

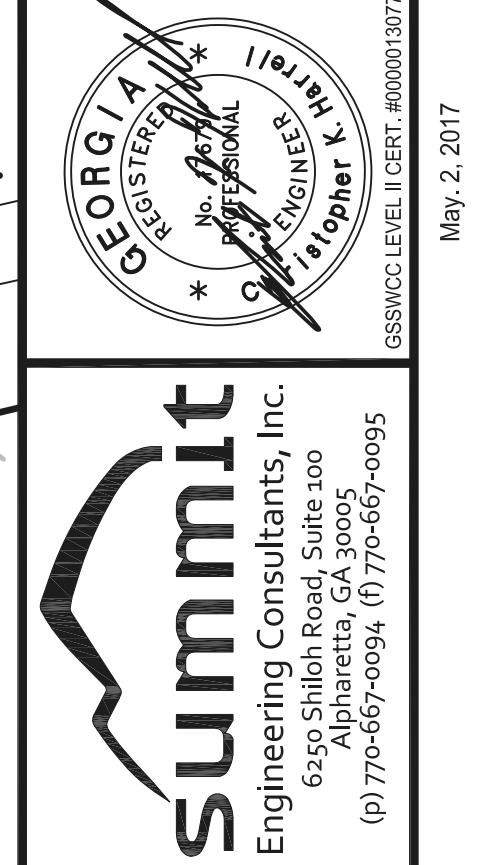
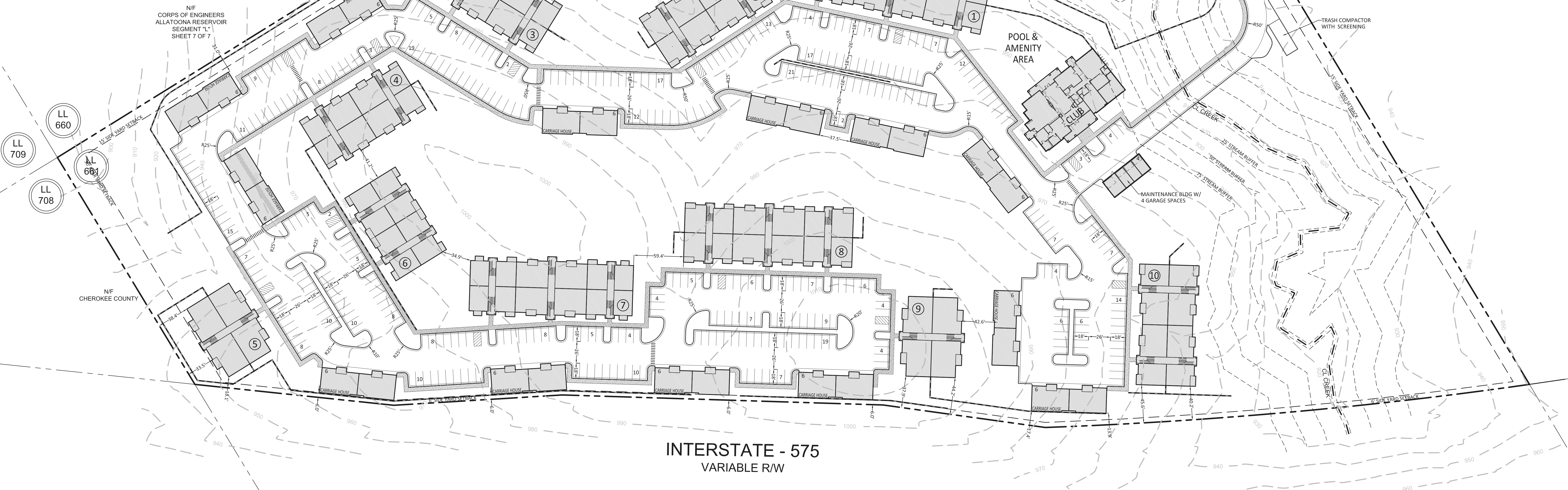
ZONING SITE SUMMARY TABLE

PROPOSED ZONING: HDMFR (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)
 PROPOSED USE: MULTI-FAMILY APARTMENTS
 SITE ACREAGE: 20.65 ACRES

MINIMUM SETBACK REQUIREMENTS:
 FRONT YARD: 50 FEET
 SIDE YARDS: 15 FEET
 PROPOSED SIDE YARD AT 6 FEET ALONG I-575
 REAR YARD: 30 FEET

PROPOSED UNITS: 320
 SITE DENSITY: 15.5 / ACRE
 REQUIRED PARKING: 1.0 / 1 BED, 1.5 / 2 BED, 2.0 / 3 BED
 PARKING PROVIDED: 78 SPACES - CARRIAGE HOUSE
 4 SPACES - MAINTENANCE BUILDING
 421 SURFACE SPACES
 503 TOTAL SPACES
 1.57 SPACES / UNIT

*FEMA FLOOD INSURANCE MAP 13057C0244D, DATED 9/29/2006
 THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOODPLAIN

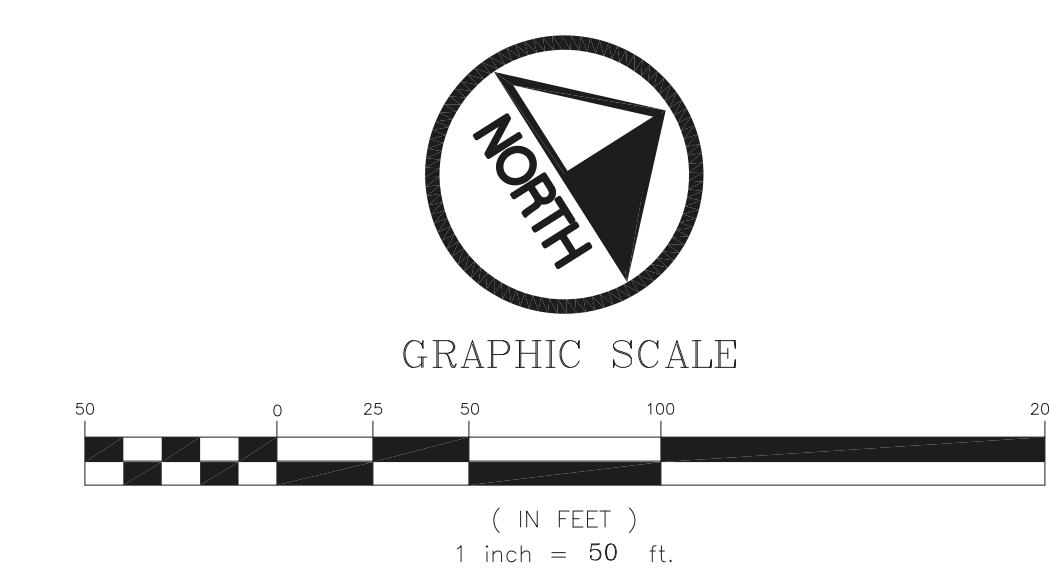


ALLIANCE REALTY PARTNERS
 3715 NORTHSIDE PARKWAY
 SUITE 1-102
 ATLANTA, GA 30327

Project No.	Scale	No.	Revision	Schedule
S-17-004	1" = 50'			
Design By:	CHK			
Drawn By:	CHK			
Checked By:	CHK			
Date:	5/17			
Scale:	1" = 50'			

ZONING SITE PLAN
 BROADSTONE HOLLY SPRINGS
 LAND LOT 661
 CITY OF HOLLY SPRINGS
 CHEROKEE COUNTY, GEORGIA

Drawing No.
1 of 1
 S-17-004zon.dwg



*****CAUTION*****
 THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.