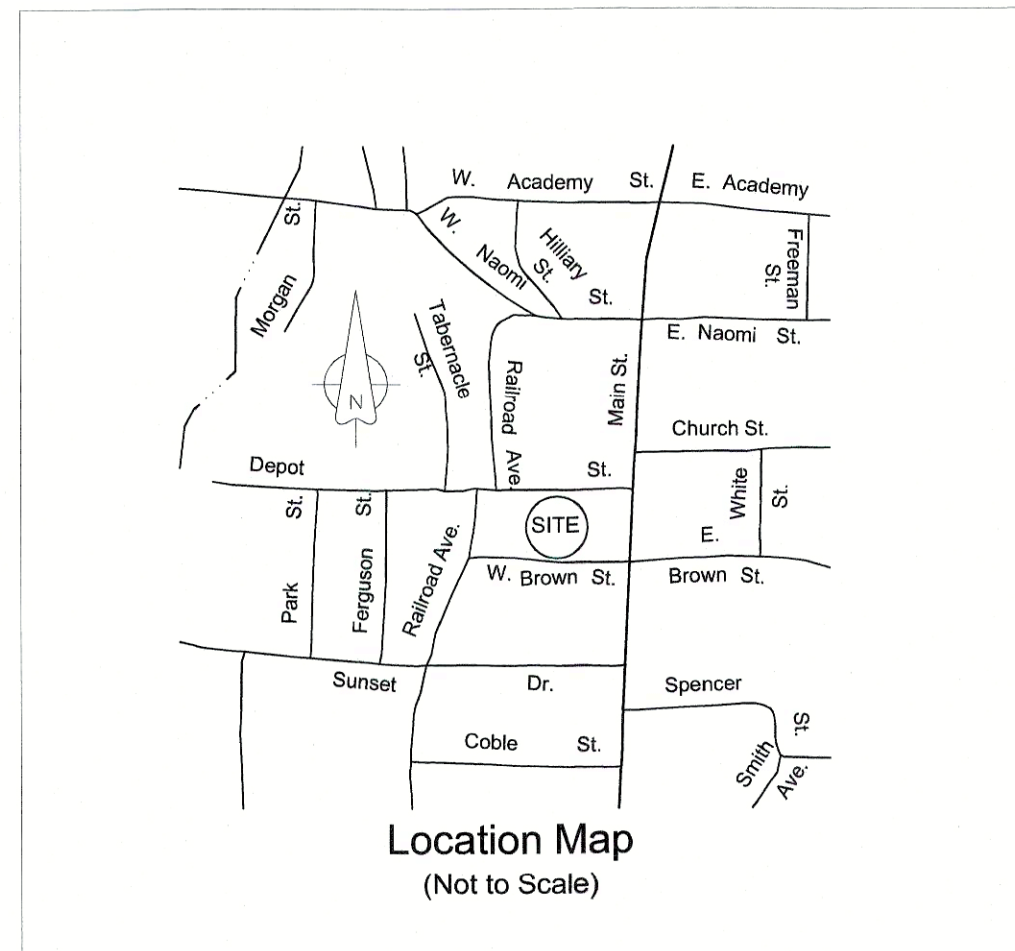


Randolph County Public Works Randleman Convenience Site

115 Depot Street
Randleman, NC 27317



List of Drawing Sheets

- C1 - Cover Sheet
- C2 - Building Code Summary Sheet
- S1 - Existing Site Plan
- S2 - New Site Plan
- S3 - Site Detail Sheet
- S4 - Recycle Canopy Sheet
- B1 - Office Floor Plan and Elevations
- B2 - Office Detail Sheet
- EP1 - Electrical and Plumbing Plan

Design By:
Paxton Arthurs, P.E.
725 McDowell Road
Asheboro, NC 27205
(336) 736-7927



Cover Sheet

Randolph County Public Works
Randleman Convenience Site
115 Depot Street
Randleman, NC 27317

C1

**2018 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Randolph County Public Works – Randleman Convenience Site
 Address: 115 Depot Street, Randleman NC Zip Code 27317
 Proposed Use: Convenience Site for waste disposal and recycling
 Owner/Authorized Agent: Paxton Arthurs Phone # (336) 318-6605 E-Mail: paxton.arthurs@randolphcountync.gov
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City County Randolph State

LEAD DESIGN PROFESSIONAL: Paxton Arthurs

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Building	Randolph County	Paxton Arthurs	029942	(336)318-6605	paxton.arthurs@randolphcountync.gov
Civil					
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

2012 EDITION OF NC CODE FOR: New Construction Addition Upfit
EXISTING: Reconstruction Alteration Repair Renovation
CONSTRUCTED: (date) _____ **ORIGINAL USE(S)** (Ch. 3): _____
RENOVATED: (date) _____ **CURRENT USE(S)** (Ch. 3): _____
PROPOSED USE(S) (Ch. 3): _____

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) **Flood Hazard Area:** No Yes
Building Height: (feet) _____

Gross Building Area:

FLOOR	EXISTING (SQFT)	NEW (SQFT)	SUB-TOTAL
6 th Floor			
5 th Floor			
4 th Floor			
3 rd Floor			
2 nd Floor			
Mezzanine			
1 st Floor	---	192 office, 360 canopy	192 office, 360 canopy
Basement			
TOTAL	---	192 office, 360 canopy	192 office, 360 canopy

** Partial - Full Building Code Summary Sheet Available Upon Request **

ALLOWABLE AREA

Occupancy:
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4
 I-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancies: S-1 (recycling canopy)

Incidental Uses (Table 508.2.5): NA

Special Uses: NA

Special Provisions: NA 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503 ⁵ AREA	(C) AREA FOR FRONTAGE INCREASE ¹	(D) AREA FOR SPRINKLER INCREASE ²	(E) ALLOWABLE AREA OR UNLIMITED ³	(F) MAXIMUM BUILDING AREA ⁴

ALLOWABLE HEIGHT

	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type _____		Type _____	
Building Height in Feet		Feet = H + 20' = _____		
Building Height in Stories		Stories + 1 = _____		

FIRE PROTECTION REQUIREMENTS

None Required

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes Partial _____
 Panic Hardware: No Yes

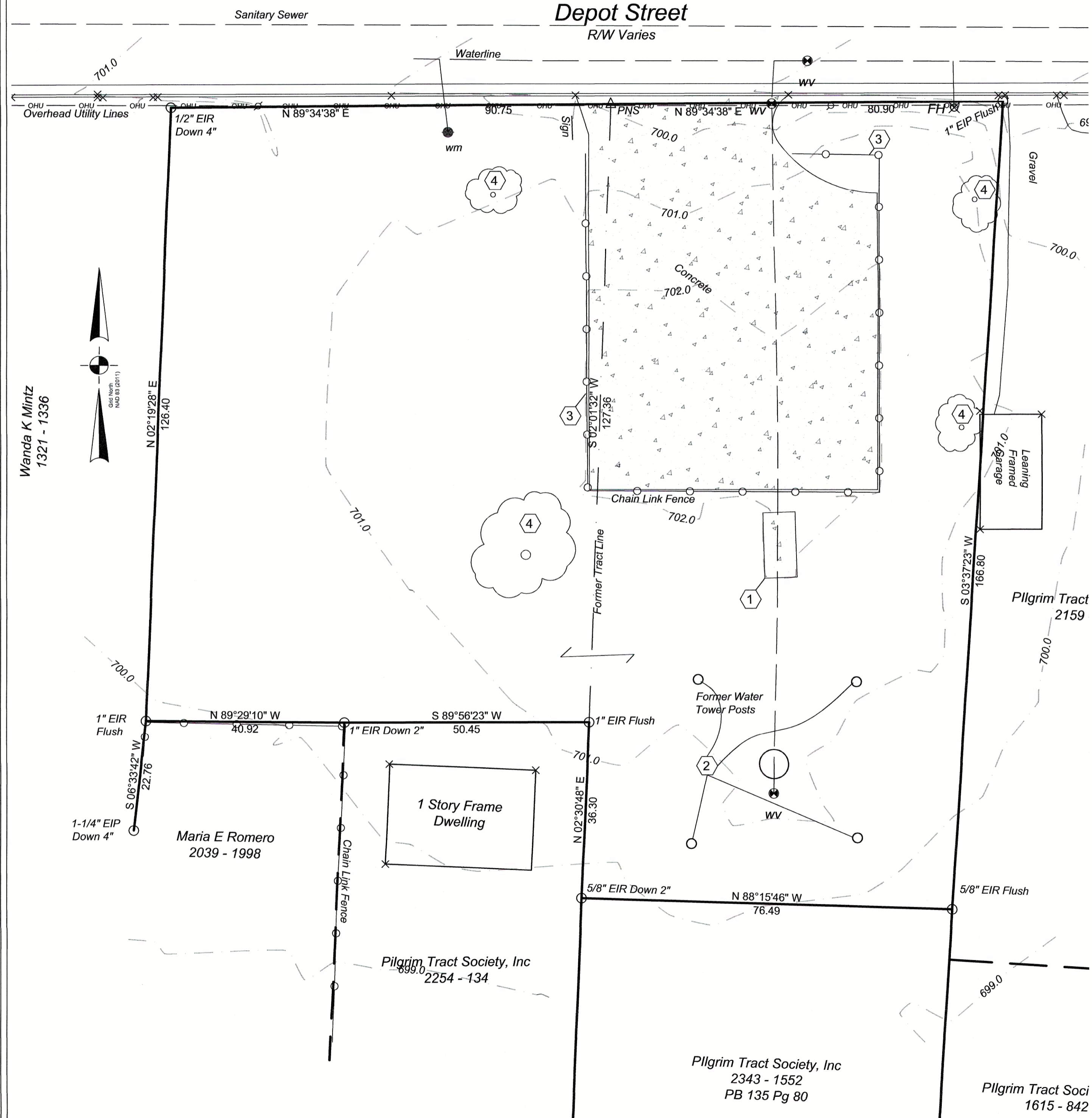
Design By:
 Paxton Arthurs, P.E.
 725 McDowell Road
 Asheboro, NC 27205
 (336) 736-7927



Building Code Summary Sheet

Randolph County Public Works
 Randleman Convenience Site
 115 Depot Street
 Randleman, NC 27317

Wanda K Mintz
1321 - 1336



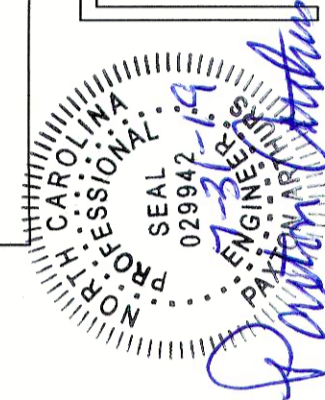
- Notes**
- 1 - Existing Concrete Vault associated with old water tower is to be removed and filled in by the City of Randleman.
 - 2 - Steel columns from old water tower will be removed by the City of Randleman.
 - 3 - Existing chain link fence is to be taken down by the Contractor and will be removed from the site by Randleman City.
 - 4 - Existing trees are to be removed by the Contractor.

Legend

	Property Lines
	Setback Lines
	Existing Contour Lines
	New Contour Lines
	Water Utility Line
	Chain Link Fence Line
	Existing Concrete Pavement

Scale = 1" = 15'

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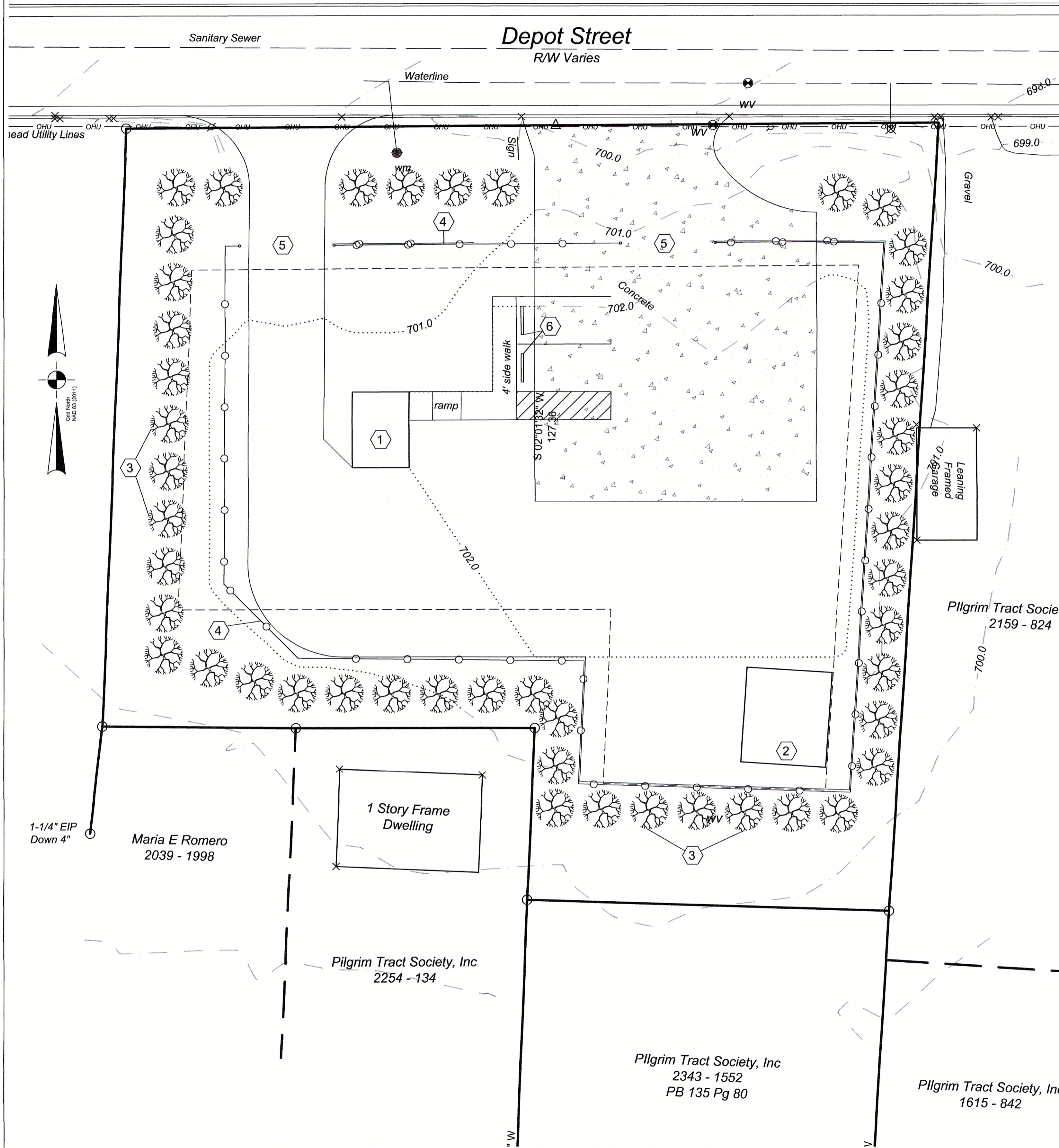
Existing Siteplan

Randolph County Public Works
Randleman Convenience Site
115 Depot Street
Randleman, NC 27317

S1

Pilgrim Tract Society, Inc
2343 - 1552
PB 135 Pg 80

Pilgrim Tract Soci
1615 - 842



Notes

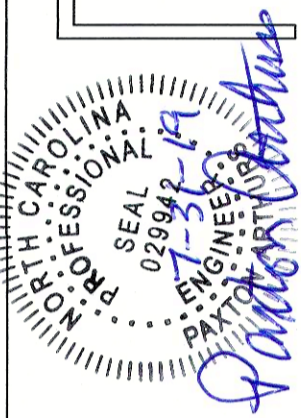
- 1 - New 12' x 16' office building (see Sheet B1) FFE = 702.5'
- 2 - New 18' x 20' recycling canopy (see Sheet S4) FFE = 701.9'
- 3 - Emily Brunner Holly Trees; 8 feet tall spaced 10 ft. o.c.; 47 count (see Sheet S3)
- 4 - New 6' Chain Link Fence with 3 strands of barbed wire and plastic slats woven into fabric (see Sheet S3).
- 5 - 20' cantilever gate (see Sheet S3).
- 6 - Provide 6 ft. concrete wheel stops (bolt to concrete).

- The surface area of new 6" concrete paving is 8,416 sq. ft.
- All waste material shall be removed from the property by the contractor and legally disposed of in accordance with local ordinances and antipollution laws. Burying and burning of materials at the site is not permitted.
- Contractor shall provide erosion control measures in accordance with local ordinances and NC Division of Water Quality rules.
- All exterior paved areas shall be installed according to the site plan and shall consist of concrete a minimum of six (6) inches thick. Slope of paved areas shall not exceed 6% grade.
- Exterior concrete shall have a minimum 28 day compression strength of 3000 psi.
- All paved surfaces shall be broom finished and edges finished with an edging tool have a 1/8 inch corner radius.
- All concrete shall be placed on a soil base that has been compacted to provide adequate support to resist settlement.
- Paved areas shall be provided with control joints one (1) inch deep and spaced in both directions a maximum of fifteen (15) feet on center or from ends.
- Parking spaces shall be painted with a product designed for that purpose and installed in accordance with the site plan and manufacturer's installation instructions.
- All cleared areas that are not to be paved shall be seeded with fescue grass at a rate of 100 lbs per acre and then mulched with straw to a depth of two (2) inches.
- Clear and restore areas used for the Contractor's convenience. Restore such areas to their original condition.
- Protect survey markers and monuments, existing improvements, and adjacent properties from removal and damage.
- Provide noise and dust control in accordance with State and local requirements and subject to the approval of the owner.
- Installation shall include final grading around building and paved areas in accordance with the site plan. Slope of non-paved areas shall not exceed a ratio of 1:4 (25%)
- Contractor shall provide handicap parking signage to meet NC Building Code.

For Legend refer to Sheet S1

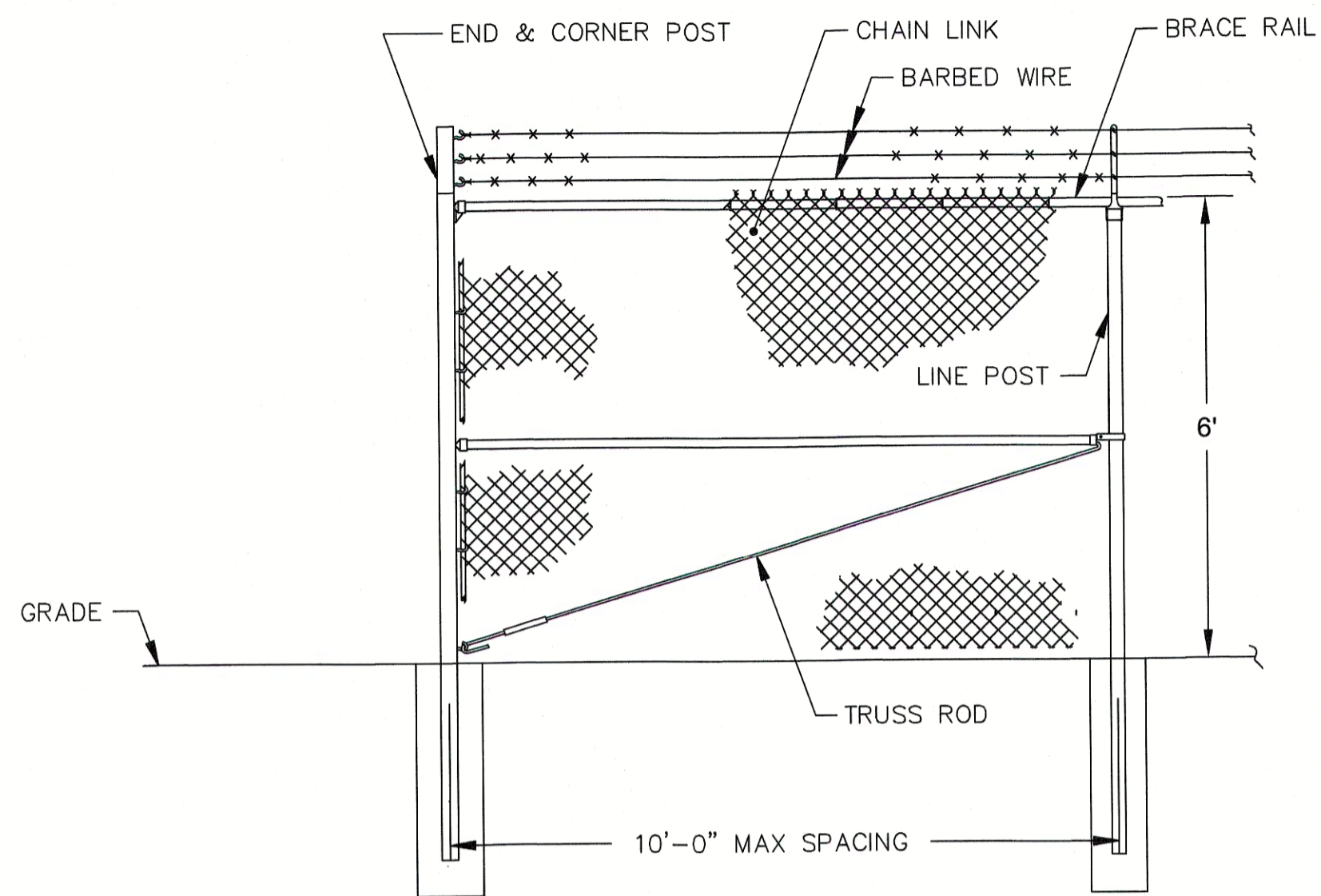
Scale = 1" = 15'

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New Site Plan

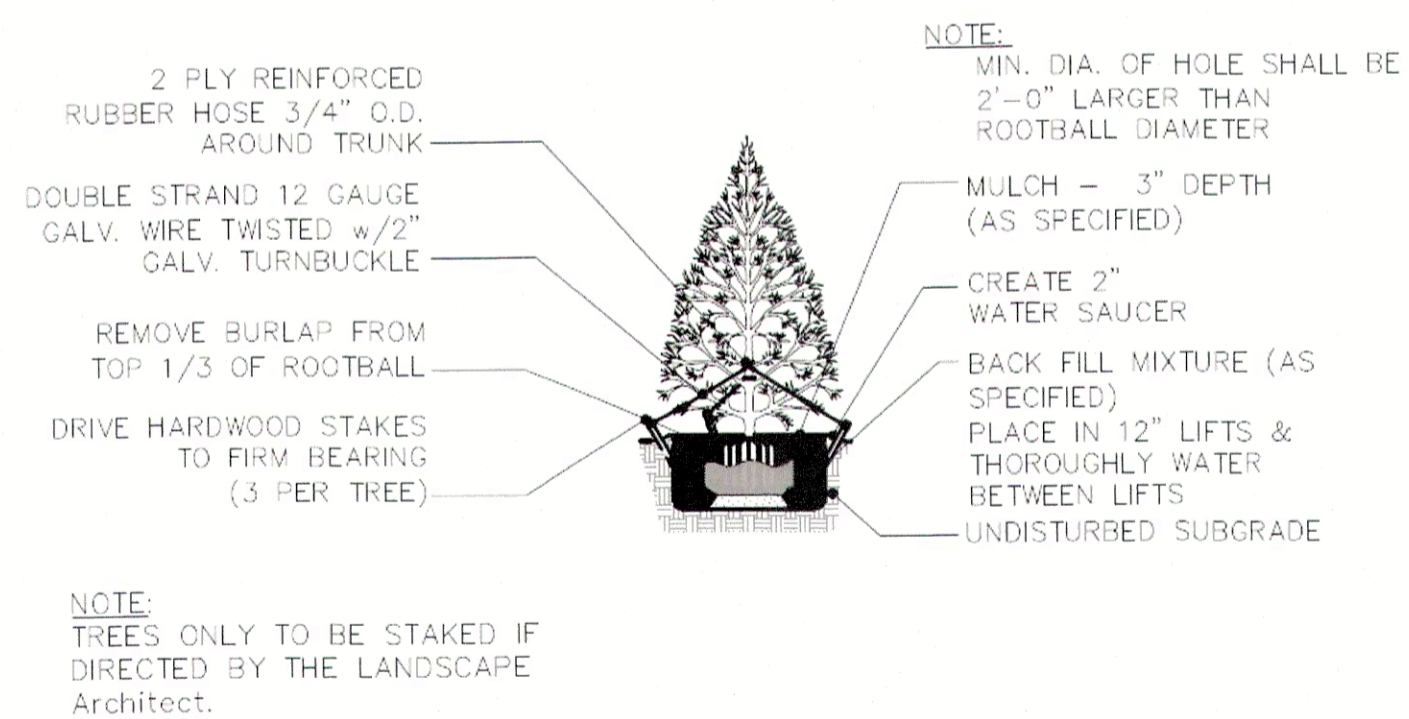
Randolph County Public Works
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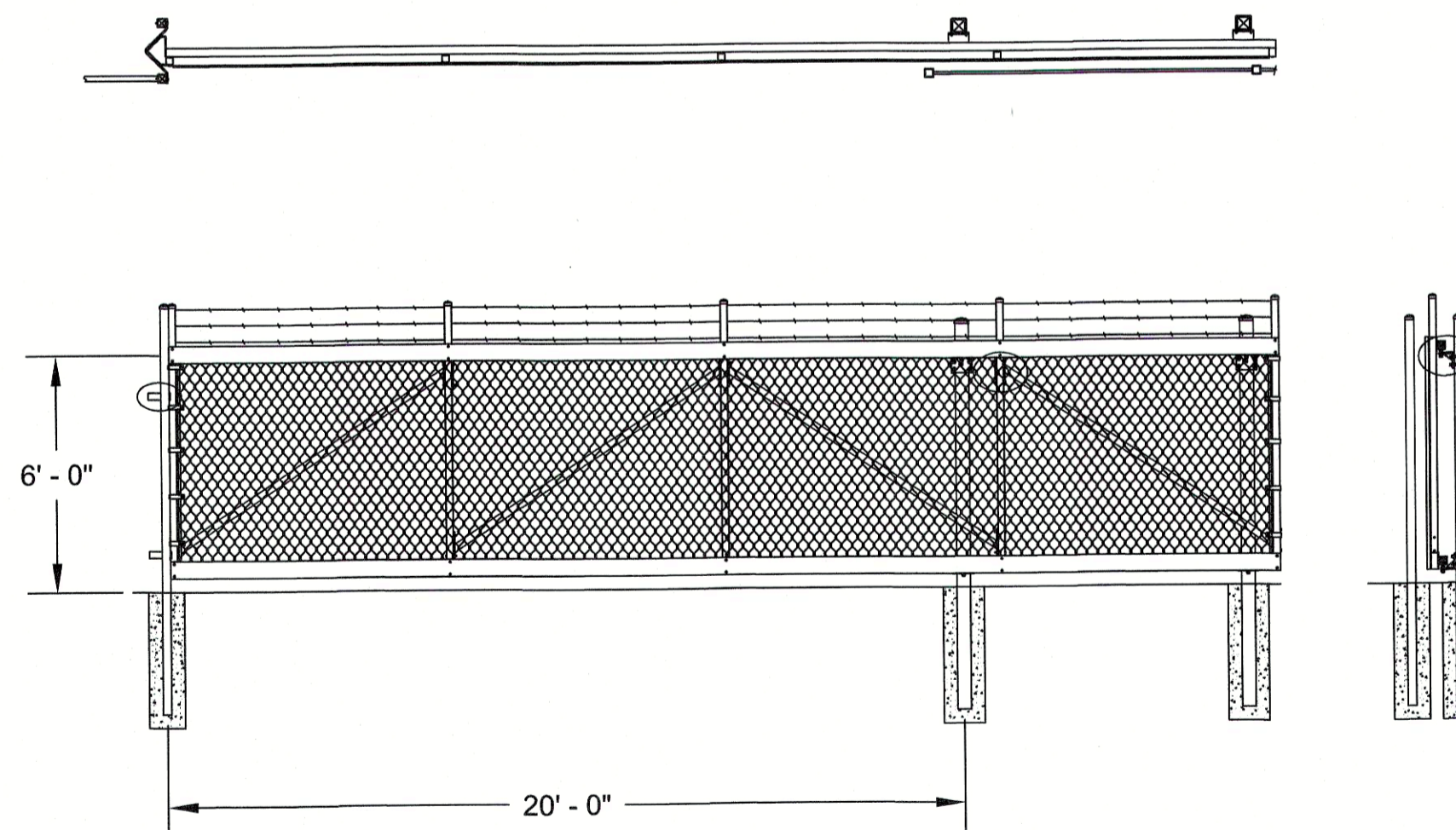
Fence Section Elevation
scale: 1/2" = 1'

Chain Link Fence Specifications:	
Posts for ends and corners	2-7/8" O.D.
Line Posts	2-3/8" O.D.
Fabric	9 ga. 2" mesh
Top Rail	1-5/8" O.D.
Post Caps	Dome style
Ties	9 ga. aluminum
Footings (ends & corners)	12" diam. x 48" deep
Footings (line posts)	10" diam. x 42" deep
Concrete	3000 p.s.i.
Plastic Fence Slats	HDPE - Green color

**Chain Link Fence shall be installed in accordance with ASTM 567 **



Tree Planting Detail
scale: NTS



** Cantilevered Gate shall be installed in accordance with ASTM 1184 **

Cantilever Gate Detail
scale: 1/4" = 1'

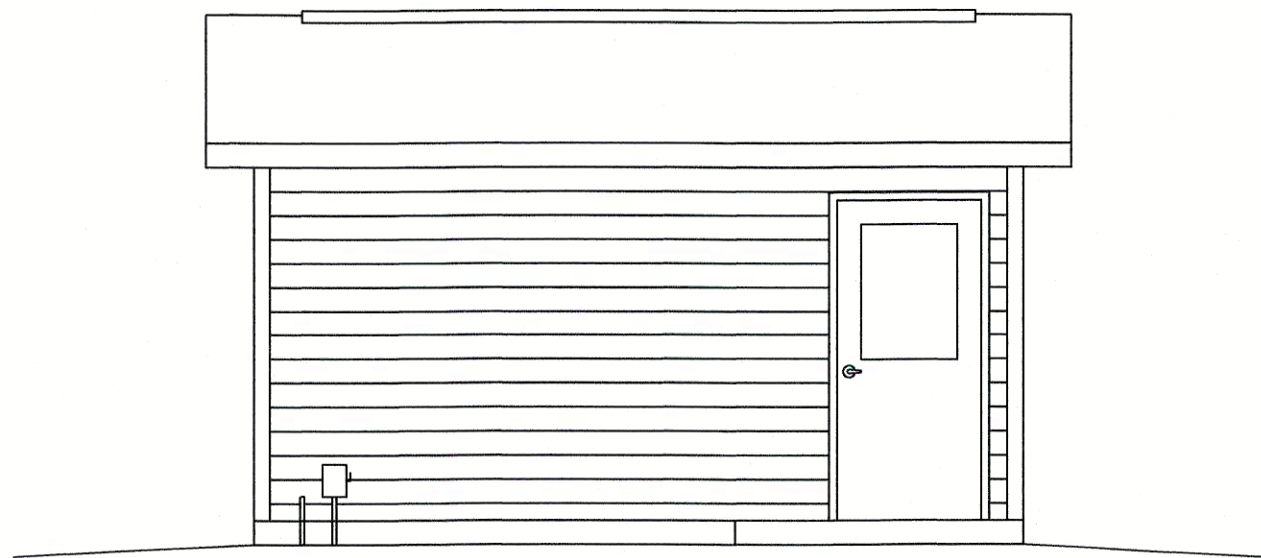
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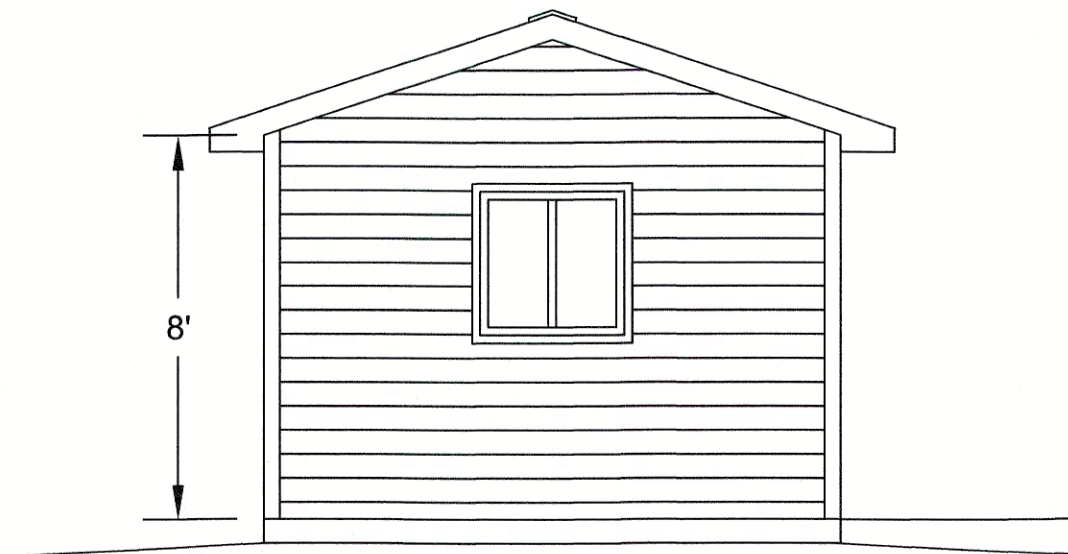
Site Detail Sheet

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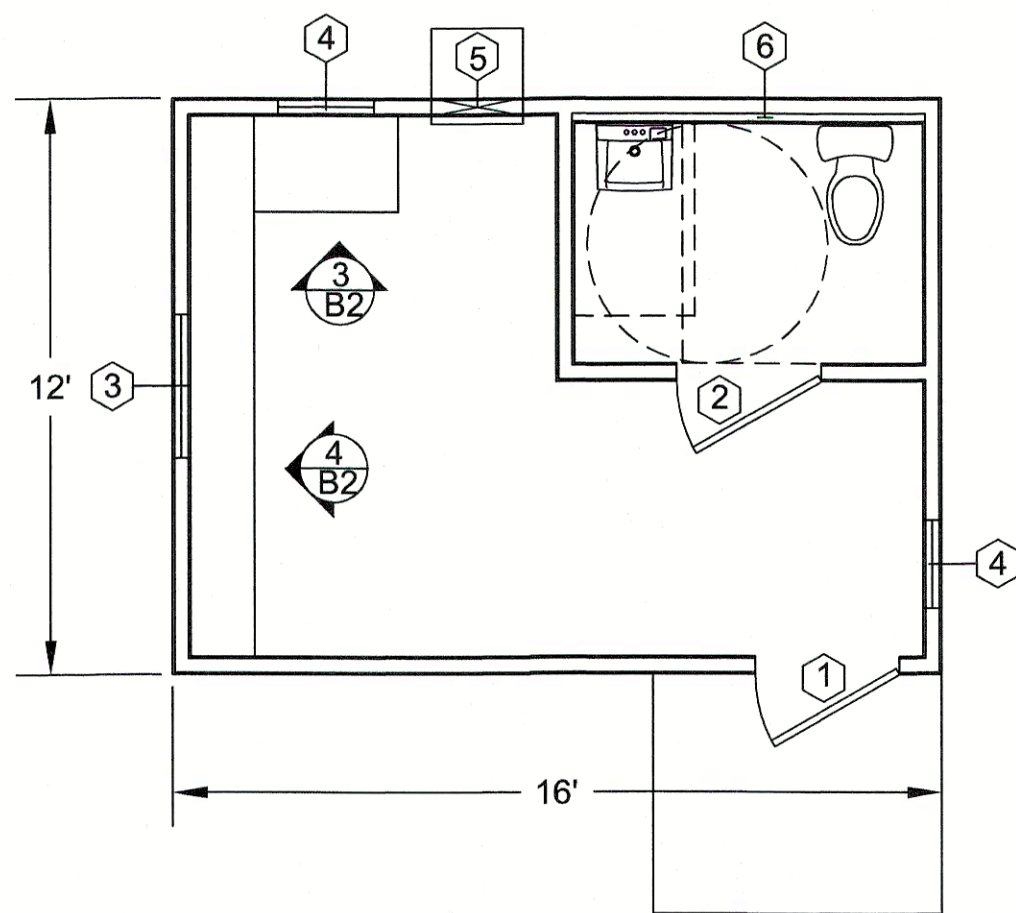
S3



East Wall Elevation
scale: 1/4" = 1'



South Wall Elevation
scale: 1/4" = 1'



Floor Plan
scale: 1/4" = 1'

- Notes:
- 1- 3-0 x 6-8 Fiberglass door with half glass view lite (Jeld Wen or equiv.) with low profile threshold and lever handle keyed entry lock (Schlage hardware).
 - 2 - 3-0 x 6-8 hollow core door with lever handle privacy lock (Jeld Wen or equiv.)
 - 3 - 3-0 x 3-0 horizontal sliding window (Pella or equiv.)
 - 4 - 2-0 x 3-0 Double hung window (Pella or equiv.)
 - 5 - Opening for air conditioner unit (coordinate opening size with electrician).
 - 6 - Fir out wall 2" nominal to provide clearance between foundation and plumbing drain.
- Provide 4" pre-primed baseboard.
 - Trim doors and windows with 2 1/2" pre-primed pine casing.
 - Slab floor shall be smooth finish with sealer.
 - Provide attic ventilation with ridge and soffit vents.
 - Provide blocking for wall hung lavatory and grab bars (coordinate with plumbing contractor).

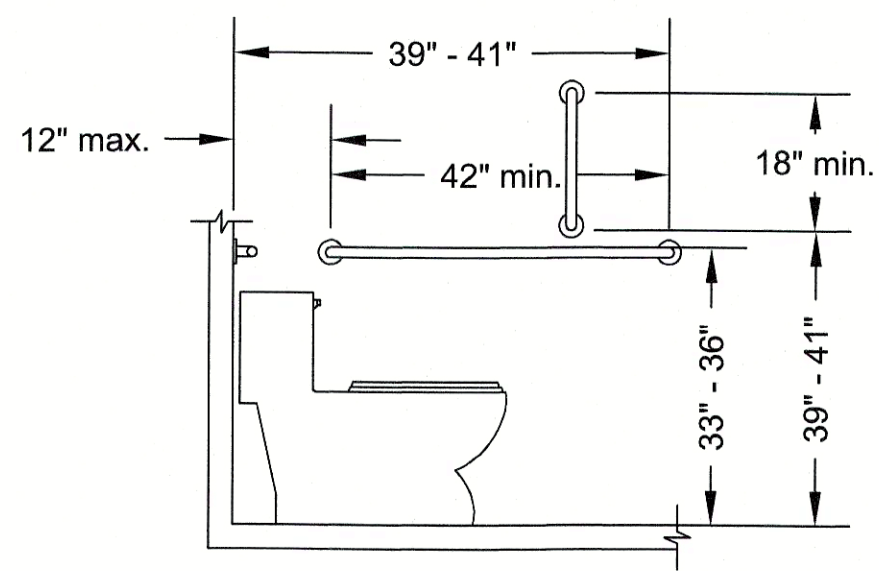
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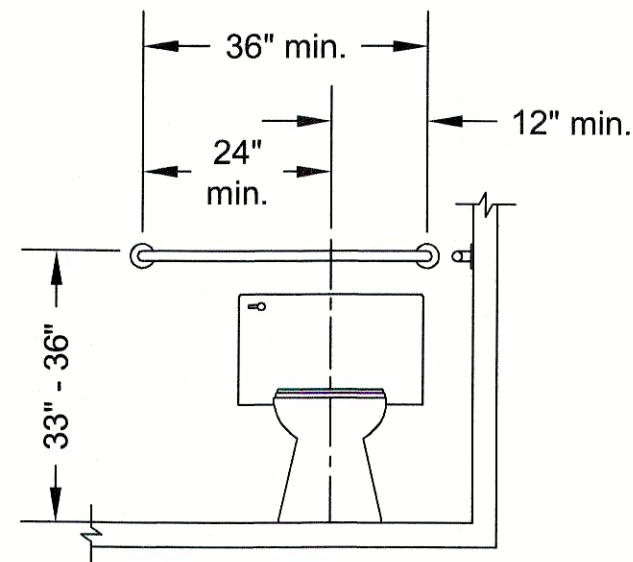
Office Floor Plan and Elevations

Randolph County Public Works
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B1

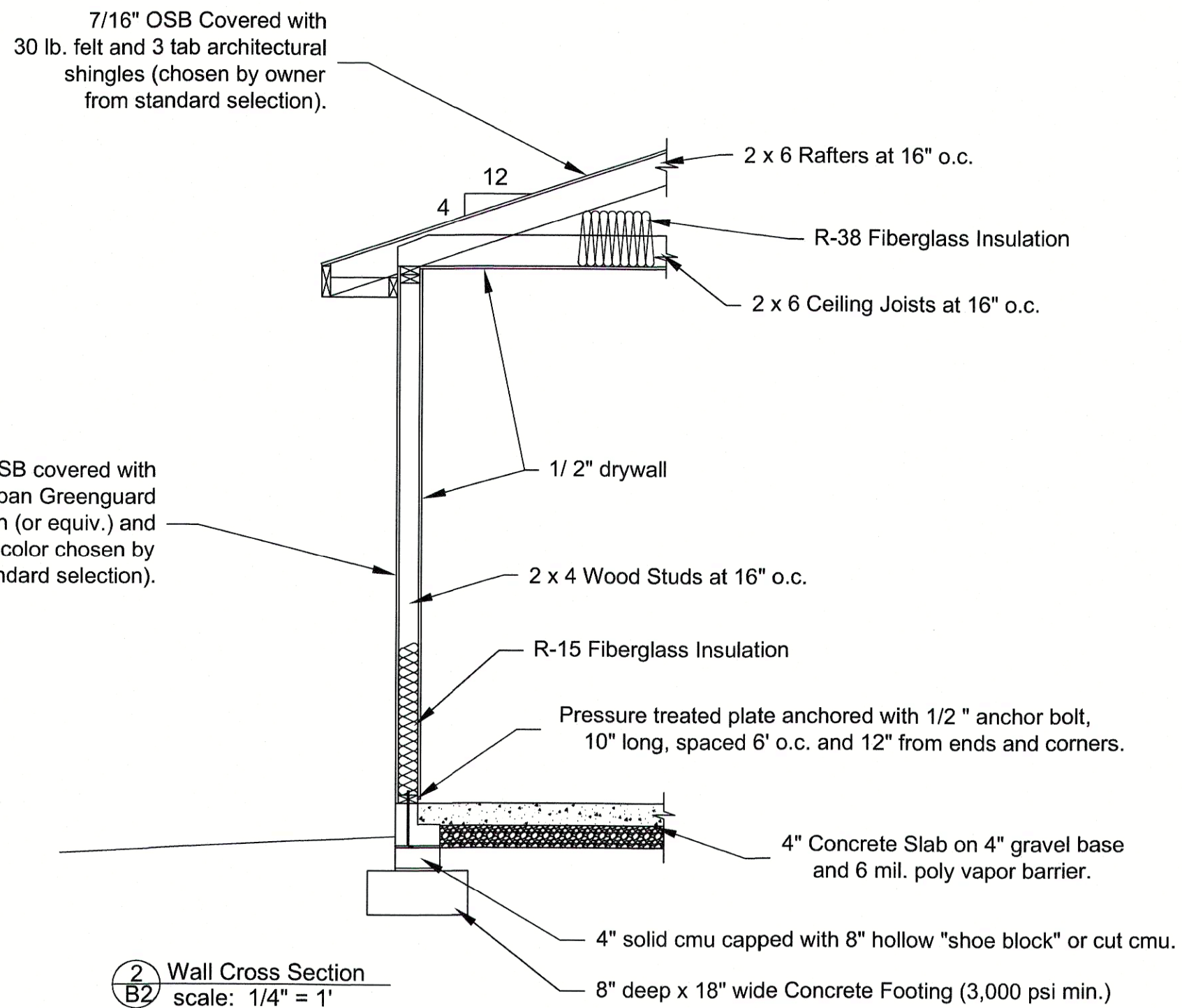


1 Grab Bar Detail
B2 scale: 1/4" = 1'

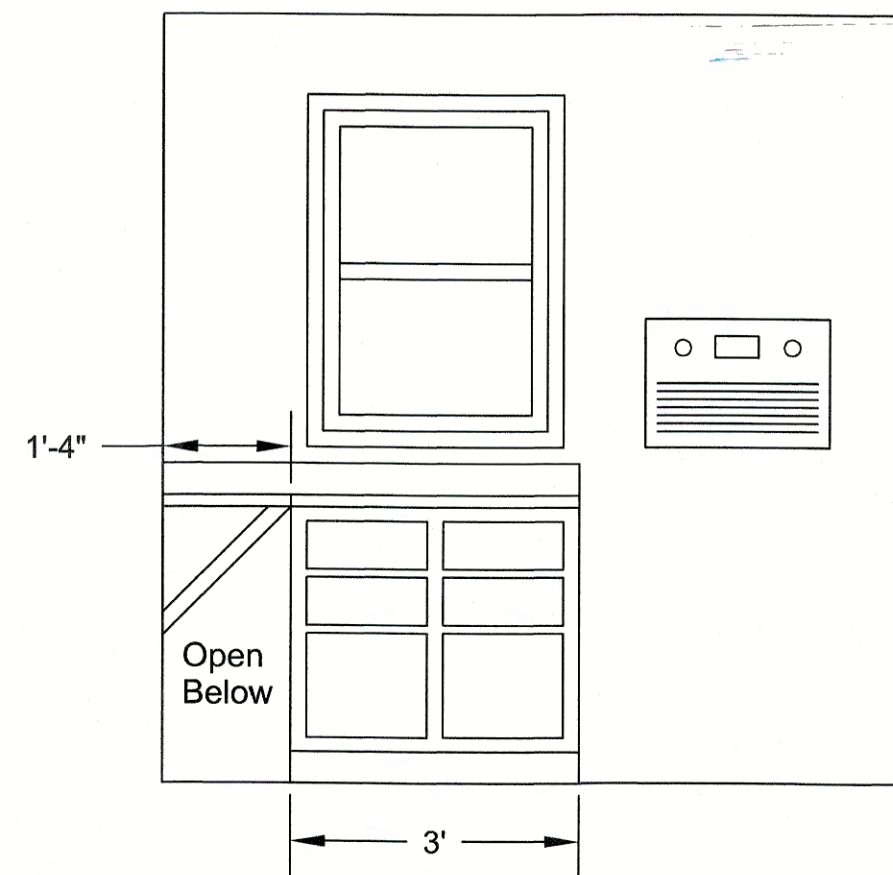


2 Wall Cross Section
B2 scale: 1/4" = 1'

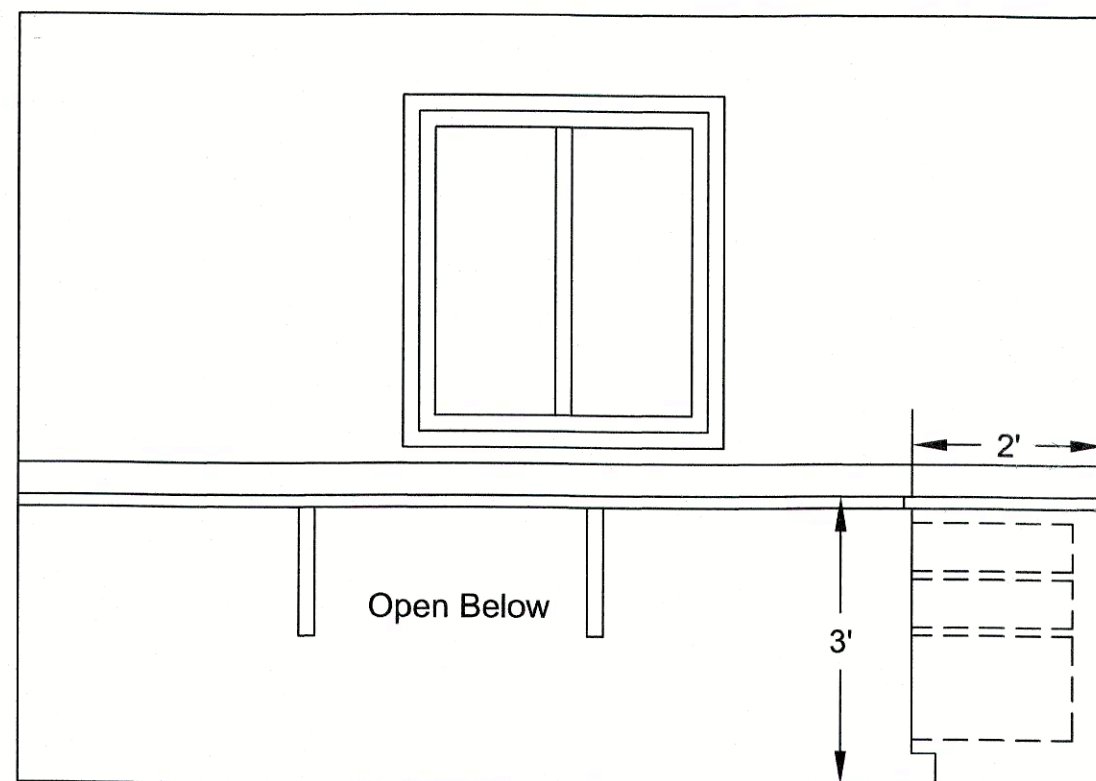
7/16" OSB covered with 1/4" Kingspan Greenguard fanfold insulation (or equiv.) and Vinyl Siding (color chosen by owner from standard selection).



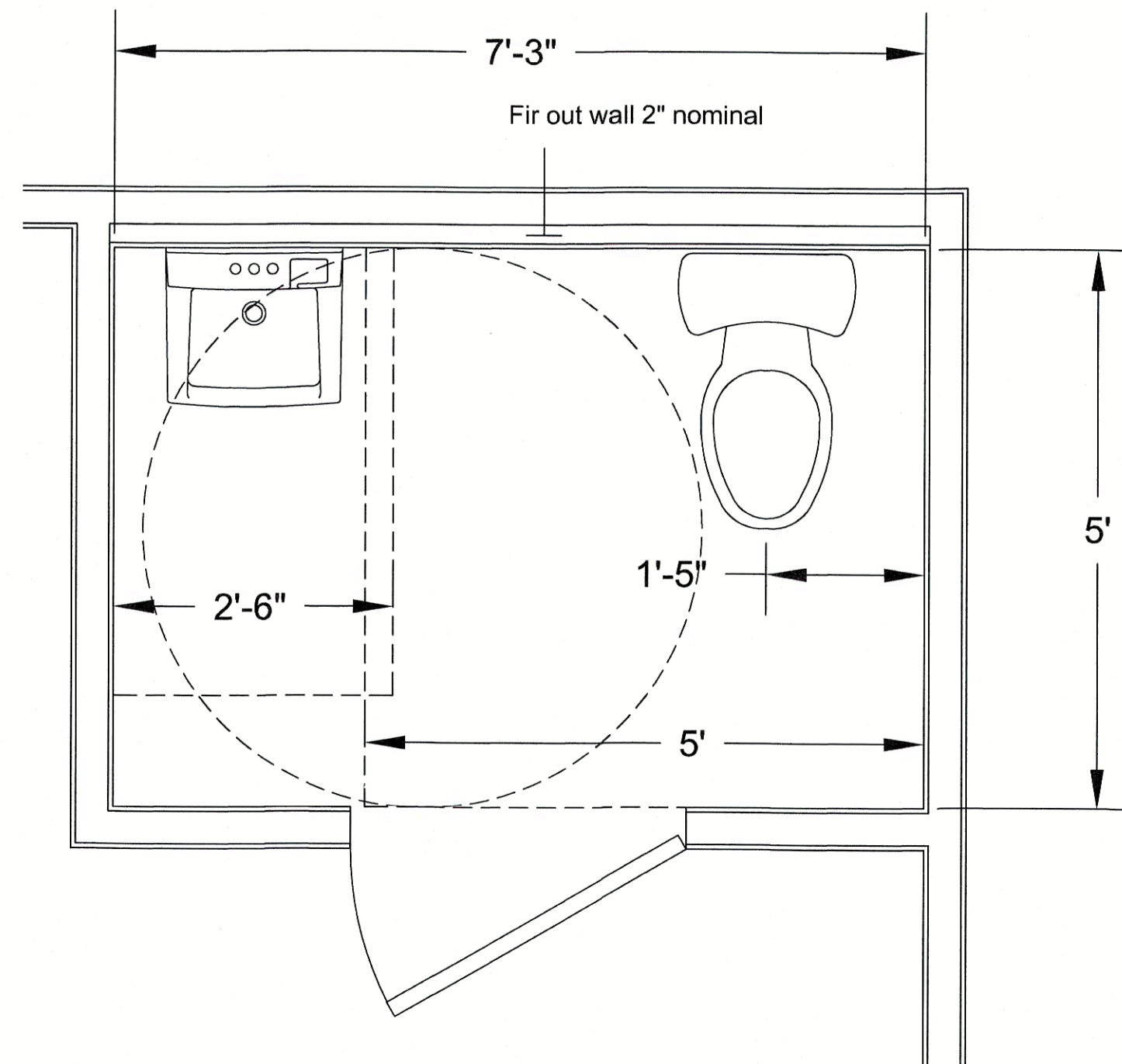
7/16" OSB Covered with 30 lb. felt and 3 tab architectural shingles (chosen by owner from standard selection).



3 Side View of Counter
B2 scale: 1/2" = 1'

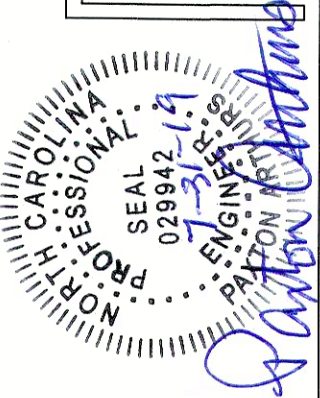


4 Front View of Counter
B2 scale: 1/2" = 1'



5 Enlarged Restroom Plan
B2 scale: 3/4" = 1'

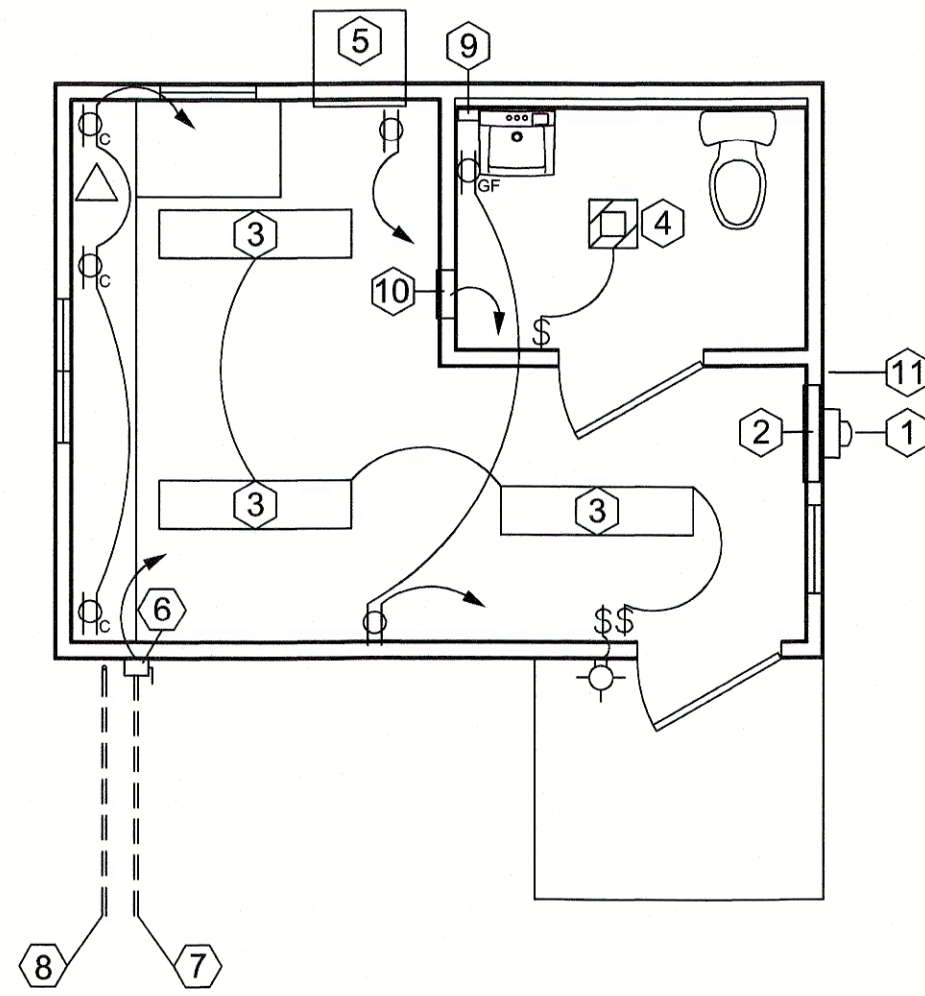
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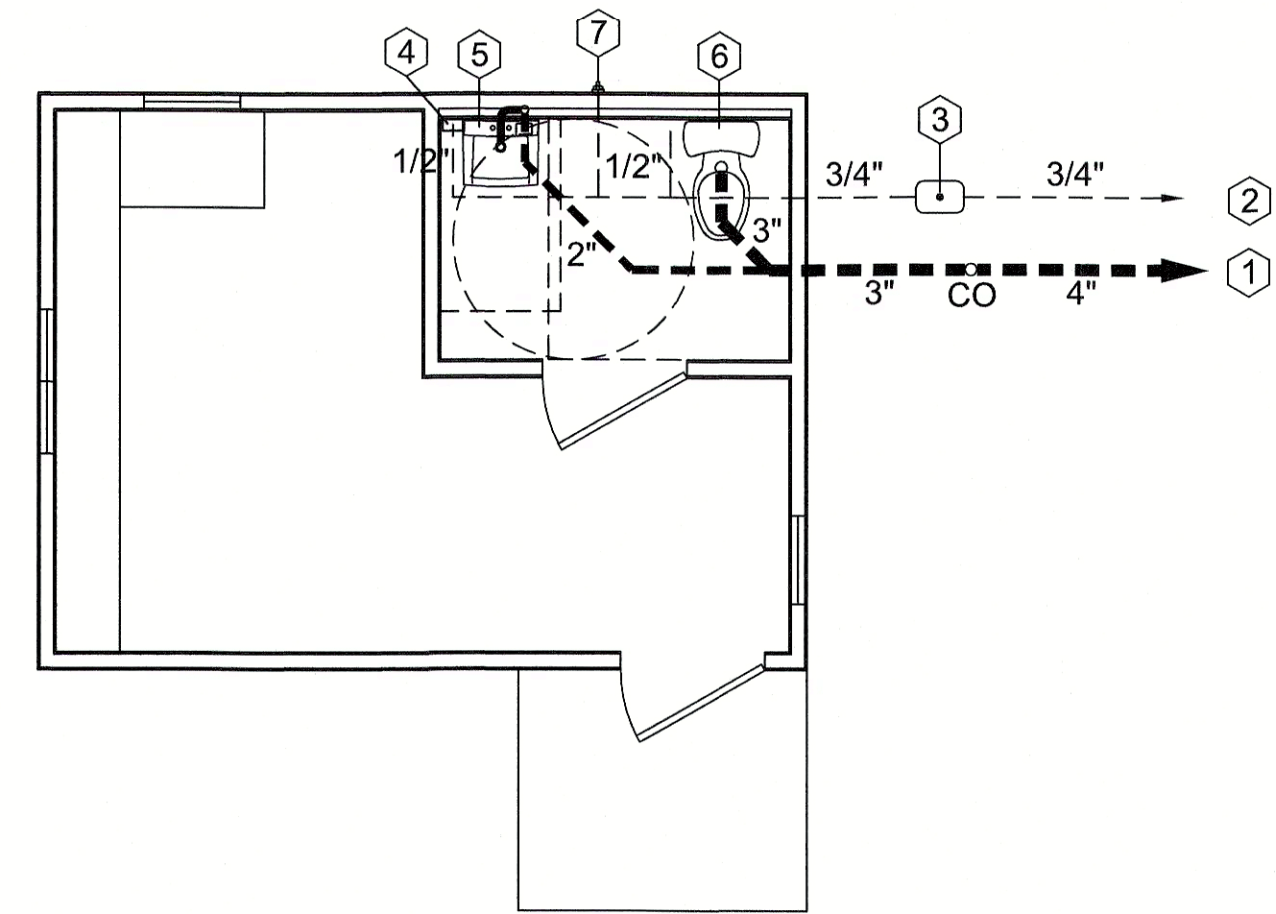
Office Detail Sheet

Randolph County Public Works
Randleman Convenience Site
115 Depot Street
Randleman, NC 27317

B2



Electrical Plan
scale: 1/4" = 1'



Plumbing Plan
scale: 1/4" = 1'

Electrical Notes:

- 1- GE Electrical Meter or equivalent; Service shall be 120 / 208 (3) Phase (fed underground by Duke Energy from pole located at street).
 - 2 - 100 amp, Main Breaker 120 / 208 volt 3 phase, 20 circuit panelboard (GE or equiv)
 - 3 - 1' x 4' LED Light Fixture (Tamlite or equiv.)
 - 4 - 80 cfm combination exhaust fan / light (Broan or equiv.)
 - 5 - Thru the wall AC / heat unit (GE model AHE08 or equiv.)
 - 6 - 3 phase disconnect for compactor unit by others. fed by 6 ga. 3 wire w/ ground service cable protected by 60 amp. 3 phase breaker.
 - 7 - 1" non metallic conduit fed underground to compactor approx. 10' away (coordinate final stub up with owner).
 - 8 - 3 / 4" non metallic conduit fed underground to compactor approx. 10' away (coordinate final stub up with owner).
 - 9 - Point of use water heater (Rheem RTEX06 or equivalent) coordinate with plumber.
 - 10 - Wall heater (Broan 9810WH or equiv.)
 - 11 - Termination of Cat 6 cable (24" above grade) extending to telephone jack located at counter top.
- Branch circuits shall be wired in Non-Metalic Cable unless otherwise noted.

Electrical Legend:

- 20 amp Receptacle (mount bottom of box at 18" above floor)
- 20 amp Counter Height Receptacle (mount bottom of box at 42" above floor)
- 20 amp GFCI Protected Receptacle (mount bottom of box at 42" above floor)
- Snap Switch
- Telephone Jack (Cat 6 cable)

Plumbing Notes:

- 1- 4" sewer line to City tap approx. 50' away (see sheet C1).
 - 2 - 3 / 4" water line to City meter approx. 50' away.
 - 3 - Ground access box to house ball valve cut off.
 - 4 - Point of use water heater (Rheem RTEX06 or equiv.) coordinate with electrical contractor.
 - 5 - Wall hung lavatory with rim mounted 34" above floor (Kholer or equiv.)
 - 6 - Elongated bowl toilet; ADA compliant with open front seat (Kholer or equiv.)
 - 7 - Provide Frost-proof, Anti-siphon, Hose bibb located at 18 inches above grade.
- Water lines shall be PEX piping.
- Drain and vent piping shall be PVC.

Design By:
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Electrical and Plumbing Plan

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