



**HARTMANN  
ARCHITECTURE  
STUDIO**

---

## **A D D E N D U M   N O   1**

---

Project: OJAI UNIFIED SCHOOL DISTRICT

CAMPUS-WIDE EXTERIOR PAINTING  
SAN ANTONIO ELEMENTARY SCHOOL  
OUSD JOB # 2021-1304  
Hartmann Project No.: 2021.032

Date: December 6, 2021

---

To all bidders submitting proposals for the above captioned project. This Addendum is hereby included in the Contract Documents to the same extent as though it were originally included therein. The following items modify, add to, delete from, or explain the drawings and/or specifications. The contents of this Addendum shall take precedence over the original specifications and plans.

---

**Item #1.1:** Revise sheets listed below. Primary change is to repaint all door frames, windows, window frames, and window trim color number four.

**Item #1.2:** Add sheet A-005 with Portland Cement Plaster specifications for any incidental plaster repair.

**Item #1.3:** Replace restroom identification sign shown on R/A-104.

### **ATTACHMENTS:**

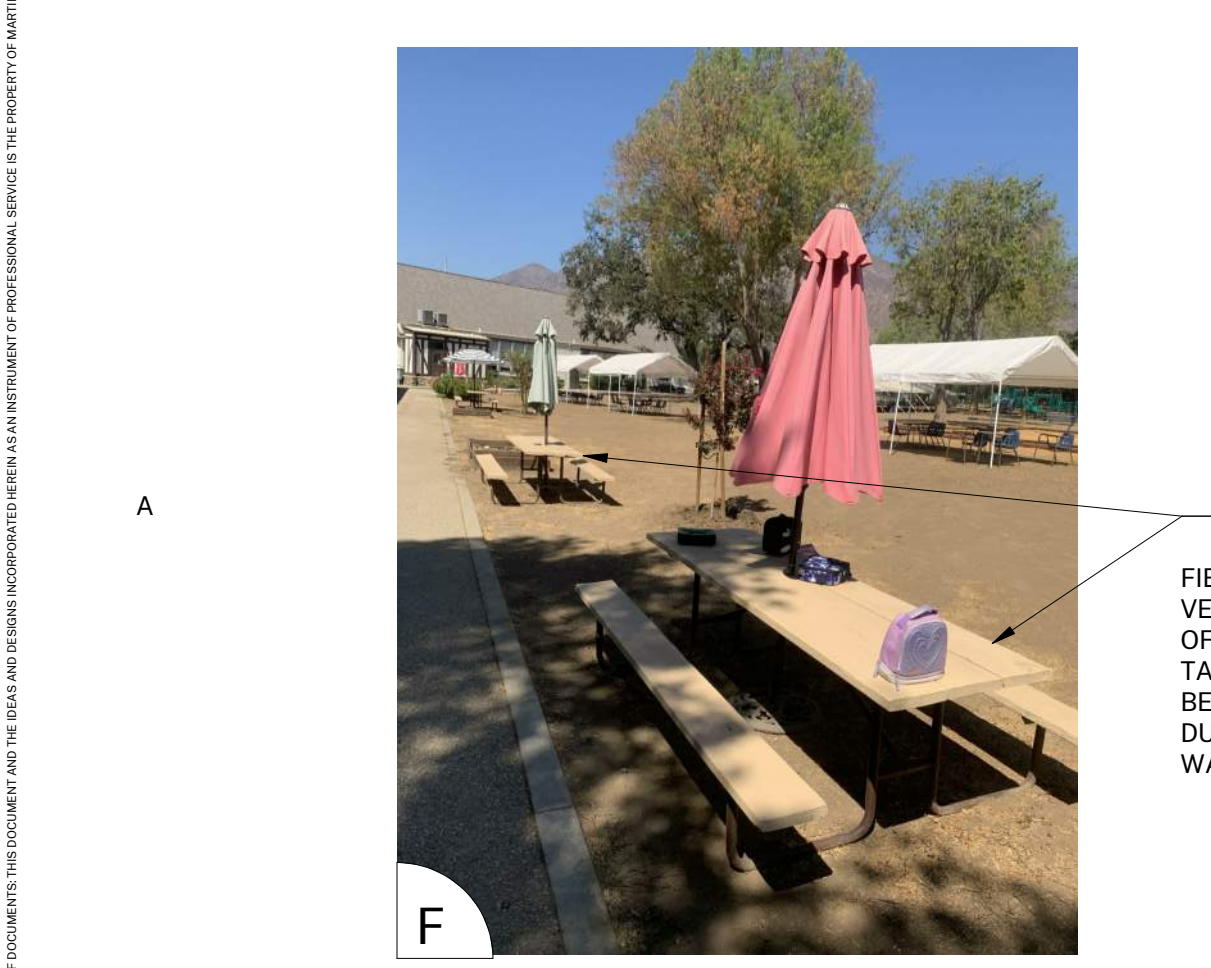
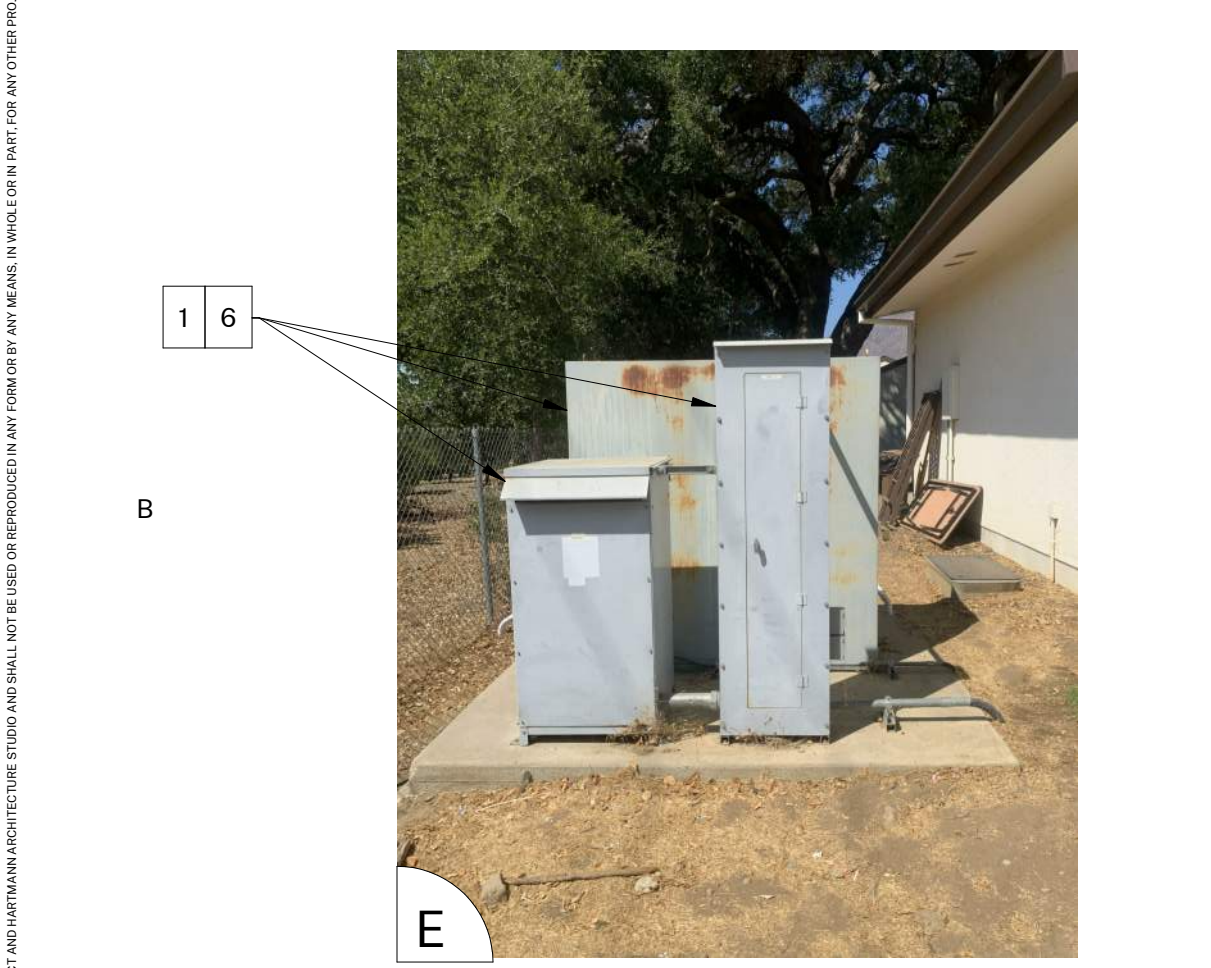
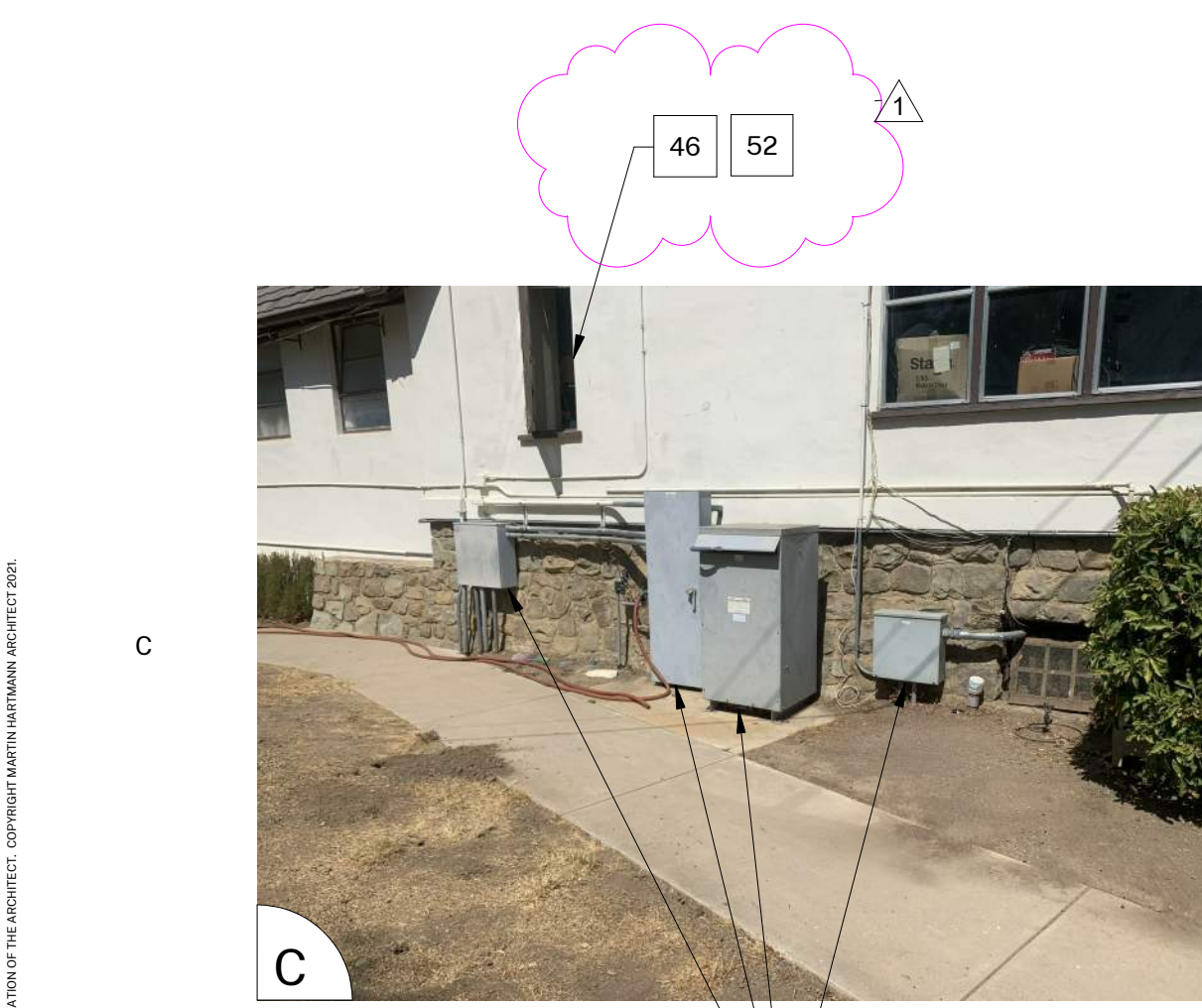
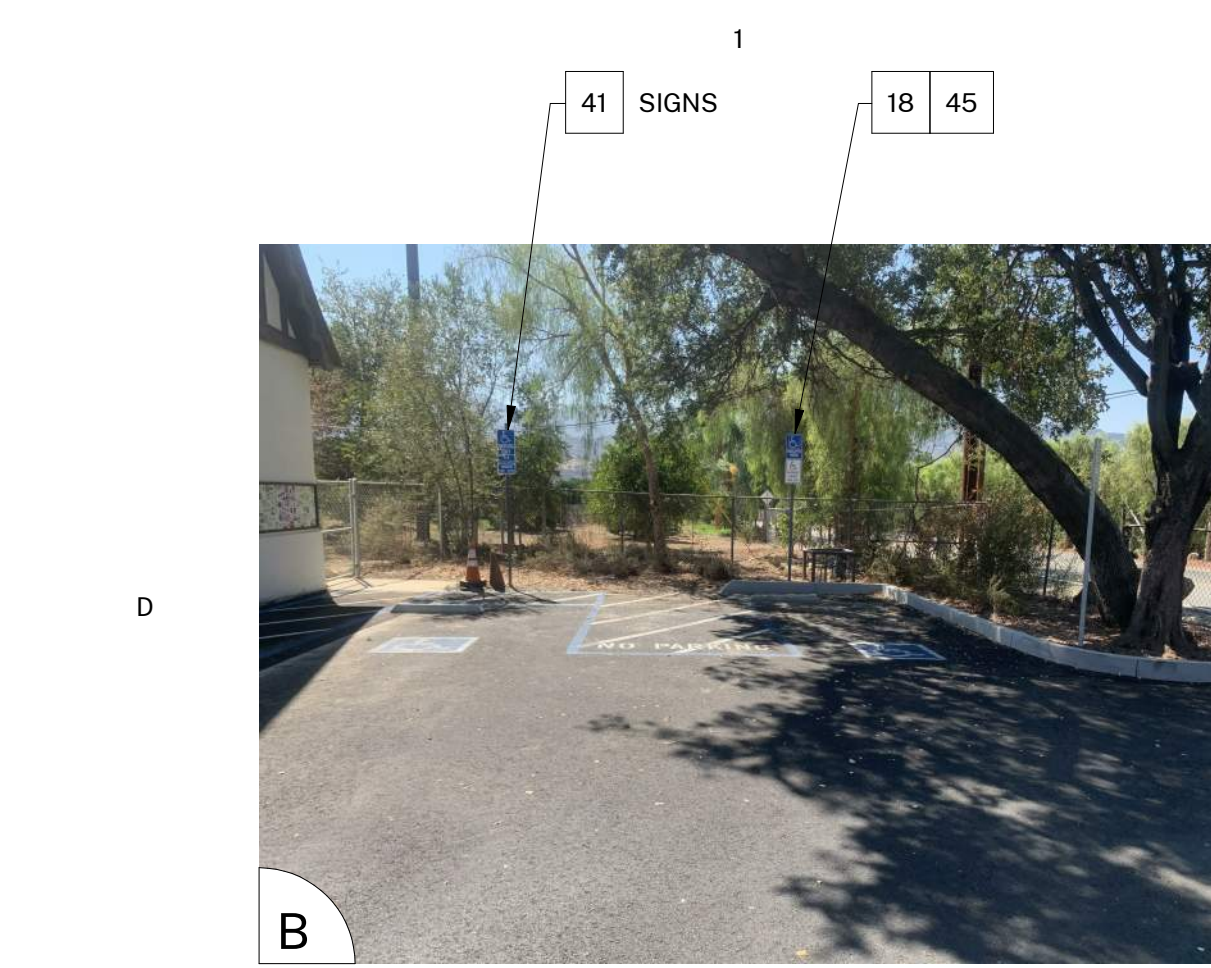
Revised sheets: G-000, A-005, A-101, A-102, A-103, A-104, A-105, A-106, A-107-A-108

Martin Hartmann, Architect  
CA License C-37789

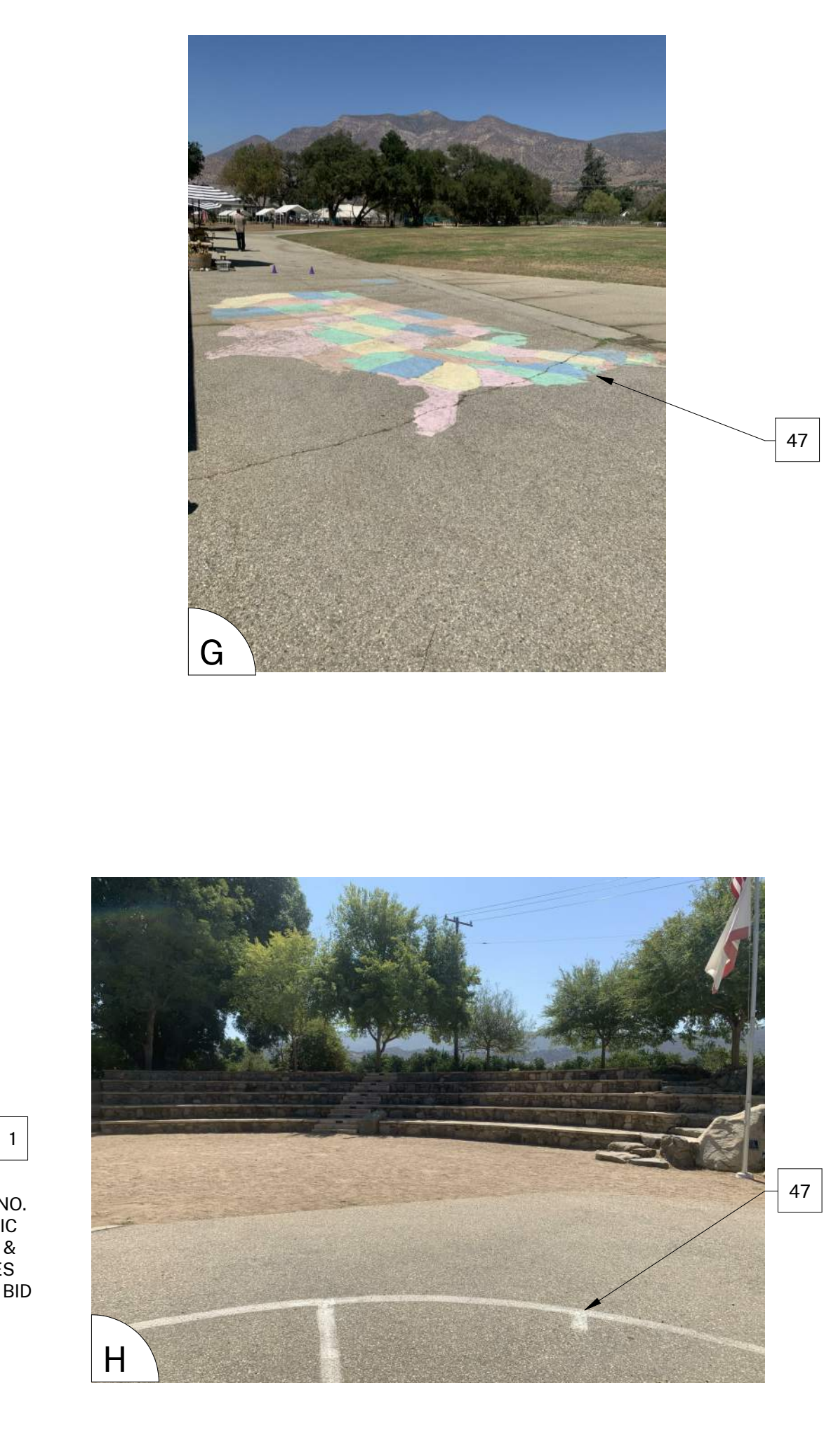
Hartmann Architecture Studio  
430 S. Carrillo Rd.  
Ojai, CA 93023  
(805) 530-5559  
martin@hartmannarchitecturestudio.com







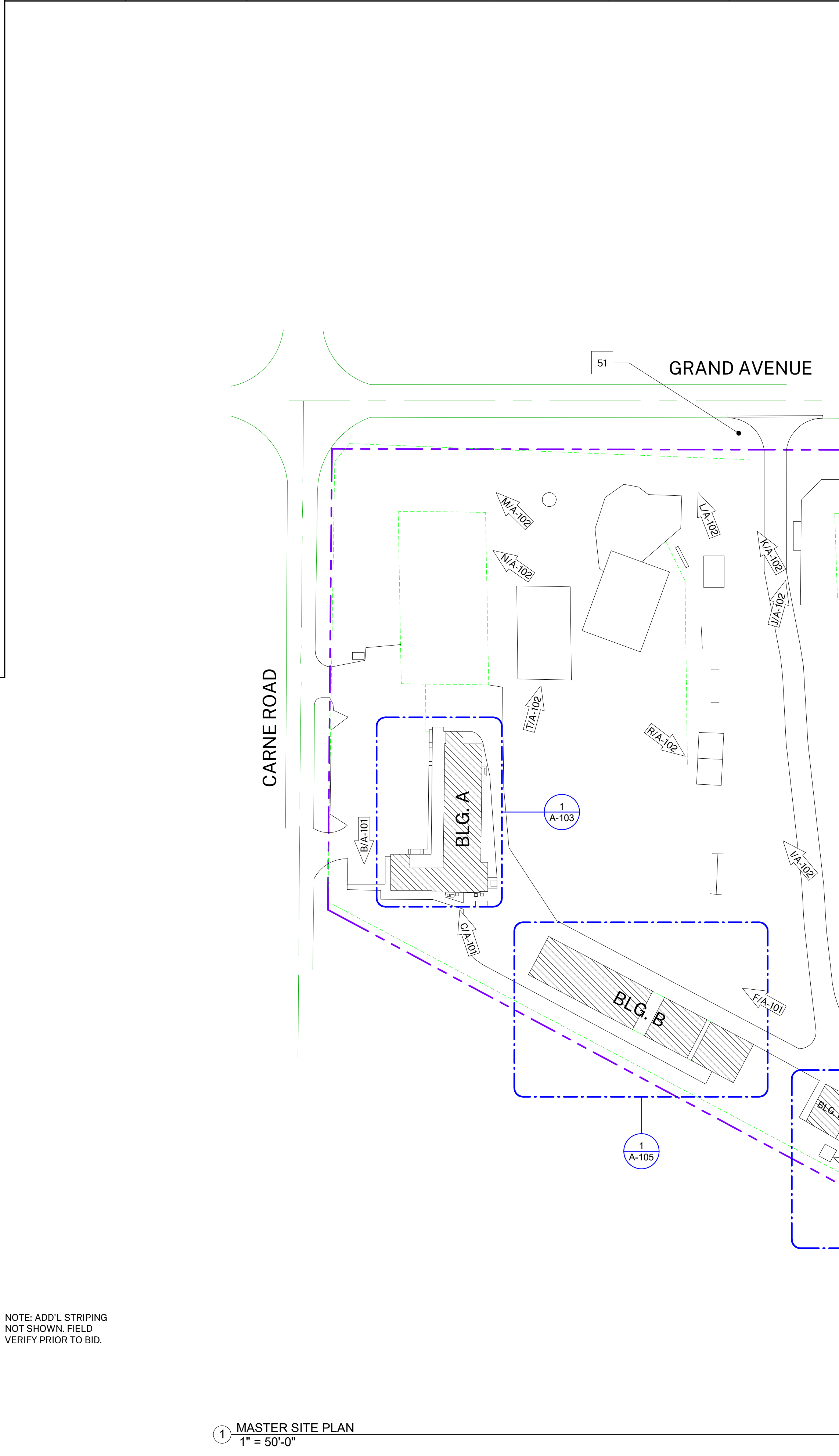
- ### SHEET KEYNOTES
- NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET
1. PAINT COLOR 1
  2. PAINT COLOR 2
  3. PAINT COLOR 3
  4. REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
  5. PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
  6. PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND, U.N.O.
  7. PREP / PAINT: EXISTING SIGNAGE IN PLACE
  8. PREP / PAINT: EXISTING LOUVERS AND/OR VENTS, TYPICAL
  9. REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND, TYPICAL AT ALL LIGHT FIXTURES U.N.O.
  10. PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
  11. PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
  12. PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
  13. PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED, U.N.O.
  14. PROTECT IN PLACE: EXISTING MURAL, PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
  15. PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
  16. PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
  17. PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES, FIELD VERIFY STAIN COLOR + SEALER SHEEN
  18. REMOVE / DISCARD: EXISTING SIGN
  19. REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
  20. PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
  21. PREP / PAINT: EXISTING CONCRETE / CMU WALL
  22. PREP / PAINT: EXISTING METAL FENCE & GATE
  23. PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
  24. PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2
  25. PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES
  26. PREP / PAINT: EXISTING CMU WALLS, PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
  27. PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
  28. PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 1&3/A-201
  29. PREP / PAINT: METAL PARAPET WALL CAP
  30. PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
  31. CONTINUE WAINSCOAT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
  32. PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
  33. REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
  34. EXISTING MURAL, PAINT OVER MURAL
  35. PROTECT IN PLACE: EXISTING SIGN/PLAQUE
  36. PREP / PAINT SAFETY YELLOW
  37. REMOVE / PAINT / REINSTALL EQUIPMENT
  38. PATCH W/ EPOXY FILL, PAINT W/ BEAK GUARD PAINT PER SPECS
  39. PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
  40. REMOVE / DISCARD AS NOTED
  41. PROTECT IN PLACE AS NOTED
  42. RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY, SEE DETAIL 5/A-201
  43. PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
  44. REMOVE / PAINT / REINSTALL BACKPACK RACKS
  45. ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
  46. PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
  47. REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS
  48. CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
  49. WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
  50. PREP / PAINT FIRE DEPARTMENT RED
  51. PREP / PAINT EXISTING MAILBOX AND POST
  52. PAINT COLOR 4



47 NOTE: ADD'L STRIPING NOT SHOWN, FIELD VERIFY PRIOR TO BID.

### CAMPUS BUILDING INFO

BUILDING NAME	DSA APP. NOS. / A#s	USE	OCCUPANCY	CONSTRUCTION TYPE	BUILDING AREA	FIRE SPRINKLERS
BUILDING A	13008 03-104379	ADMIN / MULTIPURPOSE	E	V-B	3750 +/-	NO
BUILDING B	9144 13008 54126 03-104379	CLASSROOMS & RESTROOMS	E	V-B	4670 +/-	NO
BUILDING C	03-106166 03-107321	CLASSROOMS	E	V-B	4460 +/-	NO
BUILDING D	03-108534	RESTROOMS	E	V-B	740 +/-	NO



1 MASTER SITE PLAN  
1" = 50'-0"

- ### GENERAL NOTES
1. SITE PLAN IS SCHEMATIC TO ONLY SHOW APPROXIMATE BUILDING LOCATIONS. FOR DETAILS OF SITE PAINTING SCOPE.
- ### COLOR LEGEND AND NOTES
- |                              |                          |
|------------------------------|--------------------------|
| COLOR 1 - BABY'S BREATH      | DUNN EDWARDS: DE342      |
| COLOR 2 - BLACK EYES         | DUNN EDWARDS: DE3083     |
| COLOR 3 - WOOD STAIN/SEALANT | TBD                      |
| COLOR 4 - INDIGO             | SHERWIN WILLIAMS: SW6531 |
1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

AGENCY APPROVAL:

HARTMANNARCHITECTURESTUDIO.COM  
430 S. CARRILLO RD.  
OJAI, CALIFORNIA 93023  
(805) 530-5559

CONSULTANTS:

SEALS:

PROJECT:  
**SAN ANTONIO ELEMENTARY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
OJAI UNIFIED SCHOOL DISTRICT  
414 EAST OJAI AVENUE  
OJAI, CA 93023  
(805) 640-4300  
CONTACT: ADAM DUTTER  
EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
SAN ANTONIO ELEMENTARY SCHOOL  
650 CARNE ROAD,  
OJAI, CA 93023  
OJAI USD PROJECT NO.: 2021-1304

ISSUE:	MARK	DATE	DESCRIPTION
1		12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
PROJECT NUMBER: 2021.032  
PROJECT PHASE: CD  
DRAWN BY: PBS  
REVIEWED BY: MH

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A-101**

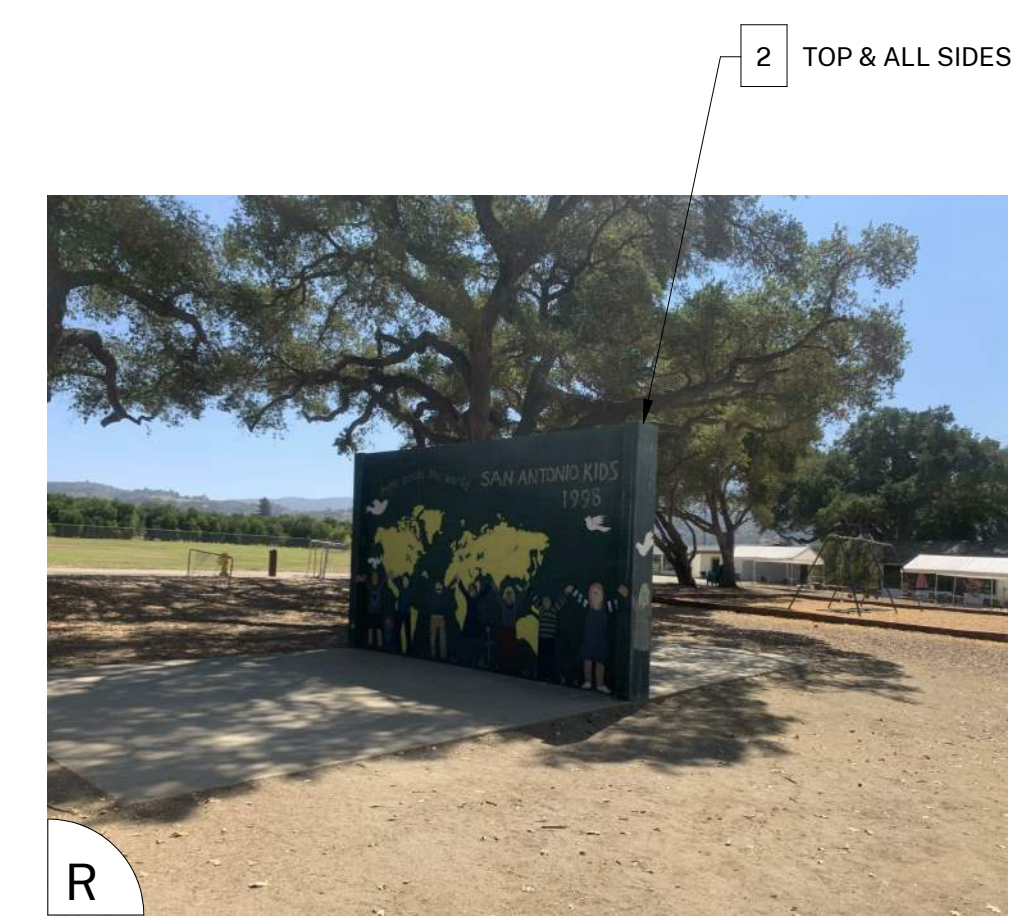
DATE: 12/6/2021 11:25:39 AM

UNIVERSITY OF CALIFORNIA, THE DESIGN AND DESIGN INFORMATION SERVICES IS THE PROPERTY OF HARTMANN ARCHITECTURE AND HARTMANN ARCHITECTURE SHALL NOT BE USED OR REPRODUCED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. COPYRIGHT HARTMANN ARCHITECTURE, 2021.

D



C



B



A



### GENERAL NOTES

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETS, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

### COLOR LEGEND AND NOTES

COLOR 1	- BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2	- BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3	- WOOD STAIN/SEALANT	TBD
COLOR 4	- INDIGO	SHERWIN WILLIAMS: SW6531

- PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

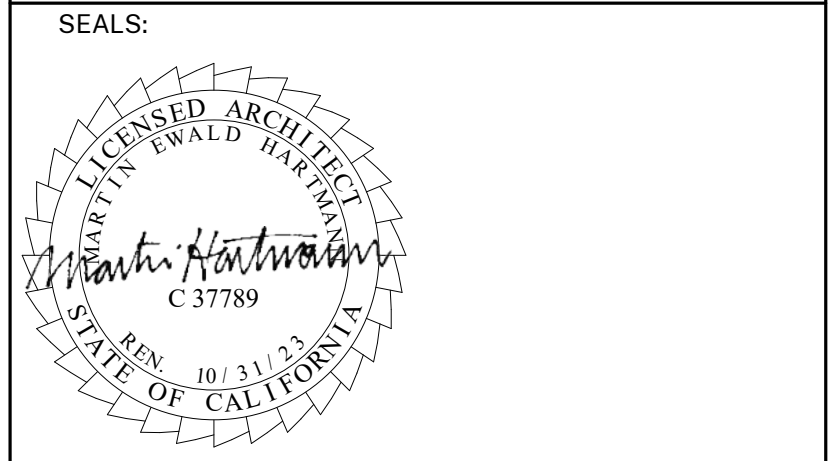
### SHEET KEYNOTES

- NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET
- PAINT COLOR 1
  - PAINT COLOR 2
  - PAINT COLOR 3
  - REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
  - PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
  - PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O.
  - PREP / PAINT: EXISTING SIGNAGE IN PLACE
  - PREP / PAINT: EXISTING LOUVERS AND/OR VENTS. TYPICAL
  - REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O.
  - PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
  - PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
  - PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
  - PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
  - PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
  - PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
  - PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
  - PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES. FIELD VERIFY STAIN COLOR + SEALER SHEEN
  - REMOVE / DISCARD: EXISTING SIGN
  - REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
  - PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
  - PREP / PAINT: EXISTING CONCRETE / CMU WALL
  - PREP / PAINT: EXISTING METAL FENCE & GATE
  - PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
  - PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2
  - PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES
  - PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
  - PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
  - PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 1&3/A-201
  - PREP / PAINT: METAL PARAPET WALL CAP
  - PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
  - CONTINUE WAINSCOT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
  - PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
  - REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
  - EXISTING MURAL, PAINT OVER MURAL
  - PROTECT IN PLACE: EXISTING SIGN/PLAQUE
  - PREP / PAINT SAFETY YELLOW
  - REMOVE / PAINT / REINSTALL EQUIPMENT
  - PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
  - PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
  - REMOVE / DISCARD AS NOTED
  - PROTECT IN PLACE AS NOTED
  - RESTRIP ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
  - PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
  - REMOVE / PAINT / REINSTALL BACKPACK RACKS
  - ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
  - PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
  - REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS
  - CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
  - WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
  - PREP / PAINT FIRE DEPARTMENT RED
  - PREP / PAINT EXISTING MAILBOX AND POST
  - PAINT COLOR 4

AGENCY APPROVAL:



CONSULTANTS:



PROJECT:  
**SAN ANTONIO ELEMENTRY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
 OJAI UNIFIED SCHOOL DISTRICT  
 414 EAST OJAI AVENUE  
 OJAI, CA 93023  
 (805) 640-4300  
 CONTACT: ADAM DUTTER  
 EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
 SAN ANTONIO ELEMENTARY SCHOOL  
 650 CARNE ROAD,  
 OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

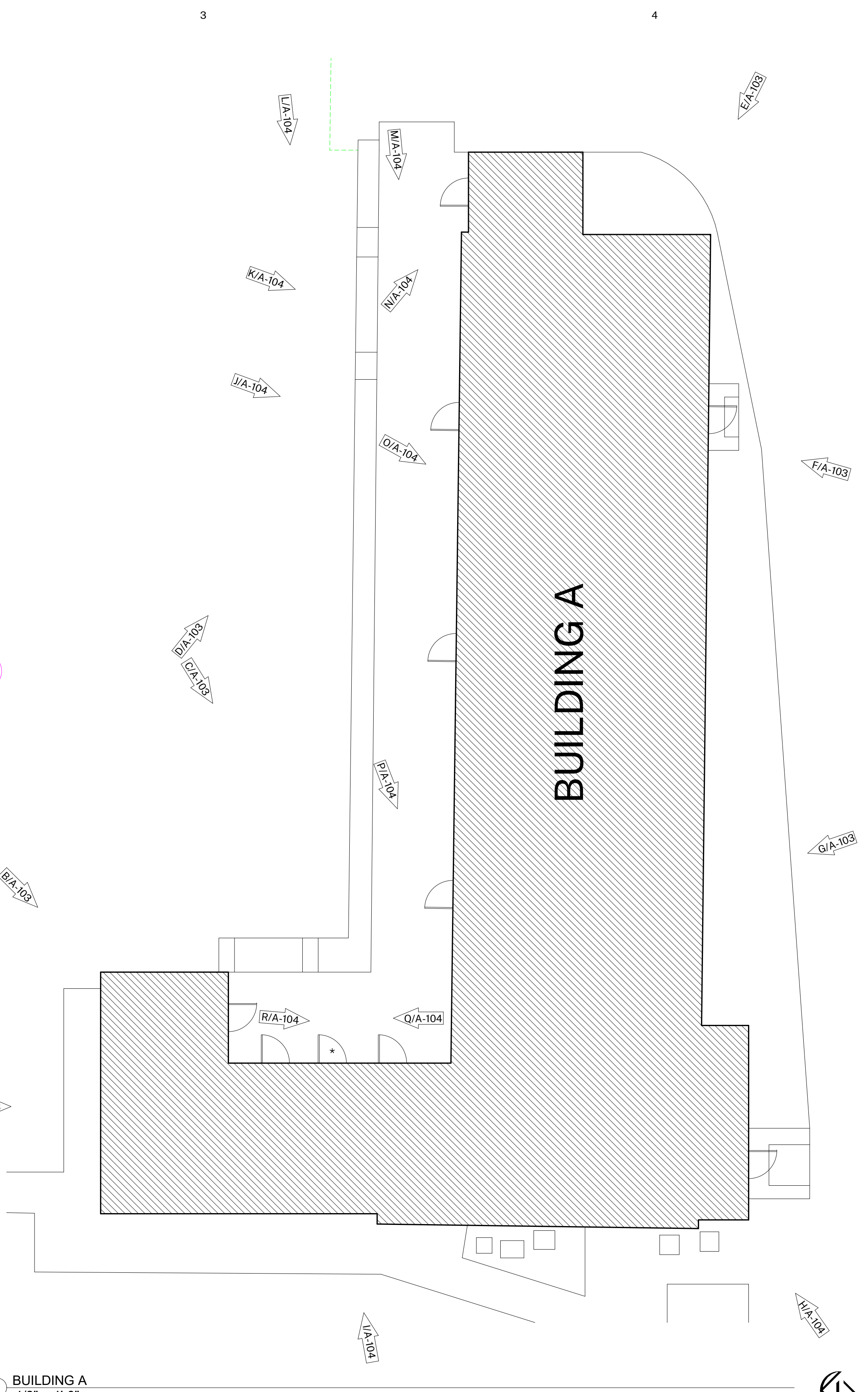
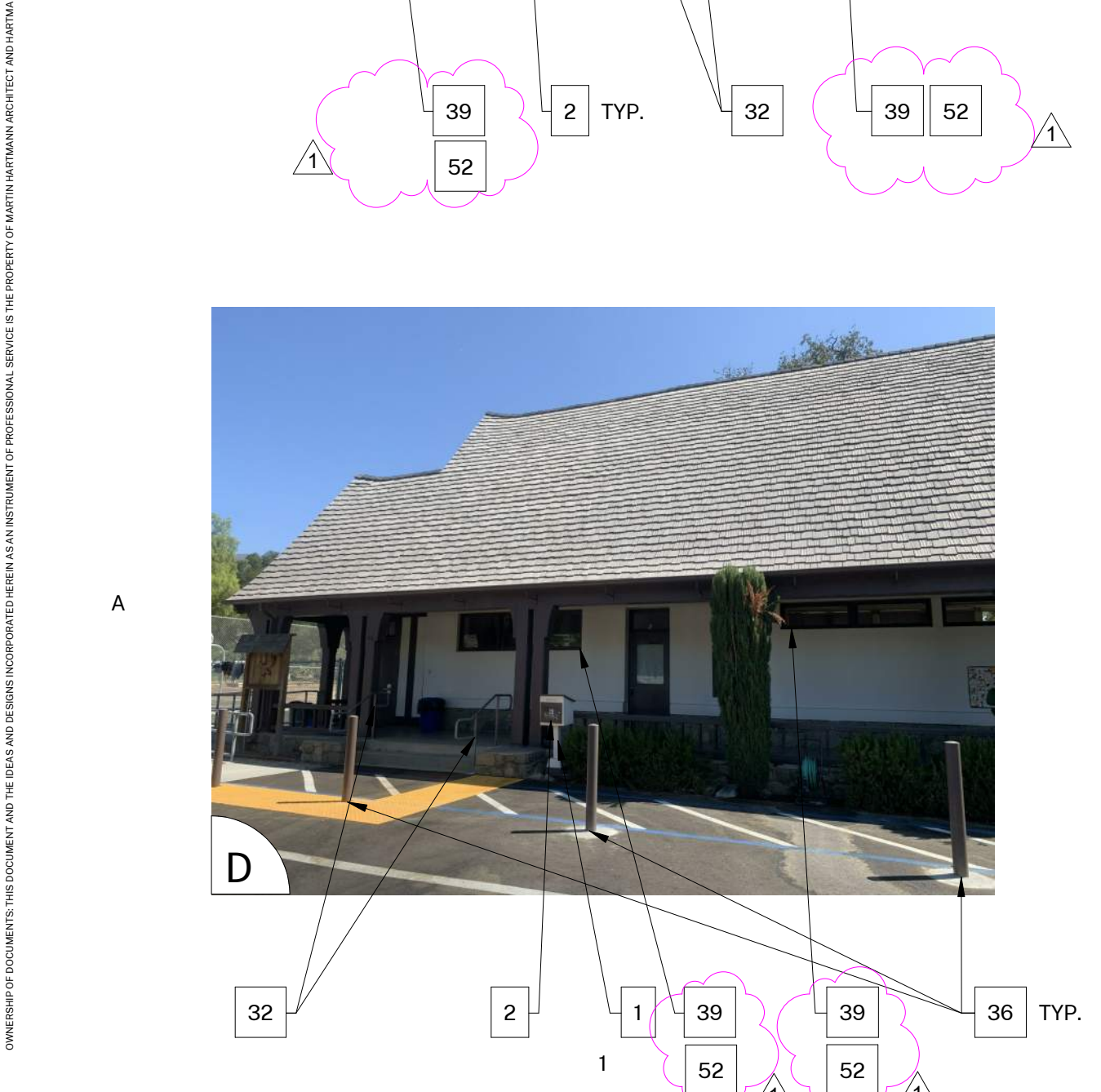
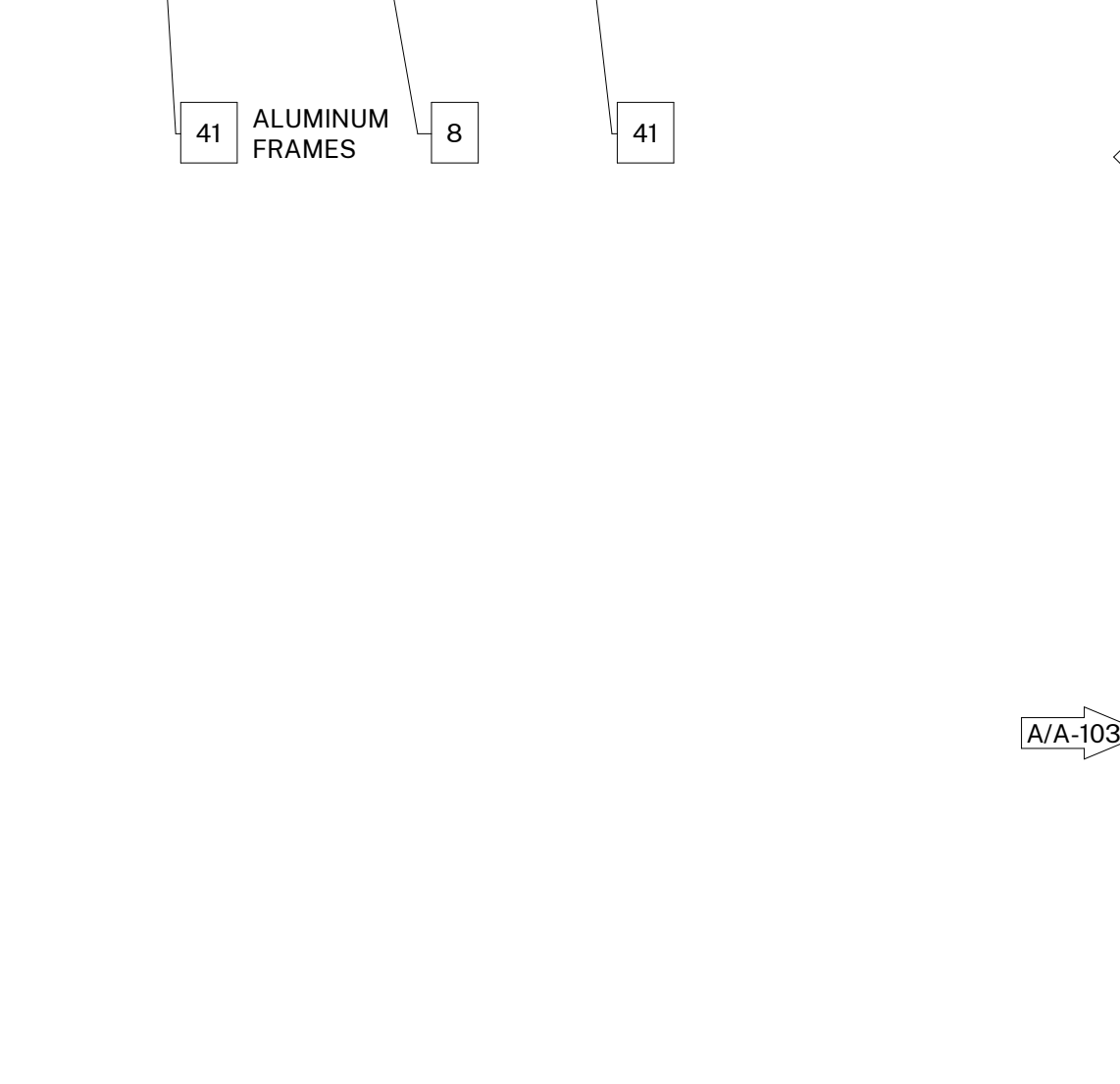
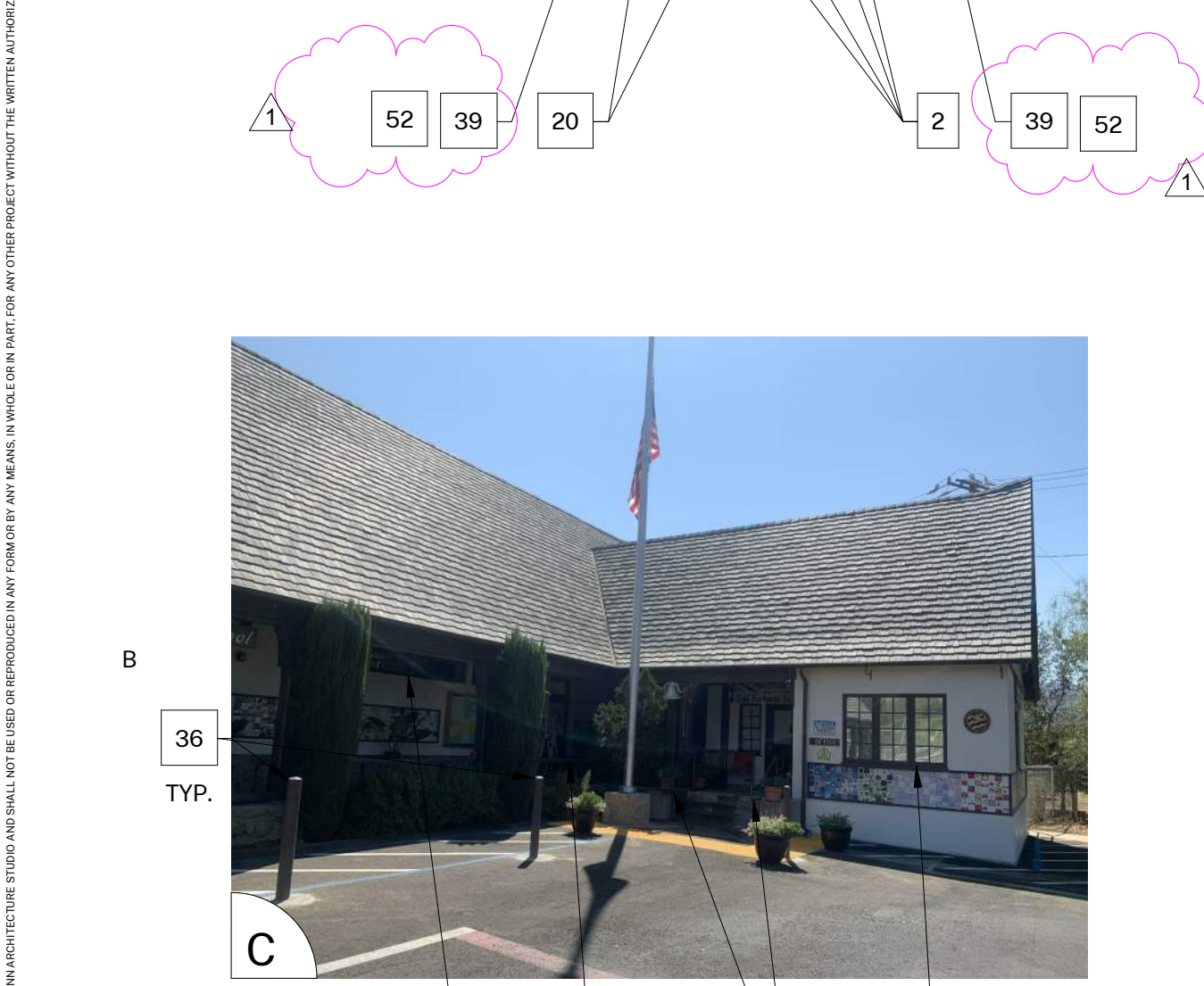
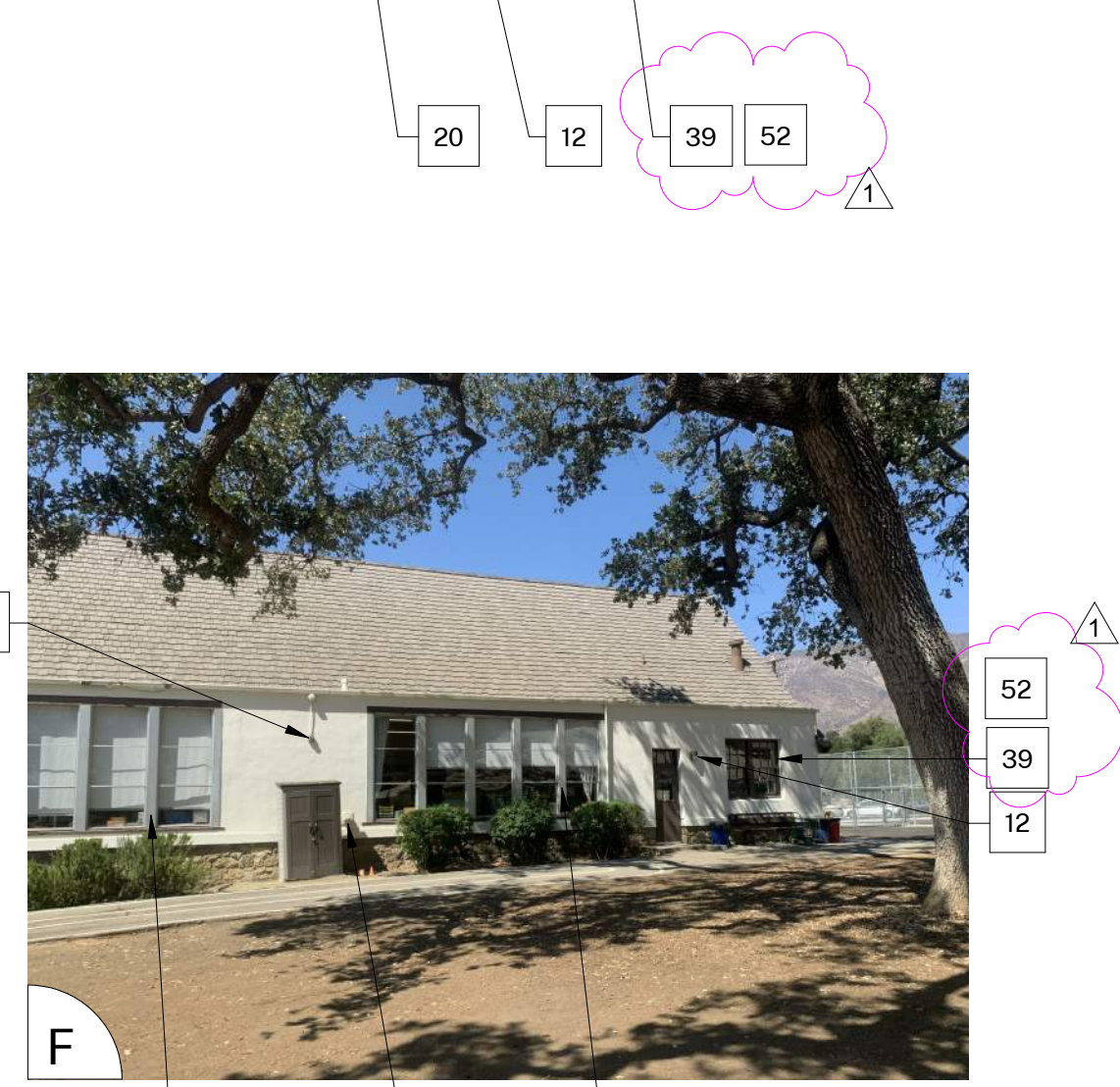
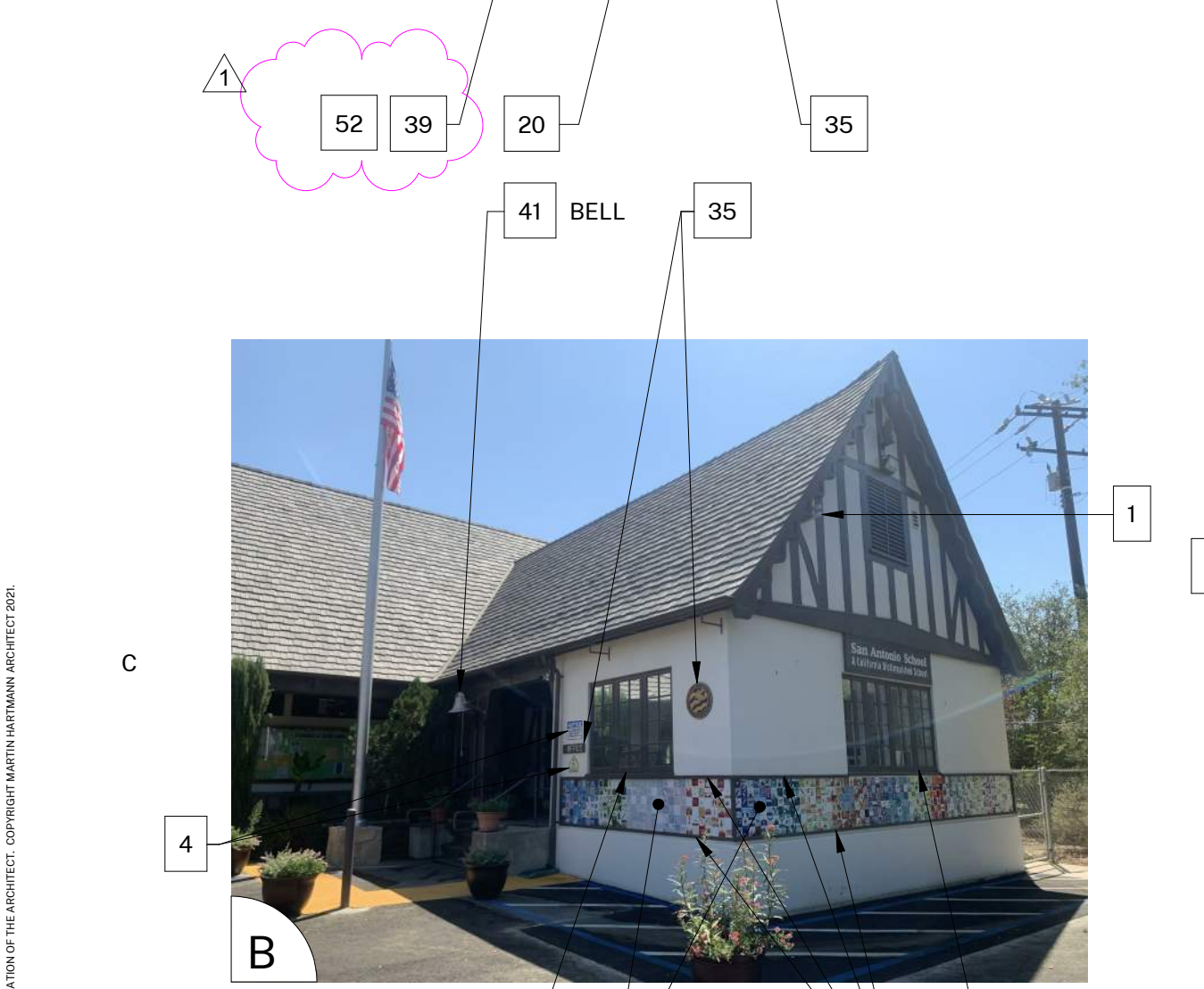
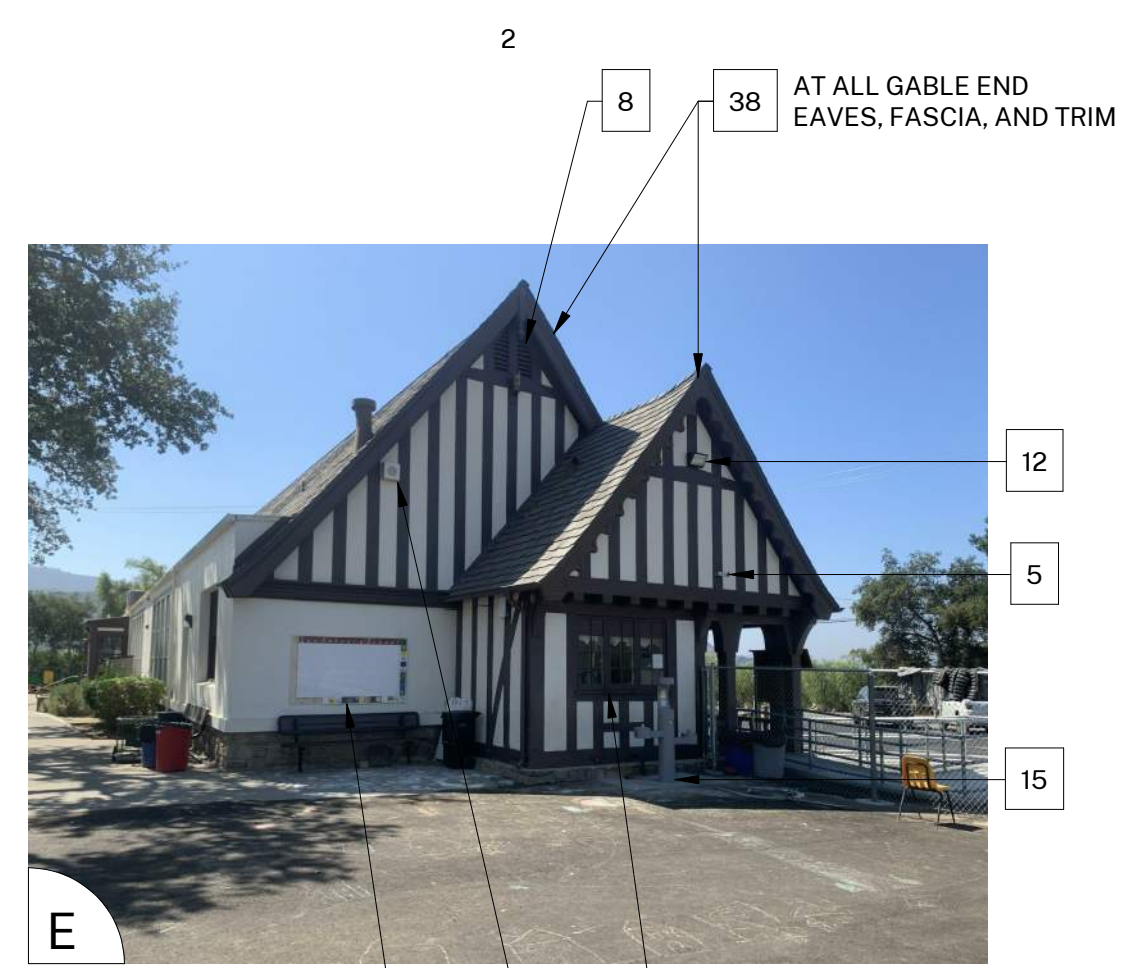
ISSUE:		
MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
 PROJECT NUMBER: 2021.032  
 PROJECT PHASE: CD  
 DRAWN BY: PBS  
 REVIEWED BY: MH

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A-102**

DATE: 12/6/2021 11:25:41 AM



1 BUILDING A  
1/8" = 1'-0"

**GENERAL NOTES**

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETS, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN; REMOVE SIGN, PAINT BEHIND SIGN. CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

**COLOR LEGEND AND NOTES**

COLOR 1 - BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2 - BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3 - WOOD STAIN/SEALANT	TBD
COLOR 4 - INDIGO	SHERWIN WILLIAMS: SW6531

1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

**SHEET KEYNOTES** NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET

- PAINT COLOR 1
- PAINT COLOR 2
- PAINT COLOR 3
- REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
- PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O.
- PREP / PAINT: EXISTING SIGNAGE IN PLACE
- PREP / PAINT: EXISTING LOUVERS AND/OR VENTS. TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O.
- PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
- PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
- PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
- PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES. FIELD VERIFY STAIN COLOR + SEALER SHEEN
- REMOVE / DISCARD: EXISTING SIGN
- REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- PREP / PAINT: EXISTING CONCRETE / CMU WALL
- PREP / PAINT: EXISTING METAL FENCE & GATE
- PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP. PAINT COLOR 2
- PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES
- PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
- PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 1&3/A-201
- PREP / PAINT: METAL PARAPET WALL CAP
- PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
- CONTINUE WAINSCOT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- REMOVE / PAINT / REINSTALL EQUIPMENT
- PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- REMOVE / DISCARD AS NOTED
- PROTECT IN PLACE AS NOTED
- RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- REMOVE / PAINT / REINSTALL BACKPACK RACKS
- ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS
- CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- PREP / PAINT FIRE DEPARTMENT RED
- PREP / PAINT EXISTING MAILBOX AND POST
- PAINT COLOR 4

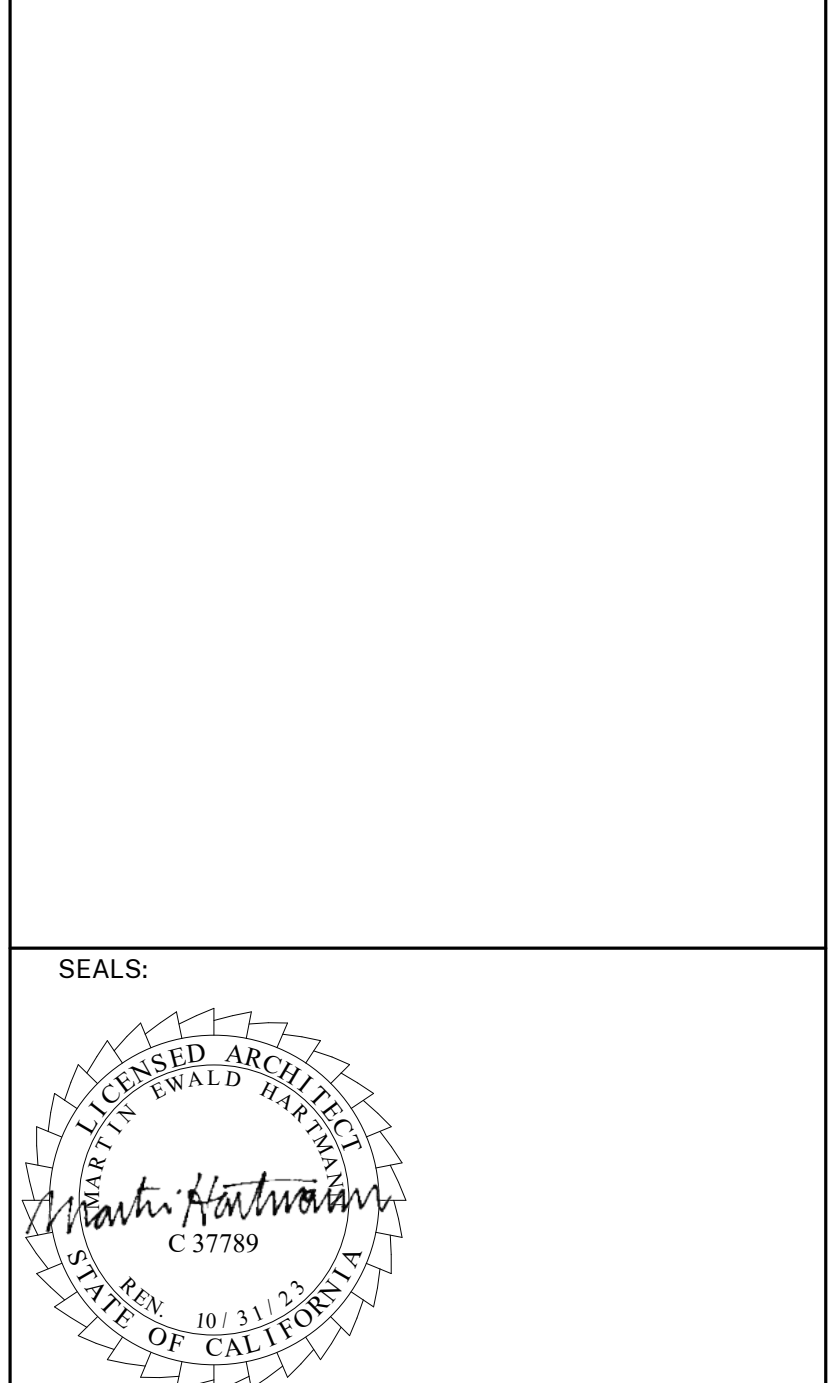
**SYMBOL LEGEND**

	EXISTING DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PREP/PAINT EXTERIOR DOOR, DOOR FRAME, TRIM. PAINT DOOR EDGES, TOPS, AND EXTERIOR HALF OF JAMBS AND FRAMES. PAINT DOOR FRAMES COLOR 4.
	EXISTING RESTROOM DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PAINT EXTERIOR DOOR FACE, FRAME EXTERIOR AND INTERIOR JAMB TO FACE OF DOOR STOP. PROVIDE RESTROOM IDENTIFICATION DOOR SIGNAGE ON EXTERIOR AND INTERIOR WHERE DOORS ARE PROPPED OPEN. SEE 2/A-201, PAINT DOOR FRAMES COLOR 4.

AGENCY APPROVAL:



CONSULTANTS:



PROJECT:  
**SAN ANTONIO ELEMENTRY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
OJAI UNIFIED SCHOOL DISTRICT  
414 EAST OJAI AVENUE  
OJAI, CA 93023  
(805) 640-4300  
CONTACT: ADAM DUTTER  
EMAIL: adutter@ojaisd.org

PROJECT ADDRESS:  
SAN ANTONIO ELEMENTARY SCHOOL  
650 CARNE ROAD,  
OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

ISSUE:		
MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
PROJECT NUMBER: 2021.032  
PROJECT PHASE: CD  
DRAWN BY: PBS  
REVIEWED BY: MH

SHEET TITLE:  
**BUILDING A**

SHEET NUMBER:  
**A-103**

DATE: 12/6/2021 11:25:43 AM



10

G

32

41

ALUMINUM FRAMES

38

AT ALL GABLE END  
EAVES, FASCIA, AND TRIM



8

H

52  
TRIM

41  
TYP.

12

5



I

8

12

41  
TYP.

46

52

1



J

32



K

3



L

1

52

39  
TYP.

9  
TYP.



M

9  
TYP.



O

2



P

17



Q

9  
TYP.

REPLACE SIGN  
8/A-201

2

20

18



R

### GENERAL NOTES

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETS, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

### COLOR LEGEND AND NOTES

COLOR 1	- BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2	- BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3	- WOOD STAIN/SEALANT	TBD
COLOR 4	- INDIGO	SHERWIN WILLIAMS: SW6531

- PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

### SHEET KEYNOTES

NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET

- PAINT COLOR 1
- PAINT COLOR 2
- PAINT COLOR 3
- REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
- PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O.
- PREP / PAINT: EXISTING SIGNAGE IN PLACE
- PREP / PAINT: EXISTING LOUVERS AND/OR VENTS. TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O.
- PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
- PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
- PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
- PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES. FIELD VERIFY STAIN COLOR + SEALER SHEEN
- REMOVE / DISCARD: EXISTING SIGN
- REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- PREP / PAINT: EXISTING CONCRETE / CMU WALL
- PREP / PAINT: EXISTING METAL FENCE & GATE
- PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2
- PREP / PAINT: EXISTING WOOD BENCH / SEAT AND PICNIC TABLES
- PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
- PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 18/3/A-201
- PREP / PAINT: METAL PARAPET WALL CAP
- PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
- CONTINUE WAINSCOT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- EXISTING MURAL, PAINT OVER MURAL
- PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- PREP / PAINT SAFETY YELLOW
- REMOVE / PAINT / REINSTALL EQUIPMENT
- PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- REMOVE / DISCARD AS NOTED
- PROTECT IN PLACE AS NOTED
- RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- REMOVE / PAINT / REINSTALL BACKPACK RACKS
- ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS
- CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- PREP / PAINT FIRE DEPARTMENT RED
- PREP / PAINT EXISTING MAILBOX AND POST
- PAINT COLOR 4

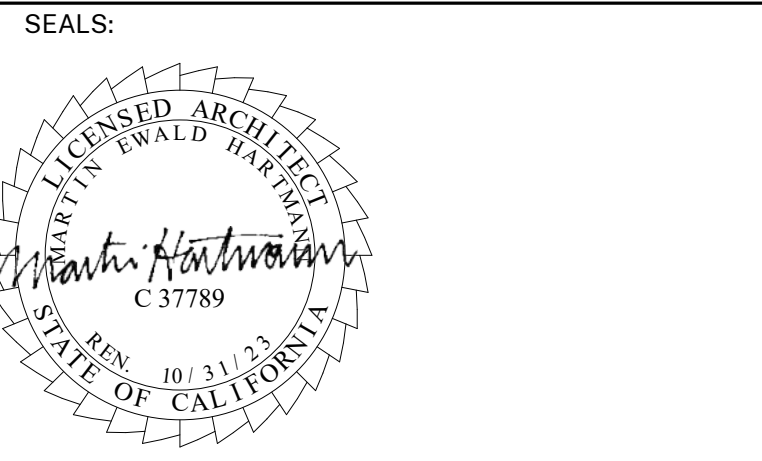
REPLACE SIGN  
2/A-201

AGENCY APPROVAL:



HARTMANNARCHITECTURESTUDIO.COM  
430 S. CARRILLO RD.  
OJAI, CALIFORNIA 93023  
(805) 530-5559

CONSULTANTS:



PROJECT:  
**SAN ANTONIO ELEMENTRY  
SCHOOL CAMPUS - WIDE  
EXTERIOR PAINTING**

OWNER:  
OJAI UNIFIED SCHOOL DISTRICT  
414 EAST OJAI AVENUE  
OJAI, CA 93023  
(805) 640-4300  
CONTACT: ADAM DUTTER  
EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
SAN ANTONIO ELEMENTARY SCHOOL  
650 CARNE ROAD,  
OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

ISSUE:

MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
PROJECT NUMBER: 2021.032  
PROJECT PHASE: CD  
DRAWN BY: PBS  
REVIEWED BY: MH

SHEET TITLE:

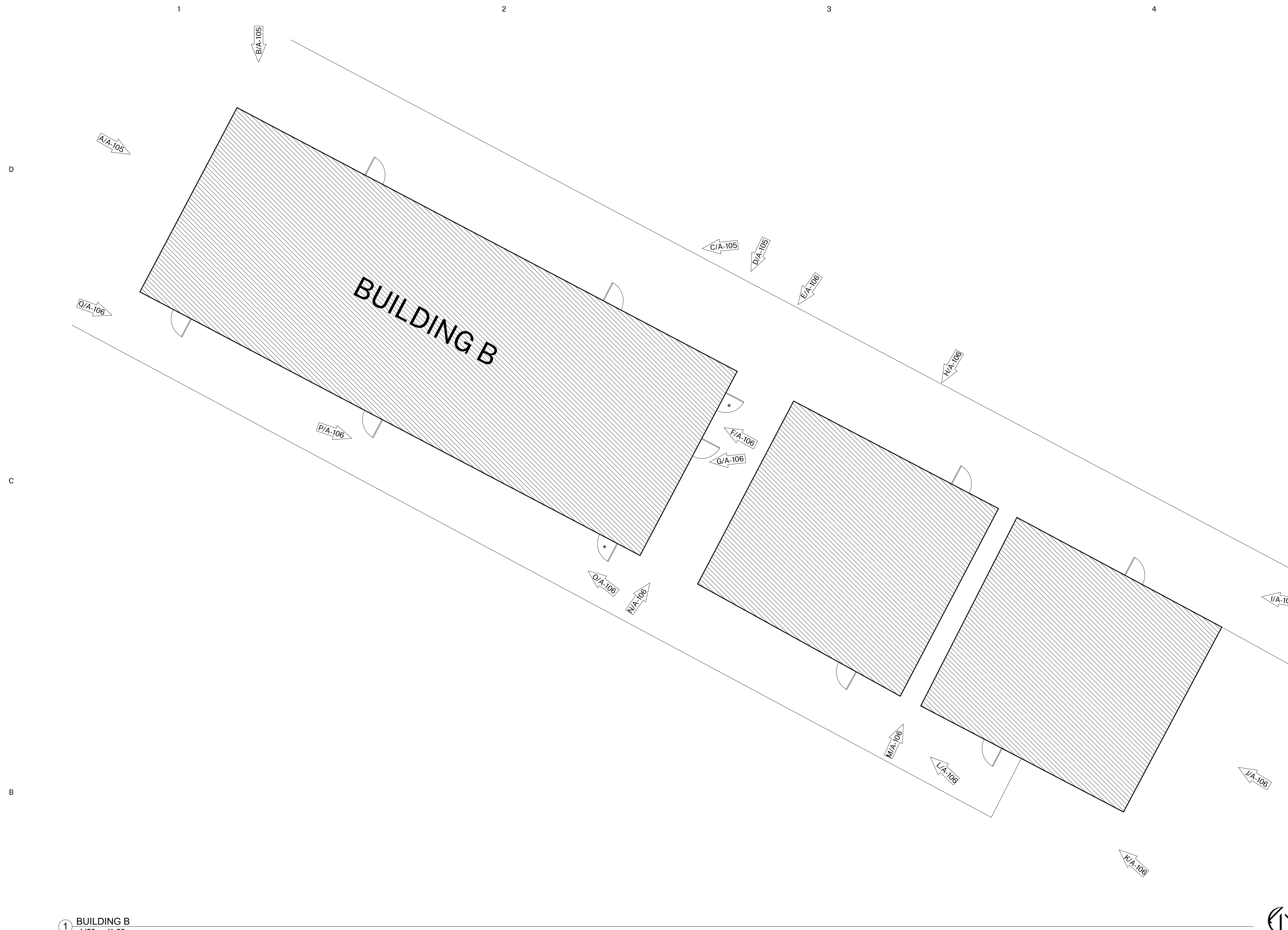
**BUILDING A**

SHEET NUMBER:

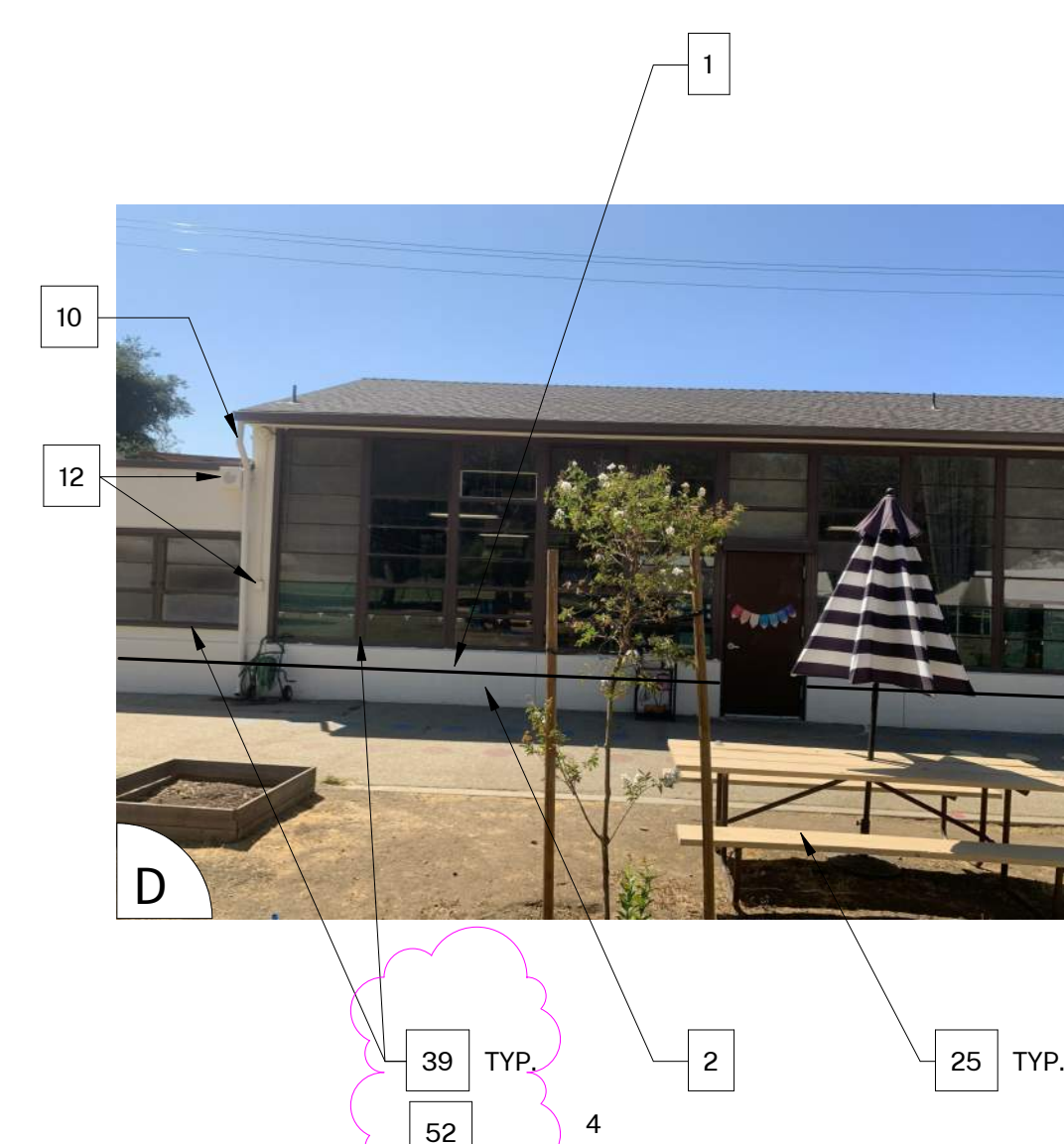
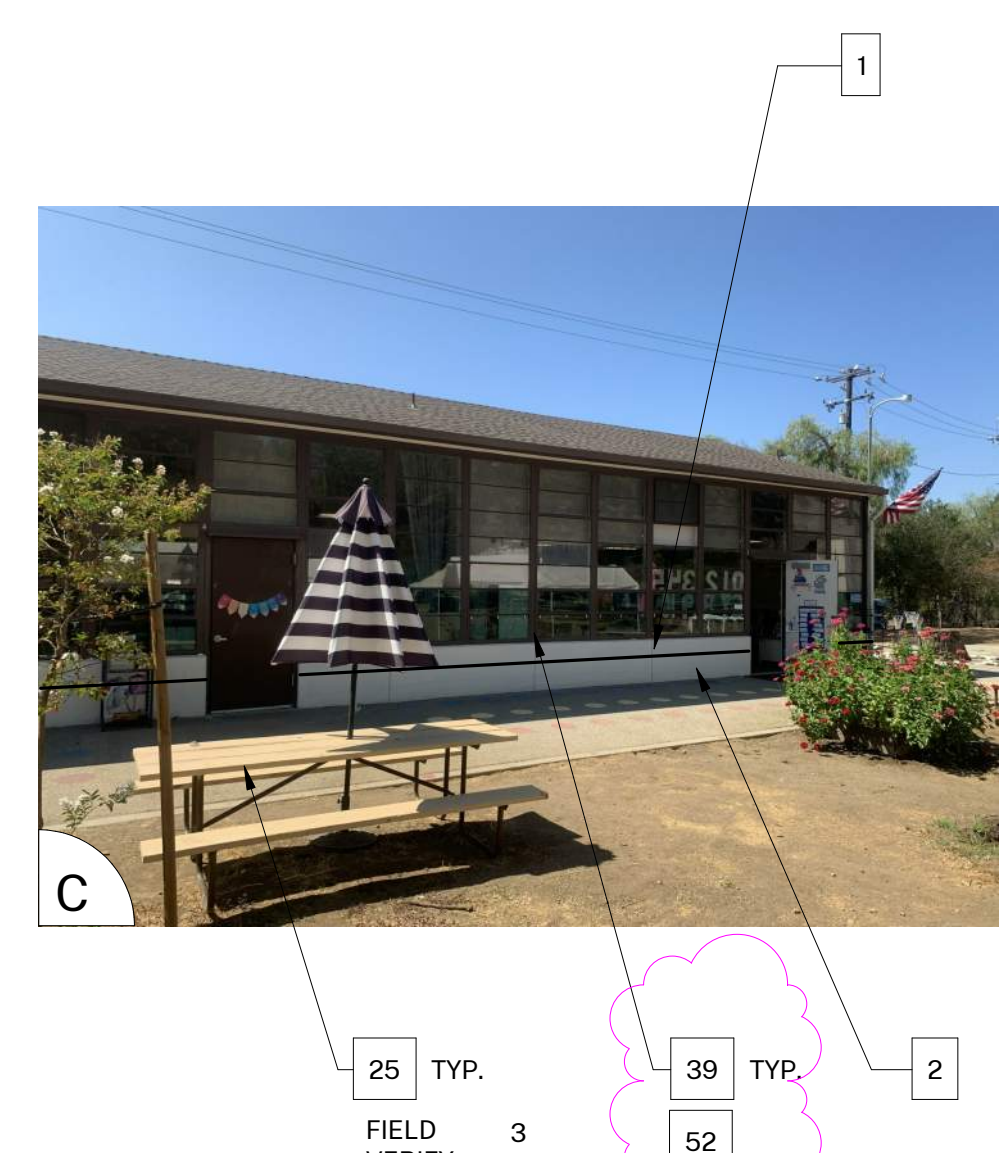
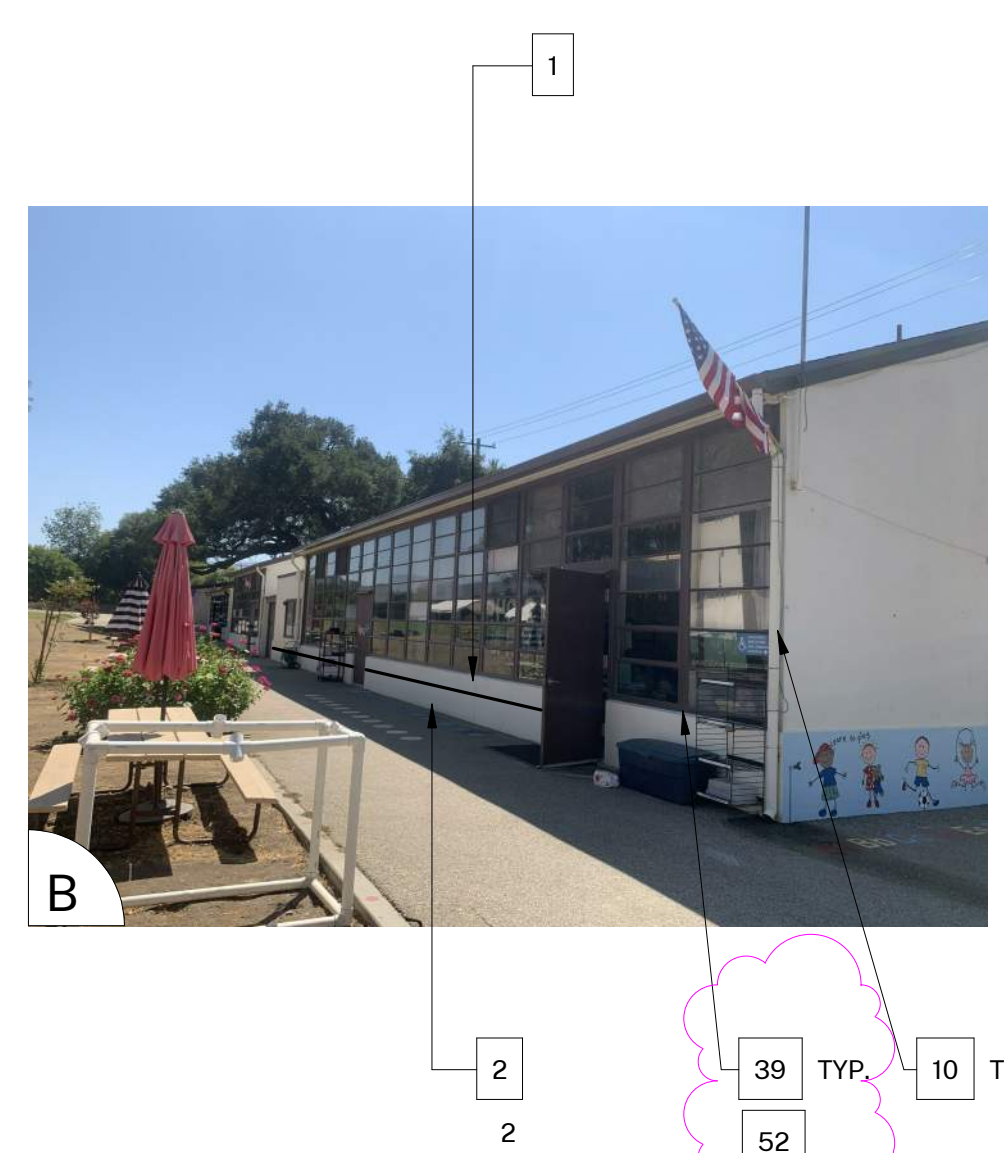
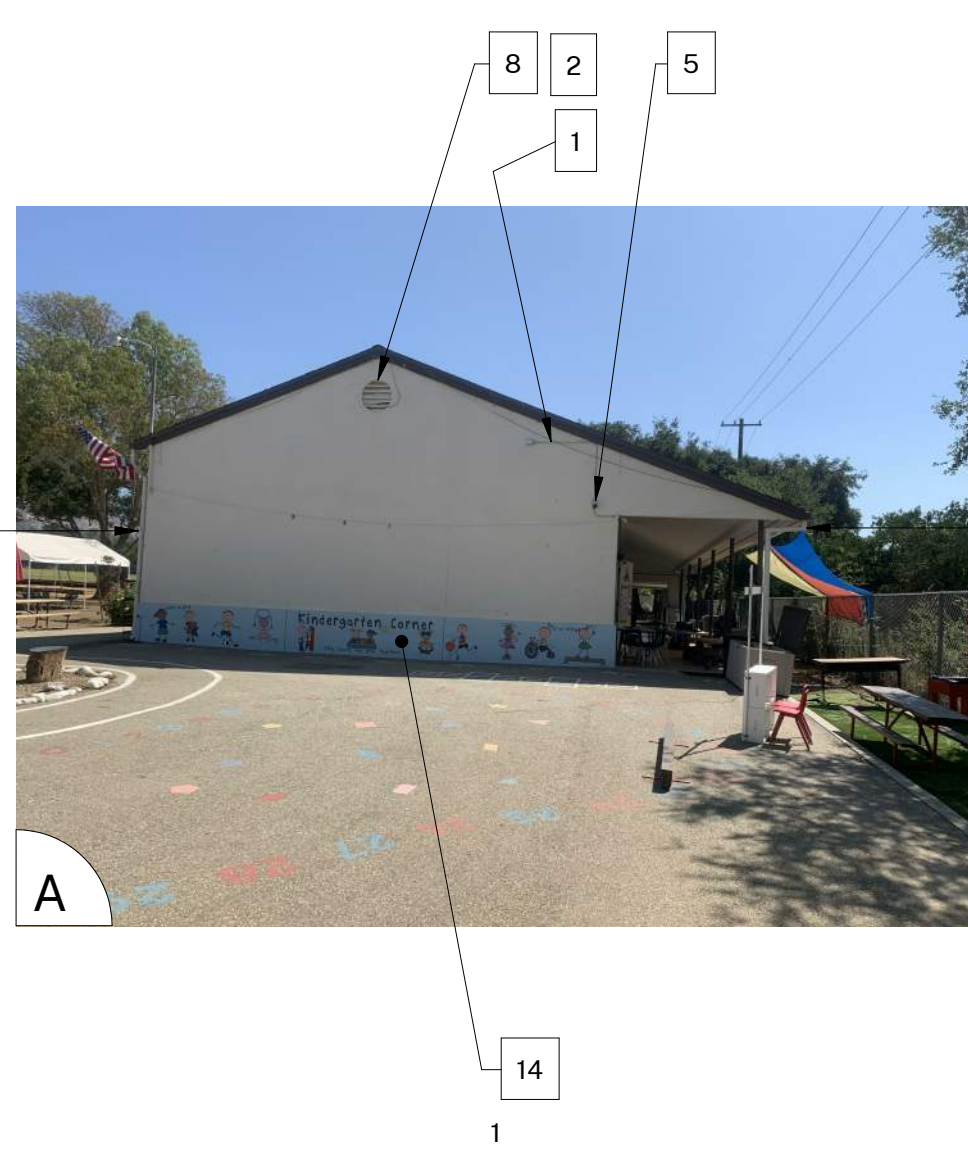
**A-104**

DATE: 12/6/2021 11:25:45 AM

UNIVERSITY OF CALIFORNIA ARCHITECTURE AND PLANNING SERVICES IS THE PROPERTY OF HARTMANN ARCHITECTURE AND PLANNING SERVICES. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF HARTMANN ARCHITECTURE AND PLANNING SERVICES.



1 BUILDING B  
1/8" = 1'-0"



**GENERAL NOTES**

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

**COLOR LEGEND AND NOTES**

COLOR 1	- BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2	- BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3	- WOOD STAIN/SEALANT	TBD
COLOR 4	- INDIGO	SHERWIN WILLIAMS: SW6531

1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

**SHEET KEYNOTES** NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET

- PAINT COLOR 1
- PAINT COLOR 2
- PAINT COLOR 3
- REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
- PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O.
- PREP / PAINT: EXISTING SIGNAGE IN PLACE
- PREP / PAINT: EXISTING LOUVERS AND/OR VENTS, TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND, TYPICAL AT ALL LIGHT FIXTURES U.N.O.
- PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
- PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- PROTECT IN PLACE: EXISTING LIGHT FIXTURE ESCUTCHER / FIRE ALARM DEVICE
- PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
- PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES, FIELD VERIFY STAIN COLOR + SEALER SHEEN
- REMOVE / DISCARD: EXISTING SIGN
- REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- PREP / PAINT: EXISTING CONCRETE / CMU WALL
- PREP / PAINT: EXISTING METAL FENCE & GATE
- PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP, PAINT COLOR 2
- PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES
- PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
- PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 183/A-201
- PREP / PAINT: METAL PARAPET WALL CAP
- PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
- CONTINUE WAINSCOT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- EXISTING MURAL, PAINT OVER MURAL
- PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- PREP / PAINT SAFETY YELLOW
- REMOVE / PAINT / REINSTALL EQUIPMENT
- PATCH W/ EPOXY FILL, PAINT W/ BEAK GUARD PAINT PER SPECS
- PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- REMOVE / DISCARD AS NOTED
- PROTECT IN PLACE AS NOTED
- RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- REMOVE / PAINT / REINSTALL BACKPACK RACKS
- ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS
- CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- PREP / PAINT FIRE DEPARTMENT RED
- PREP / PAINT EXISTING MAILBOX AND POST
- PAINT COLOR 4

**SYMBOL LEGEND**

- EXISTING DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR W/ WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PREP/PAINT EXTERIOR DOOR, DOOR FRAME, TRIM, PAINT DOOR EDGES, TOPS, AND EXTERIOR HALF OF JAMBS AND FRAMES. PAINT DOOR FRAMES COLOR 4.
- EXISTING RESTROOM DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PAINT EXTERIOR DOOR FACE, FRAME EXTERIOR AND INTERIOR JAMB TO FACE OF DOOR STOP. PROVIDE RESTROOM IDENTIFICATION DOOR SIGNAGE ON EXTERIOR AND INTERIOR WHERE DOORS ARE PROPPED OPEN. SEE 2/A-201, PAINT DOOR FRAMES COLOR 4.

AGENCY APPROVAL:



CONSULTANTS:



PROJECT:  
**SAN ANTONIO ELEMENTARY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
OJAI UNIFIED SCHOOL DISTRICT  
414 EAST OJAI AVENUE  
OJAI, CA 93023  
(805) 640-4300  
CONTACT: ADAM DUTTER  
EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
SAN ANTONIO ELEMENTARY SCHOOL  
650 CARNE ROAD,  
OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
PROJECT NUMBER: 2021.032  
PROJECT PHASE: CD  
DRAWN BY: PBS  
REVIEWED BY: MH

SHEET TITLE:  
**BUILDING B**

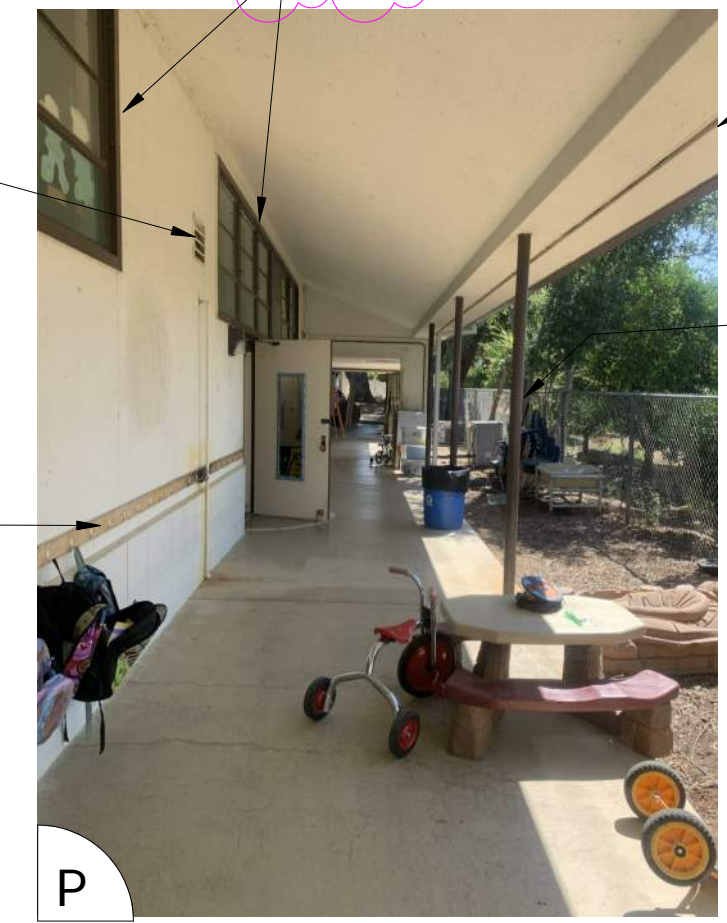
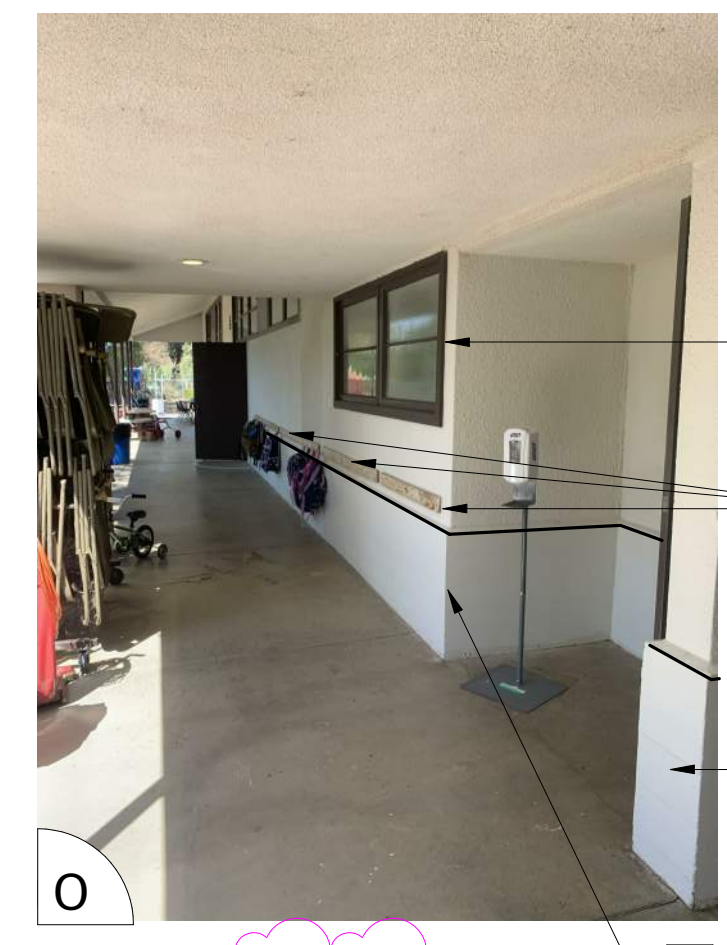
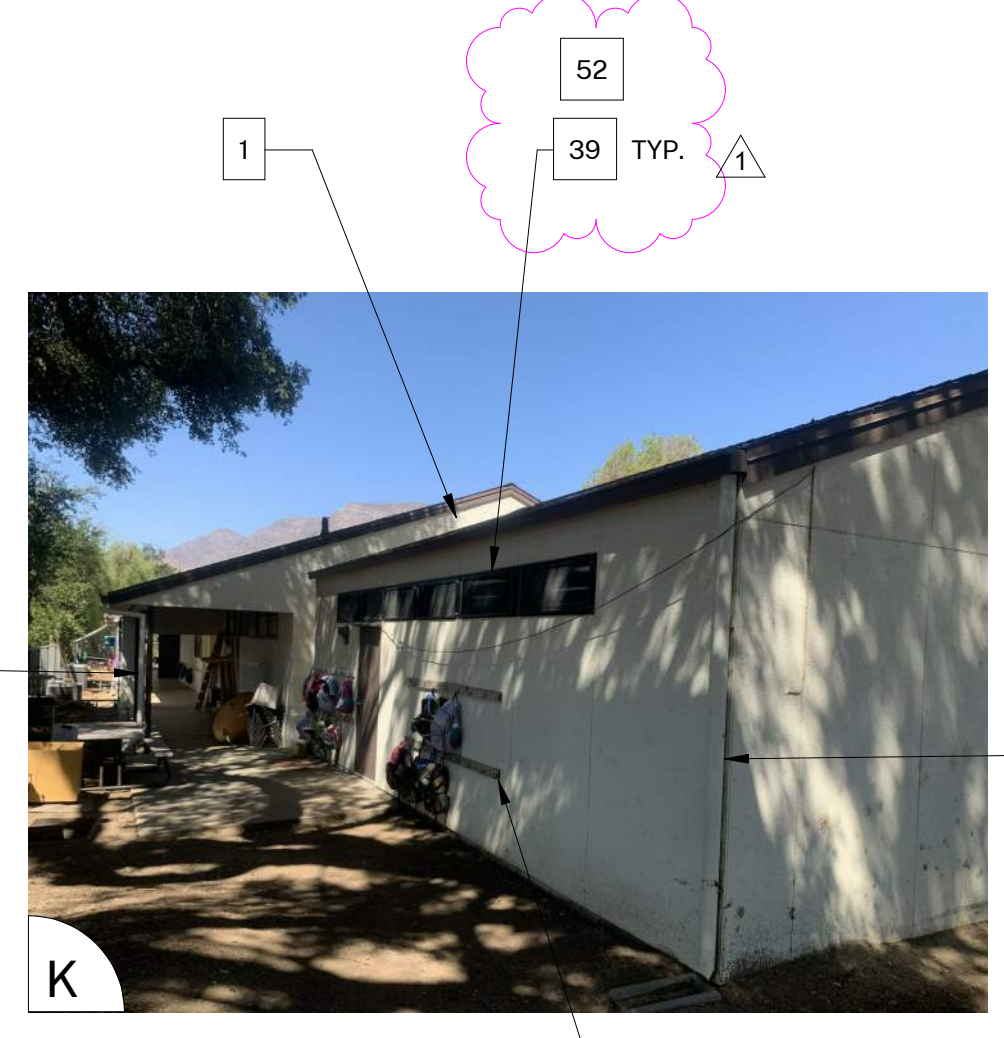
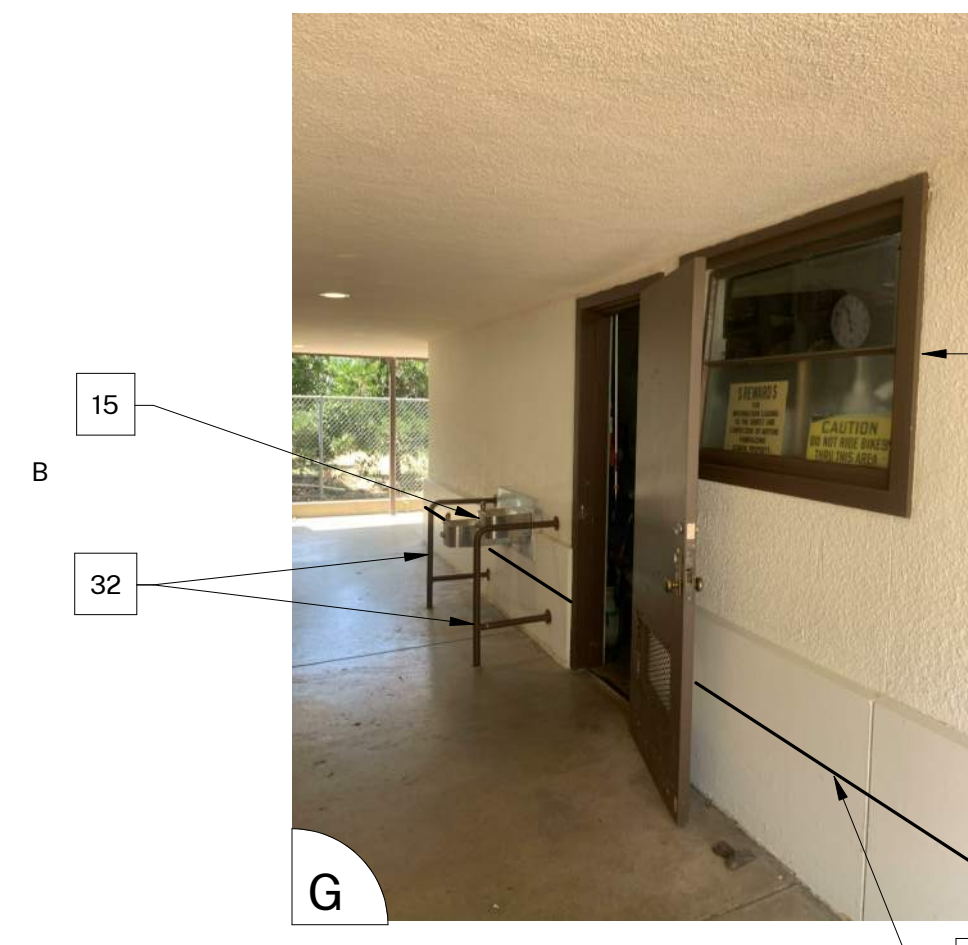
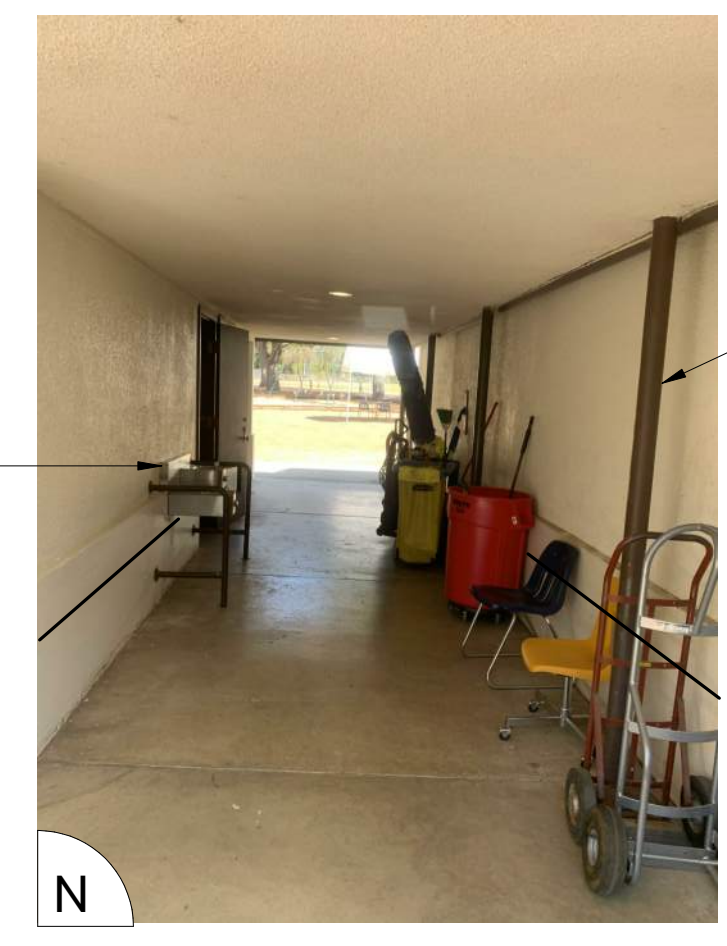
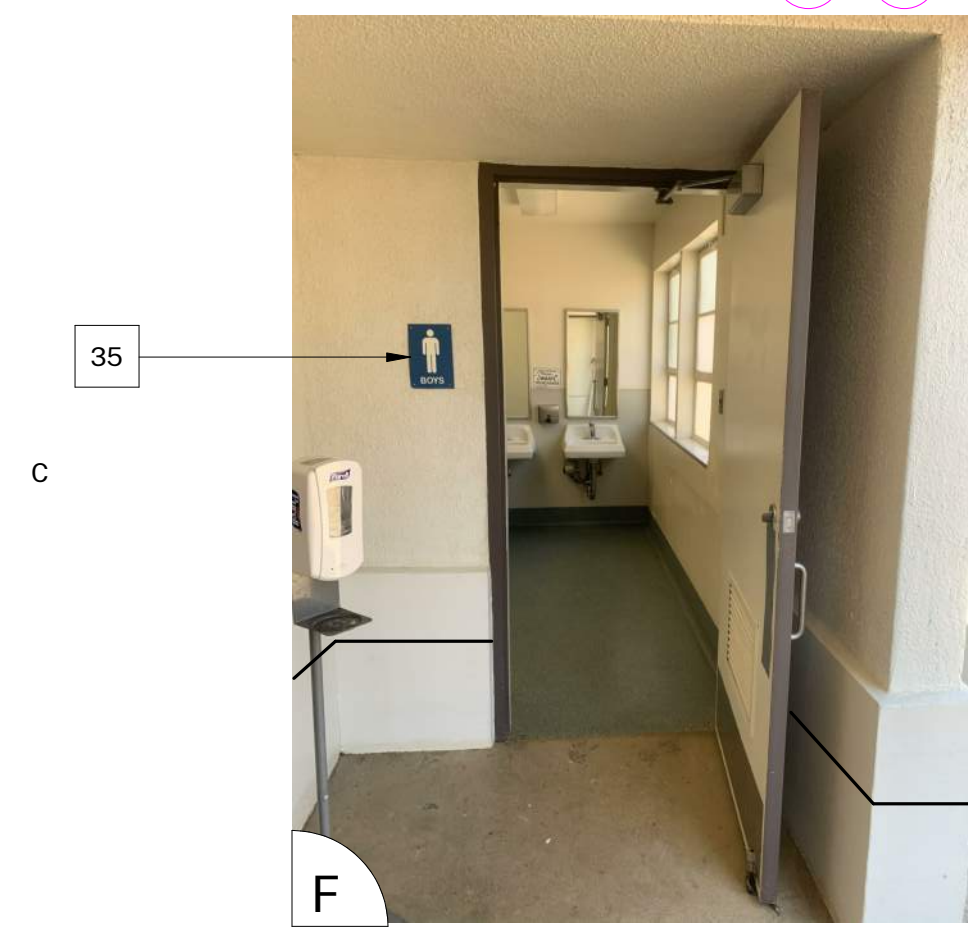
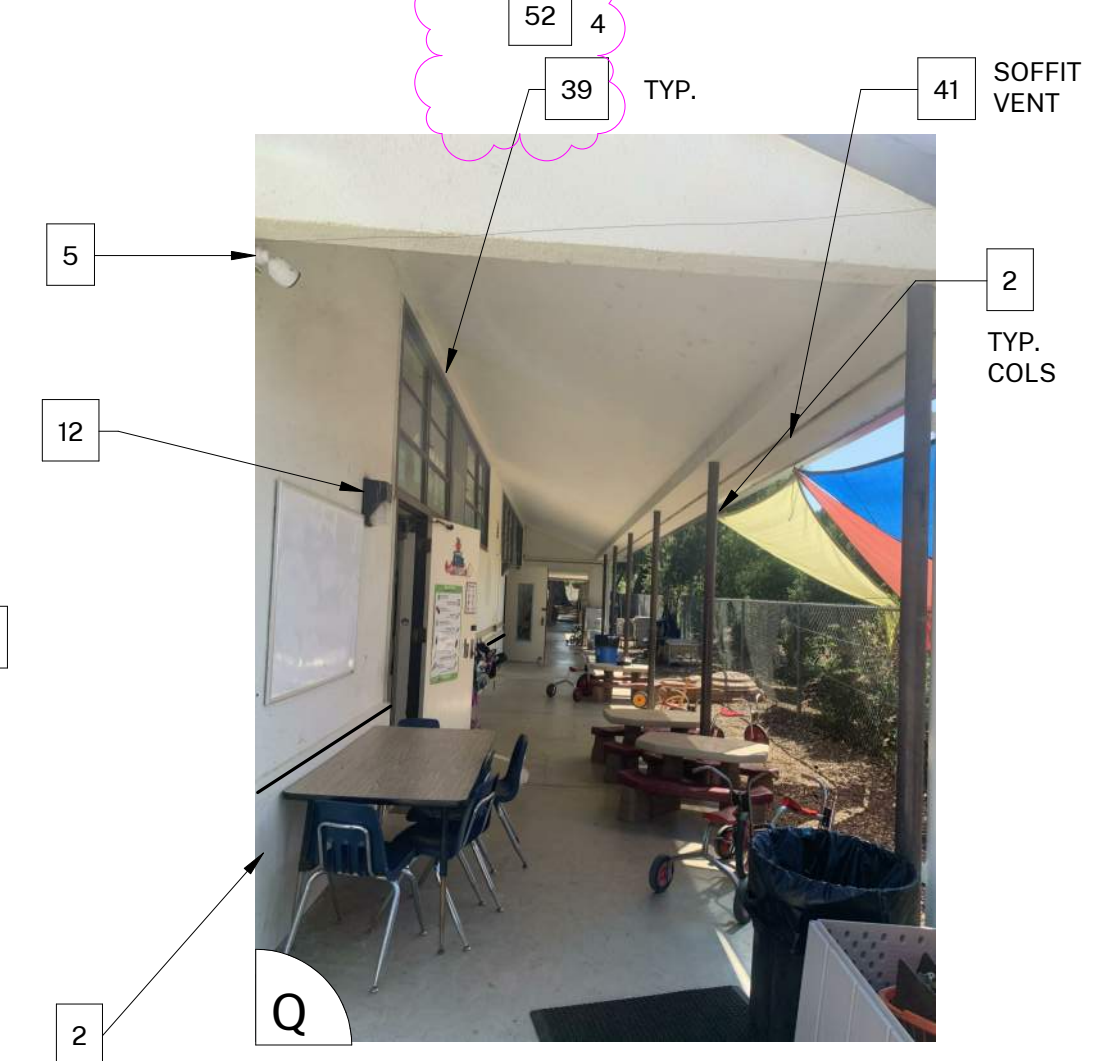
SHEET NUMBER:  
**A-105**

DATE: 12/6/2021 11:25:47 AM

UNIVERSITY OF CALIFORNIA, BERKELEY - THE DESIGN AND CONSTRUCTION OF PROFESSIONAL SERVICES IS THE PROPERTY OF HARTMANN ARCHITECTURE AND MANUFACTURING. ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, HARTMANN ARCHITECTURE.



OWNERSHIP OF DOCUMENT: THIS DOCUMENT AND THE DESIGN AND DESIGN INFORMATION HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE TO THE PROPERTY OF HARTMANN ARCHITECTURE AND HARTMANN ARCHITECTURE STUDIO AND SHALL NOT BE USED OR REPRODUCED IN ANY FORM OR BY ANY MEANS IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. COPYRIGHT 2021 HARTMANN ARCHITECTURE.



**GENERAL NOTES**

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

**COLOR LEGEND AND NOTES**

COLOR 1 - BABY'S BREATH DUNN EDWARDS: DE342  
 COLOR 2 - BLACK EYES DUNN EDWARDS: DE3083  
 COLOR 3 - WOOD STAIN/SEALANT TBD  
 COLOR 4 - INDIGO SHERWIN WILLIAMS: SW6531

1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

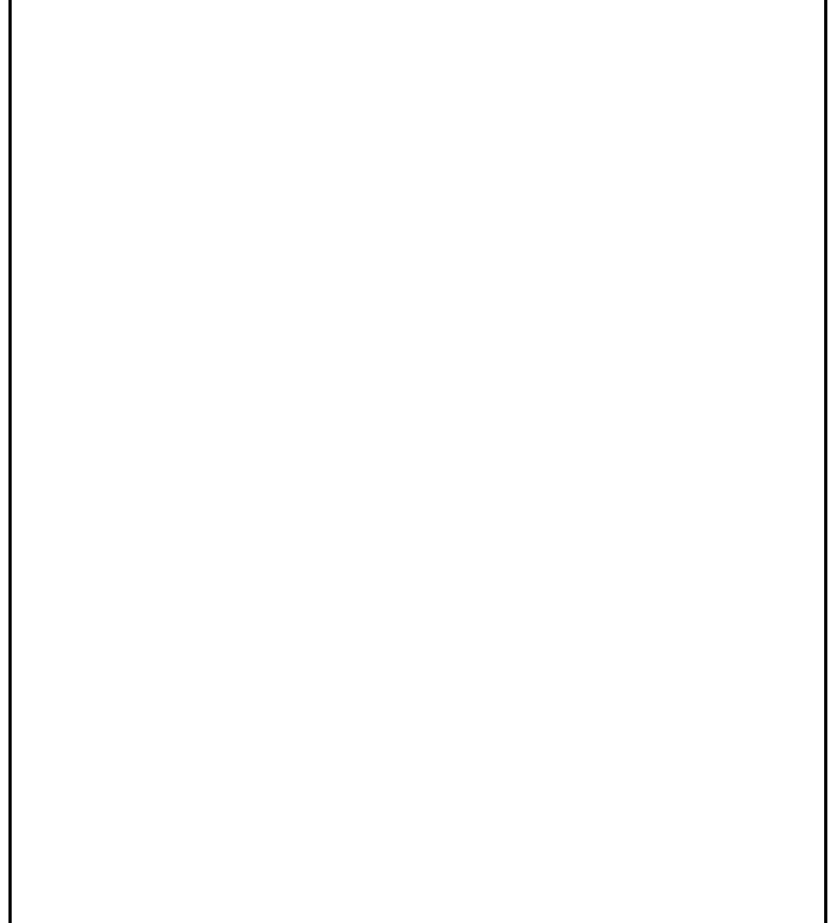
**SHEET KEYNOTES** NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET

- PAINT COLOR 1
- PAINT COLOR 2
- PAINT COLOR 3
- REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
- PREP / PAINT: UTILITY CONDUITS, CABINETES & HVAC TO MATCH WALL BEYOND. U.N.O.
- PREP / PAINT: EXISTING SIGNAGE IN PLACE
- PREP / PAINT: EXISTING LOUVERS AND/OR VENTS, TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND, TYPICAL AT ALL LIGHT FIXTURES U.N.O.
- PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
- PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- PREP / PAINT: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
- PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
- PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES. FIELD VERIFY STAIN COLOR + SEALER SHEEN
- REMOVE / DISCARD: EXISTING SIGN
- REMOVE: ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- PREP / PAINT: METAL PARAPET WALL CAP
- PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
- CONTINUE WAINGCOAT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- EXISTING MURAL. PAINT OVER MURAL
- PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- PREP / PAINT SAFETY YELLOW
- REMOVE / PAINT / REINSTALL EQUIPMENT
- PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- REMOVE / DISCARD AS NOTED
- PROTECT IN PLACE AS NOTED
- RESTRIP ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- REMOVE / PAINT / REINSTALL BACKPACK RACKS
- ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- REPAINT ASPHALT STRIPING. MATCH EXISTING COLORS AND CONFIGURATIONS
- CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- PREP / PAINT FIRE DEPARTMENT RED
- PREP / PAINT EXISTING MAILBOX AND POST
- PAINT COLOR 4

AGENCY APPROVAL:



CONSULTANTS:



PROJECT:  
**SAN ANTONIO ELEMENTRY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
 OJAI UNIFIED SCHOOL DISTRICT  
 414 EAST OJAI AVENUE  
 OJAI, CA 93023  
 (805) 640-4300  
 CONTACT: ADAM DUTTER  
 EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
 SAN ANTONIO ELEMENTARY SCHOOL  
 650 CARNE ROAD.  
 OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

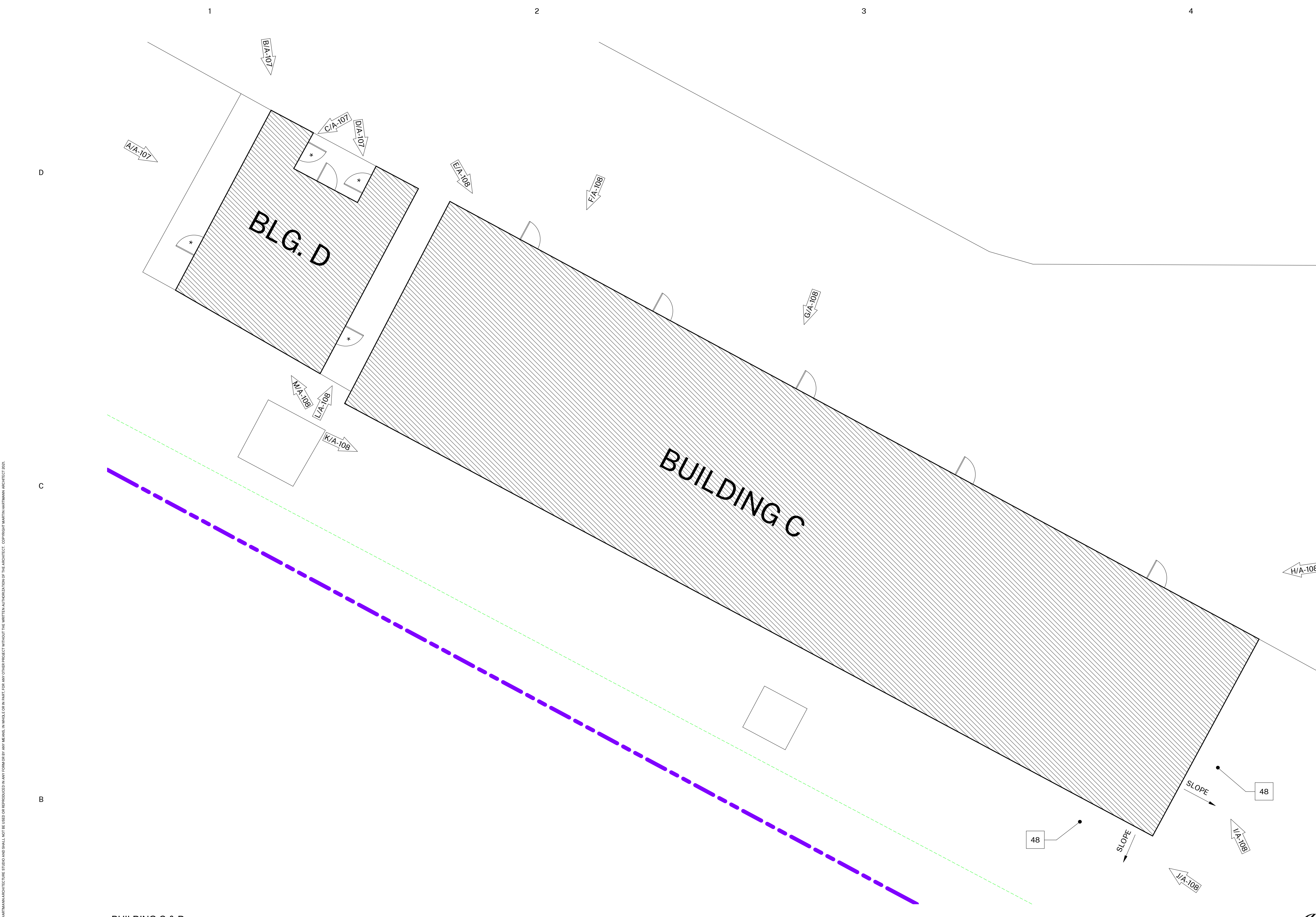
ISSUE:		
MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
 PROJECT NUMBER: 2021.032  
 PROJECT PHASE: CD  
 DRAWN BY: PBS  
 REVIEWED BY: MH

SHEET TITLE:  
**BUILDING B**

SHEET NUMBER:  
**A-106**

DATE: 12/6/2021 11:25:49 AM



1 BUILDING C & D  
1/8" = 1'-0"



1 PROVIDE DOOR SIGN PER 2/A-201  
2  
3  
4  
15

**GENERAL NOTES**

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETES, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN: REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

**COLOR LEGEND AND NOTES**

COLOR 1	- BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2	- BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3	- WOOD STAIN/SEALANT	TBD
COLOR 4	- INDIGO	SHERWIN WILLIAMS: SW6531

1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

**SHEET KEYNOTES** NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET

- PAINT COLOR 1
- PAINT COLOR 2
- PAINT COLOR 3
- REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
- PREP / PAINT: UTILITY CONDUITS, CABINETES & HVAC TO MATCH WALL BEYOND. U.N.O.
- PREP / PAINT: EXISTING SIGNAGE IN PLACE
- PREP / PAINT: EXISTING LOUVERS AND/OR VENTS. TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O.
- PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
- PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
- PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
- PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES. FIELD VERIFY STAIN COLOR + SEALER SHEEN
- REMOVE / DISCARD: EXISTING SIGN
- REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- PREP / PAINT: EXISTING CONCRETE / CMU WALL
- PREP / PAINT: EXISTING METAL FENCE & GATE
- PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- PREP / PAINT: EXISTING STORAGE CONTAINER. ALL SIDES AND TOP. PAINT COLOR 2
- PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES
- PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
- PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 18/3/A-201
- PREP / PAINT: METAL PARAPET WALL CAP
- PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
- CONTINUE WAINSCOT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- EXISTING MURAL. PAINT OVER MURAL
- PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- PREP / PAINT SAFETY YELLOW
- REMOVE / PAINT / REINSTALL EQUIPMENT
- PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- REMOVE / DISCARD AS NOTED
- PROTECT IN PLACE AS NOTED
- RESTRIPE ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- REMOVE / PAINT / REINSTALL BACKPACK RACKS
- ACCESSIBLE PARKING I.D. SIGNS. SEE 31/A-201
- PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- REPAINT ASPHALT STRIPING. MATCH EXISTING COLORS AND CONFIGURATIONS
- CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- PREP / PAINT FIRE DEPARTMENT RED
- PREP / PAINT EXISTING MAILBOX AND POST
- PAINT COLOR 4

**SYMBOL LEGEND**

- EXISTING DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PREP/PAINT EXTERIOR DOOR, DOOR FRAME, TRIM. PAINT DOOR EDGES, TOPS, AND EXTERIOR HALF OF JAMBS AND FRAMES. PAINT DOOR FRAMES COLOR 4.
- EXISTING RESTROOM DOOR: FIELD VERIFY SIZES AND CONDITIONS, PAINT DOOR WARNING STRIPING ON LANDING AT ALL OUTSWINGING EXTERIOR DOORS U.N.O. PAINT EXTERIOR DOOR FACE, FRAME EXTERIOR AND INTERIOR JAMB TO FACE OF DOOR STOP. PROVIDE RESTROOM IDENTIFICATION DOOR SIGNAGE ON EXTERIOR AND INTERIOR WHERE DOORS ARE PROPPED OPEN. SEE 2/A-201, PAINT DOOR FRAMES COLOR 4.

AGENCY APPROVAL:

**HARTMANN ARCHITECTURE STUDIO**  
HARTMANNARCHITECTURESTUDIO.COM  
430 S. CARRILLO RD.  
OJAI, CALIFORNIA 93023  
(805) 530-5559

CONSULTANTS:

SEALS:

PROJECT:  
**SAN ANTONIO ELEMENTARY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
OJAI UNIFIED SCHOOL DISTRICT  
414 EAST OJAI AVENUE  
OJAI, CA 93023  
(805) 640-4300  
CONTACT: ADAM DUTTER  
EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
SAN ANTONIO ELEMENTARY SCHOOL  
650 CARNE ROAD.  
OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

ISSUE:		
MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
PROJECT NUMBER: 2021.032  
PROJECT PHASE: CD  
DRAWN BY: PBS  
REVIEWED BY: MH

SHEET TITLE:  
**BUILDING C & D**

SHEET NUMBER:  
**A-107**

DATE: 12/6/2021 11:25:51 AM

UNIVERSITY OF CALIFORNIA ARCHITECTURE AND PLANNING SERVICES IS THE PROPERTY OF HARTMANN ARCHITECTURE AND PLANNING. ANY REUSE OR REPRODUCTION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT, COPYRIGHT HARTMANN ARCHITECTURE AND PLANNING.



**GENERAL NOTES**

- BUILDING PLANS ARE SCHEMATIC TO ONLY SHOW APPROXIMATE OVERALL BUILDING DIMENSIONS, DOOR QUANTITIES AND APPROXIMATE DOOR LOCATIONS AND ARE PROVIDED AS A CONVENIENCE FOR BIDDING. FIELD VERIFY CONDITIONS PRIOR TO BID. REFER TO SHEET KEYNOTES, PHOTOS, AND LEGENDS FOR ADDITIONAL INFORMATION.
- ALL EXISTING PAINTED EXTERIOR WALLS OF BUILDING, PAINTED ROOF EAVES, OVERHANGS, CONDUITS, CABINETS, LOUVERS, VENTS, DUCTS AND ROOF EAVES AND GABLES INCLUDED IN THE SCOPE OF WORK ARE TO BE REPAINTED COLORS AS LISTED AND AS DETAILED IN THESE DRAWINGS AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALL EXISTING UNPAINTED EXTERIOR SURFACES ARE TO REMAIN UNPAINTED UNLESS NOTED OTHERWISE. PROTECT IN PLACE ALL UNPAINTED SURFACES.
- CAREFULLY PRUNE SHRUBS AND PLANTS AND REMOVE WEEDS AND PLANTINGS AT BASE OF WALL TO BARE EARTH TO ALLOW FOR COMPLETE WALL COVERAGE.
- PAINT ALL DOORS, DOOR FRAMES, WINDOWS AND TRIM THROUGHOUT. DO NOT PAINT ALUMINUM WINDOWS. PROTECT IN PLACE.
- TYPICAL WORK AT EXISTING SIGNS TO REMAIN; REMOVE SIGN, PAINT BEHIND SIGN, CLEAN SIGN, REINSTALL SIGN UNLESS NOTED OTHERWISE.
- REMOVE AND DISCARD ALL CLASSROOM SIGNS. FIELD VERIFY LOCATIONS WITH DISTRICT.

**COLOR LEGEND AND NOTES**


COLOR 1	- BABY'S BREATH	DUNN EDWARDS: DE342
COLOR 2	- BLACK EYES	DUNN EDWARDS: DE3083
COLOR 3	- WOOD STAIN/SEALANT	TBD
COLOR 4	- INDIGO	SHERWIN WILLIAMS: SW6531

1. PHOTOS WITH KEYNOTES ARE CREATED ELECTRONICALLY AND ARE INTENDED TO BE VIEWED IN COLOR TO SEE LOCATIONS OF COLORS ON THE BUILDINGS. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATIONS AND DIMENSIONS OF COLORS PRIOR TO BID.

**SHEET KEYNOTES** NOTE: NOT ALL KEYNOTES USED ON EVERY SHEET

- PAINT COLOR 1
- PAINT COLOR 2
- PAINT COLOR 3
- REMOVE / PAINT WALL / REINSTALL: EXISTING SIGN
- PROTECT IN PLACE: EXISTING SECURITY CAMERA TYPICAL AT ALL LOCATIONS
- PREP / PAINT: UTILITY CONDUITS, CABINETS & HVAC TO MATCH WALL BEYOND. U.N.O.
- PREP / PAINT: EXISTING SIGNAGE IN PLACE
- PREP / PAINT: EXISTING LOUVERS AND/OR VENTS. TYPICAL
- REMOVE / PAINT WALL / REINSTALL: LIGHT FIXTURE ESCUTCHEON PLATE OR LIGHT FIXTURE ITSELF TO WALL SURFACE BEHIND. TYPICAL AT ALL LIGHT FIXTURES U.N.O.
- PREP / PAINT: EXISTING GUTTERS AND DOWNSPOUTS. DO NOT PAINT PRE-FINISHED COMPONENTS.
- PROTECT IN PLACE: EXISTING GUTTERS AND LEADERHEADS
- PROTECT IN PLACE: EXISTING LIGHT FIXTURE / SPEAKER / FIRE ALARM DEVICE
- PREP / PAINT: EXISTING HVAC DUCTWORK WHERE ALREADY PAINTED. U.N.O.
- PROTECT IN PLACE: EXISTING MURAL. PAINT WALLS AROUND MURAL TO MATCH EXISTING BUILDING COLOR SCHEME. TOUCH-UP/REPAINT MURALS WHERE PAINTED TO MATCH EXISTING.
- PROTECT IN PLACE: EXISTING DRINKING FOUNTAIN
- PREP / PAINT: EXISTING PAINTED DRINKING FOUNTAIN CANE DETECTION RAILS
- PREP / PAINT / SEAL: EXISTING WOOD DISPLAY CASES. FIELD VERIFY STAIN COLOR + SEALER SHEEN
- REMOVE / DISCARD: EXISTING SIGN
- REMOVE ACCESSIBLE SIGN / PAINT WALL / REINSTALL
- PROTECT IN PLACE: EXISTING CONCRETE, CMU OR TILE
- PREP / PAINT: EXISTING CONCRETE / CMU WALL
- PREP / PAINT: EXISTING METAL FENCE & GATE
- PROTECT IN PLACE: EXISTING MECHANICAL EQUIPMENT
- PREP / PAINT: EXISTING STORAGE CONTAINER, ALL SIDES AND TOP. PAINT COLOR 2
- PREP / PAINT: EXISTING WOOD BENCH / SEATS AND PICNIC TABLES
- PREP / PAINT: EXISTING CMU WALLS. PAINT INSIDE AND OUTSIDE OF ENCLOSURE AND DOORS.
- PREP / PAINT: EXISTING DOOR OR WINDOW METAL SECURITY GRATING
- PATCH / REPAIR / PREP / PRIME / PAINT: EXISTING PLASTER, SEE 1&3/A-201
- PREP / PAINT: METAL PARAPET WALL CAP
- PREP / PAINT: PLASTERED ROOF TOP EQUIPMENT SCREEN WALLS INSIDE AND OUT
- CONTINUE WAINSCOT AROUND ENTIRE PERIMETER OF BUILDING INCLUDING RECESSED DOOR AND WINDOW RETURNS
- PREP / PAINT: EXISTING RAIL W/ GALVANIZED COATING
- REMOVE / REPLACE CEILING LIGHTS, OWNER PROVIDED
- EXISTING MURAL, PAINT OVER MURAL
- PROTECT IN PLACE: EXISTING SIGN/PLAQUE
- PREP / PAINT SAFETY YELLOW
- REMOVE / PAINT / REINSTALL EQUIPMENT
- PATCH W/ EPOXY FILL. PAINT W/ BEAK GUARD PAINT PER SPECS
- PREP / PAINT: EXISTING WINDOW FRAMES & MUNTINS
- REMOVE / DISCARD AS NOTED
- PROTECT IN PLACE AS NOTED
- RESTRIP ACCESSIBLE PARKING AISLE & WALK WAY. SEE DETAIL 5/A-201
- PREP / PAINT ROOF VENTS GRAY TO MATCH (E) ROOF
- REMOVE / PAINT / REINSTALL BACKPACK RACKS
- ACCESSIBLE PARKING I.D. SIGNS, SEE 3/A-201
- PATCH / PREP / PAINT INSIDE AND OUT WOOD WINDOW
- REPAINT ASPHALT STRIPING, MATCH EXISTING COLORS AND CONFIGURATIONS
- CLEAR EARTH AWAY FROM WALLS, REGRADE EARTH AROUND BUILDING PERIMETER TO SLOPE AWAY FROM CONCRETE FOOTING A MINIMUM OF 5% FOR 10 FEET
- WASH EXISTING LIGHT BOLLARDS INCLUDING LENS COVERS
- PREP / PAINT FIRE DEPARTMENT RED
- PREP / PAINT EXISTING MAILBOX AND POST
- PAINT COLOR 4

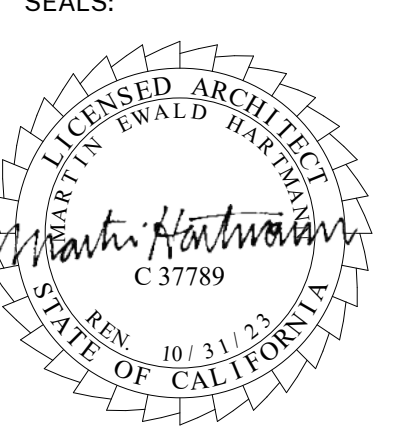
AGENCY APPROVAL:



HARTMANNARCHITECTURESTUDIO.COM  
430 S. CARRILLO RD.  
OJAI, CALIFORNIA 93023  
(805) 530-5559

CONSULTANTS:

SEALS:



PROJECT:  
**SAN ANTONIO ELEMENTRY SCHOOL CAMPUS - WIDE EXTERIOR PAINTING**

OWNER:  
OJAI UNIFIED SCHOOL DISTRICT  
414 EAST OJAI AVENUE  
OJAI, CA 93023  
(805) 640-4300  
CONTACT: ADAM DUTTER  
EMAIL: adutter@ojaiusd.org

PROJECT ADDRESS:  
SAN ANTONIO ELEMENTARY SCHOOL  
650 CARNE ROAD,  
OJAI, CA 93023

OJAI USD PROJECT NO.: 2021-1304

ISSUE:		
MARK	DATE	DESCRIPTION
1	12/6/2021	ADDENDUM #1

PROJECT INFORMATION:  
PROJECT NUMBER: 2021.032  
PROJECT PHASE: CD  
DRAWN BY: PBS  
REVIEWED BY: MH

SHEET TITLE:  
**BUILDING C & D**

SHEET NUMBER:  
**A-108**

DATE: 12/6/2021 11:25:53 AM