

# ESCAMBIA COUNTY SHERRIF'S OFFICE

## ADMINISTRATION BUILDING



2

LOCATION MAP

G001

NOT TO SCALE

INDEX OF DRAWINGS		
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A202	ENTRY GLAZING	



1

VICINITY MAP

G001

NOT TO SCALE

CALDWELL  
ASSOCIATES | ARCHITECTS

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License No: AA24000721 | License No: IB0000995

PROJECT ISSUES:  
PERMIT SET 17 NOV 2021

PROJECT TEAM:  
ARCHITECTURAL  
Caldwell Associates

PROJECT:  
ECSO ADMIN



1700 W LEONARD ST,  
PENSACOLA, FL

PROJECT NO. : 21003  
SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
**G001**

PERMIT SET



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B																
C																
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PRINT DATE: 11/17/2021 7:33:24 AM

SCOPE OF WORK	CODE ANALYSIS	MATERIAL LEGEND	PROJECT TEAM
<p>SCOPE OF WORK IS PRIMARILY LIMITED TO REMOVING AND REPLACING PERIMETER BACKER ROD AND SEALANT AT ALL EXTERIOR WINDOW, STOREFRONT, AND CURTAINWALL ASSEMBLIES (INCLUDING ANY PENETRATIONS MADE BY OTHER BUILDING ELEMENTS) AND REMOVING AND REPLACING ALL WET AND DRY GASKETING AT INDIVIDUAL PANES OF GLASS WITH NEW DRY GASKETING SYSTEMS. ANY OPERABLE AWNING-STYLE SUB-FRAMES ARE TO BE REMOVED AND REPLACED WITH FIXED PANES.</p> <p>OTHER MINOR SCOPE WILL INCLUDE SOME REPLACEMENT OF WATER DAMAGED CEILING TILES AND WATER DAMAGED GYPSUM BOARD AROUND WINDOW OPENINGS ON INTERIOR AND RE-ATTACHING SILL TRIM WHERE ADHESION HAS FAILED.</p>	<p><b>OCCUPANCY CLASSIFICATION</b> FBC 2020: GROUP B (BUSINESS); OFFICE SPACES</p> <p><b>CONSTRUCTION TYPE</b> FBC 2020: TYPE IIB (2B), FULLY SPRINKLERED</p> <p><b>BUILDING AREA AND HEIGHT</b> EXISTING FIRST FLOOR AREA: 47,000 SF EXISTING SECOND FLOOR AREA: 53,250 SF  ALLOWABLE AREA: 92,000 SF (FBC TABLE 506.2):  FBC 506 BUILDING AREA MODIFICATIONS HAVE NOT BEEN ACCOUNTED FOR  EXISTING BUILDING HEIGHT: 2 STORIES, 29'-6"  ALLOWABLE BUILDING HEIGHT 3 STORIES, 75'-0" (FBC TABLES 504.3A AND 504.4)</p> <p><b>FIRE RESISTANCE</b> FBC TABLE 601 AND TABLE 602 FOR TYPE IIB CONSTRUCTION:</p> <p><b>PRIMARY STRUCTURAL FRAME:</b> 0 hr <b>BEARING WALLS:</b> EXTERIOR BEARING: 0 hr (SEE BELOW) INTERIOR BEARING: 0 hr <b>NONBEARING WALLS:</b> EXTERIOR BEARING: 0 hr (SEE BELOW) INTERIOR BEARING: 0 hr <b>FLOOR CONSTRUCTION:</b> 0 hr <b>ROOF CONSTRUCTION:</b> 0 hr</p> <p><b>EXTERIOR WALL RATING BASED ON FIRE SEPARATION DISTANCE</b> &lt;5' SEPARATION 1 hr &gt;5' to &lt;10' SEPARATION 1 hr &gt;10' to &lt;30' SEPARATION 0 hr &gt;30' SEPARATION 0 hr</p>	<p>EARTH/COMPACT FILL</p> <p>CAST-IN-PLACE/PRECAST CONCRETE</p> <p>MORTAR/GROUT (SECTION) GYPSUM BOARD (ELEVATION)</p> <p>FINISH GRADE WOOD</p> <p>NOMINAL DRESSED BLOCKING</p> <p>SHIM/FILLER BLOCKING WITH BACKER ROD AND SEALANT</p> <p>CMU (IN SECTION)</p> <p>RIGID INSULATION</p> <p>BATT INSULATION</p> <p>PLYWOOD</p> <p>GYPSUM BOARD</p>	<p><b>ARCHITECT</b> CALDWELL ASSOCIATES ARCHITECTS, INC H. MILLER CALDWELL, JR., RA 116 NORTH TARRAGONA STREET PENSACOLA, FLORIDA 32501 (850) 439-6576 phone (850) 438-6537 fax</p>
APPLICABLE CODES		PRODUCT APPROVAL	SYMBOLS LEGEND
<p>THE FOLLOWING CODES AND REVISIONS ARE APPLICABLE TO THIS PROJECT:</p> <p>FLORIDA BUILDING CODE; 2020 (FBC) FLORIDA BUILDING CODE; 2020 EXISTING BUILDING (FBC-EB)</p>		<p>CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR DOCUMENTATION NECESSARY TO VERIFY THAT ALL COMPONENTS REQUIRING PRODUCT APPROVAL PER FS 553.842 ARE IN COMPLIANCE WITH PRODUCT APPROVAL INSTALLATION REQUIREMENTS.</p>	<p><b>EXTERIOR ELEVATION</b> DETAIL NUMBER SHEET DRAWN ON</p> <p><b>INTERIOR ELEVATION</b> DETAIL NUMBER SHEET DRAWN ON</p> <p><b>SECTION</b> DETAIL NUMBER SHEET DRAWN ON</p> <p><b>ENLARGED CALLOUT</b> DETAIL NUMBER SHEET DRAWN ON</p> <p><b>KEYNOTE</b>; SEE GENERAL NOTE 8</p> <p><b>ROOM IDENTIFICATION</b>; SEE ROOM FINISH SCHEDULE</p> <p><b>DOOR IDENTIFICATION</b>; SEE DOOR SCHEDULE</p> <p><b>WINDOW OR LOUVER IDENTIFICATION</b>; SEE WINDOW SCHEDULE</p> <p><b>SPECIALTY EQUIPMENT IDENTIFICATION</b>; SEE ACCESSORY SHEDULE</p> <p><b>PARTITION TYPE</b>; SEE WALL TYPE SCHEDULE</p> <p><b>ELEVATION</b></p> <p><b>NORTH ARROW</b></p> <p><b>REVISION SYMBOL AND BUBBLE</b></p> <p><b>TITLE KEY</b> DETAIL NUMBER</p> <p><b>GRAPHIC SCALE BAR</b> SHEET DRAWN ON SHEET OF FIRST REFERENCE</p>
BID SCHEDULE	<p><b>BASE BID:</b> ITEM 1: ALL MATERIAL, EQUIPMENT, AND LABOR REQUIRED TO PERFORM SCOPE OF WORK OUTLINED IN THESE DRAWINGS.</p>	GENERAL NOTES	ABBREVIATIONS
		<p>1. DO NOT SCALE DRAWINGS; REFERENCE DIMENSIONS ON DRAWINGS AND FIELD VERIFY ALL MEASUREMENTS.</p> <p>2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FACE OF STUD, COLUMN CENTERLINE, OR FACE OF EXISTING FINISH.</p> <p>3. UNLESS NOTED OTHERWISE, ALL NEW WORK WHICH EXTENDS OR INFILLS EXISTING WORK SHALL ALIGN WITH AND MATCH EXISTING CONDITIONS.</p> <p>4. UNLESS NOTED OTHERWISE, PROVIDE CONTINUOUS 2x6 BLOCKING OR 18ga GALVANIZED METAL STRAPPING FOR ALL HANDRAILS, GRAB BARS, OTHER ACCESSORIES, FIXTURES, BRACKETS, OFCI ITEMS AND MISCELLANEOUS SPECIALTIES.</p> <p>5. ALL WALL MOUNTED CABINETS, WALL MOUNTED TV's, AND MONITORS SHALL HAVE WOOD BLOCKING BETWEEN STUDS FOR INSTALLATION.</p> <p>6. DUE TO MANUFACTURER'S VARIATION WITH SIZE OF EQUIPMENT, CASEWORK, PLUMBING FIXTURES, ETC., ALL DIMENSIONS REFERRING TO THE SPACE WHERE SUCH ITEMS ARE BUILT-IN SHALL BE VERIFIED WITH THE ITEM SUPPLIED.</p> <p>7. ALL DISCREPANCIES OR CONFLICTING INFORMATION BETWEEN EXISTING CONDITIONS, CONSTRUCTION DRAWINGS, AND SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE COMMITTING TO WORK OUTLINED. THIS INCLUDES CONFLICTING INFORMATION NOTED OR REQUIRED BY FURNITURE, FIXTURES, AND EQUIPMENT.</p> <p>8. KEYNOTE NUMBERING SEQUENCE FOUND ON ONE SHEET IS INDEPENDENT FROM OTHER SHEETS IN THE SET.</p> <p>9. DO NOT SEPARATE CONSTRUCTION DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR CAPTURING AND COORDINATING ALL OF THE INFORMATION IN THIS SET OF DRAWINGS AND SPECIFICATIONS. ARCHITECT IS NOT RESPONSIBLE FOR SUBCONTRACTOR BIDS BASED ON REVIEW OF A PORTION OF THE DRAWINGS OR SPECIFICATIONS.</p> <p>10. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND FACILITATION OF ANY (OWNER OR CONTRACTOR) VENDOR'S FURNITURE, FIXTURE, OR EQUIPMENT INSTALLATION. THIS INCLUDES COORDINATING LOCATION AND QUANTITY OF ALL ELECTRICAL, PLUMBING, OR OTHER UTILITY INFRASTRUCTURE NEEDED TO SUPPORT SUCH ITEMS.</p>	<p>AFF ABOVE FINISHED FLOOR</p> <p>AFG ABOVE FINISHED GRADE</p> <p>AL ALUMINUM</p> <p>BLDG BUILDING</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CONC CONCRETE</p> <p>DIA DIAMETER</p> <p>DIAG DIAGONAL</p> <p>EA EACH</p> <p>E.W. EACH WAY</p> <p>EQ EQUAL</p> <p>EXIST EXISTING</p> <p>FFE FINISH FLOOR ELEVATION</p> <p>GA GAUGE</p> <p>HM HOLLOW METAL</p> <p>LAV LAVATORY</p> <p>MANUF MANUFACTURER</p> <p>MAX MAXIMUM</p> <p>MIN MINIMUM</p> <p>MIR MIRROR</p> <p>OC ON CENTER</p> <p>OH OPPOSITE HAND</p> <p>OFCI OWNER FURNISHED, CONTRACTOR INSTALLED</p> <p>OFOI OWNER FURNISHED, OWNER INSTALLED</p> <p>R RADIUS</p> <p>SIM SIMILAR</p> <p>SQ.FT SQUARE FOOT</p> <p>T&amp;G TONGUE AND GROOVE</p> <p>TYP TYPICAL</p>

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PERMIT SET 17 NOV 2021

PROJECT TEAM:  
ARCHITECTURAL  
Caldwell Associates

PROJECT:  
ECSO ADMIN



1700 W LEONARD ST,  
PENSACOLA, FL

PROJECT NO. : 21003  
SHEET TITLE: PROJECT INFORMATION

SHEET NUMBER:  
G002  
PERMIT SET



PROJECT NO. : 21003  
SHEET TITLE:  
FIRST FLOOR PLAN

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SHEET NUMBER:

**A101**

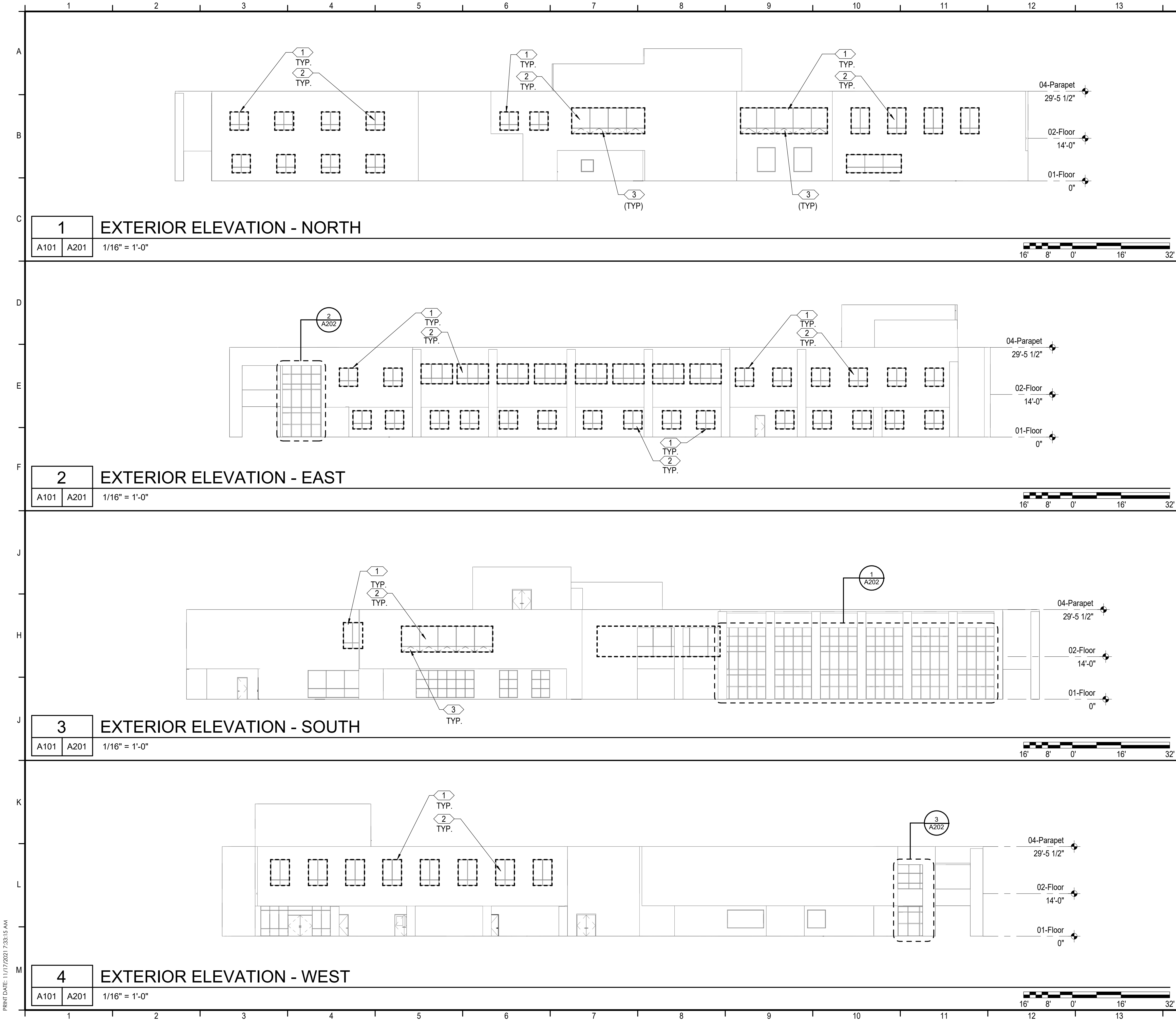
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**PERMIT SET**









KEYNOTES

- 1 REMOVE AND REPLACE ALL PERIMETER BACKER ROD AND SEALANT AT EXTERIOR FACE OF CURTAINWALL OR STOREFRONT WINDOW SYSTEM
- 2 REMOVE AND SALVAGE INDIVIDUAL GLAZING PANELS, REMOVE ALL DRY OR WET GASKETING SYSTEMS AND REPLACE WITH DRY GASKETING SYSTEM, AND REINSTALL SALVAGED GLAZING PANELS; CONTRACTOR TO MAKE ALLOWANCE OF 10% OF ALL GLAZING PANELS TO BE REPLACED DUE TO BREAKAGE DURING REMOVAL, AND EXISTING FAILED INSULATION SEALS
- 3 REMOVE OPERABLE AWNING-STYLE PANELS IN STOREFRONT WINDOW SYSTEM AND REPLACE WITH FIXED GLAZED PANEL; TYPICAL THROUGHOUT ALL EXTERIOR WINDOW SYSTEMS (NOT ALL ARE INDICATED ON DRAWINGS)

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PROJECT TEAM:  
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LEGEND

REMOVE AND REPLACE WINDOW SYSTEM  
BACKER ROD AND SEALANT

PROJECT:  
ECSO ADMIN



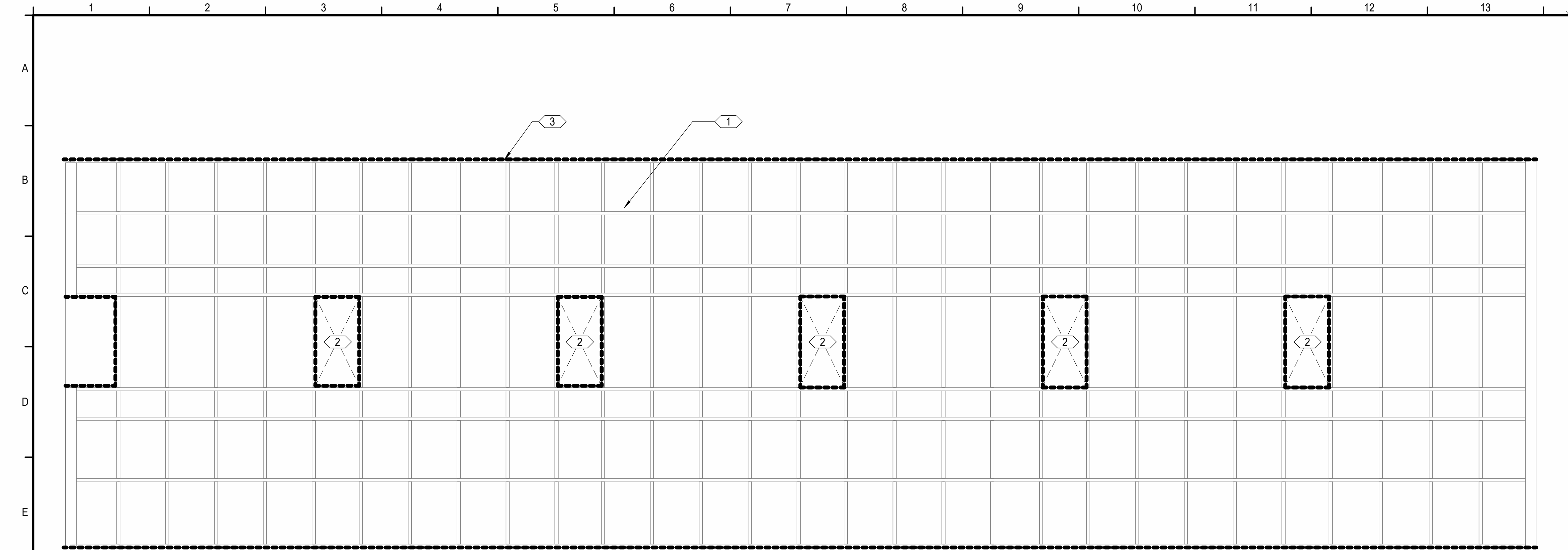
1700 W LEONARD ST,  
PENSACOLA, FL

PROJECT NO. : 21003  
SHEET TITLE:  
EXTERIOR ELEVATIONS

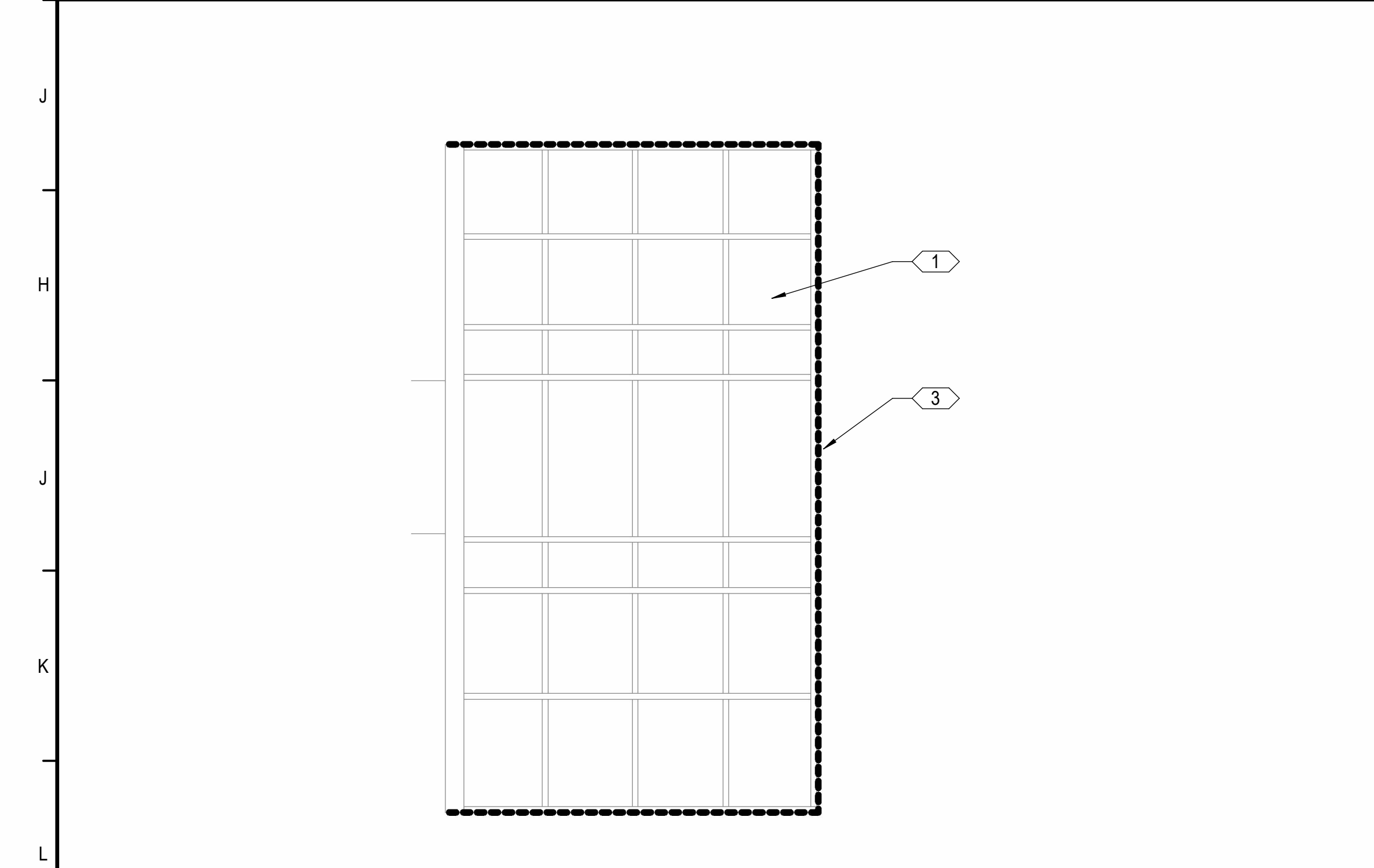
SHEET NUMBER:

A201

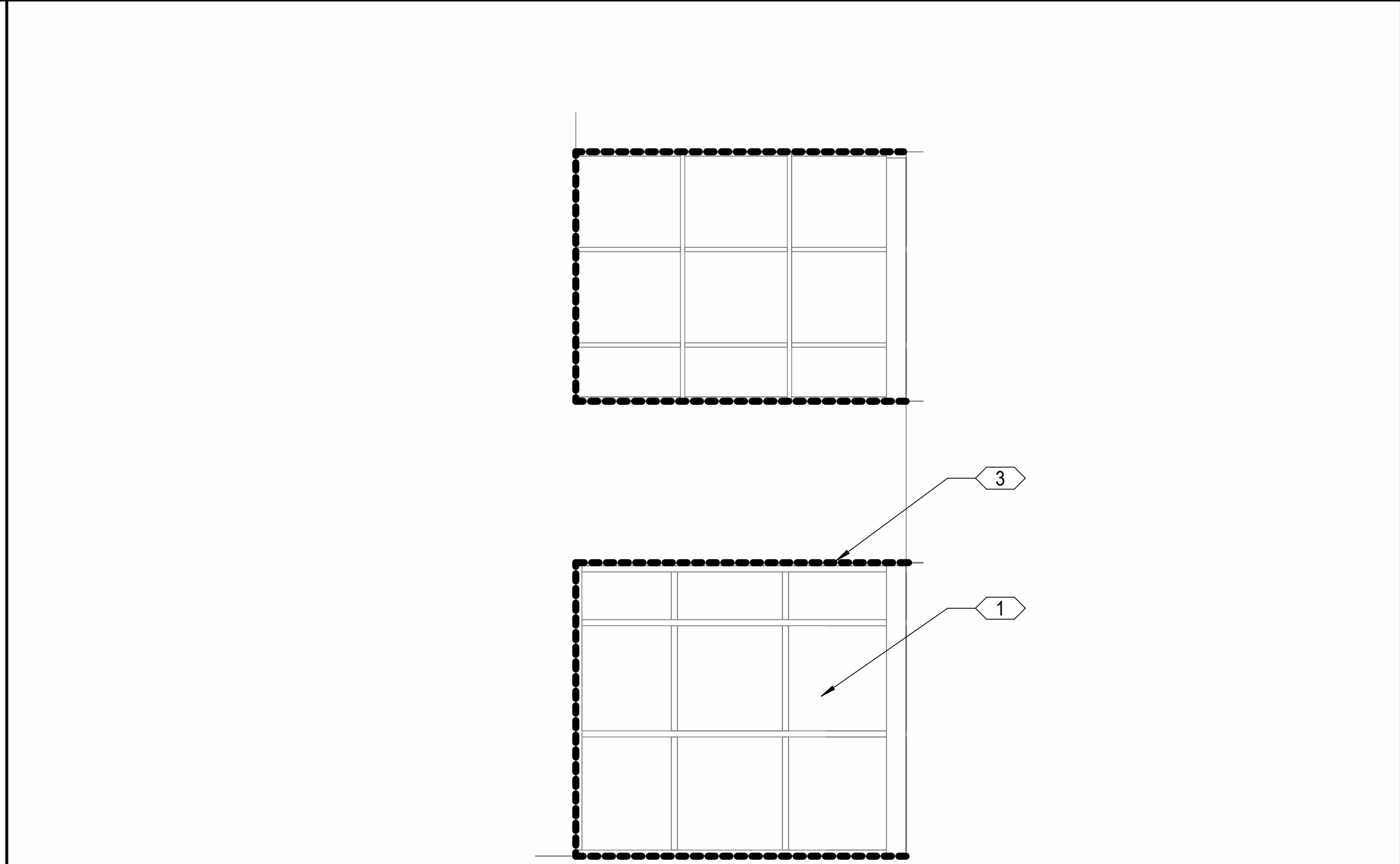
PERMIT SET



1		WINDOW ELEVATION - ENTRANCE SOUTH END
A201	A202	1/4" = 1'-0"



2		WINDOW ELEVATION - ENTRANCE EAST END
A201	A202	1/4" = 1'-0"



3		WINDOW ELEVATION - ENTRANCE WEST END
A201	A202	1/4" = 1'-0"

## KEYNOTES

- 1 REMOVE AND SALVAGE INDIVIDUAL GLAZING PANELS, REMOVE ALL DRY OR WET GASKETING SYSTEMS AND REPLACE WITH DRY GASKETING SYSTEM, AND REINSTALL SALVAGED GLAZING PANELS; CONTRACTOR TO MAKE ALLOWANCE OF 10% OF ALL GLAZING PANELS TO BE REPLACED DUE TO BREAKAGE DURING REMOVAL, AND EXISTING FAILED INSULATION SEALS
- 2 STUCCO SYSTEM PENETRATION OF CURTAINWALL SYSTEM
- 3 REMOVE AND REPLACE ALL PERIMETER BACKER ROD AND SEALANT AT EXTERIOR FACE OF CURTAINWALL OR STOREFRONT WINDOW SYSTEM

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PROJECT:  
ECISO ADMIN



1700 W LEONARD ST,  
PENSACOLA, FL

PROJECT NO. : 21003  
SHEET TITLE:  
ENTRY GLAZING

SHEET NUMBER:

A202

PERMIT SET