

INDIAN RIVER COUNTY ADMINISTRATION COMPLEX ALTERATIONS TO BUILDING 'A'

FOR

BUILDING / FIRE DEPARTMENTS

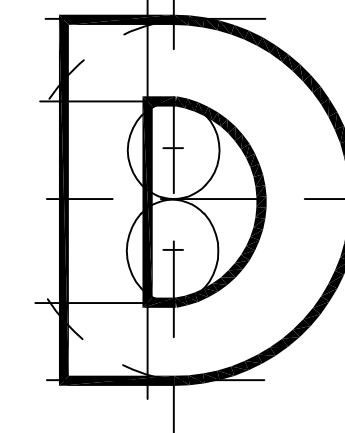
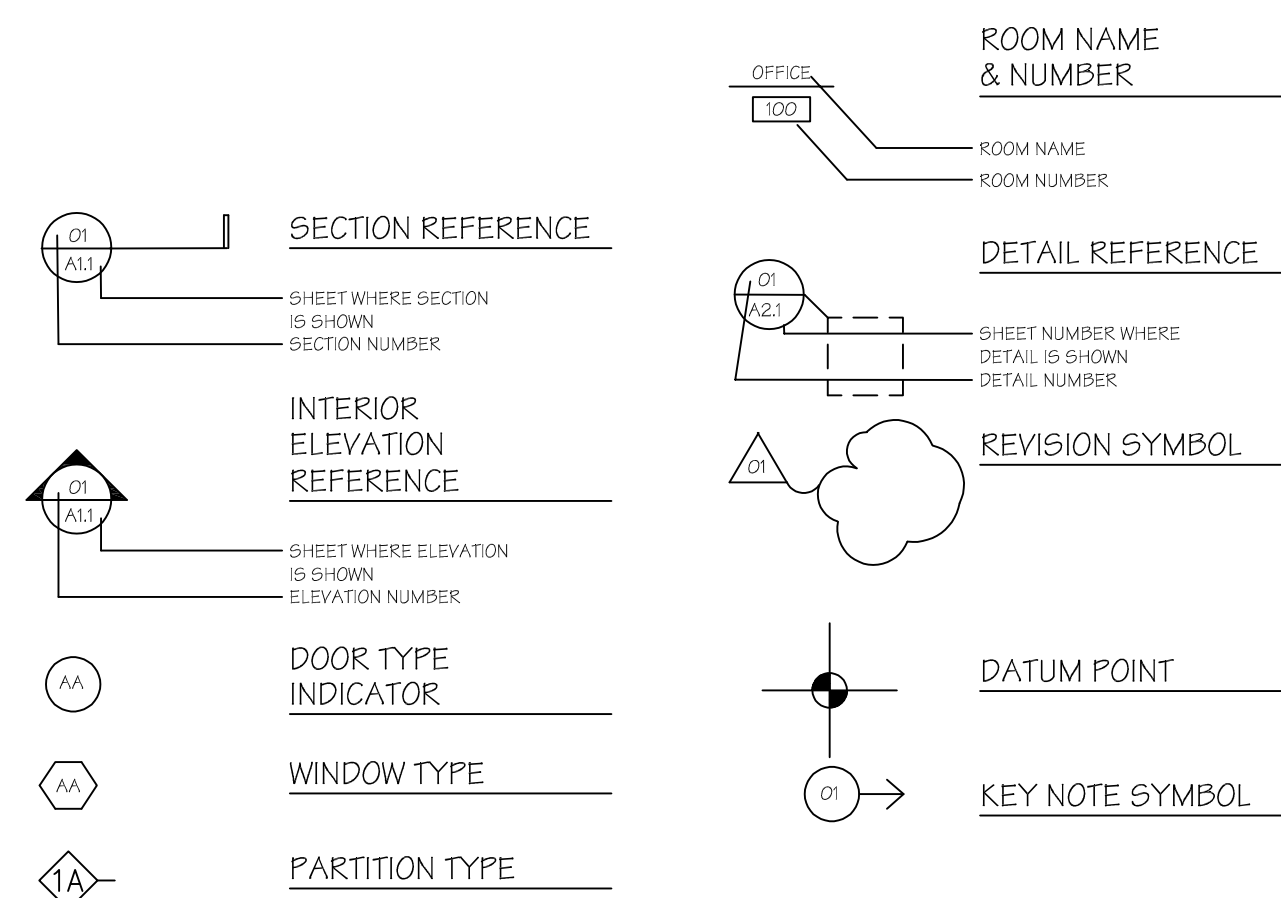
1801 27th STREET, VERO BEACH, FLORIDA 32960

AUGUST 23, 2020

BID SET

IRC BID NO. 2020057

ARCHITECTURAL SYMBOLS



DONADIO

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MECHANICAL & ELECTRICAL ENGINEER

KAMM CONSULTING, INC.

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Ft. Pierce, FL 34950
Tel.: 772/595-1744
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INDEX OF DRAWINGS

I/O	Dwg. No	Drawing Name
<input checked="" type="checkbox"/>	A0.10	COVER SHEET / INDEX OF DRAWINGS

ARCHITECTURAL DRAWINGS

I/O	Dwg. No	Drawing Name
<input checked="" type="checkbox"/>	A1.10	LIFE SAFETY PLAN
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MECHANICAL DRAWINGS

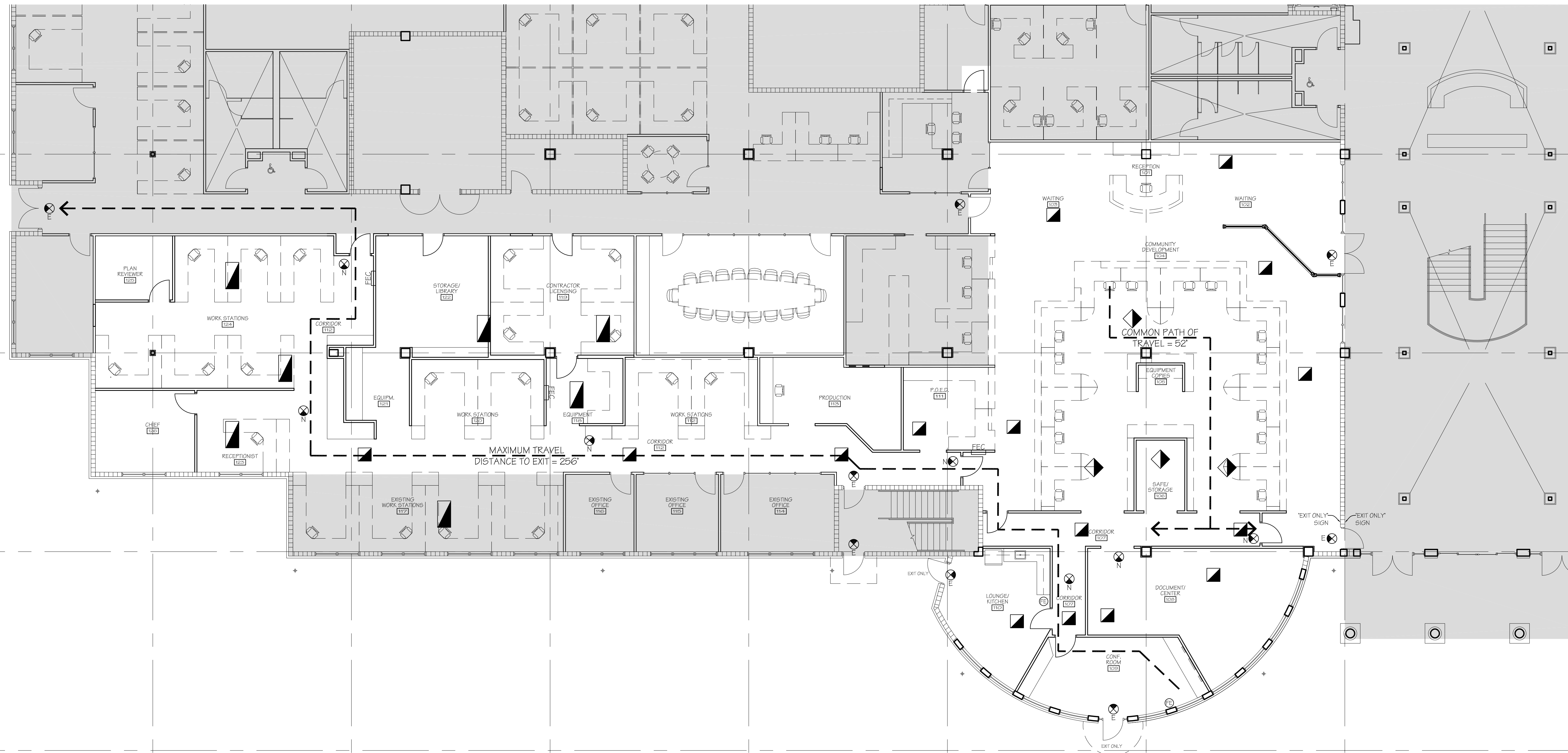
I/O	Dwg. No	Drawing Name
<input checked="" type="checkbox"/>	M0.1	MECHANICAL NOTES
<input checked="" type="checkbox"/>	M2.1	MECHANICAL PLAN
<input checked="" type="checkbox"/>	M6.1	MECHANICAL SCHEDULES

ELECTRICAL DRAWINGS

I/O	Dwg. No	Drawing Name
<input checked="" type="checkbox"/>	E0.1	ELECTRICAL NOTES
<input checked="" type="checkbox"/>	E2.1	LIGHTING PLAN
<input checked="" type="checkbox"/>	E3.1	POWER PLAN

PLUMBING DRAWINGS



I/O	Dwg. No	Drawing Name
<input checked="" type="checkbox"/>	P0.1	PLUMBING NOTES
<input checked="" type="checkbox"/>	P2.1	SANITARY PLAN
<input checked="" type="checkbox"/>	P3.1	DOMESTIC WATER PLAN









01 LIFE SAFETY PLAN

Scale: 1/8"=1'-0"

CONSTRUCTION LEGEND

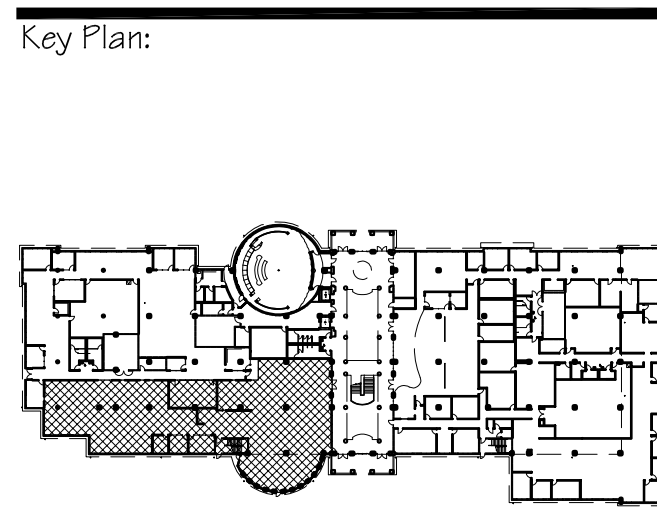
-  - NOT INCLUDED IN THE CONTRACT UNLESS OTHERWISE NOTED
-  - AREA TO BE REMODELED

LIFE SAFETY LEGEND

-  - 2x4 RECESSED LED LIGHT FIXTURE W/ EMERGENCY BATTERY PACK
-  - EXISTING EXIT SIGN W/ BATTERY BACKUP
-  - NEW EXIT SIGN W/ BATTERY BACKUP
-  - FIRE EXTINGUISHER - BRACKET MOUNTED (TYPE 2-A-10B-C) (MIN. 6.8 Kg / 15 lb. AGENT CAPACITY)
-  - FIRE EXTINGUISHER - CABINET MOUNTED (TYPE 2-A-10B-C) (MIN. 6.8 Kg / 15 lb. AGENT CAPACITY)
-  - LIFE SAFETY TRAVEL DISTANCES

Project:
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Issues:
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 A. 08-23-20 BID SET

Architect:



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Consultant:

Drawing Title:
LIFE SAFETY PLAN



Dwg. File:	JEM
Plot File:	XREF
Project No.:	HC
Plot File:	2019-48
Sheet No.:	

Cert. No.: 12,456
 Date Signed: _____ A1.10

CODE REVIEW FOR RENOVATIONS TO THE COMMUNITY DEVELOPMENT/BUILDING DEPARTMENT BUILDING "A" AT THE INDIAN RIVER COUNTY ADMINISTRATION COMPLEX, 1801 27TH STREET, VERO BEACH, FLORIDA 32960 ARCHITECT'S PROJECT #2019-48/2 DATE: AUGUST 4, 2020

SCOPE OF WORK

The Project involves Complete Interior Renovation of the Building and Fire Department areas of the Community Development office location. Expansion into and taking over the existing Deli Area. Re arranging the functions of the Departments to provide better function and flow. Rearranging areas to provide better customer service, add working space, security, and employee protection. Demolition of existing areas to accommodate the new floor plan and layout. This involves new walls, ceilings, finishes and mechanical, electrical, and plumbing work. This project will need to be conducted in phases in order to keep the office functions running during regular business hours. This project will also involve night and weekend work to accomplish the phasing and operation.

A. The Demolition Work consist of the following:

- i) Demolition of existing Gypsum Board/Metal Stud partitions.
- ii) Salvaging existing Doors for possible re-use.
- iii) Removal of the existing Ceiling Tile grid and Acoustical tiles.
- iv) Removal of existing Fluorescent fixtures and safely securing all associated electrical wiring.
- v) Removal of all Electrical Outlets. Secure and cap-off at service.
- vi) Remove all Floor finishes, Carpet, VCT, and Porcelain Tile.
- vii) Remove all Kitchen fixtures, Cabinets Equipment, Appliances and work surfaces.
- viii) American Business Interiors will be responsible for dis-assembling all Modular Furniture (workstations), storing and subsequently re-assembling the Modular furniture to comply with the new layout. The General Contractor will be responsible to terminate all Electrical systems, Power, Telephone and Data associated with the original layout.
- ix) Remove/modify existing Water/Plumbing lines in existing Kitchens.
- x) Remove existing Shelving, Cabinets and work surfaces for possible re-use.
- xi) Modify existing Electrical installation for proposed renovations per Kamm Consulting Drawings.
- xii) Modify existing HVAC installation per Kamm Consulting Drawings.
- xiii) Modify existing Plumbing per Kamm Consulting Drawings.

B. The New Renovation Work is as follows:

- i) There are three (3) existing Offices and four (4) existing Workstations that are to remain in place. See Architects Sheet A2.10 for location. In these locations' removal of all Flooring, Ceiling grid, etc. still applies, but stud partitions and modular furniture remain intact.
- ii) New Acoustical Ceiling Tile and grid throughout.
- iii) New Light fixtures, switches, power outlets and Data ports (See Kamm Consulting Drawing).
- iv) New 1 5/8" x 3 5/8" Galvanized Metal Studs, 25ga spaced 24" o.c. (max) with Acoustical Batts insulation and 5/8" Drywall both sides constructed from Floor to 12" (min) above Acoustical Tile Ceiling.
- v) Interior painting throughout.
- vi) Vinyl base to match existing.
- vii) Carpet Tile /Porcelain Tile where indicated.
- viii) VCT where indicated.
- ix) Re-used Doors/new Doors to match existing.
- x) Modified existing HVAC to accommodate renovation.
- xi) New lighting, power, plumbing and data where required.
- xii) Patch and repair existing Concrete Floor slab as required.
- xiii) Existing Ceiling mounted Data equipment to be removed and re-installed.
- xiv) Redesign existing Automatic Fire Sprinkler System to cover proposed renovation.
- xv) Add two new Metal Exterior Canopies over the Door exiting from Stair #3 and Exit Door from the current Café.
- xvi) Existing Automatic Fire Sprinkler System to be modified to suite new Floor layout.

The existing Building Construction appears to be FBC Type II; Sprinklered and NFPA 220 Type II (000). The proposed Construction will match the existing i.e. non-combustible.

This Project is considered a Level 2-Alteration.

REFERENCE CODES

- Florida Building Code 2017 – Building
- Florida Building Code 2017 – Existing Buildings
- Florida Building Code 2017 – Accessibility
- Florida Building Code 2017 – Plumbing
- Florida Building Code 2017 – Energy
- Florida Building Code 2017 – Mechanical
- Florida Fire Prevention Code 2017 – 6th Edition
- NEC NFPA 70 2014

CODE REVIEW

1) ALTERATION LEVEL 1 COMPLIANCE

FBC 801.2; 801.3; NFPA 101; 4.6.7 (5)

All work associated with the Project will comply with Chapter 7 and Chapter 8 of FBC 2017 Existing Buildings and FBC 2017 – Building and NFPA 101.

2) SPECIAL USE AND OCCUPANCY

FBC 802.1; FBC 2017-Building CH.4; LSC 39.1

N/A

3) BUILDING ELEMENTS AND MATERIALS

FBC 803

i) Vertical Openings/Existing Vertical Openings

FBC 803.2; 803.2.1

The existing Elevator is not affected by the proposed alterations.

ii) Supplemental Shaft and Floor Opening Requirements

FBC 803.2.2

N/A (Work area does not exceed 50% of Floor area)

iii) Supplemental Stairway Enclosure Requirements

FBC 803.2.3; N/A (Work area does not exceed 50% of Floor area)

iv) Interior Finish

FBC 803.4; FBC 2017-Building; FBC TABLE 803.11; LSC 10.2; 39.3.3.2.2

All Interior Wall and Ceiling finishes to comply with the Table below:

BUSINESS OCCUPANCY (GROUP "B") SPRINKLERED		
Interior Exit Stairways And Ramps & Exit Passageways	Corridors and Enclosures for Exit Access Stairways and Ramps	Rooms and Enclosed Space
		B

Class B Interior Finish: Flame Spread Index 26-75; Smoke Developed Index 0-450

v) Interior Floor Finish

FBC 2017-Building; FBC 804; 804.4.2; LSC No Requirements

The minimum critical radiant flux for new floor finishes shall not be less than Class II.

vi) Fire-Resistance Ratings

FBC 803.6; FBC 2017-Building 1020; FBC Table 1020.1

Occupant load > 30; Building protected with an Automatic Fire Sprinkler System – No Corridor rating required.

4) FIRE PROTECTION

FBC 804

i) Corridor Ratings

FBC 804.1.1; FBC 2017 CH.10; TABLE 1020.01; LSC 39.3.6 (No Requirements)

The Building is protected by an Automatic Fire Sprinkler System. No Corridor rating required.

ii) Automatic Sprinkler Systems

FBC 804.2; FBC 2017-Building; FBC CH.9

The existing Building is protected by an Automatic Fire Sprinkler System.
Current Building Department Area = 11,500 sq. ft.
Current Occupant Load; 11,500 sq. ft. ÷ 100 = 115 Occupants

iii) Fire Extinguishers

FBC 2017-Building; FBC 906.1

See Life Safety Plan for locations.

iv) Additional Occupant Load

FBC TABLE 1004.1.2; LSC 39.1.7; FBC 2017-Building

Based on Use and Occupancy type there will be no additional Occupants.

v) Fire Alarm and Detection

FBC 804.4; FBC 2017-Building; FBC 907; LSC 39.3.4

The existing Fire Alarm and Detection system will be adjusted to include the renovation.

i) MEANS OF EGRESS

FBC 805; LSC 39.2.4

i) Number of Exits

FBC 805.3; 805.4.1; FBC 2017-Building; FBC 1006; LSC 39.2.4

ii) Existing Exits

a) Existing number of Means of Egress (discharge directly to the exterior) = 4

b) Number of Exits required based on Occupant Load and Travel Distance

FBC 2017-Building; FBC 1006.2.1; FBC TABLE 1006.2.1

i) Existing Occupant Load = 115
115 > 49 – Single Exit not permitted

c) Maximum Travel Distance to Exit

FBC 805.4.1.1; FBC 2017-Building; LSC 39.2.6.3

a) Maximum Travel Distance to Exit permitted = 300'
b) Actual maximum Travel Distance to an Exit (See Life Safety Plan) = 256'

iii) Illumination of Means of Egress

FBC 1008; LSC 7.8; 39.2.8

i) Illumination Required

FBC 2017-Building; FBC 1008.2; LSC 39.2.8

The Means of Egress, including Exit Discharge, will be illuminated at all times during Building Occupancy.

ii) Illumination Level Under Normal Power

FBC 1008.2.1

The Means of Egress Illumination Level shall not be less than 1 Footcandle (11 LUX) at the walking surface.

iii) Emergency Power for Illumination

FBC 1008.3; LSC 39.2.9

An Emergency Power Supply will be provided to illuminate all Means of Egress components. The Emergency supply will provide power for a minimum of 90 minutes and will consist of storage batteries, Unit equipment or an on-site Generator.

6) ACCESSIBILITY

FBC 806; FBC 2017 – ACCESSIBILITY

The work surface/sink in the Lounge/Kitchen will be located 34" AFFL. The existing /new modular workstations will be provided with an accessible height section.

7) STRUCTURAL

FBC 807

Aluminum Canopy to be designed to resist wind load criteria as follows:

Exposure C,
160MPH
Risk Category II.

Provide shop drawings signed and sealed by a Florida registered Structural Engineer.

8) ELECTRICAL

FBC 808

All new wiring, Electrical equipment etc. in the work areas will comply with NFPA 70.

9) MECHANICAL

FBC 809

All new Mechanical appliances and equipment to comply with the Florida Building Code, Mechanical.

10) PLUMBING

FBC 810

The proposed renovation does not increase the existing Occupant content for the Departments. No additional Plumbing fixtures are required.

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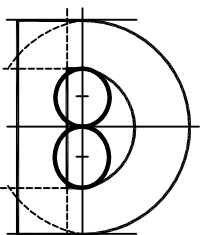
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CODE REVIEW

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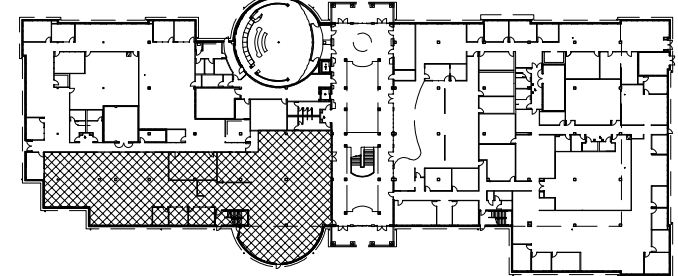
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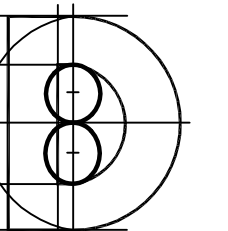
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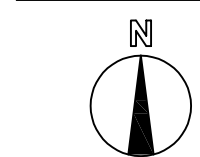
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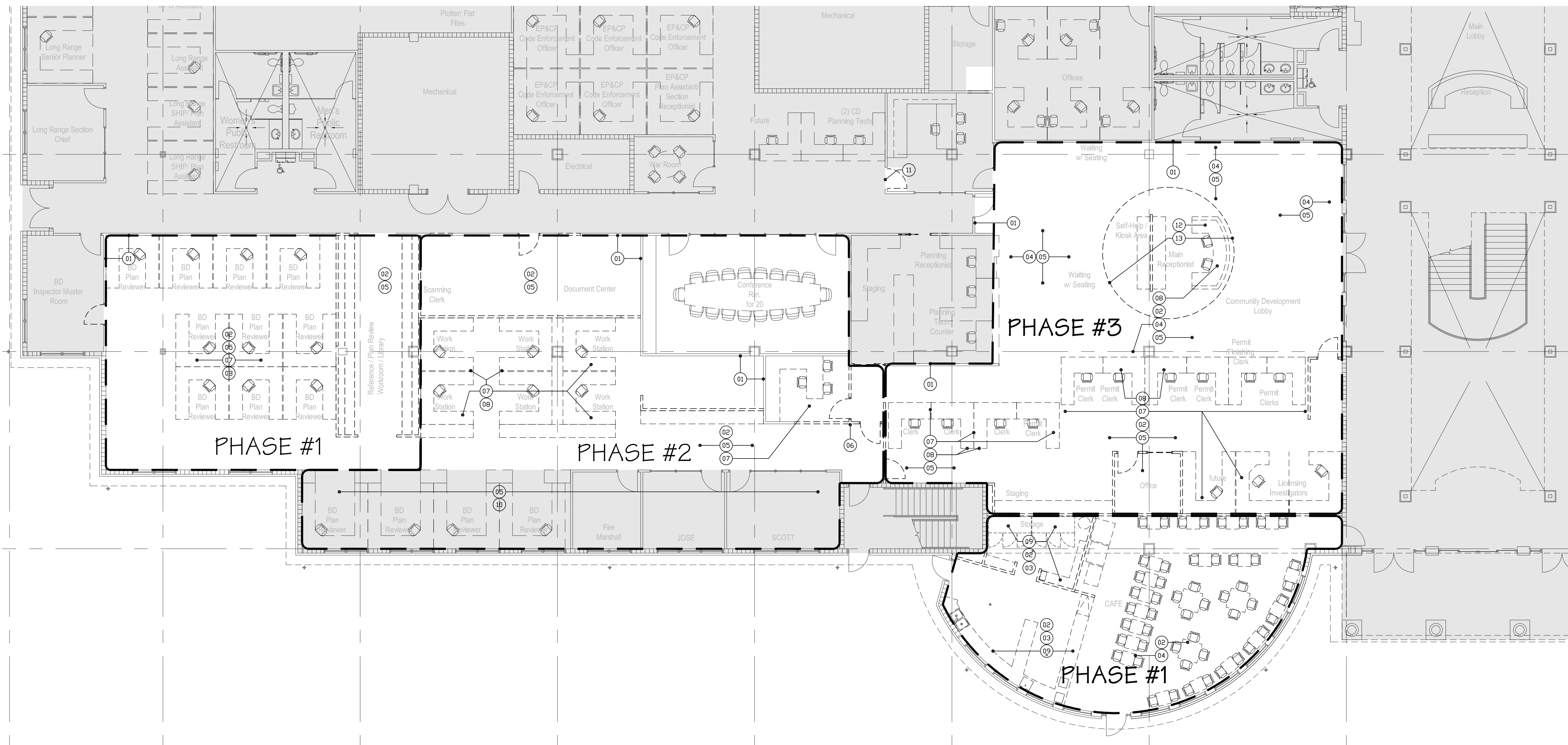
DEMOLITION PHASING PLAN



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Chk:	JREF	XREF File:	
	HC	Project No.:	Plot File:
	2019-48		
		Sheet No.:	

Cert. No.: 12,456

Date Signed: A2.10



01 DEMOLITION PHASING PLAN

Scale: 1/8"=1'-0"

KEYED DEMOLITION NOTES

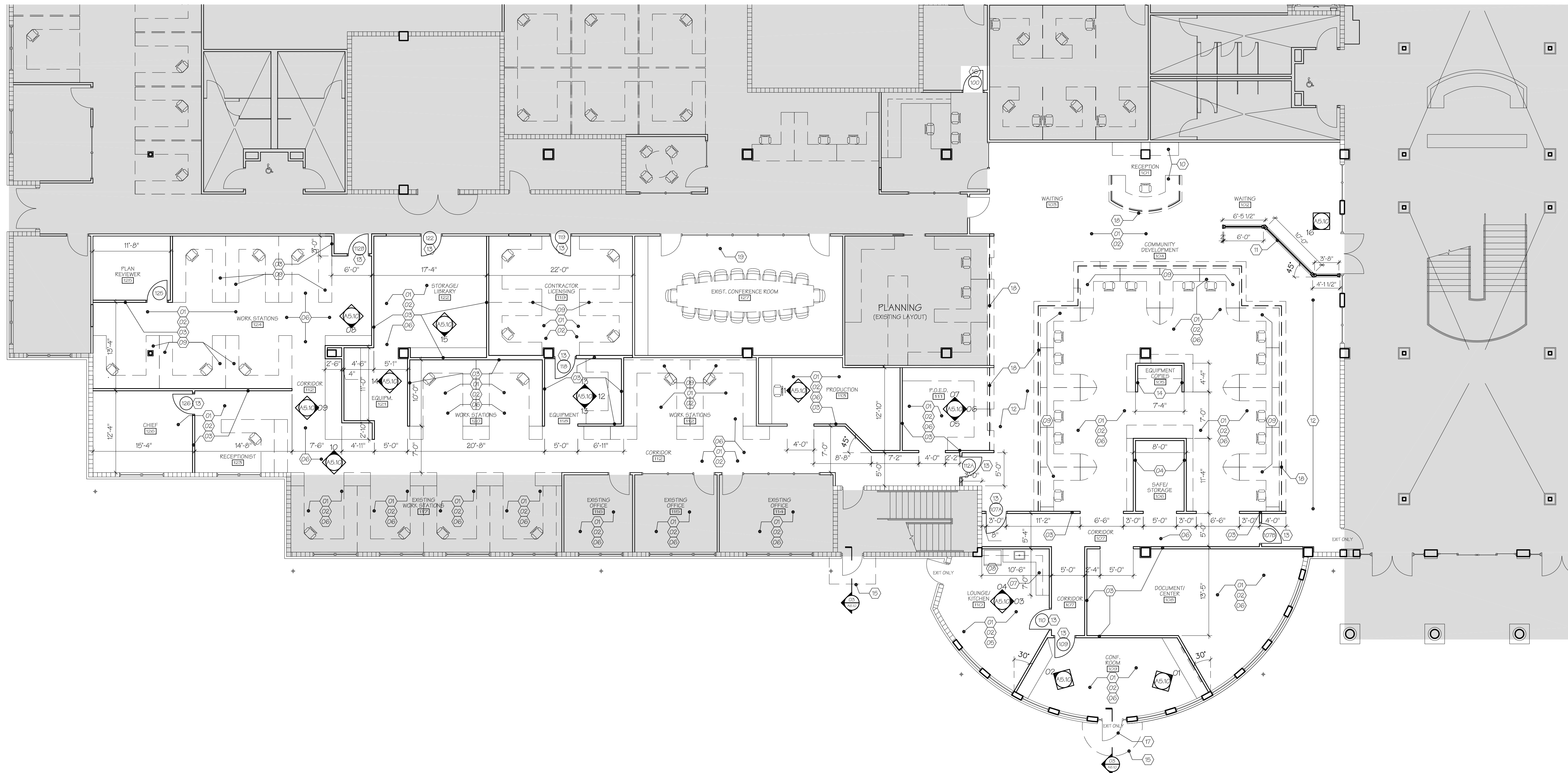
- 01 EXISTING METAL STUD PARTITIONS TO REMAIN.
- 02 REMOVE EXISTING CEILING GRID, ACOUSTICAL, TILES, LIGHT FIXTURES AND AIR CONDITIONING GRILLS AND EXPOSE THE EXISTING HVAC DUCTWORK AND FIRE SPRINKLER PIPEWORK ETC. SALVAGE AND STORE ALL EXISTING LIGHT FIXTURES FOR OWNER'S USE.
- 03 REMOVE EXISTING QUARRY TILE FLOORING AND BASE. REPAIR CONCRETE SLAB AS NECESSARY TO RECEIVE NEW CARPET FLOORING. REMOVE ALL DEBRIS FROM SITE.
- 04 REMOVE EXISTING PORCELAIN TILE FLOORING AND BASE. REPAIR CONCRETE SLAB AS NECESSARY TO RECEIVE NEW CARPET FLOORING. REMOVE ALL DEBRIS FROM SITE.
- 05 REMOVE EXISTING CARPET / CARPET TILE FLOORING AND BASE. REPAIR CONCRETE SLAB AS NECESSARY TO RECEIVE NEW CARPET TILE FLOORING. REMOVE ALL DEBRIS FROM SITE.
- 06 DEMOLISH EXISTING GYPSUM BOARD, INSULATION, METAL STUD PARTITIONS AND ANY FIXED GLAZING. REMOVE DEBRIS FROM SITE.
- 07 DISASSEMBLE EXISTING MODULAR FURNITURE AND STORE SAFE FOR RE-USE AT THE OWNER'S DIRECTION (NIC - BY OTHERS)
- 08 DISCONNECT, REMOVE OR SAFE TERMINATE ALL POWER RECEPTACLES, DATA PORTS AND TELEPHONE LINES ASSEMBLIES WITH THE MODULAR FURNITURE.
- 09 REMOVE ALL UPPER AND LOWER CABINETS, STORAGE CLOSETS AND STAINLESS STEEL SINKS. CAP OFF ALL ASSOCIATED PLUMBING LINES, ELECTRICAL OUTLETS AND ANY GAS LINES. STORE SINKS FOR OWNER'S USE.
- 10 EXISTING OFFICE AND WORK STATIONS TO REMAIN. REMOVE ALL CEILING GRIDS, ACOUSTICAL TILE, LIGHT FIXTURES AND CARPET. STORE LIGHT FIXTURES FOR OWNER'S USE.
- 11 EXISTING DOOR / DOOR FRAME AND HARDWARE TO BE REMOVED FOR FUTURE USE.
- 12 REMOVE EXISTING RECEPTION DESK AND SELF-HELP/KIOSK, STORE SAFE FOR FUTURE USE.
- 13 DEMOLISH THE EXISTING CIRCULAR DROPPED CEILING LOCATED ABOVE THE LOBBY RECEPTION DESK.

GENERAL DEMOLITION NOTES

- 01 VERIFY ALL DIMENSIONS AND SITE CONDITIONS IN THE FIELD.
- 02 ADDITIONAL CONCRETE SLAB REMOVAL WILL BE REQUIRED FOR NEW PLUMBING WORK. REFER TO KAMM CONSULTING DRAWINGS FOR LOCATIONS AND INFORMATION.
- 03 ALL DEMOLISHED MATERIAL AND EQUIPMENT TO BE REMOVED FROM SITE WITH THE EXCEPTION OF THOSE ITEMS SCHEDULED FOR RE-USE BY THE OWNER.

CONSTRUCTION LEGEND

- NOT INCLUDED IN THE CONTRACT UNLESS OTHERWISE NOTED
- AREA TO BE REMODELED
- DEMOLITION/CONSTRUCTION PHASES



01 PROPOSED FLOOR PLAN

Scale: 1/8"=1'-0"

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KEYED NOTES

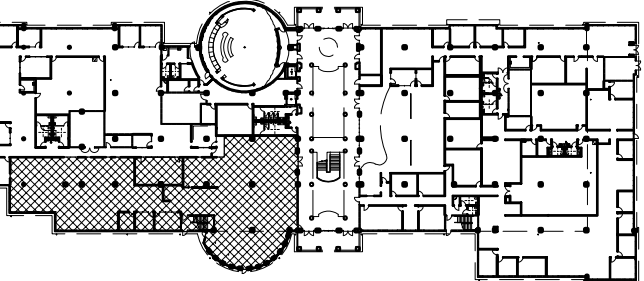
- 01 NEW ACOUSTICAL TILE CEILING AND GRIP, NEW LIGHT FIXTURES, HVAC GRILLES AND MODIFY EXISTING FIRE SPRINKLER SYSTEM TO COVER/SUIT REVISED FLOOR LAYOUT. HVAC DUCTWORK TO BE MODIFIED AS NECESSARY TO SUIT REVISED FLOOR PLAN. (SEE KAMM CONSULTING MEP DRAWINGS/SPECIFICATIONS).
- 02 NEW LIGHTING, POWER, HVAC AND DATA OUTLETS (SEE KAMM CONSULTING MEP DRAWINGS/SPECIFICATIONS FOR SPECIFICS).
- 03 NEW DRYWALL/METAL STUD PARTITION; 1-5/8" X 3-5/8" GALVANIZED METAL STUDS 25 GAUGE AT 24" O.C. (MAX) WITH ACOUSTICAL BATTS INSULATION AND 5/8" DRYWALL BOTH SIDES CONSTRUCTED FROM FLOOR LEVEL AND CAPPED OF 12" ABOVE THE DROPPED CEILING.
- 04 NEW 6'-6" HIGH METAL STUD PARTITION. SEE ITEM 3 ABOVE FOR CONSTRUCTION DETAILS
- 05 NEW VCT FLOORING
- 06 NEW CARPET TILE FLOORING
- 07 NEW UPPER AND LOWER KITCHEN CABINETS AND STAINLESS STEEL SINK.
- 08 REFRIGERATOR BY OWNER
- 09 NEW OR RE-USED MODULAR WORK STATIONS. INSTALLATION BY AMERICAN BUSINESS INTERIORS (ABI). PROVIDE POWER, TELEPHONE AND DATA OUTLETS TO ALL WORK STATIONS. SEE KAMM CONSULTING MEP DRAWINGS
- 10 EXISTING RECEPTION DESK AND STORAGE CABINETS RELOCATED.
- 11 NEW 6'-6" HIGH STOREFRONT PARTITION, KAWNEER RESCO WITH 2X6X4" ALUMINUM MULLIONS AFFIXED TO SLAB W/ CONCEALED U BRACKET AND TO BAR JOISTS ABOVE WITH MISCELLANEOUS STEEL. SAFETY GLASS WITH FROSTED LOGO ON CENTER PANEL. SUBMIT SHOP DRAWINGS FOR APPROVAL.
- 12 NEW PORCELAIN TILE FLOOR
- 13 NEW 3'-0" X 7'-0" X 1-3/4" FULLY GLAZED DOOR. HARDWARE, COLOR AND FINISH TO MATCH EXISTING.
- 14 NEW 3'-6" HIGH METAL STUD PARTITION. SEE ITEM 3 ABOVE FOR CONSTRUCTION DETAILS
- 15 NEW ALUMINUM CANOPY OVER EXISTING DOOR WITH POWDERCOAT FINISH
- 16 EXISTING DOOR & HARDWARE RE-USED IN NEW LOCATION
- 17 PROVIDE EXTERIOR SWEEP AT EXISTING EXTERIOR DOOR
- 18 PROVIDE SECURITY GLASS FROM TOP OF COUNTER TO THE CEILING
- 19 PROVIDE NEW ELECTRICAL, POWER AND HVAC. SEE KAMM CONSULTING DRAWINGS.

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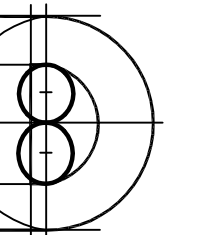
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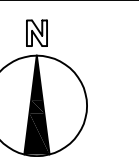
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PROPOSED FLOOR PLAN

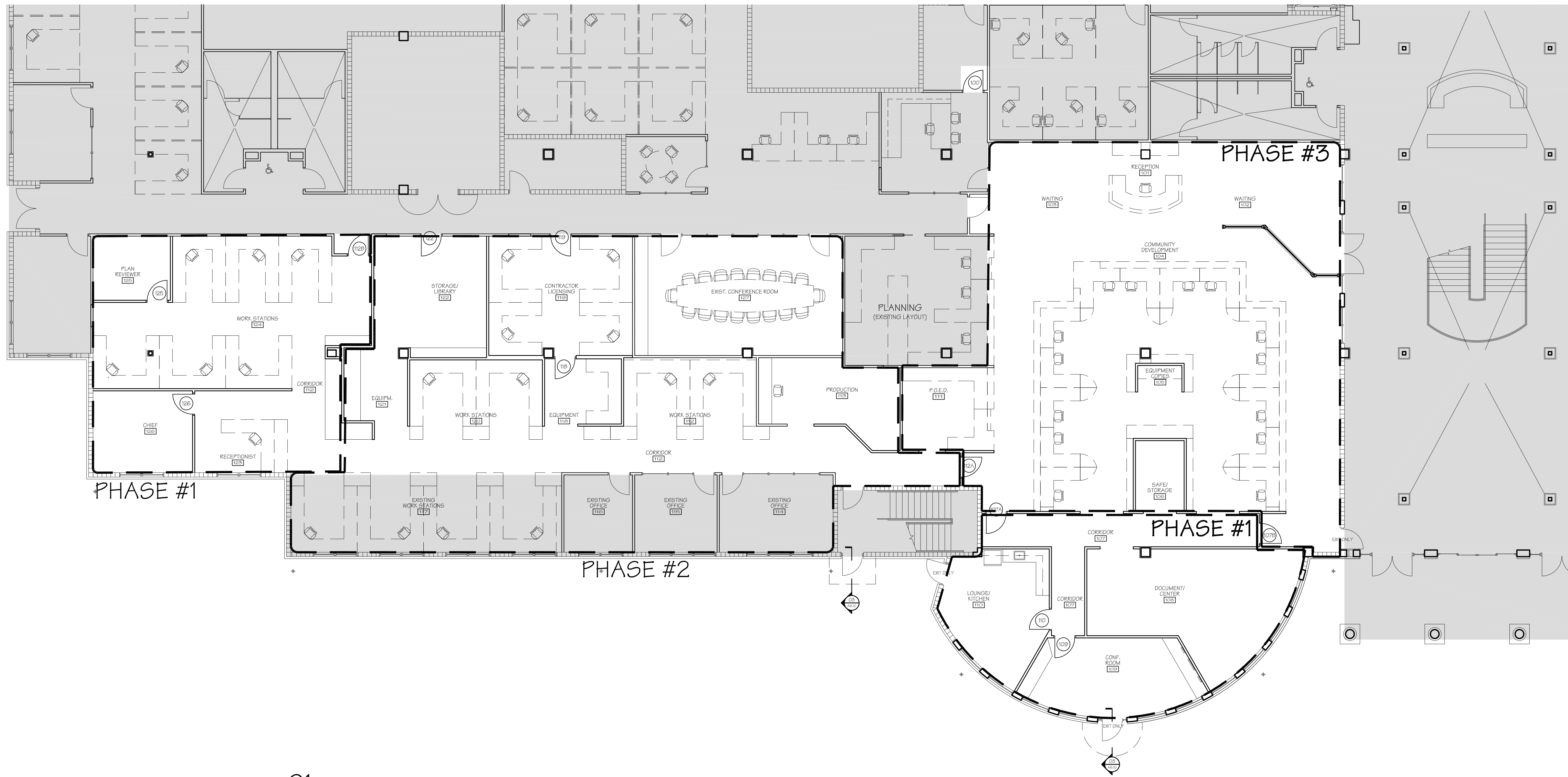


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A2.11



01 CONSTRUCTION PHASING PLAN

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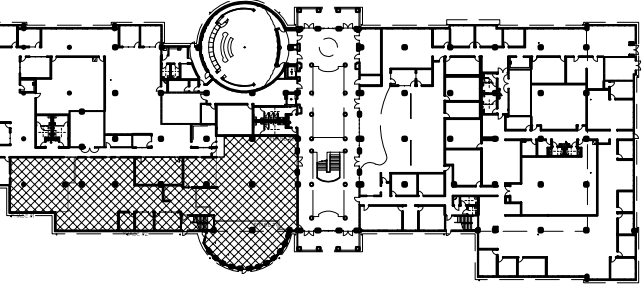
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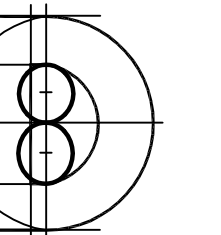
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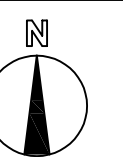


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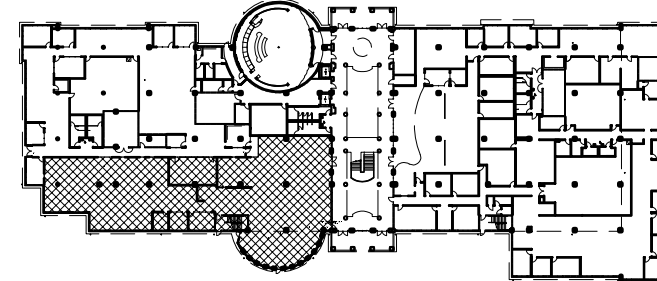
A2.11A

Project:

INDIAN RIVER COUNTY
ADMINISTRATION COMPLEX
ALTERATIONS
TO BUILDING 'A'
FOR
BUILDING / FIRE
DEPARTMENTS

1801 27th STREET
VERO BEACH, FLORIDA 32960

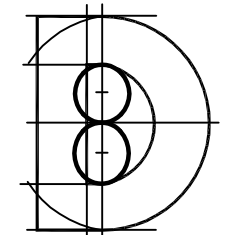
Key Plan:



Issues:

No. Date Description
A. 08-23-20 BID SET

Architect:



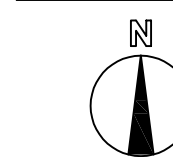
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License No. AV0005226
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Consultant:

Drawing Title:

REFLECTED CEILING PLAN



Dwn: JEM Dwg. File:
Chk: XREF File:
Project No.: HC Plot File:
2019-48
Sheet No.:

Cert. No.: 12,456

Date Signed:

A2.12



01 REFLECTED CEILING PLAN

Scale: 1/8"=1'-0"

KEYED NOTES

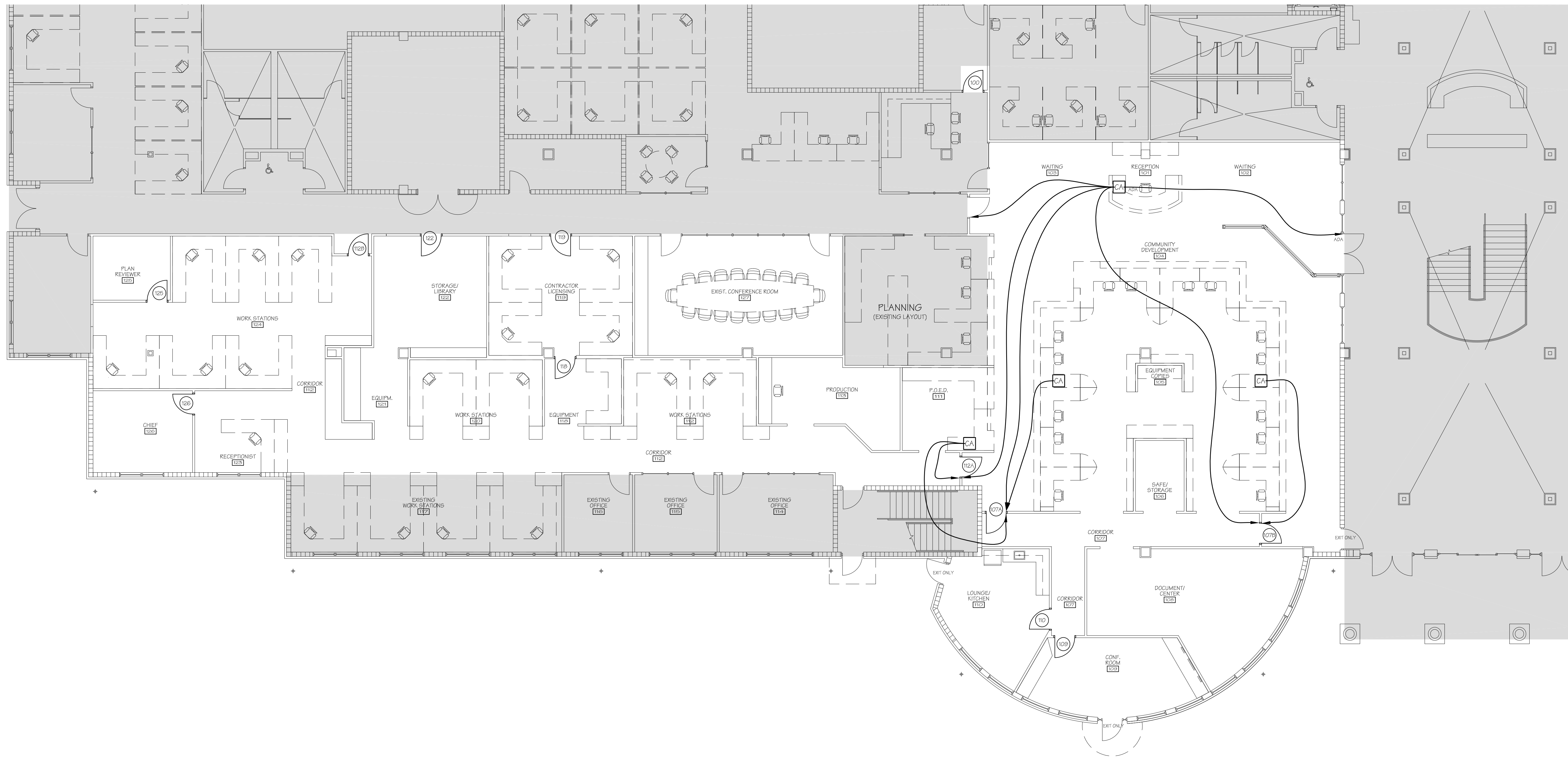
- 1 ALL NEW GYP. BOARD PARTITIONS TO BE CONSTRUCTED 12" ABOVE ACT CEILING.
- 2 ALL PROPOSED SOFFITS TO CONSIST OF 1-1/2" X 3-5/8" GALVANIZED METAL STUDS 25 GAUGE AT 24" O.C. (MAX) ATTACHED TO THE UNDERSIDE OF THE DECK ABOVE AND WRAPPED WITH 5/8" DRYWALL.

REFLECTED CEILING LEGEND

- 2' X 2' SUSPENDED ACOUSTICAL CEILING AND GRID
- GYP. WALLBOARD CEILING, SOFFIT OR BULKHEAD, OR EXTERIOR STUCCO CEILING
- 2x4 RECESSED LED LIGHT FIXTURE
- 2x4 RECESSED LED LIGHT FIXTURE W/ EMERGENCY BATTERY PACK
- 2x2 RECESSED LED LIGHT FIXTURE
- 2x2 RECESSED LED LIGHT FIXTURE W/ EMERGENCY BATTERY PACK
- LED DOWNLIGHT, SEE ELEC. DWGS. FOR TYPE.
- EXISTING EXIT LIGHT W/ BATTERY BACKUP
- NEW EXIT LIGHT W/ BATTERY BACKUP
- SUPPLY AIR CEILING DIFFUSER
- RETURN AIR CEILING GRILLE
- EXHAUST FAN

CONSTRUCTION LEGEND

- NOT INCLUDED IN THE CONTRACT UNLESS OTHERWISE NOTED
- AREA TO BE REMODELED



01 CARD ACCESS CONTROL PLAN

Scale: 1/8"=1'-0"

CONSTRUCTION LEGEND

- NOT INCLUDED IN THE CONTRACT UNLESS OTHERWISE NOTED
- AREA TO BE REMODELED

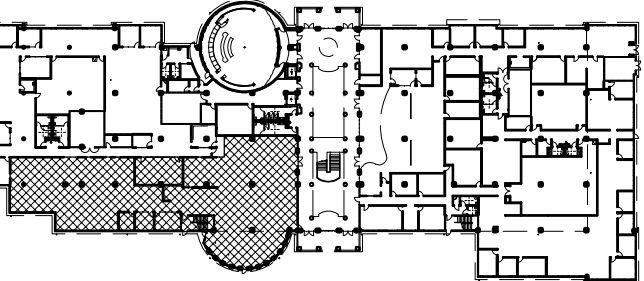
LEGEND

- CA CARD CONTROL ACCESS POINT LOCATION.

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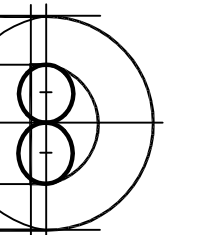
Key Plan:



Issues:

No.	Date	Description
A.	08-23-20	BID SET

Architect:



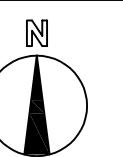
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Consultant:

Drawing Title:

CARD ACCESS CONTROL PLAN



Dwn:	JEM	Dwg. File:	
Chk:	HC	XREF File:	
Project No.:	2019-48	Plot File:	
Sheet No.:			

Cert. No.: 12,456

Date Signed:

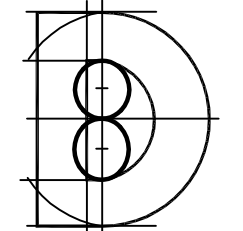
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Key Plan:

Issues:
 No. Date Description
 A. 08-23-20 BID SET

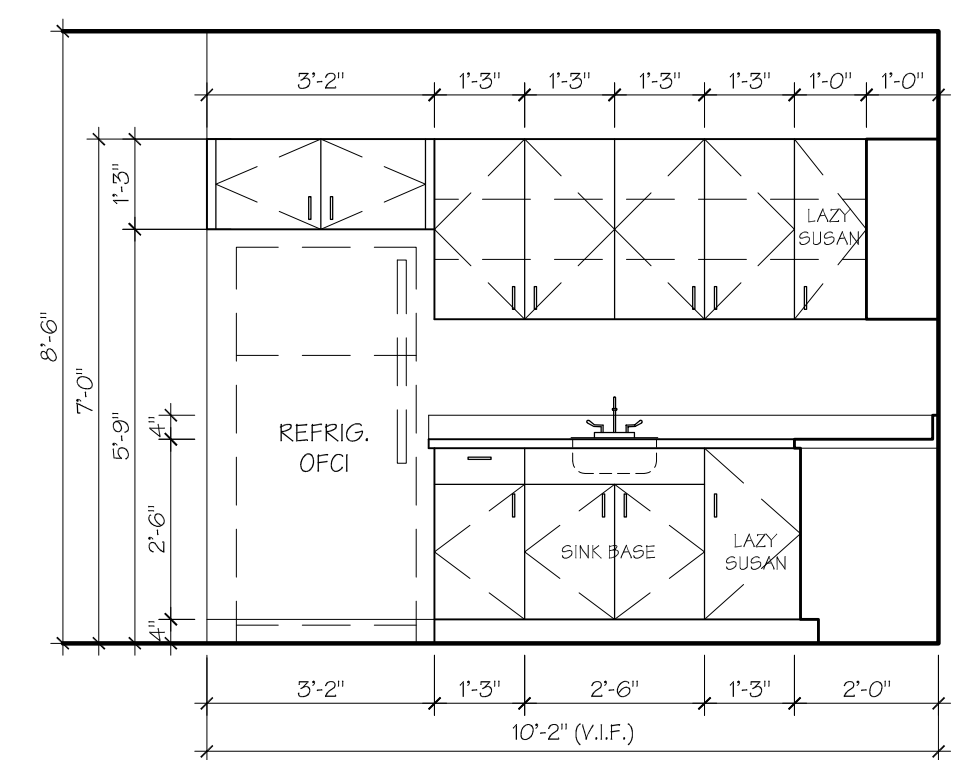
Architect:

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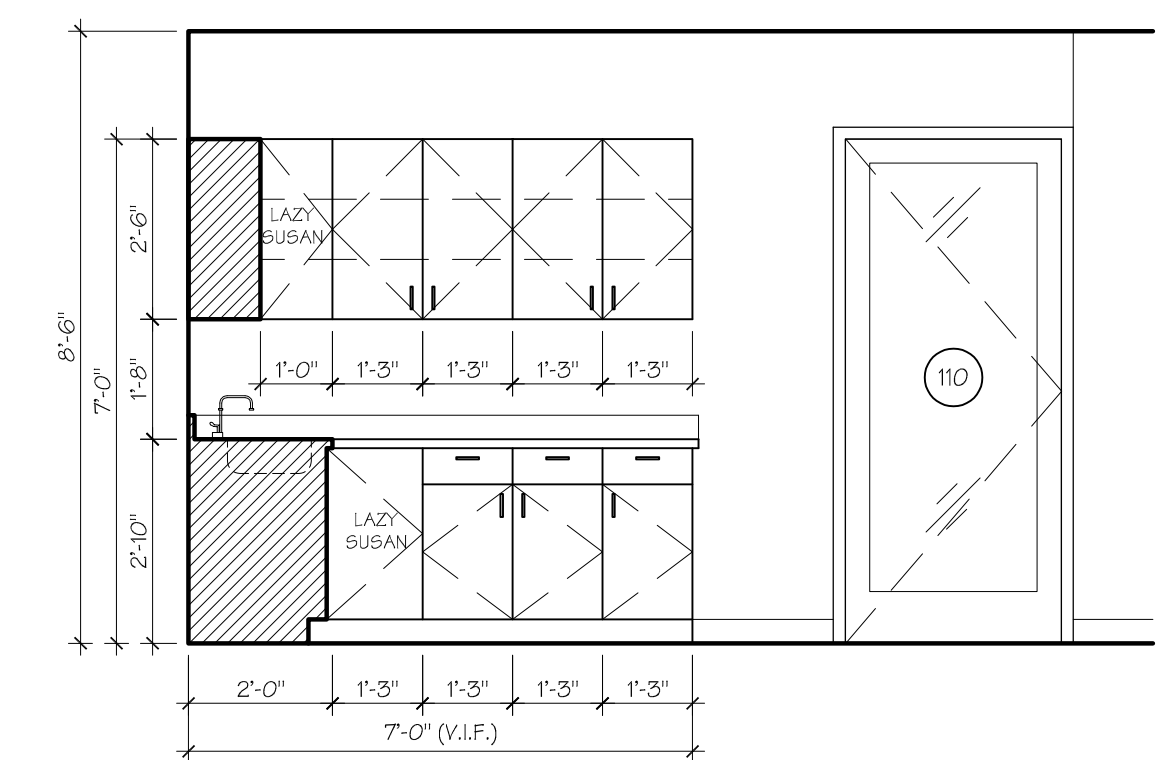
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INTERIOR ELEVATIONS

Dwg. File:
 JEM
 XREF File:
 HC
 Project No.:
 2019-48
 Sheet No.:

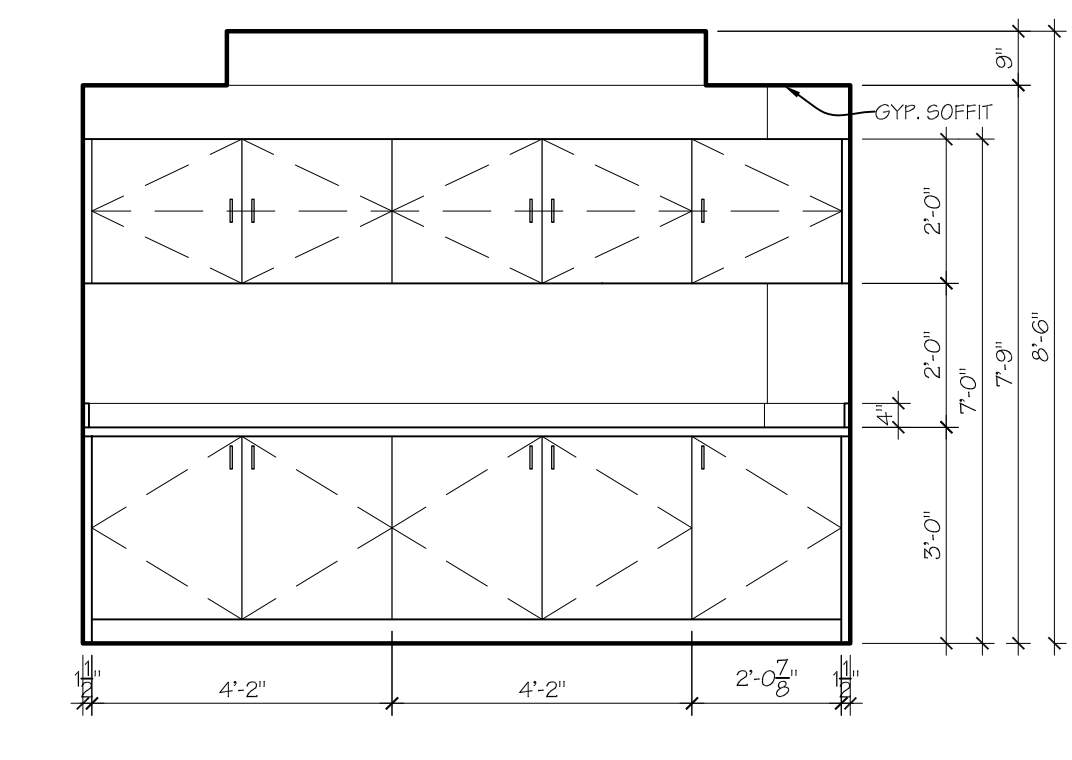
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 Date Signed: **A5.10**



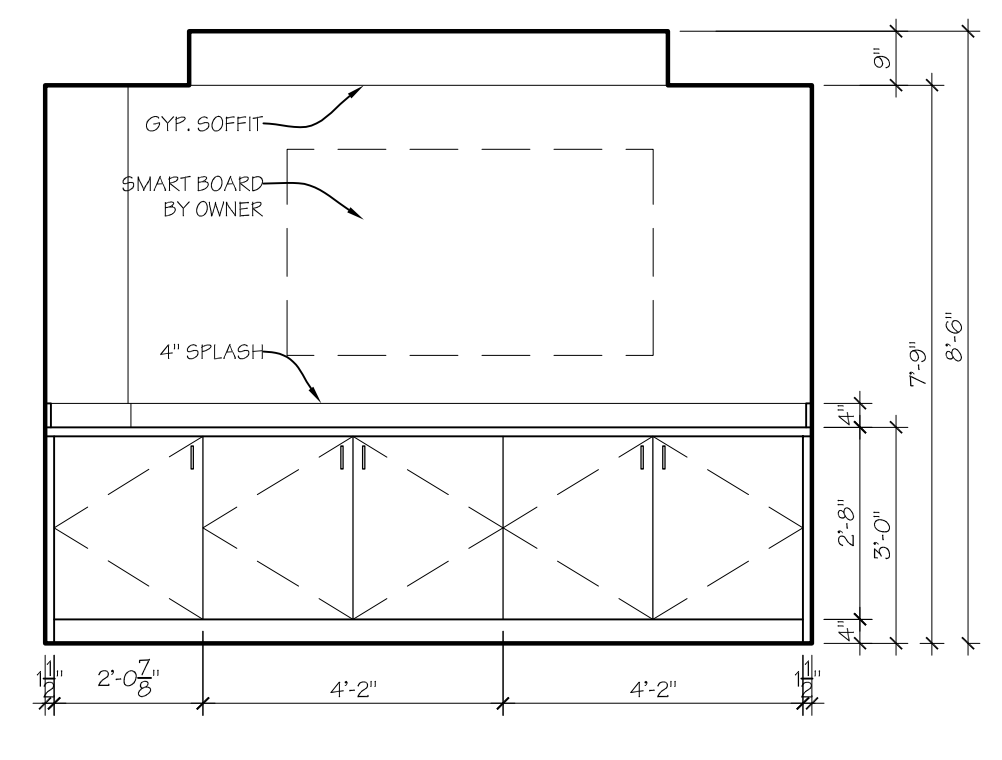
04 LOUNGE/KITCHEN #110
 Scale: 3/8"=1'-0"



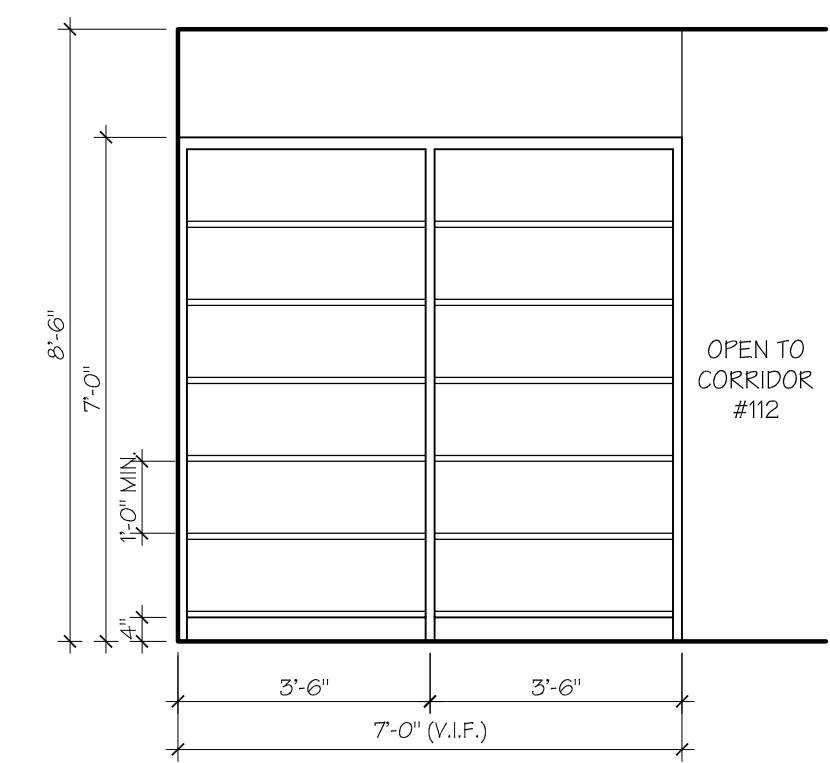
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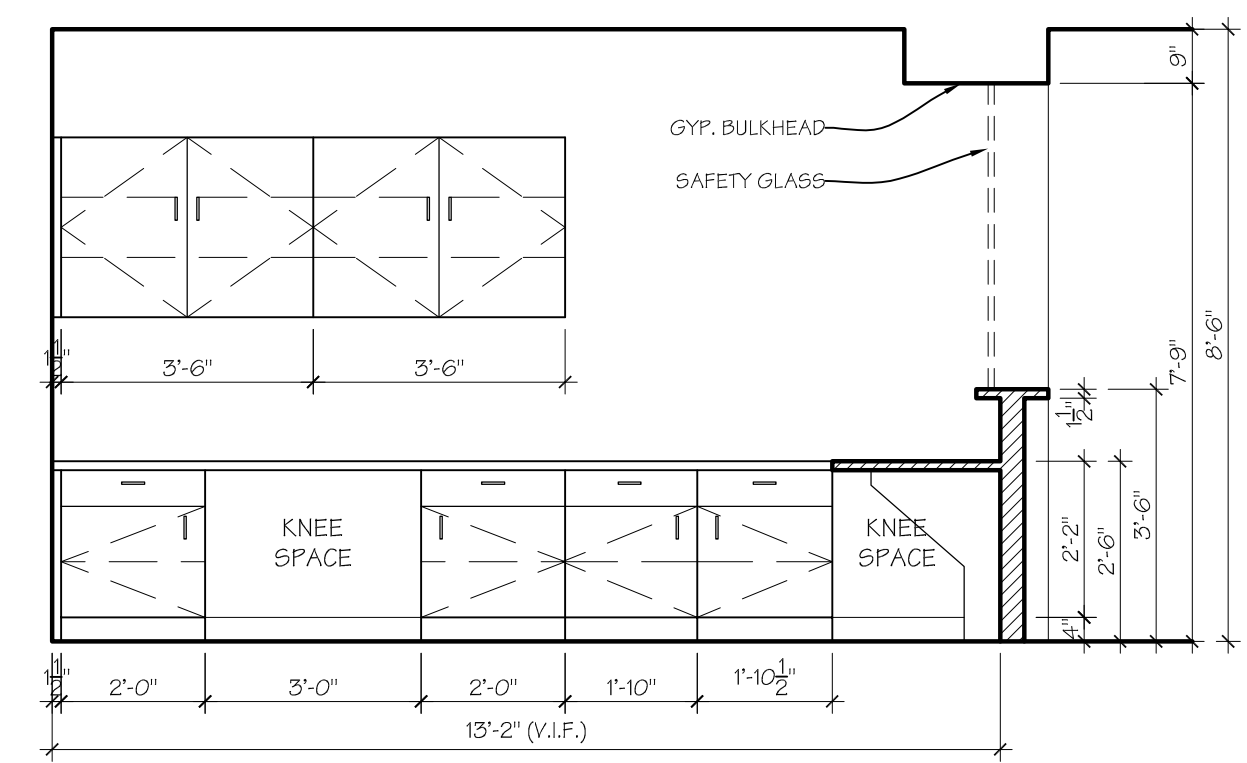
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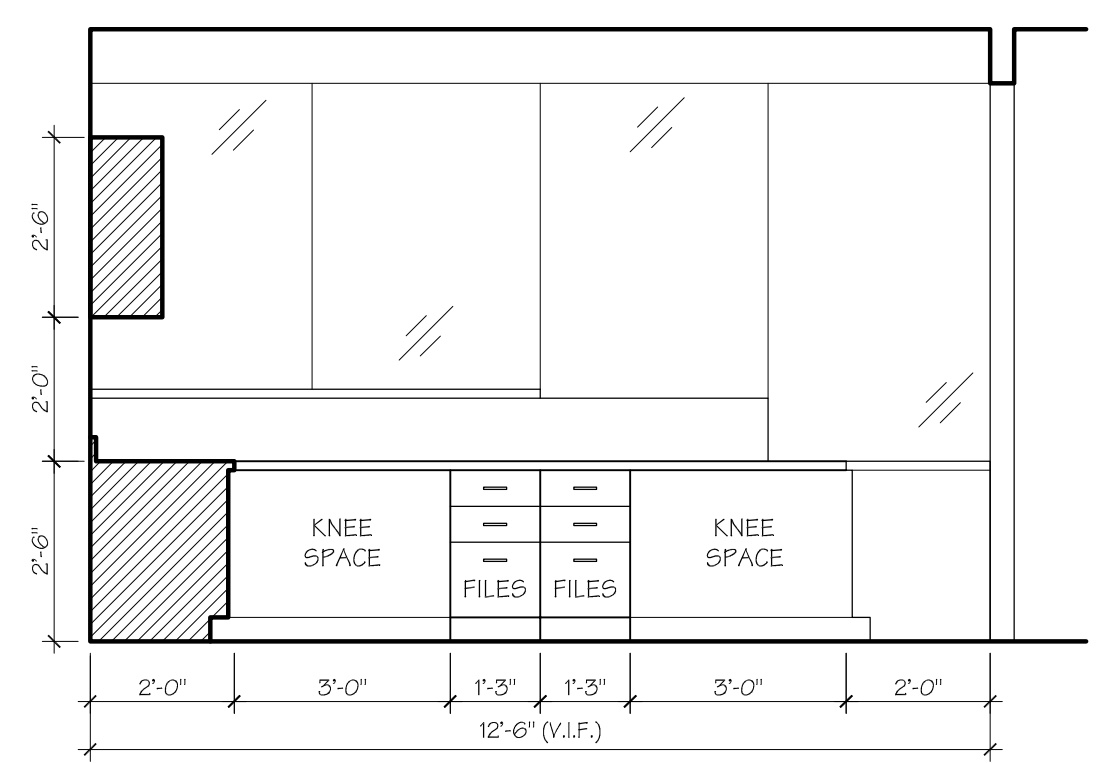
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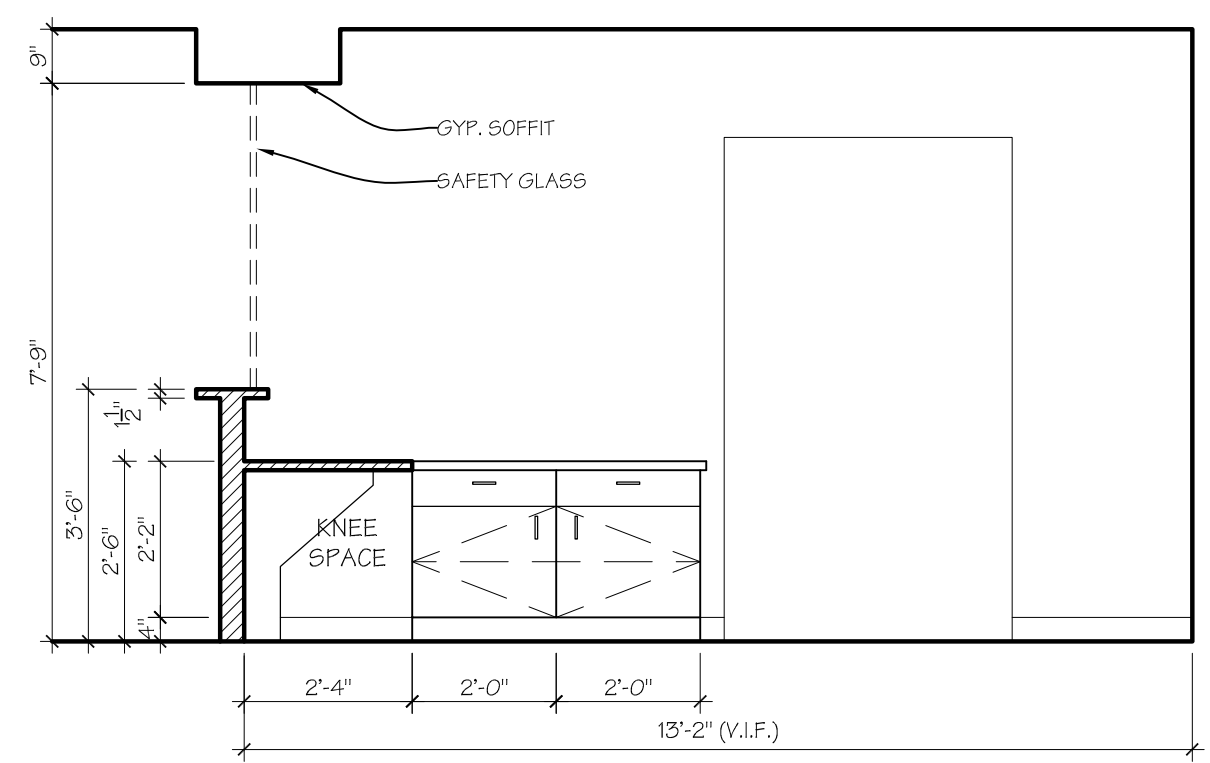
08 CORRIDOR #112
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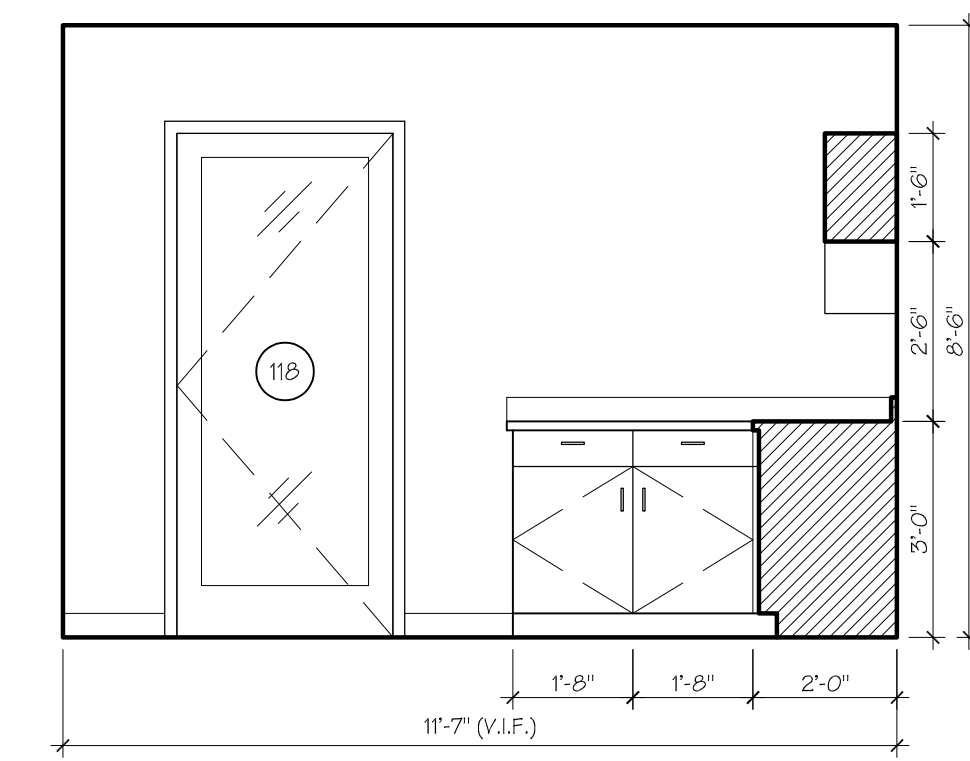
07 P.O.E.D. #111
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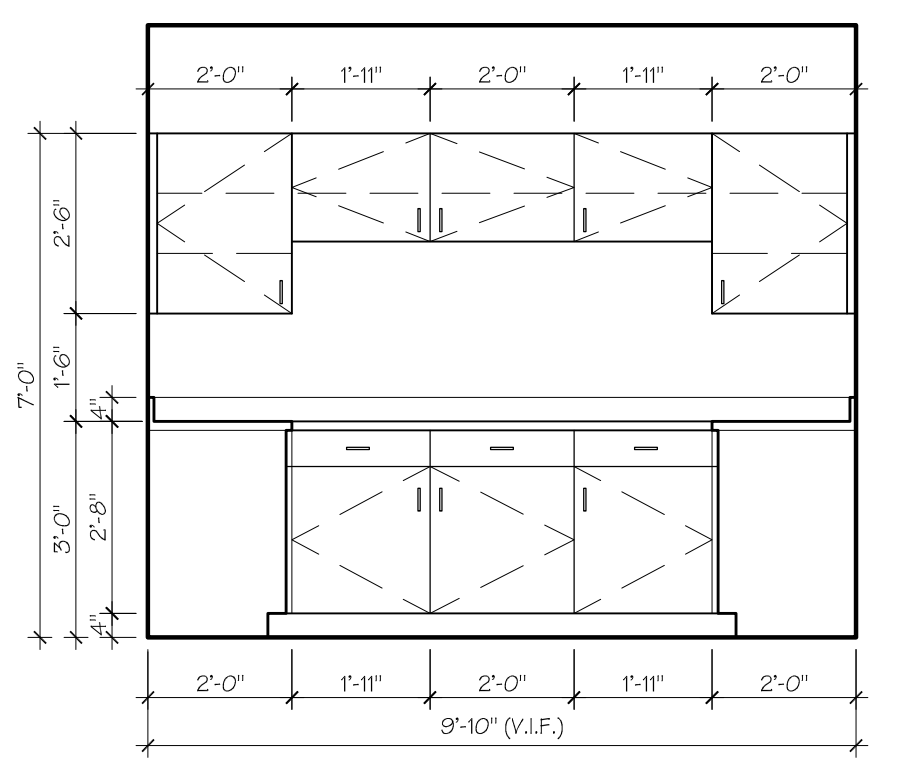
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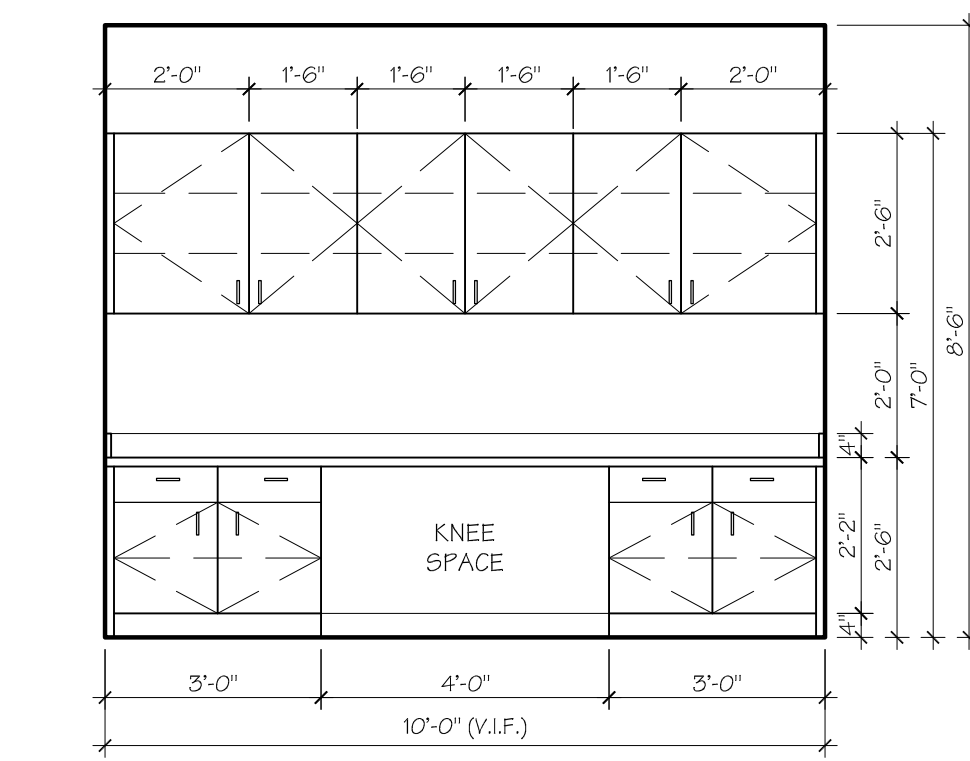
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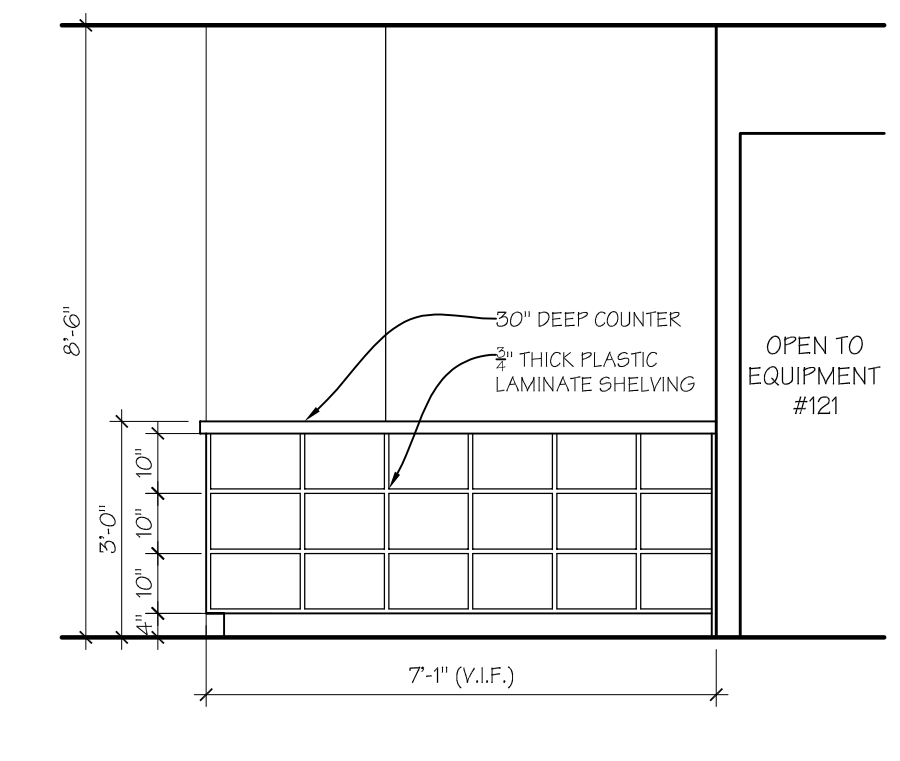
13 EQUIPMENT #118
 NOTE: 10 OPP. HAND
 Scale: 3/8"=1'-0"



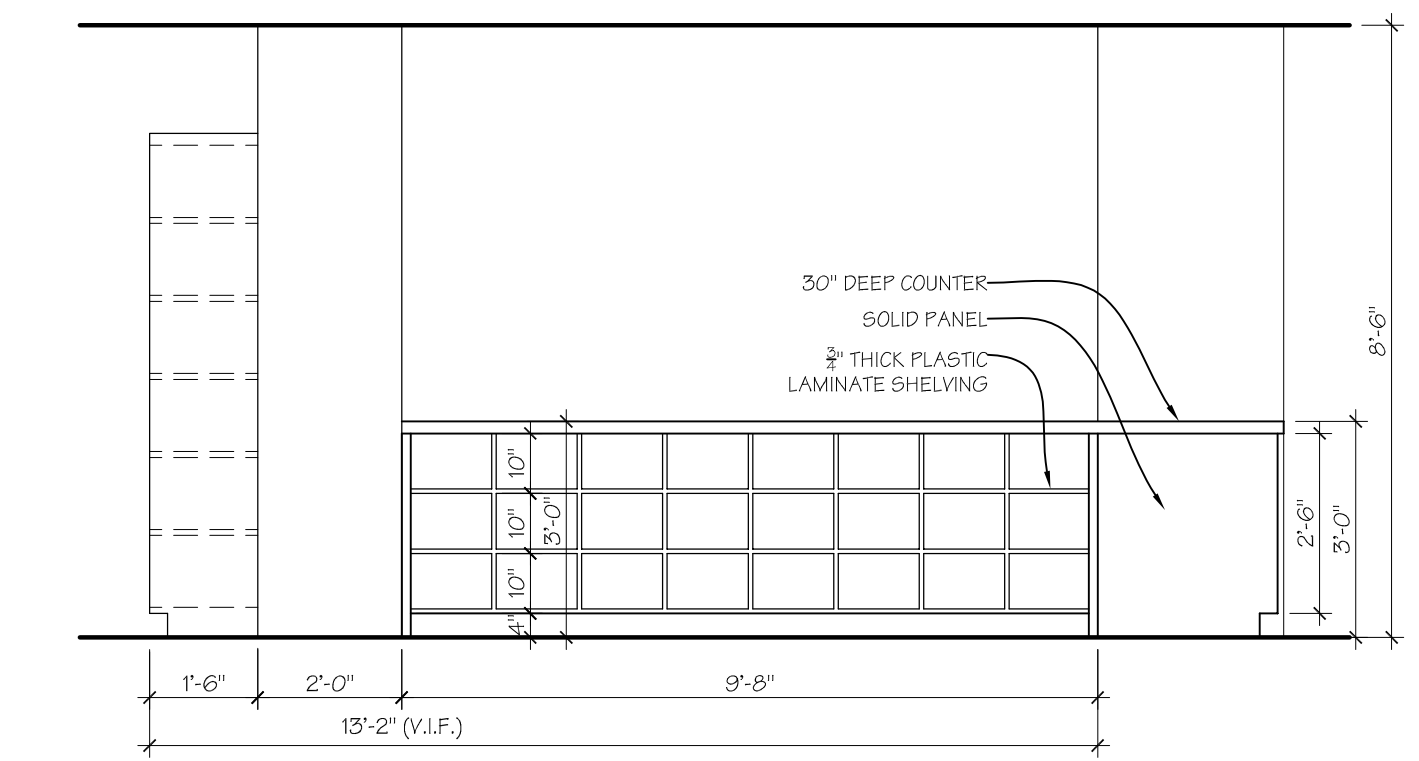
12 EQUIPMENT #118
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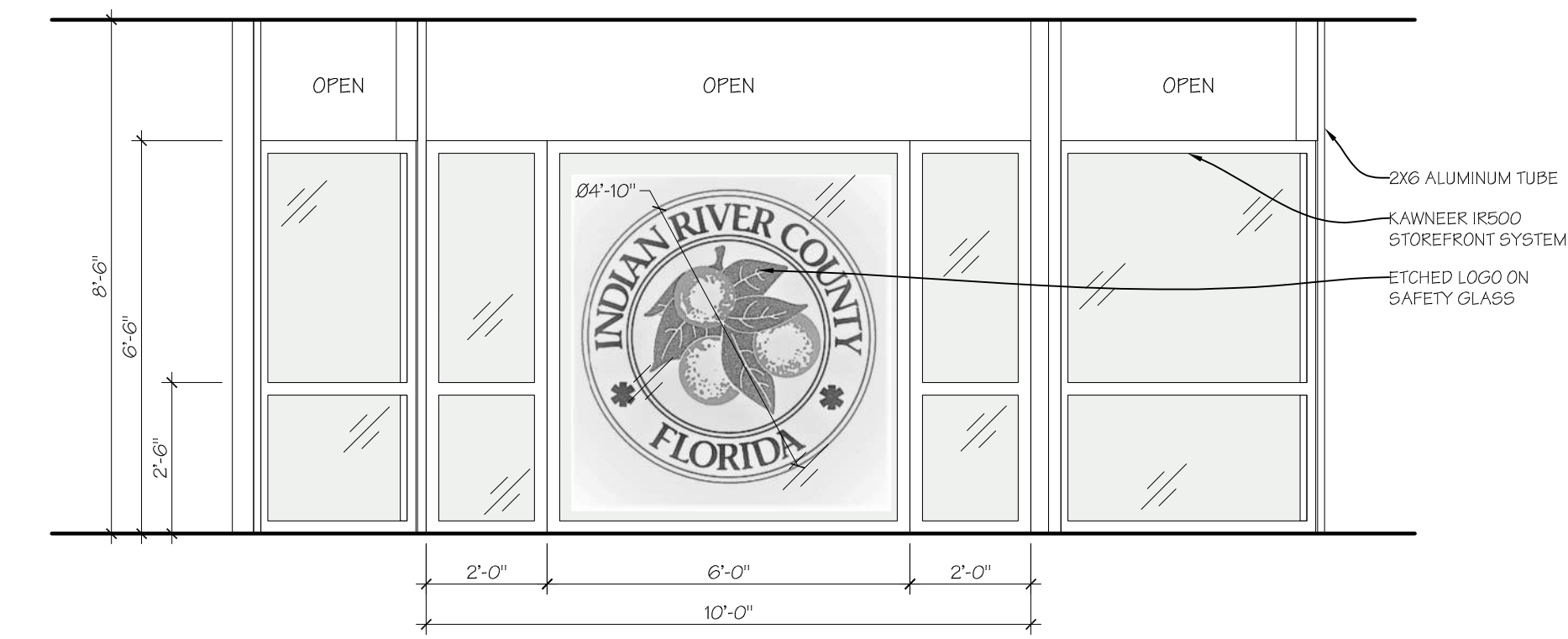
11 PRODUCTION #113
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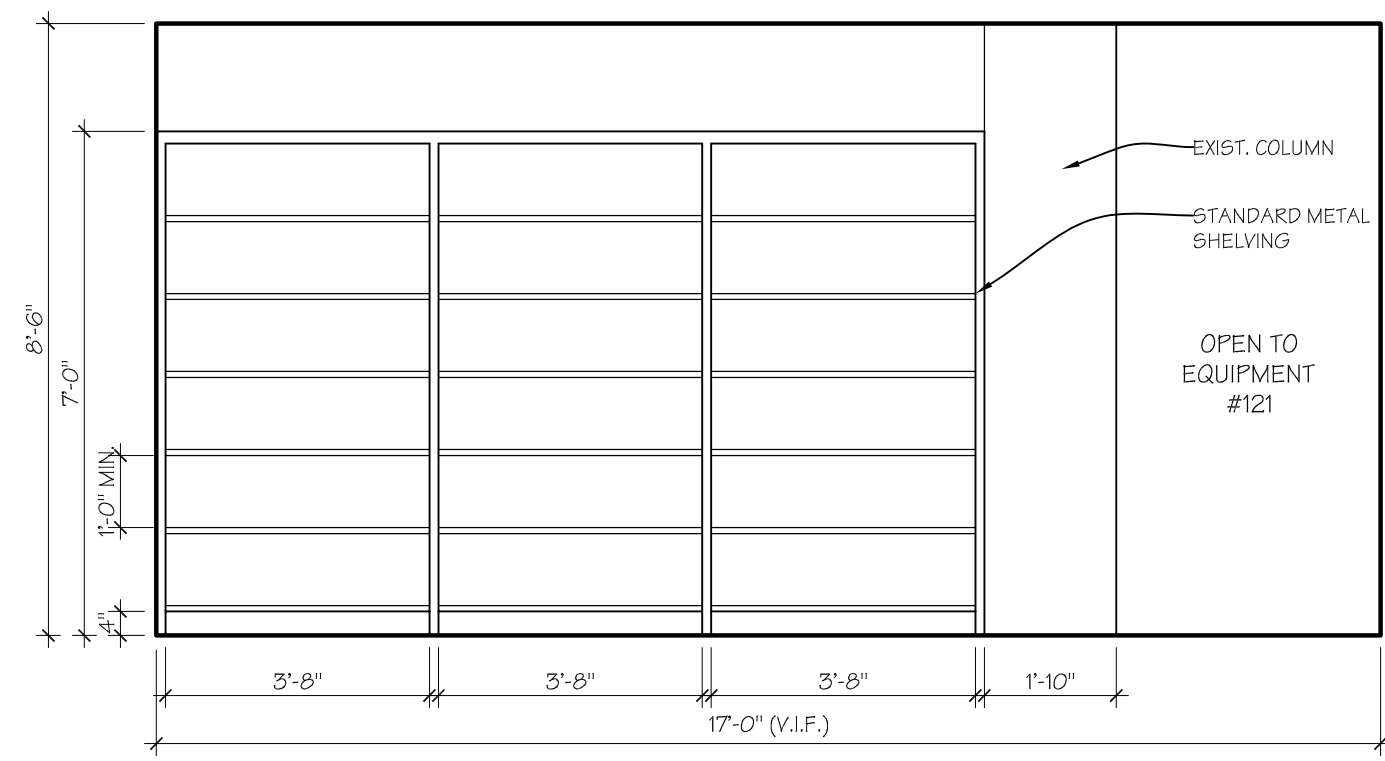
10 CORRIDOR #112
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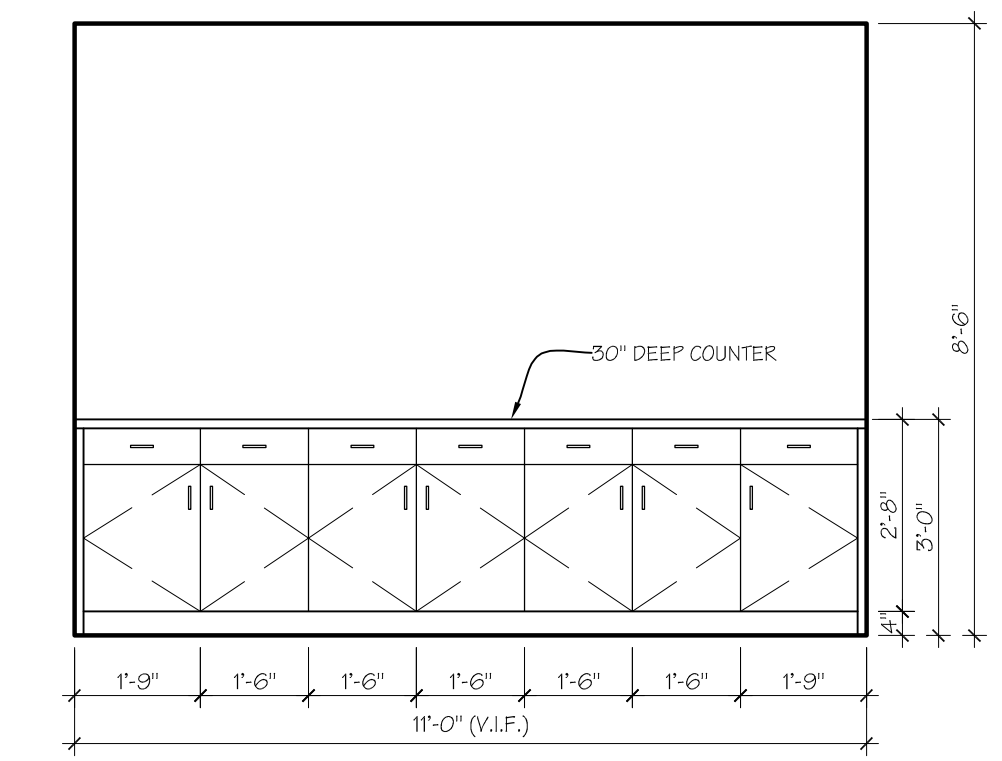
09 CORRIDOR #112
 Scale: 3/8"=1'-0"



16 ENTRY GLAZED SCREEN
 (SEE ARCHITECT'S SHEET A2.11 FOR LAYOUT, PROVIDE SHOP DRAWINGS)
 Scale: 3/8"=1'-0"



15 STORAGE / LIBRARY #122
 Scale: 3/8"=1'-0"



14 EQUIPMENT #121
 Scale: 3/8"=1'-0"

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Key Plan

Issues:

No.:	Date:	Description:


Architect:



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Consultant:

Drawing Title:
MECHANICAL PLAN



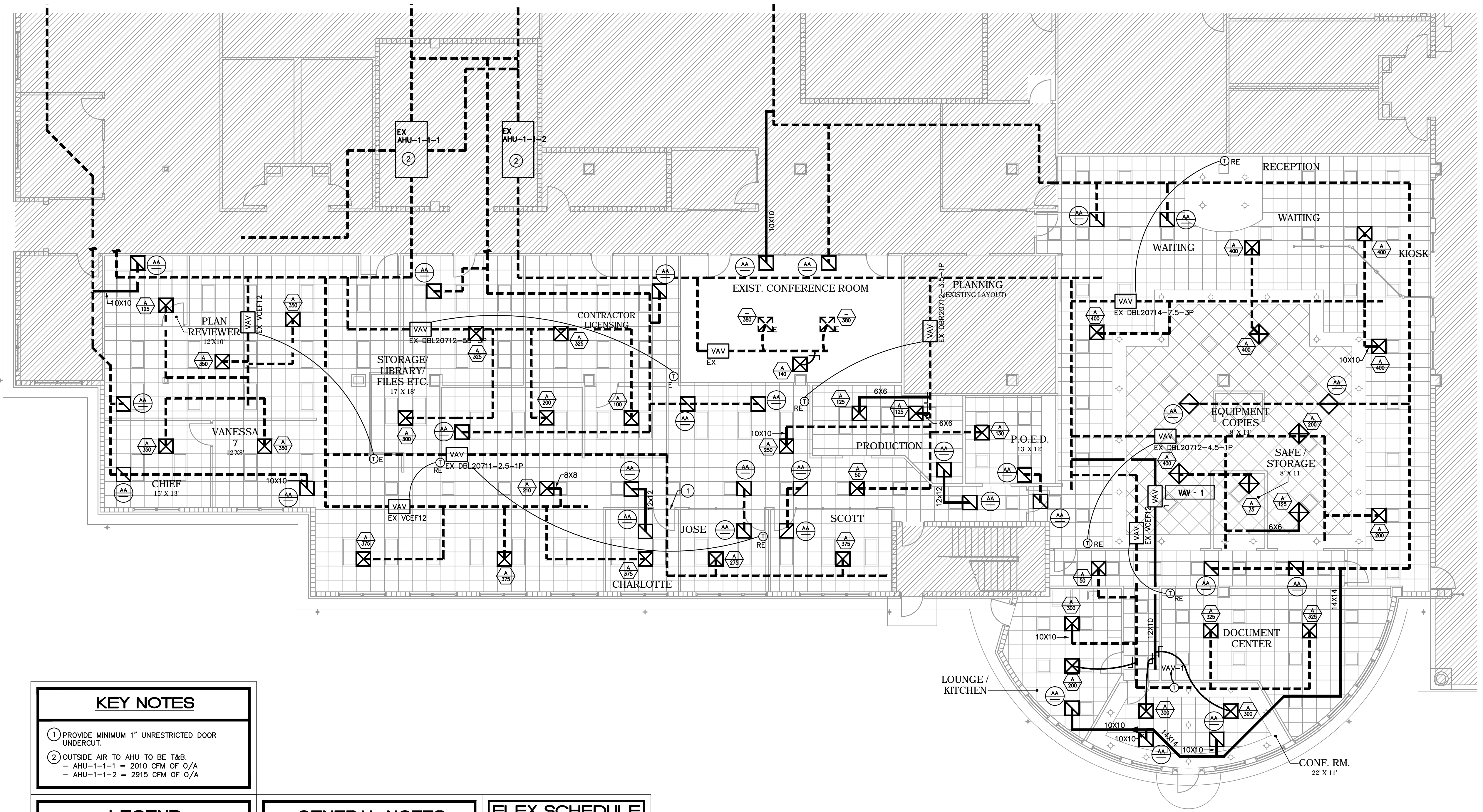
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Cnd:	HC	XREF File:
Project No.:	2019-48	Plot File:
Sheet No.:		
Cert. No.:	12.456	
Date Signed:		M2.1

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KAMM CONSULTING PROJECT # 2020-0411
 PROJECT MANAGER: DUANE MILLAR

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 Phone 772.595.1744
 brown@kammconsulting.com
 Certification of Authorization #8189

PRINCIPAL: Brady L. Brown, Florida License #58232, date: _____, signed: _____



KEY NOTES

1. PROVIDE MINIMUM 1" UNRESTRICTED DOOR UNDERCUT.
2. OUTSIDE AIR TO AHU TO BE T&B.
 - AHU-1-1-1 = 2010 CFM OF O/A
 - AHU-1-1-2 = 2915 CFM OF O/A

LEGEND

- NEW SUPPLY AIR CEILING DIFFUSER
- NEW RETURN AIR CEILING GRILLE
- NEW FLEX DUCT
- EXISTING DUCTWORK
- NEW DUCTWORK

GENERAL NOTES

1. ALL CONTROLS TO BE TRANE CONTROLS. CONTRACTOR TO REPLACE ALL NON TRANE CONTROLS. COORDINATE WITH FACILITY MAINTENANCE DEPARTMENT FOR CONTROLS REQUIREMENTS.
2. ADJUST DUCTWORK AS NECESSARY TO FIT INTO NEW CEILING GRID.
3. PROVIDE VOLUME DAMPER ON SUPPLY DUCTWORK AS NECESSARY.
4. COMPLETE T&B REPORT TO BE PROVIDED FOR ALL EXISTING AND NEW VAV'S AND GRILLES WITHIN SCOPE OF WORK.
5. CONTRACTOR TO VERIFY THAT ALL EXISTING VAV'S TO REMAIN ARE IN GOOD WORKING CONDITION PRIOR TO CONSTRUCTION.

FLEX SCHEDULE

6"	50-125 CFM
8"	130-200 CFM
10"	205-330 CFM
12"	335-450 CFM
14"	455-600 CFM
16"	605-700 CFM

MECHANICAL PLAN
 1/8"=1'-0" NORTH

Project:
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MECHANICAL SCHEDULES



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SUPPLY AIR GRILLE SCHEDULE

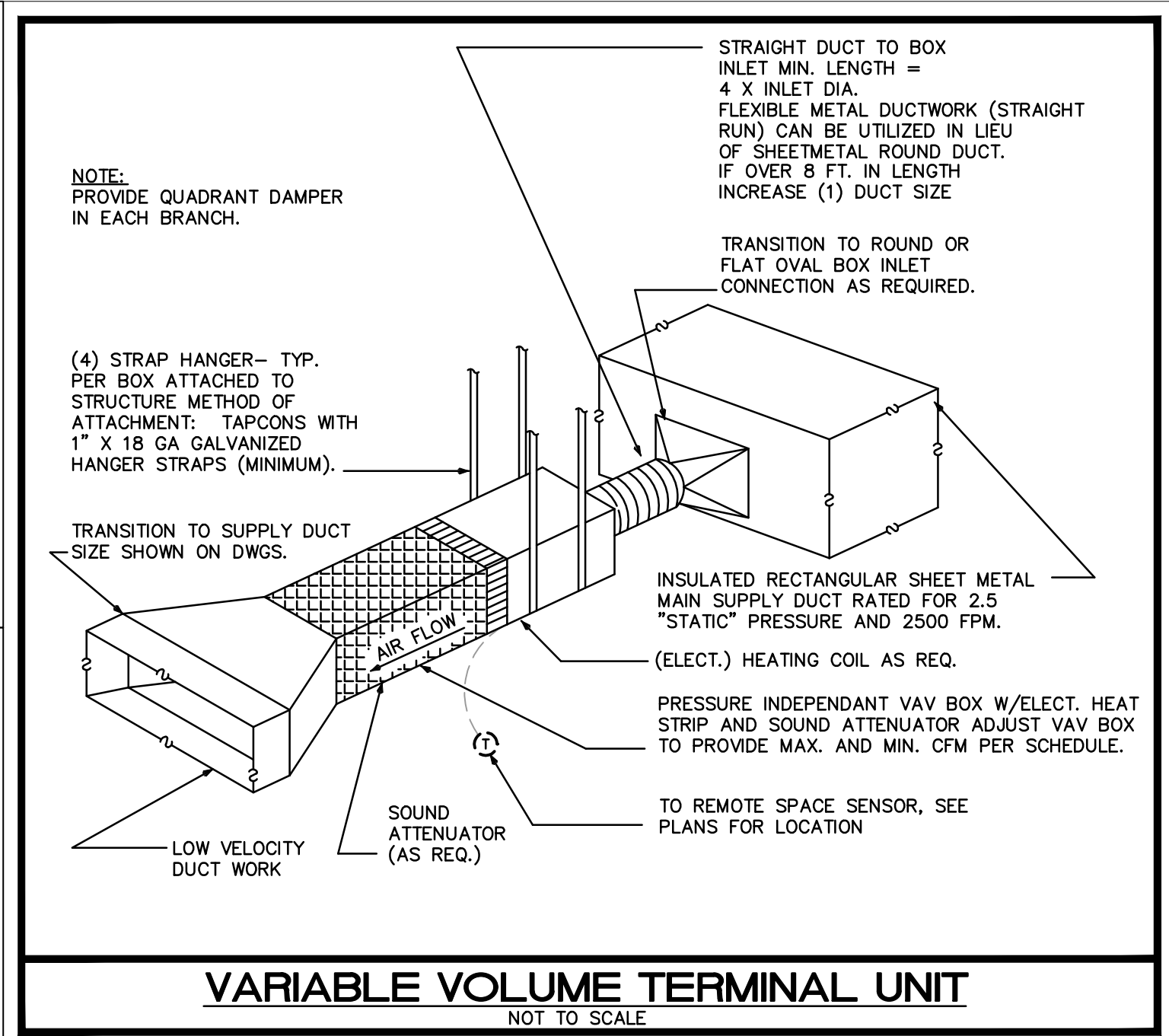
TAG	MANUF. & MODEL	FACE SIZE	NECK SIZE	MATERIAL	FRAME	FINISH	DAMPER	THROW	NC	CFM RANGE	NOTES
A	TITUS/ TDC-A-AA	24X24	SEE SCH.	ALUM.	NOTE #3	OFF WHITE	-	4-WAY	MAX. 30	SEE SCH.	1-6

(*) EQUIVALENT MANUFACTURER: METALAIRE, PRICE, CARNES, T & B, NAILOR

GENERAL NOTES:
1. PROVIDE SPIN-IN COLLAR AT TRUNK TO FLEX DUCT CONNECTION.
2. PROVIDE TYPICAL 4-WAY DIFFUSION, 2-WAY OR 3-WAY ONLY WHERE INDICATED ON PLAN.
3. REFER TO ARCHITECT PLANS FOR CEILING TYPE.
4. CONTRACTOR TO COORDINATE FINAL SELECTION WITH ARCHITECT AND OWNER.
5. FLEX DUCT SIZE TO BE SAME AS DIFFUSER NECK SIZE.
6. PROVIDE INSULATION ON THE BACK OF DIFFUSER IF IN UNCONDITIONED SPACE.

NECK SIZE	CFM RANGE
6"	50-125 CFM
8"	130-200 CFM
10"	205-330 CFM
12"	335-450 CFM
14"	455-600 CFM
16"	605-700 CFM

CONTRACTOR SHALL VERIFY WITH ARCHITECT AND TENANT/OWNER, PRIOR TO ANY PURCHASING OR INSTALLATION, IF A BUILDING STANDARD HAS TO BE FOLLOWED REGARDING A SPECIFIC MODEL OR MANUFACTURER AND SHALL BRING ANY DISCREPANCY TO THE ATTENTION OF ENGINEER.



RETURN AIR GRILLE SCHEDULE

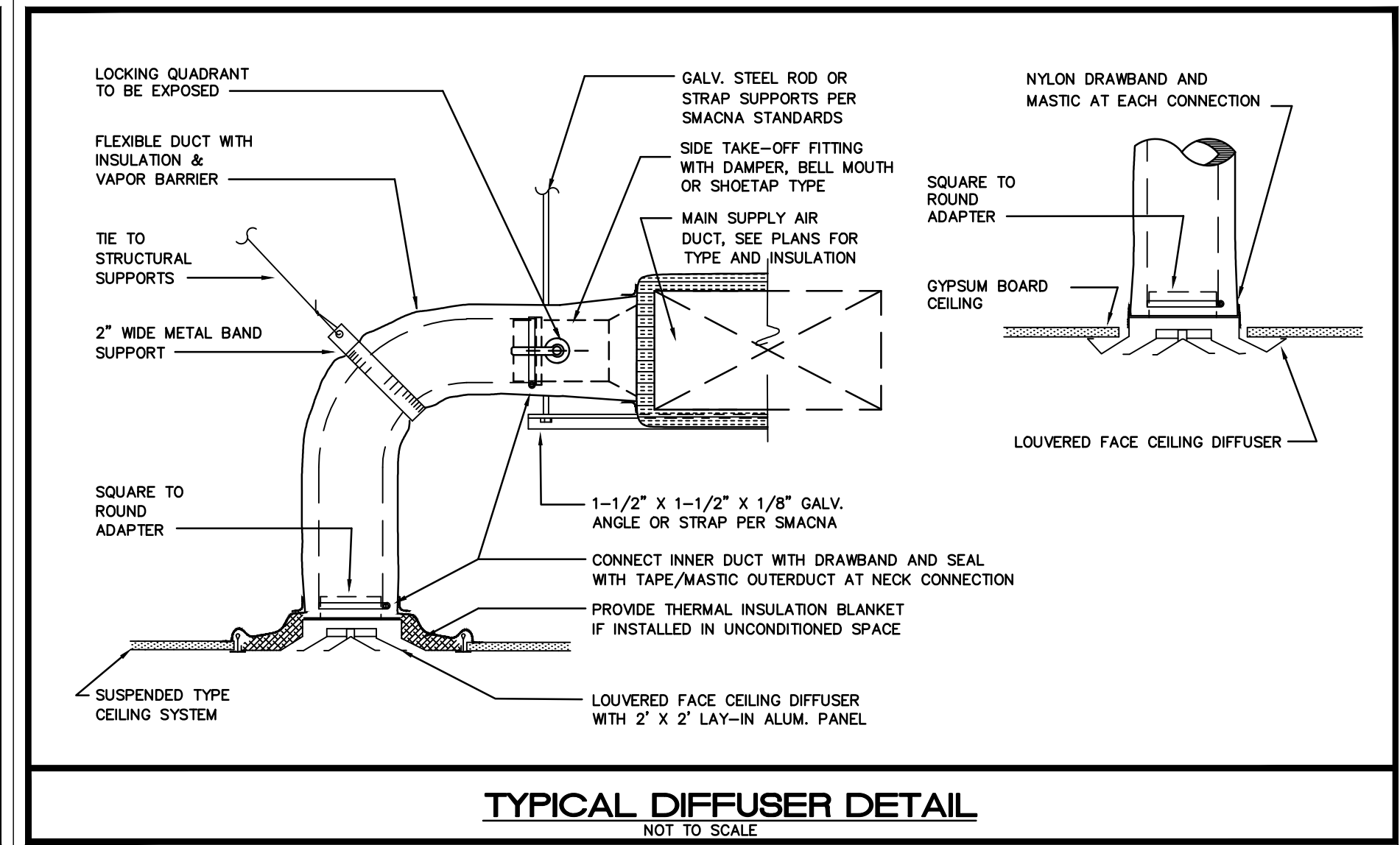
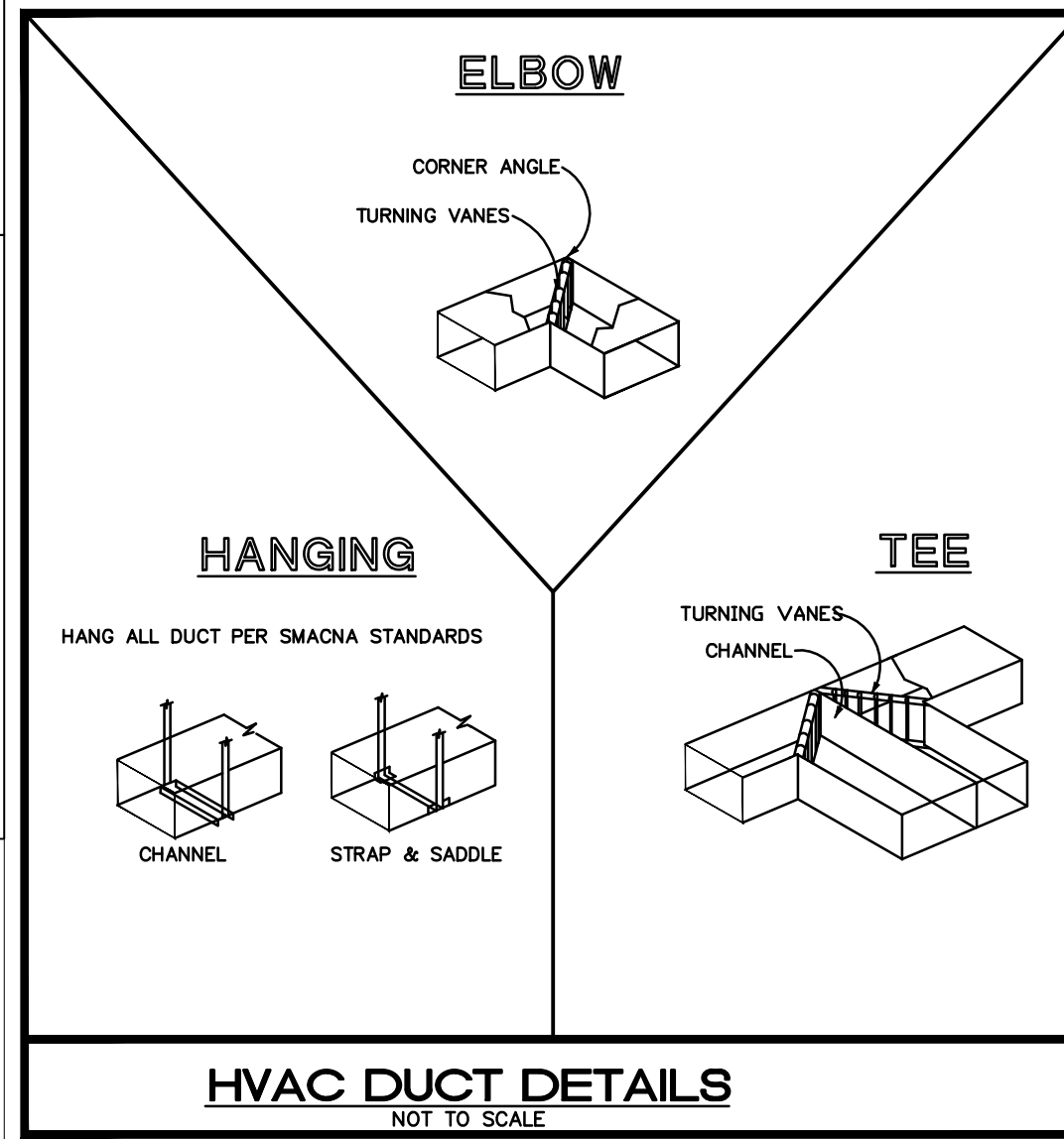
TAG	MANUF. & MODEL	FACE SIZE	NECK SIZE	MATERIAL	FRAME	FINISH	DAMPER	THROW	NC	CFM RANGE	NOTES
AA	TITUS/PAR-AA	24X24	SEE SCH.	ALUM.	NOTE #1	OFF WHITE	-	-	MAX. 30	SEE SCH.	1-3

(*) EQUIVALENT MANUFACTURER: METALAIRE, PRICE, CARNES, T & B, NAILOR

GENERAL NOTES:
1. REFER TO ARCHITECT PLANS FOR CEILING TYPE.
2. CONTRACTOR TO COORDINATE FINAL SELECTION WITH ARCHITECT AND OWNER.
3. PROVIDE INSULATION ON THE BACK OF DIFFUSER IF IN UNCONDITIONED SPACE.

CONTRACTOR SHALL VERIFY WITH ARCHITECT AND TENANT OR OWNER, PRIOR TO ANY PURCHASING OR INSTALLATION, IF A BUILDING STANDARD HAS TO BE FOLLOWED REGARDING A SPECIFIC MODEL OR MANUFACTURER AND SHALL BRING ANY DISCREPANCY TO THE ATTENTION OF ENGINEER.

NECK SIZE	CFM RANGE	NECK SIZE	CFM RANGE
6X6	0-150 CFM	15X15	0-900 CFM
8X8	0-250 CFM	18X18	0-1350 CFM
10X10	0-400 CFM	22X22	0-2000 CFM
12X12	0-600 CFM		



VAV BOX UNIT SCHEDULE

SELECTION DATA		PRIMARY AIR DATA		HEATER DATA		GEN DATA				NOTES				
UNIT TAG	MANUF. & MODEL(*)	TYPE	INLET DIA.	MIN. CFM	MAX. CFM	MIN. P _s (")	KW	STEPS	VOLTAGE	L _{HV} (W) W/ HEAT	WEIGHT(LB) W/ HEAT	L _{HV} (W) W/O HEAT	WEIGHT(LB) W/O HEAT	NOTES
VAV-1	TRANE VCEV	SGL DUCT	10	350	1400	*	4.0	1	277/1/60	44X14X20	81	12X14X16	30	*

NOTES:
(*) BOX MODEL IS "VCEV" FOR COOLING ONLY AND "VCEH" FOR COOLING WITH ELECTRIC HEATER

- CONTROLS TO BE DDC, PROVIDE ROOM THERMOSTAT/SENSOR WITH OVERRIDE CAPABILITY. PROVIDE INTEGRATED CONTROL INTERFACE WITH EXISTING BUILDING EMS AS REQ'D.
- POWER BY ELEC. CONTRACTOR. CONTROL WIRING BY MECH/CONTROL CONTRACTOR. CONTROL POWER TRANSFORMER BY VAV MANUFACTURER.
- FOR LONGER DUCT CONNECTION TO BOX THAN RECOMMENDED INLET RUN, MAKE THE TAP FOR BOXES AT THE MAIN DUCTWORK SIZED FOR MAX. STATIC PRESSURE LOSS. REDUCE TAP DOWN TO BOXES INLET SIZE JUST BEFORE CONNECTION AND PROVIDE MIN. LENGTH OF DUCT TO INLET AS RECOMMENDED BY MANUFACTURER FOR PROPER PRESSURE READING.
- FOR BOXES WITH ELECTRIC HEATER, BOX SHALL BE FUSED BY MANUFACTURER IF REQUIRED MCA (AMPS) IS BELOW THE MIN. AVAILABLE SIZE OF COMMERCIAL BREAKER. CONTRACTOR SHALL COORDINATE PRIOR TO PURCHASING. PROVIDE ELECTRIC HEATER WITH MIN. 2 STAGES IF OVER 10 KW CAPACITY.
- BOX ACTUATORS SHALL BE EITHER SPRING-RETURN TYPE TO ALLOW BOXES TO FAIL FULLY OPEN IN EMERGENCY (SMOKE EVACUATION) MODE OR COMBINATION CONTROLLER-ACTUATOR WITH INTEGRATED, PROGRAMMABLE LOGIC AND PROVIDED WITH AN EMERGENCY POWER CIRCUIT.

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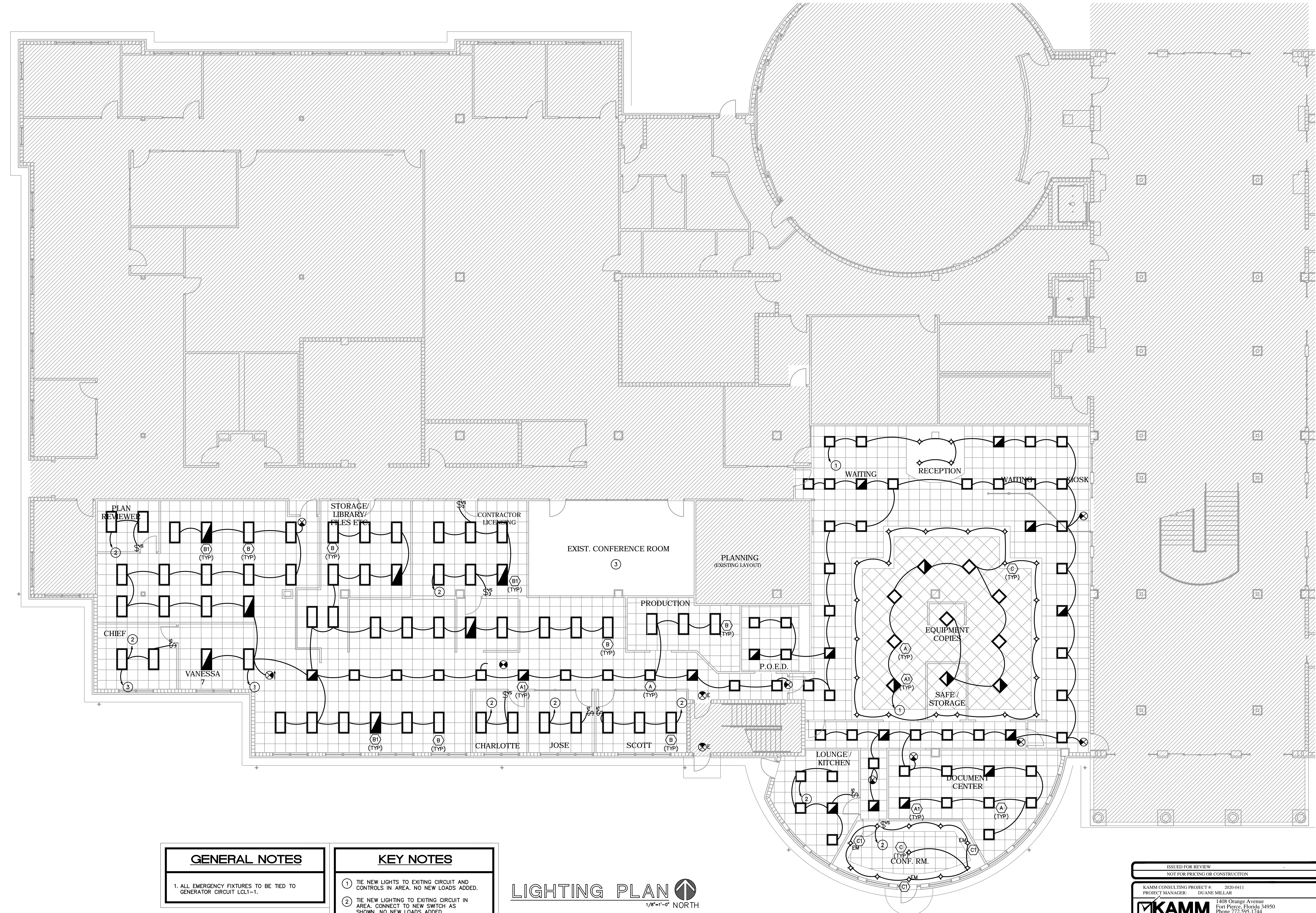


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Consultant:

Drawing Title:
LIGHTING PLAN

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Chd:	HC	XREF File:
Project No.:	2019-48	Plot File:
Sheet No.:		
Cert. No.:	12.456	
Date Signed:		E2.1



GENERAL NOTES

1. ALL EMERGENCY FIXTURES TO BE TIED TO GENERATOR CIRCUIT LCL1-1.

KEY NOTES

① TIE NEW LIGHTS TO EXISTING CIRCUIT AND CONTROLS IN AREA. NO NEW LOADS ADDED.

② TIE NEW LIGHTING TO EXISTING CIRCUIT IN AREA. CONNECT TO NEW SWITCH AS SHOWN. NO NEW LOADS ADDED.

③ RE-CIRCUIT EXISTING LIGHTS IN CONFERENCE ROOM TO EMERGENCY CIRCUIT LCL1-11.

LIGHTING PLAN
 1/8"=1'-0" NORTH

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 PROJECT MANAGER: DUANE MILLAR



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PRINCIPAL
 Brady L. Brown Florida License #58232

 date

 signed

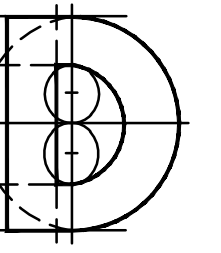
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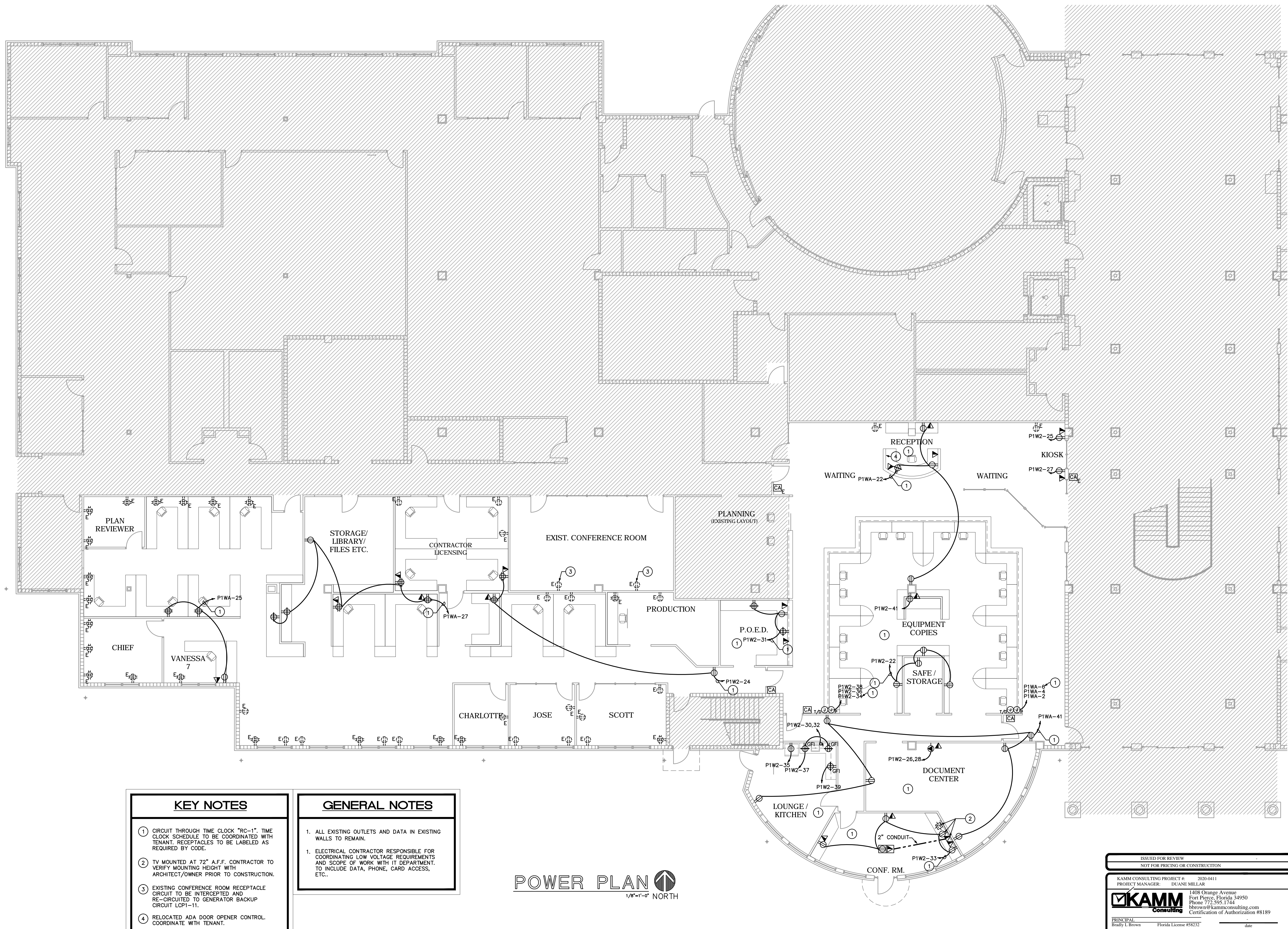


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 License No. A0002238

Consultant:

Drawing Title:

POWER PLAN



- | KEY NOTES | |
|-----------|--|
| 1 | CIRCUIT THROUGH TIME CLOCK "RC-1", TIME CLOCK SCHEDULE TO BE COORDINATED WITH TENANT. RECEPTACLES TO BE LABELED AS REQUIRED BY CODE. |
| 2 | TV MOUNTED AT 72" A.F.F. CONTRACTOR TO VERIFY MOUNTING HEIGHT WITH ARCHITECT/OWNER PRIOR TO CONSTRUCTION. |
| 3 | EXISTING CONFERENCE ROOM RECEPTACLE CIRCUIT TO BE INTERCEPTED AND RE-CIRCUITED TO GENERATOR BACKUP CIRCUIT LCP1-11. |
| 4 | RELOCATED ADA DOOR OPENER CONTROL. COORDINATE WITH TENANT. |

- | GENERAL NOTES | |
|---------------|--|
| 1. | ALL EXISTING OUTLETS AND DATA IN EXISTING WALLS TO REMAIN. |
| 1. | ELECTRICAL CONTRACTOR RESPONSIBLE FOR COORDINATING LOW VOLTAGE REQUIREMENTS AND SCOPE OF WORK WITH IT DEPARTMENT. TO INCLUDE DATA, PHONE, CARD ACCESS, ETC.. |

POWER PLAN
 1/8"=1'-0" NORTH

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PROJECT MANAGER:	DUANE MILLAR
KAMM Consulting	1408 Orange Avenue Fort Pierce, Florida 34950 Phone: 772-395-1744 brown@kammconsulting.com Certification of Authorization #8189
PRINCIPAL Brady L. Brown	Florida License #58232
date	_____
signed	_____

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Cnd:	HC	XREF File:	
Project No.:	2019-48	Plot File:	
Sheet No.:			
Cert. No.:	12.456		
Date Signed:			E3.1

Project:
**INDIAN RIVER COUNTY
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 COMPLEX
 ALTERATIONS
 TO BUILDING 'A'**
 FOR
**BUILDING / FIRE
 DEPARTMENTS**

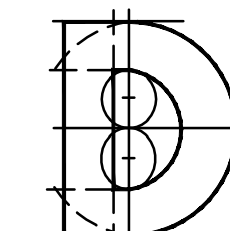
1801 27th STREET
 VERO BEACH, FLORIDA 32960

Key Plan

Issues:

No.:	Date:	Description:

Architect:



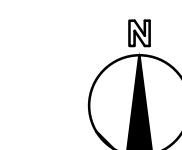
**DONADIO
 & Associates, Architects P.A.**

2801 9th Avenue, Suite 308
 Vero Beach, FL 32960
 Tel: 772.794.2929
 Fax: 772.362.3600
 www.donadio-arch.com
 License No. A-00002338

Consultant:

Drawing Title:

SANITARY PLAN

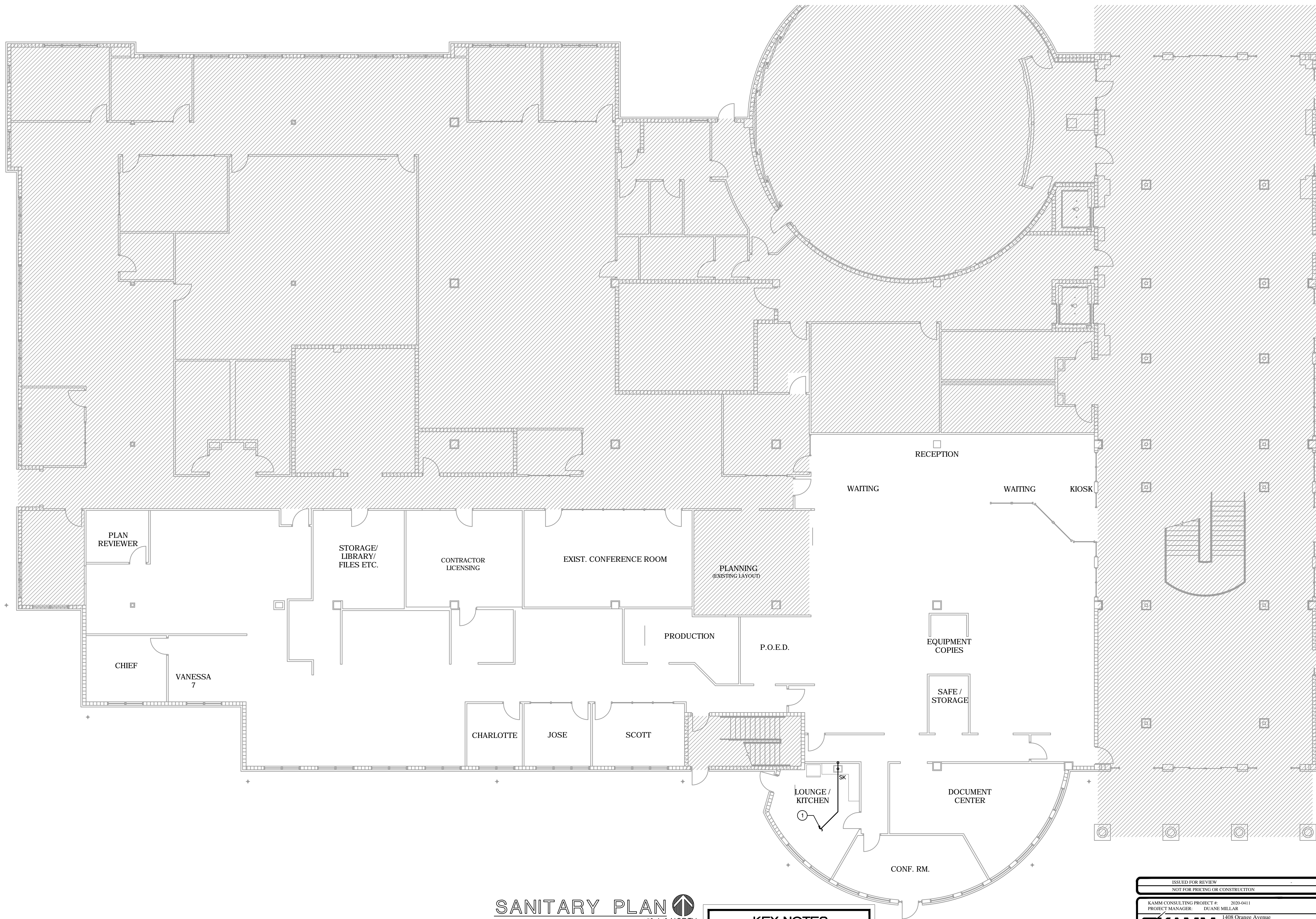


Dm:	JEM	Drawing File:
Chd:	HC	XREF File:
Project No.:	2019-48	Plot File:
Sheet No.:		

Cert. No.: 12,456

Date Signed:

P2.1

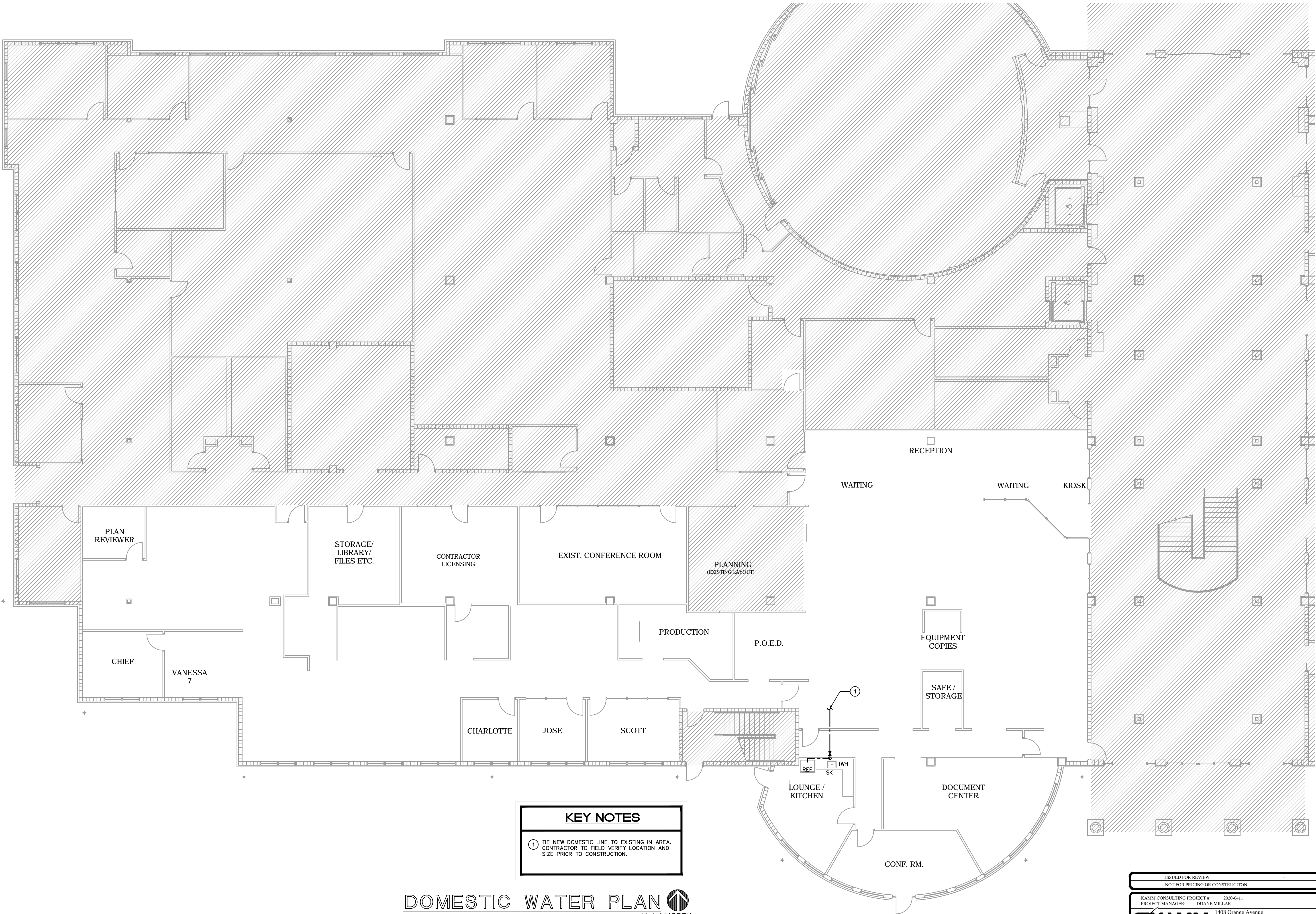


SANITARY PLAN
 1/8"=1'-0" NORTH

KEY NOTES

1. TIE NEW SANITARY LINE TO EXISTING IN AREA. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE PRIOR TO CONSTRUCTION.

ISSUED FOR REVIEW	
NOT FOR PRICING OR CONSTRUCTION	
KAMM CONSULTING PROJECT #	2020-0411
PROJECT MANAGER:	DUANE MILLAR
KAMM Consulting	1408 Orange Avenue Fort Pierce, Florida 34950 Phone: 772.395.1744 brown@kammconsulting.com Certification of Authorization #8189
PRINCIPAL Brady L. Brown	Florida License #58232
date	signed



KEY NOTES

① THE NEW DOMESTIC LINE TO EXISTING IN AREA. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE PRIOR TO CONSTRUCTION.

DOMESTIC WATER PLAN
1/8"=1'-0" NORTH

Project:
**INDIAN RIVER COUNTY
ADMINISTRATION
COMPLEX
ALTERATIONS
TO BUILDING 'A'**
FOR
**BUILDING / FIRE
DEPARTMENTS**

1801 27th STREET
VERO BEACH, FLORIDA 32960

Key Plan

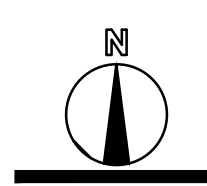
Issues:
No. Date Description

No.	Date	Description

Architect:
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Consultant:

Drawing Title:
DOMESTIC WATER PLAN



ISSUED FOR REVIEW
NOT FOR PRICING OR CONSTRUCTION

KAMM CONSULTING PROJECT # 2020-0411
PROJECT MANAGER: DUANE MILLAR

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PRINCIPAL: Brady L. Brown Florida License #58232
date: _____ signed: _____

Dm: JEM Drawing File:
Ctd: XREF File:
HC XREF File:
Project No.: Plot File:
2019-48
Sheet No.:
Cert. No.: 12.456
Date Signed: **P3.1**