

# SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE

## SUMMERVILLE, SC

### GENERAL NOTES:

1. ALL CONTRACTORS/SUBCONTRACTORS/PERSONS THAT WILL BE ENGAGED IS LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS. ALL SUCH PERSONS SHALL REFER TO THE ON-SITE SWPPP FOR THE MOST CURRENT INFORMATION.

2. CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, UNLESS SPECIFICALLY INDICATED OTHERWISE.

3. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF THE PROJECT.

4. TOPOGRAPHIC AND BOUNDARY INFORMATION BY GPA PROFESSIONAL LAND SURVEYORS, INC. THE SURVEY HAS NOT BEEN VERIFIED BY CYPRESS ENGINEERING.

5. ALL ELEVATIONS REFER TO FEET ABOVE SEA LEVEL, NAVD 88. HORIZONTAL DATUM REFERENCES SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, INTERNATIONAL FEET, NAD 83.

6. ALL PROJECT STAKEOUT AND ANY REQUIRED AS-BUILT DRAWINGS SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR TO BE PAID FOR BY THE CONTRACTOR. FOR STAKEOUT, DO NOT RELY SOLELY ON THE PHYSICAL SCALE AS SHOWN IN DRAWINGS. REFER TO THE GIVEN DIMENSIONS, SYMBOL LEGEND, KEYNOTES, AND REFERENCED DETAILS FOR CORRECT STAKEOUT.

7. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK. IF UTILITIES OTHER THAN THOSE SHOWN HEREON ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE APPROPRIATE MEASURES TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

8. THE CONTRACTOR SHALL INSTALL TREE PROTECTION BARRICADES AND REQUIRED EROSION CONTROL BMP'S PRIOR TO BEGINNING EARTHWORK OPERATIONS.

9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.

10. CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.

11. THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP APPROVED ANY AND ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING TO THE ENGINEER FOR REVIEW.

12. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF SUMMERVILLE CPW AND SCDHEC. WHERE ANY DISCREPANCIES EXIST BETWEEN THESE DOCUMENTS, SUMMERVILLE CPW AND SCDHEC REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL BE ADHERED TO.

13. IN PERFORMING CONSTRUCTION OBSERVATION VISITS TO THE JOB SITE, THE ENGINEER SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK.

14. THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCY.

15. SWALES, PIPES, INLETS AND OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND KEPT FREE OF FILL AND OBSTRUCTIONS.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE TOWN RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.

17. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

18. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING EQUIPMENT AROUND UTILITIES AND ESPECIALLY EXISTING OVERHEAD POWER LINES.
19. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURE IN ACCORDANCE WITH THE MUTCD, "WORK ZONE SAFETY GUIDELINES FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION, MUNICIPALITIES, COUNTIES, UTILITIES, AND CONTRACTORS", SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND APPLICABLE SCDOT TRAFFIC ENGINEERING STANDARD DRAWINGS AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES. SEE TRAFFIC CONTROL NOTES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING AND COVERING, SHEETING AND SHORING AS NECESSARY.

21. WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT, MATCH LINE AND GRADE OF THE EXISTING PAVEMENT. TACK EXISTING EDGE PRIOR TO PAVING.

22. PROPOSED WALKS SHALL NOT IMPEDE THE NATURAL FLOW OF WATER ACROSS THE WALK. WALK SHALL BE INSTALLED WITH A MAXIMUM TWO PERCENT (2%) CROSS SLOPE. UNDER NO CIRCUMSTANCES SHALL THE PROPOSED WALK CREATE A LOW SPOT OR POND WATER. GRADING FOR THE WALK SHALL ONLY DISTURB WHAT IS NECESSARY TO CONSTRUCT WALK AND MAINTAIN DRAINAGE FLOW.

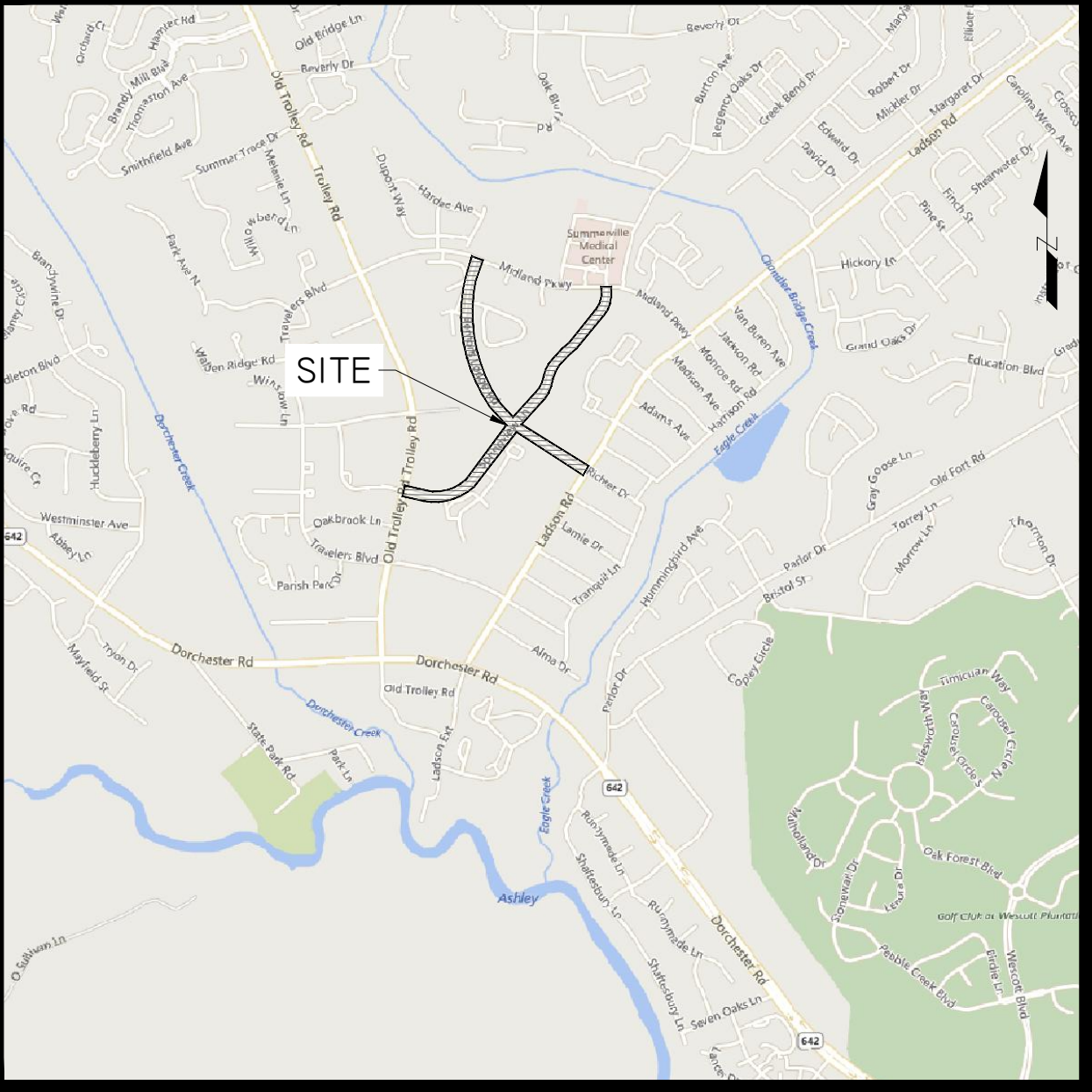
23. WATER VALVE & SANITARY SEWER CLEANOUTS TO BE RESET FLUSH WITH NEW CONCRETE SIDEWALK.

24. CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5%.

25. THE TOWN OF SUMMERVILLE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE SIDEWALK.

26. STREET SIGNS INDICATED TO BE RELOCATED SHALL BE INSTALLED IN ACCORDANCE WITH SCDOT STANDARDS.

PROJECT INFORMATION	
PROJECT NAME	Sidewalks #2 - Bentons Lodge Rd & Springview Lane
PROPERTY ADDRESS	Bentons Lodge Rd. & Springview Lane
PARCEL AREA	4.9 Acres
DISTURBED AREA	4.9 Acres
MUNICIPALITY	Town of Summerville
STREETS	
Bentons Lodge Road	Town Of Summerville
Springview Lane	Town of Summerville
FEMA FLOOD ZONE	Flood Zone X, Panel # 450068 0245 C, Dated 4/15/1994
WETLANDS ON-SITE	No
WETLANDS IMPACTS	No
PROJECT TEAM	
Owner	Town of Summerville - (Russ Cornette - 843-851-4226)
Civil Engineering	Cypress Engineering - (Will Rogan, PE - 843-225-5151 ext. 100)



LOCATION MAP  
SCALE: 1" = 2000'

### CIVIL ABBREVIATIONS:

B	BOTTOM
BFP	BACKFLOW PREVENTER
BM	BENCHMARK
BMP	EROSION CONTROL BEST MANAGEMENT PRACTICE
CB	CATCH BASIN
CI	CURB INLET
CIP	CAST IRON PIPE
CGP	NPDES CONSTRUCTION GENERAL PERMIT SCR 100000
CL	CENTERLINE
CY	CUBIC YARDS
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
EXST	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FM	FORCE MAIN
FW	FIRE WATER SERVICE
GABC	GRADED AGGREGATE BASE COURSE
HCI	HOODED CURB INLET
HDPE	HIGH DENSITY POLYETHYLENE
IAW	IN ACCORDANCE WITH
INV / IE	INVERT ELEVATION
JB	JUNCTION BOX
LF	LINEAR FEET
LI	LAWN INLET
LP	LIGHT POLE
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM

### CIVIL ABBREVIATIONS (CONT.):

NOI	NOTICE OF INTENT
NOT	NOTICE OF TERMINATION
NTS	NOT TO SCALE
OC	ON CENTER
PC	POINT OF CURVATURE
PIV	POST INDICATOR VALVE
PP	POWER POLE
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCO	ROOF DRAINAGE CLEANOUT
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
S	SEWER
SCDHEC	SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
SF	SQUARE FEET
SDMH	STORM DRAINAGE MANHOLE
SS	SANITARY SEWER SERVICE
SSMH	SANITARY SEWER MANHOLE
STA	STATION
TBM	TEMPORARY BENCHMARK
T	TOP
TYP	TYPICAL
VCP	VITRIFIED CLAY PIPE
W	WATER
W/	WITH
WS	WATER SERVICE
WV	WATER VALVE
YI	YARD INLET

DRAWING LIST				
SHEET #	DRAWING #	DRAWING TITLE	RELEASE DATE	REVISIONS
1	C0.01	COVER SHEET	3/29/2018	
2	C0.02	ASBUILT, TOPOGRAPHIC, AND TREE SURVEY	10/18/2017	
3	C0.03	ASBUILT, TOPOGRAPHIC, AND TREE SURVEY	10/18/2017	
4	C0.04	ASBUILT, TOPOGRAPHIC, AND TREE SURVEY	10/18/2017	
5	C0.05	ASBUILT, TOPOGRAPHIC, AND TREE SURVEY	10/18/2017	
6	C0.06	ASBUILT, TOPOGRAPHIC, AND TREE SURVEY	10/18/2017	
7	C0.07	OVERALL SITE PLAN	3/29/2018	
8	C1.01	DEMOLITION & EROSION CONTROL PLAN - AREA 1 & 2	3/29/2018	
9	C1.02	DEMOLITION & EROSION CONTROL PLAN - AREA 3 & 4	3/29/2018	
10	C1.03	DEMOLITION & EROSION CONTROL PLAN - AREA 5 & 6	3/29/2018	
11	C1.04	DEMOLITION & EROSION CONTROL PLAN - AREA 7 & 8	3/29/2018	
12	C1.05	DEMOLITION & EROSION CONTROL PLAN - AREA 9	3/29/2018	
13	C1.10	SWPPP NOTES	3/29/2018	
14	C1.20	SWPPP DETAILS	3/29/2018	
15	C5.01	SITE & DRAINAGE PLAN - AREA 1 & 2	3/29/2018	
16	C5.02	SITE & DRAINAGE PLAN - AREA 3 & 4	3/29/2018	
17	C5.03	SITE & DRAINAGE PLAN - AREA 5 & 6	3/29/2018	
18	C5.04	SITE & DRAINAGE PLAN - AREA 7 & 8	3/29/2018	
19	C5.05	SITE & DRAINAGE PLAN - AREA 9	3/29/2018	
20	C5.20	SITE DETAILS	3/29/2018	

**CYPRESS**  
ENGINEERING

CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

SIDEWALKS #2 - BENTONS LODGE  
RD & SPRINGVIEW LANE  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
	PERMIT SET ISSUE DATE	3/19/18

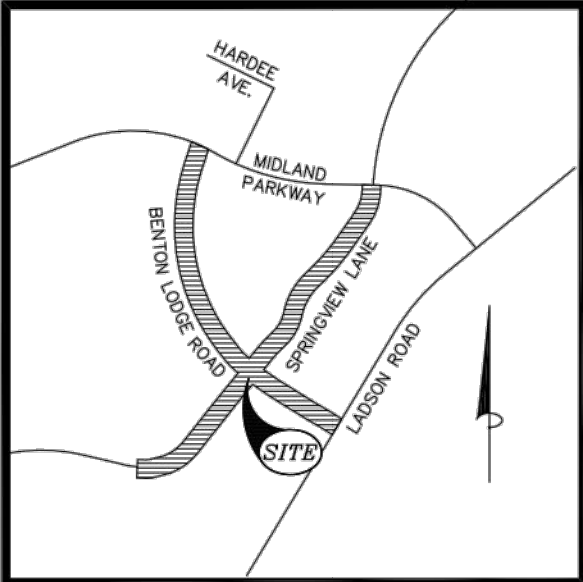
COVER SHEET

C0.01

PERMIT SET - AUGUST 6, 2018

10/18/2017 10:10:10 AM C:\Users\willam.rogan\OneDrive\Documents\Projects\2018\08\06\20180806\_SideWalks\_#2\_Bentons\_Lodge\_Rd\_Springview\_Lane\_Sumerville\_SC\Drawings\20180806\_SideWalks\_#2\_Bentons\_Lodge\_Rd\_Springview\_Lane\_Sumerville\_SC.dwg





VICINITY MAP (NTS)

REFERENCES:

- 1) PLAT BY GPA PROFESSIONAL LAND SURVEYORS, DATED 6/9/10. RECORDED IN PLAT BOOK L PAGE 149, DORCHESTER COUNTY RMC.
- 2) PLAT BY ANDREW C. GILLETTE, DATED MAY 1980. RECORDED IN PLAT BOOK D PAGE 15, DORCHESTER COUNTY RMC.
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- 29) PLAT BY ASSOCIATED SURVEYORS OF SUMMERVILLE, DATED 12/15/2016. RECORDED IN PLAT BOOK M PAGE 100, DORCHESTER COUNTY RMC.

NOTES:

- 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
- 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- 4) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
- 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 6) THERE ARE NO APPLICABLE OCRM CRITICAL LINE BUFFERS OR SETBACKS ON THIS PROPERTY.
- 7) ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.
- 8) NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREON.

FLOOD NOTE:

THIS RIGHT-OF-WAY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAPS. PANEL NO. 4503C 0408E, REVISED EFFECTIVE JULY 18, 2017. LOCATED IN THE TOWN OF SUMMERVILLE, COMMUNITY NUMBER 450073.

S.C. DEPARTMENT  
OF MENTAL HEALTH  
TMS NO. 161-04-06-005

SLEEP LAND, LLC  
TMS NO. 154-00-00-049

LOW COUNTRY BOYS, LLC  
TMS NO. 162-01-14-002

LEGEND	
	- CALCULATED POINT
	- SPOT LIGHT
	- POWER POLE
	- GUY WIRE
	- LIGHT POLE
	- SPOT LIGHT
	- FIRE HYDRANT
	- WATER VALVE
	- WATER METER
	- BACK FLOW PREVENTER
	- GAS VALVE
	- IRRIGATION CONTROL VALVE
	- POST INDICATOR VALVE
	- SEWER MANHOLE
	- CLEAN OUT
	- STORM DRAIN MANHOLE
	- STORM/DRAINAGE STRUCTURES
	- TELEPHONE MANHOLE
	- TELEPHONE PEDESTAL
	- CABLE TV PEDESTAL
	- MAIL BOX
	- SIGN
	- SPOT ELEVATION
	- FENCE LINE
	- ADJOINER LINE
	- RIGHT-OF-WAY
	- CENTER LINE
	- CONTOUR LINE
	- OVERHEAD POWER LINE
	- WATER LINE
	- FIBER OPTICS
	- LANDSCAPING
	- CITY LIMITS
	- MATCH LINE
	- CONCRETE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING	CHORD
C1	85.01	1673.38	254.38	42.51	S 51°18'52" E	85.00	
C2	169.61	1673.38	548.28	84.88	S 55°40'24" E	169.54	
C3	643.28	5222.77	7044.15	369.59	S 13°42'09" W	603.38	
C4	50.97	423.51	6°53'46"	25.52	N 74°27'29" W	50.94	
C5	1996.49	1673.38	6821.32	1136.35	N 15°43'17" W	1880.16	
C6	229.48	1449.63	853.10	114.97	N 42°47'09" E	229.25	
C7	233.12	375.00	35°37'04"	120.46	N 29°25'12" E	229.58	
C8	367.39	588.89	35°44'42"	189.89	N 29°29'01" E	361.46	
C9	429.51	2000.00	12°18'16"	215.58	N 41°12'18" E	428.68	
C10	296.17	464.20	36°33'22"	153.32	N 17°01'29" E	291.17	

30' 0 15' 30' 60'  
1 inch = 30 ft.

BENCHMARK NOTE:  
CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.  
X CHECKED JCS X CHECKED JFB

SCALE  
1"=

F.L.D. BK.

JOB NO.

175

DATE

10/18

DRAWN BY

Lh

CHECKED BY

JF

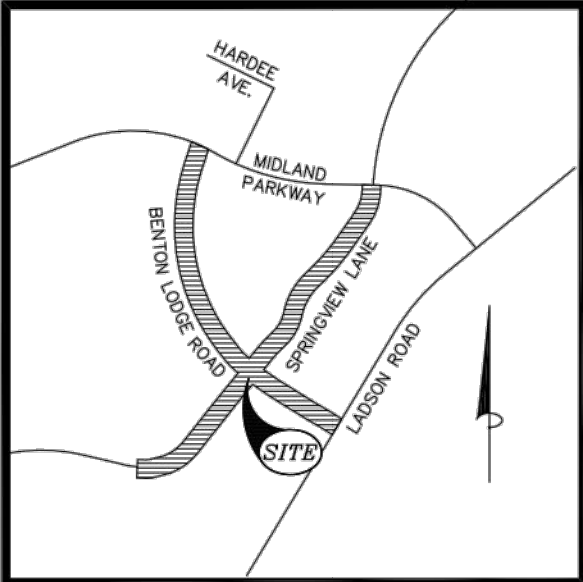
SHOWING BENTONS LODGE ROAD  
AND  
A PORTION OF SPRINGVIEW LANE  
LOCATED IN THE TOWN OF SUMMERVILLE

PREPARED FOR  
TOWN OF  
SUMMERVILLE

SHEET

1





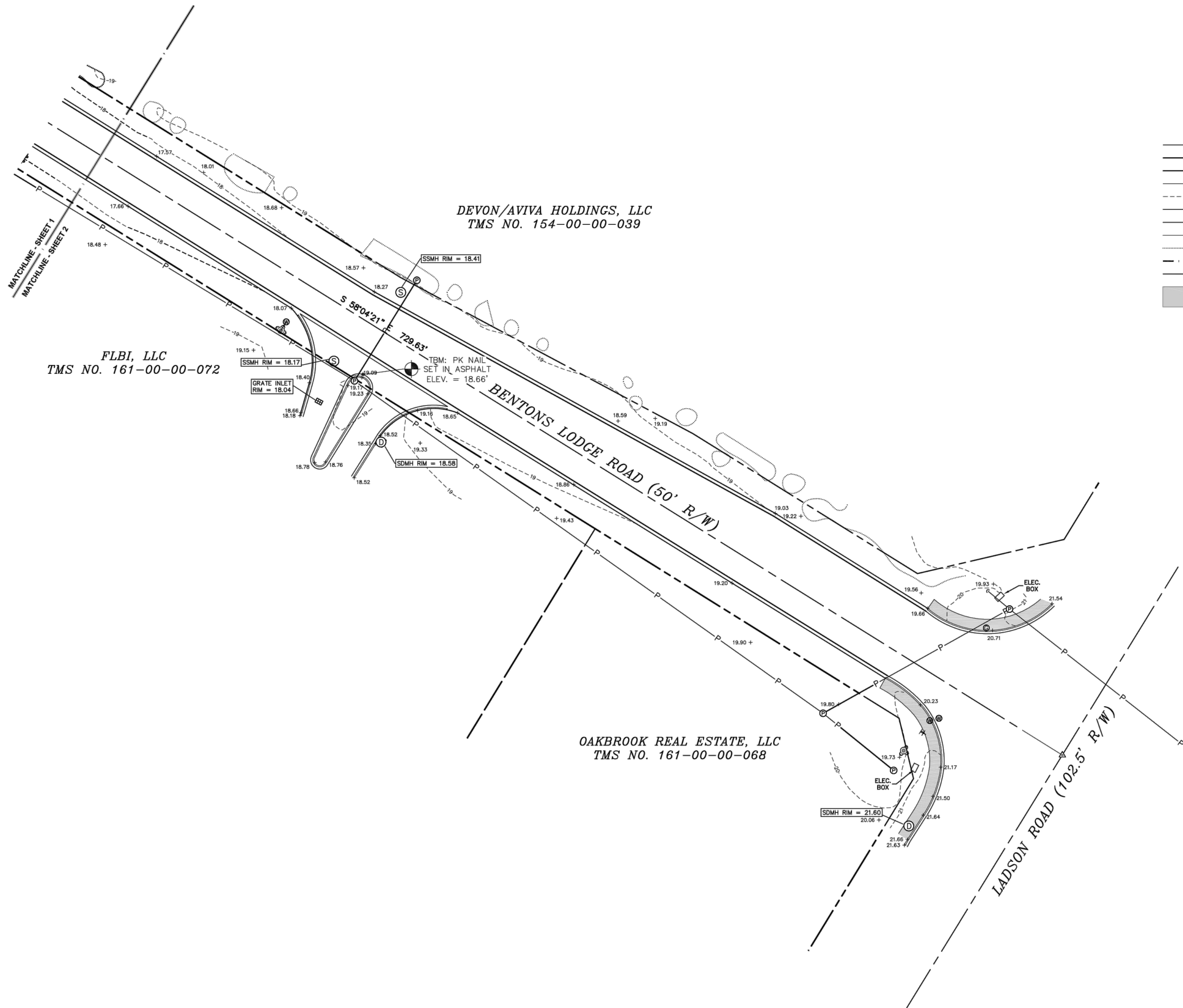
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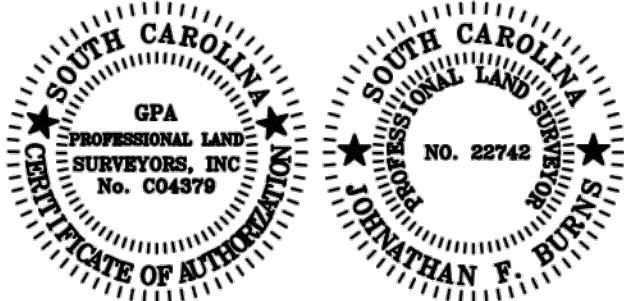
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- 4) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
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LEGEND

- △ CALCULATED POINT
- SPOT LIGHT
- ⊙ POWER POLE
- ⊙ GUY WIRE
- ⊙ LIGHT POLE
- ⊙ SPOT LIGHT
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ BACK FLOW PREVENTER
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- ⊙ RIGHT-OF-WAY
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- ⊙ WATER LINE
- ⊙ FIBER OPTICS
- ⊙ LANDSCAPING
- ⊙ CITY LIMITS
- ⊙ MATCH LINE
- ⊙ CONCRETE



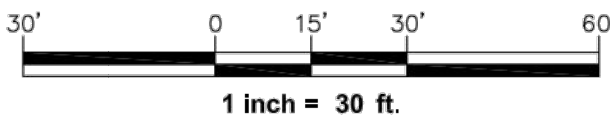
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THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH AN ORIGINAL SURVEYOR'S SEAL. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 7TH DAY OF NOVEMBER, 2017.

JOHNATHAN F. BURNS, PLS-22742

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING	CHORD
C1	85.01	1673.38	2°54'38"	42.51	S 51°18'52" E	85.00	
C2	169.61	1673.38	5°48'26"	84.86	S 55°40'24" E	169.54	
C3	843.28	522.27	70°34'15"	369.59	S 73°42'09" W	603.36	
C4	50.97	423.51	6°53'46"	25.52	N 74°27'29" W	50.94	
C5	1996.49	1673.38	68°21'52"	1136.35	N 15°43'17" W	1880.16	
C6	229.48	1479.63	8°53'10"	114.97	N 42°47'09" E	229.25	
C7	233.12	375.00	35°37'04"	120.46	N 29°25'12" E	229.38	
C8	367.39	588.89	35°44'42"	189.89	N 29°29'01" E	361.46	
C9	429.51	2000.00	12°18'16"	215.58	N 41°12'18" E	428.68	
C10	296.17	464.20	36°33'22"	153.32	N 17°01'29" E	291.17	



BENCHMARK NOTE:

CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.  
X CHECKED 108 X CHECKED 108

SCALE

1"=

F.L.D. BK.

JOB NO.

175

DATE

10/18

DRAWN BY

LH

CHECKED BY

JF

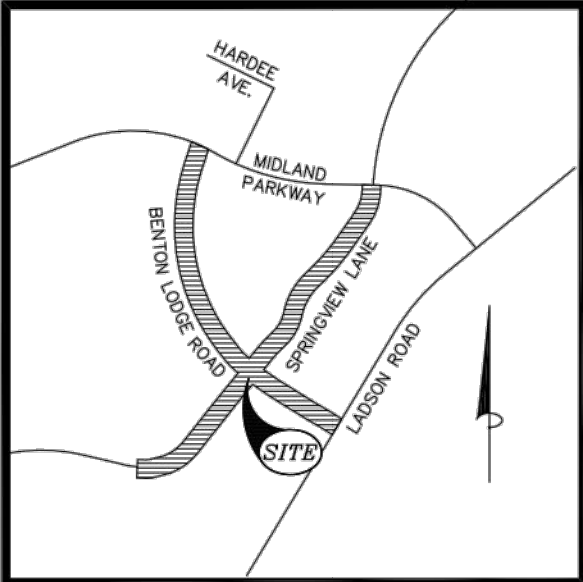
SHOWING BENTONS LODGE ROAD AND A PORTION OF SPRINGVIEW LANE LOCATED IN THE TOWN OF SUMMERVILLE

PREPARED FOR TOWN OF SUMMERVILLE

SHEET

2





VICINITY MAP (NTS)

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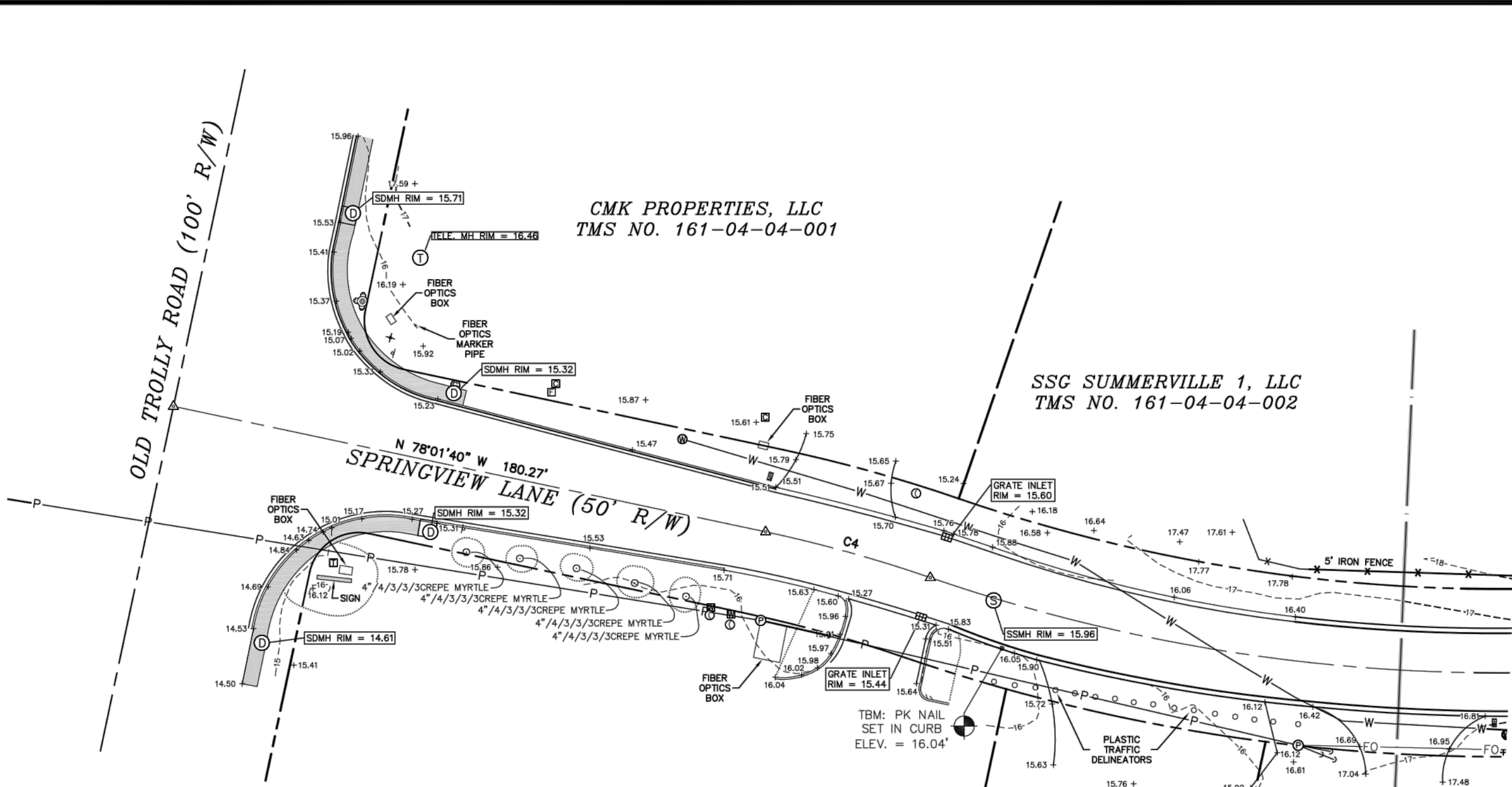


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JONATHAN F. BURNS, PLS-22742

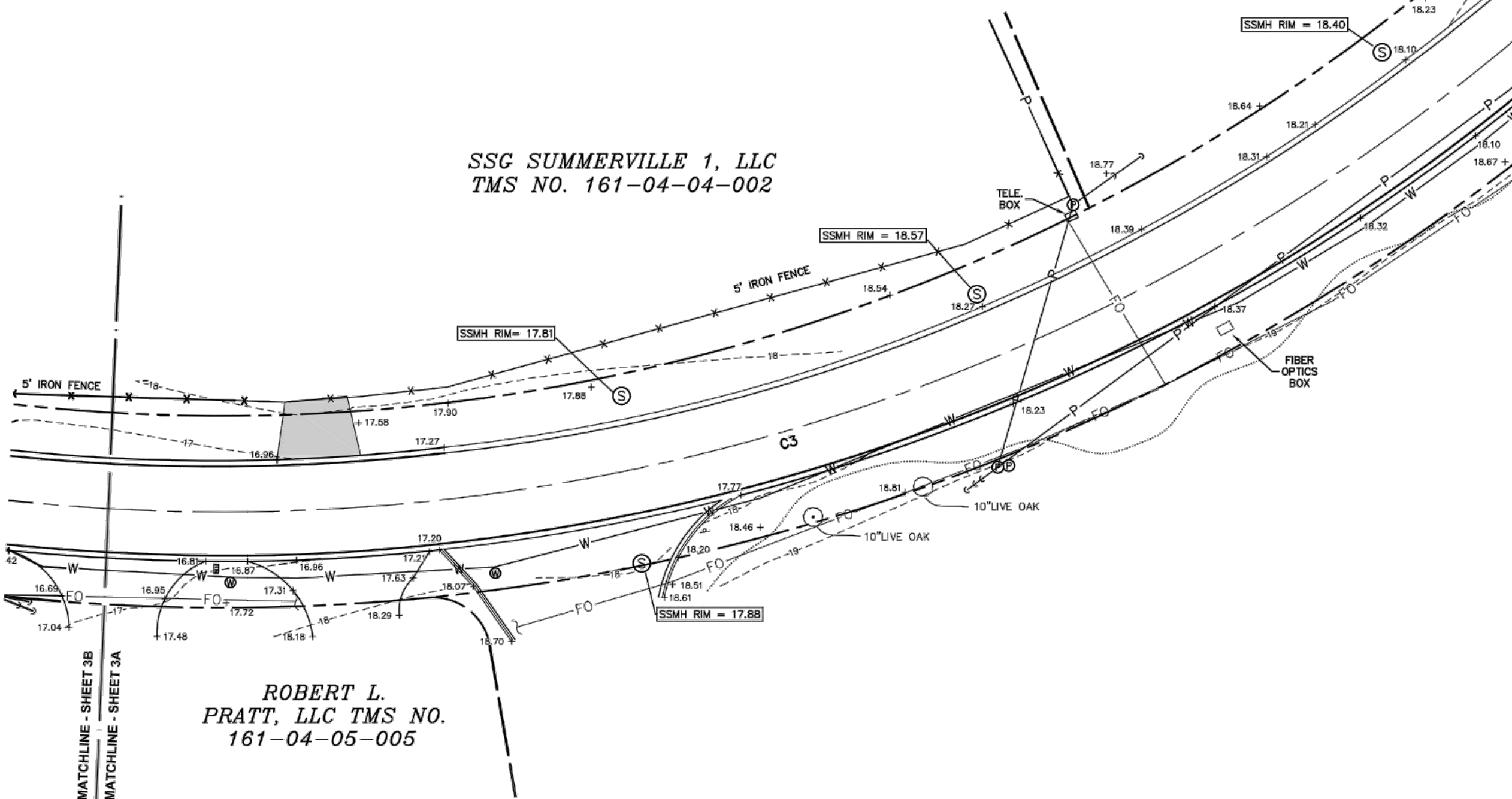


TROLLEY-BOI, LLC  
TMS NO. 161-04-05-004

RAYMOND R. RUAIS &  
LYNN A. RUAIS  
TMS NO.  
161-04-05-001

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	85.01	1673.38	254.38	42.51	S 51°18'52" E	85.00
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INFOTEC SYSTEMS CORPORATION  
TMS NO. 161-04-06-007



ROBERT L.  
PRATT, LLC TMS NO.  
161-04-05-005



GEORGE H. BAILEY, SR.  
TMS NO. 161-04-06-006

GREENTREE ASSOCIATES, LP  
TMS NO. 161-00-00-036

- LEGEND
- △ - CALCULATED POINT
  - - SPOT LIGHT
  - ⊙ - POWER POLE
  - ⊙ - GUY WIRE
  - ⊙ - LIGHT POLE
  - ⊙ - SPOT LIGHT
  - ⊙ - FIRE HYDRANT
  - ⊙ - WATER VALVE
  - ⊙ - WATER METER
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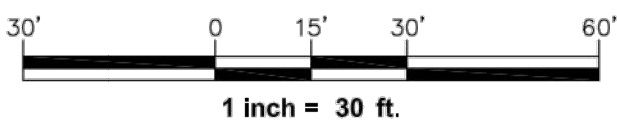
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FLOOD NOTE:

THIS RIGHT-OF-WAY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAPS: PANEL NO. 45030 OMOBE, REVISED EFFECTIVE JULY 18, 2017. LOCATED IN THE TOWN OF SUMMERVILLE, COMMUNITY NUMBER 450073.

BENCHMARK NOTE:  
CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.  
X CHECKED ☒ X CHECKED ☒



PROFESSIONAL  
LAND SURVEYOR  
EST. 19

281 TREELAI  
SUITE  
LADSON SC  
OFFICE (843)

GPA OF CHAR:  
605 PHILLIP D  
CHARLOTTE NC  
OFFICE (704)

GPA OF RAL:  
333 WADE  
RALEIGH NC

CHARLESTON  
OFFICE (843)  
FAX (843) 5

Integrity Without  
www.gpa.net

SCALE

1"=

F.L.D. BK.

JOB NO.

175

DATE

10/18

DRAWN BY

Lh

CHECKED BY

JF

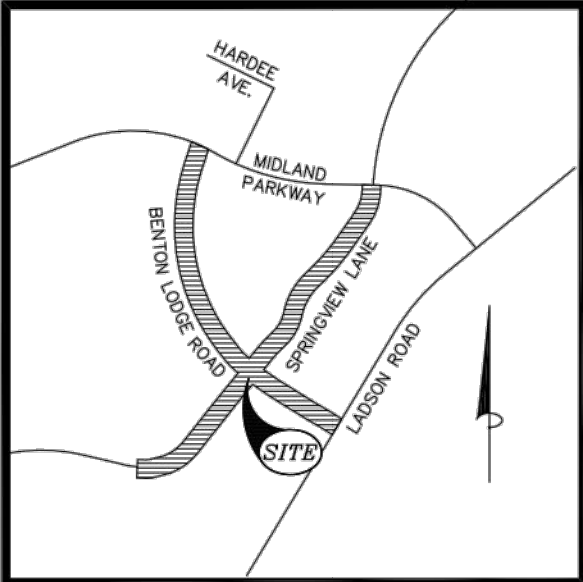
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AND  
A PORTION OF SPRINGVIEW LANE  
LOCATED IN THE TOWN OF SUMMERVILLE

PREPARED FOR  
TOWN OF  
SUMMERVILLE

SHEET

3





VICINITY MAP (NTS)

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WHITFIELD COMPANY, LLC  
TMS NO. 153-00-00-106

WILLIAM FREIDHOF  
& BERNADETTE WLADYKA  
TMS NO. 153-16-04-036

SUMMERVILLE CROSSING  
HOMEOWNERS ASSOC.  
TMS NO. 153-16-04-035

SLEEP LAND, LLC  
TMS NO. 154-00-00-048

WHITFIELD COMPANY, LLC  
TMS NO. 153-00-00-105

FLOOD NOTE:

THIS RIGHT-OF-WAY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAPS. PANEL NO. 4503C 0408E, REVISED EFFECTIVE JULY 18, 2017, LOCATED IN THE TOWN OF SUMMERVILLE, COMMUNITY NUMBER 450073.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 7TH DAY OF NOVEMBER, 2017.

JOHNATHAN F. BURNS, PLS-22748

LEGEND

- △ CALCULATED POINT
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- CITY LIMITS
- MATCH LINE
- CONCRETE

MIDLAND TERRACE  
OWNERS ASSOCIATION, INC.  
TMS NO. 153-00-00-092

WILLIAM L. SULLIVAN  
& DEBORA L. SULLIVAN  
TMS NO. 153-16-04-043

CHARLES H. BRIGMAN  
TMS NO. 153-16-04-042

CHARLES L. LANHAM  
& DONNA L. LANHAM  
TMS NO. 153-16-04-041

THOMAS W. PATTERSON  
& TRACY A. PATTERSON  
TMS NO. 153-16-04-040

MATTHEW R. HILLYARD  
& JENNIFER L. BALLEW  
TMS NO. 153-16-04-039

JAMES C.  
MCKEEVER, JR.  
TMS NO.  
153-16-04-038

LARRY S. LEAKE &  
JOANNE W. LEAKE  
TMS NO. 153-16-04-012

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X CHECKED 10/18/17 X CHECKED 10/18/17

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C3	643.28	527.27	703.41	369.59	S 73°42'09" W	603.38	
C4	50.97	423.51	65.46	25.54	N 74°27'29" W	50.94	
C5	1996.49	1673.38	68°21'32"	1136.35	N 15°43'17" W	1880.16	
C6	229.48	1479.63	85°31'0"	114.97	N 42°47'09" E	229.25	
C7	233.12	175.00	35°37'04"	120.48	N 29°25'12" E	229.38	
C8	367.39	588.89	35°44'42"	189.89	N 29°29'01" E	361.46	
C9	429.51	2000.00	12°18'16"	215.58	N 41°12'18" E	428.68	
C10	296.17	464.20	36°33'22"	153.32	N 17°01'29" E	291.17	

30' 0 15' 30' 60'  
1 inch = 30 ft.

GPA

PROFESSIONAL  
LAND SURVEYOR  
EST. 19

281 TREELAI  
SUITE  
LADSON SC  
OFFICE (843)

GPA OF CHAR:  
605 PHILLIP D  
CHARLOTTE NC  
OFFICE (704)

GPA OF RAL:  
333 WADE  
RALEIGH NC

CHARLESTON  
OFFICE (843)  
FAX (843) 5

Integrity Without  
www.gpaln

SCALE

1"=

F.L.D. BK.

JOB NO.

175

DATE

10/18

DRAWN BY

Lh

CHECKED BY

JF

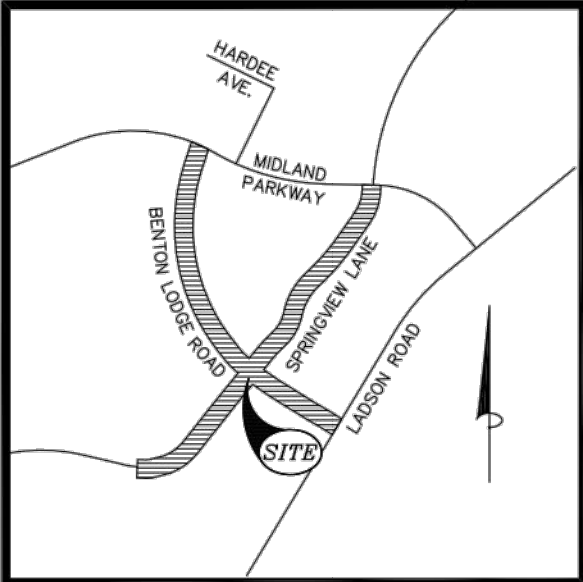
SHOWING BENTONS LODGE ROAD  
AND  
A PORTION OF SPRINGVIEW LANE  
LOCATED IN THE TOWN OF SUMMERVILLE

PREPARED FOR  
TOWN OF  
SUMMERVILLE

SHEET

4





VICINITY MAP (NTS)

REFERENCES:

- 1) PLAT BY GPA PROFESSIONAL LAND SURVEYORS, DATED 6/9/10. RECORDED IN PLAT BOOK L PAGE 149, DORCHESTER COUNTY RMC.
- 2) PLAT BY ANDREW C. GILLETTE, DATED MAY 1980. RECORDED IN PLAT BOOK D PAGE 15, DORCHESTER COUNTY RMC.
- 3) PLAT BY ANDREW C. GILLETTE, DATED AUGUST 1980. RECORDED IN PLAT BOOK D PAGE 33, DORCHESTER COUNTY RMC.
- 4) PLAT BY CHARLES W. SHAVER, DATED 2/5/88. RECORDED IN PLAT BOOK F PAGE 359, DORCHESTER COUNTY RMC.
- 5) PLAT BY CHARLES W. SHAVER, DATED 6/5/89. RECORDED IN PLAT BOOK G PAGE 279, DORCHESTER COUNTY RMC.
- 6) PLAT BY CHARLES W. SHAVER, DATED 6/5/89. RECORDED IN PLAT BOOK G PAGE 279, DORCHESTER COUNTY RMC.
- 7) PLAT BY CHARLES W. SHAVER, DATED 4/19/91. RECORDED IN PLAT BOOK H PAGE 201, DORCHESTER COUNTY RMC.
- 8) PLAT BY CHARLES W. SHAVER, DATED 10/21/88. RECORDED IN PLAT BOOK H PAGE 203, DORCHESTER COUNTY RMC.
- 9) PLAT BY CHARLES W. SHAVER, DATED 3/2/94. RECORDED IN PLAT BOOK I PAGE 226, DORCHESTER COUNTY RMC.
- 10) PLAT BY CHARLES W. SHAVER, DATED 11/6/95. RECORDED IN PLAT BOOK J PAGE 25, DORCHESTER COUNTY RMC.
- 11) PLAT BY PENOLIA A. VAN BUREN, DATED 6/17/98. RECORDED IN PLAT BOOK J PAGE 117, DORCHESTER COUNTY RMC.
- 12) PLAT BY K.A. MAHONEY, DATED 8/25/99. RECORDED IN PLAT BOOK J PAGE 140, DORCHESTER COUNTY RMC.
- 13) PLAT BY HAGER E. METTS, DATED 2/17/2000. RECORDED IN PLAT BOOK J PAGE 155, DORCHESTER COUNTY RMC.
- 14) PLAT BY K.A. MAHONEY, DATED 4/14/2000. RECORDED IN PLAT BOOK J PAGE 159, DORCHESTER COUNTY RMC.
- 15) PLAT BY K.A. MAHONEY, DATED 6/26/2000. RECORDED IN PLAT BOOK J PAGE 165, DORCHESTER COUNTY RMC.
- 16) PLAT BY K.A. MAHONEY, DATED 9/26/2000. RECORDED IN PLAT BOOK J PAGE 170, DORCHESTER COUNTY RMC.
- 17) PLAT BY K.A. MAHONEY, DATED 9/26/2000. RECORDED IN PLAT BOOK J PAGE 170, DORCHESTER COUNTY RMC.
- 18) PLAT BY ASHLEY SURVEYING, INC., DATED 3/14/2001. RECORDED IN PLAT BOOK J PAGE 189, DORCHESTER COUNTY RMC.
- 19) PLAT BY ASHLEY SURVEYING, INC., DATED 7/12/2001. RECORDED IN PLAT BOOK J PAGE 196, DORCHESTER COUNTY RMC.
- 20) PLAT BY ASHLEY SURVEYING, INC., DATED 8/30/2001. RECORDED IN PLAT BOOK K PAGE 2, DORCHESTER COUNTY RMC.
- 21) PLAT BY ASHLEY SURVEYING, INC., DATED 8/9/2001. RECORDED IN PLAT BOOK K PAGE 2, DORCHESTER COUNTY RMC.
- 22) PLAT BY ASHLEY SURVEYING, INC., DATED 8/24/2001. RECORDED IN PLAT BOOK K PAGE 2, DORCHESTER COUNTY RMC.
- 23) PLAT BY HOFMAN LESTER ASSOCIATES, INC., DATED 3/25/2002. RECORDED IN PLAT BOOK K PAGE 59, DORCHESTER COUNTY RMC.
- 24) PLAT BY THOMAS V. BESSENT, DATED 8/3/2004. RECORDED IN PLAT BOOK K PAGE 112, DORCHESTER COUNTY RMC.
- 25) PLAT BY E.M. SEABROOK, JR., INC., DATED 1/13/2005. RECORDED IN PLAT BOOK K PAGE 134, DORCHESTER COUNTY RMC.
- 26) PLAT BY TRICO ENGINEERING CONSULTANTS, INC., DATED 8/22/2005. RECORDED IN PLAT BOOK K PAGE 167, DORCHESTER COUNTY RMC.
- 27) PLAT BY ASHLEY SURVEYING, INC., DATED 11/15/2005. RECORDED IN PLAT BOOK K PAGE 190, DORCHESTER COUNTY RMC.
- 28) PLAT BY HGBD SURVEYORS, LLC, DATED 5/30/2013. RECORDED IN PLAT BOOK M PAGE 8, DORCHESTER COUNTY RMC.
- 29) PLAT BY ASSOCIATED SURVEYORS OF SUMMERVILLE, DATED 12/15/2016. RECORDED IN PLAT BOOK M PAGE 100, DORCHESTER COUNTY RMC.

FLOOD NOTE:

THIS RIGHT-OF-WAY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAPS. PANEL NO. 4503C 0408, REVISED EFFECTIVE JULY 18, 2017. LOCATED IN THE TOWN OF SUMMERVILLE, COMMUNITY NUMBER 450073.

NOTES:

- 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
- 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- 4) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
- 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 6) THERE ARE NO APPLICABLE OCRM CRITICAL LINE BUFFERS OR SETBACKS ON THIS PROPERTY.
- 7) ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.
- 8) NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREON.

JOSEPH D. EWENS  
FAMILY MEDICINE, LLC  
TMS NO. 154-00-00-051

TOWN OF SUMMERVILLE  
TMS NO. 154-00-00-053

UNIVERSITY MEDICAL  
ASSOCIATES OF MUSC  
TMS NO. 154-00-00-047

W.R. ANDERSON, LLC  
TMS NO. 162-01-14-001

TOWN OF SUMMERVILLE  
TMS NO. 154-00-00-053

EIGHTY-FIVE SPRINGVIEW, LLC  
TMS NO. 154-00-00-065

TRIDENT MEDICAL CENTER, LLC  
TMS NO. 154-00-00-034

MEDICAL PLAZA  
ASSOCIATES, LLC  
TMS NO. 154-13-09-001

CAMPBELL GROUP, LLC  
TMS NO. 154-00-00-041

CHARLESTON ENT -  
SV REAL ESTATE, LLC  
TMS NO. 154-13-08-001

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING	CHORD
C1	85.01'	1673.38'	254.38'	42.51'	S 51°18'52" E	85.00'	1673.38'
C2	169.61'	1673.38'	548.26'	84.88'	S 35°40'24" E	169.54'	1673.38'
C3	643.28'	522.77'	70°54'15"	369.59'	S 73°42'09" W	603.38'	522.77'
C4	50.97'	423.51'	6°53'46"	25.52'	N 74°27'29" W	50.94'	423.51'
C5	1996.49'	1673.38'	168°21'32"	1136.35'	N 15°43'17" W	1880.16'	1673.38'
C6	229.48'	1479.03'	6°53'10"	114.97'	N 42°47'09" E	229.25'	1479.03'
C7	233.12'	375.00'	35°37'04"	120.46'	N 29°25'12" E	229.38'	375.00'
C8	367.39'	588.89'	35°44'42"	189.89'	N 29°29'01" E	361.46'	588.89'
C9	429.51'	2000.00'	12°18'16"	215.58'	N 41°12'18" E	428.68'	2000.00'
C10	296.17'	464.20'	36°33'22"	153.32'	N 17°01'29" E	291.17'	464.20'

BENCHMARK NOTE:  
CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.  
X CHECKED 10/18 X CHECKED 10/18

I, JOHNATHAN F. BURNS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH AN ORIGINAL SURVEYOR'S SEAL. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 7TH DAY OF NOVEMBER, 2017.

JOHNATHAN F. BURNS, PLS-22748

DWITT 5

EIGHTY-FIVE SPRINGVIEW, LLC  
TMS NO. 154-00-00-065

1 inch = 30 ft.

GPA  
PROFESSIONAL  
LAND SURVEYOR  
EST. 19  
281 TREELAI  
SUITE  
LADSON SC  
OFFICE (843)  
GPA OF CHAR:  
605 PHILLIP D  
CHARLOTTE NC  
OFFICE (704)  
GPA OF RAL:  
333 WADE  
RALEIGH NC  
CHARLESTON  
OFFICE (843)  
FAX (843) 5  
Integrity Without  
www.gpa.net

SCALE

1"=

F.L.D. BK.

JOB NO.

175

DATE

10/18

DRAWN BY

Lh

CHECKED

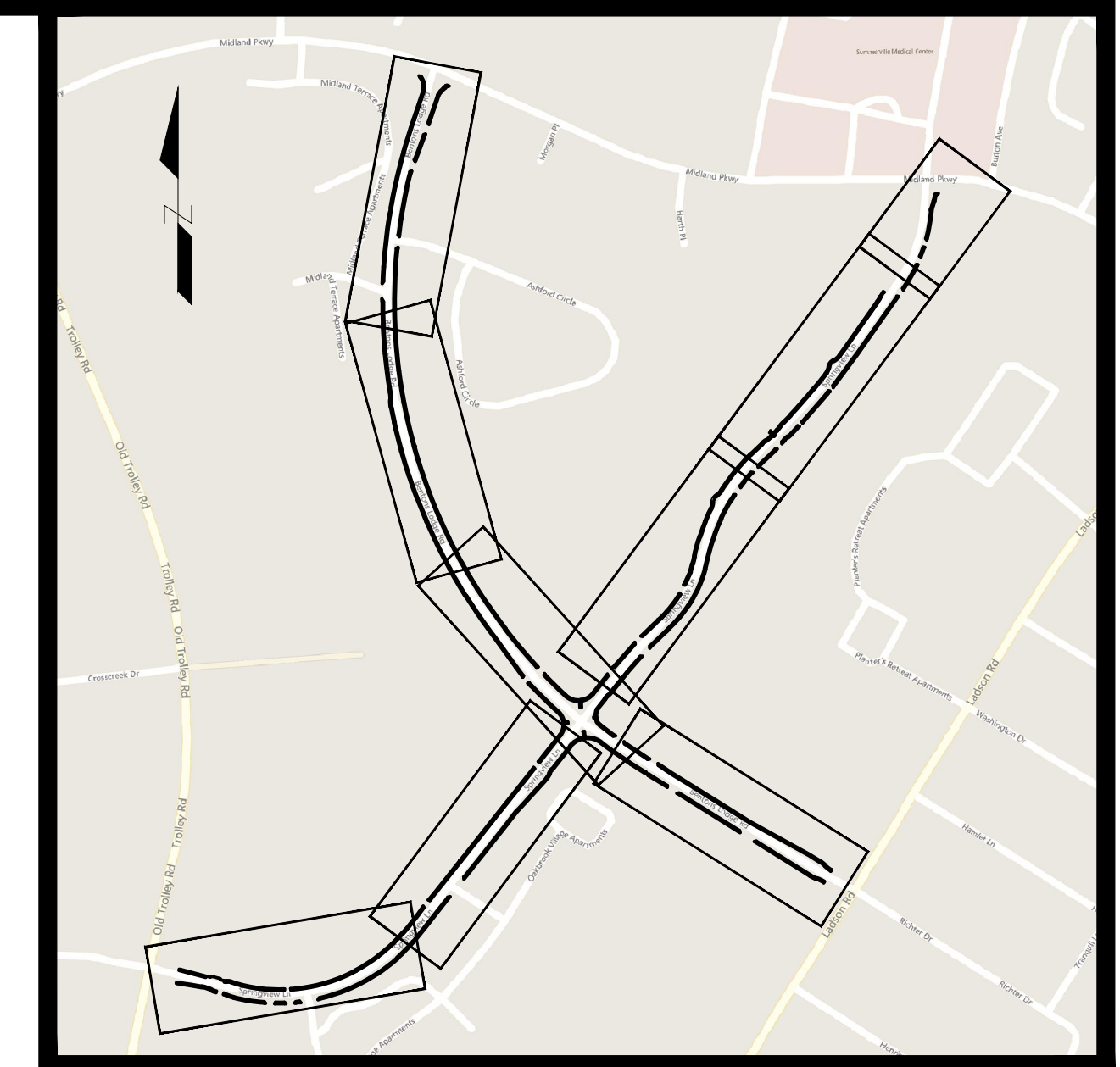
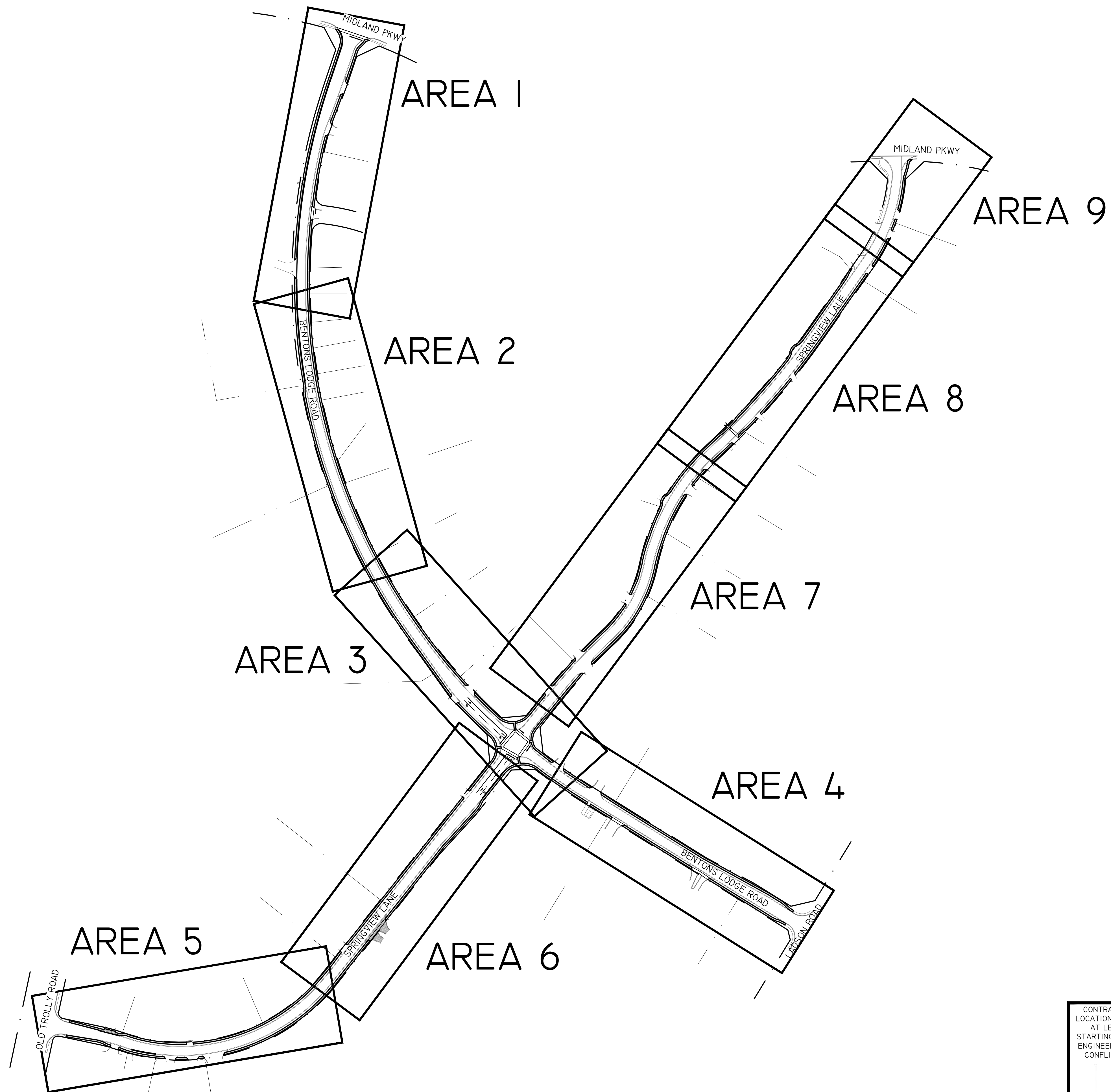
JF

SHOWING BENTONS LODGE ROAD  
AND  
A PORTION OF SPRINGVIEW LANE  
LOCATED IN THE TOWN OF SUMMERVILLE

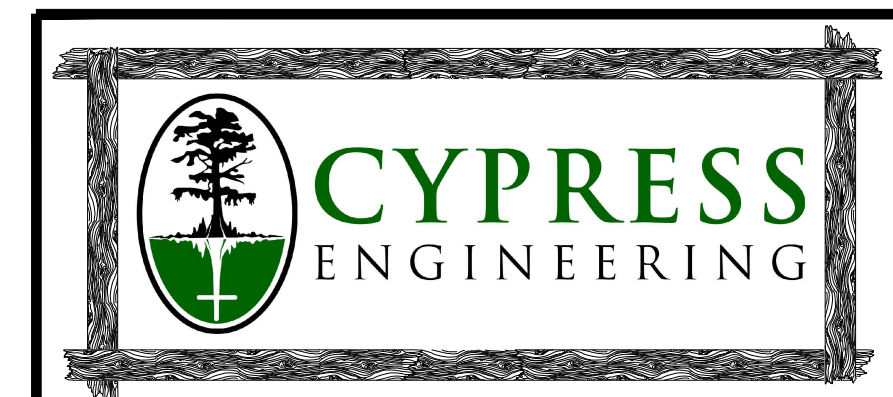
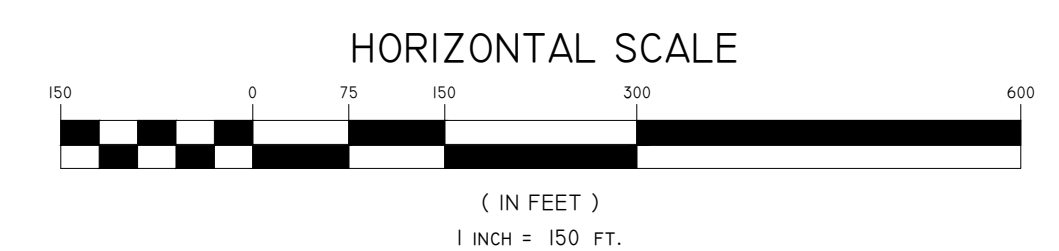
PREPARED FOR  
TOWN OF  
SUMMERVILLE

SHEET  
5





LOCATION MAP  
SCALE: 1" = 500'



CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE: 8/6/2018	CYP PROJ #: I7071
DRAWN: JCT	CLIENT: TOWN OF SUMMERVILLE
DESIGNED: JCT	CLIENT JOB #:
CHECKED: WWR	

SIDEWALKS #2 - BENTONS LODGE  
RD & SPRINGVIEW LANE  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18

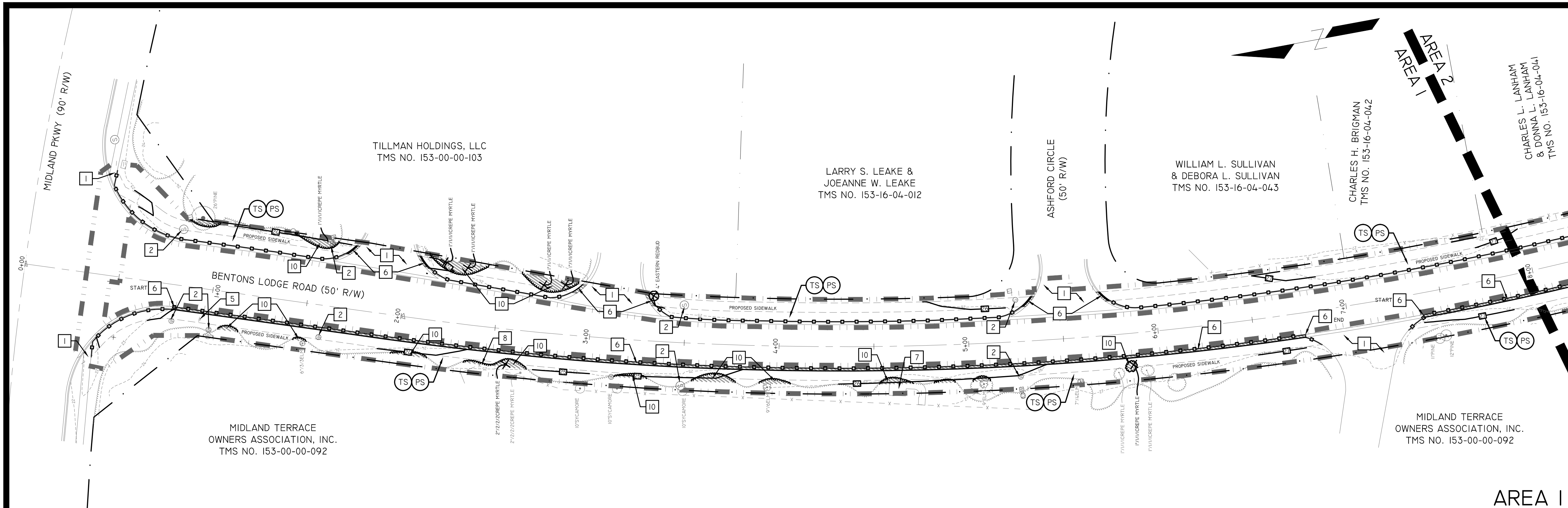
CONTRACTOR SHALL CALL 811 FOR  
LOCATION OF ALL EXISTING UTILITIES  
AT LEAST 72 HOURS PRIOR TO  
STARTING CONSTRUCTION. CONTACT  
ENGINEER IMMEDIATELY IF UTILITIES  
CONFLICT WITH PROPOSED WORK.



Know what's below.  
Call before you dig.

OVERALL SITE PLAN C0.07





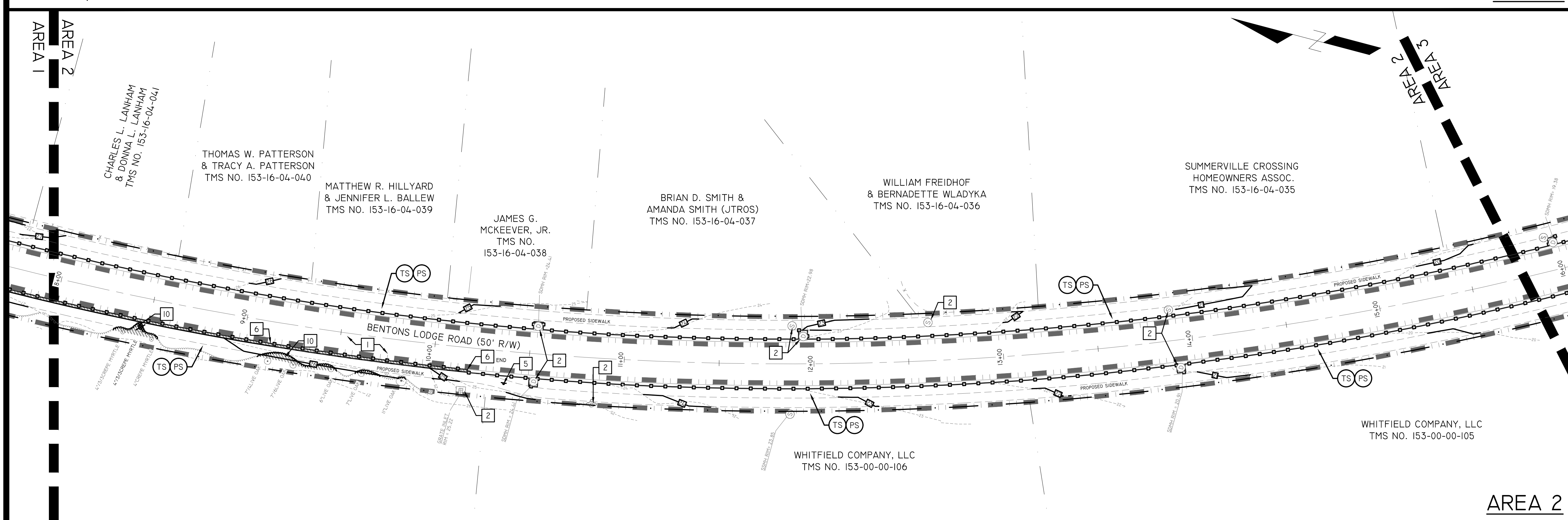
#### GENERAL NOTES:

1. SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
2. SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
3. PROTECT EXISTING PAVEMENT TO REMAIN.
4. PROTECT EXISTING UTILITIES TO REMAIN. REFER TO SITE & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
5. CLEAR AND GRUB VEGETATION TO THE LIMITS SHOWN, UNLESS OTHERWISE NOTED.
6. REMOVE EXISTING STRIPING AND STRIPE IAW SITE PLAN.
7. REMOVE/RELOCATE EXISTING SIGN. REFER TO SITE & DRAINAGE PLAN FOR NEW SIGNAGE REQUIREMENTS.
8. SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY FOR NEW SIDEWALK CONSTRUCTION. REFER TO SITE & DRAINAGE PLANS FOR MORE INFORMATION.
9. PROTECT EXISTING GAZEBO AND FOUNDATION TO REMAIN.
10. PROTECT EXISTING FENCE TO REMAIN.
11. COORDINATE RELOCATION OF EXISTING SIGN, AND ASSOCIATED LIGHTING, WITH TOWN OF SUMMERVILLE AND OWNER.
12. SELECTIVELY PRUNE EXISTING VEGETATION AS REQUIRED TO INSTALL SIDEWALK AS SHOWN. PROTECT EXISTING VEGETATION TO THE MAXIMUM EXTENT POSSIBLE. COORDINATE ALL PRUNING WITH TOWN OF SUMMERVILLE ENGINEERING DEPARTMENT (DENNIS SOMNITZ - 843-285-7537).
13. COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER. REFER TO SITE & DRAINAGE PLAN FOR MORE INFORMATION.
14. DEMOLISH EXISTING TRAFFIC DETERRENT DEVICE IN ITS ENTIRETY.
15. COORDINATE RELOCATION OF MAILBOX WITH USPS & PROPERTY OWNER.
16. REPLACE EXISTING BROKEN CURB INLET TOP.

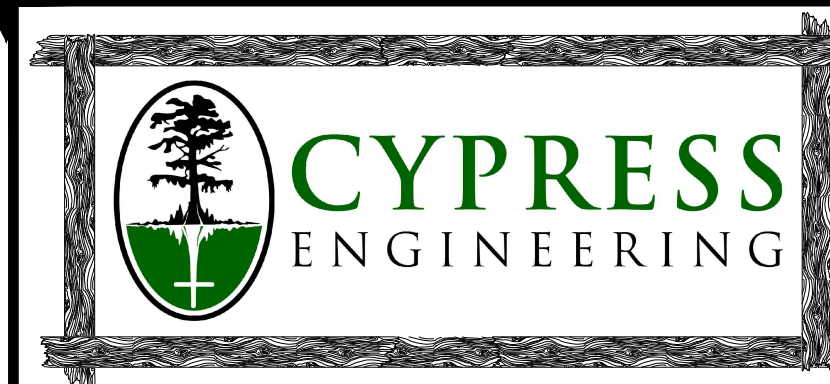
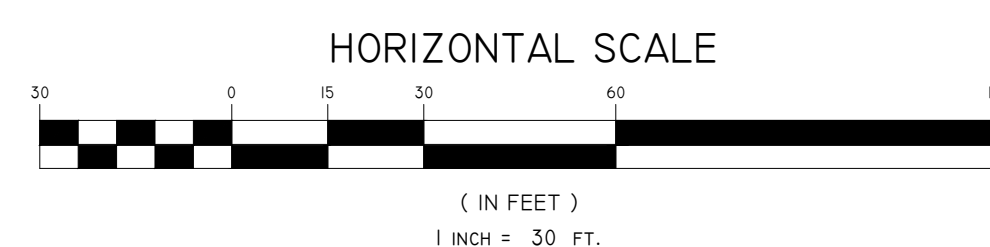
#### EROSION CONTROL LEGEND

- TS TEMPORARY SEEDING - INSTALL IAW DETAIL SHEET C1.20.
- PS PERMANENT SEEDING - INSTALL IAW DETAIL SHEET C1.20.
- SILT FENCE - INSTALL IAW DETAIL SHEET C1.20.
- TREE BARRICADE - INSTALL IAW DETAIL SHEET C1.20.
- SILTSACK INLET PROTECTION - INSTALL IAW DETAIL SHEET C1.20.

AREA 1



AREA 2



CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	17071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

#### SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18
2		
3		
4		
5		

#### DEMOLITION & EROSION CONTROL - AREA 1 & 2

C1.01

#### EXISTING SITE LEGEND

- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- FENCE
- POWER LINE (OVERHEAD)
- EXISTING TREE
- POWER POLE
- SANITARY MANHOLE
- SEWER CLEANOUT
- CATCH BASIN
- FIRE HYDRANT
- ELECTRICAL BOX
- EXISTING CONTOUR
- TREE TO BE DEMOLISHED
- ITEMS TO BE DEMOLISHED
- LIMITS OF CONSTRUCTION

#### SWPPP PREPARER CERTIFICATION STATEMENT

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14, OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

W. WILLIAM ROGAN, JR, PE  
SC PE #27814

SWPPP PREPARER NAME

SIGNATURE, DATE & SEAL

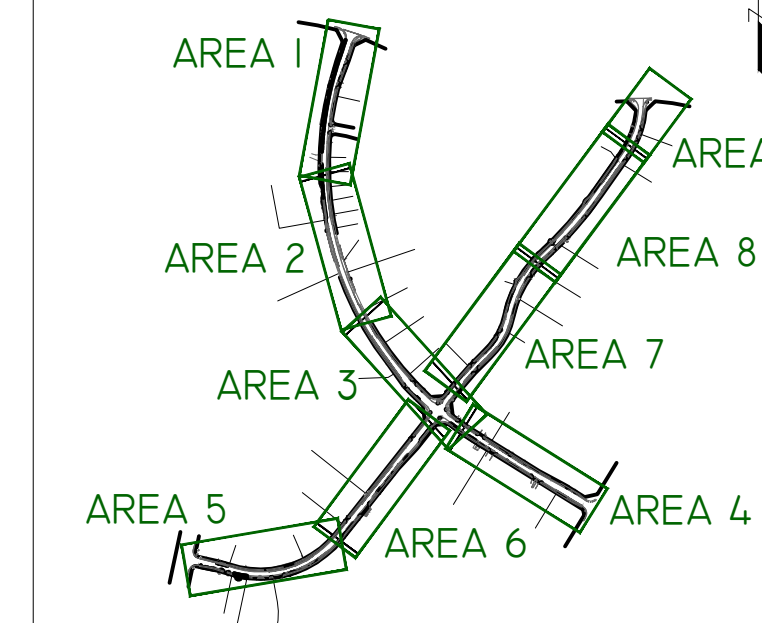


#### SWPPP SEQUENCE OF CONSTRUCTION NOTES:

1. PRIOR TO ANY LAND DISTURBANCE ACTIVITY, CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. CONTRACTOR TO NOTIFY TOWN OF SUMMERVILLE AT LEAST 72 HOURS PRIOR TO SWPPP PRE-CONSTRUCTION CONFERENCE.
2. INSTALL SILT FENCE.
3. INSTALL INLET PROTECTION ON STRUCTURES AS SHOWN.
4. IMPLEMENT & MAINTAIN EROSION CONTROL BMP'S AS INDICATED ON THE PLANS THROUGHOUT CONSTRUCTION.
5. TEMPORARILY STABILIZE ALL AREAS DURING CONSTRUCTION AS INDICATED ON THE PLANS.
6. PERMANENTLY STABILIZE ALL AREAS AS INDICATED ON PLANS. CONTACT ENGINEER FOR FINAL STABILIZATION INSPECTION.
7. ONCE ENGINEER CONFIRMS THAT FINAL STABILIZATION HAS BEEN ACHIEVED, CONTACT TOWN OF SUMMERVILLE TO REQUEST FINAL INSPECTION.
8. ONCE TOWN OF SUMMERVILLE CONFIRMS FINAL STABILIZATION, SUBMIT NOTICE OF TERMINATION TO SCDHEC IAW SWPPP REQUIREMENTS.

#### KEYPLAN

1 INCH = 1000 FT.

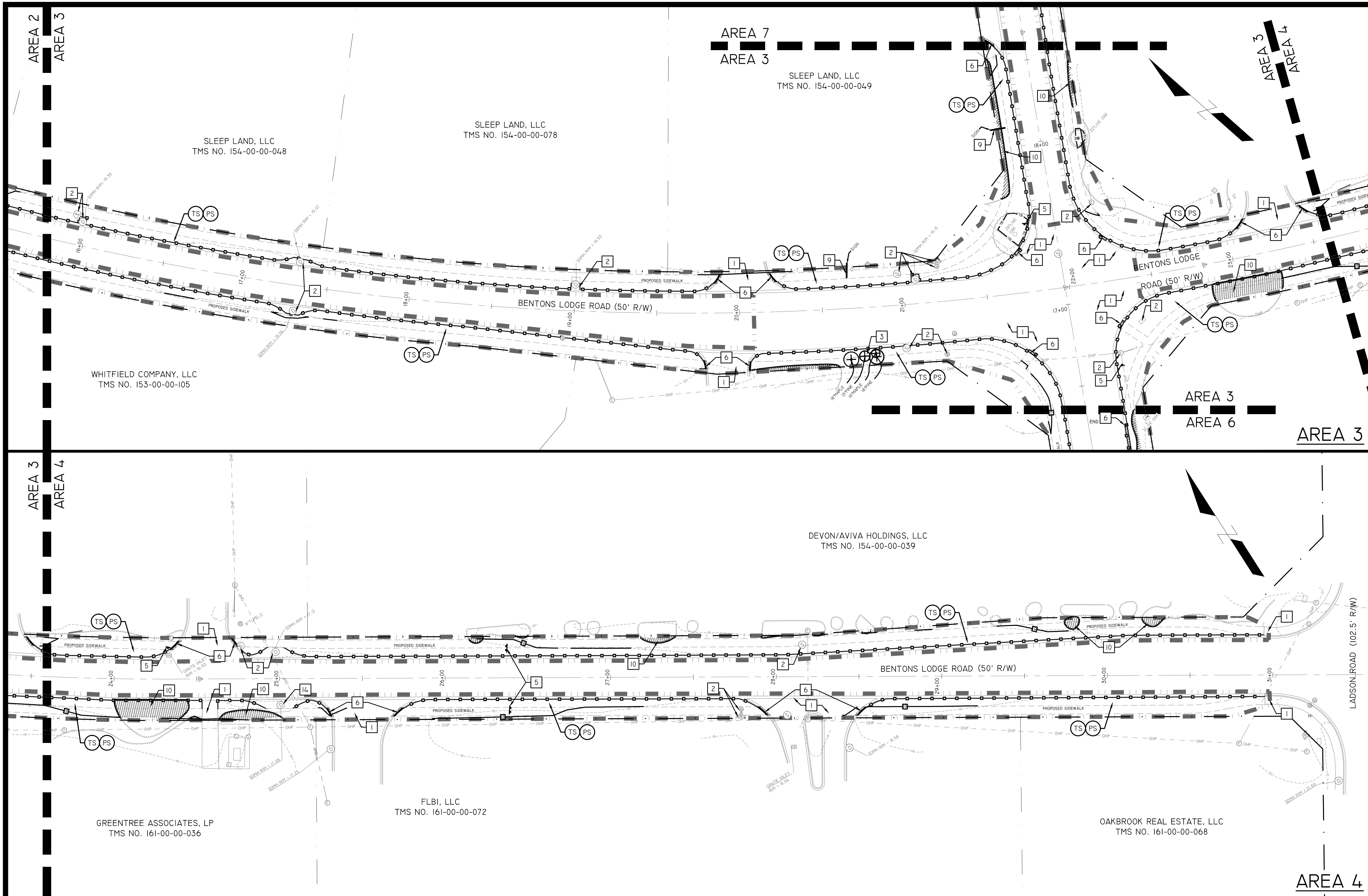


\*SEE SHEET C0.07 FOR OVERALL SITE PLAN

CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.

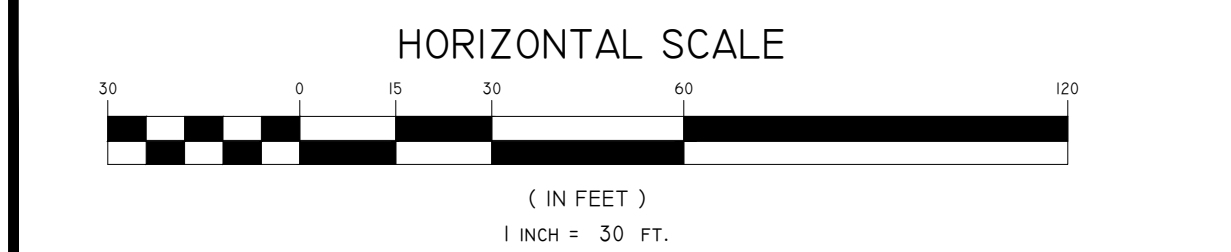
**811**  
Know what's below.  
Call before you dig.





- GENERAL NOTES:**
- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  - SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- KEYNOTES:**
- PROTECT EXISTING PAVEMENT TO REMAIN.
  - PROTECT EXISTING UTILITIES TO REMAIN. REFER TO SITE & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
  - CLEAR AND GRUB VEGETATION TO THE LIMITS SHOWN, UNLESS OTHERWISE NOTED.
  - REMOVE EXISTING STRIPING AND STRIPE IAW SITE PLAN.
  - REMOVE/RELOCATE EXISTING SIGN. REFER TO SITE & DRAINAGE PLAN FOR NEW SIGNAGE REQUIREMENTS.
  - SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY FOR NEW SIDEWALK CONSTRUCTION. REFER TO SITE & DRAINAGE PLANS FOR MORE INFORMATION.
  - PROTECT EXISTING GAZEBO AND FOUNDATION TO REMAIN.
  - PROTECT EXISTING FENCE TO REMAIN.
  - COORDINATE RELOCATION OF EXISTING SIGN, AND ASSOCIATED LIGHTING, WITH TOWN OF SUMMERVILLE AND OWNER.
  - SELECTIVELY PRUNE EXISTING VEGETATION AS REQUIRED TO INSTALL SIDEWALK AS SHOWN. PROTECT EXISTING VEGETATION TO THE MAXIMUM EXTENT POSSIBLE. COORDINATE ALL PRUNING WITH TOWN OF SUMMERVILLE ENGINEERING DEPARTMENT (DENNIS SOMNITZ - 843-285-7537).
  - COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER. REFER TO SITE & DRAINAGE PLAN FOR MORE INFORMATION.
  - DEMOLISH EXISTING TRAFFIC DETERRENT DEVICE IN ITS ENTIRETY.
  - COORDINATE RELOCATION OF MAILBOX WITH USPS & PROPERTY OWNER.
  - REPLACE EXISTING BROKEN CURB INLET TOP.

- EROSION CONTROL LEGEND**
- TS TEMPORARY SEEDING - INSTALL IAW DETAIL SHEET C1.20.
  - PS PERMANENT SEEDING - INSTALL IAW DETAIL SHEET C1.20.
  - SILT FENCE - INSTALL IAW DETAIL SHEET C1.20.
  - TB TREE BARRICADE - INSTALL IAW DETAIL SHEET C1.20.
  - SILTSACK INLET PROTECTION - INSTALL IAW DETAIL SHEET C1.20.



**CYPRESS**  
ENGINEERING

CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

**SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE**  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
PERMIT SET	ISSUE DATE	3/19/18

- EXISTING SITE LEGEND**
- RIGHT-OF-WAY LINE
  - ADJACENT PROPERTY LINE
  - FENCE
  - POWER LINE (OVERHEAD)
  - EXISTING TREE
  - POWER POLE
  - SANITARY MANHOLE
  - SEWER CLEANOUT
  - CATCH BASIN
  - FIRE HYDRANT
  - ELECTRICAL BOX
  - EXISTING CONTOUR
  - TREE TO BE DEMOLISHED
  - ITEMS TO BE DEMOLISHED
  - LIMITS OF CONSTRUCTION

**SWPPP PREPARER CERTIFICATION STATEMENT**

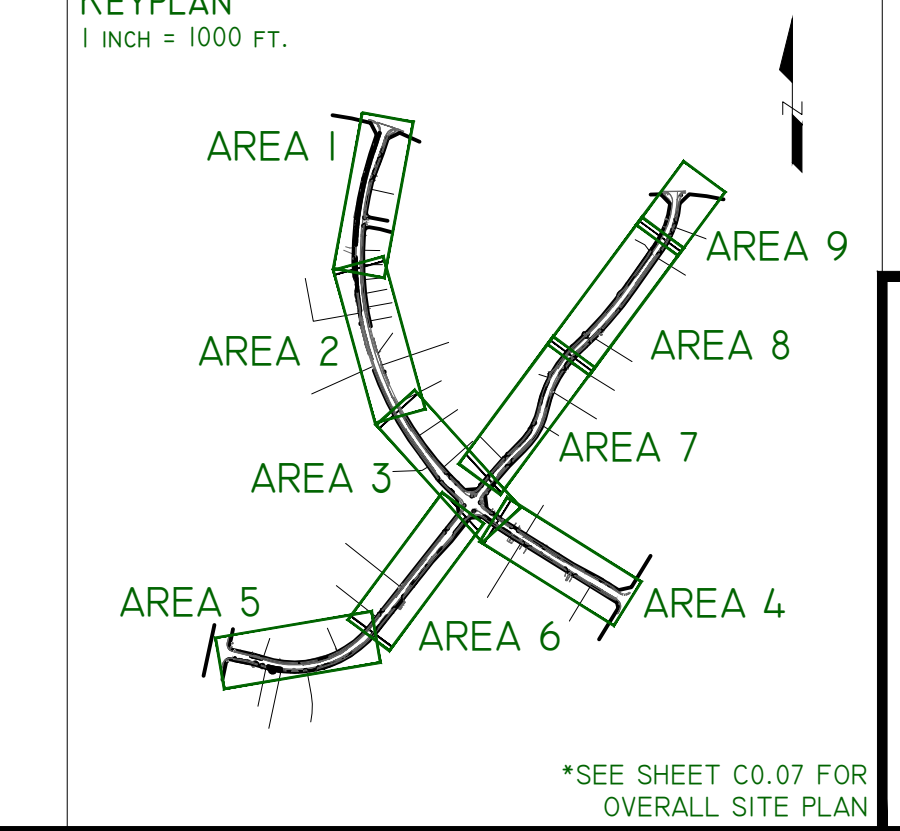
"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14, OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

W. WILLIAM ROGAN, JR, PE  
SC PE #27814

SWPPP PREPARER NAME

SIGNATURE, DATE & SEAL

- SWPPP SEQUENCE OF CONSTRUCTION NOTES:**
- PRIOR TO ANY LAND DISTURBANCE ACTIVITY, CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. CONTRACTOR TO NOTIFY TOWN OF SUMMERVILLE AT LEAST 72 HOURS PRIOR TO SWPPP PRE-CONSTRUCTION CONFERENCE.
  - INSTALL SILT FENCE.
  - INSTALL INLET PROTECTION ON STRUCTURES AS SHOWN.
  - IMPLEMENT & MAINTAIN EROSION CONTROL BMP'S AS INDICATED ON THE PLANS THROUGHOUT CONSTRUCTION.
  - TEMPORARILY STABILIZE ALL AREAS DURING CONSTRUCTION AS INDICATED ON THE PLANS.
  - PERMANENTLY STABILIZE ALL AREAS AS INDICATED ON PLANS. CONTACT ENGINEER FOR FINAL STABILIZATION INSPECTION.
  - ONCE ENGINEER CONFIRMS THAT FINAL STABILIZATION HAS BEEN ACHIEVED, CONTACT TOWN OF SUMMERVILLE TO REQUEST FINAL INSPECTION.
  - ONCE TOWN OF SUMMERVILLE CONFIRMS FINAL STABILIZATION, SUBMIT NOTICE OF TERMINATION TO SCDHEC IAW SWPPP REQUIREMENTS.

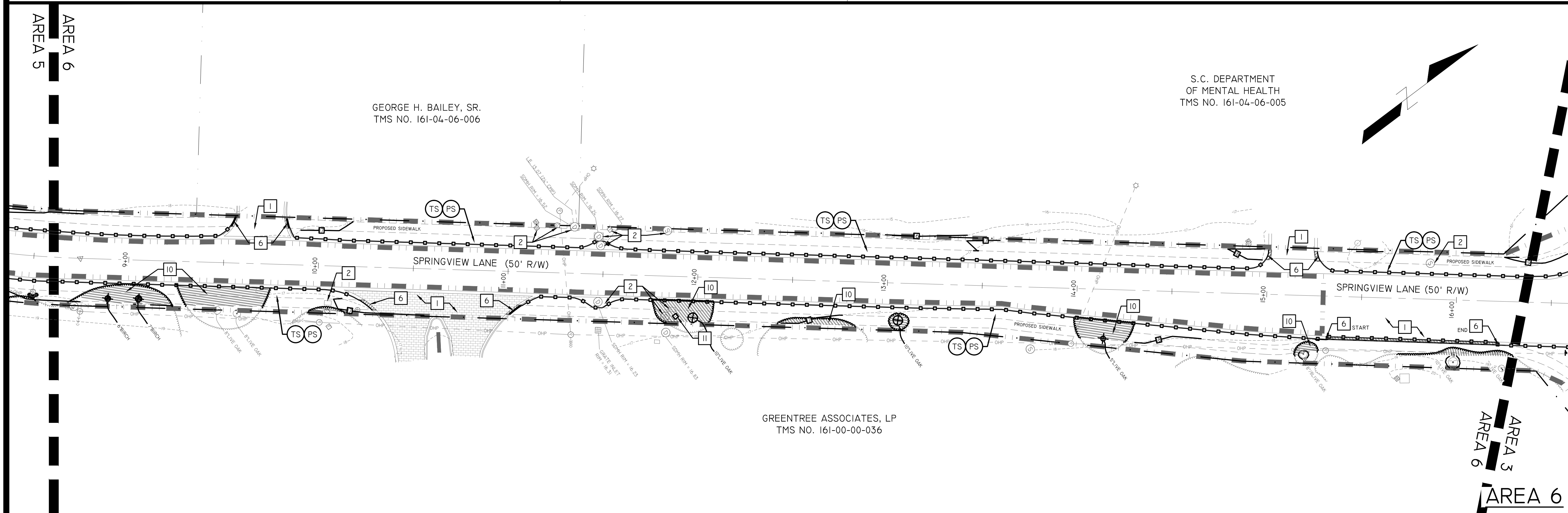
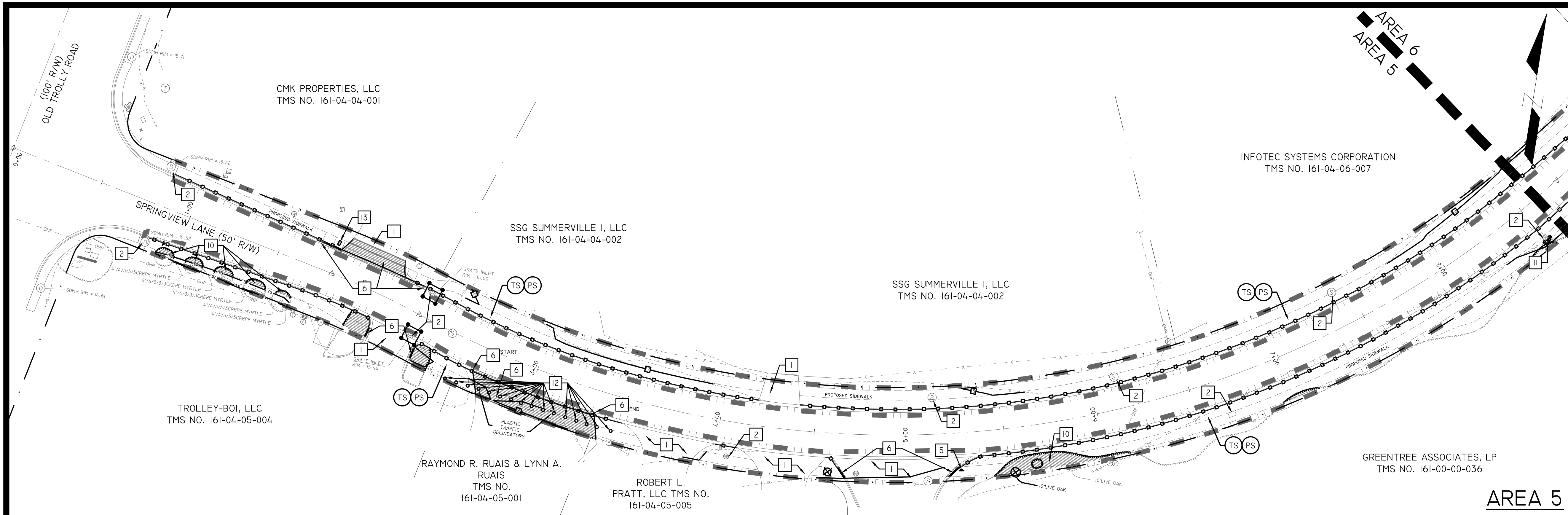


CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.

**DEMOLITION & EROSION CONTROL - AREA 3 & 4**

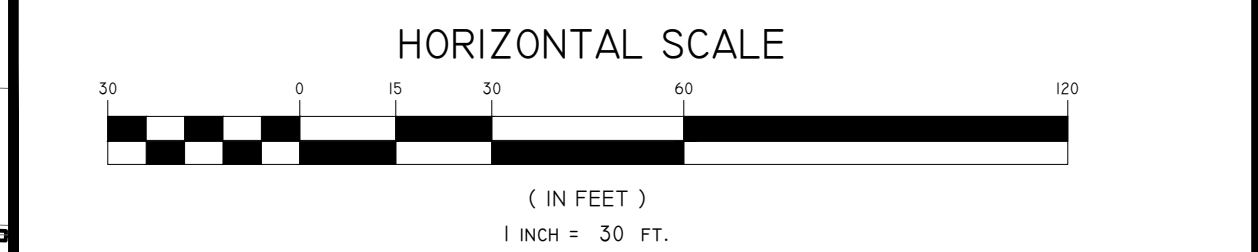
**CI.02**





- GENERAL NOTES:**
- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  - SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- KEYNOTES:**
- PROTECT EXISTING PAVEMENT TO REMAIN.
  - PROTECT EXISTING UTILITIES TO REMAIN. REFER TO SITE & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
  - CLEAR AND GRUB VEGETATION TO THE LIMITS SHOWN, UNLESS OTHERWISE NOTED.
  - REMOVE EXISTING STRIPING AND STRIPE IAW SITE PLAN.
  - REMOVE/RELOCATE EXISTING SIGN. REFER TO SITE & DRAINAGE PLAN FOR NEW SIGNAGE REQUIREMENTS.
  - SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY FOR NEW SIDEWALK CONSTRUCTION. REFER TO SITE & DRAINAGE PLANS FOR MORE INFORMATION.
  - PROTECT EXISTING GAZEBO AND FOUNDATION TO REMAIN.
  - PROTECT EXISTING FENCE TO REMAIN.
  - COORDINATE RELOCATION OF EXISTING SIGN, AND ASSOCIATED LIGHTING, WITH TOWN OF SUMMERVILLE AND OWNER.
  - SELECTIVELY PRUNE EXISTING VEGETATION AS REQUIRED TO INSTALL SIDEWALK AS SHOWN. PROTECT EXISTING VEGETATION TO THE MAXIMUM EXTENT POSSIBLE. COORDINATE ALL PRUNING WITH TOWN OF SUMMERVILLE ENGINEERING DEPARTMENT (DENNIS SOMNITZ - 843-285-7537).
  - COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER. REFER TO SITE & DRAINAGE PLAN FOR MORE INFORMATION.
  - DEMOLISH EXISTING TRAFFIC DETERRENT DEVICE IN ITS ENTIRETY.
  - COORDINATE RELOCATION OF MAILBOX WITH USPS & PROPERTY OWNER.
  - REPLACE EXISTING BROKEN CURB INLET TOP.

- EROSION CONTROL LEGEND**
- TS TEMPORARY SEEDING - INSTALL IAW DETAIL SHEET C1.20.
  - PS PERMANENT SEEDING - INSTALL IAW DETAIL SHEET C1.20.
  - SILT FENCE - INSTALL IAW DETAIL SHEET C1.20.
  - TB TREE BARRICADE - INSTALL IAW DETAIL SHEET C1.20.
  - SILTSACK INLET PROTECTION - INSTALL IAW DETAIL SHEET C1.20.



**CYPRESS ENGINEERING**

CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

**SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE**  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
PERMIT SET	ISSUE DATE	3/19/18

**DEMOLITION & EROSION CONTROL - AREA 5 & 6**

**CI.03**

- EXISTING SITE LEGEND**
- RIGHT-OF-WAY LINE
  - ADJACENT PROPERTY LINE
  - FENCE
  - POWER LINE (OVERHEAD)
  - EXISTING TREE
  - POWER POLE
  - SANITARY MANHOLE
  - SEWER CLEANOUT
  - CATCH BASIN
  - FIRE HYDRANT
  - ELECTRICAL BOX
  - EXISTING CONTOUR
  - TREE TO BE DEMOLISHED
  - ITEMS TO BE DEMOLISHED
  - LIMITS OF CONSTRUCTION

**SWPPP PREPARER CERTIFICATION STATEMENT**

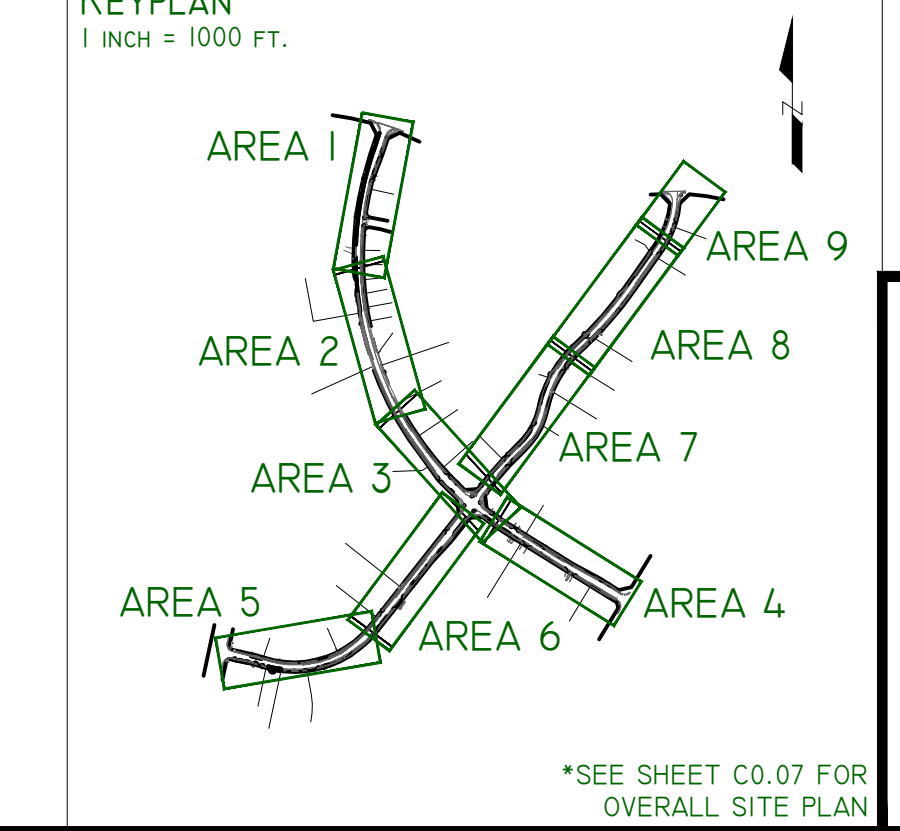
"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14, OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRI000000."

W. WILLIAM ROGAN, JR, PE  
SC PE #27814

SWPPP PREPARER NAME

SIGNATURE, DATE & SEAL

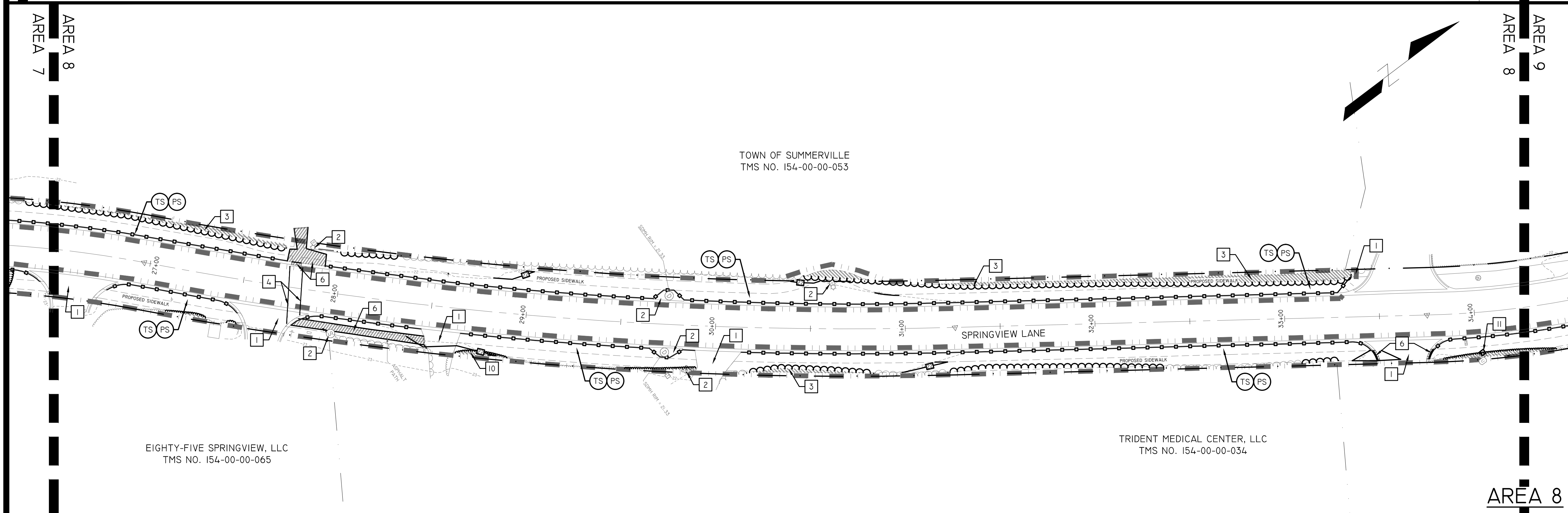
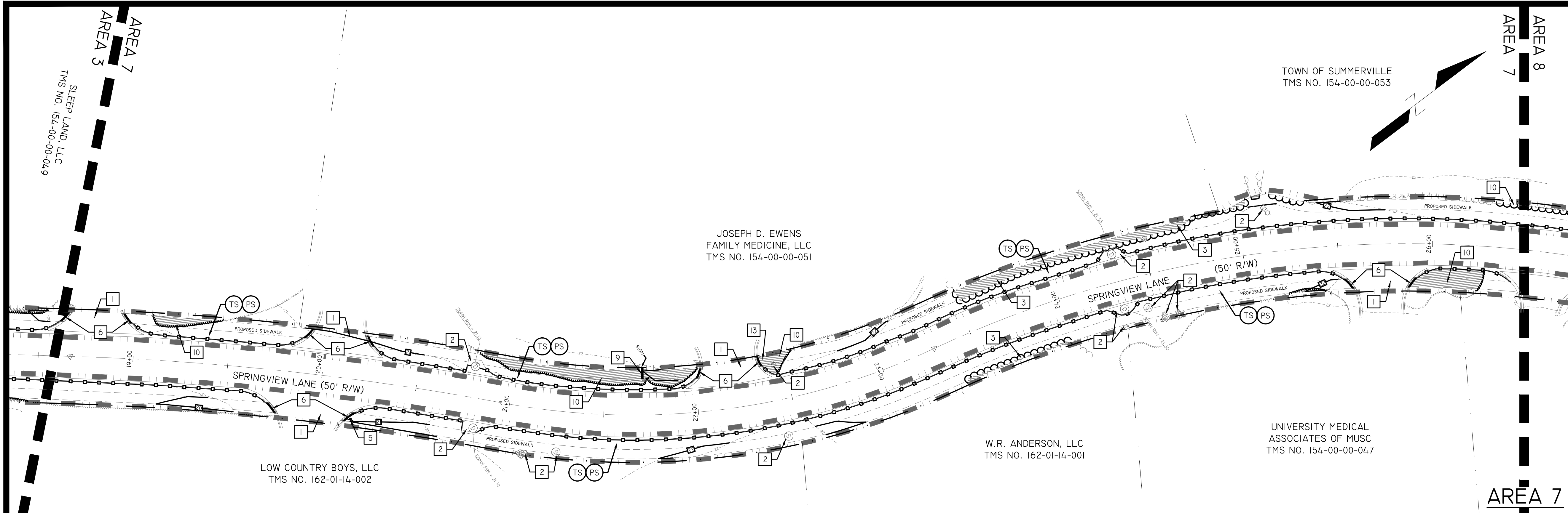
- SWPPP SEQUENCE OF CONSTRUCTION NOTES:**
- PRIOR TO ANY LAND DISTURBANCE ACTIVITY, CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. CONTRACTOR TO NOTIFY TOWN OF SUMMERVILLE AT LEAST 72 HOURS PRIOR TO SWPPP PRE-CONSTRUCTION CONFERENCE.
  - INSTALL SILT FENCE.
  - INSTALL INLET PROTECTION ON STRUCTURES AS SHOWN.
  - IMPLEMENT & MAINTAIN EROSION CONTROL BMP'S AS INDICATED ON THE PLANS THROUGHOUT CONSTRUCTION.
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  - ONCE TOWN OF SUMMERVILLE CONFIRMS FINAL STABILIZATION, SUBMIT NOTICE OF TERMINATION TO SCDHEC IAW SWPPP REQUIREMENTS.



CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.

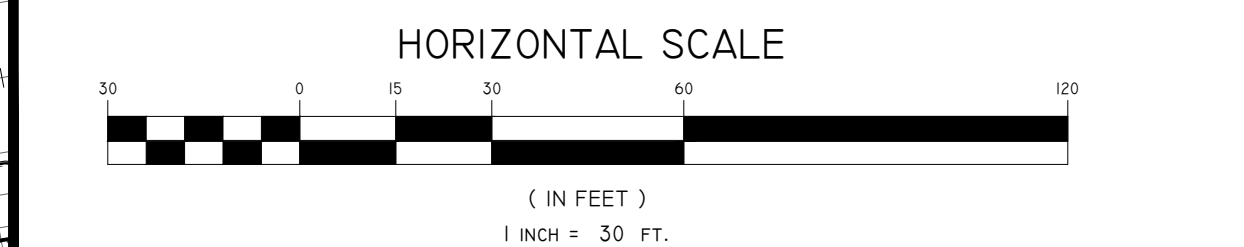
**811**  
Know what's below.  
Call before you dig.





- GENERAL NOTES:**
- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  - SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- KEYNOTES:**
- PROTECT EXISTING PAVEMENT TO REMAIN.
  - PROTECT EXISTING UTILITIES TO REMAIN. REFER TO SITE & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
  - CLEAR AND GRUB VEGETATION TO THE LIMITS SHOWN, UNLESS OTHERWISE NOTED.
  - REMOVE EXISTING STRIPING AND STRIPE IAW SITE PLAN.
  - REMOVE/RELOCATE EXISTING SIGN. REFER TO SITE & DRAINAGE PLAN FOR NEW SIGNAGE REQUIREMENTS.
  - SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY FOR NEW SIDEWALK CONSTRUCTION. REFER TO SITE & DRAINAGE PLANS FOR MORE INFORMATION.
  - PROTECT EXISTING GAZEBO AND FOUNDATION TO REMAIN.
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  - REPLACE EXISTING BROKEN CURB INLET TOP.

- EROSION CONTROL LEGEND**
- TS TEMPORARY SEEDING - INSTALL IAW DETAIL SHEET C1.20.
  - PS PERMANENT SEEDING - INSTALL IAW DETAIL SHEET C1.20.
  - SILT FENCE - INSTALL IAW DETAIL SHEET C1.20.
  - TREE BARRICADE - INSTALL IAW DETAIL SHEET C1.20.
  - SILTSACK INLET PROTECTION - INSTALL IAW DETAIL SHEET C1.20.



DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

## SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE

SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
PERMIT SET	ISSUE DATE	3/19/18

## DEMOLITION & EROSION CONTROL - AREA 7 & 8

C1.04

### EXISTING SITE LEGEND

- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- FENCE
- POWER LINE (OVERHEAD)
- EXISTING TREE
- POWER POLE
- SANITARY MANHOLE
- SEWER CLEANOUT
- CATCH BASIN
- FIRE HYDRANT
- ELECTRICAL BOX
- EXISTING CONTOUR
- TREE TO BE DEMOLISHED
- ITEMS TO BE DEMOLISHED
- LIMITS OF CONSTRUCTION

### SWPPP PREPARER CERTIFICATION STATEMENT

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14, OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRI000000."

W. WILLIAM ROGAN, JR, PE  
SC PE #27814

SWPPP PREPARER NAME

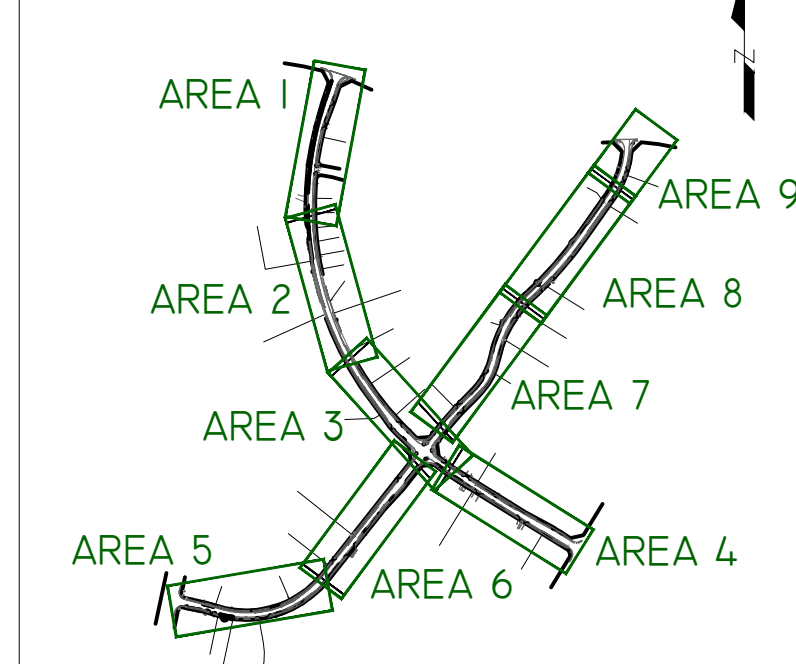
SIGNATURE, DATE & SEAL

### SWPPP SEQUENCE OF CONSTRUCTION NOTES:

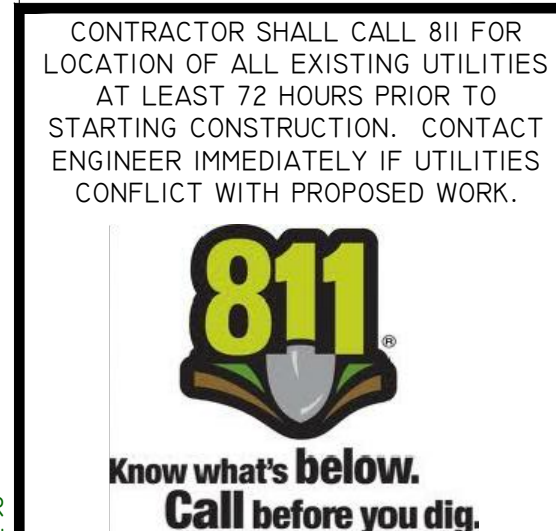
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### KEYPLAN

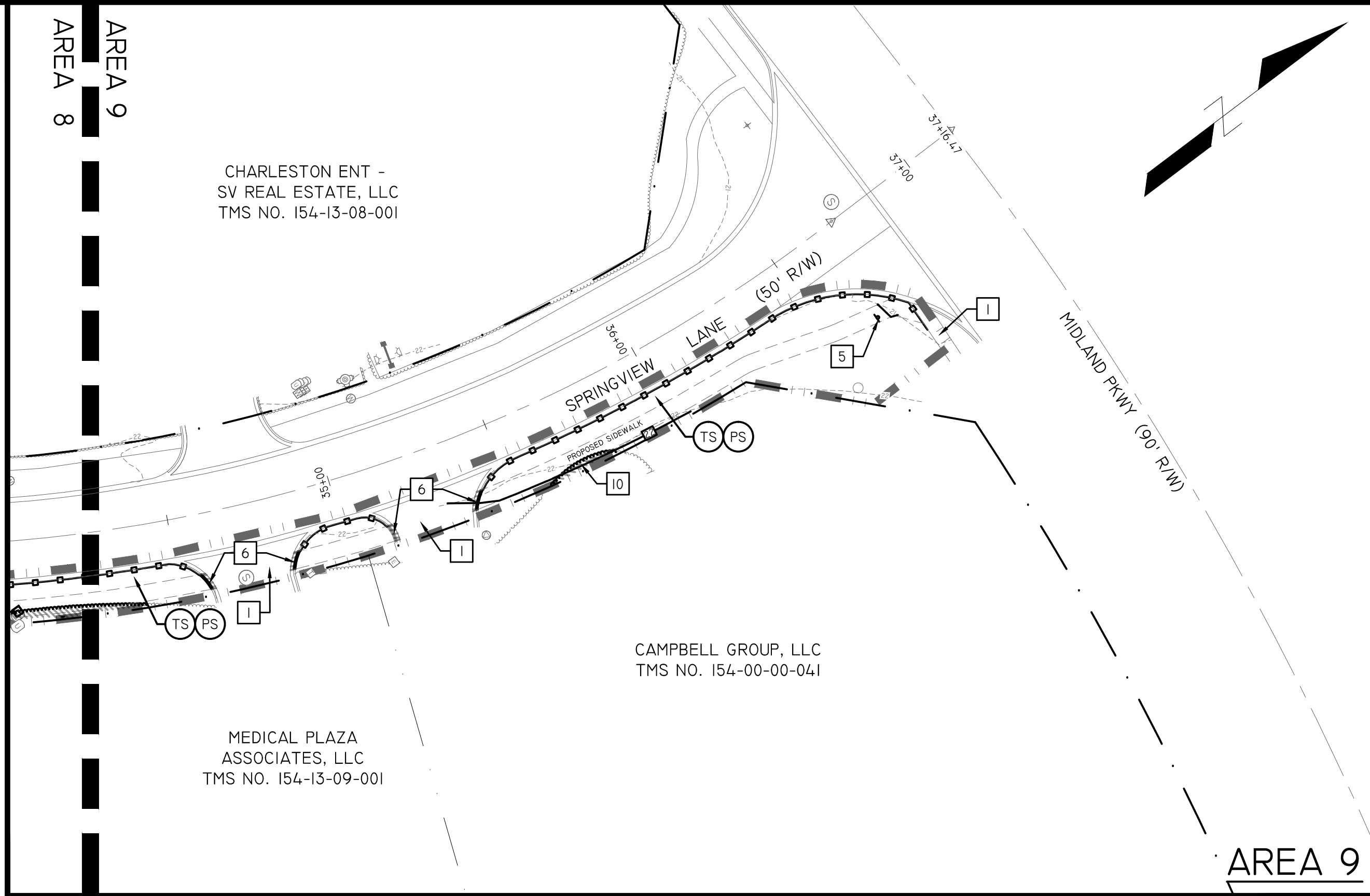
1 INCH = 1000 FT.



\*SEE SHEET C0.07 FOR OVERALL SITE PLAN







GENERAL NOTES:

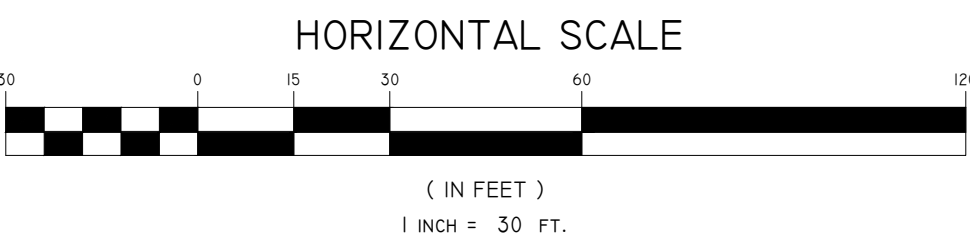
1. SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
2. SEE SHEET C1.01 FOR EXISTING SITE LEGEND.

KEYNOTES:

1. PROTECT EXISTING PAVEMENT TO REMAIN.
2. PROTECT EXISTING UTILITIES TO REMAIN. REFER TO SITE & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
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12. DEMOLISH EXISTING TRAFFIC DETERRENT DEVICE IN ITS ENTIRETY.
13. COORDINATE RELOCATION OF MAILBOX WITH USPS & PROPERTY OWNER.
14. REPLACE EXISTING BROKEN CURB INLET TOP.

EROSION CONTROL LEGEND

- (TS) TEMPORARY SEEDING - INSTALL IAW DETAIL SHEET C1.20.
- (PS) PERMANENT SEEDING - INSTALL IAW DETAIL SHEET C1.20.
- SILT FENCE - INSTALL IAW DETAIL SHEET C1.20.
- TB— TREE BARRICADE - INSTALL IAW DETAIL SHEET C1.20.
- SILTSACK INLET PROTECTION - INSTALL IAW DETAIL SHEET C1.20.



DATE: 8/6/2018	CYP PROJ #: 17071
DRAWN: JCT	CLIENT: TOWN OF SUMMERVILLE
DESIGNED: JCT	CLIENT JOB #:
CHECKED: WWR	

SIDEWALKS #2 - BENTONS LODGE  
RD & SPRINGVIEW LANE  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18
2		
3		
4		
5		
6		

SOUTH CAROLINA  
CYPRESS ENGINEERING, LLC  
No. 4755  
STATE OF AUTHORIZATION

SOUTH CAROLINA  
WILLIAM ROGAN, JR.  
No. 27814  
8/6/18

DEMOLITION & EROSION  
CONTROL - AREA 9

CI.05

EXISTING SITE LEGEND

- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- FENCE
- OHP — POWER LINE (OVERHEAD)
- EXISTING TREE
- PP POWER POLE
- SSMH SANITARY MANHOLE
- CO SEWER CLEANOUT
- CB CATCH BASIN
- FH FIRE HYDRANT
- E ELECTRICAL BOX
- 24 — EXISTING CONTOUR
- (X) \* TREE TO BE DEMOLISHED
- ITEMS TO BE DEMOLISHED
- LIMITS OF CONSTRUCTION

SWPPP PREPARER CERTIFICATION STATEMENT

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14, OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRI000000."

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SC PE #27814

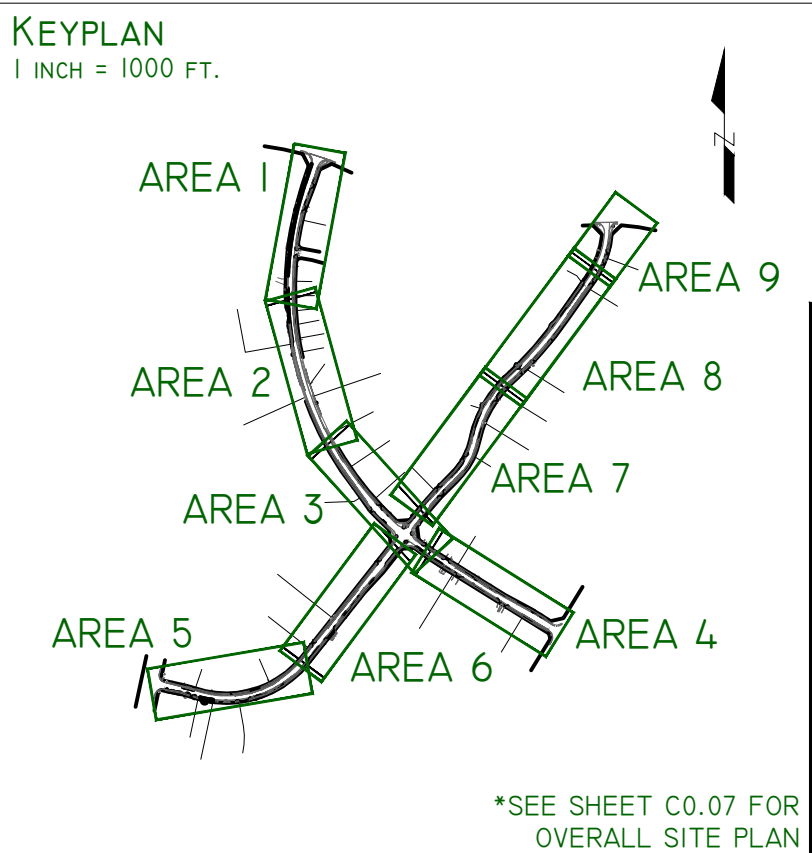
SWPPP PREPARER NAME



SIGNATURE, DATE & SEAL

SWPPP SEQUENCE OF CONSTRUCTION NOTES:

1. PRIOR TO ANY LAND DISTURBANCE ACTIVITY, CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. CONTRACTOR TO NOTIFY TOWN OF SUMMERVILLE AT LEAST 72 HOURS PRIOR TO SWPPP PRE-CONSTRUCTION CONFERENCE.
2. INSTALL SILT FENCE.
3. INSTALL INLET PROTECTION ON STRUCTURES AS SHOWN.
4. IMPLEMENT & MAINTAIN EROSION CONTROL BMP'S AS INDICATED ON THE PLANS THROUGHOUT CONSTRUCTION.
5. TEMPORARILY STABILIZE ALL AREAS DURING CONSTRUCTION AS INDICATED ON THE PLANS.
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CONTRACTOR SHALL CALL 811 FOR  
LOCATION OF ALL EXISTING UTILITIES  
AT LEAST 72 HOURS PRIOR TO  
STARTING CONSTRUCTION. CONTACT  
ENGINEER IMMEDIATELY IF UTILITIES  
CONFLICT WITH PROPOSED WORK.





SCDHEC STORM WATER POLLUTION PREVENTION PLAN NOTES

I. ON-SITE STORMWATER POLLUTION PREVENTION PLAN (OS-SWPPP) INCLUDES:

- I.A. APPROVED DRAWINGS INCLUDING GRADING PLANS OR STORMWATER MANAGEMENT PLANS  
I.B. NOI - NOTICE OF INTENT  
I.D. CGP COVERAGE LETTER FROM SCDHEC  
I.H. MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS-4) APPROVAL (WHERE APPLICABLE)  
I.J. SCDHEC, EPA OR LOCAL AGENCY APPROVAL OF SEDIMENT & EROSION CONTROL PLANS  
I.K. CGP - SOUTH CAROLINA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PERMIT NO. SCRI00000 (EFFECTIVE JANUARY 1, 2015)

2. SWPPP COVERAGE AREA

- 2.A. TOTAL PROJECT AREA - 4.9 ACRES  
TOTAL DISTURBED AREA - 4.9 ACRES  
2.B. THIS SWPPP APPLIES TO AND IS LIMITED TO THE DISTURBED AREA IDENTIFIED IN THE APPROVED DRAWINGS.

3. OPERATOR OF DAY TO DAY SITE ACTIVITIES (ODSA)

- 3.A. THE PRIME CONTRACTOR WHO IS HIRED BY THE PRIMARY PERMITTEE AND HAS DAY-TO-DAY OPERATIONAL CONTROL OF ON-SITE CONSTRUCTION ACTIVITIES IS CONSIDERED THE ODSA. THE ODSA SHALL SIGN A CONTRACTOR CERTIFICATION FORM AS IDENTIFIED IN THE SWPPP AND SHALL BE RESPONSIBLE FOR ALL ODSA ACTIVITIES IDENTIFIED IN THE CGP.

4. ON-SITE SWPPP MAINTENANCE & AVAILABILITY

- 4.A. A COPY OF THE OS-SWPPP, AS DEFINED BY SECTION 3.1.1.H OF THE CGP, MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.  
4.B. IF A LOCATION WITHIN THE CONSTRUCTION SITE IS UNAVAILABLE TO STORE THE ON-SITE SWPPP WHEN NO PERSONNEL ARE PRESENT, NOTICE OF THE PLAN'S LOCATION, ALONG WITH ANY UPDATED CONTACT INFORMATION, MUST BE POSTED NEAR THE MAIN ENTRANCE AT THE CONSTRUCTION SITE.  
4.C. CONTRACTORS AND/OR BUILDERS, WHO HAVE DAY-TO-DAY OPERATIONAL CONTROL OVER OS-SWPPP IMPLEMENTATION, MUST HAVE A COPY OF THIS SWPPP AVAILABLE AT A CENTRAL LOCATION WITHIN THE CONSTRUCTION SITE FOR THE USE BY ALL THOSE IDENTIFIED AS HAVING RESPONSIBILITIES UNDER THE OS-SWPPP.  
4.D. ON-SITE SWPPPS MUST BE MADE AVAILABLE UPON REQUEST AND AT THE TIME OF A CONSTRUCTION SITE INSPECTION BY EPA, DHEC, A TRIBAL OR AN ENTITY DELEGATED UNDER REGULATION 72-300; LOCAL GOVERNMENT OFFICIALS; AND THE OPERATOR OF A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) RECEIVING DISCHARGES FROM THE CONSTRUCTION SITE TO THE REQUESTOR.  
4.E. THE CONTRACTOR IMPLEMENT AND MAINTAIN THE SWPPP AS REQUIRED BY THE CGP FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION IS COMPLETED.

5. PRE-CONSTRUCTION CONFERENCE

- 5.A. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION PROJECT OR SITE WITH AN APPROVED ON-SITE STORMWATER POLLUTION PREVENTION PLAN (OS-SWPPP). EACH CONTRACTOR, SUBCONTRACTOR, BLANKET UTILITY PROVIDER, ETC., WHO WILL WORK AT A SITE MUST ATTEND THIS CONFERENCE IN PERSON. THE PRIMARY PURPOSE OF THIS CONFERENCE IS FOR:

- 5.A.1. THE PREPARER OF THE SWPPP OR SOMEONE WITH A REGISTRATION EQUIVALENT TO THAT OF THE PREPARER OF THE SWPPP; AND/OR  
5.A.2. THE PERSON WITH OPERATIONAL CONTROL OF THE PLANS AND SPECIFICATIONS (THE PRIMARY OR SECONDARY PERMITTEE) OR THEIR DULY AUTHORIZED REPRESENTATIVE (AS DEFINED IN SECTION 12.2.2(B) OF SC REGULATION 61-9)

TO REVIEW AND EXPLAIN THE ON-SITE SWPPP (OS-SWPPP) SO THAT ALL ARE AWARE OF THE REQUIREMENTS BEFORE THEY START PERFORMING CONSTRUCTION-RELATED (LAND DISTURBING) ACTIVITIES THAT MAY AFFECT THE IMPLEMENTATION OF THE APPROVED OS-SWPPP. THIS CONFERENCE MAY BE HELD SIMULTANEOUSLY WITH ALL CONTRACTORS AND BUILDERS PRESENT OR MAY BE CONDUCTED SEPARATELY WITH ONE OR MORE CONTRACTORS, SUBCONTRACTORS, ETC. PRESENT.

5.B. PRE-CONSTRUCTION CONFERENCE LOCATION REQUIREMENTS ARE DEFINED BELOW.

- 5.B.1. FOR NON-LINEAR CONSTRUCTION PROJECTS/SITES THAT DISTURB 10 ACRES OR MORE, THE PRE-CONSTRUCTION CONFERENCE MUST BE HELD ON-SITE UNLESS IT IS JUSTIFIED IN THE SWPPP AND APPROVED BY THE DEPARTMENT TO CONDUCT THE CONFERENCE OFF-SITE.  
5.B.2. FOR NON-LINEAR CONSTRUCTION PROJECTS/SITES THAT DISTURB LESS THAN 10 ACRES, CONFERENCES MAY BE HELD OFF-SITE UNLESS SPECIFICALLY REQUIRED IN WRITING OR AS A CONDITION OF THE APPROVED OS-SWPPP BY THE DEPARTMENT OR THE RESPECTIVE MS4 TO BE CONDUCTED ON-SITE.  
5.B.3. IN ADDITION, PERSON(S) CONDUCTING THE CONFERENCE (OWNER/OPERATOR) MAY CHOOSE, AT THEIR DISCRETION, TO HOLD A CONFERENCE NORMALLY HELD OFF-SITE, ON-SITE.

- 5.C. EACH PRE-CONSTRUCTION CONFERENCE MUST ALSO SPECIFICALLY ADDRESS SECTION 3.1.7, MODIFICATIONS, DETAILING HOW EACH TYPE OF MODIFICATION, MAJOR AND MINOR, WILL BE ADDRESSED AND PROCESSED AT THE CONSTRUCTION SITE TO MAINTAIN COMPLIANCE WITH THIS PERMIT.

- 5.D. PERSONS CONDUCTING THIS CONFERENCE MUST DOCUMENT EACH CONTRACTOR, SUBCONTRACTOR, BLANKET UTILITY, ETC., ATTENDING THE CONFERENCE. THIS DOCUMENTATION MUST BE MAINTAINED WITH THE ON-SITE SWPPP (OS-SWPPP), AND INCLUDE DATES, LOCATIONS, TIMES, AS WELL AS, IDENTIFICATION OF THOSE IN ATTENDANCE. THE PRE-CONSTRUCTION LOG IS PROVIDED IN THE SWPPP.

- 5.E. THE PERSON CONDUCTING THE SWPPP PRE-CONSTRUCTION MEETING MUST ALSO COMPLETE THE PRE-CONSTRUCTION MEETING CERTIFICATION FORM PROVIDED IN THE SWPPP.

6. CONTRACTOR CERTIFICATIONS

- 6.A. CONTRACTORS EMPLOYED BY THE PRIMARY OR SECONDARY PERMITTEE, WHOSE WORK AT A CONSTRUCTION SITE MAY DISTURB SOILS OR WHOSE WORK MAY OTHERWISE BE NECESSARY TO IMPLEMENT THE APPROVED ON-SITE SWPPP (OS-SWPPP), MUST COMPLETE A PROJECT-SPECIFIC CONTRACTOR CERTIFICATION FORM MEETING THE REQUIREMENTS SET FORTH IN SECTION 2.3.2. EACH CONTRACTOR MUST ALSO ATTEND AND DOCUMENT ATTENDANCE AT A PRE-CONSTRUCTION CONFERENCE AS DEFINED IN SECTIONS 2.2.3.B AND 4.1 OF THE CGP. THIS FORM IS TO BE SUBMITTED TO THE PRIMARY PERMITTEE OR SECONDARY PERMITTEE (AS APPLICABLE) PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND IS TO BE RETAINED WITH THE APPROVED OS-SWPPP AT THE SITE. CONTRACTORS ARE RESPONSIBLE FOR ENSURING THAT THEIR ACTIVITY IS IN COMPLIANCE WITH THE APPROVED OS-SWPPP AND OTHER PERMIT CONDITIONS.  
6.B. A COPY OF THE CONTRACTOR CERTIFICATION FORM IS PROVIDED WITHIN THE SWPPP.

7. ALLOWABLE NON-STORMWATER DISCHARGES

THE FOLLOWING NON-STORMWATER DISCHARGES ARE AUTHORIZED BY THIS PERMIT, PROVIDED THE NON-STORMWATER COMPONENT OF THE DISCHARGE IS IN COMPLIANCE WITH AND MANAGED ACCORDING TO SECTION 3.2.II (MANAGEMENT OF NON-STORMWATER DISCHARGES):

- 7.A. DISCHARGES FROM FIRE-FIGHTING ACTIVITIES;  
7.B. FIRE HYDRANT FLUSHINGS;  
7.C. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;  
7.D. WATER USED TO CONTROL DUST IN ACCORDANCE WITH SECTION 3.2.2 (STORMWATER MANAGEMENT AND SEDIMENT CONTROL);  
7.E. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHINGS;  
7.F. ROUTINE EXTERNAL BUILDING WASH DOWN THAT DOES NOT USE DETERGENTS;  
7.G. PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED;  
7.H. UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;  
7.I. UNCONTAMINATED GROUND WATER OR SPRING WATER;  
7.J. FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS;  
7.K. UNCONTAMINATED EXCAVATION DEWATERING;  
7.L. LANDSCAPE IRRIGATION; AND  
7.M. DECHLORINATED SWIMMING POOL DISCHARGES.

ALL NON-STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT SHALL NOT CAUSE EROSION OF SOIL OR THE STREAM BANK AND SHALL NOT CAUSE OR CONTRIBUTE TO VIOLATIONS OF WATER QUALITY STANDARDS.

8. CONSTRUCTION WASTE MATERIALS

- 8.A. CONSTRUCTION WASTE MATERIALS ARE THE DISCARDED MATERIALS, SUCH AS PACKAGING MATERIALS, SCRAP CONSTRUCTION MATERIALS, MASONRY PRODUCTS, TIMBER, STEEL, PIPE, AND ELECTRICAL CUTTINGS, PLASTICS, STYROFOAM AND CONTAMINATED SOILS GENERATED BY CONSTRUCTION ACTIVITIES.  
8.B. THE CONTRACTOR SHALL PREVENT THE DISCHARGE OF CONSTRUCTION WASTE MATERIALS OR OTHER SIMILAR MATERIALS TO SURFACE WATERS OF THE STATE THROUGH THE USE OF ROLL-OFF CONTAINERS INTENDED FOR THE COLLECTION OF SUCH MATERIALS. ANY OTHER MEANS SHALL BE SUBMITTED BY THE ODSA AS AN AMENDMENT TO THE SWPPP AND APPROVED BY SCDHEC PRIOR TO INITIATION.

9. BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE

- 9.A. CONSTRUCTION MAINTENANCE, ALL BMPs AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE OS-SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS REQUIRED BY SECTION 10.2 IDENTIFY BMPs THAT ARE NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED WITHIN SEVEN (7) CALENDAR DAYS, BEFORE THE NEXT INSPECTION, OR AS REASONABLY POSSIBLE, AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE TO MAINTAIN THE CONTINUED EFFECTIVENESS OF STORMWATER CONTROLS.  
9.B. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN A TIME FRAME OF 48 HOURS OF IDENTIFICATION.  
9.C. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE OS-SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.  
9.D. SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION BASINS MUST BE REMOVED AS INDICATED IN THE OS-SWPPP OR WHEN THE DESIGN

CAPACITY HAS BEEN REDUCED BY 50 PERCENT, WHICH EVER OCCURS FIRST.

- 9.E. SEDIMENT COLLECTED BY SILT FENCE, OR ANOTHER SEDIMENT CONTROL MEASURE, MUST BE REMOVED WHEN THE DEPOSITED SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE ABOVE-GROUND PORTION OF THESE BMPs, OR BEFORE IT REACHES A LOWER HEIGHT BASED ON THE MANUFACTURER'S SPECIFICATIONS.

10. INSPECTIONS

- 10.A. RESPONSIBILITY - THE SWPPP INSPECTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
10.B. CONSTRUCTION SITE INSPECTIONS MUST INCLUDE ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING PERIMETER BMPs AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.  
10.C. EACH INSPECTION MUST LOOK FOR THE EVIDENCE OF, OR THE POTENTIAL FOR, INEFFICIENCIES WITHIN THE IMPLEMENTED OS-SWPPP, WHETHER THE INEFFICIENCIES ARE A DIRECT RESULT OF IMPROPER DESIGN, INSTALLATION OR MAINTENANCE, BY INSPECTING, AT A MINIMUM, THE FOLLOWING:  
10.C.1. ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITY AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION;  
10.C.2. ALL STORMWATER CONVEYANCE SYSTEMS FOR ANY EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THESE SYSTEMS;  
10.C.3. ALL BMPs IDENTIFIED IN THE OS-SWPPP;  
10.C.4. ALL DISCHARGE LOCATIONS TO ASCERTAIN WHETHER THE IMPLEMENTED BMPs ARE EFFECTIVE IN PREVENTING THE DISCHARGE OF SEDIMENT FROM THE SITE. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS MUST BE INSPECTED TO THE EXTENT THAT SUCH INSPECTIONS ARE PRACTICABLE; AND  
10.C.5. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

IF INSPECTION RESPONSIBILITIES ARE NOT SHARED BETWEEN THE PRIMARY AND SECONDARY PERMITTEES, EACH SECONDARY PERMITTEE MUST PROVIDE THEIR OWN INSPECTIONS FOR THE PORTIONS OF THE SITE FOR WHICH THEIR COVERAGE INCLUDES.

11. INSPECTION FREQUENCY

- 11.A. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. AN INSPECTION IS RECOMMENDED WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.  
11.B. INSPECTION FREQUENCIES FOR PORTIONS OF THE CONSTRUCTION SITE THAT HAVE REACHED TEMPORARY OR FINAL STABILIZATION MAY BE REDUCED TO AT LEAST ONCE EVERY MONTH, AS LONG AS THE STABILIZATION IS MAINTAINED AND THERE IS NO ADDITIONAL DISTURBANCE IN THESE AREAS. ONCE A DEFINABLE AREA HAS REACHED FINAL STABILIZATION, YOU MAY MARK THIS ON YOUR ON-SITE SWPPP AND NO FURTHER INSPECTION REQUIREMENTS APPLY TO THAT PORTION OF THE SITE (E.G., LAND-DISTURBING ACTIVITIES AROUND ONE OF THREE BUILDINGS IN A COMPLEX ARE COMPLETED AND THE DISTURBED AREA HAS REACHED FINAL STABILIZATION, ONE MILE OF A ROADWAY OR PIPELINE PROJECT IS COMPLETED AND THE DISTURBED AREA HAS REACHED FINAL STABILIZATION, ETC). INSPECTION OF COMMON BMPs, SUCH AS SEDIMENT BASINS, SEDIMENT TRAPS, MAY BE REQUIRED TO RESUME IF AREAS THAT DRAIN TO THEM BECOME DISTURBED DURING FUTURE CONSTRUCTION.

12. INSPECTOR QUALIFICATIONS

INSPECTIONS MUST BE CONDUCTED BY QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE) AS OUTLINED BY THE FOLLOWING:

- 12.A. FOR PROJECTS THAT DISTURB MORE THAN 2 ACRES, THIS PERSON MUST BE EITHER THE PREPARER OF THE C-SWPPP OR AN INDIVIDUAL WHO IS UNDER THE DIRECT SUPERVISION OF THE PREPARER OF THE APPROVED C-SWPPP AND WHO MEETS THE REQUIREMENTS IN THIS PARAGRAPH OR AN INDIVIDUAL WHO HAS BEEN CERTIFIED THROUGH A CONSTRUCTION SITE INSPECTOR CERTIFICATION COURSE THAT HAS BEEN APPROVED BY DHEC. INSPECTIONS MAY ALSO BE CONDUCTED BY A PERSON WITH A REGISTRATION EQUIVALENT TO THE REGISTRATION OF THE PREPARER OF THE C-SWPPP AND WHO MEETS THE QUALIFICATIONS OF THIS PARAGRAPH OR AN INDIVIDUAL WHO IS UNDER THE DIRECT SUPERVISION OF THE PERSON WITH AN EQUIVALENT REGISTRATION AND WHO MEETS THE REQUIREMENTS IN THIS PARAGRAPH.  
12.B. FOR PROJECTS THAT DISTURB 2 ACRES OR LESS, AND THAT ARE NOT PART OF A LARGER COMMON PLAN, THE PERMITTEE OR HIS DESIGNEE MAY PERFORM THESE INSPECTIONS PROVIDED THE PREPARER OF THE C-SWPPP OR SOMEONE WITH A REGISTRATION EQUIVALENT TO THAT OF THE PREPARER OF THE C-SWPPP EXPLAINS THE OS-SWPPP INCLUDING IMPLEMENTATION ALONG WITH THE INSPECTION REQUIREMENTS TO THE PERSON WHO WILL BE CONDUCTING THE INSPECTIONS.

13. INSPECTION REPORTS

- 13.A. WEEKLY REPORTS: FOR EACH INSPECTION REQUIRED ABOVE, AN INSPECTION REPORT MUST BE COMPLETED. REFER TO THE SWPPP FOR AN EXAMPLE PERMITEE INSPECTION REPORT. THE PERMITTEE IS ALSO REQUIRED TO UPDATE THE INSPECTION LOG PROVIDED IN THE SWPPP. AT A MINIMUM, THE INSPECTION REPORT MUST INCLUDE:

- 13.A.1. THE INSPECTION DATE;  
13.A.2. NAMES, TITLES, AND, IF NOT PREVIOUSLY GIVEN IN AN INSPECTION REPORT, THE QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, UNLESS THOSE QUALIFICATIONS CHANGE;  
13.A.3. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION (OR SINCE COMMENCEMENT OF CONSTRUCTION ACTIVITY IF THE FIRST INSPECTION) INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER YOU KNOW IF ANY DISCHARGES OCCURRED. AT THE VERY LEAST, THE TOTAL RAINFALL (IN INCHES) SINCE THE TIME OF THE LAST INSPECTION MUST BE RECORDED;  
13.A.4. WEATHER INFORMATION AND A DESCRIPTION OF ANY DISCHARGES OCCURRING AT THE TIME OF THE INSPECTION;  
13.A.5. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;  
13.A.6. LOCATION(S) OF BMPs THAT NEED MAINTENANCE;  
13.A.7. LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;  
13.A.8. LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION;  
13.A.9. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE OS-SWPPP NECESSARY AND IMPLEMENTATION DATES;  
13.A.10. SITE NAME, OPERATOR NAME AND PERMIT NUMBER; AND  
13.A.11. VERIFICATION THAT ALL BMPs AND STORMWATER CONTROLS IDENTIFIED IN THE OS-SWPPP HAVE BEEN INSTALLED AND ARE OPERATING AS DESIGNED.

- B. MONTHLY REPORTS: DHEC MAY REQUIRE ON A CASE-BY-CASE BASIS THAT THE PERMITTEE SUBMIT A MONTHLY REPORT SUMMARIZING THE INSPECTIONS AT THE SITE AND ANY ASSOCIATED MAINTENANCE ACTIVITY.

- C. INSPECTION RECORDS: A RECORD OF EACH INSPECTION AND OF ANY ACTIONS TAKEN IN ACCORDANCE WITH THIS SECTION MUST BE RETAINED AS PART OF THE ON-SITE SWPPP FOR AT LEAST THREE YEARS FROM THE DATE THAT PERMIT COVERAGE EXPIRES OR IS TERMINATED. THE QUALIFIED INSPECTOR, AS IDENTIFIED IN SECTION 4.2.E, MUST SIGN THE INSPECTION REPORT.

14. RAINFALL LOG & GAUGE

- 14.A. PERMITTEES SHALL EITHER MAINTAIN AN ON-SITE RAIN GAUGE TO RECORD RAINFALL RECORDS FROM ANY SIGNIFICANT RAINFALL EVENT, 0.5 INCHES OR GREATER.  
14.B. THESE RECORDED RAINFALL AMOUNTS MUST BE MAINTAINED IN A RAIN LOG LOCATED IN THE ON-SITE SWPPP. RAINFALL RECORDS FOR THE DAY OF AN INSPECTION AND ANY SIGNIFICANT RAINFALL EVENTS SINCE THE LAST INSPECTION MUST BE REPORTED ON EACH WEEKLY INSPECTION REPORT.

15. SWPPP MODIFICATIONS

- 15.A. EACH SWPPP MUST BE MODIFIED IF DURING INSPECTIONS OR INVESTIGATIONS BY LOCAL, STATE, TRIBAL OR FEDERAL OFFICIALS, IT IS DETERMINED THAT ANY SWPPP IS INEFFECTIVE IN EITHER ELIMINATING, WHEN REASONABLY POSSIBLE, OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES FROM THE CONSTRUCTION SITE.  
15.B. EACH SWPPP MUST BE MODIFIED AS NECESSARY TO INCLUDE ADDITIONAL OR MODIFIED BMPs, WHICH ARE DESIGNED TO CORRECT PROBLEMS IDENTIFIED DURING THE INSPECTION BY ANY QUALIFIED INSPECTOR, AS IDENTIFIED IN SECTION 4.2.E OF THE CGP, OR BY LOCAL, STATE, TRIBAL OR FEDERAL OFFICIALS. REVISIONS TO EACH SWPPP MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION. IMPLEMENTATION OF THESE ADDITIONAL OR MODIFIED BMPs MUST BE ACCOMPLISHED AS DESCRIBED IN SECTION 3.2.6 OF THE CGP.  
15.C. MAJOR MODIFICATIONS:  
EACH SWPPP MUST BE MODIFIED AND SUBMITTED FOR REVIEW AND APPROVAL BY DHEC, A REGULATED MS4, OR AN ENTITY DELEGATED UNDER REGULATION 72-300 IF ANY OF THE FOLLOWING CONDITIONS ARE MET (REGULATED MS4s, TRIBAL OR LOCAL AGENCIES WITH PERMITTING AUTHORITY, MAY REQUIRE TO BE NOTIFIED OF ADDITIONAL CONDITIONS NOT LISTED BELOW):

- 15.C.2.A. MODIFICATIONS THAT WILL AFFECT THE HYDROLOGY OR TRAPPING EFFICIENCY CALCULATIONS INCLUDING:  
15.C.2.A.A. RESIZING SEDIMENT OR DETENTION BASINS THAT EITHER REDUCES THE STORMWATER VOLUME CAPACITY AND/OR IS RESIZED TO HANDLE INCREASE/DECREASE INCOMING PEAK FLOWS OR RUNOFF VOLUMES DUE TO REVISED SITE DEVELOPMENT PLANS.  
15.C.2.A.B. DELETION OF SEDIMENT OR DETENTION BASIN OR SEDIMENT TRAP.  
15.C.2.A.C. RELOCATION OF SEDIMENT OR DETENTION BASINS RESULTING IN INCREASES/DECREASES IN RECEIVING DRAINAGE AREA AND/OR RESULTING IN A NEW/RELOCATED BASIN OUTLET LOCATION, WHICH IS DIRECTED TOWARDS AN OUTFALL THAT WAS NOT APPROVED WITHIN THE C-SWPPP.  
15.C.2.A.D. ADDITION/REMOVAL OF SEDIMENT OR DETENTION BASIN.  
15.C.2.A.E. MODIFICATION OF SEDIMENT OR DETENTION BASIN OUTLET STRUCTURE.  
15.C.2.A.F. CHANGES IN GRADING THAT ALTER DRAINAGE PATTERNS THAT MAY RESULT IN INCREASED OR DECREASED FLOW TO A SEDIMENT OR DETENTION BASIN

- 15.C.2.A.G. AMENDING CONSTRUCTION SEQUENCE IN A FASHION THAT THE DETENTION BASIN IS NOT INSTALLED BEFORE GRUBBING OPERATIONS BEGIN.

- 15.C.2.B. POINT DISCHARGE OR OUTFALL LOCATION CHANGES.  
15.C.2.C. ANY MODIFICATION TO REGULATED WATER QUALITY STRUCTURAL CONTROL MEASURES.  
15.C.2.D. ADDING A NEW POINT DISCHARGE.  
15.C.2.E. ADDITION OF IMPERVIOUS AREA DUE TO REVISED SITE DEVELOPMENT PLANS.  
15.C.2.F. ADDITION OF DISTURBED AREA.  
15.C.2.G. CHANGES TO NAVIGABLE WATER CROSSING.  
15.C.2.H. ADDITION OF SEDIMENT TRAPS WHEN REQUIRED TO OBTAIN 80% TRAPPING EFFICIENCIES FOR DISTURBED AREAS NOT PREVIOUSLY PERMITTED OR REDIRECTED AWAY FROM AN APPROVED WATER QUALITY BMP.  
15.C.2.I. SITE LAYOUT CHANGES THAT REQUIRE REDESIGNING THE STORMWATER MANAGEMENT SYSTEM.  
15.C.2.J. ANY ADDITIONAL MODIFICATIONS AS DETERMINED BY DHEC, A REGULATED MS4, A TRIBAL OR AN ENTITY DELEGATED UNDER REGULATION 72-300.

- 15.C.3. FOR PROJECTS LOCATED IN THE COASTAL ZONE, MAJOR MODIFICATIONS MAY REQUIRE A NEW CZC DETERMINATION TO BE SUBMITTED ALONG WITH THE REVISED C-SWPPP.

15.D. MINOR MODIFICATIONS.

- THE PERMITTEE MUST MODIFY THE ON-SITE SWPPP BY MARK-UP, SIGNATURE AND DATE AND KEEP A RECORD OF EACH MODIFICATION WITHIN THE ON-SITE SWPPP IF ANY OF THE FOLLOWING CONDITIONS ARE MET (REGULATED MS4s, STATE, TRIBAL OR LOCAL AGENCIES WITH PERMITTING AUTHORITY, MAY REQUIRE ADDITIONAL CONDITIONS NOT LISTED BELOW):  
15.D.1. ADDITION OF BMPs, ADDITION OF SILT FENCE, SLOPE DRAINS, INLET PROTECTION, OUTLET PROTECTION THAT DOES NOT INVOLVE ADDITIONAL WETLAND IMPACTS, OR CHECK DAMS TO IMPROVE THE OVERALL STORMWATER MANAGEMENT AND SEDIMENT CONTROL AT THE CONSTRUCTION SITE.  
15.D.2. BMP RELOCATIONS, RELOCATION OF CONSTRUCTION ENTRANCE, POND INLET PIPES (WITHIN A POND), AND ANY OTHER PROPOSED BMP TO IMPROVE THE OVERALL STORMWATER MANAGEMENT AND SEDIMENT CONTROL AT THE CONSTRUCTION SITE.  
15.D.3. REMOVAL OF DISTURBED AREAS, AS LONG AS THE REMOVAL OF THE DISTURBED AREA DOES NOT ALSO REMOVE ANY BMPs (PONDS, TRAPS, ETC.) THAT ARE REQUIRED TO MEET SC'S WATER QUALITY OR QUANTITY STANDARDS. REMOVAL OF DISTURBED AREA ONLY QUALIFIES FOR DISTURBED AREA THAT WAS INCLUDED IN THE INITIAL COVERAGE APPROVAL AND THAT WAS NEVER DISTURBED (I.E., CLEARED, GRUBBED OR GRADED).  
15.D.4. MODIFYING INDIVIDUAL LOT DRAINAGE, UNLESS THE CHANGES AFFECT THE INFLOW TO A DETENTION STRUCTURE OR ANALYSIS POINT, TO WHICH THE LOT DRAINS, THAT WAS NOT PREVIOUSLY APPROVED.

16. NOTICE OF TERMINATION (NOT)

- 16.A. FINAL STABILIZATION MEANS THAT ALL LAND-DISTURBING ACTIVITIES AT THE CONSTRUCTION SITE HAVE BEEN COMPLETED AND THAT ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, EITHER  
16.A.1. A UNIFORM (E.G., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OF THE NATURAL BACKGROUND VEGETATIVE COVER HAS BEEN ESTABLISHED EXCLUDING AREAS WHERE NO NATURAL BACKGROUND VEGETATIVE COVER IS POSSIBLE (E.G., ON A BEACH), OR  
16.A.2. EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF LANDSCAPING MULCH, RIPRAP, PAVEMENT, AND GRAVEL) HAVE BEEN IMPLEMENTED TO PROVIDE EFFECTIVE COVER FOR EXPOSED PORTIONS OF THE CONSTRUCTION SITE NOT STABILIZED WITH VEGETATION.  
16.B. ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE CONSTRUCTION SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (NOT). THE NOT MUST BE SUBMITTED WITHIN 30 DAYS OF ONE OF THE ABOVE CONDITIONS BEING MET. AUTHORIZATION TO DISCHARGE TERMINATES AT MIDNIGHT OF THE DAY THE NOT IS SIGNED. IF AN NOT HAS BEEN SUBMITTED AND THE CONSTRUCTION SITE DOES NOT MEET THE CRITERIA FOR TERMINATION, THEN THE CONSTRUCTION SITE REMAINS SUBJECT TO THE PROVISIONS OF THIS PERMIT.  
16.C. FOR PROJECTS DISTURBING MORE THAN 2 ACRES, A CERTIFICATION STATEMENT, SIGNED AND DATED BY THE PREPARER OF THE C-SWPPP OR OTHER PERSON WITH A REGISTRATION EQUIVALENT TO THAT OF THE PREPARER OF THE C-SWPPP, THAT TO THE BEST OF HIS OR HER KNOWLEDGE AND BELIEF ALL WORK WAS CONDUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED OS-SWPPP AND THIS CGP. THIS CERTIFICATION MUST BE BASED ON THE INSPECTIONS PERFORMED IN ACCORDANCE WITH THE CGP AND MUST STATE THAT ANY DEFICIENCIES THAT WERE NOTED HAVE BEEN CORRECTED.  
16.D. FOR PROJECTS LOCATED WITHIN AN MS4, A LETTER OR OTHER STATEMENT FROM THE MS4 THAT THE SITE MEETS THE MS4 REQUIREMENTS FOR PROJECT COMPLETION.

17. RECORD KEEPING

- 17.A. AFTER RECEIVING FINAL APPROVAL AND AFTER FINAL STABILIZATION IS COMPLETE, THE CONTRACTOR/ODSA SHALL SUPPLY THE PERMITTEE WITH ALL OS-SWPPP DOCUMENTATION.  
17.B. THE PERMITTEE SHALL MAINTAIN ALL OS-SWPPP DOCUMENTATION FOR A PERIOD OF 3 YEARS FOLLOWING FINAL STABILIZATION.  
17.B.1.

SCDHEC STANDARD NOTES

1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.  
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW:  
2.A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.  
2.B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.  
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.  
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.  
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.  
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.  
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 72-300 ET SEQ. AND SCRI00000.  
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.  
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.  
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.  
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.  
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.  
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.  
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.  
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).  
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:  
16.A. WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;  
16.B. WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;  
16.C. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND  
16.D. SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.  
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

18. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.  
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

PERMANENT STORMWATER MANAGEMENT MAINTENANCE PLAN

1. PRIOR TO FINAL ACCEPTANCE, MAINTENANCE OF ALL PERMANENT STORMWATER MANAGEMENT STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR.  
2. EXCEPT AS OTHERWISE CONTRACTED OR AS SPECIFIED FOR WARRANTY, MAINTENANCE OF ALL PERMANENT STORMWATER MANAGEMENT STRUCTURES AFTER FINAL ACCEPTANCE IS THE RESPONSIBILITY OF THE OWNER.  
3. IN ADDITION TO MAINTENANCE REQUIRED DURING CONSTRUCTION AS INDICATED AND SPECIFIED ELSEWHERE, PERMANENT STORMWATER MANAGEMENT STRUCTURE MAINTENANCE SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS SO AS TO PREVENT EROSION BY WIND OR PRECIPITATION.  
3.A. VEGETATED AREAS (TURF/PLANTING BEDS/PLANTS/TREES/SHRUBBERY)  
3.A.1. ALL VEGETATED AREAS SHALL BE PROPERLY MAINTAINED BY MOWING, PRUNING, WATERING, FERTILIZING AND AS OTHERWISE REQUIRED TO MAINTAIN A FULL AND HEALTHY VEGETATION.  
3.A.2. ALL PLANTING BEDS WITH MULCH SHALL BE PROPERLY MAINTAINED BY THE REPLACEMENT OF MULCH AS OTHERWISE REQUIRED TO MAINTAIN COMPLETE COVERAGE OF THE BED(S).  
3.A.3. AREAS OF PLANTS THAT DIE OR SUBSIDE SHALL BE REPLACED AS NEEDED.  
3.A.4. VEGETATED AREAS SHALL BE REGULARLY CLEANED OF LITTER, DEBRIS AND OTHER REFUSE THAT MAY POLLUTE SURROUNDING PONDS, INFRASTRUCTURE OR NATURAL AREAS.  
3.A.5. INSPECTION AND CLEANING INTERVALS SHALL MATCH MOWING INTERVALS BUT SHALL NOT EXCEED ONCE PER MONTH.  
3.B. PAVEMENTS/IMPERVIOUS SURFACES  
3.B.1. ALL PAVEMENT DISTRESSES SUCH AS POTHOLES, CRACKING OR OTHER FAILURE SHALL BE PATCHED TO PREVENT EROSION OF UNDERLYING SOILS.  
3.B.2. EXCESSIVE PETROLEUM PRODUCE BUILDUP OR OTHER CHEMICAL BUILDUP OR SPILL SHALL BE CLEANED TO PREVENT MIGRATION TO SURROUNDING WATER BODIES OR STORM DRAINAGE SYSTEMS.  
3.B.3. PAVED AREAS SHALL BE REGULARLY CLEANED OF LITTER, DEBRIS AND OTHER REFUSE THAT MAY POLLUTE SURROUNDING PONDS, INFRASTRUCTURE OR NATURAL AREAS.  
3.B.4. INSPECTION AND CLEANING INTERVALS SHALL MATCH MOWING INTERVALS BUT SHALL NOT EXCEED ONCE PER MONTH.  
3.C. STORM DRAINAGE STRUCTURES & PIPING  
3.C.1. ALL STORM DRAINAGE STRUCTURES (CATCH BASINS, CURB INLETS, MANHOLES, FLUMES, JUNCTION BOXES, ETC.) AND PIPING SHALL BE VISUALLY INSPECTED REGULARLY CLEANED OF LITTER, DEBRIS, SEDIMENT AND OTHER REFUSE THAT MAY POLLUTE SURROUNDING PONDS, INFRASTRUCTURE OR NATURAL AREAS.  
3.C.2. EXCESSIVE BUILDUP OF SEDIMENT OR NOTICEABLE DECREASE IN FLOW MAY INDICATE A BLOCKAGE OR PIPE FAILURE. IN THIS CASE, INSPECT FULL LENGTHS OF PIPE RUNS FOR FAILURE OR BLOCKAGE AND CLEAN OR REPAIR ACCORDINGLY.  
3.C.3. INSPECTION AND CLEANING INTERVALS SHALL NOT EXCEED ONCE PER YEAR.  
3.D. DISCHARGE POINTS & ENERGY DISSIPATERS  
3.D.1. VEGETATED DISCHARGE LOCATIONS SHALL BE MAINTAINED WITH HEALTHY VEGETATION AS NOTED ABOVE FOR TURF.  
3.D.2. ENERGY DISSIPATORS SUCH AS RIP RAP APRONS SHALL BE REPAIRED WHEN NEEDED WITH THE ADDITION OF FILTER FABRIC AND RIP RAP AS REQUIRED TO ELIMINATE EXPOSED SOILS.  
3.D.3. DISCHARGE POINTS & ENERGY DISSIPATORS SHALL BE REGULARLY CLEANED OF LITTER, DEBRIS AND OTHER REFUSE THAT MAY POLLUTE SURROUNDING PONDS, INFRASTRUCTURE OR NATURAL AREAS.  
3.E. PONDS  
3.E.1. MOWING OF THE BANK SLOPES AND AREA AROUND THE POND ON A MONTHLY BASIS DURING THE GROWING SEASON AND AS NEEDED DURING THE COOLER MONTHS.  
3.E.2. THE OUTFALL STRUCTURE FROM THE POND AND OTHER AREAS WILL BE INSPECTED MONTHLY FOR DEBRIS WHICH COULD INHIBIT THE PROPER FLOW OF DISCHARGE. ANY DEBRIS WILL BE REMOVED IMMEDIATELY AND DISPOSED OF OR PLACED IN A LOCATION TO PREVENT MAINTENANCE AND TO NOT CAUSE IMPACT UP OR DOWNSTREAM OF THE STRUCTURE.  
3.E.3. TRASH WILL BE REMOVED FROM AROUND THE POND TO PREVENT ENTERING THE POND. GENERALLY, THE SITE SHOULD BE KEPT FREE OF LOOSE TRASH WHICH COULD BE CARRIED OFF SITE BY WIND OR RAIN.  
3.E.4. A POND SHALL BE INSPECTED FOR SEDIMENT BUILDUP EVERY 6 MONTHS. IF SEDIMENT AND DEBRIS HAVE ACCUMULATED MORE THAN ONE FOOT (1'), POND BOTTOM SHALL BE CLEANED AND RETURNED TO ORIGINAL DESIGN ELEVATION.

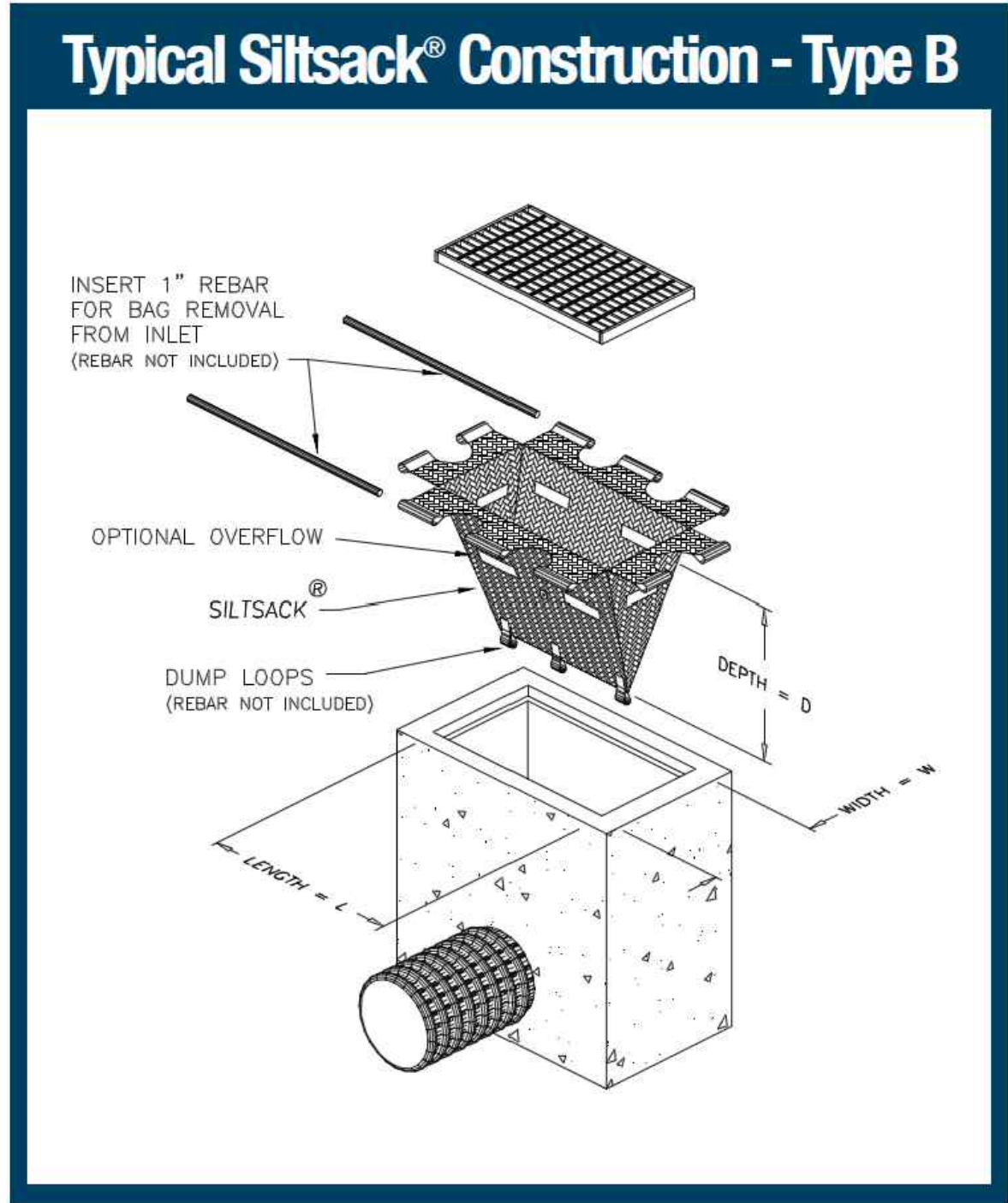
DEWATERING NOTES

1. THE DESIGN, ADEQUACY AND OPERATION OF ANY AND ALL DEWATERING ACTIVITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
2. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTIES, RIGHTS OF WAYS, NATURAL AREAS AND EXISTING UTILITY SYSTEMS FROM EROSION AND SEDIMENTATION ASSOCIATED WITH DEWATERING ACTIVITIES.  
3. DEWATERING DISCHARGES SHALL ALWAYS BE DIRECTED THROUGH SUITABLE BEST MANAGEMENT PRACTICE (BMP) SUCH AS A TEMPORARY SEDIMENT POND/TRAP OR SEDIMENT TRAPPING DEWATERING BAG.

TOWN OF SUMMERVILLE SWPPP NOTES

1. SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE KEPT ON-SITE OR WITHIN THIRTY (30) MINUTES OF THE SITE AT ALL TIMES FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS ACHIEVED. THESE ITEMS ARE TO BE IN A DESIGNATED AREA THAT IS ACCESSIBLE TO THE INSPECTORS.  
2. THE TOWN OF SUMMERVILLE SHALL NOT MAINTAIN STORMWATER DETENTION OR RETENTION PONDS. THE PROPERTY OWNER SHALL MAINTAIN ALL STORMWATER DETENTION FACILITIES SHOWN HEREIN. THE INSPECTION FREQUENCIES, MAINTENANCE ACTIVITIES AND OTHER RESPONSIBILITIES AS NECESSARY TO ENSURE THE SYSTEM'S PROPER LONG-TERM FUNCTIONING ARE DEFINED IN THE OPERATING AND MAINTENANCE AGREEMENT OF STORMWATER FACILITIES.  
3. A CERTIFIED STORMWATER AS-BUILT MUST BE SUBMITTED TO THE TOWN OF SUMMERVILLE PRIOR TO LETTER OF OCCUPANCY, CLOSEOUT PACKAGE, AND TO SCDHEC PRIOR TO RECEIVING A NOTICE OF TERMINATION.  
4. THE PROJECT/SITE MUST BE BUILT ACCORDING TO APPROVED TOWN AND SCDHEC PLANS UNLESS SWPPP DOCUMENTS

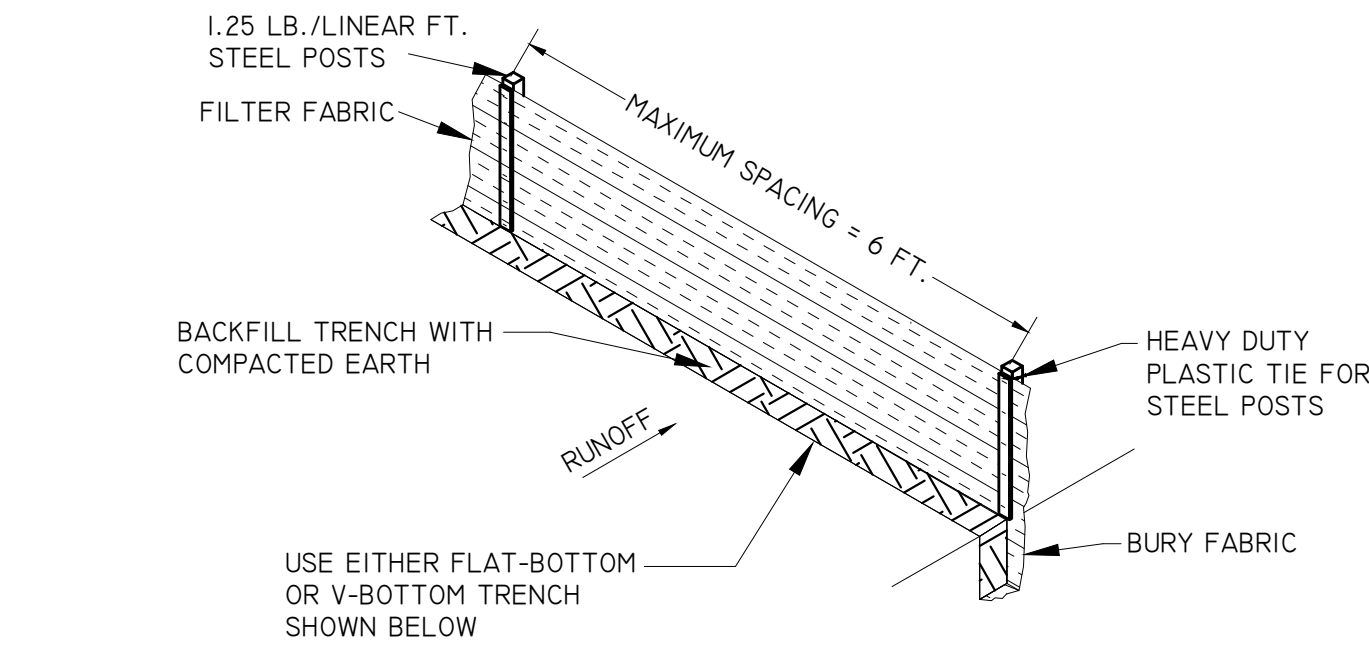




**SILTSACK INLET PROTECTION**  
NOT TO SCALE

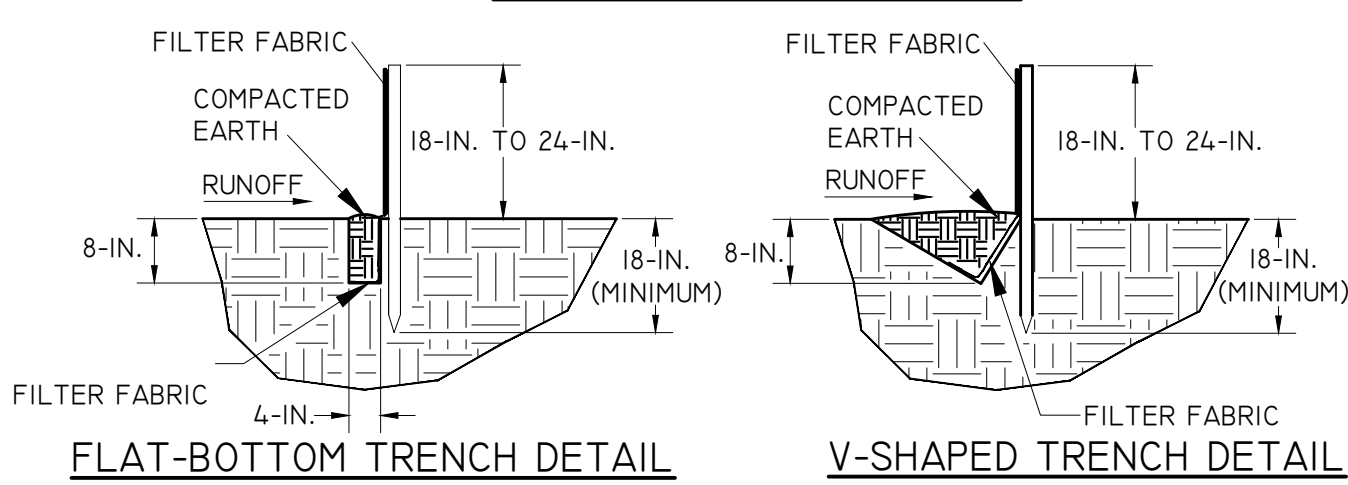
**INSTALLATION:**

1. EXCAVATE A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WHEN PLACING FABRIC BY HAND. PLACE 12-INCHES OF GEOTEXTILE FABRIC INTO THE 6-INCH DEEP TRENCH, EXTENDING THE REMAINING 6-INCHES TOWARDS THE UPSLOPE SIDE OF THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACT. BURY 12-INCHES OF FABRIC INTO THE GROUND WHEN PNEUMATICALLY INSTALLING SILT FENCE WITH A SLICING METHOD.
2. PURCHASE FABRIC IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, WRAPPED THE FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 6-INCH MINIMUM OVERLAP.
3. INSTALL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 1- TO 2- INCHES ABOVE THE FABRIC, WITH NO MORE THAN 3-FEET OF THE POST ABOVE THE GROUND. SPACE POSTS TO MAXIMUM 6-FEET CENTERS.
4. ATTACH FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED AND PLACED IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN ALL CASES, TIES SHOULD BE AFFIXED IN NO LESS THAN 4 PLACES.
5. INSTALL THE FABRIC A MINIMUM OF 24-INCHES ABOVE THE GROUND. WHEN NECESSARY, THE HEIGHT OF THE FENCE ABOVE GROUND MAY BE GREATER THAN 24-INCHES. IN TIDAL AREAS, EXTRA SILT FENCE HEIGHT MAY BE REQUIRED. THE POST HEIGHT WILL BE TWICE THE EXPOSED POST HEIGHT. POST SPACING WILL REMAIN THE SAME AND EXTRA HEIGHT



NOTE:  
CONTRACTOR TO PROVIDE PLASTIC  
IMPALEMENT CAPS ON ALL T-POSTS.

**SILT FENCE INSTALLATION**



**SCDHEC SILT FENCE**  
NOT TO SCALE

FABRIC WILL BE 4-, 5-, OR 6-FEET TALL.

6. LOCATE SILT FENCE CHECKS EVERY 100 FEET MAXIMUM AND AT LOW POINTS. INSTALL THE FENCE PERPENDICULAR TO THE DIRECTION OF FLOW AND PLACE THE FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.

**INSPECTION AND MAINTENANCE:**

1. INSPECT EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCHES OR MORE OF PRECIPITATION. CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WHERE RUNOFF HAS ERODED A CHANNEL BENEATH THE FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING.
2. IF THE FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE SECTION OF FENCE IMMEDIATELY.
3. REMOVE SEDIMENT ACCUMULATED ALONG THE FENCE WHEN IT REACHES ONE THIRD (1/3) THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED.
4. REMOVE TRAPPED SEDIMENT FROM THE SITE OR STABILIZE IT ON SITE.
5. REMOVE SILT FENCE WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BEST MANAGEMENT PRACTICES (BMPs) ARE NO LONGER NEEDED.
6. PERMANENTLY STABILIZE DISTURBED AREAS RESULTING FROM FENCE REMOVAL.

**SEEDING PREPARATION:**

1. TILL AREA TO BE SEEDED TO A DEPTH OF 4".
2. APPLY LIME AT 50 POUNDS PER 1,000 SQUARE FEET, OR 1 TON PER ACRE.
3. APPLY 16-16-16 FERTILIZER AT A RATE OF 850 POUNDS PER ACRE OR 20 POUNDS PER 1,000 SQUARE FEET. THE FERTILIZER SHALL BE EITHER SLOW TIME RELEASE OR APPLIED IN TWO APPLICATIONS, HALF AT TIME OF PLANTING AND THE SECOND HALF AFTER PERMANENT SEED GERMINATES.
4. THE LIME AND FERTILIZER SHALL BE WORKED INTO THE TOP 2 TO 4 INCHES OF SOIL PRIOR TO SEEDING.

**TEMPORARY SEEDING:**

- COOL SEASON (PLANTED BETWEEN SEPTEMBER 1ST & MARCH 15TH)  
56 POUNDS PER ACRE RYE, GRAIN OR  
50 POUNDS PER ACRE RYEGRASS
- WARM SEASON (PLANTED BETWEEN MARCH 15TH & AUGUST 31ST)  
40 POUNDS PER ACRE BROWN TOP MILLET

**PERMANENT SEEDING (UNLESS SHOWN ON LA PLANS):**

- COOL SEASON (PLANTED BETWEEN SEPTEMBER 1ST & MARCH 31ST)  
30 POUNDS PER ACRE COMMON BERMUDAGRASS (UNHULLED = HULL PRESENT)
- WARM SEASON (PLANTED BETWEEN APRIL 1ST & AUGUST 31ST)  
25 POUNDS PER ACRE COMMON BERMUDAGRASS (HULLED = HULL ABSENT)

**APPLICATION**

STRAW MULCH: 4,000 POUNDS PER ACRE. THE GROUND SHOULD BE COMPLETELY COVERED WITH NO BARE SPOT LARGER THAN A QUARTER, THEN TACKED WITH EMULSIFIED ASPHALT. EMULSIFIED ASPHALT SHALL BE APPLIED AT A RATE HEAVY ENOUGH THAT THE ENTIRE AREA APPEARS BLACK IN COLOR.

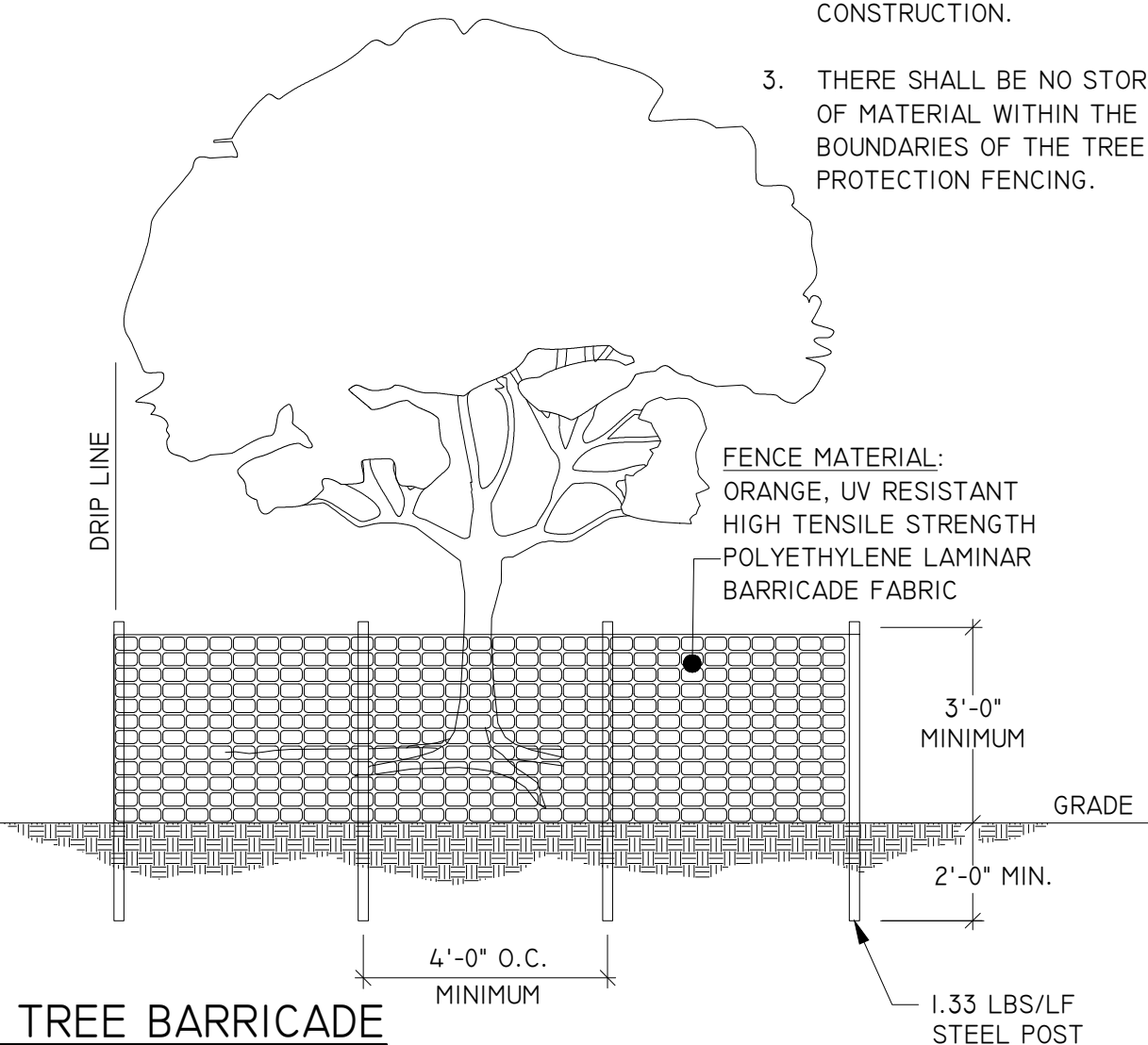
**SEEDING NOTES**  
NOT TO SCALE

**INSPECTION AND MAINTENANCE:**

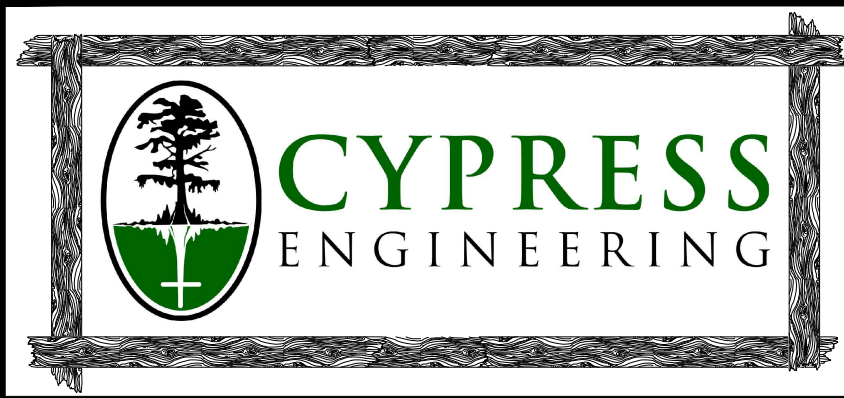
1. INSPECT EVERY SEVEN (7) CALENDAR DAYS.
2. REMOVE/REPAIR DAMAGED POSTS OR FABRIC THAT HAS BEEN DAMAGED DURING CONSTRUCTION ACTIVITIES.

**NOTES:**

1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.



**TREE BARRICADE**  
NOT TO SCALE

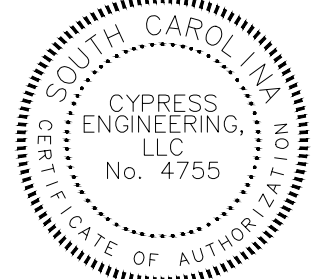


CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE: 8/6/2018	CYP PROJ #: I7071
DRAWN: JCT	CLIENT: TOWN OF SUMMERVILLE
DESIGNED: JCT	CLIENT JOB #:
CHECKED: WWR	

**SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE**  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
PERMIT SET	ISSUE DATE	3/19/18



**SWPPP DETAILS**

**CI.20**



CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	85.01'	1673.38'	2°54'58"	42.51'	S 51°18'52" E	85.00'
C2	169.61'	1673.38'	5°48'24"	84.88'	S 55°40'24" E	169.54'
C3	643.28'	522.27'	70°34'15"	369.59'	S 73°42'09" W	603.38'
C4	50.97'	423.51'	6°53'46"	25.52'	N 74°27'29" W	50.94'
C5	1996.49'	1673.38'	68°21'32"	1136.35'	N 15°43'17" W	1880.16'
C6	229.48'	1479.63'	8°53'10"	116.97'	N 62°47'09" E	229.25'
C7	233.12'	375.00'	35°37'04"	120.46'	N 29°25'12" E	229.38'
C8	367.39'	588.89'	35°46'42"	189.89'	N 29°29'01" E	361.46'
C9	429.51'	2000.00'	12°18'16"	215.38'	N 41°12'18" E	428.68'
C10	296.17'	464.20'	36°33'22"	153.32'	N 17°01'29" E	291.17'

TILLMAN HOLDINGS, LLC  
TMS NO. 153-00-00-103

LARRY S. LEAKE &  
JOEANNE W. LEAKE  
TMS NO. 153-16-04-012

WILLIAM L. SULLIVAN &  
DEBORA L. SULLIVAN  
TMS NO. 153-16-04-043

CHARLES H. BRIGMAN  
TMS NO. 153-16-04-042

CHARLES L. LANHAM  
& DONNA L. LANHAM  
TMS NO. 153-16-04-041

MIDLAND TERRACE  
OWNERS ASSOCIATION, INC.  
TMS NO. 153-00-00-092

MIDLAND TERRACE  
OWNERS ASSOCIATION, INC.  
TMS NO. 153-00-00-092

AREA 1

#### GENERAL NOTES:

- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
- SEE SHEET C1.01 FOR EXISTING SITE LEGEND.

#### KEYNOTES:

- RELOCATE EXISTING SIGN AS NECESSARY FOR NEW CONSTRUCTION.
- TIE NEW SIDEWALK INTO EXISTING PAVEMENT. SAWCUT AS NECESSARY TO PROVIDE SMOOTH EDGE.
- INSTALL ADA RAMP IAW DETAIL SHEET C5.20.
- RAISE/LOWER EXISTING UTILITY AS NECESSARY TO MATCH GRADES OF NEW CONSTRUCTION.
- INSTALL CURB & GUTTER IAW DETAIL SHEET C5.20.
- INSTALL SCODT DRIVEWAY RAMP IAW DETAIL SHEET C5.20.
- INSTALL DETECTABLE WARNINGS IAW DETAIL SHEET C5.20.
- COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER.
- REPLACE EXISTING BROKEN CURB INLET TOP.
- MODIFY EXISTING ADA RAMP AS NECESSARY FOR NEW CONNECTION. ENSURE RAMP MEETS ADA & SCODT REQUIREMENTS.
- TRANSITION NEW VERTICAL CURB & GUTTER TO EXISTING ROLLED CURBING OVER 3'.

#### SITE LEGEND

- CONCRETE SIDEWALK - INSTALL IAW DETAIL SHEET C5.20.
- CROSSWALK - INSTALL IAW DETAILS SHEET C5.20.
- STOP BAR - INSTALL IAW DETAIL SHEET C5.20.
- NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL SHEET C5.20.
- TRAFFIC ARROW - INSTALL IAW DETAIL SHEET C5.20.
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- LIMITS OF CONSTRUCTION

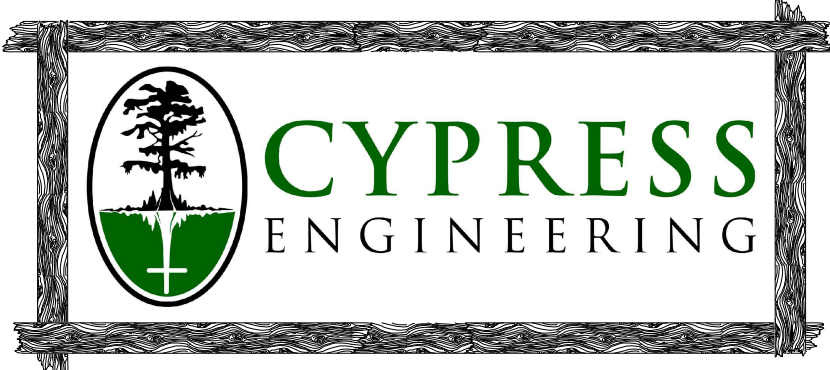
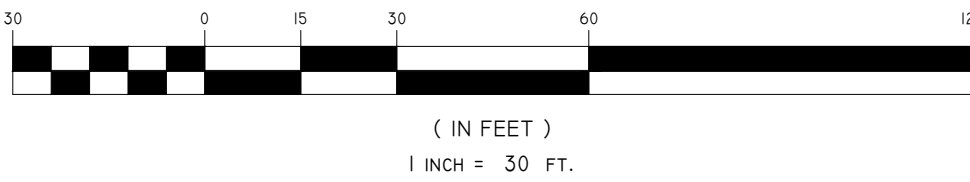
#### DRAINAGE LEGEND

- NEW FINISHED GRADE SPOT ELEVATION
- NEW FINISHED CONTOUR
- EXISTING GRADE CONTOUR

#### SIDEWALK NOTES:

- SIDEWALK SLOPES TOWARDS ROADWAY AT A MAXIMUM 2%, UNLESS OTHERWISE NOTED. FINAL SIDEWALK EDGES SHALL BE 1" ABOVE FINAL ADJACENT GRADE.
- SIDEWALKS SHALL BE 5' WIDE AND 5' OFF EXISTING BACK OF CURB UNLESS OTHERWISE NOTED.

#### HORIZONTAL SCALE



CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	17071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

### SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18
2		
3		
4		
5		

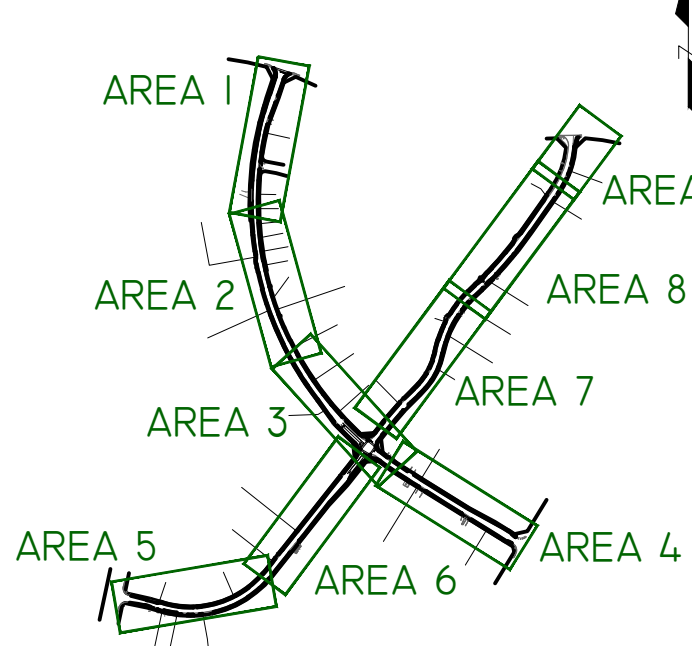


### SITE & DRAINAGE PLAN - AREA 1 & 2

C5.01

#### KEYPLAN

1 INCH = 1000 FT.



\*SEE SHEET C0.07 FOR  
OVERALL SITE PLAN

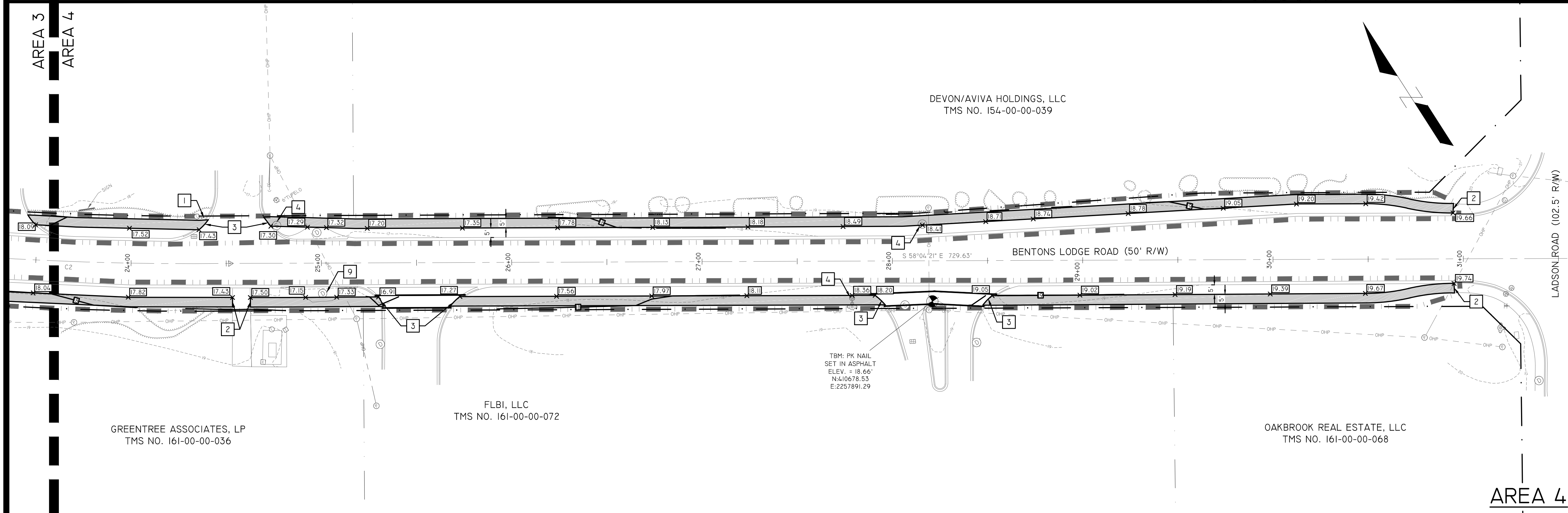
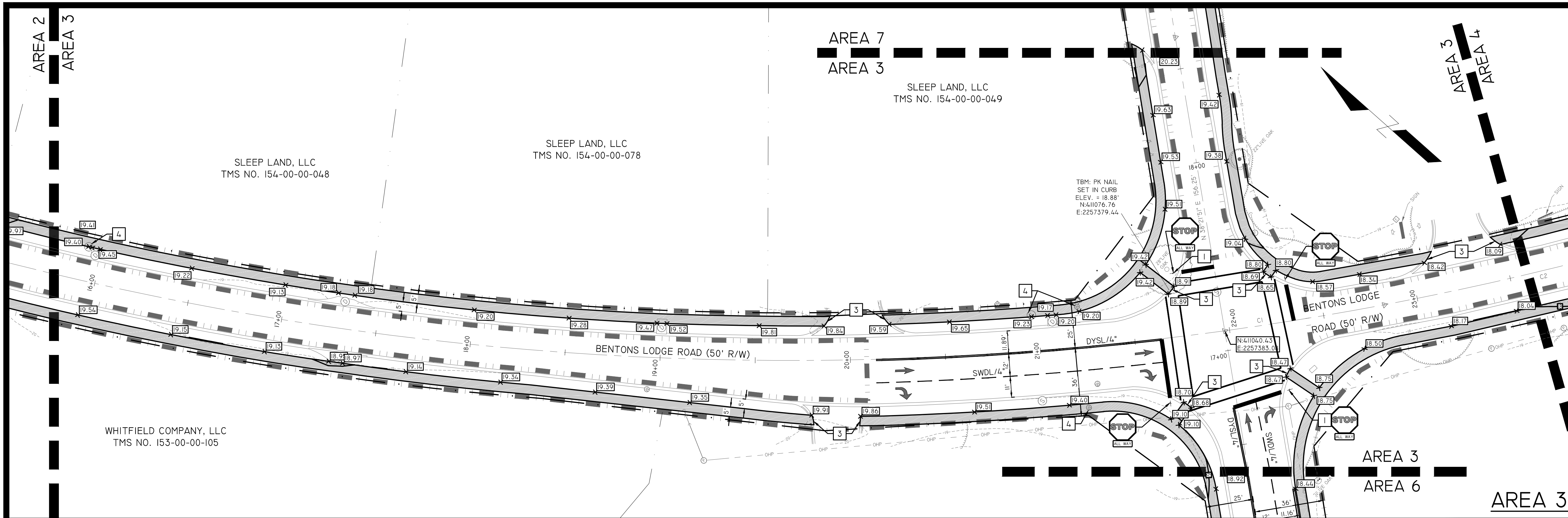
#### DIMENSION NOTES:

- CONTRACTOR SHALL BE PROVIDED DIGITAL FILE FOR LAYOUT.
- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.





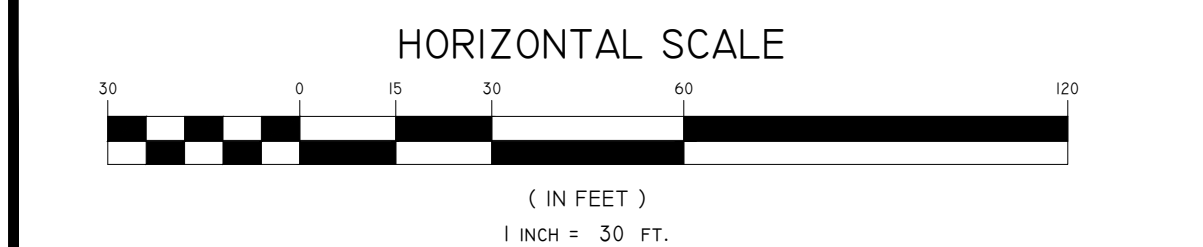


- GENERAL NOTES:**
- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  - SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- KEYNOTES:** ☐
- RELOCATE EXISTING SIGN AS NECESSARY FOR NEW CONSTRUCTION.
  - TIE NEW SIDEWALK INTO EXISTING PAVEMENT. SAWCUT AS NECESSARY TO PROVIDE SMOOTH EDGE.
  - INSTALL ADA RAMP IAW DETAIL SHEET C5.20.
  - RAISE/LOWER EXISTING UTILITY AS NECESSARY TO MATCH GRADES OF NEW CONSTRUCTION.
  - INSTALL CURB & GUTTER IAW DETAIL SHEET C5.20.
  - INSTALL SCDOT DRIVEWAY RAMP IAW DETAIL SHEET C5.20.
  - INSTALL DETECTABLE WARNINGS IAW DETAIL SHEET C5.20.
  - COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER.
  - REPLACE EXISTING BROKEN CURB INLET TOP.
  - MODIFY EXISTING ADA RAMP AS NECESSARY FOR NEW CONNECTION. ENSURE RAMP MEETS ADA & SCDOT REQUIREMENTS.
  - TRANSITION NEW VERTICAL CURB & GUTTER TO EXISTING ROLLED CURBING OVER 3'.

- SITE LEGEND**
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  - CROSSWALK - INSTALL IAW DETAILS SHEET C5.20.
  - STOP BAR - INSTALL IAW DETAIL SHEET C5.20.
  - NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL SHEET C5.20.
  - TRAFFIC ARROW - INSTALL IAW DETAIL SHEET C5.20.
  - DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
  - SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
  - LIMITS OF CONSTRUCTION

- DRAINAGE LEGEND**
- NEW FINISHED GRADE SPOT ELEVATION
  - NEW FINISHED CONTOUR
  - EXISTING GRADE CONTOUR

- SIDEWALK NOTES:**
- SIDEWALK SLOPES TOWARDS ROADWAY AT A MAXIMUM 2%, UNLESS OTHERWISE NOTED. FINAL SIDEWALK EDGES SHALL BE 1" ABOVE FINAL ADJACENT GRADE
  - SIDEWALKS SHALL BE 5' WIDE AND 5' OFF EXISTING BACK OF CURB UNLESS OTHERWISE NOTED.



DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

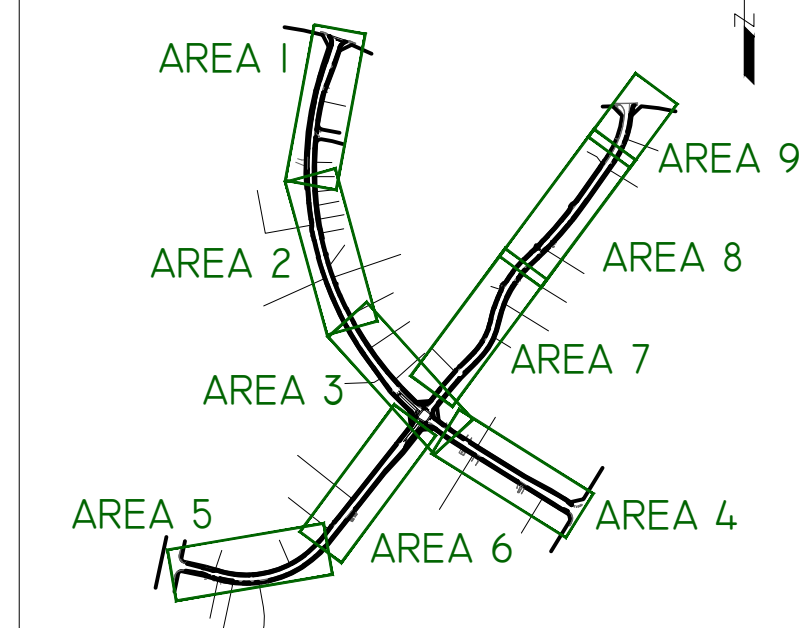
**SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE**  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18
2		
3		
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**SITE & DRAINAGE PLAN - AREA 3 & 4**

C5.02

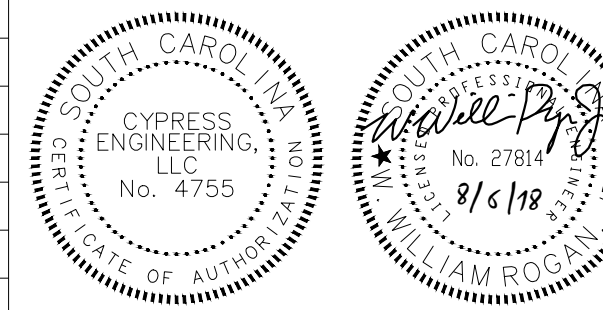
**KEYPLAN**  
1 INCH = 1000 FT.



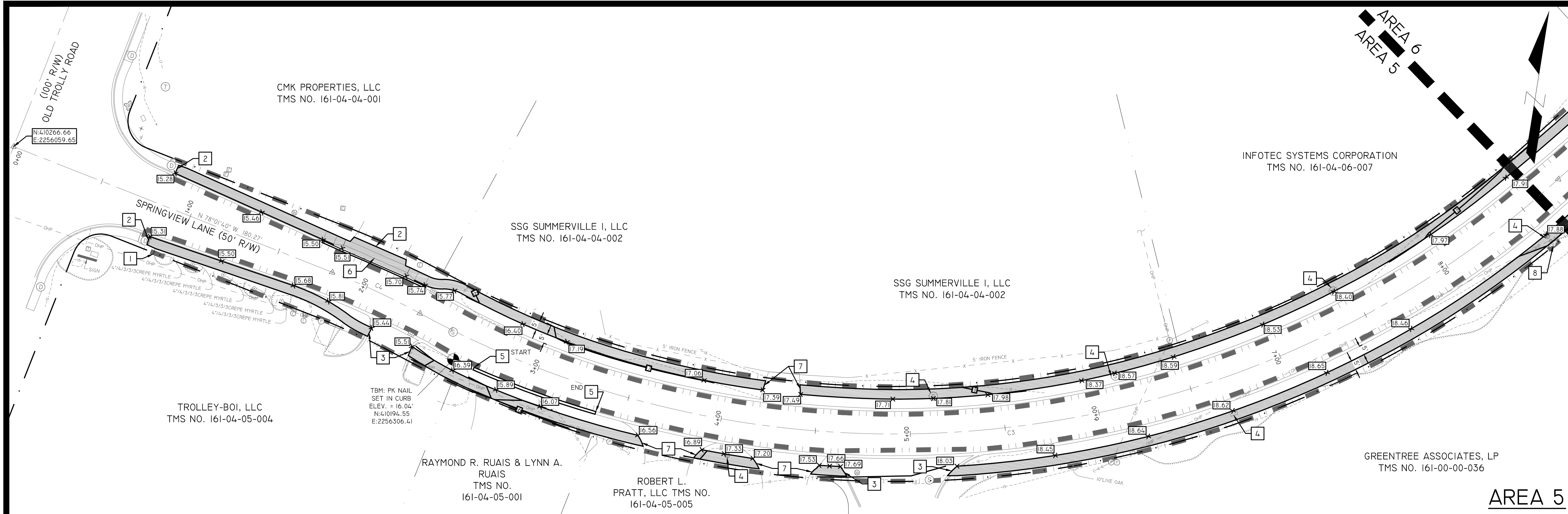
**DIMENSION NOTES:**

- CONTRACTOR SHALL BE PROVIDED DIGITAL FILE FOR LAYOUT.
- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.







#### GENERAL NOTES:

1. SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  2. SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- #### KEYNOTES:
1. RELOCATE EXISTING SIGN AS NECESSARY FOR NEW CONSTRUCTION.
  2. TIE NEW SIDEWALK INTO EXISTING PAVEMENT. SAWCUT AS NECESSARY TO PROVIDE SMOOTH EDGE.
  3. INSTALL ADA RAMP IAW DETAIL SHEET C5.20.
  4. RAISE/LOWER EXISTING UTILITY AS NECESSARY TO MATCH GRADES OF NEW CONSTRUCTION.
  5. INSTALL CURB & GUTTER IAW DETAIL SHEET C5.20.
  6. INSTALL SCDOT DRIVEWAY RAMP IAW DETAIL SHEET C5.20.
  7. INSTALL DETECTABLE WARNINGS IAW DETAIL SHEET C5.20.
  8. COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER.
  9. REPLACE EXISTING BROKEN CURB INLET TOP.
  10. MODIFY EXISTING ADA RAMP AS NECESSARY FOR NEW CONNECTION. ENSURE RAMP MEETS ADA & SCDOT REQUIREMENTS.
  11. TRANSITION NEW VERTICAL CURB & GUTTER TO EXISTING ROLLED CURBING OVER 3'.

#### SITE LEGEND

- CONCRETE SIDEWALK - INSTALL IAW DETAIL SHEET C5.20.
- CROSSWALK - INSTALL IAW DETAILS SHEET C5.20.
- STOP BAR - INSTALL IAW DETAIL SHEET C5.20.
- NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL SHEET C5.20.
- TRAFFIC ARROW - INSTALL IAW DETAIL SHEET C5.20.
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- LIMITS OF CONSTRUCTION

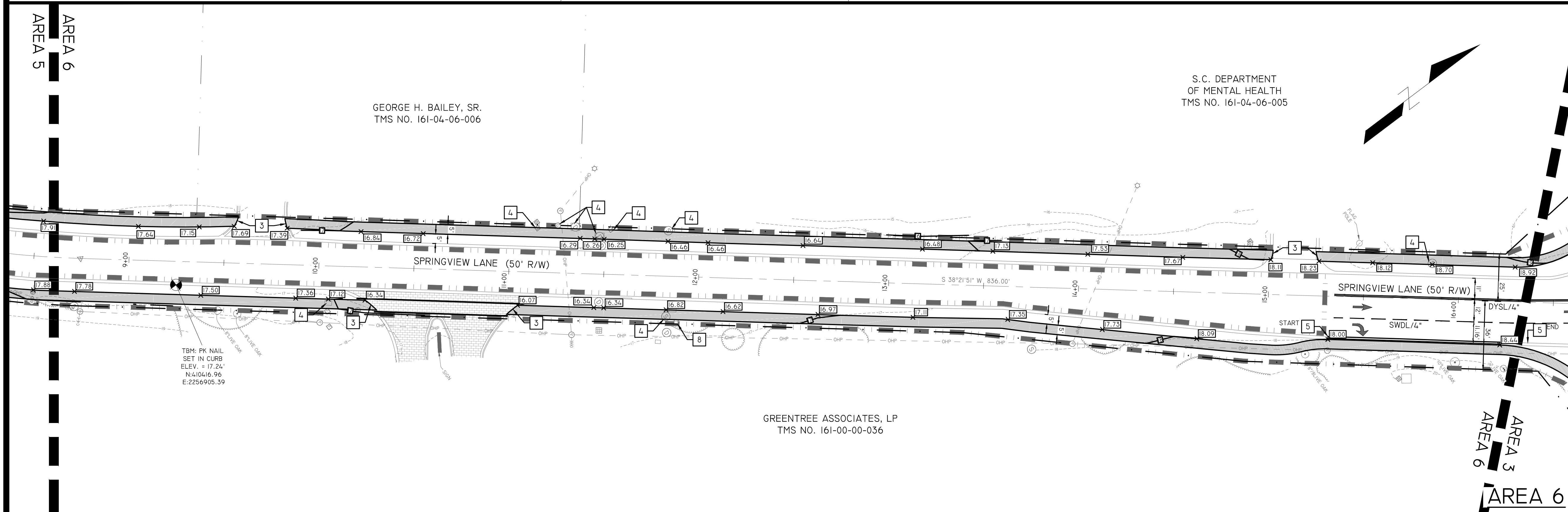
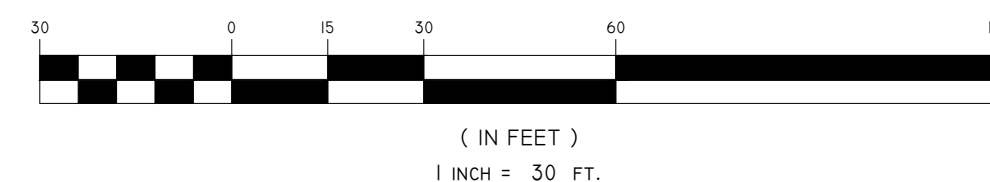
#### DRAINAGE LEGEND

- NEW FINISHED GRADE SPOT ELEVATION
- NEW FINISHED CONTOUR
- EXISTING GRADE CONTOUR

#### SIDEWALK NOTES:

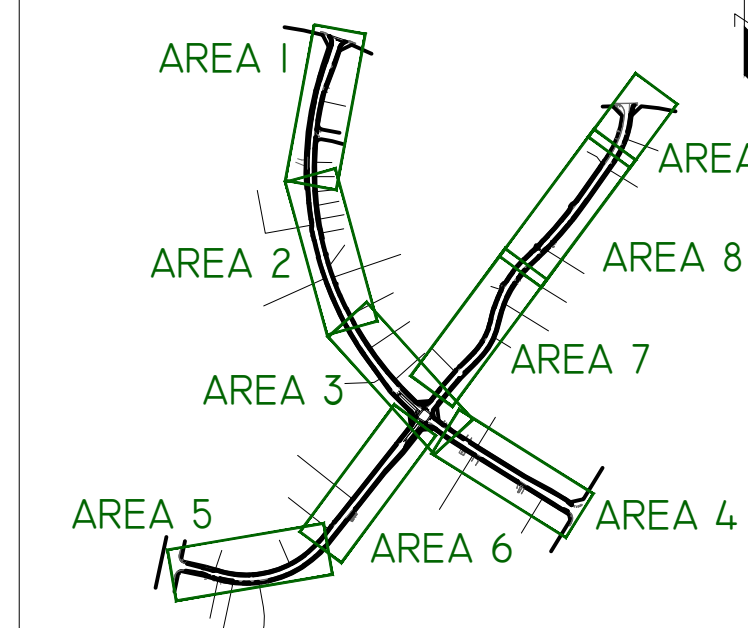
1. SIDEWALK SLOPES TOWARDS ROADWAY AT A MAXIMUM 2%, UNLESS OTHERWISE NOTED. FINAL SIDEWALK EDGES SHALL BE 1" ABOVE FINAL ADJACENT GRADE
2. SIDEWALKS SHALL BE 5' WIDE AND 5' OFF EXISTING BACK OF CURB UNLESS OTHERWISE NOTED.

#### HORIZONTAL SCALE



#### KEYPLAN

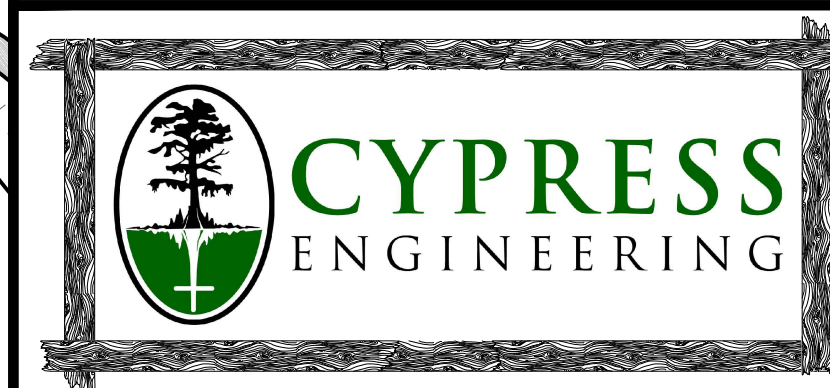
1 INCH = 1000 FT.



#### DIMENSION NOTES:

1. CONTRACTOR SHALL BE PROVIDED DIGITAL FILE FOR LAYOUT.
2. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.



CYPRESS ENGINEERING  
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

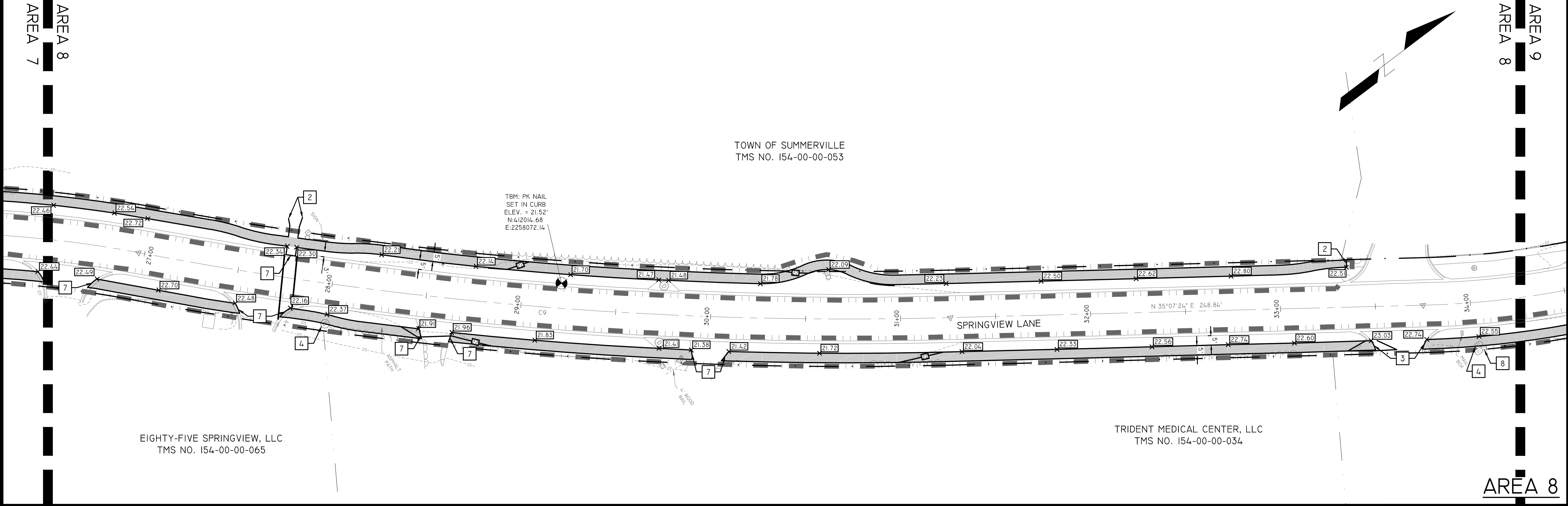
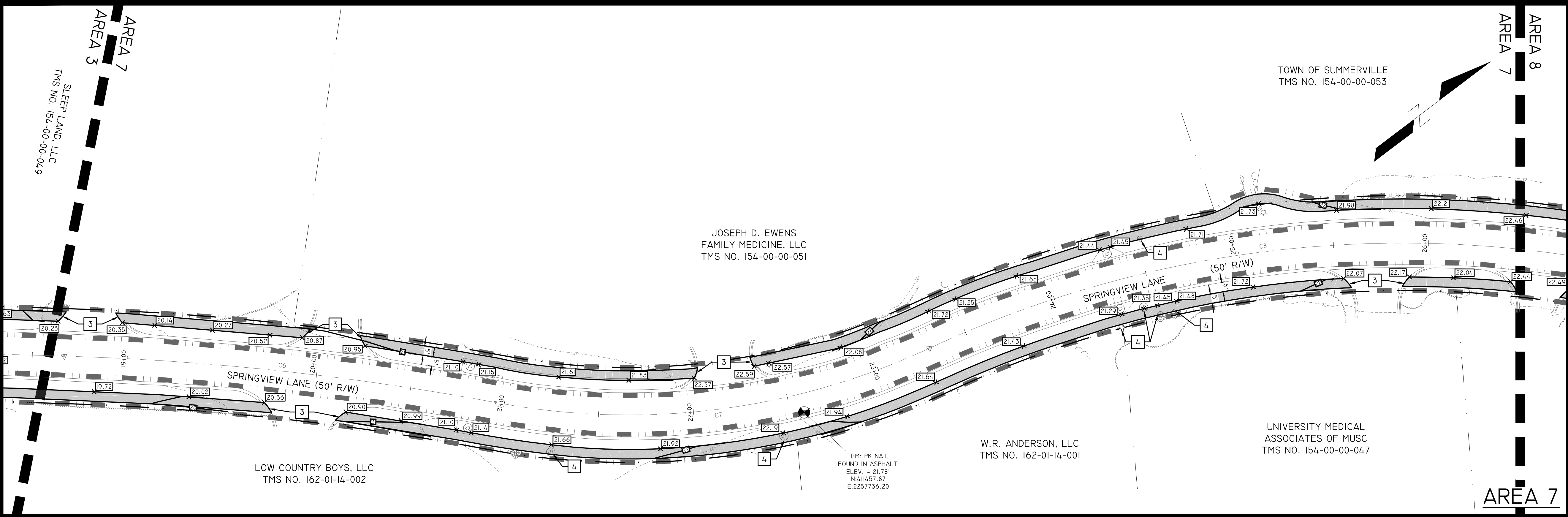
## SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18
2		
3		
4		
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## SITE & DRAINAGE PLAN - AREA 5 & 6

C5.03



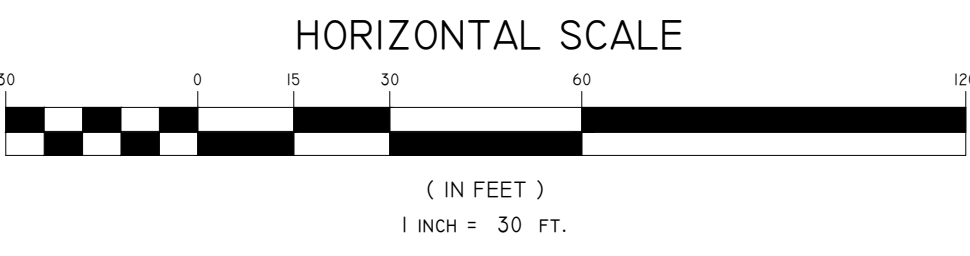


- GENERAL NOTES:**
- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  - SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- KEYNOTES:** [ ]
- RELOCATE EXISTING SIGN AS NECESSARY FOR NEW CONSTRUCTION.
  - TIE NEW SIDEWALK INTO EXISTING PAVEMENT. SAWCUT AS NECESSARY TO PROVIDE SMOOTH EDGE.
  - INSTALL ADA RAMP IAW DETAIL SHEET C5.20.
  - RAISE/LOWER EXISTING UTILITY AS NECESSARY TO MATCH GRADES OF NEW CONSTRUCTION.
  - INSTALL CURB & GUTTER IAW DETAIL SHEET C5.20.
  - INSTALL SCDOT DRIVEWAY RAMP IAW DETAIL SHEET C5.20.
  - INSTALL DETECTABLE WARNINGS IAW DETAIL SHEET C5.20.
  - COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER.
  - REPLACE EXISTING BROKEN CURB INLET TOP.
  - MODIFY EXISTING ADA RAMP AS NECESSARY FOR NEW CONNECTION. ENSURE RAMP MEETS ADA & SCDOT REQUIREMENTS.
  - TRANSITION NEW VERTICAL CURB & GUTTER TO EXISTING ROLLED CURBING OVER 3'.

- SITE LEGEND**
- CONCRETE SIDEWALK - INSTALL IAW DETAIL SHEET C5.20.
  - CROSSWALK - INSTALL IAW DETAILS SHEET C5.20.
  - STOP BAR - INSTALL IAW DETAIL SHEET C5.20.
  - NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL SHEET C5.20.
  - TRAFFIC ARROW - INSTALL IAW DETAIL SHEET C5.20.
  - DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
  - SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
  - LIMITS OF CONSTRUCTION

- DRAINAGE LEGEND**
- NEW FINISHED GRADE SPOT ELEVATION
  - NEW FINISHED CONTOUR
  - EXISTING GRADE CONTOUR

- SIDEWALK NOTES:**
- SIDEWALK SLOPES TOWARDS ROADWAY AT A MAXIMUM 2%, UNLESS OTHERWISE NOTED. FINAL SIDEWALK EDGES SHALL BE 1" ABOVE FINAL ADJACENT GRADE
  - SIDEWALKS SHALL BE 5' WIDE AND 5' OFF EXISTING BACK OF CURB UNLESS OTHERWISE NOTED.



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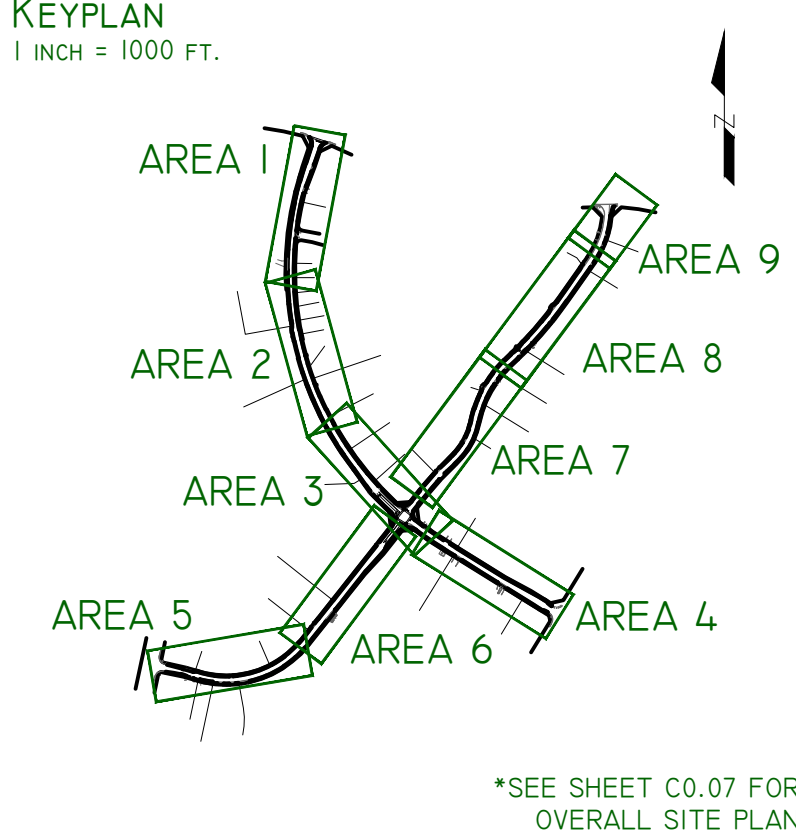
100 SOUTH MAIN STREET  
SUITE L  
SUMMERVILLE, SC 29483  
PHONE: 843-225-5151  
WWW.CYPRESSENG.COM

DATE:	8/6/2018	CYP PROJ #:	I7071
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DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

**SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE**  
SUMMERVILLE, SC

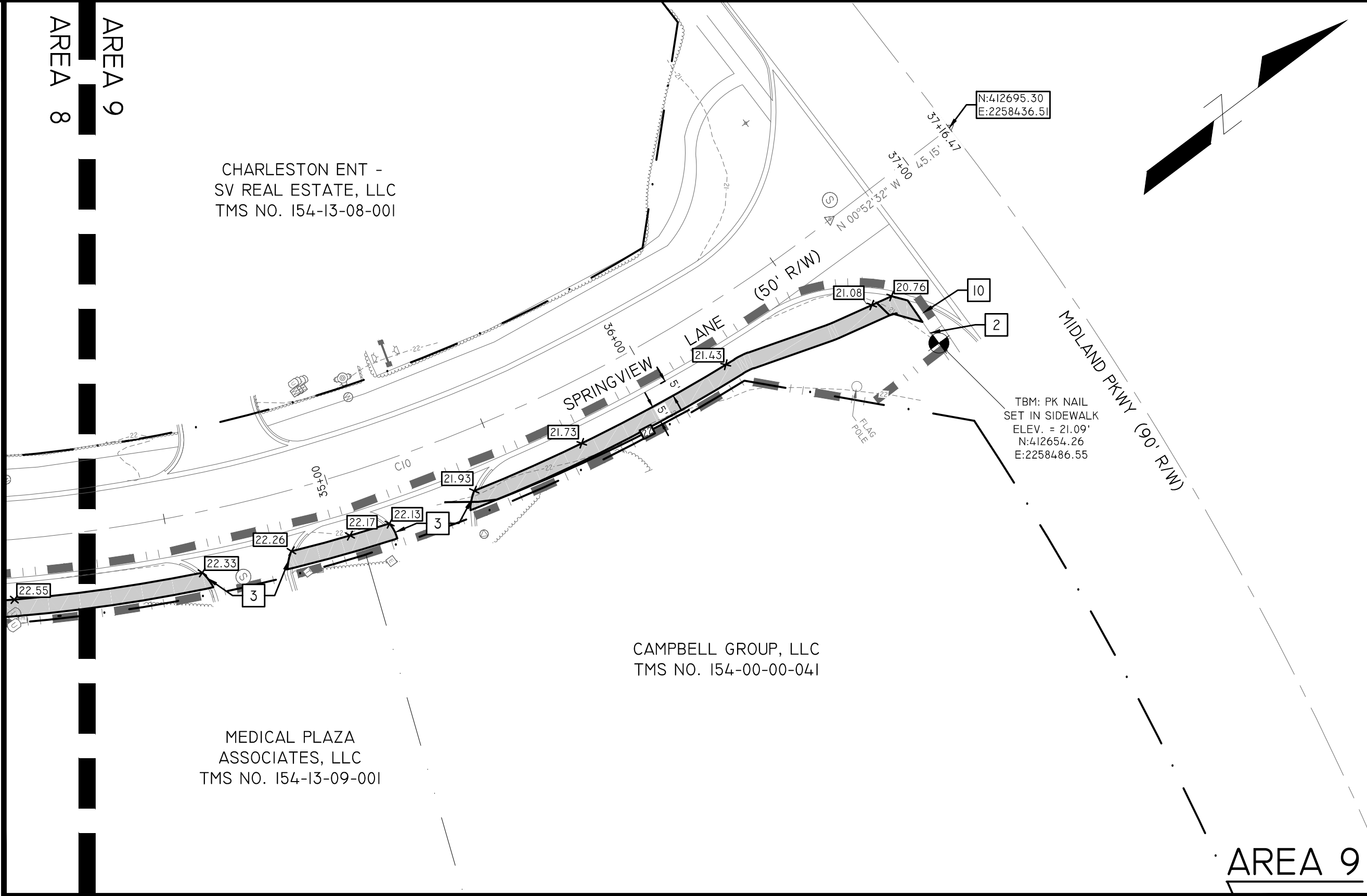
REV #	DESCRIPTION	DATE
1	PERMIT SET ISSUE DATE	3/19/18
2		
3		
4		
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**SITE & DRAINAGE PLAN - AREA 7 & 8**  
**C5.04**



- DIMENSION NOTES:**
- CONTRACTOR SHALL BE PROVIDED DIGITAL FILE FOR LAYOUT.
  - ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CALL 811 FOR LOCATION OF ALL EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF UTILITIES CONFLICT WITH PROPOSED WORK.
- 
- \*SEE SHEET C0.07 FOR OVERALL SITE PLAN





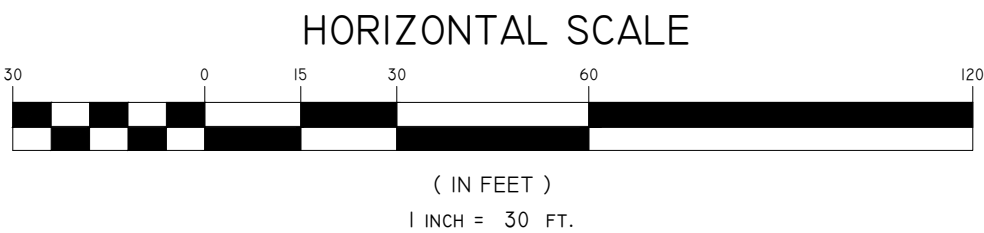
- GENERAL NOTES:**
- SEE SHEET C0.01 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
  - SEE SHEET C1.01 FOR EXISTING SITE LEGEND.
- KEYNOTES:** [ ]
- RELOCATE EXISTING SIGN AS NECESSARY FOR NEW CONSTRUCTION.
  - TIE NEW SIDEWALK INTO EXISTING PAVEMENT. SAWCUT AS NECESSARY TO PROVIDE SMOOTH EDGE.
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  - INSTALL CURB & GUTTER IAW DETAIL SHEET C5.20.
  - INSTALL SCDOT DRIVEWAY RAMP IAW DETAIL SHEET C5.20.
  - INSTALL DETECTABLE WARNINGS IAW DETAIL SHEET C5.20.
  - COORDINATE RELOCATION OF UTILITY WITH TOWN OF SUMMERVILLE AND UTILITY PROVIDER.
  - REPLACE EXISTING BROKEN CURB INLET TOP.
  - MODIFY EXISTING ADA RAMP AS NECESSARY FOR NEW CONNECTION. ENSURE RAMP MEETS ADA & SCDOT REQUIREMENTS.
  - TRANSITION NEW VERTICAL CURB & GUTTER TO EXISTING ROLLED CURBING OVER 3'.

- SITE LEGEND**
- CONCRETE SIDEWALK - INSTALL IAW DETAIL SHEET C5.20.
  - CROSSWALK - INSTALL IAW DETAILS SHEET C5.20.
  - STOP BAR - INSTALL IAW DETAIL SHEET C5.20.
  - NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAIL SHEET C5.20.
  - TRAFFIC ARROW - INSTALL IAW DETAIL SHEET C5.20.
  - DYSL/4" DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
  - SWDL/4" SINGLE WHITE DASHED LINE / 4" WIDE
  - LIMITS OF CONSTRUCTION

- DRAINAGE LEGEND**
- NEW FINISHED GRADE SPOT ELEVATION
  - NEW FINISHED CONTOUR
  - EXISTING GRADE CONTOUR

**SIDEWALK NOTES:**

- SIDEWALK SLOPES TOWARDS ROADWAY AT A MAXIMUM 2%, UNLESS OTHERWISE NOTED. FINAL SIDEWALK EDGES SHALL BE 1" ABOVE FINAL ADJACENT GRADE
- SIDEWALKS SHALL BE 5' WIDE AND 5' OFF EXISTING BACK OF CURB UNLESS OTHERWISE NOTED.



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DATE:	8/6/2018	CYP PROJ #:	I7071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
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SIDEWALKS #2 - BENTONS LODGE  
RD & SPRINGVIEW LANE  
SUMMERVILLE, SC

REV #	DESCRIPTION	DATE
PERMIT SET	ISSUE DATE	3/19/18

SITE & DRAINAGE  
PLAN - AREA 9

C5.05

**KEYPLAN**  
1 INCH = 1000 FT.

\*SEE SHEET C0.07 FOR OVERALL SITE PLAN

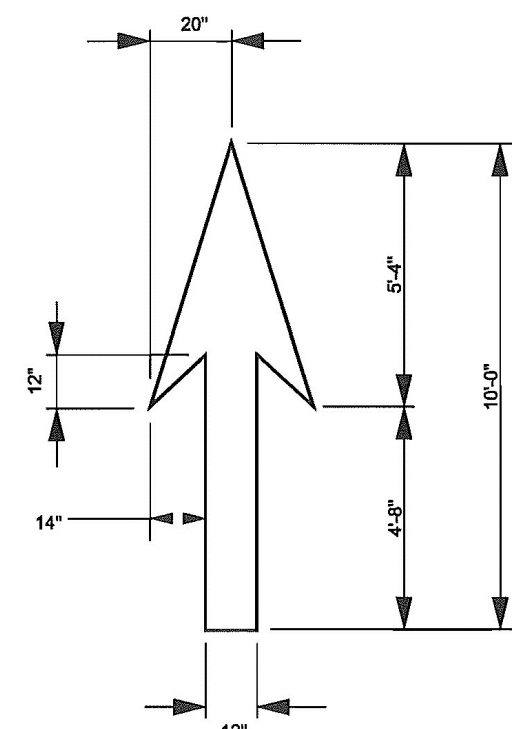
- DIMENSION NOTES:**
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  - ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
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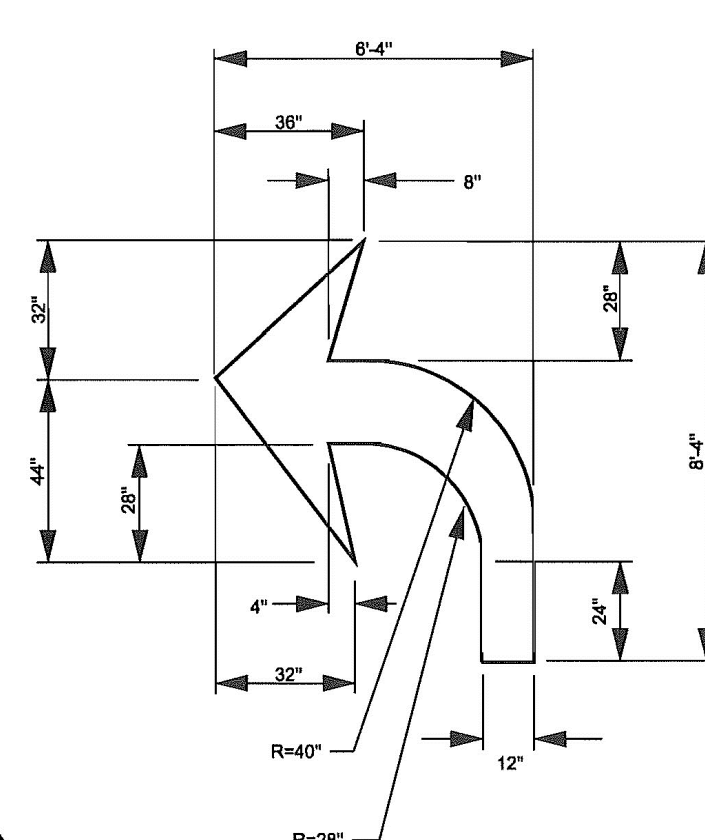




24" CURB & GUTTER (SCDOT STANDARD DETAIL 720-105-01)  
NOT TO SCALE



TRAFFIC ARROWS  
NOT TO SCALE



TRAFFIC SIGN  
NOT TO SCALE



**NOTES:**

1. SIGN LOCATIONS:
  - 1.1. **ADA SIGNS:** LOCATED 2' OFF BACK OF CURB, EDGE OF PAVEMENT OR SIDEWALK EDGE (WHEN PRESENT).
  - 1.2. **ALL OTHER SIGNS:** LOCATED 4' OFF BACK OF CURB OR EDGE OF PAVEMENT. IF A SIDEWALK ADJACENT TO THE DRIVE, THE SIGN SHALL BE LOCATED 2' OFF SIDEWALK.
2. SEE PLAN FOR SIGN TYPES AND LOCATIONS.
3. SIGNS SHALL BE ATTACHED WITH 5/16" MACHINE SCREW OR BOLT AND NUT WITH LOCK WASHER.

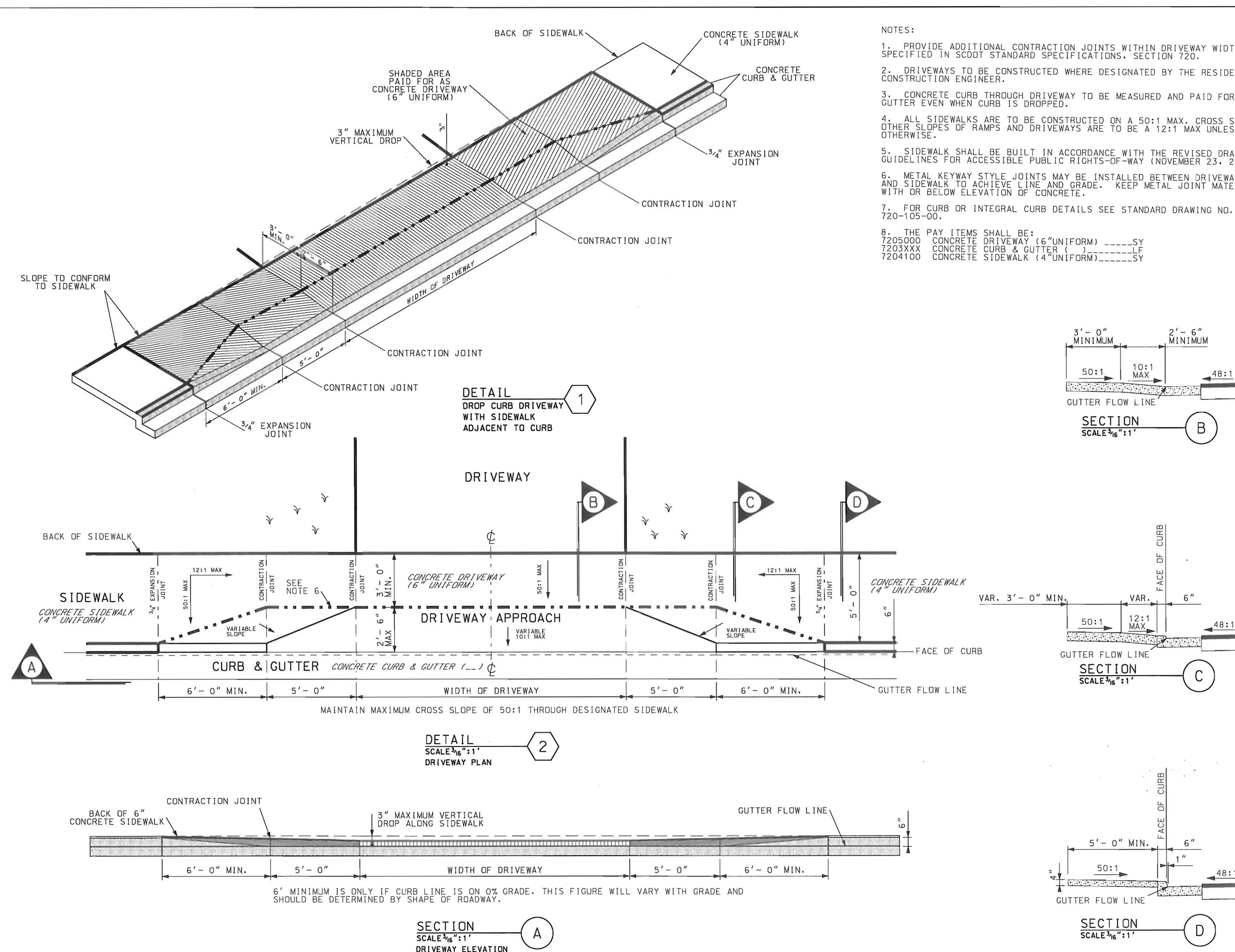
NOTE:  
CONCRETE SHALL HAVE MINIMUM  
3,000 PSI COMPRESSIVE STRENGTH  
AT 28 DAYS



NOTES:

1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 30 FEET.
2. PROVIDE EXPANSION JOINTS WHERE SIDEWALK ABUTS STRUCTURES, CURBS OR OTHER SIDEWALKS.
3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.

CONCRETE SIDEWALK  
NOT TO SCALE



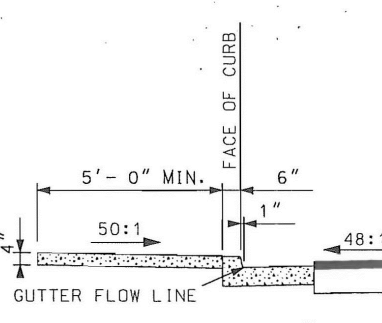
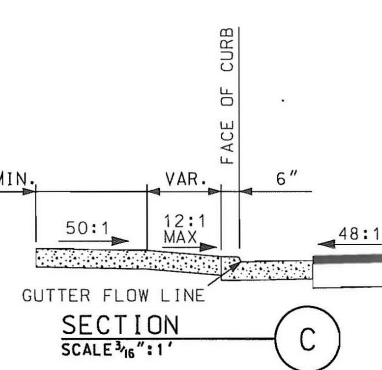
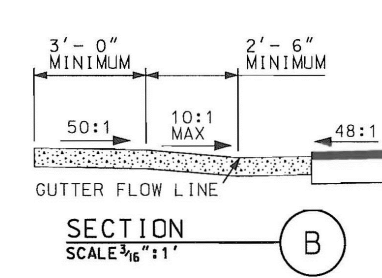
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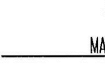

1. PROVIDE ADDITIONAL CONTRACTION JOINTS WITHIN DRIVEWAY WIDTH AS SPECIFIED IN SCODD STANDARD SPECIFICATIONS, SECTION 720.
2. DRIVEWAYS TO BE CONSTRUCTED WHERE DESIGNATED BY THE RESIDENT CONTRACTOR TO BE CONCRETE.
3. CONCRETE CURB THROUGH DRIVEWAY TO BE MEASURED AND PAID FOR AS CURB & GUTTER.
4. ALL SIDEWALKS ARE TO BE CONSTRUCTED ON A 50:1 MAX. CROSS SLOPE. ALL OTHER SLOPES OF RAMPS AND DRIVEWAYS ARE TO BE A 12:1 MAX UNLESS NOTED OTHERWISE.
5. SIDEWALK SHALL BE BUILT IN ACCORDANCE WITH THE REVISED DRAFT GUIDELINES FOR ACCESSIBLE PUBLIC RIGHTS-OF-WAY (NOVEMBER 23, 2005).
6. DRIVEWAY APPROACH JOINTS MAY BE INSTALLED BETWEEN DRIVEWAY APPROACH AND SIDEWALK TO ACHIEVE A FLUSH FINISH. KEEP MAINT. JOINT MATERIAL FLUSH WITH THE SLOPE ELEVATION OF CONCRETE.

FOR CURB OR INTEGRAL CURB DETAILS SEE STANDARD DRAWING NO. 720-105-00.

THE PAY ITEM SHALL BE:

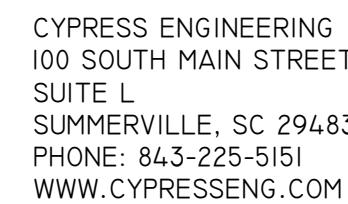
7205000 CONCRETE DRIVEWAY (E)INFORM	SY
7203XXX CURB & GUTTER	SY
6204100 SIDEWALK (E)INFORM	SY



<h2 style="margin: 0;">REFERENCES</h2>			
NATIONAL DOCUMENTS REVISED DRAFT GUIDELINES FOR ACCESSIBLE PUBLIC RIGHTS-OF-WAY (NOVEMBER 23, 2005)			
SCROT DOCUMENTS .....			
RELATED DRAWINGS & KEYWORDS .....			
<h3 style="margin: 0;">PRECONSTRUCTION SUPPORT ENGINEER</h3>			
			
 SIGNATURE			
MARCH 24, 2008 DATE			
6			
5			
4			
3			
2			
1			
0	3/2009	DSO	GENERAL REVISION
#	DATE	CHK	DESCRIPTION
 SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION <b>DESIGN STANDARDS OFFICE</b> 955 PARK STREET ROOM 405 COLUMBIA, SC 29201			
<b>STANDARD DRAWING</b>			
DRIVEWAY WITH SIDEWALK ADJACENT TO CURB			
<h1 style="margin: 0;">720-405-00</h1>			
EFFECTIVE/EXPIRATION DATE		MAX. NO.	





## SIDEWALK SECTIONS



DATE:	8/6/2018	CYP PROJ #:	17071
DRAWN:	JCT	CLIENT:	TOWN OF SUMMERVILLE
DESIGNED:	JCT	CLIENT JOB #:	
CHECKED:	WWR		

## SIDEWALKS #2 - BENTONS LODGE RD & SPRINGVIEW LANE

REV #	DESCRIPTION	DATE
	PERMIT SET ISSUE DATE	3/19/18

## SITE DETAILS

C5.20