

# Reroof of Terrace Manor 1 & Oak Ridge

## Jefferson County Housing Authority

Bessemer and Brighton, Alabama

Reroof of Terrace Manor 1 & Oak Ridge  
Jefferson County Housing Authority

FINAL

No.	Description	Date

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**Title Sheet**

Project number 17025.2  
 Date 3/28/2019  
 Drawn by JPJ  
 Checked by TAA

**T100**

Scale

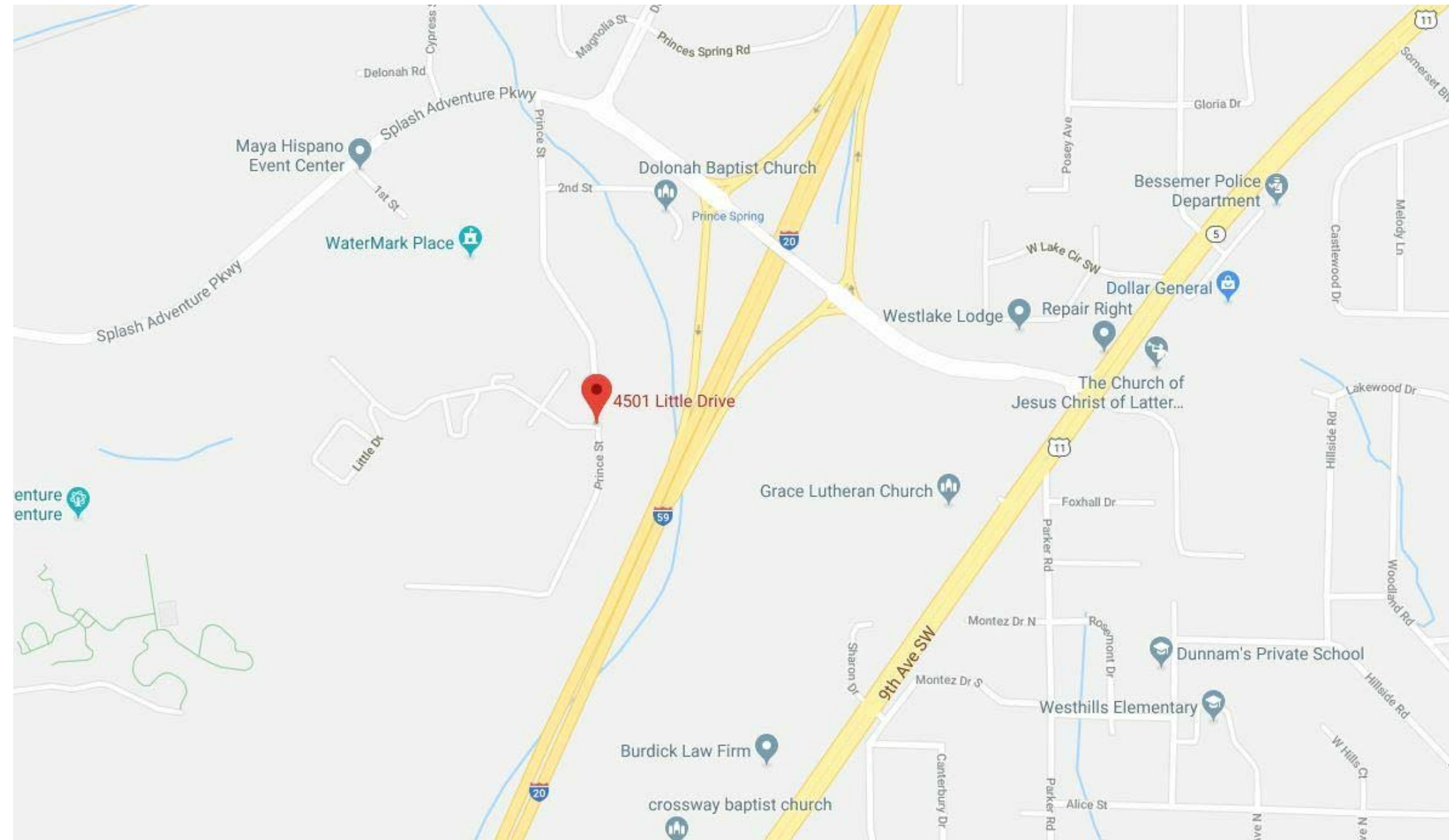
**ARCHITECT**  
 AHO ARCHITECTS, LLC  
 265 RIVERCHASE PARKWAY EAST, SUITE 204  
 HOOVER, ALABAMA 35244  
 205-983-6000

**FINAL**

Owner: \_\_\_\_\_  
 Architect: \_\_\_\_\_  
 Contractor: \_\_\_\_\_

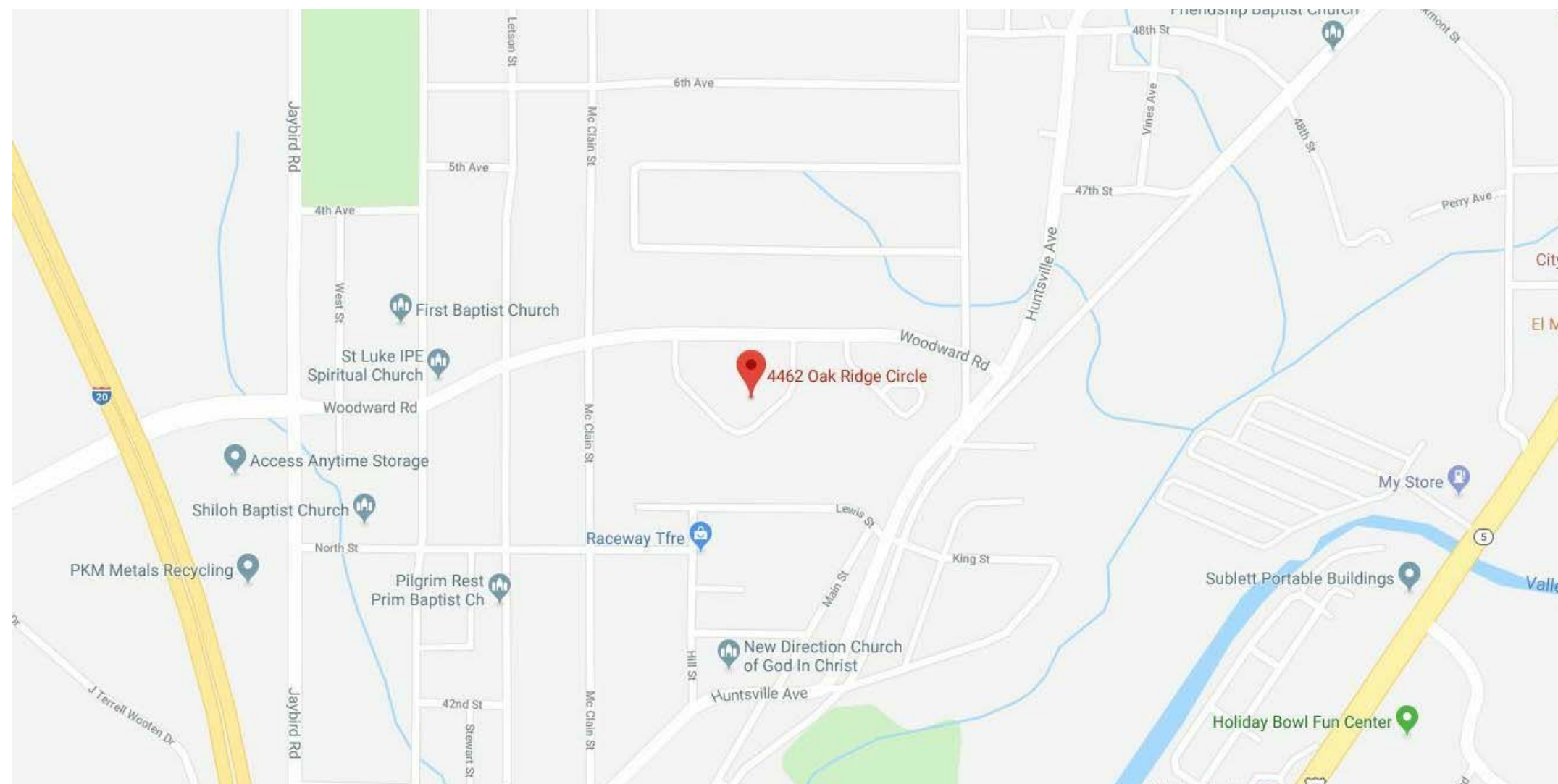


### VICINITY MAP



Terrace Manor I  
4501 Little Drive  
Bessemer, Alabama 35022  
205-849-0123

### VICINITY MAP



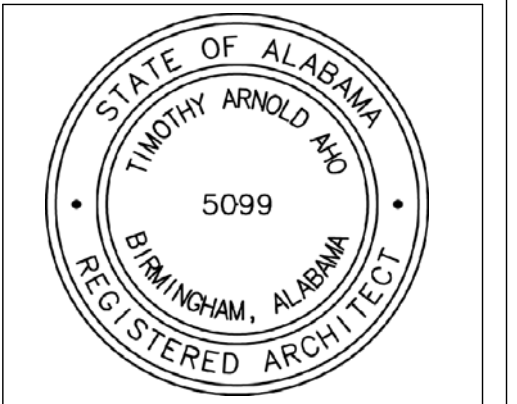
Oak Ridge  
4462 Oak Ridge Circle  
Brighton, Alabama 35020  
205-849-0123

Sheet Index	
Sheet Number	Sheet Name
T100	Title Sheet
G100	General Information
AS100	Architectural Site Plan
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A111	Roof Plan - Buildings D, E, F, Community and Maintenance
A200	Existing Elevations
A201	Existing Elevations
A202	Existing Elevations

Roof Keynotes	
Tag	Text
A	New asphalt shingles on new felt underlayment on existing wood deck
B	New self-adhered sheet underlayment
C	New ridge vent
D	New rain diverter (4' long)
E	New metal step flashing, kickout flashing (at eaves), weather barrier, and wall cladding.

### GENERAL PROJECT NOTES

#	Description
1	These documents are considered accurate and true to the best knowledge of the Architect at this time, but do not necessarily represent, nor are they intended to represent, actual existing conditions, dimensions, and tolerances. Contractor shall field-verify existing conditions including, but not limited to materials, construction, elevations, and dimensions prior to bidding and undertaking the work. Items of concern shall be brought to the attention of the Architect. Submittal of a proposal (bid) by a Contractor and their Subcontractors shall constitute an acknowledgement and confirmation of having complied with these requirements.
2	All work shall comply with all applicable local, state, and national codes, rules, ordinances and regulations and authorities having jurisdiction.
3	The Contractor shall comply with all applicable provisions of the specifications, including, but not limited to all general conditions, supplementary general conditions, special conditions, and material and construction provisions, which apply to materials or construction methods required by this project.
4	Where warranties are concerned, Contractor shall follow manufacturer's standards and recommendations unless specifically directed otherwise. Any conditions which might negatively affect the warranty shall be brought to the attention of the Architect in advance.
5	The Owner and Contractor shall promptly report to the Architect any defects, suspected defects, or discrepancies in the Architect's work or services of which the Owner or Contractor may become aware, so that the Architect may take measures to minimize the consequences of such a defect. Failure to notify the Architect shall relieve the Architect of costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.
6	Neither the professional activities of the Architect, nor the presence of the Architect or its employees and consultants at a construction site shall relieve the Contractor or others of their obligations, duties, and responsibilities including, but not limited to: construction means and methods, sequence, techniques, or procedures necessary for performing, superintending, or coordinating all portions of the work in accordance with the contract documents and any health and safety precautions required by agencies having jurisdictional authority over the project. The Architect and its personnel have no authority to exercise control over any Contractor or other entity or their employees in connection with their means, methods, or safety precautions. The Contractor is solely responsible for jobsite safety. The Owner, Architect, and their Consultants shall be indemnified and shall be made additional insureds under the Contractor's general liability insurance policy.
7	All work, unless specifically indicated otherwise, shall be the responsibility of the General Contractor and shall be performed by the tradesmen skilled in the required field.
8	"Provide" shall mean to furnish and install, complete and ready for intended use.
9	Provide pressure treated wood where in contact with concrete or masonry.
10	The Contractor shall be responsible for all cutting, fitting, and patching that may be required to complete the work.
11	Dimensions of existing construction and repetitive dimensions are sometimes omitted. Detailed dimensions not indicated may be found on large-scale drawings of the same areas. Drawings are intended to reflect the existing conditions as closely as possible, however, the Contractor shall field verify and accept all existing conditions and dimensions. Notify Architect of any discrepancies affecting the work.
12	Provide all temporary services required to facilitate the work indicated, including but not limited to the following: power, lighting, heat, and water.
13	The Contractor(s) shall provide all barriers, shoring, warning lights, etc. as required to conduct the work and maintain the site in a safe condition consistent with good construction practices and with all applicable rules and regulations.
14	All exist. utility services including domestic water, sanitary sewer, electricity, fuel oil and/or gas shall be disconnected and made safe prior to any demolition work. Any work which might require interruption of utility services to Owner or other tenants, shall be approved and coordinated beforehand with the Owner.
15	Contractor to patch and repair all surfaces, where existing construction is removed or disturbed by work, to match existing adjacent construction unless specifically indicated otherwise.
16	Completely remove items as indicated on the demolition plan(s). Items shall be demolished to their intersection with exist. walls or other surfaces indicated to remain, and these remaining walls shall be patched, cleaned, etc. as required and prepared to receive new finishes.
17	When painting over existing finishes, including, but not limited to, old paint, the Contractor shall prep the surface and follow manufacturer's recommendation for that substrate.
18	It is the intent of the bid and construction documents to indicate complete and fully operational systems (i.e. structural, HVAC, plumbing, electrical, roofing, etc.). The Contractor shall provide operational systems and testing which comply with applicable codes, regulations, and requirements of authorities having jurisdiction.
19	In some cases, specific products, trade names, system components, part numbers, or similar items of a proprietary nature may be indicated in the contract documents. Single-source prohibitions in public projects generally mean that equivalent products may be submitted to the Architect for consideration 10 days prior to bid. Acceptable equivalent products from listed manufacturers, as well as procedures for requesting approval of alternate products are included in the project specifications. It is the intent of the contract documents to indicate complete and functioning systems as specified, whether or not all components are indicated. See also related General Notes and Specifications.
20	Any work or utility outages which might disrupt the operations of the Owner or others shall be approved and coordinated in advance with the Owner and the Architect. The Contractor shall give the Owner and Architect at least three days advance notice prior to undertaking work which might cause disruption. Activities which produce utility outages, excessive noise, dust and other disruption shall be coordinated with the Owner and Architect. Some of these activities may need to occur at "off hours" to minimize disruption of the Owner's operations.
21	All wood blocking, trim, decking, etc. shall be decay-resistant treated, or as specified.
22	Do not paint any caulking or sealants which are subject to movement. Control joints shall be caulked after paint and special coating applications. Provide caulking or sealants in colors which match adjacent finished surface as approved by the Architect.



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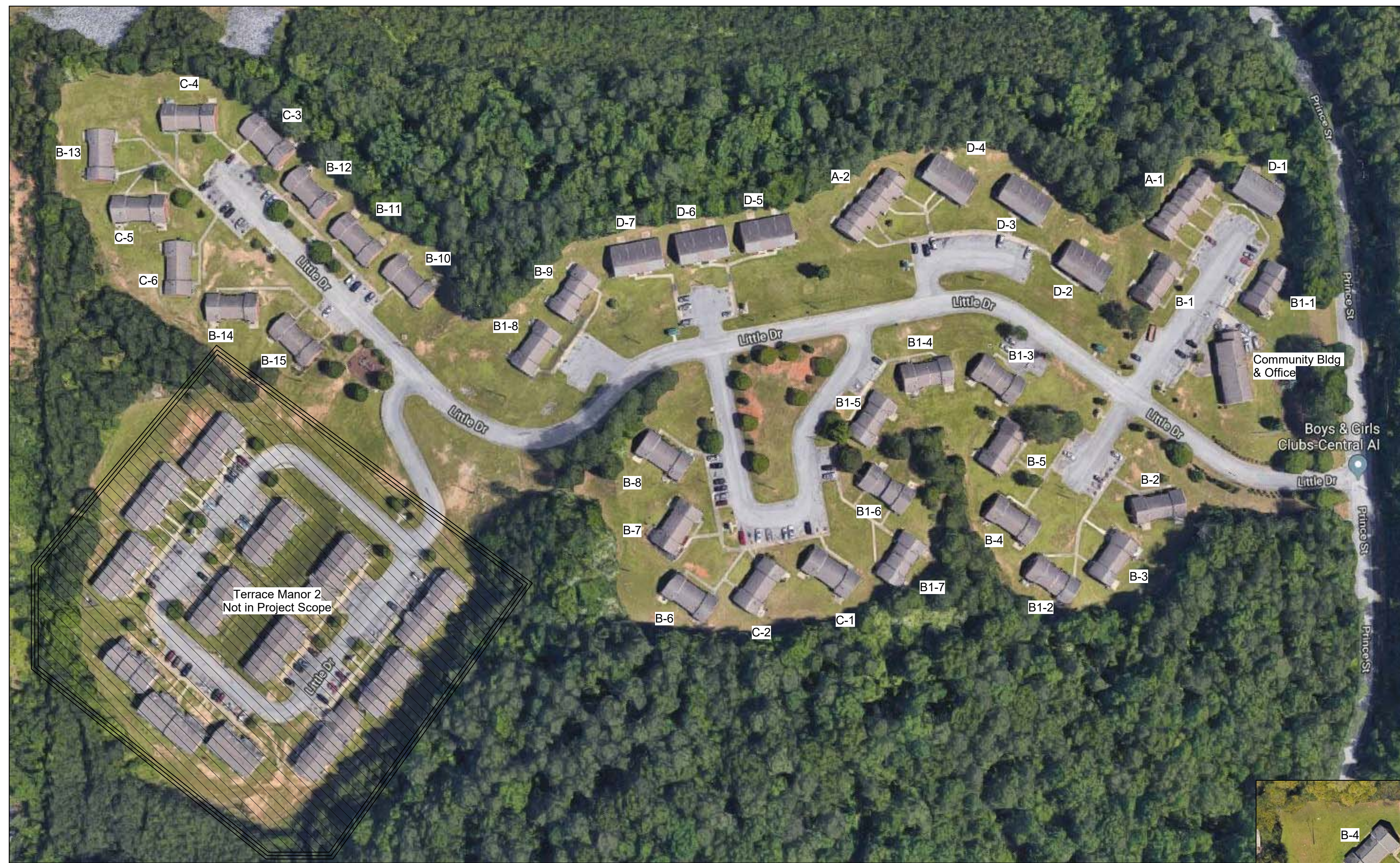
FINAL

No.	Description	Date

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General Information	
Project number	17025.2
Date	3/28/2019
Drawn by	EDM
Checked by	TAA
<b>G100</b>	
Scale	

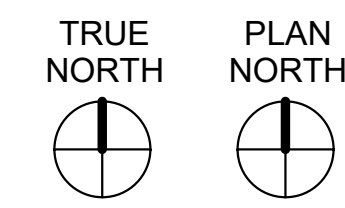




Terrace Manor 1 - Schedule of Building Types

Building Type	# of Bldgs.	# of Units	Gross S.F.	
			Bldg.	Total
A One B.R. Row (4 units)	2	8	2,620	5,240
B Two B.R. Duplex	15	30	1,612	24,180
B1 Two B.R. Duplex	8	16	1,612	12,896
C Two B.R. Duplex, HC	6	12	1,690	10,140
D Three B.R. Townhouse	7	14	2,530	17,710
Office/Community Bldg.	--	--	--	2,306
<b>Total</b>	<b>38</b>	<b>80</b>		<b>72,472</b>

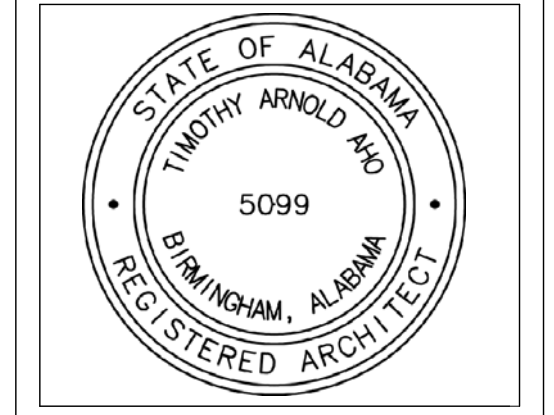
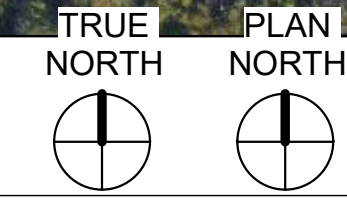
② 00 - Site Plan - Terrace Manor 1  
1" = 20'-0"



Oak Ridge - Schedule of Building Types

Building Type	# of Bldgs.	# of Units	Gross S.F.	
			Bldg.	Total
A One B.R. Row (4 units)	2	8	2,620	5,240
B Two B.R. Duplex	7	14	1,612	11,284
C Two B.R. Duplex, HC	2	4	1,690	3,380
D Three B.R. Flat	4	8	2,000	8,000
E Three B.R. Townhouse	4	8	2,592	10,368
Maintenance	--	--	--	665
<b>Total</b>	<b>19</b>	<b>42</b>		<b>38,937</b>

① 00 - Site Plan - Oak Ridge  
1" = 20'-0"



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Jefferson County Housing Authority  
Enter address here

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No.	Description	Date

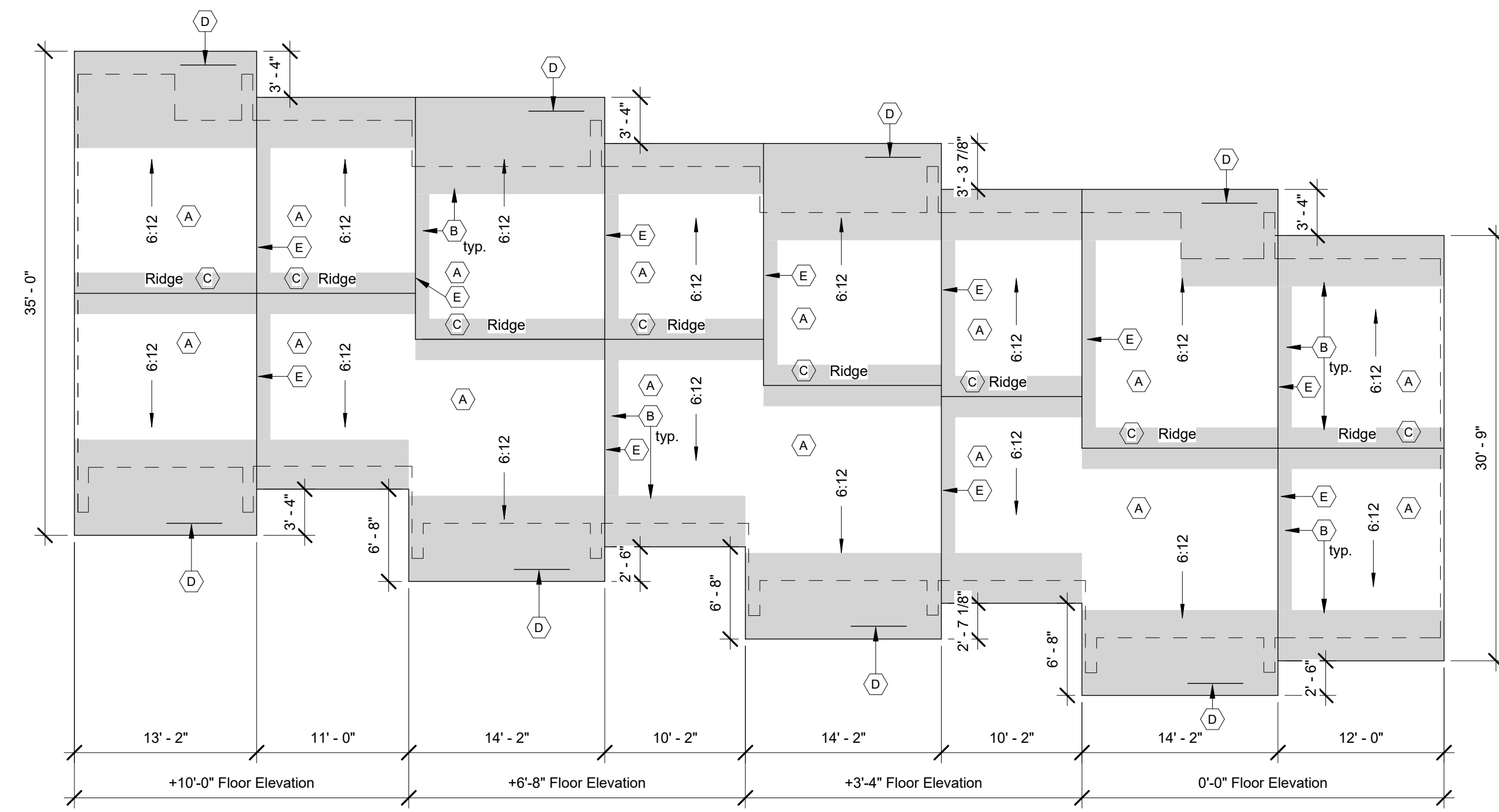
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Architectural Site Plan

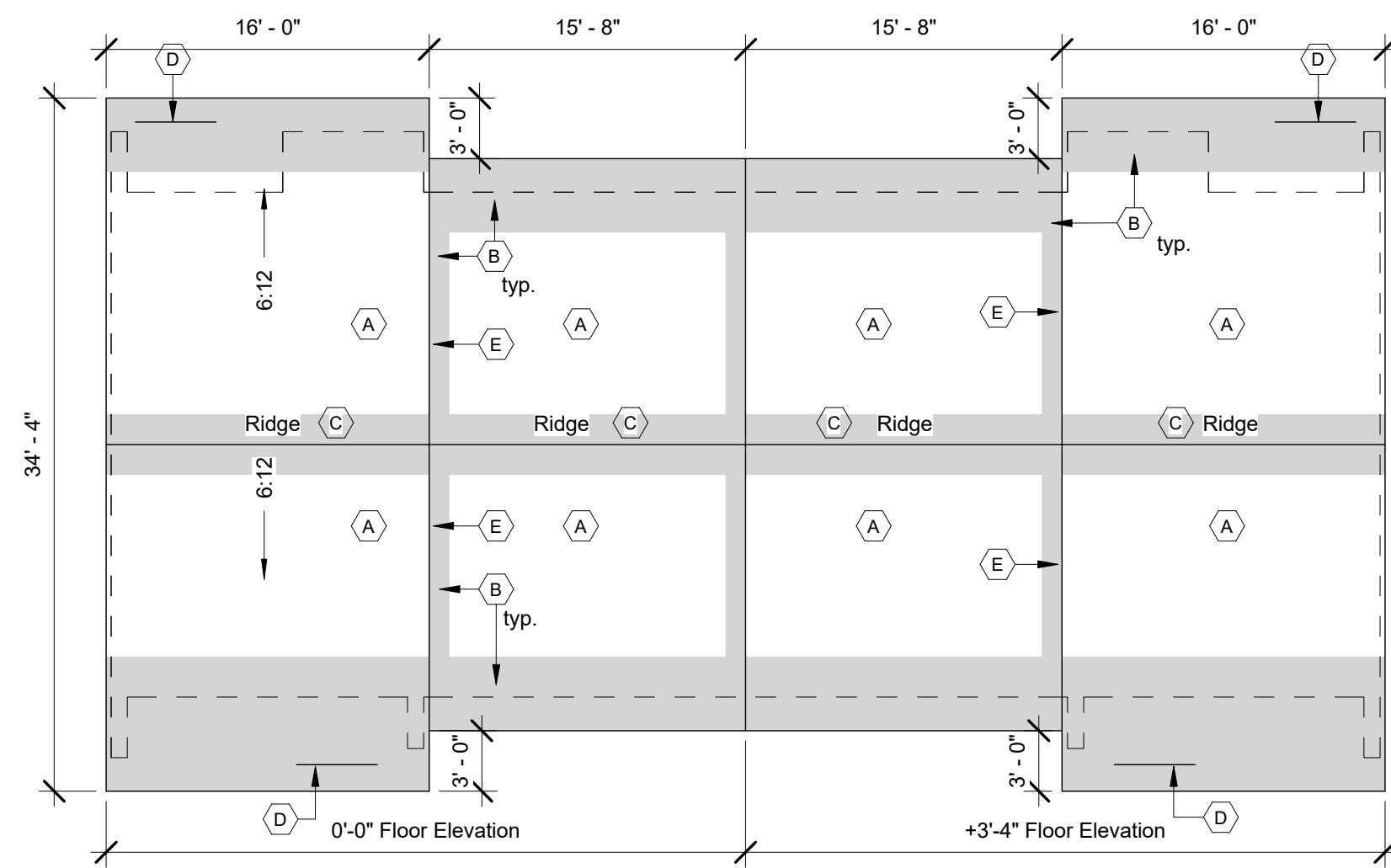
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Date 3/28/2019  
Drawn by JPJ  
Checked by TAA

**AS100**  
Scale 1" = 20'-0"

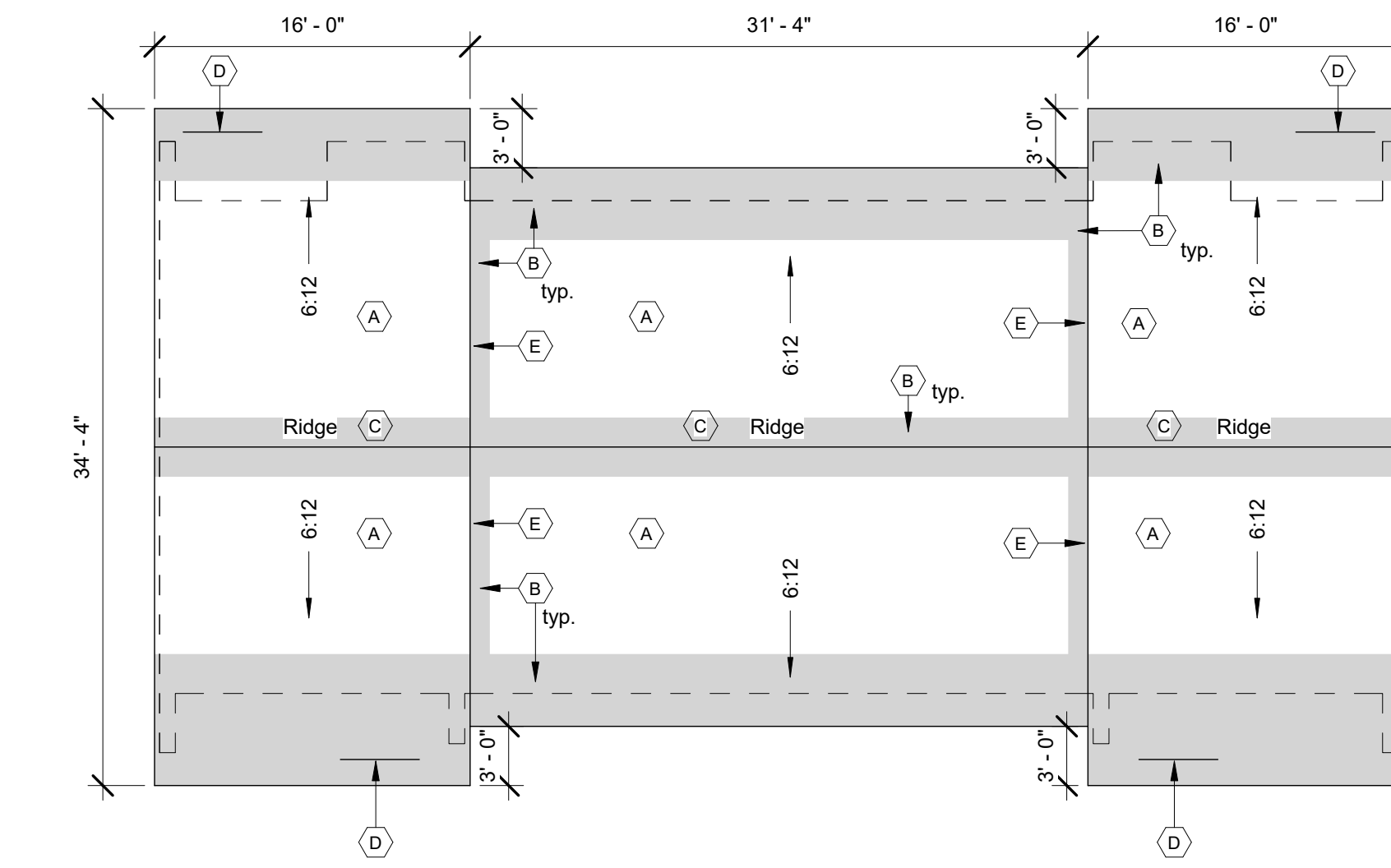




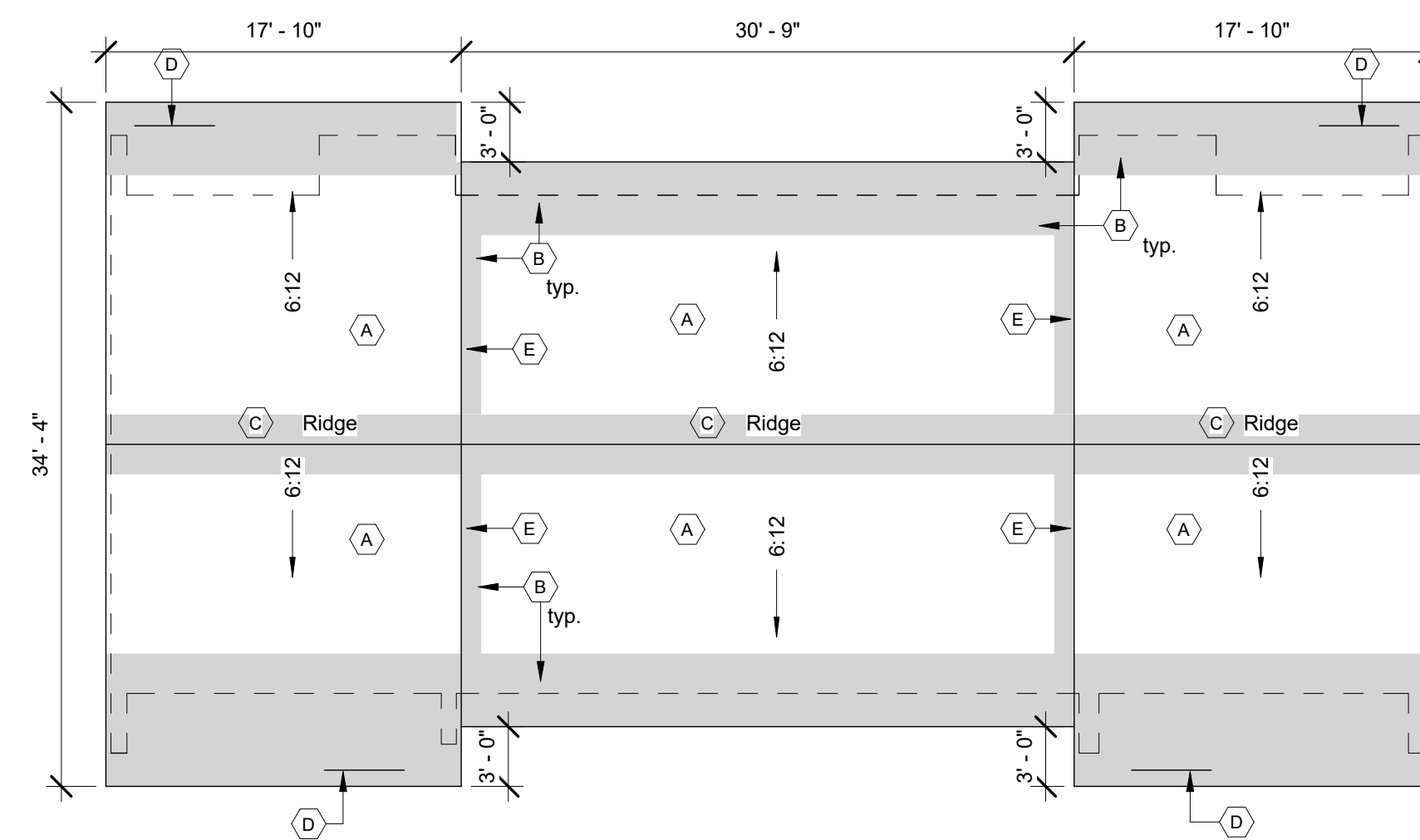
1 Roof Plan A  
1/8" = 1'-0"



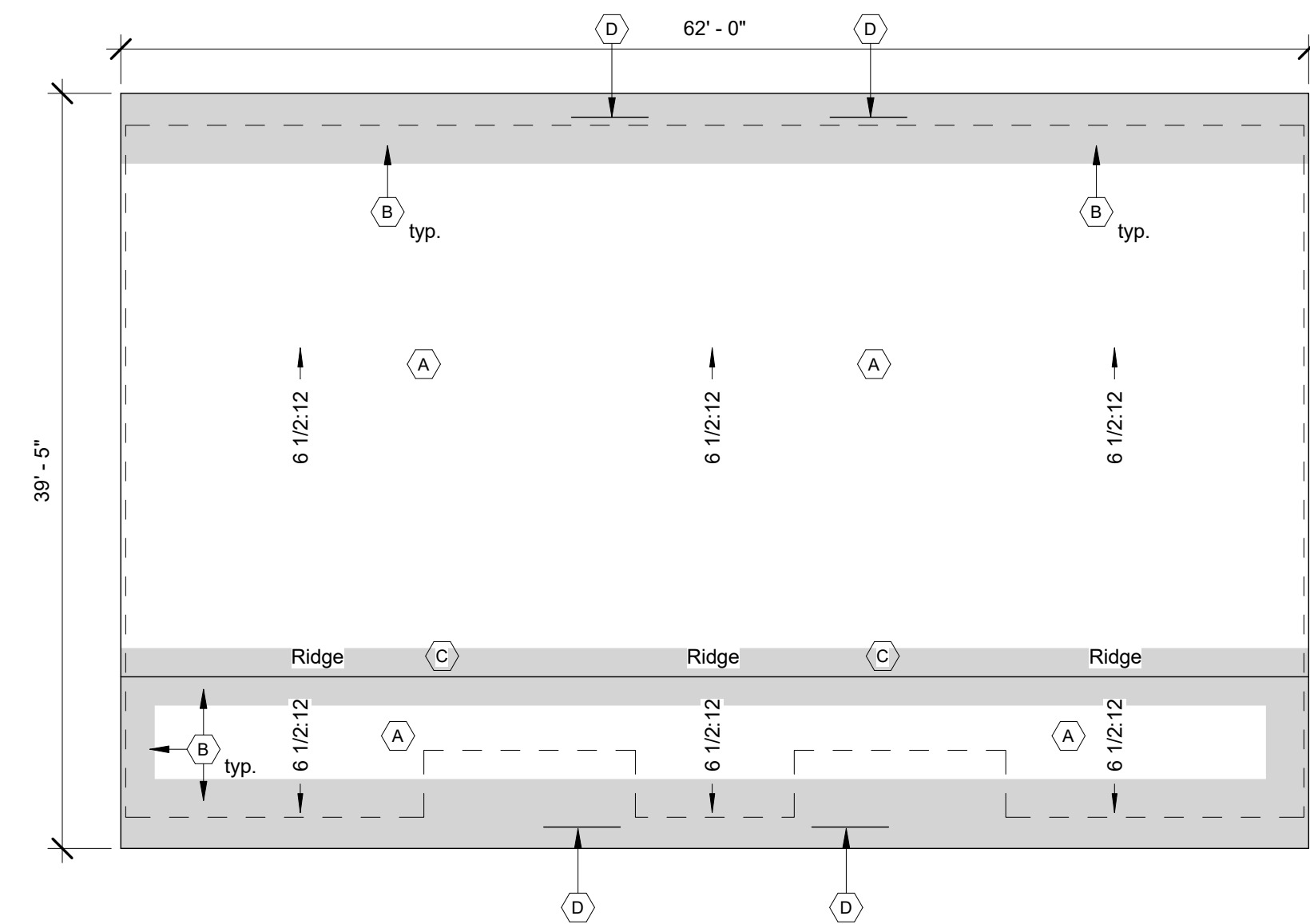
3 Roof Plan B1 - Terrace Manor  
1/8" = 1'-0"



2 Roof Plan B  
1/8" = 1'-0"



4 Roof Plan C  
1/8" = 1'-0"



5 Roof Plan D - Terrace Manor  
1/8" = 1'-0"

Roof Keynotes	
Tag	Text
A	New asphalt shingles on new felt underlayment on existing wood deck
B	New self-adhered sheet underlayment
C	New ridge vent
D	New rain diverter (4' long)
E	New metal step flashing, kickout flashing (at eaves), weather barrier, and wall cladding.



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### DEMOLITION NOTES

- Remove and properly dispose of all asphalt shingles, ridge vents (if any), rain diverters, underlayment, drip edge, pipe boots, and flashings. Prepare roof deck for reroofing.
- At area of wall between roof levels, remove metal cladding, weather barrier, and roof-to-wall flashing.
- Remove and replace areas of damaged roof deck, wall sheathing, fascia, and soffit. Areas shall be approved by Owner or Architect prior to removal. See Specification Section 012100 "Allowances" and Section 012200 "Unit Prices" for coordination.

### ROOF NOTES

- Self-adhering sheet underlayment shall be provided along all eaves and shall extend to a point at least 24" inside the exterior wall line of the building.
- Self-adhering sheet underlayment shall be provided along all ridges and shall extend 18" minimum on either side of the ridge. For airflow, cut underlayment back 1" along each side of the ridge.
- Self-adhering sheet underlayment shall be provided at all roof to wall conditions and shall extend vertically up the wall 12" minimum and horizontally on the roof 24" minimum.
- At area of wall between roof levels, provide new metal step flashing, kickout flashing (at eaves), weather barrier, and metal wall cladding. Bid as Alternate #1 (Deductive), provide vinyl horizontal lap siding in lieu of metal wall cladding.
- Install new ridge vents throughout.
- Install new vent pipe boot at each pipe. Verify quantities prior to bidding.
- Install new roof flashing and storm collar at all flue pipes. Existing flue pipes and caps shall remain. Contractor is responsible for any damage to flue pipe or cap caused by roofing activities.
- Install new rain diverter at the roof, 12" from the edge, above all entry doors.
- Provide new drip edge at all rakes and eaves. Match color of fascia.
- Replace all static vents with like color and venting capacity, typical. Verify quantities prior to bidding.

FINAL

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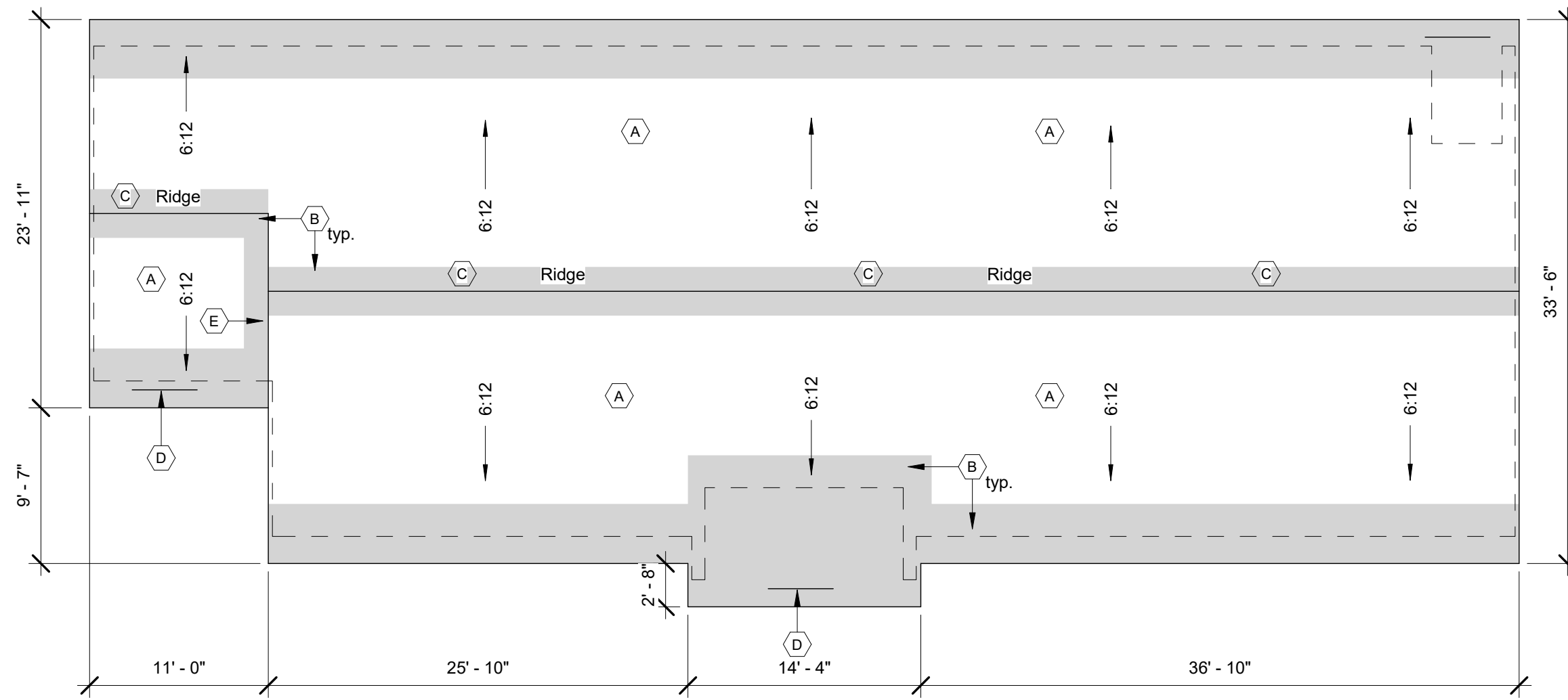
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Roof Plans  
Buildings A, B, B-1,  
C and D

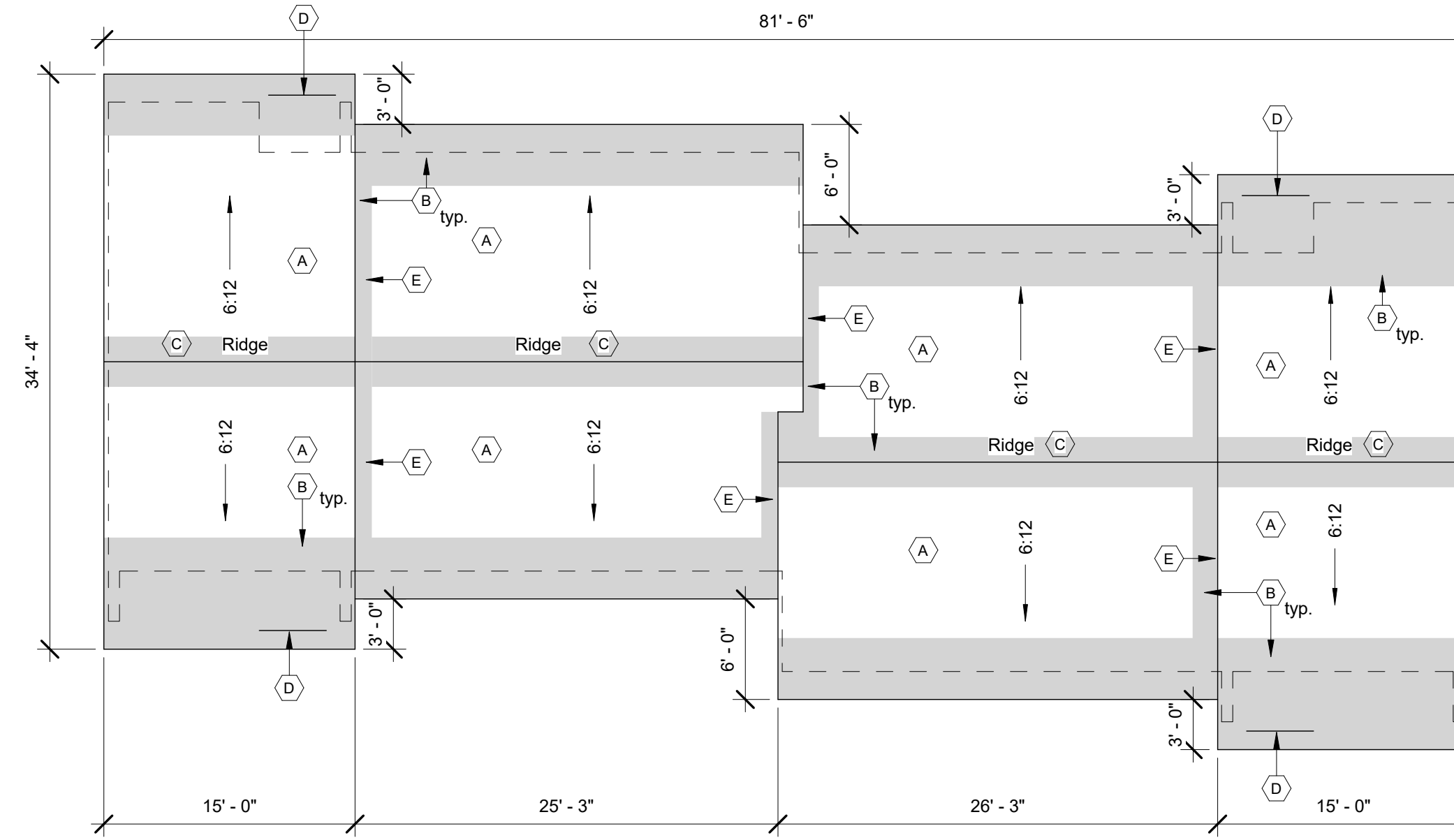
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Date	3/28/2019
Drawn by	EDM
Checked by	TAA

**A110**

Scale As indicated

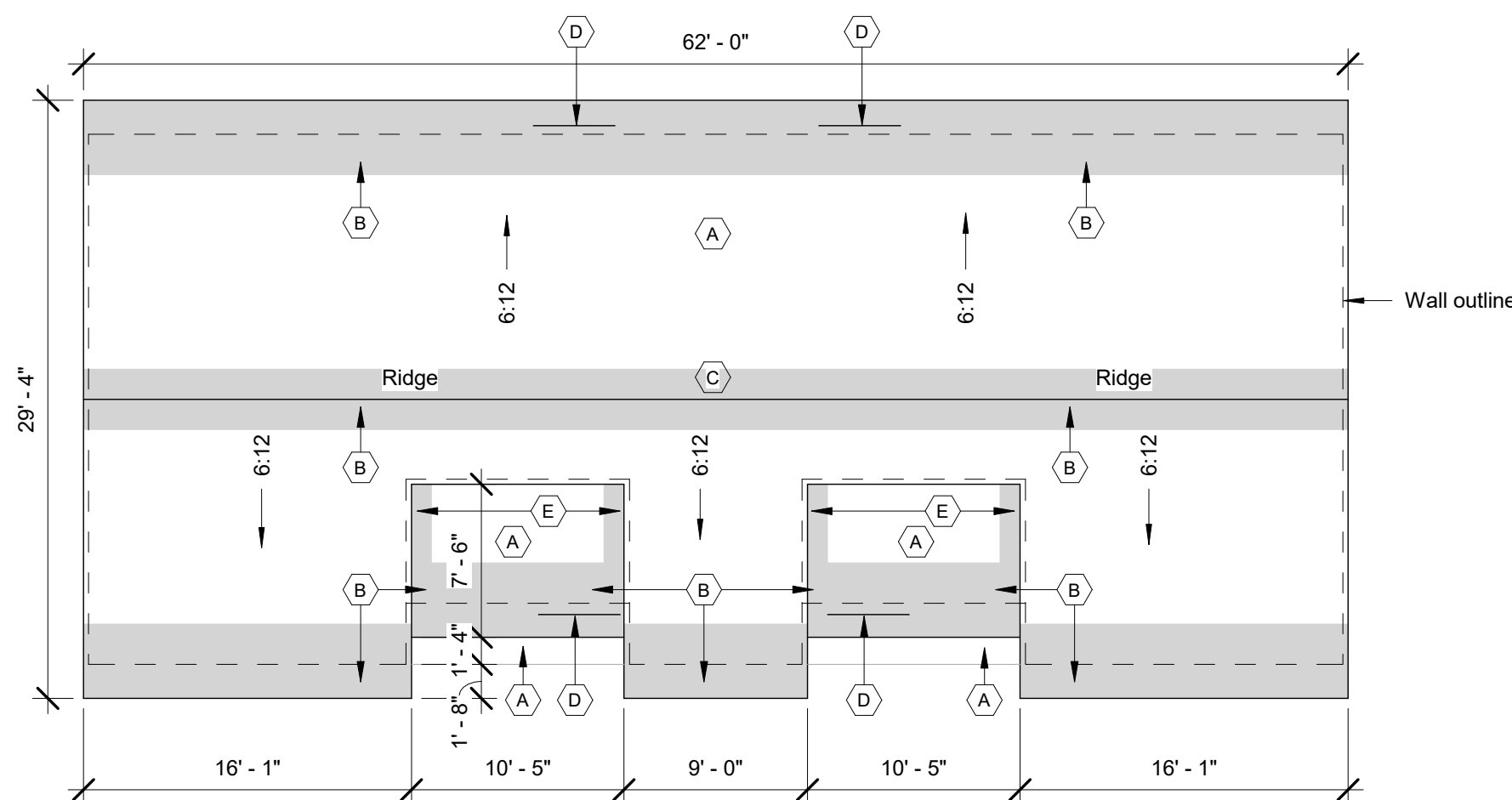


1 Roof Plan Community Bldg - Terrace Manor  
1/8" = 1'-0"

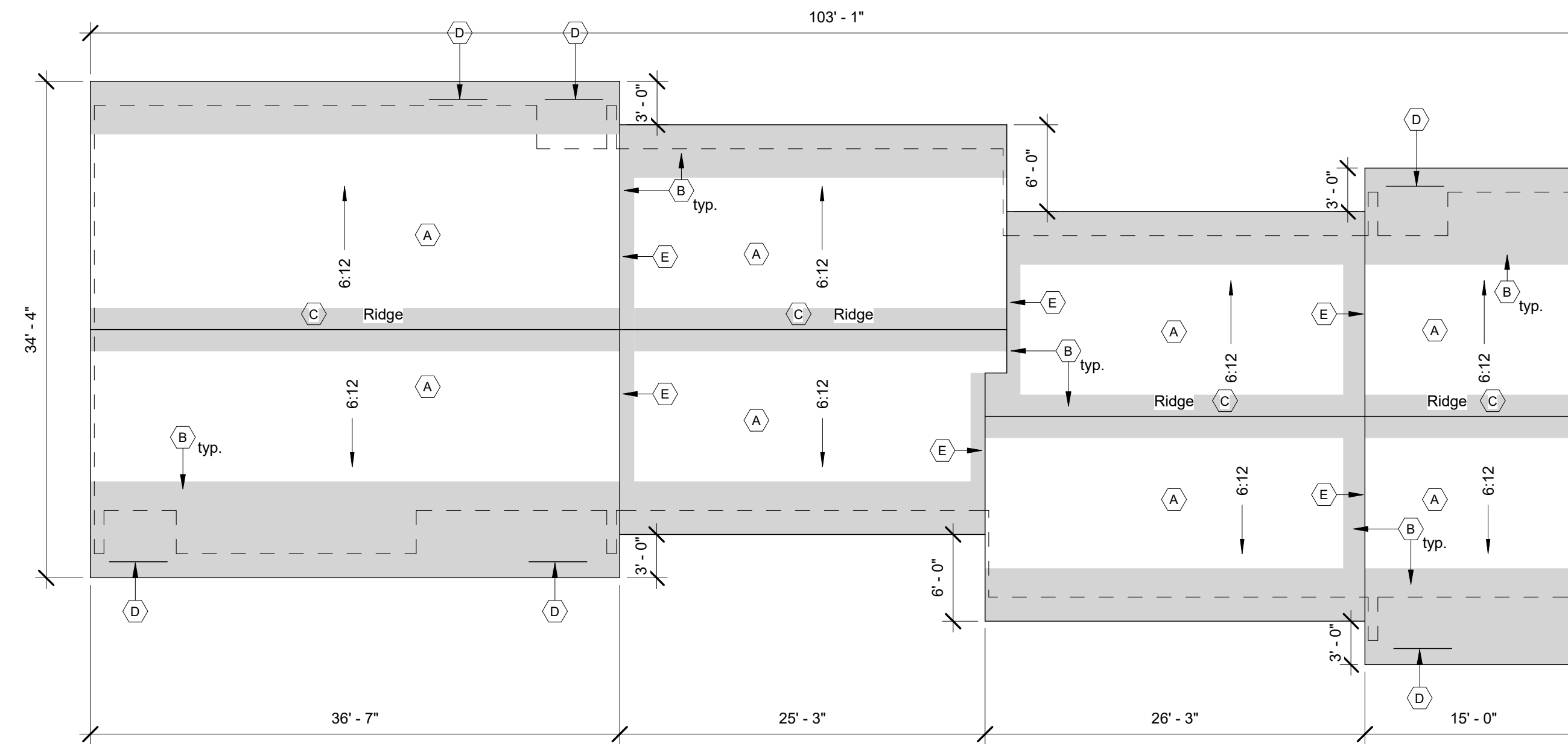


2 Roof Plan D - Oak Ridge  
1/8" = 1'-0"

Roof Keynotes	
Tag	Text
A	New asphalt shingles on new felt underlayment on existing wood deck
B	New self-adhered sheet underlayment
C	New ridge vent
D	New rain diverter (4' long)
E	New metal step flashing, kickout flashing (at eaves), weather barrier, and wall cladding.



3 Roof Plan E - Oak Ridge  
1/8" = 1'-0"



4 Roof Plan Maintenance - Oak Ridge  
1/8" = 1'-0"

### DEMOLITION NOTES

- Remove and properly dispose of all asphalt shingles, ridge vents (if any), rain diverters, underlayment, drip edge, pipe boots, and flashings. Prepare roof deck for reroofing.
- At area of wall between roof levels, remove metal cladding, weather barrier, and roof-to-wall flashing.
- Remove and replace areas of damaged roof deck, wall sheathing, fascia, and soffit. Areas shall be approved by Owner or Architect prior to removal. See Specification Section 012100 "Allowances" and Section 012200 "Unit Prices" for coordination.

### ROOF NOTES

- Self-adhering sheet underlayment shall be provided along all eaves and shall extend to a point at least 24" inside the exterior wall line of the building.
- Self-adhering sheet underlayment shall be provided along all ridges and shall extend 18" minimum on either side of the ridge. For airflow, cut underlayment back 1" along each side of the ridge.
- Self-adhering sheet underlayment shall be provided at all roof to wall conditions and shall extend vertically up the wall 12" minimum and horizontally on the roof 24" minimum.
- At area of wall between roof levels, provide new metal step flashing, kickout flashing (at eaves), weather barrier, and metal wall cladding. Bid as Alternate #1 (Deductive), provide vinyl horizontal lap siding in lieu of metal wall cladding.
- Install new ridge vents throughout.
- Install new vent pipe boot at each pipe. Verify quantities prior to bidding.
- Install new roof flashing and storm collar at all flue pipes. Existing flue pipes and caps shall remain. Contractor is responsible for any damage to flue pipe or cap caused by roofing activities.
- Install new rain diverter at the roof, 12" from the edge, above all entry doors.
- Provide new drip edge at all rakes and eaves. Match color of fascia.
- Replace all static vents with like color and venting capacity, typical. Verify quantities prior to bidding.



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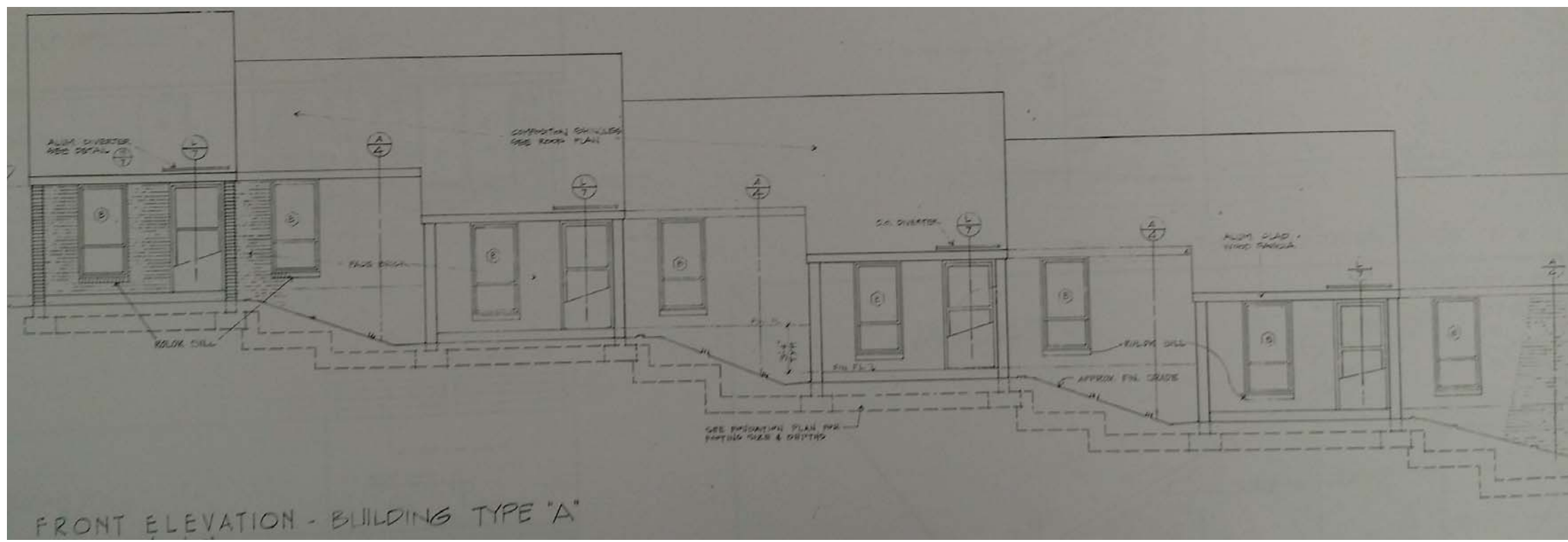
**Roof Plan - Buildings D, E, F, Community and Maintenance**

Project number 17025.2  
Date 3/28/2019  
Drawn by EDM  
Checked by TAA

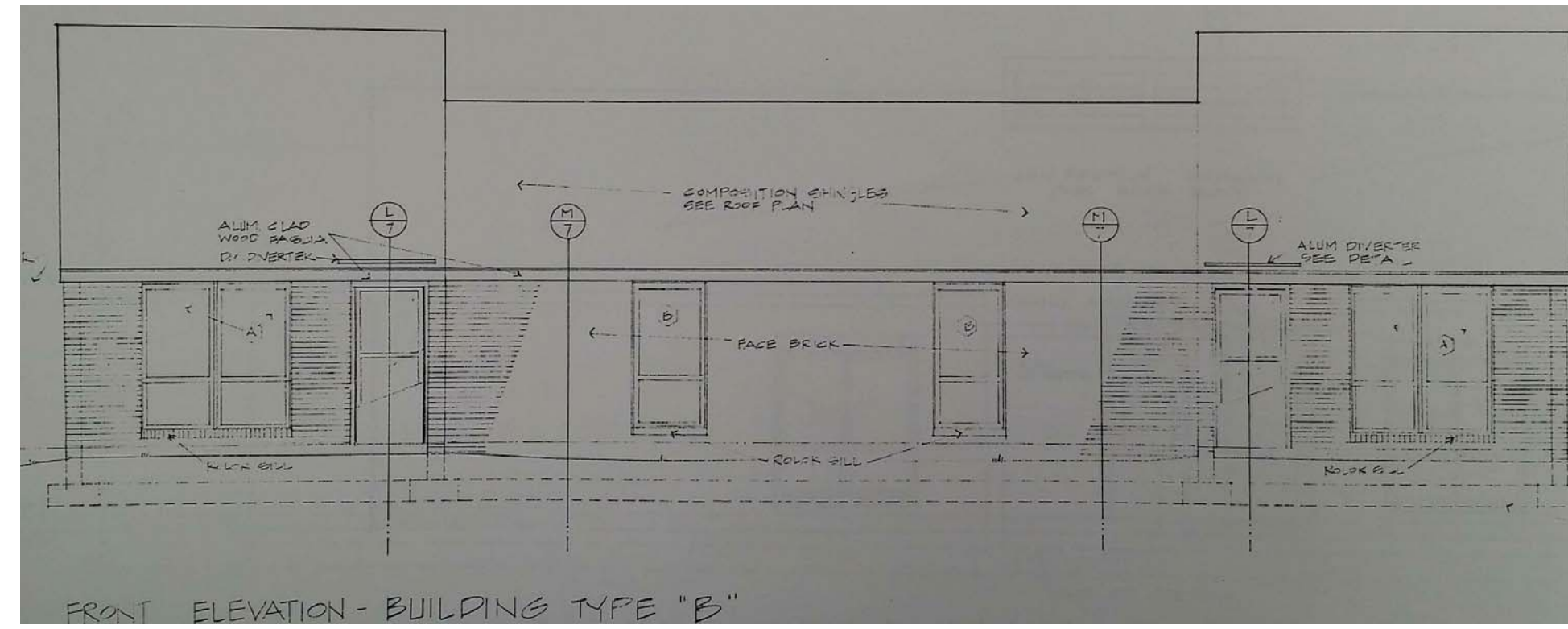
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Scale As indicated



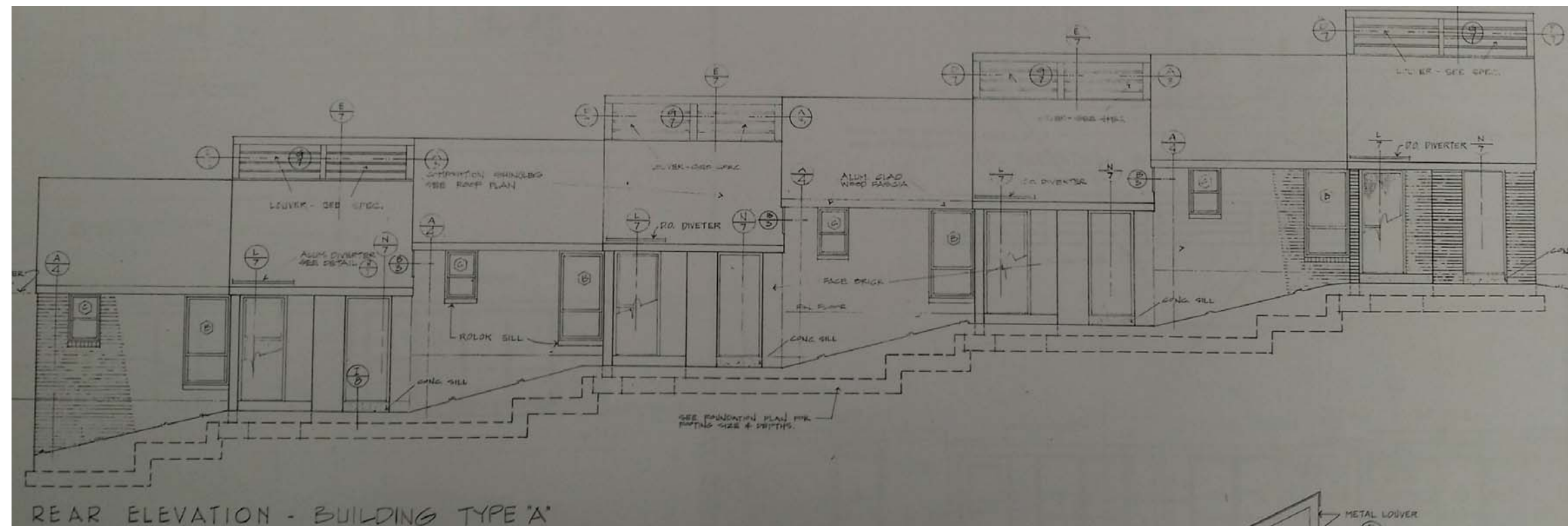
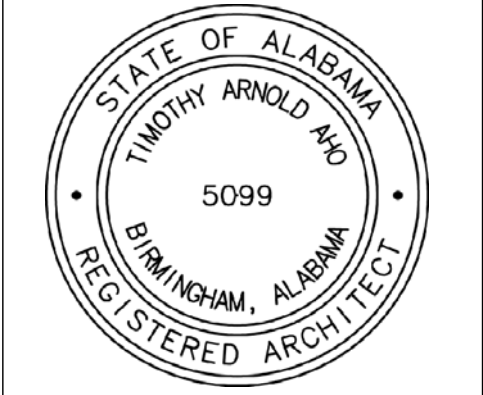


FRONT ELEVATION - BUILDING TYPE "A"

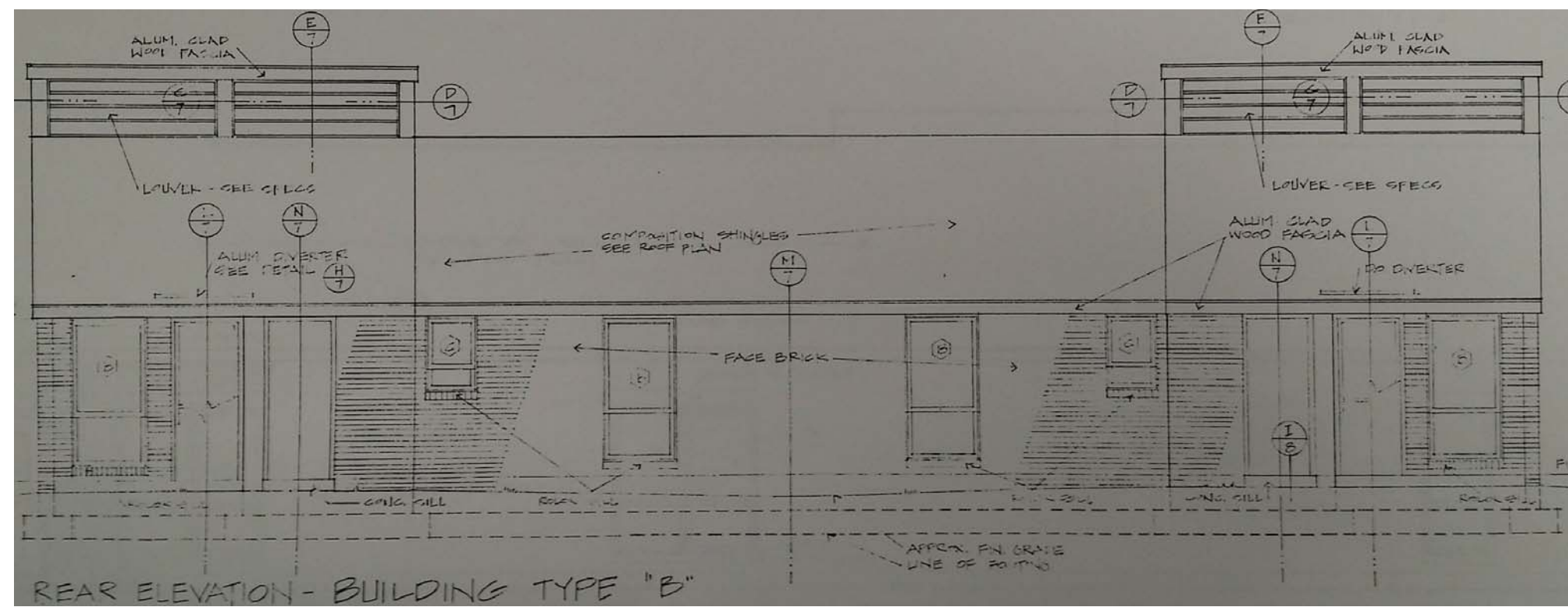


FRONT ELEVATION - BUILDING TYPE "B"

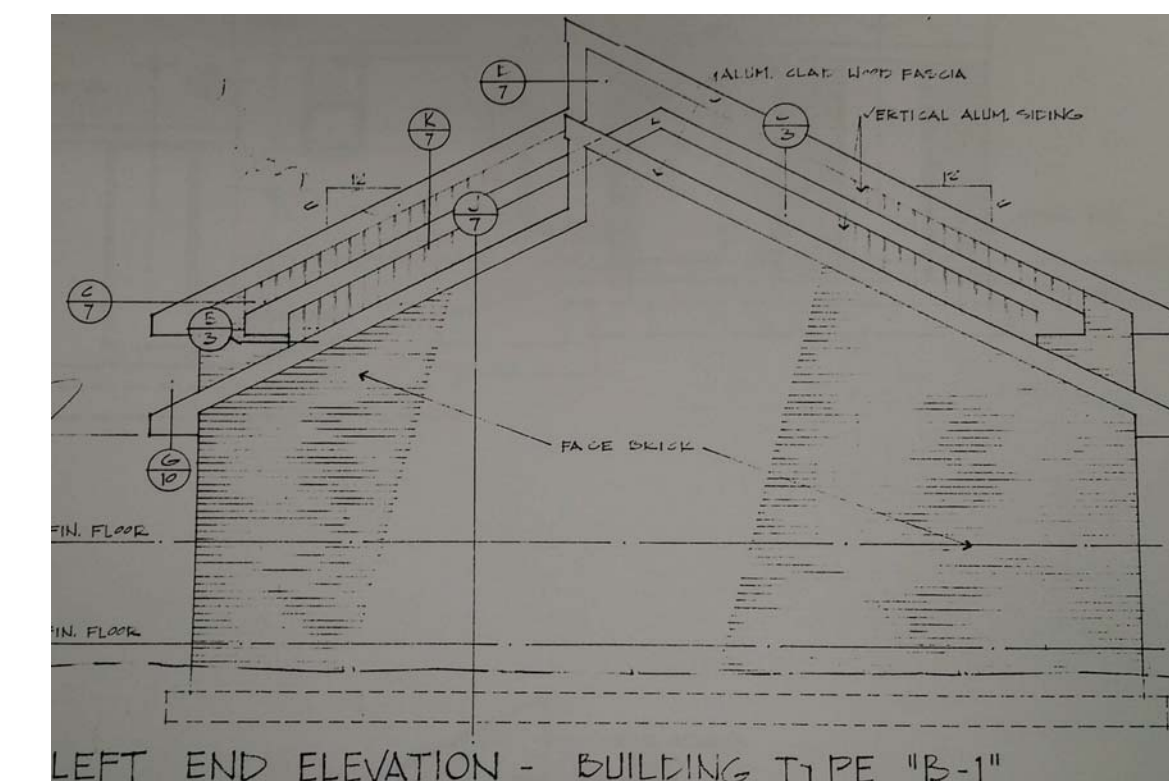
\*Note: The exterior elevations are provided as a convenience to the Contractor to convey design intent of original construction documents. Existing conditions must be verified prior to bidding the project.



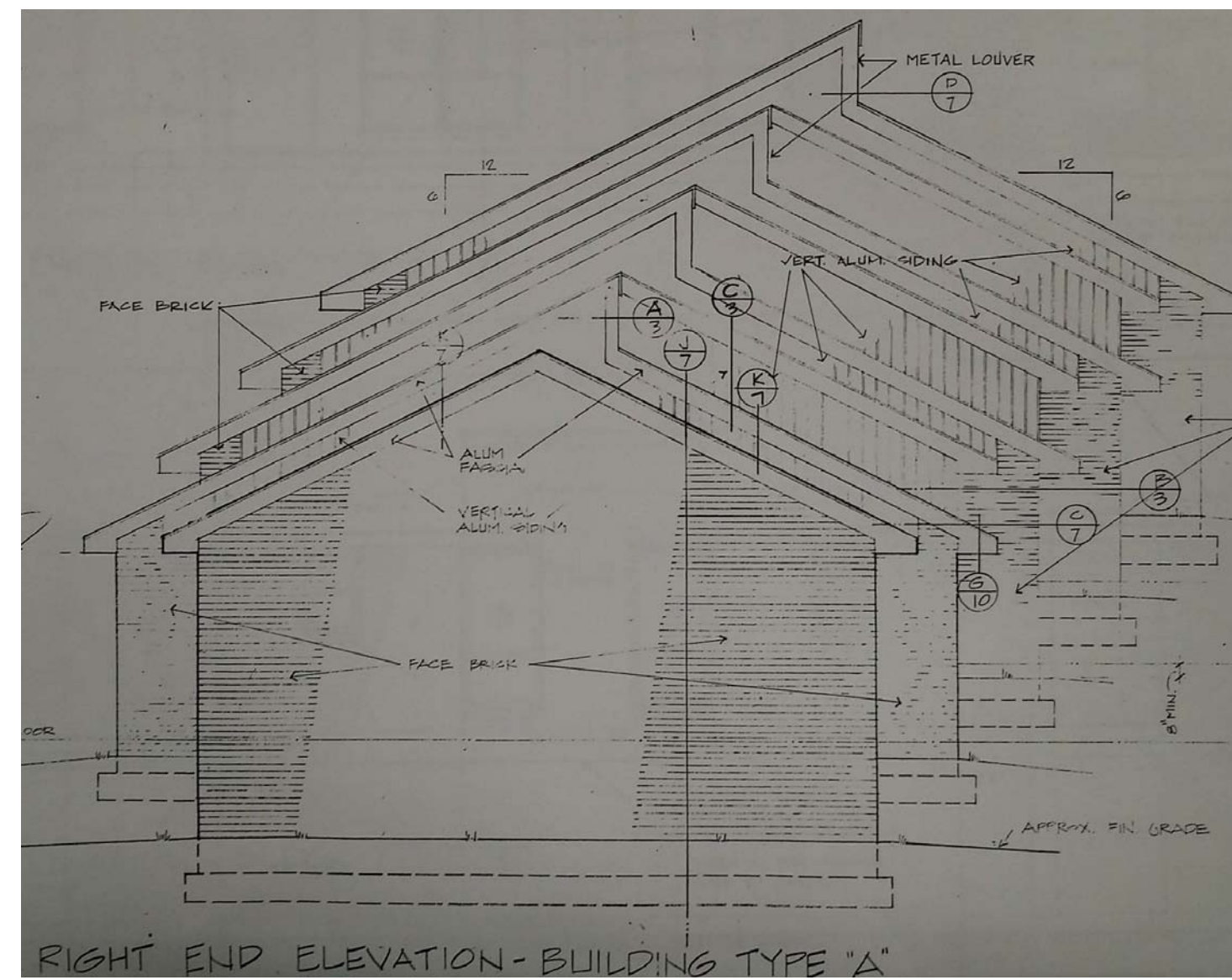
REAR ELEVATION - BUILDING TYPE "A"



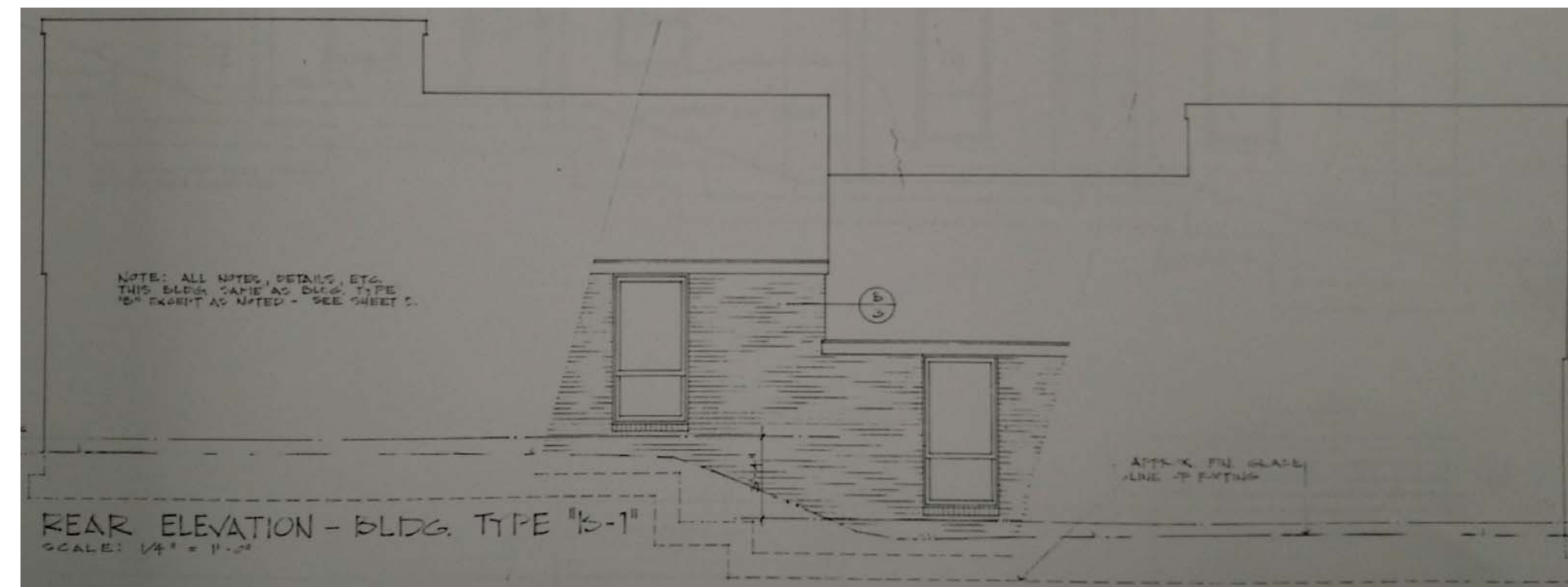
REAR ELEVATION - BUILDING TYPE "B"



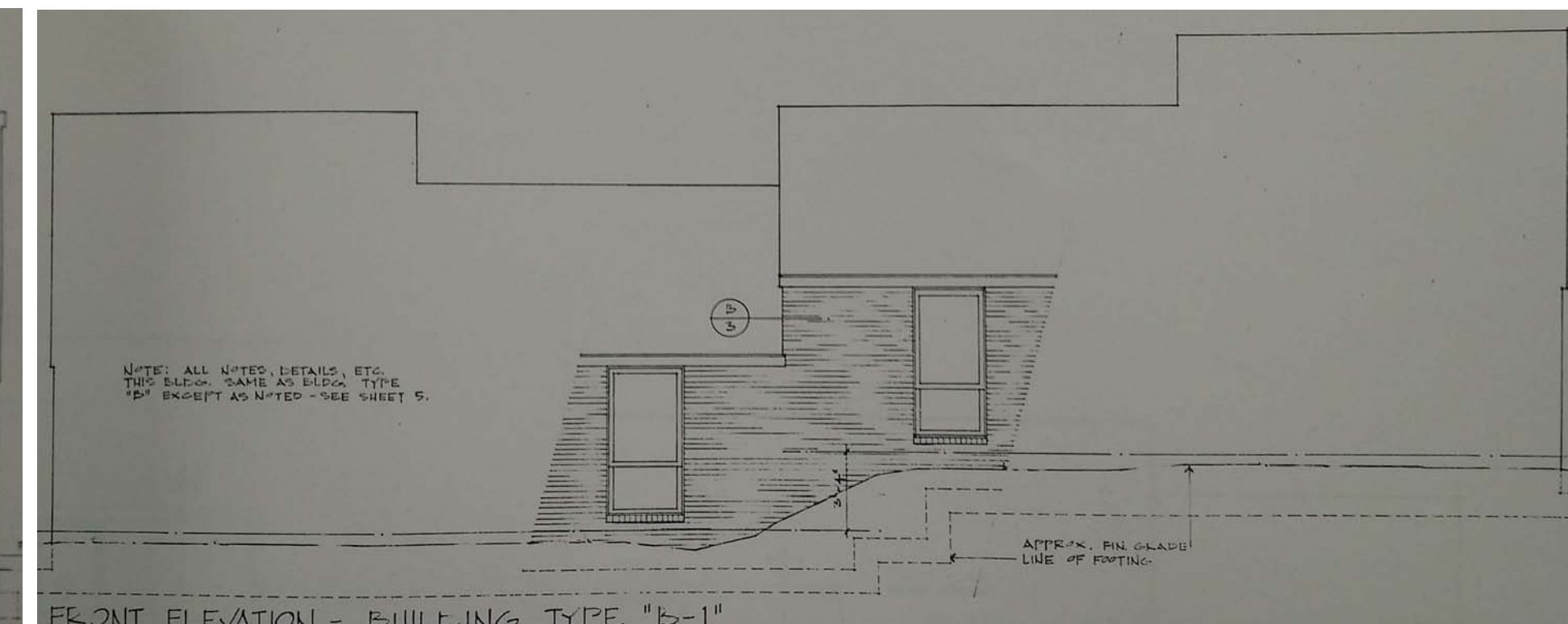
LEFT END ELEVATION - BUILDING TYPE "B-1"



RIGHT END ELEVATION - BUILDING TYPE "A"



REAR ELEVATION - BLDG. TYPE "B-1"



FRONT ELEVATION - BUILDING TYPE "B-1"

Reroof of Terrace Manor 1 & Oak Ridge

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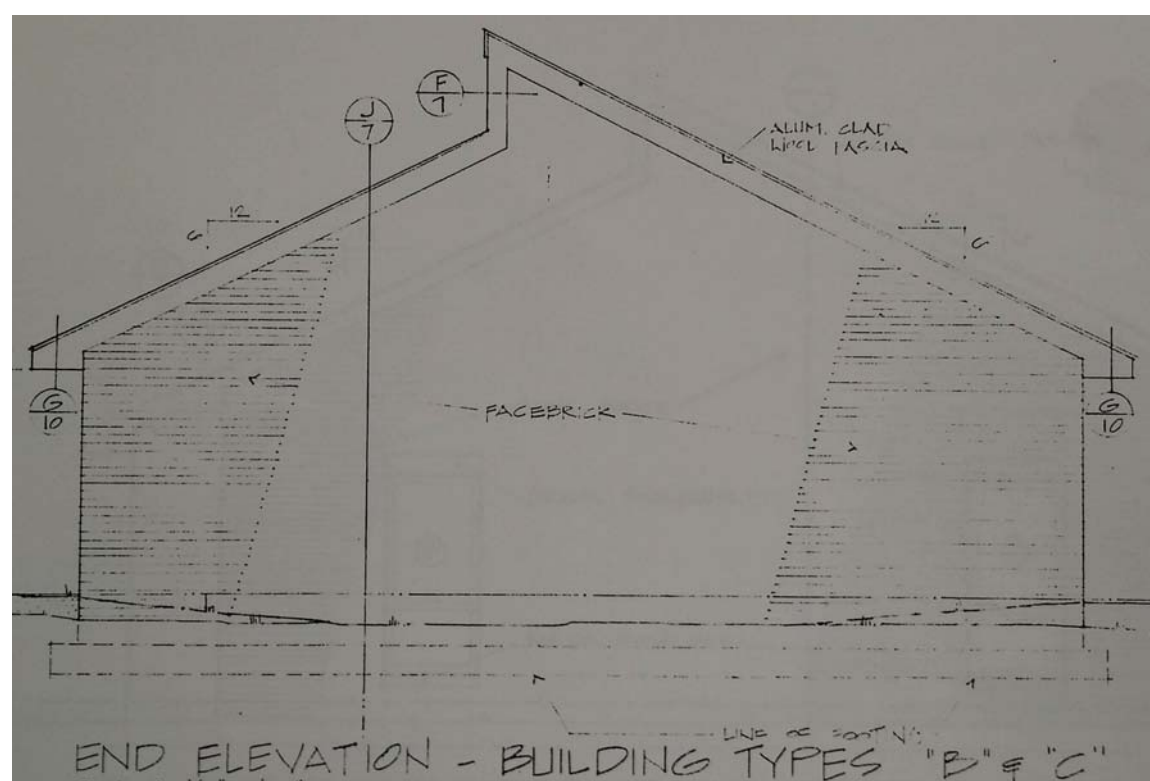
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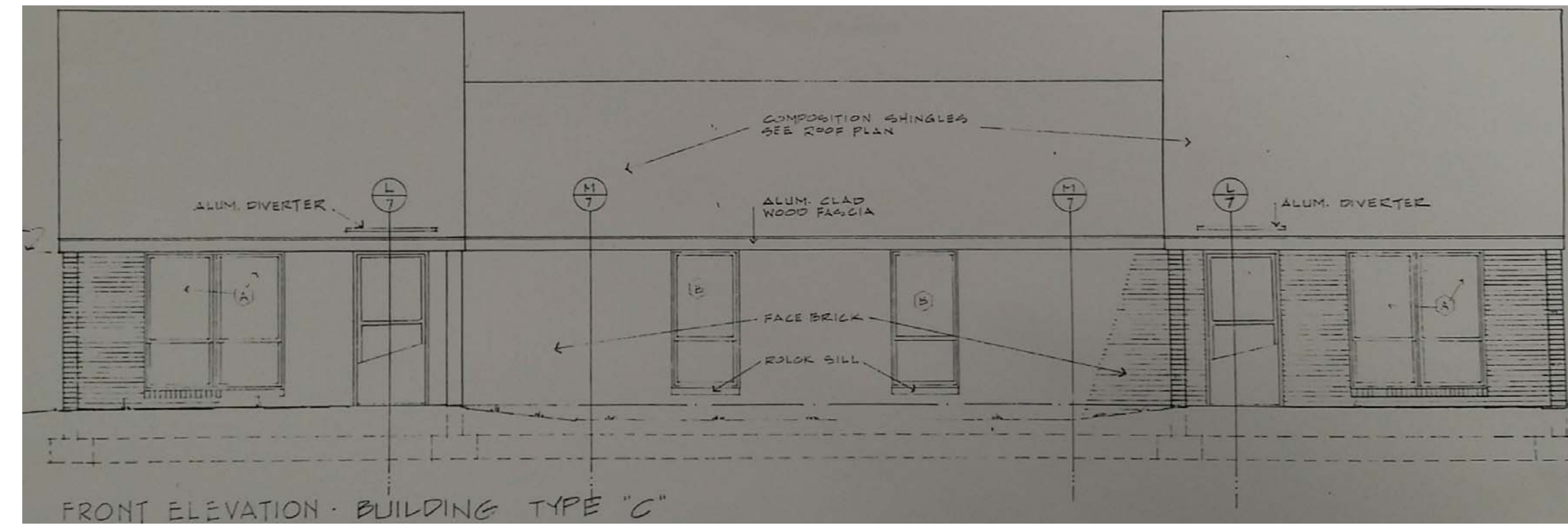
Existing Elevations

Project number 17025.2  
 Date 3/28/2019  
 Drawn by EDM  
 Checked by TAA

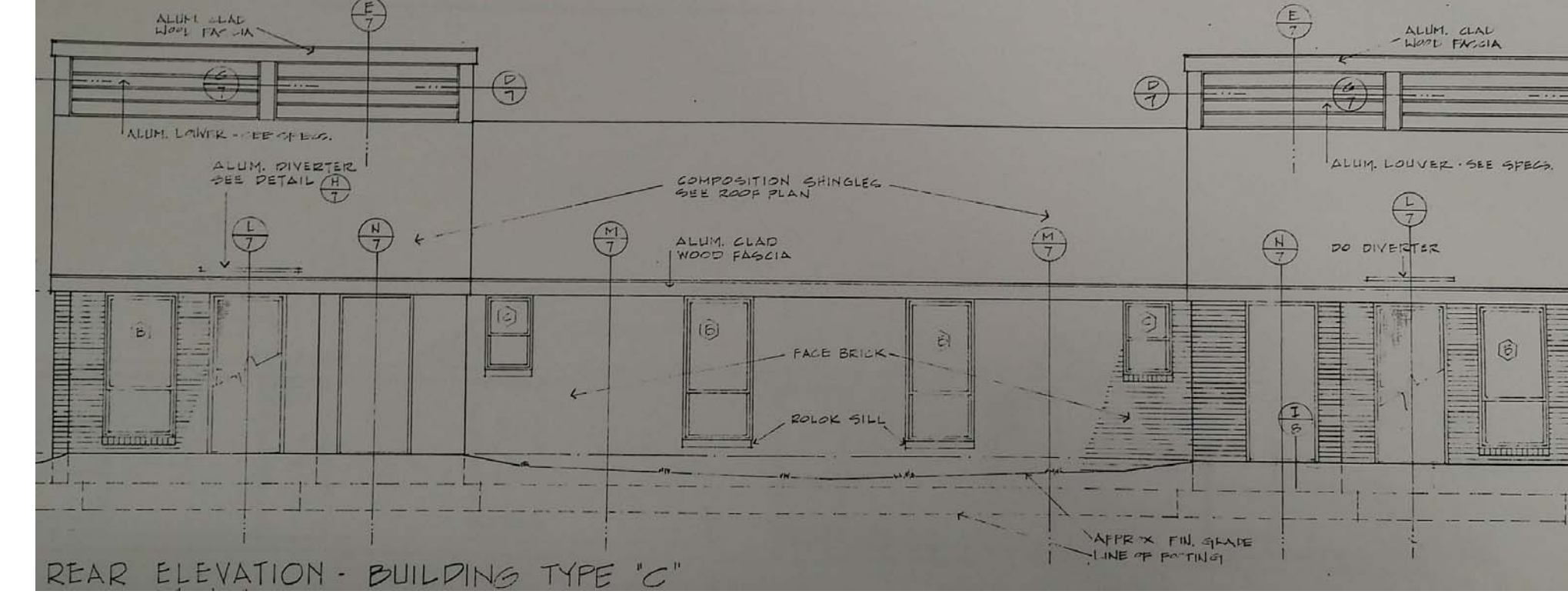
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END ELEVATION - BUILDING TYPES "B" & "C"

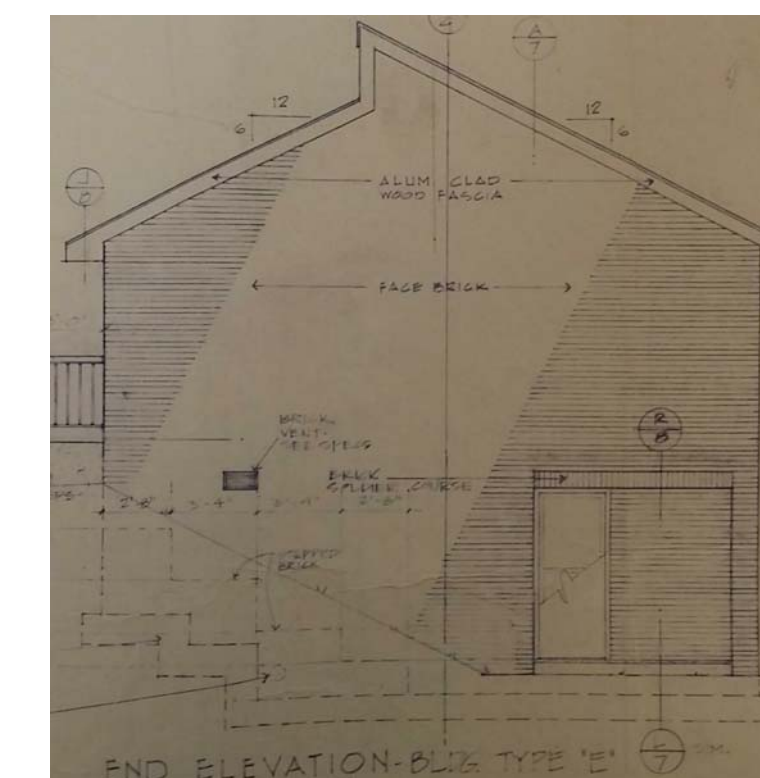
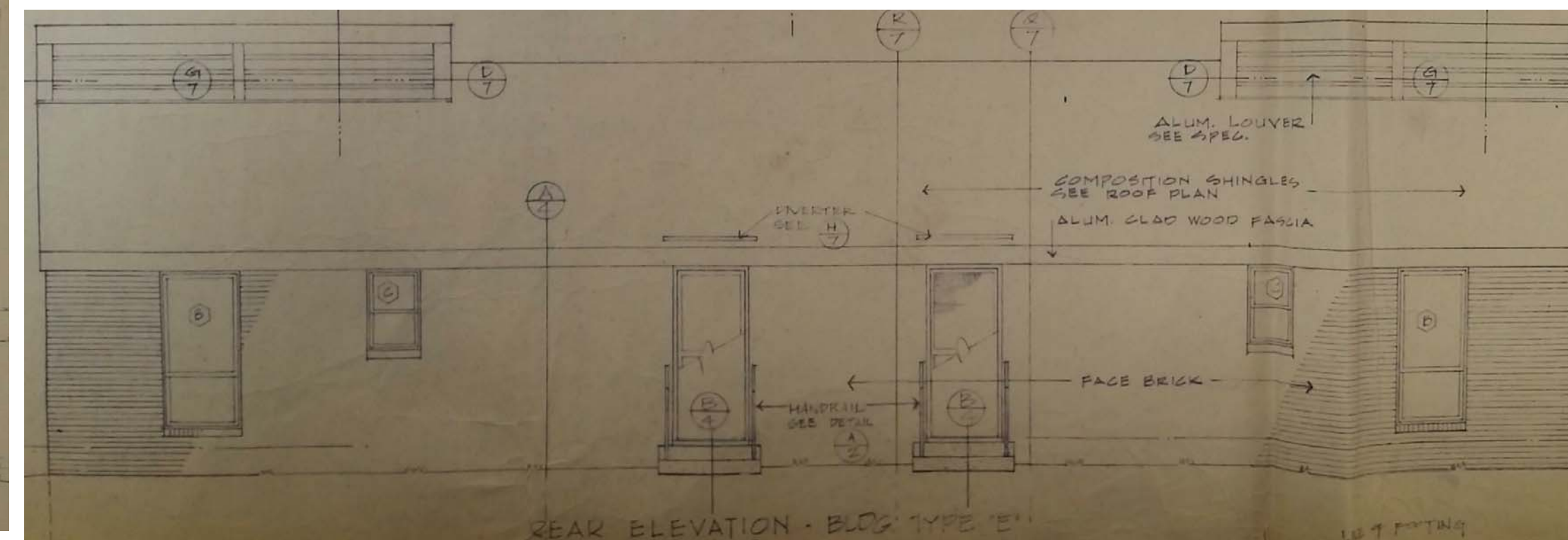
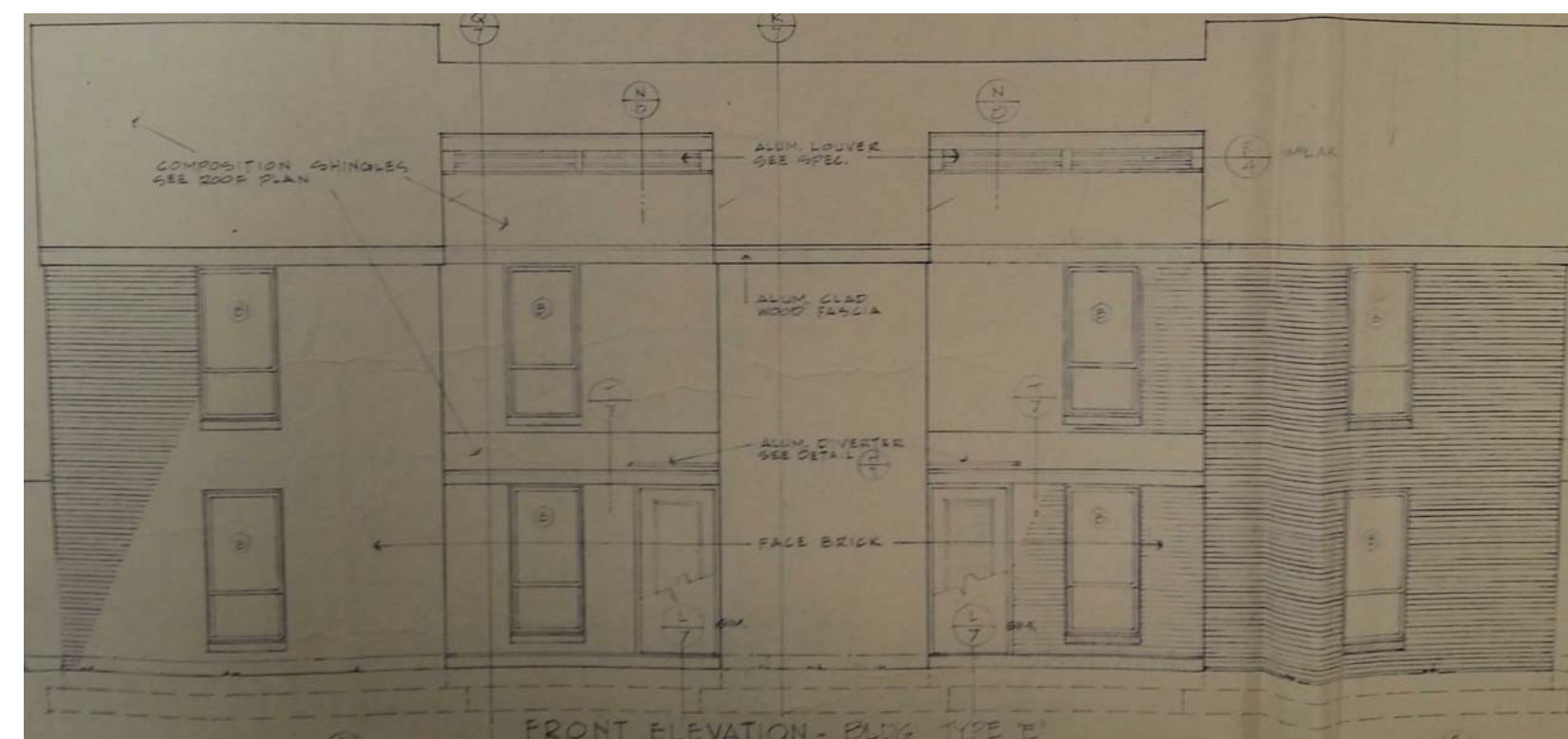
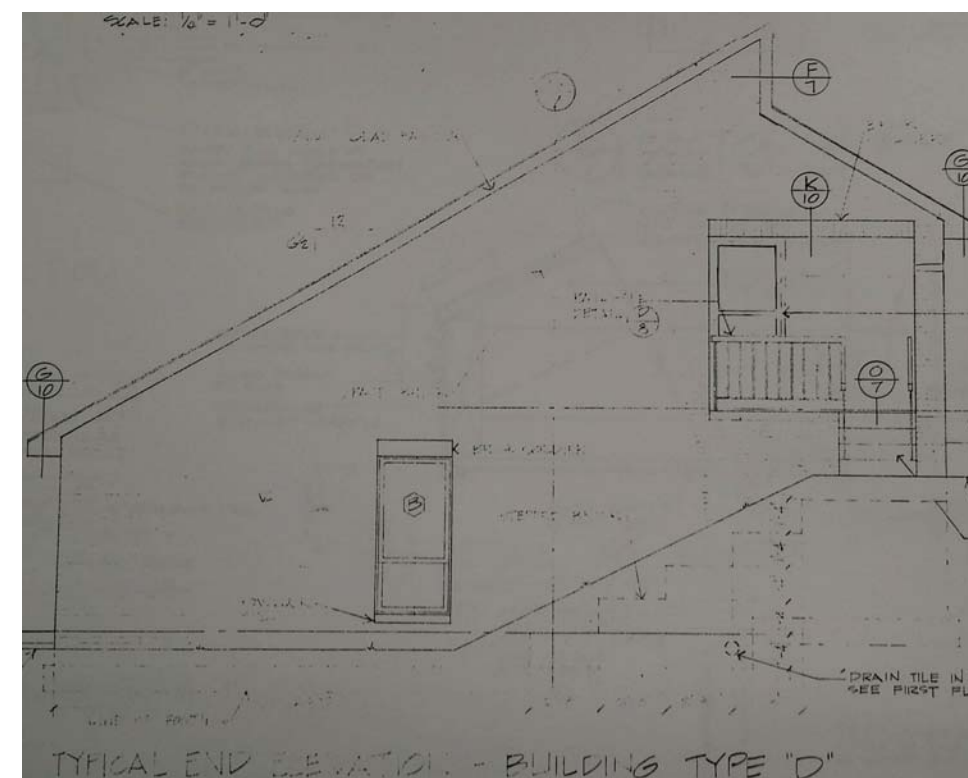
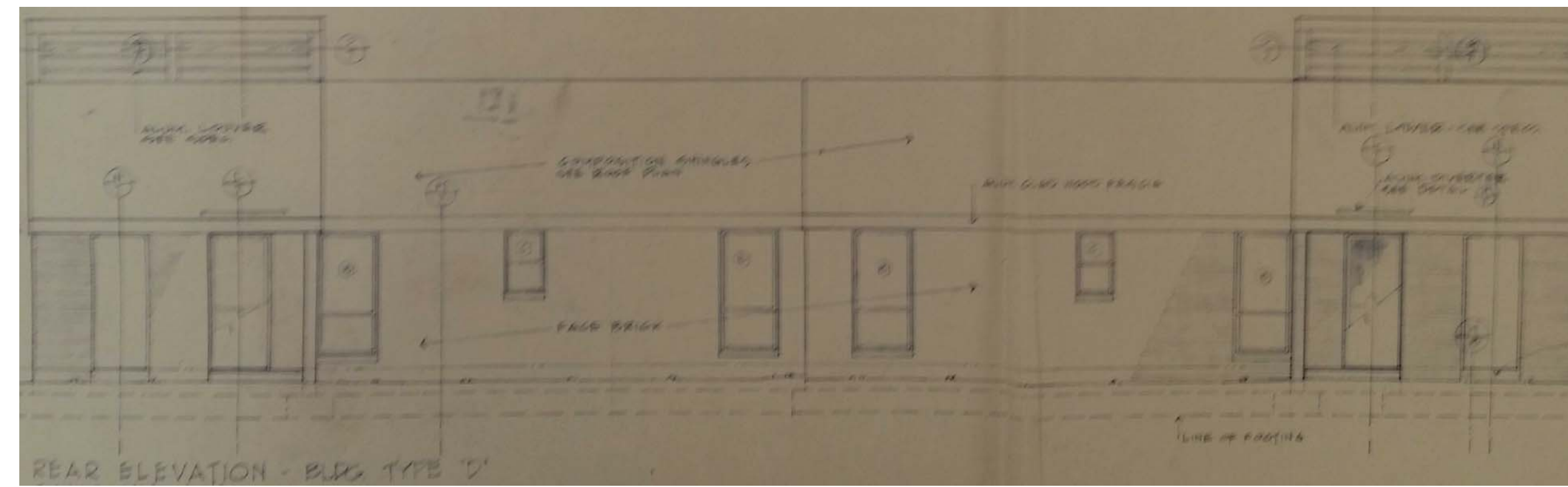
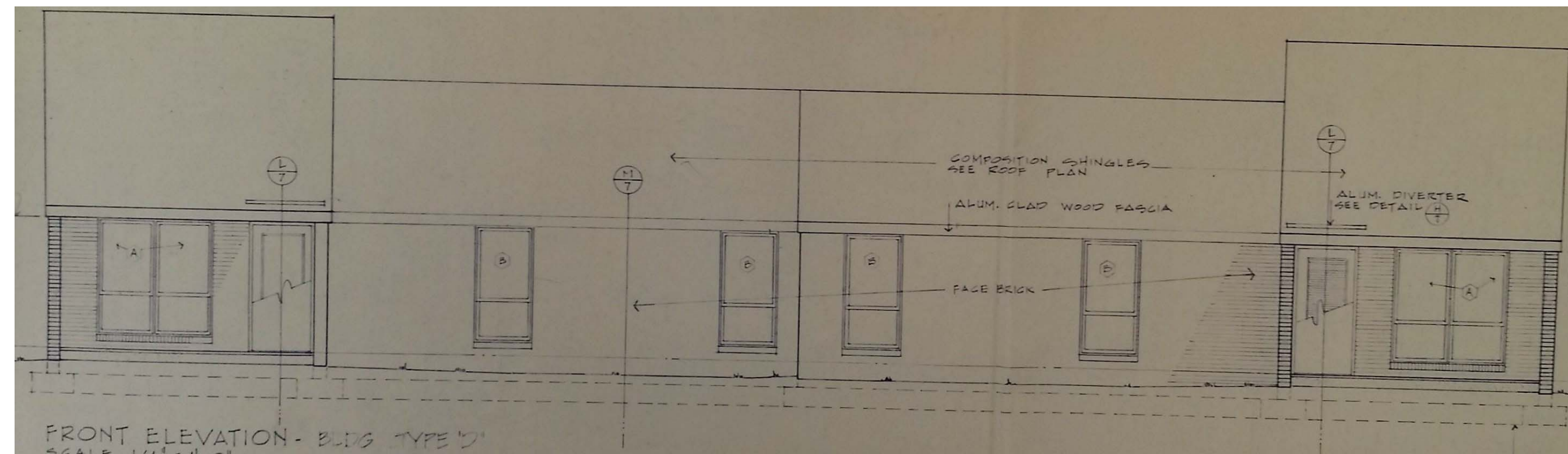
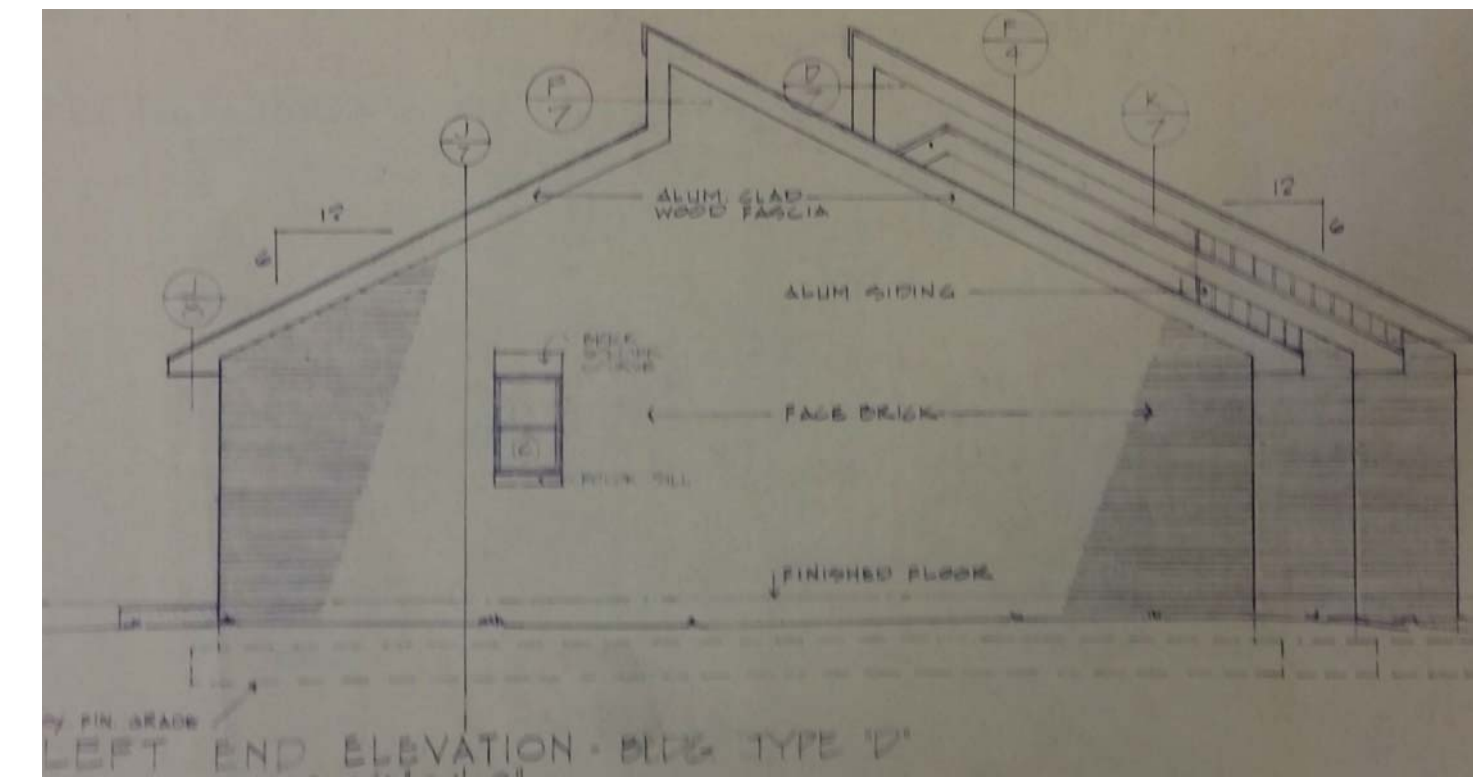
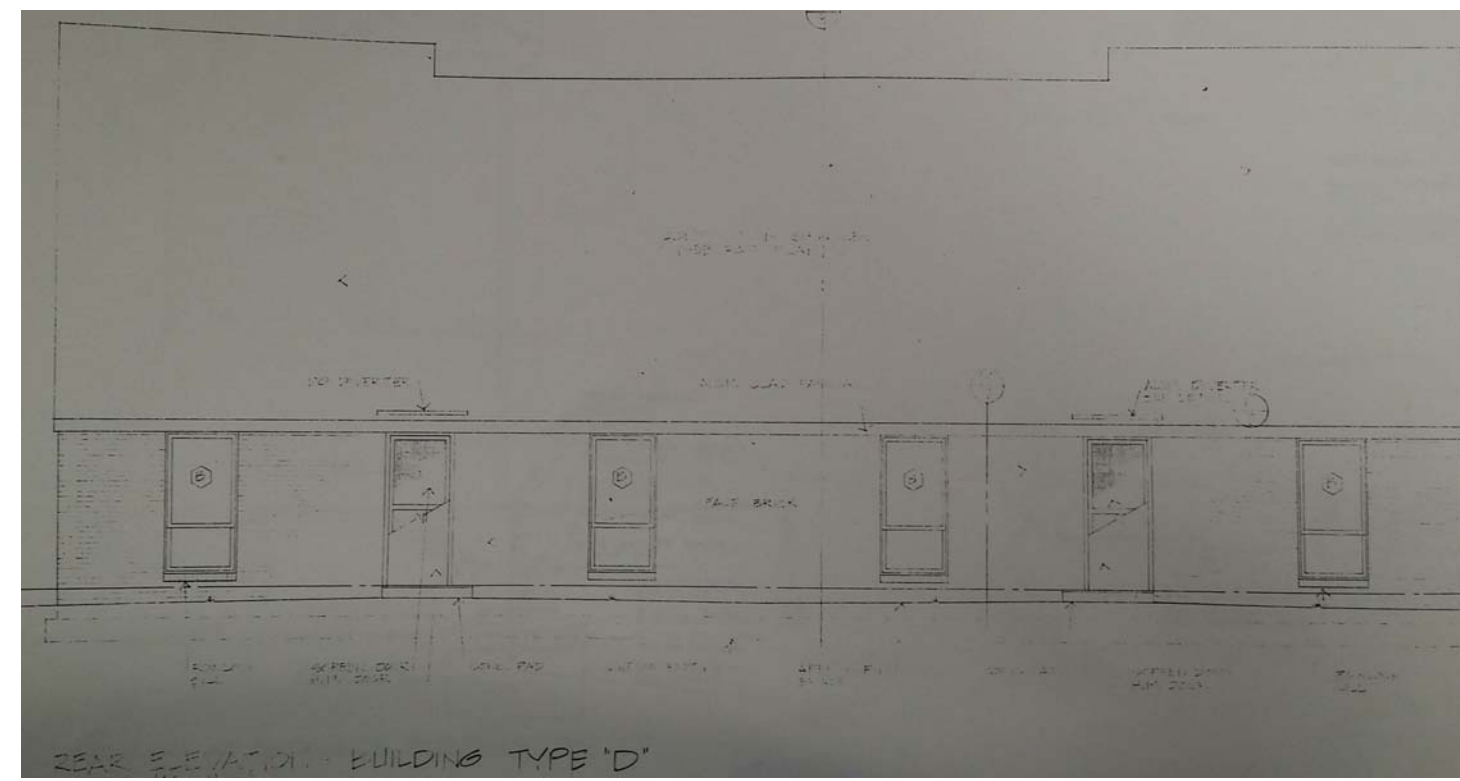
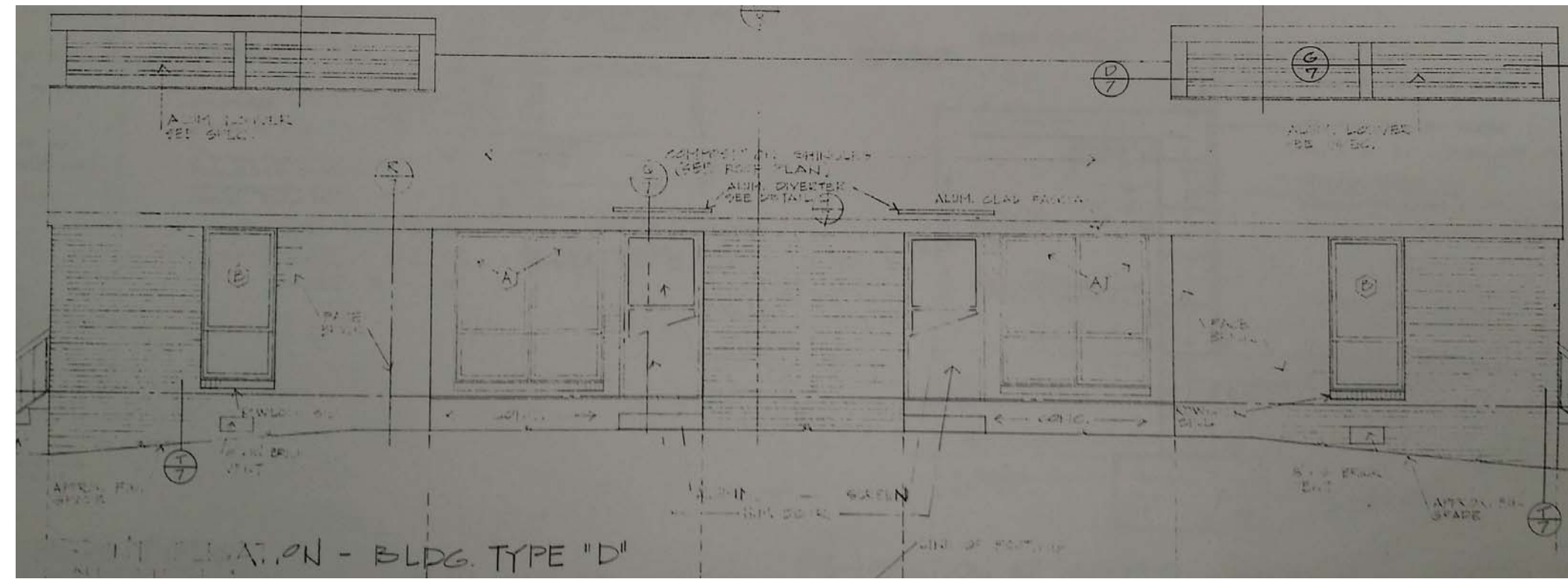


FRONT ELEVATION - BUILDING TYPE "C"



REAR ELEVATION - BUILDING TYPE "C"





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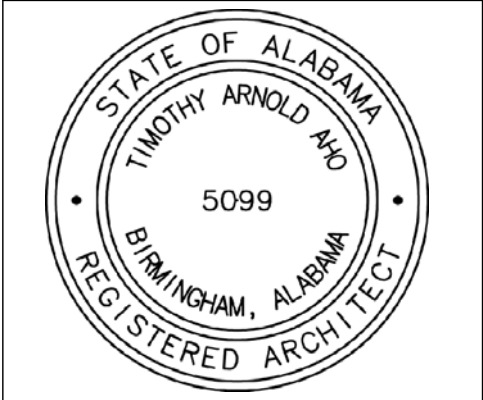
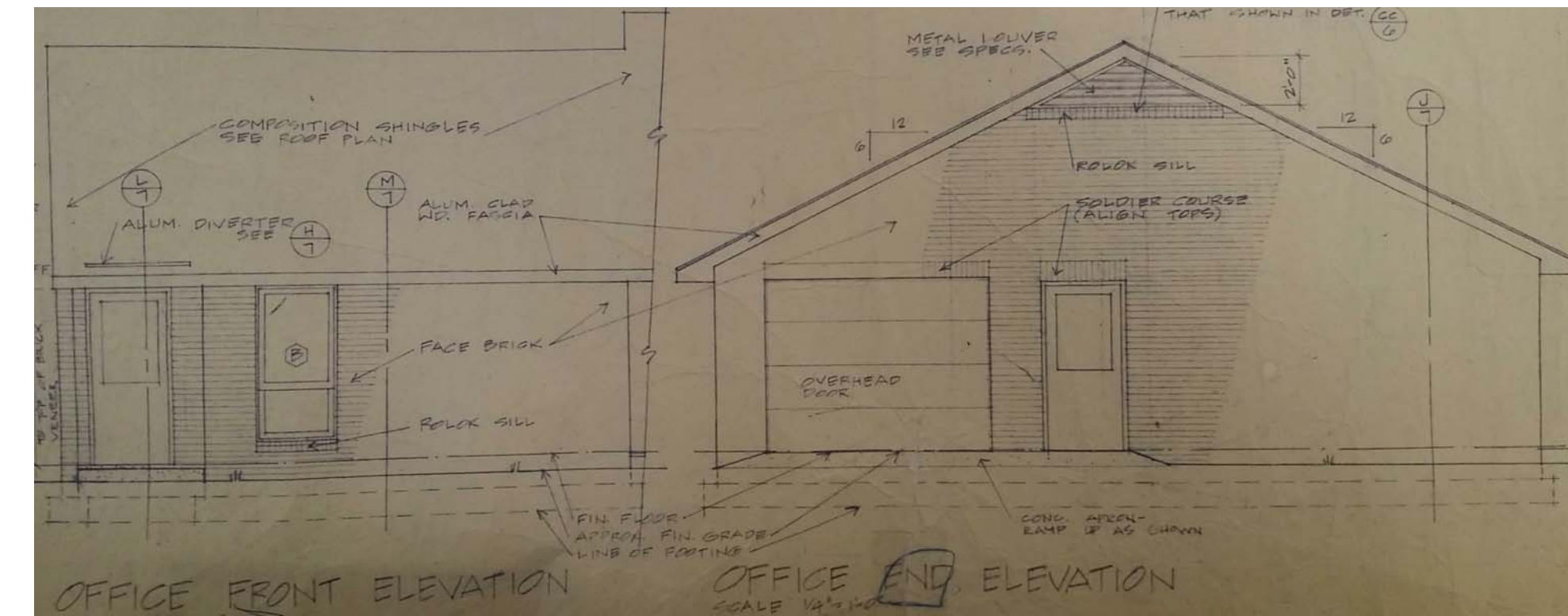
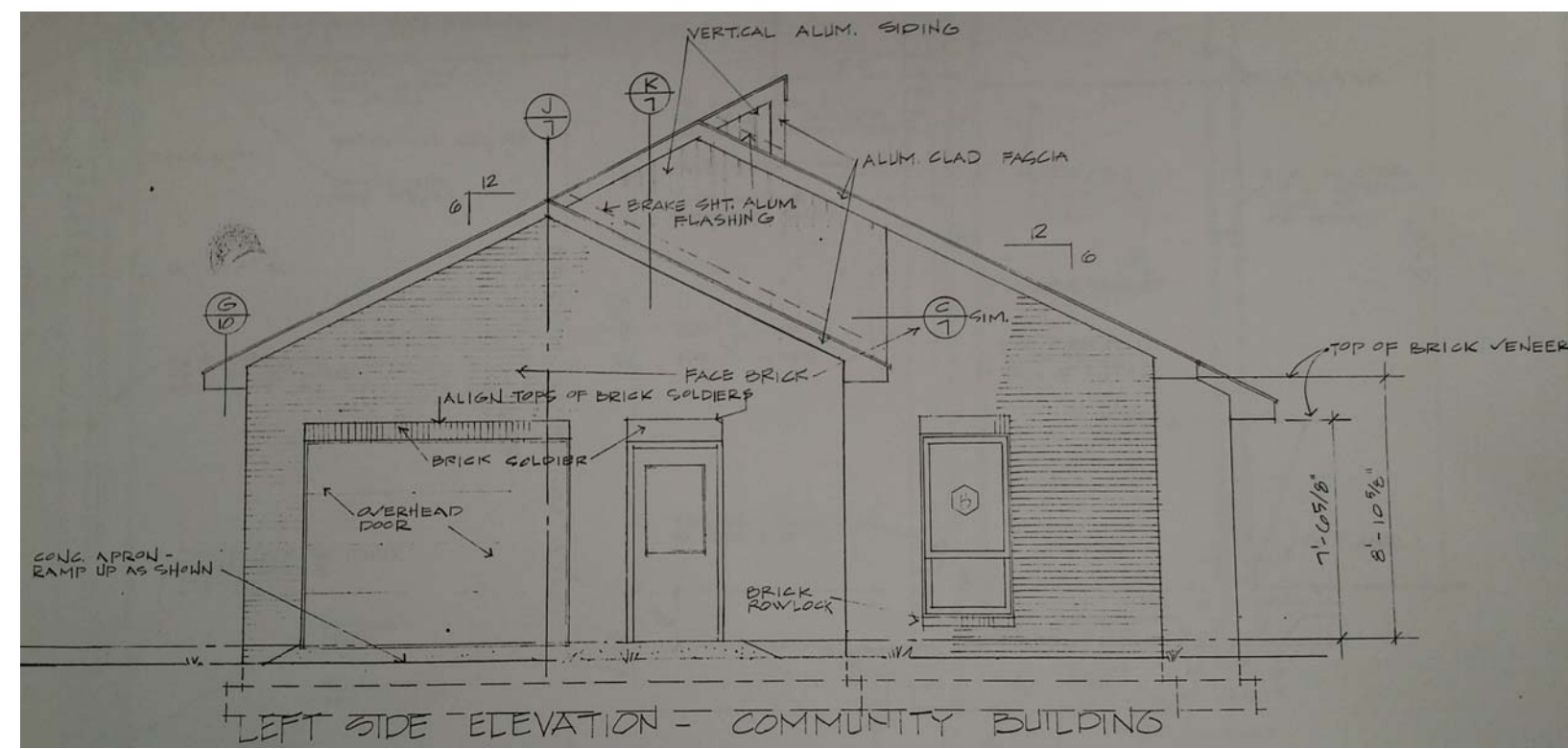
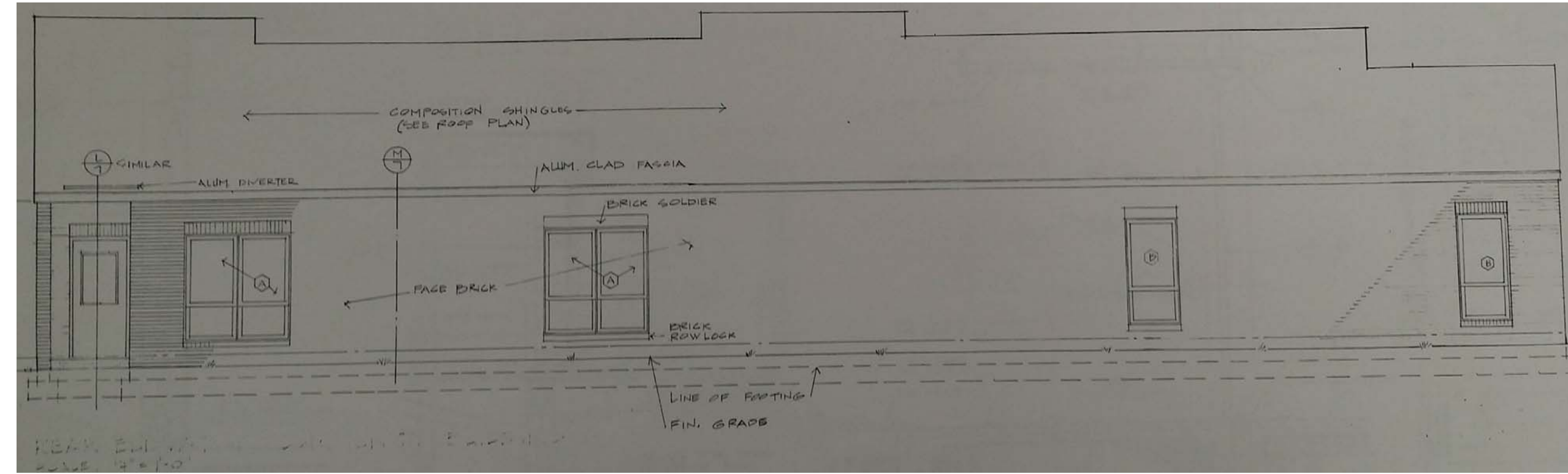
Existing Elevations

Project number	17025.2
Date	3/28/2019
Drawn by	EDM
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A201

Scale





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Existing Elevations

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A202

Scale