

CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT-ESSER

HORRY COUNTY SCHOOLS

700 GARDNER LACY RD | MYRTLE BEACH, SC
ARCHITECT'S PROJECT NUMBER 21.295.02

SEPTEMBER 02, 2022

CONSTRUCTION DOCUMENTS



Form F3 – Building Code Analysis

Date: 09/02/2022

SUBMITTAL: Schematic Design Development Construction Document

SC CODE EDITION: 2018 ICC CODE EDITION: SCEBC ICC A117.1 EDITION: 2017 OSF GUIDE EDITION: 2020
OTHER CODES/STANDARDS & EDITIONS:

PROJECT DESCRIPTION: [Brief Scope of Work & Include project delivery method (i.e. CMR, etc.)]
Replace existing glass and storefront where needed.

BASIC BUILDING CODE INFORMATION			
DESIGNATED AREAS OF BUILDING	Building Code	Area 1-6	
CONSTRUCTION CLASSIFICATION TYPE	Section 602	<input type="checkbox"/> SCBC <input checked="" type="checkbox"/> SCEBC	
OCCUPANCY GROUP (indicate all)	Section 302	GROUP E	
MOST RESTRICTIVE OCCUPANCY GROUP	Tables 504.3, 504.4 & 506.2	NA	
Does building require Incidental Use Area Separation?	Table 509	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
Does building have Accessory Occupancy (ies)?	Section 508.2	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
What is the aggregate square footage of the accessory occupancy (ies)?	Section 508.2	NA SF	
What percent of the story is the aggregate of the accessory occupancy (ies)?	Section 508.2	NA %	
Mixed Occupancy	Section 508	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> Nonseparated <input type="checkbox"/> Separated	

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Version April 2021

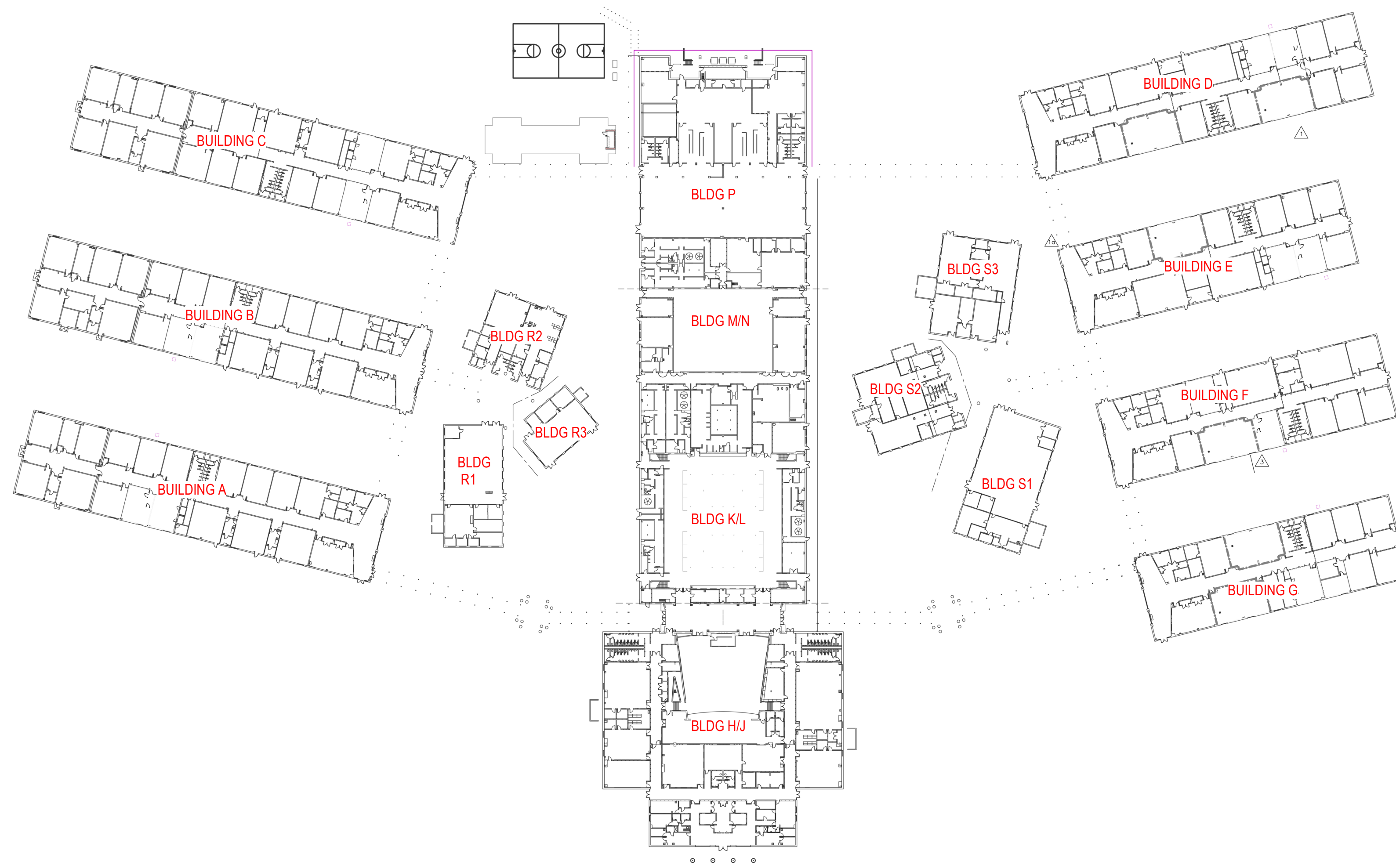


Form F3 – Building Code Analysis

EXISTING BUILDING CODE INFORMATION (SCEBC)	
DESIGNATED AREAS OF BUILDING	Area A-F
Method of Compliance: (Check only one Option and all items that apply under that Option.)	<input checked="" type="checkbox"/> Option 1: Prescriptive Compliance Method (Ch. 3, 5) <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Historic Building
	<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building
Aggregate area of building:	SF
Work area:	SF
	<input type="checkbox"/> Option 3: Performance Compliance Method (Ch. 3, 13)
Original Building Code and Edition	VARIES
Applicable at the time of Construction:	
Existing Sprinkler System?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Existing Fire Alarm System?	<input checked="" type="checkbox"/> Manual <input type="checkbox"/> Auto
Seismic Evaluation Required?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Change of Occupancy:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Historic Building:	Existing Occupancy Classification: New Occupancy Classification: <input type="checkbox"/> Preservation <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Restoration <input type="checkbox"/> Reconstruction

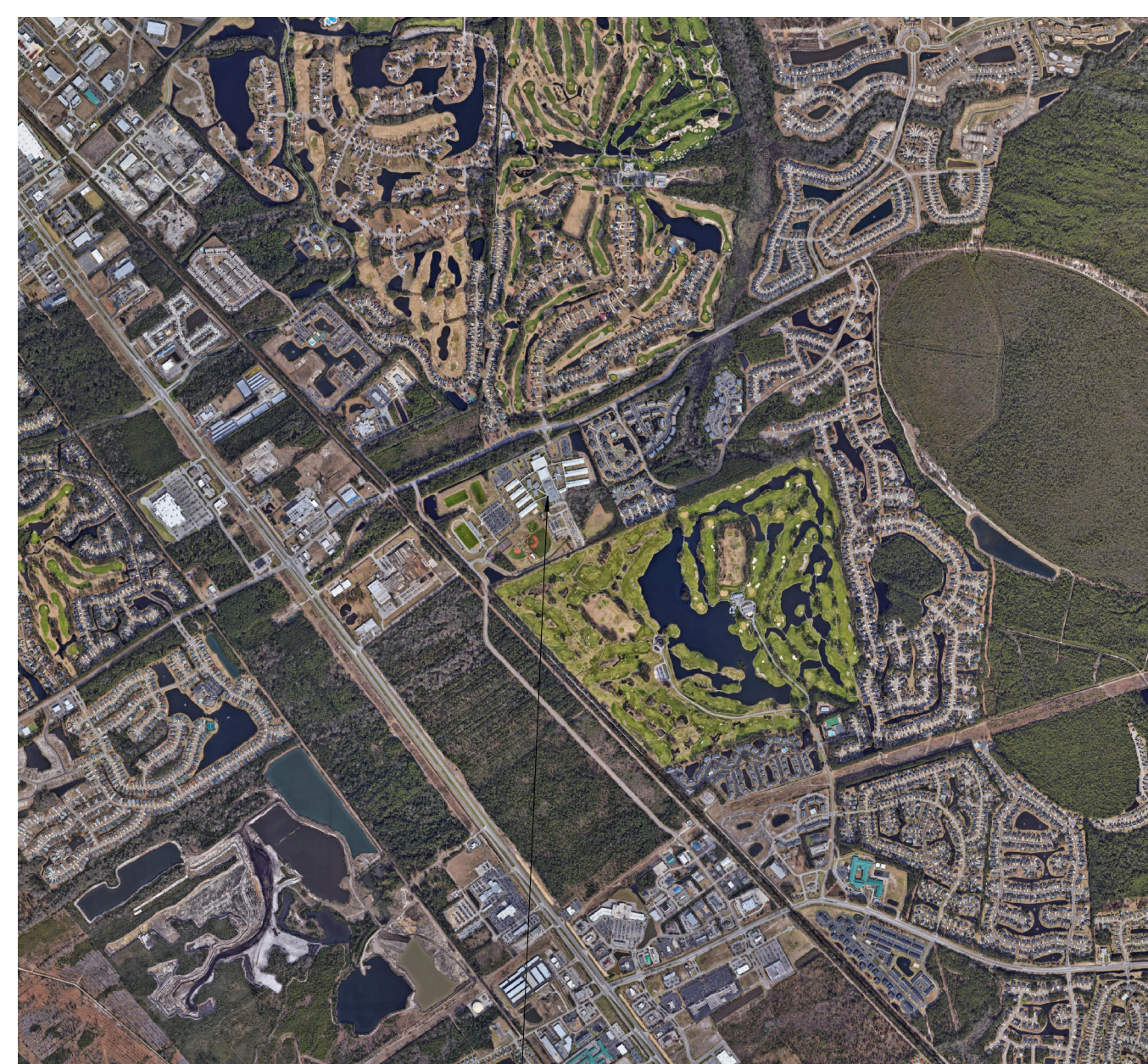
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Version April 2021



1 FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1" = 80'-0"

AREA MAP



PROJECT SITE

PROJECT TEAM

ARCHITECT
QUACKENBUSH ARCHITECTS + PLANNERS
1217 HAMPTON STREET
COLUMBIA, SC 29201
T: 803.771.2999

BUILDING ENVELOPE CONSULTANT
WM BUILDING ENVELOPE CONSULTANTS
1501 CHAPIN ROAD
CHAPIN SC, 29036
T: 803.260.4532

GENERAL PHASING NOTES

- EMERGENCY EXITS FROM ALL CAMPUS AREAS MUST BE MAINTAINED WITH APPROPRIATE SIGNAGE. EMERGENCY EXITS MUST NEVER BE BLOCKED. A CLEAR EXIT PATHWAY MUST BE MAINTAINED AT ALL TIMES FROM EVERY EXISTING DOOR DURING DEMOLITION. CONSTRUCTION WHILE BUILDING IS OCCUPIED.
- UTILITY SERVICES SHALL NOT BE INTERRUPTED WHILE EXISTING BUILDING IS OCCUPIED.
- INSTALL NEW UTILITY LINES SHOWN ON CIVIL AND ELECTRICAL DRAWINGS PRIOR TO REMOVING EXISTING UTILITY LINES. CONNECTION OF NEW UTILITY LINES TO EXISTING UTILITIES SERVING OCCUPIED BUILDINGS SHALL OCCUR OVER A WEEKEND WHEN THE BUILDINGS ARE NOT OCCUPIED.
- ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO EXISTING FIRE ALARM SYSTEMS, SECURITY SYSTEMS, WATER, SEWER, FIRE PROTECTION, IRRIGATION, STEAM PIPING, SPEAKERS, ELECTRICAL, CABLE AND DATA WIRING MUST BE MAINTAINED AT ALL TIMES. IF DAMAGED, THE SYSTEM MUST BE REPAID AND MADE OPERATIONAL BEFORE LEAVING FOR THE DAY. INFORM OWNER'S REPRESENTATIVE A MINIMUM OF 5 DAYS IN ADVANCE OF ANY KNOWN PERIODS WHERE SYSTEMS WILL BE INOPERABLE. ALL KNOWN DISRUPTIONS ARE TO BE SCHEDULED FOR TIMES BEFORE OR AFTER NORMAL WORKING HOURS.
- TO THE EXTENT POSSIBLE, SCHEDULE NOISY ACTIVITIES TO TAKE PLACE AFTER HOURS, ON WEEKENDS, OR OVER WINTER / SUMMER BREAKS. COORDINATE ALL NOISY ACTIVITIES WITH OWNER.
- DELIVERIES TO SITE SHALL NOT OCCUR DURING SCHOOL DROP-OFF OR PICK-UP TIMES. COORDINATE EXACT TIMES WITH OWNER.
- CONTRACTOR SHALL PROVIDE DETAILED WORK SCHEDULE FOR DEMOLITION AND NEW CONSTRUCTION. EXIT SIGNS OR TEMPORARY EXIT SIGNS AND DIRECTIONAL SIGNAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO MAINTAIN EXITING OF BUILDING OCCUPANTS THROUGHOUT THE PROJECT. REFERENCE LIFE SAFETY PLANS FOR DETAILED INFORMATION REGARDING SIGNAGE.
- CONTRACTOR SHALL COMPLY WITH IBC CHAPTER 33: SAFEGUARDS DURING CONSTRUCTION AND IFC CHAPTER 33: FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION DURING ANY DEMOLITION AND CONSTRUCTION.

OSF HAS ADOPTED THE FOLLOWING CODES:

- INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
- INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2018 EDITION
- INTERNATIONAL FIRE CODE (IFC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
- INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2009 EDITION
- INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
- INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
- INTERNATIONAL PRIVATE SEWAGE DISPOSAL CODE (IPSDC), 2018 EDITION
- INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC), 2018 EDITION
- INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC), 2018 EDITION
- INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC), 2018 EDITION
- NATIONAL ELECTRICAL CODE (NEC) (NFPA-70), 2017 EDITION WITH SOUTH CAROLINA MODIFICATIONS
- NATIONAL ELECTRICAL SAFETY CODE, IEEE-C2-2017 EDITION
- ASCE 7:2016
- ASHRAE 62 AS REFERENCED BY ICC CODES
- ASHRAE 90.1 AS REFERENCED BY ICC CODES
- LATEST ADDITION OF ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- STATE FIRE MARSHAL RULES, REGULATIONS, AND POLICIES
- SOUTH CAROLINA ELEVATOR, CODE & REGULATIONS
- SC ELEVATOR CODE REFERENCES ASME SAFETY CODE FOR ELEVATORS, DUMBWAITERS, ESCALATORS, AND MOVING WALKS ASME A117.1
- INTERNATIONAL CODE COUNCIL PERFORMANCE CODE (ICCPC), 2018 EDITION
- STATE OF SC BUILDING STANDARDS IN FLOOR PLAN AREAS
- THE SOUTH CAROLINA MODULAR BUILDINGS CONSTRUCTION ACT

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PROJECT TITLE
CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT - ESSER
HORRY COUNTY SCHOOLS
700 GARDNER LACY RD, MYRTLE BEACH, SC 29579

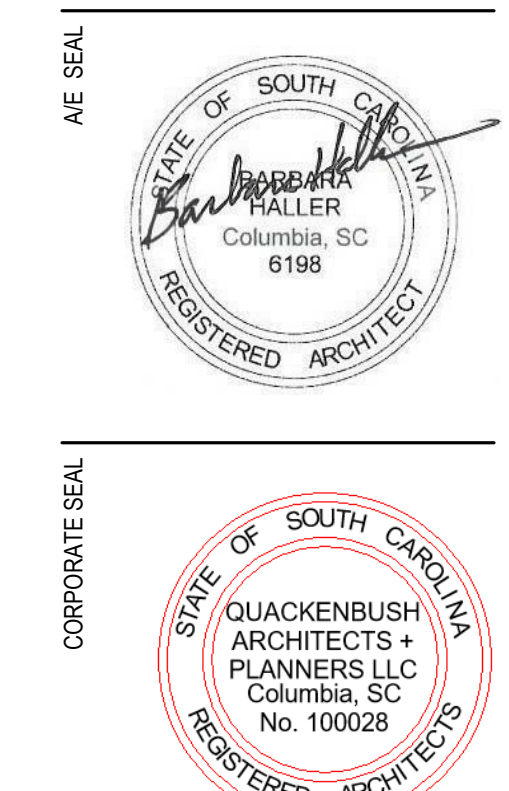
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ISSUE DATE 09.02.22
PROJECT NO. 21.295.02

REVISION DATE

TITLE
COVER SHEET, INDEX OF DRAWINGS

SHEET NO
G-000



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ABBREVIATIONS

Table of abbreviations for construction terms, including categories like ENGINEER, EQUIPMENT, FINISHES, MATERIALS, and MECHANICAL.

SYMBOLS

Diagrammatic symbols for drawing references, elevations, wall sections, room tags, door tags, dimensions, and fire resistance ratings.

GENERAL PROJECT NOTES

- COORDINATION: VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK...
GENERAL PROJECT NOTES: VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK...

SYSTEMATIC METHODS

- A. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS, SECTIONS OR DETAILS.
B. 'TYPICAL' OR 'TYP' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT...

EXPOSED TO EXPOSED TO VIEW

- A. ANY WORK THAT IS NOT FORMED AS DEFINED OR AS REQUIRED BY ANY REASON IS NOT OF ALIGNMENT, NOT LEVEL, OR SHOWS A DEFECTIVE SURFACE, AS DETERMINED BY THE ARCHITECT...
B. PROTECTION MATERIALS EXPOSED IN THE FINISHED WORK FORM AN IMPORTANT PART OF THE COMPLETED DESIGN...

PENETRATIONS OF FIRE-RATED ASSEMBLIES

- A. MECHANICAL DUCTS THAT PENETRATE FIRE RATED CEILINGS AND FIRE RATED WALLS SHALL BE CORRESPONDINGLY RATED OR DAMPERED.
B. CABINETS, ELECTRICAL PANELS, LIGHTS, ETC. RECESSED INTO FIRE RATED WALLS OR CEILINGS SHALL BE BACKED WITH CORRESPONDING FIRE RESISTIVE CONSTRUCTION...

PENETRATIONS OF NON-FIRE-RATED ASSEMBLIES

- A. MECHANICAL DUCTS, PIPES, AND CONDUIT THAT PENETRATE CEILINGS AND WALLS SHALL BE SEALED AND MAINTAIN THE INDICATED ACOUSTIC RATINGS OF THE WALL OR CEILING.
B. ALL VOIDS AND PENETRATIONS THROUGH FLOOR SLABS BY CONDUITS, PIPES, ETC. EXCEPT CONTAINED ENTIRELY WITHIN RATED SHAFTS...

DISSIMILAR METALS

- A. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN, CORROSION AND GALVANIC ACTION.
B. CONTRACTOR(S) IS TO PROVIDE AND INSTALL SINGLE COVER PLATE FOR MULTIPLE (GANGED) SWITCH LOCATIONS.

COORDINATION OF DEVICES

- A. THE LOCATION OF ALL MECHANICAL, ELECTRICAL AND PLUMBING, FIRE LIFE SAFETY AND SECURITY DEVICES AND FIXTURES ARE SHOWN APPROXIMATELY IN CONSULTING ENGINEERING DRAWINGS.
B. CONTRACTOR(S) IS TO PROVIDE AND INSTALL SINGLE COVER PLATE FOR MULTIPLE (GANGED) SWITCH LOCATIONS.

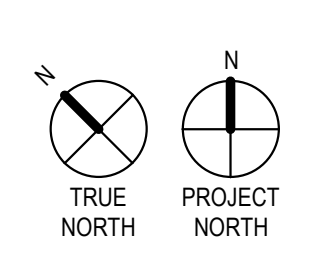
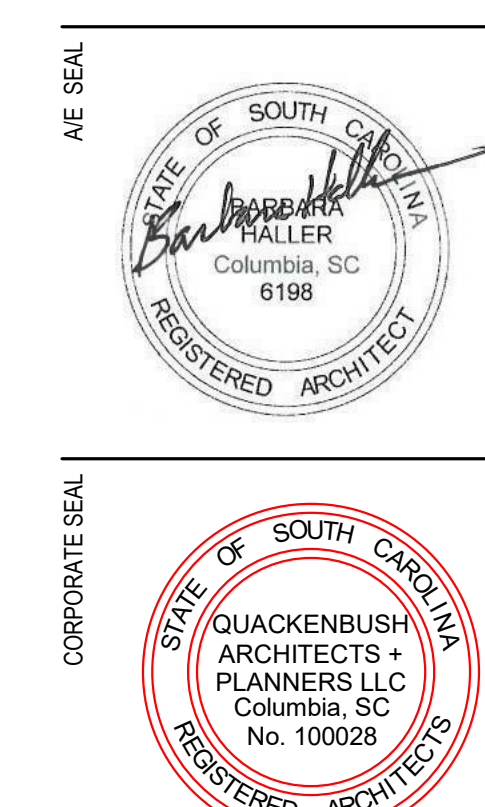
EXTERIOR ENVELOPE

- A. THE ENVELOPE SHALL BE CONTINUOUS AROUND THE ENTIRE PERIMETER OF THE BUILDING, INCLUDING AT JOIST, OFF-SETS, RECESSED WALL AREAS, SOFFITS, ROOF TO WALL TRANSITION, EQUIPMENT RECESSED AT EXTERIOR WALLS.
B. ALL EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND THE ROOF, BETWEEN WALL PANELS...

MATERIALS LEGEND

Visual legend for materials including CONCRETE, WOOD (ROUGH), WOOD FINISHED, BRICK, PLYWOOD, STEEL, BATT INSULATION, POROUS FILL, RIGID INSULATION, SAND, PLASTER, CEMENT, GROUT, GYPSUM BOARD, COMPACTED EARTH.

Project information including PROJECT TITLE (CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT - ESSER), ARCHITECT (QUACKENBUSH ARCHITECTS + PLANNERS), PROJECT NO. (21-256-02), and SHEET NO. (G-100).



OVERALL FLOOR PLAN
SCALE: 1" = 40'-0"

KEYNOTES

- 1A** REMOVE AND REPLACE BROKEN GLASS PANEL(S) IN STOREFRONT SYSTEM. INSTALL NEW GASKETS AT PANEL PERIMETER INSIDE AND OUTSIDE. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- 1B** REMOVE AND REPLACE BROKEN GLASS PANEL IN OPERABLE WINDOW SYSTEM.
- 2A** REMOVE AND REPLACE BROKEN SEAL GLASS PANEL(S) IN STOREFRONT SYSTEM. REMOVE METAL GLASS BEAD. INSTALL NEW METAL GLASS BEADS AT PERIMETER OF REPLACED GLASS. PAINT METAL GLASS BEAD AND FRAME TO MATCH EXISTING FRAME. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- 2B** REMOVE AND REPLACE BROKEN SEAL GLASS PANEL(S) IN HOLLOW METAL FRAME SYSTEM. REMOVE METAL GLASS BEAD. INSTALL NEW METAL GLASS BEADS AT PERIMETER OF REPLACED GLASS. PAINT METAL GLASS BEAD AND FRAME TO MATCH EXISTING FRAME. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- 3A** REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.
- 3B** ALTERNATE NO. 2: REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.
- 4A** REPLACE DAMAGED GLASS GASKETING AT GLASS PERIMETER AT STOREFRONT SYSTEM. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- 5A** OPERABLE WINDOW - REPLACE GLASS PANEL AT CASEMENT WINDOW, INCLUDING ALL GASKETING.
- 5B** FIXED WINDOW - REPLACE GLASS PANEL AT FIXED WINDOW, INCLUDING ALL GASKETING.
- 6A** ALTERNATE NO. 1: NEW MANUAL ROLLERSHADE WITH FASCIA AND END CAPS FULL WIDTH OF WINDOW.

GENERAL NOTES

1. PROTECT ALL INTERIOR SPACES DURING DEMOLITION AND REPLACEMENT.
2. COORDINATE SCHEDULE OF REMOVAL AND REPLACEMENT WITH OWNER.
3. NEW STOREFRONT FRAMES SHALL MATCH LAYOUT OF EXISTING FRAMES (FIELD VERIFY ALL DIMENSIONS). NEW FRAMES SHALL MATCH EXISTING FRAME COLOR. NEW SEALANT COLOR SHALL MATCH EXISTING SEALANT COLOR.
4. AT FRAME REMOVAL AND REPLACEMENT, TOUCH UP PAINT AT INTERIOR TO MATCH EXISTING.
5. AT INDIVIDUAL GLASS PANEL REPLACEMENT, FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING GLASS.
6. REMOVE AND REINSTALL EXISTING BLINDS AS REQUIRED TO INSTALL NEW WINDOWS / STOREFRONT / GLASS. REMOVE EXISTING DRAPES IN AREAS OF WORK AND TURN OVER TO OWNER. AS PART OF ALTERNATE NO. 1, REMOVE EXISTING BLINDS FOR INSTALLATION OF NEW MANUAL SHADES.
7. PROTECT ALL EXISTING LANDSCAPE MATERIALS IN AREAS OF WORK.
8. TOUCH UP PAINT AT INTERIOR TO MATCH EXISTING WHERE WINDOWS / STOREFRONT ARE BEING REMOVED AND REPLACED.
9. PROVIDE TEMPORARY WEATHER BARRIER PROTECTION AS REQUIRED. DO NOT REMOVE EXISTING STOREFRONT UNTIL NEW STOREFRONT MATERIALS ARE IN HAND. DO NOT REMOVE EXISTING GLASS UNTIL NEW GLASS IS IN HAND.

ALTERNATES

- ALTERNATE NO. 1: NEW MANUAL ROLLERSHADE WITH FASCIA AND END CAPS FULL WIDTH OF WINDOW (6A)
- ALTERNATE NO. 2: REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.

GENERAL DEMOLITION / RENOVATION NOTES

- A. EXISTING CONDITIONS ILLUSTRATED AS OF MAY 2022. AFTER SURVEY AND PRIOR TO CONSTRUCTION, OWNER MAY REMOVE SOME ITEMS NOTED TO BE REMOVED AS A PART OF THIS CONTRACT.
- B. PRIOR TO PREPARING THE BID, THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. MAKE ALL NECESSARY INVESTIGATIONS AS TO LOCATIONS OF UTILITIES AND ALL OTHER MATTERS WHICH CAN AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR AS A RESULT OF HIS FAILURE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED.
- C. VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK.
- D. ALL ITEMS INDICATED TO REMAIN AND FURNITURE, FIXTURES AND EQUIPMENT THAT ARE PERMANENTLY MOUNTED SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- E. PROVIDE WEATHER TIGHT BARRIERS AT EXISTING EXTERIOR WALLS AND DOORS TO BE REMOVED TO PROTECT ALL INTERIOR FINISHES, MATERIALS, AND EQUIPMENT TO REMAIN.
- F. SHOULD THE CONTRACTOR ENCOUNTER ANY MATERIALS IDENTIFIED AS HAZARDOUS MATERIALS HE SHALL IMMEDIATELY REFER TO THE GENERAL CONDITIONS AND NOTIFY THE OWNER AND THE ARCHITECT.
- G. CONTRACTORS' MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT WHILE THE BUILDING IS OCCUPIED.
- H. AT AREAS OF WORK, PROVIDE FLYWOOD, STUD WALL, 10 MIL POLY AND INSULATION TO PROTECT ADJACENT AREAS AND EQUIPMENT FROM DUST, DAMAGE, AND NOISE. SEAL TO MAINTAIN THERMAL AND WEATHER BARRIER.
- I. ALL NEW WORK ADJOINING EXISTING CONSTRUCTION SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION UNLESS OTHERWISE DIMENSIONED OR DETAILED.
- J. CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH REGULATION REQUIREMENTS, INCLUDING BUT NOT LIMITED TO FEDERAL, STATE AND LOCAL REQUIREMENTS, PERTAINING TO LEGAL DISPOSAL OF ALL CONSTRUCTION AND DEMOLITION WASTE MATERIALS.

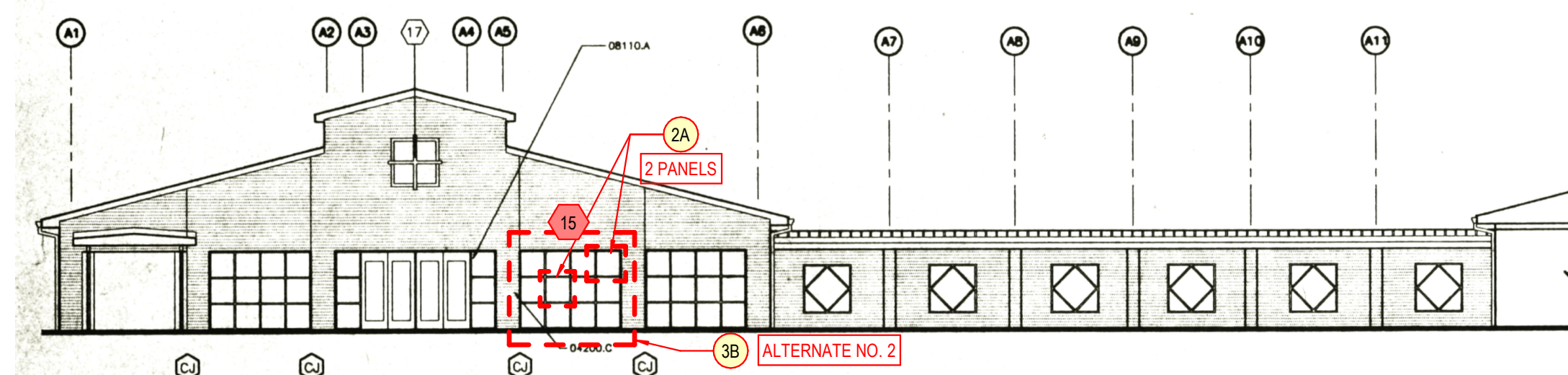
DEMOLITION & COORDINATION NOTES

- A. COORDINATE EXACT SEQUENCE AND SCHEDULE OF DEMOLITION WITH OWNER AND ARCHITECT PRIOR TO BEGINNING. DO NOT REMOVE ENVELOPE SYSTEMS UNTIL TEMPORARY WATER TIGHT BARRIERS ARE IN PLACE OR NEW SYSTEMS ARE ON SITE READY FOR INSTALLATION. TEMPORARY CONSTRUCTION BARRIERS SHALL REMAIN IN PLACE BETWEEN THE BUILDINGS DURING ENTIRE CONSTRUCTION SCHEDULE. WHEN TEMPORARY BARRIER IMPEDS NEW WORK, CONTRACTOR SHALL RECEIVE PERMISSION FROM OWNER & ARCHITECT TO TEMPORARILY REMOVE BARRIER.
- B. EXISTING FIRE ALARM PULL STATIONS AND STROBES SHALL REMAIN FUNCTIONAL DURING EXTENT OF CONSTRUCTION. EXISTING SMOKE DETECTORS ON CONSTRUCTION SIDE AND NEAR TEMPORARY WALL(S) SHALL BE COVERED OR DEACTIVATED FROM MAIN BUILDING SYSTEM DURING CONSTRUCTION.
- C. THE MAJORITY OF DEMOLITION AND RENOVATION WORK INSIDE THE EXISTING BUILDING SHALL OCCUR DURING OFF-HOURS AND BREAKS (NOT DURING SCHOOL HOURS). COORDINATE EXACT SCHEDULE WITH OWNER TO MINIMIZE DISRUPTION.

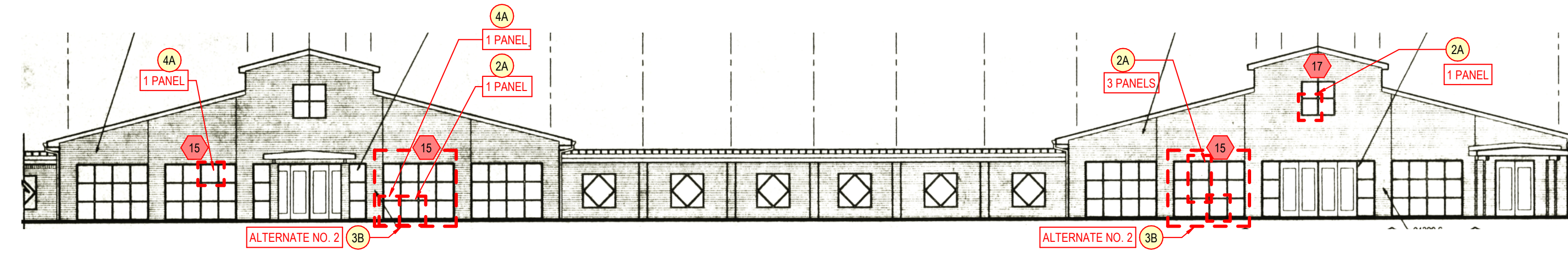
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PHASE	
CONSTRUCTION DOCUMENTS	
ISSUE DATE	09.02.22
PROJECT NO.	21.295.02
	H27-2420 50003398-2
REVISION	DATE

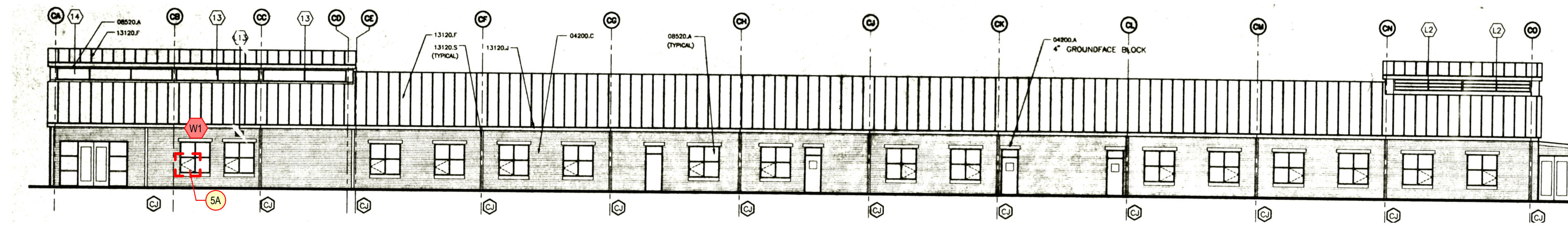
TITLE
OVERALL FLOOR PLAN



1 EAST ELEVATION (BUILDING A)
A-200 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION (BUILDING B, C)
A-200 SCALE: 1/16" = 1'-0"



5 NORTH ELEVATION (BUILDING C)
A-200 SCALE: 1/16" = 1'-0"

**NOTE: ALL GLASS REPLACEMENT
THIS SHEET (BUILDINGS A, B, C)
SHALL BE LOW-E, INSULATED,
LAMINATED, CLEAR GLASS.**

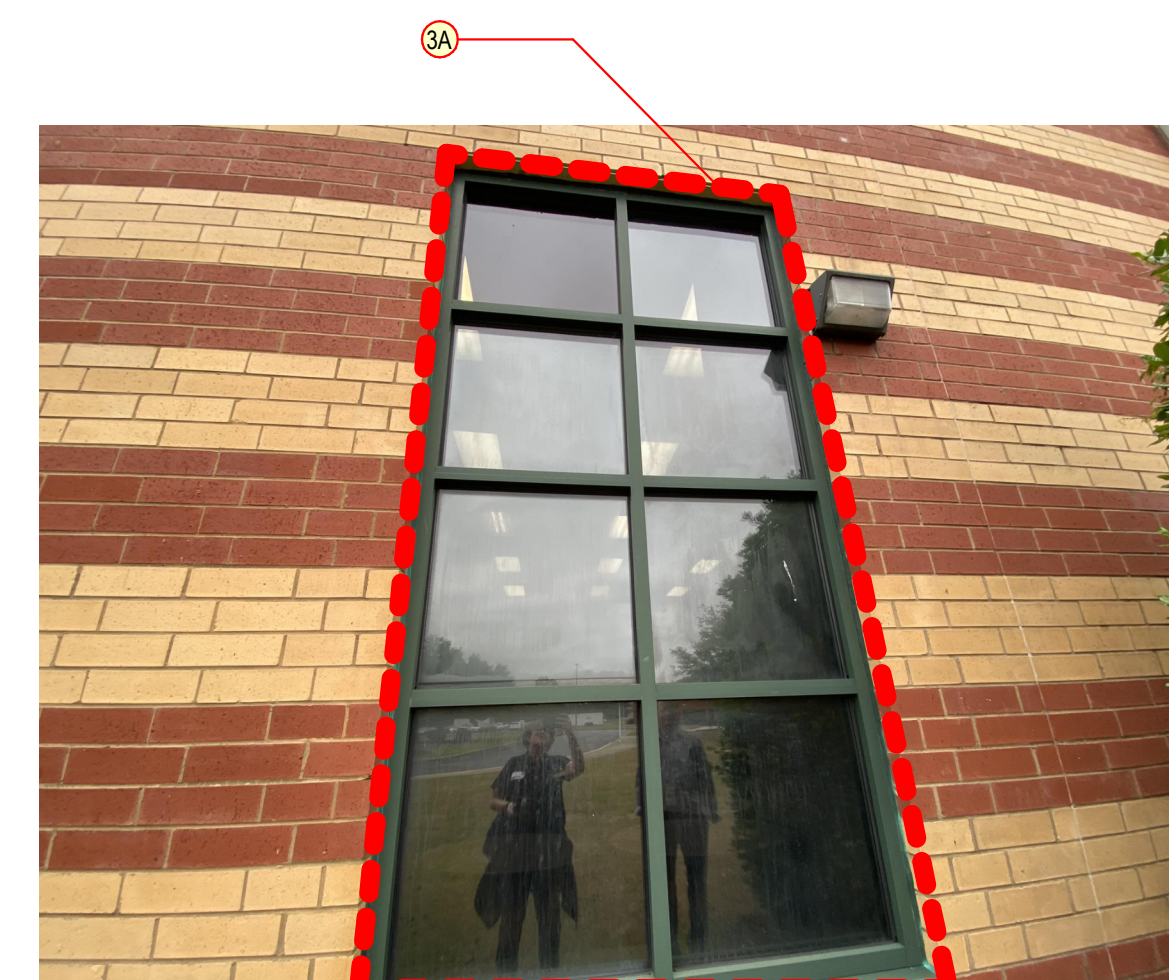


PHOTO J3



PHOTO J2

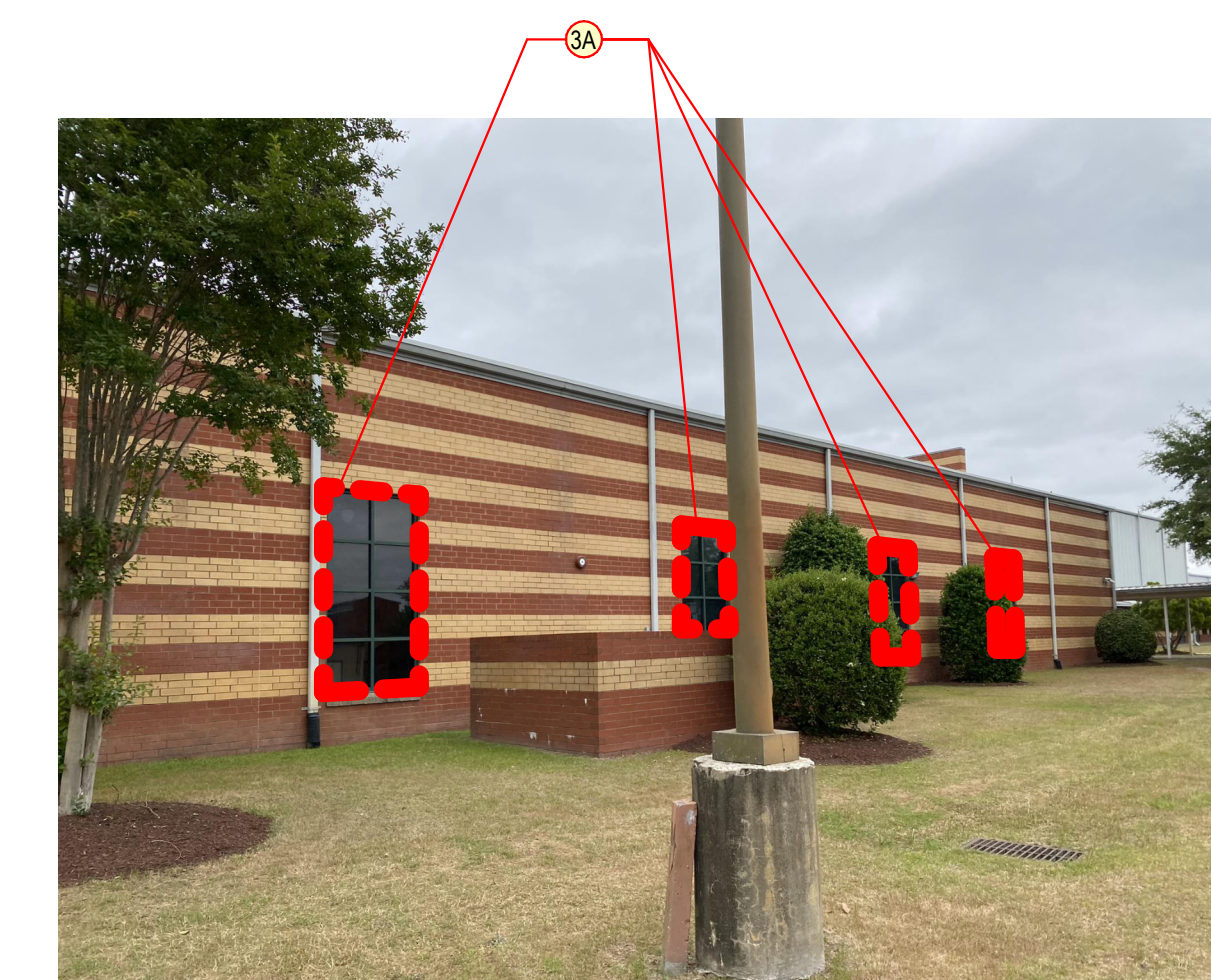


PHOTO J1



PHOTO C3



PHOTO C4

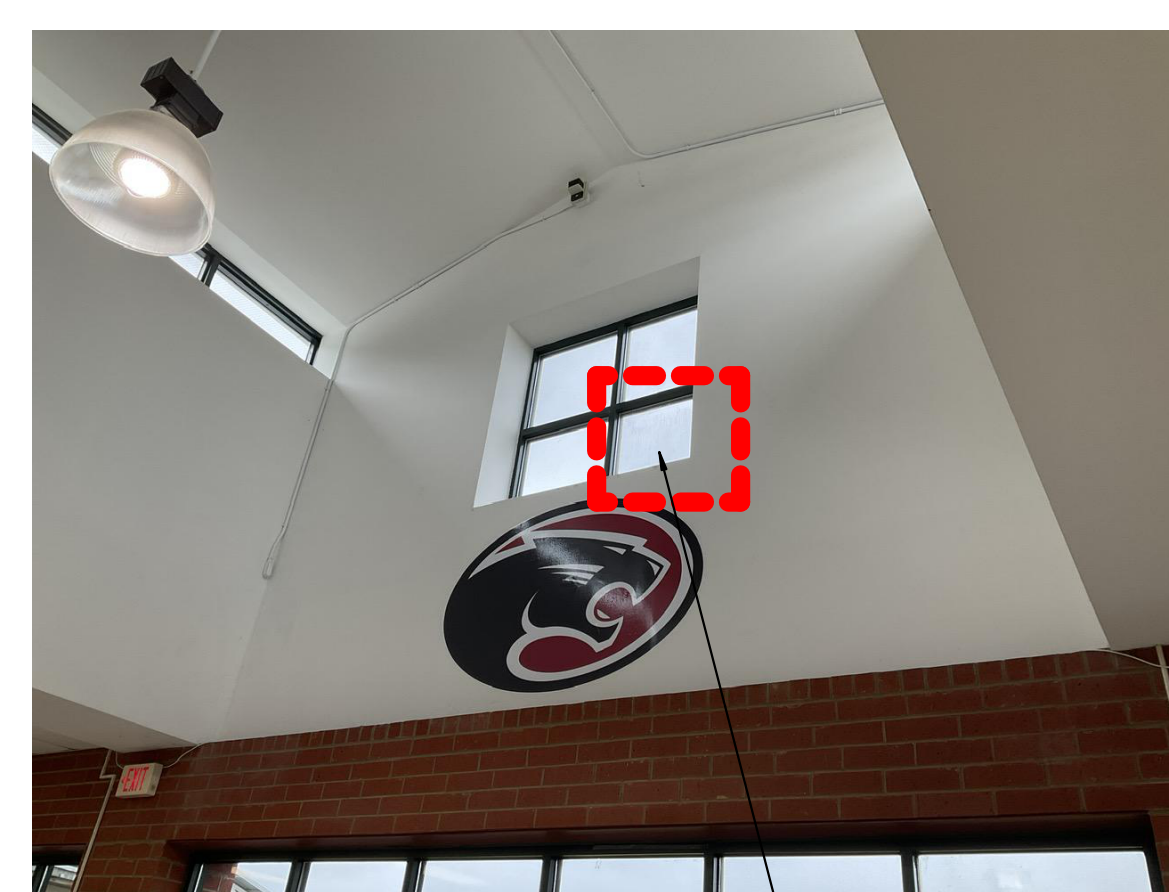


PHOTO C2

ALTERNATE NO.2 REPLACE ENTIRE STOREFRONT



PHOTO C1



PHOTO B3

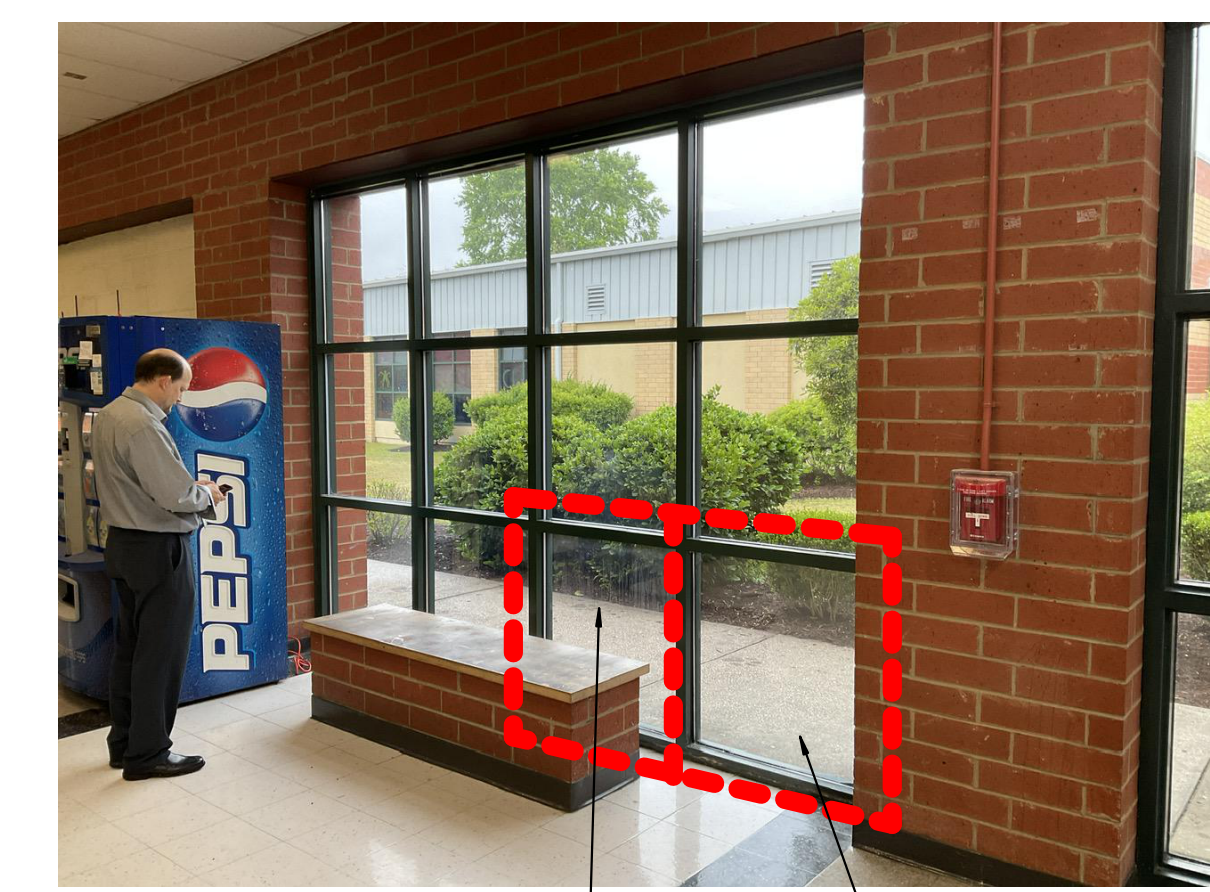


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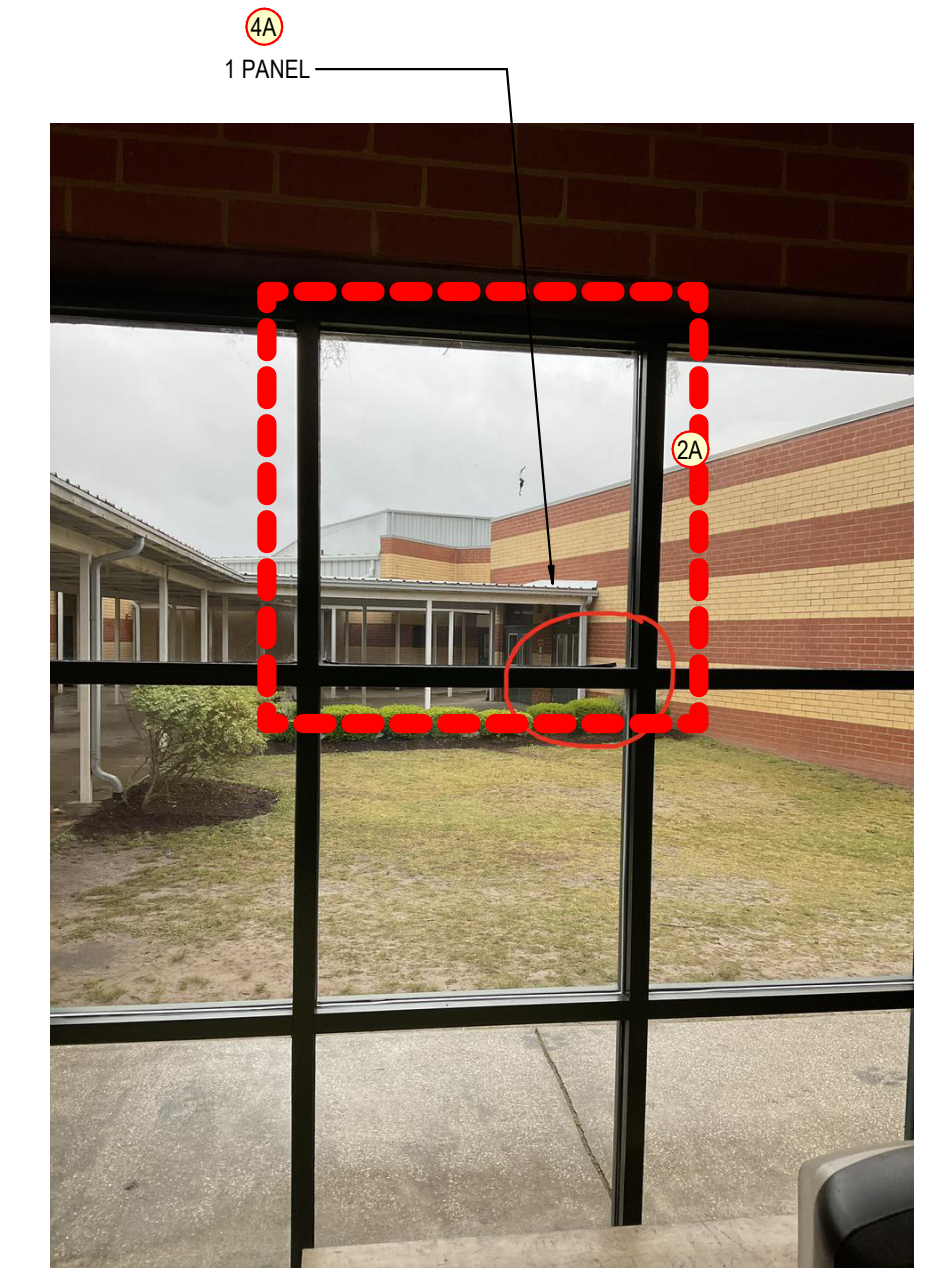


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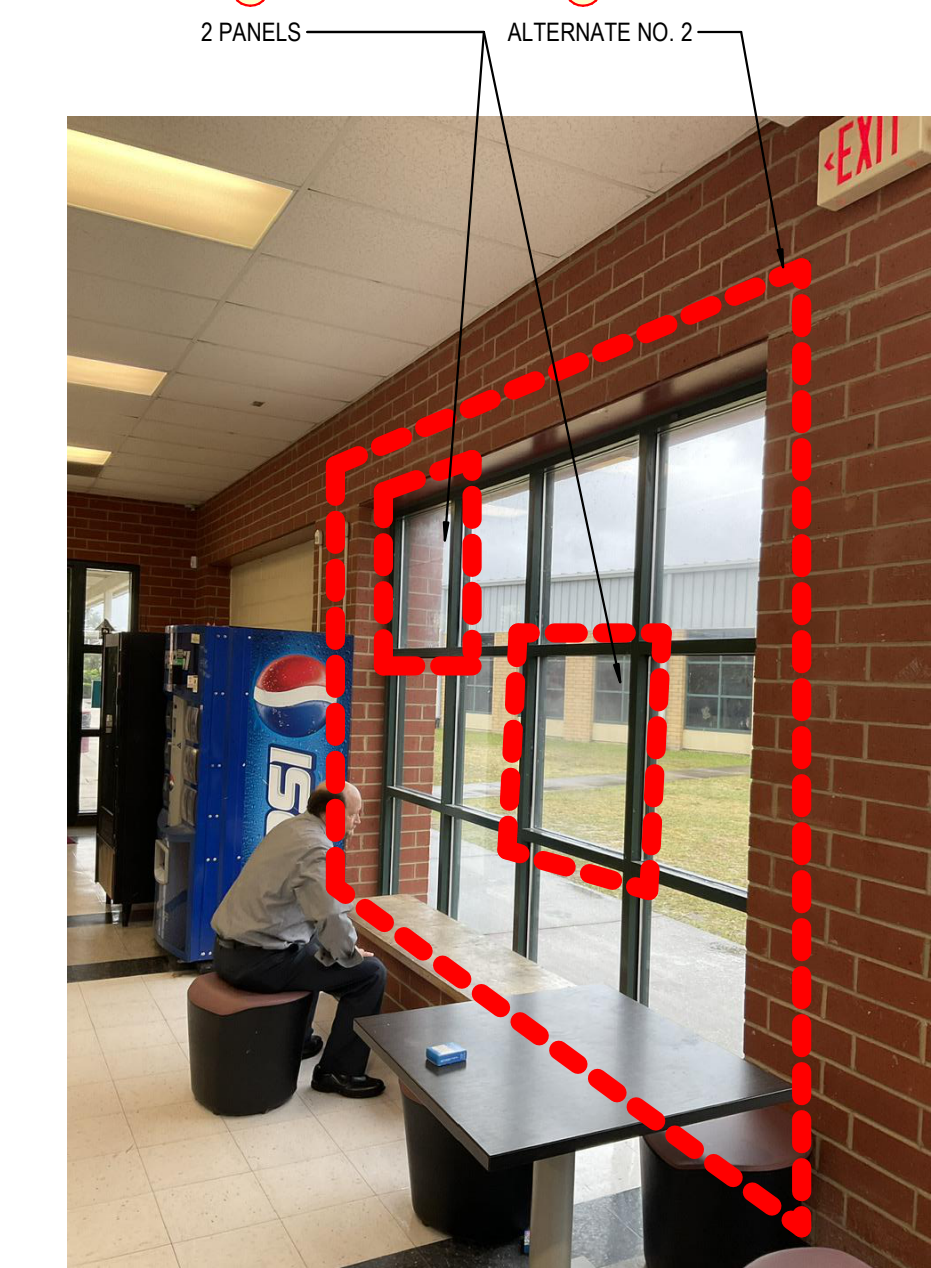
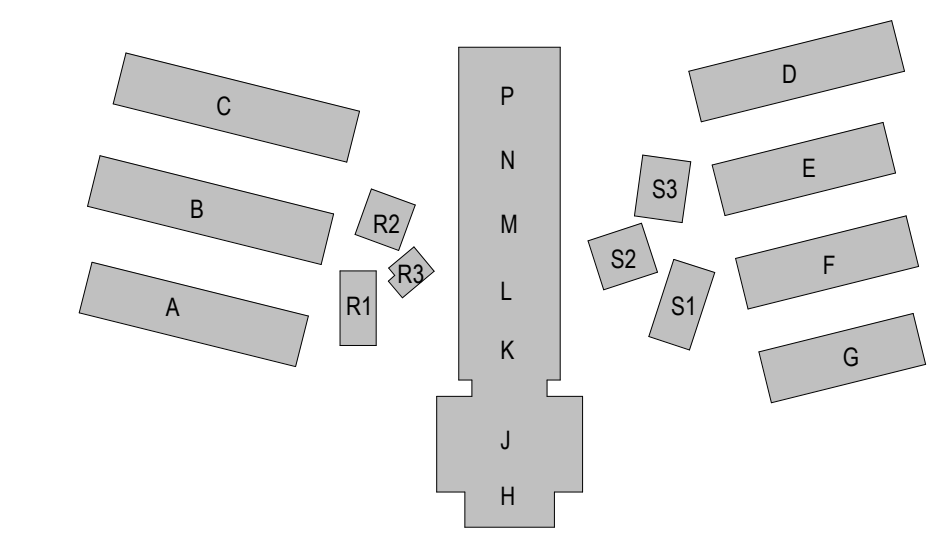
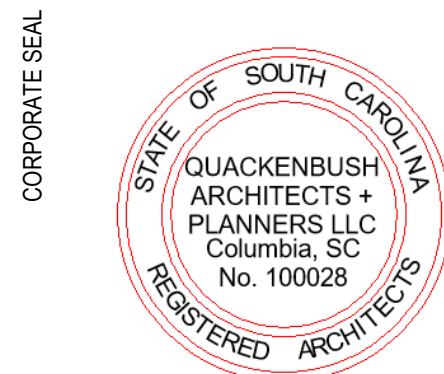
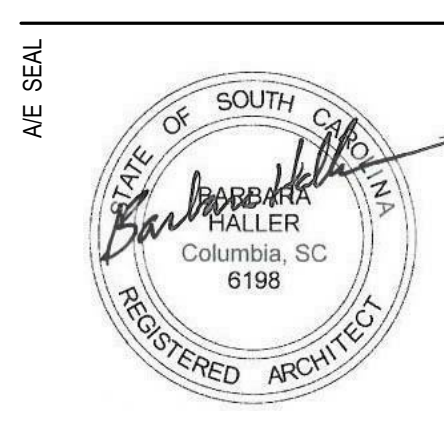


PHOTO A1



KEY PLAN

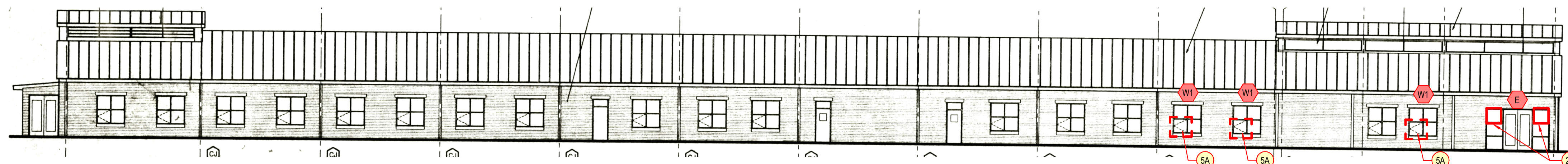


PROJECT TITLE
**CAROLINA FOREST HIGH SCHOOL WINDOW
REPLACEMENT - ESSER**
Horry County Schools
700 GARDNER LACY RD. MYRTLE BEACH, SC 29579

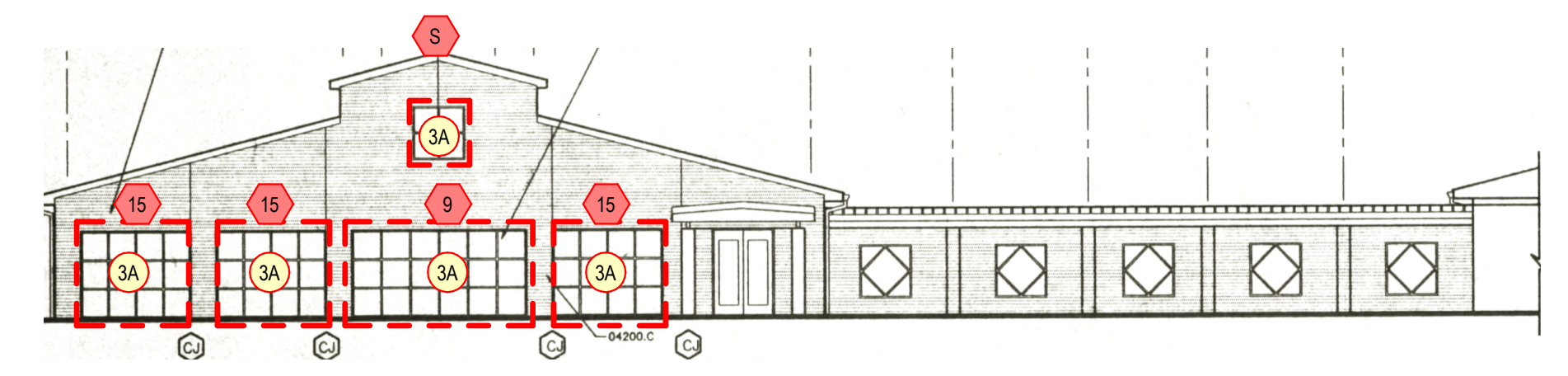
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PHASE	
CONSTRUCTION DOCUMENTS	
ISSUE DATE	09.02.22
PROJECT NO.	21.295.02
REVISION	DATE

TITLE
**EXTERIOR
ELEVATIONS AND
PHOTOS BUILDINGS
A, B, C**



1 NORTH ELEVATION (BUILDING D)
A-201 SCALE: 1/16" = 1'-0"



2 WEST ELEVATION (BUILDING D)
A-201 SCALE: 1/16" = 1'-0"

REWORK GYPSUM AT PERIMETER AS REQUIRED FOR NEW WINDOW INSTALLATION. PAINT TO MATCH EXISTING



PHOTO D4

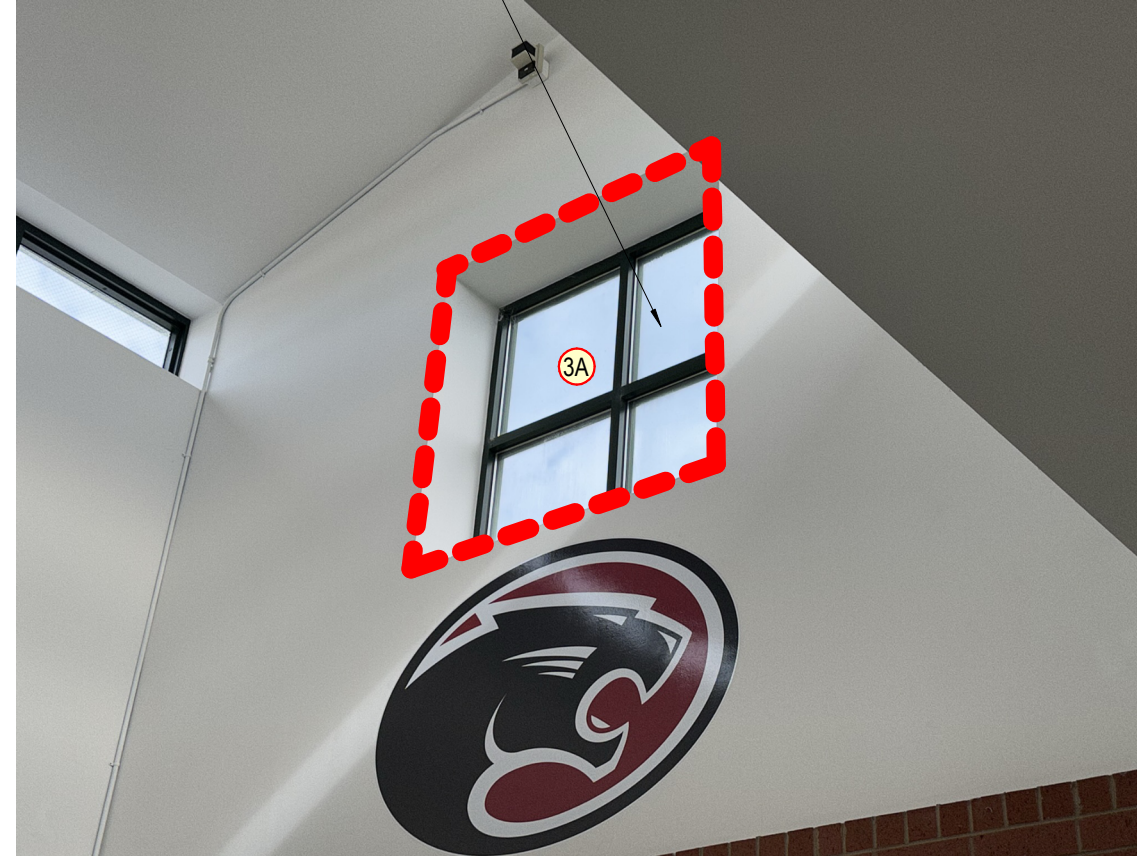
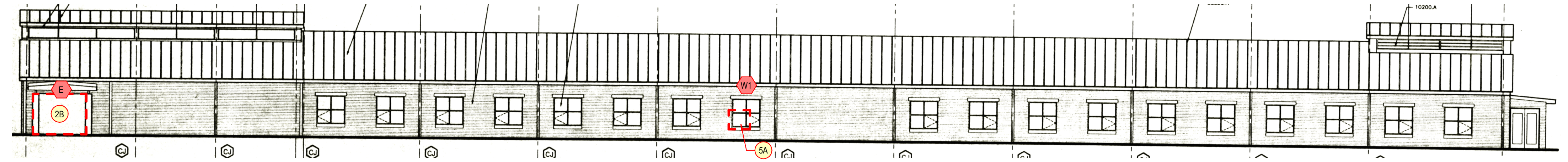
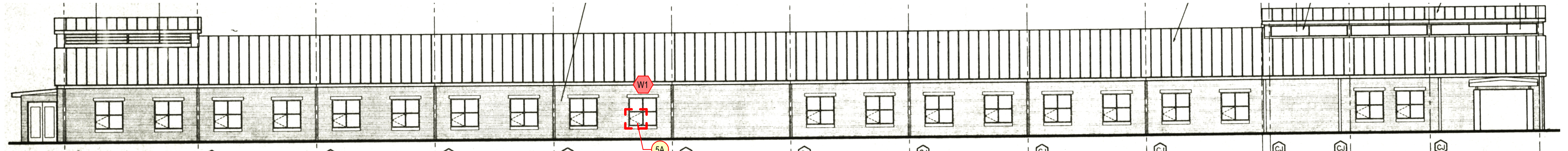


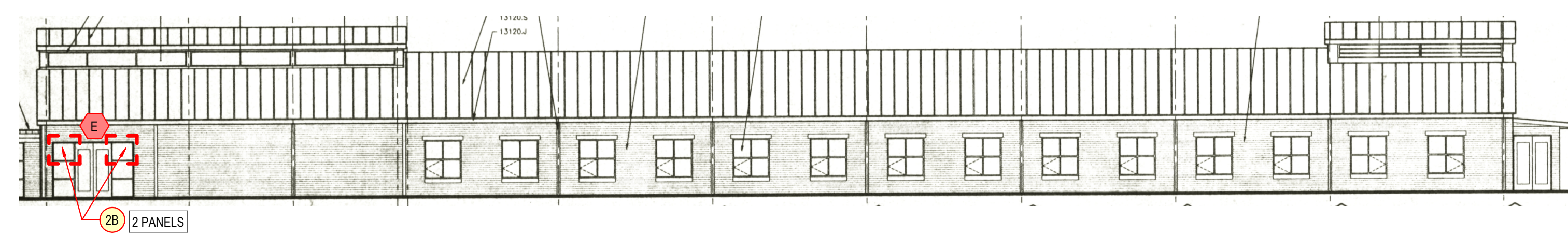
PHOTO D5 (E2,F4,G SIM)



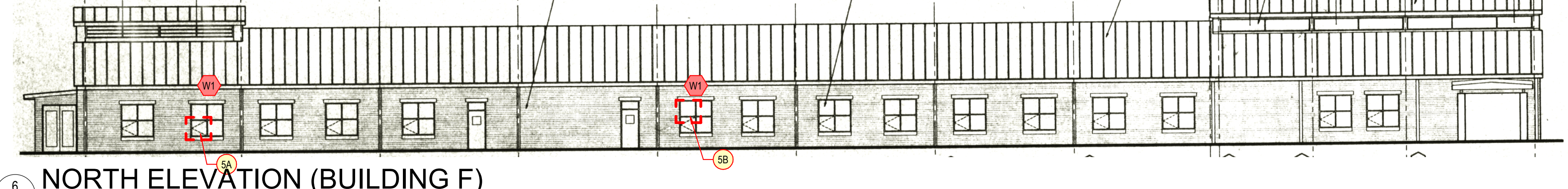
3 SOUTH ELEVATION (BUILDING D)
A-201 SCALE: 1/16" = 1'-0"



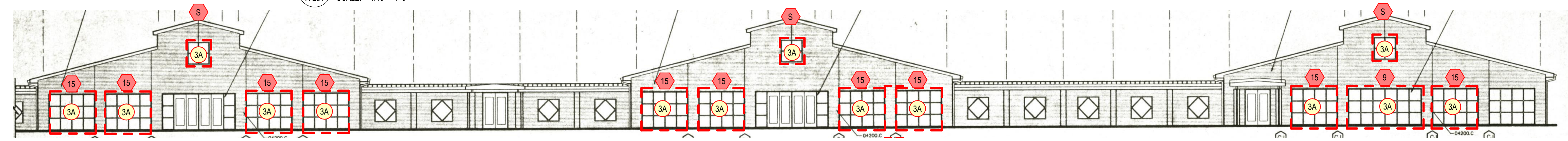
4 NORTH ELEVATION (BUILDING E)
A-201 SCALE: 1/16" = 1'-0"



5 SOUTH ELEVATION (BUILDING G)
A-201 SCALE: 1/16" = 1'-0"



6 NORTH ELEVATION (BUILDING F)
A-201 SCALE: 1/16" = 1'-0"



7 WEST ELEVATION (BUILDING E, F, G)
A-201 SCALE: 1/16" = 1'-0"

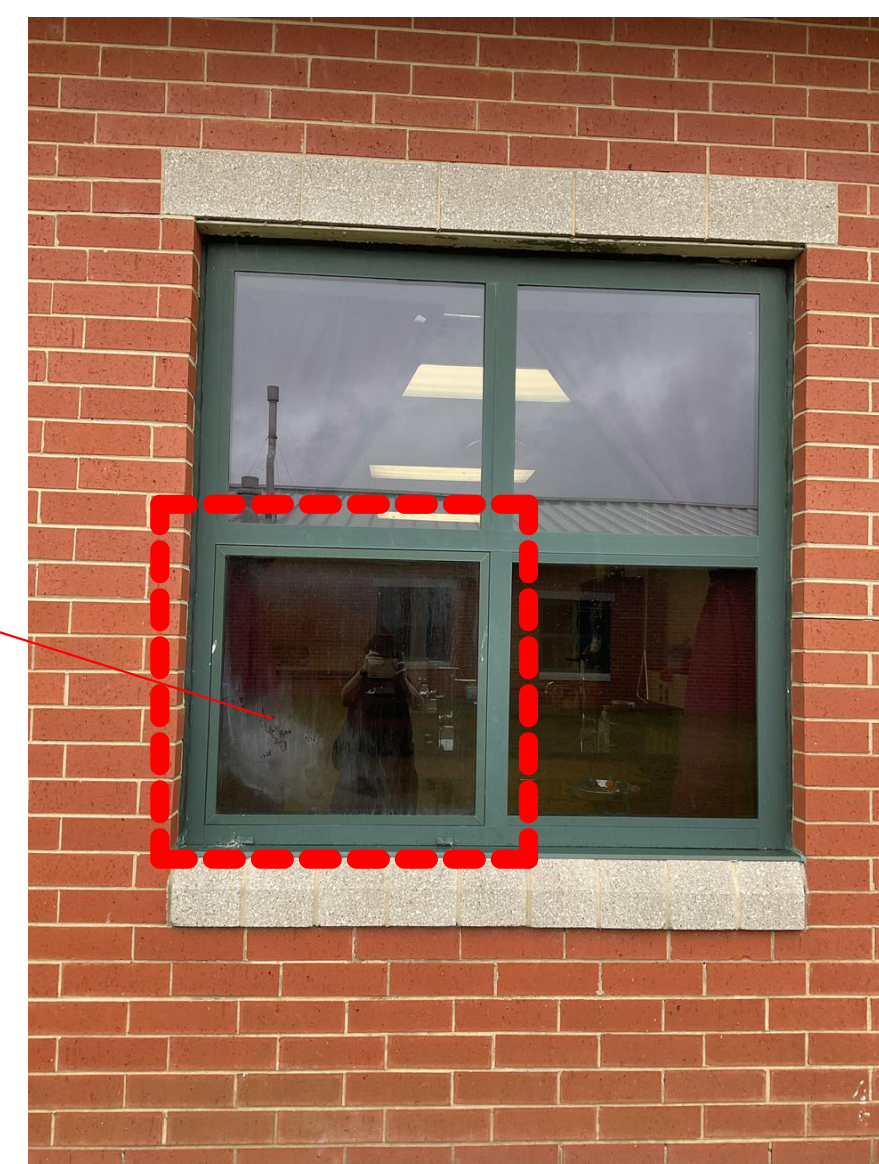


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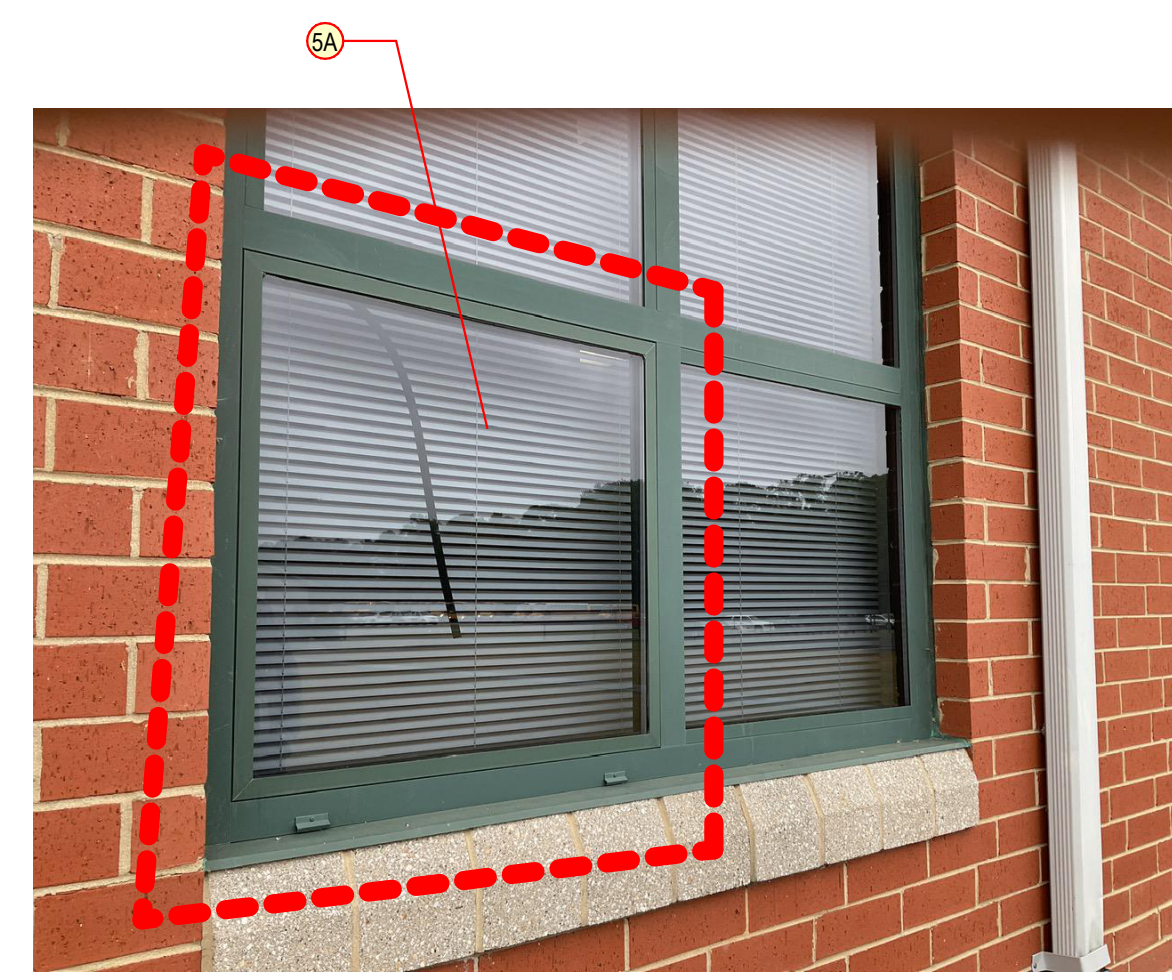


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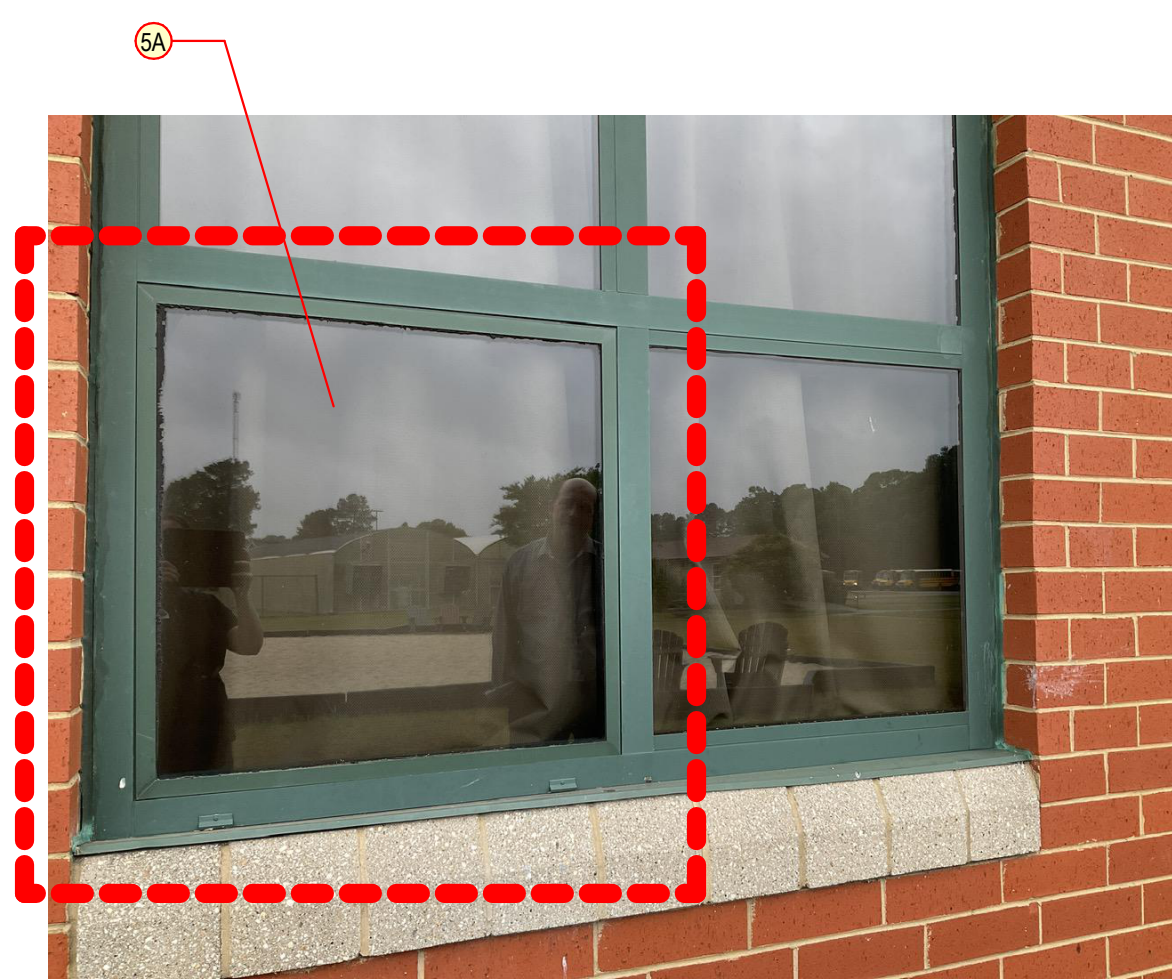


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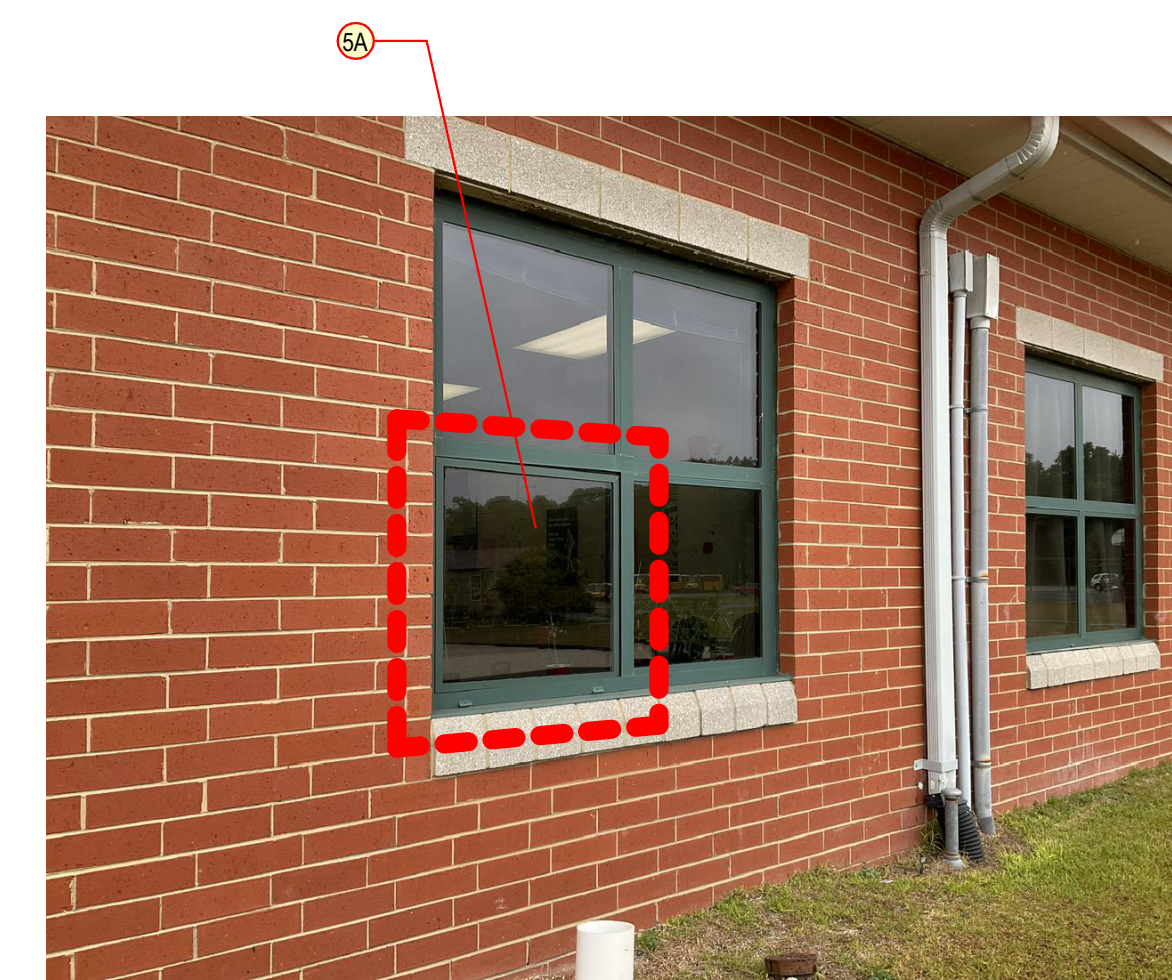


PHOTO D6



PHOTO E2

PHOTO E3



PHOTO F3

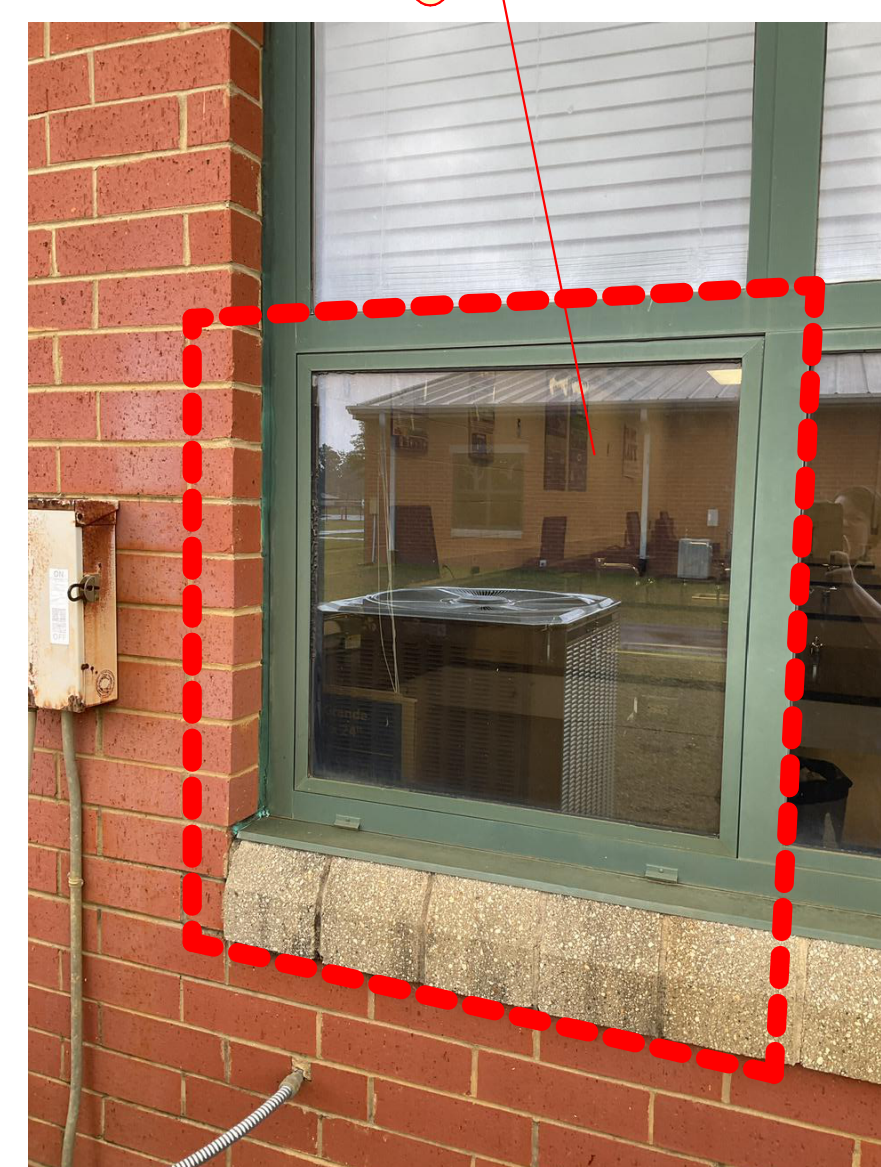


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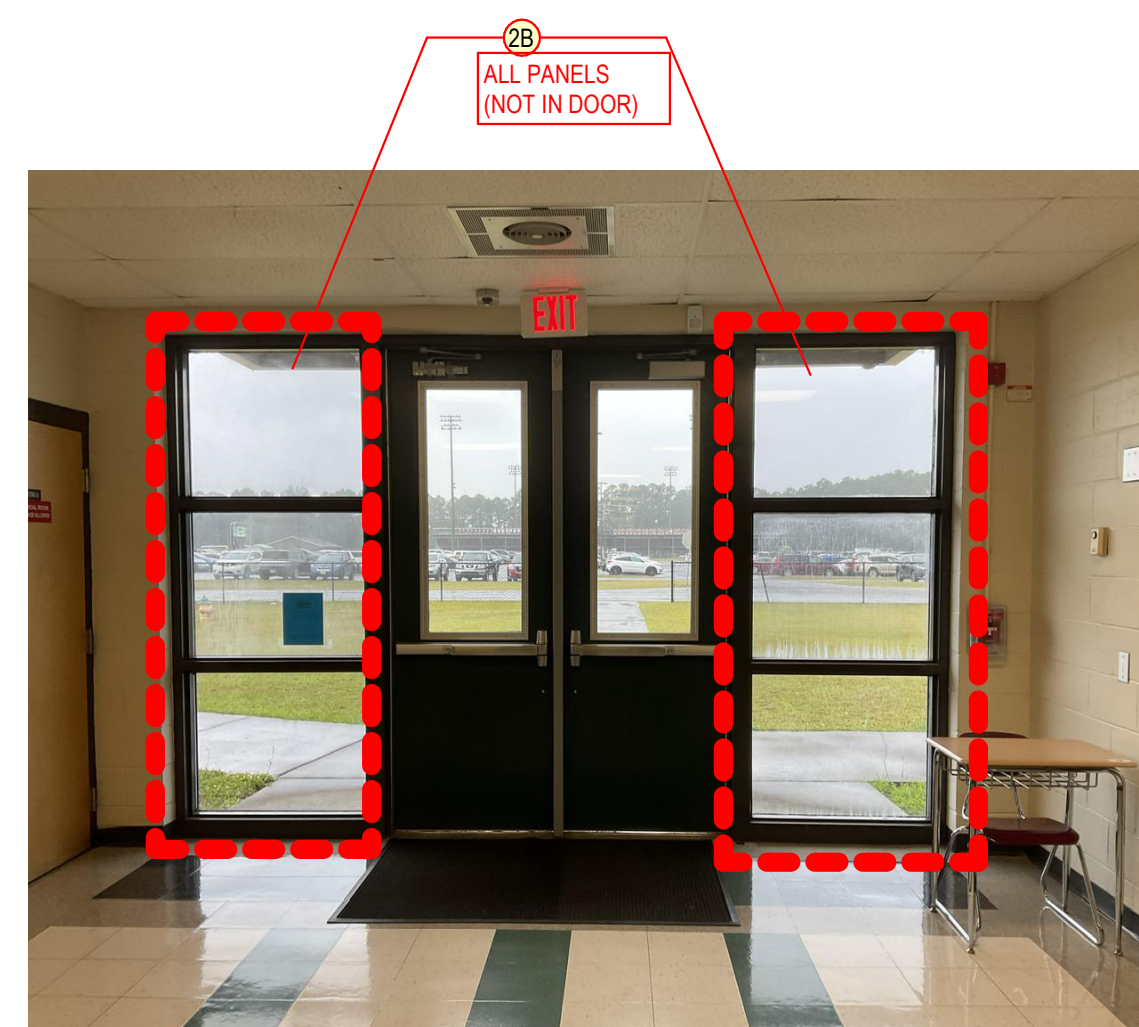


PHOTO F1 (G3, E1, D1 SIM)

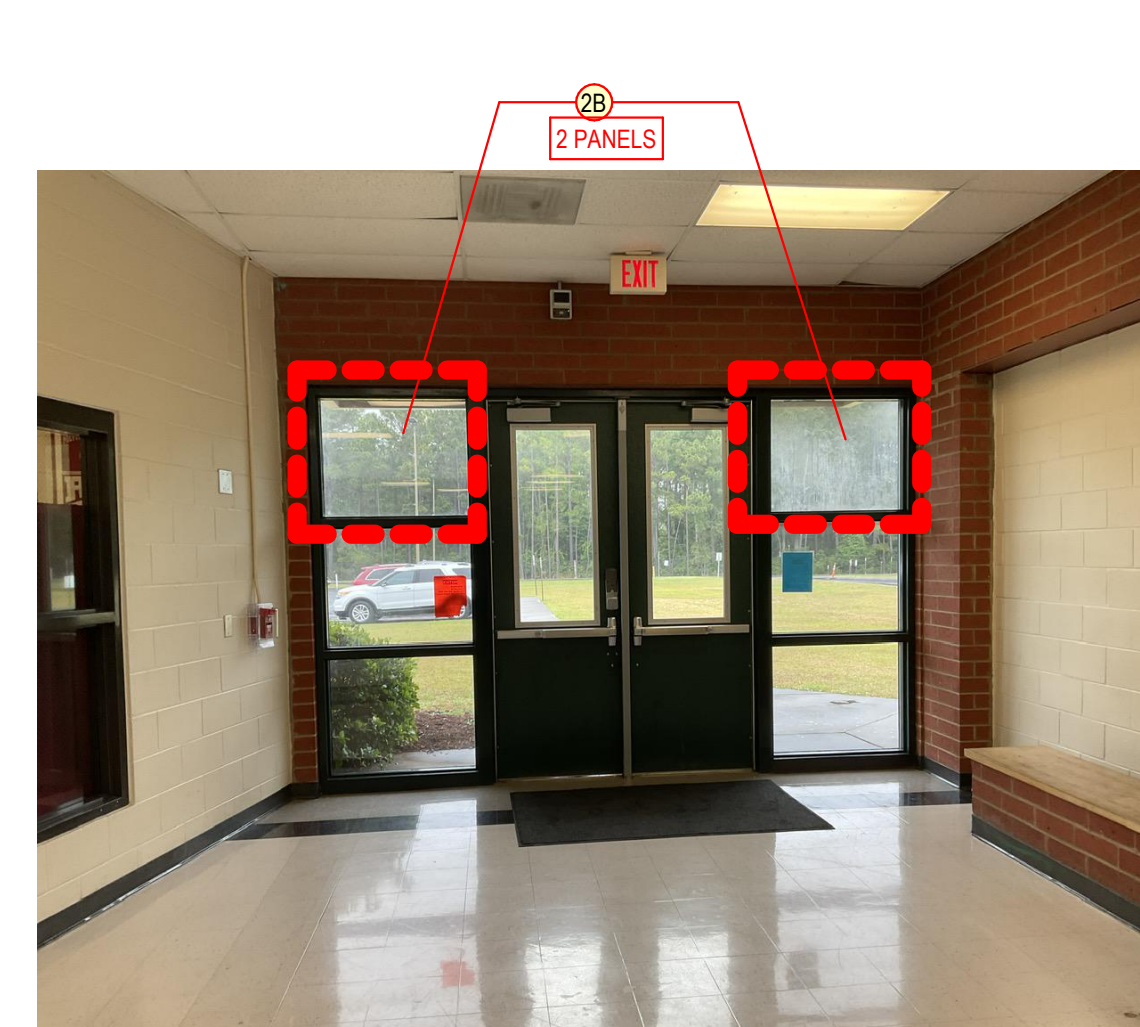


PHOTO G1 (D2 SIM)

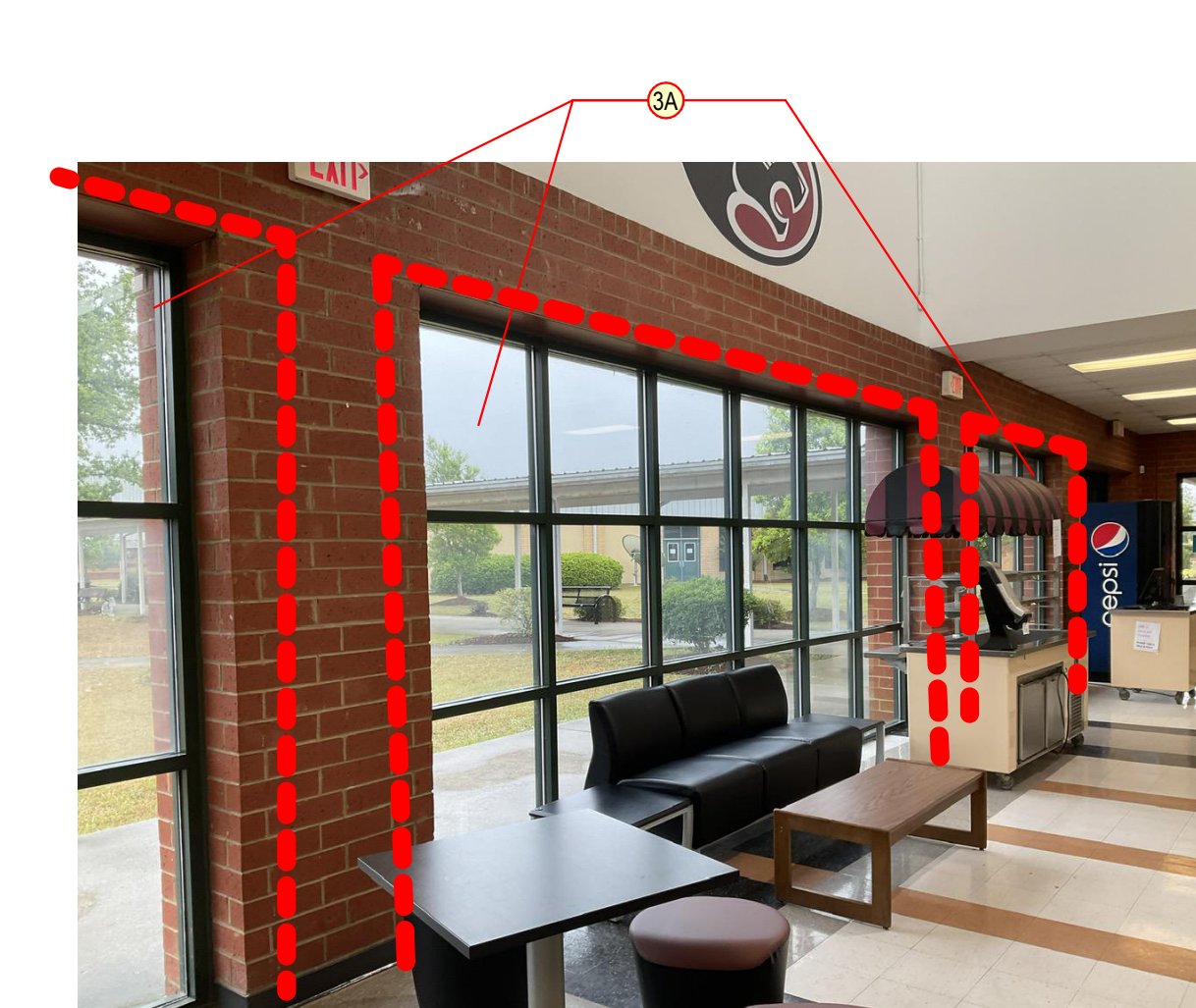
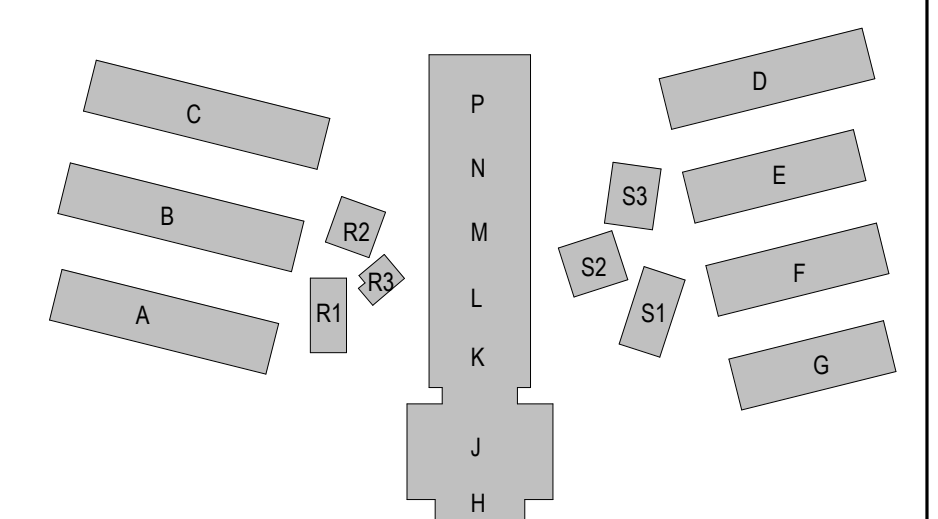
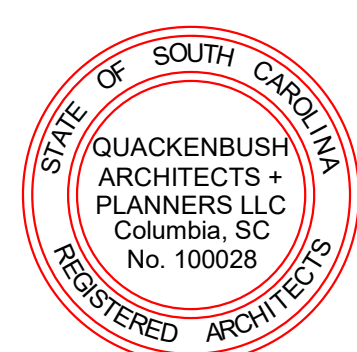


PHOTO G2

NOTE: ALL GLASS REPLACEMENT THIS SHEET (BUILDINGS D, E, F, G) SHALL BE LOW-E, INSULATED, LAMINATED, CLEAR GLASS.



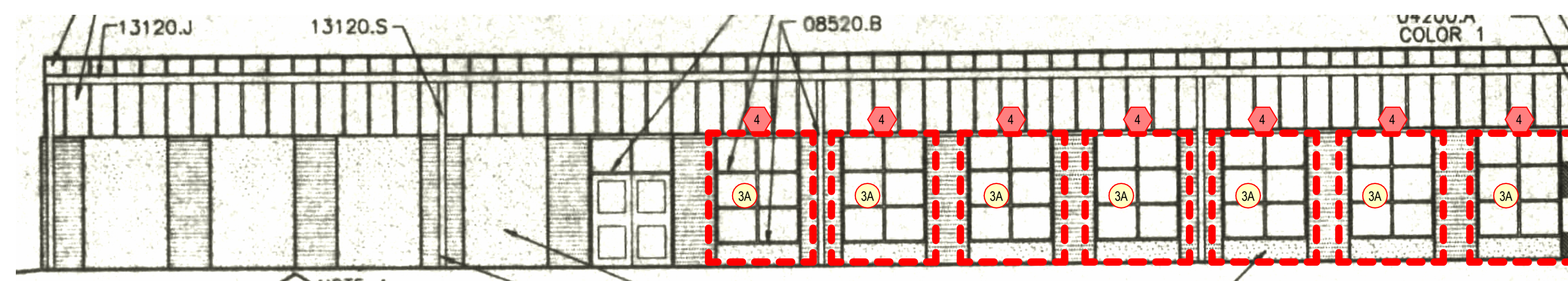
KEY PLAN



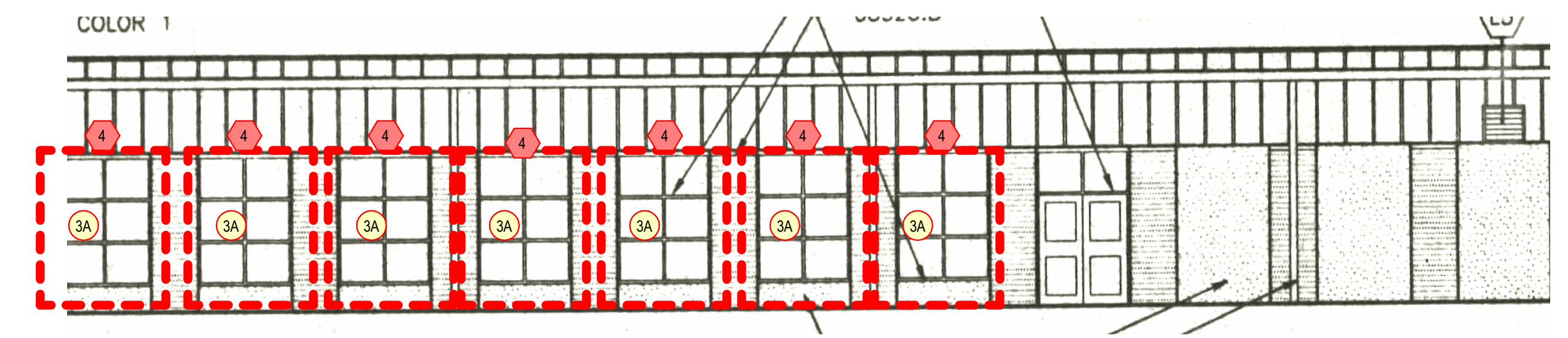
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CONSTRUCTION DOCUMENTS

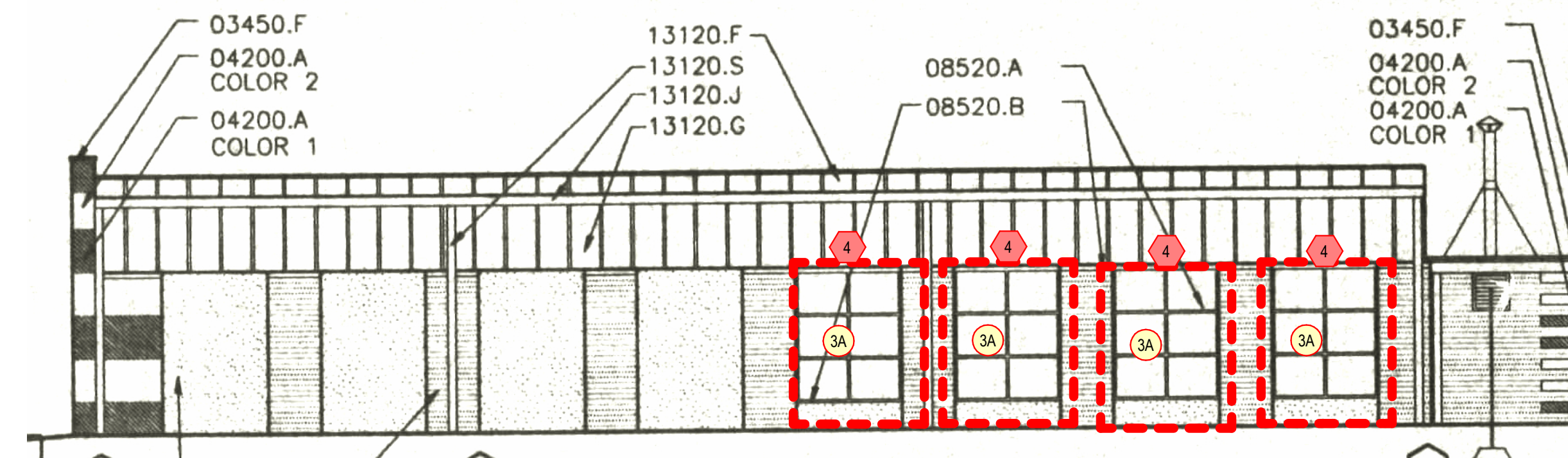
ISSUE DATE	09.02.22
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	H27-2420
	50003398-2
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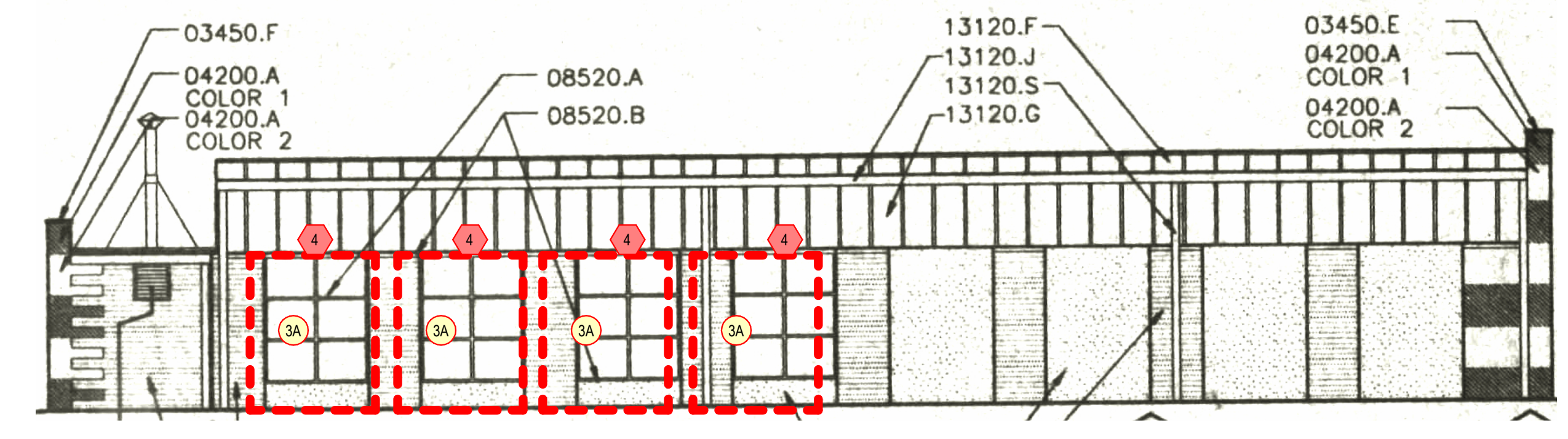
1 S1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



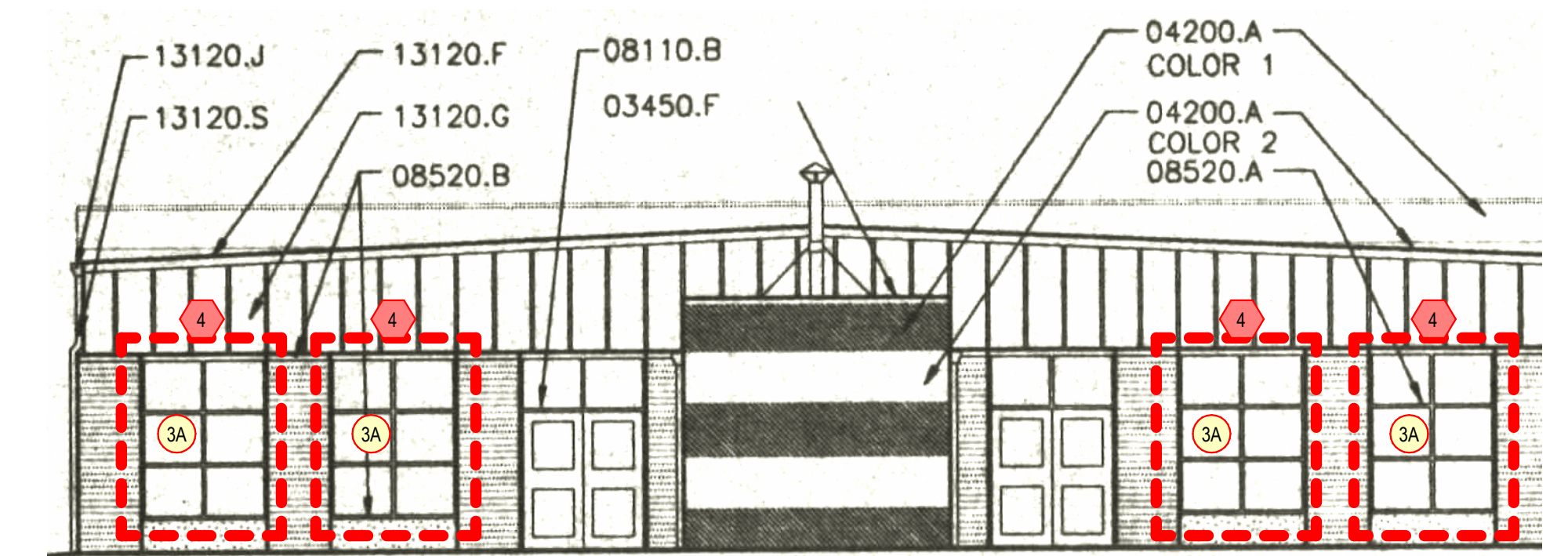
2 S1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



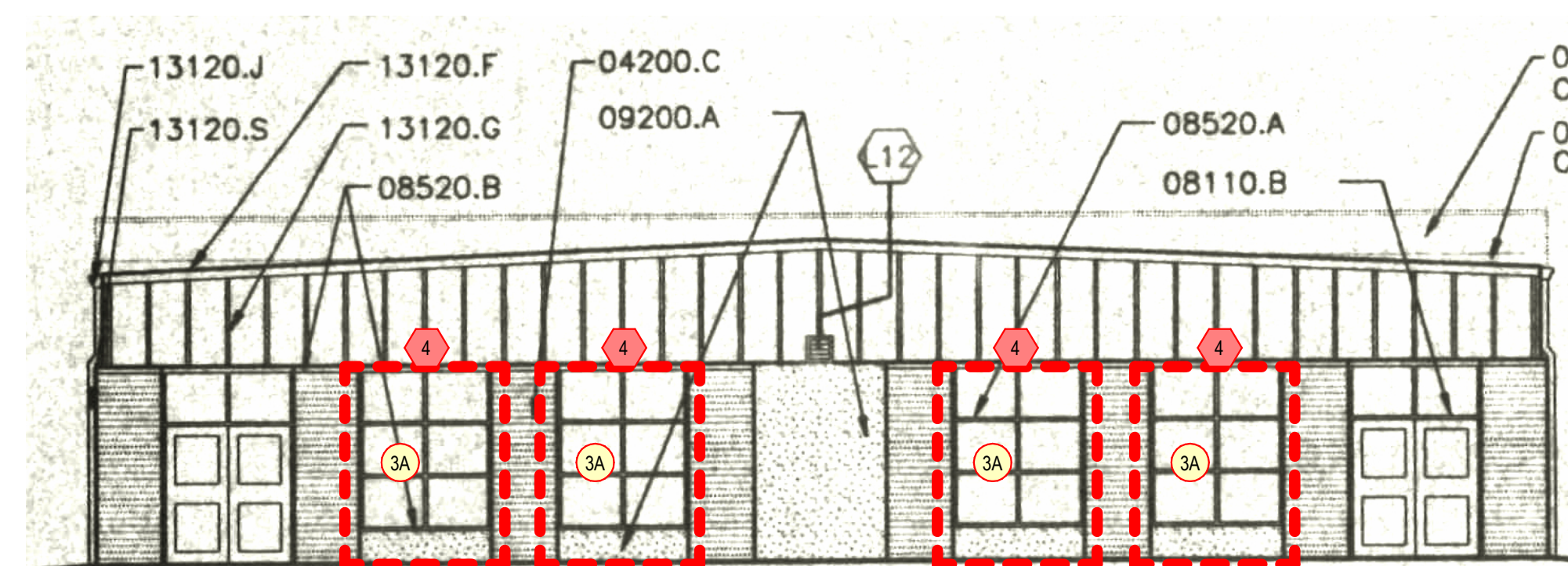
3 S2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



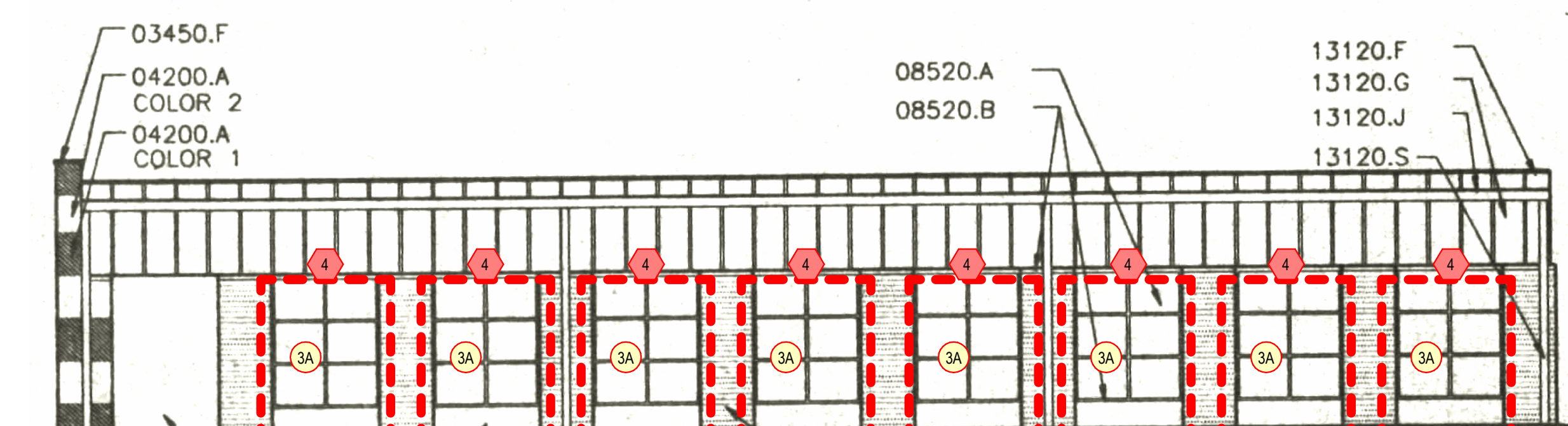
4 S2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



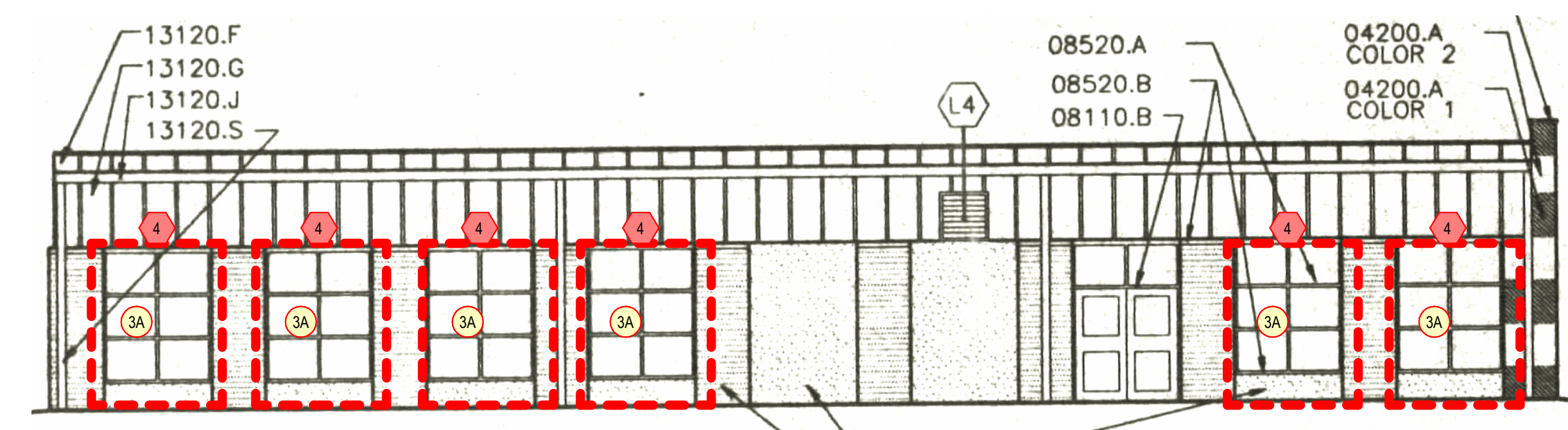
5 S2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



6 S3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



7 S3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



8 S3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: ALL GLASS REPLACEMENT THIS SHEET (BUILDINGS S1, S2, S3) SHALL BE LOW-E, INSULATED, LAMINATED, GRAY TINTED GLASS OR AT SP LOCATIONS LOW-E, INSULATED, SPANDREL, LAMINATED, GRAY TINTED GLASS.

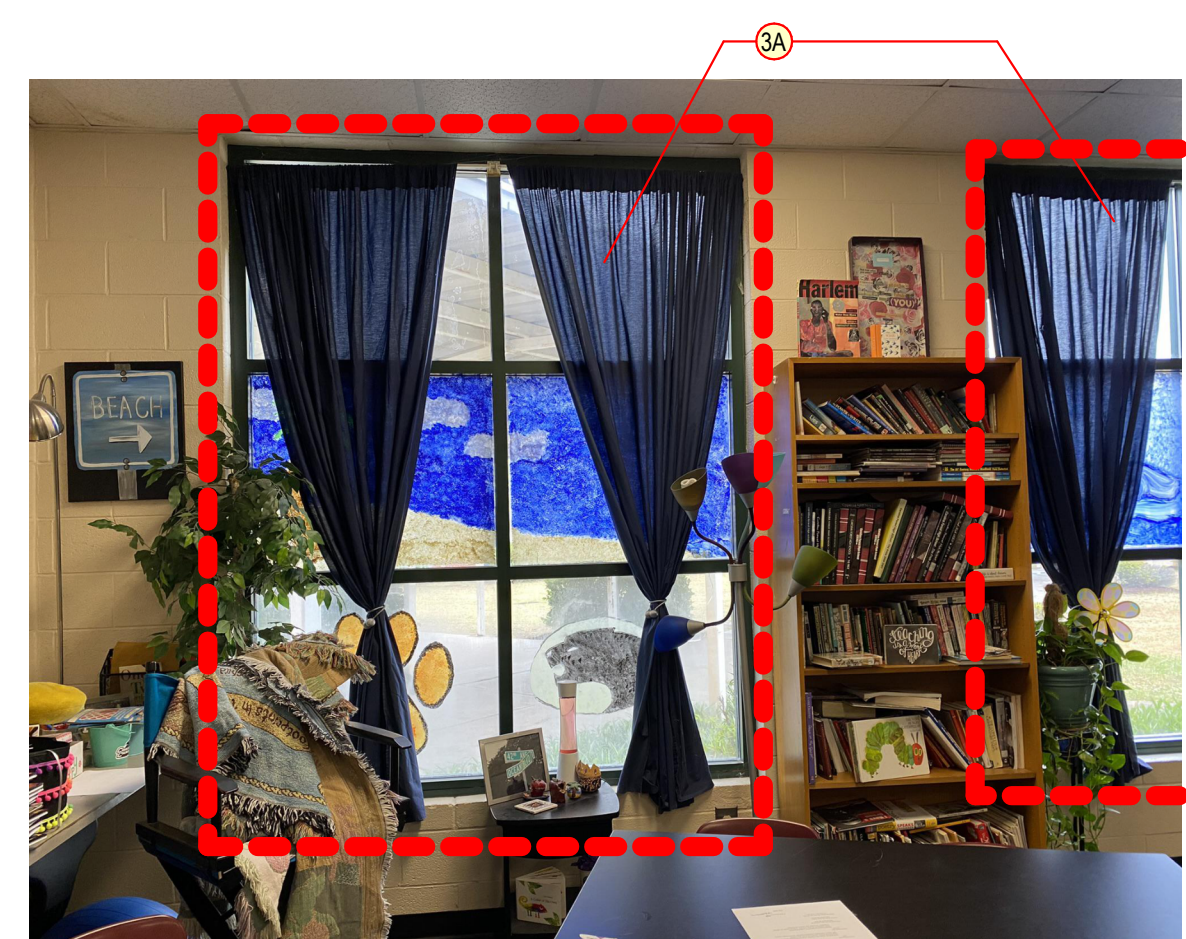


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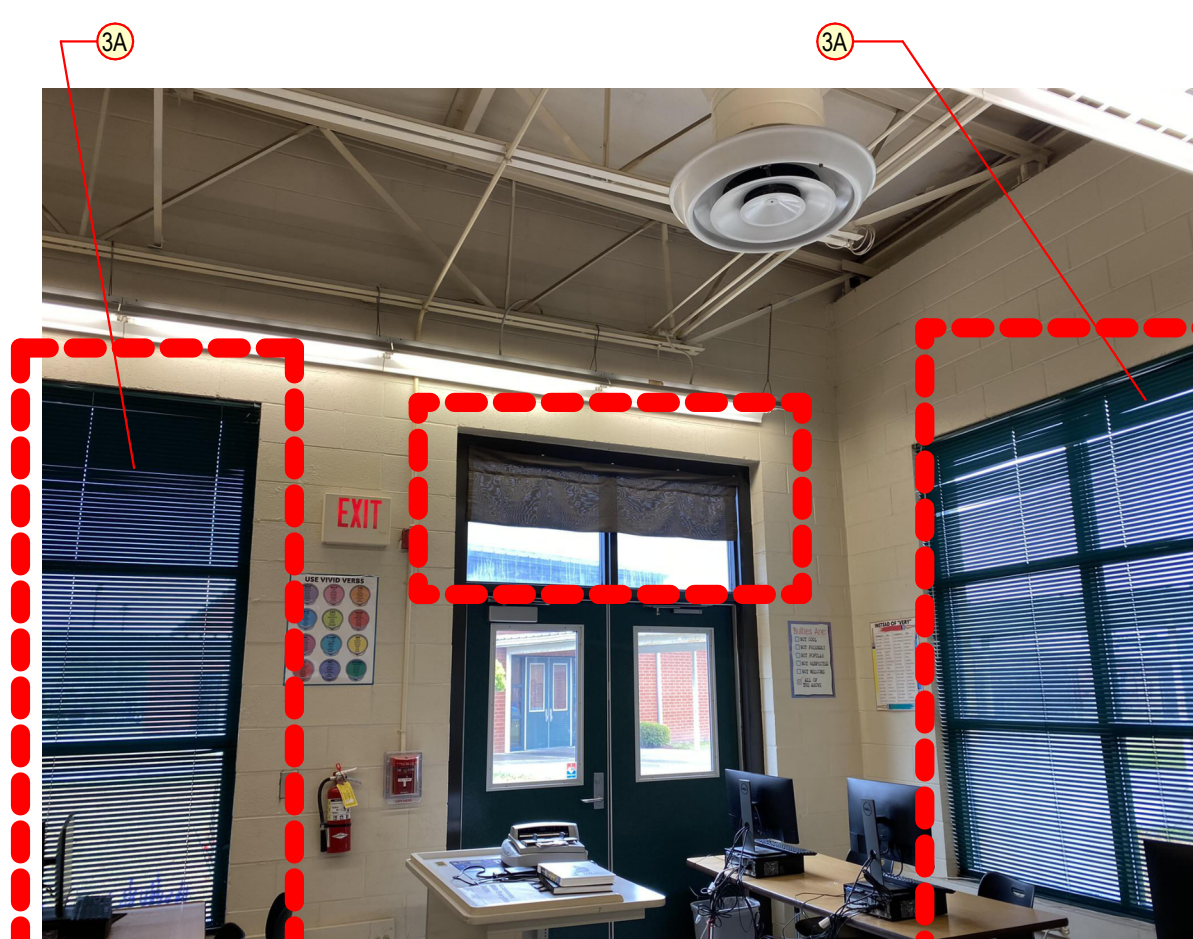


PHOTO SC

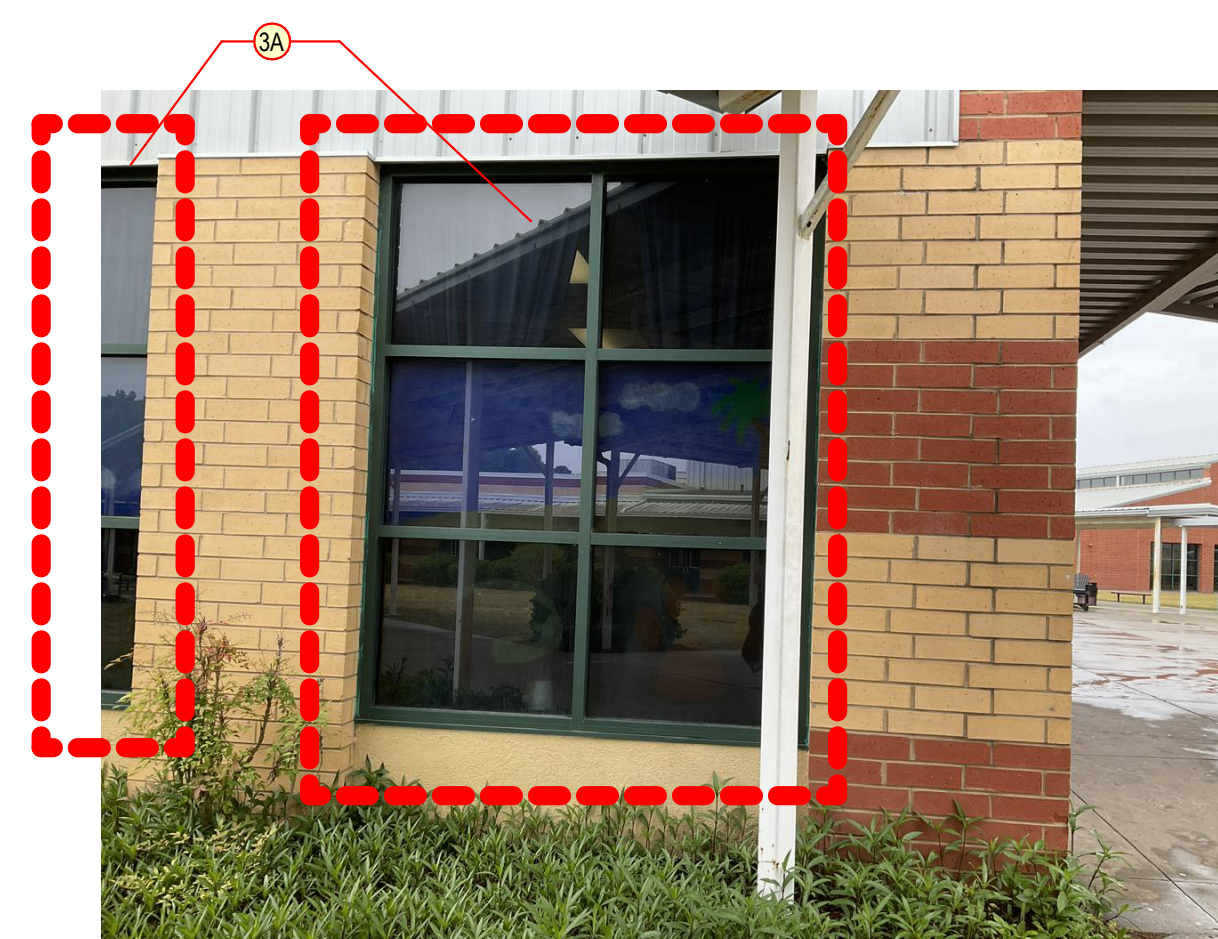


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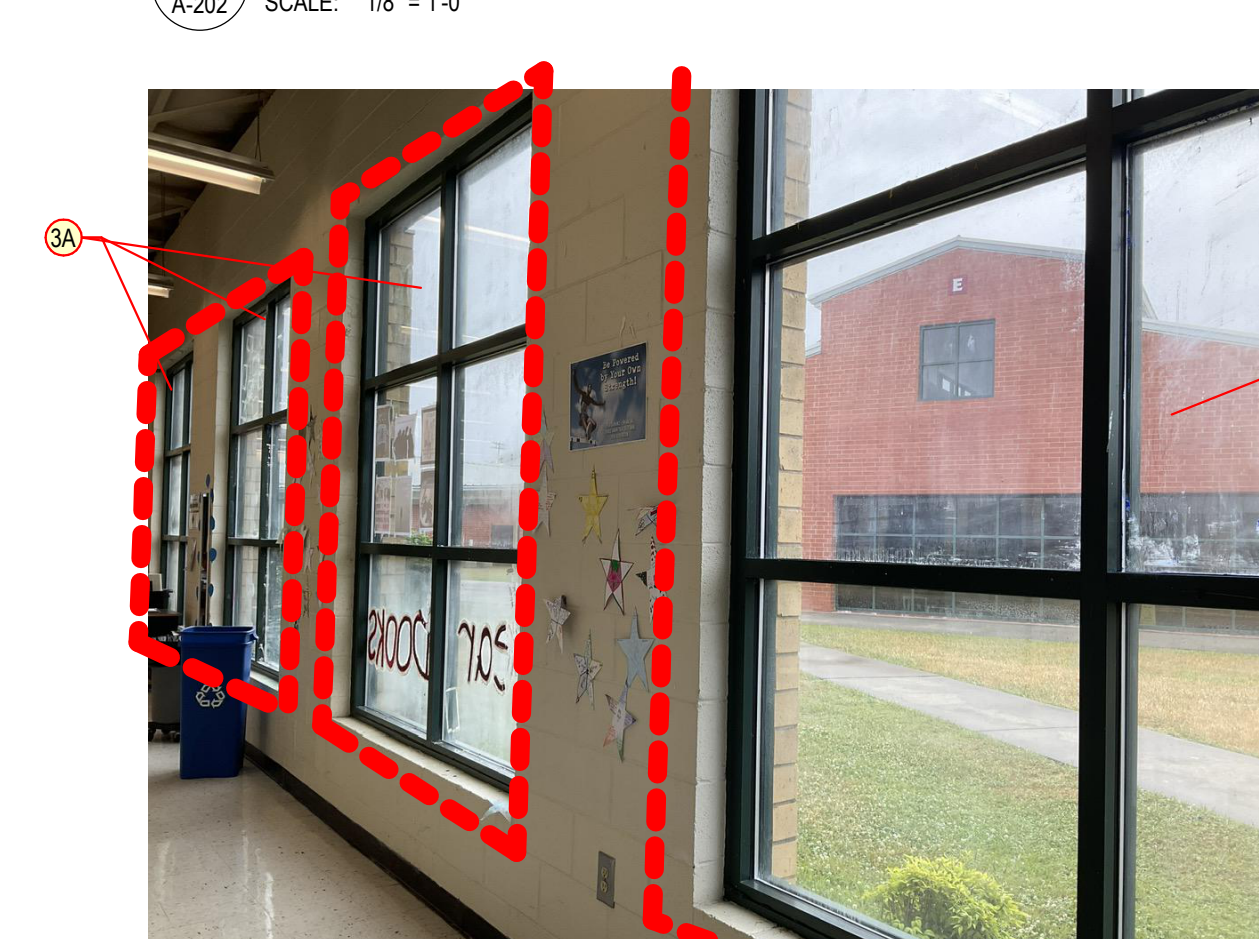
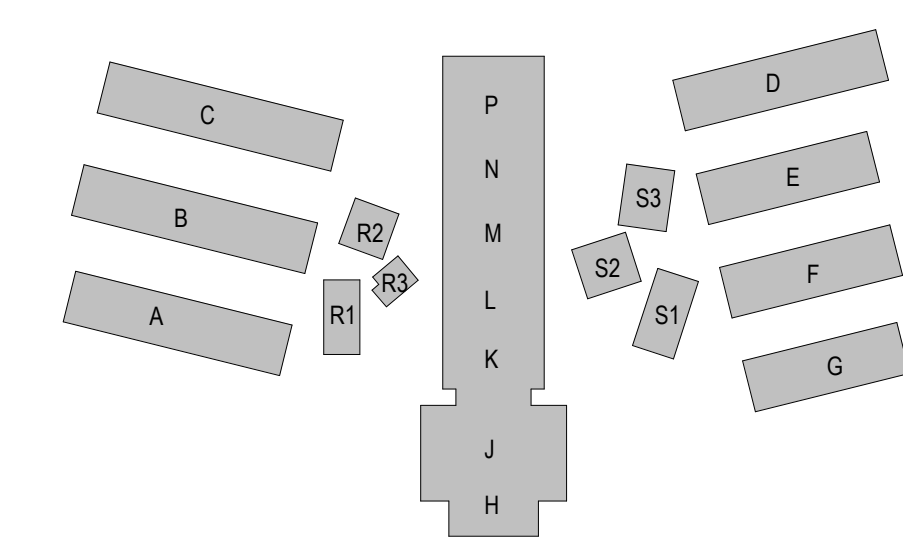
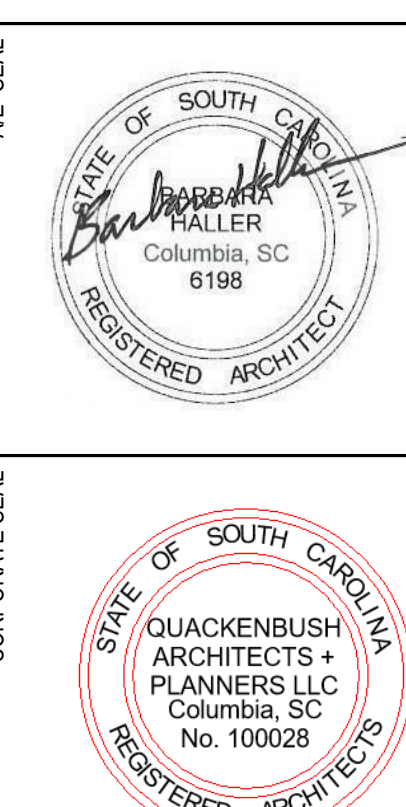


PHOTO SA



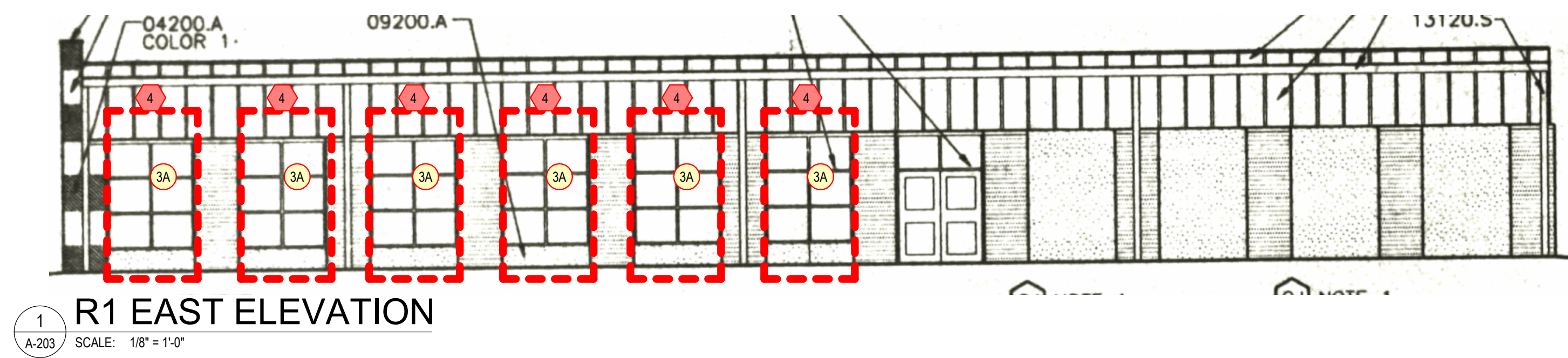
KEY PLAN



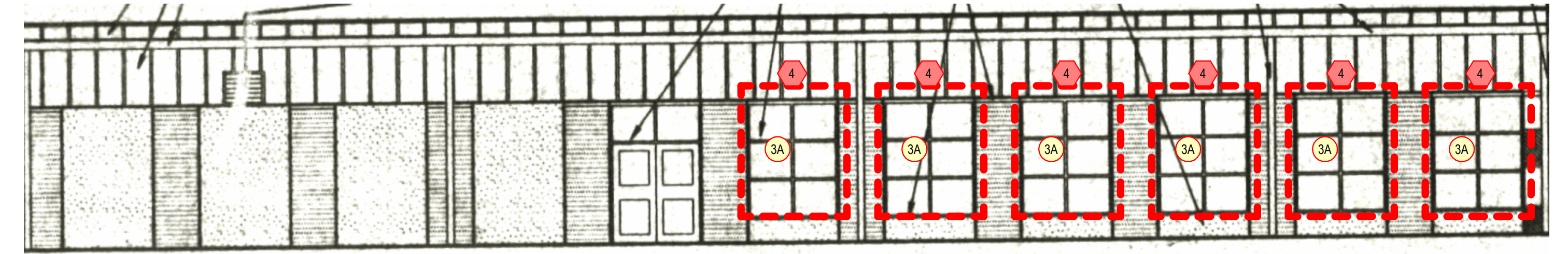
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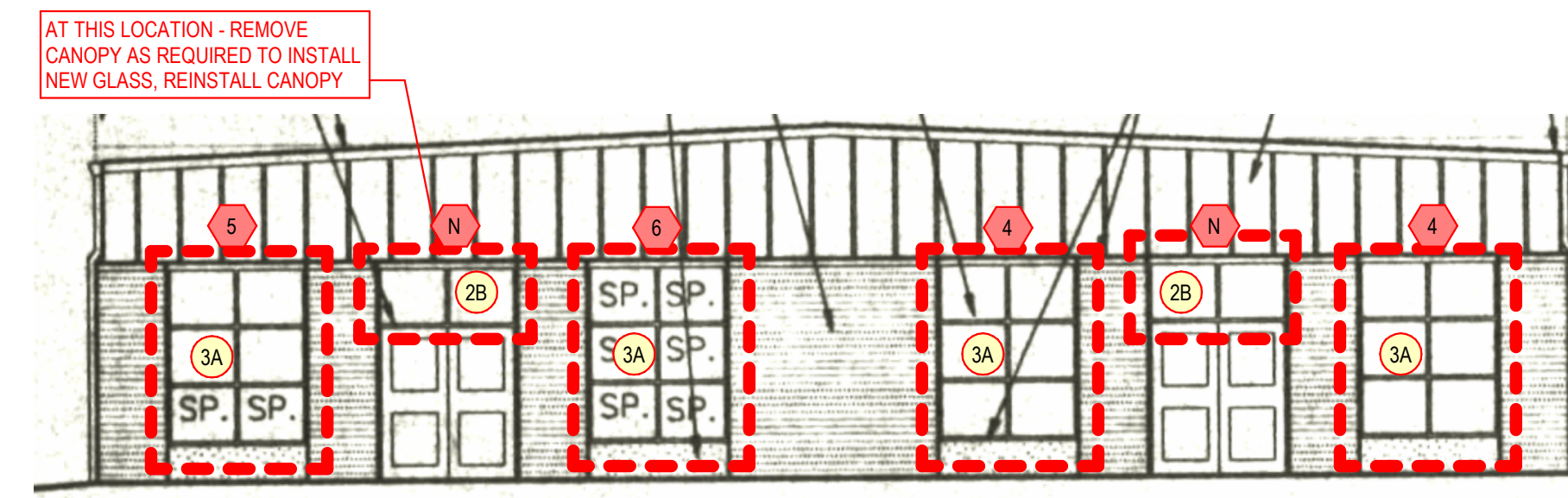
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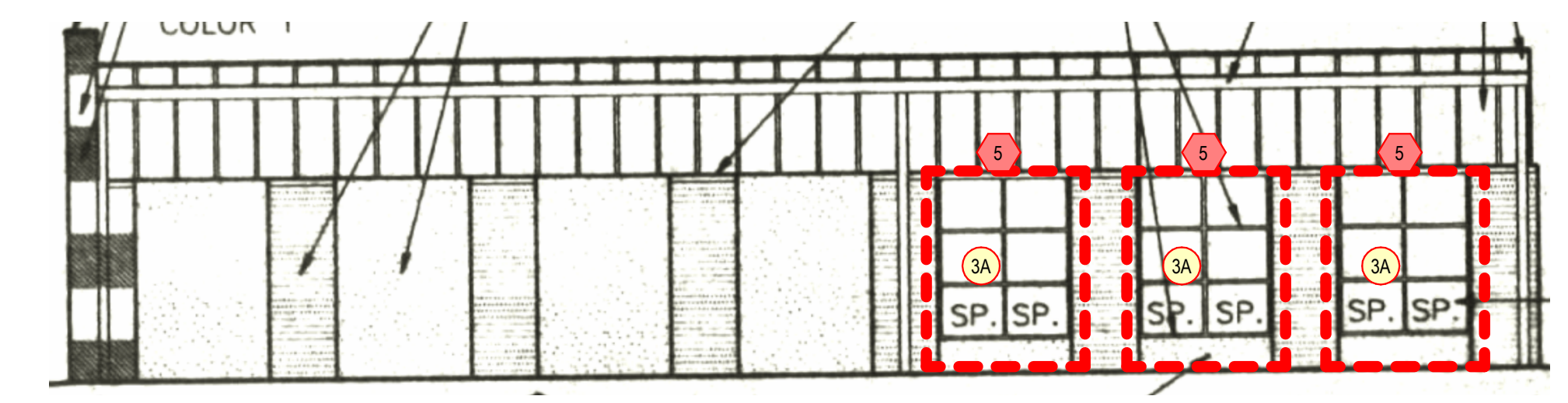
1 R1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



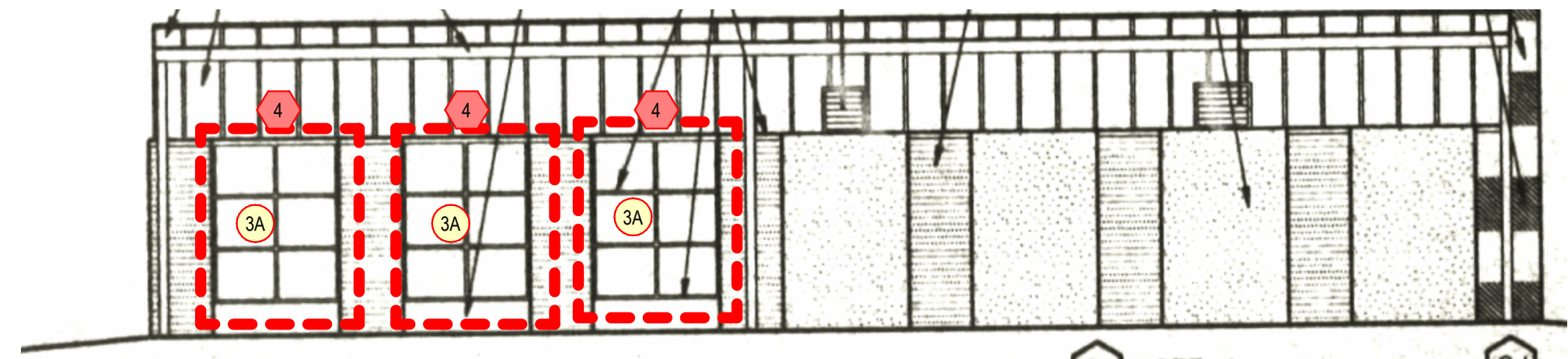
2 R1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 R2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 R2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 R2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



PHOTO RH

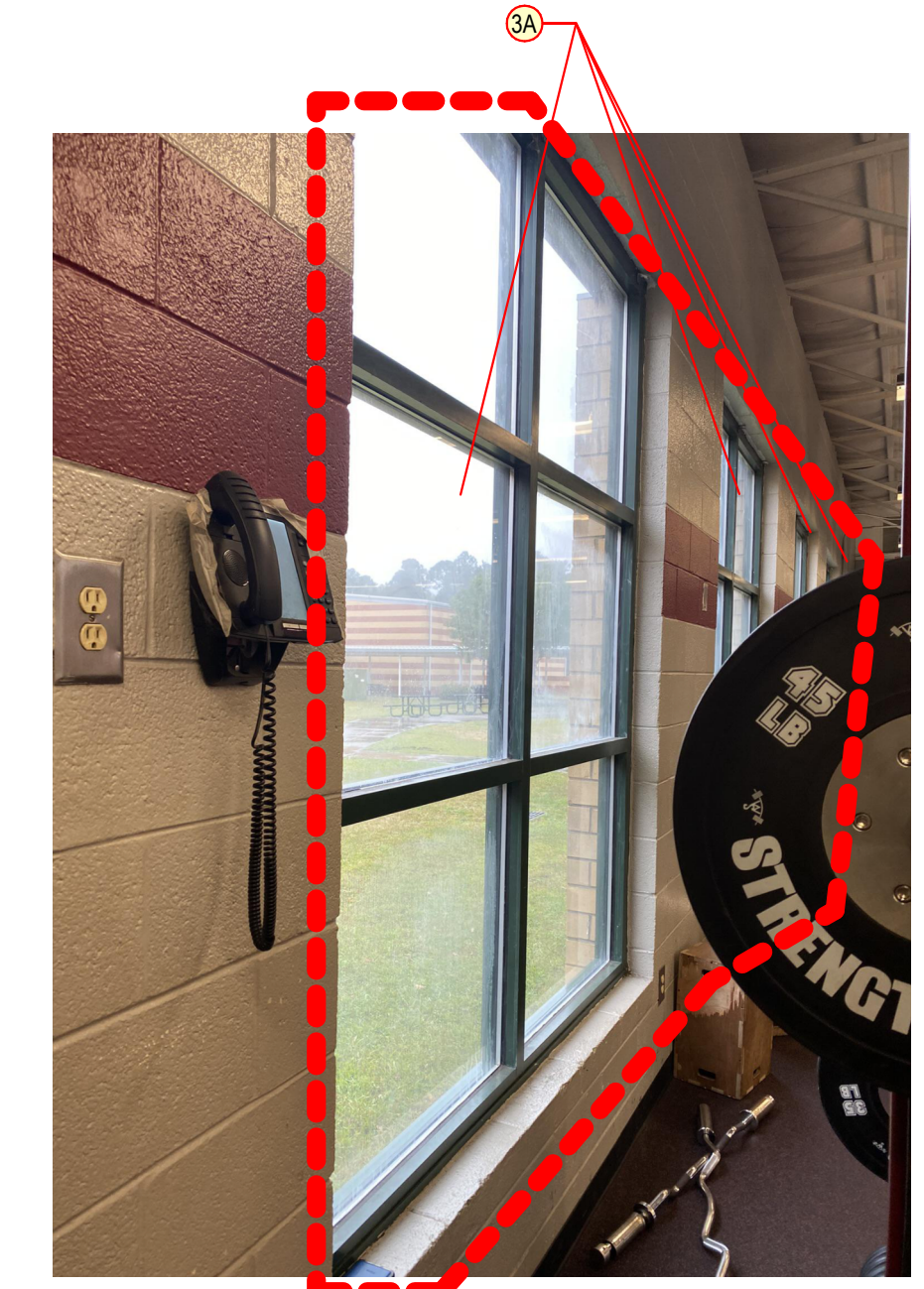
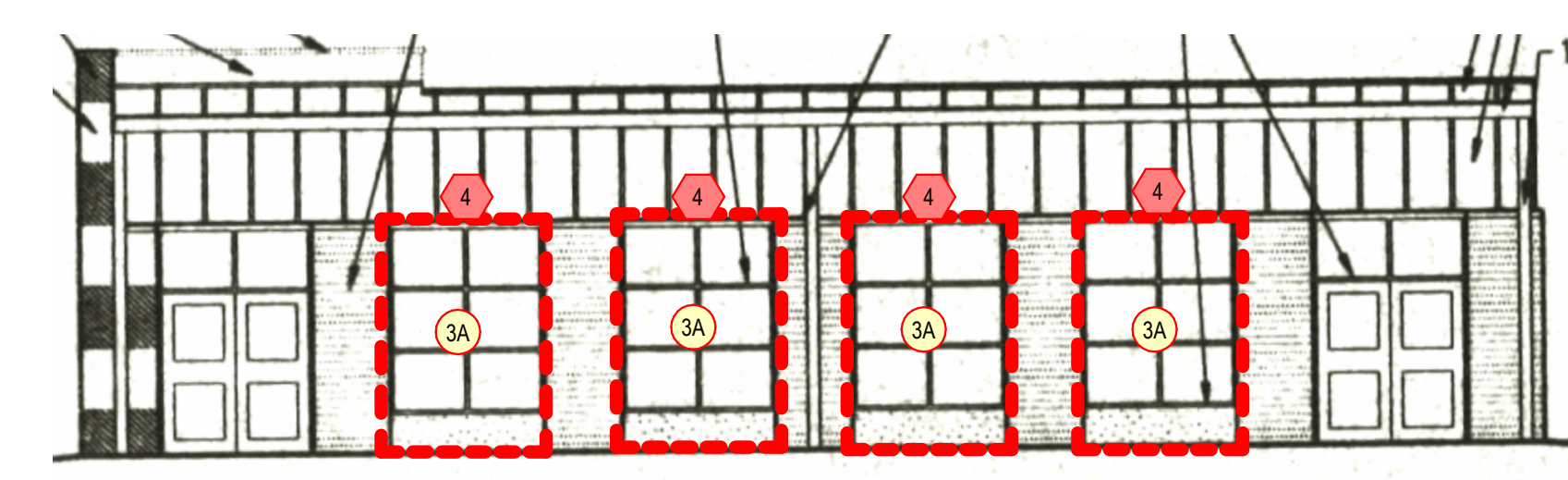
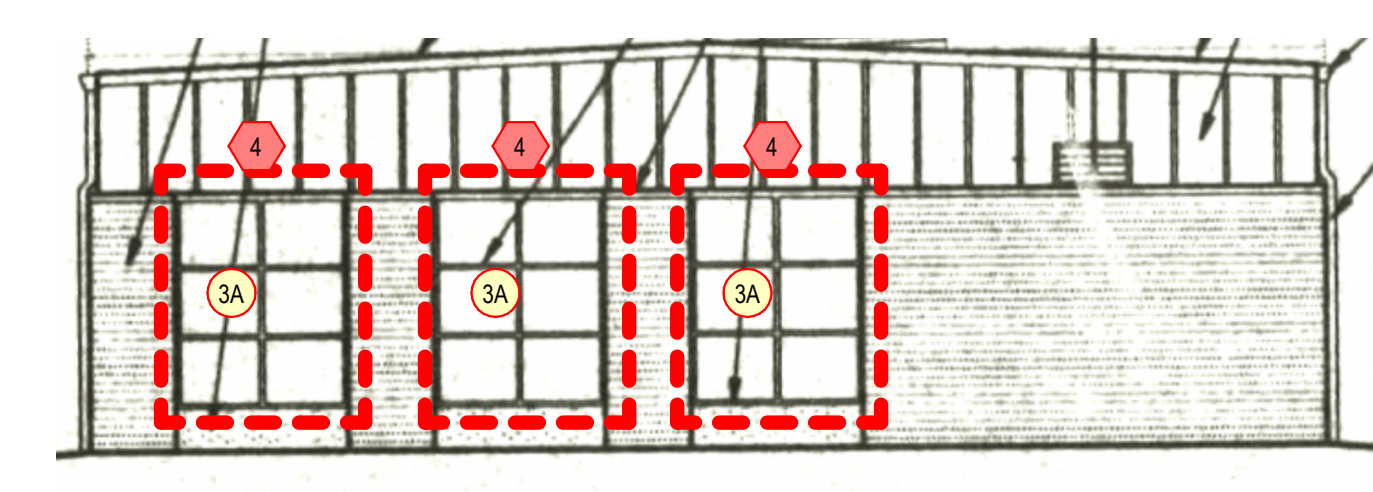


PHOTO RJ



6 R3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



7 R3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

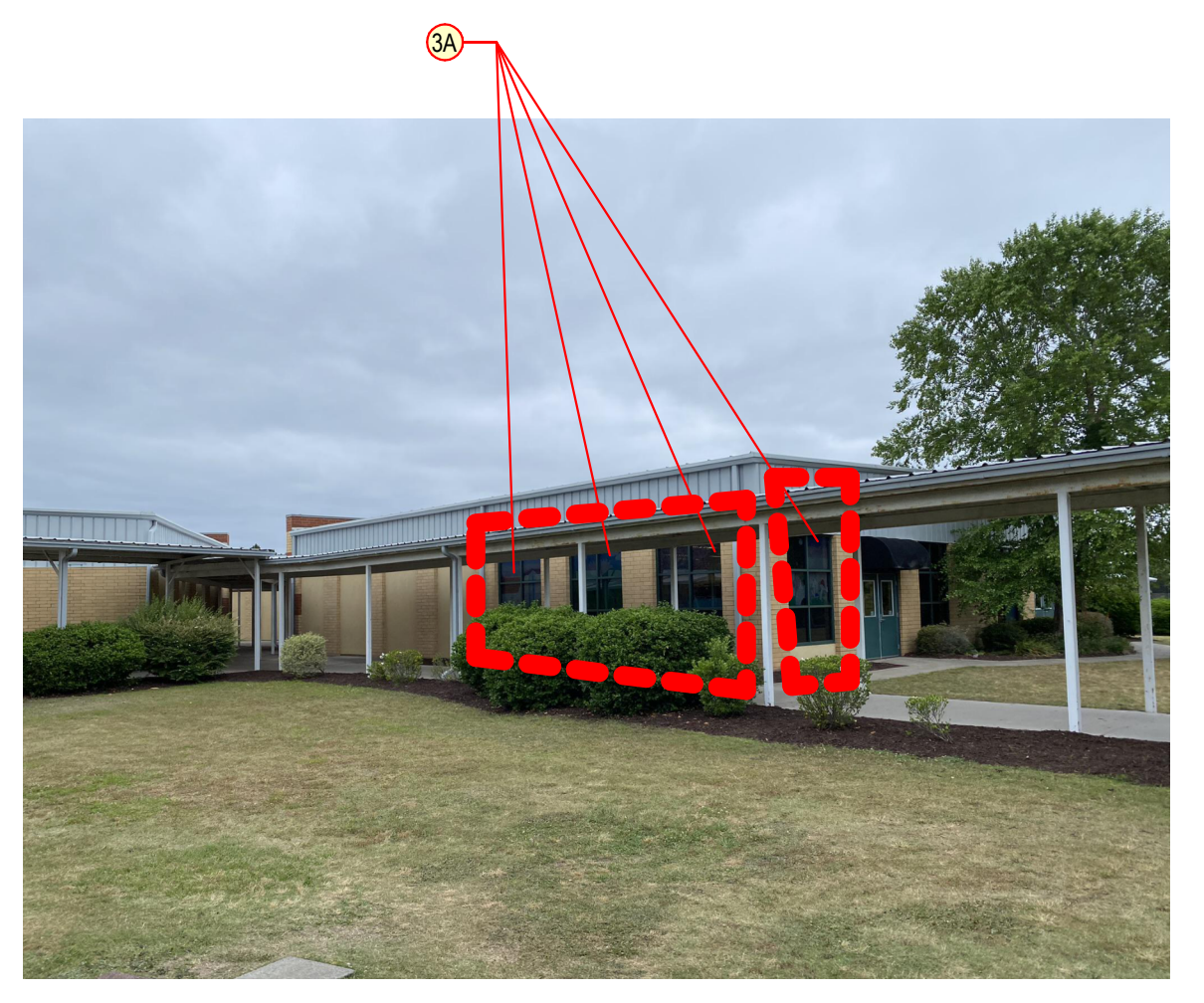


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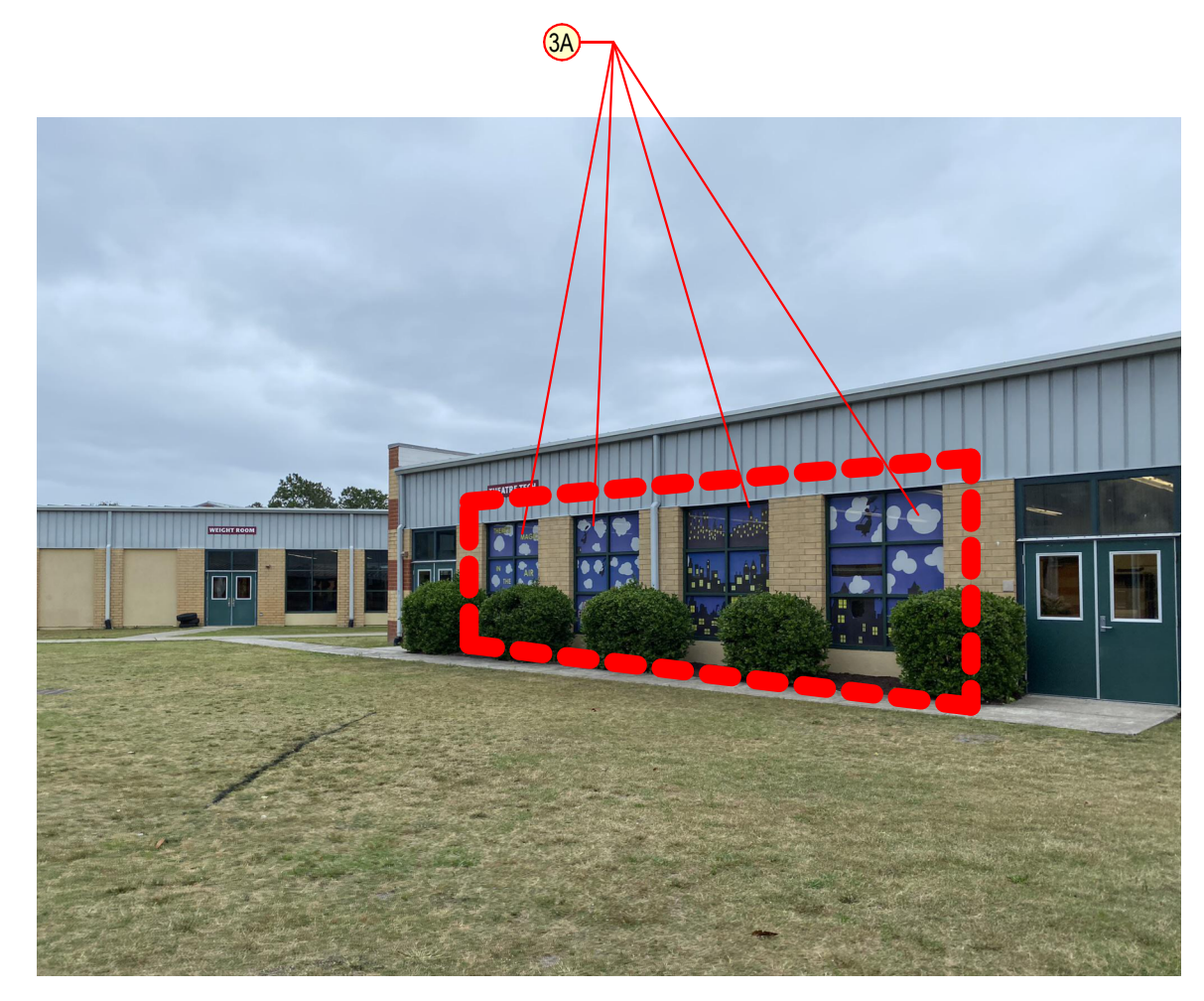


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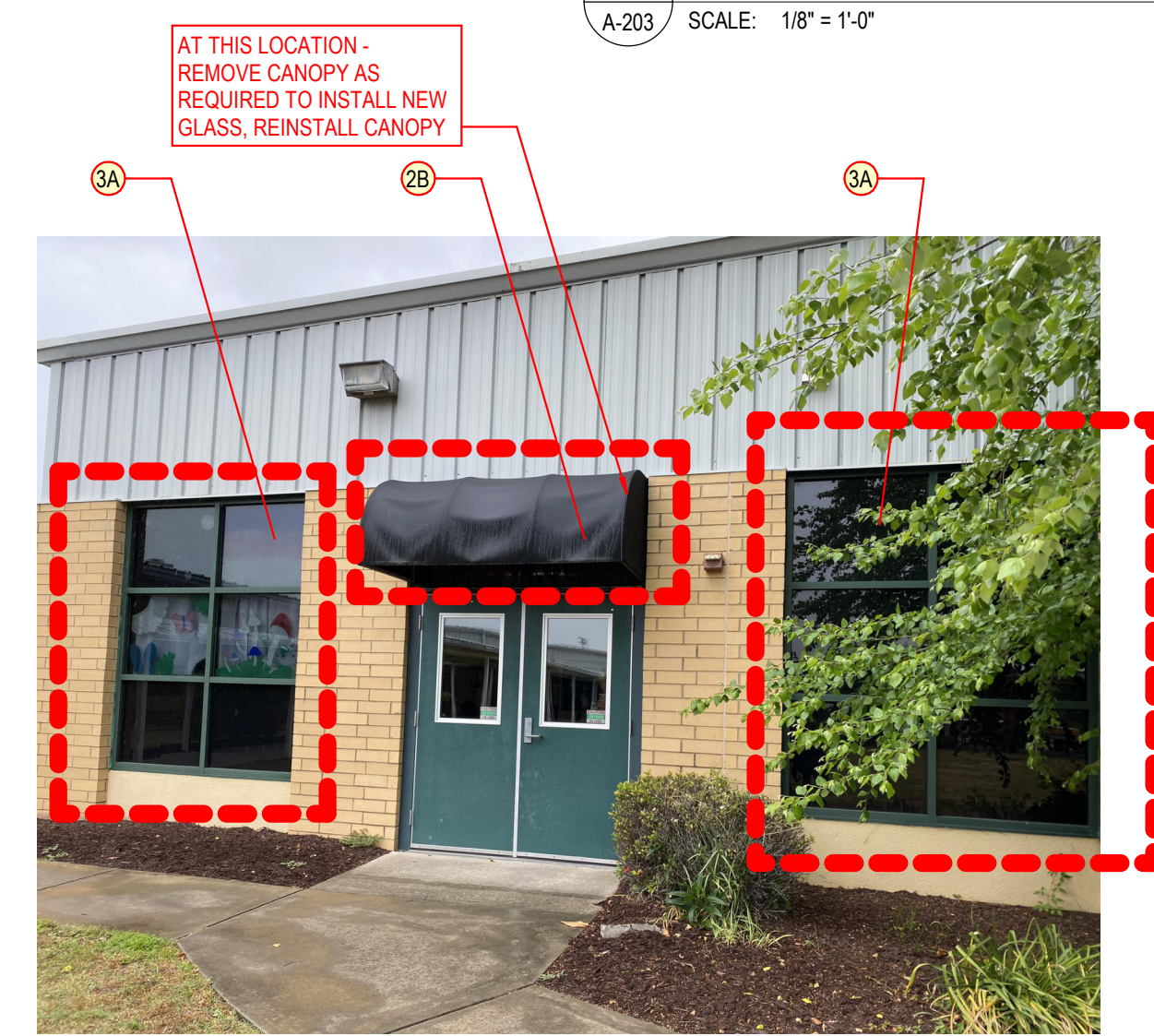
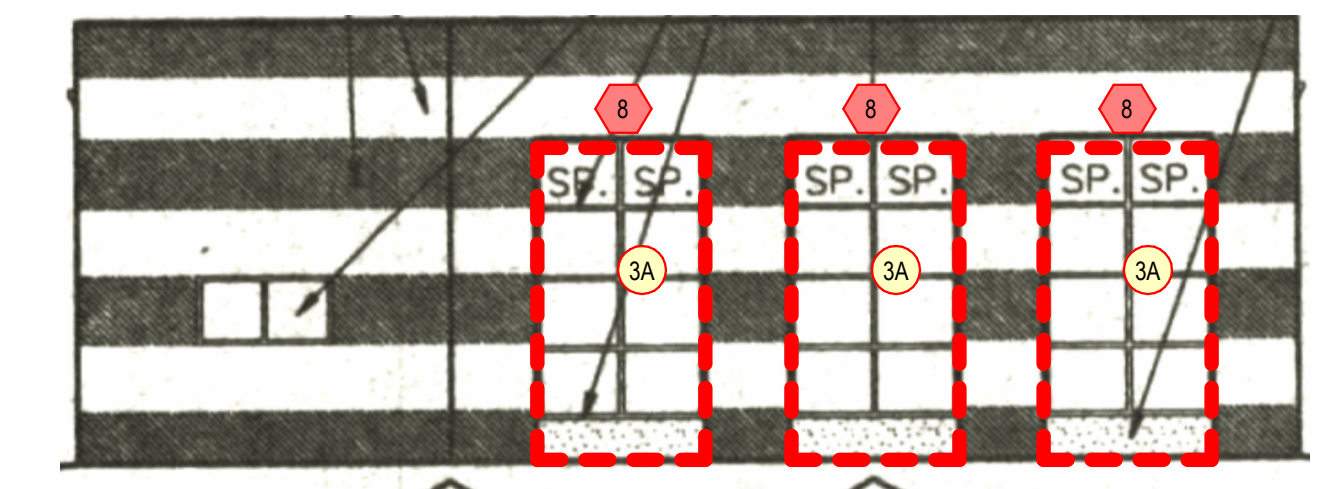


PHOTO RG



8 R3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: ALL GLASS REPLACEMENT THIS SHEET (BUILDINGS R1, R2, R3) SHALL BE LOW-E, INSULATED, LAMINATED, GRAY TINTED GLASS OR AT SP LOCATIONS LOW-E, INSULATED, SPANDREL, LAMINATED, GRAY TINTED GLASS.

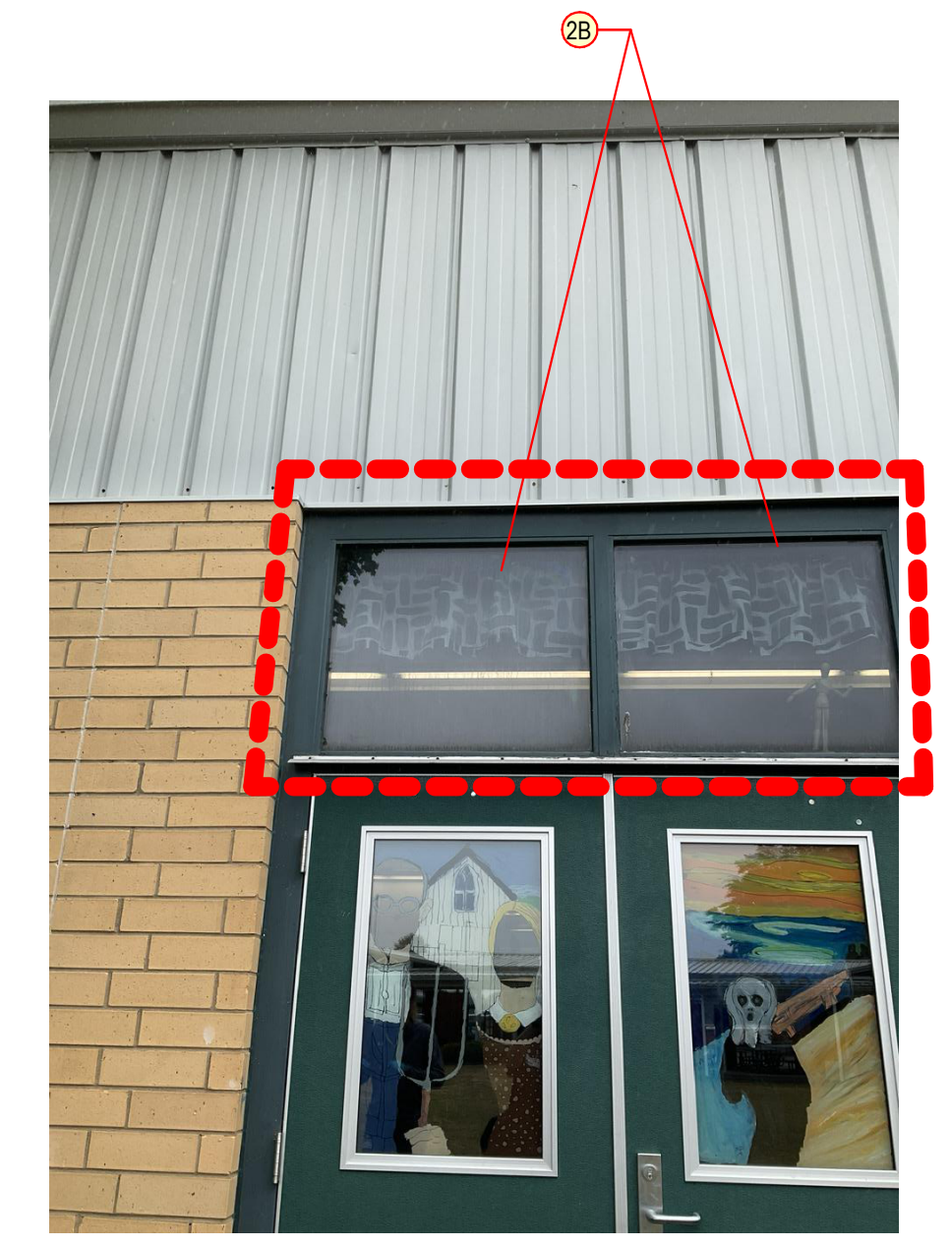


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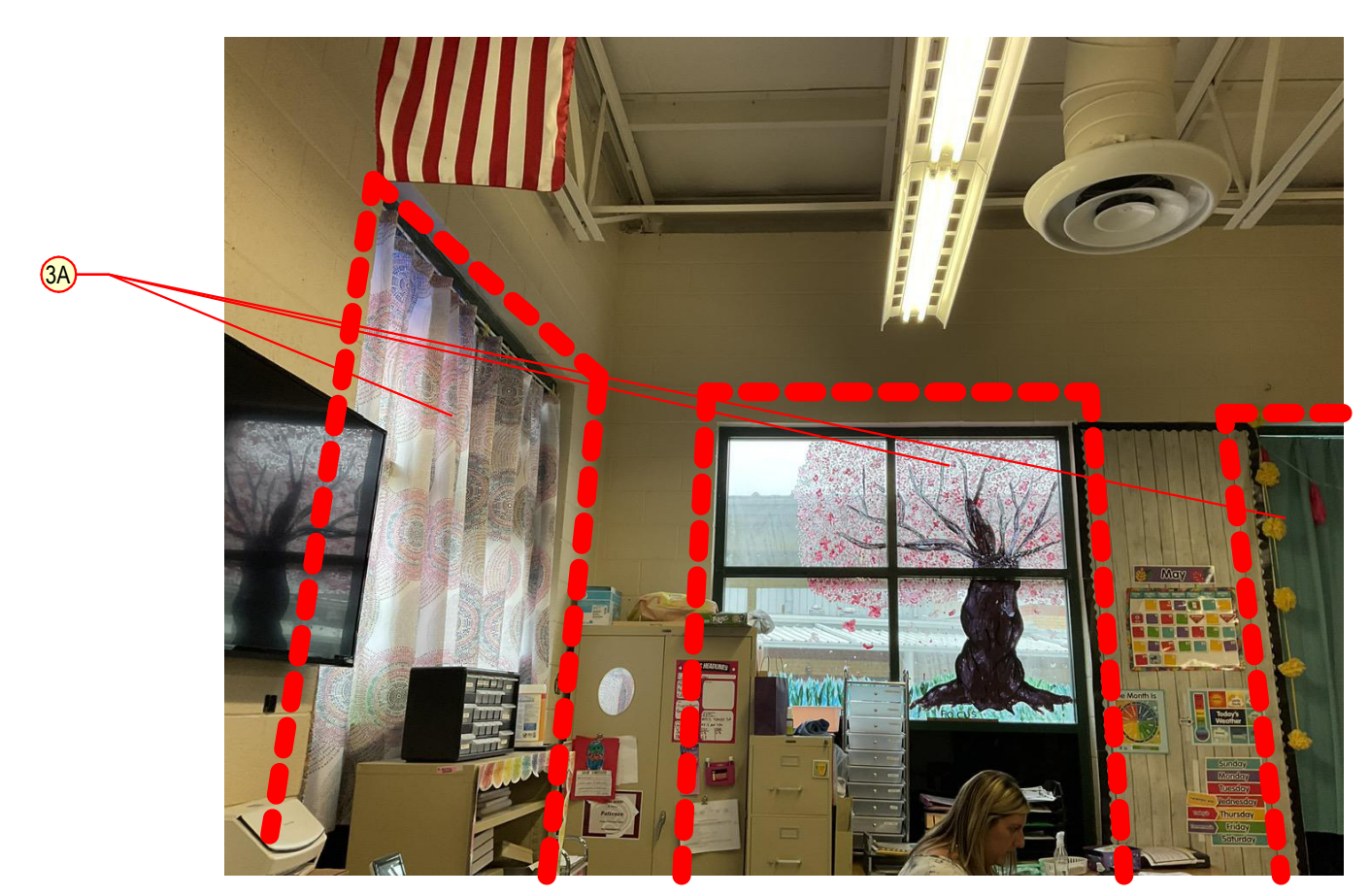


PHOTO RC



PHOTO RB

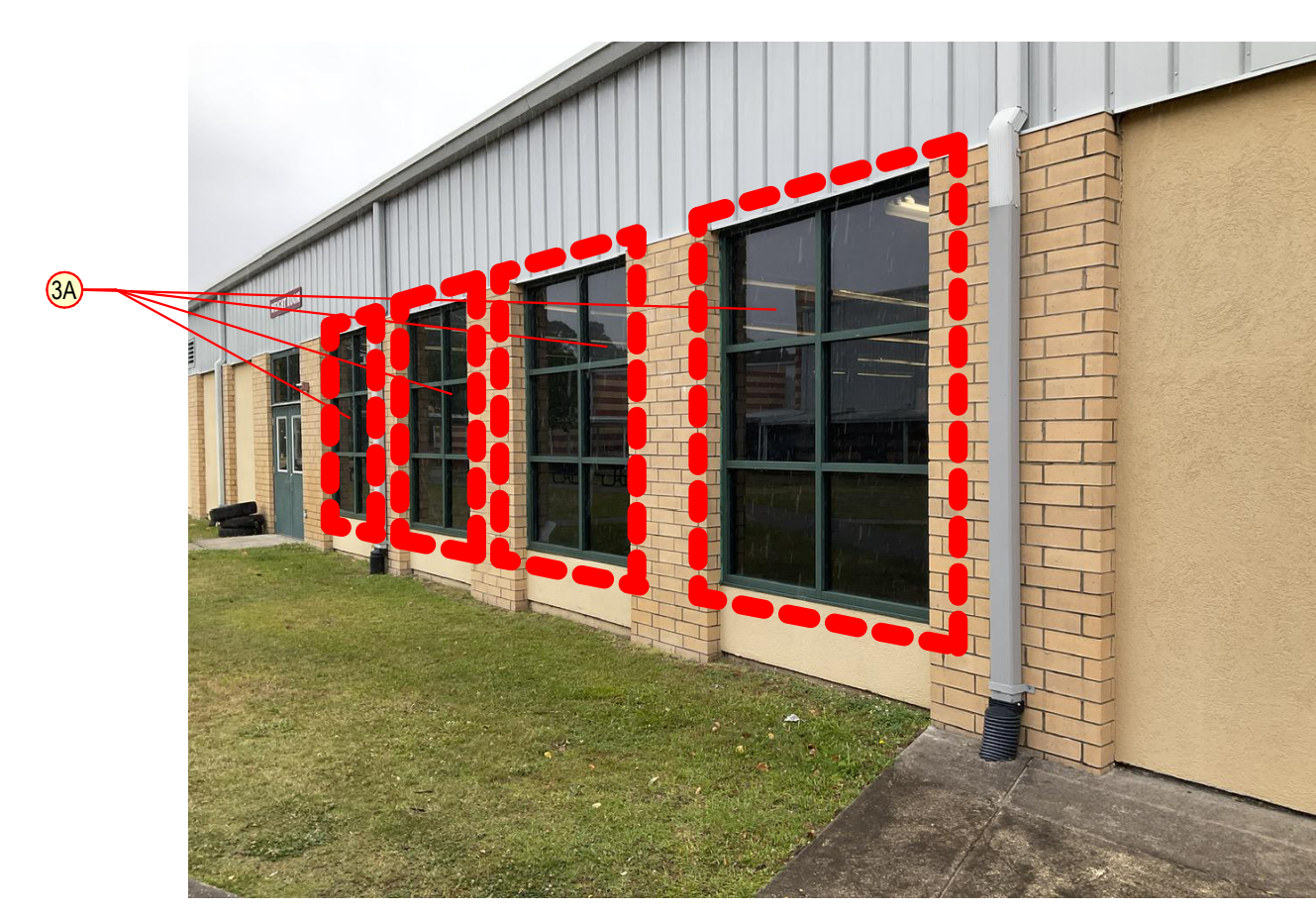
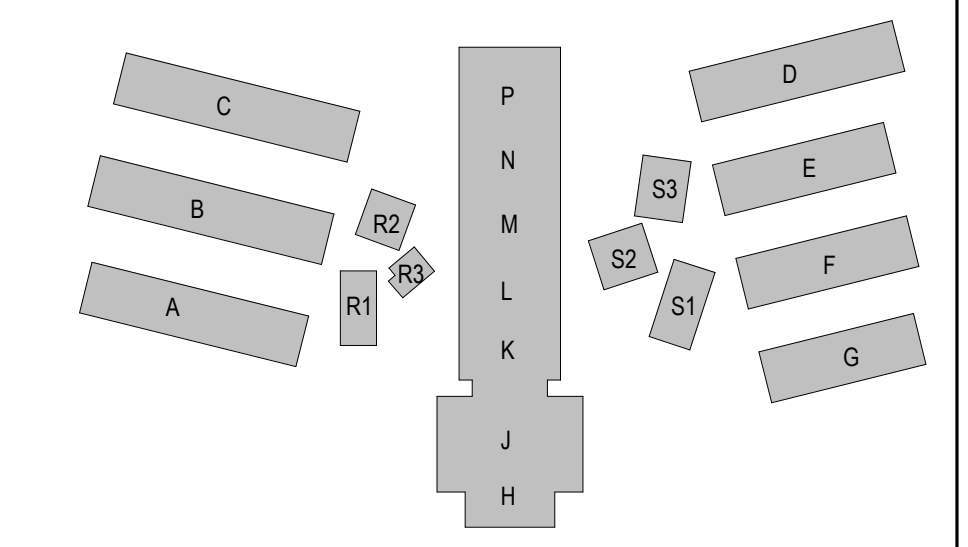
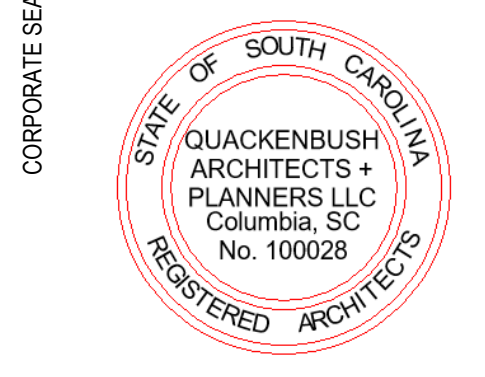
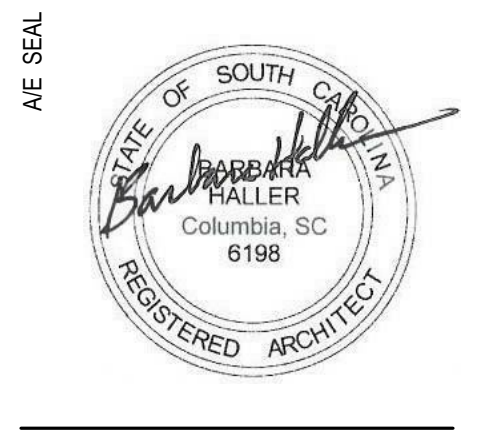


PHOTO RA



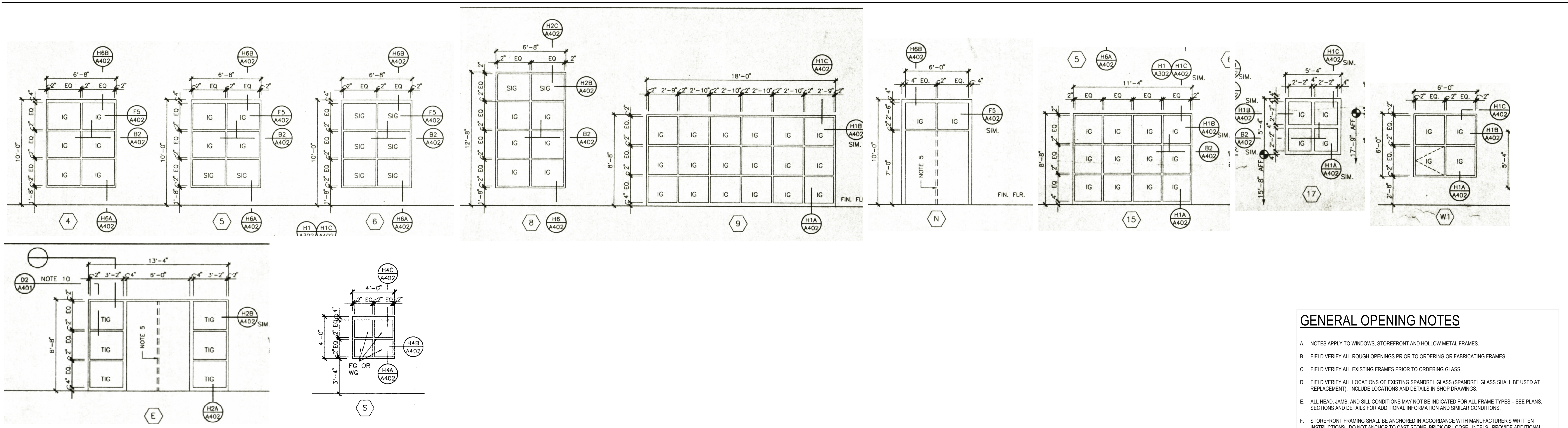
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1
A-601
FRAME ELEVATIONS
SCALE: 1/4" = 1'-0"

GENERAL OPENING NOTES

- A. NOTES APPLY TO WINDOWS, STOREFRONT AND HOLLOW METAL FRAMES.
- B. FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING OR FABRICATING FRAMES.
- C. FIELD VERIFY ALL EXISTING FRAMES PRIOR TO ORDERING GLASS.
- D. FIELD VERIFY ALL LOCATIONS OF EXISTING SPANDREL GLASS (SPANDREL GLASS SHALL BE USED AT REPLACEMENT). INCLUDE LOCATIONS AND DETAILS IN SHOP DRAWINGS.
- E. ALL HEAD, JAMB, AND SILL CONDITIONS MAY NOT BE INDICATED FOR ALL FRAME TYPES - SEE PLANS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION AND SIMILAR CONDITIONS.
- F. STOREFRONT FRAMING SHALL BE ANCHORED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. DO NOT ANCHOR TO CAST STONE, BRICK OR LOOSE LINTELS. PROVIDE ADDITIONAL BEARING PLATES AND CONCEALED STRAP CONNECTIONS WITH FINISHED TRIM AS REQUIRED TO ANCHOR STOREFRONT TO METAL STUD FRAMING / CMU / CONCRETE SUBSTRATES PER ENGINEERED SUBMITTAL DRAWINGS.
- G. STOREFRONT MULLION SPACINGS SHALL MATCH EXISTING. FIELD VERIFY DIMENSIONS AND INCLUDE IN SHOP DRAWINGS.
- H. GLAZING REQUIREMENTS:
 - a. ALL GLASS REPLACEMENT AT BUILDINGS A, B, C, D, E, F, G SHALL BE LOW-E, INSULATED, LAMINATED, CLEAR GLASS.
 - b. ALL GLASS REPLACEMENT AT BUILDINGS R1, R2, R3 AND S1, S2, S3 SHALL BE LOW-E, INSULATED, LAMINATED, GRAY TINTED GLASS OR SPANDREL LOCATIONS LOW-E, INSULATED, SPANDREL, LAMINATED, GRAY TINTED GLASS.
 - c. WHETHER OR NOT EXPLICITLY INDICATED, ALL GLAZING SHALL BE SAFETY GLAZING WHEN WITHIN 18" OF THE FLOOR OR WITHIN 36" HORIZONTAL DISTANCE FROM ANY DOOR.

QUACKENBUSH ARCHITECTS + PLANNERS
1217 HAMPTON | COLUMBIA, SC | 803.771.2899 | quackenbusharchitects.com

A/E SEAL


CORPORATE SEAL


PROJECT TITLE
CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT - ESSER
Horry County Schools
700 GARDNER LACY RD., MYRTLE BEACH, SC 29579

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H27-2420
59003398-2

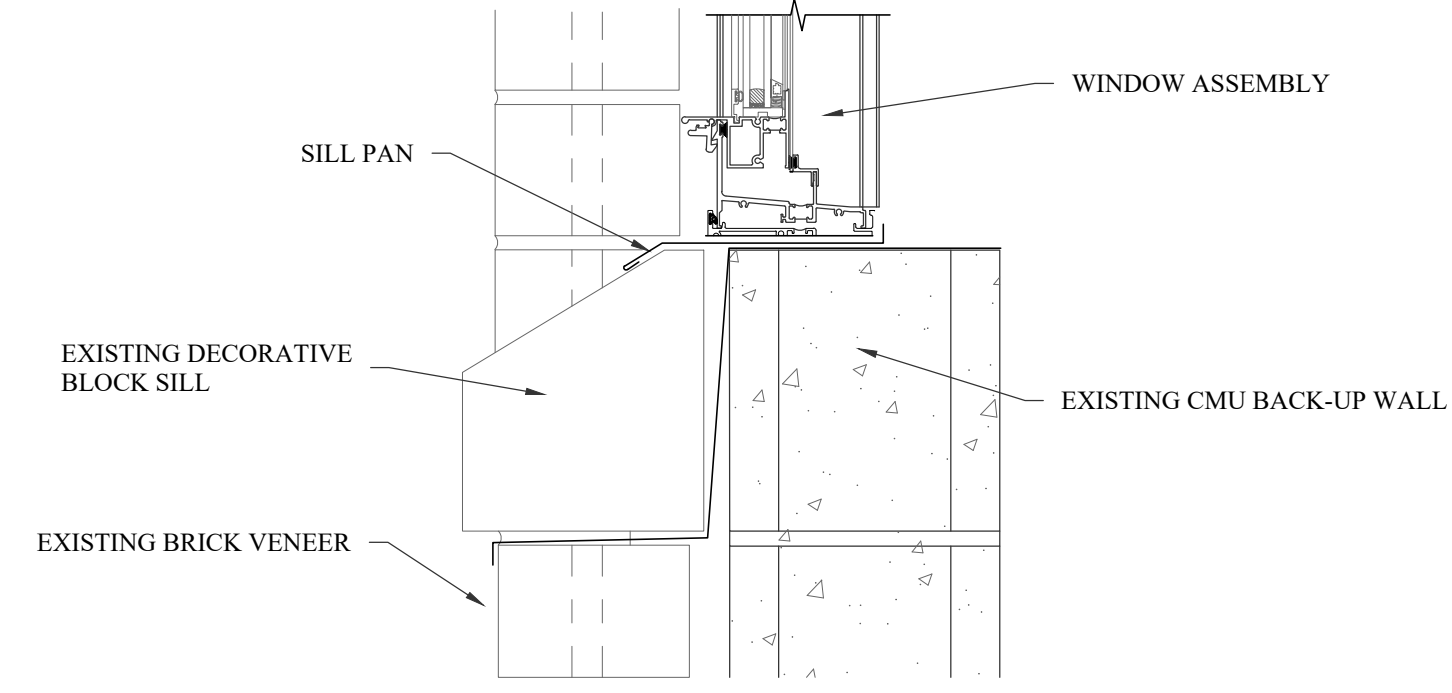
REVISION DATE

TITLE
FRAME ELEVATIONS

SHEET NO.
A-601

NOTES:

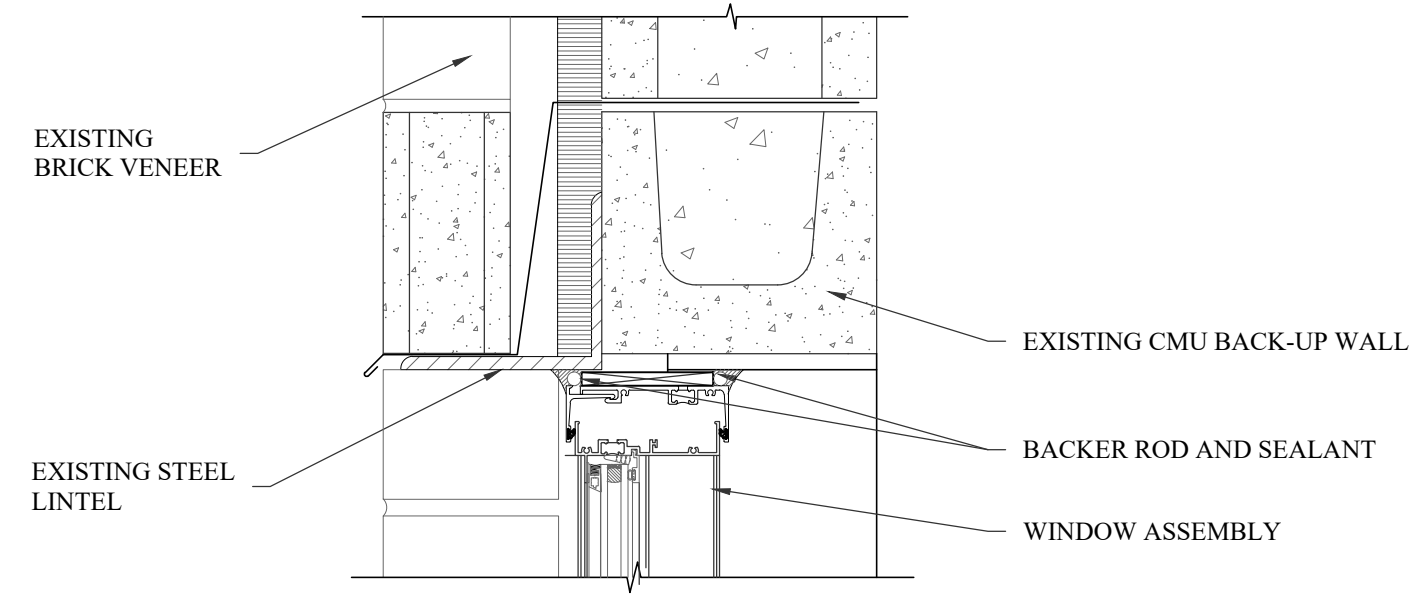
- SEE SILL PAN FLASHING DETAIL FOR SILL PAN AND ROUGH OPENING REQUIREMENTS.
- WINDOW SILL TO BE MIN. .040 PRE-FINISHED ALUMINUM. COLOR TO MATCH WINDOW.
- NEW WINDOW UNITS SHOULD BE LOCATED IN THE SAME GENERAL LOCATION AS THE EXISTING BEING REPLACED.



1 WINDOW SILL
D-100 N.T.S.

NOTES:

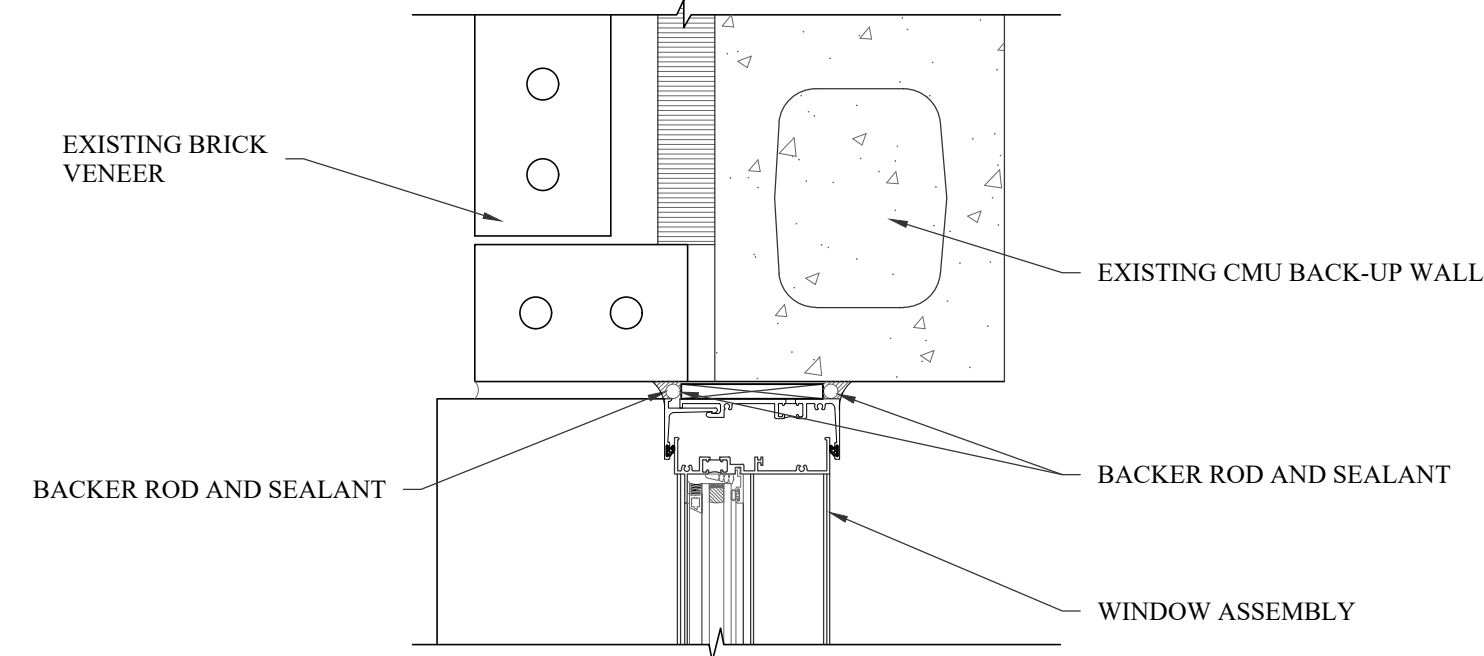
- SEE SILL PAN FLASHING DETAIL FOR SILL PAN AND ROUGH OPENING REQUIREMENTS.
- SEE FILLET JOINT DETAIL FOR SEALANT REQUIREMENTS.
- NEW WINDOW UNITS SHOULD BE LOCATED IN THE SAME GENERAL LOCATION AS THE EXISTING BEING REPLACED.



2 WINDOW HEAD
D-100 N.T.S.

NOTES:

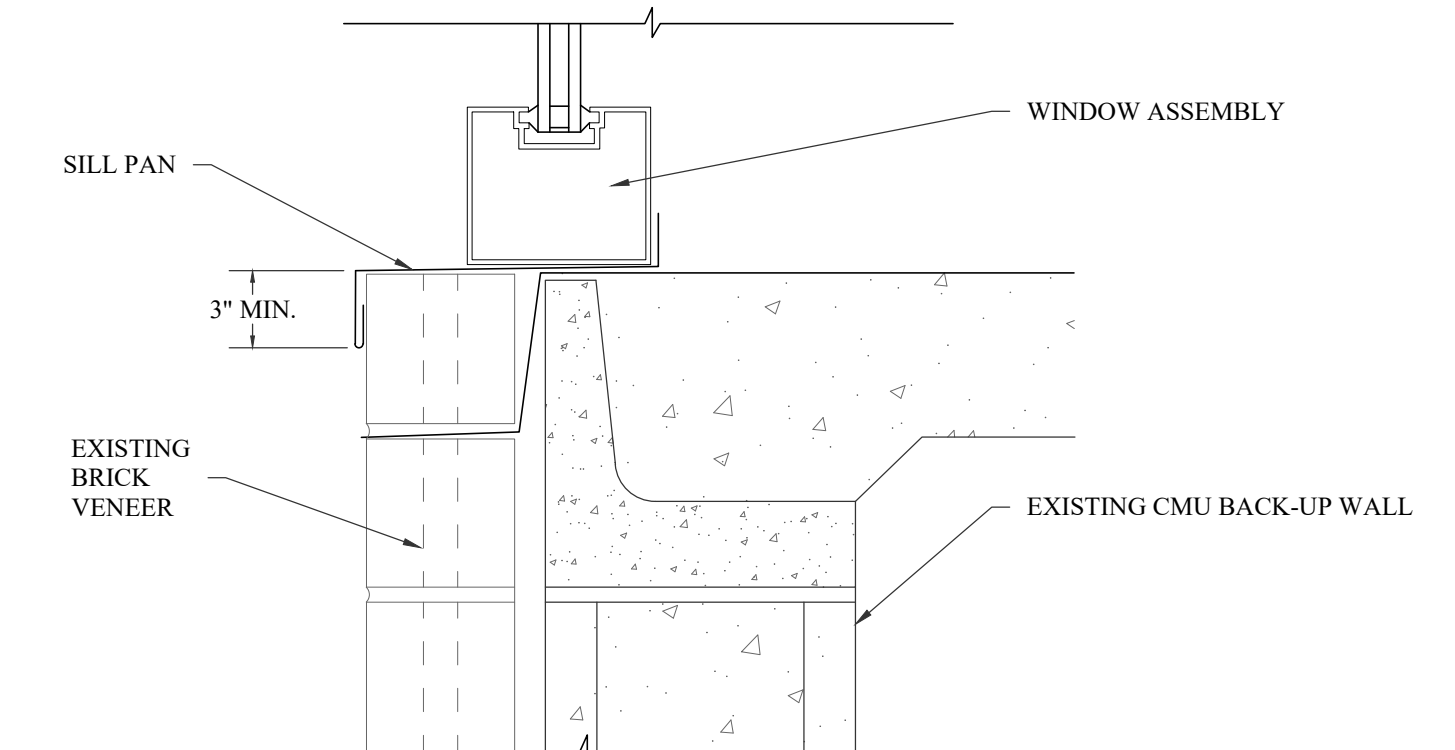
- SEE FILLET JOINT DETAIL FOR SEALANT REQUIREMENTS.
- NEW WINDOW UNITS SHOULD BE LOCATED IN THE SAME GENERAL LOCATION AS THE EXISTING BEING REPLACED.



3 WINDOW JAMB
D-100 N.T.S.

NOTES:

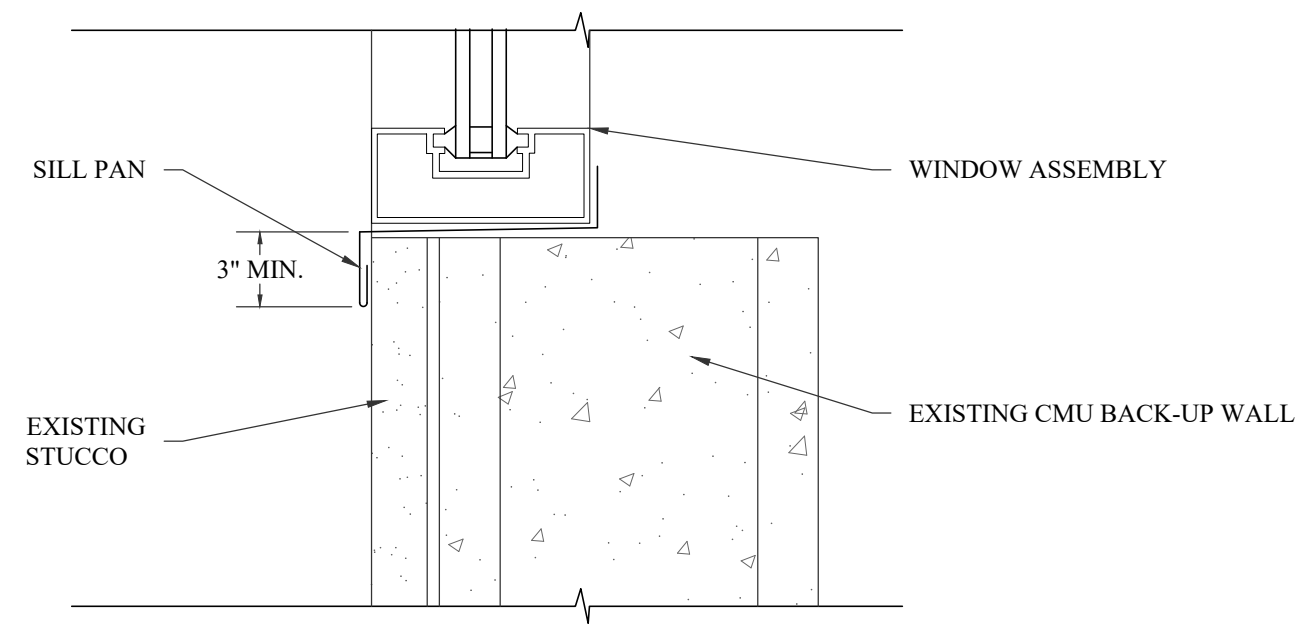
- SEE SILL PAN FLASHING DETAIL FOR SILL PAN AND ROUGH OPENING REQUIREMENTS.
- WINDOW SILL TO BE MIN. .040 PRE-FINISHED ALUMINUM. COLOR TO MATCH WINDOW.
- NEW WINDOW UNITS SHOULD BE LOCATED IN THE SAME GENERAL LOCATION AS THE EXISTING BEING REPLACED.



4 ALUMINUM WINDOW SILL
D-100 N.T.S.

NOTES:

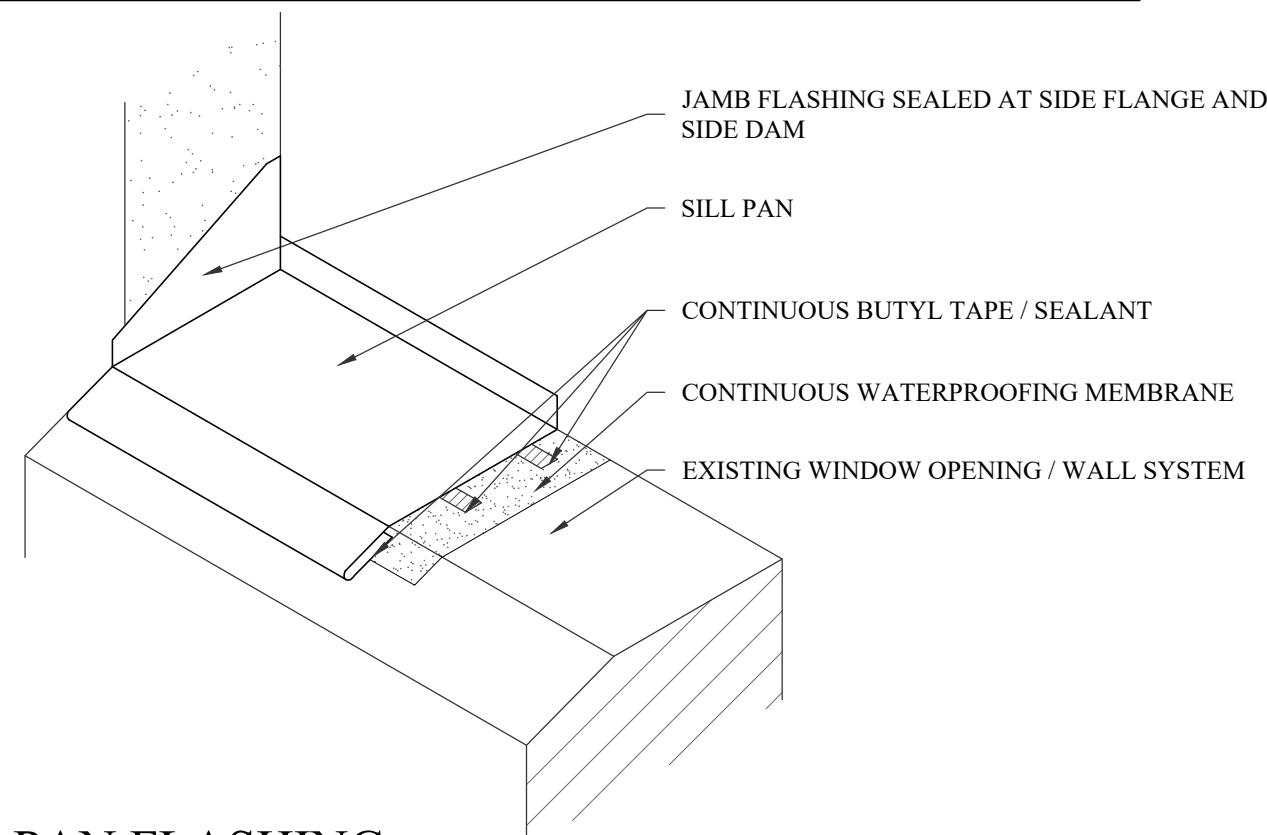
- SEE SILL PAN FLASHING DETAIL FOR SILL PAN AND ROUGH OPENING REQUIREMENTS.
- WINDOW SILL TO BE MIN. .040 PRE-FINISHED ALUMINUM. COLOR TO MATCH WINDOW.
- NEW WINDOW UNITS SHOULD BE LOCATED IN THE SAME GENERAL LOCATION AS THE EXISTING BEING REPLACED.



5 WINDOW IN CMU / STUCCO
D-100 N.T.S.

NOTES:

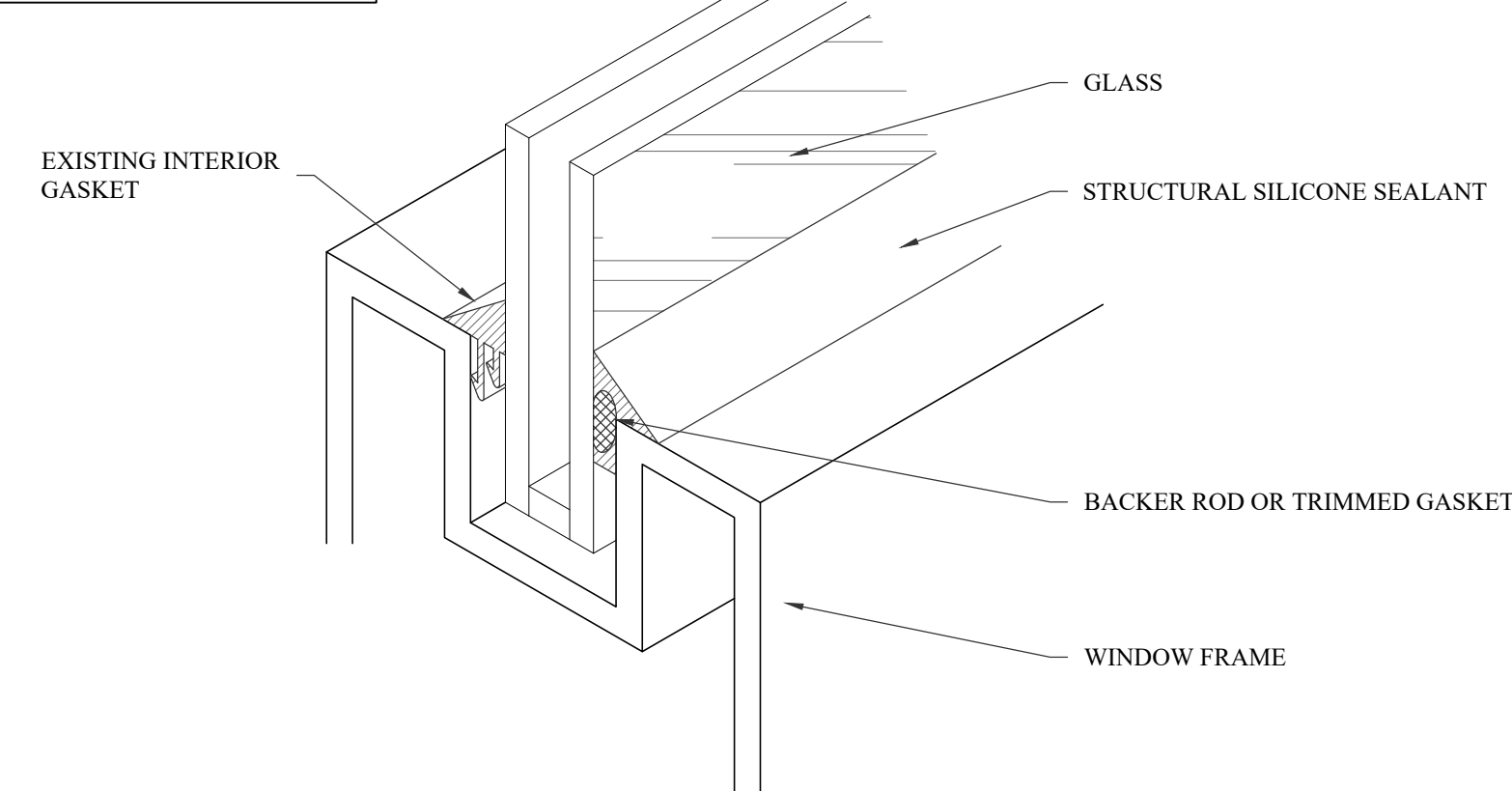
- ALL SILL PAN JOINTS TO BE CONTINUOUSLY SEALED.
- WINDOW SILL TO BE MIN. .040 PRE-FINISHED ALUMINUM. COLOR TO MATCH WINDOW.
- NEW WINDOW UNITS SHOULD BE LOCATED IN THE SAME GENERAL LOCATION AS THE EXISTING BEING REPLACED.



6 SILL PAN FLASHING
D-100 N.T.S.

NOTE:

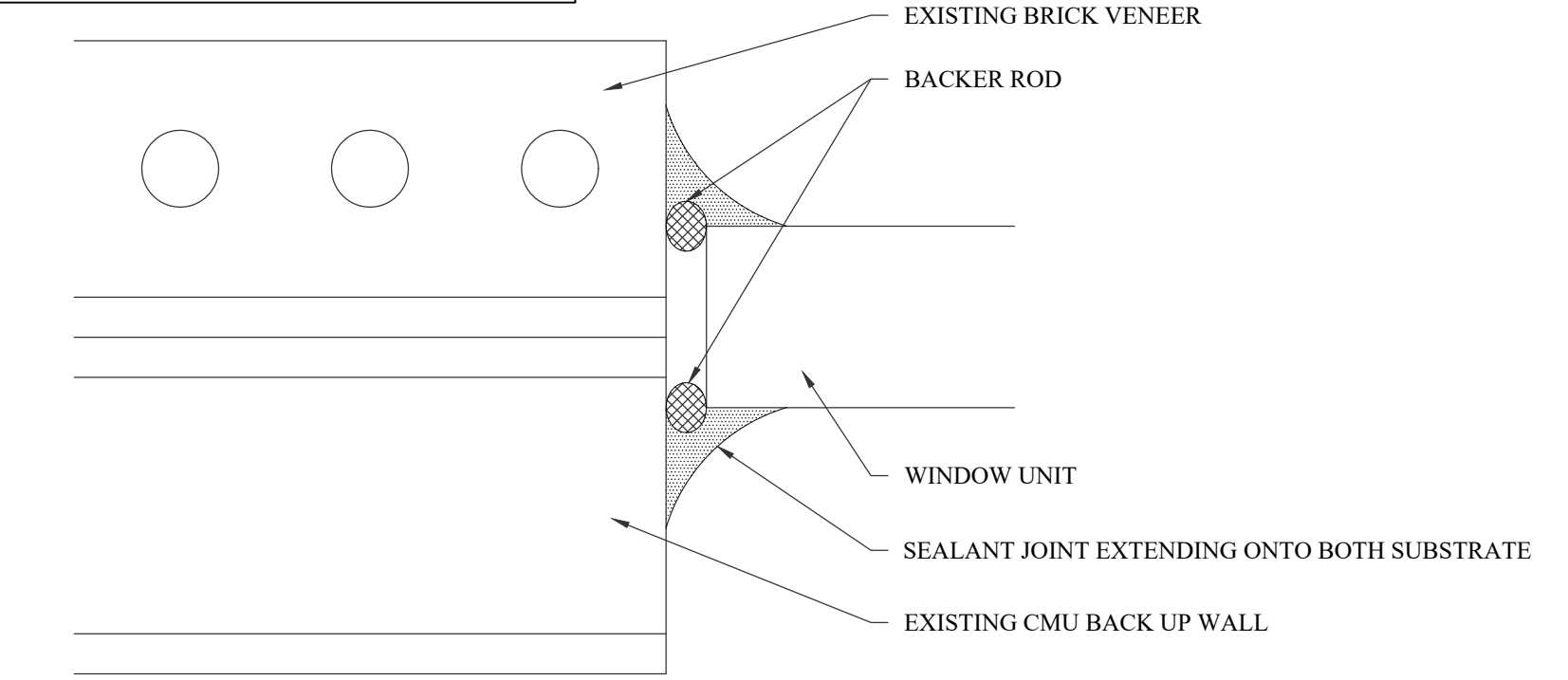
- ALL SILL PAN JOINTS TO BE CONTINUOUSLY SEALED.



7 WET SEALING OF EXISTING WINDOWS
D-100 N.T.S.

NOTE:

- ENSURE SEALANT JOINTS DO NOT OBSTRUCT WINDOW UNIT WEEP SYSTEM AT SILL.



8 FILLET JOINT
D-100 N.T.S.

9 DETAIL NOT IN USE
D-100 N.T.S.

10 DETAIL NOT IN USE
D-100 N.T.S.

11 DETAIL NOT IN USE
D-100 N.T.S.

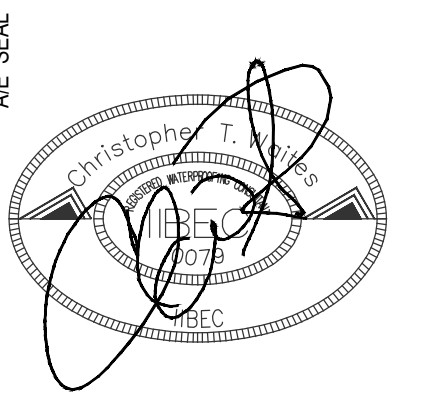
12 DETAIL NOT IN USE
D-100 N.T.S.

13 DETAIL NOT IN USE
D-100 N.T.S.

14 DETAIL NOT IN USE
D-100 N.T.S.

15 DETAIL NOT IN USE
D-100 N.T.S.

16 DETAIL NOT IN USE
D-100 N.T.S.



CORPORATE SEAL

PROJECT TITLE
CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT - ESSER
HORRY COUNTY SCHOOLS
700 GARDNER LACY RD, MYRTLE BEACH, SC 29579

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PHASE
CONSTRUCTION
DOCUMENTS
ISSUE DATE 09.02.22
PROJECT NO. 21.295.02
REVISION: 01/11

TITLE
DETAILS

SHEET NO.

D-100