

KNOXVILLE HOUSING AUTHORITY

ADDITION TO AUSTIN HOMES

LOW RENT HOUSING PROJECT - TENNESSEE - 3-6

KNOXVILLE, TENNESSEE

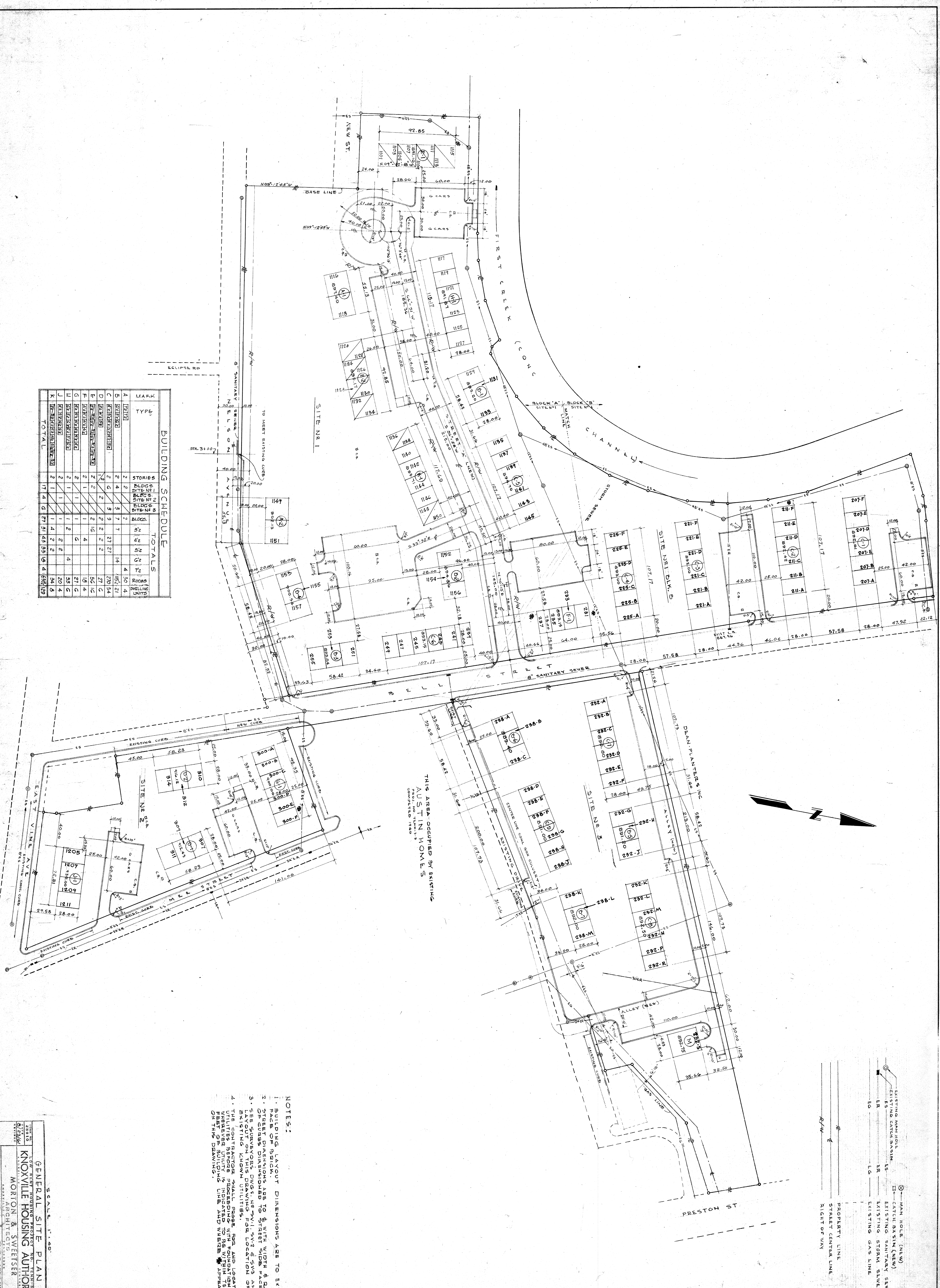
MORTON AND SWEETSER, ARCHITECTS

A. F. G. BEDINGER
MECHANICAL ENGINEER

FRED S. VREELAND
ELECTRICAL ENGINEER

INDEX OF DRAWINGS

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BUILDING SCHEDULE		TOTALS	
MARK	TYPE	STORIES	BLDG. AREA
A	TRIPLEX	2	30.4
B	TRIPLEX	2	30.4
C	TRIPLEX	2	30.4
D	TRIPLEX	2	30.4
E	TRIPLEX	2	30.4
F	TRIPLEX	2	30.4
G	TRIPLEX	2	30.4
H	TRIPLEX	2	30.4
I	TRIPLEX	2	30.4
J	TRIPLEX	2	30.4
K	TRIPLEX	2	30.4
TOTAL		21	304.0

NOTES:

1. BUILDING LAYOUT DIMENSIONS ARE TO EXTERIOR FACE OF BRICK.
2. STREET DIMENSIONS ARE TO & WITH WIDTH & RADII OF CURB.
3. SEE SURVEYOR'S DWS. NO. 5711, 5712 & 5713 AND LAYOUT KNOWLEDGE FOR LOCATION OF UTILITIES.
4. THE CONTRACTOR SHALL PROBE FOR AND LOCATE WORK WHEREVER STUDY IS INDICATED TO BE WITHIN FIELD OF THIS DRAWING.

SCALE: 1" = 40'

GENERAL SITE PLAN

KNOWVILLE HOUSING AUTHORITY

MORTON & SWEETSER ARCHITECTS

A. F. B. BEHNIGER, F.A.S.T.

AND B. VEELAND

S.1

MAN HOLE (NEW)

CATCH BASIN (NEW)

EXISTING SANITARY SEWER

EXISTING STORM SEWER

EXISTING GAS LINE

PROPERTY LINE

STREET CENTER LINE

RIGHT OF WAY

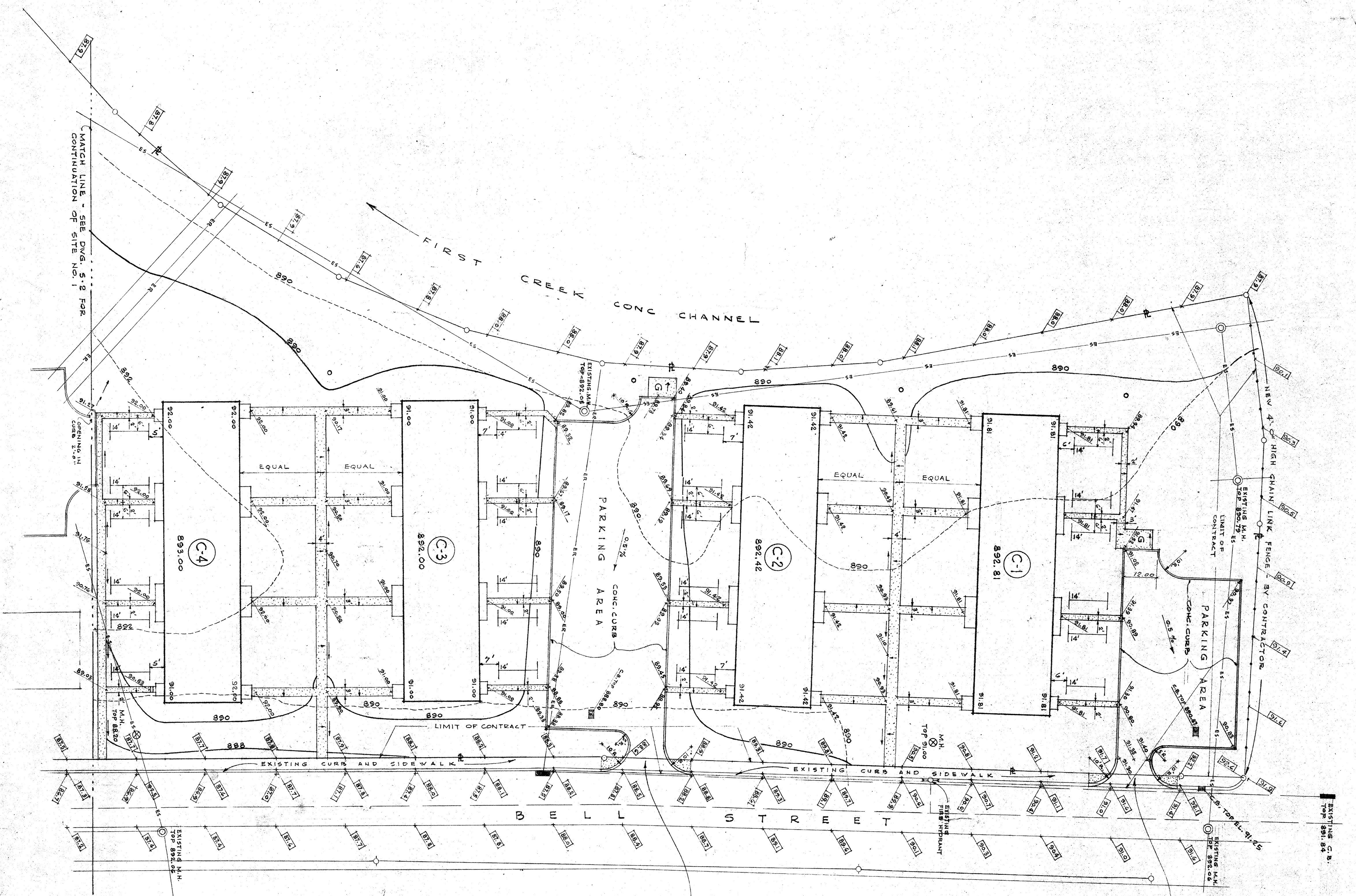
- SYMBOLS FOR SITE PLANS**
- EXISTING GRADES
 - - - NEW FINISH GRADES TO REMAIN
 - - - EXISTING SAUTARY SEWER
 - - - EXISTING STORM SEWER
 - - - EXISTING GAS LINE
 - - - EXISTING WATER
 - - - EXISTING POWER LINE
 - - - STREET LIGHT LINE
 - - - STREET CUTTER LINE
 - - - RIGHT OF WAY
 - - - RAMPAGE COLLECTION
 - CEMENT
 - CONCRETE
 - ASPHALT
 - GRAVEL
 - SAND
 - FILL
 - EXCAVATION
 - DRAINAGE
 - EROSION CONTROL
 - TREES TO REMAIN
 - TREES TO BE REMOVED
 - FINISH GRADE ELEV. ON EXTERIOR
 - BUDG. MARK, INCL. TYPE AND NO.
 - OUTLINE OF EXTERIOR FACE OF BUILDING
 - EXISTING VAN HOLE
 - NEW VAN HOLE
 - EXISTING CATCH BASIN
 - NEW CATCH BASIN
 - FINISH SPOT GRADE
 - EXISTING SPOT GRADE
 - CLOTHES LINE POLES
 - SPACING OF POLES
 - SILENT (SURFACE DRAIN)
 - NEW POWER POLE



LIMITS OF CONTRACT WORK FOR SITE IMPROVEMENTS FOR SITE N91 BLOCK 7A

SHALL EXTEND BEYOND ON STREET SIDE TO INCLUDE SIDEWALK AND INSTALLATION NEW CURBS WITH CUTTERS, WHERE WORK CHANGES ON THE DRAWING.

STREET ENTRANCE CONTRACTOR, DESIGN EXISTING CONCRETE SIDEWALK AND CURB. INSTALL NEW PAVED SURFACE WITH CONCRETE CURB TO JOIN EXISTING CURB. INSTALL NEW SIDEWALK TO JOIN EXISTING WALK.

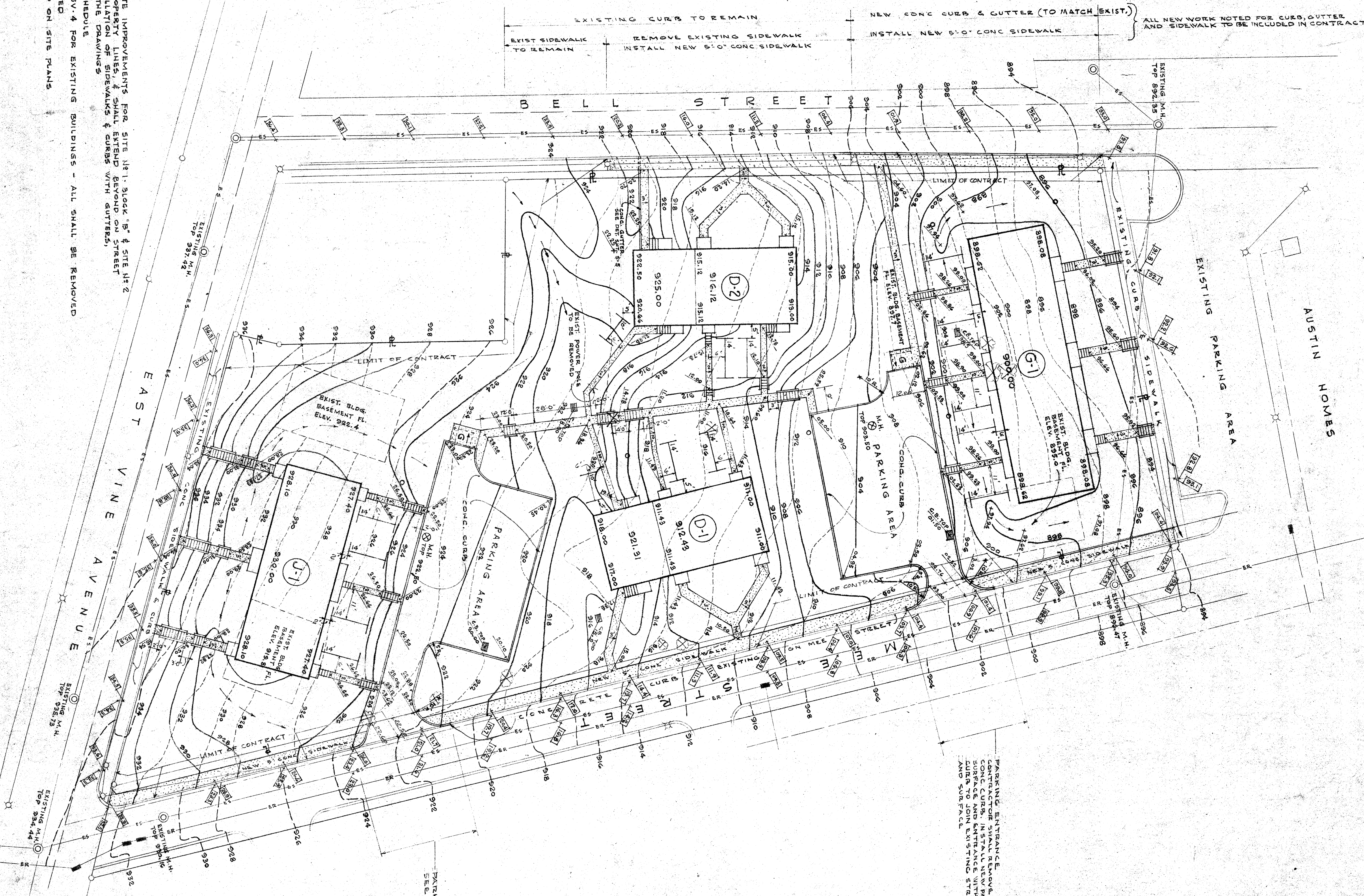


SITE No 1 - BLOCK "B"
SCALE: 1" = 20'

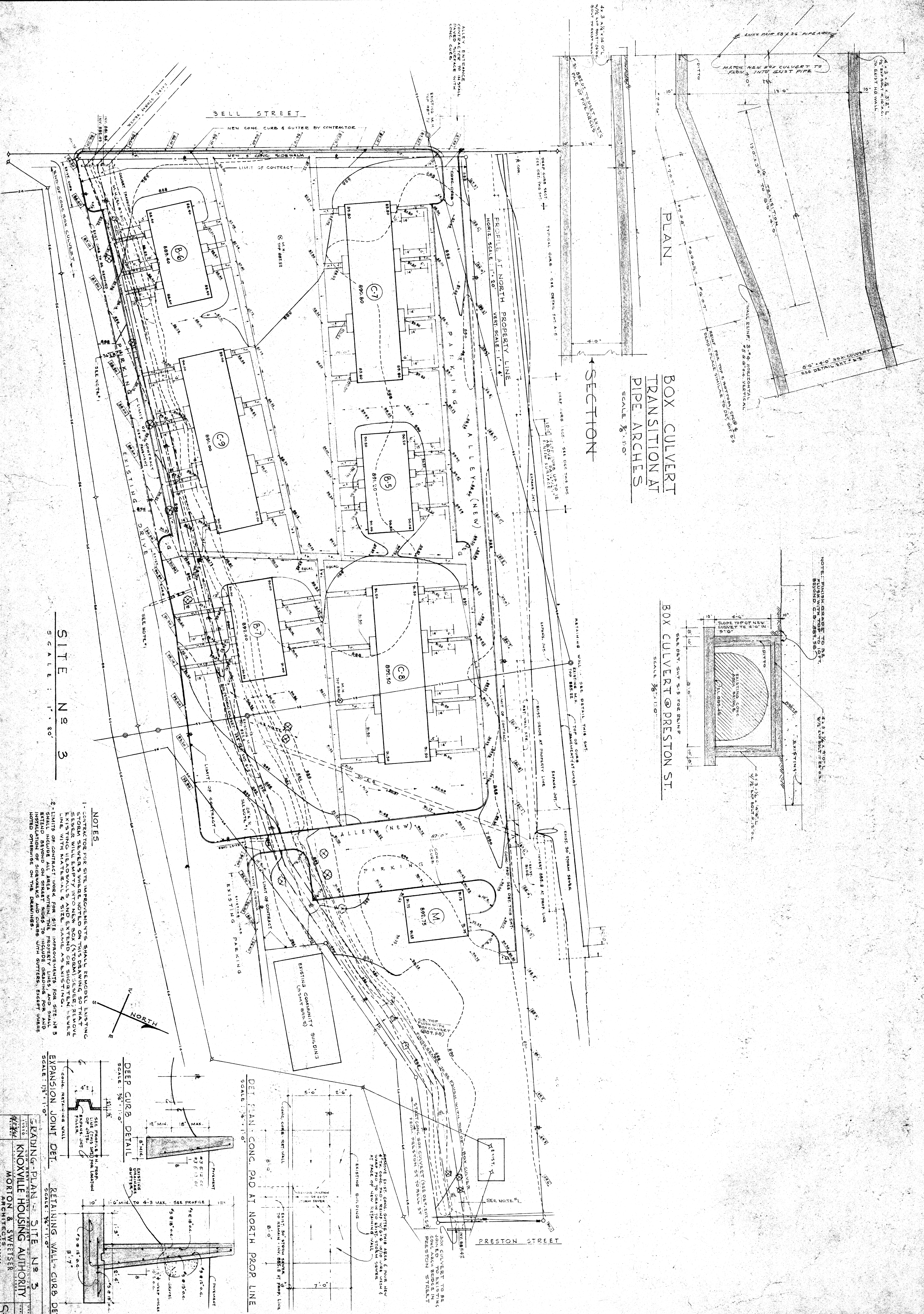
- GEN. NOTES**
1. LIMITS OF CONTRACT WORK FOR SITE IMPROVEMENTS FOR SITE 1st 1-1, 1st 2-2, 1st 3-3 & SITE 1st 4-4 SHALL INCLUDE ALL AREA WITHIN THE PROPERTY LINES & SHALL EXTEND BEYOND ON STREET EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS.
 2. SEE DRAWING 5-1 FOR BUILDING SCHEDULE.
 3. SEE PROPERTY LINE MAP - DRAWING 5V-4 FOR EXISTING BUILDINGS - ALL SHALL BE REMOVED.
 4. ALL EXISTING TREES SHALL BE REMOVED.
 5. SEE DRAWING 6-2 FOR SYMBOLS USED ON SITE PLANS.

PARKING ENTRANCES: CONTRACTOR SHALL REMOVE EXIST. CONC. CURB & SIDEWALK TO JOIN EXISTING STREET WITH CONC. CURB TO JOIN CONC. SIDEWALK AS SHOWN TO JOIN EXIST. CONC. WALK.

ALL NEW WORK NOTED FOR CURB, GUTTER AND SIDEWALK TO BE INCLUDED IN CONTRACT.



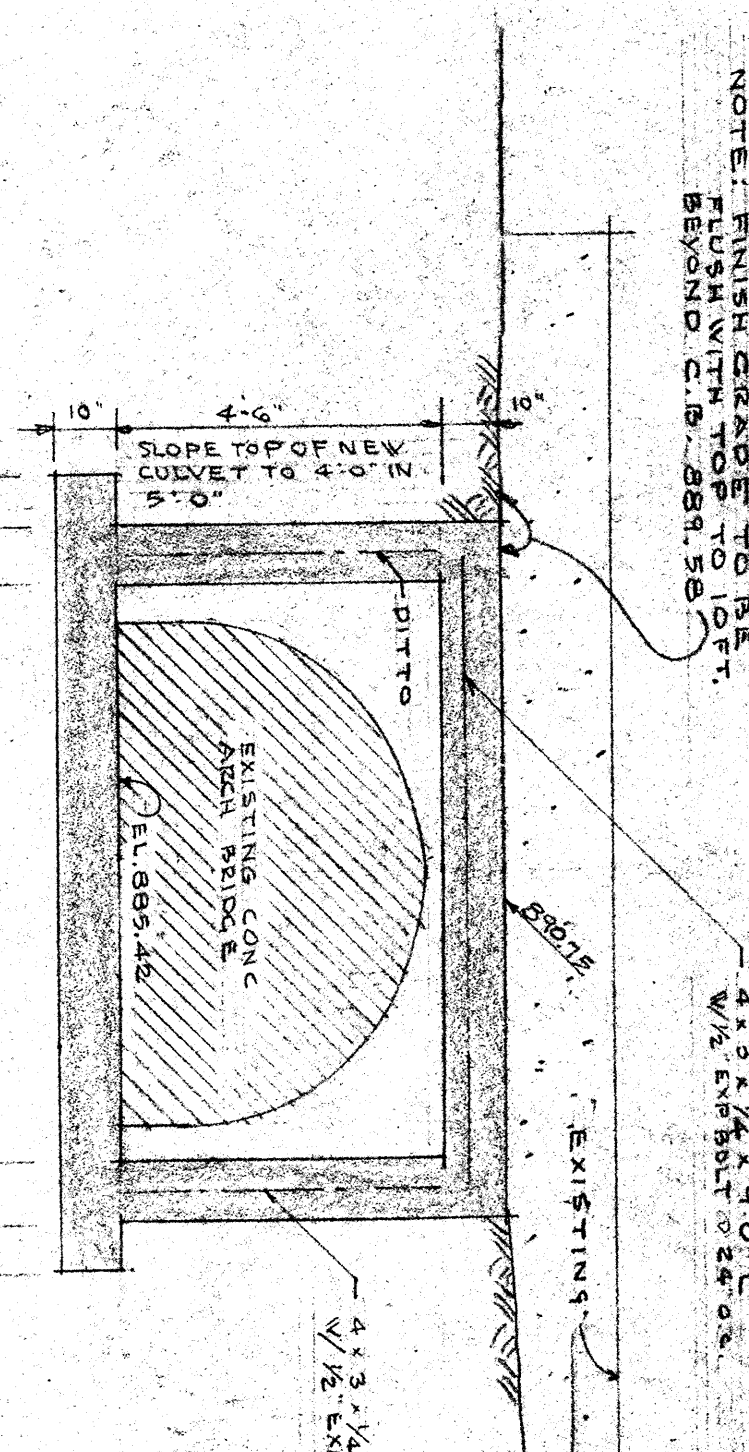
SITE No 2
SCALE: 1" = 20'



BOX CULVERT TRANSITION AT PIPE ARCHES
SCALE 3/8" = 1'-0"

SECTION

BOX CULVERT @ PRESTON ST.
SCALE 3/8" = 1'-0"

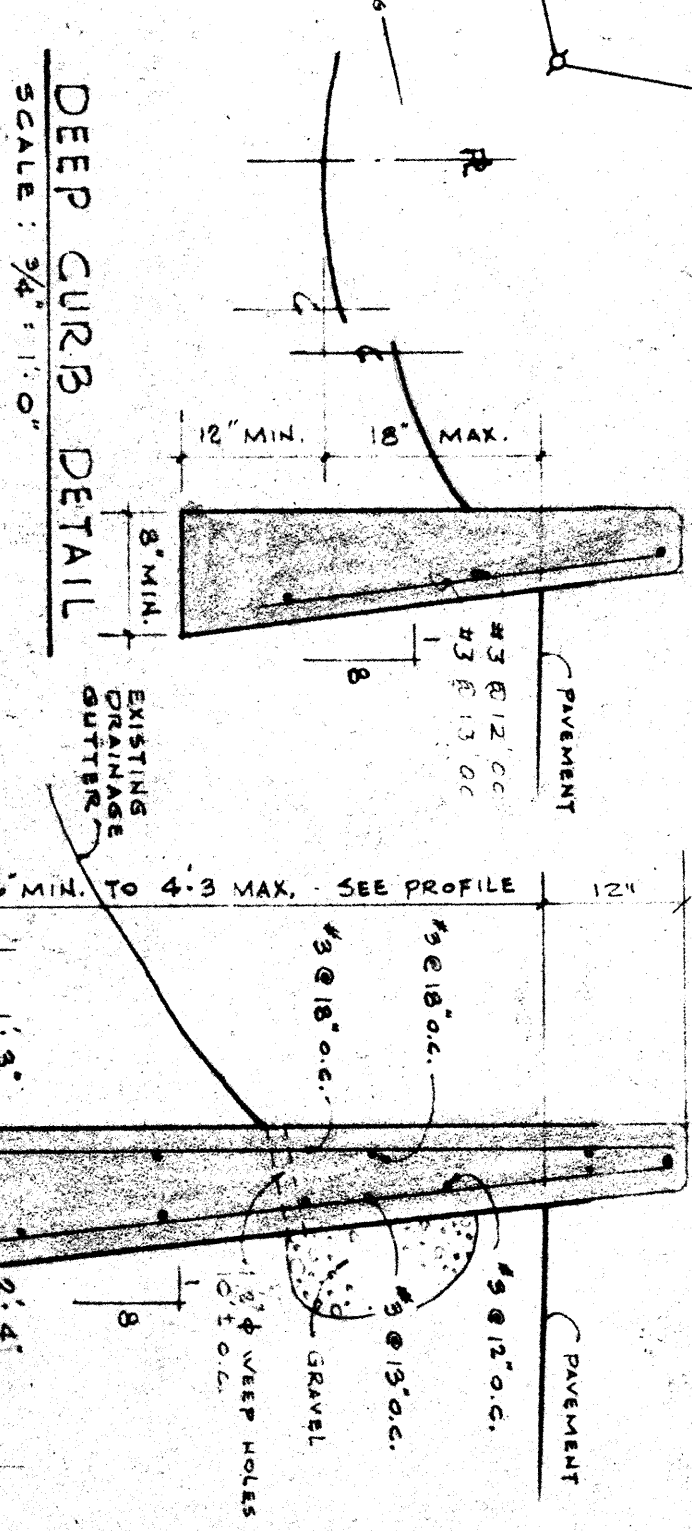
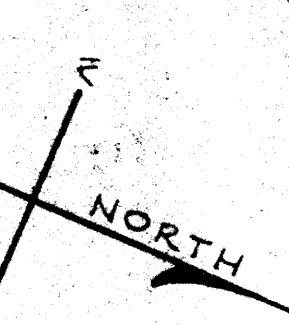


NOTE: FINISH GRADE TO BE MAINTAINED TO 10' TO 15' BEYOND CURB, SEE DETAIL S-4

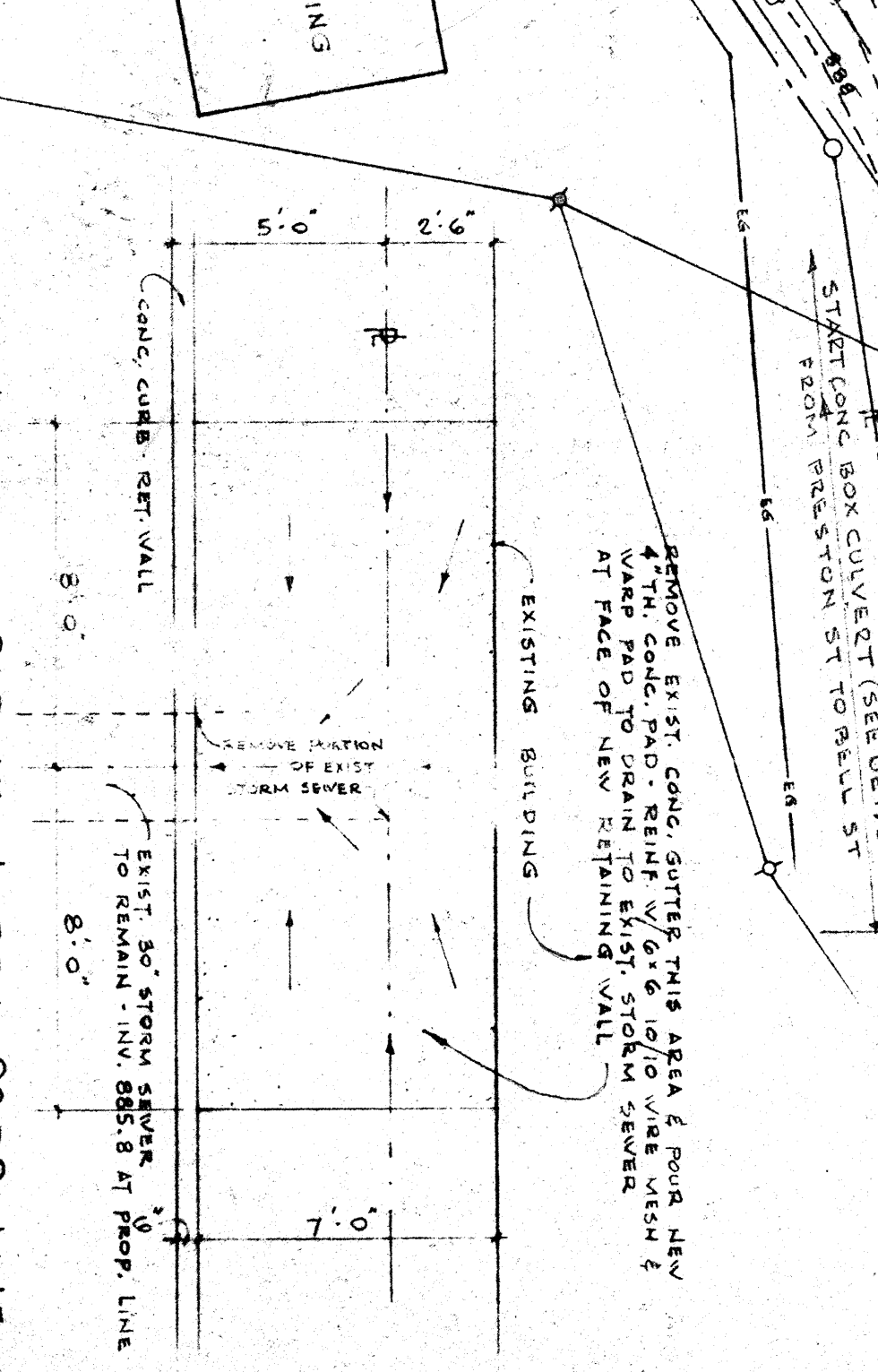
SITE No 3
SCALE: 1" = 20'

NOTES

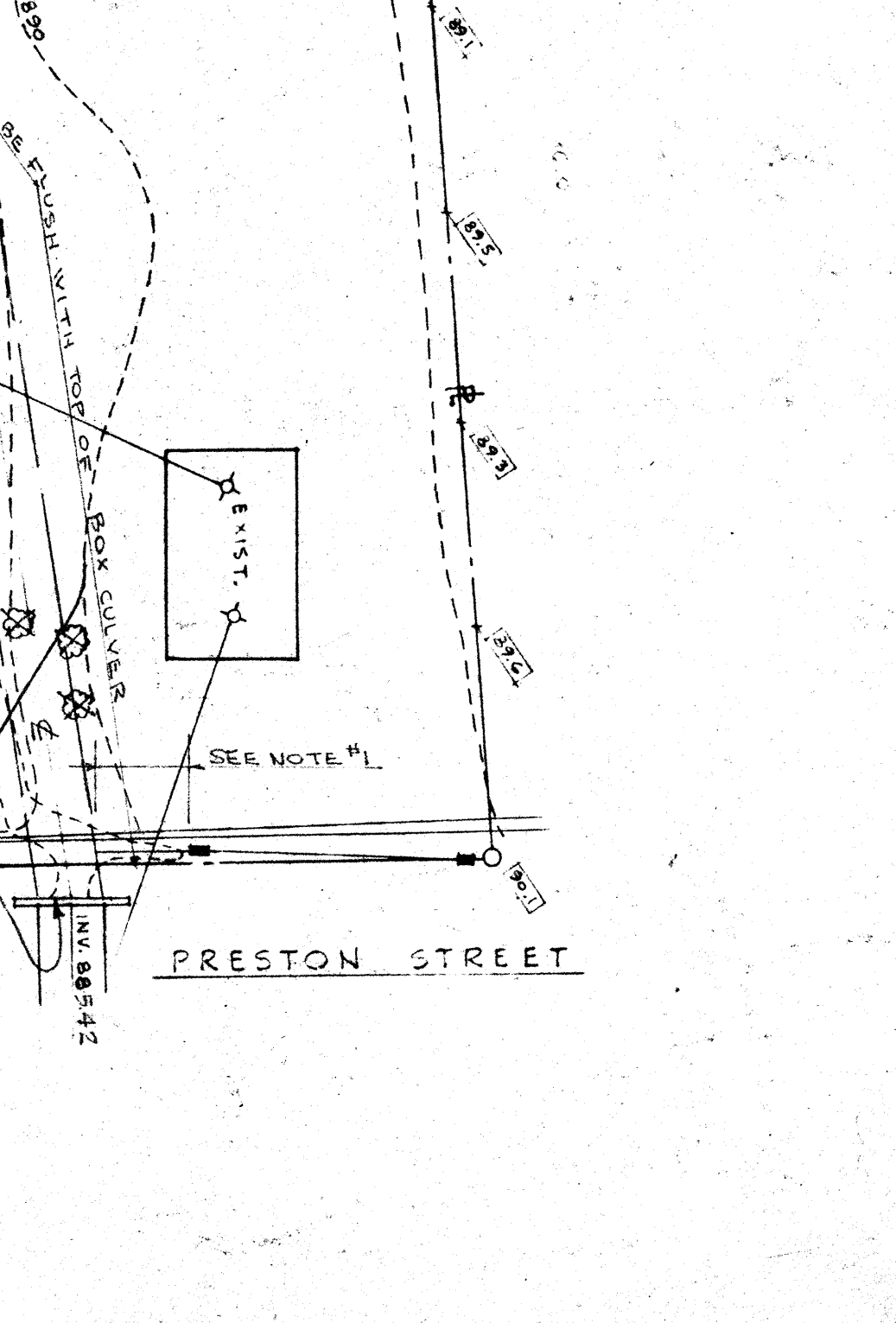
- 1- CONTRACTOR FOR SITE IMPROVEMENTS SHALL REMODEL EXISTING STORM SEWER & WHERE NOTED ON THIS DRAWING, SO THAT SEWER LINES, DOWNS AND EXTEND OR SHORTEN SEWER LINES WITH MATERIAL & SIZE SAME AS EXISTING.
- 2- LIMITS OF CONTRACT WORK FOR SITE IMPROVEMENTS FOR SITE No 3 SHALL INCLUDE ALL AREA WITHIN THE PROPERTY LINES AND SHALL BE BOUND BY THE PROPERTY LINES AND SHALL BE BOUND BY THE PROPERTY LINES AND SHALL BE BOUND BY THE PROPERTY LINES AND SHALL BE BOUND BY THE PROPERTY LINES.



DEEP CURB DETAIL
SCALE: 3/4" = 1'-0"

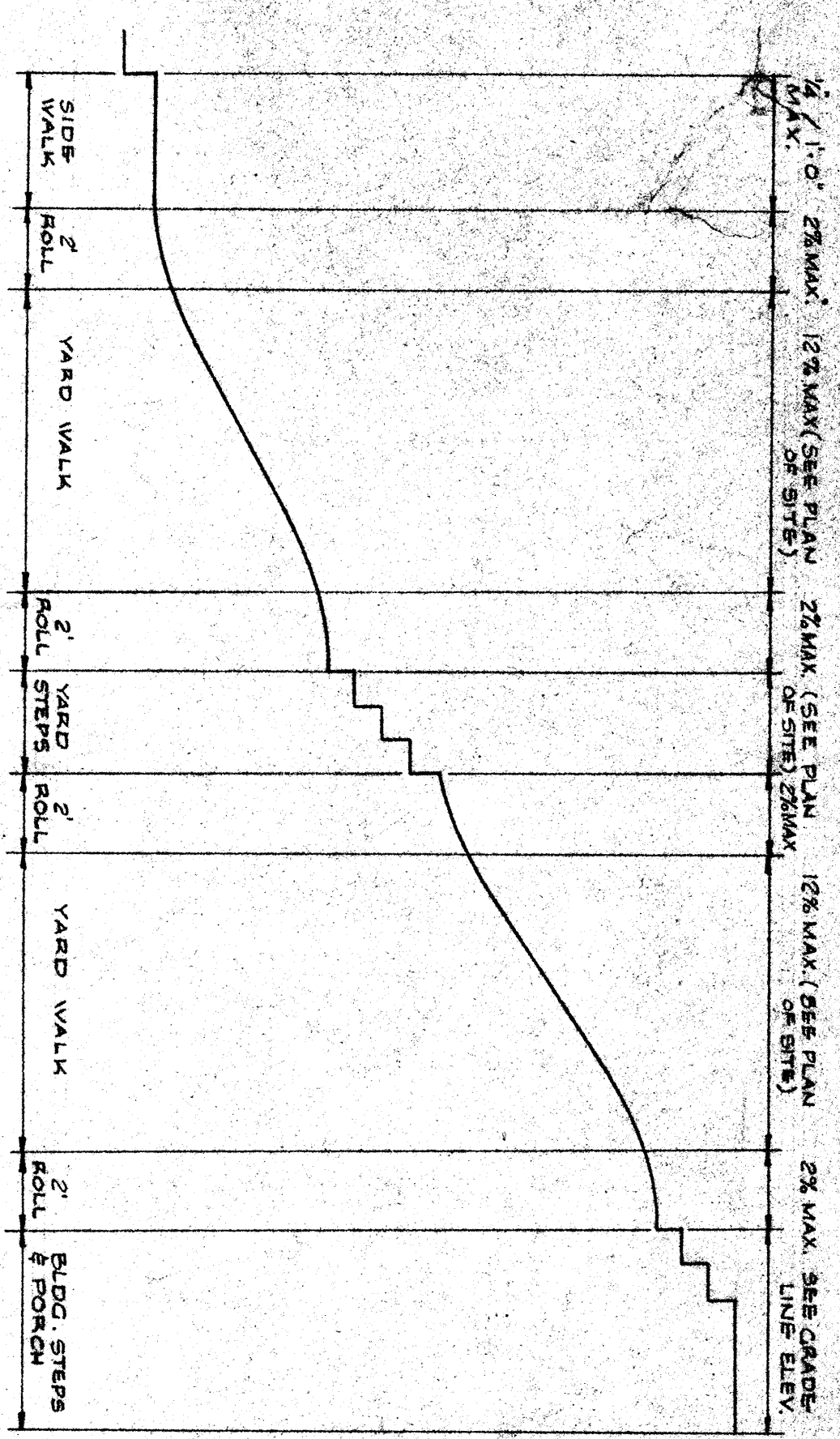


RETAINING WALL - CURB DET.
SCALE: 3/4" = 1'-0"

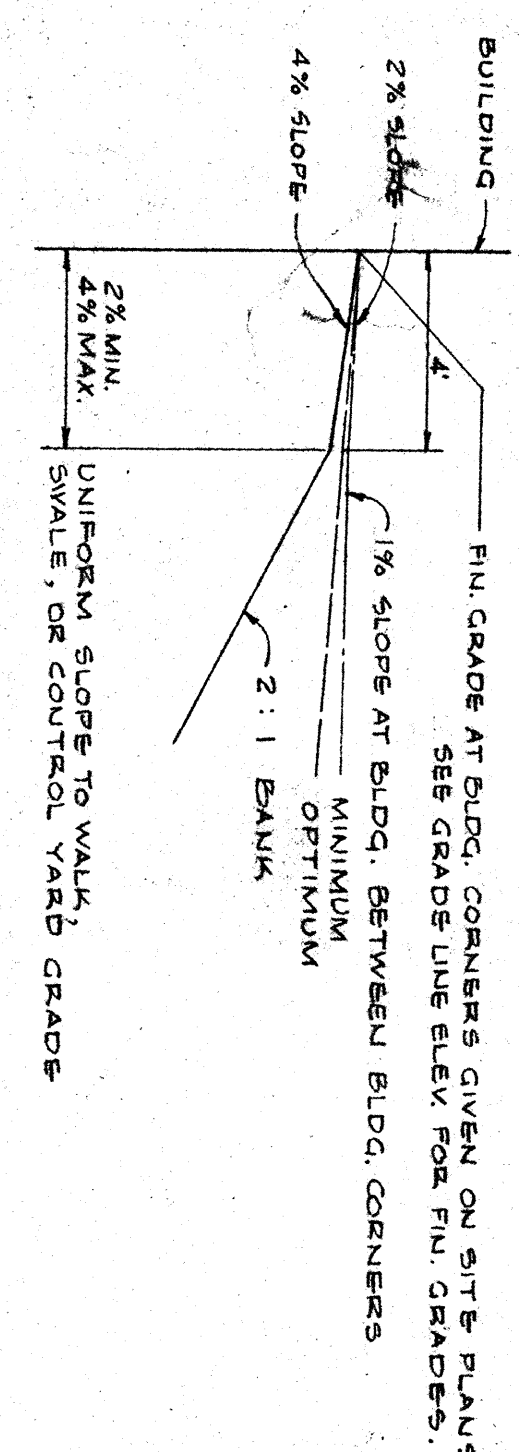


DETAIL PLAN CONG. PAD AT NORTH PROP. LINE
SCALE: 3/4" = 1'-0"

SEALING PLAN	SITE No 3
KNOWVILLE HOUSING AUTHORITY	
MORTON & SWEETSER ARCHITECTS, INC.	
A. F. S. BEIDINGER	
FRED S. YERZANO	



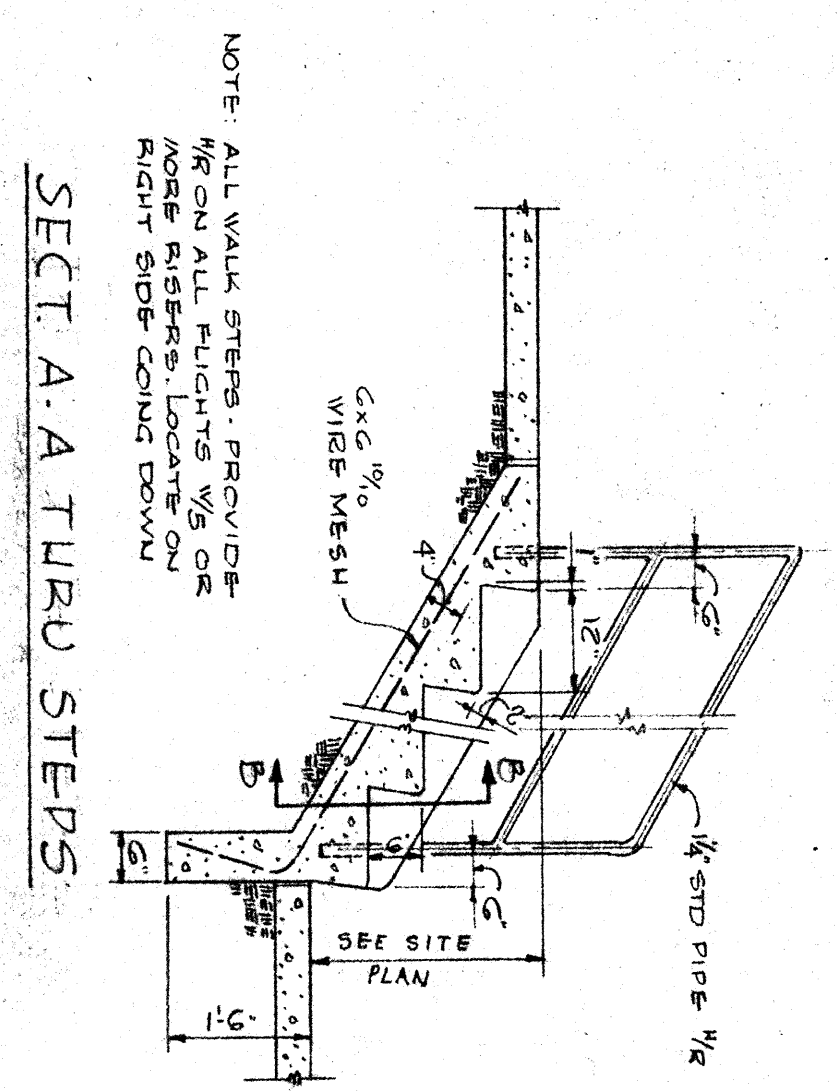
TYPICAL ENTRANCE WALK
(NOT TO SCALE)



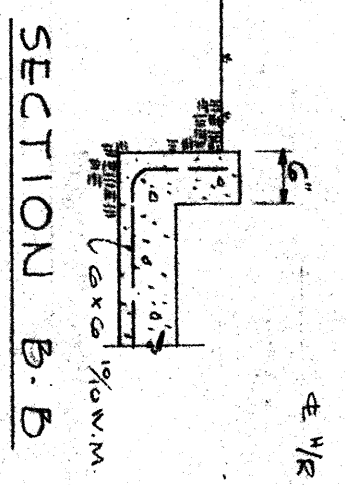
FIN GRADE AT BLDG
(NOT TO SCALE)

DESIGN: 1. ALL CROSS SLOPES TO BE 2% TO 1.0% UNLESS OTHERWISE NOTED. 2. ALL WALKS TO SLOPE AWAY FROM BUILDING. 3. FINISH GRADE OF MAIN WALK (WALK APPROACH WALKS JOINING STREET CURBS & WALK ENTRANCE WALKS JOINING APPROACH WALKS)

SIDEWALK DETAIL & NOTES

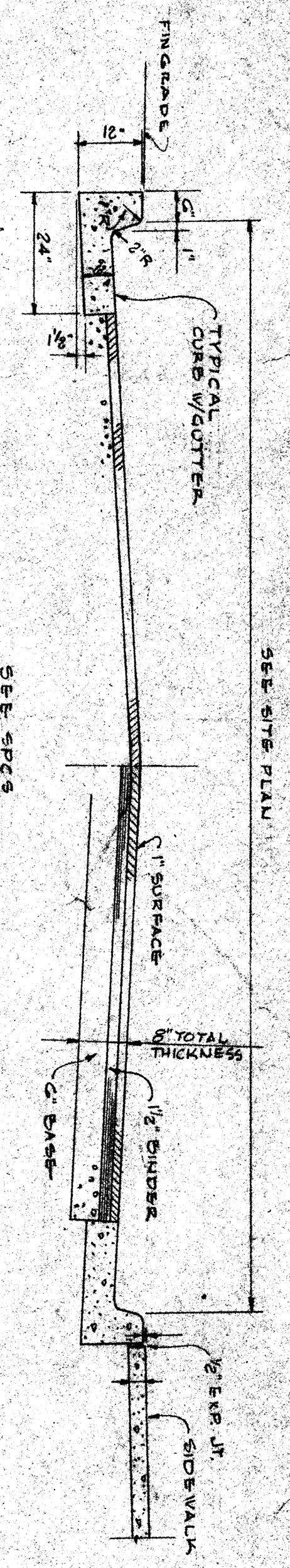


SECT. A-A TURBU STEPS

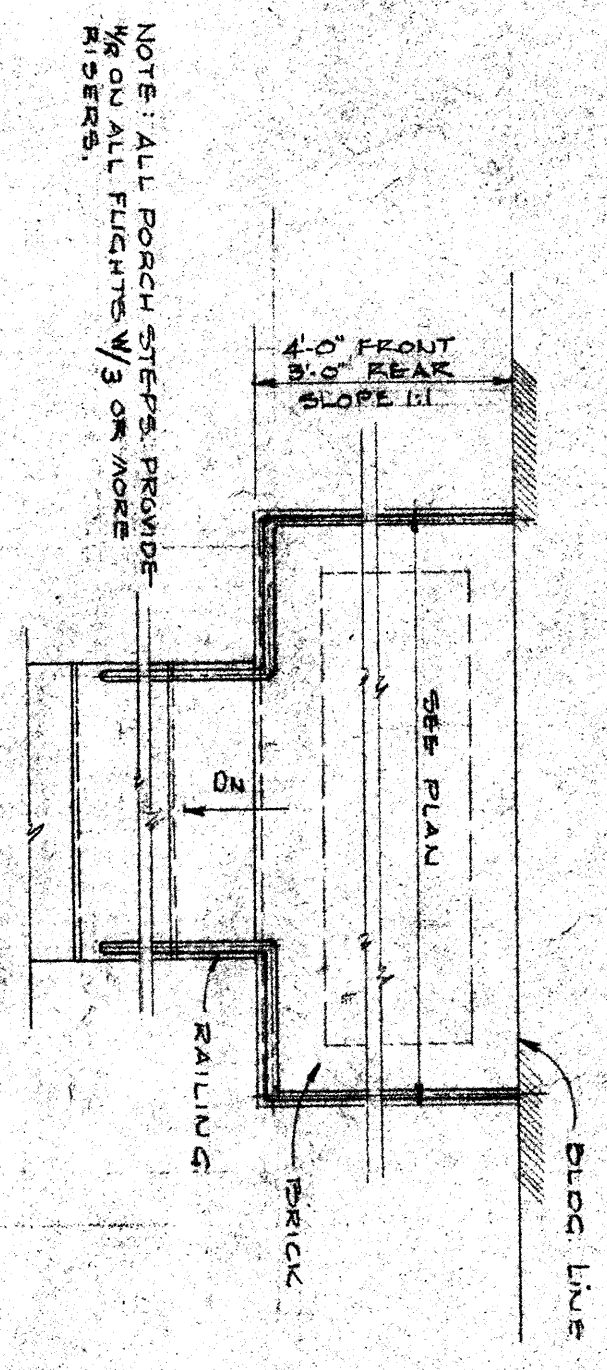


SECTION B-B

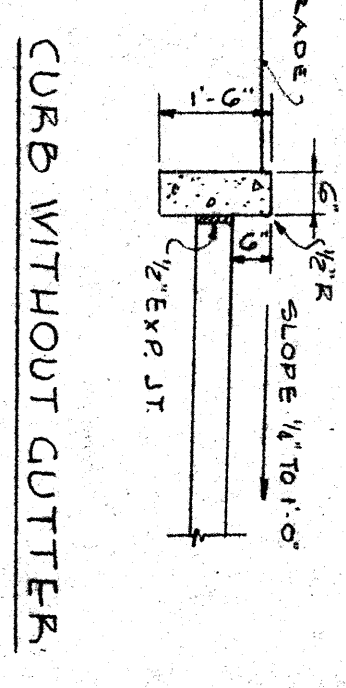
TYPICAL YARD STEPS DETAIL
SCALE 2"=1'-0"



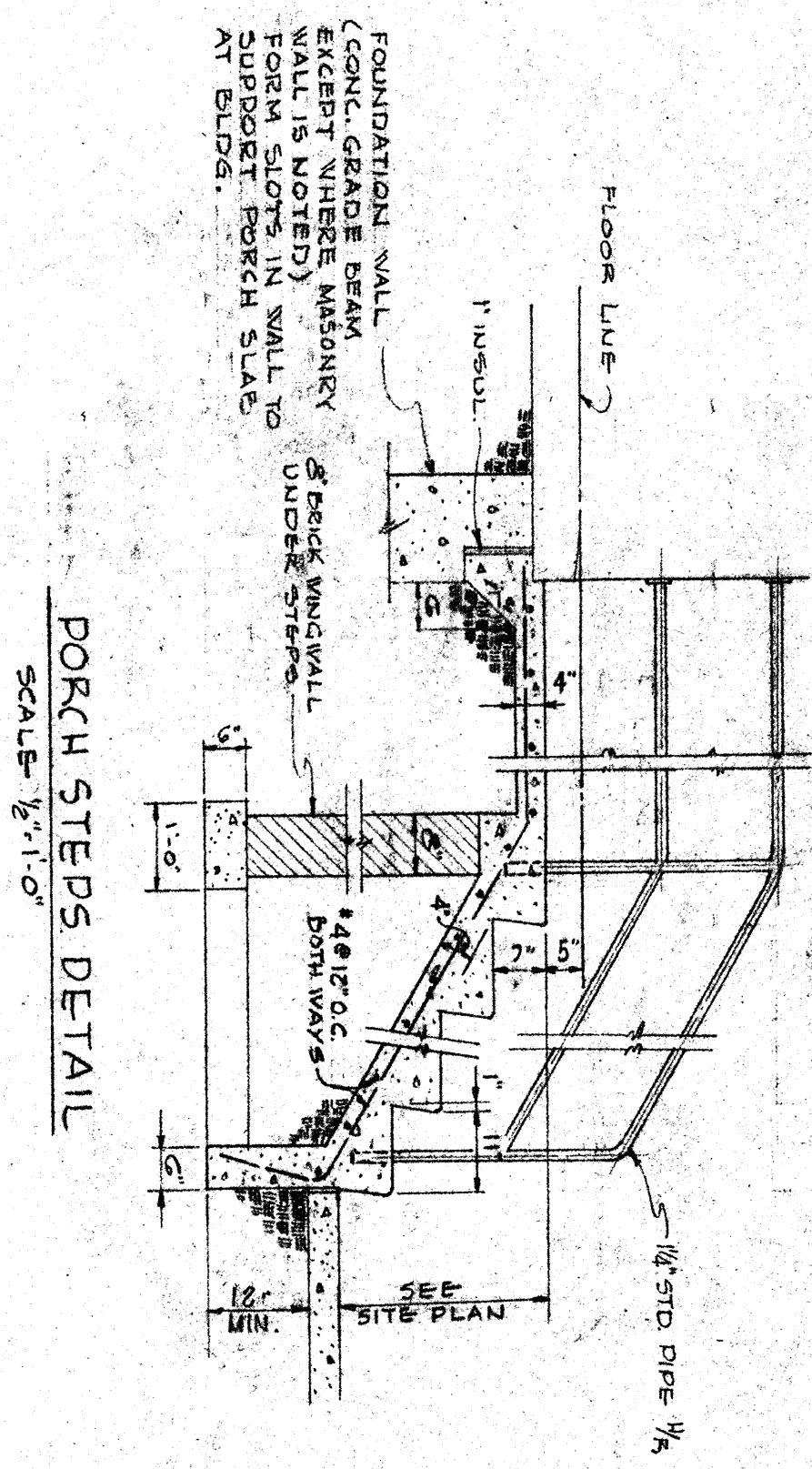
TYPICAL ROADWAY SECTION
SCALE 2"=1'-0"



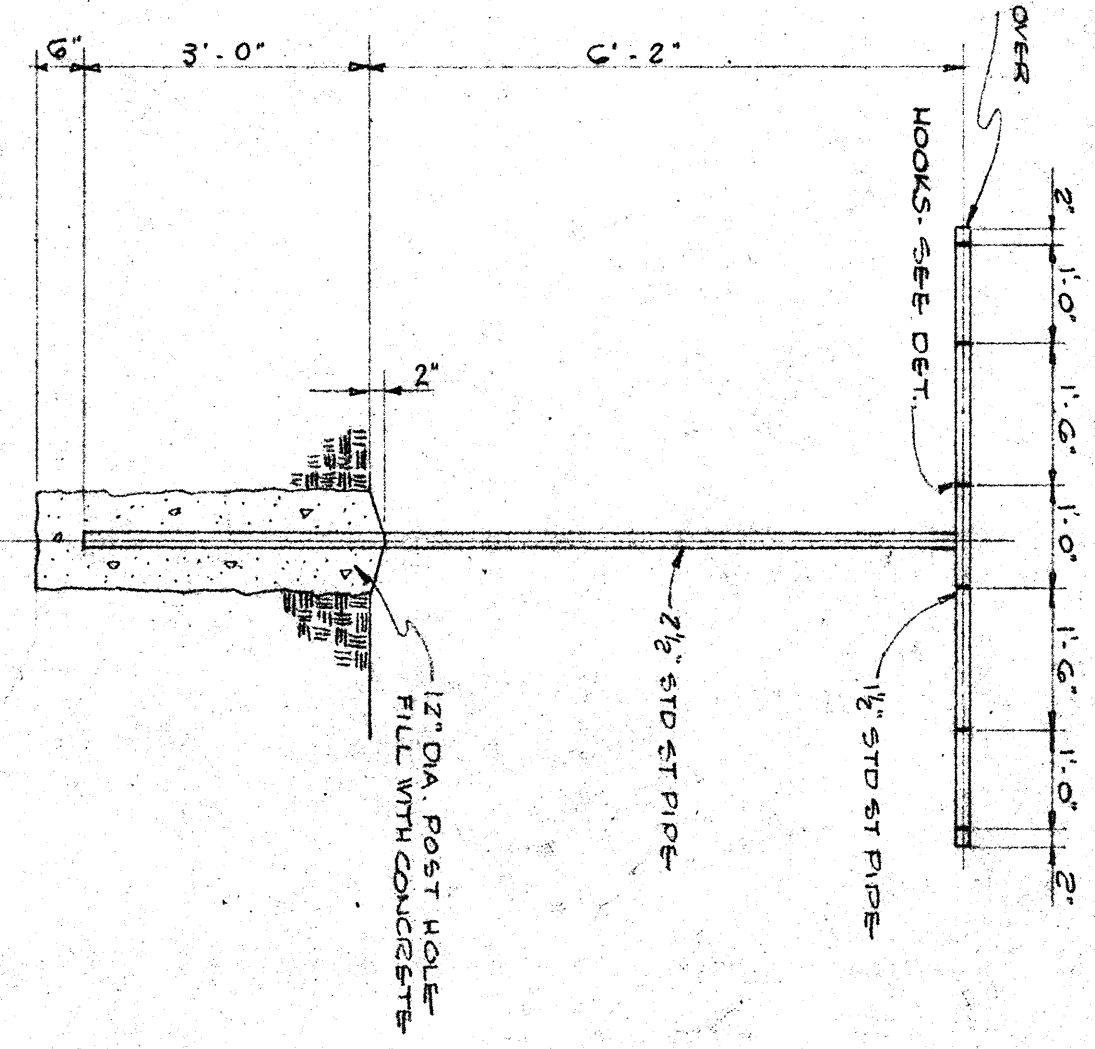
PLAN



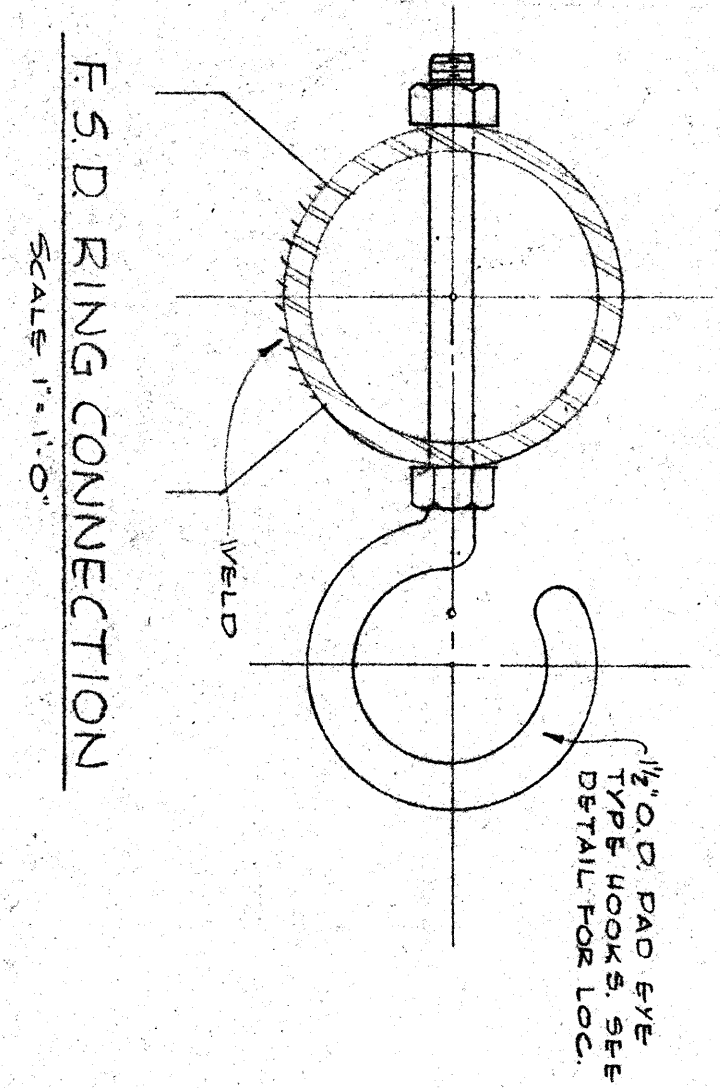
CURB WITHOUT GUTTER



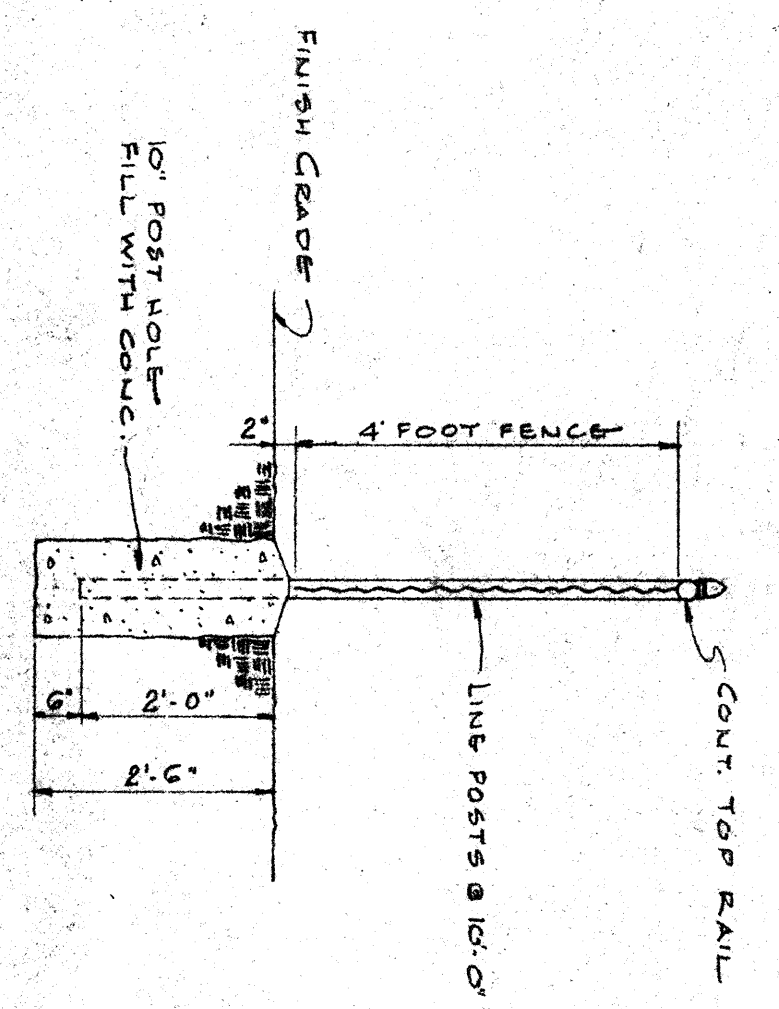
PORCH STEPS DETAIL
SCALE 2"=1'-0"



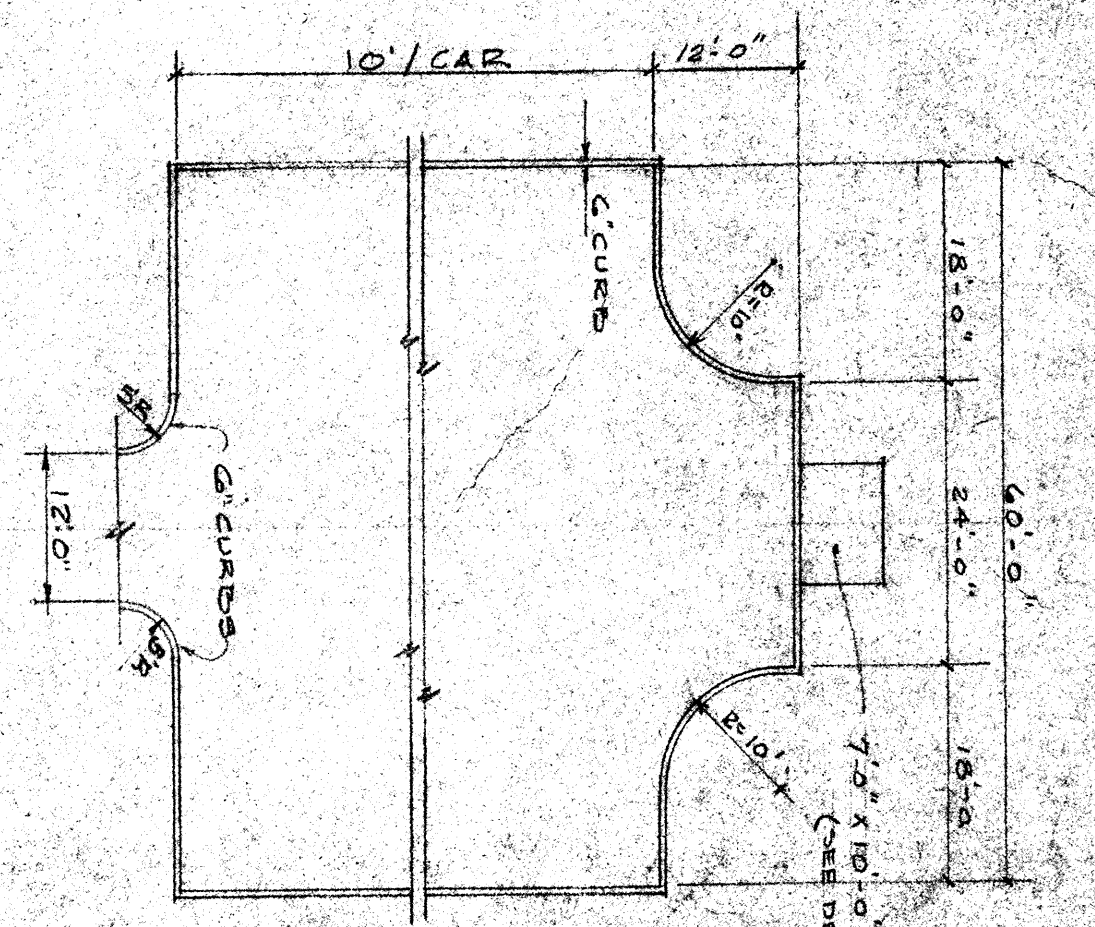
CLOTHES LINE POST DETAIL
SCALE 2"=1'-0"



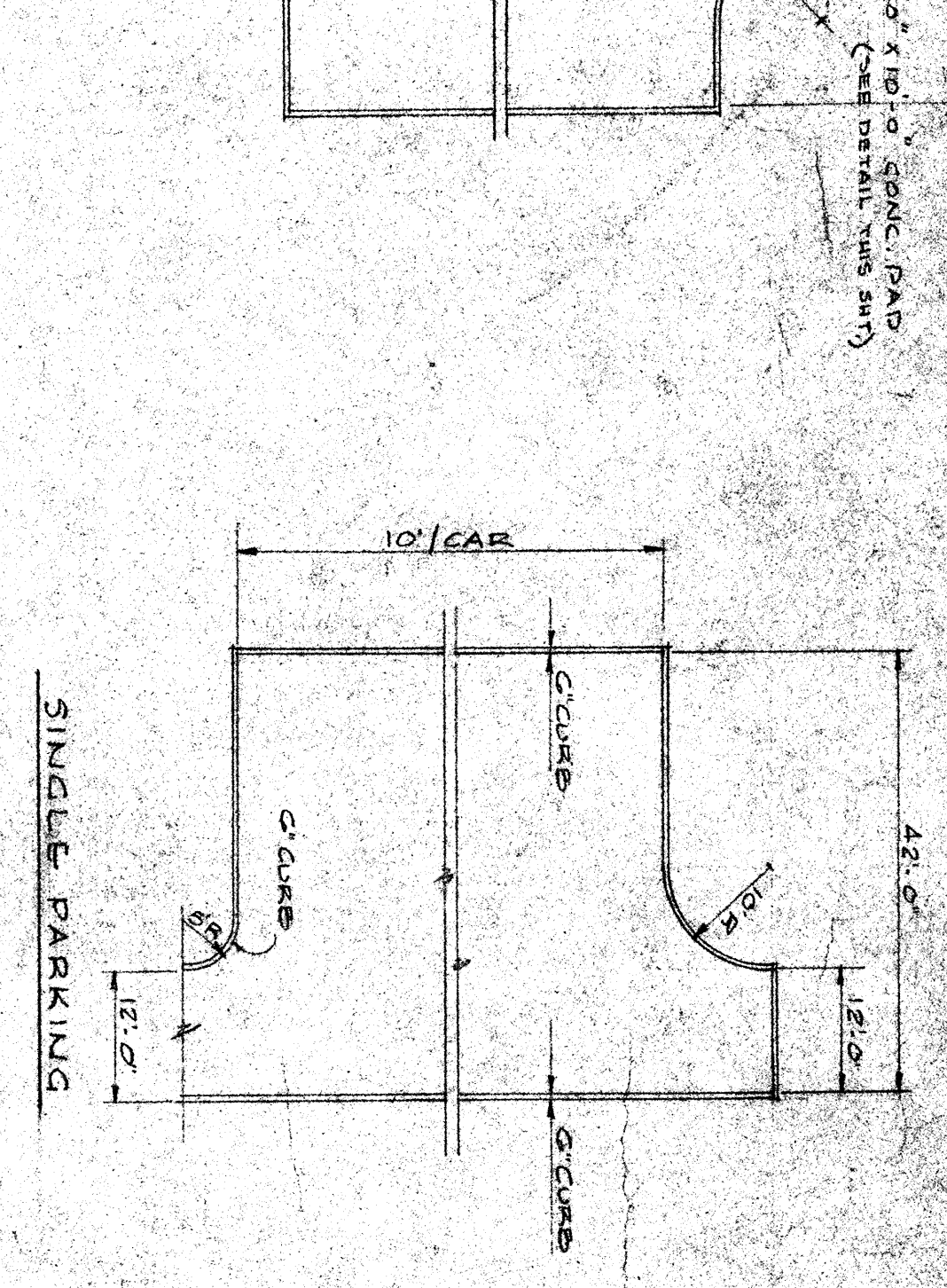
F.S.D. RING CONNECTION
SCALE 1"=1'-0"



FENCE DETAIL
SCALE 2"=1'-0"

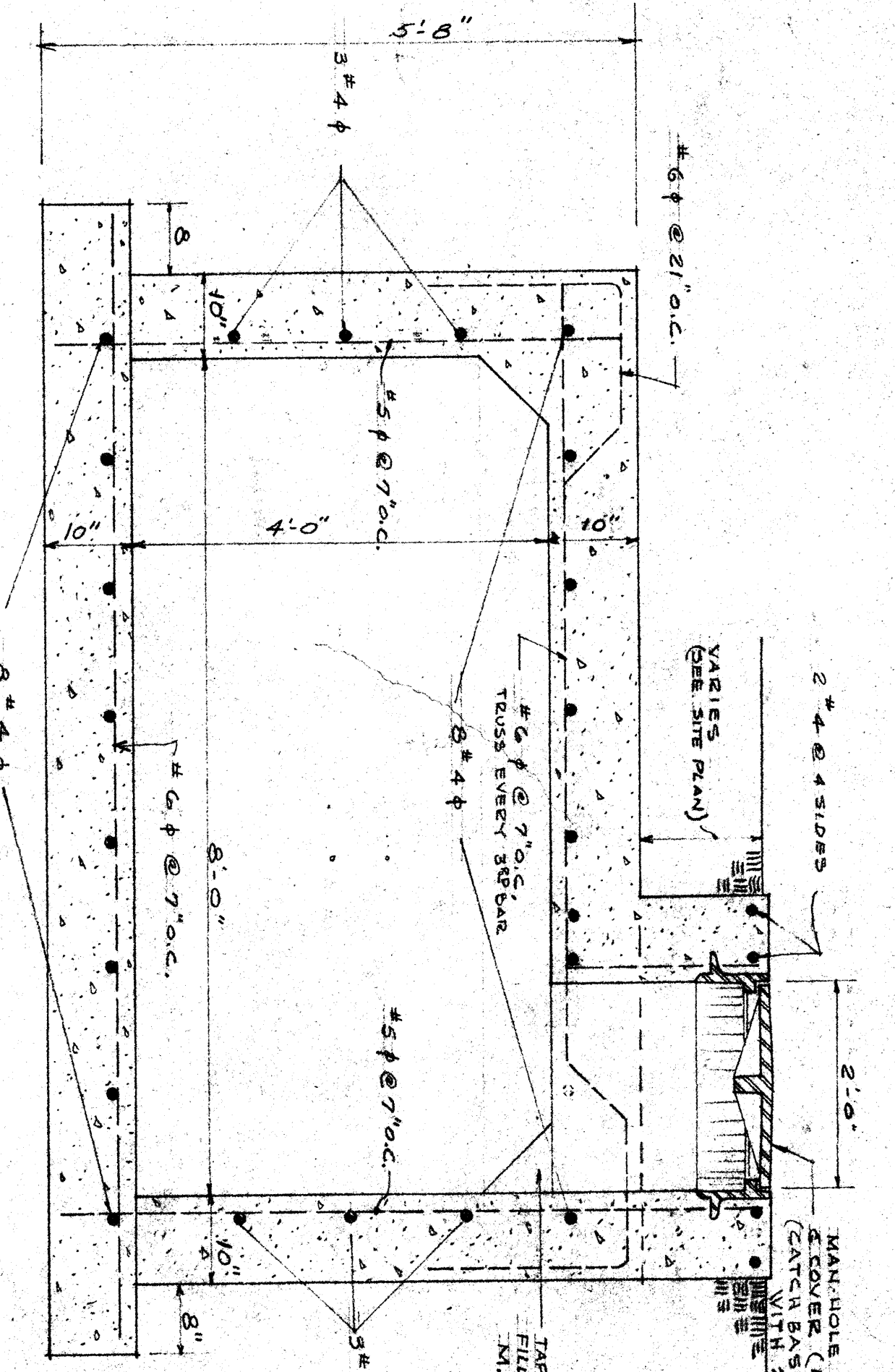


DOUBLE PARKING

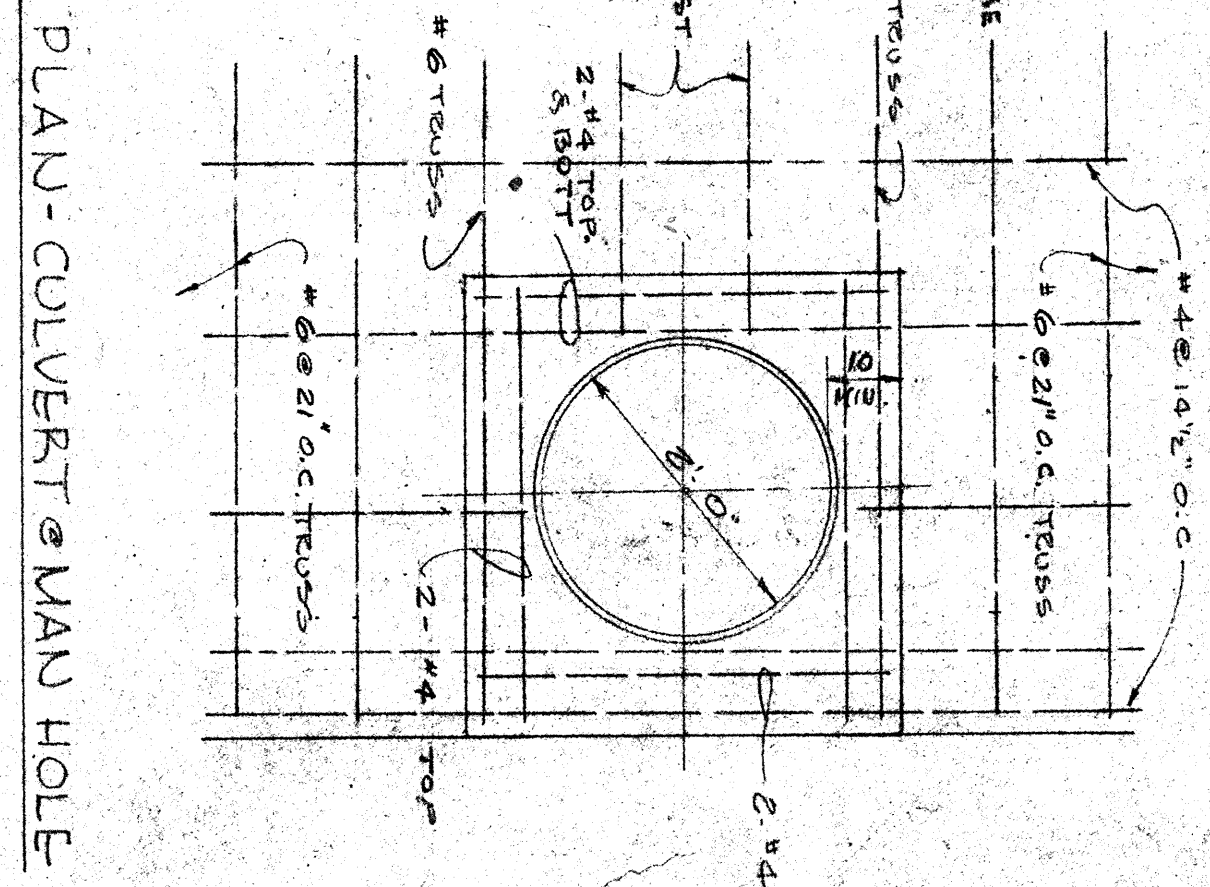


SINGLE PARKING

PLAN-TYPICAL PARKING
SCALE 1/2"=1'-0"

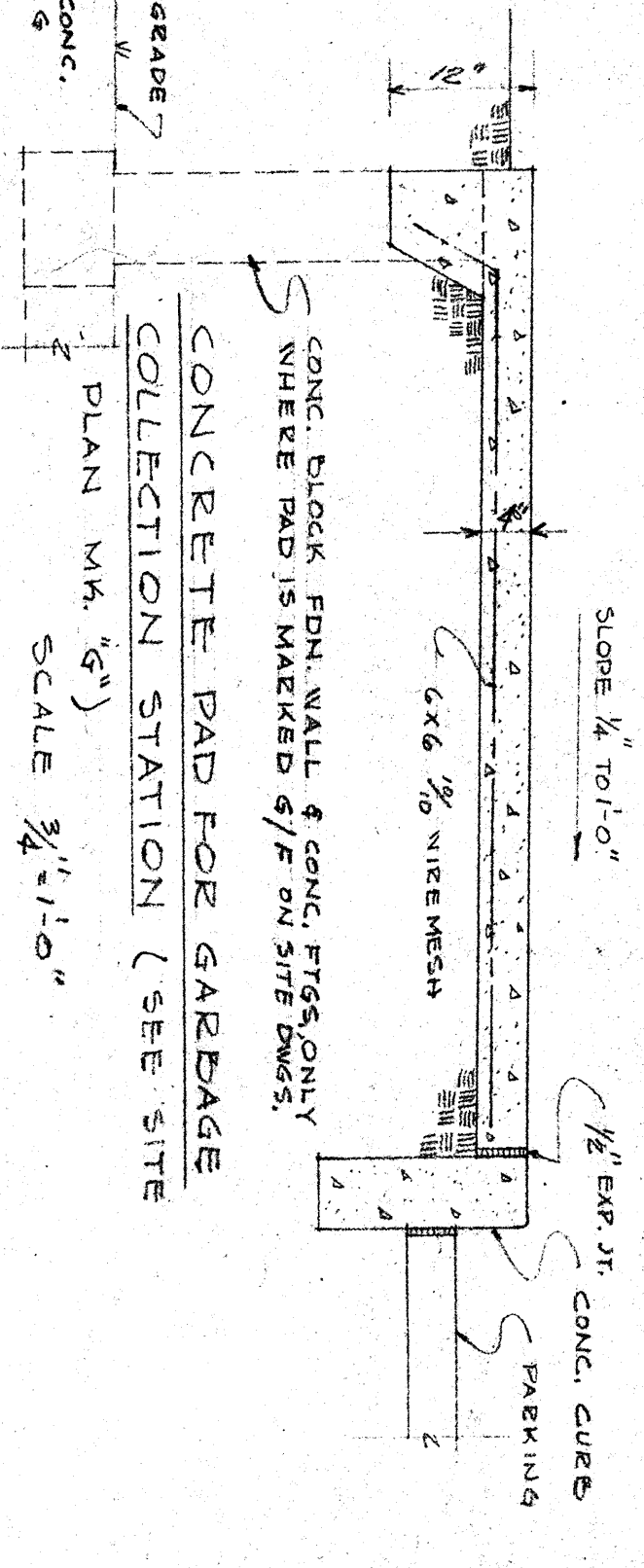


CULVERT SECTION
SCALE 3/4"=1'-0"

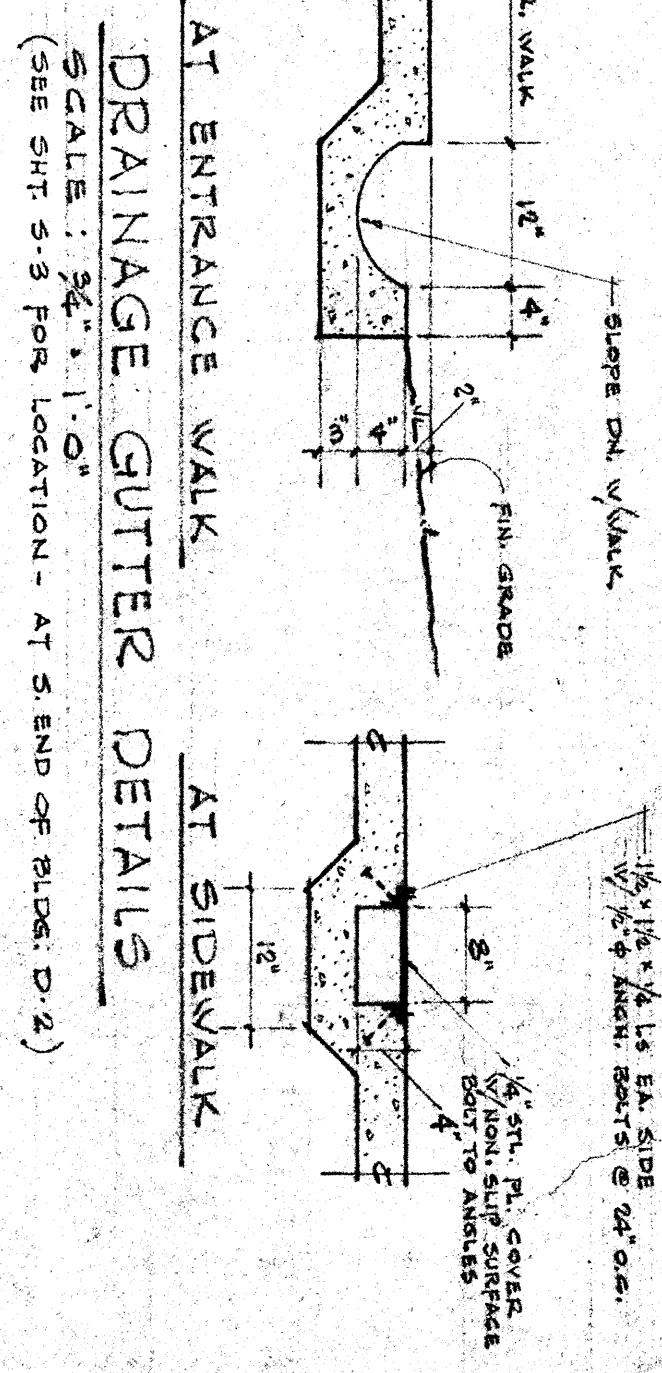


PLAN-CULVERT & MAN HOLE

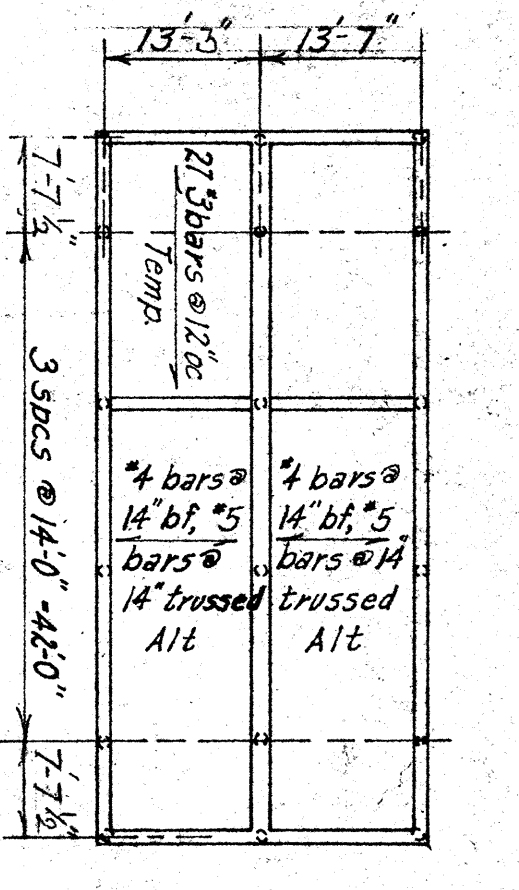
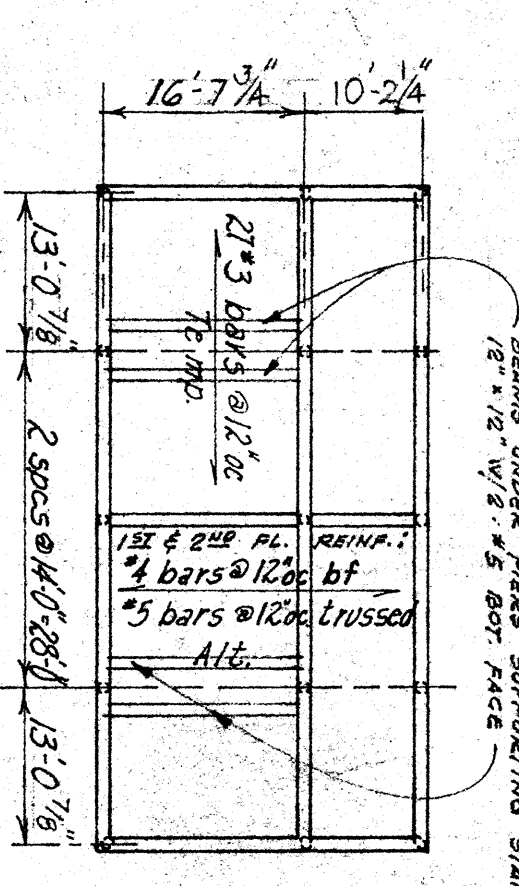
DETAIL-BOX (STORM) CULVERT



CONCRETE PAD FOR GARBAGE COLLECTION STATION (SEE SITE PLAN)
SCALE 1/2"=1'-0"



AT ENTRANCE WALK
AT SIDEWALK
DRAINAGE GUTTER DETAILS
SCALE: 3/4"=1'-0"



BUILDING A
SCALE 1/8" = 1'-0"
2 REOD

BUILDING B
SCALE 1/8" = 1'-0"
7 REOD

BUILDING C
SCALE 1/8" = 1'-0"
9 REOD

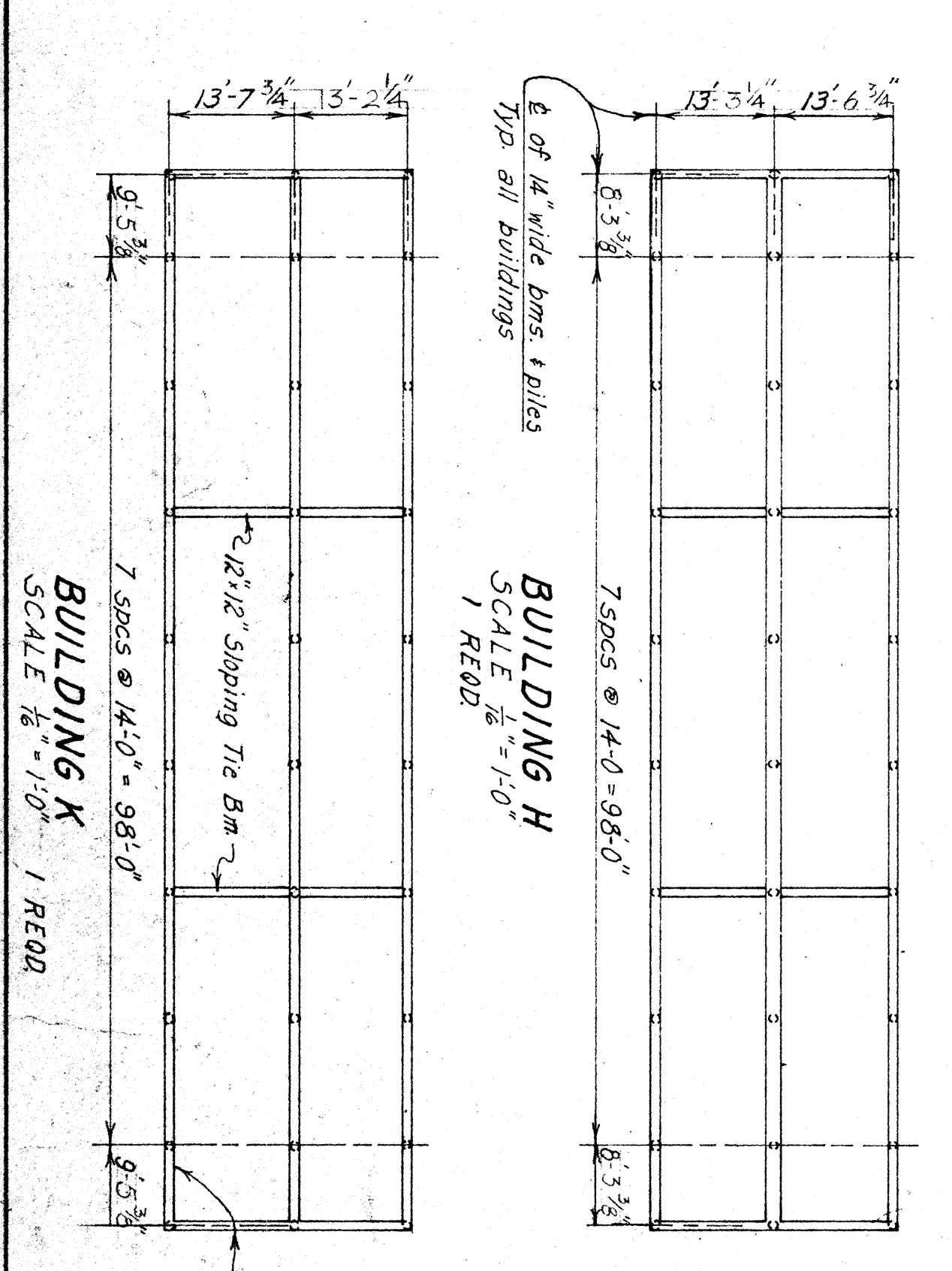
BUILDING F
SCALE 1/8" = 1'-0"
1 REOD

BUILDING E
SCALE 1/8" = 1'-0"
2 REOD

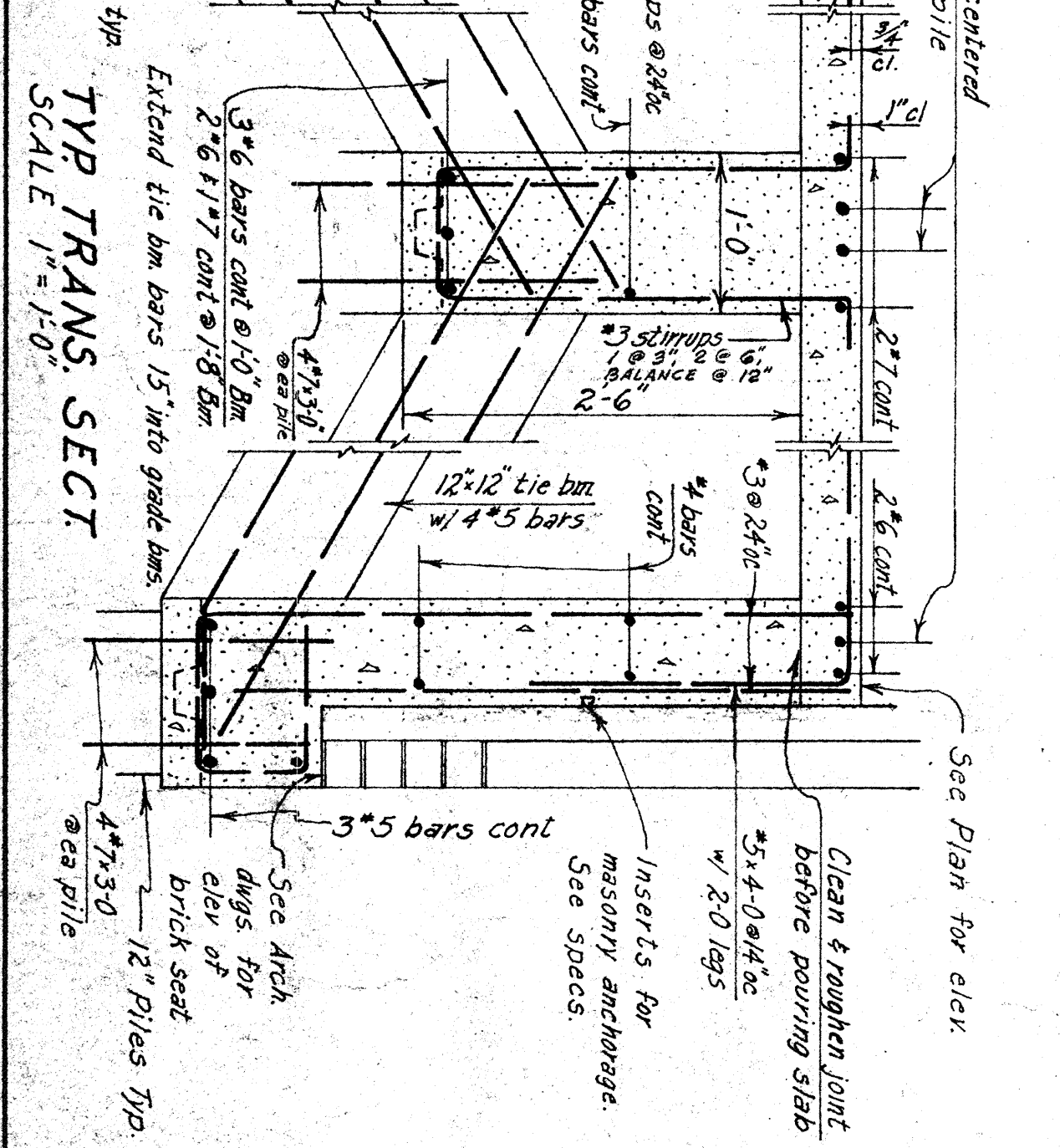
BUILDING D-1
SCALE 1/8" = 1'-0"
1 REOD

TYP ELEV OF GRADE BM @ PILE
SCALE 1/8" = 1'-0"

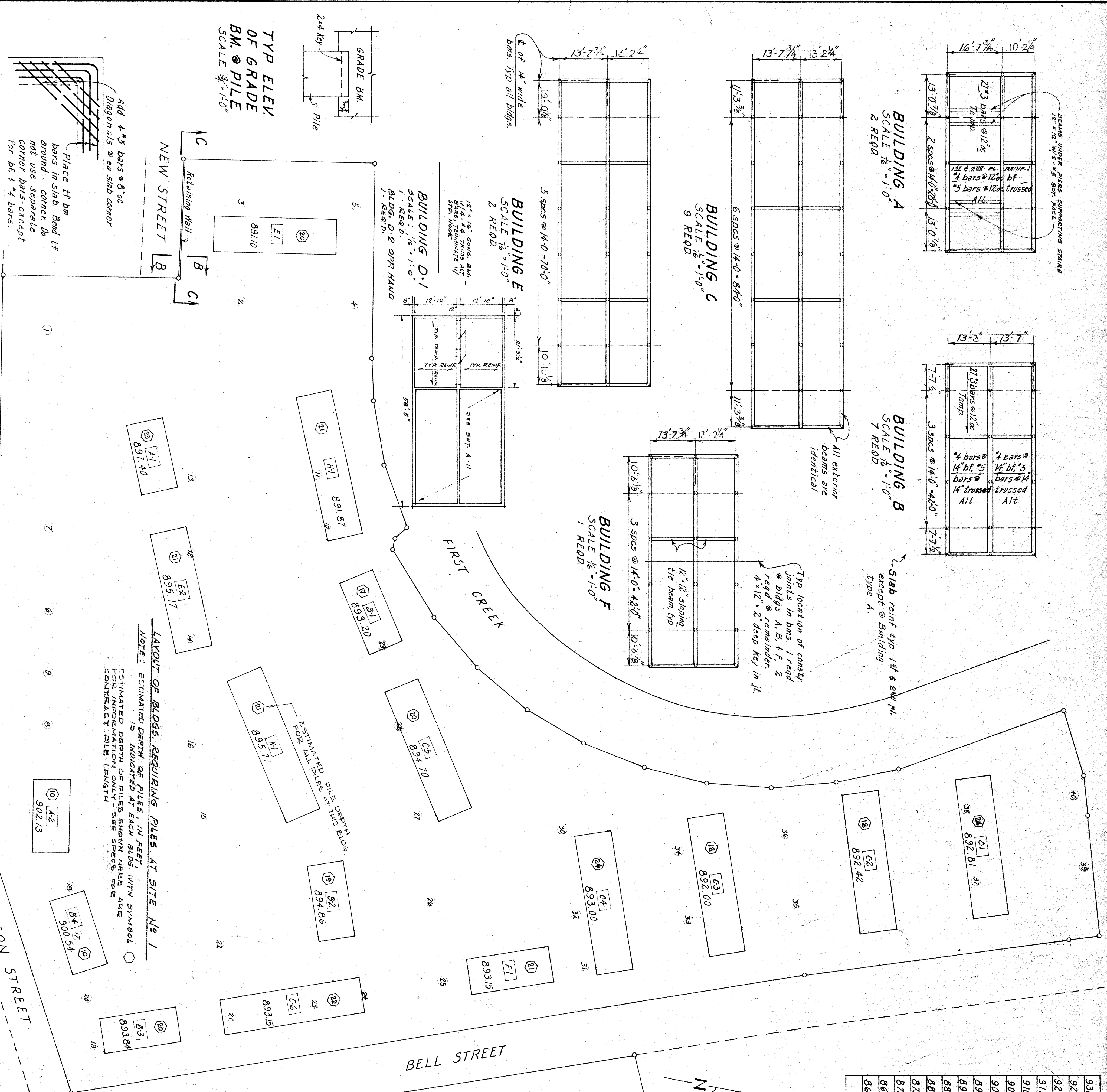
TYP CORNER DETAIL
N.T.S.



BUILDING K
SCALE 1/8" = 1'-0"
1 REOD



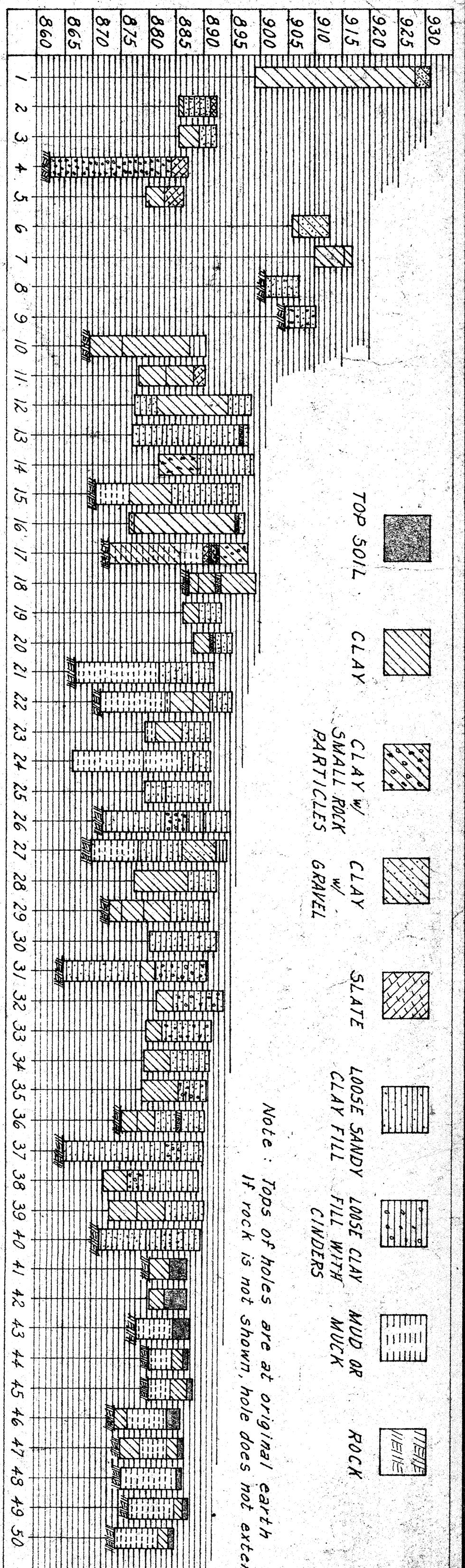
TYP TRANS SECT
SCALE 1/8" = 1'-0"



LAYOUT OF BLOCS, REQUIRING PILES AT SITE NO. 1
NOTE: ESTIMATED DEPTH OF PILES, IN FEET, INDICATED AT EACH BLOC. WITH SYMBOL. FOR INFORMATION CONSULT ENGINEER'S CONTRACT PILE LENGTH.

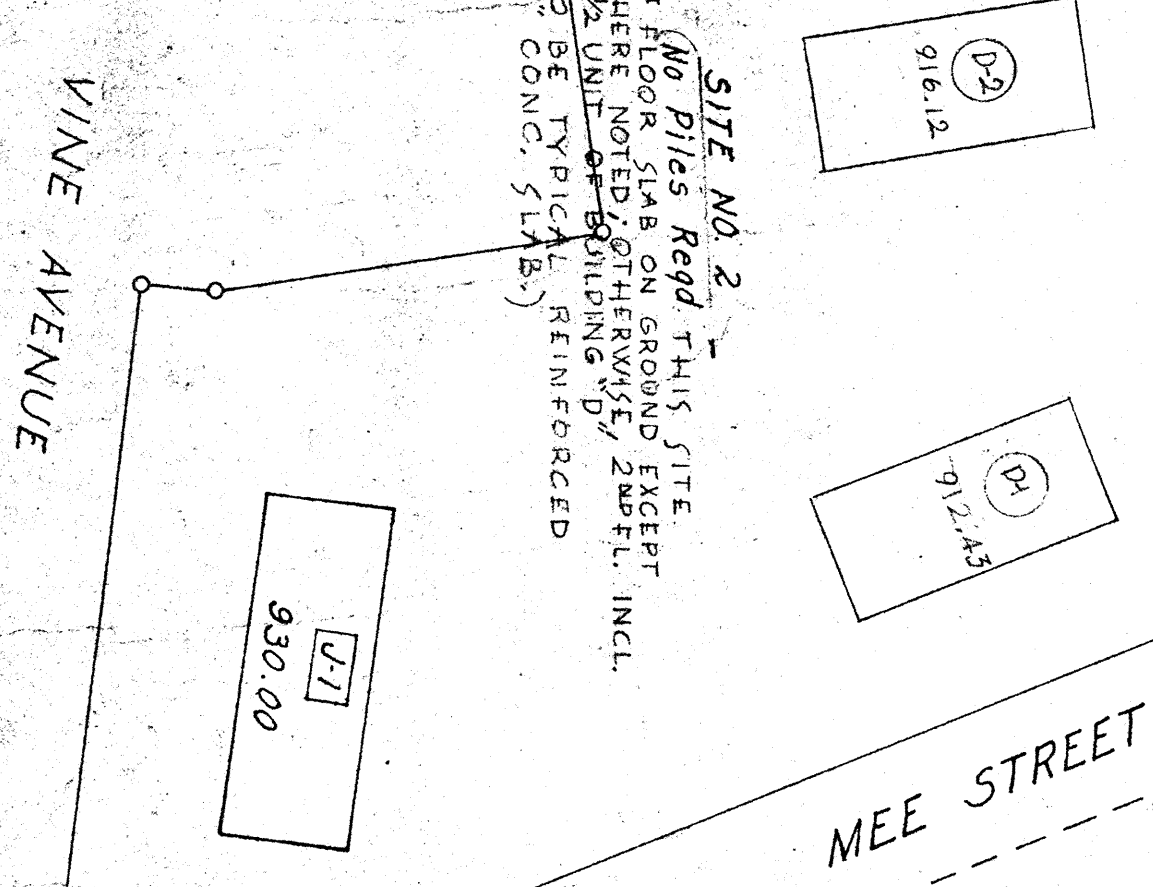
NOTE:
CONTRACT LENGTH OF PILES AS INDICATED AT ANY BLOC. SHALL APPLY TO ALL PILES REQUIRED AT THAT RECTANGULAR BLOC.

SUBSURFACE SOIL INVESTIGATION
(FROM DATA BY OTHERS)



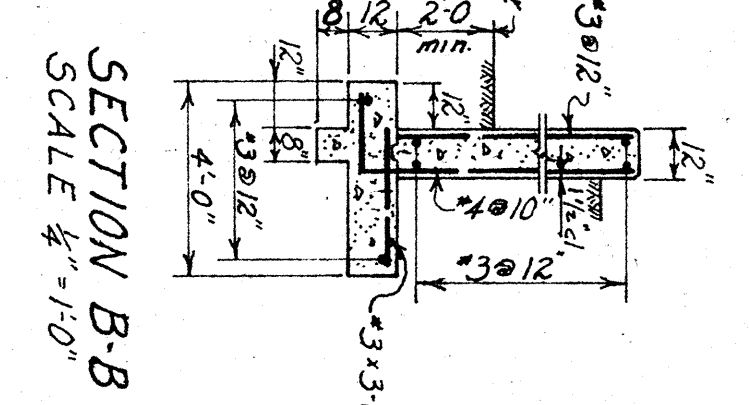
BELL STREET

PRESTON ST

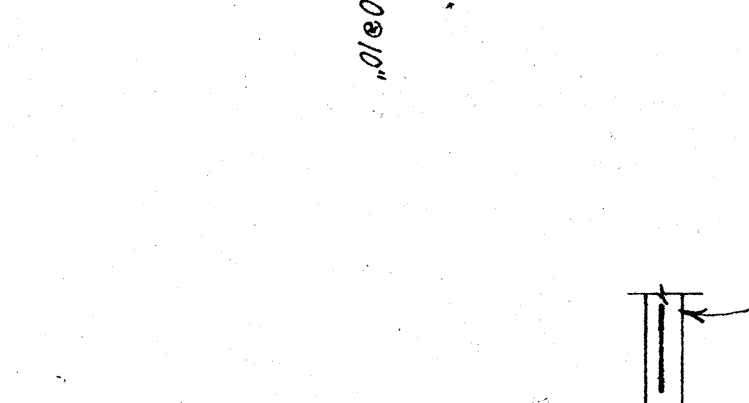


SITE PLAN
SCALE 1/8" = 1'-0"

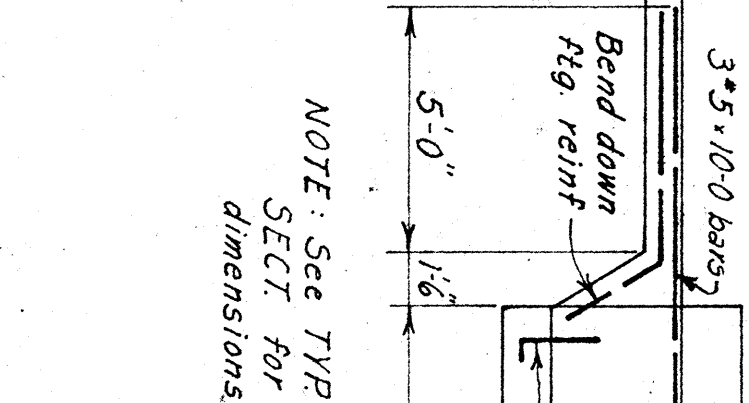
SECTION B-B
SCALE 1/8" = 1'-0"



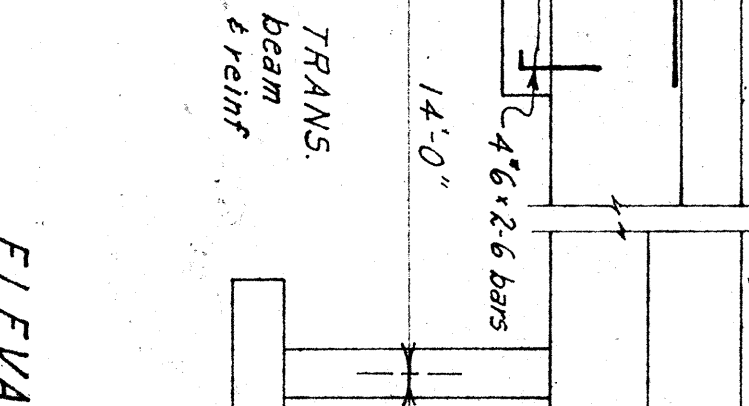
ELEVATION A-A
SCALE 1/8" = 1'-0"



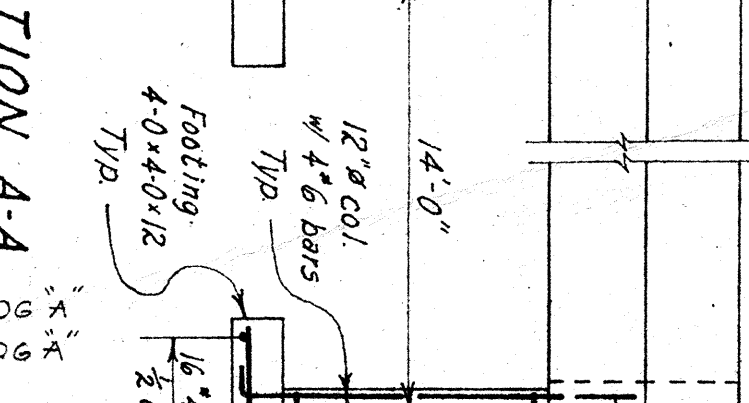
ELEVATION C-C
SCALE 1/8" = 1'-0"



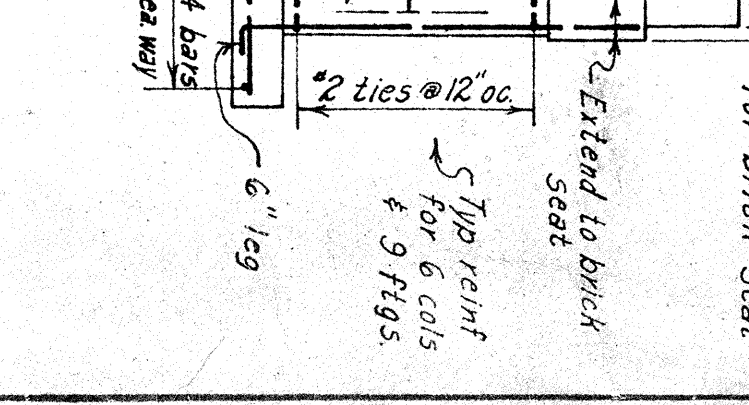
TYPICAL CANDY REIN
SCALE 1/8" = 1'-0"



TYPICAL STAIR OPENING REIN
SCALE 1/8" = 1'-0"



TYPICAL SLAB REIN DETAIL
SCALE 1/8" = 1'-0"



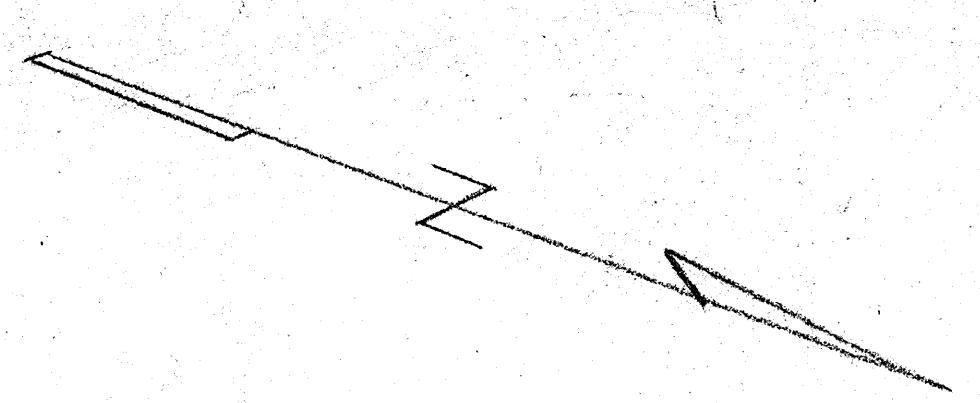
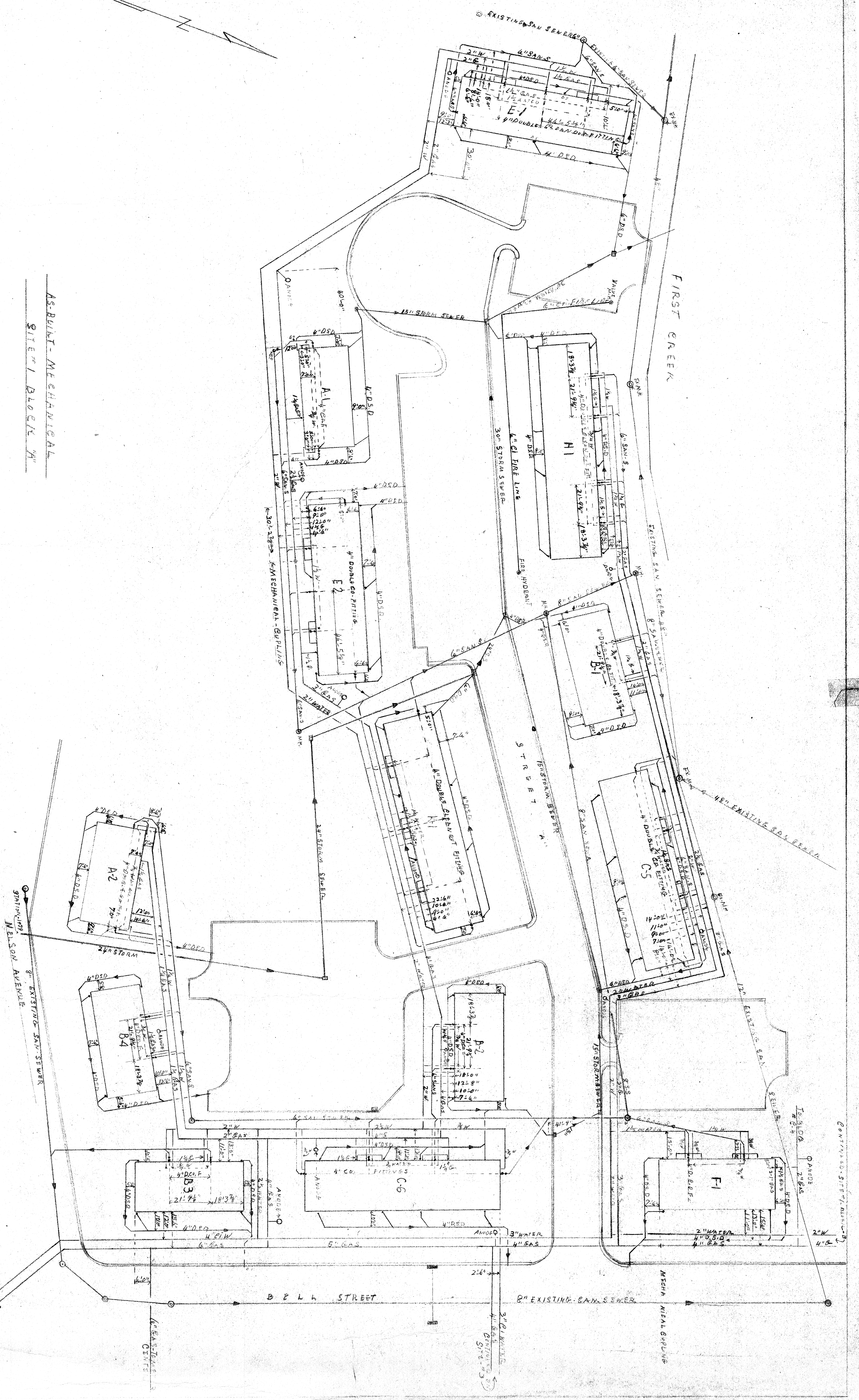
FANCO Engineering, Inc.
Civil Engineers and Consultants
1000 N. 1st St., Phoenix, Arizona

FOUNDATIONS & DETAILS
KNOXVILLE HOUSING AUTHORITY
MORTON & SWEISER ARCHITECTS

AS-BUILT-MECHANICAL
 SITE # 1 BLOCK "H"

MEASUREMENTS FURNISHED BY FOUNDATION CITY CONSTRUCTION CO.

CONTINUED
 ON SITE # 2

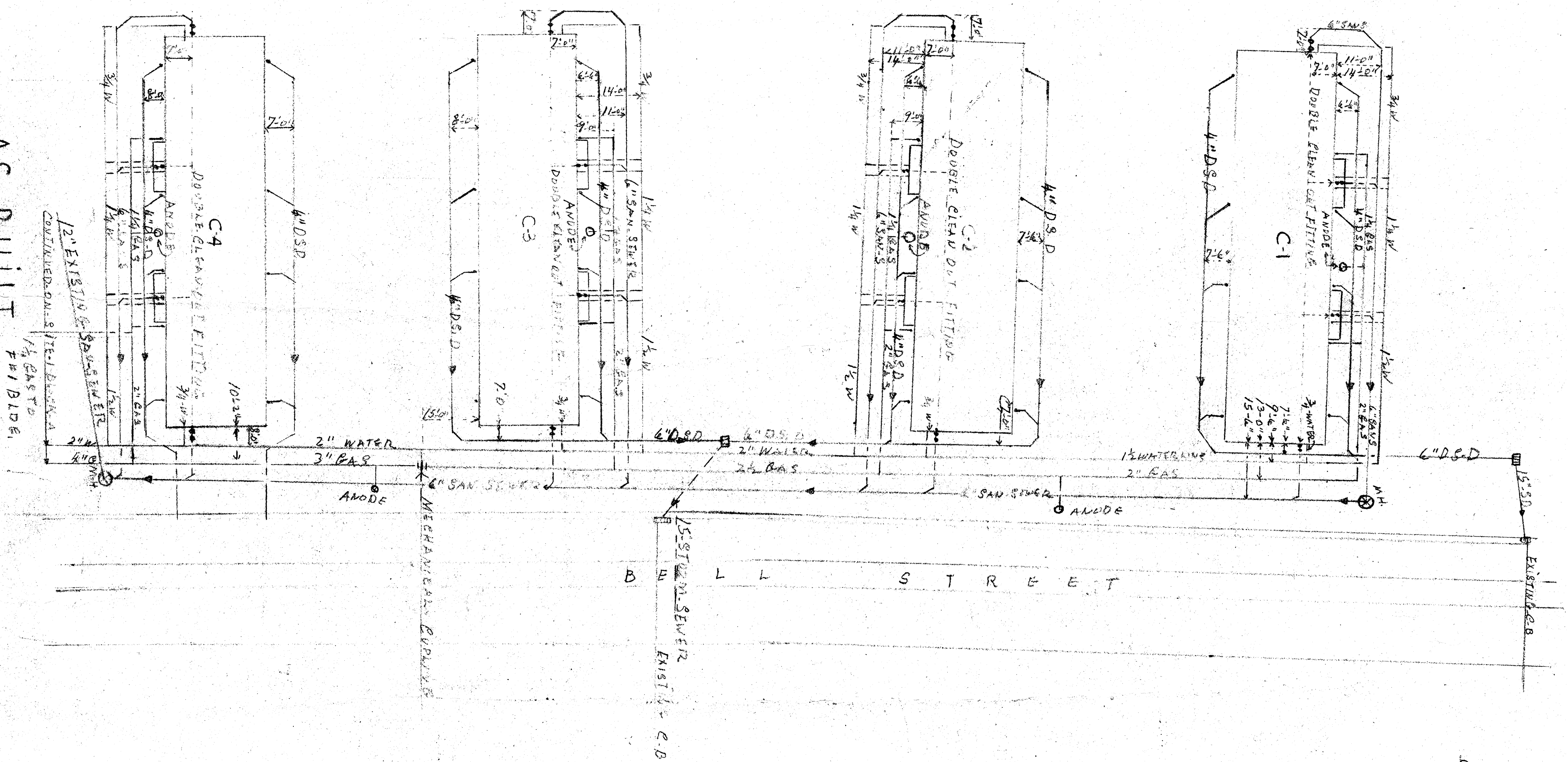


FIRST CREEK

B & L H STREET

WILSON AVENUE

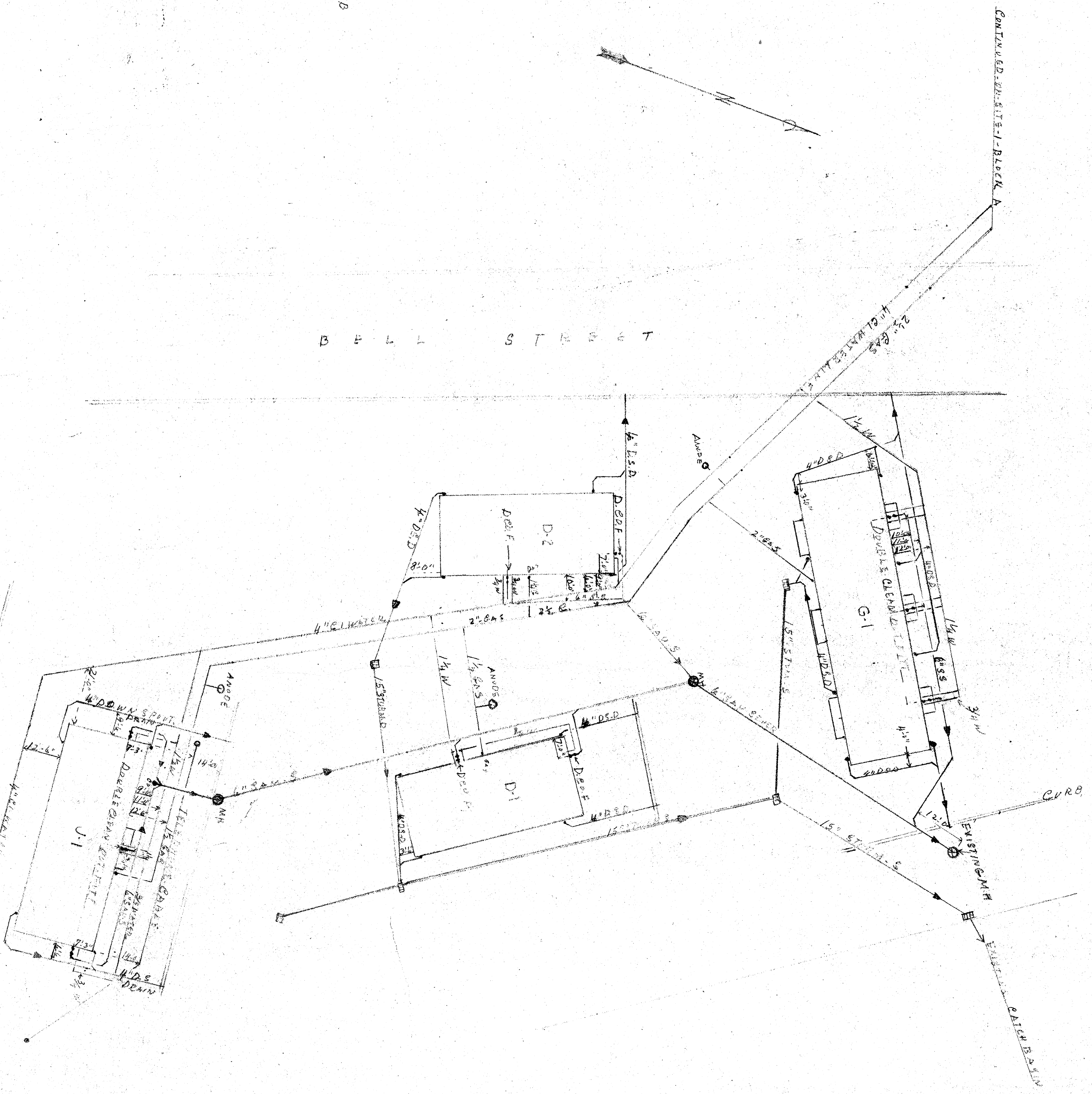
CONTINUED ON SITE # 2



**AS-BUILT
MECHANICAL**

SITE NO. 1 - BLOCK 'B'

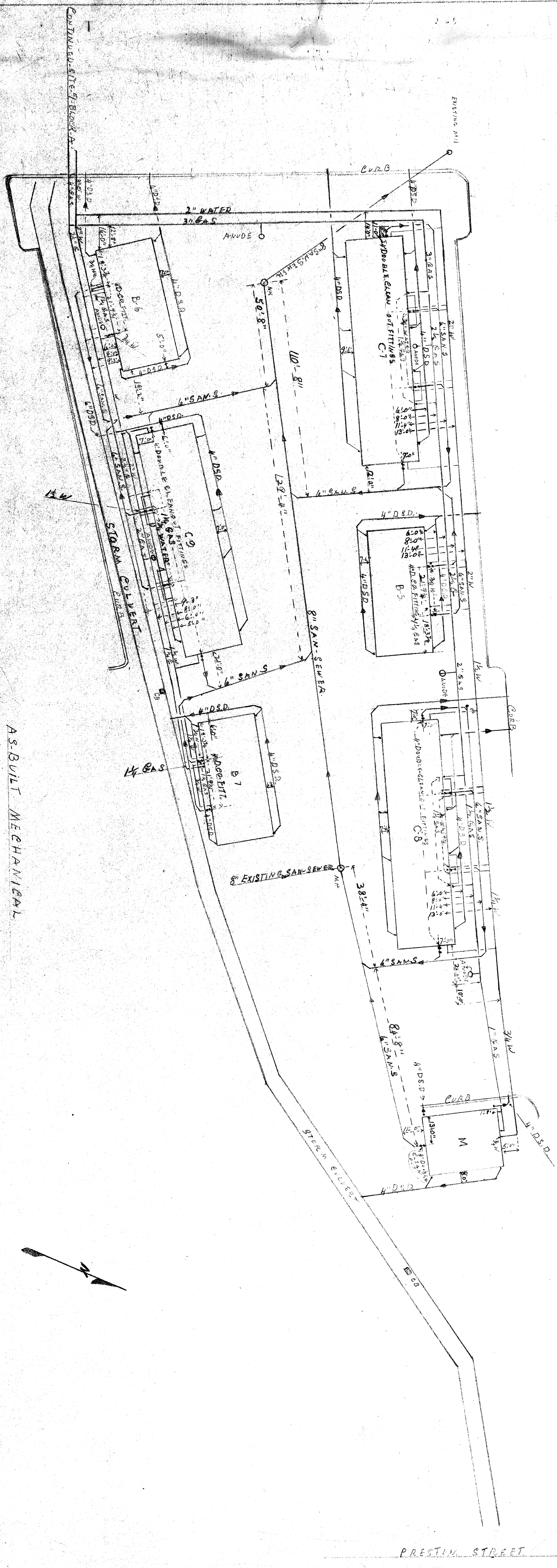
SCALE: 1" = 3'-0"



**AS-BUILT
MECHANICAL**

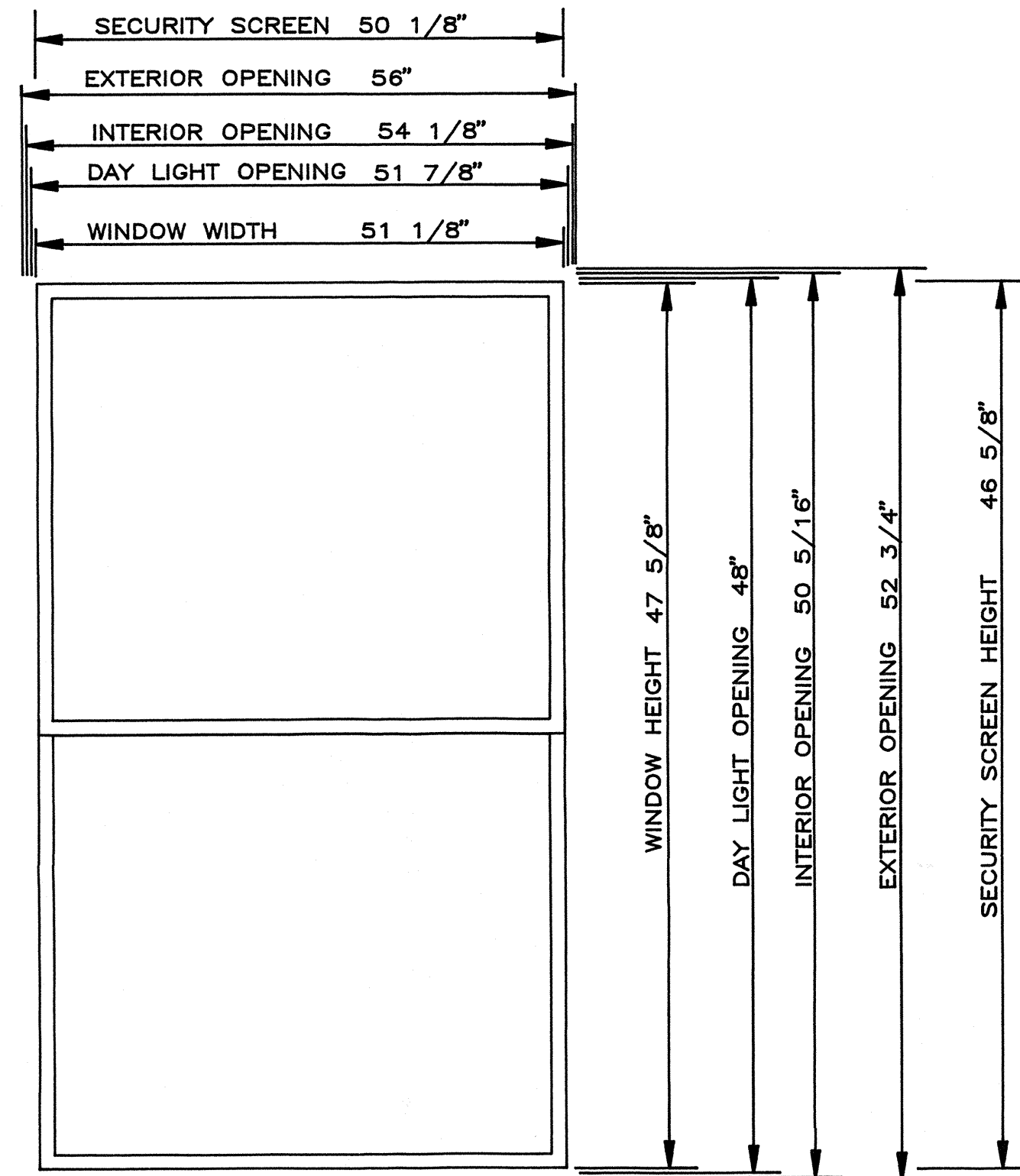
SITE NO. 2

SCALE: 1" = 2'-0"

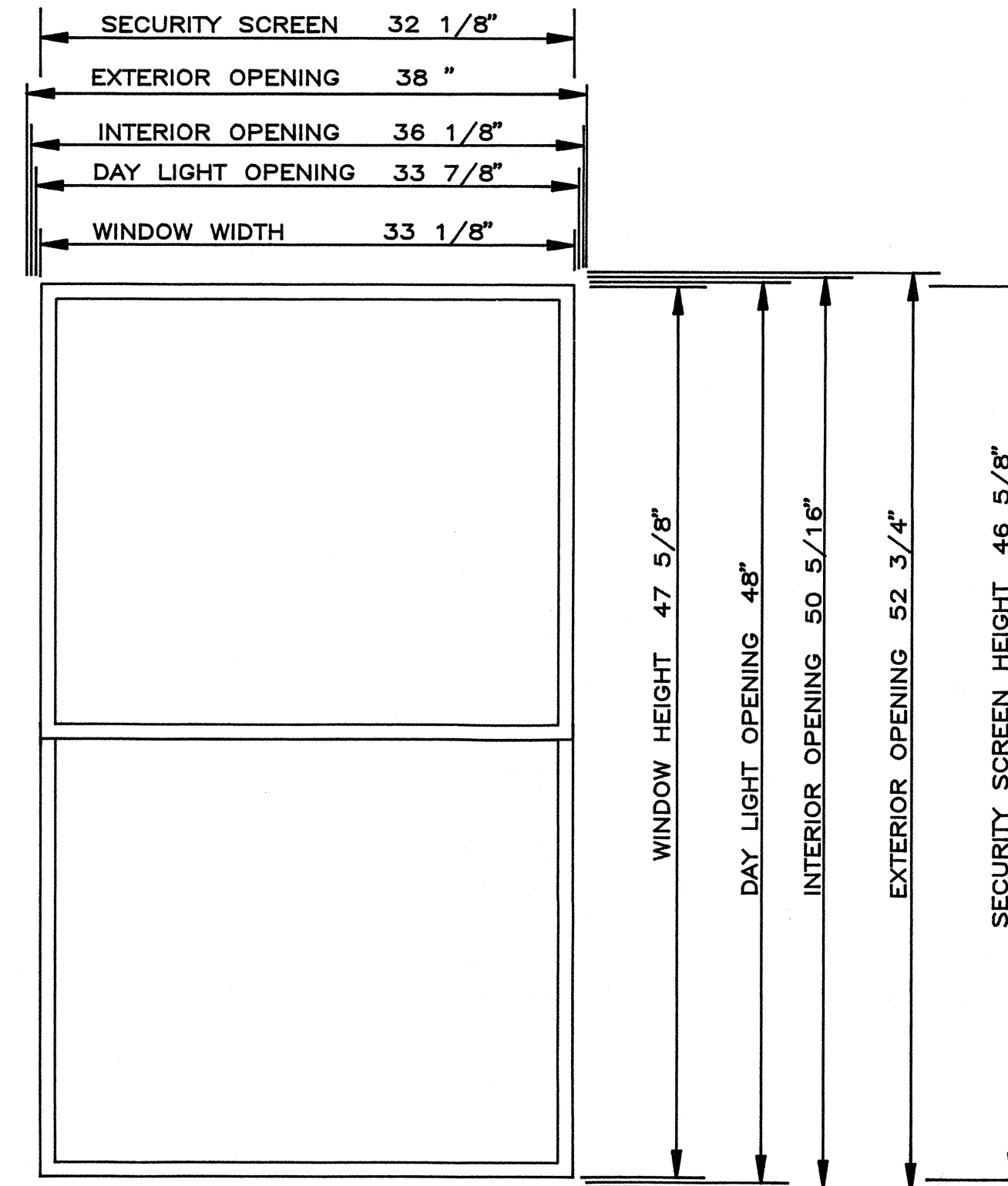


AS-BUILT MECHANICAL
SITE # 3

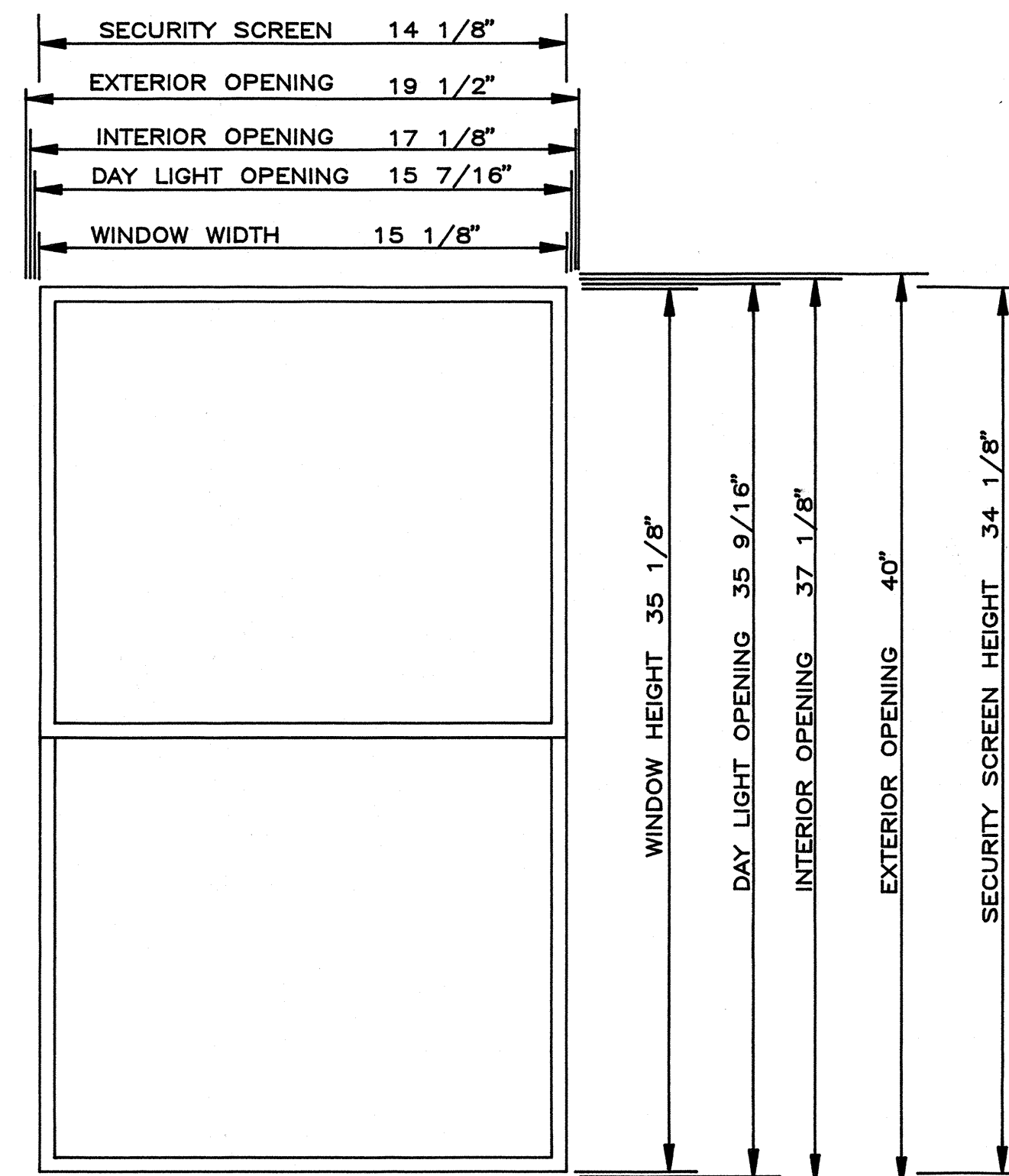
NOTE: MEASUREMENTS FURNISHED BY FOURTH AVENUE CITY ENGINEERS CO.



MK.# A, 417 REQ.



MK.# B, 598 REQ.



MK.# C, 196 REQ.
OBSCURE GLASS

GENERAL NOTES

1. ALL THERMALLY IMPROVED ALUMINUM SIDE LOAD DOUBLE HUNG WINDOWS SHALL BE MODEL # 6000 DH C-45 AS MANUFACTURED BY ALL TEMP METAL PRODUCTS.
2. ALL WINDOWS SHALL BE FURNISHED FACTORY ASSEMBLED AND GLAZED WITH 3/4" OVERALL INSULATED GLASS UNITS. CONSISTING OF 1/8" CLEAR DOUBLE STRENGTH ANNEALED OUTBOARD, 1/8" CLEAR DOUBLE STRENGTH ANNEALED INBOARD PANE. WITH 1/2" AIRSPACE. MK.# C TO HAVE 1/8" OBSCURE DOUBLE STRENGTH ANNEALED AT OUTBOARD PANE.
3. ONE ZINC DIE CAST LOCK AND KEEPER SHALL BE MOUNTED ON THE LOCK AND KEEPER RAILS RESPECTIVELY, ALL WINDOWS.
4. ALL WINDOWS SHALL UTILIZE A 1 3/4" OR 2 1/2" * .050 EXTRUDED ALUMINUM EXTERIOR PANNING SYSTEM, WHICH SHALL BE TRIMED IN THE FIELD TO SUIT CONDITION.
5. ALL WINDOWS SHALL BE INSTALLED BY MEANS OF AN 1*1 3/4" OR 1*2 1/2" * .062 EXTRUDED ALUMINUM BASE CLIP, FOR MOUNTING THE REPLACEMENT WINDOW TO EXISTING CONSTRUCTION AND COVERED WITH INTERIOR SNAP ON TRIM.
6. ALL EXPOSED ALUMINUM MEMBERS SHALL BE PAINTED WITH AN ELECTROSTATICALLY APPLIED BAKED ON BRONZE ENAMEL FINISH. CONFORMING TO AAMA 603.8 SPECIFICATIONS.
7. ALL FASTNERS AND SEALANT TO BE FURNISHED BY CONTRACTOR.
8. SECURITY SCREENS TO BE OF .028 GAUGE OF 304 STAINLESS STEEL. MOUNTED TO REPLACEMENT WINDOW AS SHOWN ON DETAIL DRAWINGS.

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 PROJECT : AUSTIN HOMES H (CONTRACT # 860)
 CONTRACTOR : CASEY ENTERPRISES, INC.
 SUPPLIER : ALL TEMP METAL PRODUCTS, INC.

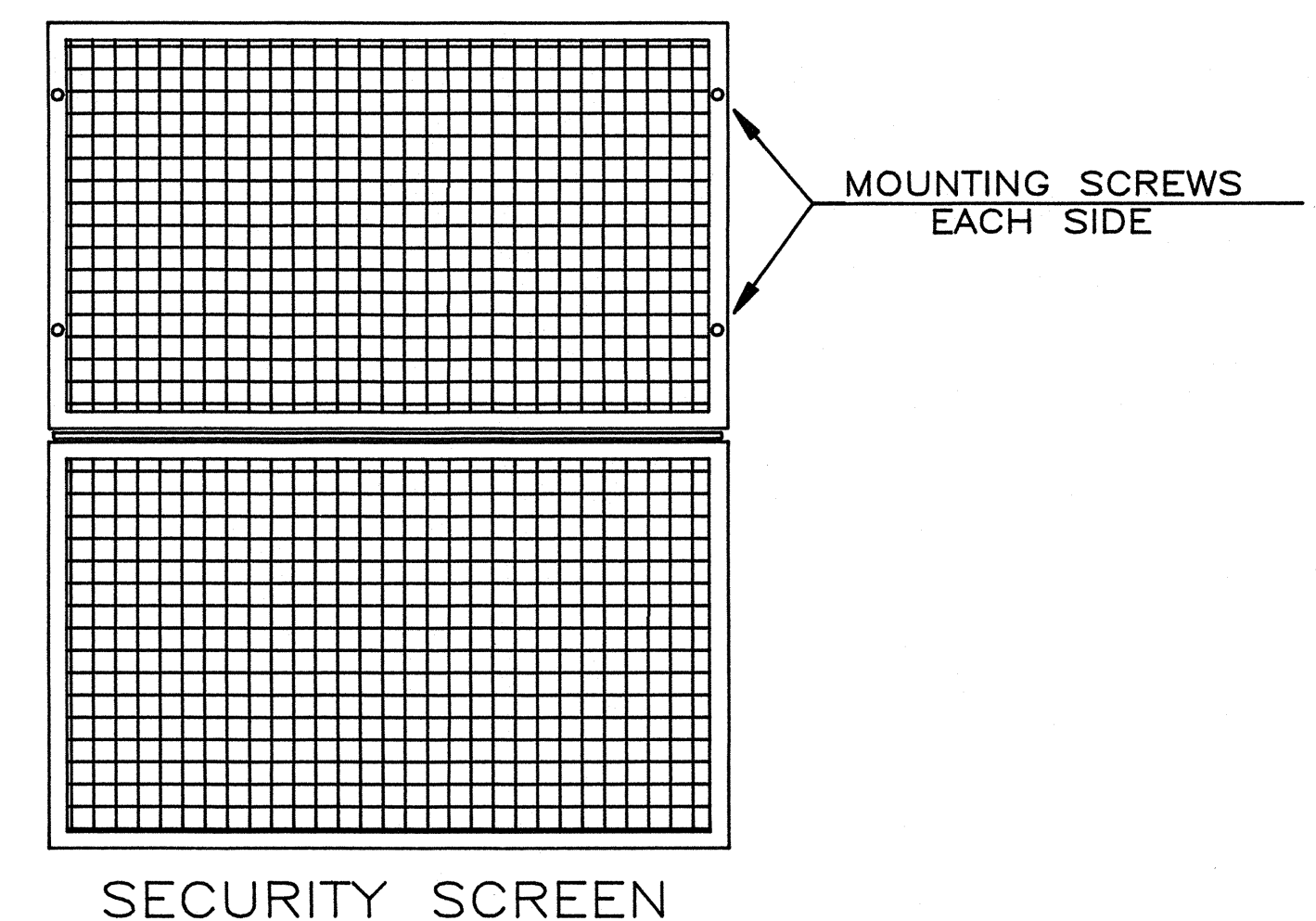
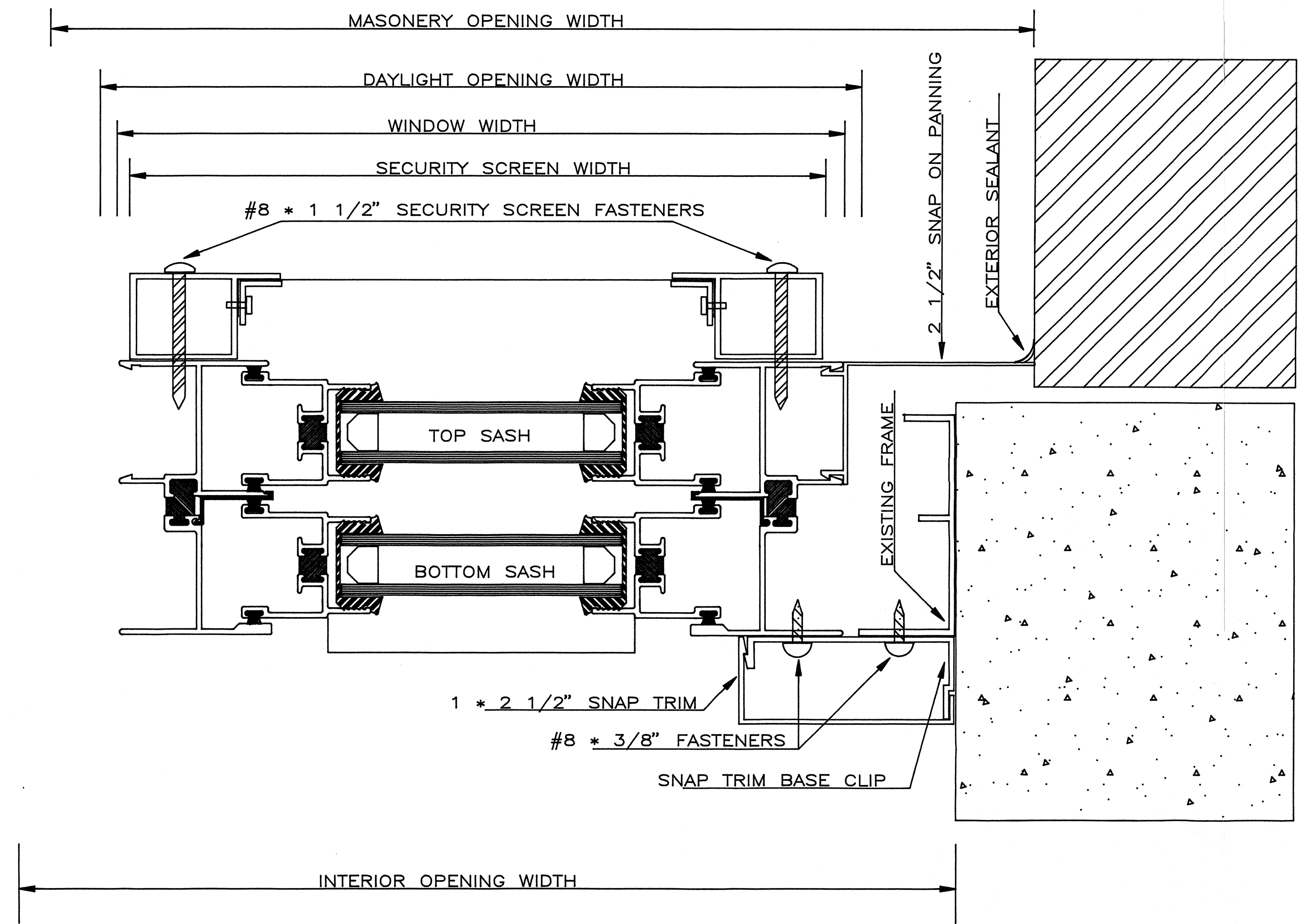
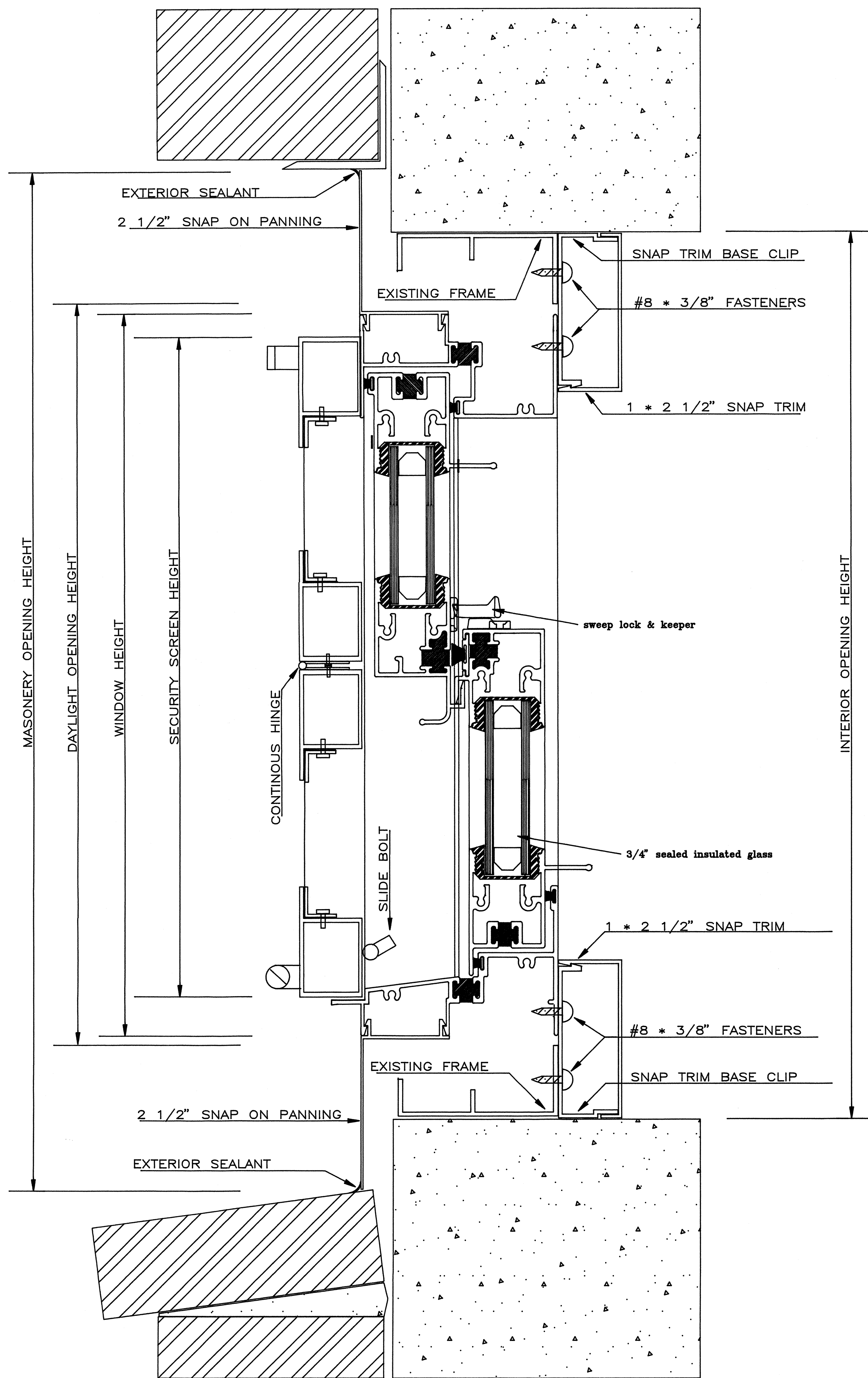
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7-11-94

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NONE

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