

**NOTICE TO PROPOSERS****ADDENDUM NO. 02****April 17, 2020****Project: Albuquerque Public Schools DATA Charter High School Reroof**

1011 Lamberton Pl NE  
 Albuquerque NM 87107

This Addendum forms a part of the Contract Documents and modifies the 100% Construction Documents dated **April 6, 2020** noted below. The following changes, additions, and deletions shall be made. All other conditions shall remain the same. Receipt of this Addendum shall be acknowledged. Failure to do so may subject the Bidder to disqualification. This Addendum consists of **6** summary pages, **0** Pre Bid Sign in Sheet, **0** pages of Specifications, **0** pages of Revision Sketches, **1** RFP bid form, and **1** full size Drawings.

**Instruction to Bidders:****PRIOR APPROVALS:**

The following manufacturers have been approved as acceptable equals to those specified, provided that the proposed items are in accordance with the function, material, physical size and meet the design intent specified. Contract requirements are not waived by these prior approvals and it shall be the responsibility of the Contractor to verify that these products are in accordance with the Drawings and Specifications prior to including them in his/her bid. The items submitted for prior approval have only been reviewed for general conformance since complete and detailed submittals have not been made at this time. The Architect is not responsible for detailing or performance.

- None

**GENERAL:**

1. **Question:** Is it possible submit a modified coping profile to prevent oil canning?

**Answer: Price per the drawings for bid.**

2. **Question:** Will the insulation on the roof that separates the courtyards be thicker to accommodate the expansion joint detail?

**Answer: Yes, it will be thicker.**

3. **Question:** Can the downspouts be eliminated at scuppers?

**Answer: Yes**

4. **Question:** Can we get access to the building's roof?

**Answer: Yes, Contact Ben Harris for coordination. School will be open Mon-Thur from 8am – 3pm.**

5. **Question:** What are the existing parapet heights?

**Answer:** See attached for revised roof plan sheet, A-131.

6. **Question:** Do the stucco have to be patched to match existing at scuppers in stucco wall?

**Answer:** Stucco to be patched appropriately and patch color coated to match existing

7. **Question:** Is there a wind speed requirement?

**Answer:** Only requirement is to meet manufactures requirements for warranty on the roof.

8. **Question:** Do you need a GB98 to win this job?

**Answer:** No

9. **Question:** Are there any additional inspections on the roof required?

**Answer:** Only additional inspections would be those required by manufacturer.

10. **Question:** Bid proposal for lump sum form in the paragraph under the Construction of APS Data Charter school reroof, states "proposal for the construction of Rio Grande HS Gymnasium project # 394"

**Answer:** See attached revised Lump Sum Form

11. **Question:** A core was taken at the ridge of the cricket area, which showed Cap sheet over 2 -3 plies over 1.5" wood fiber board over metal B deck, can the crickets at drain areas be eliminated? A sump at drain areas I believe should drain water to drains. Attached is a photo of core location & core.

**Answer:** No this is not acceptable.

12. **Question:** At location of roof core the decking was covered with surface rust, are we to address the surface rust on deck? If so what is your procedure for addressing these conditions?

**Answer:** We will approach as if no replacement or patching of metal deck will be required. If it is found to be necessary in areas we will work with the contractor during construction and negotiate a fair price through MCR/Change Order.

13. **Question:** If rusted decking is encountered and must be replaced there is no place to list deck replacement on the bid form, can we add a line item for square foot cost for deck replacement on our bid form?

**Answer:** See question 12

14. **Question:** Is it possible to extend bid due date a couple of days?

**Answer: No**

15. **Question:** I was talking with my Electrician about the transformers on the roof which currently there are 3, He is telling me typically with transformers there is no additional wire in the conduit, if conduits need to be extended, then all new wiring will have to be run! In this case we may be ok, as they are 12" – 14" off the roof surface however the transformer on the west side may have a conduit that may not be tall enough to flash, The concern is the cost involved in running new wiring for transformers and basically shutting down power to parts or all of the building for a few days to accomplish this task, we have previously gotten approval from roofing manufacturer to have 3" flashing on conduits, as it was Existing conditions that we were dealing with. Will the school district be ok with an approval from manufacturer for this type of condition, if conduits can't be raised?

**Answer: Yes, we would allow a deviation from the 8" requirement with written manufacturer approval that this is a warrantable condition.**

16. **Question:** There are existing wood sleepers under the transformers that are also being used for securing the electrical panel, Does APS want to go back with wood sleepers under the transformers, or should an angle iron stand with round pipe legs be fabricated and installed under transformers?

**Answer: All equipment will get new curbs. See new roof plan sheet general notes.**

17. **Question:** Specs are calling out to replace existing HVAC curbs with new, I believe this is specified to accommodate height of new roof system, if that is so can we extend the top of existing curb in lieu of replacing curbs?

**Answer: No this is not acceptable due to the unknown condition of curbs.**

18. **Question:** There is structural slope in the deck and the only tapered insulation to be provided is at crickets and saddles.

**Answer: We cannot confirm this. There may be conditions where additional insulation is required for tapering.**

19. **Question:** Due to confusion between drawings and specifications, please Confirm the roof assembly to be as follows:

- Existing Metal Deck
- 1/2" Densdeck Substrate board
- Vapor barrier
- 6" Polyiso Insulation (or R-38?)
- Tapered insulation crickets
- 1/2" Dens deck Coverboard
- *All Material Above to Be Mechanically Fastened to Deck*

- 80mil TPO adhered to insulation assembly (FLEECEBACK OR BAREBACK?)

**Answer:**

- Existing Metal Deck
- 6" PolyIso Insulation
- Tapered Insulation crickets
- Vapor Barrier
- ½" dens deck coverboard
- 80mil TPO fabric backed adhesively attached to Densdeck coverboard

20. **Question:** Detail D1 – D4 / A-301 shows the face of the coping to be up to 2'. That does not meet the standards for ES-1. This would normally be done with a Fascia panel and a coping over the top of the fascia panel. Is this acceptable?

**Answer: Yes**

21. **Question:** On sheet A-131 the Roof Legend items M1-M4 call for "Install new prefabricated curb to match existing by Thybar." If the existing curbs are serviceable, can they be reused? Or are you requiring New Curbs at all units?

**Answer: New curbs are required at all units.**

22. **Question:** Can Presto-Tite Edge One or Sim be used in substitution of the design intent? Will the Design Professional and Owner Consider this approach either pre-bid or Post Award as a deductive Change Order Request?

**Answer: This assembly will not be considered in substitution for the bid.**

23. **Question:** Will the Record Drawings be available prior to Bid?

**Answer: The only drawings we have are the existing structural drawings and those are provided as part of the construction documents.**

24. **Question:** Is the Core Report available and will it be published prior to bid?

**Answer: No**

25. **Question:** Will the project be seeking LEED or Sustainable Design designations?

**Answer: No**

26. **Question:** Is a Fabric Backed (Fleece) membrane required?

**Answer: Yes**

27. **Question:** If there are no LEED or Sustainable Design Requirements, may a Standard Bonding Adhesive be utilized?

**Answer: Bonding Adhesive per specifications**

28. **Question:** 07 54 23 Part 2 Products 2.4 Vapor Retarder is called in the specification as a 6 mil Polyethylene sheet. 07 54 23 Part 3 Execution indicates Substrate Board (3.3) to be installed direct to Metal Decking with Vapor Retarder (3.4) to be installed over the Substrate Board. This is a conflict with the Assembly indicated on the Roof Plan and indicated in the Detail Drawings. Is the Substrate Board and Vapor Retarder required as part of the Assembly?

**Answer: See question 19**

29. **Question:** 07 54 23 Part 2 Products 2.3 Substrate Boards are called in the specification as ½” Gypsum Product. Roof plan and detail indicate a Cover Board or “Recovery Board”. Is a Cover or “Recovery Board” required as part of the Assembly?

**Answer: A cover board, ½” per specification**

30. **Question:** Will a Walkpad Layout be provided prior to Bid? Walkpad is highly encouraged on Single Ply Membranes and Walkways are indicated in the Specification.

**Answer: See attached for revised roof plan sheet, A-131.**

31. **Question:** If no walkpad layout is provided, can the Design Professional provide an Allowance Lineal Footage for bidding purposes?

**Answer: See answer to 30.**

32. **Question:** 07 71 00 Roof Specialties Copings, Roof Edge Drainage Systems, Parapet Scuppers, Conductor Heads, Reglets/Counterflashings from Roofing Manufacturer to be included in 07 54 23 Warranty. These products are not sourced locally and can have extended lead times, are subject to transit damage requiring re-order and added delays. Can the indicated items be procured under 07 62 00 Sheet Metal Flashing and Trim and subsequently be sourced locally?

**Answer: Yes**

33. **Question:** Can the finish requirement of a Three-Coat fluoropolymer finish for Copings, Downspouts, Scuppers, Conductor Heads and Splash Pans be amended to reflect a Standard or Two-Coat finish meeting the performance and warranty requirements?

**Answer: Yes**

34. **Question:** Can 24ga, Pre-finish Steel be utilized in lieu of Aluminum as indicated?

**Answer: 22 ga, pre-finish steel can be utilized in lieu of aluminum**

35. Existing Drains and Scuppers are interpreted to be raised to accommodate new insulation thicknesses. Overflow Scuppers will require cutting (coring) of Pre-cast Concrete Perimeter Walls to raise. Process will be costly and time consuming. Patchwork below new Scupper level will be required. Utilizing Sumps in combination with Under-Deck Insulation (Batt or Spray Foam) may achieve the same result thermally while maintaining current Scupper heights precluding the need to Cut and Patch the Concrete Tilt-up panels. Will the Design Professional and Owner Consider this approach either pre-bid or Post Award as a potentially deductive Change Order Request?

**Answer: No this option will not be considered.**

36. **Question:** Section 01 2301 #3.1 states there are 2 Bid lots is this an accurate statement?

**Answer: Omit Section 012301 in its entirety.**

37. **Question:** Section 01 8627 "Turn-key Photovoltaics", There is no solar panel installation on this project correct?

**Answer: That is correct, there are no photovoltaic panels. Omit Section 018627 in its entirety.**

38. **Question:** Section 01 9310 "Post warranty & 3 Year maintenance" Does this apply to this project?

**Answer: No. Omit Section 019310 in its entirety.**

39. **Question:** Section 01 9100 "General Commissioning Requirements" Does this spec section apply to this project?

**Answer: No**

40. **Question:** Listing Form 00 4334 – Appendix 1, DP/AE Estimate of total project cost: 18,144,464.00, please insert proper estimate cost, also there is no concrete or masonry work on this project No subs will be listed for this work!

**Answer: Listing Threshold for the APS DATA Charter School Reroof as on the Listing Form 004334 – Appendix I to read \$5,822.00**

#### **RFP Bid Form:**

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1. BID PROPOSAL FOR LUMP SUM CONTRACT

#### **DRAWINGS:**

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1. A-131 NEW ROOF PLAN

**All other provisions and conditions of the Drawings and Specifications remain unchanged.**

**End of Addendum No. 02**

Cc: APS, File

**BID PROPOSAL FOR LUMP SUM CONTRACT**

Date of Proposal: \_\_\_\_\_

New Mexico State Contractor's License No. \_\_\_\_\_

License Classifications: \_\_\_\_\_

Resident Contractor's Preference Certificate No. \_\_\_\_\_

Veteran Resident Contractor Preference Certificate No. \_\_\_\_\_

Percent of preference qualified for: \_\_\_\_\_ (10%).

NOTE: Attach a copy of the valid certificate and documentation to validate percent preference.

NM DOL (Workforce Solutions) Certificate No. \_\_\_\_\_

Contractor's New Mexico Gross Receipts Tax No. \_\_\_\_\_

Contractor's Federal Employee Identification No. \_\_\_\_\_

**FD+C Project No. 393**

**Project Name: APS Data Charter School Reroof**

Proposal of (company name): \_\_\_\_\_

(Hereinafter called the "Offeror") organized and existing under the laws of the State of New Mexico, doing business as a Corporation, Partnership or Individual. (Circle correct one).

To: Board of Education  
Albuquerque Municipal School District Number 12  
Bernalillo and Sandoval Counties, New Mexico (hereinafter called "APS") for:

The construction of APS Data Charter School Reroof

The undersigned, as an authorized representative for the Offeror named above, in compliance with the Request for Proposals for the construction of a APS Data Charter School Reroof FD+C Project No. 393 having examined the drawings and specifications, with related documents, and having examined the site of the proposed work, and being familiar with all of the conditions surrounding the construction of the proposed project, including the availability of labor, materials and supplies, hereby proposes to furnish all labor, materials and supplies, and to construct the project in accordance with the contract documents at the bids stated below. These bids are to cover all expenses incurred in performing the work required under the contract documents, of which this proposal is a part.

The undersigned Offeror's representative also acknowledges receipt of the following Addenda:

Addendum No: \_\_\_\_, dated \_\_\_\_\_, Addendum No: \_\_\_\_, dated \_\_\_\_\_

Addendum No: \_\_\_\_, dated \_\_\_\_\_, Addendum No: \_\_\_\_, dated \_\_\_\_\_

The following information is required for state reporting purposes only and will not be used in evaluating or awarding the contract. Is project material offered grown, produced or wholly manufactured in New Mexico? \_\_\_\_\_ (Yes/No) (Percentage; reference V-B-5 of the RFP)

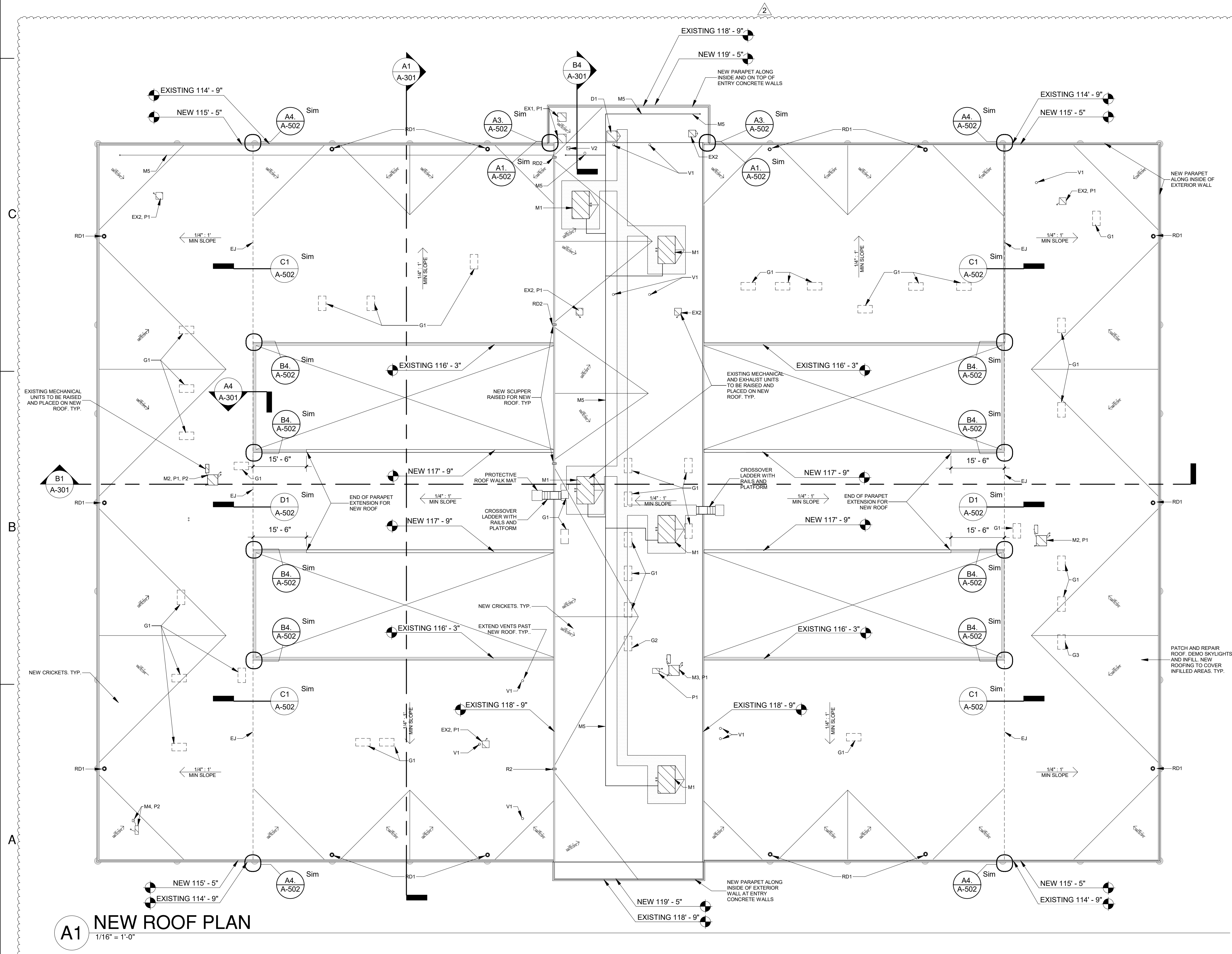
GENERAL NOTES - NEW

- A. INSTALL NEW ROOF SYSTEM TYPICAL ENTIRE ROOF: 80MILL TPO OVER 1/2" RECOVERY BOARD OVER R30 MINIMUM POLYISOCYANURATE BOARD OVER SLOPED STRUCTURE. TAPER INSULATION TO DRAINS.
- B. PROVIDE SPLASH BLOCKS UNDER ALL SCUPPERS THAT DO NOT DRAIN ONTO CONCRETE. SEE DETAIL D3/A501
- C. ALL SCUPPERS IN STEEL STUD/STUCCO AND PRECAST CONCRETE WILL NEED TO BE REBUILT TO ALIGN WITH NEW FINISHED ROOF ELEVATION. PATCH AND REPAIR EXISTING EXTERIOR WALL FINISH TO MATCH EXISTING.

ROOF LEGEND - NEW

- D1 - INSTALL NEW ROOF HATCH AND SAFETY RAILS TO MATCH EXISTING OPENING
- EX1 - REINSTALL EXISTING EXHAUST FAN WITH NEW PREFABRICATED EQUIPMENT CURB BY GREENHECK OR PRIOR APPROVED EQUAL. RECONNECT UNIT AND CONFIRM UNIT IS FUNCTIONING.
- EX2 - REINSTALL EXISTING EXHAUST FAN WITH NEW PREFABRICATED EQUIPMENT CURB BY GREENHECK OR PRIOR APPROVED EQUAL. RECONNECT UNIT AND CONFIRM UNIT IS FUNCTIONING.
- G1 - INSTALL NEW METAL DECK OVER EXISTING SKYLIGHT OPENINGS PER STRUCTURAL. NEW ROOF SYSTEM OVER INFILLED DECK
- G2 - SKYLIGHT OPENINGS PER STRUCTURAL. NEW ROOF SYSTEM OVER INFILLED DECK
- G3 - SKYLIGHT OPENINGS PER STRUCTURAL. NEW ROOF SYSTEM OVER INFILLED DECK
- M1 - INSTALL NEW PREFABRICATED CURB TO MATCH EXISTING BY THYBAR. RECONNECT ALL UTILITIES AND DUCTWORK AND REINSTALL SALVAGED UNIT. PROVIDE ROOF MOUNTED UNITSTRUT FOR ELECTRICAL DISCONNECT. CONFIRM UNIT IS FUNCTIONING
- M2 - EXISTING BY THYBAR. RECONNECT ALL UTILITIES AND DUCTWORK AND REINSTALL SALVAGED UNIT. PROVIDE ROOF MOUNTED UNITSTRUT FOR ELECTRICAL DISCONNECT. CONFIRM UNIT IS FUNCTIONING
- M3 - EXISTING BY THYBAR. RECONNECT ALL UTILITIES AND DUCTWORK AND REINSTALL SALVAGED UNIT. PROVIDE ROOF MOUNTED UNITSTRUT FOR ELECTRICAL DISCONNECT. CONFIRM UNIT IS FUNCTIONING
- M4 - EXISTING BY THYBAR. RECONNECT ALL UTILITIES AND DUCTWORK AND REINSTALL SALVAGED UNIT. PROVIDE ROOF MOUNTED UNITSTRUT FOR ELECTRICAL DISCONNECT. CONFIRM UNIT IS FUNCTIONING
- M5 - RAISE GAS LINE TO NEW ROOF ELEVATION. CONFIRM ALL NEW AND EXISTING JOINTS ARE SEALED. SEE DETAIL B4/A501 FOR TYPICAL MOUNTING
- RD1 - ROOF DRAIN AND SCUPPER. REMOVE EXISTING ROOF DRAIN ASSEMBLY AND PREPARE EXISTING LEADER TO RECEIVE EXTENSION. REMOVE EXISTING SCUPPER AND PREPARE OPENING TO ALIGN WITH NEW ROOF ELEVATION. SEE ROOF DETAILS D1 & B1/A501.
- RD2 - ROOF DRAIN AND SCUPPER. REMOVE EXISTING ROOF DRAIN ASSEMBLY AND PREPARE EXISTING LEADER TO RECEIVE EXTENSION. REMOVE EXISTING SCUPPER AND PREPARE OPENING TO ALIGN WITH NEW ROOF ELEVATION. SEE ROOF DETAILS D1 & B1/A501.
- V1 - INSTALL EXTENSION TO TOP OF EXISTING VENT TO EXTEND A MINIMUM OF 12" ABOVE NEW FINISHED ROOF ELEVATION. SEE DETAIL A1/A501
- V2 - INSTALL EXTENSION TO TOP OF EXISTING VENT TO EXTEND A MINIMUM OF 12" ABOVE NEW FINISHED ROOF ELEVATION. SEE DETAIL A1/A501
- P1 - INSTALL NEW CABLE ROOF PENETRATION PORTAL PLUS 4 OPENINGS OR EQUAL. RERUN CABLE TO REINSTALL RECEIVERS. CONFIRM EQUIPMENT IS FUNCTIONING.
- P2 - INSTALL NEW POWER PENETRATION SLEEVE ROOF FLASHING FOR EXISTING POWER.

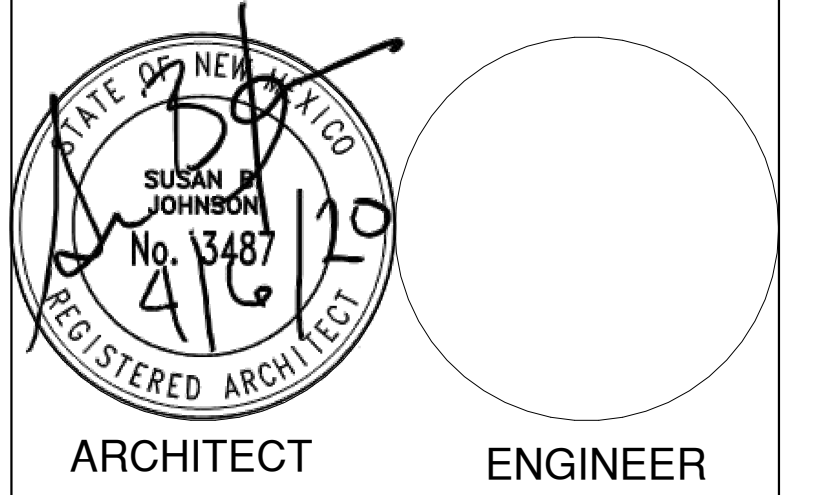
NOTE: SEE PHOTOS SHEET FOR REFERENCE. PICTURED EQUIPMENT IS TYPICAL FOR ALL OTHER EQUIPMENT WITH SAME LABEL.



A1 NEW ROOF PLAN  
1/16" = 1'-0"

CONSULTANT

**STRUCTURAL**  
Walla Engineering Ltd  
6501 Americas Pkwy NE Ste. 302  
Albuquerque, NM 87110  
p\_505.243.9287



APS DATA CHARTER SCHOOL REROOF

1011 Lambertson Pl NE, Albuquerque, NM 87107

100% CONSTRUCTION DOCUMENTS

MARCH 25, 2020

MARK	DATE	DESCRIPTION
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2	4/14/2020	ADDENDUM #2
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ISSUE: MARCH 25, 2020  
 DATE: 4/16/2020 5:47:40 PM  
 PROJECT NO: Project Number  
 BIM FILE:  
 DRAWN BY: Author  
 CHECKED BY: Checker

SHEET TITLE

NEW ROOF PLAN