

ADDENDUM NO 1

Project: OJAI UNIFIED SCHOOL DISTRICT

CAMPUS-WIDE EXTERIOR PAINTING SAN ANTONIO ELEMENTARY SCHOOL OUSD JOB # 2021-1304 Hartmann Project No.: 2021.032

Date: December 6, 2021

To all bidders submitting proposals for the above captioned project. This Addendum is hereby included in the Contract Documents to the same extent as though it were originally included therein. The following items modify, add to, delete from, or explain the drawings and/or specifications. The contents of this Addendum shall take precedence over the original specifications and plans.

Item #1.1: Revise sheets listed below. Primary change is to repaint all door frames, windows, window frames, and window trim color number four.

Item #1.2: Add sheet A-005 with Portland Cement Plaster specifications for any incidental plaster repair.

Item #1.3: Replace restroom identification sign shown on R/A-104.

ATTACHMENTS: Revised sheets: G-000, A-005, A-101, A-102, A-103, A-104, A-105, A-106, A-107-A-108

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ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
A/C	AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ADJ	ADJACENT, ADJOINING,
	ADJUSTABLE
AUTO	
AVG	AVERAGE
BD BRG	BOARD
BRG BM	BEARING BEAM
BN	BOUNDARY NAILING
BLK	BLOCK
BLKG	BLOCKING
BLW	BELOW
BO	BOTTOM OF
BOT	BOTTOM
BLDG	BUILDING
BW	BOTHWAYS
CB	CARRIAGE BOLT
CEM CF	CEMENT CUBIC FOOT/FEET
CTR	CENTER (ED)
CLO	CLOSET
CLR	CLEAR (ANCE)
CO	CLEANOUT
COL	COLUMN (S)
CONC	CONCRETE
	COORDINATE
CMU	CONCRETE MASONRY
CU FT CJ	CUBIC FOOT CEILING JOIST
CU YD	CUBIC YARD
CW	COLD WATER
(D)	DEMOLISH
DBL	
DEG	()
	DESIGN(ER)
DL	DEAD LOAD
	DETAIL (S)
DIA	DIAMETER DIMENSION (S)
DIM DF	DIMENSION (S) DOUGLAS FIR
DF	DOUGLAS FIR
DS	DOWN SPOUT
DS DW	DISHWASHER
DWG(S)	DRAWING (S)
(E)	EXISTING
Ê	EAST
ËN	
EA	EACH
	ELEVATION
	EQUAL EQUIPMENT
	EQUIVALENT
EB	
EW	EACH WAY
EXP	EXPOSE (D)
EXT	EXTERIOR
FE	FIRE EXTINGUISHER
FN	
FAB	FABRICAT (ED) (ION)
FAR FCO	FLOOR AREA RATIO FLOOR CLEANOUT
FCO	FLOOR DRAIN
	FINISH GRADE
	FLASHING
	FINISH
	FINISH FLOOR
	FLOOR JOIST
	FLOOR LINE
	FLOW LINE
FLR	FLOOR
FLUOR FOC	FLUORESCENT FACE OF CURB
FOU	FACE OF WALL
FOW	FINISHED SURFACE
FT	FOOT, FEET
FTG	FOOTING
FDN	FOUNDATION
FN	FIELD NAILING
GA	GAUGE
GALV	
GC	GENERAL CONTRACTOR
GL	GLASS, GLAZING
GLB	GLUED LAMINATED WOOD BEAM
GPM	GALLONS PER MINUTE
GSM	GALVANIZED SHEET
	METAL
GYP	GYPSUM
H&C	HOT AND COLD
HB	HOSE BIBB
HDR HP	HEADER HORSEPOWER
HVAC	
111AU	A/C
HOR	HORIZONTAL
HT	HEIGHT
HW	HOT WATER
INCL	
ID	INSIDE DIAMETER /
ID	DIMENSION INTERIOR DESIGN (ER)
ID IN	INTERIOR DESIGN (ER)
INS	INSULATE (D) (ING)
INSP	INSPECT (ING) (ION) (OR)
INT	INTERIOR
JT	TNIOL
JST	JOIST
KIT	KITCHEN
LB(S) LAM	POUND (S) LAMINATE (D)
LAM	LAMINATE (D) LAVATORY
LAV	LEDGER
LL	LIVE LOAD
LOS	LINE OF SIGHT
LPT	
MB MEMD	MACHINE BOLT
MEMB MFR	MEMBRANE MANUFACTURER
MFR	MANUFACTURER
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDIUM
MLB	MICRO-LAM BEAM
MTL	METAL
KP	KING POST
MISC	MISCELLANEOUS

NEW

NORTH

MASONRY OPENING

NOT APPLICABLE

NOT IN CONTRACT

MO

(N)

Ν

NA

NIC

NTS	NOT TO SCALE
OC	ON CENTER
ОН	OVERHANG, OVERHEAD
(P)	PROPOSED
Р	POST
PLY	PLYWOOD
	PATH OF TRAVEL
PT	POINT
PCF	POUNDS PER CUBIC FOOT
PLF	POUNDS PER LINEAR
	FOOT
PSI	POUNDS PER SQUARE
	INCH
PREFAB	PREFABRICATE (D)
	PREPARE, PREPARATION
PFN	PREFINISH (ED)
PSL	PARALLEL STRAND
FJL	LUMBER
PTDF	PRESSURE TREATED
	DOUGLAS FIR
PL	PLATE (S)
POE	POINT OF ENTRY
RA	RETURN AIR
RAD	RADIUS
	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REC	RECOMMENDATION
REF	REFER (ANCE)
REQ	REQUIRE (D) (S)
RM	ROOM
RR	ROOF RAFTER
SATC	SUSPENDED ACOUSTICAL
0/110	TILE CEILING
SF	SQUARE FEET, FOOT (AGE)
	SINGLE
	SHEET
	SHEATHING
SIM	SIMILAR
S	SOUTH
SA	SUPPLY AIR
SQ	SQUARE
STAG	STAGGER (ED)
STL	STEEL
SSTL	STAINLESS STEEL
STD	STANDARD
	STRUCT STRUCTURAL,
	STRUCTURAL DWGS
TBD	TO BE DETERMINED
THK	THICK, THICKNESS
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
	TEMPERATURE AND
	PRESSURE
то	
	TOP OF
TOC	TOP OF CONCRETE, TOP OF
	CURB
TOG	TOP OF GRADE
ТОР	TOP OF PAVING, TOP OF
	PLATE
TOS	TOP OF SLAB
TOR	TOP OF ROOF
TOW	TOP OF WALL
TYP	TYPICAL
	UNDERGROUND
	UNLESS NOTED
UNO	
	OTHERWISE
VAR	VARIES, VARIATION
VB	VAPOR BARRIER
VERT	VERTICAL
W	WEST
WD	WOOD
W/	WITH
W/O	WITHOUT
	WATERPROOF (ING)
WRB	WEATHER RESISTIVE BARRIE
YD	YARD

GENERAL PROJECT NOTES

- 1. ALL WORK SHALL CONFORM TO THE 2019 EDITION TITLE 24 CALIFORNIA CODE OF **REGULATIONS (C.C.R.).** 2. THE DRAWINGS AND SPECIFICATIONS AND ALL COPIES THEREOF, ARE LEGAL INSTRUMENTS OF SERVICE FOR THE USE OF THE OWNER AND AUTHORIZED REPRESENTATIVE ON THE DESIGNATED PROPERTY ONLY. OTHER USE, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT, IS PROHIBITED. 3. SPECIFICATIONS, DETAILS AND SCHEDULES WHICH MAY BE BOUND SEPARATELY, ARE PART OF THESE CONTRACT DOCUMENTS. DRAWINGS BY SEPARATELY CONTRACTED CONSULTING PROFESSIONALS (SUCH AS STRUCTURAL, INTERIORS OR LANDSCAPE) AR SUPPLEMENTARY TO THE DESIGN DRAWINGS AND ARE PART OF THESE CONTRACT DOCUMENTS. 4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF INFORMATION IS NOT SHOWN OR IS UNCLEAR. REPORT APPARENT DISCREPANCIES ON DRAWINGS AND/OR SPECIFICATIONS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. 5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVAL FOR ALL WORK. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING THE WORK FOR ALL UTILITIES AND SERVICES. 7. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. QUESTIONS REGARDING THE SAME, OR THEIR EXACT MEANING, SHALL BE DIRECTED TO THE ARCHITECT. 8. CODE REQUIREMENTS: ALL WORK TO COMPLY WITH DIVISION OF THE STATE ARCHITECT REGULATIONS AND CURRENT EDITION OF TITLE 24 CODE OF REGULATIONS. 9. CONSTRUCTION IS TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24. 10. EXISTING CONDITIONS: CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS DESIGNATE AS, OR REQUIRED TO, INTERFACE WITH NEW CONSTRUCTION. REPORT ANY DISCREPANCIES, DEFICIENCIES, OR CONDITIONS INCOMPATIBLE WITH PROPOSED CONSTRUCTION PRIOR TO PROCEEDING. 11. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ALL TEMPORARY BRACING AND SHORING TO ENSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. NOT REMOVE EXISTING STRUCTURAL SUPPORTS OR BEARING WALLS WITHOUT WRITTE PERMISSION FROM THE ARCHITECT OR STRUCTURAL ENGINEER. 12. DIMENSIONS/ NOTES/ DETAILS: DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS A CONDITIONS IN FIELD, AND IMMEDIATELY REPORT ANY DISCREPANCIES OR EXISTING AN PROPOSED VARIATIONS TO THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND COORDINATING DIMENSIONS. ALL WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS. SPECIFIC NOT AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY GENERAL NOTES OR DETAILS. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED AS SIMILAR CONDITIONS DETAILED AND/OR INDICATED ON THE DRAWINGS. ANY WORK INSTALLED IN CONFLICT WITH THE DESIGN DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE. 13. ALL EXTERIOR DIMENSIONS ARE TO ASSUMED FACE OF PLYWOOD SHEATHING OR FACE OF MASONRY UNO. INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH OR CENTERLINE OF WALL UNO. 14. ONLY APPROVED WORKING DRAWINGS, WITH THE STATEMENT "APPROVED DRAWINGS" ARE TO BE USED FOR CONSTRUCTION OF THIS PROJECT. CONTRACTORS USING OTHER THAN APPROVED DRAWINGS ARE SOLELY RESPONSIBLE FOR SUCH WORK. 15. GEOTECHNICAL REPORTS ARE NOT INCLUDED IN THE CONTRACT DOCUMENTS, BUT MAY BE MADE AVAILABLE TO THE CONTRACTOR FOR INFORMATION ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CONCLUSIONS THE CONTRACTOR MAY DRAW FROM SUCH INFORMATION. THE CONTRACTOR SHALL INVESTIGATE AND DETERMINE EXISTING SOILS AND SITE CONDITIONS UNDER WHICH CONTRACTOR WILL OPERATE IN PERFORMING THE WORK. 16. THE CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF DEMOLITION AND CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL RESTRICT GENERAL PUBLIC ACCESS TO THE DEMOLITION, CONSTRUCTION, AND STORAGE AREAS. 17. HAZARDOUS MATERIALS ARE NOT TO BE STORED IN THE BUILDING. NOR USED IN CONSTRUCTION, IN QUANTITIES EXCEEDING THOSE SPECIFIED IN THE CBC. 18. DURING DEMOLITION AND CONSTRUCTION THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXISTENCE AND PRECISE LOCATION OF UNDERGROUND PIPING AND OTHER STRUCTURES WHICH MAY BE AFFECTED BY
- CONSTRUCTION. PROMPTLY NOTIFY EACH UTILITY COMPANY, MUNICIPALITY, OR OTHER AGENCY OWNING OR OPERATING ANY AFFECTED FACILITIES OR STRUCTURES, AND REQUEST ENGINEERING INFORMATION AND MARKING OF FACILITIES IN FIELD, PRIOR TO COMMENCING ANY WORK ON THE SITE. REMOVE ALL ITEMS SPECIFIED TO BE ABANDONED, AND TAKE CARE TO PREVENT ANY DAMAGE TO, OR DISRUPTION OF, ITEMS TO REMAIN.
- 19. WHERE FIRE-RATED WALL OR CEILING ASSEMBLIES ARE PENETRATED BY RECESSED FIXTURES, MECHANICAL DUCTS, OR OTHER ITEMS, THE FIXTURES, DUCTS, OR OTHER ITEMS SHALL BE FIRE-RATED TO MATCH THE WALL OR CEILING ASSEMBLY.
- 20. U.N.O. ALL EXTERIOR DOORS SHALL LIMIT AIR INFILTRATION WHEN IN CLOSED POSITION AS FOLLOWS: PROVIDE WEATHERSTRIPPING AT HEAD, SILL AND JAMBS. INSTALL ASTRAGAL AT MEETING PORTION OF DOUBLE DOORS. DOORS REQUIRING VERTICAL TRACKS OR GUIDES SHALL USE CONTINUOUS MOUNTING ANGLE, AND SHALL BE SEALED TO LIMIT AIR LEAKAGE.
- 21. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACKING, HANGERS, BACK-UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR TH INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES, PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, KITCHEN, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHING.
- 22. CONTRACTOR SHALL VERIFY EXACT SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS, BASE STRUCTURES, ROOF OPENINGS, AS WELL AS POWER, WATER, DRAIN INSTALLATIONS AND STRUCTURAL STEEL SUPPORT LOCATIONS, WHEN APPLICABLE, WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WOR CHANGES TO ACCOMMODATE FIELD CONDITIONS OR APPROVED SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- 23. ALL PIPES, CONDUIT, WIRES, AND DUCTS SHALL BE CONCEALED FROM VIEW UNO. 24. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS, AS DEFINED BY CBC CHAPTER 24, SHALL BE TEMPERED GLASS. SKYLIGHTS ARE TO BE TEMPERED GLASS OR FIBERGLASS AS SPECIFIED.
- 25. INSTALL SEALANT AT JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AND AT PENETRATIONS OF UTILITIES THROUGH THE BUILDING ENVELOPE, TO LIMIT AIR INFILTRATION.
- 26. THE CONTRACTOR SHALL PROVIDE THE OWNER A LIST OF THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR OF THE STATE ENERGY COMMISSION. THE ENERGY "CERTIFICATION OF COMPLIANCE" SHALL B SUBMITTED AFTER THE INSTALLATION OF THE REQUIRED EQUIPMENT AND/OR MATERIAL
- AND PRIOR TO ANY REQUEST FOR A FINAL INSPECTION. 27. ITEMS IN THESE DRAWINGS NOT SPECIFICALLY IDENTIFIED AS EXISTING ARE ASSUMED TO BE NEW
- 28. ALL ASTM AND/OR ANSI DESIGNATIONS REFERRED TO ON THESE DRAWINGS SHALL BE THE LATEST ADOPTED OR REVISED SPECIFICATIONS.
- 29. MATERIAL AND EQUIPMENT NECESSARY FOR WORK SHALL NOT BE PLACED OR STORED ON PUBLIC PROPERTY SO AS TO OBSTRUCT A FREE AND CONVENIENT APPROACH TO AN USE OF ANY FIRE HYDRANT, FIRE OR POLICE ALARM BOX, UTILITY BOX, CATCH BASIN OR MANHOLE OR SO AS TO INTERFERE WITH THE FREE FLOW OF WATER IN STREET OR ALLE GUTTER. PROTECTION AGAINST DAMAGE SHALL BE PROVIDED TO SUCH UTILITY FIXTURE DURING THE PROGRESS OF THE WORK, BUT SIGHT OF THEM SHALL NOT BE OBSTRUCTED
- 30. WHERE NOT SPECIFICALLY DESCRIBED IN ANY OF THE NOTES OR SPECIFICATIONS, WORKMANSHIP SHALL CONFORM TO THE METHODS AND OPERATIONS OF BEST STANDARDS AND ACCEPTED PRACTICES OF THE RESPECTIVE TRADE.
- 31. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND PLACED SO AS NO TO ENDANGER THE PUBLIC, THE WORKERS OR ADJOINING PROPERTY FOR THE DURATION OF THE CONSTRUCTION PROJECT.
- 32. REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING REMODELING, ALTERATIONS, REPAIRS OR ADDITIONS TO THE BUILDING UNLESS THE REQUIRED ELEMENTS OR DEVICES ARE BEING REMODELED, ALTERED, OR REPAIRED IN WHICH CASE ADEQUATE SUBSTITUTE PROVISIONS SHALL BE MADE.
- 33. SERVICE UTILITY CONNECTIONS SHALL BE DISCONTINUED AND CAPPED IN ACCORDANC WITH THE APPROVED RULES AND THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- 34. SANITARY FACILITIES SHALL BE PROVIDED DURING CONSTRUCTION, REMODELING, OR
- DEMOLITION ACTIVITIES IN ACCORDANCE WITH 2019 CPC. 35. AREAS OF CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NO
- LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER PER 2019 CFC.

	GENERAL DEMOLITION NOTES
<list-item><list-item><list-item><list-item><list-item><list-item> 38. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DEMOLITION, REMODELING, ALTERATIONS, AND ADDITIONS TO BUILDING UNE SBAPPROVED ED THEMPORARY MEANS OF EGRESS SYSTEMS AND FACILITES HAVE BEEN PROVIDED. 39. PRICHTRATIONS OF IRE-RESISTANCE-RATED WALLS AND HORIZONTAL ASSEMBLIES. SHALL BE PROTECTED AS REQUIRED IN CRESSECTIONS TIA 4 AND TIAS. 30. THETHER TOON STRUCTION STRUCTIONS SHALL BE AVAILABLE ON THE JOB STRUCTION WORK TO E INSUR THAT IT IS BUILT IN CONFORMANCE WITH THE ADSTRUCTIONS STRUCTION WORK TO E OSING AND SPECIFICATIONS. THE ARCHITECT WILL PROVIDE ONLY PERIODIC OSERVATION OF THE WORK. SEE DSAI INSPECTION REQUIREMENTS IS LISTED IN NOTE 44. 40. GRADING PLANS, DRAINAGE UMPROVEMENTS, ROAD & ACCESS REQUIREMENTS AND SPECIFICATIONS. SHALL COMPLY WITH ALL LOCAL CONSTRUCTION WORK TO E INSURING SOLUCIES REQUIREMENTS AND SPECIFICATIONS. SHALL COMPLY WITH ALL LOCAL CONSTRUCTION OR WORK. SEE DSAI INSPECTION DO THE CARIFORMANCE WITH THE APPROVAD OT DSAFONDANCES. 40. GRADING PLANS, DRAINAGE UMPROVEMENTS, ROAD & ACCESS REQUIREMENTS AND SPECIFICATIONS SHALL COMPLY WITH ALL LOCAL CONSTRUCTION, GORMINA COSIDE AND SPECIFICATIONS THE DRAININGS OF ACCEPTED BY THE ARCHITEST O BE DONG ONLY WHEN SO DETAILED IN THE DRAWINGS OF ACCEPTED BY THE ARCHITEST TO BE DONG ONLY WHEN SO DETAILED IN THE DRAWINGS OF ACCEPTED BY THE ARCHITEST O BE DONG ONLY WHEN SO DETAILED IN ACCORDANCE WITH THE APPROVAD OF THE CALFORNIA BUILDING COBE AND MACNA GUIDELINES PUBLISATION OF THE CALFORNIA BUILDING COBE AND MACNA GUIDELINES PUBLISATION OF AND APPROVED BY DS AGONG AND APPROVED BY DS AGONG AND APPROVED BY DS AGONG AND SPECIFICATION SHALL BE AND LOCAMING AND APPROVED BY DS AGONG AND APPROVED BY THE APPROVAL OF THE ARCHITEST, AMECHANICA AND APPROVED BY THE APPROVAL DO THE WORK. SET DA PROVED BY AGONG AND APPROVED BY THE APPROVAL DO THE WORK. SET DA DE CRENTENDE ADAGONG AND SPECI</list-item></list-item></list-item></list-item></list-item></list-item>	 GENERAL DEMOLITION NOTES IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULL" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED. ALL EXISTING CONDITIONS REPRESENTED MUST BE VERIFIED IN THE FIELD. USE ADEQUATE NUMBERS OF SKILLED WORKEN WHO AND RET HOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. CORRECT CONDITIONS DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE DEFORMED. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION AND REMOVAL OF ITEMS. COMPLETION OF GREAT CONDENS TO BE LEMITACT. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. COMPLETLY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED. LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED LESEWHERE. SALVAGE: AFTER CAREFUL REVIEW OF THE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION. IDENTIFY THOSE ITEMS THAT ARE GOOD CANDIDATES FOR RE-USE AND CAREFULL REVIEW OF THE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION. DEMITY THOSE THEMS THAT ARE GOOD CANDIDATES FOR RE-USE AND CAREFULL REVIEW OF THE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION. IDENTIFY THOSE STRUES TON THE APPROVAL OF THE DEGISINER AND AT NO ADDITION AT CHAINAS SHOULSHED MATERIALS SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE. SUPLACEMENTS. IN THE EVENT OF DEMOLITIO
 PARTIAL LIST OF APPLICABLE CODES AND STANDARDS AS OF JANUARY 1, 2020 2019 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24) PART 1 - CALIFORNIA ADMINISTRATIVE CODE (CAC) PART 2 - CALIFORNIA BUILDING CODE VOLUMES 1 AND 2 (CBC) PART 3 - CALIFORNIA MECHANICAL CODE (CRC) PART 5 - CALIFORNIA ENERGY CODE (CPC) PART 6 - CALIFORNIA ENERGY CODE (CPC) PART 7 - VACANT PART 9 - CALIFORNIA ENERGY CODE (CPC) PART 9 - CALIFORNIA FIRE CODE (CFC) PART 9 - CALIFORNIA FIRE CODE (CFC) PART 10 - CALIFORNIA FREE CODE (CFC) PART 11 - CALIFORNIA REFERENCED STANDARDS CODE (CALGREEN) PART 12 - CALIFORNIA REFERENCED STANDARDS CODE (CALGREEN) PART 12 - CALIFORNIA REFERENCED STANDARDS CODE (CALGREEN) PART 12 - CALIFORNIA REFERENCED STANDARDS CODE (CALGREEN) PART 13 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) PART 14 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) PART 15 - CALIFORNIA FREFERENCED STANDARDS CODE (CALGREEN) PART 14 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) PART 14 - STANDARD FOR INSTALLATION OF STANDPIPE AND HOSE SYSTEM NFPA 14-16 STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEM NFPA 20-16 STANDARD FOR THE INSTALL OF STATIONARY PUMPS FOR FIRE PROTECTION NFPA 24-16 INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES NFPA 24-16 INSTALLATION OF FIRE SAFETY AND EMERGENCY SYMBOLS NFPA 24-17 STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS NFPA 2421-13 STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS NFPA 252-17 STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS NFPA 252-17 STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS NFPA 252-17 STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS NFPA	 20. THE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES. 21. UNLESS CALLED OUT TO BE SALVAGED FOR RE-USE, ALL ITEMS NOT NOTED AS "EXISTING TO REMAIN" ARE TO BE REMOVED AND DISCARDED. 22. CONSTRUCTION, MASTE REDUCTION, DISPOSAL AND RECYCLING R334.1 CGBC DIV 4 23. DECONSTRUCTION, DEMOLITION, AND CONSTRUCTION DEBRIS DIVERSION: A. CONTRACTOR TO DEVISE AND IMPLEMENT A DECONSTRUCTION, DEMOLITION, AND CONSTRUCTION DEBRIS PROGRAM. THE PROGRAM SHALL BE PRESENTED AND APPROVED BY THE OWNER'S REPRESENTITIVE PRIOR TO COMMENCEMENT OF WORK. WASTE PREVENTION AND RECYCLING ACTIVITIES TO BE DISCUSSED AT THE BEGININING OF EACH SAFETY MEETING. SUBCONTRACTORS TO COMPLY WITH THE CONTRACTOR'S POGGRAM. B. DECONSTRUCTION: EXISTING MATERIALS NOTED TO BE DISCARDED AND IDENTIFIED AS RE-USABLE SUCH AS WALL TILE, PLUMBING HARDWARE, LIGHT FIXTURES, TOLET PARTITIONS, ET. TO BE CAREFULLY REMOVED, MINIMALLY PROCESSED, SORTED AND SECURELY STORED FOR DONATION TO HABITIFY FOR HUMANITY'S RESTORE (I805) 981-2268) OR SIMILAR SALVAGE COMPANY. CONTRACTOR TO PROVIDE WRITTEN DOCUMENTATION THAT RE-USABLE ITEMS HAVE BEEN ACCEPTED DO RELECTED BY SALVAGE COMPANY. C. DEMOLITION: EXISTING MATERIALS NOTED TO BE DISCARDED AND DISMILAR SALVAGE COMPANY. C. DEMOLITION: EXISTING MATERIALS NOTED TO BE DISCARDED AND DISMIFIED AS NOT RE-USABLE BUT RECYCLABLE SUCH AS GYPSUM BOARD, METALS, GLASS, CONCRETE, ETC. TO BE REMOVED AND HAULED TO DEL NORTE REGIONAL RECYCLING & TRANSFER FACILITY (1805) 278-8200) OR SIMILAR FACILITY FOR RECYCLING & TRANSFER FACILITY (1805) 278-8200) OR SIMILAR FACILITY FOR RECYCLING & TRANSFER FACILITY (1805) 278-8200) OR SIMILAR FACILITY FOR RECYCLABLE TEMS HAVE BEEN ACCEPTED BY DISPOSAL FACILITY. D. CONSTRUCTION :RECYCLABLE CONTRACTOR TO PROVIDE WANTER ACCEPTED BY DISPOSAL FACILITY. <!--</th-->
SPECIAL INSTRUCTIONS	
NONE NONE	PROJECT LOCATION GRAND AVE.
DEFERRED SUBMITTALS	
NONE	EAST OJALAVE.

DRAWING SHEET INDEX]	AGENCY APPROVAL:
G-000TITLE SHEETA-001GENERAL NOTES & SPECIFICATIONSA-002GENERAL NOTES & SPECIFICATIONSA-003GENERAL NOTES & SPECIFICATIONSA-004GENERAL NOTES & SPECIFICATIONSA-005GENERAL NOTES & SPECIFICATIONSA-101SITE PLANA-102SITE PLANA-103BUILDING A		
A-105BUILDING BA-106BUILDING C & DA-107BUILDING C & DA-108BUILDING C & DA-201DETAILSTOTAL NO OF SHEETS: 15	D	HARTMANN ARCHITECTURE STUDIO HARTMANNARCHITECTURESTUDIO.COM 430 S. CARRILLO RD. 0JAI, CALIFORNIA 93023 (805) 530-5559 CONSULTANTS:
	с	
		SEALS: CENSED ARCH $CENEWALD HTP FWALD HTPFWALD HTPFWALD HTP FWALD HTPFWALD HTP FWALD HTPFWALD HTP$
		PROJECT: SAN ANTONIO ELEMENTRY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING
	В	OWNER: OJAI UNIFIED SCHOOL DISTRICT 414 EAST OJAI AVENUE OJAI, CA 93023 (805) 640-4300 CONTACT: ADAM DUTTER EMAIL: adutter@ojaiusd.org
		SAN ANTONIO ELEMENTARY SCHOOL 650 CARNE ROAD. OJAI, CA 93023 OJAI USD PROJECT NO.: 2021-1304
PROJECT SCOPE		MARKDATEDESCRIPTION112/6/2021ADDENDUM #1
THE PROJECT SCOPE PRIMARILY CONSISTS OF THE FOLLOWING: CAMPUS-WIDE PAINTING OF EXISTING BUILDINGS AND SITE STUCTURES AT A ELEMENTARY SCHOOL AND ASSOCIATED MINOR CARPENTRY AND FINISH REPAIRS.		Image: Constraint of the second sec
	А	PROJECT INFORMATION: PROJECT NUMBER: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS REVIEWED BY: MH THE ORIGINAL SIZE OF THIS SHEET IS 36"x24". IF THE CURRENT SIZE IS OTHER THAN 36"x24". THEN ADJUST THE SCALE OF THE DRAWINGS ACCORDINGLY. SHEET TITLE:
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SECTION 09 24 00 PORTLAND CEMENT PLASTER

PART 1- GENERAL

1.01 SUMMARY

- A. Section Includes: Work includes all labor, materials, and equipment necessary to install all aspects of portland cement plaster.
- B. Related Sections [Delete unneeded sections.]
- 1. 03 30 00 Cast-in-Place Concrete
- 2. 04 20 00 Unit Masonry 3. 05 40 00 – Light gauge cold-formed steel framing
- 4. 06 11 00 Wood Framed Construction
- 5. 06 16 00 Sheathing
- 6. 07 90 00 Joint Sealers 7. 09 29 00 – Gypsum Board

1.02 REFERENCES [Delete unneeded references.]

- A. ASTM C150 Portland Cement B. ASTM C847 – Standard Specification for Metal Lath
- C. ASTM C1032 Woven Wire Plaster Base
- D. ASTM C933 Welded Wire Lath
- E. ASTM C144/C897 Aggregate for Job-Mixed Portland Cement-Based Plaster F. ASTM C926 – Application of Portland Cement-Based Plaster
- G. ASTM C1063 Installation of Lathing and Furring for Portland Cement Based Plaster
- H. PCA (Portland Cement Association) Plaster (Stucco) Manual
- I. Plaster and Drywall Systems Manual, Third Edition J. ICC-ES Acceptance Criteria for Weather-resistive Barriers (AC38)
- K. Omega Three Coat Systems Details (TCS)

1.03 SYSTEM DESCRIPTION

- A. General: Portland cement plaster is comprised of a water-resistive barrier,
- optional sheathing, metal lath, scratch and brown coats, and a finish coat. B. Application Methods: The plaster is applied directly to a structure at the

1.04 SUBMITTALS

construction site.

- A. Product Data: All product data sheets, evaluation reports, details, and warranty information that pertain to the project in accordance with Section 01 30 00 Submittal Procedures.
- B. Samples: Submitted upon request.
- 1. Samples of the finish coat shall be of an adequate size as required to represent each color and texture to be utilized on the project and produced using the same techniques and tools required to complete the project.
- 2. Retain approved samples at the construction site throughout the application process.

1.05 QUALITY ASSURANCE

A. Qualifications:

С

- 1. Manufacturer: System component materials shall be manufactured or approved by Omega Products International, Inc. and shall be distributed by the same or its authorized dealers.
- B. Plastering Contractor:
- 1. Shall specialize in cement plasterwork with documented experience. 2. Shall provide proof of current contractor's license and bond where required. C. On-Site Mock-Ups: Produced upon request.
- 1. Prior to commencement of work, provide a mock-up for approval. 2. Mock-up suitable to represent the products to be installed for each color and texture constructed using the same tools and techniques to be utilized on the
- 3. Retain approved mock-up at job site throughout the application process. a. Where acceptable to the Architect, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Delivery: Deliver all materials to the construction site in their original, unopened
- packaging with labels intact. B. Inspection: Inspect the materials upon delivery to assure that specified products have been received. Report defects or discrepancies to the responsible party according to the construction documents; do not use reported material for application
- C. Storage: Store all products per manufacturer's recommendations. Generally, store materials in a cool, dry location; away from direct contact with the ground and/or concrete; out of direct sunlight; and protect from weather and other damage.

1.07 PROJECT CONDITIONS

- A. Environmental Requirements: Follow product manufacturer's recommendations for environmental conditions and surface preparation.
- 1. Temperatures: Before, during and following the application of the portland cement plaster, the ambient and surface temperatures must remain above 40° F (4°C) for a minimum period of 24 hours. Protect stucco from uneven and excessive evaporation, especially during hot, dry and/or windy weather.
- Protect the portland cement plaster from freezing for a period of not less than 24-hours after set has occurred. 2. Substrates: Prior to installation, inspect the wall for surface contamination or other defects that may adversely affect the performance of the materials, and
- shall be free of residual moisture. Do not apply the portland cement plaster to substrates whose temperature are less than 40°F (4°C) or contain frost or ice. 3. Inclement Weather: Protect applied material from inclement weather until dry. B. Existing Conditions:
- 1. Jobsite Resources: Provide access to electrical outlets, clean, potable water, and a suitable work area at the construction site throughout the application of the portland cement plaster.

1.08 SEQUENCING AND SCHEDULING

- A. Sequencing: Coordinate the installation of the portland cement plaster with all other construction trades. To reduce the likelihood of the stucco cracking, it is recommended the building carry a minimum of 90 percent of the dead building load and the interior gypsum be installed prior to installation of the stucco.
- B. Staffing: Provide sufficient manpower to ensure continuous operation, free of cold joints, scaffolding lines, variations in texture, etc.

1.09 WARRANTY

- A. System Warranty: Submit documentation on **<insert Omega finish name>** standard warranties. At completion of work, provide written system warranty documentation
- B. Warranty Length: [One (1)] [Three (3)] [Five (5)] [Six (6)] [Eight (8)] years commencing at the time of substantial completion. [See Omega Product's System Warranties for more information. The warranty length depends upon the combination of products used in the system. Longer warranties are possible when the scratch and brown materials are manufactured by Omega Products International, Inc.]

1.10 MAINTENANCE

- A. The following materials shall be presented to the owner following the application of the work:
- 1. One container of finish for each color and texture utilized on the project. 2. A maintenance program for finishes as required.

PART 2 - PRODUCTS

2.01 MANUFACTURERS

A. Acceptable Manufacturer: Omega Products International, Inc.

2.02 SCRATCH AND BROWN COAT

- A. Cement: [A low alkali portland cement-based stucco complying with ASTM C150.] [Plastic cement complying with ASTM C1328.] B. Sand:
- 1. Sand must be clean and free from deleterious amounts of loam, clay, silt, soluble salts and organic matter.
- 2. Sampling and testing must comply with ASTM C144 or C897.
- C. Water: Clean and potable without foreign matter. D. [An optional admixture may be added to the Super Cement mix to increase tensile, bond, flexural strength, and/or accelerate hydration. Delete section if no admixture is used or choose one of the following and delete the others.] [AkroLoc: A 100% acrylic polymer bonder or admixture manufactured by Omega Products International, Inc.]
- [PolyLoc: Poly-vinyl acetate (PVA) bonder or admixture manufactured by Omega Products International, Inc.] [Admix 500: A 100% acrylic polymer admixture manufactured by Omega

Products International, Inc.] [OmegaCure: A non-corrosive liquid admixture for accelerating the hydration of cement plaster manufactured by Omega Products International, Inc.]

2.03 WATER-RESISTIVE BARRIER

- [Delete the options that are not used in the project. Choose the WRB option.] A. Over Open Framing [and non-Wood-based Sheathing]: [One layer of D kraft building paper complying with UBC Standard 14-1.] [One layer of asphalt-saturated felt complying with ASTM D226 Type I] [Equivalent material recognized in a current evaluation report as complying with the ICC-ES Acceptance Criteria for Water-resistive Barriers (AC38).] [AkroGuard: Acrylic-based, vapor-permeable water-resistive/air barrier coating manufactured by Omega Products International, Inc.]
- **B.** Over Wood-based Sheathing: [Two layers of D kraft building paper complying with UBC Standard 14-1.] [Two layers of asphalt-saturated felt complying with ASTM D226 Type I] [Double layer of equivalent material recognized in a current evaluation report as complying with the ICC-ES Acceptance Criteria for Water-resistive Barriers (AC38).1

[AkroGuard: Acrylic-based, vapor-permeable water-resistive/air barrier coating manufactured by Omega Products International. Inc.

2.04 LATH

- **A.** [Choose one of the following lath options and delete the other options.] [Woven-Wire Lath: Nominal No. 17 gauge (0.058 inch), 1.5-inch opening, galvanized steel complying with ASTM C1032.]
- [Welded Wire: Nominal No. 16 gauge (0.065 inch), 2-inch-by-2-inch opening, galvanized steel complying with ASTM C933.] [Expanded Lath: Nominal [2.5 lb/yd2] [3.4 lb/yd2] weight, galvanized steel
- complying with ASTM C847.] [Rib Lath: Nominal 3.4 lb/yd2 weight, galvanized steel complying with ASTM C847. [For soffit use only.]]

2.05 SHEATHING

- **A.** [Sheathing is optional. If sheathing will be used, then choose one the following and delete the others. If no sheathing will be used then delete this section. [Gypsum Board: Water-resistant treated core gypsum sheathing must comply with ASTM C79 or C1396.]
- [Gypsum Board: Glass mat faced, water-resistant treated core gypsum sheathing must comply with ASTM C1177 and be recognized in a current evaluation report.]
- [Gypsum Board: Water-resistant exterior fiber-reinforced gypsum sheathing must comply with ASTM C1278 and be recognized in a current evaluation report.] [Fiberboard: Minimum 1/2-inch-thick (13mm), asphalt-impregnated fiberboard must comply with ASTM C208 as a regular density sheathing.] [Wood-based Structural Panels: <insert thickness>-inch-thick [plywood] [OSB]. [Plywood must be exterior or Exposure 1 and comply with DOC PS-1 or UBC
- Standard 23-2, as applicable.] [OSB must be Exposure 1 and comply with DOC PS-2, or UBC Standard 23-3, as applicable.]] [Insert the thickness and choose plywood or OSB references.]

2.06 ACCESSORIES

- [Delete the accessories from this section as needed.] A. Caulking: [Acrylic latex complying with ASTM C834] [Polyurethane, polyurethane modified, polysulfide, or silyl-terminated polyether elastomeric
- sealant complying with ASTM C920]. B. Vapor Retarder: A vapor retarder complying with the International Energy Conservation Code (IECC) Section 402.5 or 502.5 or IRC Section R318.1 must be
- provided. [Provide a vapor retarder per local code, unless its omission is permitted under the exceptions in IECC Section 402.5 or 502.5 or IRC Section R318.1] C. Flashing: Flashing complying with UBC Section 1404.2, IBC Section 1405.3 or IRC Section R703.8, as applicable, must be provided.
- D. Fasteners: Nails, staples, or screws used to rigidly secure lath and associated accessories shall be corrosion-resistant and meet the minimum requirements of ASTM C1063.
- E. Zinc and Zinc-Coated (Galvanized) Accessories: The following accessories shall be fabricated from [zinc] [or] [zinc-coated (galvanized) steel].
- 1. Corner Aid: Minimum 26-gauge thick; expanded flanges shaped to permit complete embedding in plaster; minimum 2 in. wide; [Square-edge] [Bull-nose] style; use unless otherwise indicated. 2. Strip Mesh: Metal Lath, 3.4 lb/yd² expanded metal; 6 in. wide x 18 in. long.
- 3. Vent Screed: Minimum 26-gauge thick; thickness governed by plaster thickness; minimum 4-inch (102 mm) width, double "V" profile, with perforated expanse between "V's" of longest possible lengths.
- 4. Casing Bead: Minimum 26-gauge thick; thickness governed by plaster thickness; maximum possible lengths; expanded metal flanges, with square
- 5. Drip Screed: Minimum 26-gauge thick, depth governed by plaster thickness, minimum 3-1/2 in. high flange, maximum possible lengths.
- 6. Control and Expansion Joints: Depth to conform to plaster thickness; use maximum practical lengths.
- a. Control Joints: One-piece-type, folded pair of unperforated screeds in <insert shape: M-shaped, double V, etc.> configuration; removable protective tape on plaster face of control joint.
- b. Expansion Joints: [Two-piece-type formed to produce a slip-joint.] [Pair of casing beads with sealant between.]
- F. Plastic Trim: Fabricated from high-impact PVC. 1. Cornerbeads: With perforated flanges. [Square-edge] [Bull-nose] style; use unless otherwise indicated.
- 2. Casing Beads: With perforated flanges in depth required to suit plaster bases indicated and flange length required to suit applications indicated. <insert style> style; use unless otherwise indicated.
- 3. Control Joints: One-piece-type, folded pair of unperforated screeds in **<insert shape:** M-shaped, double V, etc.> configuration; removable protective tape on
- plaster face of control joint. 4. Expansion Joints: [Two-piece-type formed to produce a slip-joint.] [Pair of casing beads with sealant between.]

2.07 CRACK ISOLATION SYSTEM [Optional secondary fiberglass mesh

reinforcement designed to reduce the likelihood of cracking. See Omega Product's Crack Isolation System data sheet for additional information. Delete this section if not used in the project.]

- A. Mesh: Alkali resistant, 4.5 oz., woven glass fiber fabrics specially manufactured by Omega Products International, Inc.
- B. Base coat: [CI-Base] [DryBond] [StyroGlue DryBond] [StyroGlue] [Foamtek] manufactured by Omega Products International, Inc. [Delete this option if fiberglass mesh is directly embedded into brown coat.]

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2.08 FOAM ARCHITECTURAL DETAILS [Optional foam architectural details. If using lath wrapped foam details, delete Foam Mesh and Foam Base coat options. Delete section if foam architectural details not used on the project.]

- A. Foam: EPS foam, 1.0 lb/ft² minimum density.
- B. Foam Mesh: Alkali resistant, **[2.0 oz.] [4.5 oz.]**, woven glass fiber fabrics specially manufactured by Omega Products International, Inc. C. Foam Base coat and Adhesive: [DryBond] [StyroGlue DryBond] [StyroGlue]
- **[Foamtek]** manufactured by Omega Products International, Inc.

2.09 PRIMER

A. [OmegaFlex] [AkroFlex] primer manufactured by Omega Products International. [Primer is optional, but is recommended when using acrylic-based finishes. Delete this section if primer will not be used on the project. The use of primer will increase the standard acrylic finish warranty by three years.]

2.10 FINISHES

A. [Choose one or more of the following finishes and delete the remaining ones.] [ColorTek <insert finish name>: Portland cement-based stucco finishes manufactured by Omega Products International, Inc. [Standard system warranty is 1 year. See Omega Product's System Warranties for additional information.]] [OmegaFlex <insert finish name>: 100% acrylic-based finish manufactured by Omega Products International, Inc. [Standard system warranty is 3 years. See Omega Product's System Warranties for additional information.]] [AkroFlex <insert finish name>: 100% acrylic-based finish manufactured by Omega Products International, Inc. [Standard system warranty is 3 years. See Omega Product's System Warranties for additional information.]] [AkroSil <insert finish name>: Silicon enhanced acrylic-based finishes manufactured by Omega Products International, Inc. [Standard system warranty is 5 years. See Omega Product's System Warranties for additional information.]] [AkroLastic <insert finish name>: Elastomeric acrvlic-based finishes manufactured by Omega Products International, Inc. [Standard system warranty is 5 years. See Omega Product's System Warranties for additional information.]] [Travertino: Portland cement-based sedimentary stone finish manufactured by Omega Products International, Inc. [Standard system warranty is 7 years. See Omega Product's System Warranties for additional information.]] [AkroCoat: 100% acrylic paint manufactured by Omega Products International. Inc. [Standard system warranty is 1 year. See Omega Product's System Warranties for additional information. [Elastomeric 44: 100% acrylic, elastomeric coating manufactured by Omega Products International, Inc. [Standard system warranty is 1 year. See Omega Product's System Warranties for additional information.]] B. Color and Texture: Color and finish texture shall be as selected by the Architect.

2.11 MIXES

- A. Portland Cement Plaster: Mix and proportion cement plaster in accordance with ASTM C926
- B. Finishes: Mixing and tinting instructions are contained in the appropriate product data sheets by Omega Products International, Inc.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Prior to the application of the portland cement plaster the plastering contractor shall ensure that:
- 1. Surface and site conditions are ready to receive work. 2. Grounds and Blocking: Verify that the items within the walls for other sections of work have been installed.
- B. Substrates: 1. Acceptable substrates must be securely fastened per applicable building code requirements.
- 2. Acceptable substrates and adjacent materials must be dry, clean, and sound. Substrate surface must be flat, free of fins or planar irregularities greater than ¹/₄-nch in 10-feet (6mm in 3m).
- C. Flashings: All flashing around windows, at deck attachments, utility penetrations, roof lines, etc. and all kick-out flashing must be properly installed prior to application of portland cement plaster.
- D. Unsatisfactory conditions shall be reported to the general contractor and/or builder and/or architect and/or owner. Do not proceed until all unsatisfactory conditions have been corrected. Beginning of installation means acceptance of existing conditions.

3.02 PREPERATION

- A. Substrate: Clean the substrate to which the plaster is to be applied, ensuring that there are no foreign materials present; including, but are not limited to, oil, dirt, dust form release agents, efflorescence, paint, wax, water repellants, moisture,
- frost, and or extended nails that may rupture the water-resistive barrier. B. Surrounding Areas: Protect surfaces near the work of this section from damage. disfiguration, and overspray. Mask off all dissimilar materials.

3.03 INSTALLATION. GENERAL

A. General Installation: Refer to <insert local code>, ASTM C926, ASTM C1063, and/or the appropriate manufacturer's product data sheet for additional installation requirements and recommendations.

3.04 INSTALLING WEATHER PROTECTION

- A. Water-Resistive Barrier: Apply water-resistive barrier complying with Section 1404.2 of the IBC, Section R703.2 of the IRC or Section 1402.1 of the UBC.
- B. Flashing: Install flashing and trim per **<insert local code>**. [Install flashing and trims properly to insure moisture does not accumulate and can easily drain to the exterior. All openings shall be properly flashed and designed to allow water to escape to the outside of the wall. All penetrations shall be properly flashed and/or sealed using approved methods. Walls should be designed to prevent bulk water from getting behind the stucco or running down the face of the stucco. The bottom of the wall is required to have weep screed or another effective means to drain any water that may get behind the stucco.]

3.05 INSTALLING LATH

A. General: Installed per ASTM C1063.

3.06 INSTALLING PORTLAND CEMENT PLASTER

- A. Application Over Metal Lath: Apply per ASTM C926 and C1063. Apply portland cement plaster by hand-troweling or machine-spraying to a nominal thickness of 3/8-inch (9.5mm) scratch coat and to a nominal thickness of 3/8-inch (9.5 mm) brown coat.
- B. Leveling Coat: Over concrete or concrete block using no wire lath shall be a maximum of 1/2-inch (13mm) thick [Bonding agents such as Omega Bond Crete manufactured by Omega Products International, Inc. may be required. Delete if the portland cement plaster will not be applied directly to masonry or concrete walls.]
- C. Moist Curing: Provide sufficient moisture by fog or moist curing to permit proper hydration of the cementitious materials. The length of time and most effective procedure for curing will depend on climatic and job conditions.

3.07 INSTALLING CRACK ISOLATION SYSTEM [Deleted this section if not used.]

A. [Choose one of the following methods.] [Brown Coat Method: Before final set has occurred, fully embed mesh into the brown coat. A minimum two-inch (51 mm) overlap is required. Brown coat surface shall be left suitable for the application of the finish.] [Base Coat Method: After brown coat has properly cured, apply base coat to wall and fully embed mesh into base coat. See the appropriate Omega product data sheet for mixing and application instruction. A minimum two-inch (51 mm) overlap is required at all mesh joints. Base coat surface shall be left suitable for the application of the finish.]

- **3.08 INSTALLING FOAM ARCHITECTURAL DETAILS** [Delete if not used.]
- A. Attaching Foam: Apply foam shapes after the plaster has set. Use foam adhesive to attach EPS foam shapes to the wall. See base coat product data sheet for additional information.
- B. Coating Foam: Apply foam base coat and embed mesh. Overlap mesh onto the plaster a minimum of 1.5-inches (38mm). [Delete this section if using pre-coated foam shapes.]
- C. Lath Wrapped Foam Details: Attach foam shape to wall using mechanical attachment prior to application of base coat. Lath foam shape using approved metal lath and corner aid. [Delete this section if using pre-coated or adhesively attached foam shapes.]

3.09 INSTALLING FINISH COAT

- A. General: Apply per manufacturer's product data sheet.
- B. Verification: Verify the desired color and texture match the approved sample and/or mock-up prior to installation.

3.10 CLEANING

A. Cleaning: Remove any and all materials used, overspray from adjacent surfaces, and all protective masking.

3.11 PROTECTION

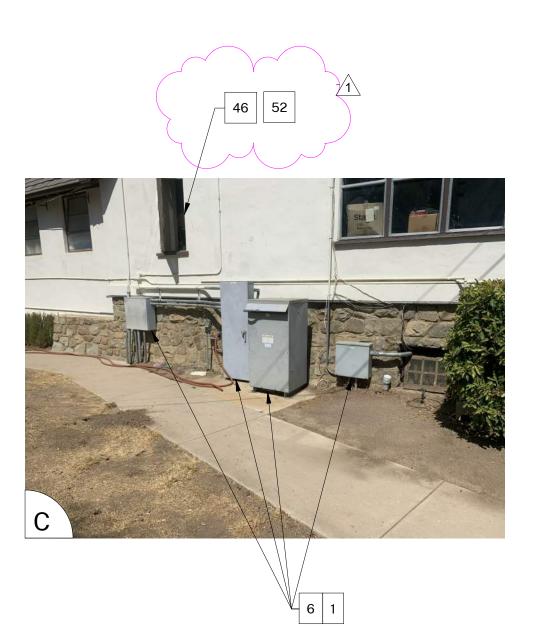
A. Protection: Protect applied material from inclement weather until dry and prevent it from freezing for a minimum of 24-hours after set and/or until dry. Refer to manufacturer's product data sheet for additional requirements.

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END OF SECTION 09 24 00

	AGENCY APPROVAL:
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	OWNER: OJAI UNIFIED SCHOOL DISTRICT 414 EAST OJAI AVENUE OJAI, CA 93023 (805) 640-4300 CONTACT: ADAM DUTTER EMAIL: adutter@ojaiusd.org PROJECT ADDRESS: SAN ANTONIO ELEMENTARY SCHOOL 650 CARNE ROAD. OJAI, CA 93023 OJAI USD PROJECT NO.: 2021-1304 ISSUE: MARK DATE DESCRIPTION DESCRIPTION PROJECT INFORMATION: 2021.032 PROJECT INFORMATION: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS REVIEWED BY: MH WHEET TITLE: SHEET TITLE:
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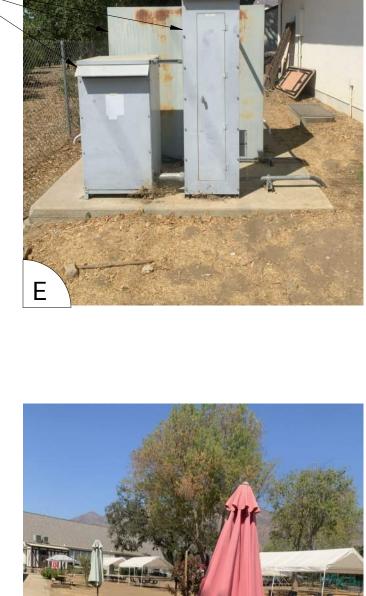




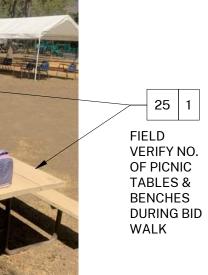
SHEET KEYNOTES

- PAINT COLOR 1
 PAINT COLOR 2
- 3. PAINT COLOR 2
- 4. REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- 5. PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
 6. PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND U.N.O.
- 7. PREP / PAINT: EXISTING SIGNAGE IN PLACE
- 8. PREP / PAINT: EXISTING LOUVERS AND/OR VENTS, TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES
 PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FIN
- COMPONENTS.
- 11. PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- 12. PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE 13. PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- 14. PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MAT EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PA TO MATCH EXISTING.
- 15. PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN 16. PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAI
- 17. PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAI SEALER SHEEN
- 18. REMOVE / DISCARD: EXISTING SIGN 19. REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- 20. PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- 21. PREP / PAINT: EXISTING CONCRETE / CMU WALL 22. PREP / PAINT: EXISTING METAL FENCE & GATE
- 23. PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- 24. PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT CO 25. PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES 26. PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSE
- AND DOORS. 27. PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- 28. PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 1&3/A-201
- 29. PREP / PAINT: METAL PARAPET WALL CAP
- 30. PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AN
 31. CONTINUE WAINSCOAT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- 32. PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- 33. REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- 34. EXISTING MURAL, PAINT OVER MURAL 35. PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- 36. PREP / PAINT SAFETY YELLOW
- 37. REMOVE / PAINT / REINSTALL EQUIPMENT
- 38. PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- 39. PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS 40. REMOVE / DISCARD AS NOTED
- 41. PROTECT IN PLACE AS NOTED
- 42. RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- 43. PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF 44. REMOVE / PAINT / REINSTALL BACKPACK RACKS
- 44. REMOVE / PAINT / REINSTALL BACKPACK RACKS 45. ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- 46. PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- 47. REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIO
 48. CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FO FEET
- 49. WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- 50. PREP / PAINT FIRE DEPARTMENT RED
- 51. PREP / PAINT EXISTING MAILBOX AND POST
- 52. PAINT COLOR 4





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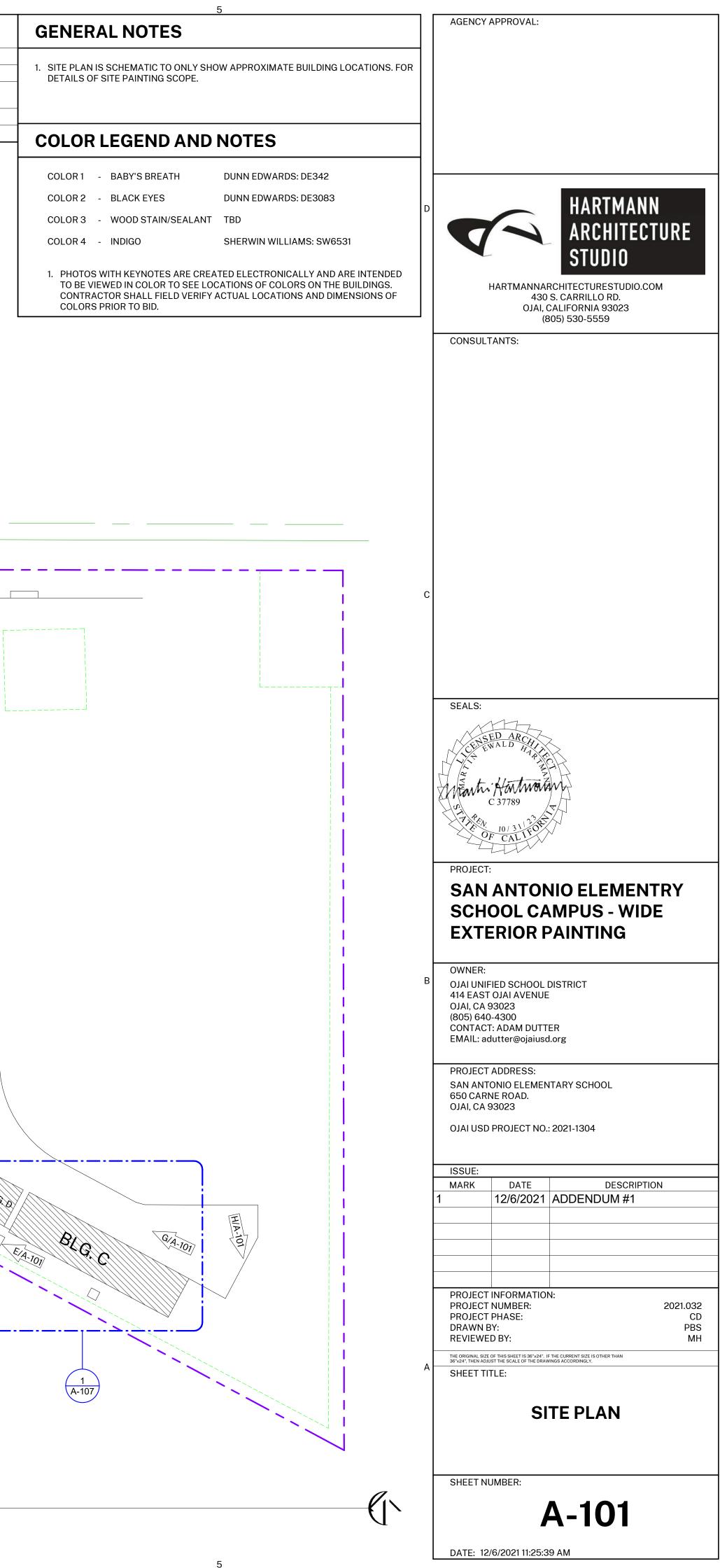
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NOTE: NOT ALL KEYNOTES		3	САМР	US BUILDIN	G INFO		
USED ON EVERY SHEET	BUILDING NAME	DSA APP. NOS. / A#'s	USE	OCCUPANCY	CONSTRUCTON TYPE	BUILDING AREA	FIRE SPRINKLERS
_	BUILDING A	13008 03-104379	ADMIN / MULTIPUPOSE	E	V-B	3750 +/-	NO
	BUILDING B	9144 13008 54126 03-104379	CLASSROOMS & RESTROOMS	E	V-B	4670 +/-	NO
AL AT ALL LOCATIONS	BUILDING C	03-106166 03-107321	CLASSROOMS	E	V-B	4460 +/-	NO
CAI	BUILDING D	03-108534	RESTROOMS	E	V-B	740 +/-	NO
CAL CUTCHEON PLATE OR LIGHT TALL LIGHT FIXTURES U.N.O. DO NOT PAINT PRE-FINISHED EADS R / FIRE ALARM DEVICE EADY PAINTED. U.N.O. ROUND MURAL TO MATCH NT MURALS WHERE PAINTED CANE DETECTION RAILS FIELD VERIFY STAIN COLOR + CANE DETECTION RAILS FIELD VERIFY STAIN COLOR 7 COLOR TABLES DO UTSIDE OF ENCLOSURE FURITY GRATING STER, SEE 1&3/A-201 EEN WALLS INSIDE AND OUT F BUILDING INCLUDING COLOR TABLES DO UTSIDE OF ENCLOSURE FURITY GRATING STER, SEE 1&3/A-201 EEN WALLS INSIDE AND OUT F BUILDING INCLUDING COLOR TABLES SEE DETAIL 5/A-201					51	GRAN	
AND CONFIGURATIONS COUND BUILDING A MINIMUM OF 5% FOR 10 OVERS			Carrier Coality Coality of the second				F. 105

47 NOTE: ADD'L STRIPING NOT SHOWN. FIELD VERIFY PRIOR TO BID.

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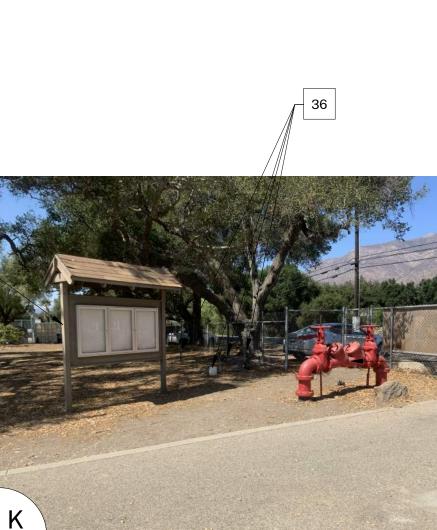
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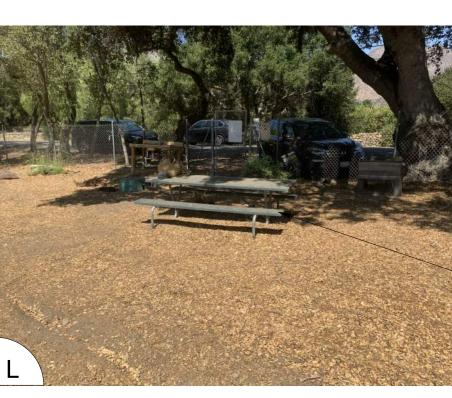
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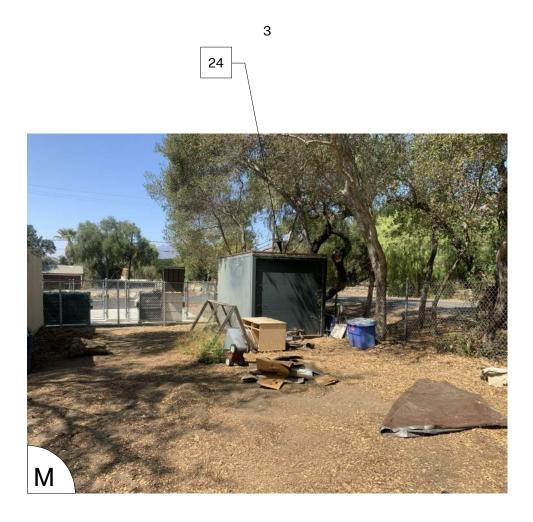






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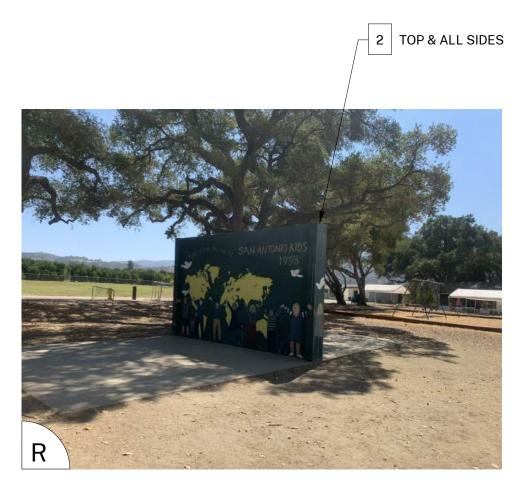




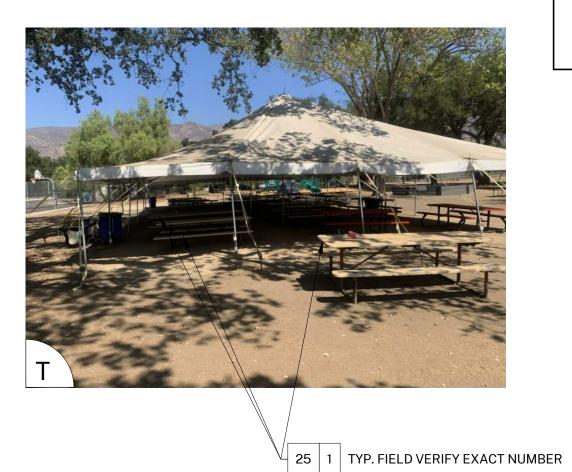
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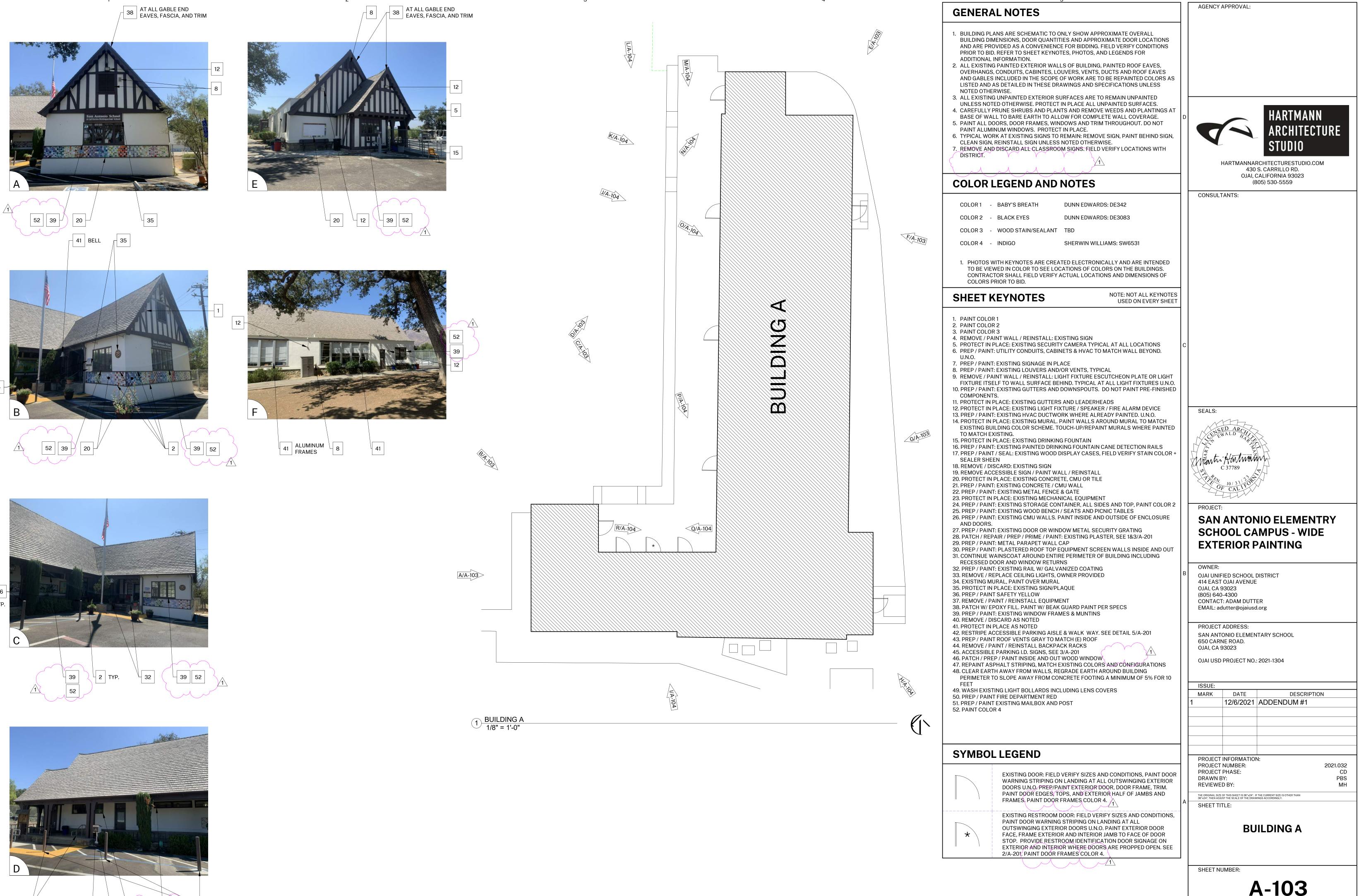
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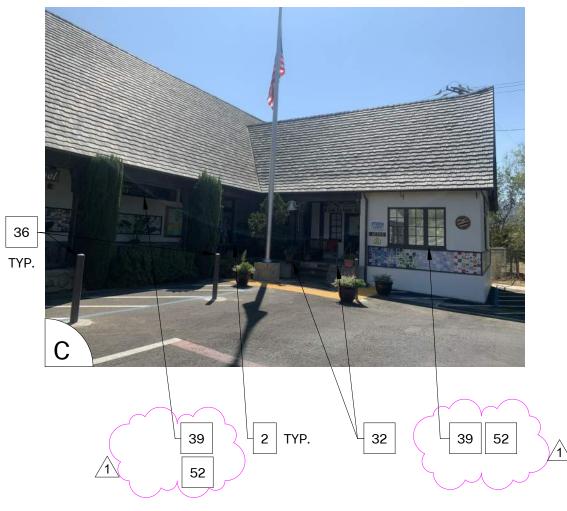
GENERAL NOTES	AGENCY APPROVAL:
 BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION. ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINTES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES. CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE. PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE. TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE. REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT. 	D HARTMANN ARCHITECTURES STUDIO HARTMANNARCHITECTURESTUDIO.COM 430 S. CARRILLO RD. OJAI, CALIFORNIA 93023 (805) 530-5559
	CONSULTANTS:
COLOR 1BABY'S BREATHDUNN EDWARDS: DE342COLOR 2BLACK EYESDUNN EDWARDS: DE3083COLOR 3WOOD STAIN/SEALANTTBDCOLOR 4INDIGOSHERWIN WILLIAMS: SW65311. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.	
SHEET KEVNOTES NOTE: NOT ALL KEYNOTES	
 PAINT COLOR 1 PAINT COLOR 1 PAINT COLOR 2 PAINT COLOR 3 REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS PREP / PAINT: EXISTING SIGNAGE IN PLACE REMOVE / PAINT: EXISTING SIGNAGE IN PLACE REMOVE / PAINT WALL / REINSTALL: IGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL REMOVE / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS. PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS PROTECT IN PLACE: EXISTING HURAL PAINT WALL / REINSTALL PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN PROTECT IN PLACE: EXISTING MOOD DISPLAY CASES, FIELD VERIFY STAIN COLOR + SEALER SHEEN REMOVE / DISCARD: EXISTING SIGN REMOVE / DISCARD: EXISTING MOOD DISPLAY CASES, FIELD VERIFY STAIN COLOR + SEALER SHEEN PROTECT IN PLACE: EXISTING MOOD MALL / REINSTALL PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT PREP / PAINT: EXISTING METAL FENCE & GATE PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2 PREP / PAINT: EXISTING MECHANICAL EQUIPMENT PREP / PAINT: EXISTING MOOD BENCH / SEATS AND PICNIC TABLES PREP / PAINT: EXISTING MOOD BENCH / SEATS AND PICNIC TABLES PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING PREP / PAINT: EXISTING DO	C SEALS:
RECESSED DOOR AND WINDOW RETURNS 32. PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING 33. REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED 34. EXISTING MURAL, PAINT OVER MURAL 35. PROTECT IN PLACE: EXISTING SIGN/PLAQUE 36. PREP / PAINT SAFETY YELLOW 37. REMOVE / PAINT / REINSTALL EQUIPMENT 38. PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS 39. PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS 40. REMOVE / DISCARD AS NOTED	B OWNER: B OJAI UNIFIED SCHOOL DISTRICT 414 EAST OJAI AVENUE OJAI, CA 93023 (805) 640-4300 CONTACT: ADAM DUTTER EMAIL: adutter@ojaiusd.org
41. PROTECT IN PLACE AS NOTED 42. RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201 43. PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF 44. REMOVE / PAINT / REINSTALL BACKPACK RACKS 45. ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201 46. PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW 47. REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS 48. CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING	PROJECT ADDRESS: SAN ANTONIO ELEMENTARY SCHOOL 650 CARNE ROAD. OJAI, CA 93023 OJAI USD PROJECT NO.: 2021-1304
PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET 49. WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS 50. PREP / PAINT FIRE DEPARTMENT RED 51. PREP / PAINT EXISTING MAILBOX AND POST 52. PAINT COLOR 4	ISSUE: MARK DATE DESCRIPTION 1 12/6/2021 ADDENDUM #1
	PROJECT INFORMATION: PROJECT NUMBER: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS REVIEWED BY: MH THE ORIGINAL SIZE OF THIS SHEET IS 36"x24". IF THE CURRENT SIZE IS OTHER THAN 36"x24", THEN ADJUST THE SCALE OF THE DRAWINGS ACCORDINGLY.
	A SHEET TITLE: SITE PLAN
	SHEET NUMBER: A-102

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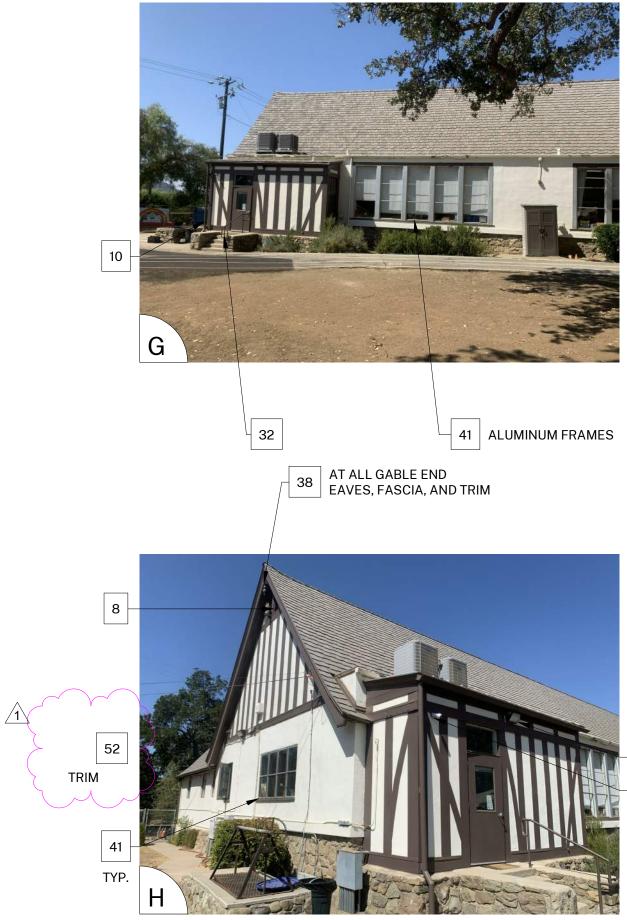
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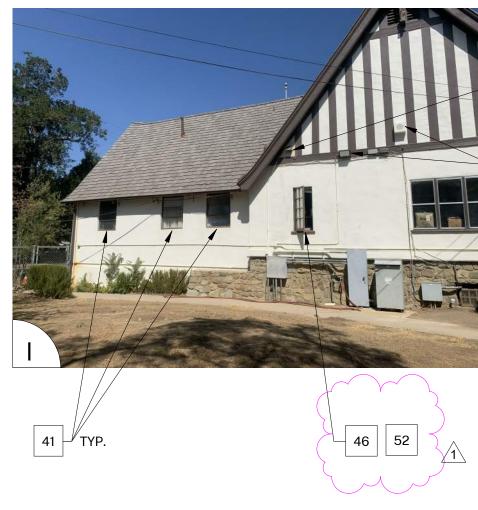
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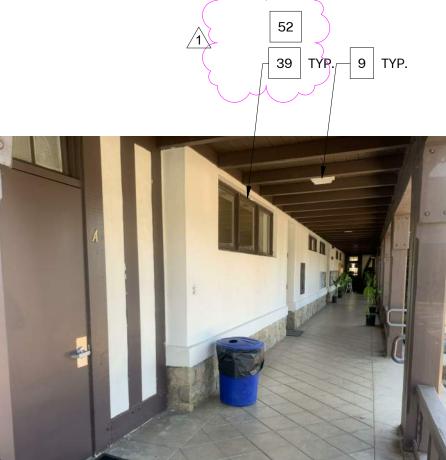
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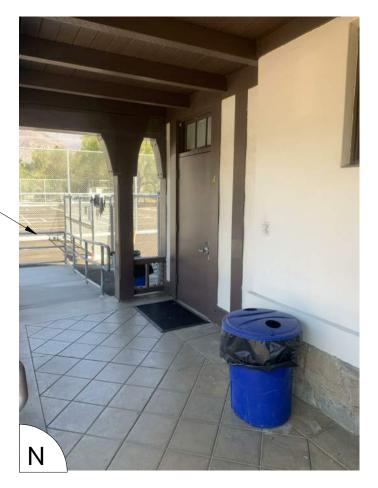








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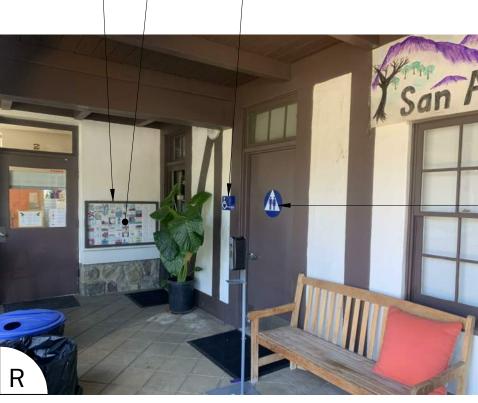








 REPLACE SIGN 8/A-201



GENERAL NOTES		AGENCY APPROVAL:
 BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION. ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINTES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES. CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE. PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE. TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE. REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT. 	D	<section-header><section-header><section-header><section-header><section-header><section-header><text></text></section-header></section-header></section-header></section-header></section-header></section-header>
COLOR 1 - BABY'S BREATH DUNN EDWARDS: DE342		CONSULTANTS:
COLOR 2 - BLACK EYES DUNN EDWARDS: DE3083 COLOR 3 - WOOD STAIN/SEALANT TBD COLOR 4 INDICO SUIEDWINNWILLIAMS: SWICE 21		
 COLOR 4 - INDIGO SHERWIN WILLIAMS: SW6531 PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID. 		
SHEET KEYNOTES NOT ALL KEYNOTES USED ON EVERY SHEET		
 PAINT COLOR 1 PAINT COLOR 2 PAINT COLOR 3 REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN PROTECT IN PLACE: EXISTING SIGNING SIGN 4 PROTECT IN PLACE: EXISTING SIGNAGE IN PLACE PREP / PAINT: EXISTING IOUVERS AND/OR VENTS, TYPICAL PREP / PAINT: EXISTING SIGNAGE IN PLACE PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRETING UNIVERS AND/OR VENTS, TYPICAL PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRETINSHED COMPONENTS. PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS PROTECT IN PLACE: EXISTING MURAL, PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SOFHEE. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING BUILDING COLOR SOFHEE. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING BUILDING COLOR SOFHEE. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING COLOR + SEALER SHEEN PROTECT IN PLACE: EXISTING BUISING CONCETE, CMU WALL PROTECT IN PLACE: EXISTING MORE CHAINCAL EQUIPMENT PREP / PAINT: EXISTING CONCETE, CMU WALL PROTECT IN PLACE: EXISTING MOOD BENCH / SEATS AND PICNIC TABLES PREP / PAINT: EXISTING CONCETE, CMU WALL PREP / PAINT: EXISTING GOOR OR WINDOW METAL SUBLES AND TOP, PAINT COLOR 2 PREP / PAINT: EXISTING GOOR OR WINDOW METAL SUBLES AND TOP, PAINT COLOR 2 PREP / PAINT: EXISTING GOOR OR WINDOW METAL SUBLE AND OUTSIDE OF ENCLOSURE AND DOORS. PREP / PAINT: EXISTING GOOR OR WINDOW METAL SUBLE AND OUTSIDE OF ENCLOSURE AND DOORS. PREP / PAINT: EXISTING GOOR OR WINDOW METAL SECURITY GATING PREP / PAINT: EXISTING GOO	B	SEALS: Image: Darge of the second s
	А	PROJECT NUMBER: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS REVIEWED BY: MH THE ORIGINAL SIZE OF THIS SHEET IS 38"*24". IF THE CURRENT SIZE IS OTHER THAN 36"*24", THEN ADJUST THE SCALE OF THE DRAWINGS ACCORDINGLY. SHEET TITLE: BUILDING A
		SHEET NUMBER: A-104

DATE: 12/6/2021 11:25:45 AM



GENERAL NOTES

- 1. BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- 2. ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINTES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 3. ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES. 4. CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT
- BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE. 5. PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT
- PAINT ALUMINUM WINDOWS. PROTECT IN PLACE. 6. TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN,
- CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE. 7. REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

COLOR LEGEND AND NOTES

COLOR 1	- BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2	- BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3	- WOOD STAIN/SEALANT	TBD
COLOR 4	- INDIGO	SHERWIN WILLIAMS: SW6531

1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

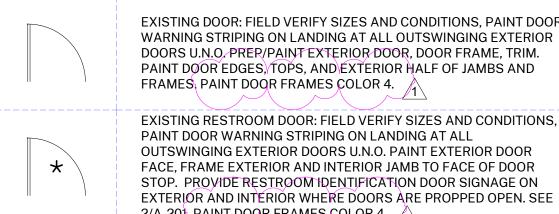
SHEET KEYNOTES

1

NOTE: NOT ALL KEYNOTE USED ON EVERY SHEE

- 1. PAINT COLOR 1 2. PAINT COLOR 2 3. PAINT COLOR 3 4. REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- 5. PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS 6. PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O.
- 7. PREP / PAINT: EXISTING SIGNAGE IN PLACE
- 8. PREP / PAINT: EXISTING LOUVERS AND/OR VENTS, TYPICAL
- 9. REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O 10. PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHEI COMPONENTS.
- 11. PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- 12. PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
- 13. PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O. 14. PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- 15. PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- 16. PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS 17. PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES, FIELD VERIFY STAIN COLOR SEALER SHEEN
- 18. REMOVE / DISCARD: EXISTING SIGN
- 19. REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- 20. PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE 21. PREP / PAINT: EXISTING CONCRETE / CMU WALL
- 22. PREP / PAINT: EXISTING METAL FENCE & GATE
- 23. PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- 24. PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2
- 25. PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES 26. PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
- 27. PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- 28. PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 1&3/A-201
- 29. PREP / PAINT: METAL PARAPET WALL CAP
- 30. PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT 31. CONTINUE WAINSCOAT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING
- RECESSED DOOR AND WINDOW RETURNS 32. PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- 33. REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- 34. EXISTING MURAL, PAINT OVER MURAL
- 35. PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- 36. PREP / PAINT SAFETY YELLOW
- 37. REMOVE / PAINT / REINSTALL EQUIPMENT 38. PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- 39. PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- 40. REMOVE / DISCARD AS NOTED
- 41. PROTECT IN PLACE AS NOTED
- 42. RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- 43. PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- 44. REMOVE / PAINT / REINSTALL BACKPACK RACKS 45. ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- 46. PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- 47. REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS 48. CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- 49. WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- 50. PREP / PAINT FIRE DEPARTMENT RED
- 51. PREP / PAINT EXISTING MAILBOX AND POST
- 52. PAINT COLOR 4

SYMBOL LEGEND



PAINT DOOR EDGES, TOPS, AND EXTERIOR HALF OF JAMBS AND FRAMES, PAINT DOOR FRAMES COLOR 4. EXISTING RESTROOM DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PAINT EXTERIOR DOOR FACE, FRAME EXTERIOR AND INTERIOR JAMB TO FACE OF DOOR STOP. PROVIDE RESTROOM DENTIFICATION DOOR SIGNAGE ON

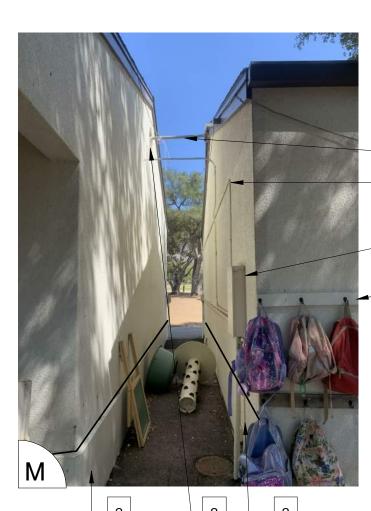
EXTERIOR AND INTERIOR WHERE DOORS ARE PROPPED OPEN. SEE 2/A-201, PAINT DOOR FRAMES COLOR 4.

	AGENCY APPROVAL:
D	HARTMANN
	ARCHITECTURE
	STUDIO
	HARTMANNARCHITECTURESTUDIO.COM 430 S. CARRILLO RD.
	OJAI, CALIFORNIA 93023 (805) 530-5559
	CONSULTANTS:
с	
	SEALS:
	ISED ARCO
	CETEWALD HALAN
	Harten Hontwart
	C 37789
	$\frac{\nabla F_{eN}}{OF} = \frac{10/31}{10} \frac{23}{10}$
	PROJECT:
	SAN ANTONIO ELEMENTRY
	SCHOOL CAMPUS - WIDE EXTERIOR PAINTING
В	OWNER: OJAI UNIFIED SCHOOL DISTRICT
	414 EAST OJAI AVENUE OJAI, CA 93023 (805) 640-4300
	CONTACT: ADAM DUTTER EMAIL: adutter@ojaiusd.org
	PROJECT ADDRESS:
	SAN ANTONIO ELEMENTARY SCHOOL 650 CARNE ROAD. 0141 CA 93023
	OJAI, CA 93023 OJAI USD PROJECT NO.: 2021-1304
	ISSUE: MARK DATE DESCRIPTION
	1 12/6/2021 ADDENDUM #1
	PROJECT INFORMATION:
1	PROJECT NUMBER: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS
	REVIEWED BY: MH
А	THE ORIGINAL SIZE OF THIS SHEET IS 36"x24". IF THE CURRENT SIZE IS OTHER THAN 36"x24", THEN ADJUST THE SCALE OF THE DRAWINGS ACCORDINGLY. SHEET TITLE:
	BUILDING B

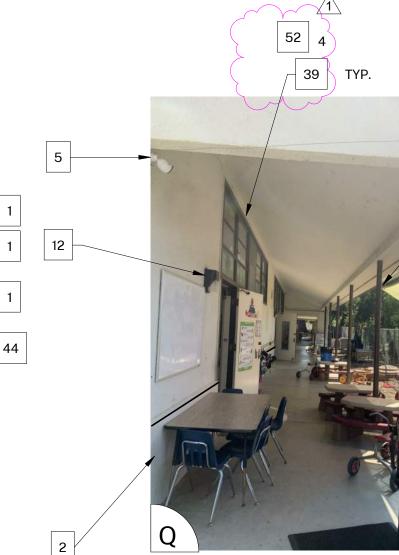
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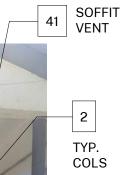
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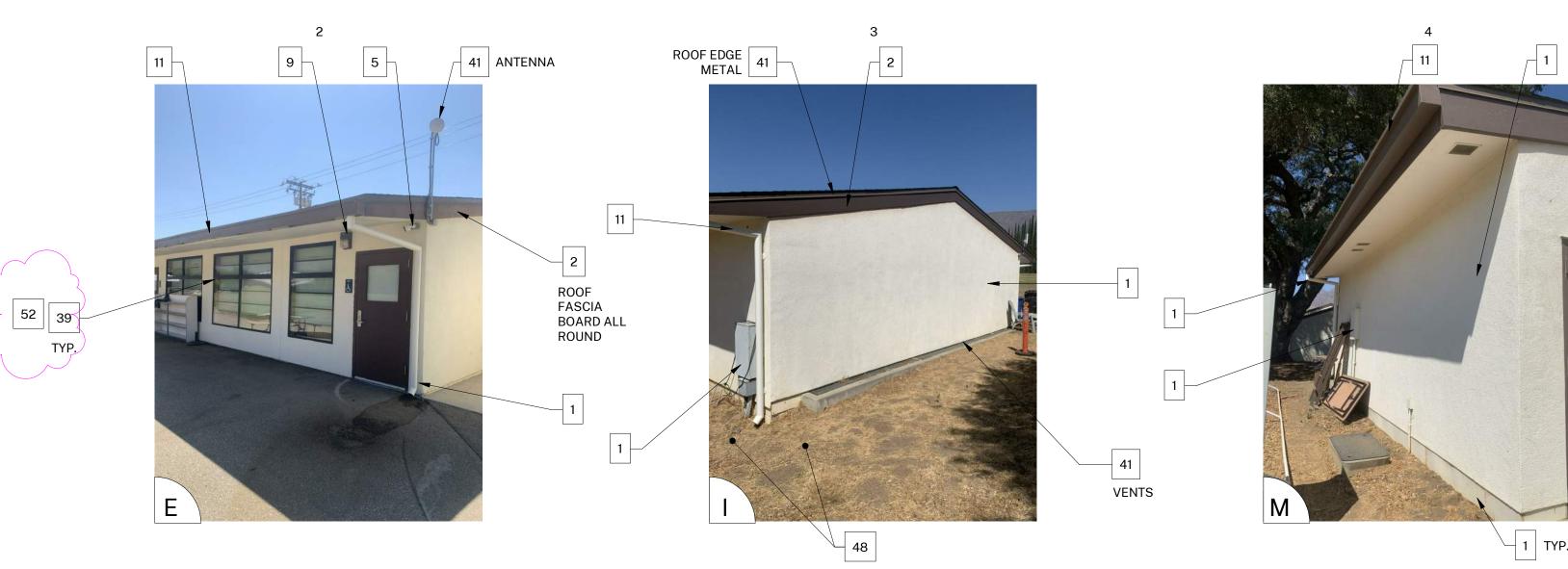


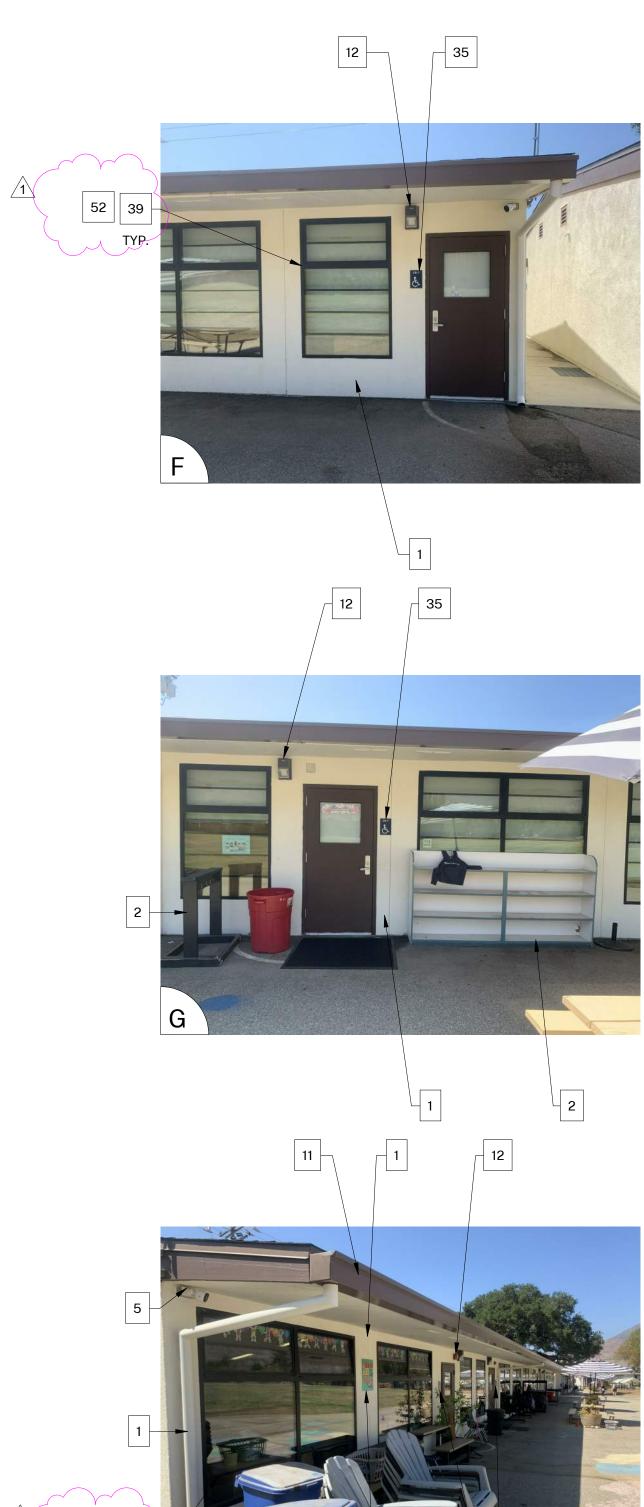
GENERAL NOTES		AGENCY APPROVAL:
 BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION. ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINTES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES. CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE. PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE. TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE. REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT. 	D	<image/>
COLOR LÉGEND AND NOTES	┤┝	(805) 530-5559 CONSULTANTS:
COLOR 1 - BABY'S BREATH DUNN EDWARDS: DE342 COLOR 2 - BLACK EYES DUNN EDWARDS: DE3083 COLOR 3 - WOOD STAIN/SEALANT TBD COLOR 4 - INDIGO SHERWIN WILLIAMS: SW6531 1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ATUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.		
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33. REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED 34. EXISTING MURAL, PAINT OVER MURAL 35. PROTECT IN PLACE: EXISTING SIGN/PLAQUE 36. PREP / PAINT SAFETY YELLOW	В	OJAI UNIFIED SCHOOL DISTRICT 414 EAST OJAI AVENUE OJAI, CA 93023 (805) 640-4300
37. REMOVE / PAINT / REINSTALL EQUIPMENT 38. PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS 39. PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS		CONTACT: ADAM DUTTER EMAIL: adutter@ojaiusd.org
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48. CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET		ISSUE:
49. WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS 50. PREP / PAINT FIRE DEPARTMENT RED 51. PREP / PAINT EXISTING MAILBOX AND POST 52. PAINT COLOR 4		MARK DATE DESCRIPTION MARK DATE DESCRIPTION 1 12/6/2021 ADDENDUM #1
	-	PROJECT INFORMATION: PROJECT NUMBER: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS
		REVIEWED BY: MH The original size of this sheet is 36°x24". If the current size is other than 36°x24", then adjust the scale of the drawings accordingly.
	A	SHEET TITLE:
		SHEET NUMBER: A-106



EXISTING DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR PBS	GENERAL NOTES			AGENCY	APPROVAL:	
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EXISTING DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PREP/PAINT EXTERIOR DOOR, DOOR FRAME, TRIM. PAINT DOOR ÉDGES, TOPS, AND EXTERIOR HALF OF JAMBS AND FRAMES: PAINT DOOR FRAMES COLOR 4. PROJECT INFORMATION: PROJECT NUMBER: 2021.03 PROJECT PHASE: CI DRAWN BY: PBS REVIEWED BY: * EXISTING RESTROOM DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PAINT EXTERIOR DOOR FACE, FRAME EXTERIOR AND INTERIOR JAMB TO FACE OF DOOR THE ORIGINAL SIZE OF THIS SMEET IS 30°X24". IF THE CURRENT SIZE IS OTHER THAN 30°X24". THEN ADJUST THE SCALE OF THE DRAWINGS ACCORDINGLY. * EXISTING RESTROOM DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PAINT EXTERIOR DOOR FACE, FRAME EXTERIOR AND INTERIOR JAMB TO FACE OF DOOR SHEET TITLE:	 PAINT COLOR 2 PAINT COLOR 3 REMOVE / PAINT WALL / REINSTALL: EXISTING SPROTECT IN PLACE: EXISTING SECURITY CAM PREP / PAINT: UTILITY CONDUITS, CABINETS - U.N.O. PREP / PAINT: EXISTING SIGNAGE IN PLACE PREP / PAINT: EXISTING LOUVERS AND/OR VI REMOVE / PAINT EXISTING GUTTERS AND DOWI COMPONENTS. PROTECT IN PLACE: EXISTING GUTTERS AND DOWIC COMPONENTS. PROTECT IN PLACE: EXISTING GUTTERS AND PREP / PAINT: EXISTING HVAC DUCTWORK W PROTECT IN PLACE: EXISTING MURAL. PAINT EXISTING BUILDING COLOR SCHEME. TOUCH TO MATCH EXISTING. PROTECT IN PLACE: EXISTING DRINKING FOL TO MATCH EXISTING. PROTECT IN PLACE: EXISTING DRINKING FOL TO MATCH EXISTING. PROTECT IN PLACE: EXISTING DRINKING FOL TO MATCH EXISTING PAINTED DRINKING FOL TO MATCH EXISTING PAINTED DRINKING FOL SEALER SHEEN REMOVE / DISCARD: EXISTING SIGN REMOVE / DISCARD: EXISTING MOOD DISPL SEALER SHEEN REMOVE ACCESSIBLE SIGN / PAINT WALL / F 20. PROTECT IN PLACE: EXISTING CONCRETE / CMU W2 22. PREP / PAINT: EXISTING CONCRETE / CMU W2 23. PROTECT IN PLACE: EXISTING MECHANICAL 24. PREP / PAINT: EXISTING METAL FENCE & GAT 23. PROTECT IN PLACE: EXISTING MECHANICAL 24. PREP / PAINT: EXISTING MOOD BENCH / SEA 26. PREP / PAINT: EXISTING MOOD BENCH / SEA 26. PREP / PAINT: EXISTING CMU WALLS. PAINT AND DOORS. PREP / PAINT: EXISTING DOOR OR WINDOW N 28. PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING 31. CONTINUE WAINSCOAT AROUND ENTIRE PEF RECESSED DOOR AND WINDOW RETURNS 32. PREP / PAINT: EXISTING RAIL W/ GALVANIZE 33. REMOVE / REPLACE CEILING LIGHTS, OWNED 34. EXISTING MURAL, PAINT OVER MURAL 35. PROTECT IN PLACE: SISTING SIGN/PLAQUE 36. PREP / PAINT SAFETY YELLOW REMOVE / DISCARD AS NOTED 31. CONTINUE WAINSCOAT AROUND ENTIRE PEF RECESSED DOOR AND WINDOW RETURNS 32. PREP / PAINT / REINSTALL BACKPACK RA 35. PROTECT IN PLACE AS NOTED 41. PROTECT	AG SIGN MERA TYPICAL AT ALL LOCATIONS & HVAC TO MATCH WALL BEYOND. ENTS, TYPICAL EXTURE ESCUTCHEON PLATE OR LIGHT TYPICAL AT ALL LIGHT FIXTURES U.N.O. NSPOUTS. DO NOT PAINT PRE-FINISHED DEADERHEADS E / SPEAKER / FIRE ALARM DEVICE /HERE ALREADY PAINTED. U.N.O. TWALLS AROUND MURAL TO MATCH I-UP/REPAINT MURALS WHERE PAINTED JNTAIN FOUNTAIN CANE DETECTION RAILS AY CASES, FIELD VERIFY STAIN COLOR + REINSTALL MU OR TILE ALL TE EQUIPMENT ER, ALL SIDES AND TOP, PAINT COLOR 2 ITS AND PICNIC TABLES INSIDE AND OUTSIDE OF ENCLOSURE METAL SECURITY GRATING STING PLASTER, SEE 1&3/A-201 MENT SCREEN WALLS INSIDE AND OUT RIMETER OF BUILDING INCLUDING ED COATING R PROVIDED E RD PAINT PER SPECS & MUNTINS PALK WAY, SEE DETAIL 5/A-201 I(E) ROOF ACKS 201 DO WINDOW ING COLORS AND CONFIGURATIONS DE EARTH AROUND BUILDING TE FOOTING A MINIMUM OF 5% FOR 10 NG LENS COVERS		PROJECT SAN SCH EXT OWNER: OJAI UNI 414 EAS OJAI, CA (805) 64 CONTAC EMAIL: a PROJECT SAN ANT 650 CAF OJAI, CA	TE CALIFOR	AMPUS - WIDE PAINTING DISTRICT E TER d.org NTARY SCHOOL DESCRIPTION
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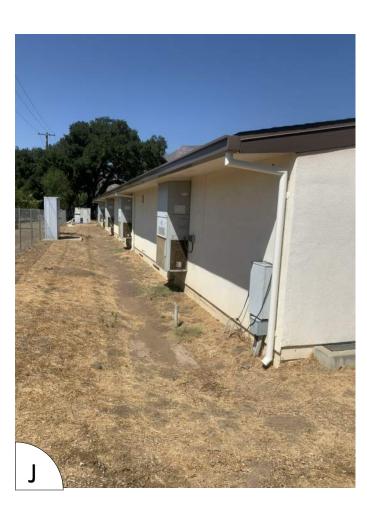
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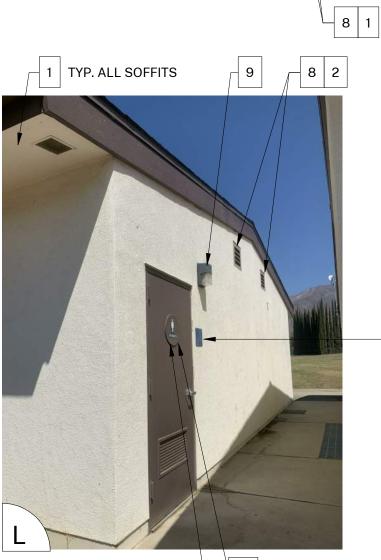
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1 TYP. ALL AROUND







3

18 REMOVE & DISCARD PROVIDE DOOR SIGN PER 2/A-201 35

4

GENERAL NOTES	AGENCY APPROVAL:
 BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION. ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINTES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES. CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE. PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE. TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE. REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT. 	D HARTMANNA HARTMANNA ARCHITECTURES STUDIO HARTMANNARCHITECTURESTUDIO.COM 430 S. CARRILLO RD. 0JAI, CALIFORNIA 93023 (805) 530-5559
COLOR 1 BABY'S BREATH DUNN EDWARDS: DE342 COLOR 2 BLACK EYES DUNN EDWARDS: DE3083 COLOR 3 WOOD STAIN/SEALANT TBD COLOR 4 INDIGO SHERWIN WILLIAMS: SW6531 1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID. SHEET KEYNOTES NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET 1. PAINT COLOR 1 NOTE: NOT ALL KEYNOTES SHEET KEYNOTES NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET 1. PAINT COLOR 1 NOTE: NOT ALL KEYNOTES SHEET KEYNOTES NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET 1. PAINT COLOR 1 2. PAINT COLOR 2 3. PAINT COLOR 3 4. REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN 5. PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS 6. PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O. 7. PREP / PAINT: EXISTING SIGNAGE IN PLACE 8. PREP / PAINT: EXISTING LOUVERS AND/OR VENTS, TYPICAL	CONSULTANTS:
 REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O. PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS. PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O. PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O. PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O. PREP / PAINT: EXISTING GOLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING. PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN PREP / PAINT: SEXISTING PAINTED DRINKING FOUNTAIN PREP / PAINT: SEXISTING SIGN REMOVE / DISCARD: EXISTING SIGN REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL PROTECT IN PLACE: EXISTING CONCRETE / CMU WALL PREP / PAINT: EXISTING CONCRETE / CMU WALL PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2 PREP / PAINT: EXISTING MOD BENCH / SEATS AND PICNIC TABLES PREP / PAINT: EXISTING MOUR DENCH / SEATS AND PICNIC TABLES PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING PATCH / REPAIR / PARPET WALL CAP PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING PREP / PAINT: EXISTING CONCR TO PEQUIPMENT SCREEN WALLS INSIDE AND OUT CONTINUE WAINSCOAT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS PREP / PAINT: METAL PARAPET WALL CAP PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING PREP / PAINT: METAL PARAPET WALL CAP PREP / PAINT: METAL PARAPET WALL CAP	B SEALS: ARCAN ALD ARCAN ALD
 39. PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS 40. REMOVE / DISCARD AS NOTED 41. PROTECT IN PLACE AS NOTED 42. RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201 43. PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF 44. REMOVE / PAINT / REINSTALL BACKPACK RACKS 45. ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201 46. PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW 47. REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS 48. CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET 49. WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS 50. PREP / PAINT FIRE DEPARTMENT RED 51. PREP / PAINT EXISTING MAILBOX AND POST 52. PAINT COLOR 4 	PROJECT ADDRESS: SAN ANTONIO ELEMENTARY SCHOOL 650 CARNE ROAD. OJAI, CA 93023 OJAI USD PROJECT NO.: 2021-1304 ISSUE: MARK DATE DESCRIPTION 1 12/6/2021 ADDENDUM #1 PROJECT INFORMATION: PROJECT NUMBER: 2021.032 PROJECT PHASE: CD DRAWN BY: PBS REVIEWED BY: MH THE ORIGINAL SUZE OF THIS SHEET IS SHE'24": IF THE CURRENT SIZE IS OTHER THAN SHEET TITLE:
	BUILDING C & D SHEET NUMBER: A-108

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