# REPAIRS TO THE WALT WILLIAMS FILTRATION PLANT

980 CAMERON MILL RD, LAGRANGE, GEORGIA 30240

DRAWING INDEX							
Sheet Number	Sheet Name						
00-G001	COVER SHEET						
00-AG01	ACCESSIBILITY REQUIREMENTS						
00-AG02	GENERAL INFORMATION AND ACCESSIBILITY REQUIREMENTS						
00-AG10	OVERALL FILTER BUILDING SITE PLAN						
00-AG61							
0-AG62 HEAD AND JAMB DETAILS							
49-AD01	FILTER BUILDING DEMOLITION AND NEW - FIRST FLOOR						
9-AD02 FILTER BUILDING DEMOLITION AND NEW - SECOND FLOOR							
9-AD03 FILTER BUILDING DEMOLITION AND NEW - THIRD FLOOR							
49-A120	OVERALL ROOF PLAN						
49-A121	FILTER BUILDING DEMOLITION AND NEW ROOF PLAN - OVERALL						
49-A122	FILTER BUILDING DEMOLITION AND NEW ROOF PLAN - AREA 2						
49-A123	FILTER BUILDING DEMOLITION AND NEW ROOF PLAN - AREA 3						
49-A201	FILTER BUILDING ELEVATIONS						
49-A202	FILTER BUILDING ELEVATIONS						
49-A501	ROOF DETAILS						
49-A502	ROOF DETAILS						
92-AD01	CHEMICAL BUILDING - DEMOLITION FLOOR PLAN						
92-A101	CHEMICAL BUILDING - FLOOR PLAN						
92-A201	CHEMICAL BUILDING ELEVATIONS						
92-A401 CHEMICAL BUILDING STAIRS							
93-AD01	FLOW CONTROL - DEMOLITION AND NEW FLOOR PLAN						
93-A201	FLOW CONTROL BUILDING ELEVATIONS						





1201 Front Avenue // Suite F // Columbus, GA 31901 PHONE (706) 321-4590

**JULY 2022 ISSUED FOR BID** 



**LOCATION MAP** 

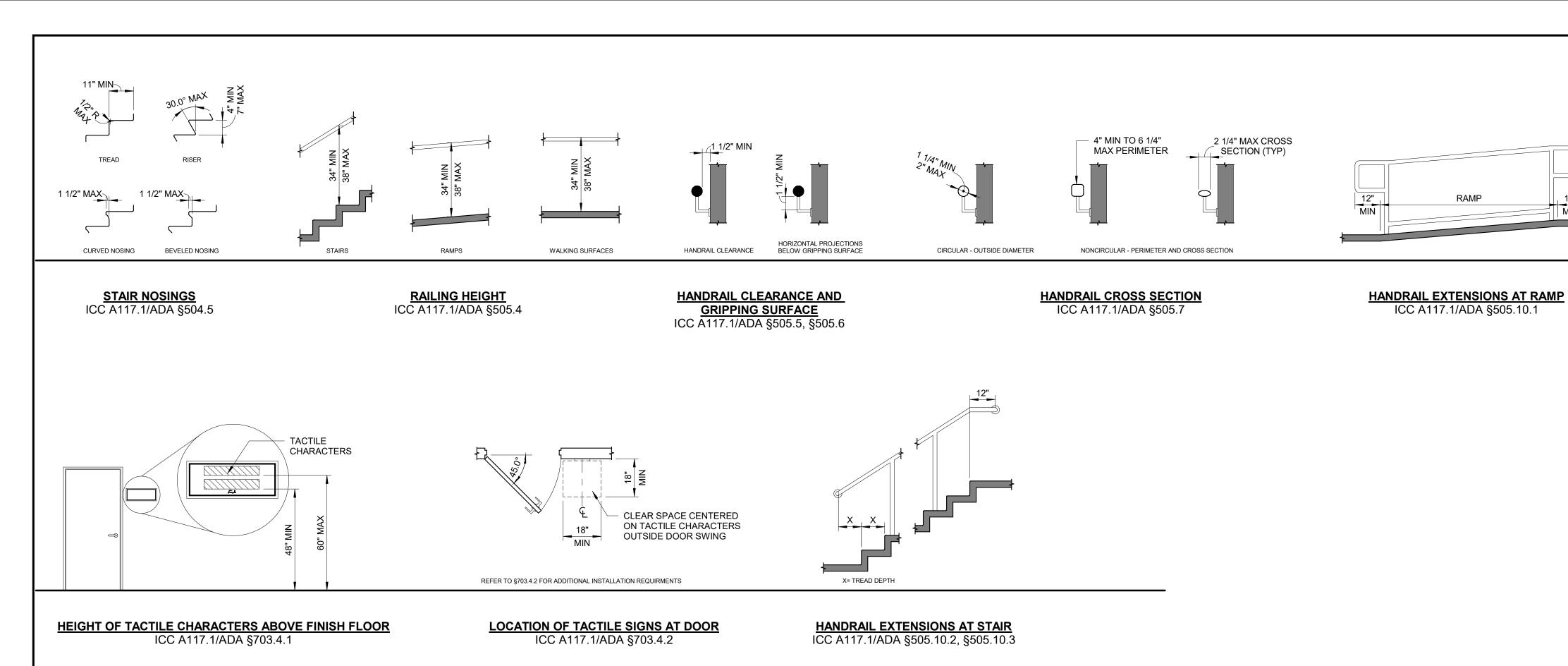


Know what's below. Call before you dig.

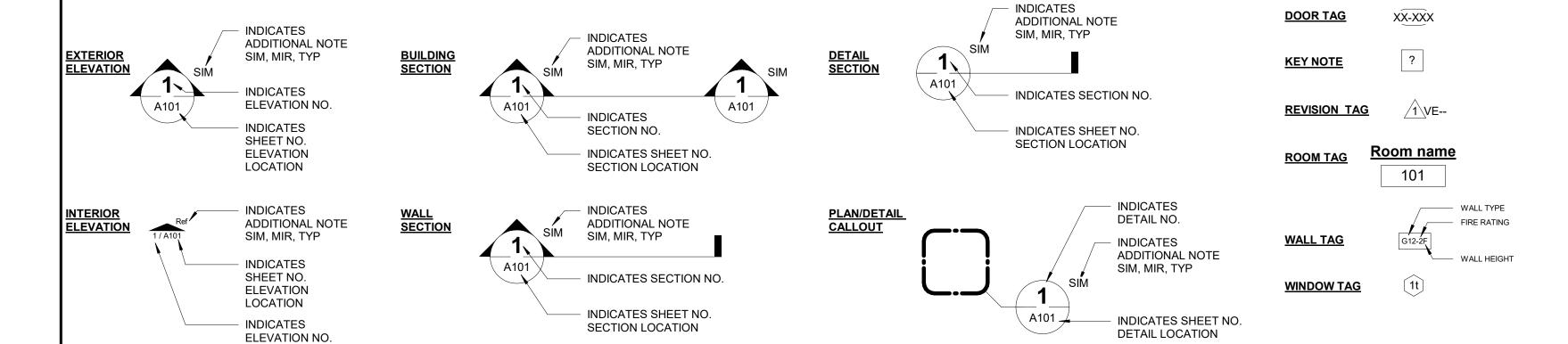
COV

00-G001 FILE NO.: 3643210

© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED



#### **ACCESSIBILITY REQUIREMENTS**



#### ANNOTATION SYMBOL LEGEND

#### **GENERAL PROJECT NOTES**

- A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT, IN A TIMELY MANNER TO AVOID DELAYS, BEFORE CONTINUING WITH CONSTRUCTION.
- B. ALL TYPICAL INTERIOR STUDS TO BE MIN 20 GA BY WIDTH INDICATED ON WALL RATINGS AND TYPES DRAWINGS. GAUGE, FLANGE SIZE, AND SPACING TO BE PER MANUF SPECIFIC LOAD TABLE, BASED ON 5 PSF LATERAL LOAD (UNO), FOR MAX VERT SPAN.
- C. EXTEND ALL SMOKE AND RATED PARTITIONS TO DECK ABOVE. FILL ALL VOIDS WITH SEALANT AS REQUIRED AND CAULK CONTINUOUS FOR A SMOKETIGHT SEAL.

Α		INT	INTERIOR		
A/C	AIR CONDITIONING	INV	INVERT	l i	<b>.</b>
ACOUST		J			S
ACT	ACOUSTICAL CEILING	JST	JOIST		
ADI	TILE	JT	JOINT		0
ADJ AFF	ADJUST(ABLE) ABOVE FINISHED	K			
AFF	FLOOR	KIT	KITCHEN		<b>5</b> 5
ALT	ALTERNATE	L			<b>A</b> a 319
ALUM	ALUMINUM	L	LENGTH		DESIGN SOLUTIONS  Phone: 706.321.4590
ARCH	ARCHITECTIRAL	LAM	LAMINATE(D)		S, G
ASPH	ASPHALT	LGS	LIGHT GAUGE STUD	1 1	Mumbu .459€
ATT	ATTACH(ED)	LL	LIVE LOAD		<b>DESIGN</b> nue //Suite F // Columbi
В		LLH	LONG LEG HORIZONTAL		<b>S</b> (1) The Figure 7006
BD	BOARD	LLV	LONG LEG VERTICAL	[	//Sui
BLDG	BUILDING	LVR	LOUVER		<b>Q</b> enue.
BLKG	BLOCKING	М		l .	A A
BM BOS	BENCHMARK BOTTOM OF STEEL	MATL	MATERIAL		1 Fro
BOT	BOTTOM OF STEEL	MECH	MECHANICAL	· `	120
BOW	BOTTOM OF WALL	MFR	MANUFACTURER		
BRG	BEARING	МН	MANHOLE	1 1	
BUR	BUILT-UP ROOF	МО	MASONRY OPENING		
С		MR GYP.			
CAB	CABINET	BD.	RESISTANT GYPSUM BOARD		
СВ	CATCH BASIN	NI	DOAIND		
CEM	CEMENT	N	NEODDENE		
CIP	CAST-IN-PLACE	NEO NIC	NEOPRENE NOT IN CONTRACT		
CJ	CONTROL JOINT	NTS	NOT TO SCALE		
CLG	CEILING	0	NOT TO SCALL	/	TE OF GEORGIA
CLR	CLEAR		ON CENTED	AP	· C
СМU	CONCRETE MASONRY UNIT	OC OD	ON CENTER OUTSIDE DIAMETER	/%/	/>> /
COL	COLUMN	OH	OPPOSITE HAND	*	JON KERRY ★
CONC	CONCRETE	OHC	OVERHEAD COILING	1 1	
CONST	CONSTRUCTION	OPNG	OPENING	10	OSBORNE STATE NO. RP. 16
CONT	CONTINUOUS	Р		1,40	STERED ARCHITECT
COORD	COORDINATE	PB	PROTECTION BOARD	`	ERED ARCH
CORR	CARRET	PJ	PANEL JOINT	1	
CPT CT	CARPET CERAMIC TILE	PL	PROPERTY LINE		
CTSK	CERAMIC TILE COUNTERSUNK	PLAM	PLASTIC LAMINATE		1
CU	CUBIC	PLYWD	PLYWOOD		
CU FT	CUBIC FEET	PREFAB	PREFABRICATED	1	
CU YD	CUBIC YARD	PT	PRESSURE TREATED		
CW	CURTAIN WALL	PTD	PAINTED		l , l
D		R			<b>⊢</b>
D	DEPTH	R	RISE	1 (0	
DBL	DOUBLE	RAD RB	RADIUS RUBBER BASE	לאַ ן	<b> </b>
DF	DRINKING FOUNTAIN	RCP	REFLECTED CEILING		+
DIM	DIMENSION	IXOF	PLAN		'   _ \$
DN	DOWN	RD	ROOF DRAIN	ΙШ	AL PL
DR	DOOR	REF	REFRIGERATOR		
DS	DOWN SPOUT	REINF	REINFORCED		
DTL DW	DETAIL DISHWASHER	REQD.	REQUIRED	ΙЩ	
DWG	DRAWING	RFEC	RECESSED FIRE		
E	DIAWING		EXTINGUISHER CABINET	EQUIREMENTS	I Ш <u>— ш</u> I
EF	EACH FACE	RO	ROUGH OPENING	ر ا	
EFEC	EXISTING FIRE	RVL	REVEAL		
	EXTINGUISHER	S		Liit	RANG
	CABINET	SAB	SOUND		
EIFS	EXTERIOR		ATTENUATION BATTS	4	∩ ⊬ ∛
	INSULATION FINISHING SYSTEM	SAFB	SOUND		
EJ	EXPANSION JOINT		ATTENUATION FIRE BLANKET	<b> </b>	
ELEC	ELECTRICAL	SAN	SANITARY		(A == 1
ELEV	ELEVATION	SCH	SCHEDULE		I U∫ LL≝ I
EOS	EDGE OF SLAB	SCHED	SCHEDULED		<b>^</b> _≥
EQ	EQUAL	SCWD	SOLID CORE WOOD		
EQUIP	EQUIPMENT		DOOR		
EW	EACH WAY	SFE	SURFACE MOUNTED FIRE EXTINGUISHER		
EXH EXIST	EXHAUST EXISTING	SIM	SIMILAR	S	PAIF AMS
EXP	EXPANSION	SND	SANITARY NAPKIN	Щ	
EXT	EXTERIOR		DISPOSAL		
F		SPEC	SPECIFICATIONS	[ ()	
FD	FLOOR DRAIN	SQ FT	SQUARE FEET	AC.	=
FE	FIRE EXTINGUISHER	SQ IN SQ YD	SQUARE INCHES SQUARE YARDS	~	
FEC	FIRE EXTINGUISHER	SST	STAINLESS STEEL	1	5
FF	CABINET	STC	SOUND	1	
FF	FINISHED FLOOR		TRANSMISSION	1	1
FHC FIN	FIRE HOSE CABINET FINISHED	OT!	COEFFICIENT	<u></u>	<u> </u>
FLR	FLOOR	STL STRUCT	STEEL STRUCTURAL		
FO	FACE OF	T	OTNOCTORAL		
FOG	FACE OF GLAZING		TDEAD		
FOM	FACE OF MASONRY	TEMP	TREAD	z	
FOS	FACE OF STUD	TEMP THK	TEMPORARY THICKNESS	Į Į	
FRMG	FRAMING	THOLD	THRESHOLD	DESCRIPTION: 3ID	
FRP	FIBERGLASS REINFORCED	TLT	TOILET	DESC	
	POLYMER	TMPD	TEMPERED	1 — I — I	
FRT	FIRE RETARDANT	TOS	TOP OF STEEL	ION FOR	
	TREATED	TOW	TOP OF WALL	SSUED	
FSTN	FASTEN	TRTD	TREATED	REVISION INFORMATION DATE: JULY 2022 ISSUED FC	
FTG	FOOTING	TYP	TYPICAL	Ž N	
G		U	T	VISION II DATE: JLY 2022	
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE	REVIS DA <sup>-</sup>	
GALV	GALVANIZE(D)	V	VIIILINVIOE		
GL GYP BD	GLASS / GLAZING GYPSUM BOARD	V	\/\b\\/\ \D\\C=	≥ 0	
	UNAUD IVIOC II O	VB	VINYL COMPOSITE	N S S	
H	HOLLOW CODE	VCT	VINYL COMPOSITE		++++++
HDB	HOLLOW CORE	VIF	VERIFY IN FIELD	DR	
HDR HDW	HEADER HARDWARE	W			
HGT	HEIGHT	W/	WITH (INCLUDED)		
HM	HOLLOW METAL	W/O	WITH (INCLUDED)	NEV 0	
HSR	HIGH SPEED ROLL-UP	WC	WATER CLOSET	SHEET:	
		WDW	WINDOW	l	
ID .	INTERIOR DIAMETER	WH	WATER HEATER		)-AG01
IMP	INSULATED METAL	WP	WATERPROOFING	I	7-MUUI
LT.	PANEL	WWM	WELDED WIRE MESH	1	

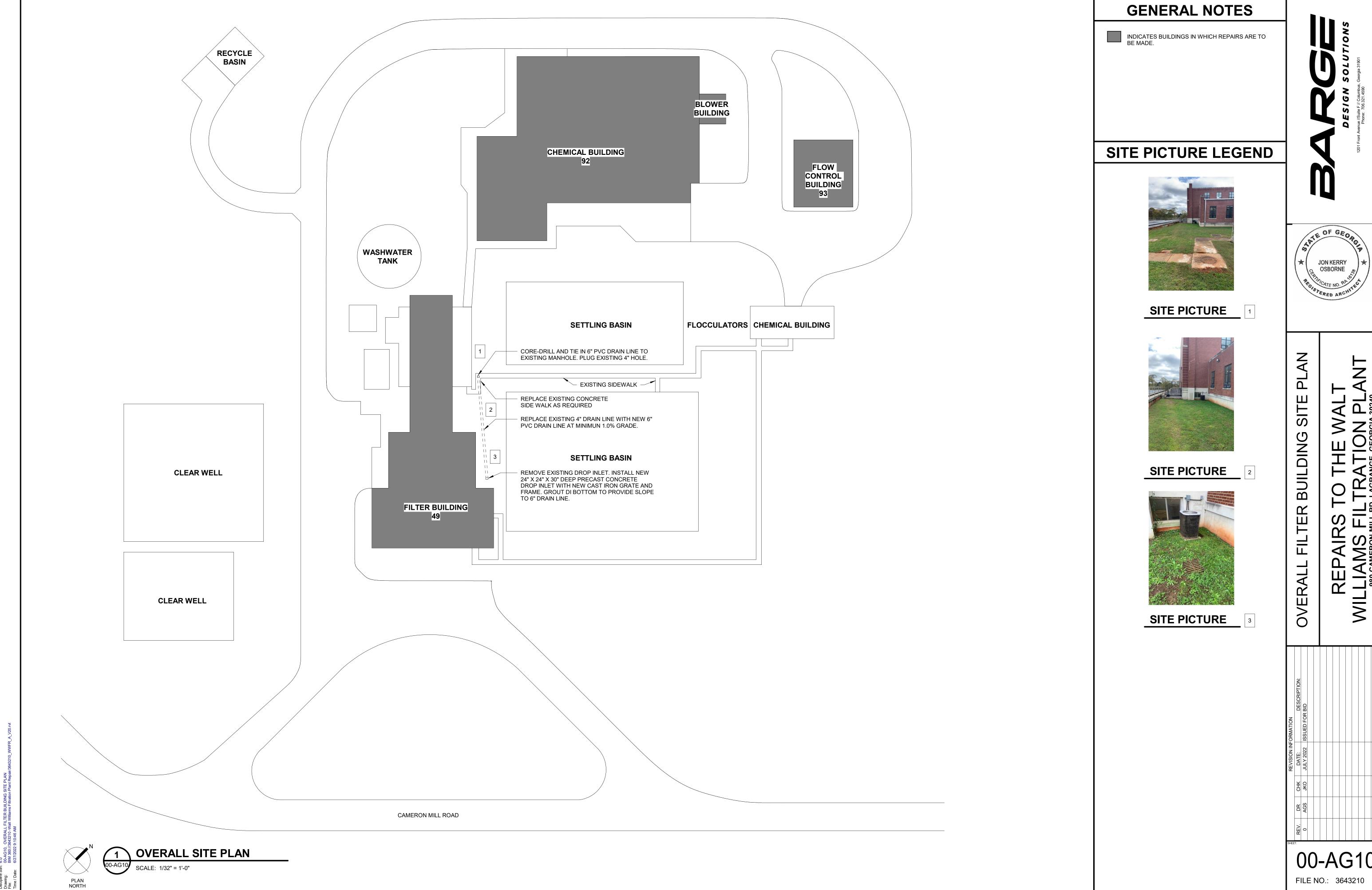
Discipline Sort: 1.1 00-AGO1, ACCESSIBILITY REQUIREM Prewing: 00-AGO1, ACCESSIBILITY REQUIREM

© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED

INSUL UNSULATED

FILE NO.: 3643210

© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED



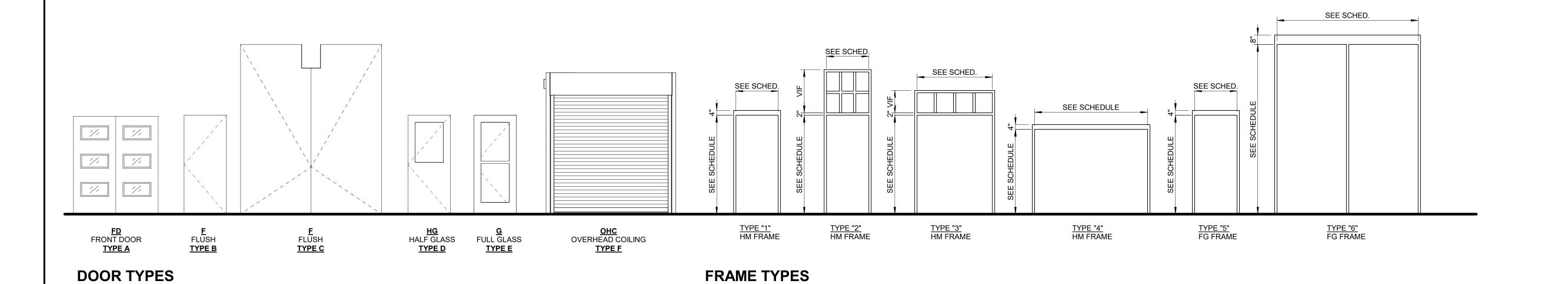
DOOR SCHEDULE												
	LEAF INFORMATION							FRAME INFORMATION		DETAILS		
DOOR NUMBER	DOOR TYPE	LEAF QUANTITY	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FRAME TYPE	FINISH	JAMB	HEAD	COMMENTS
49-001	В	2	8'-0"	6'-0"	1 3/4"	HM	PAINT	4	PAINT	12 / 00-AG62	11 / 00-AG62	HEAD AND SILL SLIDE BOLTS, WEATHER STRIPPING
49-101	D	2	5'-4"	7'-0"	1 3/4"	HM	PAINT	3	PAINT	14 / 00-AG62	13 / 00-AG62	
49-102	В	1	3'-7 1/2"	6'-5"	1 3/4"	HM	PAINT	1	PAINT	2 / 00-AG62	1 / 00-AG62	
49-201	В	1	2'-10"	7'-0"	1 3/4"	HM	PAINT	2	PAINT	10 / 00-AG62	15 / 00-AG62	
49-202	-	-	EXSITING	EXSITING	EXSITING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	NEW CLOSURE ONLY
49-203	-	-	EXSITING	EXSITING	EXSITING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	NEW CLOSURE ONLY
49-204	-	-	EXSITING	EXSITING	EXSITING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	NEW CLOSURE ONLY
49-205	-	-	EXSITING	EXSITING	EXSITING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	NEW CLOSURE ONLY
49-206	В	1	3'-0"	6'-7 1/2"	1 3/4"	HM	PAINT	1	PAINT	6 / 00-AG62	15 / 00-AG62	
49-207	F		8'-0"	8'-0"	0"	STEEL	-	-	STEEL	4 / 00-AG62	3 / 00-AG62	
92-101	D	1	3'-0"	7'-0"	1 3/4"	HM	PAINT	1	PAINT	10 / 00-AG62	9 / 00-AG62	
92-102	D	2	6'-0"	8'-0"	1 3/4"	HM	PAINT	1	PAINT	10 / 00-AG62	9 / 00-AG62	
92-103	D	2	6'-0"	8'-0"	1 3/4"	FG	FG	5	FG	8 / 00-AG62	7 / 00-AG62	
92-104	С	2	10'-0"	12'-0"	1 3/4"	FG	FG	6	FG	10 / 00-AG62	16 / 00-AG62	CUSTOM DOOR - COORD. OPENING AT TOP FOR RAIL CLEARANCE
92-105	D	1	3'-0"	7'-0"	1 3/4"	FG	FG	5	FG	10 / 00-AG62	9 / 00-AG62	
92-106	D	1	3'-0"	7'-0"	1 3/4"	FG	FG	5	FG	10 / 00-AG62	9 / 00-AG62	
92-107	D	2	6'-0"	7'-0"	1 3/4"	FG	FG	5	FG	10 / 00-AG62	9 / 00-AG62	
92-108	В	2	6'-0"	7'-0"	1 3/4"	FG	FG	5	FG	10 / 00-AG62	9 / 00-AG62	
92-109	D	1	3'-0"	7'-0"	1 3/4"	FG	FG	5	FG	10 / 00-AG62	9 / 00-AG62	
93-101	D	1	4'-0"	7'-0"	1 3/4"	HM	PAINT	1	PAINT	10 / 00-AG62	9 / 00-AG62	
93-102	В	1	3'-0"	7'-0"	1 3/4"	HM	PAINT	1	PAINT	8 / 00-AG62	7 / 00-AG62	
93-103	В	1	3'-0"	7'-0"	1 3/4"	HM	PAINT	1	PAINT	8 / 00-AG62	7 / 00-AG62	
93-104	В	1	3'-0"	7'-0"	1 3/4"	НМ	PAINT	1	PAINT	10 / 00-AG62	9 / 00-AG62	

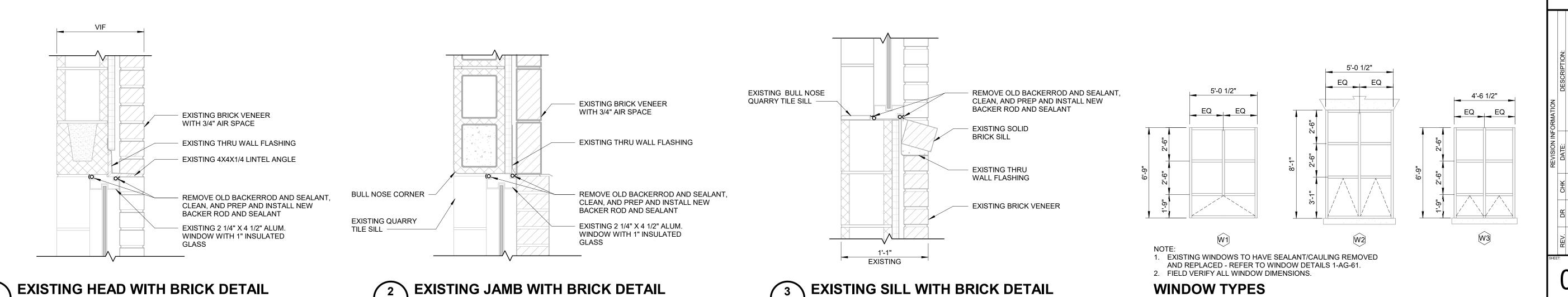
00-AG61

SCALE: 1 1/2" = 1'-0"

HM = HOLLOW METAL FG = GIBERGLASS AL = ALUMINUM

\*CONTRACTOR TO VERIFY ALL EXISTING OPENINGS





00-AG6

SCALE: 1 1/2" = 1'-0"

SCALE: 1 1/2" = 1'-0"

FILE NO.: 3643210

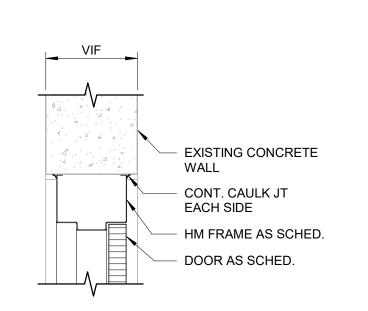
© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED

**DETAILS** 

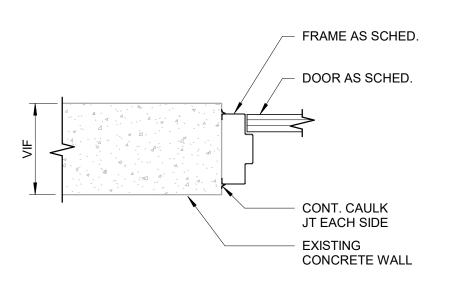
SCHEDULE

DOOR

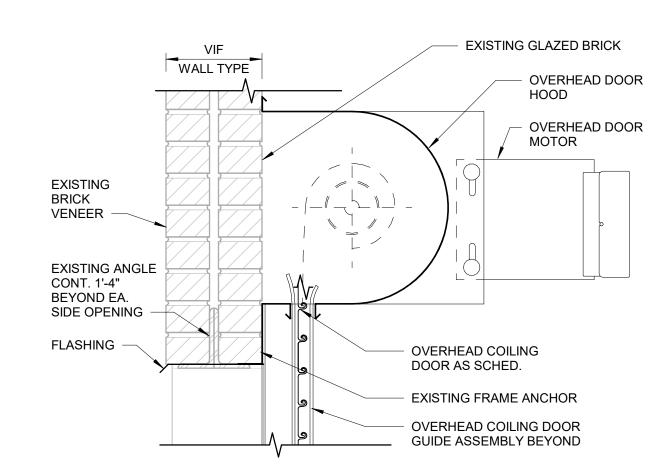
SS I



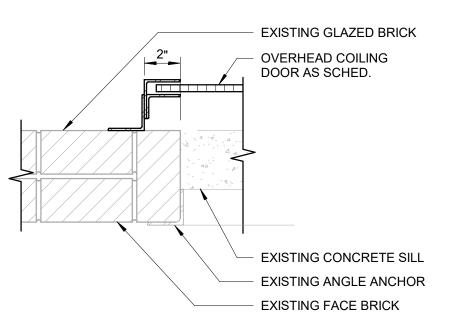




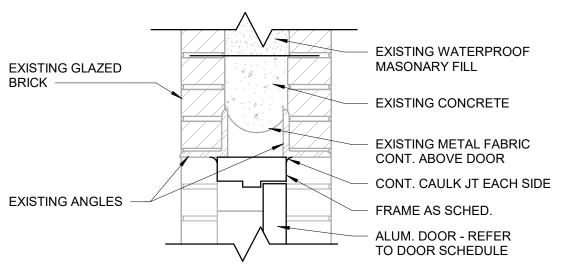




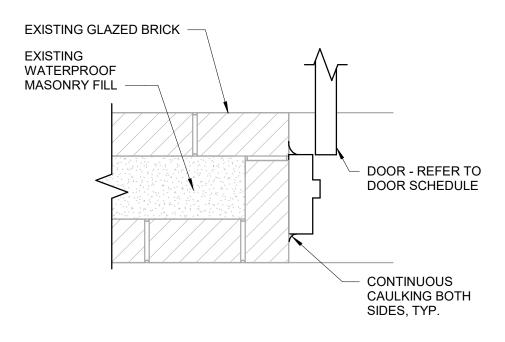




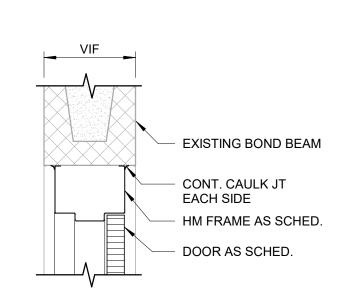




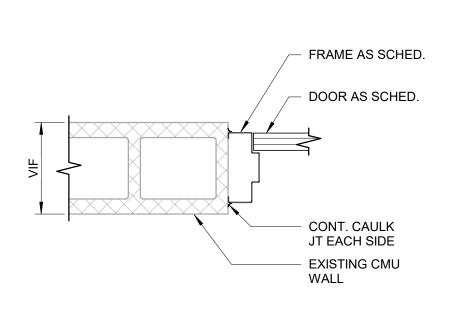


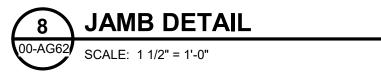


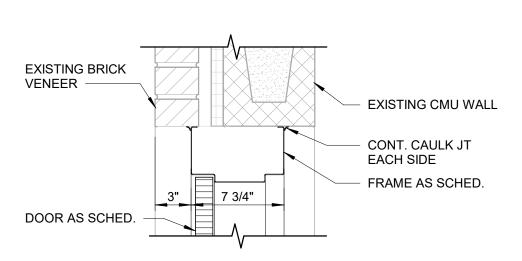




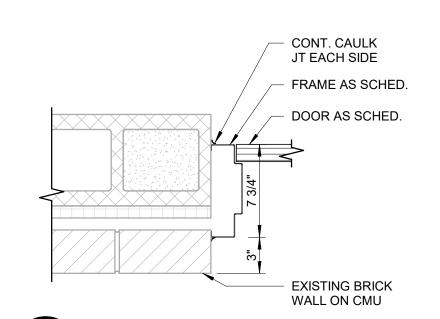




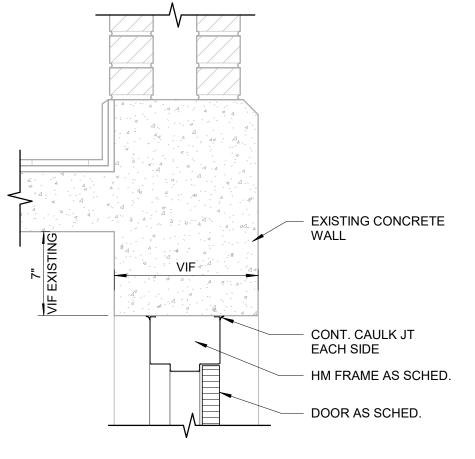




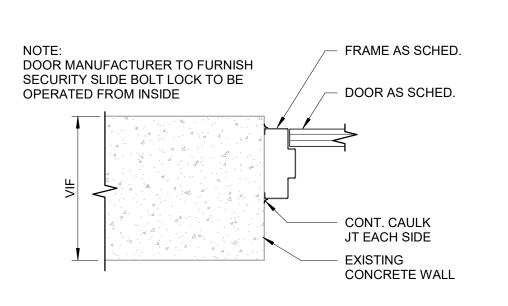




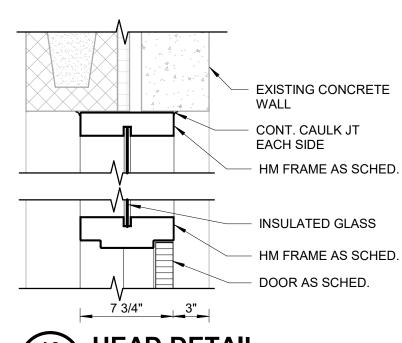




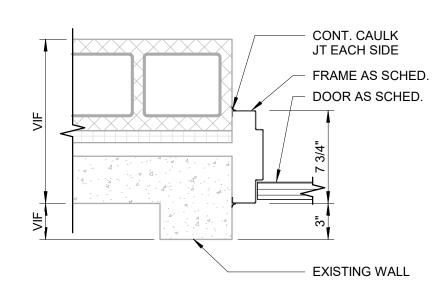


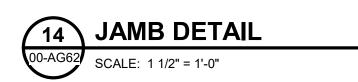


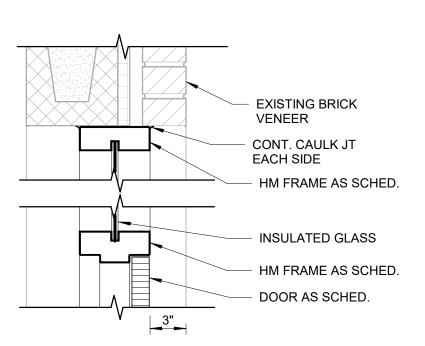


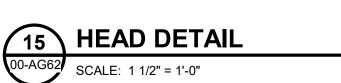


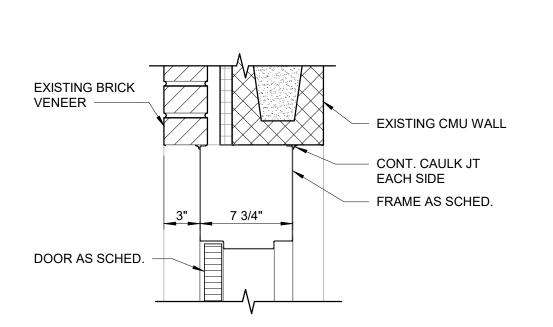


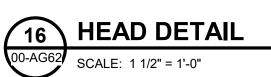




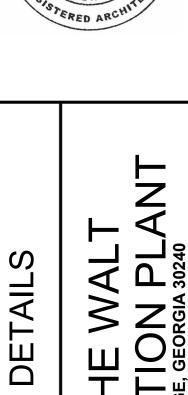












JON KERRY

**OSBORNE** 

REPAIRS TO THE WALT WILLIAMS FILTRATION PLA

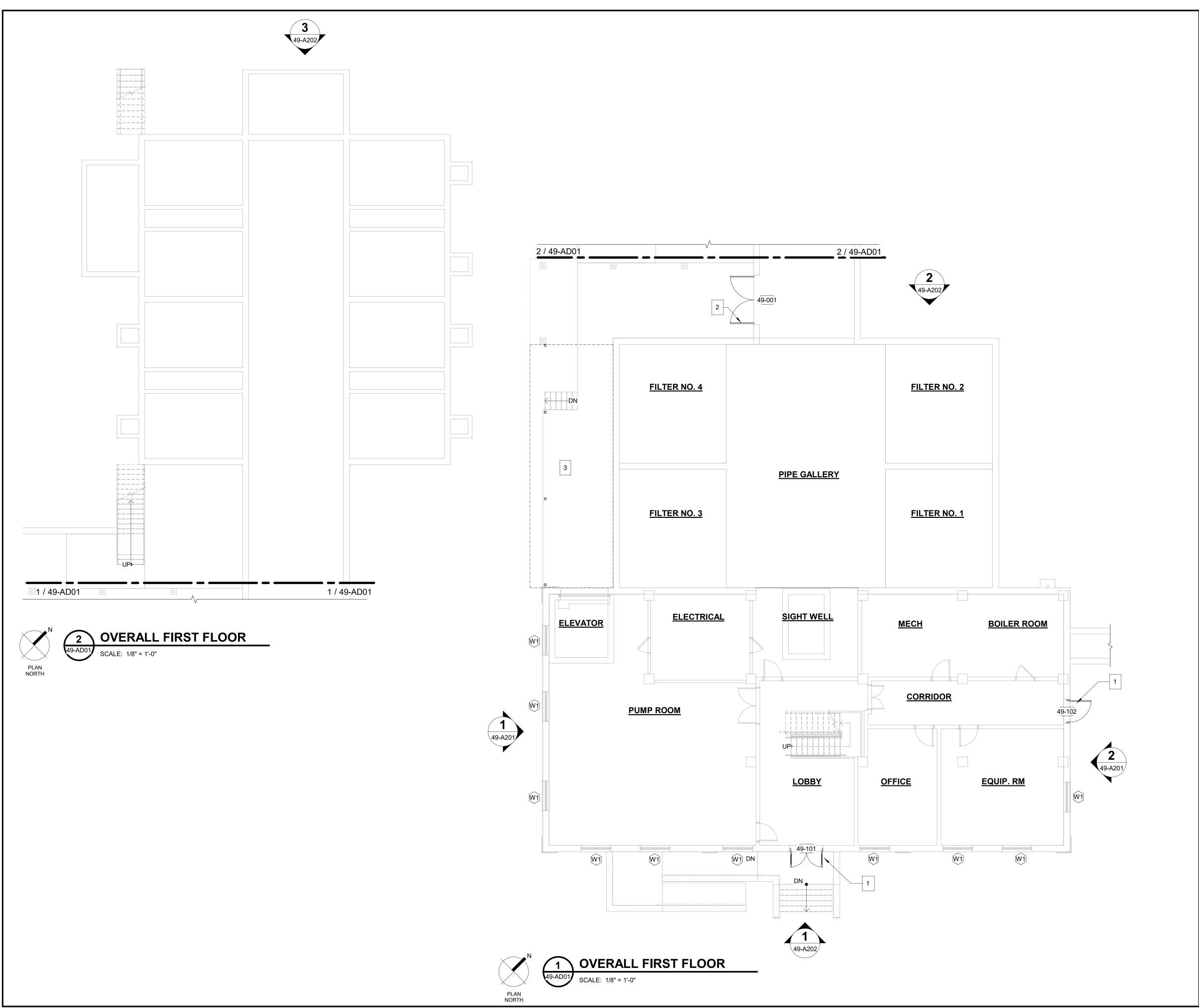
JAMB

AND

HEAD

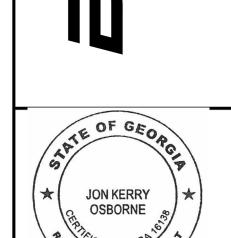
AGS JKO JULY 2022 ISSUED FOR BID

00-AG62
FILE NO.: 3643210



#### **GENERAL PLAN NOTES**

- 1. ALL DIMENSIONS TO BE FIELD VERIFIED.
- 2. THE CONSTRUCTION SHALL NOT COMPROMISE SECURITY, LIFE SAFETY, OR FIRE SAFETY REQUIREMENTS. ANY WORK AFFECTING CODE COMPLIANCE OF FACILITY SYSTEMS SHALL BE COMPLETED IN THE SAME WORK DAY OR TEMPORARY MEASURES SHALL BE TAKEN TO ASSURE CODE COMPLIANCE AT ALL TIMES.
- 3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND OTHER CONSTRUCTION DEBRIS.
- 4. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION.
- 5. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS NOTIFY THE ARCHITECT AT ONCE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT DIRECTION FROM THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RESULTING DAMAGE OR DEFECT.
- 6. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
- 7. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE EACH AND EVERY PART FIT TOGETHER PROPERLY.
- 8. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.



#### **1ST FLOOR KEYNOTES**

- DEMOLISH EXISTING DOOR AND FRAME IN ITS ENTIRETY AND REPLACE WITH NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE AND DETAILS ON DRAWINGS 00-AG61 AND 00-AG62.
- DEMOLISH EXISTING SLIDING DOOR AND FRAME IN ITS ENTIRETY AND REPLACE WITH NEW DOUBLE DOOR AND FRAME. REFER TO DOOR SCHEDULE AND DETAILS 00-AG61 AND 00-AG62.
- DEMOLISH EXISTING METAL CANOPY, FLASHING, AND COLUMN IN ITS ENTIRETY. REPLACE WITH NEW EXTRUDED ALUMINUM ARCHITECTURAL CANOPY AND COLUMNS AS A DELEGATED DESIGN. REFER TO ROOF PLAN 49-A120 AND ROOF DETAILS 49-A502.

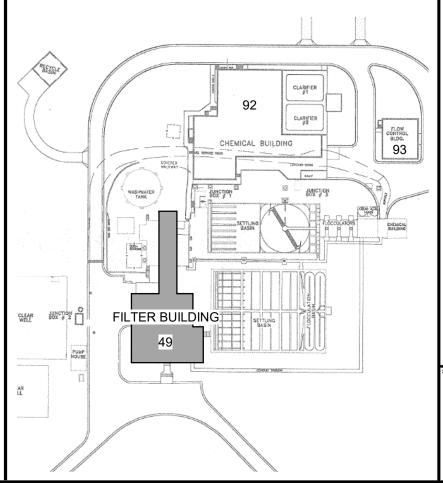
### FILTER PLAN LEGEND

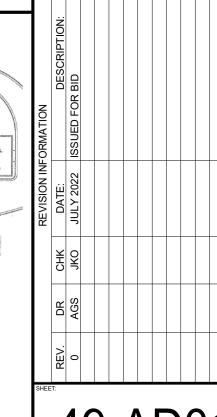
DOOR NUMBER - REFER TO DOOR SCHEDULE SHEET 00-AG62.

w#

UNLESS OTHERWISE NOTED
CONTRACTOR TO REMOVE EXISTING
SEALANT AND BACKER ROD AROUND
WINDOWS AND REPLACE WITH NEW
SEALANT AND BACKER ROD. REFER
TO WINDOW DETAILS ON 00-AG61.
# = REPRESENTS FLOOR LEVEL

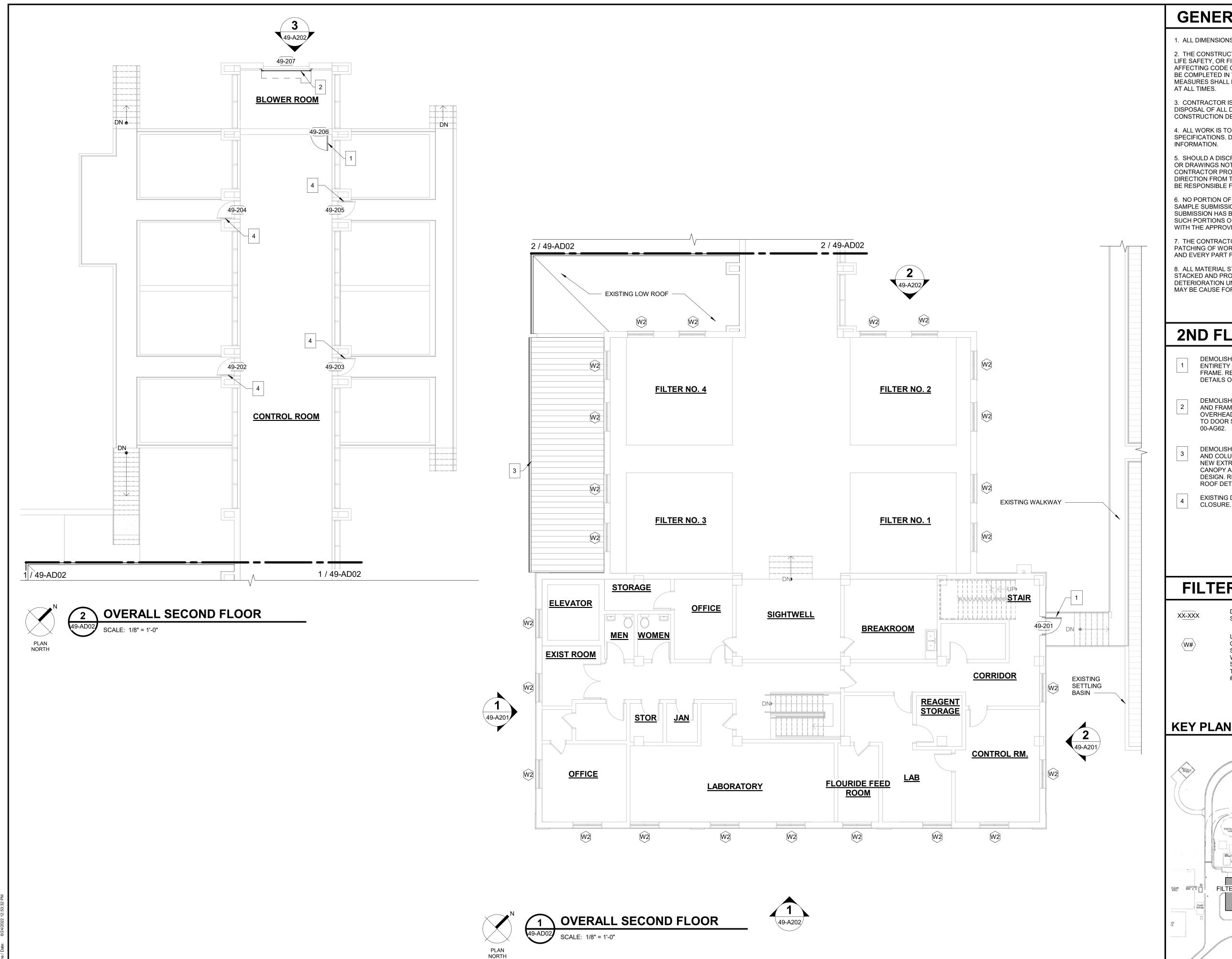
#### KEY PLAN





TER BUILDING DEMOLITION FIRST FLOOR

49-AD01
FILE NO.: 3643210



#### **GENERAL PLAN NOTES**

- 1. ALL DIMENSIONS TO BE FIELD VERIFIED.
- 2. THE CONSTRUCTION SHALL NOT COMPROMISE SECURITY, LIFE SAFETY, OR FIRE SAFETY REQUIREMENTS. ANY WORK AFFECTING CODE COMPLIANCE OF FACILITY SYSTEMS SHALL BE COMPLETED IN THE SAME WORK DAY OR TEMPORARY MEASURES SHALL BE TAKEN TO ASSURE CODE COMPLIANCE AT ALL TIMES.
- 3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND OTHER CONSTRUCTION DEBRIS.
- 4. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED FOR
- 5. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS NOTIFY THE ARCHITECT AT ONCE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT DIRECTION FROM THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RESULTING DAMAGE OR DEFECT.
- 6. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
- 7. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE EACH AND EVERY PART FIT TOGETHER PROPERLY.
- 8. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.

## LE OF GEOD JON KERRY **OSBORNE**

#### **2ND FLOOR KEYNOTES**

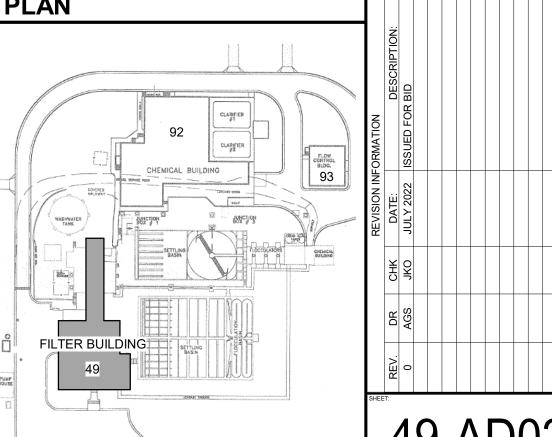
- DEMOLISH EXISTING DOOR AND FRAME IN ITS ENTIRETY AND REPLACE WITH NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE AND DETAILS ON DRAWINGS 00-AG61 AND 00-AG62.
- DEMOLISH EXISTING OVERHEAD COILING DOOR AND FRAME AND REPLACE WITH NEW OVERHEAD COILING DOOR AND FRAME. REFER TO DOOR SCHEDULE AND DETAILS 00-AG61 AND
- DEMOLISH EXISTING METAL CANOPY, FLASHING, AND COLUMN IN ITS ENTIRETY. REPLACE WITH NEW EXTRUDED ALUMINUM ARCHITECTURAL CANOPY AND COLUMNS AS A DELEGATED DESIGN. REFER TO ROOF PLAN 49-A120 AND ROOF DETAILS 49-A502.
- EXISTING DOOR TO REMAIN ADD NEW DOOR CLOSURE. REFER TO DOOR SCHEDULE 00-AG61.

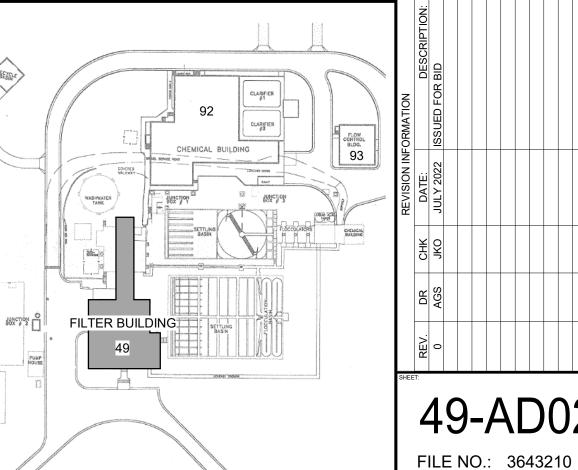
#### FILTER PLAN LEGEND

DOOR NUMBER - REFER TO DOOR SCHEDULE SHEET 00-AG62.

**UNLESS OTHERWISE NOTED** 

CONTRACTOR TO REMOVE EXISTING SEALANT AND BACKER ROD AROUND SEALANT AND BACKER ROD. REFER TO WINDOW DETAILS ON 00-AG61. # = REPRESENTS FLOOR LEVEL

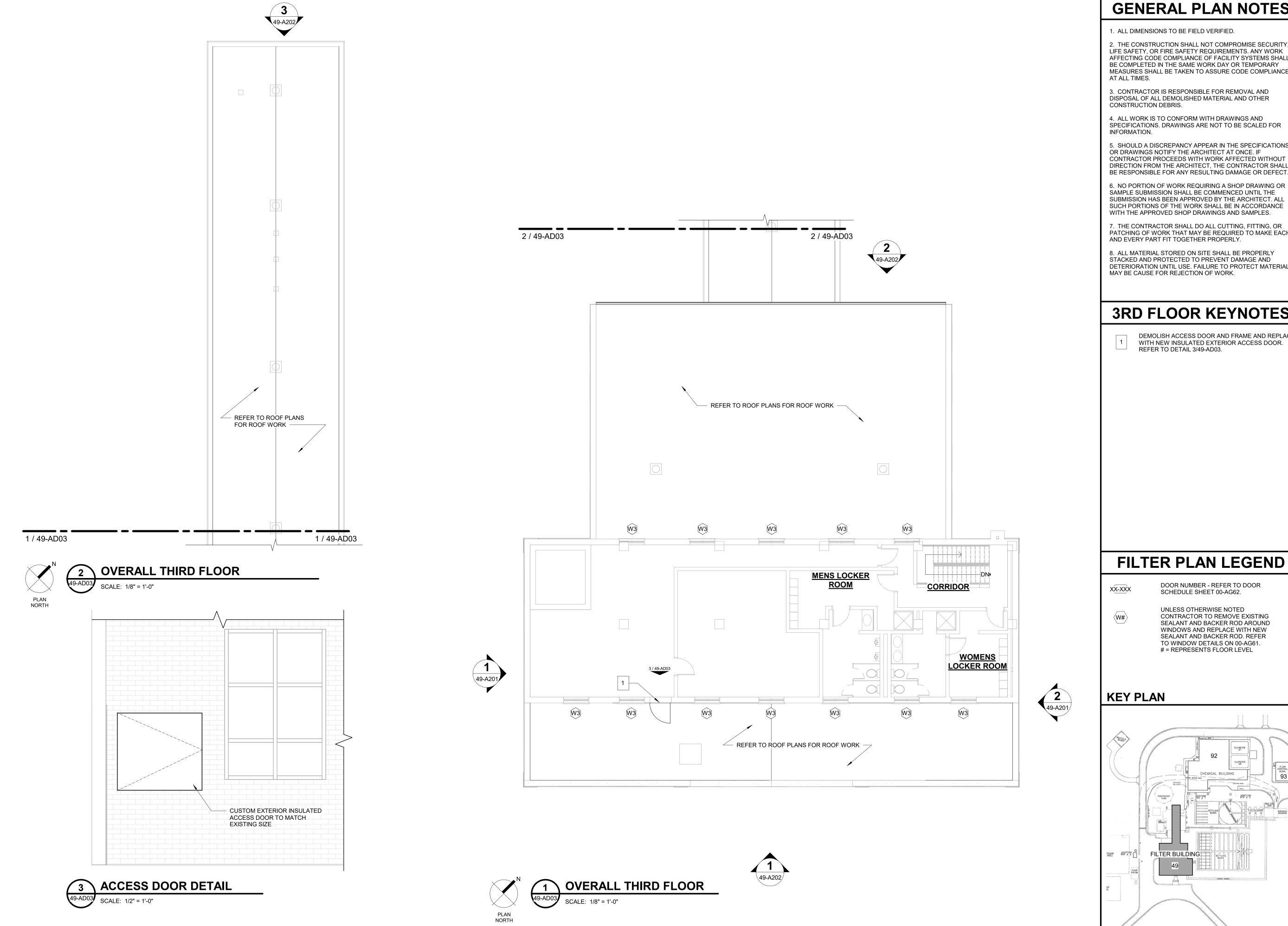




© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED

FILTER BUILDING D SECON

REPAIRS TWILLIAMS FIL



#### **GENERAL PLAN NOTES**

- 1. ALL DIMENSIONS TO BE FIELD VERIFIED.
- 2. THE CONSTRUCTION SHALL NOT COMPROMISE SECURITY, LIFE SAFETY, OR FIRE SAFETY REQUIREMENTS. ANY WORK AFFECTING CODE COMPLIANCE OF FACILITY SYSTEMS SHALL BE COMPLETED IN THE SAME WORK DAY OR TEMPORARY MEASURES SHALL BE TAKEN TO ASSURE CODE COMPLIANCE AT ALL TIMES.
- 3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND OTHER CONSTRUCTION DEBRIS.
- 4. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION.
- 5. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS NOTIFY THE ARCHITECT AT ONCE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT DIRECTION FROM THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RESULTING DAMAGE OR DEFECT.
- 6. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
- 7. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE EACH AND EVERY PART FIT TOGETHER PROPERLY.
- 8. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.



TER BUILDING DEMOLITION AND NEW THIRD FLOOR

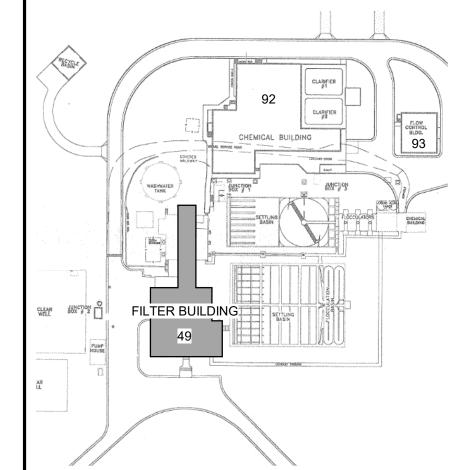
#### **3RD FLOOR KEYNOTES**

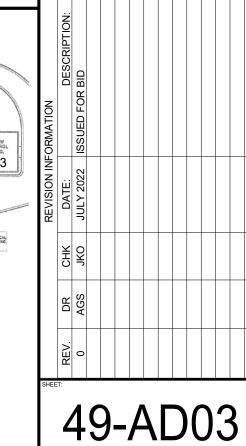
DEMOLISH ACCESS DOOR AND FRAME AND REPLACE WITH NEW INSULATED EXTERIOR ACCESS DOOR. REFER TO DETAIL 3/49-AD03.

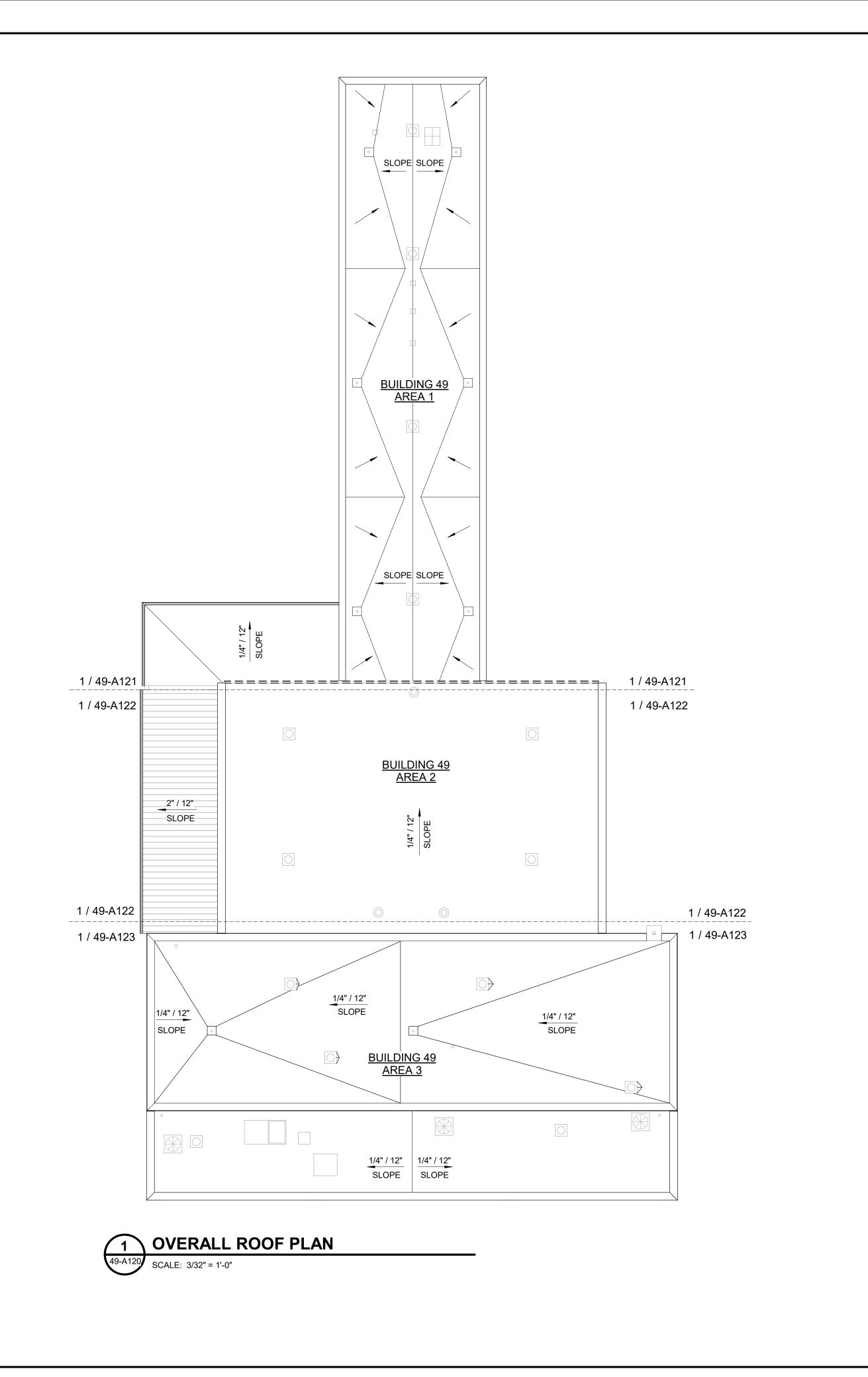
DOOR NUMBER - REFER TO DOOR SCHEDULE SHEET 00-AG62.  $\widehat{XX-XX}X$ 

**UNLESS OTHERWISE NOTED** CONTRACTOR TO REMOVE EXISTING SEALANT AND BACKER ROD AROUND WINDOWS AND REPLACE WITH NEW SEALANT AND BACKER ROD. REFER
TO WINDOW DETAILS ON 00-AG61.
# = REPRESENTS FLOOR LEVEL

#### **KEY PLAN**



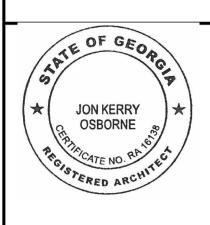




#### **ROOF GENERAL NOTES**

- 1. ROOF REPLACEMENT WORK LIMITED TO FILTER BUILDING ONLY.
- CONTRACTOR TO RESEAL ALL ROOF PENETRATIONS INCLUDING ANTENNA WIRES ON THE UPER ROOF ON 49 AREA 3.



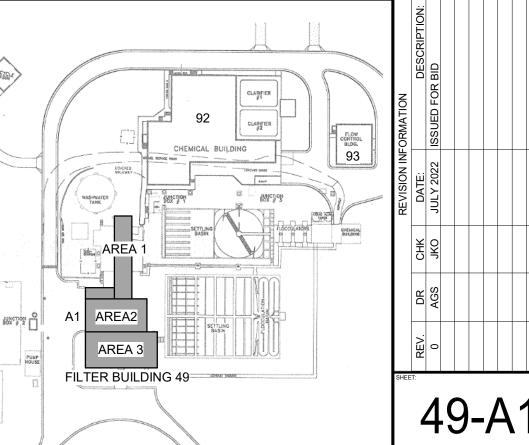


Д

ROOF

OVERAL

**KEY PLAN** 



#### **EXISTING CONDITIONS:**



















**BUILDING 49 KEY PLAN** 

AREA 2

AREA 3

OVERALL CANOPY

**CANOPY EDGE AT WALL** 

EXISTING ROOF DRAIN 4

**OVERALL ROOF 1** 

EXISTING HATCH 6

**EXISTING EXHAUST FAN** 

**EXISTING PIPE** 

TPO ROOF MEMBRANE AND

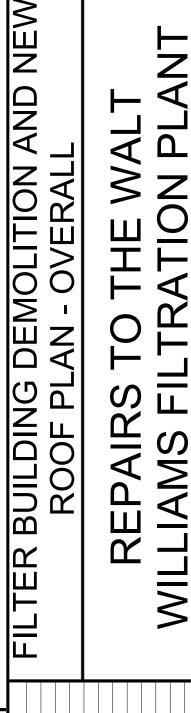
FLASHING TO BE INSTALLED

AROUND EXISTING ROOF

**EXISTING PIPES** 

8 6 - ROOF HATCH TO REMAIN -REPAIR AND PREP CURB TO ACCEPT NEW ROOF SYSTEM EXHAUST PIPE TO BE REMOVED AND CURBS REWORKED AND FLASHING AS NEEDED TO ALLOW NEW ROOF EXISTING ROOF DRAIN TO AND FLASHING TO REMAIN - REMOVE ALL BE INSTALLED -DAMAGED OR DETERIORATED COLLAR AND DOME. - EXHAUST FAN TO BE REMOVED AND CURBS REWORKED AS NEEDED TO ALLOW NEW ROOF AND FLASHING TO BE INSTALLED 9 - REMOVE FLASHING BOOT TO ALLOW NEW ROOF TO BE INSTALLED ∠ ROOF 1 4 ਼ 4 3'-0" REMOVE EXISTING METAL PARAPET CAP AND FLASHING AND PREPARE FOR NEW PARAPET REMOVE EXISTING ALUMINUM - EXISTING BUILT-UP ROOFING AND GRAVEL CAP FLASHING AND LOW BALLAST, FLASHING, TRIM, FASTNERS, AND **GRAVEL STOP AND PREPARE** SEALANT TO BE REMOVED COMPLETE TO FOR NEW PARAPET -ROOF DECK BELOW, PREP AREA TO RECIEVE NEW ROOFING EXISTING BUILT-UP ROOFING AND GRAVEL BALLAST, FLASHING, TRIM, FASTNERS, AND SEALANT TO BE REMOVED COMPLETE TO ROOF DECK BELOW, PREP AREA TO RECIEVE NEW ROOFING SYSTEM. EXISTING GUTTER AND DOWNSPOUT SLOPE SLOPE TO BE DEMOLISHED 36'-2" 4

HATCH AND SEALED CONTINUOUSLY RD ° \49-A501/ ° RD 3 \49-A501/ PROVIDE NEW ROOF CURB AS NEEDED 1 TO INSTALL ROOFING AND FLASHING. REINSTALL FAN. \49-A502/ PROVIDE NEW FLASHING BOOT AT ALL PIPE PENETRATIONS INSTALL NEW SUMP, COLLAR, AND DOME AT EXISTING ROOF DRAIN. 5 TYP | | RD \49-A501 INSTALL NEW PREFINISHED ALUMINUM COPING TPO ROOF MEMBRANE ON R-25 RIGID INSULATION ON EXISTING CONCRETE ROOF 4 PREFINISHED METAL 1/4" / 12" **GUTTER AND** SLOPE SLOPE \49-A502/ DOWNSPOUTS \49-A502/ SLOPE 2 / 49-A122 AREA 2 2 / 49-A122



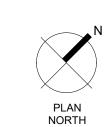
TE OF GEOD

JON KERRY

**OSBORNE** 

NOTE: FIELD VERIFY ALL DIMENSIONS

CANOPY



**DEMOLITION ROOF PLAN - AREA 1** 

23'-6"

AREA 2

1 / 49-A122

15'-10"



1 / 49-A122

#### **EXISTING CONDITIONS:**



OVERALL ROOF 2



EXISTING EXHAUST FAN 2



**EXISTING EXHAUST** 



EXISTING CORNER 4



**EXISTING PARAPET** 5



EXISTING GUTTER 6

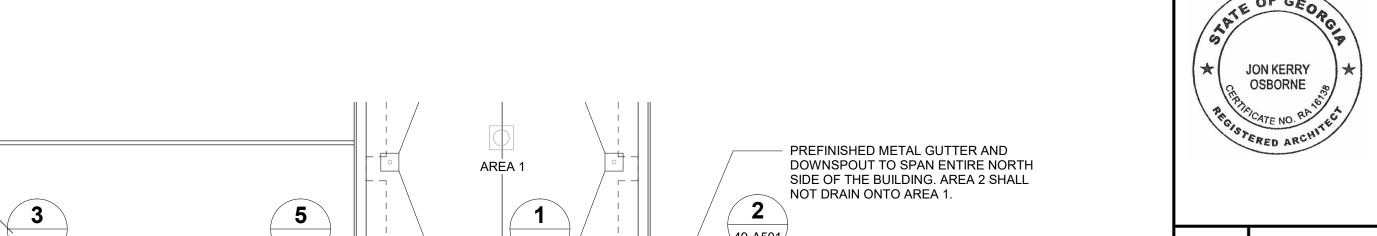


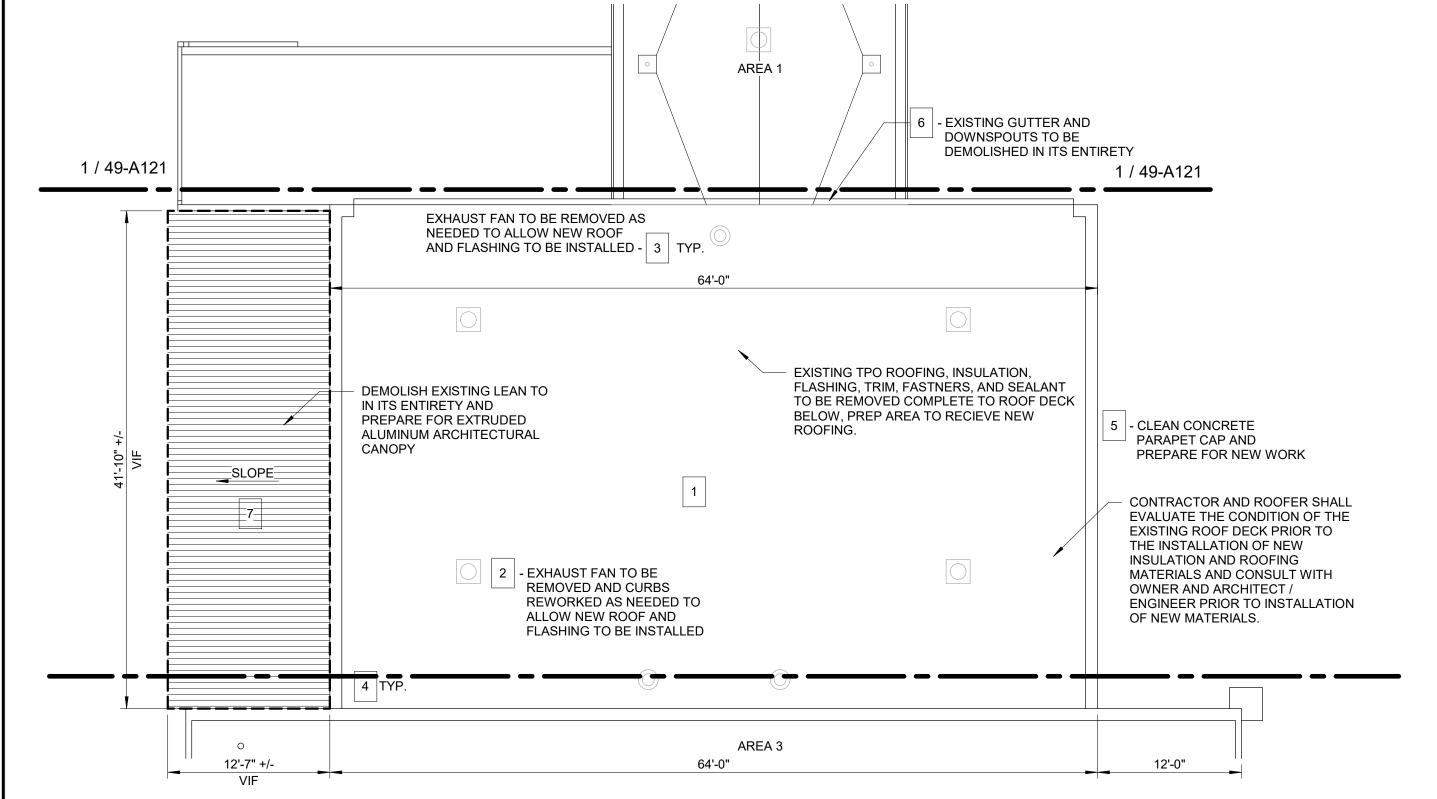
**EXISTING LEAN TO** 

EXISTING LEAN TO TO BE DEMOLISHED IN ITS ENTIRETY AND PREPARED FOR NEW LEAN TO

> TE OF GEO JON KERRY **OSBORNE**

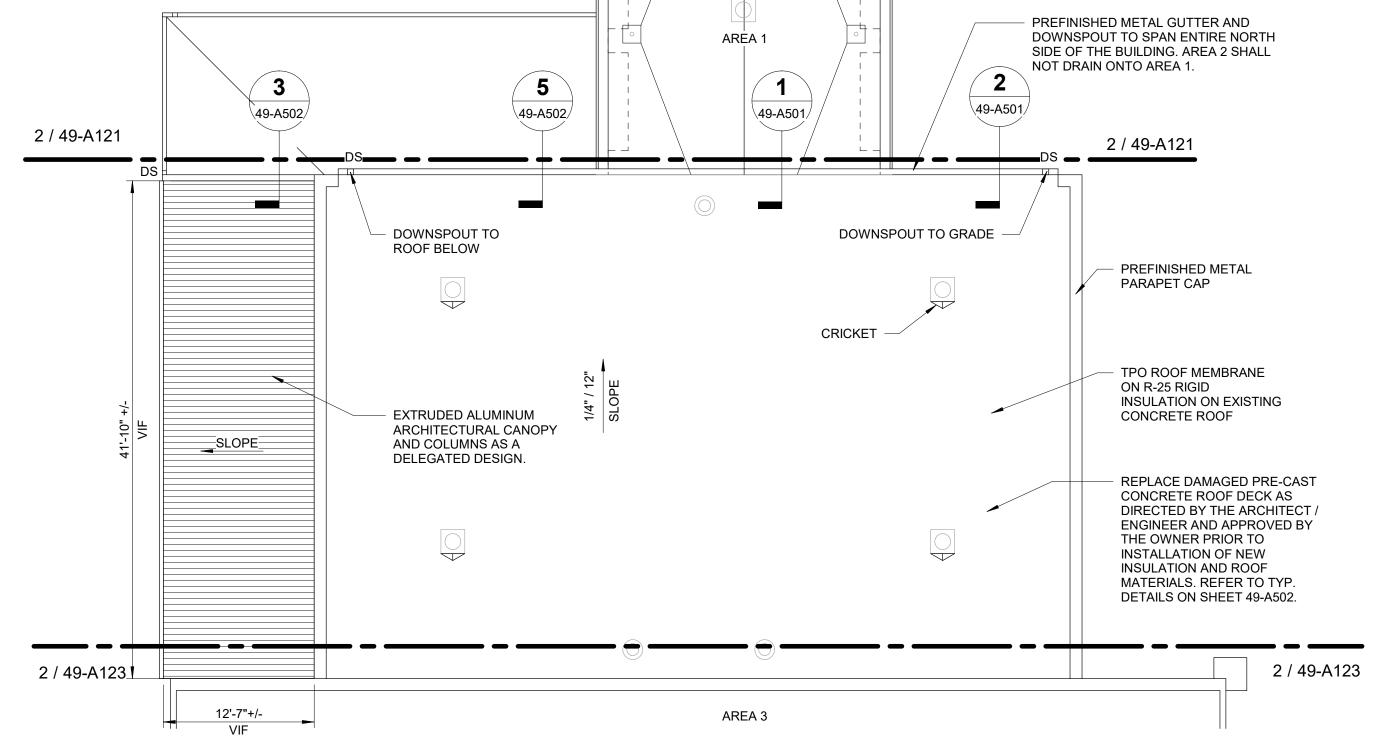
MOLITION AND NEW N - AREA 2





**DEMOLITION ROOF PLAN - AREA 2** PLAN

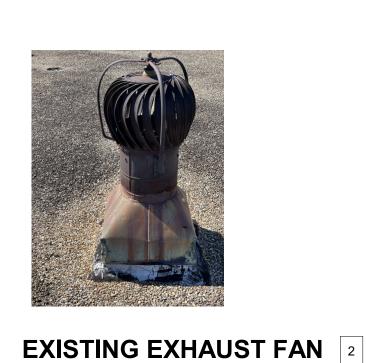
NORTH





**BUILDING 49 KEY PLAN** AREA 3

# **EXISTING CONDITIONS:** OVERALL ROOF 3 1 OVERALL ROOF 4 7



EXISTING CORNER 8





EXISTING PIPE 4





**EXISTING CORNER** 

EXISTING EDGE CONDITION 6







EXISTING EXHAUST FAN 9

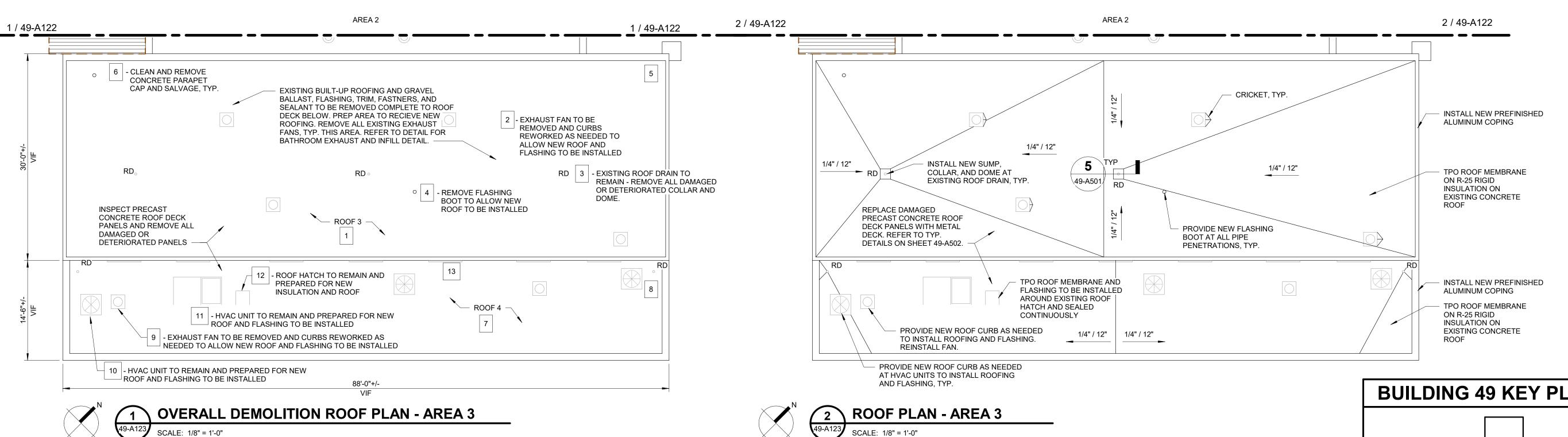
EXISTING ROOF DRAIN 3

**EXISTING HVAC** 

EXISTING HVAC UNIT 11

EXISTING HATCH 12

**EXISTING EDGE** 



**BUILDING 49 KEY PLAN** AREA 1 AREA 3

49-A123 FILE NO.: 3643210

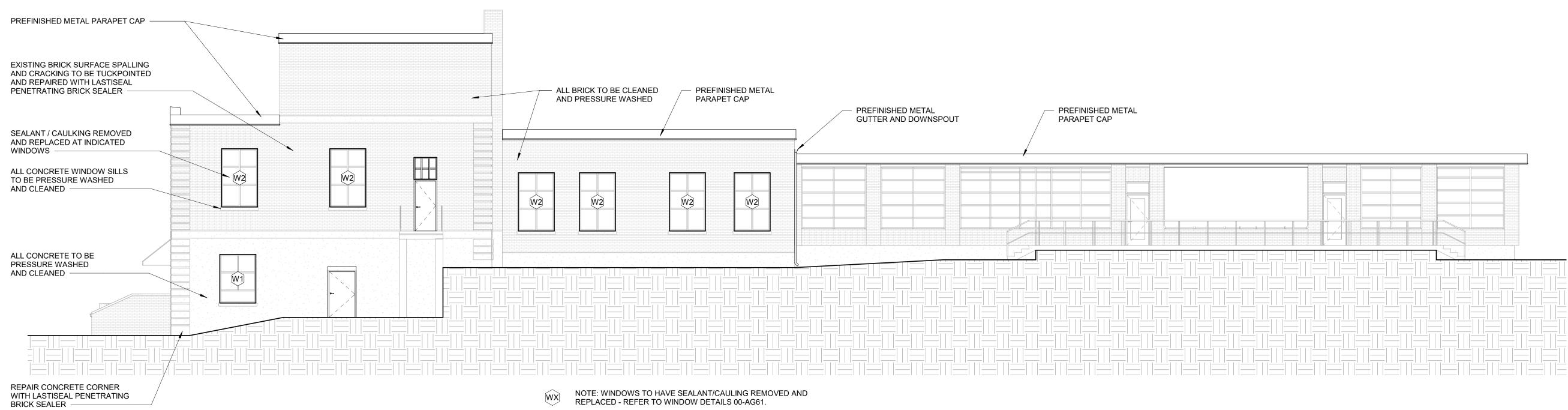
PLAN NORTH

JON KERRY

SS I

AND NEW

#### **ELEVATION GENERAL NOTES** WINDOWS TO HAVE SEALANT/CAULING REMOVED AND REPLACED - REFER TO WINDOW DETAILS 00-ALL BRICK AND CONCRETE TO BE PRESSURE WASHED AND CLEANED. 3. CONTRACTOR TO ASSUME 20% OF THE EXTERIOR FACADE OF THE FILTER BUILDING MAY REQUIRE TUCK POINTING OF MASONRY. PREFINISHED METAL PARAPET CAP PREFINISHED METAL PARAPET CAP -PREFINISHED METAL GUTTER ALL BRICK TO BE CLEANED AND DOWNSPOUT AND PRESSURE WASHED PREFINISHED METAL PARAPET CAP PREFINISHED METAL GUTTER AND DOWNSPOUT SEALANT / CAULKING REMOVED AND REPLACED AT INDICATED WINDOWS W2 W2 ALL CONCRETE WINDOW SILLS TO BE PRESSURE WASHED AND CLEANED ALL CONCRETE TO BE W1 W1 PRESSURE WASHED AND CLEANED EXTRUDED ALUMINUM ARCHITECTURAL CANOPY NOTE: WINDOWS TO HAVE SEALANT/CAULING REMOVED AND REPLACED - REFER TO WINDOW DETAILS 00-AG61. AND COLUMNS AS A DELEGATED DESIGN. REPAIR CONCRETE CORNER WITH LASTISEAL PENETRATING BRICK SEALER FILTER BUILDING ELEVATION SCALE: 1/8" = 1'-0" PREFINISHED METAL PARAPET CAP EXISTING BRICK SURFACE SPALLING



FLTER BUILDING ELEVATION

© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED

FILE NO.: 3643210

TE OF GEOD

JON KERRY

**OSBORNE** 

**ELEVATIONS** 

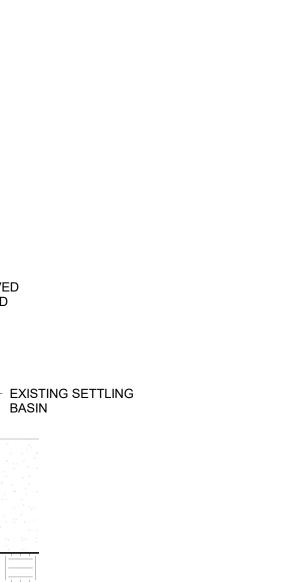
BUILDING

FILTER

SS I

#### **ELEVATION GENERAL NOTES**

- 1. WINDOWS TO HAVE SEALANT/CAULING REMOVED AND REPLACED - REFER TO WINDOW DETAILS 00-
- 2. ALL BRICK AND CONCRETE TO BE PRESSURE WASHED AND CLEANED.
- 3. CONTRACTOR TO ASSUME 20% OF THE EXTERIOR FACADE OF THE FILTER BUILDING MAY REQUIRE TUCK POINTING OF MASONRY.



NOTE: WINDOWS TO HAVE SEALANT/CAULING REMOVED AND REPLACED - REFER TO WINDOW DETAILS 00-AG61.

SEALANT / CAULKING REMOVED AND REPLACED AT INDICATED

BASIN

WINDOWS

W3

W3

W2

(W3)

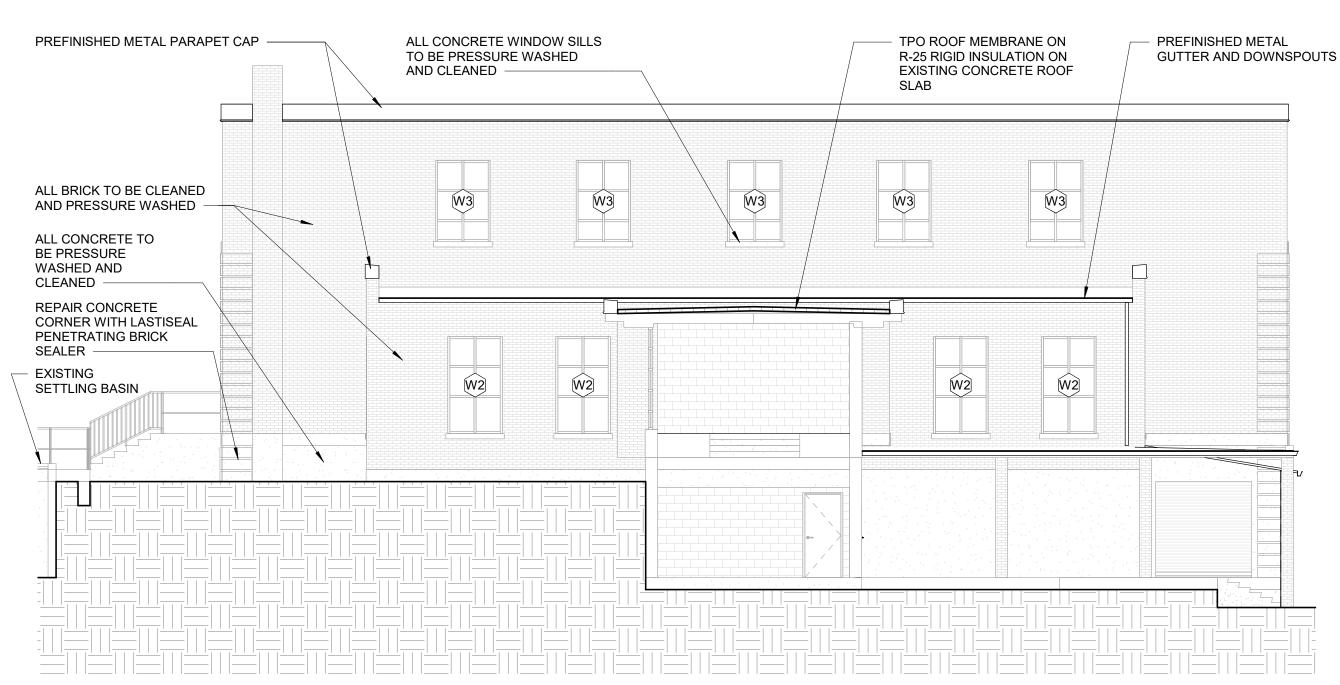
W3

# FILTER BUILDING ELEVATION

W2

W2

W1



PREFINISHED METAL PARAPET CAP

ALL BRICK TO BE CLEANED AND PRESSURE WASHED

ALL CONCRETE WINDOW SILLS

ALL CONCRETE TO BE PRESSURE

WASHED AND CLEANED -

REPAIR CONCRETE CORNER

WITH LASTISEAL PENETRATING

TO BE PRESSURE WASHED

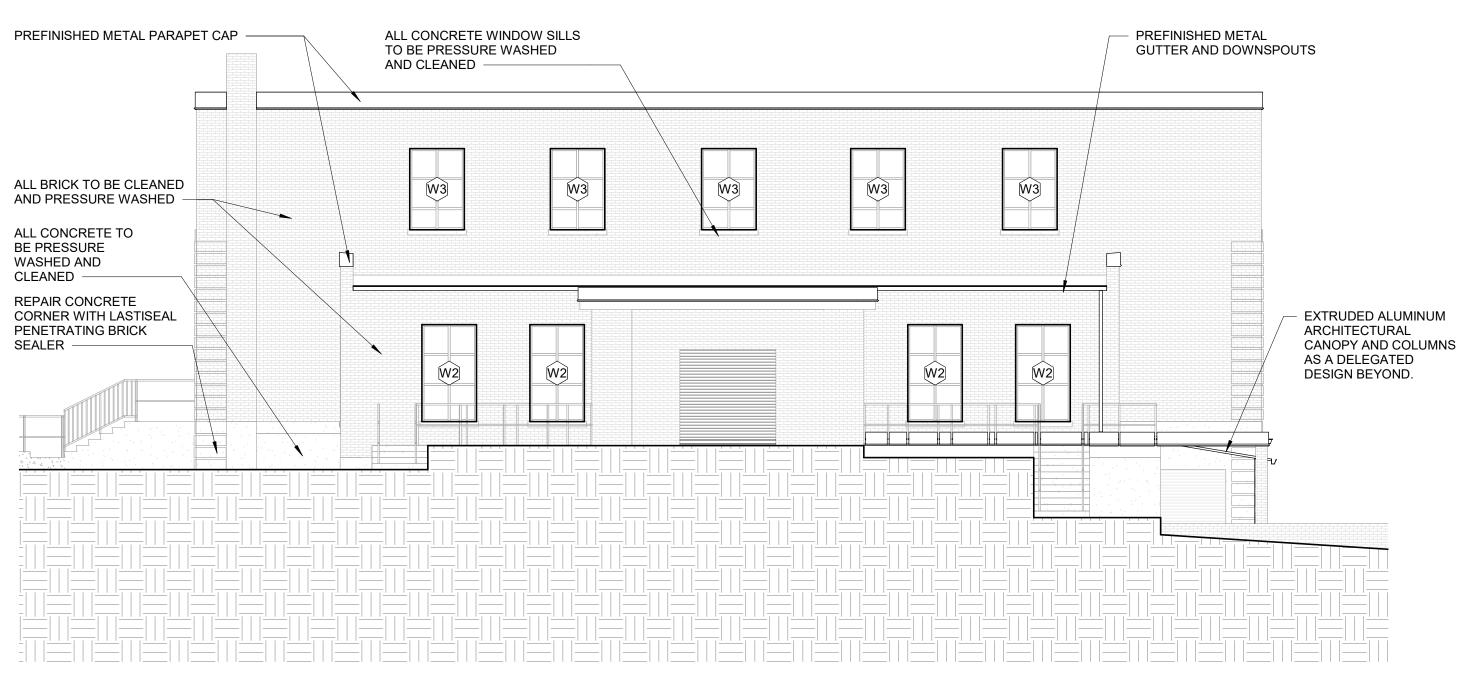
AND CLEANED

**BRICK SEALER** 

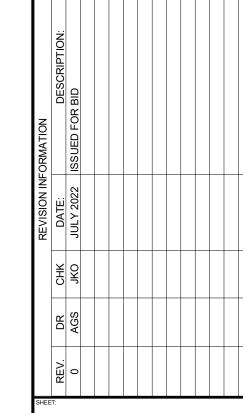
FILTER BUILDING ELEVATION

WX NOTE: WINDOWS TO HAVE SEALANT/CAULING REMOVED AND REPLACED - REFER TO WINDOW DETAILS 00-AG61.





WX NOTE: WINDOWS TO HAVE SEALANT/CAULING REMOVED AND REPLACED - REFER TO WINDOW DETAILS 00-AG61.



TE OF GEO

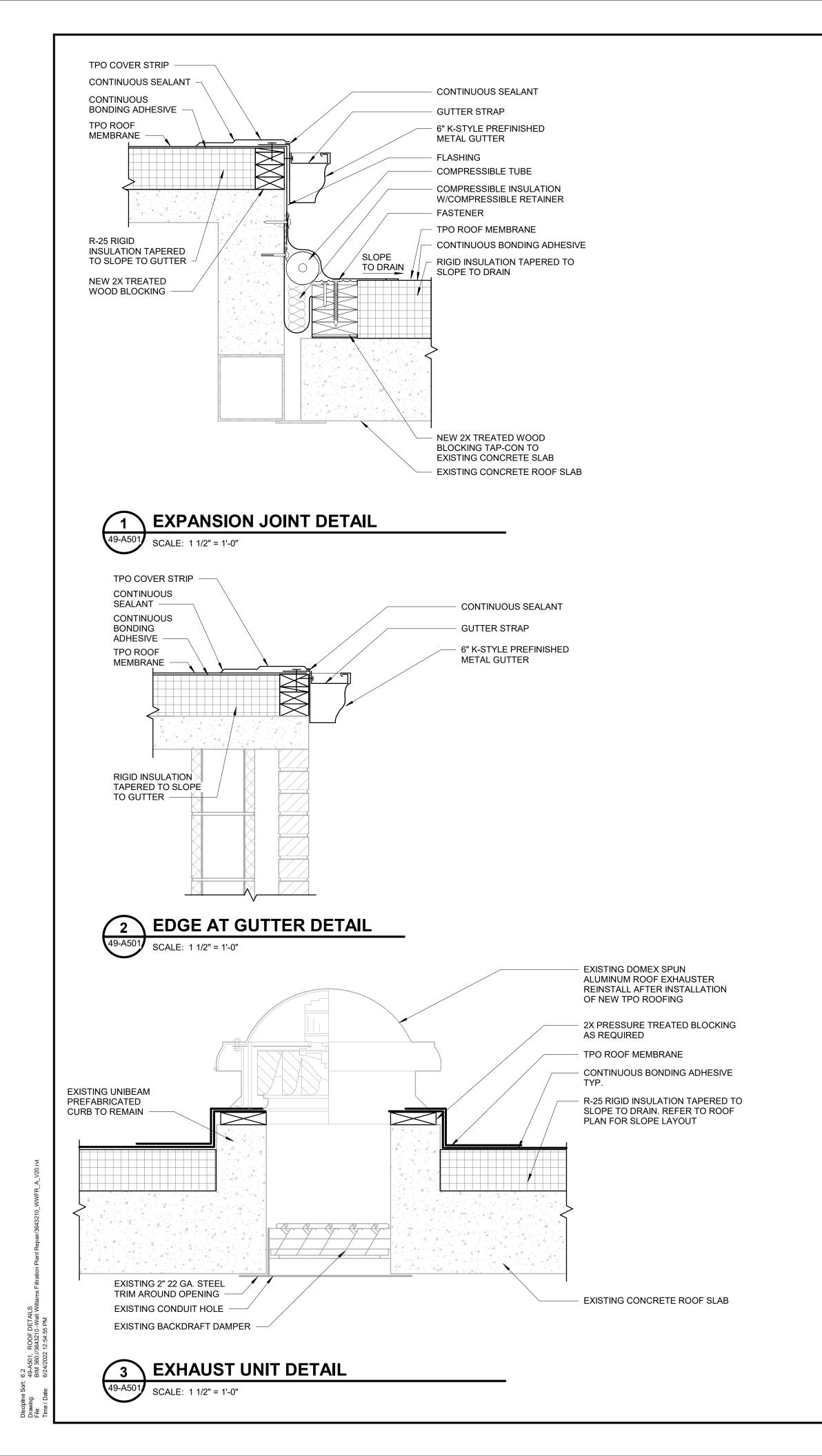
JON KERRY **OSBORNE** 

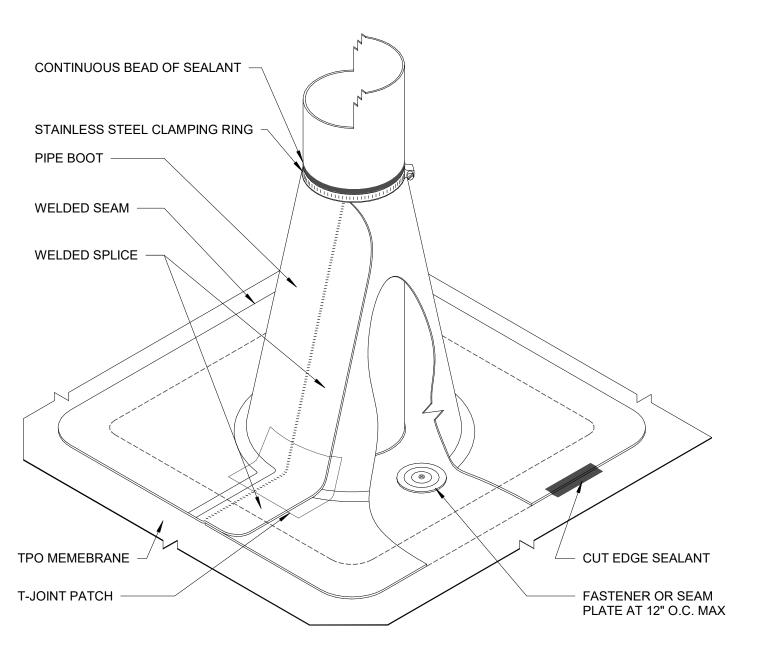
VATIONS

BUILDING

FILTER

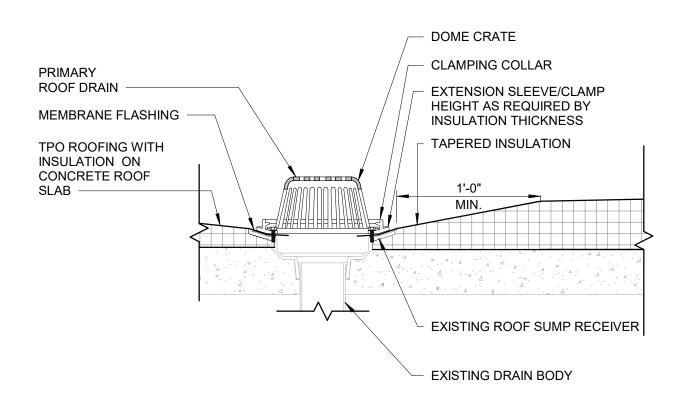
SS I

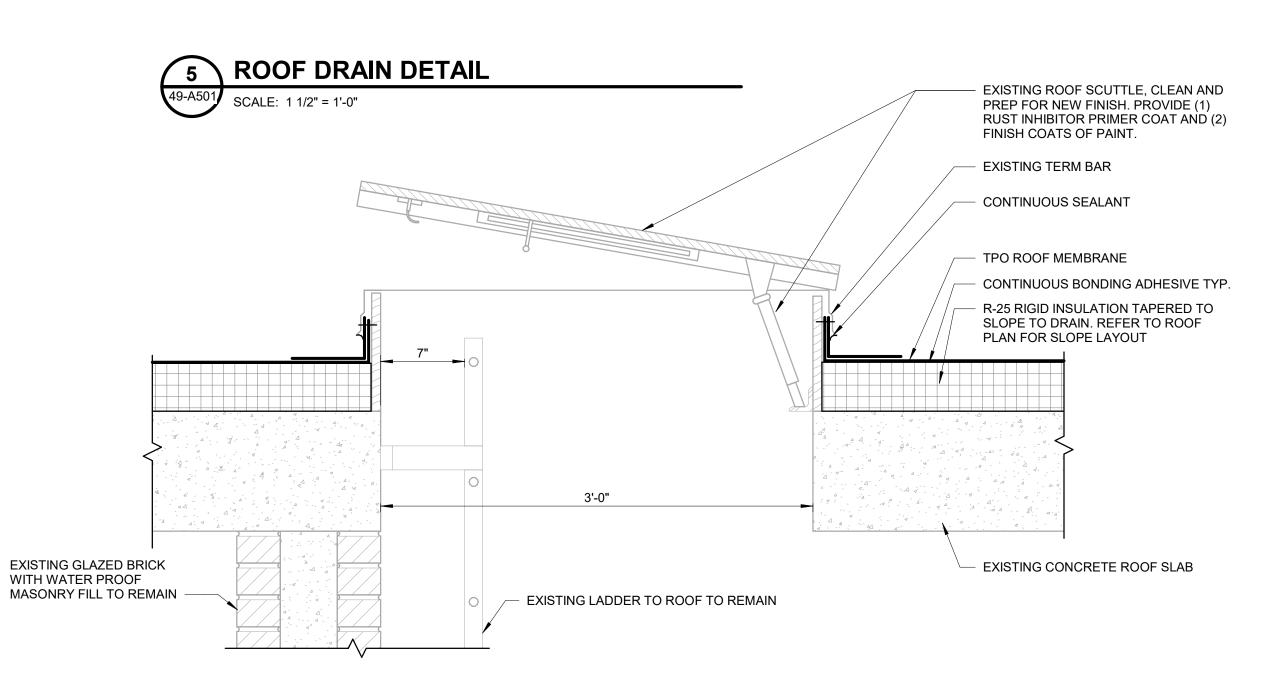




ROOF PENETRATION DETAIL, TYP.

SCALE: 1 1/2" = 1'-0"

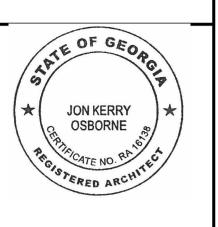






DESIGN SOLUTIONS

1201 Front Avenue //Suite F // Columbus, Georgia 31901
Phone: 706,321,4590

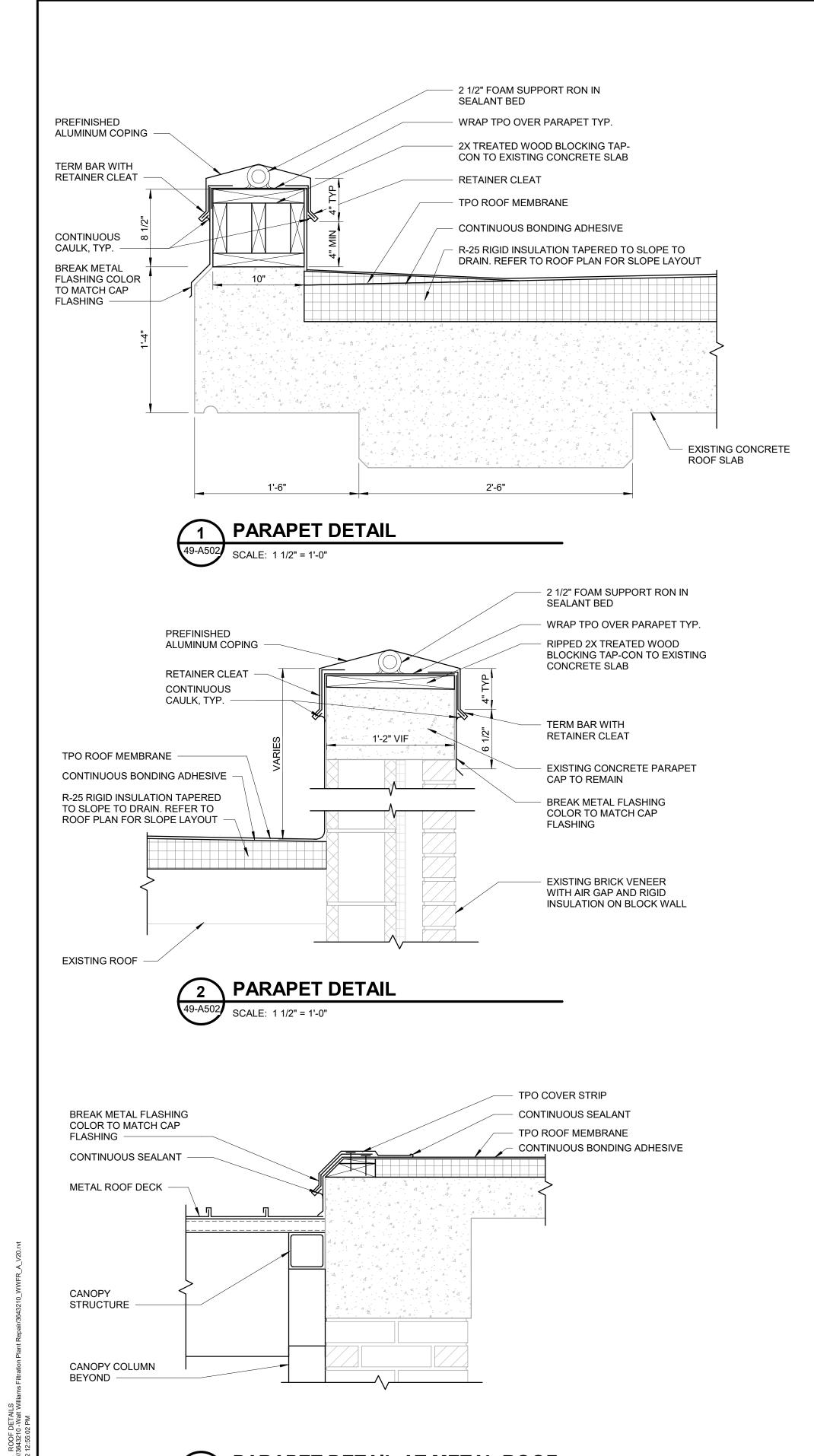


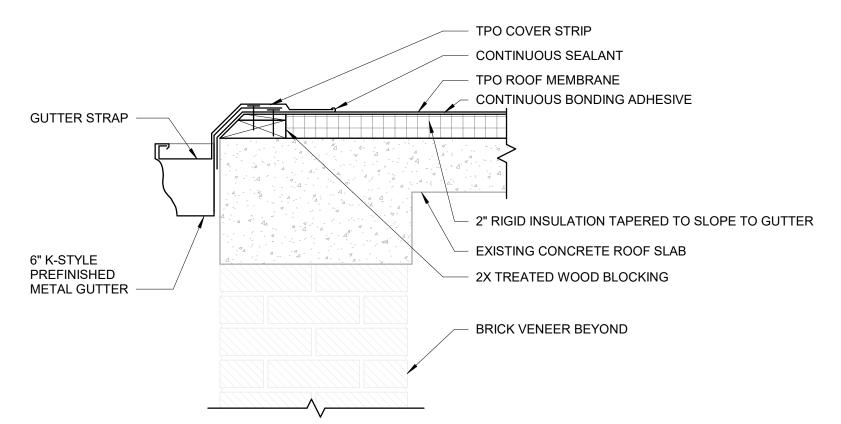
REPAIRS TO THE WALT WILLIAMS FILTRATION PLA

ROO

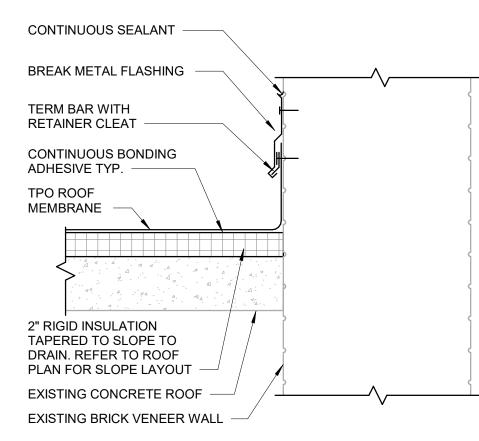
DR CHK DATE: DESCRIPTION:
AGS JKO JULY 2022 ISSUED FOR BID

49-A3U

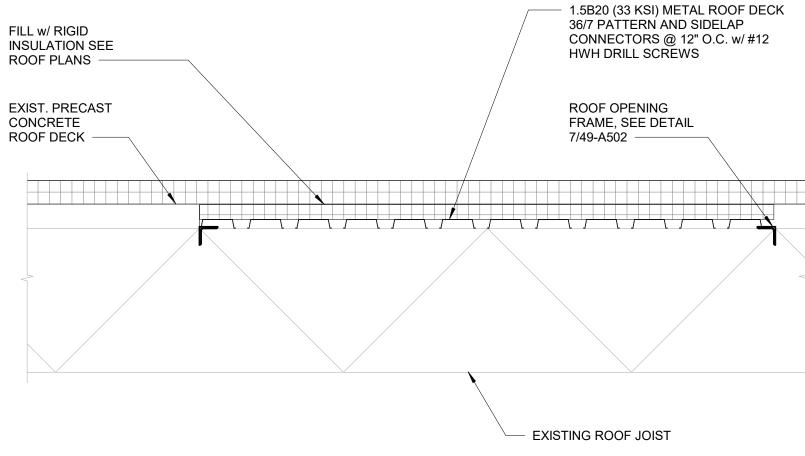




# 4 GUTTER AT CANOPY DETAIL 49-A502 SCALE: 1 1/2" = 1'-0"



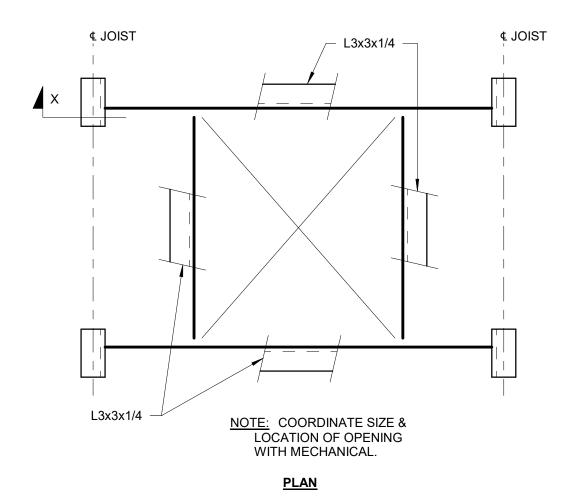


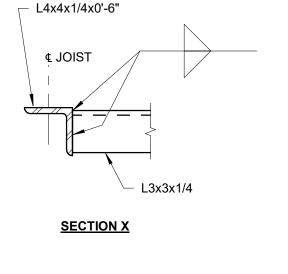


#### NOTES:

- 1. STEEL DECK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF THE STEEL DECK INSTITUTE (SDI).
- 2. STEEL ROOF DECK SHALL BE GALVANIZED (G60).

# 6 ROOF OPENING FILL-IN DETAIL 49-A502 NTS





7 ROOF FRAME DETAIL
49-A502 NTS

REVISION INFORMATION

R CHK DATE: DESCRIPTION:

SS JKO JULY 2022 ISSUED FOR BID

WILL

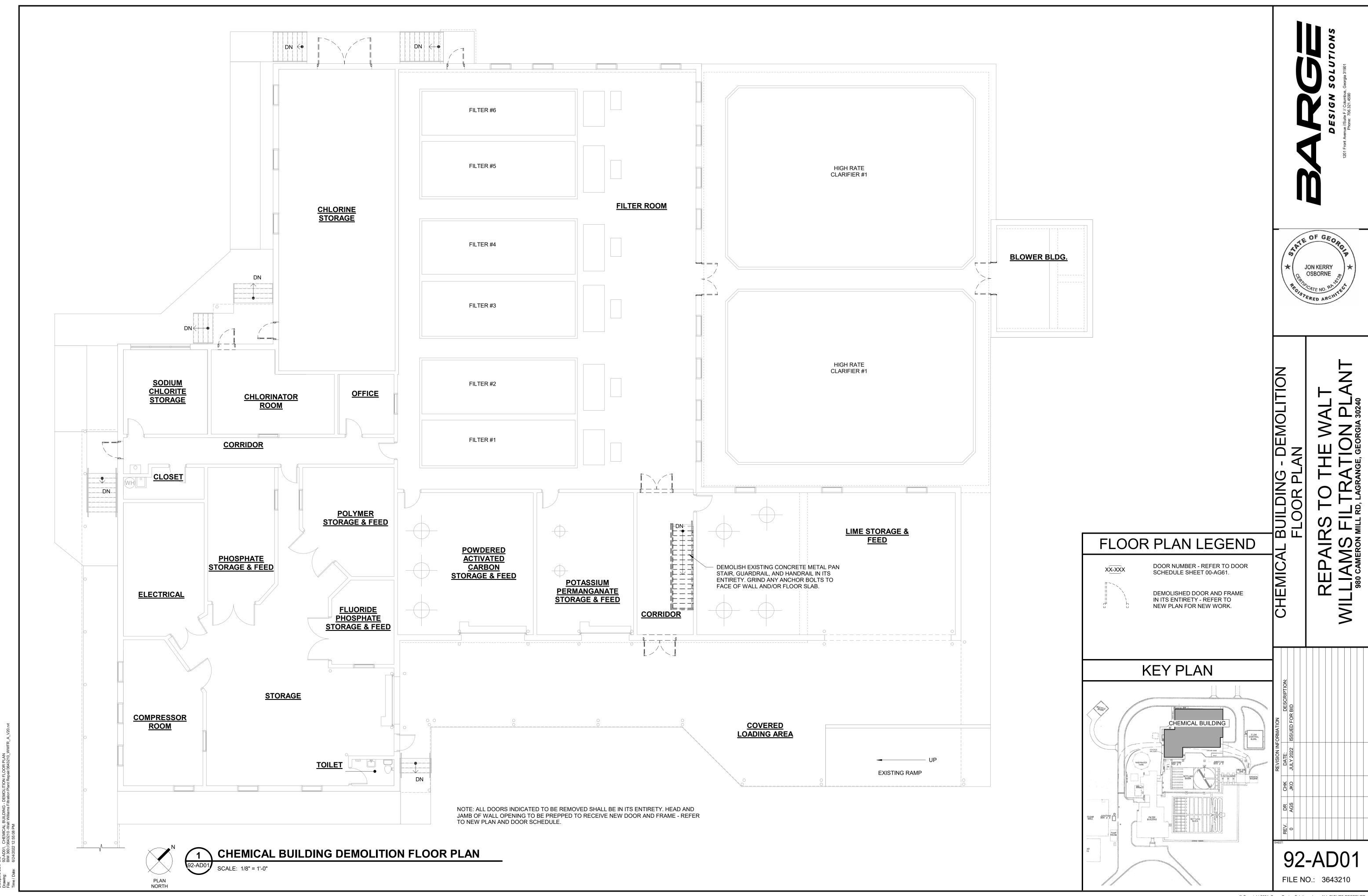
ROO

TE OF GEO

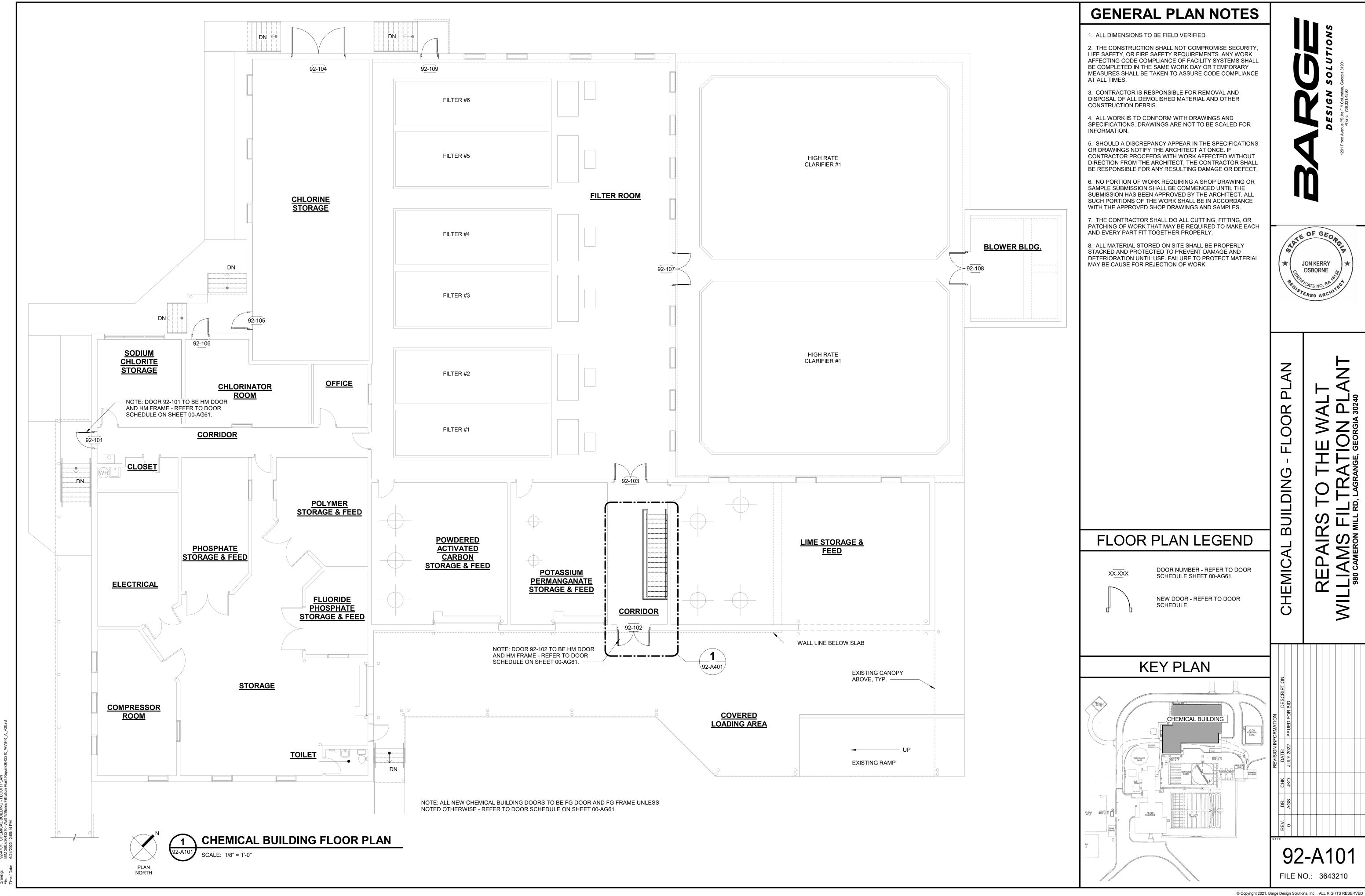
JON KERRY

**OSBORNE** 

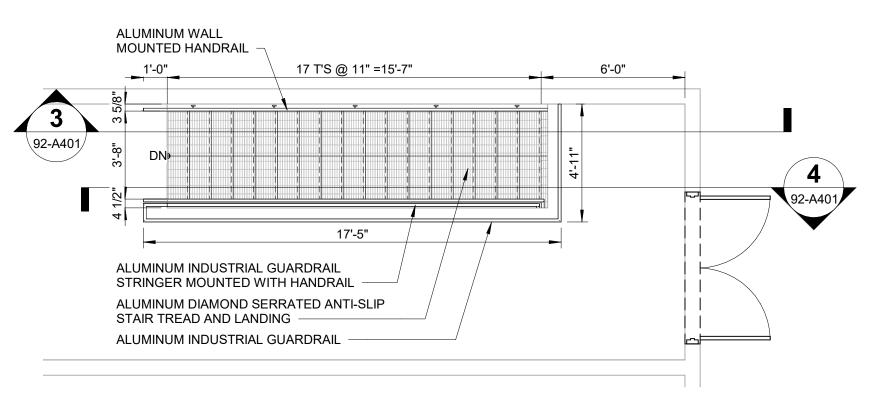
49-A502
FILE NO.: 3643210



© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED

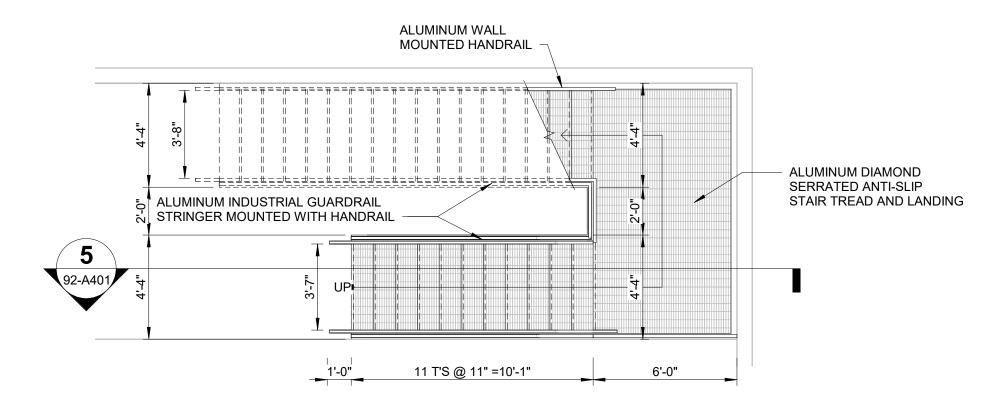


© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED



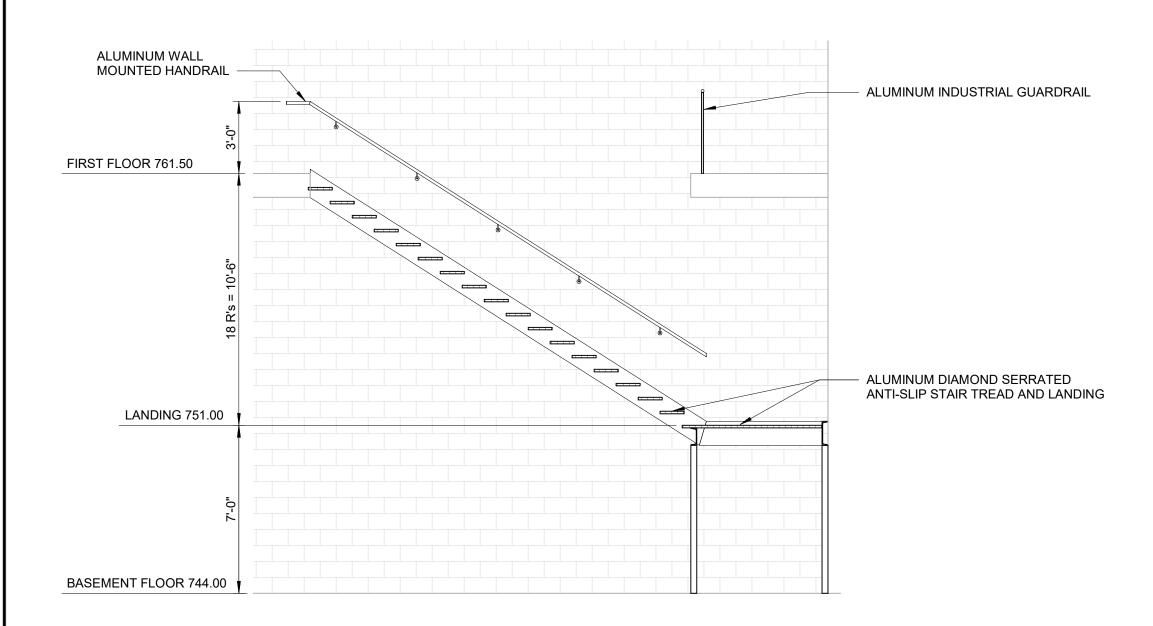
STAIR TO BE DELEGATED DESIGN
 REFER TO 00-AG01 AND 00-AG02 FOR GENERAL ACCESSIBILITY REQUIREMENTS

**TIRST FLOOR STAIR PLAN** 

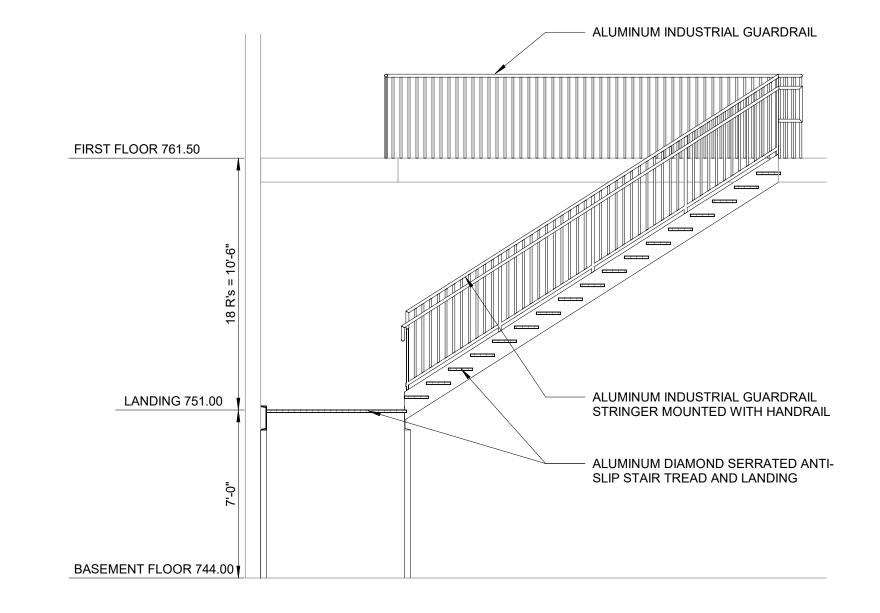


NOTE: 1. STAIR TO BE DELEGATED DESIGN 2. REFER TO 00-AG01 AND 00-AG02 FOR GENERAL ACCESSIBILITY REQUIREMENTS

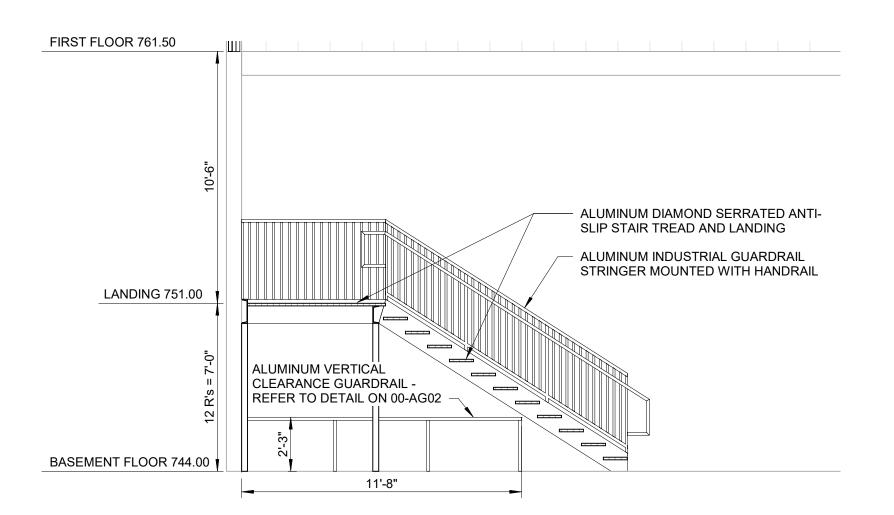
2 BASEMENT FLOOR STAIR PLAN SCALE: 1/4" = 1'-0"

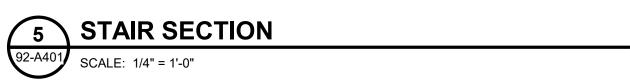


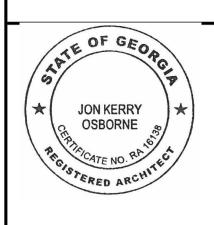












STAIRS

BUILDING

CHEMICAL

NOTE: ALL DOORS INDICATED TO BE REMOVED SHALL BE IN ITS ENTIRETY. HEAD AND JAMB OF WALL OPENING TO BE PREPPED TO RECEIVE NEW DOOR AND FRAME - REFER TO NEW PLAN AND DOOR SCHEDULE.

FLOW CONTROL BUILDING DEMOLITION PLAN

4 1/2" 4'-1 3/8"

1'-0" 6 T's @ 11" = 5'-6" 11" 3'-4"

2. REFER TO AG0-001 AND AG0-002 FOR GENERAL ACCESSIBILITY REQUIREMENTS

DN

ALUMINUM DIAMOND SERRATED ANTI-SLIP STAIR TREAD AND LANDING

ALUMINUM INDUSTRIAL GUARDRAIL

STRINGER MOUNTED WITH HANDRAIL

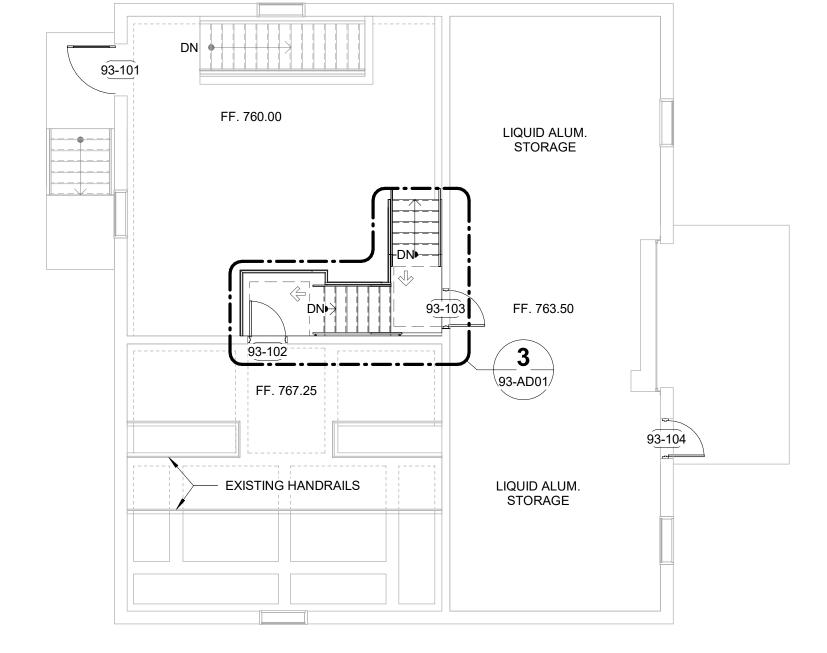
ALUMINUM WALL MOUNTED HANDRAIL

1. STAIR TO BE DELEGATED DESIGN

**FLOW CONTROL STAIR** 

**ALUMINUM WALL** 

MOUNTED HANDRAIL



NOTE: ALL NEW FLOW CONTROL BUILDING DOORS TO BE HM DOOR AND HM FRAME - REFER TO DOOR SCHEDULE ON SHEET 00-AG61.

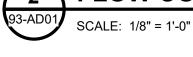




FF. 763.50

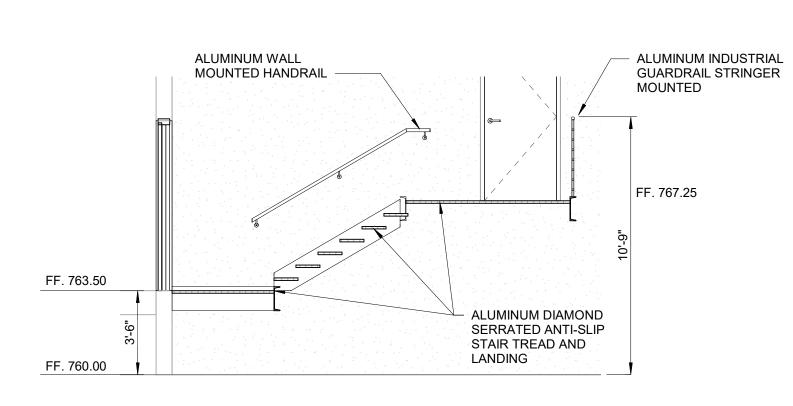
FF. 760.00



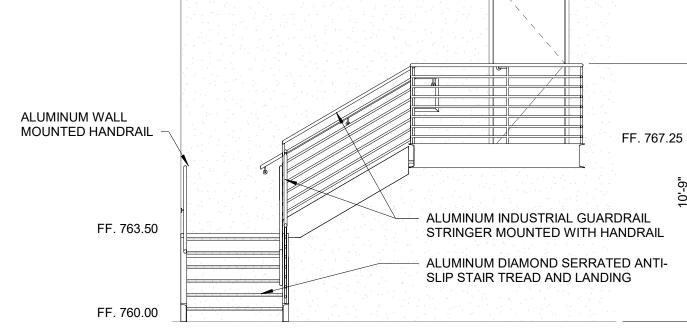


**ALUMINUM WALL** MOUNTED HANDRAIL ALUMINUM DIAMOND SERRATED ANTI-SLIP STAIR TREAD AND LANDING





**STAIR SECTION** 

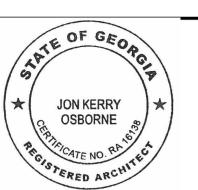


STAIR ELEVATION



- 1. ALL DIMENSIONS TO BE FIELD VERIFIED.
- 2. THE CONSTRUCTION SHALL NOT COMPROMISE SECURITY, LIFE SAFETY, OR FIRE SAFETY REQUIREMENTS. ANY WORK AFFECTING CODE COMPLIANCE OF FACILITY SYSTEMS SHALL BE COMPLETED IN THE SAME WORK DAY OR TEMPORARY MEASURES SHALL BE TAKEN TO ASSURE CODE COMPLIANCE AT ALL TIMES.
- 3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND OTHER CONSTRUCTION DEBRIS.
- 4. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION.
- 5. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS NOTIFY THE ARCHITECT AT ONCE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT DIRECTION FROM THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RESULTING DAMAGE OR DEFECT.
- 6. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
- 7. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE EACH AND EVERY PART FIT TOGETHER PROPERLY.
- 8. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.





AND NEW

#### FLOOR PLAN LEGEND

XX-XXX

DOOR NUMBER - REFER TO DOOR SCHEDULE SHEET 00-AG61

NEW DOOR - REFER TO DOOR SCHEDULE

DEMOLISHED DOOR AND FRAME IN ITS ENTIRETY - REFER TO NEW PLAN FOR NEW WORK.

**KEY PLAN** 

93-AD01 FILE NO.: 3643210

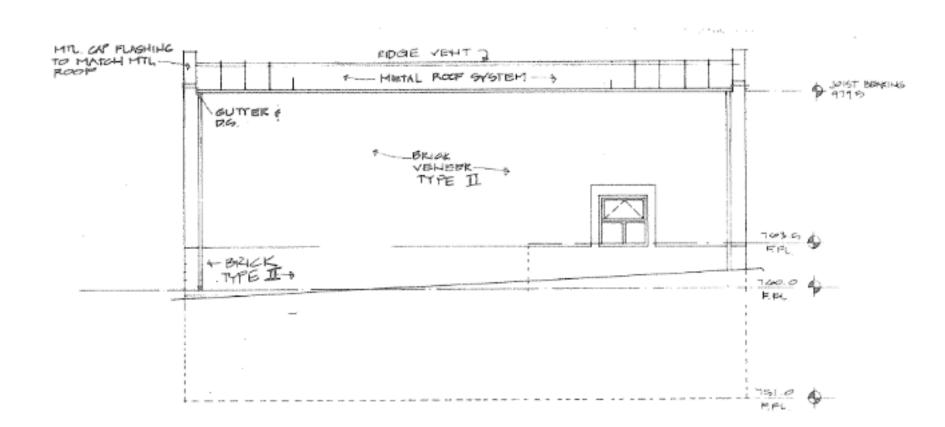
© Copyright 2021, Barge Design Solutions, Inc. ALL RIGHTS RESERVED



PLAN

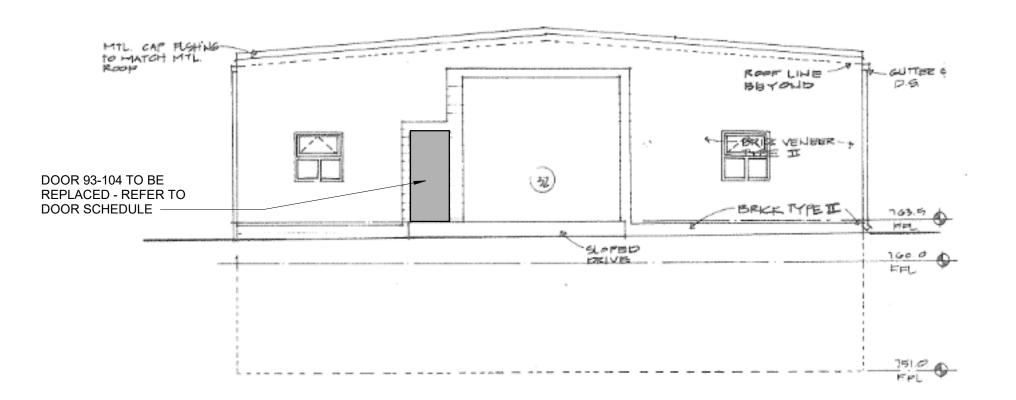
NOTE: EXISTING DOOR AND FRAME TO BE REMOVED IN ITS ENTIRETY. HEAD AND JAMB OF EXISTING WALL OPENING TO BE PREPPED TO RECEIVE NEW DOOR AND FRAME - REFER TO DOOR SCHEDULE SHEET 00-AG61.





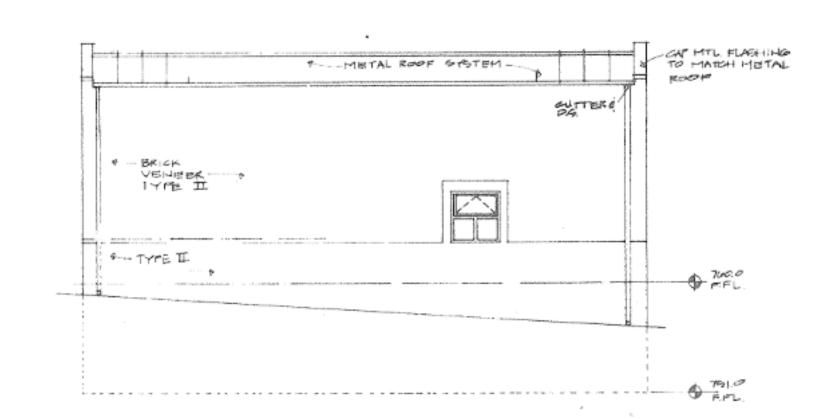
NOTE: ELEVATION FOR REFERENCE ONLY





NOTE: EXISTING DOOR AND FRAME TO BE REMOVED IN ITS ENTIRETY. HEAD AND JAMB OF EXISTING WALL OPENING TO BE PREPPED TO RECEIVE NEW DOOR AND FRAME - REFER TO DOOR SCHEDULE SHEET 1-AG-61.



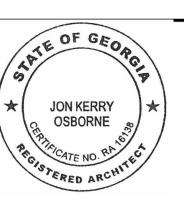


NOTE: ELEVATION FOR REFERENCE ONLY



DESIGN SOLUTIONS

1201 Front Avenue //Suite F // Columbus, Georgia 31901
Phone: 706,321,4590



**ELEVATIONS** 

BUILDING

REPAIRS TO THE WALT
WILLIAMS FILTRATION PLANT
980 CAMERON MILL RD, LAGRANGE, GEORGIA 30240

CHK DATE: DESCRIPTION:

JKO JULY 2022 ISSUED FOR BID

93-A201