

# **CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT-ESSER** HORRY COUNTY SCHOOLS 700 GARDNER LACY RD | MYRTLE BEACH, SC **ARCHITECT'S PROJECT NUMBER 21.295.02**

## **SEPTEMBER 02, 2022**

# **CONSTRUCTION DOCUMENTS**

## **GENERAL PHASING NOTES**

- EMERGENCY EXITS FROM ALL CAMPUS AREAS MUST BE MAINTAINED WITH APPROPRIATE SIGNAGE. EMERGENCY EXITS MUST NEVER BE BLOCKED. A CLEAR EXIT PATHWAY MUST BE MAINTAINED AT ALL 'IMES FROM EVERY EXISTING DOOR DURING DEMOLITION / CONSTRUCTION WHILE BUILDING IS OCCUPIED.
- B. UTILITY SERVICES SHALL NOT BE INTERRUPTED WHILE EXISTING BUILDING IS OCCUPIED. . INSTALL NEW UTILITY LINES SHOWN ON CIVIL AND ELECTRICAL DRAWINGS PRIOR TO REMOVING EXISTING
- UTILITY LINES. CONNECTION OF NEW UTILITY LINES TO EXISTING UTILITIES SERVING OCCUPIED BUILDING(S) SHALL OCCUR OVER A WEEKEND WHEN THE BUILDING(S) ARE NOT OCCUPIED. D. ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO EXISTING FIRE ALARM SYSTEMS, SECURITY SYSTEMS, WATER, SEWER, FIRE PROTECTION, IRRIGATION, STEAM PIPING, SPEAKERS, ELECTRICAL CABLE AND DATA WIRING MUST BE MAINTAINED AT ALL TIMES. IF DAMAGED, THE SYSTEM MUST BE REPAID AND MADE OPERATIONAL BEFORE LEAVING FOR THE DAY. INFORM OWNER'S REPRESENTATIVE A MINIMUM OF 5 DAYS IN ADVANCE OF ANY KNOWN PERIODS WHERE SYSTEMS WILL BE INOPERABLE. ALL KNOWN
- DISRUPTIONS ARE TO BE SCHEDULED FOR TIMES BEFORE OR AFTER NORMAL WORKING HOURS. E. TO THE EXTENT POSSIBLE, SCHEDULE NOISY ACTIVITIES TO TAKE PLACE AFTER HOURS, ON WEEKENDS,
- OR OVER WINTER / SUMMER BREAKS. COORDINATE ALL NOISY ACTIVITIES WITH OWNER. F. DELIVERIES TO SITE SHALL NOT OCCUR DURING SCHOOL DROP-OFF OR PICK UP TIMES. COORDINATE
- EXACT TIMES WITH OWNER. G. CONTRACTOR SHALL PROVIDE DETAILED WORK SCHEDULE FOR DEMOLITION AND NEW CONSTRUCTION. EXIT SIGNS OR TEMPORARY EXIT SIGNS AND DIRECTIONAL SIGNAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO MAINTAIN EXITING OF BUILDING OCCUPANTS THROUGHOUT THE PROJECT. REFERENCE LIFE SAFETY PLANS FOR DETAILED INFORMATION REGARDING SIGNAGE.
- H. CONTRACTOR SHALL COMPLY WITH IBC CHAPTER 33: SAFEGUARDS DURING CONSTRUCTION AND IFC CHAPTER 33: FIRE SAFETY DARNING CONSTRUCTION AND DEMOLITION DURING ANY DEMOLITION AND CONSTRUCTION.

## SOUTH CAROLINA STATE DEPARTMENT OF EDUCATION

		Form F3	– Builo	ding Code Analysis		
<u>Date</u> : 09/02/2022						
SUBMITTAL:	□ Schem	atic	□ Desig	n Development		$\boxtimes$ Construction Docum
		-				-
SC CODE EDITION:	2018	ICC CODE EDITION:	SCEBC	ICC A117.1 EDITION:	2017	OSF GUIDE EDITION
OTHER CODES/STA	NDARDS	& EDITIONS:		·		

DESCRIPTION: [Brief Scope of Work & Include project delivery method (i.e. CMR, etc.)] isting glass and storefront where needed

	BASIC BU	JILDING CODE	E INFORMA	TION	
DESIGNATED AREAS OF BUILDING	<b>Building Code</b>	Area 1-6			
	-	□ SCBC ⊠ SCEBC			
CONSTRUCTION CLASSIFICATION TYPE	Section 602	IIB			
OCCUPANCY GROUP (indicate all)	Section 302	GROUP E			
MOST RESTRICTIVE OCCUPANCY GROUP	Tables 504.3, 504.4 & 506.2	NA			
Does building require Incidental Use Area Separation?	Table 509	□ YES ⊠ NO			
Does building have Accessory Occupancy (ies)?	Section 508.2	□ YES ⊠ NO			
What is the aggregate square footage of the accessory occupancy (ies)?	Section 508.2	NA SF			
What percent of the story is the aggregate of the accessory occupancy (ies)?	Section 508.2	NA %			
Mixed Occupancy		$\Box$ YES $\boxtimes$ NO			
	Section 508	□ Nonseparated □ Separated			

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## SOUTH CAROLINA STATE DEPARTMENT OF EDUCATION

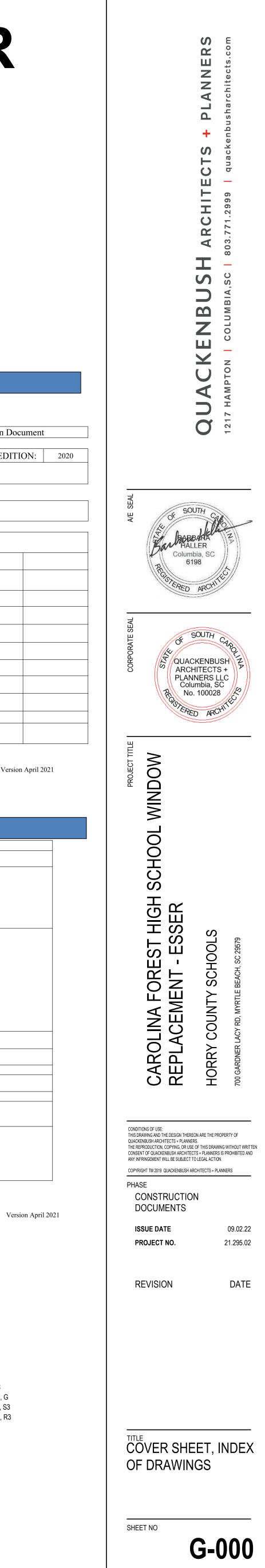
	Form F3 – Br	uilding Code Analysis	
	EXISTING BUILDING CO	DE INFORMATION [SCEBC]	
DESIGNATED AREAS OF BUILDING	Area A-F		
Method of Compliance: ( <i>Check only one Option and all items</i> <i>that apply under that Option.</i> )	<ul> <li>Option 1: Prescriptive Compliance</li> <li>Method (Ch. 3, 5)</li> <li>Alteration</li> <li>Addition</li> <li>Change of Occupancy</li> <li>Historic Building</li> </ul>		
	☐ Option 2: Work Area Compliance Method (Ch. 3, 6-12) ☐ Alteration Level 1 ☐ Alteration Level 2 ☐ Alteration Level 3 ☐ Change of Occupancy ☐ Additions ☐ Historic Building Aggregate area of building: SF Work area: SF		
	□ Option 3: Performance Compliance Method (Ch. 3, 13)		
Original Building Code and Edition Applicable at the time of Construction:	VARIES		
Existing Sprinkler System?	□ YES ⊠ NO		
Existing Fire Alarm System?	🛛 Manual 🗆 Auto		
Seismic Evaluation Required?	$\Box$ YES $\boxtimes$ NO		
Change of Occupancy:	□ YES ⊠ NO Existing Occupancy Class(s): New Occupancy Classification(s):		
Historic Building:	<ul> <li>□ YES ⊠ NO</li> <li>□ Preservation</li> <li>□ Rehabilitation</li> <li>□ Restoration</li> <li>□ Reconstruction</li> </ul>		

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- OSF HAS ADOPTED THE FOLLOWING CODES:
- INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS . INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2018 EDITION
- 3. INTERNATIONAL FIRE CODE (IFC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS 4. INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2009 EDITION . INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
- INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION
- 8. INTERNATIONAL PRIVATE SEWAGE DISPOSAL CODE (IPSDC), 2018 EDITION 9. INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC), 2018 EDITION
- 10. INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC), 2018 EDITION 11. INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IUWIC), 2018 EDITION
- 12. NATIONAL ELECTRICAL CODE (NEC) [NFPA-70], 2017 EDITION WITH SOUTH CAROLINA MODIFICATIONS 13. NATIONAL ELECTRICAL SAFETY CODE, IEEE-C2-2017 EDITION 14. ASCE 7-2016
- 15. ASHRAE 62 AS REFERENCED BY ICC CODES 16. ASHRAE 90.1 AS REFERENCED BY ICC CODES
- 17. LATEST ADDITION OF ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 18. STATE FIRE MARSHAL RULES, REGULATIONS, AND POLICIES
- 19. SOUTH CAROLINA ELEVATOR, CODE & REGULATIONS
- A. SC ELEVATOR CODE REFERENCES ASME SAFETY CODE FOR ELEVATORS, DUMBWAITERS, ESCALATORS, AND MOVING WALKS ASME A117.1
- 20. INTERNATIONAL CODE COUNCIL PERFORMANCE CODE (ICCPC), 2018 EDITION 21. STATE OF SC BUILDING STANDARDS IN FLOODPLAIN AREAS
- 22. THE SOUTH CAROLINA MODULAR BUILDINGS CONSTRUCTION ACT

#### **INDEX OF DRAWINGS**

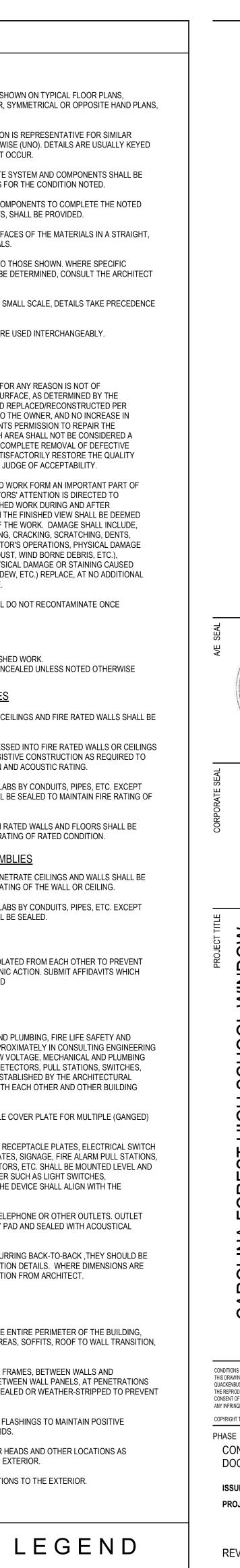
#### <u>GENERAL</u> COVER SHEET, INDEX OF DRAWINGS G-000 ABBREVIATIONS, SYMBOLS, PROJECT NOTES G-100 ARCHITECTURAL OVERALL FLOOR PLAN A-101 A-200 EXTERIOR ELEVATIONS AND PHOTOS BUILDINGS A, B, C A-201 EXTERIOR ELEVATIONS AND PHOTOS BUILDINGS D, E, F, G EXTERIOR ELEVATIONS AND PHOTOS BUILDINGS S1, S2, S3 A-202 EXTERIOR ELEVATIONS AND PHOTOS BUILDINGS R1, R2, R3 A-203 A-601 FRAME ELEVATIONS **BUILDING ENVELOPE** D-100 DETAILS

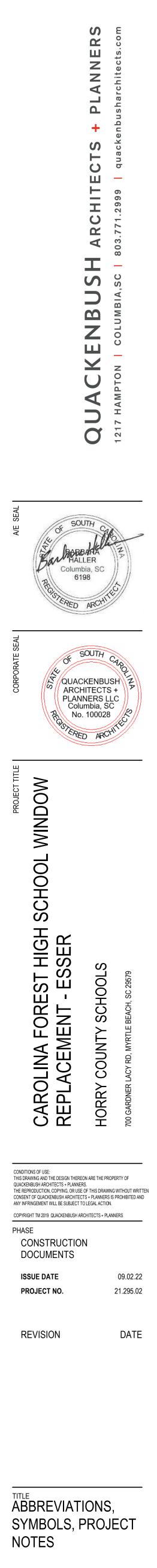


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		ABBREVIA		NS					SYMBOLS
	A ABV	ABOVE	ENG'R EQ	ENGINEER EQUAL	LOC LLH	LOCATE, LOCATED, LOCATION LONG LEG HORIZONTAL	SECT SEP	SECTION SEPARATE, SEPARATED, SEPARATION	DRAWING REFERENCE
	AFF AP(R)	ABOVE FINISHED FLOOR ACCESS PANEL (FIRE RATED)	EQUIP EPDM	EQUIPMENT ETHYLENE PROPYLENE DIENE MONOMER	LLV LONG	LONG LEG VERTICAL LONGITUDINAL	SS SHTG	SERVICE SINK SHEATHING	DETAIL TITLE
	AP(N) AWC	ACCESS PANEL (NOT RATED) ACOUSTIC WALLCOVERING	EXH EXIST	EXHAUST EXISTING	LVR	LOUVER LOW POINT	SHT SR	SHEET SHEET RUBBER FLOORING	
	AP APC	ACOUSTICAL PANEL ACOUSTICAL PANEL CEILING	EXP EJ	EXPANSION EXPANSION JOINT	LP LVT	LOW POINT, LIGHT POLE LUXURY VINYL TILE	SV SHWR	SHEET VINYL FLOORING SHOWER	DRAWING TITLE
	ADD'L ADJ	ADDITIONAL ADJACENT	EXPD EXP STRUCT	EXPOSED I EXPOSED STRUCTURE	LB LB/FT	POUND POUND PER FOOT	SIM SGL	SIMILAR SINGLE	SHEET NUMBER WHERE DETAIL IS SHOWN
	ADJ AGG	ADJUSTABLE AGGREGATE	EXT EIFS	EXTERIOR EXTERIOR INSULATION FINISH SYSTEM	M MACH	MACHINE	SPR S CAB	SINGLE- PLY ROOFING SINK CABINET	ENLARGED PLAN / PLAN DETAIL REFERENCE
	AC AHU	AIR CONDITION(ING) AIR HANDLING UNIT	F FWC	FABRIC WALL COVERING	MAINT MH	MAINTENANCE MANHOLE	SW SLV	SLATWALL SLEEVE	DETAIL NUMBER SIM OH
	ALT ALUM	ALTERNATE ALUMINUM	FAB FOC	FABRICATED FACE OF CONCRETE / CURB	MFR MF	MANUFACTURER, MANUFACTURED MANUFACTURERS FINISH	SLD SD	SLIDING SOAP DISPENSER	A101 OPP
	ACM AMT	ALUMINUM COMPOSITE MATERIAL AMOUNT	FOF FOM	FACE OF FINISH FACE OF MASONRY	MB MAS	MARKER BOARD MASONRY	SCW SSM	SOLID CORE WOOD SOLID SURFACE MATERIAL	SHEET NUMBER WHERE DETAIL IS SHOWN
	AB ANOD	ANCHOR BOLT(S) ANODIZED	FOS FFIN	FACE OF STUDS FACTORY FINISH	MCJ MO	MASONRY CONTROL JOINT MASONRY OPENING	SS SAB	SOLID SURFACE MATERIAL SOUND ATTENUATION BLANKET	
	APPL APP'D	APPLICATION APPROVED	FS FGB	FAR SIDE FIBER GYPSUM BOARD	MATL MAX	MATERIAL MAXIMUM	STC S	SOUND TRANSMISSION CLASS SOUTH	ELEVATION REFERENCE - EXTERIOR
	APPROX ARCH	APPROXIMATE(LY) ARCHITECT(URAL)	FRP FV	FIBERGLASS REINFORCED POLYESTER PANEL FIELD VERIFY	MECH MEP	MECHANICAL MECHANICAL, ELECTRICAL, PLUMBING	SPA SPEC	SPACE(S) SPECIFICATIONS	SHEET NUMBER WHERE 3 SIM ELEVATION IS SHOWN OH
	A/E ASPH	ARCHITECT/ENGINEER ASPHALT AT	FF FIN FLR FIN GR	FILTER FABRIC FINISH FLOOR FINISH GRADE	MED MDF MDO	MEDIUM MEDIUM DENSITY FIBERBOARD MEDIUM DENSITY OVERLAY	SPEC'D SPF SPRK	SPECIFIED SPLIT FACE SPRINKLER	A-101
	@ A/V AVC	AU AUDIO/VISUAL AUDIO/VISUAL CONTRACT(OR)	FIN GR FO FIN	FINISH GRADE FINISH OPENING FINISH(ED)	MDO MTL MCM	MEDIOM DENSITY OVERLAY METAL METAL COMPOSITE MATERIAL	SPRK SC SQ	SPRINKLER SPRINKLER CONTRACT(OR) SQUARE	1 ELEVATION NUMBER
	ADPP AUX	AUTOMATIC DOOR PRESSURE PLATE AUXILIARY	FDC FDV	FIRE DEPARTMENT CONNECTION FIRE DEPARTMENT VALVE	MP MEZ	METAL PANEL MEZZANINE	SF	SQUARE FOOT, SQUARE FEET SQUARE INCH	
	AVG B	AVERAGE	FE FEB	FIRE EXTINGUISHER FIRE EXTINGUISHER W/ BRACKET	MPH	MILES PER HOUR MINIMUM	SY ST	SQUARE YARD STAIN	ELEVATION REFERENCE - INTERIOR
	BB B CAB	BAMBOO BASE CABINET	FEC	FIRE EXTINGUISHER W/ CABINET FIRE HOSE AND RACK	MIR MISC	MIRROR MISCELLANEOUS	STM SST	STAIN TO MATCH STAINLESS STEEL	SHEET NUMBER WHERE 3 SIM ELEVATION IS SHOWN OH
	B PL BSMT	BASE PLATE OR BEARING PLATE BASEMENT	FHC FH	FIRE HOSE CABINET FIRE HYDRANT	MR MRGB	MOISTURE RESISTANT MOISTURE RESISTANT GYPSUM BOARD	STD SP	STANDARD STANDPIPE	A-101 A-1000 A-
	BM BRG	BEAM BEARING	FP FR	FIRE PROOFING FIRE RATED, FIRE RESISTANT, FIRE RETARDANT	MLDG MON	MOLDING MONUMENT	STL STIFF	STEEL STIFFENER	1 ELEVATION NUMBER
	BFF BMK	BELOW FINISH FLOOR BENCH MARK	FIXT	TREATED	MTD MUL	MOUNTED MULLION	STOR SD	STORAGE STORM DRAIN	
	BT BTWN	BENT BETWEEN	FLASH FLR	FLASHING FLOOR	N NF	NEAR FACE	STRUCT SBFL	STRUCTURAL SUB-FLOOR	BUILDING SECTION REFERENCE
	BITUM BLK	BITUMINOUS BLOCK	FCO FD	FLOOR CLEAN OUT FLOOR DRAIN	NS NSF	NEAR SIDE NET SQUARE FEET	SUB SA	SUBSTITUTE SUPPLY AIR	SIM
	BLKG BD	BLOCKING BOARD	F/F FSE	FLOOR TO FLOOR FOOD SERVICE EQUIPMENT	NRC NOM	NOISE REDUCTION COEFFICIENT NOMINAL	SURF SM	SURFACE SURFACE MOUNTED	A101 SIM OH A101 A101 OPP ROT
	BW BOT	BOTH WAYS BOTTOM	FSEC FT (')	FOOD SERVICE EQUIPMENT CONTRACT(OR) FOOT OR FEET	NS N	NON SHRINK NORTH	SUSP SYM	SUSPEND(ED) SYMMETRY/SYMMETRICAL	SHEET NUMBER WHERE SECTION IS SHOWN
	B/ BOS	BOTTOM OF BOTTOM OF STEEL	FTG FDN	FOOTING FOUNDATION	NA	NOT APPLICABLE NOT IN CONTRACT	T TB	TACK BOARD	
	B/W BR	BOTTOM OF WALL BRICK	FH FS	FULL HEIGHT FULL SIZE	NTS NO (#)	NOT TO SCALE NUMBER	TS TF	TACK SURFACE / TACK STRIP TACKABLE FABRIC	WALL SECTION / DETAIL SECTION REFERENCE
	BRP BTU	BRICK PAVERS BRITISH THERMAL UNIT	FT FURN	FULLY TEMPERED (GLASS) FURNITURE, FURNISH (ED)	0 OFF	OFFICE	T CAB TAP	TALL CABINET TAPERED	
	BRZ BLDG	BRONZE BUILDING	FURR G	FURRRING	OC OPNG	ON CENTER OPENING	TELCOM TC	TELECOMMUNICATIONS TELECOMMUNICATIONS CONTRACT(OR)	T SIM OH OPP
	BEJ BU	BUILDING EXPANSION JOINT BUILT-UP	GALV GA	GALVANIZED GAUGE/GAGE	OPR OPP	OPERABLE OPPOSITE	TEL TV	TELEPHONE TELEVISION	A101 ROT
	BUR BLKHD	BUILT-UP ROOFING BULKHEAD	GEN GC	GENERAL GENERAL CONTRACT(OR)	OH ORIG	OPPOSITE HAND ORIGINAL	TEMP T & S	TEMPERATURE TEMPERATURE & SHRINKAGE	SECTION IS SHOWN
	BG C	BUMPER GUARD / CRASH RAIL	gdr Gl Blk	GIRDER(S) GLASS BLOCK	ORN OZ	ORNAMENTAL OUNCE	TMP GL TEMP	TEMPERED GLASS TEMPORARY	ROOM TAG SYMBOL ROOM NAME
	CAB CH	CABINET CABINET HEATER	GFRC GL	GLASS FIBER REINFORCED CONCRETE GLASS OR GLAZING	O/O OD	OUT TO OUT OUTSIDE DIAMETER	ΤΖ TT	TERRAZZO TERRAZZO TILE	ROOM NAME ROOM NUMBER
	CPT CPTT	CARPET CARPET TILE	GT GLZD	GLASS TILE GLAZED	OF OA	OUTSIDE FACE, OVERFLOW OVERALL	ТНК ТН	THICK THRESHOLD	150 SF ROOM NET AREA (WHERE SHOWN)
	CI CIP	CAST IRON CAST IRON PIPE	GT GWT	GLAZED TILE GLAZED WALL TILE	OAL ORD	OVERALL LENGTH OVERFLOW ROOF DRAIN	THRU TLT	THROUGH TOILET	DOOR TAG SYMBOL
	CIP CB	CAST-IN-PLACE CATCH BASIN	GB GR	GRAB BAR, GRADE BEAM GRADE	OS OH	OVERFLOW SCUPPER OVERHEAD	TA TPD	TOILET ACCESSORY TOILET PAPER DISPENSER	(A-101.1) - DOOR NUMBER
	CLG CEM	CEILING CEMENT	GRD GROM	GRADE GROMMET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED	TPTN T&G	TOILET PARTITION TONGUE AND GROOVE	( <u>A-101.1</u> )
	CBB CTR	CEMENTITIOUS BACKER BOARD CENTER	GND GR	GROUND GROUT	P P	PAINT	T&B T/	TOP & BOTTOM TOP OF	DIMENSIONS
	CL CG	CENTER LINE CENTER OF GRAVITY	GR GYP	GUARDRAIL GYPSUM	PTM PTD	PAINT TO MATCH PAINTED	T/CONC T/FTG	TOP OF CONCRETE TOP OF FOOTING	7' - 0"   DIMENSION TO FACE OR EDGE OR CENTERLINE
	C/C CER	CENTER TO CENTER CERAMIC	GYP BD GB	GYPSUM BOARD GYPSUM BOARD	PR PNL	PAIR PANEL	T/JST T/MAS	TOP OF JOIST TOP OF MASONRY	
	CMT CT	CERAMIC MOSAIC TILE CERAMIC TILE	GRG GSB	GYPSUM FIBER REINFORCED GYPSUM GYPSUM SHEATHING BOARD	PJ PNLG	PANEL JOINT PANELING	T/S T/WALL	TOP OF STEEL, STRUCTURE OR SLAB TOP OF WALL	7' - 0" CLEAR DIMENSION TO FINISH FACE
	CTB CWT	CERAMIC TILE BASE CERAMIC WALL TILE	GWB H	GYPSUM WALL BOARD	PTD PART BD	PAPER TOWEL DISPENSER PARTICLE BOARD	TR T	TRASH RECEPTACLE TREAD	
	CR CHBD	CHAIR RAIL CHALK BOARD	HCP HR	HANDICAP(PED) HANDRAIL	PTN PTN	PARTITION PARTITION	TS TYP	TUBE STEEL TYPICAL	MISCELLANEOUS TAGS AND SYMBOLS
	CHAM CP	CHAMFER CLAY PAVERS	HDBD HDWR	HARDBOARD HARDWARE	PVMT PERF	PAVEMENT PERFORATED	U UC	UNDER-CUT	SECOND FLOOR
	CO CLR	CLEAN OUT CLEAR(ANCE)	HDWD HW	Hardwood Hardwood Flooring	PERIM PLAS	PERIMETER PLASTER	U/S UL	UNDERSIDE OF UNDERWRITER'S LABORATORY	10'-0"
	CL CTG	CLOSET	HD HTG	HEAD HEATING	P LAM PL	PLASTIC LAMINATE PLATE, PROPERTY LINE	UNFIN UH	UNFINISHED UNIT HEATER	(RF-SBS-4) ROOF SYSTEM
	CFMF CW	COLD FORMED METAL FRAMING COLD WATER	HC HVAC	HEATING CONTRACT(OR) HEATING, VENTING, AIR CONDITIONING	PLUMB PC	PLUMBING PLUMBING CONTRACT(OR)	UNO UTIL	UNLESS NOTED OTHERWISE UTILITY	NOTE: SEE EXTER
	COL CWP	COLUMN COMPOSITE WALL PANEL	HT h or H	HEIGHT HIGH	PLYWD PT	PLYWOOD POINT	V VAC	VACUUM	(EWS-BR-STUD-4G-FR)     EXTERIOR WALL SYSTEM     TYPES FOR ADDIT       (FL-GRADE-4VB)     FLOOR SYSTEM
	CONC CMU	CONCRETE CONCRETE MASONRY UNIT	HP HS	HIGH POINT HIGH STRENGTH	POL PVC	POLISHED POLYVINYL CHLORIDE	VB VB	VALVE BOX VAPOR BARRIER	FL-GRADE-4VB
	CONN CONST	CONNECTION CONSTRUCTION	HSB HM	HIGH STRENGTH BOLT HOLLOW METAL	PORC PCF	PORCELAIN POUNDS PER CUBIC FOOT	VAV VAR	VARIABLE AIR VOLUME VARIES	901-4a PARTITION TYPE
	CJ CONT	CONSTRUCTION / CONTROL JOINT CONTINUOUS	hk Horiz	HOOK HORIZONTAL	PCI PLF	POUNDS PER CUBIC INCH POUNDS PER LINEAR FOOT	VARN VTR	VARNISH VENT THROUGH ROOF	(SEE PARTITION TYPE LEGEND FOR ADDITIONAL INI
	CONTR(S) CK	CONTRACTOR(S) CORK	HB HW	HOSE BIB HOT WATER	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	VENT VERT	VENTILATION (OR VENTILATOR) VERTICAL	SF-E-22 WINDOW / STOREFRONT / CURTAIN WALL / LOUVER TYPE
	CNGD CG	CORNER GUARD CORNER GUARD	HWH HR	HOT WATER HEATER HOUR	PP P/C	POWER POLE PRECAST	VEST VAT	VESTIBULE VINYL ASBESTOS TILE	
	CMP CTR	CORRUGATED METAL PIPE COUNTER	I ILLUM	ILLUMINATED	PCST PREFAB	PRECAST PREFABRICATED	VB VCT	VINYL BASE VINYL COMPOSITION TILE	CLG MATL 1'-0"
	CSK CRSE	COUNTERSUNK COURSE(S)	IN INCL	INCH(ES) INCLUDE(S)	PREFIN	PREFINISHED PRESSURE TREATED	VP VT	VINYL PLANK FLOORING VINYL TILE	CEILING HEIGHT ABOVE FINISH FLOOR
	CF CY	CUBIC FOOT CUBIC YARD	INFO ID	INFORMATION INSIDE DIAMETER	PROP PA	PROPOSED PUBLIC ADDRESS	VWC VIT	VINYL WALLCOVERING VITREOUS	GB-24 TOILET ACCESSORY TAG SPECIALTY EQUIPMENT TAG
	D DL	DEAD LOAD	IF INSP	INSIDE FACE INSPECT	Q QLTY	QUALITY	VOL W	VOLUME	(SEE LEGENDS ON SPECIFIC SHEETS) FEC-SR
	DK DP	DECK DEEP	INST IG	INSTALL, INSTALLED, INSTALLATION INSULATED GLASS	QTY QT	QUANTITY QUARRY TILE	WH WL	HOT WATER HEATER WALL	FIRE EXTINGUISHER (MULTI-PURPOSE) IN WALL MO STYLE: SR=SEMI-RECESSED FR= FULLY-RECESSED
	DEFL DEG	DEFLECTION DEGREE	ITWPS INSUL	INSULATING TRANSLUCENT WALL PANEL SYSTEM INSULATION (INSULATED)	R RP	POLYESTER ACRYLIC RESIN PANEL	W CAB WTR	WALL CABINET WATER	S= SURFACE FEC-K-SR (CLASS K STYLE FIRE EXTINGUIS
	DMSG DEMO	DEMISING DEMOLITION	INT INV	INTERIOR INVERT	RAD R, RAD	RADIATOR RADIUS	WC WR	WATER CLOSET WATER RESISTANT	FEC-B FIRE EXTINGUISHER (MULTI-PURPOSE) ON WALL BF
	DMNT d	DEMOUNTABLE DEPTH	I.J. J	ISOLATION JOINT	RWC RECPT	RAIN WATER CONDUCTOR RECEPTACLE	WS W	WATER STOP WATER, WEST	
	DTL DIAG	DETAIL DIAGONAL	JAN JT	JANITOR JOINT	REF RCP	REFERENCE REFLECTED CEILING PLAN	W/C WFT	WATER-CEMENT RATIO WATERPROOF FLOOR TOPPING	FD - FLOOR DRAIN
	dia Diaph	DIAMETER DIAPHRAGM	JST J.B.	JOIST JUNCTION BOX	REF REINF	REFRIGERATOR REINFORCE(D)(ING)(MENT)	WPRF WS	WATERPROOFING WEATHERSTRIPPING	FBFBFB - FLOOR BOX OR POKE-THROUGH, SEE ELEC.VIFBFBLOCATION WITH ARCHITECT PRIOR TO INSTALLATION
	DIM DEFS	DIMENSION DIRECT APPLIED EXTERIOR FINISH SYSTEM	K KP	KICK PLATE	RFC RCP	REINFORCED CONCRETE REINFORCED CONCRETE PIPE	WT WWF	WEIGHT / WATER TIGHT WELDED WIRE FABRIC	BRICK / MASONRY CONTROL JOINT
5	DISP DO	DISPENSER DITTO	KVA KW	KILOVOLT- AMPERE KILOWATT	REM REQD	REMOVE, REMOVABLE, REMOVED REQUIRED	WF w	WIDE FLANGE BEAM WIDE, WIDTH	BUILDING EXPANSION JOINT
	DIV DR	DIVISION DOOR / DRAIN	K KLF	KIP KIPS PER LINEAR FOOT	REQTS RF	REQUIREMENTS RESILIENT FLOORING	WL WIN	WIND LOAD WINDOW	GYPSUM BOARD CONTROL JOINTS
	DBL DWL(S)	DOUBLE DOWEL(S)	KSF KSI	KIPS PER SQUARE FOOT KIPS PER SQUARE INCH	RS RA	RESINOUS RETURN AIR	WM WMP	WIRE MESH WIRE MESH PARTITION	3
	DN DL	DOWN DOWNLEADER	KIT KS	KITCHEN KNEE SPACE	REV RGT	REVISION, REVISED RIGHT	WR W/	WIRE RIB WITH	FIRE RESISTANCE RATING SYMBOLS
	DS DWR	DOWNSPOUT DRAWER	KO K (KIP)	KNOCK OUT THOUSAND POUNDS	RH ROW	RIGHT HAND RIGHT OF WAY	W/O WD	WITHOUT WOOD	NOTE: SEE PARTITION TYPES, EXTERIOR WALL SYSTEMS, FLOOR SYSTEMS AND SYSTEMS FOR UL DESIGNATION NUMBERS
8	DWG DF	DRAWING DRINKING FOUNTAIN	L	LAMINATED	R RD	RISERS (STAIR) ROOF DRAIN	WB WP	WOOD BASE WOOD PANEL	
	DSP E	DRY STANDPIPE	LAM GL LS	LAMINATED GLASS LANDSCAPE	REJ RTU	ROOF EXPANSION JOINT ROOF TOP UNIT	WP WI	WORKING POINT WROUGHT IRON	TWO-HOUR FIRE-RESISTANCE RATING
	EA EF	EACH EACH FACE	LC LAT	LANDSCAPE CONTRACT(OR) LATERAL	RC RM	ROOFING CONTRACT(OR) ROOM	Y YD	YARD	FOUR-HOUR FIRE-RESISTANCE RATING
	ES EW	EACH SIDE EACH WAY	LAV	LAVATORY LEAD LINED, LIVE LOAD	RO RUB	ROUGH OPENING RUBBER	Z ZN	ZONE	30-MINUTE FIRE-RESISTANCE RATING
	E EO	EACH WAT EAST EDGE OF	LF LH	LEFT LEFT HAND	RB	RUBBER BASE RUBBER TILE FLOORING			
	EWC ELEC	ELECTRIC WATER COOLER ELECTRIC(AL)	L LT	LENGTH, LONG LIGHT	S SAN	SANITARY			CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMO
	ELEC EC EL	ELECTRIC(AL) ELECTRICAL CONTRACT(OR) ELEVATION ABOVE DATUM OR ELEVATION VIEW OF WALL	LGT GA LTG	LIGHT GAUGE STRUCTURAL FRAMING LIGHTING	SAN SND SNR	SANITART SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE			REVISION SYMBOL
	ELEV EMB	ELEVATION ABOVE DATION OR ELEVATION VIEW OF WALL ELEVATOR / ELEVATION EMBEDMENT	LW LF	LIGHTWEIGHT LINEAR FEET	SNR SCHED SCH	SCHEDULE SCHEDULE			CLOUD AROUND REVISION
	EMER ENAM	EMBEDMENT EMERGENCY ENAMEL	LIN LTL	LINOLEUM LINTEL	SCH SCHED SLD	SCHEDULE SEALED			REVISION NUMBER (SEE BORDER TITLE BLOCK FOR ADDI
ר <u>ר</u>	ENCL	ENCLOSURE	LL	LIVE LOAD					

	GENERAL PROJ	ECTNOTES
	COORDINATION	SYSTEMATIC METHODS
	<ul> <li>A. VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK. DO NOT SCALE DRAWINGS.</li> <li>B. SUQUED THE OPERATIONS FAIL TO DEDICATE ADD Y DESCRIPTE THE MATERIAL TO BE USED IN</li> </ul>	A. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS, SECTIONS OR DETAILS.
	<ul> <li>B. SHOULD THE SPECIFICATIONS FAIL TO PARTICULARLY DESCRIBE THE MATERIAL TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO SUBMIT A REQUEST FOR INTERPRETATION.</li> <li>C. STRUCTURAL MEQUANICAL ELECTRICAL RUMPING SIDE PROTECTION AND LANDOGADE.</li> </ul>	<ul> <li>B. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE (UNO). DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONE TIME WHEN THEY FIRST OCCUR.</li> </ul>
SIM SIMILAR CONDITION	C. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND LANDSCAPE DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS, BUT TOGETHER WITH THE ARCHITECTURAL DRAWINGS FORM THE COMPLETE SCOPE OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO COMPLY WITH AND COORDINATE THE	<ul> <li>C. "SIMILAR" OR "SIM" SHALL MEAN THAT THE COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.</li> <li>D. "AS REQUIRED" SHALL MEAN THAT THE REQUIRED COMPONENTS TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS. CHALL BE PROVIDED.</li> </ul>
OH OPPOSITE HAND OPP OPPOSITE HAND ROT ROTATED CONDITION	ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING WORK. SHOULD THERE BE A DISCREPANCY DISCOVERED BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT ENGINEER'S DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR	<ul><li>SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED.</li><li>E. "ALIGN" SHALL MEAN ACCURATELY PROVIDE FINISH FACES OF THE MATERIALS IN A STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.</li></ul>
	TO THE INSTALLATION OF SAID WORK. CONTRACTORS SHALL NOT, EITHER KNOWINGLY OR IF HE SHOULD HAVE KNOWN BASED ON INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS, INSTALL WORK IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS. ANY SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR(S) AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE	F. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
	OWNER OR ARCHITECT. D. WHERE A CONFLICT OCCURS BETWEEN ONE SCOPE OF WORK AND ANOTHER, PREPARE A COMPLETE INTERFERENCE DRAWING FOR DISCUSSION WITH THE ARCHITECT. INTERFERENCE	G. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE, DETAILS TAKE PRECEDENCE OVER ALL.
SIMSIMILAR CONDITIONOHOPPOSITE HANDOPPOPPOSITE HANDROTROTATED CONDITION	DRAWING SHALL SHOW ALL RELATIONSHIPS TO SURROUNDING WORK, DIMENSIONS, CLEARANCES, ANCHORAGES AND OTHER PERTINENT INFORMATION REQUIRED FOR THE CONSULTANT TO RENDER AN INFORMED OPINION.	H. THE PHRASE "MOCK UP" AND "IN PLACE SAMPLES" ARE USED INTERCHANGEABLY.           PROTECTION OF EXPOSED TO VIEW
	<ul> <li>E. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE UNDERWRITER'S LABORATORIES (UL) LABELS.</li> <li>F. CONTRACTOR(S) SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER. WATER AND DRAIN INSTALLATIONS WITH EQUIPMENT</li> </ul>	A. ANY WORK THAT IS NOT FORMED AS REQUIRED OR FOR ANY REASON IS NOT OF ALIGNMENT, NOT LEVEL, OR SHOWS A DEFECTIVE SURFACE, AS DETERMINED BY THE ARCHITECT, SHALL BE REMOVED FROM THE JOB AND REPLACED/RECONSTRUCTED PER
	MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO OWNER OR ARCHITECT.	CONTRACT DOCUMENTS AT NO ADDITIONAL COST TO THE OWNER, AND NO INCREASE IN PROJECT SCHEDULE, UNLESS THE ARCHITECT GRANTS PERMISSION TO REPAIR THE DEFECTIVE AREA. PERMISSION TO PATCH ANY SUCH AREA SHALL NOT BE CONSIDERED A WAIVER OF THE ARCHITECT'S RIGHT TO REQUIRE A COMPLETE REMOVAL OF DEFECTIVE
SIM SIMILAR CONDITION OH OPPOSITE HAND OPP OPPOSITE HAND ROT ROTATED CONDITION	G. CONTRACTOR(S) SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.	<ul> <li>WORK IF THE REPAIR DOES NOT IN HIS OPINION, SATISFACTORILY RESTORE THE QUALITY OF THE WORK. THE ARCHITECT SHALL BE THE SOLE JUDGE OF ACCEPTABILITY.</li> <li>B. PROTECTION: MATERIALS EXPOSED IN THE FINISHED WORK FORM AN IMPORTANT PART OF THE OCMPLETER REPORT AN OUTLY THE OCUTERATION OF DIFFETER TO</li> </ul>
	<ul> <li>H. CONTRACTOR(S) SHALL VERIFY ALL CONCRETE OPENINGS IN THE FIELD PRIOR TO THE FABRICATION OF DOORS AND FRAMES.</li> </ul>	THE COMPLETED DESIGN. AS SUCH, THE CONTRACTORS' ATTENTION IS DIRECTED TO PROTECTION OF MATERIALS EXPOSED IN THE FINISHED WORK DURING AND AFTER INSTALLATION. DAMAGE TO MATERIALS EXPOSED IN THE FINISHED VIEW SHALL BE DEEMED A DEFECT AND SHALL BE CAUSE FOR REJECTION OF THE WORK. DAMAGE SHALL INCLUDE,
	I. CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITION OF OPENINGS IN SLABS AND WALLS AND COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED PRIOR TO COMMENCING STRUCTURAL WORK.	BUT IS NOT LIMITED TO: PHYSICAL DAMAGE (CHIPPING, CRACKING, SCRATCHING, DENTS, TOOL MARKS, ETC.) OR STAINING DUE TO CONTRACTOR'S OPERATIONS, PHYSICAL DAMAGE OR STAINING DUE TO AIR BORNE CONTAMINANTS (DUST, WIND BORNE DEBRIS, ETC.), THERMAL OR MOISTURE STRESS DAMAGE, AND PHYSICAL DAMAGE OR STAINING CAUSED
SIMSIMILAR CONDITIONOHOPPOSITE HANDOPPOPPOSITE HANDROTROTATED CONDITION	J. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; PERFORMANCE BY THE CONTRACTOR(S) SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS, REASONABLY INFERABLE FROM THEM AND REASONABLY FORESEEABLE, USING THE MEANS, METHODS AND	<ul> <li>BY ORGANIC GROWTHS/CONTAMINANTS (MOLD, MILDEW, ETC.) REPLACE, AT NO ADDITIONAL COST TO THE OWNER ALL WORK FOUND DEFECTIVE.</li> <li>C. PASSIVATE ALL EXPOSED TO VIEW STAINLESS STEEL DO NOT RECONTAMINATE ONCE STAINLESS STEEL HAS BEEN PASSIVATED.</li> </ul>
	PROCEDURES NECESSARY TO PRODUCE THE INTENDED RESULTS. SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THE SCOPE OF WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS. REFER TO CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, ETC., FOR ADDITIONAL NOTES. ALL	EXPOSED TO VIEW LIMITATIONS
	NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS. NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED DRAWINGS AND DETAILS. K. THE CONTRACTOR(S) SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, INCLUDING, BUT	<ul> <li>A. EXPOSED FASTENERS ARE PROHIBITED IN THE FINISHED WORK.</li> <li>B. ALL CONDUIT, PIPING AND DUCTWORK SHALL BE CONCEALED UNLESS NOTED OTHERWISE</li> </ul>
SIM SIMILAR CONDITION OH OPPOSITE HAND OPP OPPOSITE HAND ROT ROTATED CONDITION	NOT LIMITED TO, CRITICAL DIMENSIONS FOR CASEWORK AND GLAZING PRIOR TO THE COMMENCEMENT OF THE WORK. SHOULD A DISCREPANCY OCCUR THE CONTRACTOR(S) IS TO NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACTOR(S) SHALL CORRECT ALL DEVIATIONS AND MAKE ANY ADJUSTMENTS TO THE WORK BEFORE HE	PENETRATIONS OF FIRE-RATED ASSEMBLIES           A. MECHANICAL DUCTS THAT PENETRATE FIRE RATED CEILINGS AND FIRE RATED WALLS SHALL BE CORRESPONDINGLY RATED OR DAMPERED.
	BEGINS HIS PORTION OF THE WORK. L. THE CONTRACTOR(S) SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. HE SHALL INVESTIGATE, VERIFY AND BE FAMILIAR WITH CONDITIONS OF THE	B. CABINETS, ELECTRICAL PANELS, LIGHTS, ETC. RECESSED INTO FIRE RATED WALLS OR CEILINGS SHALL BE BACKED WITH CORRESPONDING FIRE RESISTIVE CONSTRUCTION AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE PROTECTION AND ACOUSTIC RATING.
	<ul><li>PROJECT. HE SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.</li><li>M. THE CUTTING OF EXISTING CONSTRUCTION AND FINISHES SHALL BE REPAIRED WHERE CUT OR</li></ul>	C. ALL VOIDS AND PENETRATIONS THROUGH FLOOR SLABS BY CONDUITS, PIPES, ETC. EXCEPT CONTAINED ENTIRELY WITHIN RATED SHAFTS, SHALL BE SEALED TO MAINTAIN FIRE RATING OF THE RATED CONDITION.
	DAMAGED BY OTHER PORTIONS OF THE WORK BY TRADES PEOPLE WHO ARE BY TRAINING AND EXPERIENCE QUALIFIED TO MAKE SUCH REPAIRS, SHALL PERFORM THE REPAIRS. N. SEAL ALL STAIR STRINGERS AND LANDINGS TO THE WALL WHERE A TIGHT UNIFORM FIT HAS NOT	D. ALL CONDUIT AND PIPING PENETRATIONS THROUGH RATED WALLS AND FLOORS SHALL BE SEALED TO MAINTAIN FIRE RATING AND ACOUSTIC RATING OF RATED CONDITION.
	<ul> <li>BEEN FURNISHED AT THE WALL AND STAIR STRINGER CONDITION.</li> <li>O. ENSURE THAT WALL FINISH MATERIALS SUCH AS PAINT ARE COMPATIBLE WITH SEALANT MATERIAL UTILIZED IN THE WALL CONSTRUCTION.</li> </ul>	PENETRATIONS OF NON-FIRE-RATED ASSEMBLIES A. MECHANICAL DUCTS, PIPES, AND CONDUIT THAT PENETRATE CEILINGS AND WALLS SHALL BE SEALED AND MAINTAIN THE INDICATED ACOUSTIC RATING OF THE WALL OR CEILING.
	P. ANY DETAILS, SYSTEMS, MATERIALS, (I.E. ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.) WHICH ARE PROPOSED TO BE CHANGED BY THE CONTRACTOR MUST FIRST BE REVIEWED BY THE OWNER, ARCHITECT AND GENERAL CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS.	<ul> <li>B. ALL VOIDS AND PENETRATIONS THROUGH FLOOR SLABS BY CONDUITS, PIPES, ETC. EXCEPT CONTAINED ENTIRELY WITHIN RATED SHAFTS, SHALL BE SEALED.</li> </ul>
RLINE	<ul> <li>Q. PROVIDE ACCESS PANELS IN CEILINGS WHERE REQUIRED FOR ACCESS TO ALL EQUIPMENT AND OR DEVICES. ARCHITECT TO REVIEW PROPOSED LOCATIONS. COORDINATE THE REQUIREMENT WITH WORK OF OTHER TRADES SHOWN ON THE DRAWINGS AND IN THE PROJECT MANUAL.</li> </ul>	<ul> <li>DISSIMILAR METALS</li> <li>A. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN, CORROSION AND GALVANIC ACTION. SUBMIT AFFIDAVITS WHICH DEDIEST THAT DISOLATED AND FOUND ATED</li> </ul>
	R. WHETHER OR NOT EXPLICITLY INDICATED, ALL GLAZING SHALL BE SAFETY GLAZING WHEN WITHIN 18" OF THE FLOOR OR WITHIN 36" HORIZONTAL DISTANCE FROM ANY DOOR.	CERTIFY THAT DISSIMILAR MATERIALS ARE ISOLATED
	S. PROVIDE SHOP DRAWINGS AND COORDINATION DRAWINGS TO GUIDE THE FIELD INSTALLATION OF ALL SYSTEMS. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL NOT USE THESE DIAGRAMMATIC CONTRACT DOCUMENTS AS THEIR SHOP AND COORDINATION DRAWINGS.	A. THE LOCATION OF ALL MECHANICAL, ELECTRICAL AND PLUMBING, FIRE LIFE SAFETY AND SECURITY DEVICES AND FIXTURES ARE SHOWN APPROXIMATELY IN CONSULTING ENGINEERING DRAWINGS. EXACT LOCATIONS OF ELECTRICAL, LOW VOLTAGE, MECHANICAL AND PLUMBING
	T. IN AREAS INDICATED BY THE FINISH PLANS TO BE PAINTED AND WHERE NO CEILING IS INDICATED, PAINT SHALL EXTEND TO THE BOTTOM OF THE FLOOR OR ROOF STRUCTURE (TYPICAL). REFER TO REFLECTED CEILING PLANS AND FINISH SPECIFICATIONS FOR PAINTING OF EXPOSED STRUCTURE.	<ul> <li>DEVICES, INCLUDING BUT NOT LIMITED TO SMOKE DETECTORS, PULL STATIONS, SWITCHES, OUTLETS, PHONE JACKS AND THERMOSTATS ARE ESTABLISHED BY THE ARCHITECTURAL DRAWINGS FOR ALIGNMENT AND COORDINATION WITH EACH OTHER AND OTHER BUILDING DEVICES PRIOR TO INSTALLATION.</li> <li>B. CONTRACTOR(S) IS TO PROVIDE AND INSTALL SINGLE COVER PLATE FOR MULTIPLE (GANGED)</li> </ul>
EE EXTERIOR SUB-SYSTEM OR ADDITIONAL INFORMATION	CODES A. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL CODES AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION AS IDENTIFIED ON LIFE SAFETY DRAWINGS.	<ul> <li>SWITCH LOCATIONS.</li> <li>C. ALL WALL MOUNTED DEVICES SUCH AS ELECTRICAL RECEPTACLE PLATES, ELECTRICAL SWITCH PLATES, THERMOSTATS, LIGHT FIXTURES, DATA PLATES, SIGNAGE, FIRE ALARM PULL STATIONS, FIRE ALARM HORNS AND STROBES, MOTION DETECTORS, ETC. SHALL BE MOUNTED LEVEL AND</li> </ul>
	B. IN CASE OF CONFLICT BETWEEN THESE CODES AND STANDARDS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK. SHOULD THE CONTRACTOR KNOWINGLY PROCEED WITH WORK WITHOUT RESOLUTION BY THE ARCHITECT, IT WILL NOT RELIEVE THE CONTRACTOR FROM MODIFYING, REMOVING OR REPLACING THE WORK TO CONFORM TO THE ARCHITECTS	<ul> <li>PLUMB. WHERE DEVICES ARE ADJACENT TO ANOTHER SUCH AS LIGHT SWITCHES, RECEPTACLES, THERMOSTATS, ETC., THE TOP OF THE DEVICE SHALL ALIGN WITH THE ADJACENT DEVICE.</li> <li>D. THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE OR OTHER OUTLETS. OUTLET</li> </ul>
IONAL INFORMATION)	INTERPRETATION OF THE CONTRACT DOCUMENTS. C. ALL CONSTRUCTION RELATING TO THE BUILDING SHALL CONFORM TO THE ACCESSIBILITY STANDARDS OF ANSI A117.1 LATEST EDITION.	<ul> <li>HOLES SHALL BE BACKED WITH ACOUSTICAL PUDDY PAD AND SEALED WITH ACOUSTICAL SEALANT.</li> <li>E. WHEN OUTLETS ARE GRAPHICALLY SHOWN AS OCCURRING BACK-TO-BACK, THEY SHOULD BE</li> </ul>
	D. CONTRACTOR SHALL COMPLY WITH IBC CHAPTER 33: SAFEGUARDS DURING CONSTRUCTION AND IFC CHAPTER 33: FIRE SAFETY DARNING CONSTRUCTION AND DEMOLITION DURING ANY DEMOLITION AND CONSTRUCTION.	SEPARATED BY A STUD. SEE ACOUSTICAL PENETRATION DETAILS. WHERE DIMENSIONS ARE SHOWN WHICH CONFLICT WITH THIS, OBTAIN DIRECTION FROM ARCHITECT.
	DIMENSIONS	EXTERIOR ENVELOPE A. THE ENVELOPE SHALL BE CONTINUOUS AROUND THE ENTIRE PERIMETER OF THE BUILDING, INCLUDING AT JOGS, OFF-SETS, RECESSED WALL AREAS, SOFFITS, ROOF TO WALL TRANSITION,
WALL MOUNTED CABINET	A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.	<ul> <li>EQUIPMENT RECESSED AT EXTERIOR WALLS.</li> <li>B. ALL EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND THE ROOF, BETWEEN WALL PANELS, AT PENETRATIONS</li> </ul>
XTINGUISHER FOR KITCHENS)	B. CONTRACTOR(S) AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, STAIRS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.	OF UTILITIES THROUGH THE ENVELOPE, SHALL BE SEALED OR WEATHER-STRIPPED TO PREVENT AIR LEAKAGE / INFILTRATION. C. PROVIDE PHYSICAL METAL SUPPORT FOR FLEXIBLE FLASHINGS TO MAINTAIN POSITIVE
, WALL BRACKET	C. THE CONTRACTOR(S) SHALL THOROUGHLY VERIFY ALL DIMENSIONS PRIOR TO THE BID SUBMISSION. TO THE EXTENT PRACTICABLE, HE SHALL ALSO VERIFY FIELD CONDITIONS AT THE SITE. ANY AND ALL CONFLICTS, OMISSIONS AND DISCREPANCIES SHALL BE REPORTED IN WRITING TO THE ARCHITECT FIVE BUSINESS DAYS PRIOR TO THE BID SUBMISSION, OTHERWISE THE CONTRACTOR(S) SHALL BEAR ALL COSTS TO COMPLETE THE WORK AS INTENDED ON THE DRAWINGS. THE CONTRACTOR(S) WARRANTS BY RENDERING HIS BID THAT THE WORK IS BUILDABLE AS SHOWN.	<ul> <li>DRAINAGE IN CAVITY WALLS OR ACROSS OTHER VOIDS.</li> <li>D. FORM END DAMS IN FLASHINGS AT WINDOW &amp; DOOR HEADS AND OTHER LOCATIONS AS REQUIRED TO DIRECT THE FLOW OF WATER TO THE EXTERIOR.</li> <li>E. DO NOT SEAL WEEP HOLES OR FLASHING TERMINATIONS TO THE EXTERIOR.</li> </ul>
ELEC. VERIFY EXACT TALLATION	D. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU / CONCRETE / BRICK WALL, FACE OF GWB/METAL STUD PARTITION, UNLESS NOTED OTHERWISE.	
	E. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE AND PLUMB.	MATERIALS LEGEND
	<ul> <li>F. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.</li> <li>G. FLOOR ELEVATIONS ARE INDICATED FROM TOP OF SLAB, UNLESS NOTED OTHERWISE.</li> </ul>	CONCRETE WOOD (ROUGH)
EMS AND ROOF	<ul> <li>H. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF FINISHED MATERIAL, UNLESS OTHERWISE NOTED ABOVE FINISH FLOOR (AFF).</li> <li>I. ALL DIMENSIONS INDICATED TO BE CLEAR / CLR SHALL BE PROVIDED AS A MINIMUM CLEAR</li> </ul>	CONCRETE MASONRY UNIT (CMU) WOOD FINISHED
	DIMENSION TO BE MAINTAINED BETWEEN FINISHED PARTITIONS AND MATERIALS (INCLUSIVE OF FINISH MATERIALS).	BRICK PLYWOOD
		STEEL BATT INSULATION
E OF SMOKE (IBC 509.4.2)		POROUS FILL RIGID INSULATION
		(STONE OR GRAVEL)
OR ADDITIONAL INFORMATION)		COMPACTED EARTH COMPACTED EARTH COMPACTED EARTH COMPACTED EARTH COMPACTED EARTH

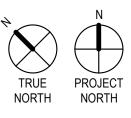




SHEET NO

G-100

THE WAY Æ FERNATE NO. 2

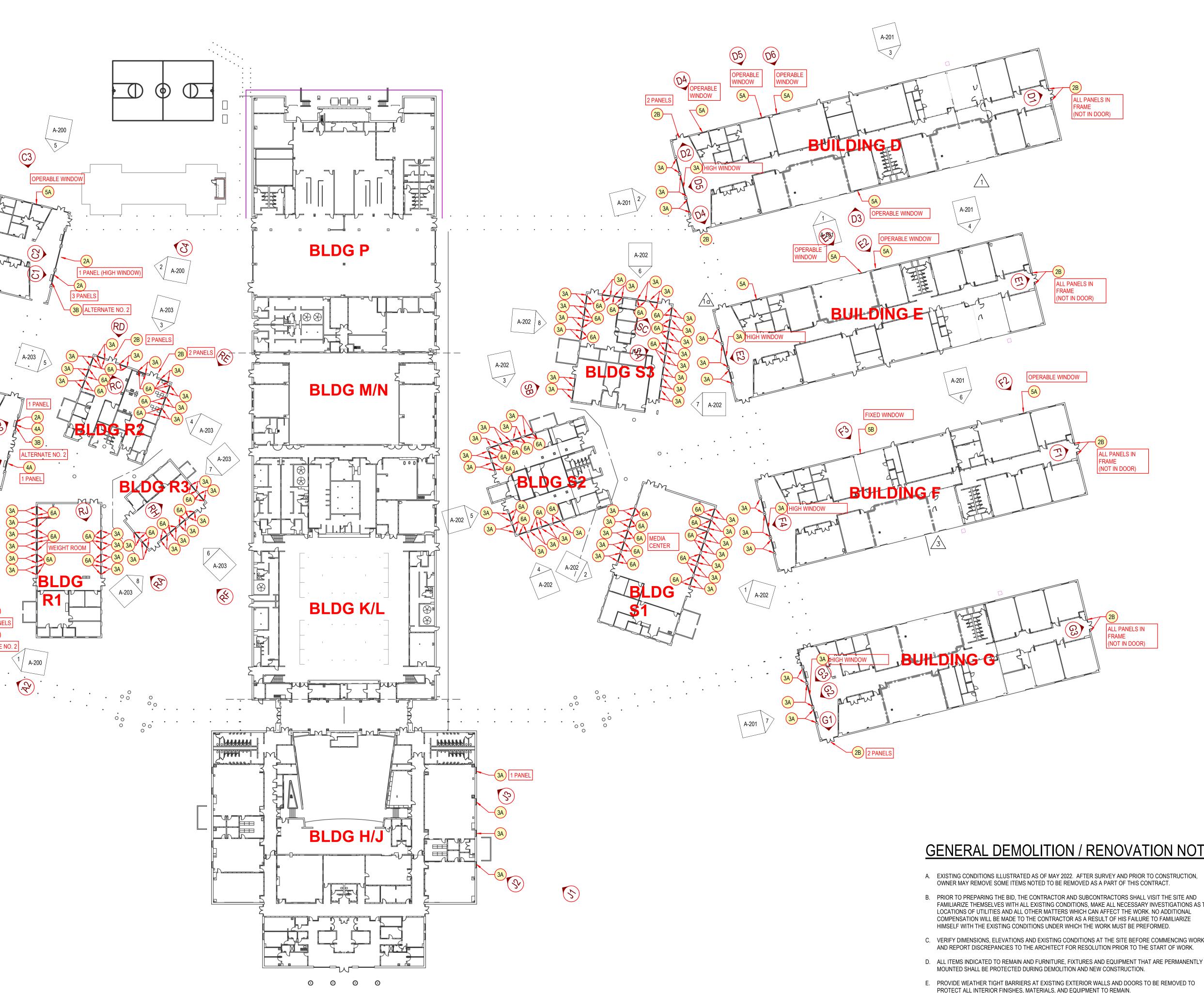


## 1 A-101 SCALE: 1" = 40'-0"

#### **KEYNOTES**

1/	REMOVE AND REPLACE BROKEN GLASS PANEL(S) IN STOREFRONT SYSTEM. INSTALL NEW GASKETS AT PANEL PERIMETER INSIDE AND OUTSIDE. (NUMBER OF PANELS NOTED AT EACH LOCATION).	<b>4</b> A	R S
	REMOVE AND REPLACE BROKEN GLASS PANEL IN OPERABLE WINDOW SYSTEM.	<b>5</b> A	0 IN
2/	REMOVE AND REPLACE BROKEN SEAL GLASS PANEL(S) IN STOREFRONT SYSTEM. INSTALL NEW GASKETS AT PANEL PERIMETER INSIDE AND OUTSIDE. (NUMBER OF PANELS NOTED AT EACH LOCATION).	5B	F A
21	REMOVE AND REPLACE BROKEN SEAL GLASS PANEL(S) IN HOLLOW METAL FRAME SYSTEM. REMOVE METAL GLASS BEAD, INSTALL NEW METAL GLASS BEADS AT PERIMETER OF REPLACED GLASS. PAINT METAL GLASS BEAD AND FRAME TO MATCH EXISTING FRAME. (NUMBER OF PANELS NOTED AT EACH LOCATION).	(6A)	A C
3/	REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.		

(3B) ALTERNATE NO. 2: REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.



REPLACE DAMAGED GLASS GASKETING AT GLASS PERIMETER AT STOREFRONT SYSTEM. (NUMBER OF PANELS NOTED AT EACH LOCATION). OPERABLE WINDOW - REPLACE GLASS PANEL AT CASEMENT WINDOW, INCLUDING ALL GASKETING.

FIXED WINDOW - REPLACE GLASS PANEL AT FIXED WINDOW, INCLUDING ALL GASKETING.

ALTERNATE NO.1: NEW MANUAL ROLLERSHADE WITH FASCIA AND END CAPS FULL WIDTH OF WINDOW.

#### **GENERAL NOTES**

- PROTECT ALL INTERIOR SPACES DURING DEMOLITION AND REPLACEMENT. COORDINATE SCHEDULE OF REMOVAL AND REPLACEMENT WITH OWNER.
- 3. NEW STOREFRONT FRAMES SHALL MATCH LAYOUT OF EXISTING FRAMES (FIELD VERIFY ALL DIMENSIONS). NEW FRAMES SHALL MATCH EXISTING FRAME COLOR. NEW SEALANT COLOR SHALL MATCH EXISTING SEALANT COLOR.
- 4. AT FRAME REMOVAL AND REPLACEMENT, TOUCH UP PAINT AT INTERIOR TO MATCH EXISTING.
- 5. AT INDIVIDUAL GLASS PANEL REPLACEMENT, FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING GLASS.
- 6. REMOVE AND REINSTALL EXISTING BLINDS AS REQUIRED TO INSTALL NEW WINDOWS / STOREFRONT / GLASS. REMOVE EXISTING DRAPES IN AREAS OF WORK AND TURN OVER TO OWNER. AS PART OF ALTERNATE NO. 1, REMOVE
- EXISTING BLINDS FOR INSTALLATION OF NEW MANUAL SHADES. 7. PROTECT ALL EXISTING LANDSCAPE MATERIALS IN AREAS OF WORK.
- 8. TOUCH UP PAINT AT INTERIOR TO MATCH EXISTING WHERE WINDOWS / STOREFRONT ARE BEING REMOVED AND REPLACED. 9. PROVIDE TEMPORARY WEATHER BARRIER PROTECTION AS REQUIRED. DO NOT
- REMOVE EXISTING STOREFRONT UNTIL NEW STOREFRONT MATERIALS ARE IN HAND. DO NOT REMOVE EXISTING GLASS UNTIL NEW GLASS IS IN HAND.

## **GENERAL DEMOLITION / RENOVATION NOTES**

- FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, MAKE ALL NECESSARY INVESTIGATIONS AS TO LOCATIONS OF UTILITIES AND ALL OTHER MATTERS WHICH CAN AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR AS A RESULT OF HIS FAILURE TO FAMILIARIZE
- VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK
- D. ALL ITEMS INDICATED TO REMAIN AND FURNITURE, FIXTURES AND EQUIPMENT THAT ARE PERMANENTLY
- F. SHOULD THE CONTRACTOR ENCOUNTER ANY MATERIALS IDENTIFIED AS HAZARDOUS MATERIALS HE
- SHALL IMMEDIATELY REFER TO THE GENERAL CONDITIONS AND NOTIFY THE OWNER AND THE ARCHITECT. G. CONTRACTORS' MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT WHILE THE BUILDING IS OCCUPIED.
- H. AT AREAS OF WORK, PROVIDE PLYWOOD, STUD WALL, 10 MIL POLY AND INSULATION TO PROTECT ADJACENT AREAS AND EQUIPMENT FROM DUST, DIRT, DAMAGE, AND NOISE. SEAL TO MAINTAIN THERMAL AND WEATHER BARRIER.
- I. ALL NEW WORK ADJOINING EXISTING CONSTRUCTION SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION UNLESS OTHERWISE DIMENSIONED OR DETAILED. J. CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH REGULATION REQUIREMENTS,
- INCLUDING BUT NOT LIMITED TO FEDERAL, STATE AND LOCAL REQUIREMENTS, PERTAINING TO LEGAL DISPOSAL OF ALL CONSTRUCTION AND DEMOLITION WASTE MATERIALS.

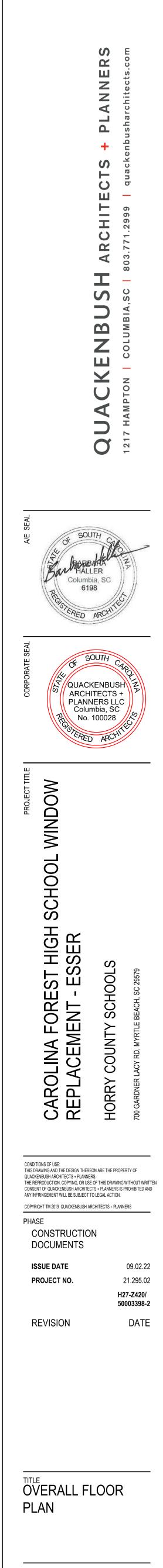
#### **DEMOLITION & COORDINATION NOTES**

- A. COORDINATE EXACT SEQUENCE AND SCHEDULE OF DEMOLITION W/ OWNER AND ARCHITECT PRIOR TO BEGINNING. DO NOT REMOVE ENVELOPE SYSTEMS UNTIL TEMPORARY WATER TIGHT BARRIERS ARE IN PLACE OR NEW SYSTEMS ARE ON SITE READY FOR INSTALLATION. TEMPORARY CONSTRUCTION BARRIERS SHALL REMAIN IN PLACE BETWEEN THE BUILDINGS DURING ENTIRE CONSTRUCTION SCHEDULE. WHEN TEMPORARY BARRIER IMPEDE NEW WORK, CONTRACTOR SHALL RECEIVE PERMISSION FROM OWNER & ARCHITECT TO TEMPORARILY REMOVE BARRIER.
- B. EXISTING FIRE ALARM PULL STATIONS AND STROBES SHALL REMAIN FUNCTIONAL DURING EXTENT OF CONSTRUCTION. EXISTING SMOKE DETECTORS ON CONSTRUCTION SIDE AND NEAR TEMPORARY WALL(S) SHALL BE COVERED OR DEACTIVATED FROM MAIN BUILDING SYSTEM DURING CONSTRUCTION.
- C. THE MAJORITY OF DEMOLITION AND RENOVATION WORK INSIDE THE EXISTING BUILDING SHALL OCCUR DURING OFF-HOURS AND BREAKS (NOT DURING SCHOOL HOURS). COORDINATE EXACT SCHEDULE WITH OWNER TO MINIMIZE DISRUPTION.

### **ALTERNATES**

ALTERNATE NO. 1: NEW MANUAL ROLLERSHADE WITH FASCIA AND END CAPS FULL WIDTH OF WINDOW (6A)

ALTERNATE NO. 2: REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.



SHEET NO

A-101

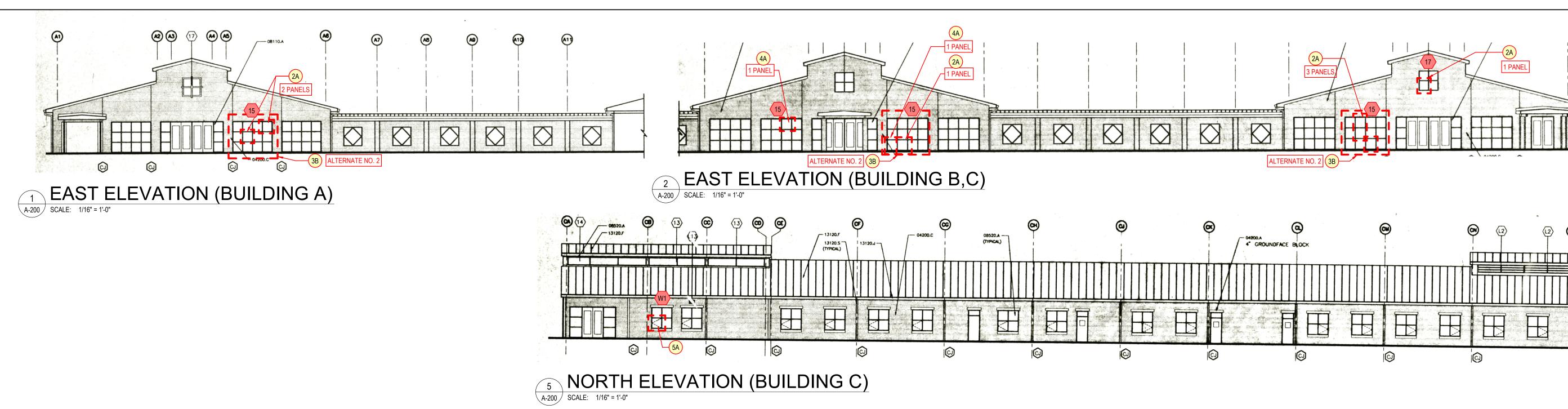




PHOTO C3



**PHOTO B3** 

NOTE: ALL GLASS REPLACEMENT THIS SHEET (BUILDINGS A, B, C) SHALL BE LOW-E, INSULATED, LAMINATED, CLEAR GLASS.



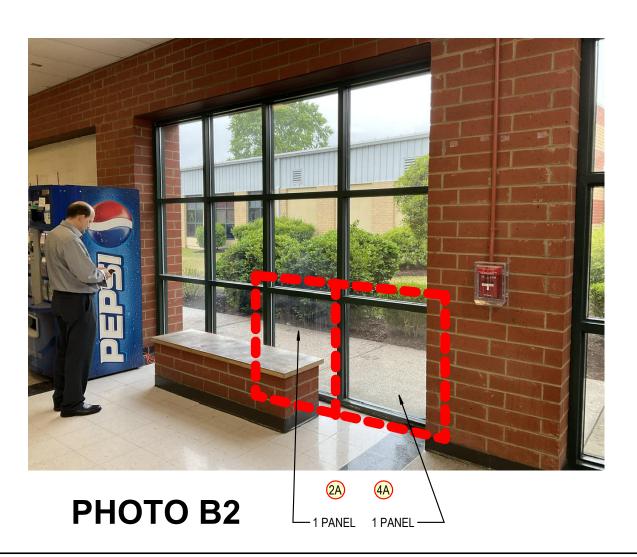
PHOTO J2

PHOTO J3





PHOTO C4



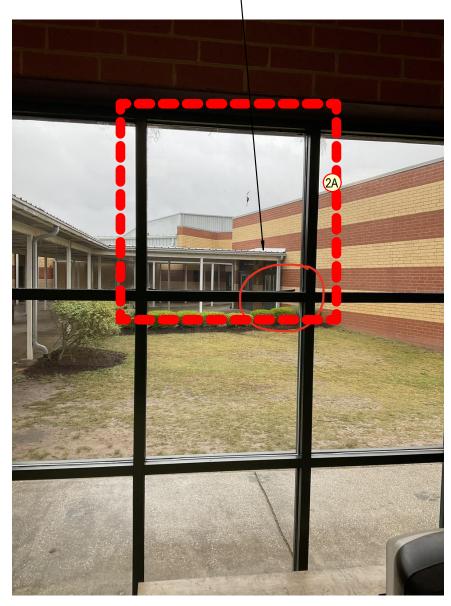
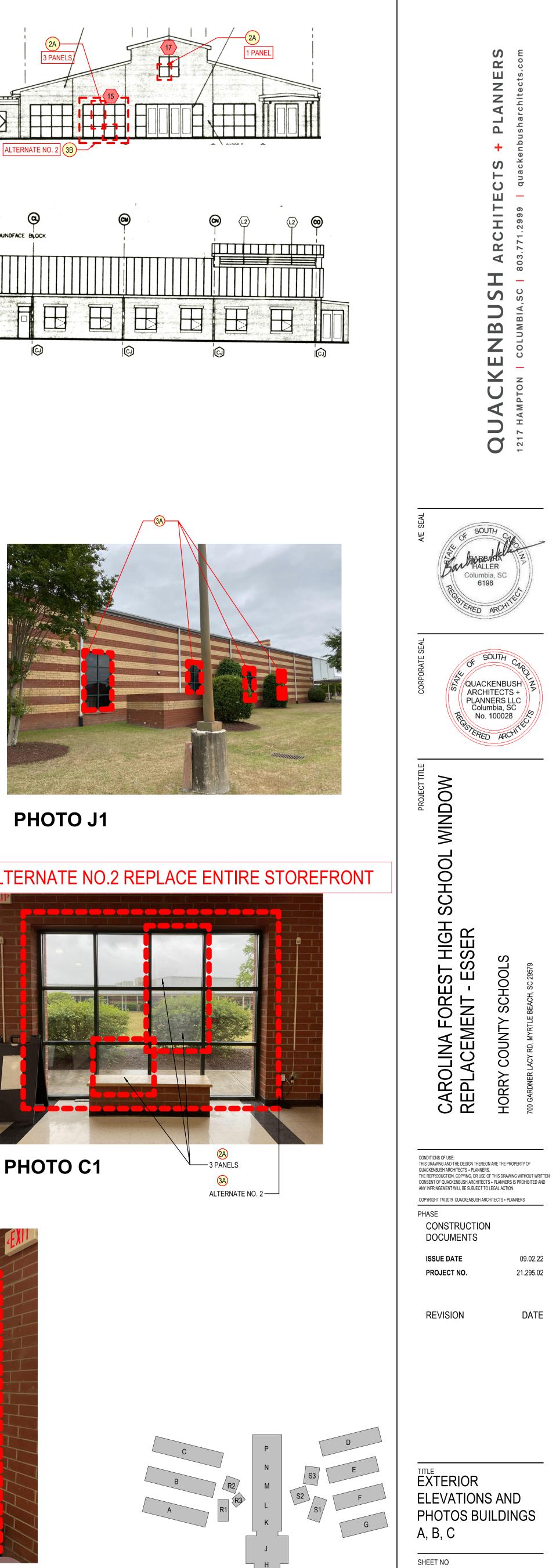
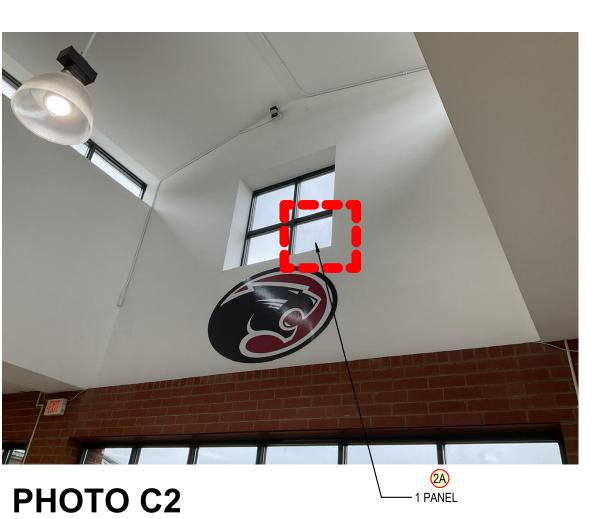
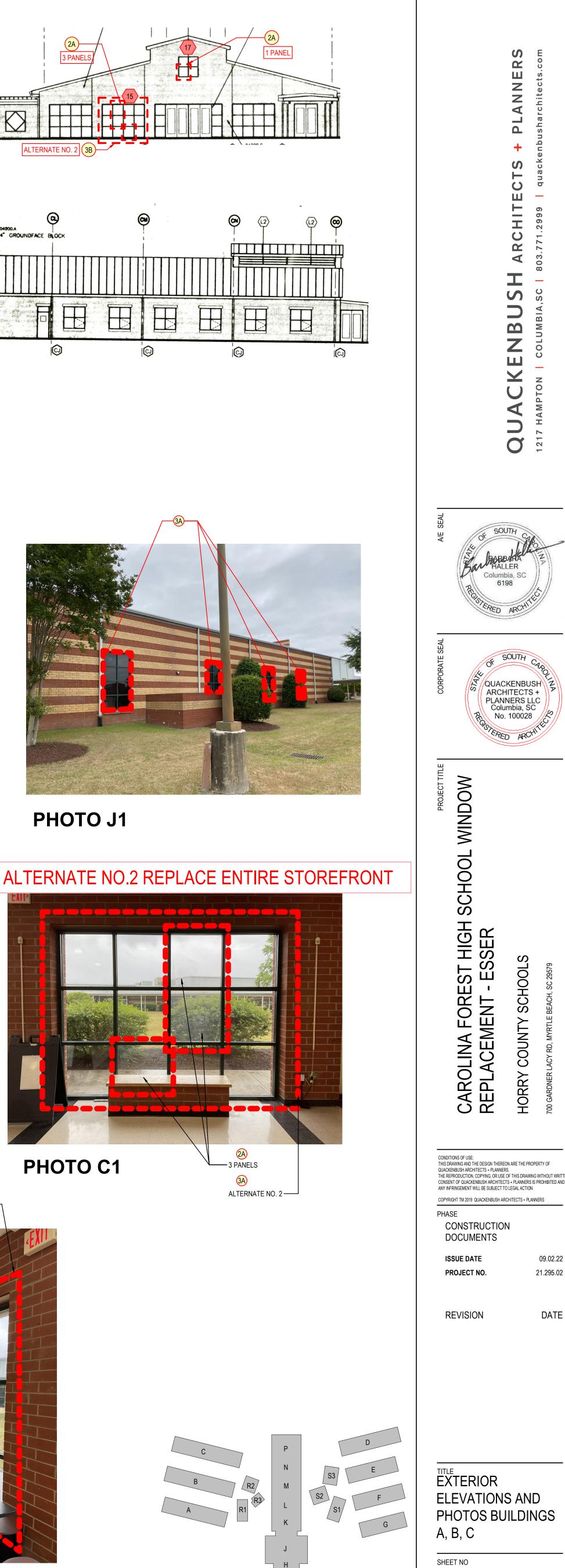


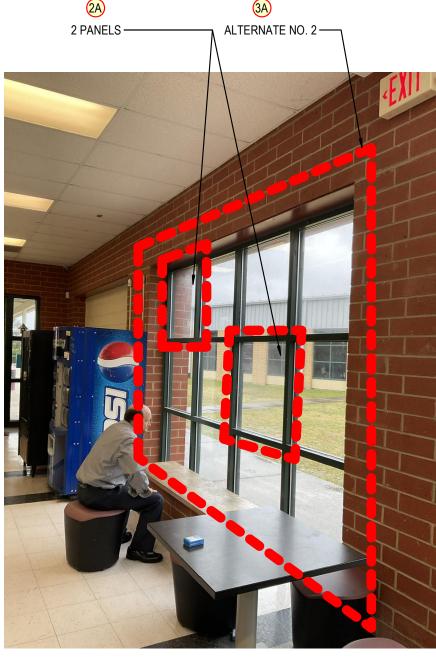
PHOTO B1



**KEY PLAN** 







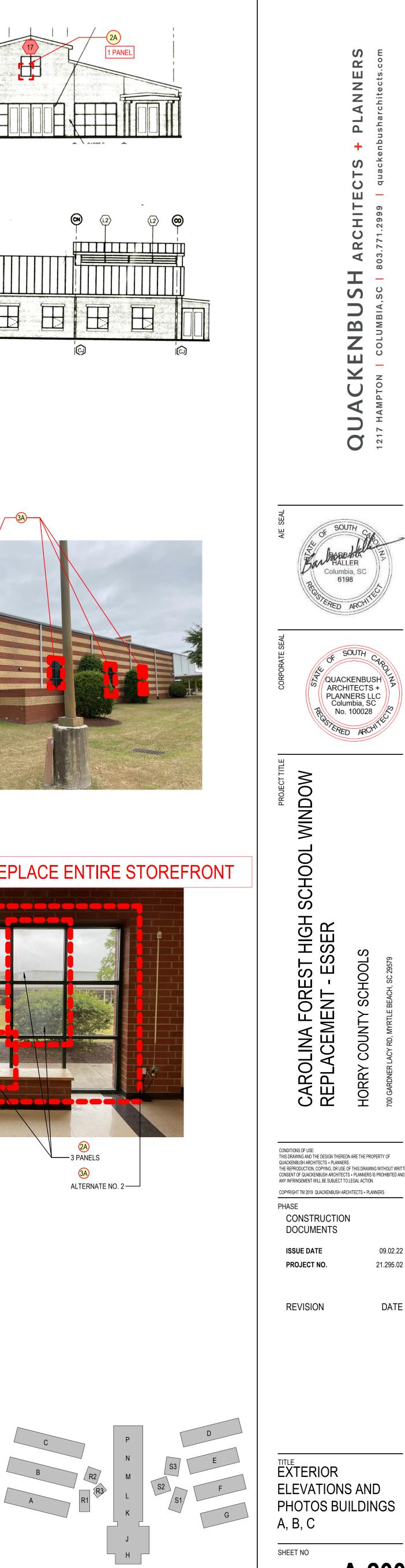
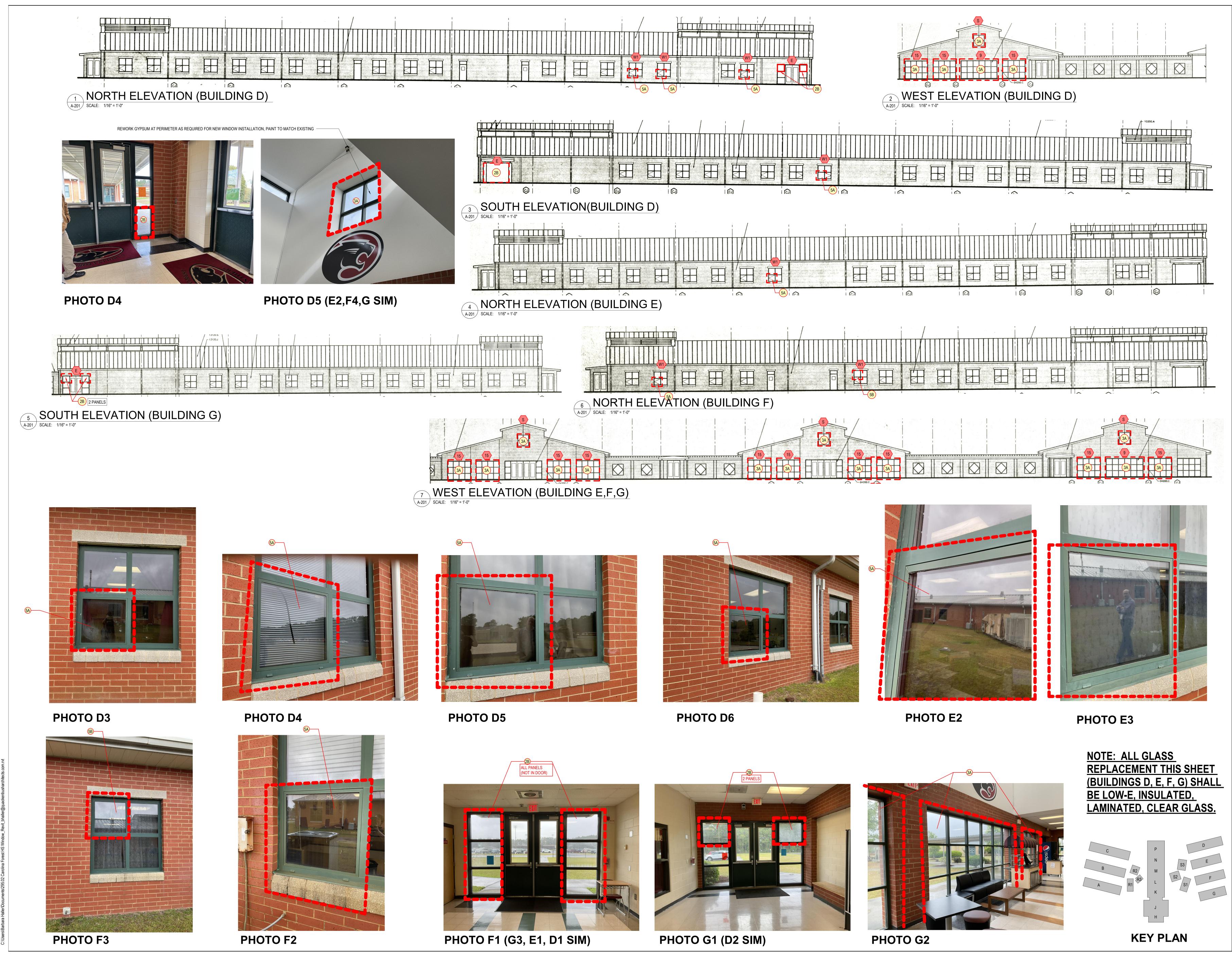
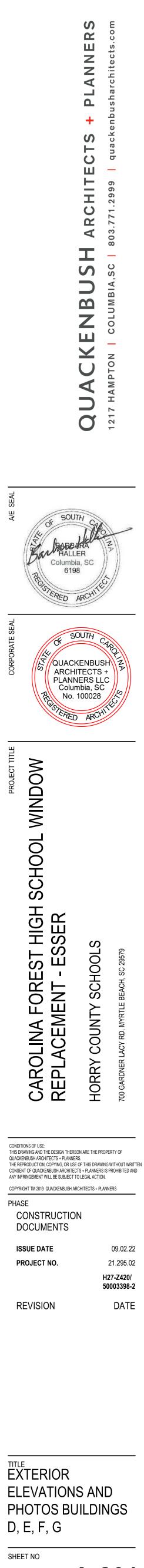


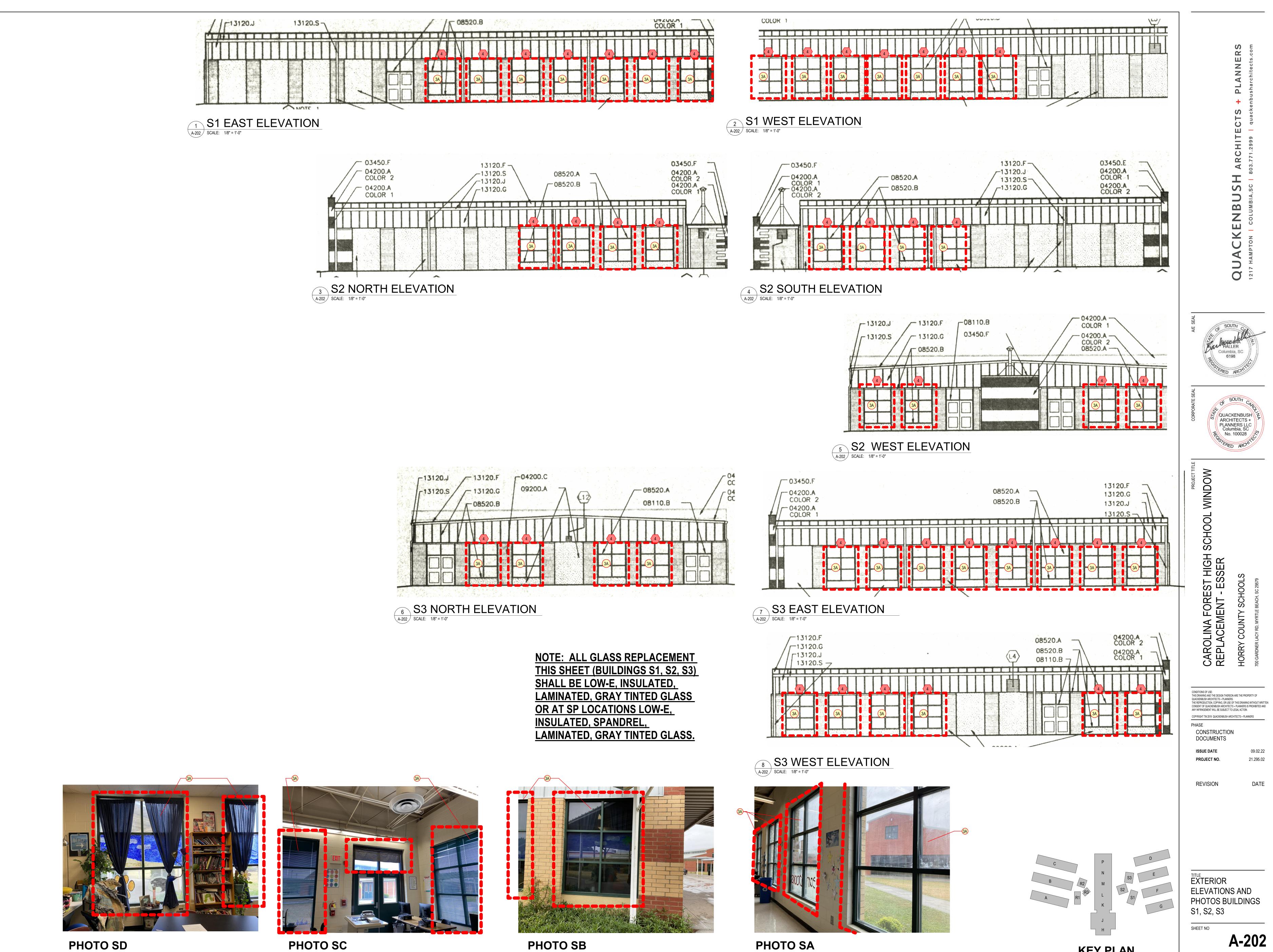
PHOTO A1

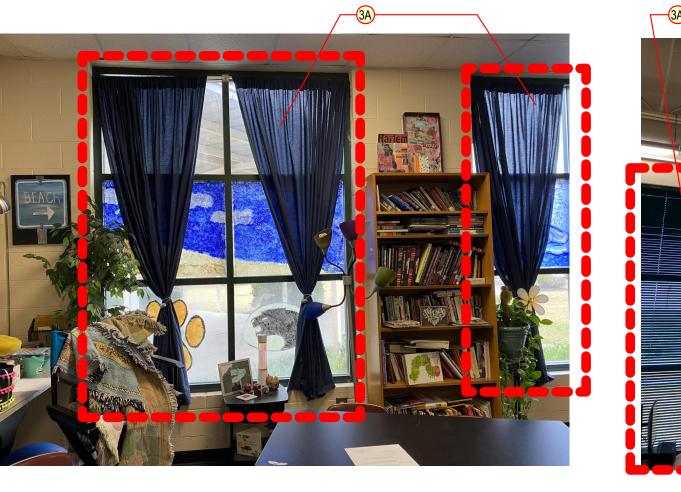
A-200



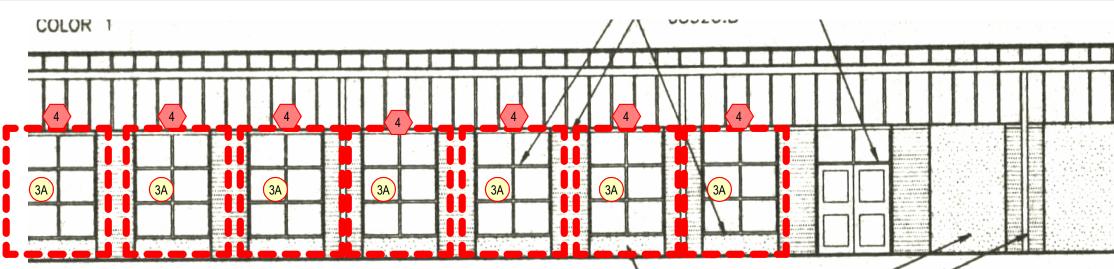


A-201

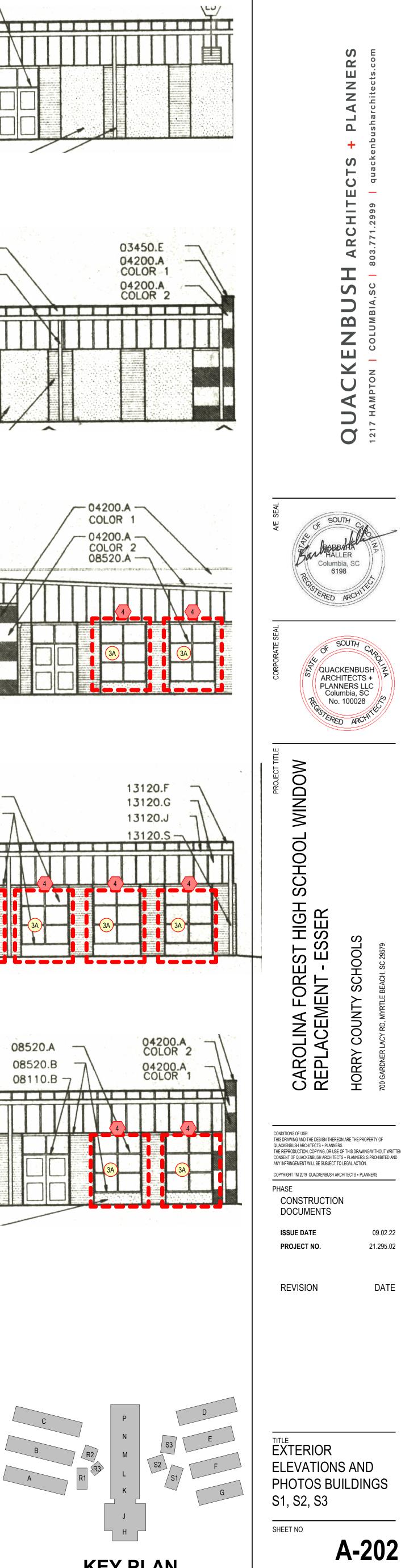




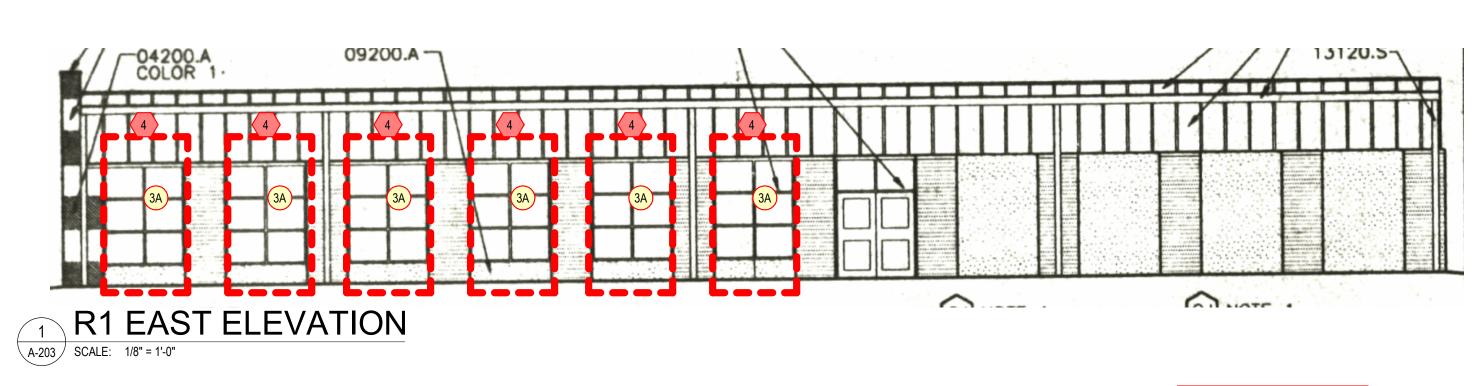








## KEY PLAN







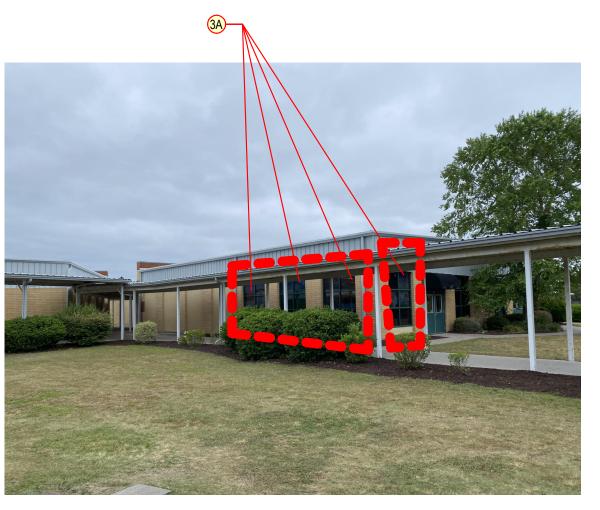


PHOTO RE

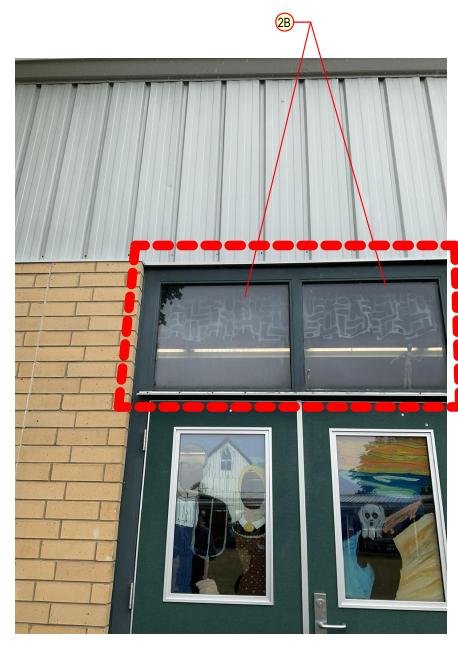
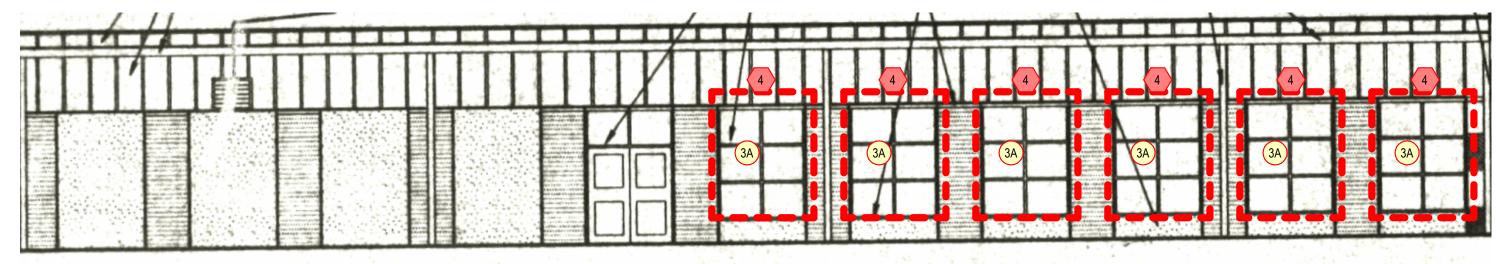
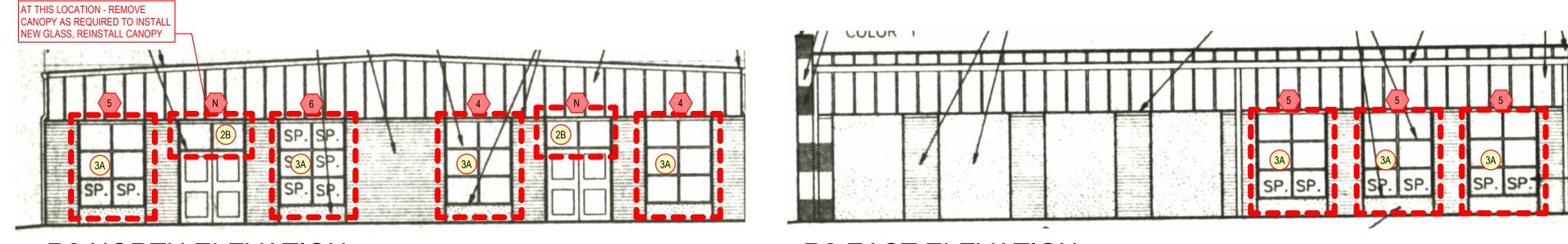


PHOTO RD



2 A-203 **R1 WEST ELEVATION** SCALE: 1/8" = 1'-0"



3 A-203 SCALE: 1/8" = 1'-0"

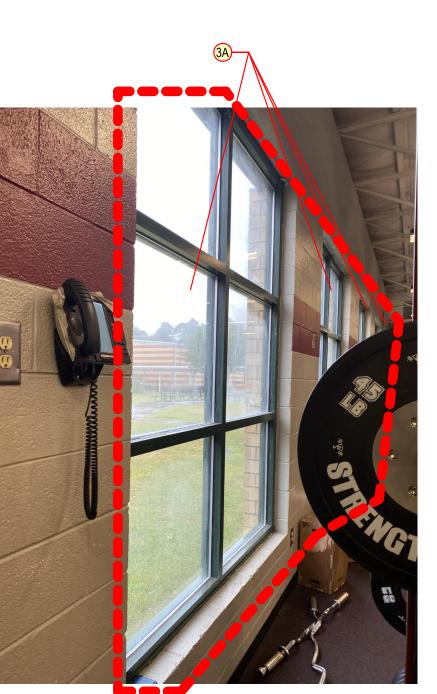


PHOTO RJ

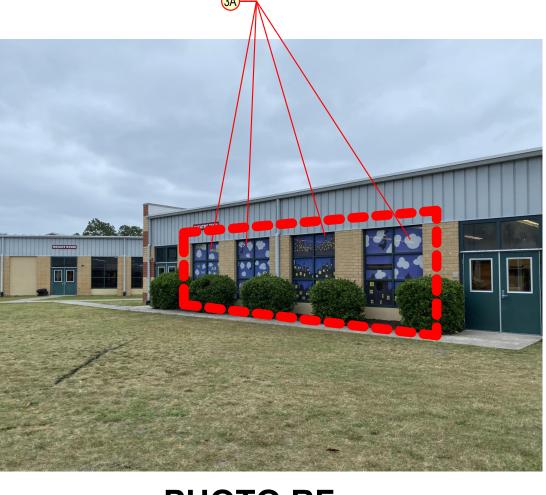
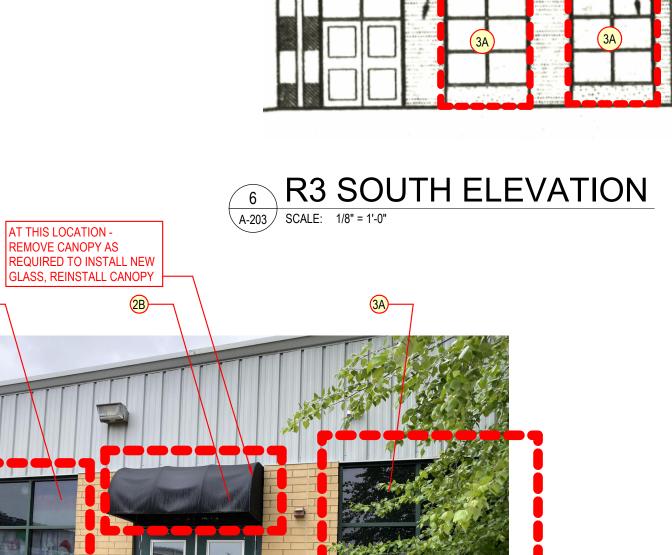


PHOTO RF



a second a second s

**PHOTO RG** 

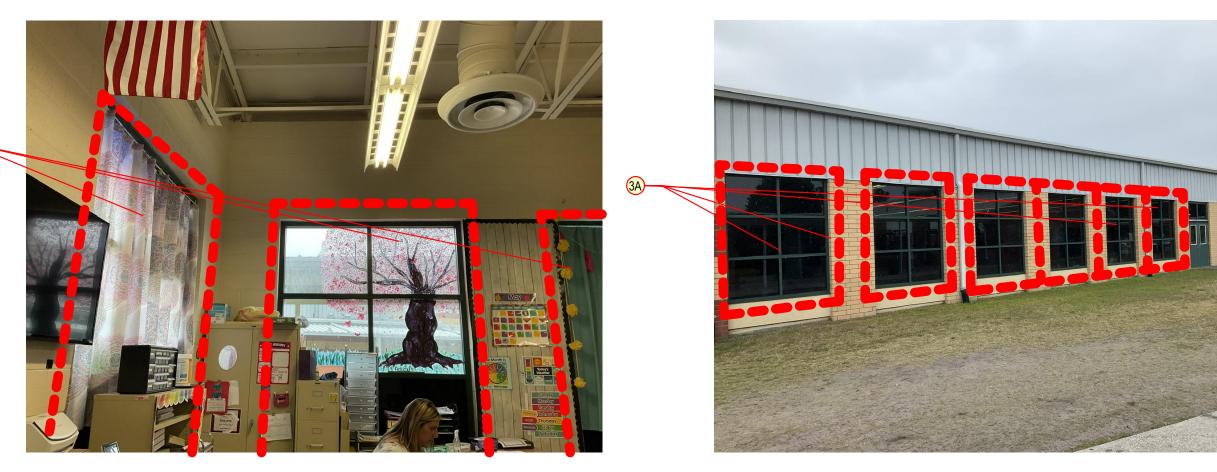
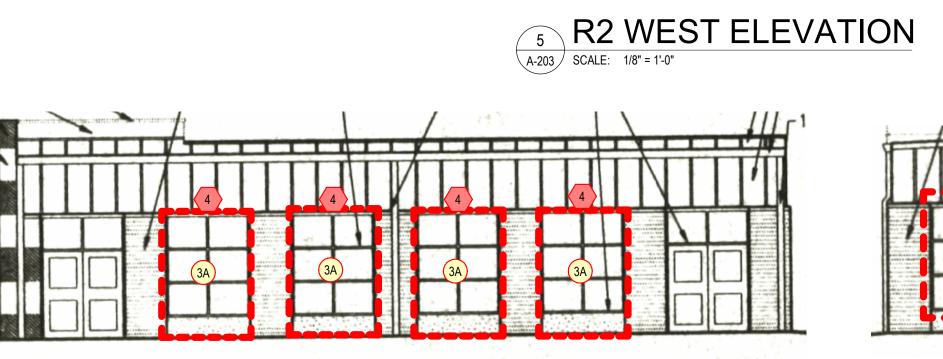


PHOTO RC

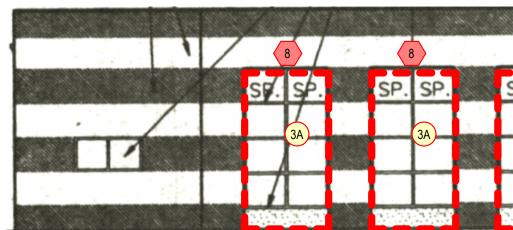
**PHOTO RB** 





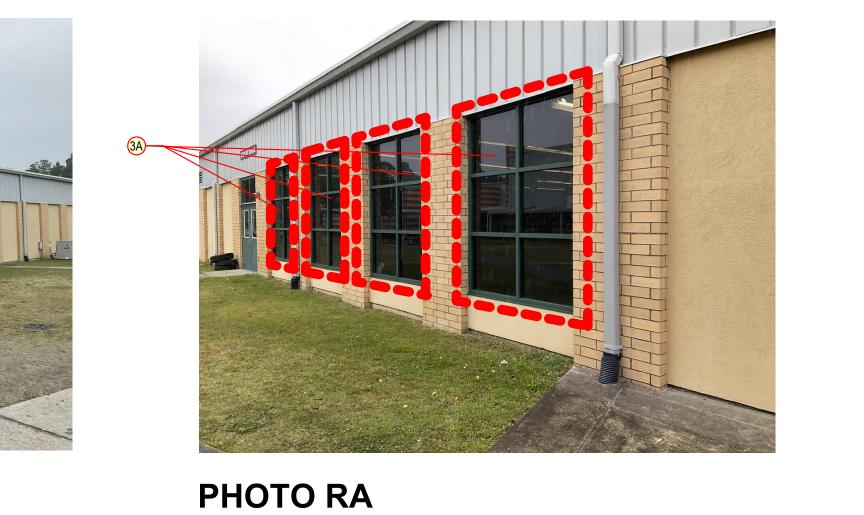
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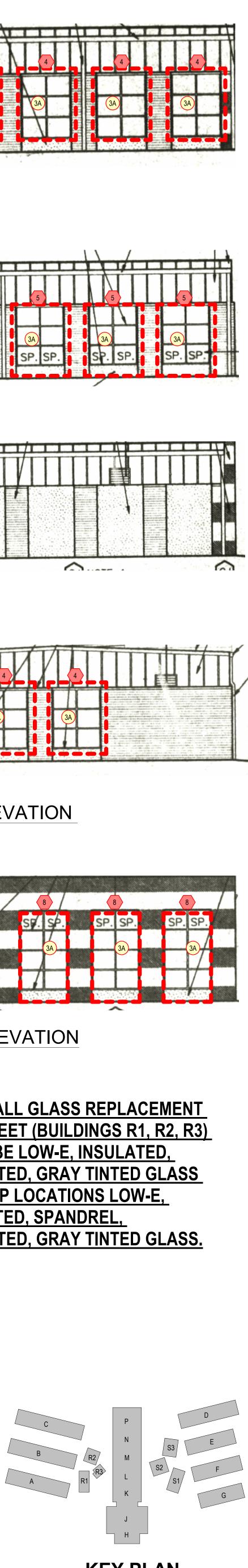
7 A-203 SCALE: 1/8" = 1'-0"



8 R3 WEST ELEVATION A-203 SCALE: 1/8" = 1'-0"

NOTE: ALL GLASS REPLACEMENT THIS SHEET (BUILDINGS R1, R2, R3) SHALL BE LOW-E, INSULATED, LAMINATED, GRAY TINTED GLASS OR AT SP LOCATIONS LOW-E, INSULATED, SPANDREL, LAMINATED, GRAY TINTED GLASS.



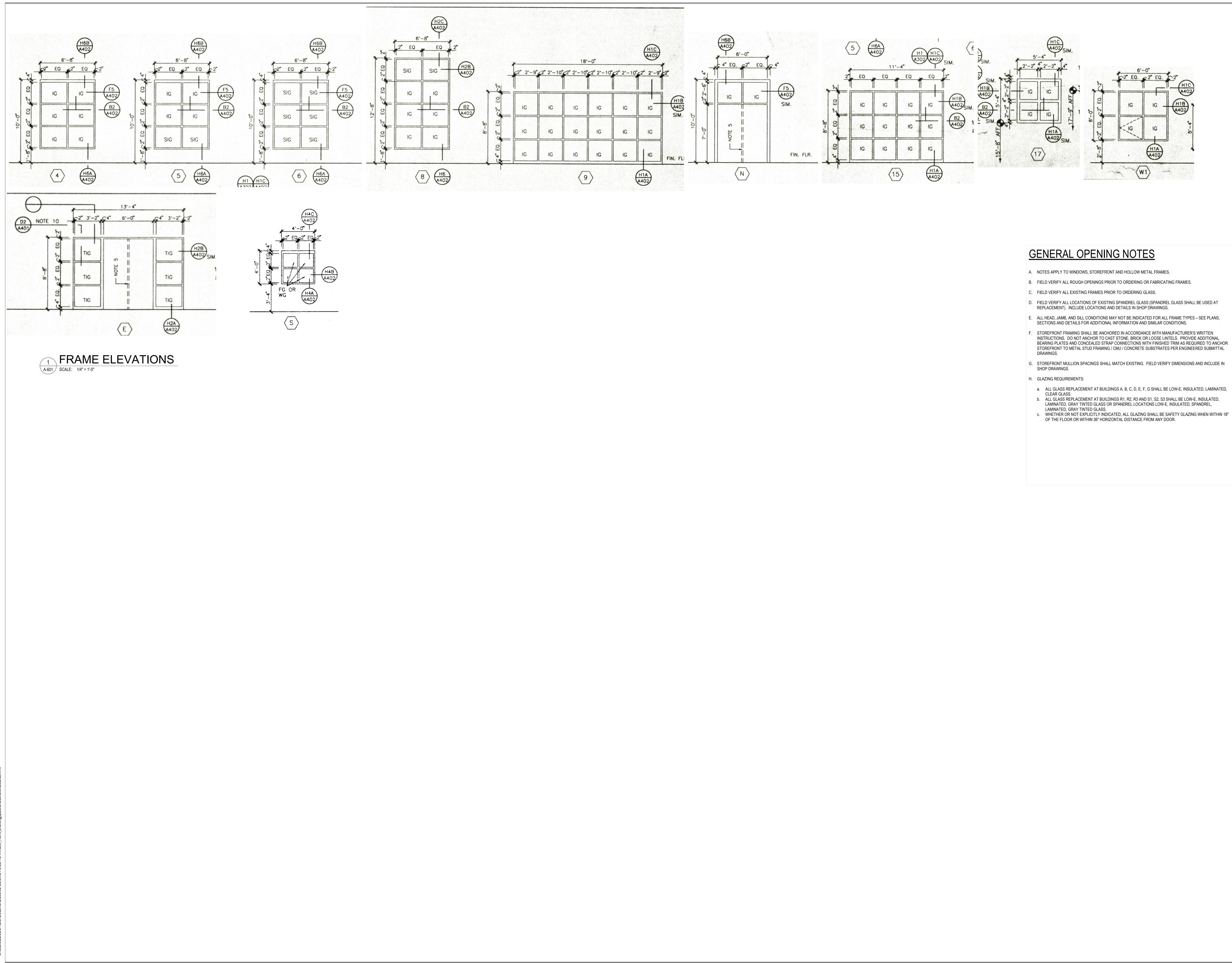


KEY PLAN



SHEET NO





- INSTRUCTIONS. DO NOT ANCHOR TO CAST STONE, BRICK OR LOOSE LINTELS. PROVIDE ADDITIONAL BEARING PLATES AND CONCEALED STRAP CONNECTIONS WITH FINISHED TRIM AS REQUIRED TO ANCHOR

- LAMINATED, GRAY TINTED GLASS OR SPANDREL LOCATIONS LOW-E, INSULATED, SPANDREL,



