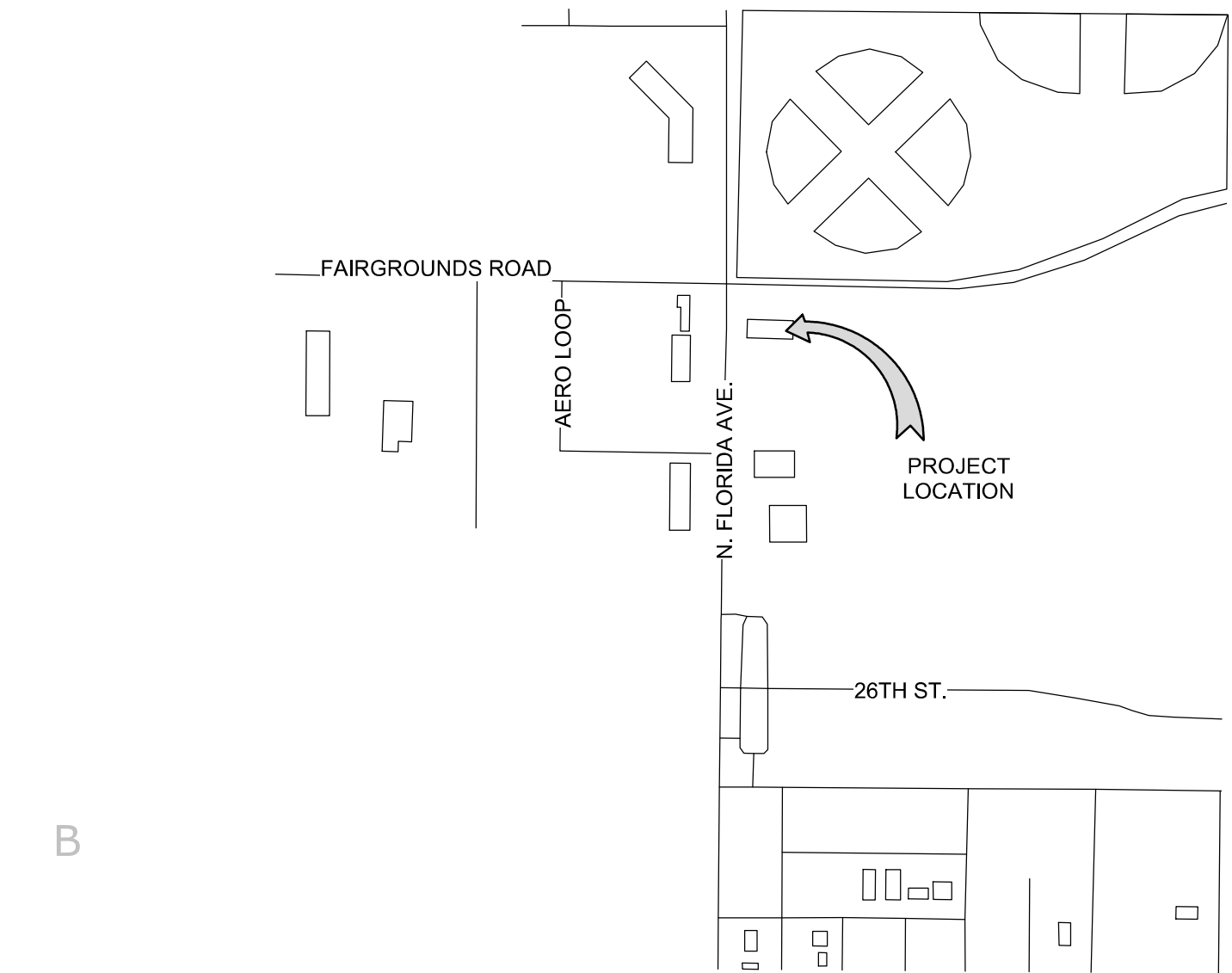


VICINITY MAP

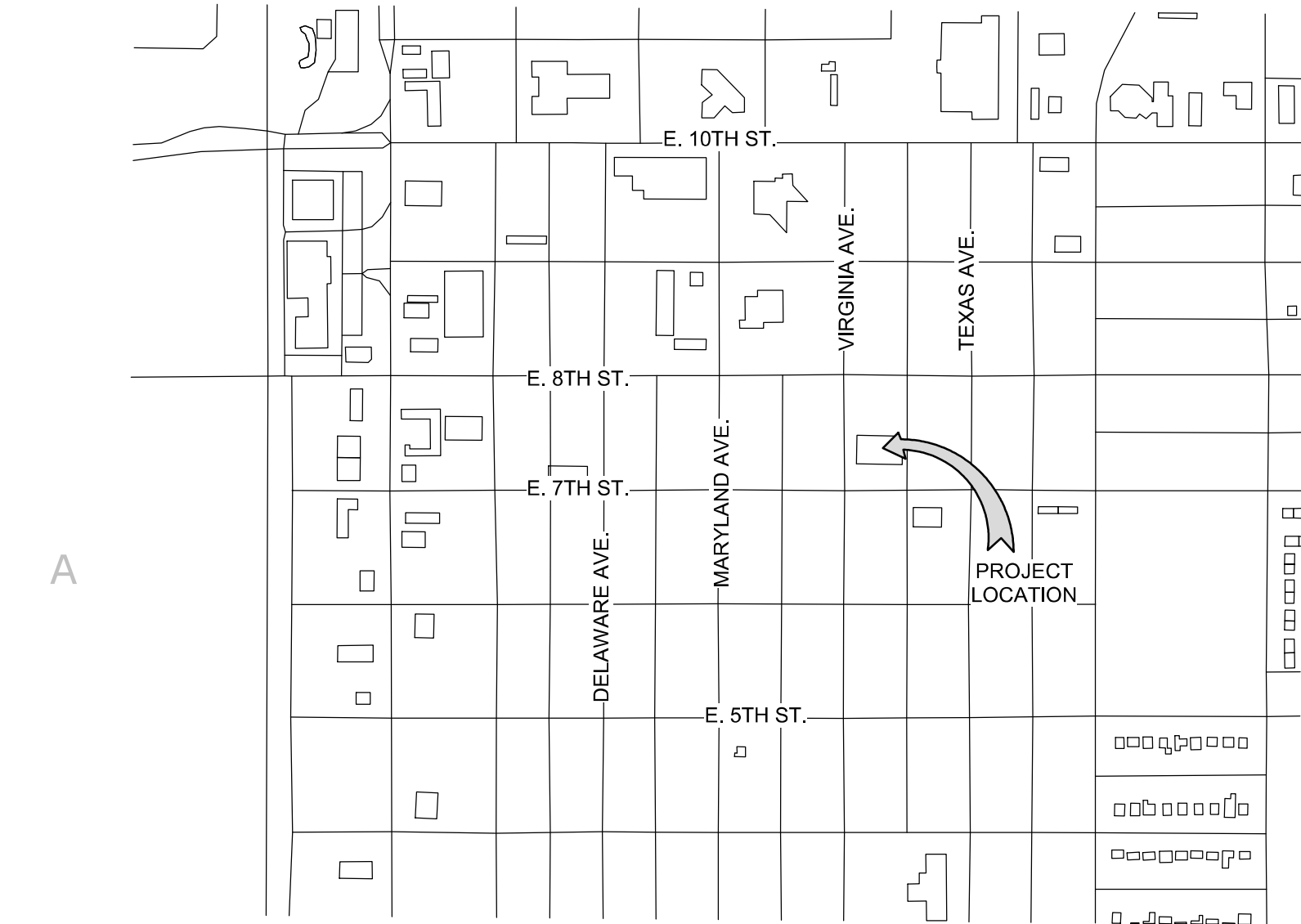
BASE BID:  
DESERT LAKES GOLF COURSE



ADDITIVE ALTERNATE #1:  
ALAMOGORDO ANIMAL CONTROL



ADDITIVE ALTERNATE #2:  
ALAMOGORDO POLICE DEPARTMENT



# CITY OF ALAMOGORDO RE-ROOF - MULTIPLE SITES

**BASE BID:** DESERT LAKES GOLF COURSE CLUBHOUSE  
2351 HAMILTON RD.  
ALAMOGORDO, NM 88310

**ADDITIVE ALTERNATE #1:** ALAMOGORDO ANIMAL CONTROL  
2910 N. FLORIDA AVE.  
ALAMOGORDO, NM 88310

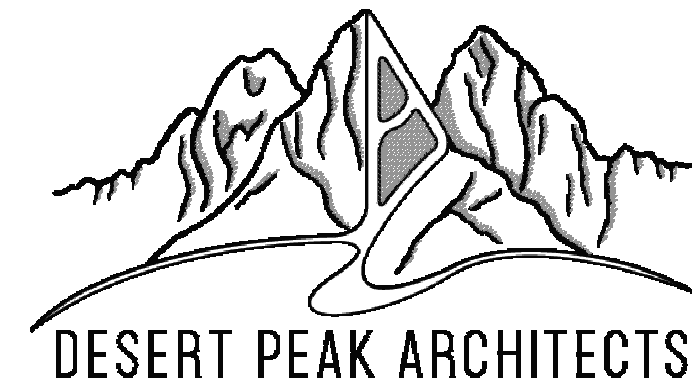
**ADDITIVE ALTERNATE #2:** ALAMOGORDO POLICE DEPARTMENT  
700 VIRGINIA AVE.  
ALAMOGORDO, NM 88310

**OWNER:**

CITY OF ALAMOGORDO  
CONTACT: BOB JOHNSON

**ARCHITECT:**

DESERT PEAK ARCHITECTS, INC  
  
311 NORTH MAIN STREET  
LAS CRUCES, NM 88005  
P. (575) 528 - 0021  
  
CONTACT: RUBEN CONTRERAS



**DESIGN CODES**

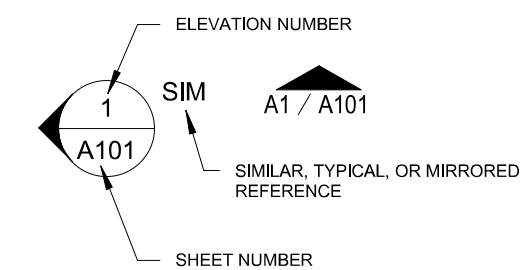
2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL EXISTING BUILDING CODE  
2015 NM COMMERCIAL CODES  
2015 UNIFORM PLUMBING CODE  
2015 NM PLUMBING CODE  
2015 UNIFORM MECHANICAL CODE  
2015 NM MECHANICAL CODE  
2017 NM ELECTRICAL CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
2018 NEW MEXICO ENERGY CONSERVATION CODE

**MATERIAL LEGEND**

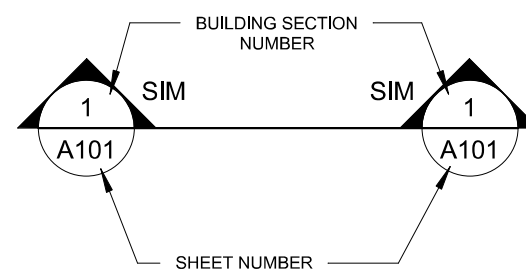
CUT (SECTION)	PROJECTION (PLAN / ELEVATION)
CONCRETE	EXISTING WALL TO REMAIN
EARTH	NEW WALL
RIGID INSULATION	MEMBRANE ROOFING
BATT INSULATION	STUCCO
WOOD BLOCKING	1HR FIRE RATED WALL ASSEMBLY
SPRAYED INSULATION	CMU

**SYMBOL LEGEND**

**ELEVATION SYMBOLS**



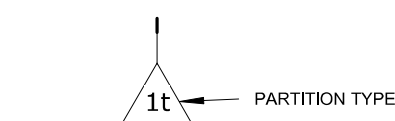
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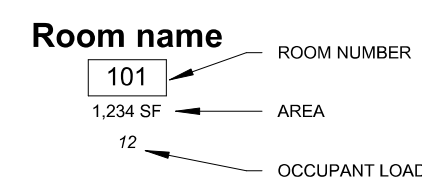
**WINDOW/ DOOR TAG SYMBOLS**



**WALL TAG SYMBOL**



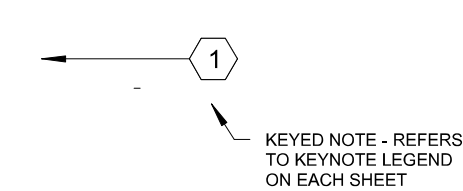
**ROOM TAG SYMBOL**



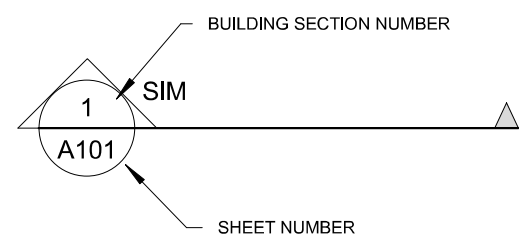
**CEILING TAG SYMBOL**



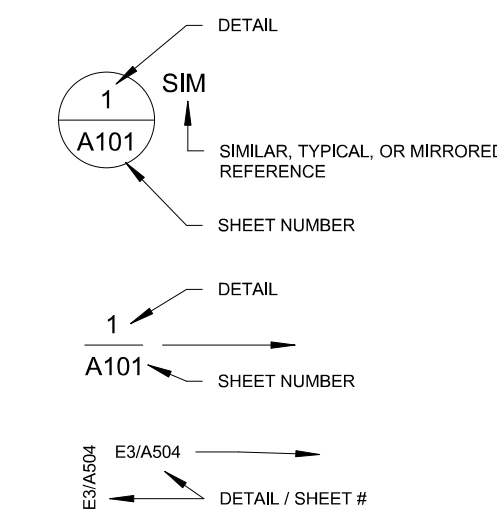
**REFERENCE KEYNOTE SYMBOL**



**WALL SECTION SYMBOL**



**DETAIL SYMBOL**



**SPOT DIMENSIONS**



DRAWING INDEX

**COVER G-SHEETS**

G001 COVER SHEET

**DEMOLITION**

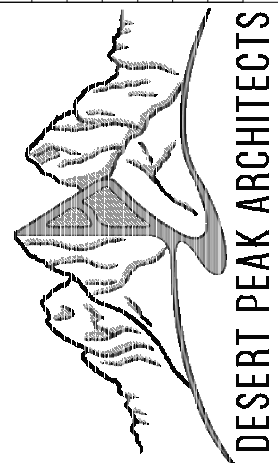
D100 ROOF DEMOLITION PLAN - BASE BID  
D200 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #1  
D300 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #2

**ARCHITECTURAL**

A130 ROOF PLAN - BASE BID  
A131 ROOF PLAN - ADDITIVE ALTERNATE #1  
A132 ROOF PLAN - ADDITIVE ALTERNATE #2  
A500 ROOF DETAILS  
A510 ROOF DETAILS

CITY OF ALAMOGORDO  
RE-ROOFS - MULTIPLE SITES

Description	Mark	Date	Issue
95% CONSTRUCTION DOCUMENTS		01/20/2022	



DESERT PEAK ARCHITECTS P.C.  
311 N MAIN STREET  
LAS CRUCES  
NEW MEXICO 88001  
P. 575.528.0022

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PROJECT NO.  
450-02

SHEET TITLE

COVER SHEET

SHEET NO.

G001

1

2

3

4

5

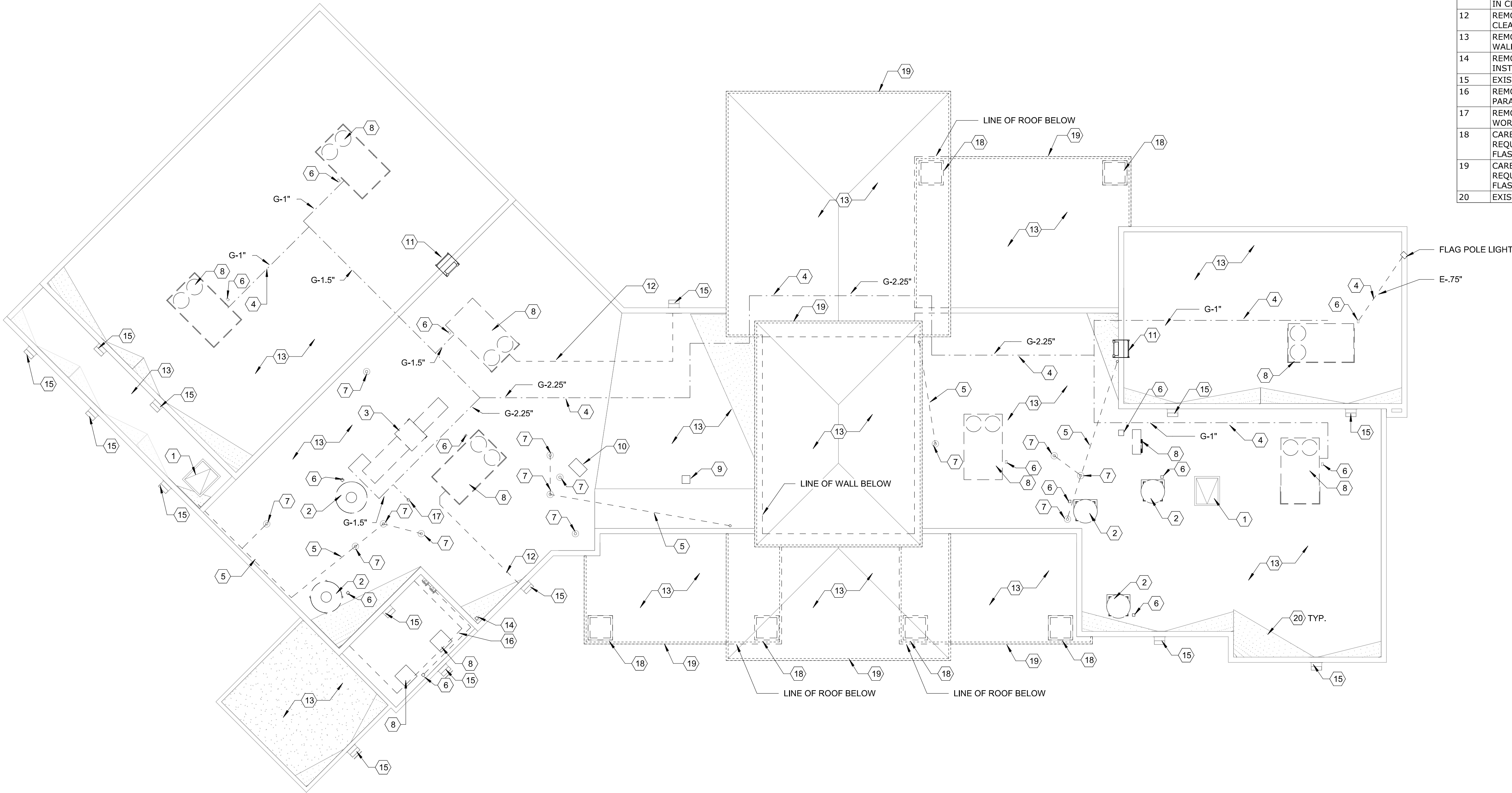
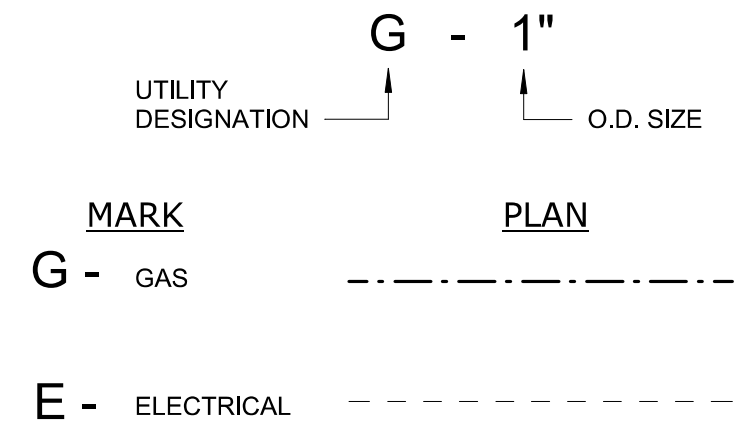
GENERAL NOTES - DEMOLITION

- A. ALL DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR FINISHED FLOOR U.N.O.  
B. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.  
C. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS DURING CONSTRUCTION TO PROVIDE DUST AND DEBRIS CONTROL. CONTRACTOR TO COORDINATE BARRIER LOCATIONS WITH OWNER/ARCHITECT.  
D. CONTRACTOR SHALL PROTECT ALL EXISTING TO REMAIN ITEMS WITHIN THE WORK AREA TO PREVENT DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGE DONE TO EXISTING CONDITIONS TO REMAIN.  
E. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.  
F. THE CONTRACTOR SHALL REPAIR AND REPLACE ANY ITEM OR SURFACE DAMAGED BY THE WORK, OR AS REQUIRED BY NEW INSTALLATION.  
G. ALL DEMOLISHED MATERIALS TO BE REMOVED FROM SITE. U.N.O.  
H. CONTRACTOR SHALL KEEP ALL EXISTING EXIT WAYS CLEAR AND OPEN DURING CONSTRUCTION.  
I. HAZRDOUS MATERIALS - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK. UPON DISCOVERY OF HAZARDOUS MATERIALS, CONTRACTOR SHALL STOP WORK AND INFORM THE OWNER/ARCHITECT

KEYNOTE LEGEND

1	EXISTING ROOF HATCH TO REMAIN. REMOVE AND RE-INSTALL LID AS REQUIRED FOR NEW ROOFING INSTALLATION.
2	REMOVE / RAISE EXISTING EXHAUST VENTILATOR AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
3	REMOVE / RAISE EXISTING MAKE-UP AIR UNIT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
4	CAREFULLY REMOVE / RAISE EXISTING UTILITY LINES AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE ALL ASSOCIATED STAND-OFF BLOCKING. UTILITY LINES TO BE RE-INSTALLED IN SAME LOCATION IN NEW WORK.
5	CAREFULLY REMOVE EXISTING VENT PIPING AS REQUIRED FOR NEW ROOF INSTALLATION. VENT PIPING TO BE RE-INSTALLED IN NEW WORK.
6	DISCONNECT THRU ROOF ELECTRICAL AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING PITCH PAN. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.
7	REMOVE EXISTING PIPE BOOTS AT EXISTING VENT PENETRATION. PREP EXISTING VENT PIPING FOR NEW PIPE BOOT IN NEW WORK.
8	VERIFY WORKING CONDITION OF EXISTING MECHANICAL UNIT WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL. REMOVE / RAISE EXISTING MECHANICAL UNIT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
9	INVESTIGATE ACTIVE NATURE OF CAPPED DUCT IN THIS LOCATION. SHOULD THE DUCT BE FOUND TO BE INACTIVE, REMOVE DUCT AND CAP AT NEAREST MAIN. PREP ROOF PENETRATION FOR NEW DECKING, INSULATION AND ROOFING SYSTEM.
10	REMOVE / RAISE EXISTING GOOSENECK VENT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
11	REMOVE / RAISE EXISTING ROOF ACCESS LADDER AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
12	REMOVE / RAISE EXISTING CONDENSATE DRAIN AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
13	REMOVE EXISTING DUST AND DEBRIS FROM EXISTING ROOFING MEMBRANE. REMOVE ALL EXISTING WALKING PADS. PREP FOR NEW ROOF OVERLAY IN NEW WORK.
14	REMOVE / RAISE EXISTING BIRD ALARM IN THIS LOCATION AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.
15	EXISTING SCUPPER TO REMAIN. PREP FOR NEW ROOF MEMBRANE INSTALLATION.
16	REMOVE EXISTING BREAK METAL CRICKETS. PREP FOR NEW TAPERED INSULATION CRICKETS. PREP PARAPET WALL SUBSTRATES FOR NEW ROOFING MEMBRANE.
17	REMOVE EXISTING PIPE BOOT AT THRU GAS PIPING PENETRATION. PREP FOR NEW PIPE BOOT IN NEW WORK.
18	CAREFULLY REMOVE AND RE-INSTALL EXISTING DRIP EDGE FLASHING AT RAISED ROOF SECTIONS AS REQUIRED FOR NEW ROOF INSTALLATION. PROVIDE A COST PER LINEAR FOOT FOR NEW DRIP EDGE FLASHING AND INSTALLATION IF REQUIRED.
19	CAREFULLY REMOVE AND RE-INSTALL EXISTING DRIP EDGE FLASHING AT FLAT ROOF AREAS AS REQUIRED FOR NEW ROOF INSTALLATION. PROVIDE A COST PER LINEAR FOOT FOR NEW DRIP EDGE FLASHING AND INSTALLATION IF REQUIRED.
20	EXISTING CRICKETS TO REMAIN

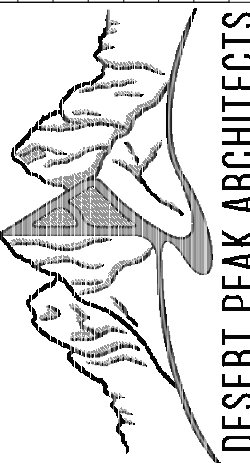
UTILITY LEGEND



PROJECT  
NORTH

CITY OF ALAMOGORDO  
RE-ROOFS - MULTIPLE SITES  
DESERT LAKES GOLF COURSE  
2351 HAMILTON RD, ALAMOGORDO, NM  
88310

Mark	Date	Description
ISSUE:	01/20/2022	95% CONSTRUCTION DOCUMENTS



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LAS CRUCES  
NEW MEXICO 88001  
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PROJECT NO.  
450-02

SHEET TITLE

ROOF DEMOLITION  
PLAN - BASE BID

SHEET NO.

D100

A1 ROOF DEMOLITION PLAN  
D100 1/8" = 1'-0"

1

2

3

4

5

D

C

B

A

UTILITY LEGEND

UTILITY DESIGNATION

G - 1"

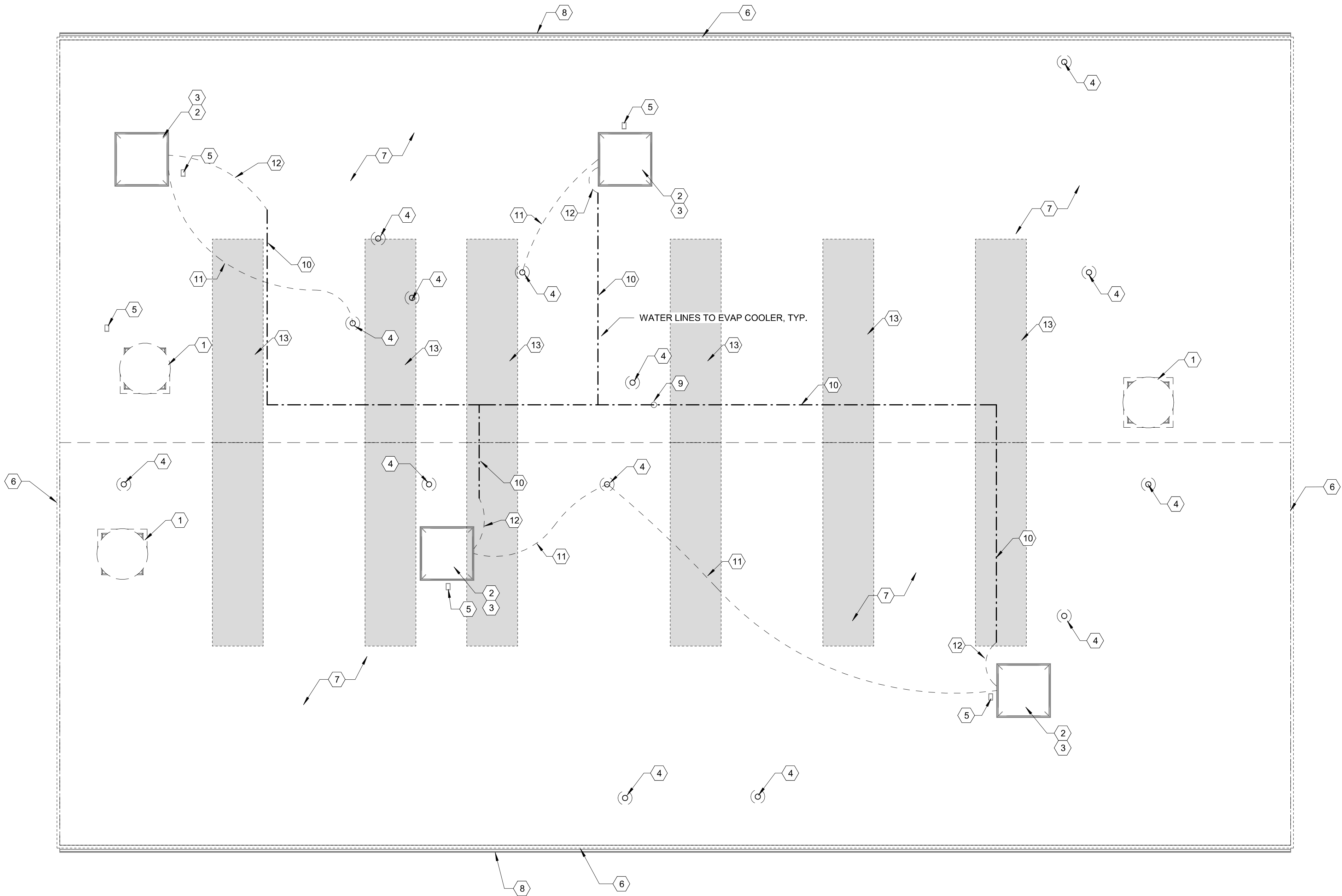
O.D. SIZE

MARK

G - GAS

PLAN

E - ELECTRICAL



A1 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #1  
D200 1/4" = 1'-0"

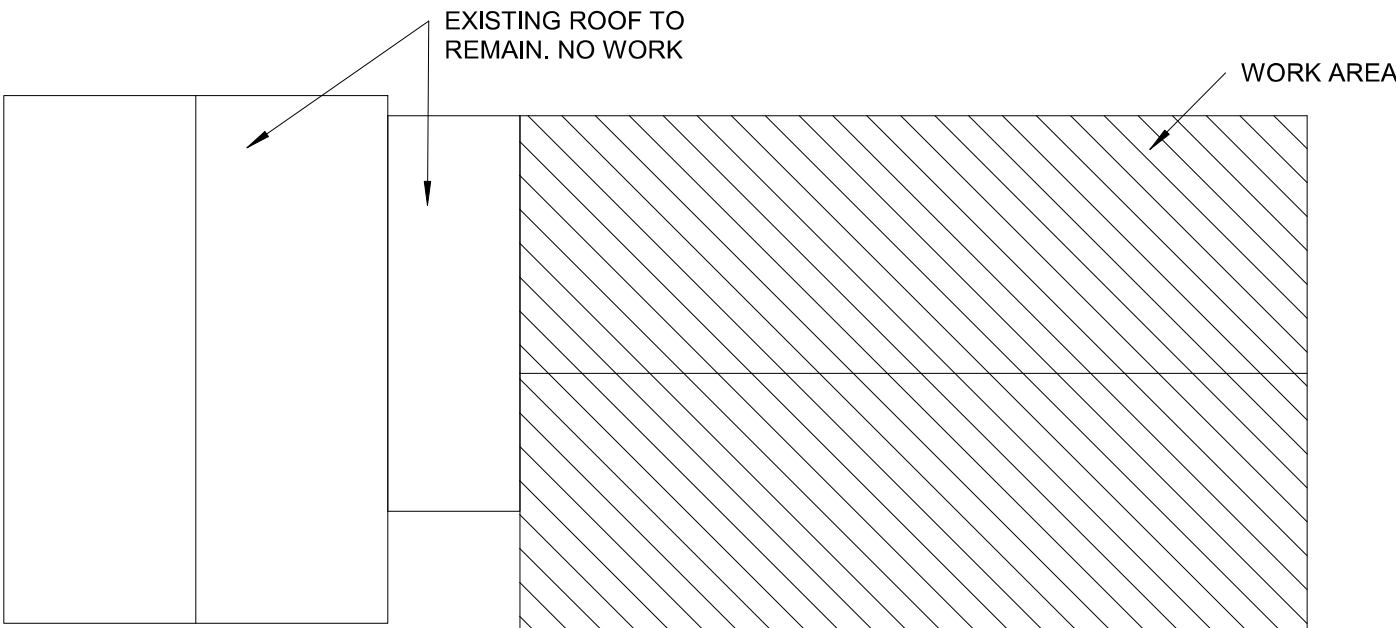


GENERAL NOTES - DEMOLITION

- A. ALL DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR FINISHED FLOOR U.N.O.
- B. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- C. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS DURING CONSTRUCTION TO PROVIDE DUST AND DEBRIS CONTROL. CONTRACTOR TO COORDINATE BARRIER LOCATIONS WITH OWNER/ARCHITECT.
- D. CONTRACTOR SHALL PROTECT ALL EXISTING TO REMAIN ITEMS WITHIN THE WORK AREA TO PREVENT DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGE DONE TO EXISTING CONDITIONS TO REMAIN.
- E. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- F. THE CONTRACTOR SHALL REPAIR AND REPLACE ANY ITEM OR SURFACE DAMAGED BY THE WORK, OR AS REQUIRED BY NEW INSTALLATION.
- G. ALL DEMOLISHED MATERIALS TO BE REMOVED FROM SITE. U.N.O.
- H. CONTRACTOR SHALL KEEP ALL EXISTING EXIT WAYS CLEAR AND OPEN DURING CONSTRUCTION.
- I. HAZARDOUS MATERIALS - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK. UPON DISCOVERY OF HAZARDOUS MATERIALS, CONTRACTOR SHALL STOP WORK AND INFORM THE OWNER/ARCHITECT

KEYNOTE LEGEND

- |    |   |
|----|---|
| 1  | REMOVE / RAISE EXISTING EXHAUST VENTILATOR AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN/SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION.   |
| 2  | VERIFY WORKING CONDITION OF EXISTING MECHANICAL UNIT WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL. REMOVE / RAISE EXISTING MECHANICAL UNIT AS REQUIRED FOR NEW ROOF INSTALLATION. KEEP IN CLEAN / SAFE AREA FOR RE-INSTALLATION IN SAME LOCATION. |
| 3  | REMOVE EXISTING ROOF CURB FOR EVAP COOLER. PREP AREA FOR NEW CURB IN NEW WORK.  |
| 4  | REMOVE EXISTING PIPE BOOTS AT EXISTING VENT PENETRATION. PREP EXISTING VENT PIPING FOR NEW PIPE BOOT IN NEW WORK.   |
| 5  | DISCONNECT THRU ROOF ELECTRICAL AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE EXISTING CONDUIT FLASHING. PREP EXISTING PENETRATION AS REQUIRED FOR NEW WORK.  |
| 6  | REMOVE EXISTING ROOF PERIMETER FASCIA.  |
| 7  | REMOVE EXISTING ROOF OVERLAY SYSTEM DOWN TO EXISTING METAL ROOF PANELS. EXISTING METAL ROOF PANELS TO REMAIN - PROTECT DURING DEMOLITION. PREP AREA FOR NEW ROOFING SYSTEM IN NEW WORK.   |
| 8  | EXISTING GUTTER TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE AND INSTALL NEW GALVANIZED STEEL SCREEN ON EXISTING GUTTER.   |
| 9  | REMOVE EXISTING FLASHING AT THRU WATER PIPING PENETRATION. PREP PIPING FOR NEW FLASHING IN NEW WORK.  |
| 10 | CAREFULLY REMOVE / RAISE EXISTING UTILITY LINES AS REQUIRED FOR NEW ROOF INSTALLATION. REMOVE ALL ASSOCIATED STAND-OFF BLOCKING. UTILITY LINES TO BE RE-INSTALLED IN SAME LOCATION IN NEW WORK.   |
| 11 | REMOVE EXISTING WATER BLEED OFF LINES   |
| 12 | REMOVE EXISTING WATER SUPPLY LINES TO EXISTING EVAPORATIVE COOLERS  |
| 13 | REMOVE EXISTING TRANSLUCENT ROOF PANELS BELOW EXISTING OVERLAY ROOF SYSTEM. PREP OPENING FOR NEW METAL ROOF PANELS AND INSULATION IN NEW WORK.  |



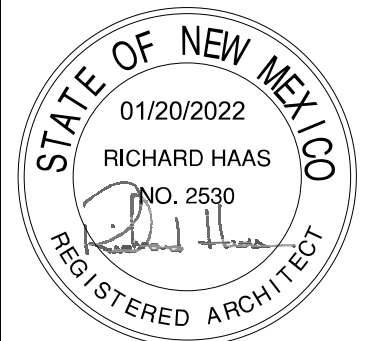
KEY PLAN  
1/4" = 1'-0"

CITY OF ALAMOGORDO  
RE-ROOFS - MULTIPLE SITES  
ALAMOGORDO ANIMAL SHELTER  
2910 NORTH FLORIDA AVENUE  
ALAMOGORDO, NM 88310

Mark	Date	Description
ISSUE:	01/20/2022	95% CONSTRUCTION DOCUMENTS

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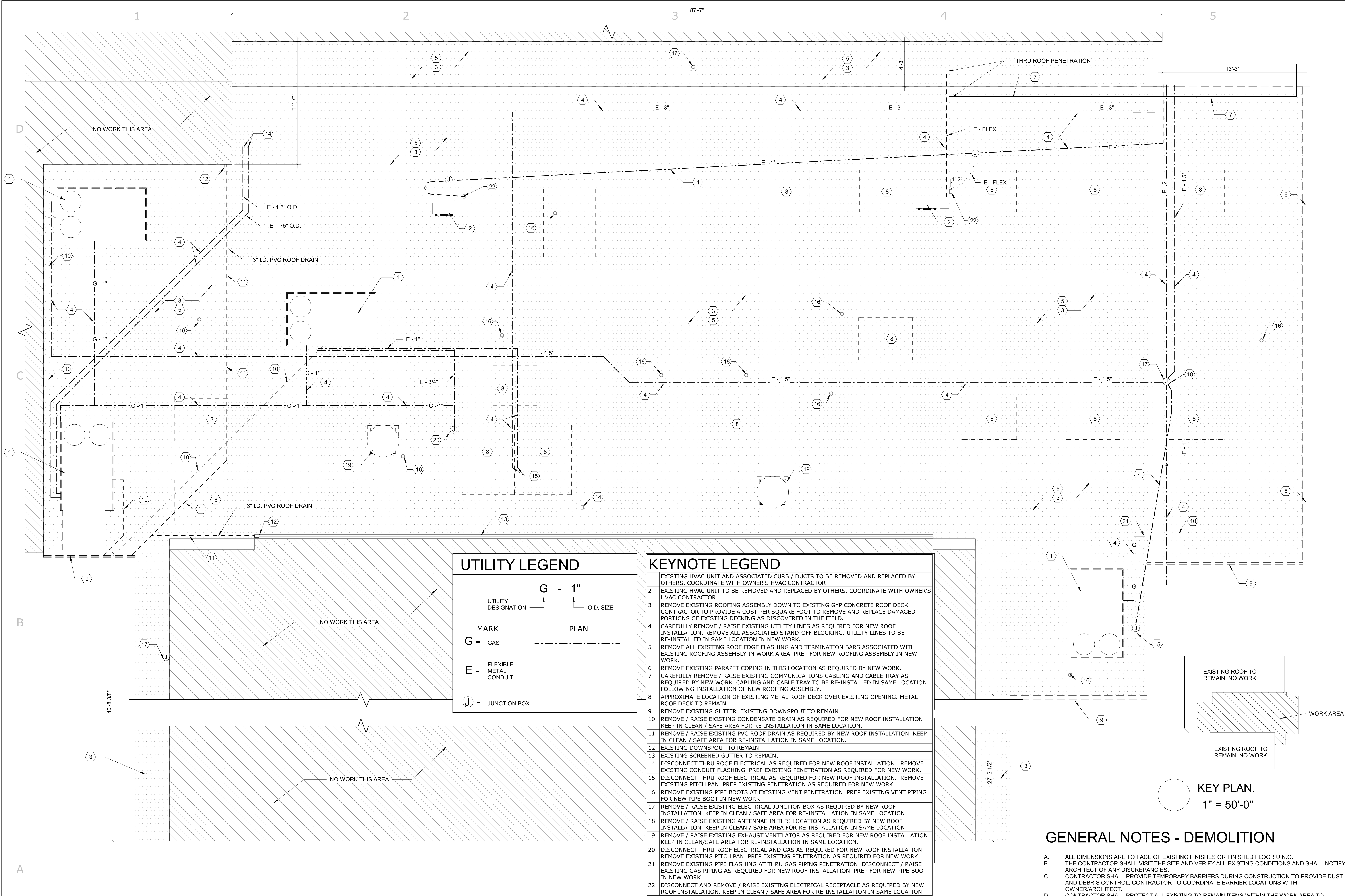
PROJECT NO.  
450-02

SHEET TITLE  
ROOF DEMOLITION  
PLAN - ADDITIVE  
ALTERNATE #1

SHEET NO.

D200





A1 ROOF DEMOLITION PLAN - ADDITIVE ALTERNATE #2  
D300 1/4" = 1'-0"

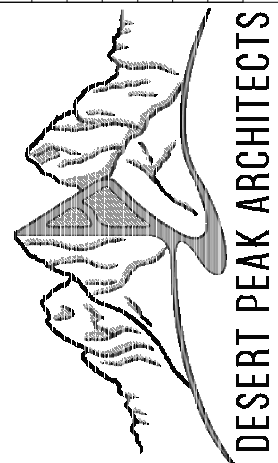


## GENERAL NOTES - DEMOLITION

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- CONTRACTOR SHALL PROTECT ALL EXISTING TO REMAIN ITEMS WITHIN THE WORK AREA TO PREVENT DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING ANY DAMAGE DONE TO EXISTING CONDITIONS TO REMAIN.
- CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- THE CONTRACTOR SHALL REPAIR AND REPLACE ANY ITEM OR SURFACE DAMAGED BY THE WORK, OR AS REQUIRED BY NEW INSTALLATION.
- ALL DEMOLISHED MATERIALS TO BE REMOVED FROM SITE. U.N.O.
- CONTRACTOR SHALL KEEP ALL EXISTING EXIT WAYS CLEAR AND OPEN DURING CONSTRUCTION. HAZARDOUS MATERIALS - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK. UPON DISCOVERY OF HAZARDOUS MATERIALS, CONTRACTOR SHALL STOP WORK AND INFORM THE OWNER/ARCHITECT
- 

CITY OF ALAMOGORDO  
RE-ROOFS - MULTIPLE SITES  
ALAMOGORDO POLICE DEPARTMENT  
700 VIRGINIA AVE, ALAMOGORDO, NM 88310

Mark	Date	Description
ISSUE:	01/20/2022	95% CONSTRUCTION DOCUMENTS



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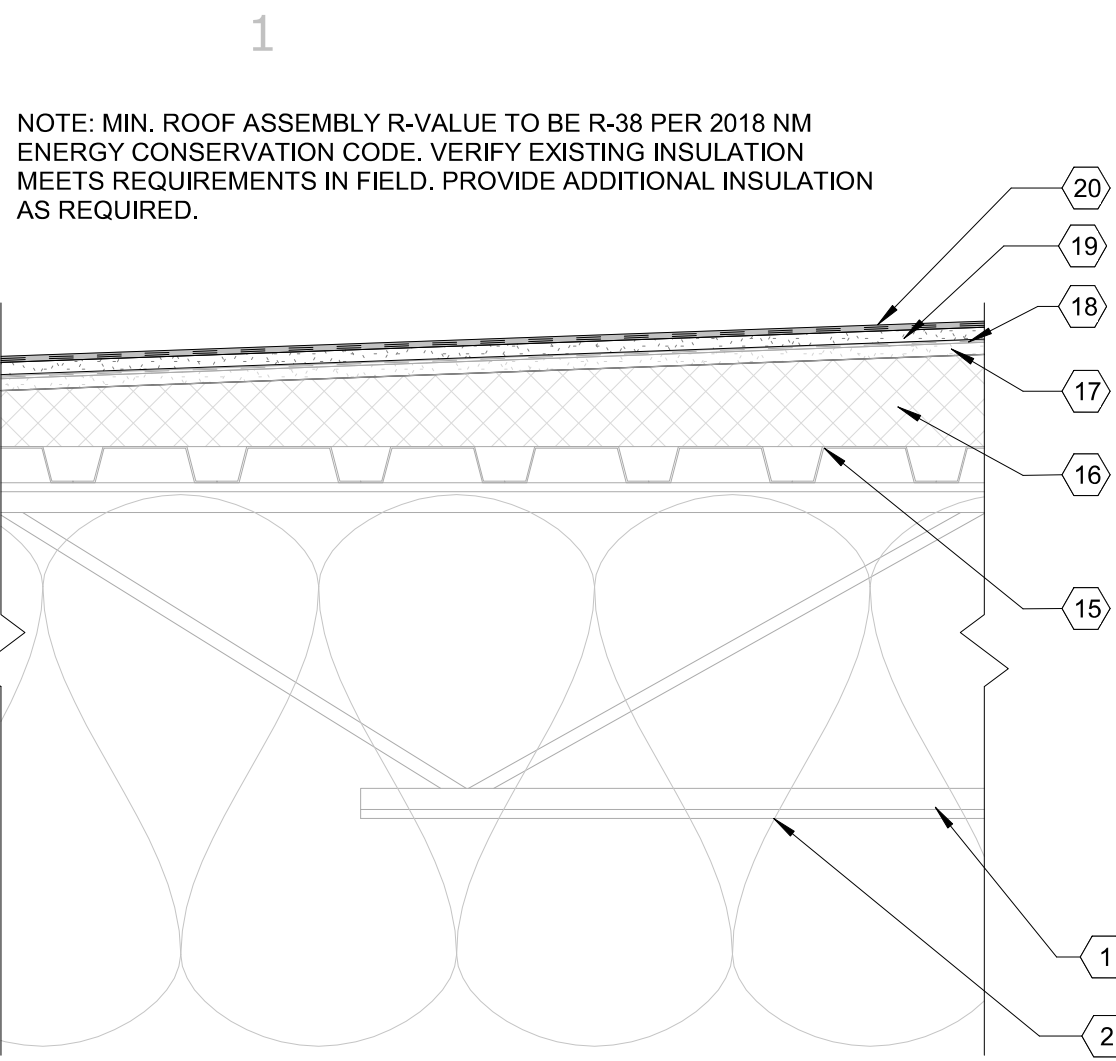
PROJECT NO.  
450-02

SHEET TITLE  
ROOF DEMOLITION  
PLAN - ADDITIVE  
ALTERNATE #2

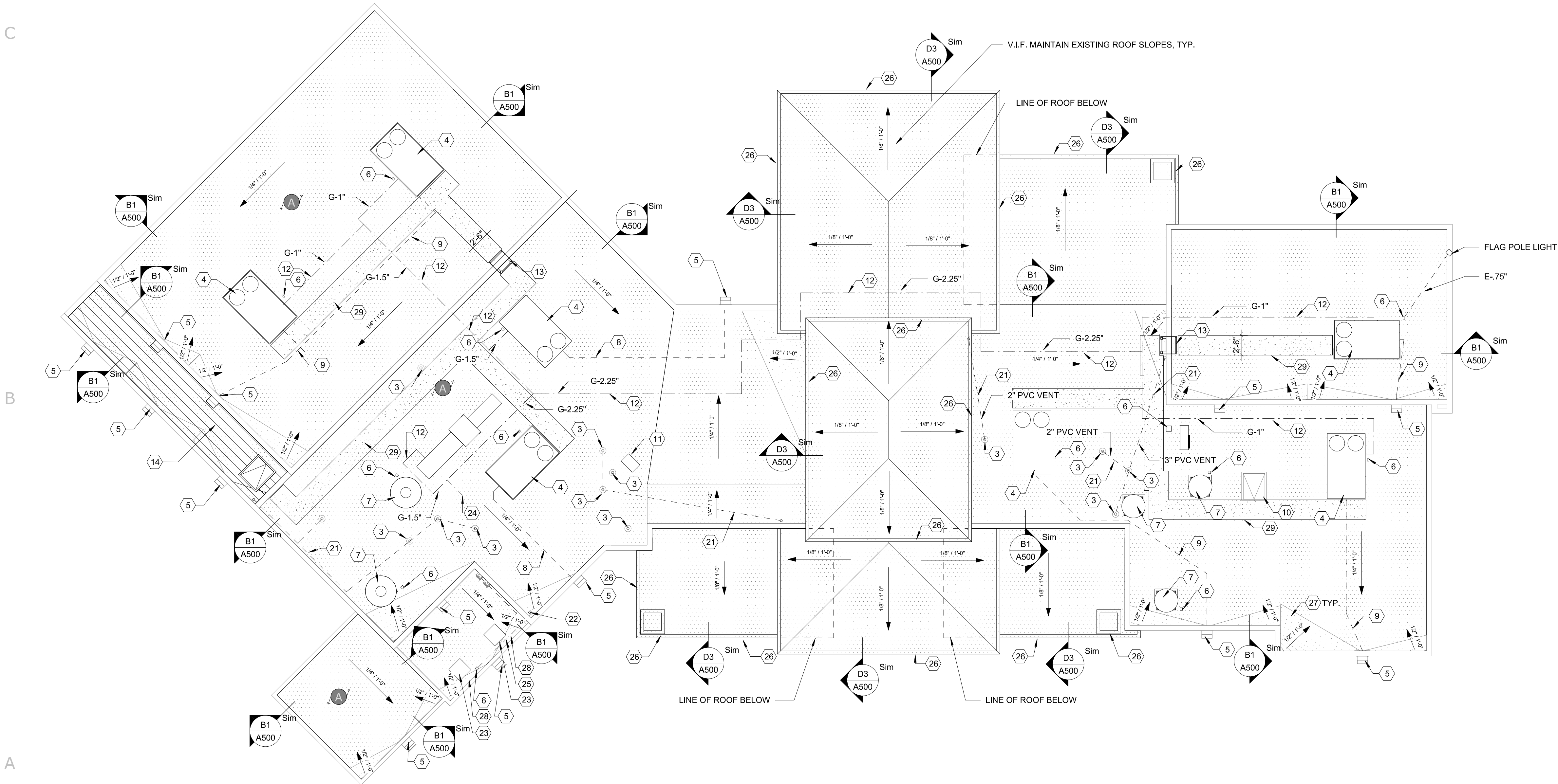
SHEET NO.

D300





D1 ROOF TYPE A SECTION DETAIL  
A130 1 1/2" = 1'-0"



A1 ROOF PLAN - BASE BID  
A130 1/8" = 1'-0"

## GENERAL NOTES

- THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY.
- GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXTENT OF PLUMBING/MECHANICAL ROOF EQUIPMENT AND PENETRATIONS AFFECTED BY NEW ROOF INSTALLATION.
- ALL ROOF PENETRATION AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURER'S WARRANTY.
- PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL DOUBLE SLOPE OF THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW CONSTRUCTION ARE SHOWN FOR INTENT AND ARE NOT TO SCALE. REFER TO THE NRCA ROOFING MANUAL, CURRENT EDITION.
- ALL ROOF AND WALL PANEL TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
- CONTRACTOR TO RE-INSTALL AND RECONNECT ALL UTILITIES REMOVED FOR NEW ROOFING INSTALLATION. VERIFY WORKING CONDITION OF ALL UTILITIES WITH OWNER FOLLOWING REINSTALLATION.
- ALL ROOFING GAS UTILITY LINES ARE TO BE PAINTED YELLOW IN NEW WORK.

## KEYNOTE LEGEND

1	EXISTING R-30 BATT INSULATION TO REMAIN
2	EXISTING OPEN-WEB STEEL JOISTS TO REMAIN
3	INSTALL NEW PIPE BOOT AT EXISTING ROOF VENT. REFER TO DETAIL
4	INSTALL MEMBRANE ROOFING OVER EXISTING UNIT CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING MECHANICAL UNIT. CONFIRM WORKING CONDITION OF EXISTING MECHANICAL UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
5	INSTALL NEW ROOFING MEMBRANE AT EXISTING SCUPPER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL A1/A500
6	INSTALL NEW PITCH PAN OR PIPE BOOT AT EXISTING ROOF PENETRATION PER MANUFACTURER'S RECOMMENDATIONS.
7	INSTALL MEMBRANE ROOFING OVER EXISTING EXHAUST VENTILATOR CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING EXHAUST VENTILATOR. CONFIRM WORKING CONDITION OF UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
8	RE-INSTALL EXISTING PVC CONDENSATE DRAIN FOLLOWING NEW ROOFING MEMBRANE INSTALLATION. PROVIDE NEW PIPE SUPPORT BLOCKS.
9	PROVIDE AND INSTALL NEW CONDENSATE DRAINS FROM EXISTING MECHANICAL UNIT TO LOCATION SHOWN. PROVIDE NEW PIPE SUPPORT BLOCKS.
10	INSTALL MEMBRANE ROOFING OVER EXISTING ROOF HATCH CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL ROOF HATCH LID.
11	INSTALL MEMBRANE FLASHING AT GOOSENECK VENT PENETRATION PER MANUFACTURER'S RECOMMENDATIONS. RE-INSTALL GOOSENECK VENT.
12	RE-INSTALL EXISTING GAS UTILITY LINES IN SAME LOCATION. PROVIDE NEW ROLLER BEARING PIPE SUPPORTS. REFER TO DETAIL. PRIME AND PAINT ALL ROOFTOP GAS PIPING YELLOW.
13	RE-INSTALL EXISTING ROOF LADDER IN SAME LOCATION. PAINT.
14	PROVIDE NEW TAPERED EPS INSULATION IN HATCHED AREA SHOWN BELOW NEW RECOVERY BOARD AND ROOFING MEMBRANE AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE TO EXISTING SCUPPERS.
15	EXISTING ROOF DECK TO REMAIN.
16	EXISTING TAPERED INSULATION TO REMAIN
17	EXISTING COVER BOARD TO REMAIN.
18	EXISTING ROOFING SYSTEM TO REMAIN. CLEAN EXISTING ROOFING PRIOR TO OVERLAY IN NEW WORK. MODIFY AS REQUIRED TO ACCOMMODATE NEW ROOFING SYSTEM OVERLAY.
19	1/2" COVER BOARD - DENSDECK OR APPROVED EQUAL. MECHANICALLY FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATIONS.
20	THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE. FULLY ADHERED - 60 MIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
21	RE-INSTALL EXISTING ABOVE ROOF PVC VENT PIPING AS SHOWN.
22	RE-INSTALL EXISTING BIRD ALARM IN SAME LOCATION
23	PROVIDE NEW ROOF CURB FOR EXISTING MECHANICAL EQUIPMENT. RE-INSTALL EXISTING MECHANICAL EQUIPMENT IN SAME LOCATION FOLLOWING INSTALLATION OF NEW ROOFING.
24	INSTALL NEW PIPE BOOT AT EXISTING GAS LINE PENETRATION. REFER TO DETAIL.
25	REINSTALL EXISTING ELECTRICAL CONDUIT AND CIRCUITRY IN THIS AREA.
26	REINSTALL EXISTING DRIP EDGE FLASHING IN SAME LOCATION. PROVIDE A COST PER LINEAR FOOT TO PROVIDE AND INSTALL NEW DRIP EDGE FLASHING AS REQUIRED. NEW FLASHING IF REQUIRED SHALL MATCH EXISTING COPPER FINISH FLASHING
27	EXISTING CRICKETS TO REMAIN
28	NEW CRICKET THIS LOCATION.
29	WALK PAD.

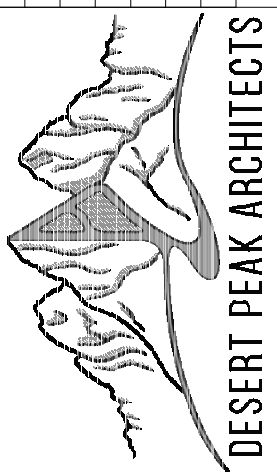
## UTILITY LEGEND

UTILITY DESIGNATION	G - 1"	O.D. SIZE
MARK	PLAN	
G - GAS	-----	
E - ELECTRICAL	-----	



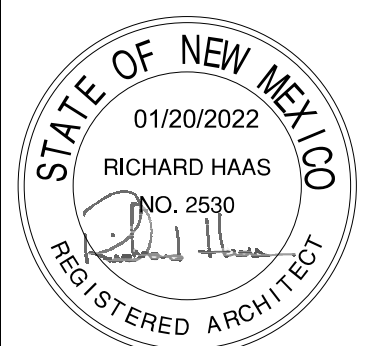
CITY OF ALAMOGORDO  
RE-ROOFS - MULTIPLE SITES  
DESERT LAKES GOLF COURSE  
2351 HAMILTON RD, ALAMOGORDO, NM  
88310

Mark	Date	Description
01/20/2022	95% CONSTRUCTION DOCUMENTS	



DESERT PEAK ARCHITECTS P.C.  
311 N MAIN STREET  
LAS CRUCES  
NEW MEXICO 88001  
P. 575.528.0022

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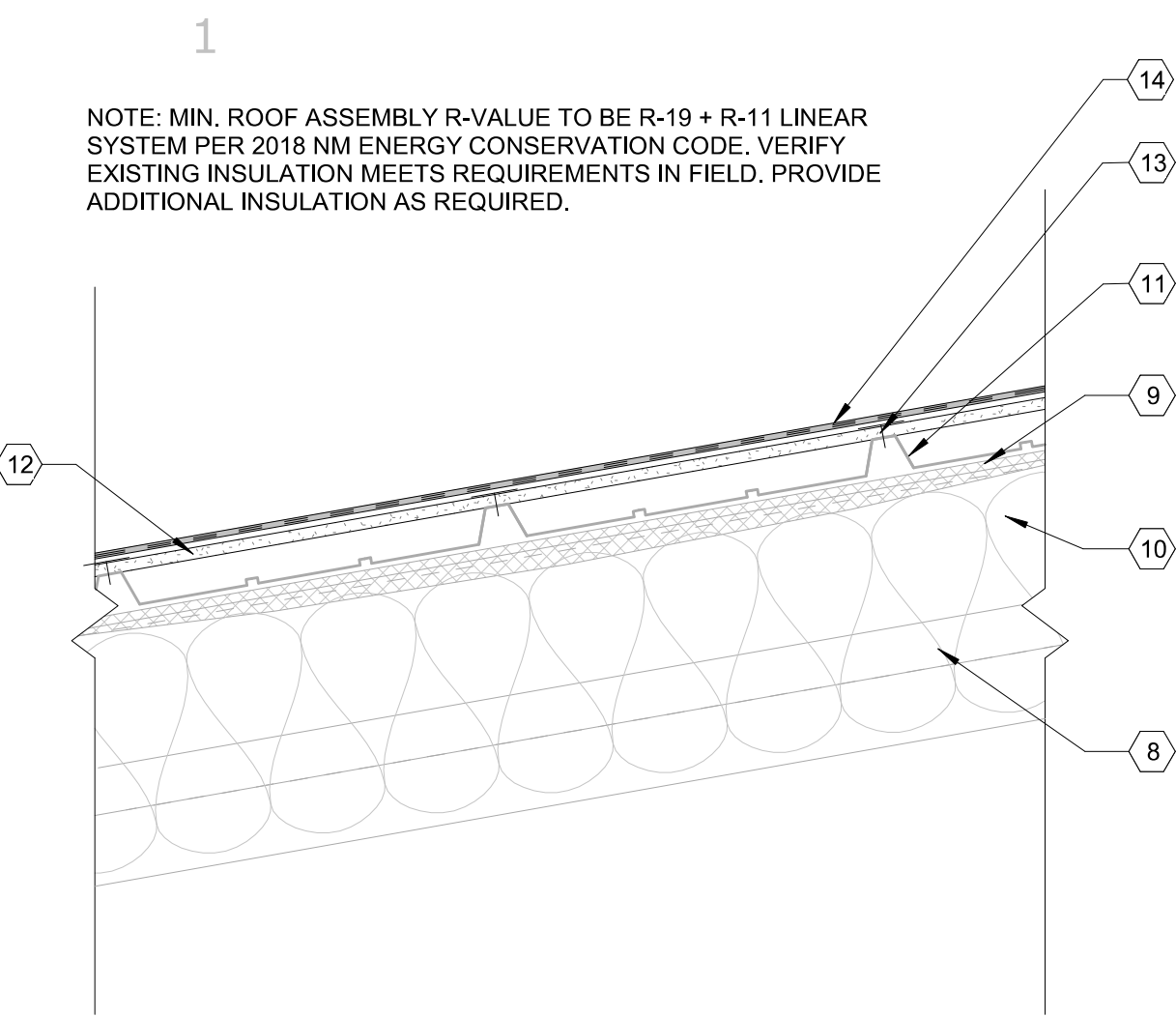


PROJECT NO.  
450-02

SHEET TITLE  
ROOF PLAN - BASE  
BID

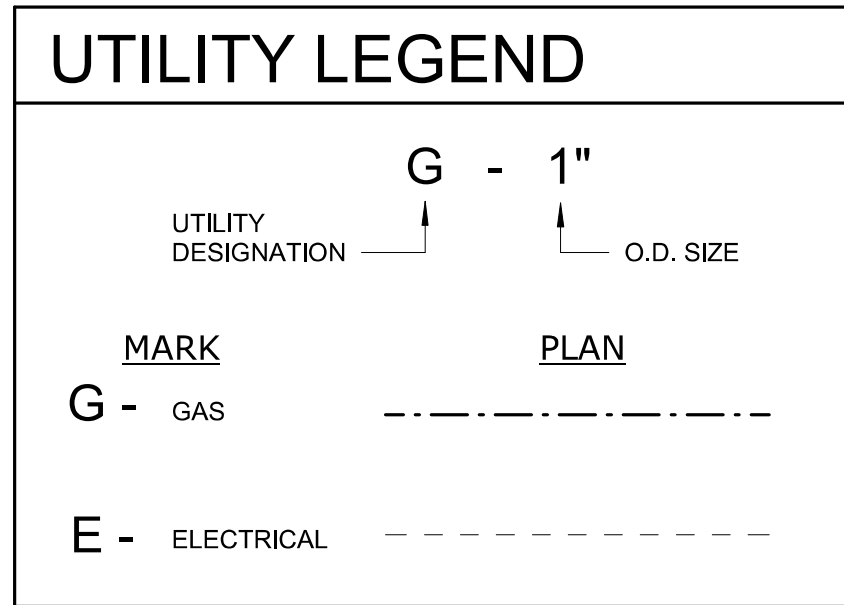
SHEET NO.

A130



D1  
A131

ROOF TYPE B SECTION DETAIL  
1 1/2" = 1'-0"

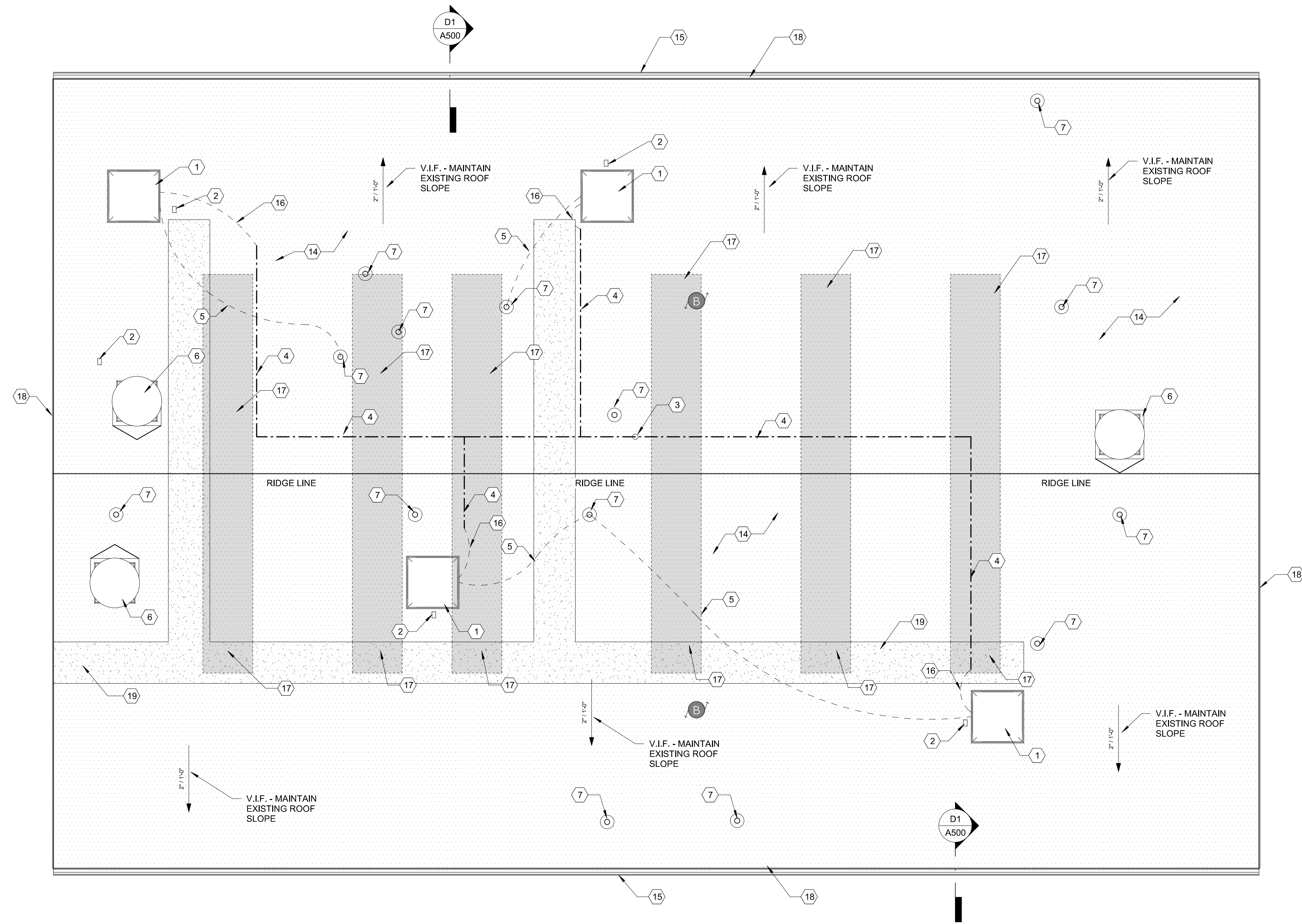


## GENERAL NOTES

- THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY.
- GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXTENT OF PLUMBING/MECHANICAL ROOF EQUIPMENT AND PENETRATIONS AFFECTED BY NEW ROOF INSTALLATION.
- ALL ROOF PENETRATION AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURER'S WARRANTY.
- PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL DOUBLE-SLOPE OF THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW CONSTRUCTION ARE SHOWN FOR INTENT AND ARE NOT TO SCALE. REFER TO THE NRCA ROOFING MANUAL, CURRENT EDITION.
- ALL ROOF AND WALL PANEL TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
- CONTRACTOR TO RE-INSTALL AND RECONNECT ALL UTILITIES REMOVED FOR NEW ROOFING INSTALLATION. VERIFY WORKING CONDITION OF ALL UTILITIES WITH OWNER FOLLOWING REINSTALLATION.
- ALL ROOFING GAS UTILITY LINES ARE TO BE PAINTED YELLOW IN NEW WORK.

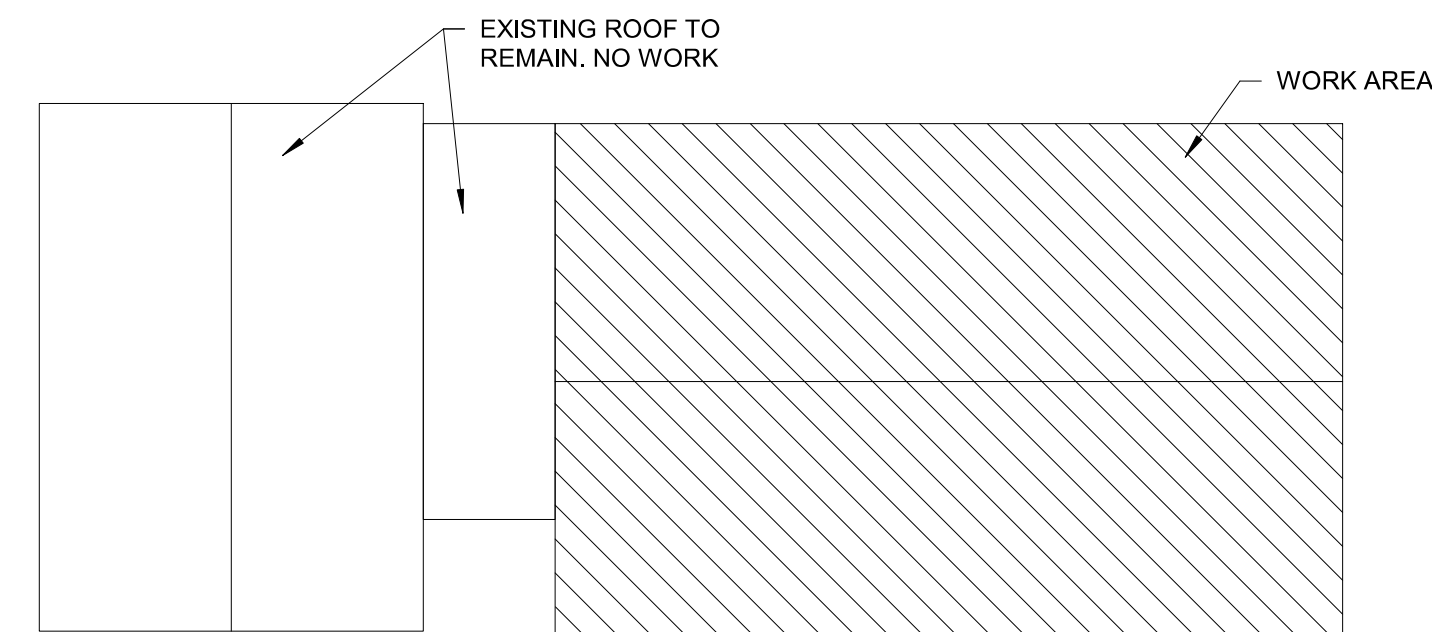
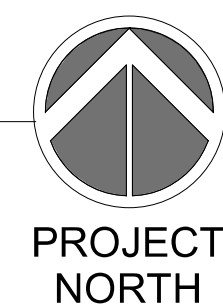
## KEYNOTE LEGEND

1	RE-INSTALL EXISTING EVAPORATIVE COOLER IN SAME LOCATION FOLLOWING NEW ROOFING SYSTEM INSTALLATION. PROVIDE NEW ROOF CURB, BLEED LINE AND FLEXIBLE WATER CONNECTION LINE.
2	PROVIDE AND INSTALL NEW FLASHING MEMBRANE OVER EXISTING CONDUIT PENETRATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
3	PROVIDE AND INSTALL NEW FLASHING MEMBRANE OVER EXISTING WATER PIPING PENETRATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
4	RE-INSTALL EXISTING WATER UTILITY LINES IN SAME LOCATION. PROVIDE NEW ROLLER BEARING PIPE SUPPORTS. REFER TO DETAIL. PRIME AND PAINT RIGID PIPING.
5	PROVIDE AND INSTALL NEW POLY BLEED LINE FROM EXISTING EVAPORATIVE COOLER TO EXISTING SEWER VENT PIPE PENETRATION AS SHOWN.
6	INSTALL MEMBRANE ROOFING OVER EXISTING EXHAUST VENTILATOR CURB. FLASH AS REQUIRED - REFER TO DETAIL. RE-INSTALL EXISTING EXHAUST VENTILATOR. CONFIRM WORKING CONDITION OF UNIT WITH OWNER'S REPRESENTATION FOLLOWING RE-INSTALLATION.
7	INSTALL NEW PIPE BOOT AT EXISTING ROOF VENT. REFER TO DETAIL
8	EXISTING VINYL FACED METAL BUILDING TO REMAIN.
9	EXISTING METAL BUILDING CONTINUOUS BLANKET INSULATION TO REMAIN.
10	EXISTING METAL BUILDING PERLIN TO REMAIN.
11	EXISTING METAL ROOF PANELS TO REMAIN. CONTRACTOR TO PROVIDE A COST PER SQUARE FOOT FOR REMOVAL AND REPLACEMENT OF EXISTING METAL ROOF PANELS SHOULD EXISTING PANELS BE FOUND TO BE AN UNSUITABLE SUBSTRATE FOR NEW ROOFING SYSTEM INSTALLATION.
12	1/2" COVER BOARD - DENSDECK OR APPROVED EQUAL, MECHANICALLY FASTEN TO DECK PER MANUFACTURER'S RECOMMENDATIONS.
13	FASTENER - INSTALL PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
14	THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE, FULLY ADHERED - 60 MIL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
15	EXISTING GUTTER TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE AND INSTALL NEW GALVANIZED STEEL SCREEN ON EXISTING GUTTER.
16	PROVIDE AND INSTALL NEW POLY WATER LINE FROM EXISTING BALL JOINT TO EVAPORATIVE COOLER
17	PROVIDE AND INSTALL NEW PRE-FINISHED METAL R-PANELS WHERE TRANSLUCENT PANELS WERE REMOVED PRIOR TO INSTALLATION OF NEW ROOFING SYSTEM. PROVIDE AND INSTALL NEW VINYL FACED R-19 AND R-11 LINEAR SYSTEM INSULATION BELOW NEW METAL WALL PANELS.
18	PROVIDE AND INSTALL NEW TPO COATED DRIP EDGE PRE-FINISHED FLASHING WITH CONTINUOUS CLEAT, 24 GAUGE, ES-1 TESTED. INSTALL PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
19	WALK PAD.



A1  
A131

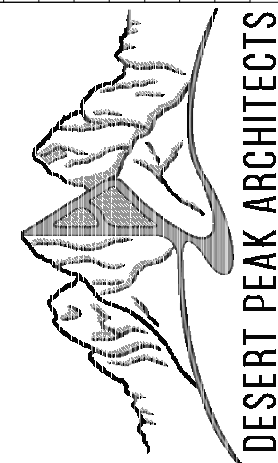
ROOF PLAN - ADDITIVE ALTERNATE #1  
1/4" = 1'-0"



KEY PLAN  
1/4" = 1'-0"

CITY OF ALAMOGORDO  
RE-ROOFS - MULTIPLE SITES  
ALAMOGORDO ANIMAL SHELTER  
2910 NORTH FLORIDA AVENUE  
ALAMOGORDO, NM 88310

Mark	Date	Description
01/20/2022	01/20/2022	95% CONSTRUCTION DOCUMENTS



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PROJECT NO.  
450-02

SHEET TITLE  
ROOF PLAN -  
ADDITIVE  
ALTERNATE #1

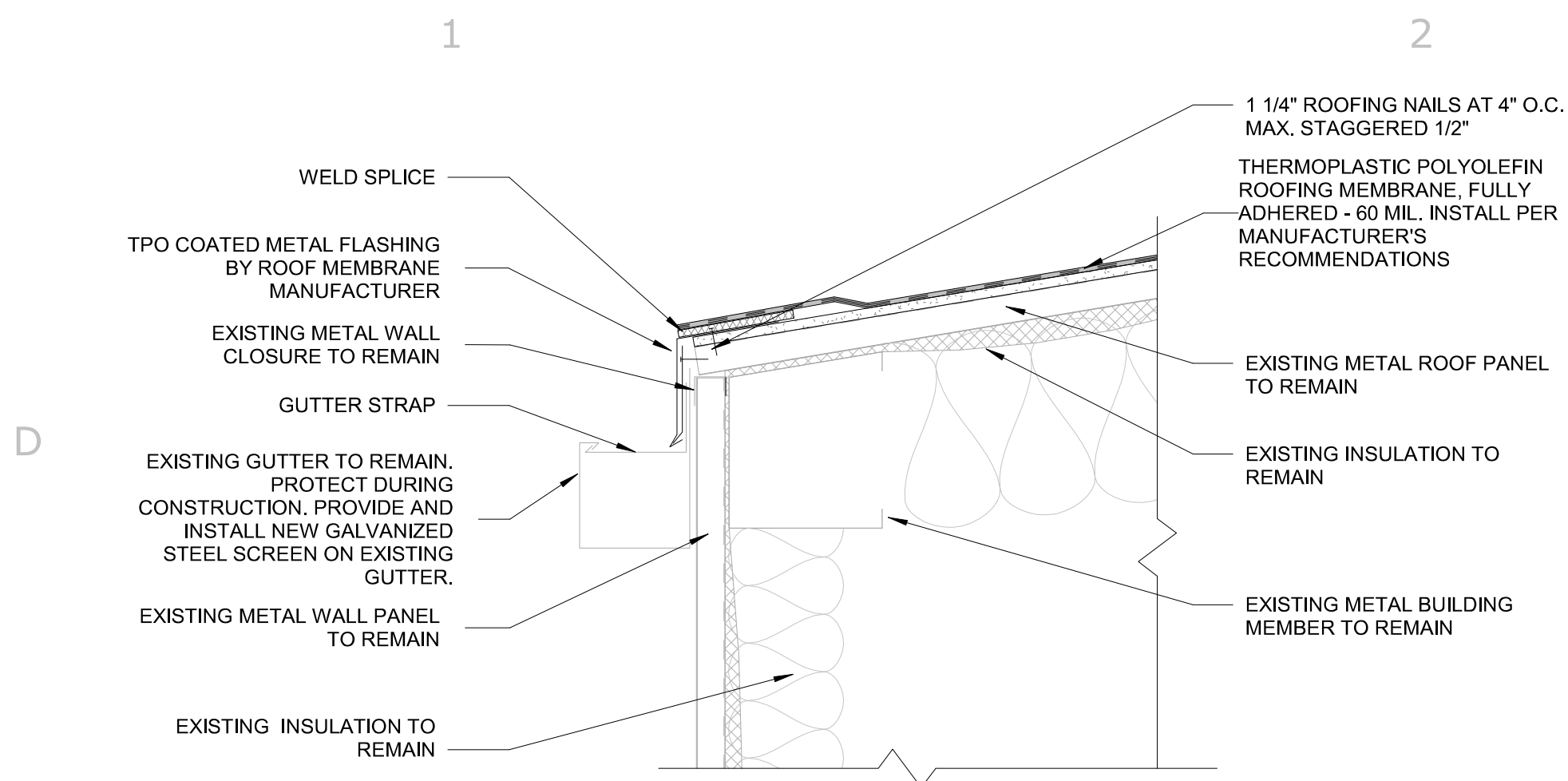
SHEET NO.

A131

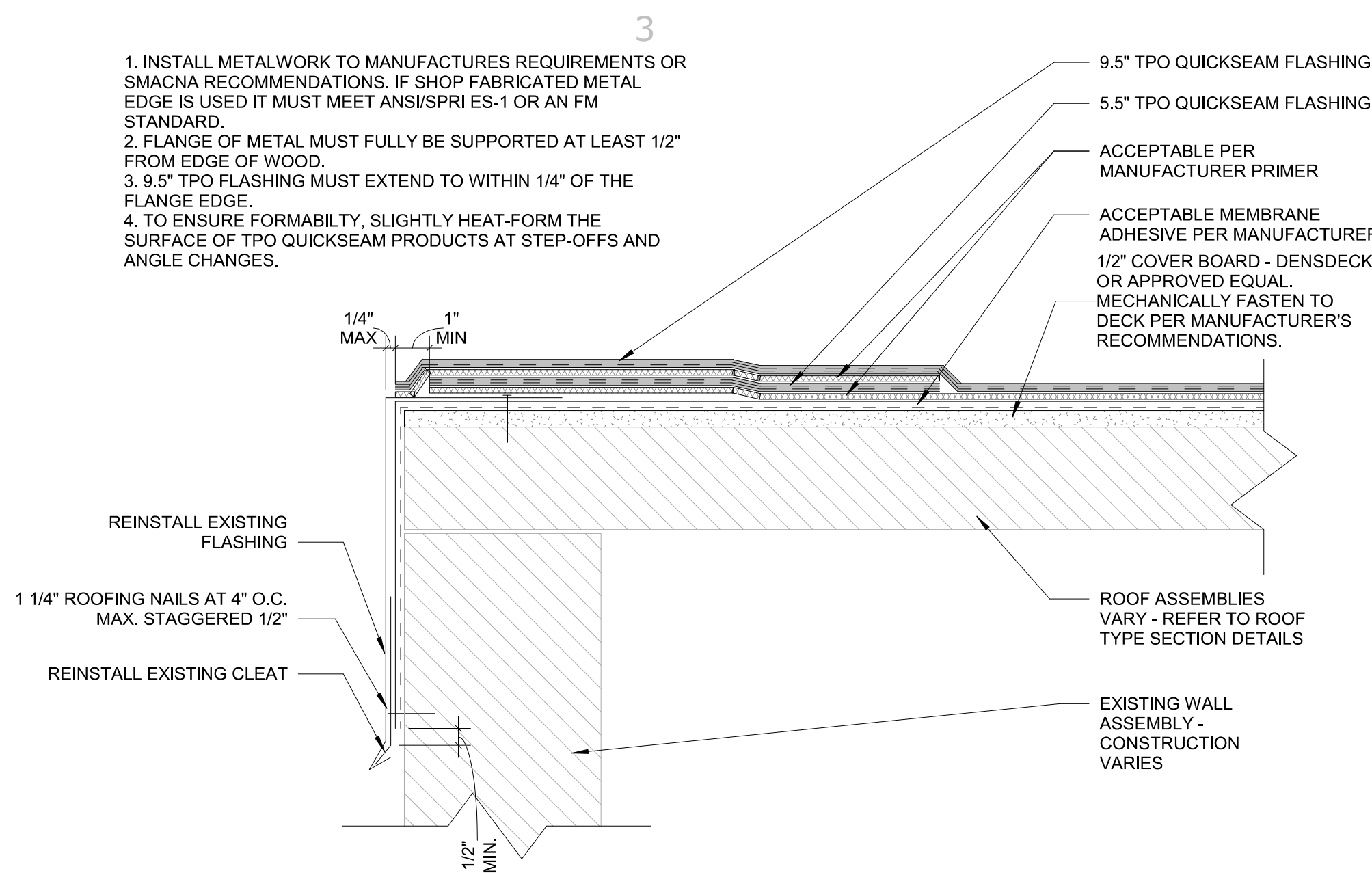


# A132

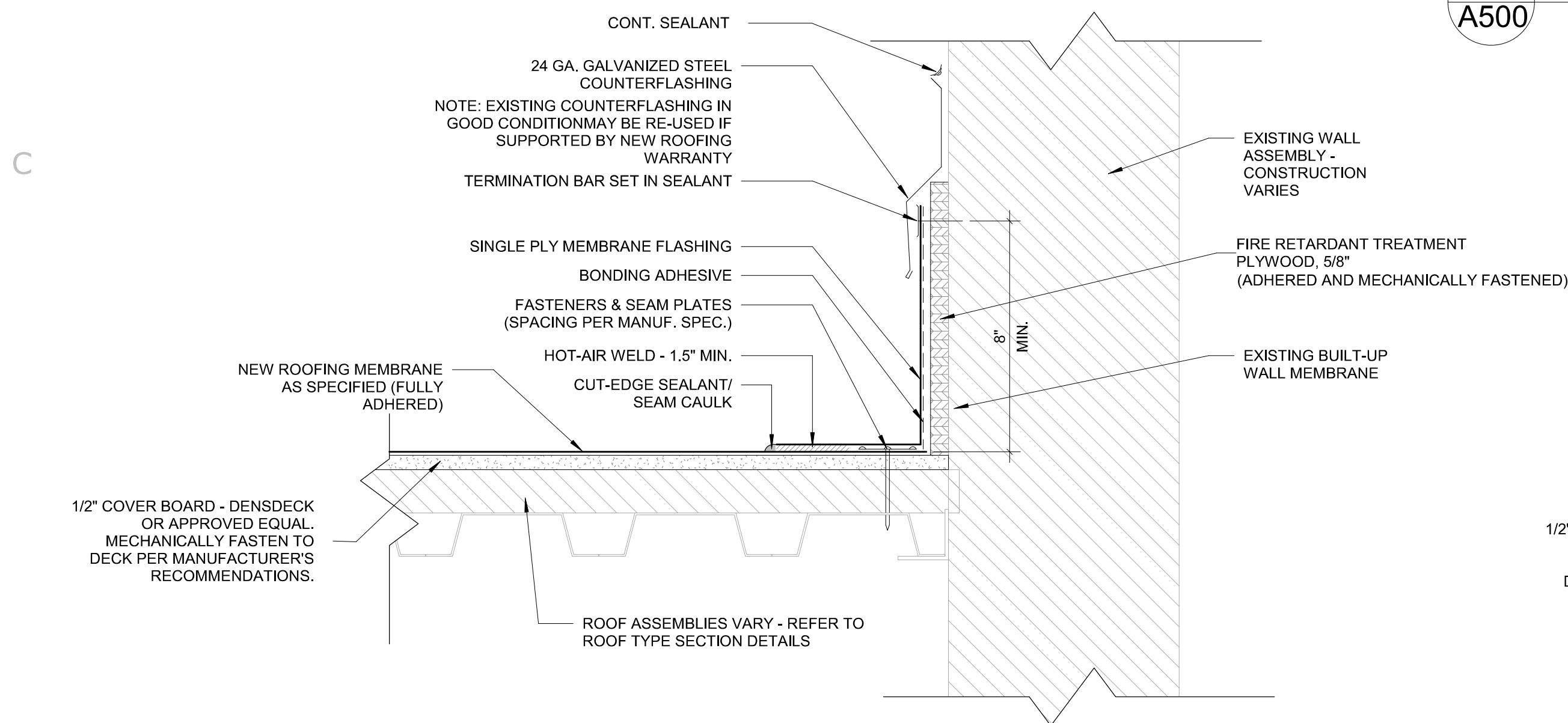




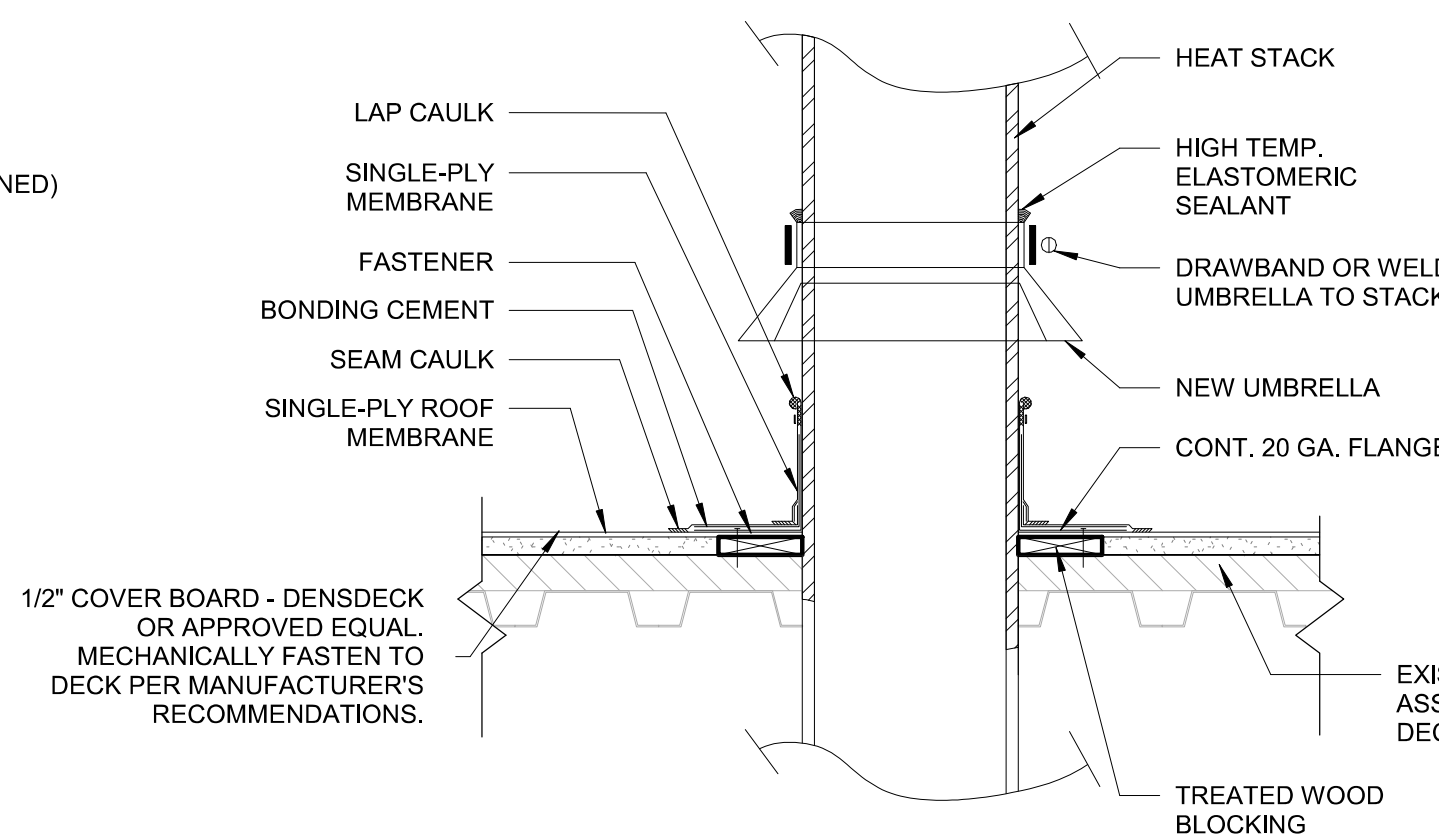
**D1**  
**A500** EAVE FLASHING DETAIL - ANIMAL SHELTER  
1 1/2" = 1'-0"



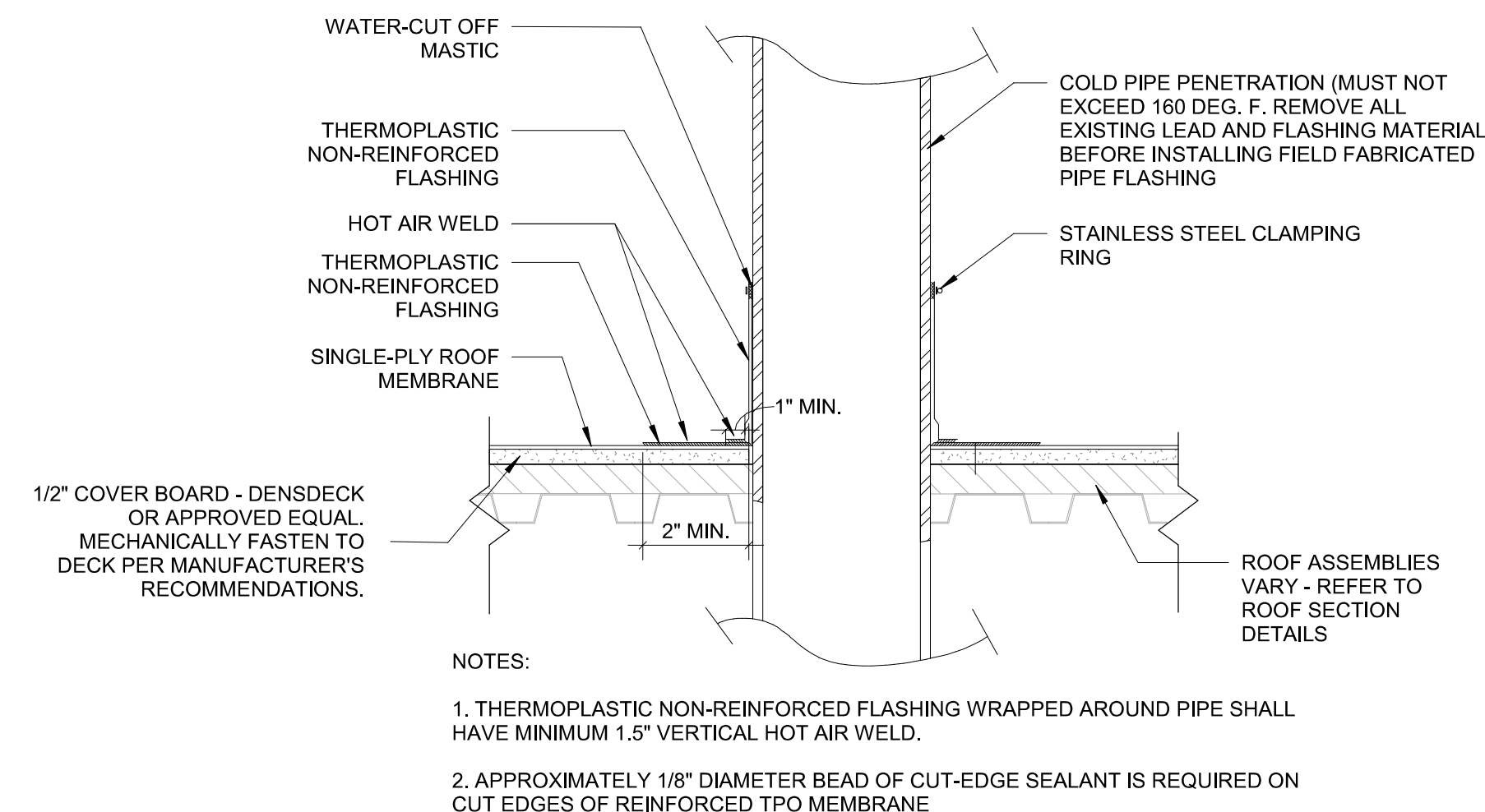
**D3**  
**A500** ROOF FLASHING DETAIL - GOLF COURSE  
3" = 1'-0"



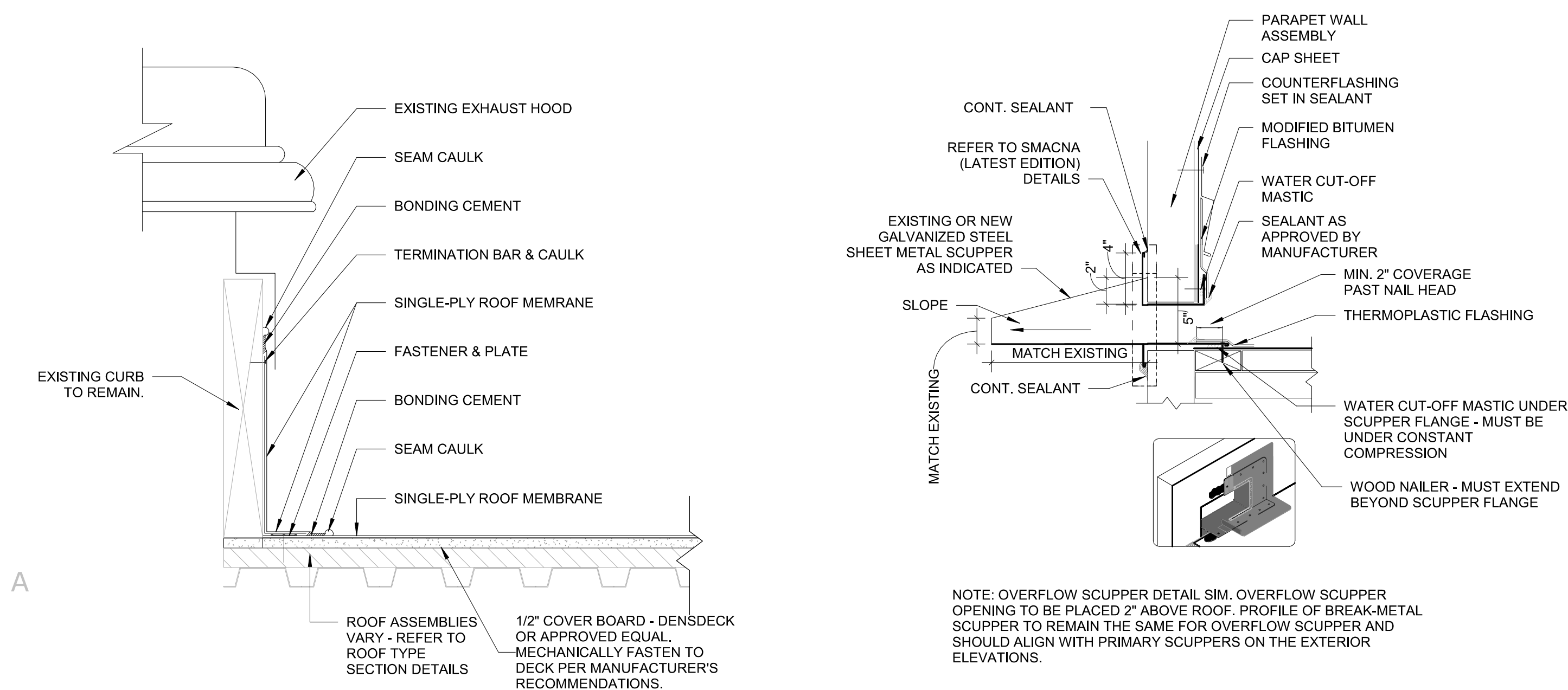
**B1**  
**A500** ROOF TRANSITION DETAIL  
3" = 1'-0"



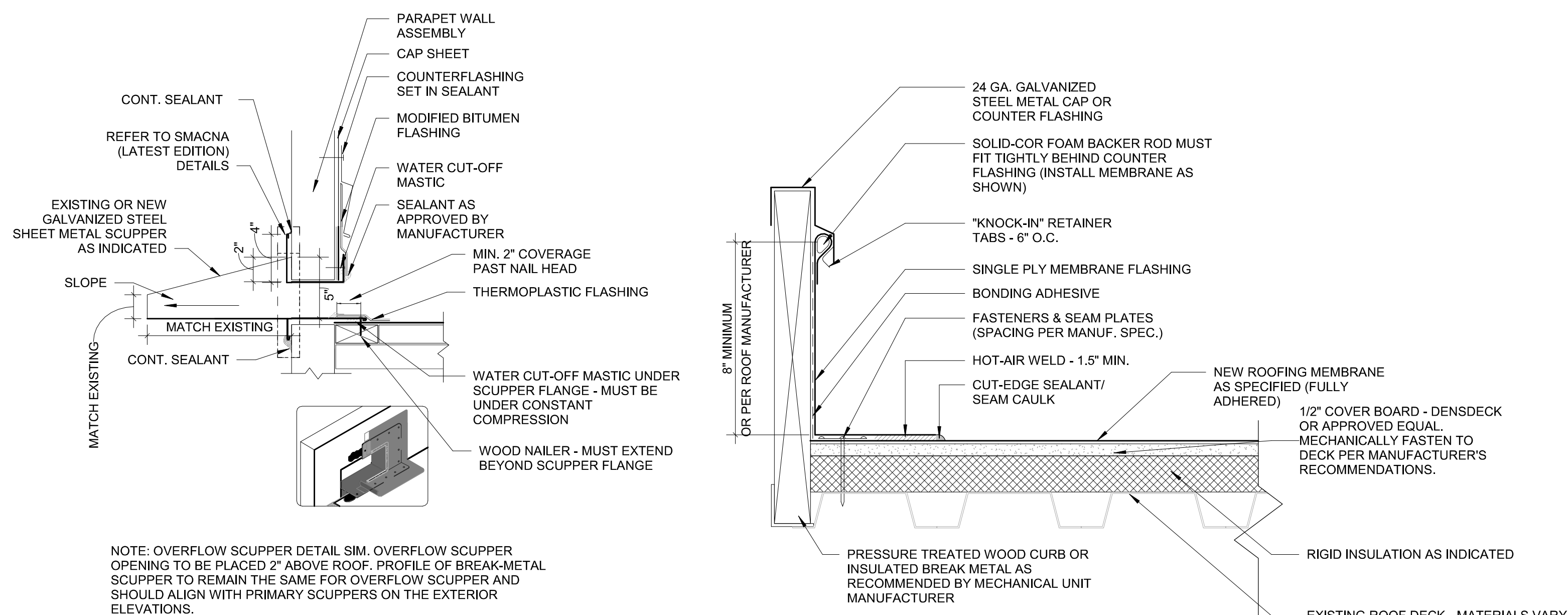
**C3**  
**A500** HEATED VENT STACK PENETRATION DETAIL  
1 1/2" = 1'-0"



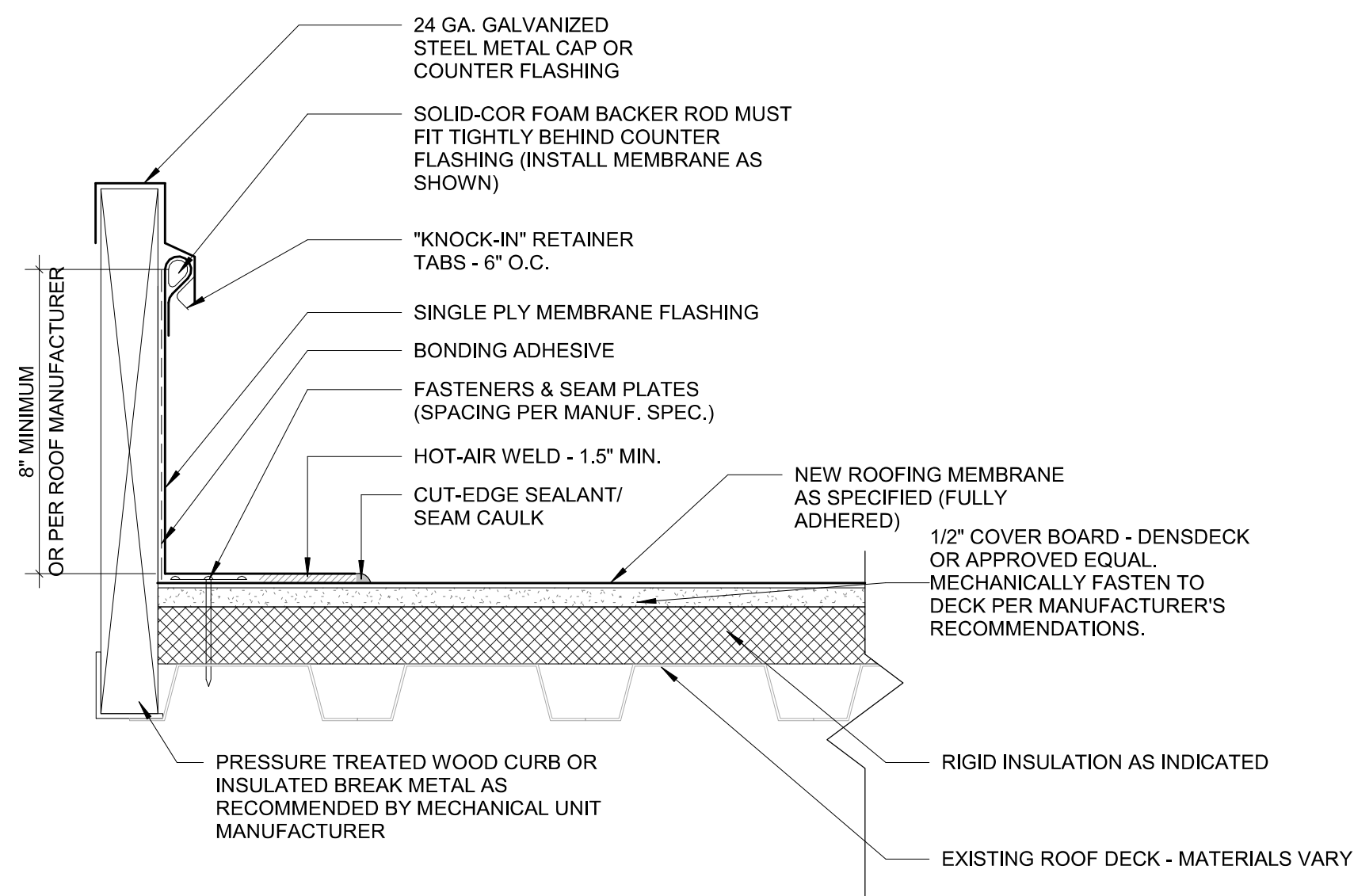
**B5**  
**A500** COLD PIPE PENETRATION DETAIL  
1 1/2" = 1'-0"



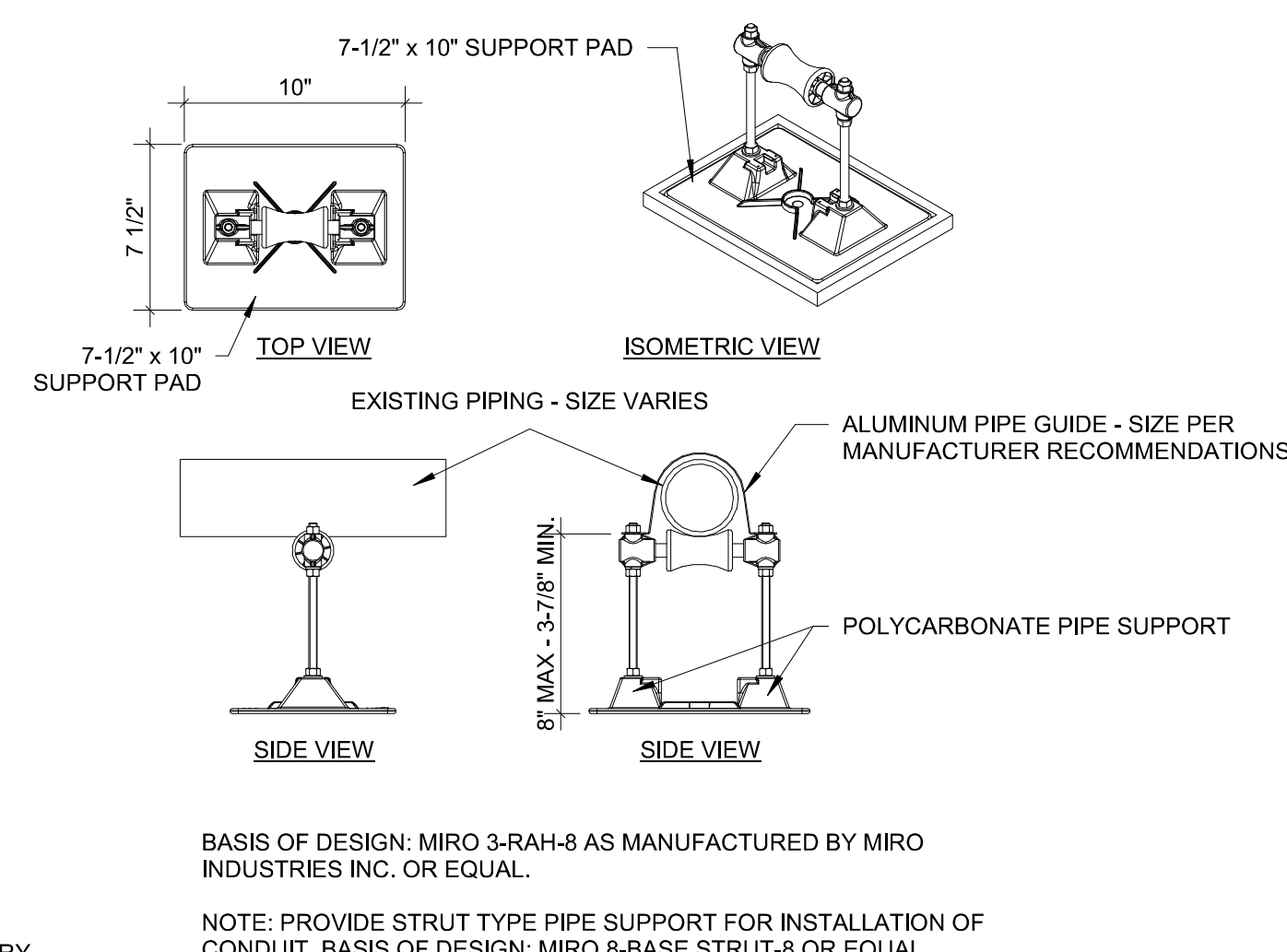
**A1**  
**A500** EXHAUST CURB DETAIL  
1 1/2" = 1'-0"



**A2**  
**A500** SCUPPER DETAIL  
1 1/2" = 1'-0"

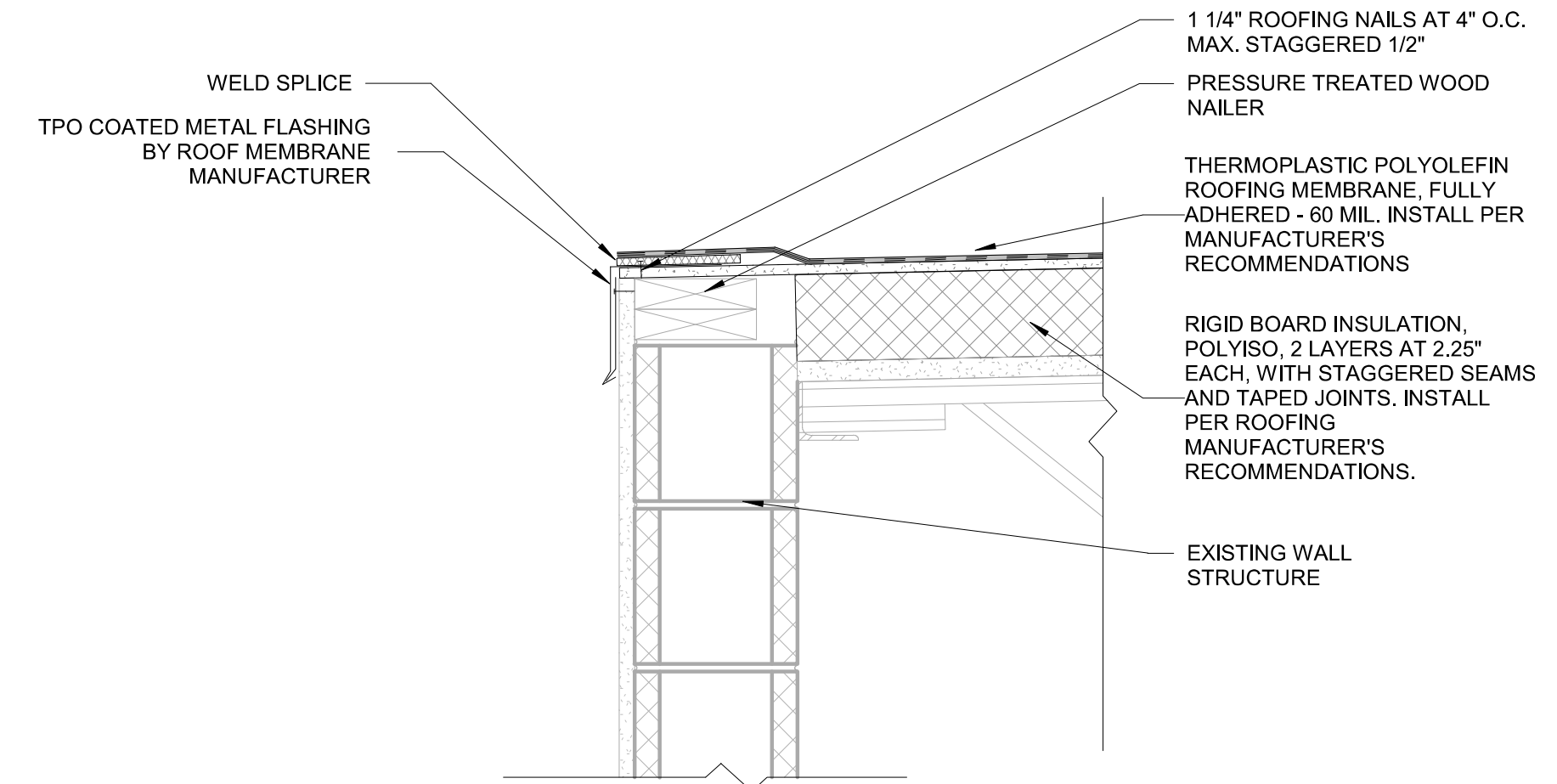


**A4**  
**A500** RTU CURB DETAIL  
3" = 1'-0"



**A5**  
**A500** ROLLER BEARING PIPE SUPPORT  
1 1/2" = 1'-0"

5



D4	EAVE FLASHING DETAIL - POLICE DEPARTMENT
A510	1 1/2" = 1'-0"



# A510