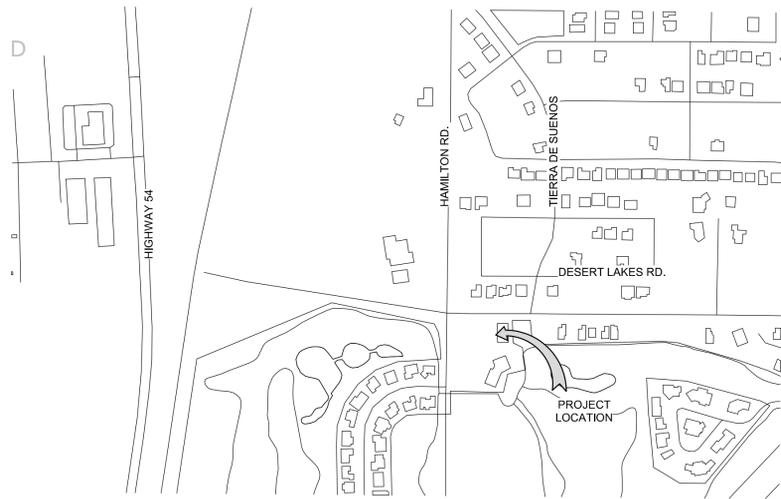
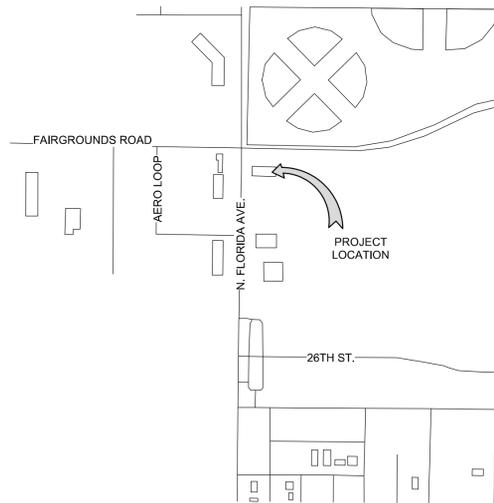


VICINITY MAP

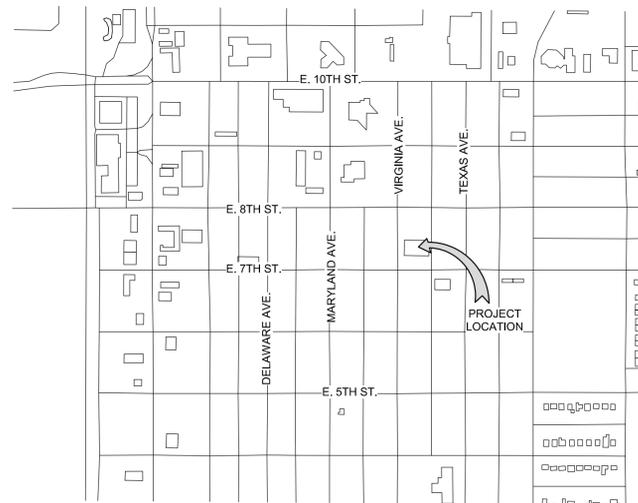
BASE BID:
DESERT LAKES GOLF COURSE



ADDITIVE ALTERNATE #1:
ALAMOGORDO ANIMAL CONTROL



ADDITIVE ALTERNATE #2:
ALAMOGORDO POLICE DEPARTMENT



CITY OF ALAMOGORDO RE-ROOF - MULTIPLE SITES

BASE BID: DESERT LAKES GOLF COURSE CLUBHOUSE
2351 HAMILTON RD.
ALAMOGORDO, NM 88310

ADDITIVE ALTERNATE #1: ALAMOGORDO ANIMAL CONTROL
2910 N. FLORIDA AVE.
ALAMOGORDO, NM 88310

ADDITIVE ALTERNATE #2: ALAMOGORDO POLICE DEPARTMENT
700 VIRGINIA AVE.
ALAMOGORDO, NM 88310

OWNER:

CITY OF ALAMOGORDO
CONTACT: BOB JOHNSON

ARCHITECT:

DESERT PEAK ARCHITECTS, INC

311 NORTH MAIN STREET
LAS CRUCES, NM 88005
P. (575) 528 - 0021

CONTACT: RUBEN CONTRERAS



DESIGN CODES

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODE
- 2015 NM COMMERCIAL CODES
- 2015 UNIFORM PLUMBING CODE
- 2015 NM PLUMBING CODE
- 2015 UNIFORM MECHANICAL CODE
- 2015 NM MECHANICAL CODE
- 2017 NM ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 NEW MEXICO ENERGY CONSERVATION CODE

MATERIAL LEGEND

CUT (SECTION)	PROJECTION (PLAN / ELEVATION)
CONCRETE	EXISTING WALL TO REMAIN
EARTH	NEW WALL
RIGID INSULATION	MEMBRANE ROOFING
BATT INSULATION	STUCCO
WOOD BLOCKING	1HR FIRE RATED WALL ASSEMBLY
SPRAYED INSULATION	CMU

SYMBOL LEGEND

ELEVATION SYMBOLS

ELEVATION NUMBER
1
SIM
A101
SHEET NUMBER
SIMILAR, TYPICAL, OR MIRRORED REFERENCE

REFERENCE KEYNOTE SYMBOL

KEYED NOTE - REFERS TO KEYNOTE LEGEND ON EACH SHEET

BUILDING SECTION SYMBOL

BUILDING SECTION NUMBER
1
SIM
A101
SHEET NUMBER

WALL SECTION SYMBOL

BUILDING SECTION NUMBER
1
SIM
A101
SHEET NUMBER

WINDOW / DOOR TAG SYMBOLS

DOOR TAG
101

WINDOW TAG
1t

WALL TAG SYMBOL

PARTITION TYPE
1t

ROOM TAG SYMBOL

ROOM name
101
ROOM NUMBER
1,234 SF
AREA
12
OCCUPANT LOAD

CEILING TAG SYMBOL

CH= 1'-0"
HEIGHT INDICATION (ABOVE RESPECTIVE FLOOR LEVEL ELEVATION)

DETAIL SYMBOL

DETAIL
1
SIM
A101
SHEET NUMBER

ROOM TAG SYMBOL

DETAIL
1
A101
SHEET NUMBER

SPOT DIMENSIONS

0'-0"
HEIGHT INDICATION (ABOVE RESPECTIVE GROUND FLOOR LEVEL ELEVATION)

DRAWING INDEX

COVER G-SHEETS

G001 COVER SHEET

DEMOLITION

D100 ROOF DEMOLITION PLAN - BASE BID
D200 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #1
D300 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #2

ARCHITECTURAL

A130 ROOF PLAN - BASE BID
A131 ROOF PLAN - ADDITIVE ALTERNATE #1
A132 ROOF PLAN - ADDITIVE ALTERNATE #2
A500 ROOF DETAILS
A510 ROOF DETAILS

CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES

Mark	Date	Description
ISSUE:	01/20/2022	95% CONSTRUCTION DOCUMENTS



DESERT PEAK ARCHITECTS P.C.
311 N MAIN STREET
LAS CRUCES
NEW MEXICO 88001
P. 575.528.0022

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PROJECT NO.
450-02

SHEET TITLE
COVER SHEET

SHEET NO.
G001

1

2

3

4

5

GENERAL NOTES - DEMOLITION

- A. ALL DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR FINISHED FLOOR U.N.O.
- B. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- C. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS DURING CONSTRUCTION TO PROVIDE DUST AND DEBRIS CONTROL. CONTRACTOR TO COORDINATE BARRIER LOCATIONS WITH OWNER/ARCHITECT.
- D. CONTRACTOR SHALL PROTECT ALL EXISTING TO REMAIN ITEMS WITHIN THE WORK AREA TO PREVENT DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGE DONE TO EXISTING CONDITIONS TO REMAIN.
- E. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- F. THE CONTRACTOR SHALL REPAIR AND REPLACE ANY ITEM OR SURFACE DAMAGED BY THE WORK, OR AS REQUIRED BY NEW INSTALLATION.
- G. ALL DEMOLISHED MATERIALS TO BE REMOVED FROM SITE. U.N.O.
- H. CONTRACTOR SHALL KEEP ALL EXISTING EXIT WAYS CLEAR AND OPEN DURING CONSTRUCTION.
- I. HAZARDOUS MATERIALS - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK. UPON DISCOVERY OF HAZARDOUS MATERIALS, CONTRACTOR SHALL STOP WORK AND INFORM THE OWNER/ARCHITECT

KEYNOTE LEGEND

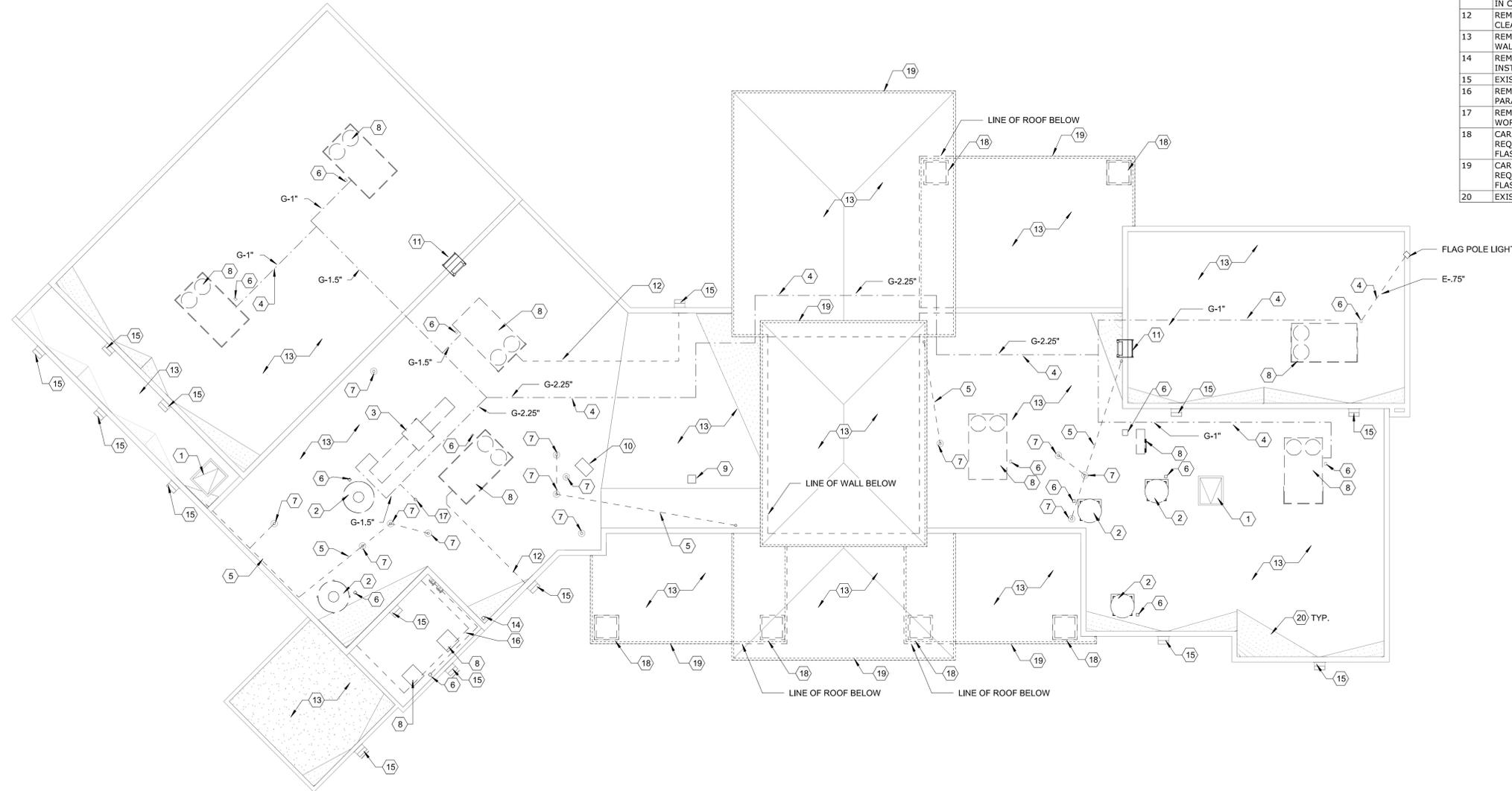
1	EXISTING ROOF HATCH TO REMAIN. REMOVE AND RE-INSTALL LID AS REQUIRED FOR NEW ROOFING INSTALLATION.
2	REMOVE / RAISE EXISTING EXHAUST VENTILATOR AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
3	REMOVE / RAISE EXISTING MAKE-UP AIR UNIT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
4	CAREFULLY REMOVE / RAISE EXISTING UTILITY LINES AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE ALL ASSOCIATED STAND-OFF BLOCKING. UTILITY LINES TO BE RE-INSTALLED IN SAME LOCATION IN NEW WORK.
5	CAREFULLY REMOVE EXISTING VENT PIPING AS REQUIRED FOR NEW ROOF INSTALLATION. VENT PIPING TO BE RE-INSTALLED IN NEW WORK.
6	DISCONNECT THRU ROOF ELECTRICAL AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING PITCH PAN. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.
7	REMOVE EXISTING PIPE BOOTS AT EXISTING VENT PENETRATION. PREP EXISTING VENT PIPING FOR NEW PIPE BOOT IN NEW WORK.
8	VERIFY WORKING CONDITION OF EXISTING MECHANICAL UNIT WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL. REMOVE / RAISE EXISTING MECHANICAL UNIT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
9	INVESTIGATE ACTIVE NATURE OF CAPPED DUCT IN THIS LOCATION. SHOULD THE DUCT BE FOUND TO BE INACTIVE, REMOVE DUCT AND CAP AT NEAREST MAIN. PREP ROOF PENETRATION FOR NEW DECKING, INSULATION AND ROOFING SYSTEM.
10	REMOVE / RAISE EXISTING GOOSENECK VENT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
11	REMOVE / RAISE EXISTING ROOF ACCESS LADDER AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
12	REMOVE / RAISE EXISTING CONDENSATE DRAIN AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
13	REMOVE EXISTING DUST AND DEBRIS FROM EXISTING ROOFING MEMBRANE. REMOVE ALL EXISTING WALKING PADS. PREP FOR NEW ROOF OVERLAY IN NEW WORK.
14	REMOVE / RAISE EXISTING BIRD ALARM IN THIS LOCATION AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
15	EXISTING SCUPPER TO REMAIN. PREP FOR NEW ROOF MEMBRANE INSTALLATION.
16	REMOVE EXISTING BREAK METAL CRICKETS. PREP FOR NEW TAPERED INSULATION CRICKETS. PREP PARAPET WALL SUBSTRATES FOR NEW ROOFING MEMBRANE.
17	REMOVE EXISTING PIPE BOOT AT THRU GAS PIPING PENETRATION. PREP FOR NEW PIPE BOOT IN NEW WORK.
18	CAREFULLY REMOVE AND RE-INSTALL EXISTING DRIP EDGE FLASHING AT RAISED ROOF SECTIONS AS REQUIRED FOR NEW ROOF INSTALLATION. PROVIDE A COST PER LINEAR FOOT FOR NEW DRIP EDGE FLASHING AND INSTALLATION IF REQUIRED.
19	CAREFULLY REMOVE AND RE-INSTALL EXISTING DRIP EDGE FLASHING AT FLAT ROOF AREAS AS REQUIRED FOR NEW ROOF INSTALLATION. PROVIDE A COST PER LINEAR FOOT FOR NEW DRIP EDGE FLASHING AND INSTALLATION IF REQUIRED.
20	EXISTING CRICKETS TO REMAIN

UTILITY LEGEND

UTILITY DESIGNATION: G - 1" O.D. SIZE

MARK: G - GAS (dashed line), E - ELECTRICAL (dotted line)

PLAN: (solid line)



A1 ROOF DEMOLITION PLAN
D100 1/8" = 1'-0"



CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES
 DESERT LAKES GOLF COURSE
 2351 HAMILTON RD, ALAMOGORDO, NM
 88310

Mark	Date	Description
ISSUE:	01/20/2022	95% CONSTRUCTION DOCUMENTS

DESERT PEAK ARCHITECTS
 DESERT PEAK ARCHITECTS P.C.
 311 N MAIN STREET
 LAS CRUCES
 NEW MEXICO 88001
 P. 575.528.0022

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PROJECT NO. 450-02
 SHEET TITLE: ROOF DEMOLITION PLAN - BASE BID
 SHEET NO.

D100

1

2

3

4

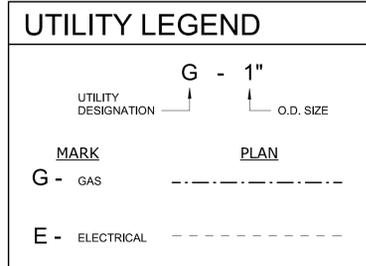
5

D

C

B

A

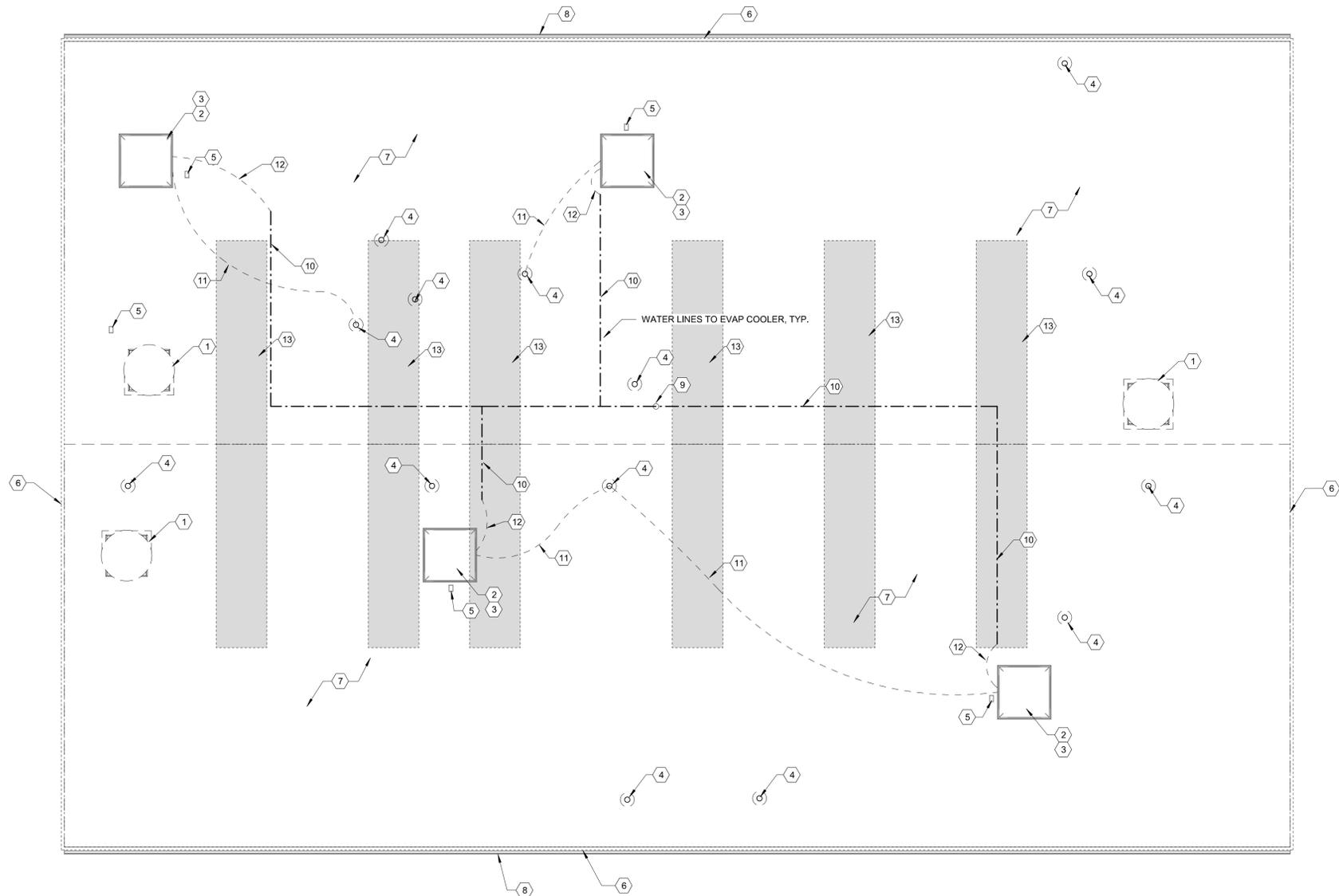


GENERAL NOTES - DEMOLITION

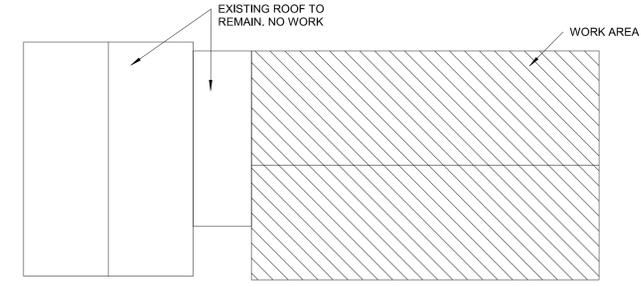
- A. ALL DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR FINISHED FLOOR U.N.O.
- B. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- C. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS DURING CONSTRUCTION TO PROVIDE DUST AND DEBRIS CONTROL. CONTRACTOR TO COORDINATE BARRIER LOCATIONS WITH OWNER/ARCHITECT.
- D. CONTRACTOR SHALL PROTECT ALL EXISTING TO REMAIN ITEMS WITHIN THE WORK AREA TO PREVENT DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGE DONE TO EXISTING CONDITIONS TO REMAIN.
- E. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- F. THE CONTRACTOR SHALL REPAIR AND REPLACE ANY ITEM OR SURFACE DAMAGED BY THE WORK, OR AS REQUIRED BY NEW INSTALLATION.
- G. ALL DEMOLISHED MATERIALS TO BE REMOVED FROM SITE. U.N.O.
- H. CONTRACTOR SHALL KEEP ALL EXISTING EXIT WAYS CLEAR AND OPEN DURING CONSTRUCTION.
- I. HAZARDOUS MATERIALS - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK. UPON DISCOVERY OF HAZARDOUS MATERIALS, CONTRACTOR SHALL STOP WORK AND INFORM THE OWNER/ARCHITECT

KEYNOTE LEGEND

1	REMOVE / RAISE EXISTING EXHAUST VENTILATOR AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
2	VERIFY WORKING CONDITION OF EXISTING MECHANICAL UNIT WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL. REMOVE / RAISE EXISTING MECHANICAL UNIT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
3	REMOVE EXISTING ROOF CURB FOR EVAP COOLER. PREP AREA FOR NEW CURB IN NEW WORK.
4	REMOVE EXISTING PIPE BOOTS AT EXISTING VENT PENETRATION. PREP EXISTING VENT PIPING FOR NEW PIPE BOOT IN NEW WORK.
5	DISCONNECT THRU ROOF ELECTRICAL AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING CONDUIT FLASHING. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.
6	REMOVE EXISTING ROOF PERIMETER FASCIA.
7	REMOVE EXISTING ROOF OVERLAY SYSTEM DOWN TO EXISTING METAL ROOF PANELS. EXISTING METAL ROOF PANELS TO REMAIN - PROTECT DURING DEMOLITION. PREP AREA FOR NEW ROOFING SYSTEM IN NEW WORK.
8	EXISTING GUTTER TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE AND INSTALL NEW GALVANIZED STEEL SCREEN ON EXISTING GUTTER.
9	REMOVE EXISTING FLASHING AT THRU WATER PIPING PENETRATION. PREP PIPING FOR NEW FLASHING IN NEW WORK.
10	CAREFULLY REMOVE / RAISE EXISTING UTILITY LINES AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE ALL ASSOCIATED STAND-OFF BLOCKING. UTILITY LINES TO BE RE-INSTALLED IN SAME LOCATION IN NEW WORK.
11	REMOVE EXISTING WATER BLEED OFF LINES
12	REMOVE EXISTING WATER SUPPLY LINES TO EXISTING EVAPORATIVE COOLERS
13	REMOVE EXISTING TRANSLUCENT ROOF PANELS BELOW EXISTING OVERLAY ROOF SYSTEM. PREP OPENING FOR NEW METAL ROOF PANELS AND INSULATION IN NEW WORK.



A1 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #1
D200 1/4" = 1'-0"



KEY PLAN
 1/4" = 1'-0"

**CITY OF ALAMOGORDO
 RE-ROOFS - MULTIPLE SITES**
 ALAMOGORDO ANIMAL SHELTER
 2910 NORTH FLORIDA AVENUE
 ALAMOGORDO, NM 88310

	Description
	95% CONSTRUCTION DOCUMENTS
	Date
	01/20/2022
	Mark
	ISSUE:



DESERT PEAK ARCHITECTS P.C.
 311 N MAIN STREET
 LAS CRUCES
 NEW MEXICO 88001
 P. 575.528.0022

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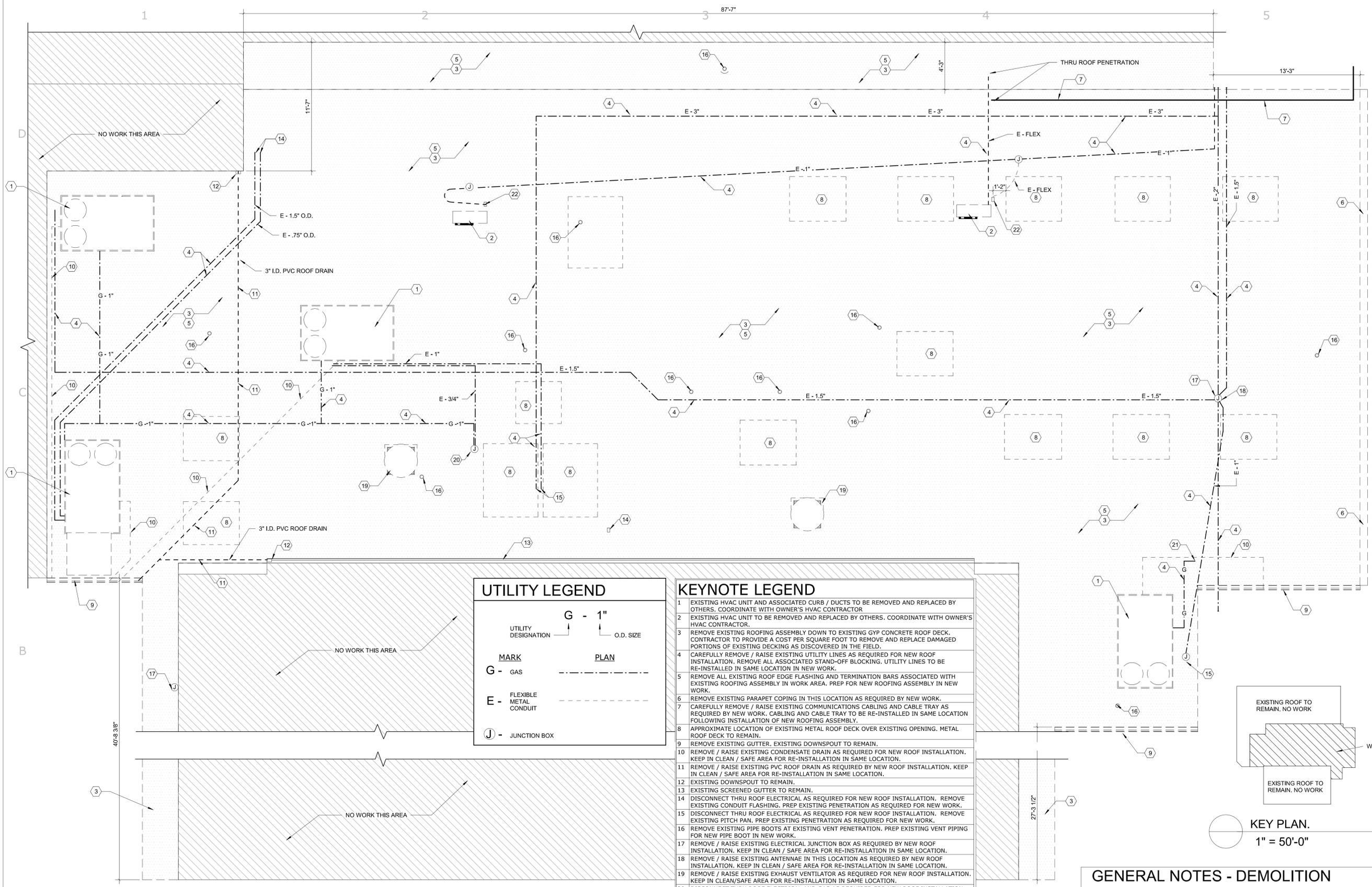


PROJECT NO.
 450-02

SHEET TITLE
 ROOF DEMOLITION
 PLAN - ADDITIVE
 ALTERNATE #1

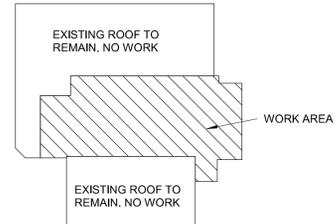
SHEET NO.

D200



UTILITY LEGEND	
UTILITY DESIGNATION	G - 1" O.D. SIZE
MARK	PLAN
G - GAS	---
E - FLEXIBLE METAL CONDUIT	---
J - JUNCTION BOX	---

KEYNOTE LEGEND	
1	EXISTING HVAC UNIT AND ASSOCIATED CURB / DUCTS TO BE REMOVED AND REPLACED BY OTHERS. COORDINATE WITH OWNER'S HVAC CONTRACTOR.
2	EXISTING HVAC UNIT TO BE REMOVED AND REPLACED BY OTHERS. COORDINATE WITH OWNER'S HVAC CONTRACTOR.
3	REMOVE EXISTING ROOFING ASSEMBLY DOWN TO EXISTING GYP CONCRETE ROOF DECK. CONTRACTOR TO PROVIDE A COST PER SQUARE FOOT TO REMOVE AND REPLACE DAMAGED PORTIONS OF EXISTING DECKING AS DISCOVERED IN THE FIELD.
4	CAREFULLY REMOVE / RAISE EXISTING UTILITY LINES AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE ALL ASSOCIATED STAND-OFF BLOCKING. UTILITY LINES TO BE RE-INSTALLED IN SAME LOCATION IN NEW WORK.
5	REMOVE ALL EXISTING ROOF EDGE FLASHING AND TERMINATION BARS ASSOCIATED WITH EXISTING ROOFING ASSEMBLY IN WORK AREA. PREP FOR NEW ROOFING ASSEMBLY IN NEW WORK.
6	REMOVE EXISTING PARAPET COPING IN THIS LOCATION AS REQUIRED BY NEW WORK.
7	CAREFULLY REMOVE / RAISE EXISTING COMMUNICATIONS CABLING AND CABLE TRAY AS REQUIRED BY NEW WORK. CABLING AND CABLE TRAY TO BE RE-INSTALLED IN SAME LOCATION FOLLOWING INSTALLATION OF NEW ROOFING ASSEMBLY.
8	APPROXIMATE LOCATION OF EXISTING METAL ROOF DECK OVER EXISTING OPENING. METAL ROOF DECK TO REMAIN.
9	REMOVE EXISTING GUTTER, EXISTING DOWNSPOUT TO REMAIN.
10	REMOVE / RAISE EXISTING CONDENSATE DRAIN AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
11	REMOVE / RAISE EXISTING PVC ROOF DRAIN AS REQUIRED BY NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
12	EXISTING DOWNSPOUT TO REMAIN.
13	EXISTING SCREENED GUTTER TO REMAIN.
14	DISCONNECT THRU ROOF ELECTRICAL AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING CONDUIT FLASHING. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.
15	DISCONNECT THRU ROOF ELECTRICAL AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING PITCH PAN. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.
16	REMOVE EXISTING PIPE BOOTS AT EXISTING VENT PENETRATION. PREP EXISTING VENT PIPING FOR NEW PIPE BOOT IN NEW WORK.
17	REMOVE / RAISE EXISTING ELECTRICAL JUNCTION BOX AS REQUIRED BY NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
18	REMOVE / RAISE EXISTING ANTENNAE IN THIS LOCATION AS REQUIRED BY NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
19	REMOVE / RAISE EXISTING EXHAUST VENTILATOR AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
20	DISCONNECT THRU ROOF ELECTRICAL AND GAS AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING PITCH PAN. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.
21	REMOVE EXISTING PIPE FLASHING AT THRU GAS PIPING PENETRATION. DISCONNECT / RAISE EXISTING GAS PIPING AS REQUIRED FOR NEW ROOF INSTALLATION. PREP FOR NEW PIPE BOOT IN NEW WORK.
22	DISCONNECT AND REMOVE / RAISE EXISTING ELECTRICAL RECEPTACLE AS REQUIRED BY NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.



KEY PLAN.
1" = 50'-0"

GENERAL NOTES - DEMOLITION

- ALL DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR FINISHED FLOOR U.N.O.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS DURING CONSTRUCTION TO PROVIDE DUST AND DEBRIS CONTROL. CONTRACTOR TO COORDINATE BARRIER LOCATIONS WITH OWNER/ARCHITECT.
- CONTRACTOR SHALL PROTECT ALL EXISTING TO REMAIN ITEMS WITHIN THE WORK AREA TO PREVENT DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGE DONE TO EXISTING CONDITIONS TO REMAIN.
- CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- THE CONTRACTOR SHALL REPAIR AND REPLACE ANY ITEM OR SURFACE DAMAGED BY THE WORK, OR AS REQUIRED BY NEW INSTALLATION.
- ALL DEMOLISHED MATERIALS TO BE REMOVED FROM SITE. U.N.O.
- CONTRACTOR SHALL KEEP ALL EXISTING EXIT WAYS CLEAR AND OPEN DURING CONSTRUCTION. HAZARDOUS MATERIALS - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK. UPON DISCOVERY OF HAZARDOUS MATERIALS, CONTRACTOR SHALL STOP WORK AND INFORM THE OWNER/ARCHITECT

A1 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #2
D300 1/4" = 1'-0"



CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES
ALAMOGORDO POLICE DEPARTMENT
700 VIRGINIA AVE, ALAMOGORDO, NM 88310

Description	Date	Mark	Issue
95% CONSTRUCTION DOCUMENTS	01/20/2022		



DESERT PEAK ARCHITECTS P.C.
311 N MAIN STREET
LAS CRUCES
NEW MEXICO 88001
P. 575.528.0022

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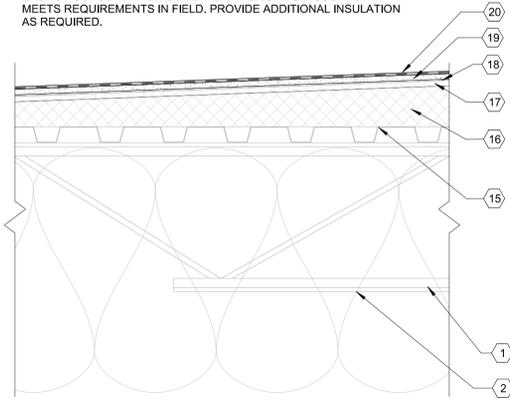


PROJECT NO.
450-02

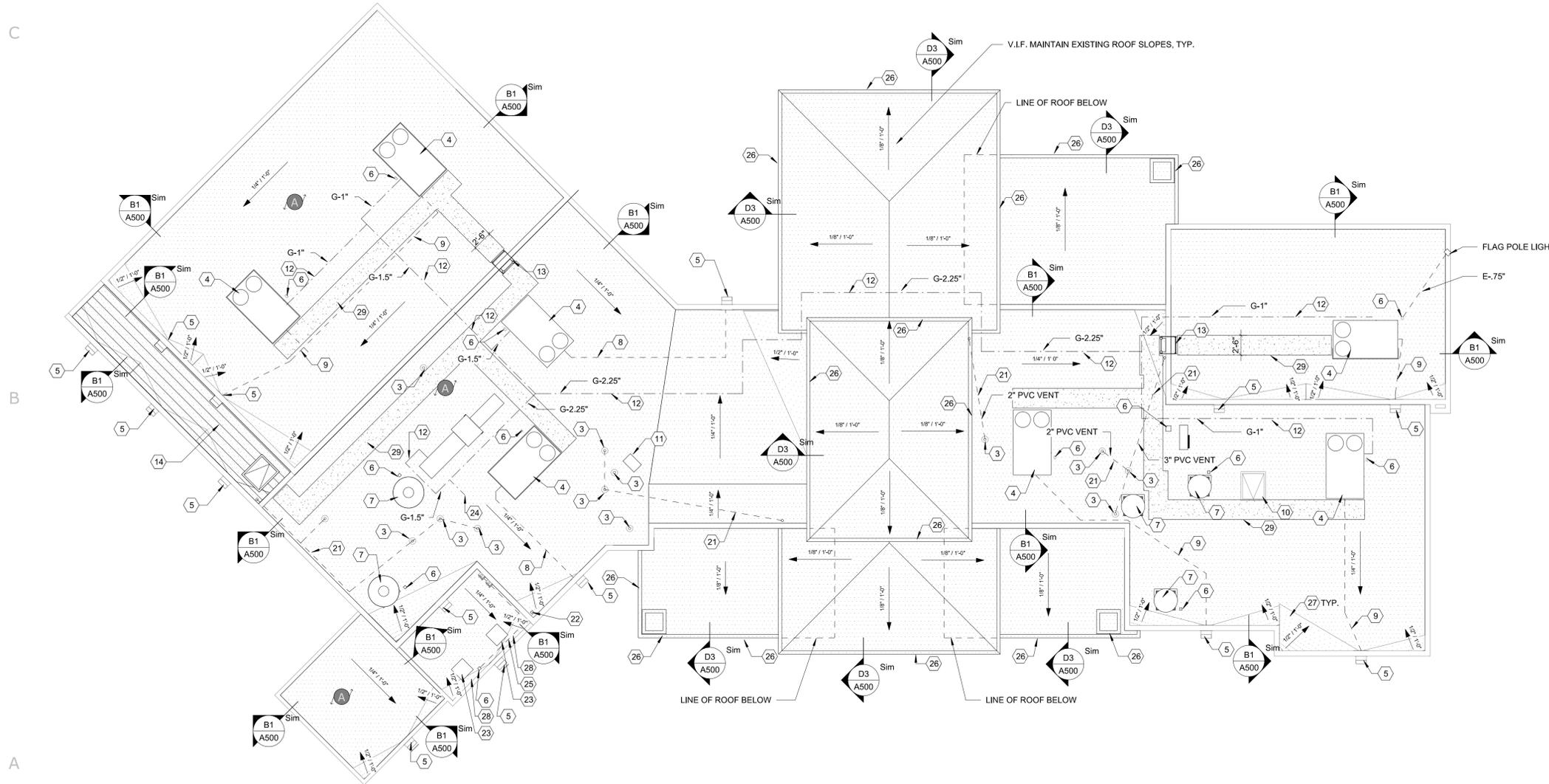
SHEET TITLE
ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #2

SHEET NO.
D300

NOTE: MIN. ROOF ASSEMBLY R-VALUE TO BE R-38 PER 2018 NM ENERGY CONSERVATION CODE. VERIFY EXISTING INSULATION MEETS REQUIREMENTS IN FIELD. PROVIDE ADDITIONAL INSULATION AS REQUIRED.



D1 ROOF TYPE A SECTION DETAIL
A130 1 1/2" = 1'-0"



A1 ROOF PLAN - BASE BID
A130 1/8" = 1'-0"

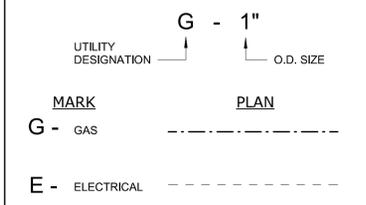
GENERAL NOTES

1. THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY.
2. GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXTENT OF PLUMBING/MECHANICAL ROOF EQUIPMENT AND PENETRATIONS AFFECTED BY NEW ROOF INSTALLATION.
3. ALL ROOF PENETRATION AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURER'S WARRANTY.
4. PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL DOUBLE SLOPE OF THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW CONSTRUCTION ARE SHOWN FOR INTENT AND ARE NOT TO SCALE. REFER TO THE NRCA ROOFING MANUAL, CURRENT EDITION.
5. ALL ROOF AND WALL PANEL TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
6. CONTRACTOR TO RE-INSTALL AND RECONNECT ALL UTILITIES REMOVED FOR NEW ROOFING INSTALLATION. VERIFY WORKING CONDITION OF ALL UTILITIES WITH OWNER FOLLOWING RE-INSTALLATION.
7. ALL ROOFING GAS UTILITY LINES ARE TO BE PAINTED YELLOW IN NEW WORK.

KEYNOTE LEGEND

1	EXISTING R-30 BATT INSULATION TO REMAIN
2	EXISTING OPEN-WEB STEEL JOISTS TO REMAIN
3	INSTALL NEW PIPE BOOT AT EXISTING ROOF VENT. REFER TO DETAIL
4	INSTALL MEMBRANE ROOFING OVER EXISTING UNIT CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING MECHANICAL UNIT. CONFIRM WORKING CONDITION OF EXISTING MECHANICAL UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
5	INSTALL NEW ROOFING MEMBRANE AT EXISTING SCUPPER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL A1/A500
6	INSTALL NEW PITCH PAN OR PIPE BOOT AT EXISTING ROOF PENETRATION PER MANUFACTURER'S RECOMMENDATIONS.
7	INSTALL MEMBRANE ROOFING OVER EXISTING EXHAUST VENTILATOR CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING EXHAUST VENTILATOR. CONFIRM WORKING CONDITION OF UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
8	RE-INSTALL EXISTING PVC CONDENSATE DRAIN FOLLOWING NEW ROOFING MEMBRANE INSTALLATION. PROVIDE NEW PIPE SUPPORT BLOCKS.
9	PROVIDE AND INSTALL NEW CONDENSATE DRAINS FROM EXISTING MECHANICAL UNIT TO LOCATION SHOWN. PROVIDE NEW PIPE SUPPORT BLOCKS.
10	INSTALL MEMBRANE ROOFING OVER EXISTING ROOF HATCH CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL ROOF HATCH LID.
11	INSTALL MEMBRANE FLASHING AT GOOSENECK VENT PENETRATION PER MANUFACTURER'S RECOMMENDATIONS. RE-INSTALL GOOSENECK VENT.
12	RE-INSTALL EXISTING GAS UTILITY LINES IN SAME LOCATION. PROVIDE NEW ROLLER BEARING PIPE SUPPORTS. REFER TO DETAIL. PRIME AND PAINT ALL ROOFTOP GAS PIPING YELLOW.
13	RE-INSTALL EXISTING ROOF LADDER IN SAME LOCATION. PAINT.
14	PROVIDE NEW TAPERED EPS INSULATION IN HATCHED AREA SHOWN BELOW NEW RECOVERY BOARD AND ROOFING MEMBRANE AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE TO EXISTING SCUPPERS.
15	EXISTING ROOF DECK TO REMAIN.
16	EXISTING TAPERED INSULATION TO REMAIN
17	EXISTING COVER BOARD TO REMAIN.
18	EXISTING ROOFING SYSTEM TO REMAIN. CLEAN EXISTING ROOFING PRIOR TO OVERLAY IN NEW WORK. MODIFY AS REQUIRED TO ACCOMMODATE NEW ROOFING SYSTEM OVERLAY.
19	1/2" COVER BOARD - DENSDECK OR APPROVED EQUAL. MECHANICALLY FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATIONS.
20	THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE, FULLY ADHERED - 60 MIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
21	RE-INSTALL EXISTING ABOVE ROOF VENT PIPING AS SHOWN.
22	RE-INSTALL EXISTING BIRD ALARM IN SAME LOCATION
23	PROVIDE NEW ROOF CURB FOR EXISTING MECHANICAL EQUIPMENT. RE-INSTALL EXISTING MECHANICAL EQUIPMENT IN SAME LOCATION FOLLOWING INSTALLATION OF NEW ROOFING.
24	INSTALL NEW PIPE BOOT AT EXISTING GAS LINE PENETRATION. REFER TO DETAIL.
25	REINSTALL EXISTING ELECTRICAL CONDUIT AND CIRCUITRY IN THIS AREA.
26	REINSTALL EXISTING DRIP EDGE FLASHING IN SAME LOCATION. PROVIDE A COST PER LINEAR FOOT TO PROVIDE AND INSTALL NEW DRIP EDGE FLASHING AS REQUIRED. NEW FLASHING IF REQUIRED SHALL MATCH EXISTING COPPER FINISH FLASHING
27	EXISTING CRICKETS TO REMAIN
28	NEW CRICKET THIS LOCATION.
29	WALK PAD.

UTILITY LEGEND



CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES
 DESERT LAKES GOLF COURSE
 2351 HAMILTON RD, ALAMOGORDO, NM
 88310

Issue	01/20/2022	95% CONSTRUCTION DOCUMENTS
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Description		

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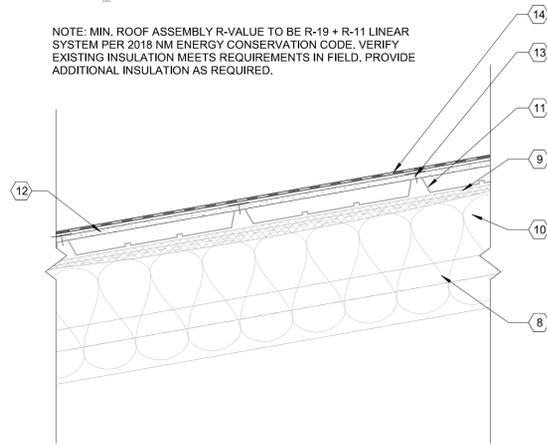
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PROJECT NO.
450-02
 SHEET TITLE
ROOF PLAN - BASE BID
 SHEET NO.

A130

NOTE: MIN. ROOF ASSEMBLY R-VALUE TO BE R-19 + R-11 LINEAR SYSTEM PER 2018 NM ENERGY CONSERVATION CODE. VERIFY EXISTING INSULATION MEETS REQUIREMENTS IN FIELD. PROVIDE ADDITIONAL INSULATION AS REQUIRED.



D1 ROOF TYPE B SECTION DETAIL
A131 1 1/2" = 1'-0"

UTILITY LEGEND

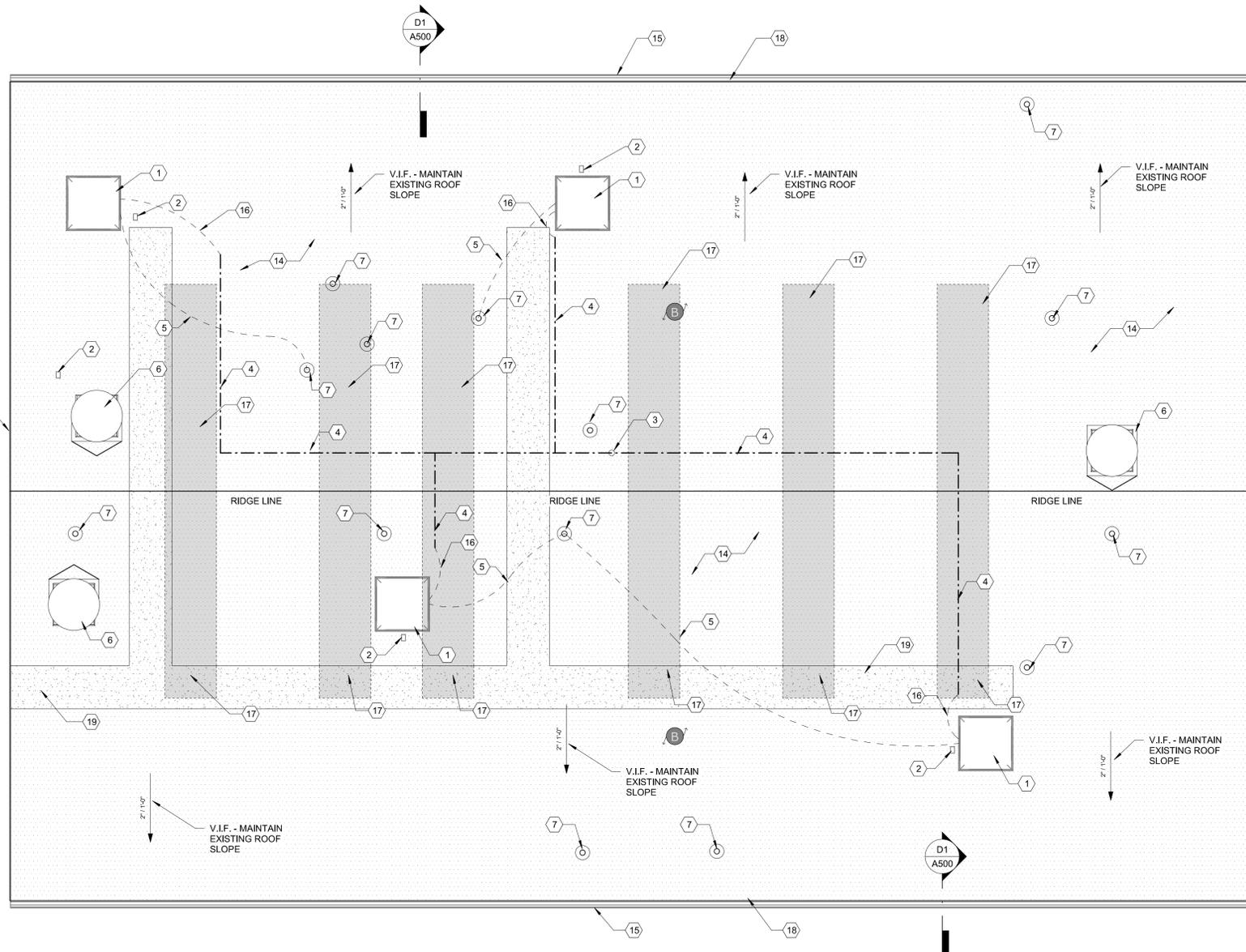
MARK	PLAN
G - GAS	-----
E - ELECTRICAL	-----

GENERAL NOTES

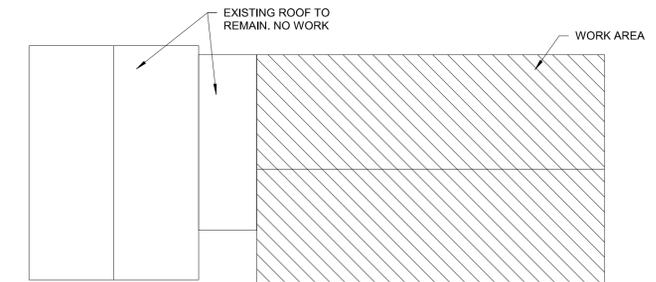
1. THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY.
2. GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXTENT OF PLUMBING/MECHANICAL ROOF EQUIPMENT AND PENETRATIONS AFFECTED BY NEW ROOF INSTALLATION.
3. ALL ROOF PENETRATION AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURER'S WARRANTY.
4. PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL DOUBLE SLOPE OF THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW CONSTRUCTION ARE SHOWN FOR INTENT AND ARE NOT TO SCALE. REFER TO THE NRCA ROOFING MANUAL, CURRENT EDITION.
5. ALL ROOF AND WALL PANEL TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
6. CONTRACTOR TO RE-INSTALL AND RECONNECT ALL UTILITIES REMOVED FOR NEW ROOFING INSTALLATION. VERIFY WORKING CONDITION OF ALL UTILITIES WITH OWNER FOLLOWING REINSTALLATION.
7. ALL ROOFING GAS UTILITY LINES ARE TO BE PAINTED YELLOW IN NEW WORK.

KEYNOTE LEGEND

1	RE-INSTALL EXISTING EVAPORATIVE COOLER IN SAME LOCATION FOLLOWING NEW ROOFING SYSTEM INSTALLATION. PROVIDE NEW ROOF CURB, BLEED LINE AND FLEXIBLE WATER CONNECTION LINE.
2	PROVIDE AND INSTALL NEW FLASHING MEMBRANE OVER EXISTING CONDUIT PENETRATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
3	PROVIDE AND INSTALL NEW FLASHING MEMBRANE OVER EXISTING WATER PIPING PENETRATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
4	RE-INSTALL EXISTING WATER UTILITY LINES IN SAME LOCATION. PROVIDE NEW ROLLER BEARING PIPE SUPPORTS. REFER TO DETAIL. PRIME AND PAINT RIGID PIPING.
5	PROVIDE AND INSTALL NEW POLY BLEED LINE FROM EXISTING EVAPORATIVE COOLER TO EXISTING SEWER VENT PIPE PENETRATION AS SHOWN.
6	INSTALL MEMBRANE ROOFING OVER EXISTING EXHAUST VENTILATOR CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING EXHAUST VENTILATOR. CONFIRM WORKING CONDITION OF UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
7	INSTALL NEW PIPE BOOT AT EXISTING ROOF VENT. REFER TO DETAIL
8	EXISTING VINYL FACED METAL BUILDING TO REMAIN.
9	EXISTING METAL BUILDING CONTINUOUS BLANKET INSULATION TO REMAIN.
10	EXISTING METAL BUILDING PERLIN TO REMAIN.
11	EXISTING METAL ROOF PANELS TO REMAIN. CONTRACTOR TO PROVIDE A COST PER SQUARE FOOT FOR REMOVAL AND REPLACEMENT OF EXISTING METAL ROOF PANELS SHOULD EXISTING PANELS BE FOUND TO BE AN UNSUITABLE SUBSTRATE FOR NEW ROOFING SYSTEM INSTALLATION.
12	1/2" COVER BOARD - DENSDECK OR APPROVED EQUAL. MECHANICALLY FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATIONS.
13	FASTENER - INSTALL PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
14	THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE, FULLY ADHERED - 60 MIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
15	EXISTING GUTTER TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE AND INSTALL NEW GALVANIZED STEEL SCREEN ON EXISTING GUTTER.
16	PROVIDE AND INSTALL NEW POLY WATER LINE FROM EXISTING BALL JOINT TO EVAPORATIVE COOLER
17	PROVIDE AND INSTALL NEW PRE-FINISHED METAL R-PANELS WHERE TRANSLUCENT PANELS WERE REMOVED PRIOR TO INSTALLATION OF NEW ROOFING SYSTEM. PROVIDE AND INSTALL NEW VINYL FACED R-19 AND R-11 LINEAR SYSTEM INSULATION BELOW NEW METAL WALL PANELS.
18	PROVIDE AND INSTALL NEW TPO COATED DRIP EDGE PRE-FINISHED FLASHING WITH CONTINUOUS CLEAT, 24 GAUGE, ES-1 TESTED. INSTALL PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
19	WALK PAD.



A1 ROOF PLAN - ADDITIVE ALTERNATE #1
A131 1/4" = 1'-0"



KEY PLAN
 1/4" = 1'-0"



CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES
 ALAMOGORDO ANIMAL SHELTER
 2910 NORTH FLORIDA AVENUE
 ALAMOGORDO, NM 88310

Date	Issue	Description
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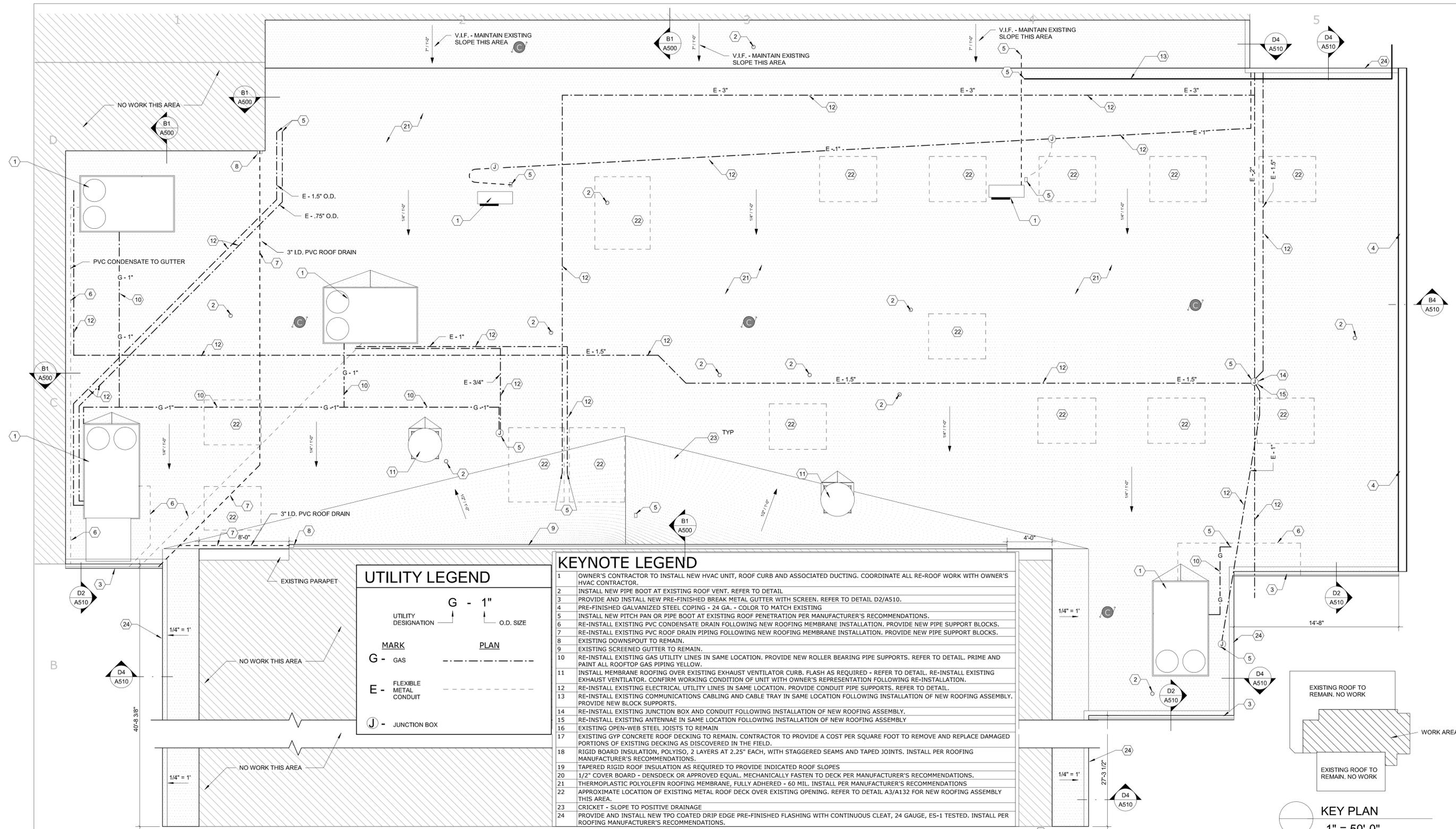


PROJECT NO.
450-02

SHEET TITLE
 ROOF PLAN -
 ADDITIVE
 ALTERNATE #1

SHEET NO.

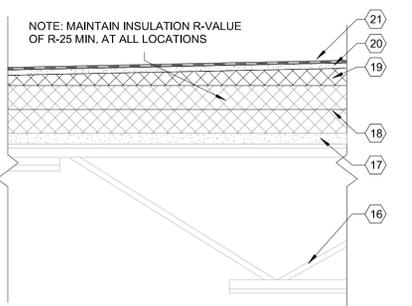
A131



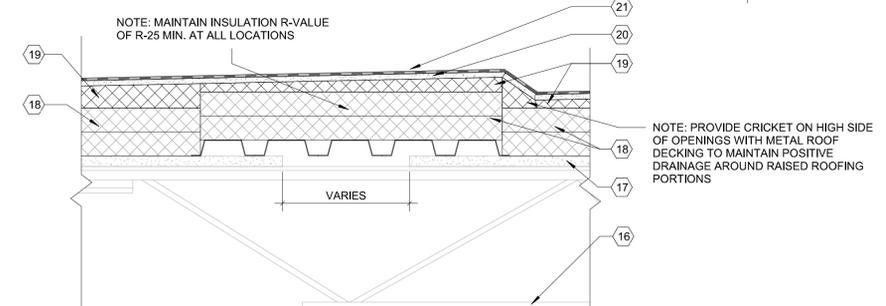
UTILITY LEGEND	
MARK	PLAN
G - GAS	--- 1" --- O.D. SIZE
E - FLEXIBLE METAL CONDUIT	---
J - JUNCTION BOX	○

- ### KEYNOTE LEGEND
- OWNER'S CONTRACTOR TO INSTALL NEW HVAC UNIT, ROOF CURB AND ASSOCIATED DUCTING. COORDINATE ALL RE-ROOF WORK WITH OWNER'S HVAC CONTRACTOR.
 - INSTALL NEW PIPE BOOT AT EXISTING ROOF VENT. REFER TO DETAIL
 - PROVIDE AND INSTALL NEW PRE-FINISHED BREAK METAL GUTTER WITH SCREEN. REFER TO DETAIL D2/A510.
 - PRE-FINISHED GALVANIZED STEEL COPING - 24 GA. - COLOR TO MATCH EXISTING
 - INSTALL NEW PITCH PAN OR PIPE BOOT AT EXISTING ROOF PENETRATION PER MANUFACTURER'S RECOMMENDATIONS.
 - RE-INSTALL EXISTING PVC CONDENSATE DRAIN FOLLOWING NEW ROOFING MEMBRANE INSTALLATION. PROVIDE NEW PIPE SUPPORT BLOCKS.
 - RE-INSTALL EXISTING PVC ROOF DRAIN PIPING FOLLOWING NEW ROOFING MEMBRANE INSTALLATION. PROVIDE NEW PIPE SUPPORT BLOCKS.
 - EXISTING DOWNSPOUT TO REMAIN.
 - EXISTING SCREENED GUTTER TO REMAIN.
 - RE-INSTALL EXISTING GAS UTILITY LINES IN SAME LOCATION. PROVIDE NEW ROLLER BEARING PIPE SUPPORTS. REFER TO DETAIL. PRIME AND PAINT ALL ROOFTOP GAS PIPING YELLOW.
 - INSTALL MEMBRANE ROOFING OVER EXISTING EXHAUST VENTILATOR CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING EXHAUST VENTILATOR. CONFIRM WORKING CONDITION OF UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
 - RE-INSTALL EXISTING ELECTRICAL UTILITY LINES IN SAME LOCATION. PROVIDE CONDUIT PIPE SUPPORTS. REFER TO DETAIL.
 - RE-INSTALL EXISTING COMMUNICATIONS CABLE AND CABLE TRAY IN SAME LOCATION FOLLOWING INSTALLATION OF NEW ROOFING ASSEMBLY. PROVIDE NEW BLOCK SUPPORTS.
 - RE-INSTALL EXISTING JUNCTION BOX AND CONDUIT FOLLOWING INSTALLATION OF NEW ROOFING ASSEMBLY.
 - RE-INSTALL EXISTING ANTENNAE IN SAME LOCATION FOLLOWING INSTALLATION OF NEW ROOFING ASSEMBLY
 - EXISTING OPEN-WEB STEEL JOISTS TO REMAIN
 - EXISTING GYP CONCRETE ROOF DECKING TO REMAIN. CONTRACTOR TO PROVIDE A COST PER SQUARE FOOT TO REMOVE AND REPLACE DAMAGED PORTIONS OF EXISTING DECKING AS DISCOVERED IN THE FIELD.
 - RIGID BOARD INSULATION, POLYISO, 2 LAYERS AT 2.25" EACH, WITH STAGGERED SEAMS AND TAPED JOINTS. INSTALL PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
 - TAPERED RIGID ROOF INSULATION AS REQUIRED TO PROVIDE INDICATED ROOF SLOPES
 - 1/2" COVER BOARD - DENSDECK OR APPROVED EQUAL. MECHANICALLY FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATIONS.
 - THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE, FULLY ADHERED - 60 MIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 - APPROXIMATE LOCATION OF EXISTING METAL ROOF DECK OVER EXISTING OPENING. REFER TO DETAIL A3/A132 FOR NEW ROOFING ASSEMBLY THIS AREA.
 - CRICKET - SLOPE TO POSITIVE DRAINAGE
 - PROVIDE AND INSTALL NEW TPO COATED DRIP EDGE PRE-FINISHED FLASHING WITH CONTINUOUS CLEAT, 24 GAUGE, ES-1 TESTED. INSTALL PER ROOFING MANUFACTURER'S RECOMMENDATIONS.

A1 ROOF PLAN - ADDITIVE ALTERNATE #2
A132 1/4" = 1'-0"



A2 ROOF TYPE C SECTION DETAIL
A132 1 1/2" = 1'-0"



A3 ROOF SECTION DETAIL AT METAL DECKING
A132 1 1/2" = 1'-0"

- ### GENERAL NOTES
- THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY.
 - GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXTENT OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURER'S WARRANTY.
 - PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL DOUBLE SLOPE OF THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW CONSTRUCTION ARE SHOWN FOR INTENT AND ARE NOT TO SCALE. REFER TO THE NRCA ROOFING MANUAL, CURRENT EDITION.
 - ALL ROOF AND WALL PANEL TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
 - CONTRACTOR TO RE-INSTALL AND RECONNECT ALL UTILITIES REMOVED FOR NEW ROOFING INSTALLATION. VERIFY WORKING CONDITION OF ALL UTILITIES WITH OWNER FOLLOWING REINSTALLATION.
 - ALL ROOFING GAS UTILITY LINES ARE TO BE PAINTED YELLOW IN NEW WORK.

CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES
 ALAMOGORDO POLICE DEPARTMENT
 700 VIRGINIA AVE, ALAMOGORDO, NM 88310

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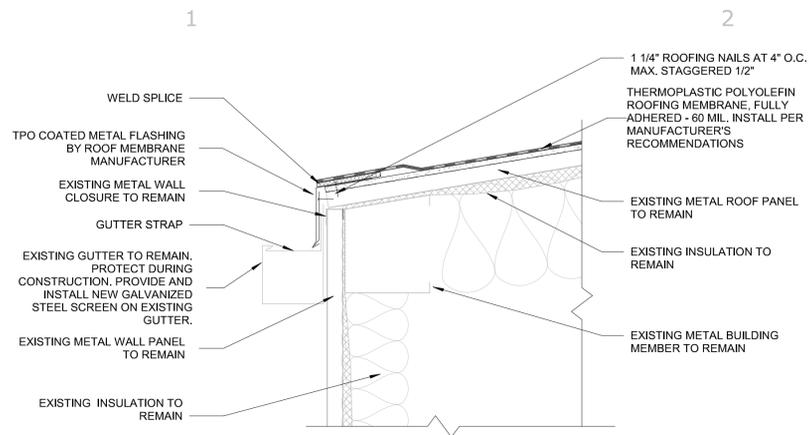
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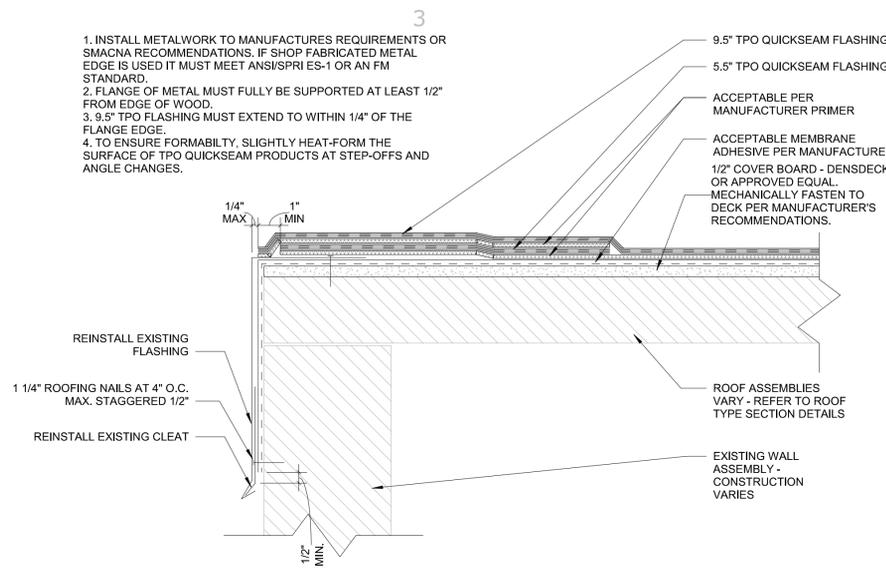
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450-02

SHEET TITLE
ROOF PLAN - ADDITIVE ALTERNATE #2

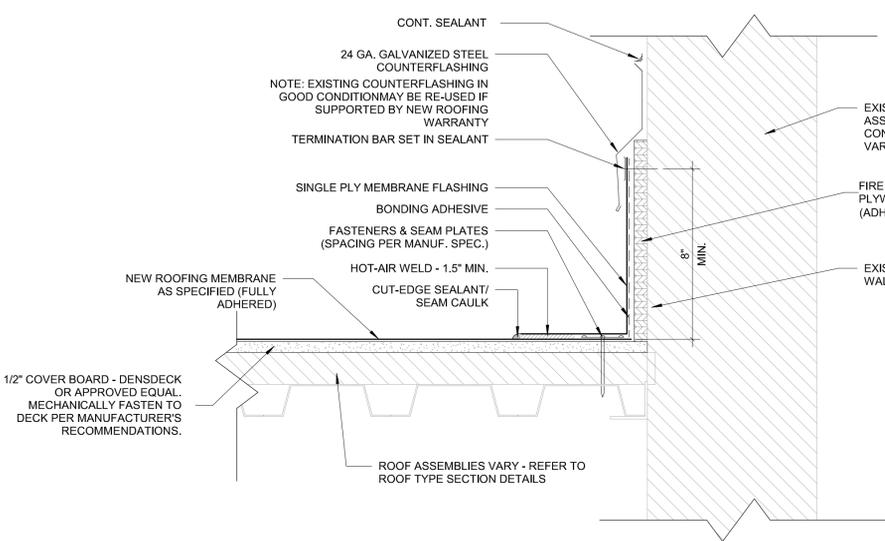
SHEET NO.
A132



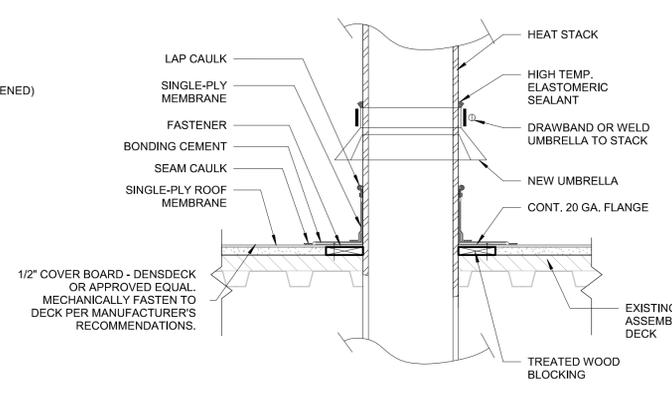
D1 EAVE FLASHING DETAIL - ANIMAL SHELTER
A500 1 1/2" = 1'-0"



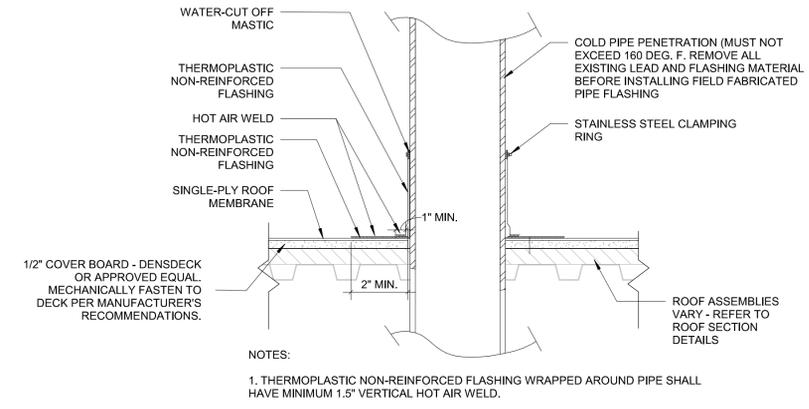
D3 ROOF FLASHING DETAIL - GOLF COURSE
A500 3" = 1'-0"



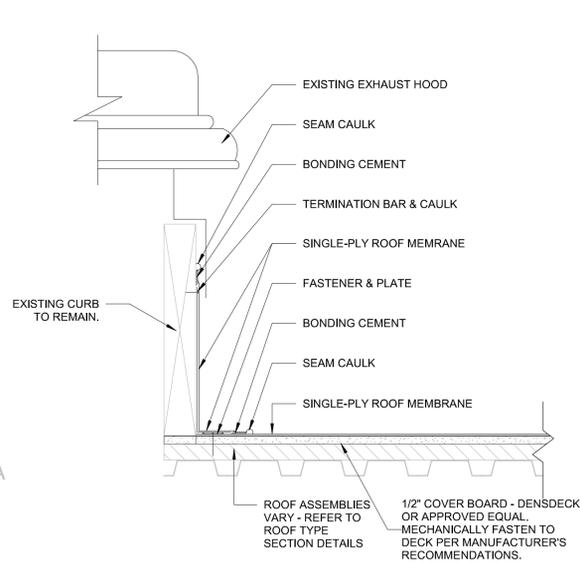
B1 ROOF TRANSITION DETAIL
A500 3" = 1'-0"



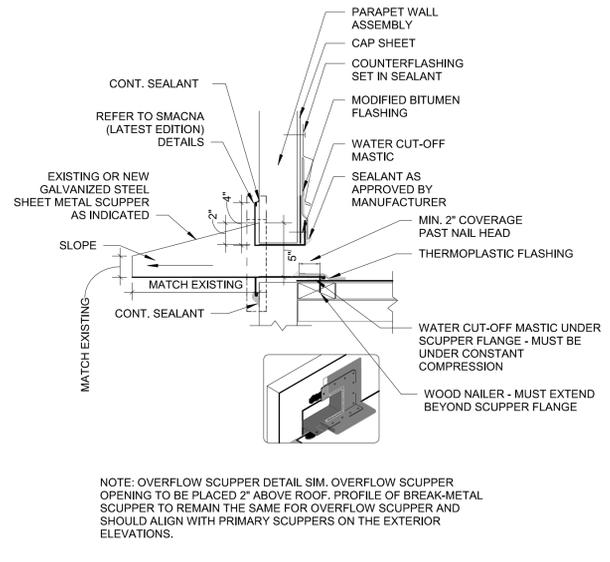
C3 HEATED VENT STACK PENETRATION DETAIL
A500 1 1/2" = 1'-0"



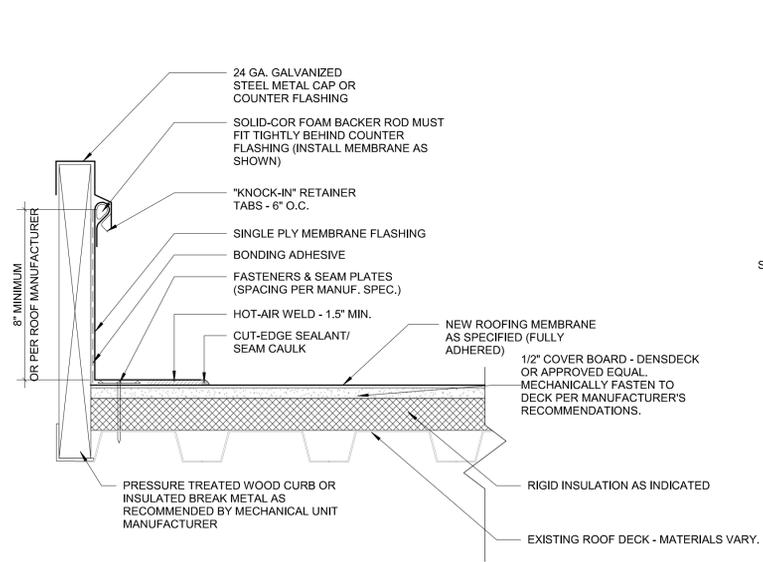
B5 COLD PIPE PENETRATION DETAIL
A500 1 1/2" = 1'-0"



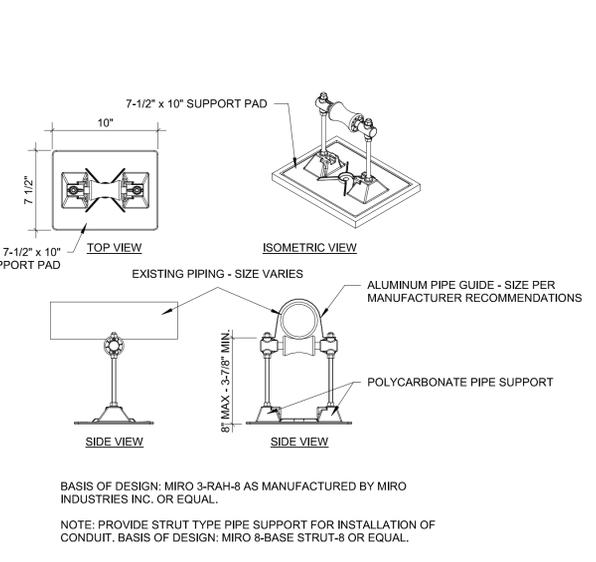
A1 EXHAUST CURB DETAIL
A500 1 1/2" = 1'-0"



A2 SCUPPER DETAIL
A500 1 1/2" = 1'-0"



A4 RTU CURB DETAIL
A500 3" = 1'-0"



A5 ROLLER BEARING PIPE SUPPORT
A500 1 1/2" = 1'-0"

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PROJECT NO.
 450-02

SHEET TITLE
 ROOF DETAILS

SHEET NO.

A500

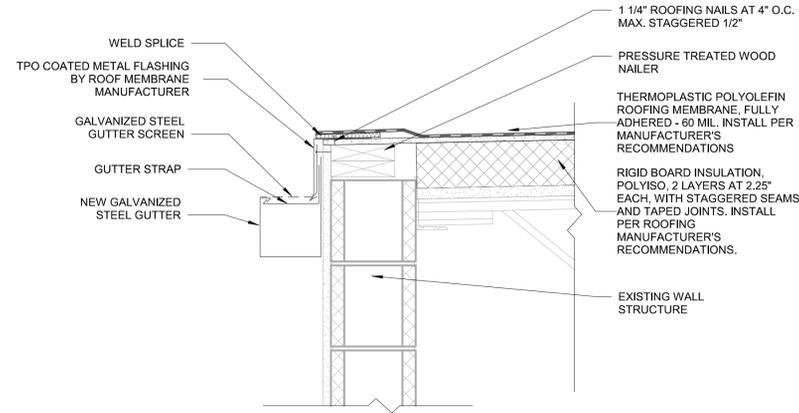
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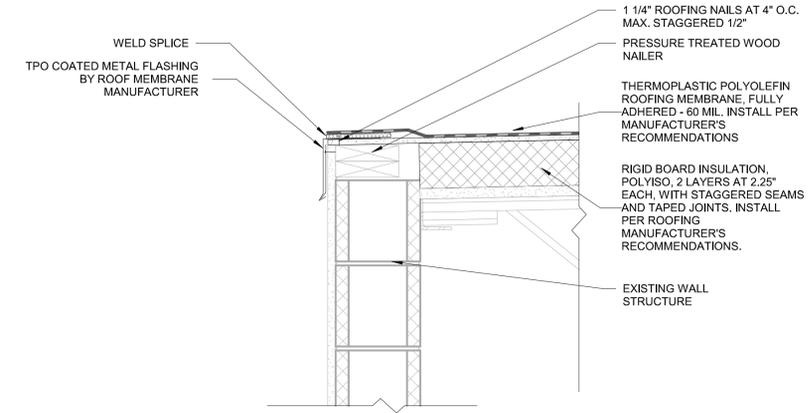
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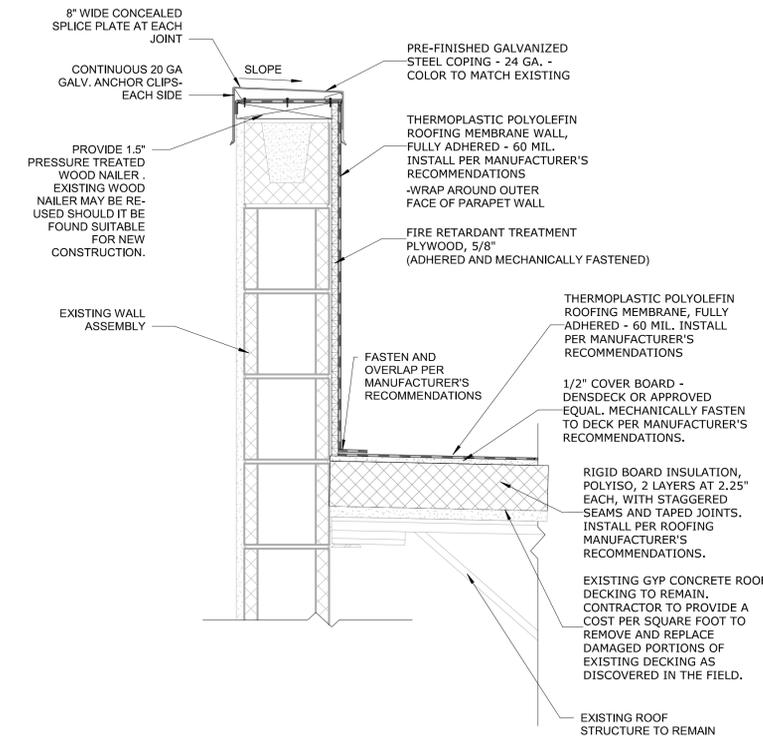
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D2
A510 EAVE FLASHING DETAIL - POLICE DEPARTMENT
1 1/2" = 1'-0"



D4
A510 EAVE FLASHING DETAIL - POLICE DEPARTMENT
1 1/2" = 1'-0"



B4
A510 PARAPET DETAIL - POLICE DEPARTMENT
1 1/2" = 1'-0"

CITY OF ALAMOGORDO
RE-ROOFS - MULTIPLE SITES

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PROJECT NO.
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ROOF DETAILS

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