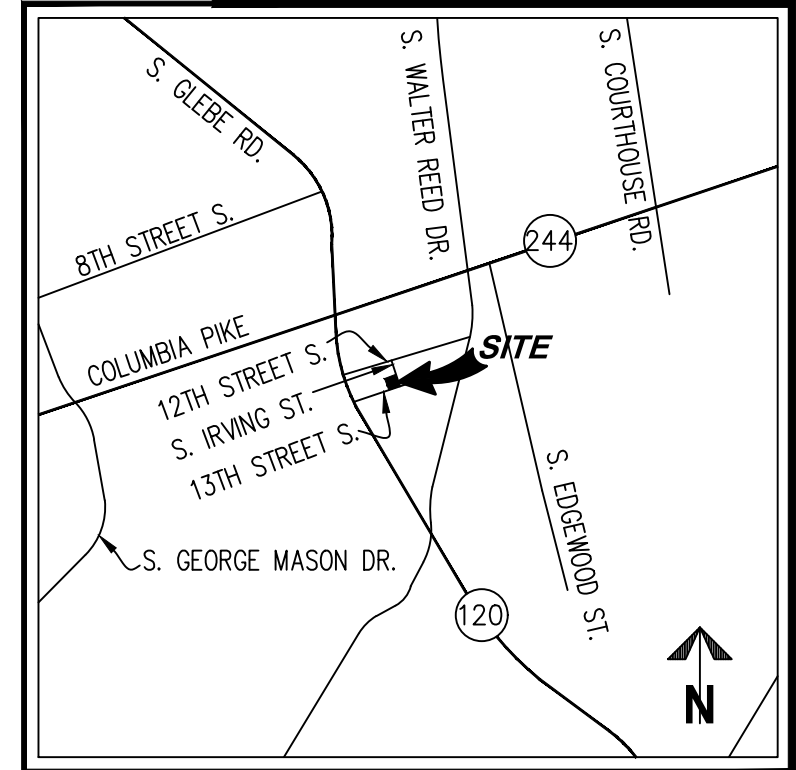


# 1212 SOUTH IRVING STREET

ARLINGTON COUNTY, VIRGINIA  
 LOT 41-B AND PARCEL 10, C.B. MUNSON'S ADDITION TO ARLINGTON  
 GRADING PLAN



VICINITY MAP SCALE: 1"=2000'

**OWNER INFORMATION**

APPLICANT: ARLINGTON COUNTY BOARD  
 ADDRESS: 2100 CLARENDON BOULEVARD  
 ARLINGTON VA 22201  
 TELEPHONE: 703-228-4438  
 EMAIL: CWLSON@ARLINGTONVA.GOV

**CONTRACTOR INFORMATION**

CONTRACTOR TO BE DETERMINED VIA BIDS

**SHEET INDEX**

- C-0101 COVER SHEET
- C-0301 EXISTING CONDITIONS & DEMOLITION PLAN
- C-0401 LAYOUT PLAN
- C-0501 GRADING PLAN
- C-0601 EROSION & SEDIMENT CONTROL PLAN
- C-0602 EROSION & SEDIMENT CONTROL DETAILS AND P2 PLAN
- C-0701 DRAINAGE DIVIDES
- C-0702 SWM & BMP CHECKLIST & SWM AGREEMENT
- C-0703 BMP CHECKLIST & SWM AGREEMENT
- C-0704 BMP SCHEMATIC & DESIGN DETAILS
- C-0705 RAIN GARDEN DETAILS AND CALCULATIONS
- C-0706 SOILS REPORT - FOR INFORMATION ONLY
- C-1201 TREE CONSERVATION PLAN - EXISTING CONDITIONS
- C-1202 TREE CONSERVATION NOTES & DETAILS
- C-1203 TREE CONSERVATION PLAN - PROPOSED CONDITIONS
- C-1204 TREE CONSERVATION PLAN - PROPOSED CONDITIONS CONT.

ARLINGTON COUNTY, VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES

THE FOLLOWING GENERAL NOTES ARE REQUIRED ON DEVELOPMENT PLANS WITH FRONTAGE ALONG ARLINGTON COUNTY STREETS AND WILL BE EDITED AS NEEDED TO REFLECT SPECIFIC SITE CONDITIONS:

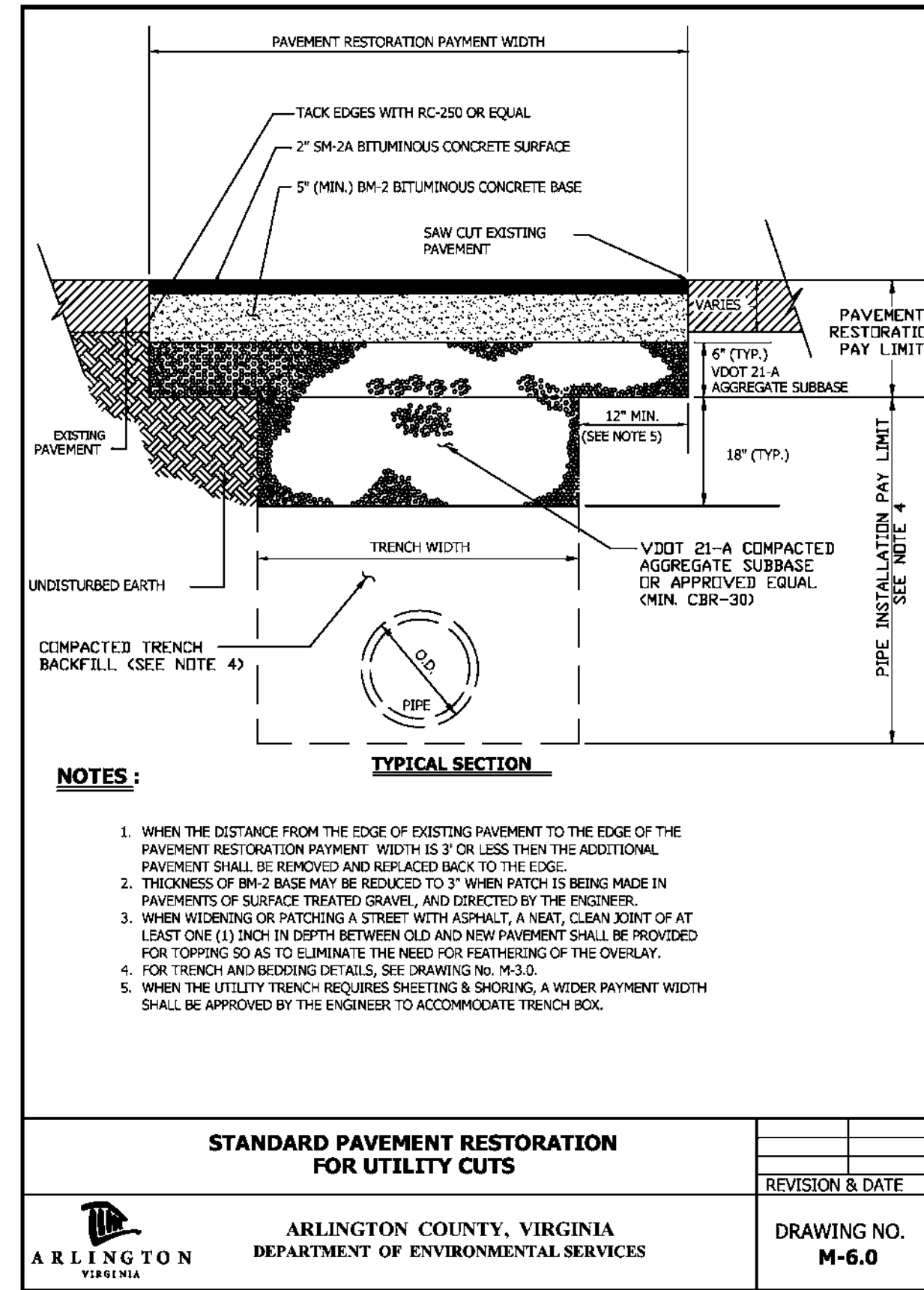
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY DES STANDARDS AND SPECIFICATIONS.
2. THE DEVELOPER OR CONTRACTOR SHALL REMOVE AND REPLACE, TO THE CURRENT ARLINGTON COUNTY DES STANDARDS AND SPECIFICATIONS, ANY EXISTING ENTRANCES, CURB AND GUTTER OR SIDEWALK ALONG THE FRONTAGE OF THE SITE IN POOR CONDITION, OR DAMAGED DURING CONSTRUCTION.
3. THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CLOSING, TO ARLINGTON COUNTY STANDARDS, ANY EXISTING ENTRANCES NOT BEING USED IN CONJUNCTION WITH THIS DEVELOPMENT.
4. THE DEVELOPER OR CONTRACTOR SHALL OBTAIN ARLINGTON COUNTY PERMITS FOR ALL WORK WITHIN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THIS SITE.
5. THERE MAY BE UNDERGROUND CONDUIT, CABLES AND TRAFFIC DETECTION DEVICES IN THIS AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY TRAFFIC CONTROLS THAT ARE DISTURBED DURING CONSTRUCTION. NOTIFY THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU AT (703) 228-3723.
6. THE DEVELOPER OR CONTRACTOR SHALL NOT DISTURB OR REMOVE ANY TRAFFIC CONTROL SIGNS, PARKING METERS OR ANY OTHER TRAFFIC CONTROL DEVICE WITHOUT PRIOR PERMISSION FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU. CONTACT TRANSPORTATION ENGINEERING AT (703) 228-3723.
7. THE DEVELOPER OR CONTRACTOR SHALL OBTAIN A PERMIT FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU, PRIOR TO PLACING ANY OBSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY, OR ON SIDEWALKS ALONG THE FRONTAGE OF THIS DEVELOPMENT.
8. ALL SANITARY SEWER CLEAN-OUTS LOCATED WITHIN THE TRAVEL WAY OR PARKING LOT OF THIS DEVELOPMENT SHALL BE CAST IRON.
9. THE CONTRACTOR SHALL CONSTRUCT ALL HANDICAP RAMPS TO THE CURRENT VDOT AND ARLINGTON COUNTY STANDARDS. USE 4'X2' TRUNCATED DOME PANELS.
10. THE DEVELOPER OR CONTRACTOR SHALL OBTAIN PERMITS FROM THE INSPECTION SERVICES DIVISION PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION OF ON-SITE FACILITIES. FOR INFORMATION AND PERMIT REQUIREMENTS TELEPHONE (703) 228-3800.
11. THE PLANTING OF STREET TREES FOR THIS DEVELOPMENT, SHALL BE COORDINATED WITH AND APPROVED BY THE DEPARTMENT OF PARKS, RECREATION AND CULTURAL RESOURCES (DPRCR). THIS COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, DEVELOPER OR THEIR ENGINEER. THE DEVELOPER OR CONTRACTOR SHALL CONTACT DPRCR AT (703) 228-6557, 72 HOURS IN ADVANCE TO SCHEDULE INSPECTION OF EXCAVATION, PLANT MATERIAL AND INSTALLATION. ALSO PRIOR TO REMOVING OR DISTURBING ANY EXISTING COUNTY TREES CONTACT DPRCR FOR INFORMATION AND APPROVAL.

**UTILITY MARKING REQUIREMENTS:**

12. THE DEVELOPER OR CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 811 48 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION, FOR THE MARKING OF UNDERGROUND UTILITIES.

**MMA NOTES**

1. THE ARLINGTON COUNTY BOARD IS THE OWNER OF THE PROPERTY LOCATED AT 1212 SOUTH IRVING STREET. PER CONVERSATIONS WITH COUNTY STORMWATER REVIEWERS, A MAINTAIN AND MONITORING AGREEMENT (MMA) IS NOT REQUIRED FOR THIS PROJECT. THE COUNTY IS THE OWNER OF THE PROPERTY AND WILL BE MAINTAINING THE PROPOSED ONSITE BMPs.

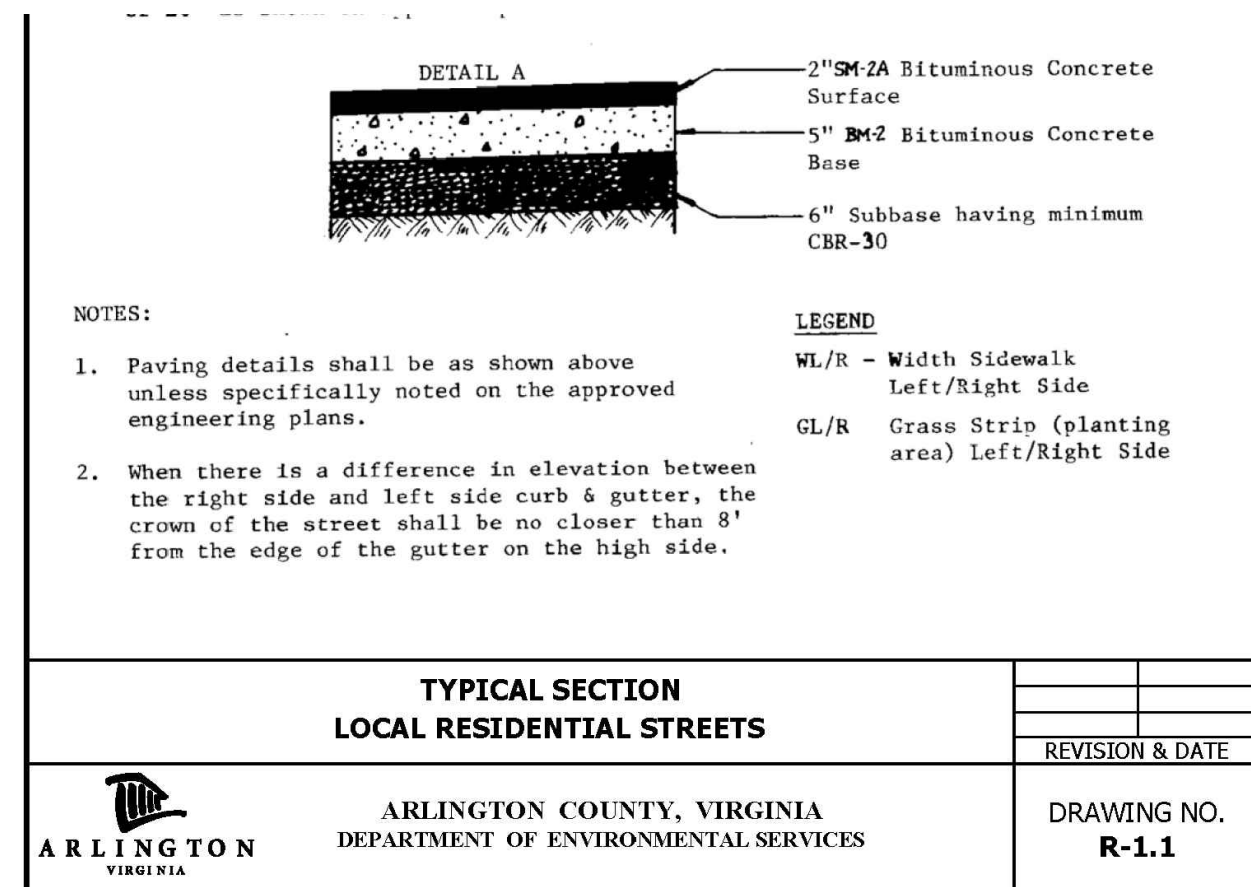


- NOTES:**
1. WHEN THE DISTANCE FROM THE EDGE OF EXISTING PAVEMENT TO THE EDGE OF THE PAVEMENT RESTORATION PAYMENT WIDTH IS 3' OR LESS THEN THE ADDITIONAL PAVEMENT SHALL BE REMOVED AND REPLACED BACK TO THE EDGE.
  2. THICKNESS OF BM-2 BASE MAY BE REDUCED TO 3" WHEN PATCH IS BEING MADE IN PAVEMENTS OF SURFACE TREATED DRAVE, AND DIRECTED BY THE ENGINEER.
  3. WHEN WIDENING OR PATCHING A STREET WITH ASPHALT, A NEAT, CLEAN JOINT OF AT LEAST ONE (1) INCH IN DEPTH BETWEEN OLD AND NEW PAVEMENT SHALL BE PROVIDED FOR TOPPING SO AS TO ELIMINATE THE NEED FOR PATCHING OF THE OVERLAY.
  4. FOR TRENCH AND BEDDING DETAILS, SEE DRAWING NO. M-3.0.
  5. WHEN THE UTILITY TRENCH REQUIRES SHEETING & SHORING, A WIDER PAYMENT WIDTH SHALL BE APPROVED BY THE ENGINEER TO ACCOMMODATE TRENCH SOIL.

**STANDARD PAVEMENT RESTORATION FOR UTILITY CUTS**

ARLINGTON COUNTY, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES	DRAWING NO. <b>M-6.0</b>
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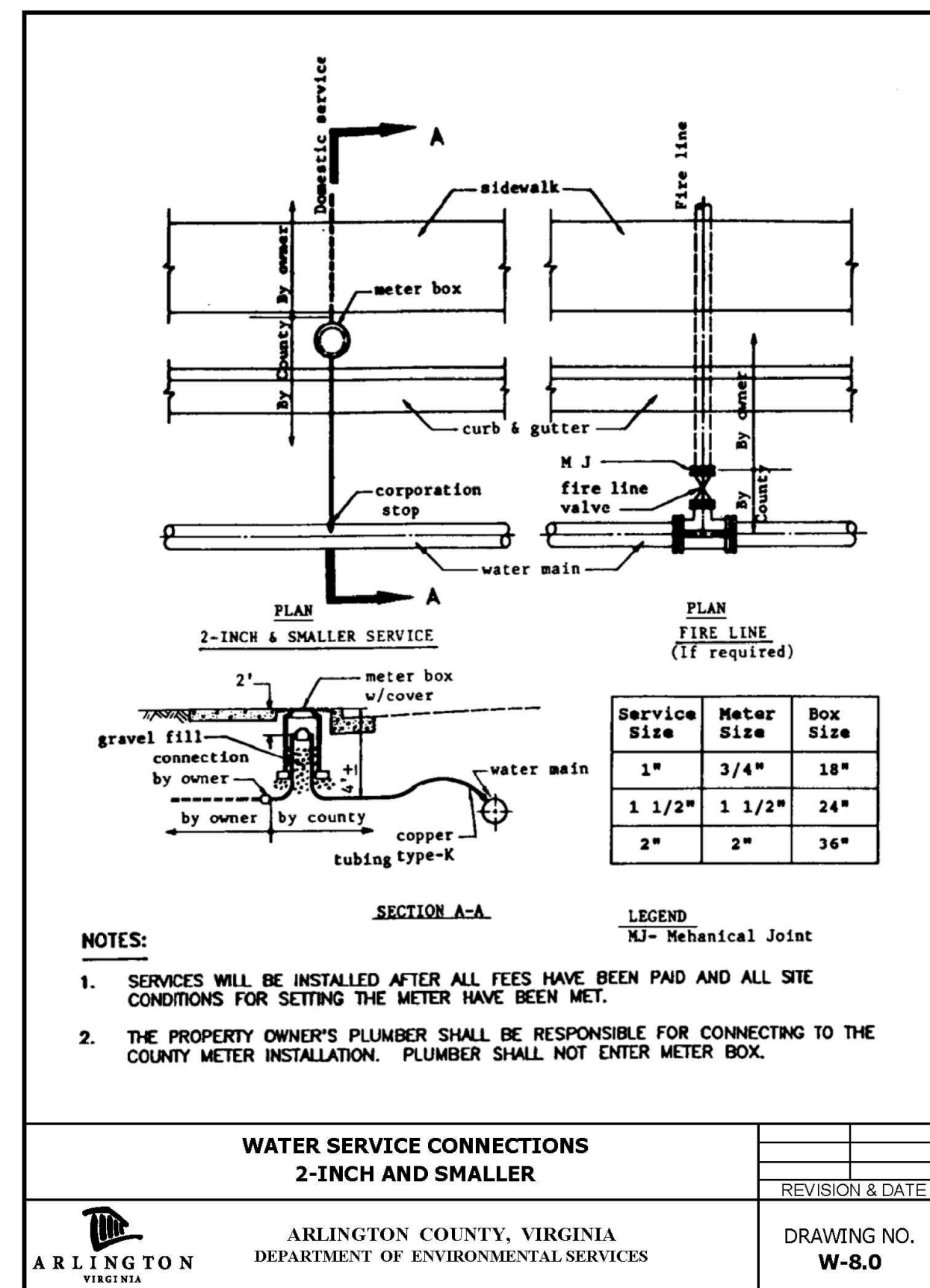
SEE SHEET C-0401 FOR ACTUAL DESIGN INFORMATION



- NOTES:**
1. Paving details shall be as shown above unless specifically noted on the approved engineering plans.
  2. When there is a difference in elevation between the right side and left side curb & gutter, the crown of the street shall be no closer than 8' from the edge of the gutter on the high side.

**TYPICAL SECTION LOCAL RESIDENTIAL STREETS**

ARLINGTON COUNTY, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES	DRAWING NO. <b>R-1.1</b>
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**WATER SERVICE CONNECTIONS 2-INCH AND SMALLER**

ARLINGTON COUNTY, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES	DRAWING NO. <b>W-8.0</b>
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SWM #20-0227

**COVER SHEET**

**WALTER L. PHILLIPS INCORPORATED** ESTABLISHED 1945  
 Engineers • Surveyors • Planners  
 Landscape Architects • Arborists  
 207 PARK AVENUE  
 FALLS CHURCH, VIRGINIA 22046  
 (703) 532-6163 Fax (703) 533-1301  
 www.WLPINC.com  
 email: bschitter@wlpinc.com

ARLINGTON, VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
**1212 SOUTH IRVING STREET**  
 LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON  
 GRADING PLAN  
 ARLINGTON COUNTY, VIRGINIA

SCALE: NONE	DRAWN DL	CHECKED KW
SUBMITTED DATE	REVISION FOR PERMIT: 05/21/2021	APPROVED DATE
		DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-0101**

**ADVANCE COPY**

**NOTES:**

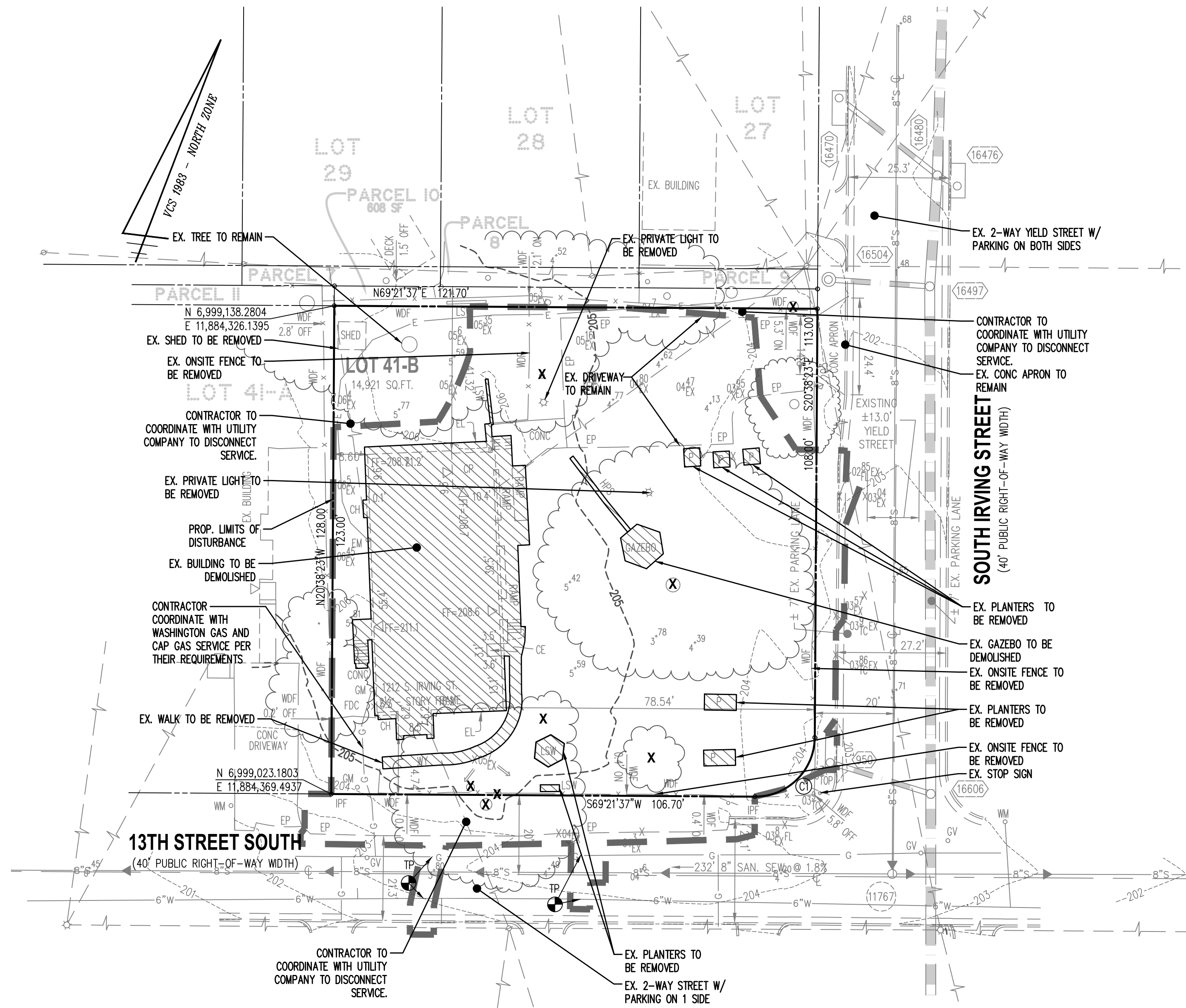
- THE PROPERTIES SHOWN HEREON APPEAR ON ARLINGTON COUNTY REAL PROPERTY IDENTIFICATION MAP NUMBER 073-12, AS REAL PROPERTY CODE (RPC) NUMBER 32-008-011 AND 32-008-026 AND IS ZONED R-5.
- THE PROPERTY IS NOW IN THE NAME OF COUNTY BOARD OF ARLINGTON COUNTY, VIRGINIA, AS RECORDED IN DEED BOOK 2428 AT PAGE 305 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
- THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS AND EXISTING RECORDS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.
- EXISTING SANITARY LATERAL SHOWN FROM ARLINGTON COUNTY REPORT FOR TAP, PERMIT NUMBER 4176, DATED MAY 24, 1937. THE UTILIZATION AND INTERPRETATION OF THIS INFORMATION IS AT USER'S RISK. THE LATERAL WAS NOT FIELD LOCATED.
- THE PROPERTY IS SERVED BY 5/8" WATER METER PER ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES.
- TOTAL AREA OF THE PROPERTY IS 15,529 SQUARE FEET OR 0.3565 ACRES.
- THIS PLAN IS BASED ON A CURRENT FIELD SURVEY BY THIS FIRM.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR ARLINGTON COUNTY, VIRGINIA, MAP NUMBER 51013C0077C, EFFECTIVE DATE AUGUST 19, 2013, DESIGNATES THE PROPERTY AS BEING IN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
- EASEMENTS, CONDITIONS, COVENANTS AND RESTRICTIONS, SHOWN AND/OR NOTED, ARE PER THE TITLE REPORT ISSUED BY WALKER TITLE, LLC, CASE NUMBER A1901115 DATED NOVEMBER 25, 2019.
- THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY AND IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983, [NAD 83(2011) (EPOCH:2010.0000)] AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY AND THE BENCHMARK(S) SHOWN TO THE TOPCON GNSS RTK REFERENCE NETWORK. THE COMBINED FACTOR APPLIED TO THE FIELD DISTANCES TO DERIVE THE REFERENCED COORDINATES IS 0.99995386. THE FOOT DEFINITION USED FOR CONVERSION OF THE MONUMENT COORDINATES AND IN THE PERFORMANCE OF THIS SURVEY IS THE U.S. SURVEY FOOT. CONTOUR INTERVAL IS ONE FOOT.
- THIS SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF, JAMES A. MADISON, JR., L.S., FROM AN ACTUAL [X] GROUND OR [ ] AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON JANUARY 12, 2020; AND THAT THIS PLAN, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
- NO EXISTING OR PROPOSED EASEMENT WITH THIS PROJECT
- THERE ARE NO RPA'S ONSITE PER ARLINGTON COUNTY RECORDS

**STORM SEWER AS-BUILTS**

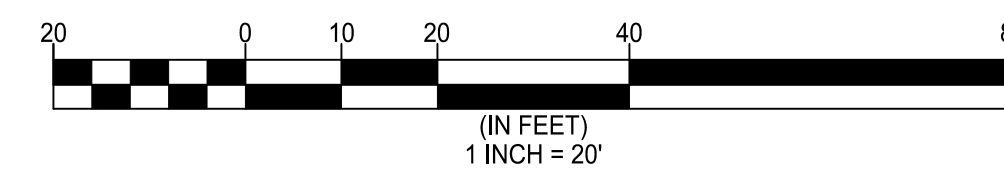
SD 16470	
CURB INLET TOP =	201.52
15" RCP OUT (SD : 6460) =	198.12
SD 16476	
CURB INLET TOP =	201.43
15" RCP OUT (SD : 6460) =	197.48
SD 16480	
MANHOLE TOP =	200.93
15" RCP IN (SD : 6470) =	197.13
15" RCP IN (SD : 6476) =	196.93
30" RCP IN (NORCH) =	196.58
30" RCP OUT (SD : 6497) =	196.53
SD 16504	
MANHOLE TOP =	202.94
4" PVC IN (S.WEST) =	201.04
15" RCP OUT (SD : 6497) =	198.64
SD 16497	
MANHOLE TOP =	201.57
15" RCP IN (SD : 6504) =	197.87
30" RCP IN (SD : 6480) =	196.47
30" RCP OUT (SD : 6606) =	196.37
SD 95c	
CURB INLET TOP =	203.55
15" FLEX OUT (SD : 6606) =	199.83
SD 16606	
MANHOLE TOP =	203.38
15" FLEX IN (SD : 950) =	198.73
30" RCP IN (SD : 6497) =	195.93
30" RCP OUT (S.EAST) =	195.08

**SANITARY SEWER AS-BUILTS**

SMH 11767/838	
MANHOLE TOP =	203.65
8" INV IN (NORTH) =	193.81
8" INV OUT (EAST) =	193.50
8" INV OUT (SMH 11806) =	192.04
SMH 11806/837	
MANHOLE TOP =	199.48
8" INV IN (SMH : 11767) =	187.98
8" INV OUT (W.E.S.T) =	187.92



**EXISTING CONDITIONS & DEMOLITION PLAN**



**DEMOLITION NOTES**

- SEPARATE DEMOLITION PERMIT SUBMITTED FOR BUILDING DEMOLITION AND TREE REMOVAL
- EXISTING SANITARY LATERAL TO BE FIELD LOCATED AND CAPPED ON SITE AND USED FOR FUTURE DEVELOPMENT, IF FOUND IN GOOD CONDITION. OTHERWISE, CAP TO THE MAIN.
- EXISTING ELECTRIC, TELECOM, AND GAS UTILITIES TO BE REUSED FOR FUTURE DEVELOPMENT. CONTRACTOR TO COORDINATE WITH PRIVATE UTILITY COMPANIES FOR UTILITY DISCONNECTION.
- ALL FEATURES WITHIN THE LIMITS OF DISTURBANCE ARE TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
- RECORDS SHOW AN EXISTING 5/8" WATER METER SERVING THIS SITE. THE EXISTING METER WAS NOT ABLE TO BE LOCATED. CONTRACTOR TO LOCATE METER AND CAP AND ABANDONED PER COUNTY STANDARDS.

**DEMOLITION LEGEND**

- [Hatched Box] TO BE REMOVED
- [Dashed Line] LIMITS OF CLEARING AND GRADING
- [X] TREES TO BE REMOVED

**LEGEND**

- CE ..... CELLAR ENTRANCE
- CH ..... CHIMNEY
- CP ..... COVERED PORCH
- CO ..... CLEANOUT
- CONC ..... CONCRETE
- EL ..... EAVE LINE
- EM ..... ELECTRIC METER
- EP ..... EDGE OF PAVEMENT
- FDC ..... FIRE DEPARTMENT CONNECTION
- FF ..... FIRST/FINISH FLOOR ELEVATION
- GM ..... GAS METER
- GV ..... GAS VALVE
- HPS ..... HAND PLACED STONE
- INV ..... INVERT
- IPF ..... IRON PIN FOUND (PROPERTY CORNER)
- IPS ..... IRON PIN SET (PROPERTY CORNER)
- LSW ..... LANDSCAPING WALL
- P ..... PLANTER
- RCP ..... REINFORCED CONCRETE PIPE
- SD ..... STORM SEWER STRUCTURE
- SMH ..... SANITARY SEWER STRUCTURE
- SO ..... SQUARE FEET
- WDF ..... WOODEN FENCE
- WM ..... WATER METER
- WV ..... WATER VALVE
- WY ..... WALKWAY
- △ ..... FIRE HYDRANT
- ◇ ..... DOORWAY/ENTRANCE
- ∅ ..... UTILITY POLE
- ☆ ..... LIGHT POLE
- X- ..... FENCE
- > ..... GUY WIRE
- > ..... OVERHEAD WIRES
- E- ..... UNDERGROUND ELECTRIC LINE
- G- ..... UNDERGROUND GAS LINE
- S- ..... UNDERGROUND SANITARY LINE
- W- ..... UNDERGROUND STORM SEWER LINE
- W- ..... UNDERGROUND WATER LINE
- ..... TREE
- ..... LIMITS OF TREE CANOPY/VEGETATION
- ..... CURB AND GUTTER
- ..... SPOT ELEVATION
- ..... SIGN
- ..... MAILBOX (PRIVATE)

**ADVANCE COPY**

**EXISTING CONDITIONS & DEMOLITION PLAN**

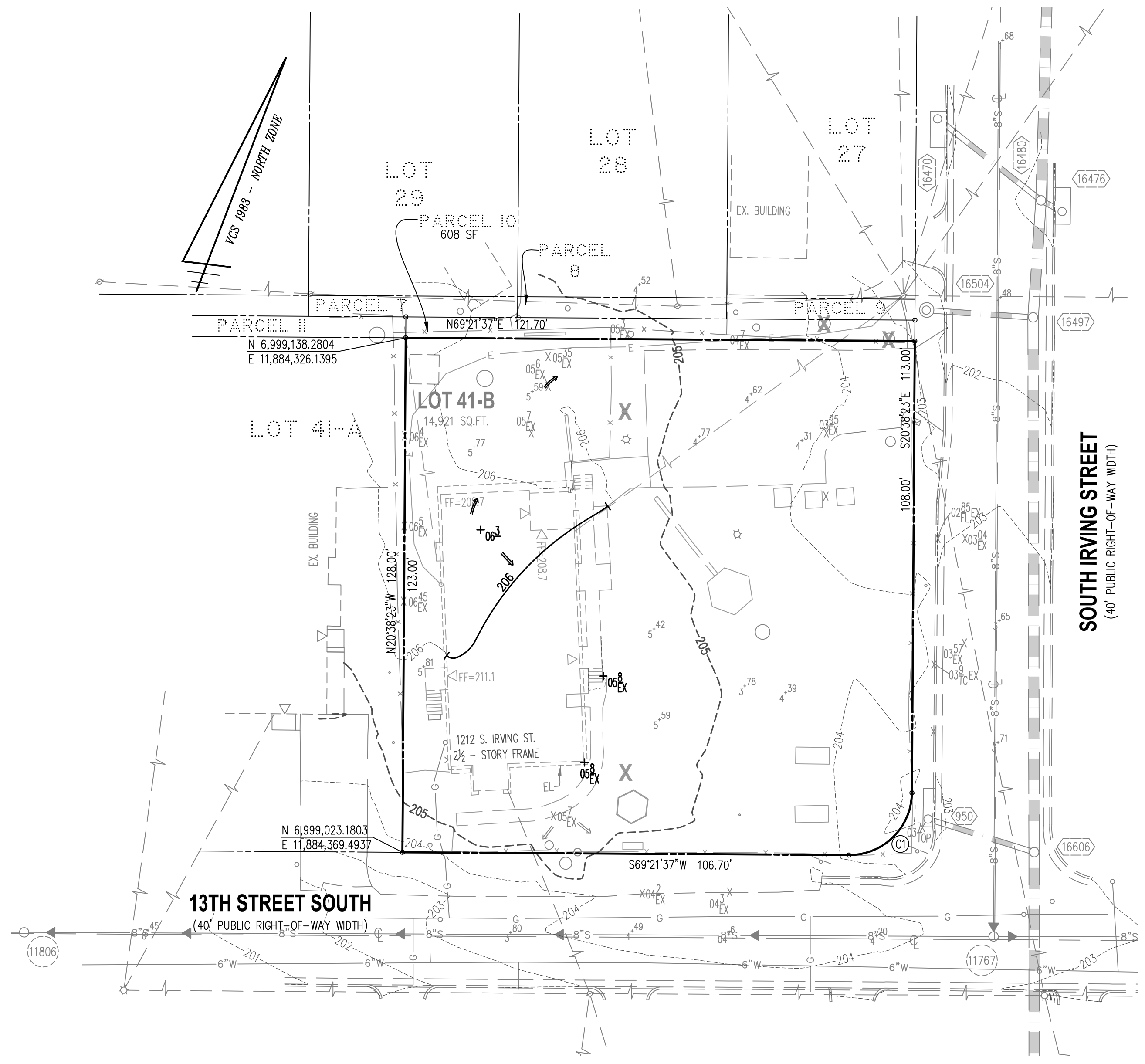
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ARLINGTON COUNTY, VIRGINIA

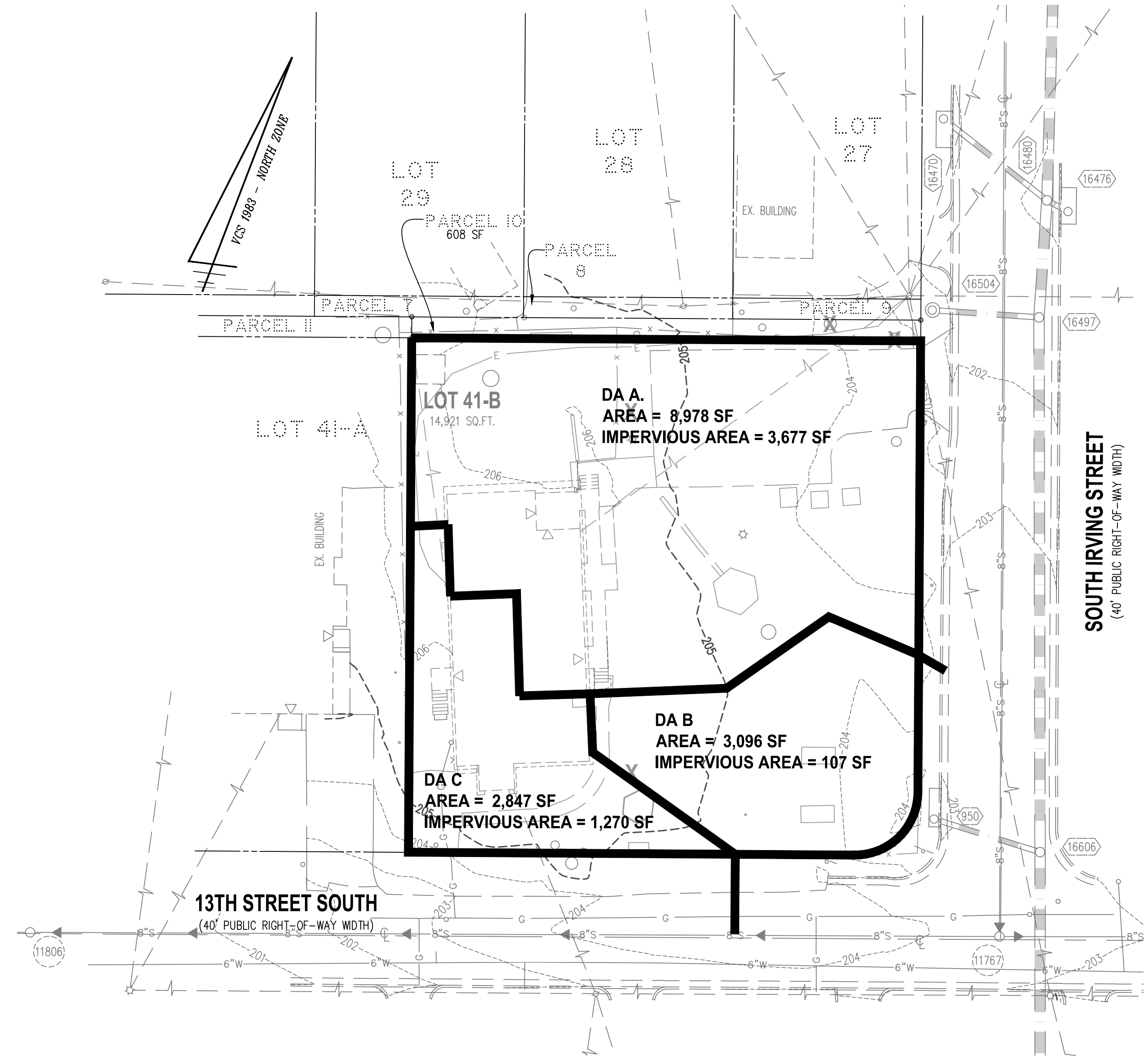
SCALE: 1" = 20' DRAWN DL CHECKED KW  
SUBMITTED DATE REVISION FOR PERMIT: 05/21/2021  
APPROVED DATE DIRECTOR OF ENVIRONMENTAL SERVICES  
SHEET: **C-0301**





**INTERIM GRADING**

1" = 20'



**EXISTING DRAINAGE DIVIDES**

1" = 20'

**LEGEND**

- CE..... CELLAR ENTRANCE
- CH..... CHIMNEY
- CP..... COVERED PORCH
- CO..... CLEANOUT
- CONC..... CONCRETE
- EL..... EAVE LINE
- EM..... ELECTRIC METER
- EP..... EDGE OF PAVEMENT
- FDC..... FIRE DEPARTMENT CONNECTION
- FF..... FIRST/FINISH FLOOR ELEVATION
- GM..... GAS METER
- GV..... GAS VALVE
- HPS..... HAND PLACED STONE
- INV..... INVERT
- IPF..... IRON PIN FOUND (PROPERTY CORNER)
- IPS..... IRON PIN SET (PROPERTY CORNER)
- LSW..... LANDSCAPING WALL
- P..... PLANTER
- RCP..... REINFORCED CONCRETE PIPE
- SD..... STORM SEWER STRUCTURE
- SMH..... SANITARY SEWER STRUCTURE
- SO..... SQUARE FEET
- WDF..... WOODEN FENCE
- WM..... WATER METER
- WV..... WATER VALVE
- WY..... WALKWAY
- △..... FIRE HYDRANT
- ◇..... DOORWAY/ENTRANCE
- ..... UTILITY POLE
- ☆..... LIGHT POLE
- X—..... FENCE
- X—..... GUY WIRE
- E—..... OVERHEAD WIRES
- E—..... UNDERGROUND ELECTRIC LINE
- G—..... UNDERGROUND GAS LINE
- S—..... UNDERGROUND SANITARY LINE
- W—..... UNDERGROUND STORM SEWER LINE
- W—..... UNDERGROUND WATER LINE
- ..... TREE
- ..... LIMITS OF TREE CANOPY/VEGETATION
- E—..... CURB AND GUTTER
- 123'..... SPOT ELEVATION
- ▽..... SIGN
- ☐..... MAILBOX (PRIVATE)



**EXISTING DRAINAGE DIVIDES & INTERIM GRADING**

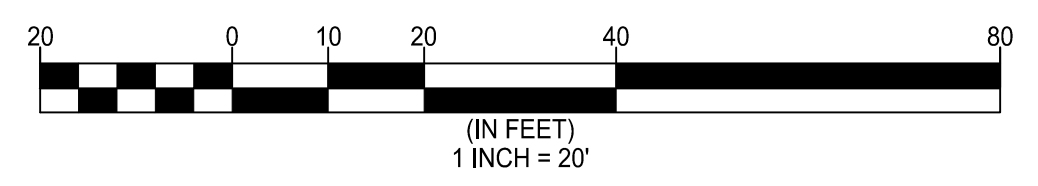
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aisherwood@wlpinc.com

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DEPARTMENT OF ENVIRONMENTAL SERVICES  
**1212 SOUTH IRVING STREET**  
LOT 41B, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON  
DEMOLITION PLAN  
ARLINGTON COUNTY, VIRGINIA

**CURVE TABLE**

NO.	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	15.00'	23.56'	90°00'00"	15.00'	21.21'	S 24°21'37" W



SCALE: 1"=20' DRAWN DL CHECKED KW  
SUBMITTED DATE 12/21/20  
APPROVED DATE  
DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-0302**



R-5 Districts	What is the zoning of your lot? Check the zoning map, or your assessment record.	If your lot is zoned R-5, go to #1
Max Lot Coverage	Max Lot Coverage w/ Front Porch	Max Lot Coverage w/ Rear Detached Garage
45%	48%	50%
		53%
		34%
		37%
		2380 sq. ft.
		2590 sq. ft.

Your property must meet the requirements for the lot and for the house (main building). The main building footprint shall include all parts of a main building that rest, directly or indirectly, on the ground, including, by way of illustration and not by limitation, attached garages, bay and oriel windows with floor space, chimneys, porches, decks with floor heights that are four feet or higher above finished grade, balconies with horizontal projections that are four feet or more, and covered breezeways connected to a main building. Total lot coverage includes the footprint of the main building, and the total footprints of all accessory buildings that have either footprints larger than 150 sq. ft., or heights of two stories or more, driveways and parking pads, including, without limitation, any unpaved center strip or other portion of the driveway and any lot area regularly used for maneuvering or parking of vehicles, whether paved or unpaved, patios that are eight inches or higher above finished grade, decks that are four feet or higher from finished grade that are not attached to a main building, gazebos and pergolas, whether enclosed or unenclosed and with or without foundations, stoops and landings (including those associated with stairs) that are four feet or higher above finished grade, and in-ground swimming pools.

#1 How many square feet is your lot?  
 #2 How many square feet is the footprint of your main building?  
 - Main Dwelling  
 - Attached garages  
 - Bay or oriel windows with floor space  
 - Chimneys  
 - Porches  
 - Decks that are four feet or higher above finished grade  
 - Balconies with horizontal projections that are four feet or more  
 - Covered breezeways connected to a main building

	14,921 sq. ft.
Subtotal =	2,584 sq. ft.
Main Building Footprint =	2,584 sq. ft.
Main Building Footprint Coverage =	17.32%

Do you have a front porch with a footprint of at least 60 sq. ft.? If so, you are permitted to cover 2590 sq. ft. or 37% of the lot.

YES

Is your front porch footprint less than 60 sq. ft.? If so, you are permitted to cover 2380 or 34% of the lot.

NO

Add all items in #2.

Subtotal = 2,584 sq. ft.

Divide the main building footprint (#2) by your lot size (#1) and multiply by 100. If your lot is smaller than 5000 sq. ft. divide (#2) by the required lot size (5000 sq. ft.) as permitted by Section 3.2.5.A.2.

Main Building Footprint Coverage = 17.32%

#3 What is your total lot coverage?  
 - Main building footprint (answer for #2)  
 - Accessory buildings that have either footprints larger than 150 sq. ft., or heights of two stories or more  
 - Driveways and parking pads  
 - Patios that are eight inches or higher above finished grade  
 - Decks that are four feet or higher from finished grade that are not attached to a main building  
 - Gazebos or pergolas  
 - Stoops and landings (including those associated with stairs) that are four feet or higher above finished grade  
 - In-ground swimming pools

	2,584 sq. ft.
	0 sq. ft.
	2421 sq. ft.
	0 sq. ft.
	36 sq. ft.
	0 sq. ft.
	0 sq. ft.
	0 sq. ft.
Subtotal =	5,041 sq. ft.

Do you have a front porch with a footprint of at least 60 sq. ft.? If so, you are permitted a total coverage of 48%.

YES

Do you have a rear detached garage with a footprint of at least 150 sq. ft.? If so, you are permitted a total coverage of 50%.

NO

Do you have a front porch with a footprint of at least 60 sq. ft. and a detached garage with a footprint of at least 150 sq. ft.? If so, you are permitted a total coverage of 53%.

NO

If you answered no to all of the above you are permitted a total lot coverage of 45%.

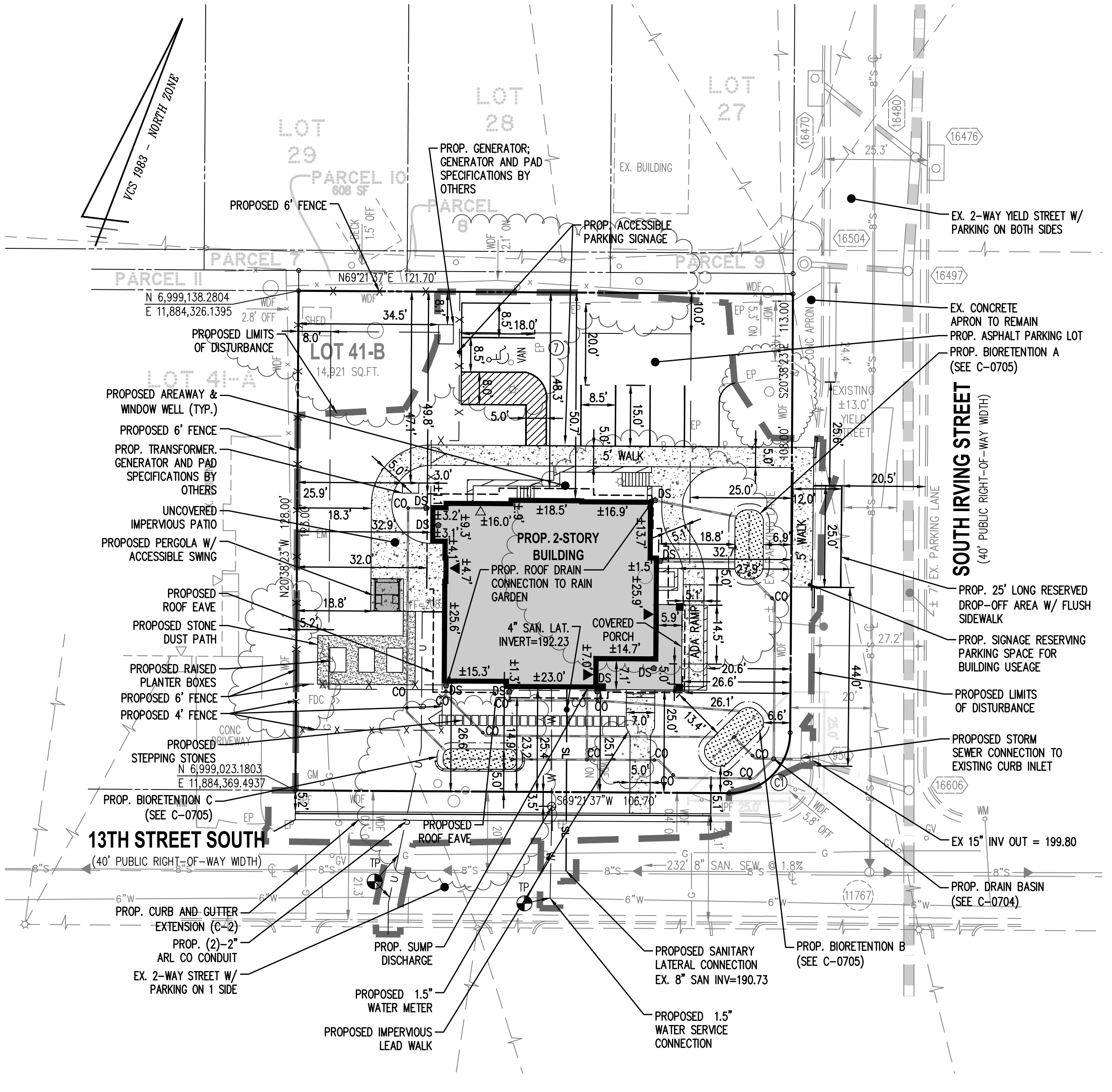
NO

Add all items in #3.

Total Lot Coverage = 5,041 sq. ft.

Divide the total lot coverage (#3) by your lot size (#1) and multiply by 100.

Lot Coverage Percentage = 33.78%



LAYOUT PLAN

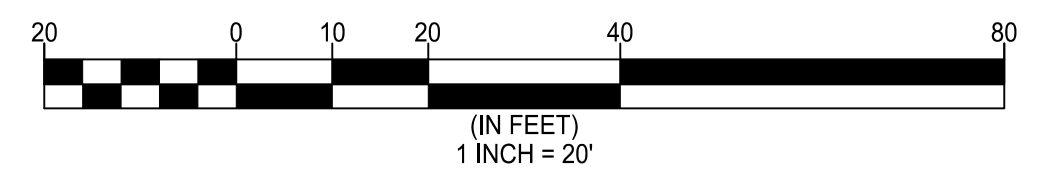
NOTES:

- WATER METER NOTES:
- CONTRACTOR TO MAKE ARRANGEMENTS WITH THE COUNTY--WSS DEPARTMENT FOR WATER METER INSTALLATION
  - THE METER AND WATER SERVICE FROM THE METER TO THE WATER MAIN SHALL BE INSTALLED BY THE COUNTY
  - A MINIMUM OF 5' HORIZONTAL CLEARANCE IS REQUIRED AROUND THE WATER METER.
  - WATER METER SHALL BE LOCATED WITHIN THE RIGHT-OF WAY, PREFERABLY WITHIN THE LANDSCAPE OR UTILITY STRIP
  - A MINIMUM OF 5 FEET COPPER LINE AND FITTINGS IS REQUIRED FROM THE METER TO THE DOMESTIC LINE CONNECTION. NO OTHER PIPE OR FITTING TYPES SHALL BE CONNECTED WITHIN THIS LOCATION.
  - THE OWNER OR PERMIT HOLDER OR REPRESENTATIVE THEREOF SHALL BE RESPONSIBLE TO REPAIR/RESTORE ALL STREETSCAPE ELEMENTS WITHIN THE ROW FROM THE METER TO THE PROPERTY LINE. ARLINGTON COUNTY OR ITS REPRESENTATIVE THEREOF SHALL ONLY BE RESPONSIBLE FOR FULL REPLACEMENT OF THE ROW ELEMENTS FROM THE METER TO THE MAIN.
  - A BACKUP WATER PREVENTER WILL BE INSTALLED ALONG THE WATER SERVICE LINE.

- SANITARY LATERAL NOTES:
- REQUIREMENTS FOR THE SANITARY SEWER LATERAL CONNECTION TO SANITARY SEWERMAIN  
 AT THE TIME THE SANITARY SEWER LATERAL IS PHYSICALLY CONNECTED TO THE PUBLIC SEWER, IT MUST BE WITNESSED BY AN ARLINGTON COUNTY INSPECTOR.
  - REQUIREMENTS FOR THE SANITARY SEWER TAP INSPECTION  
 THE EXISTING SANITARY SEWER LATERAL CAN BE REUSED IF FOUND TO BE IN GOOD CONDITION UPON INSPECTION AND APPROVAL BY THE ARLINGTON COUNTY PLUMBING INSPECTOR. IF IT IS DETERMINED THAT THE EXISTING LATERAL CANNOT BE REUSED, IT SHALL BE CAPPED OFF AT THE SEWERMAIN BY THE OWNER'S PLUMBING CONTRACTOR. A NEW LATERAL SHALL BE REQUIRED FROM THE HOUSE TO THE MAIN. THE CONTRACTOR IS RESPONSIBLE FOR CALLING THE PLUMBING INSPECTOR AT (703) 228-3800 TO SET AN APPOINTMENT FOR LATERAL INSPECTION.  
 THE OWNER IS RESPONSIBLE TO PROVIDE PROOF OF THE EXISTING LATERAL CONDITION. THIS CAN BE VIA A CERTIFIED TV INSPECTION. TO BE PERFORMED AT THE INSPECTION, THE ALTERNATIVE IS TO REPLACE THE LATERAL FROM THE PROPERTY TO THE MAIN.  
 IF AFTER THE APPROVAL OF THE PROPOSED DEVELOPMENT PLAN AND DURING CONSTRUCTION, THE LOCATION OF THE LATERAL IS CHANGED, A REVISION OR ASBUILT PLAN SHALL BE REQUIRED TO BE SUBMITTED TO THE COUNTY PRIOR TO THE APPROVAL OF ADDITIONAL PERMITS TO INCLUDE THE CERTIFICATE OF OCCUPANCY.
  - REQUIREMENTS FOR THE SANITARY SEWER TAP CARD  
 A SEWER TAP CARD IS REQUIRED FOR THE SEWER LATERAL CONNECTING TO THE COUNTY SEWERMAIN. THE SEWER TAP CARD FORM MUST BE FILLED OUT BY THE PLUMBING CONTRACTOR AND SUBMITTED TO THE COUNTY PLUMBING INSPECTOR, SHOWING DETAILS OF THE SEWER LATERAL CONNECTION. THE INFORMATION MUST INCLUDE:  
 • A DIAGRAM SHOWING A LAYOUT/ORIENTATION OF THE CONNECTION FROM THE PROPERTY LINE TO THE SEWERMAIN.  
 • THE DISTANCE/LENGTH FROM THE CLOSEST MANHOLE TO THE LATERAL TAP LOCATION ON THE SEWER MAIN.  
 • THE INVERT OR CROWN ELEVATION AT THE SEWER MAIN AND SEWER LATERAL CONNECTION MEASURED FROM A REFERENCED SURFACE (WHERE APPLICABLE FOR NEW TAP ONLY).  
 • THE INVERT (DEPTH) AT THE PROPERTY LINE WHERE THE SEWER LATERAL CROSSES FROM THE RIGHT-OF-WAY INTO THE PROPERTY.  
 • THE INVERT (DEPTH) AT THE FIRST CLEAN OUT ON THE PROPERTY (WHERE APPLICABLE).

LEGEND

PROPOSED	DESCRIPTION	EXISTING
CG-2	CURB & GUTTER	CG-2
CG-6	TRANSITION FROM CG-6 TO CG-6R	CG-6
SS	SANITARY SEWER	SS
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
ST	STORM SEWER	ST
W	WATER MAIN	W
FH	FIRE HYDRANT	FH
P	PLUG	P
OW	OVERHEAD WIRES	OW
UP	UTILITY POLE	UP
UE	UNDERGROUND ELECTRIC	UE
T	TELEPHONE	T
G	GAZ MAIN	G
E	ELECTRICAL	E
TR	TRANSFORMER	TR
HR	HANDICAP RAMP (CG-12)	HR
GR	GUARDRAIL	GR
F	FENCE	F
TF	TRAFFIC FLOW	TF
L	LIGHT	L
D	DOOR	D
T	TREES	T
260	CONTOURS	260
264	CONTOURS	264
+264.50	SPOT ELEVATION	+264.50
DR	DRAINAGE FLOW DIRECTION	DR
TC	TOP OF CURB	TC
BC	BOTTOM OF CURB	BC
TW	TOP OF WALL	TW
BW	BOTTOM OF WALL	BW
HP	HIGH POINT	HP
TP	TEST PIT	TP
LC	LIMITS OF CLEARING AND GRADING	LC



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NOTES

- ALL CONNECTIONS (INCLUDING THE PIPE) MADE TO THE COUNTY STORM SEWER SYSTEM ARE CONSIDERED PRIVATE AND ANY REQUIRED REPAIR OR MAINTENANCE SHALL BE RESPONSIBILITY OF THE CURRENT AND FUTURE PROPERTY OWNER.
- CONNECTION SHALL BE CORE DRILLED IN THE PRESENCE OF THE ASSIGNED DES INFRASTRUCTURE INSPECTOR

PROPOSED SANITARY LATERAL SCHEDULE

ADDRESS	MANHOLE IN	MANHOLE OUT	LATERAL SLOPE	STATION (FROM IN)	8" MAIN INVERT	4" INVERT @ MAIN	LENGTH TO C.O.	4" INV. @ C.O. (2.08%)	LENGTH TO FAR END	4" INV. @ FAR END	L.L. ELEV.
1212 South Irving Street	11806	11767	2.08%	1+57	190.73	191.40	39.71	192.23	60	193.47	195.00

ZONING

R-5	MIN. REQUIRED	PROVIDED
LOT AREA	5,000 SF	14,921 SF (0.3425 AC)
LOT WIDTH	50'	121' (EXISTING LOT)

SETBACK REQUIREMENTS (MAIN BUILDING)

	REQUIRED	PROVIDED
S IRVING ST	25' TO PL	25.4' TO PL
13TH ST S (FRONT)	25' TO PL	32.7' TO PL
SIDE	18' TOTAL 10' MIN. (ONE CAN BE REDUCED TO 8')	32.9', 50.7'

NOTES

- BUILDING COVERAGE AREA INCLUDES EXTERIOR TREATMENT.
- SETBACK DIMENSIONS INCLUDE EXTERIOR TREATMENT.
- IF A NEW METER IS REQUIRED, THE LOCATION OF THE NEW METER SHALL BE STAKED OUT BY THE DEVELOPER/OWNER WITH INFORMATION TO BE PROVIDED TO THE COUNTY METER INSTALLERS.
- CONTRACTOR/OWNER TO LOCATE & PROVIDE A TV VIDEO INSPECTOR REPORT FOR THE SANITARY LATERAL FOR EVIDENCE THAT IT IS IN GOOD CONDITION TO REMAIN. OTHERWISE, LATERAL SHALL BE REPLACED TO THE MAIN.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE AN EXCAVATION PERMIT
- PROPOSED BUILDING'S AC UNITS REPLACED BY GEOTHERMAL FIELD (BY OTHERS). GEOTHERMAL FIELD TO BE LOCATED WITHIN SHOWN LIMITS OF DISTURBANCE.

Hold Harmless Agreement

January 29, 2021

Steve Bridgett  
 Permitting and Customer Service Supervisor  
 2100 Clarendon Boulevard, Suite 800  
 Arlington, Virginia 22201

Re: Hold Harmless Agreement

Mr. Bridgett:

We are building a house that is currently under construction at 1212 South Irving St, Arlington, VA. There is an existing Arlington County Street ROW along the frontage of this property. We have private storm lateral(s) crossing and connecting this easement, going from the property to the street. We understand that, as the current property owner, it is our responsibility to restore/repair the storm lateral if the County needs to make any improvements in the street ROW. We therefore hold the County or its representative Harmless for any future work to be performed within the easement that may impact the utilities or infrastructure improvements we have within the easement area.

We appreciate any assistance in expediting our permit.

Signed:  
  
 Signature  
 Arlington County Government  
 1212 S Irving Street, Arlington VA 22204  
 703-228-1659 or 703-228-4438  
 lbrown@arlingtonva.us or cwilson@arlingtonva.us

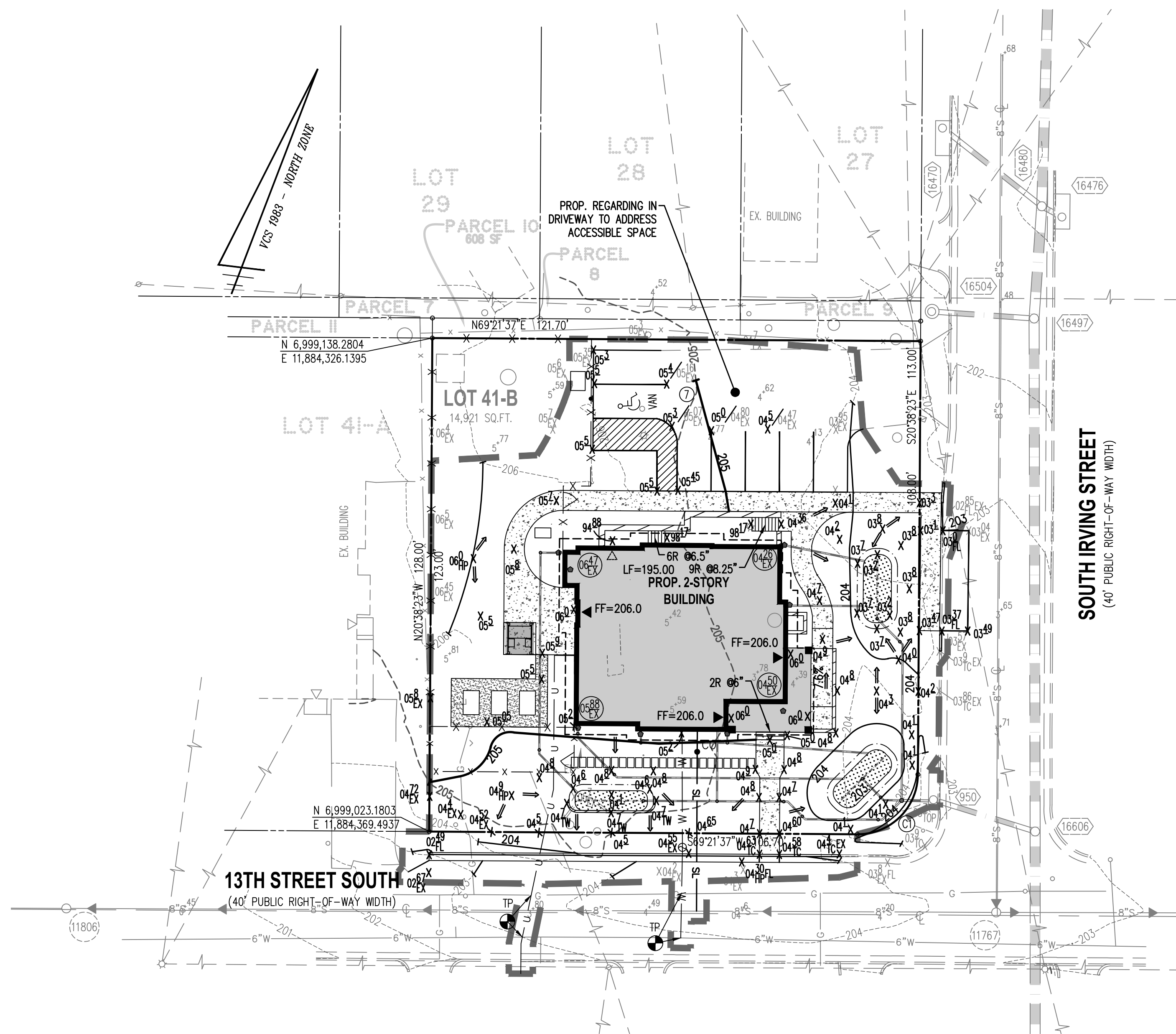
**WALTER L. PHILLIPS** INCORPORATED ESTABLISHED 1945  
 Engineers • Surveyors • Planners  
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 207 PARK AVENUE  
 FALLS CHURCH, VIRGINIA 22046  
 (703) 532-6163 Fax (703) 533-1301  
 www.WLPINC.com  
 email: bschitter@wlpinc.com

**ARLINGTON, VIRGINIA**  
**DEPARTMENT OF ENVIRONMENTAL SERVICES**  
**1212 SOUTH IRVING STREET**  
**GRADING PLAN**  
**ARLINGTON COUNTY, VIRGINIA**

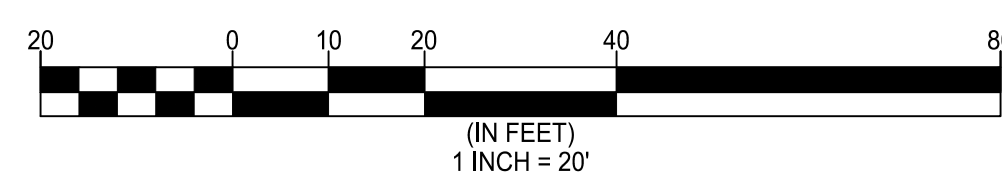
SCALE: 1" = 20'  
 DRAWN DL  
 CHECKED KW  
 SUBMITTED DATE  
 REVISION FOR PERMIT: 05/21/2021  
 APPROVED DATE  
 DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-0401**





**GRADING PLAN**

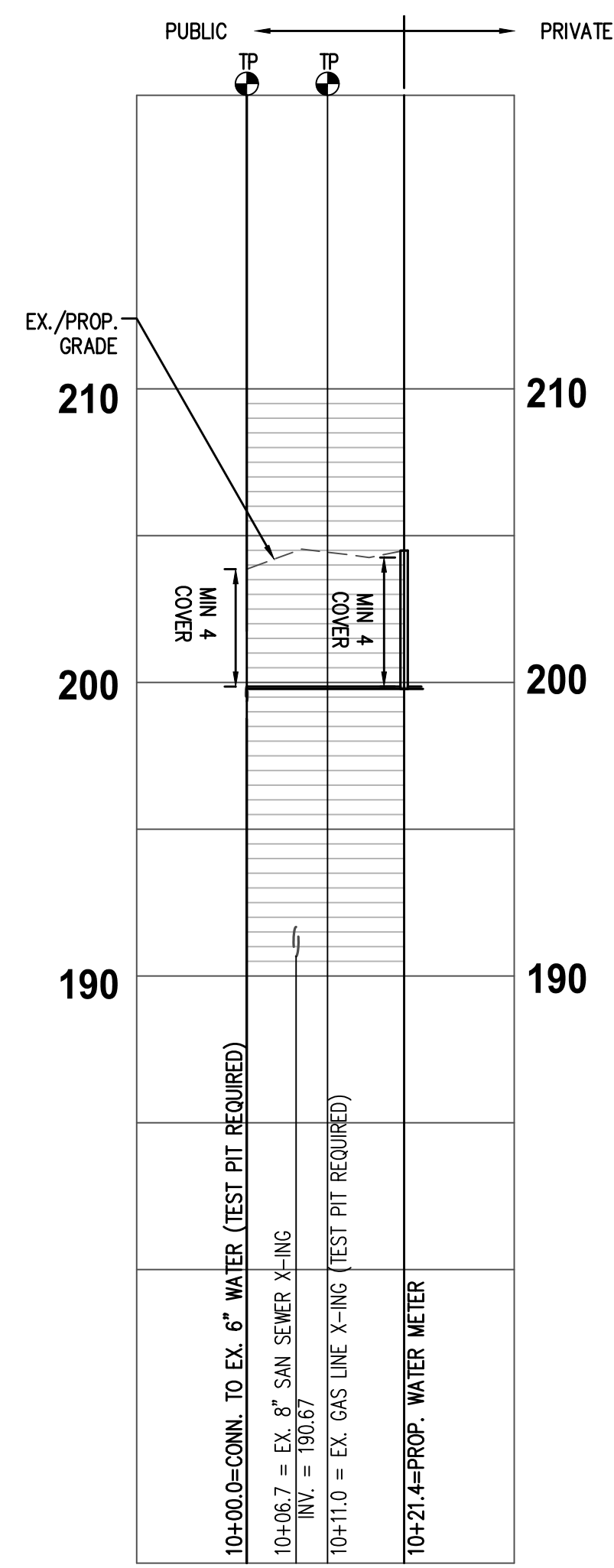


**BUILDING HEIGHT CALCULATION**

**BUILDING HEIGHT ELEVATION (MAIN BUILDING)**  
 (FROM EXISTING GRADE AT 4 CORNERS)  
 $206.47 + 204.25 + 204.5 + 205.88 = 821.1 / 4 = 205.28$   
 MAX BUILDING HT ALLOWED = 35' FROM AVG. GRADE  
 $205.28 + 35 = 240.28$  (MAX. MIDPOINT OF ROOF)  
 BUILDING HT. FROM FF = 27.67'  
 BUILDING HT. PROVIDED = 27.67' + 206 = 233.67'  
 233.67' < 240.28' ALLOWABLE

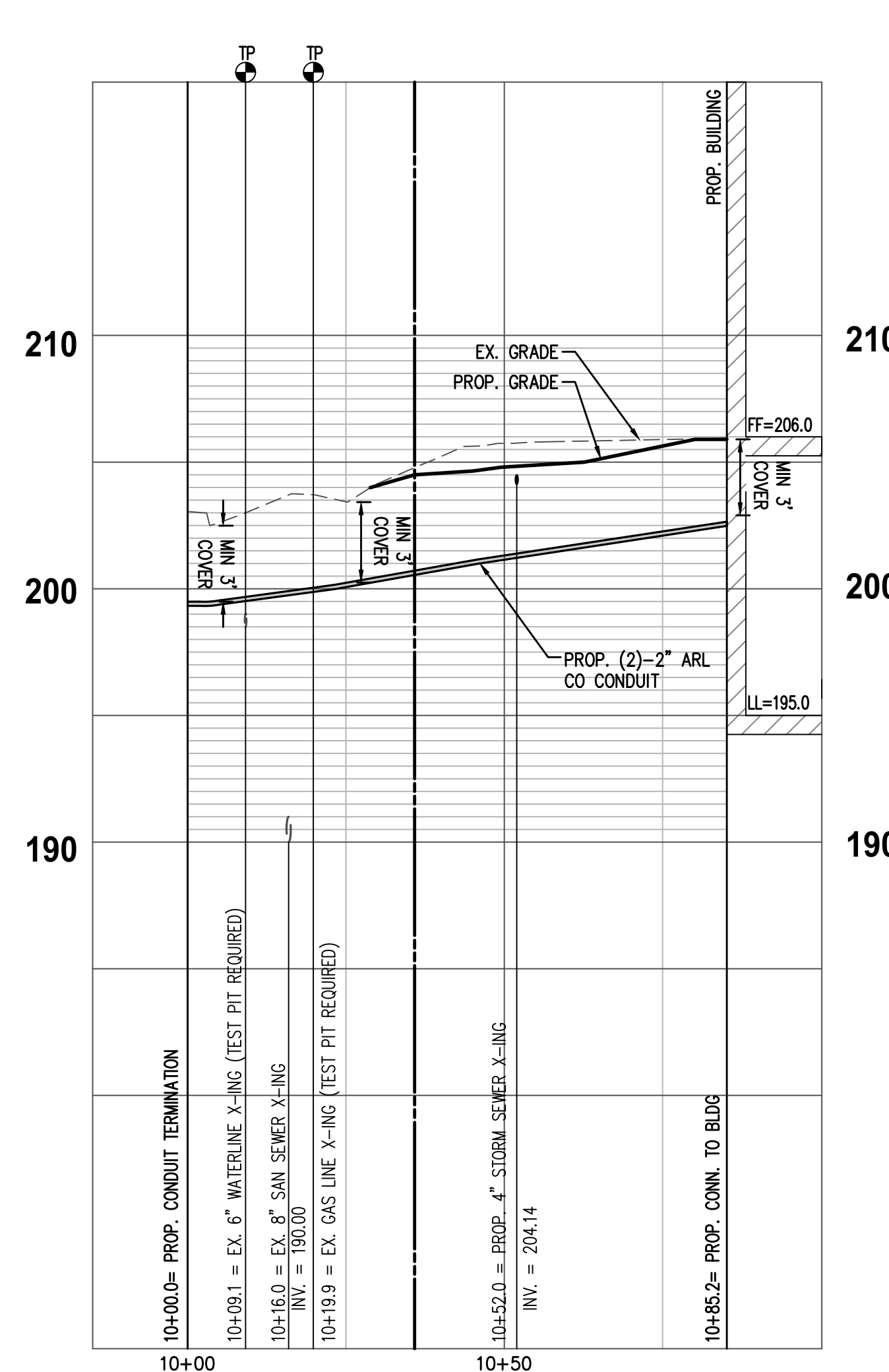
**PROP. DOMESTIC SERVICE**

SCALE: HOR. 1" = 20'  
 VERT. 1" = 5'



**PROP. (2)-2" ARLINGTON COUNTY CONDUIT**

SCALE: HOR. 1" = 20'  
 VERT. 1" = 5'



PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF CLEARING AND GRADING	

**ADVANCE COPY**

**GRADING PLAN**

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ARLINGTON, VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
**1212 SOUTH IRVING STREET**  
 LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON  
 GRADING PLAN  
 ARLINGTON COUNTY, VIRGINIA

SCALE: 1" = 20'	DRAWN DL	CHECKED KW
SUBMITTED DATE		
REVISION FOR PERMIT: 05/21/2021		
		APPROVED DATE
		DIRECTOR OF ENVIRONMENTAL SERVICES
SHEET: <b>C-0501</b>		



**EROSION & SEDIMENT CONTROL NARRATIVE:**

**PROJECT DESCRIPTION**

THE PURPOSE OF THIS PROJECT IS TO BUILD A SINGLE FAMILY HOME AT 1212 S. IRVING STREET. THE LOT SIZE IS 14,921 SF (0.3425 ACRES). THE TOTAL DISTURBED AREA IS 15,635 SF (0.3474 AC) AND INCLUDES 2,172 SF OF OFFSITE DISTURBANCE. THE DISTURBED AREA INCLUDES DEMOLITION OF EXISTING FEATURES AS SHOWN ON THE DEMOLITION PLAN; AND THE CONSTRUCTION OF THE NEW HOUSE, DRIVEWAY, AND RELATED UTILITY CONNECTIONS. THE SEQUENCE OF CONSTRUCTION WILL BE THE PLACEMENT OF EROSION CONTROL MEASURES, REMOVAL OF THE EXISTING FEATURES AS SHOWN ON THE DEMOLITION PLAN, THEN CONSTRUCTION OF THE PROPOSED HOUSE, DRIVEWAY, SITE IMPROVEMENTS LISTED ABOVE AND PLANTING THE PROPOSED LANDSCAPING.

**EXISTING SITE CONDITIONS**

THE 0.342 ACRE SITE IS CURRENTLY 33.6% IMPERVIOUS FROM EXISTING BUILDING, PORCH, DRIVEWAY, WALLS, AND WALKS. THE SITE OUTFALLS TO THE PUBLIC STREETS. THE SITE SLOPES AT APPROXIMATELY 12% TO 13TH STREET AND 2-5% TO SOUTH IRVING STREET. THERE ARE A MATURE TREES, TURF, AND OTHER LANDSCAPE MATERIAL TYPICAL OF A RESIDENTIAL SITE IN THIS AREA. ONE TREE IN THE NORTHEAST CORNER IS PROPOSED TO BE SAVED. OTHERS WILL BE REMOVED DUE TO THE PLACEMENT OF THE HOUSE, AND ASSOCIATED GRADING. SEE SHEET C-1201 FOR MORE INFORMATION.

**ADJACENT PROPERTY**

SINGLE FAMILY RESIDENTIAL HOMES ARE ADJACENT TO THE PROPERTY TO THE NORTH AND WEST. THE EAST SIDE OF THE PROPERTY FACES SOUTH IRVING STREET AND THE SOUTH SIDE FACES 13TH STREET SOUTH.

**OFF-SITE AREAS**

PROPOSED UTILITIES, WALKS, NEW CURB & GUTTER ALONG THE 13TH STREET SOUTH FRONTAGE AND CAPPING UTILITY SERVICES ARE INCLUDED IN THIS PLAN.

**SOILS**

SEE CHARTS, THIS SHEET.

**CRITICAL AREA**

THERE ARE NO CRITICAL AREAS ON SITE.

**EROSION AND SEDIMENT CONTROL MEASURES**

- SILT FENCE: VESCH 3.05
- CONSTRUCTION ENTRANCE: VESCH 3.02
- DEWATERING DEVICE: VESCH 3.26
- TREE PROTECTION: VESCH 3.38
- DUST CONTROL: VESCH 3.39

E&S WILL BE LIMITED TO ONE PHASE AND WILL INCLUDE SILT FENCE, TREE PROTECTION INLET PROTECTION, AND A CONSTRUCTION ENTRANCE. THE CONSTRUCTION ENTRANCE SHALL BE PLACED ALONG THE EXISTING DRIVEWAY. ALL CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF LAND DISTURBING ACTIVITIES (INCLUDING ROOT MATTING) AND SHALL REMAIN IN PLACE UNTIL ALL THE ACTIVITIES ARE COMPLETE AND ON-SITE SOIL HAS BEEN STABILIZED.

CONTRACTOR TO CONTROL DUST DURING CONSTRUCTION THROUGH IRRIGATION IN ACCORDANCE WITH VESCH STANDARDS. THE DEWATERING DEVICE SHALL BE USED AS NECESSARY.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH VESCH STANDARDS.

**PERMANENT STABILIZATION:**

PERMANENT SOIL STABILIZATION SHALL BE IN ACCORDANCE WITH VESCH SECTIONS 3.29 TO 3.36. ANY SOIL NOT TO BE BROUGHT TO FINAL GRADE FOR MORE THAN 30 DAYS IS TO BE SEEDED AND MULCHED WITHIN 7 DAYS (ANY DENUDED AREA). STOCKPILES TO BE SEEDED IMMEDIATELY. AREAS LEFT DORMANT OR NOT BROUGHT TO FINAL GRADE SHALL BE PERMANENTLY SEEDED AND MULCHED.

NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 CALENDAR DAYS UNLESS IT IS AN ACTIVE WORK AREA OR OTHERWISE AUTHORIZED BY THE ARLINGTON CO. INSPECTOR. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE IMMEDIATELY STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

**STORMWATER NARRATIVE**

THIS SITE IS LOCATED IN THE POTTF\_VA (ARLINGTON BRANCH) WATERSHED. PLEASE SEE THE STORMWATER RUNOFF SUMMARY ON SHEET C-0702 FOR CALCULATIONS.

**MAINTENANCE NOTES:**

1. MAINTENANCE OF THE TEMPORARY CONSTRUCTION ENTRANCE SHALL BE AS REQUIRED TO PREVENT MUD DEPOSITS IN THE RIGHT-OF-WAY. ALL EXISTING ROADWAYS TO BE MAINTAINED IN A SEDIMENT FREE CONDITION AT ALL TIMES.
2. SILT FENCES SHALL BE INSPECTED AT THE END OF EACH DAY AND AFTER EACH RAINFALL. ANY REQUIRED REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS WILL BE REMOVED AFTER EACH RAINFALL AND AT ANY TIME THE DEPOSITS REACH APPROXIMATELY 1/2 THE HEIGHT OF THE BARRIER.
3. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN PLACE UNTIL GROUND DISTURBING ACTIVITIES, BUILDING CONSTRUCTION, AND PERMANENT STABILIZATION IS COMPLETE.

**UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE VESCH 4VAC50-30-40 MINIMUM STANDARDS:**

- A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
- E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
- F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS 4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.

ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRECONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.

ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.

ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.

ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.

ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.

ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.

ES-9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

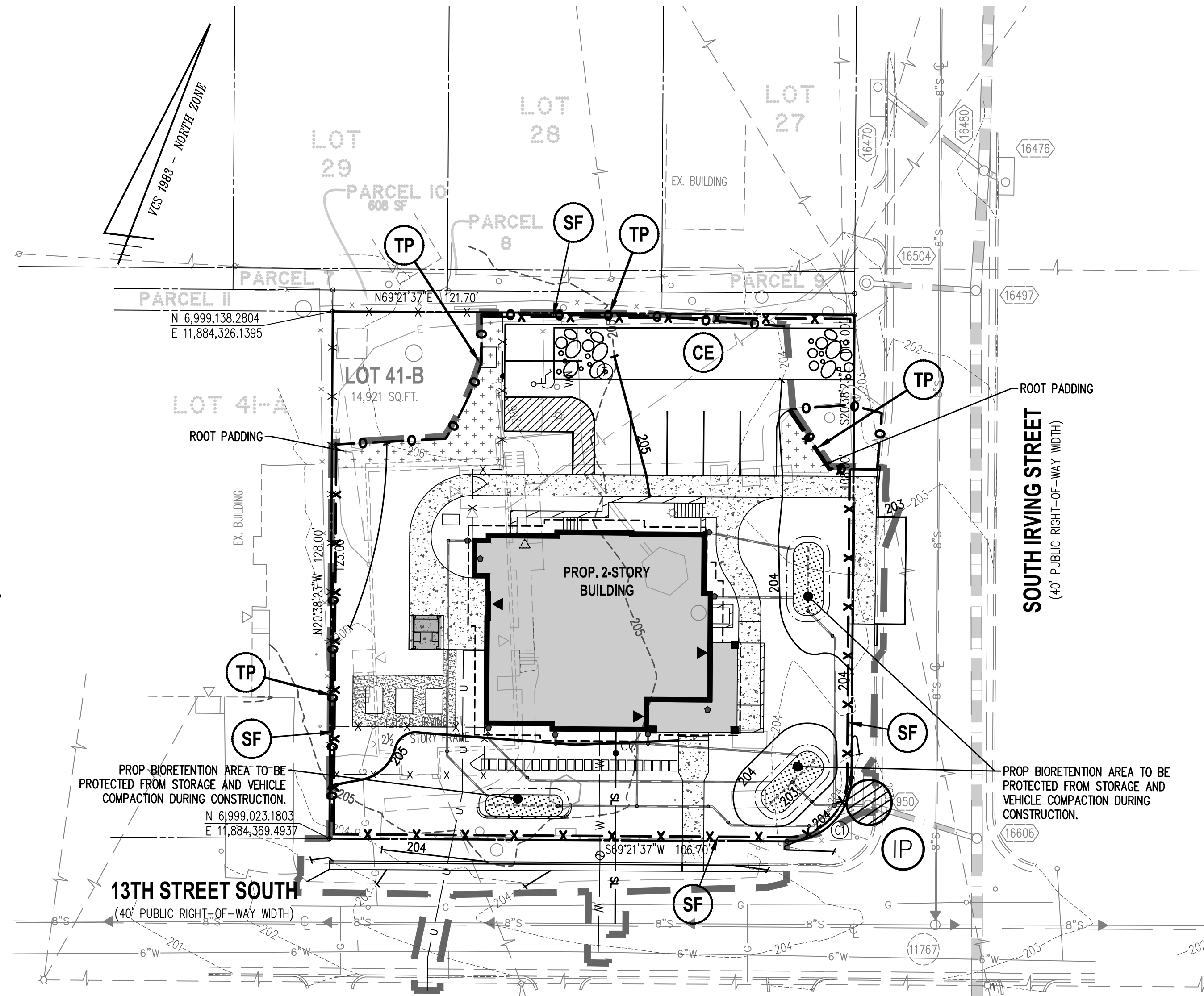
**GENERAL NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF ENVIRONMENTAL SERVICES, ENGINEERING DIVISION AT TELEPHONE NO. (703) 228-3629 AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES INCLUDING DEMOLITION OF EXISTING STRUCTURES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. THE COUNTY INSPECTION MAY REQUIRE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES IF FIELD CONDITIONS WARRANT. THE CONTRACTOR SHALL ALSO MAINTAIN AT ALL TIMES A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE SITE.
2. ALL DEBRIS FROM CLEARING AND GRADING, AND ANY EXCESS EXCAVATED MATERIAL, SHALL BE TAKE TO AN APPROVED DISPOSAL AREA.
3. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

**EROSION CONTROL LEGEND**

KEY	TITLE	SYMBOL
CE	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE (VESCH 3.02)	
SF	SILT FENCE (VESCH 3.05)	
TSF	TRENCHLESS SUPER SILT FENCE (INCLUDES TP)	
TP	TREE PROTECTION (VESCH 3.38)	
RP	ROOT PRUNING	
DW	DEWATERING DEVICE (VESCH 3.26)	
DC	DUST CONTROL (VESCH 3.39)	

LIMITS OF CLEARING AND GRADING



**EROSION AND SEDIMENT CONTROL PLAN**

SOIL TYPE: URBAN LAND-SASSAFRAS-NEABSCO COMPLEX

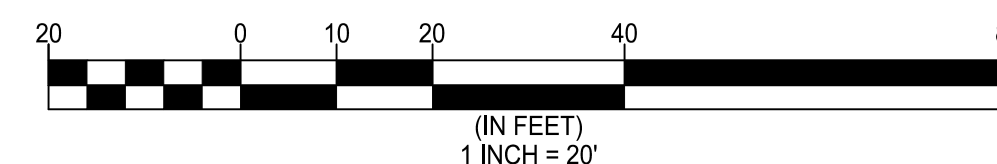
ITEM	URBAN-SASSAFRAS
TEXTURE	GR. SANDY LOAM
HYDROLOGIC SOIL GROUP	B
PERMEABILITY-SUBSOIL	MODERATELY SLOW
-FRAGIPAN	N/A
-SUBSTRATUM	MODERATE
AVAILABLE WATER CAPACITY	MODERATE
SURFACE RUNOFF	MEDIUM TO RAPID
EROSION HAZARD	MODERATE
SOIL REACTION	VERY STRONG TO STRONG ACID
ROOT ZONE DEPTH (IN)	>60
ROOT ZONE RESTRICTION	NONE
DEPTH TO BEDROCK (IN)	>60
DEPTH TO WATER TABLE (IN)	>72
TYPE OF WATER TABLE	PERCHED
FLOODING POTENTIAL	NONE
SHRINK-SWELL POTENTIAL	LOW
POTENTIAL FROST ACTION	MODERATE
CORROSIVITY - STEEL	LOW
- CONCRETE	HIGH

ITEM	NEABSCO
TEXTURE	SANDY LOAM
HYDROLOGIC SOIL GROUP	C
PERMEABILITY-SUBSOIL	MODERATE
-FRAGIPAN	SLOW
-SUBSTRATUM	MODERATELY RAPID
AVAILABLE WATER CAPACITY	LOW
SURFACE RUNOFF	MEDIUM
EROSION HAZARD	MODERATE
SOIL REACTION	VERY STRONG TO STRONG ACID
ROOT ZONE DEPTH (IN)	15 - 30
ROOT ZONE RESTRICTION	FRAGIPAN
DEPTH TO BEDROCK (IN)	>60
DEPTH TO WATER TABLE (IN)	15 - 30
TYPE OF WATER TABLE	PERCHED
FLOODING POTENTIAL	NONE
SHRINK-SWELL POTENTIAL	LOW
POTENTIAL FROST ACTION	HIGH
CORROSIVITY - STEEL	MODERATE
- CONCRETE	MODERATE

**ON-SITE SOILS**

#48 URBAN LAND-SASSAFRAS-NEABSCO COMPLEX- 3-8% SLOPES.

NOTE: ALL INFORMATION IS TAKEN FROM SOIL SURVEY OF ARLINGTON COUNTY.



**GENERAL LAND CONSERVATION NOTES:**

1. NO DISTURBED AREA WILL REMAIN DENUDED FOR MORE THAN 7 CALENDAR DAYS UNLESS OTHERWISE AUTHORIZED BY THE DIRECTOR OF HIS/HER AGENT.
2. ALL E&S CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING. FIRST AREAS TO BE CLEARED ARE TO BE THOSE REQUIRED FOR THE PERIMETER CONTROLS.
3. ALL STORM AND SANITARY SEWER LINES NOT IN STREETS ARE TO BE SEEDED AND MULCHED WITHIN 5 DAYS AFTER BACKFILL. NO MORE THAN 500' ARE TO BE OPEN AT ANY ONE TIME.
4. ELECTRIC POWER, TELEPHONE, CABLE T.V., AND GAS SUPPLY TRENCHES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN 5 DAYS AFTER BACKFILL.
5. ALL TEMPORARY EARTH BERMS, DIVERSIONS, AND SEDIMENT CONTROL DAMS ARE TO BE SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. THE SAME APPLIES TO ALL SOIL STOCKPILES.
6. DURING CONSTRUCTION, ALL STORM SEWER INLETS WILL BE PROTECTED BY INLET PROTECTION DEVICES, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
7. ANY DISTURBED AREA NOT COVERED BY NOT #1 ABOVE AND IS NOT PAVED, SODDED, OR BUILT UPON BY NOVEMBER 1, OR DISTURBED AFTER THAT DATE, SHALL BE MULCHED IMMEDIATELY WITH HAY OR STRAW MULCH AT THE RATE OF 2 TONS PER ACRE AND OVER-SEEDED NO LATER THAN MAY 15.
8. AT THE COMPLETION OF ANY PROJECT CONSTRUCTION AND PRIOR TO BOND RELEASE, ALL TEMPORARY SEDIMENT CONTROLS SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE STABILIZED. ARLINGTON COUNTY INSPECTOR TO APPROVE REMOVAL OF ALL TEMPORARY SILTATION MEASURES.

**ADVANCE COPY**

**EROSION & SEDIEMNT CONTROL PLAN**

**WALTER L. PHILLIPS** INCORPORATED ESTABLISHED 1945

Engineers • Surveyors • Planners  
Landscape Architects • Arborists  
207 PARK AVENUE  
FALLS CHURCH, VIRGINIA 22046  
(703) 532-6163 Fax (703) 533-1301  
www.WLPINC.com  
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**ARLINGTON, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES**

**1212 SOUTH IRVING STREET**  
LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON GRADING PLAN  
ARLINGTON COUNTY, VIRGINIA

SCALE: 1" = 20'	DRAWN DL	CHECKED KW
SUBMITTED DATE	REVISION FOR PERMIT: 05/21/2021	APPROVED DATE
		DIRECTOR OF ENVIRONMENTAL SERVICES
		SHEET: <b>C-0601</b>



# POLLUTION PREVENTION PLAN (P2 PLAN)

## 2.0 Authorized Non-Stormwater Discharges

Type of Authorized Non-Stormwater Discharge Likely Present at Your Project Site?

External buildings wash down	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Uncontaminated foundation or footing drains	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Uncontaminated excavation dewatering	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Landscape irrigation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Others (describe)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

## 5.0 Potential Sources of Pollution & Pollution Prevention Practices

Pollutant-Generating Activity	Likely Present at your Project Site?	Pollutants										Pollution Prevention Practice	Responsible Party
		Sediment	Nutrients	Heavy Metals	pH (acids and bases)	Phosphates & Herbicides	Oil & Grease	Bacteria & Viruses	Trash, Debris, Solids	Other Toxic Chemicals			
Clearing, grading, excavating, and un-stabilized areas	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	X									X	(1)	Construction Activity Operator (See Cover Page of this SWPPP)
Paving operations	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	X				X					X	(2)	
Concrete washout and cement waste	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			X	X						X	(3)	
Structure construction, stucco, painting, and cleaning	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			X	X			X	X		X	(4)	
Dewatering operations	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	X	X							X	X	(5)	
Material delivery and storage	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	X	X	X	X	X	X	X	X	X	X	(6)	
Material use during building process	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	X	X	X	X	X	X	X	X	X	X	(7)	
Solid waste disposal	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							X	X	X	X	(8)	
Sanitary waste	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			X	X					X		(9)	
Landscaping operations	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	X	X			X			X	X	X	(10)	
Others (describe)	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(11)	

### Pollution Prevention Practices:

- Clearing, grading, excavating and un-stabilized areas** – Utilize erosion and sediment controls to prevent sediment laden or turbid runoff from leaving the construction site. Dispose of clearing debris at acceptable disposal sites. Apply permanent or temporary stabilization, sodding and/or mulching to denuded areas in accordance with the erosion and sediment control specifications and the general VDES permit for discharges of stormwater from construction activities.
- Paving operations** – Cover storm drain inlets during paving operations and utilize pollution prevention materials such as drip pans and absorbent/dry for all paving machines to limit leaks and spills of paving materials and fluids.
- Concrete washout and cement waste** – Direct concrete wash water into a leak-proof container or leak-proof settling basin that is designed so that no overflows can occur due to inadequate sizing or precipitation. Hardened concrete wastes shall be removed and disposed of in a manner consistent with the handling of other construction wastes.
- Structure construction, stucco, painting and cleaning** – Enclose, cover or berm building material storage areas if susceptible to contaminated stormwater runoff. Conduct painting operations consistent with local air quality and OSHA regulations. No paint indoors, in a containment area or in a flat ungrazed area. Prevent the discharge of soaps, solvents, detergents and wash water from construction materials, including the clean-up of stucco paint, form release oils and curing compounds.
- Dewatering operations** – Construction site dewatering from building footings or other sources may not be discharged without treatment. Sediment laden or turbid water shall be filtered, settled or similarly treated prior to discharge.
- Material delivery and storage** – Designate areas of the construction site for material delivery and storage. Place near construction entrances, away from waterways, and avoid transport near drainage paths or waterways.
- Material use during building process** – Use materials only where and when needed to complete the construction activity. Follow manufacturer's instructions regarding uses, protective equipment, ventilation, flammability and mixing of chemicals.
- Solid waste disposal** – Designate a waste collection area on the construction site that does not receive a substantial amount of runoff from upland areas and does not drain directly to a waterway. Ensure that containers have lids so they can be covered before periods of rain, and keep containers in a covered area whenever possible. Schedule waste collection to prevent the containers from overflowing.
- Sanitary waste** – Prevent the discharge of sanitary waste by providing convenient and well-maintained portable sanitary facilities. Locate sanitary facilities in a convenient location away from waterways.
- Landscaping operations** – Maintain as much existing vegetation as practicable. Apply permanent or temporary stabilization, sodding and/or mulching to denuded areas in accordance with the erosion and sediment control specifications and the general VDES permit for discharges of stormwater from construction activities. Apply nutrients in accordance with manufacturer's recommendations and not during rainfall events.
- Others** – If applicable, describe your Pollution Prevention Practice.

## 7.0 Spill Prevention & Response

Most spills can be cleaned up following manufacturer specifications. Absorbent/dry, sealable containers, plastic bags, and shovels/brooms are suggested minimum spill response items that should be available at this location.

- 1<sup>st</sup> Priority: Protect all people  
 2<sup>nd</sup> Priority: Protect equipment and property  
 3<sup>rd</sup> Priority: Protect the environment

- Check for hazards (flammable material, noxious fumes, cause of spill) – If flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave the area and call 911. **LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.**
- Make sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of any person.
- Stop the spill source.
- Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers.
- If possible, stop spill from entering drains (use absorbent or other material as necessary).
- Stop spill from spreading (use absorbent or other material).
- If spilled material has entered a storm sewer, contact locality's storm water department.
- Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials and do not flush area with water.
- Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.

### Emergency Contacts:

#### Normal Working Hours

DEQ Northern Regional Office 703-583-3800

#### Nights, Holidays & Weekends

VA Dept. of Emergency Management 804-674-2400  
 24 Hour Reporting Service

#### Local Contacts

Arlington County Fire & Police 703-558-2222  
 DES Water, Sewer, Streets 24-Hour Emergency 703-228-6555  
 Washington Gas Emergency 703-750-1400

## NON-STORMWATER DISCHARGES AS REQUIRED BY ARLINGTON COUNTY

ONLY THE FOLLOWING NON-STORMWATER DISCHARGES ARE AUTHORIZED BY ARLINGTON COUNTY'S MS4 PERMIT, UNLESS THE STATE WATER CONTROL BOARD, THE VIRGINIA SOIL AND WATER CONSERVATION BOARD (BOARD), OR ARLINGTON COUNTY DETERMINES THE DISCHARGE TO BE A SIGNIFICANT SOURCE OF POLLUTANTS TO SURFACE WATERS: WATER LINE FLUSHING; LANDSCAPE IRRIGATION; DIVERTED STREAM FLOWS; RISING GROUND WATERS; UNCONTAMINATED GROUND WATER INFILTRATION (AS DEFINED AT 40 CFR 35.2005(20)); UNCONTAMINATED PUMPED GROUND WATER; DISCHARGES FROM POTABLE WATER SOURCES; FOUNDATION DRAINS; AIR CONDITIONING CONDENSATION; IRRIGATION WATER; SPRINGS; WATER FROM CRAWL SPACE PUMPS; FOOTING DRAINS; LAWN WATERING; INDIVIDUAL RESIDENTIAL CAR WASHING; FLOWS FROM RIPARIAN HABITATS AND WETLANDS; DECHLORINATED SWIMMING POOL DISCHARGES; DISCHARGES OR FLOWS FROM FIRE FIGHTING; AND, OTHER ACTIVITIES GENERATING DISCHARGES IDENTIFIED BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY AS NOT REQUIRING VPDES AUTHORIZATION.

APPROPRIATE CONTROLS MUST BE IMPLEMENTED TO PREVENT ANY NON-STORMWATER DISCHARGES NOT INCLUDED ON THE ABOVE LIST (E.G., CONCRETE WASH WATER, PAINT WASH WATER, VEHICLE WASH WATER, DETERGENT WASH WATER, ETC.) FROM BEING DISCHARGED INTO ARLINGTON COUNTY'S MS4 SYSTEM, WHICH INCLUDES THE CURB AND GUTTER SYSTEM, AS WELL AS CATCH BASINS AND OTHER STORM DRAIN INLETS, OR STREAM NETWORK. PER CHAPTER 26 OF THE ARLINGTON COUNTY CODE, IT SHALL BE UNLAWFUL FOR ANY PERSON TO DISCHARGE DIRECTLY OR INDIRECTLY INTO THE STORM SEWER SYSTEM OR STATE WATERS, ANY SUBSTANCE LIKELY, IN THE OPINION OF THE COUNTY MANAGER, TO HAVE AN ADVERSE EFFECT ON THE STORM SEWER SYSTEM OR STATE WATERS.

Qianqian Li, P.E.  
 ESC Program Administrator  
 Department of Environmental Services  
 2100 Clarendon Boulevard, Suite 813  
 Arlington, Virginia 22201

Re: Erosion and Sediment Control Permit Application for:

street address

lot, block, section subdivision

permit number

Dear Mrs. Li:

I hereby certify that I accept the responsibilities of **Responsible Land Disturber** for the above referenced project. I understand that these responsibilities include:

- Reviewing the erosion and sedimentation (E&S) plan for the project.
- Walking the site prior to construction to identify critical areas.
- Conducting a pre-construction briefing with earth moving and site contractors to present the E&S plan and highlight the presence of critical areas, the limits of clearing and the required E&S controls and tree protection measures to be installed. Call 703-228-0760 to schedule pre-construction meeting.
- Regularly inspecting the site during construction to ensure that all E&S controls are functioning and are adequate to address erosion and sedimentation. Inspect the site 48 hours after a runoff-generating storm, and provide a copy of the inspection findings to the county.
- Reporting to the owner the presence inadequate or non functioning E&S controls when they are observed.
- Ensuring that temporary soil stabilization is applied within 7 days to areas denuded that will remain undisturbed for more than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- Calling (703) 228-0760 at least 80 hours before demolishing any structure.

I may be reached at \_\_\_\_\_ with questions about this plan or my execution of the duties of

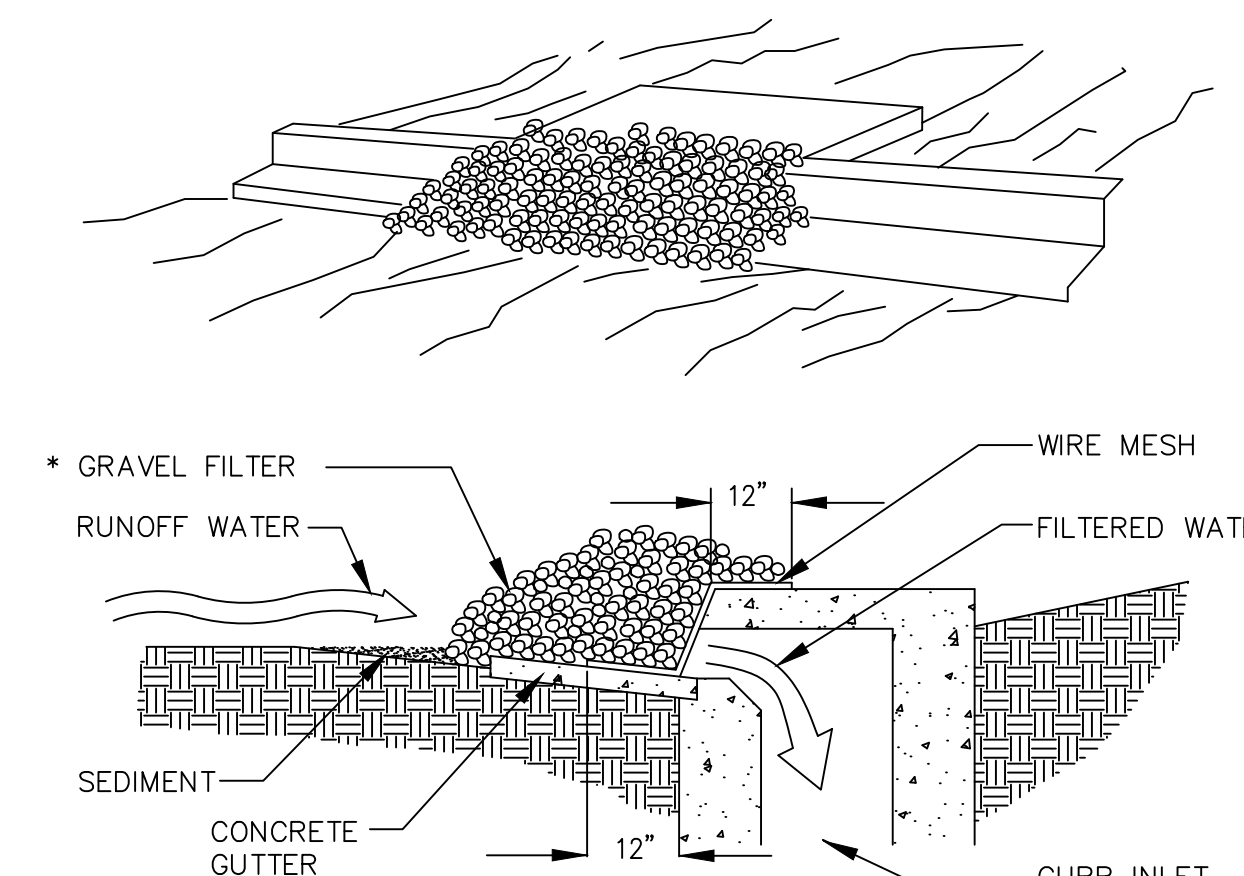
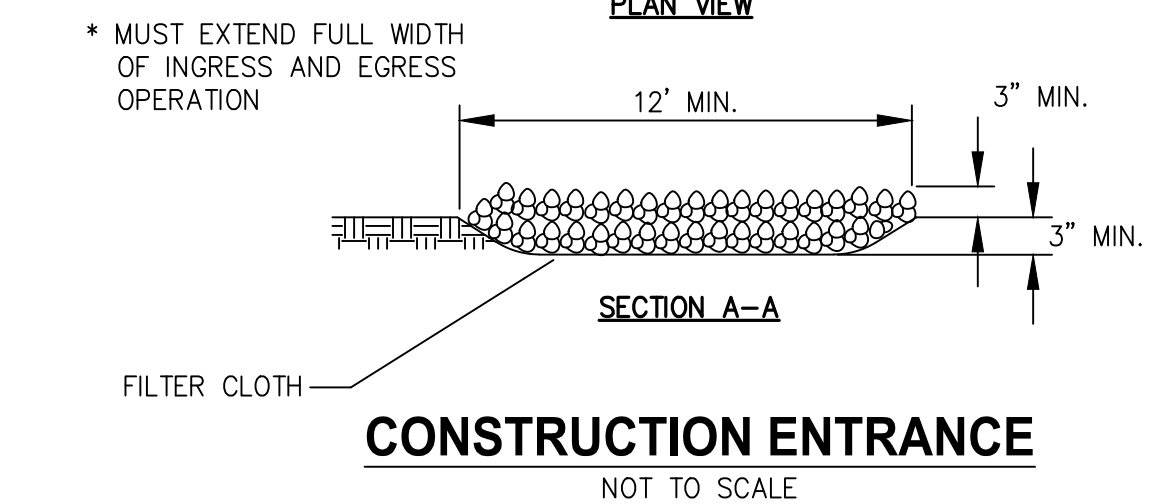
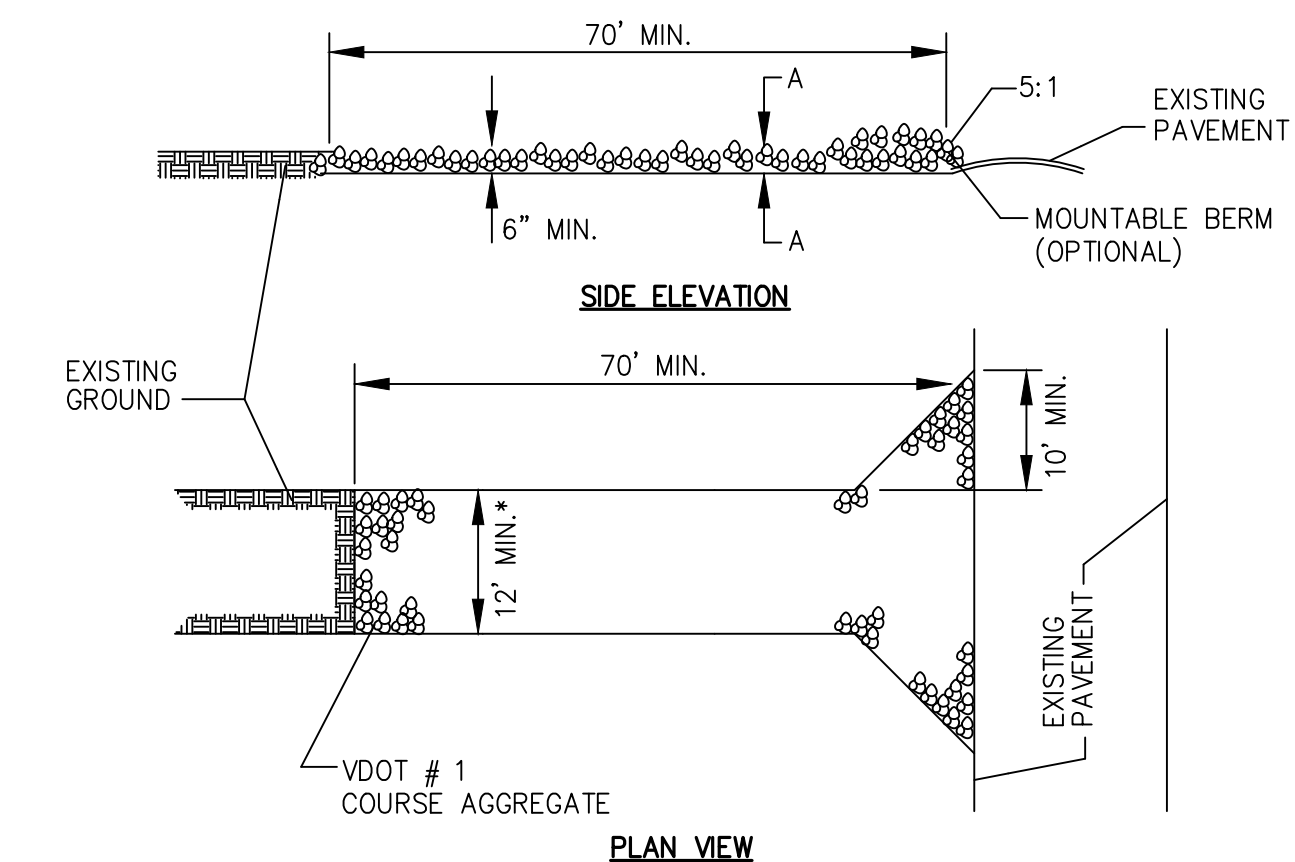
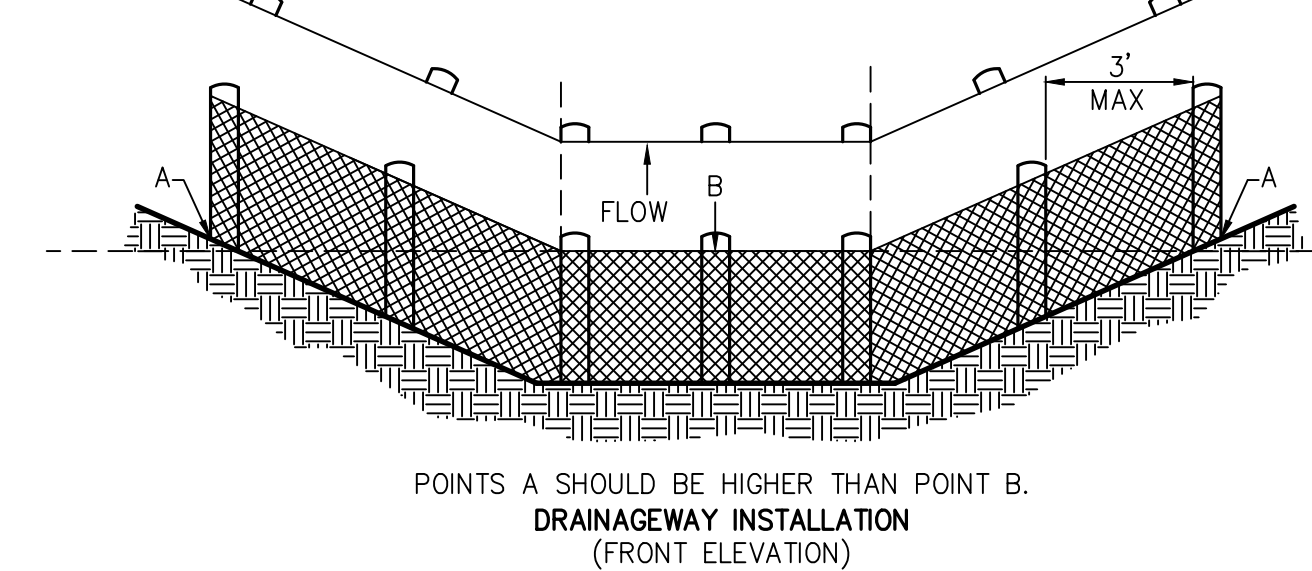
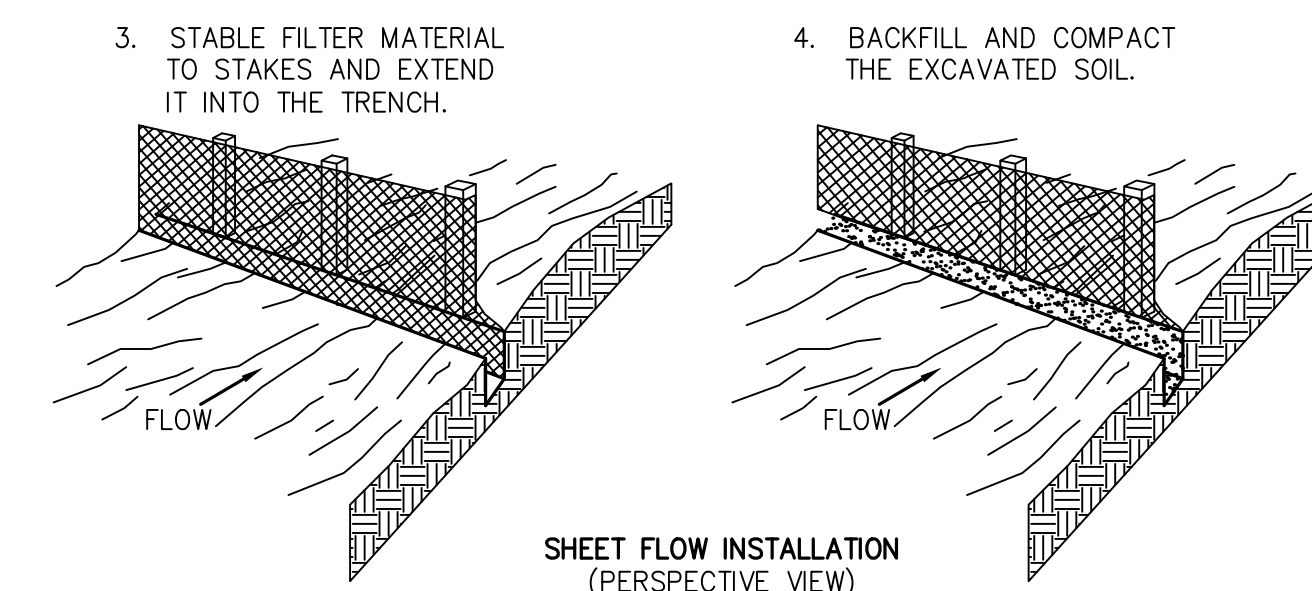
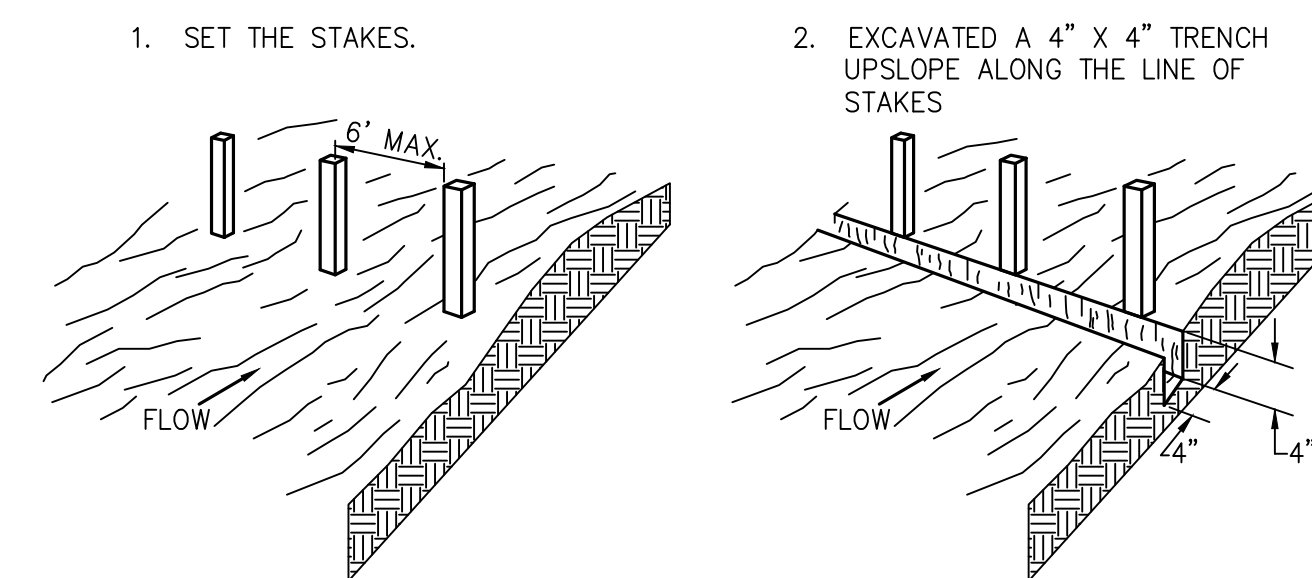
Responsible Land Disturber.

Sincerely,

signed

name printed

professional registration (type and number)



THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

\* GRAVEL SHALL BE V.D.O.T. #3, #357 OR 5 COARSE AGGREGATE.

## GRAVEL CURB INLET SEDIMENT FILTER

NOT TO SCALE

PROPERTY	TEST METHOD	ENGLISH	METRIC
Weight - Typical	ASTM D-5261	8 oz/sy	271 g/sm
Tensile Strength	ASTM D-4632	205 lbs	912 N
Elongation @ Break	ASTM D-4632	50%	50%
Mullen Burst	ASTM D-3786	350 psi	2,413 kPa
Puncture Strength	ASTM D-4833	120 lbs	534 N
CBR Puncture	ASTM D-6241	535 lbs	2,381 N
Trapezoidal Tear	ASTM D-4533	85 lbs	378 N
Apparent Opening Size	ASTM D-4751	80 US Sieve	0.180 mm
Permittivity	ASTM D-4491	1.35 Sec-1	1.35 Sec-1
Water Flow Rate	ASTM D-4491	90 g/min/sf	3,657 l/min/sm
UV Resistance @ 500 Hours	ASTM D-4355	70%	70%

ROLL SIZE	AREA	WEIGHT
15' x 10'	17 sqs	20 lbs
15' x 15'	25 sqs	30 lbs

The above information is to the best of our knowledge accurate, but it is not intended to be considered a guarantee. Any implied warranty for a particular use or purpose is excluded. If the product does not meet the above properties, and notice is given to US Fabrics, Inc., the product will be replaced or refunded (1/2011).

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## EROSION & SEDIEMNT CONTROL DETAILS AND P2 PLAN

**WALTER L. PHILLIPS** INCORPORATED ESTABLISHED 1945

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SCALE: NONE DRAWN DL CHECKED KW

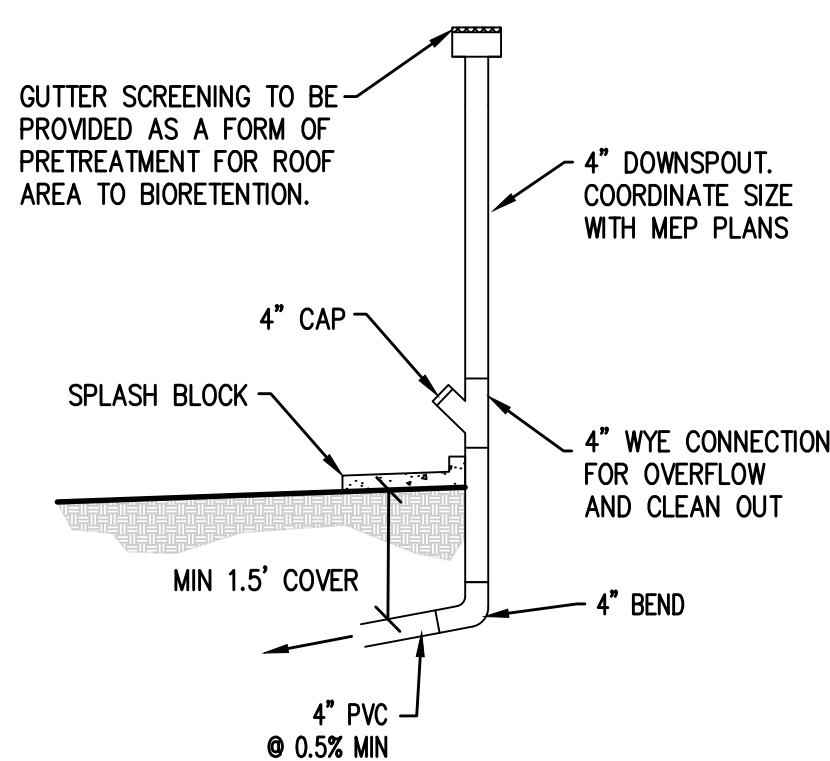
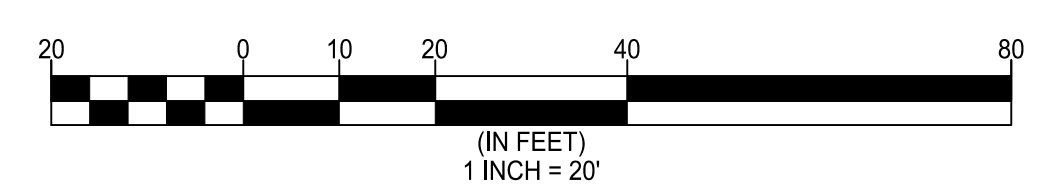
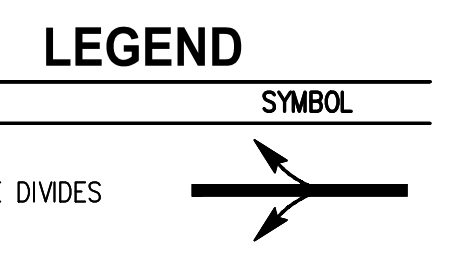
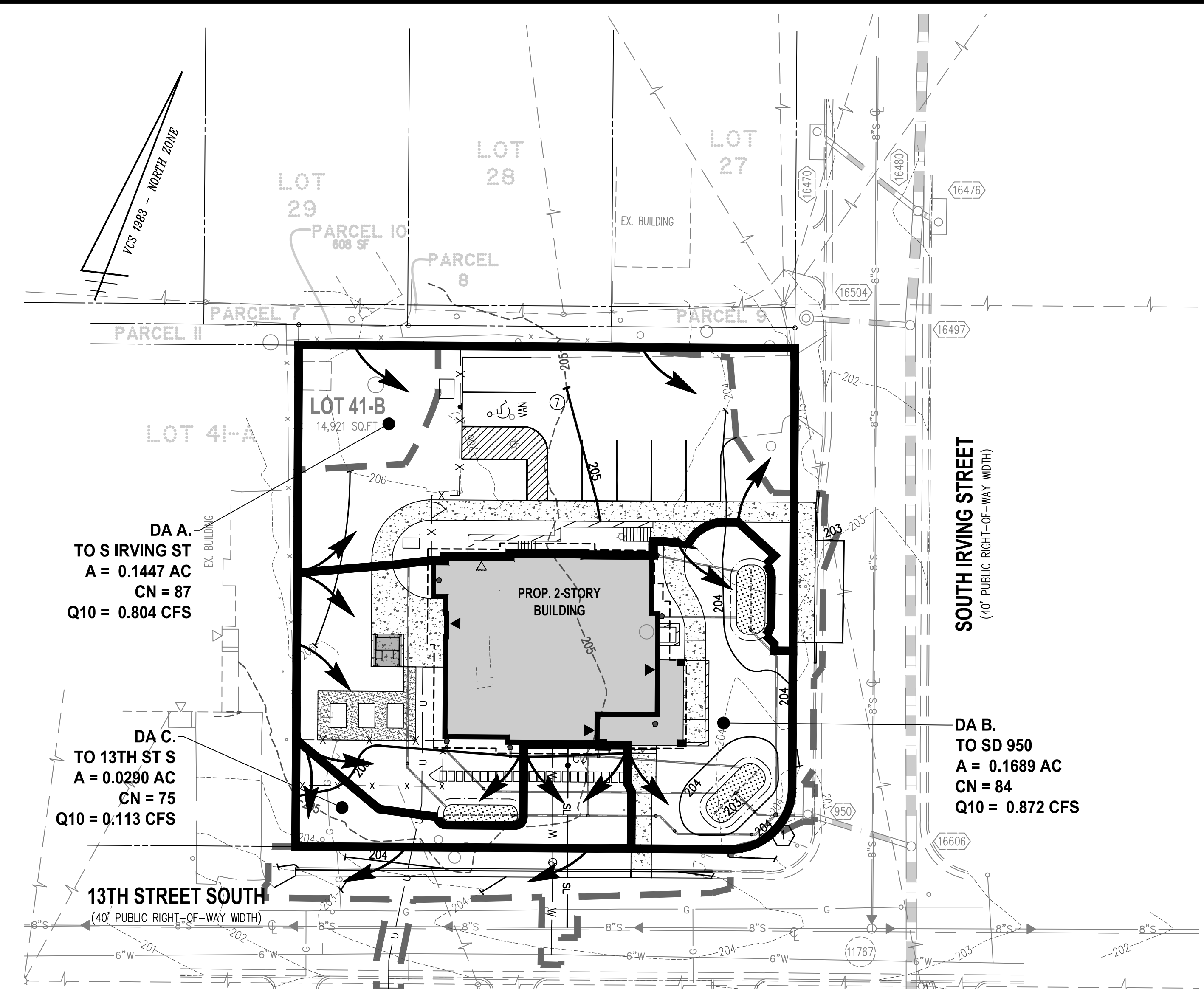
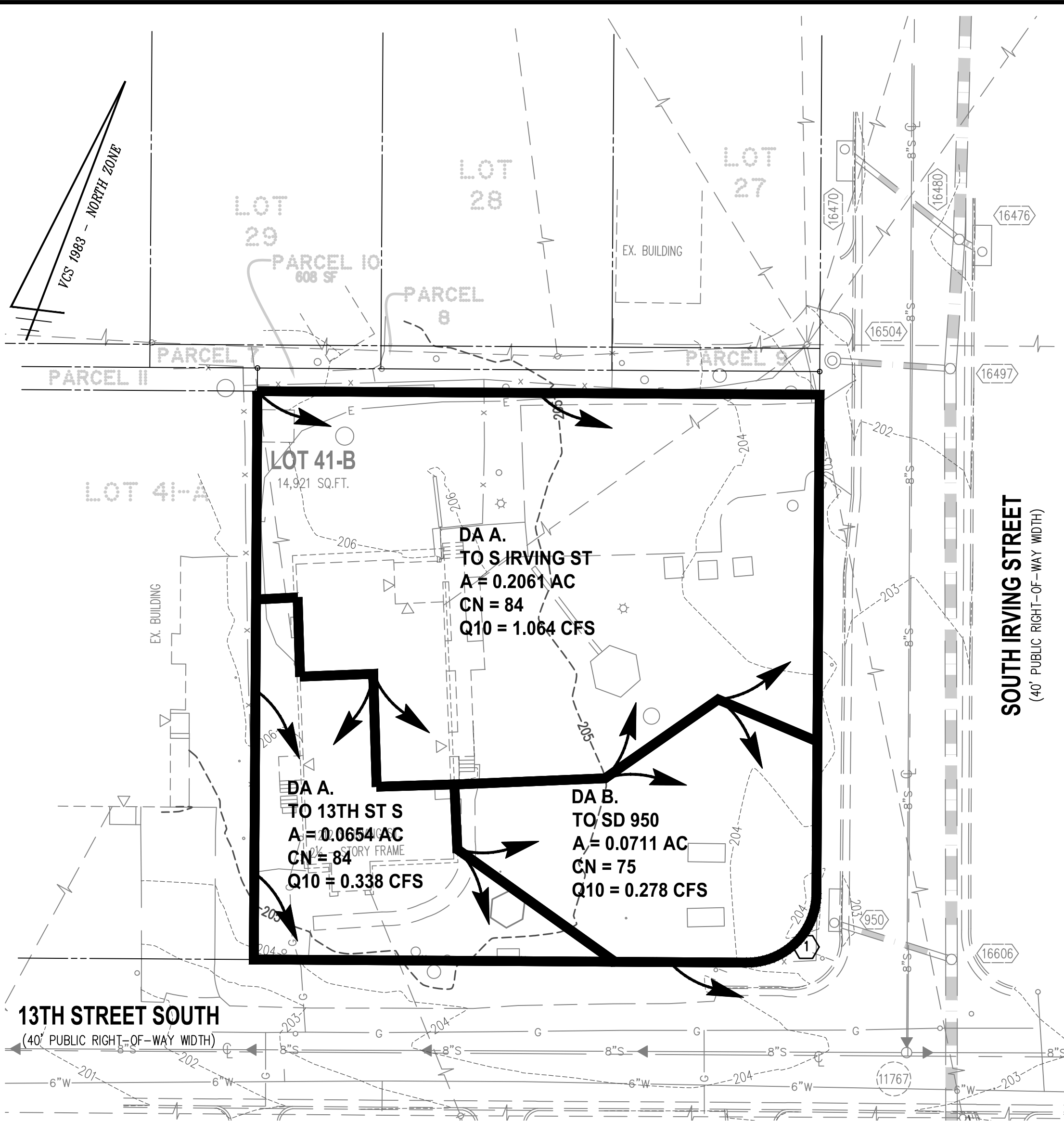
SUBMITTED DATE REVISION FOR PERMIT: 05/21/2021

APPROVED DATE

DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: C-0602





- SEE SCHEMATIC ON THIS SHEET FOR DOWNSPOUTS THAT ARE TO BE PIPED TO THE TRENCHES. ROOF GUTTERS SHALL BE SCREENED/COVERED TO PREVENT LARGE DEBRIS FROM ENTERING THE TRENCH.
- ROOF DRAIN PIPES ARE TO BE 4" PVC WITH MINIMUM 1.0 FT. OF COVER AND A SLOPE OF 0.5% MIN. FINAL LOCATION, SLOPE AND COVER ARE TO BE FIELD COORDINATED.
- KEEP ROOF DRAINS DISCONNECTED UNTIL THE TRENCH INSTALLATION IS COMPLETE AND THE SITE IS STABILIZED.
- GUTTER SCREENING REQUIRED FOR DOWNSPOUTS TO BIORETENTION. PICTURES OF INSTALLED GUTTER SCREEN SHALL BE TAKEN AND PROVIDED TO THE STORMWATER SPECIALIST.

IMPERVIOUS AREAS		
ITEM	EXISTING (SF)	PROPOSED (SF)
MAIN BUILDING	2286	2584
AREAWAYS/WINDOW WELLS	0	351
ACCESSORY BUILDING	49	0
VEHICULAR AREA	1796	2421
WALKS/PATIOS	602	1742
WALLS	33	22
MISC	250	0
TOTAL:	5016	7120

DRAINAGE DIVIDES			
	D.A. A S IRVING ST	D.A. B EX SD 950	D.A. C 13TH STREET SOUTH
EXISTING	Impervious	0.0845 AC	0.0280 AC
	Managed Turf	0.1216 AC	0.0374 AC
	<b>TOTAL AREA</b>	<b>0.2061 AC</b>	<b>0.0654 AC</b>
	<b>EXISTING CN</b>	<b>84</b>	<b>75</b>
PROPOSED	Impervious	0.0776 AC	0.0017 AC
	Managed Turf	0.0671 AC	0.0273 AC
	<b>TOTAL AREA</b>	<b>0.1447 AC</b>	<b>0.0290 AC</b>
	<b>PROPOSED CN</b>	<b>87</b>	<b>75</b>

**D.A.A - EXISTING CN CALCULATION**  

$$\frac{[(\text{IMP AREA} \times \text{IMP. CN}) + (\text{TURF AREA} \times \text{TURF CN})]}{\text{TOTAL AREA}} = \text{EXISTING CN}$$

$$\frac{[(0.0845 \text{ AC} \times 98) + (0.1216 \text{ AC} \times 74)]}{0.2061 \text{ AC}} = 84$$

**D.A.B - EXISTING CN CALCULATION**  

$$\frac{[(\text{IMP AREA} \times \text{IMP. CN}) + (\text{TURF AREA} \times \text{TURF CN})]}{\text{TOTAL AREA}} = \text{EXISTING CN}$$

$$\frac{[(0.0027 \text{ AC} \times 98) + (0.0684 \text{ AC} \times 74)]}{0.0711 \text{ AC}} = 75$$

**D.A.C - EXISTING CN CALCULATION**  

$$\frac{[(\text{IMP AREA} \times \text{IMP. CN}) + (\text{TURF AREA} \times \text{TURF CN})]}{\text{TOTAL AREA}} = \text{EXISTING CN}$$

$$\frac{[(0.028 \text{ AC} \times 98) + (0.0374 \text{ AC} \times 74)]}{0.0654 \text{ AC}} = 84$$

	SOIL:	A	B	C	D
Forest/Open Space - undisturbed, protected forest/open space or reforested land	CN	30	55	70	77
Managed Turf - disturbed, graded for yards or other turf to be mowed/managed	CN	39	61	74	80
Impervious Cover	CN	98	98	98	98

**OUTFALL NARRATIVE**  
 THIS SITE OUTFALLS IN 3 DIRECTIONS. UNDER THE EXISTING CONDITIONS 0.2061 AC (1.064 CFS) OF THE SITE OUTFALLS EAST ONTO SOUTH IRVING STREET, 0.0711 AC (0.278 CFS) OUTFALLS SOUTHEAST INTO EX. SD 950, AND 0.0654 AC (0.338 CFS) OUTFALLS SOUTH ONTO 13TH STREET SOUTH. UNDER THE PROPOSED CONDITIONS 0.1447 AC (0.804 CFS) OF THE SITE OUTFALLS EAST ONTO SOUTH IRVING STREET, 0.1689 AC (0.872 CFS) OUTFALLS SOUTHEAST INTO EX. SD 950, AND 0.0290 AC (0.113 CFS) OUTFALLS SOUTH ONTO 13TH STREET SOUTH.

AS SEEN ON THE PLAN, THERE IS NO RUNOFF ONTO THE ADJACENT PROPERTIES WITH THE NEW DEVELOPMENT. THE AREA FALLING SOUTHEAST TO EX. SD 950 INCREASES WHICH INCLUDES THE HOUSE FOOTPRINT AFTER BEING TREATED BY THE BIORETENTION FACILITIES.

SINCE THERE IS NO RUNOFF ONTO ADJACENT PROPERTIES, IT IS THE OPINION OF THE SUBMITTING ENGINEER THAT THERE WILL NOT BE A NEGATIVE IMPACT TO THE ADJACENT PROPERTIES DUE TO THIS DEVELOPMENT.

**SWM FACILITIES PRIVATE MAINTENANCE NOTES**  
 THE STORMWATER MANAGEMENT FACILITIES SHALL BE PRIVATELY INSPECTED AND MAINTAINED ACCORDING TO COUNTY REQUIREMENTS.

**BMP NARRATIVE**  
 THE STORMWATER QUALITY REQUIREMENTS WILL BE MET WITH THE USE OF 3 BIORETENTION RAIN GARDENS TO TREAT 3667 SF OF IMPERVIOUS AREA AND 3002 SF OF PERVIOUS AREA.

THE SITE MEETS THE BMP REGULATIONS AS SHOWN ON SHEET C-0702.

NOTE: ARLINGTON COUNTY DOES NOT REVIEW THE WATERPROOFING DESIGN AND THE OWNER/DEVELOPER AGREES TO HOLD ARLINGTON COUNTY HARMLESS IN THE EVENT OF FAILURE

NOTE: WALTER L. PHILLIPS INC. IS NOT RESPONSIBLE FOR WATERPROOFING DESIGN REQUIRED AT BUILDING FOUNDATION. CONTRACTOR AND OWNER TO PROVIDE PROPER WATER PROOFING ESPECIALLY NEAR BMP FACILITIES.

**ADVANCE COPY**

**DRAINAGE DIVIDES**

**WALTER L. PHILLIPS** INCORPORATED ESTABLISHED 1945

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SCALE: 1" = 20' DRAWN DL CHECKED KW  
 SUBMITTED DATE REVISION FOR PERMIT: 05/21/2021  
 APPROVED DATE DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-0701**



**Construction Inspection Checklist: Bioretention**

Address/Location: \_\_\_\_\_ Building/Permit #: \_\_\_\_\_  
 LDA Permit #: \_\_\_\_\_ SWME: \_\_\_\_\_  
 Contractor: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Certifying Professional: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Date Started: \_\_\_\_\_ Final Inspection Date: \_\_\_\_\_

\*Certifying professional must be a Licensed Professional Engineer (PE), Landscape Architect (LA), or Land Surveyor (LS).



The following checklist provides a basic outline of the anticipated items for the construction inspection of bioretention facilities. This checklist does not necessarily distinguish between all the design variations and differences in construction between the family of practices. Inspectors should review the plans carefully and adjust these items and the timing of inspection verification as needed to ensure the intent of the design is met. The standard for design of this practice is based on [Virginia Stormwater BMP Clearinghouse](#) and [Arlington County Stormwater Guidance Manual](#).

All items should be checked when completed. Items labeled "Certification of..." must be crossed off, dated and initialed by certifying inspector.

PRE-CONSTRUCTION MEETING	DATE
<input type="checkbox"/> Identify the tentative schedule for construction and verify the requirements and schedule for interim inspections.	
<input type="checkbox"/> All pervious areas of the contributing drainage areas have been adequately stabilized with a thick layer of vegetation or erosion control measures are still in place and stormwater has been diverted around the area.	
<input type="checkbox"/> Area of bioretention practice has not been impacted during construction.	
<input type="checkbox"/> Pre-construction meeting with the contractor designated to install the bioretention practice, County DES inspector, and person compiling this checklist has been conducted.	

EXCAVATION	DATE
<input type="checkbox"/> Area of bioretention excavation is marked and the size and location conforms to plan.	
<input type="checkbox"/> If the excavation area has been used as a sediment trap, verify that the bottom elevation of the proposed stone reservoir is lower than the bottom elevation of the existing trap.	
<input type="checkbox"/> For Level 2 bioretention, ensure the bottom of the excavation is scarified prior to placement of stone.	
<input type="checkbox"/> Subgrade surface is free of rocks and roots, and large voids. Any voids should be refilled with the base aggregate to create a level surface for the placement of aggregates and underdrain (if required).	
<input type="checkbox"/> No groundwater seepage or standing water is present. Any standing water is dewatered to an acceptable dewatering device.	
<input type="checkbox"/> Excavation of the bioretention practice has achieved proper grades and the required geometry and elevations without compacting the bottom of the excavation.	
<input type="checkbox"/> Sides of excavation covered with geotextile; no tears or holes, or excessive wrinkles are present.	

Bioretention | September 2016

<b>Certification of Excavation Inspection:</b> Inspector certifies the successful completion of the excavation steps listed above.	
<input type="checkbox"/> Photos required include: <ul style="list-style-type: none"> <li>o Excavated area prior to installation of stone, including measurements (L x W x D);</li> <li>o Non-woven geotextile fabric installed on sides of excavated subgrade only.</li> </ul>	
Material delivery tickets include: <ul style="list-style-type: none"> <li>o Geotextile installed on sides</li> </ul>	

FILTER LAYER, UNDERDRAIN, AND STONE RESERVOIR PLACEMENT	DATE
<input type="checkbox"/> All aggregates conform to specifications as certified by quarry.	
<input type="checkbox"/> Underdrain size and perforations meet the specifications, (if applicable).	
<input type="checkbox"/> If the underdrain is directly tied into the public storm sewer system, the connection has been witnessed by DES inspector.	
<input type="checkbox"/> For Level 2 installations, placement of filter layer and initial lift of stone reservoir layer aggregates with underdrain or filtration units, spaced (not dumped) to avoid aggregate segregation.	
<input type="checkbox"/> Placement of underdrain, observation wells, and underdrain fittings are in accordance with the approved plans.	
<input type="checkbox"/> Elevations of underdrain and outlet structure are in accordance with approved plans, or as adjusted to meet field conditions and denoted in Comments section.	
<input type="checkbox"/> Placement of remaining lift of stone reservoir layer as needed to achieve the required reservoir depth.	

<b>Certification of Filter Layer and Underdrain Placement Inspection:</b> Inspector certifies the successful completion of the filter layer and underdrain placement steps listed above. Photos and material delivery tickets for these items are attached.	
<input type="checkbox"/> Photos required include: <ul style="list-style-type: none"> <li>o Perforated underdrain pipe (if applicable) with a solid vertical overflow pipe.</li> <li>o Depth of #57 stone.</li> <li>o Depth of choker stone (pea gravel or #8).</li> </ul>	
Material delivery tickets required include: <ul style="list-style-type: none"> <li>o #7 stone.</li> <li>o Choker stone (pea gravel or #8).</li> </ul>	

BIORETENTION SOIL MEDIA PLACEMENT	DATE
<input type="checkbox"/> Soil media is certified by supplier or contractor as meeting the project specifications.	
<input type="checkbox"/> Soil media is placed in 12-inch lifts to the design top elevation of the bioretention area. Elevation has been verified after settlement (2 to 4 days after initial placement).	
<input type="checkbox"/> Side slopes of ponding area are feathered back at the required slope (no steeper than 3H:1V).	
<b>Certification of Soil Media Placement Inspection:</b> Inspector certifies the successful completion of the soil media steps listed above and any necessary photos are attached.	
<input type="checkbox"/> Photo required of a measurement of the soil media installed.	
Material delivery ticket required from an approved soil media vendor.	

Bioretention | September 2016

PRETREATMENT AND PLANT INSTALLATION	DATE
<input type="checkbox"/> Riser, overflow weir, or other outflow structure is set to the proper elevation and functional.	
<input type="checkbox"/> Placement of energy dissipaters and pretreatment practices (forebays, gravel diaphragms, etc.) are installed in accordance with the approved plans.	
<input type="checkbox"/> Appropriate number and spacing of plants are installed in accordance with the approved plans.	
<input type="checkbox"/> Ponding depth verification after plant and mulch placement.	
<b>Certification of Pretreatment and Plant Installation:</b> Inspector certifies the successful completion of any pretreatment measures, plants and mulch as listed above.	
<input type="checkbox"/> Photos required for this step include: <ul style="list-style-type: none"> <li>o Overall photos of showing mulch and plants installed.</li> <li>o Location of inflow and appropriate energy dissipater.</li> <li>o Any pretreatment measures required per the approved plans.</li> <li>o Distance from the top of the mulch to the top of the overflow (either pipe or berm).</li> </ul>	
Material delivery tickets required for this step include: <ul style="list-style-type: none"> <li>o Approved plants listing number and species.</li> <li>o Shredded hardwood mulch.</li> </ul>	

COMMENTS (CLARIFICATION, DEVIATIONS, ETC.)	DATE

All items checked above have been inspected by me (or by an individual under my responsible charge) and have been completed to my satisfaction and meet the approved plans (or deviations are noted here).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Certifying Professional's License Number (or Seal): \_\_\_\_\_

Bioretention | September 2016

**\*NOTE: CONTRACTOR TO COMPLETE CHECKLISTS FOR CERTIFICATE OF OCCUPANCY**

WALTER L. PHILLIPS, INC. DOES NOT PERFORM THE CONSTRUCTION INSPECTION CERTIFICATION.

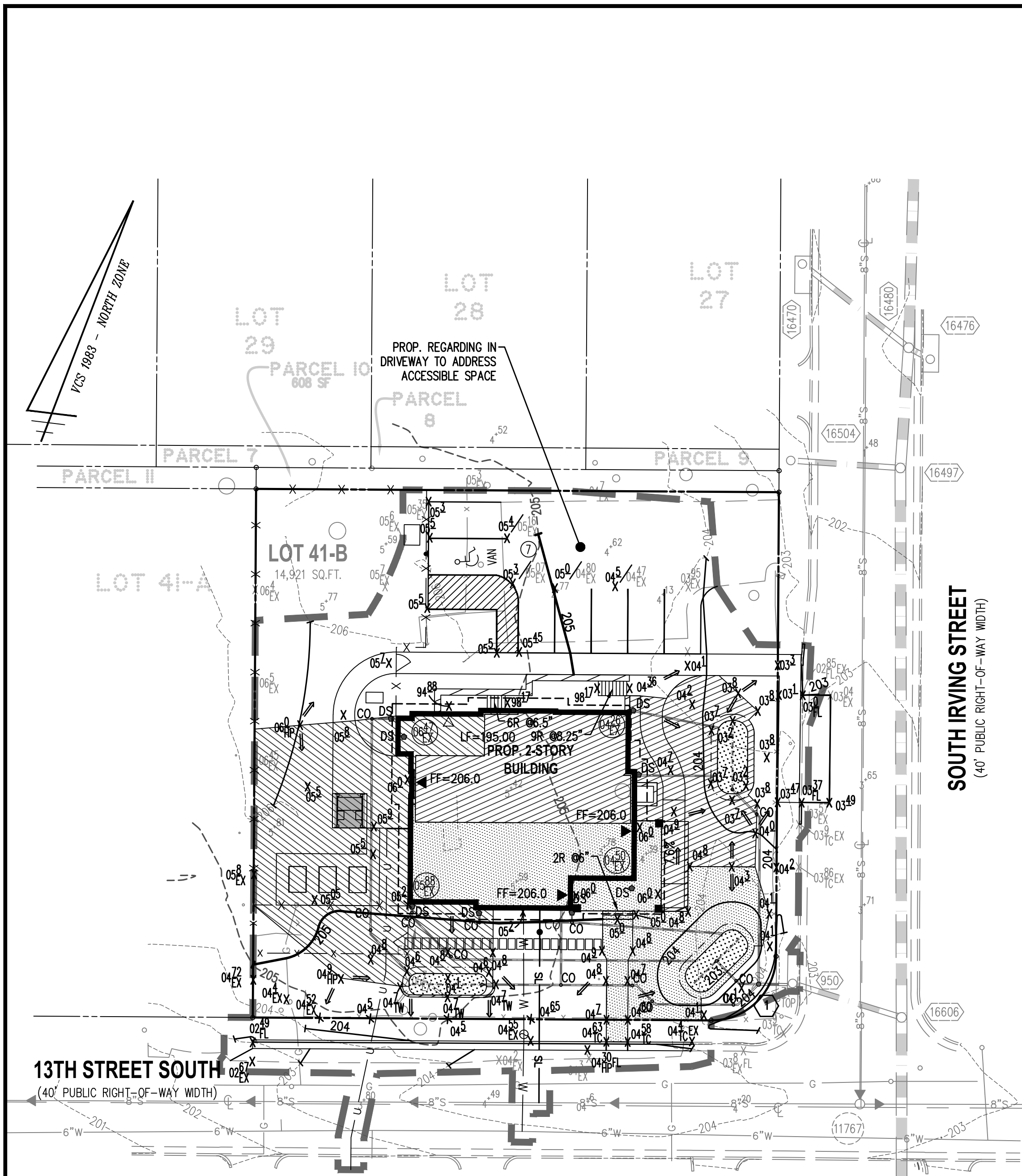
**MMA NOTES**

1. THE ARLINGTON COUNTY BOARD IS THE OWNER OF THE PROPERTY LOCATED AT 1212 SOUTH IRVING STREET. PER CONVERSATIONS WITH COUNTY STORMWATER REVIEWERS, A MAINTAIN AND MONITORING AGREEMENT (MMA) IS NOT REQUIRED FOR THIS PROJECT. THE COUNTY IS THE OWNER OF THE PROPERTY AND WILL BE MAINTAINING THE PROPOSED ONSITE BMPS.

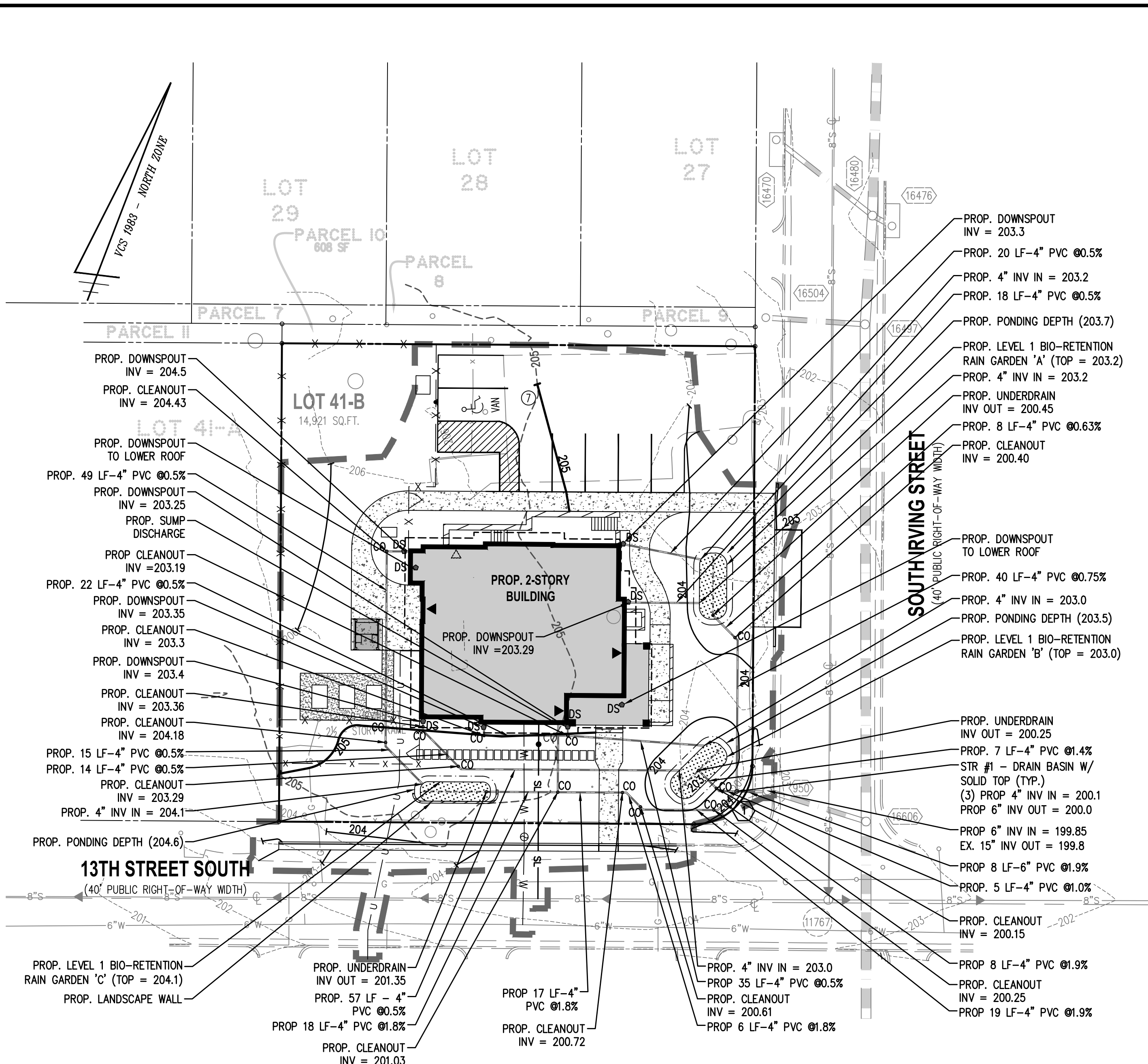
**ADVANCE COPY**

BMP CHECKLIST & SWM AGREEMENT		
<b>WALTER L. PHILLIPS</b> INCORPORATED ESTABLISHED 1945		Engineers • Surveyors • Planners Landscape Architects • Arborists 207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046 (703) 532-6163 Fax (703) 533-1301 www.WLPINC.com email: bschitter@wlpinc.com
		<b>ARLINGTON, VIRGINIA</b> <b>DEPARTMENT OF ENVIRONMENTAL SERVICES</b> <b>1212 SOUTH IRVING STREET</b> LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON GRADING PLAN <b>ARLINGTON COUNTY, VIRGINIA</b>
SCALE: NONE	DRAWN DL	CHECKED KW
SUBMITTED DATE	REVISION FOR PERMIT: 05/21/2021	APPROVED DATE
		DIRECTOR OF ENVIRONMENTAL SERVICES
		SHEET: <b>C-0703</b>





**RAIN GARDEN CONTRIBUTING AREAS**  
SCALE: 1"=20'



**BMP SCHEMATIC**  
SCALE: 1"=20'

**BIORETENTION MATERIAL SPECS**

Table 9.6. Bioretention Material Specifications

Material	Specification	Notes
Filter Media Composition	Filter Media to contain: • 85%-88% sand • 8%-12% soil fines • 3%-5% organic matter in the form of leaf compost	The volume of filter media based on 110% of the plan volume, to account for settling or compaction.
Filter Media Testing	P-Index range = 10-30, OR Between 7 and 21 mg/kg of P in the soil media. CECs greater than 10	The media must be procured from approved filter media vendors.
Mulch Layer	Use aged, shredded hardwood bark mulch.	Layer a 2 to 3 inch layer on the surface of the filter bed.
Alternative Surface Cover	Use river stone or pea gravel, coir and jute matting, or turf cover.	Layer a 2 to 3 inch layer of to suppress weed growth.
Top Soil For Turf Cover	Loamy sand or sandy loam texture, with less than 5% clay content, pH corrected to between 6 and 7, and an organic matter content of at least 2%.	3 inch surface depth.
Geotextile/Liner	Use a non-woven geotextile fabric with a flow rate of > 110 gal./min./sq. ft. (e.g., Geotex 351 or equivalent).	Apply only to the sides and above the underdrain. For hotspots and certain karst sites only, use an appropriate liner on bottom.
Choking Layer	Layer a 2 to 4 inch layer of sand over a 2 inch layer of choker stone (typically #8 or #89 washed gravel), which is laid over the underdrain stone.	
Stone Jacket for Underdrain and/or Storage Layer	1 inch stone should be double-washed and clean and free of all fines (e.g., VDOT #57 stone).	12 inches for the underdrain; 12 to 18 inches for the stone storage layer, if needed.
Underdrains, Cleanouts, and Observation Wells	Use 6 inch rigid schedule 40 PVC pipe (or equivalent corrugated HDPE for micro-bioretenion), with 3/8-inch perforations at 6 inches on center; position each underdrain on a 1% or 2% slope located no more than 20 feet from the next pipe.	Layer the perforated pipe under the length of the bioretention cell, and install non-perforated pipe as needed to connect with the storm drain system. Install T's and Y's as needed, depending on the underdrain configuration. Extend cleanout pipes to the surface with vented caps at the T's and Y's. Establish plant materials as specified in the landscaping plan and the recommended plant list.
Plant Materials	Plant one tree per 250 square feet (15 feet on-center, minimum 1 inch caliper). Shrubs a minimum of 30 inches high planted a minimum of 10 feet on-center. Plant ground cover plugs at 12 to 18 inches on-center. Plant container-grown plants at 18 to 24 inches on-center, depending on the initial plant size and how large it will grow.	In general, plant spacing must be sufficient to ensure the plant material achieves 80% cover in the proposed planting areas within a 3-year period. If seed mixes are used, they should be from a qualified supplier, should be appropriate for stormwater basin applications, and should consist of native species (unless the seeding is to establish maintained turf).

SEE SHEET C-1203 FOR PLANT MATERIALS CHART.

**BIORETENTION MAINTENANCE**

Bioretention Maintenance Activities

Maintenance	Frequency
• Spot weeding, erosion repair, trash removal, and mulch raking	Twice during growing season
• Add reinforcement planting to maintain the desired vegetation density	As needed
• Remove invasive plants using recommended control methods	
• Stabilize the contributing drainage area to prevent erosion	Annually
• Spring inspection and cleanup	
• Supplement mulch to maintain a 2-3 inch layer	
• Prune trees and shrubs	
• Remove sediment in pre-treatment cells and inflow points	Once every 2 to 3 years
• Replace the mulch layer	Every 3 years
• Inspected and certified by a professional licensed in the State of Virginia	Once every 5 years

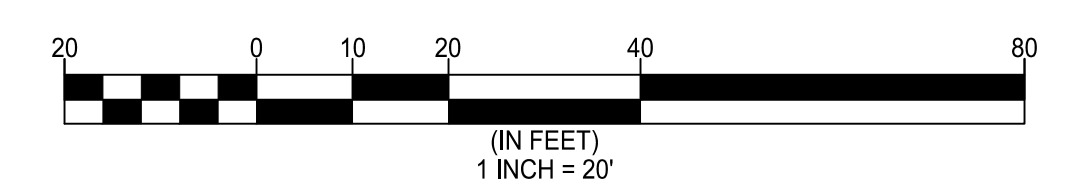
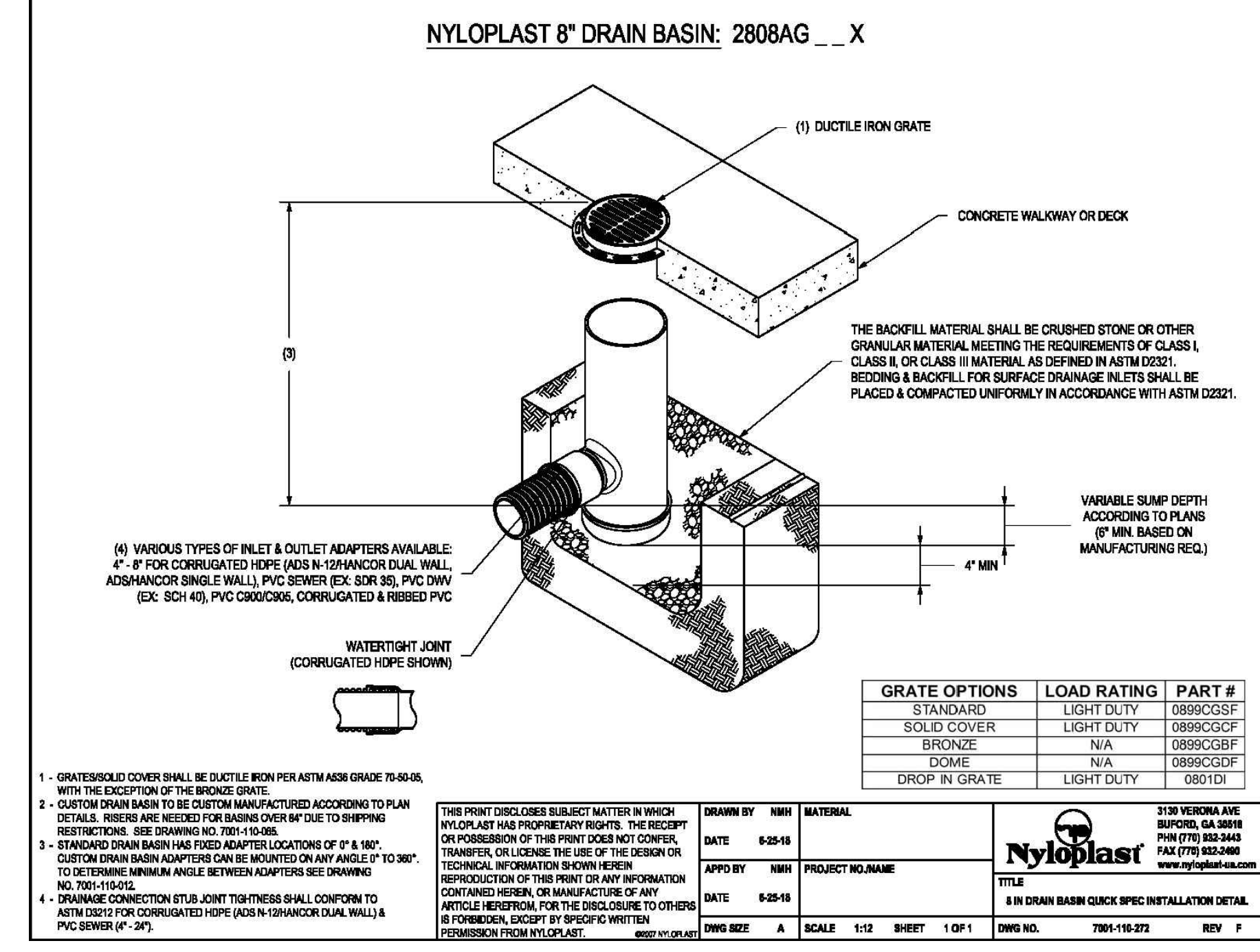
**LEGEND**

	AREA TO RAIN GARDEN 'A' (IMPERVIOUS 1,419 SF) (PERVIOUS 746 SF)
	AREA TO RAIN GARDEN 'B' (IMPERVIOUS 1,359 SF) (PERVIOUS 704 SF)
	AREA TO RAIN GARDEN 'C' (IMPERVIOUS 889 SF) (PERVIOUS 1,552 SF)

**ADS NYLOPLAST DETAILS - FOR BIORETENTION CONNECTION DRAIN (STR #1)**



**ADS NYLOPLAST DETAILS - FOR BIORETENTION CONNECTION DRAIN (STR #1)**



**ADVANCE COPY**

**BMP SCHEMATIC & DESIGN DETAILS**

**WALTER L. PHILLIPS INCORPORATED** ESTABLISHED 1945

Engineers • Surveyors • Planners  
Landscape Architects • Arborists  
207 PARK AVENUE  
FALLS CHURCH, VIRGINIA 22046  
(703) 532-6163 Fax (703) 533-1301  
www.WLPINC.com email: bschitter@wlpinc.com

**ARLINGTON, VIRGINIA**  
**DEPARTMENT OF ENVIRONMENTAL SERVICES**  
**1212 SOUTH IRVING STREET**  
**LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON GRADING PLAN**  
**ARLINGTON COUNTY, VIRGINIA**

SCALE: AS NOTED DRAWN DL CHECKED KW  
SUBMITTED DATE  
REVISION FOR PERMIT: 05/21/2021  
APPROVED DATE  
DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-0704**

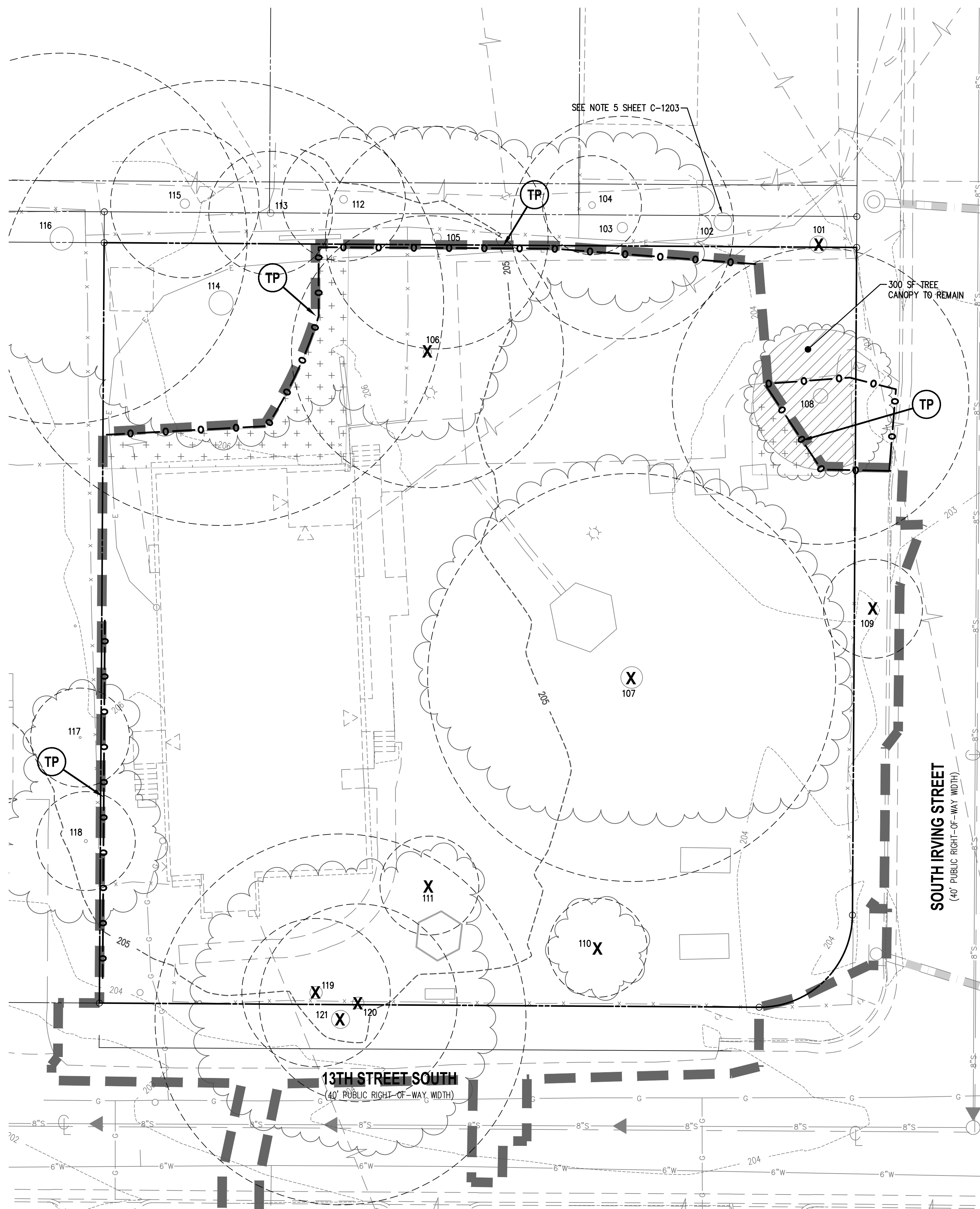


**TREE PROTECTION LEGEND**

KEY	TITLE	SYMBOL
TP	TREE PROTECTION	
	ROOT PADDING 10" LAYER OF WOOD CHIPS	
	TREE TO BE REMOVED	X
	EXISTING TREELINE	
	LIMITS OF DISTURBANCE	
	CRITICAL ROOT ZONE (CRZ)	
	TREE CANOPY TO BE PRESERVED	

**NOTE:**

- BUILDING MATERIALS AND EQUIPMENT TO BE STORED ONSITE WILL BE OUTSIDE THE CRITICAL ROOT ZONE OF ANY OFFSITE TREES TO REMAIN.
- ALL EXISTING TREES WITHIN THE LIMITS OF CLEARING AND GRADING TO BE REMOVED UNLESS OTHERWISE NOTED.
- COUNTY ARBORIST INSPECTION REQUIRED PRIOR TO ANY LAND DISTURBANCE ACTIVITY
- ALL REQUIRED PROPOSED TREES ARE TO BE INCLUDED ON THE FINAL HOUSE LOCATION SURVEY AND MUST INCLUDE LOCATION, SPECIES, AND SIZE.



Arlington Co.		Tree Inventory														
Tree #	Botanical Name	Common Name	Size DBH (in)	CRZ Radius (ft)	Species Rating (%)	Condition (%)	CRZ Disturbed (%)	Total Score	Replacements	Offsite or Shared	Removal	Tree Protection Fence	Root Prune	Root Padding	Hand Removal/Selective Removal	Notes
Tree Survey Information Completed by Walter Phillips, Inc - Arborist Ben Schitter- ISA # MA-5385A # (19-115) 07/23/2020																
101	Dead	Dead	24"	0'	0%	0%	n/a			S	X					same owner
102	Dead	Dead	20"	0'	0%	0%	n/a			O		X				permission req. from neighbor to remove vines
103	Morus alba	White mulberry	18"	18'	30%	59%	30%			O		X				vines
104	Catalpa speciosa	Northern catalpa	3"	8'	60%	66%	5%			O		X				
105	Juglans nigra	Black walnut	18"	18'	68%	66%	50%			O		X				
106	Ilex opaca	American holly	22"	22'	73%	59%	100%				X					
107	Morus alba	White mulberry	33"	33'	30%	66%	100%				X					
108	Ulmus americana	American elm	24"	24'	53%	56%	40%					X	X			multi-stem
109	Cercis canadensis	Eastern redbud	8"	8'	73%	63%	100%	3.7	1	O	X					ROW
110	Magnolia grandiflora	Southern magnolia	4"	8'	70%	75%	100%				X					
111	Magnolia grandiflora	Southern magnolia	3"	8'	70%	75%	100%				X					
112	Pyrus calleryana	Callery pear	10"	10'	20%	69%	5%			O		X				
113	Ulmus pumila	Siberian elm	10"	10'	20%	56%	0%			O		X				
114	Morus alba	White mulberry	36"	36'	30%	59%	25%					X	X			no credit claimed
115	Ulmus pumila	Siberian elm	12"	12'	20%	66%	0%			O						
116	Morus alba	White mulberry	30"	30'	30%	63%	0%			O						
117	Prunus spp.	Ornamental Cherry	3"	8'	55%	69%	20%			O		X				
118	Prunus spp.	Ornamental Cherry	5"	8'	55%	69%	20%			O		X				
119	Ulmus americana	American elm	12"	12'	53%	56%	100%				X					
120	Ulmus americana	American elm	16"	16'	53%	59%	100%	5.0	2	S	X					ROW. Shared
121	Ulmus americana	American elm	30"	30'	53%	59%	100%	9.4	2	O	X					ROW

DBH = Diameter at Breast Height (measured 4.5 feet above ground)  
 CRZ = Critical Root Zone = 1 foot radius per inch of tree diameter, trees over 30" DBH = 1.5 foot radius per inch of tree diameter  
 CRZ values for trees with multiple stems were calculated based on methods outlined in the 9th edition of the Guide for Plant Appraisal, published by the I.S.A.  
 Condition Ratings provided as percentages based on methods outlined in the 9th edition of the Guide for Plant Appraisal, published by the I.S.A.

5 REPLACEMENT TREES REQUIRED

SEE SHEET C-1203 FOR PLANTINGS

RATING:	1-4.9	= 1 TREE
	5-9.9	= 2 TREE
	10-14.9	= 3 TREES
	15-19.9	= 4 TREES
	20-24.5	= 5 TREES
	25+	= 6 TREES

FOR ROW TREES ONLY

**ADVANCE COPY**

**TREE CONSERVATION PLAN - EXISTING CONDITIONS**

**WALTER L. PHILLIPS INCORPORATED** ESTABLISHED 1945  
 Engineers • Surveyors • Planners  
 Landscape Architects • Arborists  
 207 PARK AVENUE  
 FALLS CHURCH, VIRGINIA 22046  
 (703) 532-6163 Fax (703) 533-1301  
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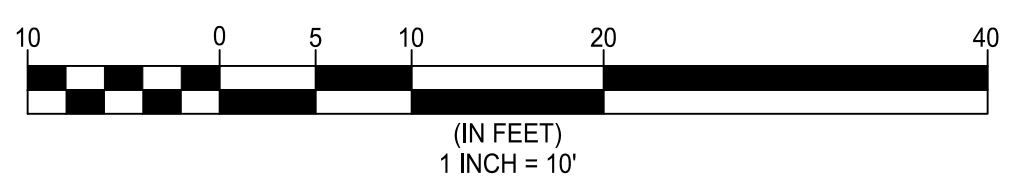
**ARLINGTON, VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
 1212 SOUTH IRVING STREET  
 LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON  
 GRADING PLAN  
 ARLINGTON COUNTY, VIRGINIA**

SCALE: 1" = 10'	DRAWN DL	CHECKED KW
SUBMITTED DATE	REVISION FOR PERMIT: 05/21/2021	APPROVED DATE
		DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-1201**

TREE INVENTORY, TREE PRESERVATION AND LANDSCAPE PLAN PREPARED BY:

BENJAMIN J. SCHITTER, CERTIFIED ARBORIST ISA #MA-5385A 7/23/2020



**TREE CONSERVATION PLAN**



Arlington County Government  
 Arlington County Government  
 1400 N. Uhle Street, Arlington, VA 20001  
 703-228-4438  
 cwilson@arlingtonva.us

Arlington County Government  
 1212 S Irving Street (Lot 41-B)  
 Arlington, VA 22204

Re: Authorization for Tree Removal

Arlington County grant permission to remove tree #101 as shown on the demolition plan prepared by Walter L. Phillips, shared between the properties (1212 S Irving Street (Lot 41-B and Parcel 9).

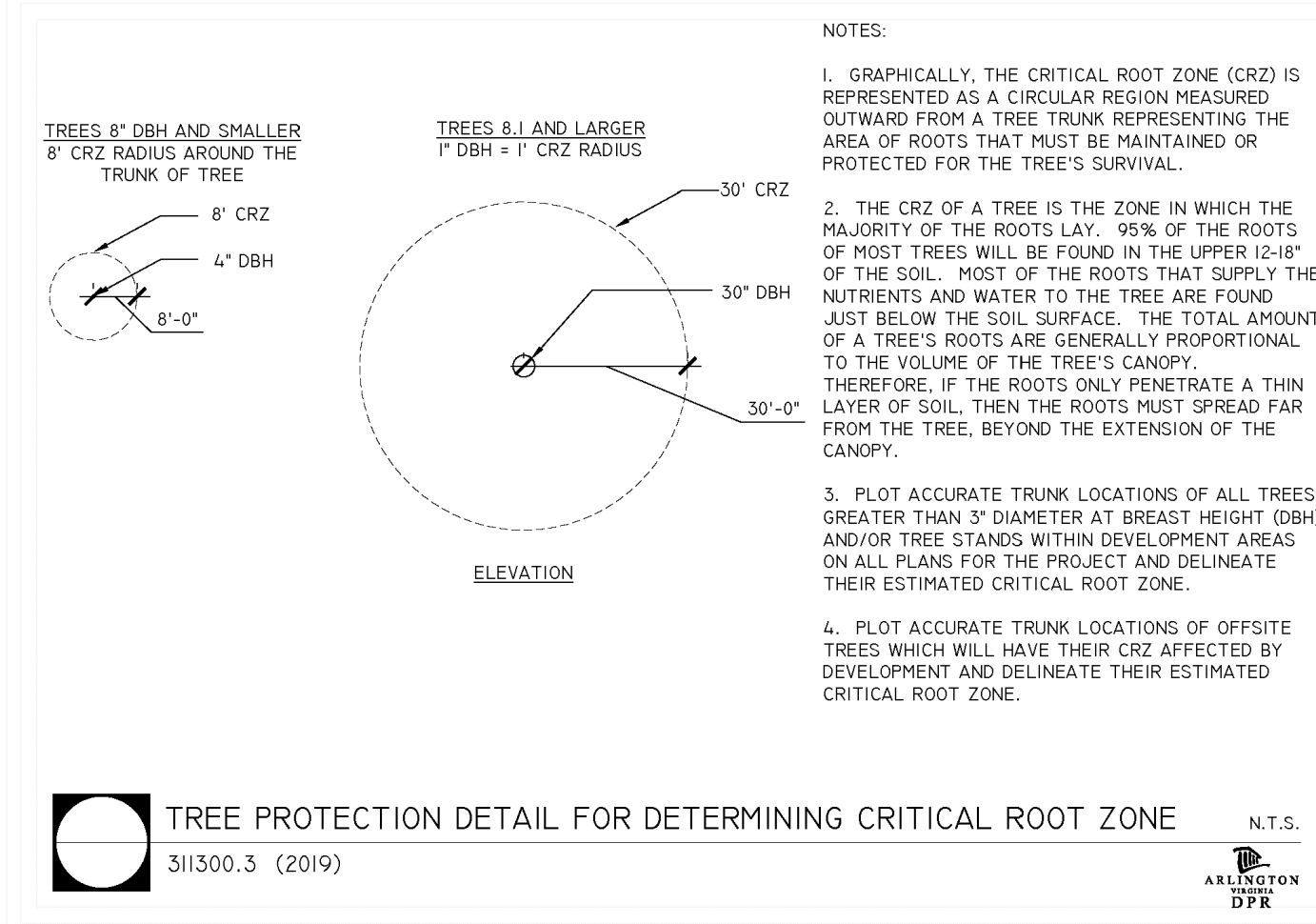
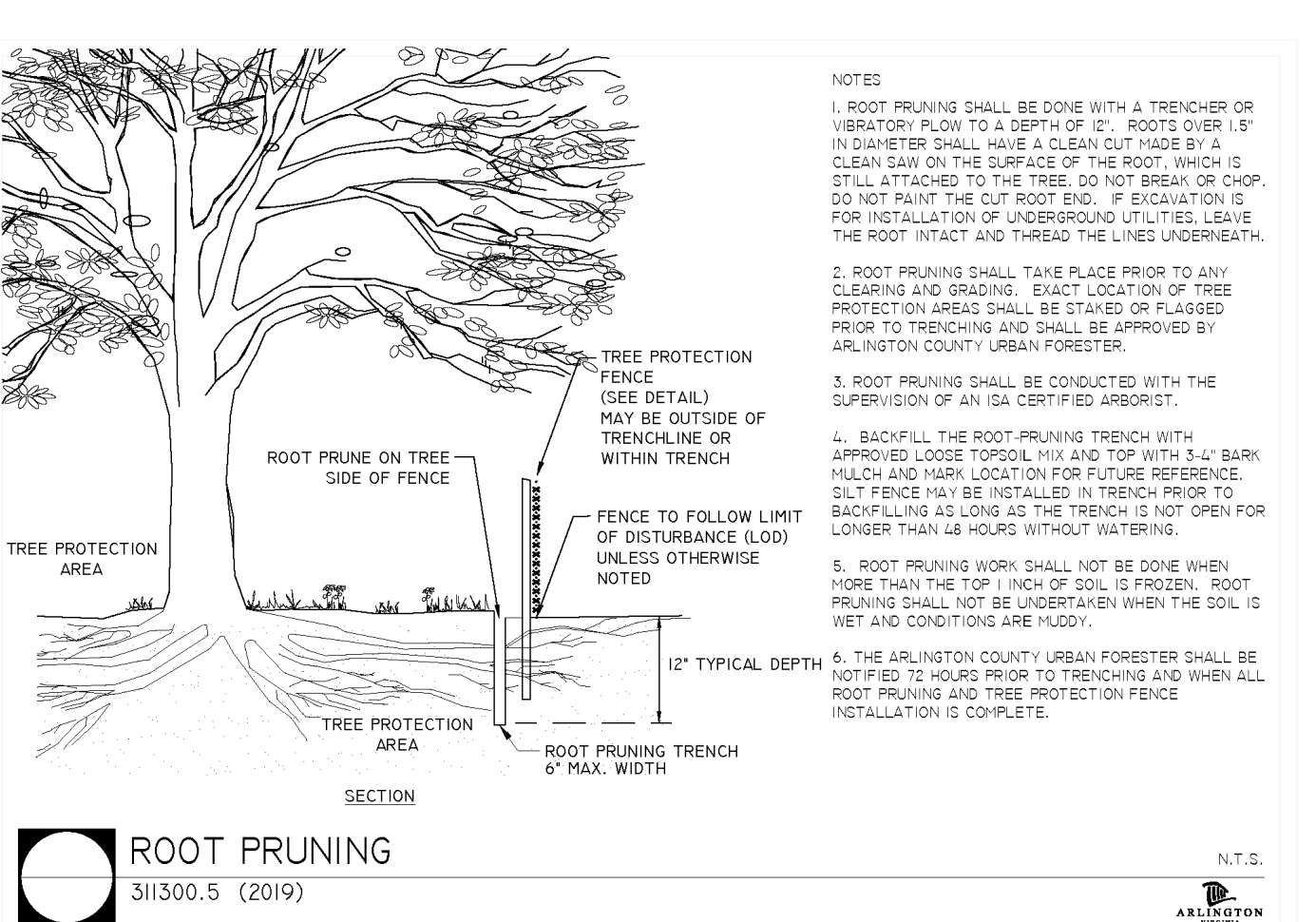
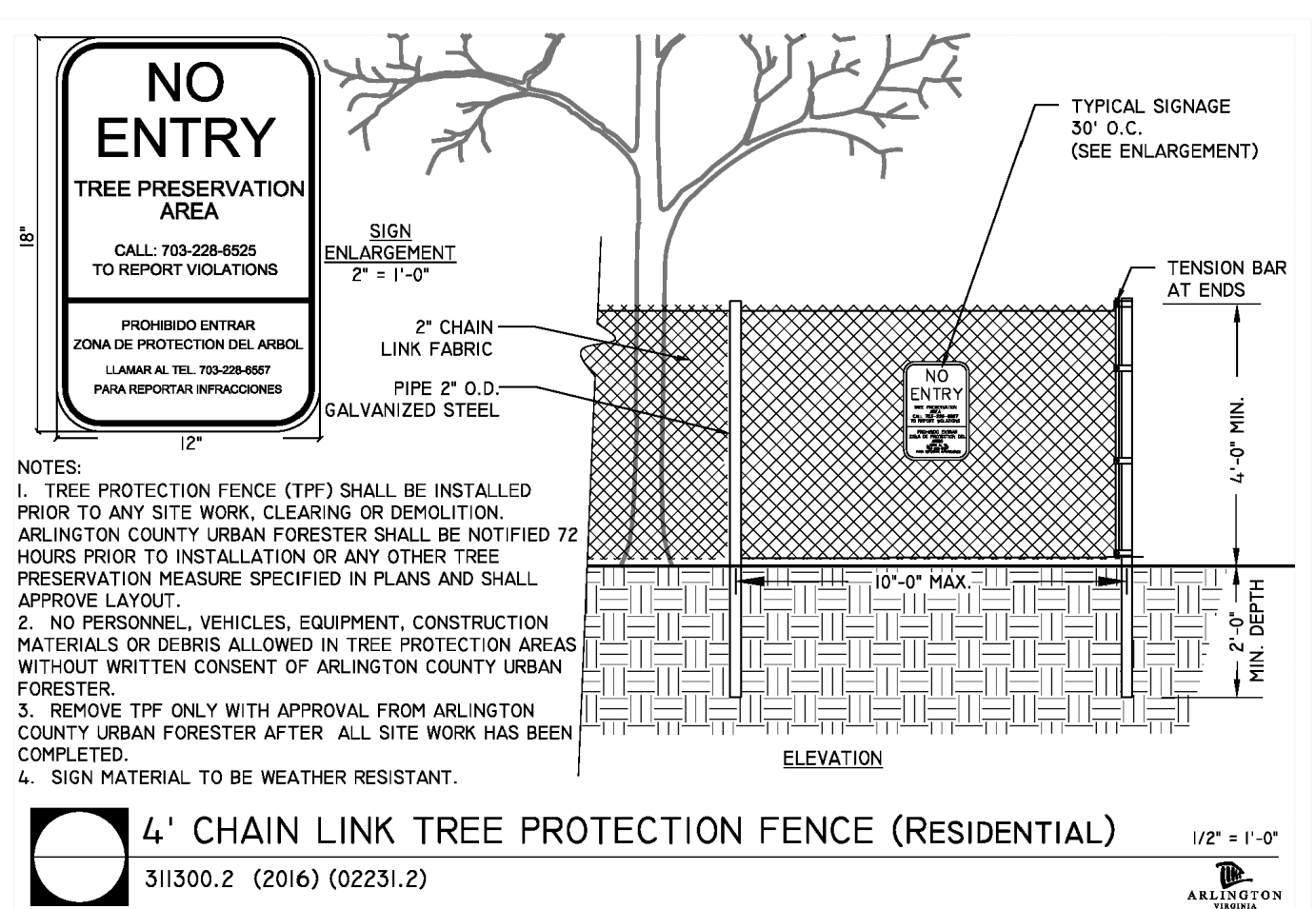
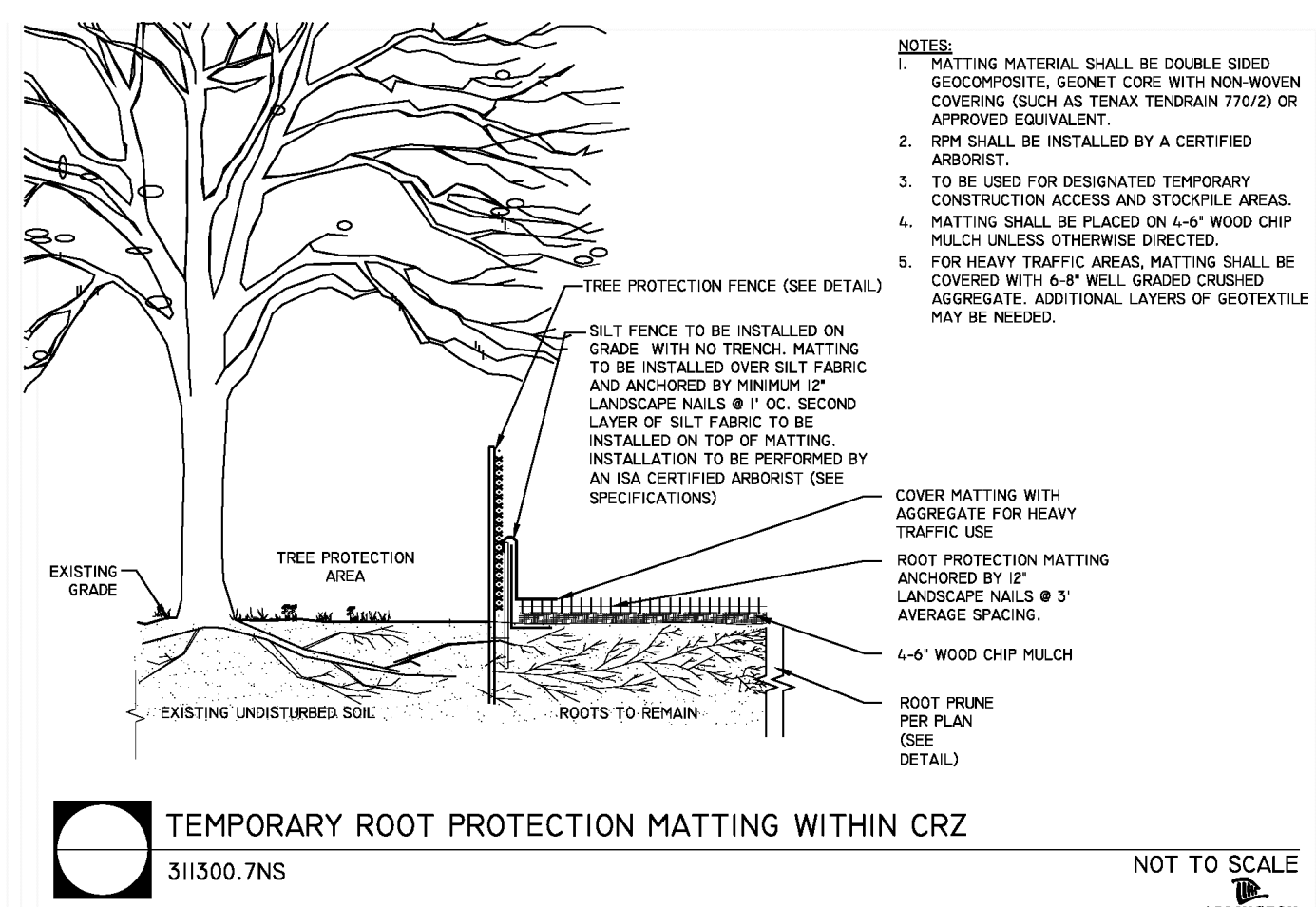
Sincerely,

Cynthia Wilson (Arlington County Government Representative)

Digitally signed by Cynthia Wilson  
 DN: cn=CW, o=Facilities Design and Construction, ou=Department of Environmental Services, cn=Cynthia Wilson  
 Reason: Certified by Cynthia Wilson  
 Date: 2021.05.10 08:53:50-04'00'

- BEFORE ANY GRADING, DEMOLITION, OR OTHER DISTURBANCE, TREE PROTECTION NEEDS TO BE INSTALLED PER PLAN, AND INSPECTED BY AN ARLINGTON COUNTY PARKS AND RECREATION URBAN FORESTER. EROSION AND SEDIMENT CONTROLS ARE INSPECTED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- PLANTS SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL PLANTS, MATERIALS, AND EQUIPMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, AND VIGOROUS ROOT SYSTEMS; AND BE FREE FROM DEFECTS AND INJURIES.
- PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY IF/WHEN PRACTICAL. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OWNER AND CONTRACTOR PROVIDE OTHERWISE BY WRITTEN AGREEMENT. ALL PLANTS KEPT ON SITE FOR ANY PERIOD OF TIME SHOULD BE WATERED AND CARED FOR USING ANSI A300 STANDARDS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN MUDDY OR FROZEN CONDITION. LAWN, TREES AND SHRUBS SHALL BE INSTALLED BETWEEN 03/15 AND 06/15 OR BETWEEN 09/15 AND 12/01. IF A PROJECT COMPLETION IS OUTSIDE OF THIS PLANTING PERIOD, CONTACT THE ARLINGTON COUNTY URBAN FORESTER TO OBTAIN A DEFERRAL OR APPROVAL FOR PLANTING OUT OF SEASON.
- NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE PLANTED WITHIN TWO FEET OF A SIDEWALK.
- TREES AND SHRUBS SHALL BE PLANTED IN HOLES TWO TO THREE TIMES AS WIDE AND TO THE DEPTH OF THE ROOT BALL.
- PLANTS SHALL BE PLANTED IN IN SITU SOIL THAT IS THOROUGHLY WATERED.
- SET ALL PLANTS PLUMB AND STRAIGHT SET AT SUCH LEVEL THAT NORMAL OR NATURAL RELATIONSHIP BETWEEN THE PLANT AND THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
- INJURED ROOTS SHALL BE PRUNED TO CLEAN ENDS BEFORE PLANTING WITH CLEAN, SHARP TOOLS. THE LEADER OF TREES SHALL NOT BE CUT BACK.
- PRESERVED AND PLANTED TREES MUST BE INSPECTED AND APPROVED BY A DEPARTMENT OF PARKS AND RECREATION URBAN FORESTER.
- ALL DISTURBED AREAS SHALL BE TREATED WITH 4" TOP SOIL OR COMPOST AND SEEDED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL SHEET AND/OR LANDSCAPE PLAN.

ADVANCE COPY



ARLINGTON VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
 Facilities Design and Construction Division  
 1400 N. Uhle St. Arlington, VA 22201  
 TEL 703-228-4430 FAX 703-228-3093 TTY 703-228-4611 www.arlingtonva.us

Cynthia Wilson  
 Arlington County Government  
 1400 N. Uhle Street, Arlington, VA 20001  
 703-228-4438  
 cwilson@arlingtonva.us

10/27/2020

Alicia & Adolfo G. Gonzalez  
 3217 13th St. S.  
 Arlington, VA 22204

VIA CERTIFIED MAIL

RE: Tree Protection Plan at 1212 S. Irving Street, Arlington, VA 22204

Dear Mr. & Ms. Gonzalez:  
 This letter is being sent to you in accordance with the Arlington County Chesapeake Bay Ordinance on behalf of the property owner at 1212 S. Irving Street, Arlington VA 22204. This letter serves as notice that trees located on your property may be impacted by the proposed land disturbing activities.  
 The enclosed not to scale tree protection plan shows that trees numbered 114, 115, 117 and 118 have critical root zones that cross into the project site. The appropriate tree protection measures will be installed before construction begins. These measures include tree protection fencing, and the required signage, as well as root protection and/or padding where needed. If you wish to discuss this plan, please contact the project manager directly at cwilson@arlingtonva.us

Sincerely,  
 Cynthia Wilson

Enclosures: Copy of the Tree Protection Plan, not to scale  
 Cc: Arlington County Urban Forester, Department of Parks and Recreation



ARLINGTON VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
 Facilities Design and Construction Division  
 1400 N. Uhle St. Arlington, VA 22201  
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Cynthia Wilson  
 Arlington County Government  
 1400 N. Uhle Street, Arlington, VA 20001  
 703-228-4438  
 cwilson@arlingtonva.us

10/27/2020

Anna Godsey & Daniel Bishop  
 3204 12th St. S.  
 Arlington, VA 22204

VIA CERTIFIED MAIL

RE: Tree Protection Plan at 1212 S. Irving Street, Arlington, VA 22204

Dear Ms. Godsey, Mr. Bishop:  
 This letter is being sent to you in accordance with the Arlington County Chesapeake Bay Ordinance on behalf of the property owner at 1212 S. Irving Street, Arlington VA 22204. This letter serves as notice that trees located on your property may be impacted by the proposed land disturbing activities.  
 The enclosed not to scale tree protection plan shows that trees numbered 102, 103, 104, 105, 106, 112, 113 and 114 have critical root zones that cross into the project site. The appropriate tree protection measures will be installed before construction begins. These measures include tree protection fencing, and the required signage, as well as root protection and/or padding where needed. If you wish to discuss this plan, please contact the project manager directly at cwilson@arlingtonva.us

Sincerely,  
 Cynthia Wilson

Enclosures: Copy of the Tree Protection Plan, not to scale  
 Cc: Arlington County Urban Forester, Department of Parks and Recreation



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 DEPARTMENT OF ENVIRONMENTAL SERVICES  
 Facilities Design and Construction Division  
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Cynthia Wilson  
 Arlington County Government  
 1400 N. Uhle Street, Arlington, VA 20001  
 703-228-4438  
 cwilson@arlingtonva.us

10/27/2020

Mesfin M. Abebe  
 3208 12th St. S.  
 Arlington, VA 22204

VIA CERTIFIED MAIL

RE: Tree Protection Plan at 1212 S. Irving Street, Arlington, VA 22204

Dear Mr. Abebe:  
 This letter is being sent to you in accordance with the Arlington County Chesapeake Bay Ordinance on behalf of the property owner at 1212 S. Irving Street, Arlington VA 22204. This letter serves as notice that trees located on your property may be impacted by the proposed land disturbing activities.  
 The enclosed not to scale tree protection plan shows that trees numbered 113, 114, 115 and 116 have critical root zones that cross into the project site. The appropriate tree protection measures will be installed before construction begins. These measures include tree protection fencing, and the required signage, as well as root protection and/or padding where needed. If you wish to discuss this plan, please contact the project manager directly at cwilson@arlingtonva.us

Sincerely,  
 Cynthia Wilson

Enclosures: Copy of the Tree Protection Plan, not to scale  
 Cc: Arlington County Urban Forester, Department of Parks and Recreation



ARLINGTON VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
 Facilities Design and Construction Division  
 1400 N. Uhle St. Arlington, VA 22201  
 TEL 703-228-4430 FAX 703-228-3093 TTY 703-228-4611 www.arlingtonva.us

Cynthia Wilson  
 Arlington County Government  
 1400 N. Uhle Street, Arlington, VA 20001  
 703-228-4438  
 cwilson@arlingtonva.us

10/27/2020

Adam L. & Diana M. Bray  
 3200 12th St. S.  
 Arlington, VA 22204

VIA CERTIFIED MAIL

RE: Tree Protection Plan at 1212 S. Irving Street, Arlington, VA 22204

Dear Mr. & Ms. Bray:  
 This letter is being sent to you in accordance with the Arlington County Chesapeake Bay Ordinance on behalf of the property owner at 1212 S. Irving Street, Arlington VA 22204. This letter serves as notice that trees located on your property may be impacted by the proposed land disturbing activities.  
 The enclosed not to scale tree protection plan shows that trees numbered 101, 102, 103 and 104 have critical root zones that cross into the project site. The appropriate tree protection measures will be installed before construction begins. These measures include tree protection fencing, and the required signage, as well as root protection and/or padding where needed. If you wish to discuss this plan, please contact the project manager directly at cwilson@arlingtonva.us

Sincerely,  
 Cynthia Wilson

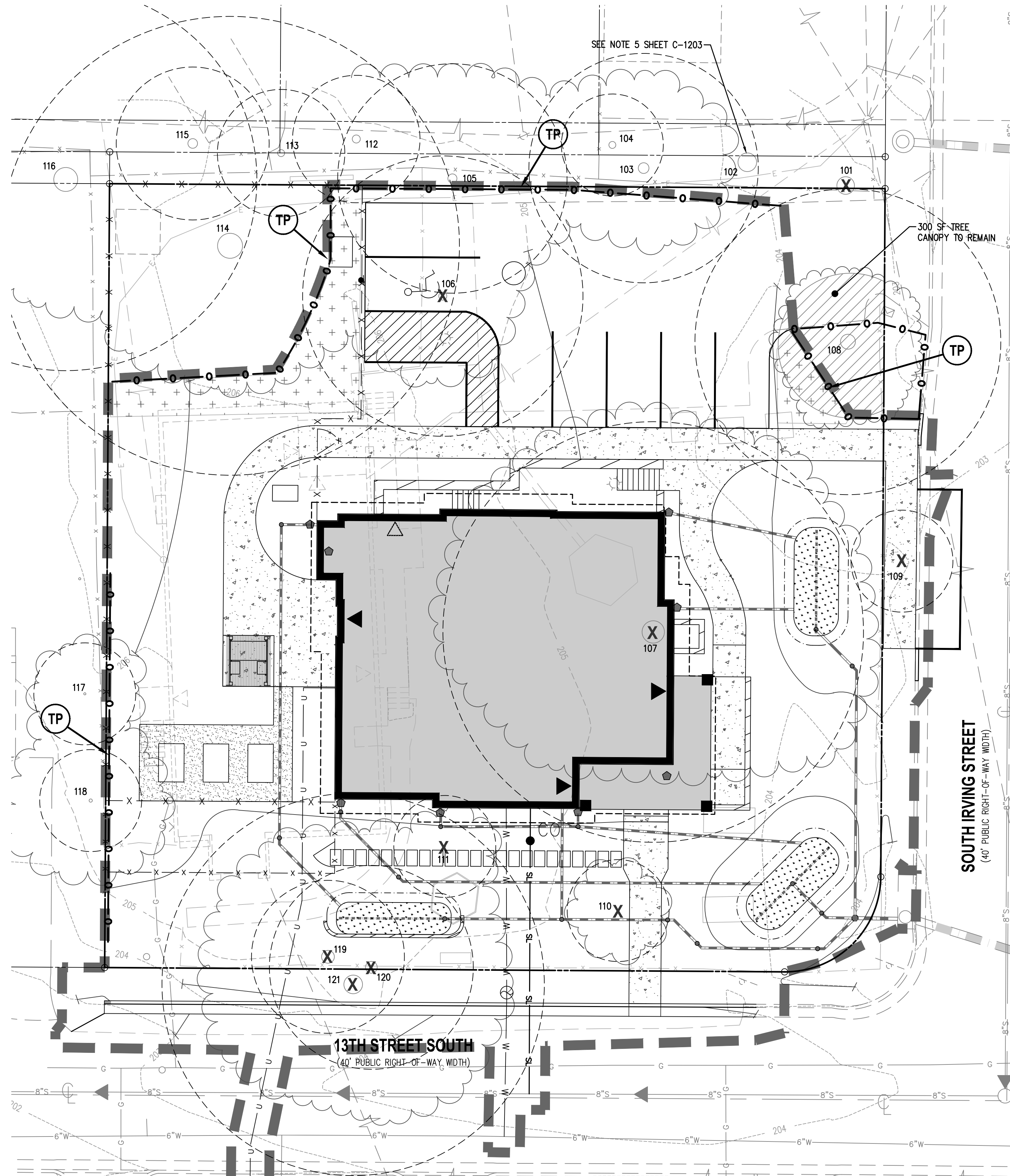
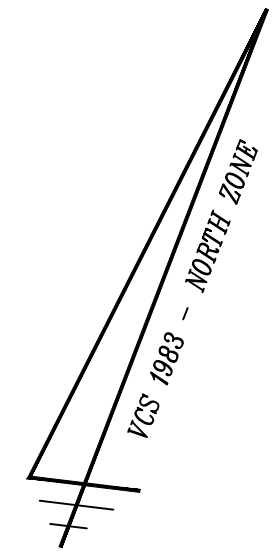
Enclosures: Copy of the Tree Protection Plan, not to scale  
 Cc: Arlington County Urban Forester, Department of Parks and Recreation





**TREE COVER CALCULATIONS**

GROSS SITE AREA		14921 SF
EXCEPTIONS, DEDUCTIONS		0 SF
ZONE		R-6
PERCENT REQUIRED		20 %
TREE COVER TO BE PROVIDED	(20%)	2984 SF
TREE COVER PROVIDED BY PRESERVING TREES	300 SF X 2.0 =	600.00 SF
TREE COVER TO BE PROVIDED BY PLANTING TREES		2384.20 SF
COVER PROVIDED BY PLANTING		3087 SF
TOTAL TREE COVER PROVIDED		3687 SF



**TREE PROTECTION LEGEND**

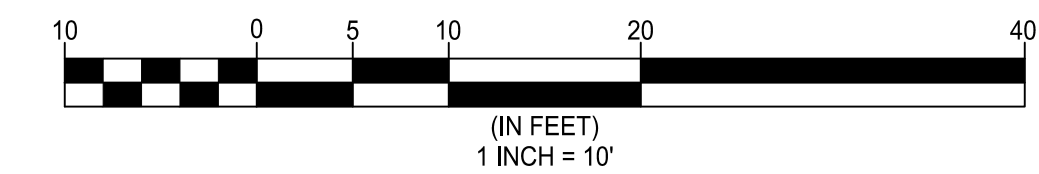
KEY	TITLE	SYMBOL
TP	TREE PROTECTION	—○—○—
	ROOT PADDING 10" LAYER OF WOOD CHIPS	[Pattern of small crosses]
	TREE TO BE REMOVED	X
	EXISTING TREELINE	[Wavy line]
	LIMITS OF DISTURBANCE	[Thick dashed line]
	CRITICAL ROOT ZONE (CRZ)	[Dashed circle]
	TREE CANOPY TO BE PRESERVED	[Hatched area]

**NOTE:**

- BUILDING MATERIALS AND EQUIPMENT TO BE STORED ONSITE WILL BE OUTSIDE THE CRITICAL ROOT ZONE OF ANY OFFSITE TREES TO REMAIN.
- ALL EXISTING TREES WITHIN THE LIMITS OF CLEARING AND GRADING TO BE REMOVED UNLESS OTHERWISE NOTED.
- COUNTY ARBORIST INSPECTION REQUIRED PRIOR TO ANY LAND DISTURBANCE ACTIVITY
- ALL REQUIRED PROPOSED TREES ARE TO BE INCLUDED ON THE FINAL HOUSE LOCATION SURVEY AND MUST INCLUDE LOCATION, SPECIES, AND SIZE.
- TREE 102 IS SHARED WITH THE NEIGHBOR TO THE NORTH. THE TREE IS DEAD AND IS RECOMMENDED FOR REMOVAL. PERMISSION MUST BE GRANTED BY THE NEIGHBOR TO REMOVE.
- FOR ALL TREE PRESERVATION AREAS, INVASIVE SPECIES SHOULD BE REMOVED TO A PRACTICABLE EXTENT TO ENSURE FUTURE HEALTH OF THE TREE BEING PRESERVED.

TREE INVENTORY, TREE PRESERVATION AND LANDSCAPE PLAN PREPARED BY:

*B. Schitter*  
 BENJAMIN J. SCHITTER, CERTIFIED ARBORIST ISA #MA-5385A 7/23/2020



**ADVANCE COPY**

**TREE CONSERVATION PLAN - PROPOSED CONDITIONS**

**WALTER L. PHILLIPS INCORPORATED** ESTABLISHED 1945

Engineers • Surveyors • Planners  
 Landscape Architects • Arborists  
 207 PARK AVENUE  
 FALLS CHURCH, VIRGINIA 22046  
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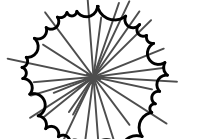
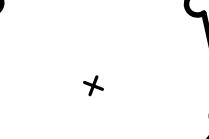


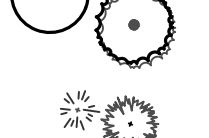
**ARLINGTON, VIRGINIA  
 DEPARTMENT OF ENVIRONMENTAL SERVICES  
 1212 SOUTH IRVING STREET  
 LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON  
 GRADING PLAN  
 ARLINGTON COUNTY, VIRGINIA**

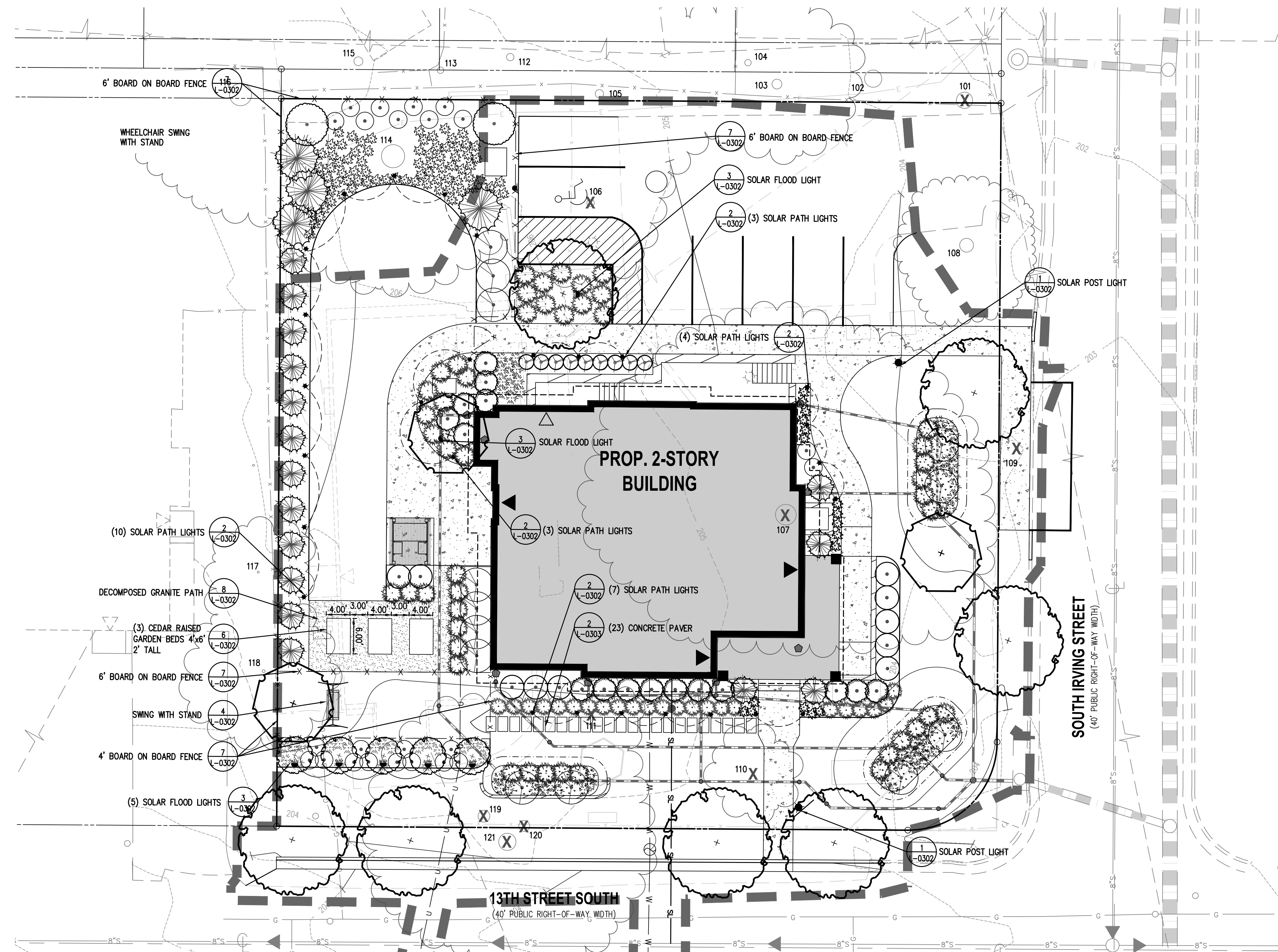
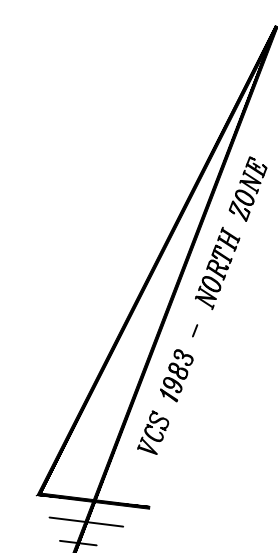
SCALE: 1" = 10'	DRAWN DL	CHECKED KW
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		DIRECTOR OF ENVIRONMENTAL SERVICES

SHEET: **C-1203**



**LEGEND**

- TREE TO BE REMOVED 
- EXISTING TREELINE 
- LIMITS OF DISTURBANCE 
- CRITICAL ROOT ZONE (CRZ) 
- PROPOSED EVERGREEN TREE 
- PROPOSED UNDERSTORY TREE 
- PROPOSED CANOPY TREE 
- PROPOSED SHRUBS 
- PROPOSED PERENNIALS/ GRASSES 



**Sheet Index**

- L-0301 LANDSCAPE LAYOUT
- L-0302 LANDSCAPE AMENITIES
- L-0303 LANDSCAPE DETAILS
- L-0401 PLANTING PLAN
- L-0402 PLANTING NOTES AND DETAILS

NOTE:  
THIS PLAN SERVES AS A  
SUPPLEMENTAL LANDSCAPE PLAN.  
SEE LDA PLAN FOR REQUIRED  
TREE PLANTINGS

**ADVANCE  
COPY**

**LANDSCAPE LAYOUT**

**WALTER L. PHILLIPS**  
INCORPORATED ESTABLISHED 1945

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**ARLINGTON, VIRGINIA**  
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LOT 41-B AND PARCEL 10, C.B. MUNSON'S 2ND ADDITION TO ARLINGTON  
SUPPLEMENTARY LANDSCAPE PLAN  
ARLINGTON COUNTY, VIRGINIA

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SHEET: <b>L-0301</b>		





**1 SOLAR POST LIGHT** PRODUCT INFO  
 L-0302 SCALE: NTS  
 QUANTITY: 2  
 COLOR: WARM WHITE  
 BRAND: GAMASONIC IMPERIAL III SOLAR LAMP  
 MODEL: GS-97K-F  
<https://gamasonic.com/product/imperial-iii-commercial-solar-post-light-97k012/?prd=typ>  
 -INSTALLED ON 3" BLACK GROUND MOUNTED POST - 6' TALL  
 -OR SIMILAR



**2 SOLAR PATH LIGHT** PRODUCT INFO  
 L-0302 SCALE: NTS  
 QUANTITY: 27  
 COLOR: WARM WHITE  
 BRAND: SOLPEX  
<https://www.solarledlights.org/solpex-8-pack-solar-pathway-lights-outdoor-solar-powered-garden/>  
 -OR SIMILAR



**3 SOLAR FLOOD LIGHT** PRODUCT INFO  
 L-0302 SCALE: NTS  
 QUANTITY: 7  
 COLOR: WARM WHITE  
 BRAND: LITOM  
<https://www.solarledlights.org/litom-12-led-solar-landscape-spotlights-ip67-waterproof-solar-powered/>  
 -OR SIMILAR



**4 PORCH SWING WITH STAND** PRODUCT INFO  
 L-0302 SCALE: NTS  
 QUANTITY: 1  
 SIZE: 5'  
 BRAND: ADAMS ALL NATURAL FURNITURE  
<https://www.cedarwoodfurniture.com/4-5-foot-cedar-swing-with-frame-set.html>  
 -OR SIMILAR



**6 RAISED GARDEN BED** EXAMPLE IMAGE  
 L-0302 SCALE: NTS  
 QUANTITY: 3  
 -SEE SHEET L-0303 FOR DETAIL



**7 FENCE** EXAMPLE IMAGE  
 L-0302 SCALE: NTS  
 MATERIAL: CEDAR  
 HEIGHT: (6') 224 LF WITH 1 GATE  
 (4') 58 LF WITH 1 GATE  
 COLOR: NATURAL FINISH  
 -FENCE DESIGNED BY OTHERS



**8 DECOMPOSED GRANITE PATH** EXAMPLE IMAGE  
 L-0302 SCALE: NTS  
 MATERIAL: DECOMPOSED GRANITE  
 AREA: 325 SF  
 THICKNESS: 2"  
 COLOR: TAN  
 -INSTALL CORTEN STEEL METAL EDGING AT BOUNDARY



**9 CORTEN METAL EDGING** EXAMPLE IMAGE  
 L-0302 SCALE: NTS  
 MATERIAL: CORTEN STEEL  
 WIDTH: 4"  
 -INSTALL EDGING AT BOUNDARY OF ALL LANDSCAPE BEDS

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		SHEET: <b>L-0302</b>



**TREES**

KEY	BOTANICAL NAME	COMMON NAME	QTY	CAL.	HT.	COMMENTS
BN	Betula nigra 'Heritage'	River Birch	2	N/A	8'-10'	B&B, full specimen, 3-4 trunks
CC	Cercis canadensis 'Forest Pansy'	'Forest Pansy' Redbud	1	2"	N/A	B&B, full specimen
IS	Ilex opaca 'Greenleaf'	Greenleaf Holly	4	N/A	6-7'	B&B, full specimen compact uniform
NS	Nyssa sylvatica	Blackgum	4	2"-2.5"	N/A	B&B, full specimen
OK	Quercus x warei 'Nadler'	'Kindred Spirit' Oak	5	2"-2.5"	N/A	B&B, full specimen
OW	Quercus phellos	Willow Oak	2	2"-2.5"	N/A	B&B, full specimen
TO	Thuja occidentalis 'Nigra'	Arborvitae	12	N/A	6-7'	B&B, full specimen compact uniform
UA	Ulmus americana 'Valley Forge'	Valley Forge American Elm	1	2"-2.5"	N/A	B&B, full specimen

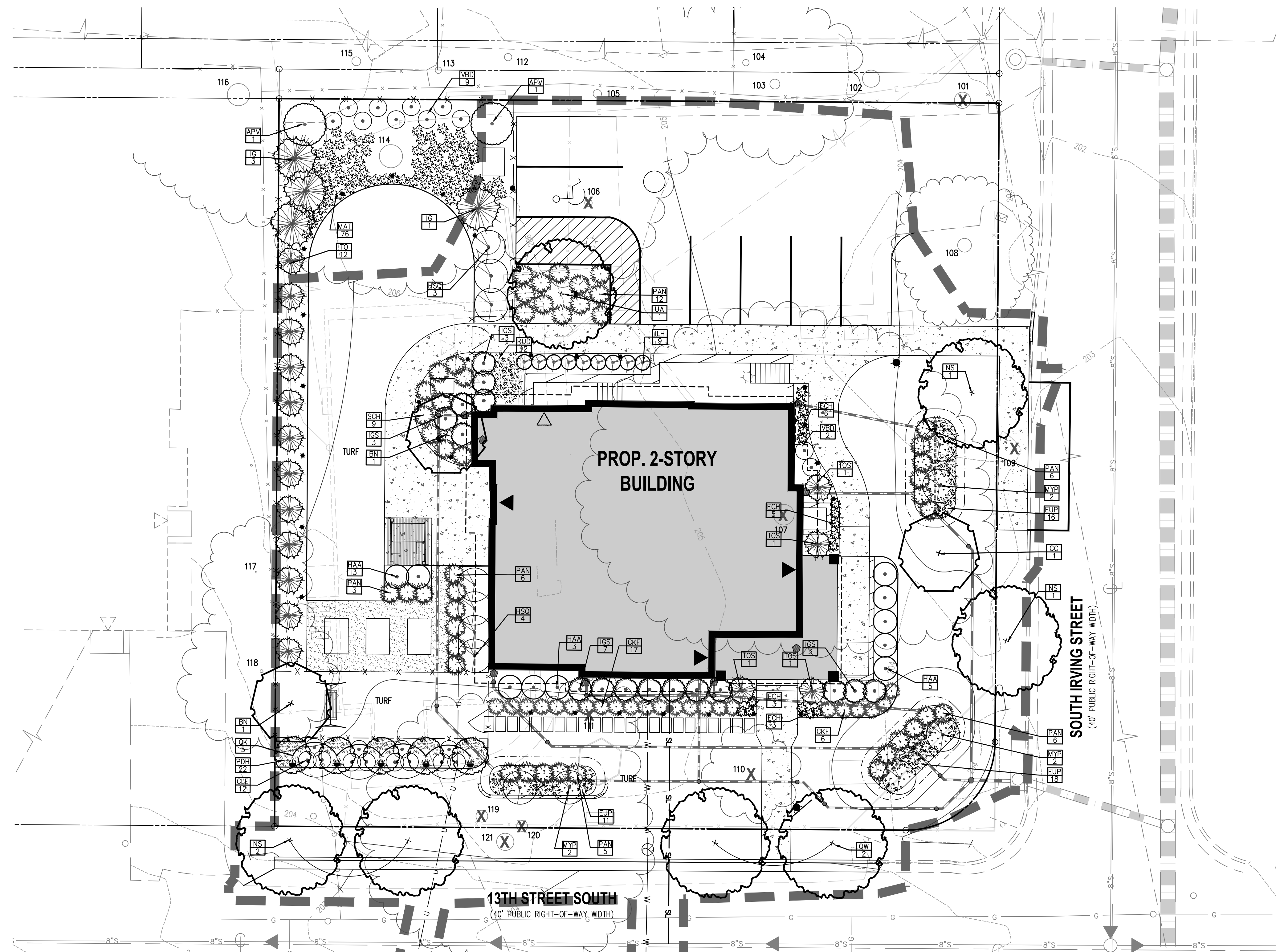
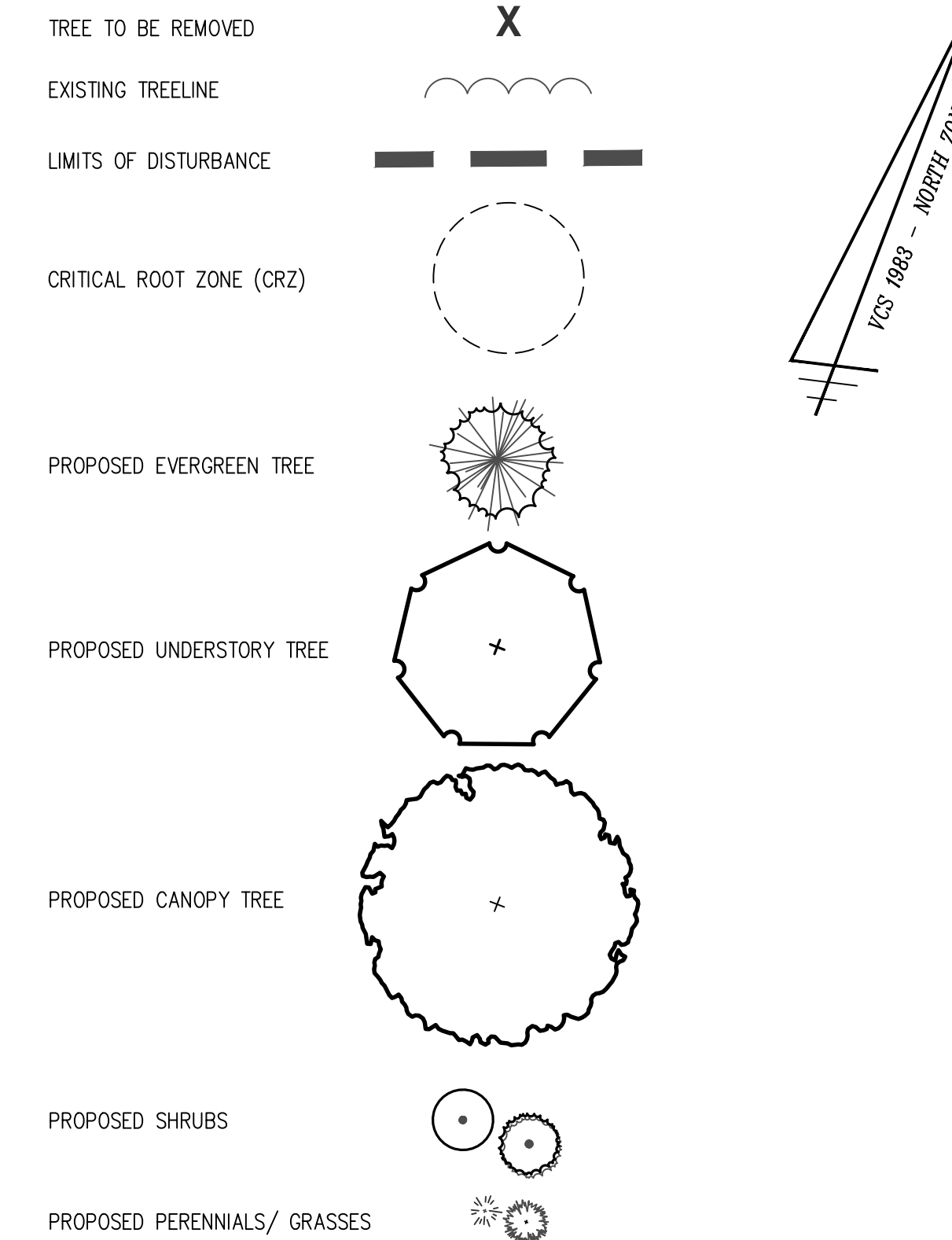
**SHRUBS**

KEY	BOTANICAL NAME	COMMON NAME	QTY	HEIGHT	SPREAD	COMMENTS
APV	Aesculus parviflora	Bottlebrush Buckeye	2	24'-36"	18'-24"	#3 cont, full vigorous, well-rooted & established
CLE	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet Clethra	12	18'-24"	18'-24"	#3 cont, full vigorous, well-rooted & established
HAA	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	8	24'-36"	24'-36"	#3 cont, full vigorous, well-rooted & established
HSQ	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	7	24'-36"	24'-36"	#3 cont, full vigorous, well-rooted & established
IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry	16	18'-24"	18'-24"	#3 cont, full vigorous, well-rooted & established
ILH	Itea virginica 'Little Henry'	Little Henry Sweetspire	9	15'-18"	15'-18"	#3 cont, full vigorous, well-rooted & established
MYP	Myrica pensylvanica	Northern Bayberry	6	24'-30"	24'-30"	#3 cont, full vigorous, well-rooted & established
TGS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	4	5'	24"	#3 cont, full vigorous, well-rooted & established
VBD	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	11	24'-36"	24'-36"	#3 cont, full vigorous, well-rooted & established

**PERENNIALS, GRASSES, FRENS**

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
CKF	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	23	#3 cont.	30" O.C. full specimen, healthy, well-rooted
EUP	Eupatorium fistulosum	Joe Pye Weed	45	#1 cont.	30" O.C. full specimen, healthy, well-rooted
ECH	Echinacea purpurea 'Magnus'	Purple Coneflower	8	#1 cont.	24" O.C. full specimen, healthy, well-rooted
MAT	Matteuccia struthiopteris	Ostrich Fern	76	#1 cont.	30" O.C. full specimen, healthy, well-rooted
PAN	Panicum virgatum 'Northwind'	Northwind Switch Grass	32	#3 cont.	24" O.C. full specimen, healthy, well-rooted
PDH	Penstemon digitalis 'Husker Red'	Beardtongue	22	#1 cont.	18" O.C. full specimen, healthy, well-rooted
RUD	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	12	#1 cont.	24" O.C. full specimen, healthy, well-rooted
SGH	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	9	#1 cont.	24" O.C. full specimen, healthy, well-rooted

**LEGEND**



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**PLANTING PLAN**

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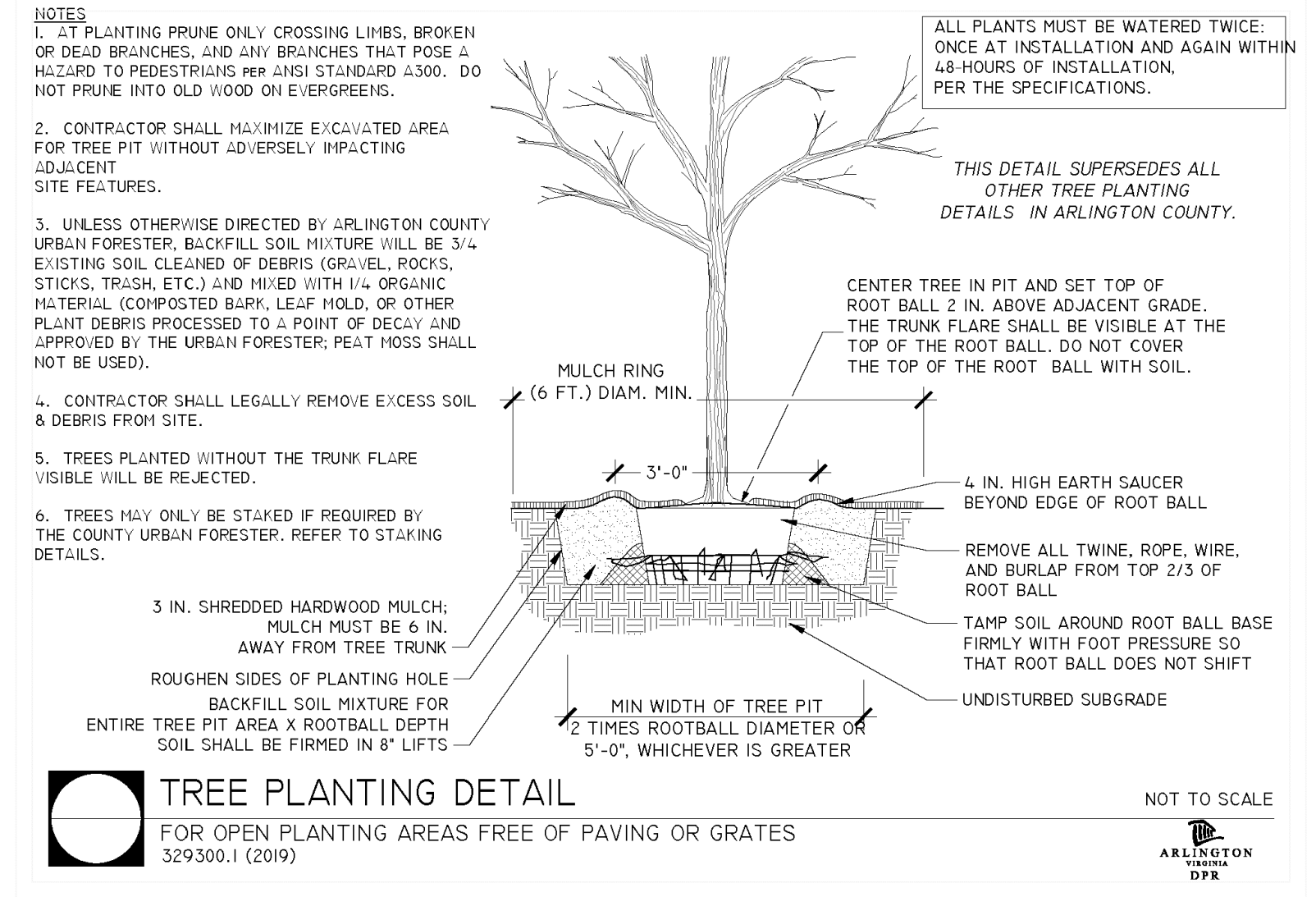
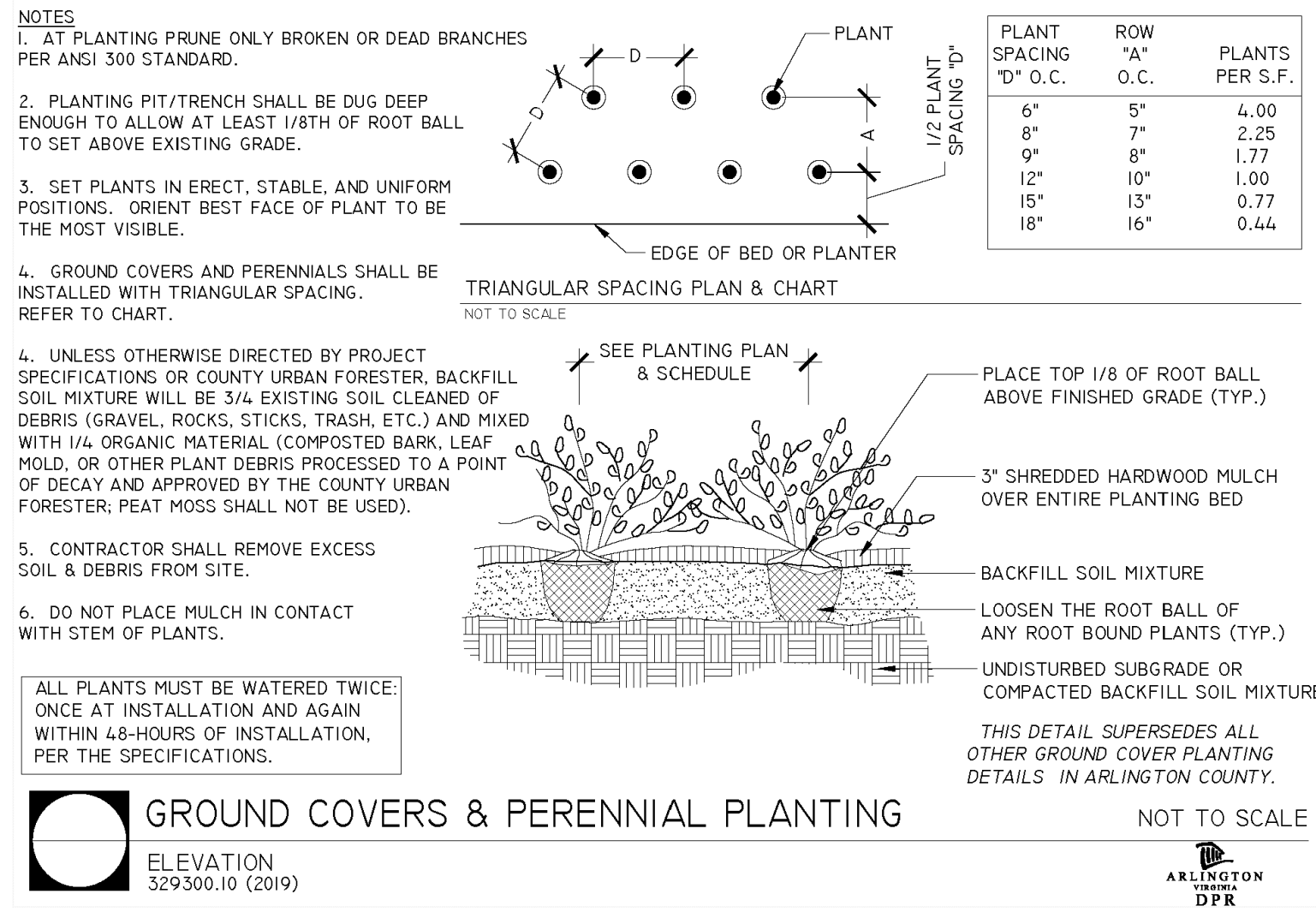
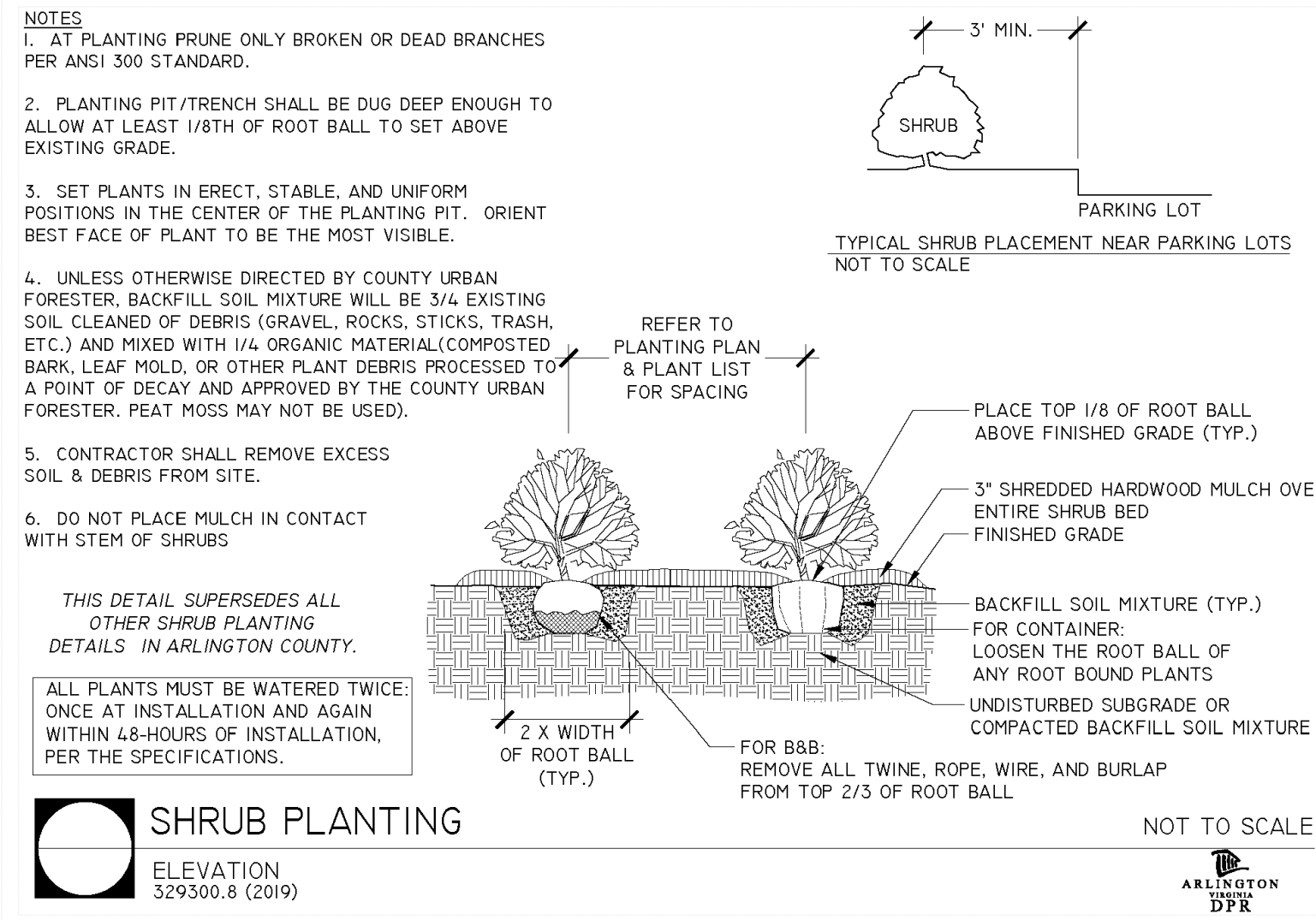


**LANDSCAPE NOTES**

1. MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED ON PLANS, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. GRADING AND PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE, AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE AND STANDARDS. THE RECOMMENDED PLANTING RANGE IS FROM MARCH-JUNE 15 AND SEPTEMBER-DECEMBER, FOR NON-TREE MATERIAL, AND OCTOBER - JUNE 15 FOR TREES. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS MUDDY OR FROZEN. CARE SHALL BE TAKEN TO PROVIDE PLANTS WITH ENOUGH WATER TO COMBAT HEAT STRESS DURING HOT/DRY WEATHER.
3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE. SOIL AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM BUILDING. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT PER APPROVED PLANS. NO TREES SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. LAYOUT OF PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR REPRESENTATIVE PRIOR TO INSTALLATION.
5. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, VIGOROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS AND INJURIES. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF ROOTBALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
6. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR ALL PLANT MATERIAL. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
7. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF PRACTICAL. IF THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD ARE SUBJECT TO REJECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT OR REPRESENTATIVE.
8. ALL INJURED ROOTS SHALL BE PRUNED USING ANSI A300 STANDARDS.
9. CONTRACTOR SHALL PROVIDE 4 IN. MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS UNLESS OTHERWISE INDICATED ON THE PLAN. TOPSOIL SHALL BE FREE OF WEEDS, DEBRIS, ROCKS LARGER THAN 2 IN., WOOD, ROOTS, VEGETABLE MATTER, AND CLAY CLODS. CLEAN, FERTILE TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED.
10. ANY PROPOSED PLANTING AREAS OF COMPACTED SOIL OR FILL, THE SOIL THROUGHOUT THE PLANTING AREA SHALL BE AMENDED WITH 3-6 INCHES OF ORGANIC MATTER AND THOROUGHLY TILLED TO A DEPTH OF 12 INCHES BEFORE PLANTING.
11. PLANTING PITS SHALL BE DUG PER DETAILS. SET PLANTS PLUMB AND STRAIGHT, WITH ROOT FLARES SLIGHTLY ABOVE GRADE. DO NOT COVER THE ROOT FLARE WITH SOIL OR MULCH. BACKFILL PLANTING PITS WITH AMENDED TOPSOIL, AND THOROUGHLY WATER AND TAMP AS BACK-FILLING PROGRESSES. WATER AGAIN TO ACHIEVE SOIL SATURATION IMMEDIATELY FOLLOWING PLANTING.
12. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME, SO AS NOT TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
13. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH ANSI A300: STANDARDS FOR TREE CARE PRACTICES, TO PRESERVE THE HEALTH AND APPEARANCE OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
14. TREES SHALL BE SUPPORTED AFTER PLANTING ONLY AS DIRECTED BY THE URBAN FORESTER. IF INSTALLED, THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF THE MAINTENANCE AND WARRANTY PERIOD.
15. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3 IN. LAYER OF WEED-FREE DOUBLE SHREDDED HARDWOOD BARK MULCH, OR OTHER EQUIVALENT AS APPROVED BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE. KEEP MULCH AWAY FROM TRUNKS OF TREES AND OTHER PLANT MATERIALS.
16. NEW PLANTINGS AND TURF SHALL BE ADEQUATELY IRRIGATED OR WATERED THROUGHOUT ESTABLISHMENT.
17. UPON COMPLETION OF ALL PLANTING AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS. ALL PAVED AREAS SHALL BE BROOM-SWEPT AND LEFT IN A NEAT CONDITION.
18. ALL LOCAL JURISDICTIONAL PRACTICES SHALL BE FOLLOWED AND REQUIRED INSPECTIONS SHALL BE PERFORMED.

**LANDSCAPE MAINTENANCE**

1. GENERAL:
  - 1.A. ALL PLANTING AREAS, INCLUDING LAWNS, BUFFERS, AND PARKING LOTS, SHALL BE PERIODICALLY INSPECTED A MINIMUM OF ONCE PER MONTH. A FALL CLEAN-UP SHALL BE PERFORMED EACH YEAR.
  - 1.B. REMOVE ALL LITTER, DEBRIS AND WEEDS.
  - 1.C. MAINTAIN A MINIMUM OF A 2 INCH DEPTH OF ORGANIC HARDWOOD MULCH OR EQUIVALENT IN ALL PLANTING BEDS.
2. IRRIGATION:
  - 2.A. KEEP NEW TURF MOIST UNTIL ALL SEED GERMINATES AND BECOMES AN ESTABLISHED STAND OF TURF.
  - 2.B. AUTOMATIC SPRINKLERS SHALL BE CLEANED OUT AND TURNED OFF IN THE FALL PRIOR TO THE FIRST FROST, AND TESTED WHEN TURNED ON IN THE SPRING.
  - 2.C. EVALUATE SUCCESS OF IRRIGATION SYSTEM AND MODIFY AS NECESSARY.
3. PRUNING: ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI PRUNING STANDARDS. REMOVAL OF DEAD, DISEASED, INSECT INFESTED OR WEAK WOOD SHALL TAKE PLACE WHEN APPROPRIATE FOR THE SPECIES. THE VIRGINIA TECH PRUNING CALENDAR SHALL BE USED FOR GUIDANCE ON APPROPRIATE TIMING. EXCESSIVE SHOOTS AND SUCKERS SHALL BE REMOVED.
4. INSECT AND DISEASE CONTROL: THE CONTROL OF INSECTS AND DISEASE ASSOCIATED WITH ALL PLANTING AREAS SHALL BE A MAINTENANCE PRIORITY. ALL PLANTINGS, INCLUDING EXISTING MATURE TREES, SHALL BE PERIODICALLY INSPECTED FOR INSECT OR DISEASE INFESTATION. METHODS USED TO CONTROL INSECTS OR DISEASE MAY RANGE FROM SPRAYING AND PRUNING TO PLANT REMOVAL. SAFETY AND CONTROL SHALL BE OF PRIME CONCERN. TRAINED AND CERTIFIED PERSONNEL SHALL PERFORM THESE TASKS.
5. RENOVATION:
  - 5.A. RENOVATION INCLUDES THE RESEEDING OR REPLANTING OF LANDSCAPE AREAS DAMAGED, DESTROYED OR FAILING DUE TO INSECTS, DISEASE, WEATHER OR PHYSICAL DAMAGE.
  - 5.B. ALL LAWN AREAS WHERE SOIL HAS BEEN EXPOSED SHALL BE RENOVATED DURING THE NEXT PLANTING PROPER HORTICULTURAL AND SOIL EROSION PREVENTION METHODS SHALL BE USED. IF SOIL EROSION HAS OCCURRED, THE AREA SHALL BE REPAIRED WITH A SEED MIXTURE COMPATIBLE WITH EXISTING SOIL.
  - 5.C. ALL PLANTINGS WHICH ARE DAMAGED OR DESTROYED SHALL BE REPLACED DURING OR BEFORE THE NEXT GROWING SEASON.
  - 5.D. CARE SHALL BE TAKEN TO AVOID DAMAGE TO ESTABLISHED TREE ROOTS DURING RENOVATION OF LANDSCAPE.
6. SITE AMENITIES: BENCHES, PATHS, BICYCLE RACKS, TRASH RECEPTACLES, AND SIGNS SHALL BE INSPECTED AT LEAST TWICE A YEAR, ONCE IN SPRING AND ONCE IN AUTUMN, TO DETERMINE THEIR CONDITION. ANY DAMAGED, WORN, OR UNSAFE CONDITIONS SHALL BE RECTIFIED IMMEDIATELY.
7. PAVED SURFACES: ALL PAVED SURFACES SHALL BE INSPECTED ON A MONTHLY-BASIS FOR TRASH, STAINS, DAMAGE, CRACKS, POT HOLES, AND OBSTRUCTIONS, AND RETURNED TO THEIR ORIGINAL CONDITIONS. ANY UNSAFE CONDITIONS, SUCH AS UNEVEN SURFACES OR TRIPPING HAZZARDS, SHALL BE RECTIFIED IMMEDIATELY.



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**PLANTING NOTES AND DETAILS**

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ARLINGTON COUNTY, VIRGINIA**

SCALE: NONE	DRAWN BS	CHECKED KW
SUBMITTED DATE	REVISIONS FOR PERMIT: 05/21/2021	APPROVED DATE
		DIRECTOR OF ENVIRONMENTAL SERVICES
SHEET: <b>L-0402</b>		











**GENERAL NOTES:**

- 1 THE DRAWINGS COMPRISING THIS SET OF CONSTRUCTION DOCUMENTS ARE CONSIDERED TO BE ONE WHOLE. INFORMATION INCLUDED ON ONE SHEET IS AS BINDING AS IF INCLUDED ON ALL, REGARDLESS OF TRADE ASSIGNMENTS. ANY DOUBT AS TO WHETHER ANY WORK IS WITHIN THE SCOPE OF THE CONTRACT WILL BE RESOLVED IN FAVOR OF AN INTERPRETATION THAT THE WORK IS WITHIN THE SCOPE OF THE CONTRACT, UNLESS AGREED OTHERWISE BY ALL PARTIES.
- 2 REVIEW ALL DOCUMENTS AND, IMMEDIATELY UPON DISCOVERY, NOTIFY THE ARCHITECT OF DOCUMENT CONFLICTS, ERRORS, AND OMISSIONS IN WRITING.
- 3 THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL OTHER PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR A PROPER COMPLETION OF WORK ASSOCIATED WITH THIS PROJECT.
- 4 VISIT THE PROJECT TO BE FAMILIAR WITH SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. BY SUBMITTING A BID, THE CONTRACTOR AND HIS SUBCONTRACTORS CONFIRM THAT THEY HAVE VISITED THE SITE AND HAVE INCLUDED IN THEIR BID ANY ADDITIONAL ITEMS OF CONSTRUCTION THAT MAY BE REQUIRED DUE TO EXISTING PROJECT AND SITE CONDITIONS.
- 5 CONTACT OWNER / BUILDING MANAGER FOR RULES AND REGULATIONS THAT MAY IMPOSE RESTRICTIONS ON WORK TIMES, PARKING, NOISE, MATERIAL STORAGE, TRASH LOCATIONS, USE OF LOADING AREAS, AND USE OF UTILITIES
- 6 DO NOT PROCEED WITH ANY WORK THAT MAY RESULT IN ADDITIONAL COST OR ADDITIONAL TIME TO THE PROJECT UNTIL APPROVED OR INSTRUCTED BY OWNER AND ARCHITECT IN WRITING. DETERMINE THE ADDITIONAL COST OR TIME AND SUBMIT THE PROPOSED MODIFICATIONS TO THE OWNER FOR APPROVAL. PROCEEDING WITH WORK REQUIRING ADDITIONAL COST OR TIME PRIOR TO WRITTEN APPROVAL BY THE OWNER WILL NOT BE APPROVED.
- 7 ARRANGE TO MEET WITH OWNER'S REPRESENTATIVES PRIOR TO BEGINNING OF CONSTRUCTION TO DOCUMENT EXISTING CONDITIONS OF THE EXISTING FACILITY, PARKING, AND SITE.
- 8 PROVIDE COMPUTER READABLE COPY OF DATED VIDEO / PHOTO-DOCUMENTATION REQUIRED WITHIN 14-DAYS OF NOTICE TO PROCEED.
- 9 VERIFY EXISTING CONDITIONS AND REPORT DIFFERENCES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- 10 ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- 11 WORK INCLUDES ALL LABOR, MATERIALS, ASSEMBLIES, AND FINISHES INCLUDING ALL PARTS AND ACCESSORIES NECESSARY TO MAKE A COMPLETE, IN-PLACE, PROPERLY WORKING INSTALLATION.
- 12 INSTALL ALL MATERIAL / PRODUCTS / EQUIPMENT FOR THIS PROJECT IN STRICT ACCORDANCE WITH THE MANUFACTURERS' LATEST PUBLISHED SPECIFICATIONS/ RECOMMENDATIONS/ INSTRUCTIONS, UNLESS OTHERWISE NOTED. PROVIDE ANY AND ALL RECOMMENDED ACCESSORIES, PRIMERS, AND SURFACE PREPARATION AS PART OF BASE BID WHETHER OR NOT SPECIFICALLY CALLED OUT ON DWGS OR SPECS.
- 13 PERFORM WORK IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES/ORDINANCES, AND OSHA REQUIREMENTS.
- 14 PROVIDE CONSTRUCTION BARRIERS AND NEGATIVE AIR-PRESSURE AS REQUIRED TO CONTAIN DUST WITHIN EACH WORK AREA. PROVIDE TEMPORARY FILTER MEDIA AT ALL RETURN AIR REGISTERS AND OPEN RETURN DUCTS SERVING THE WORK AREA.
- 15 USE ONLY THOSE ENTRANCES AND PARKING FACILITIES APPROVED BY OWNER FOR SITE ACCESS. TRANSPORT MATERIAL DELIVERIES AND DEMOLITION / TRASH DURING THOSE HOURS AND ON ROUTE PRESENTED TO AND REVIEWED AND APPROVED BY OWNER.
- 16 PROVIDE COMPREHENSIVE TRAFFIC MANAGEMENT PLAN FOR REVIEW AND COMMENT BY THE COUNTY/ OWNER/ BUILDING MANAGER PRIOR TO MOBILIZATION.
- 17 DO NOT ALTER, LOAD OR PENETRATE STRUCTURAL ELEMENTS IN ANY MANNER WHICH MAY COMPROMISE ITS INTEGRITY. PROVIDE STRUCTURAL ANALYSIS OF ALL CONSTRUCTION LOADS AND PROPOSED PENETRATIONS REQUIRED FOR THE WORK.
- 18 PROVIDE AND USE TEMPORARY TOILET FACILITIES. DO NOT UTILIZE EXISTING OR PROPOSED FACILITIES WITHIN OR ADJACENT TO THE PROJECT.
- 19 WHERE REFERENCE IS MADE TO "BUILDING SYSTEMS", THIS SHALL INCLUDE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, FIRE PROTECTION, TELEPHONE, AUDIO VISUAL, IT, SECURITY, INTERCOM, AND FIRE ALARM / LIFE SAFETY COMPONENTS.
- 20 COORDINATE MOUNTING / INSTALLATION OF LIGHTING FIXTURES, MECH. DIFFUSERS, SPRINKLER HEADS AND OTHER DEVICES WITH TYPE OF CEILINGS AND WALLS TO BE PROVIDED. PROVIDE HANGERS, SUPPORTS, SEISMIC STRUTS AND CLIPS, CUT-OUTS, TRIM RINGS, AND EDGE TRIM REQUIRED FOR A COMPLETE INSTALLATION.
- 21 PROVIDE MATERIAL AND LABOR REQUIRED TO PRODUCE A COMPLETED, FINISHED PROJECT. FAILURE TO INCLUDE ITEMS INDICATED TO BE PROVIDED, THOUGH NOT IDENTIFIED, WILL NOT CONSTITUTE THE BASIS FOR A CHANGE ORDER.
- 22 REQUEST ALL REPORTS OWNER MAY HAVE DETECTED ASBESTOS IN THE BUILDING. THE PRESENCE OR ABSENCE OF ASBESTOS CONTAINING MATERIALS WITHIN THE EXISTING CONSTRUCTION IS NOT KNOWN TO THE OWNER. REPORT WRITTEN FINDINGS OF ANY SUSPECTED ASBESTOS CONTAINING MATERIALS (ACM) TO OWNER IMMEDIATELY. OWNER WILL TEST AND PURSUE ABATEMENT WHERE DETERMINED TO BE REQUIRED BY THE PROJECT.
- 23 PROVIDE NEOPRENE GASKETS AND / OR WASHERS AS APPROPRIATE WHERE DISSIMILAR METALS WOULD COME IN CONTACT WITH ONE ANOTHER TO ENSURE GALVANIC CORROSION OF THE METALS OR FASTENERS IS AVOIDED. SUCH DISSIMILAR METALS INCLUDE BUT ARE NOT LIMITED TO COATED COPPER, STEEL, GALVANIZED STEEL, AND ALUMINUM. AT SUCH CONNECTIONS REQUIRING FASTENERS, STAINLESS STEEL FASTENERS WITH NEOPRENE WASHERS TO ISOLATE THE METALS SHALL BE UTILIZED.
- 24 DIMENSIONS INDICATED ARE TO FINISHED WALL SURFACES, OR COLUMN CENTER LINES, UNLESS NOTED OTHERWISE
- 25 INSTALL SPRINKLER SYSTEMS TO COMPLY WITH ALL APPLICABLE CODES, NFPA 13, AND THE FIRE PROTECTION ENGINEER EXACT LAYOUT OF SPRINKLER HEADS IN AREAS WITH OYSPUM BOARD CEILINGS AND SOFFITS, ETC. SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- 26 REMOVE ALL CONSTRUCTION DEBRIS DAILY AND AS REQUIRED TO MAINTAIN A CLEAN ENVIRONMENT AND TO PREVENT THE POSSIBILITY OF ACCIDENT OR FIRE. MAINTAIN WORKING FIRE EXTINGUISHERS IN THE PROJECT AREA DURING CONSTRUCTION.
- 28 CONFIRM PLUMBING PENETRATIONS THROUGH THE FLOOR AND FLOOR MOUNTED OUTLET LOCATIONS WITH THE OWNER AND ARCHITECT BEFORE CORE DRILLING OR CUTTING OF FLOOR SYSTEM.
- 29 REVIEW PLACEMENT OF WALL AND CEILING ACCESS PANELS WITH THE ARCHITECT.
- 30 PROVIDE A FINAL PROFESSIONAL CLEANING OF THE ENTIRE SPACE AFTER CONSTRUCTION AND PUNCH LIST ITEMS ARE COMPLETE AND PRIOR TO TENANT OCCUPANCY.
- 31 SALVAGE, PROTECT, AND STORE UNUSED MATERIALS ORDERED FOR PROJECT. PROVIDE UNUSED MATERIALS AS ATTIC STOCK, AND DELIVER TO OWNERS DESIGNATED LOCATION.
- 32 ALL EXISTING BUILDING SYSTEMS (EXAMPLE: WATER, SANITARY, FIRE ALARM, ELECTRICAL, ETC.) WILL REMAIN IN OPERATION THROUGHOUT CONSTRUCTION. ALL NECESSARY INTERRUPTIONS FOR CONNECTION OF NEW WORK MUST BE COORDINATED WITH AND APPROVED BY THE OWNER IN WRITING, IN ADVANCE. PROVIDE ADEQUATE NOTICE AS AGREED UPON PRIOR TO START OF WORK.
- 33 FIRESTOP ALL PENETRATIONS THROUGH THE FLOOR / ROOF SLABS AND THROUGH FIRE RATED PARTITIONS PER UL LISTED DETAILS AND COMPLYING WITH APPLICABLE CODES AND LOCAL FIRE MARSHAL REQUIREMENTS. SELECT, PROVIDE AND INSTALL SUCH FIRESTOPPING SYSTEMS AND SOLICIT (OBTAIN THE NECESSARY APPROVALS) FROM THE AUTHORITIES HAVING JURISDICTION
- 34 REFER TO STRUCTURAL DRAWINGS AND LATEST INSULATED CONCRETE MANUFACTURER REQUIREMENTS, DETAILS AND INSTRUCTIONS FOR BASEMENT WALL AND FOUNDATION CONSTRUCTION, BASIS OF DESIGN, LOGIX INSULATED CONCRETE FORMS
- 35 REFER TO STRUCTURAL DRAWINGS AND LATEST STRUCTURAL INSULATED PANELS ( SIP ) MANUFACTURER REQUIREMENTS, DETAILS AND INSTRUCTIONS FOR EXTERIOR WALL AND ROOF CONSTRUCTION. BASIS OF DESIGN: THERMOCCORE BUILDING PANELS WALLS: 8 1/2" THICK SIP WITH R-VALUE OF 40 ROOF PANELS: 8 1/4" THICK SIP WITH R-VALUE OF 50
- 36 THE STONE VENEER AND FIBER CEMENT SIDING MANUFACTURERS ARE TO PROVIDE & SUBMIT ATTACHMENT SHOP DRAWINGS WHICH HAVE BEEN DETERMINED TO BE STRUCTURALLY ADEQUATE BY A PE UNDER THEIR PURVIEW.

**GENERAL CEILING NOTES:**

- 1 REFER TO RCP AND FINISH PLANS FOR CEILING FINISH DESIGNATIONS.
- 2 WHERE EXPOSED STRUCTURE CEILINGS ARE INDICATED, NEATLY BUNDLE WIRES, CONDUIT, AND PIPING TIGHT TO DECK OR JOISTS. AVOID LOCATING WIRES, CONDUIT, AND PIPING IN EXPOSED STRUCTURE AREAS.
- 3 SUBMIT SHOP DRAWINGS TO AUTHORITY HAVING JURISDICTION FOR SPRINKLER APPROVAL PRIOR TO PERFORMING WORK PROVIDE CEILING HEIGHTS (INDICATED). LOCATE SPRINKLER HEADS IN THE CENTER OF SUSPENDED ACOUSTICAL TILES. ADJUST SPRINKLER HEAD HEIGHTS AND LOCATIONS TO ACCOMMODATE PROPOSED CEILING HEIGHTS, LAYOUT, AND PATTERNS
- 4 COORDINATE ALL MPE AND SPRINKLER WORK WITH HEIGHT AND TYPE OF CEILING FINISHES.
- 5 COORDINATE MOUNTING FLANGES OF ALL FIXTURES WITH CEILING TYPE TO RECEIVE FIXTURES.
- 6 COORDINATE W/ MECHANICAL, ELECTRICAL, PLUMBING DWGS FOR SPECIFIC ACCESS PANEL LOCATIONS. NOT ALL ARE SHOWN ON RCP.
- 7 FOLLOW GWB MANUFACTURER'S WRITTEN GUIDELINES FOR RADIUS APPLICATIONS AT CURVED WALLS AND BULKHEADS. PROVIDE LEVEL 5 DRYWALL FINISH ON ALL CURVED WALLS, CEILINGS, AND BULKHEADS.

**BUILDING ENVELOPE BASIS OF DESIGN:**

BASEMENT / FOUNDATION WALLS: LOGIX INSULATED CONCRETE FORMS (ICF) -	13 1/2" THICKNESS
ABOVE GROUND LEVEL WALLS: THERMOCCORE STRUCTURAL INSULATED PANELS (SIP) -	6 1/2" THICKNESS R-VALUE = 40
ROOF: THERMOCCORE STRUCTURAL INSULATED PANELS (SIP) -	8 1/4" THICKNESS R-VALUE = 50

**GENERAL FINISH NOTES:**

- 1 PROVIDE 24" X 24" WALL SAMPLE OF ALL PAINT COLORS FOR OWNER REVIEW AND APPROVAL PRIOR TO PURCHASE/ INSTALLATION.
- 2 PROVIDE 24" SAMPLE OF ALL WOOD CEILING, WALL, FLOOR, AND BASE PROFILES FOR OWNER APPROVAL PRIOR TO PURCHASE/ INSTALLATION.
- 3 PROVIDE ALL FINISH ACCESSORY PIECES REQUIRED FOR FULL AND COMPLETE INSTALLATION OF FINISH MATERIALS.
- 4 ALL PAINTED GWB CEILINGS TO HAVE A FLAT FINISH, UNO.
- 5 ALL PAINTED WALLS TO HAVE AN EGGSHELL FINISH, UNO.
- 6 ALL PAINTED HM FRAMES AND WOOD TRIM / BASE TO HAVE A SEMI-GLOSS FINISH, UNO.
- 7 ALL PAINTED DOORS TO HAVE A SEMI-GLOSS FINISH, UNO.
- 8 PROVIDE INTERIOR FINISHES CLASS B MIN WHERE INSTALLED IN CORRIDORS AND EXIT PASSAGEWAYS, AND CLASS C WHERE INSTALLED IN ROOMS / ENCLOSED SPACES.
- 9 PROVIDE 3 PERCENT OVERAGE ON FINISH MATERIAL QUANTITIES AS ATTIC STOCK. COORDINATE STORAGE WITH OWNER PRIOR TO PROJECT COMPLETION.
- 10 REFER TO SPECIFICATIONS AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFORMATION.
- 11 PROVIDE TRANSITION STRIPS AND THRESHOLDS AS REQUIRED. ARCHITECT TO INFORM.
- 12 COPE SADDLES AND THRESHOLDS TO FIT DOOR FRAME PROFILE.
- 13 UNDERCUT EXISTING DOORS TO PROVIDE 1/4" CLEARANCE OVER THRESHOLDS, TRANSITIONS, AND FINISHES.
- 14 REVIEW ALL FINISH LOCATIONS AND START/STOP POINTS WITH ARCHITECT PRIOR TO INSTALLATION.
- 15 USE LOW VOC ADHESIVE, FOLLOWING MANUFACTURERS RECOMMENDED PRODUCTS, FOR ALL CARPET, RESILIENT, AND LAMINATE FLOORING.
- 16 USE LOW VOC PAINTS THROUGHOUT, UNO.
- 17 PROVIDE ANOZOID ALUMINUM SCHLUTER "SCHIENE" STRIP AT ALL TRANSITIONS FROM CARPETING TO TILE FLOOR FINISH UNO, OR UNLESS A HEIGHT TRANSITION IS NEEDED.
- 18 PAINT VISIBLE DOORWORK, PLENUM ELEMENTS, STUDS, AND OTHER ELEMENTS FLAT BLACK WHERE THEY CAN BE SEEN THROUGH GRILLES, REGISTERS, LOUVERS, AND DIFFUSERS.
- 19 DO NOT PAINT LOW-VOLTAGE WIRING.

**GENERAL PARTITION NOTES:**

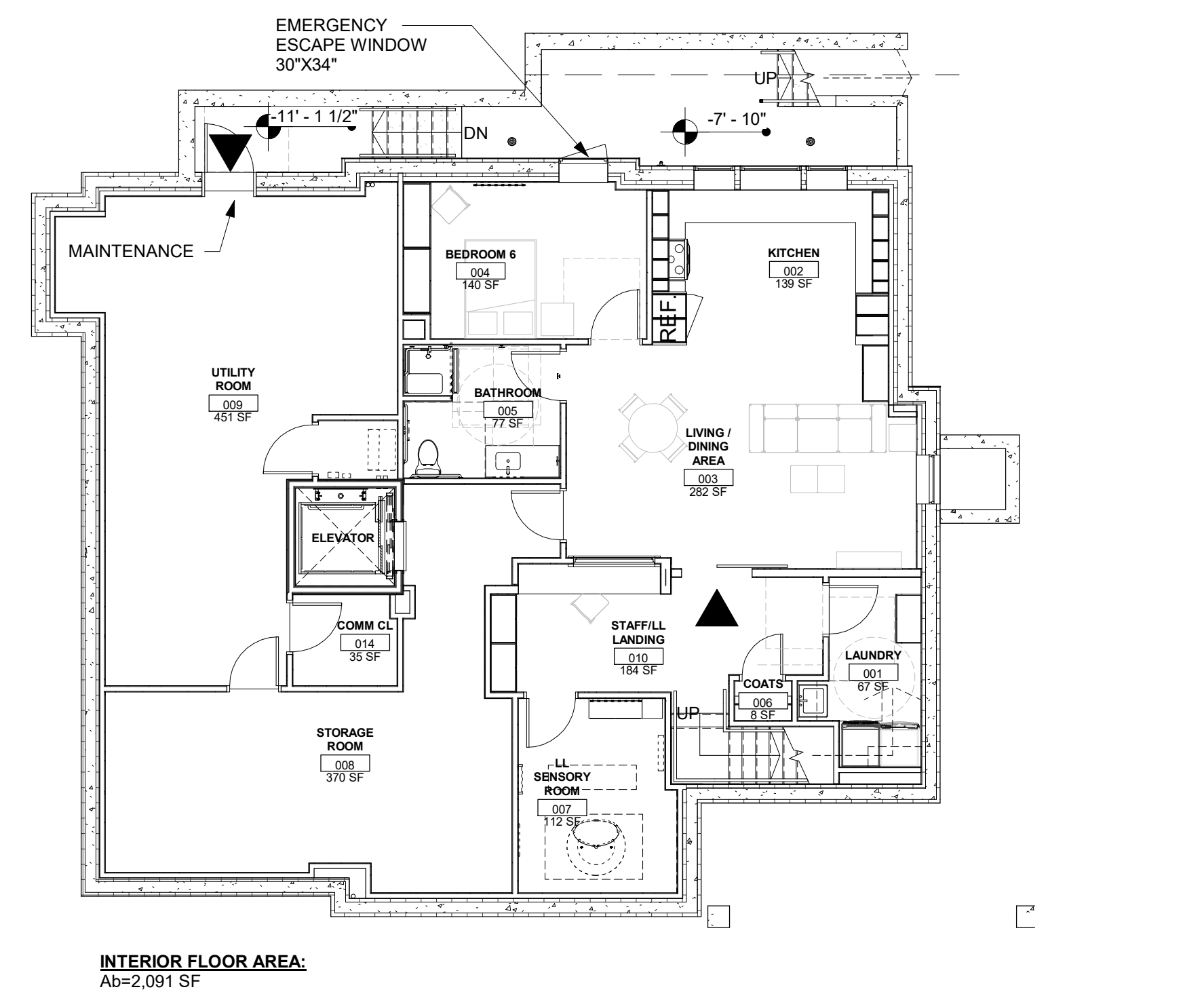
- 1 CONSTRUCT FIRE RATED AND STC / ACOUSTIC RATED ASSEMBLIES CONTINUOUS AROUND ROOMS WHERE INDICATED. RATED ASSEMBLIES SHALL TAKE PRECEDENCE OVER ADJACENT AND/OR PERPENDICULAR PARTITIONS. RATED ASSEMBLIES SHALL BE CONSTRUCTED PER THE DETAILS AND REQUIREMENTS OF THE ASSEMBLY INDICATED. SEAL ALL GAPS, SEAMS, AND PENETRATIONS IN STC / ACOUSTIC RATED ASSEMBLIES AIRTIGHT.
- 2 FIT GWB TIGHT TO ALL JUNCTION BOXES AND PENETRATIONS, AND SEAL.
- 3 PARTITION TAG WITH NUMERICAL SUFFIX INDICATES FIRE RATING REQUIRED.
- 4 MAINTAINING CONTINUITY OF RATED WALLS MAY REQUIRE INSTALLATION OF GWB IN SOME LOCATIONS OUT-OF-SEQUENCE PRIOR TO COMPLETING THE BALANCE OF PARTITION INSTALLATION.
- 5 CONSTRUCT REFERENCED RATED ASSEMBLIES IN THEIR ENTIRETY WITHOUT MODIFICATION. UL ASSEMBLIES ARE REPRINTED FROM THE UL PRODUCTS DIRECTORY WITH PERMISSION FROM UNDERWRITERS LABORATORIES INC. © COPYRIGHT © 2016 UNDERWRITERS LABORATORIES INC.
- 6 PROVIDE HIGH-IMPACT GWB WHERE INDICATED THUS: \*
- 7 ALIGN THE ADJACENT EXPOSED FACE OF GYPSUM WALLBOARD (GWB) AND / OR GYPSUM SHEATHING WHERE THE PARTITION THICKNESS VARIES DUE TO DIFFERENT PARTITION TYPES. HIDE TRANSITIONS ON THE OPPOSITE SIDE OF THESE WALLS AT INTERSECTIONS WITH OTHER PARTITIONS AND CORNERS.
- 8 PROVIDE 5/8" GLASS MESH MORTAR UNIT (GMMU) BOARD IN LIEU OF GWB ON WALL SURFACES TO RECEIVE CERAMIC TILE.
- 9 THE GWB GAP AT THE FLOOR SHALL NOT EXCEED 1/4" AND GWB SHALL NOT BE IN CONTACT WITH THE SLAB.
- 10 PARTITION DESIGNATION TAG SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION.
- 11 UNLESS NOTED OTHERWISE, PARTITION DESIGNATION TAGS REPRESENT THE ENTIRE LENGTH AND HEIGHT OF THE PARTITION AT WHICH IT IS LOCATED.
- 12 OFFSET INSTALLATION OF RECESSED JUNCTION BOXES AND EQUIPMENT ONE STUD CAVITY -- DO NOT INSTALL BACK-TO-BACK IN SAME STUD CAVITY.
- 13 THE AGGREGATE SURFACE AREA OF OUTLET BOXES SHALL NOT EXCEED 100 SQ IN WITHIN ANY 100 SF.
- 14 PROVIDE CONTINUOUS STRIP OF 15-LB FELT OR NEOPRENE SILL GASKET WHERE METAL RUNNER OR WD PLATE IS INSTALLED ON CONCRETE.
- 15 WOOD STUDS INDICATED USE NON-LOAD BEARING, L240 DEFLECTION, AND 5 PSF AIR-PRESSURE DESIGN CRITERIA UNLESS OTHERWISE NOTED. EVALUATE STUDS IF HIGHER DESIGN CRITERIA AND/OR LOAD BEARING PARTITIONS ARE USED.
- 16 NOT USED
- 17 SEE TYPICAL DETAILS FOR FRAMING AROUND OBSTRUCTIONS.
- 18 DO NOT ATTACH GWB TO RESILIENT CHANNEL (RC) AT STUD LOCATIONS. RC MUST REMAIN FREE TO MOVE.
- 19 PROVIDE SIGNS OR STENCILS ABOVE ACCESSIBLE CEILINGS AT FIRE AND SMOKE ASSEMBLIES TO IDENTIFY THE REQUIREMENT TO PROTECT OPENINGS AND PENETRATIONS. LETTERING MIN 3-INCHES HIGH ON CONTRASTING COLOR, SIGNS 30-FEET OC, TO CONVEY "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS"
- 20 ALL PARTITIONS SHALL BE TYPE "1" UNLESS NOTED OTHERWISE OR REQUIRED FOR RATED CONSTRUCTION.

**GENERAL DEMOLITION NOTES:**

- 1 DEMOLITION PLANS ARE PROVIDED AS A GENERAL GUIDE TO THE DEMOLITION WORK. DEMO PLANS ARE NOT MEANT TO CONTAIN A COMPLETE DESCRIPTION OF ALL MATERIALS TO BE REMOVED. PRIOR TO BIDDING, COORDINATE WITH OWNER AND PERFORM AN INDEPENDENT SITE VISIT IN ORDER TO FIELD SURVEY AND BE THOROUGHLY FAMILIAR WITH THE PROJECT AND DEMOLITION EFFORTS REQUIRED BY THE SCOPE AND EXTENT OF THE WORK INDICATED. CHANGE ORDERS FOR DEMOLITION WORK (WHETHER SHOWN OR NOT) SHALL NOT BE APPROVED WHERE DEMOLITION IS REQUIRED BY THE NEW WORK.
- 2 SURVEY THE WORK PRIOR TO DEMOLITION ACTIVITY AND PERFORM PROTECTIVE / CORRECTIVE MEASURES AS NECESSARY TO ENSURE ALL EXISTING SYSTEMS ARE DISCONNECTED
- 3 REFERENCE STRUCTURAL AND MECHANICAL, PLUMBING AND ELECTRICAL (MPE) PLANS FOR ADDITIONAL INFORMATION.
- 4 COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH ALL WORK.
- 5 PROVIDE WORKERS WITH RESPIRATORY PROTECTION AND ASSIGNED PROTECTION FACTOR (APF) LEVEL, 10 PER OSHA STANDARD 29 CFR 1926.1153 - RESPIRABLE CRYSTALLINE SILICA. REFER TO TABLE 1 - SPECIFIED EXPOSURE CONTROL METHODS WHEN WORKING WITH MATERIALS CONTAINING CRYSTALLINE SILICA.
- 6 OWNER WILL REMOVE ALL LOOSE AND MOVABLE FURNITURE PRIOR TO THE START OF WORK.
- 7 NOT USED.
- 8 DO NOT PERFORM DEMOLITION BEYOND THE SCOPE REQUIRED BY THE WORK. COORDINATE SUCH EFFORTS PRIOR TO START OF CONSTRUCTION AND MAINTAIN ACTIVE COORDINATION OF DEMOLITION AND THE WORK DURING CONSTRUCTION.
- 9 PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE FOR DURATION OF CONSTRUCTION. REPAIR/ REPLACE EXISTING CONSTRUCTION WHICH IS DAMAGED DURING COURSE OF CONSTRUCTION AS COMPONENT OF BASE CONTRACT.
- 10 DEMOLISH ALL EQUIPMENT, CASEWORK, ETC.
- 11 REMOVE ALL EXISTING EXTERIOR LIGHTS

**GENERAL ACCESSIBILITY NOTES:**

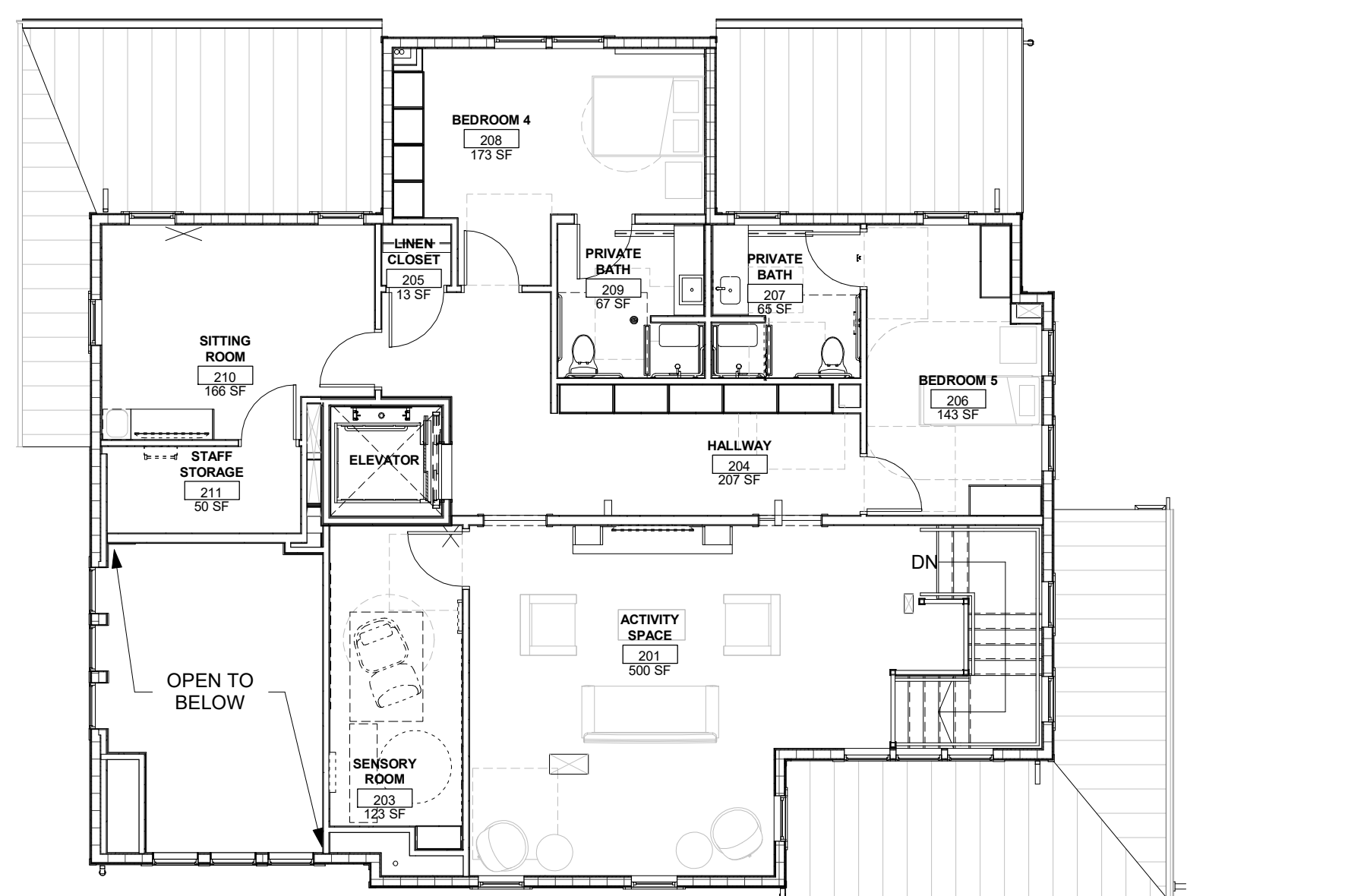
- 1 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE CLEARANCES AND DIMENSIONS INDICATED ON THE ACCESSIBILITY STANDARDS DRAWING AND WITHIN THE BALANCE OF THE CONTRACT DOCUMENTS
- 2 THE SPECIFIC DIMENSIONS AND/ OR RANGES INDICATED IN THE ACCESSIBILITY STANDARDS DRAWING ARE A REGULATORY REQUIREMENT; NO ADDITIONAL TOLERANCES EITHER PLUS OR MINUS WILL BE ACCEPTED.
- 3 THE FULL TEXT OF THE ADA STANDARDS FOR GOVERNMENT ACCESSIBILITY DESIGN MAY BE FOUND AT THE WEBSITE: <http://www.ada.gov>
- 4 THE FULL TEXT OF THE ICCANSI A117.1 STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES IS AVAILABLE THROUGH THE WEBSITE WWW.ICCSAFE.ORG



**1 BASEMENT LEVEL LIFE SAFETY PLAN**  
1/8" = 1'-0"



**2 GROUND LEVEL LIFE SAFETY PLAN**  
1/8" = 1'-0"



**3 SECOND LEVEL LIFE SAFETY PLAN**  
1/8" = 1'-0"

**SUMMARY BUILDING / CODE DATA**

PROJECT ADDRESS: 1212 S IRVING STREET ARLINGTON, VA 22204	GOVERNING CODE: V.U.S.B.C. 2015 Building Code ARLINGTON COUNTY CODE	CODE REF
GENERAL DESCRIPTION: RECEIVERSHIP OF EXISTING CUSTOMER CARE GROUP HOME. PROPOSED CUSTODIAL CARE RESIDENCE WILL PROVIDE HOUSING ON A 24 HOUR BASIS FOR NOT MORE THAN 6 RESIDENTS (EXCLUDING STAFF), ONE IN A LOWER LEVEL APARTMENT PLUS 3 ON THE MAIN LEVEL AND 2 ON THE UPPER LEVEL. NOT MORE THAN FIVE OF THE PERSONS MAY REQUIRE PHYSICAL ASSISTANCE FROM STAFF TO RESPOND TO AN EMERGENCY SITUATION; AT ALL TIMES NOT LESS THAN 2 RESIDENT CANCELS SHALL PROVIDE CUSTODIAL CARE. THE PROPOSED FACILITY WILL BE LICENSED BY THE VIRGINIA DEPARTMENT OF BEHAVIORAL HEALTH AND DEVELOPMENTAL SERVICES (VDBHS)	USE GROUP: RESIDENTIAL GROUP HOME SECTION 310.6 EXCEPTION 1 OF THE 2015 VCC IS APPLICABLE TO THIS RESIDENCE. PER SECTION 310.7 AND 310.8 OF THE VCC, THE VIRGINIA RESIDENTIAL CODE IS THE GOVERNING CODE.	
ZONING: R-5 YARDS: OPEN SPACE: 35'-0" FRONT: 25'-0" SIDE: 8'-0" REAR: 10'-0"	USE GROUP: R-5 RESIDENTIAL SECTION 310.6 EXCEPTION 1 OF THE 2015 VCC IS APPLICABLE TO THIS RESIDENCE. PER SECTION 310.7 AND 310.8 OF THE VCC, THE VIRGINIA RESIDENTIAL CODE IS THE GOVERNING CODE.	
APPLICABLE CODES:	USE AND OCCUPANCY CLASS: R-5 RESIDENTIAL SECTION 310.6 EXCEPTION 1 OF THE 2015 VCC IS APPLICABLE TO THIS RESIDENCE. PER SECTION 310.7 AND 310.8 OF THE VCC, THE VIRGINIA RESIDENTIAL CODE IS THE GOVERNING CODE.	
BUILDING: RESIDENTIAL ELEVATOR	GOVERNING CODE: V.U.S.B.C. 2015 Building Code 2015 VRC ASME A17.1 / CSA B44	
USE AND OCCUPANCY CLASS: R-5 RESIDENTIAL	SECTION 310.6 EXCEPTION 1 OF THE 2015 VCC IS APPLICABLE TO THIS RESIDENCE. PER SECTION 310.7 AND 310.8 OF THE VCC, THE VIRGINIA RESIDENTIAL CODE IS THE GOVERNING CODE.	
USE GROUP: R-5 RESIDENTIAL SECTION 310.6 EXCEPTION 1 OF THE 2015 VCC IS APPLICABLE TO THIS RESIDENCE. PER SECTION 310.7 AND 310.8 OF THE VCC, THE VIRGINIA RESIDENTIAL CODE IS THE GOVERNING CODE.		
FIRE SEPARATION REQUIREMENTS: VRC EXTERIOR WALL FIRE SEPARATION DISTANCE - RATING: R302.1(1) SIDE SETBACK EXCEEDS 5 FEET NO FIRE-RESISTANCE RATING REQUIRED FOR WALLS, PROJECTIONS, OPENINGS, OR PENETRATIONS.		
UNDER-STAR PROTECTION: R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAR SURFACES AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.		
CONCEALED SPACES: VOR FIREBLOCK DRAFTSTOP: R302.11 YES YES YES YES YES YES		
INTERIOR FINISHES: VARC FOAM PLASTICS: R302.8 WALLS / CLG INSULATION: R302.9 R302.10		
GARAGES AND CARPORTS: VARC NO PROPOSED GARAGE OR CARPORT.		
FIRE PROTECTION SYSTEMS: VARC SPRINKLERS: R313.2 FIRE SMOKE ALARM - Electrically Wired together: R313.2 CO DETECTION: R313.2 FIRE EXTINGUISHERS: R313.2.1 R313.2.1 R313.2		
EGRESS WIDTH SIZING: VARC EGRESS WIDTH: R311.2 CORRIDORS: R311.3 STAIRS: R311.2		
EGRESS: VARC NUMBER OF EXITS: R311.2 SPECIAL LOCKING REGIME: YES YES ELECTRONIC KEY CARD ACCESS AT EXTERIOR DOORS.		
ENERGY PERFORMANCE: VARC PER ARLINGTON COUNTY'S FACILITY SUSTAINABILITY POLICY FOR NEW CONSTRUCTION AND MAJOR RENOVATIONS (GREEN BUILDING POLICY) - THIS PROJECT IS REQUIRED TO: 1. BE CERTIFIED BY VIRIDIAN'S EARTHCAFT PROGRAM FOR SINGLE FAMILY HOMES 2. ACHIEVE NET ZERO CERTIFICATION UNDER VIRIDIAN'S NET ZERO PROGRAM REFER TO THE ATTACHMENT'S IN THE SPECIFICATIONS/PROJECT MANUAL FOR MORE INFORMATION ABOUT THE ABOVE REQUIRED CERTIFICATIONS.		

**Appendix B**  
**IECC 2015 (Virginia Energy Conservation Code)**  
R405.5.2 Residence Energy Model Specifications

BUILDING COMPONENT	STANDARD REFERENCE DESIGN	PROPOSED DESIGN
Above-grade walls:	Type: mass wall if the proposed wall is mass, otherwise wood frame. Gross area: same as proposed U-factor: from Table R402.1.3 Emittance = 0.90	As proposed As proposed As proposed As proposed
Basement and crawl space walls:	Type: same as proposed Gross area: same as proposed U-factor: from Table R402.1.3, with the insulation layer on the interior side of walls.	As proposed As proposed As proposed
Above-grade floors:	Type: wood frame Gross area: same as proposed U-factor: from Table R402.1.3	As proposed As proposed
Ceilings:	Type: wood frame Gross area: same as proposed U-factor: from Table R402.1.3	As proposed As proposed
Roofs:	Type: composition shingle on wood sheathing Gross area: same as proposed Solar absorptance = 0.75 Emittance = 0.90	As proposed As proposed As proposed
Attics:	Type: vented with aperture = 1 ft² per 300 ft² ceiling area	As proposed
Foundations:	Type: same as proposed foundation wall area above and below grade and soil characteristics, same as proposed	As proposed
Doors:	Area: 40 ft² Orientation: North U-factor: same as fenestration from Table R402.1.3 (a) The proposed glazing area, where proposed glazing area is less than 15% of the conditioned floor area. (b) 15% of the conditioned floor area, where the proposed glazing area is 15% or more of the conditioned floor area.	As proposed As proposed As proposed As proposed
Glazing:	Orientation: equally distributed to four cardinal compass orientations (N, E, S & W). U-factor: from Table R402.1.3 SHGC: From Table R402.1.1 except that for climates with no requirement (NR), SHGC = 0.40 shall be used. Interior shade fraction: 0.92-0.21 x SHGC for the standard reference design) External shading: none	As proposed As proposed As proposed As proposed
Skylights:	None	As proposed
Thermally isolated sunrooms:	None	As proposed

BUILDING COMPONENT	STANDARD REFERENCE DESIGN	PROPOSED DESIGN
Air leakage rate:	Air leakage rate of 5 air changes per hour in Climate Zones 1 and 2, and 3 air changes per hour in Climate Zones 3 through 8 at a pressure of 0.2 inches w.g. (50 Pa). The mechanical ventilation rate shall be in addition to the air leakage rate and the same as in the proposed design. For tested residences, the measured air exchange rate shall be no greater than 0.01 x CFA + 7.5 x (Ns + 1) where: CFA = conditioned floor area Ns = number of bedrooms Energy recovery shall not be assumed for mechanical ventilation.	For residences that are not tested, the same air leakage rate as the standard reference design. For tested residences, the measured air exchange rate shall be in addition to the air leakage rate and shall be as proposed.
Mechanical ventilation:	None, except where mechanical ventilation is specified by the proposed design, in which case: Annual vent fan energy use: kWh/yr = 0.03942 x CFA + 29.565 x (Ns + 1) where: CFA = conditioned floor area Ns = number of bedrooms	As proposed
Internal gains:	Gain = 17,900 + 23.8 x CFA + 4104 x Ns (Btu/day per dwelling unit)	Same as standard reference design.
Structural mass:	For masonry floor slabs, 80% of floor area covered by R-2 carpet and pad, and 20% of floor directly exposed to room air. For masonry basement walls, as proposed, but with insulation required by Table R402.1.3 located on the interior side of the walls. For other walls, for ceilings, floors, and interior walls, wood frame construction.	Same as standard reference design, plus any additional mass specifically designed as a thermal storage element but not integral to the building envelope or structure. As proposed As proposed As proposed
Heating systems:	As proposed for other than electric heating without a heat pump. Where the proposed design utilizes electric heating without a heat pump the standard reference design shall be an air source heat pump meeting the requirements of Section R403 of the IECC - Commercial Provisions. Capacity sized in accordance with Section R403.3.	As proposed
Cooling systems:	As proposed. Capacity sized in accordance with Section R403.6.	As proposed
Service water heating:	As proposed. Same as proposed design.	As proposed galloway = 30 + (10 x Ns)
Thermal distribution systems:	As proposed.	Thermal distribution system efficiency shall be as tested or as specified in Table R105.5.2(2) if not tested. Duct insulation shall be as proposed.
Thermostat:	Type: Manual, cooling temperature setpoint = 75°F, heating temperature setpoint = 72°F	Same as a standard reference.

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**LIFE SAFETY PLAN / CODE SUMMARY. GENERAL NOTES**

**A020**

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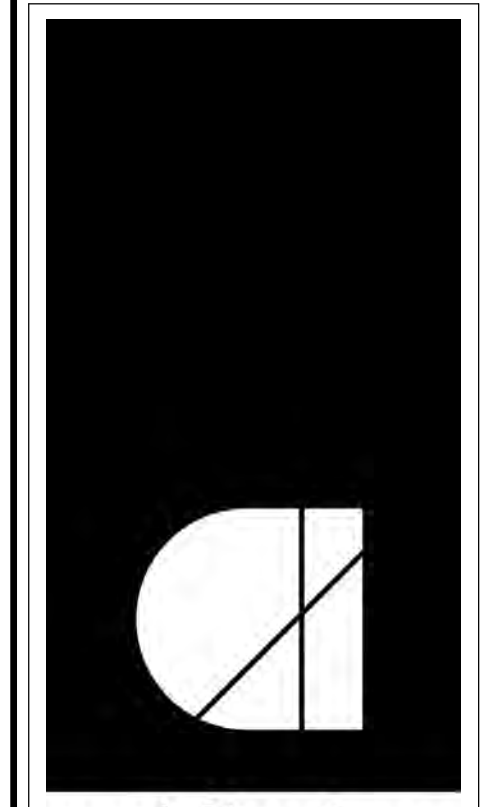
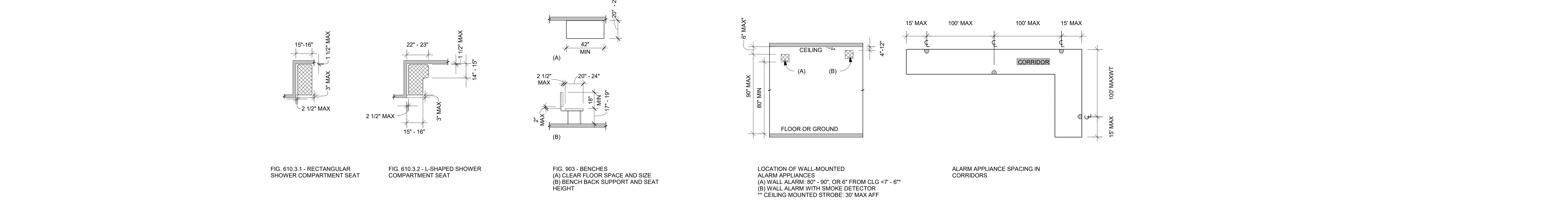
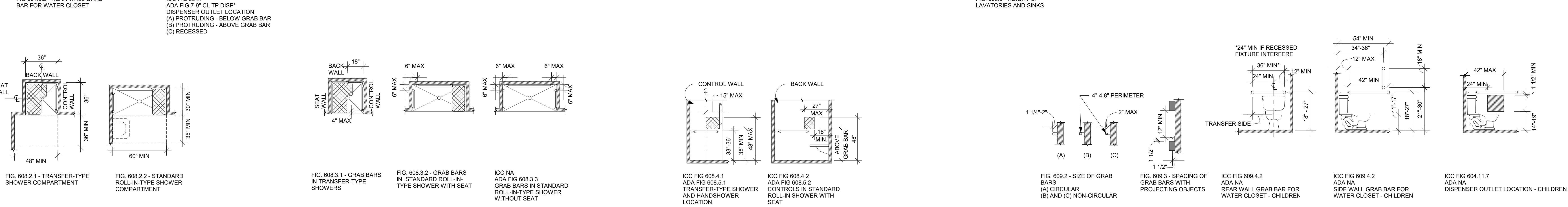
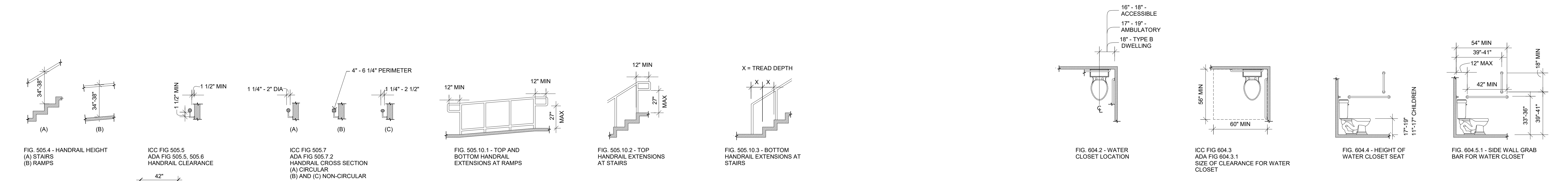
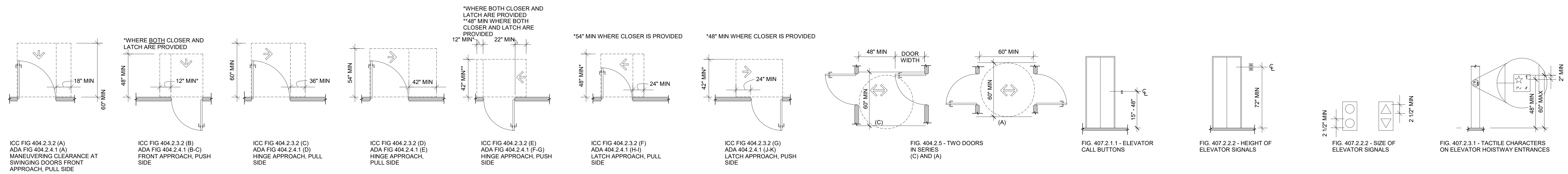
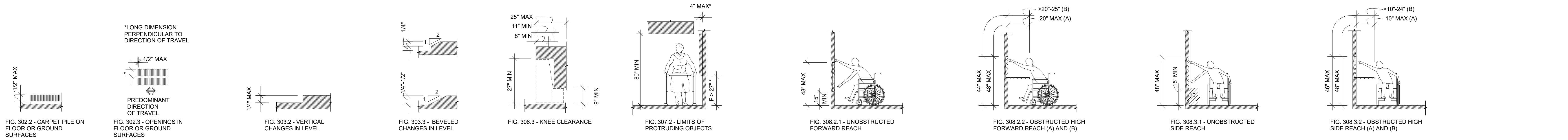
Construction Documents for:  
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**LIFE SAFETY PLAN / CODE SUMMARY. GENERAL NOTES**

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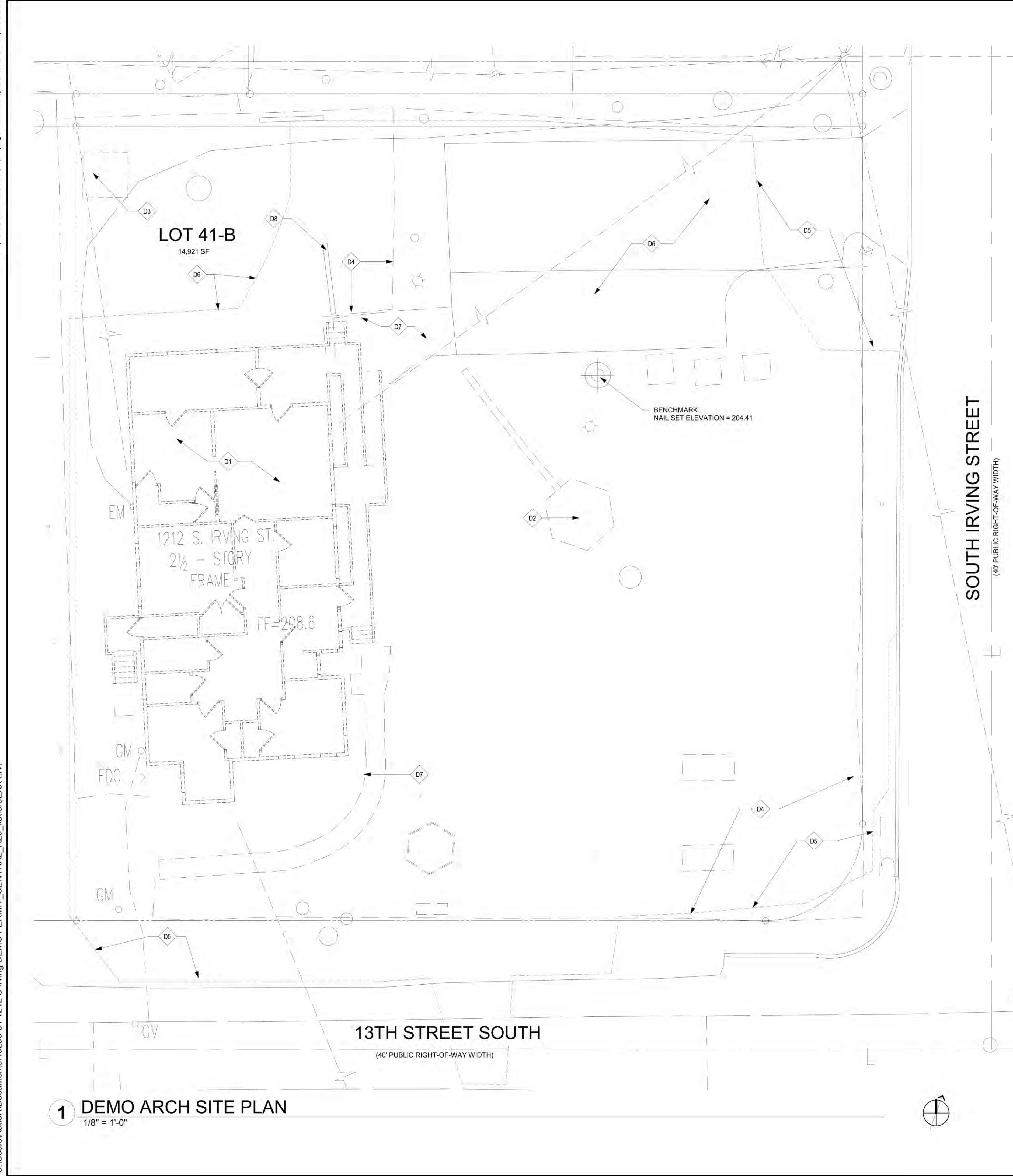
**ACCESSIBILITY STANDARDS**

Scale 1/4" = 1'-0"  
Drawn Author  
Checked CRS

**A050**

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**1 DEMO ARCH SITE PLAN**  
1/8" = 1'-0"

PLAN AS SUBMITTED FOR DEMO PERMIT IS REFERENCED BELOW

**DEMOLITION LEGEND:**

- DEMO DOOR AND FRAME
- DEMO DOOR ONLY - FRAME TO REMAIN
- DEMO PARTITION
- EXISTING PARTITION TO REMAIN
- PROPOSED BUILDING LOCATION

**KEYED DEMO NOTES:**

D1	REMOVE EXISTING BUILDING IN ITS ENTIRETY. PROCEED WITH DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL. COMPLETE DEMOLITIONS ABOVE EACH FLOOR BEFORE DISTURBING SUPPORTING MEMBERS ON THE NEXT LOWER LEVEL. CAREFULLY REMOVE AND SALVAGE EXISTING EQUIPMENT.
D2	EXISTING GAZEBO TO BE REMOVED
D3	EXISTING SHED TO BE REMOVED
D4	EXISTING FENCE. REFER CIVIL PLANS FOR DEMO WORK
D5	LIMIT OF DISTURBANCE - SEE CIVIL DRAWINGS FOR DEMOLITION WORK AND SITE PREPARATION FOR NEW WORK
D6	EXISTING ASPHALT PAVING. FOLLOW CIVIL PLAN FOR DEMOLITION AND NEW WORK PREPARATION.
D7	EXISTING SIDEWALK TO BE REMOVED
D8	EXISTING WALL TO BE REMOVED

**GENERAL SITE DEMOLITION NOTES:**

- DEMOLITION PLANS ARE PROVIDED AS A GENERAL GUIDE TO THE DEMOLITION WORK. DEMO PLANS ARE NOT MEANT TO CONTAIN A COMPLETE DESCRIPTION OF ALL MATERIALS TO BE REMOVED. PRIOR TO BIDDING, COORDINATE WITH OWNER AND PERFORM AN INDEPENDENT SITE VISIT IN ORDER TO FIELD SURVEY AND BE THOROUGHLY FAMILIAR WITH THE PROJECT AND DEMOLITION EFFORTS REQUIRED BY THE SCOPE AND EXTENT OF THE WORK INDICATED. CHANGE ORDERS FOR DEMOLITION WORK (WHETHER SHOWN OR NOT) SHALL NOT BE APPROVED WHERE DEMOLITION IS REQUIRED BY THE NEW WORK.
- SURVEY THE WORK PRIOR TO DEMOLITION ACTIVITY AND PERFORM PROTECTIVE / CORRECTIVE MEASURES AS NECESSARY TO ENSURE ALL EXISTING SYSTEMS ARE DISCONNECTED.
- REFERENCE STRUCTURAL AND MECHANICAL, PLUMBING AND ELECTRICAL (MPE) PLANS FOR ADDITIONAL INFORMATION.
- COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH ALL WORK.
- PROVIDE WORKERS WITH RESPIRATORY PROTECTION AND ASSIGNED PROTECTION FACTOR (APF) LEVEL 10 PER OSHA STANDARD 29 CFR 1926.1153 - RESPIRABLE CRYSTALLINE SILICA. REFER TO TABLE 1 - SPECIFIED EXPOSURE CONTROL METHODS WHEN WORKING WITH MATERIALS CONTAINING CRYSTALLINE SILICA.
- OWNER WILL REMOVE ALL LOOSE AND MOVABLE FURNITURE PRIOR TO THE START OF WORK.
- THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL SALVAGED ITEMS. STORE SALVAGED ITEMS FOR OWNER WHERE DIRECTED BY THE OWNER.
- DO NOT PERFORM DEMOLITION BEYOND THE SCOPE REQUIRED BY THE WORK. COORDINATE SUCH EFFORTS PRIOR TO START OF CONSTRUCTION AND MAINTAIN ACTIVE COORDINATION OF DEMOLITION AND THE WORK DURING CONSTRUCTION.
- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE FOR DURATION OF CONSTRUCTION. REPAIR/REPLACE EXISTING CONSTRUCTION WHICH IS DAMAGED DURING COURSE OF CONSTRUCTION AS COMPONENT OF BASE CONTRACT.
- DEMOLISH ALL EQUIPMENT, CASEWORK, ETC.
- REMOVE ALL EXISTING EXTERIOR LIGHTS
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- THE OWNER HAS ACQUIRED A HAZMAT SURVEY FOR REFERENCE OF THE GENERAL CONTRACTOR PRIOR TO BIDDING. ALL HHM (HOUSEHOLD HAZARDOUS MATERIALS) DISCOVERED IN DEMOLITION ARE TO BE DISPOSED OF LEGALLY BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF ARLINGTON COUNTY AND THE STATE OF VIRGINIA INCLUDING BUT NOT LIMITED TO ALL LEAD PAINT AND LIGHTING WITH MERCURY.
- CONTACT "MISS UTILITY" (811) OR 1-800-552-7001 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- CONTRACTOR TO COORDINATE ANY NECESSARY UTILITY RELOCATIONS DIRECTLY WITH APPLICABLE UTILITY PROVIDER.
- OBTAIN A LETTER FROM THE FOLLOWING SERVICE PROVIDERS STATING THAT THE SERVICE CONNECTIONS AND ATTACHED EQUIPMENT (SUCH AS METERS AND REGULATORS) HAVE BEEN REMOVED OR SEALED AND PLUGGED IN A SAFE MANNER:
  - ELECTRICAL SERVICE
  - GAS SERVICE
  - WATER AND SEWER SERVICE (ACCOUNT MUST BE CLOSED AND THE FINAL BILL MUST BE PAID). THE ISSUANCE OF A DEMOLITION PERMIT CONSTITUTES AN IMPLIED REQUEST AS WELL AS PERMISSION FROM THE BUILDING OWNER FOR DISCONTINUANCE OF THE WATER SERVICE CONNECTION AS A COURTESY. TEMPORARY USE OF THE WATER SERVICE CONNECTION WILL BE ALLOWED FOR CONSTRUCTION PURPOSES ONLY IF REQUESTED IN WRITING.
- THE EXISTING SEWER LATERAL MUST BE CAPPED AT THE PROPERTY LINE BY THE OWNER AND INSPECTED BY THE COUNTY. A SEPARATE PLUMBING PERMIT IS REQUIRED. YOU MUST PROVIDE THE PLUMBING PERMIT NUMBER WITH YOUR APPLICATION.
- OWNER TO COMPLETE AN ASBESTOS INSPECTION AND AWARENESS FORM TO ACCOMPANY DEMOLITION PERMIT APPLICATION.
- OWNER TO OBTAIN A RODENT INFESTATION CERTIFICATE OF TREATMENT WHICH IS REQUIRED TO BE SUBMITTED WITH THIS SHEET PRIOR TO ISSUANCE OF A DEMOLITION PERMIT. THE CERTIFICATE OF TREATMENT MUST MEET THE FOLLOWING REQUIREMENTS:
  - IT MUST BE ON A LETTERHEAD, INVOICE, WORK ORDER OR REPORT WITH THE COMPANY'S INFORMATION THAT PERFORMED TREATMENT.
  - IT MUST STATE THE PROPERTY HAS BEEN INSPECTED. IT CANNOT STATE THAT IT WILL BE.
  - IT MUST STATE THE PROPERTY HAS BEEN BAITED. IT CANNOT STATE THAT IT WILL BE.
  - IT MUST STATE THERE WERE NO SIGNS OF RODENTS ON SITE AFTER TREATMENT.
  - IT MUST STATE THAT THE PROPERTY WILL BE BAITED FOR A MINIMUM OF 6 MONTHS.
- WRITTEN NOTICE OF DEMOLITION MUST BE DELIVERED TO THE OWNER OF EACH POTENTIALLY-AFFECTED ADJOINING LOT, BUILDING OR STRUCTURE AT LEAST ONE WEEK PRIOR TO THE BEGINNING OF WORK. A COPY OF EACH NOTICE IS REQUIRED WITH THE SUBMISSION OF THIS DEMOLITION APPLICATION.
- THE OWNER WILL SECURE AND PAY FOR THE DEMOLITION PERMIT.
- PER ARLINGTON COUNTY'S DEMOLITION PERMITTING PROCESS, THE ISSUANCE OF A DEMOLITION PERMIT CONSTITUTES PERMISSION FROM THE OWNER OF THE BUILDING FOR DISCONTINUANCE OF THE WATER SERVICE CONNECTION AS A COURTESY. TEMPORARY USE OF THE WATER SERVICE CONNECTION WILL BE ALLOWED FOR CONSTRUCTION PURPOSES ONLY IF REQUESTED IN WRITING.
- DUE TO AREA OF DISTURBED LAND EXCEEDING 2,500 SQ. FT. AN LDA IS REQUIRED (LAND DISTURBING ACTIVITY PERMIT). LDA PERMIT APPLICATION NUMBER FOR REFERENCE IS: PROJECT ID: LDA-21215
- REFER TO CIVIL FOR ADDITIONAL INFO.

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Project: 19296-01

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**DEMOLITION PLANS**

Scale: 1/8" = 1'-0"  
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**AD100**

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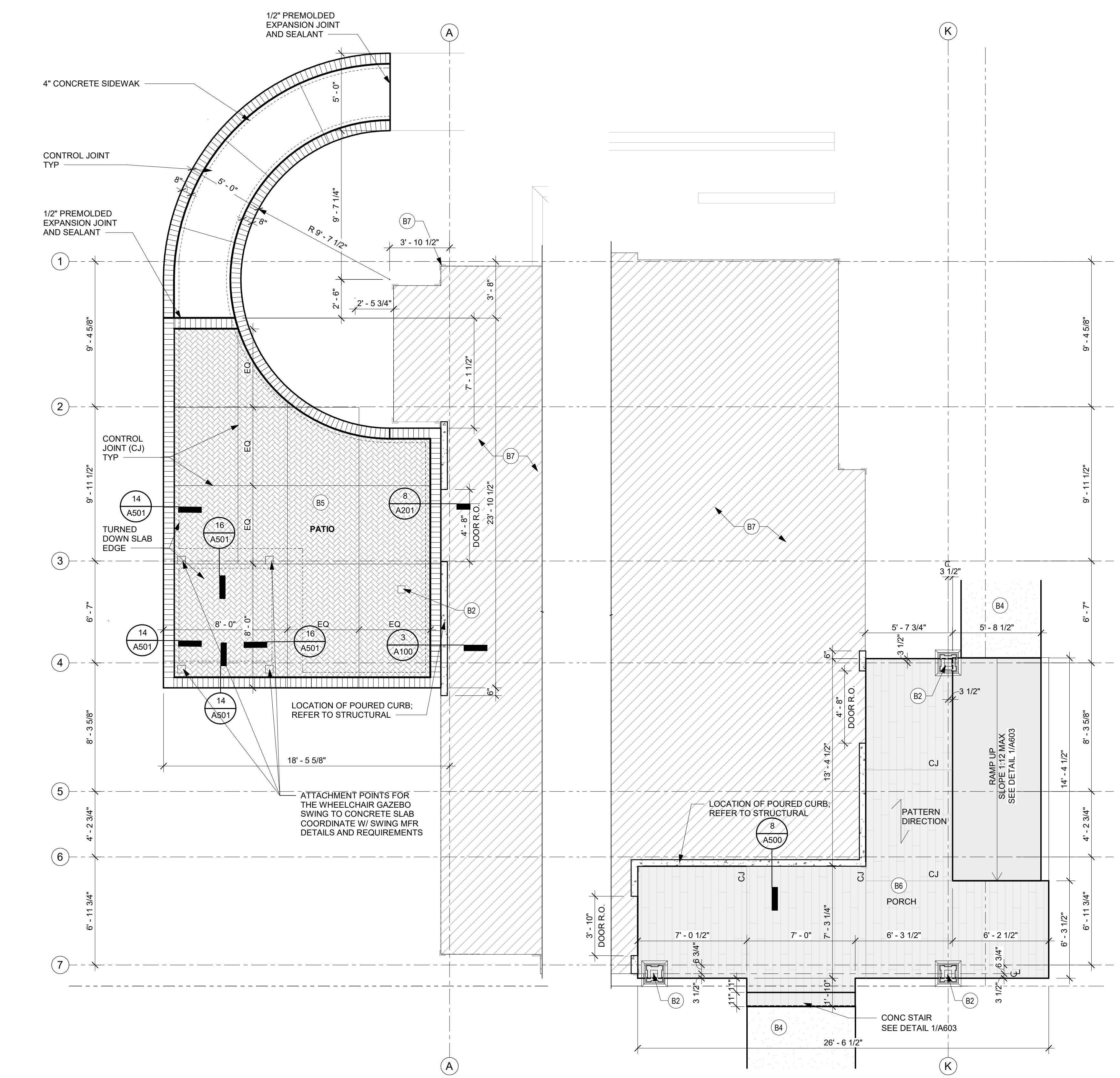
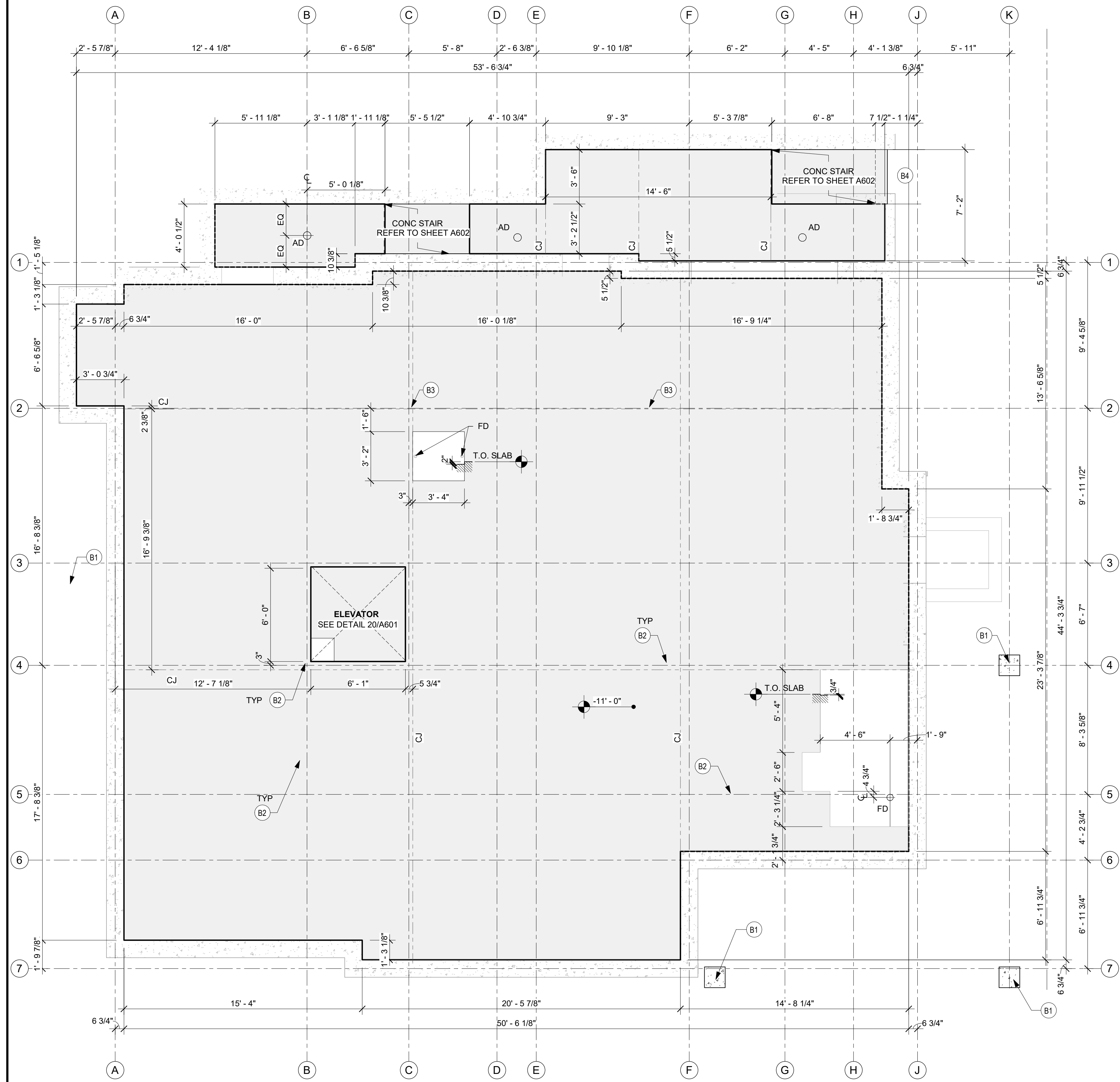
**DEMOLITION PLANS**

Scale  
Drawn DML  
Checked CWB

**AD100**

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**1 BASEMENT LEVEL**  
1/4" = 1'-0"

**2 FIRST FLOOR PLAN**  
1/4" = 1'-0"

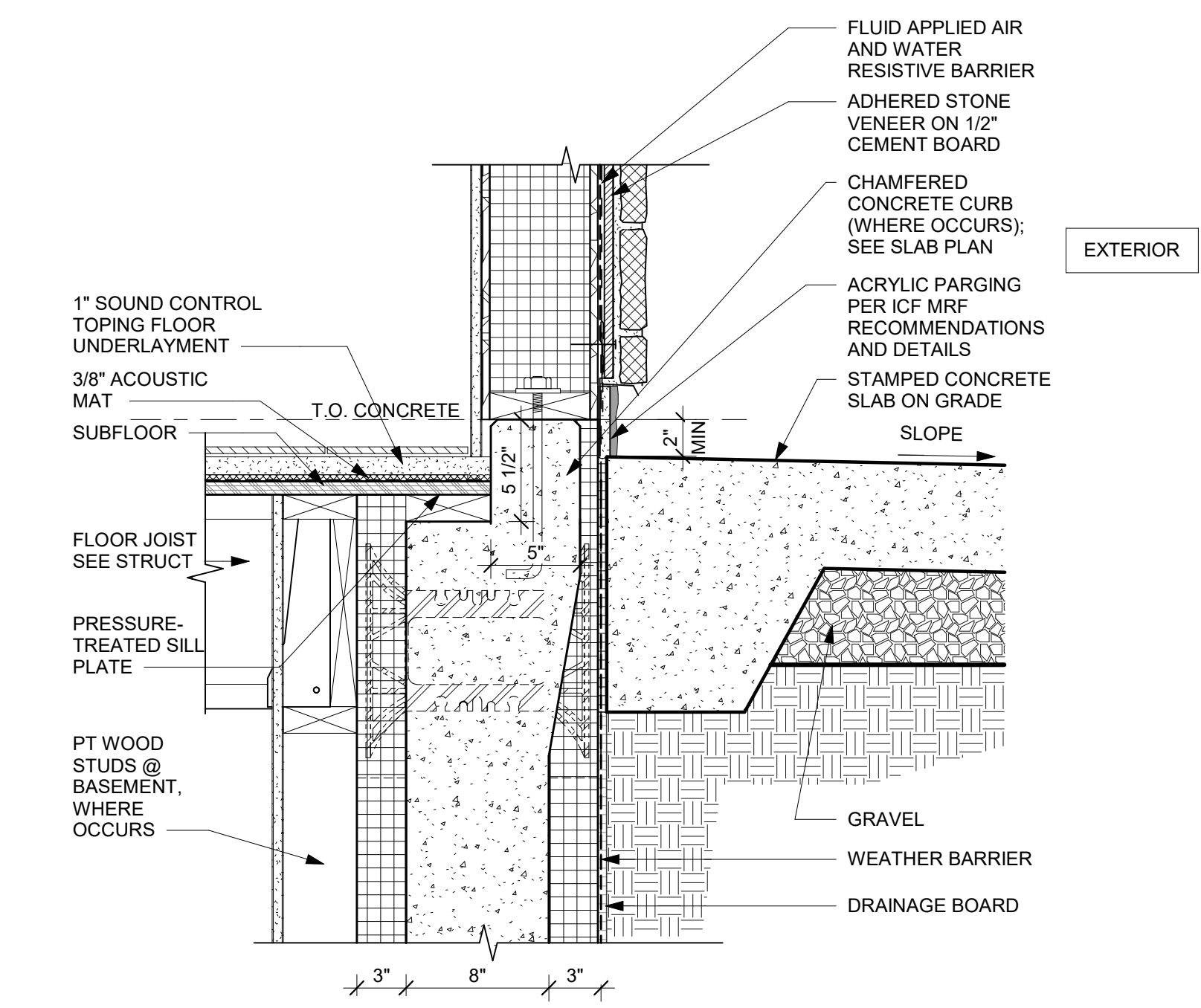
**SLAB EDGE LEGEND:**

- SLAB DEPRESSION
- CONTROL JOINT, OR VERTICAL EXPANSION JOINT
- AREA DRAIN, OR FLOOR DRAIN

**KEYED SLAB EDGE NOTES:**

B1	CONCRETE PIER. REFER TO STRUCTURAL.
B2	TIMBER COLUMN REFER TO STRUCTURAL.
B3	STEEL COLUMN. REFER TO STRUCTURAL.
B4	CONCRETE WALK MAX SLOPE 1:12. COORDINATE W/ CIVIL.
B5	SLAB ON GRADE PATIO. COORDINATE W/ CIVIL & STRUCTURAL. STAMPED CONCRETE W/ HERRINGBONE PATTERN AT MAIN FIELD - SEE SHEET A010 ARCHITECTURAL SITE PLAN.
B6	PORCH SLAB ON GRADE. COORDINATE W/ STRUCTURAL. STAMPED CONCRETE. SEE FINISH PLAN ON SHEET F101 FOR PATTERN AND COLOR.
B7	BUILDING - GROUND FLOOR

**3 FOUNDATION @ REAR PATIO**  
1 1/2" = 1'-0"



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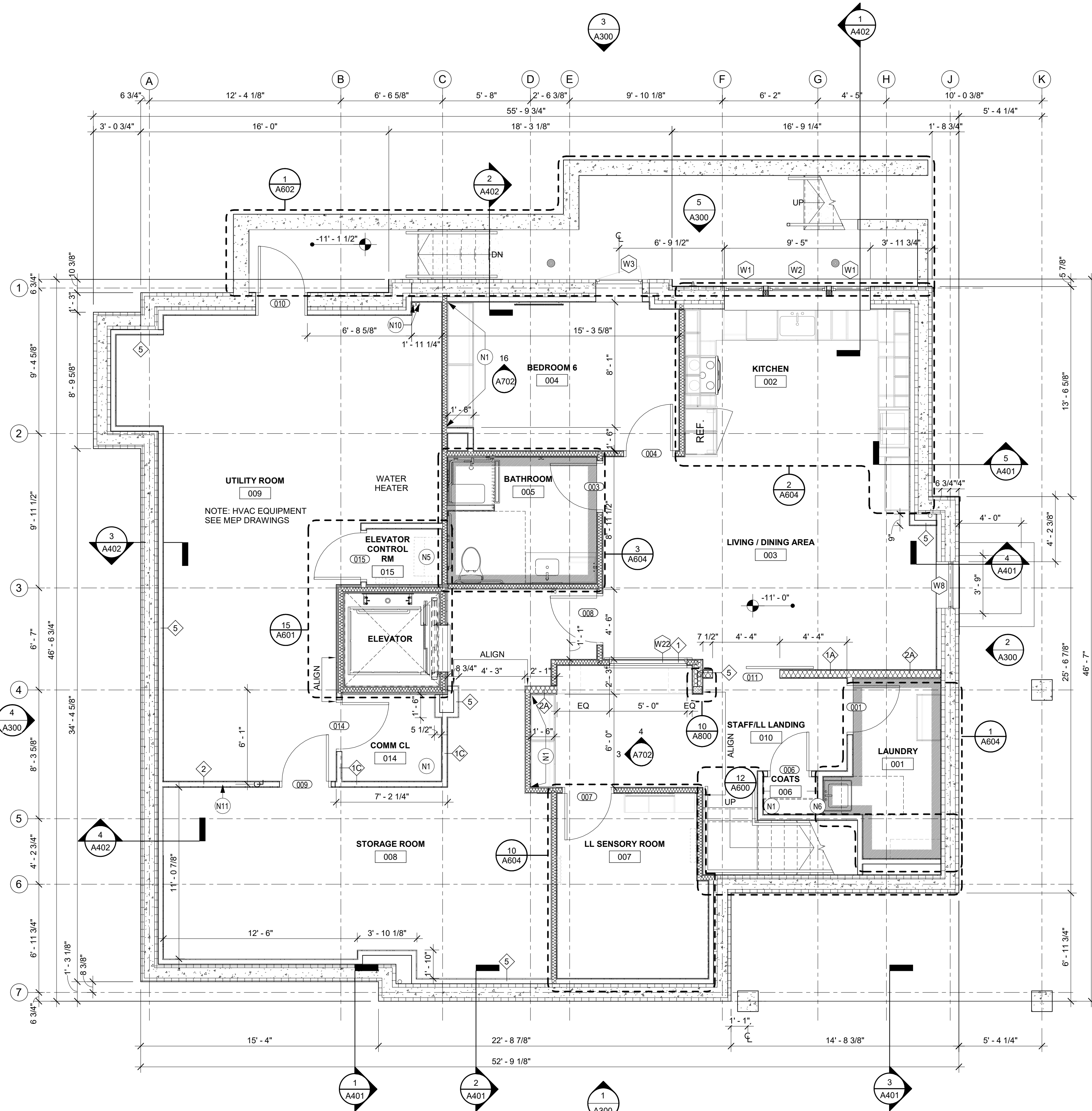
**SLAB EDGE PLAN - BASEMENT & GROUND LEVEL**

Scale As indicated  
Drawn Author  
Checked Checker

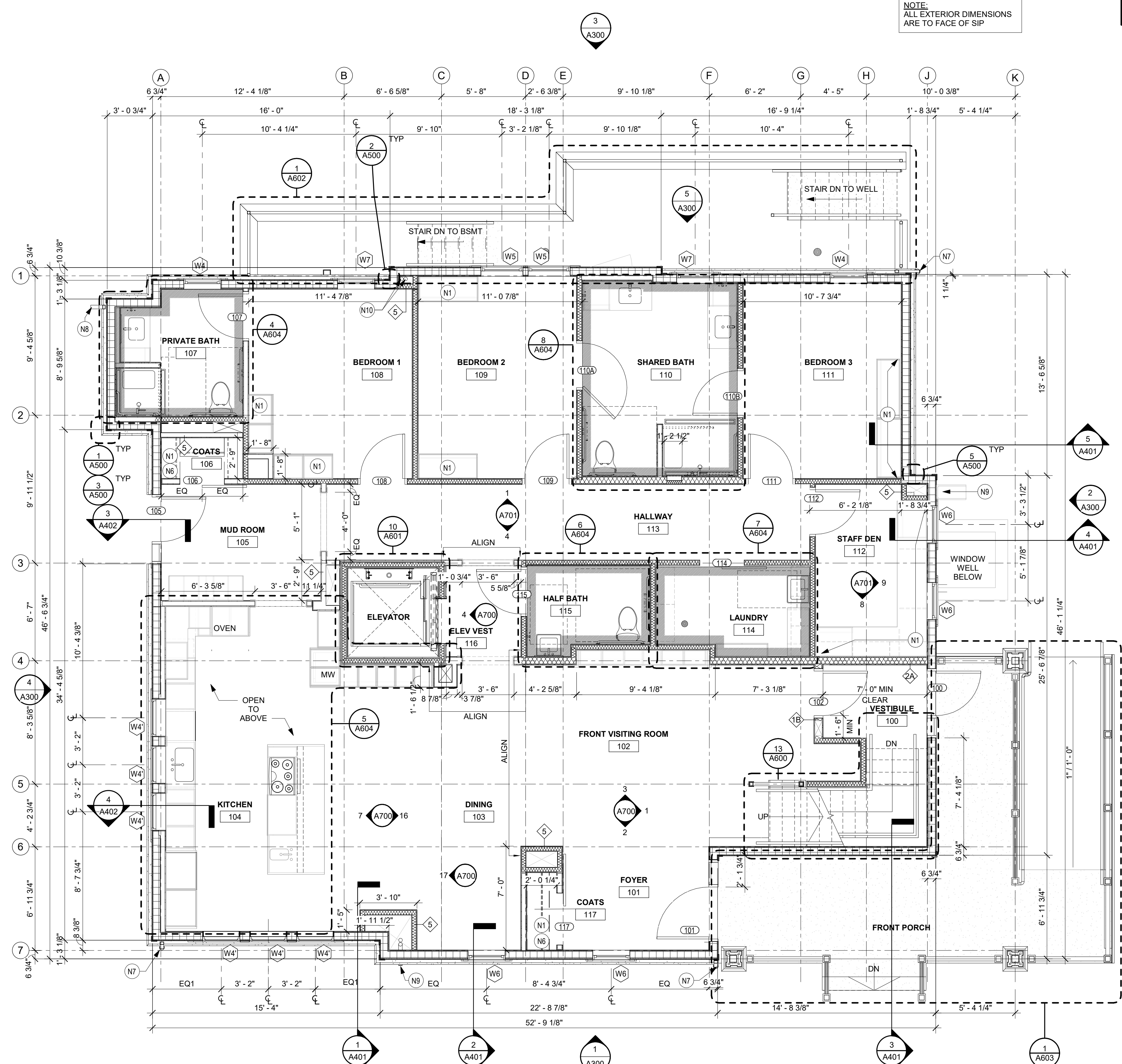
**A100**

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**1 BASEMENT LEVEL**  
1/4" = 1'-0"



**2 GROUND LEVEL**  
1/4" = 1'-0"

NOTE:  
ALL EXTERIOR DIMENSIONS  
ARE TO FACE OF SIP

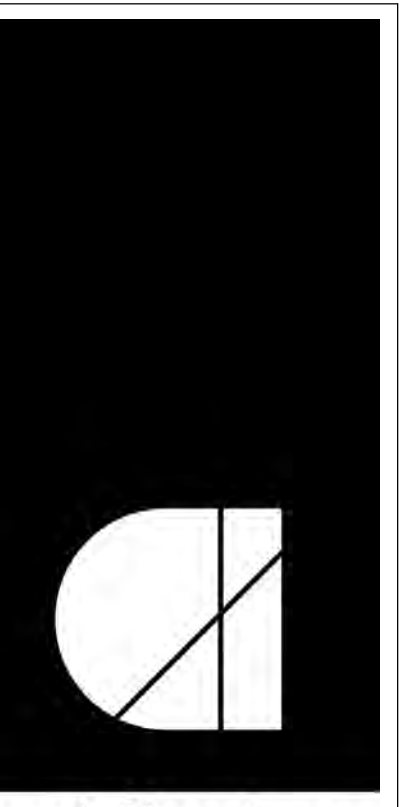
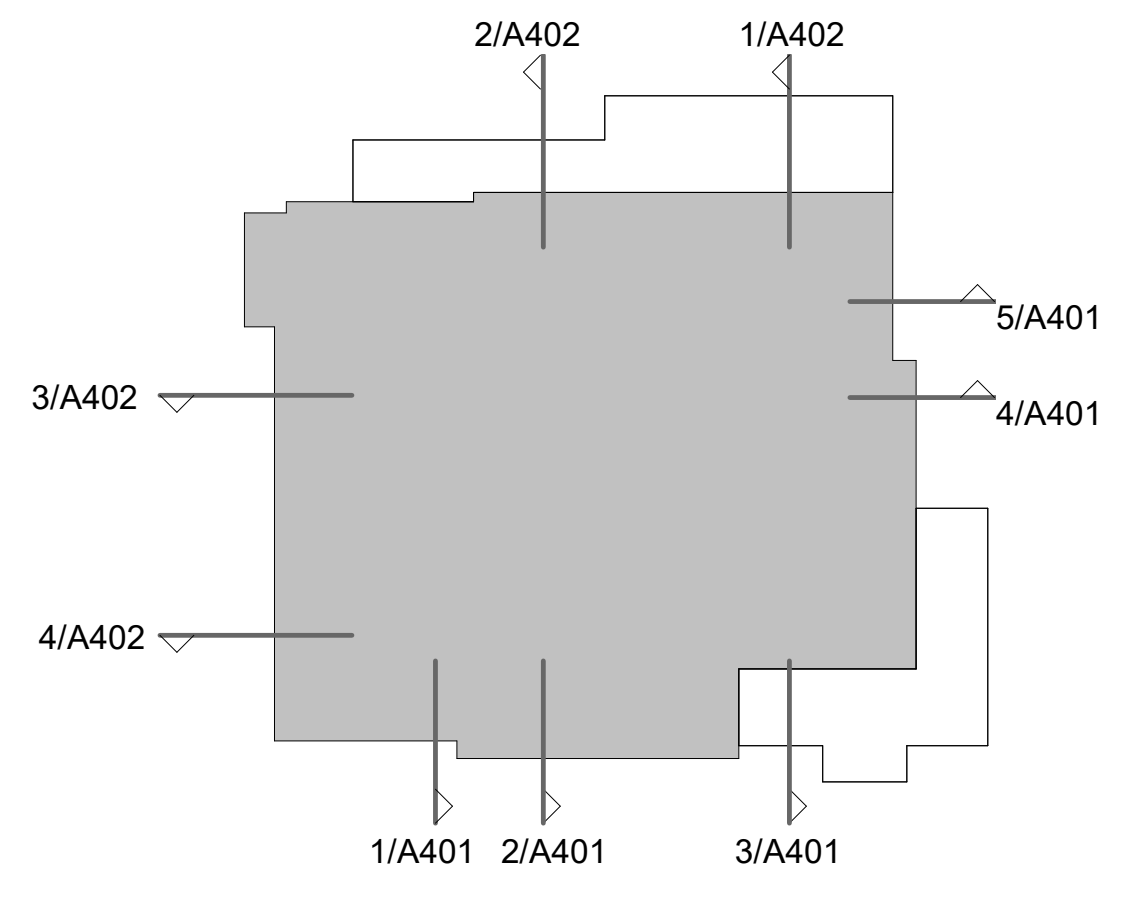
**KEYED NEW WORK NOTES:**

- N1 PROVIDE IN-WALL BLOCKING, AS REQUIRED.
- N2 ROOF LADDER.
- N3 GENERATOR, COORDINATE W/ ELECTRICAL.
- N4 FLOOR DRAIN, COORDINATE W/ PLUMBING.
- N5 ELEVATOR CONTROLS, COORDINATE W/ ELEVATOR MFR & MEP.
- N6 CLOSET ROD & SHELF, SEE DETAIL ON SHEET A804.
- N7 2"x3" DOWNSPOUT AND DOWNSPOUT BOOT FOR CONNECTION TO UNDERGROUND DRAINING LINE - SEE BOTH PLUMBING AND PLANS.
- N8 2"x3" DOWNSPOUT AND CONCRETE SPLASH BLOCK.
- N9 OVERFLOW ROOF DRAIN NOZZLE AND CONCRETE SPLASH BLOCK - SEE PLUMBING PLANS.
- N10 (2) 3" CONDUITS FOR ROOFTOP BALLASTED PV SYSTEM POWER AND DATA/COMMUNICATION. CONTINUE TO ROOF. COORDINATE WITH ELECTRICAL DRAWINGS.
- N11 DO NOT INSTALL SABB IN WALL.

**NEW WORK LEGEND:**

- NEW DOOR AND FRAME
- NEW DOOR, FRAME, AND SIDE LINE
- NEW PARTITION
- DIMENSION FROM FACE OF FINISH
- AREA DRAIN, SEE PLUMBING
- WATERPROOF FLOOR AS OUTLINED

REFER TO A020 FOR GENERAL NEW WORK NOTES  
REFER TO A800 FOR PARTITION TYPES  
REFER TO F-SERIES FOR INTERIOR FINISH PLANS



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**FLOOR PLANS -  
BASEMENT &  
GROUND LEVEL**

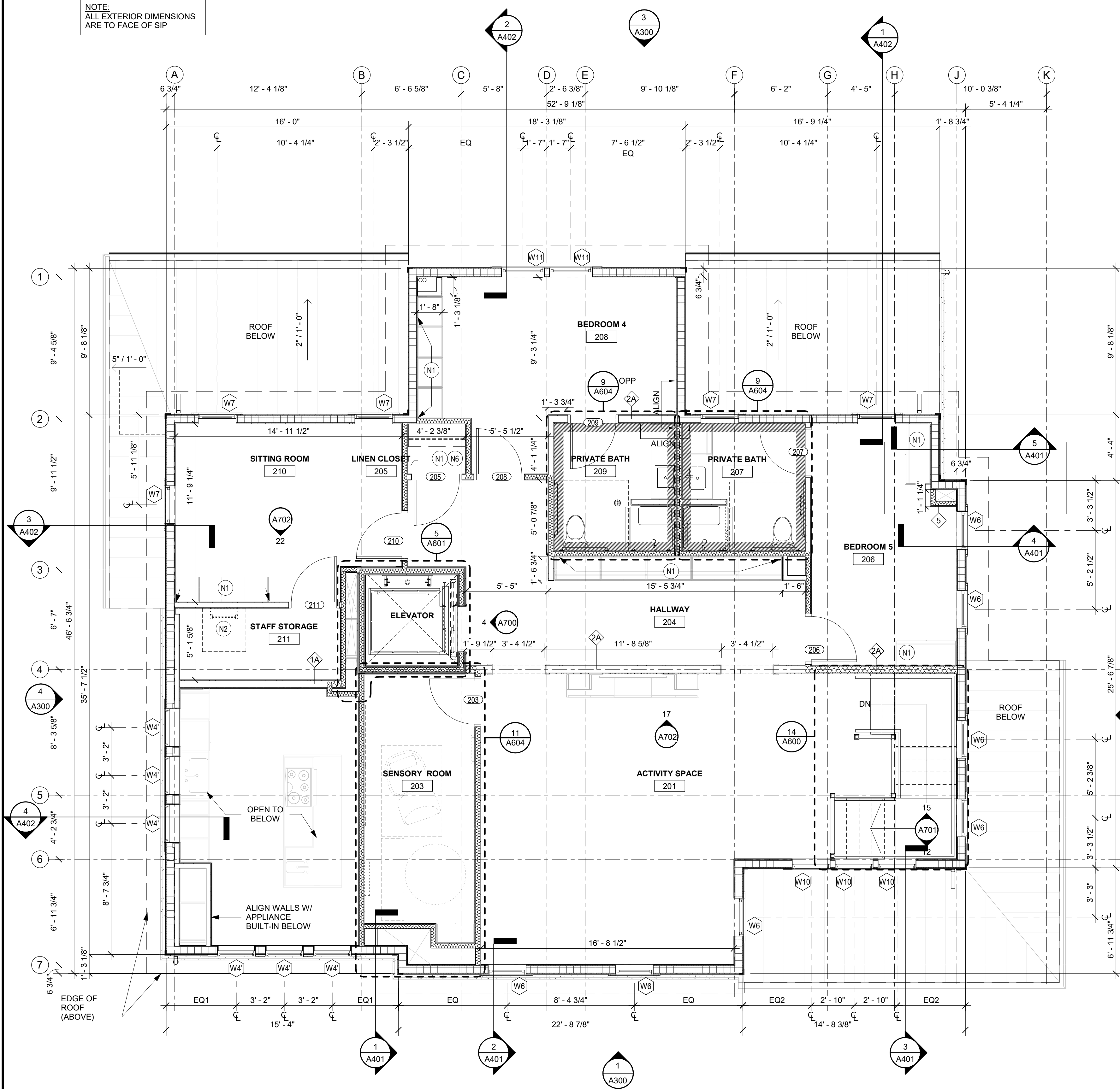
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**A101**

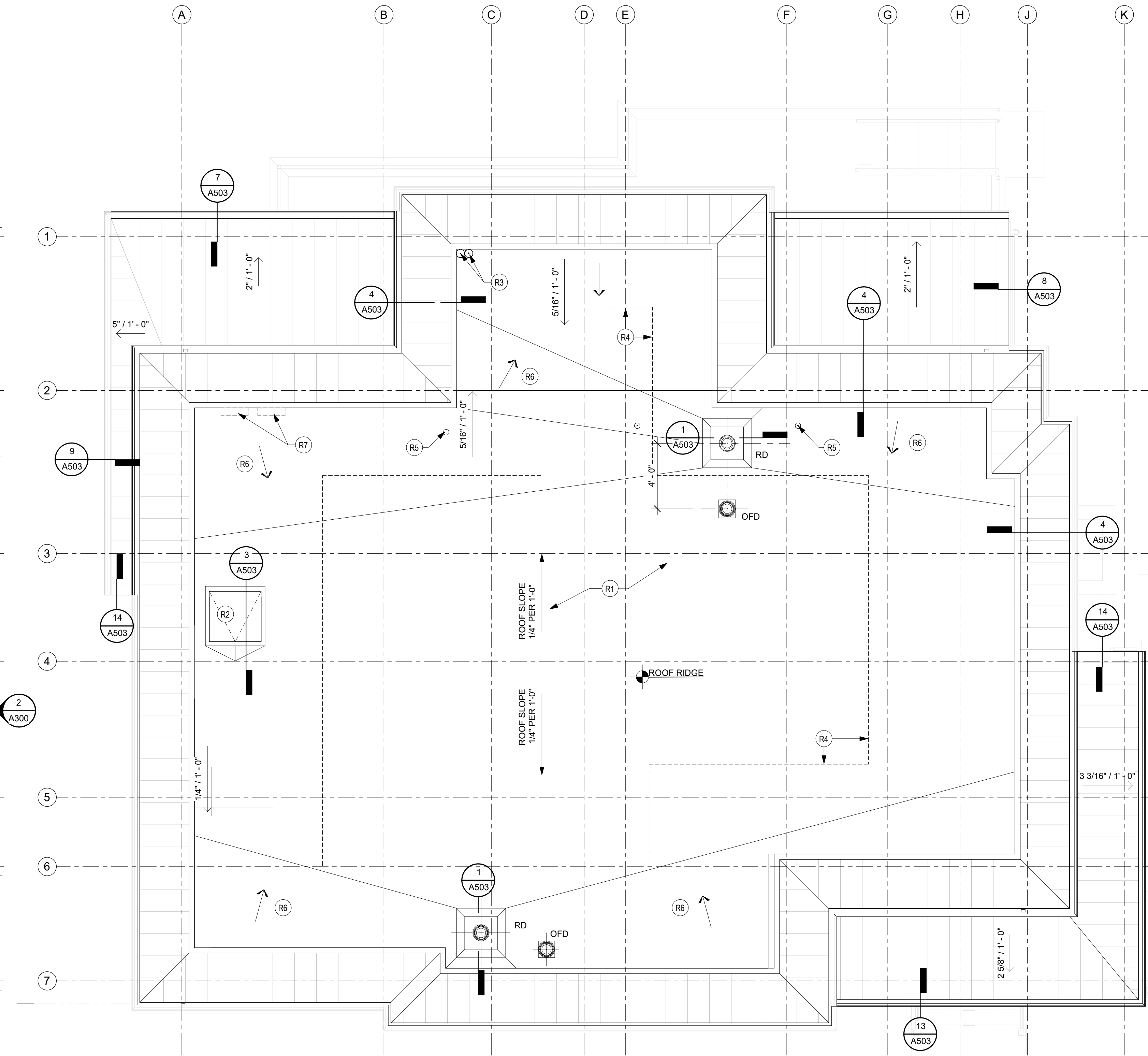
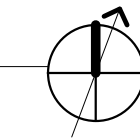
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NOTE:  
ALL EXTERIOR DIMENSIONS  
ARE TO FACE OF SIP



**1 SECOND LEVEL PLAN**  
1/4" = 1'-0"



**2 ROOF LEVEL PLAN**  
1/4" = 1'-0"



**KEYED NEW WORK NOTES:**

N1	PROVIDE IN-WALL BLOCKING, AS REQUIRED.
N2	ROOF LADDER
N3	GENERATOR, COORDINATE W/ ELECTRICAL.
N4	FLOOR DRAIN, COORDINATE W/ PLUMBING.
N5	ELEVATOR CONTROLS, COORDINATE W/ ELEVATOR MFR & MEP.
N6	CLOSET ROD & SHELF, SEE DETAIL ON SHEET A804.
N7	2"x3" DOWNSPOUT AND DOWNSPOUT BOOT FOR CONNECTION TO UNDERGROUND DRAINAGE LINE - SEE BOTH PLUMBING AND PLANS.
N8	2"x3" DOWNSPOUT AND CONCRETE SPLASH BLOCK
N9	OVERFLOW ROOF DRAIN NOZZLE AND CONCRETE SPLASH BLOCK - SEE PLUMBING PLANS
N10	(2) 3" CONDUITS FOR ROOFTOP BALLASTED PV SYSTEM POWER AND DATA/COMMUNICATION, CONTINUE TO ROOF. COORDINATE WITH ELECTRICAL DRAWINGS.
N11	DO NOT INSTALL SABB IN WALL

**NEW WORK LEGEND:**

	NEW DOOR AND FRAME
	NEW DOOR, FRAME, AND SIDE LITE
	NEW PARTITION
	DIMENSION FROM FACE OF FINISH
	AREA DRAIN, SEE PLUMBING
	WATERPROOF FLOOR AS OUTLINED

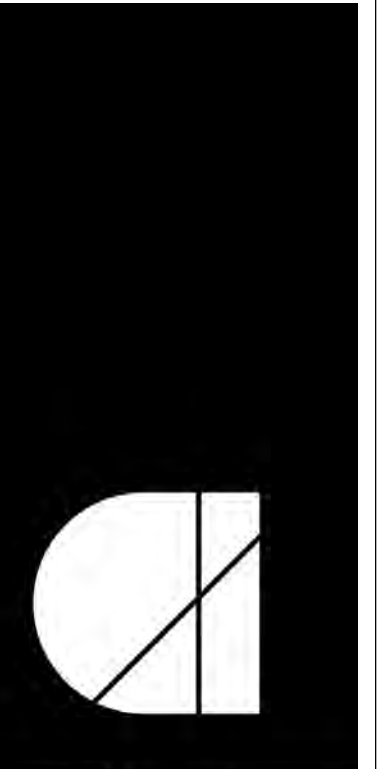
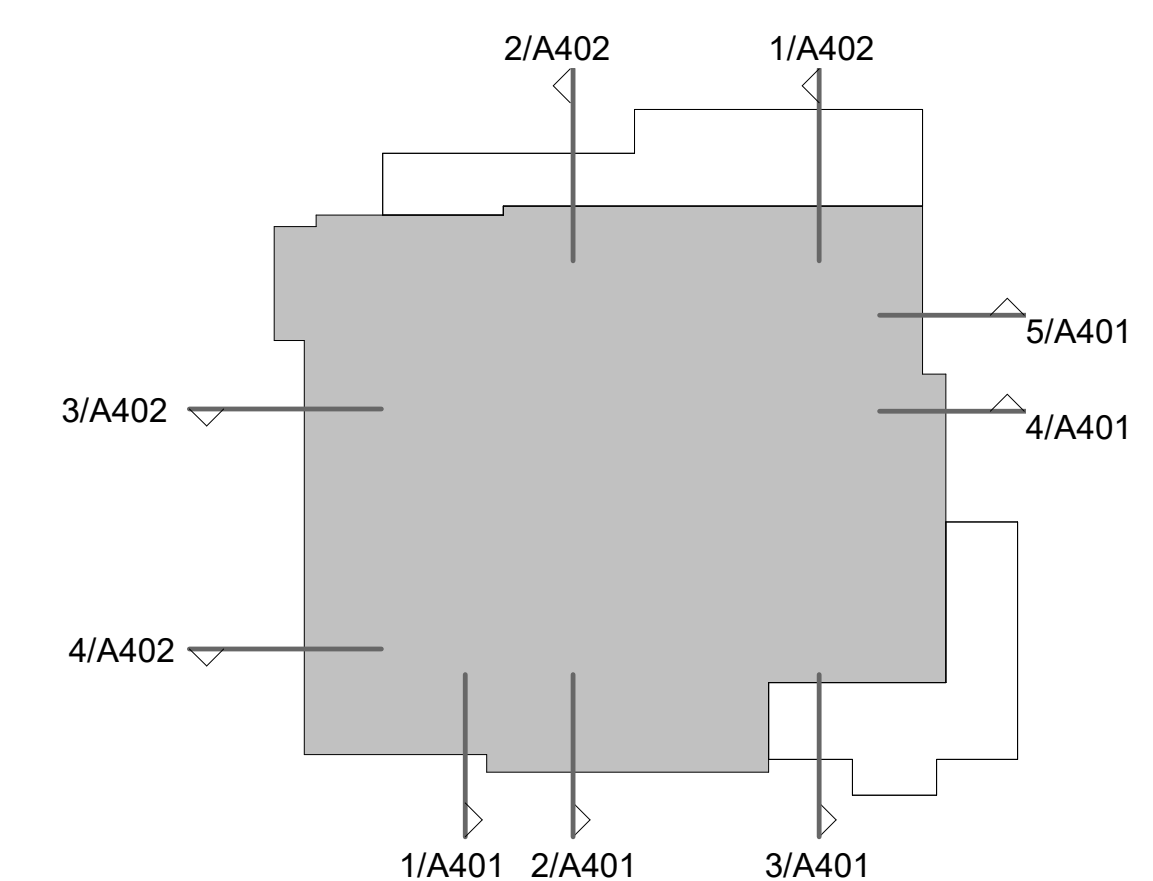
REFER TO A020 FOR GENERAL NEW WORK NOTES  
REFER TO A800 FOR PARTITION TYPES  
REFER TO F-SERIES FOR INTERIOR FINISH PLANS

**KEYED ROOF NOTES:**

R1	SINGLE-PLY ROOFING SYSTEM, USE TAPERED INSULATION TO PROVIDE SLOPE FOR PROPER ROOF DRAINAGE.
R2	ROOF HATCH
R3	BALLASTED PV SYSTEM POWER AND DATA/COMMUNICATION, RUN CONDUIT TO ROOF, COORDINATE WITH ELECTRICAL DRAWINGS.
R4	AREA OF BALLASTED PV PANELS, SEE PV PANELS DRAWINGS FOR EXTENT OF PV ARRAY AND INSTALLATION DETAILS.
R5	ROOF PENETRATION - REFER DETAIL 3 ON SHEET A551, COORDINATE WITH PLUMBING AND MECHANICAL DRAWINGS.
R6	TAPERED INSULATION
R7	FUTURE PV PANELS, COORDINATE WITH ELECTRICAL DRAWINGS.

**ROOF LEGEND:**

	STANDING SEAM METAL ROOF
	ROOF DRAIN (RD)
	OVERFLOW DRAIN (OFD)
	VENT THRU ROOF (REFER KEYNOTE VTR)
	HOT STACK
	ELECTRICAL OR PLUMBING SYSTEM PENETRATION
	DOWNSPOUT - CONDUCTOR HEAD AND SUPPER WHERE NOTED
	EQUIPMENT DISCONNECT SUPPORT
	ROOF HATCH
	WALKWAY PAD
	SLOPE
	CRICKET / SADDLE (1/2" : 1'-0" SLOPE)
	VERTICAL CONSTRUCTION JOINT OR VERTICAL EXPANSION JOINT



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**FLOOR PLANS -  
2ND & ROOF  
LEVEL**

Scale **As indicated**  
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**A102**

100% BID



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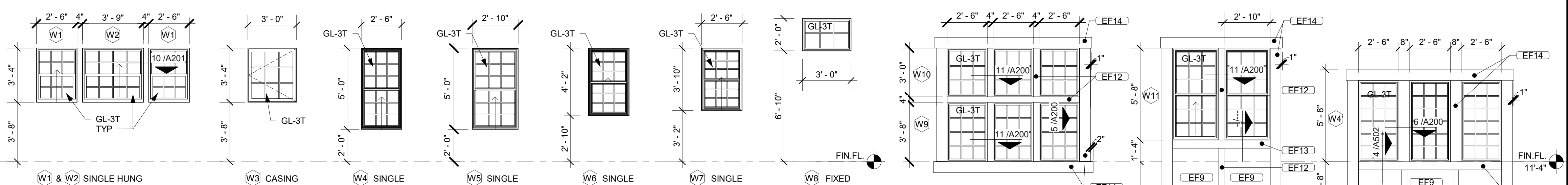
**DOOR TYPE LIST:**

- F FLUSH PANEL DOOR
- FG FULL HEIGHT, FULL WIDTH GLASS DOOR, RAILS AND STILES INDICATED BY THE DOOR TYPE DIAGRAM
- G(#) (#) INDICATES NUMBER OF PANELS, SEE DOOR TYPE DIAGRAM
- L LOUVER IN FLUSH PANEL DOOR
- L P(#) (#) INDICATES NUMBER OF PANELS, SEE DOOR TYPE DIAGRAM
- S SLIDING DOOR ASSEMBLY, SECOND CHARACTER INDICATES THE TYPE OF DOOR PANEL

- DOOR MATERIALS**
- HM: HOLLOW METAL DOOR PANEL
  - PET/GRDP: RESILIENT / IMPACT RESISTANT DOOR PANEL
  - FBG: FIBERGLASS

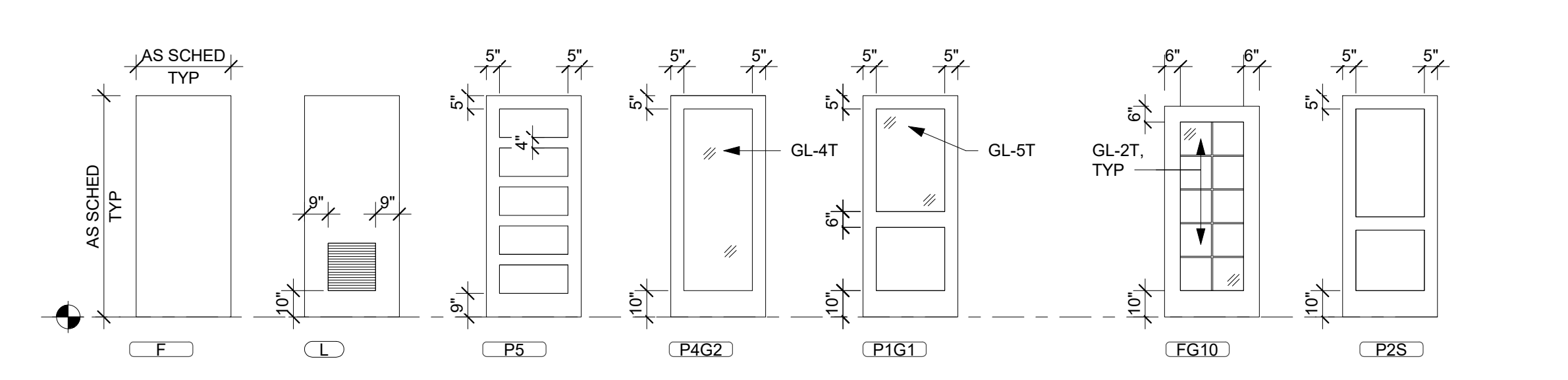
**DOOR FRAME & WINDOW TYPE LIST:**

- 1 STANDARD 3-Piece DOOR FRAME
- 1B DOOR FRAME AT ASSIST TRACK ASSEMBLY
- 2, 2A DOOR FRAME WITH SIDELIGHT - GLAZING SILL MOUNTED AT FLOOR
- 6B DOOR FRAME WITH SIDELIGHT AND TRANSOM - GLAZING SILL MOUNTED AT FLOOR
- 7 POCKET DOOR FRAME
- W1 VINYL SINGLE HUNG WINDOW
- W2 VINYL CASEMENT WINDOW
- W3 TO W6 VINYL SINGLE HUNG WINDOW
- W7 TO W9 VINYL FIXED (PICTURE) WINDOW
- W10, W11 VINYL SINGLE HUNG WINDOW
- W12 VINYL FIXED WINDOW (INTERIOR)
- W13, W14 VINYL FIXED WINDOW



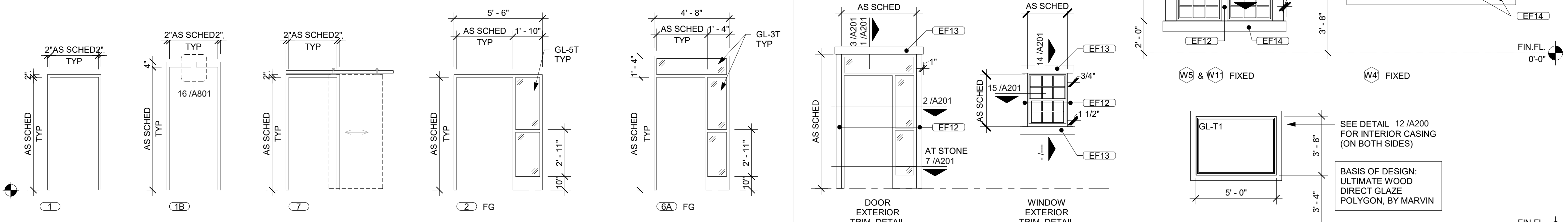
**WINDOW TYPES**

1/4" = 1'-0"



**DOOR TYPE**

1/4" = 1'-0"



**DOOR FRAME**

1/4" = 1'-0"

**TYP TRIM DETAILS**

1/4" = 1'-0"

**DOOR NOTES:**

1. COORDINATE HEAD AND JAMB WIDTHS WITH THE SCHEDULED PARTITION.
2. ALL DOORS & HM FRAMES SHALL BE PRIMED & PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL, UNLESS NOTED OTHERWISE ON INTERIOR ELEVATIONS & FINISH SCHEDULE.
3. IMPACT RESISTANT/RESILIENT DOOR PANELS PER SPEC SECTION 081423 TO BE DP-1 (TYP) PER FINISH SCHEDULE, UNLESS NOTED OTHERWISE ON INTERIOR ELEVATIONS.
4. ALL KEYING OF DOORS, INCLUDING INTERIOR DOORS, IS TO BE PERFORMED BY THE OWNER'S LOCKSMITH. THIS COST IS TO BE INCLUDED AS A COMPONENT OF THE BASE BID. COORDINATE KEYING WITH END USER.
5. HARDWARE TYPES AND FUNCTIONS INDICATED IN HARDWARE SCHEDULE ARE THE BASIC INFORMATION FOR EACH DOOR OPENING. PROVIDE COMPLETE HARDWARE FOR EACH OPENING AS NEEDED. COORDINATE LOCKSET FUNCTIONS W/ OWNER PRIOR TO EXECUTION OF SUBMITTALS.
6. ALL DOOR HARDWARE MUST MEET AND BE INSTALLED IN ACCORDANCE W/ THE FOLLOWING REQUIREMENTS: ADAAG/ANSI A117.1 2010 (I.C.C./DOOR HARDWARE INSTITUTE (DHI) BUILDERS HARDWARE MFRS. ASSN. (BHMA) MPPA. \*NOT USED\*
7. SEE FRAME ELEVATIONS.
8. PROVIDE DOOR AUDIO / VISUAL INTERCOM WIRING IN CONDUITS, PER SECURITY VENDOR REQUIREMENTS.
9. COORDINATE WITH CEILING ASSIST TRACK. REFER TO DETAIL ON SHEET 16A801.
10. DOOR & WINDOW ENERGY PERFORMANCE REQ'S:

OPAQUE DOORS: 0.21 U-VALUE MAX  
WINDOWS & GLASS DOOR: 0.16 U-VALUE MAX  
0.31 SHGC

**GLAZING TYPE LIST:**

- GL-1T 1/4" TEMPERED FLOAT GLASS, CLEAR
- GL-2T 1/2" INSULATING GLASS, TINTED W/LOW 'E' COATING - TEMPERED
- GL-3T TRIPLE PANE WINDOWS, TINTED W/LOW 'E' COATING - TEMPERED
- GL-4T PELLA, DANBURY BLACK WROUGHT IRON GLASS W/ SATIN ETCH #9 PRIVACY
- GL-5T PELLA SATIN ETCH OBSCURE GLASS #9 PRIVACY

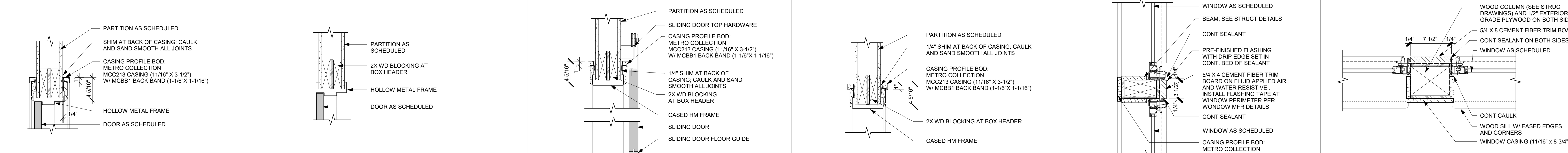
- GLAZING TYPE NOTES:**
1. ALL GLAZING IN EXTERIOR FRAMES SHALL BE GL-3T, UNO.
  2. ALL INTERIOR GLAZING SHALL BE GL-1T, UNO.
  3. GLAZE ALL OPENINGS IN FRAMES UNLESS SPECIFICALLY NOTED OTHERWISE.
  4. REFER TO DOOR SCHEDULE FOR DOOR GLAZING AND FRAME GLAZING TYPES.

**DOOR AND FRAME SCHEDULE**

MARK	LOCATION	FROM ROOM NAME	# OF LEAFS	DOOR			OPENING		FRAME				RATING (MIN)	GLAZING	HDWR SET	REMARKS		
				LEAF WIDTH	PANEL TYPE	MATL	THK	WIDTH	HEIGHT	TYPE	MATL	HEAD					JAMB	SILL
<b>BASEMENT</b>																		
001	LAUNDRY		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	3		
003	BATHROOM		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	8		
004	BEDROOM 6		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
006	COATS		1	2'-6"	P5	PET/GRDP	1 3/4"	2'-6"	7'-0"	1	HM	1/A200	7/A200	-	-	3		
007	LL SENSORY ROOM		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	6		
008	STORAGE ROOM		1	3'-0"	F	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	9.1		
009	UTILITY ROOM		1	3'-0"	F	HM	1 3/4"	3'-0"	7'-0"	1	HM	2/A200	8/A200	-	-	11		
010	UTILITY ROOM		1	3'-0"	F	FBG	1 3/4"	3'-0"	7'-0"	1	HM	13/A201	11/A201	18/A201	-	-	10	
011	LIVING/DINING AREA		1	4'-4"	F	PET/GRDP	1 3/4"	4'-4"	7'-0"	7	HM	3/A700	9/A200	-	-	4		
014	COMM CL		1	3'-0"	F	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	9	PROVIDE 3/4" UNDERCUT	
015	ELEVATOR CONTROL RM		1	3'-0"	L	HM	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	9.1	PROVIDE 3/4" UNDERCUT	
<b>GROUND LEVEL</b>																		
100	VESTIBULE		1	3'-0"	P1G1	FBG/GL	1 3/4"	3'-0"	7'-0"	2	FBG	4/A201	5/A201	9/A201	-	Y / GL-5T	1.1	FG COLOR: NAVY BLUE
101	FOYER		1	3'-0"	P4G2	FBG/GL	1 3/4"	3'-0"	7'-0"	2	FBG	1/A201	2/A201	6/A201	-	Y / GL-4T	1.2	FG COLOR: BRICK RED
102	FRONT VISITING ROOM		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	5		
105	MUD ROOM		1	3'-0"	FG10	FBG/GL	1 3/4"	3'-0"	7'-0"	6A	FBG	3/A201	2 /A201	8/A201	-	Y / GL-2T	1	FG COLOR: NAVY BLUE
106	COATS		1	3'-0"	P2S	PET/GRDP	1 3/4"	3'-0"	7'-0"	7	HM	3/A200	9/A200	-	-	4		
107	PRIVATE BATH		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	8'-4"	1B	HM	16/A801	7/A200	-	-	8.1	SEE NOTE #9	
108	BEDROOM 1		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
109	BEDROOM 2		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
110A	SHARED BATH		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	8'-4"	1B	HM	16/A801	7/A200	-	-	8.1	SEE NOTE #9	
110B	SHARED BATH		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	8'-4"	1B	HM	16/A801	7/A200	-	-	8.1	SEE NOTE #9	
111	BEDROOM 3		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
112	STAFF DEN		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	5		
114	LAUNDRY		1	3'-0"	P2S	PET/GRDP	1 3/4"	3'-0"	7'-0"	7	HM	3/A700	9/A200	-	-	4		
115	HALF BATH		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	2		
117	COATS		1	3'-0"	F	PET/GRDP	1 3/4"	3'-0"	7'-0"	7	HM	3/A200	9/A200	-	-	4		
<b>LEVEL 2</b>																		
203	SENSORY ROOM		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	6		
205	LINEN CLOSET		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	5.1		
206	BEDROOM 5		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
207	PRIVATE BATH		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	8'-4"	1B	HM	16/A801	7/A200	-	-	8.1	SEE NOTE #9	
208	BEDROOM 4		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
209	PRIVATE BATH		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	8		
210	SITTING ROOM		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	7		
211	STAFF STORAGE		1	3'-0"	P5	PET/GRDP	1 3/4"	3'-0"	7'-0"	1	HM	1/A200	7/A200	-	-	5.1		

**HARDWARE SETS #:**

- Set 1 - Exterior Entry, Doors: 105**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Overhead Stop
  - 1 Threshold
  - 1 Gasketing (Set)
  - 1 Door Bottom Seal
  - 1 Drip Strip
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 2 - Exterior Entry, Doors: 101**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Door Stop
  - 1 Threshold
  - 1 Gasketing (Set)
  - 1 Door Bottom Seal
  - 1 Drip Strip
  - 1 Audio/Visual Intercom, Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 3 - Bedroom/Sitting Rooms, Doors: 108, 109, 111, 206, 208, 210**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Classroom Lockset
  - 1 Permanent Core
  - 1 Threshold
  - 1 Gasketing (Set)
  - 1 Wall Stop
  - 1 Wall Stop OR 1 Door Stop (for door 210 only)
  - 1 Gasketing (Set)
  - 1 Drip Strip
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 4 - Private Bath, Doors: 003, 004, 209**
  - 3 Hinge
  - 1 Privacy Set
  - 1 Wall Stop
  - 1 Wall Stop
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 5 - Private Bath, Doors: 107, 110A, 110B, 207**
  - 4 Hinge
  - 1 Privacy Set
  - 1 Overhead Stop
  - 3 Silencer
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, 2 Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 6 - Sensory, Doors: 007, 203**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Latch Protector
  - 1 Closer
  - 1 Threshold
  - 1 Gasketing (Set)
  - 1 Door Bottom Seal
  - 1 Drip Strip
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 7 - Utility, Doors: 014**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Wall Stop
  - 1 Overhead Stop (for door 006 only)
  - 3 Silencer
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 8 - Utility, Doors: 014**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Wall Stop
  - 1 Overhead Stop (for door 006 only)
  - 3 Silencer
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 9 - Utility, Doors: 014**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Wall Stop
  - 1 Overhead Stop (for door 006 only)
  - 3 Silencer
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 10 - Exterior Utility, Doors: 010**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Latch Protector
  - 1 Closer
  - 1 Threshold
  - 1 Gasketing (Set)
  - 1 Door Bottom Seal
  - 1 Drip Strip
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 11 - Shared Door (CR both sides), Doors: 009**
  - 3 Hinge
  - 1 Institutional Lockset
  - 2 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer/Stop
  - 1 Gasketing (Set)
  - 2 Card Reader, 1 Power Supply, Wiring Diagram, 2 Door Position Switch, 2 Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 12 - Corridor/Public Toilet, Doors: 115**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer
  - 1 Kickplate
  - 1 Privacy Set
  - 1 Threshold
  - 1 Gasketing (Set)
  - 1 Door Bottom Seal
  - 1 Drip Strip
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 13 - Laundry/Coats (Passage), Doors: 001, 006**
  - 3 Hinge
  - 1 Passage Set
  - 1 Wall Stop
  - 1 Overhead Stop (for door 006 only)
  - 3 Silencer
  - 1 Card Reader, Power Supply, Wiring Diagram, Door Position Switch, Motion Sensor - *Furnished and Installed by Security Contractor and function to provide Door Monitoring within the Security Monitoring System.*
- Set 14 - Barn Door, Doors: 011, 106, 114, 117**
  - 1 Sliding Track Hardware System
  - 1 Push/Pull
- Set 15 - Den, Doors: 102, 112**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Closer
  - 1 Wall Stop
  - 1 Gasketing (Set)
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer/Stop OR 1 Closer (for door 008 only)
  - 1 Kickplate
  - 1 Wall Stop (for door 008 only)
  - 3 Silencer
  - The GC shall provide wire runs and hook-up for future card reader*
- Set 16 - Utility w/ Future Card Reader, Doors: 008, 015**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Electric Strike
  - 1 Electrolynx Harness (Install between electric strike and junction box)
  - 1 Closer/Stop OR 1 Closer (for door 008 only)
  - 1 Kickplate
  - 1 Wall Stop (for door 008 only)
  - 3 Silencer
  - The GC shall provide wire runs and hook-up for future card reader*
- Set 17 - Storage/Den, Doors: 205, 211**
  - 3 Hinge
  - 1 Storeroom Lockset
  - 1 Permanent Core
  - 1 Kickplate
  - 1 Wall Stop (for door 008 only)
  - 3 Silencer
  - The GC shall provide wire runs and hook-up for future card reader*



**1 DOOR HEAD - HM FRAME 1**  
1 1/2" = 1'-0"

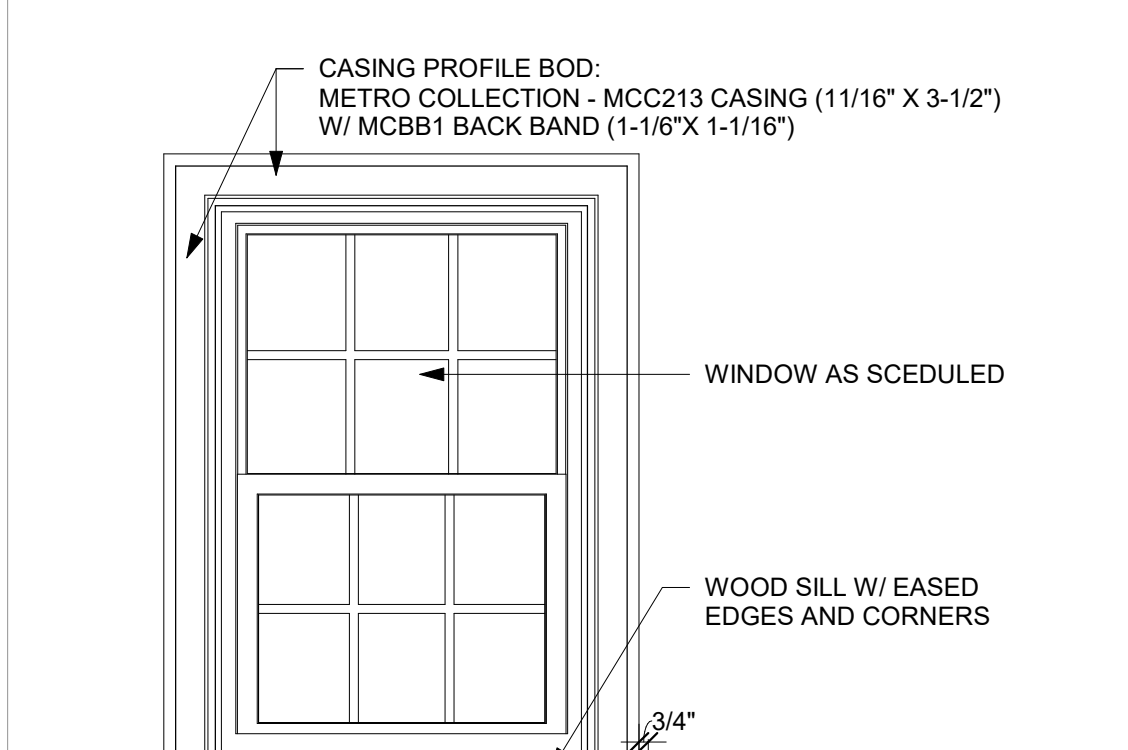
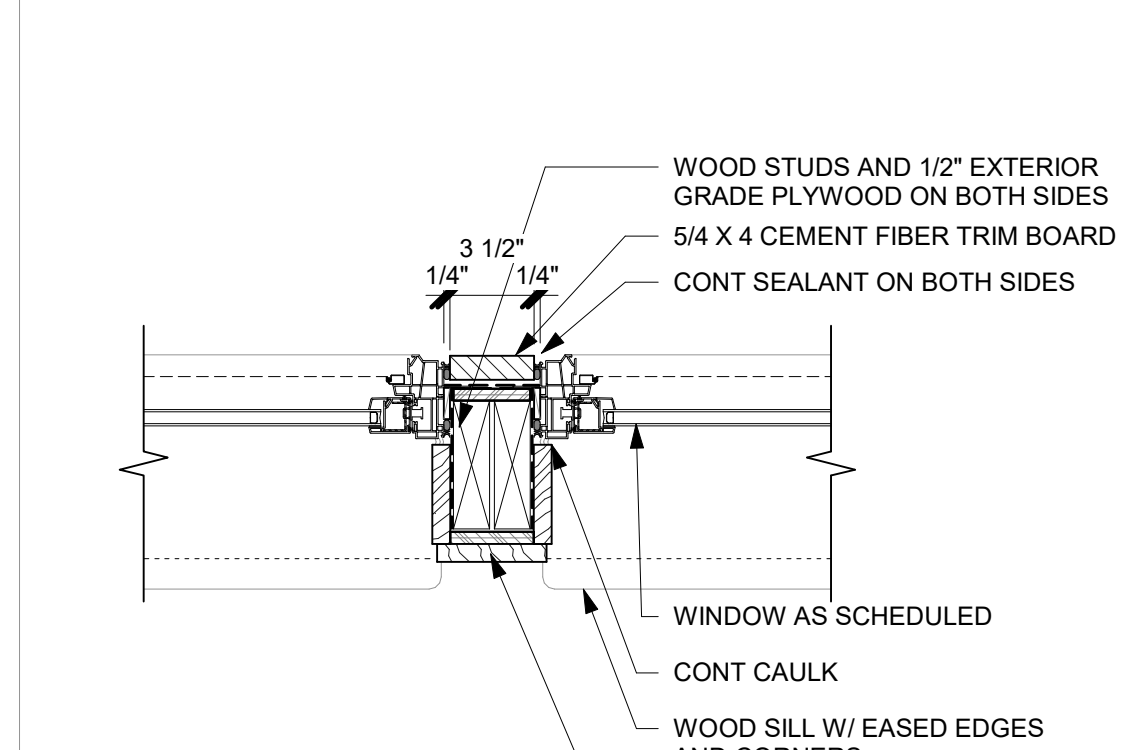
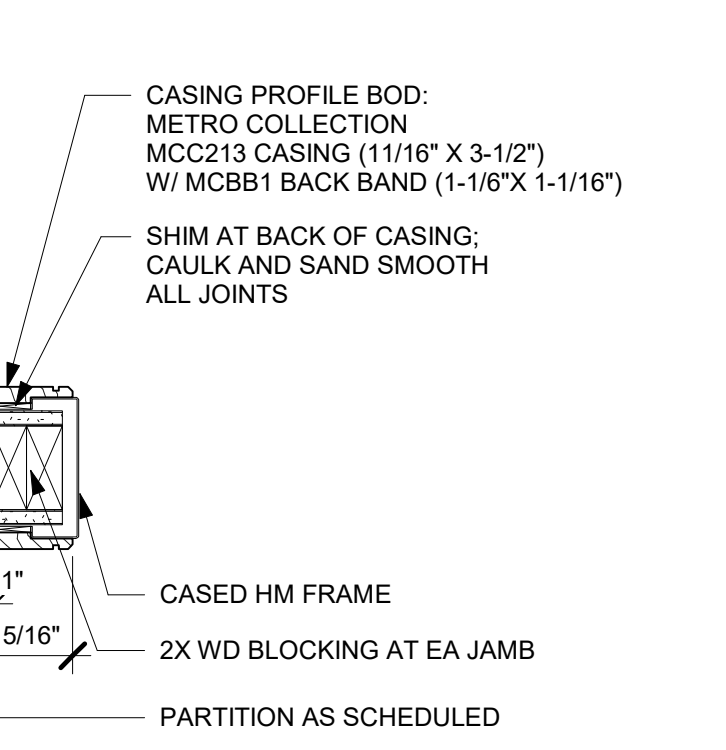
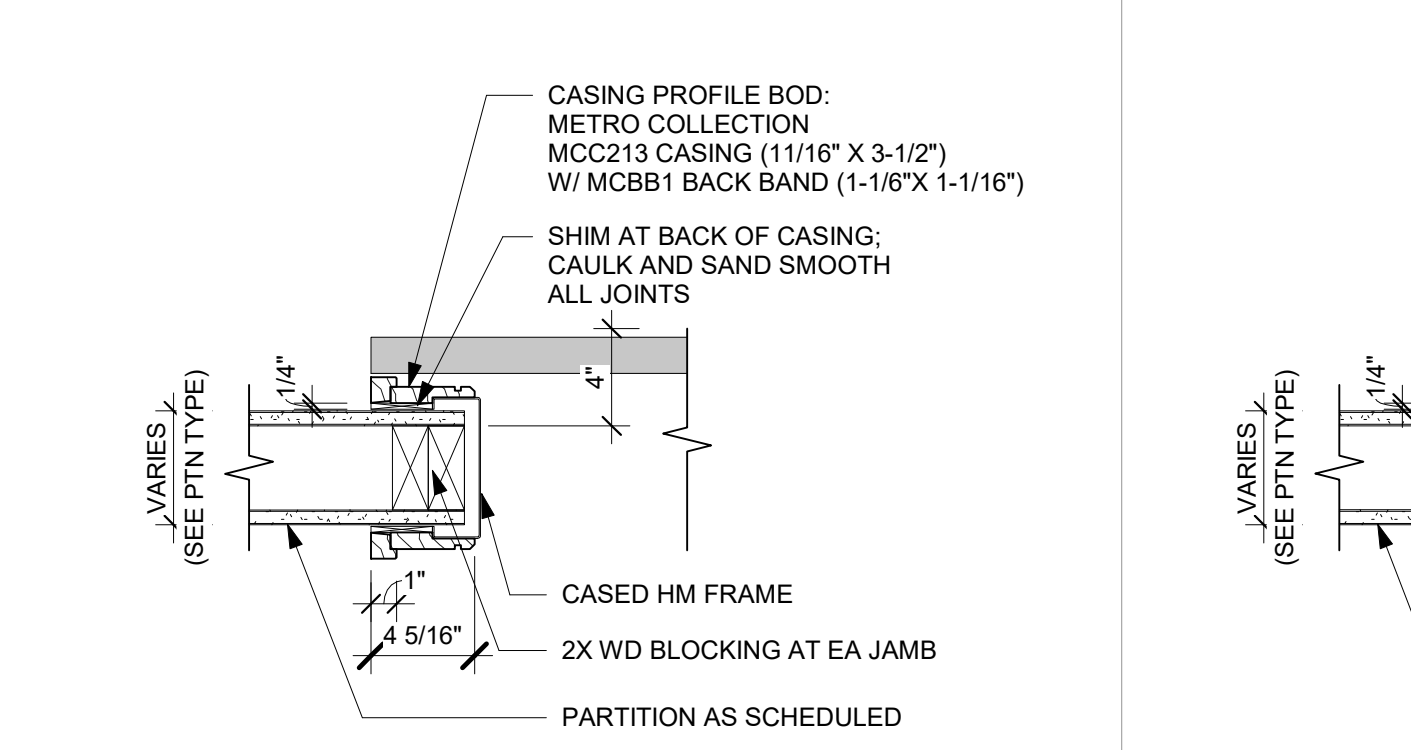
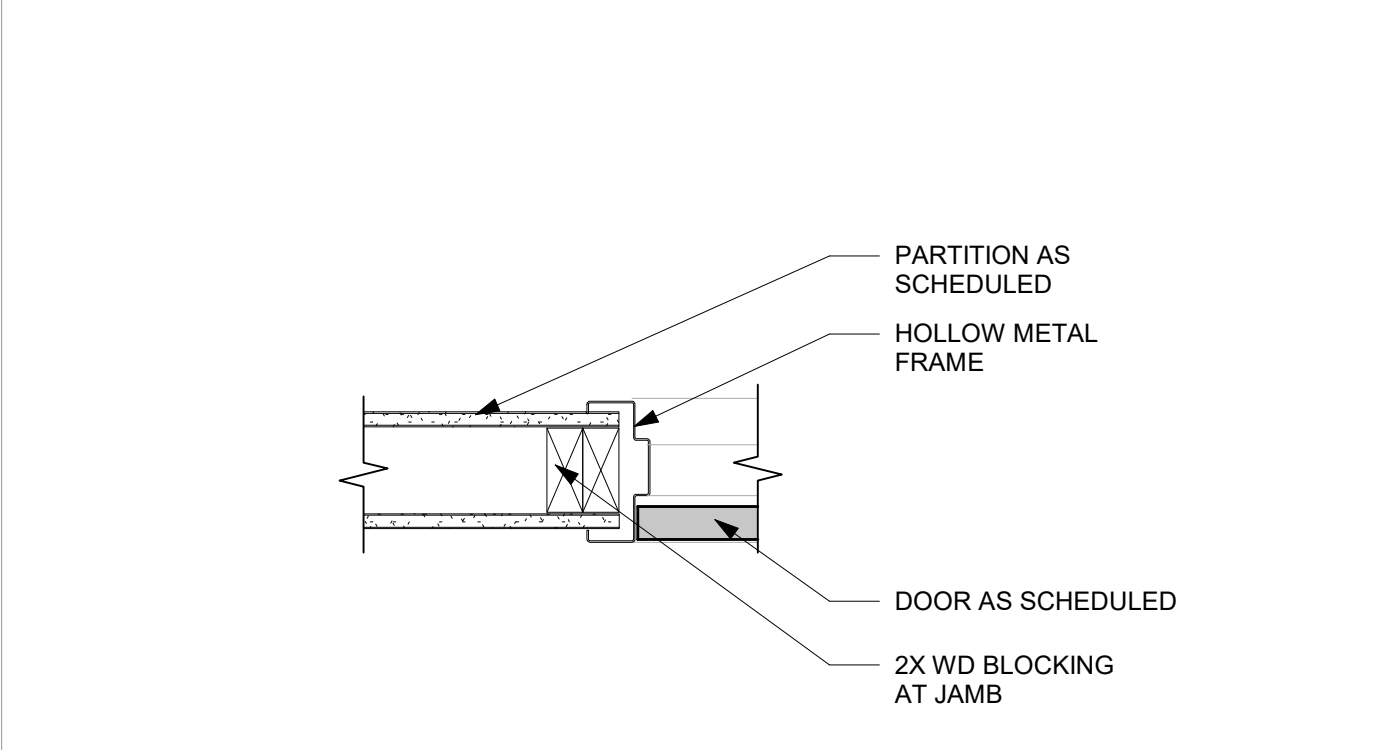
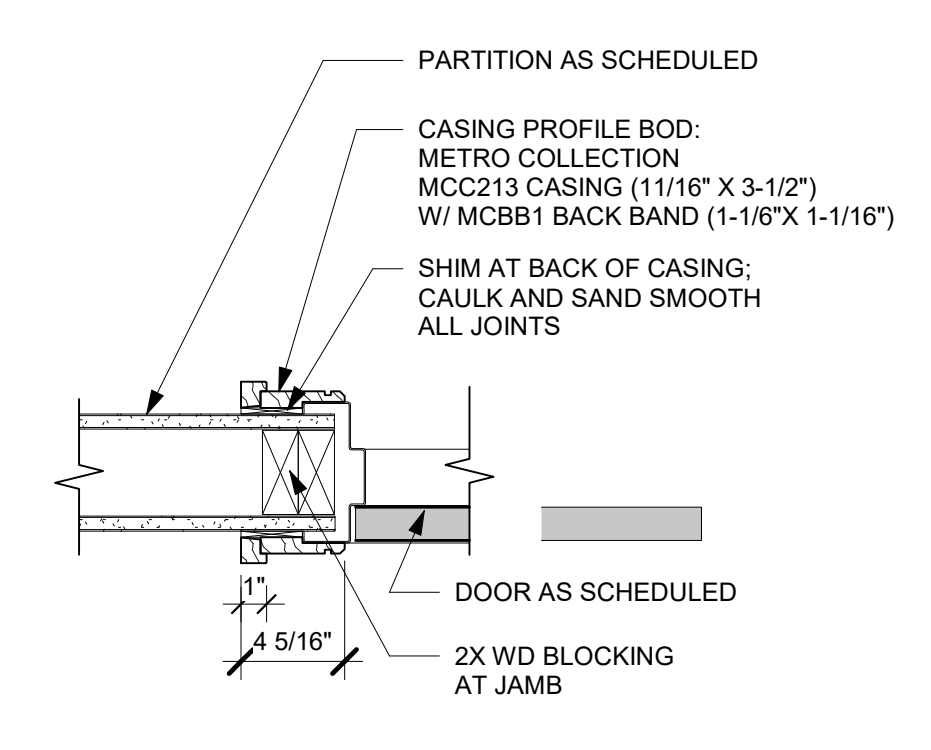
**2 DOOR HEAD - HM FRAME 2**  
1 1/2" = 1'-0"

**3 SLIDING DOOR - SILL & HEAD**  
1 1/2" = 1'-0"

**4 OPENING HEAD CASED**  
1 1/2" = 1'-0"

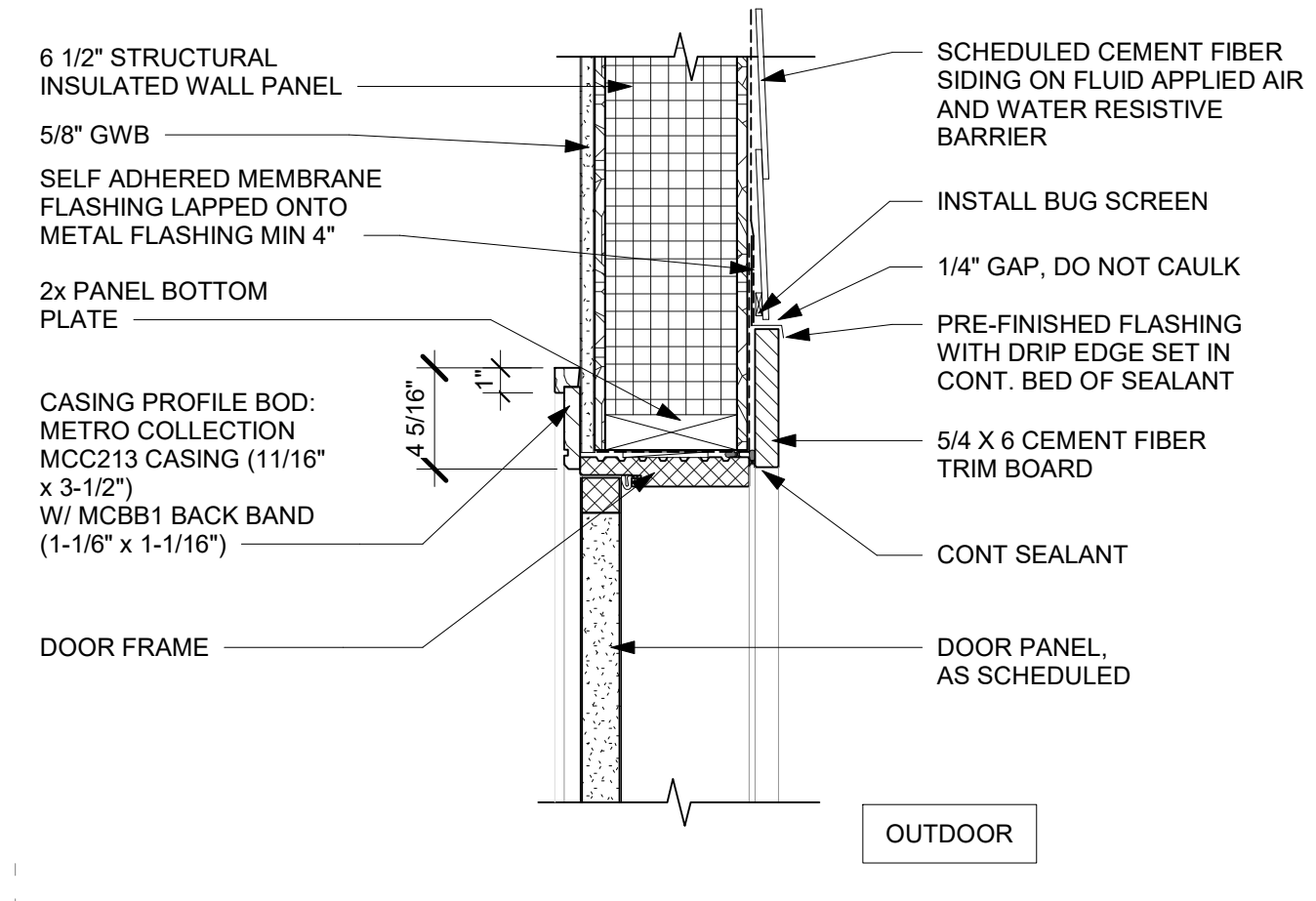
**5 WINDOW DETAIL @ SIDING**  
1 1/2" = 1'-0"

**6 WINDOW JAMB @ SIDING 2**  
1 1/2" = 1'-0"

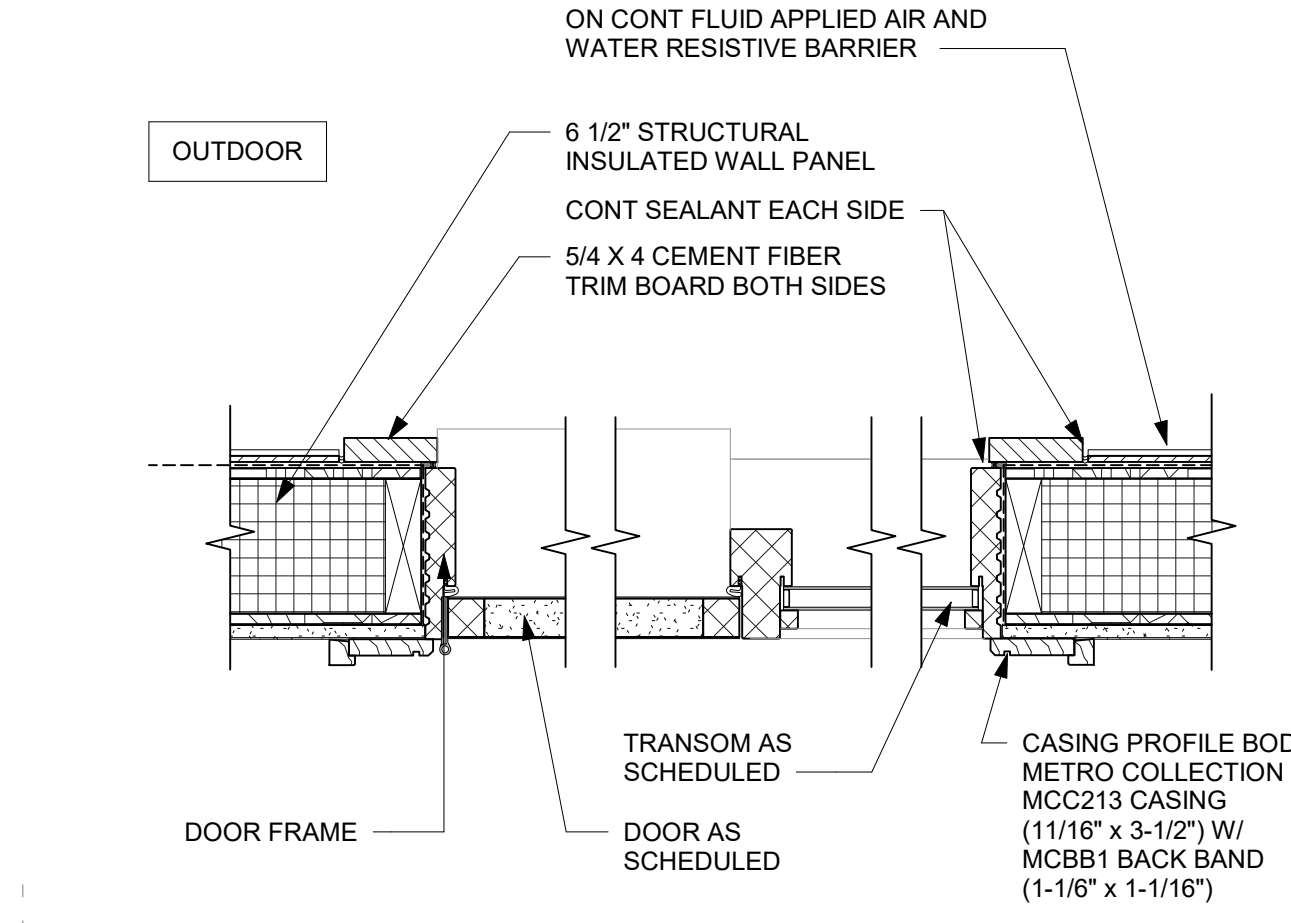


**7 DOOR JAMB - HM FRAME 1**  
1 1/2" = 1'-0"

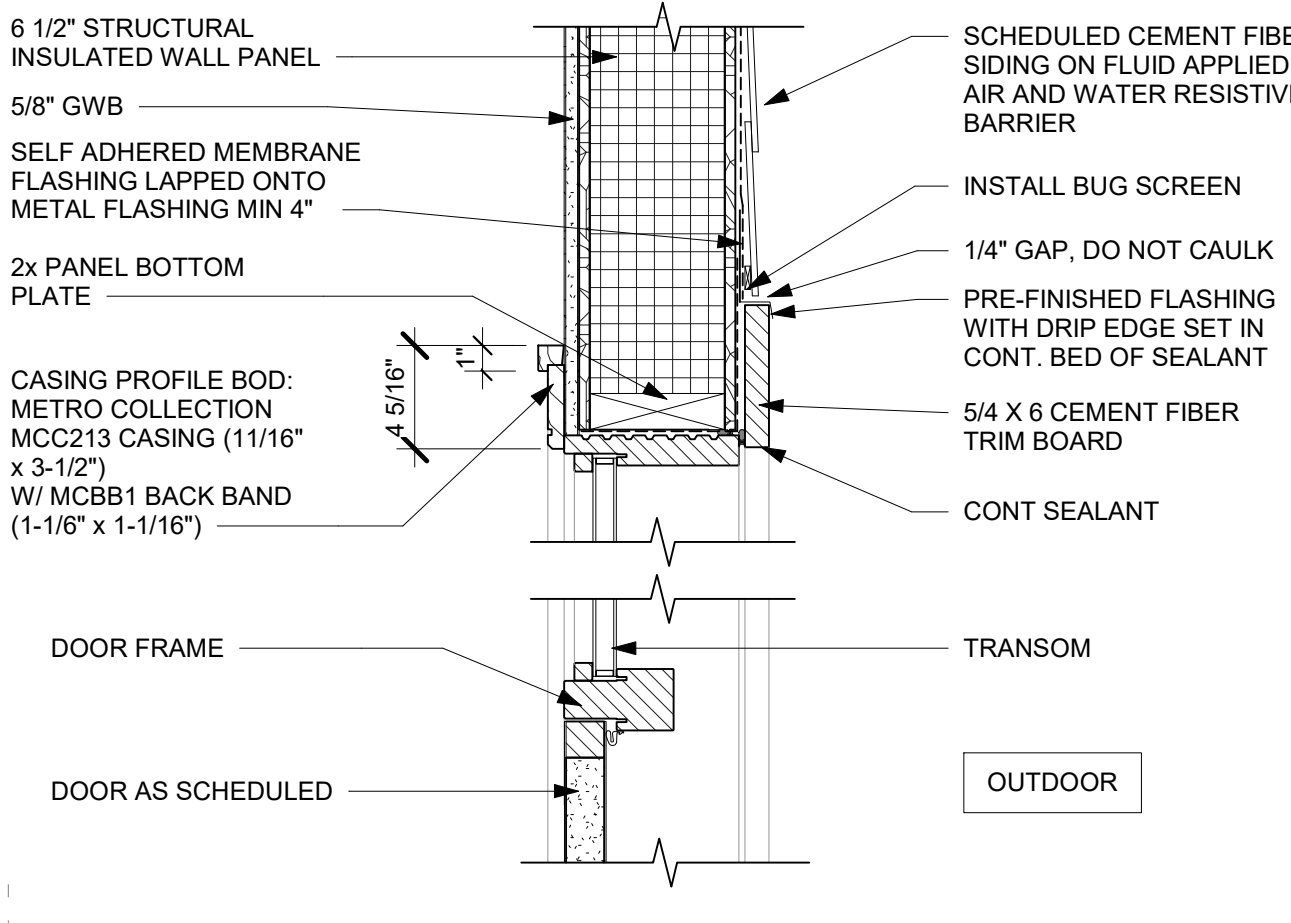




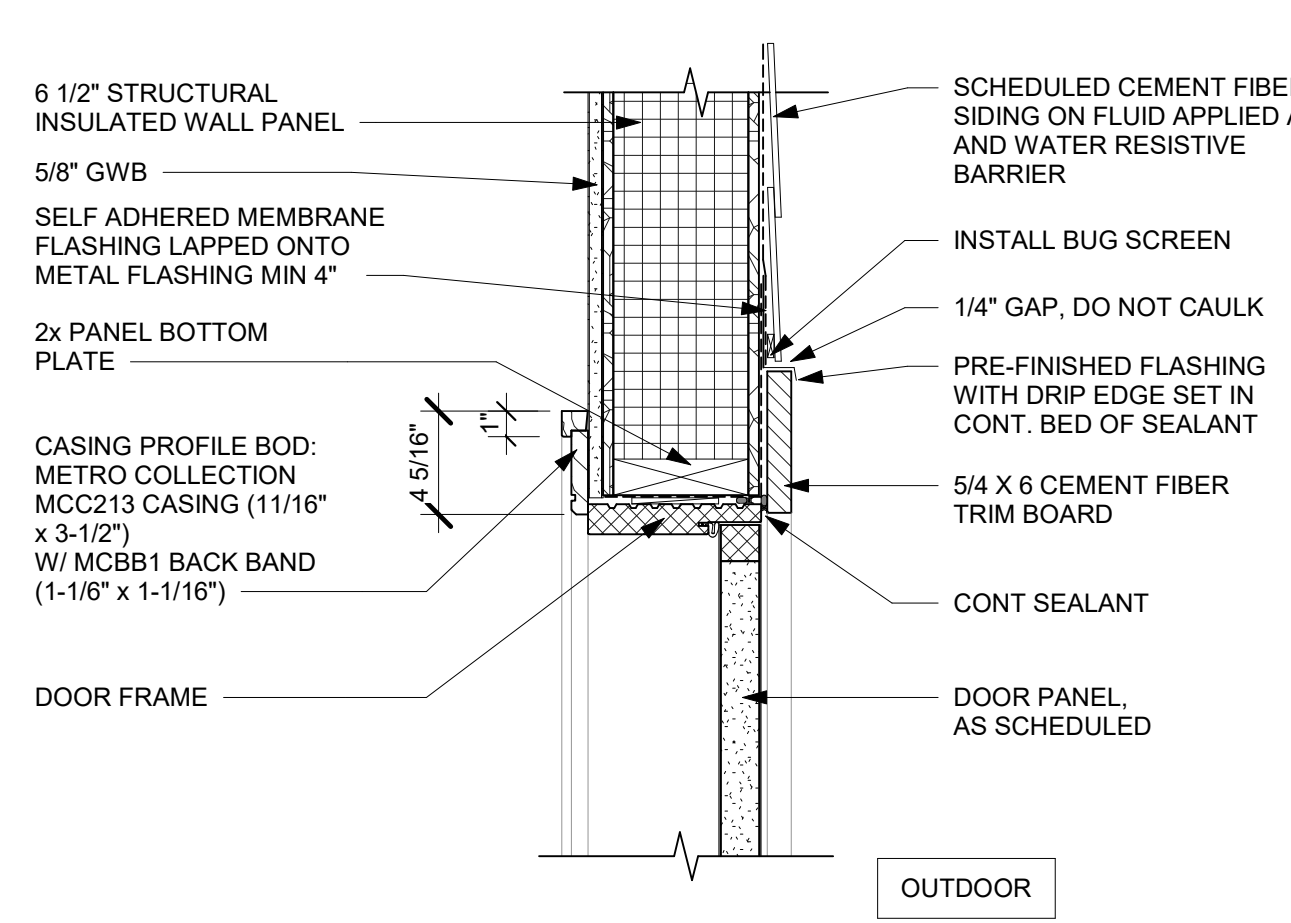
1 DOOR HEAD @ SIDING  
1 1/2" = 1'-0"



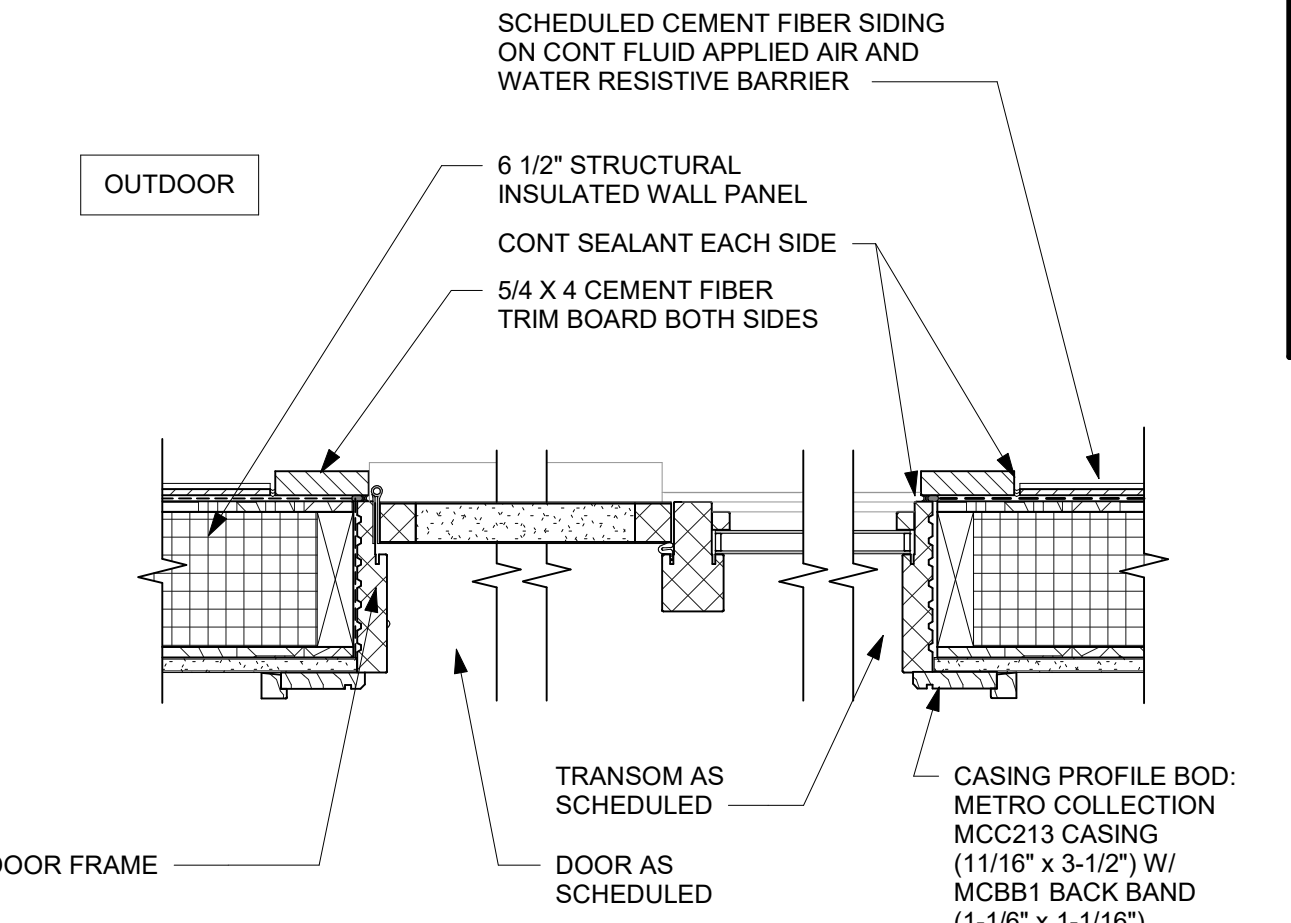
2 DOOR JAMB @ SIDING  
1 1/2" = 1'-0"



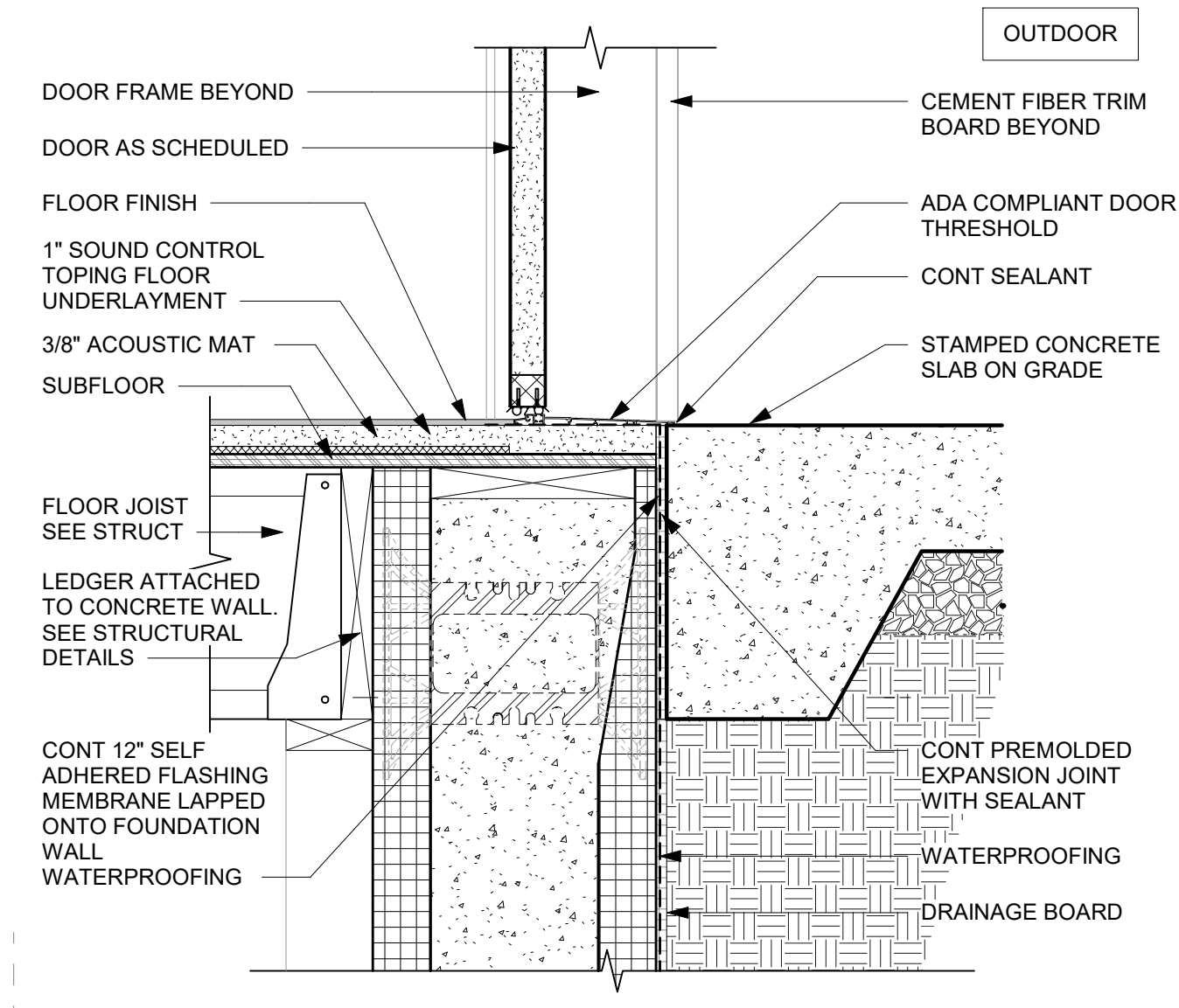
3 TRANSOM HEAD @ SIDING  
1 1/2" = 1'-0"



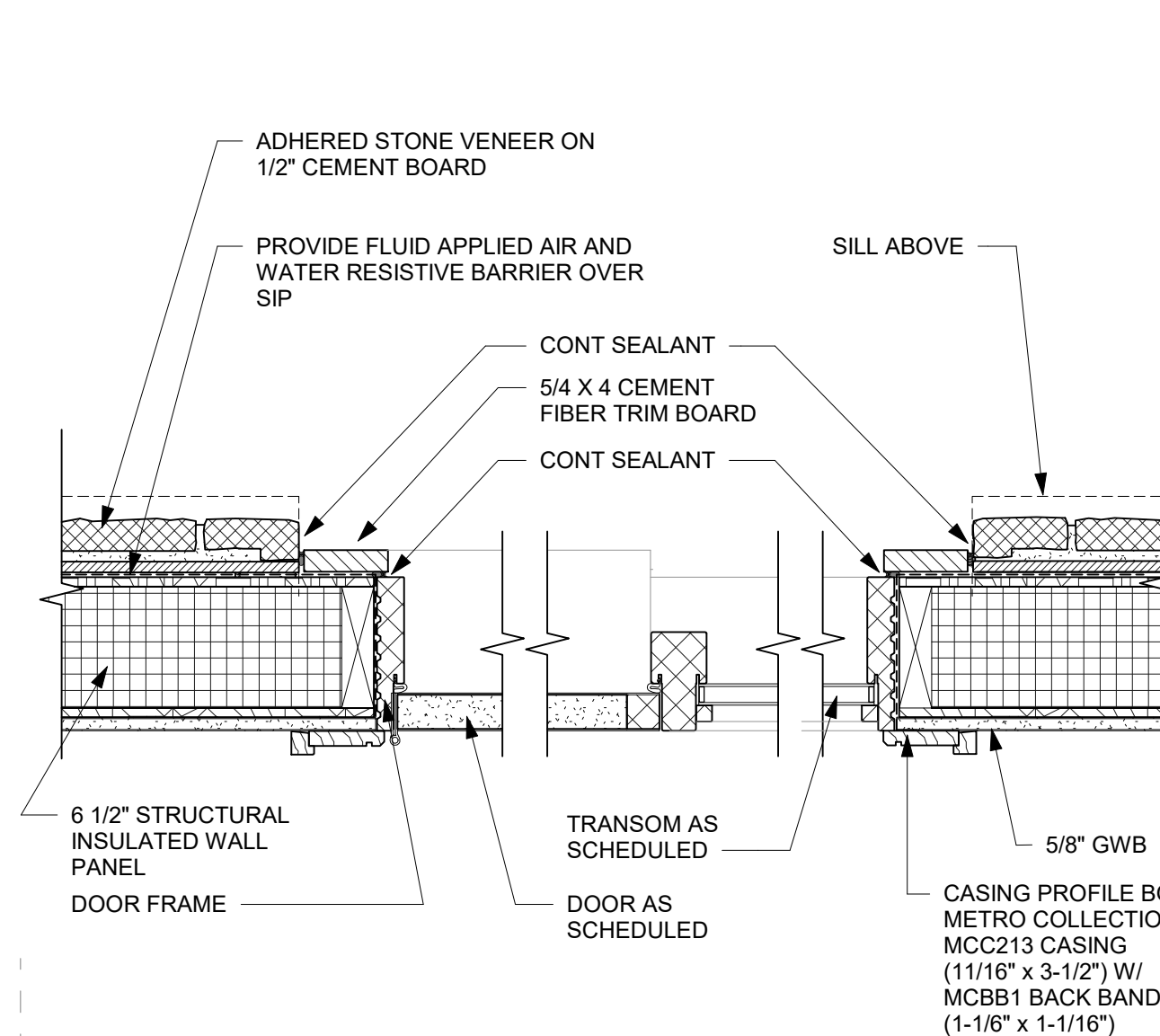
4 DOOR HEAD @ SIDING 2  
1 1/2" = 1'-0"



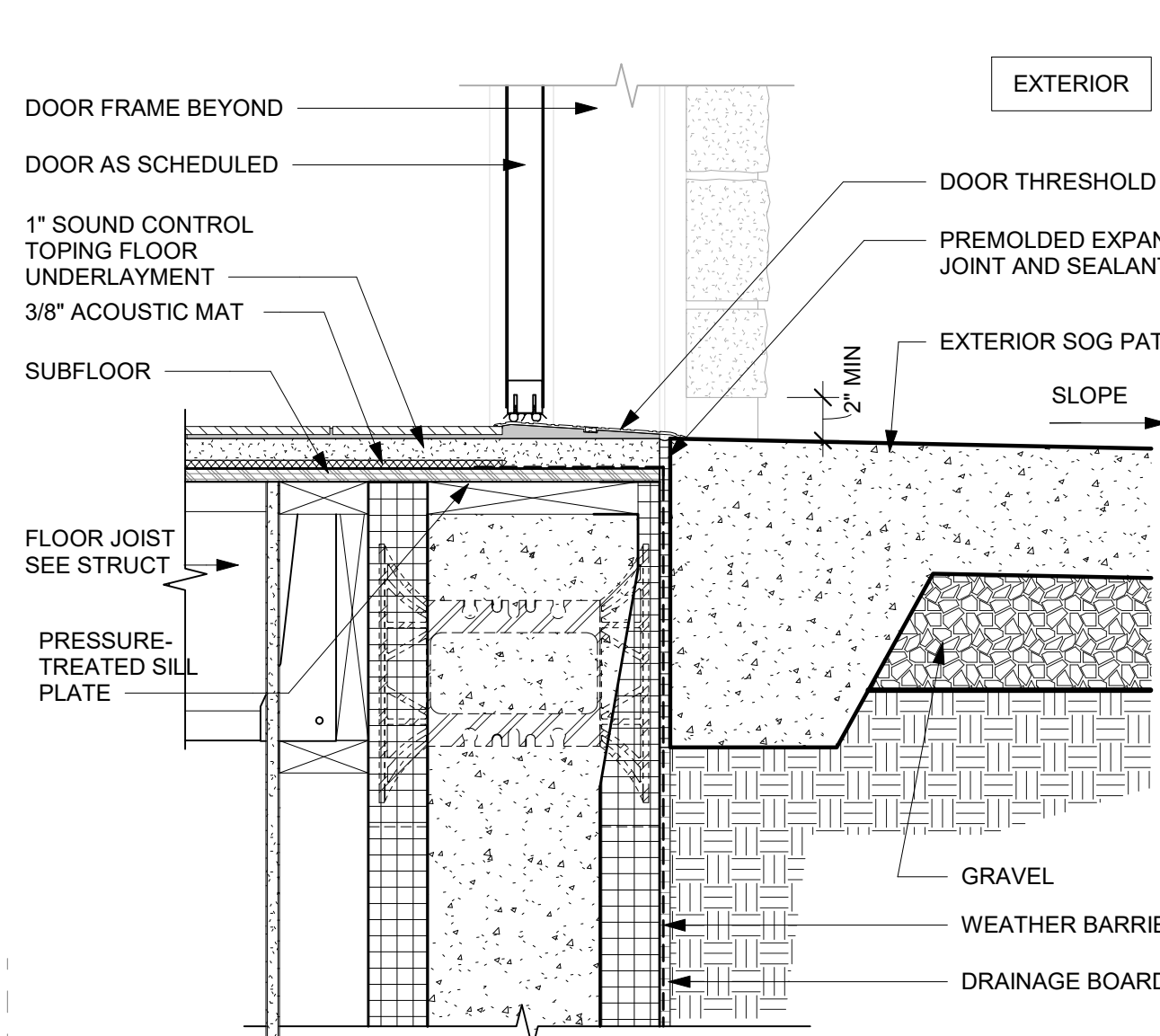
5 DOOR JAMB @ SIDING 2  
1 1/2" = 1'-0"



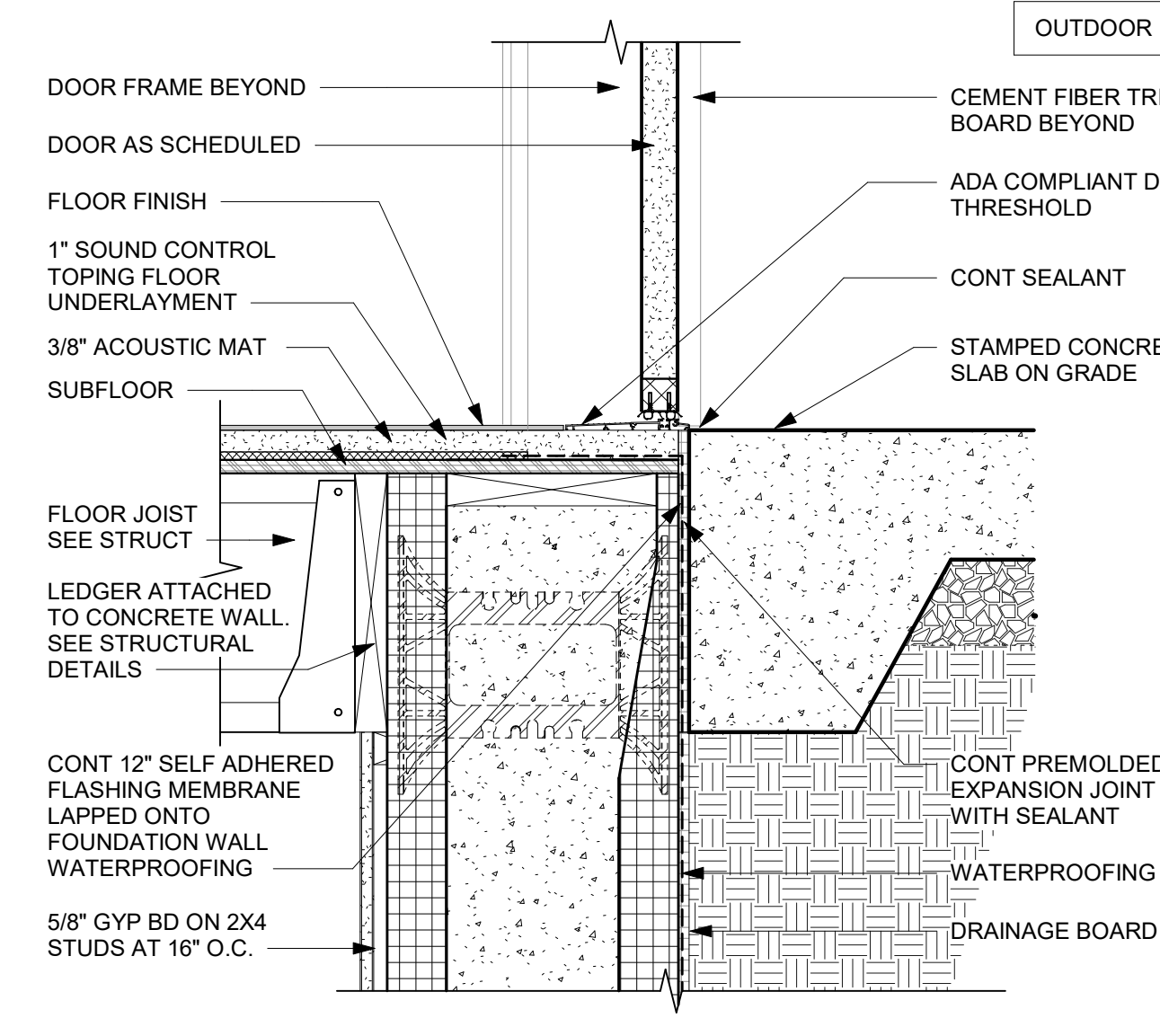
6 EXTERIOR DOOR SILL @ PORCH  
1 1/2" = 1'-0"



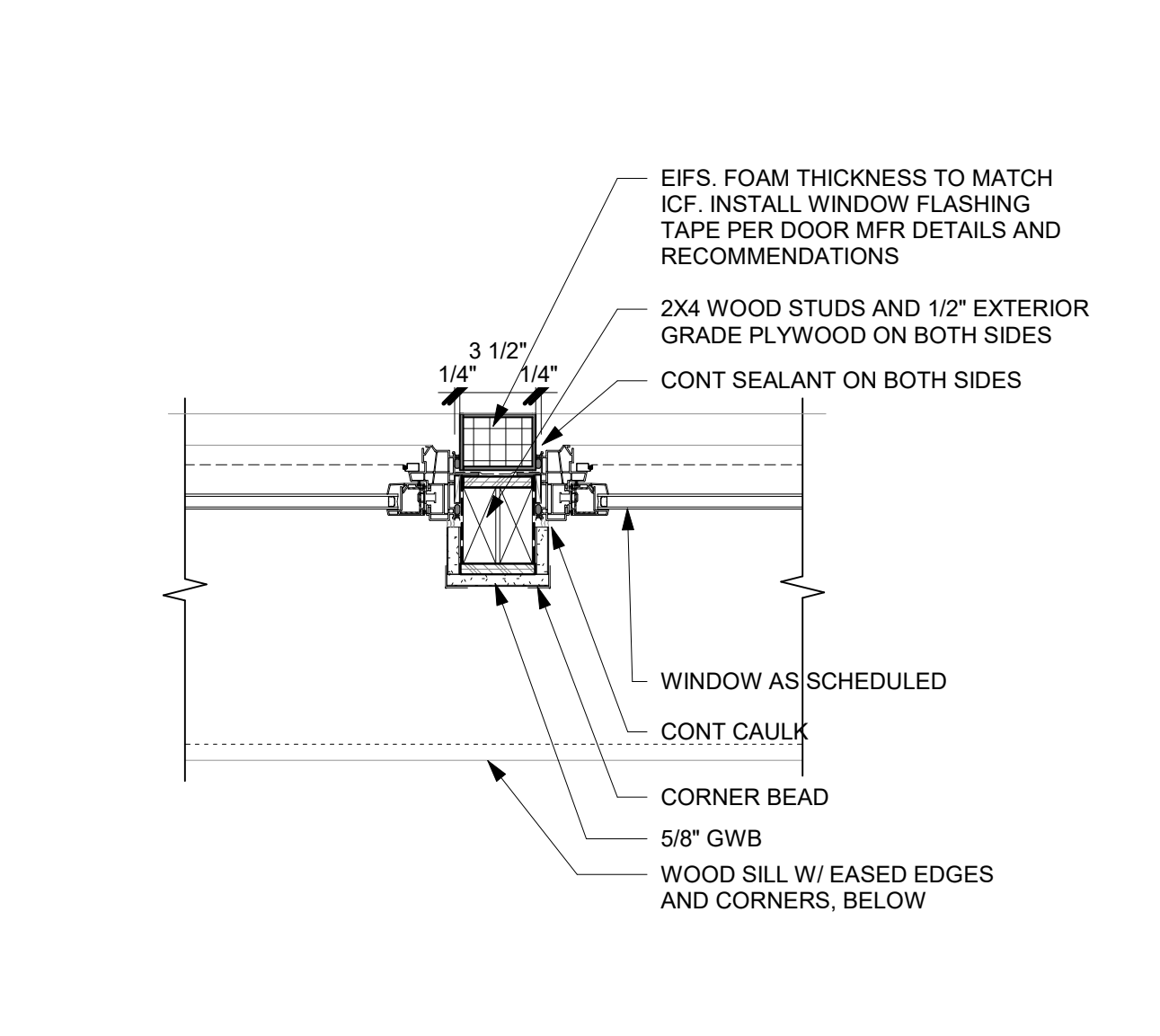
7 DOOR JAMB @ VENEER  
1 1/2" = 1'-0"



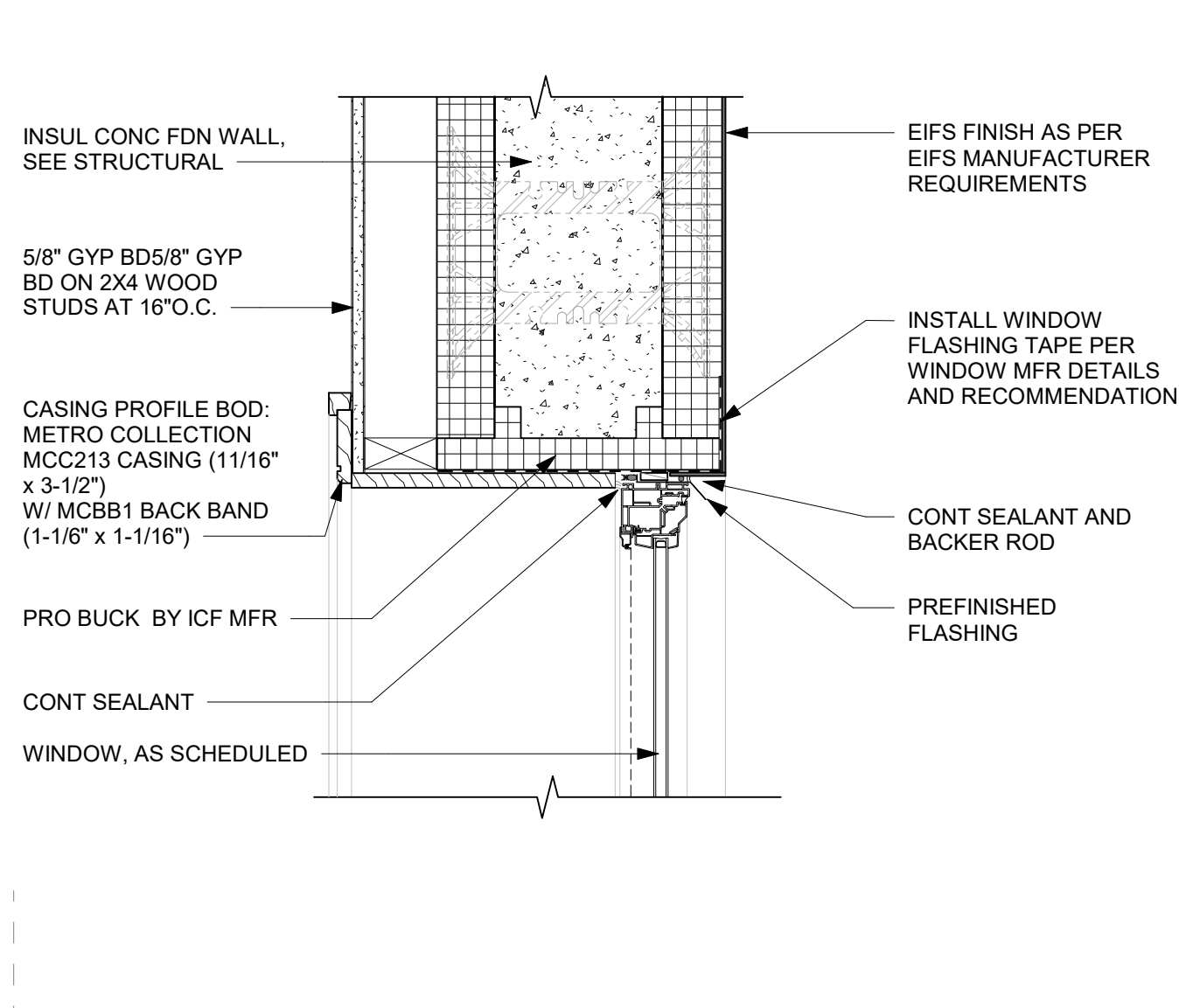
8 EXTERIOR DOOR SILL @ PATIO  
1 1/2" = 1'-0"



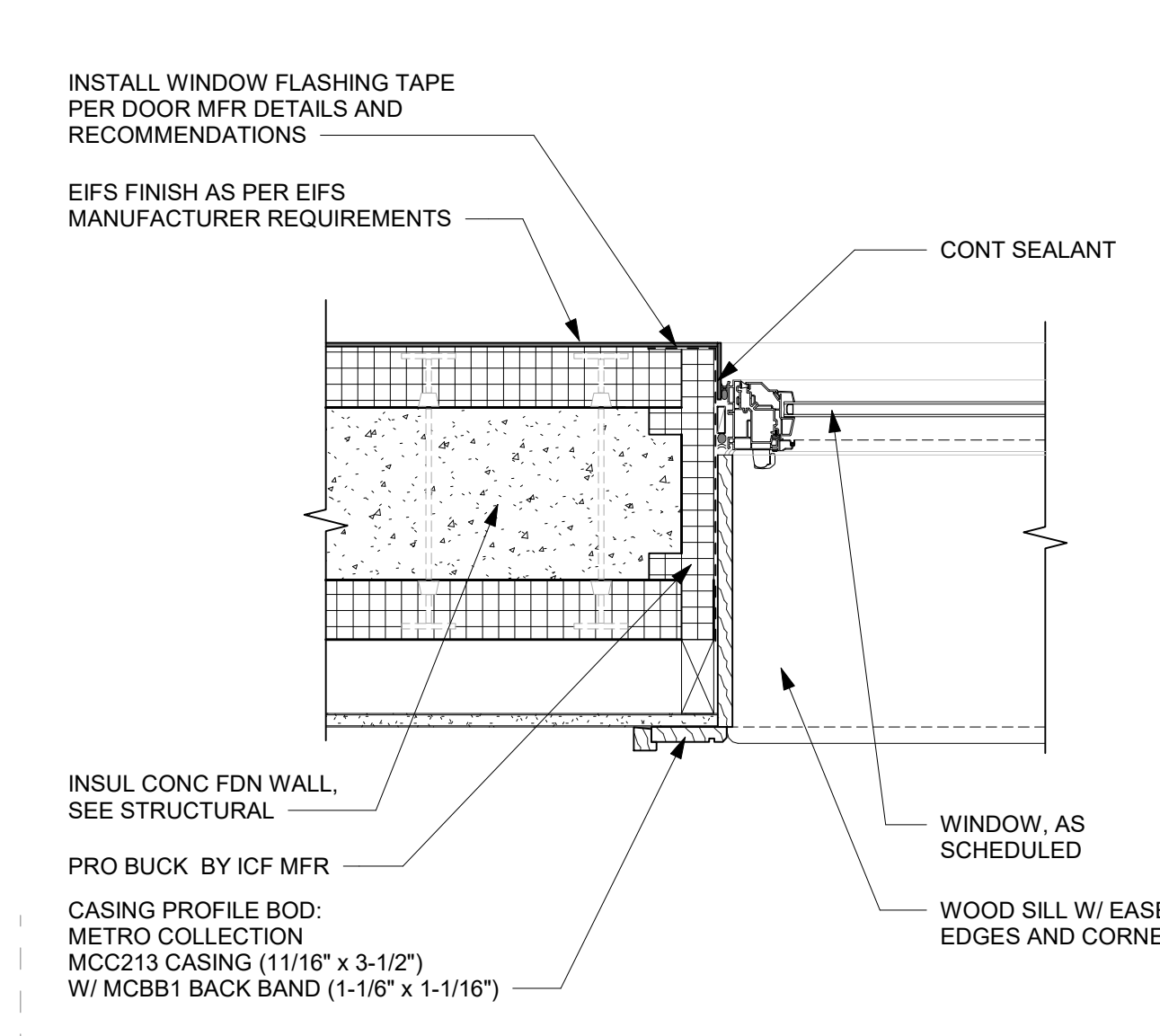
9 EXTERIOR DOOR SILL @ PORCH 2  
1 1/2" = 1'-0"



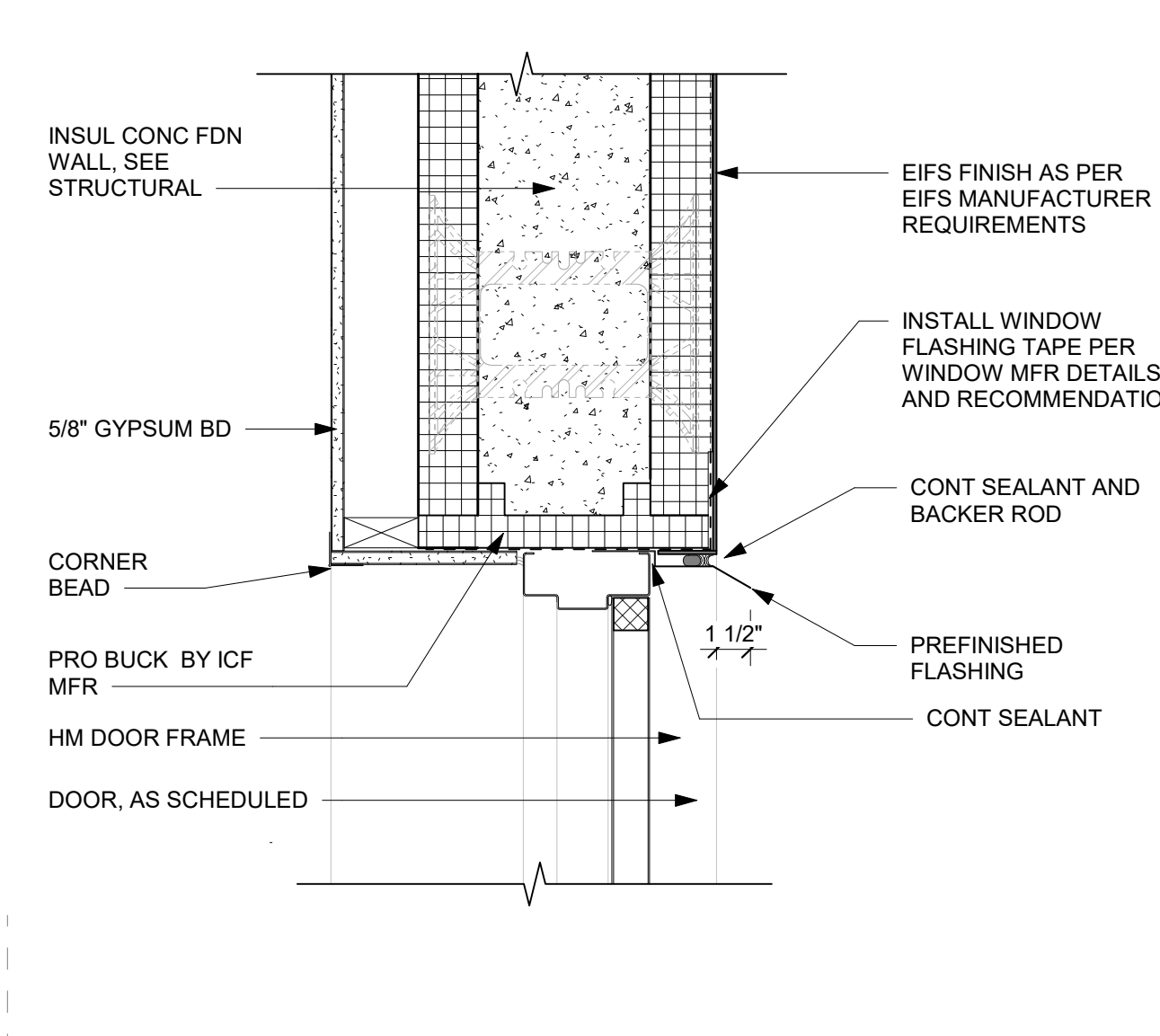
10 WINDOW JAMB @ EIFS  
1 1/2" = 1'-0"



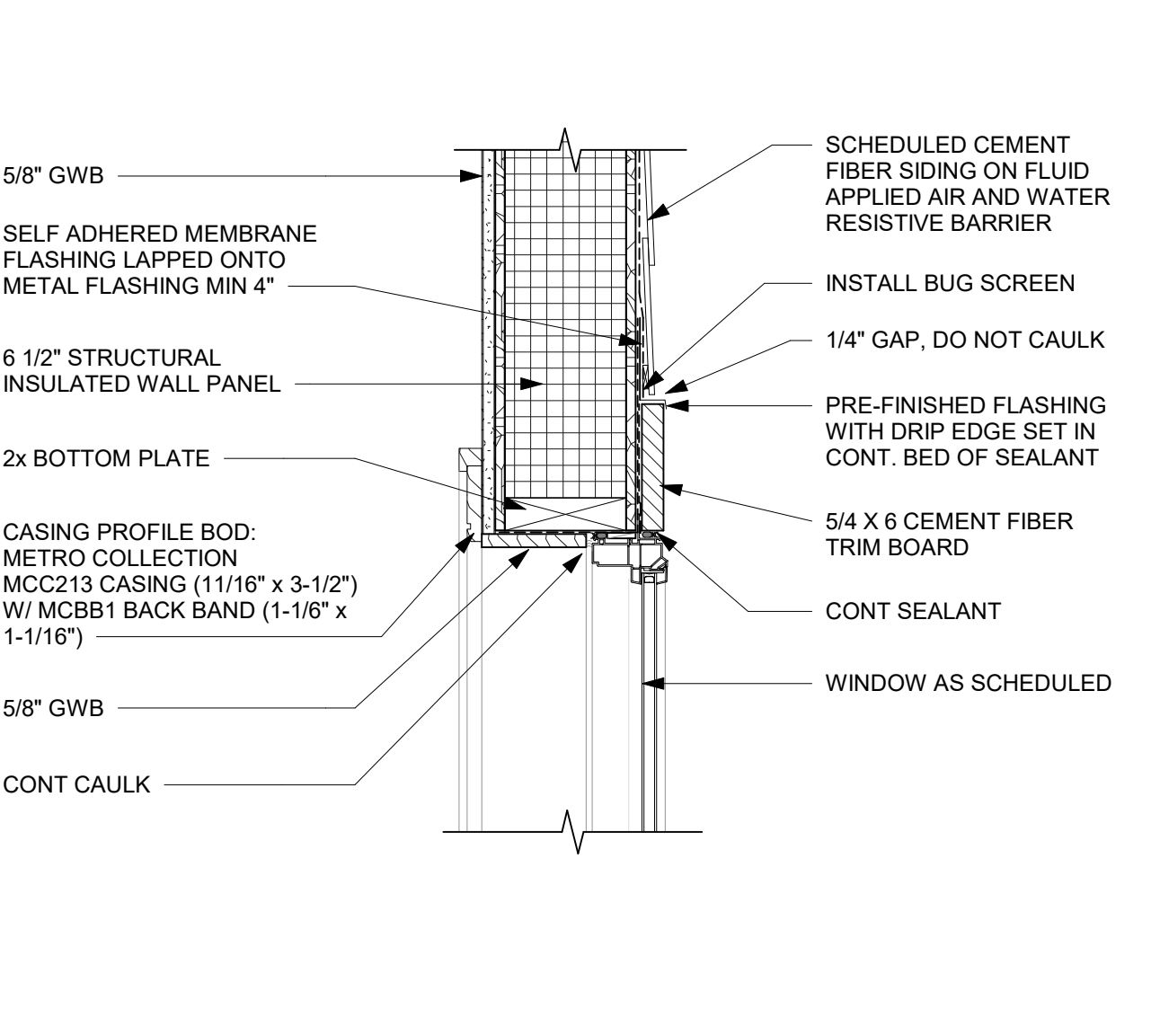
11 WINDOW HEAD @ FDN - EIFS.  
1 1/2" = 1'-0"



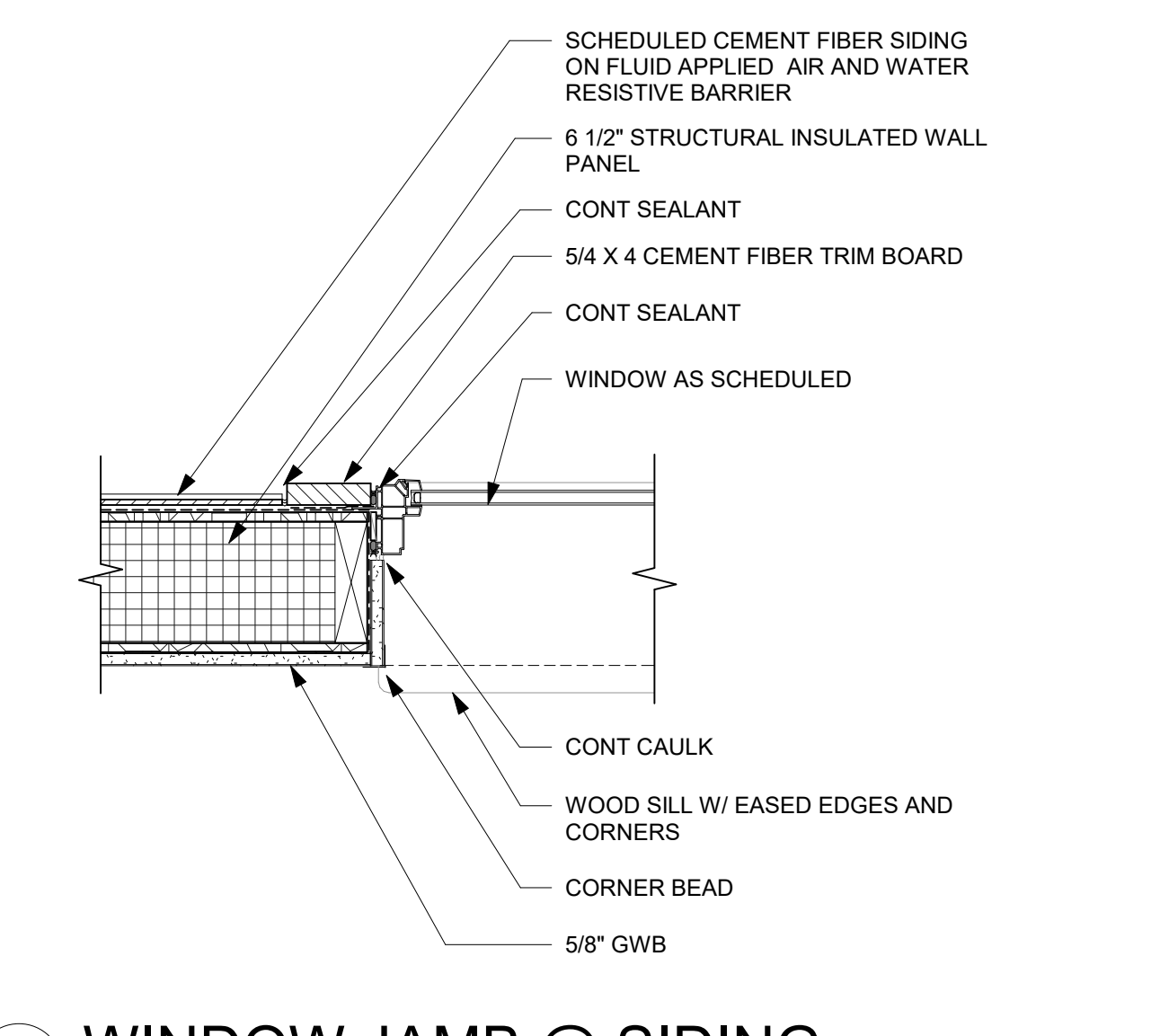
12 WINDOW JAMB @ FDN - EIFS.  
1 1/2" = 1'-0"



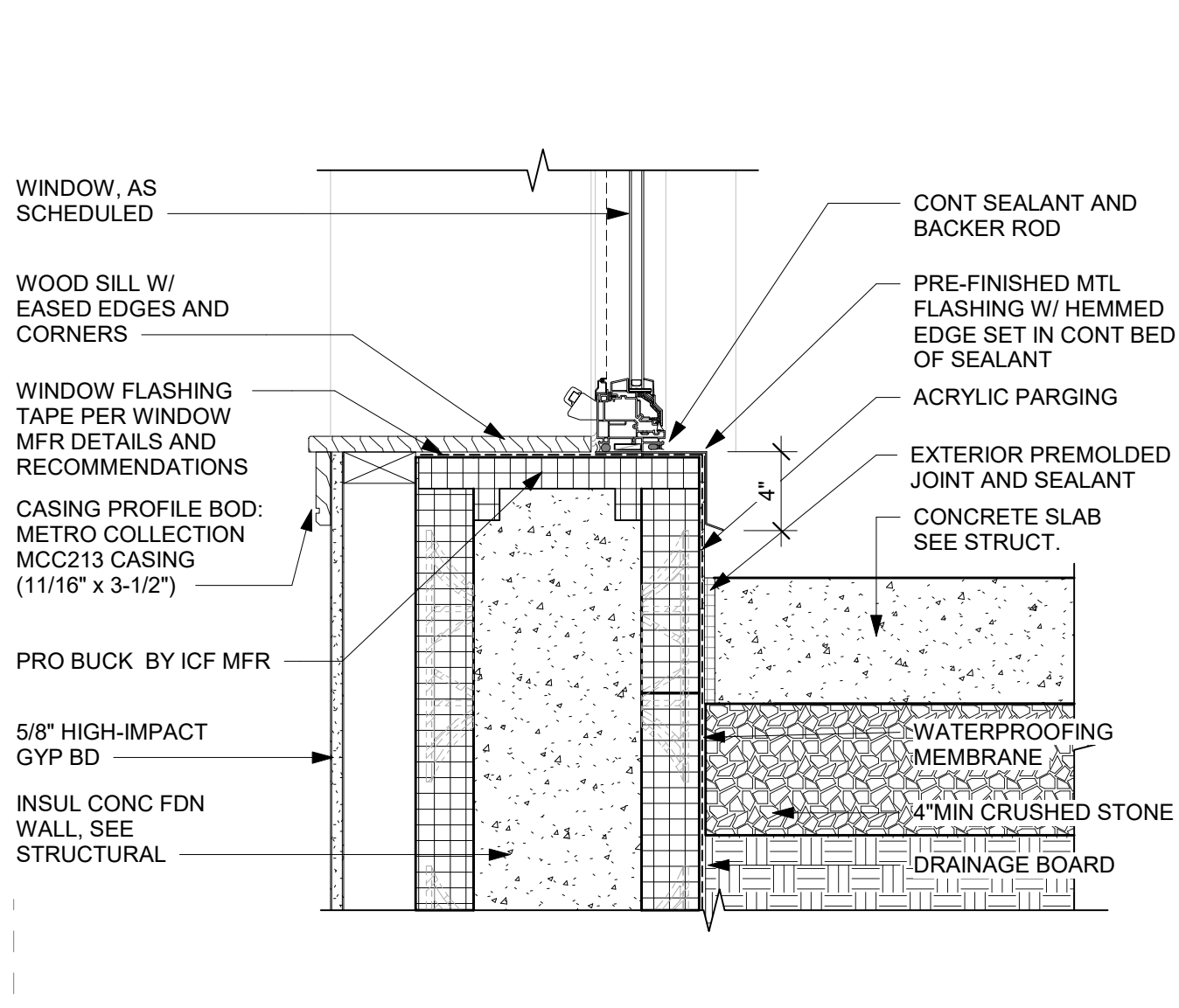
13 DOOR HEAD @ FDN - EIFS  
1 1/2" = 1'-0"



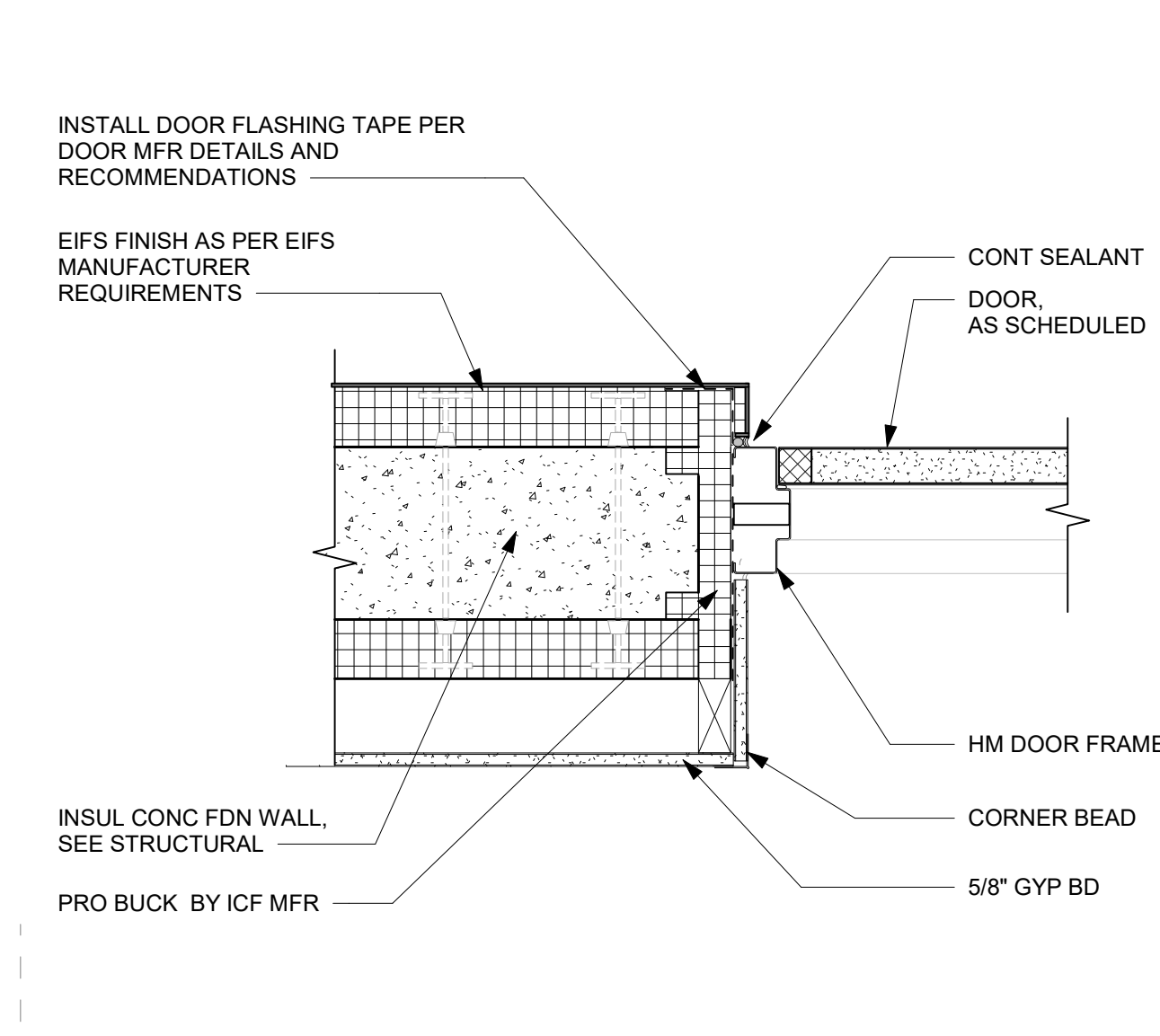
14 WINDOW HEAD @SIDING  
1 1/2" = 1'-0"



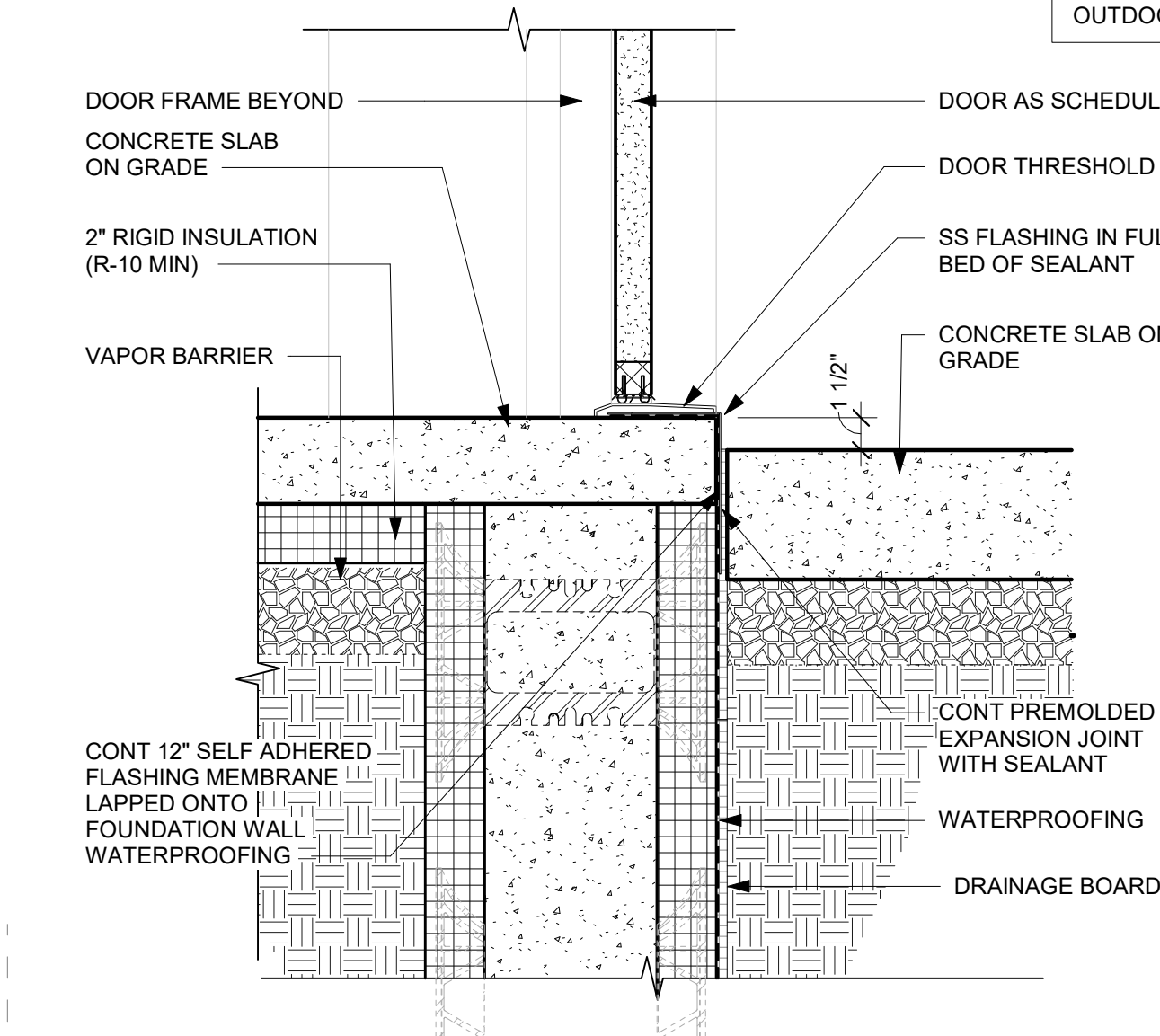
15 WINDOW JAMB @ SIDING  
1 1/2" = 1'-0"



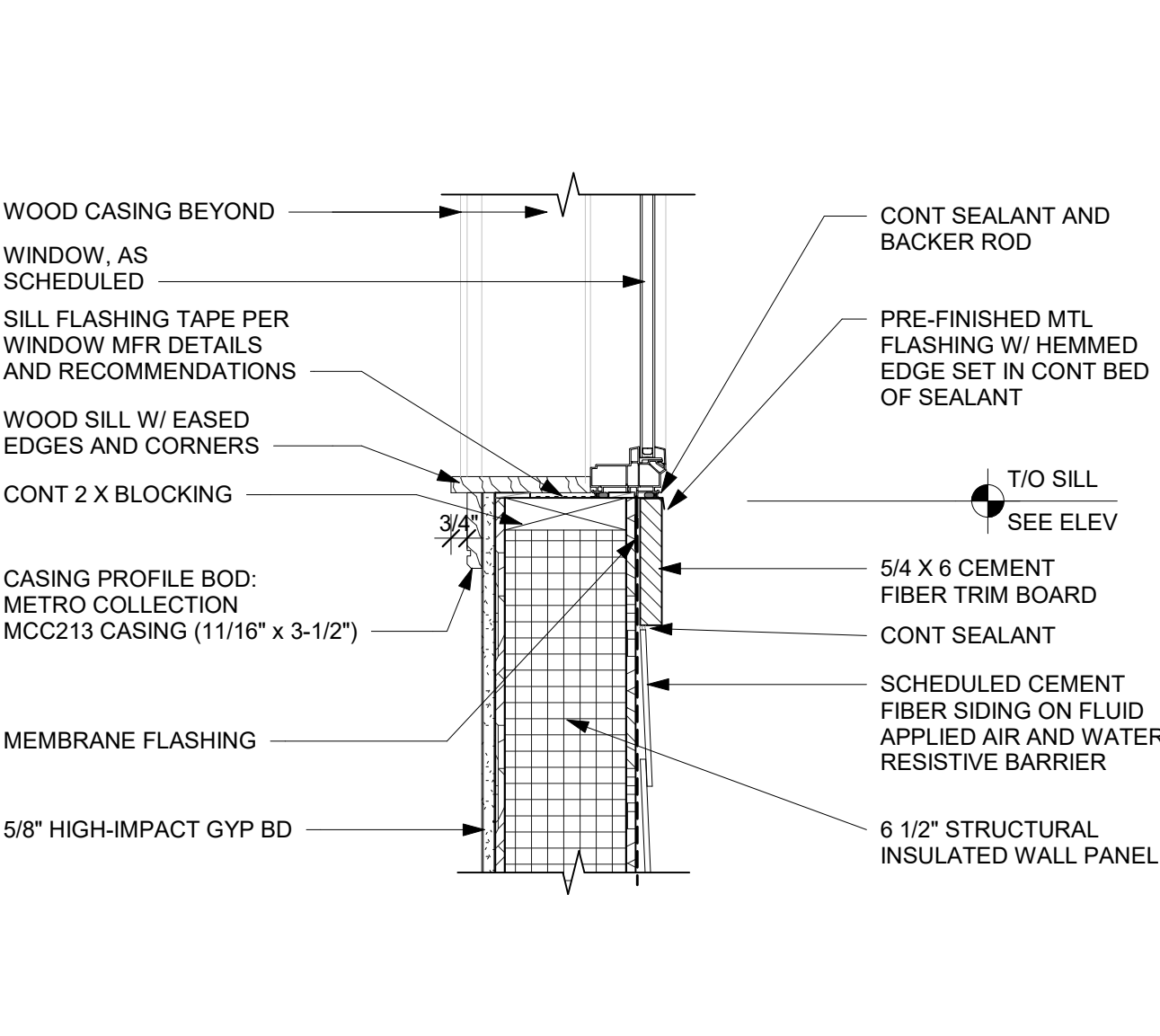
16 SILL DETAIL @ WINDOW WELL  
1 1/2" = 1'-0"



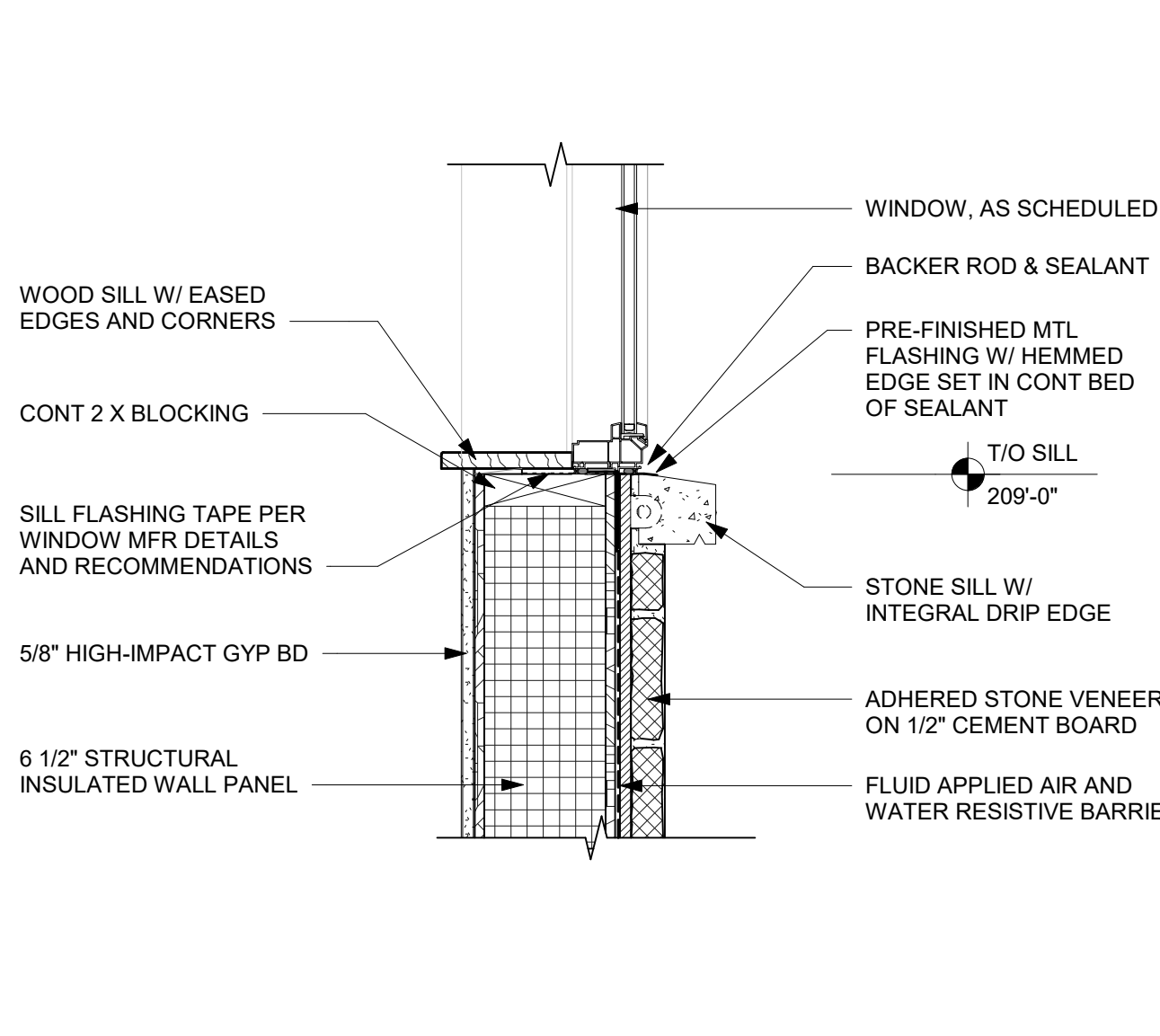
17 DOOR JAMB @ FDN - EIFS  
1 1/2" = 1'-0"



18 EXTERIOR DOOR SILL @ WND WELL  
1 1/2" = 1'-0"



19 WINDOW SILL @SIDING  
1 1/2" = 1'-0"



20 WINDOW SILL @ VENEER  
1 1/2" = 1'-0"

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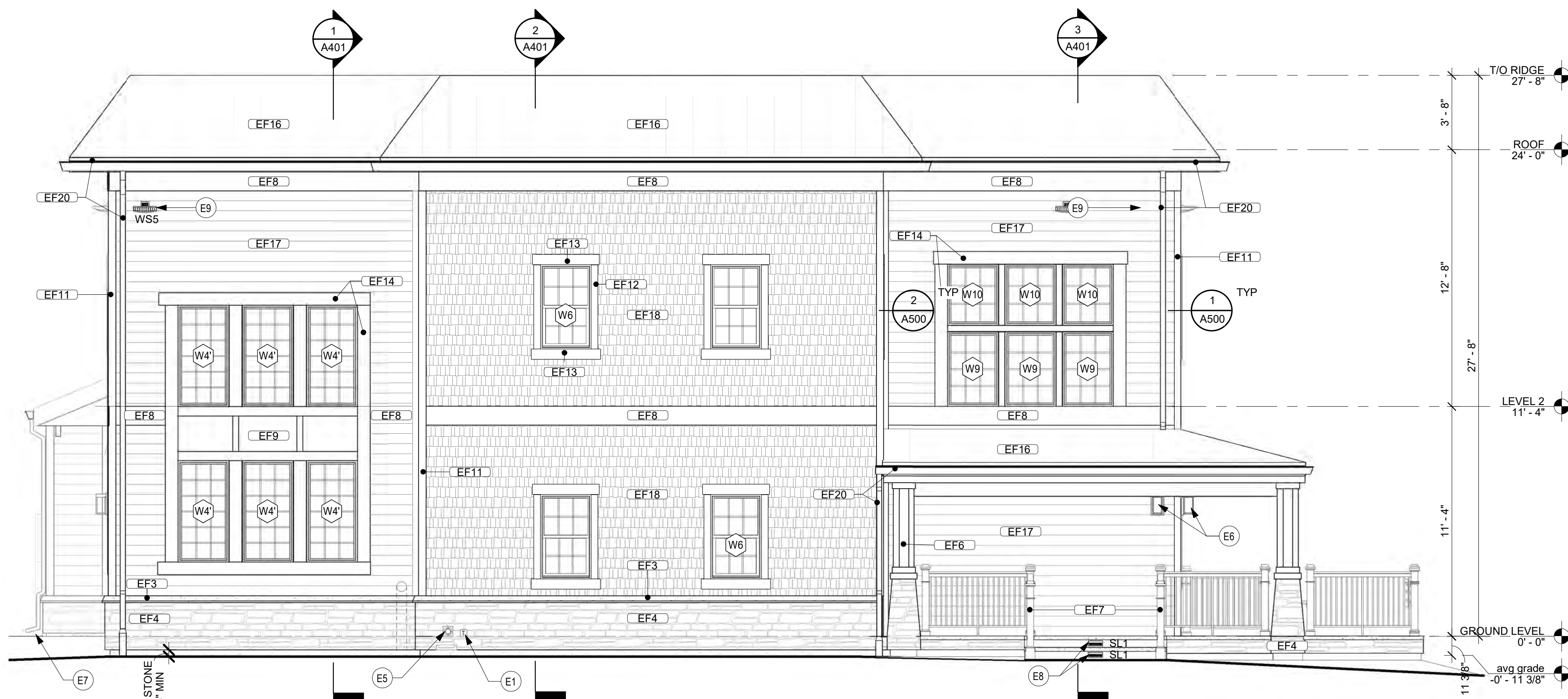
Construction Documents for:  
**ARLINGTON COUNTY DHS  
GROUP HOME**  
1212 S. IRVING ST.  
ARLINGTON, VA 22204

Project: 19296-01  
Issued 12/21/20  
100% BID  
Revisions

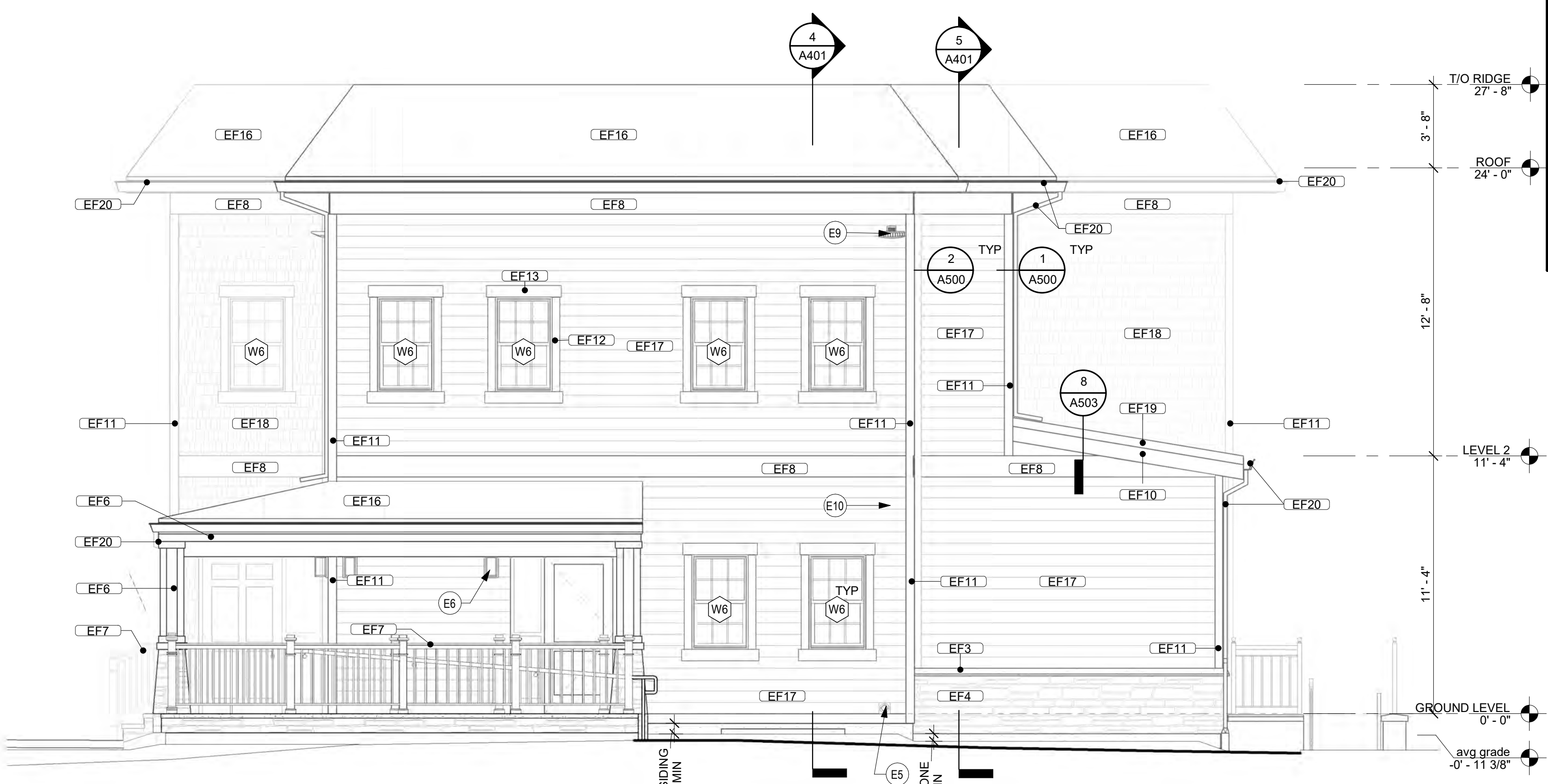
**DOOR / WINDOW DETAILS**  
Scale 1 1/2" = 1'-0"  
Drawn Author  
Checked Checker

**A201**  
100% BID

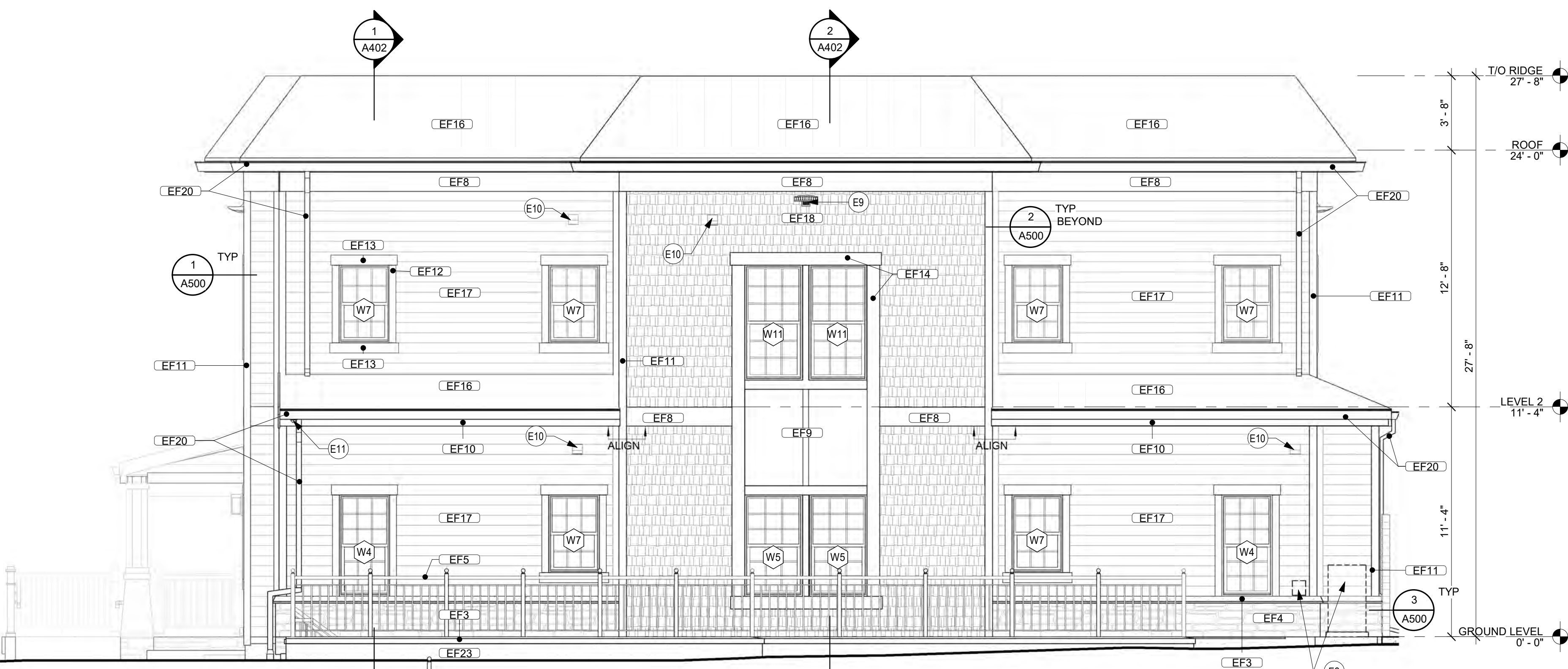




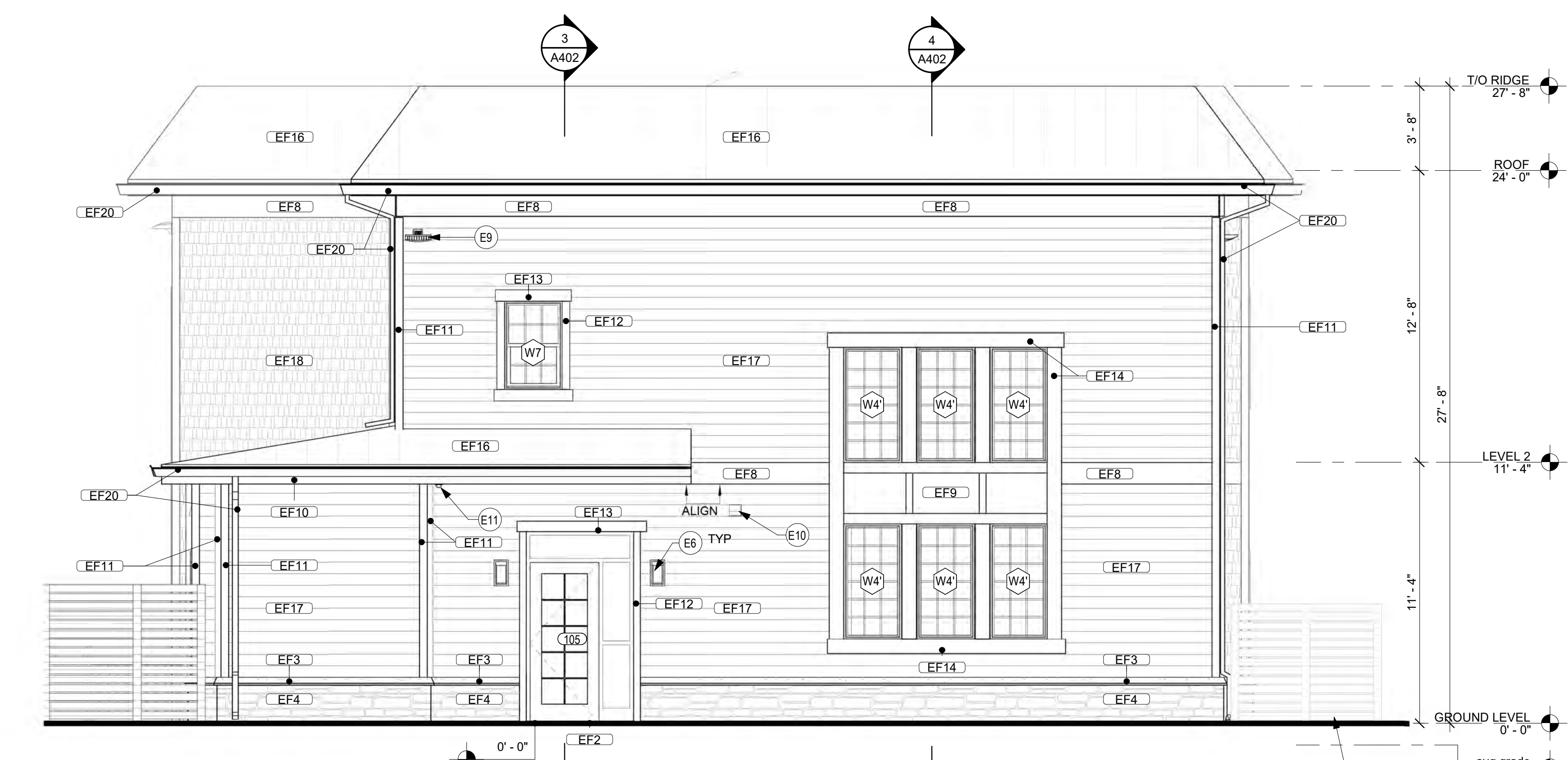
**1 ELEVATION, SOUTH**  
1/4" = 1'-0"



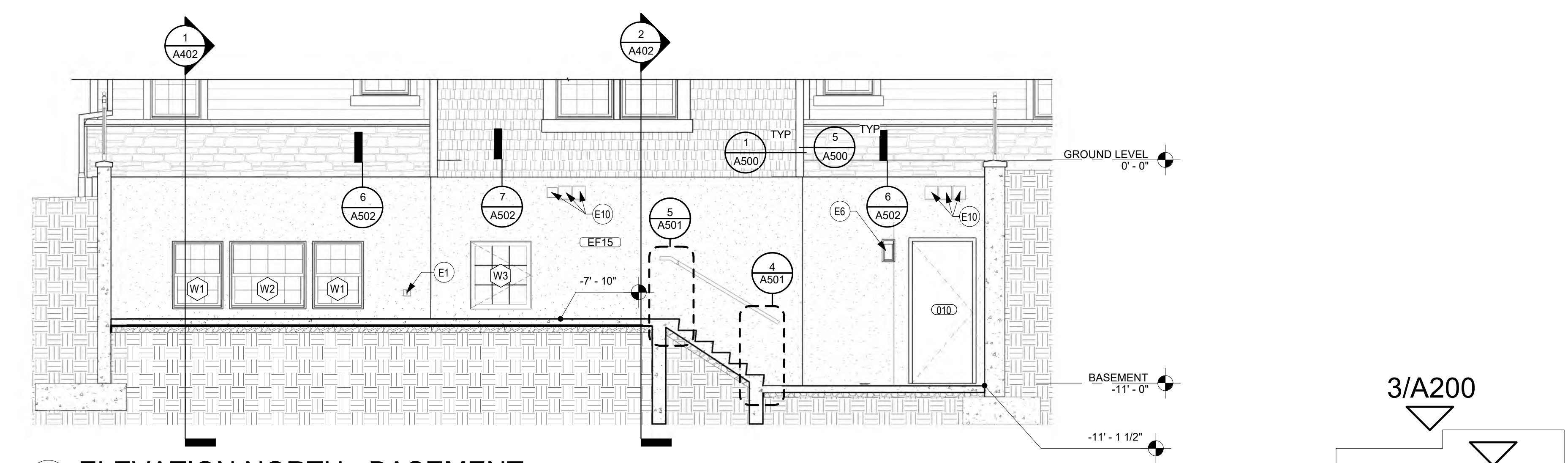
**2 ELEVATION, EAST**  
1/4" = 1'-0"



**3 ELEVATION, NORTH**  
1/4" = 1'-0"



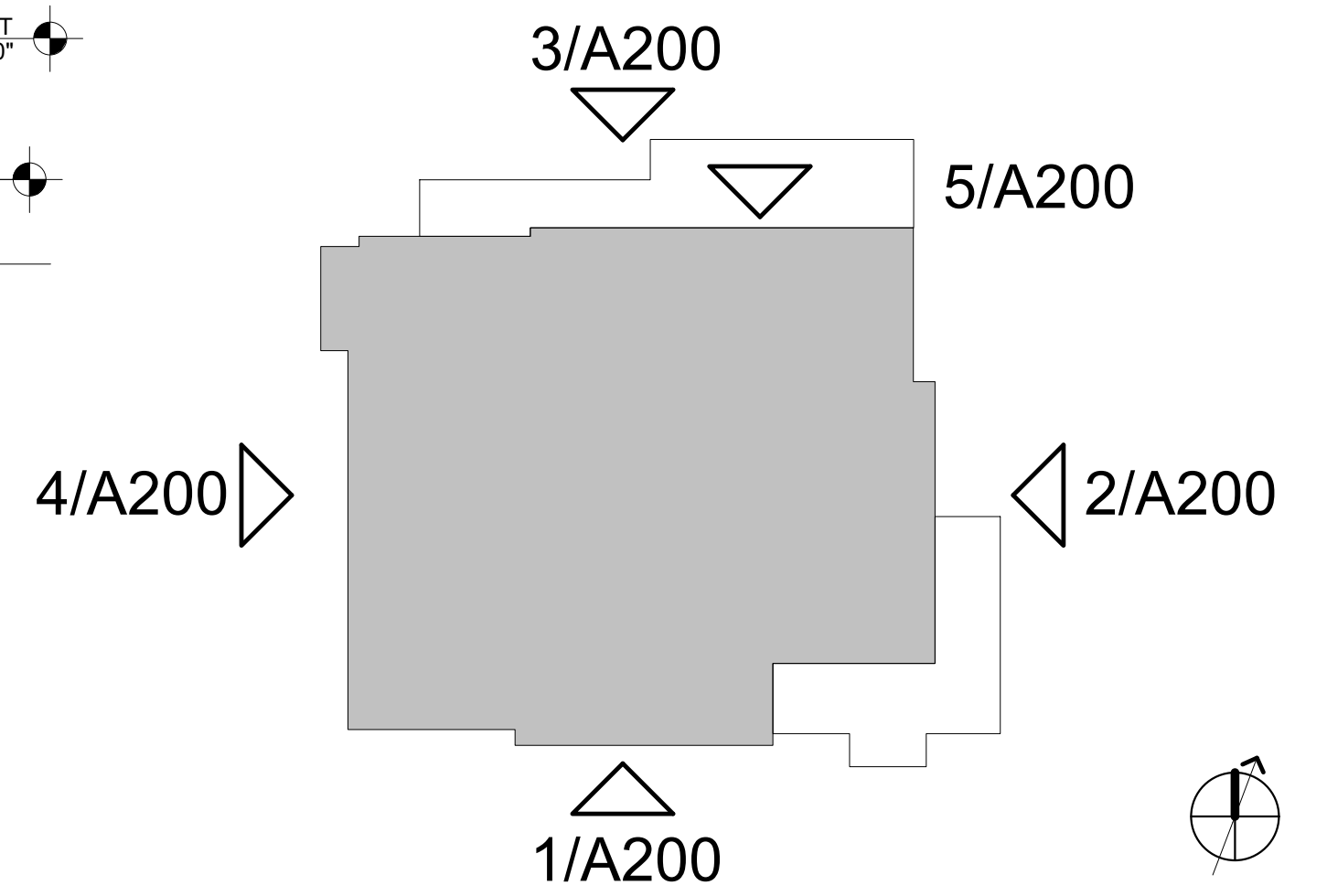
**4 ELEVATION, WEST**  
1/4" = 1'-0"



**5 ELEVATION NORTH - BASEMENT**  
1/4" = 1'-0"

**KEYED ELEVATION NOTES:**

E1	HOSE BIBB. COORDINATE W/ PLUMBING.
E2	ELECTRIC CABINET AND UTILITY METER. SEE ELECTRICAL.
E3	EMERGENCY ESCAPE LADDER.
E4	PERIMETER FENCE. SEE LANDSCAPE.
E5	OVERFLOW NOZZLE.
E6	EXTERIOR WALL SCONCE. ALL WALL PENETRATIONS PER DETAIL 1/A502. ALSO, SEE RCP & COORDINATE W/ ELECTRICAL.
E7	SPLASH BLOCK.
E8	EXTERIOR STEP LIGHT FIXTURE. COORDINATE W/ ELECTRICAL.
E9	INSTALL LED WALL PACK 21'-0" ABOVE GROUND LEVEL. SEE DETAIL 1/A502 SIM. SEE ELECTRICAL.
E10	VENT CAP. COORDINATE W/ MECHANICAL. SEE DETAILS 2 AND 3 / A502.
E11	SECURITY CAMERA BY SECURITY CONTRACTOR. PROVIDE CONDUIT WITH PULL-WIRE. COORDINATE EXACT LOCATION WITH SECURITY CONTRACTOR.



**EXTERIOR FINISH MATERIALS**

TAG	HATCH	DESCRIPTION	MANUFACTURER	TYPE	COLOR	CONTACT
EF1	[Hatch]	STAMPED CONCRETE	SCOFIELD	RUSTIC WOOD PATTERN 6" WOOD PLANK AND STEP WOOD FORM LINERS - LITHOTEX® Pavcecrafters® Concrete Patterns and Textures	LITHOCHROME® Color Hardener A-55 Pecan Tan, LITHOCHROME® Antiquing Release 1290 Cordovan Brown, SCOFIELD® Cureseal-W™ Semi-Gloss	
EF2	[Hatch]	STAMPED CONCRETE	SCOFIELD	PENNSYLVANIA AVENUE HERRINGBONE - LITHOTEX® Pavcecrafters® Brick Vintage Patterns	TBD	
EF3	[Hatch]	CAST STONE	ARRISCRAFT	ARRISCRAFT		TOM SHERIDAN #301.309.9600 x168
EF4	[Hatch]	EXTERIOR STONE CLADDING	NSVI	TRADITIONAL	GRAPHITE COUNTRY	TOM SHERIDAN #301.309.9600 x168
EF5	[Hatch]	METAL RAILING			WHITE	
EF6	[Hatch]	CUSTOM ORNAMENTAL SIMULATED WOODWORK.	JAMES HARDIE		ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF7	[Hatch]	COMPOSITE RAILING SYSTEM.	TREX	TREX SELECT	WHITE	JEFF CORATOLO #571.469.8041
EF8	[Hatch]	FIBER CEMENT HORIZONTAL TRIM	JAMES HARDIE	5/4x12 TRIM	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF9	[Hatch]	FIBER CEMENT PANEL	JAMES HARDIE	5/16" THICKNESS	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF10	[Hatch]	FIBER CEMENT TRIM FRIEZE	JAMES HARDIE	4/4x8 TRIM	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF11	[Hatch]	FIBER CEMENT VERTICAL CORNER TRIM	JAMES HARDIE	5/4x4 TRIM	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF12	[Hatch]	FIBER CEMENT TRIM WINDOWS & DOOR	JAMES HARDIE	5/4x4 TRIM	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF13	[Hatch]	FIBER CEMENT TRIM WINDOW	JAMES HARDIE	5/4x6 TRIM	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF14	[Hatch]	FIBER CEMENT TRIM WINDOW	JAMES HARDIE	5/4x8 TRIM	ARCTIC WHITE	JEFF CORATOLO #571.469.8041
EF15	[Hatch]	EIFS	STO CORP.		MATCH FIBER CEMENT COLOR "GRAY SLATE"	
EF16	[Hatch]	STANDING SEAM METAL ROOF.	DIMENSIONAL METALS INC.		MUSKET GREY	CONOR DIBERTO #410.688.0195
EF17	[Hatch]	FIBER CEMENT SIDING.	JAMES HARDIE	SEE SPECS	GRAY SLATE	JEFF CORATOLO #571.469.8041
EF18	[Hatch]	FIBER CEMENT SIDING.	JAMES HARDIE	SEE SPECS	GRAY SLATE	JEFF CORATOLO #571.469.8041
EF19	[Hatch]	PREFINISHED ALUM FASCIA.			WHITE	
EF20	[Hatch]	PREFINISHED ALUM GUTTER & DOWNSPOUT			WHITE	
EF21	[Hatch]	STAMPED CONCRETE	SCOFIELD	BORDER PATTERN, PENNSYLVANIA AVENUE SOLDIER COURSE	TBD	
EF22	[Hatch]	RUBBED CONCRETE				
EF23	[Hatch]	ELASTOMERIC COATING			MATCH GRAY SLATE	

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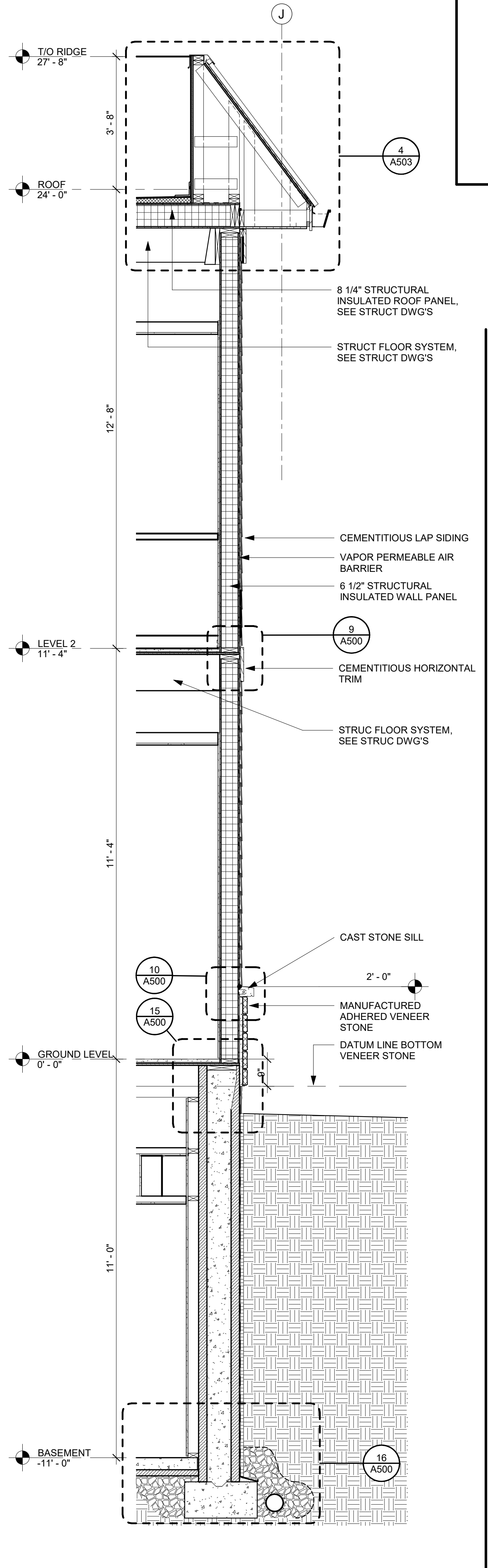
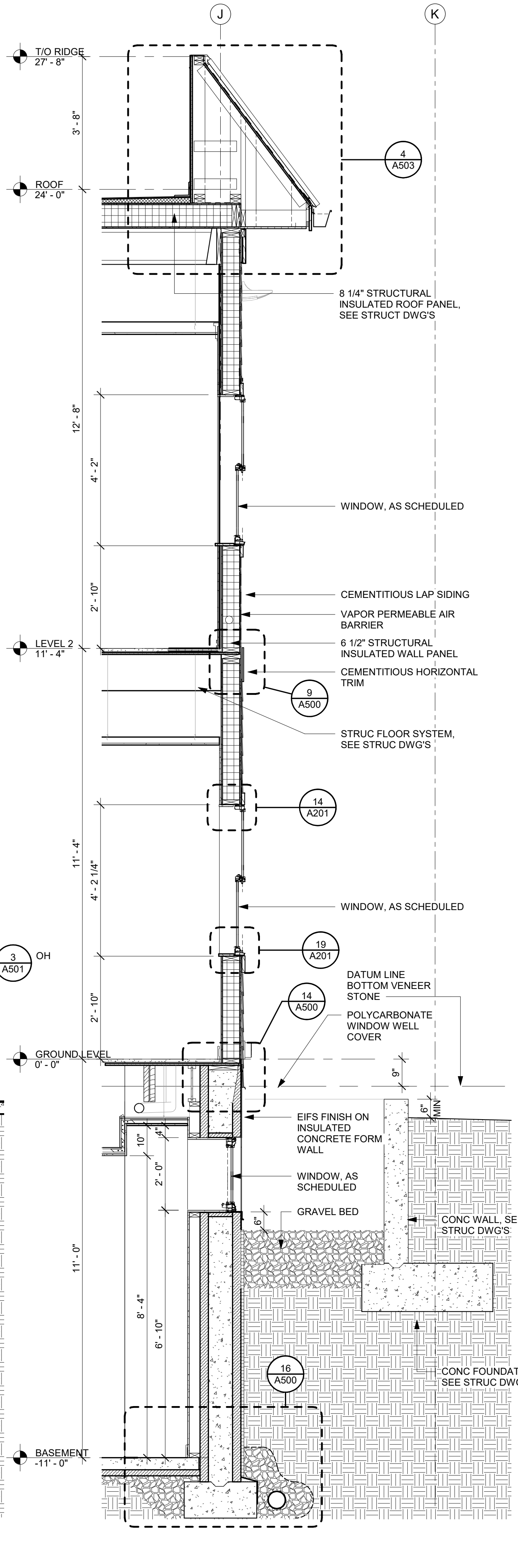
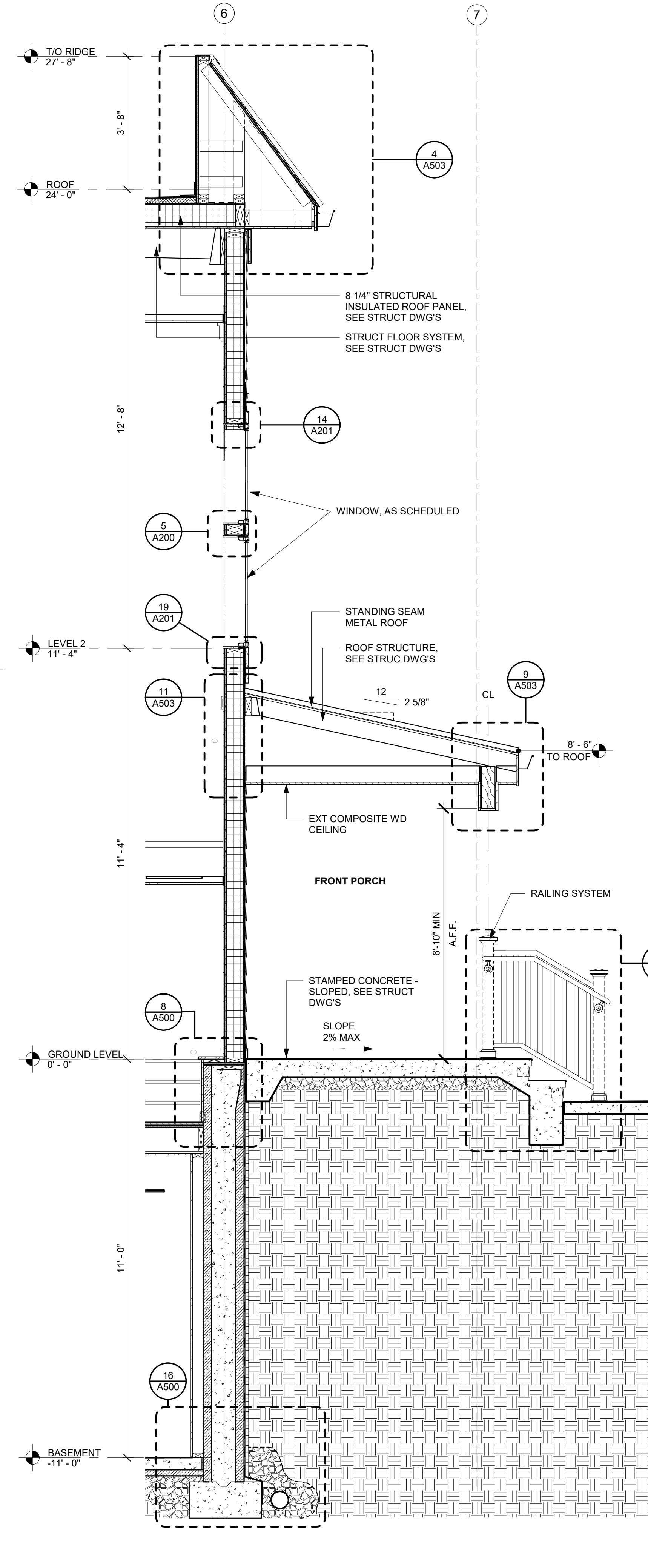
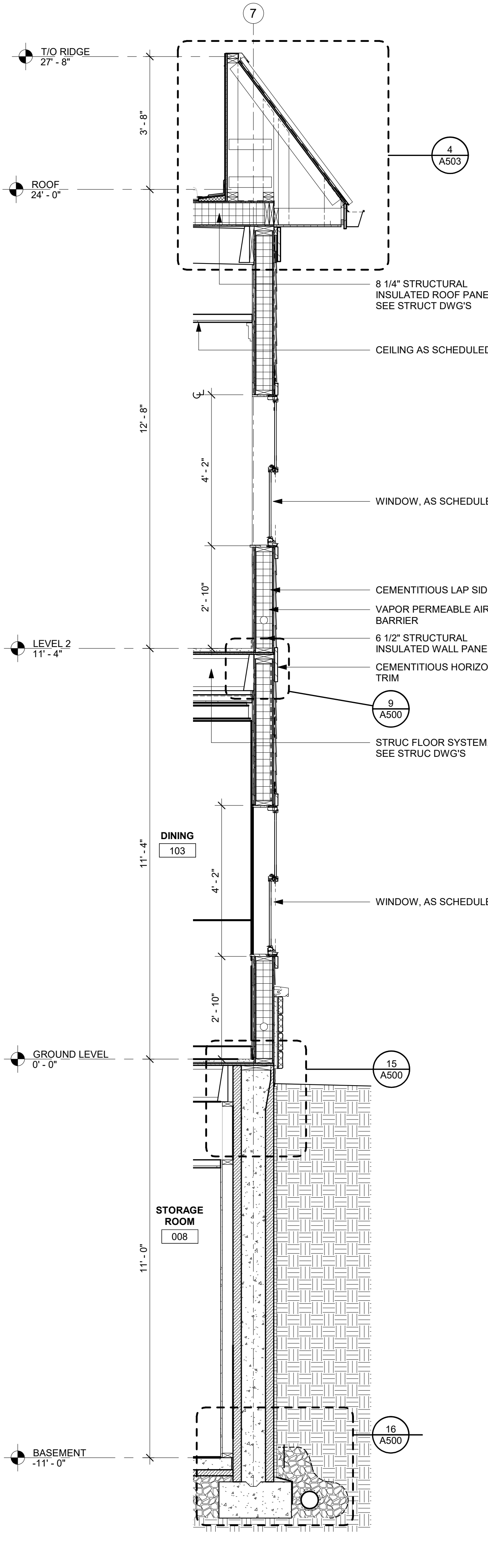
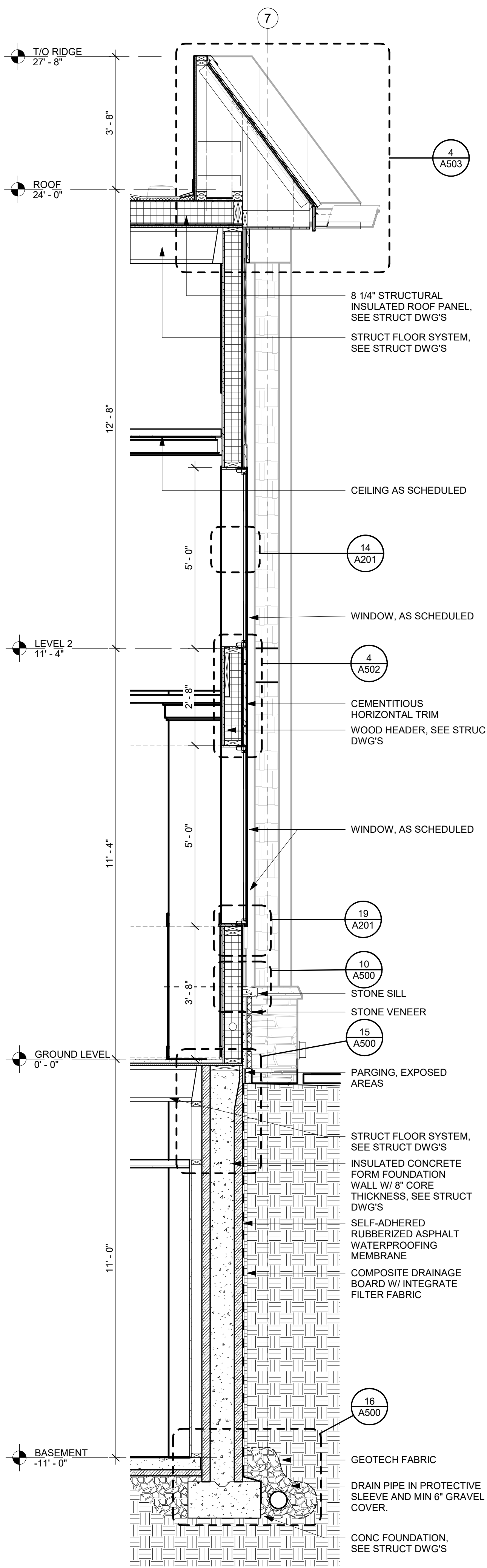
**EXTERIOR ELEVATIONS**

Scale As indicated  
Drawn DML  
Checked CWB

**A300**

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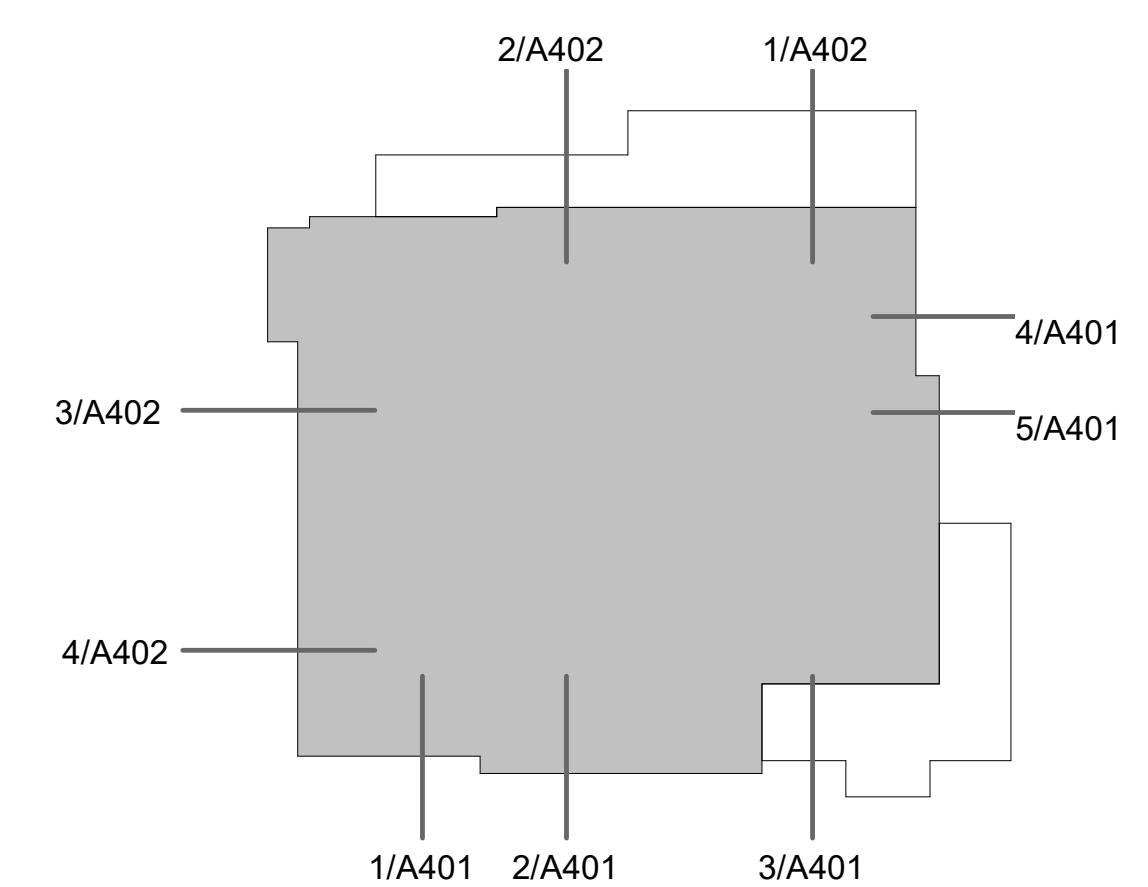
1 WALL SECTION - SOUTH  
1/2" = 1'-0"

2 WALL SECTION - SOUTH, TYP.  
1/2" = 1'-0"

3 WALL SECTION - SOUTH @ FRONT PORCH  
1/2" = 1'-0"

4 WALL SECTION - EAST, TYP.  
1/2" = 1'-0"

5 WALL SECTION - EAST END  
1/2" = 1'-0"



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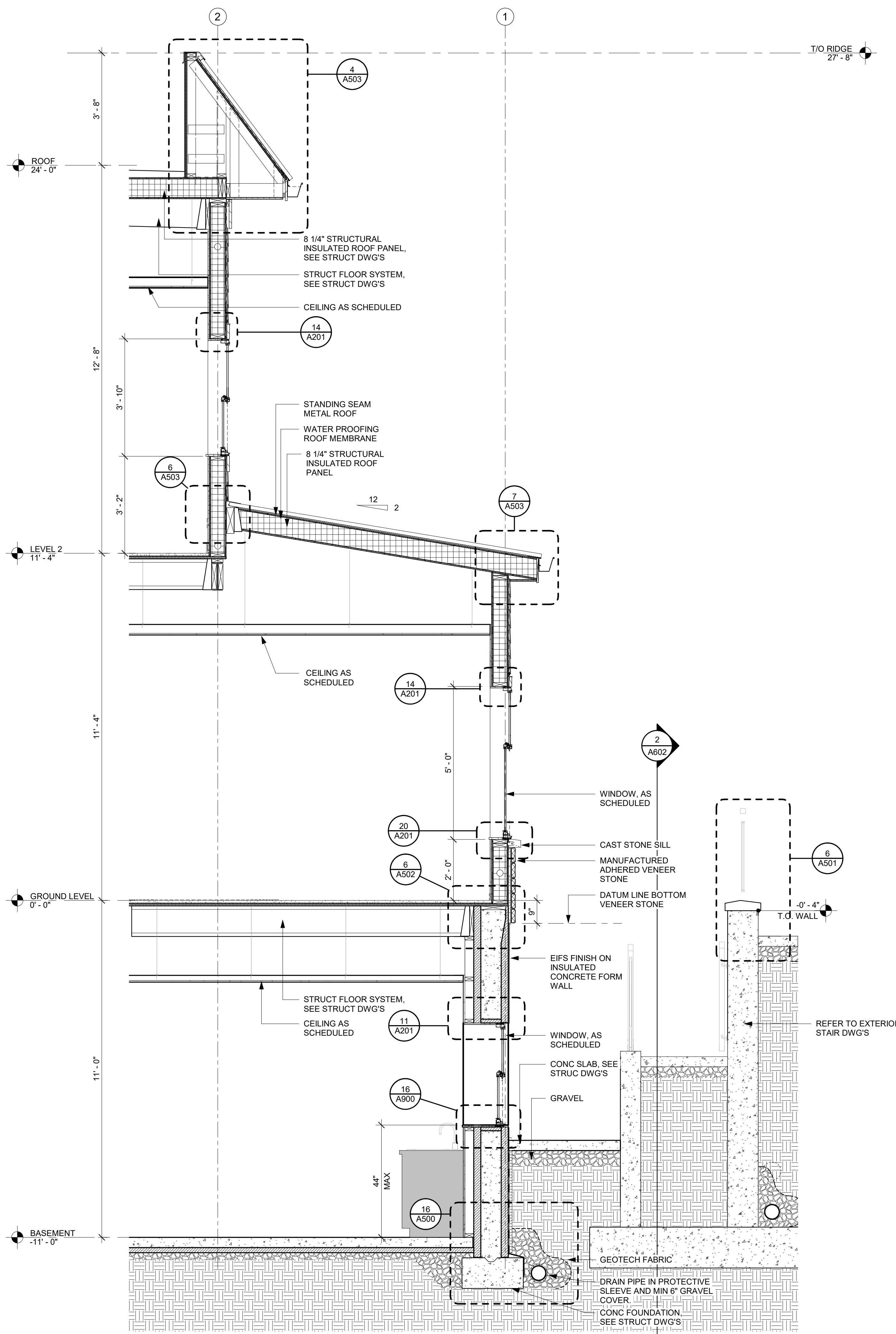
**WALL SECTIONS**

Scale	As indicated
Drawn	Author
Checked	Checker

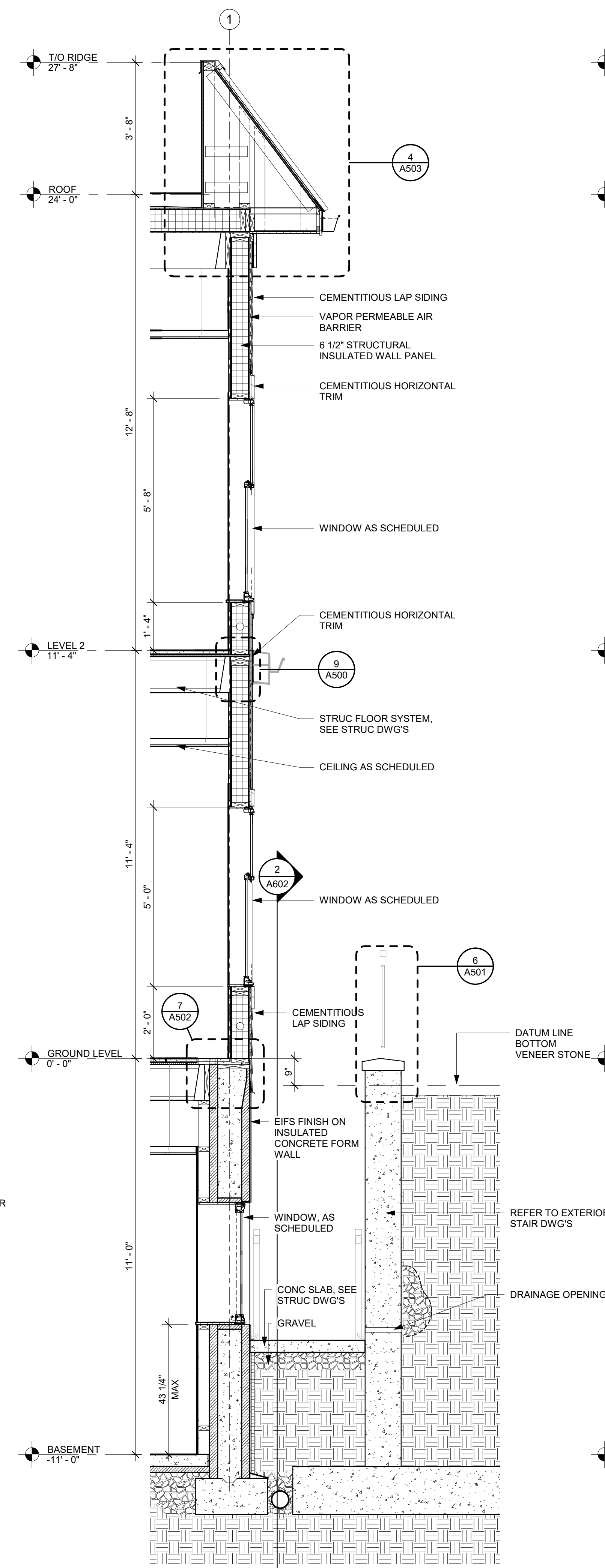
**A401**

100% BID

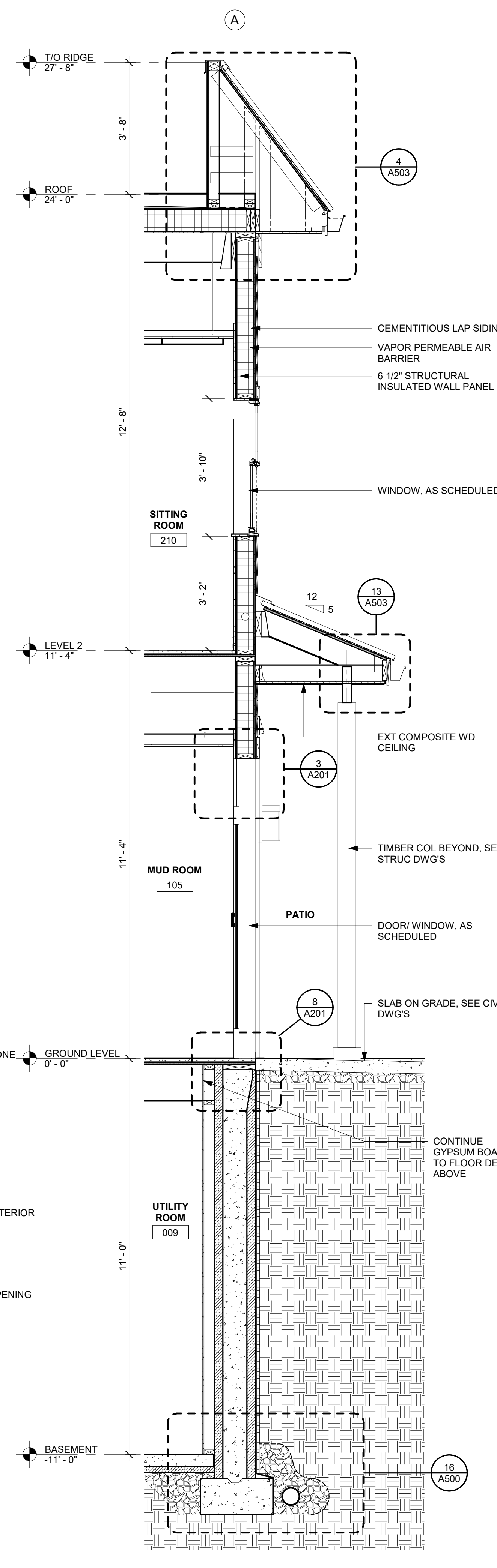




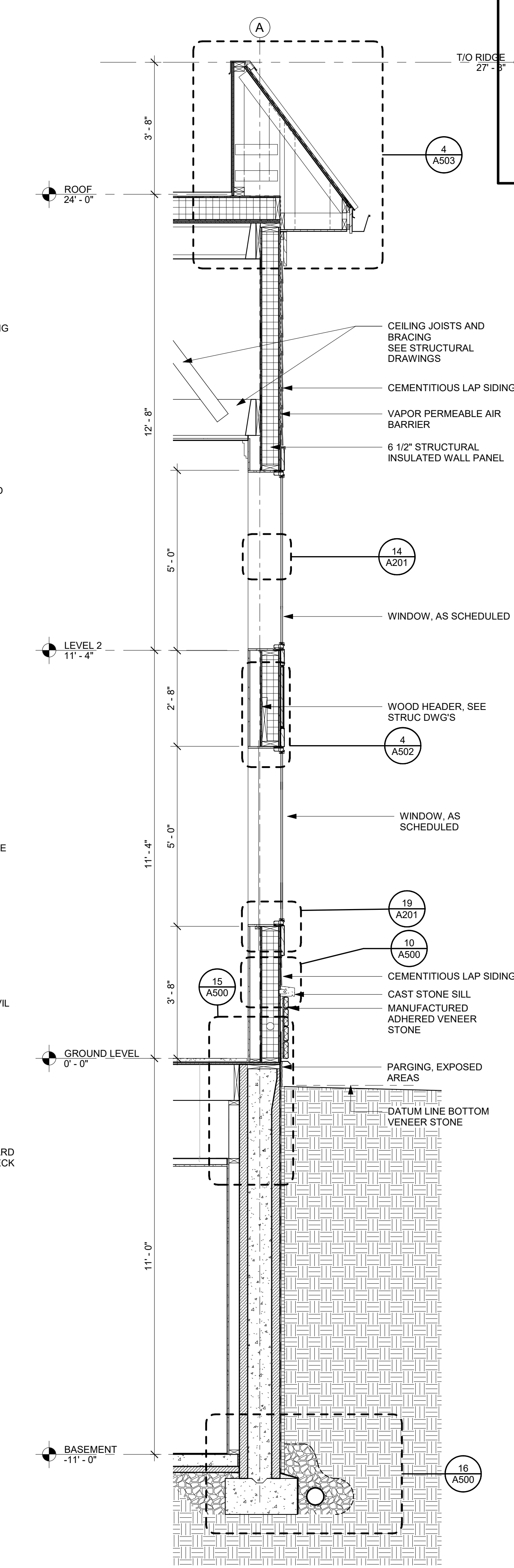
**1 WALL SECTION - NORTH @ SETBACK**  
1/2" = 1'-0"



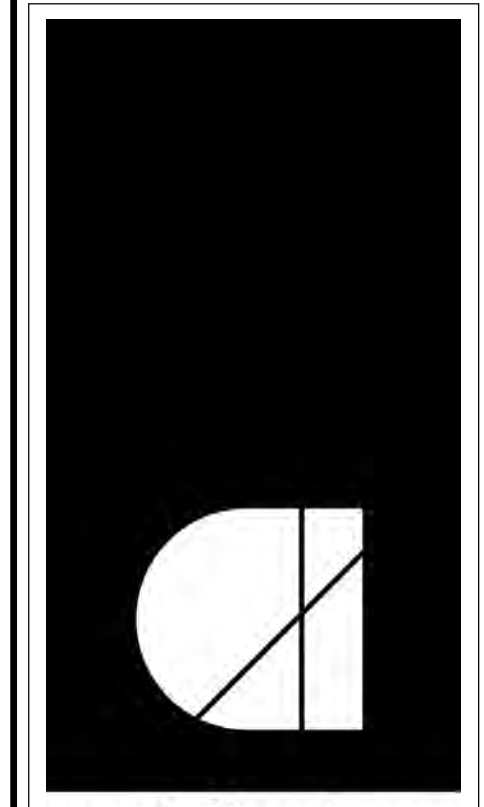
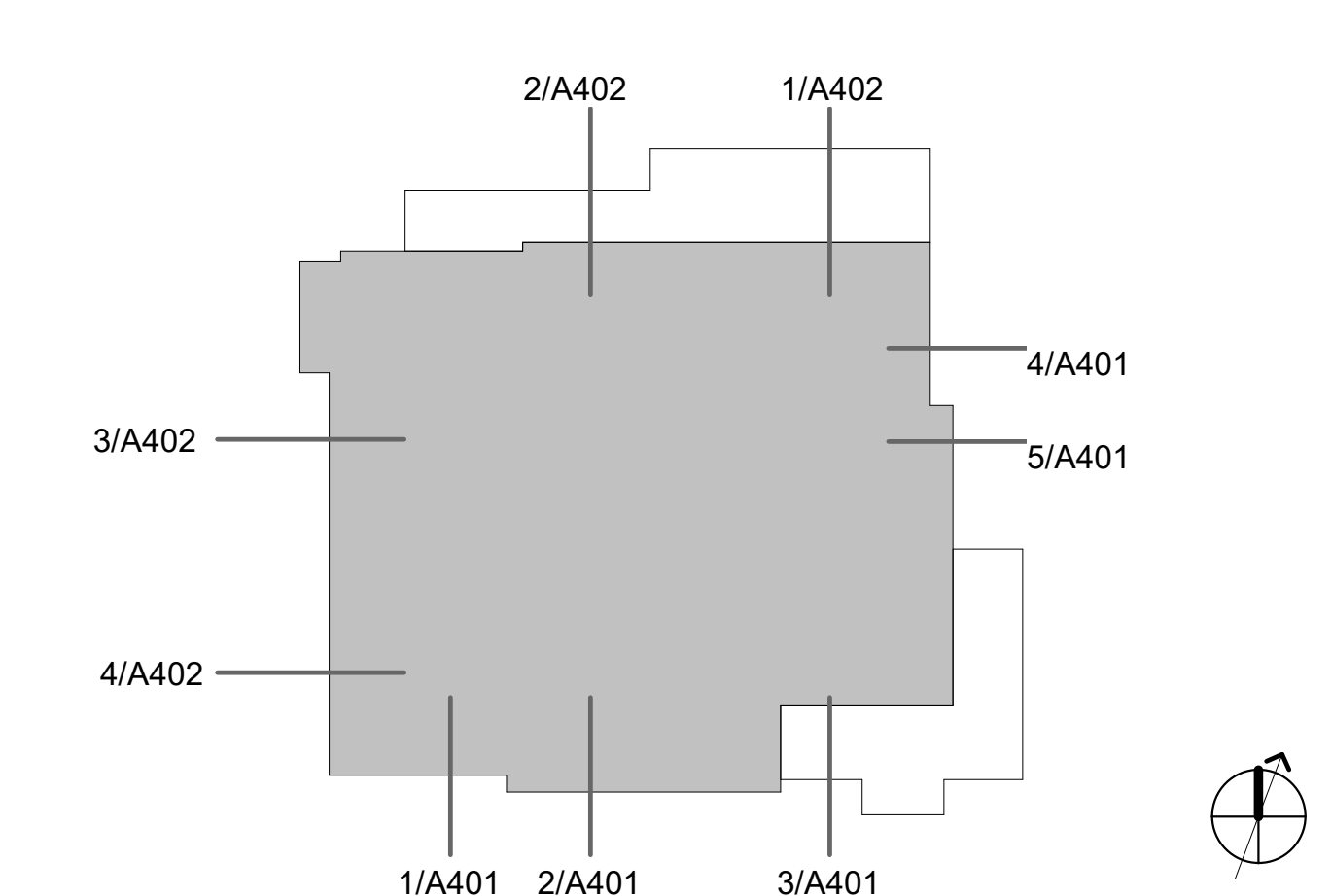
**2 WALL SECTION - NORTH**  
1/2" = 1'-0"



**3 WALL SECTION - WEST**  
1/2" = 1'-0"



**4 WALL SECTION - WEST, TYP.**  
1/2" = 1'-0"



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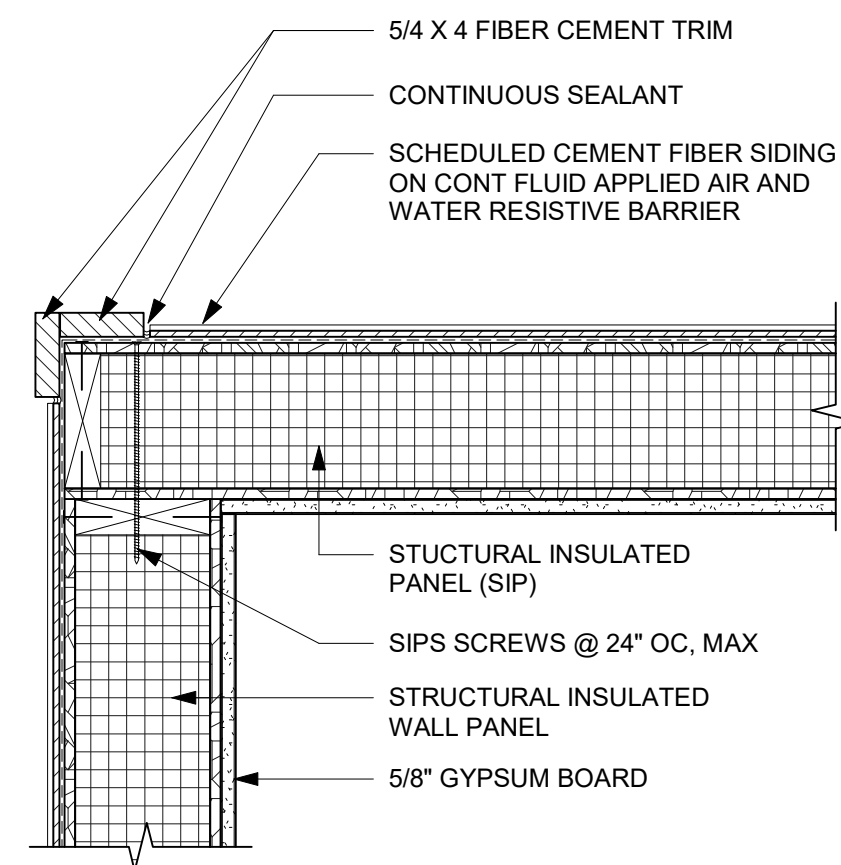
**WALL SECTIONS**

Scale As indicated  
Drawn Author  
Checked Checker

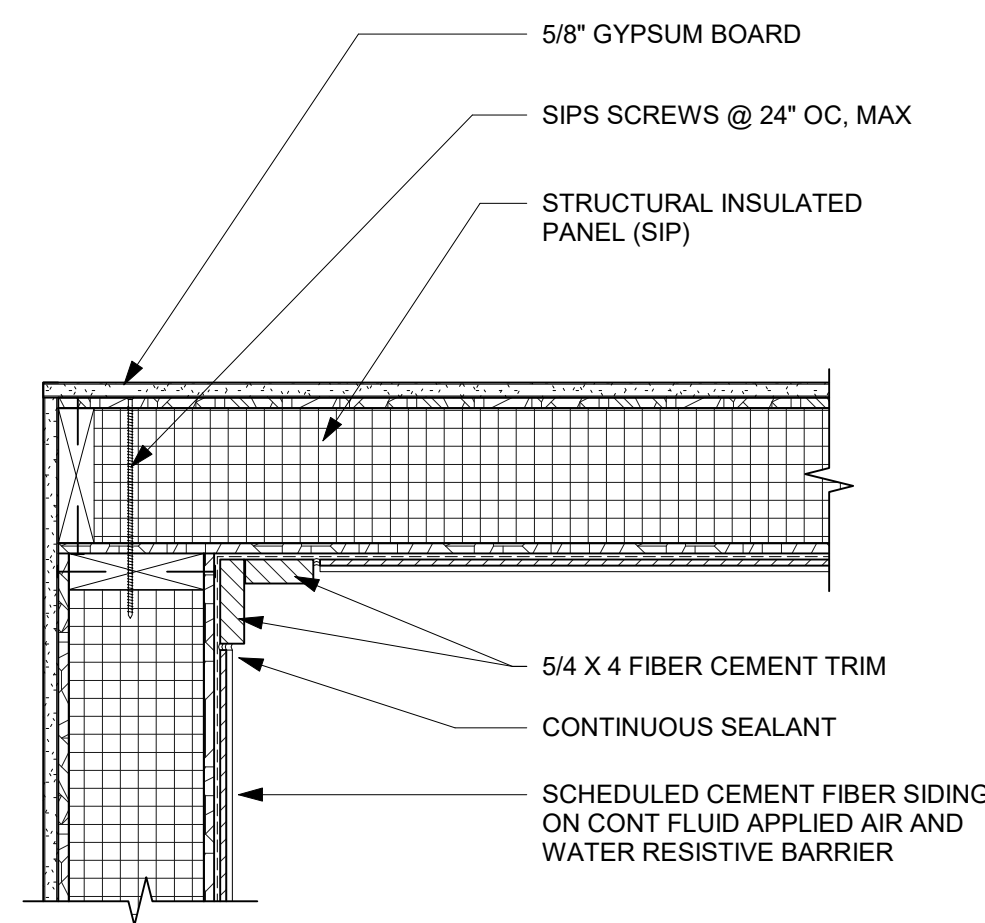
**A402**

100% BID

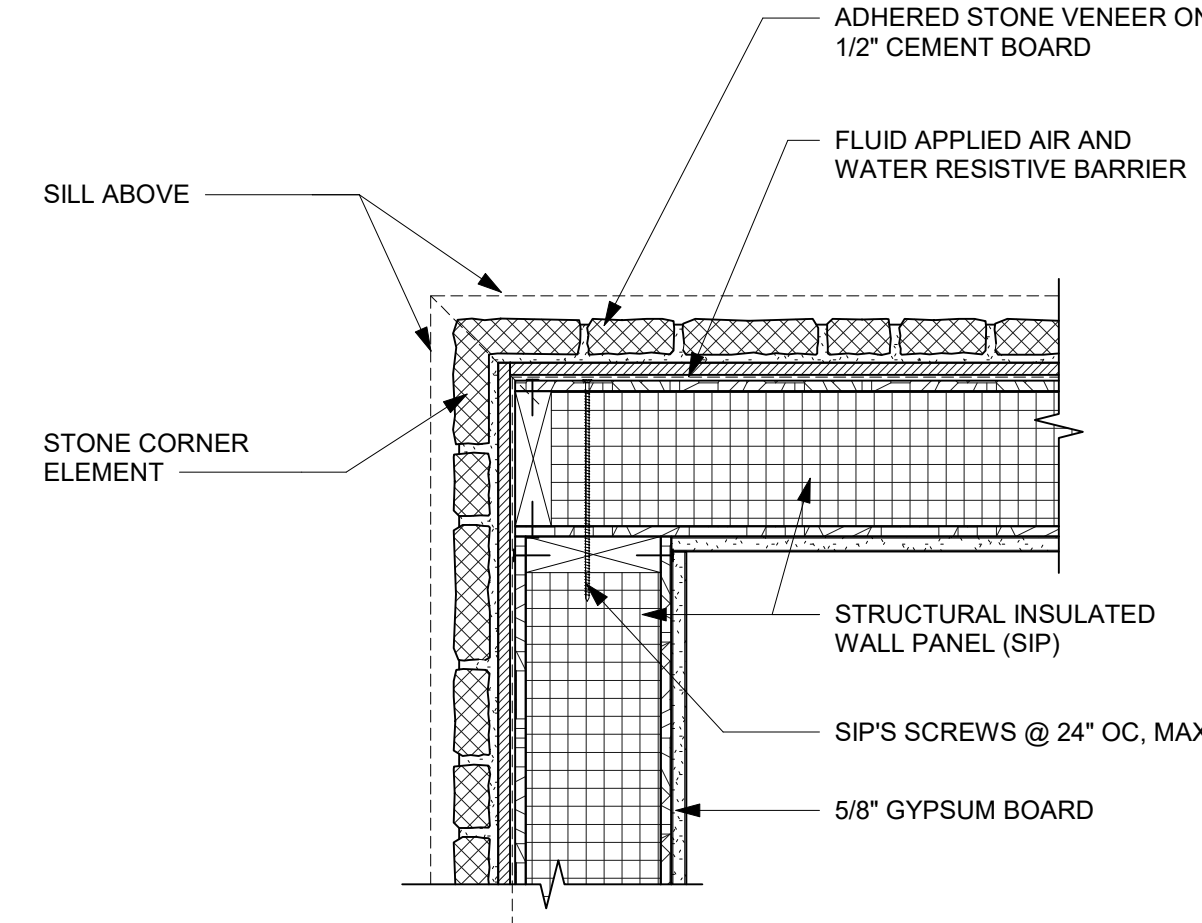




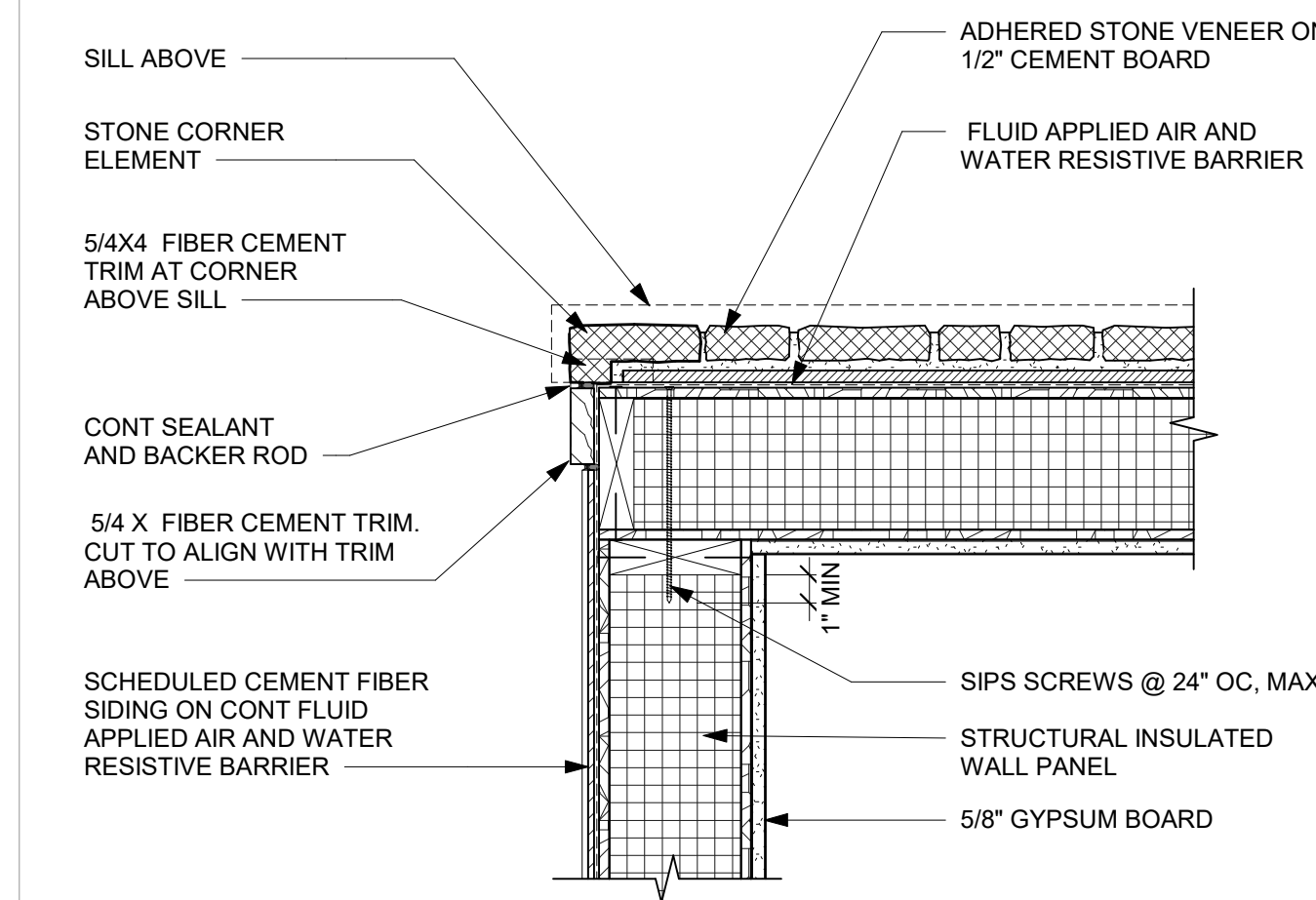
1 SIDING/SIP OUTSIDE CORNER  
1 1/2" = 1'-0"



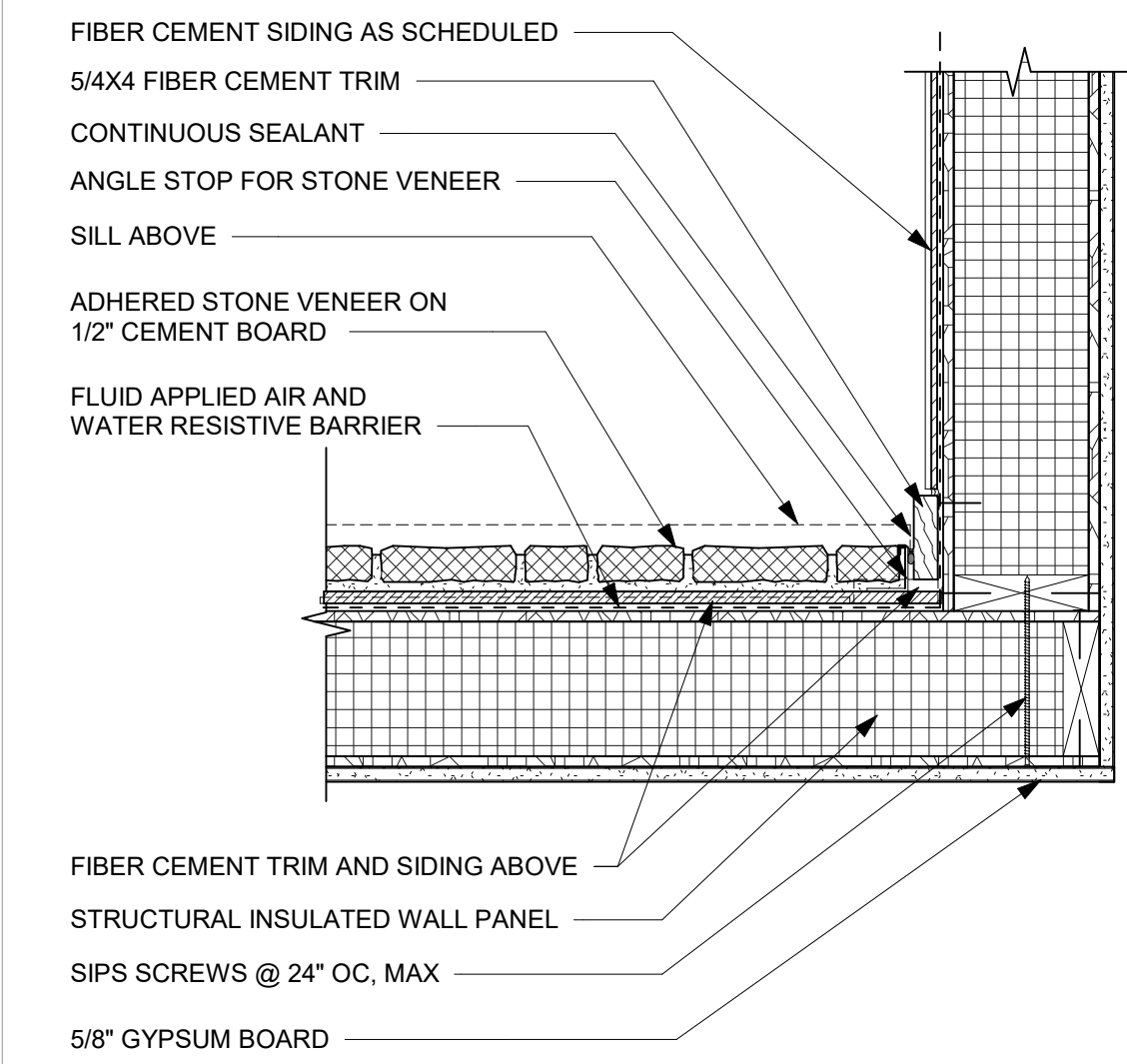
2 SIDING/SIP INSIDE CORNER  
1 1/2" = 1'-0"



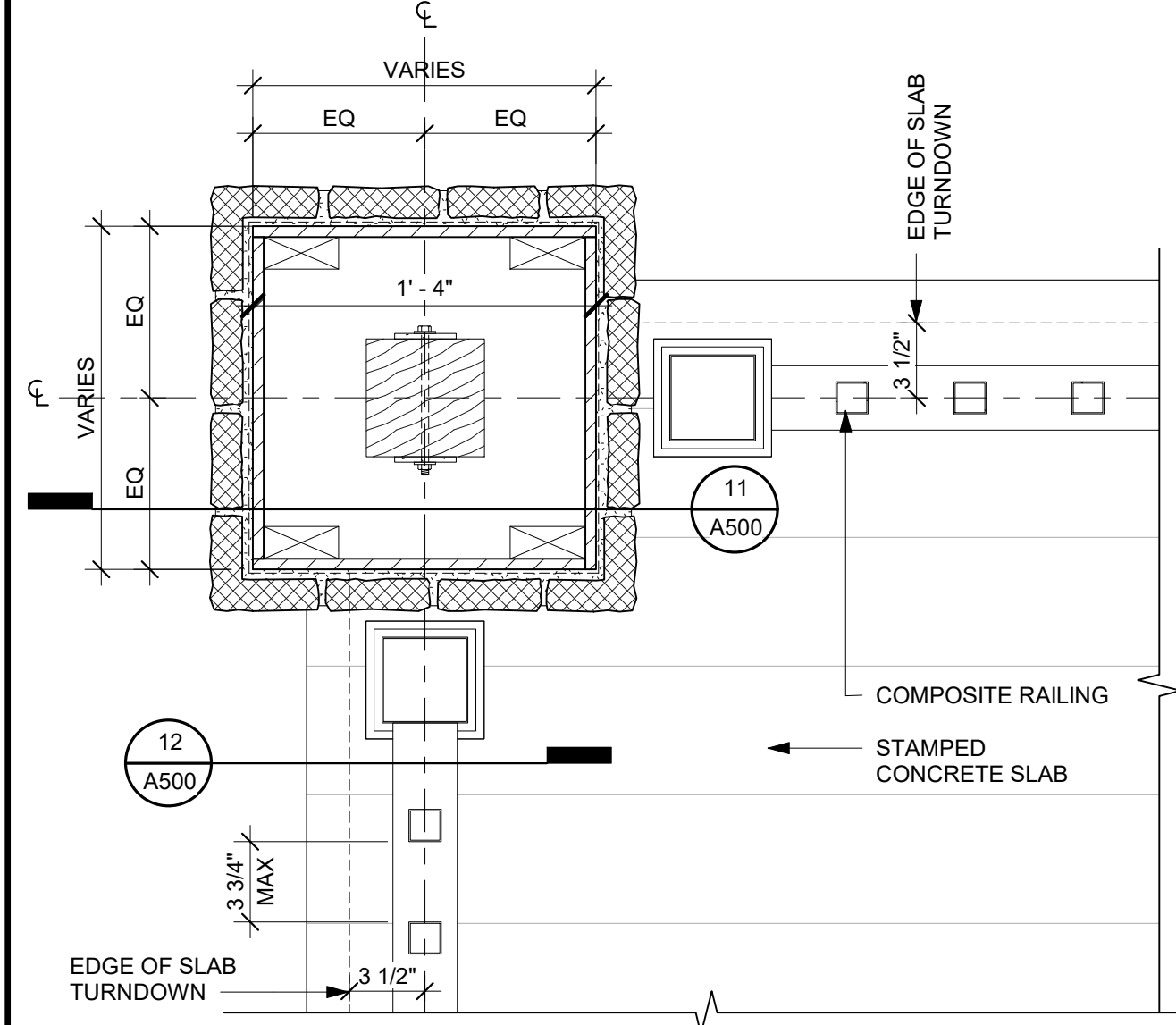
3 VENEER OUTSIDE CORNER  
1 1/2" = 1'-0"



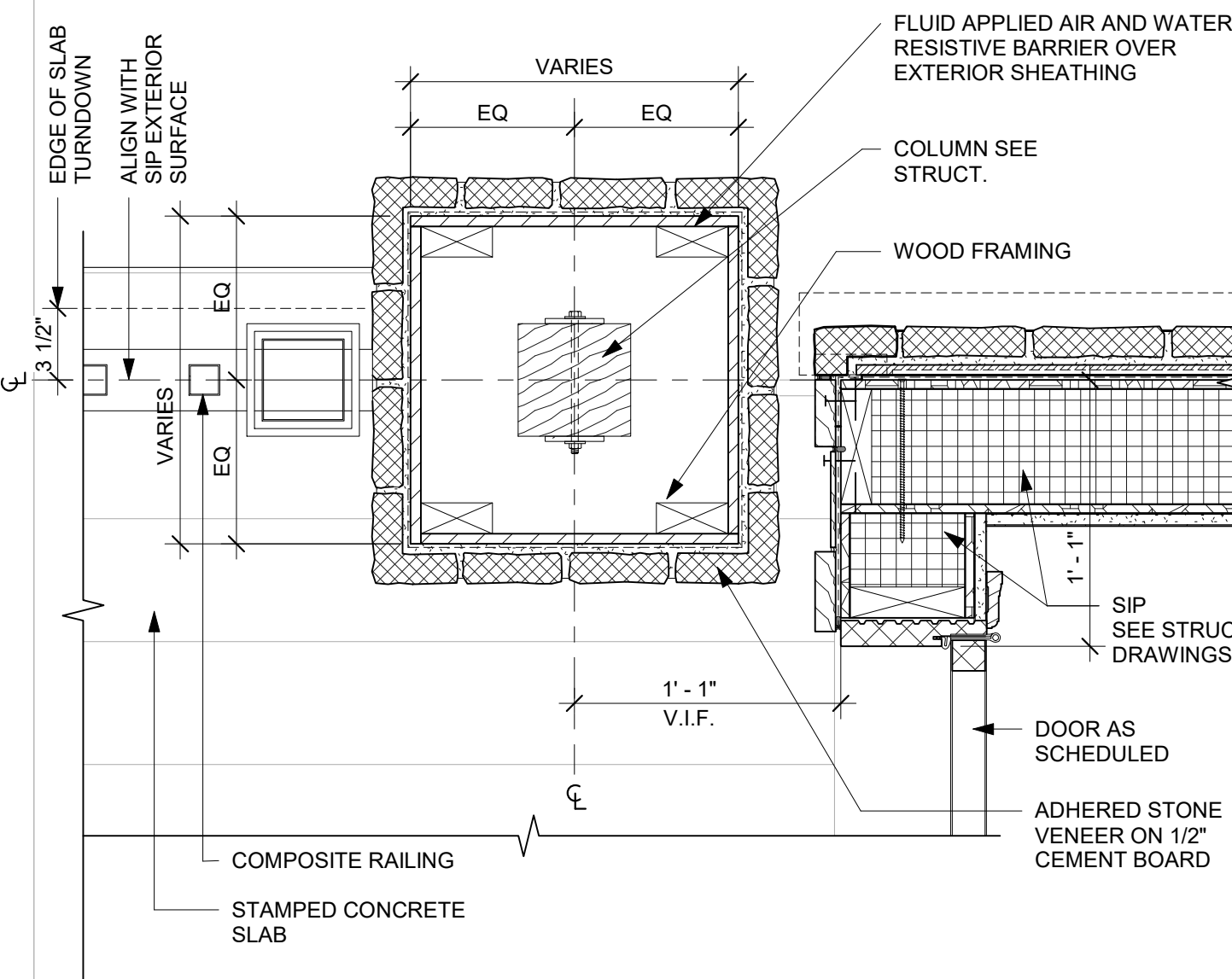
4 SIDING/VENEER OUTSIDE CORNER  
1 1/2" = 1'-0"



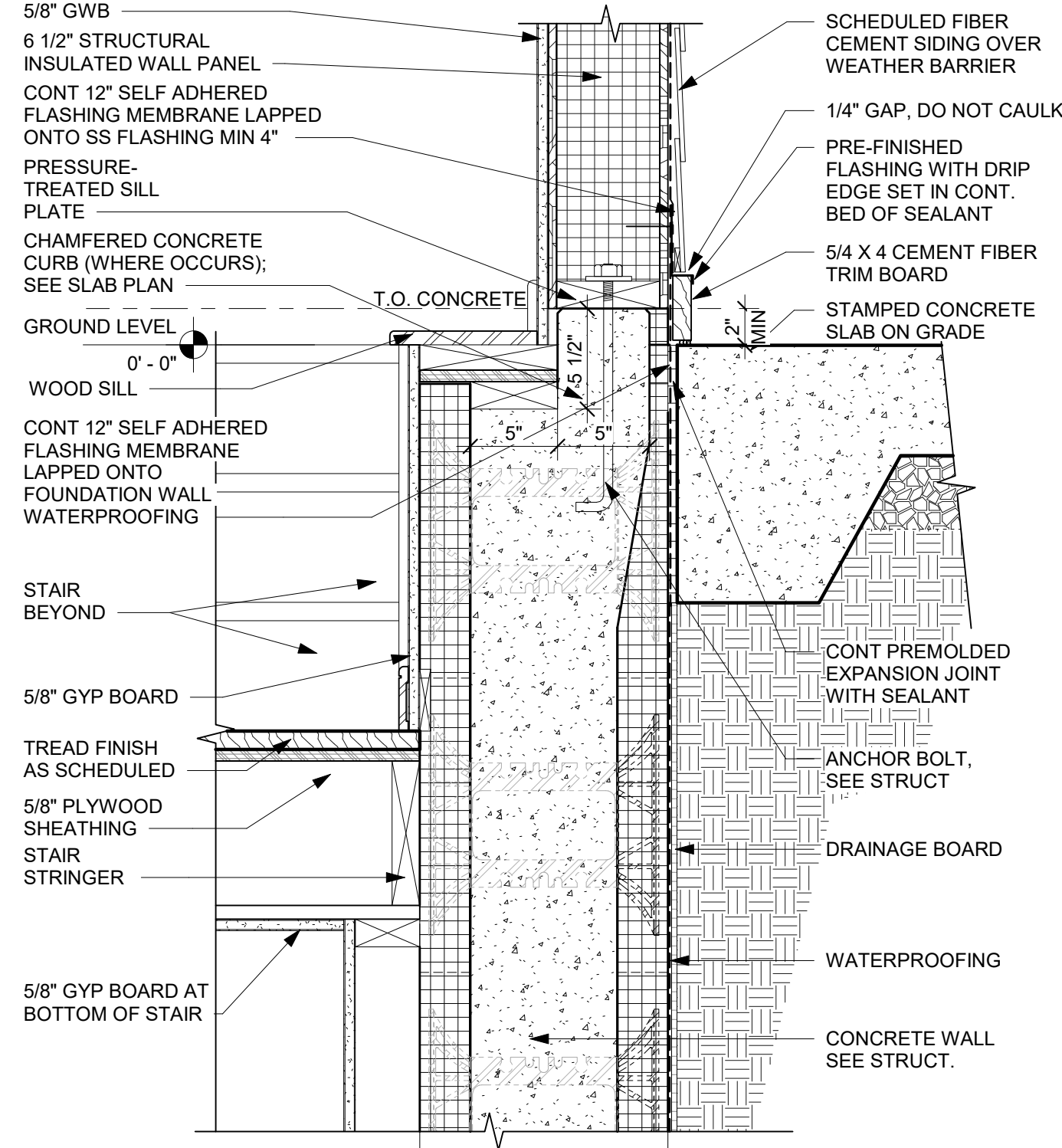
5 SIDING/VENEER INSIDE CORNER  
1 1/2" = 1'-0"



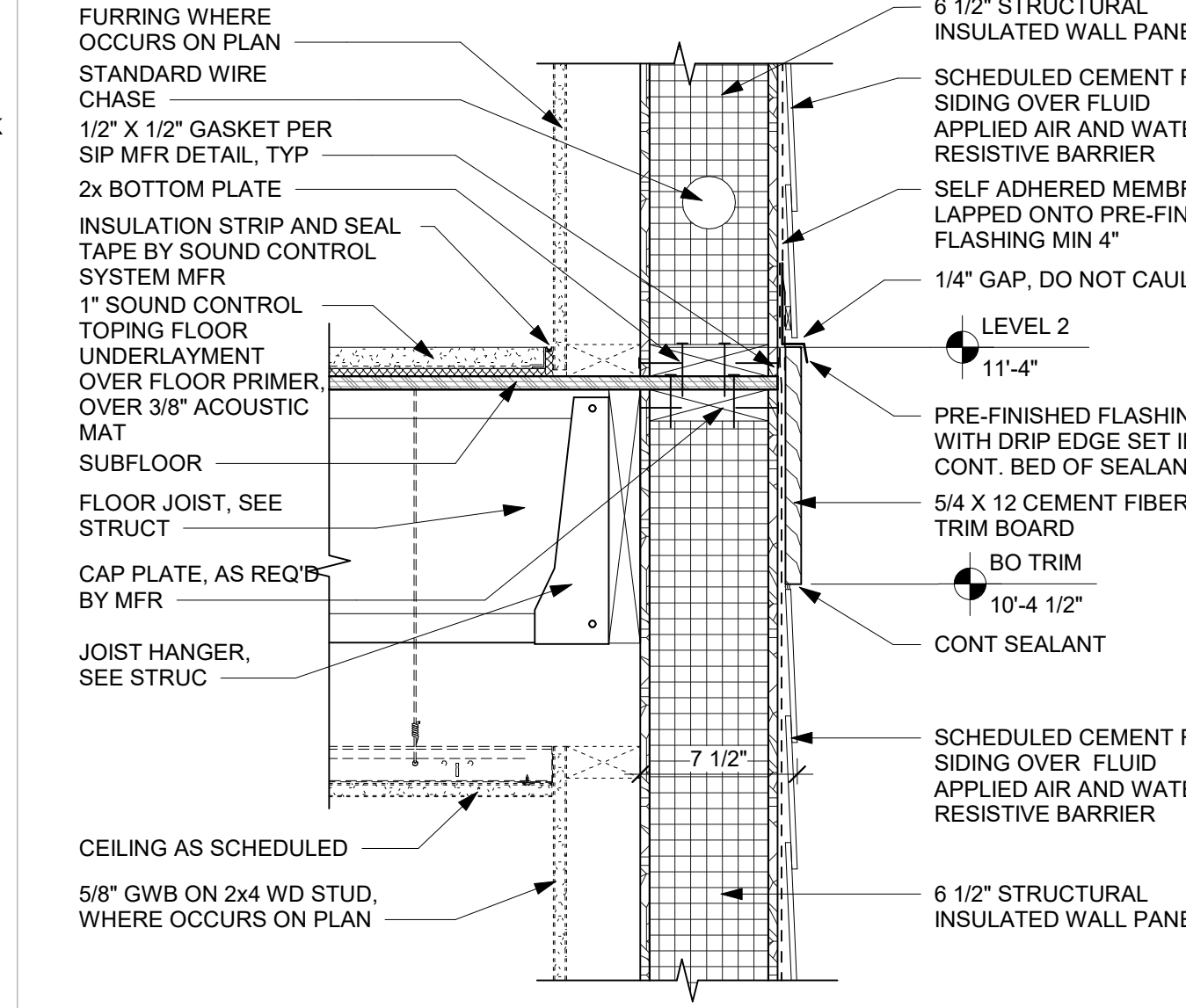
6 VENEER @ COLUMN - PLAN.  
1 1/2" = 1'-0"



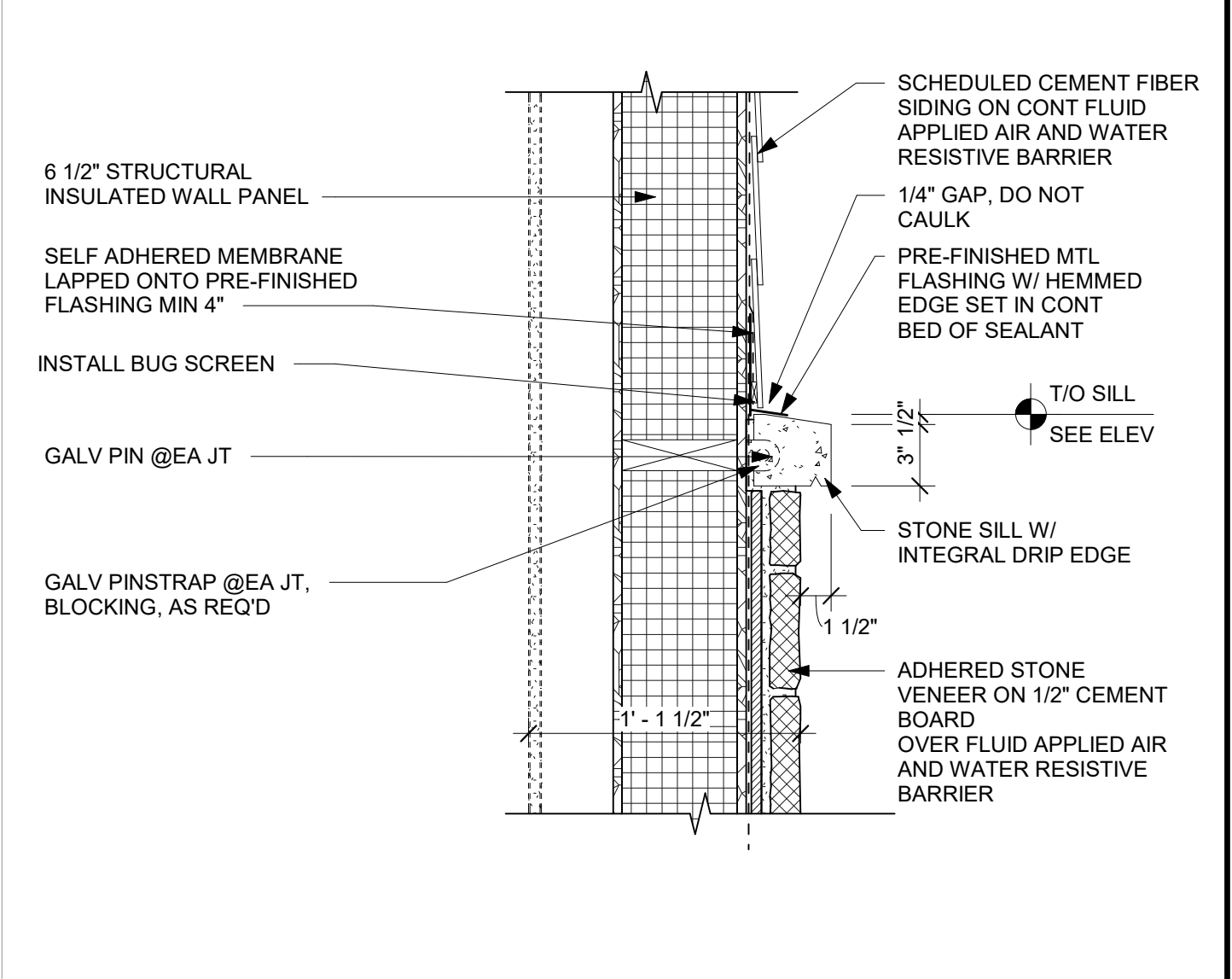
7 VENEER @ COLUMN - PLAN  
1 1/2" = 1'-0"



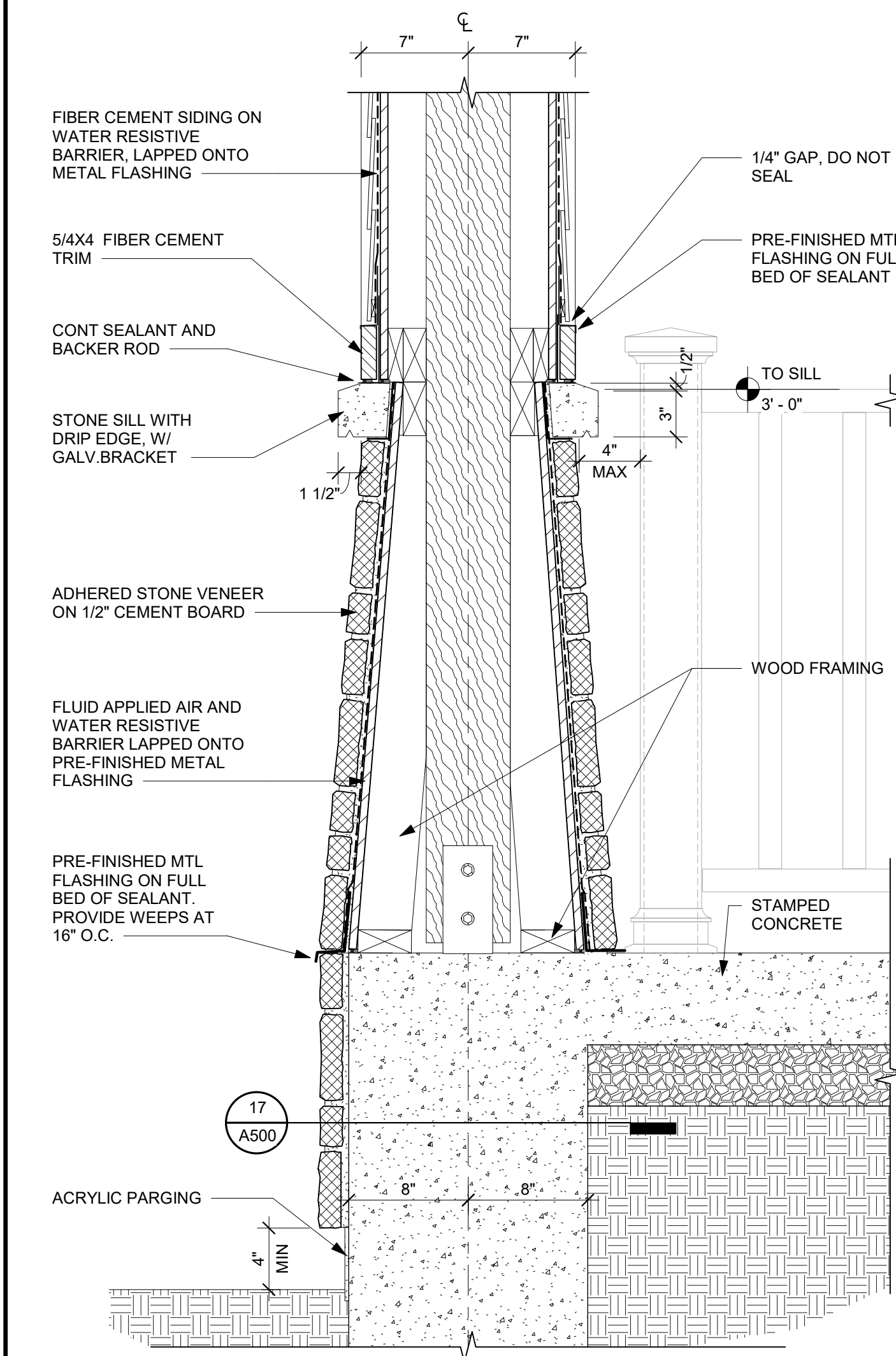
8 EXTERIOR WALL DETAIL @ STAIR  
1 1/2" = 1'-0"



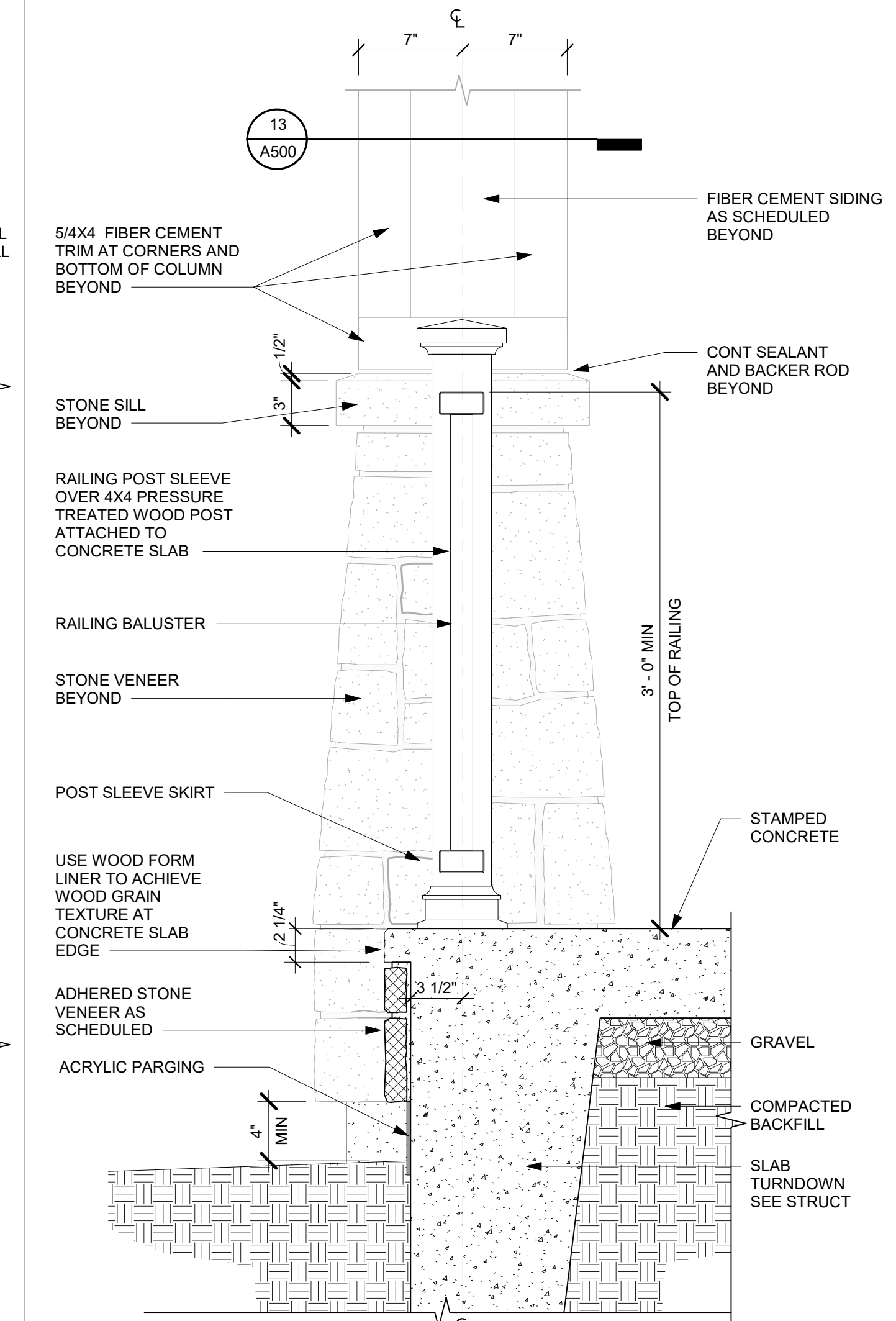
9 TJI @ SIDING/SIP  
1 1/2" = 1'-0"



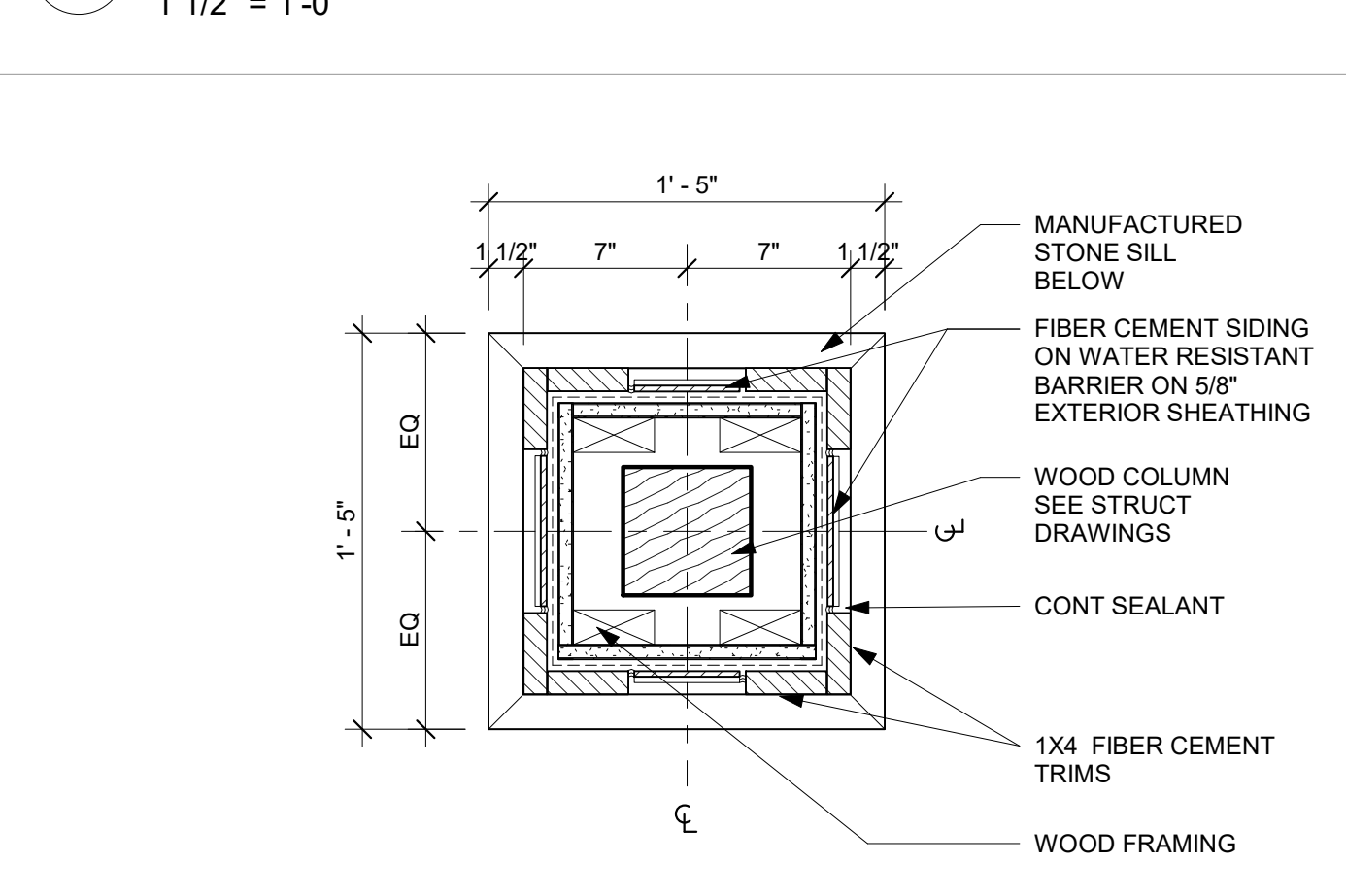
10 SILL @ SIDING/SIP  
1 1/2" = 1'-0"



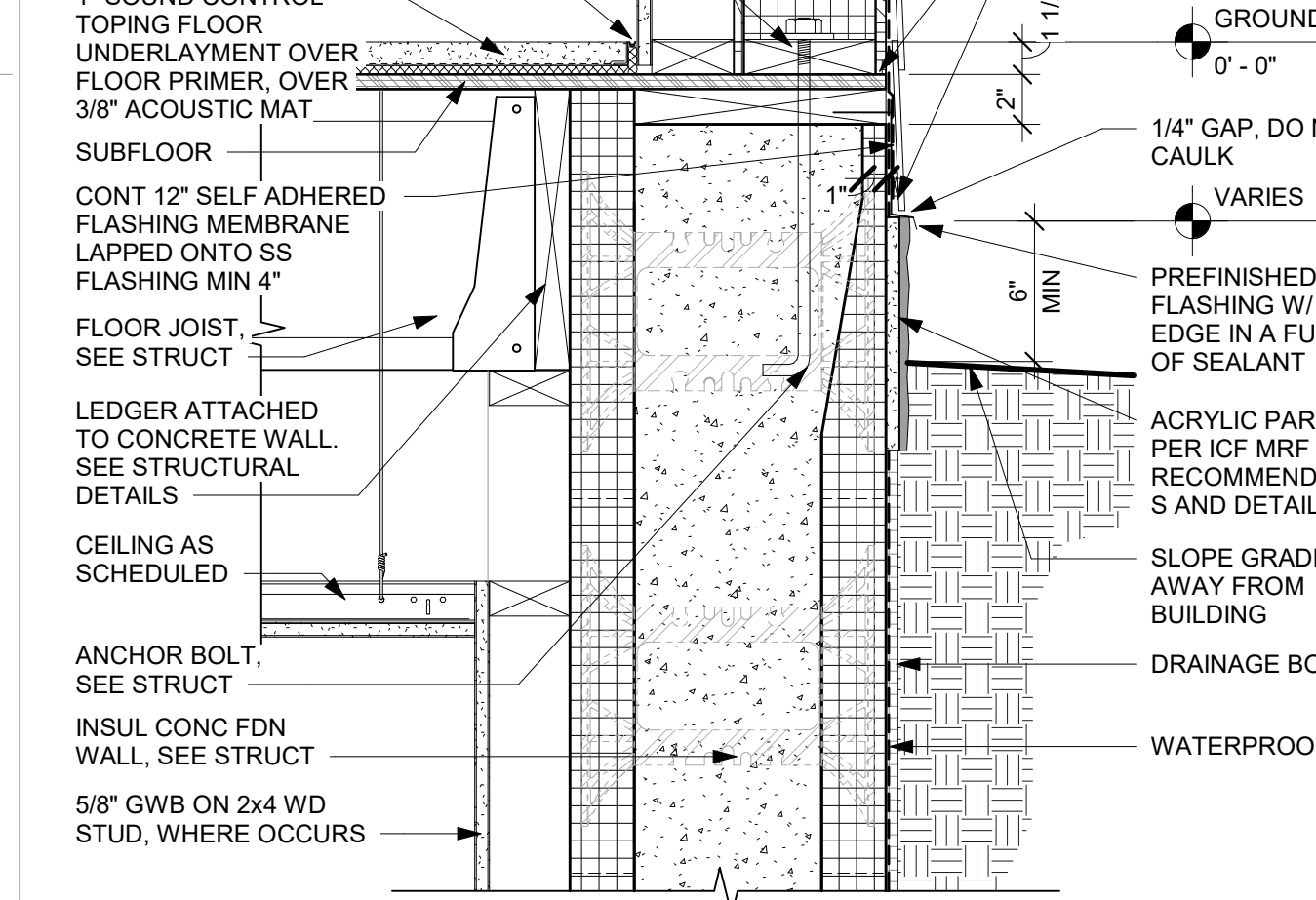
11 VENEER @ COLUMN - SECTION  
1 1/2" = 1'-0"



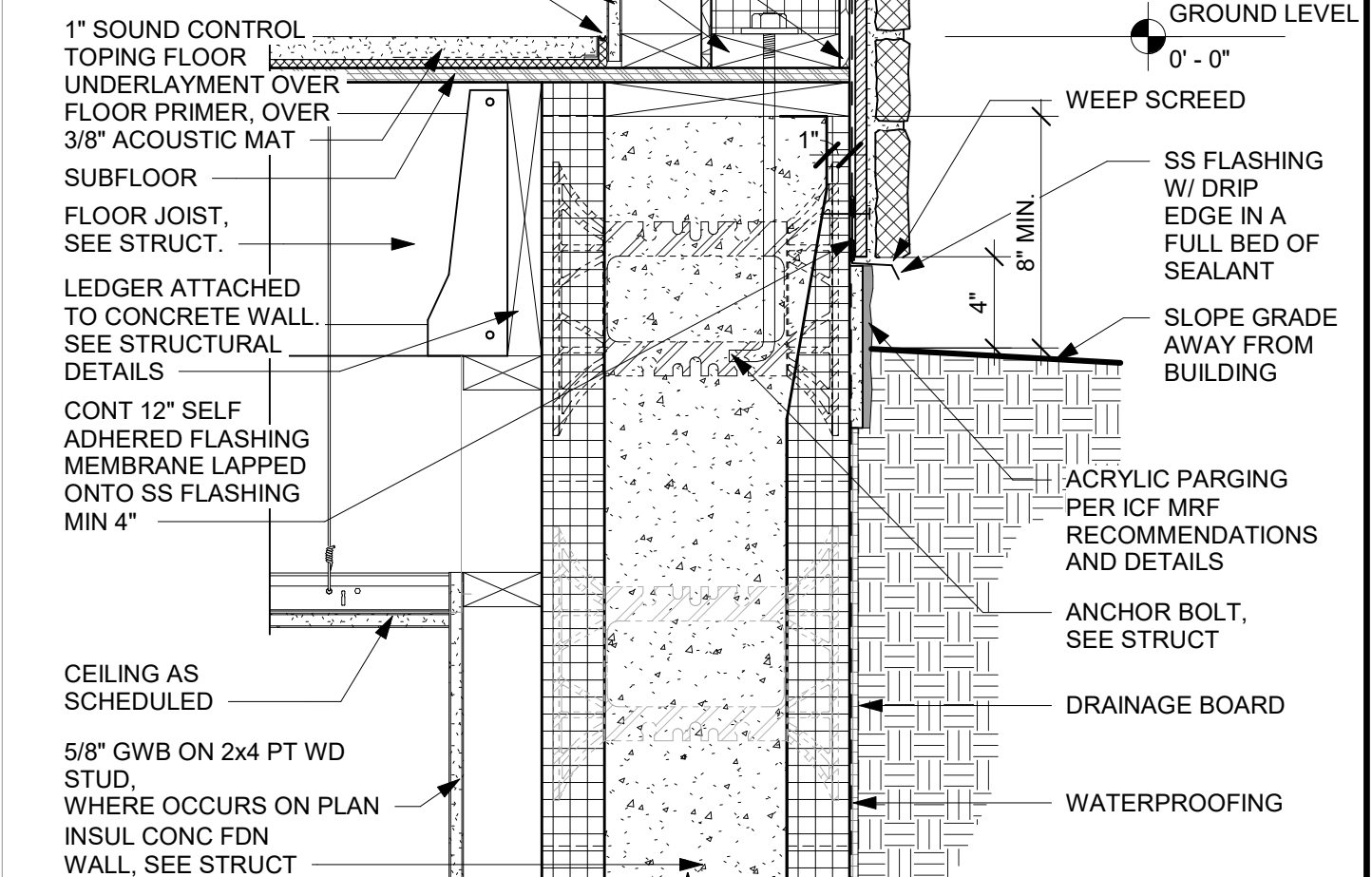
12 PORCH WALL SECTION  
1 1/2" = 1'-0"



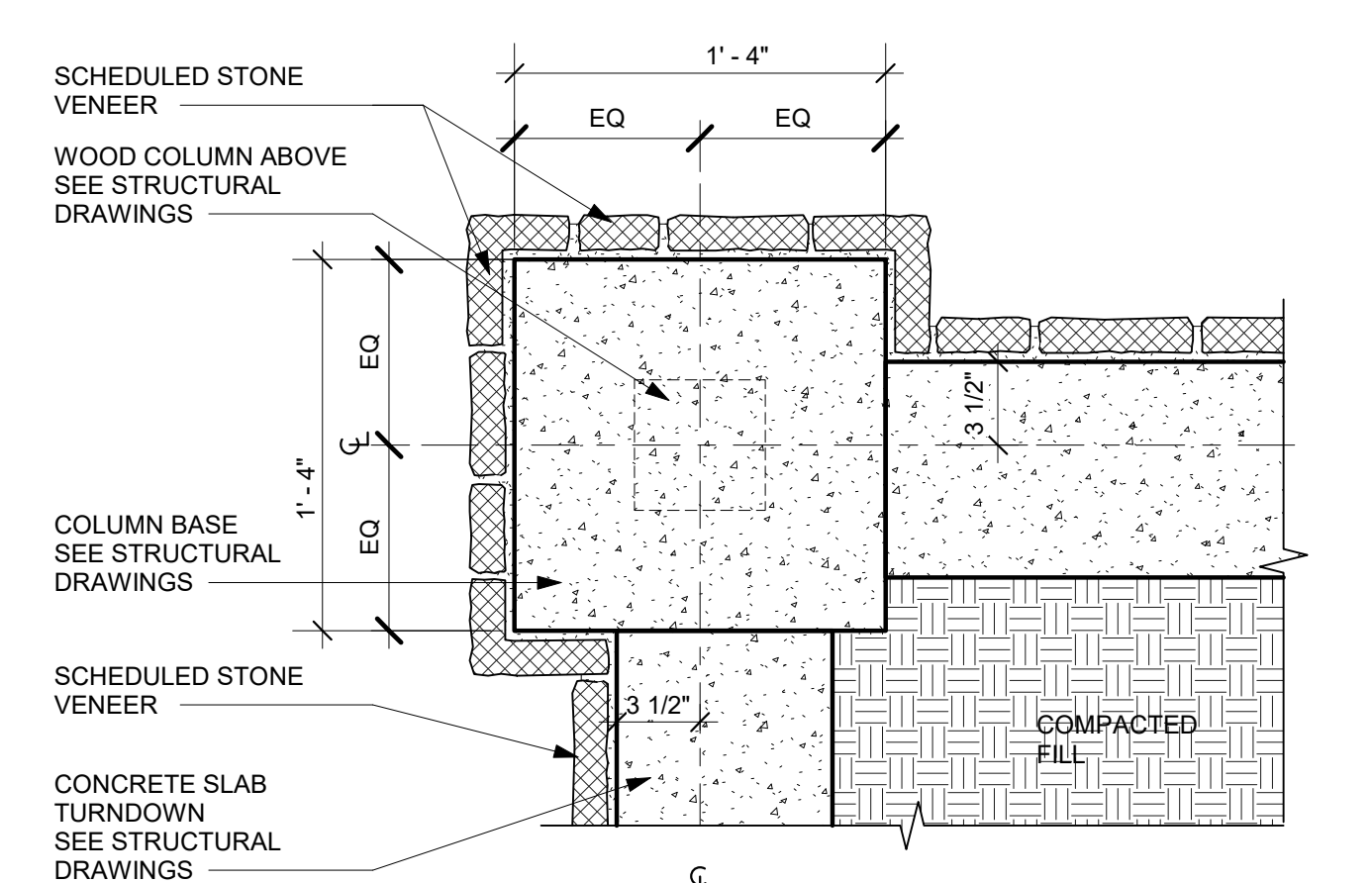
13 PORCH COLUMN - PLAN @ SIDING  
1 1/2" = 1'-0"



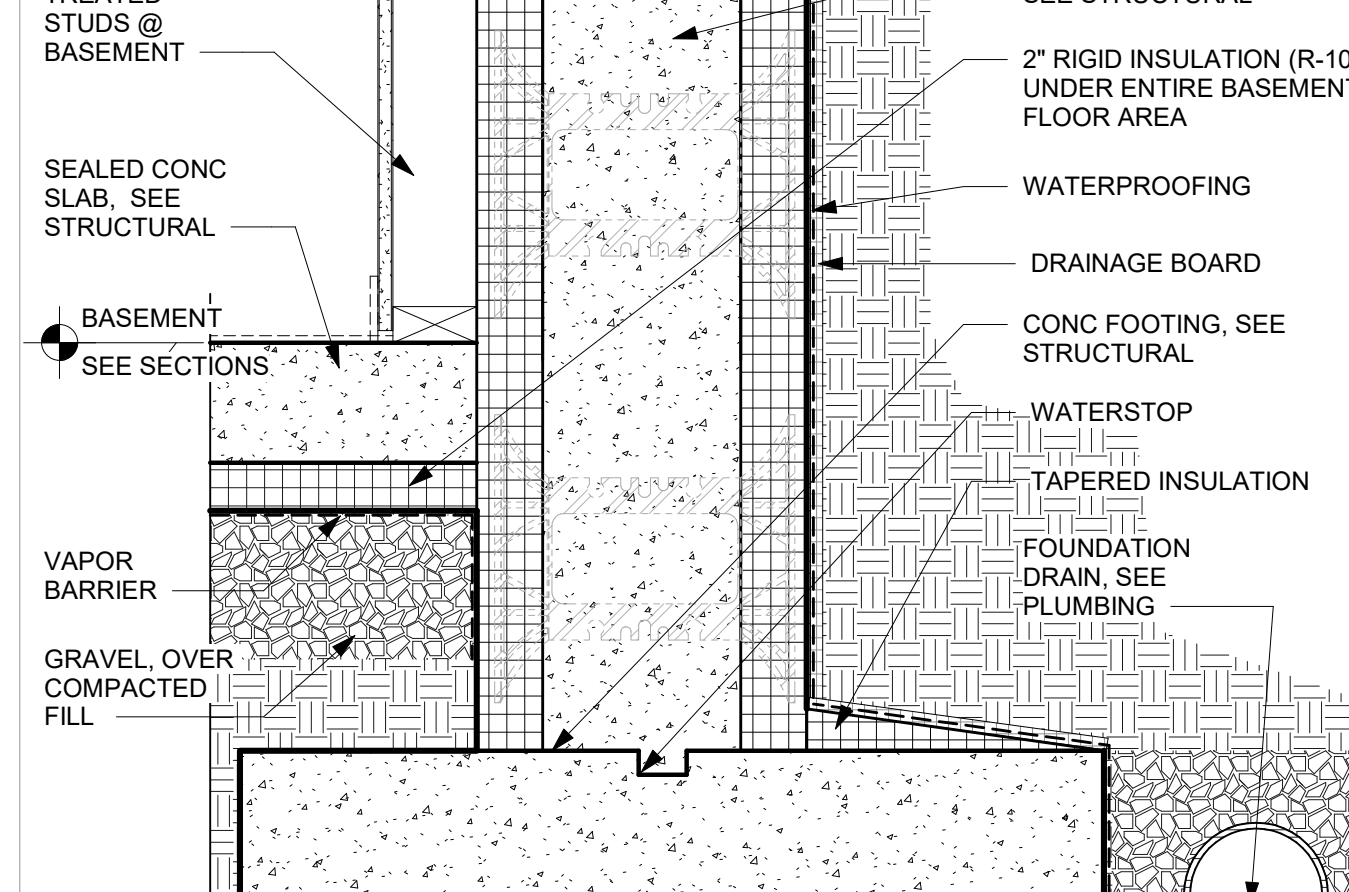
14 FDN @ SIDING/SIP  
1 1/2" = 1'-0"



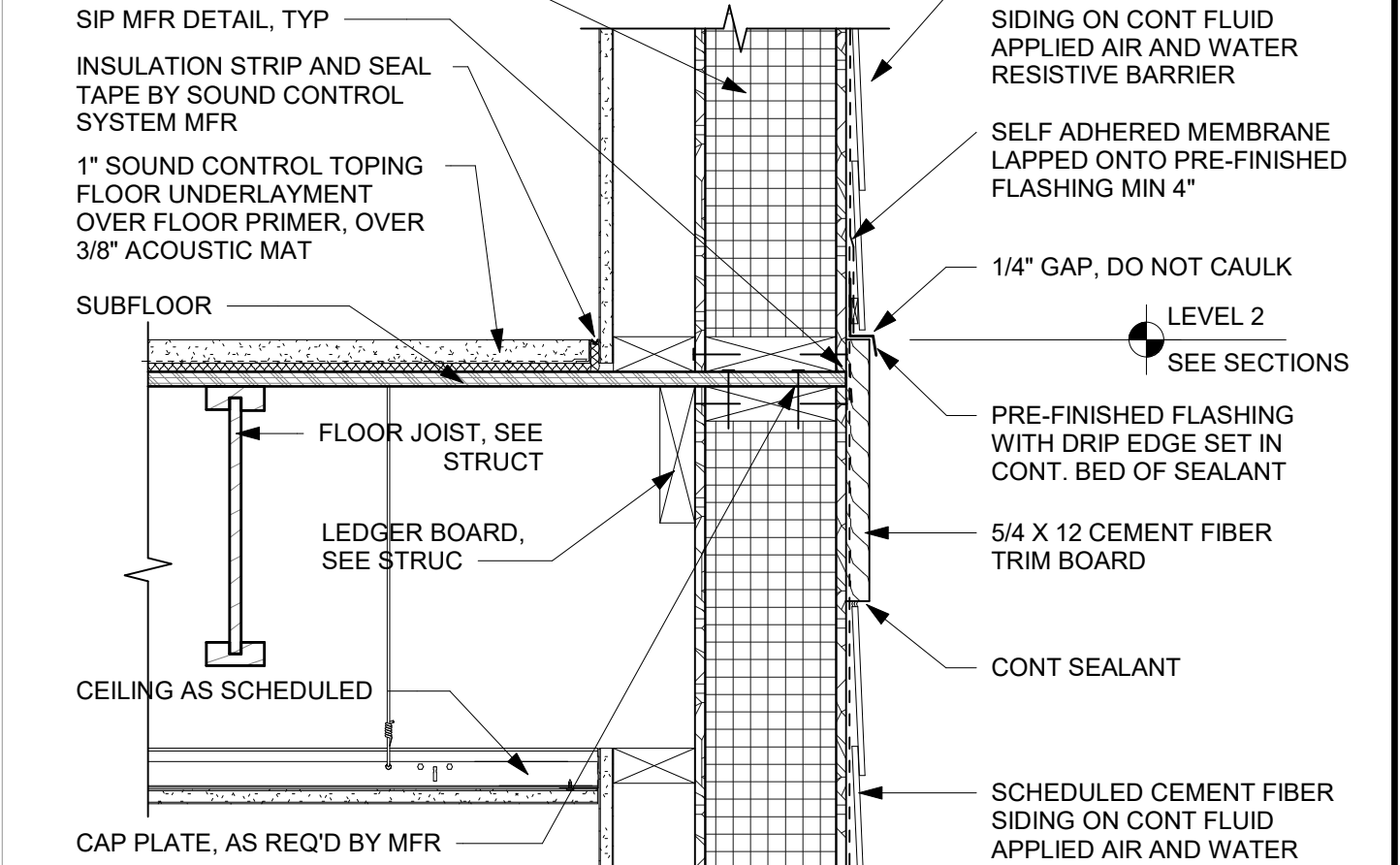
15 FDN @ VENEER/SIPS  
1 1/2" = 1'-0"



17 PORCH COLUMN - SECTION  
1 1/2" = 1'-0"



16 FDN DRAIN/FOOTING  
1 1/2" = 1'-0"



18 TJI @ SIDING/SIP  
1 1/2" = 1'-0"

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1 REVISIONS FOR PERMIT 5/20/21

EXTERIOR DETAILS

Scale 1 1/2" = 1'-0"  
Drawn DML  
Checked CWB

A500

100% BID

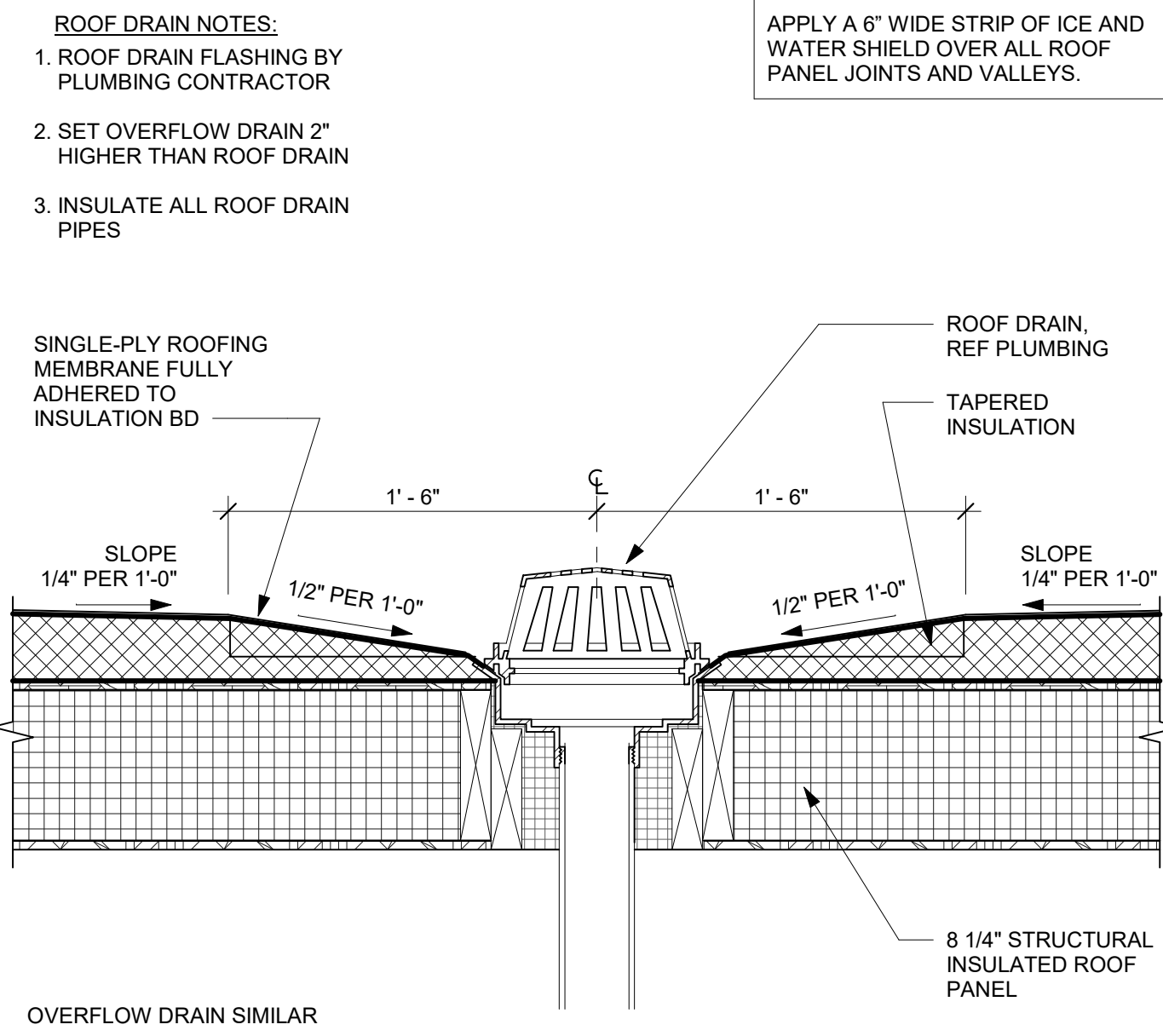




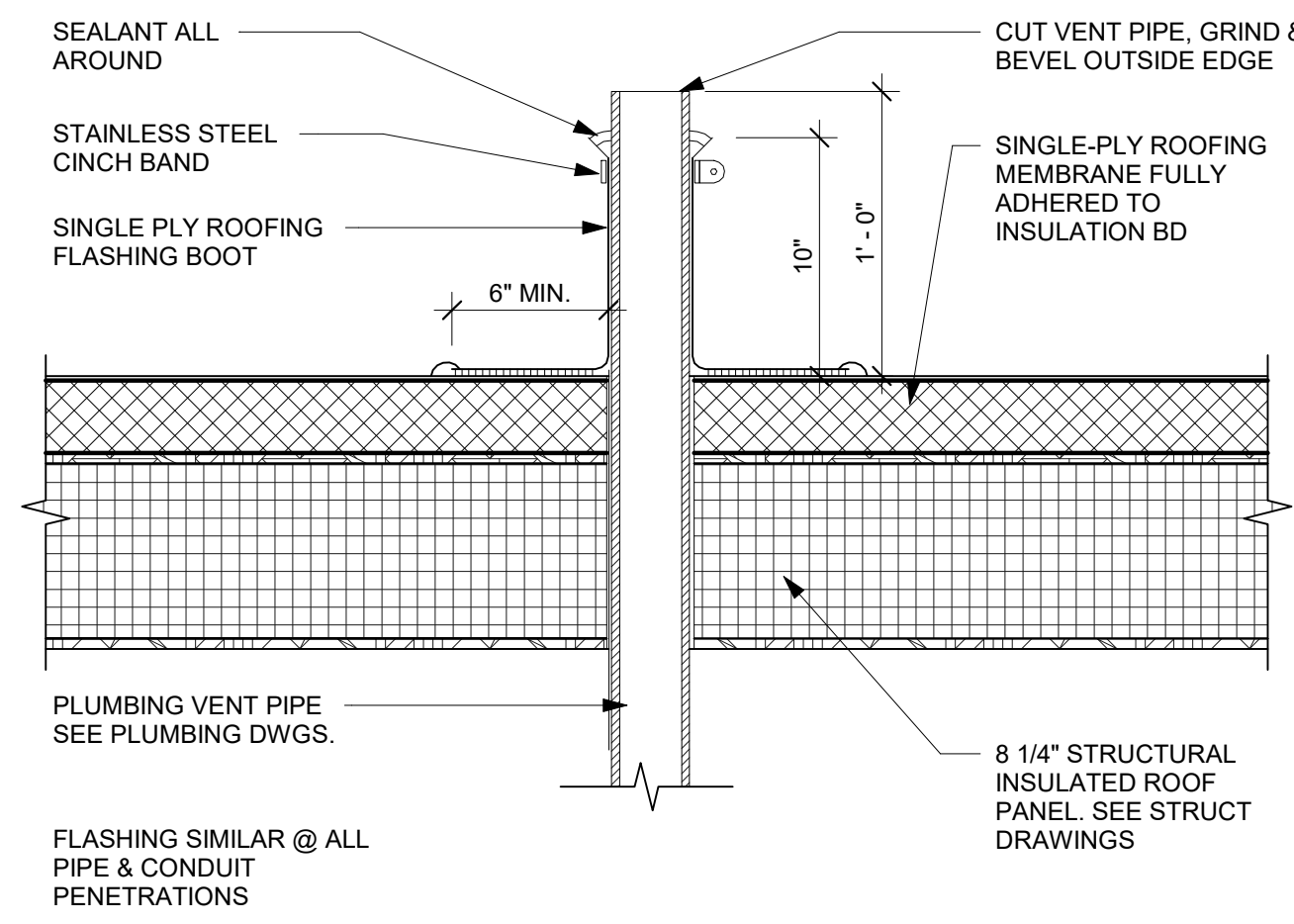




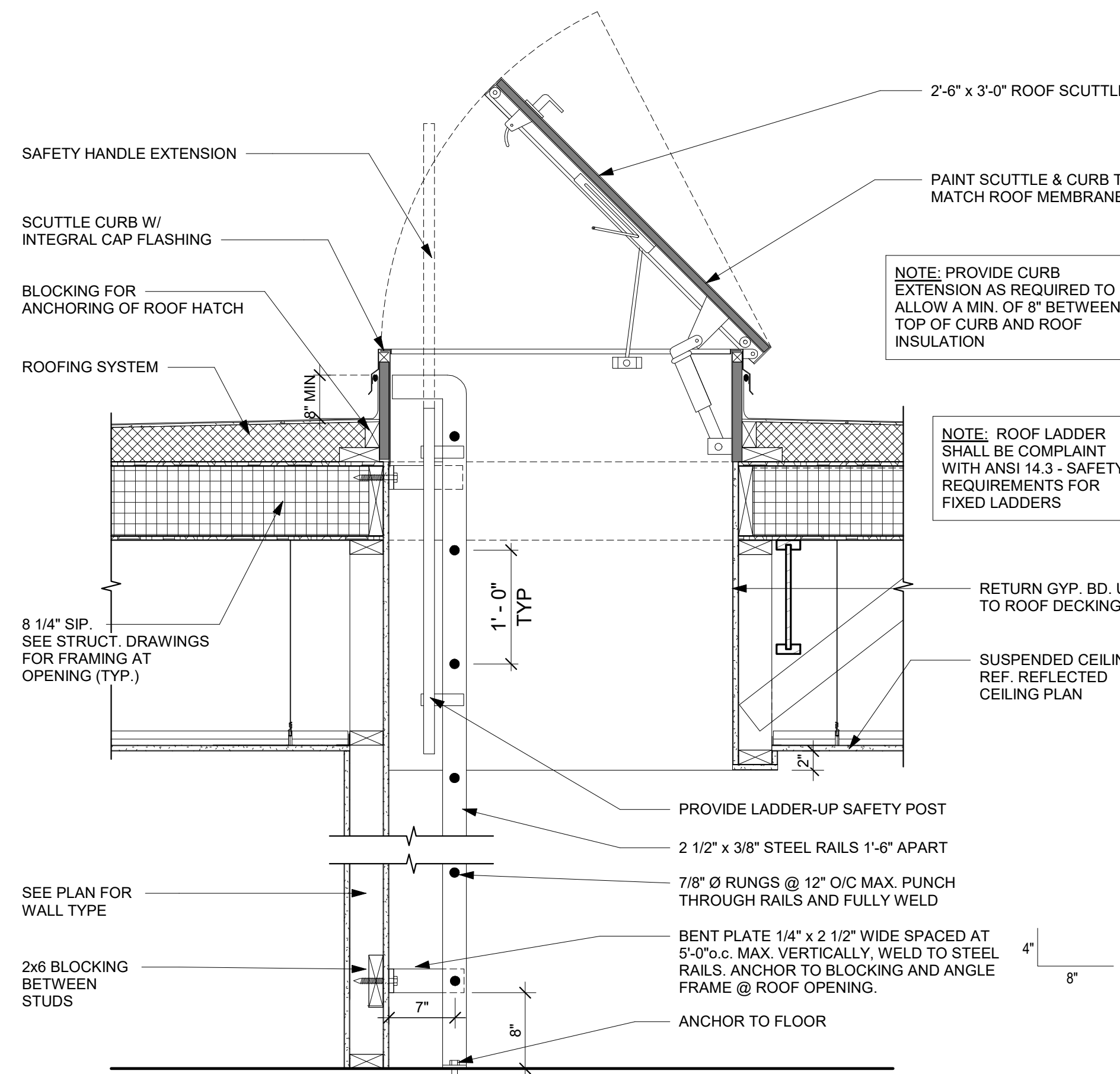




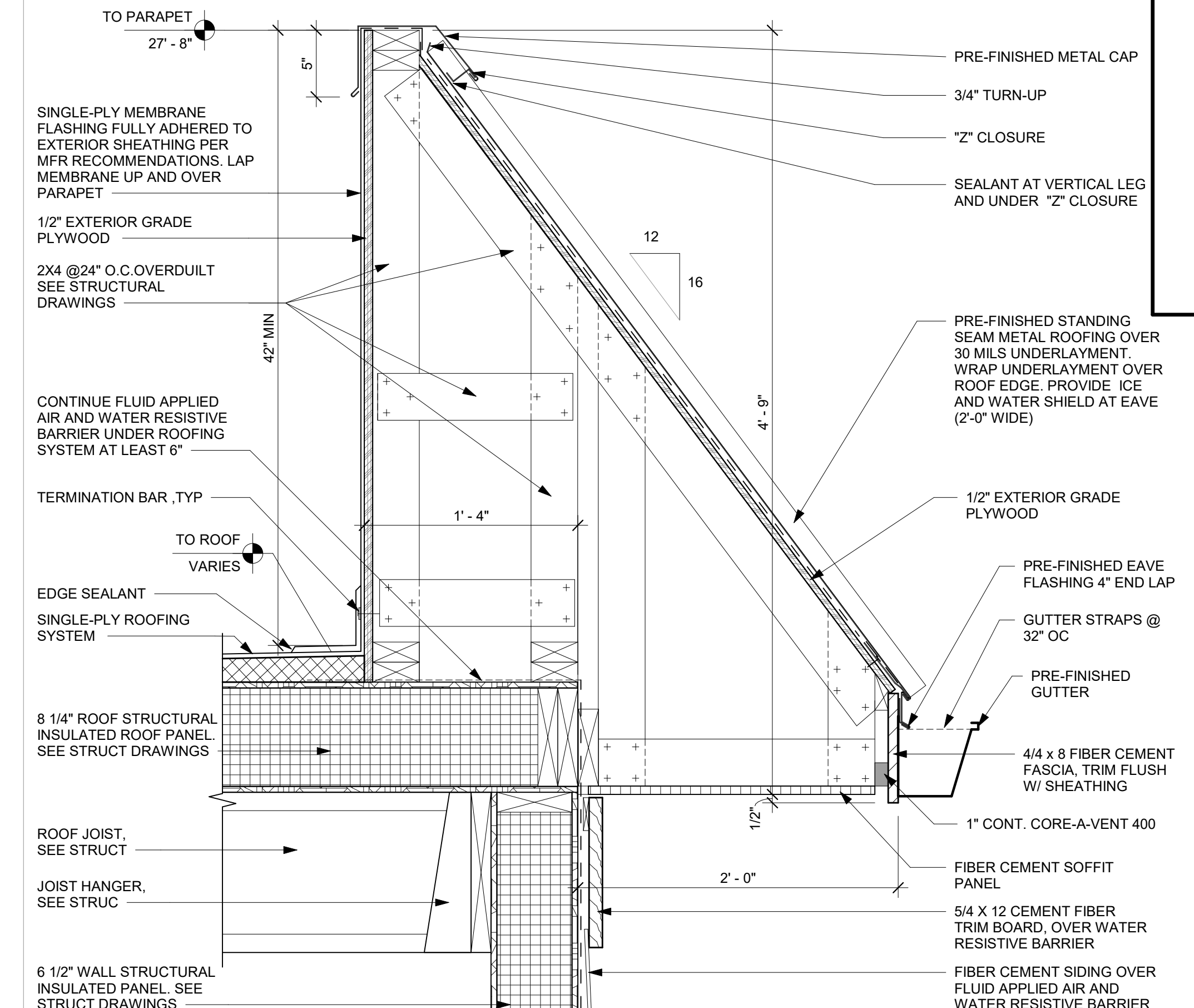
**1 ROOF DRAIN DETAIL**  
1 1/2" = 1'-0"



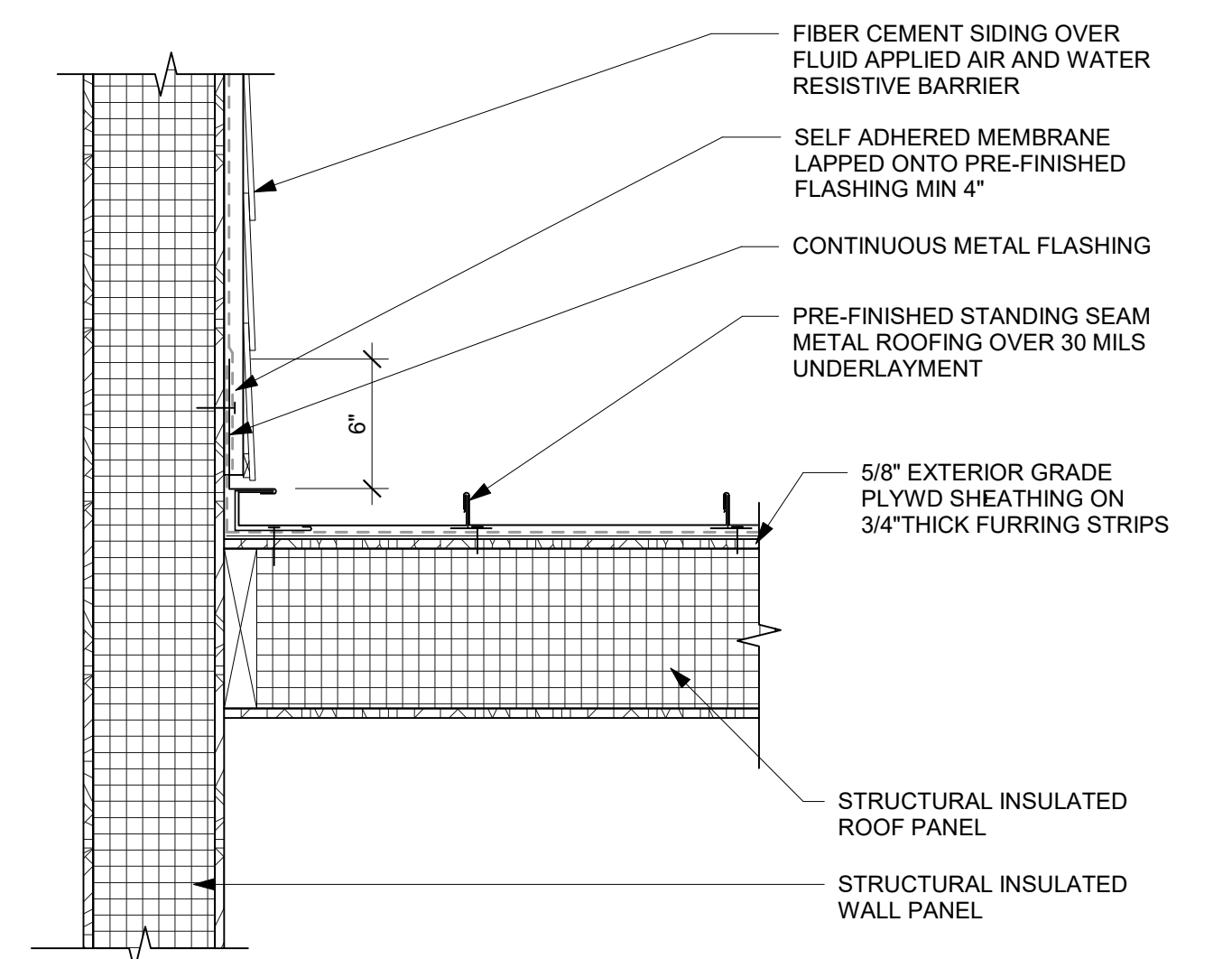
**2 VENT THROUGH ROOF**  
1 1/2" = 1'-0"



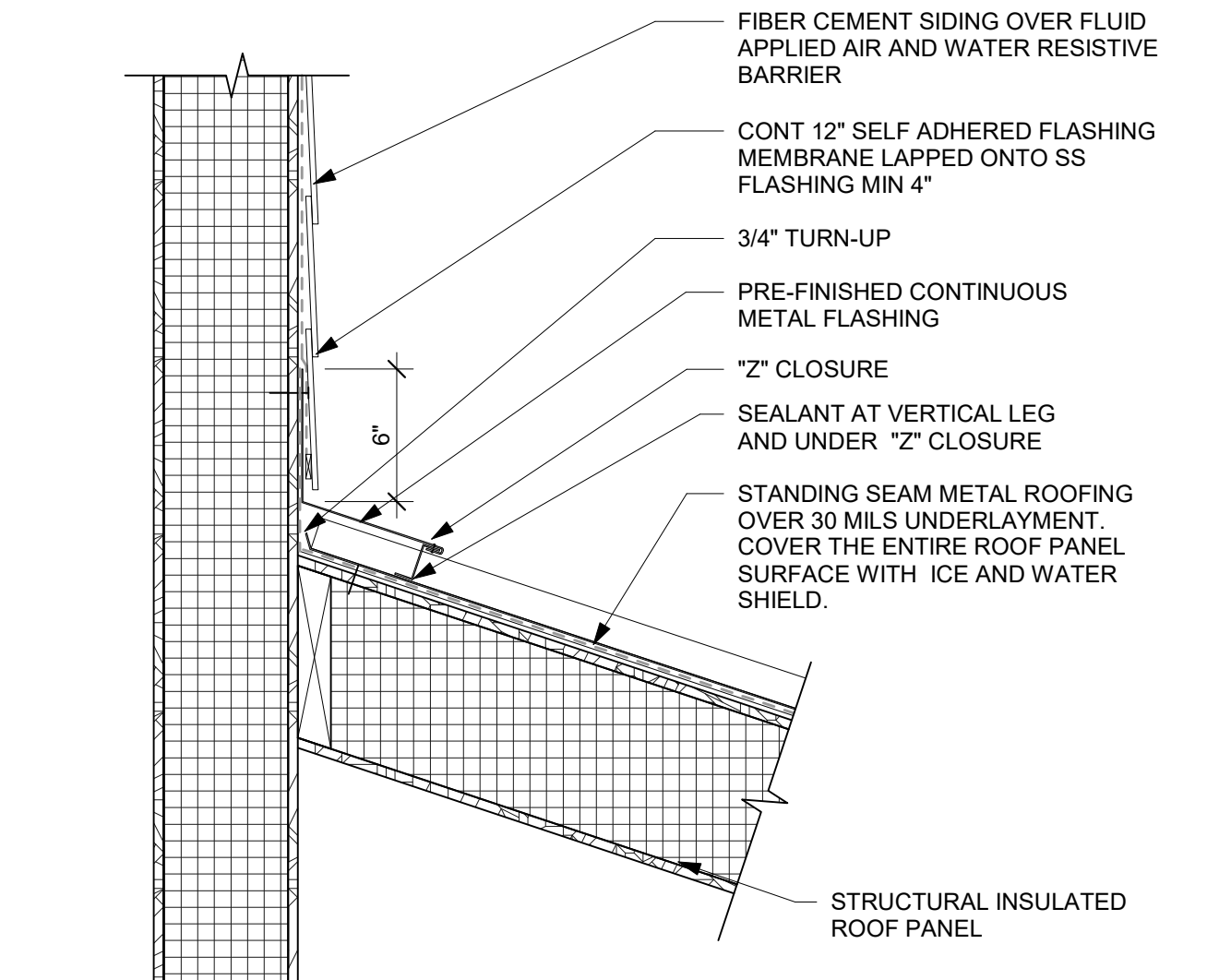
**3 ROOF SCUTTLE**  
1" = 1'-0"



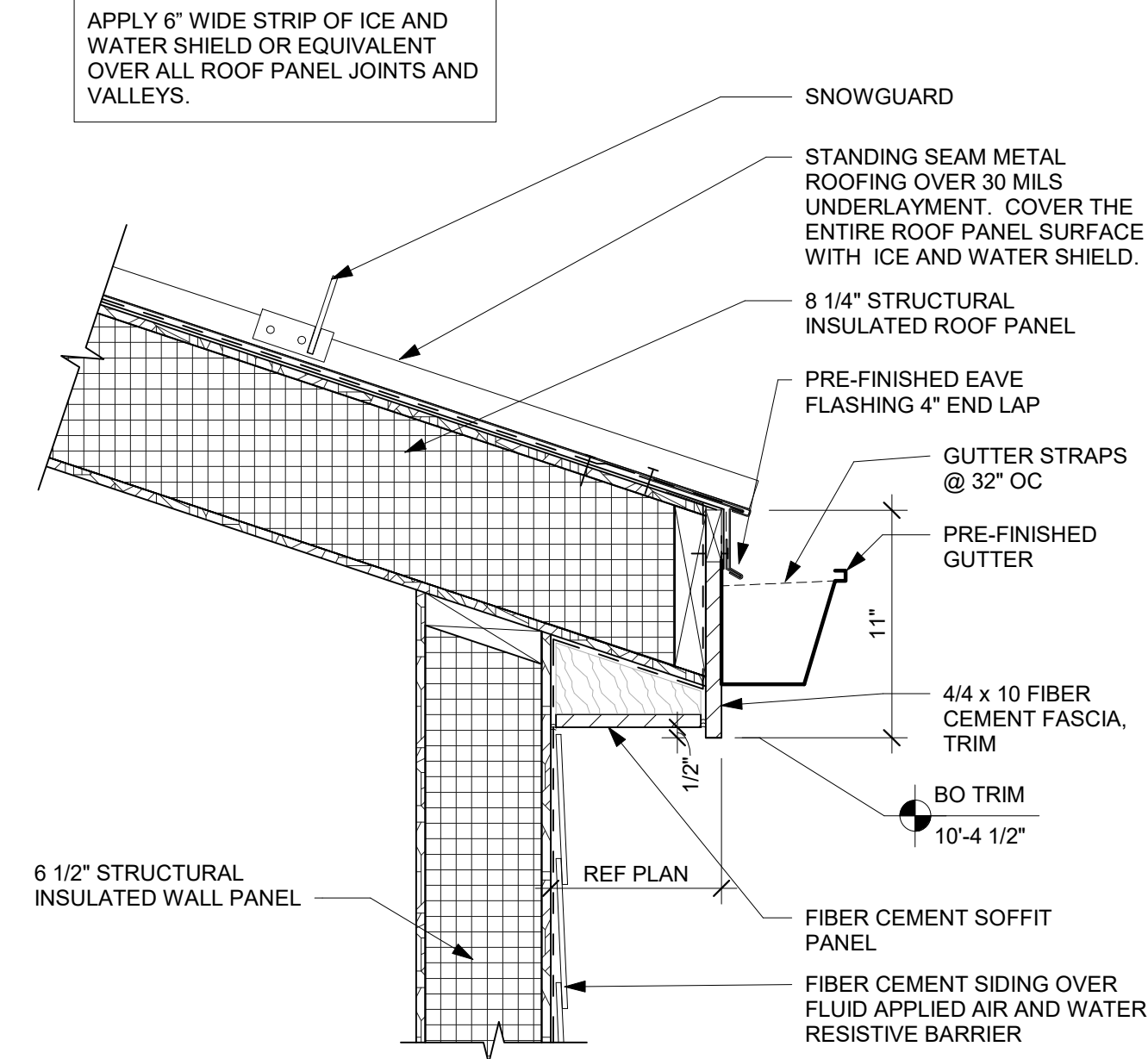
**4 EAVE / ROOF PARAPET DETAIL**  
1 1/2" = 1'-0"



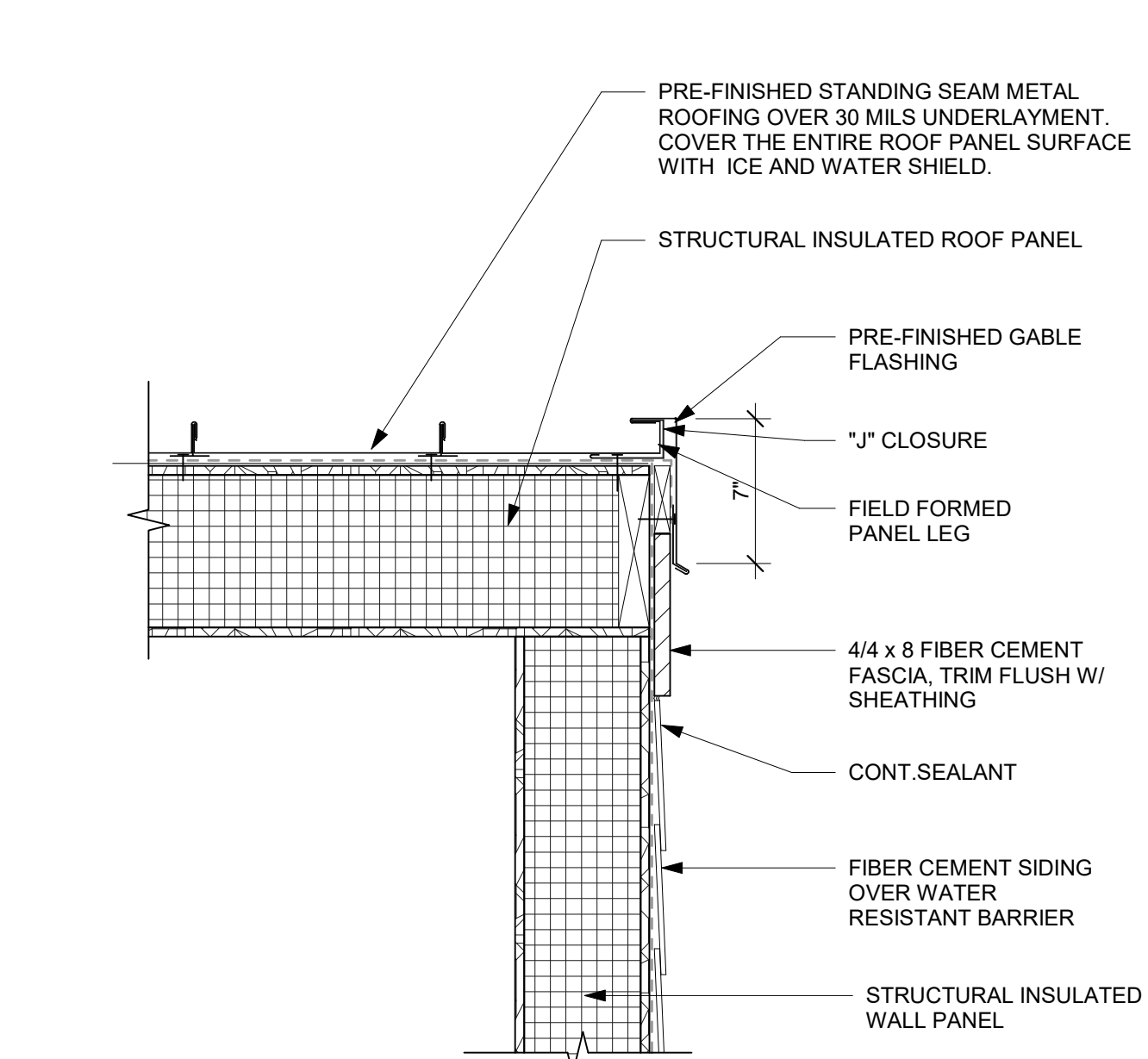
**5 MTL ROOF @ SIDING RAKE DETAIL**  
1 1/2" = 1'-0"



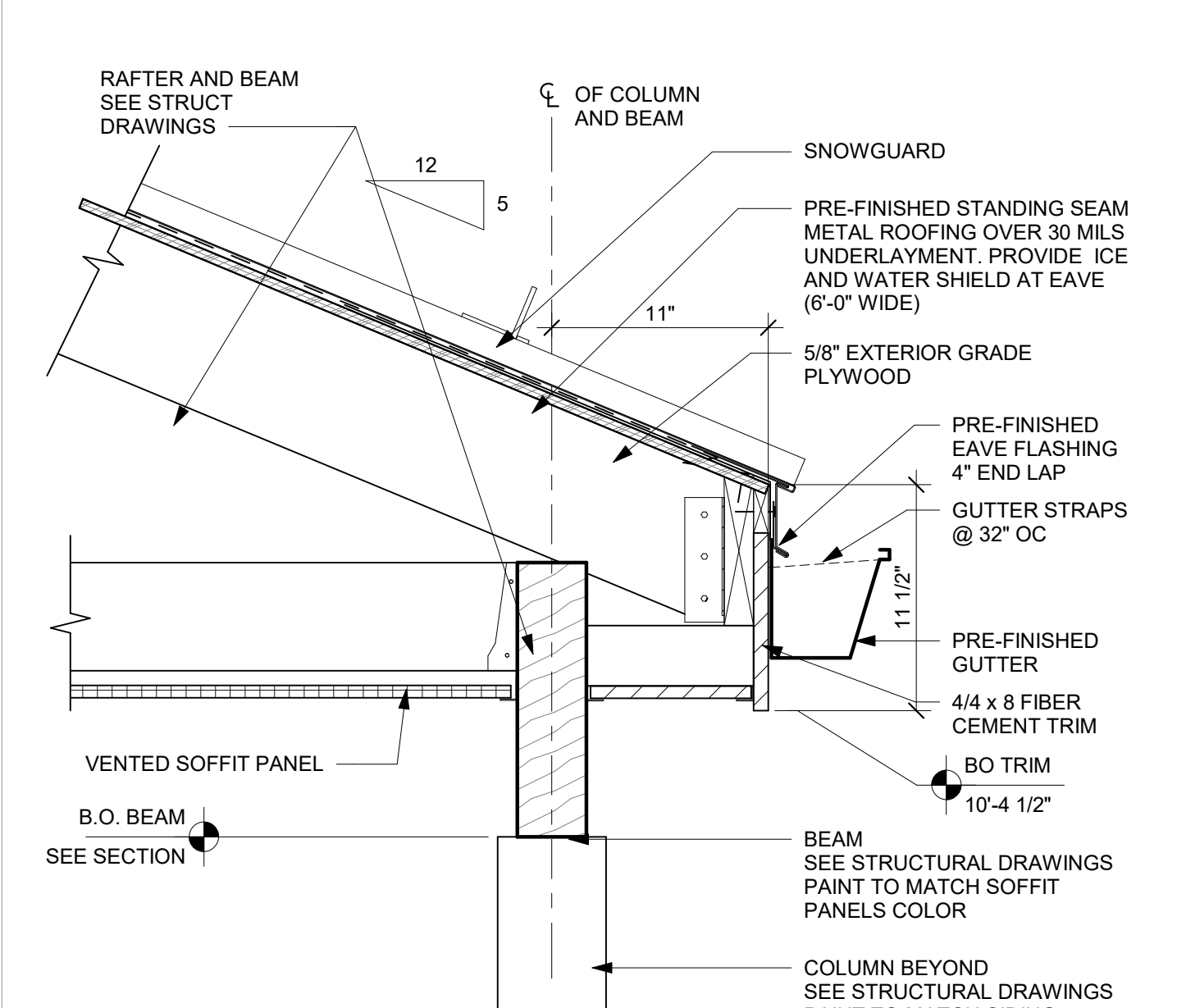
**6 MTL ROOF @ SIDING**  
1 1/2" = 1'-0"



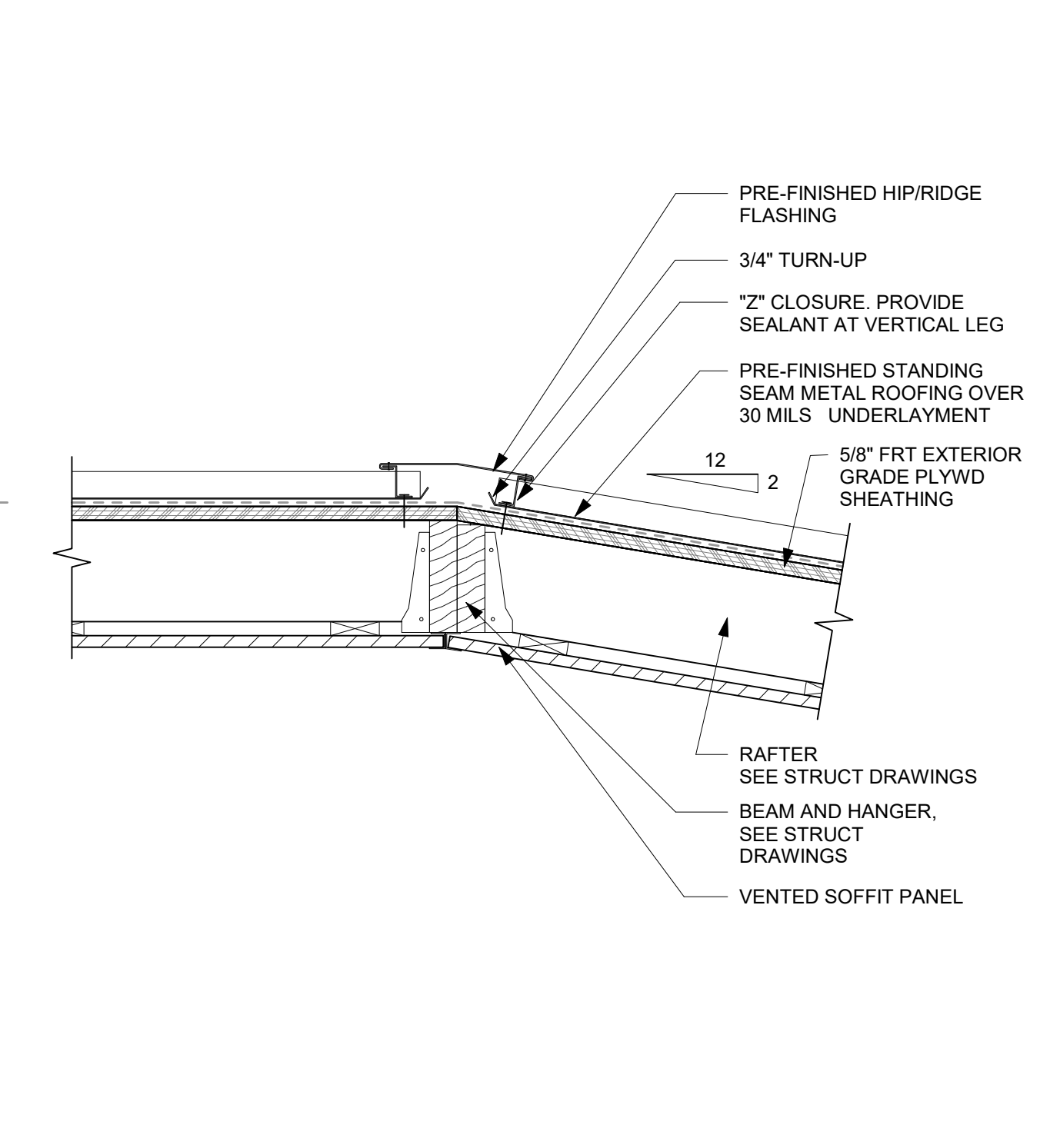
**7 MTL ROOF EAVE / FASCIA DETAIL**  
1 1/2" = 1'-0"



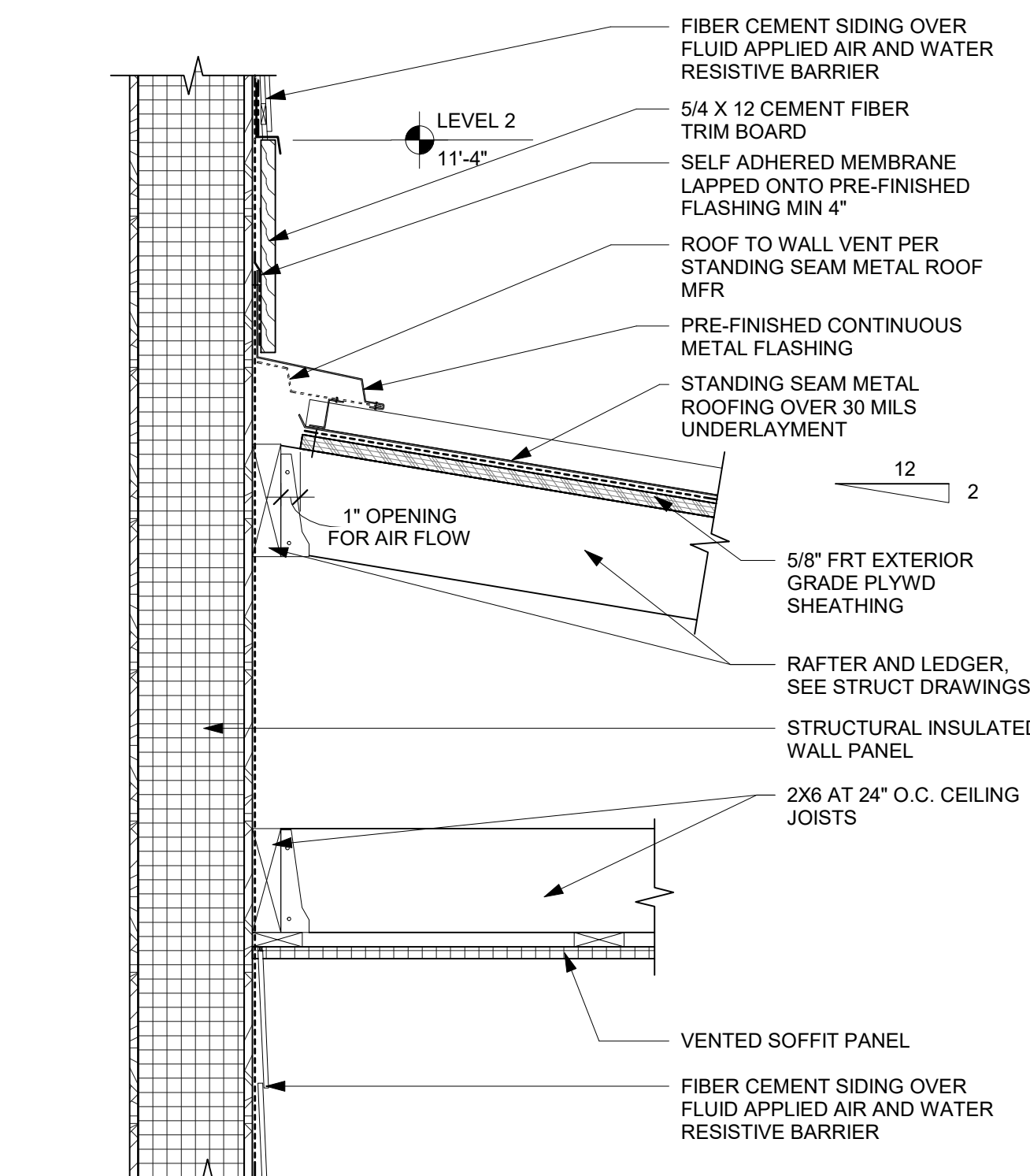
**8 MTL ROOF GABLE DETAIL 1**  
1 1/2" = 1'-0"



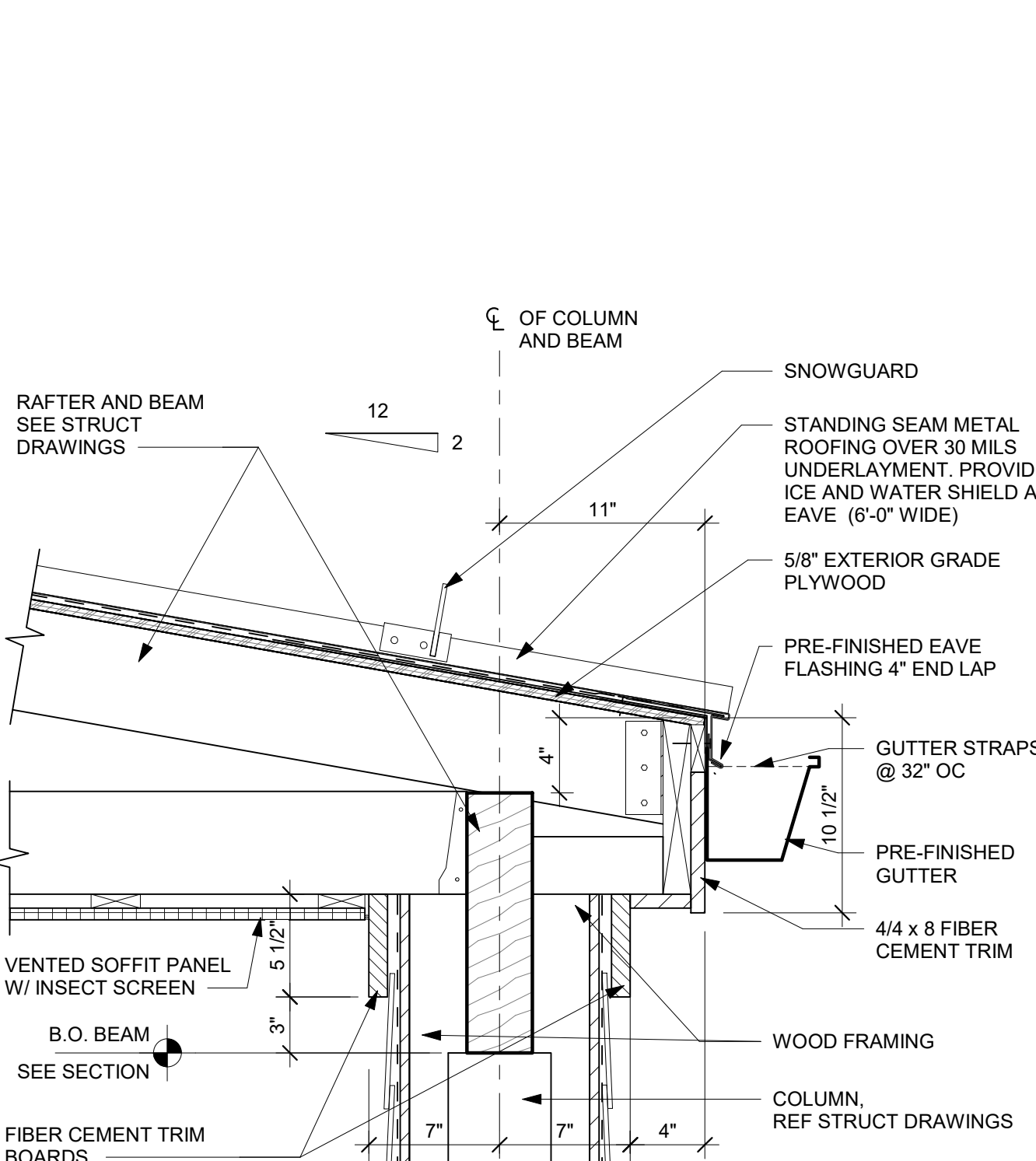
**9 CANOPY EAVE AT BEAM.**  
1 1/2" = 1'-0"



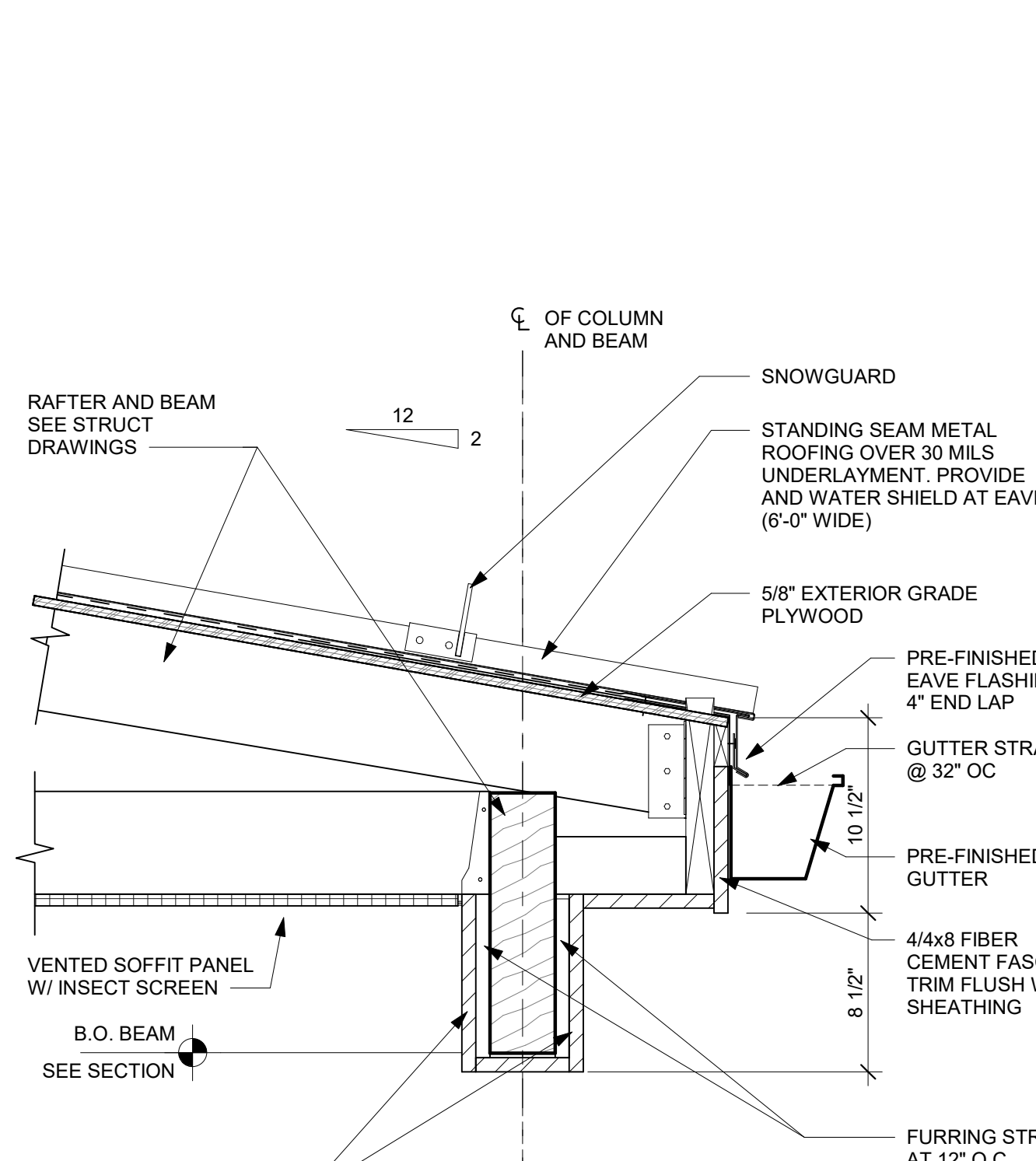
**10 CANOPY MTL ROOF HIP DETAIL**  
1 1/2" = 1'-0"



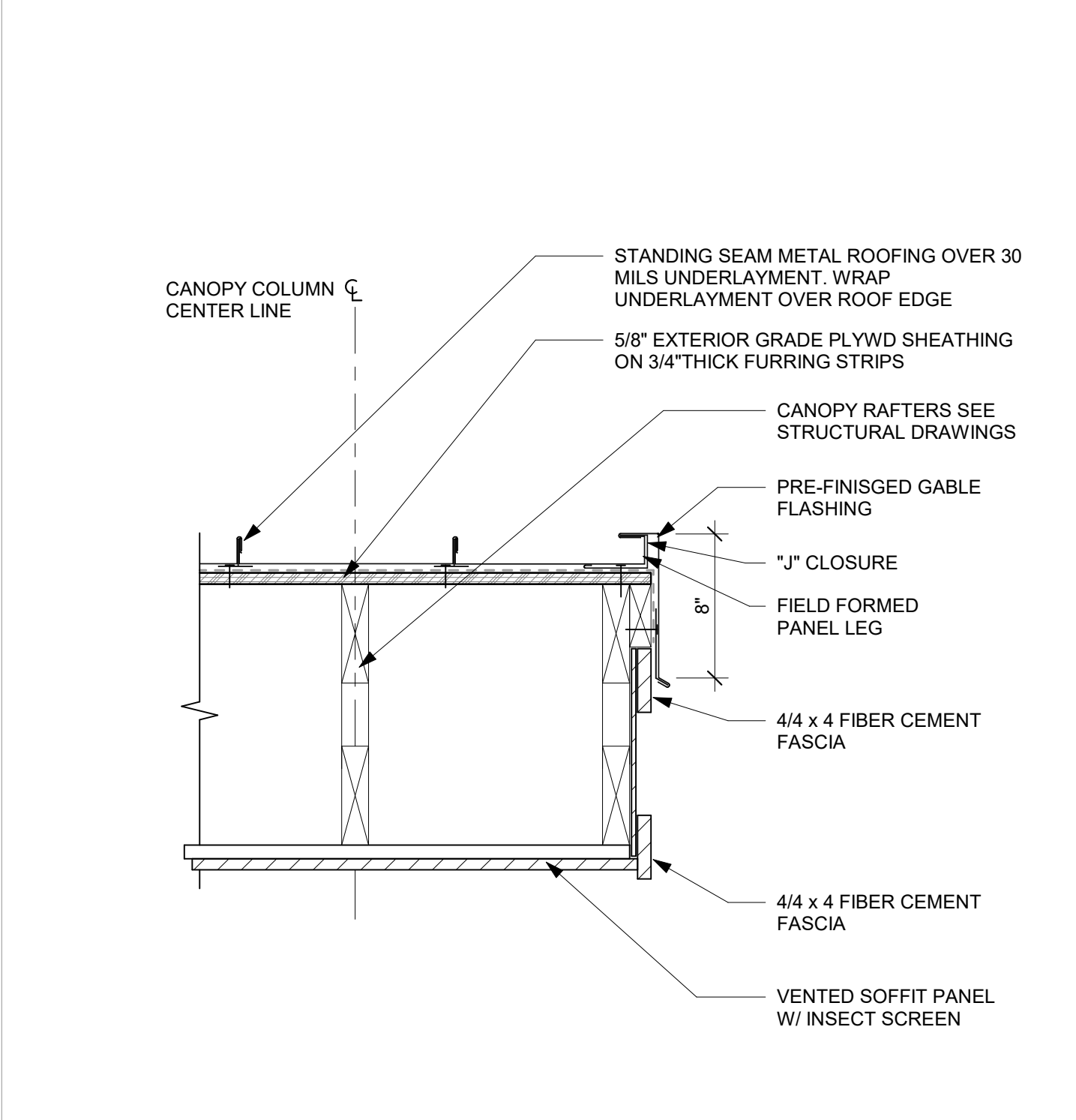
**11 CANOPY MTL ROOF @ SIDING**  
1 1/2" = 1'-0"



**12 CANOPY EAVE AT COLUMNS**  
1 1/2" = 1'-0"



**13 CANOPY EAVE AT BEAM**  
1 1/2" = 1'-0"



**14 MTL ROOF CANOPY GABLE DETAIL**  
1 1/2" = 1'-0"

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Issued 12/21/20

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Revisions

1 REVISIONS FOR PERMIT 5/20/21

**ROOF DETAILS**

Scale As indicated  
 Drawn DML  
 Checked CWB

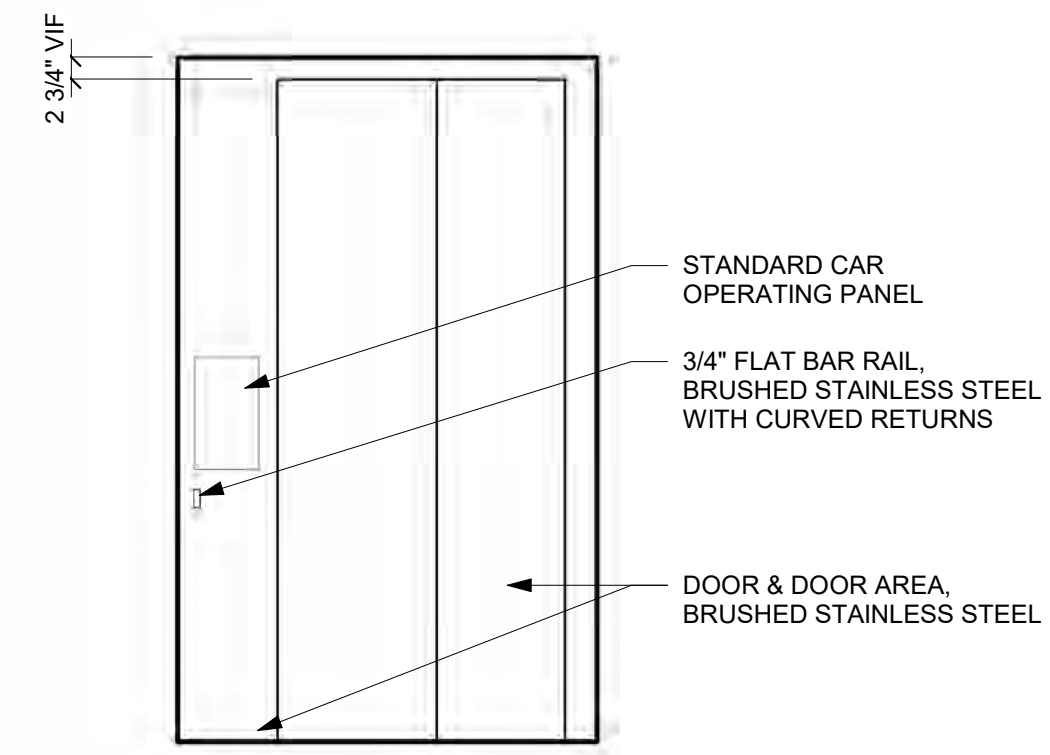
**A503**

100% BID

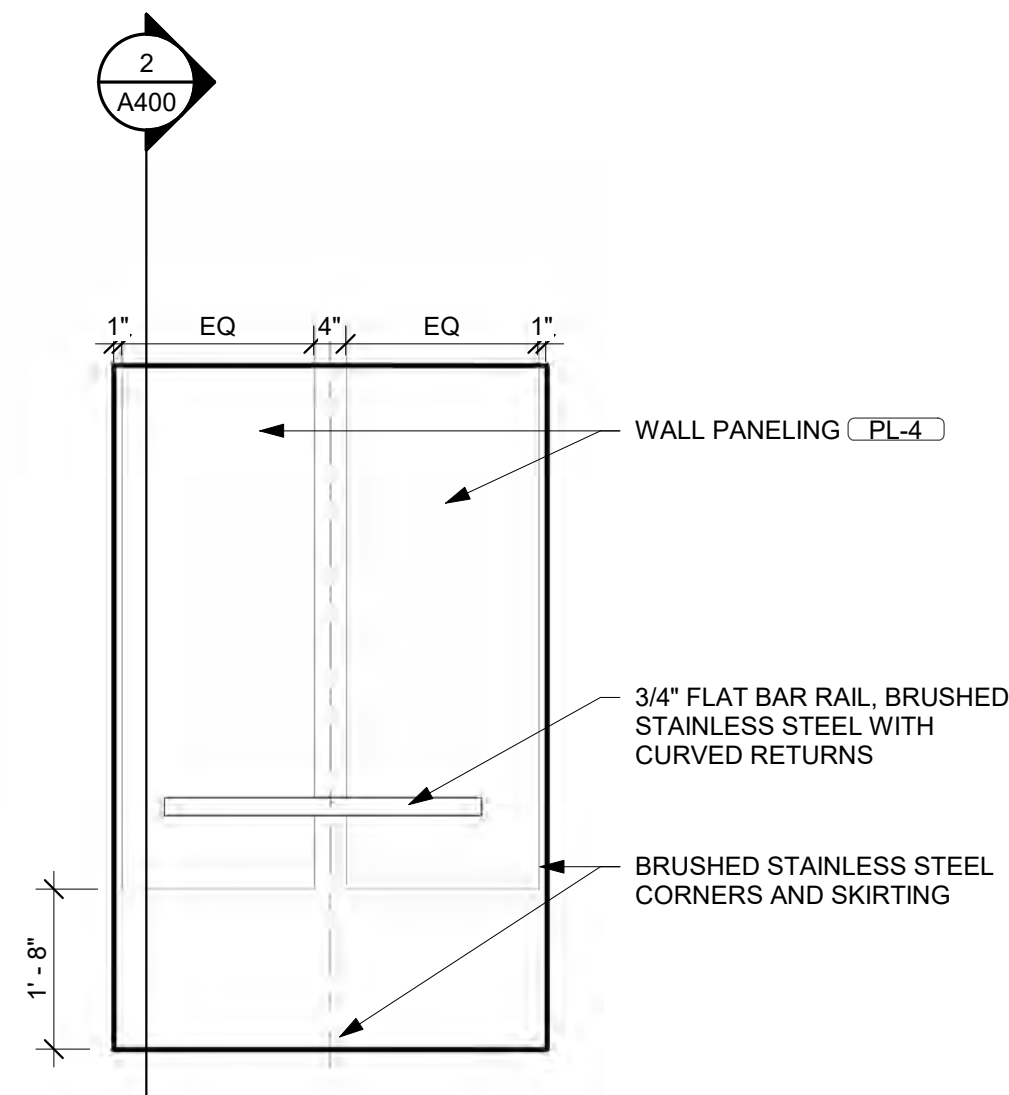




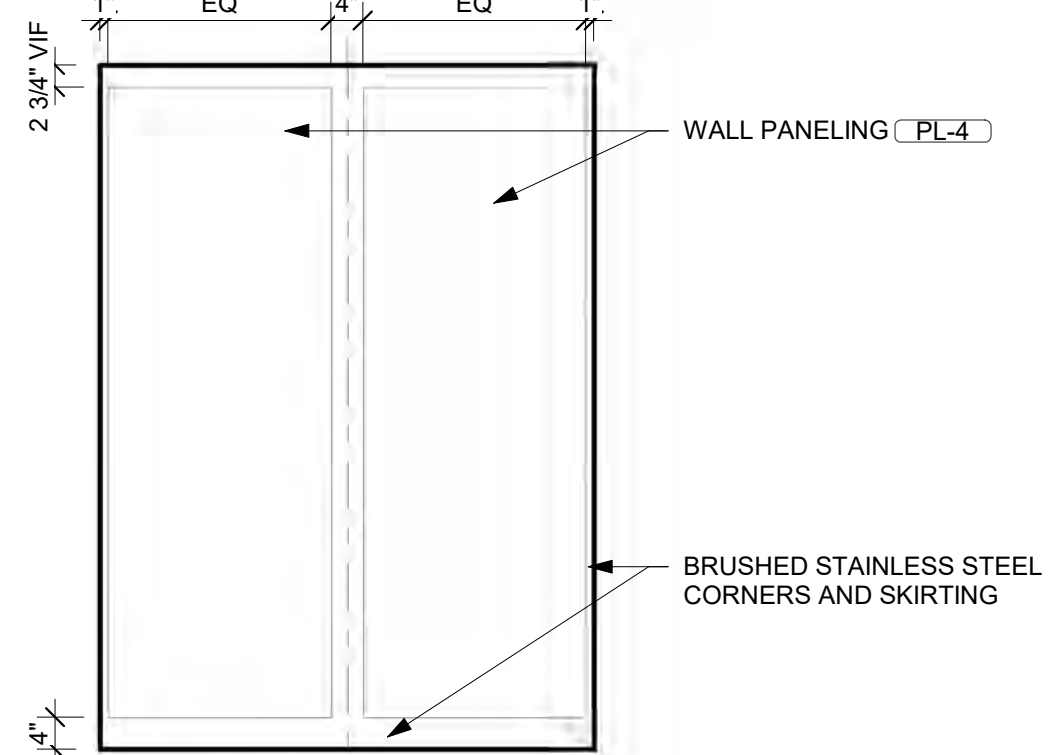




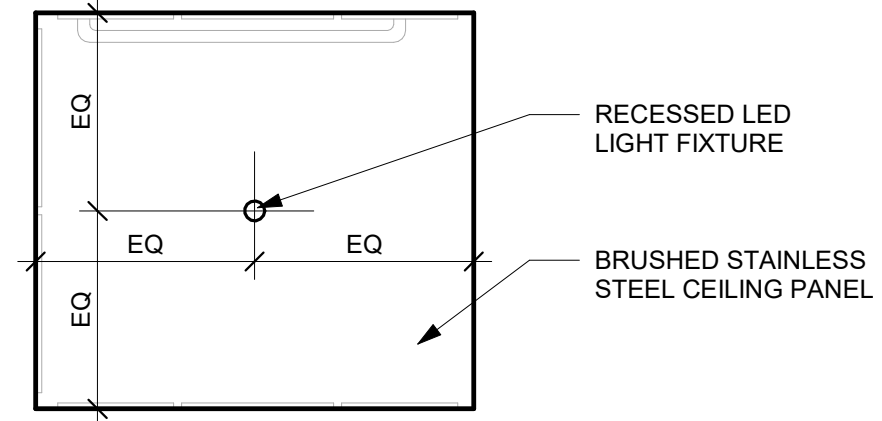
**1 ELEV CAB - FRONT**  
1/2" = 1'-0"



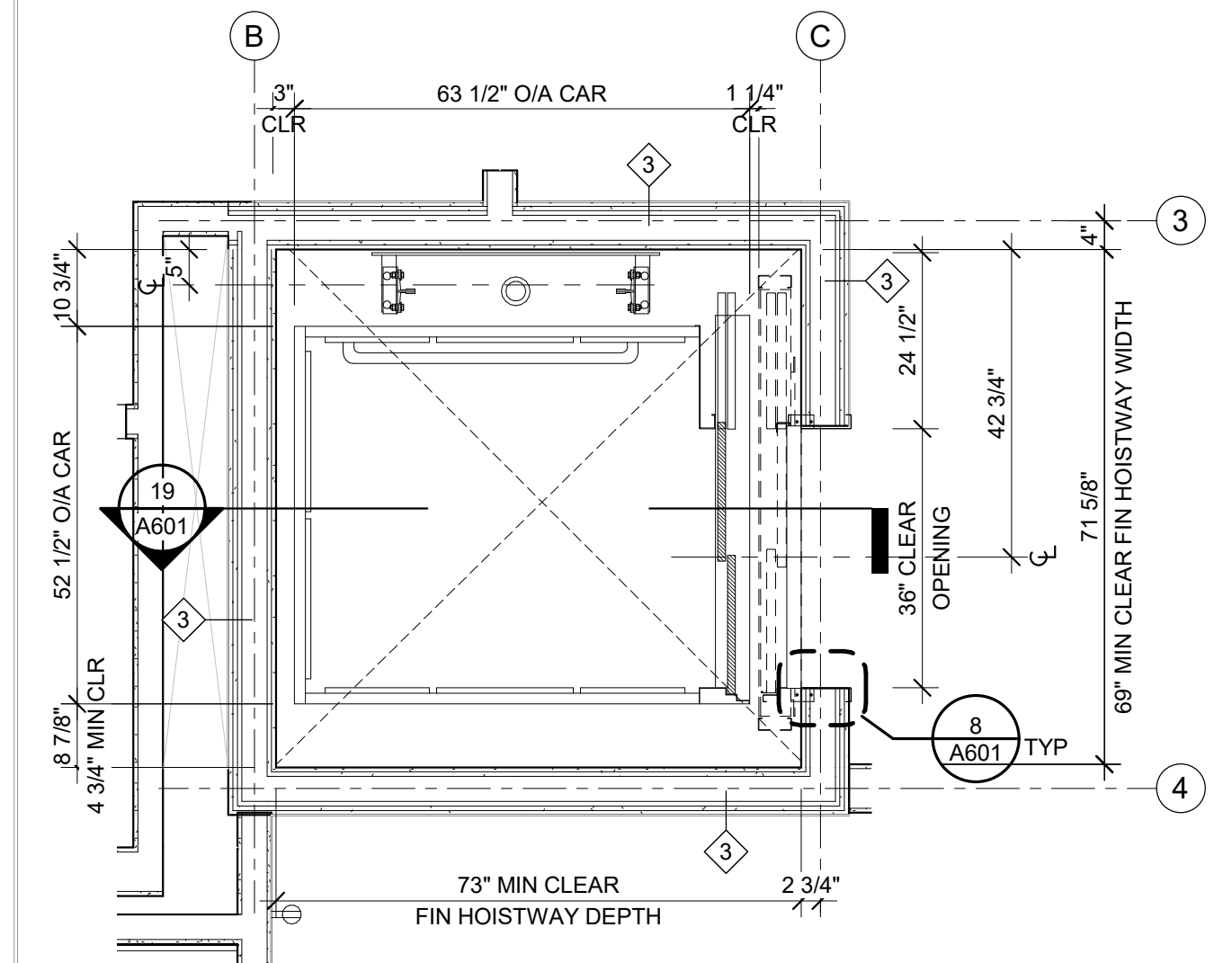
**2 ELEV CAB - SIDE**  
1/2" = 1'-0"



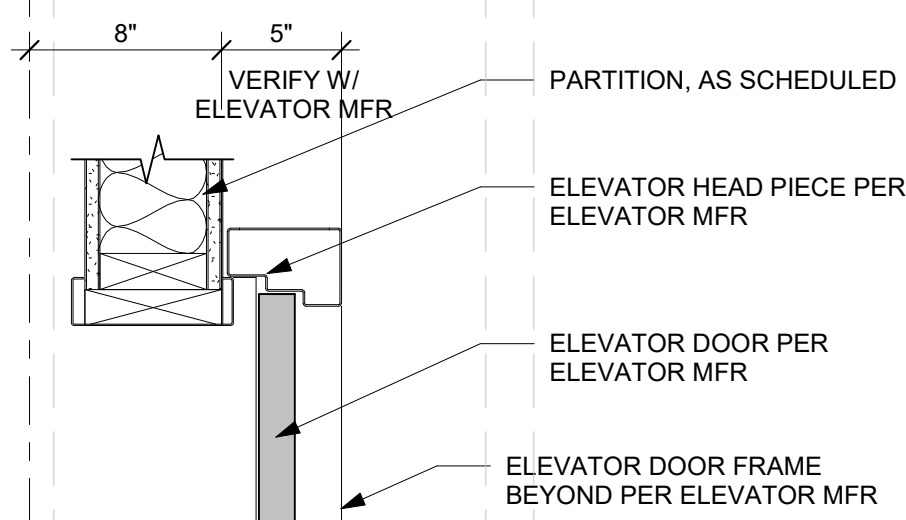
**3 ELEV CAB - REAR**  
1/2" = 1'-0"



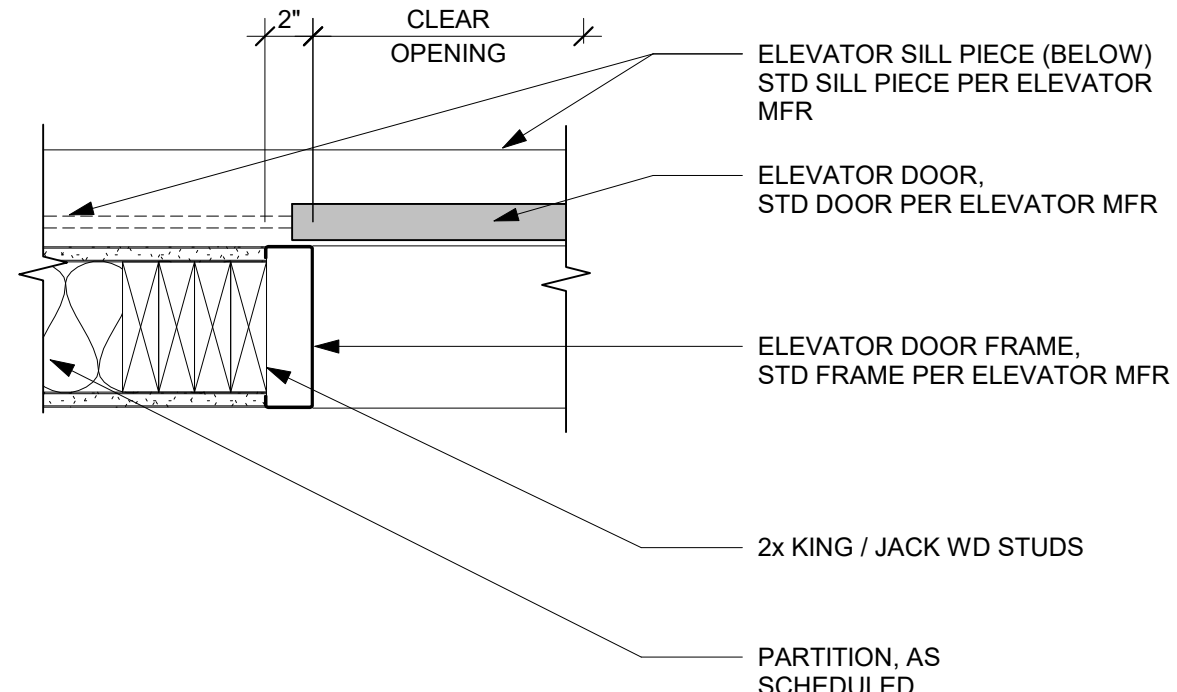
**4 ELEV - RCP**  
1/2" = 1'-0"



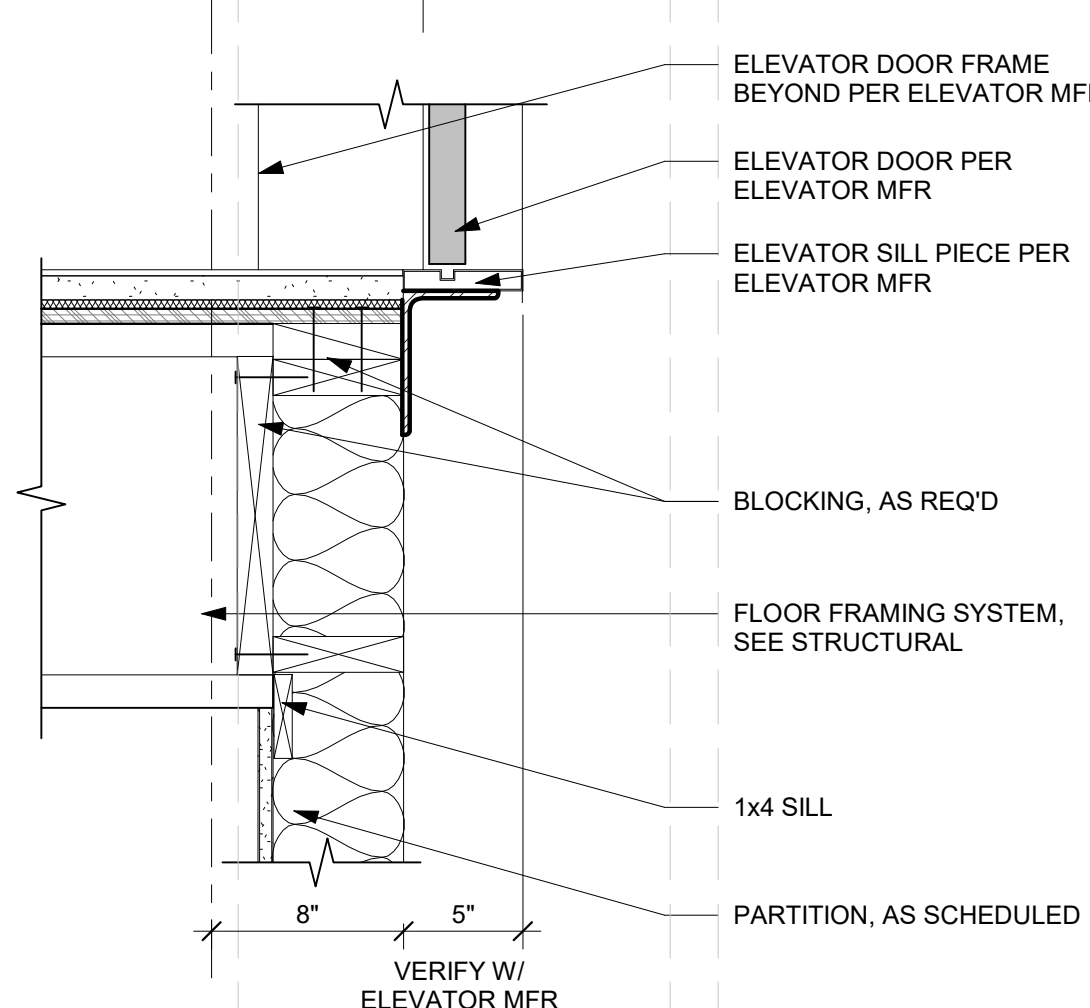
**5 ELEV - LEVEL 2**  
1/2" = 1'-0"



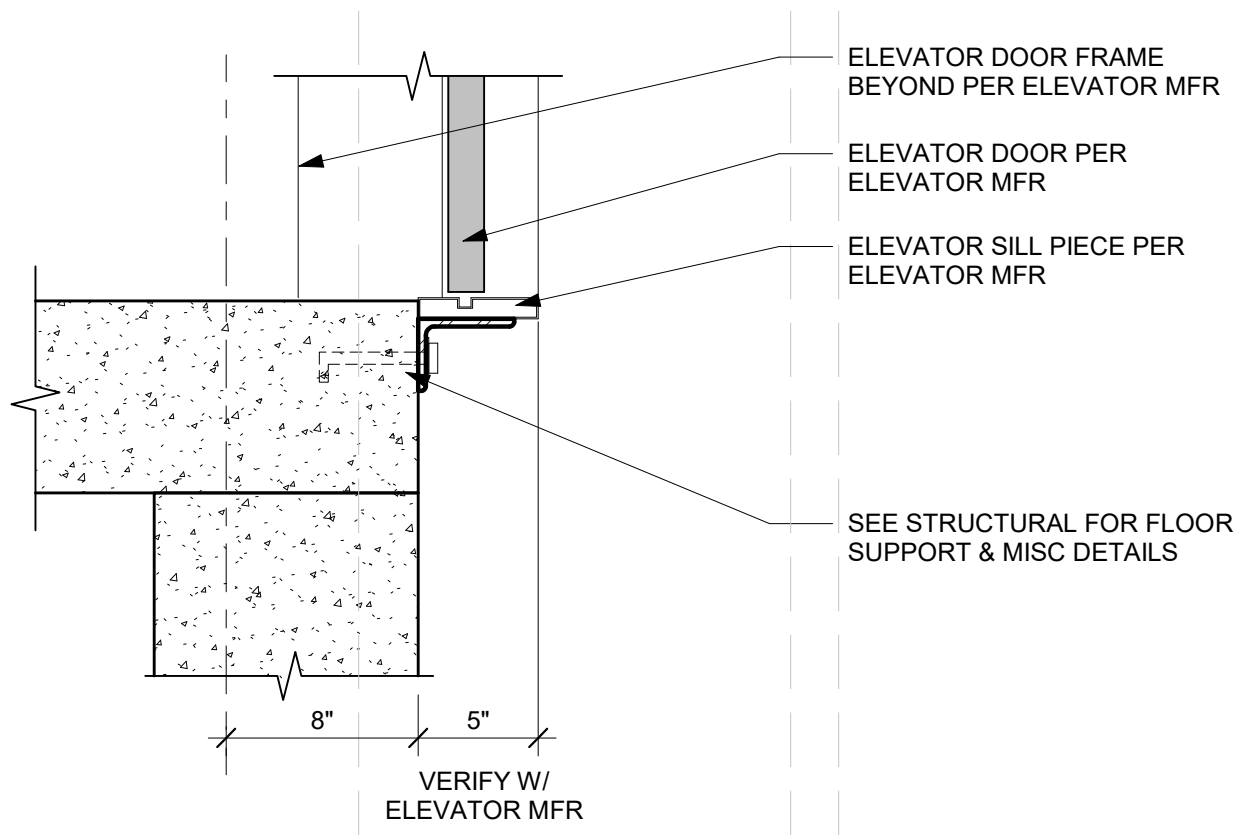
**7 ELEV HEAD DETAIL**  
1 1/2" = 1'-0"



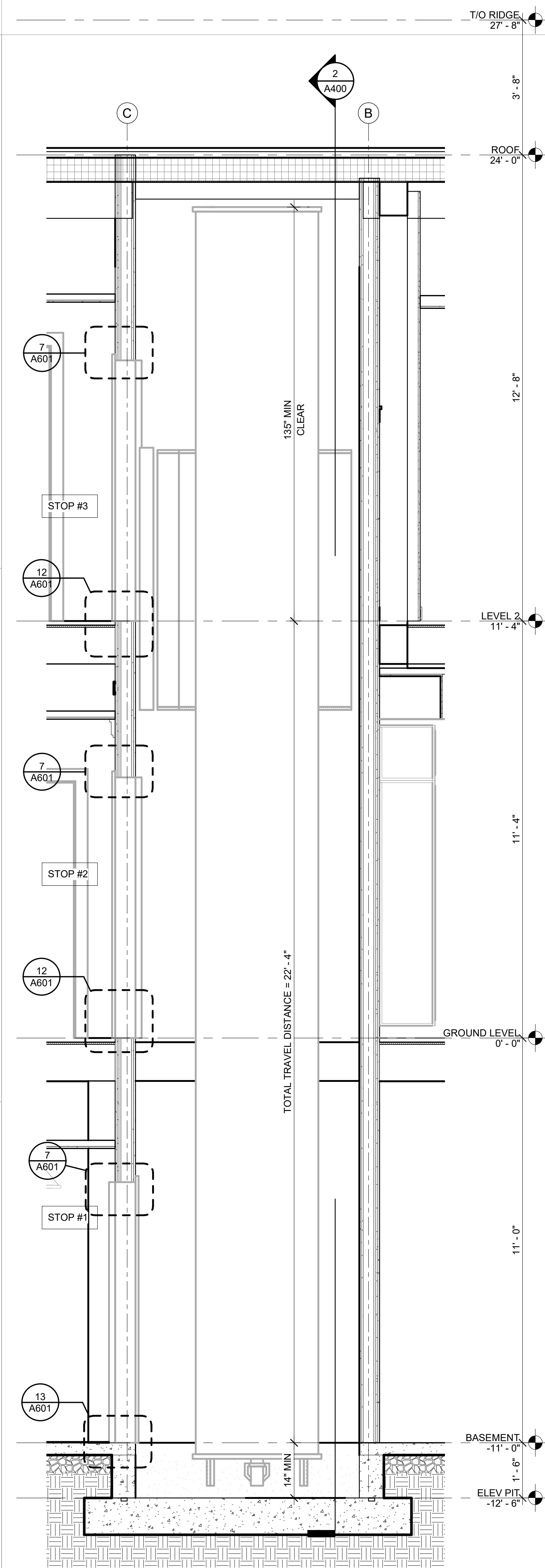
**8 ELEV JAMB DETAIL**  
1 1/2" = 1'-0"



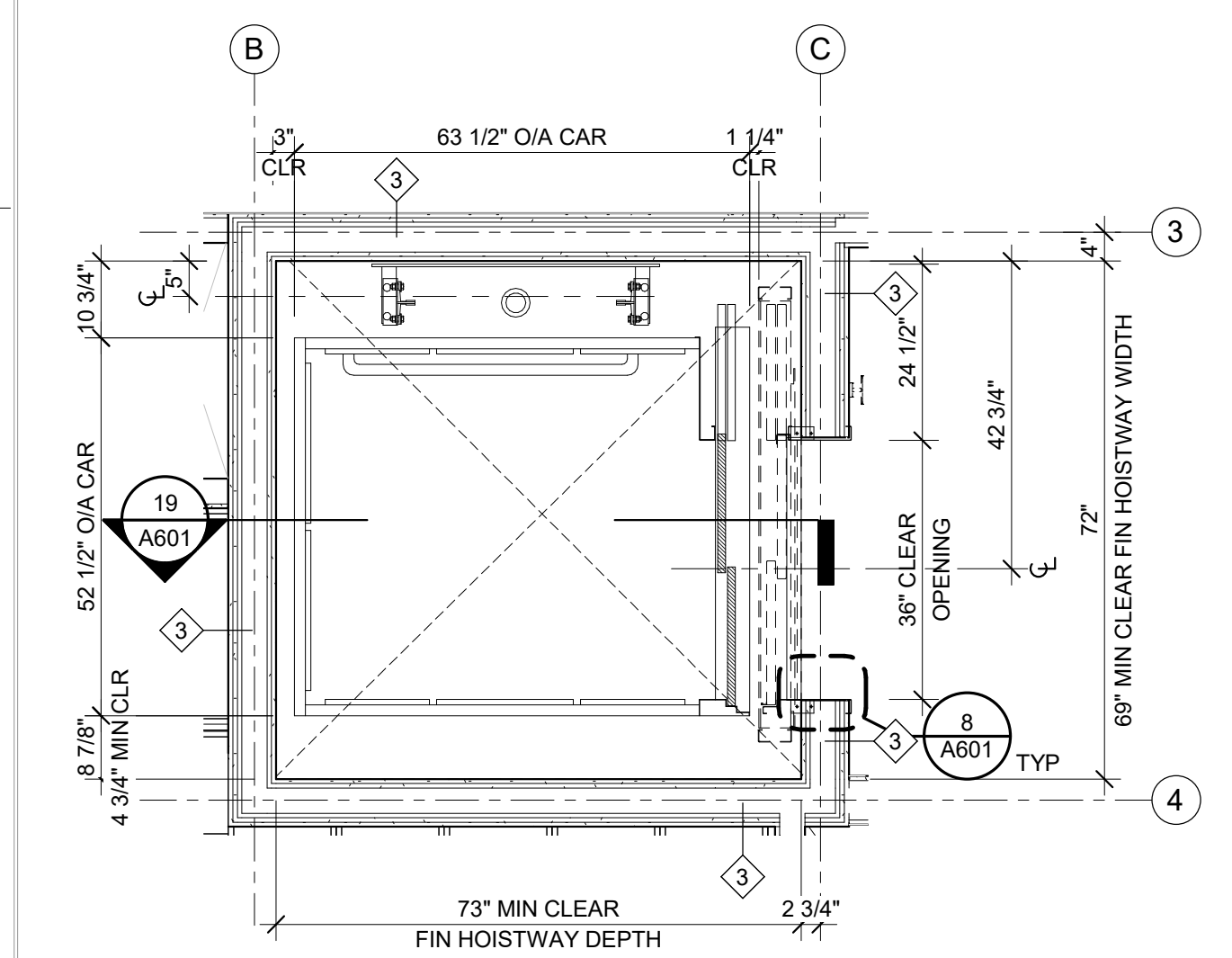
**12 ELEV SILL @ TYP FLOOR**  
1 1/2" = 1'-0"



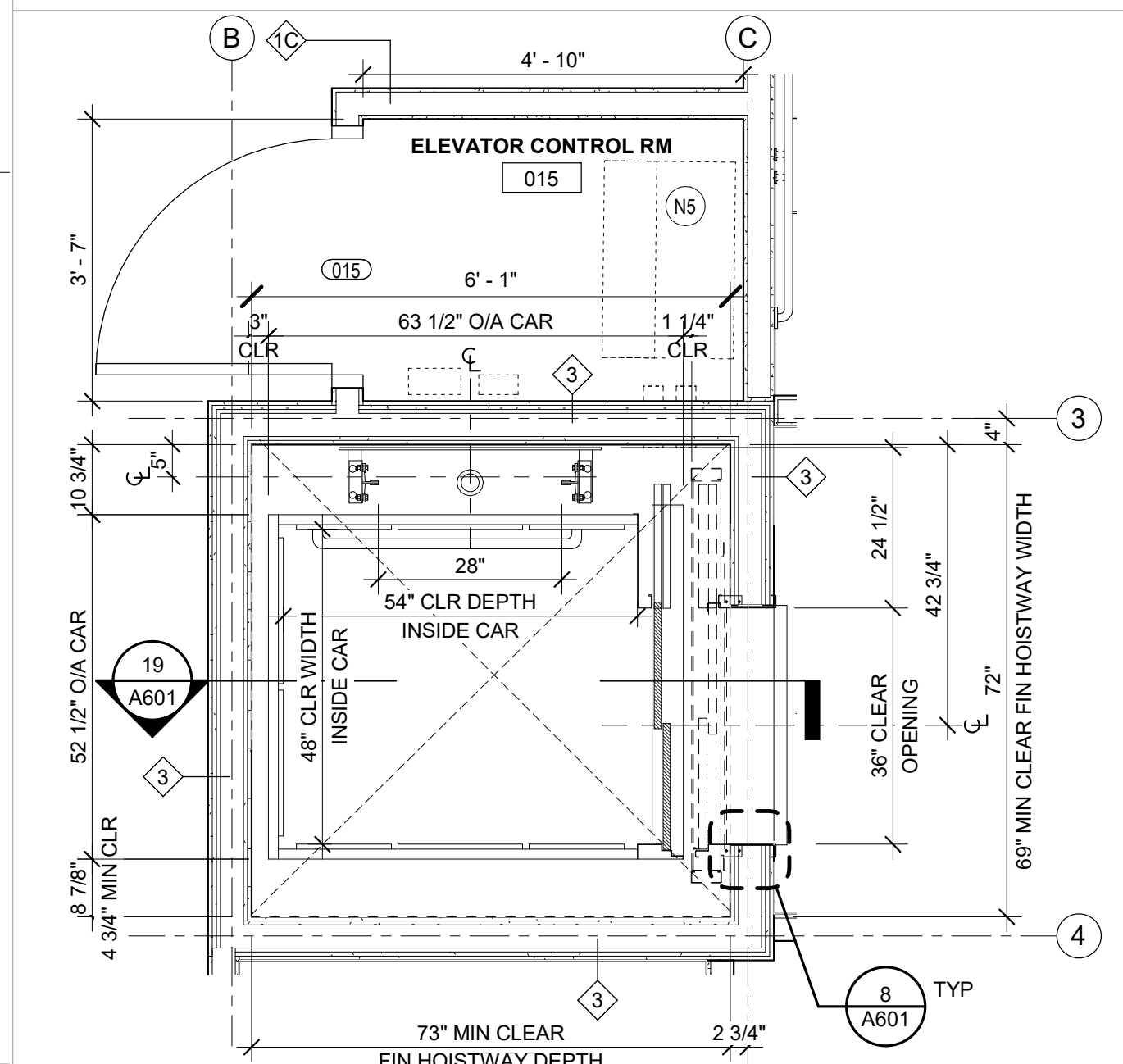
**13 ELEV SILL @ CONCRETE**  
1 1/2" = 1'-0"



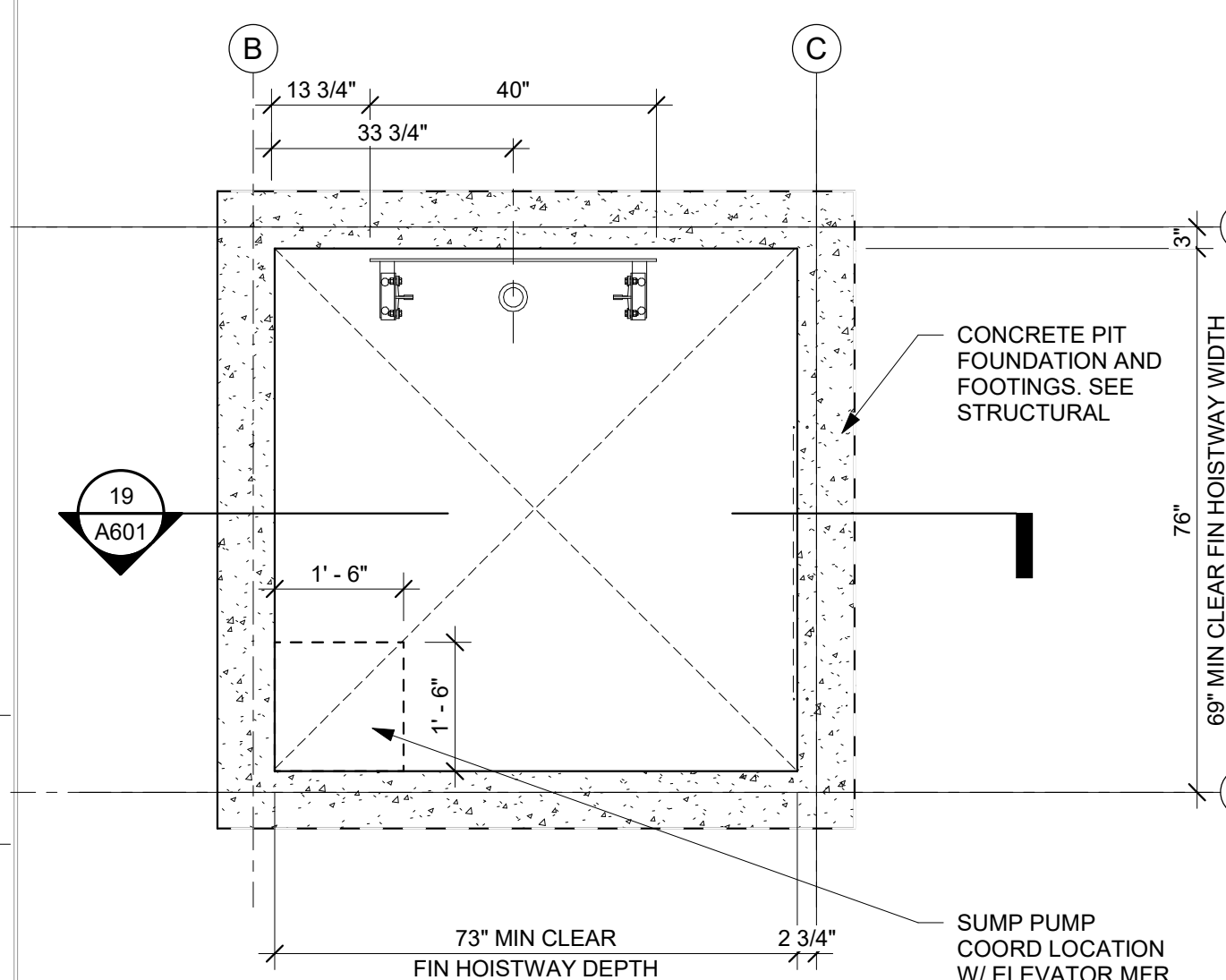
**19 E/W SECTION @ ELEVATOR**  
1/2" = 1'-0"



**10 ELEV - LEVEL 1**  
1/2" = 1'-0"

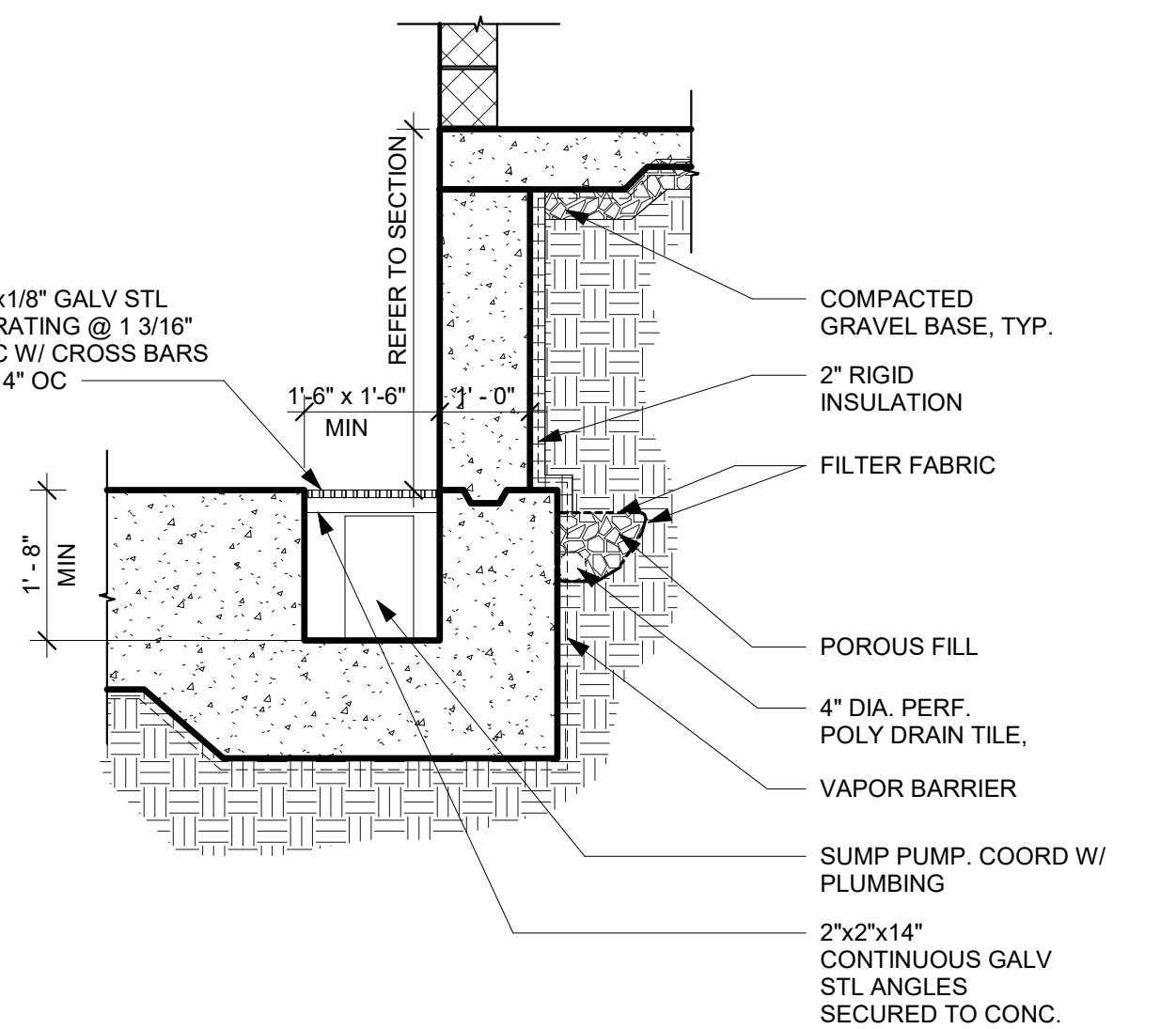


**15 ELEV - LEVEL 0**  
1/2" = 1'-0"

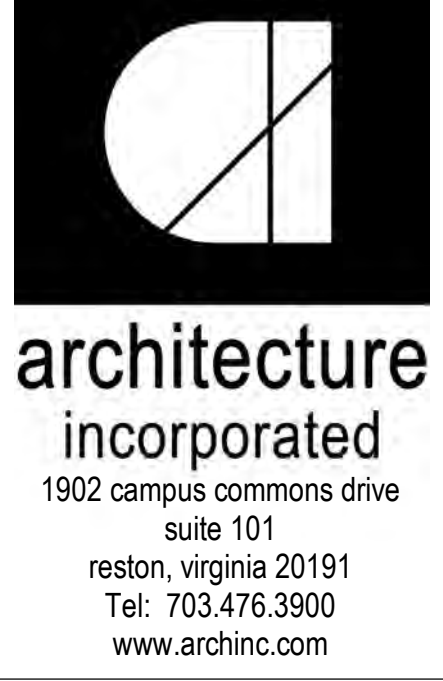


**20 ELEV PIT**  
1/2" = 1'-0"

**COORDINATE WITH ELEVATOR'S MANUFACTURER**  
PROVIDE ELEVATOR CONTROL FOR ACCESS FOR USE FROM ALL FLOORS AND ALSO CONTROL ACCESS BETWEEN THE BASEMENT LEVEL AND THE OTHER LEVELS.



**18 ELEVATOR SUMP DETAIL**  
1/2" = 1'-0"



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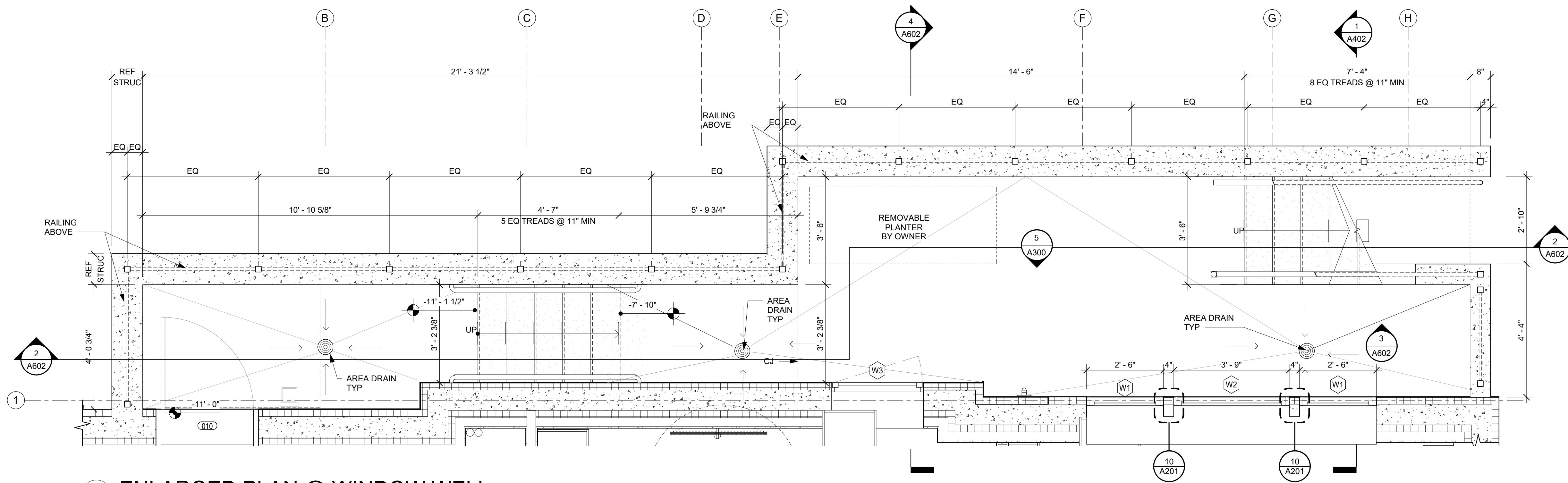
**VERTICAL CIRCULATION - LIFT**

Scale As Indicated  
Drawn Author  
Checked Checker

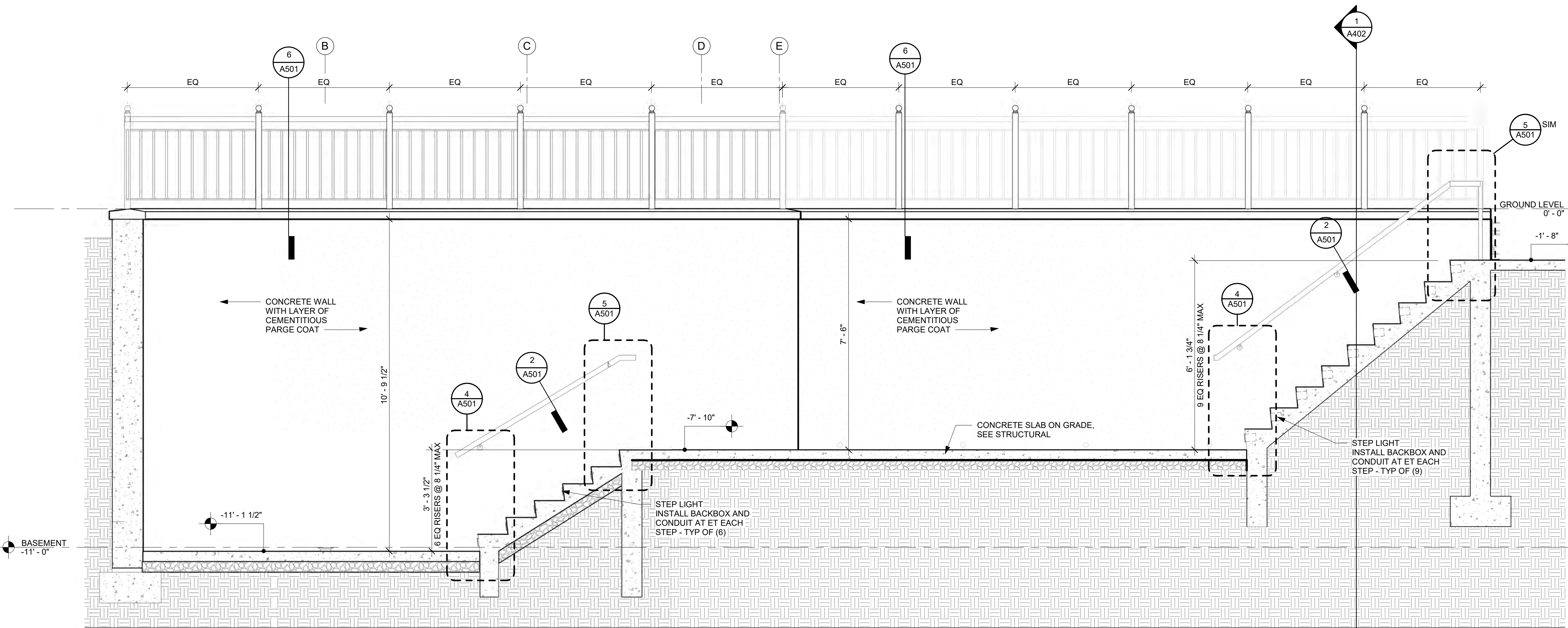
**A601**

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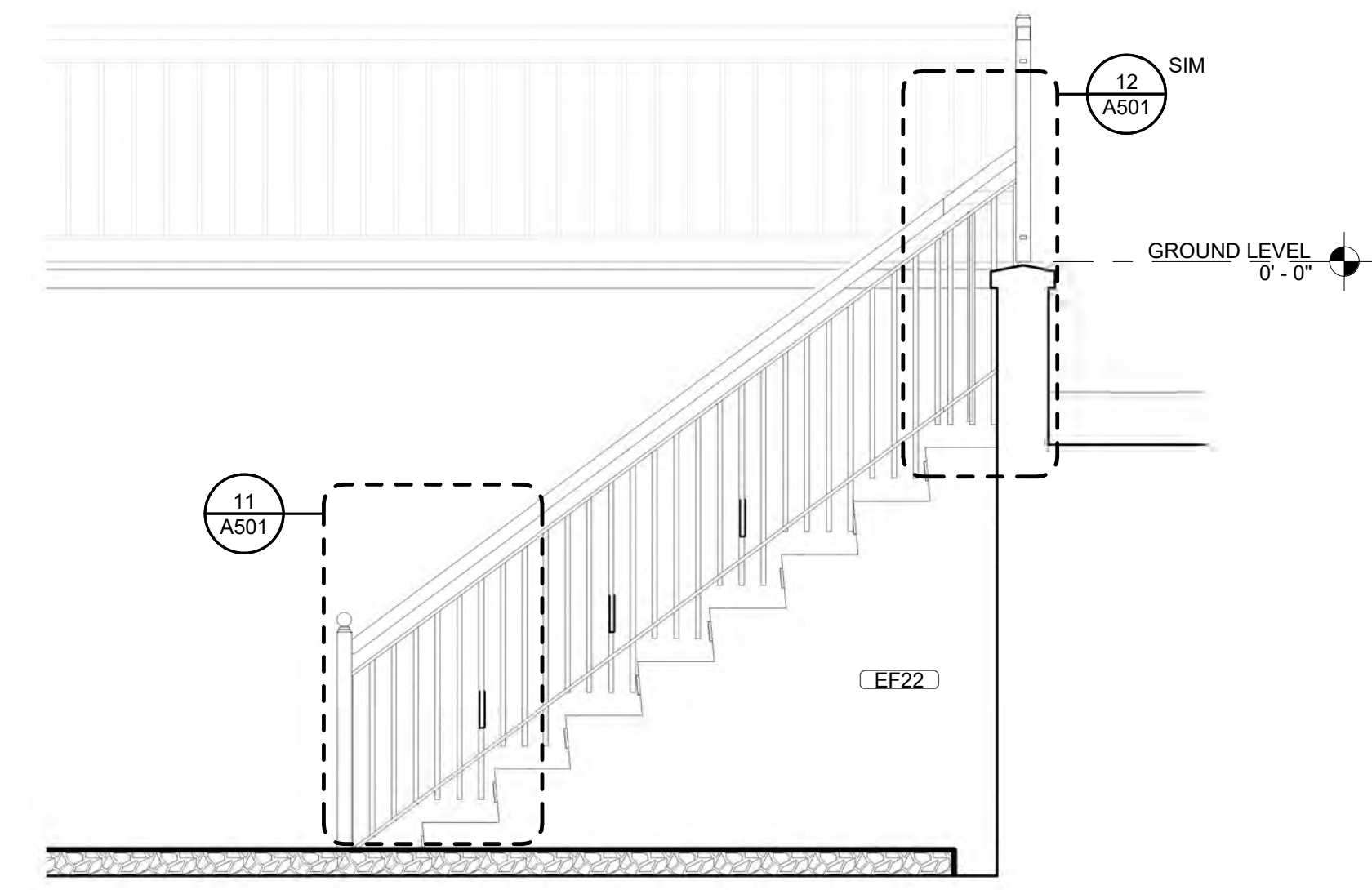




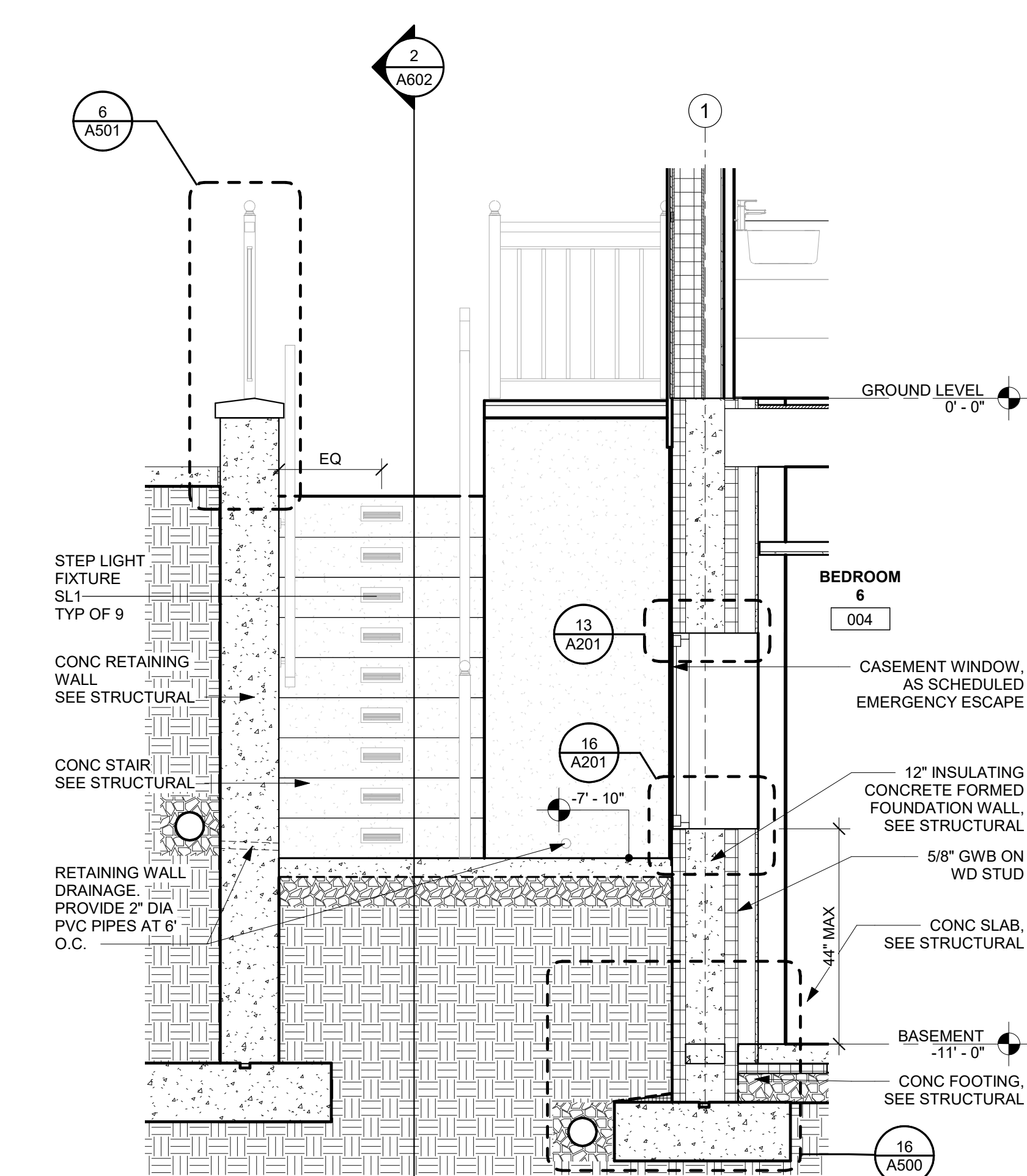
**1 ENLARGED PLAN @ WINDOW WELL**  
1/2" = 1'-0"



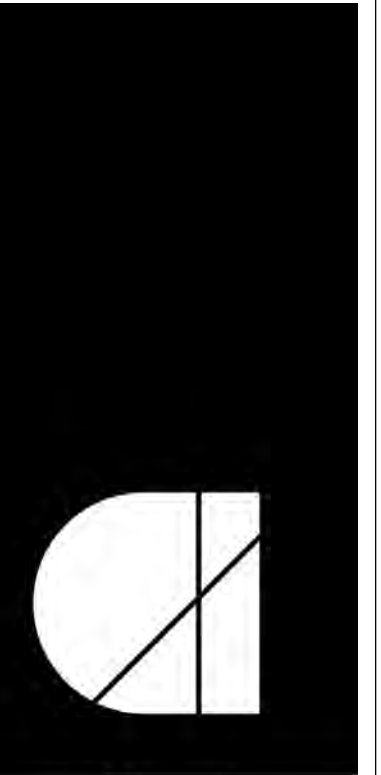
**2 WINDOW WELL SECTION**  
1/2" = 1'-0"



**3 NORTH WDW WELL, NORTH**  
1/2" = 1'-0"



**4 NORTH WDW WELL @ BEDROOM**  
1/2" = 1'-0"



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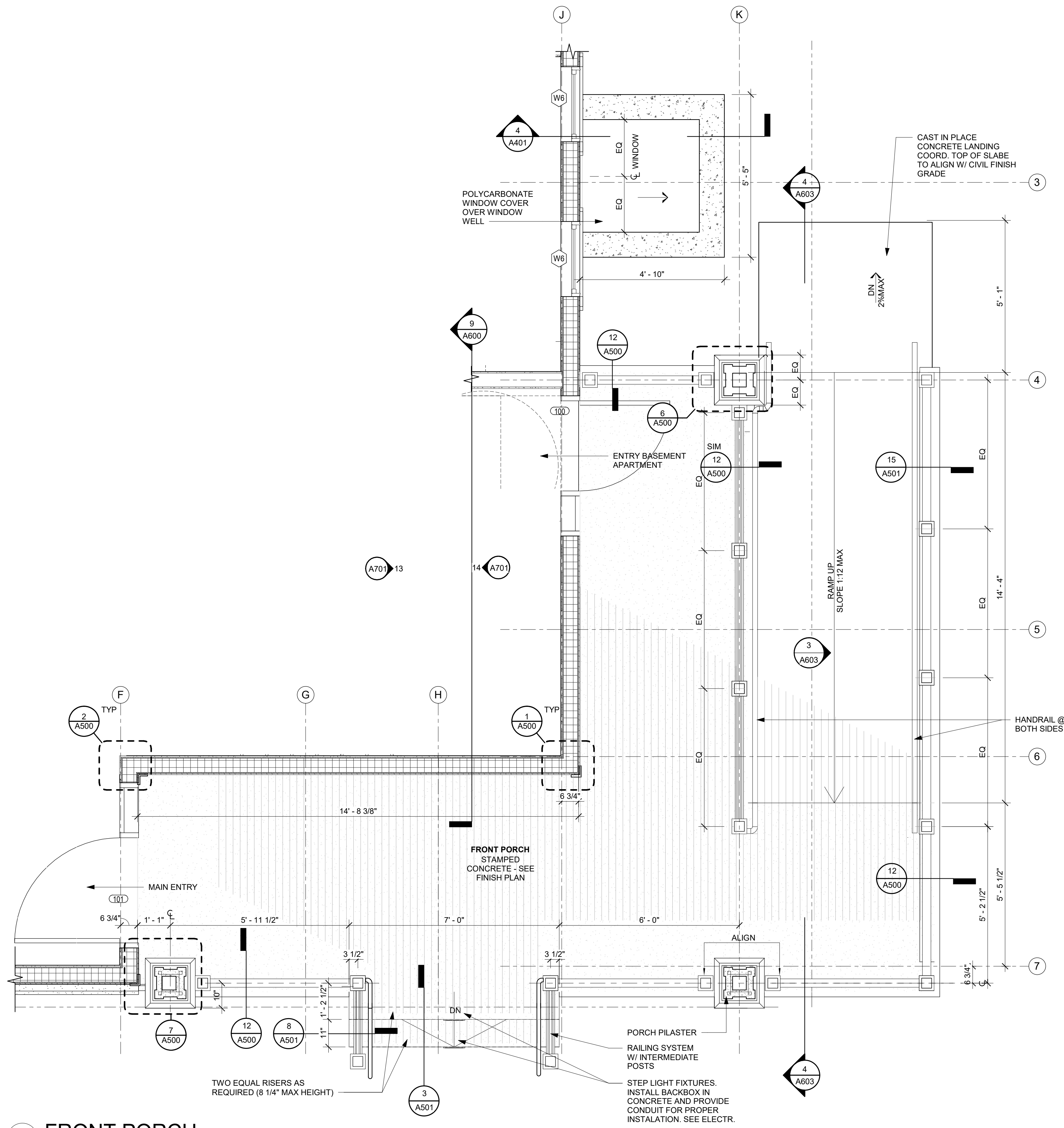
**ENLARGED  
PLANS/ ELEV/  
SEC**

Scale 1/2" = 1'-0"  
Drawn Author  
Checked Checker

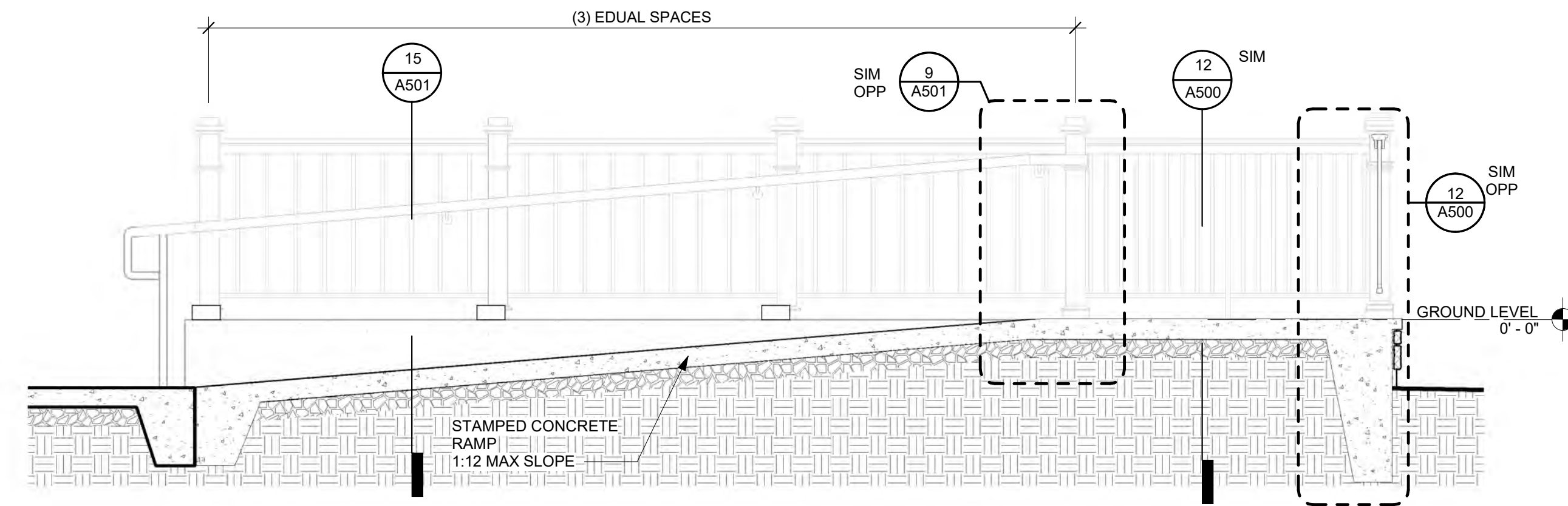
**A602**

100% BID

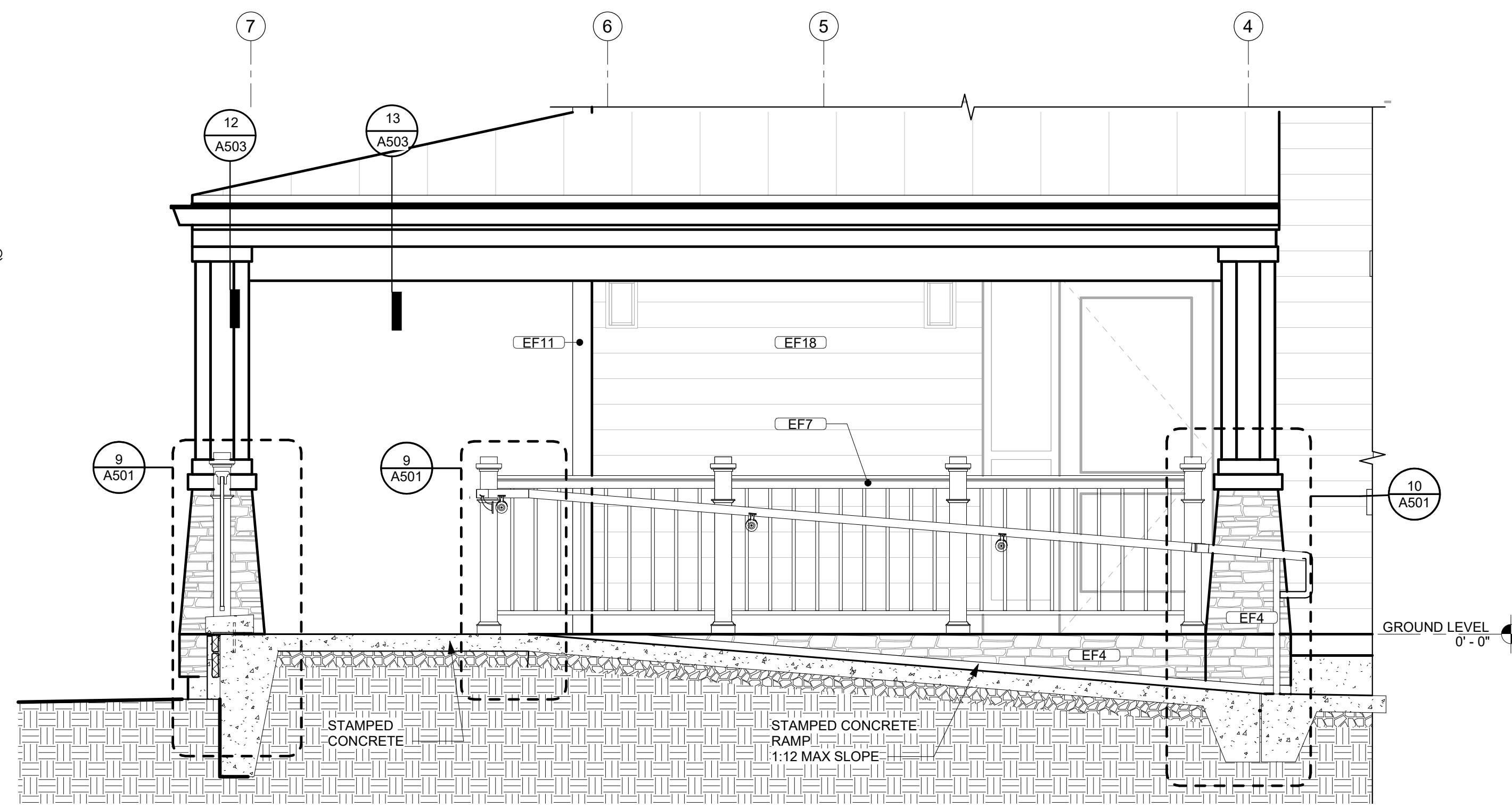




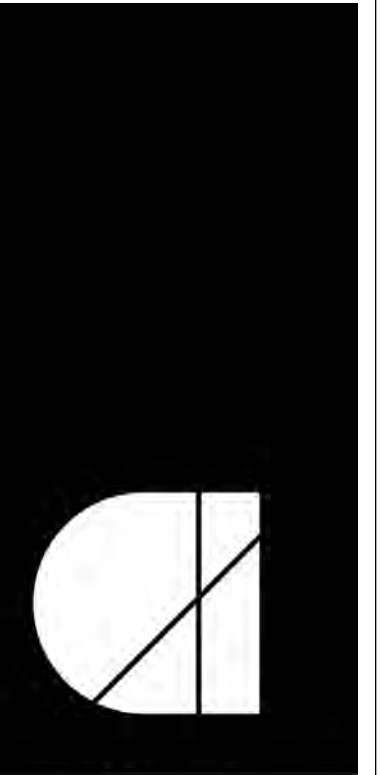
**1 FRONT PORCH**  
1/2" = 1'-0"



**3 FRONT PORCH RAMP, EAST**  
1/2" = 1'-0"



**4 N/S @FRONT RAMP**  
1/2" = 1'-0"



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**ENLARGED  
PLANS/ ELEV/  
SEC**

Scale 1/2" = 1'-0"  
Drawn Author  
Checked Checker

**A603**

100% BID

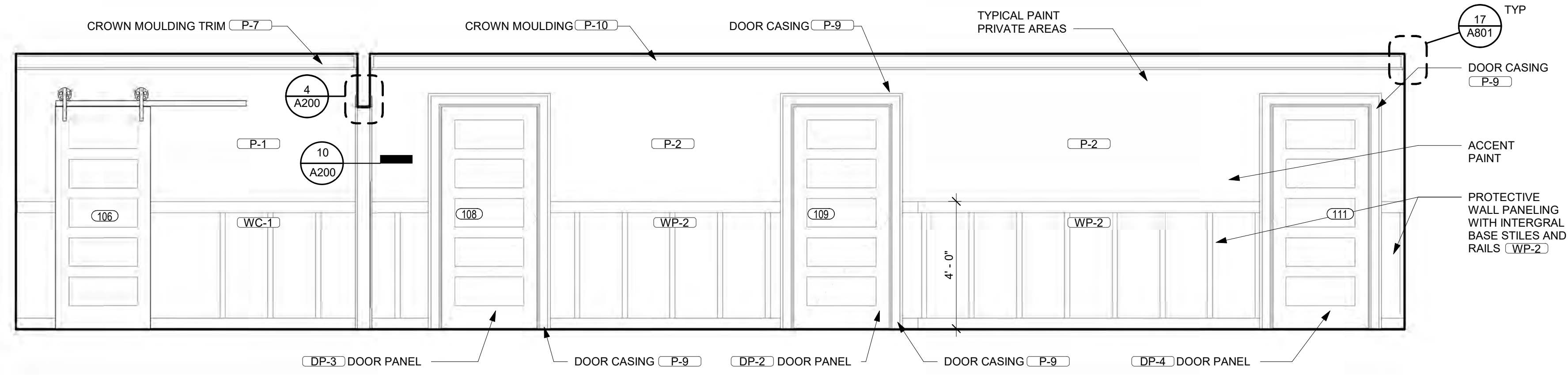




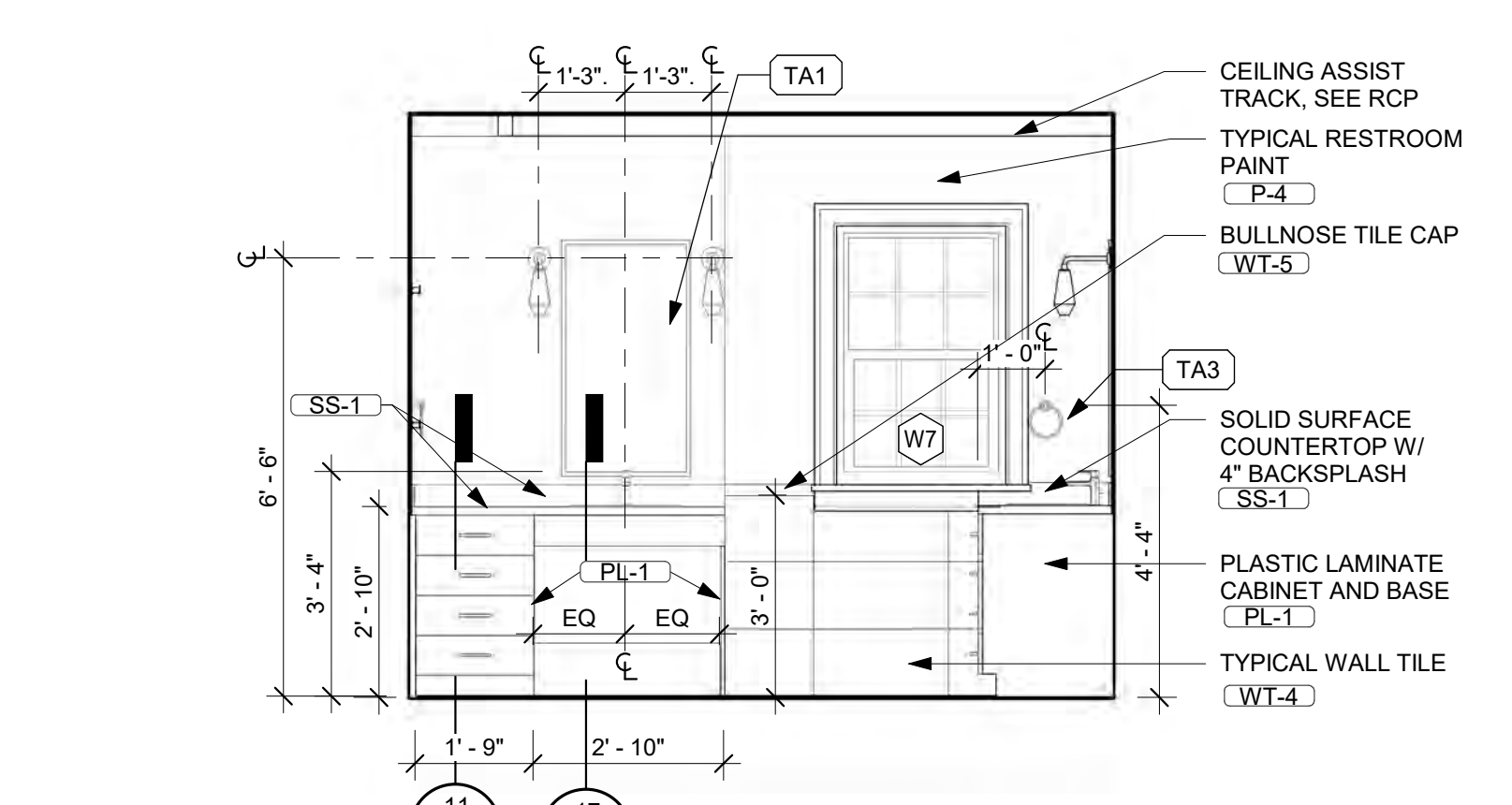




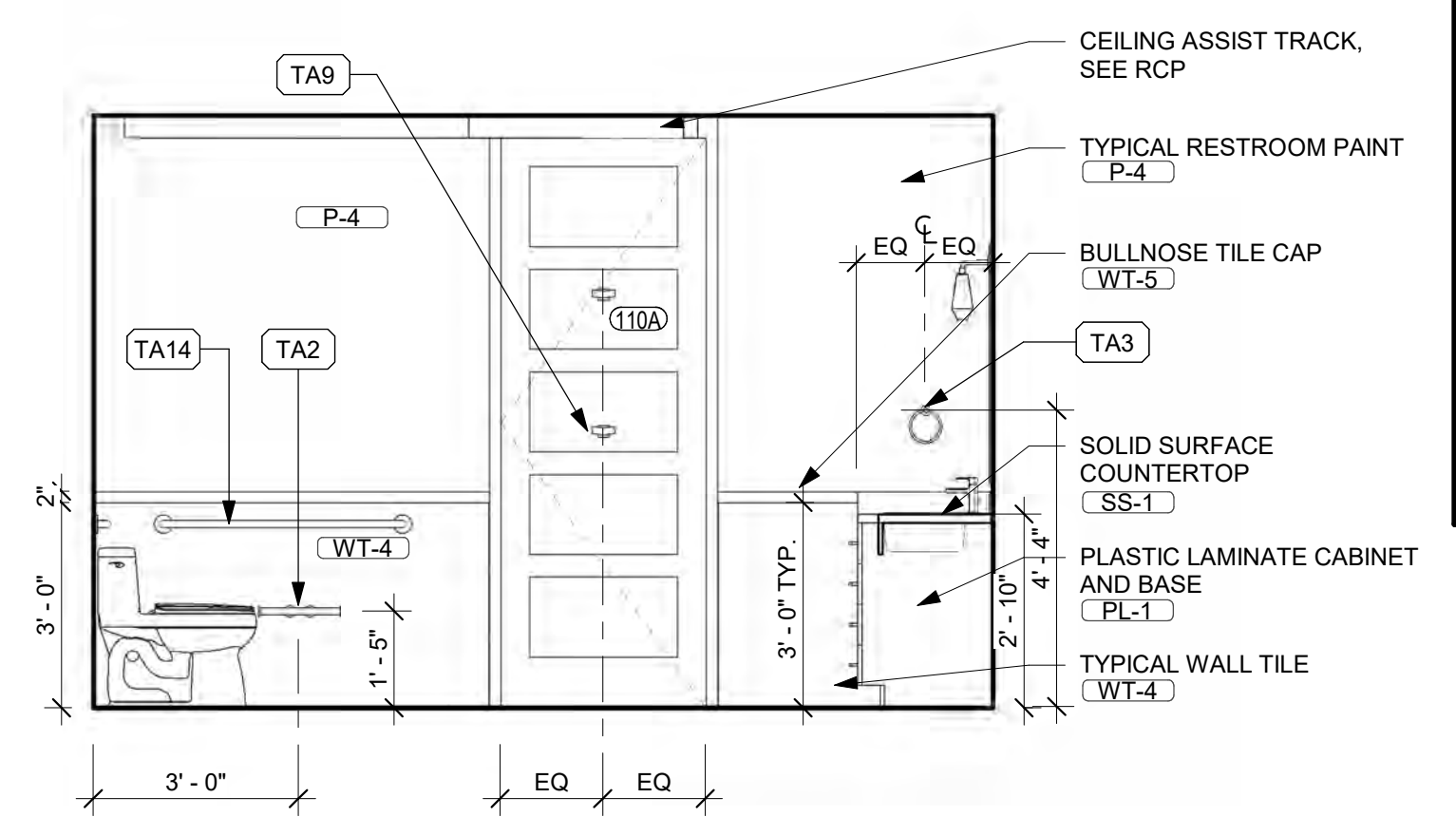




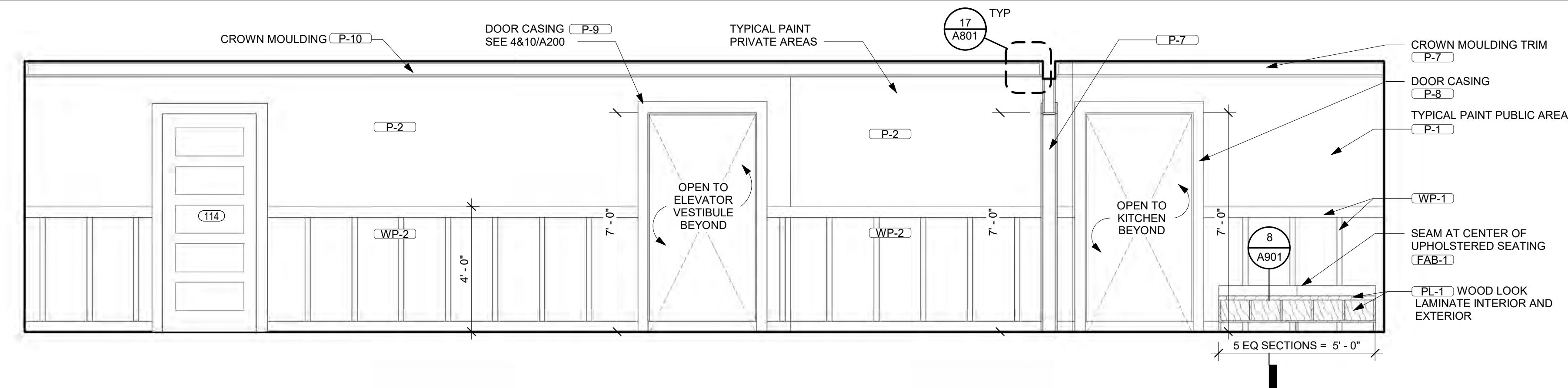
1 MUDROOM / HALLWAY, NORTH  
3/8" = 1'-0"



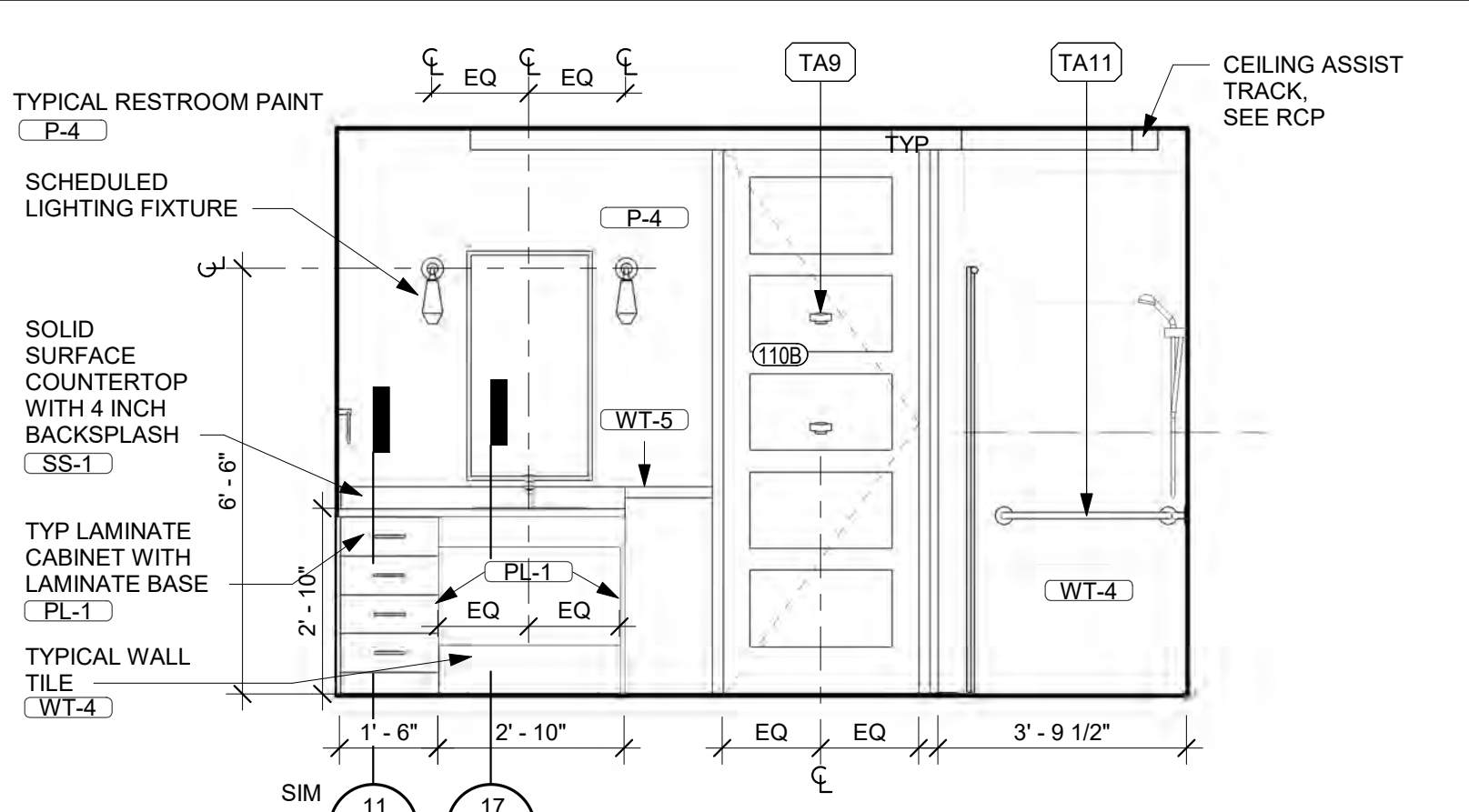
2 SHARED BATH 110, NORTH  
3/8" = 1'-0"



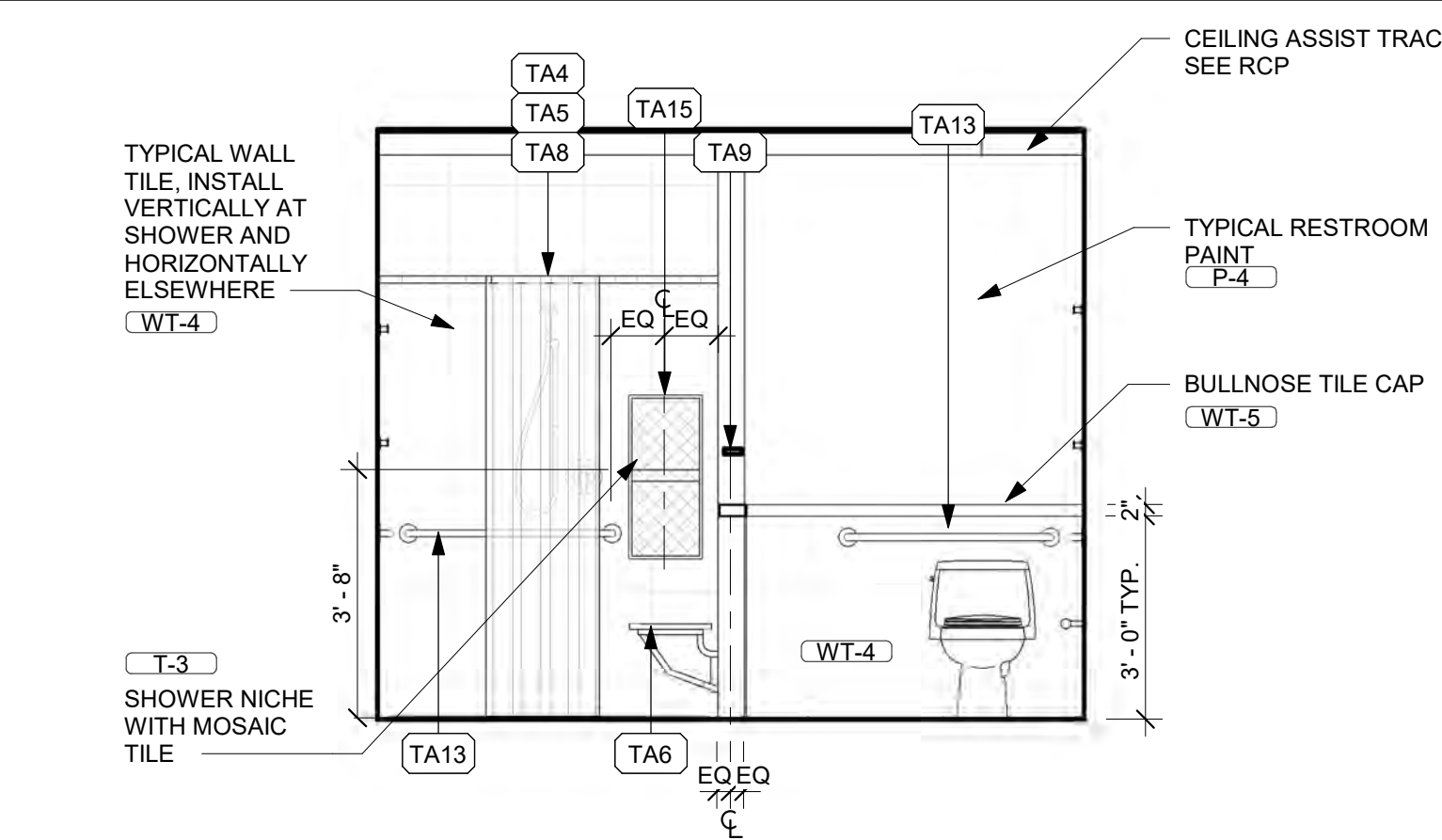
3 SHARED BATH 110, WEST  
3/8" = 1'-0"



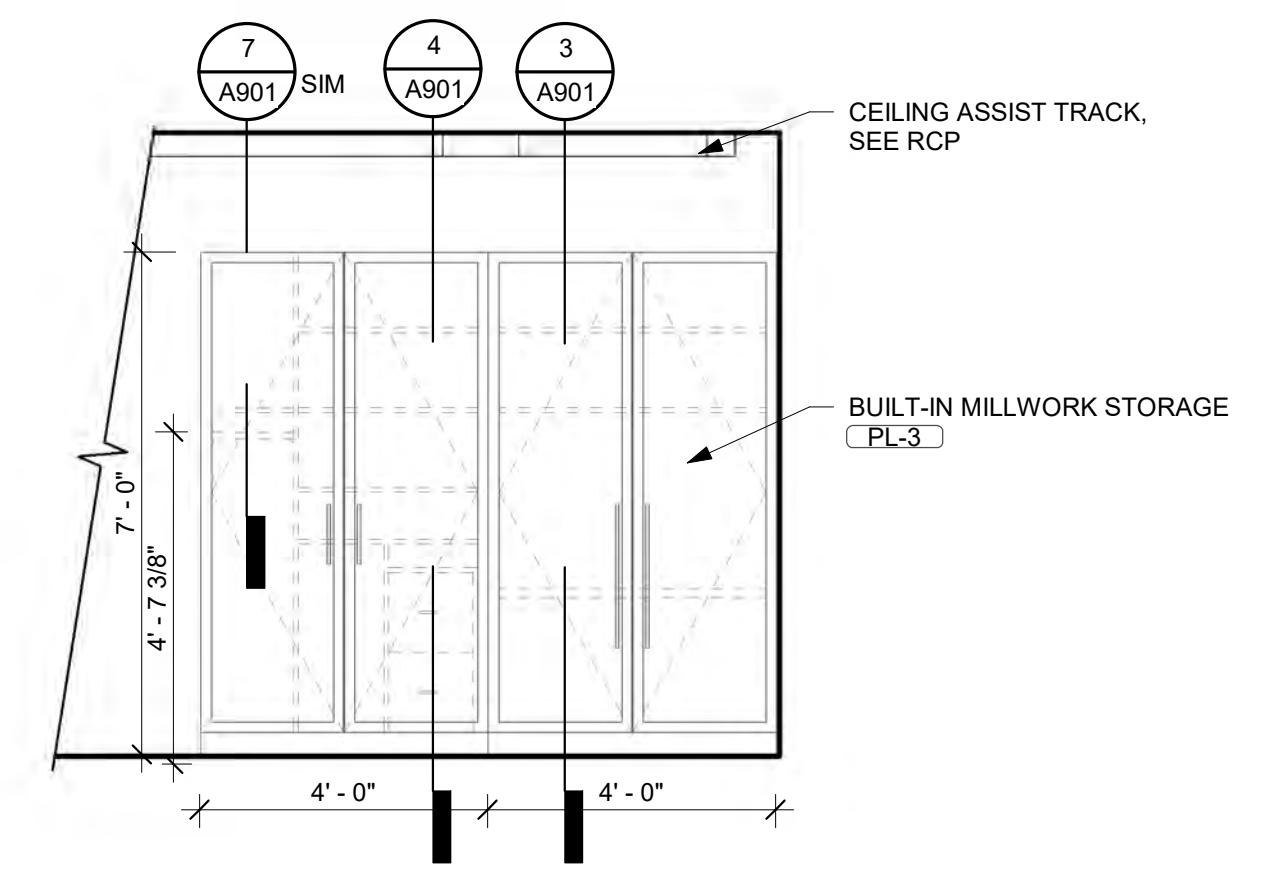
4 MUDROOM / HALLWAY, SOUTH  
3/8" = 1'-0"



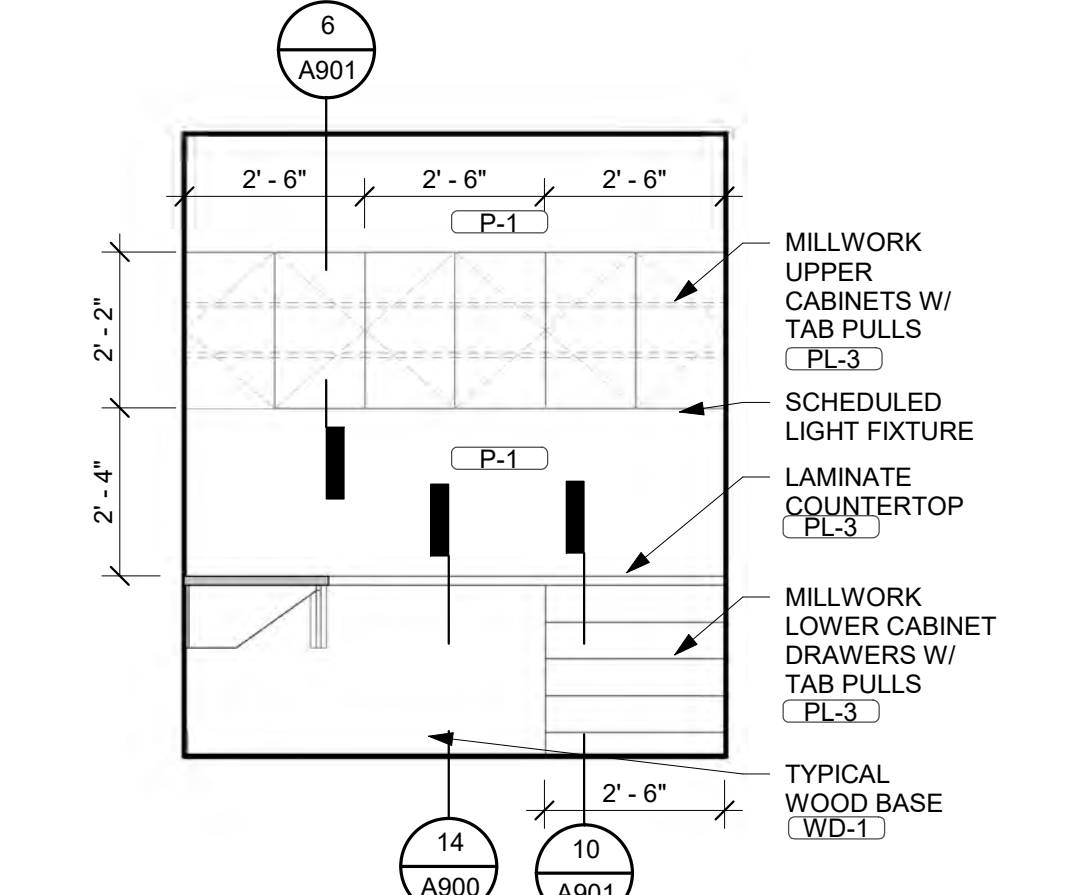
5 SHARED BATH 110, EAST  
3/8" = 1'-0"



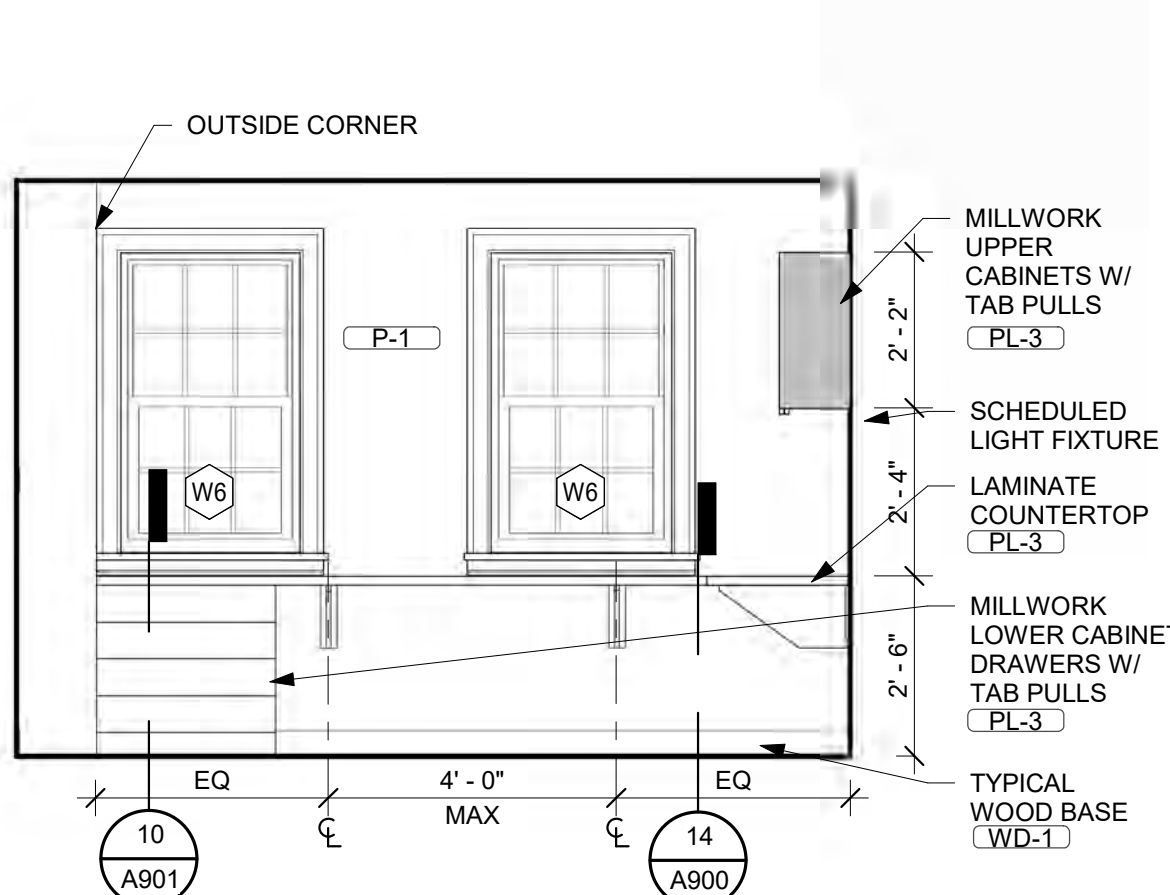
6 SHARED BATH 110, SOUTH  
3/8" = 1'-0"



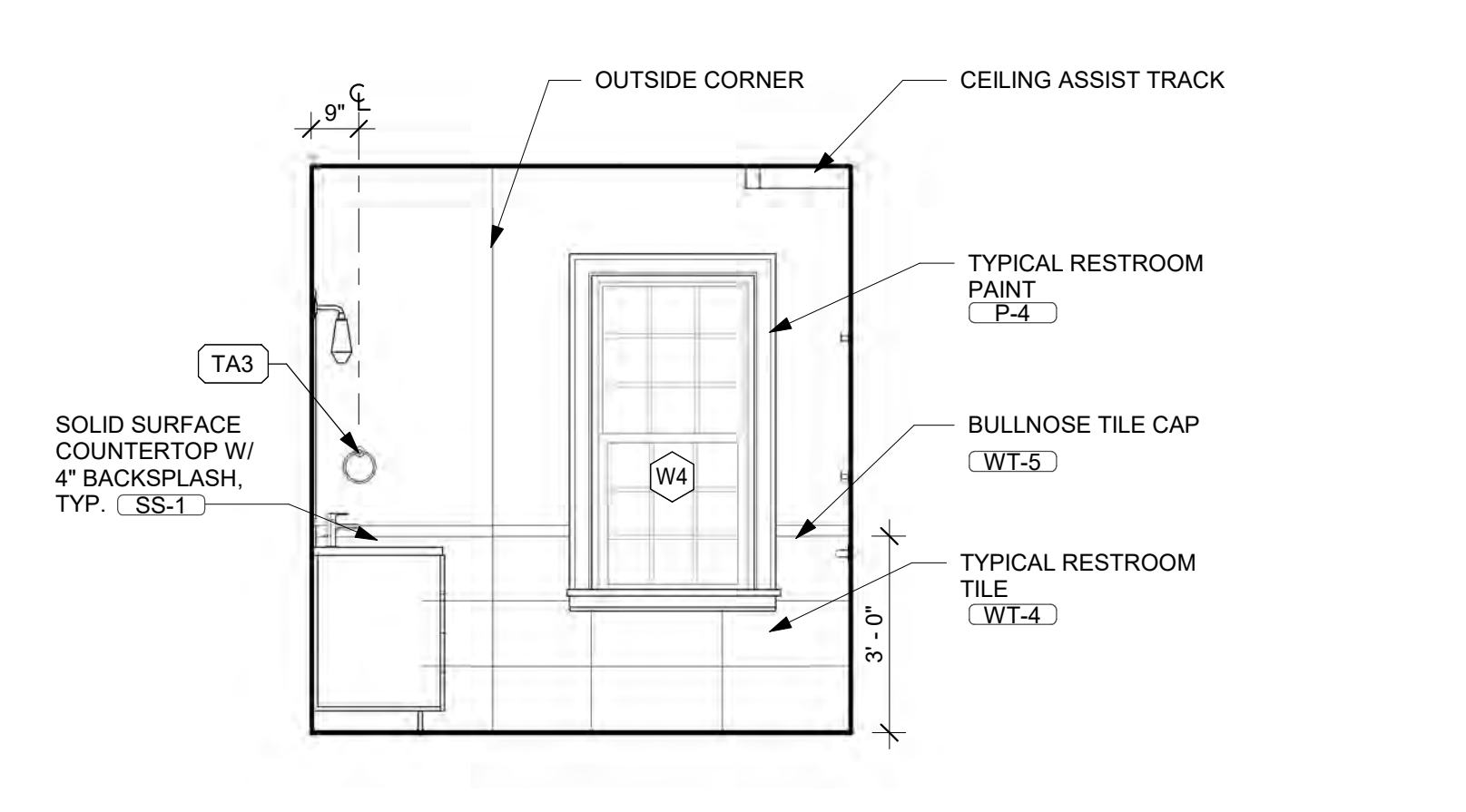
7 TYPICAL BEDROOM MILLWORK  
3/8" = 1'-0"



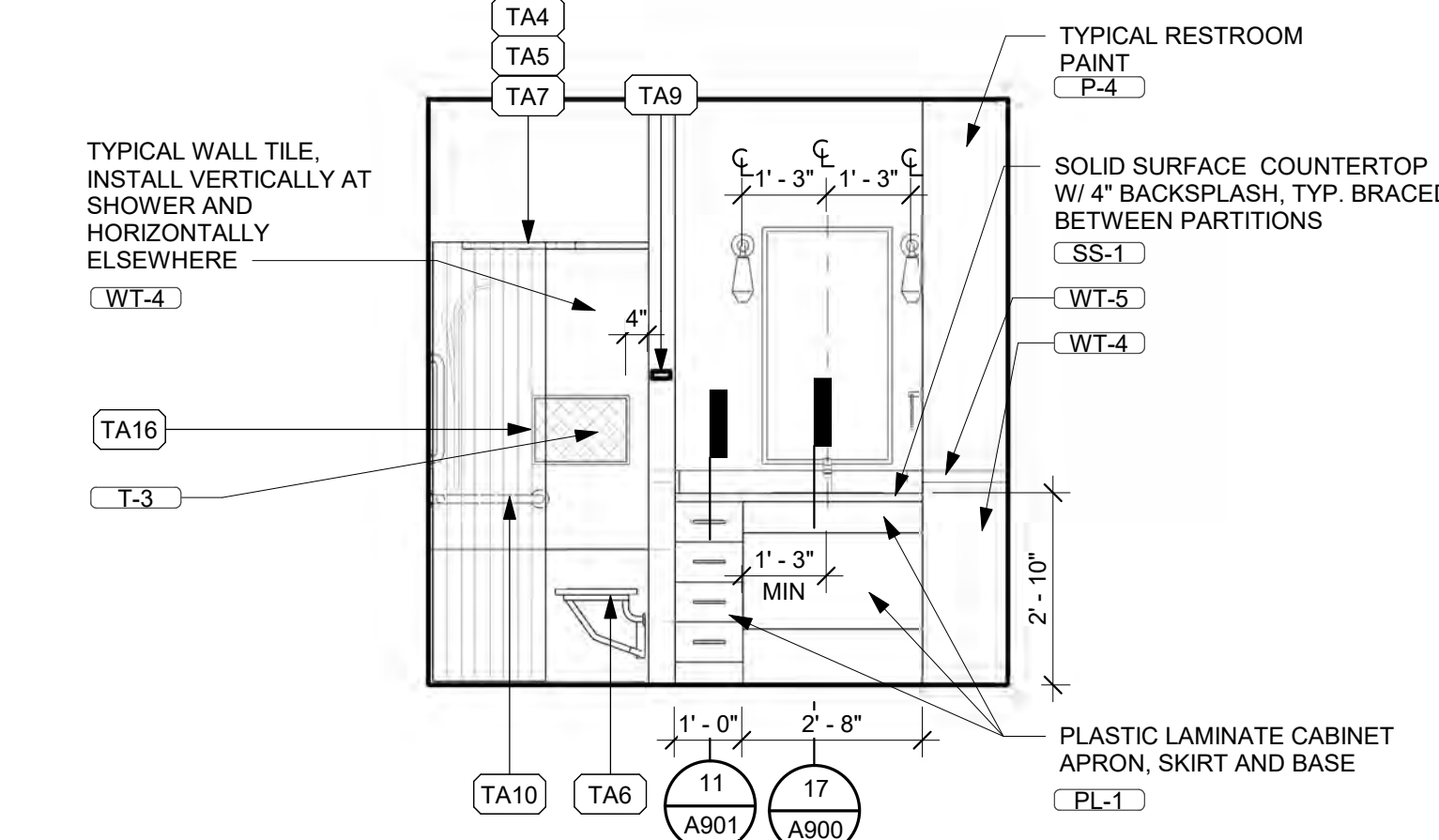
8 STAFF DEN, SOUTH  
3/8" = 1'-0"



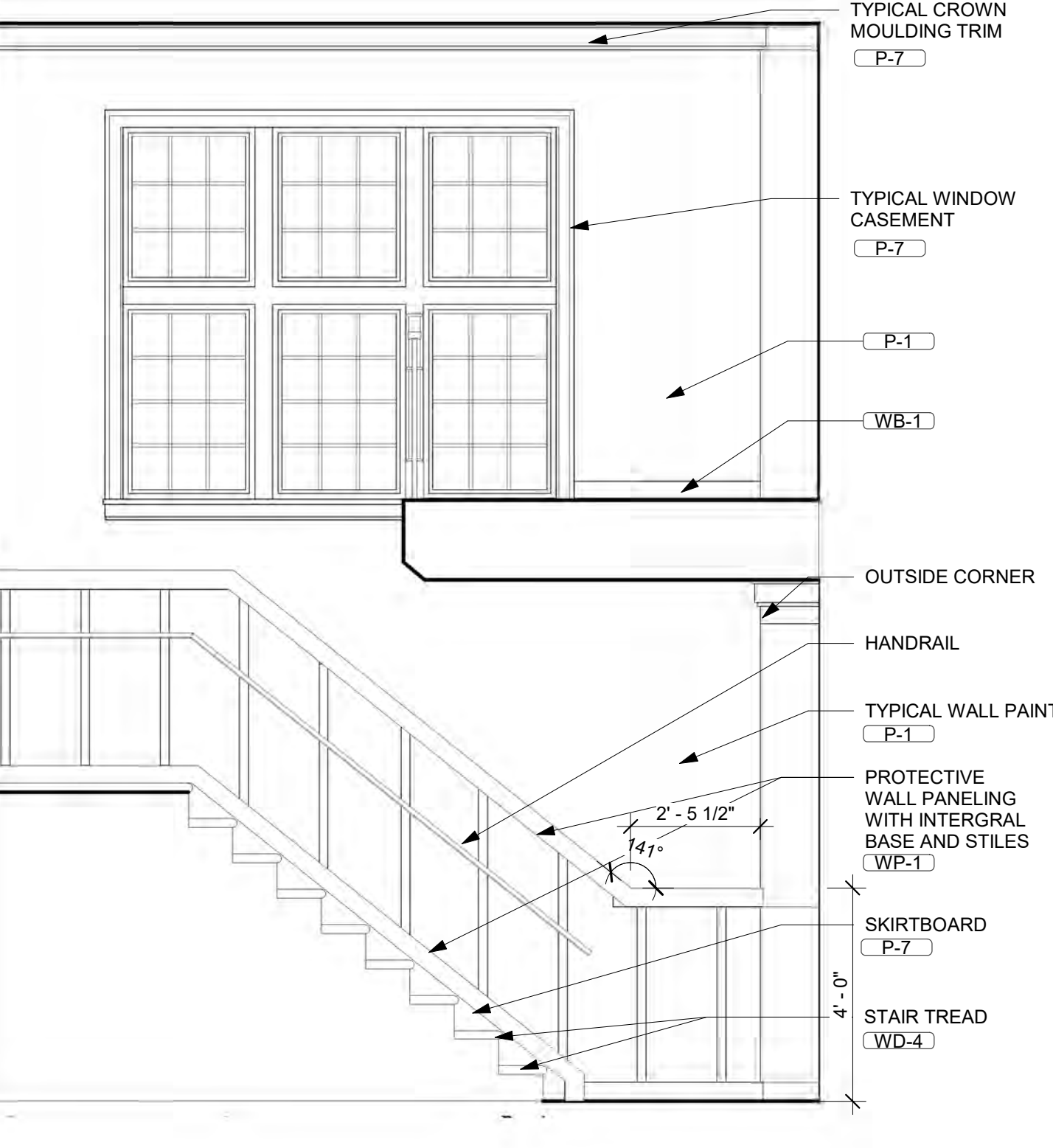
9 STAFF DEN, EAST  
3/8" = 1'-0"



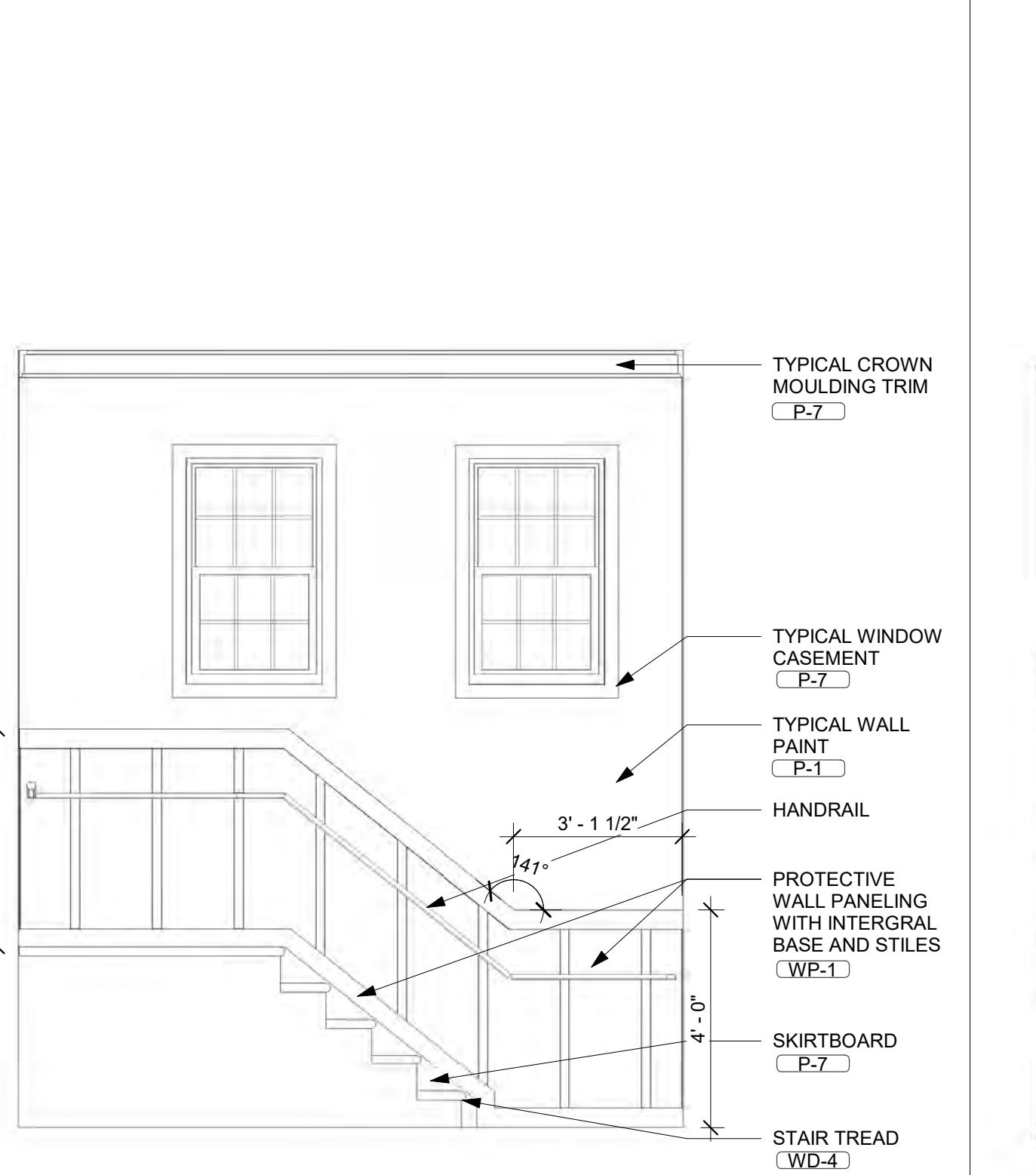
10 PRIVATE BATH 107, NORTH  
3/8" = 1'-0"



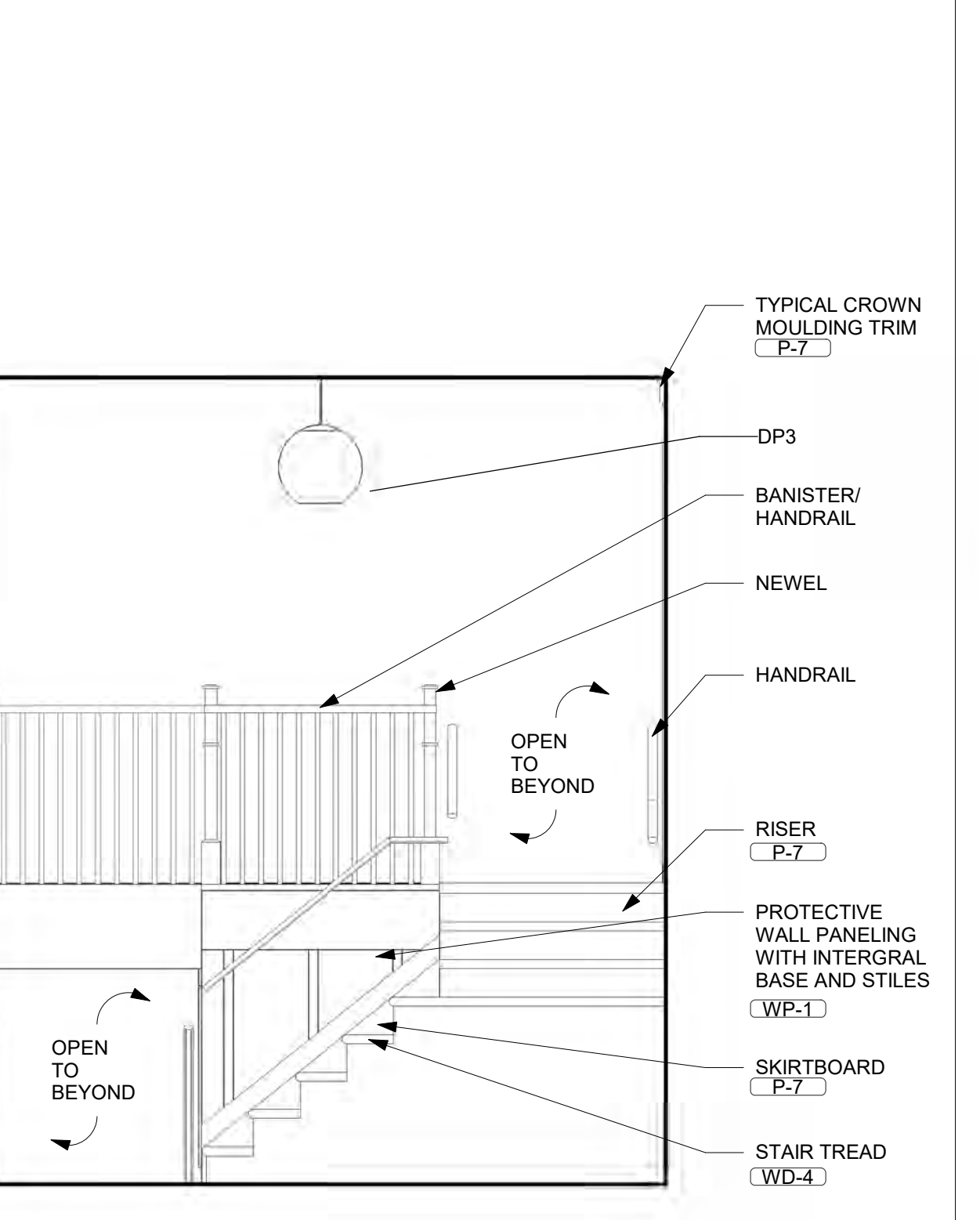
11 PRIVATE BATH 107, WEST  
3/8" = 1'-0"



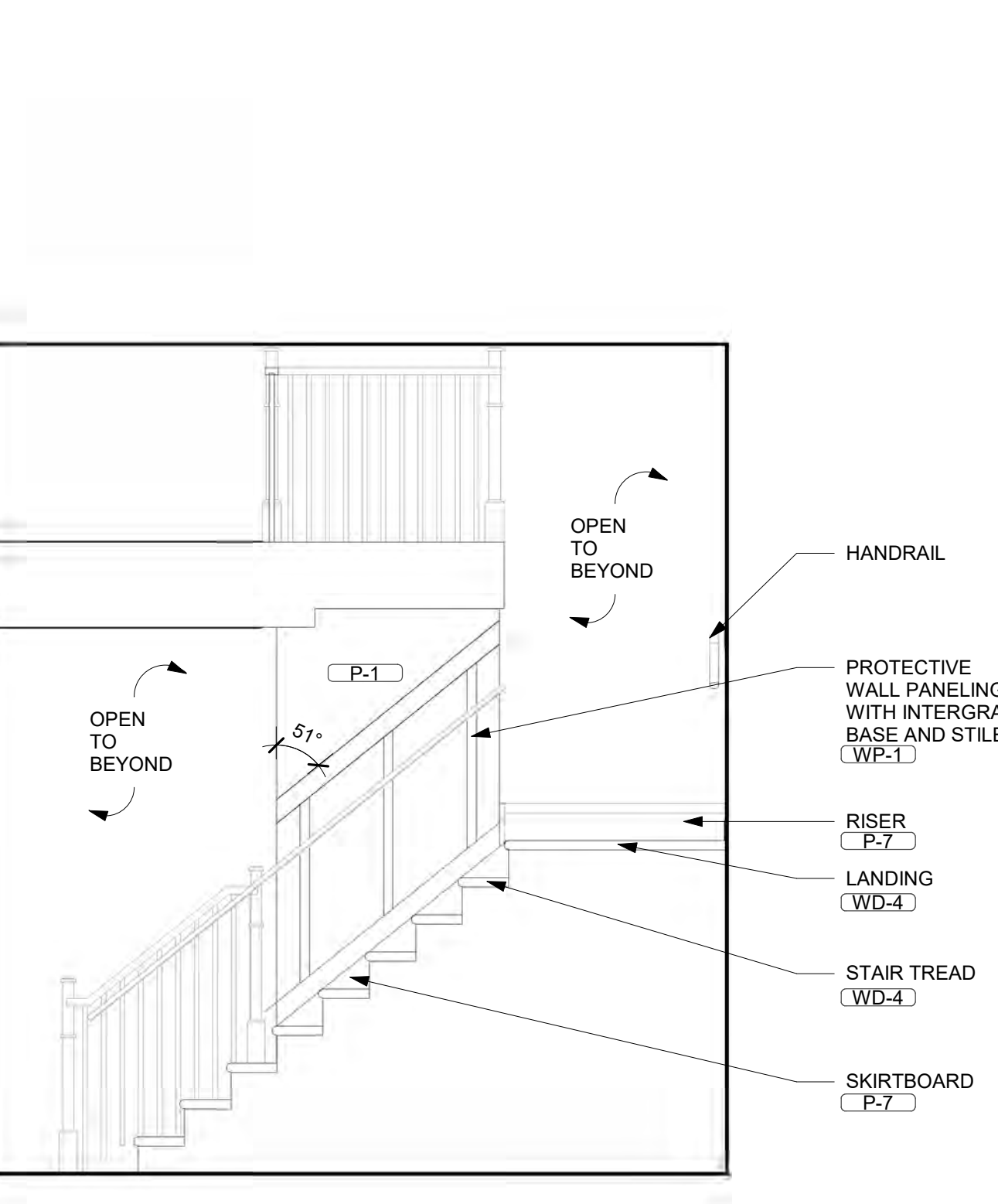
12 INTERIOR STAIR 1ST - 2ND LEVEL - 2  
3/8" = 1'-0"



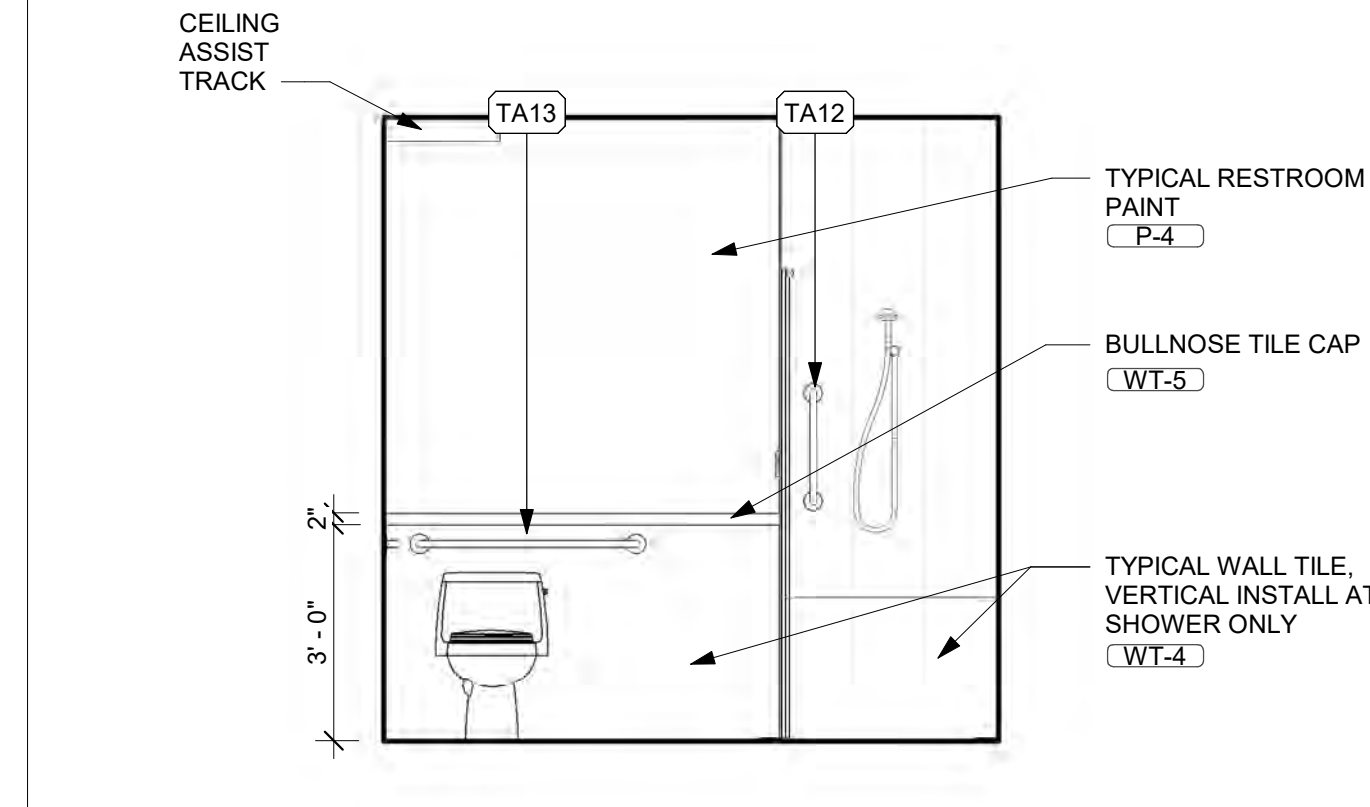
13 INTERIOR STAIR 1ST - 2ND LEVEL  
3/8" = 1'-0"



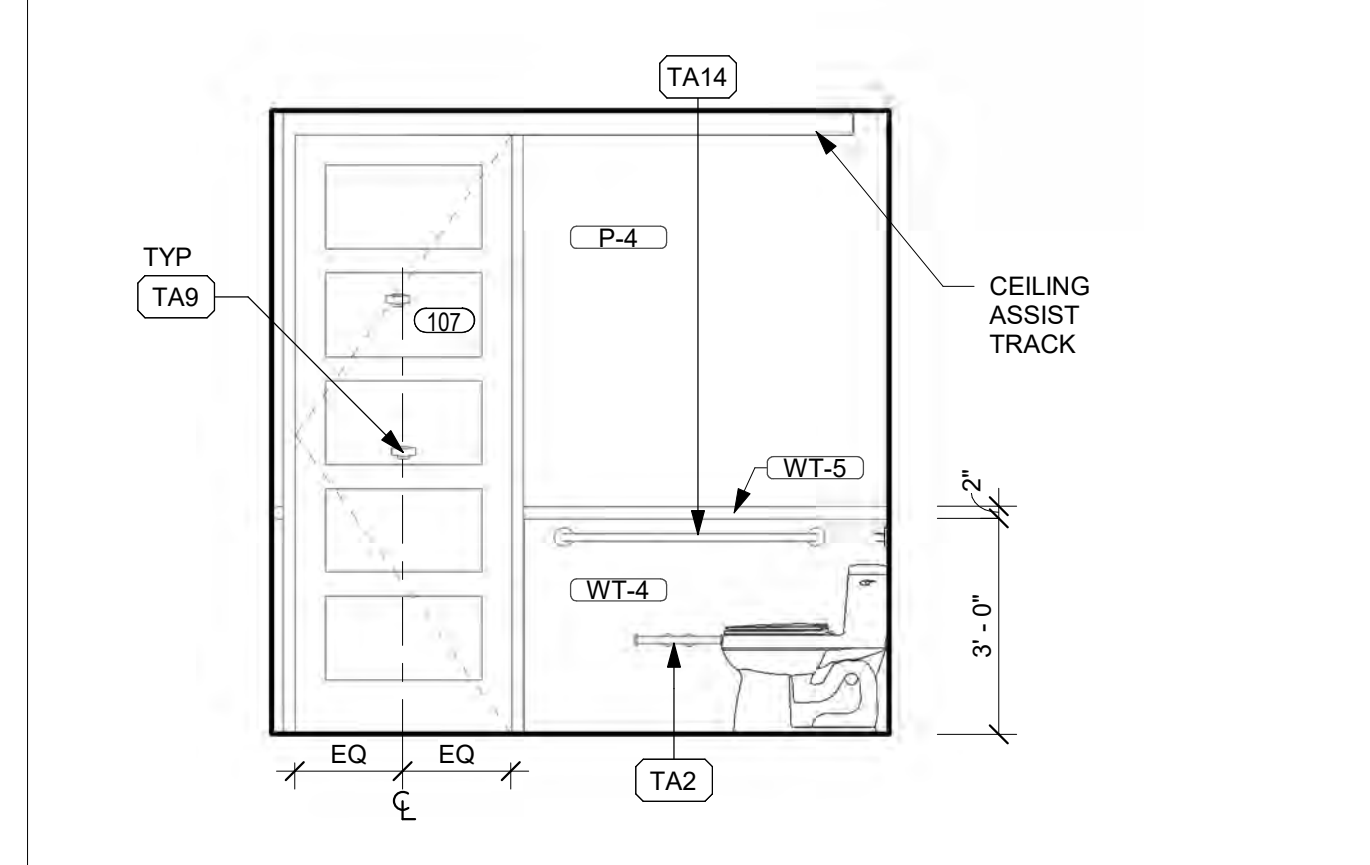
14 STAIR WELL 1ST - 2ND FLOOR  
3/8" = 1'-0"



15 INTERIOR STAIR 1ST - 2ND LEVEL - 3  
3/8" = 1'-0"



16 PRIVATE BATH 107, SOUTH  
3/8" = 1'-0"



17 PRIVATE BATH 107, EAST  
3/8" = 1'-0"

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INTERIOR ELEVATIONS - MAIN LEVEL

Scale 3/8" = 1'-0"  
Drawn DML  
Checked CWB

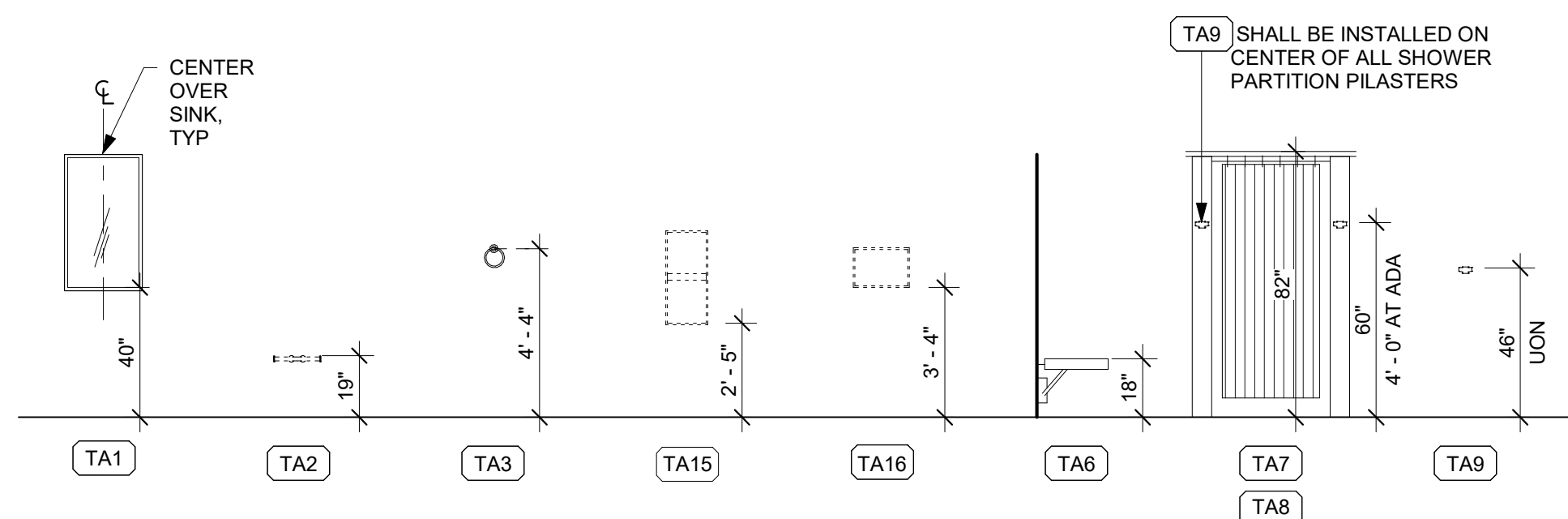
A701

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**TOILET ACCESSORY MOUNTING HEIGHTS**

1/4" = 1'-0"

**TOILET ACCESSORY SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
TA1	RECTANGLE PIVOT MIRROR	POTTERN BARN	CHROME HEWITT PIVOT RECTANGULAR MIRROR, 23" x 42"	
TA2	TOILET PAPER HOLDER	SYMMONS INDUSTRIES, INC.	673TP IDENTITY TOILET PAPER HOLDER, POLISHED CHROME	
TA3	TOWEL RING	SYMMONS INDUSTRIES, INC.	DIA TOWEL RING 353TR	POLISHED CHROME
TA4	SHOWER CURTAIN RINGS	SIGNATURE HARDWARE	ROLLER BALL SHOWER CURTAIN RINGS, SKU: 901078	CHROME FINISH
TA5	SHOWER CURTAIN LINER	SIGNATURE HARDWARE	VINYL SHOWER CURTAIN - CLEAR SKU: 900360	30" AND 60"
TA6	ADA SHOWER SEAT	TEAKWORK4U	22" WIDE TEAK ADA WALL MOUNT SHOWER SEAT SKU: TBF-220160W	
TA7	SHOWER CURTAIN ROD 36"L	SIGNATURE HARDWARE	36" CURVED SHOWER CURTAIN ROD, MODEL # 267216	CHROME FINISH
TA8	SHOWER CURTAIN ROD 60"L	PREFERRED BATH ACCESSORIES	ADJUSTABLE STAINLESS STEEL CURVED SHOWER ROD, MODEL# 112-58P-A	BRIGHT POLISHED FINISH
TA9	ROBE HOOK	SYMMONS INDUSTRIES, INC.	DIA DOUBLE ROBE HOOK # 353DRH	
TA10	GRAB BAR - CORNER	BOBRICK	B-5861	
TA11	GRAB BAR 30"	BOBRICK	B-5806 x30	AT SHARED SHOWER
TA12	GRAB BAR 18"	BOBRICK	B-5806 x18	
TA13	GRAB BAR 36"	BOBRICK	B-5806 x36	
TA14	GRAB BAR 42"	BOBRICK	B-5806 x42	
TA15	SHOWER NICHE	SCHULTER	KERDI-BOARD-SN FOAM BOARD SHOWER NICHE 12IN X 28IN SKU: 100419670	AT SHARED SHOWER
TA16	SHOWER NICHE	EZ NICHE	MEDIUM SHOWER RECTANGULAR SHOWER NICHE SKU: 100138023	

**SCHEDULE - EQUIPMENT (CF/CI)**

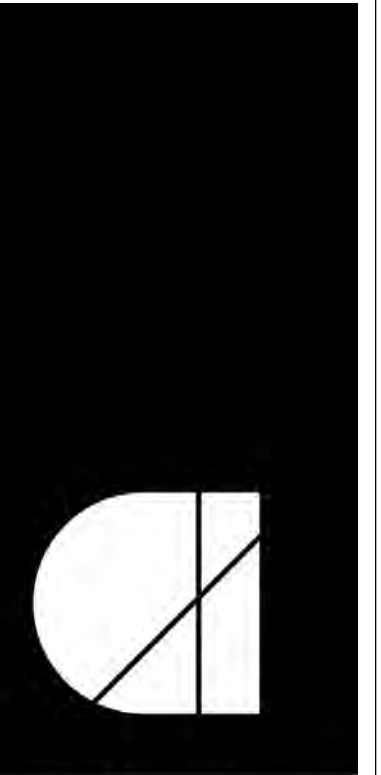
TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
EQ1	DISHWASHER	FISHER & PAYKEL	DD24DAX9N	
EQ2	ELECTRIC OVEN	GENERAL ELECTRIC	JTS3000DNENSN	
EQ3	INDUCTION COOKTOP	GENERAL ELECTRIC	PHP9036S/JBM	
EQ4	COUNTERTOP MICROWAVE	GENERAL ELECTRIC	PEB91595JSS	
EQ5	ELECTRIC RANGE	GENERAL ELECTRIC	JS64SEL/SLFJDL	
EQ5A	RANGE HOOD	PROLINE	PLJW 185.30	DUCTLESS W/ CHARCOAL FILTER
EQ6	TELESCOPIC DOWNDRAFT VENT	GENERAL ELECTRIC	UVB36DK	
EQ7	COMMERCIAL REFRIGERATOR	FISHER & PAYKEL	RS3084SLT	ENERGY STAR
EQ8	COMMERCIAL FREEZER	FISHER & PAYKEL	RS3084FRJ1	ENERGY STAR
EQ9	REFRIGERATOR	GENERAL ELECTRIC	CW5230EN/GMNI/GYN	ENERGY STAR
EQ10	WASHER	GENERAL ELECTRIC	GFW850SPNDG	ENERGY STAR
EQ11	DRYER	GENERAL ELECTRIC	GFT14ESSMWW	VENTLESS CONDENSER FRONTLOAD ELECTRIC DRYER

**SCHEDULE - SPECIALTY EQUIPMENT SENSORY ROOMS (CF/CI)**

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
EQ200	CEILING HUNG SWING	UPLIFT ACTIVE	EXTENDED SIZES YOGA HAMMOCK + RIGGING EQUIPMENT, COLOR: LAKE BLUE, SIZE: 6 YARDS	
EQ202	WALL MOUNTED BUBBLE TUBE	PLAYLEARN.COM	4 FT WALL MOUNTED BUBBLE WALL - APP AND REMOTE CONTROL	
EQ203	INTERACTIVE DIGITAL PANEL	FLAGHOUSE.COM	MULTIFINITY EXPLORE PANEL, ITEM # 22869R	
EQ204	STAR PROJECTOR	FLAGHOUSE.COM	LAZER STARS ITEM # 37969	1 PER SENSORY ROOM
EQ205	VIBRATING MASSAGE MAT	FLAGHOUSE.COM	FULL BODY MASSAGE MAT ITEM # 37540	
EQ206	SOFT SEATING	RELAX SACKS	4 ORIGINAL RELAX SACK	
EQ207	FIBER OPTIC CURTAIN WALL MOUNTED	EXPERIA USA	CALMING LED FIBER OPTIC WALL CASCADE	
EQ208	BLUETOOTH CAPABLE SMART TV	SAMSUNG	43" CLASS TU8000 CRYSTAL UHD 4K SMART TV (2020) UN43TU8000FXZA	
EQ209	BLUETOOTH SPEAKERS, CEILING MOUNTED	BOWERS & WILKINS	CCM362, IN CEILING SPEAKERS	
EQ210	SOFT ROCKER	FLAGHOUSE.COM	FLAGHOUSE SOFT ROCKER - LARGE, ITEM # 1795	
EQ211	WEIGHTED BLANKET	FLAGHOUSE.COM	SCHIMMERSLY WIPE CLEAN RELAXER TRAVEL SIZE WEIGHTED BLANKET - X-LARGE, ITEM # 43260	1 PER SENSORY ROOM
EQ212	ACRYLIC MIRROR SHEET	INTERSTATE PLASTICS	ACRYLIC MIRROR SHEET   CLEAR EXTRUDED MIRROR, 4' L x X' H x 0.118" W	SEE ELEVATIONS FOR MIRROR HEIGHT
EQ213	EXERCISE MAT FOLDING	WESELLMATS.COM	4' X 6' GYMNASTICS TUMBLING MAT SKU: GM4X6BK4-35M	
EQ214	SEQUIN TACTILE WALL PANEL	FUNANDFUNCTION.COM	SENSORY WALL PANEL ITEM # CF7328	

**CASEWORK HARDWARE SPECS**

DESCRIPTION	MANUFACTURER	MODEL	FINISH MATERIAL	COMMENTS
6" BAR PULLS	EMTEK ASSA ABL0Y	WARWICK CABINET PULL #86707	FLAT BLACK FINISH (US19)	@ 1ST FLOOR KITCHEN
12" BAR PULLS	EMTEK ASSA ABL0Y	WARWIRCK CABINET PULL #86710	FLAT BLACK FINISH (US19)	@ 1ST FLOOR KITCHEN
3" BAR PULLS	EMTEK ASSA ABL0Y	WARWICK CABINET PULL #86705	FLAT BLACK FINISH (US19)	@ 1ST FLOOR KITCHEN
8" BAR PULLS	EMTEK ASSA ABL0Y	WARWICK CABINET PULL #86707	SATIN NICKEL FINISH (US15)	@ BASEMENT KITCHEN
12" BAR PULLS	EMTEK ASSA ABL0Y	WARWIRCK CABINET PULL #86710	SATIN NICKEL FINISH (US15)	@ BASEMENT KITCHEN
3" BAR PULLS	EMTEK ASSA ABL0Y	WARWICK CABINET PULL #86707	SATIN NICKEL FINISH (US15)	@ BASEMENT KITCHEN
4" TAB PULL	EMTEK ASSA ABL0Y	EDGE PULL # 87110	SATIN NICKEL FINISH (US15)	TYPICAL @ OFFICE CABINETRY AND LAUNDRY UPPER CABINETS
4" BAR PULL	EMTEK ASSA ABL0Y	WARWICK CABINET PULLLL	SATIN NICKEL FINISH (US15)	TYPICAL @ BATHROOM
CABINET HINGES	BLUM, OR EQUAL	BLUMOTION Full Overlay Screw-On Cabinet Door Hinges with 110-Degree Opening Angle Model: B71B3559SK	BLACK ONYX IN MAIN KITCHEN; NICKEL IN ALL OTHER APPLICATIONS	QUIET/SOFT CLOSE, SELF-CLOSING, CONCEALED/EUROPEAN, FULL OVERLAY
DRAWER SLIDES	BLUM, OR EQUAL	BLUMOTION, TANDEM LINE, UNDERMOUNT	NICKEL	SELF-CLOSE & SOFT-CLOSE
BLIND CORNER CABINET OPTIMIZER	REV-A-SHELF OR EQUAL			
50 QUART TRASH CAN				GC TO PROVIDE TRASH CAN FOR SLIDING BASE CABINET TRASH



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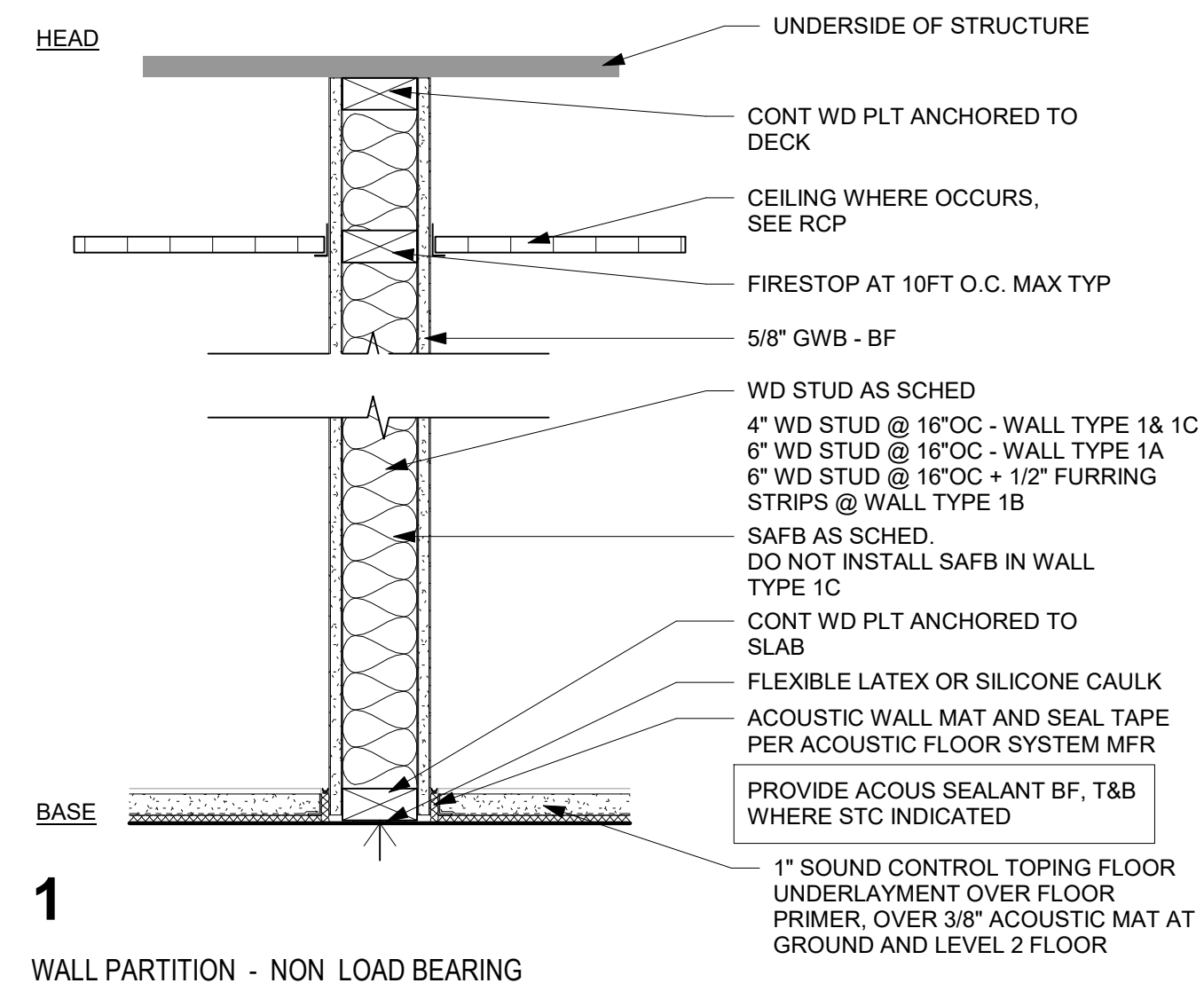
**EQUIPMENT / ACCESSORY SCHEDULES**

Scale 1/4" = 1'-0"  
Drawn Author  
Checked Checker

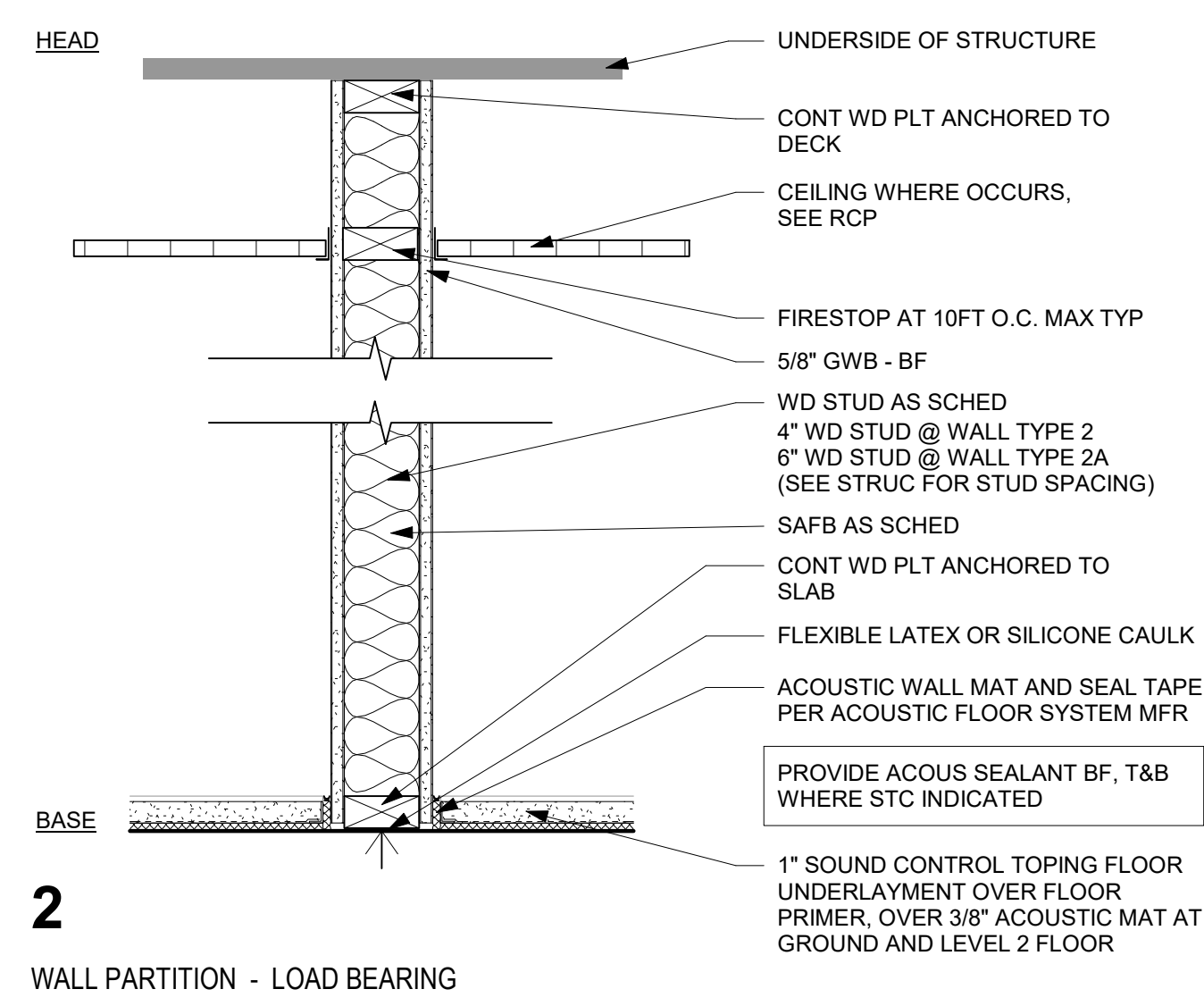
**A720**

100% BID

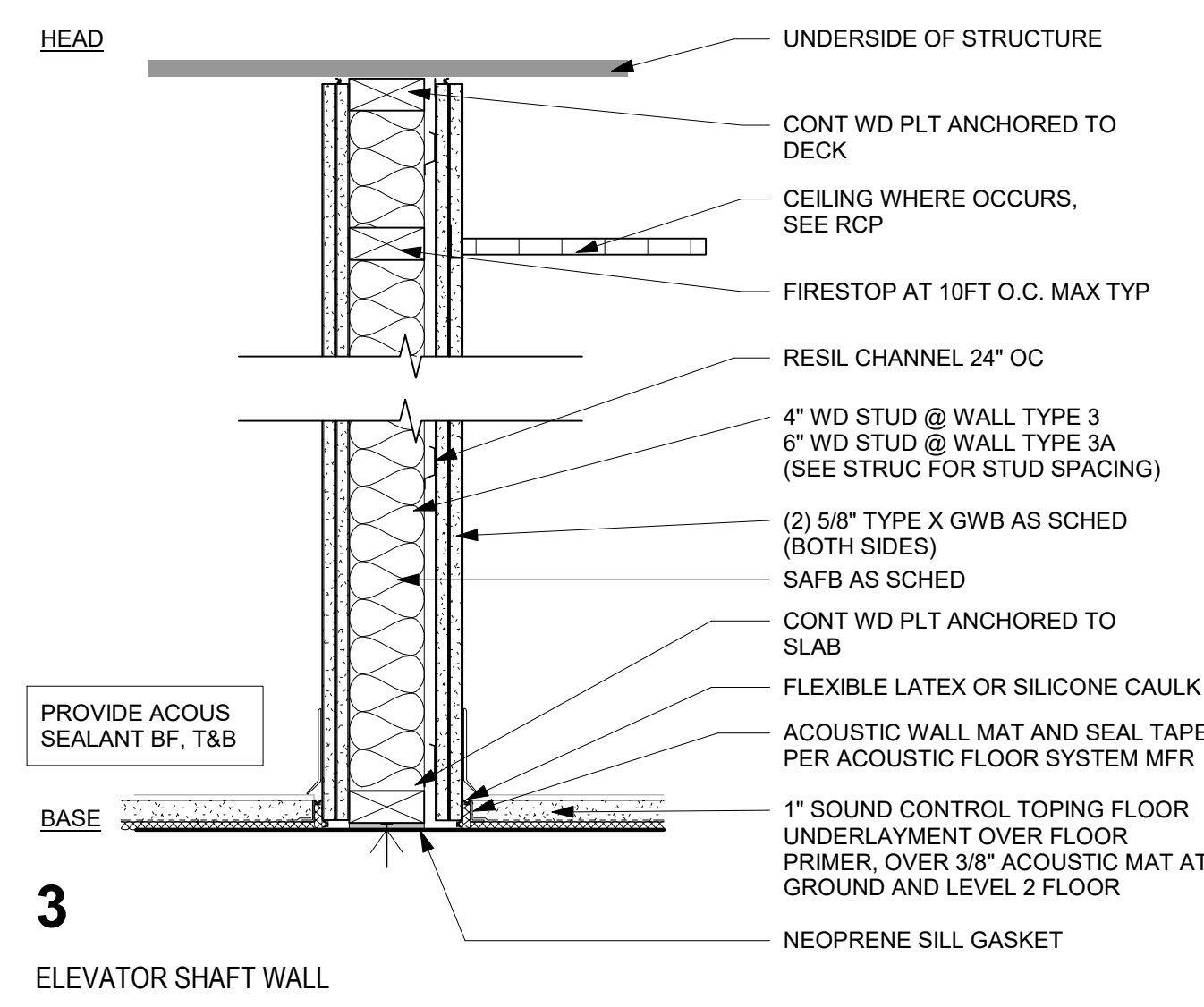




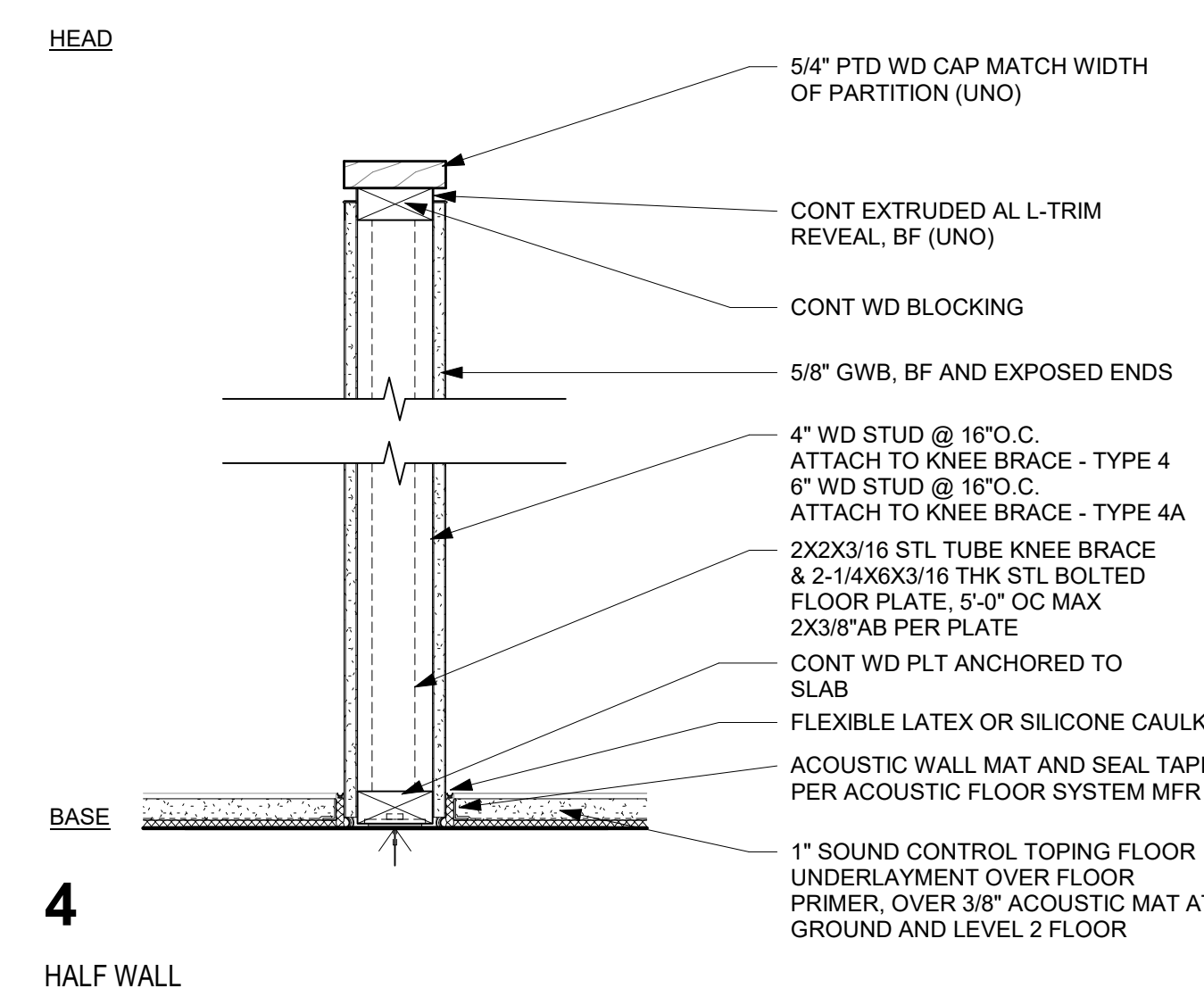
**1** WALL PARTITION - NON LOAD BEARING



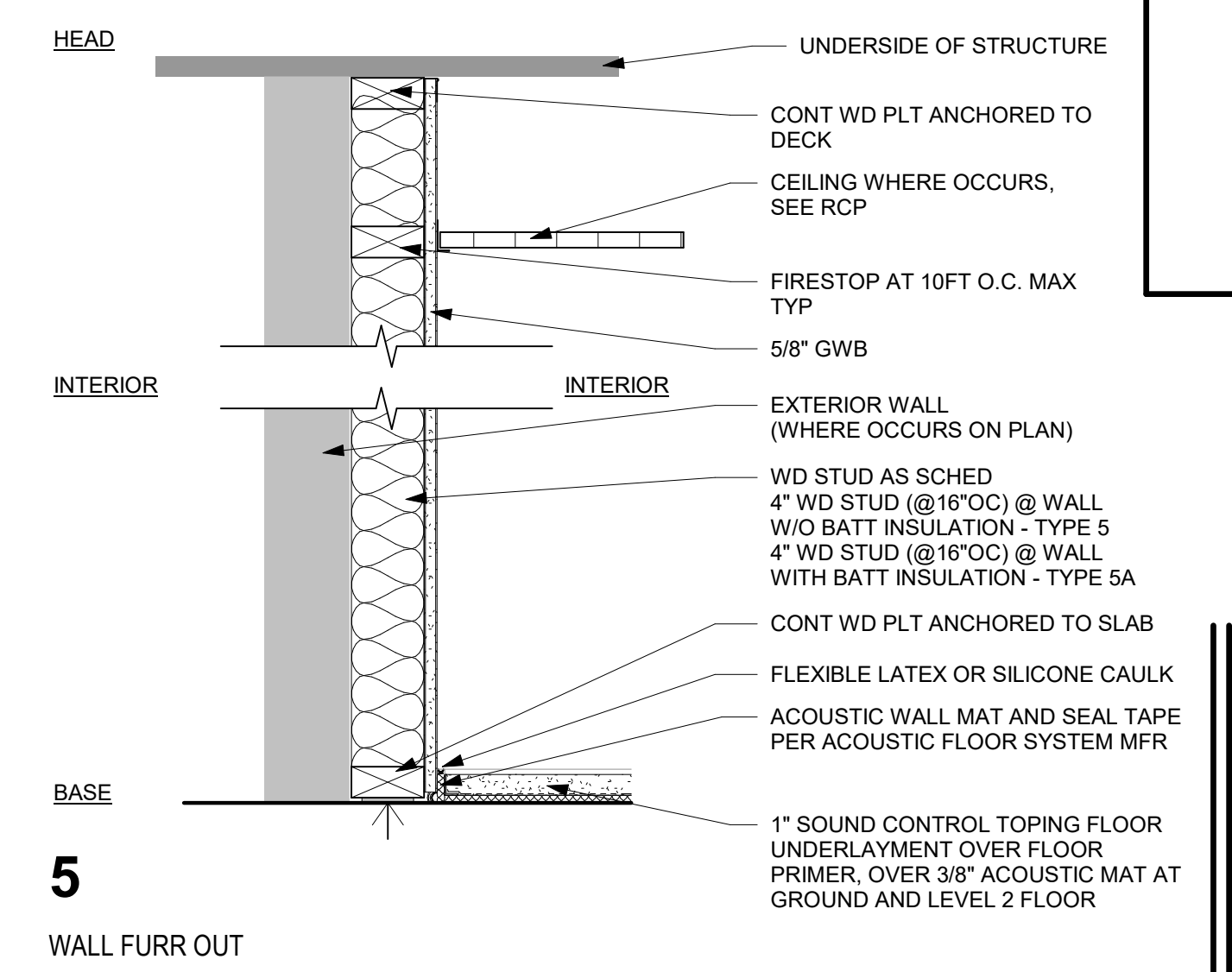
**2** WALL PARTITION - LOAD BEARING



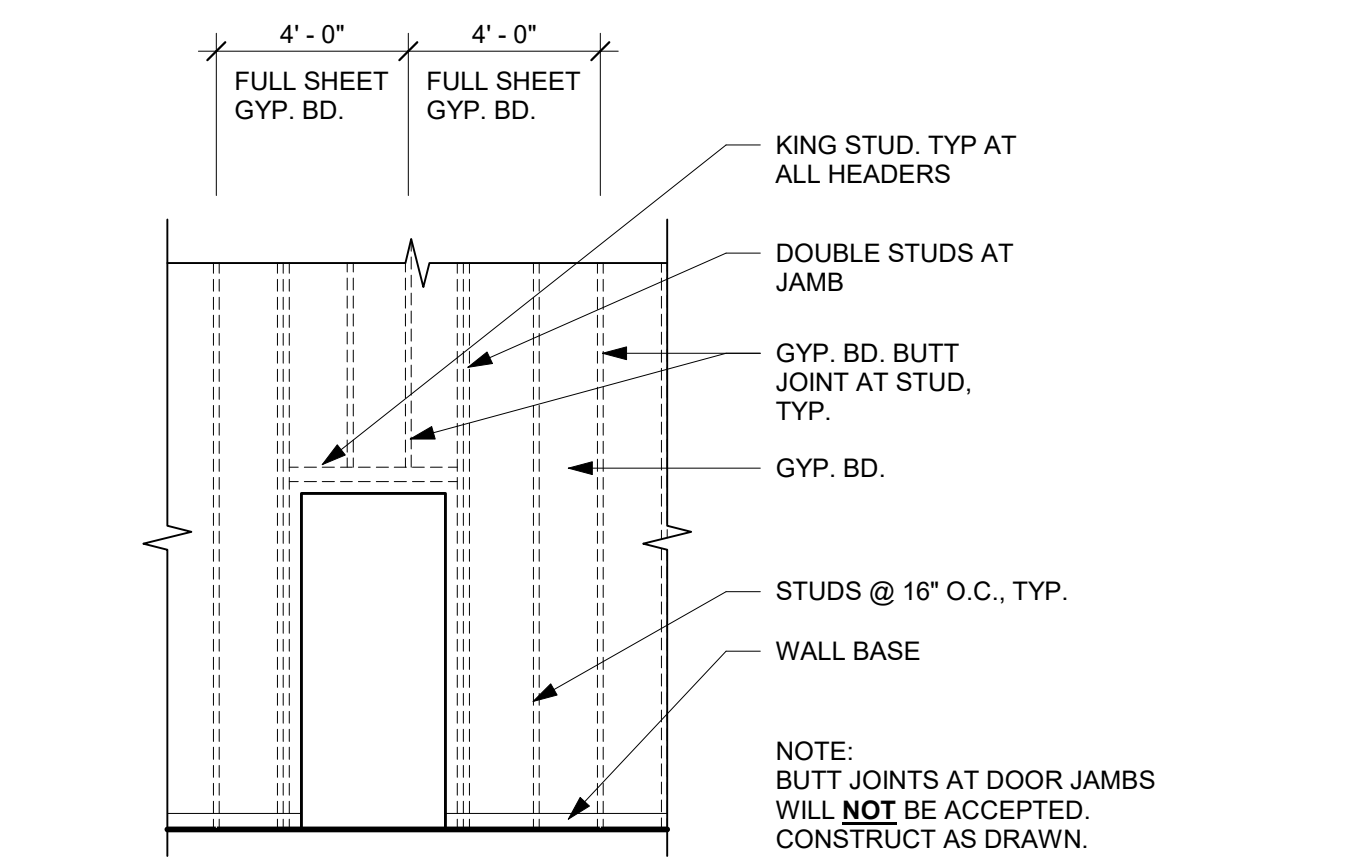
**3** ELEVATOR SHAFT WALL



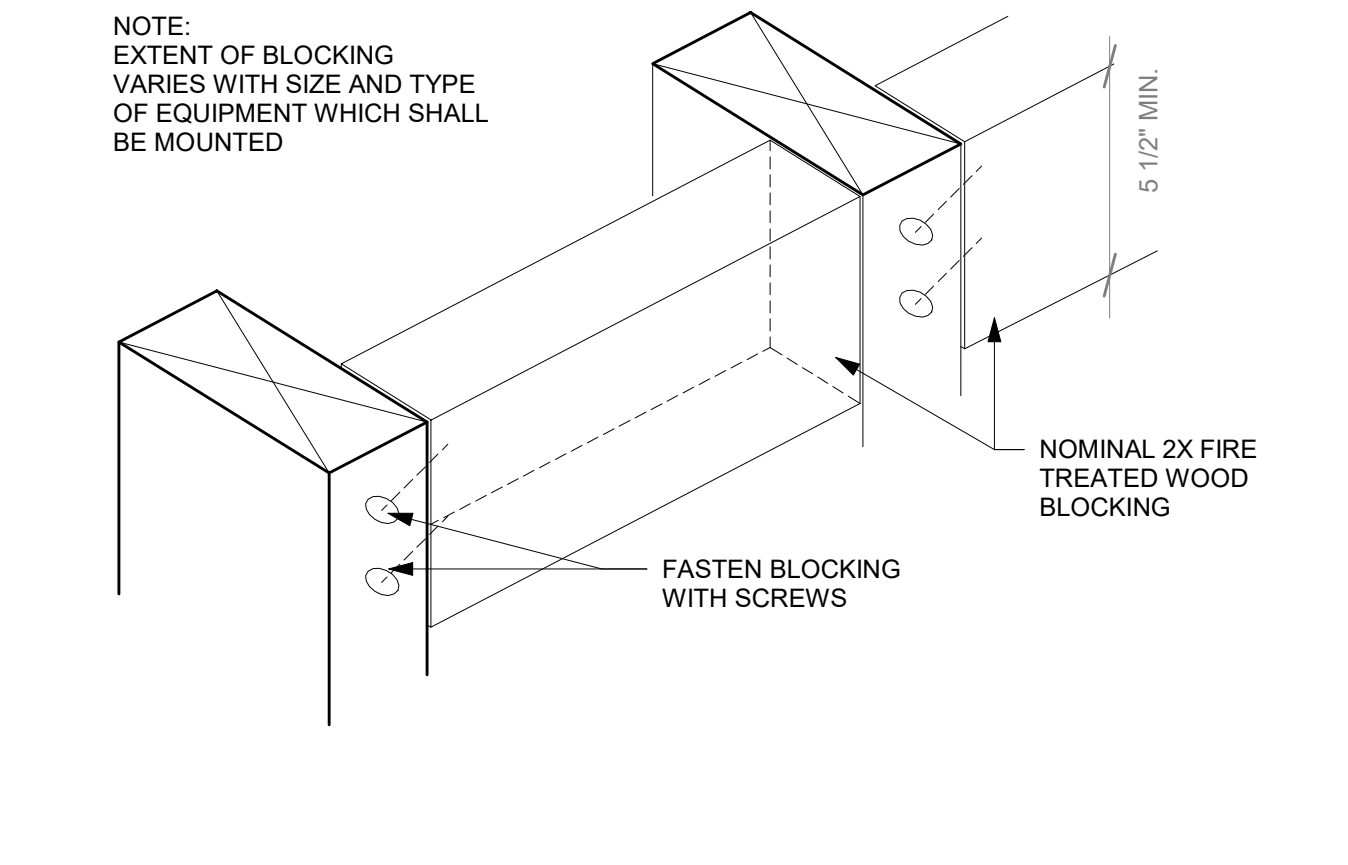
**4** HALF WALL



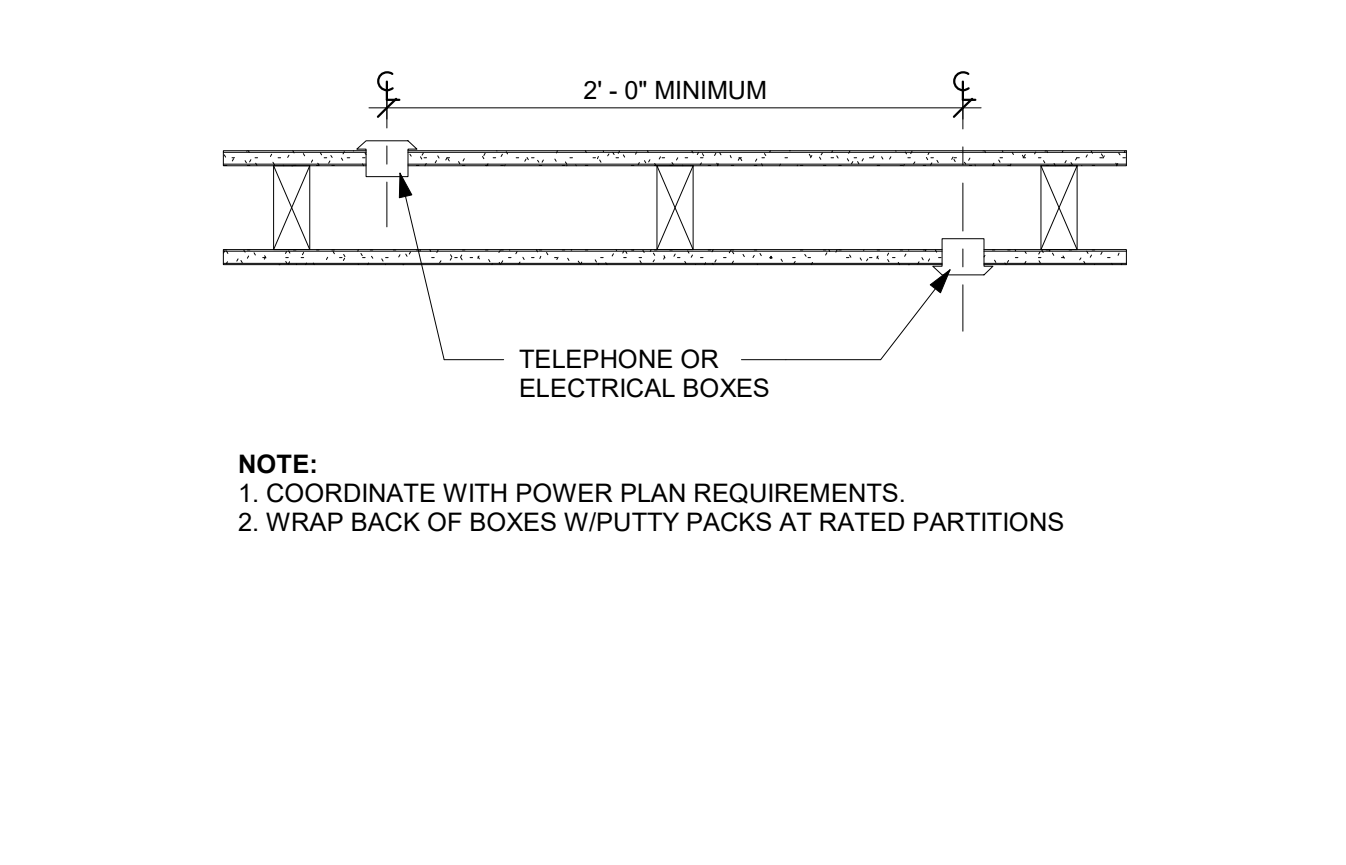
**5** WALL FURR OUT



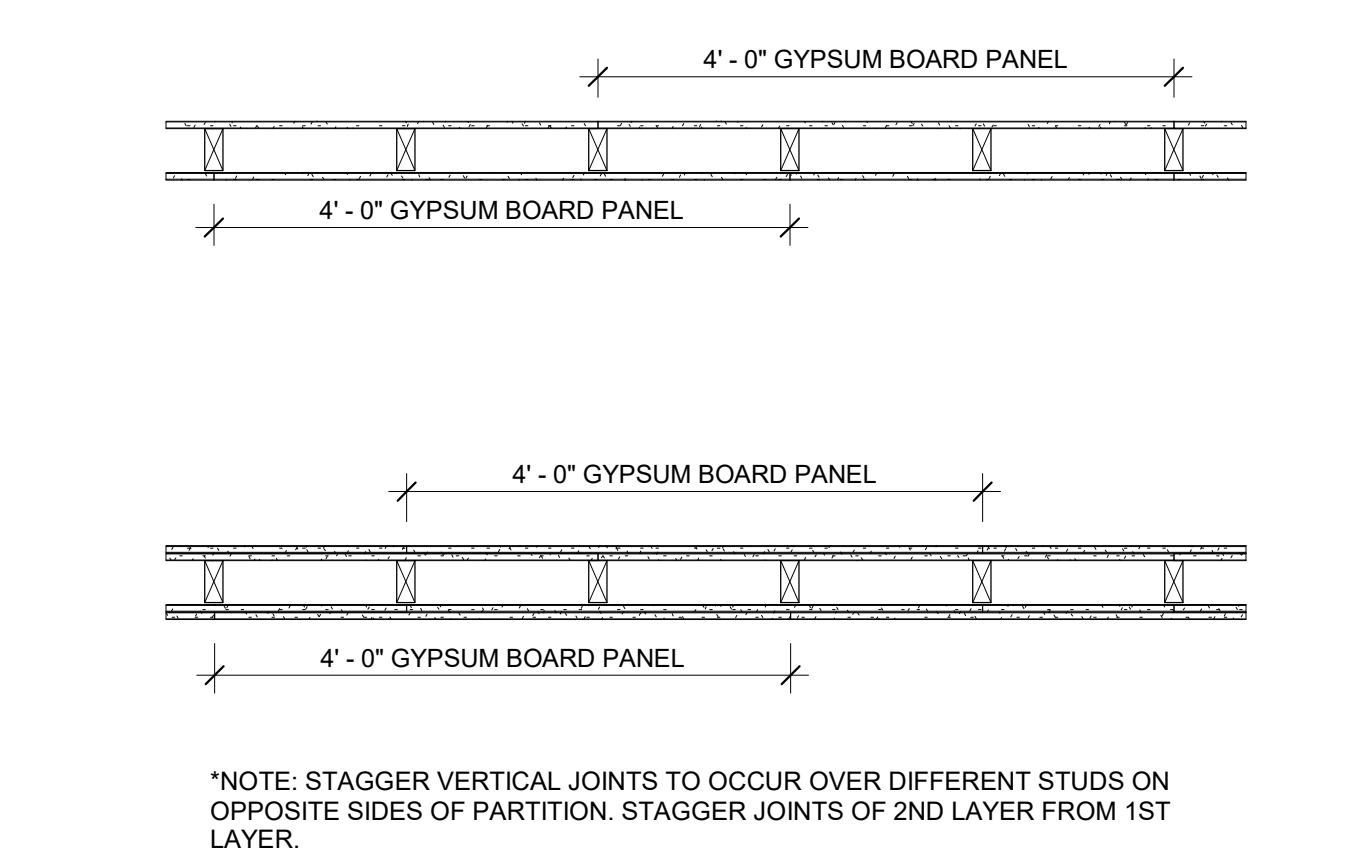
**1** TYPICAL INT DOOR FRAMING  
1/4" = 1'-0"



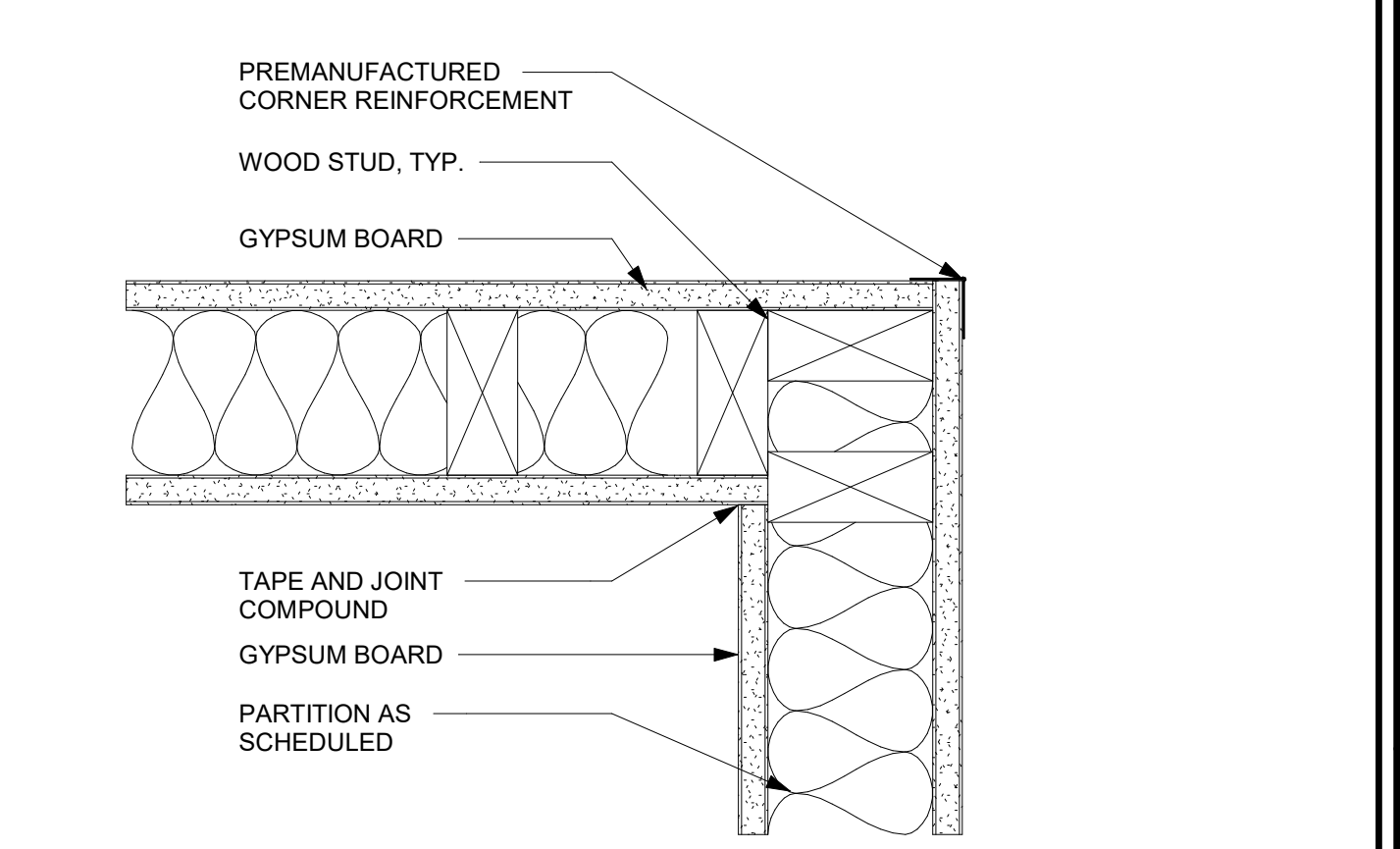
**2** TYPICAL BLOCKING  
3" = 1'-0"



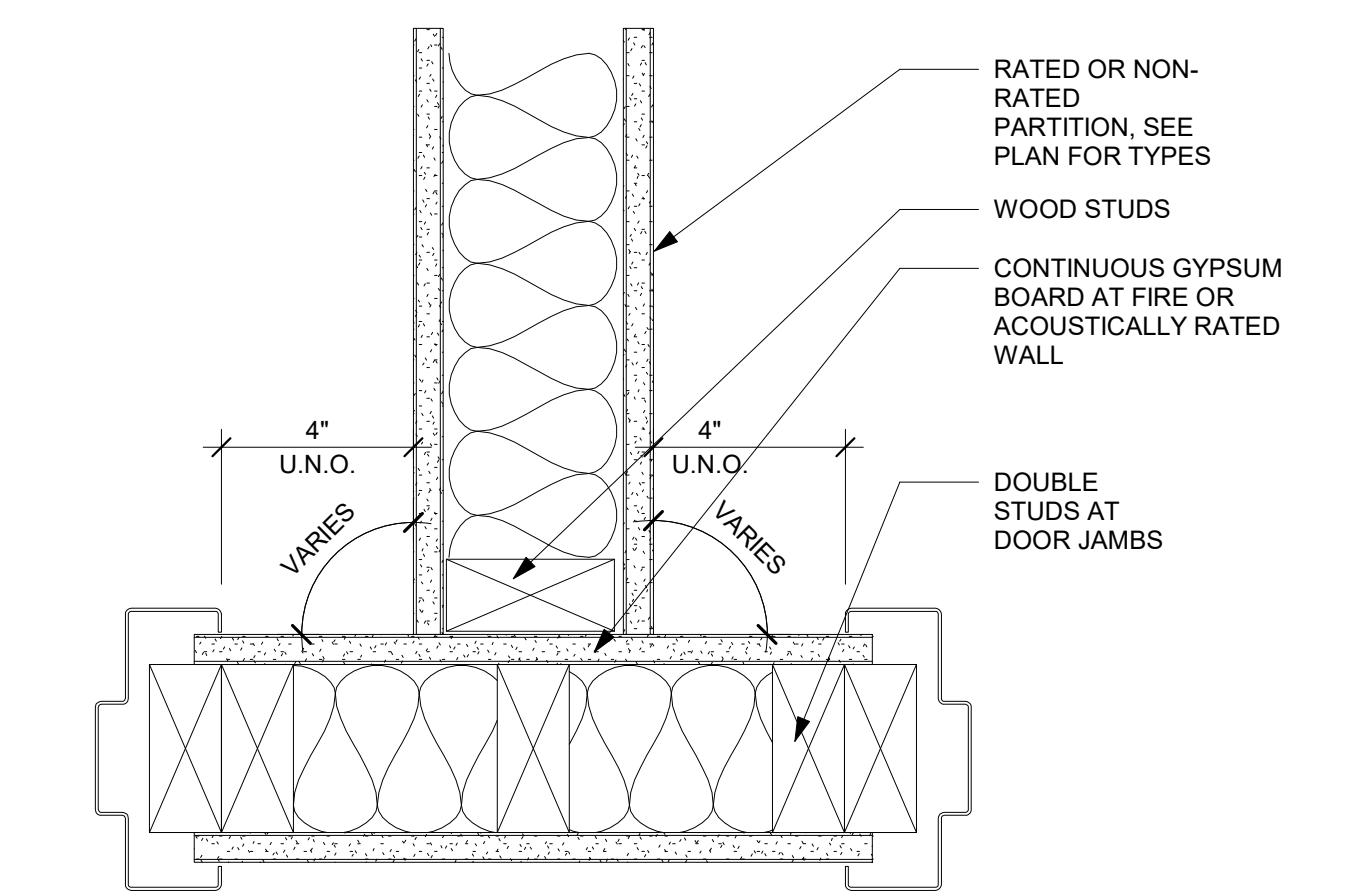
**3** TYPICAL ADJ ELECTRICAL BOXES  
1 1/2" = 1'-0"



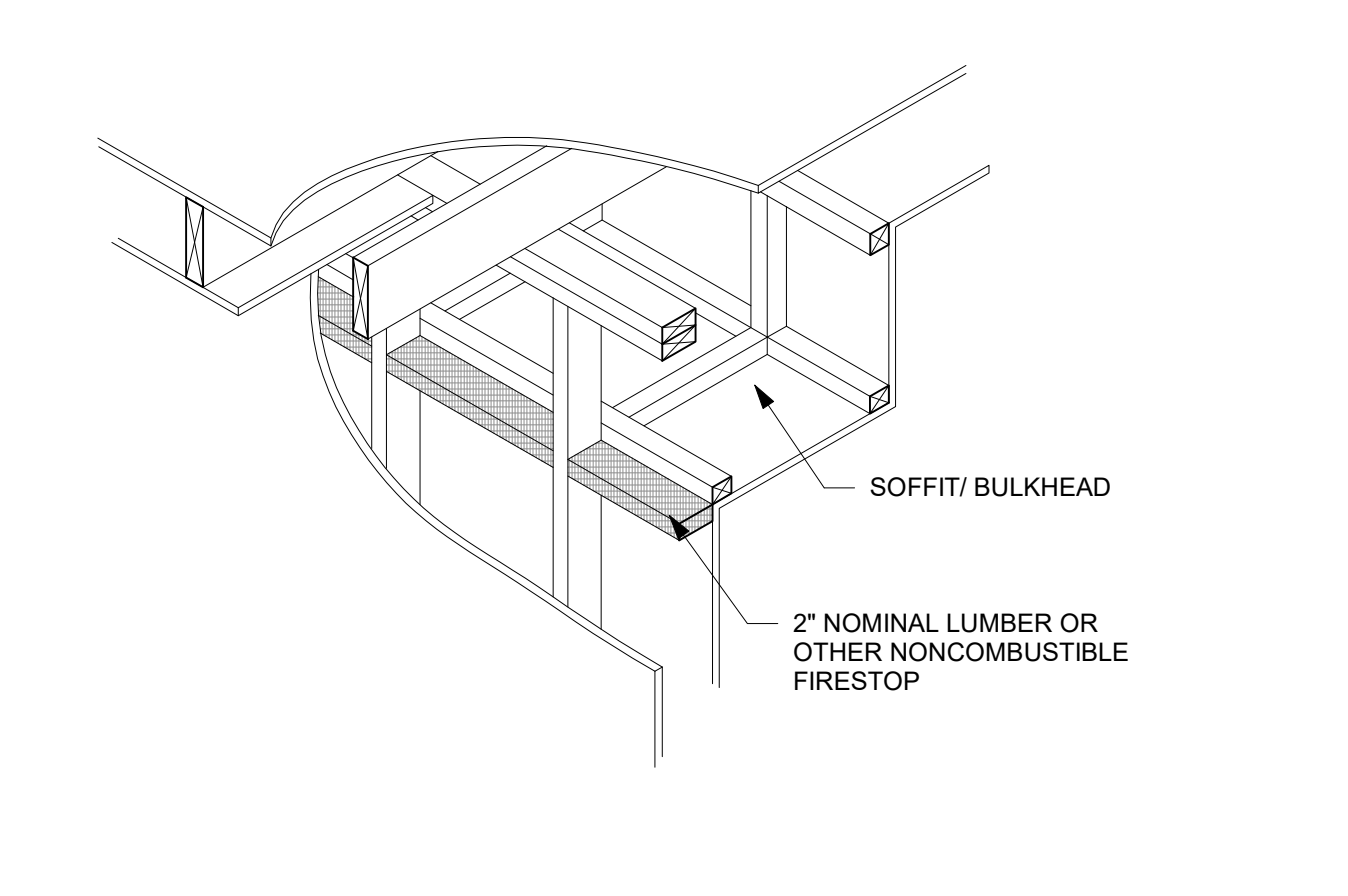
**4** TYPICAL GYP BD JOINT LOCATION  
3/4" = 1'-0"



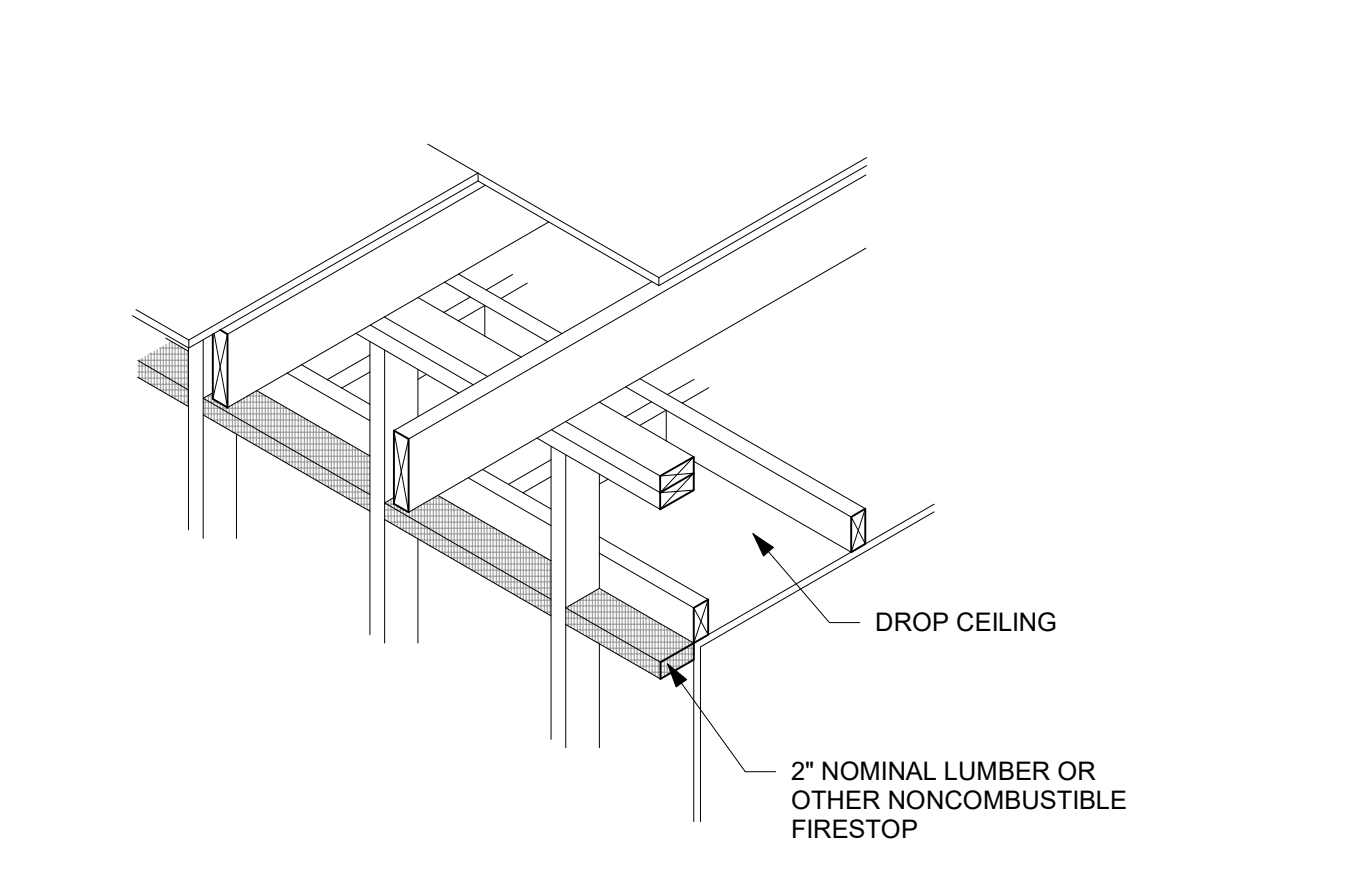
**5** TYPICAL CORNER DETAIL  
3" = 1'-0"



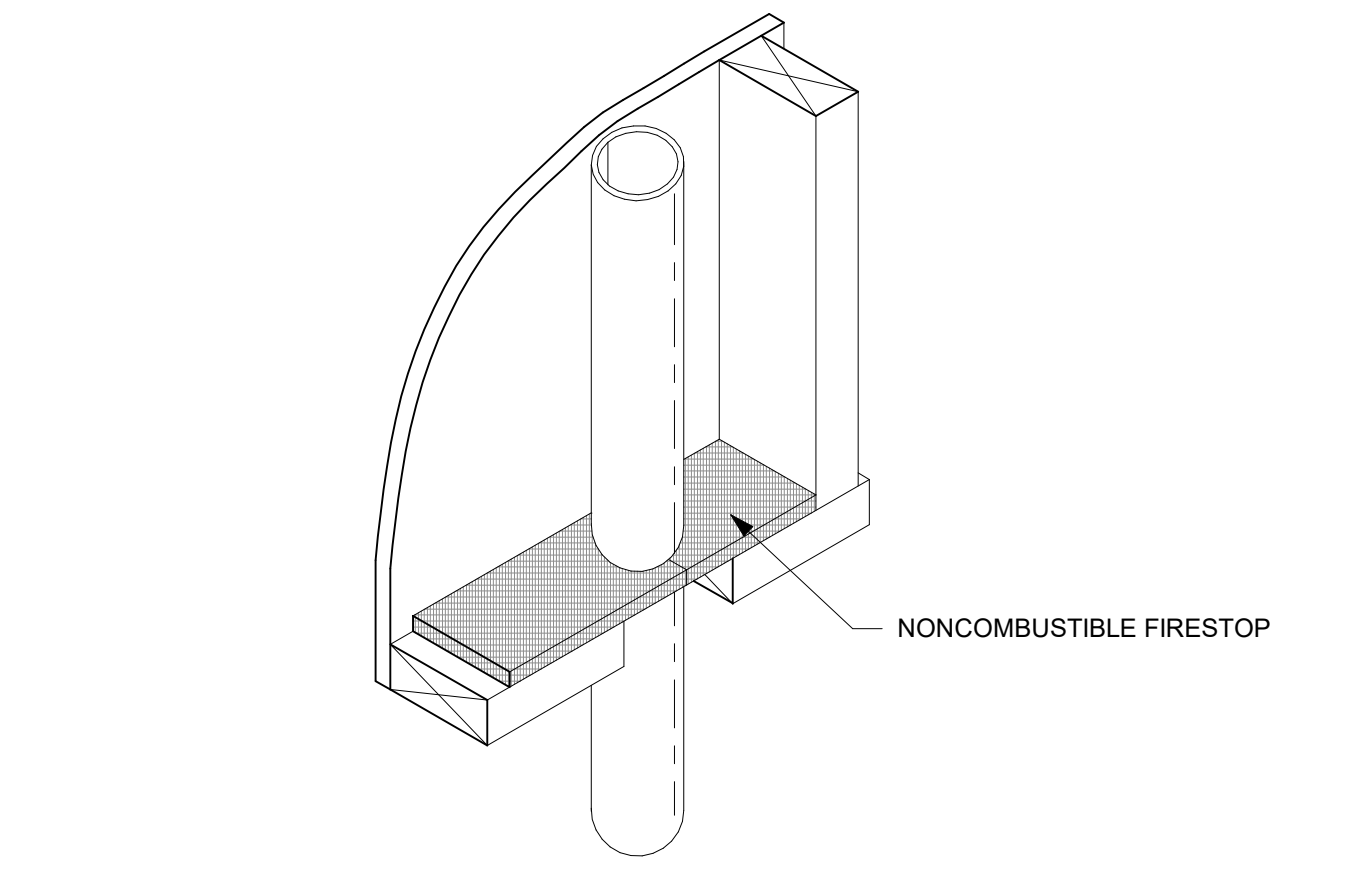
**6** TYPICAL WALL TO DOOR  
3" = 1'-0"



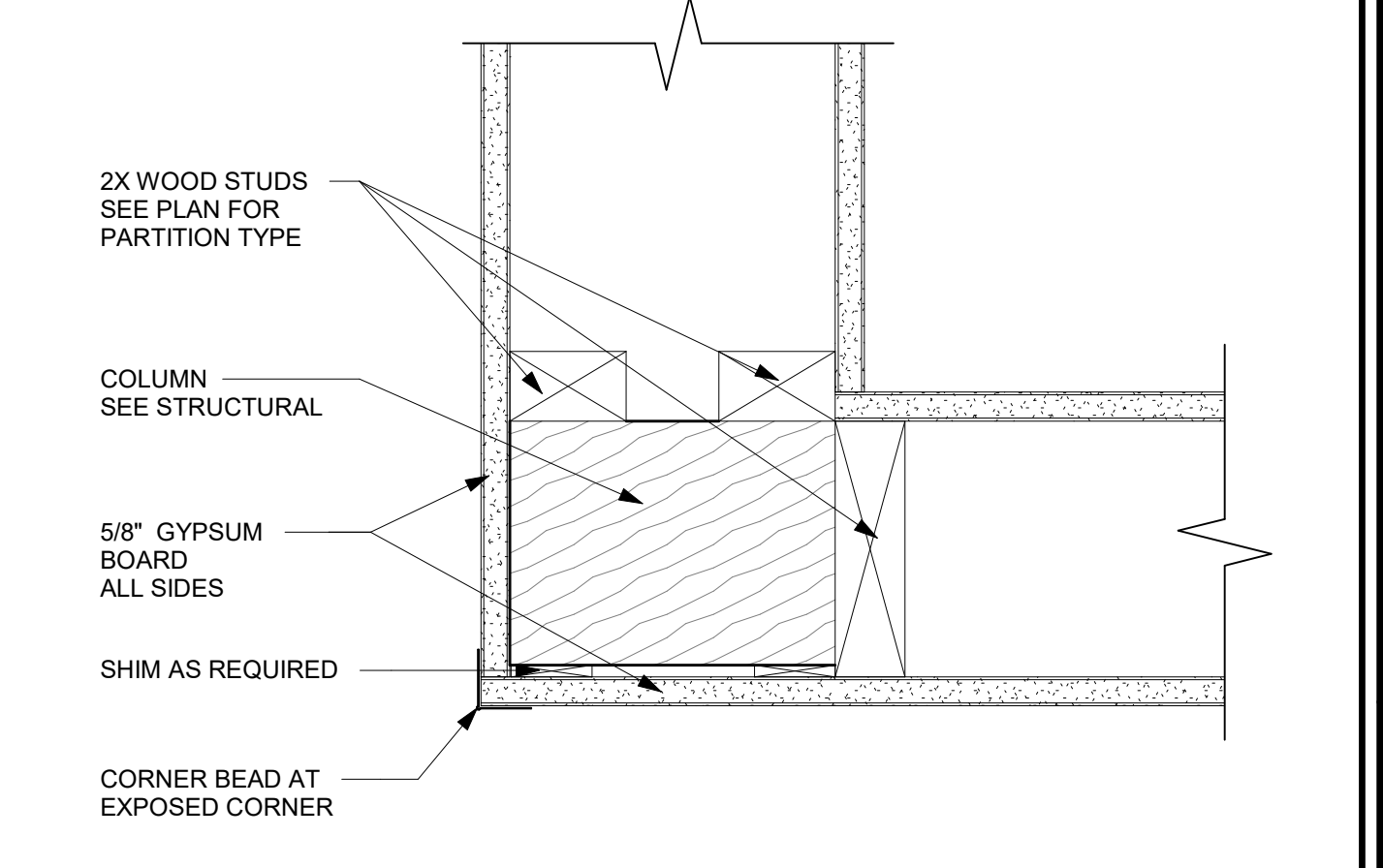
**7** FIRESTOP - BULKHEAD  
12" = 1'-0"



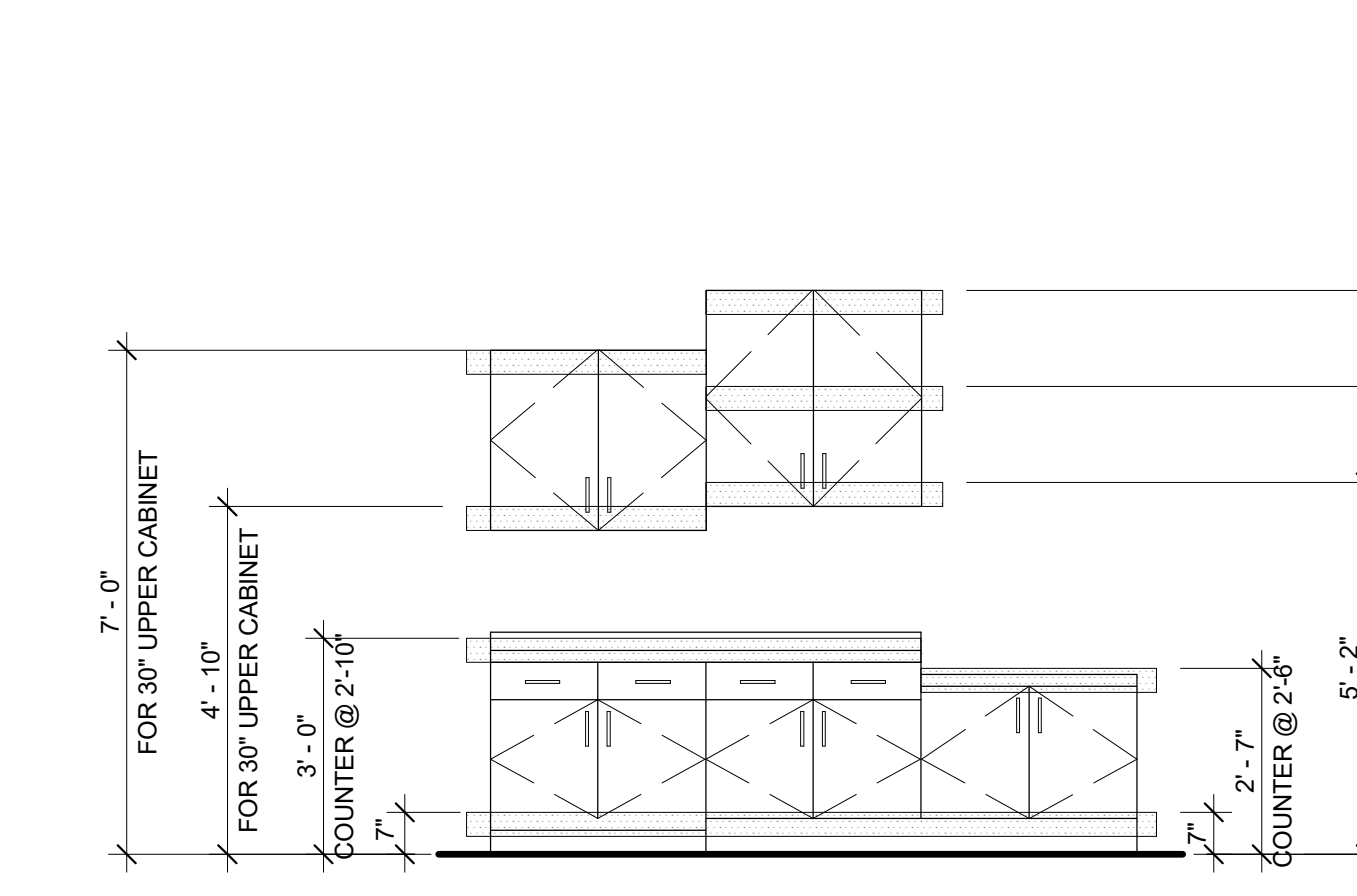
**8** FIRESTOP - DROP CEILINGS  
12" = 1'-0"



**9** FIRESTOP - PIPES  
12" = 1'-0"

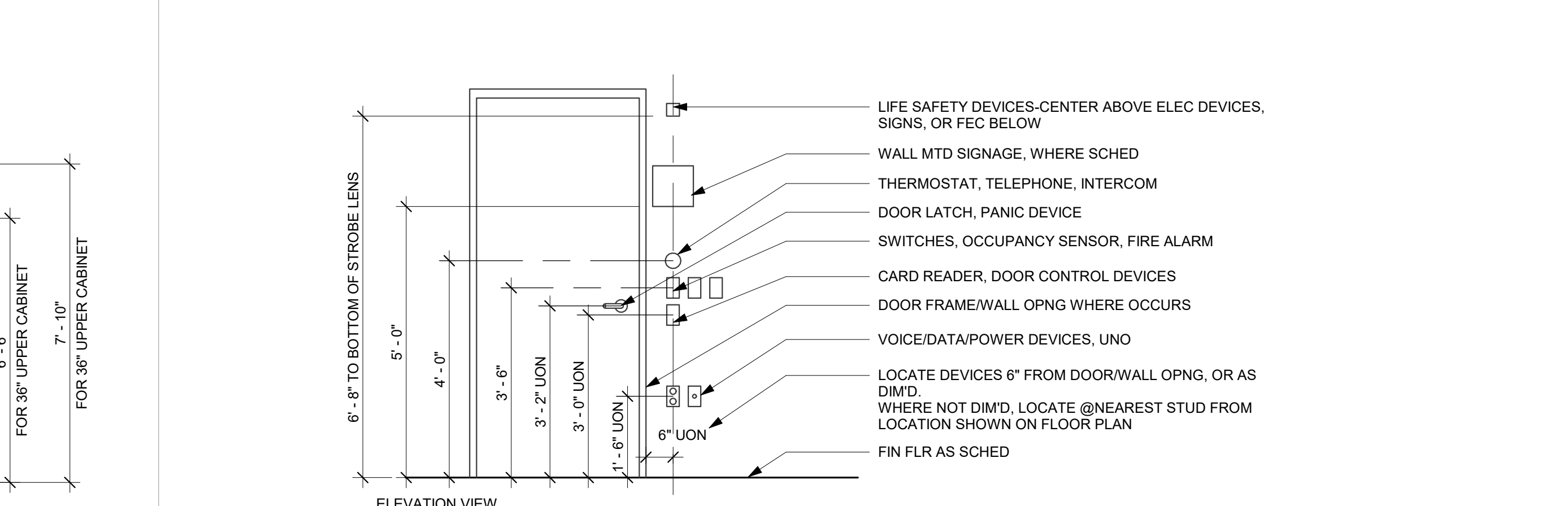


**10** COLUMN DETAIL  
3" = 1'-0"

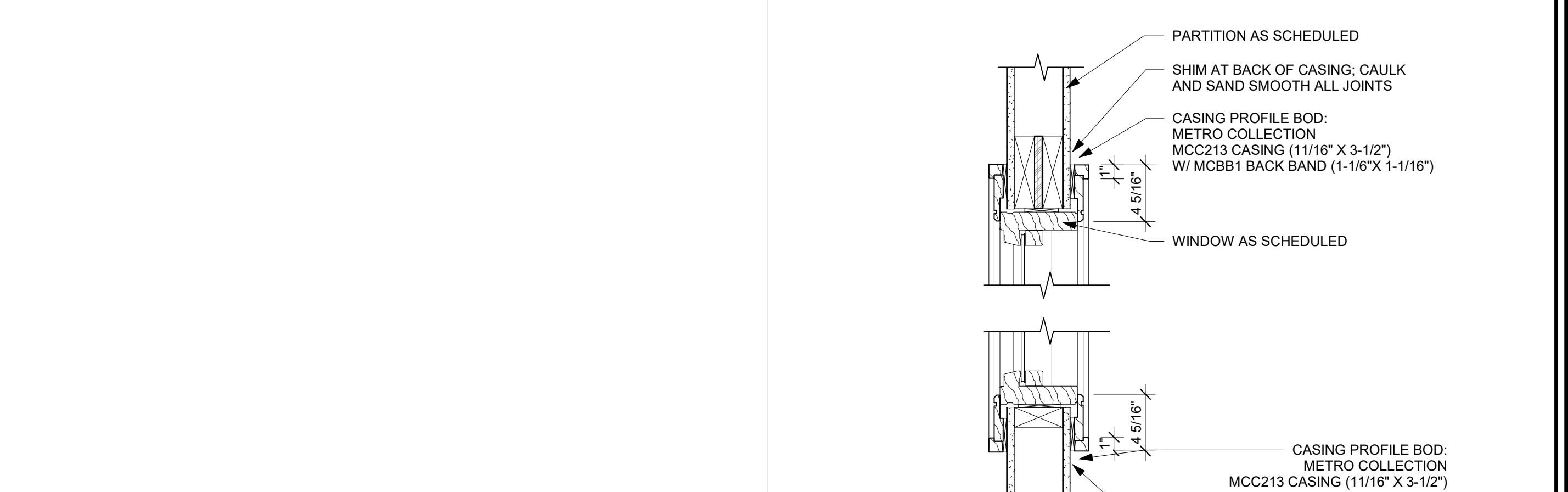


NOTE: ALL DIMENSIONS SHOWN ARE TO TOP OF BLOCKING STRIP. BLOCKING STRIP WIDTH IS 4". ALL BLOCKING IS 3/4" 5-PLY PLYWOOD.

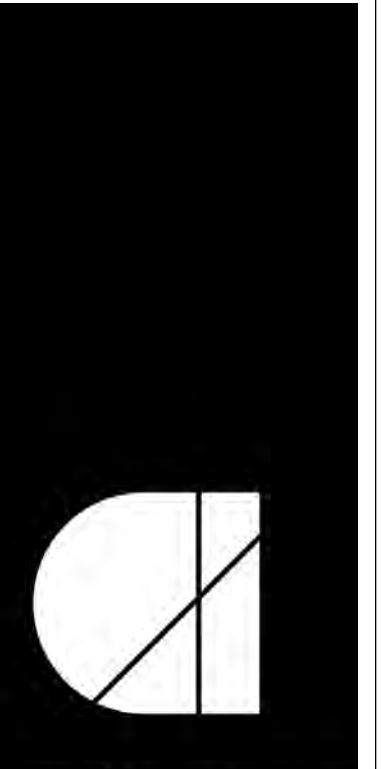
**11** BLOCKING TYPES - MILLWORK  
3/8" = 1'-0"



**12** DEVICE ALIGNMENT  
1/2" = 1'-0"



**13** INTERIOR WINDOW DETAIL  
1 1/2" = 1'-0"



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Project: 19296-01

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Revisions

1 REVISIONS FOR PERMIT 5/20/21

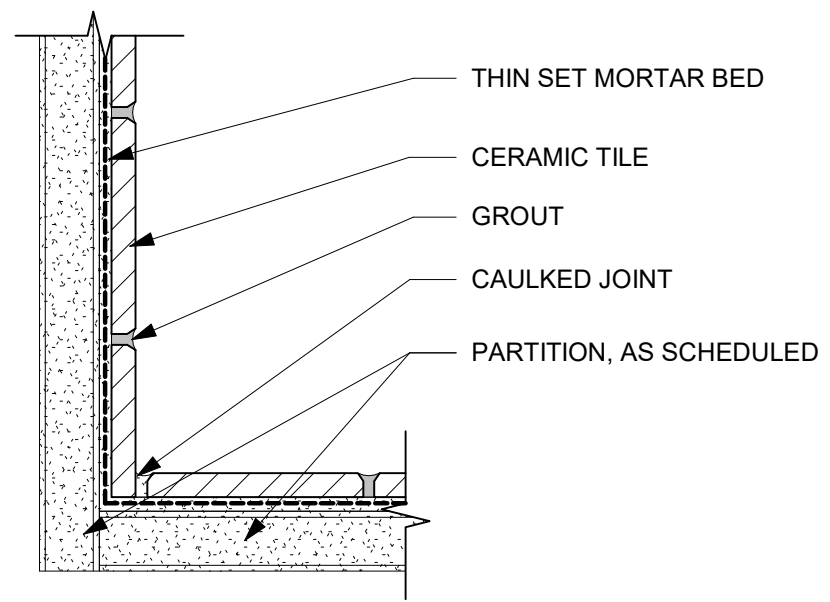
**PARTITION SCHEDULE, TYPES AND DETAILS**

Scale As indicated  
Drawn Author  
Checked Checker

**A800**

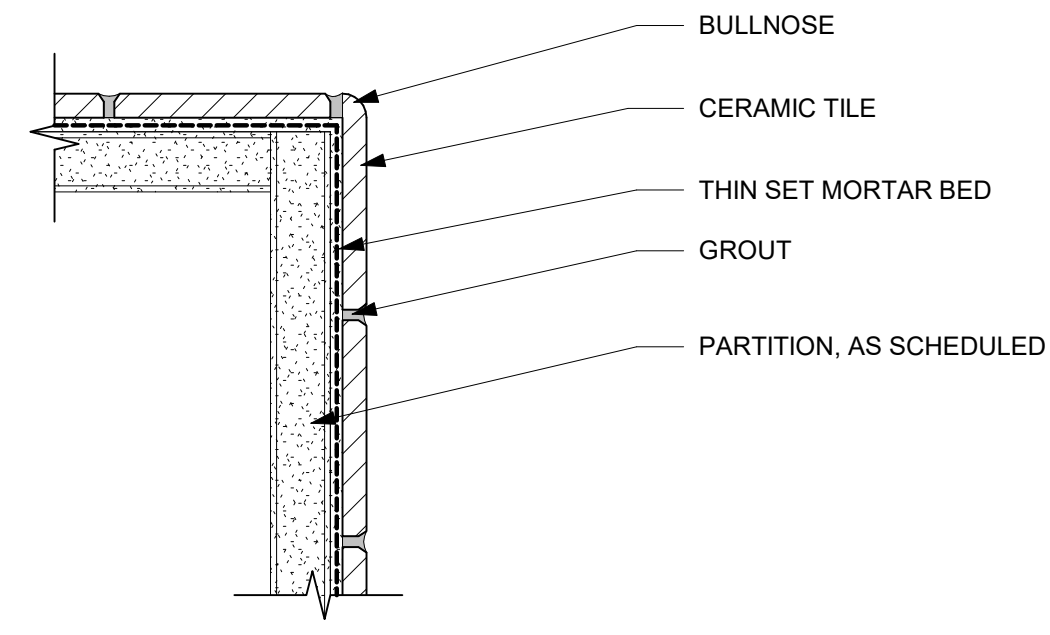
100% BID





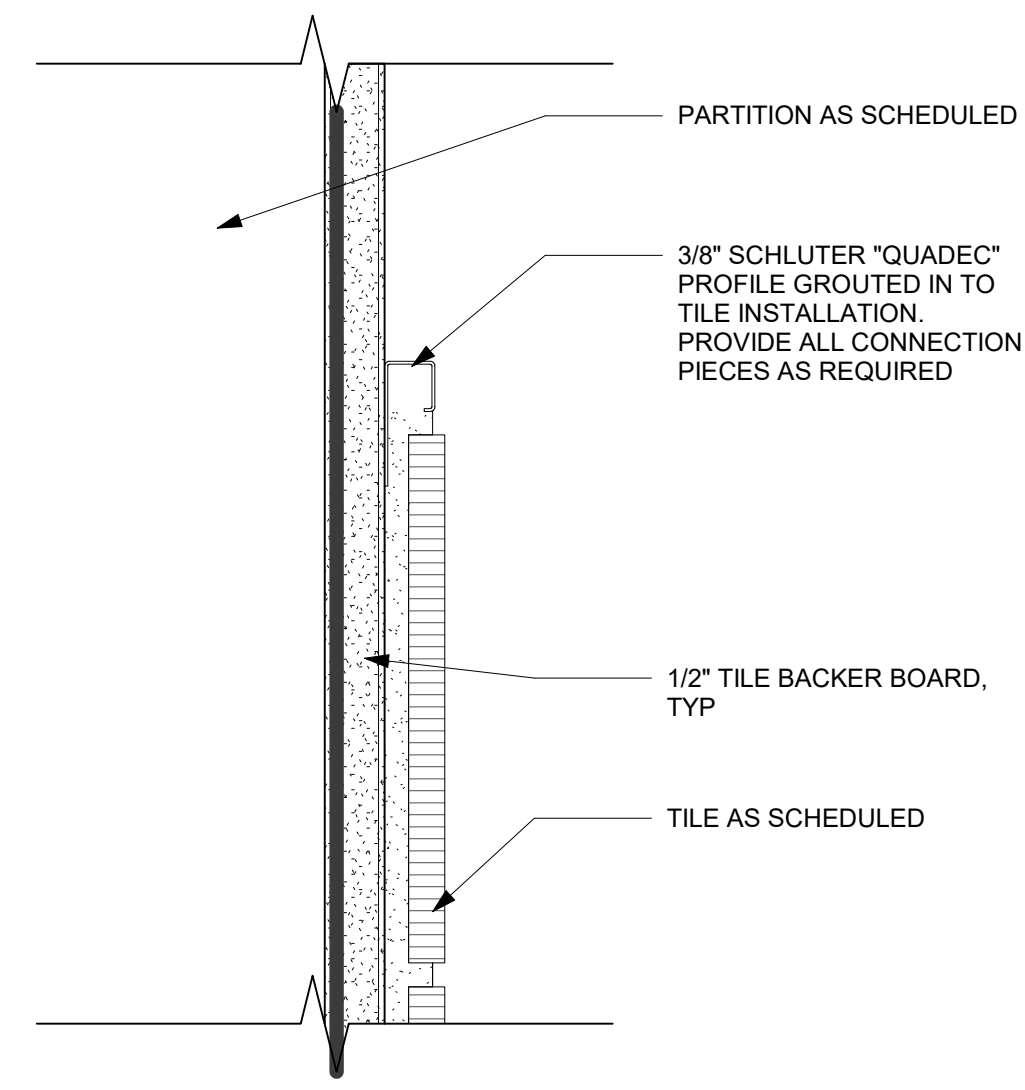
REFER TO INTERIOR ELEVATIONS FOR VERTICAL COURSING REQUIRED

1 TRS\_TILE@STUD INSIDE  
6" = 1'-0"

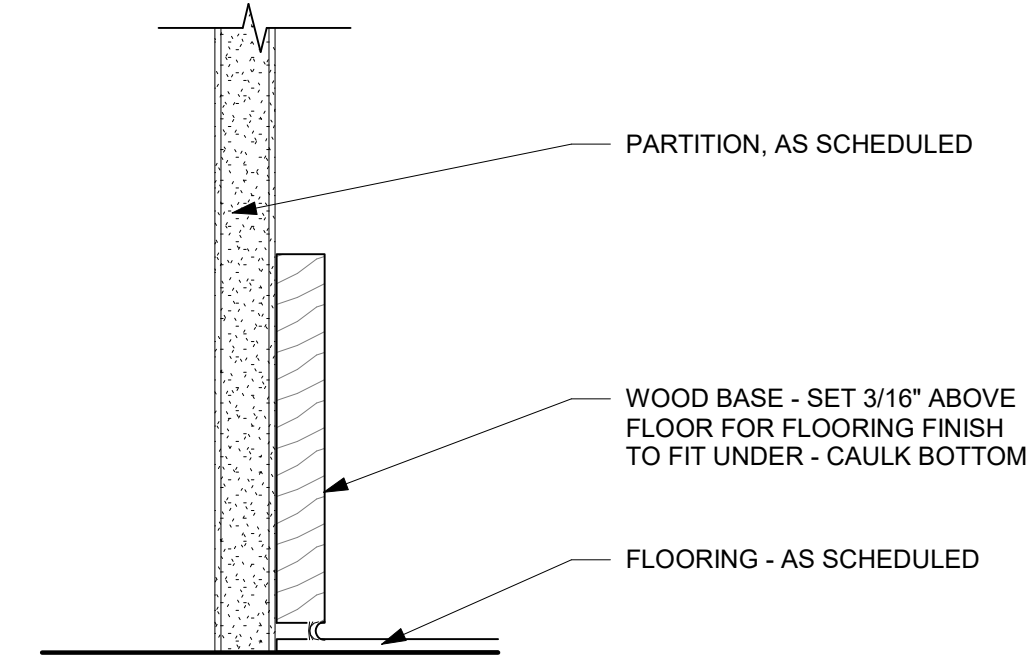


REFER TO INTERIOR ELEVATIONS FOR VERTICAL COURSING REQUIRED

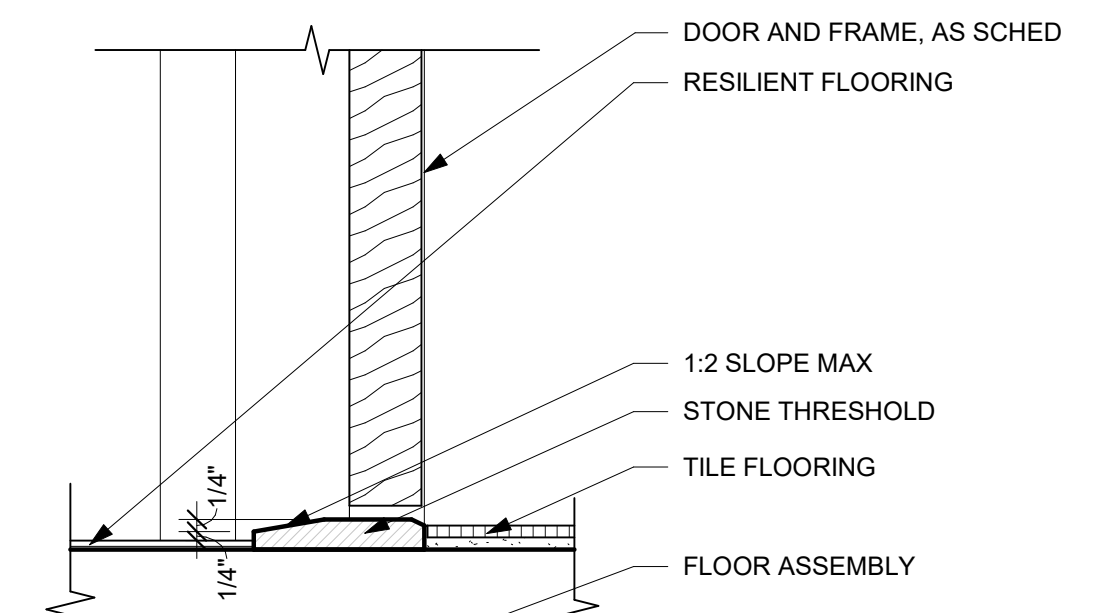
2 TRS\_TILE@STUD OUTSIDE  
6" = 1'-0"



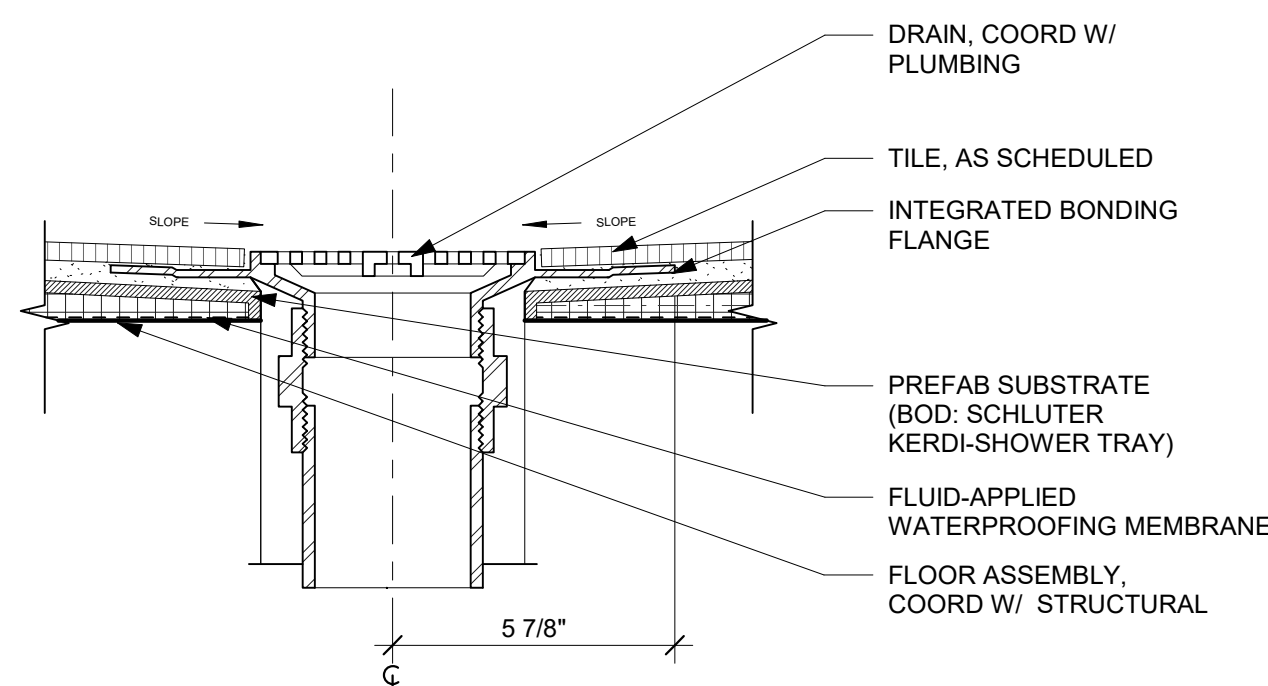
3 TRS\_TILE/GWB MTL CAP  
6" = 1'-0"



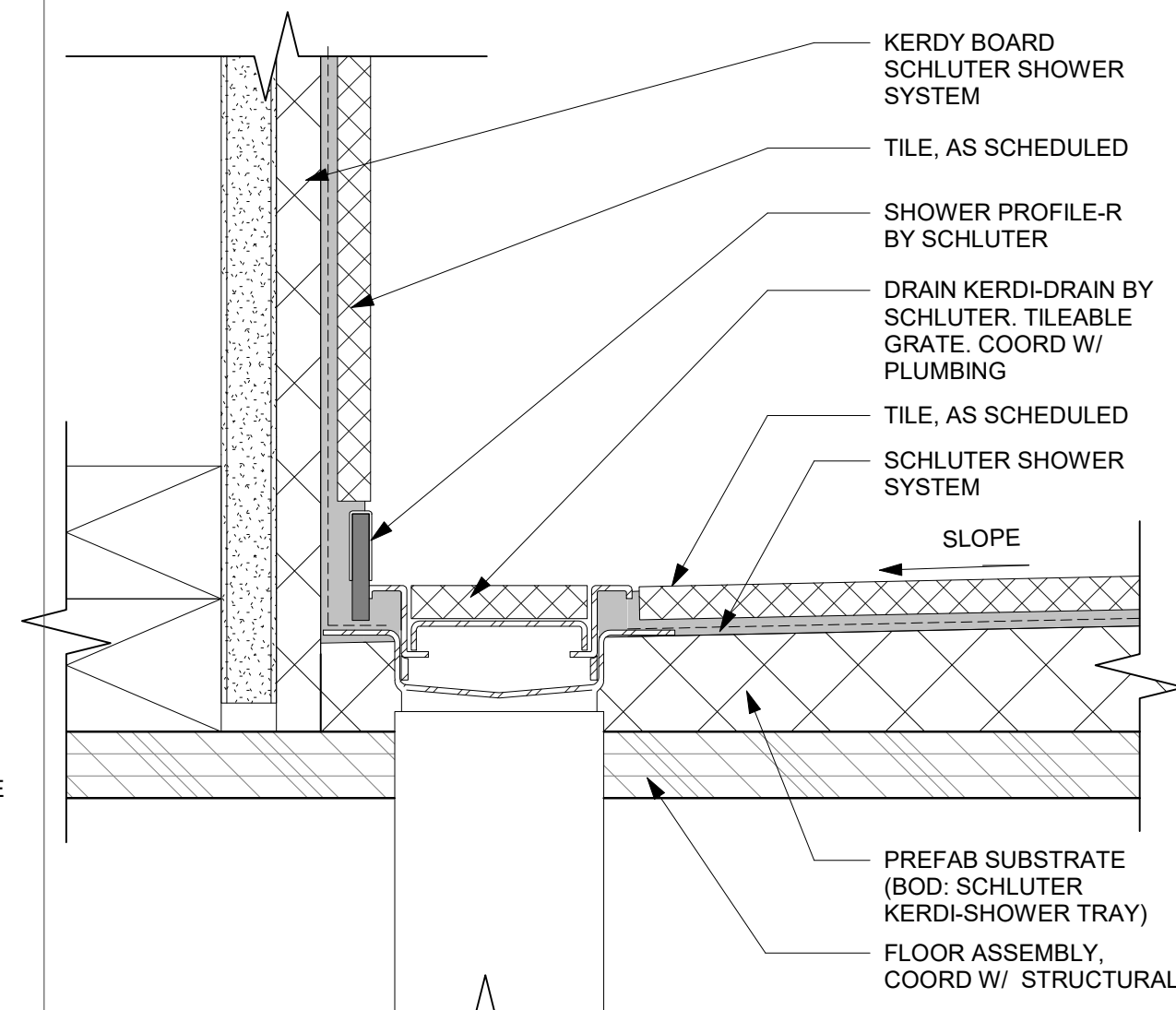
4 WOOD BASE  
6" = 1'-0"



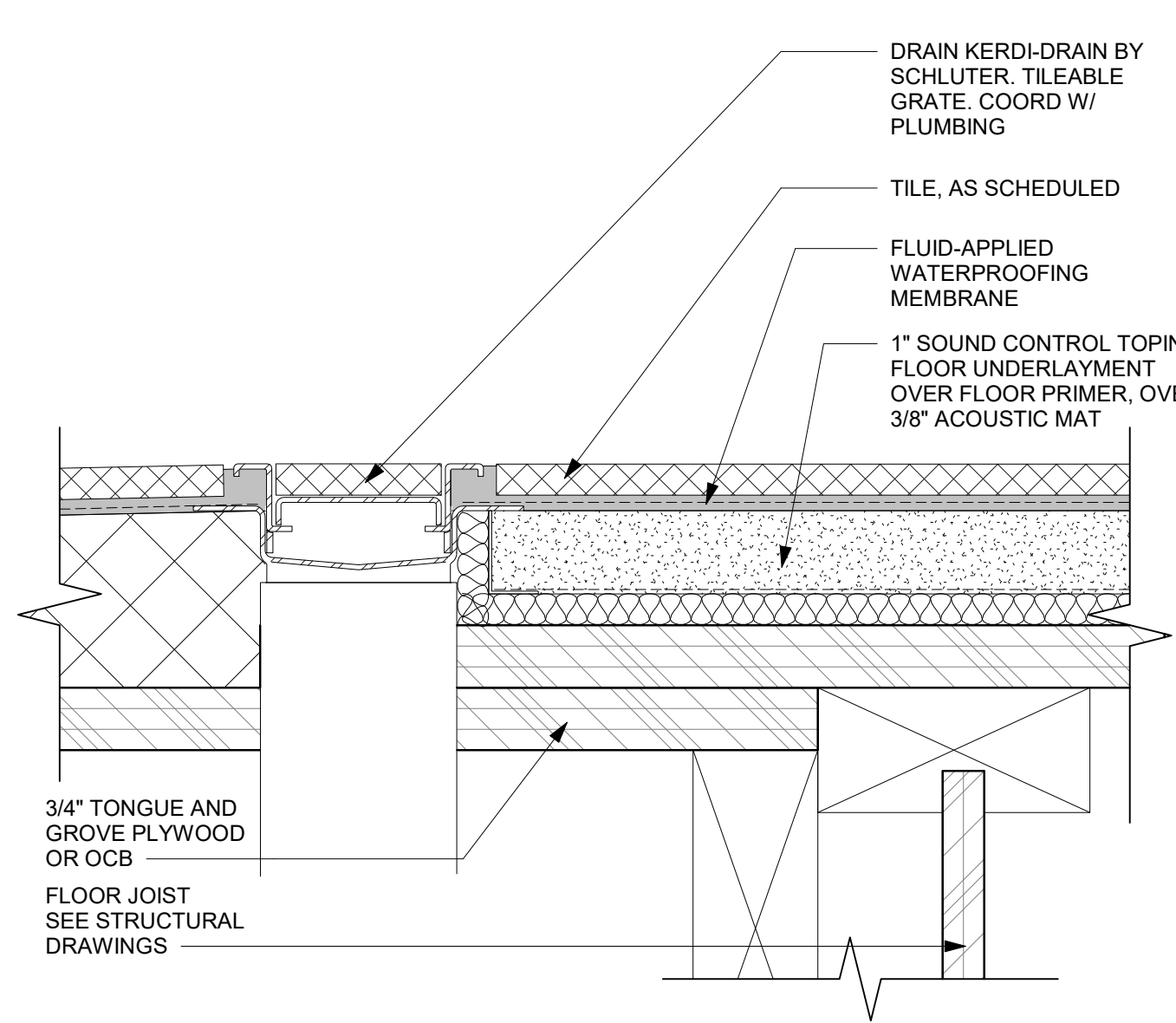
5 TRS\_DOOR @RESILIENT/TILE  
3" = 1'-0"



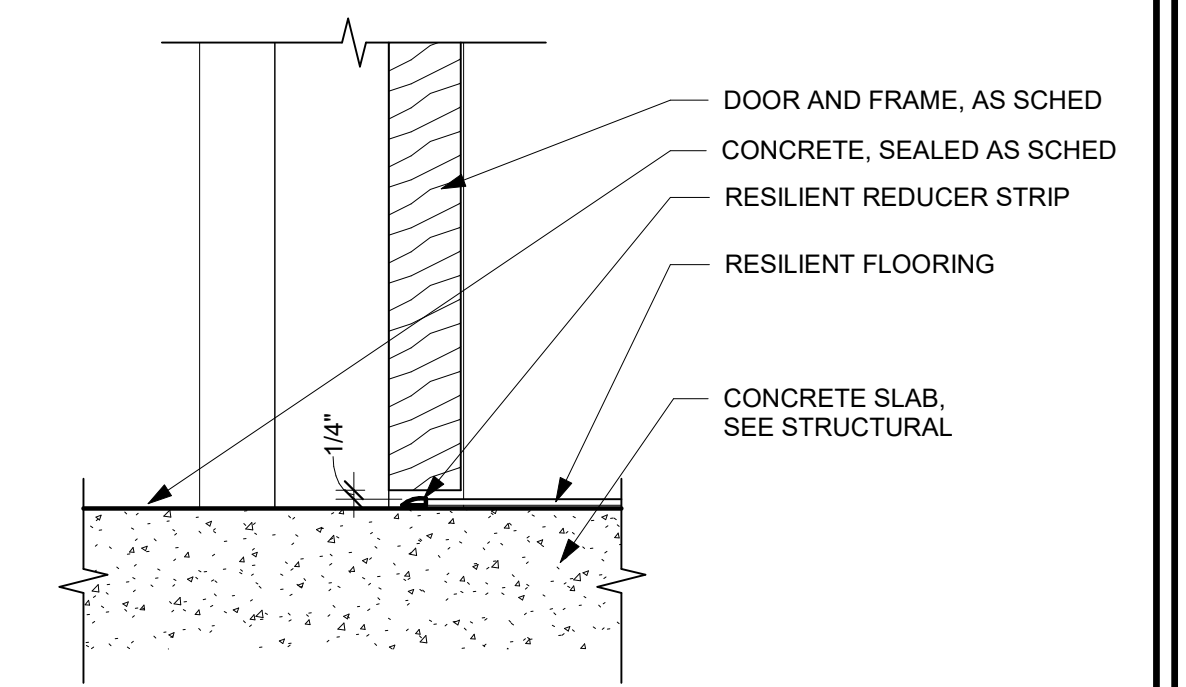
6 FLOOR DRAIN  
3" = 1'-0"



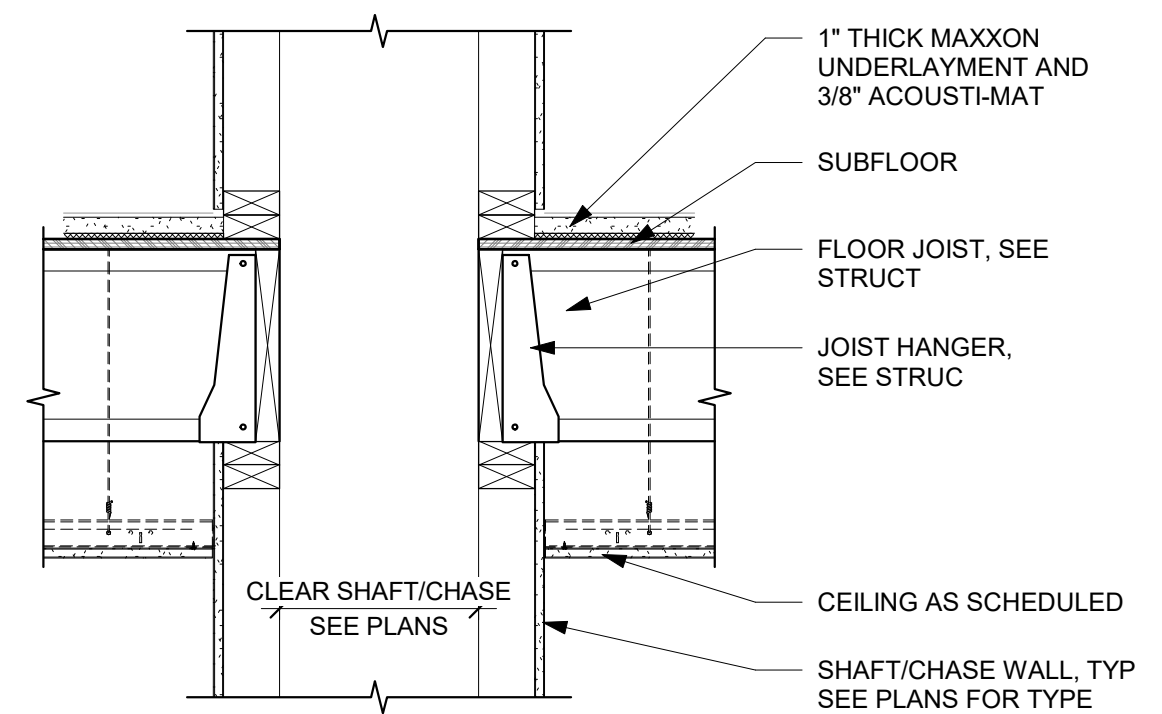
7 TILED SHOWER / FLOOR DRAIN  
6" = 1'-0"



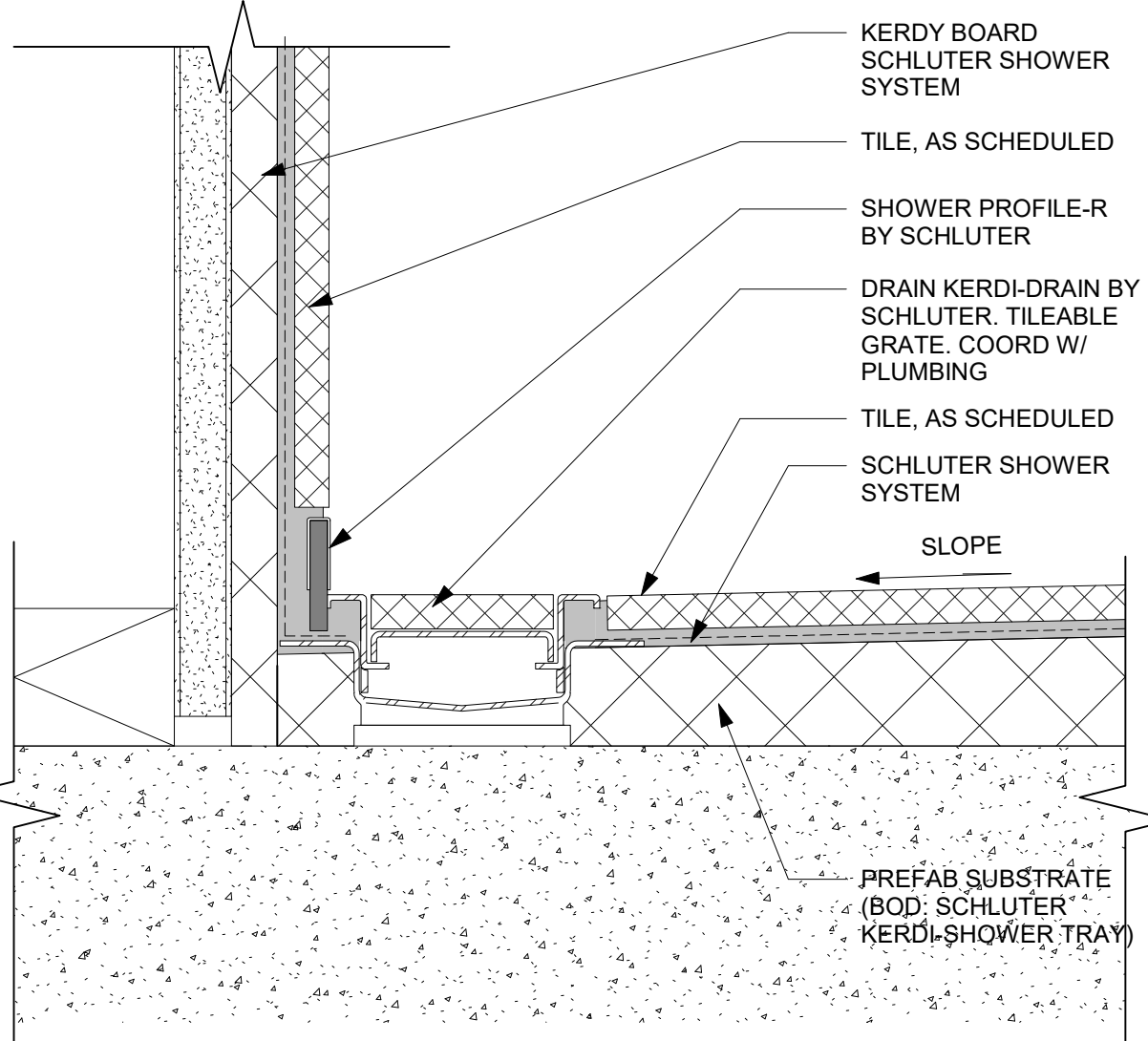
8 RESILIENT/TILE  
6" = 1'-0"



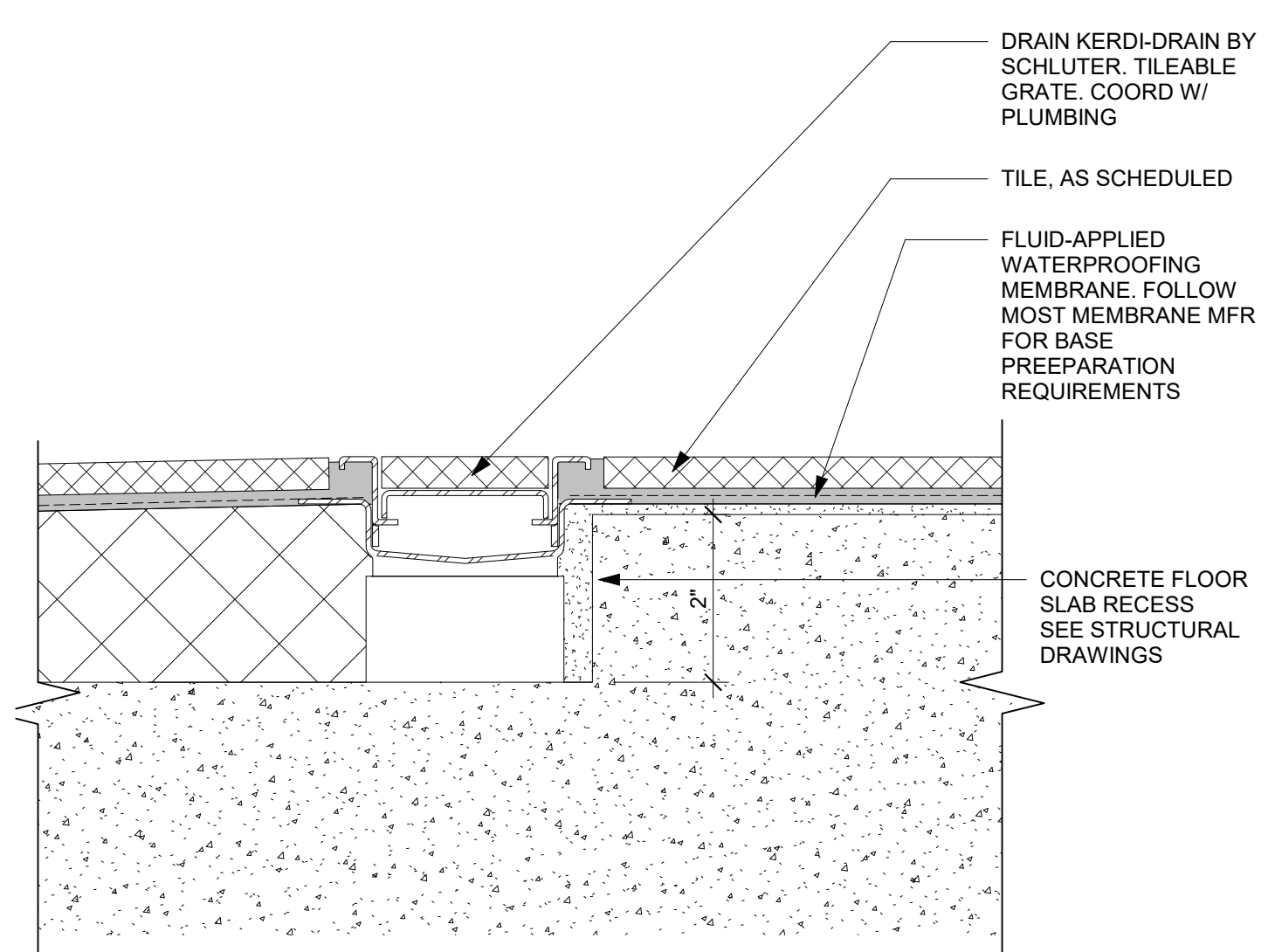
9 TRS\_DOOR @RESILIENT/CONC  
3" = 1'-0"



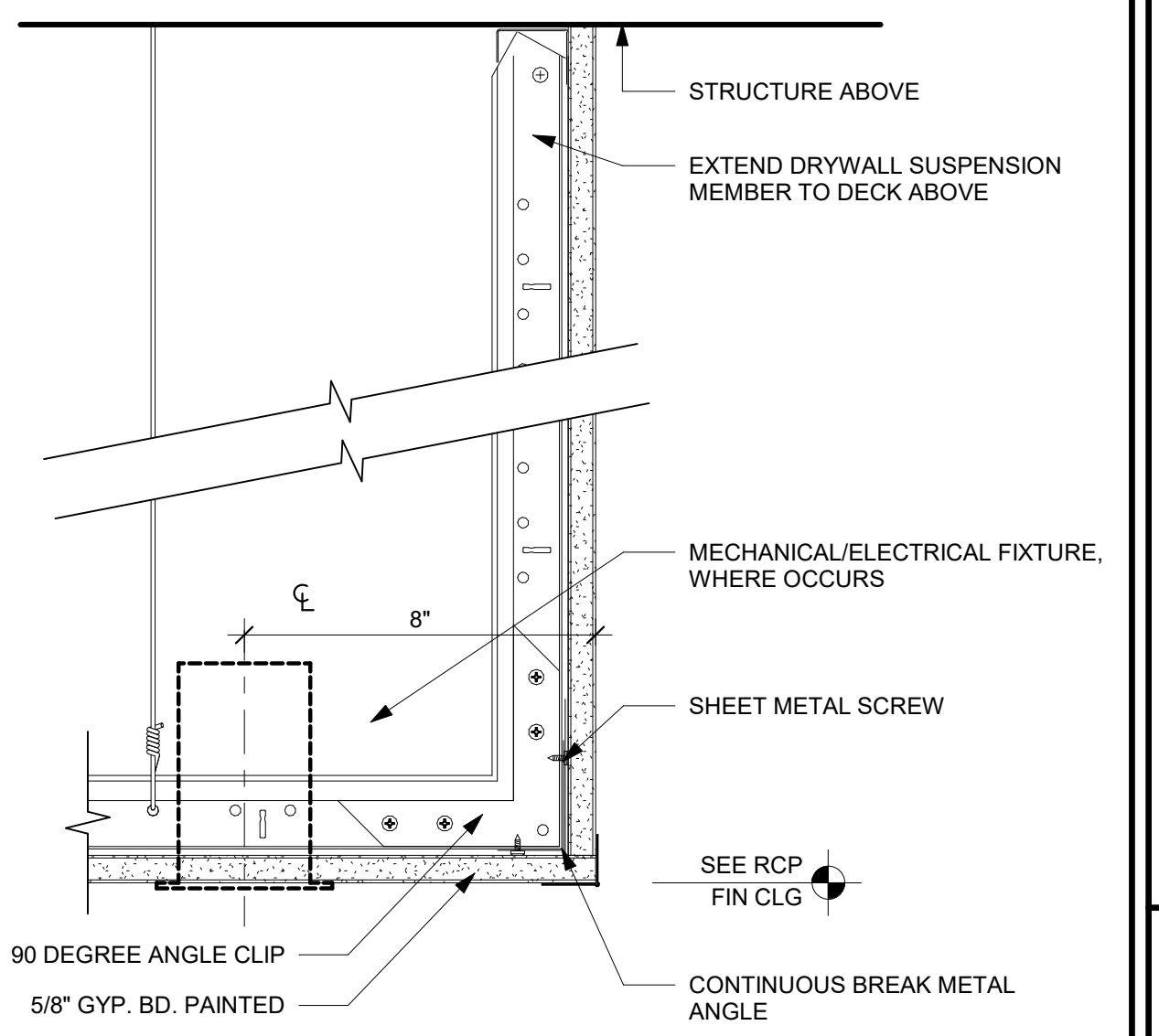
10 INT SHAFT SECTION DETAIL  
1" = 1'-0"



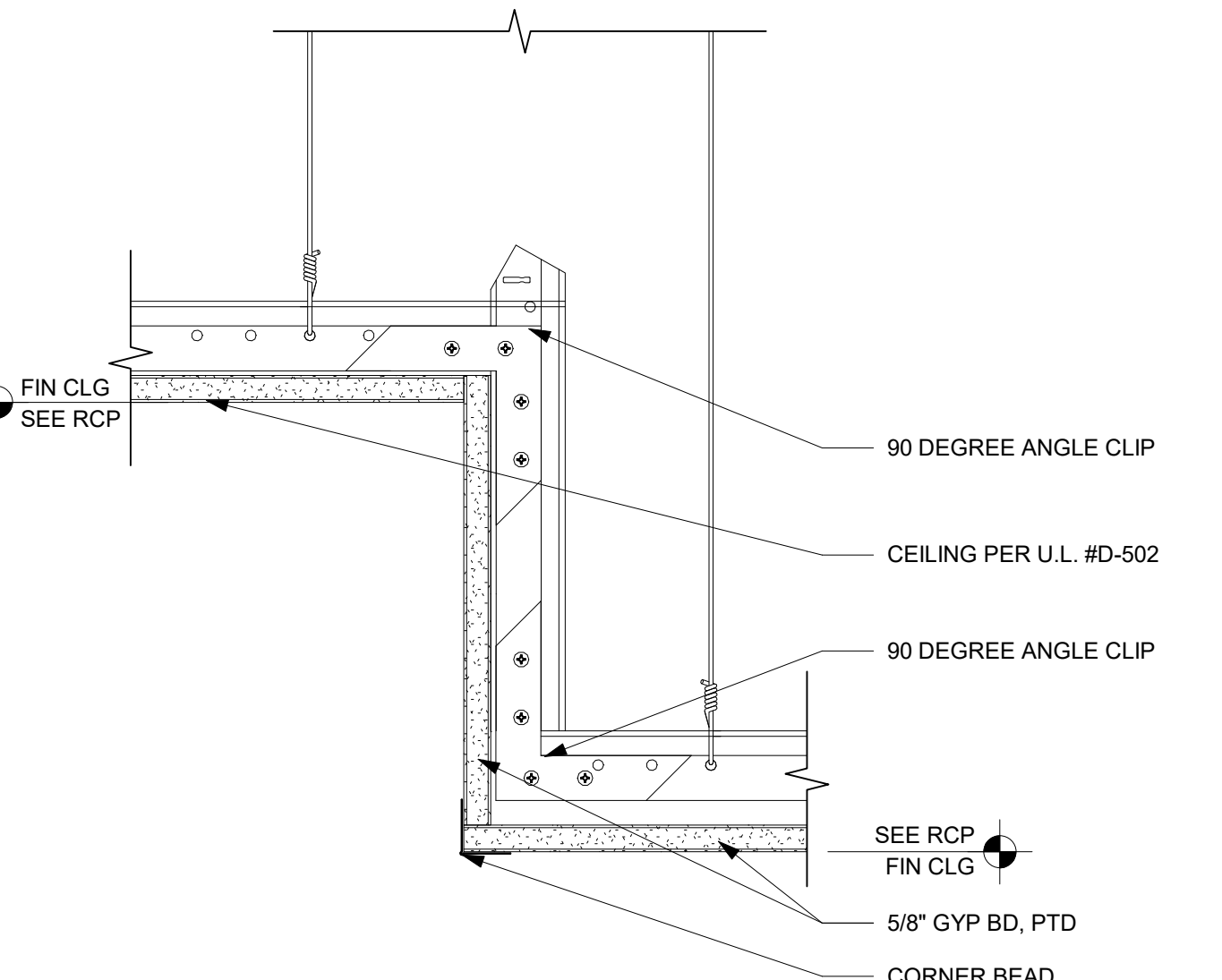
11 TILED SHOWER / FLOOR DRAIN  
6" = 1'-0"



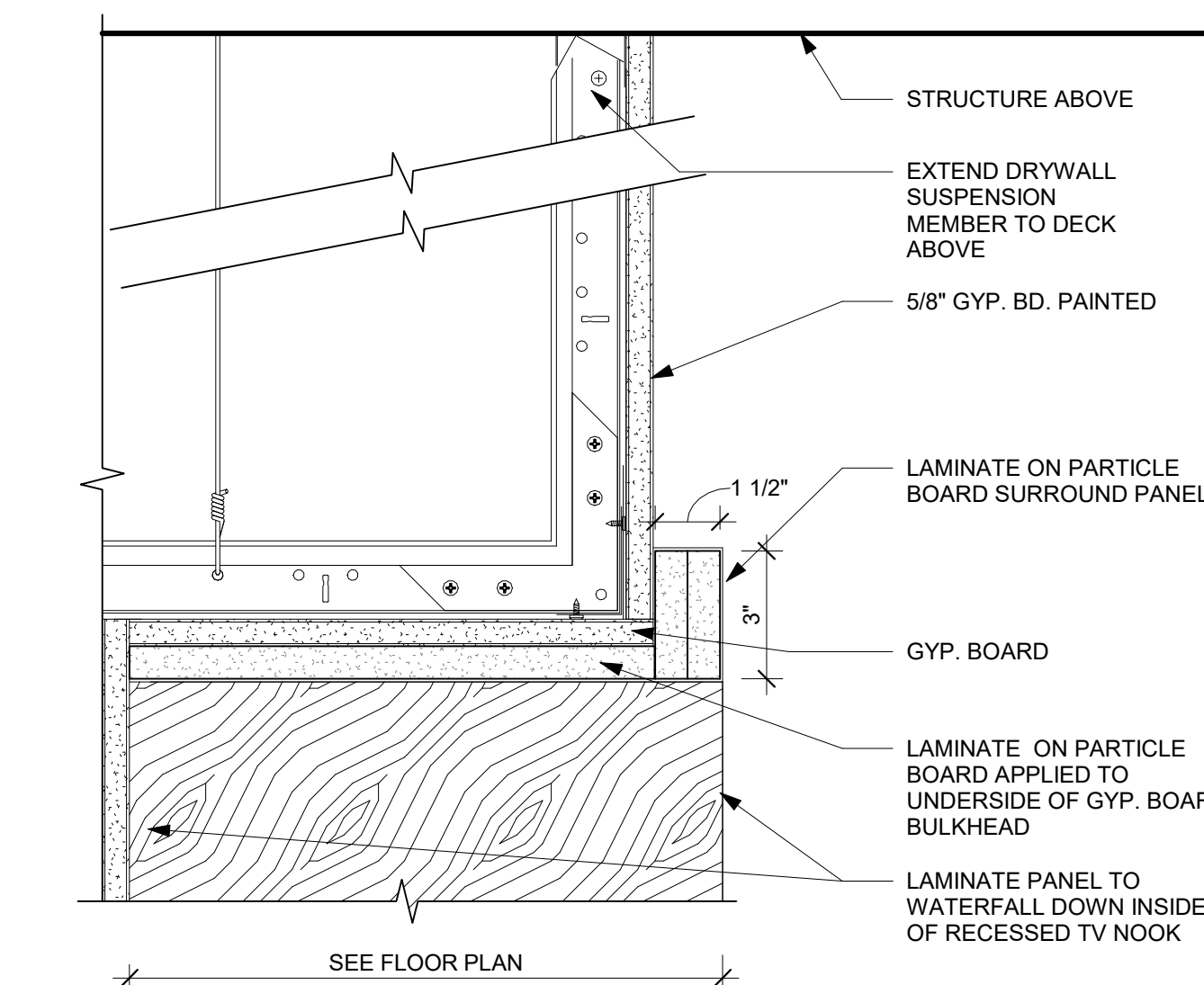
12 PERIMETER COVE LIGHT  
3" = 1'-0"



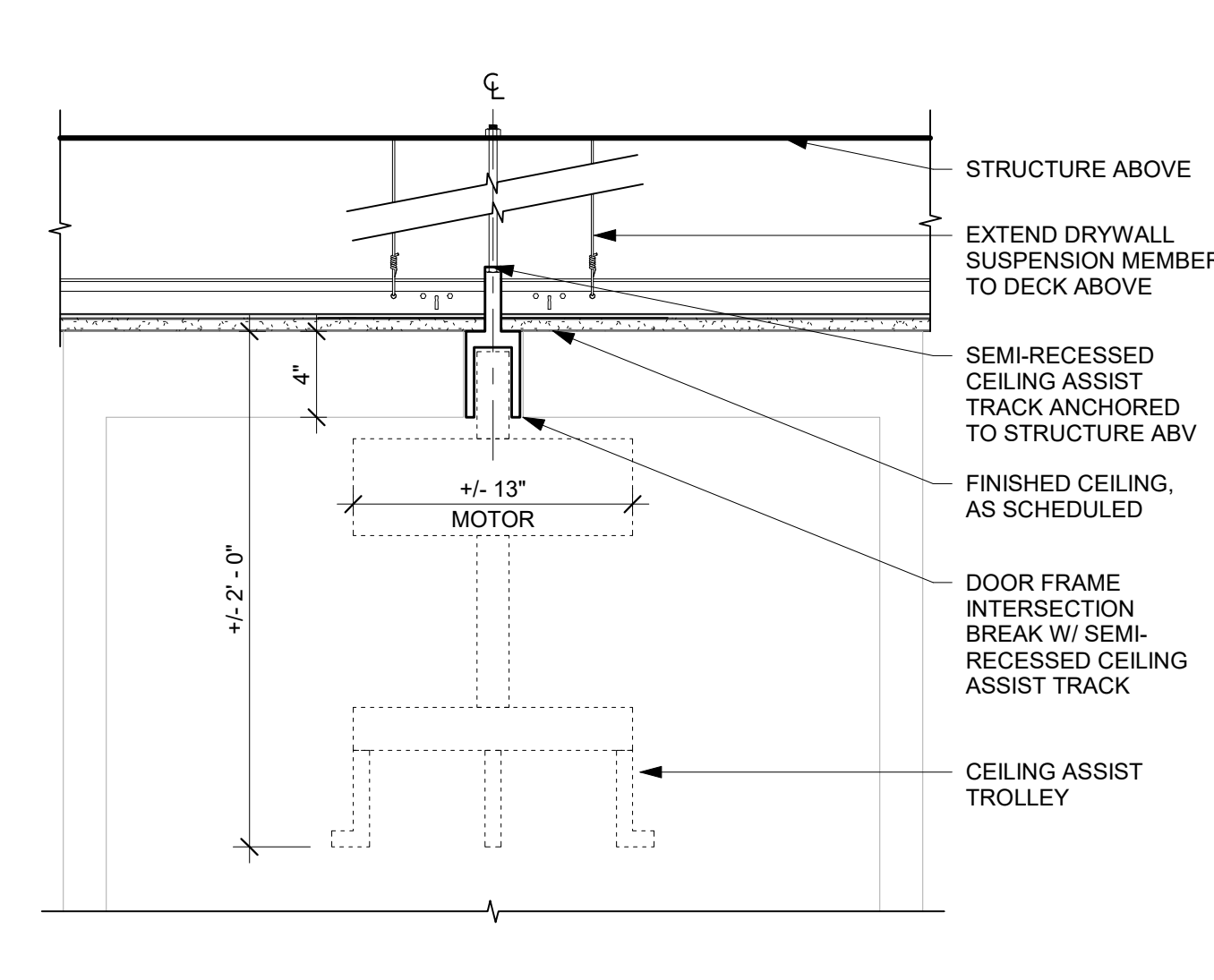
13 GYP BD SOFFIT  
3" = 1'-0"



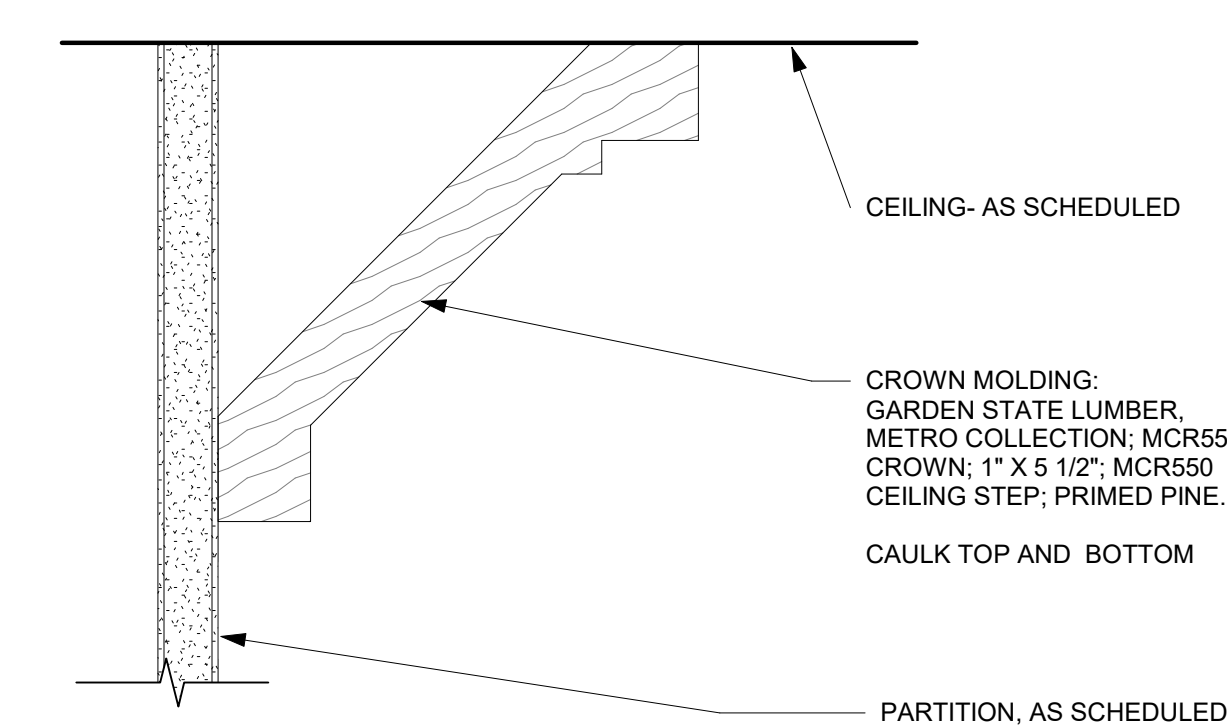
14 HIGH/LOW GYP BD CLG  
3" = 1'-0"



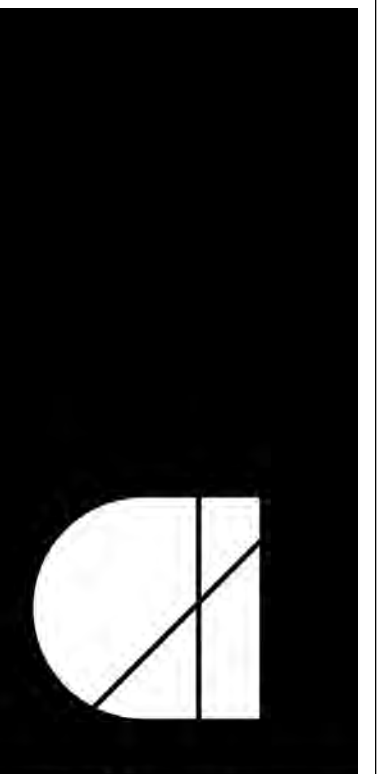
15 LAMINATE SURROUND PANEL  
3" = 1'-0"



16 CEILING ASSIST TRACK  
1 1/2" = 1'-0"



17 CROWN MOLDING  
6" = 1'-0"



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Revisions

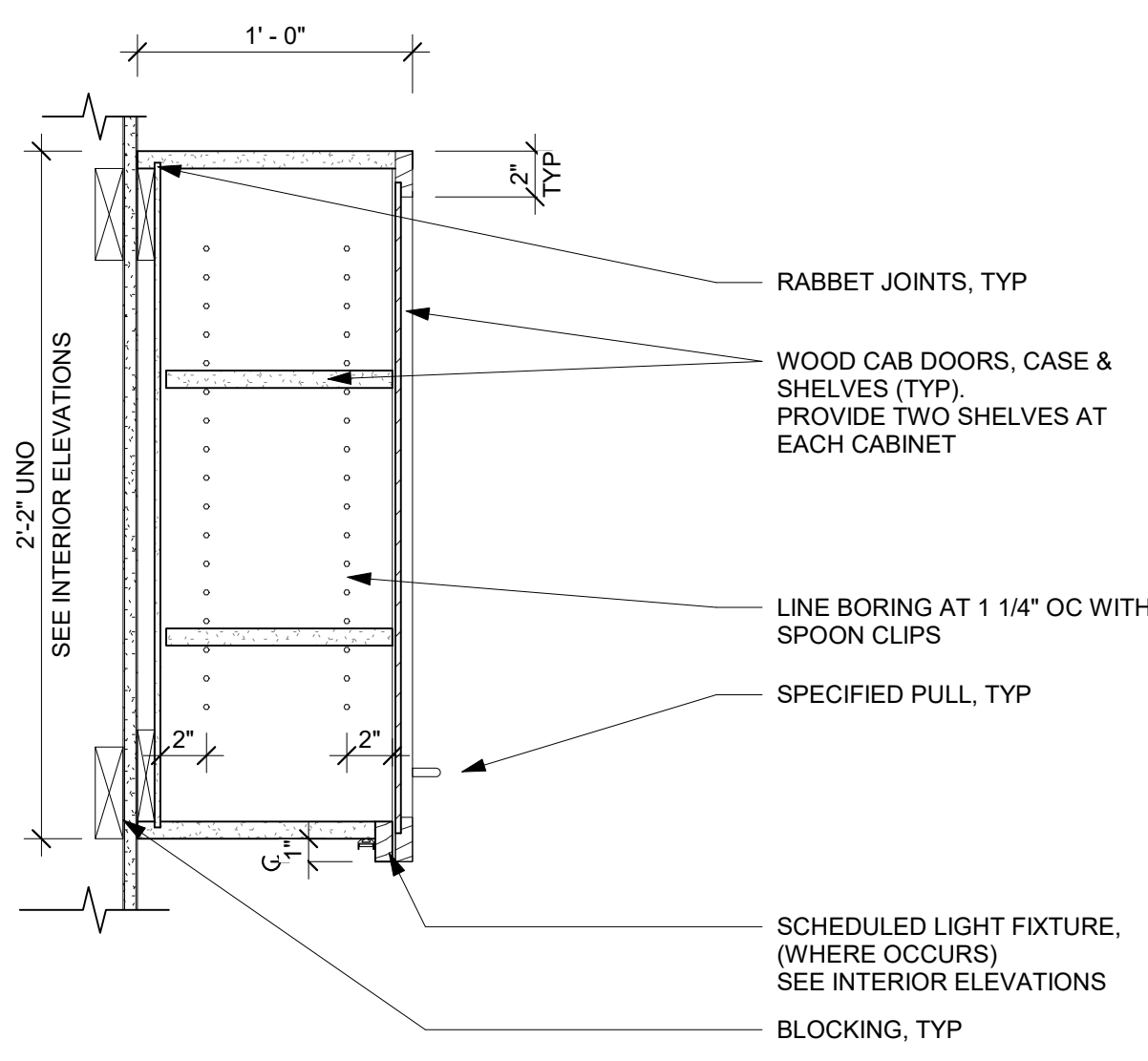
INTERIOR  
DETAILS

Scale As indicated  
Drawn  
Checked

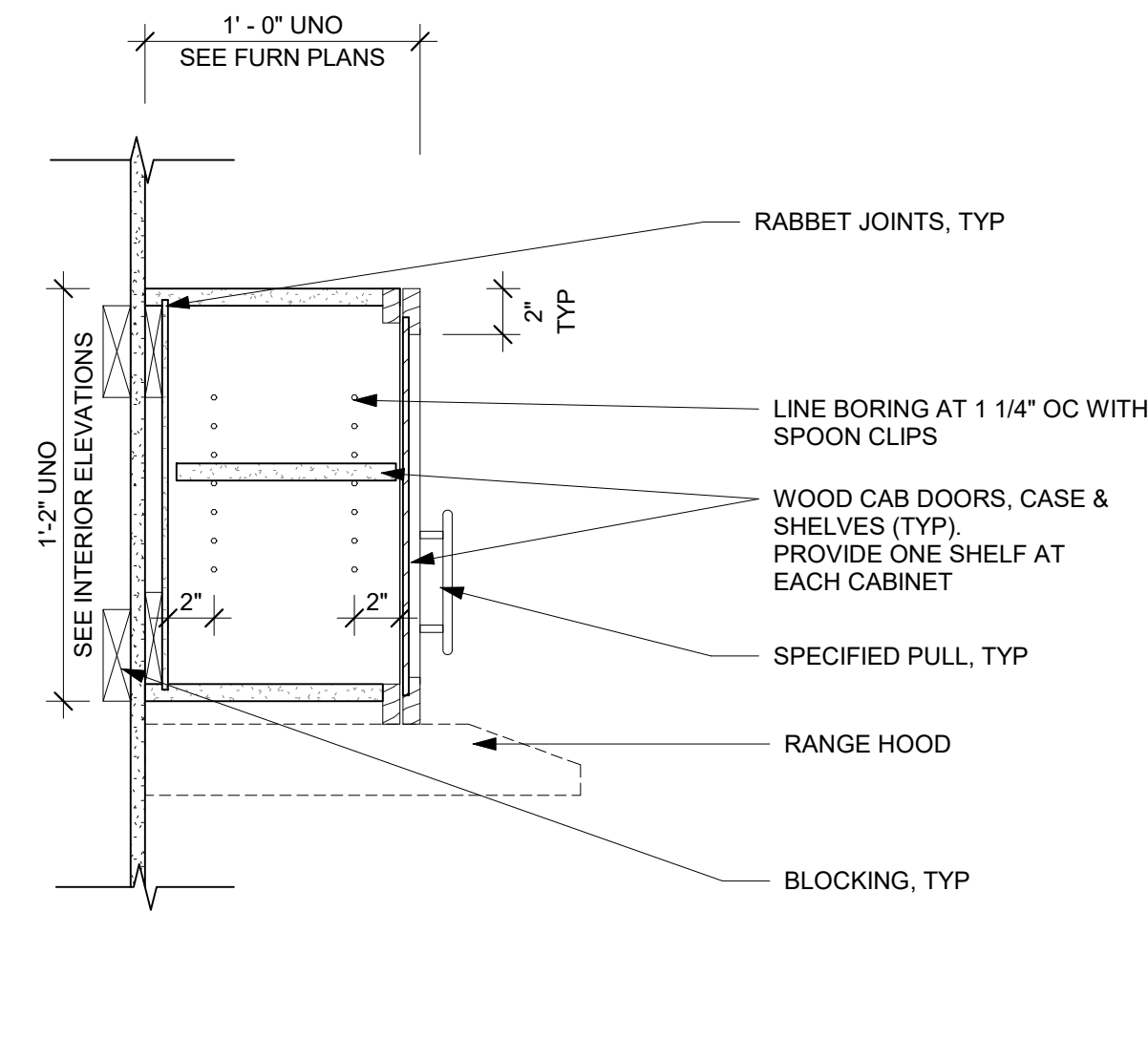
A801

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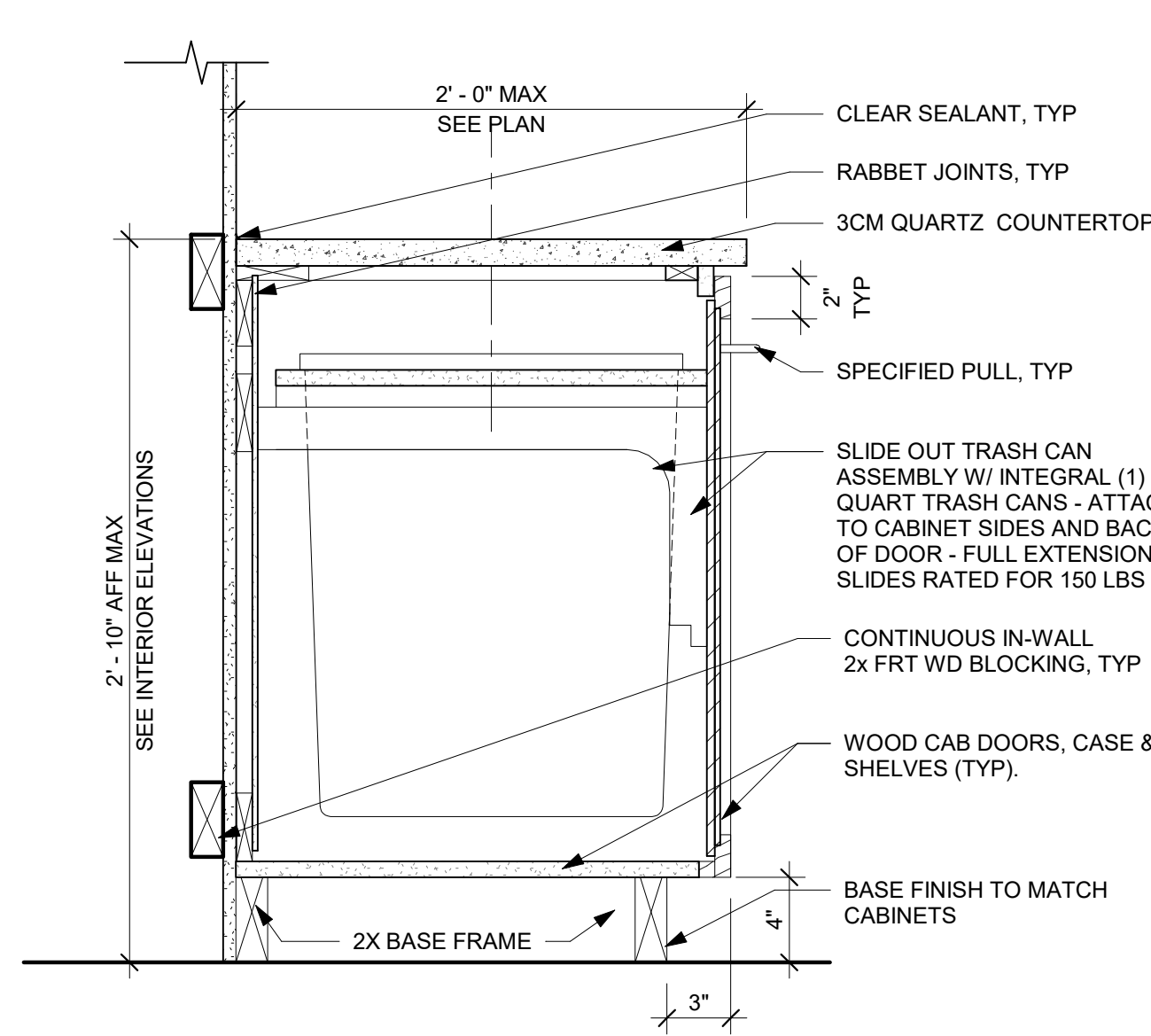




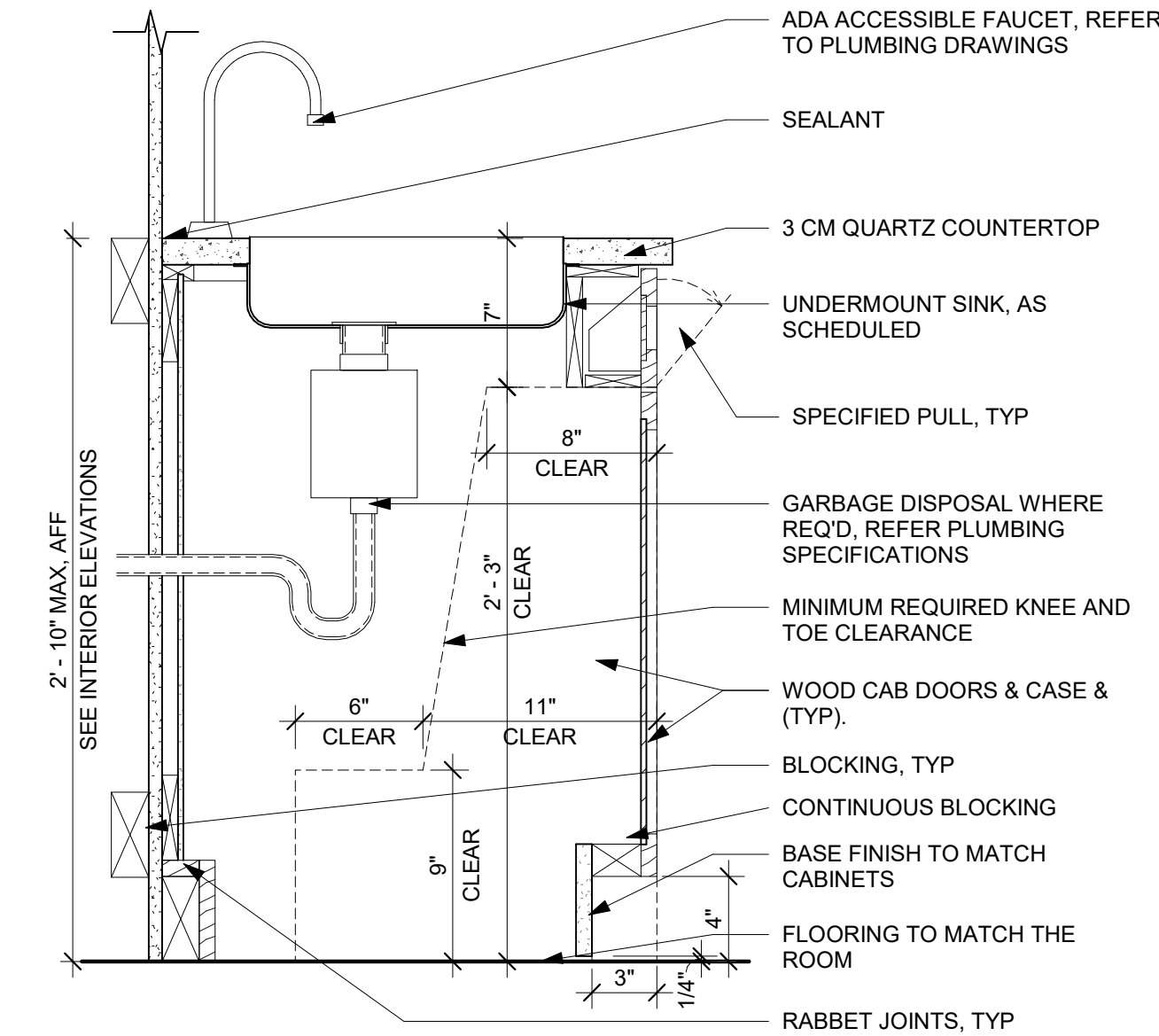
**1 WALL CABINET - TALL**  
1 1/2" = 1'-0"



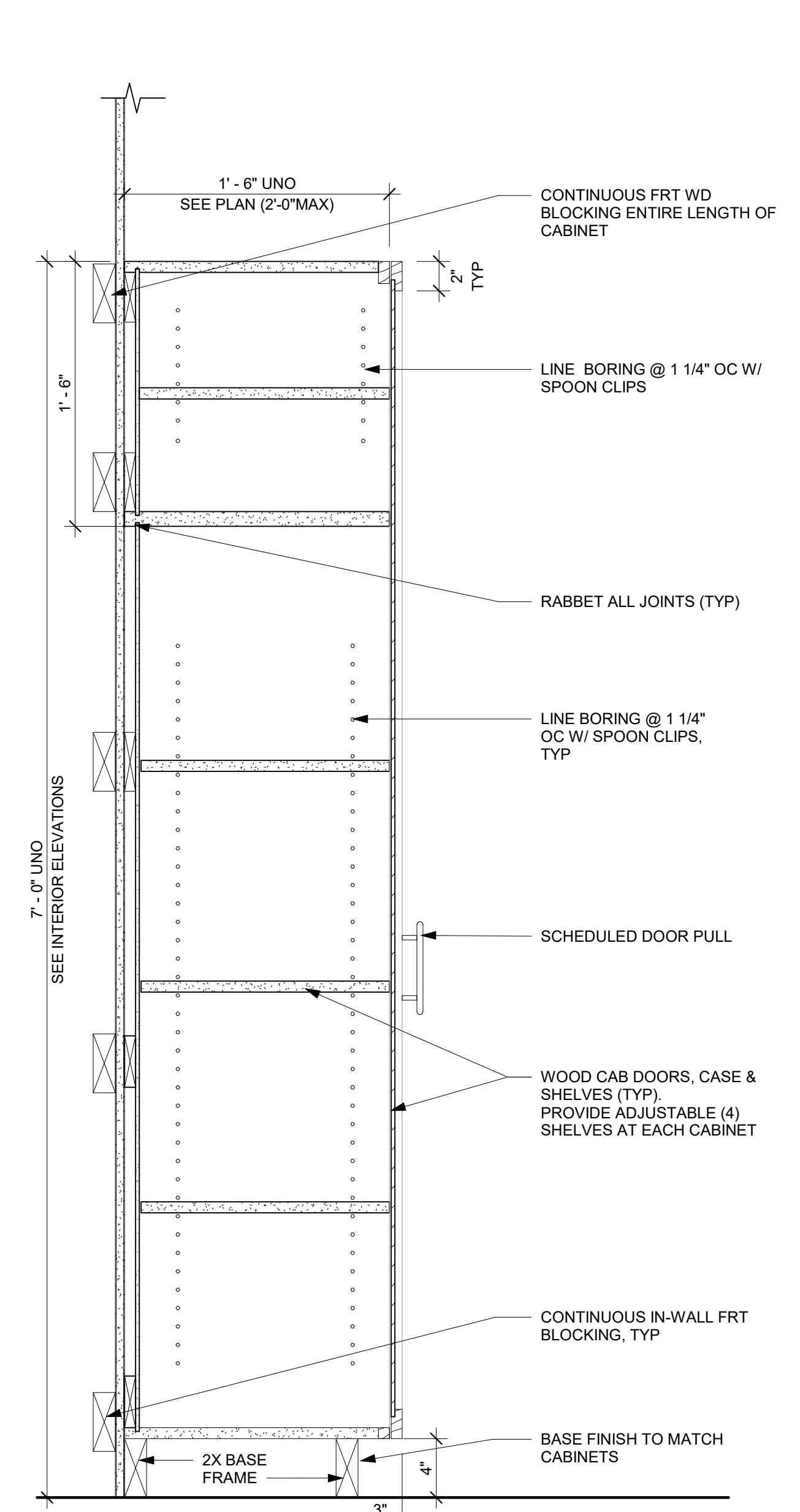
**2 WALL CABINET - SHORT**  
1 1/2" = 1'-0"



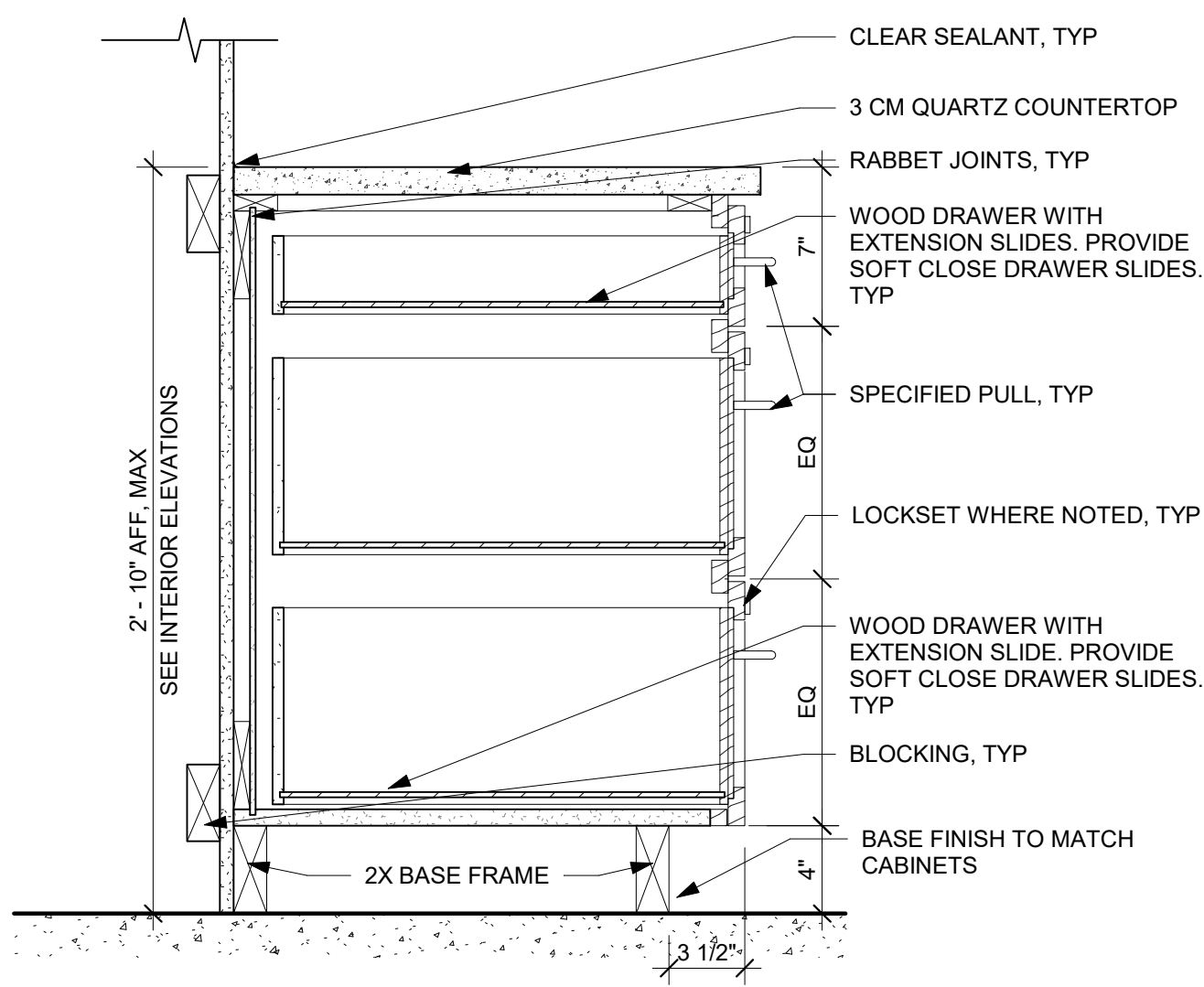
**3 BASE CABINET**  
1 1/2" = 1'-0"



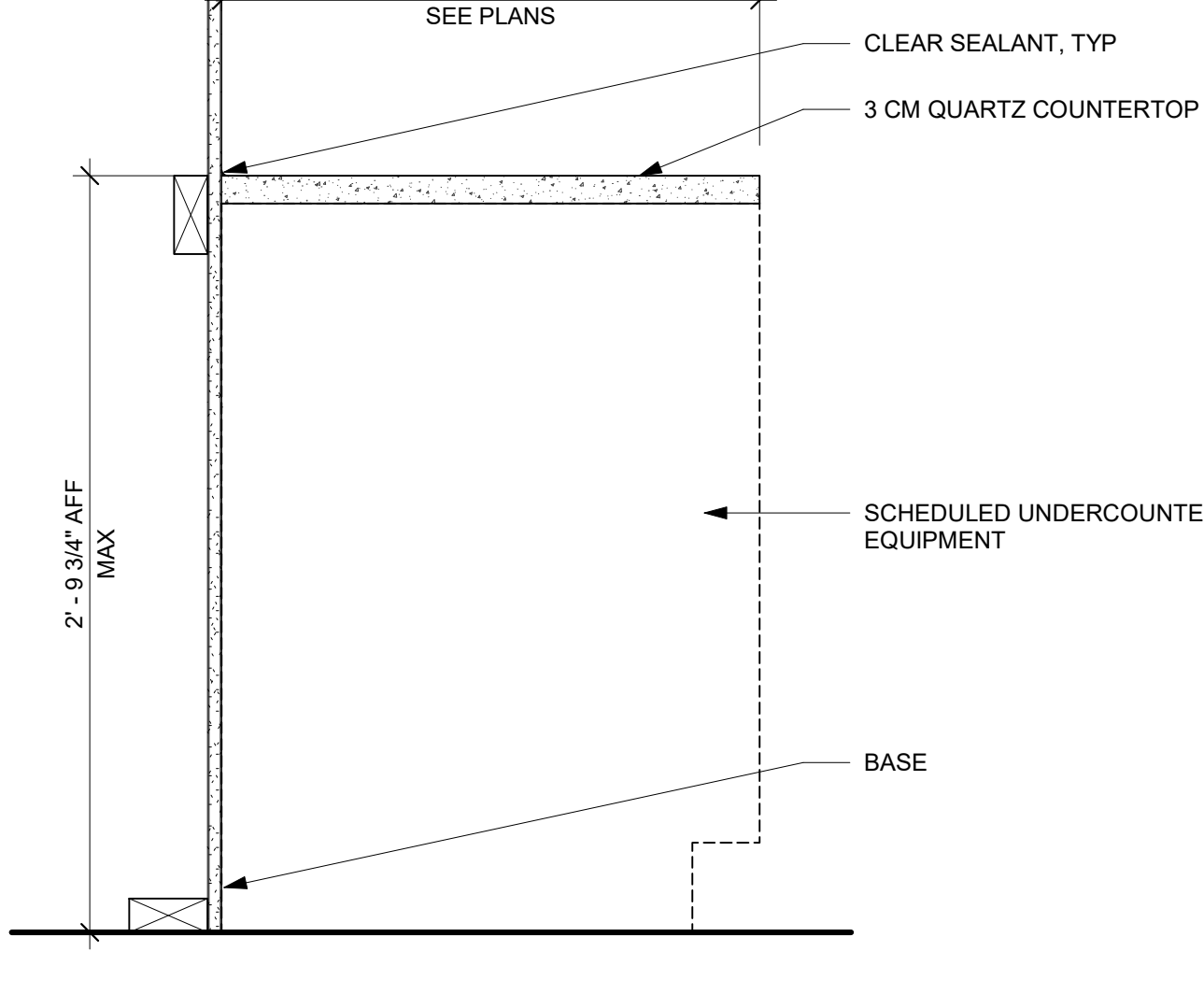
**4 SINK W/ GARBAGE DISPOSAL**  
1 1/2" = 1'-0"



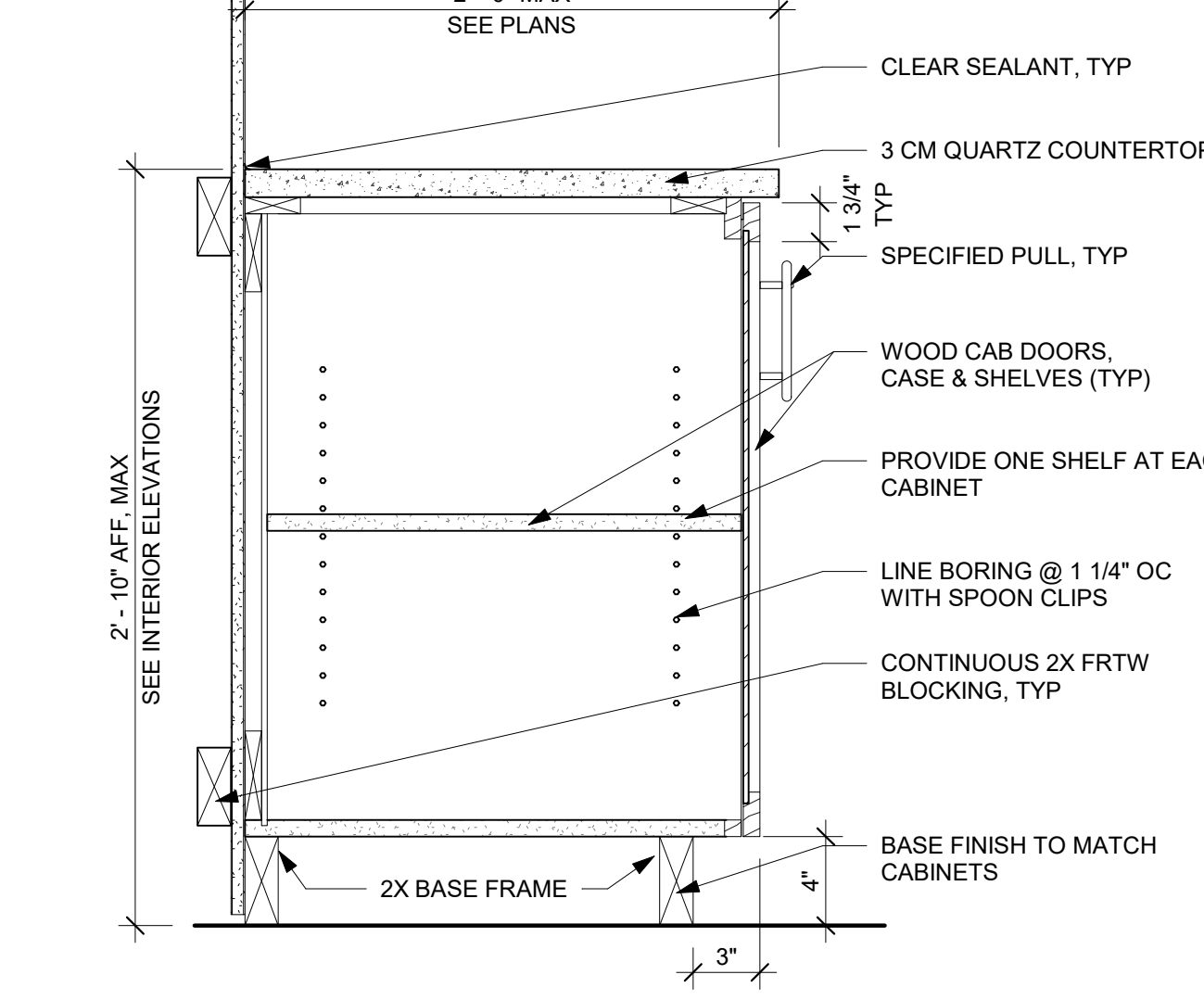
**9 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



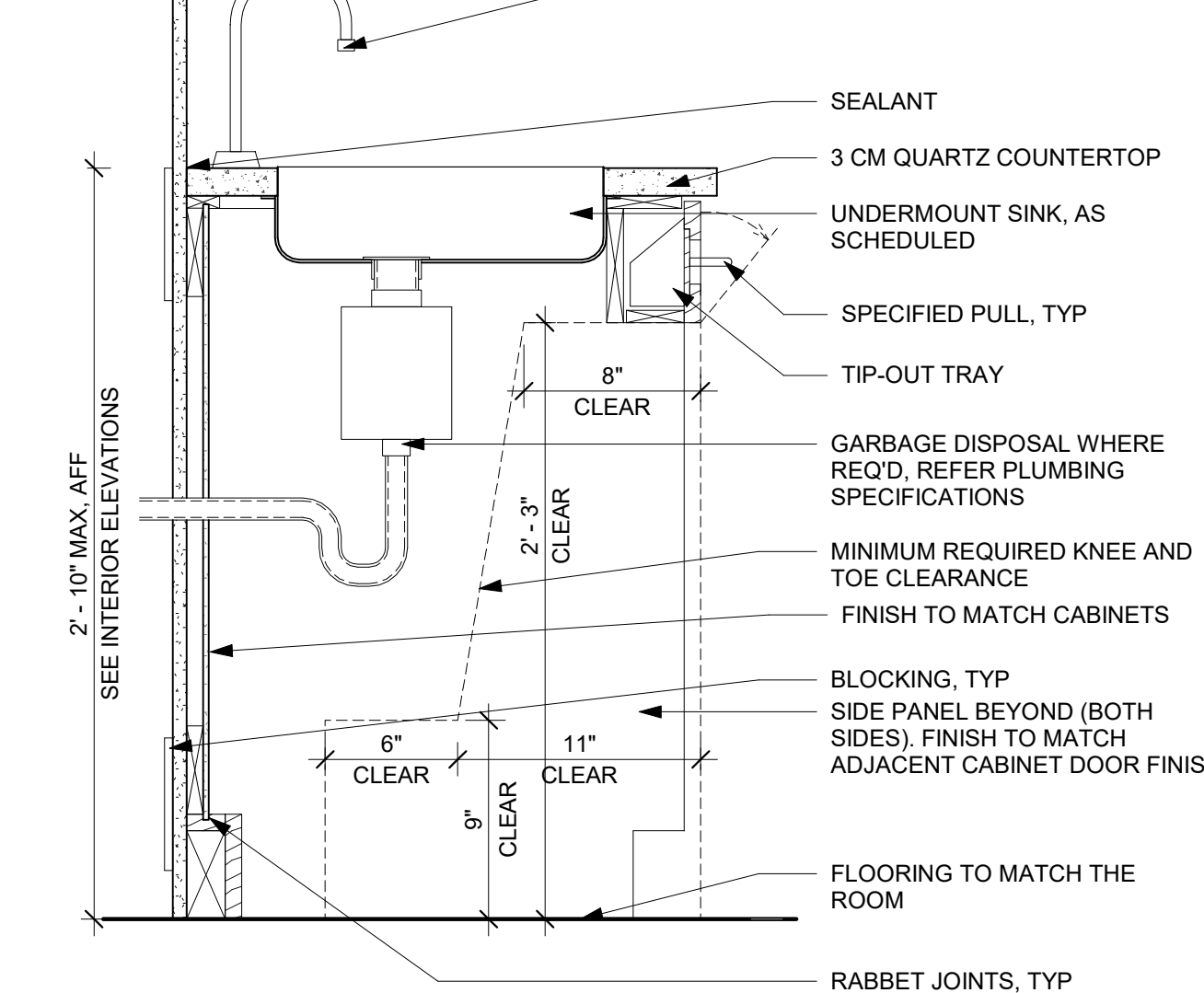
**5 BASE CABINET W/ 3 DRAWERS**  
1 1/2" = 1'-0"



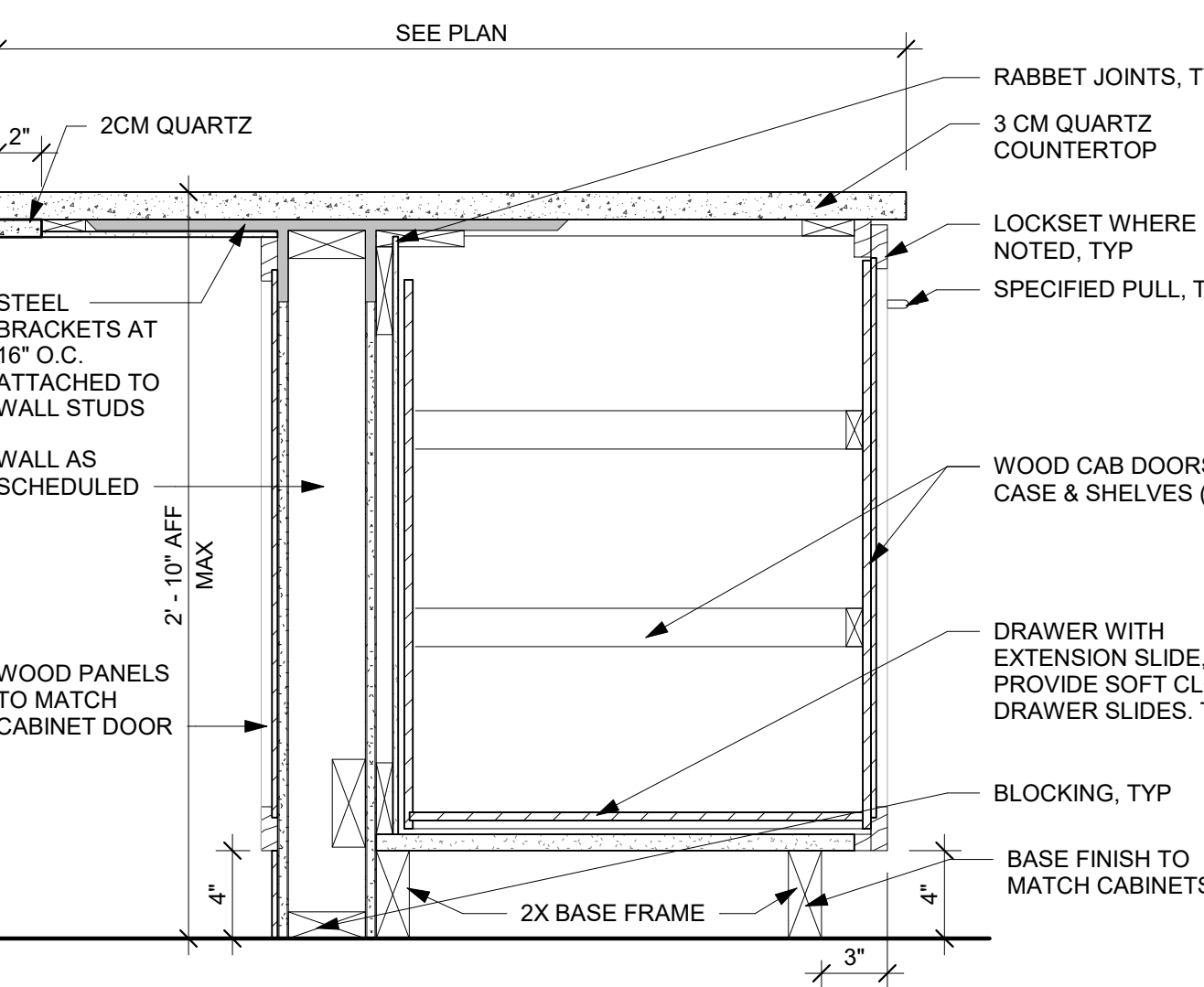
**6 COUNTERTOP W/ EQUIPMENT**  
1 1/2" = 1'-0"



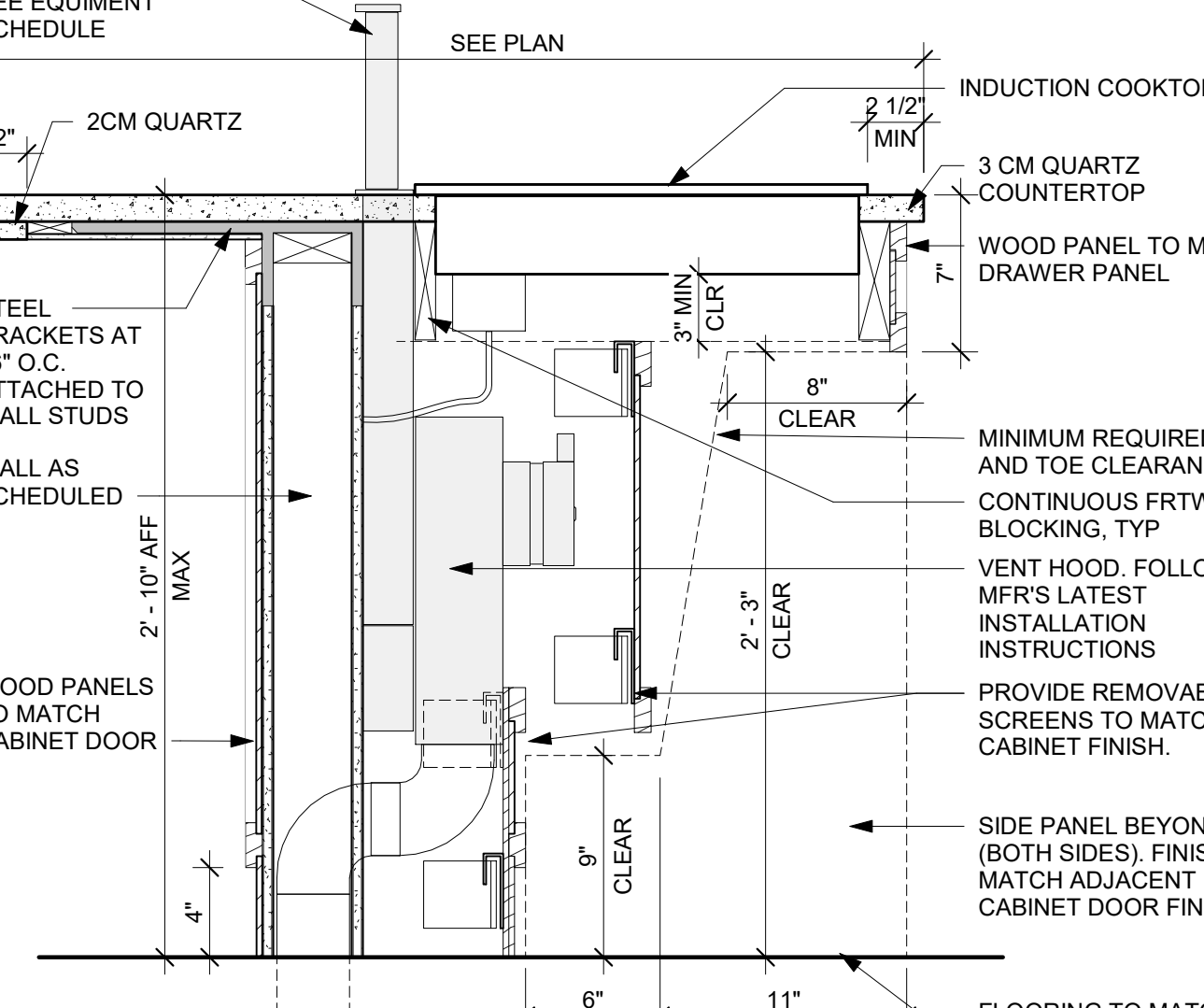
**7 BASE CABINET W/ DOOR**  
1 1/2" = 1'-0"



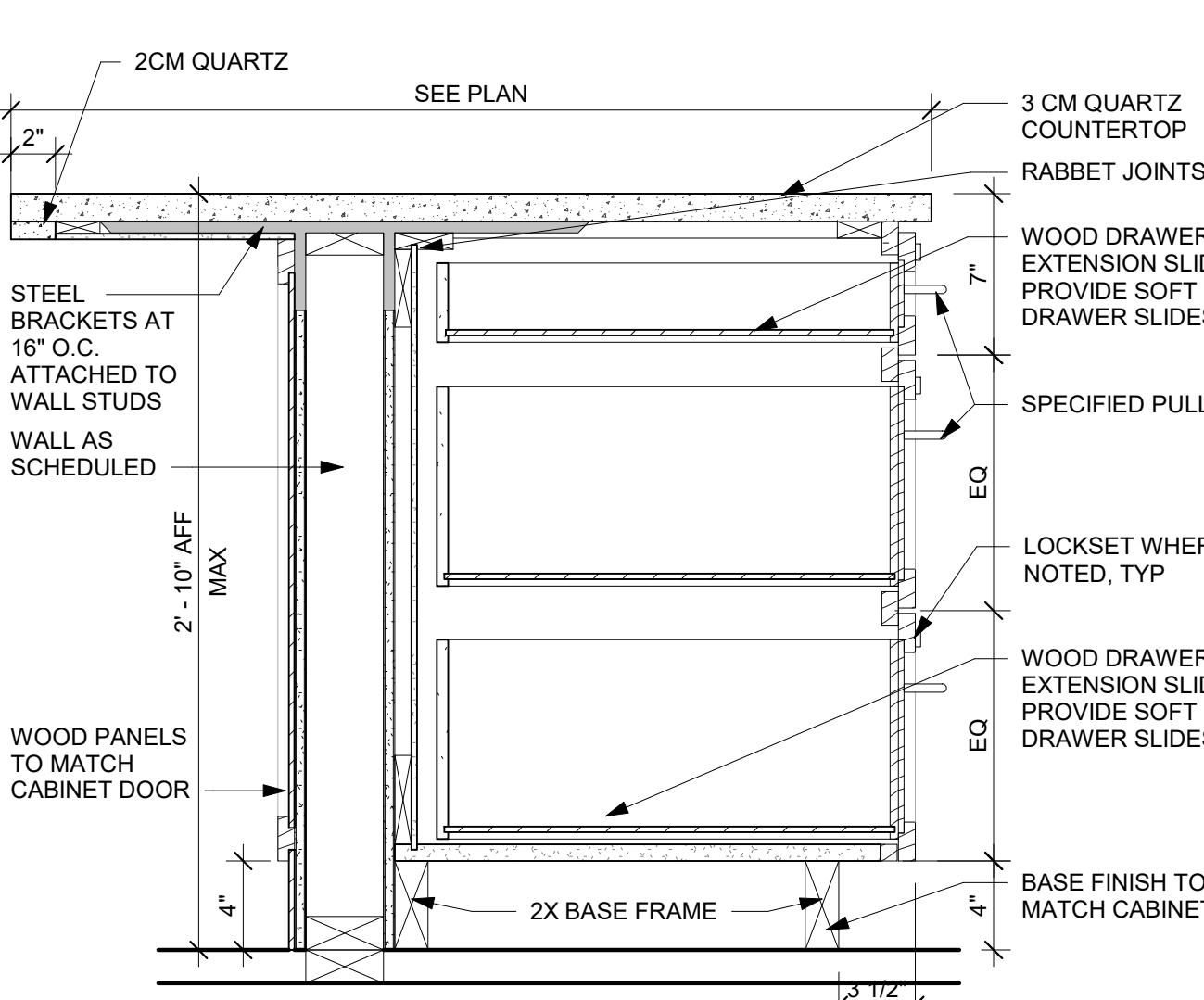
**8 SINK W/ GARBAGE DISPOSAL**  
1 1/2" = 1'-0"



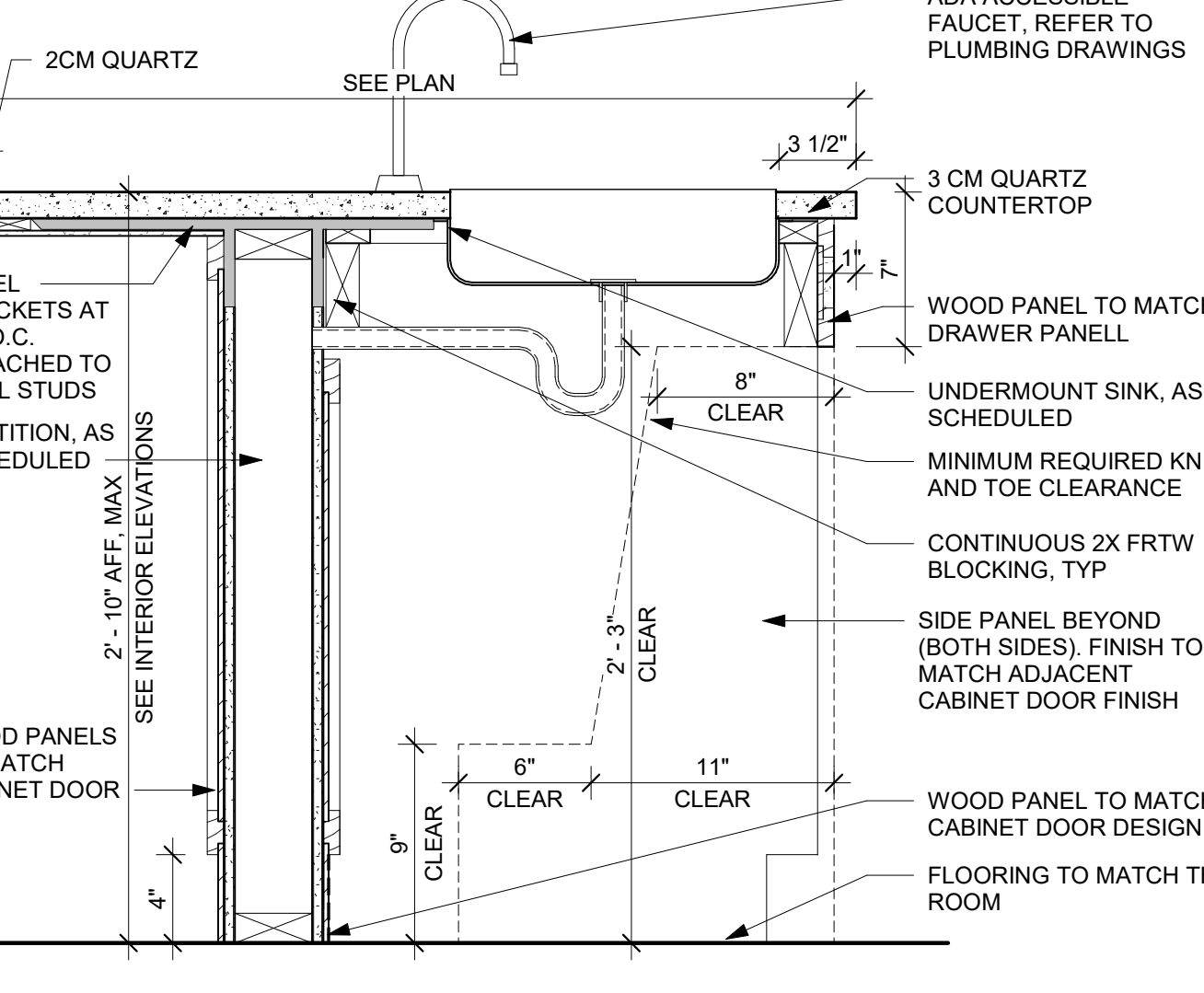
**10 BASE CABINET W/ SPICE RACK**  
1 1/2" = 1'-0"



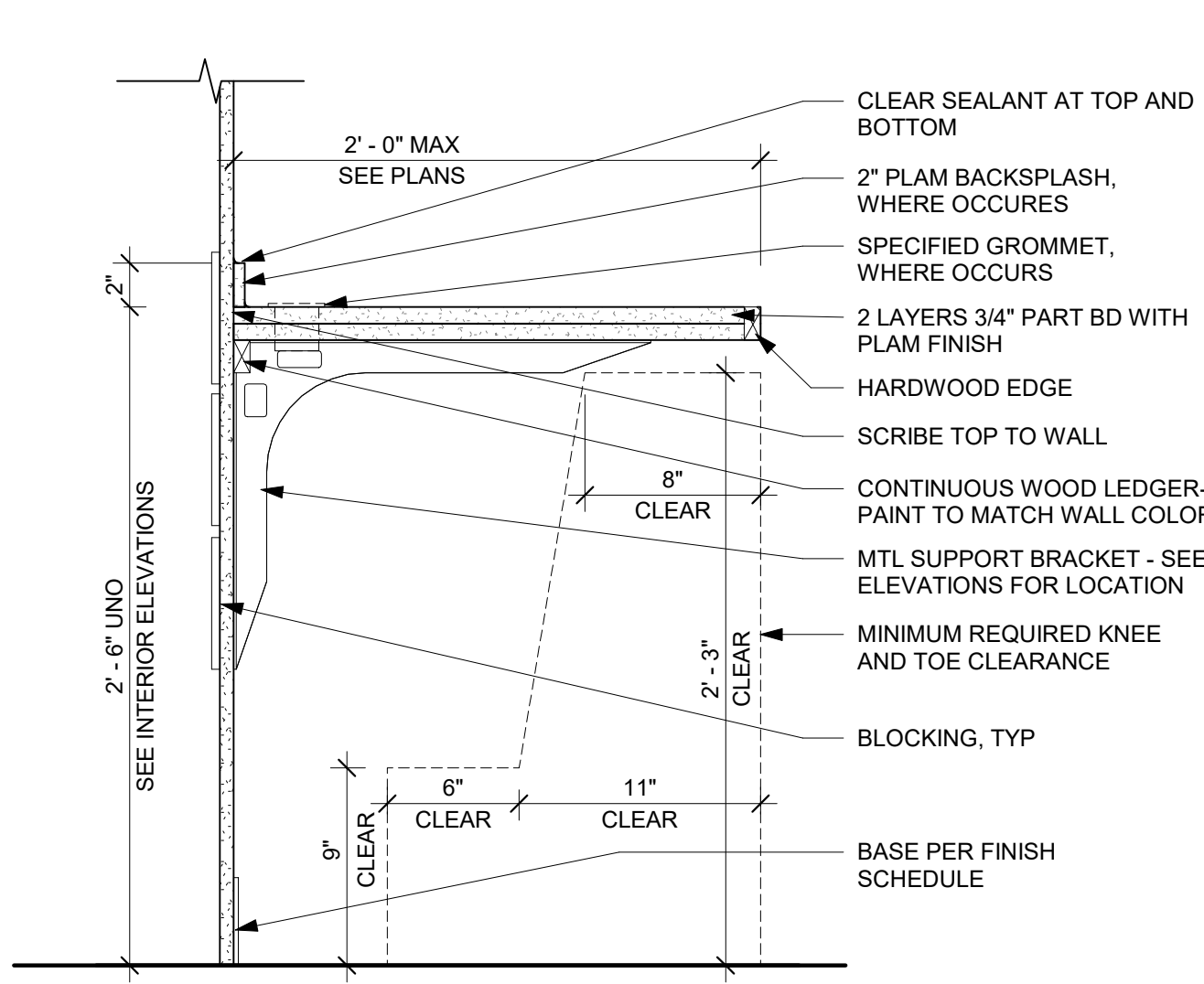
**11 COOKTOP @ ISLAND**  
1 1/2" = 1'-0"



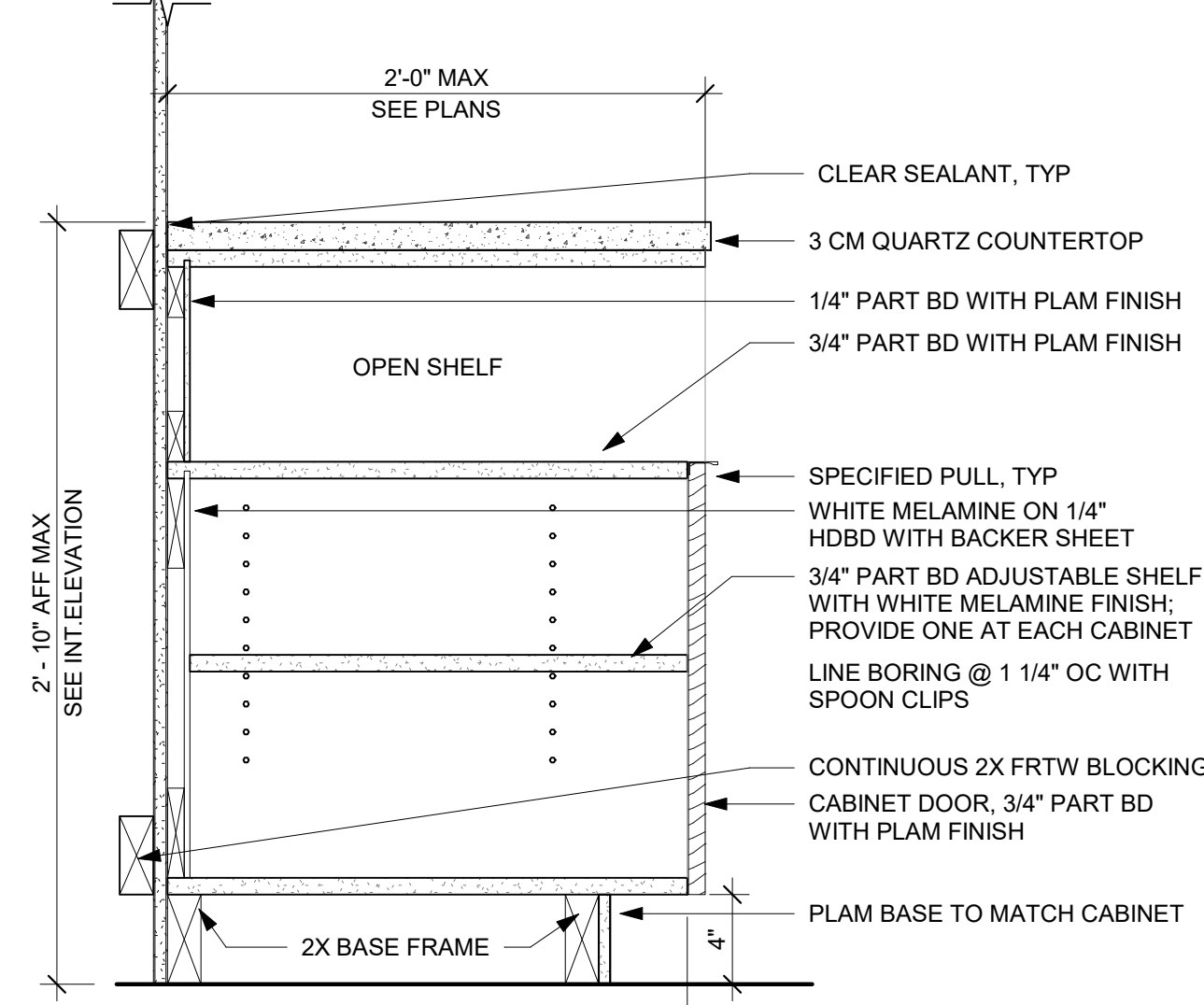
**12 DRAWERS @ ISLAND**  
1 1/2" = 1'-0"



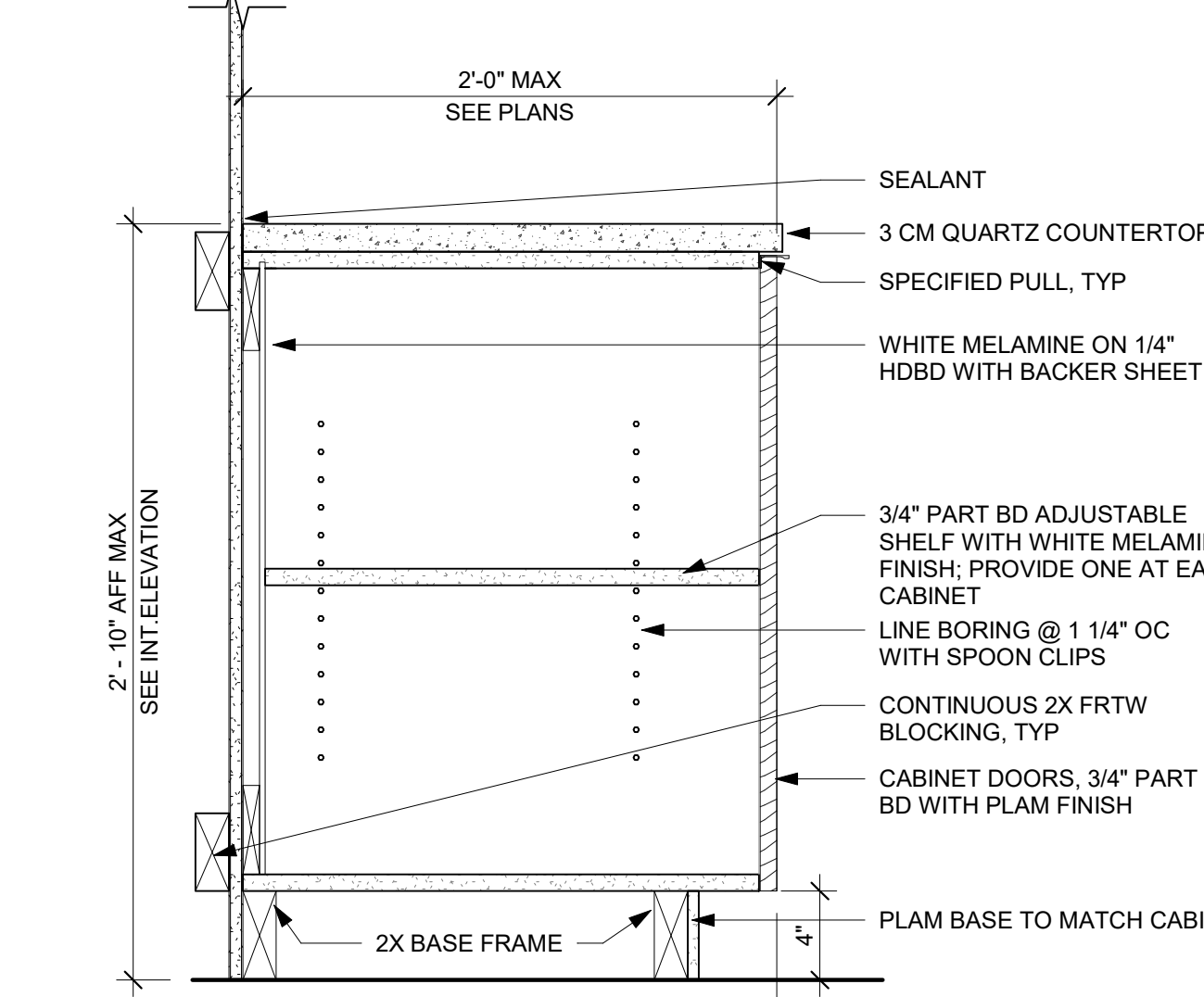
**13 PREP SINK @ ISLAND**  
1 1/2" = 1'-0"



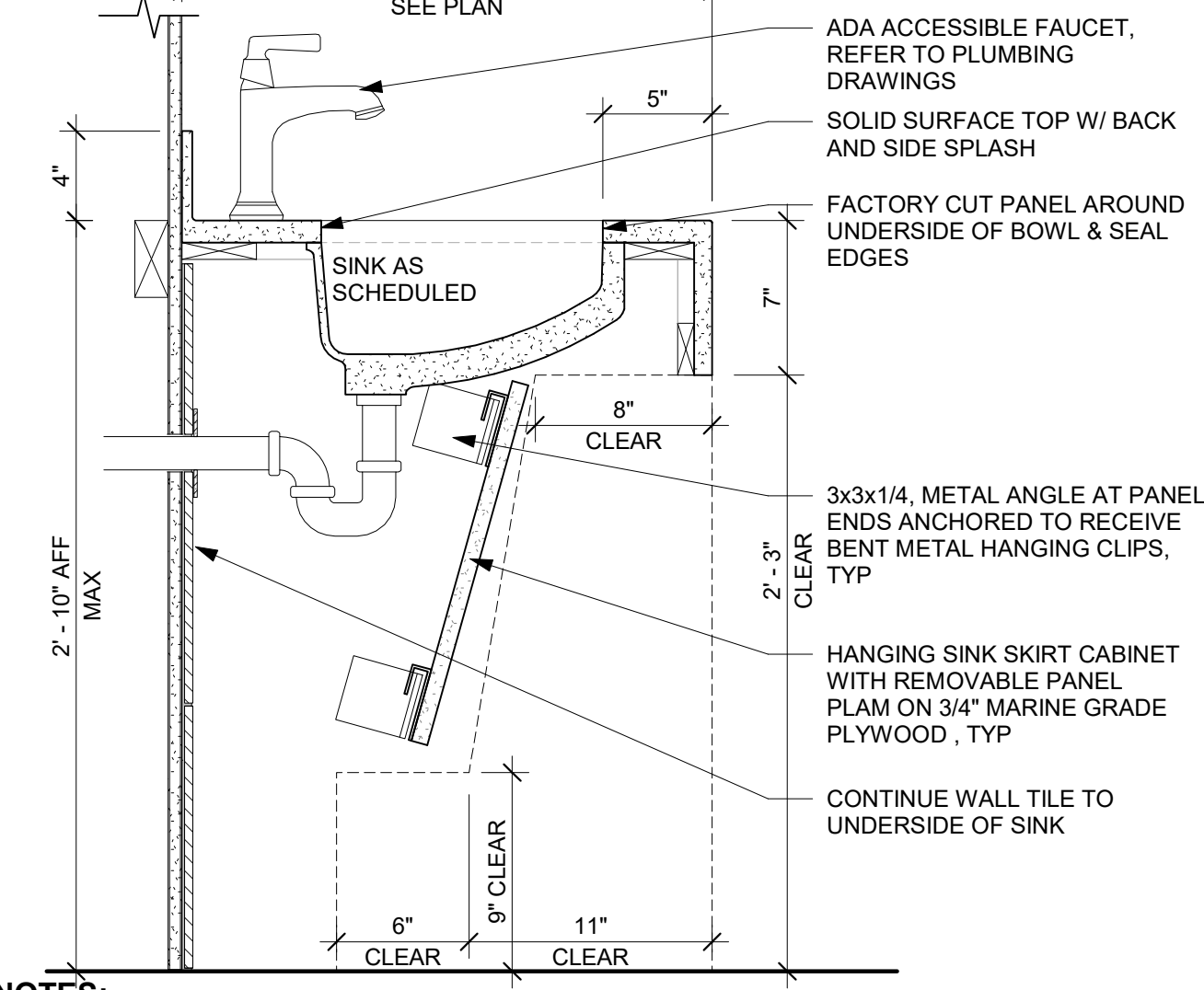
**14 COUNTERTOP WORK SURFACE**  
1 1/2" = 1'-0"



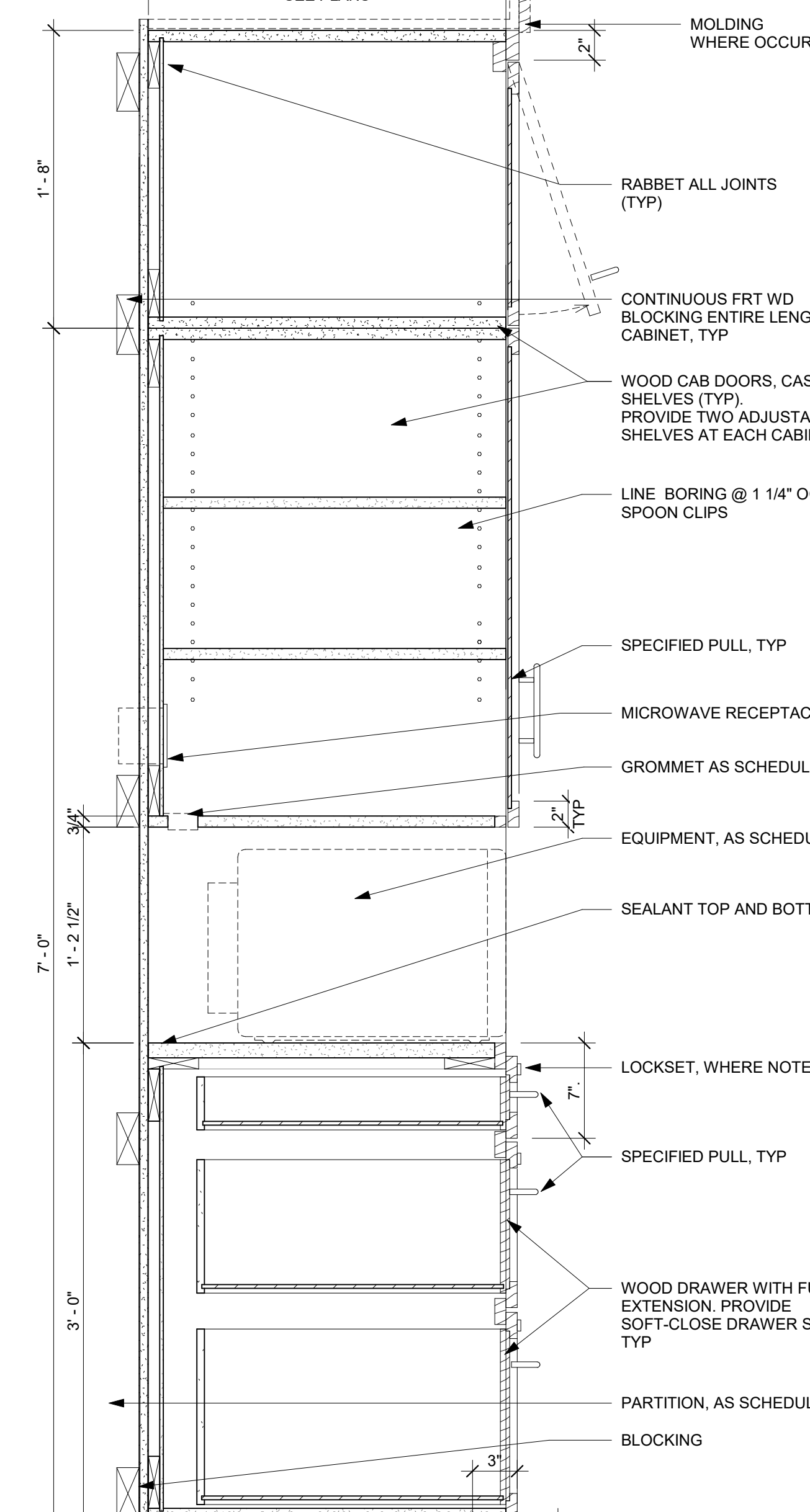
**15 BASE CABINET**  
1 1/2" = 1'-0"



**16 BASE CABINET**  
1 1/2" = 1'-0"

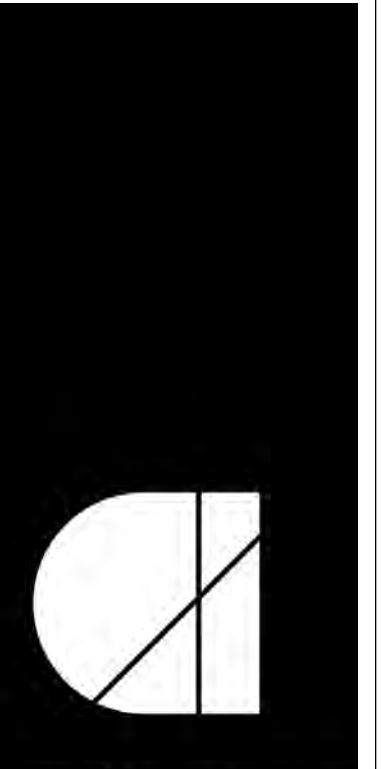


**17 VANITY W/ INTEGRAL BOWL**  
1 1/2" = 1'-0"



**18 FULL HEIGHT CABINET W/ MICROWAVE**  
1 1/2" = 1'-0"

**NOTES:**  
- FACE FINISH AND EDGE BANDING BY MANUFACTURER. SEE FINISH SCHEDULE FOR COLOR SELECTIONS.  
- FIELD VERIFY THAT CABINET WILL FIT AROUND LAV BOWL AND P-TRAP.  
- THERE IS NO WAY TO INSTALL HAND LAV-GUARD AT THESE LOCATIONS.



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Revisions

**INTERIOR**  
**CASEWORK**  
**DETAILS**

Scale 1 1/2" = 1'-0"

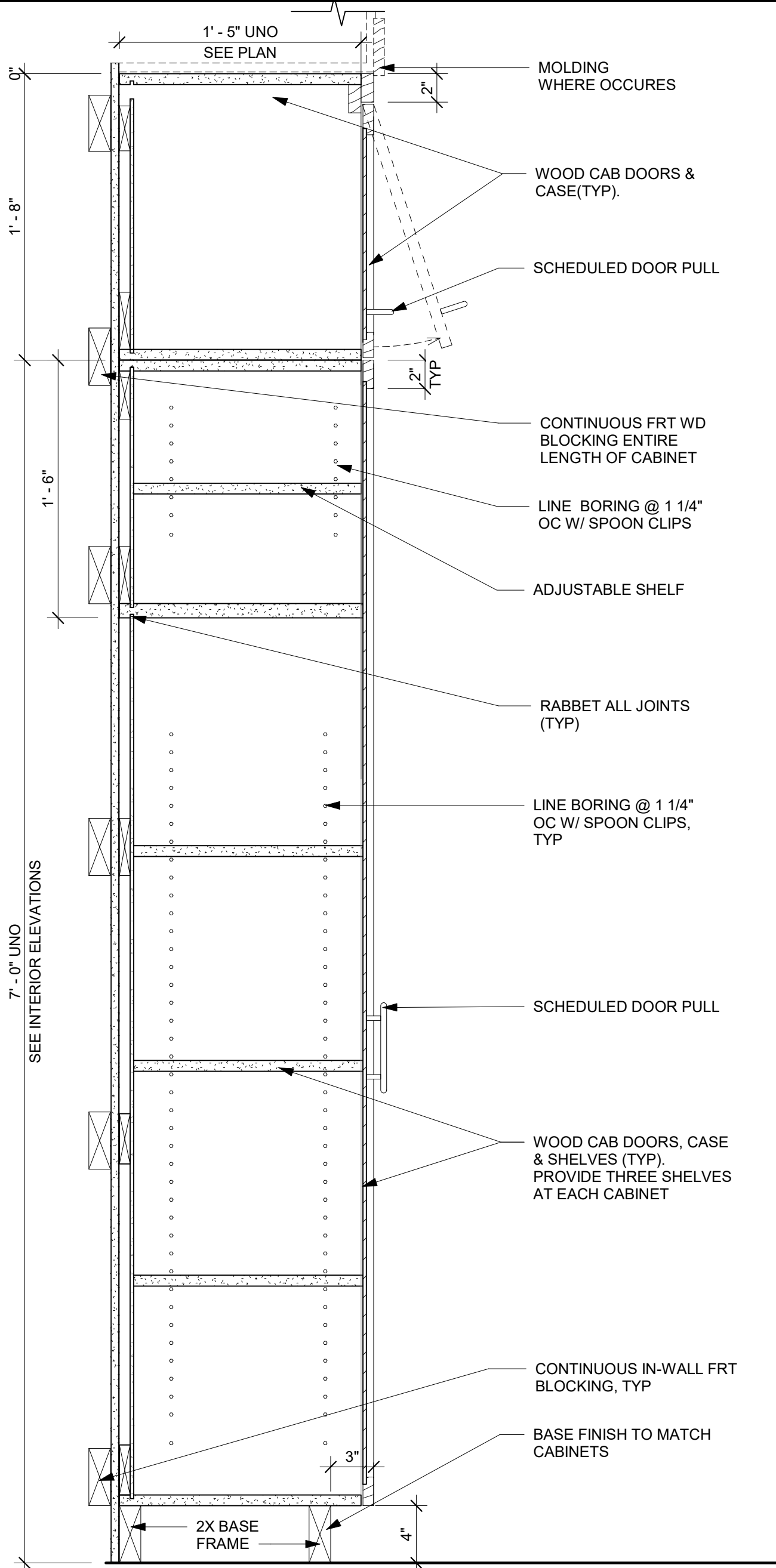
Drawn DML, DF

Checked CWB

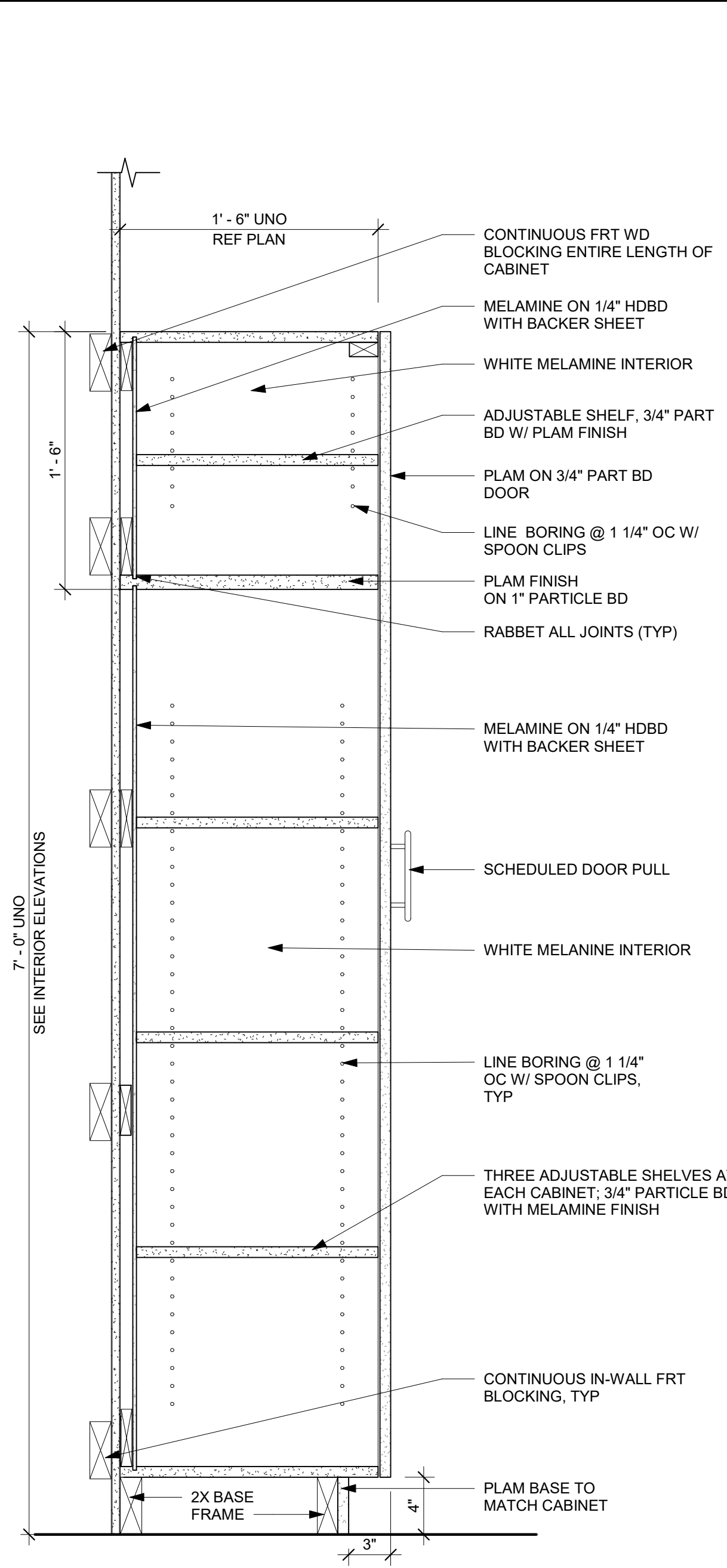
**A900**

100% BID

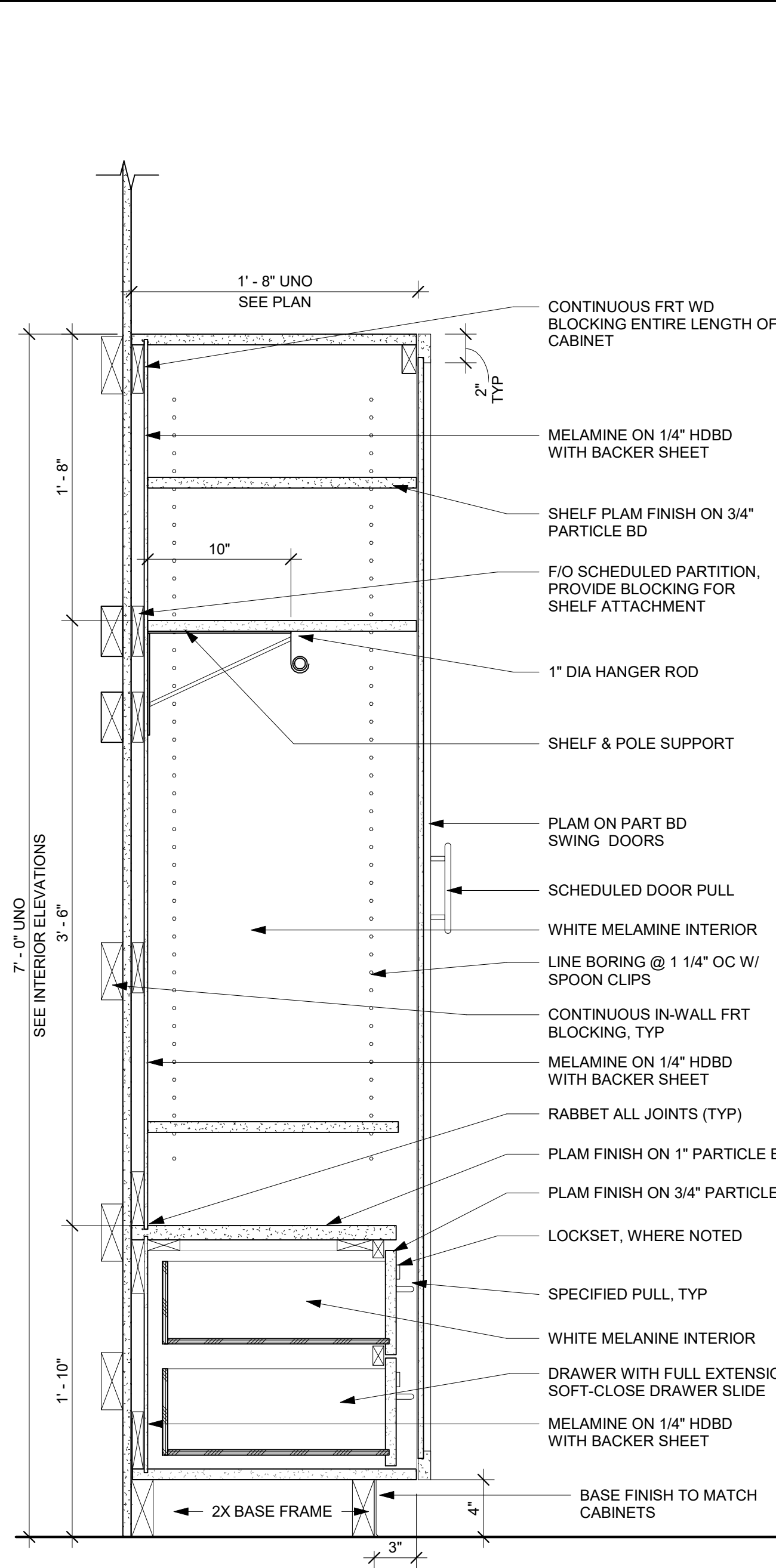




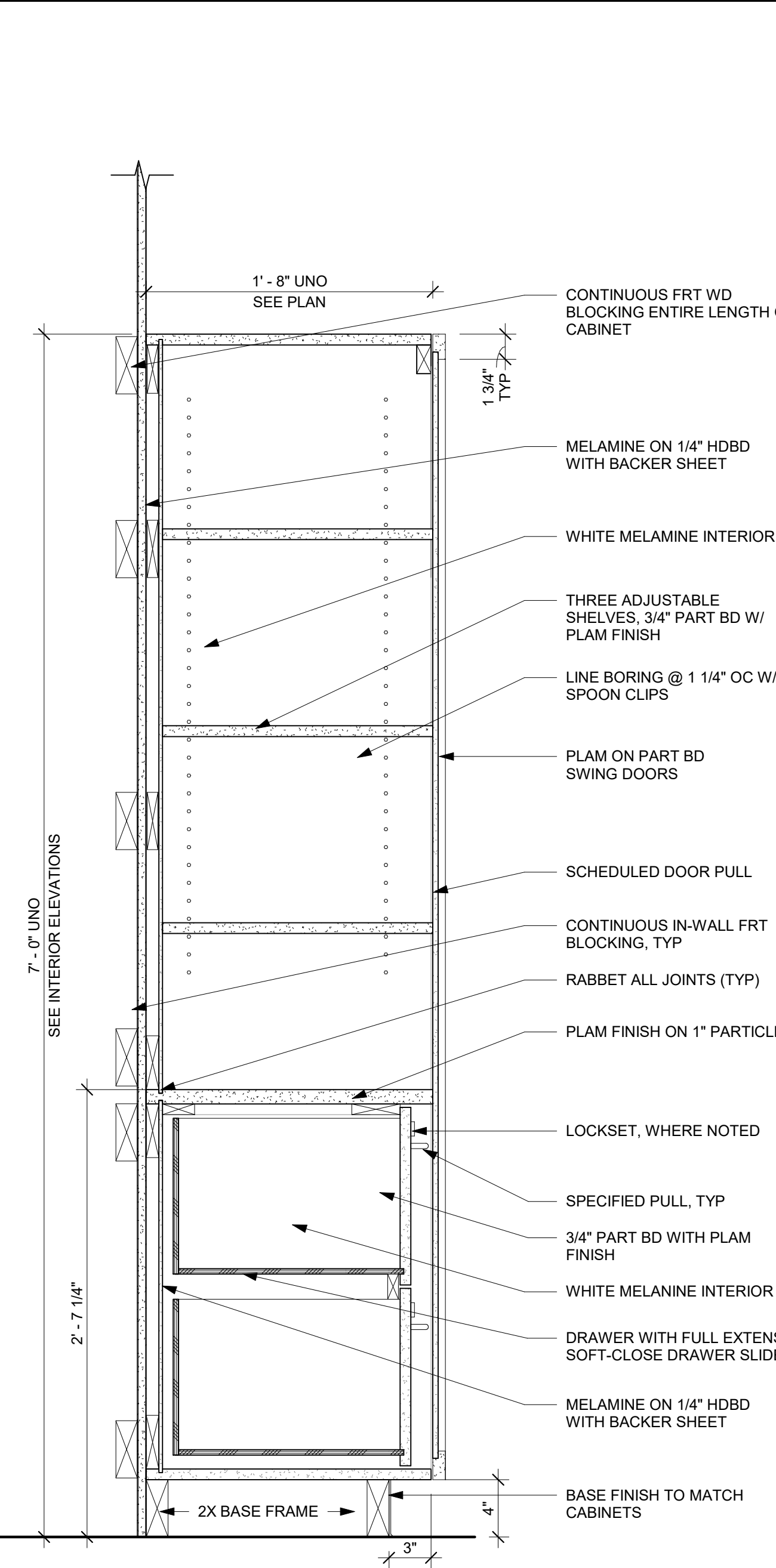
**1 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



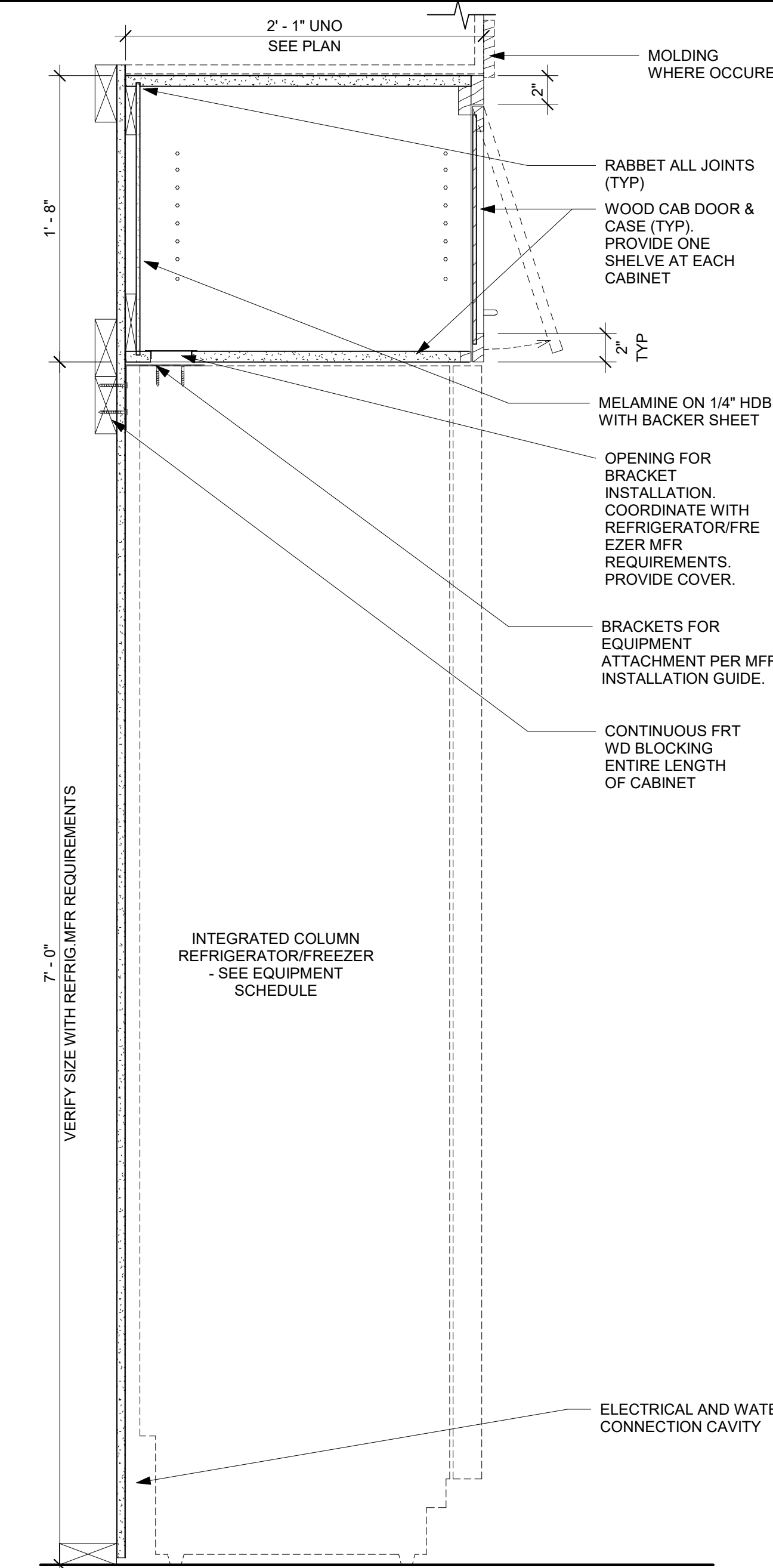
**2 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



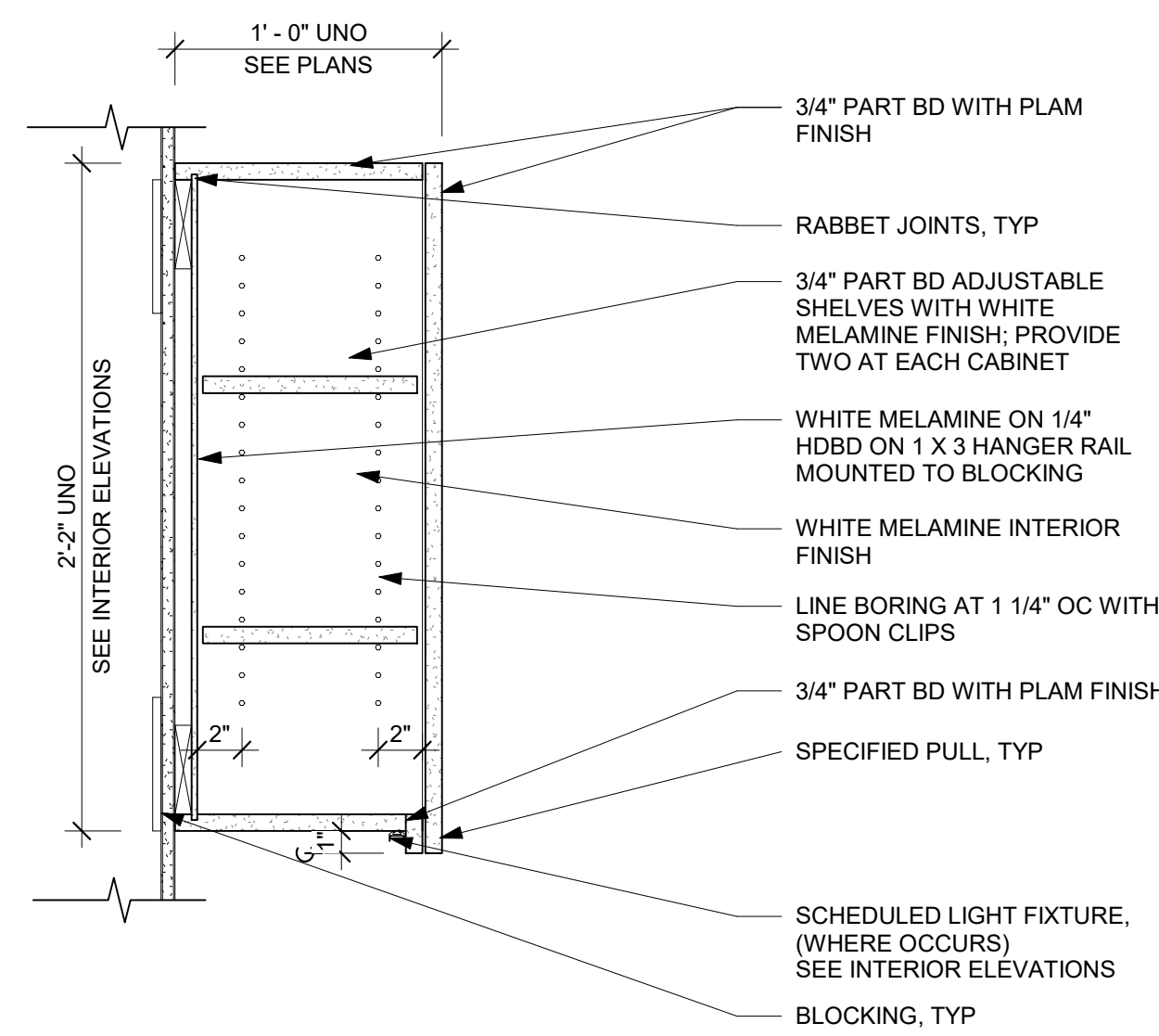
**3 BUILT-IN STORAGE W/ WARDROBE**  
1 1/2" = 1'-0"



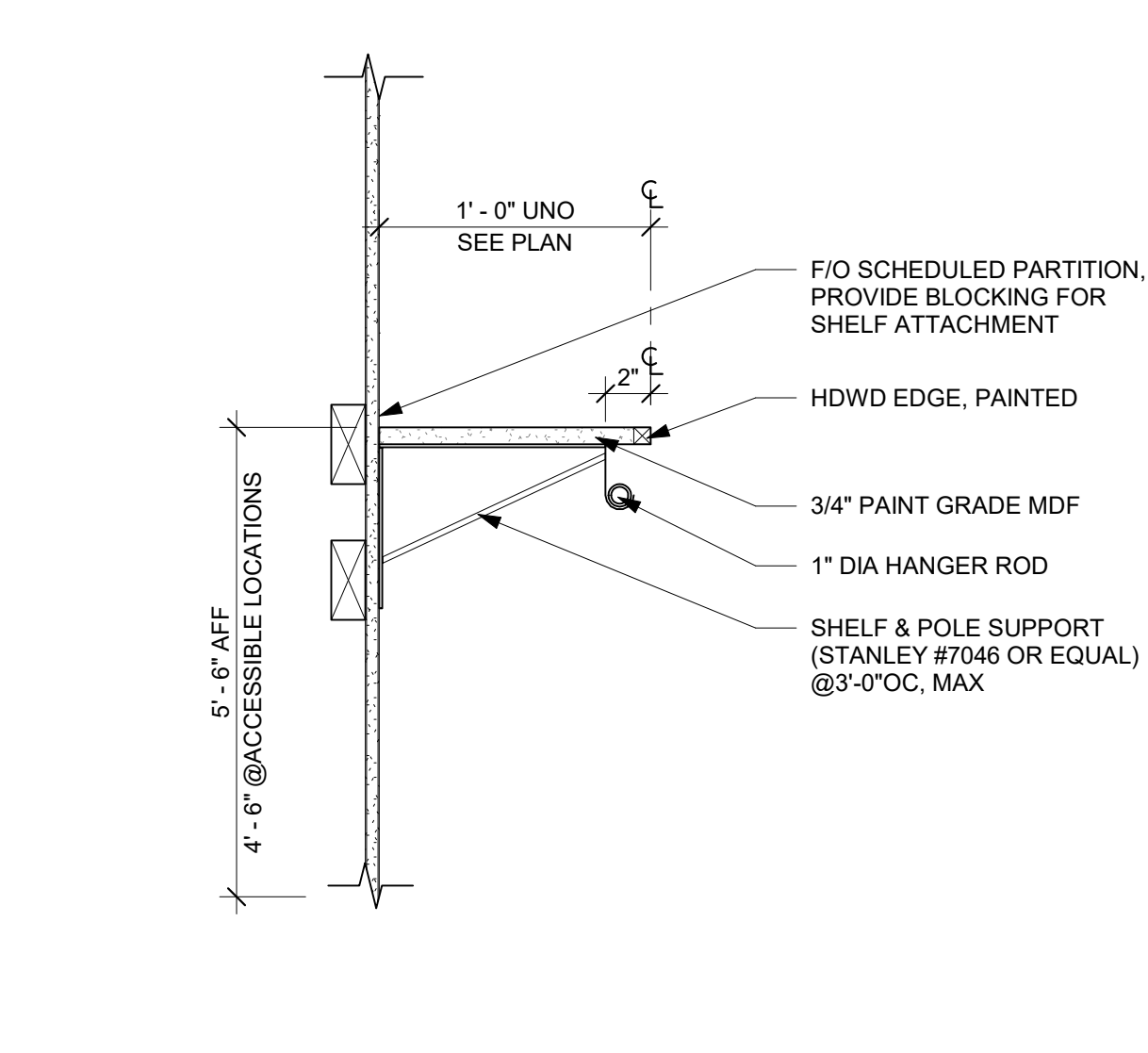
**4 BUILT-IN STORAGE W/ WARDROBE**  
1 1/2" = 1'-0"



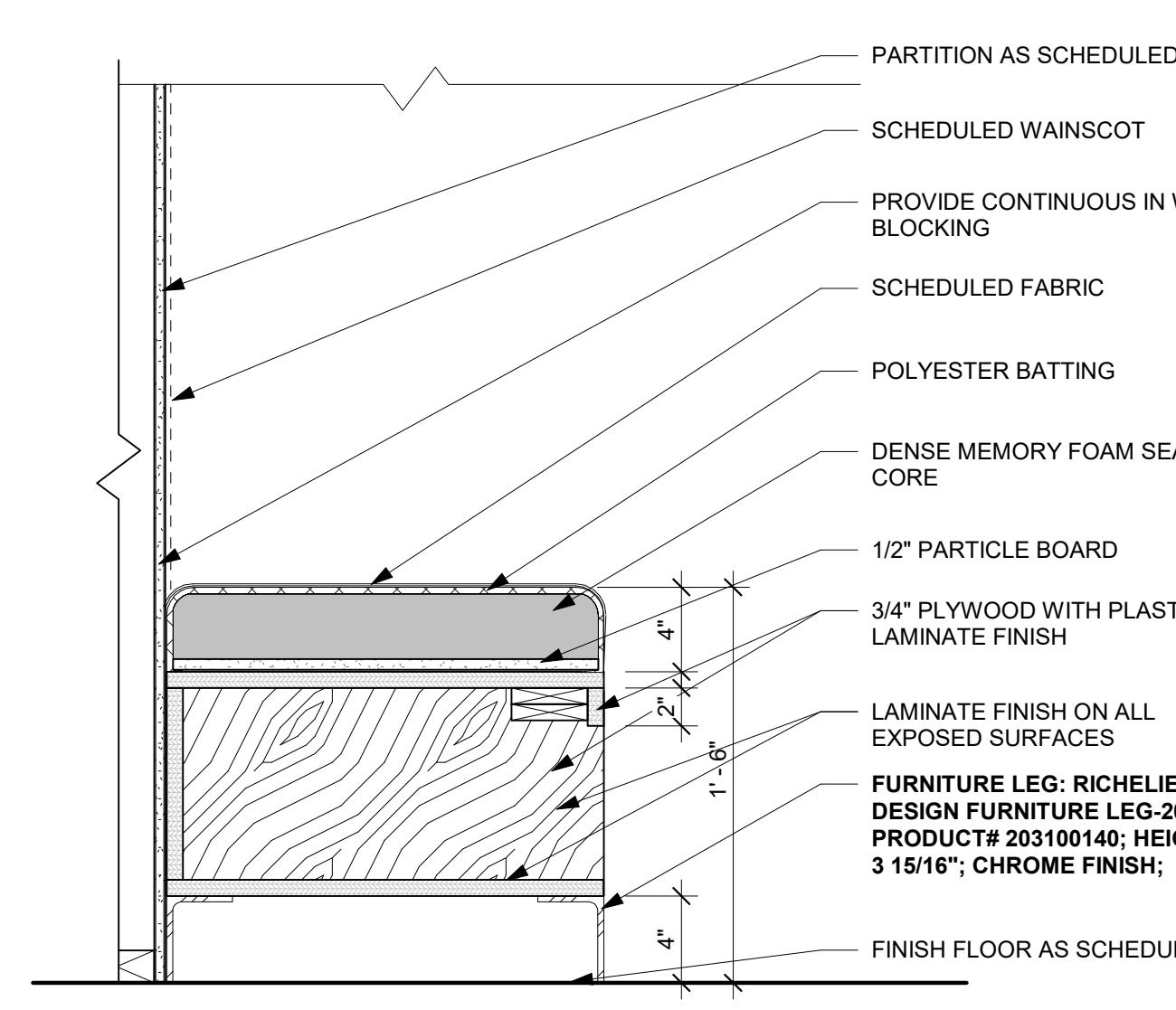
**5 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



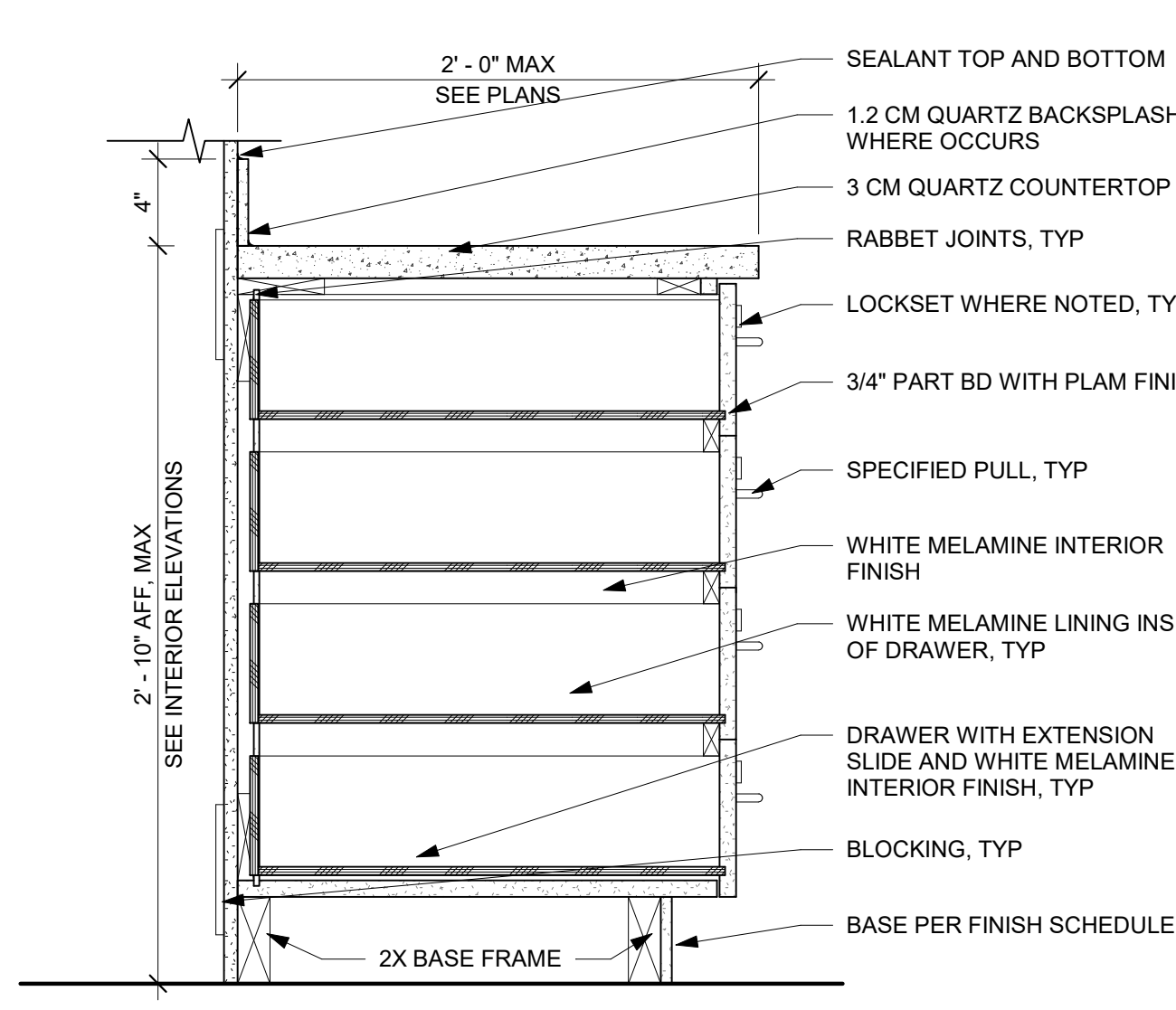
**6 WALL CABINET**  
1 1/2" = 1'-0"



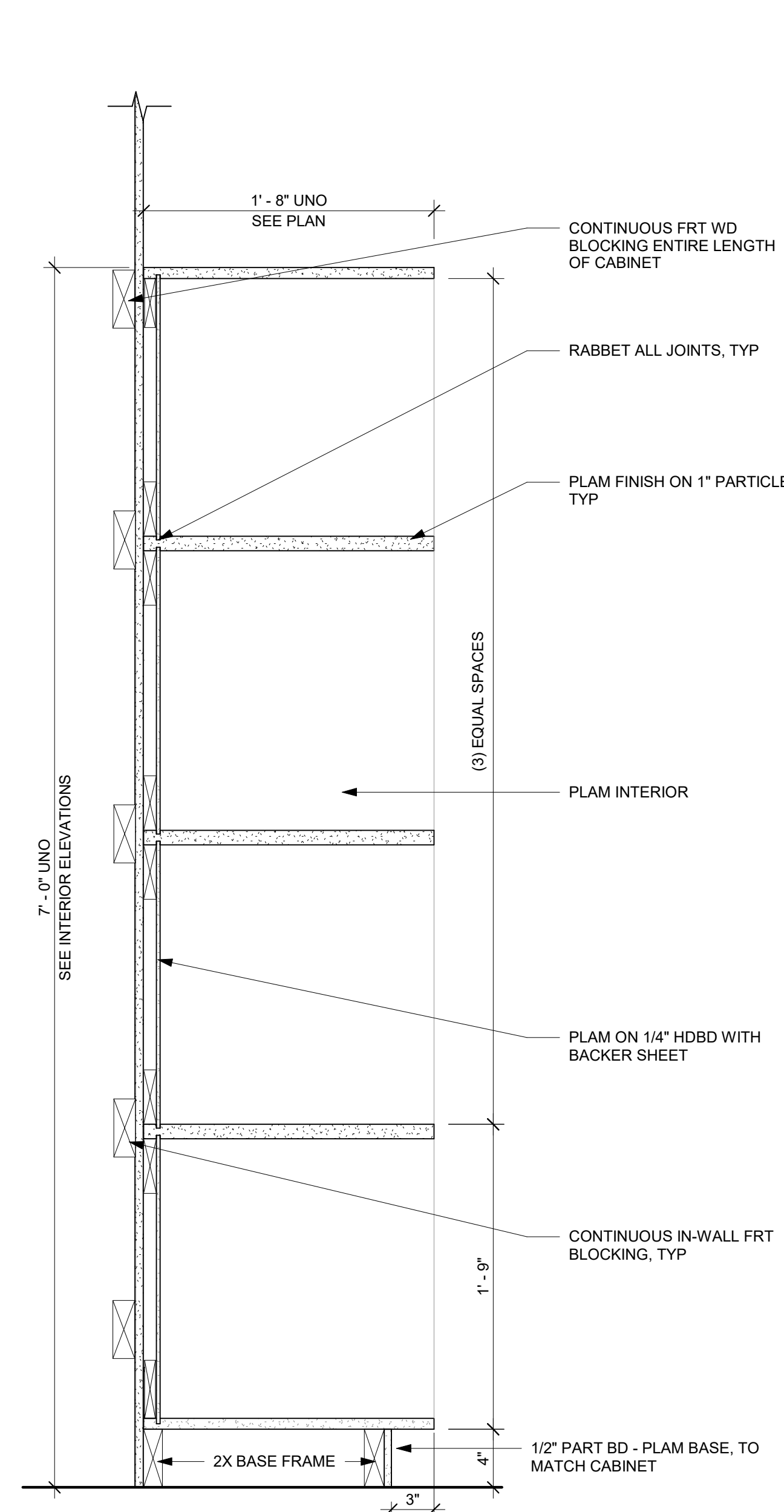
**7 CLOSET ROD & SHELF**  
1 1/2" = 1'-0"



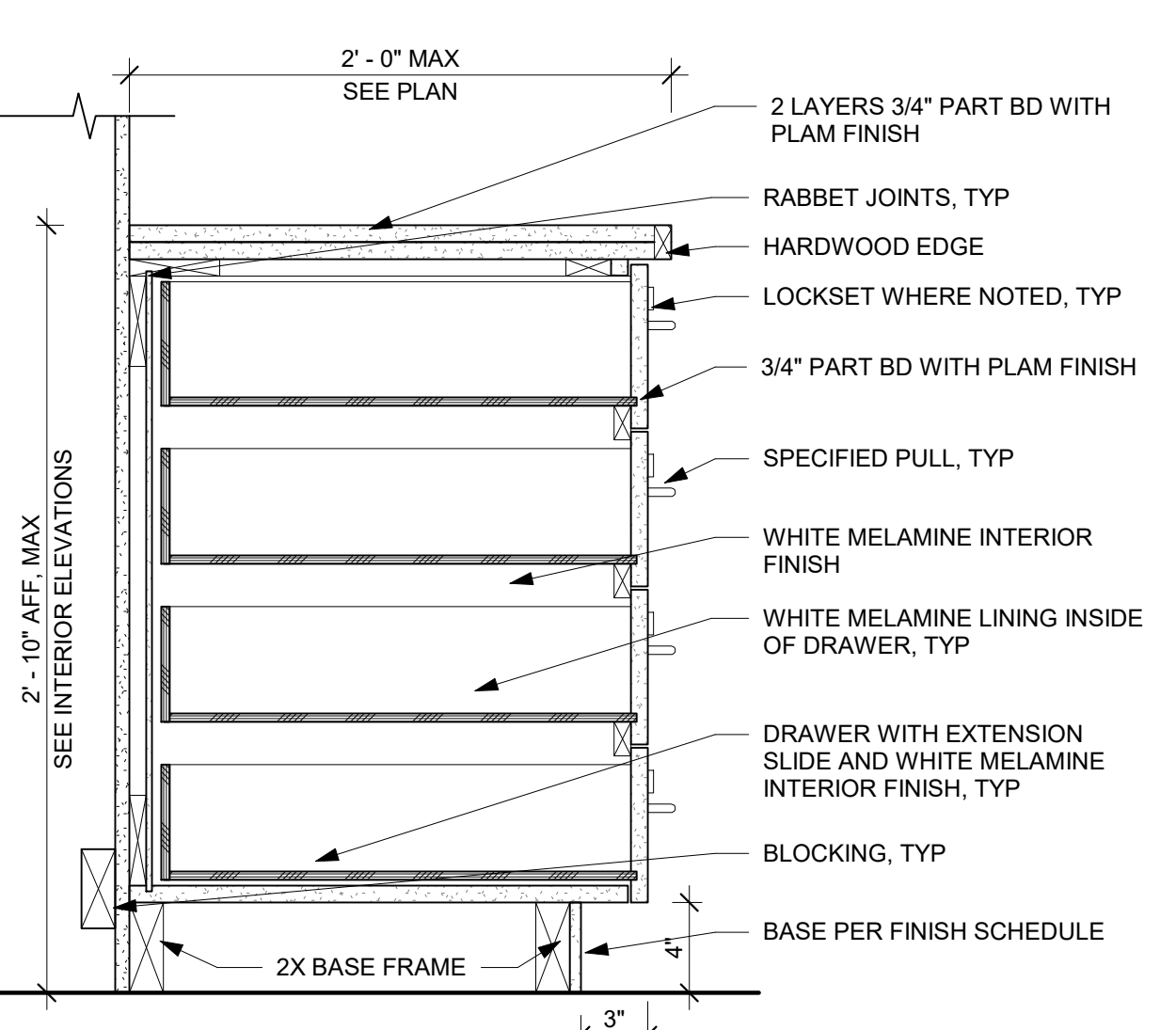
**8 UPHOLSTERED STORAGE BENCH**  
1 1/2" = 1'-0"



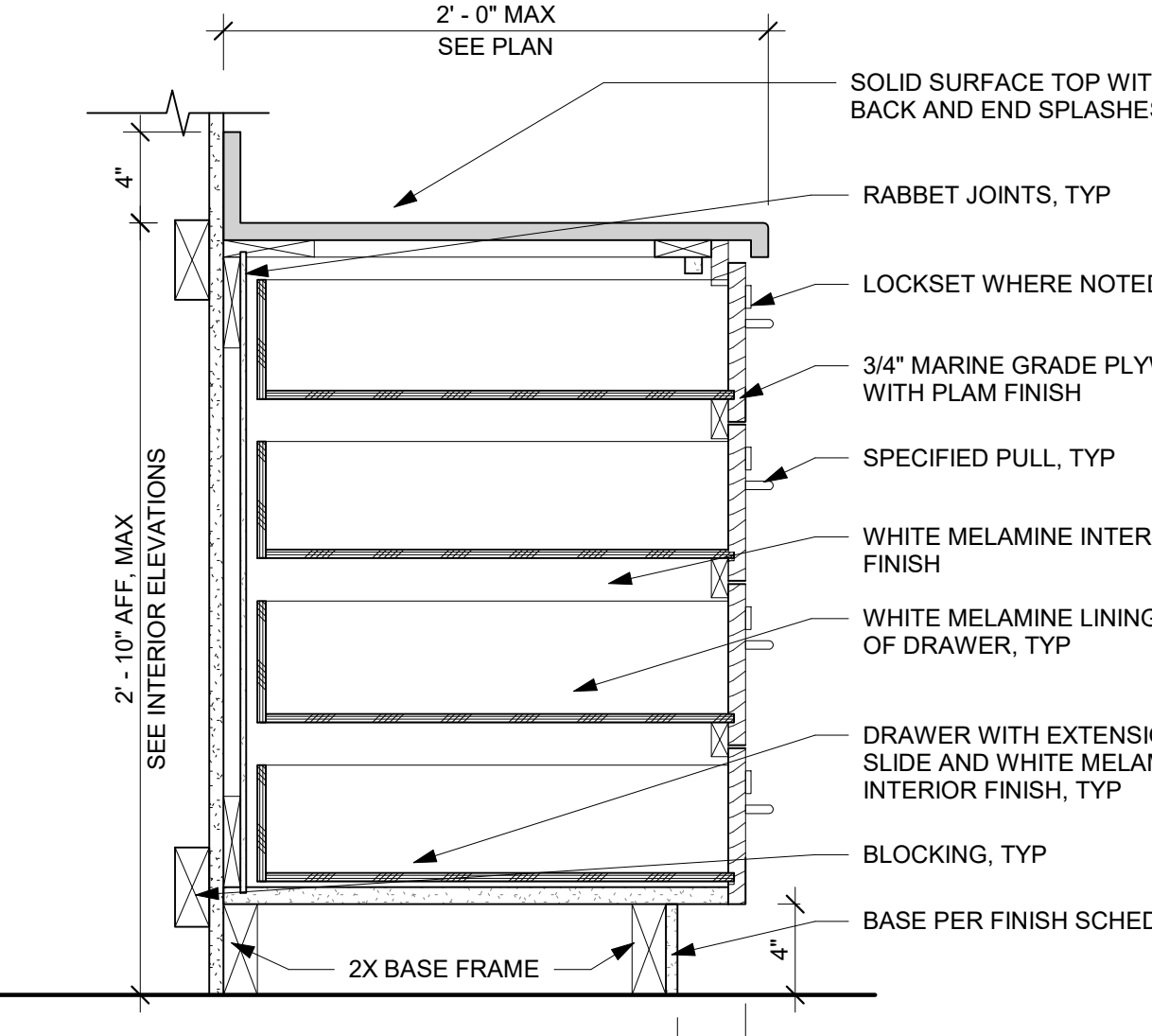
**9 BASE CABINET W/ 4 DRAWERS**  
1 1/2" = 1'-0"



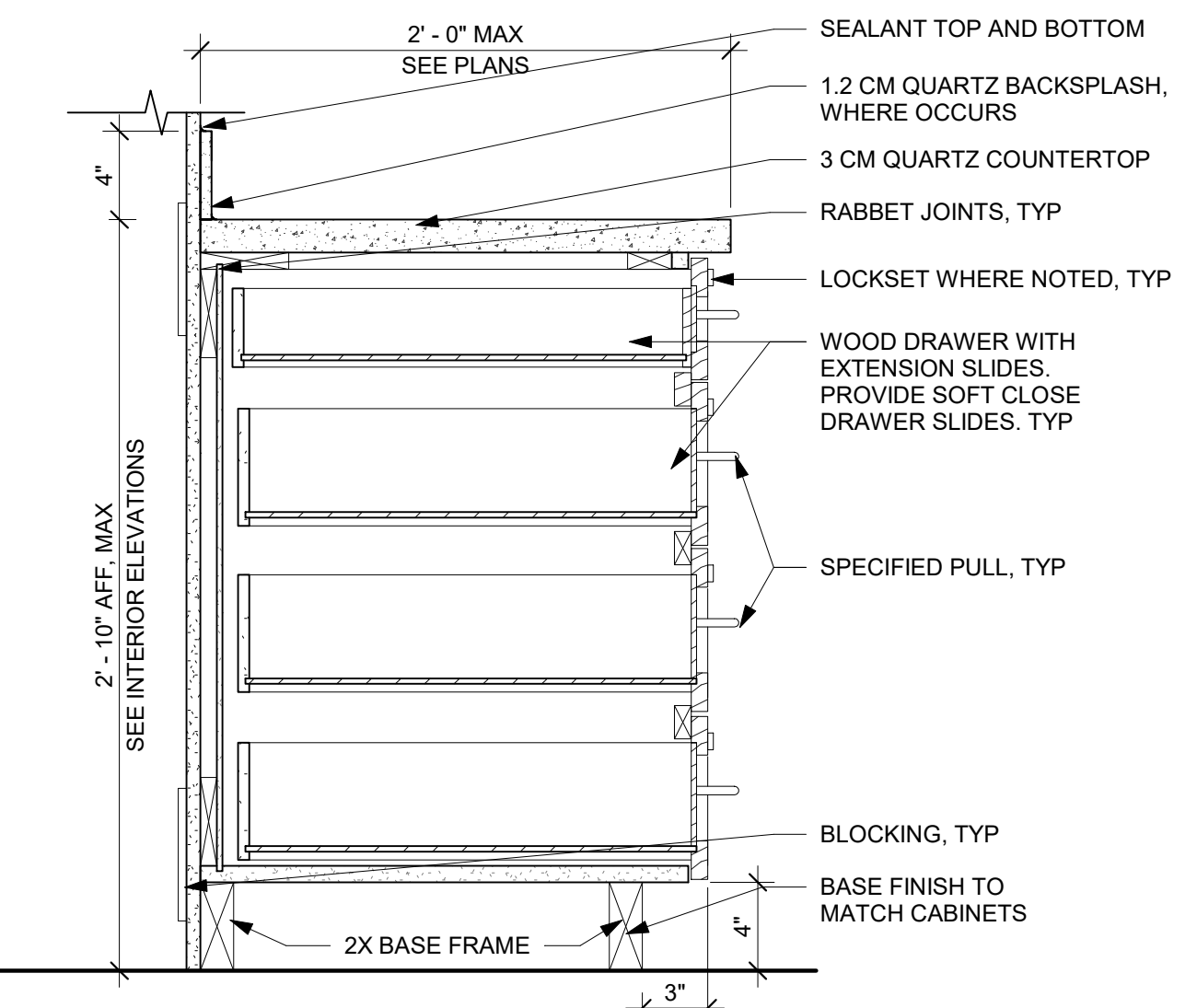
**14 BUILT-IN STORAGE W/ OPEN SHELVES**  
1 1/2" = 1'-0"



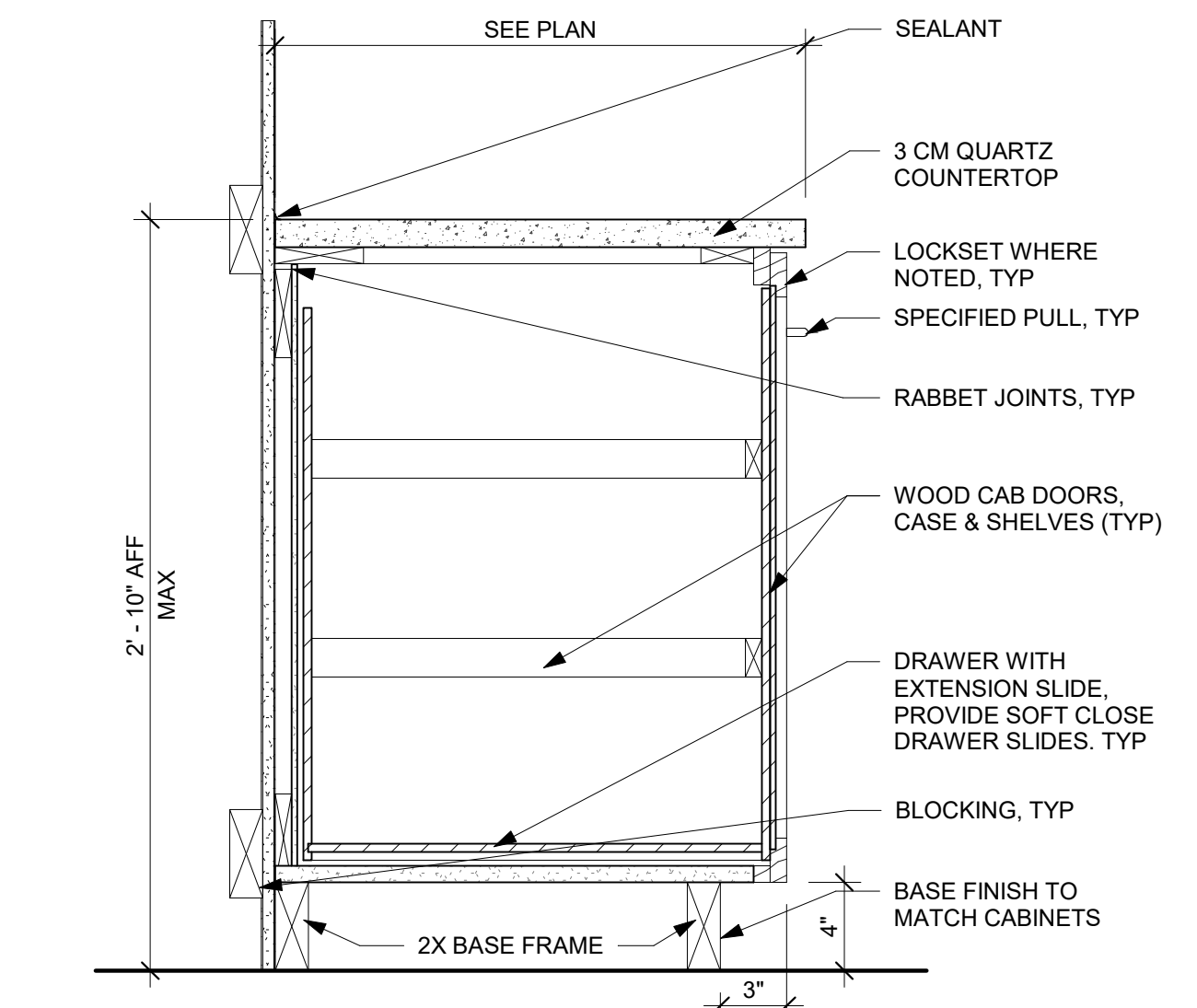
**10 BASE CABINET W/ 4 DRAWERS**  
1 1/2" = 1'-0"



**11 BASE CABINET W/ 4 DRAWERS**  
1 1/2" = 1'-0"



**12 BASE CABINET W/ 4 DRAWERS**  
1 1/2" = 1'-0"



**13 BASE CABINET W/ SPICE RACK**  
1 1/2" = 1'-0"

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1902 campus commons drive  
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reston, virginia 20191  
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Construction Documents for:  
**ARLINGTON COUNTY DHS**  
**GROUP HOME**  
1212 S. IRVING ST.  
ARLINGTON, VA 22204

Project: 19296-01

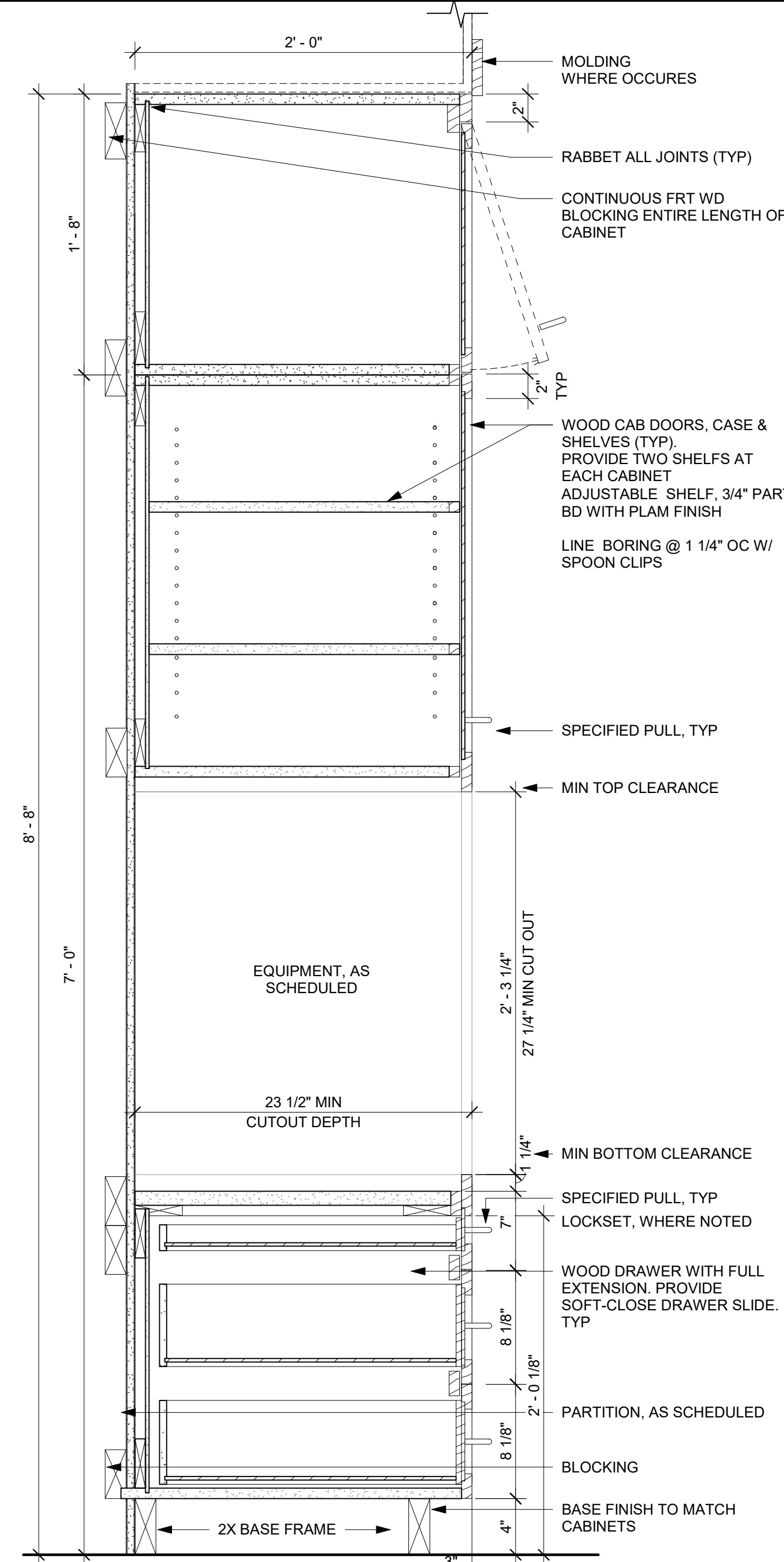
Issued	12/21/20
100% BID	
Revisions	

**INTERIOR CASEWORK DETAILS**

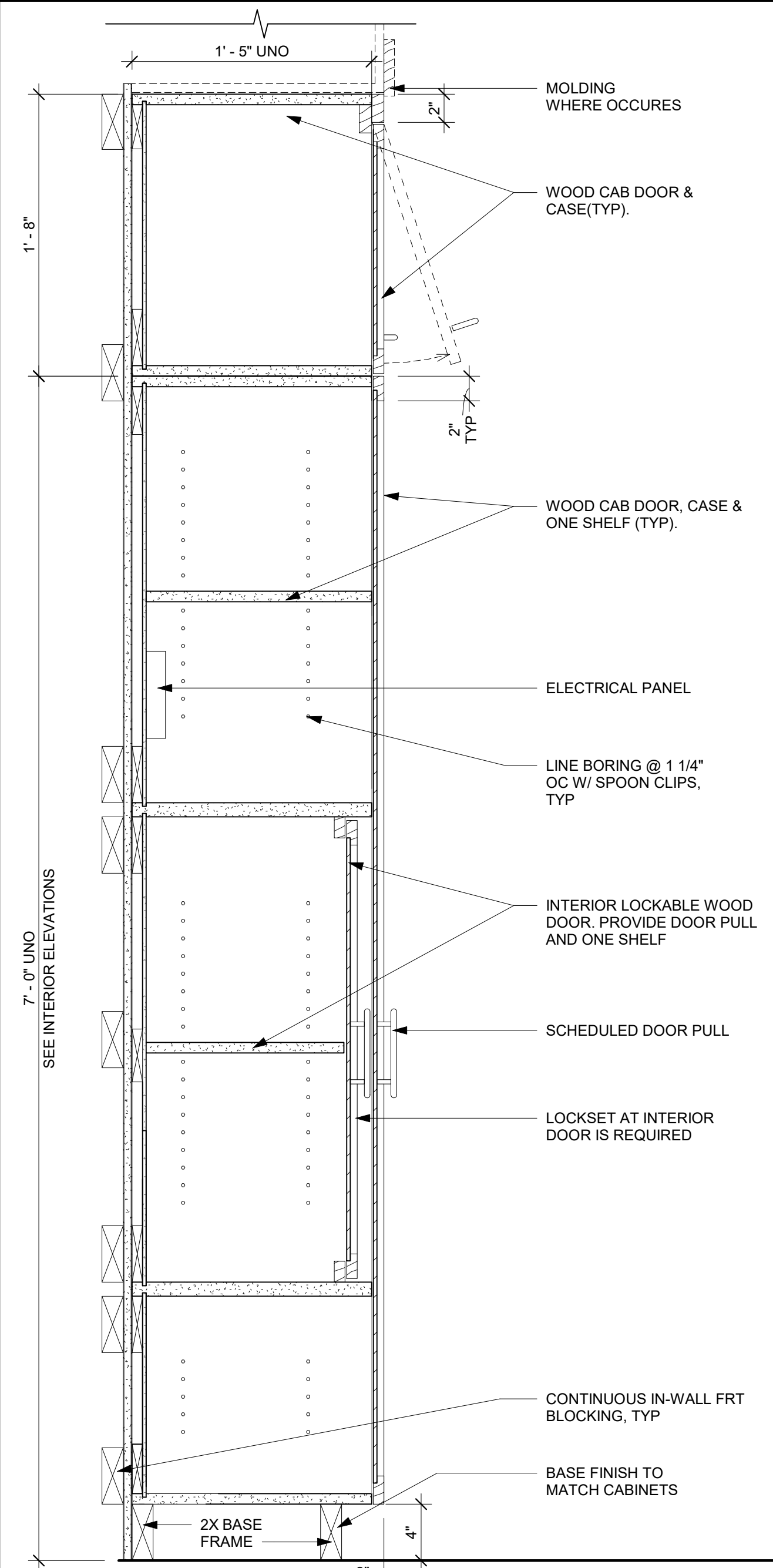
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Drawn DF  
Checked CWB

**A901**  
100% BID

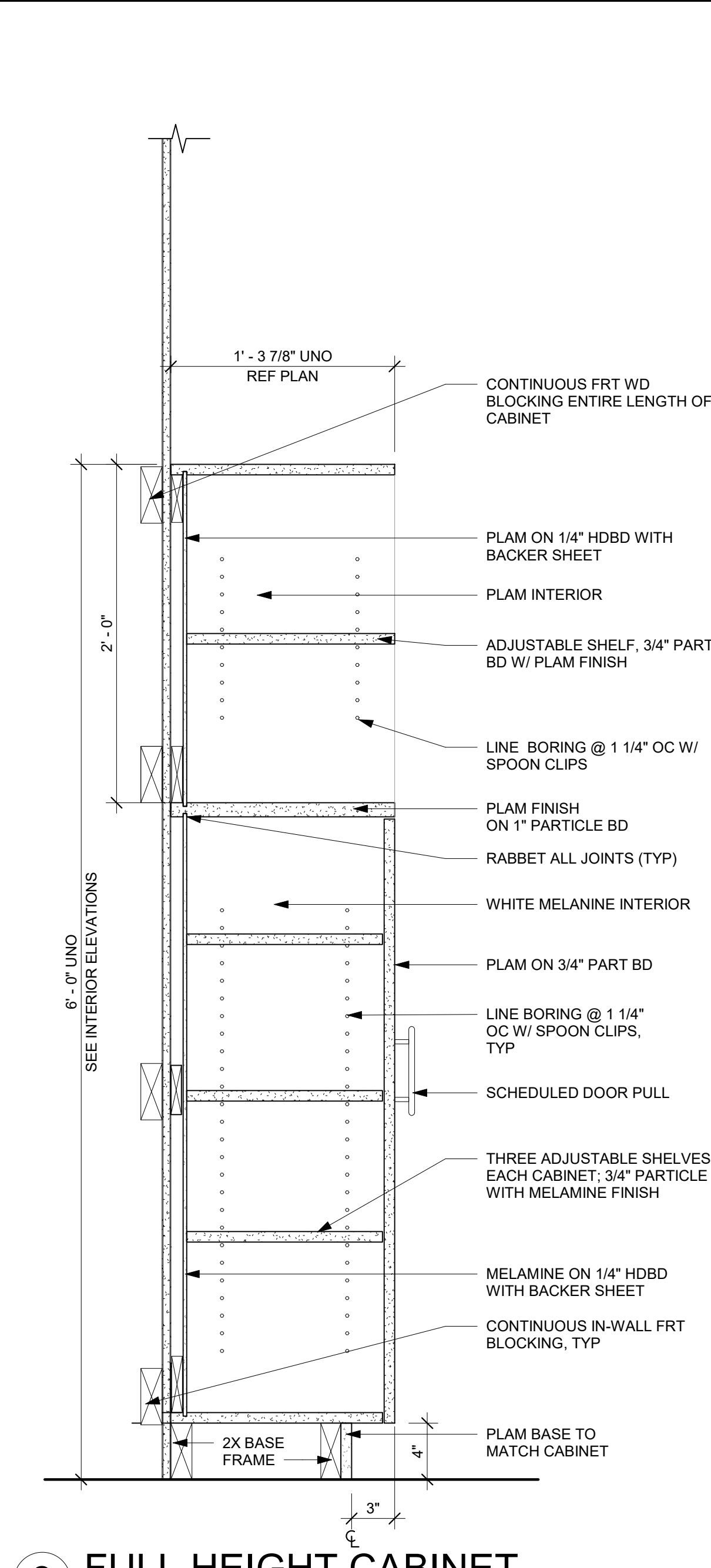




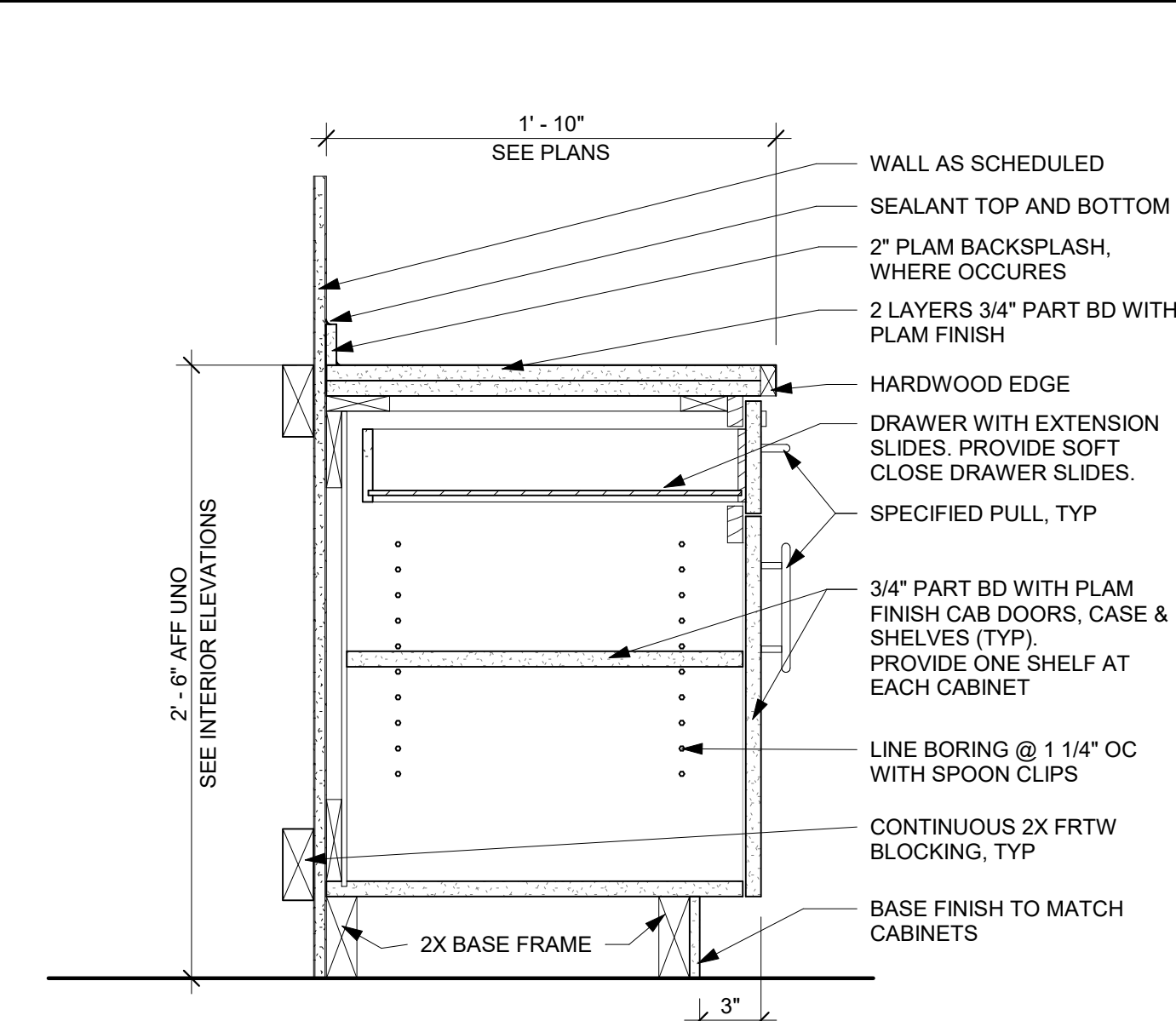
**1 FULL HEIGHT CABINET W/ OVEN**  
1 1/2" = 1'-0"



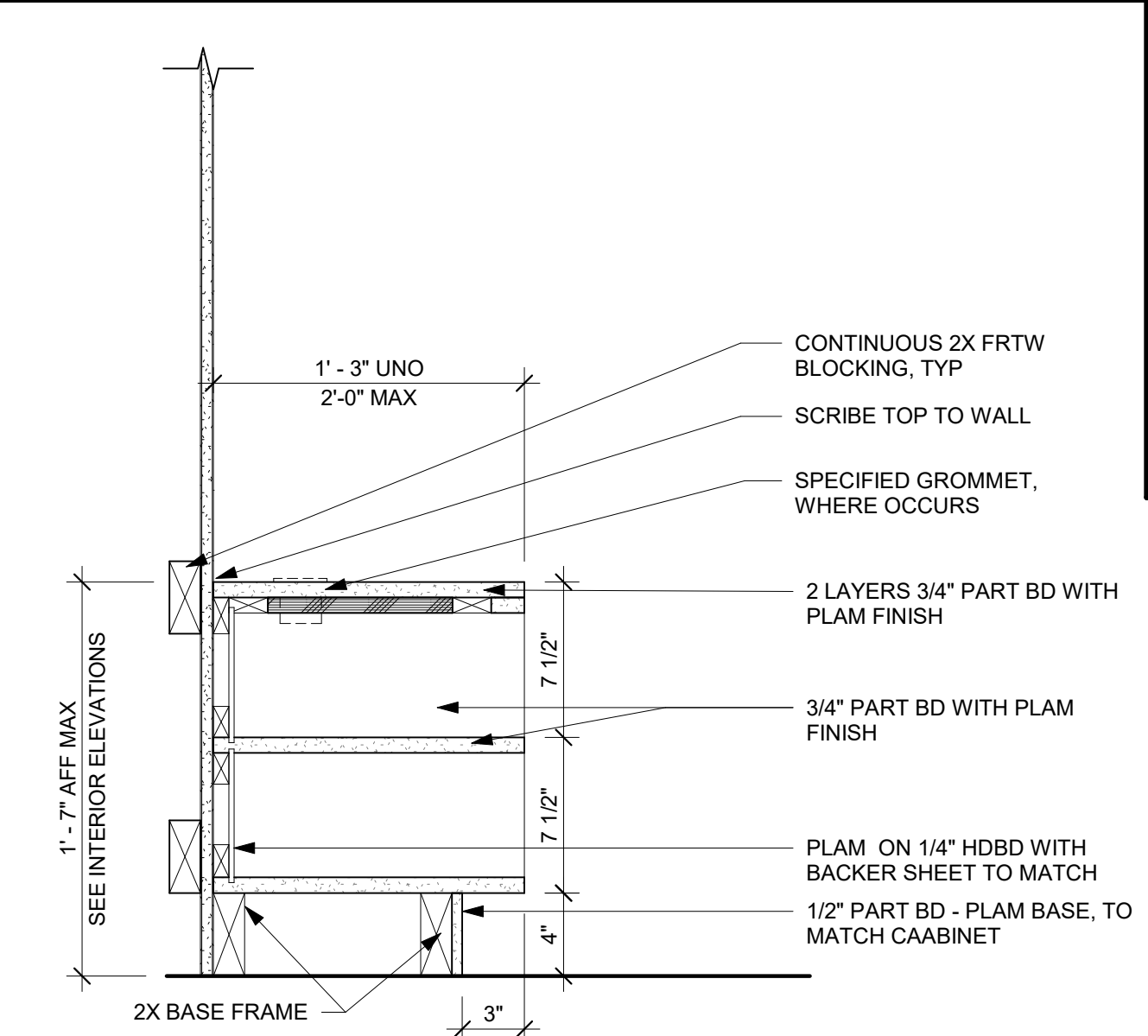
**2 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



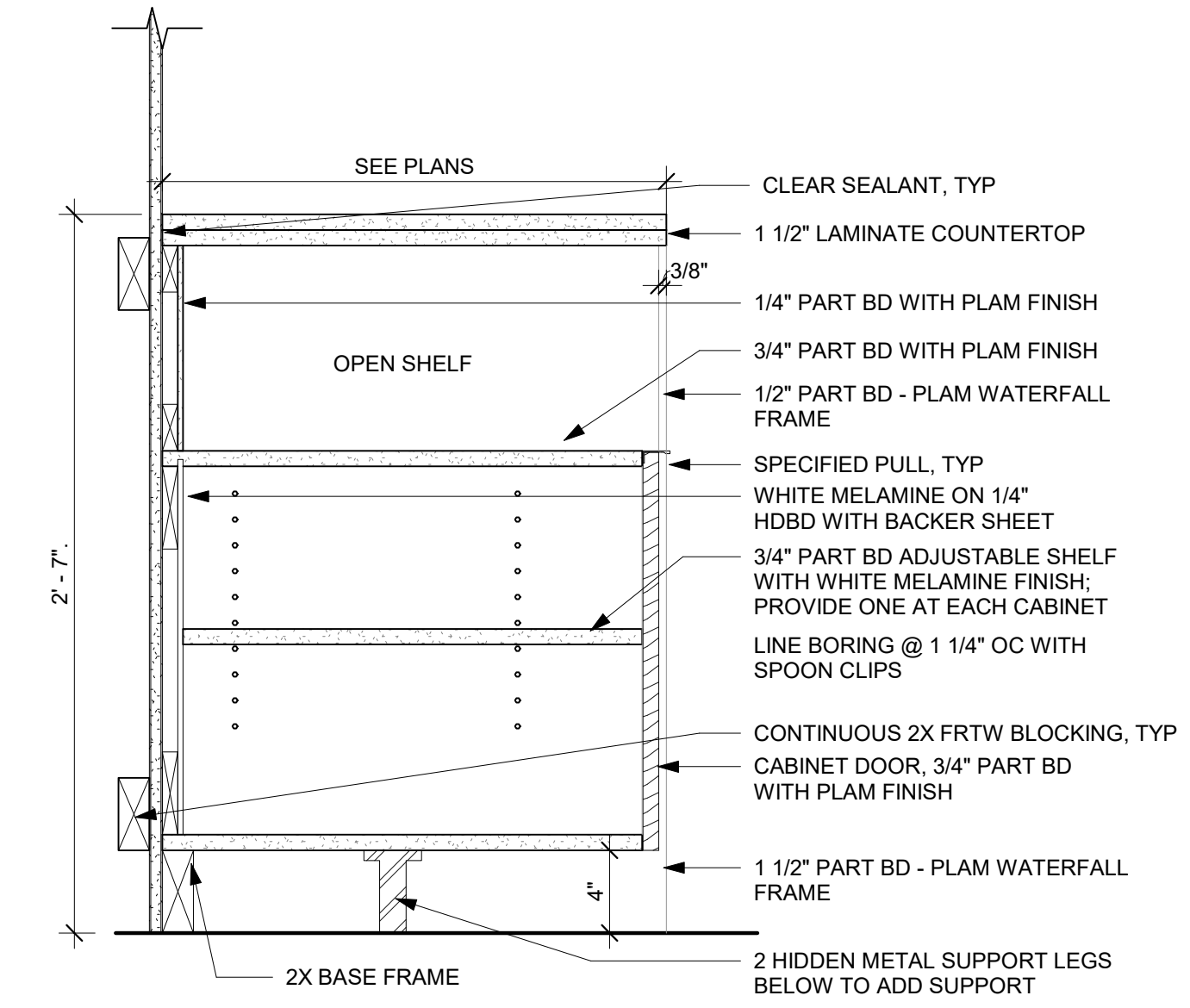
**3 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



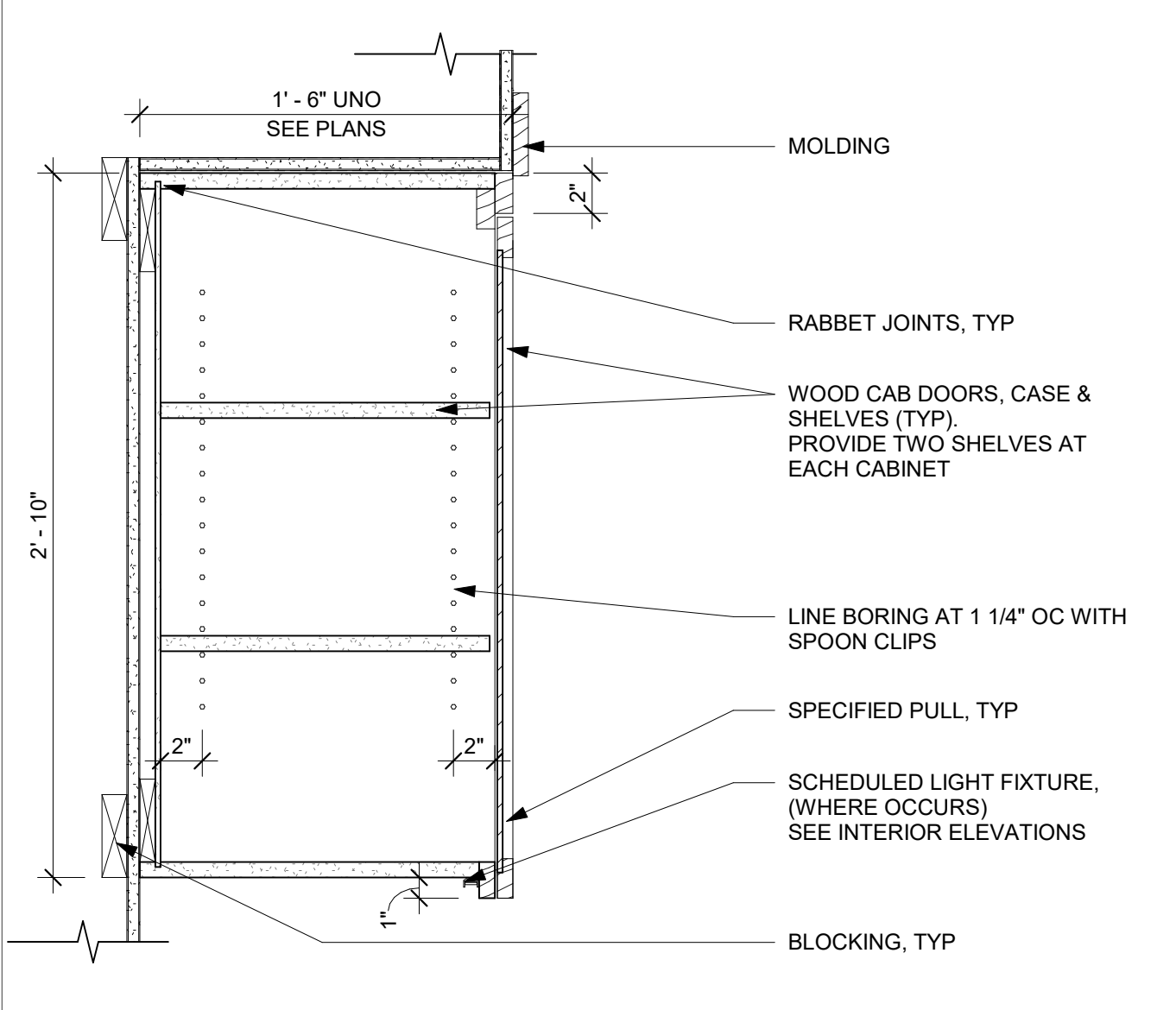
**4 BASE CABINET W/ DOOR & 1 DRAWER**  
1 1/2" = 1'-0"



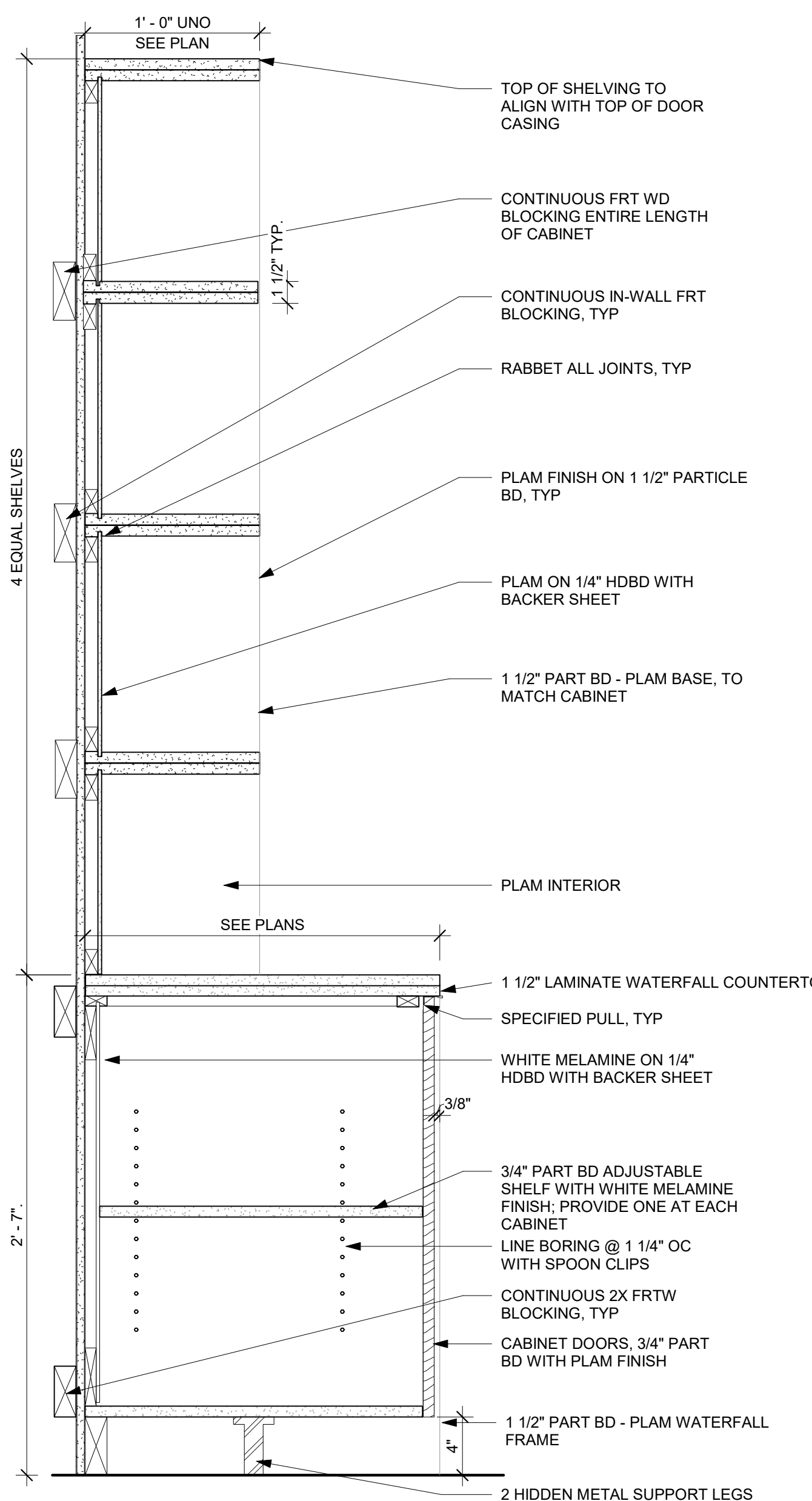
**5 BASE OPEN SHELF**  
1 1/2" = 1'-0"



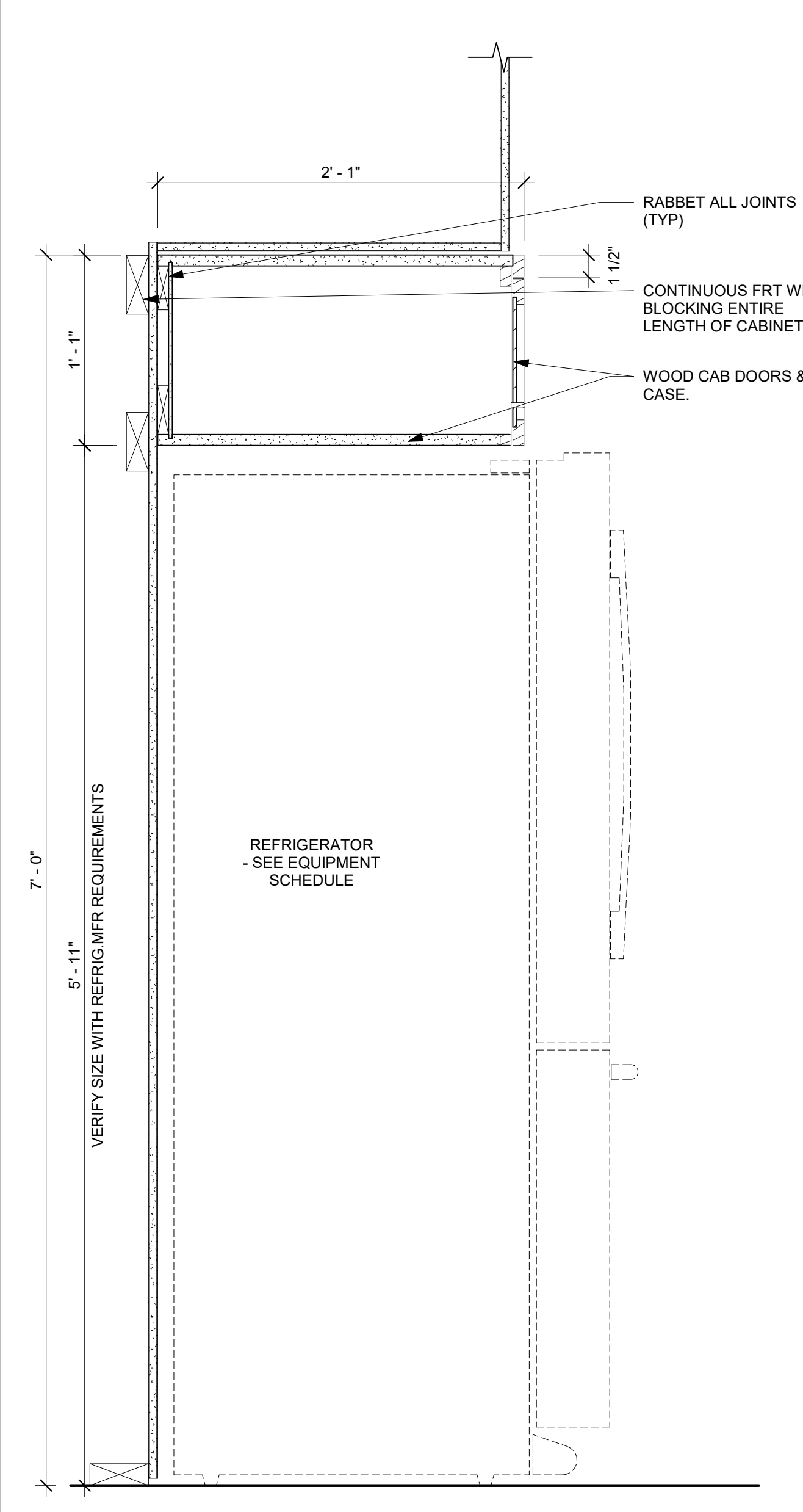
**6 TV CREDENZA P. LAM BASE CABINET**  
1 1/2" = 1'-0"



**7 WALL CABINET - TALL**  
1 1/2" = 1'-0"



**8 TV CREDENZA P. LAM BASE CABINET**  
1 1/2" = 1'-0"



**9 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



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Revisions

1 REVISIONS FOR PERMIT 5/20/21

**INTERIOR CASEWORK DETAILS**




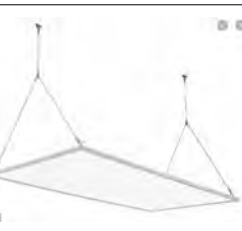


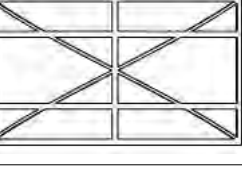

Scale 1 1/2" = 1'-0"  
Drawn Author  
Checked Checker

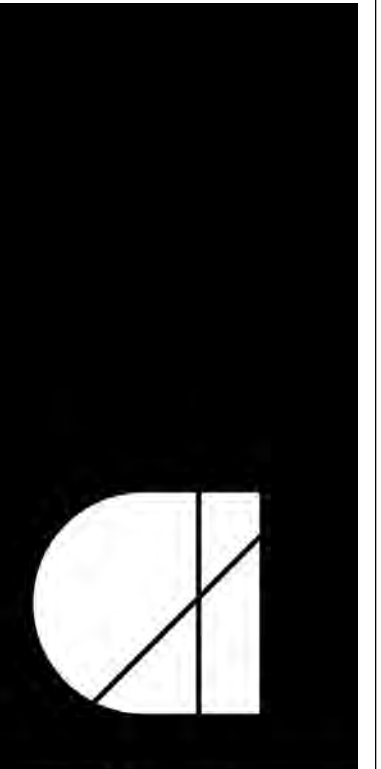
**A902**

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## LIGHTING FIXTURE SCHEDULE

Mark	Description	Manufacturer & Contact	Model	Fixture	Size	Stem Length / B.O. Fixture Height	Finish	Responsibility	Lamp			Image	
									Type	CCT	Dimming		
DP1	DECORATIVE PENDANT	Kuzco	Monae LED Mini Pendant - PD11708-BK		D7-7/8" x H7-7/8"	See Interior Elevations	Black	CF/CI	LED	3000K	100% - 10%, ELV Dimmer - See Manuf. for Suggested Dimmer Types	CF/CI	
DP2	DECORATIVE PENDANT	Kuzco	Moto Chandelier - CH97139		L39-5/8" x W39-5/8" x H25-1/4"	Install with 1-qty 4" stem - OAH: 30.975"	Black	CF/CI	LED	3000K	100% - 10%, ELV Dimmer - See Manuf. for Suggested Dimmer Types	CF/CI	
DP3	DECORATIVE PENDANT	Acuity-Healthcare Lighting	HPSS2 Silhouette Warm Dimming Pendant HPSS2 18DIA SGL 12HIGH 120 FLSH WDIM GOLR 1800LM 90CRI (blank) FNC BGP		18" DIA 3-3/8" DEEP FIXTURE W/ STEM FOR 12" OAH	12" OAH	Black Gloss Paint	CF/CI	LED	3000K	Constant Current, Dimming to <1%	CF/CI	
FM1	SURFACE MOUNTED DECORATIVE FIXTURE	Acuity-Healthcare Lighting	HPCS2 Silhouette Warm Dimming Ceiling Mount HPCS2 36DIA MVOLT DRP WDIM GOLR 3500LM 90CRI FNC BGP		36" DIA 5-5/8" DEEP FIXTURE	N/A	Black Gloss Paint	CF/CI	LED	3000K	Constant Current, Dimming to <1%	CF/CI	
FM2	SURFACE MOUNTED DECORATIVE FIXTURE	Acuity-Healthcare Lighting	HPCS2 Silhouette Warm Dimming Ceiling Mount HPCS2 24DIA MVOLT DRP WDIM GOLR 3500LM 90CRI FLD BA		24" DIA 4-7/8" DEEP FIXTURE	N/A	Brushed Aluminum	CF/CI	LED	3000K	Constant Current, Dimming to <1%	CF/CI	
LP1	2x4 FLAT PANEL LED - SURFACE MOUNTED	Lithonia	EPANL-2X4-6000LM-80CRI-30K-MIN10-MVOLT; INCLUDE ACCESSORIES: 2X4SMKSH SURFACE MOUNT TROFFER		47.72"L x 23.70" W x 2.19" D 15.1LBS	N/A	Matte White	CF/CI	LED	3000K	MIN10 Dims to 10%	CF/CI	
LP1A	2x4 FLAT PANEL LED - SUSPENDED	Lithonia	EPANL-2X4-6000LM-80CRI-30K-MIN10-MVOLT - INCLUDE ACCESSORIES: PAC 4DF 72		47.72"L x 23.70" W x 2.19" D 15.1LBS	7'-0" TO B.O. FIXTURE	Matte White	CF/CI	LED	3000K	MIN10 Dims to 10%	CF/CI	
LP2	1X4 FLAT PANEL LED - SURFACE MOUNTED	Lithonia	EPANL-1X4-6000LM-80CRI-30K-MIN10-MVOLT; INCLUDE ACCESSORIES: 1X4SMKSH SURFACE MOUNT TROFFER		47.72"L x 11.85" W x 2.19" D 13.9LBS	N/A	Matte White	CF/CI	LED	3000K	MIN10 Dims to 10%	CF/CI	
LP2A	1X4 FLAT PANEL LED - SUSPENDED	Lithonia	EPANL-1X4-6000LM-80CRI-30K-MIN10-MVOLT; INCLUDE ACCESSORIES: PAC 4DF 72		47.72"L x 11.85" W x 2.19" D 13.9LBS	7'-0" TO B.O. FIXTURE	Matte White	CF/CI	LED	3000K	MIN10 Dims to 10%	CF/CI	
RD1	LED DOWNLIGHT	Lithonia	Wafer Static LED Recessed Downlight WF4E 4" LED Module WF4E-LED-30K-90CRI-MW		3.2" Aperture, 4" Opening, 4.7" Overlap Trim, 4" H	N/A	Matte White	CF/CI	LED	3000K	See Manuf. For Compatible Dimmer List	CF/CI	
RD2	LED DOWNLIGHT	Lithonia	Direct-Wire LED Recessed Downlight 6JBK ADJ 6JBK ADJ 30K 90CRI ORB		Aperture: 3-1/8" Overlap Trim: 7-1/4" Height: 4-7/8" Ceiling Opening: 4-7/8"	N/A	Oil Rubbed Bronze	CF/CI	LED	3000K	See Manuf. For Compatible Dimmer List	CF/CI	
SL1	IC LED OUTDOOR PERFORMANCE STEP LIGHT	Acuity-Juno	GS 6.5 IC LED OUTDOOR PERFORMANCE STEP LIGHT IC115LEDHSG-838LED-13W-40K-120-BRZ		9" X 3" WALL OPENING - 4-1/8" deep	See Stair Details	Bronze Textured	CF/CI	LED	4000K	Controlled by PhotoCell	CF/CI	
TL1	UNDER-CABINET TAPE LIGHT	Pure Edge Lighting	COMPLETE FIXTURE 0.3" LIGHT CHANNEL 24VDC LED DYNAMIC TUNABLE WHITE, WARM DIM LED TECHNOLOGY LCS.3 2W - see dwgs - D - 30K - SA - Provide w LCS.6 MCL		W: .7", Length: See Dwgs: 3"H	See Millwork Details		CF/CI	LED	3000K	Power Supply: 120VAC input, 24VDC 96 watt output PSB-100W-ELV-24VDC Dimming: Dimmable with low voltage electronic dimmer using power supply above. See power supply spec sheet for additional details. Lutron: Diva DVELV-300P; Skylark SELV-300P; Maestro MAELV-600 dimmers are recommended.	CF/CI	
TL2	LED TAPE LIGHT	Diode LED			H: .1", W: .6" - cuttable every 8"	See RCP Details		CF/CI	LED	red/green/blue/3000K	DMX REMOTE CONTROLLER TO BE INCLUDED - DI-RGBW-CON-REM	CF/CI	
TL3	LED STRIP LIGHT	Lithonia	LED Linear CLX TUNABLE WHITE CLX L48 3000LM SEF (blank) RDL (blank) MVOLT PROR 90CRI WH		48" Length	N/A	White	CF/CI	LED	3000K	Controlled by Vacancy Sensor	CF/CI	
WS1	LED INTERIOR WALL SCONCE	WEST ELM	Sculptural Glass Geo Sconce - 6.75" Shade		* Overall product dimensions: 6.75" w x 8.75" d x 15.75" h. * Wall plate dimensions: 5" diam. x 1.7" d. * Shade dimensions: 6.75" diam. x 11.2" h.	See Interior Elevations	Nickel	CF/CI	E26 SOCKET - A19 bulb (Phillips or equal)	3000K	Smooth dimming to 10% of full light levels; Provide Dimmer Type Compatible with Bulb	CF/CI	
WS2	LED INTERIOR WALL SCONCE	Acuity-Healthcare Lighting	HPSS3 Silhouette Warm Dimming Sconce HPSS3 16WIDE MVOLT WDIM GOLR 90CRI FNC NLT DARK __ BGP		16-5/16" Wide x 9-1/2" H x 3-7/8" Deep	6'-0" to B.O. fixture	Black Gloss Paint	CF/CI	LED	3000K	Constant Current, Dimming to <1%	CF/CI	
WS4	LED EXTERIOR WALL SCONCE	Lithonia	Outdoor General Purpose LED WALL CYLINDER LIGHT OLLWU LED P1 40K MVOLT DDB		9-1/4"H x 4-5/16"W x 3-11/16"D		Bronze	CF/CI		4000K	Not Dimmable; controlled by PhotoCell	CF/CI	
WS4A	LED EXTERIOR WALL SCONCE	Lithonia	Outdoor General Purpose LED WALL CYLINDER LIGHT OLLWU LED P1 40K MVOLT DDB		8"H x 4-5/16"W x 3-11/16"D		Bronze	CF/CI		4000K	Not Dimmable; controlled by PhotoCell	CF/CI	
WS5	LED EXTERIOR FLOODLAMP	Lithonia	OLF LED Security Floodlight with Motion Sensor OLF 2RH 40K 120 MO DDB				Bronze	CF/CI		4000K	Not Dimmable - Motion Sensor	CF/CI	



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Revisions

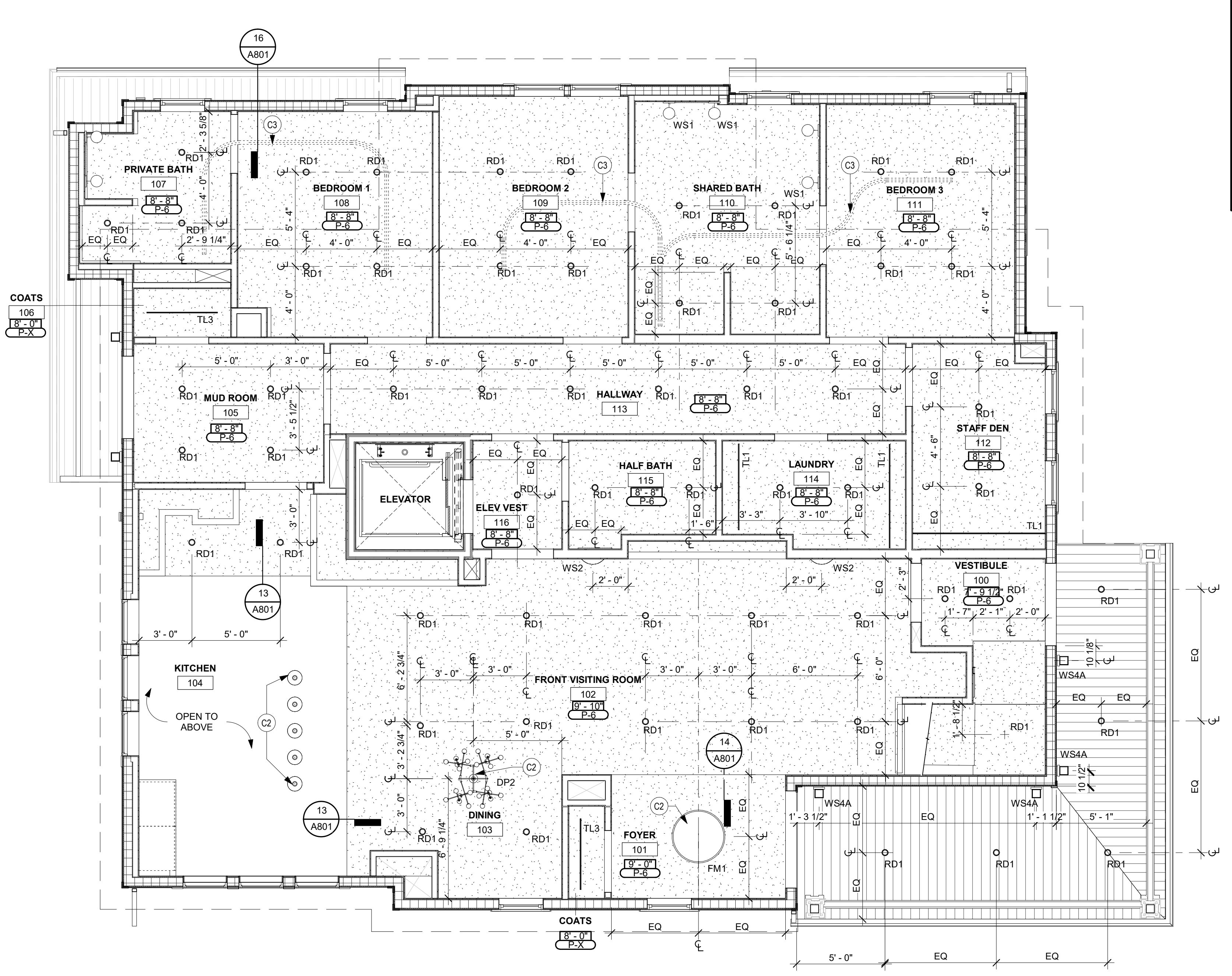
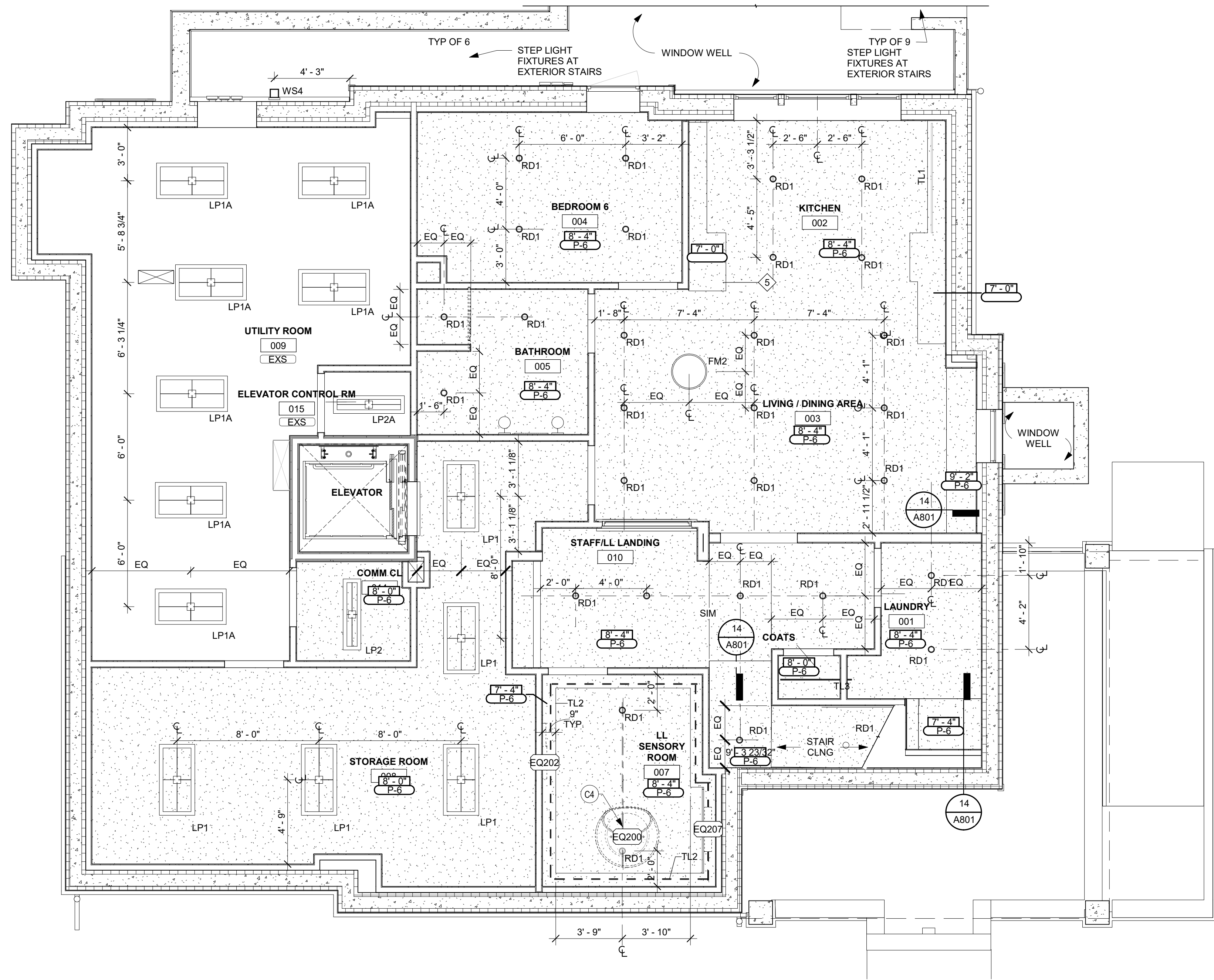
**LIGHTING  
FIXTURE  
SCHEDULE**

Scale  
Drawn Author  
Checked Checker

**A1000**

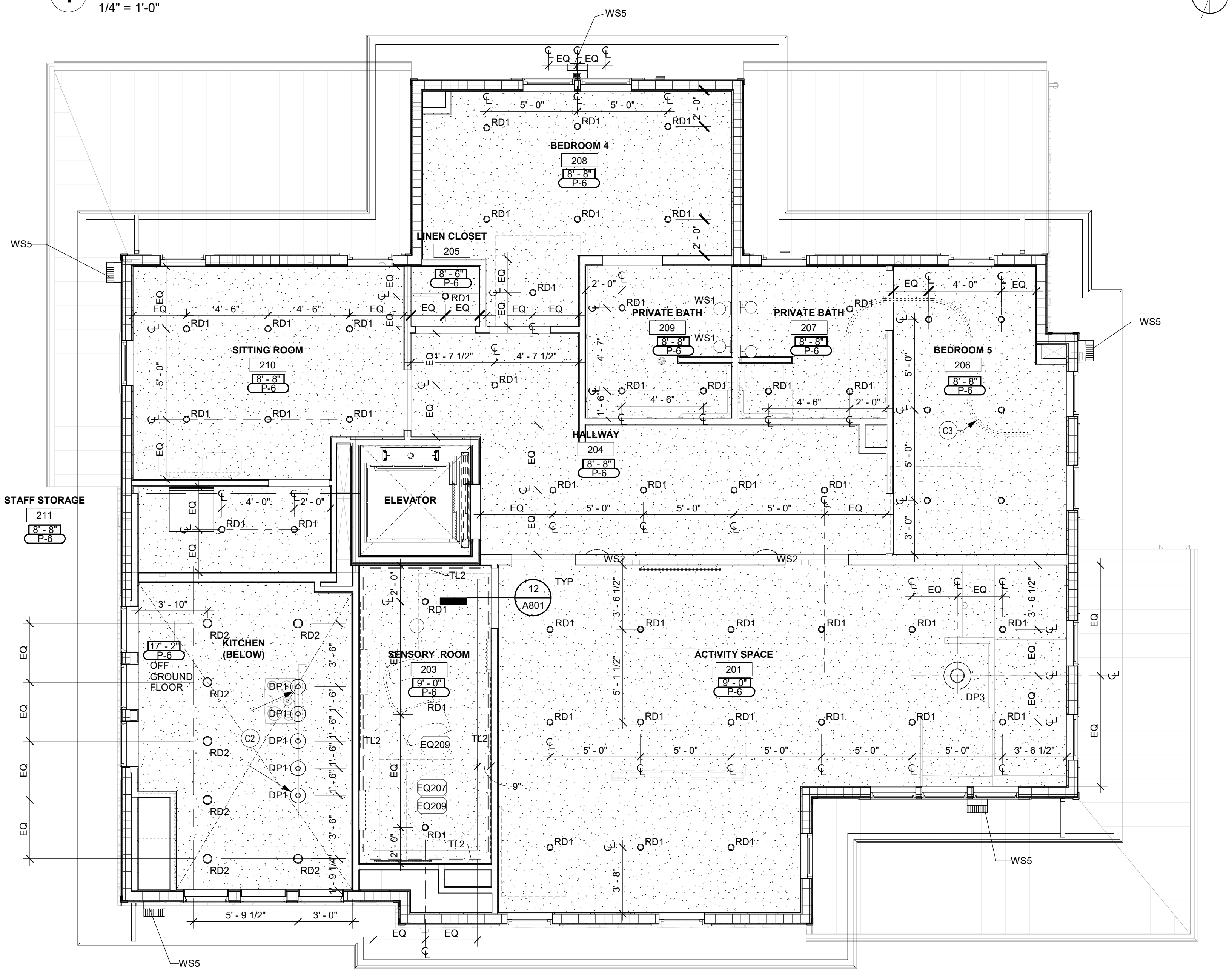
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**1 BASEMENT LEVEL RCP**  
1/4" = 1'-0"

**2 GROUND LEVEL RCP**  
1/4" = 1'-0"



**3 SECOND LEVEL RCP**  
1/4" = 1'-0"

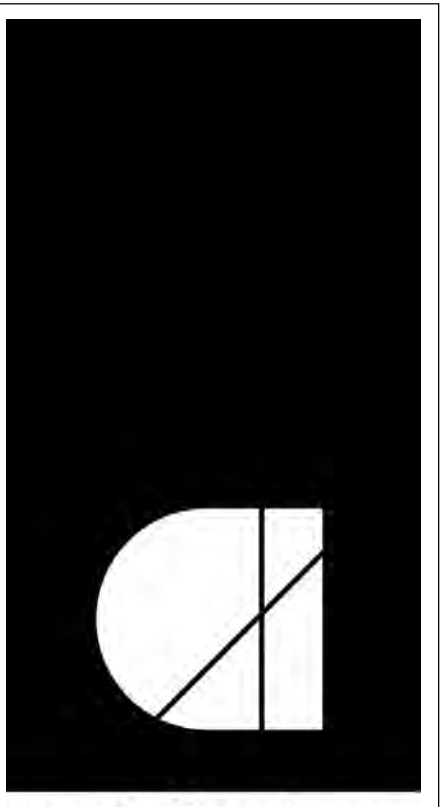
**REFLECTED PLAN LEGEND:**

- ⊕ NEW LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS
- GYPSUM BOARD CEILING
- 2X2 ACT AND GRID
- CEILING HEIGHT ABOVE FINISHED FLOOR
- CEILING FINISH; SEE FINISH SCHEDULE
- EXPOSED STRUCTURE OVERHEAD

SEE A200 FOR GENERAL FINISH NOTES AND GENERAL CEILING NEW WORK NOTES  
SEE F-SERIES FOR FINISH SCHEDULE

**KEYED RCP NOTES:**

- C1 OPEN TO STAIRS ABOVE
- C2 PENDANT FIXTURE CENTERED ON TABLE BELOW, MOUNTED IN DOUBLE HEIGHT SPACE. SEE INTERIOR ELEVATIONS.
- C3 TRACK FOR CEILING ASSIST TROLLEY (BOD: CIRRUS LIFT BY TOLLOS INC), TYP.
- C4 PROVIDE BLOCKING FOR CEILING MOUNTED SWING EQUIPMENT



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Revisions

1 REVISIONS FOR PERMIT 5/20/21

**REFLECTED  
CEILING PLANS  
- BASEMENT,  
GROUND & 2ND  
LEVEL**

Scale **As indicated**  
Drawn DML  
Checked CWB

**A1001**

100% BID



# SCHEDULE - FINISH MATERIALS SCHEDULE

DESIGNATION	DESCRIPTION	MANUFACTURER	SERIES/FINISH/STYLE	COLOR	NOTES	CONTACT
<b>FABRIC</b>						
FAB-1	UPHOLSTERY @BENCH	WOLF GORDON	GOH 31768220	BELIZE / ALASKA	54" WIDE	JANEL CONFORTI @ JANEL.CONFORTI@WOLFGORDON.COM
FAB-2	FABRIC @ FABRIC PANELS	CARNEGIE/ XOREL	METEOR 6427 -709			MICHELLE HUNDLEY @ MHUNDLEY@CARNEGIEFABRICS.COM
FAB-3	FABRIC @ FABRIC PANELS	CARNEGIE/ XOREL	METEOR 6427 -738			MICHELLE HUNDLEY @ MHUNDLEY@CARNEGIEFABRICS.COM
FAB-4	FABRIC @ FABRIC PANELS	CARNEGIE/ XOREL	METEOR 6427 -735			MICHELLE HUNDLEY @ MHUNDLEY@CARNEGIEFABRICS.COM
FAB-5	FABRIC @ FABRIC PANELS	CARNEGIE/ XOREL	METEOR 6427 -747			MICHELLE HUNDLEY @ MHUNDLEY@CARNEGIEFABRICS.COM
<b>FABRIC PANEL</b>						
FP-1	FABRIC PANEL @ SENSORY ROOM	WHISPER WALLS BY Z-BEST	1" ZECORE BACKING	N/A	SEE ELEVATIONS FOR FABRIC CHOICE AT EACH PANEL	DAVID FITZPATRICK @ DFITZPATRICK@ZBESTCORP.COM
<b>FLOOR TILE</b>						
T-1	FLOOR TILE @ VESTIBULE AND MUD ROOM	CERAMIC TECHNICS LTD	SASSUOLO STONE TERRA - HEXAGON	NERO 50% + ANTRACITE 50 %	50 /50 RANDOM MIX. GROUT* MAPEI 47 CHARCOAL	NANCY BURNS @ NBURNS@CERAMICTECHNICS.COM
T-2	FLOOR TILE @ BATHROOM	CREATIVE MATERIALS CORP	FORMATION MIST, MATTE, 12X24	NATURAL	GROUT COLOR, MAPEI 93 WARM GRAY, STACKED INSTALL PATTERN	JESSE HABERSTICH @ JHABERSTICH@CREATIVEMATERIALSCORP.COM
T-3	FLOOR TILE @ SHOWER FLOOR	CREATIVE MATERIALS CORP	FORMATION MIST MATTE, BASKETWEAVE MOSAIC	NATURAL	GROUT COLOR, MAPEI 93 WARM GRAY, INSTALL ON 45 DEGREE ANGLE ON SHOWER FLOOR AND TILE NICHE	JESSE HABERSTICH @ JHABERSTICH@CREATIVEMATERIALSCORP.COM
<b>FLOORING</b>						
SC-1	SEALED CONCRETE SLAB @ UNFINISHED BASEMENT	DRYLOK	DRYLOK FLOOR & WALL MASONRY WATERPROOFER	CLEAR	-	N/A
UND-1	LVT UNDERLAYMENT	DYNAMIX	4-1 PREMIUM UNDERLAY	N/A	UNDER 1ST AND 2ND FLOOR LVT ONLY	KYLE MANDEVILLE @ 301-337-9100
<b>PAINT</b>						
P-	FRONT DOOR PAINT ( RED )	SHERWIN WILLIAMS				
P-1	GENERAL PAINT	SHERWIN WILLIAMS	EGGSHELL, LOW VOC		SW 7007 CEILING BRIGHT WHITE	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-2	HEAVY DUTY ACCENT PAINT	WOLF GORDON	SCUFFMASTER		10 TO MATCH SW 7071 GRAY SCREEN	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-3	ACCENT PAINT @ LAUNDRY	SHERWIN WILLIAMS	EGGSHELL LOW VOC		SW 1667 ICY LEMONADE	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-4	GENERAL PAINT @ BATHROOM	SHERWIN WILLIAMS	SEMI-GLOSS, LOW VOC		SW 7741 WILLOW TREE	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-5	GENERAL PAINT @ 2ND FLOOR MEETING ROOM	SHERWIN WILLIAMS	EGGSHELL, LOW VOC		SW 9145 SLEEPY HOLLOW	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-6	CEILING PAINT	SHERWIN WILLIAMS	FLAT, LOW VOC		SW 7007 CEILING BRIGHT WHITE	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-7	TYPICAL PAINT @ CASEMENT + CROWN	SHERWIN WILLIAMS	SEMI-GLOSS, LOW VOC		SW 7007 CEILING BRIGHT WHITE	BILL RAINS @ BILL.RAINS@SHERWIN.COM
P-8	ACCENT PAINT @ CASEMENT + CROWN	SHERWIN WILLIAMS	SEMI-GLOSS, LOW VOC		SW 7650 ELLIE GRAY	TYPICAL PAINT AT CROWN MOLDING, WINDOW CASEMENT AND DOOR CASEMENT UNLESS OTHERWISE NOTED
P-9	ACCENT PAINT @ CASMENT + CROWN	SHERWIN WILLIAMS	SEMI-GLOSS, LOW VOC		SW 2849 WINCHESTER GRAY	AT WINDOW CASEMENT, DOOR CASEMENT, AND CROWN MOLDING
P-10	CROWN MOLDING ACCENT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS, LOW VOC		SW 7071 GRAY SCREEN	BILL RAINS @ BILL.RAINS@SHERWIN.COM
<b>PLASTIC LAMINATE</b>						
PL-1	PLASTIC LAMINATE	FOMICA	WOOD BRUSHED PREMIUM		AGED ASH 8844-WR	RICK ARMSTRONG @ 678-878-6374
PL-2	PLASTIC LAMINATE @ LIVING ROOM	FORMICA	MATTE FINISH		MILLENNIUM OAK 5887-58	RICK ARMSTRONG @ 678-878-6374
PL-3	PLASTIC LAMINATE	FORMICA	MATTE FINISH		WHITE 949	RICK ARMSTRONG @ 678-878-6374
PL-4	LAMINATE @ ELEVATOR INTERIOR	WILSONART	80 MATTE FINISH		D354-80 DESIGNER WHITE	
PL-5	PLASTIC LAMINATE @ ACTIVITY SPACE 2ND FLOOR	FORMICA	90 HIGH GLOSS		NAVY BLUE 969	METAL TRIM
PL-6	PLASTIC LAMINATE	OCTOLAM	MATTE FINISH		1044 ROSA ANTICA	RICK ARMSTRONG @ 678-878-6374
PL-7	PLASTIC LAMINATE	OCTOLAM	MATTE FINISH		1047 MANGO	JOSH BENJAMIN @ 703 855 9672
PL-8	PLASTIC LAMINATE	OCTOLAM	MATTE FINISH		1071 LIME	JOSH BENJAMIN @ 703 855 9672
PL-9	PLASTIC LAMINATE	OCTOLAM	MATTE FINISH		1049 MAJUVE	JOSH BENJAMIN @ 703 855 9672
PL-10	PLASTIC LAMINATE	OCTOLAM	MATTE FINISH		1054 FUCSIA	JOSH BENJAMIN @ 703 855 9672
PL-11	PLASTIC LAMINATE	OCTOLAM	MATTE FINISH		1078 SUGAR PAPER	JOSH BENJAMIN @ 703 855 9672
<b>RESILIENT DOOR PANEL</b>						
DP-1	RESILIENT DOOR PANEL @ TYPICAL PS INTERIOR DOOR	ACROVYN	SUEDE TEXTURE		949 WHITE	IN LIEU OF RESILIENT DOOR PANEL USE ALTERNATE SHERWIN WILLIAMS, SEMI GLOSS PAINT SW 7007 CEILING BRIGHT WHITE
DP-2	RESILIENT DOOR PANEL	ACROVYN	SUEDE TEXTURE		223 DANUBE	IN LIEU OF RESILIENT DOOR PANEL USE ALTERNATE SHERWIN WILLIAMS, SEMI GLOSS PAINT SW 9150 ENDLESS SEA
DP-3	RESILIENT DOOR PANEL	ACROVYN	SUEDE TEXTURE		324 UNDERSEAS	IN LIEU OF RESILIENT DOOR PANEL USE ALTERNATE SHERWIN WILLIAMS, SEMI GLOSS PAINT SW 2811 ROCKWOOD BLUE GREEN
DP-4	RESILIENT DOOR PANEL	ACROVYN	SUEDE TEXTURE		520 IMPERIAL PURPLE	IN LIEU OF RESILIENT DOOR PANEL USE ALTERNATE SHERWIN WILLIAMS, SEMI GLOSS PAINT SW 6544 MESMERIZE
<b>RESILIENT FLOORING</b>						
LVT-1	LUXURY VINYL TILE @ PUBLIC AREAS	PARTERRE	INGRAINED RESILIENT PLANK 7.25" X 48"		ESSEX MAPLE	
LVT-2	LUXURY VINYL TILE @ PRIVATE AREAS	KOKUTAN			KOK121	ZACH MOWERS zach@divisorassociates.com
RB-1	RUBBER BACKED VINYL FLOORING @ SENSORY RM	ECORE	FORREST RX		2990 OILED OAK	MARY CEPKO @ 202-841-8732
VCT-1	VINYL COMPOSITE TILE	ARMSTRONG FLOORING	STANDARD EXCELRON IMPERIAL TEXTURE DIAMOND 10 TECH, 12X12		51941 POLAR WHITE	KEVIN DUNN @ 703-296-8688 LIEN CHI @ LQCHU@ARMSTRONGFLOORING.COM
<b>SURFACES</b>						
OZ-1	QUARTZ	HANSTONE			YORKVILLE BG874	BILL SHIMMEL , BILL SHIMMEL@TPSI33.COM
SS-1	SOLID SURFACE	CORIAN			CARBON AGGREGATE	ROYCE BROWN , RBROWN@CHBRIGGS.COM
<b>WALL BASE</b>						
B-1	RUBBER WALL BASE	TARKETT	TRADITIONAL WALL BASE, 2.5" COVE STYLE		21 PLATINUM CG	AT BASEMENT STORAGE AND COMMS CLOSET
WB-1	PAINT GRADE WOOD BASE	N/A	PAINT GRADE POPLAR TRIM 4" WIDE X 1/2" THICK		PAINTED TO MATCH P-1	TYLER BREWER @ JAKE KELLY @ 703-22-1644
<b>WALL COVERING</b>						
WC-1	WALL COVERING	MDC INTERIOR SOLUTIONS	HORIZON		W2H207 CLEAR SKIES	
<b>WALL PROTECTION</b>						
WP-1	WALL PROTECTION WITH INTERGRAL BASE @ PUBLIC AREAS	ACROVYN	SUEDE TEXTURE, .060" SHEET WALL COVERING, 4X8 SHEETS		PEARL GRAY #136	MATCHING SARATOGA 1/2" X 4" NOTCHED HORIZONTAL WAINSCOT TRIM TO CAP ALL WAINSCOT; MATCHING SARATOGA , 3/8" X 2" VERTICAL TRIM TO BE SPACE EVERY 18" O.C. MATCHING SARATOGA BASE TRIM, 1/2" THICK X 4", ALL SUEDE TEXTURE.
WP-2	WALL PROTECTION WITH INTERGRAL BASE @ PRIVATE AREAS	ACROVYN	SUEDE TEXTURE, .060" SHEET WALL COVERING, 4X8 SHEETS		CHARCOAL #162	MATCHING SARATOGA 1/2" X 4" NOTCHED HORIZONTAL WAINSCOT TRIM TO CAP ALL WAINSCOT; MATCHING SARATOGA , 3/8" X 2" VERTICAL TRIM TO BE SPACE EVERY 18" O.C. MATCHING SARATOGA BASE TRIM, 1/2" THICK X 4", ALL SUEDE TEXTURE.
WP-3	WALL PROTECTION WITH INTERGRAL BASE @ 1ST FLOOR MEDIA WALL	ACROVYN	SUEDE TEXTURE, .060" SHEET WALL COVERING, 4X8 SHEETS		BLUESTONE #957	MATCHING SARATOGA 1/2" X 4" NOTCHED HORIZONTAL WAINSCOT TRIM TO CAP ALL WAINSCOT; MATCHING SARATOGA , 3/8" X 2" VERTICAL TRIM TO BE SPACE EVERY 18" O.C. MATCHING SARATOGA BASE TRIM, 1/2" THICK X 4", ALL SUEDE TEXTURE.
WP-4	WALL PROTECTION WITH INTERGRAL BASE @ 2ND FLOOR MEDIA WALL	ACROVYN	SUEDE TEXTURE, .060" SHEET WALL COVERING, 4X8 SHEETS		SAVANNAH #522	MATCHING SARATOGA 1/2" X 4" NOTCHED HORIZONTAL WAINSCOT TRIM TO CAP ALL WAINSCOT; MATCHING SARATOGA , 3/8" X 2" VERTICAL TRIM TO BE SPACE EVERY 18" O.C. MATCHING SARATOGA BASE TRIM, 1/2" THICK X 4", ALL SUEDE TEXTURE.
WP-5	WALL PROTECTION WITH INTERGRAL BASE @ VESTIBULE	ACROVYN	SUEDE TEXTURE, .060" SHEET WALL COVERING, 4X8 SHEETS		949 WHITE	MATCHING SARATOGA , 3/8" X 2" VERTICAL AND HORIZONTAL TRIM TO BE SPACED PER ELEVATIONS
<b>WALL TILE</b>						
WT-1	WALL TILE @ 1ST FLOOR KITCHEN	TILE BAR	ENIGMA		ASH BLUE	GROUT COLOR: MAPEI RAIN 101; INSTALL PATTERN - HERRINGBONE
WT-2	WALL TILE @ BASEMENT KITCHEN	TILE BAR	3X6 CERAMIC WALL TILE, POLISHED		BASIC WHITE	GROUT COLOR: MAPEI 104 TIMBERWOLF; INSTALL PATTERN BASKETWEAVE
WT-3	-NOT USED-					ELY ATIAS @ ELY@TILEBAR.COM
WT-4	WALL TILE @ BATHROOM WAINSCOT	CREATIVE MATERIALS CORP	FORMATION, MIST, MATTE, 12X24		NATURAL	HORIZONTAL STACKED INSTALL; GROUT COLOR, MAPEI 93 WARM GRAY
WT-5	BULLNOSE TILE TRIM @ BATHROOM WAINSCOT	CREATIVE MATERIALS CORP	FORMATION, MIST, BULLNOSE 3"X24" TRIM		NATURAL	ALIGN WITH GROUT LINES BELOW; GROUT COLOR, MAPEI 93 WARM GRAY
<b>WOOD</b>						
WD-1	WOOD CABINETS @ KITCHENS	N/A	MAPLE, SHAKER STYLE WOOD CABINETRY , WITH 1 3/4" RAILS AND STILES		OPAQUE WATER BASED STAIN TO MATCH FORMICA LAMINATE FOG, WITH SATIN POLYURETHANE FINISH	GC TO PROVIDE 12" X 12" CABINET DOOR SAMPLES FOR ARCHITECT TO REVIEW FOR APPROVAL
WD-2	WOOD CABINETS @ BASEMENT	N/A	MAPLE, SHAKER STYLE WOOD CABINETRY, WITH 1 3/4" RAILS AND STILES		STAINED WITH MINWAX STAIN # MW 431 WILLOWBEND, SEALED WITH SATIN POLYURETHANE FINISH	GC TO PROVIDE 12" X 12" CABINET DOOR SAMPLES FOR ARCHITECT TO REVIEW FOR APPROVAL
WD-3	FLOATING SOLID WOOD SHELVES	N/A	SOLID WHITE OAK		SEALED WITH SATIN POLYURETHANE	GC TO PROVIDE SAMPLES FOR ARCHITECT TO REVIEW FOR APPROVAL
WD-4	WOOD STAIR TREAD	N/A	SOLID WHITE OAK		SEALED WITH SATIN POLYURETHANE	GC TO PROVIDE SAMPLES FOR ARCHITECT TO REVIEW FOR APPROVAL
WD-5	WOOD CABINETS @ KITCHEN ISLAND	N/A	MAPLE, SHAKER STYLE WOOD CABINETRY , WITH 1 3/4" RAILS AND STILES		STAINED MINWAX OPAQUE STAIN NAVY 286, SEALED WITH SATIN POLYURETHANE FINISH	GC TO PROVIDE 12" X 12" CABINET DOOR SAMPLES FOR ARCHITECT TO REVIEW FOR APPROVAL



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Construction Documents for:  
**ARLINGTON COUNTY DHS**  
**GROUP HOME**  
1212 S. IRVING ST.  
ARLINGTON, VA 22204

Project: 19296-01

Issued 12/21/20  
100% BID  
Revisions

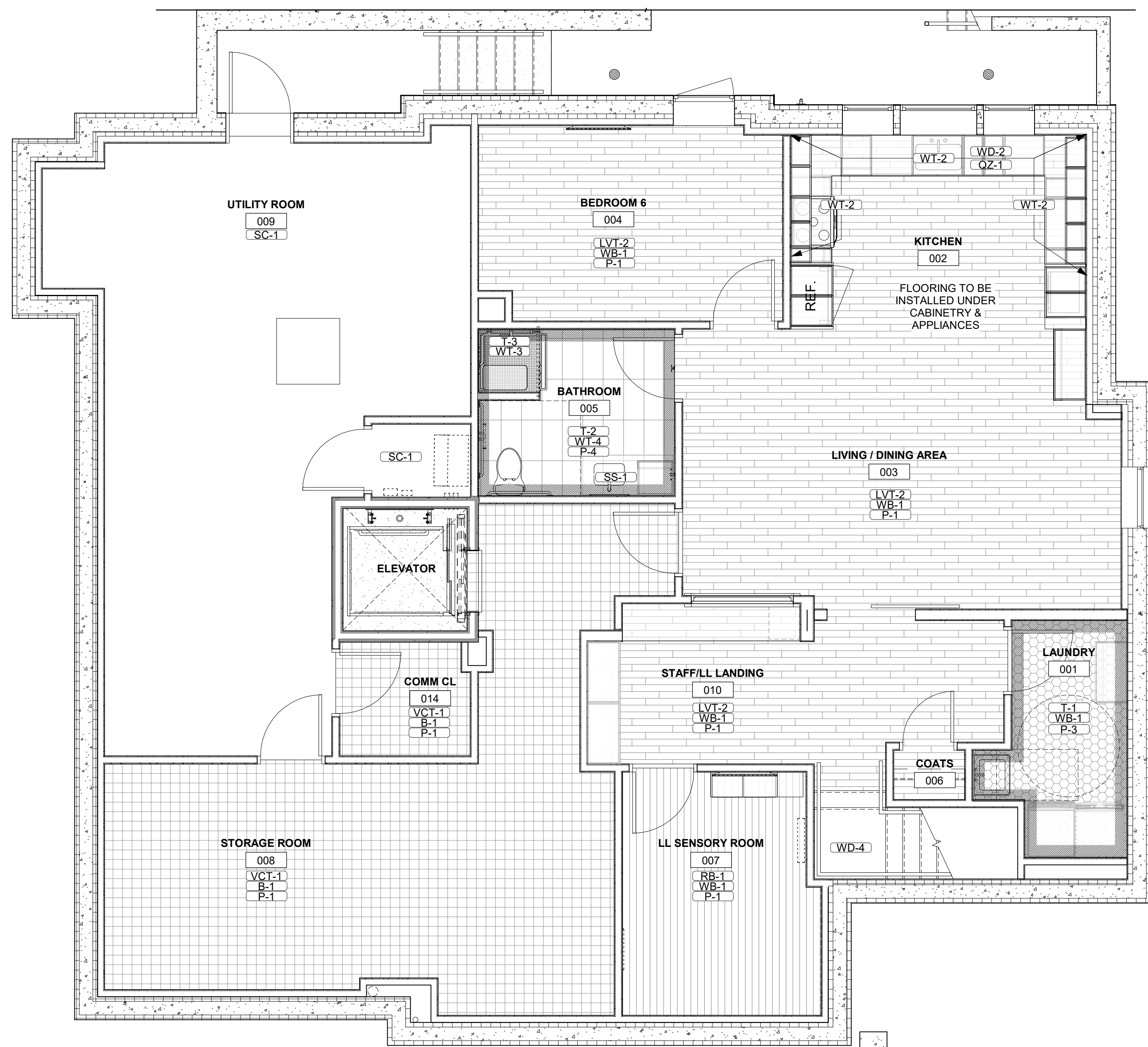
### FINISH SCHEDULE

Scale  
Drawn Author  
Checked Checker

**F100**

100% BID

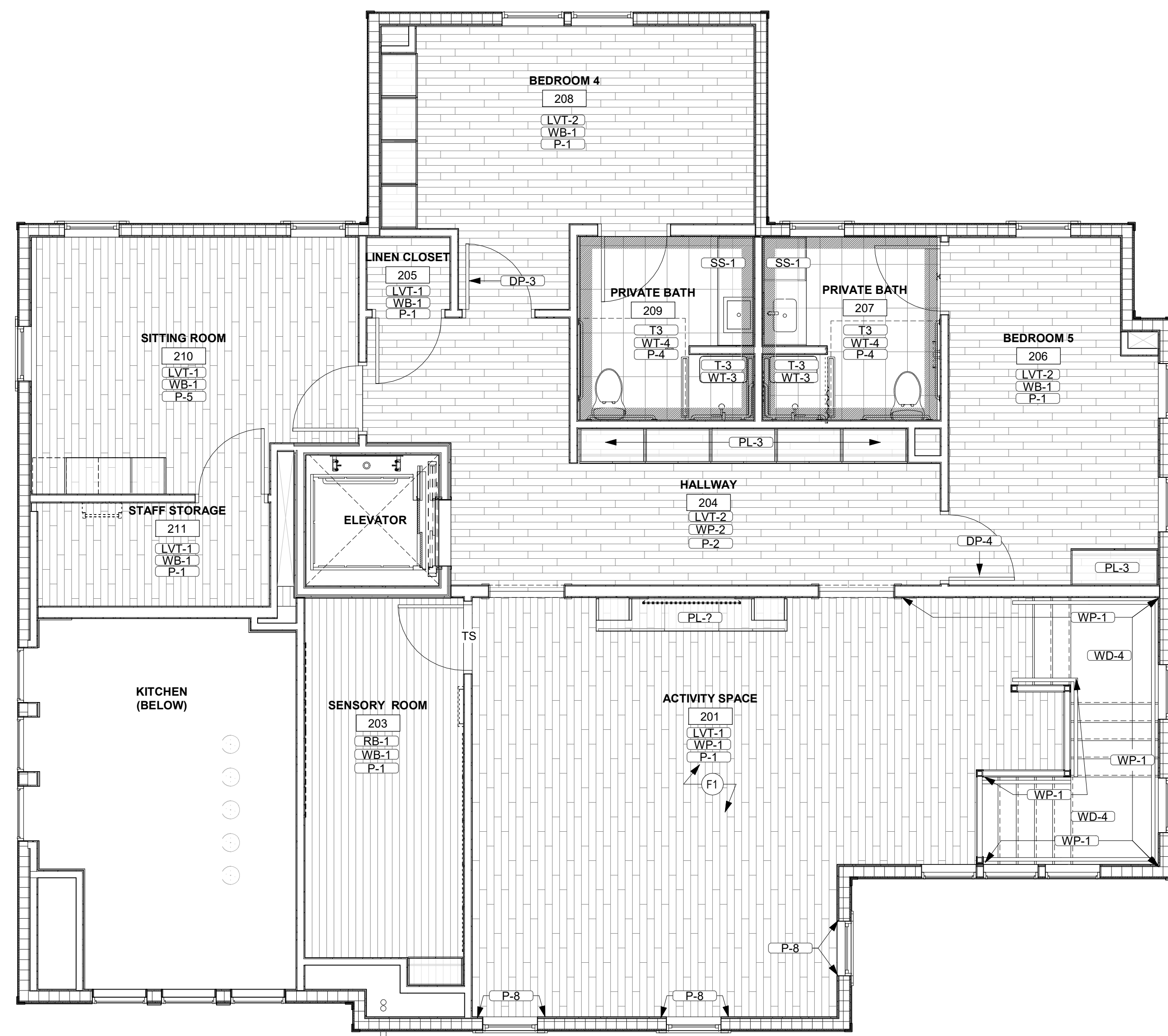




**1 BASEMENT LEVEL FINISH PLAN**  
1/4" = 1'-0"



**2 GROUND LEVEL FINISH PLAN**  
1/4" = 1'-0"



**3 SECOND LEVEL FINISH PLAN**  
1/4" = 1'-0"

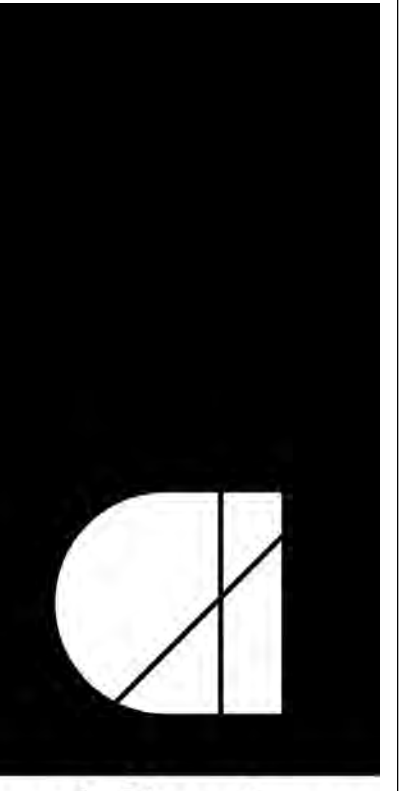
**FINISH LEGEND:**

TYPICAL MATERIAL ABBREVIATIONS	
ACT	ACOUSTICAL CEILING TILE
CP	CARPET
P	PAINT
PL	PLASTIC LAMINATE
SP	SPECIALTY ITEM
VCT	VINYL COMPOSITION TILE
WC	WALLCOVERING
WD	WOOD

TS	TRANSITION STRIP
TH	THRESHOLD
MATERIAL	MATERIAL CHANGE
MATERIAL	MATERIAL
WATERPROOF FLOOR AS OUTLINED	WATERPROOF FLOOR AS OUTLINED

SEE A020 FOR GENERAL NEW WORK NOTES AND GENERAL FINISH NOTES  
SEE A800s FOR INTERIOR DETAILS  
SEE F100 FOR FINISH SCHEDULE  
SEE A801 FOR FINISH TRANSITION DETAILS

F1	UND-1, ACOUSTIC UNDERLAYMENT THROUGHOUT THE 1ST LEVEL AND 2ND LEVEL, UNDER LVT.
F2	ALL DOOR CASEMENT, WINDOW CASEMENT AND CROWN MOLDING IN HOUSE TO BE P-7 UNLESS OTHERWISE NOTED. SEE ELEVATIONS FOR MORE INFORMATION.



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Revisions

1 REVISIONS FOR PERMIT 5/20/21

**FINISH PLANS -  
BASEMENT,  
GROUND & 2ND  
LEVEL**

Scale 1/4" = 1'-0"  
Drawn Author  
Checked Checker

**F101**

100% BID



STRUCTURAL NOTES

- A. BUILDING CODE
1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE WITH LOCAL AMENDMENTS.
B. GENERAL
1. FOR LOADING CRITERIA SEE ADJACENT TABLE.
2. THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND THE WIND PRESSURES SPECIFIED IN SECTION 1609.0 OF THE INTERNATIONAL BUILDING CODE. SEE THE ATTACHED LOAD TABLE.

- 3. THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND THE SNOW LOADS SPECIFIED IN SECTION 1609.0 OF THE INTERNATIONAL BUILDING CODE AND SECTION 7 OF ASCE 7.
4. IN ADDITION TO THE FLAT ROOF SNOW LOAD STATE ABOVE, A SNOW LOAD PROVISION FOR DRIFTING SNOW HAS BEEN PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF ASCE 7, SECTIONS 7.7 AND 7.8.
5. THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND THE SEISMIC FORCES SPECIFIED IN SECTION 1613.0 OF THE INTERNATIONAL BUILDING CODE. SEE THE SEISMIC DESIGN LOAD AND DATA TABLE ON THIS SHEET.

- C. FOUNDATION AND SLAB ON GRADE
1. THE SUBSURFACE INFORMATION AND FOUNDATION DESIGN ARE BASED ON A REPORT PREPARED BY LANGAN DATED JULY 16, 2020. THE CONTRACTOR SHALL PERFORM EXCAVATIONS, FOOTING CONSTRUCTION, AND PREPARATION OF THE SUBGRADE UNDER THE SLAB ON GRADE IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT AND THE PROJECT SPECIFICATIONS.

- 2. SOIL BEARING VALUE ASSUMED TO BE 3000 PSF FOR FOOTINGS NEAR EXISTING GRADE, AND 4000 PSF FOR BASEMENT FOOTINGS. FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL OR SOIL BEARING CAPACITY SHALL BE FIELD VERIFIED BY A SOILS ENGINEER REGISTERED IN THE STATE OF JURISDICTION.
3. BOTTOMS OF ALL FOOTINGS SHALL EXCEED A MINIMUM OF ONE FOOT INTO UNDISTURBED SOIL OR CONTROLLED COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH SUBSURFACE INVESTIGATION AND GEOTECHNICAL ENGINEERING REPORT.

- 4. BOTTOM OF ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE PLACING ANY CONCRETE. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
5. THE FOUNDATION FOR THE STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LATERAL EARTH PRESSURES: CANTILEVER RETAINING WALLS 60 PCF WALLS SUPPORTED TOP AND BOTTOM 60 PCF PASSIVE EARTH PRESSURE 250 PCF COEFFICIENT OF FRICTION 0.300 PCF

- 6. EXCAVATIONS FOR SPREAD FOOTINGS, COMBINED FOOTINGS, CONTINUOUS FOOTINGS AND/OR MAT FOUNDATIONS SHALL BE CLEANED AND HAND TAMPED TO A UNIFORM SURFACE. FOOTING EXCAVATIONS SHALL HAVE THE SIDES AND BOTTOMS TEMPORARILY LINED WITH 6 MIL VISQUEEN IF PLACEMENT OF CONCRETE DOES NOT OCCUR WITHIN 24 HOURS OF THE EXCAVATION OF THE FOOTING.
7. FOUNDATION CONDITIONS NOTED DURING CONSTRUCTION, WHICH DIFFER FROM THOSE DESCRIBED IN THE GEOTECHNICAL REPORT SHALL BE REPORTED TO THE ARCHITECT, STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER BEFORE FURTHER CONSTRUCTION IS ATTEMPTED.
8. REINFORCEMENT SEQUENCE FOR FOUNDATIONS IS NOTED ONLY FOR MAJOR REINFORCEMENT BAR LAYERS, IN SPREAD FOOTINGS AND MATS THE CONTRACTOR SHALL SEQUENCE ALL OTHER BAR PLACEMENTS AS REQUIRED TO CONFORM TO THE CONTRACT DOCUMENTS.

- 9. WALLS RETAINING BACKFILL HAVE BEEN DESIGNED FOR IN SERVICE LOADS ONLY. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION. THE SHORING SHALL NOT BE REMOVED UNTIL THE SUPPORTING ELEMENTS ARE IN PLACE. THE CONCRETE IN THE WALLS AND SUPPORTING ELEMENTS HAS ATTAINED THE SPECIFIED 28 DAY COMPRESSIVE STRENGTH (FC) AND COMPACTION OF THE BACKFILL HAS BEEN COMPLETED.
10. RETAINING WALLS AND/OR EXPOSED CONCRETE WALLS SHALL HAVE CONTROL JOINTS AT 10 FEET AND EXPANSION JOINTS AT 30 FEET MAXIMUM ON CENTERS UNLESS NOTED OTHERWISE. WALLS WITH INTEGRAL COLUMN PIERS OR PILASTERS SHALL HAVE A FORMED CONTROL JOINT ON ONE SIDE OF EACH PIER ON THE EXPOSED FACE OF THE WALL. JOINTS SHALL BE FILLED WITH AN APPROVED SEALANT.
11. EXCEPT WHERE OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK CONCRETE REINFORCED WITH #6 W1 XW14 WELDED WIRE FABRIC, LAP MESH #1 IN EACH DIRECTION, PLACING LAP, ETC. TO CONFORM TO WRI STANDARDS. SLAB ON GRADE SHALL BE UNDERLAIN BY A MINIMUM OF 4 INCHES OF GRANULAR MATERIAL HAVING A MAXIMUM AGGREGATE SIZE OF 1.5 INCHES AND NOT MORE THAN 10% OF MATERIAL PASSING THROUGH A NO. 4 SIEVE. PRIOR TO PLACING THE GRANULAR MATERIAL, THE FLOOR SUBGRADE SHALL BE PROPERLY COMPACTED, PROOFROLLED, FREE OF STANDING WATER, MUD AND FROZEN SOIL. BEFORE PLACEMENT OF THE CONCRETE, A 10 MIL POLYETHYLENE VAPOR BARRIER SHALL BE PLACED ON TOP OF THE GRANULAR MATERIAL. FOR ALL EXTERIOR SLABS ON GRADE, AIR ENTRAINED CEMENT WITH ENTRAINED AIR OF 6%±1.5% OR EQUIVALENT AIR ENTRAINING AGENT SHALL BE USED. PROVIDE 1/2" PERIMETER EXPANSION JOINT FILLED WITH COMPRESSIVE MATERIAL SHALL ABUT VERTICAL SURFACES.

- D. CONCRETE
1. CONCRETE IN THE FOLLOWING AREAS SHALL HAVE NATURAL SAND FINE AGGREGATE AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33, TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150, AND SHALL HAVE THE FOLLOWING COMPRESSIVE STRENGTH (FC) AT 28 DAYS: FOOTINGS AND MATS 3000 PSI PIERS/PILASTERS 3000 PSI SLABS ON GRADE 3500 PSI FOUNDATION WALLS 4000 PSI ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED 6%±1.5%.
2. GROUND GRANULATED BLAST-FURNACE SLAG MAY BE USED AS A POZZOLAN TO REPLACE A PORTION OF THE PORTLAND CEMENT IN A CONCRETE MIX, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER. GROUND GRANULATED BLAST-FURNACE SLAG WHEN USED, SHALL CONFORM TO ASTM C899. CONCRETE MIXES USING GROUND GRANULATED BLAST-FURNACE SLAG SHALL BE PROPORTIONED TO ACCOUNT FOR THE PROPERTIES OF THE SPECIFIC GROUND GRANULATED BLAST-FURNACE SLAG USED. THE RATIO OF THE AMOUNT OF THE GROUND GRANULATED BLAST-FURNACE SLAG TO THE TOTAL AMOUNT OF GROUND GRANULATED BLAST-FURNACE SLAG AND CEMENT IN THE MIX SHALL NOT EXCEED 40 PERCENT.
3. GROUT FOR BASE PLATES SHOULD BE NON-SHRINKABLE, NON-METALLIC CONFORMING TO ASTM C827 AND SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS OF 5,000 PSI. PRE-GROUTING OF BASE PLATES WILL NOT BE PERMITTED.
4. ALL CONCRETE WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
5. DETAILING OF CONCRETE REINFORCEMENT BARS AND ACCESSORIES SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" AND ACI 308 "DETAILING MANUAL". PLACING OF REINFORCING BARS SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 318R "MANUAL OF ENGINEERING AND PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES" AND CRSI "MANUAL OF STANDARD PRACTICE".
6. MIXING, TRANSPORTING, AND PLACING OF CONCRETE SHALL CONFORM TO ACI 301.

- 7. MINIMUM CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS SHALL BE AS FOLLOWS: (SEE ACI 318 SECTION 7.7 FOR CONDITIONS NOT NOTED) FOOTINGS 3 INCHES SLABS ON GRADE 2 INCHES (TOP) PLASTERS AND PIERS 2 INCHES SLABS ON METAL FORMS 3/4 INCH (TOP) WALLS BELOW GRADE (BACKFILLED SIDE) 2 INCHES WALLS BELOW GRADE (NO BACKFILL) 3/4 INCHES

- 8. PROVIDE STANDARD BAR CHAIRS AND SPACERS AS REQUIRED TO MAINTAIN CONCRETE PROTECTION SPECIFIED.
9. CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60. REINFORCEMENT BARS SHALL NOT BE TACK WELDED, WELDED, HEATED OR CUT UNLESS INDICATED ON THE CONTRACT DOCUMENTS OR REVIEWED BY THE STRUCTURAL ENGINEER.
10. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064. FABRIC SHALL BE SUPPLIED IN FLAT SHEETS. FABRIC SHALL BE LAPPED A MINIMUM OF 6 INCHES.
11. WELDING OF REINFORCEMENT BARS, WHEN ACCEPTED BY THE STRUCTURAL ENGINEER, SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STANDARD D1.4. ELECTRODES FOR SHOP AND FIELD WELDING OF REINFORCEMENT BARS SHALL CONFORM TO ASTM A233, CLASS E90XX.
12. REINFORCEMENT DESIGNATED AS "CONTINUOUS" SHALL LAP 48 BAR DIAMETERS AT SPLICES UNLESS NOTED OTHERWISE. REINFORCEMENT BAR SPLICES IN GRADE BEAMS SHALL BE LOCATED AT THE CENTERLINE OF SUPPORTS FOR BOTTOM BARS AND AT MIDSPAN FOR TOP BARS. PROVIDE STANDARD ACI-HOOKS FOR TOP AND BOTTOM BARS AT DISCONTINUOUS ENDS OF ALL GRADE BEAMS.
13. HORIZONTAL FOOTING AND HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90-DEGREE BENDS AND EXTENSIONS, OR CORNER BARS OF EQUIVALENT SIZE LAPPED 36 BAR DIAMETERS, AT CORNERS AND INTERSECTIONS.
14. CONSTRUCTION JOINTS IN SLABS AND GRADE BEAMS SHALL BE AT MID-SPAN AND KEY JOINTED WITH REINFORCING CONTINUOUS ACROSS JOINT.

- 15. HORIZONTAL JOINTS WILL NOT BE PERMITTED IN CONCRETE CONSTRUCTION EXCEPT AS SHOWN ON THE CONTRACT DOCUMENTS. VERTICAL JOINTS SHALL OCCUR AT CENTER OF SPANS AT LOCATIONS REVIEWED BY THE STRUCTURAL ENGINEER.
16. CONSTRUCTION JOINTS BETWEEN PIERS AND PIER CAPS, FOOTINGS AND WALLS OR COLUMNS, OR WALLS, COLUMNS, BEAMS AND THE FLOOR SYSTEM THEY SUPPORT SHALL BE PREPARED BY ROUGHENING THE CONTACT SURFACE TO A FULL AMPLITUDE OF APPROXIMATELY 1/4 INCH LEAVING THE CONTACT SURFACE CLEAN AND FREE OF LANTAGE.
17. CONCRETE STRENGTH, PROPORTIONS AND TESTING SHALL MEET THE FOLLOWING REQUIREMENTS: A. CONCRETE STRENGTH SHALL NOT BE LESS THAN STRENGTHS LISTED ABOVE AT 28 DAYS. B. THE MIX DESIGN SHALL BE PREPARED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE OWNER USING MATERIALS TO BE USED ON THE JOB. THE LABORATORY MIX DESIGN SHALL EXCEED THE DESIRED JOB STRENGTH OF CONCRETE BY 1,200 PSI. FOUR COPIES OF MIX DESIGN SHALL BE SUBMITTED TO THE OWNER BEFORE CONCRETE WORK HAS BEGUN. C. SLUMP SHALL NOT EXCEED 5 INCHES (+/- 1 INCH). REFER TO PROJECT SPECIFICATIONS FOR SLUMP LIMIT FOR CONCRETE MIX WITH HIGH RANGE WATER ADMIXTURE. D. ALL COSTS OF CONCRETE TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. TESTING OF CONCRETE SHALL BE ACCOMPLISHED BY TAKING FOUR STANDARD TEST CYLINDERS OF THE CONCRETE FOR EACH DAY CONCRETE IS POURED. ONE SET OF TEST CYLINDERS MAY REPRESENT NO MORE THAN 55 CUBIC YARDS OF CONCRETE NOR ONE DAY'S POUR. CYLINDERS SHALL BE BROKEN TWO AT 7 DAYS AND TWO AT 28 DAYS IN ACCORDANCE WITH ASTM SPECIFICATIONS. FOR ALL CONCRETE, SLUMP CONE TEST SHALL BE RUN AT THE JOB SITE ON EACH TRUCK LOAD. CONCRETE USED FOR SLUMP CONE TEST SHALL NOT BE TAKEN FROM FIRST OR LAST 15% OF EACH LOAD. ALL TEST CYLINDERS AND SLUMP CONE TESTS SHALL BE PERFORMED BY A QUALIFIED TECHNICIAN FROM AN APPROVED TESTING FIRM IF DIFFERENT FROM GEOTECHNICAL ENGINEERS USED TO MONITOR SITE GRADING.
18. THE FOLLOWING ENVIRONMENTAL REQUIREMENTS SHALL BE MET AND MAINTAINED:

- A. PROVIDE COLD WEATHER AND/OR HOT WEATHER PROTECTION AS RECOMMENDED IN ACI 308 AND ACI 308.5.
B. UNLESS ADEQUATE PROTECTION IS PROVIDED, CONCRETE SHALL NOT BE PLACED DURING RAIN, SLEET OR SNOW. PROTECT CONCRETE FROM RAIN WATER, MAINTAIN CONCRETE WATER RATIO AND PROTECT CONCRETE SURFACE.
C. ALL CONCRETE SHALL BE ADEQUATELY PROTECTED AFTER POURING TO PREVENT DAMAGE FROM FREEZING, BY THE USE OF SUITABLE COVERS AND ADEQUATE HEATING EQUIPMENT. FROZEN AND DAMAGED CONCRETE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. DO NOT PLACE CONCRETE ON FROZEN EARTH.
D. ADMIXTURES TO RETARD OR ACCELERATE SETTING, REDUCE WATER RATIO OR PREVENT FREEZING SHALL NOT BE USED WITHOUT PRIOR APPROVAL FROM THE OWNER. NO ADMIXTURES OF CALCIUM CHLORIDE MAY BE USED.
E. DO NOT PLACE CONCRETE WHEN TEMPERATURE IS 40 DEGREES F, AND FALLING OR WHEN FREEZING WEATHER IS PREDICTED WITHIN 24 HOURS. "RECOMMENDED PRACTICE FOR WINTER CONCRETING", ACI 604, MAY BE FOLLOWED FOR PLACING CONCRETE IN COLD WEATHER.
F. NO CALCIUM CHLORIDE OR OTHER ACCELERATORS OR ANTI-FREEZES SHALL BE USED.

G. STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH THE LATEST AISC CODE. ALL WIDE FLANGE SHAPES SHALL BE ASTM A992/A572 GRADE 50. ALL OTHER STRUCTURAL STEEL SHALL BE ASTM A36 UNO.
A. ALL STEEL RECTANGULAR/SQUARE HOLLOW STRUCTURAL SECTIONS SHALL BE ASTM A500 GRADE B, FY=46 KSI.
B. ALL STEEL PIPE SECTIONS SHALL BE ASTM A501 OR ASTM A53, TYPE E OR S GRADE B.
C. ALL STEEL SHALL HAVE A SHOP COAT OR RUST INHIBITIVE PAINT.
D. ORIENT ALL MILL CAMBER UPWARD DURING FABRICATION AND ERECTION.
E. ALL STEEL SHALL BE THOROUGHLY CLEANED IN ACCORDANCE WITH SSPC-SP3 PRIOR TO PAINTING.
F. ALL STEEL IN THE MAIN BANQUET HALL IS EXPOSED TO VIEW AND IS CLASSIFIED AS ARCHITECTURAL EXPOSED STRUCTURAL STEEL. REFER TO SPECIFICATIONS FOR SPECIFIC PAINTING AND TREATMENT FOR FINISHED STEEL.
2. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 36, UNLESS NOTED OTHERWISE.
3. CONNECTION BOLTS FOR STRUCTURAL STEEL MEMBERS SHALL BE HIGH STRENGTH BOLTS WHICH MEET OR EXCEED THE REQUIREMENTS OF ASTM A325, TYPE N, X OR F. BOLTS SHALL BE DESIGNED AS BEARING TYPE BOLTS EXCEPT AS NOTED. BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE "SNUG TIGHT" CONDITION AS OUTLINED IN THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS". BOLTS SHALL HAVE A HARDENED WASHER PLACED UNDER THE ELEMENT TO BE TIGHTENED. BOLTS IN BRACING CONNECTIONS, MOMENT CONNECTIONS OR OTHER CONNECTIONS NOTED ON THE DRAWINGS SHALL BE CONSIDERED TO BE "SLIP CRITICAL" BOLTS, AND SHALL BE DESIGNED AS FRICTION TYPE BOLTS. FRICTION TYPE CONNECTIONS SHALL BE TIGHTENED BY THE USE OF THE TURN-OF-THE-NUT METHOD OR THE USE OF LOAD INDICATING TYPE BOLTS, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. STRUCTURAL STEEL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIGES".

- 5. TYPICAL CONNECTION DETAILS ARE INDICATED ON THE DRAWINGS. THE FABRICATOR SHALL PREPARE THE SHOP DRAWINGS FOR THE PROJECT BASED ON THIS CONNECTION DESIGN INFORMATION. IF ALTERNATE CONNECTION DESIGNS ARE USED, THE FABRICATOR SHALL HAVE A REGISTERED PROFESSIONAL ENGINEER PREPARE THE CONNECTION DESIGNS. SUCH DESIGNS SHALL BE SUBMITTED WITH THE SHOP DRAWINGS AND SHALL BEAR THE SEAL OF THIS RESPONSIBLE PROFESSIONAL ENGINEER. THE FABRICATOR IS RESPONSIBLE FOR THE SELECTION, DESIGN AND DETAILING OF ALL CONNECTIONS NOT FULLY DETAILED ON THE CONTRACT DRAWINGS. CONNECTIONS SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION, TABLE 1 AND TABLE 1 OF PART 4 SHOULD BE USED. THE END REACTION OF THE CONNECTED BEAM SHALL BE DETERMINED FROM PART 2 "ALLOWABLE LOADS ON BEAMS" FOR THE MEMBER SIZE AND SPAN INDICATED, UNLESS A DESIGN REACTION IS INDICATED ON THE PLANS. IN NO CASE SHALL THE END REACTION BE TAKEN AS LESS THAN 12.0 KIPS.
6. STEEL FABRICATOR IS SOLELY RESPONSIBLE FOR SURVEYING AND VERIFICATION OF EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO THE LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING WALLS AND FRAMING.

- 7. PRIOR TO DETAILING CONNECTIONS FOR STRUCTURAL STEEL, THE STEEL FABRICATOR SHALL SUBMIT FOR APPROVAL REPRESENTATIVE DETAILS AND CALCULATIONS FOR EACH TYPE OF STRUCTURAL STEEL CONNECTION TO BE UTILIZED. AFTER APPROVAL, THE CONNECTIONS MAY BE INCORPORATED INTO THE SHOP DRAWINGS, ALONG WITH A TABLE OF DESIGN CAPACITIES FOR THE RANGE OF CONNECTIONS TO BE USED.
9. WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STANDARD D1.1. ELECTRODES FOR SHOP AND FIELD WELDS SHALL CONFORM TO AWS A5.1 OR AWS A5.5, CLASS E70XX, LOW HYDROGEN.

- 10. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE", AWS D1.1, TO PERFORM THE TYPE OF WORK REQUIRED.
11. SPLICING OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILED ON THE CONTRACT DOCUMENTS IS PROHIBITED WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER AS TO LOCATION, TYPE OF SPLICE AND CONNECTION TO BE MADE.
12. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY MISFABRICATED STRUCTURAL STEEL PRIOR TO ERECTION OF SAME.
13. PENETRATIONS SHALL NOT BE CUT IN STRUCTURAL STEEL MEMBERS UNLESS SO INDICATED IN THE DRAWINGS OR AS REVIEWED BY THE ENGINEER.

- 14. CAMBER BEAMS UPWARD AS SHOWN ON THE DRAWINGS WITHIN THE SPECIFIED AISC TOLERANCES FOR SHOP FABRICATION. IF BEAMS ARE RECEIVED FROM THE ROLLING MILL WITH CAMBER, THE STEEL FABRICATOR SHALL PROVIDE ADDITIONAL CAMBER AS REQUIRED TO SATISFY THE TOLERANCES SPECIFIED FOR SHOP FABRICATION. TESTING GROUP SHALL MEASURE CAMBER ON BEAMS IN THE FABRICATOR'S SHOP IN THE UNSTRESSED CONDITION, AND SUBMIT REPORTS FOR REVIEW BY THE ENGINEER.
15. STEEL MEMBERS, FABRICATIONS AND ASSEMBLIES INDICATED ON THE DRAWINGS TO BE GALVANIZED SHALL BE GALVANIZED AFTER FABRICATION BY HOT DIP PROCESS IN ACCORDANCE WITH ASTM A123. WEIGHT OF ZINC COATING TO CONFORM TO THE REQUIREMENTS SPECIFIED UNDER "WEIGHT OF COATING" IN ASTM A123 OR ASTM A386, AS APPLICABLE.
16. ALL ALUMINUM AND STEEL MEMBERS SHALL BE TREATED OR PROPERLY SEPARATED TO PREVENT GALVANIC AND CORROSIVE EFFECTS.
17. SUBMIT SEALED CALCULATIONS AND SHOP DRAWINGS WHICH COMPLY WITH ALL APPLICABLE CODES FOR REVIEW BY ENGINEER.
18. ALL LINTELS AND SHELF ANGLES SHALL BE HOT DIP GALVANIZED.
19. ANY POINTS OF WELDING SHALL BE TOUCHED UP IN THE FIELD WITH A ZINC-RICH PAINT BY THE STEEL ERECTOR.

TIMBER FRAMING

- 1. ALL STRUCTURAL TIMBER SHALL
A. BE SPRUCE FINE SELECT STRUCTURAL MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL.
B. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:
1. Fb = 1,500 PSI Fv = 170 PSI E = 1,600,000 PSI
C. ALL STRUCTURAL TIMBER TO BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
2. ALL TIMBER EXPOSED TO WEATHER SHALL BE SOUTHERN PINE, HEM FIR OR APPROVED EQUAL.
A. THE MINIMUM ALLOWABLE PROPERTIES FOR GLUED LAMINATED BEAMS ARE AS FOLLOWS:
Fb = 2200 PSI Fv = 165 PSI E = 1,500,000 PSI.
3. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS SPECIFIED BELOW:
A. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION: TIMBER CONSTRUCTION MANUAL.
B. NATIONAL FOREST PRODUCTS ASSOCIATION: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
C. AMERICAN PLYWOOD ASSOCIATION: PLYWOOD DESIGN SPECIFICATION.
D. AMERICAN WOOD-PRESERVERS ASSOCIATION STANDARDS.
E. AMERICAN WOOD COUNCIL: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

- 4. TJI SERIES JOISTS SHALL BE AS MANUFACTURED BY MEYERHAUSER OR APPROVED EQUAL. INSTALL BRACING AND BRIDGING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. ALL TIMBER CONNECTIONS SHALL BE MADE USING PREFABRICATED CONNECTORS. TOE-NAILING IS NOT PERMITTED. SUBMIT MANUFACTURER'S DATA FOR REVIEW. FASTENERS SHALL BE AS MANUFACTURED BY HECKMANN, MITEK, SIMPSON OR APPROVED EQUAL.
6. HEADER AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:
OPENING SIZE HEADER
I. UP TO 4'-0" (2) 2" x 6"
II. 4'-0" TO 6'-0" (2) 2 x 6"
III. 6'-0" TO 9'-0" (2) 2" x 10"
7. PROVIDE MINIMUM CONTINUOUS SOLID BLOCKING OR CROSS BRIDGING LINES AT 8'-0" O/C MAX SPACING FOR ALL A. WOOD JOISTS B. WOOD RAFTERS
8. PROVIDE STRUCTURAL PLYWOOD SHEATHING OR APPROVED EQUAL AT ALL SIDES OR CORNERS FOR WIND BRACING. CONNECTIONS OF PLYWOOD SHALL COMPLY WITH APA NAILING REQUIREMENTS FOR PLYWOOD SHEAR WALLS.
9. PROVIDE PRESSURE TREATED LUMBER WHERE LUMBER IS IN CONTACT WITH CONCRETE OR OUTSIDE OF BUILDING.

- 10. SHEATHING
A. SHEATHING FOR ROOFS IN UNEXPOSED AREAS ON LIGHT GAGE TRUSSES SHALL BE 5/8" THICK 32/16 SPAN RATING APA STRUCTURAL I RATED PLYWOOD SHEATHING, EXPOSURE 1.
B. SHEATHING FOR WALLS SHALL BE 1/2" THICK OSB LAMINATED PER SPECIFICATIONS. RE: ARCHITECTURAL DRAWINGS
C. SHEATHING FOR FLOORS IN THE EXISTING MANOR HOUSE SHALL 1/2" (MIN) THICK 20' SPAN RATING APA STURDI-FLOOR FLOOR SHEATHING TO MATCH THICKNESS OF EXISTING SHEATHING WHICH IS TO BE VERIFIED IN THE FIELD.
ALL JOINTS IN SHEATHING SHALL BE STAGGERED. ALL EDGES IN FLOOR SHEATHING SHALL BE TONGUE & GROOVE. ROOF SHEATHING, USE PANEL CLIPS, TONGUE & GROOVE, OR LUMBER BLOCKING EDGE SUPPRTS AS RECOMMENDED BY APA. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD FLOOR/ROOF DIAGRAM.

- 11. DESIGN AND DETAILING OF GLUE-LAMINATED MEMBERS AND ROUGH SAWN TIMBER MEMBERS, CONNECTIONS AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION".
12. LAMINATED MEMBERS TO BE EXPOSED TO WEATHER OR HIGH HUMIDITY SHALL BE LAMINATED WITH APPROPRIATE MATERIALS USING APPROPRIATE PROCESSES.
13. ROUGH SAWN TIMBERS SHALL BE TREATED AND FINISHED AS REQUIRED BY THE ARCHITECTURAL SPECIFICATIONS. WEATHER EXPOSED ENDS SHALL BE TREATED WITH C.C.A.
14. PLYWOOD FOR ROOF OVER LIGHT GAGE TRUSSES SHALL BE 5/8" THICK AND SHALL CONFORM TO APA PS 1 RATED SHEATHING 4824, EXTERIOR, 48" X 96". PLYWOOD SHALL BE TWO SPAN (MINIMUM) CONTINUOUS. FACE GRAIN SHALL BE PERPENDICULAR TO SUPPORTS WITH A STAGGERED LAY-UP. PROVIDE TWO PANEL EDGE CLIPS BETWEEN SUPPORTS. NAIL PLYWOOD TO SUPPORTING MEMBERS WITH 8D NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. MINIMUM MODULUS OF ELASTICITY SHALL BE 1800000 PSI.

DESIGN LOAD SCHEDULE (ALL LOADS SHOWN ARE IN POUNDS PER SQ. FT.)
Table with columns: COMPONENT, AREA (SLAB ON GRADE, ROOF, SLEEPING ROOM, ROOMS OTHER THAN SLEEPING ROOMS, ROOFS, WALKWAYS, WOOD DECKING, SOLAR PANELS), and values for CONCRETE SLAB, ROOF & INSULATION, CEILING, COLLATERAL, 1" GYPCRETE + ACOUSTIC FLOORING SYSTEM + 3/4" SHEATHING, WOOD FRAMING, SOLAR PANEL BALLAST, TOTAL DEAD LOAD, TOTAL LIVE LOAD, TOTAL LOAD.

SNOW DESIGN LOAD SCHEDULE INTERNATIONAL BUILDING CODE 2015
Table with columns: ITEM, SYMBOL, VALUE, REFERENCE. Rows include GROUND SNOW LOAD, SNOW EXPOSURE FACTOR, SNOW LOAD IMPORTANCE FACTOR, THERMAL FACTOR, FLAT-ROOF SNOW LOAD.

LATERAL LOAD DESIGN SCHEDULE INTERNATIONAL BUILDING CODE 2015
Table with columns: ITEM, SYMBOL, VALUE, REFERENCE. Rows include WIND LOAD, BASIC WIND SPEED, WIND LOAD IMPORTANCE FACTOR, WIND EXPOSURE CATEGORY, SEISMIC LOAD, IMPORTANCE FACTOR, SHORT PERIOD SPECTRAL ACCELERATION, SECOND PERIOD SPECTRAL ACCELERATION, SEISMIC USE GROUP, SEISMIC DESIGN CATEGORY, SITE CLASSIFICATION, BASIC STRUCTURAL SYSTEM, BASIC SEISMIC RESISTING SYSTEM, RESPONSE MODIFICATION FACTOR, DEFLECTION AMPLIFICATION FACTOR, MAPPED SHORT PERIOD SPECTRAL ACCELERATION, MAPPED 1/2 SECOND PERIOD SPECTRAL ACCELERATION, ANALYSIS PROCEDURE, BASE SHEAR.

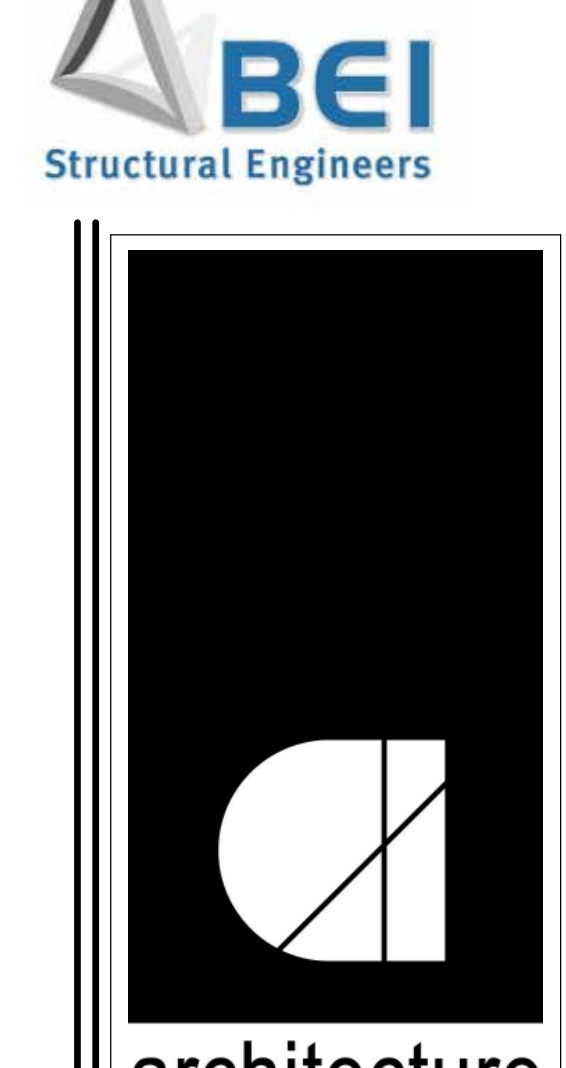
WALL COMPONENTS & CLADDING: DESIGN WIND PRESSURES (LB/SQ. FT.) (INTERNAL PRESSURE COEFFICIENTS, Gcpi=-0.18)

Table with columns: TRIBUTARY AREA (SQ. FT.), 10, 20, 50, 100, 500. Rows include MAIN FIELD (ZONE 4), CORNER (ZONE 5).

POSITIVE PRESSURE: ACTING TOWARD SURFACE. NEGATIVE PRESSURE: ACTING AWAY FROM SURFACE. CORNER ZONE: WITHIN ? FROM BUILDING CORNERS ALONG NORTH/SOUTH/EAST/WEST FACES.

NOTE: 1) ZONE DESIGNATIONS AS PER ASCE7.

BEI Structural Engineers logo and contact information: 3530 Pender Drive, Suite 175 Fairfax, VA 22030 (703) 890-5000 email: info@beicons.com Project No. 19792.00



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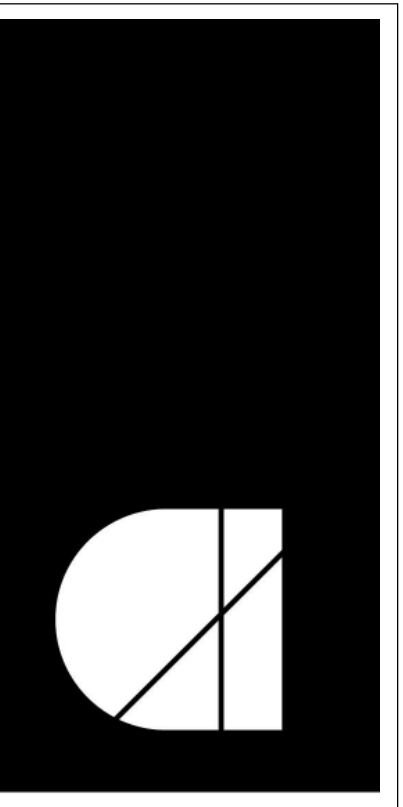
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STRUCTURAL NOTES & LOADING TABLE

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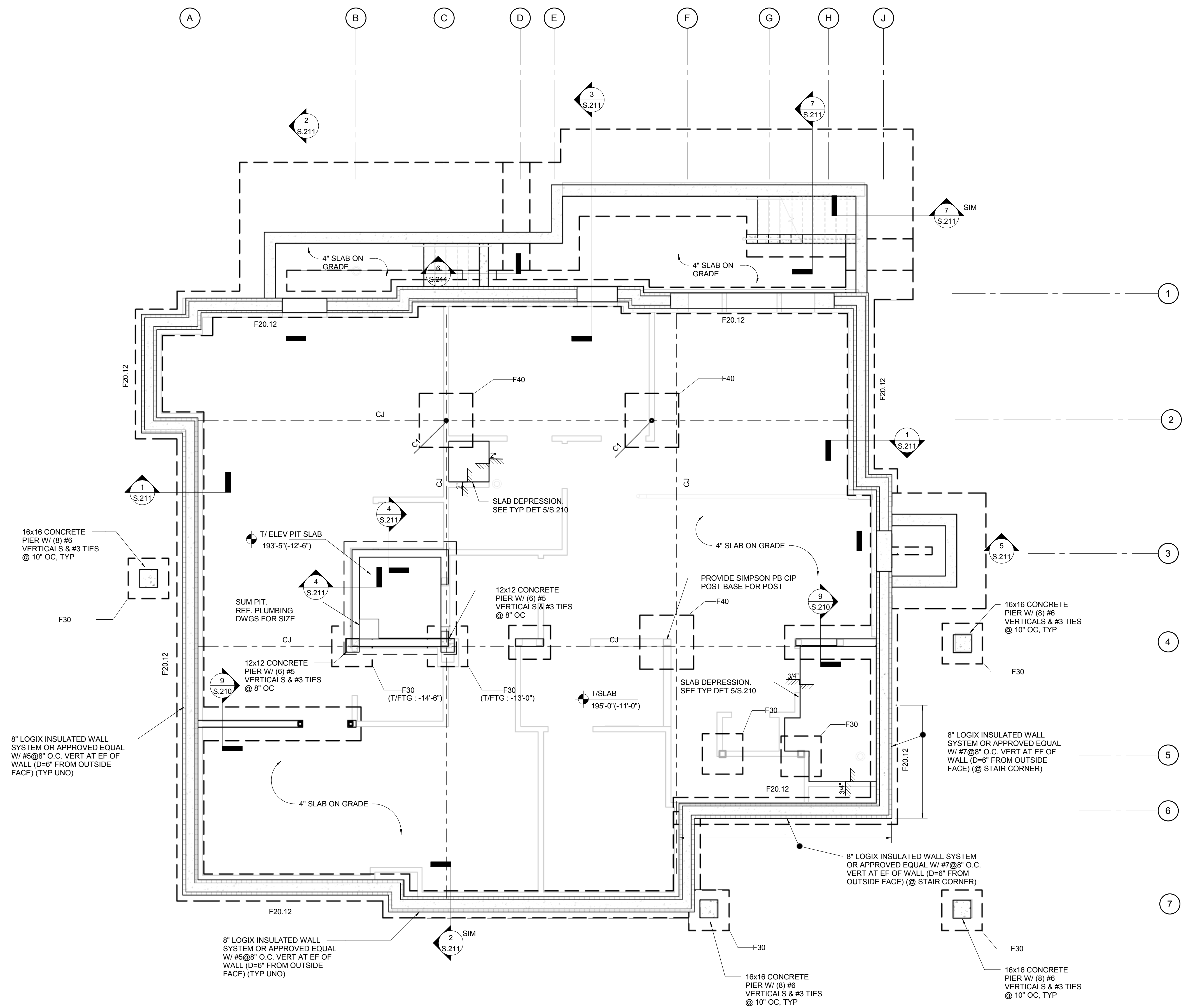
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**FOUNDATION/  
 BASEMENT  
 PLAN**

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**1 FOUNDATION/BASEMENT PLAN**  
 1/4" = 1'-0"

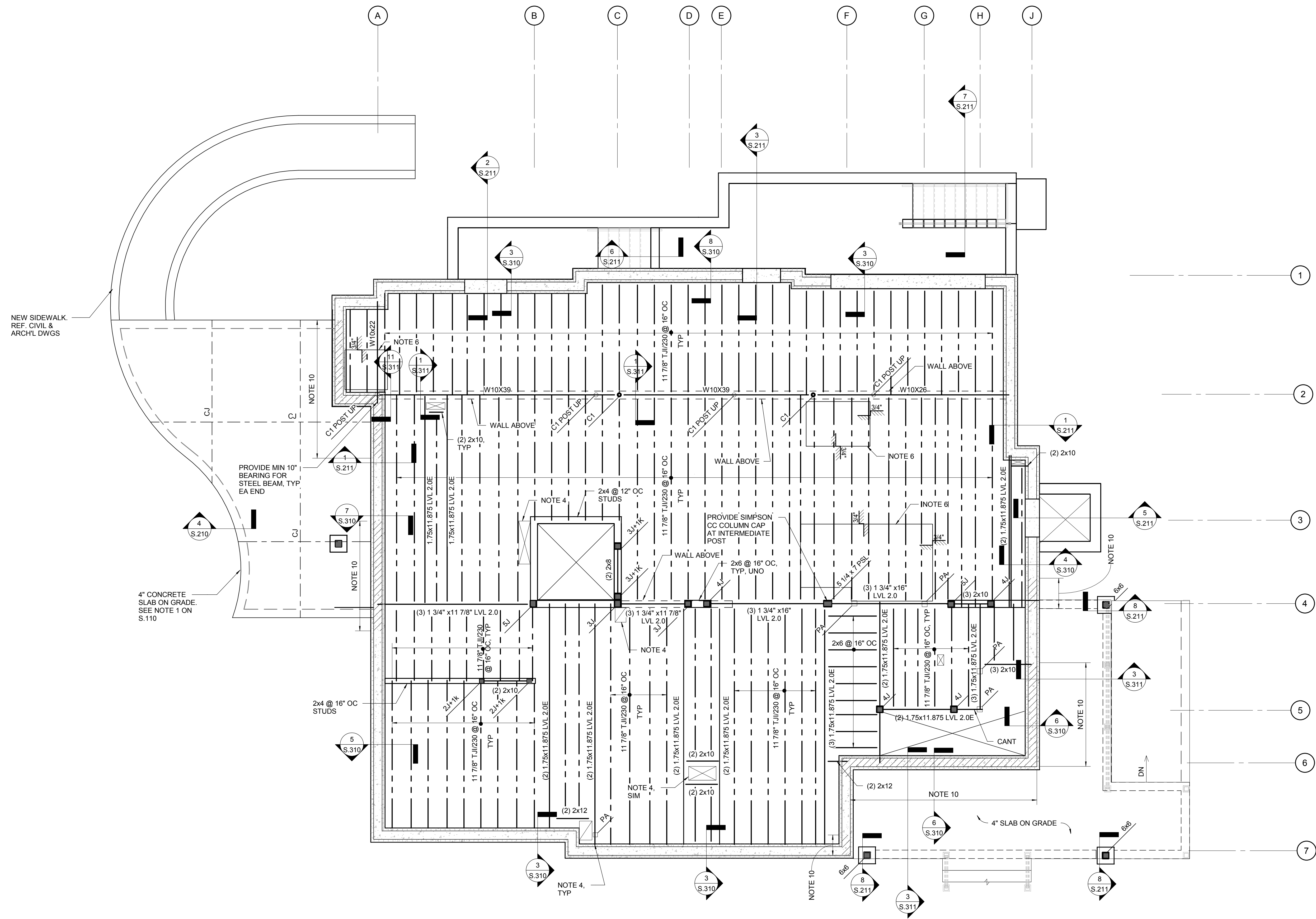
- NOTES:**
- FIRST FLOOR SHALL BE 4" SLAB ON GRADE REINFORCED W/ 6#6-W2.0xW2.0 OVER 15 MIL POLYETHYLENE VAPOR BARRIER AND MINIMUM 4" OF WASHED GRAVEL.
  - TOP OF SLAB SHALL BE AT ELEVATION (+195'-0") UNLESS OTHERWISE NOTED ON PLAN.
  - DROP FOOTING ELEVATIONS AS REQUIRED TO OBTAIN DESIGN SOIL BEARING OR TO CLEAR UNDERGROUND PIPING. SEE PLUMBING DRAWINGS FOR INVERT ELEVATIONS, 8" MIN BELOW FINISHED SLAB.
  - SEE SITE PLAN FOR ALL EXTERIOR WORK SUCH AS SIDEWALKS, PAVING, CURBS AND GUTTERS, ETC.
  - CJ INDICATES SLAB CONTROL JOINT. SEE TYPICAL DETAIL ON SHEET.
  - GENERAL CONTRACTOR TO COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND RESOLVE ALL DISCREPANCIES WITH THE ARCHITECT PRIOR TO PLACEMENT OF CONCRETE.
  - COORDINATE ALL SLAB DEPRESSIONS LOCATIONS AND DIMENSIONS WITH ARCH'L DWGS.

WALL FOOTING SCHEDULE			
MARK	DIMENSIONS		REINFORCING
	WIDTH	DEPTH	
F20.12	2'-0"	1'-0"	(3) #4 LWB, #4@24" SWB

COLUMN FOOTING SCHEDULE (3000 psf SOIL BRG. PRESSURE)				
MARK	DIMENSIONS			REINFORCING
	LENGTH	WIDTH	THICKNESS	
F30	3'-0"	3'-0"	1'-0"	(4) #4 EWB
F40	4'-0"	4'-0"	1'-0"	(5) #4 EWB

STEEL COLUMN SCHEDULE		
MARK	SIZE	REMARKS
C1	HSS 3x0.25	

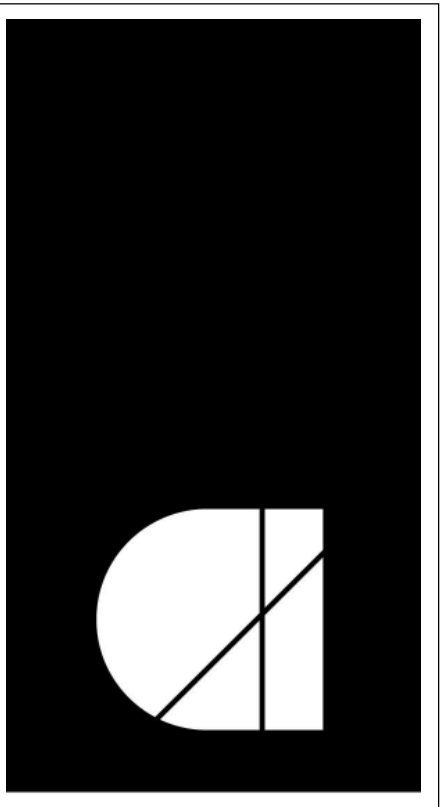




1 GROUND LEVEL FRAMING PLAN  
1/4" = 1'-0"

FLOOR FRAMING NOTES:

1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
2. ON PLAN: J = JACK STUDS, K = KING STUDS.
3. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURED TREATED.
4. FLOOR OPENINGS FOR DUCTWORK, COORDINATE LOCATIONS WITH ARCHL DWGS AND MEP DWGS.
5. "PA" ON PLAN DENOTES POST FROM ABOVE. REFER TO SECOND LEVEL FRAMING PLAN FOR POST SIZES.
6. COORDINATE ALL SLAB DEPRESSIONS LOCATIONS AND EXTENDS WITH ARCHL DWGS. PROVIDE 2x10 AROUND DEPRESSION EDGES AS REQUIRED. GC TO FIELD COORDINATE.
7. TOP OF FLOOR SHEATHING/SUBFLOOR 205-10 5/8" (1-0 1/8").
8. SUB-FLOORING TO BE 3/4" THICK T&G SHEATHING. SUB FLOORING TO BE GLUED AND NAILED TO FLOOR JOISTS. SEE STRUCTURAL NOTES FOR PATTERN.
9. SIPS SHOP DRAWINGS TO BE SUBMITTED TO ISD FOR REVIEW. APPROVAL OF WHICH MUST OCCUR PRIOR TO SCHEDULING A WALL BRACING INSPECTION. THE BRACING INSPECTION IS MADE PRIOR TO INSTALLATION OF DOORS, WINDOWS AND HOUSEWRAP.
10. GC TO COORDINATE CONCRETE CURB EXTENDS & DIMENSIONS AT THESE LOCATIONS WITH ARCHL DWGS.



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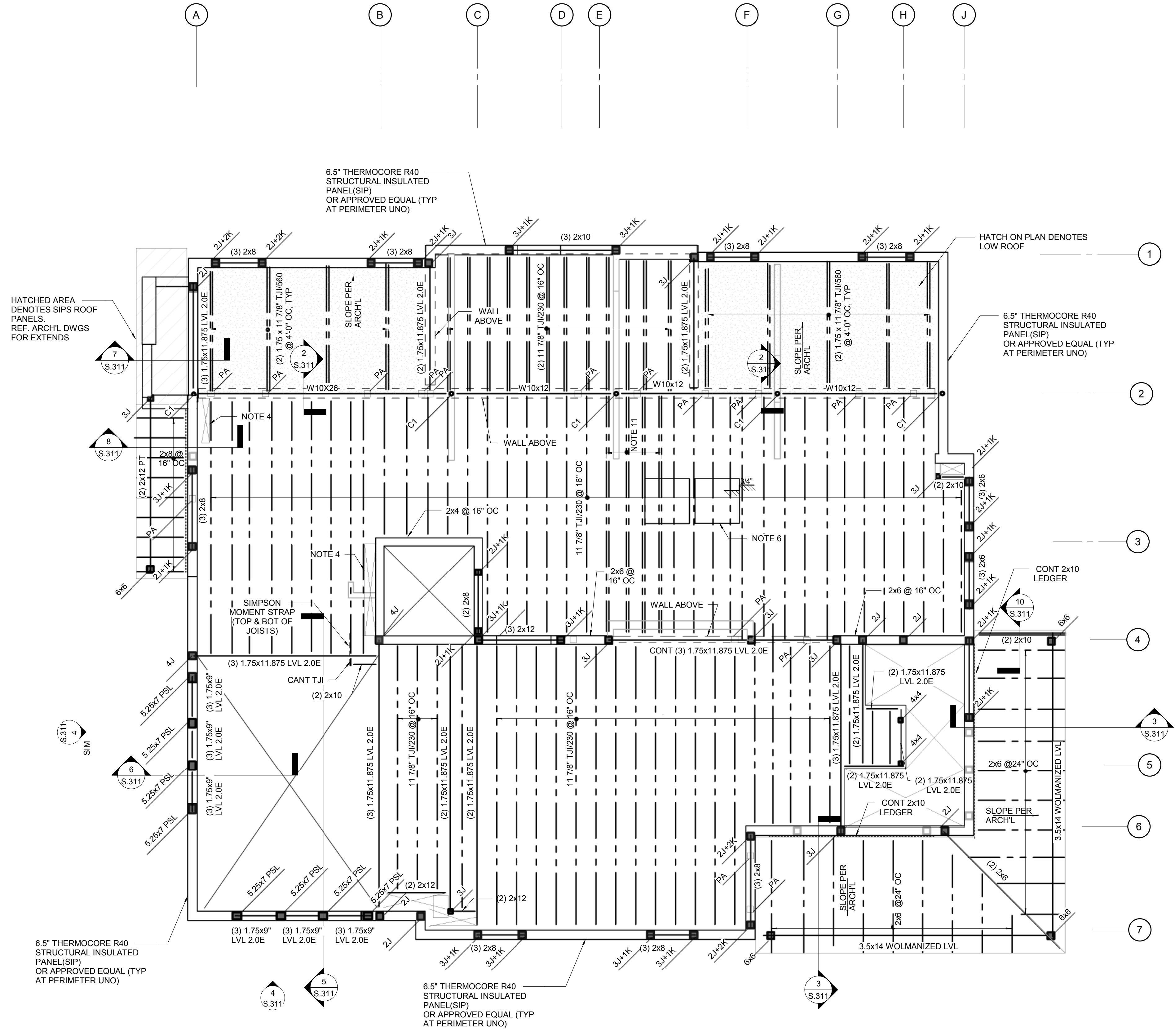
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**GROUND LEVEL  
FRAMING PLAN**

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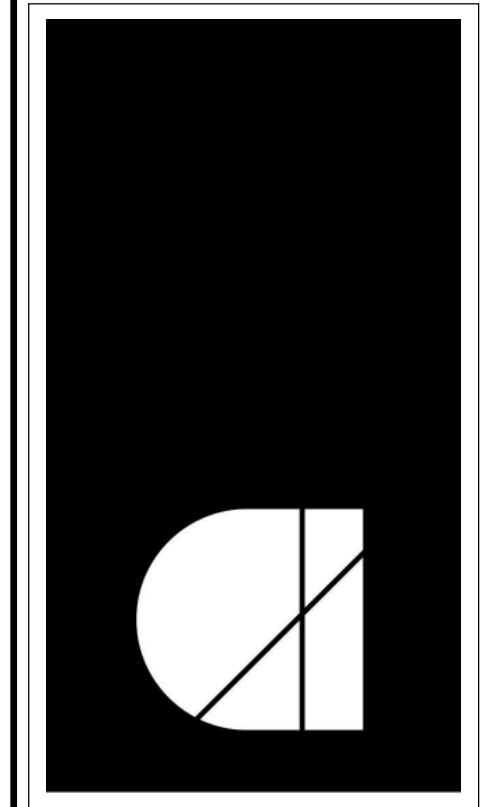
**S.111**





**3 SECOND FLOOR FRAMING PLAN**  
1/4" = 1'-0"

- FLOOR FRAMING NOTES:**
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
  - ON PLAN, J = JACK STUDS, K = KING STUDS
  - ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURED TREATED
  - FLOOR OPENINGS FOR DUCTWORK, COORDINATE LOCATIONS WITH MEP DWGS. FRAME OPENING WITH (2) 2x10. GC TO FIELD COORDINATE.
  - "PA" ON PLAN DENOTES POST FROM ABOVE. REFER TO SECOND LEVEL FRAMING PLAN FOR POST SIZES
  - COORDINATE ALL SLAB DEPRESSIONS LOCATIONS AND EXTENDS WITH ARCH'L DWGS. PROVIDE 2x10 AROUND DEPRESSION EDGES AS REQUIRED. GC TO FIELD COORDINATE.
  - REFER TO SHEET S-110 FOR STEEL COLUMN SCHEDULE
  - TOP OF FLOOR SHEATHING/SUBFLOOR 217'-2.58" (+11-2.58')
  - SUB-FLOORING TO BE 3/4" THICK T&G SHEATHING. SUB FLOORING TO BE GLUED AND NAILED TO FLOOR JOISTS. SEE STRUCTURAL NOTES FOR PATTERN.
  - ALL EXTERIOR WALLS ARE SHEAR WALLS. PROVIDE FASTENING PATTERN FOR SIP PANELS PER MANUFACTURER'S RECOMMENDATION.
  - AT TROLLEY LIFT SUPPORT LOCATIONS PROVIDE MIN (2) 11 7/8" TJI FLOOR JOISTS.
  - SIPS SHOP DRAWINGS TO BE SUBMITTED TO ISD FOR REVIEW, APPROVAL OF WHICH MUST OCCUR PRIOR TO SCHEDULING A WALL BRACING INSPECTION. THE BRACING INSPECTION IS MADE PRIOR TO INSTALLATION OF DOORS, WINDOWS AND HOUSEWRAP.



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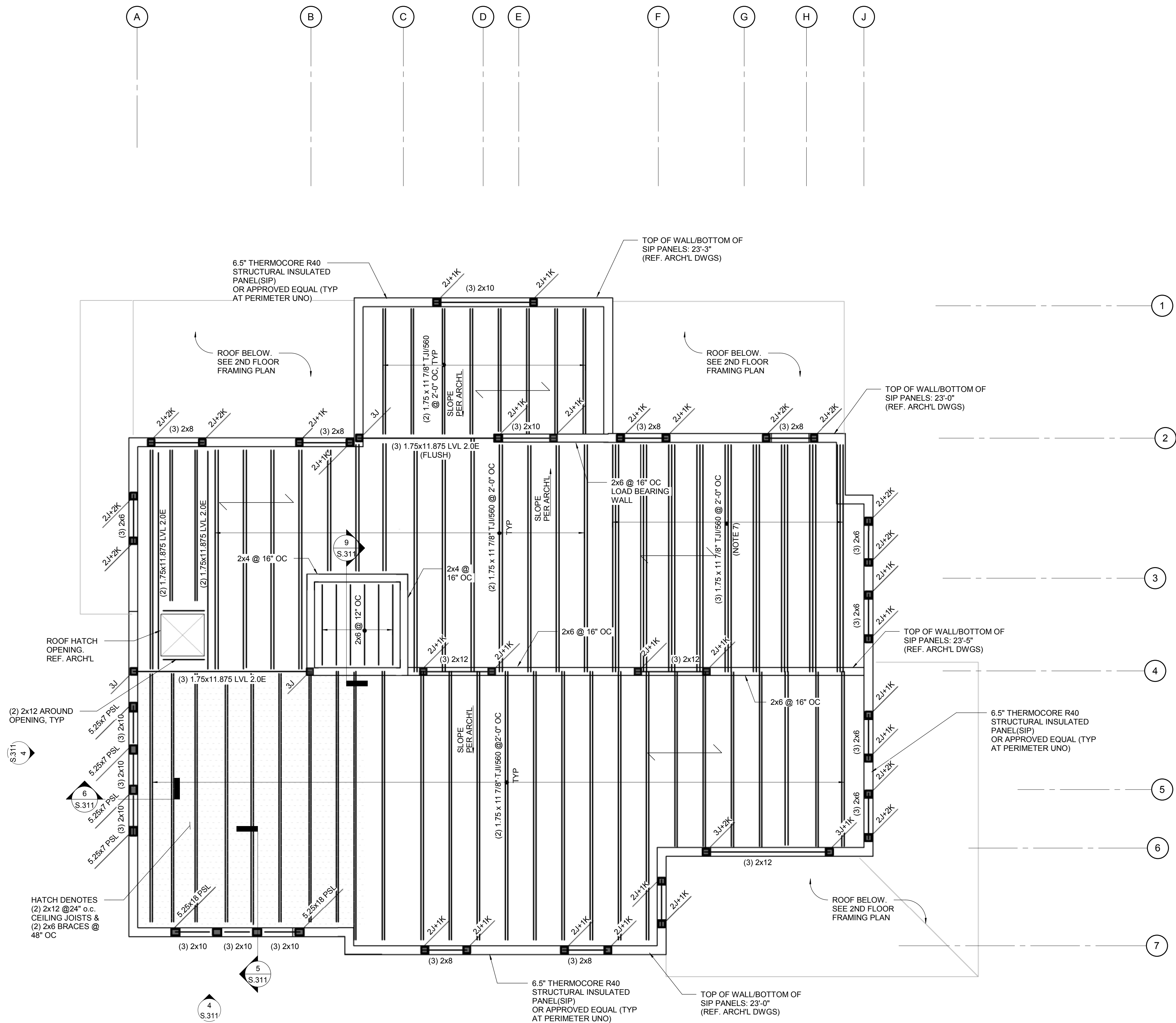
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**SECOND LEVEL FRAMING PLAN**

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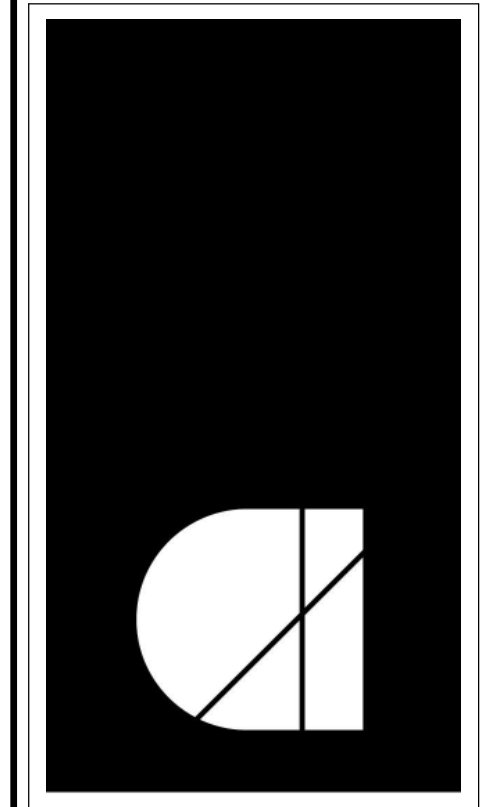




**1 ROOF FRAMING PLAN**  
1/4" = 1'-0"

**ROOF FRAMING NOTES:**

1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
2. ON PLAN: J = JACK STUDS, K = KING STUDS
3. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURED TREATED
4. ON PLAN DENOTES: 6.25\"/>



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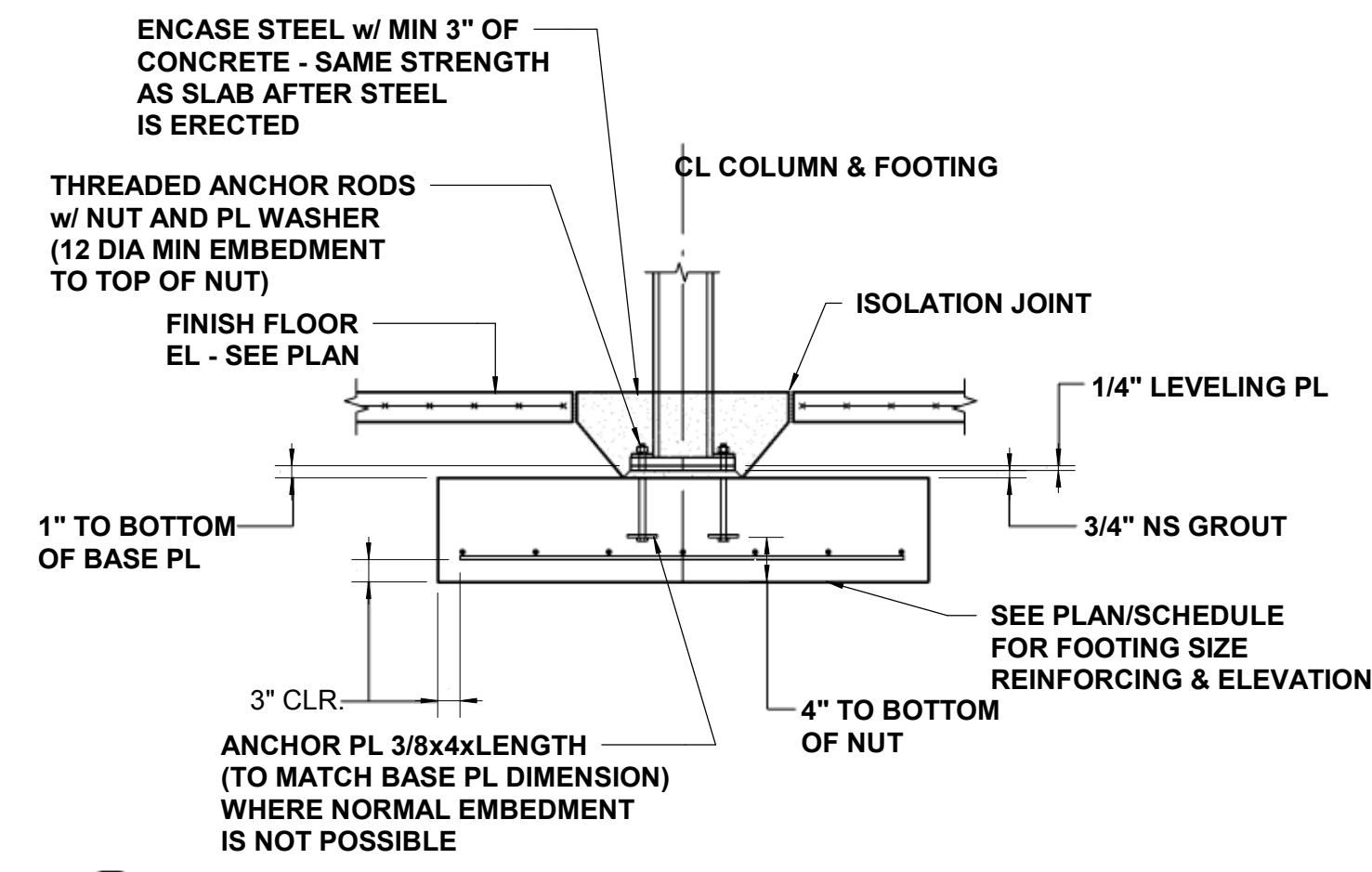
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**ROOF FRAMING PLAN**

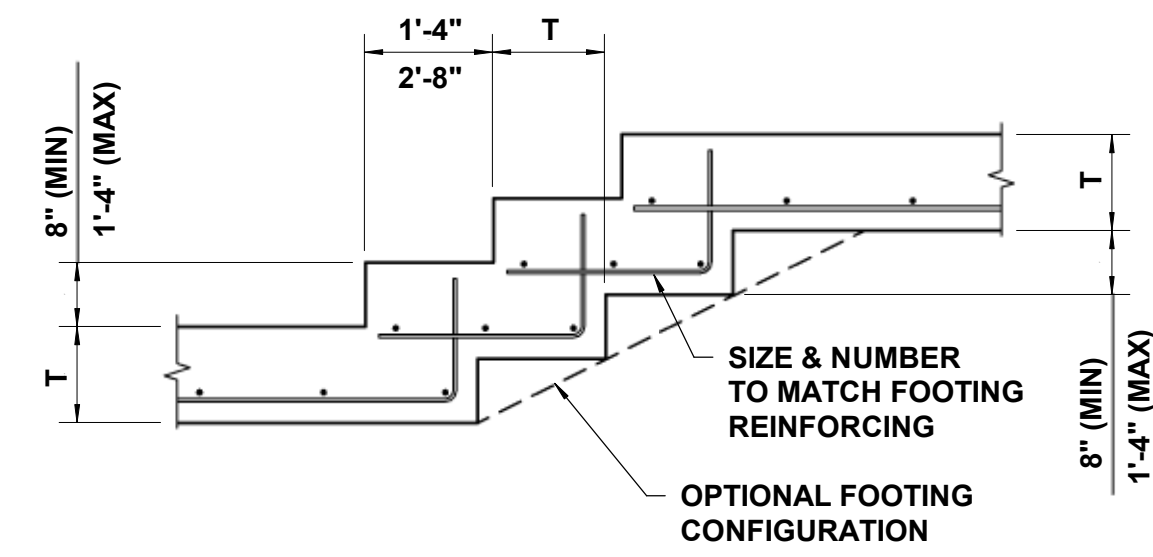
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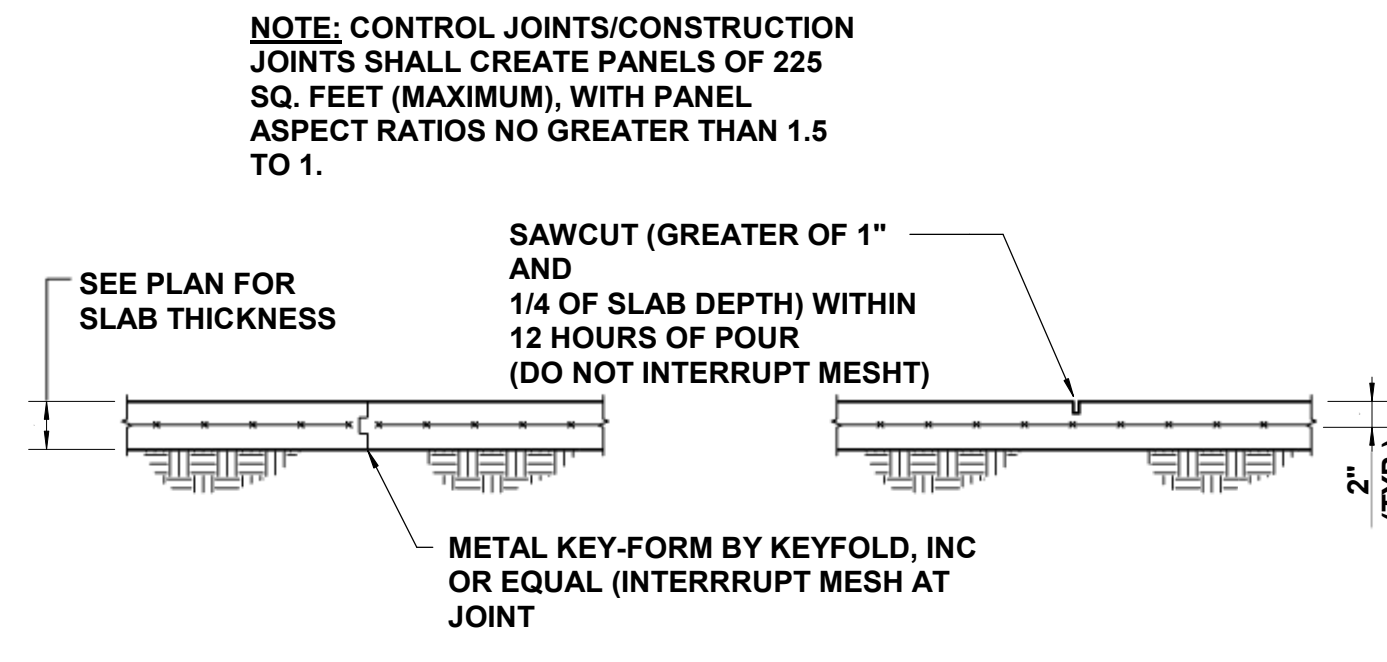




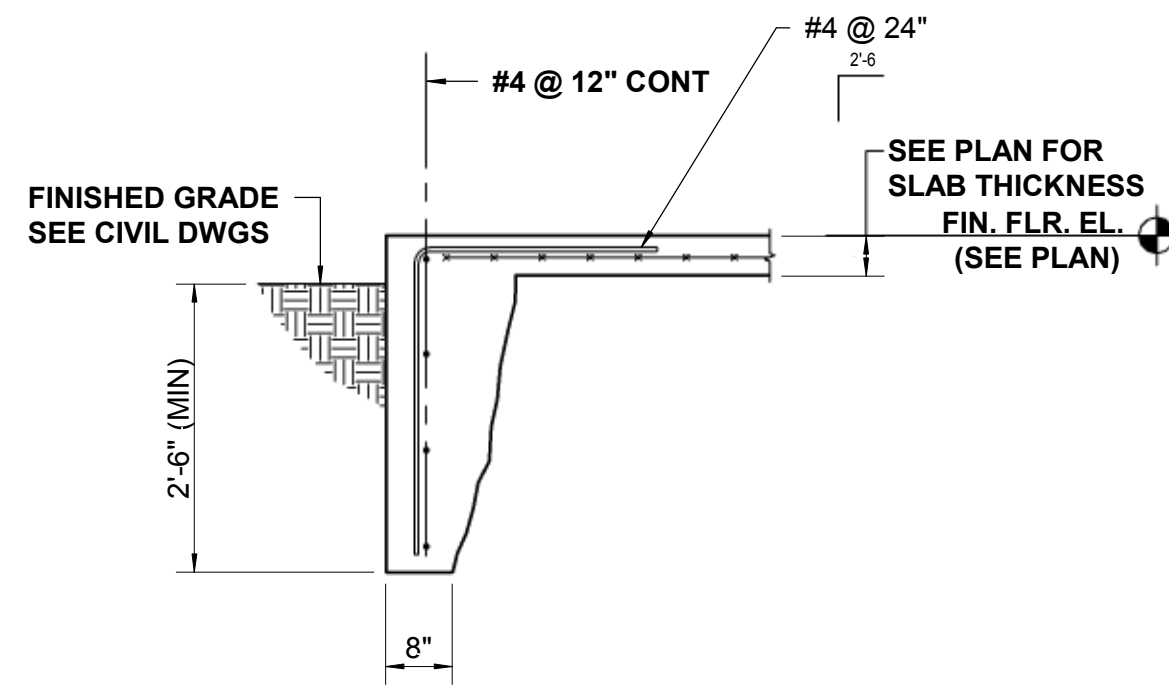
1 TYPICAL COLUMN FOOTING WITHOUT PIER



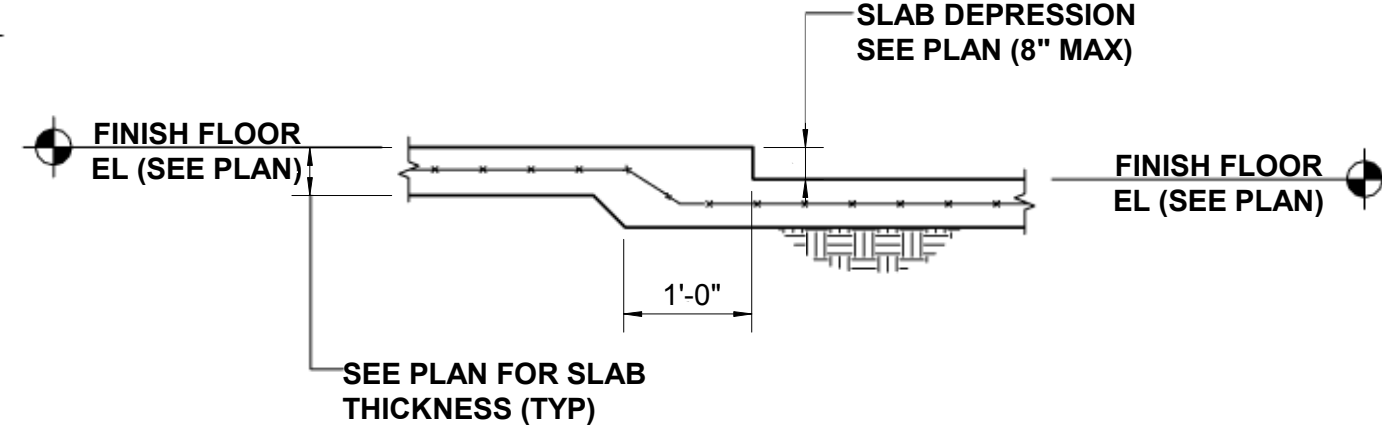
2 TYPICAL STEPPED FOOTING DETAIL



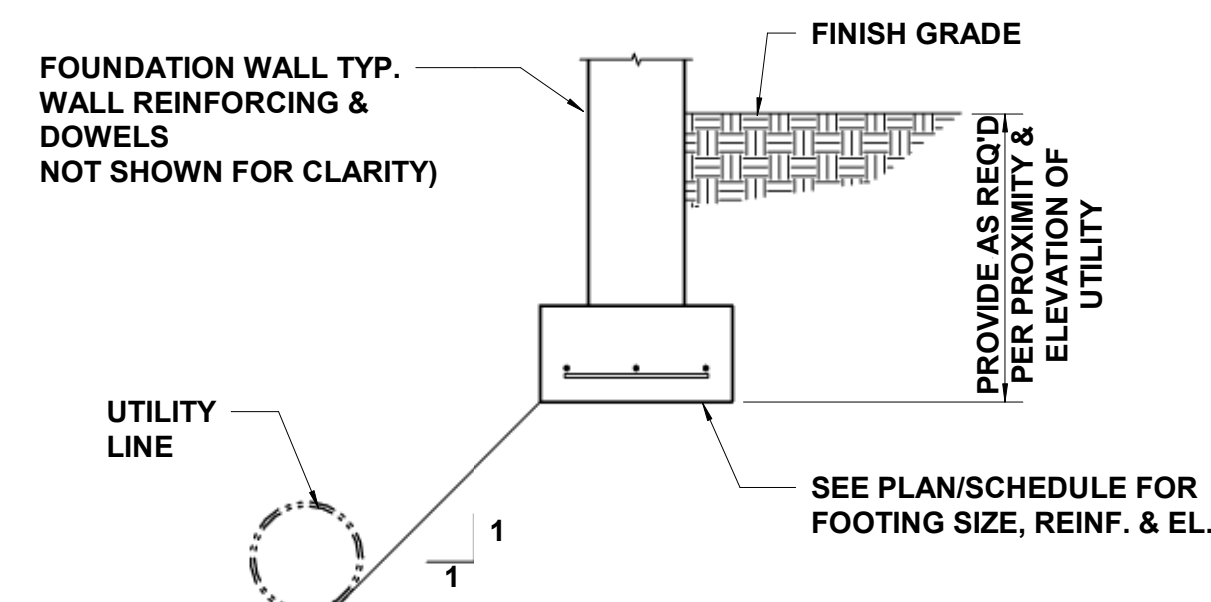
3 TYPICAL SLAB ON GRADE DETAILS



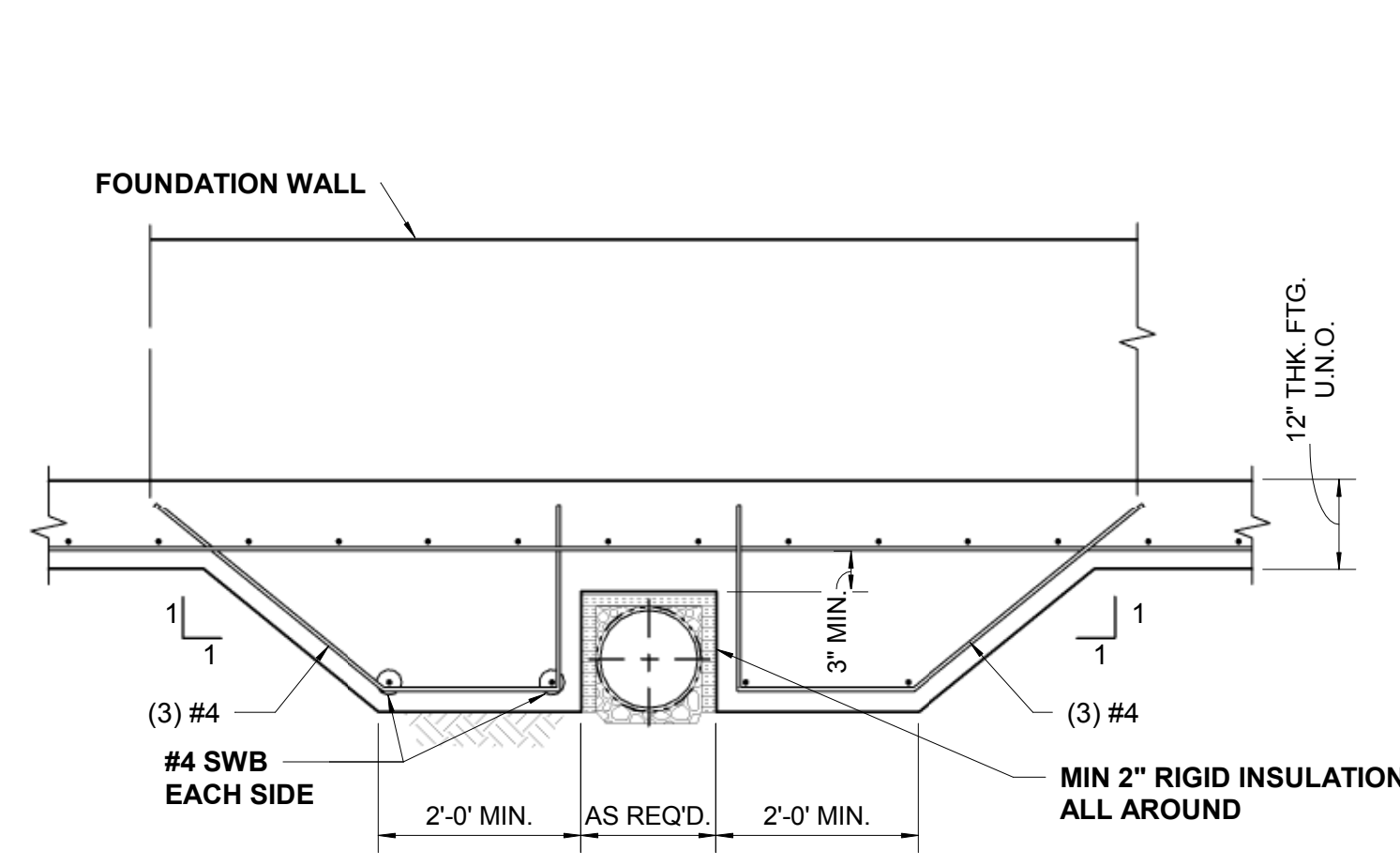
4 TYPICAL TURNED DOWN SLAB DETAIL



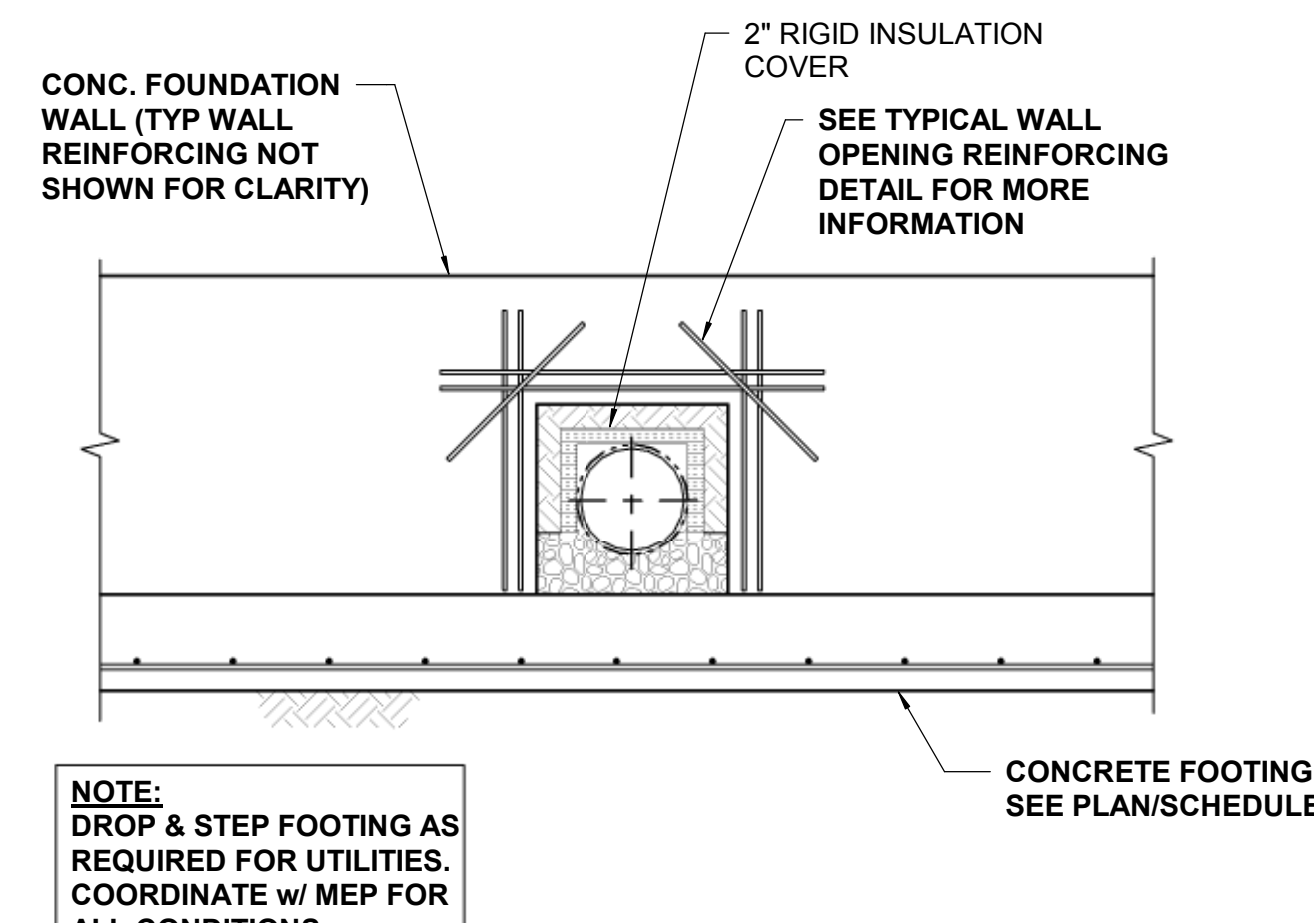
5 TYPICAL DEPRESSED SLAB DETAIL



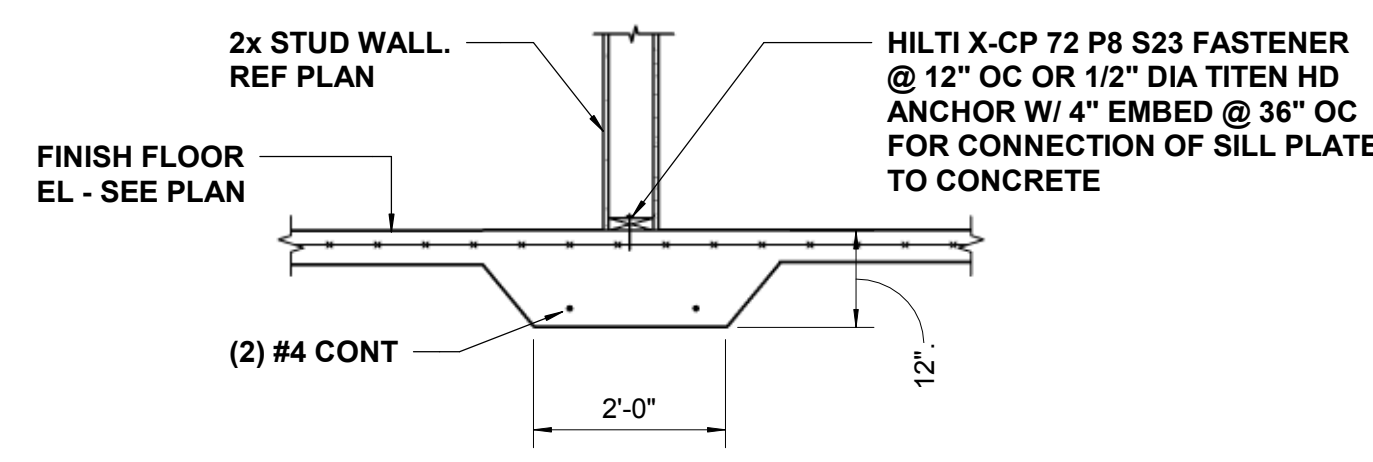
6 TYPICAL DETAIL FOR UTILITIES ADJACENT TO FOOTINGS



7 TYPICAL DETAIL FOR UTILITIES RUNNING BELOW FOOTINGS (DETAIL ELEVATION)



8 TYPICAL DETAIL FOR UTILITIES RUNNING THRU FOUNDATION WALL (DETAIL ELEVATION)



9 TYPICAL THICKENED SLAB FOOTING



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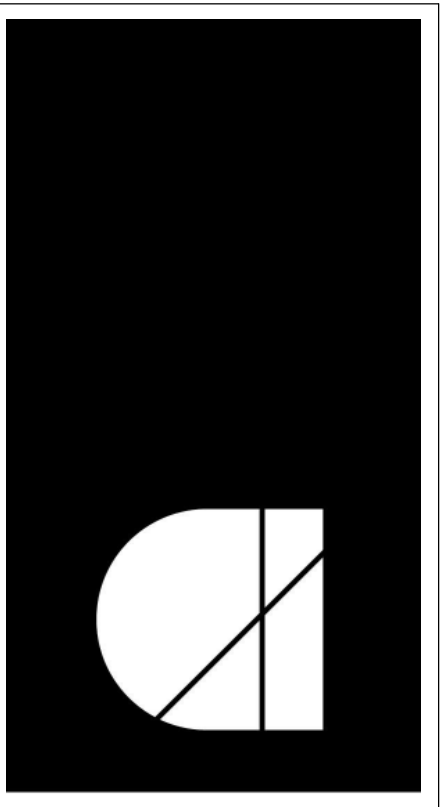
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TYP  
FOUNDATION  
DETAILS

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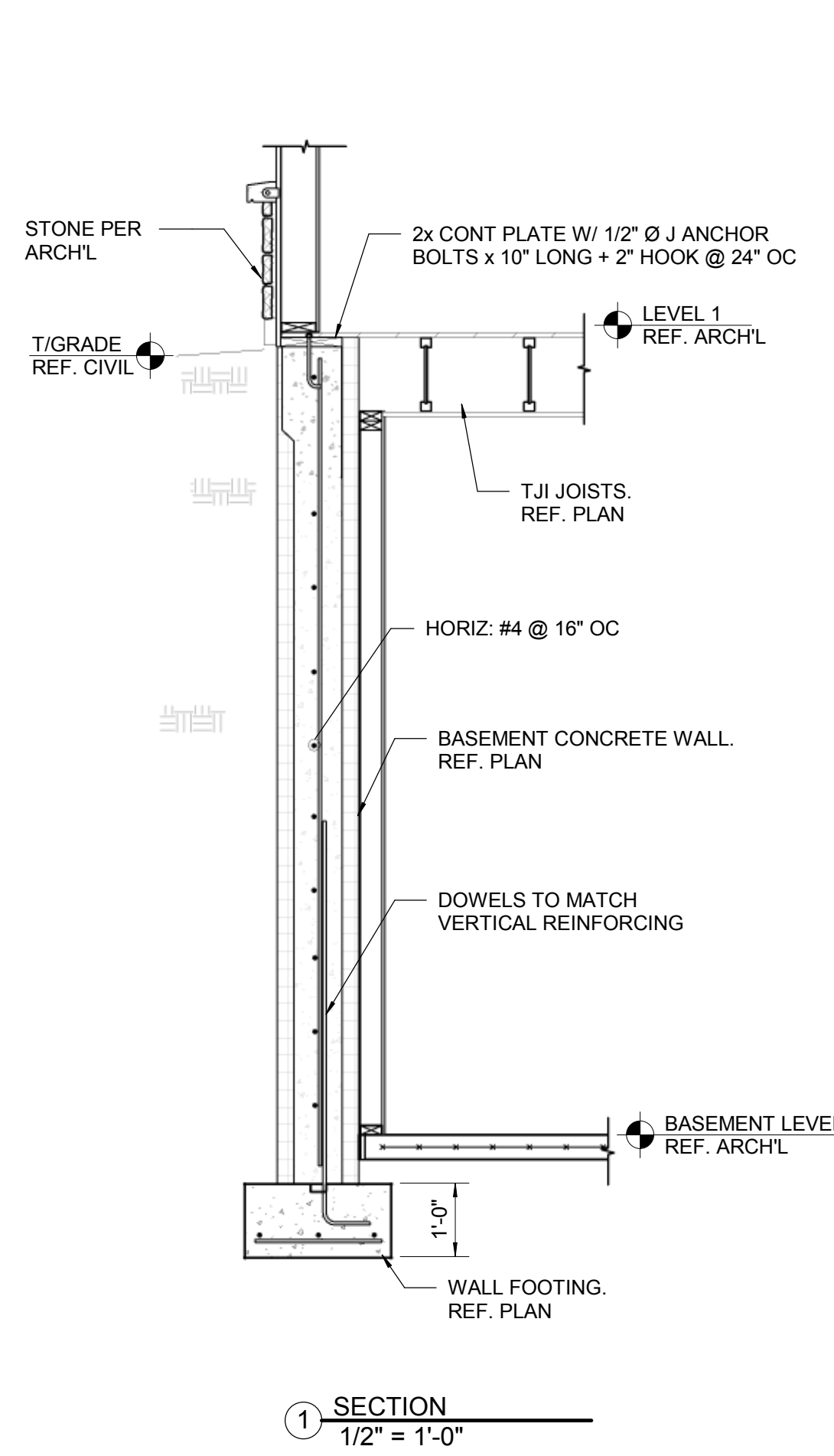
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**FOUNDATION SECTIONS**

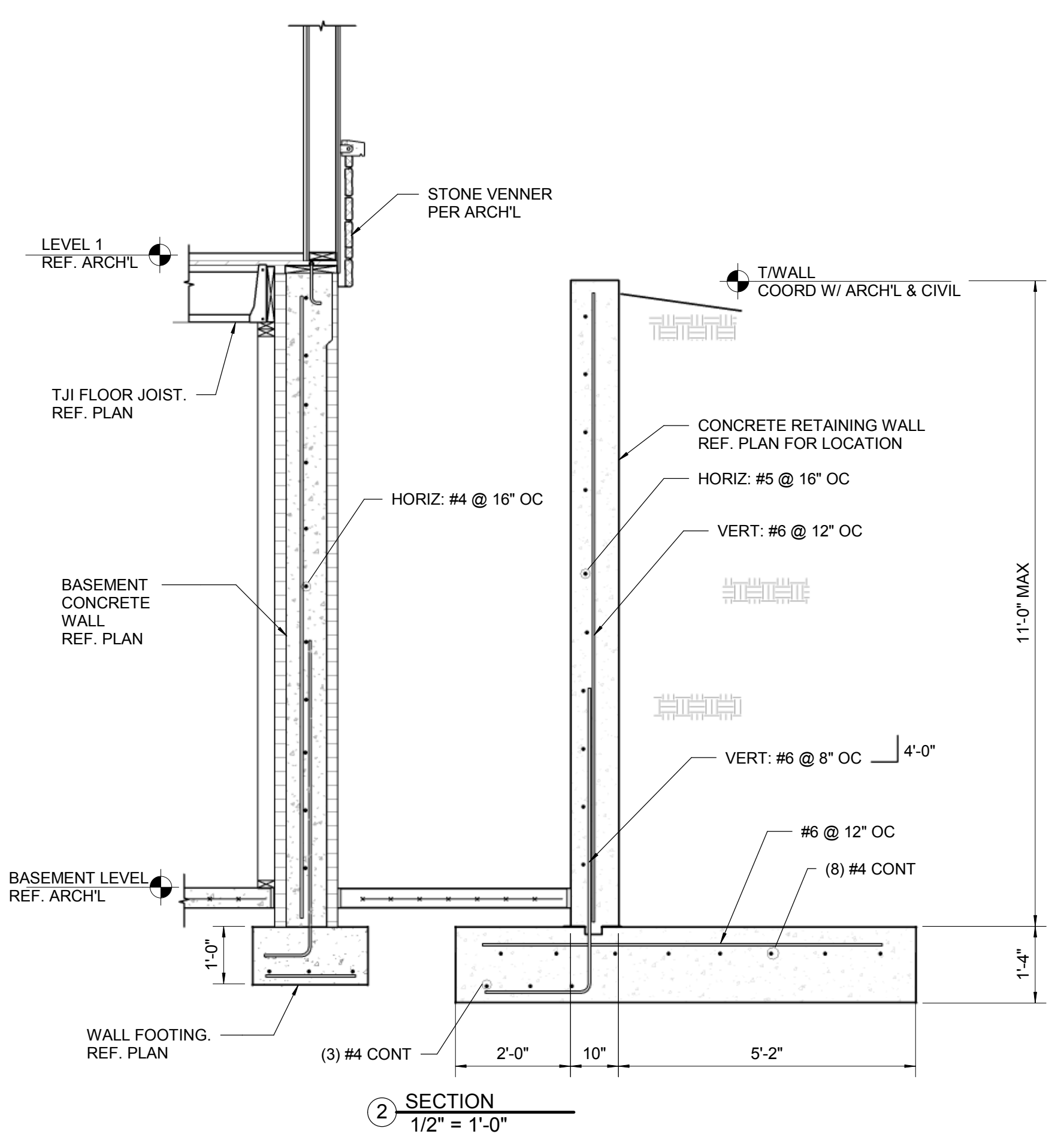
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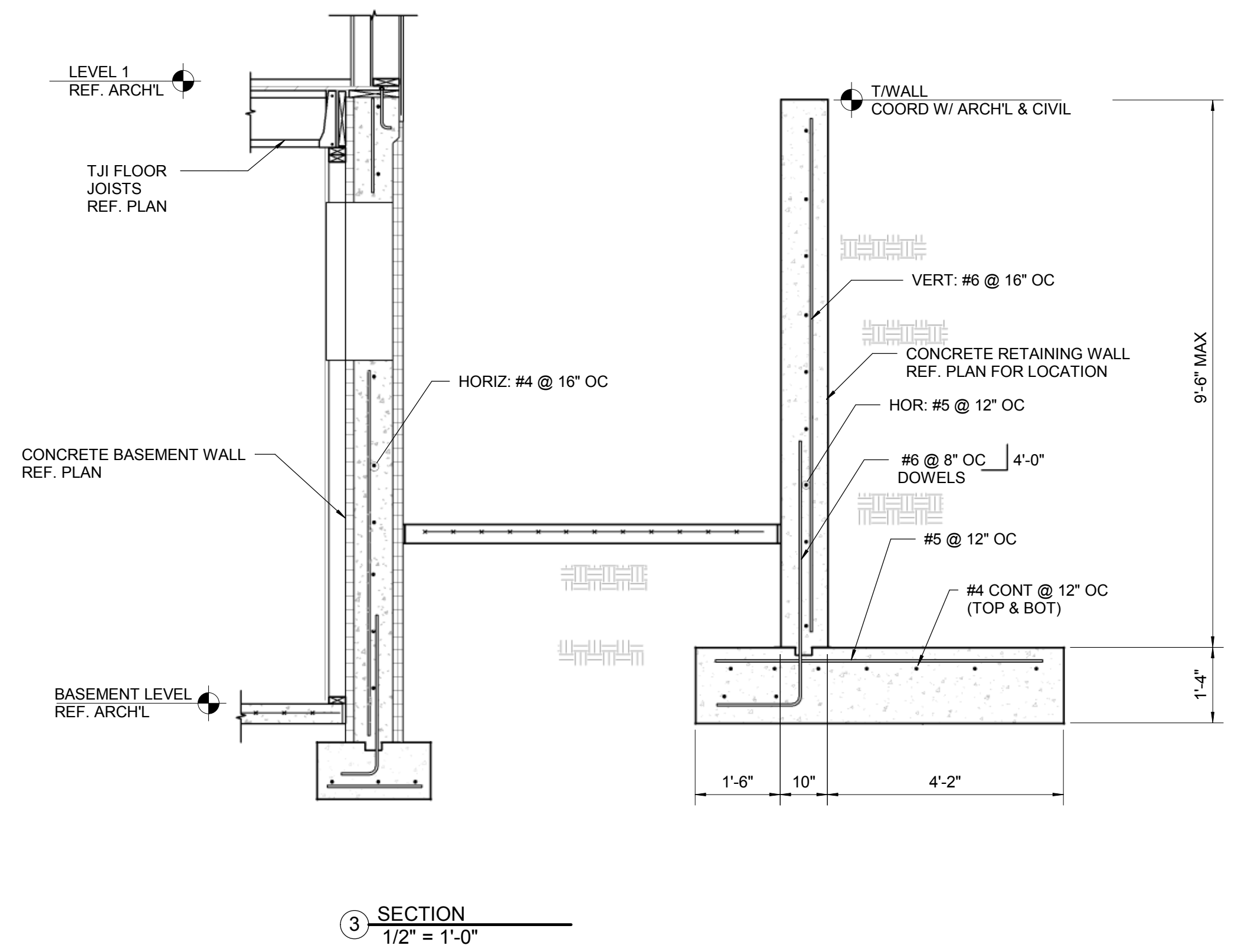
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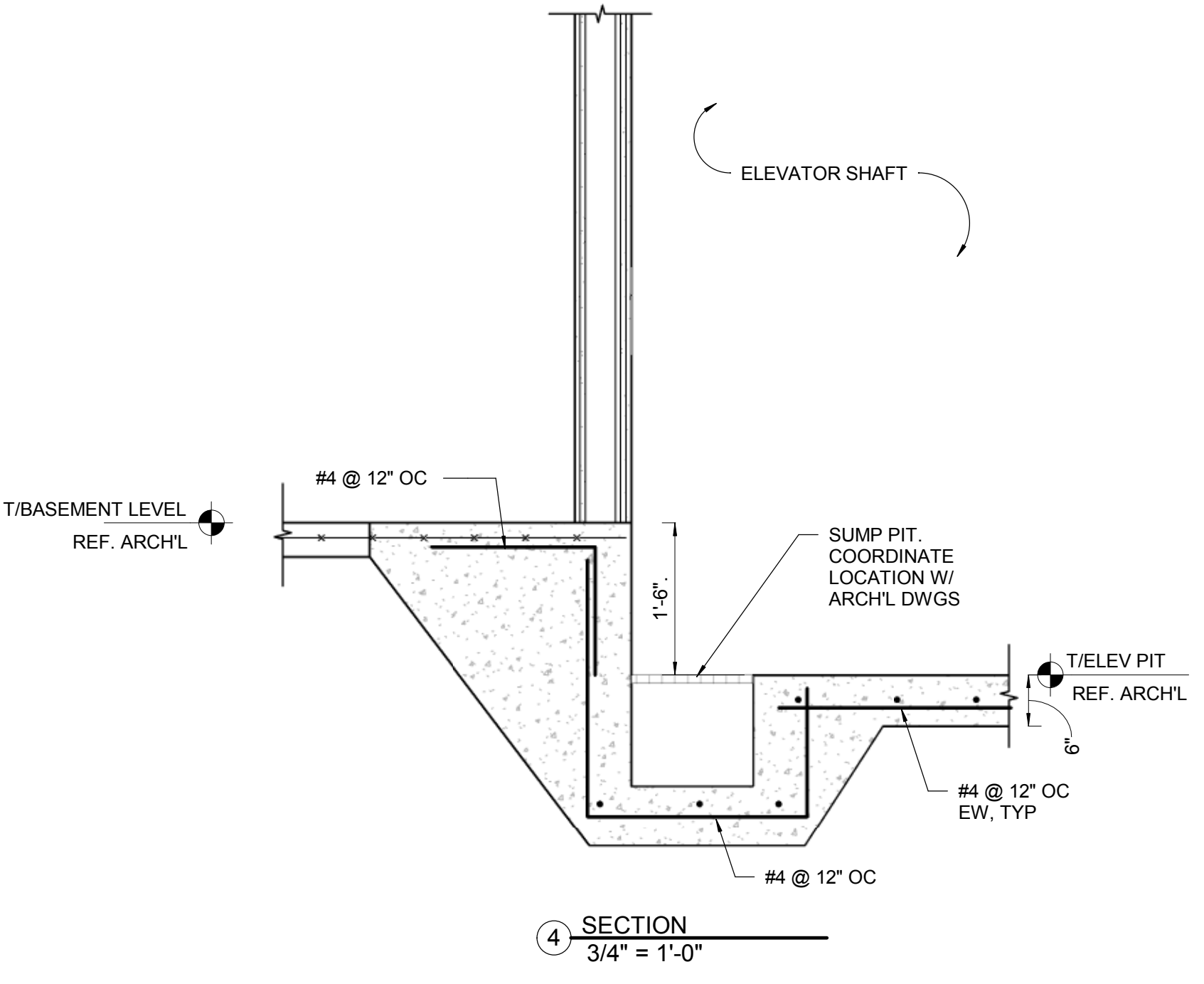
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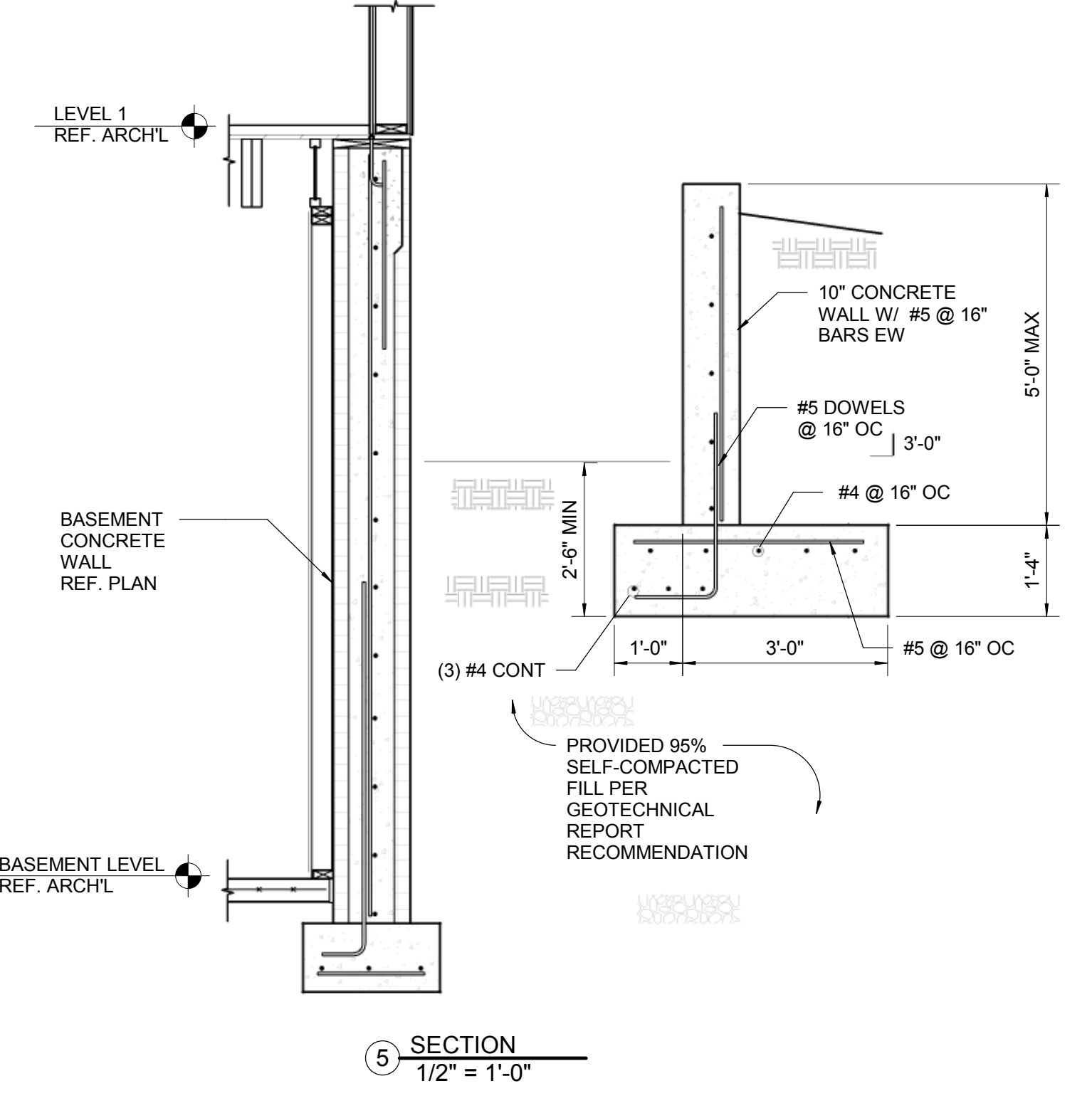
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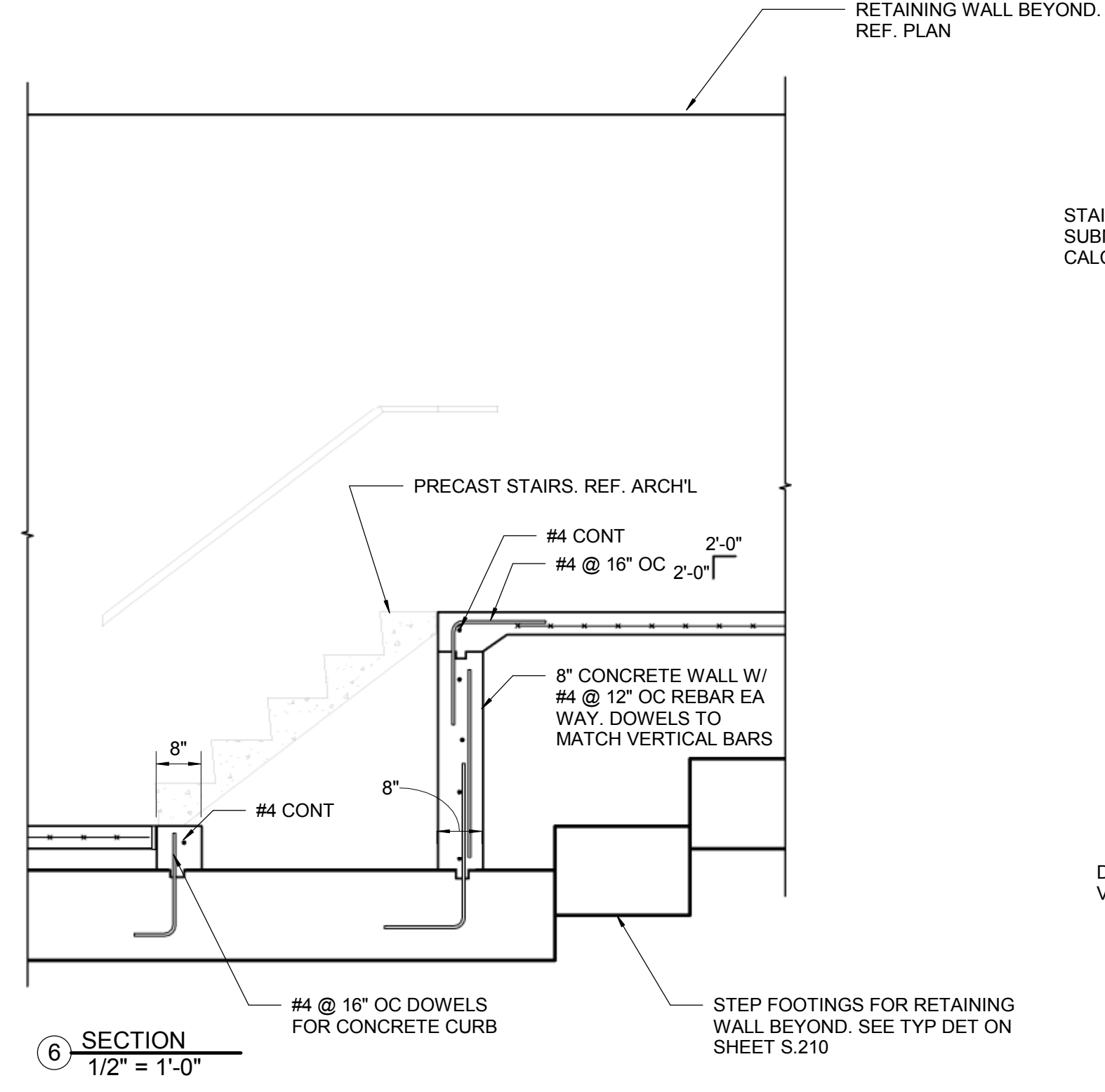
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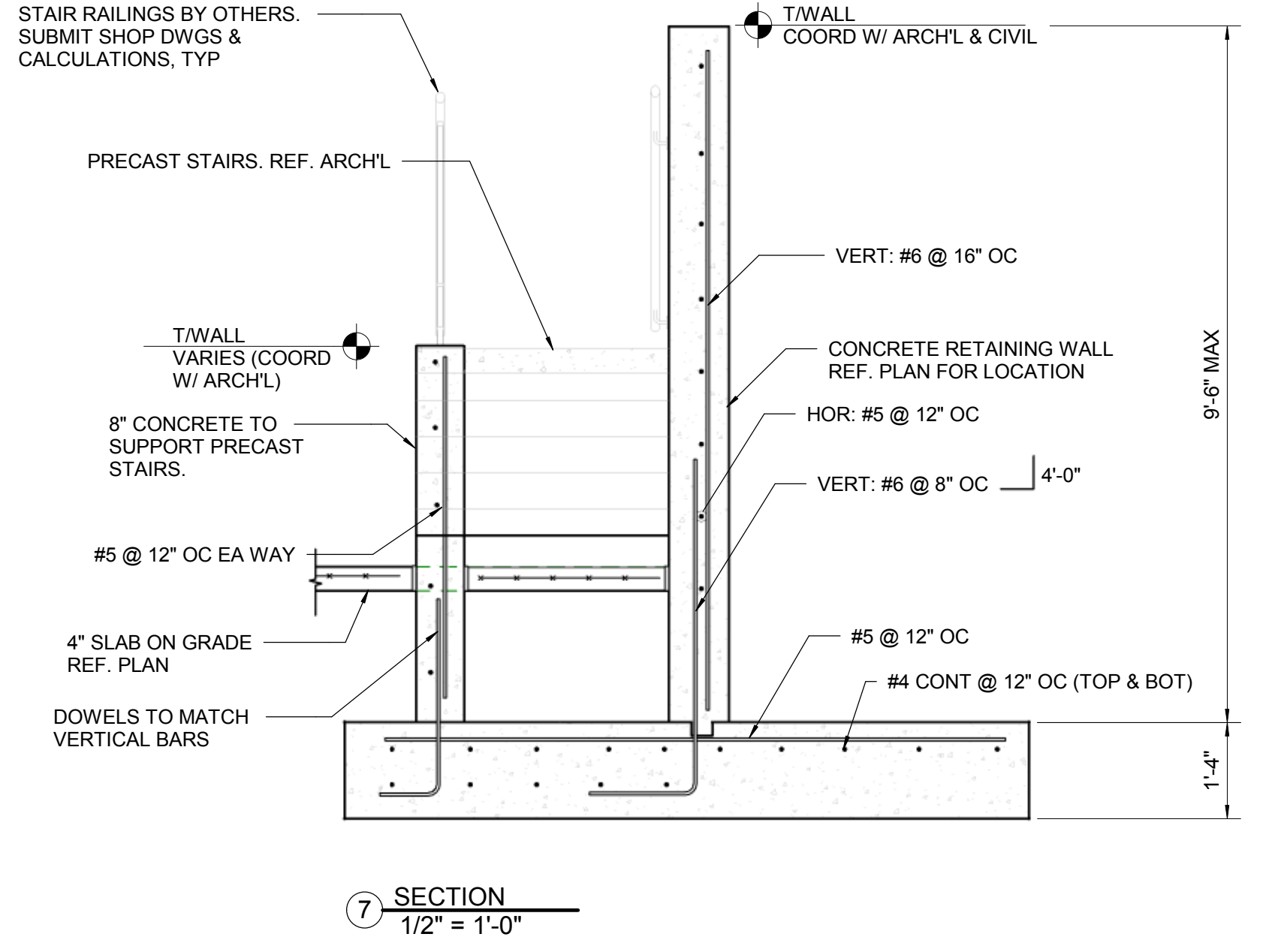
SECTION 4  
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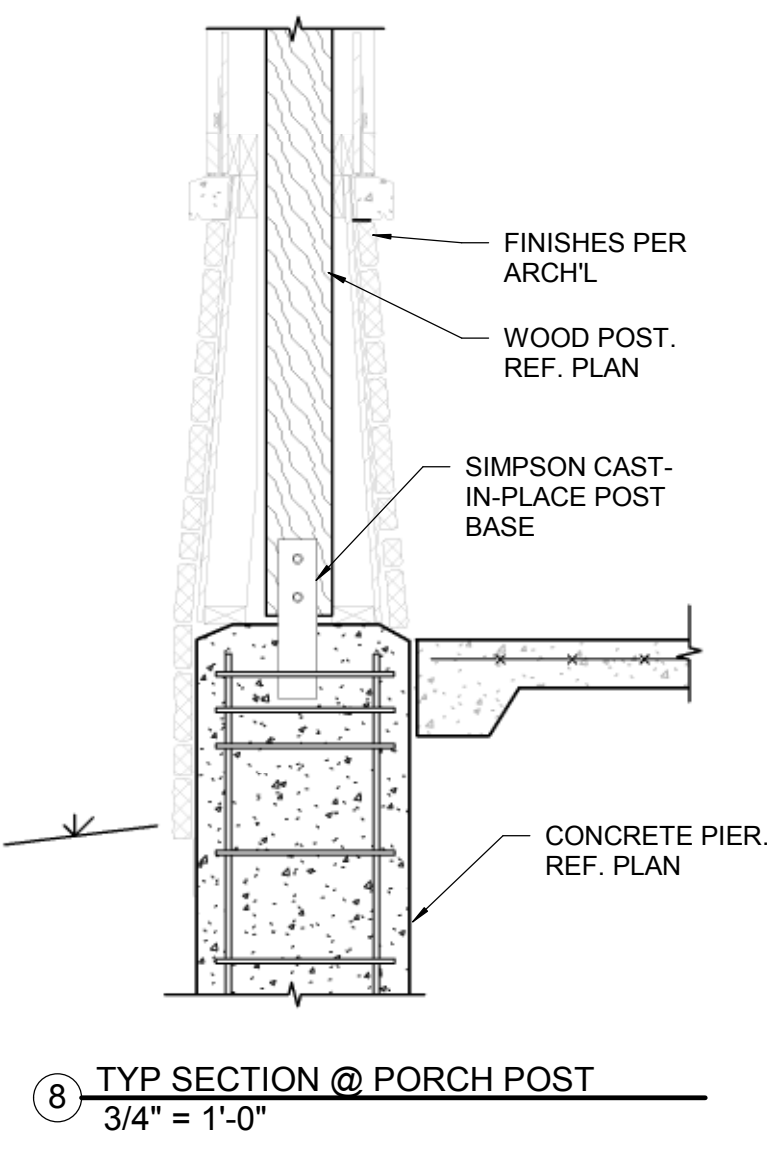
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SECTION 6  
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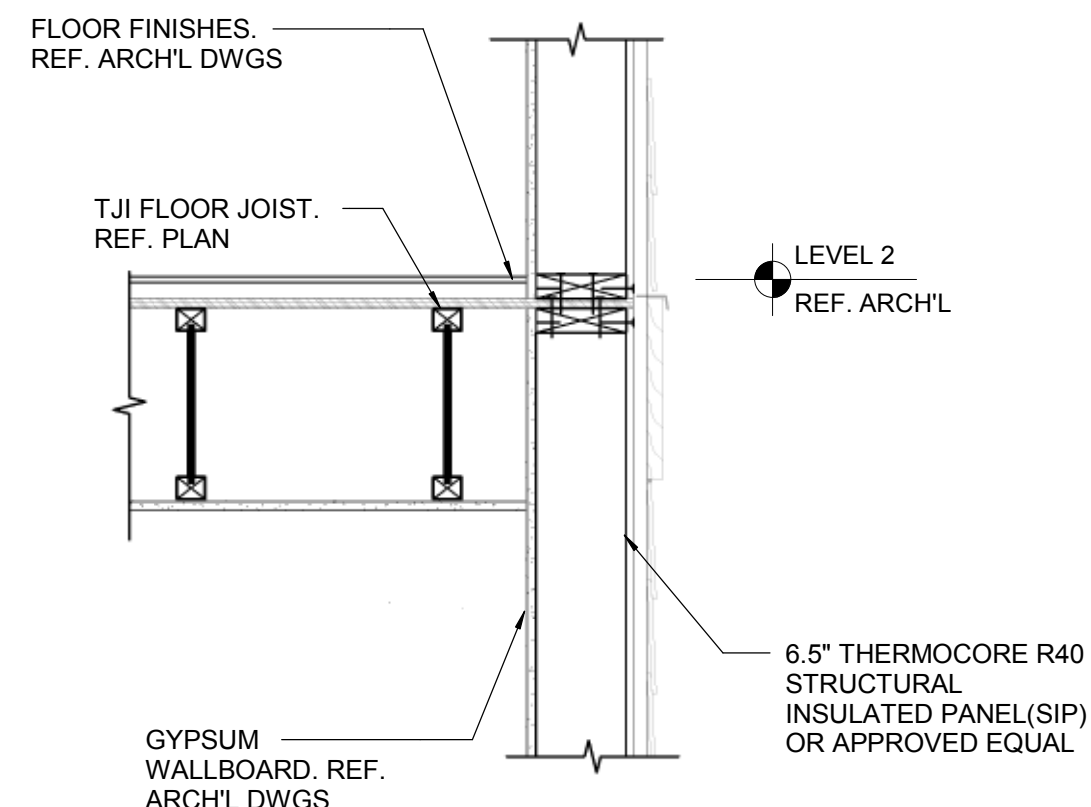


SECTION 7  
 1/2" = 1'-0"

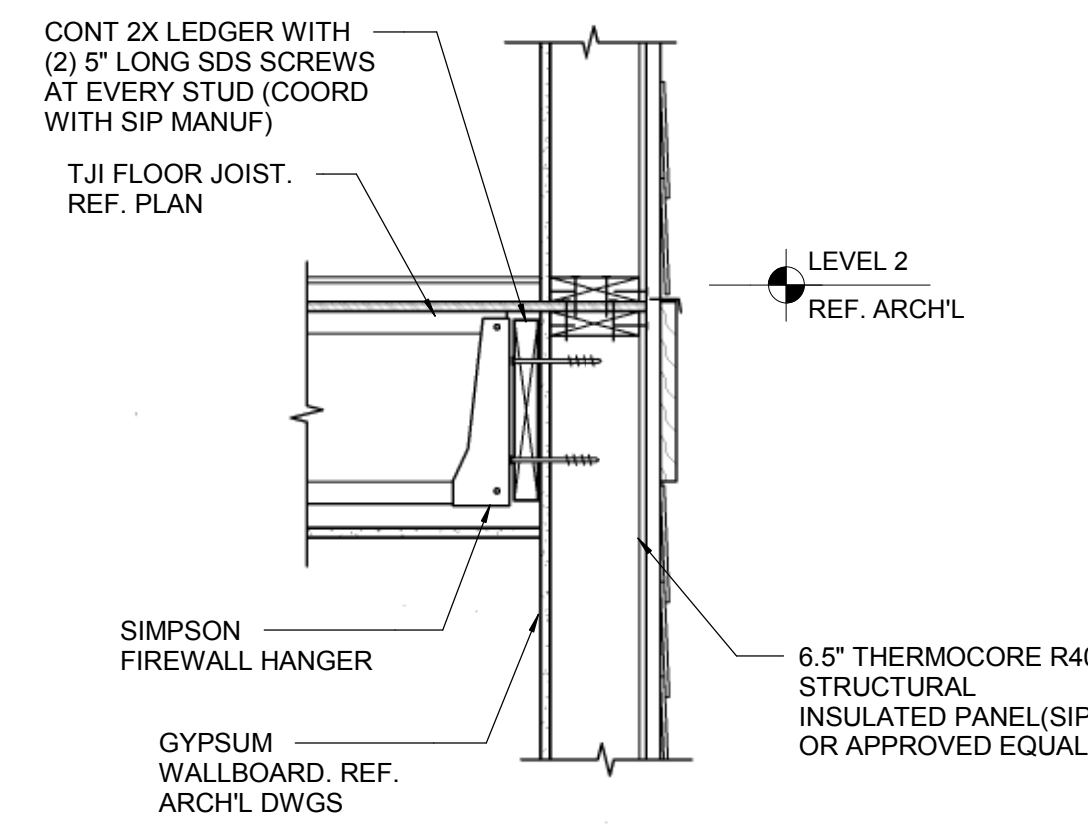


TYP SECTION @ PORCH POST  
 3/4" = 1'-0"

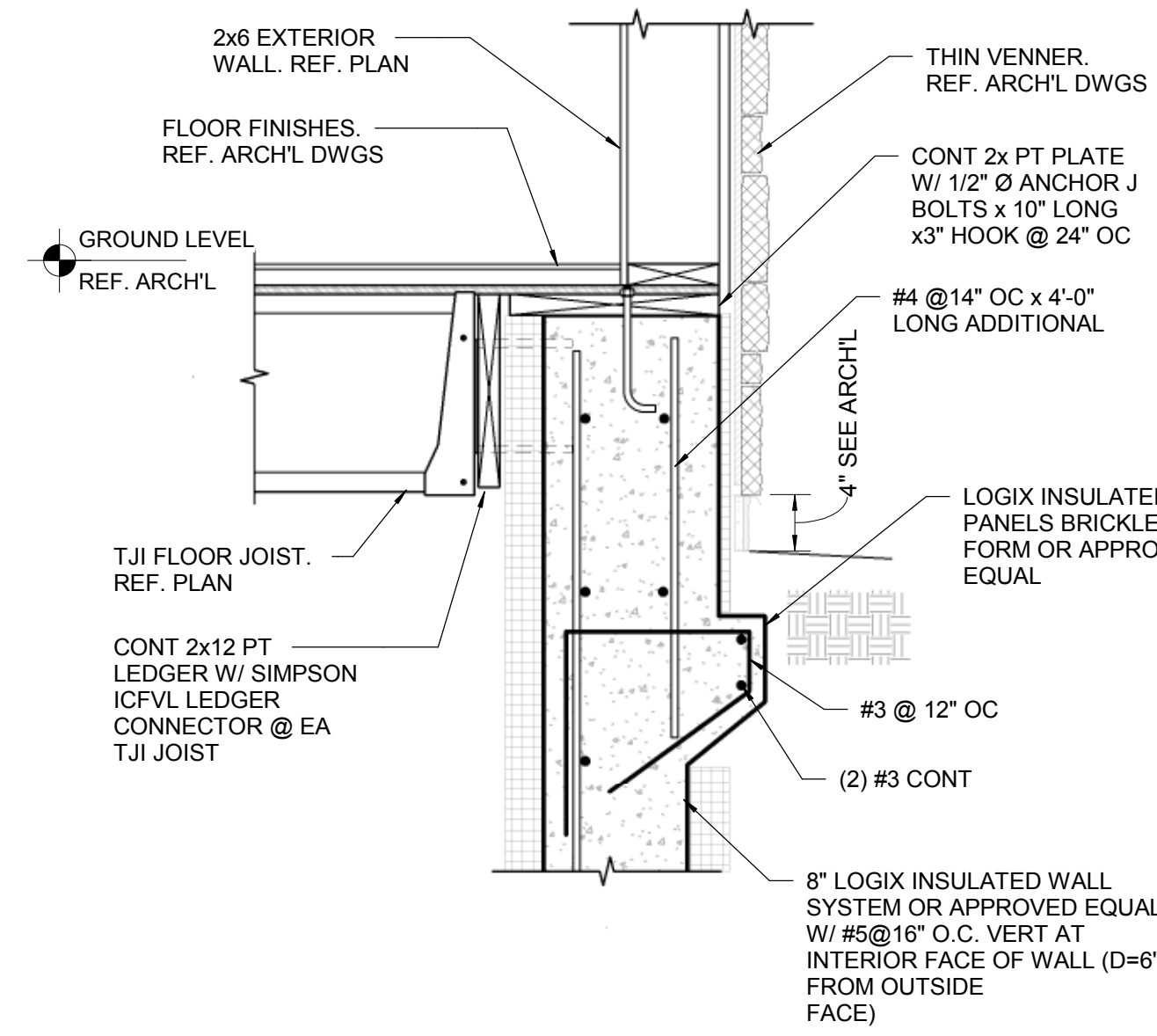




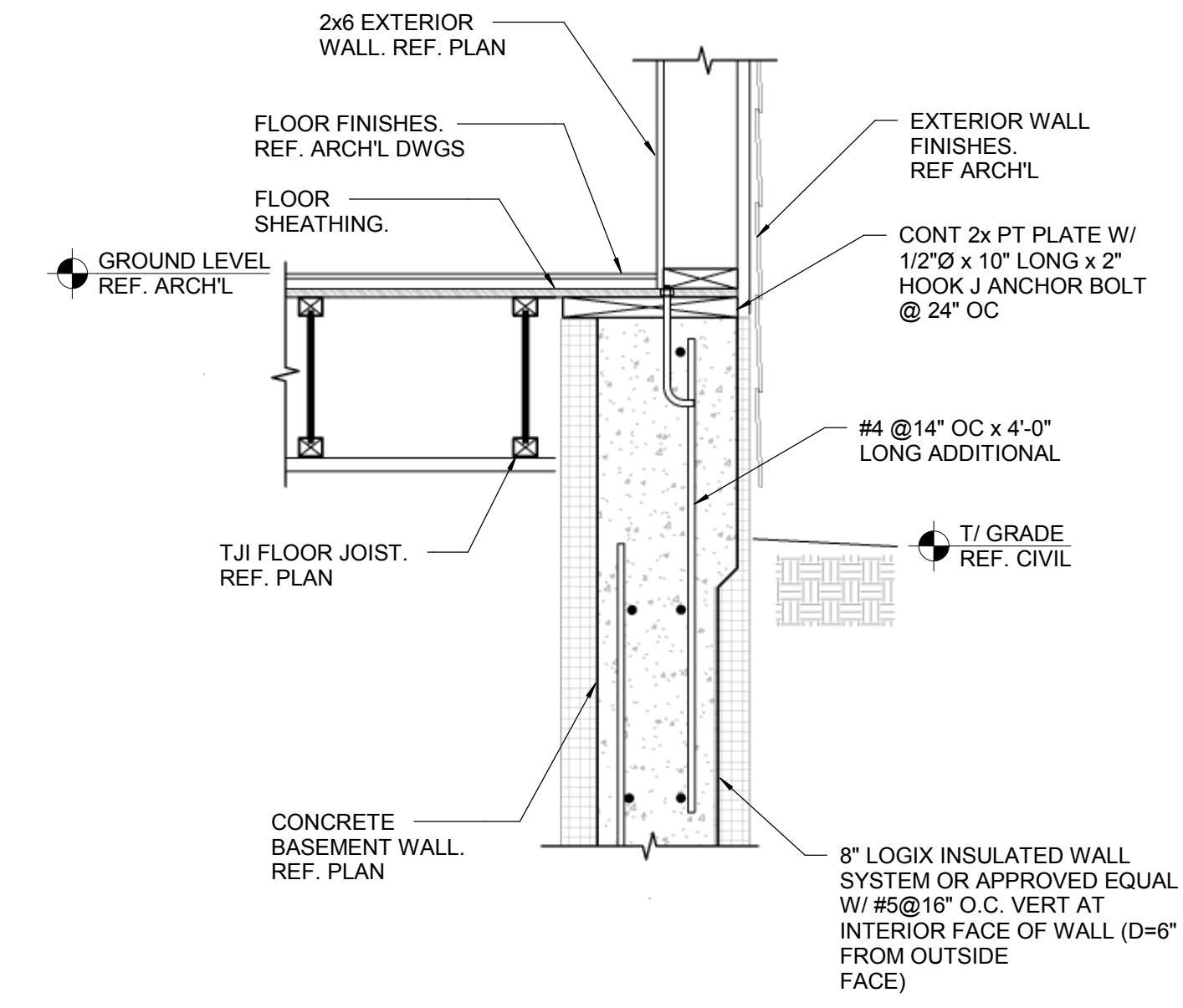
1 TYP EXTERIOR WALL FRAMING DETAIL  
1" = 1'-0"



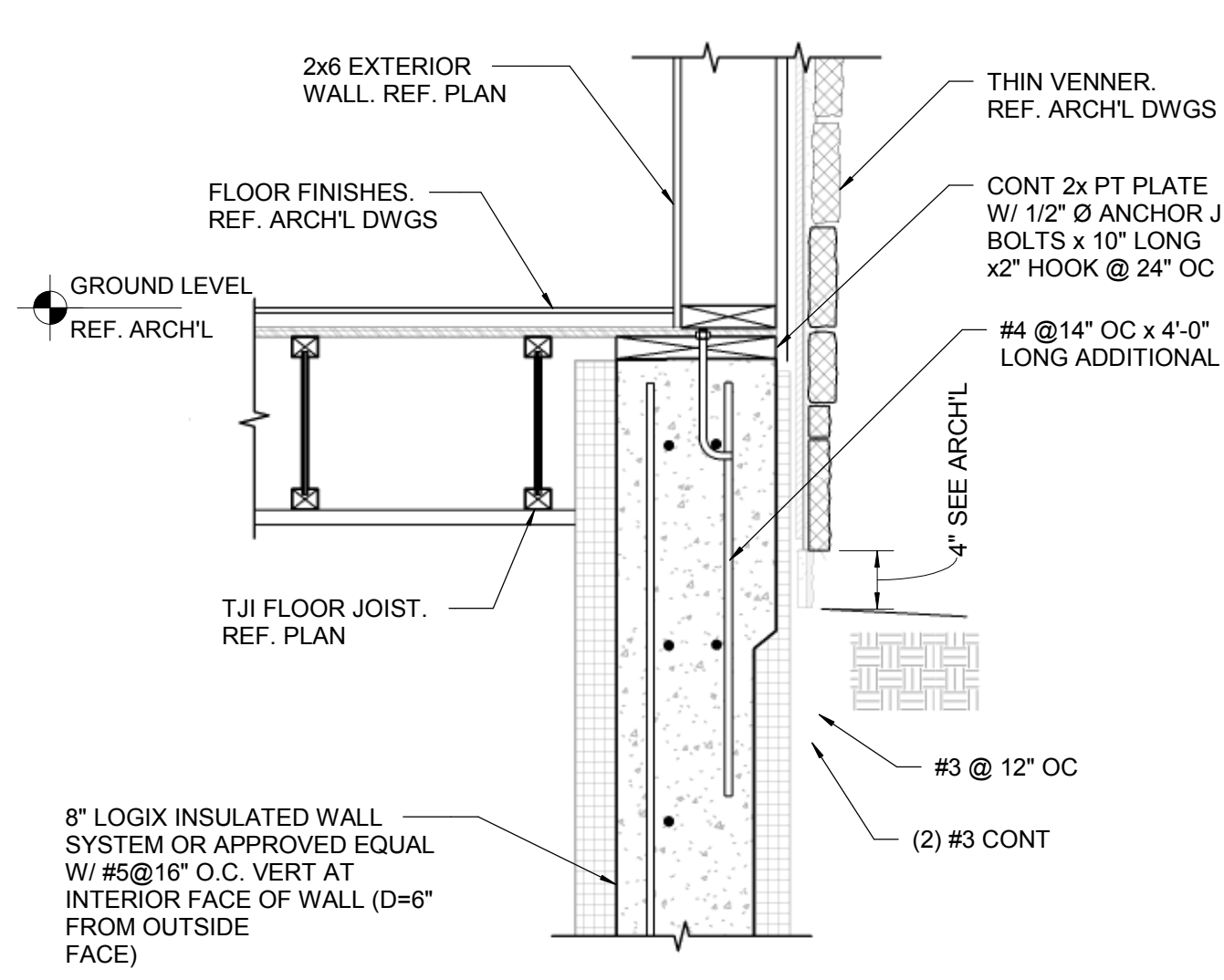
2 TYP EXTERIOR WALL FRAMING DETAIL  
1" = 1'-0"



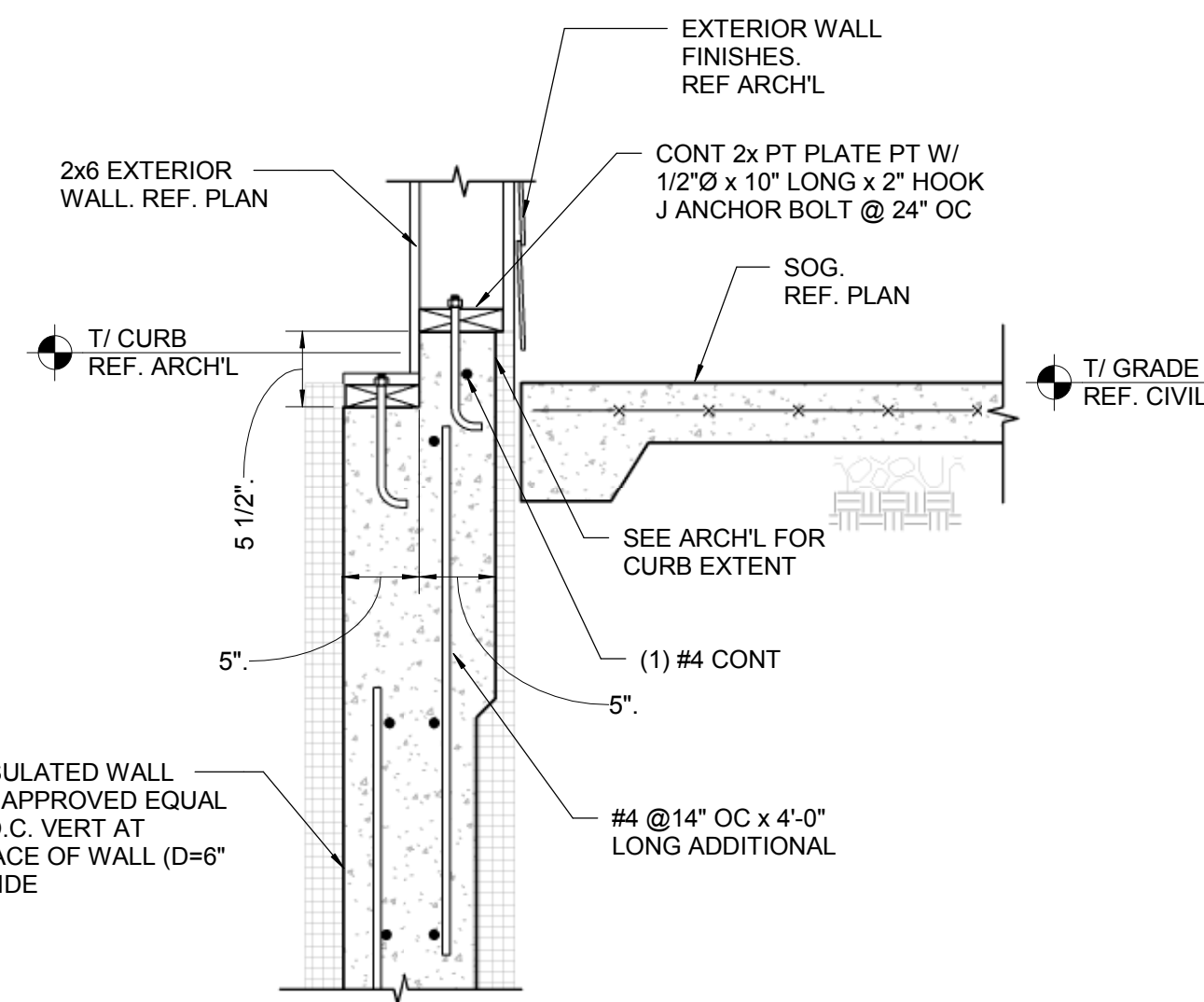
3 TYP TJI BEARING ON CONC WALL  
(@ SIPS)  
1" = 1'-0"



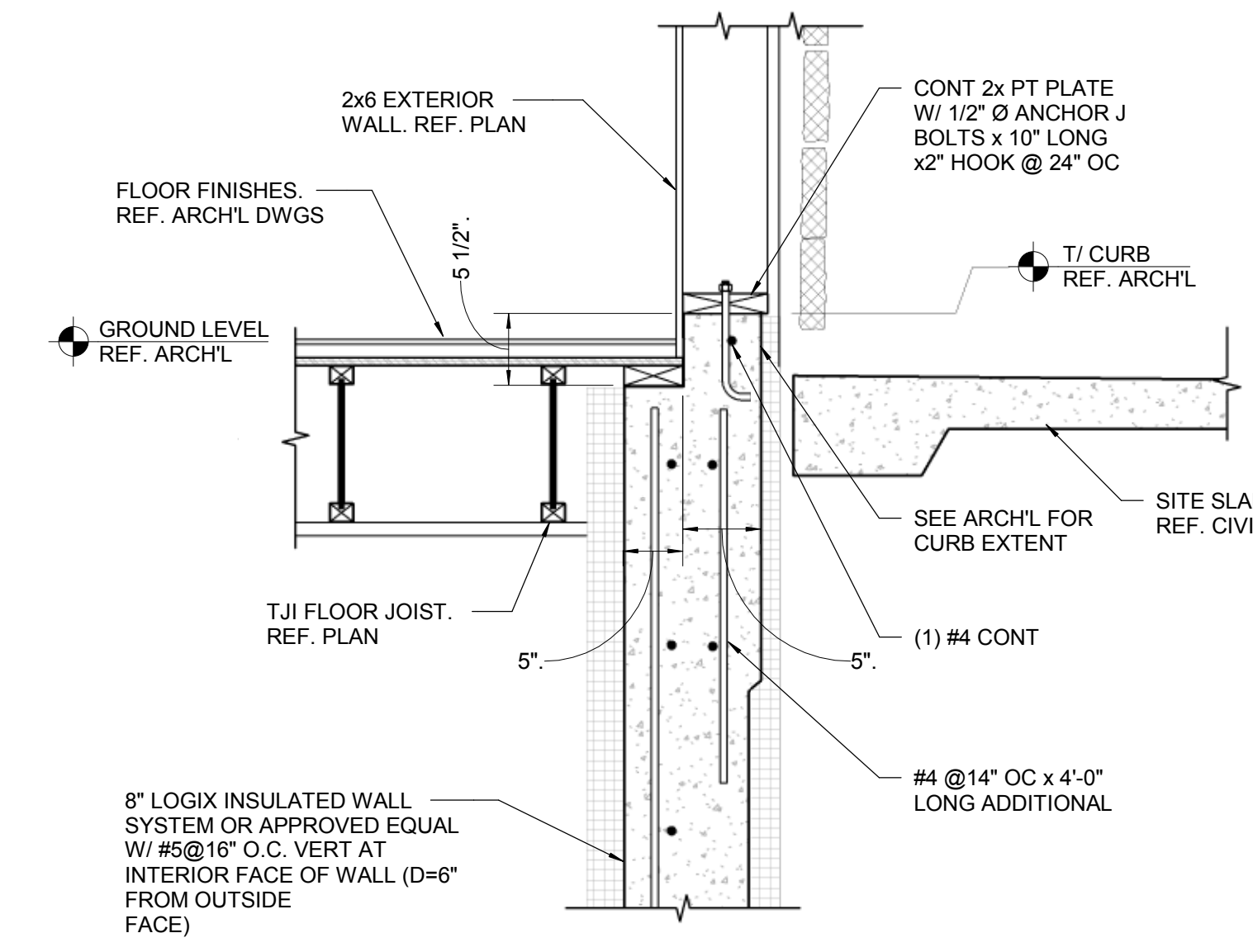
4 TYP TJI BEARING ON CONC WALL  
(@ SIDING)  
1" = 1'-0"



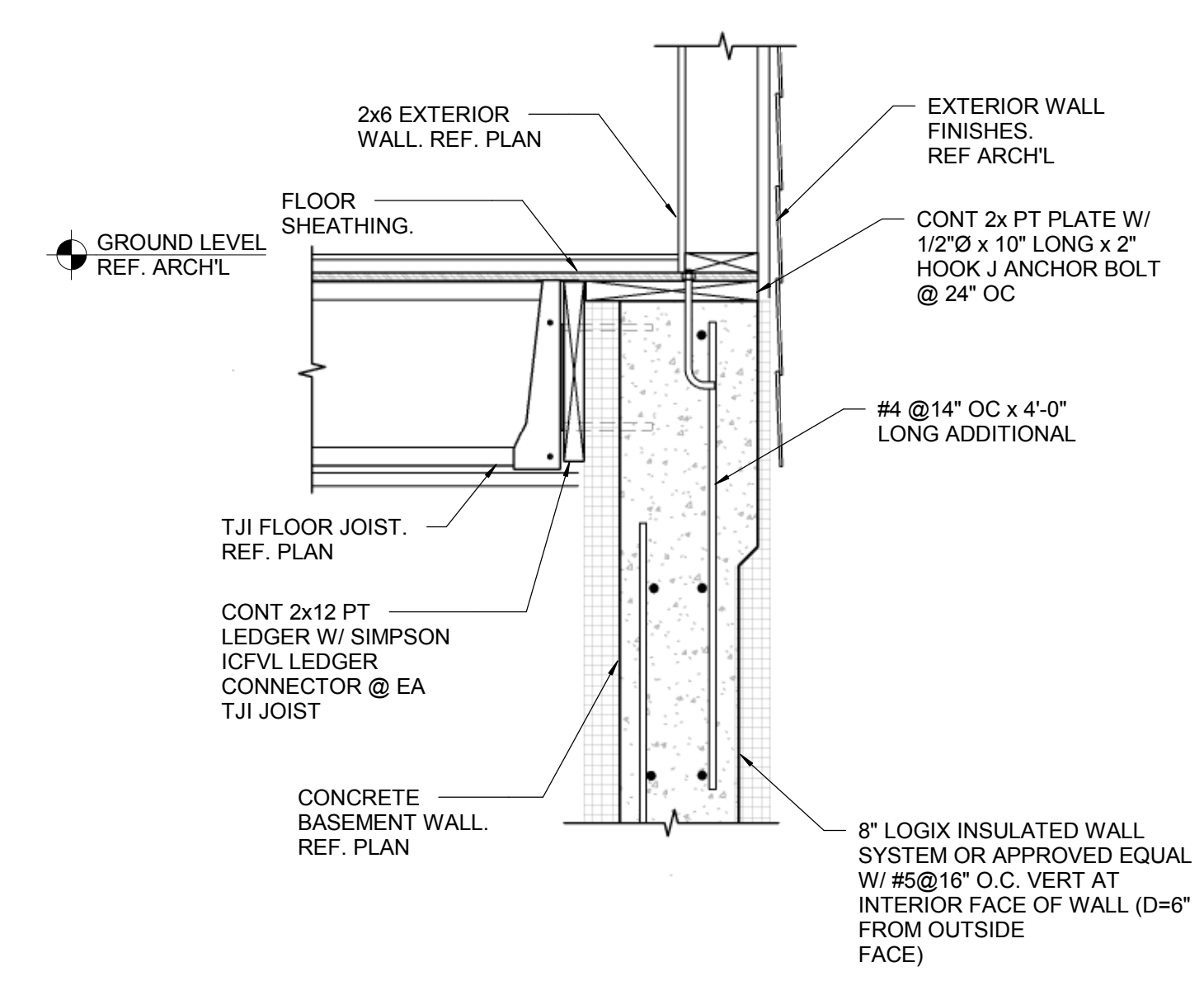
5 TYP TJI PARALLEL TO CONC WALL  
(@ SIPS)  
1" = 1'-0"



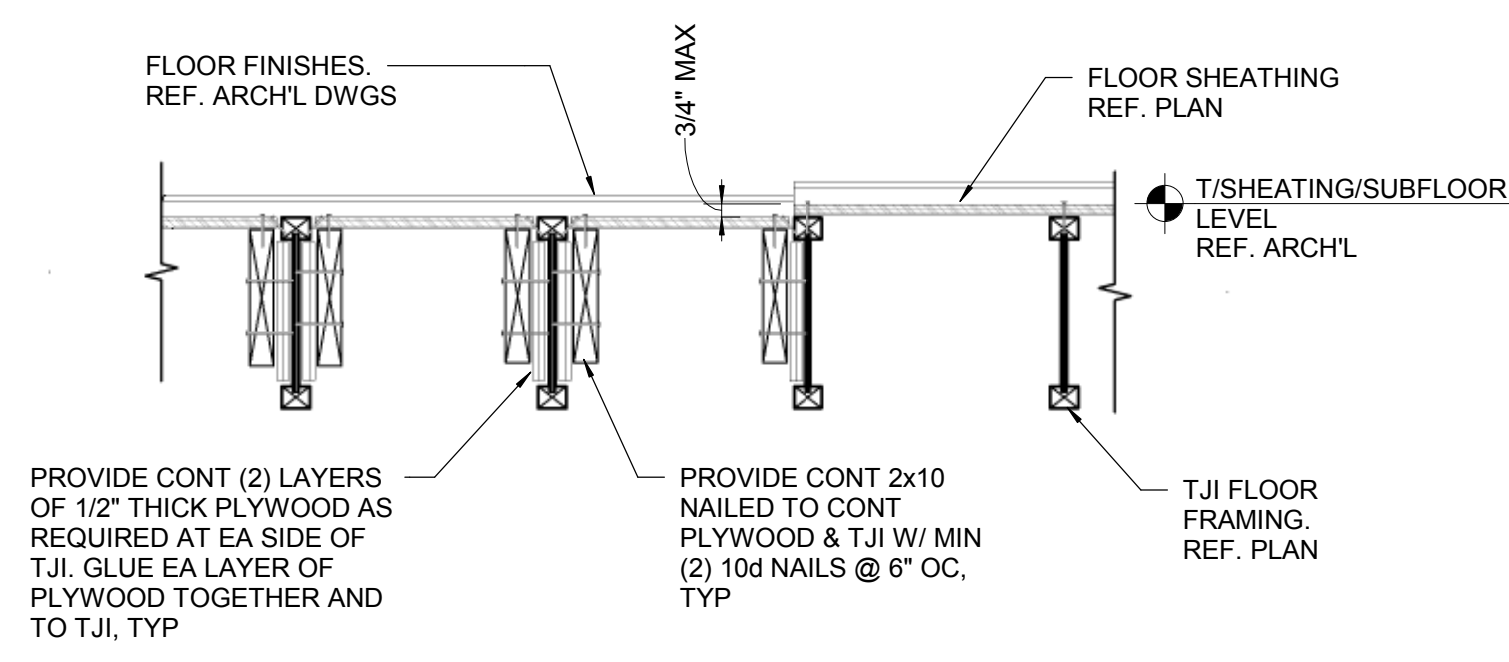
6 TYP TJI BEARING ON CONC WALL  
(@ STAIR)  
1" = 1'-0"



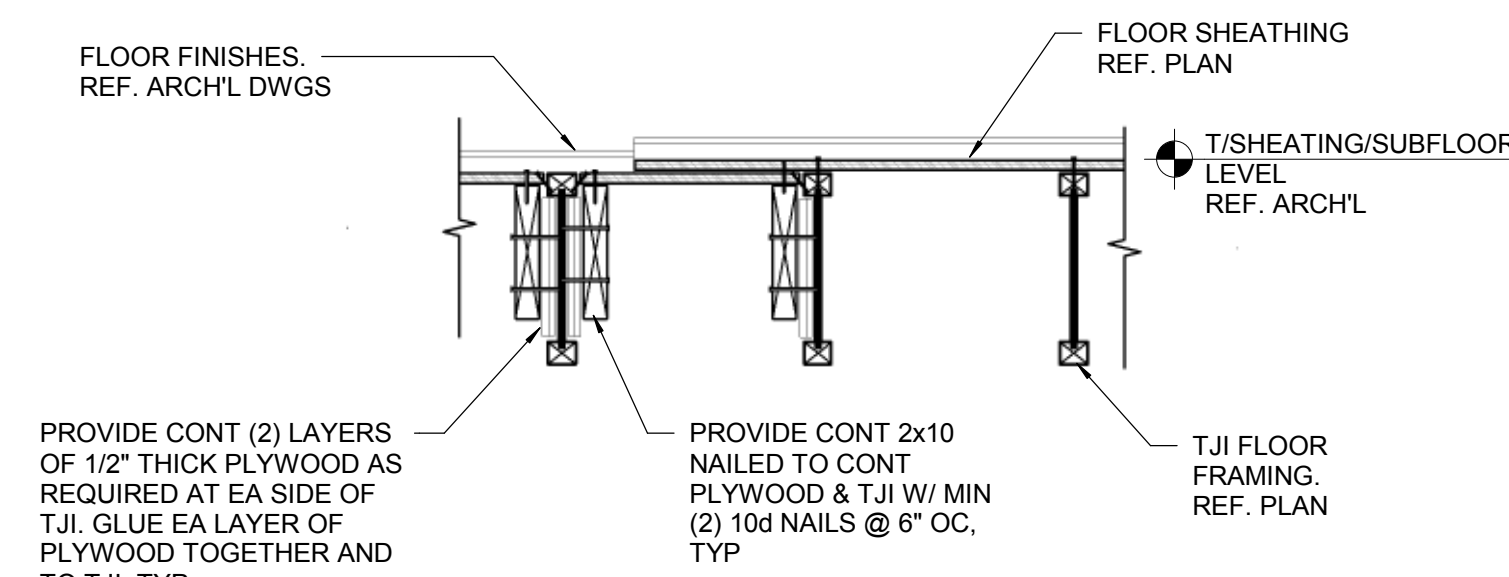
7 TYP TJI PARALLEL TO CONC WALL  
(@ SITE SLAB)  
1" = 1'-0"



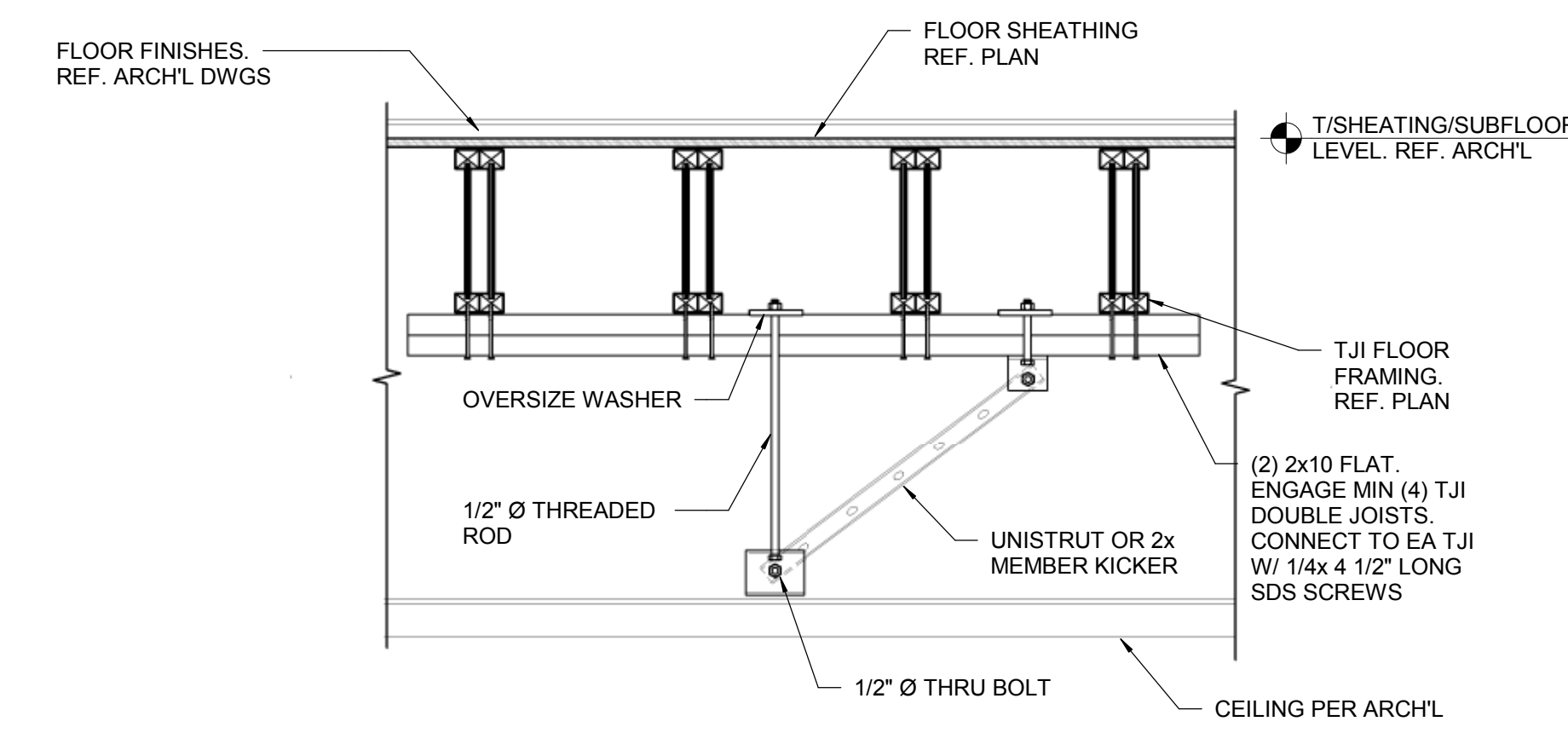
8 TYP TJI BEARING ON CONC WALL  
(@ SIDING)  
1" = 1'-0"



9 TYP FLOOR DEPRESSION DETAIL  
1" = 1'-0"

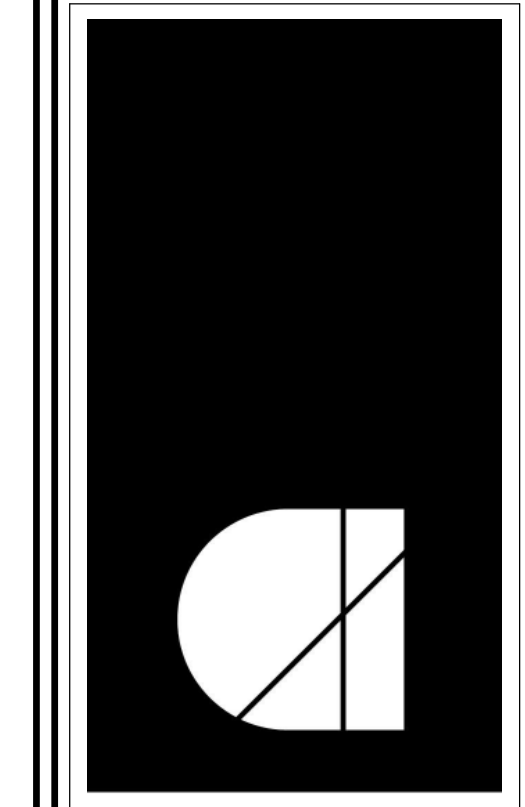


10 ALTERNATE TYP FLOOR DEPRESSION DETAIL  
1" = 1'-0"



11 TYP TROLLEY LIFT SYSTEM SUPPORT DETAIL  
1" = 1'-0"

NOTES:  
1. THIS IS A CONCEPT DETAIL AND NEEDS TO BE FULLY COORDINATED BY GC IN THE FIELD. TROLLEY LIFT TRACK ATTACHMENT BY TROLLEY MANUFACTURER.



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Construction Documents for:  
**ARLINGTON COUNTY DHS  
GROUP HOME**  
1212 S. IRVING ST.  
ARLINGTON, VA 22204

Project: Project Number

Issued 10/21/2020  
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Revisions  
Revision for Permit 05.20.2021

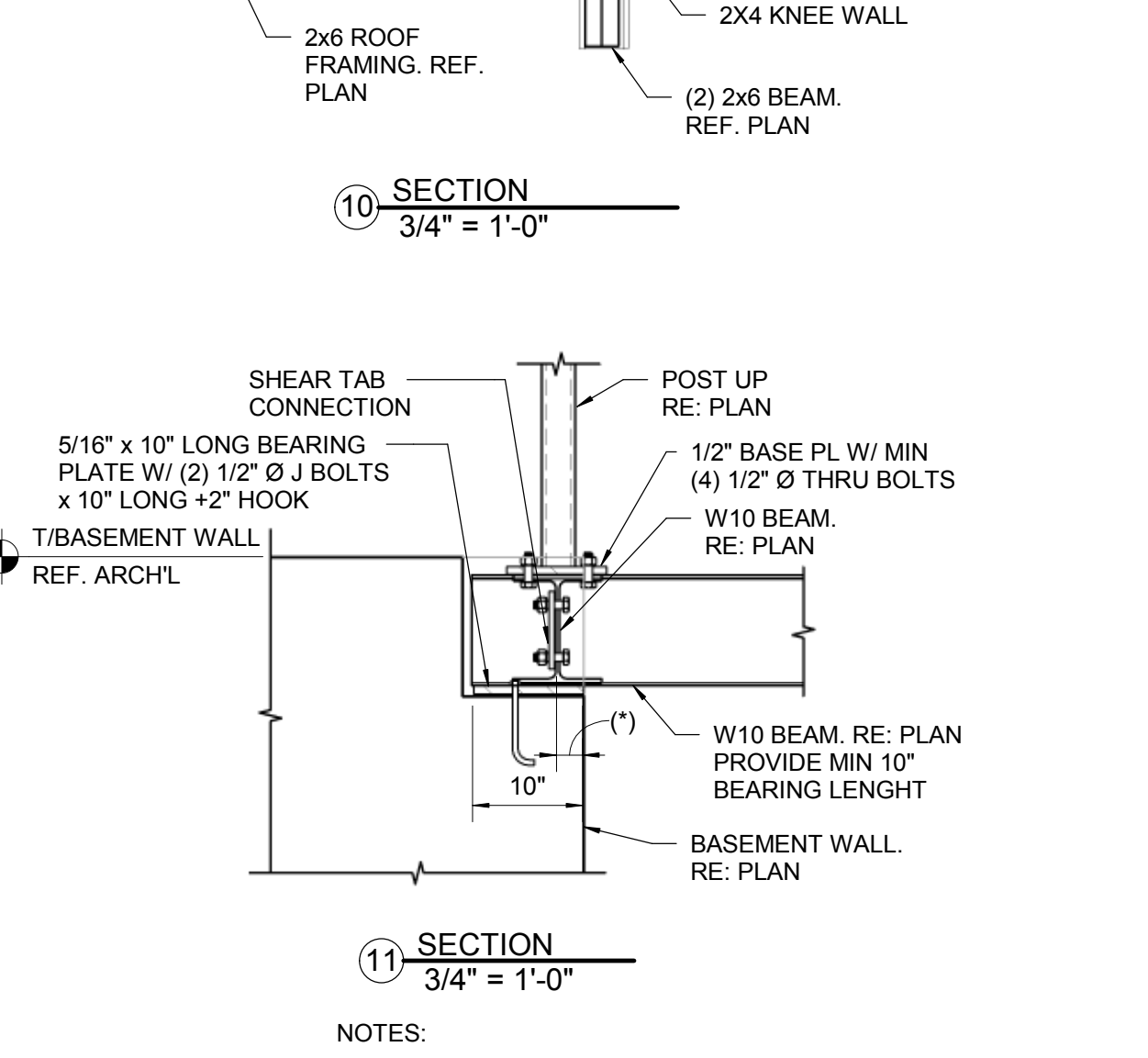
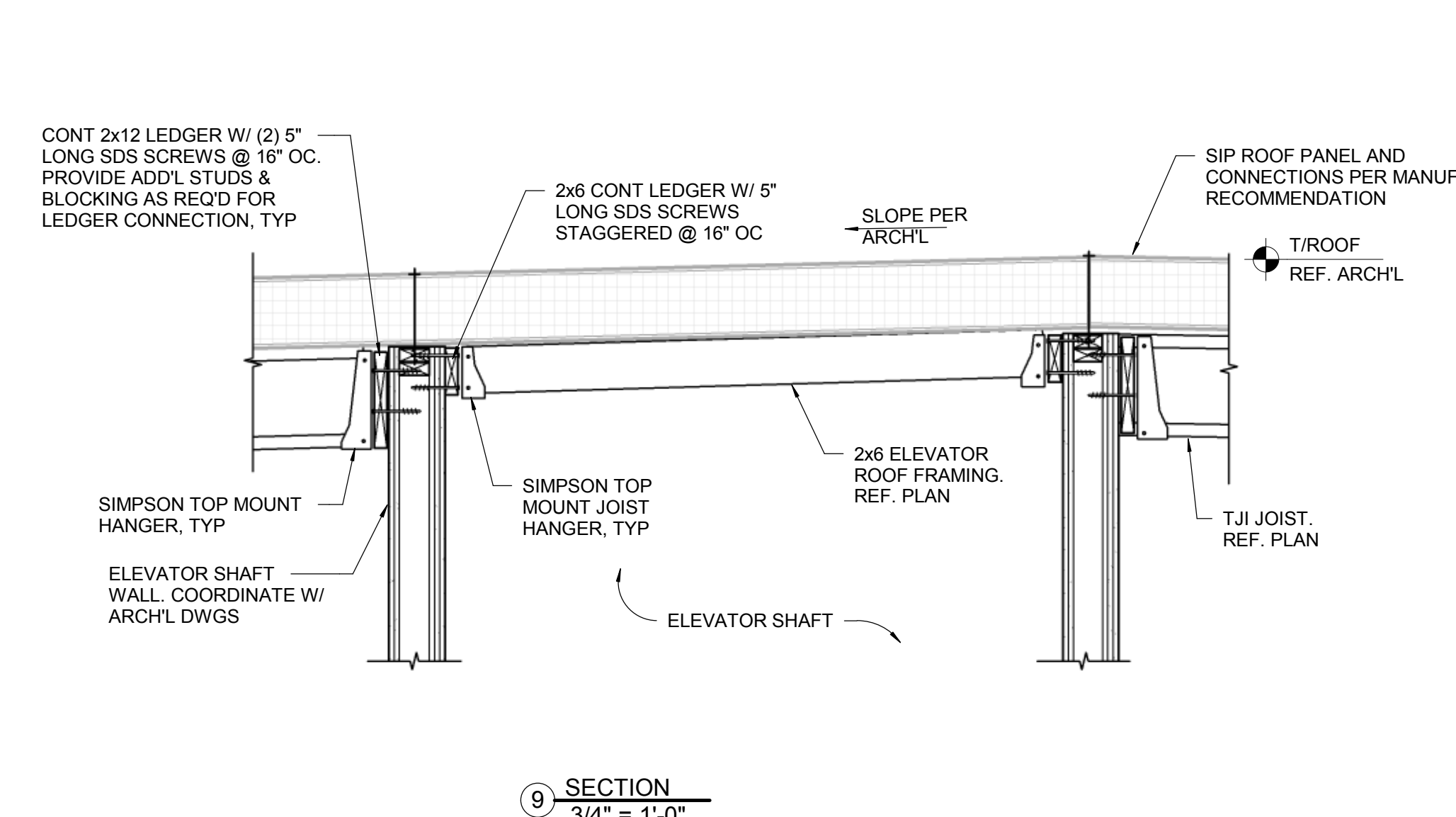
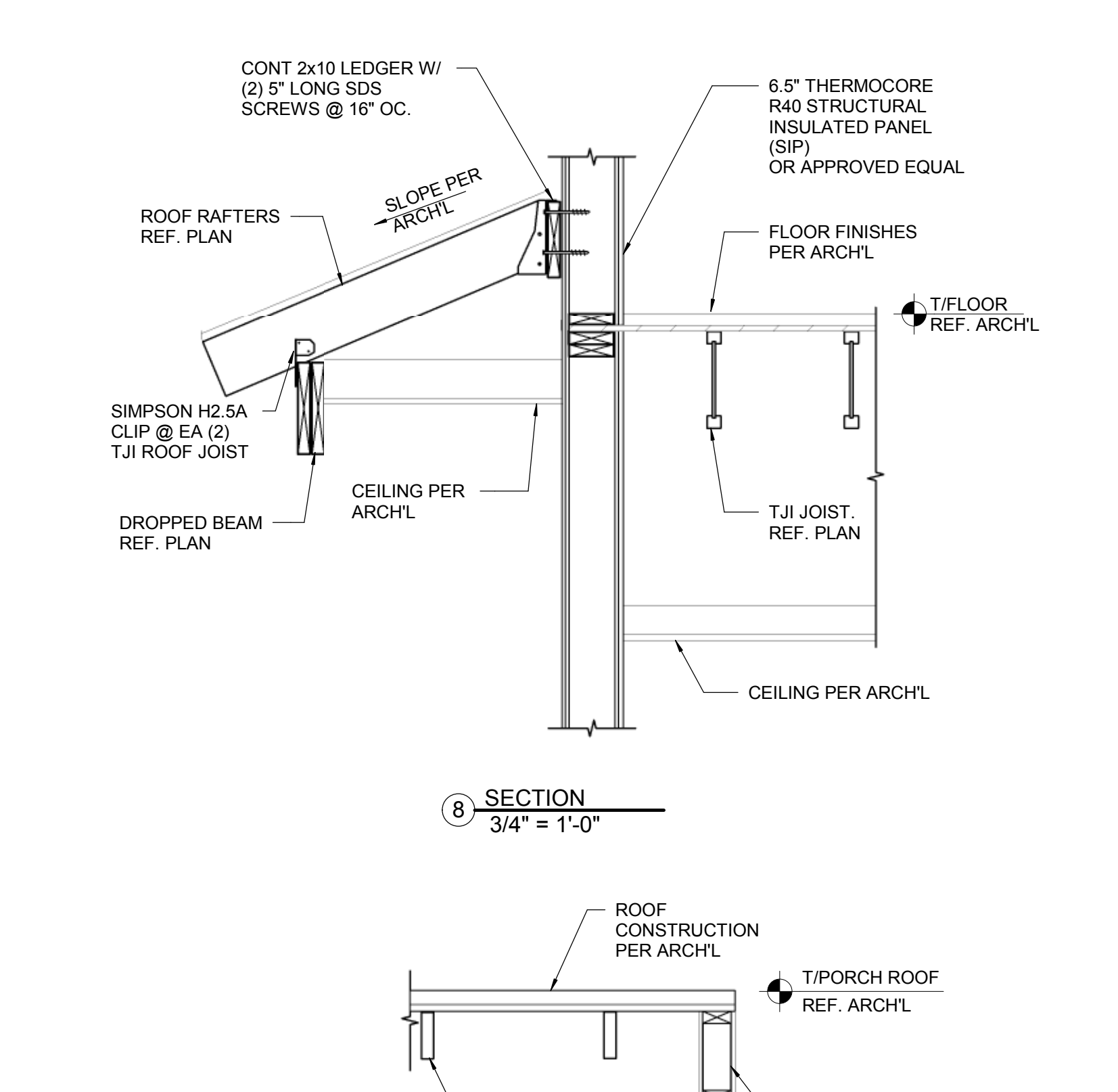
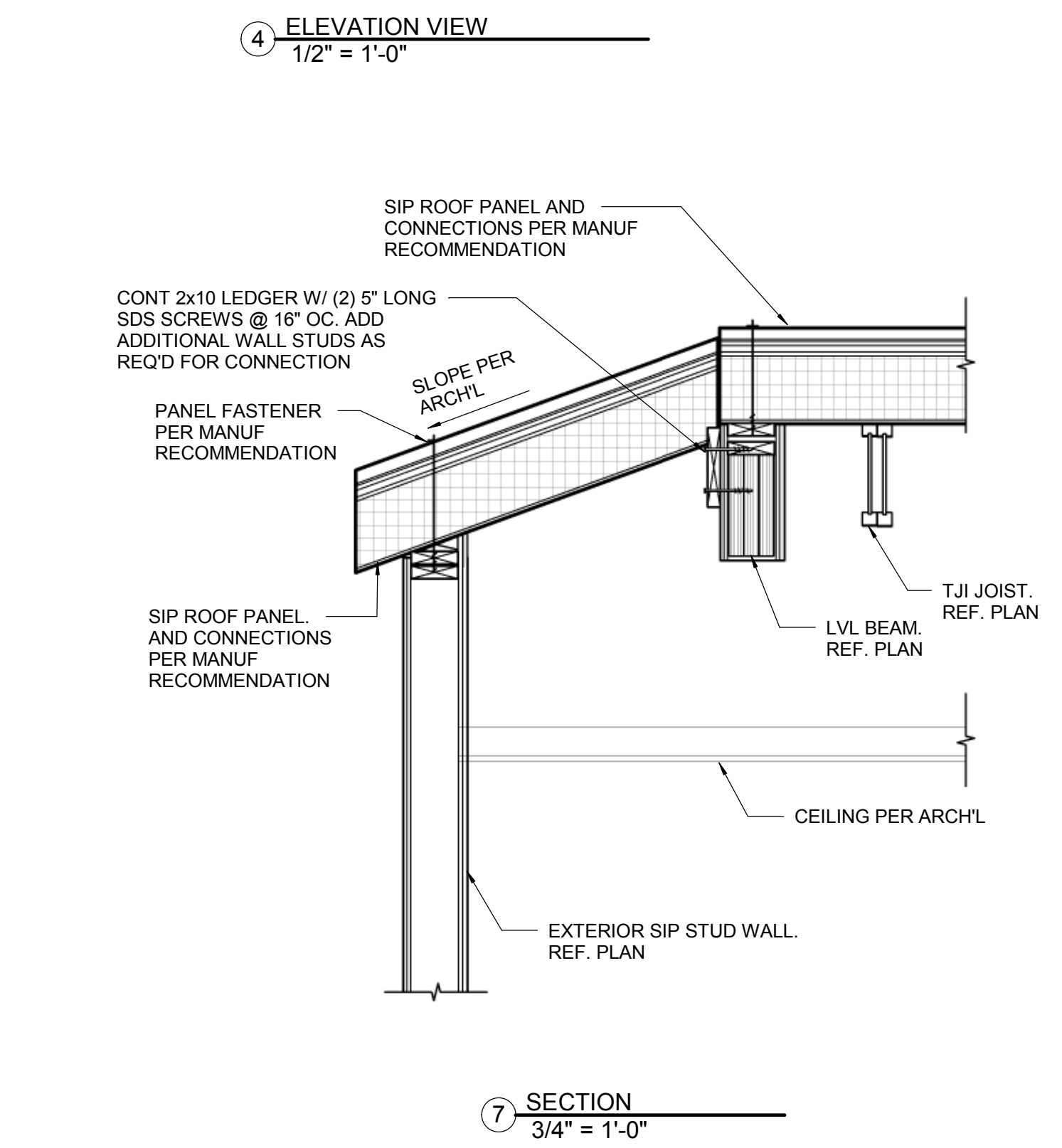
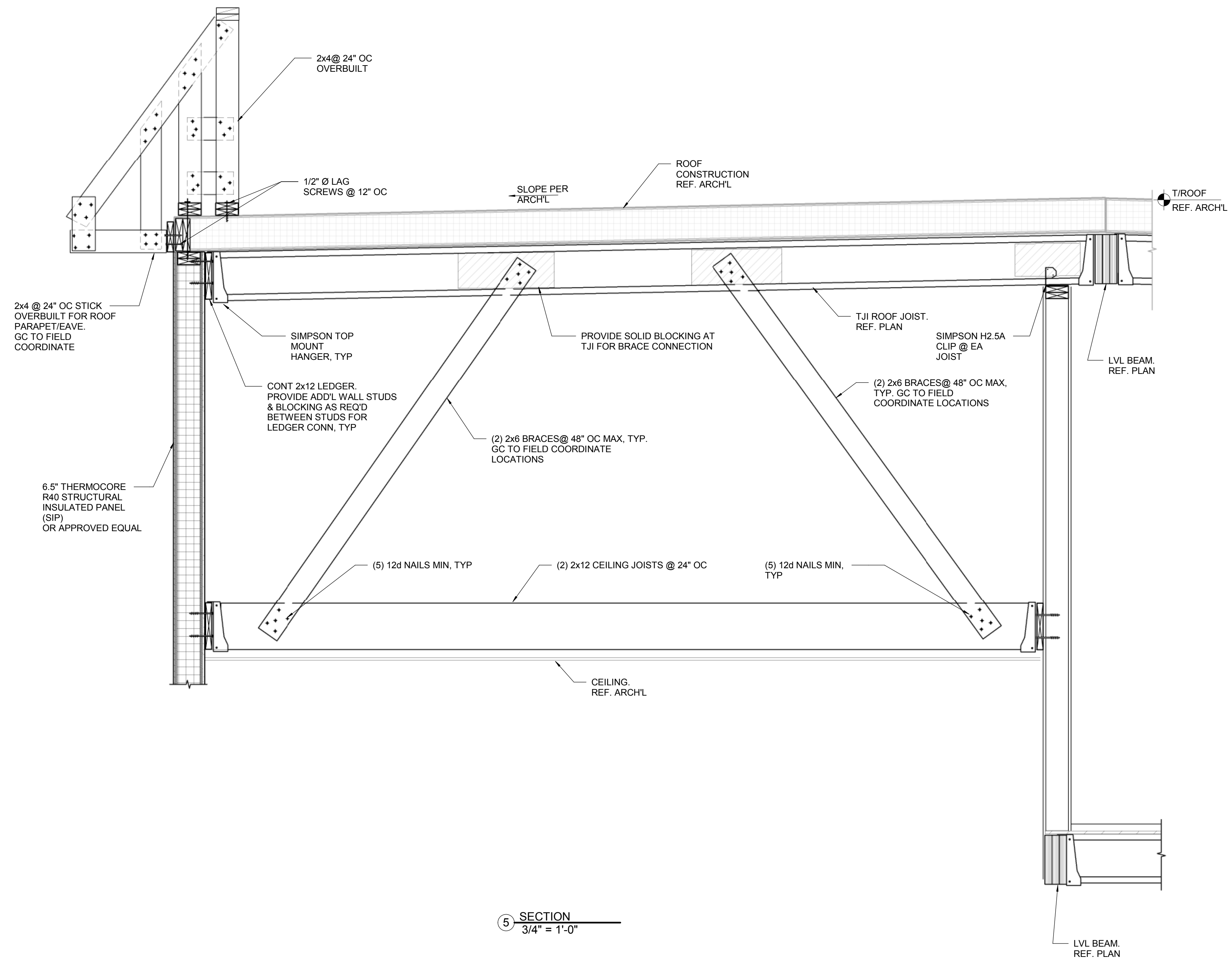
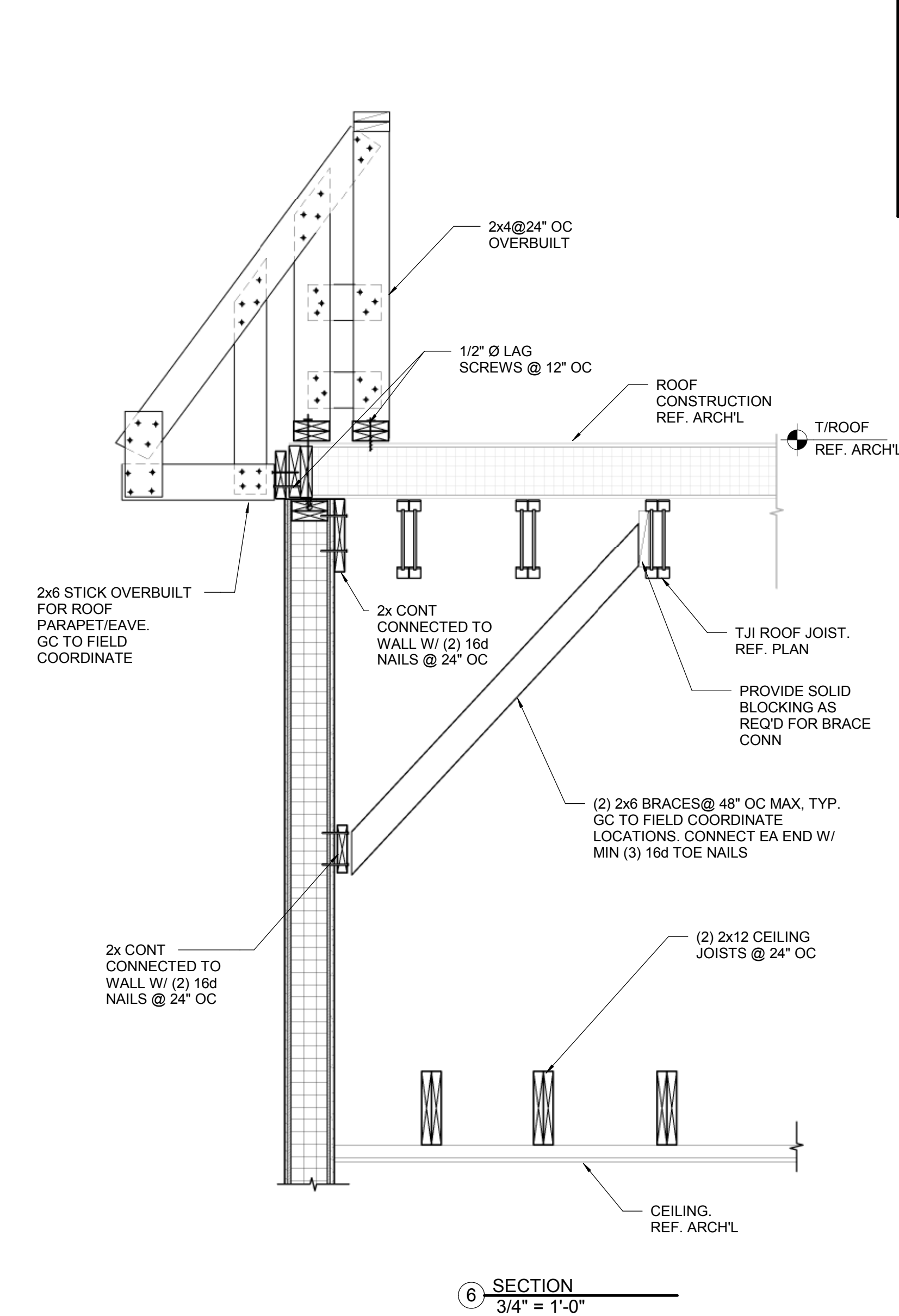
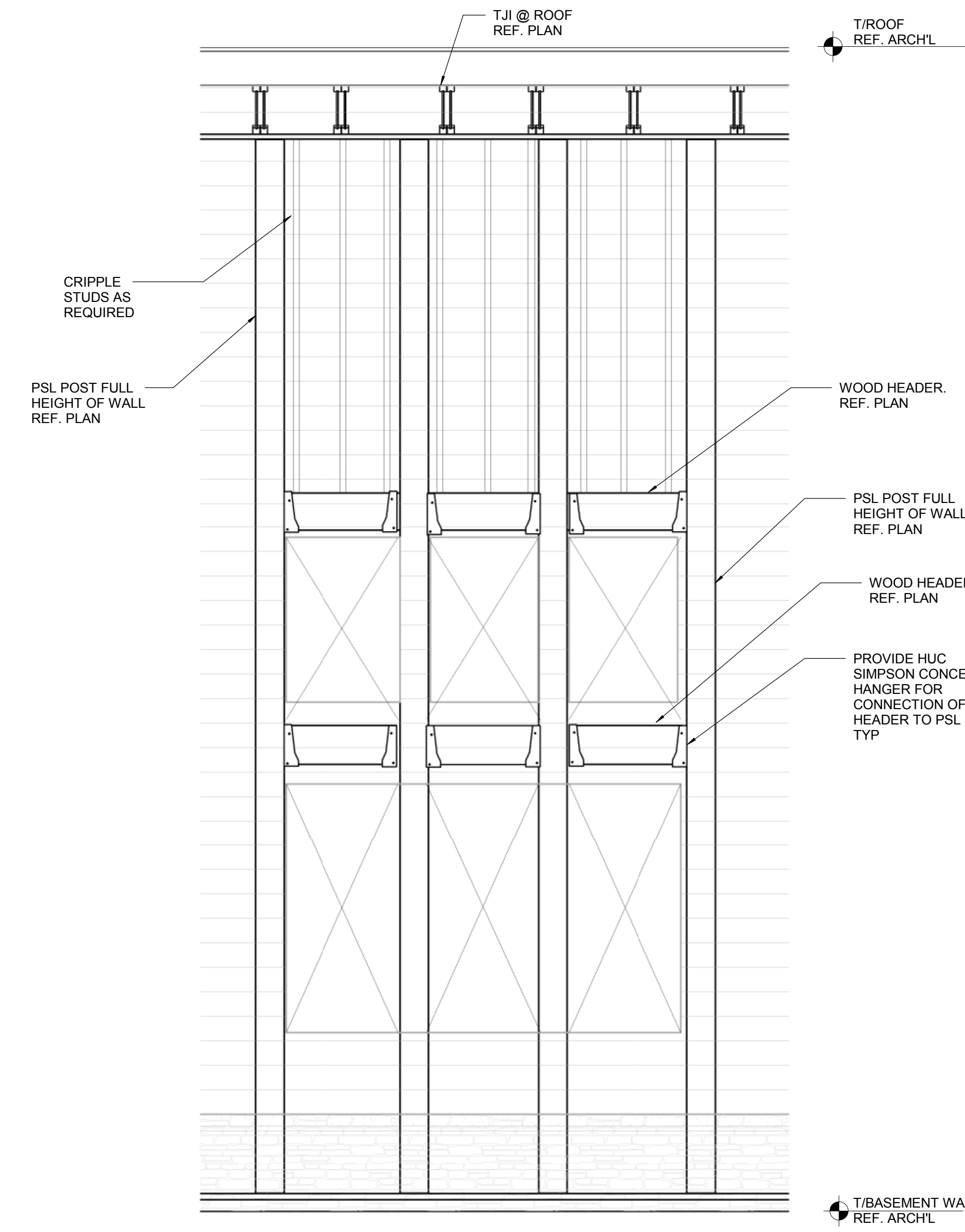
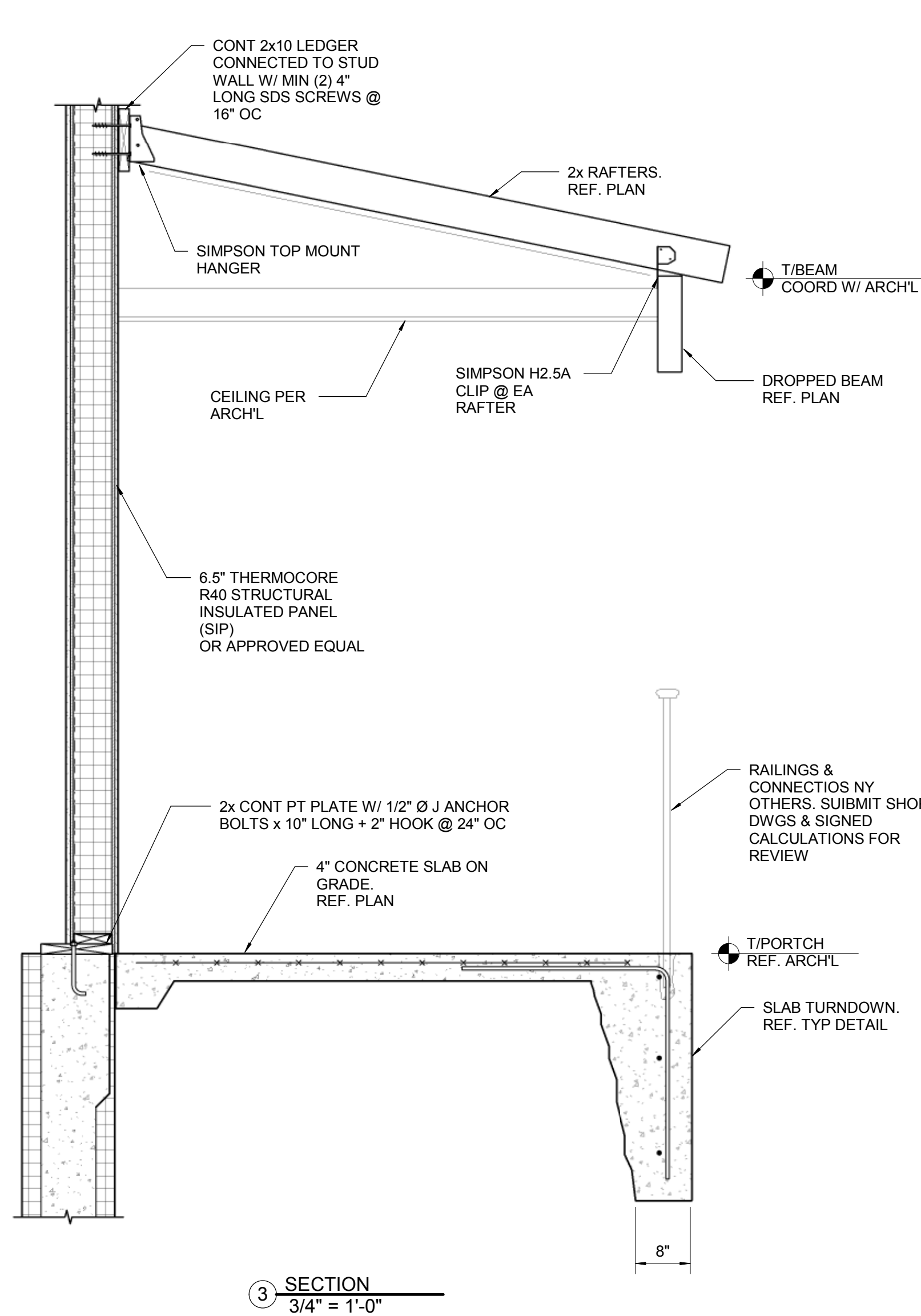
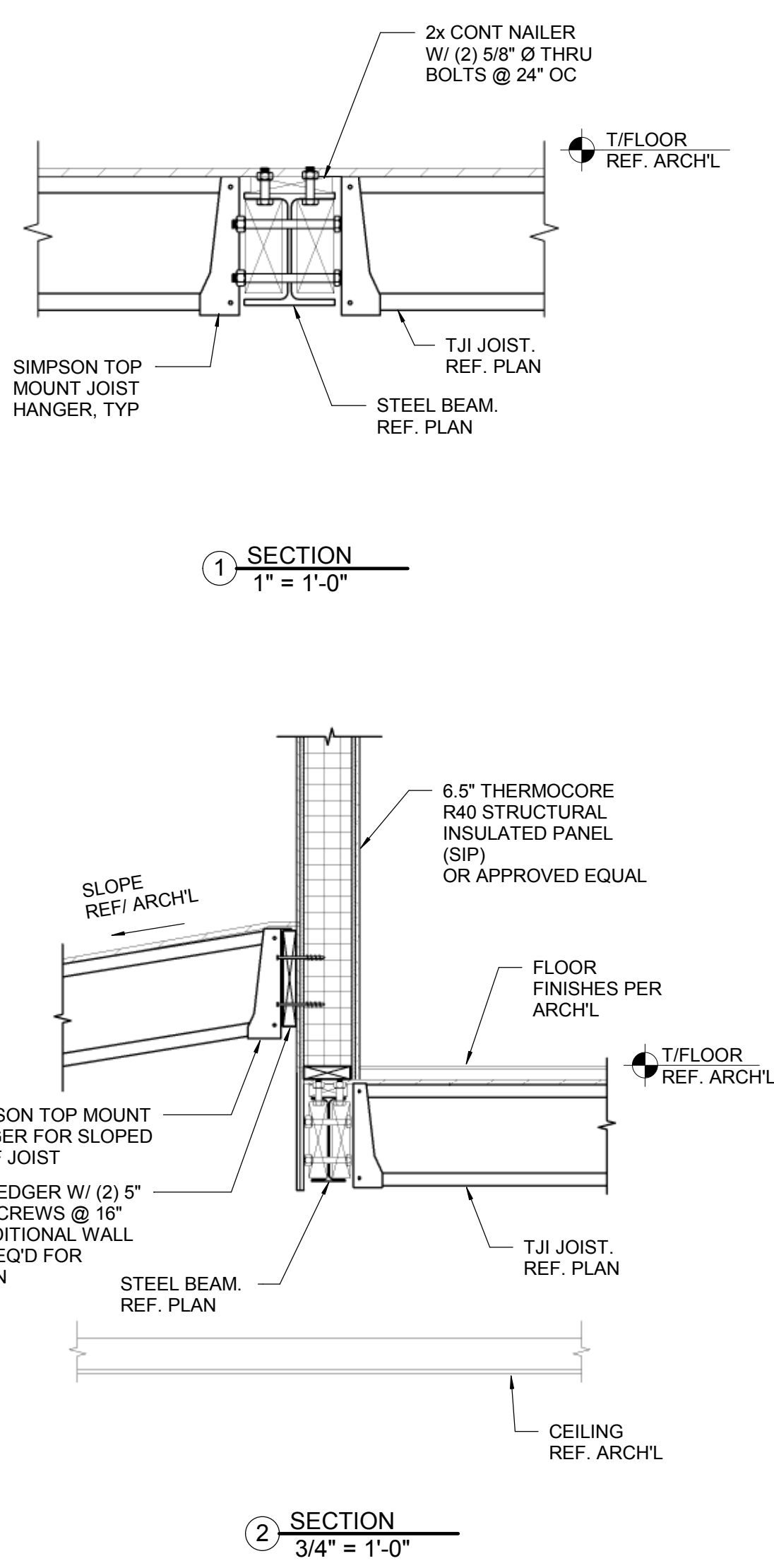
TYP FRAMING DETAILS

Scale 1" = 1'-0"  
Drawn Author  
Checked Checker

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NOTES:

1. (1) DENOTES GC TO FIELD COORDINATE

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Revision for Permit	05.20.2021

**FLOOR & ROOF SECTIONS**

Scale: As indicated  
Drawn: Author  
Checked: Checker

**S.311**



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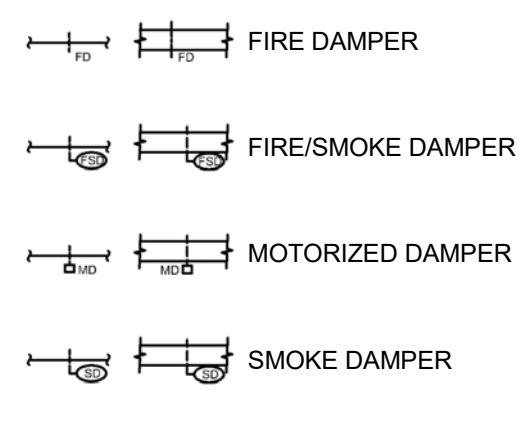
# MECHANICAL SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

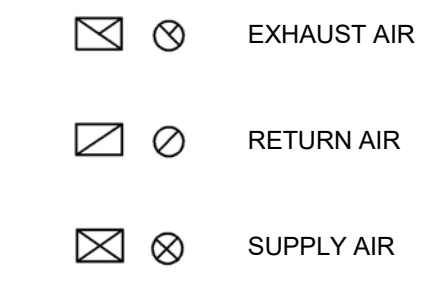
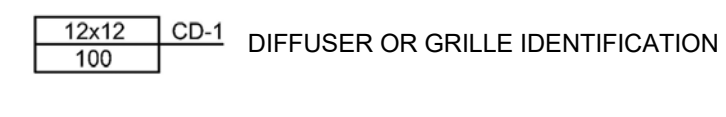
### Abbreviations

AFF	ABOVE FINISHED FLOOR
AD	ACCESS DOOR
AC	AIR CONDITION(ED)
AHU	AIR HANDLING UNIT
BDD	BACKDRAFT DAMPER
BFP	BACKFLOW PREVENTER
BFF	BELOW FINISHED FLOOR
B	BOILER
BHP	BRAKE HORSEPOWER
CD	CEILING DIFFUSER
CL	CENTERLINE
CV	CHECK VALVE
CH	CHILLER
COP	COEFFICIENT OF PERFORMANCE
CW	COLD WATER
CD	CONDENSATE DRAIN
CU	CONDENSING UNIT
CONT.	CONTINUATION
CT	COOLING TOWER
DB	DECIBEL
DP	DEW POINT, DIFFERENTIAL PRESSURE
DIA	DIAMETER
DX	DIRECT EXPANSION
DG	DOOR GRILLE
D	DROP
DB	DRY BULB
EFF	EFFICIENT
ELECT	ELECTRICAL
EL	ELEVATION
EER	ENERGY EFFICIENCY RATING
EAT	ENTERING AIR TEMPERATURE
EWT	ENTERING WATER TEMPERATURE
EXH	EXHAUST
EF	EXHAUST FAN
(E)	EXISTING
FA	FACE AREA
F	FAHRENHEIT
FC	FAN COIL
FT	FEET
FPM	FEET PER MINUTE
FPS	FEET PER SECOND
FPI	FINS PER INCH
FD	FIRE DAMPER
FC	FLEXIBLE CONNECTOR
FLA	FULL LOAD AMPS
GAL	GALLONS
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HD	HEAD
HP	HEAT PUMP
HTR	HEATER
HTG	HEATING
HP	HORSEPOWER
HWC	HOT WATER COIL
IN	INCHES
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
KW	KILOWATT
LH	LATENT HEAT
LAT	LEAVING AIR TEMPERATURE
LWT	LEAVING WATER TEMPERATURE
MW	MAKE-UP WATER
MAX	MAXIMUM
MIN	MINIMUM
MA	MIXED AIR
MS	MOTOR STARTER
MD	MOTORIZED DAMPER
MH	MOUNTING HEIGHT
(N)	NEW
NC	NOISE CRITERIA
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
OC	ON CENTER
ODB	OPPOSED BLADE DAMPER
OA	OUTSIDE AIR
OD	OUTSIDE DIAMETER
PH	PHASE
LBS.	POUNDS
PSI	POUNDS PER SQUARE INCH
PD	PRESSURE DROP
PRV	PRESSURE REDUCING VALVE
P	PUMP
QTY	QUANTITY
REF	REFRIGERANT
RL	REFRIGERANT LIQUID
RS	REFRIGERANT SUCTION
RH	RELATIVE HUMIDITY
RLD	RELIEF DAMPER
(R)	RELOCATE/RELOCATED LOCATION
RET	RETURN
RA	RETURN AIR
RPM	REVOLUTIONS PER MINUTE
R	RISE
SEER	SEASONAL ENERGY EFFICIENCY RATING
SH	SENSIBLE HEAT
SOV	SHUT OFF VALVE
SF	SQUARE FEET
SP	STATIC PRESSURE
SA	SUPPLY AIR
T, TEMP	TEMPERATURE
TD	TEMPERATURE DIFFERENCE
MBH	THOUSAND BTUS PER HOUR
TH	TOTAL HEAT
TP	TOTAL PRESSURE
UD	UNDERCUT DOOR
VAV	VARIABLE AIR VOLUME
VEL	VELOCITY
V	VOLT
VD	VOLUME DAMPER (HAND OPERATOR)
WC	WATER COLUMN
W	WATT
WB	WET BULB
WI	WITH

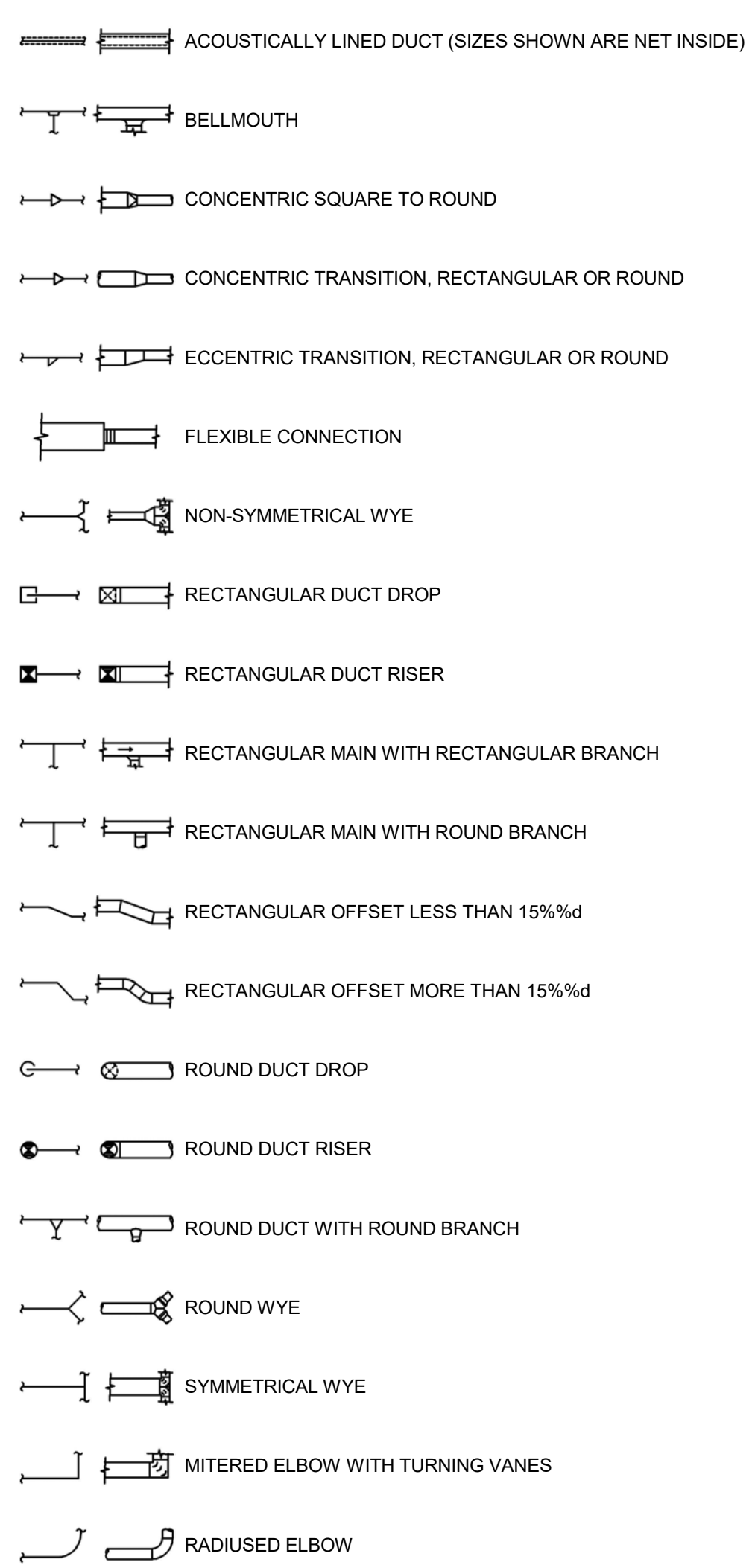
### Dampers



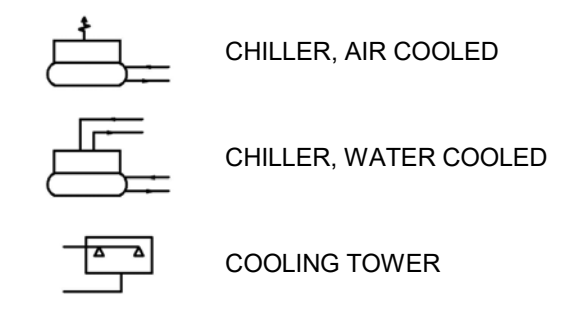
### Diffusers and Grilles



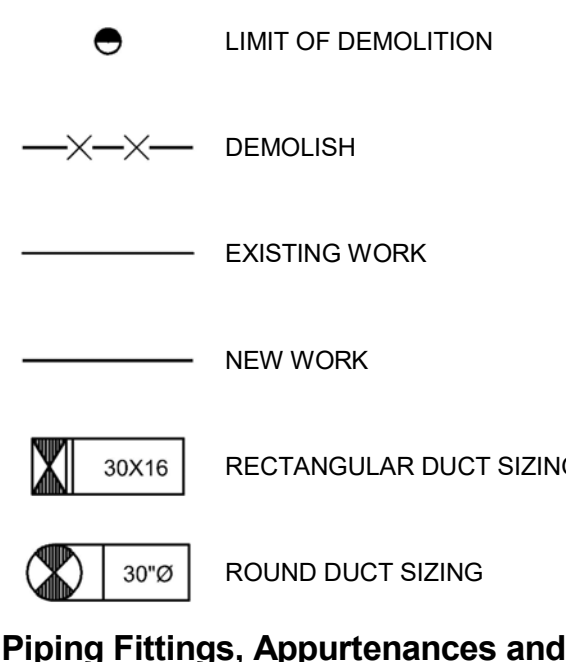
### Ductwork Fittings



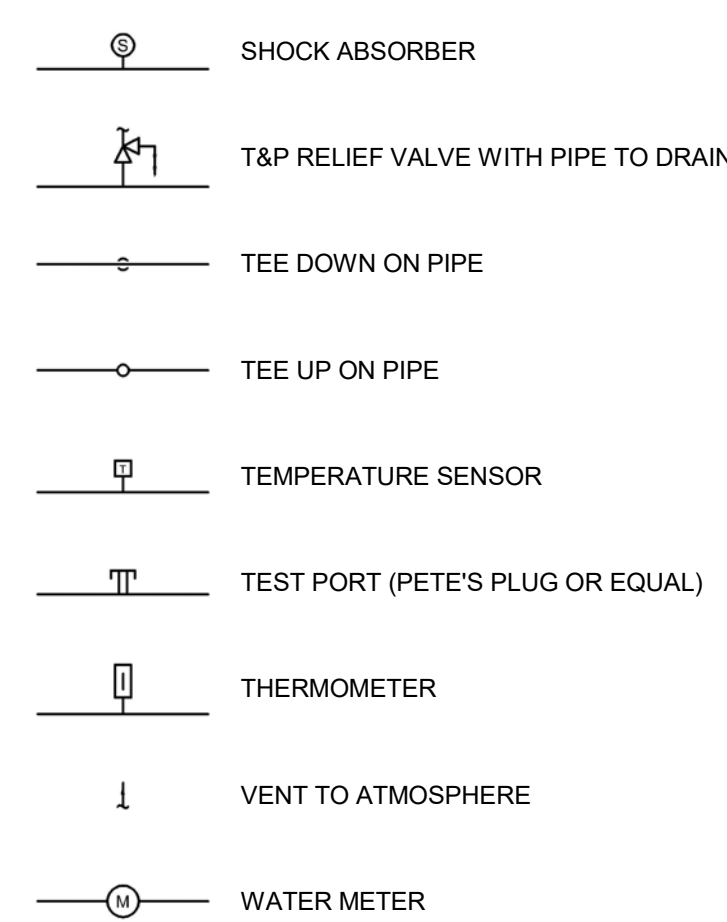
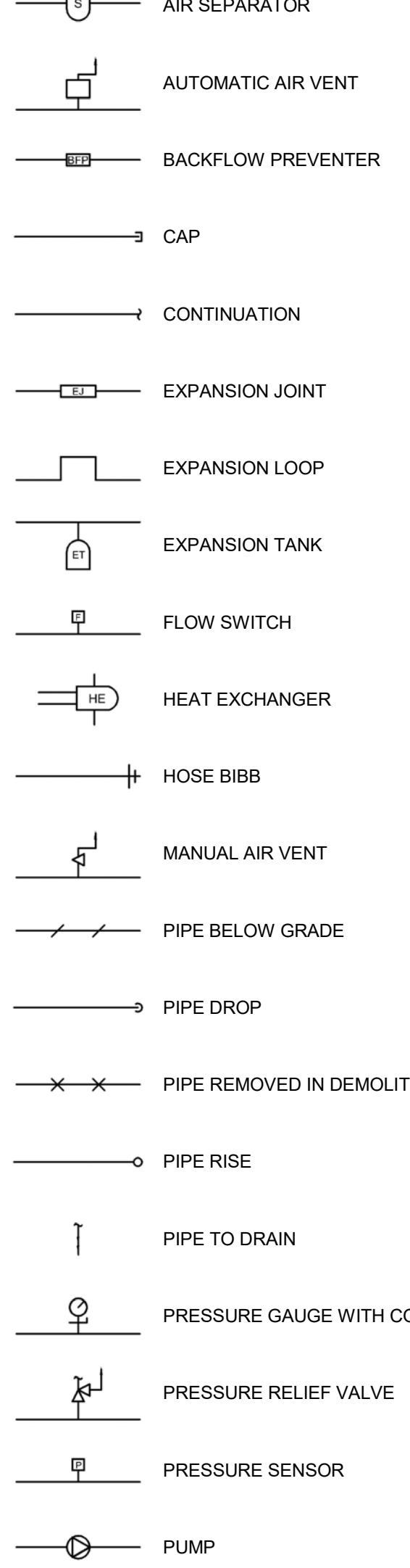
### Equipment



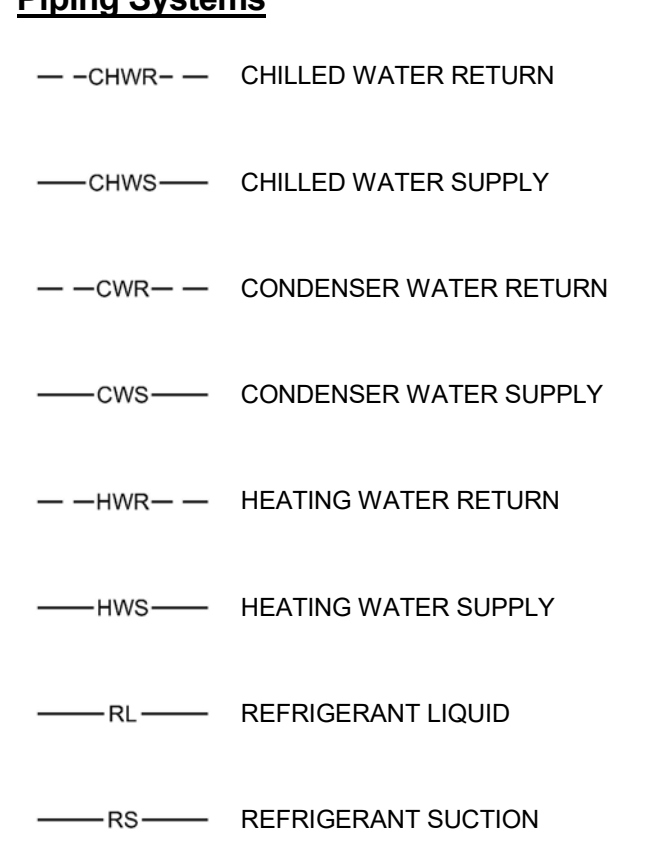
### General



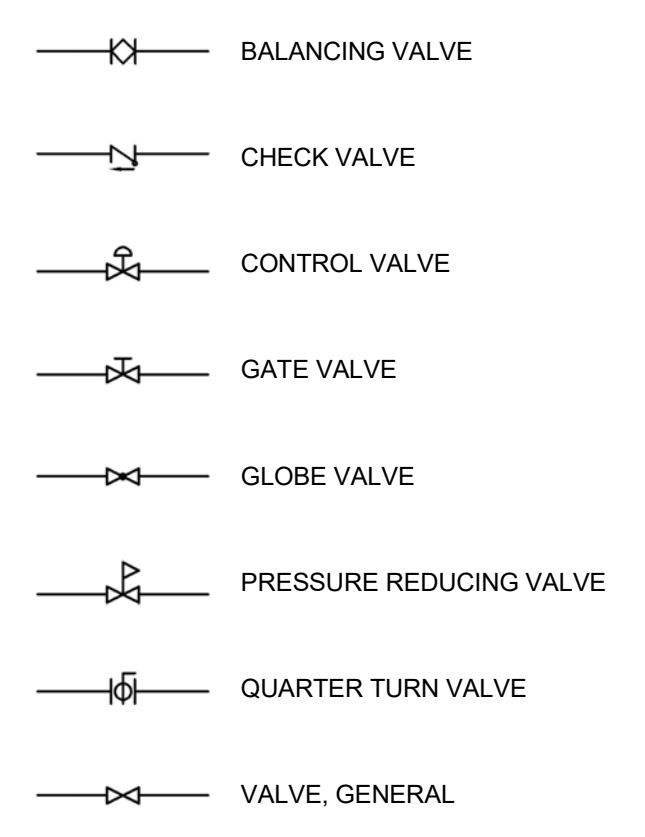
### Piping Fittings, Appurtenances and Equipment



### Piping Systems



### Piping Valves



## GENERAL MECHANICAL NOTES

- A. THE ENTIRE MECHANICAL SYSTEMS, INSTALLATION AND TESTING MUST BE IN COMPLIANCE TO THE LOCAL ADOPTED BUILDING CODES.
- B. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
- C. IN THE EVENT OF A DISCREPANCY BETWEEN CONTRACT DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT SHALL GOVERN. ALL WORK TO BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING STATE AND LOCAL FIRE AND BUILDING CODES, NFPA, AND OSHA. INSTALL ALL PIPING AND DUCTWORK TO AVOID ARCHITECTURAL FRAMING, STRUCTURAL MEMBERS, AND OTHER OBSTRUCTIONS. COORDINATE PIPING AND DUCTWORK LOCATION WITH ALL APPLICABLE CONTRACT DRAWINGS PRIOR TO PLACING SLEEVES IN FLOORS OR WALLS. INSTALL ALL PIPING AND DUCTWORK TO BEST SUIT FIELD CONDITIONS AND COORDINATE WITH THE INSTALLATION WORK OF OTHER TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATIONS OF PIPING OR DUCTWORK.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS TO COORDINATE EXACT DIFFUSER LOCATIONS IN FINISHED CEILING. COORDINATE DUCTWORK, PIPING WITH STRUCTURAL DRAWINGS, LIGHTING, AUDIO VISUAL AND SPRINKLER SYSTEM. PROVIDE TRANSITIONS AS REQUIRED. COORDINATE LOCATIONS OF ACCESS DOORS WITH F.D.'S, V.D.'S, SD, ETC. THE OPENING SHALL BE LARGE ENOUGH TO PERMIT MAINTENANCE AND RESETTING OF THE DEVICE.
- E. PROVIDE ALL MISCELLANEOUS STEEL, SPECIAL SUPPORTS AND ANCHORING FOR ALL MECHANICAL EQUIPMENT REQUIRING SUCH. REFER TO STRUCTURAL DRAWINGS.
- F. ALL DUCT DIMENSIONS ARE AIRSTREAM DIMENSIONS.
- G. SEAL ALL FIRE RATED PENETRATIONS WITH FIRE RETARDANT MATERIAL AS SPECIFIED.
- H. THERMOSTAT APPEARANCE SHALL BE COORDINATED WITH THE ARCHITECT/OWNER(48" AFF TO TOP OF THERMOSTAT BOX).
- I. PROVIDE OPERATING HANDLES FOR ALL VALVES AND COCKS WITHOUT INTEGRAL OPERATORS.
- J. ALL BRANCH DUCTS TO AIR OUTLET SHALL BE EQUIPPED WITH DUCT VOLUME DAMPER. NO INTEGRAL OBD'S WITHIN DIFFUSERS OR REGISTER.
- K. DUCTS STORED ON THE CONSTRUCTION SITE SHALL BE PROTECTED AND ISOLATED FROM DUST CONTAMINATION
- L. AT CONTRACTOR DISCRETION HE MAY SUBSTITUTE RECTANGULAR DUCTWORK TO ROUND DUCTWORK WHERE PHYSICAL OBSTRUCTIONS DO NOT INTERFERE. THE SUBSTITUTION WILL REQUIRE THE CONTRACTOR TO COORDINATE WITH ALL OTHER TRADES. DUCT PRESSURE DROPS AND VELOCITIES MAY NOT EXCEED THAT SHOWN ON BID DOCUMENTS.
- M. SEE ARCHITECTURAL DOCUMENTS FOR PAINTING OF ALL EXPOSED DUCTWORK, PIPING, AIR OUTLETS, FIXTURE TRIM, AND MECHANICAL EQUIPMENT.
- N. UNLESS SPECIFICALLY SPECIFIED OR SHOWN OTHERWISE ALL CONSTRUCTION IS TO CONFORM TO SMACNA HVAC CONSTRUCTION STANDARDS AS A MINIMUM REQUIREMENT.
- O. ALL PIPING TO BE LOCATED INSIDE WALL CAVITIES OR INACCESSIBLE SPACES SHALL BE LEAK TESTED AND INSULATED WITH VAPOR BARRIER SEAL BEFORE INSTALLATION (TYPICAL).
- P. ALL WORK UNDER THIS DIVISION SHALL BE COORDINATED WITH OTHER TRADES.
- Q. ALL MATERIALS AND WORKMANSHIP ARE SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT. ANY PORTION OF THE WORK FOUND TO BE DEFECTIVE SHALL BE REPLACED BY THE CONTRACTOR AS PART OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
- R. NOT ALL DUCT TRANSITIONS AND/OR OFFSETS ARE SHOWN. PROVIDE TRANSITIONS AND/OR OFFSETS AT NO ADDITIONAL COST TO OWNER.
- S. PROVIDE ALL REQUIRED MISCELLANEOUS STEEL FOR COMPLETE INSTALLATION OF SYSTEMS AND FOR SUPPORT OF DUCTWORK, PIPING, ETC. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ALL CONDITIONS SHALL BE CONTRACTOR COORDINATED AND VERIFIED FOR EXACT LOCATION AND SIZES. THE CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VERIFY ALL CONDITIONS BEFORE SUBMITTING HIS BID.
- T. ALL SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH A MINIMUM OF R-6 INSULATION WHERE LOCATED IN UNCONDITIONED SPACES.
- U. SUPPLY AND RETURN DUCTWORK SHALL BE SEALED AS APPROPRIATE FOR 2 INCH DUCT PRESSURE CLASSIFICATION.
- V. ZONE THERMOSTAT CONTROLS SHALL PROVIDE A TEMPERATURE DEADBAND OF AT LEAST 5 DEGREES F WITHIN WHICH THE SUPPLY OF HEATING AND COOLING TO THE ZONE IS CAPABLE OF BEING REDUCED TO A MINIMUM.
- W. ALL MECHANICAL EQUIPMENT REQUIRES PHYSICAL TAGGING PER SPECIFICATION 230553.

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Project: 19296-01

Issued	12/21/20
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Revisions	
1 Permit Revisions	05.20.2021

**SYMBOL LIST AND GENERAL NOTES - MECHANICAL**

M001	SYMBOL LIST AND GENERAL NOTES - MECHANICAL
M101	FLOOR PLANS - BASEMENT & GROUND LEVEL - MECHANICAL
M102	FLOOR PLANS - 2ND & ATTIC LEVEL - MECHANICAL
M103	MECHANICAL SITE PLAN
M601	SCHEDULES - MECHANICAL
M701	DETAILS - MECHANICAL
M702	DETAILS - MECHANICAL
M703	DETAILS - MECHANICAL
M704	DETAILS - MECHANICAL

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 Checked GKW

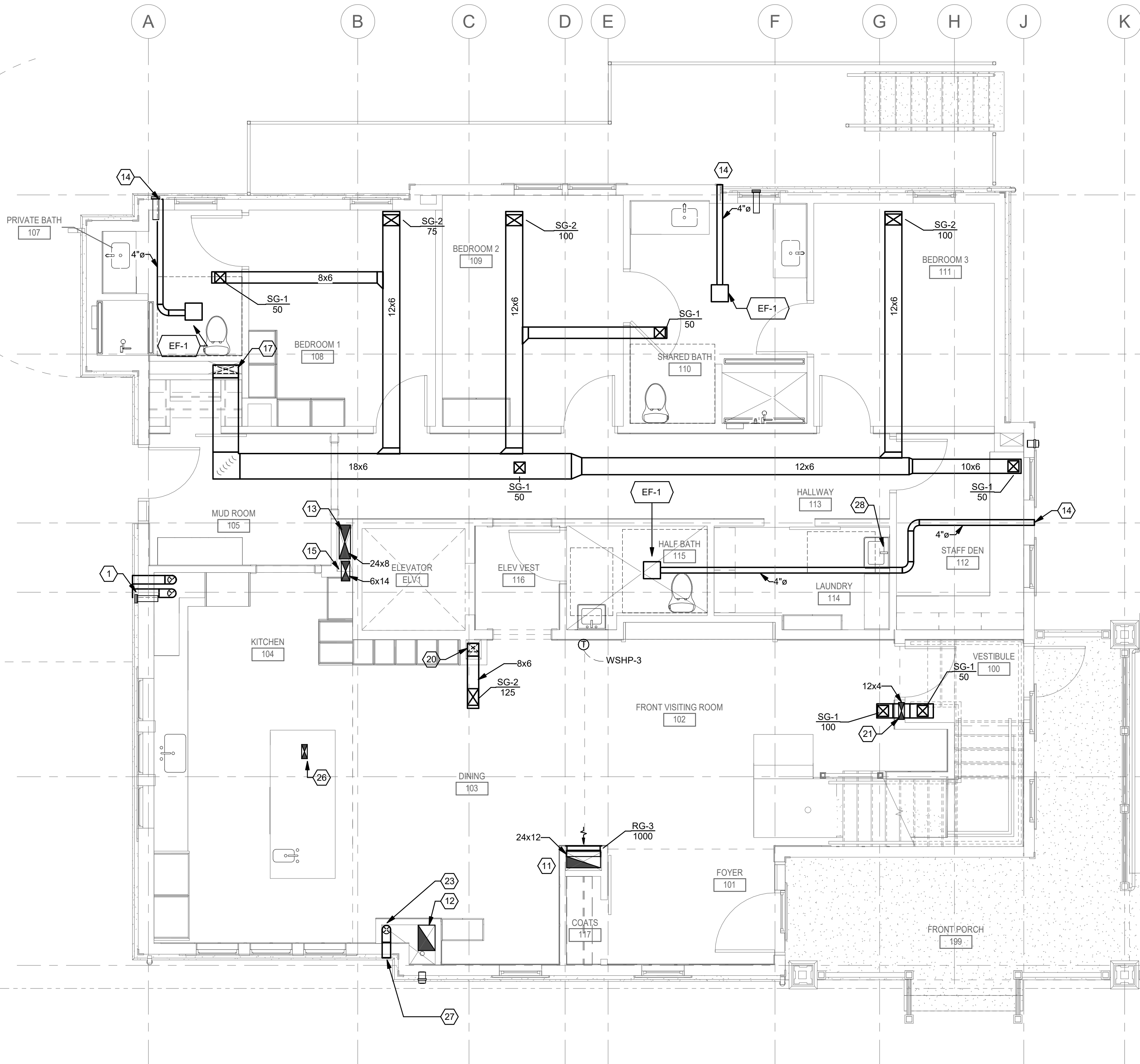
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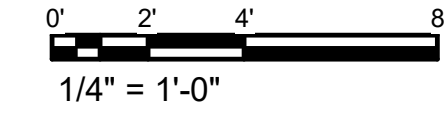
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**2 GROUND LEVEL MECHANICAL PLAN - OVERALL**

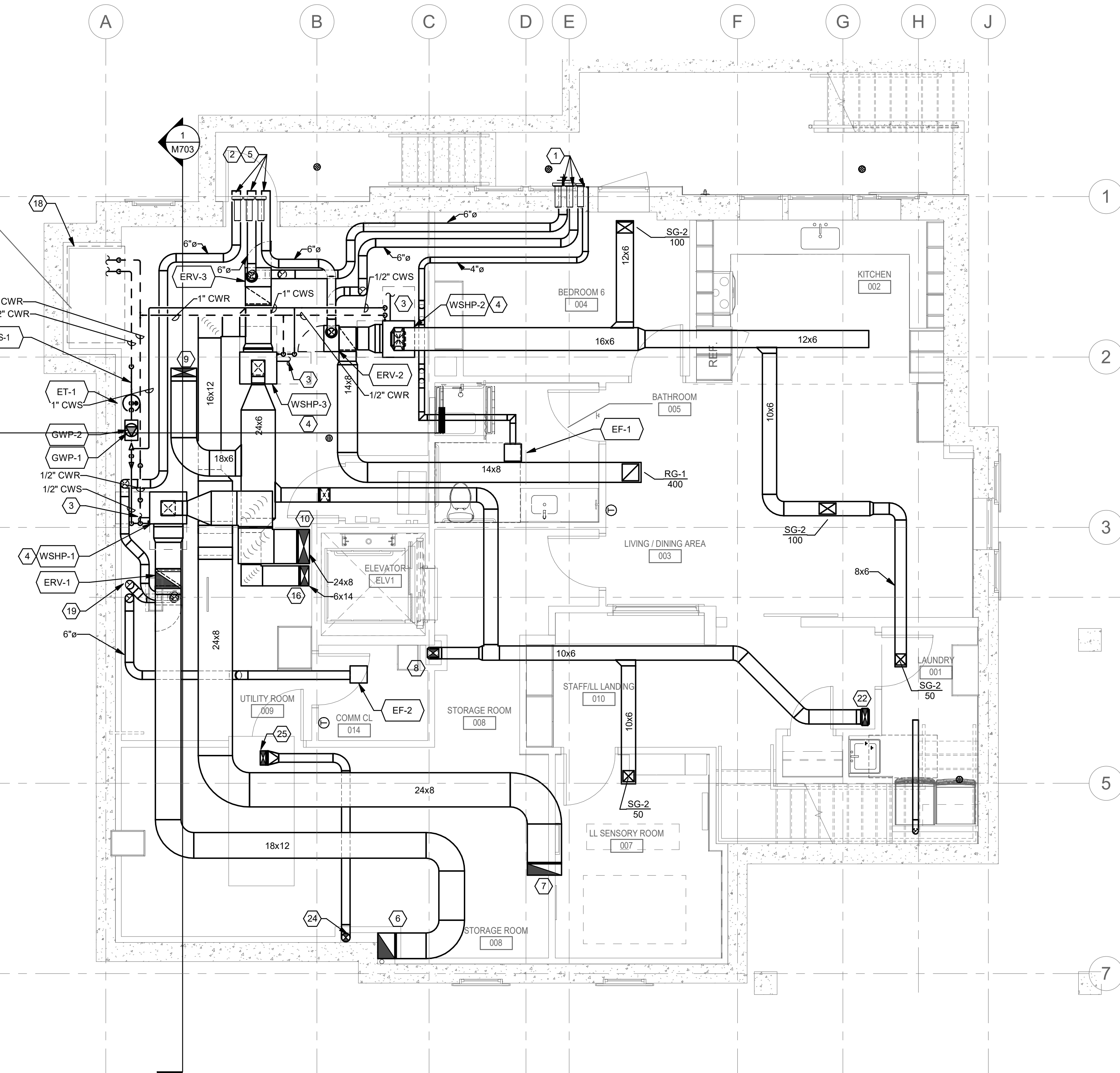


**GENERAL SHEET NOTES**

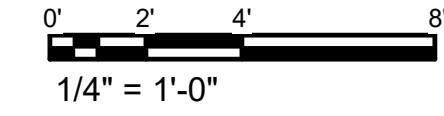
- 1 BALANCE ALL OUTSIDE AIR SUPPLY DAMPERS TO CFM'S INDICATED IN WSHP SCHEDULES.
- 2 ALL PENETRATIONS OF FIRE RATED PARTITIONS SHALL BE PROVIDED WITH FIRE DAMPERS.
- 3 UNIT CONDENSATE DRAIN SIZE TO MATCH DRAIN CONNECTION SIZE OF UNIT INSTALLED.
- 4 PROVIDE UL 500C FIRE DAMPER AT GRILLES AND DIFFUSERS LOCATED IN FIRE RATED CEILING ASSEMBLY. REFER TO DETAILS 6 & 7 ON SHEET M702.

**SHEET KEYNOTES**

- 1 PROVIDE WITH VENT HOOD AND SCREEN.
- 2 PROVIDE WITH VENT HOOD AND SCREEN. OA INTAKE SHALL BE LOCATED MIN. OF 10 FT AWAY FROM CONTAMINANT SOURCES SUCH AS VENTS OR EXHAUSTS.
- 3 ROUTE CONDENSATE DRAINS TO NEAREST DRAIN.
- 4 PROVIDE WSHP AND INSTALL IN BASEMENT. PROVIDE WITH ALL REQUIRED ACCESSORIES, CONTROLS, WIRING, POWER, PIPING, ETC. FOR SUCCESSFUL UNIT INSTALLATION AND PROPER UNIT OPERATION.
- 5 PROVIDE 2 INCHES OF INSULATION ON OUTSIDE AIR INTAKE DUCT AND CONNECT TO RETURN AIR DUCT. PROVIDE WITH BALANCING DAMPER IN OUTSIDE AIR DUCT. TERMINATE OUTSIDE AIR DUCT IN WALL WITH VENT HOOD.
- 6 18 X 12 RETURN AIR UP TO ATTIC SPACE.
- 7 24 X 8 RETURN AIR UP TO LEVEL ONE.
- 8 10 X 6 SUPPLY AIR UP TO LEVEL ONE.
- 9 18 X6 SUPPLY AIR UP TO ATTIC SPACE.
- 10 24 X 8 SUPPLY AIR UP TO LEVEL ONE.
- 11 24 X 8 RETURN AIR DOWN TO BASEMENT.
- 12 18 X 12 RETURN AIR DOWN TO BASEMENT.
- 13 24 X 8 SUPPLY AIR DOWN TO BASEMENT.
- 14 PROVIDE EXHAUST WITH VENT HOOD.
- 15 14 X 6 SUPPLY AIR DOWN TO BASEMENT.
- 16 14 X 6 SUPPLY AIR UP TO ATTIC SPACE.
- 17 18 X 6 SUPPLY AIR DOWN TO BASEMENT.
- 18 GEOTHERMAL MANIFOLD AND MAIN PIPING IN THIS AREA. NEW PIPING SHOWN IN THIS ROOM SHALL BE CONNECTED TO THE EXISTING SUPPLY AND RETURN GEOTHERMAL VALVED AND CAPPED CONNECTIONS.
- 19 6" DIAMETER EXHAUST DUCT UP TO FIRST FLOOR.
- 20 10 X 6 SUPPLY AIR DOWN TO BASEMENT.
- 21 12 X 4 SUPPLY AIR DOWN TO BASEMENT.
- 22 12 X 4 RETURN AIR UP TO LEVEL ONE.
- 23 6" DIAMETER DUCT DOWN TO BASEMENT.
- 24 6" DIAMETER DUCT UP TO WALL CAP ON SIDEWALL OF LEVEL 1.
- 25 4" x 10" DUCT UP TO KITCHEN DOWNDRAFT EXHAUST HOOD.
- 26 4" x 10" DUCT DOWN TO BASEMENT.
- 27 PROVIDE WITH WALL CAP AND DAMPER.



**1 BASEMENT LEVEL MECHANICAL PLAN - OVERALL**



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Revisions

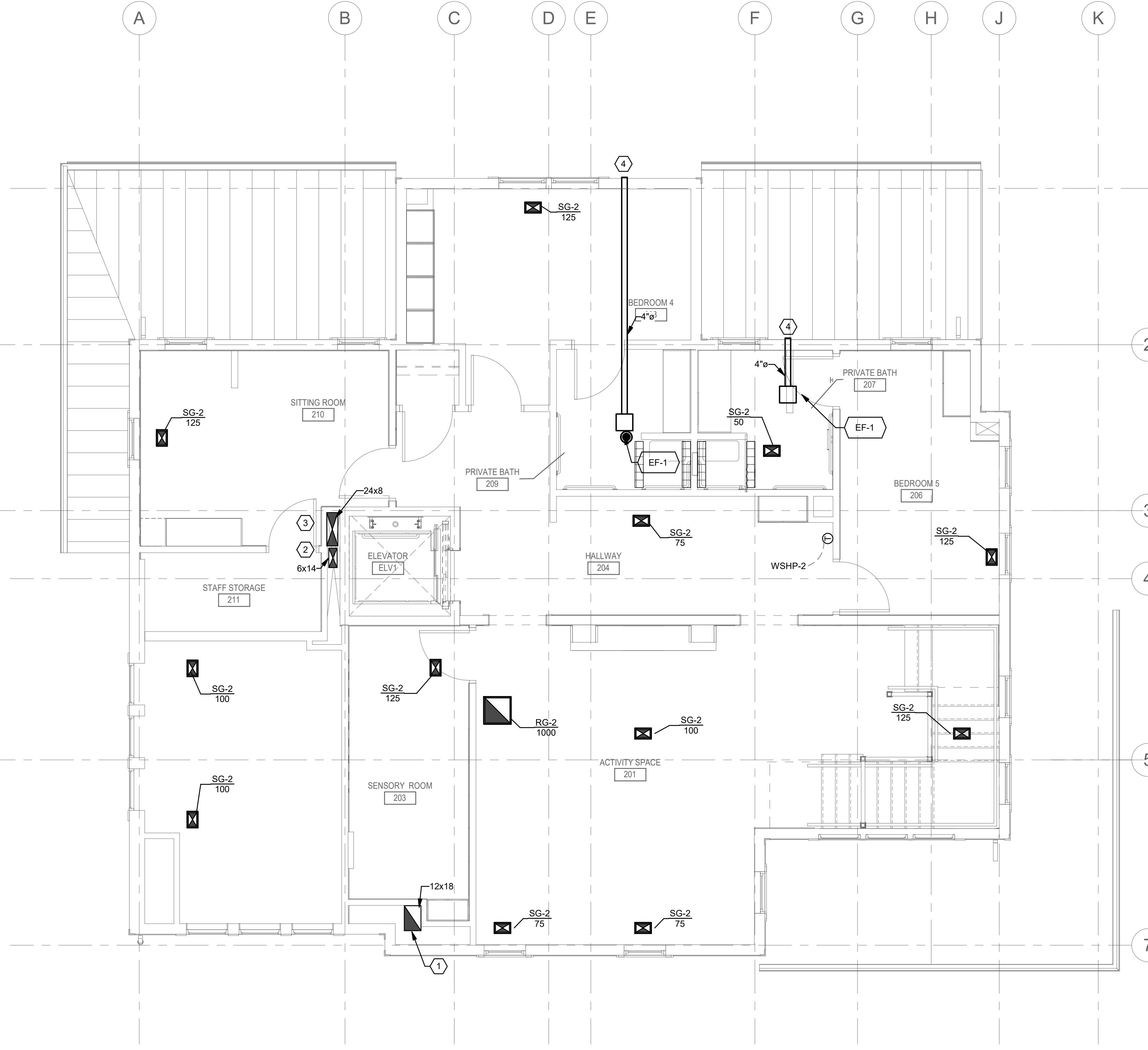
**FLOOR PLANS - BASEMENT & GROUND LEVEL - MECHANICAL**

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 Checked JD

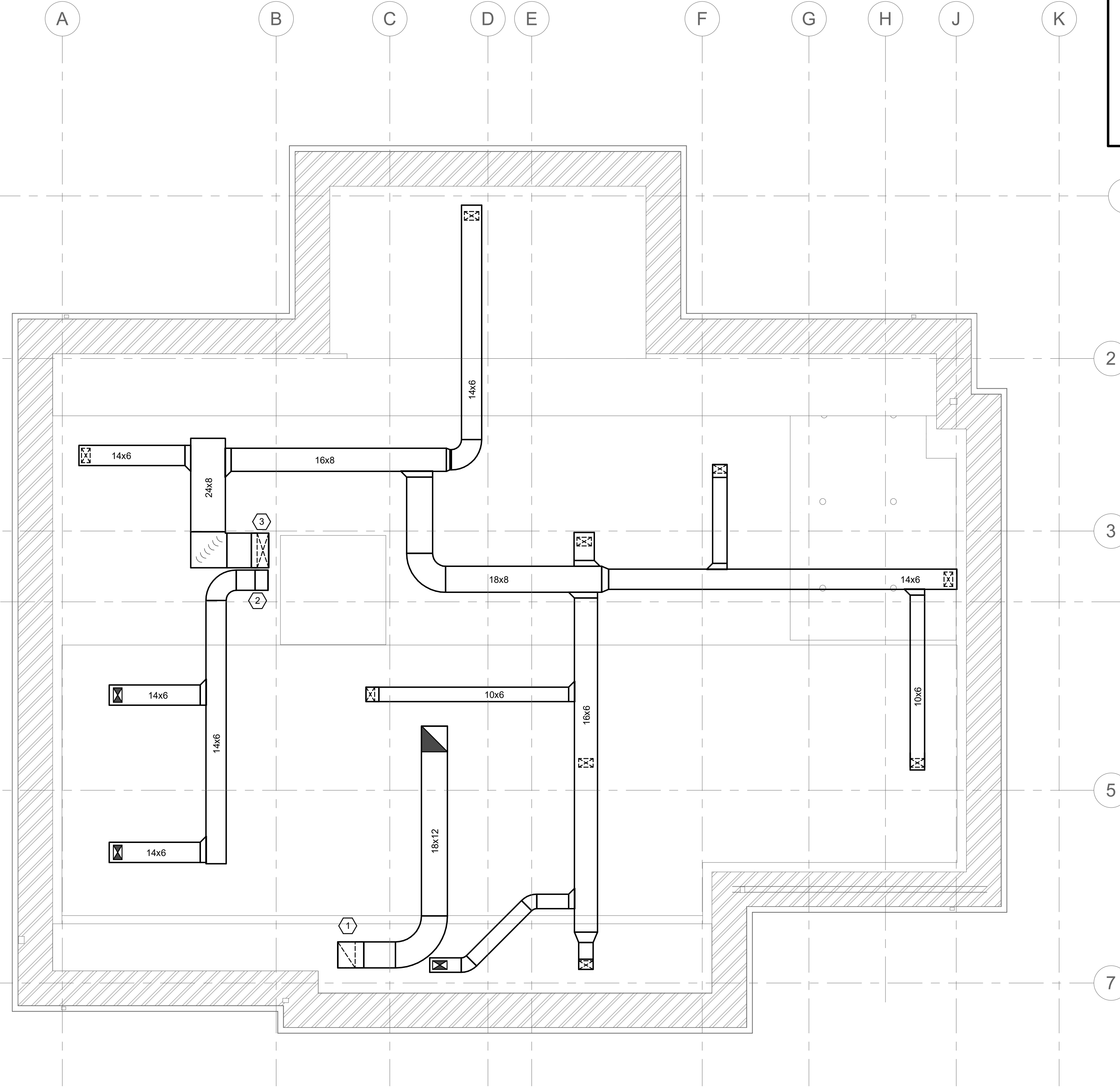
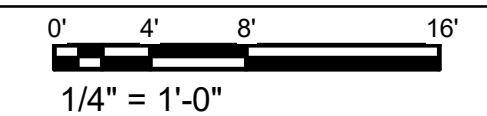
**M101**

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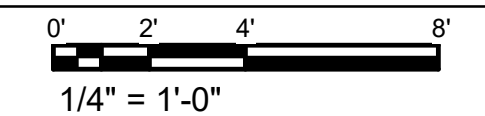




**1 SECOND LEVEL MECHANICAL PLAN - OVERALL**



**2 ATTIC MECHANICAL PLAN - OVERALL**



**GENERAL SHEET NOTES**

- 1 ALL PENETRATIONS OF FIRE RATED PARTITIONS SHALL BE PROVIDED WITH FIRE DAMPERS.
- 2 PROVIDE UL 500C FIRE DAMPER AT GRILLES AND DIFFUSERS LOCATED IN FIRE RATED CEILING ASSEMBLY. REFER TO DETAILS 6 & 7 ON SHEET M702.

**SHEET KEYNOTES**

- 1 18 X 12 RETURN AIR DOWN TO BASEMENT.
- 2 14 X 6 SUPPLY AIR DOWN TO BASEMENT.
- 3 24 X 8 SUPPLY AIR DOWN TO BASEMENT.
- 4 PROVIDE WITH VENT HOOD AND SCREEN.

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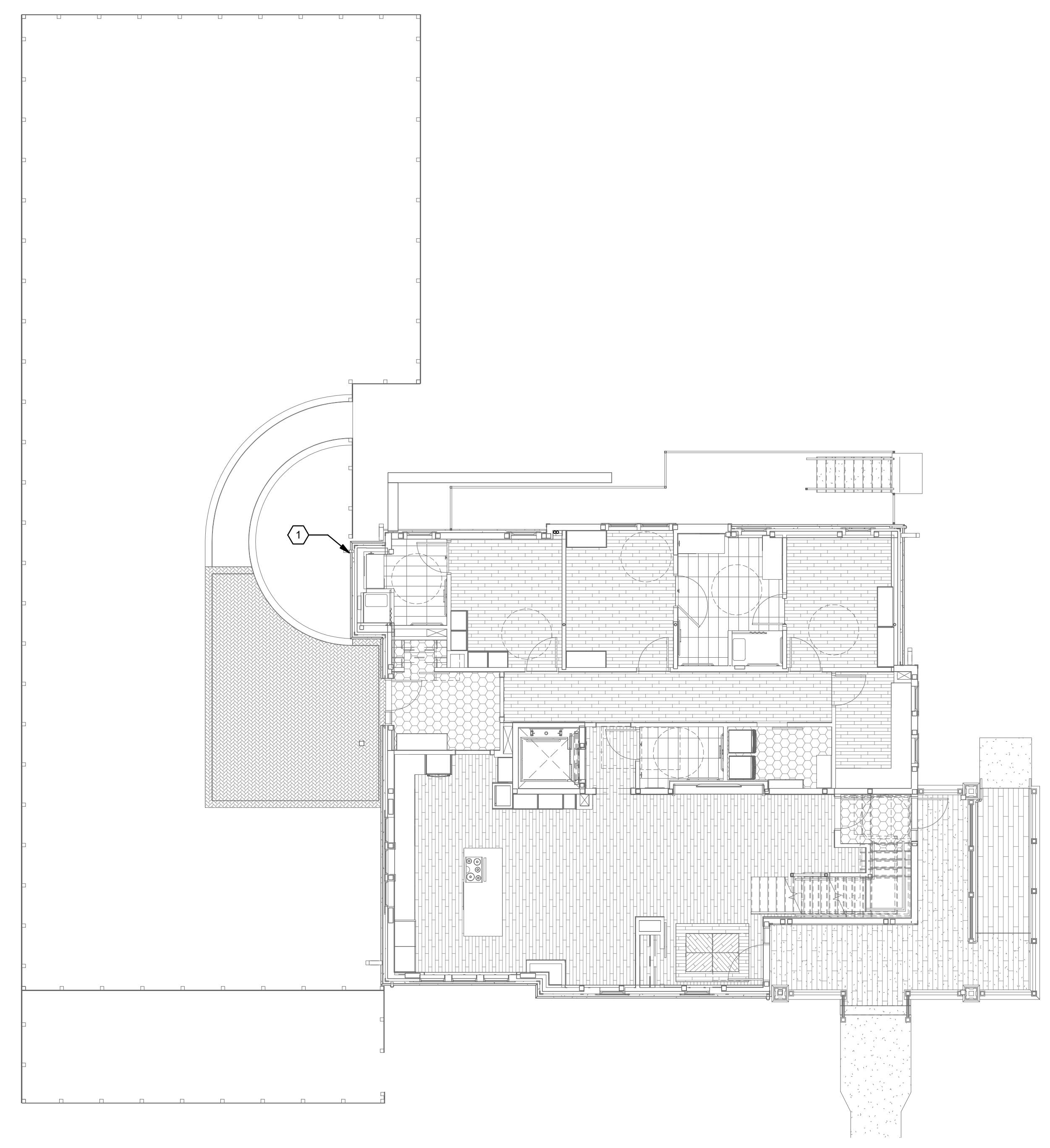
Revisions

**FLOOR PLANS - 2ND & ATTIC LEVEL - MECHANICAL**

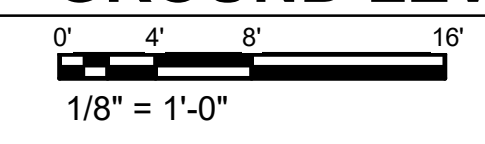
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 Drawn Author  
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**M102**  
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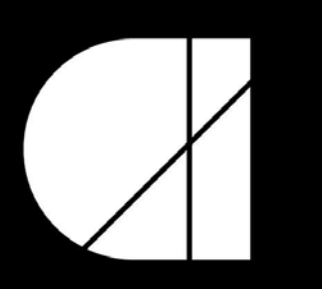
1 GROUND LEVEL MECHANICAL PLAN - SITE



○ **SHEET KEYNOTES**

- 1 APPROXIMATE LOCATION OF GEOTHERMAL FIELD CONNECTION TO INTERNAL MANIFOLD LOCATED IN MECHANICAL ROOM. SEE DRAWING M101 VIEW 1 FOR CONTINUATION.

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1	Permit Revisions	05.20.2021
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**MECHANICAL SITE PLAN**

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**M103**

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### WATER SOURCE HEAT PUMP SCHEDULE

SYMBOL	BASIS OF DESIGN			SUPPLY FAN				COOLING			HEAT PUMP		WATER SOURCE HEAT PUMP CONDENSER										ELECTRICAL			ANTI-FREEZE %	NOTES
	MFR	MODEL	UNIT TYPE	TOTAL CFM	MIN OSA CFM	ESP (IN H2O)	NOM TONS	TOTAL CAP (MBH)	SENS CAP (MBH)	HTG (MBH)	WATER FLOW (GPM)	MAX PD (FT H2O)	PIPE CONN. SIZE	CLG EWT	HTG EWT	EER	COP	VOLTS	PH	COMPRESSOR RLA	MOTOR FLA	MCA					
WSHP-1	DAIKIN	WGSV030	VERT DUCTED	1000	120	0.7	2.5	32.0	22.9	21.6	7.5	2.29	3/4"	77	32	20.1	4.1	230	1	12.8	5	21.0	20% PROPYLENE GLYCOL	1-4			
WSHP-2	DAIKIN	WGSV012	VERT DUCTED	400	60	0.7	1.0	13.7	9.7	10	3.3	0.64	1/2"	77	32	18.1	3.9	230	1	4.7	0.9	6.8	20% PROPYLENE GLYCOL	1-4			
WSHP-3	DAIKIN	WGSV030	VERT DUCTED	1000	120	0.7	2.5	32.0	22.9	21.6	7.5	2.29	3/4"	77	32	20.1	4.1	230	1	12.8	5	21.0	20% PROPYLENE GLYCOL	1-4			

NOTES:  
 1. PROVIDE WITH UNIT MOUNTED PROGRAMMABLE THERMOSTAT. ADA UNITS WILL REQUIRE REMOTE THERMOSTATS AT ADA MOUNTING HEIGHTS.  
 2. PROVIDE SELF BALANCING HOSE KIT WITH MOTORIZED CONTROL VALVE.  
 3. PROVIDE WITH DISCONNECT SWITCH.  
 4. PROVIDE WITH SINGLE POINT POWER CONNECTION.

### DIFFUSER/GRILLE SCHEDULE

SUPPLY GRILLES - TITUS 300RL

TAG	NECK SIZE	CFM	NOTES
SG-1	6x6	SEE PLAN	1,2,3,4,5,6,7
SG-2	10x6	SEE PLAN	1,2,3,4,5,6,7

RETURN GRILLES - TITUS 350RL

TAG	NECK SIZE	CFM	NOTES
RG-1	10x10	SEE PLAN	1,2,3,4,5,6,7
RG-2	18x18	SEE PLAN	1,2,3,4,5,6,7
RG-3	24x12	SEE PLAN	1,2,3,4,5,6,7

NOTES:  
 1. PROVIDE GRILLE / DIFFUSER WITH MAXIMUM TOTAL PRESSURE DROP OF 0.1" W.G.  
 2. PROVIDE GRILLE / DIFFUSER WITH MAXIMUM SOUND POWER LEVEL NC 30.  
 3. COORDINATE WITH ARCHITECTURAL PLANS AND REFLECTED CEILING PLANS FOR BORDER TYPES.  
 4. SIZE OF DUCT TAKEOFF, BRANCH DUCT, AND FLEX DUCT TO MATCH THE NECK SIZE OF THE ASSOCIATED DIFFUSER/GRILLE UNLESS OTHERWISE NOTED.  
 5. PROVIDE ALL SUPPLY AND RETURN/EXHAUST GRILLES AND DIFFUSERS WITH A BALANCE DAMPER AT BRANCH TAKEOFF UNLESS OTHERWISE NOTED.  
 6. CFM SHOWN ON PLAN.  
 7. PROVIDE CEILING RADIATION DAMPER WHERE INSTALLED IN A RATED CEILING ASSEMBLY. REFER TO ARCHITECTURAL DRAWINGS FOR RATED CEILING ASSEMBLY INFORMATION.

### FAN SCHEDULE

SYMBOL	AREA SERVED	BASIS OF DESIGN		TYPE	DRIVE	AIR FLOW (CFM)	ESP (IN H2O)	SOUND (SONES)	ELECTRICAL			MAX WT (LBS)	NOTES
		MFR	MODEL						VOLTS	PH	AMPS		
EF-1	BATHROOM	BROAN	FLEX DC - AE50110DC	INLINE FAN	DIRECT	50	0.10	0.3	120	1	0.33	8.5	1,2,3
EF-2	BATHROOM	BROAN	FLEX DC - AE50110DC	INLINE FAN	DIRECT	100	0.10	0.3	120	1	0.33	8.5	1,2,3

NOTES:  
 1. PROVIDE WITH STANDARD DISCONNECT.  
 2. PROVIDE WITH BACKDRAFT DAMPER.  
 3. PROVIDE WITH RADIATION DAMPER.

### ENERGY RECOVERY VENTILATOR SCHEDULE

SYMBOL	RECOVERY PERFORMANCE		ESP IN. W.G.	BASIS OF DESIGN	MAX. WT. (LBS)	ELECTRICAL				REMARKS
	NET AIRFLOW (CFM)	TEMP EFFICIENCY (%)				VOLT/PH	HP	WATTS	FLA	
ERV-1	90.0	76.0	0.50	RENEWAIRE BR130	60	120/1	0.1	121	1.3	1-7
ERV-2	60.0	77.0	0.30	RENEWAIRE BR71	50	120/1	0.08	94	1	1-7
ERV-3	120.0	72.0	0.35	RENEWAIRE BR130	60	120/1	0.1	121	1.3	1-7

NOTES:  
 1. PROVIDE WITH MERV 13 FILTER - RA AIRSTREAM  
 2. PROVIDE WITH BACKDRAFT DAMPER  
 3. PROVIDE AUTOMATIC BALANCING DAMPER  
 4. PROVIDE LOUVERED WALL VENT 6" - WHITE  
 5. PROVIDE EXTERIOR THRU-THE WALL INSTALLATION KIT  
 6. PROVIDE MERV 13 FILTER - OA AIRSTREAM  
 7. PROVIDE DUCT COLLAR KIT.

### VENTILATION SCHEDULE

ROOM	ROOM AREA (SQ. FT)	ROOM QUANTITY	RUN-TIME PERCENTAGE	FACTOR	OUTSIDE AIR (CFM)
BASEMENT	1425	1	50%	2	60
1ST FLOOR	2135	3	50%	2	120
2ND FLOOR	1455	2	50%	2	90

NOTES:  
 1. PER TABLE 15-7.3.3(1) & 15-7.3.3(2) OF THE 2015 VIRGINIA RESIDENTIAL CODE.

### PUMP SCHEDULE

SYMBOL	AREA SERVED	BASIS OF DESIGN			PUMP TYPE	RPM	FLOW RATE (GPM)	HEAD (FT. H2O)	ELECTRICAL				MAX WT (LBS)	NOTES
		MFR	MODEL	VOLTS					PH	BHP	MHP			
GWP-1	GEOTHERMAL LOOP	ARMSTRONG	4300	VERTICAL INLINE	3300	16	70	208	3	1.46	2	Y	75	1

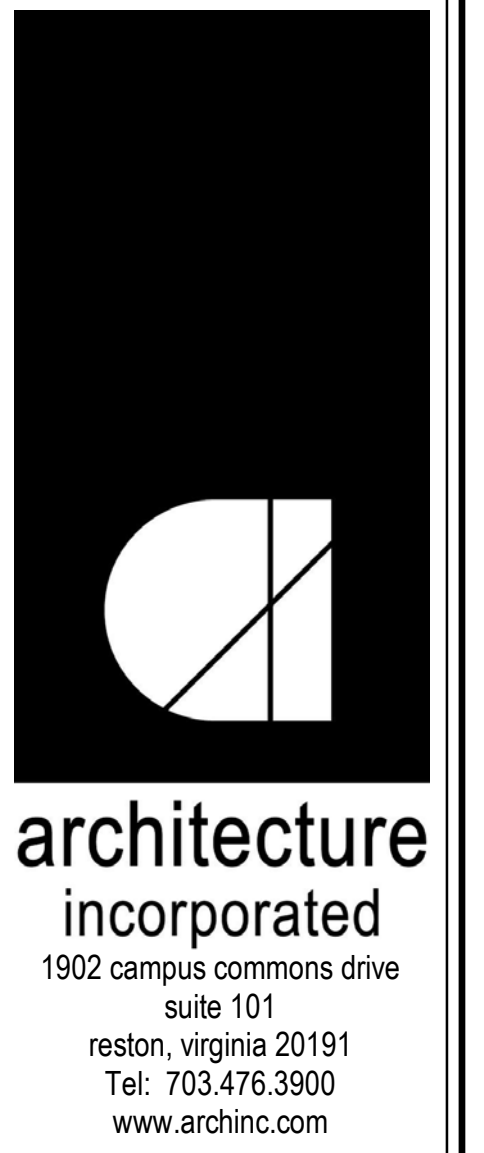
NOTES:  
 1. ALL PUMPS SHALL BE VERTICAL WALL MOUNTED.

### AIR SEPARATOR SCHEDULE

SYMBOL	SYSTEM SERVED	BASIS OF DESIGN		WATER FLOW (GPM)	INLET SIZE (IN)	MAX WT (LBS)
		MFR	MODEL			
AS-1	CONDENSER	SPIROVENT JUNIOR	VDR125FTM	15	1.25	115

### EXPANSION TANK SCHEDULE

SYMBOL	SYSTEM SERVED	BASIS OF DESIGN		MIN ACCEPT. VOLUME (GAL)	MIN TOTAL VOLUME (GAL)	FILL PRESSURE (PSIG)	MAX PRESSURE (PSIG)	MIN TEMP (°F)	MAX TEMP (°F)	MAX WT (LBS)
		MFR	MODEL							
ET-1	CONDENSER	AO SMITH	LET-2	2	2	40	100	32	77	6



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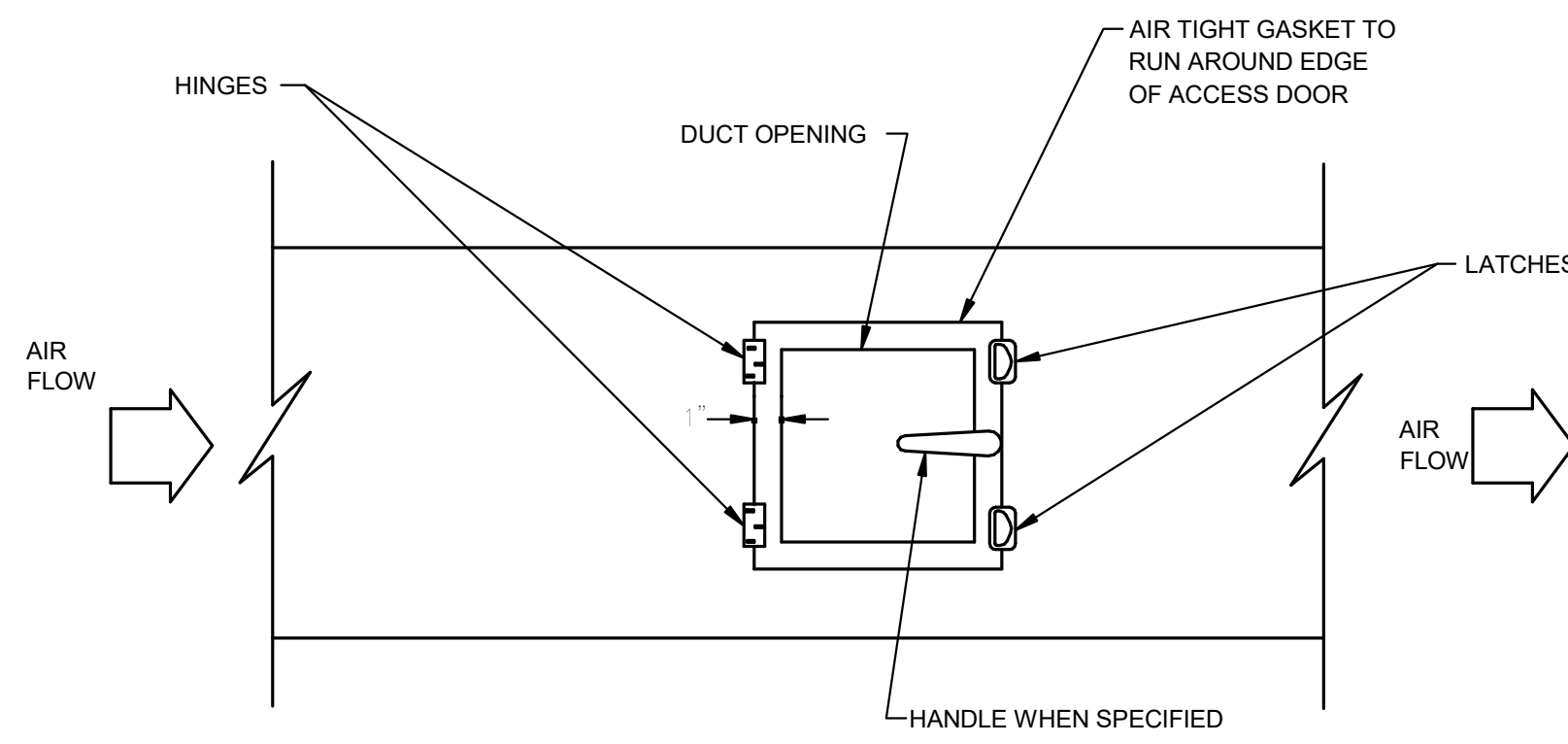
**SCHEDULES - MECHANICAL**

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**M601**

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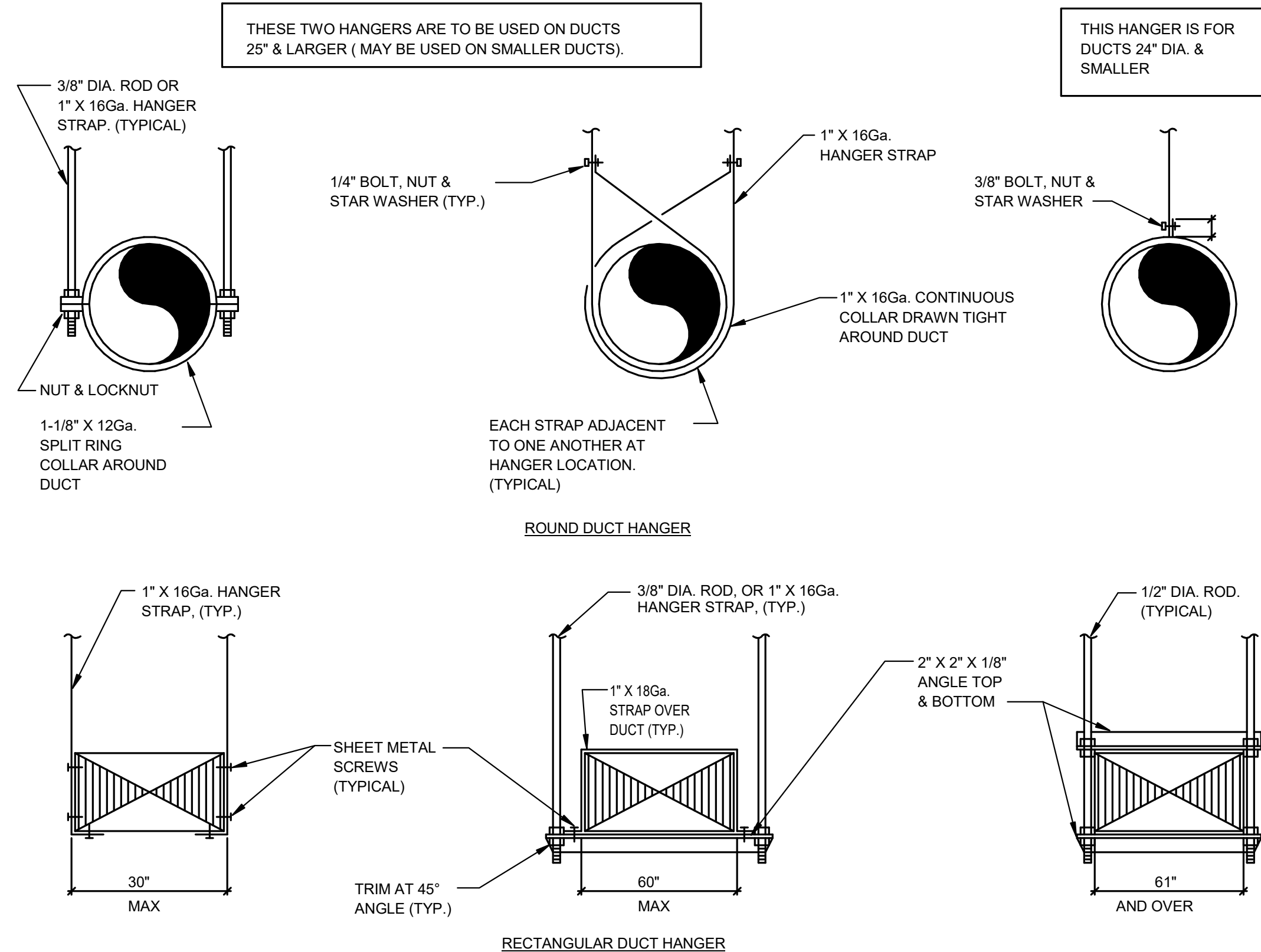


ACCESS PANEL SIZE SCHEDULE	
DUCT SIZE	ACCESS PANEL SIZE
6" TO 14"	10" W X (DUCT DEPTH-2") D
15" TO 21"	12" W X (DUCT DEPTH-2") D
22" AND ABOVE	18" W X (DUCT DEPTH-2") D

- NOTES:**
1. PROVIDE FOUR CAM LATCHES ON PANELS LARGER THAN 18"X18" SIZE. REQUIRED AT ALL SMOKE DETECTORS, FIRE DAMPERS, SMOKE DAMPERS, COMBINATION FIRE/SMOKE DAMPERS, CONTROL DAMPERS, AND HUMIDIFIERS ETC.
  2. ACCESS DOOR FOR FIRE DAMPERS, FIRE SMOKE DAMPERS SHALL BE LABELED.
  3. COORDINATE CEILING ACCESS PANEL REQUIREMENTS WITH ARCHITECT.

**1. DUCT ACCESS DOOR DETAIL**

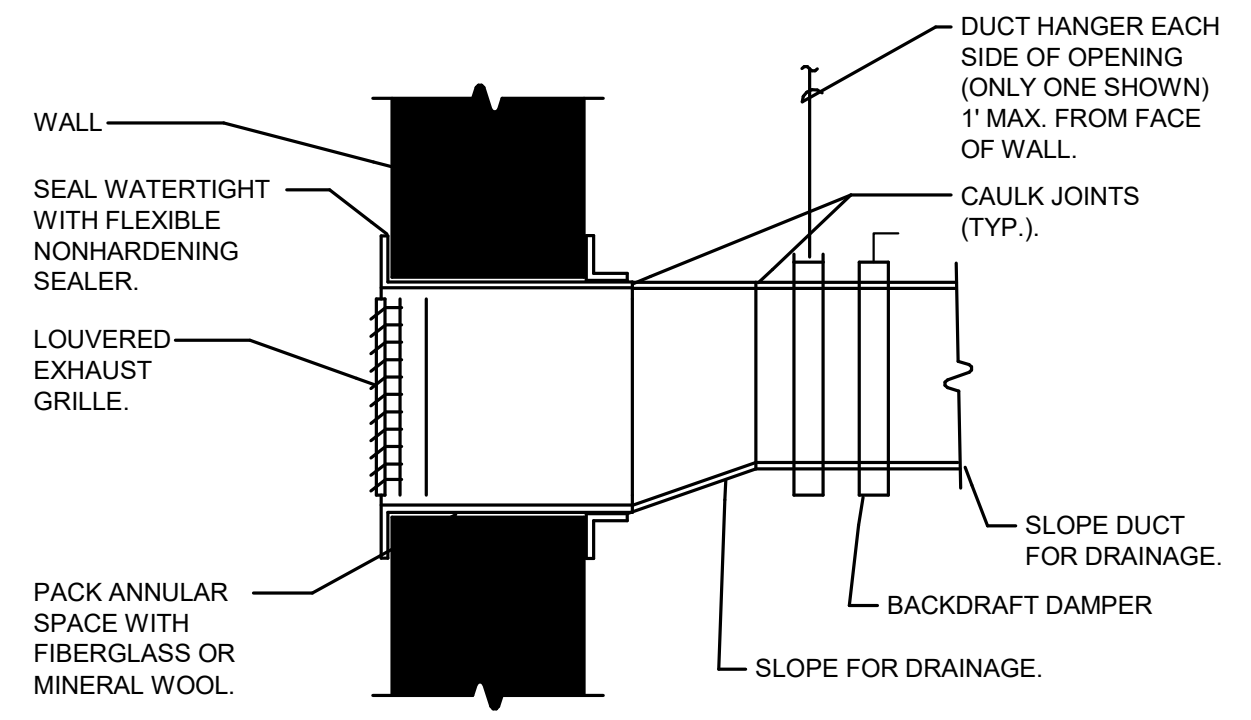
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- NOTES:**
1. ATTACH HANGERS TO THE SIDES OF CONCRETE RIBS ABOVE. REFER TO SPECIFICATIONS FOR HANGER SPACINGS.
  2. ATTACHMENTS TO OVERHEAD STRUCTURE SHALL BE MADE IN ACCORDANCE WITH STRUCTURAL ENGINEERS REQUIREMENTS. ALL ATTACHMENT METHODS TO STRUCTURE SHALL BE SUBMITTED TO ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW.
  3. HANGER MATERIAL SUPPORTING FLEXIBLE DUCT SHALL, IN NO CASE BE LESS THAN 1/2 INCHES WIDE. FLEXIBLE DUCT SHALL BE SUPPORTED PER MANUFACTURER'S RECOMMENDED MATERIALS, BUT AT NO GREATER DISTANCE THAN 4 FEET MAX. PERMISSIBLE SAG IS MAX. 1/2 INCHES PER FOOT OF SPACING BETWEEN SUPPORTS.

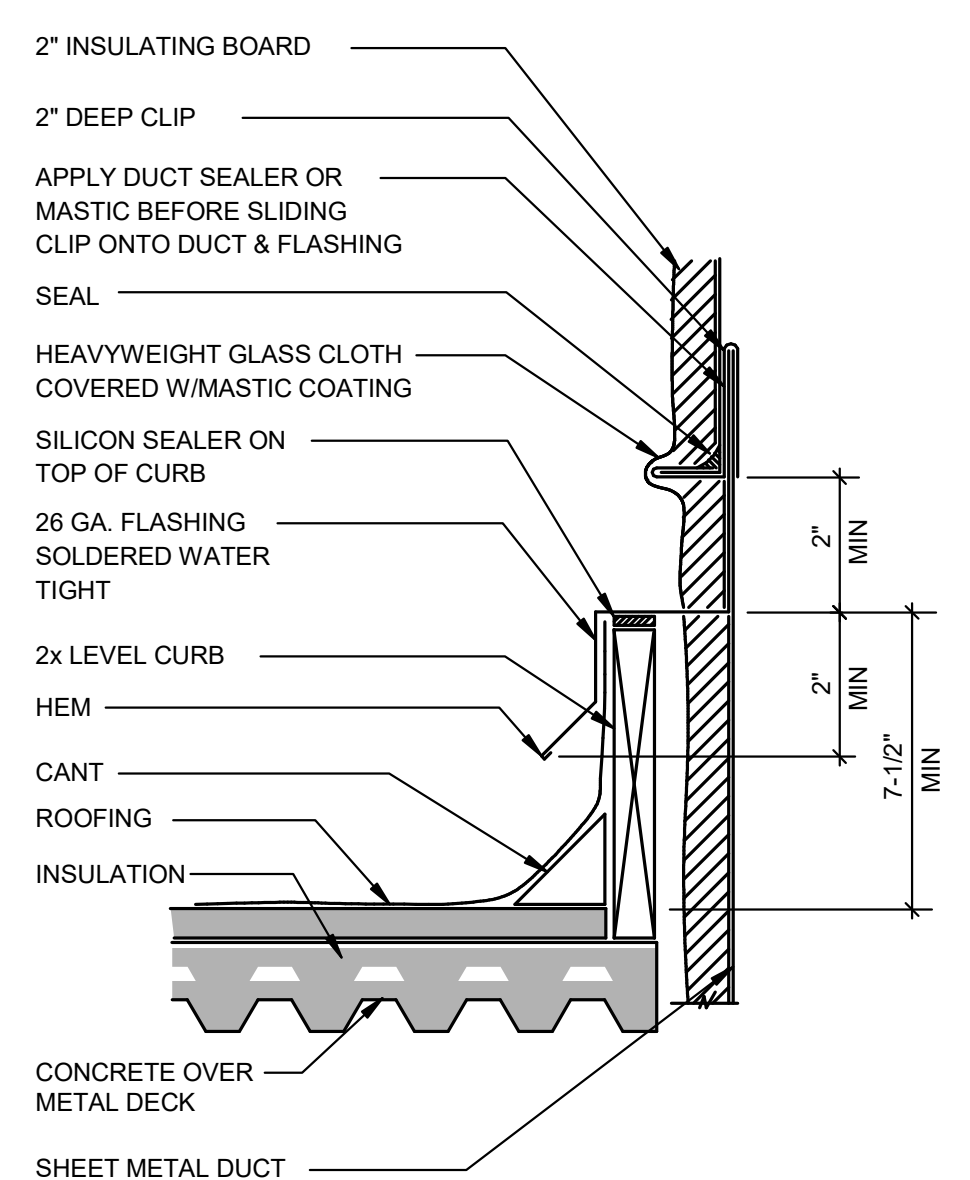
**2. DUCT SUPPORT DETAILS**

NO SCALE



**3. GRILLE WALL PENETRATION**

NO SCALE

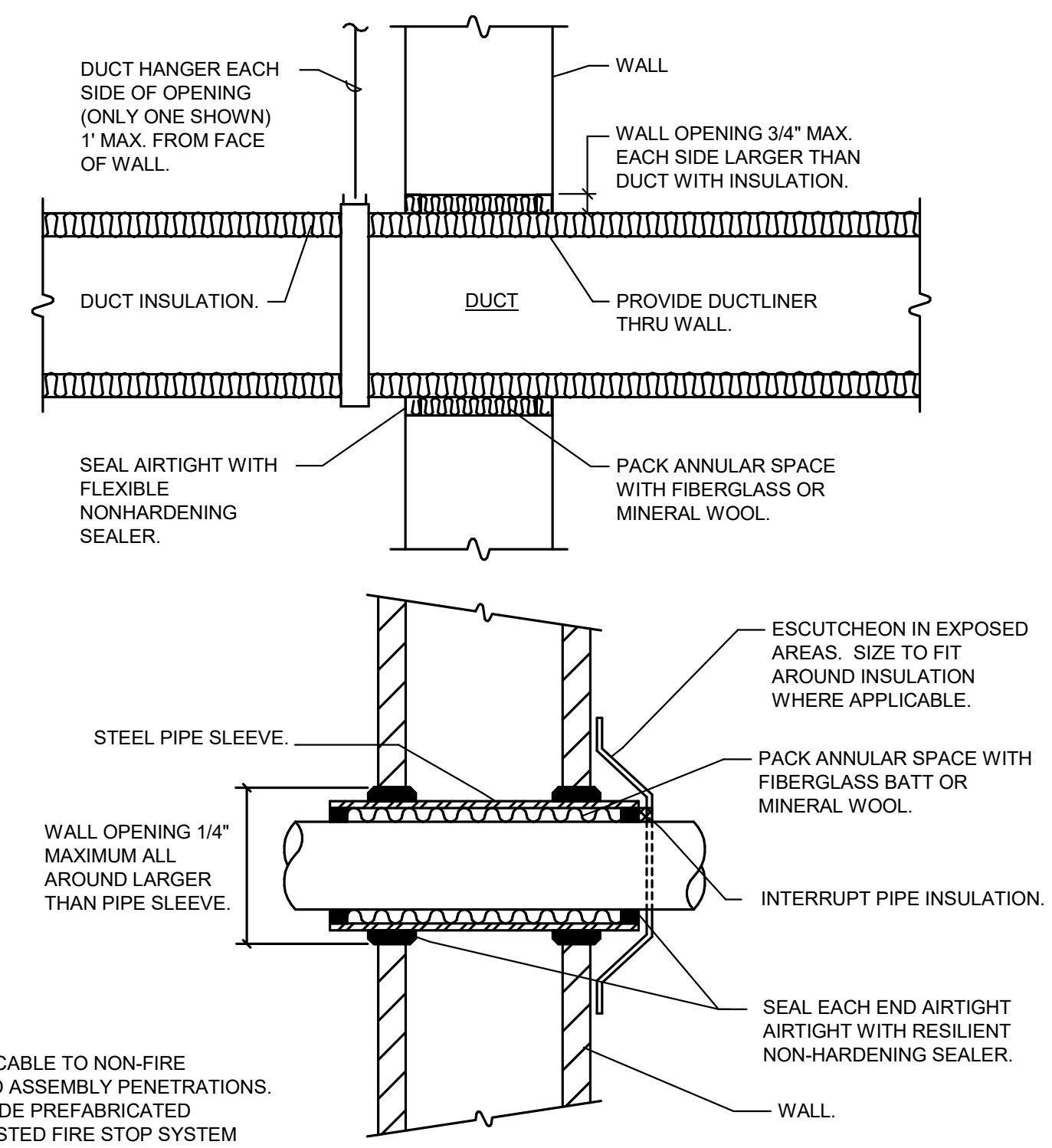


- NOTES:**
- A. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ROOF OPENINGS AND ROOFING DETAILS.
  - B. SEAL ALL DUCT JOINTS AND SEAMS EXPOSED TO WEATHER. SEE SPECIFICATIONS FOR MATERIALS.

**INSULATED RECTANGULAR DUCT**

**4. DUCT PENETRATION THROUGH ROOF**

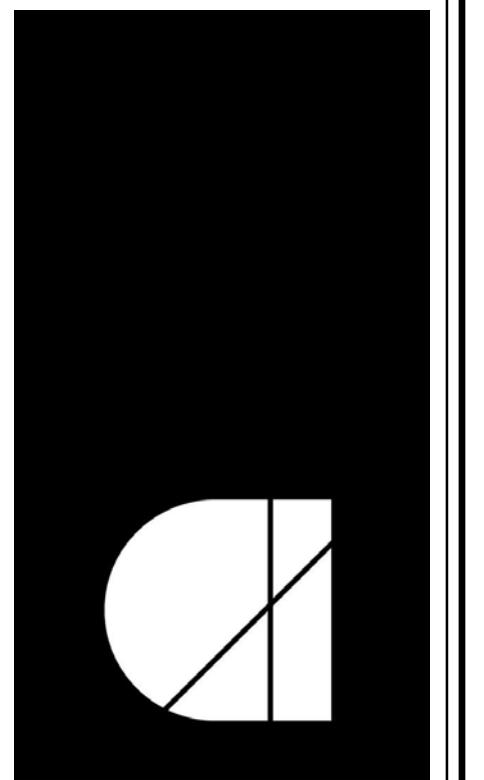
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- NOTE:**
- APPLICABLE TO NON-FIRE RATED ASSEMBLY PENETRATIONS. PROVIDE PREFABRICATED U.L. LISTED FIRE STOP SYSTEM FOR FIRE RATED ASSEMBLIES.

**5. ACOUSTIC WALL DUCT/PIPE PENETRATION**

NO SCALE



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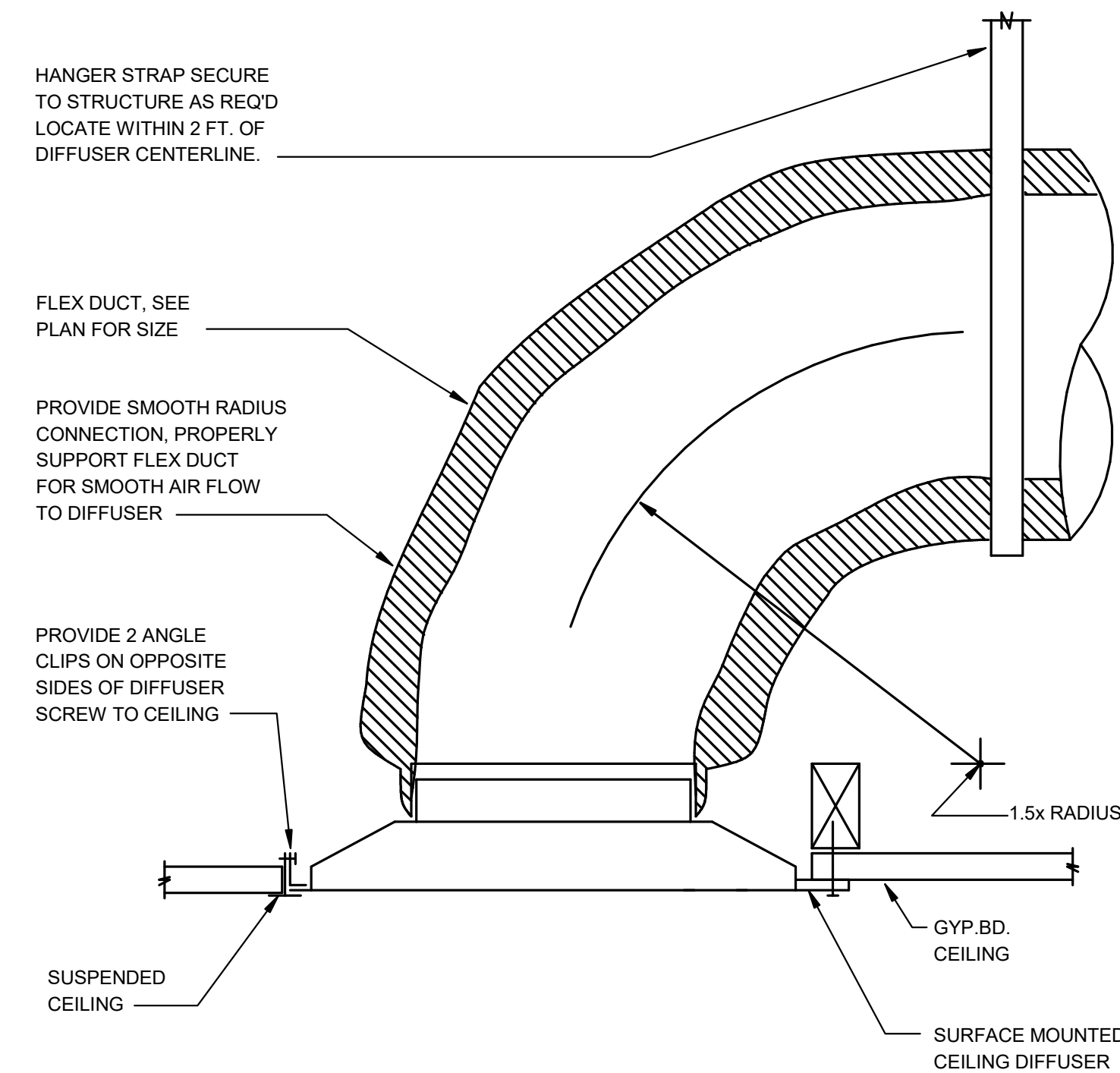
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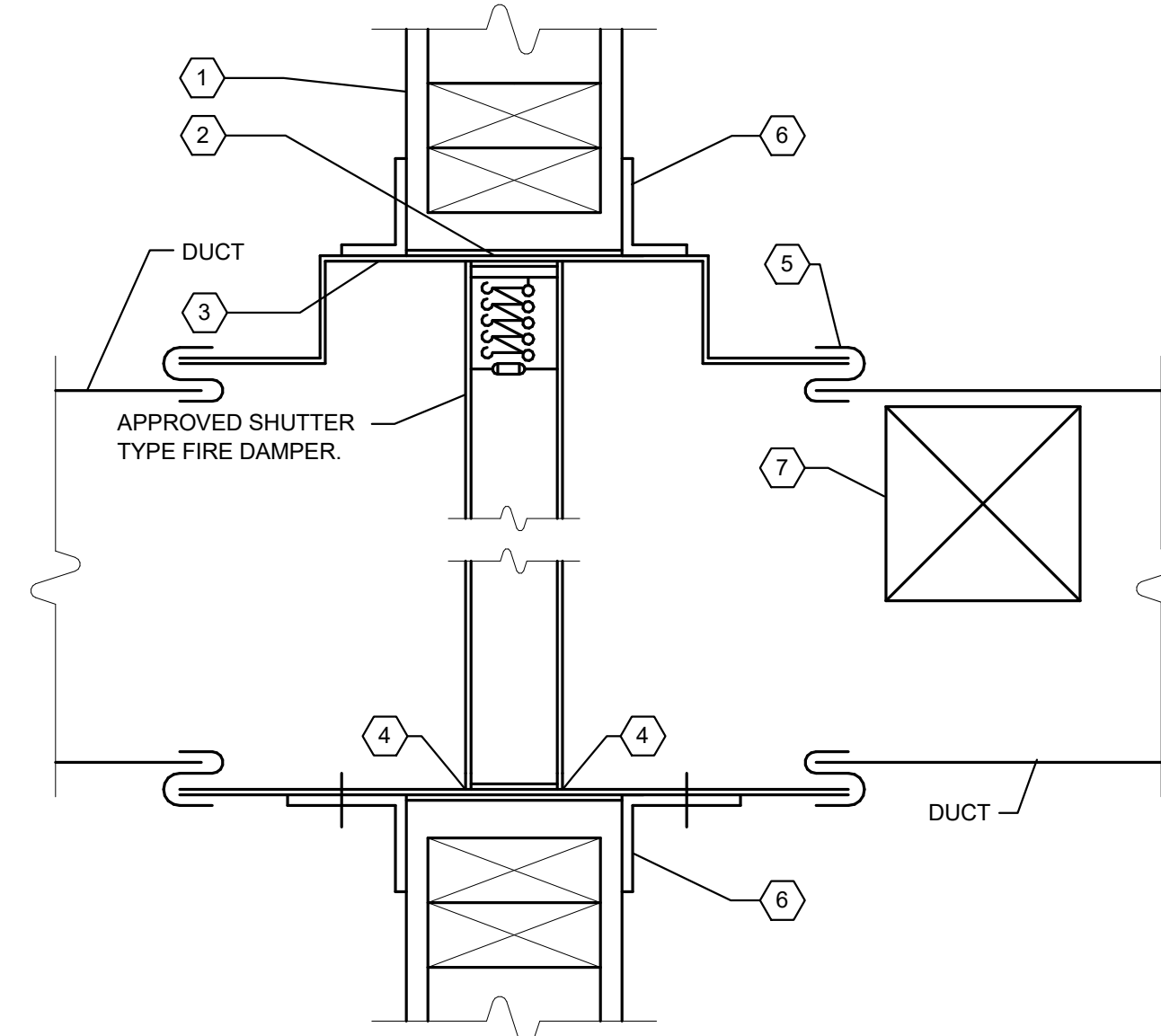
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**1. CEILING DIFFUSER CONNECTION**

NO SCALE



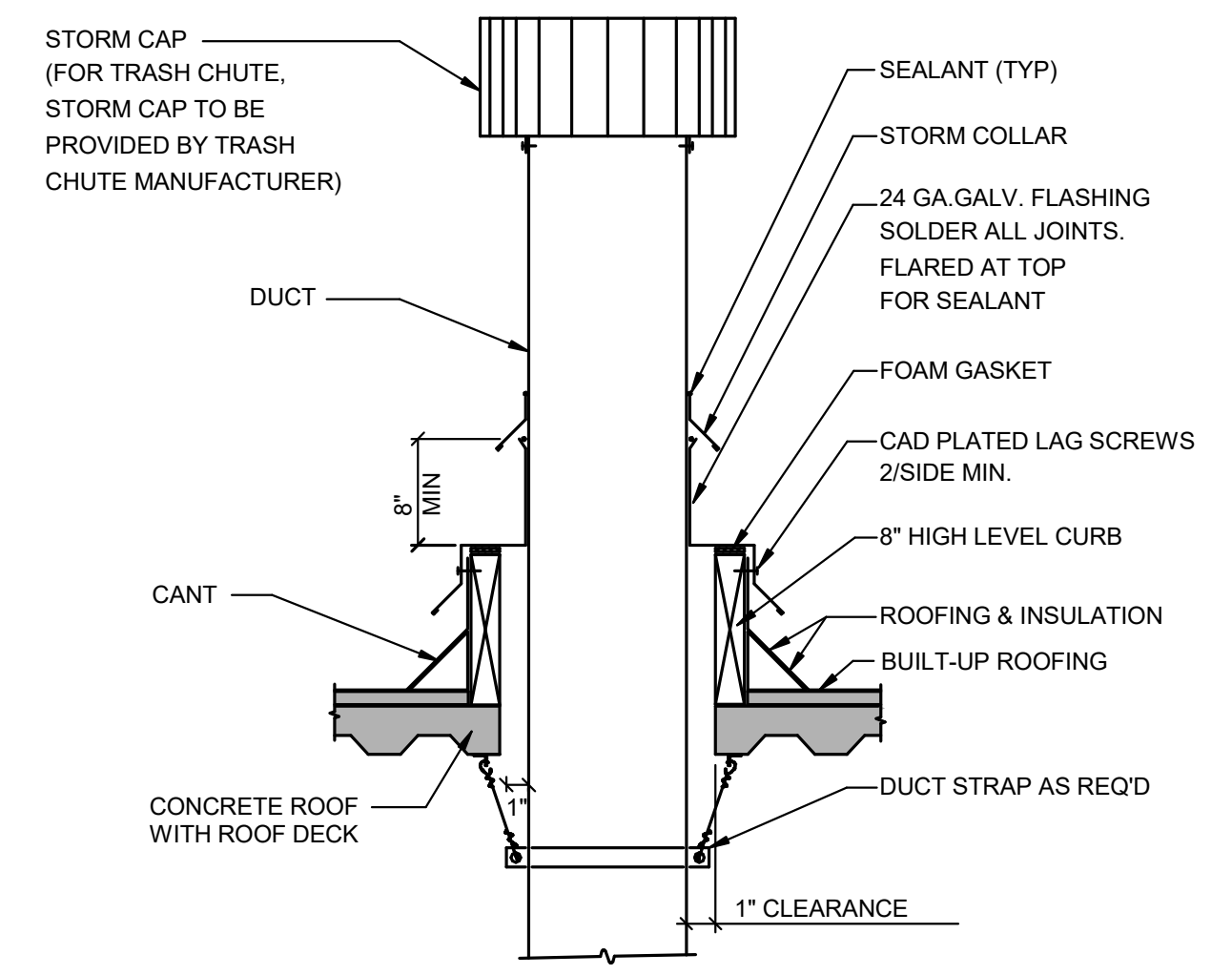
**2. FIRE DAMPER**

NO SCALE

**NOTES:**

- 1 FIRE RATED PARTITION, COORDINATE WITH ARCHITECTURAL FOR FRAMING AND FIRE RATED LINING REQUIREMENTS.
- 2 COORDINATE PARTITION OPENING, 1/8" LARGER THAN FIRE DAMPER SLEEVE PER FOOT OF WIDTH OR HEIGHT.
- 3 PROVIDE SLEEVE 3" BEYOND EDGE OF PARTITION, EACH SIDE.
- 4 FIRE DAMPER FRAME ATTACHED TO SLEEVE BY MANUFACTURER.
- 5 "S" TYPE DUCT CONNECTION. DO NOT SCREW OR BOLT.
- 6 ANGLE ALL AROUND SLEEVE MINIMUM 1" OVERLAP WITH WALL FRAMING, ONE INCH FILLET WELDS 5" MAX. ON CENTER, OR 1/4" BOLTS 5" MAX. ON CENTER. DO NOT ATTACH ANGLES TO WALL. COORDINATE WITH DAMPER MANUFACTURER FOR APPROVED ANGLE SIZE AND GAUGE.
- 7 PROVIDE DUCT ACCESS DOOR, COORDINATE LOCATION AND TYPE OF ARCHITECTURAL SERVICE ACCESS WITH ARCHITECTURAL.

**GENERAL NOTES:**  
DETAIL INDICATES REQUIREMENTS FOR STANDARD FRAME INSTALLATION. REFERENCE "SMACNA FIRE, SMOKE AND RADIATION DAMPER INSTALLATION GUIDE" FOR OTHER CONFIGURATION REQUIREMENTS. COMPLY FULLY WITH ABOVE MENTIONED AND ALSO AHJ REQUIREMENTS IN ALL CASES.

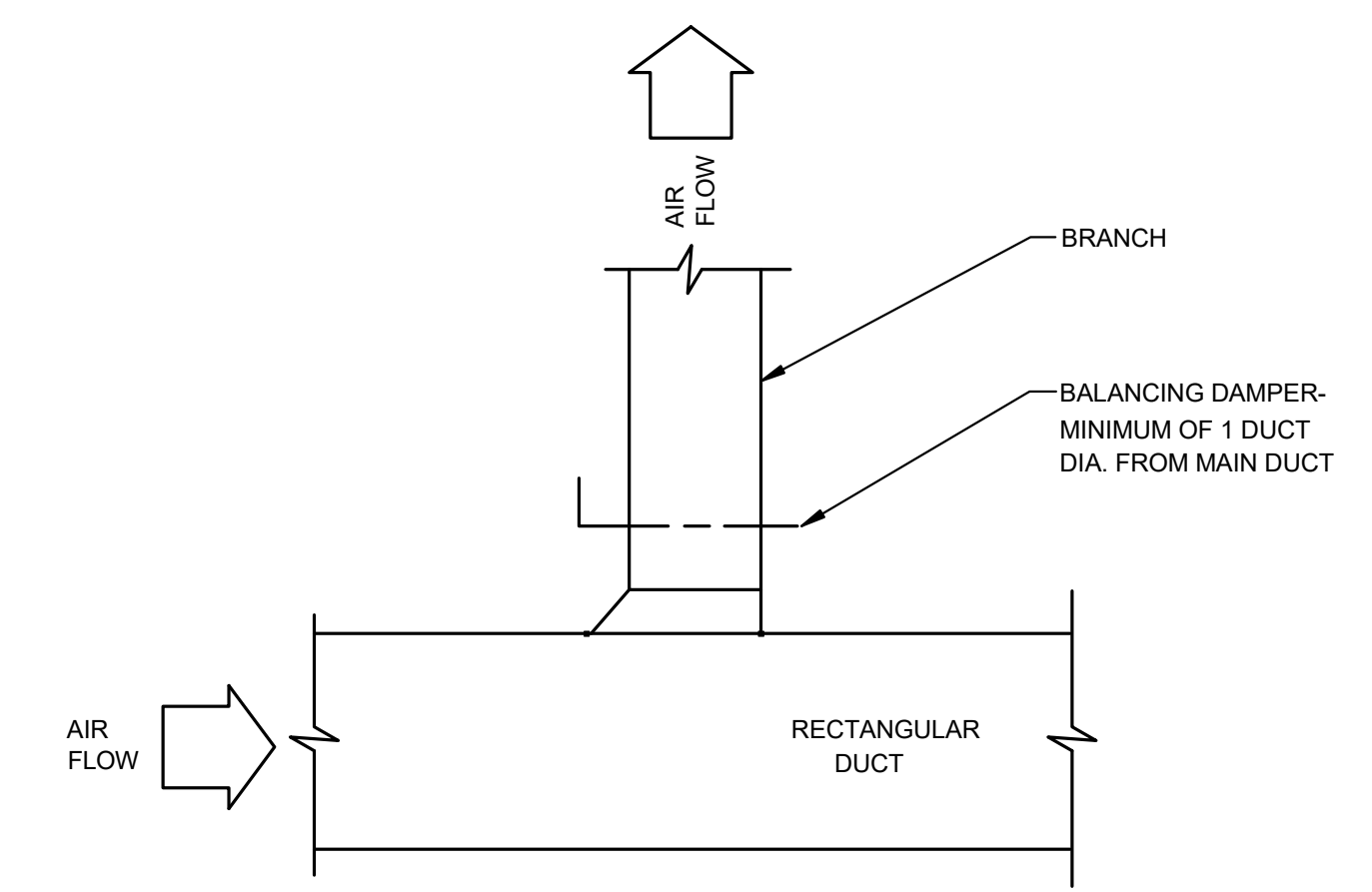


**NOTES:**

- A. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ROOF OPENINGS AND ROOFING DETAILS.
- B. SEAL ALL DUCT JOINTS AND SEAMS EXPOSED TO WEATHER. SEE SPECIFICATIONS FOR MATERIALS.

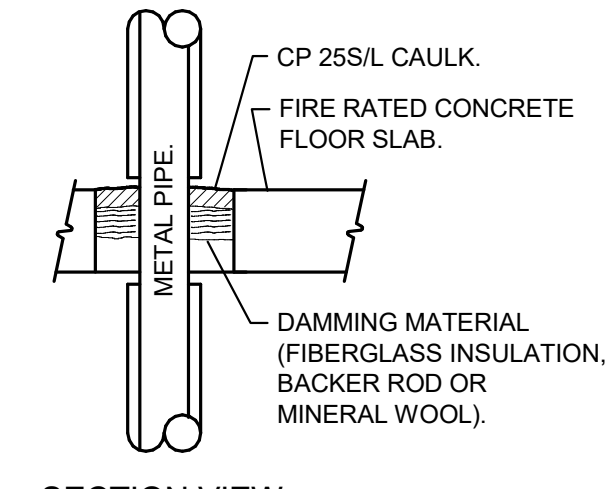
**3. DUCT PENETRATION THROUGH ROOF**

NO SCALE

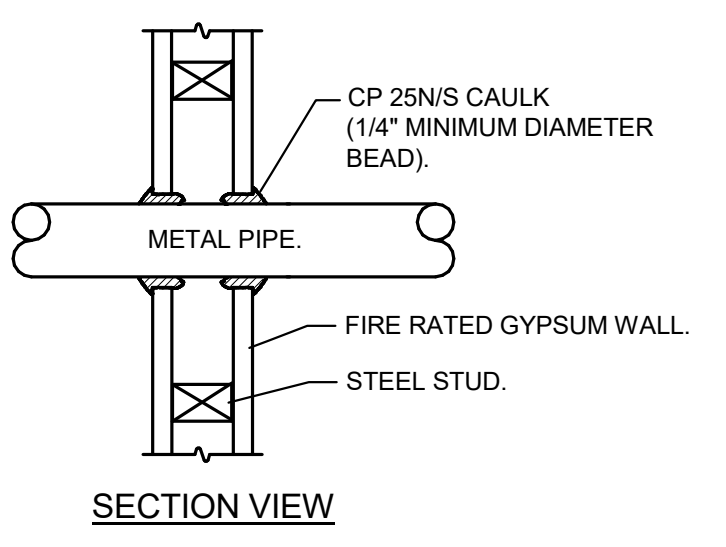
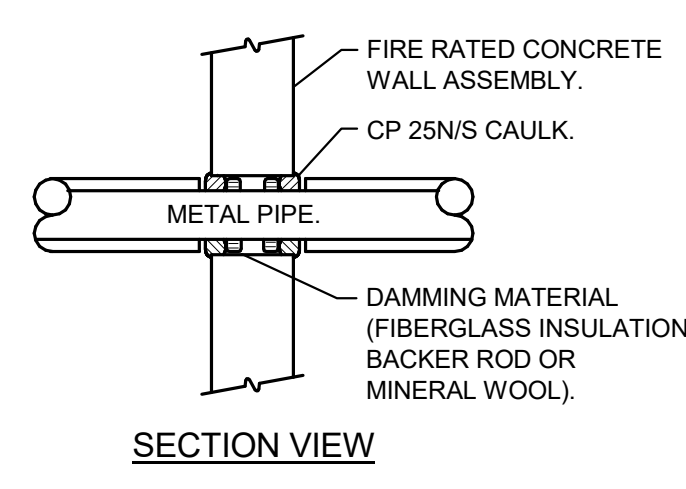


**4. LOW PRESSURE BRANCH**

NO SCALE

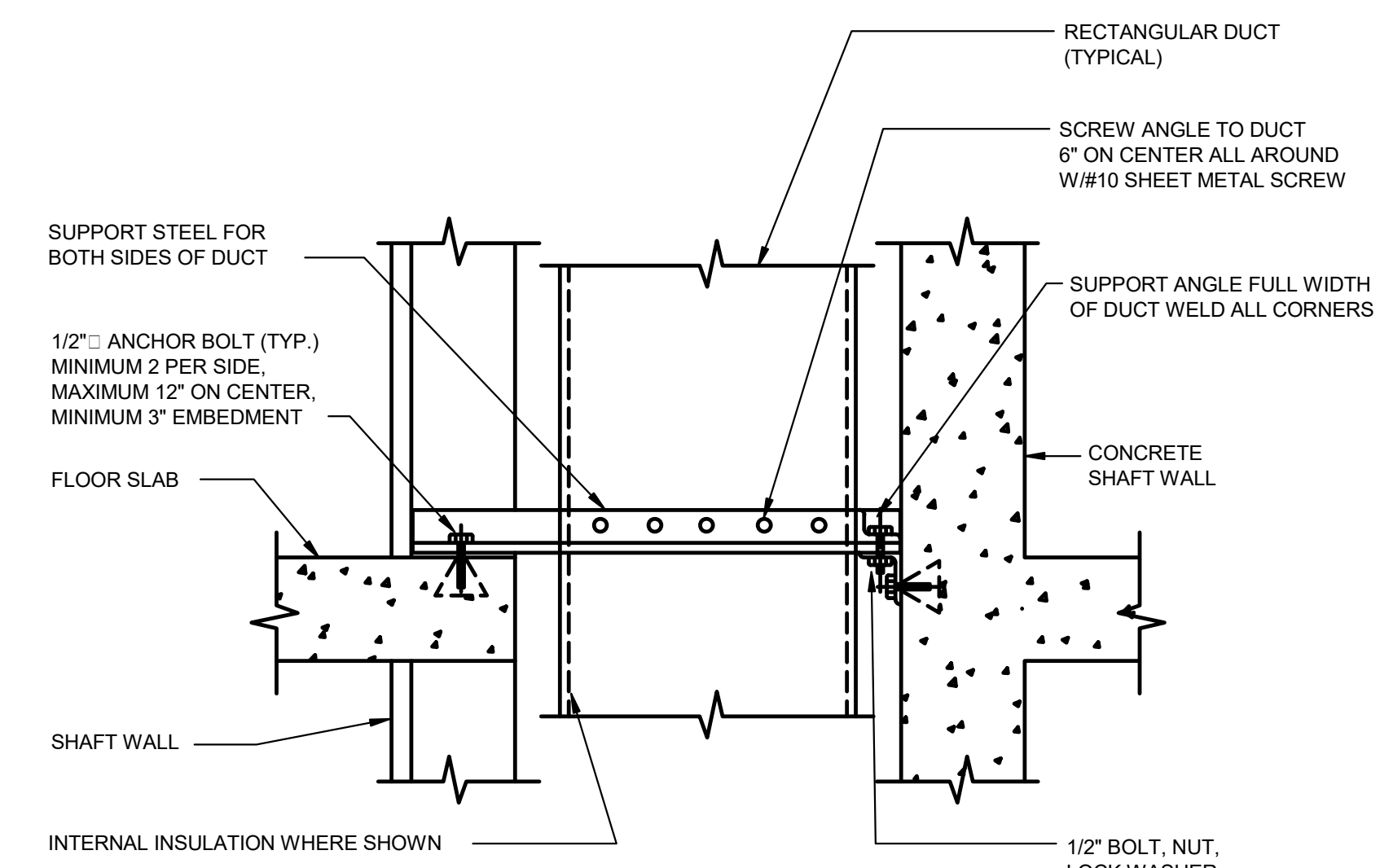


- NOTES:**
1. CAULK AROUND PIPING PENETRATING FIRE RATED WALLS AND CEILINGS. USE 3M BRAND FIRE BARRIER CAULK "CP25" (THICKNESS AS REQUIRED FOR 1, 2 AND/OR 3 HOUR FIRE RATING).
  2. USE CP25S/L SELF-LEVELING CAULK ON HORIZONTAL SURFACES WHEN FILLING GAPS FROM ABOVE THE PENETRATION. USE CP-25N/S NO-SAG CAULK ON VERTICAL AND HORIZONTAL SURFACES WHEN FILLING FROM FLOOR OR IN WALL APPLICATIONS.
  3. ALL FIRE STOP INSTALLATIONS SHALL COMPLY WITH U.L., A.S.T.M. AND MANUFACTURERS STANDARD DETAILS.



**5. RATED WALL, FLOOR, AND CEILING PIPING PENETRATION**

NO SCALE



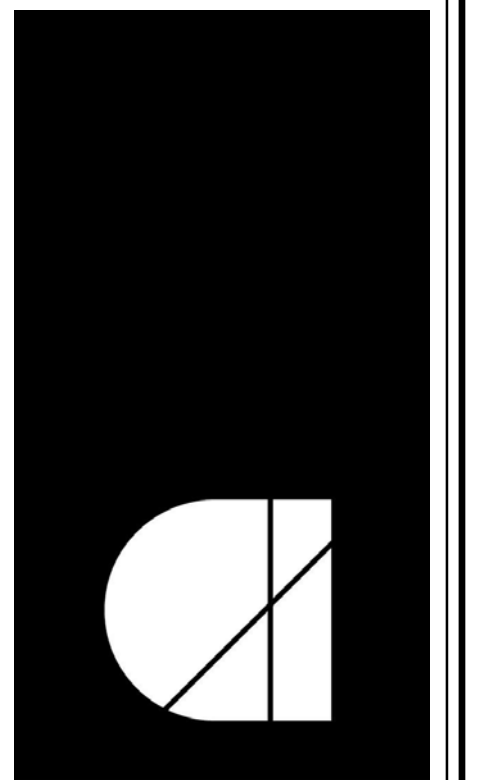
**NOTES:**

1. SUPPORT AT EACH FLOOR.
2. SIZE SUPPORT ANGLE AND DUCT CLAMPS AS REQUIRED TO SUPPORT WEIGHT OF DUCTWORK. USE MINIMUM 1-1/2"x1-1/2"x3/16" ANGLES OR CHANNEL SECTION.

**8. DUCT RISER SUPPORT DETAIL**

NO SCALE

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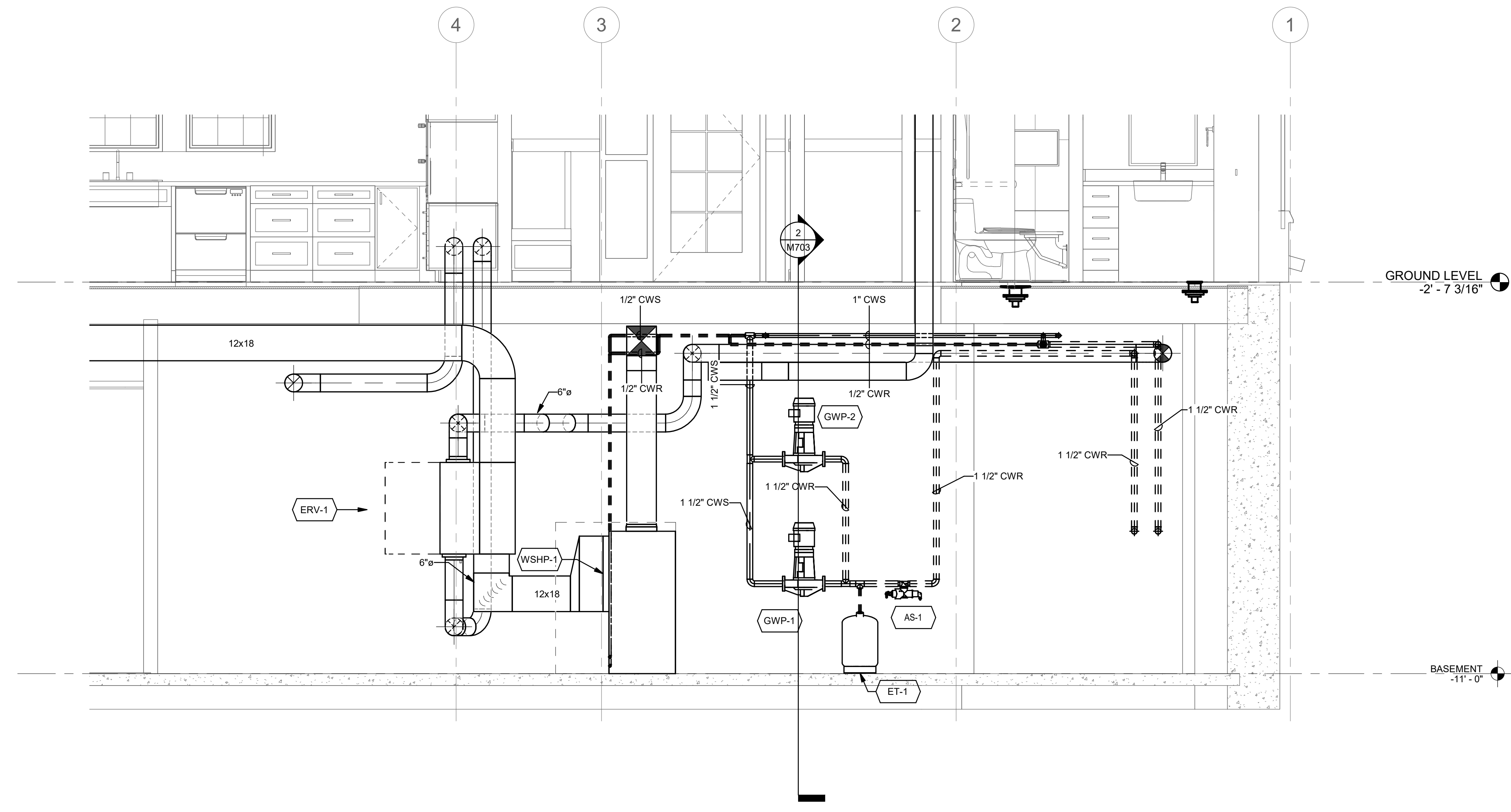
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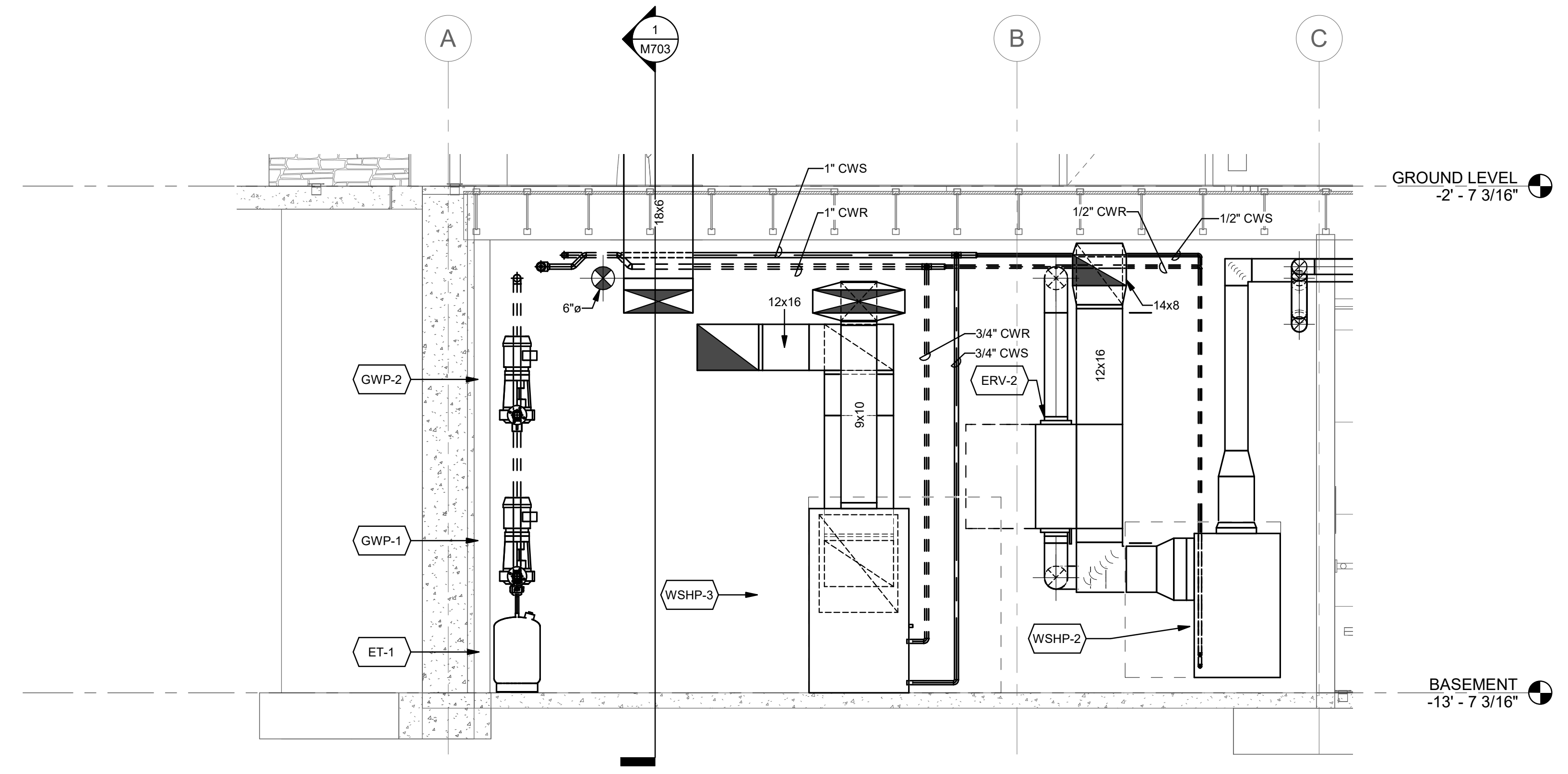
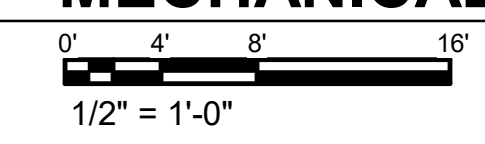
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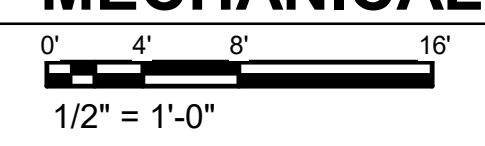




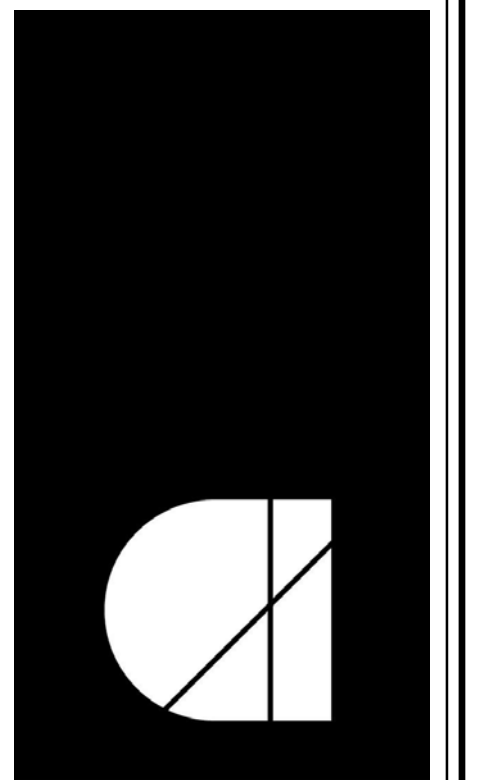
1 MECHANICAL ROOM SECTION - 1



2 MECHANICAL ROOM SECTION - 2



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**DETAILS - MECHANICAL**

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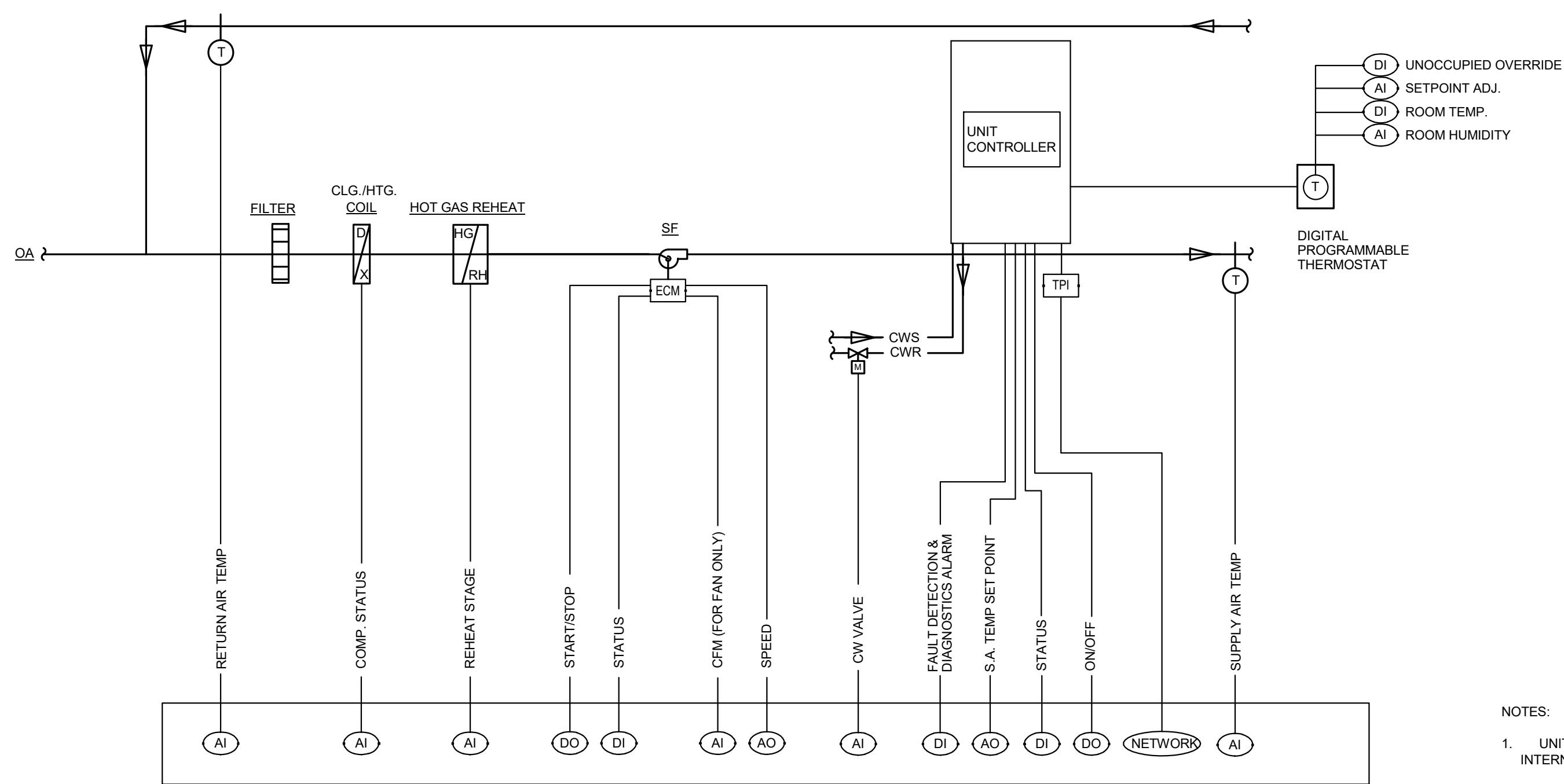
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### CONTROL DIAGRAM SYMBOLS LIST

ABBREVIATIONS	SYMBOLS	DESCRIPTION
AFMS		AIR FLOW MEASURING STATION
AI	(AI)	ANALOG INPUT
AO	(AO)	ANALOG OUTPUT
BMS/BAS		BUILDING MANAGEMENT SYSTEM
CO		CARBON MONOXIDE SENSOR
CO2		CARBON DIOXIDE SENSOR
CT	(CT)	ELECTRIC CURRENT TRANSMITTER
DDC	(DDC)	DIRECT DIGITAL CONTROL
DI	(DI)	DIGITAL INPUT
DO	(DO)	DIGITAL OUTPUT
DP	(DP)	DIFFERENTIAL PRESSURE SENSOR
EA		EXHAUST AIR
ECM	(ECM)	ELECTRONICALLY COMMUTATED MOTOR
EF		EXHAUST FAN
HS	(HS)	HIGH STATIC
HWS		HEATING HOT WATER RETURN
HWS		HEATING HOT WATER SUPPLY
M		MOTORIZED
MAU		MAKE UP AIR UNIT
M/S		MOTOR STARTER
MD	(MD)	MOTORIZED DAMPER
OA		OUTSIDE AIR
P	(P)	PRESSURE SENSOR
PPM		PARTS PER MILLION
RA		RETURN/ABLEEF AIR
RF		RETURN FAN / RELIEF FAN
SA		SUPPLY AIR
SF		SUPPLY FAN OR SQUARE FOOT
SD		SMOKE DETECTOR
T	(T)	TEMPERATURE SENSOR THERMOSTAT
TP	(TP)	THIRD PARTY INTERFACE
VFD	(VFD)	VARIABLE FREQUENCY DRIVE
ECM	(ECM)	ELECTRONICALLY COMMUTATED MOTOR



**1. WATER SOURCE HEAT PUMP UNIT CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION:**

**OCCUPIED MODE:**

- THE UNIT SHALL BE INTERLOCKED WITH ITS ASSOCIATED ENERGY RECOVERY VENTILATOR.
- INITIATE OCCUPIED MODE FROM DIGITAL PROGRAMMABLE THERMOSTAT OR SIGNAL FROM ENERGY RECOVERY VENTILATOR.
- THE UNIT SHALL OPERATE UNDER ITS OWN MANUFACTURER-PROVIDED CONTROL SYSTEM TO SATISFY SPACE AIR TEMPERATURE AND HUMIDITY SETPOINTS.

**TEMPERATURE AND HUMIDITY CONTROL WITH DIRECT EXPANSION (DX) COOLING AND HEATING COILS AND HOT GAS REHEAT:**

ENABLE DX COILS CONTROLLER TO MAINTAIN SPACE AIR TEMPERATURE SETPOINT.

WHEN SPACE AIR TEMPERATURE IS BELOW SETPOINT ENABLE HEATING MODE OF OPERATION TO MAINTAIN SPACE AIR TEMPERATURE SETPOINT. MINIMUM 5 DEG. F (ADJ.) DEADBAND BETWEEN COOLING AND HEATING OPERATION.

WHEN SPACE HUMIDITY IS ABOVE SETPOINT ENABLE DEHUMIDIFICATION MODE OF OPERATION AND HOT GAS REHEAT COIL TO MAINTAIN SPACE AIR TEMPERATURE AND HUMIDITY SETPOINTS.

**SUPPLY FAN CONTROL FOR ENERGY RECOVERY VENTILATOR INTERLOCK:**

UNIT SUPPLY FAN SHALL RUN ANY TIME ENERGY RECOVERY VENTILATOR IS RUNNING. UNIT MANUFACTURER-PROVIDED CONTROL SYSTEM TO MAINTAIN SPACE TEMPERATURE AND HUMIDITY SETPOINTS.

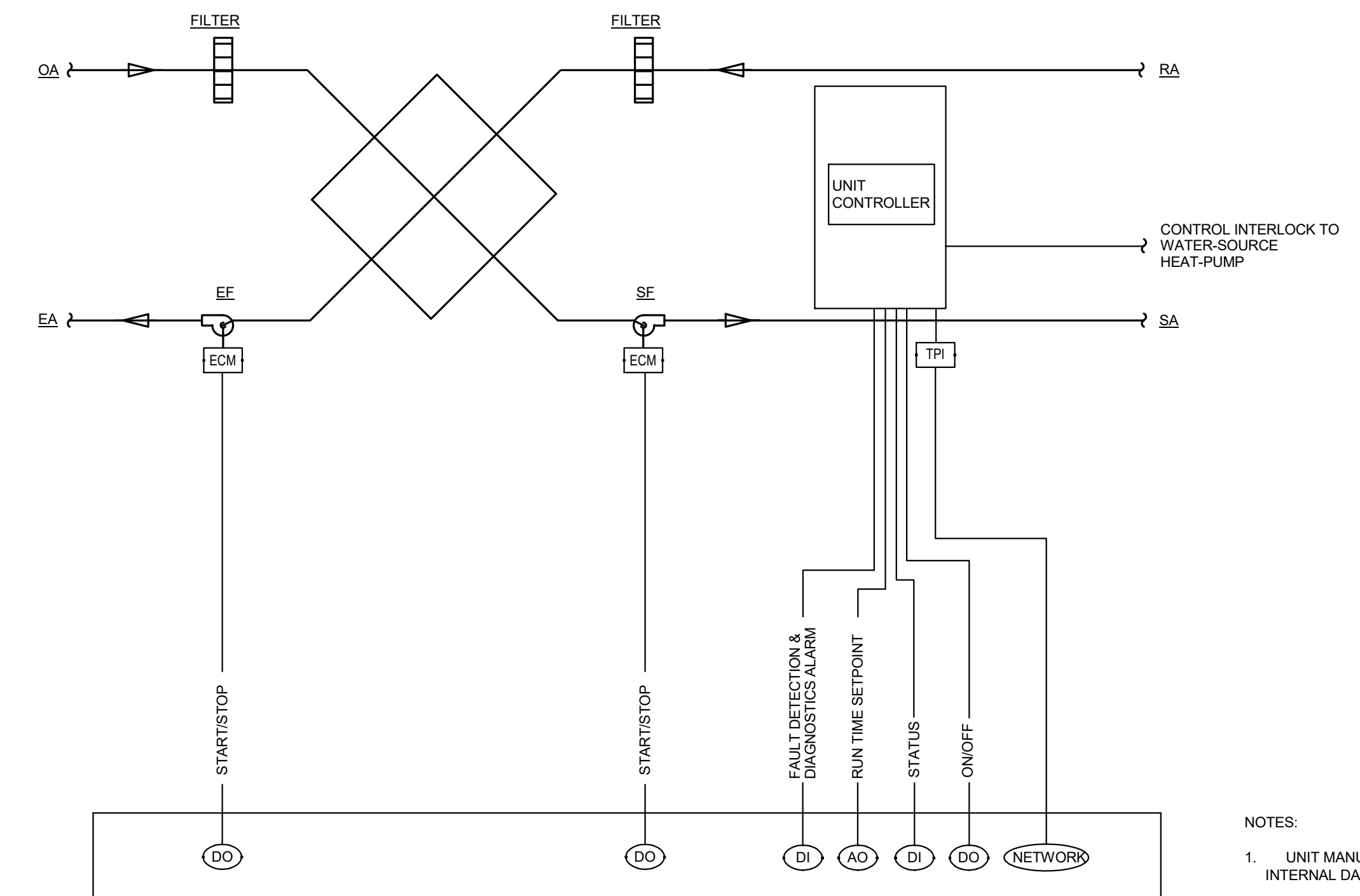
**ALARMS:**

BACNET INTERFACE TO PROVIDE UNIT FAULT DETECTION AND ALARMS TO BAS.

ALARM TO BAS WHEN SUPPLY AIR TEMPERATURE IS +/- 5 DEG. F OFF OF SETPOINT (ADJ.).

**NOTES:**

- UNIT MANUFACTURER TO PROVIDE CONTROLLER, BACNET INTERFACE, INTERNAL DAMPERS, ACTUATORS, VALVES, AND SENSORS.



**2. ENERGY RECOVERY VENTILATOR (ERV) UNIT CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION:**

**RUN CONDITIONS:**

- THE UNIT SHALL BE INTERLOCKED WITH ITS ASSOCIATED WATER-SOURCE HEAT-PUMP UNIT.
- THE UNIT SHALL HAVE A MINIMUM RUN-TIME PERCENTAGE OF 50% FOR EVERY 4 HOUR PERIOD.
- THE UNIT SHALL RUN ANYTIME ITS ASSOCIATED WATER-SOURCE HEAT-PUMP UNIT IS RUNNING.

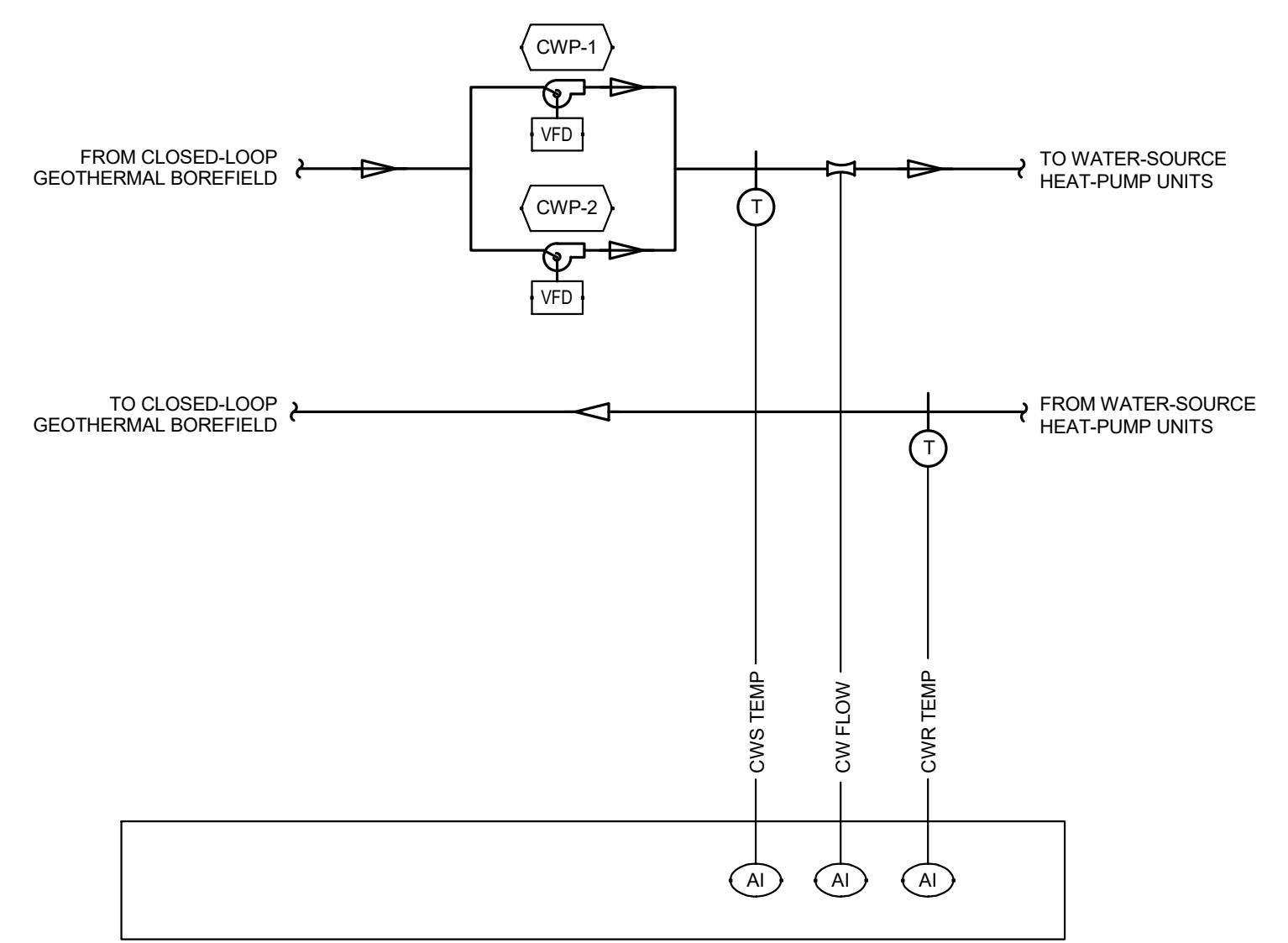
THE UNIT SHALL OPERATE UNDER ITS OWN MANUFACTURER-PROVIDED CONTROL SYSTEM.

**ALARMS:**

BACNET INTERFACE TO PROVIDE UNIT FAULT DETECTION AND ALARMS TO BAS.

**NOTES:**

- UNIT MANUFACTURER TO PROVIDE CONTROLLER, BACNET INTERFACE, INTERNAL DAMPERS, ACTUATORS, VALVES, AND SENSORS.



**3. CONSENSER WATER SYSTEM CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION:**

**CONDENSER WATER SYSTEM:**

**RUN CONDITIONS:**

THE CONDENSER WATER SYSTEM SHALL BE ENABLED TO RUN WHEN ANY WATER-SOURCE HEAT-PUMP UNIT IS ENABLED TO RUN.

**CONDENSER WATER PUMP SEQUENCE OF OPERATION :**

CWP-1 & CWP-2 ARE TO BE "SENSORLESS" PUMPS WITH VARIABLE SPEED DRIVES WITH INTEGRATED INTELLIGENT PUMP CONTROLLERS.

PUMP CONTROLLER RECEIVES SIGNAL FROM WATER-SOURCE HEAT-PUMP UNIT CONTROLLER(S), WHICH INITIATES OCCUPIED OR UNOCCUPIED MODE.

**UNOCCUPIED MODE:**

STOP PUMPS.

**OCCUPIED MODE:**

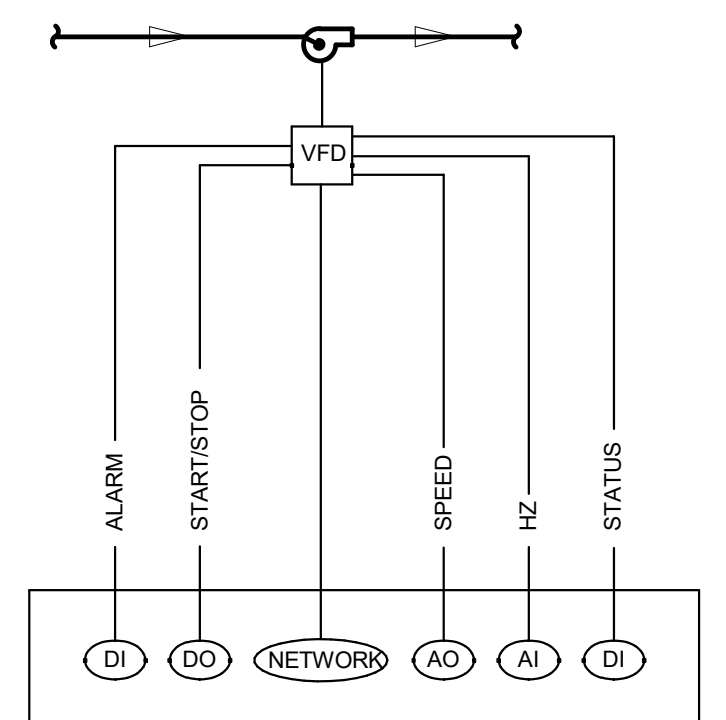
LEAD CONDENSER WATER PUMP OPERATES.

CONTROLLER GENERATES ALARM WHEN LEAD PUMP/CONTROLLER FAILS TO OPERATE AND STARTS STANDBY PUMP.

CONTROLLER TO SWITCH LEAD AND STANDBY PUMPS ON OPERATOR DEFINED SCHEDULE TO ALLOW FOR EVEN WEAR.

**ALARMS:**

ALARM TO BAS WHEN CONDENSER WATER SUPPLY OR RETURN TEMPERATURE IS +/- 5 DEG. F OFF OF SETPOINT (ADJ.).



**4. PUMP WITH VFD CONTROL DIAGRAM**  
NO SCALE

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**DETAILS - MECHANICAL**

Scale  
Drawn Author  
Checked Checker

**M704**

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# PLUMBING SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

Abbreviations	
(A)	ABANDON IN PLACE
AFF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
AR	ACID-RESISTANT
&	AND
A	AQUASTAT, ARCHITECT, ANCHOR, AMPHERE
@	AT
BFP	BACKFLOW PREVENTER
BY	BALANCING VALVE
BF	BELOW FINISHED FLOOR
BF	BLIND FLANGE
BTUH	BRITISH THERMAL UNITS PER HOUR
BLDG	BUILDING
CV	CHECK VALVE
CO	CLEANOUT
CW	COLD WATER
CD	CONDENSATE DRAIN
CONT.	CONTINUATION
CFH	CUBIC FEET PER HOUR
CFS	CUBIC FEET PER SECOND
(X)	DEMOLISH
DW	DISHWASHER, DOMESTIC WATER
DET	DOMESTIC EXPANSION TANK
DCVA	DOUBLE CHECK VALVE ASSEMBLY
DN	DOWN
DS	DOWNSPOUT
DSN	DOWNSPOUT NOZZLE
D	DRAIN
DFU	DRAINAGE FIXTURE UNIT
DWV	DRAINAGE, WASTE AND VENT
DF	DRINKING FOUNTAIN
EWC	ELECTRIC WATER COOLER
EWH	ELECTRIC WATER HEATER
ELECT	ELECTRICAL
ESV	ELECTRONIC SOLENOID VALVE
EEW	EMERGENCY EYE WASH
ESH	EMERGENCY SHOWER
(E)	EXISTING
EJ	EXPANSION JOINT
FT	FEET
FPS	FEET PER SECOND
FFE	FINISHED FLOOR ELEVATION
F	FIRE, FAHRENHEIT
FC	FLEXIBLE CONNECTOR
FL	FLOOR
FOO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FS	FLOOR SINK, FLOW SWITCH
FV	FLUSH VALVE
'	FOOT, FEET
(F)	FUTURE
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GD	GARBAGE DISPOSER, GARAGE DRAIN
GWH	GAS WATER HEATER
GW	GREASE WASTE
HD	HEAD, HUB DRAIN
HP	HEAT PUMP, HORSE POWER, HOUSEKEEPING PAD
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HZ	HERTZ
HB	HOSE BIBB
HW	HOT WATER
HWFU	HOT WATER FIXTURE UNIT
HWR	HOT WATER RETURN
IN, "	INCHES
IW	INDIRECT WASTE
INV	INVERT ELEVATION
KW	KILOWATT
L	LAVATORY
MW	MAKE-UP WATER
MAX	MAXIMUM
HC	MERCURY
MIN	MINIMUM
MX	MIXING VALVE
MS	MOP SINK
MH	MOUNTING HEIGHT, MANHOLE
(N)	NEW
NPCW	NON-POTABLE COLD WATER
NOP	NORMALLY OPEN
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
#	NUMBER
NO.	NUMBER
OD	OVERFLOW DRAIN, OUTSIDE DIAMETER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
PH	PHASE
PLBG	PLUMBING
P	PLUMBING, PUMP
POC	POINT OF CONNECTION
PSI	POUNDS PER SQUARE INCH
PD	PRESSURE DROP, PLUMBING DEMOLITION, PUMPED DISCHARGE
PG	PRESSURE GAUGE
PRV	PRESSURE REDUCING VALVE
PS	PRESSURE SWITCH
QTY	QUANTITY
RWL	RAINWATER LEADER
RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
RV	RELIEF VENT, RELIEF VALVE
(R)	RELOCATE / RELOCATED LOCATION
RPM	REVOLUTIONS PER MINUTE
RD	ROOF DRAIN
SAN	SANITARY
SJ	SEISMIC JOINT
SB	SERVICE BOX
SS	SERVICE SINK
SHT	SHEET
SA	SHOCK ARRESTOR
SH	SHOWER
SOV	SHUT OFF VALVE
S, SK	SINK
SF	SQUARE FEET
SD	STORM DRAIN
SP	SUMP PUMP, STATIC PRESSURE
TEMP	TEMPERATURE
T&P	TEMPERATURE AND PRESSURE
T	TEMPERATURE, THERMOMETER
TP	TRAP PRIMER, TOTAL PRESSURE
T	TRENCH DRAIN
TP	TYPICAL
U, UR	URINAL
V	VACUUM, VENT, VOLT
VFD	VARIABLE FREQUENCY DRIVE
VS	VENT STACK
VTR	VENT THRU ROOF
W	WALL CLEANOUT
WB	WASHER BOX
W	WASTE
WS	WASTE STACK
WC	WATER COLUMN
WC	WATER COLUMN, WATER CLOSET
WHA	WATER HAMMER ARRESTOR
WH	WATER HEATER, WALL HYDRANT
WSFU	WATER SUPPLY FIXTURE UNIT
W	WITH

## Control Symbols

(AL)	ANALOG INPUT TO DDC PANEL
(AO)	ANALOG OUTPUT FROM DDC PANEL
(DP)	DIFFERENTIAL PRESSURE SENSOR
(DI) CT	DIGITAL INPUT CURRENT TRANSFORMER
(DI)	DIGITAL INPUT TO DDC PANEL
(DO)	DIGITAL OUTPUT FROM DDC PANEL
(DO) SB	DIGITAL OUTPUT START/STOP SIGNAL
(FM)	FLOW METER
(E)	LINE VOLTAGE THERMOSTAT

## General

(X)	CONTINUATION
(X)	DETAIL NUMBER AND SHEET LOCATION
(XX-X) LOCATION	EQUIPMENT IDENTIFICATION
(X)	EXTENT OF DEMOLITION
(X)	FIXTURE TAG (LEVEL BELOW FIXTURE)
(XX)	FOOD SERVICE EQUIPMENT / CALCULATION TAG
(X)	KEYED NOTE
(/)	PIPE BELOW GRADE
(/)	POINT OF CONNECTION
(X)	SECTION NUMBER AND SHEET LOCATION
(X)	DEMOLISH
(/)	EXISTING WORK
(/)	NEW WORK
(/)	PIPE OR CONDUIT BELOW GRADE

## Piping Fittings

(AP)	ACCESS PANEL
(A)	AQUASTAT
(AD)	AREA DRAIN
(B)	BLIND FLANGE
(C)	CAP
(CO) CT	CLEANOUT TO GRADE
(C)	CONCENTRIC REDUCER
(DSN)	DOWNSPOUT NOZZLE
(E)	ECCENTRIC REDUCER
(EJ)	EXPANSION JOINT
(FC)	FLEXIBLE CONNECTION
(FCO)	FLOOR CLEANOUT
(FD)	FLOOR DRAIN
(FS)	FLOOR SINK
(F)	FLOW DIRECTION
(FS)	FLOW SWITCH
(H)	HOSE BIBB / WALL HYDRANT
(HD)	HUB DRAIN
(M)	METER
(OD)	OVERFLOW ROOF DRAIN

(PEX)	PEX MANIFOLD
(P)	PIPE DROP
(R)	PIPE RISE
(G)	PRESSURE GAUGE WITH COCK
(P)	PUMP
(RD)	ROOF DRAIN
(S)	SHOCK ABSORBER / WATER HAMMER ARRESTOR
(S)	STRAINER
(T&P)	T&P RELIEF VALVE WITH PIPE TO DRAIN
(T)	TEE DOWN ON PIPE
(T)	TEE UP ON PIPE
(T)	TEMPERATURE SENSOR
(T)	TEST PORT
(T)	THERMOMETER
(TP)	TRAP PRIMER MANIFOLD
(T)	TRENCH DRAIN
(U)	UNION
(V)	VACUUM RELIEF
(VTR)	VENT THROUGH ROOF
(WCO)	WALL CLEANOUT

## Piping Systems

(- - - - -) 140°HW	140°%d HOT WATER PIPING
(- - - - -) 140°HWR	140°%d HOT WATER RETURN PIPING
(- - - - -) AR	ACID RESISTANT VENT PIPING
(- - - - -) ARW	ACID RESISTANT WASTE ABOVE GRADE
(- - - - -) ARWB	ACID RESISTANT WASTE BELOW GRADE
(- - - - -) CW	COLD WATER PIPING
(- - - - -) CA	COMPRESSED AIR PIPING
(- - - - -) CD	CONDENSATE / INDIRECT DRAIN PIPING
(- - - - -) DIR	DE-IONIZED WATER RETURN
(- - - - -) DIS	DE-IONIZED WATER SUPPLY
(- - - - -) DW	DISTILLED WATER
(- - - - -) F	FIRE PROTECTION PIPING
(- - - - -) GV	GAS VENT PIPING
(- - - - -) GW	GREASE WASTE ABOVE GRADE OR FINISHED FLOOR
(- - - - -) GWB	GREASE WASTE BELOW GRADE OR FINISHED FLOOR
(- - - - -) HW	HOT WATER PIPING
(- - - - -) HWR	HOT WATER RETURN PIPING
(- - - - -) IR	IRRIGATION
(- - - - -) 2RG	NATURAL GAS PIPING, 2 LB
(- - - - -) G	NATURAL GAS PIPING, 7" WC PRESSURE
(- - - - -) NP	NON-POTABLE COLD WATER PIPING
(- - - - -) NPH	NON-POTABLE HOT WATER PIPING
(- - - - -) OD	OVERFLOW DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR
(- - - - -) PD	PUMPED DISCHARGE

(RO)	REVERSE OSMOSIS WATER
(- - - - -)	SANITARY VENT PIPING
(- - - - -)	SANITARY WASTE OR SOIL PIPING ABOVE GRADE OR FINISHED FLOOR
(- - - - -)	SANITARY WASTE OR SOIL PIPING BELOW GRADE OR FINISHED FLOOR
(- - - - -) SHW	SOLAR HOT WATER
(- - - - -) SHWR	SOLAR HOT WATER RETURN
(- - - - -) SD	STORM DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR
(- - - - -) SDB	STORM DRAIN PIPING BELOW GRADE OR FINISHED FLOOR
(- - - - -) TW	TEMPERED WATER PIPING
(- - - - -) TP	TRAP PRIMER PIPING
(BFP)	BACKFLOW PREVENTER
(B)	BACKWATER VALVE
(X) GPM	BALANCING VALVE
(C)	CHECK VALVE
(E)	EARTHQUAKE GAS VALVE
(E)	ELECTRONIC SOLENOID VALVE
(G)	GLOBE VALVE
(H)	HOSE END DRAIN VALVE
(N)	NATURAL GAS PIPING CONNECTION ASSEMBLY
(P)	PRESSURE REDUCING VALVE
(S)	SHUTOFF VALVE, GENERAL

## Valves

## GENERAL PLUMBING NOTES

- THE ENTIRE PLUMBING SYSTEM, INSTALLATION AND TESTING MUST BE IN COMPLIANCE WITH THE LOCAL ADOPTED BUILDING CODES.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
- IN THE EVENT OF A DISCREPANCY BETWEEN CONTRACT DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT SHALL GOVERN. ALL WORK TO BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING STATE AND LOCAL FIRE AND BUILDING CODES, NFPA, AND OSHA. INSTALL ALL PIPING TO AVOID ARCHITECTURAL FRAMING, STRUCTURAL MEMBERS, AND OTHER OBSTRUCTIONS. COORDINATE PIPING LOCATIONS WITH ALL APPLICABLE CONTRACT DRAWINGS PRIOR TO PLACING SLEEVES IN FLOORS OR WALLS. INSTALL ALL PIPING TO BEST SUIT FIELD CONDITIONS AND COORDINATE WITH THE INSTALLATION WORK OF OTHER TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATIONS OF PIPING.
- COORDINATE PIPING WITH STRUCTURAL DRAWINGS, LIGHTING, AUDIO VISUAL AND SPRINKLER SYSTEM. PROVIDE TRANSITIONS AS REQUIRED. COORDINATE LOCATIONS OF ACCESS DOORS WITH F.D.S., V.D.S., S.D., ETC. THE OPENING SHALL BE LARGE ENOUGH TO PERMIT MAINTENANCE AND RESETTING OF THE DEVICE.
- PROVIDE ALL MISCELLANEOUS STEEL, SPECIAL SUPPORTS AND ANCHORING FOR COMPLETE INSTALLATION OF SYSTEMS/EQUIPMENT AND FOR SUPPORT OF ALL PIPING, EQUIPMENT, ETC. REQUIRE SUCH REFER TO STRUCTURAL DRAWINGS. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ALL CONDITIONS SHALL BE CONTRACTOR COORDINATED AND VERIFIED FOR EXACT LOCATION AND SIZES. THE CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VERIFY ALL CONDITIONS BEFORE SUBMITTING HIS BID.
- SEAL ALL FIRE RATED PENETRATIONS WITH FIRE RETARDANT MATERIAL AS SPECIFIED.
- PROVIDE OPERATING HANDLES FOR ALL VALVES AND COCKS WITHOUT INTEGRAL OPERATORS.
- SEE ARCHITECTURAL DOCUMENTS FOR PAINTING OF ALL EXPOSED PIPING, FIXTURE TRIM, AND PLUMBING EQUIPMENT.
- ALL PIPING TO BE LOCATED INSIDE WALL CAVITIES OR INACCESSIBLE SPACES SHALL BE LEAK TESTED AND INSULATED WITH VAPOR BARRIER SEAL BEFORE INSTALLATION (TYPICAL).
- CORE DRILL CONCRETE WALL FOR PIPE PENETRATIONS. DIAMETER OF WALL OPENING SHALL BE 2 INCHES LARGER THAN THE DIAMETER OF PIPE WITH INSULATION. SEAL ALL PENETRATIONS WITH UL APPROVED SEALANT. (REFER TO ARCHITECTURAL RECOMMENDATIONS).
- ALL WORK UNDER THIS DIVISION SHALL BE COORDINATED WITH OTHER TRADES.
- PLUG OR CAP ACTIVE PIPING BEHIND OR BELOW FINISH AS REQUIRED OR INDICATED. DO NOT LEAVE LONG DEAD-END BRANCHES CAP OR PLUG AS CLOSE AS POSSIBLE TO ACTIVE LINE. DEMOLISH ALL UNUSED PIPES.
- DISCONNECT, REMOVE OR RELOCATE MATERIAL, EQUIPMENT, PLUMBING FIXTURES, PIPING AND OTHER WORK NOTED AND REQUIRED BY REMOVAL OR CHANGES IN EXISTING CONSTRUCTION.
- ALL MATERIALS AND WORKMANSHIP ARE SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT. ANY PORTION OF THE WORK FOUND TO BE DEFECTIVE SHALL BE REPLACED BY THE CONTRACTOR AS PART OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
- NOT ALL PIPE TRANSITIONS AND/OR OFFSETS ARE SHOWN. PROVIDE TRANSITIONS AND/OR OFFSETS AT NO ADDITIONAL COST TO OWNER.
- PROVIDE ASSE 1070 TEMPERING VALVES FOR ALL LAVATORIES AND HAND SINKS AS REQUIRED BY CODE.
- PROVIDE APPROPRIATE BACKFLOW PREVENTION TO PROTECT THE POTABLE WATER SUPPLY AS REQUIRED BY CODE.
- COORDINATE ALL FLUSH VALVES WITH GRAB BARS TO ENSURE BOTH FUNCTION AS DESIGNED.
- PROVIDE TRAP SEAL PROTECTION ON ALL TRAPS SUBJECT TO LOSS BY EVAPORATION. PROVIDE TRAP PRIMERS CONFORMING TO ASSE 1018 OR ASSE 1044.
- PROVIDE A SEDIMENT TRAP (TEE WITH NIPLLE AND CAP) BETWEEN EQUIPMENT GAS SHUTOFF AND EQUIPMENT. THE TEE SHALL BE IN THE VERTICAL POSITION WITH THE CAPPED NIPLLE IN THE BOTTOM OPENING OF THE TEE.
- PROVIDE DRAIN PAN FOR ALL INSTALLED WATER HEATERS.
- PROVIDE CLEANOUTS AS REQUIRED TO MEET CODE.
- ALL HORIZONTAL VENTS SHOWN 6" OR MORE BELOW THE FLOOD LEVEL RIM OF THE FIXTURE THEY ARE SERVING ARE TO BE RUN AT A MINIMUM OF 45° FROM THE HORIZONTAL. NO FLAT HORIZONTAL VENTS 6" OR MORE BELOW THE FLOOD LEVEL RIM ARE ALLOWED.



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Revisions

## SYMBOL LIST AND GENERAL NOTES - PLUMBING

## SHEET INDEX

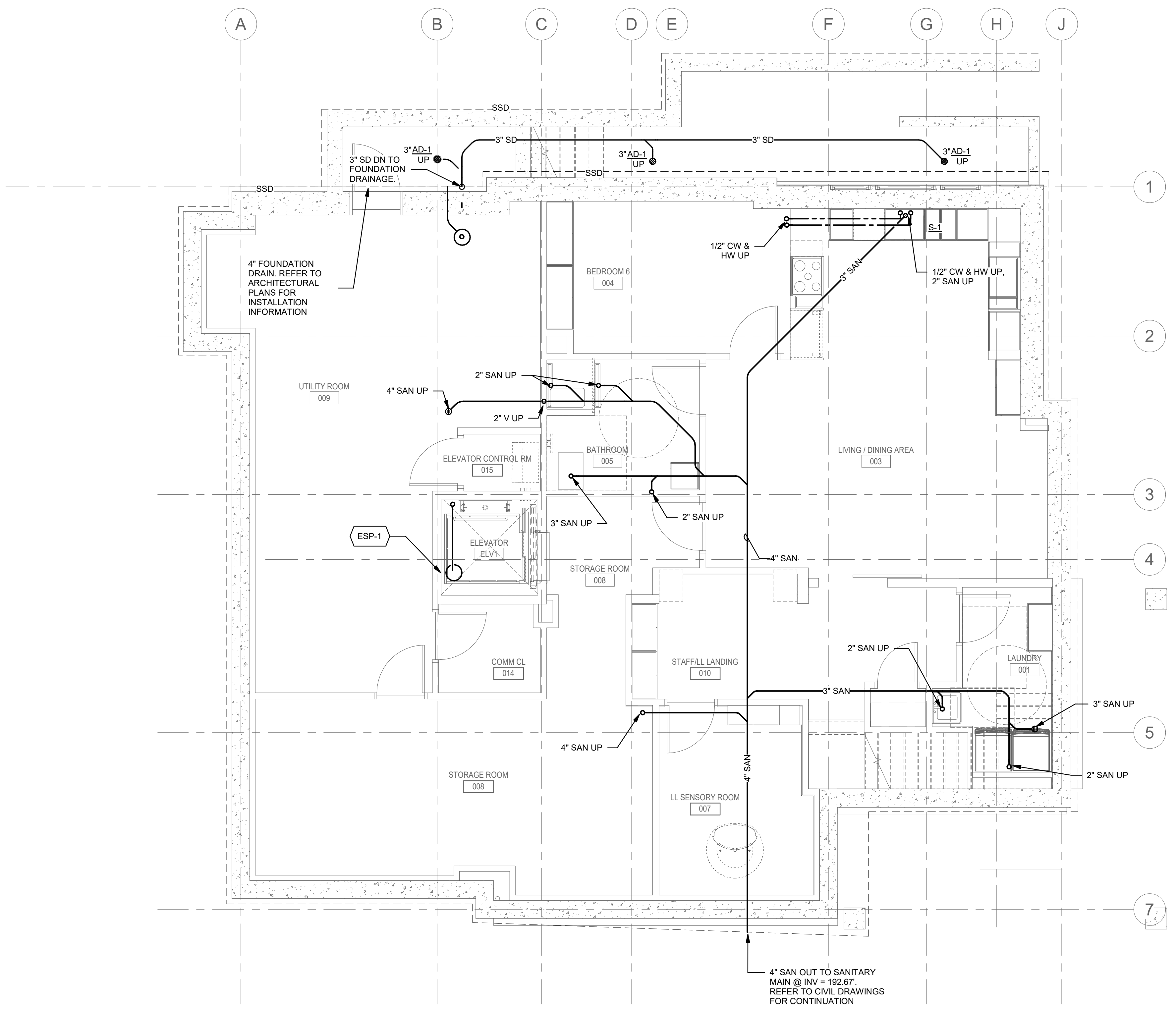
P001	SYMBOL LIST AND GENERAL NOTES - PLUMBING
P100	BELOW SLAB PLAN - PLUMBING
P101	FLOOR PLANS - BASEMENT & GROUND LEVEL - PLUMBING
P102	FLOOR PLANS - 2ND & ATTIC LEVEL - PLUMBING
P301	RISER DIAGRAM - PLUMBING
P601	SCHEDULES - PLUMBING
P701	DETAILS - PLUMBING

Scale  
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Checked JN

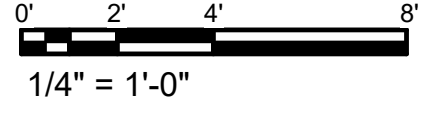
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**1 BELOW SLAB PLAN - PLUMBING**



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<b>Revisions</b>	
1 Permit Revisions	05.20.2021

**BELOW SLAB PLAN - PLUMBING**

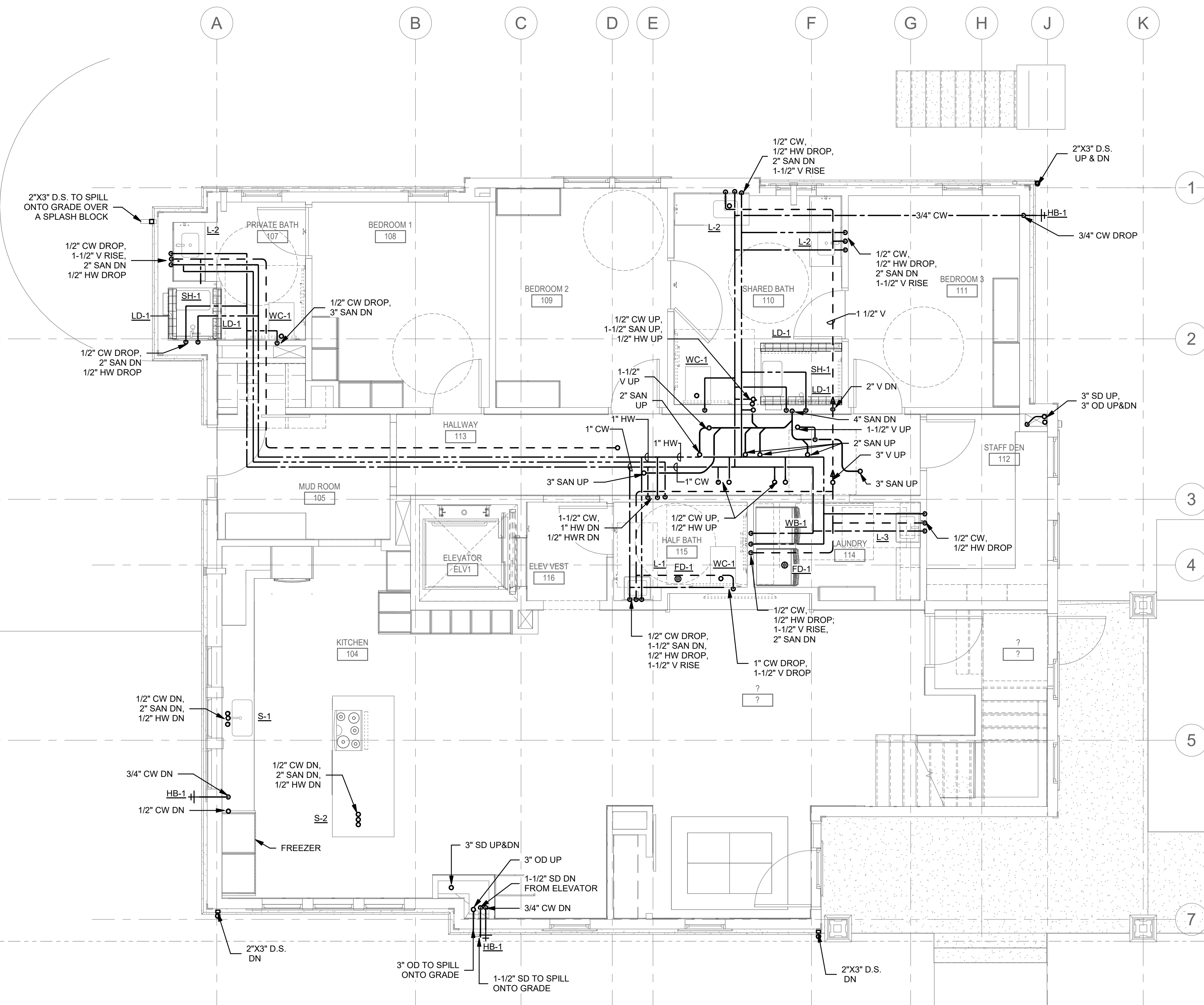
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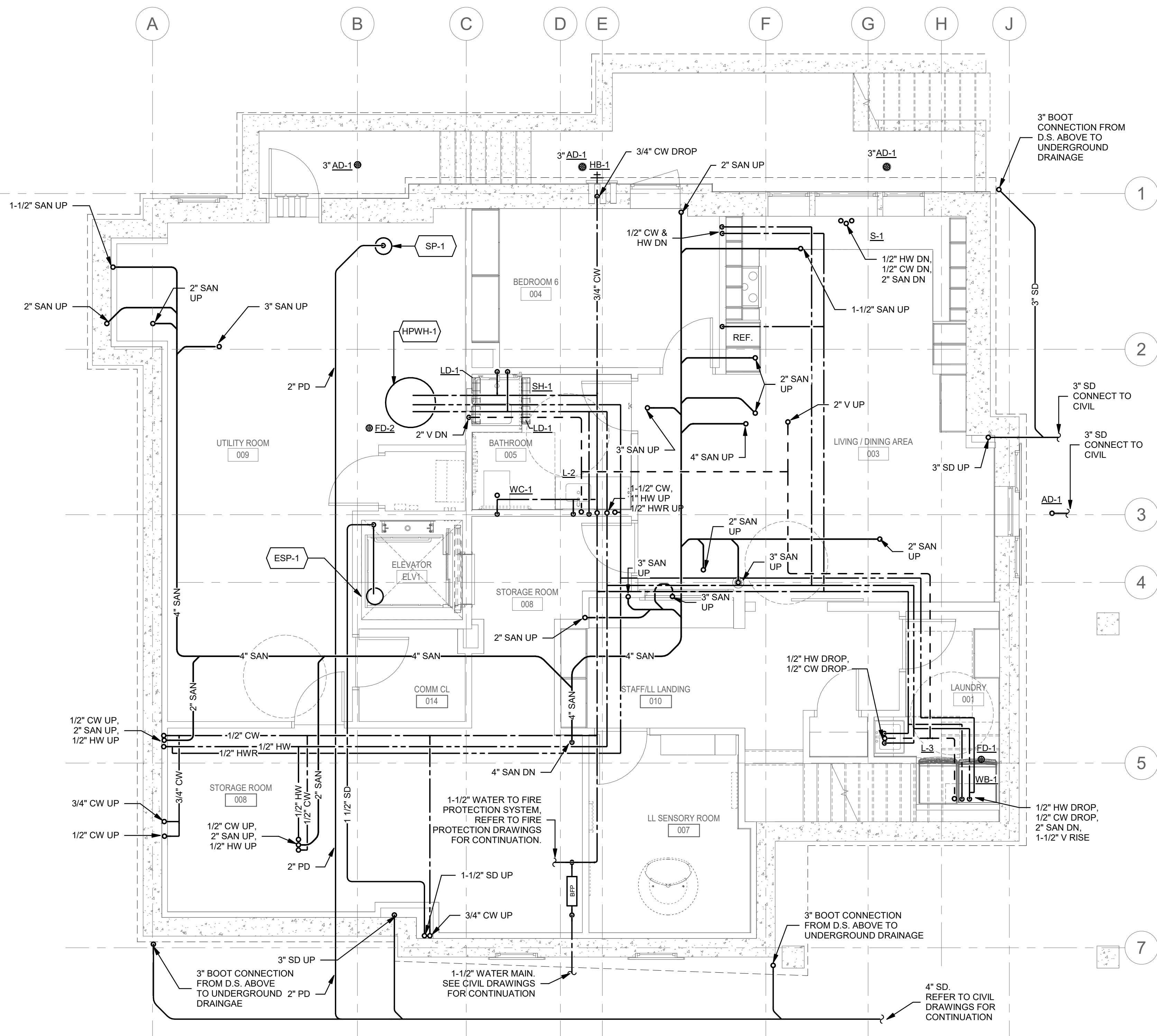
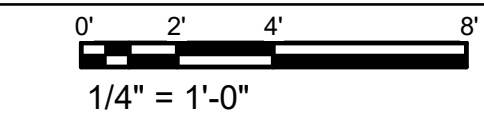


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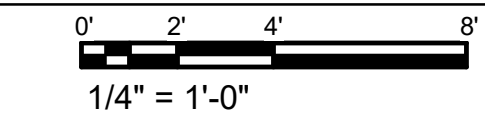
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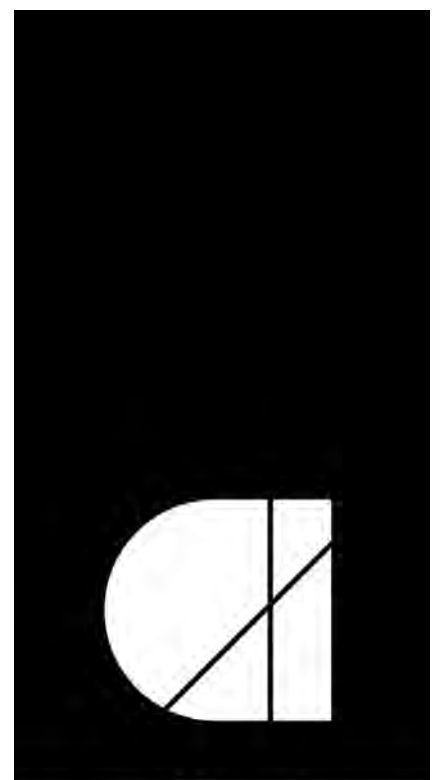
2 LEVEL 1 PLUMBING PLAN - OVERALL



1 BASEMENT LEVEL PLUMBING PLAN - OVERALL



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1	Permit Revisions	05.20.2021
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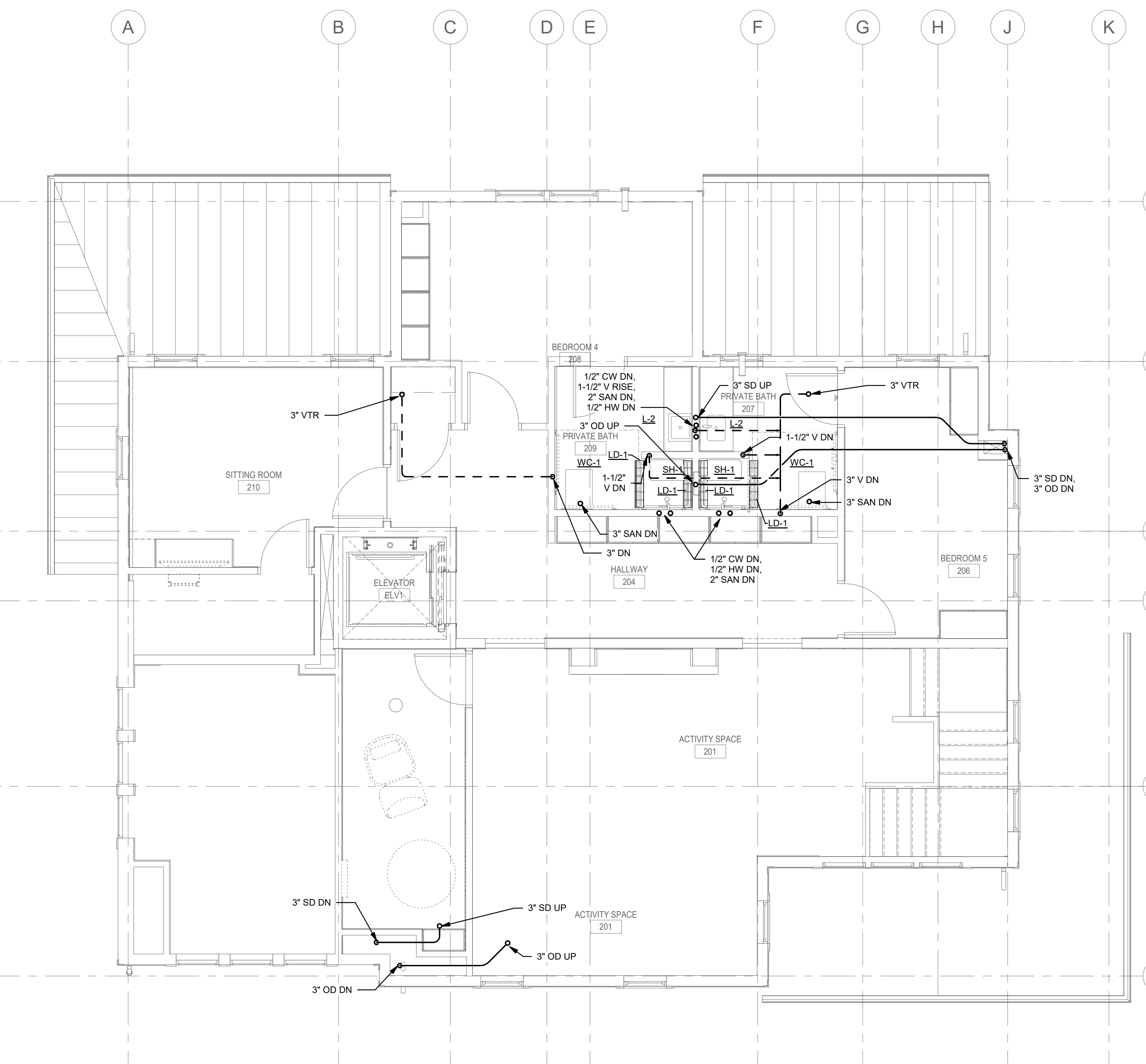
**FLOOR PLANS - BASEMENT & GROUND LEVEL - PLUMBING**

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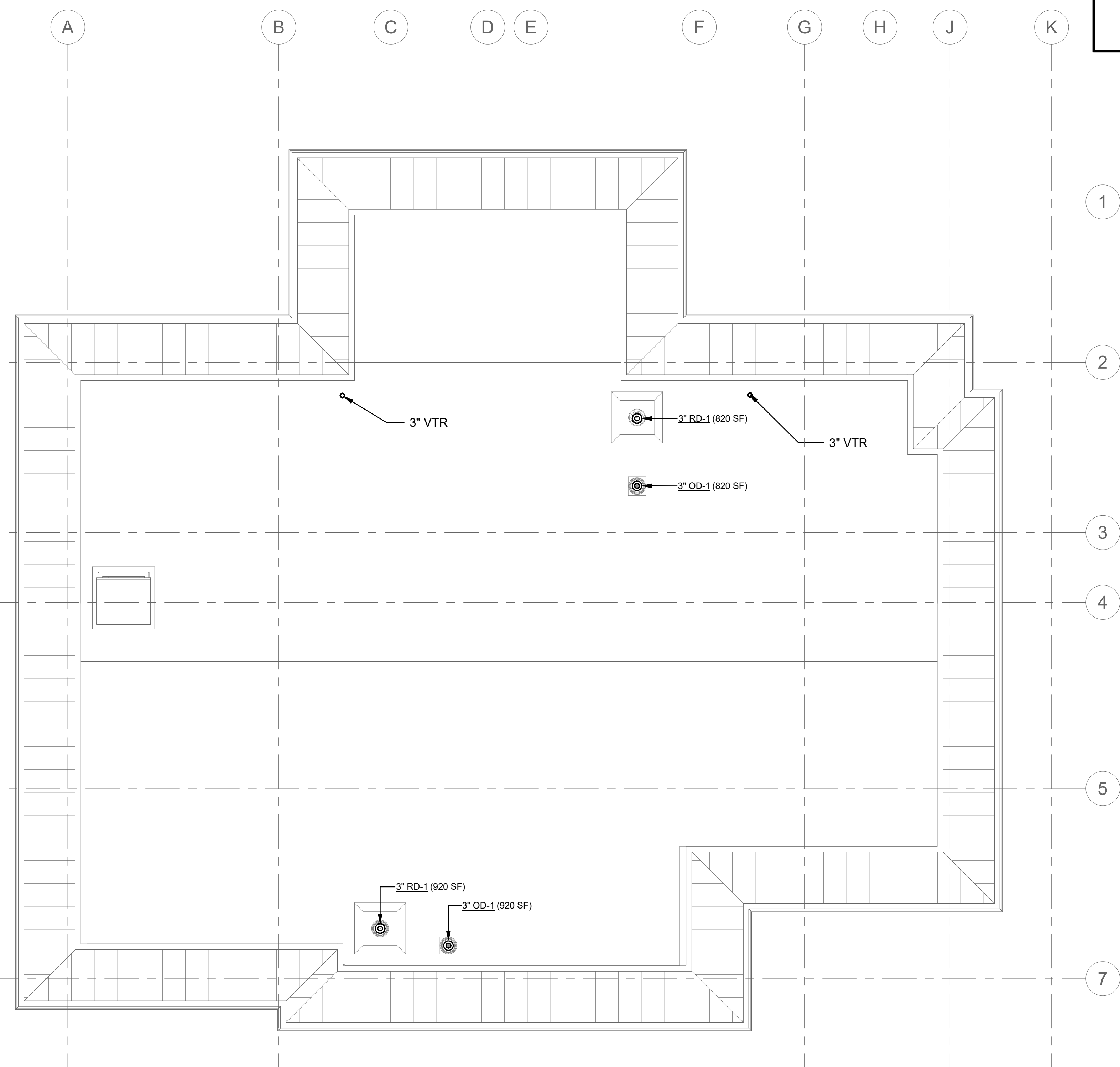
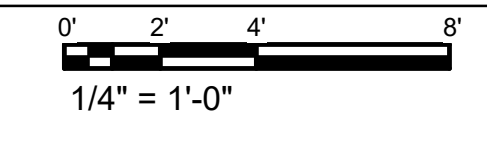
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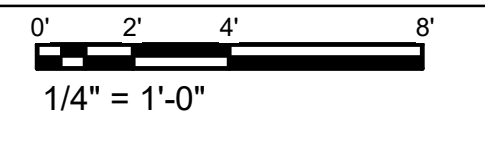




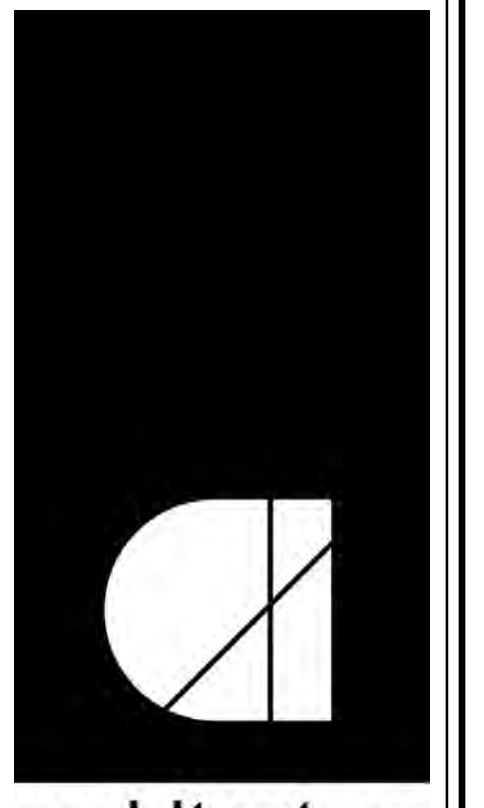
**1 SECOND LEVEL PLUMBING PLAN - OVERALL**



**2 ATTIC PLUMBING PLAN - OVERALL**



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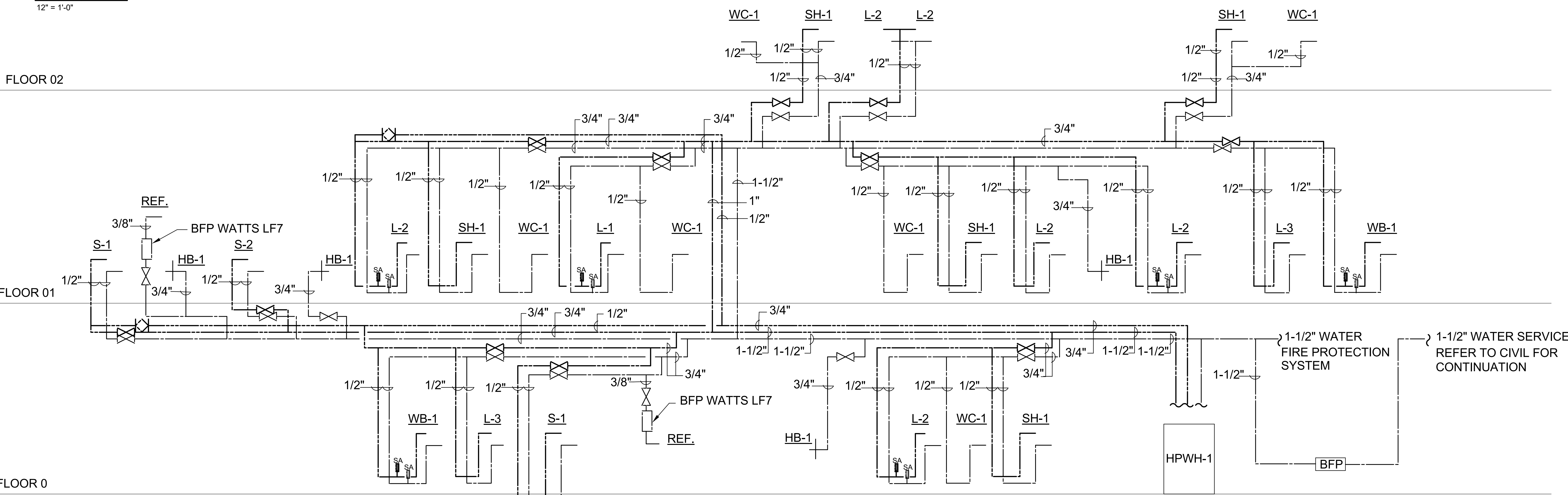
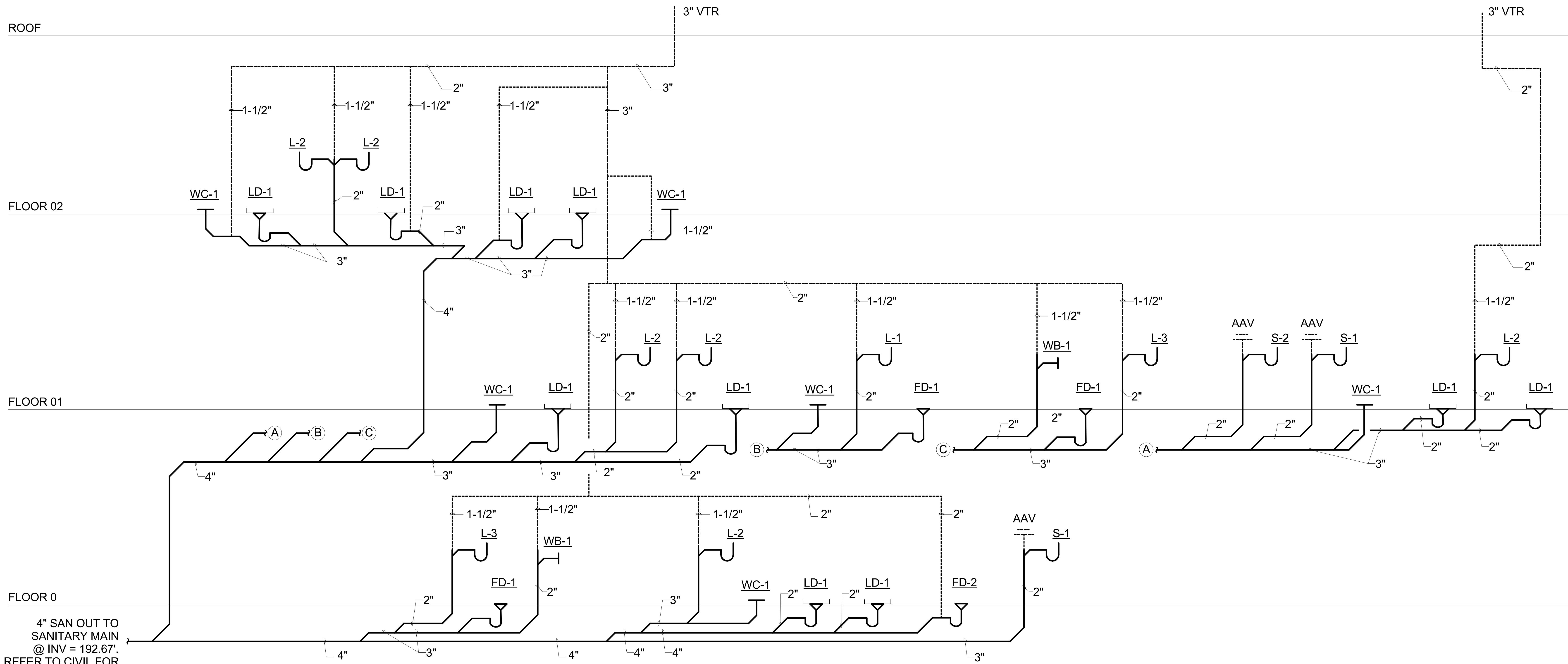
**FLOOR PLANS - 2ND & ATTIC LEVEL - PLUMBING**

Scale 1/4" = 1'-0"  
 Drawn DEK  
 Checked JN

**P102**



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**RISER DIAGRAM - PLUMBING**

Scale 12" = 1'-0"  
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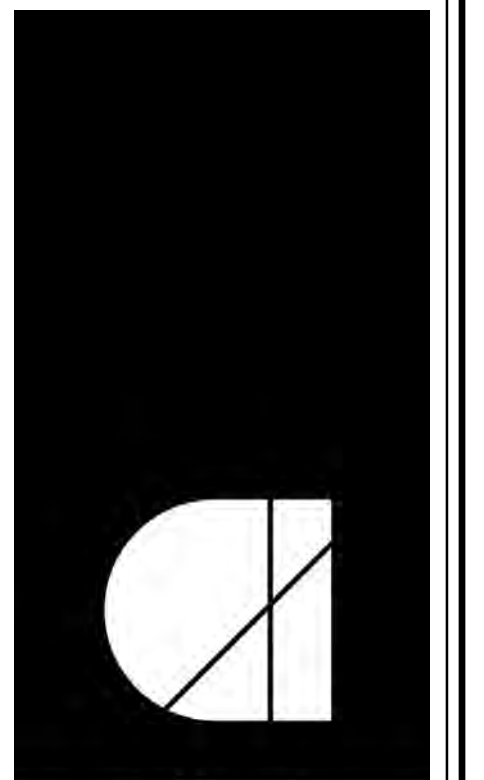


PLUMBING FIXTURE SCHEDULE										
SYMBOL	FIXTURE TYPE	DESCRIPTION	BASIS OF DESIGN			CONNECTION				NOTES
			MFR	MODEL	ACCESSORIES	W	V	CW	HW	
AD-1	AREA DRAIN (PLANTING AREA)	CAST IRON BODY, FLASHING CLAMP, CAST IRON DOME, STAINLESS STEEL MESH SCREEN	JR SMITH	2675-CID		4"	2"	PRIMER CONN.	--	
FD-1	FLOOR DRAIN (FINISHED FLOORS / SHOWERS)	CAST IRON BODY, FLASHING COLLAR, 8-INCH ADJUSTABLE NICKEL BRONZE STRAINER HEAD, TRAP PRIMER	JR SMITH	2005Y-A-06-P050NB		3"	1-1/2"	PRIMER CONN.	--	
FD-2	FLOOR DRAIN (UNFINISHED FLOORS / MECHANICAL ROOMS)	CAST IRON BODY, FLASHING COLLAR, 8-1/2-INCH ROUND ADJUSTABLE TOP, BAR GRATE, SEDIMENT BUCKET, TRAP PRIMER	JR SMITH	2350Y-P050		3"	1-1/2"	PRIMER CONN.	--	
HB-1	HOSE BIBB	EXPOSED, NON-FREEZE, ANTI-SIPHON, AUTOMATIC DRAINING, CHROME PLATED ASSEMBLY, DOUBLE CHECK BACKFLOW PREVENTER	WOODFORD	67-P		--	--	3/4"	--	
L-1	LAVATORY	WALL MOUNTED, VITREOUS CHINA 4-INCH CENTERS, ROUND, FRONT OVERFLOW	AMERICAN STANDARD	9024	FAUCET: AMERICAN STANDARD 7455107	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE P-TRAP, ANGLE STOPS, AND ESCUTCHEONS, PROVIDE THERMOSTATIC MIXING VALVE
L-2	LAVATORY	WALL MOUNTED, VITREOUS CHINA, SINGLE HOLE PUNCH, 4-INCH CENTERS, FRONT OVERFLOW	CORIAN	8254	FAUCET: AMERICAN STANDARD 7455107	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE P-TRAP, ANGLE STOPS, AND ESCUTCHEONS, PROVIDE THERMOSTATIC MIXING VALVE
L-3	LAUNDRY LAVATORY	WALL MOUNTED, 2-DECK HOLE PUNCH, 8-INCH CENTERS, 22-1/4-INCHES LENGTH X 18-1/4-INCHES WIDTH, FRONT OVERFLOW	KOHLER	K-6714		1-1/2"	1-1/2"	1/2"	1/2"	
LD-1	LINEAR DRAIN	STAINLESS STEEL CHANNEL BODY WITH CENTER OUTLET	SCHLUTER-KERDI-LINE	KL1V60E80 KL1V60E90 KL1V60E140		2"	1-1/2"	PRIMER CONN.	--	
S-1	SINK	COUNTERTOP, SINGLE BOWL, 18 GAUGE STAINLESS STEEL, 33-INCHES X 22-INCHES X 9-INCHES DEEP, 36-INCH MINIMUM CABINET SIZE, SINGLE PUNCH	AMERICAN STANDARD	EDGEWATER	RESIDENTIAL KITCHEN FAUCET (SINGLE HANDLE): KOHLER K-22060	2"	1-1/2"	1/2"	1/2"	PROVIDE P-TRAP, ANGLE STOPS, AND ESCUTCHEONS, PROVIDE THERMOSTATIC MIXING VALVE
S-2	ISLAND SINK	ADA UNDERMOUNT SINGLE BOWL, 18 GAUGE STAINLESS STEEL, 17-1/8-INCHES X 13-1/8-INCHES X 6-INCHES DEEP, 1-HOLE PUNCH	AMERICAN STANDARD	PORTSMOUTH 168891616005.075	RESIDENTIAL KITCHEN ISLAND SINK FAUCET (SINGLE HANDLE): KOHLER K-22034	2"	1-1/2"	1/2"	1/2"	
SH-1	SHOWER	ONE PIECE, 37-1/4-INCHES X 36-INCHES X 78-1/4-INCHES, SLIP-RESISTANT TEXTURED BOTTOM	COMFORT DESIGNS	XS1363 CNTAC	SHOWER TRIM: KOHLER K-TS10277-4, SHOWERHEAD AND HAND: KOHLER K-78472-S	2"	1-1/2"	1/2"	1/2"	
WB-1	WASHING MACHINE OUTLET BOX	ABS BOX/FRAME, NO-LEAD VALVES WITH WATER HAMMER ARRESTORS, 1/2" FEMALE SWEAT CONNECTIONS	SILOUX CHIEF	696-G2313MF		2"	1-1/2"	1/2"	1/2"	
WC-1	WATER CLOSET	FLOOR MOUNTED, VITREOUS CHINA, ADA COMPLIANT, ONE PIECE, ELONGATED SEAT, 1.28 GPF	KOHLER	K-3810		4"	2"	1/2"	--	

WATER HEATER SCHEDULE											
SYMBOL	EQUIPMENT TYPE	LOCATION/SERVING	BASIS OF DESIGN		TANK CAPACITY (GALLONS)	ELECTRICAL				MAX WT (LBS)	NOTES
			MFR	MODEL		VOLTS	PH	AMPS	WATTS		
HPWH-1	80 GALLON HEAT PUMP WATER HEATER	STORAGE ROOM	AO SMITH	HPTU-80N	80	240	1		4500	0	

PLUMBING PUMP SCHEDULE											
SYMBOL	EQUIPMENT TYPE	LOCATION/SERVING	BASIS OF DESIGN		FLOW RATE (GPM)	HEAD (FT H2O)	ELECTRICAL				NOTES
			MFR	MODEL			VOLTS	PH	WATTS	HP	
ESP-1	ELEVATOR SUMP PUMP	ELEVATOR PIT	STANCOR	SE-50	50	15.00	120	1	373	0.5	PROVIDE OIL MINDER
SP-1	SUMP PUMP	UNFINISHED BASEMENT / 3 AREA DRAINS	STANCOR	SE-50	50	15.00	120	1	373	0.5	24" DIAMETER X 36" DEEP POLY BASIN

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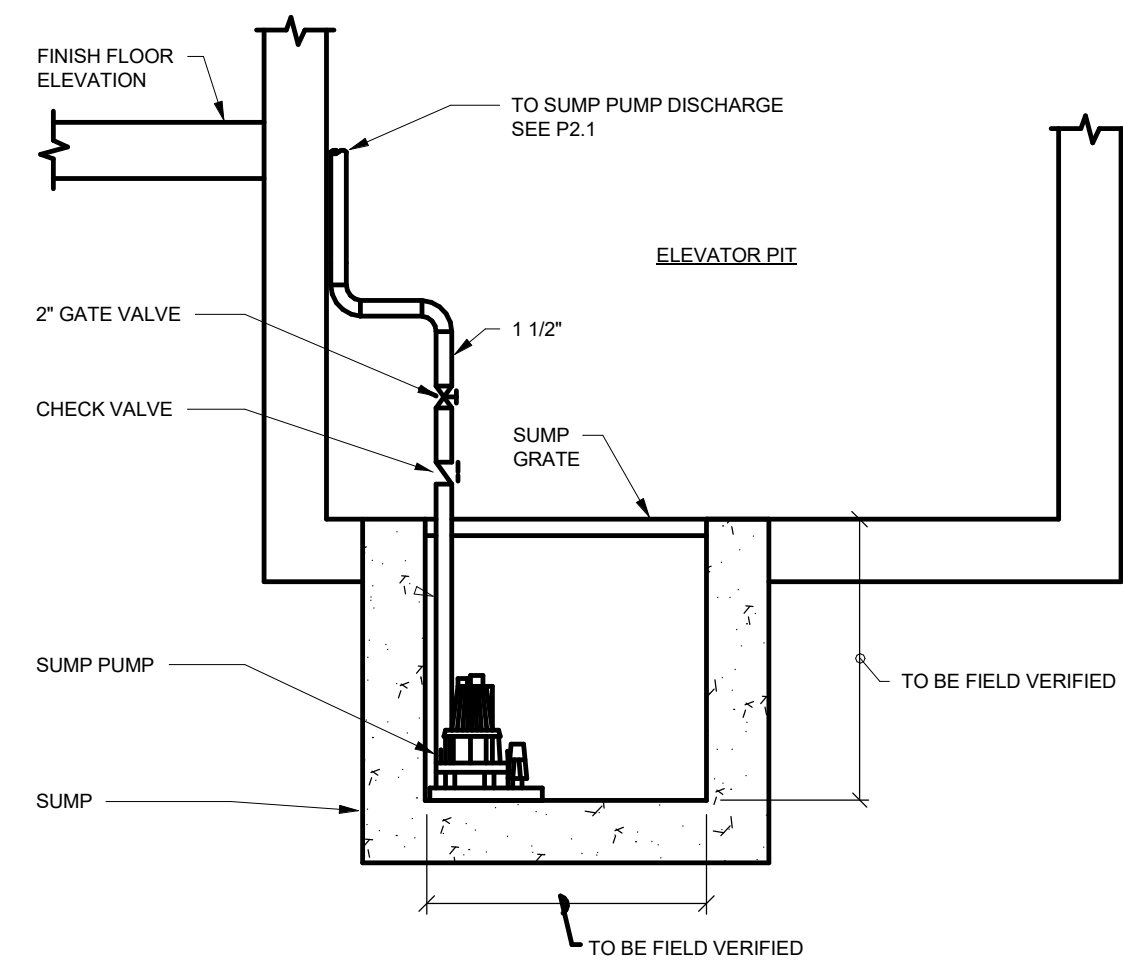
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Scale  
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 Checked JN

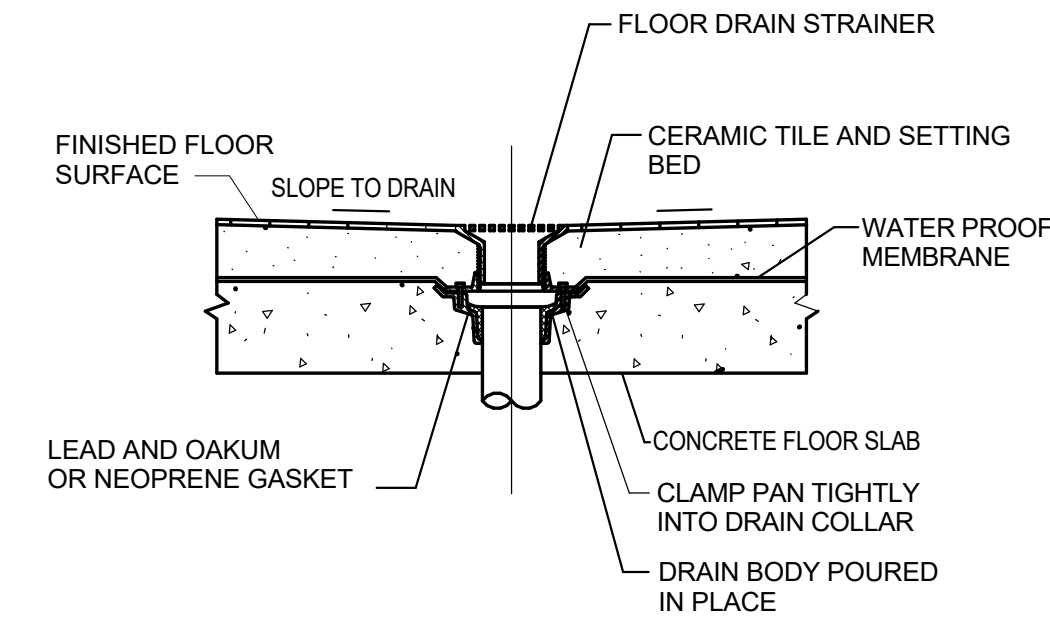
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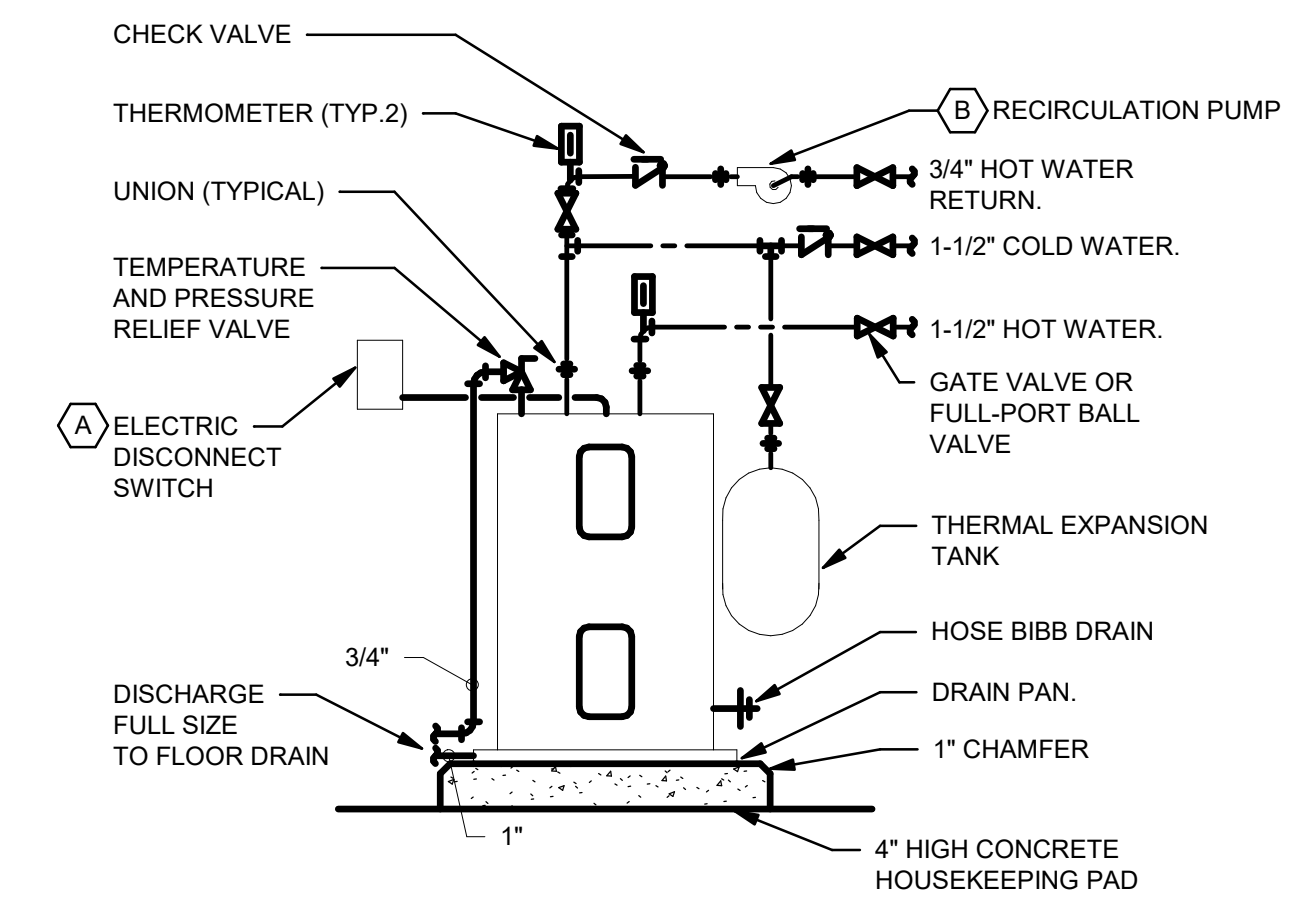




**ELEVATOR SUMP PUMP DETAIL**  
NO SCALE



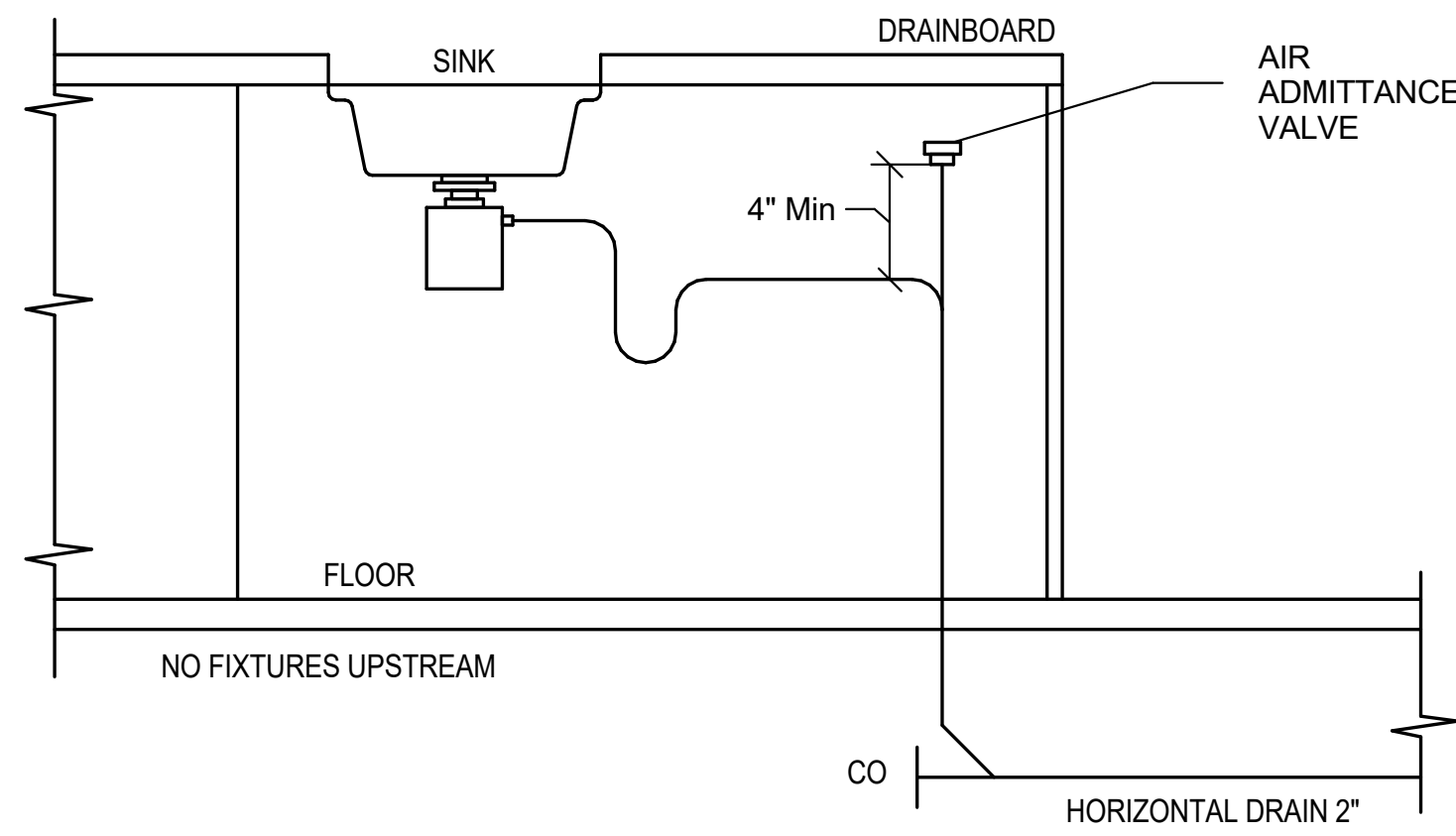
**FLOOR DRAIN DETAIL**  
NO SCALE



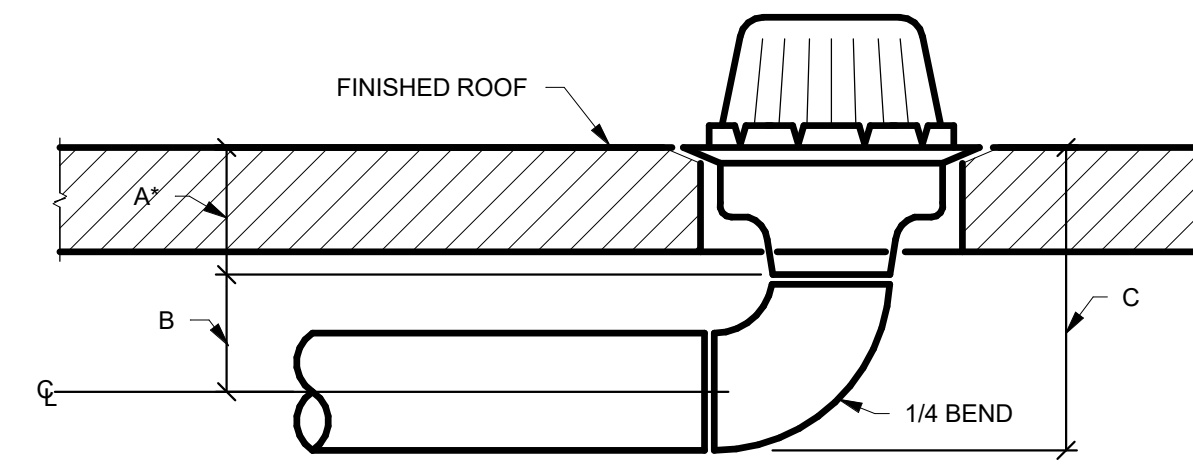
**NOTES**  
① LOCATE DISCONNECT SWITCH WITH 50-FEET OF UNIT AND WITHIN CLEAR SIGHT OF UNIT.

**1 ELECTRIC WATER HEATER DETAIL (EWC-1)**

0' 4' 8' 16'  
NO SCALE



**ISLAND VENTING DETAIL**  
NO SCALE



PIPE SIZE	A	B	C*
3"	5"	5"	12.0"
4"	5"	5-1/2"	13.0"
6"	5"	7"	15-1/2"
8"	7-3/4"	8-1/2"	20-3/4"
10"	7-3/4"	12"	25-1/4"

\* 2" MORE W/MEDIUM SWEEP 1/4 BEND, EXCEPT 10".  
NOTES: -ALLOW 1/4" AT EACH NO-HUB COUPLING.  
-NO-HUB COUPLINGS NOT SHOWN FOR CLARITY.

**ROOF DRAIN DETAIL**  
NO SCALE

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**DETAILS - PLUMBING**

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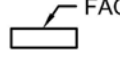




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### FIRE ALARM SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

#### Fire Alarm

-  FACP FIRE ALARM DEDICATED FUNCTIONS CONTROL PANEL
-  PULL STATION
-  SMOKE DETECTOR
-  SMOKE ALARM, SINGLE/MULTIPLE STATION, 120VAC, PHOTOELECTRIC
-  COMBINATION SMOKE/CARBON MONOXIDE ALARM, SINGLE/MULTIPLE STATION, 120VAC, PHOTOELECTRIC

### ADOPTED CODES AND STANDARDS

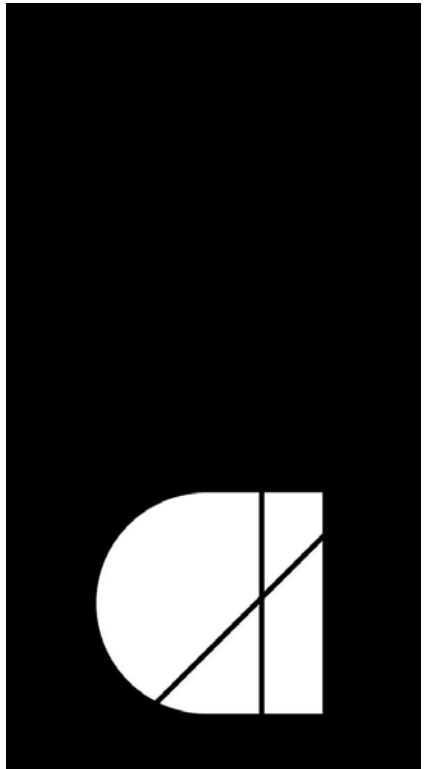
- A. 2015 VIRGINIA RESIDENTIAL CODE
- B. 2013 NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE

### GENERAL FIRE ALARM NOTES

- A. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS AND ADOPTED CODES AND STANDARDS. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO AHJ.
- B. FIRE ALARM PLANS ARE CONCEPTUAL AND NOT INTENDED TO SHOW THE SYSTEM IN ITS ENTIRETY.
- C. REFER TO SPECIFICATION 28 31 00 FOR SYSTEM DETAILS AND SEQUENCE.
- D. CONTRACTOR TO FURNISH AND INSTALL RESIDENTIAL UNIT SMOKE AND CARBON MONOXIDE DETECTION AND ALARMS.
- E. SMOKE AND COMBINATION SMOKE/CARBON MONOXIDE ALARMS TO BE 120VAC.
- F. SMOKE AND COMBINATION SMOKE/CARBON MONOXIDE ALARMS TO BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS WITHIN THE BUILDING.
- G. CONTRACTOR TO FURNISH AND INSTALL A DEDICATED FUNCTIONS PANEL TO MONITOR THE FIRE SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES AND PROVIDE OFF-SITE TRANSMITTING/REPORTING OF SUPERVISORY, TROUBLE, AND ALARM CONDITIONS.

### SHEET INDEX

- FA001 SYMBOL LIST AND GENERAL NOTES - FIRE ALARM
- FA101 FLOOR PLANS - BASEMENT & GROUND LEVEL - FIRE ALARM
- FA102 FLOOR PLANS - 2ND & ATTIC LEVEL - FIRE ALARM



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### SYMBOL LIST AND GENERAL NOTES - FIRE ALARM

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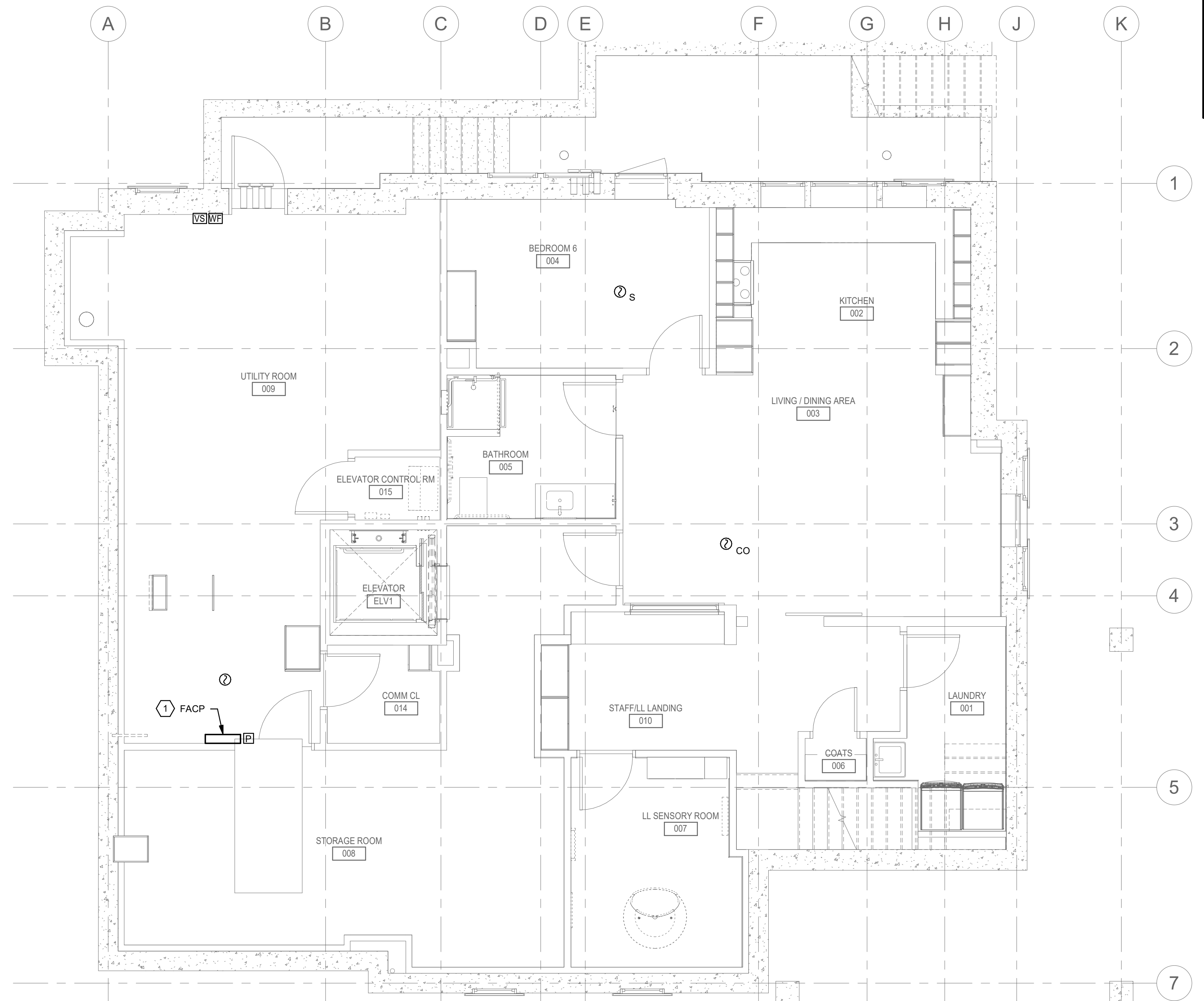
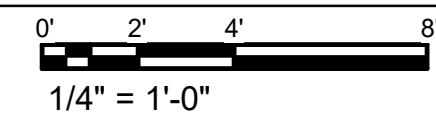
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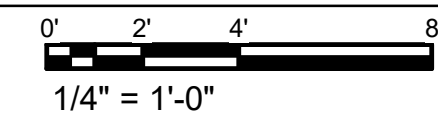




**2 GROUND LEVEL FIRE ALARM PLAN - OVERALL**



**1 BASEMENT LEVEL FIRE ALARM PLAN - OVERALL**

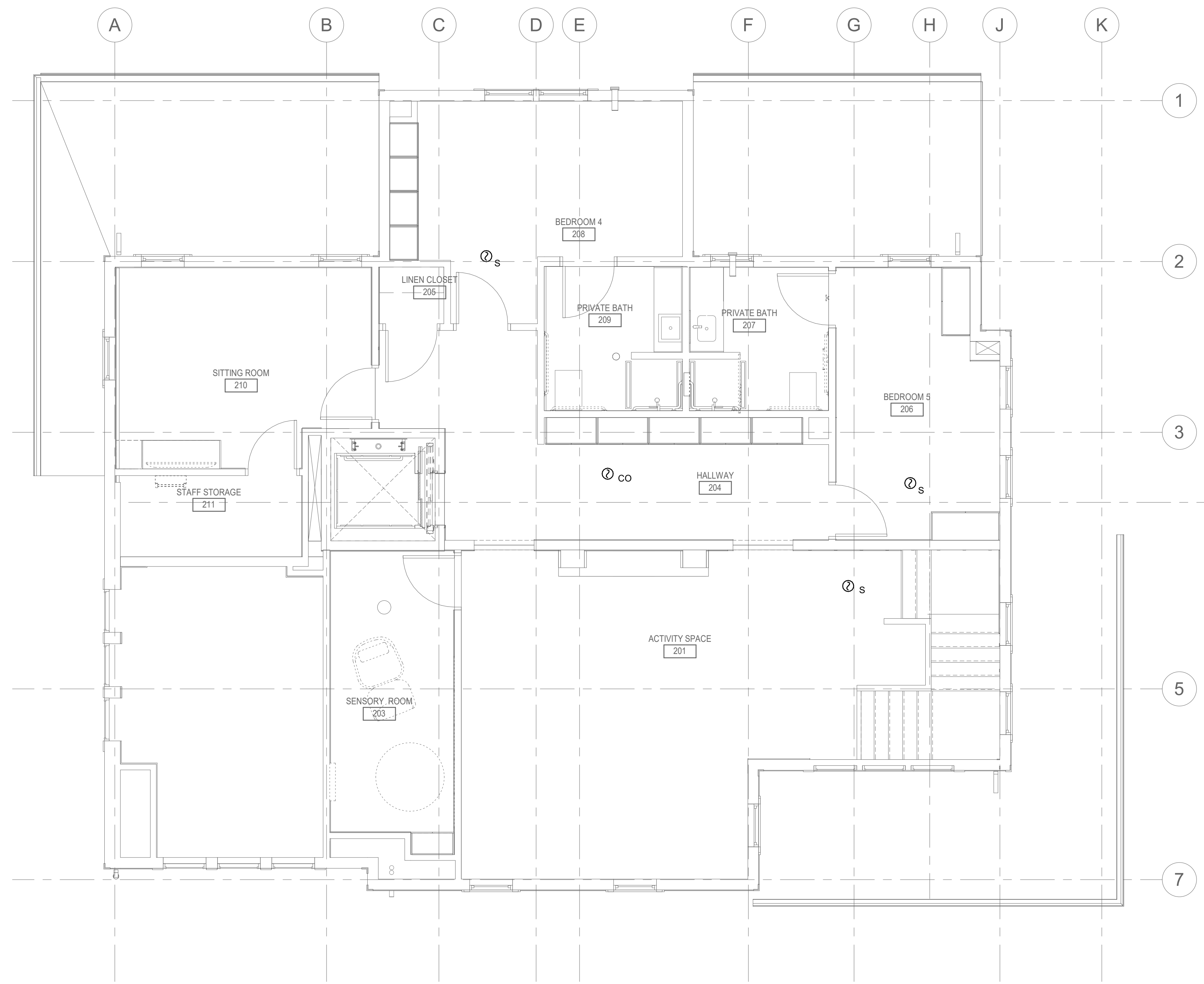


**SHEET KEYNOTES**

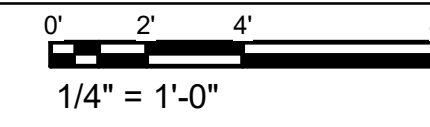
1. PROVIDE A DEDICATED FUNCTIONS PANEL TO MONITOR THE FIRE SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES.



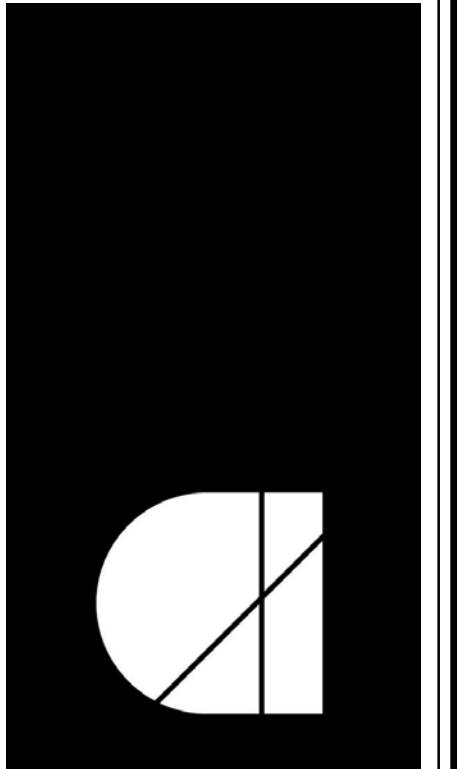




**1 SECOND LEVEL FIRE ALARM PLAN - OVERALL**



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**FLOOR PLANS -  
 2ND & ATTIC  
 LEVEL - FIRE  
 ALARM**

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**FA102**

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## FIRE PROTECTION SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

### Abbreviations

(A)	ABANDON IN PLACE
AFF	ABOVE FINISHED FLOOR
AS	AUTOMATIC SPRINKLER
BOB	BOTTOM OF BEAM
BOD	BOTTOM OF DECK
BOP	BOTTOM OF PIPE
BOR	BOTTOM OF RISER
BV	BUTTERFLY VALVE
C	CENTER LINE
CV	CHECK VALVE
(X)	DEMOLITION
DDCV	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
DN	DROP NIPPLE
EL	ELEVATION
(E)	EXISTING
EC	EXTENDED COVERAGE
F	FAHRENHEIT
FT	FEET
FF	FINISHED FLOOR
FDC	FIRE DEPARTMENT CONNECTION
FFL	FLOOR FLANGE
FS	FLOW SWITCH
(F)	FUTURE
GPM	GALLONS PER MINUTE
GV	GATE VALVE
G	GRADE
H	HANGER
HSW	HORIZONTAL SIDE WALL
HV	HOSE VALVE
IN	INCHES
ID	INSIDE DIAMETER
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
N&C	NIPPLE AND CAP
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
OBJ	OPEN BAR JOIST
OD	OUTSIDE DIAMETER
OS & Y	OUTSIDE SCREW & YOKE
PIV	POST INDICATOR VALVE
PS	PRESSURE SWITCH
(R)	RELOCATE/RELOCATED LOCATION
RN	RISER NIPPLE
RM	ROOF MANIFOLD
SOV	SHUT OFF VALVE
SF	SQUARE FEET
SSP	STANDARD SPRAY PENDENT
SSU	STANDARD SPRAY UPRIGHT
SP	STANDPIPE
SB	SWAY BRACE
TS	TAMPER SWITCH
TOB	TOP OF BEAM
TOP	TOP OF PIPE
TOR	TOP OF RISER
TOS	TOP OF STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

### Control

	BELL/GONG
	CONTROL PANEL
	FLOW DETECTION SWITCH
	PRESSURE GAUGE
	TAMPER DETECTOR

### General

	CONTINUATION
	DETAIL NUMBER AND SHEET LOCATION
	EQUIPMENT IDENTIFICATION
	KEYED NOTE
	PIPE OR CONDUIT BELOW GRADE
	POINT OF CONNECTION
	SECTION NUMBER AND SHEET LOCATION
	DEMOLISH
	DEMOLISH (DASH-DOT)
	EXISTING WORK
	NEW WORK

### Miscellaneous

	2-WAY SWAY BRACE
	4-WAY SWAY BRACE
	AUXILIARY DRAIN
	BRANCHLINE RESTRAINT (TEXT INDICATES TYPE)
	COUPLING
	ELEVATION ABOVE FINISHED FLOOR
	FLANGED COUPLING
	FLEXIBLE COUPLING
	GROOVED CAP

GROOVED COUPLING

H1 HANGER (TEXT INDICATES TYPE)

HYDRAULIC CALCULATION NODE

RISER

SCREWED CAP

SCREWED PLUG

UNION

### Sprinkler Heads

	CONCEALED PENDENT SPRINKLER
	DRY PENDENT SPRINKLER
	DRY SIDEWALL SPRINKLER
	EC PENDENT SPRINKLER
	EC SIDEWALL SPRINKLER
	EC SPRINKLER
	HORIZONTAL SIDEWALL SPRINKLER
	PENDENT SPRINKLER
	PENDENT SPRINKLER WITH GUARD
	RECESSED PENDENT SPRINKLER (ACOUSTIC TILE CEILINGS)
	RECESSED PENDENT SPRINKLER (HARD LID CEILINGS)
	SPECIAL SPRINKLER
	UPRIGHT SPRINKLER
	UPRIGHT SPRINKLER
	UPRIGHT SPRINKLER WITH GUARD

### Valves

	ALARM CHECK VALVE, ELEVATION VIEW
	ALARM CHECK VALVE, PLAN VIEW
	CHECK VALVE
	DRY VALVE
	INDICATING BUTTERFLY VALVE
	SPRINKLER DOUBLE DETECTOR CHECK VALVE ASSEMBLY
	VALVE WITH TAMPER SWITCH

### Water Service

	DOUBLE CHECK BACKFLOW PREVENTER
	FIRE DEPARTMENT CONNECTION
	FLOOR CONTROL ASSEMBLY
	FREE STANDING F.D. CONNECTION
	O.S.&Y. VALVE
	POST INDICATOR VALVE
	REDUCED PRESSURE BACKFLOW PREVENTER
	STANDPIPE WITH HOSE CONNECTION
	THRUST BLOCK

## GENERAL FIRE PROTECTION NOTES

- A. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS AND ADOPTED CODES AND STANDARDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO AHJ.
- B. FIRE PROTECTION PLANS ARE CONCEPTUAL AND NOT INTENDED TO SHOW THE FIRE PROTECTION SYSTEM IN ITS ENTIRETY.
- C. SCOPE OF WORK IS TO PROVIDE A FIRE PROTECTION SYSTEM DESIGN IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13D, 2013 EDITION.

## HAZARD CLASSIFICATIONS

OCCUPANCY	DESCRIPTION	MAX SPRINKLER SPACING	DESIGN DENSITY	REMOTE AREA
RESIDENTIAL 13D	RESIDENTIAL AND ADJOINING SPACES.	PER SPRINKLER HEAD LISTING	PER SPRINKLER HEAD LISTING	4 HEADS

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**SYMBOL LIST AND GENERAL NOTES - FIRE PROTECTION**

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**FP001**

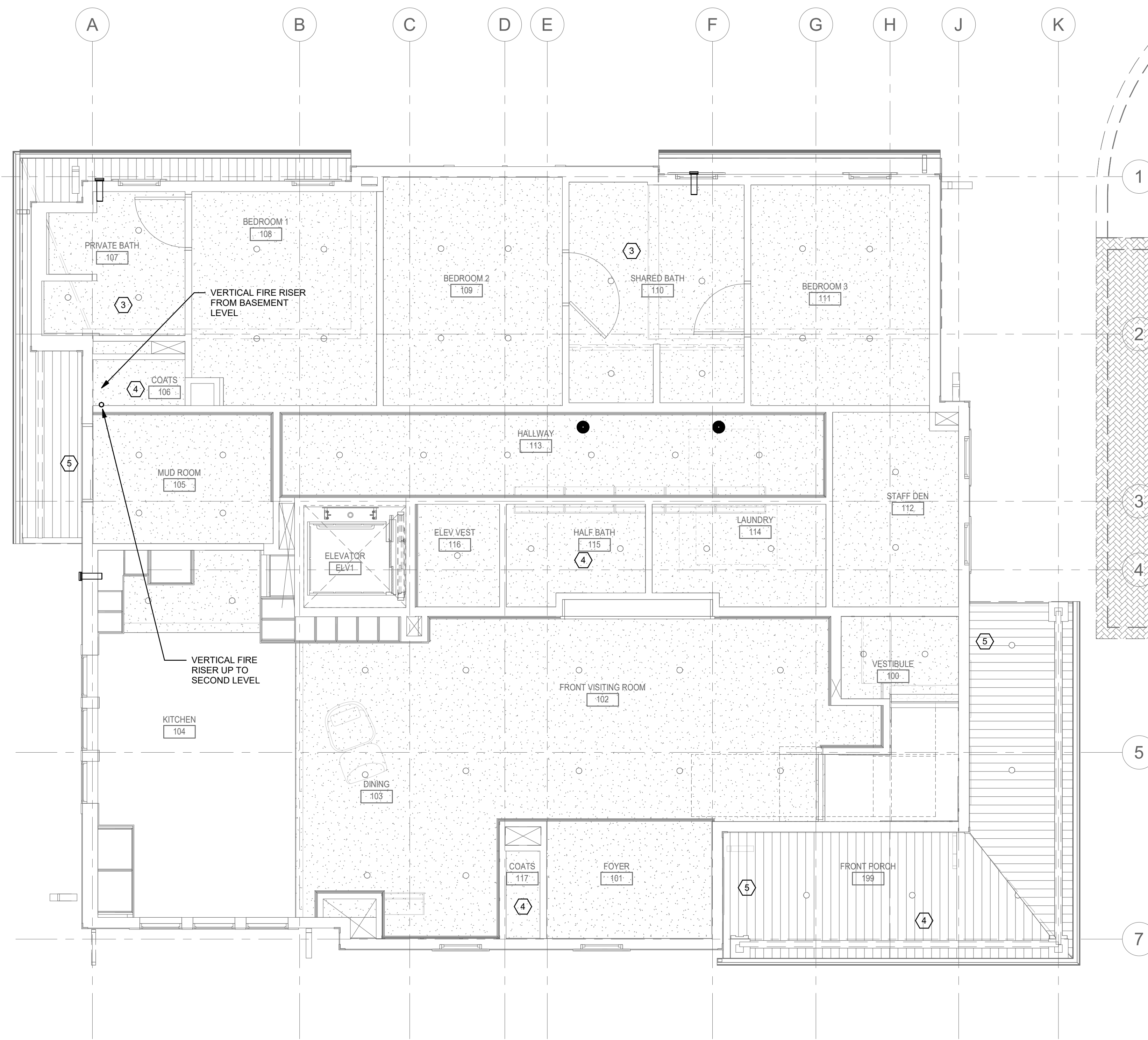
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## SHEET INDEX

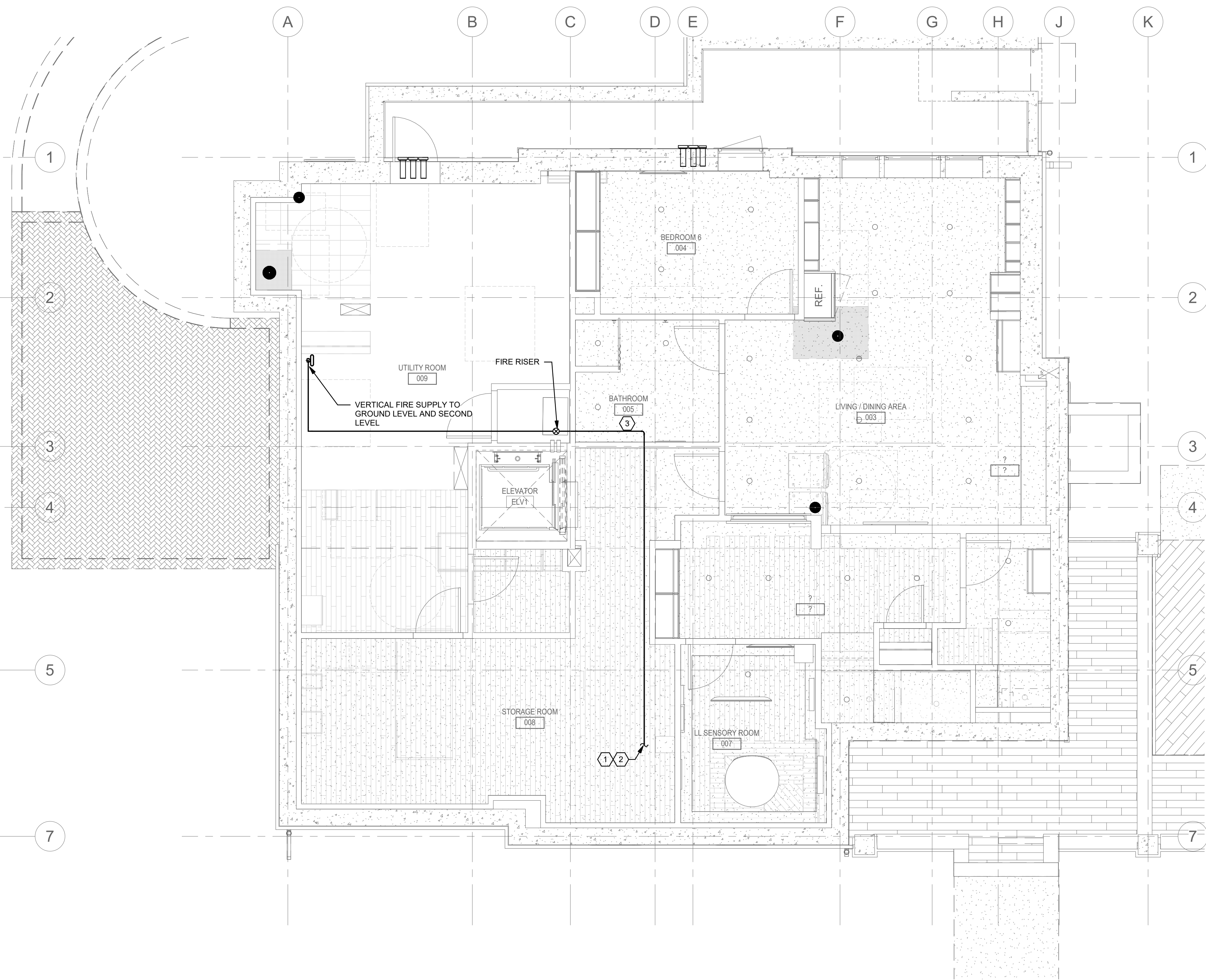
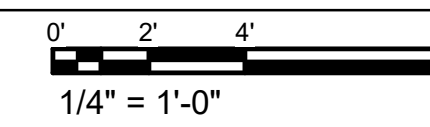
FP001	SYMBOL LIST AND GENERAL NOTES - FIRE PROTECTION
FP101	FLOOR PLANS - BASEMENT & GROUND LEVEL - FIRE PROTECTION
FP102	FLOOR PLANS - 2ND LEVEL - FIRE PROTECTION

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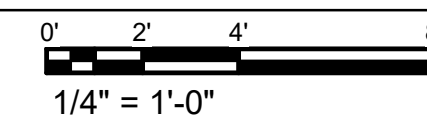




**2 GROUND LEVEL FIRE PROTECTION PLAN - OVERALL**



**1 BASEMENT LEVEL FIRE PROTECTION PLAN - OVERALL**



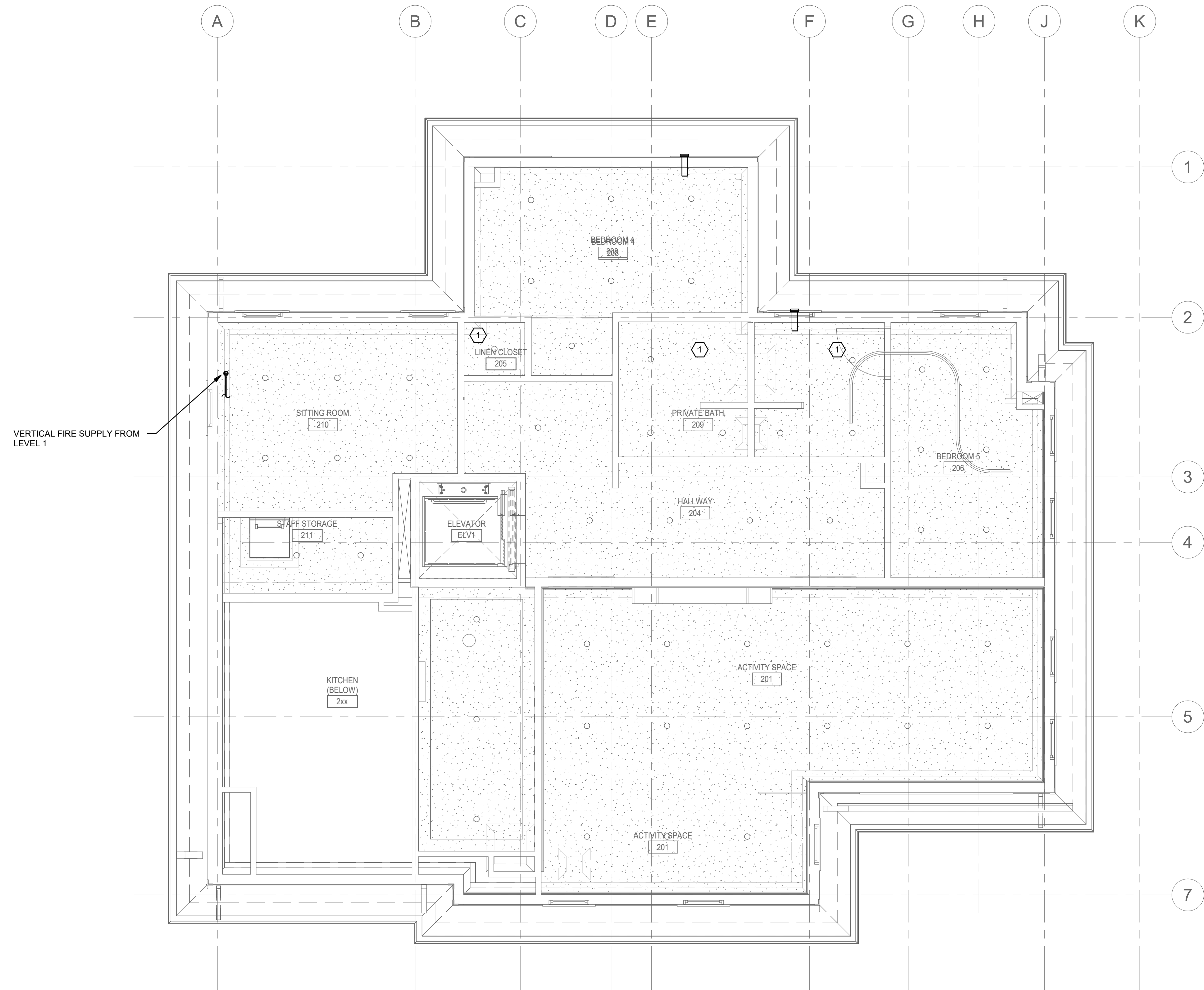
**GENERAL FIRE PROTECTION NOTES**

- A. PROVIDED LISTED RESIDENTIAL TYPE SPRINKLER HEADS INSIDE THE DWELLING UNITS AND RESIDENTIAL USE SPACES.
- B. FIRE SPRINKLERS SHALL NOT BE REQUIRED IN BATHROOMS WHERE THE BATHROOM DOES NOT EXCEED 55 SF. (NFPA 13D 6.3.2)
- C. FIRE SPRINKLERS SHALL NOT BE REQUIRED IN CLOTHES CLOSETS, LINEN CLOSETS AND PANTRIES WITHIN DWELLING UNITS WHERE THE AREA DOES NOT EXCEED 24 SF, THE LEAST DIMENSION DOES NOT EXCEED 3 FT AND THE WALLS AND CEILINGS ARE SURFACED WITH NONCOMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS AS DEFINED BY NFPA 220 (NFPA 13D 6.3.3)
- D. SPRINKLERS SHALL NOT BE REQUIRED IN ANY PORCHES, BALCONIES, CARPORTS, PORTE COCHERES, AND STAIRS THAT ARE OPEN AND ATTACHED (NFPA 13D 6.3.4)
- E. SPRINKLERS SHALL NOT BE REQUIRED IN ATTICS, PENTHOUSE EQUIPMENT ROOMS, ELEVATOR MACHINE ROOMS, CONCEALED SPACES DEDICATED EXCLUSIVELY TO AND CONTAINING ONLY DWELLING UNIT VENTILATION EQUIPMENT, CRAWL SPACES, FLOOR / CEILING SPACES, NONCOMBUSTIBLE ELEVATOR SHAFTS WHERE THE ELEVATOR CARS COMPLY WITH ANSI A17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS, AND OTHER CONCEALED SPACES THAT ARE NOT USED OR INTENDED FOR LIVING PURPOSES OR STORAGE AND DO NOT CONTAIN FUEL FIRE EQUIPMENT (NFPA 13D 6.3.5)

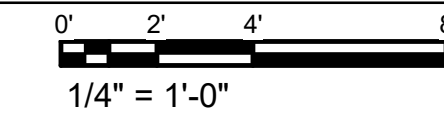
**SHEET KEYNOTES**

- 1 1-1/2" FIRE SERVICE, FED FROM 1-1/2" ENTERING DOMESTIC WATER SERVICE. REFER TO PLUMBING DRAWINGS FOR CONTINUATION.
- 2 PROVIDE 1-1/2" TYCO RSV-1 RESIDENTIAL SHUTOFF VALVE AT DOMESTIC SERVICE
- 3 SPACE DOES NOT MEET NFPA 13D REQUIREMENTS FOR ALLOWING SPRINKLERS TO BE OMITTED. PROVIDE SPRINKLER PROTECTION.
- 4 NFPA 13D REQUIREMENTS ARE MET. FIRE SPRINKLERS ARE PERMITTED TO BE OMITTED IN THIS SPACE.





**1 SECOND LEVEL FIRE PROTECTION PLAN - OVERALL**



**GENERAL FIRE PROTECTION NOTES**

- A. PROVIDED LISTED RESIDENTIAL TYPE SPRINKLER HEADS INSIDE THE DWELLING UNITS AND RESIDENTIAL USE SPACES.
- B. FIRE SPRINKLERS SHALL NOT BE REQUIRED IN BATHROOMS WHERE THE BATHROOM DOES NOT EXCEED 55 SF. (NFPA 13D 8.3.2).
- C. FIRE SPRINKLERS SHALL NOT BE REQUIRED IN CLOTHES CLOSETS, LINEN CLOSETS AND PANTRIES WITHIN DWELLING UNITS WHERE THE AREA DOES NOT EXCEED 24 SF, THE LEAST DIMENSION DOES NOT EXCEED 3 FT AND THE WALLS AND CEILINGS ARE SURFACED WITH NONCOMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS AS DEFINED BY NFPA 220 (NFPA 13D 8.3.3).
- D. SPRINKLERS SHALL NOT BE REQUIRED IN ANY PORCHES, BALCONIES, CARPORTS, PORTE COCHERES, AND STAIRS THAT ARE OPEN AND ATTACHED (NFPA 13D 8.3.4).
- E. SPRINKLERS SHALL NOT BE REQUIRED IN ATTICS, PENTHOUSE EQUIPMENT ROOMS, ELEVATOR MACHINE ROOMS, CONCEALED SPACES DEDICATED EXCLUSIVELY TO AND CONTAINING ONLY DWELLING UNIT VENTILATION EQUIPMENT, CRAWL SPACES, FLOOR / CEILING SPACES, NONCOMBUSTIBLE ELEVATOR SHAFTS WHERE THE ELEVATOR CARS COMPLY WITH ANSI A17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS, AND OTHER CONCEALED SPACES THAT ARE NOT USED OR INTENDED FOR LIVING PURPOSES OR STORAGE AND DO NOT CONTAIN FUEL FIRE EQUIPMENT (NFPA 13D 8.3.5).

**SHEET KEYNOTES**

- 1 SPACE DOES NOT MEET NFPA 13D REQUIREMENTS FOR ALLOWING SPRINKLERS TO BE OMITTED. PROVIDE SPRINKLER PROTECTION.

**INTERFACE ENGINEERING**  
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Construction Documents for:  
**ARLINGTON COUNTY DHS GROUP HOME**  
 1212 S. IRVING ST.  
 ARLINGTON, VA 22204  
 Project: 19296-01

Issued 10/21/2020  
 100% BID  
 Revisions

Revisions	Date
1 Permit Revisions	05.20.2021

**FLOOR PLANS - 2ND LEVEL - FIRE PROTECTION**

Scale 1/4" = 1'-0"  
 Drawn DEK  
 Checked JN

**FP102**

100% BID