



Request for Proposals

RFP # 22-2-1

Interior Remodel/Conference Room
Addition

Deadline to submit proposals:

Tuesday, March 1, 2022

1:00 PM CST

Village of Addison

1 Friendship Plaza

Addison, IL 60101

GENERAL INFORMATION

INTENT

The Village of Addison is seeking proposals for an interior remodel of the administration area, located at the village hall. The remodel will include construction of a new conference area and storage room, within the administration area. The village is looking for a complete turn-key project. The estimated start of the project is March 14, 2022.

SITE LOCATION

The location of the work to be done is in the Village of Addison, Village Hall, Administration Department, 1 Friendship Plaza, Addison, Illinois. The administration department is located on the 2nd floor.

MANDATORY SITE VISIT

A visit to the site where work will be performed is mandatory. RFP's submitted without a site visit will not be considered.

To schedule a site visit please contact Jim Crotty, Director of Building and Grounds, jcrotty@addison-il.org.

PREVAILING WAGE

This project falls under the Illinois Prevailing Wage Act. To find information about Prevailing wage and the most current rates for Dupage County, Illinois, please visit the site below.

<https://www2.illinois.gov/idol/Laws-Rules/CONMED/Pages/prevailing-wage-rates.aspx>

SUBMITTALS

The following format shall be utilized in the assembly of the proposal document.

- 1) Cover Letter
- 2) Statement of Project Understanding
 - A Statement of Project Understanding should include a brief statement of the firm's understanding of the scope of the work to be performed.
- 3) Statement of Qualifications
 - Submit a statement of qualifications that addresses as many of the tasks listed in the Scope of Work above as deemed feasible by the responding firm within the proposed timeframe. Qualifications statements should include all of the information that prospective firms wish to convey to convince the Village that the

selection criteria have been met and that the firm is well qualified to complete the work.

- Clearly describe the approach, methodologies, knowledge and capability to be employed in the performance of the Scope of Work.
- Identify staff members who would be assigned to act for the firm in key management and field positions providing the services described in Scope of Work and the functions to be performed by each.
- Include background and experience for each staff member provided to include years of experience, type of experience and relevant projects on which they have worked. If sub-consultants will be used, include this information for each sub-consultant.

4) Descriptions of Projects of Similar Size and Scope

- The firm's general experience, ability, and history of performance of projects similar to the one under consideration.

5) Project Schedule

- A general project schedule and estimated completion date with the understanding that the Village is looking to have all activities and deliverables completed within four (4) weeks from the issuance of permits and/or the execution of the contract.

6) Fee Schedule

- A fee schedule of services and expected final contract fees based on the firm's understanding of the project scope.

DUE DILIGENCE PRIOR TO SUBMISSION OF PROPOSAL

The bidder shall have examined the RFP documents, and fulfilled the mandatory site visit requirement prior to submission to the Village of Addison. Bidders shall become fully informed as to all existing conditions, limitations, obstacles or other relevant matters and appurtenances concerning the location of the work to be performed.

SUBMITTAL DEADLINE

Completed RFP's must be received on or before 1:00 PM CST, Tuesday, March 1, 2022. A digital and paper copy are required.

You may submit your RFP in person or by carrier (Fed Ex, UPS, USPS) to the Village of Addison, Attention Purchasing Department, 1 Friendship Plaza, Addison, IL 60101. Please clearly mark your envelope "RFP 22-2-1". Digital copies may be sent via email to Anna Hendrey, Purchasing Agent, ahendrey@addison-il.org, or enclosed with the paper copy utilizing a USB stick.

Contact Information

Technical questions concerning the RFP may be directed to:

Jim Crotty, Director of Building Maintenance: 630-693-7555 <mailto:jcrotty@addison-il.org>

Questions concerning the RFP documents and submittal may be directed to:

Anna Hendrey, Purchasing Agent 630-693-7507 ahendrey@addison-il.org

SELECTION PROCESS

The Village of Addison seeks to select a proposal submission for the Interior Remodel/Conference Room Addition based upon the following criteria:

- Responsiveness of the proposal to the scope of work, as demonstrated by providing thorough responses to the scope and project requirements.
- Past dealings with the Village of Addison and familiarity with the project areas.
- Demonstrated experience of the firm in remodeling and construction.
- The contractor(s) experience and approach to completing the project in a timely manner.
- The quality and relevance of project references for projects of similar scope.

The Village reserves the right to conduct pre-award discussions and/or pre-contract negotiations with any, or all responsive and responsible vendors who submit proposals determined to be reasonably acceptable. Vendors shall be accorded fair and equal treatment with respect to any opportunity for discussion and revision of proposals, and such revisions may be permitted after submission of proposals and prior to award of a contract.

The Village may conduct negotiations with the top Vendor(s) if required to determine the acceptability of the proposal in regards to specifications, terms and conditions and cost; therefore, the proposal(s) submitted should contain the vendor's most favorable terms and conditions as well as cost with detailed specifications as proposed, since the selection and award may be made without discussion.

If the Village finds that all of the proposals submitted fail to meet the needs and requirements, the Village is not obligated to enter into an agreement to purchase.

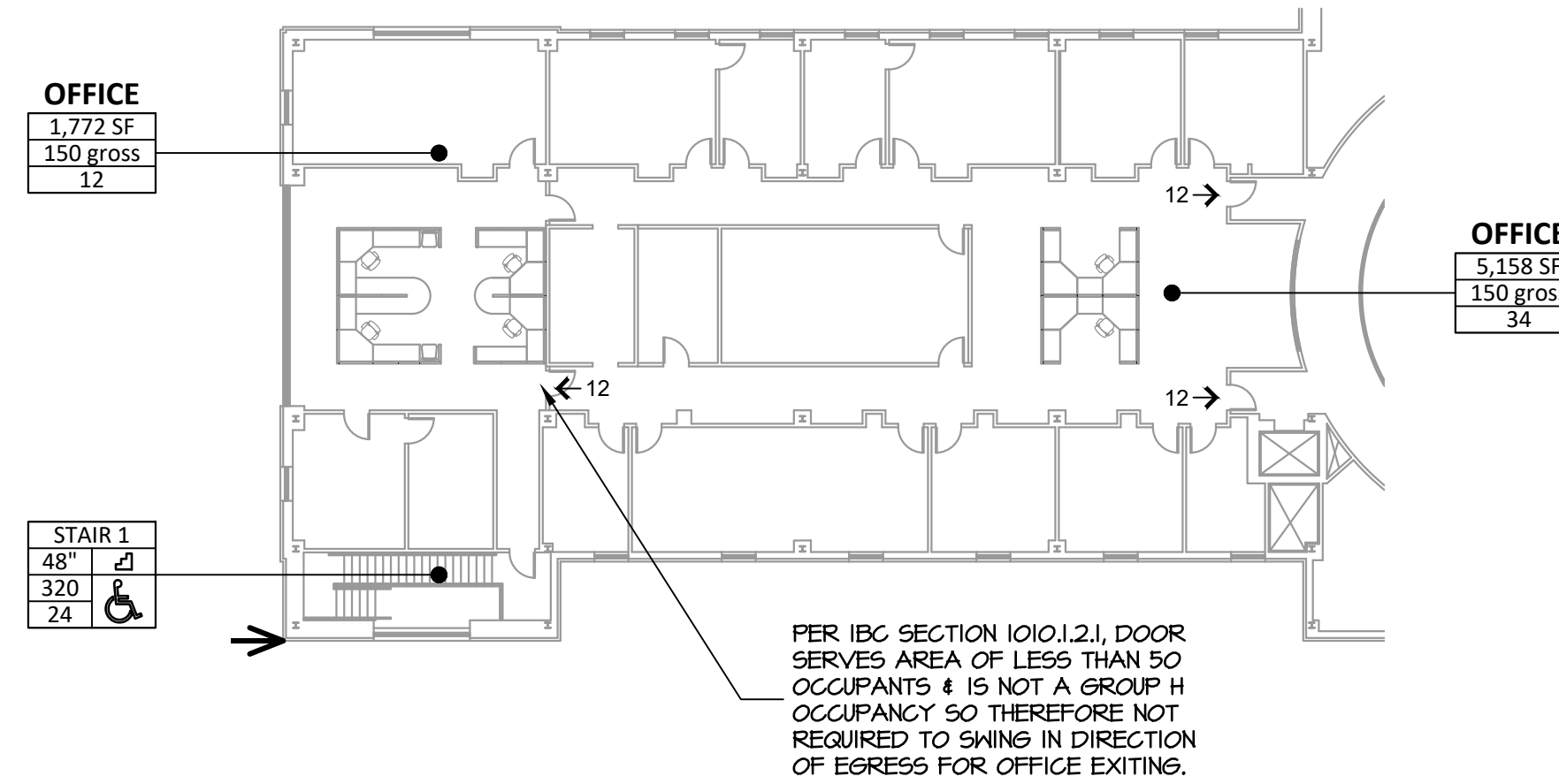
VILLAGE OF ADDISON - INTERIOR REMODEL

1 FRIENDSHIP PLAZA, ADDISON, IL 60131

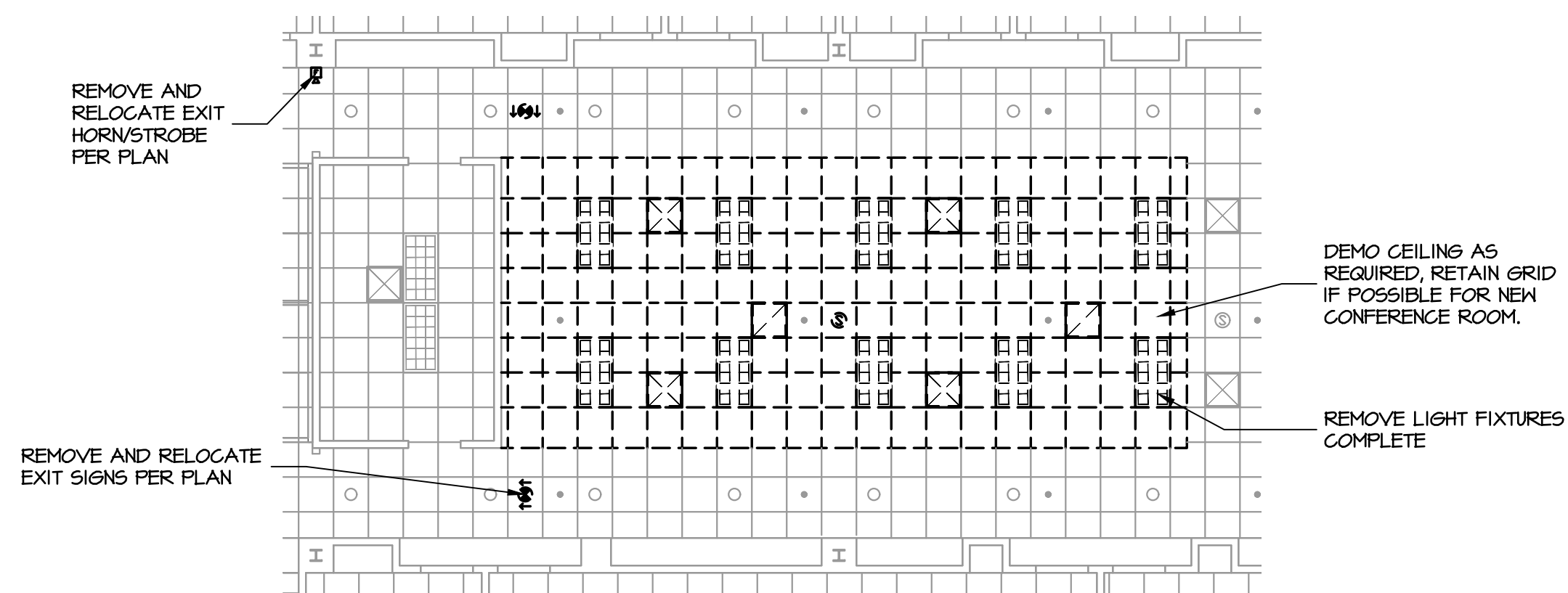
CONTACTS

BUILDING OWNER COMPANY
100 Main St.
City, IL, 60000
CONTACT: John Smith
(847) 543-5010

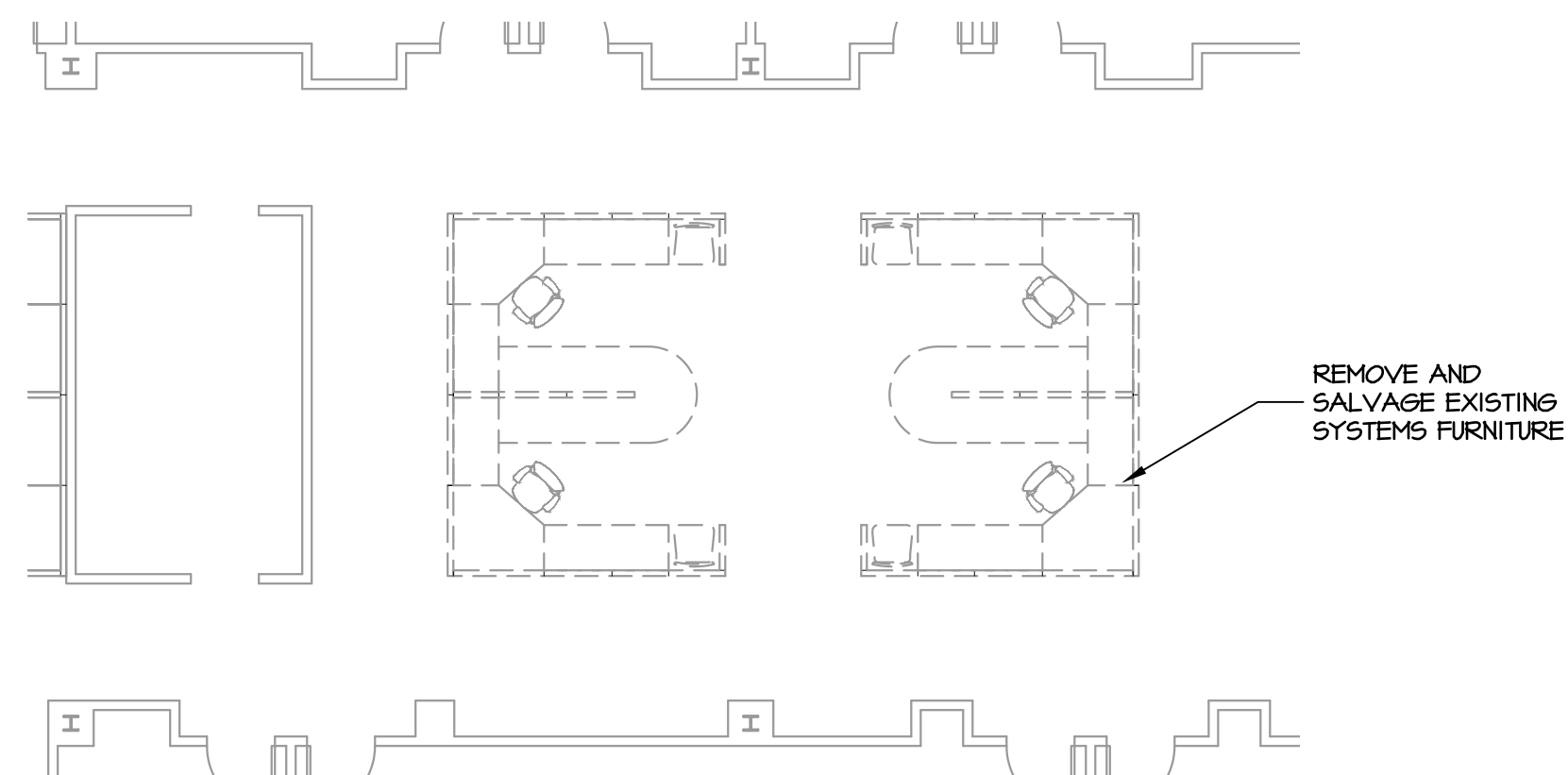
BUILDING OWNER
NOT LET



LIFESAFETY/ACCESS. PLAN
SCALE: 1" = 20'-0"
1
AO.01



DEMO - REF CLG PLAN
SCALE: 1/8" = 1'-0"
2
AO.01



DEMO - FLOOR PLAN
SCALE: 1/8" = 1'-0"
3
AO.01

INDEX

		SIGN / SEAL	
		DHI	OTHERS
AO.01	GENERAL INFORMATION, CODE, LIFESAFETY, DEMO PLANS	X	
A1.01	FLOOR PLAN, CEILING PLAN, FINISHES, NOTES	X	
A1.02	PARTITION, DOOR SCHEDULE, DETAILS, NOTES	X	

REVISIONS

NO	DESCRIPTION	REVISED DRAWINGS	DATE

SCOPE OF WORK

NEW CONFERENCE ROOM IN EXISTING GENERAL OFFICE SPACE.

APPLICABLE CODES

BUILDING: 2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
MECHANICAL: 2018 INTERNATIONAL MECHANICAL CODE
ENERGY: 2018 INTERNATIONAL ENERGY CONSERVATION CODE
PLUMBING: 2014 ILLINOIS PLUMBING CODE
ELECTRICAL: 2017 NATIONAL ELECTRIC CODE (N.E.C.), NFPA TO
FUEL & GAS: 2018 INTERNATIONAL FUEL & GAS CODE
FIRE PREVENTION: 2018 INTERNATIONAL FIRE CODE
PROPERTY: 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
ACCESSIBILITY: 2018 ILLINOIS ACCESSIBILITY CODE
ZONING: LOCAL CODE
AMENDMENTS: YES

BUILDING CONSTRUCTION TYPE, USE GROUP, SPRINKLER (Y/N/A)

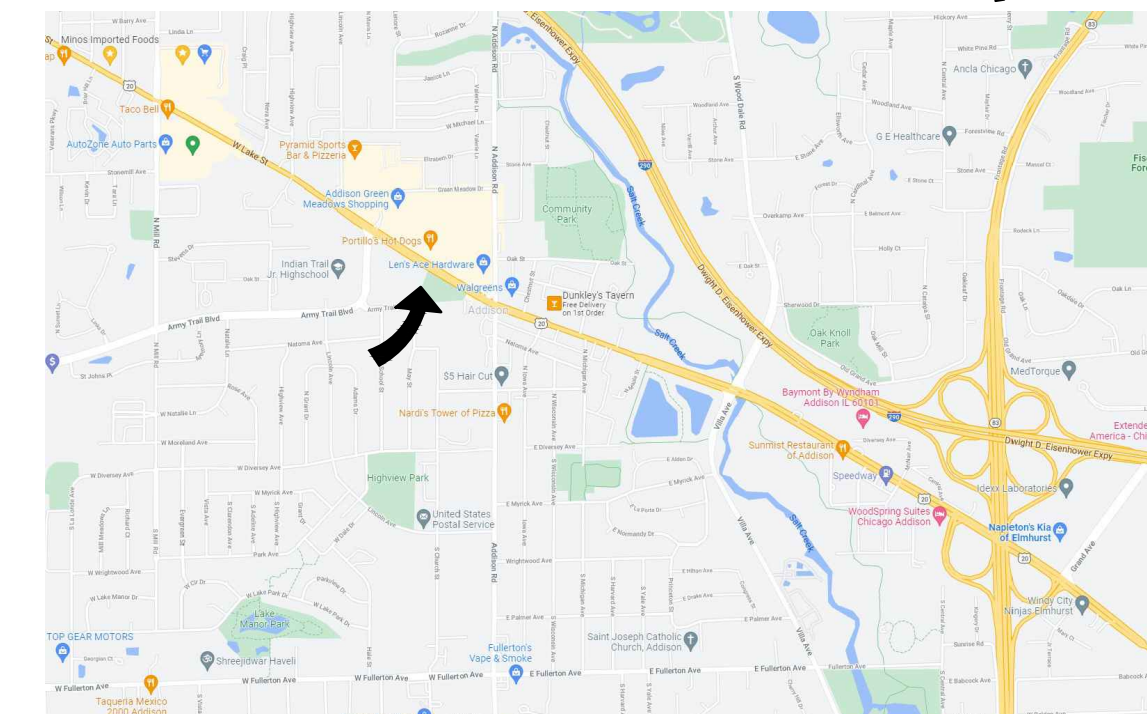
CONSTRUCTION TYPE	SPRINKLERED	OCCUPANCY	
		EXISTING	PROPOSED
2B	YES	B	B

FIRE RATINGS (IN HOURS)

2B	TABLE 601				TABLE 602			TABLE 708-4	TABLE 1020.1	SECTION 1023-2
	PRIMARY STRUCTURAL FRAME	EXTERIOR BEARING WALLS	EXTERIOR NONBEARING WALLS	INTERIOR PARTITIONS	FLOOR CONSTRUCTION	ROOF CONSTRUCTION	EXTERIOR NONBEARING WALLS	EXTERIOR BEARING WALLS	VERT. EXIT ENCL.	VERT. EXIT ENCL.
0	0	0	0	0	0	0	2	1	0	2

LOCATION MAP

MAP DATA IS USED UNDER FAIR USE AND IS COPYRIGHT 2022 BY Google.



CERTIFICATIONS

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MICHAEL H. HARTEL, AIA, ALA, LEED AP EXP. 11.30.22 ILLINOIS LICENSE NO. 001-014642
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860 Livestly Boulevard Elk Grove Village, Illinois 60007
P: 847.593.5010 F: 847.593.5012 www.designhaus.com



INTERIOR REMODEL
VILLAGE OF ADDISON
1 FRIENDSHIP PLAZA
ADDISON, IL 60131

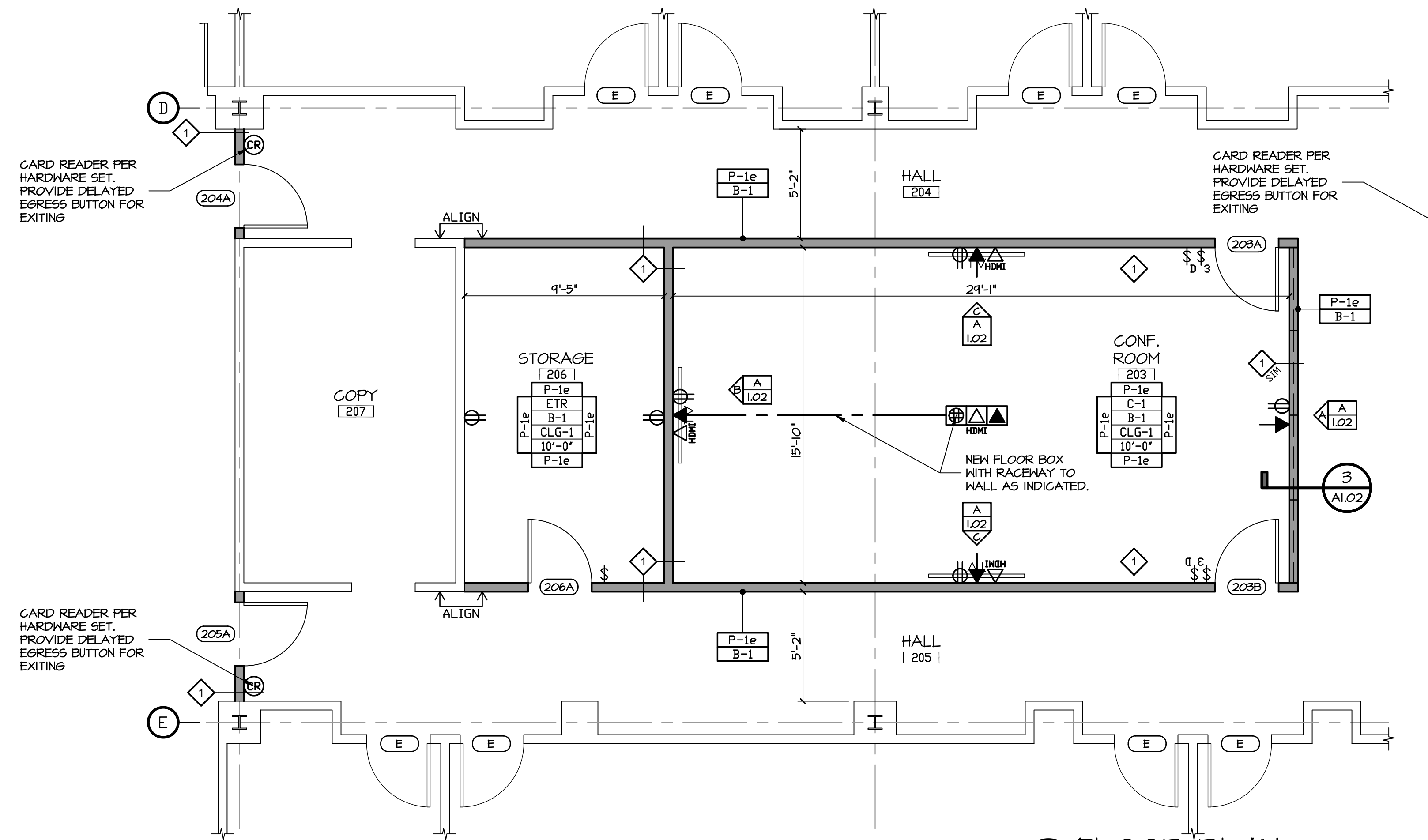
PROJECT NO: 21.194
SHEET NO:

A0.01

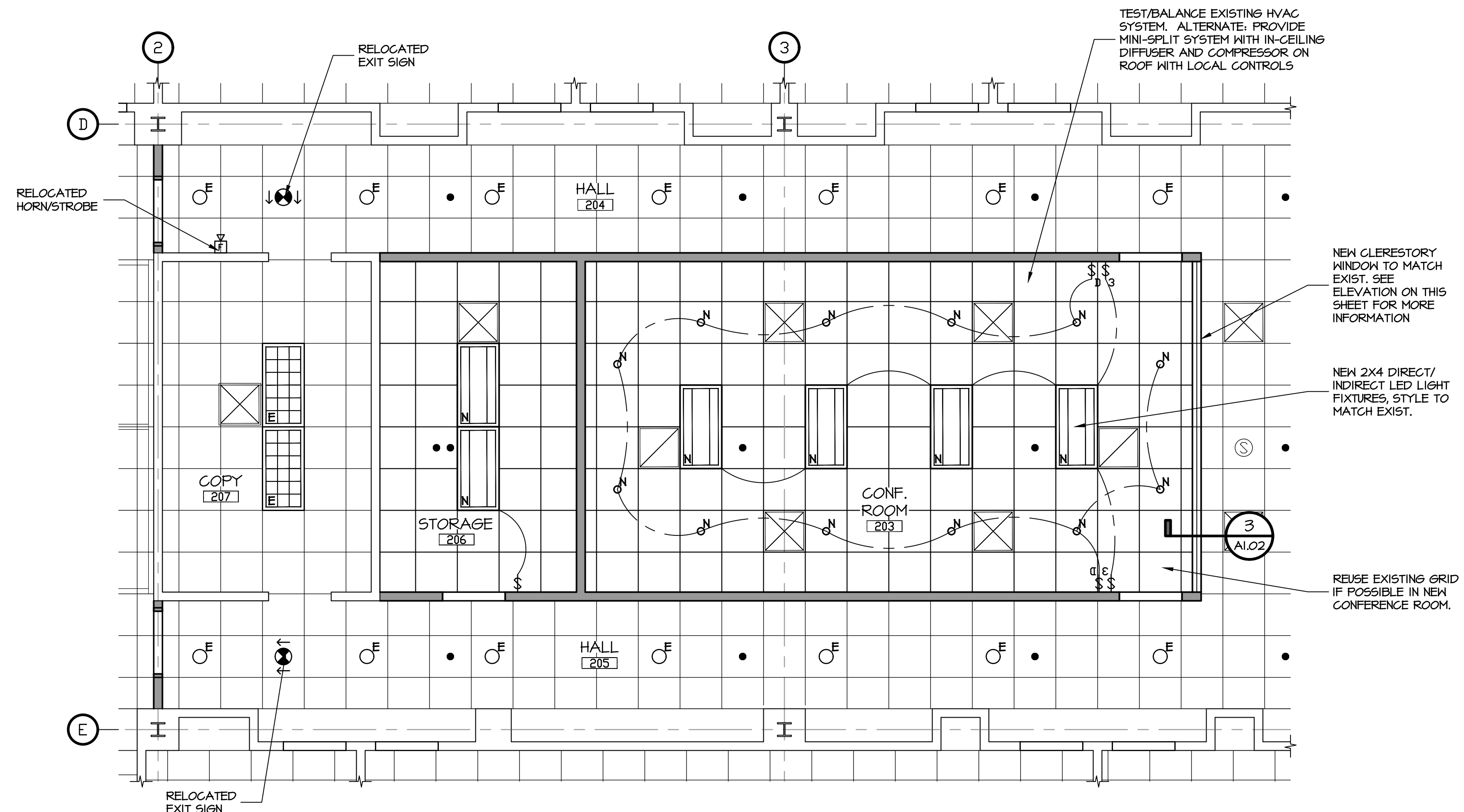
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SHEET TITLE: COVER SHEET, CODE, LIFESAFETY, DEMO PLANS
DRAWN BY: JR
CHECKED BY: DHI

03/20/2022 10:18 AM

WHEN SHEET IS PRINTED CORRECTLY, THE ABOVE SCALE IS IN 1" INCREMENTS



FLOOR PLAN
SCALE: 1/4" = 1'-0"
1
A1.01



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"
2
A1.01

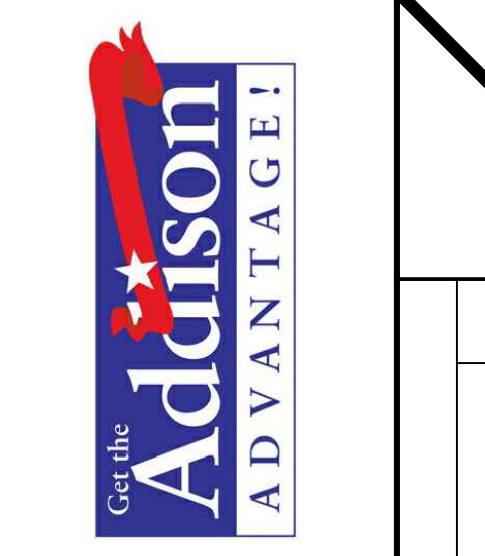
- GENERAL NOTES**
- SHEET AO.02 FOR GENERAL NOTES, LEVELS OF GNB FINISH, LEGENDS, AND ACCESSIBILITY ELEVATIONS.
 - PREP ALL FLOORS FREE OF PROJECTIONS/DEPRESSIONS PRIOR TO INSTALLING FINAL FLOOR FINISH.
 - PROVIDE LATERAL BRACINGS ABOVE CEILING AT ALL NEW WALL @ TOP OF PARTITIONS AS NECESSARY, V.I.F. LOCATIONS.
 - WHERE WALL INFILL IS GRAPHICALLY INDICATED ON PLAN, NEW CONSTRUCTION SHALL MATCH ADJACENT MATERIALS AND FINISH.
 - PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN IN AREA OF WORK AS NECESSARY DUE TO DEMOLITION AND NEW WORK, V.I.F.
- REF. CLG PLAN NOTES:**
- SHEET AO.02 FOR GENERAL NOTES, TAPING CHART, LEGENDS, AND ACCESSIBILITY ELEVATIONS.
 - EXISTING LAY-IN CEILING TO REMAIN (U.N.O.), REPLACE ANY STAINED OR DAMAGED CEILING TILES AS NECESSARY.
 - REFER TO ROOM FINISH PLAN FOR LOCATIONS OF EXISTING OR NEW CEILINGS, CEILING HEIGHTS & SPECIFICATIONS, TYPICAL LAY-IN CEILING GRIDS ARE TO BE SUSPENDED FROM ROOF DECK, U.N.O.
 - INSTALL HOLD DOWN CLIPS @ LAY-IN CEILINGS AT ROOMS WITH DOORS TO EXTERIOR OF BUILDING AND FIRE RATED CEILING ASSEMBLIES.
 - REFER TO MEP PLANS FOR ADDITIONAL INFORMATION INCLUDING BUT NOT LIMITED TO HVAC DIFFUSERS, LIGHT SWITCHES, LIGHTING SPECIFICATIONS, EXIT & EMERGENCY LIGHTS, ETC. NOTE: NO PERFORATED DIFFUSERS WILL BE APPROVED, ALL DIFFUSERS TO BE LOUVER TYPE OR OMNI FLUSH PLATE TYPE.
 - SERVICE ALL EXISTING MEP DEVICES TO REMAIN AS NECESSARY. REMOVE ANY OBSOLETE MEP DEVICES. CAP AND ABANDON PER CODE.
 - BALANCE EXISTING HVAC DISTRIBUTION IN AREA OF WORK TO CODE, ENSURE AREAS OUTSIDE AREA OF WORK ARE NOT ADVERSELY AFFECTED BY RE-BALANCING.
 - G.C. TO PROVIDE FIRE ALARM AND FIRE SUPPRESSION SYSTEM PLANS AND SPECIFICATIONS. ALL NEW SPRINKLER HEADS IN FINISHED SPACES TO BE VIKING MIRAGE OR EQUAL RECESSED TYPE. INSTALL/RELOCATE SPRINKLER HEADS TO CENTER OF LAY-IN TILES, REFER TO REFLECTED CEILING PLAN. NOTE: IF TILES ARE 2 X 4 SCORED TO LOOK LIKE 2 X 2, THEN SPRINKLER HEAD IS TO BE CENTERED IN THE 2 X 2 SECTION, REFER TO LAY-IN CEILING SPEC ON ROOM FINISH SCHEDULE.
 - EXISTING GENERAL PURPOSE LIGHTS, EXIT AND EMERGENCY LIGHTS THAT ARE TO REMAIN ARE TO BE RELAMPED, RELEASED & REPAIRED TO OPERATIONAL AS NECESSARY. REMOVE AND REPLACE ANY CODE DEFICIENT EXIT AND EMERGENCY LIGHTING IN AREA OF WORK.
 - NEW LIGHTS SHALL BE SUSPENDED / INSTALLED PER CODE.
 - INSTALL EXIT AND EMERGENCY LIGHTING AS REQUIRED PER LOCAL CODE IN ALL AREAS OF WORK. ADDITIONAL EXIT AND EMERGENCY LIGHTING MAY BE REQUIRED DUE TO OCCUPANTS FURNITURE, FIXTURES AND EQUIPMENT LAYOUT. OCCUPANT TO PROVIDE FFIE PLANS FOR LAYOUT OF ADDITIONAL EXIT AND EMERGENCY LIGHTING DURING THE COURSE OF BIDDING. IF NO PLANS ARE PROVIDED, ADDITIONAL EXIT AND EMERGENCY LIGHTING REQUIRED DUE TO FFIE LAYOUT WILL BE AN ADDITIONAL COST TO THE CONTRACT.

- FINISH SPECIFICATIONS:**
- FLOOR:**
C-1: FIELD CARPET, MFG BY GC, COLOR BY TENANT
- WALL:**
B-1: WOOD BASE, MATCH EXISTING
- PAINT:** BASE BID SHALL BE LIGHT TO MEDIUM TONES. DARK TONES WILL BE AT AN ADDITIONAL COST. TENANT TO CHOOSE FROM STANDARD COLORS
P-1-(SUFFIX)*: PAINT: LIGHT TONE
P-2-(SUFFIX)*: PAINT: MEDIUM TONE
*(SUFFIX): f: FLAT; e: EGGSHELL FINISH; s: SATIN; sg: SEMI-GLOSS FINISH
g: GLOSS FINISH; m: MASONRY PAINT, MATCH FINISH OF OTHER WALLS
- CEILING:**
CLG-1: 2x2 LAY-IN CEILING, MATCH EXISTING

- ROOM FINISH PLAN NOTES:**
- THE FINISH PLAN INDICATES SURFACE FINISHES ONLY. REFER TO PARTITION DETAILS AND REFLECTED CEILING PLAN FOR UNDERLYING SUBSTRATE MATERIALS.
 - SEE LEVEL OF G.N.B. FINISH CHART ON SHEET AO.02 FOR TAPING REQUIREMENTS BASED ON WALL/CEILING FINISH.
 - ONLY GENERIC FINISHES ARE SPECIFIED, U.N.O. ON FINISH SPECIFICATIONS.
 - ALL BARE MATERIAL TO BE PRIMED PRIOR TO FINISH MATERIAL BEING APPLIED.
 - PREP ALL SURFACES AND INSTALL FINISHES PER INDUSTRY STANDARDS.
 - ONLY APPLY FINAL FINISHES AS CONDITIONS PERMIT.
 - NEW GNB TO BE PRIMED ONE COAT, FINISH PAINT TWO COATS. DEEP TONES SHALL REQUIRE (3) FINISH COATS OF PAINT.
 - PAINT SHALL BE SELECTED FROM SHERWIN WILLIAMS STANDARD COLORS. PROVIDE PAINT AND STAIN SAMPLES TO ARCHITECT, LANDLORD & TENANT.
 - METAL DOORS AND FRAMES TO BE FIELD PRIMED, IF NOT SHOP PRIMED, AND PAINTED TWO FINISH COATS, GLOSS ENAMEL AND SHALL MATCH ADJACENT WALL FINISH, U.N.O.
 - WOOD TRIM AND FRAMES TO HAVE NAIL HOLES PLUGGED. FINISH TO BE ONE COAT STAIN, TWO COATS VARNISH. VERIFY GLOSS WITH TENANT.
 - PROVIDE PAINT AND STAIN SAMPLES TO ARCHITECT, LANDLORD & TENANT. DO NOT PROCEED WITH PAINTING AND STAINING UNTIL RECEIVING APPROVAL FROM ARCHITECT, LANDLORD & TENANT.
 - REFER TO COVER SHEET FOR INTERIOR FLOOR, WALL AND CEILING FINISH CLASSIFICATIONS.
 - ALL FINISHES TO BE COMPLIANT WITH FLAME SPREAD RATINGS AND SMOKE PRODUCTION PER GOVERNING CODES.
 - ALL FINISHES TO BE COMPLIANT WITH GOVERNING ACCESSIBILITY CODES.
 - ALL FINISH MATERIAL TO BE SELECTED FROM MANUFACTURER'S STANDARD PRODUCTS.
 - SEAL ALL TILE PRODUCTS PER MANUFACTURER'S SPECIFICATIONS (MINIMUM TWO COATS OF WAX INSTALLED ON VCT) PROVIDE MAINTENANCE INSTRUCTIONS TO TENANT AND OWNER.
 - AT ALL FLOOR FINISH CHANGES INSTALL APPROPRIATE TRANSITION STRIP.

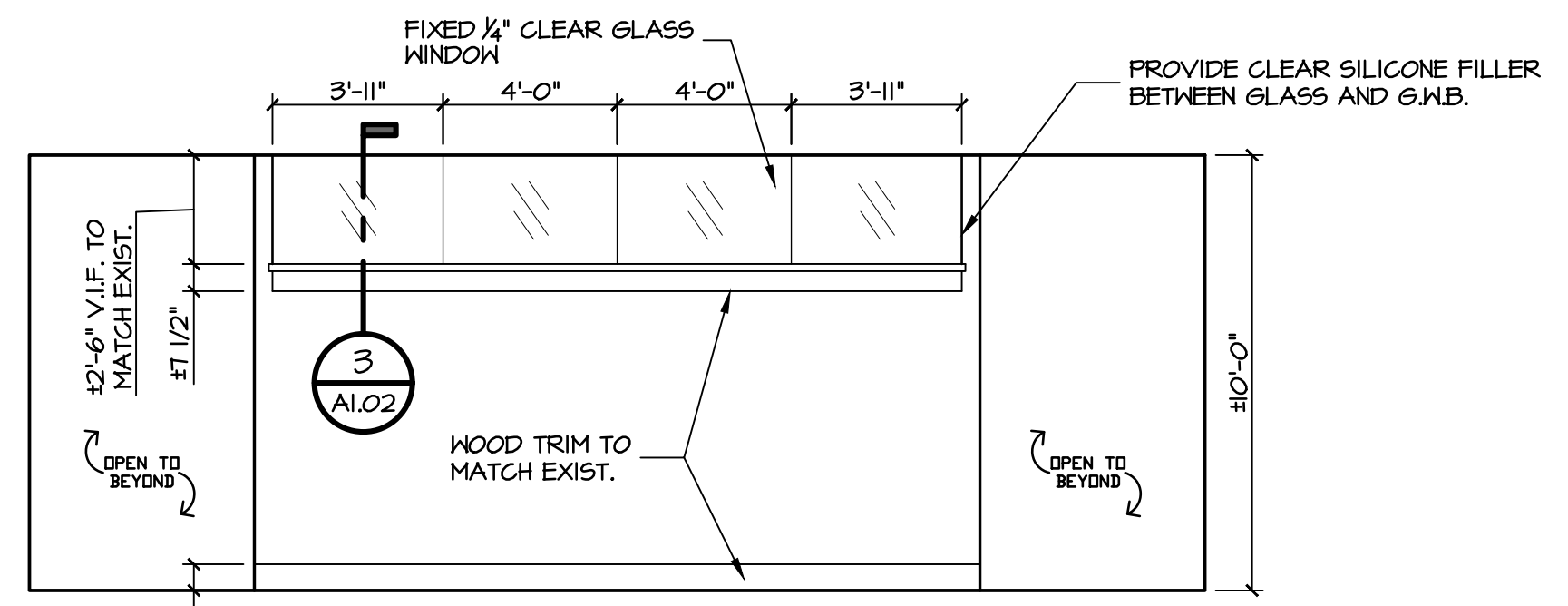
LEGEND:

P-1	HALL FINISH - TYPICAL FOR EACH HALL	PL-1	LEADER WITH ARROW INDICATES FACE
F-1	FLOOR TYPE	PL-1	LEADER WITH DOT INDICATES SURFACE
B-1	BASE TYPE		
CLG-1	CEILING TYPE		
9'-0"	CEILING HEIGHT		
P-1,2	REMARKS		

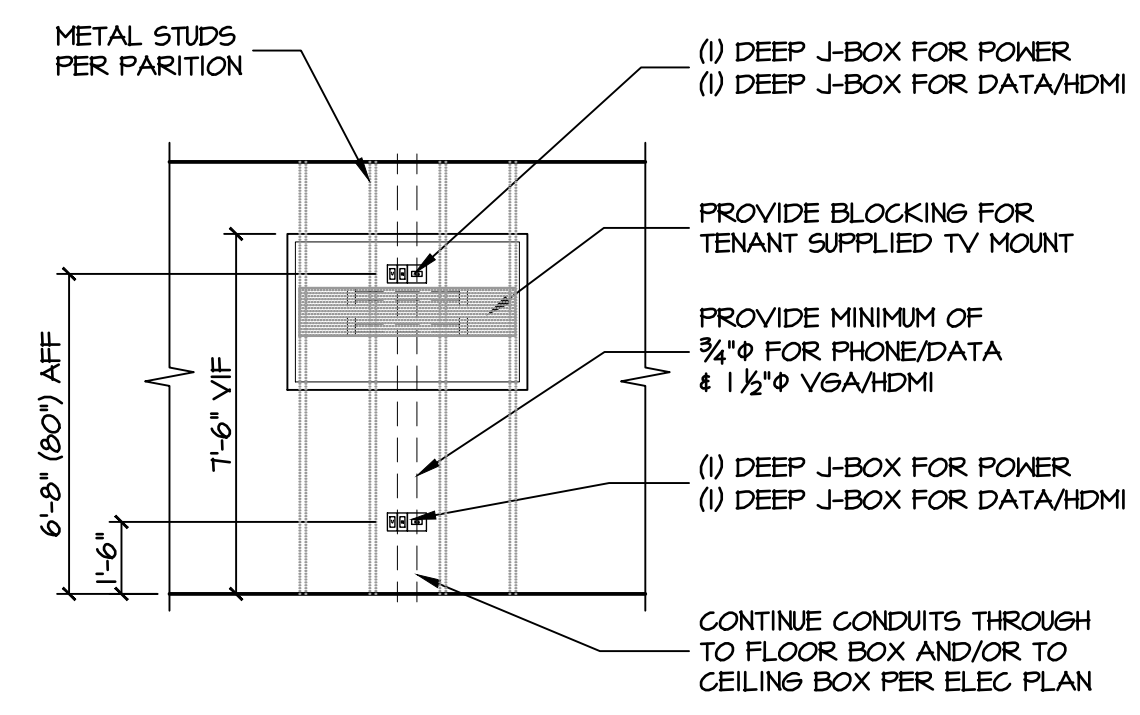


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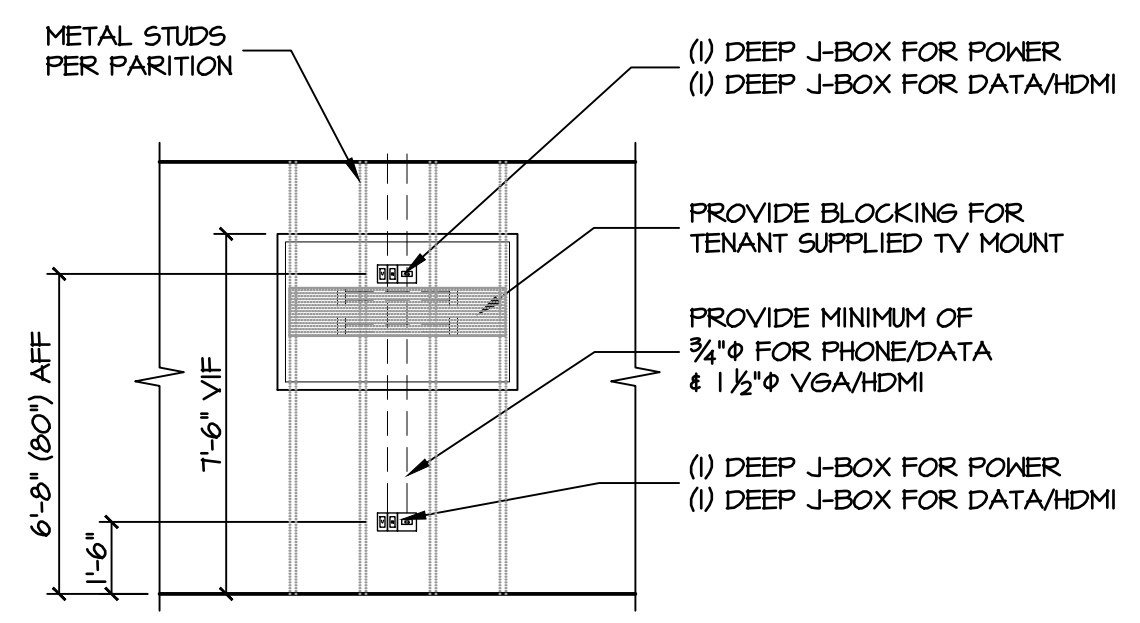
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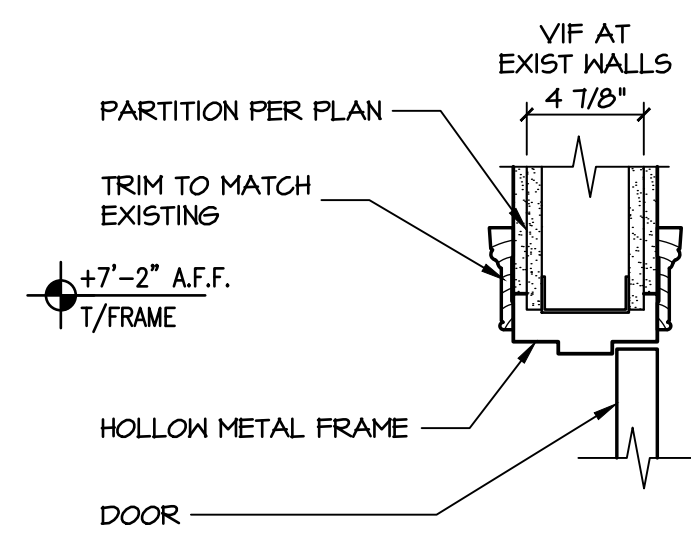
ELEVATION
SCALE: 1/4" = 1'-0"



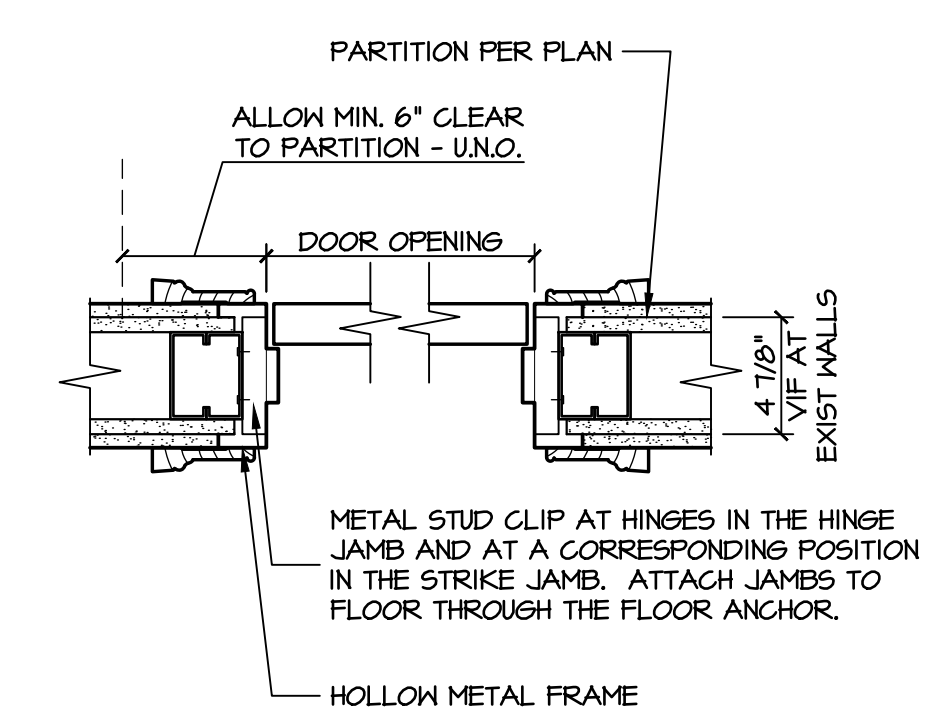
BLOCKING DETAIL
SCALE: 1/4" = 1'-0"



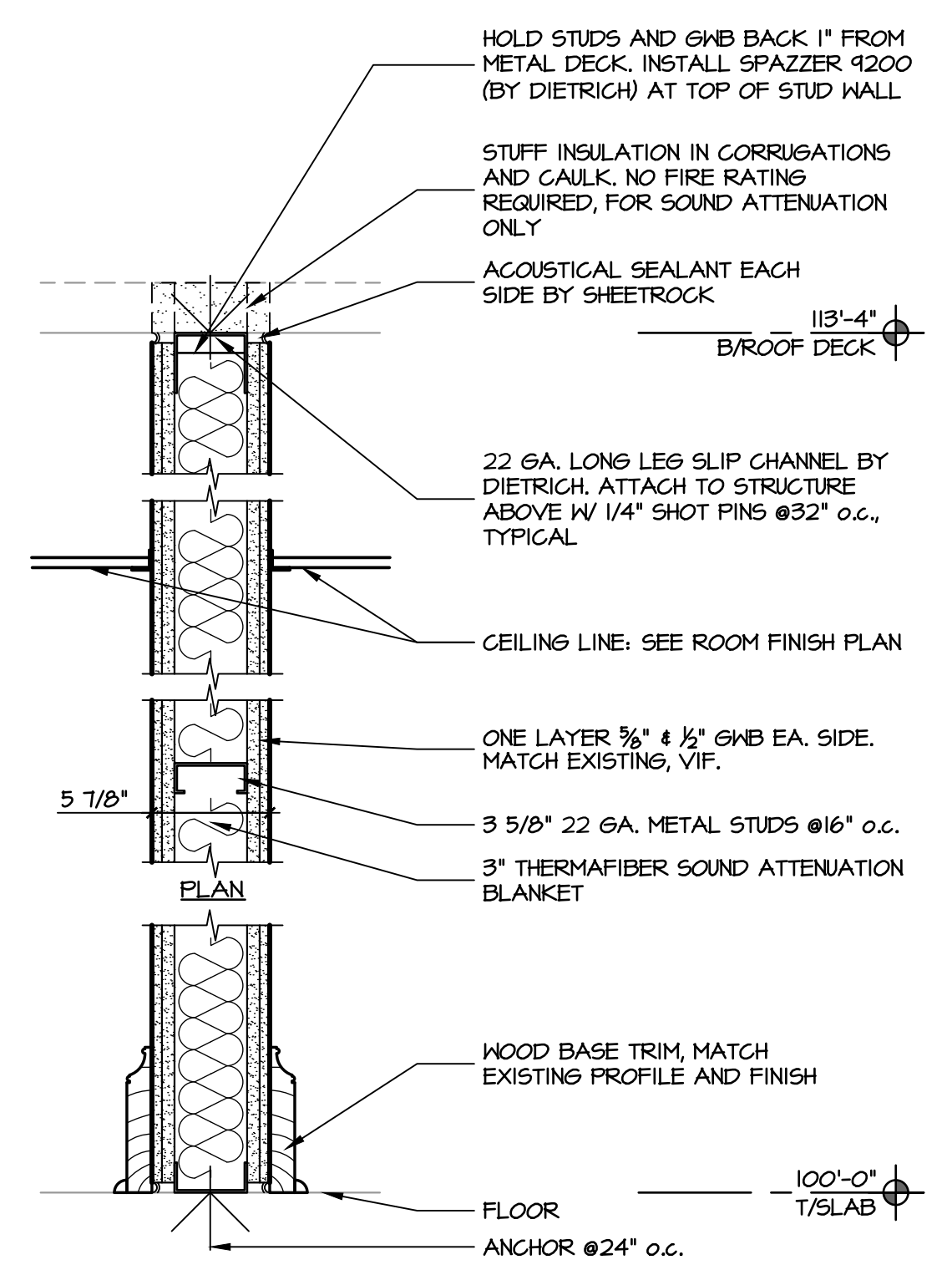
BLOCKING DETAIL
SCALE: 1/4" = 1'-0"



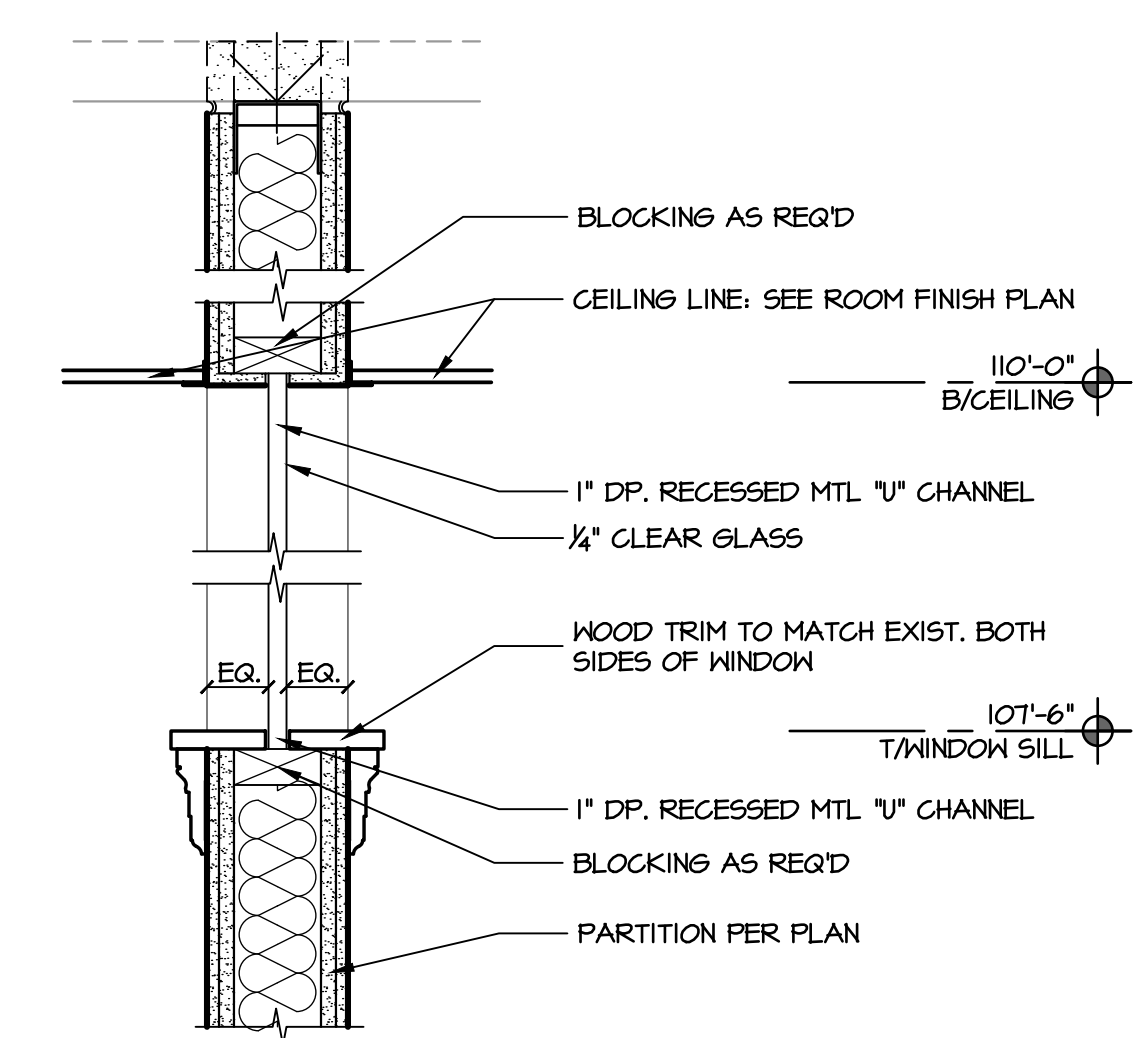
DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



PARTITION
SCALE: 1 1/2" = 1'-0"



SECTION
SCALE: 1 1/2" = 1'-0"

DOOR SCHEDULE

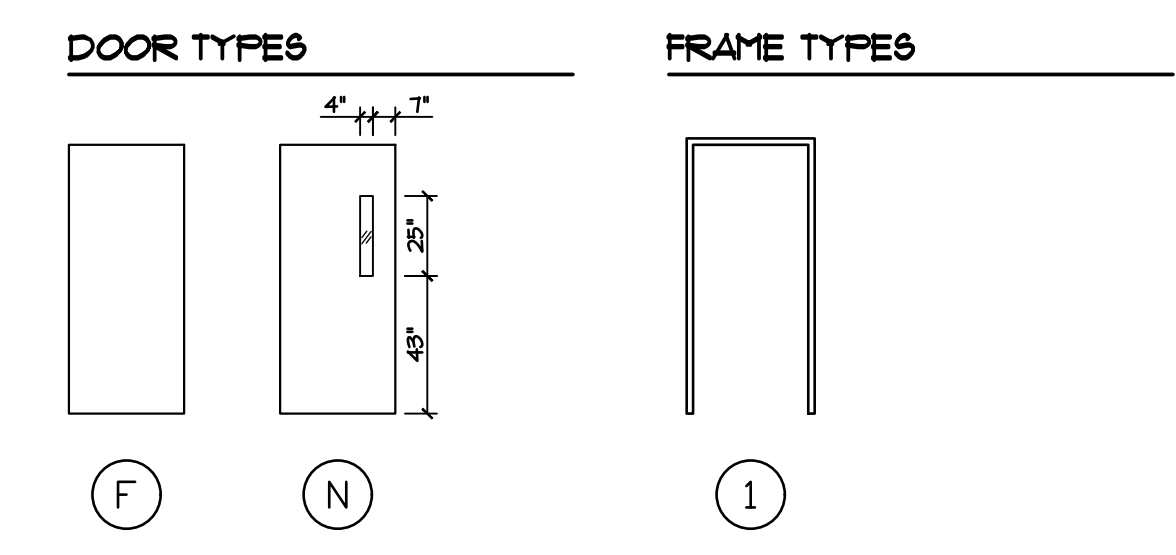
MARK	DOOR						FRAME						SIDELIGHT WIDTH	UL LABEL	HDW SET	REMARKS
	WIDTH	HEIGHT	THK.	TYPE	MAT.	FINISH	HEAD	JAMB	SILL	TYPE	MAT.	FINISH				
203A	3'-0"	7'-0"	1 3/4"	F	SCW	ST/VAR	1	2	-	I	HM	PAINT	-	-	O1	TRIM TO MATCH EXIST.
203B	3'-0"	7'-0"	1 3/4"	F	SCW	ST/VAR	1	2	-	I	HM	PAINT	-	-	O1	TRIM TO MATCH EXIST.
204A	3'-0"	7'-0"	1 3/4"	N	SCW	ST/VAR	1	2	-	I	HM	PAINT	-	-	O3	TRIM TO MATCH EXIST.
205A	3'-0"	7'-0"	1 3/4"	N	SCW	ST/VAR	1	2	-	I	HM	PAINT	-	-	O3	TRIM TO MATCH EXIST.
206A	3'-0"	7'-0"	1 3/4"	F	SCW	ST/VAR	1	2	-	I	HM	PAINT	-	-	O2	TRIM TO MATCH EXIST.
E																

DOOR HARDWARE SETS

HARDWARE SET O1:
 - 3 BB HINGES
 - LEVER LOCKSET (GLASSROOM FUNCTION)
 - CLOSER W/HOLD OPEN

HARDWARE SET O2:
 - 3 BB HINGES
 - LEVER LOCKSET W/KNURLED HANDLE (STOREROOM FUNCTION)
 - CLOSER W/HOLD OPEN

HARDWARE SET O3:
 - 3 BB HINGES
 - LEVER LOCKSET (STOREROOM FUNCTION)
 - ELECTRIC STRIKE (FIRE SAFE) coordinate voltage with tenant's card access company or field switchable 12/24VDC
 - DELAYED EGRESS BUTTON
 - CLOSER



DOORS

MATERIAL	TYPE	FINISH	COLOR
WOOD	MATCH EXIST.	ONE COAT STAIN, TWO COATS FINISHING VARNISH. V.F.Y GLOSS WITH OWNER. SHOP FINISHING IS PREFERRED, FIELD IS ACCEPTABLE.	MATCH EXIST.
WOOD	SMOOTH FACED BIRCH	SHOP PRIMED & FIELD PAINTED WITH (2) FINISH COATS, GLOSS ENAMEL, BRUSHED, NOT ROLLED	PAINT TO MATCH ADJACENT WALL COLOR
HOLLOW METAL	GALVANIZED AND INSULATED		

GC TO COORDINATE RE-KEYING ALL DOORS WITH NEW TENANT

ENERGY CODE COMPLIANCE:	CLIMATE ZONE (TABLE C301.1):	5A COOK, DUPAGE, KANE, KENDALL, LAKE, MCHENRY & WILL COUNTY
OPAQUE DOORS, SWINGING (2018 IECC TABLE C402.1.4)	U-0.37	
GLAZED DOORS, SWINGING (2018 IECC TABLE C402.4)	U-0.71	

FRAMES

2" HEAD AT GWB OPENINGS & 4" HEAD AT MASONRY OPENINGS, UNO.

TYPE	THICKNESS	WELDED/ KNOCK-DOWN	INSULATED	GALVANIZED
EXTERIOR	14 ga	WELDED	YES	YES
INTERIOR	16 ga	WELDED	NO	NO

HARDWARE

GC TO COORDINATE RE-KEYING ALL DOORS WITH NEW TENANT

STYLE	FINISH	TYPE	
		EXTERIOR	INTERIOR
BEST	MATCH EXIST.	MORTISED	MORTISED

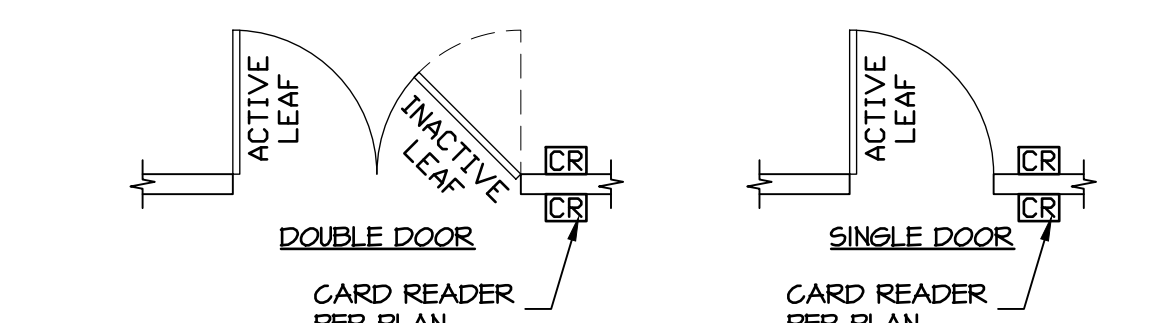
GLAZING (UNLESS OTHERWISE NOTED)

EXTERIOR	INTERIOR
TEMPERED 1" INSULATED GLASS, U-FACTOR: 0.77	3/8" TEMPERED SINGLE PANE GLASS

HARDWARE MFG.'S

ITEM	SCHEDULED MANUFACTURER	ACCEPTABLE MANUFACTURER
HINGES	Ives (IVE)	McKinney, Stanley
PIVOTS	Rixson (RIX)	Ives
PASSAGE AND LATCHSETS	Adams Rite (ADA)	Corbin-Russwin
LOCKSETS, DEADLOCKS, CYLINDERS & KEYING	Schlage (SCH)	Corbin-Russwin
PUSH/PULL BAR, SURFACE BOLT	Ives (IVE)	Markar, Stanley
EXIT DEVICES & MULLIONS	Von Duprin (VON)	Precision
DOOR CLOSERS	LCN (LCN)	Sargent
DOOR TRIM, SILENCERS, FLUSH BOLTS & COORDINATORS	Ives (IVE)	Hawatha, Trimco
WEATHERSTRIPPING, SWEEPS, THRESHOLD & RAIN DRIP	Zero International (ZER)	National Guard (NGP)
OVERHEAD STOPS & HOLDERS	Glynn-Johnson (GLY)	Rixson, Sargent
DOOR POSITION SWITCHES	Schlage Elec. (SCH)	GE, Sargent
LATCH PROTECTOR	Ives (IVE)	Burns, Rockwood
KEY CABINETS	Telke (TEL)	HFC, Lund
ELECTRO-MECHANICAL AUTOMATIC OPERATORS	LCN (LCN)	Besam, Horton
ELECTRIC POWER TRANSFER	Von Duprin (VON)	Falcon
ELECTRIC STRIKES	Von Duprin (VON)	HES, Folger, Adam
POWER SUPPLIES	Von Duprin (VON)	Schlage Electronics

DOOR AND CARD READER LOCATIONS



GENERAL DOOR NOTES

1. ALL NEW DOORS SHALL BE MANUFACTURED OR FIELD CUT TO CLEAR FLOOR FINISHES.
2. PROVIDE IAC AND ADA ACCESSIBLE TOILET ROOM SIGNAGE OF CONTRASTING COLORS AT ALL TOILET ROOM DOORS. HDPC SIGNAGE 8" X 8" SIGNS, "TOILET ROOMS", "WOMEN" & "MEN" W/ RAISED LETTERS, BRAILLE SYMBOL FOR ACCESSIBILITY & PICTOGRAMS, MOUNT CENTER OF 8"X8" PLATE AT 60" A.F.F., SIDE OF PLATE 3" FROM STRIKE SIDE OF DOOR ON WALL WHERE THERE IS NO WALL SPACE TO THE STRIKE SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALLS.
3. ALL EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS AND BE EQUIPPED WITH APPROVED AUTOMATIC CLOSING DEVICES & LATCHES.
4. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE OF EGRESS WITHOUT THE USE OF KEYS, SPECIAL KNOWLEDGE, TIGHT GRASPING, PINCHING, TWISTING OR EFFORT. SEE GENERAL HARDWARE NOTES.
5. ALL RATED DOOR ASSEMBLIES SHALL BE CLEARLY LABELED W/ UL LISTING (OR EQUAL) & HOURLY RATING. DO NOT PAINT OVER UL LABEL.
6. ALL FIRE DOOR ASSEMBLIES SHALL BE SELF CLOSING OR AUTOMATIC CLOSING.
7. ALL DOOR ASSEMBLIES IN FIRE RATED CONSTRUCTION SHALL BE FIRE RATED PER CODE.
8. V.I.F THROAT DEPTH OF FRAMES FOR ALL DOORS TO BE RETROFITTED INTO EXISTING PARTITIONS.
9. INSTALL BOLLARD PROTECTION AT ALL NEW OVERHEAD DOORS, EACH JAMB, EACH SIDE OF DOOR. SEE DETAIL WHEN APPLICABLE.
10. INSTALL BOLLARD/TRACK PROTECTION AT INTERIOR SIDE OF EACH JAMB AT NEW OVERHEAD DOOR DOORS.

GENERAL HARDWARE NOTES

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO DOORS, FRAMES AND HARDWARE FOR OWNER AND ARCHITECT REVIEW AND APPROVAL PRIOR TO ANY WORK INCLUDING INSTANCES WHEN THE MANUFACTURER AND PRODUCT IDENTIFICATION HAS BEEN SPECIFIED IN SCHEDULE. ONLY BASIC ITEMS ARE SPECIFIED. HARDWARE SUPPLIER SHALL FURNISH ALL ITEMS NECESSARY (BRACKETS, PLATES, REINFORCING, ETC.) FOR COMPLETE FUNCTIONAL INSTALLATION. HARDWARE IDENTIFIED BUT NOT SPECIFIED SHALL BE PROVIDED AS CONSISTENT WITH GRADE OF OTHER ITEMS ON SAME DOOR.
2. ALL LOCK KEYWAYS SHALL BE PER TENANT'S STANDARDS AND APPROVED BY LANDLORD WHEN REQUIRED.
3. ALL HARDWARE AND OTHER COMPONENTS ON ALUMINUM AND GLASS ENTRANCE DOORS SHALL HAVE FINISH TO MATCH DOORS. (HINGES, CLOSERS, LOCK GUARD, MAIL SLOT, ETC.)
4. G.C. TO PROVIDE CONSTRUCTION CYLINDERS AND RE-KEY.
5. ALL HARDWARE ON RATED DOOR TO BE RATED TO MEET DOOR RATING.
6. ALL DOORS IN FIRE RATED ASSEMBLIES SHALL HAVE CLOSERS AND POSITIVE LATCHING.
7. ALL HARDWARE SHALL COMPLY WITH IAC REQUIREMENTS UNLESS NOTED OTHERWISE. DOOR KNOBS ARE PROHIBITED. ONLY LEVER TYPE HARDWARE IS ACCEPTABLE. IAC DOOR HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE (1) HAND AND SHALL NOT REQUIRE TIGHT PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE. ALL REQUIRED EGRESS DOORS SHALL BE RELEASED IN ONE MOTION, I.E. THUMBTURN AND PUSH, LEVER LATCH AND PUSH, PANIC BAR AND PUSH. THUMBTURN DEADBOLTS OPERATED SEPARATELY FROM ANOTHER LATCHING MECHANISM ARE PROHIBITED; LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE QUARTER (1/4") IN HEIGHT SHALL HAVE A MAXIMUM 1/2 BEVEL.
8. DOOR CLOSERS SHALL MEET IAC AND ADA OPENING FORCE AND SWEEP PERIOD REQUIREMENTS. ON DOORS WITH CLOSERS, THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST THREE (3) SECONDS TO MOVE TO A POINT THREE (3) INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR. CLOSER FORCE 8.5 LB. EXTERIOR DOORS, 5 LB. INTERIOR.
9. MINIMUM 3 SILENCERS PER DOOR.
10. HINGES FOR DOORS WITH CLOSERS SHALL BE BALL-BEARING TYPE.
11. HINGES FOR EXTERIOR DOOR SHALL HAVE NON-REMOVABLE PINS.
12. PROVIDE FLOOR OR WALL STOPS @ ALL DOOR LOCATIONS.
13. ALL ELECTRIC STRIKES SHALL BE CONNECTED TO FIRE ALARM SYSTEM AND SHALL DISENGAGE IN THE EVENT FIRE ALARM IS ACTIVATED.
14. CARD READERS AND PUSH BUTTONS SHALL BE MOUNTED AT 36" A.F.F. UNLESS NOTED OTHERWISE.
15. G.C. TO PROVIDE BACK BOX AS REQUIRED FOR SECURITY ACCESSORIES SUCH AS CARD READERS, ALARMS, ETC.
16. PROVIDE KNURLED HANDLES AT HAZARDOUS LOCATIONS.