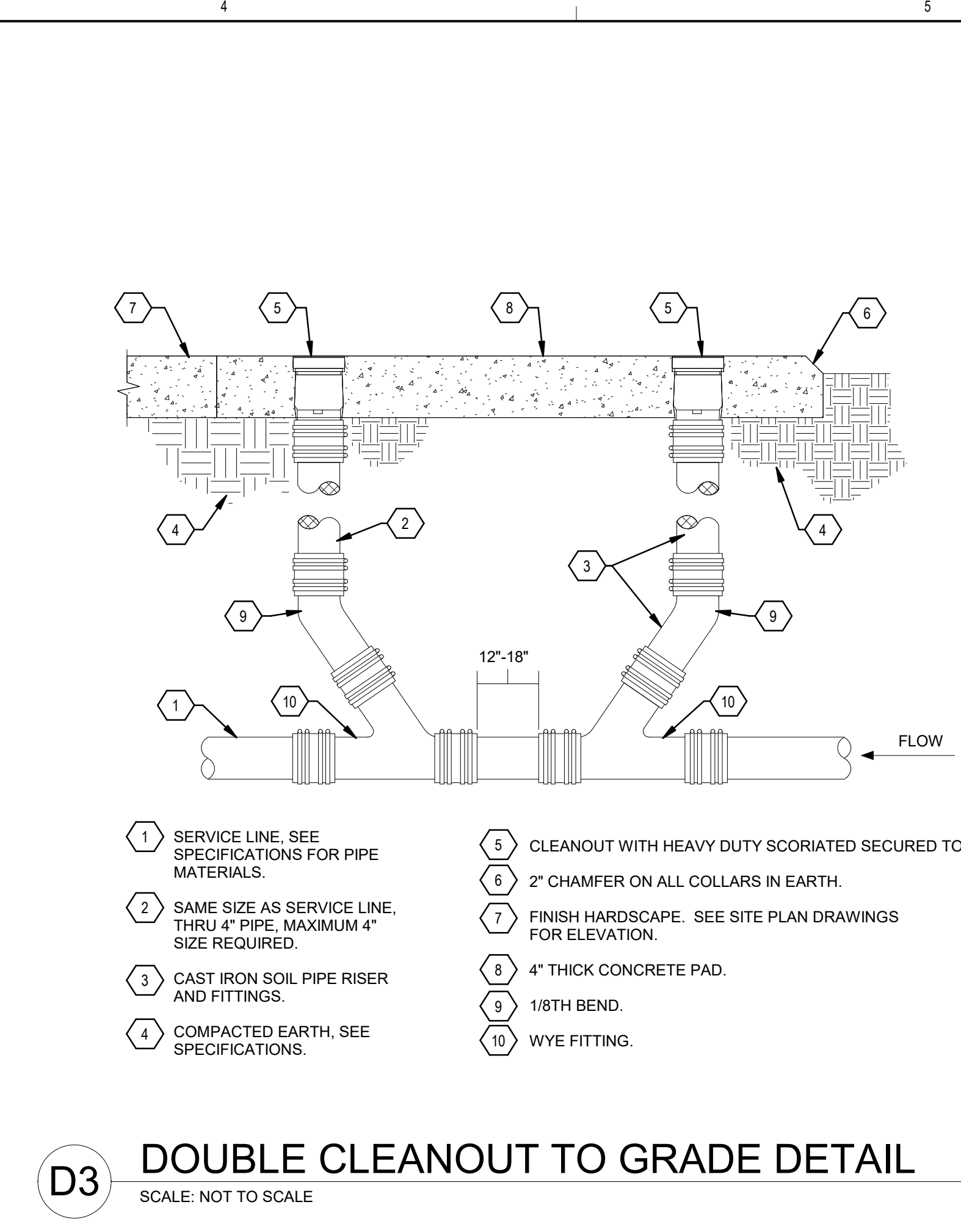
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 Bridges & Paxton Project No. 8022



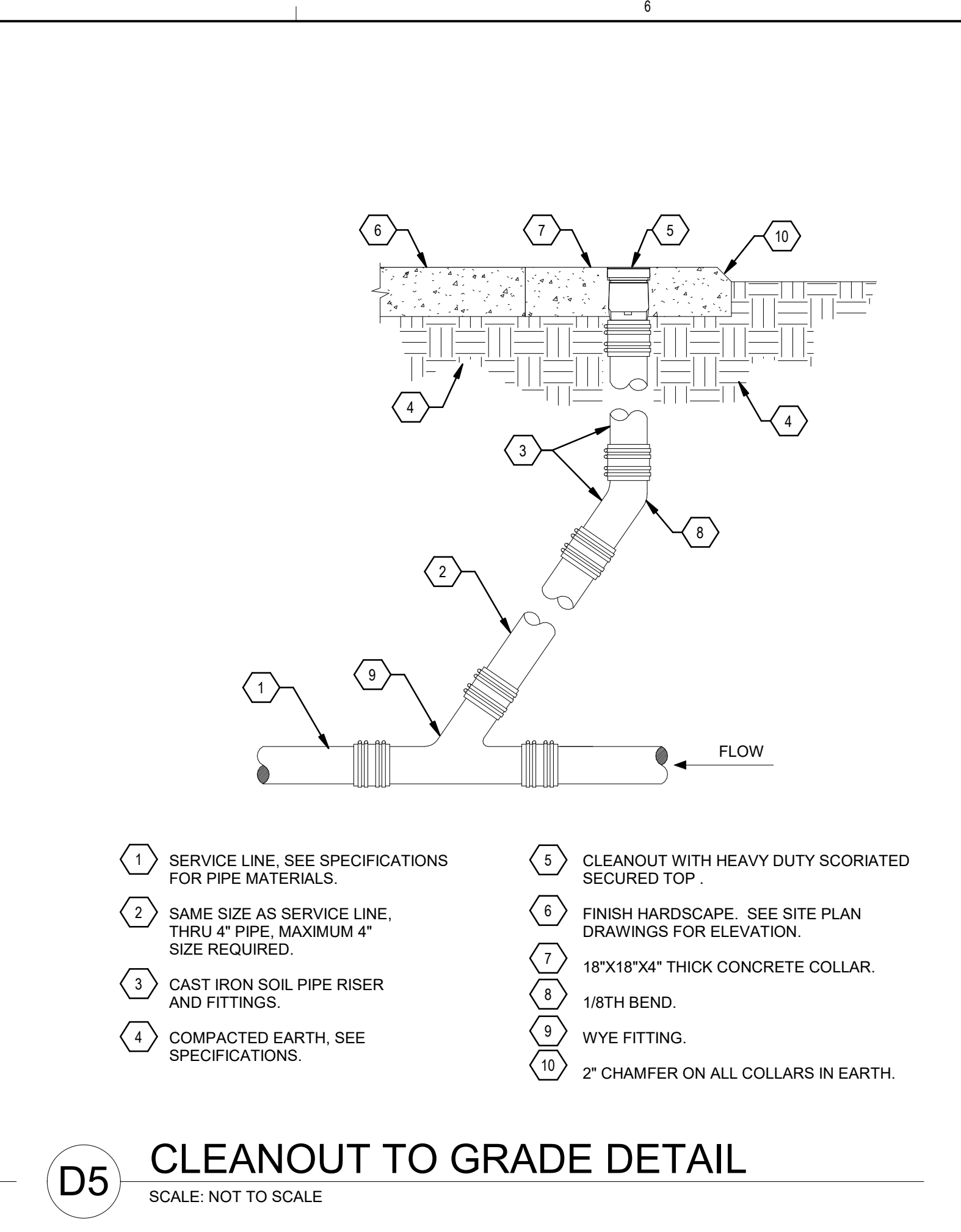
D1 NATURAL GAS METER/REGULATOR DETAIL
SCALE: NOT TO SCALE



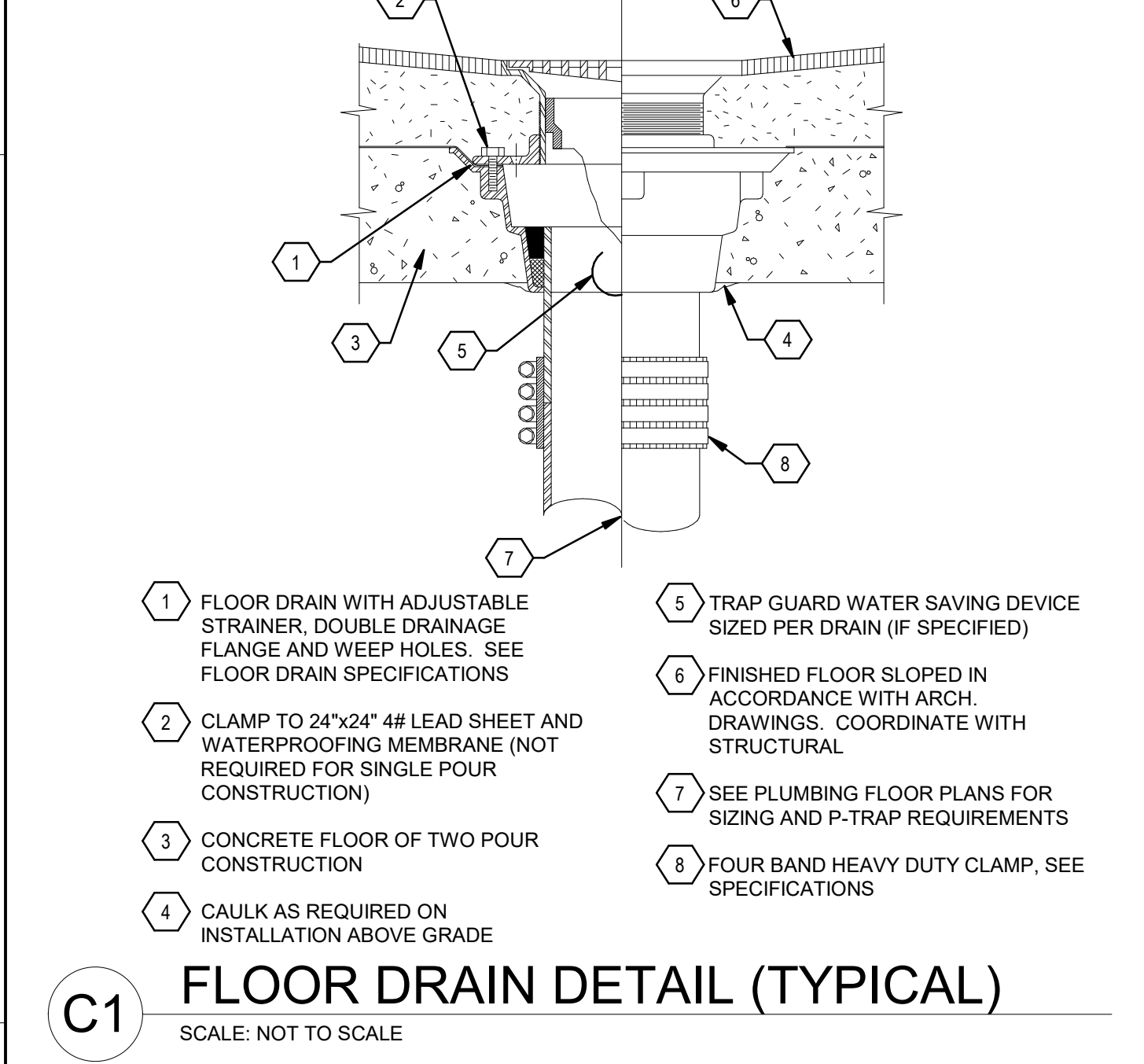
D2 WATER ENTRY BELOW FOOTING DETAIL
SCALE: NOT TO SCALE



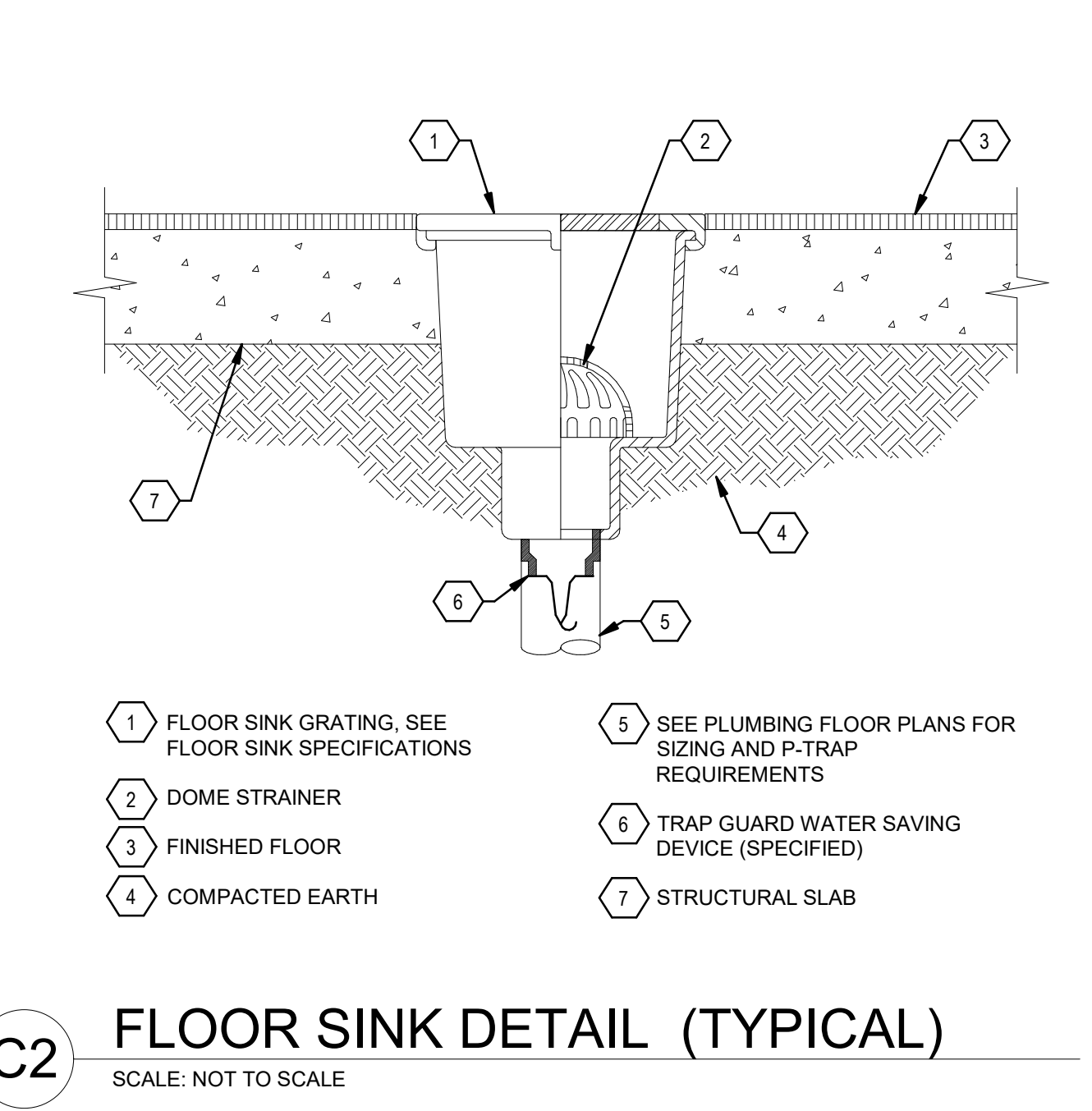
D3 DOUBLE CLEANOUT TO GRADE DETAIL
SCALE: NOT TO SCALE



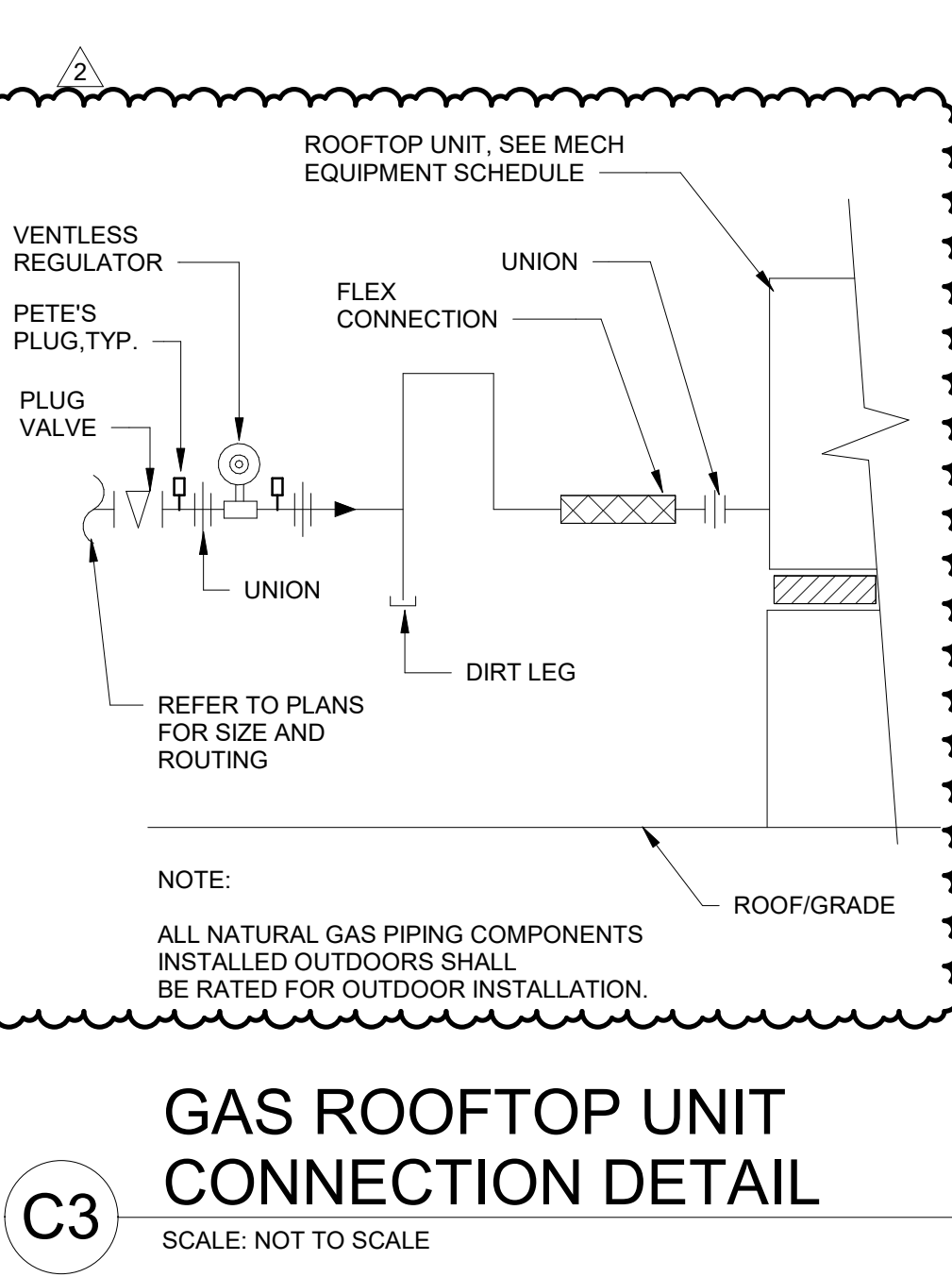
D5 CLEANOUT TO GRADE DETAIL
SCALE: NOT TO SCALE



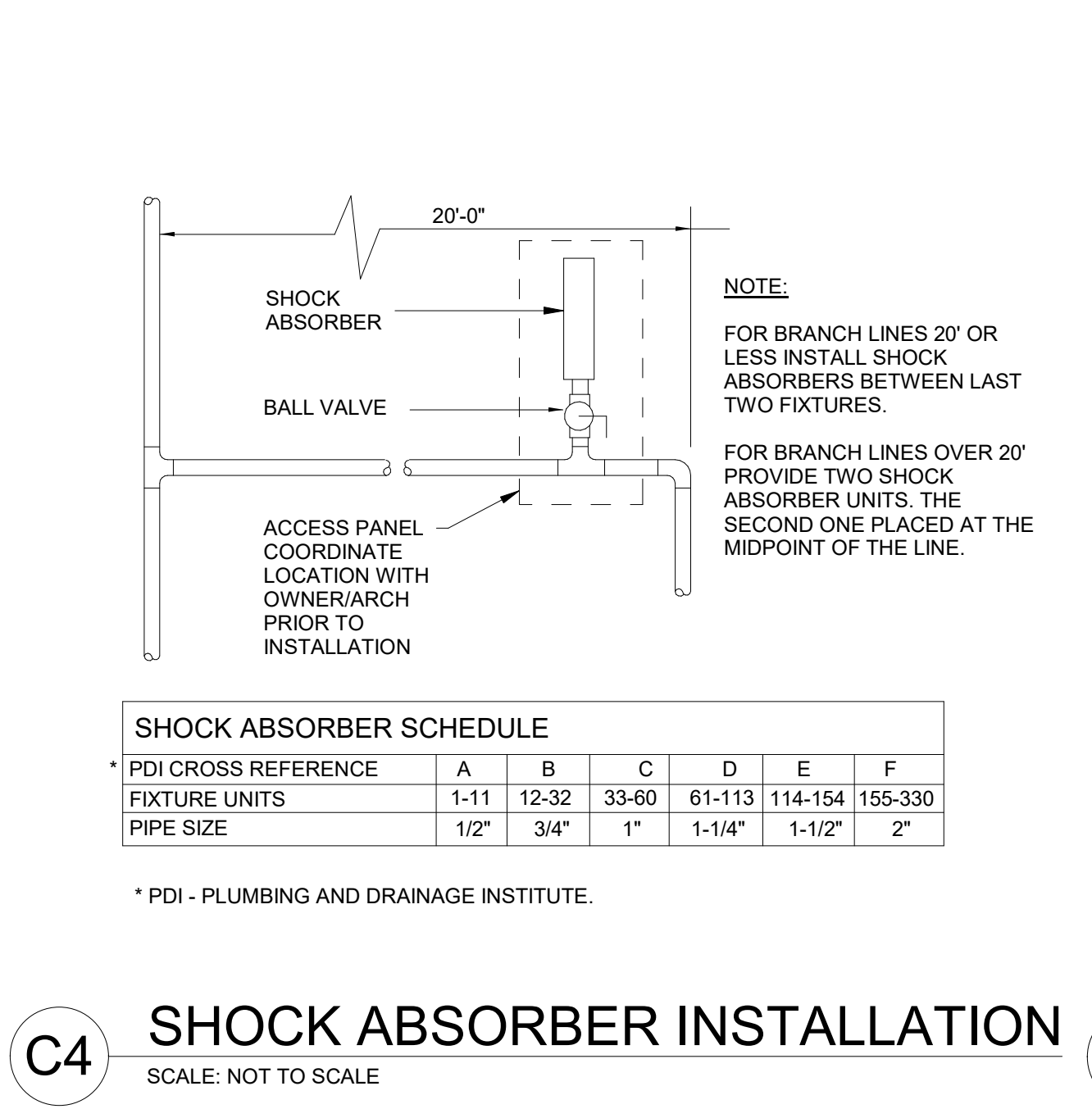
C1 FLOOR DRAIN DETAIL (TYPICAL)
SCALE: NOT TO SCALE



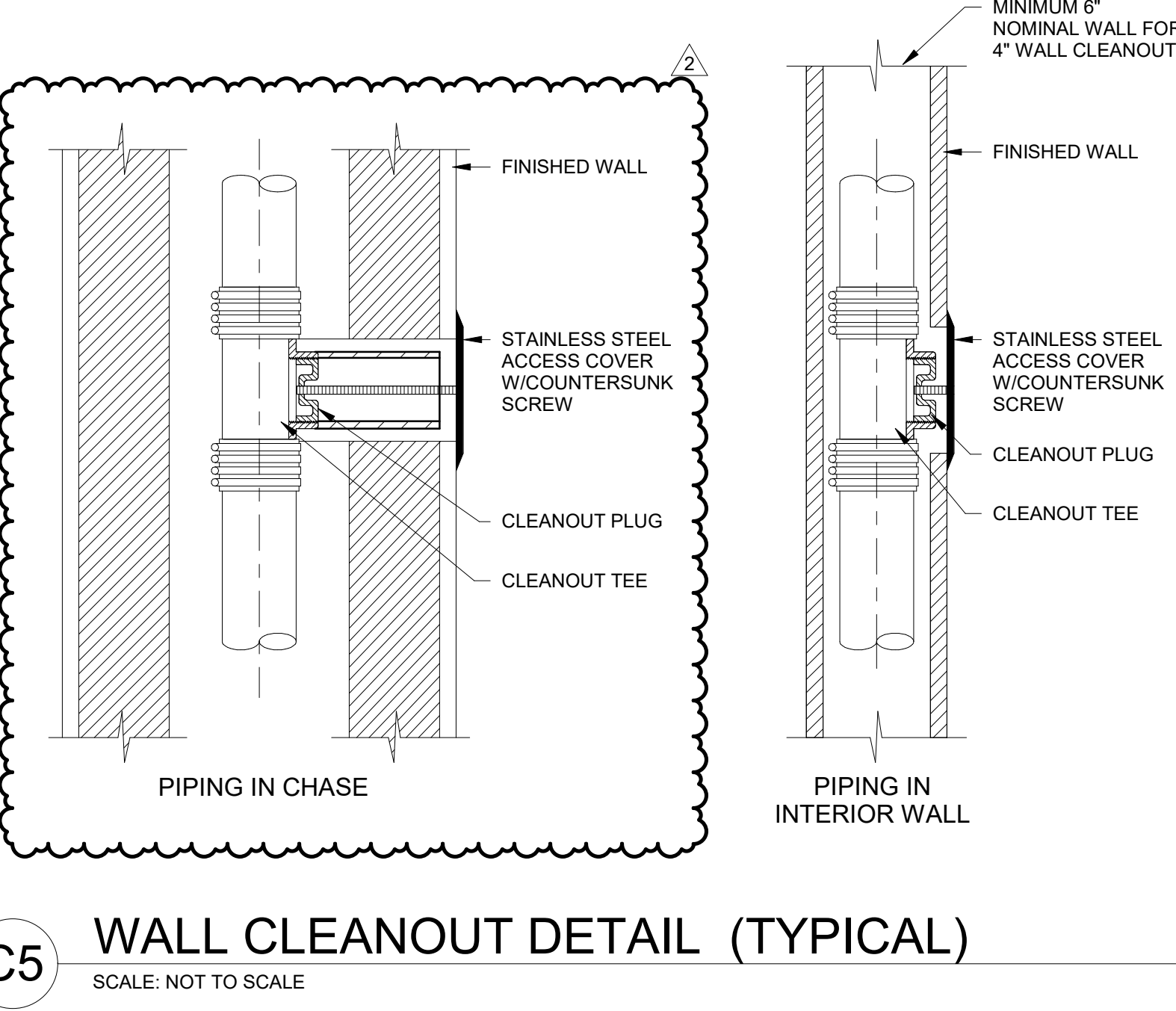
C2 FLOOR SINK DETAIL (TYPICAL)
SCALE: NOT TO SCALE



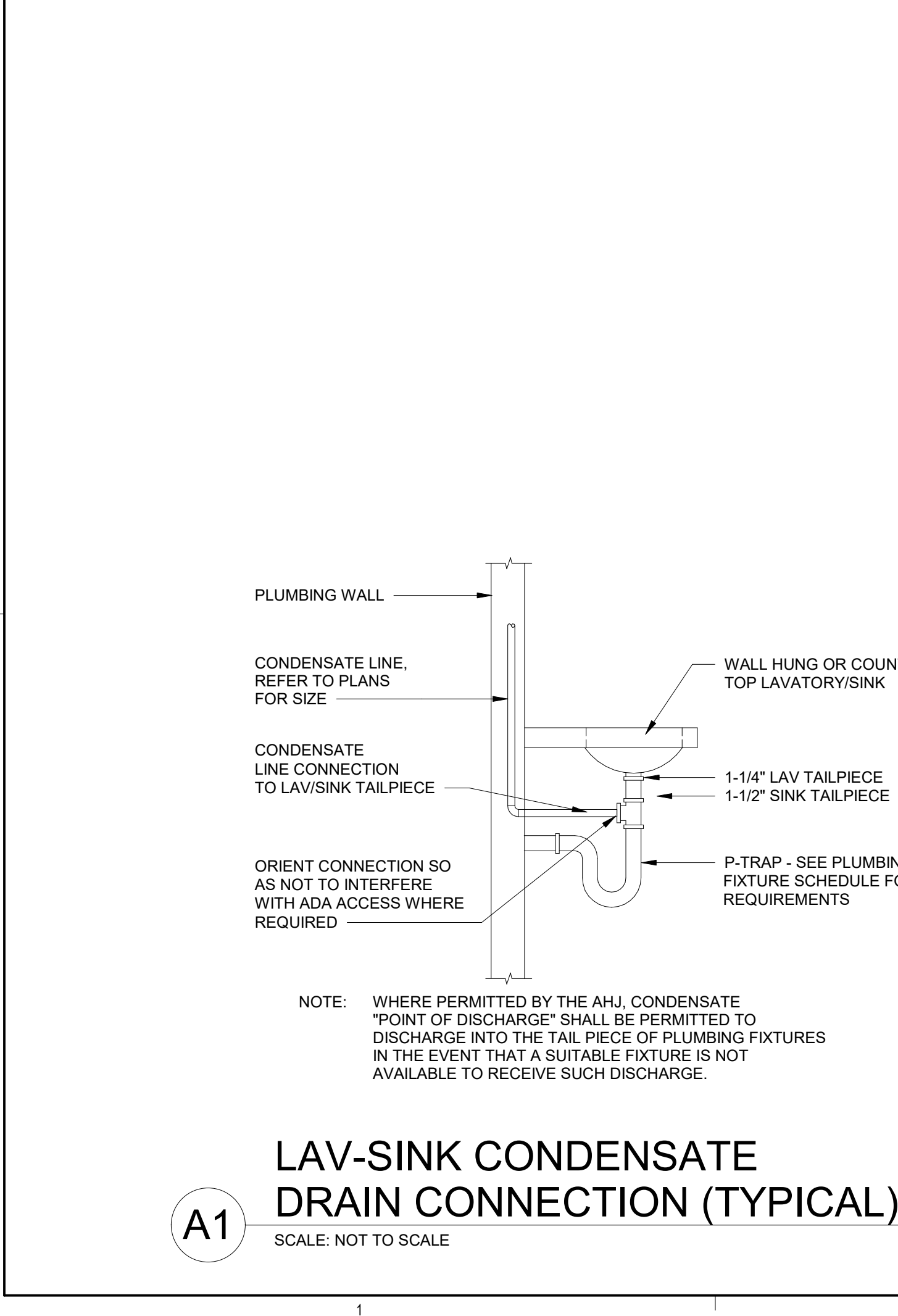
C3 GAS ROOFTOP UNIT CONNECTION DETAIL
SCALE: NOT TO SCALE



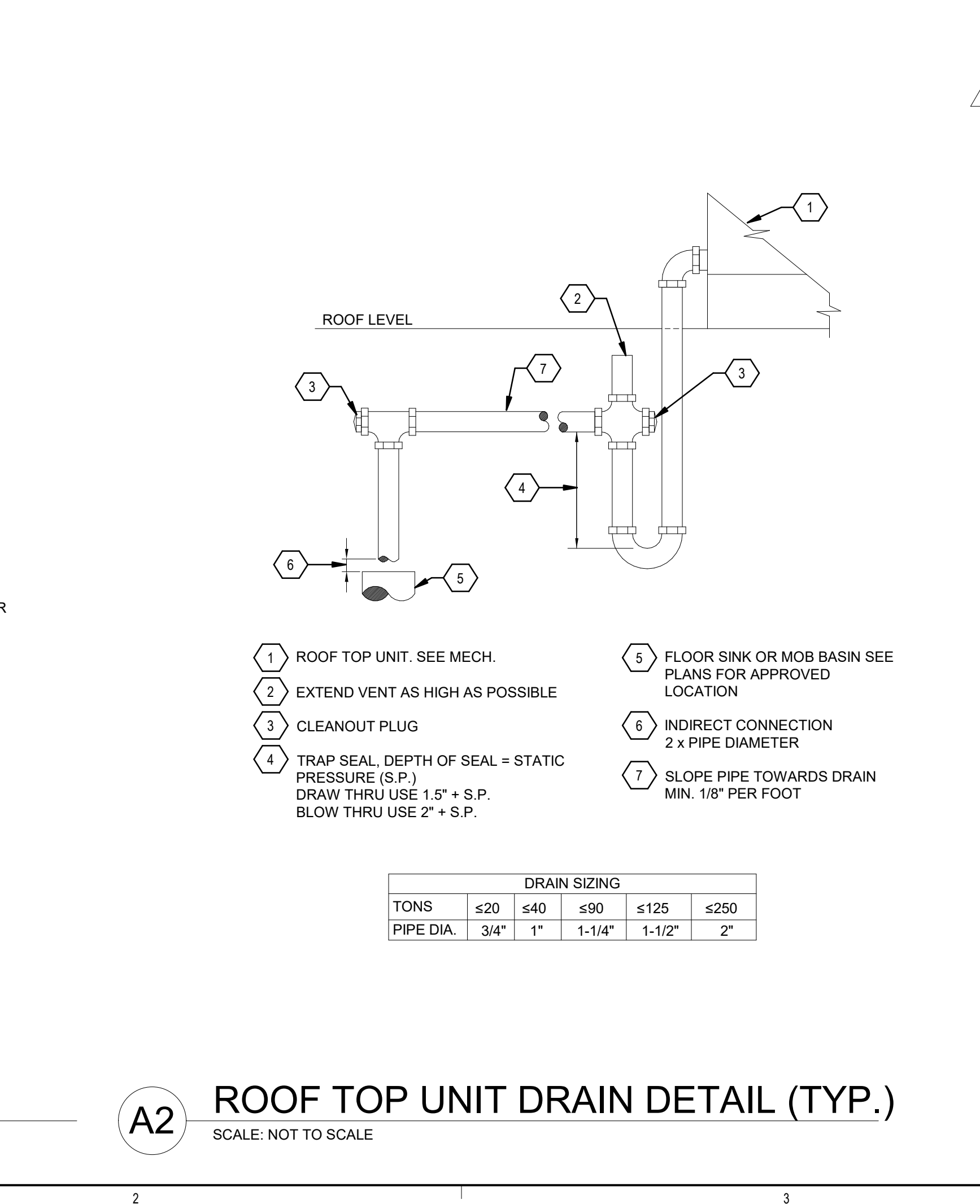
C4 SHOCK ABSORBER INSTALLATION
SCALE: NOT TO SCALE



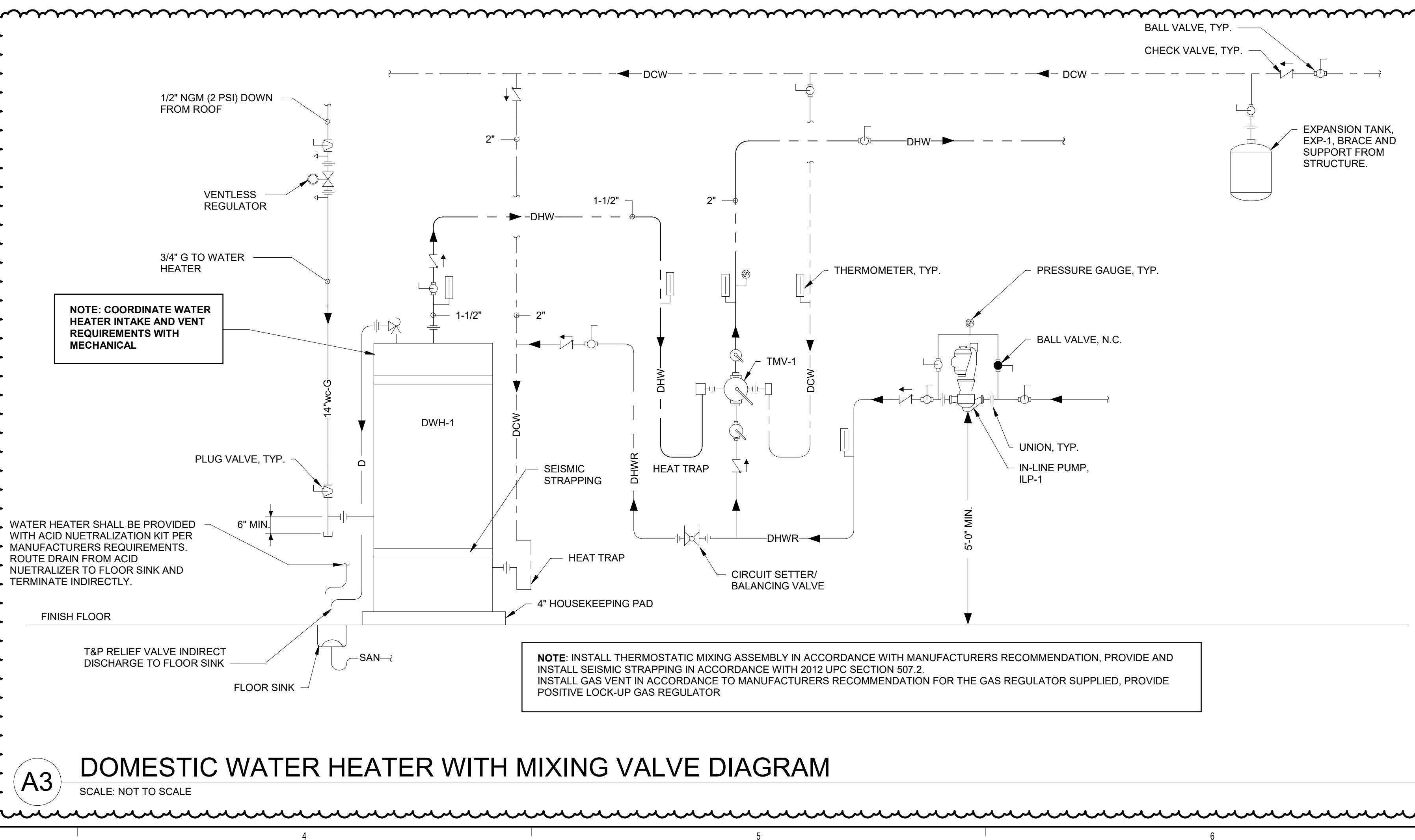
C5 WALL CLEANOUT DETAIL (TYPICAL)
SCALE: NOT TO SCALE



A1 LAV-SINK CONDENSATE DRAIN CONNECTION (TYPICAL)
SCALE: NOT TO SCALE



A2 ROOF TOP UNIT DRAIN DETAIL (TYP.)
SCALE: NOT TO SCALE



A3 DOMESTIC WATER HEATER WITH MIXING VALVE DIAGRAM
SCALE: NOT TO SCALE

**Brown Early Childhood Center
Old Wing Renovation**
520 W 5th St, Portales, NM 88130

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	3/5/2021	ADDENDUM 4

DRAWN BY: MAD
 REVIEWED BY: SDS
 DATE: 12/10/2019
 PROJECT NO: 18-0032
 PSFA PRE-K PROJECT NO: K-18-011
 PSFA SYSTEMS PROJECT NO: S-20-008
 DRAWING NAME

PLUMBING DETAILS

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 Bridgers & Paxton Project No: 8022

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE			TRIM/FAUCET		FLOW/FLUSH RATE	NOTE
	TYPE	MANUFACTURER	MODEL	MANUFACTURER	MODEL		
P1	WATER CLOSET - FLOOR MTD. - FLUSH VALVE MANUAL	AMERICAN STANDARD	BABY DEVORO - 2282.001	SLOAN	ROYAL 111-1.6	1.6 GPM	<p>LOW FLOW, HIGH EFFICIENCY TOILET, WHITE VITREOUS CHINA, EVERCLEAN SURFACE, FULLY GLAZED TRAPWAY, 1-1/2" TOP SPUD, ELONGATED BOWL. CARRIER: ZURN, WADE, JOSAM OR SMITH. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.</p> <p>FLUSH VALVE: MANUAL, EXPOSED, CHROME PLATED, DIAPHRAGM TYPE, LOW CONSUMPTION.</p> <p>SEAT: HEAVY DUTY, OPEN FRONT LESS COVER, SOLID PLASTIC, WHITE, MFG: BEMIS 16555SCT/CHURCH 9500SSC, AMERICAN STANDARD # 5901.100SS OR EQUAL.</p> <p>MANUAL, EXPOSED, CHROME PLATED, LOW FLOW.</p> <p>SEAT: HEAVY DUTY, OPEN FRONT LESS COVER, SOLID PLASTIC, WHITE, MFG: CHURCH 9600SSC OR EQUAL.</p> <p>CARRIER: ZURN, WADE, JOSAM OR SMITH. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.</p> <p>FLUSH VALVE: MANUAL, EXPOSED, CHROME PLATED, DIAPHRAGM TYPE, LOW CONSUMPTION.</p> <p>SEAT: HEAVY DUTY, OPEN FRONT LESS COVER, SOLID PLASTIC, WHITE, MFG: BEMIS 16555SCT/CHURCH 9500SSC, AMERICAN STANDARD # 5901.100SS OR EQUAL.</p> <p>LOW FLOW, HIGH EFFICIENCY URINAL, WHITE VITREOUS CHINA, 3/4" TOP SPUD, WASHOUT FLUSH ACTION.</p> <p>FLUSH VALVE: MANUAL, EXPOSED, DIAPHRAGM, CHROME PLATED.</p> <p>CARRIER: ZURN, WADE, JOSAM OR SMITH. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.</p> <p>WALL MOUNTED, UNLESS ONE PEE-LAVATORY WITH COVER BACKSPLASH AND ACCESSORIES.</p> <p>FAUCET: MANUAL, LEVER HANDLES, CHROME PLATED CAST BRASS BODY, TWO HOLE, 4" CENTERS, HOT AND COLD WATER INDEX LEVER HANDLES, 1/2" NPSM SUPPLY INLETS, CER-TEC CARTRIDGES, PROVIDE OMNI 0.5 GPM SOFT SPRAY DEVICE.</p> <p>MIXING VALVE: ASSE 1070 MIXING VALVE SET TO 105 DEGREE, MFG: WATTS MODEL LFUSG-B UNDER SINK.</p> <p>PROVIDE: BRADLEY 269-1839 DASSY DRAIN, STRAINER AND TAILPIECE, 1/2" O.D. 1/4 TURN BALL STOPS WITH 3/8" O.D. STAINLESS STEEL FLEX RISERS, 1-1/2" TUBULAR ADJUSTABLE P-TRAP, 17 GAUGE, POLISHED CHROME.</p> <p>MOUNT: REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.</p> <p>CARRIER: WALL HUNG LAVATORIES AND SINKS SHALL BE PROVIDED WITH FLOOR MOUNTED, CONCEALED ARM TYPE CHAIR CARRIERS, SINGLE OR DOUBLE (BACK-TO-BACK) UNITS AS REQUIRED FOR THE FIXTURE INSTALLATION AND ARRANGEMENT.</p> <p>NOTE: DOMESTIC HOT AND COLD WATER PIPING AND P-TRAPS EXPOSED BELOW BARRIER FREE LAVATORIES SHALL BE INSULATED WITH PLUMBEREX PRO-2000 SERIES INSULATION KITS WHICH SATISFY ANSI A117.1 REQUIREMENTS.</p>
P1a	WATER CLOSET (BARRIER FREE) - FLOOR MTD. - FLUSH VALVE MANUAL	AMERICAN STANDARD	MADERA - 3451.001	SLOAN	ROYAL 111-1.6	1.6 GPM	
P1b	WATER CLOSET - WALL MTD. - FLUSH VALVE MANUAL	AMERICAN STANDARD	AFWALL - 3351.101	SLOAN	ROYAL 111-1.6	1.6 GPM	
P2	URINAL - WALL MTD. - FLUSH VALVE	AMERICAN STANDARD	6590.001	SLOAN	ROYAL 186-0.5	0.5 GPF	
P3	LAVATORY (BARRIER FREE) - WALL MTD.	KOHLER	KINGSTON K-2005	ZURN	Z6915XL	0.5 GPM	
P3a	LAVATORY (BARRIER FREE) - WALL MTD.	KOHLER	KINGSTON K-2005	ZURN	Z6915XL	0.5 GPM	
P4	SINK - SINGLE COMPARTMENT WITH BUBBLER	ELKAY	CDKR2517C	ELKAY	LKD208513LC	0.5 GPM	
P4a	SINK - DOUBLE COMPARTMENT	ELKAY	CR3322	CHICAGO FAUCETS	786-GR8AE35V317AB	0.5 GPM	
P4b	SINK - NURSE - DOUBLE COMPARTMENT	ELKAY	LRAD29186SPDMR2	CHICAGO FAUCETS	786-GR8AE35V317AB	0.5 GPM	
P5	SERVICE SINK	FIAT PRODUCTS	TS83012	CHICAGO FAUCETS	897-CCP	2.5 GPM	
P6a	DRINKING FOUNTAIN (BARRIER FREE)		LVRCD5			8 GPH	
P8	SHOWER			XXXX	XXXX	1.5 GPM	
P9	SUPPLY BOX - REFRIGERATOR		GUY GRAY				
P10	WATER HAMMER ARRESTOR	PRECISION PLUMBING PRODUCTS					

NATURAL GAS SIZING CRITERIA

TOTAL LENGTH = 235 FEET X 1.3 (FOR MISC. FITTINGS) = "TDL"
TOTAL DEVELOPED LENGTH (TDL) = 350 FEET

PIPING SIZED PER CHAPTER 4 OF THE 2015 INTERNATIONAL FUEL GAS CODE

GAS PRESSURE LEAVING REGULATOR = 14" W.C. (2 PSI ENTERING MAIN REGULATOR)

TOTAL DESIGN LOAD = 2056 CFH

NATURAL GAS DEMAND LOAD

SYMBOL	QUANTITY	INPUT BTU/H	ELEVATION	MBH	MBH PER CFH	CFH
DWH-1	1	12000.0	4200	120	0.832	144
RTU-1	1	7200.0	4200	72	0.832	87
RTU-2	1	7200.0	4200	72	0.832	87
RTU-3	1	7200.0	4200	72	0.832	87
RTU-4	1	7200.0	4200	72	0.832	87
RTU-5	1	7200.0	4200	72	0.832	87
RTU-6	1	7200.0	4200	72	0.832	87
RTU-7	1	7200.0	4200	72	0.832	87
RTU-8	1	7200.0	4200	72	0.832	87
RTU-9	1	7200.0	4200	72	0.832	87
RTU-10	1	7200.0	4200	72	0.832	87
RTU-11	1	12500.0	4200	125	0.832	150
RTU-12	1	7200.0	4200	72	0.832	87
RTU-13	1	7200.0	4200	72	0.832	87
RTU-14	1	15000.0	4200	150	0.832	180
RTU-15	1	15000.0	4200	150	0.832	180
RTU-16	1	11500.0	4200	115	0.832	138
RTU-17	1	7200.0	4200	72	0.832	87
RTU-18	1	11500.0	4200	115	0.832	138
TOTAL:		1711000.0		1711		2056

PLUMBING ROUGH-IN SCHEDULE

SYMBOL	FIXTURE	ROUGH-IN SIZE			VENT	TRAP	REMARKS
		CW	HW	WASTE			
P1	WATER CLOSET - FLOOR MTD. - FLUSH VALVE MANUAL	1"	-	4"	2"	INTEGRAL	ELONGATED BOWL, VITREOUS CHINA, 1-1/2" TOP SPUD. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.
P1a	WATER CLOSET (BARRIER FREE) - FLOOR MTD. - FLUSH VALVE MANUAL	1"	-	4"	2"	INTEGRAL	ELONGATED BOWL, VITREOUS CHINA, 1-1/2" TOP SPUD. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.
P1b	WATER CLOSET - WALL MTD. - FLUSH VALVE MANUAL	1"	-	4"	2"	INTEGRAL	ELONGATED BOWL, VITREOUS CHINA, 1-1/2" TOP SPUD. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.
P2	URINAL - WALL MTD. - FLUSH VALVE	3/4"	-	2"	2"	INTEGRAL	WHITE VITREOUS CHINA, 3/4" TOP SPUD. NOTE: REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS.
P3	LAVATORY (BARRIER FREE) - WALL MTD.	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4" X 1-1/2"	THREE HOLE, WHITE VITREOUS CHINA, 21-1/4" X 18-1/8". REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.
P3a	LAVATORY (BARRIER FREE) - WALL MTD.	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4" X 1-1/2"	THREE HOLE, WHITE VITREOUS CHINA, 21-1/4" X 18-1/8". REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.
P4	SINK - SINGLE COMPARTMENT WITH BUBBLER	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4" X 1-1/2"	XXX
P4a	SINK - DOUBLE COMPARTMENT	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4" X 1-1/2"	XXX
P4b	SINK - NURSE - DOUBLE COMPARTMENT	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4" X 1-1/2"	XXX
P5	SERVICE SINK	1/2"	1/2"	3"	1-1/2"	3"	FLOOR MOUNTED, TERRAZZO, 36"x36"x12" DEEP, 3" DRAIN. PROVIDE: 3" CAST IRON P-TRAP.
P6a	DRINKING FOUNTAIN (BARRIER FREE)	1/2"	-	2"	1-1/2"	1-1/4" X 1-1/2"	BL-LEVEL, WALL MOUNTED, BARRIER FREE COOLER, SENSOR OPERATED BOTTLE FILLER, VANDAL RESISTANT, HEAVY-DUTY, GALVANIZED FRAME SHALL SUPPORT 14 GAUGE STAINLESS STEEL EXTERIOR PANELS. 8 GPH CAPACITY AT 90 DEGREE AMBIENT AND 50 DEGREE WATER OUTLET, FLEXI-GUARD STREAM SAVER. NOTE: PROVIDE WITH 3 WIRE GROUNDING TYPE CORD AND PLUG, UL LISTED, 115V/1PH/60HZ.
P8	SHOWER	1/2"	1/2"	2"	1-1/2"	2"	PROVIDE: PAN LINER SHALL BE FURNISHED BY PLUMBING CONTRACTOR. 2" SHOWER DRAIN (SEE DRAIN SCHEDULE), 2" CAST IRON P-TRAP.
P9	SUPPLY BOX - REFRIGERATOR	1/2"	-	-	-	-	SPACE SAVER DESIGNED FOR ICEMAKER HOOK-UP. ROUGH OPENING: 10"Wx6.34"Hx3-1/2"D. VALVE: COMPRESSION ANGLE VALVE 1/2" FIP INLETx1/4" OUTLET
P10	WATER HAMMER ARRESTOR	1/2"	-	-	-	-	IN-LINE, PISTON TYPE, TYPE "1" COPPER BARREL WITH CAP ATTACHED WITH 95-5 SOLDER, LOW LEAD BRASS, EPDM "O" RINGS, 0 TO 200 PSIG MAX. OPERATING PRESSURE, 1" LINE SIZE, 1-11 FIXTURE UNITS

FLOOR DRAIN SPECIFICATIONS

SYMBOL	MANUFACTURER	MODEL	VENT	REMARKS
FD1	JAY R. SMITH	2005	2"	SQUARE TOP, CAST IRON BODY, CLAMPING DEVICE, 6" DIAMETER NICKEL BRONZE STRAINER, DEEP SEAL P-TRAP. SERVICE GENERAL PURPOSE RESTROOMS, LOCKER ROOMS, ETC. SIZE AS INDICATED ON DRAWINGS. PROVIDE SURE SEAL IN-LINE TRAP SEAL, SIZE AND TYPE TO FIT DRAIN.
FS1	ZURN	Z-1900	2"	CAST IRON BODY WITH WHITE ACID RESISTING ENAMEL BODY INTERIOR, SLOTTED 3/4 LOOSE SET GRATE ALUMINUM ANTI-SPASH DOME STRAINER, (DEEP SEAL P-TRAP MFG: ZURN Z1000). DIAMETER OF OUTLET AS SHOWN ON DRAWINGS. PROVIDE WITH SURE SEAL IN-LINE TRAP SEAL, SIZE AND TYPE TO FIT DRAIN.

WATER HEATER SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	LOCATION	SERVICE	SET POINT (DEGREES)	FUEL	EFFICIENCY	STORAGE VOLUME (GAL.)	INPUT (BTU/H)	ELEVATION	OPERATION WEIGHT	HOT WATER RECOVERY		MIXING VALVE	EXPANSION TANK	REMARKS
												RATE (GPH)	Δ T °F			
DWH-1	A.O. SMITH	BTH-120	MECH	DOMESTIC HW	140	NATURAL GAS	97%	60	120,000	4,200	1385	138	100	SEE TMV-1	SEE EXP-1	

THERMOSTATIC MIXING VALVE SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	LOCATION	SERVICE	OUTLET TEMPERATURE	INLET PIPE SIZE	OUTLET PIPE SIZE	RETURN PIPE SIZE	SYSTEM FLOW & PRESSURE DROP	REMARKS
TMV-1	LEONARD	TM-420B-LF-DT-IT-TC	MECH	DOMESTIC HW	120°	2"	2"	3/4"	18 GPM @ 10 PSI	

EXPANSION TANK SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	SERVICE	DESIGN DEG °F	TANK VOLUME (GAL.)	TANK ACCEPTANCE (GAL.)	PSIG	WEIGHT (LBS.)	REMARKS
EXP-1	AMTROL	ST-12C	DOMESTIC HW	140	6.4	1.5	150	17	

PLUMBING PUMP SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	LOCATION	SERVICE	TYPE	CAPACITY			MOTOR (HP)	ELECTRICAL				REMARKS
						GPM	TOTAL FT. HD.	PUMP (RPM)		V	PH	HZ	FLA	
ILP-1	BELL & GOSSETT	PL1306	MECH	BROWN ECC	IN-LINE	5	15	2650	1/12	115	1	60	1.4	3/4" NPT CONNECTION, LEAD FREE

HEATED ENCLOSURE SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	LOCATION	SERVICE	NUMBER OF HEATERS	ELECTRICAL				INTERIOR DIMENSION	PAD SIZE	REMARKS
						V	PH	HZ	WATTS			
HE-1	SAFE-T COVER	600TLU880-AL	ON-SITE	FIRE PROTECTION	1	120	1	60	2000	44x38x48	58x52x6	

BACKFLOW PREVENTER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	LOCATION	SERVICE	TYPE	PIPE SIZE	REMARKS
BFP-1	FEDCO	LF870V	HE-1	FIRE PROTECTION	N PATTERN	6	