

SPECIFICATIONS FOR

TOM GREEN COUNTY



**Public Defenders Office
at
Edd. B. Keyes Building**

SAN ANGELO, TEXAS



ARCHITECT OF RECORD
37B WEST CONCHO
SAN ANGELO, TX 76903
(325) 653-2900

POWER SYSTEMS INC.
MEP CONSULTANT
(325) 659-2235

Project Manual
100% Design Development Review Set
December 07, 2021

Owner's Project No. **21-07**

PROJECT NO. 304-12-0721

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100% DESIGN DEVELOPMENT REVIEW SET

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TOM GREEN COUNTY PUBLIC DEFENDERS OFFICE

RENOVATION AT EDD B. KEYES BUILDING

113 W. BEAUREGARD AVE
SAN ANGELO, TEXAS 76903



PROJECT TEAM

Architect of Record
KFW Architects AIA
37B West Concho Ave.
San Angelo, TX 76903
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Attn: Paul Wilkerson, P.E.
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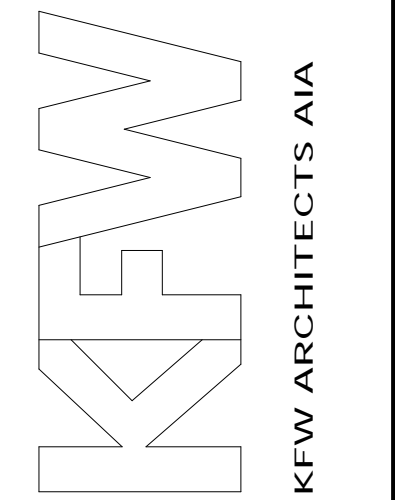
CODE REVIEW

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A0.00	COVER
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A2.01	PLANS & SCHEDULES
A3.01	ELEVATIONS & SECTIONS
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Drawn By _____
Checked By _____

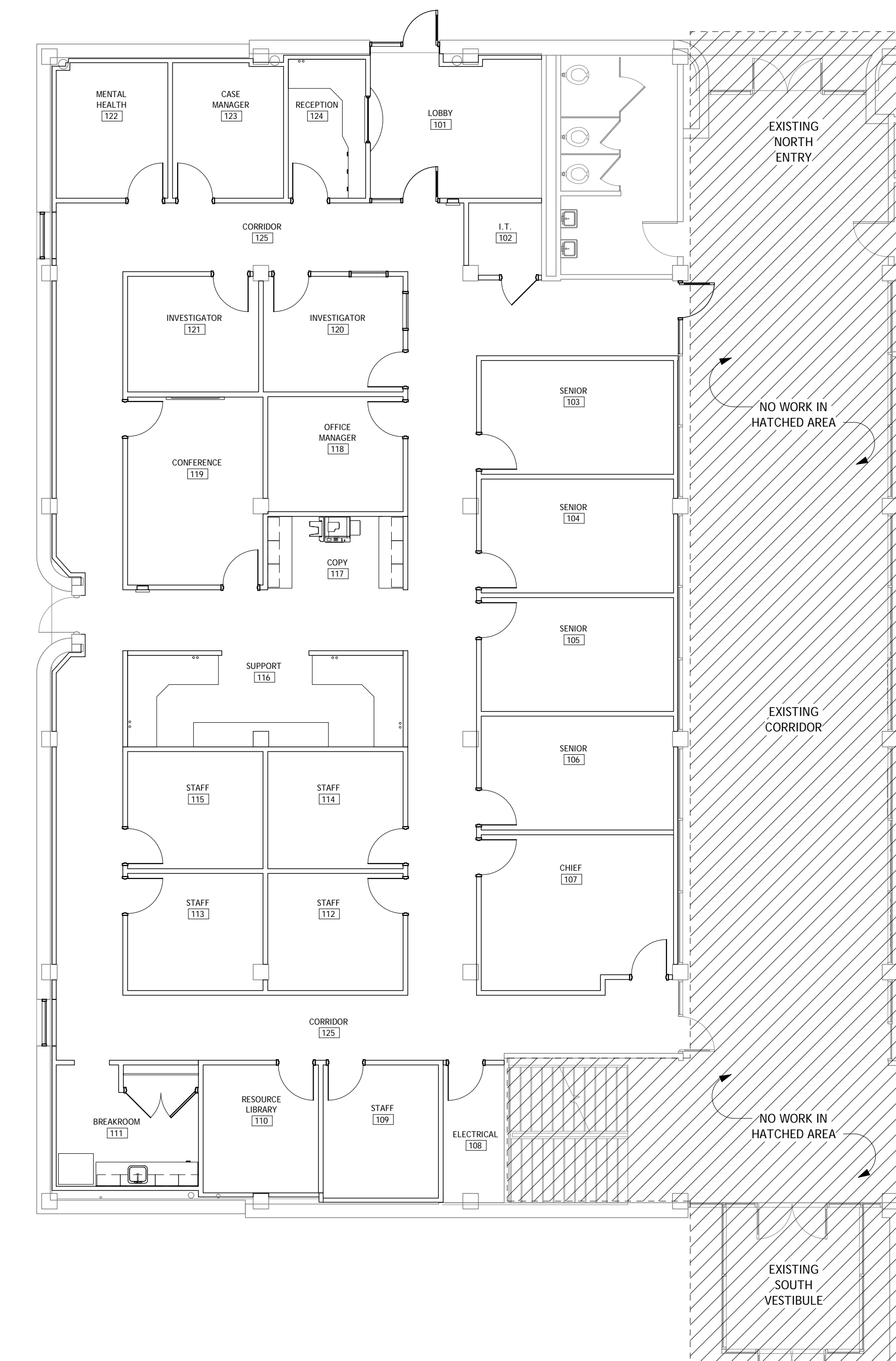
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OCCUPANT LOAD

OFFICE SPACE - APPROX. 4,865 SQUARE FEET
BUSINESS "B" OCCUPANCY 100 S.F./PERSON
TOTAL OCCUPANCY LOAD 49 PERSONS



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TOM GREEN COUNTY
PUBLIC DEFENDERS OFFICE
SAN ANGELO, TEXAS

Project No. 304-12-0721

Date DECEMBER 07, 2021

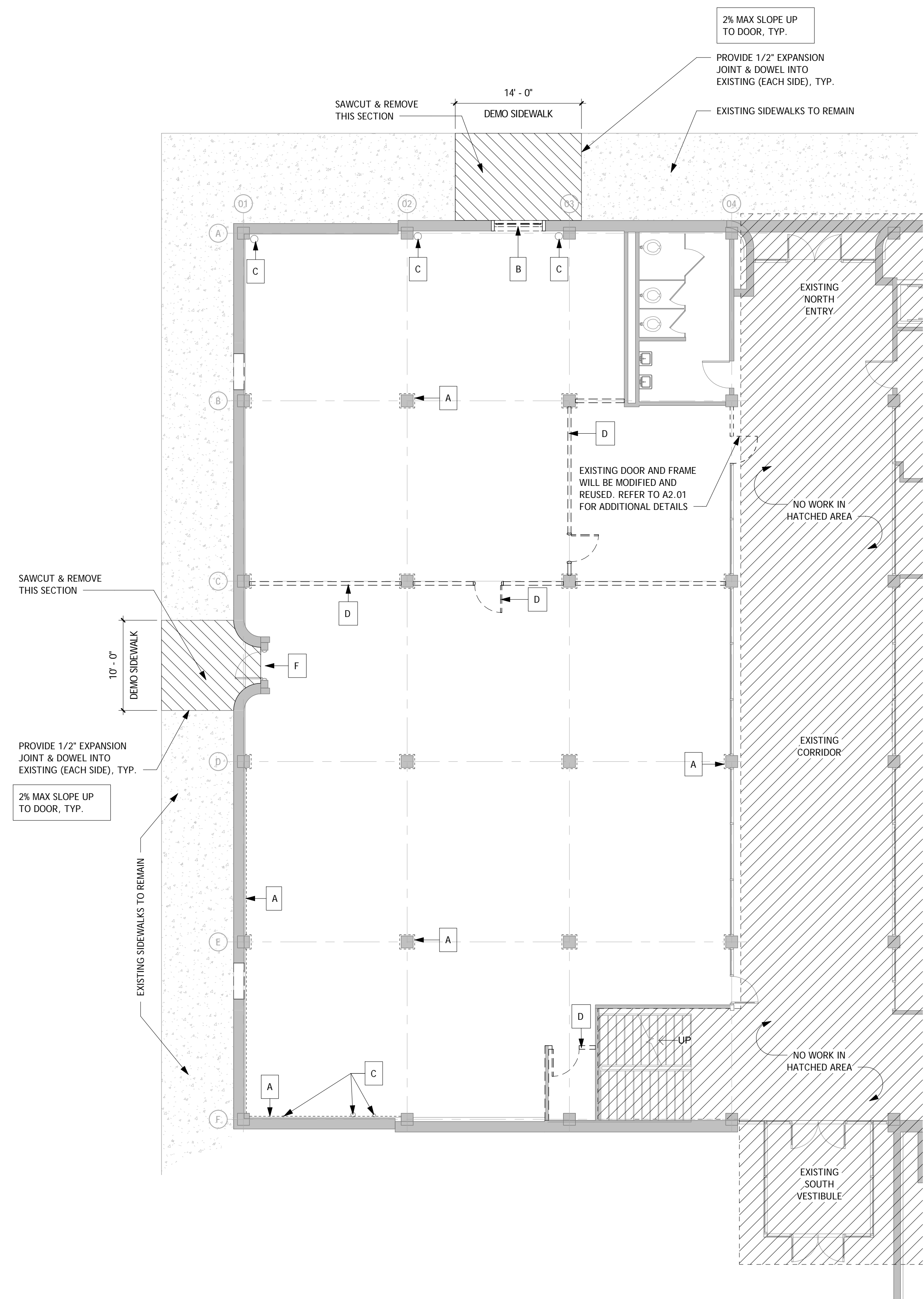
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1 LIFE SAFETY PLAN
1/8" = 1'-0"

DEMOLITION NOTES:

1. CMAR WILL PROVIDE ADEQUATE DUST PARTITIONS TO MITIGATE DUST IN OCCUPIED SPACES ADJACENT TO THE CONSTRUCTION ZONE.
2. CMAR WILL ENSURE CONCRETE SLAB IS LEVELED AND PREPPED (AS REQUIRED) FOR NEW FLOORING AS SCHEDULED.
3. EXISTING FLOOR THROUGHOUT IS TERRAZZO. WHERE EXPOSED FLOOR WILL BE CLEANED, BUFFED AND REPOLISHED.
4. CMAR WILL REMOVE WALL FURRINGS AND PLASTER ON EXPOSED COLUMNS WHERE NOTED. EXPOSED COLUMNS WILL BE FINAL FINISH.
5. CMAR WILL ENSURE EXISTING ALUMINUM STOREFRONT TO REMAIN IS PROTECTED DURING CONSTRUCTION.
6. SALVAGE ALL BRICK FROM DEMOLITION, CONSULT WITH OWNER FOR BRICK STORAGE.



1 DEMOLITION PLAN
1/8" = 1'-0"



ACOUSTIC PARTITION NOTES:

ACOUSTIC WALL:

- INTERIOR WALLS SHOWN WITH INSULATION ARE ACOUSTIC WALLS AND WILL BE CONSTRUCTED AS SPECIFIED BELOW.
- MTL STUDS @ 16" O.C WITH 5/8" ACOUSTIC GYP BO ON ONE SIDE AND 5/8" GYP BO ON THE OTHER SIDE.
- INSTALL ACOUSTIC BATT INSULATION IN WALL CAVITY BETWEEN STUDS.
- INSTALL BEAD OF ACOUSTIC SILICONE CAULK BETWEEN GYP BOARD AND EACH STUD FACE.
- INSTALL CONTINUOUS BEAD OF ACOUSTIC CAULK AT TOP AND BOTTOM OF GYP. BO.
- STAGGER ALL ELECTRICAL BOXES SO THAT NONE ARE BACK-TO-BACK.
- SEAL ALL PENETRATIONS WITH ACOUSTIC CAULK.



2 ACOUSTIC PARTITION & FLOORING PLAN
1/8" = 1'-0"



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KFW
KFW ARCHITECTS AIA

**TOM GREEN COUNTY
PUBLIC DEFENDERS OFFICE
SAN ANGELO, TEXAS**

Project No. 304-12-0721

Date 10/29/21

Sheet Number

A1.01

WALL PARTITION SCHEDULE							
TYPE	SIDE 1	SIDE 1 HEIGHT	WALL STRUCTURE	SIDE 2	SIDE 2 HEIGHT	FIRE RATING	WALL INSULATION
3B4	5/8" GYP. BOARD	6" ABOVE ADJ. CEILING	3-5/8" METAL STUD	5/8" GYP. BOARD	6" ABOVE ADJ. CEILING	-	-

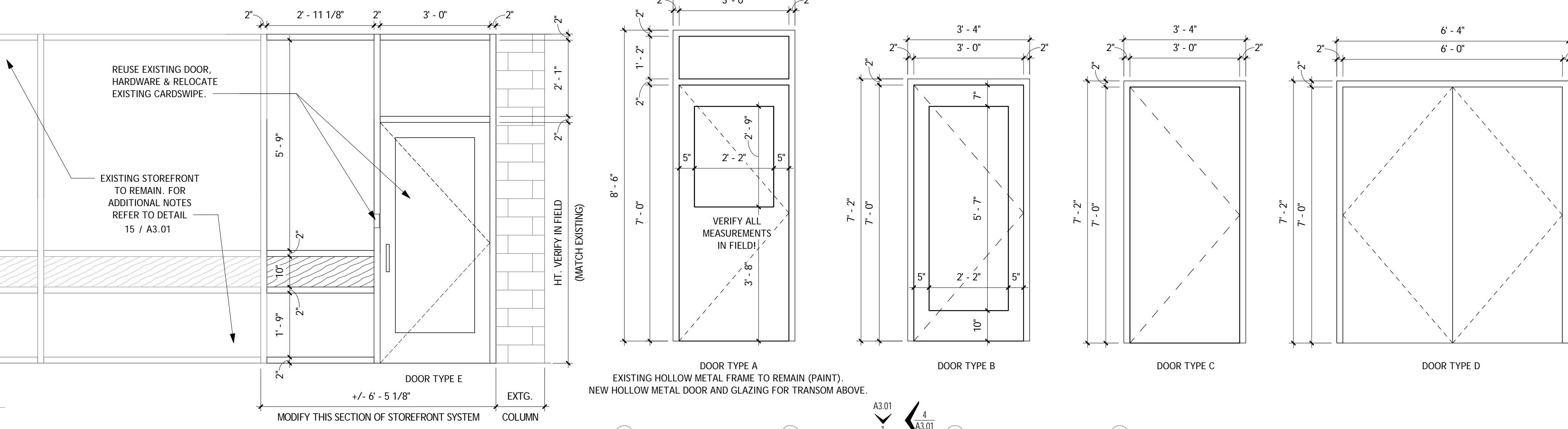
DOOR SCHEDULE												
DOOR NO.	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	MATERIAL	FINISH	OVERALL FRAME DEPTH	ACOUSTIC TREATMENT	FIRE RATING	ELEVATION	COMMENTS
100A	3'-0"	7'-10"	0'-1 3/4"	ALUMINUM	DK BRONZE	ALUMINUM	DK BRONZE	0'-4 1/2"	-	-	-	
101	3'-0"	7'-10"	0'-1 3/4"	ALUMINUM	DK BRONZE	ALUMINUM	DK BRONZE	0'-4 1/2"	-	-	-	
101B	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	PAINTED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	REUSE EXISTING HM FRAME
102	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	TYPE B
103	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	TYPE B
104	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE C
105	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
106	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
107A	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
107B	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	TYPE B
108	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	PAINTED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	REF. ALTERNATES
109	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
110	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
111	6'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	TYPE D
112	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
113	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
114	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
115	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
118	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
119A	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
119B	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
120A	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
120B	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
121	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
122	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
123	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	YES	-	-	TYPE B
124	3'-0"	7'-0"	0'-1 3/4"	WOOD	STAINED	HOLLOW METAL	PAINTED	0'-5 3/4"	-	-	-	TYPE B
125A	3'-0"	6'-7"	0'-1 3/4"	WOOD	STAINED	ALUMINUM	DK BRONZE	0'-4 1/2"	-	-	-	REUSE EXISTING WD DOOR

FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
101	LOBBY		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
102	I.T.		RUBBER	PAINTED GYP BD	NO CEILING	
103	SENIOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
104	SENIOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
105	SENIOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
106	SENIOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
107	CHEF		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
108	ELECTRICAL	EXIST. TO REMAIN	E.T.R.	E.T.R.	E.T.R.	
109	STAFF		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
110	RESOURCE LIBRARY		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
111	BREAKROOM		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
112	STAFF		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
113	STAFF		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
114	STAFF		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
115	STAFF		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
116	SUPPORT		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
117	COPY		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
118	OFFICE MANAGER		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
119	CONFERENCE		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
120	INVESTIGATOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
121	INVESTIGATOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
122	MENTAL HEALTH		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
123	CASE MANAGER		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
124	RECEPTION		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	
125	CORRIDOR		RUBBER	PAINTED GYP BD	ACOUSTIC TILE CLG	

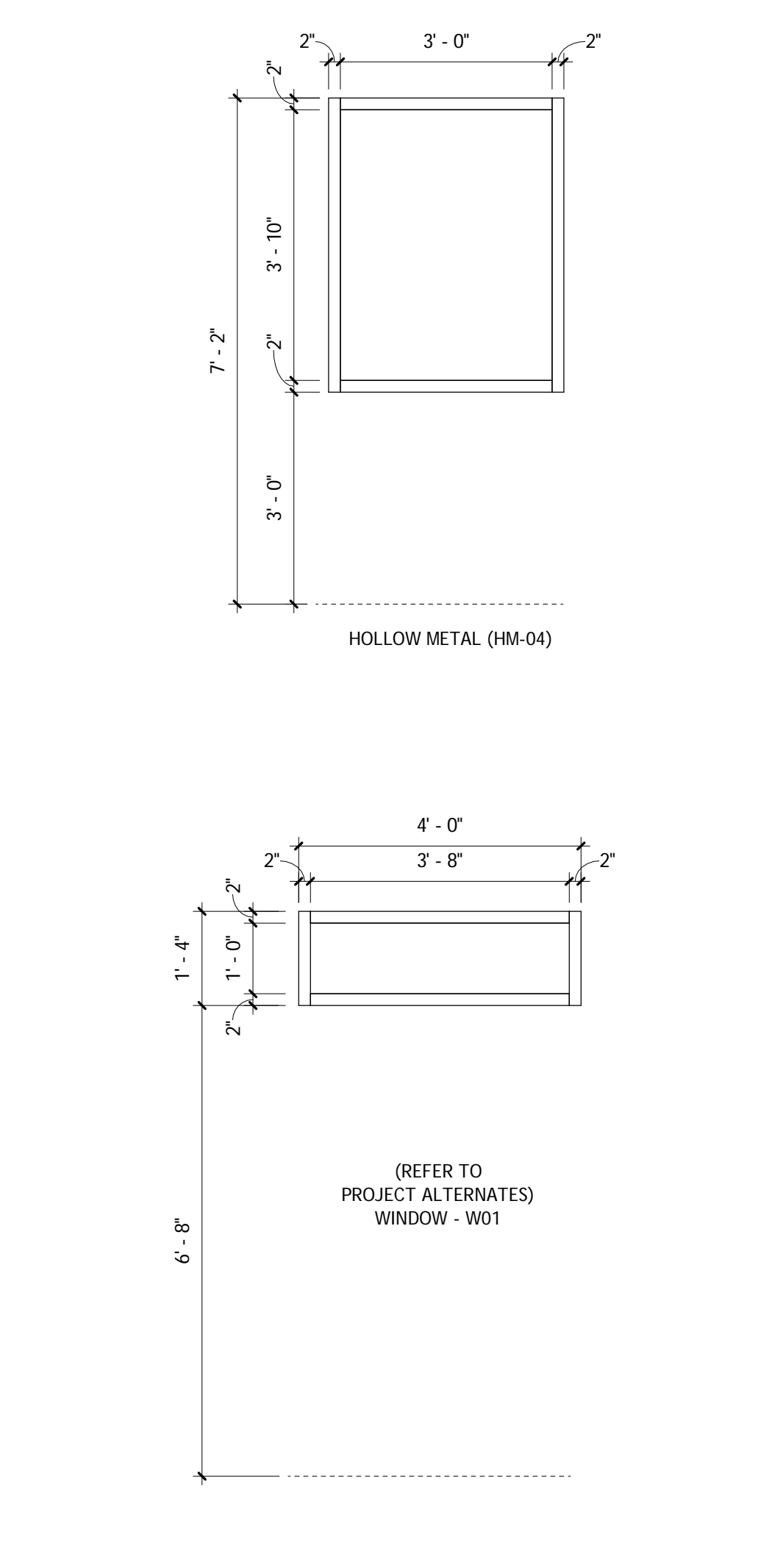
- ### PLAN NOTES
- COORDINATE SECURITY MEASURES WITH OWNER BEFORE CONSTRUCTION START.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND JOB CONDITIONS, INCLUDING UTILITIES, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BY SUBMITTING BID.
 - CONTRACTOR SHALL HAVE LIMITED USE OF BUILDING - CONSULT WITH OWNER FOR STAGING AREAS.
 - DIMENSIONS ARE TO STUD FACE UNLESS NOTED OTHERWISE. (VERIFY ALL DIMENSIONS IN FIELD. CONSULT ARCHITECT WITH ANY DISCREPANCIES.)
 - CONTRACTOR RESPONSIBLE FOR INSTALLING WOOD BLOCKING WHERE ACCESSORIES OR EQUIPMENT ATTACH TO WALLS - THIS IS TYPICAL IN ALL AREAS OF THIS BUILDING.
 - AREAS SHOWN IN GRAY ARE EXISTING TO REMAIN, TYPICAL.
 - REFER TO DETAILS FOR ADDITIONAL MISC. STEEL THAT MAY NOT BE SHOWN IN STRUCTURAL DRAWINGS. TYPICAL.
 - ANY ASBESTOS REMEDIATION WILL BE BY OWNER PRIOR TO WORK BEGINNING. CONSULT WITH OWNER.

GLAZING KEY:

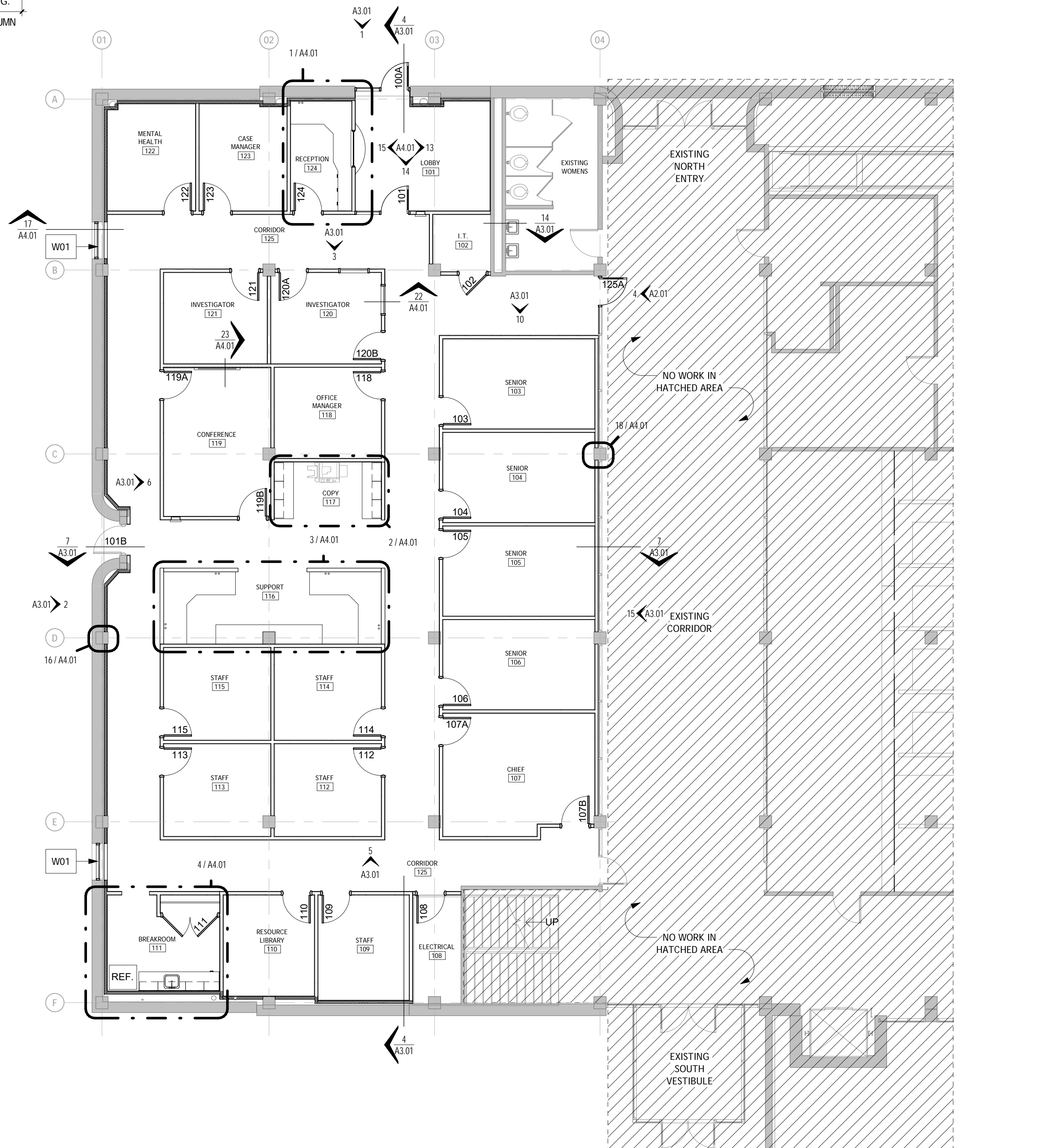
G1	- 1/4" GLAZING
G2	- 1/4" TEMPERED GLAZING
G3	- 1" "LOW E" INSULATED GLAZING
G4	- 1" TEMPERED INSULATED GLAZING
G6	- 1" FROSTED TEMPERED GLAZING
G7	- OPAQUE GLAZING TINT (PLACE AT OFFICE SIDE)
G8	- FROSTED FILM (PLACE AT OFFICE SIDE) TO MATCH FROSTED FILM AT DOORS



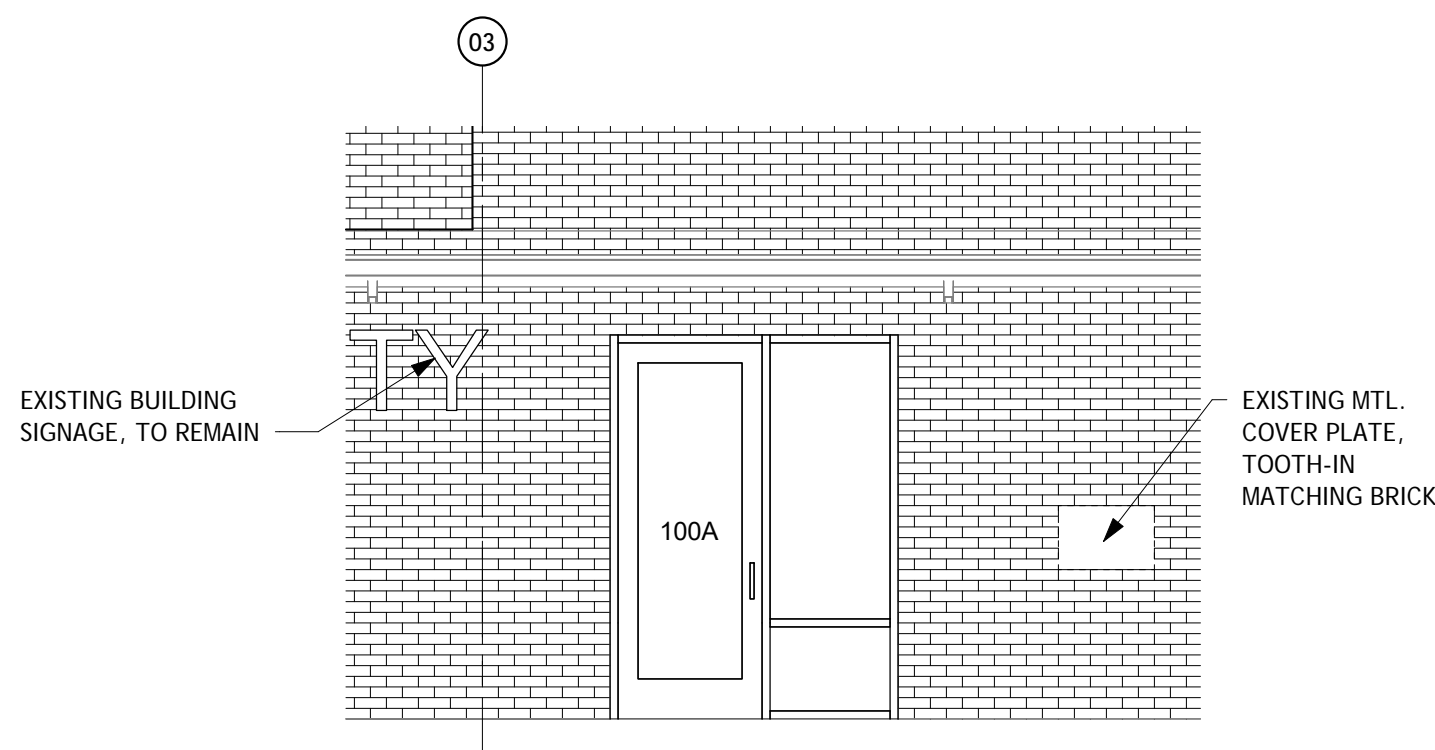
2 REFLECTED CEILING PLAN
1/8" = 1'-0"



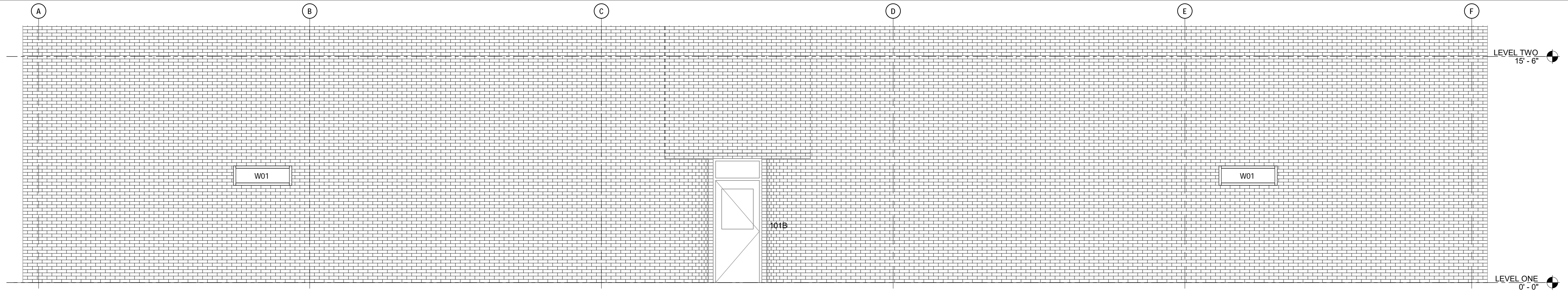
- ### LIST OF PROJECT ALTERNATES:
- (REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION)
- ALTERNATE NO. 1
ADD: TWO (2) ALUMINUM FRAMED CLERESTORY WINDOWS (W01) AT WEST WALL
 - ALTERNATE NO. 2
ADD: REPLACE EXISTING DOOR (101B) WITH PAINTED HOLLOW METAL FRAME AND DOOR WITH HALF LITE & COORDINATING HARDWARE



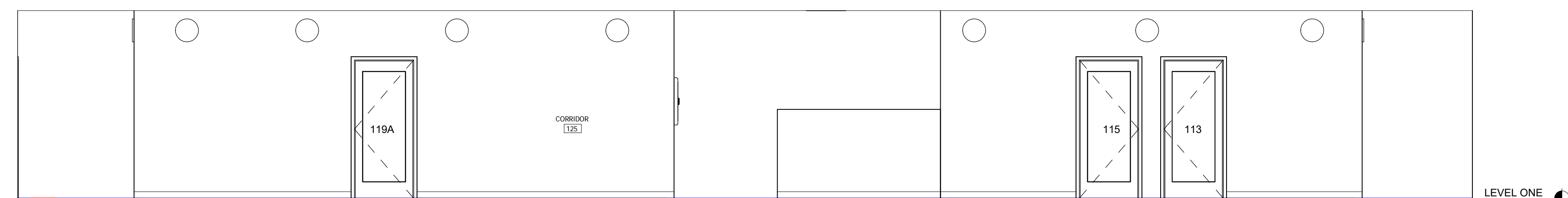
1 FLOOR PLAN
1/8" = 1'-0"



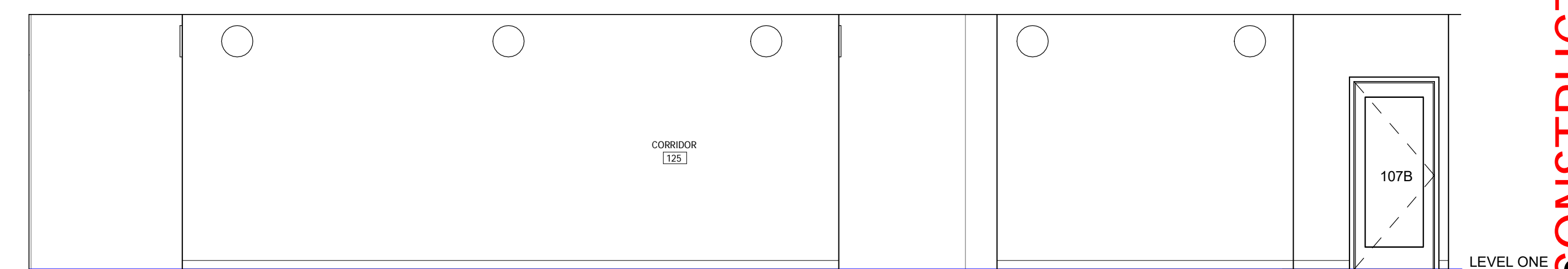
1 NORTH ENTRY ELEVATION
1/4" = 1'-0"



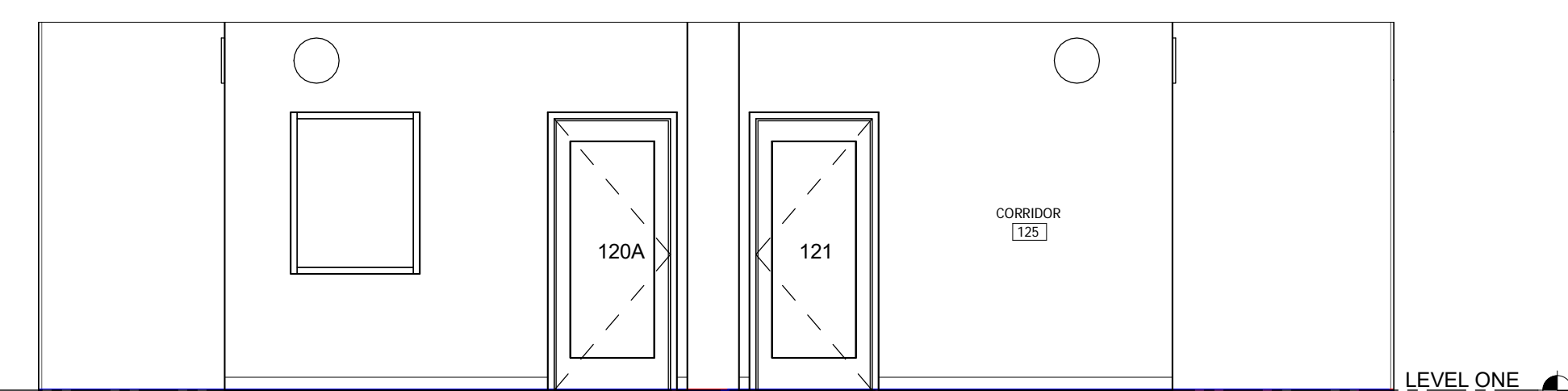
2 WEST ENTRY ELEVATION
1/4" = 1'-0"



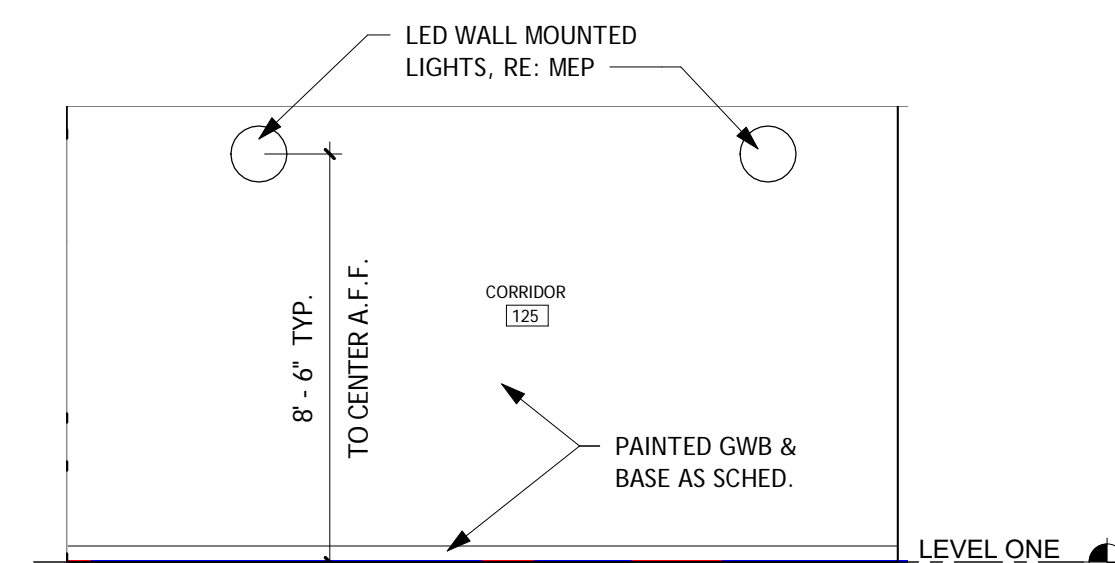
6 WEST CORRIDOR
1/4" = 1'-0"



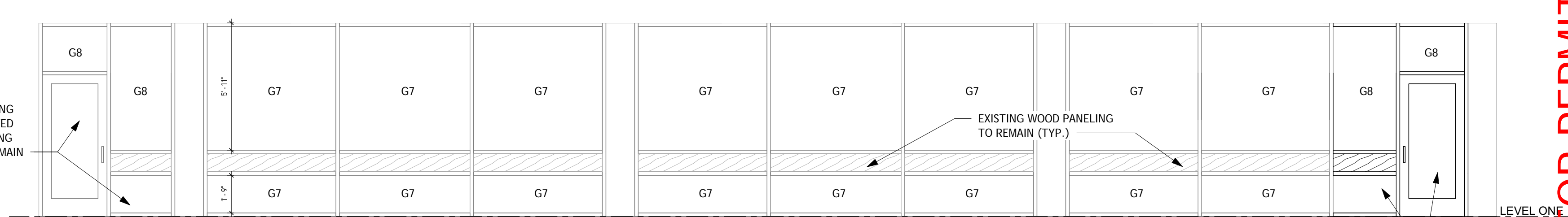
5 SOUTH CORRIDOR
1/4" = 1'-0"



3 NORTH CORRIDOR
1/4" = 1'-0"



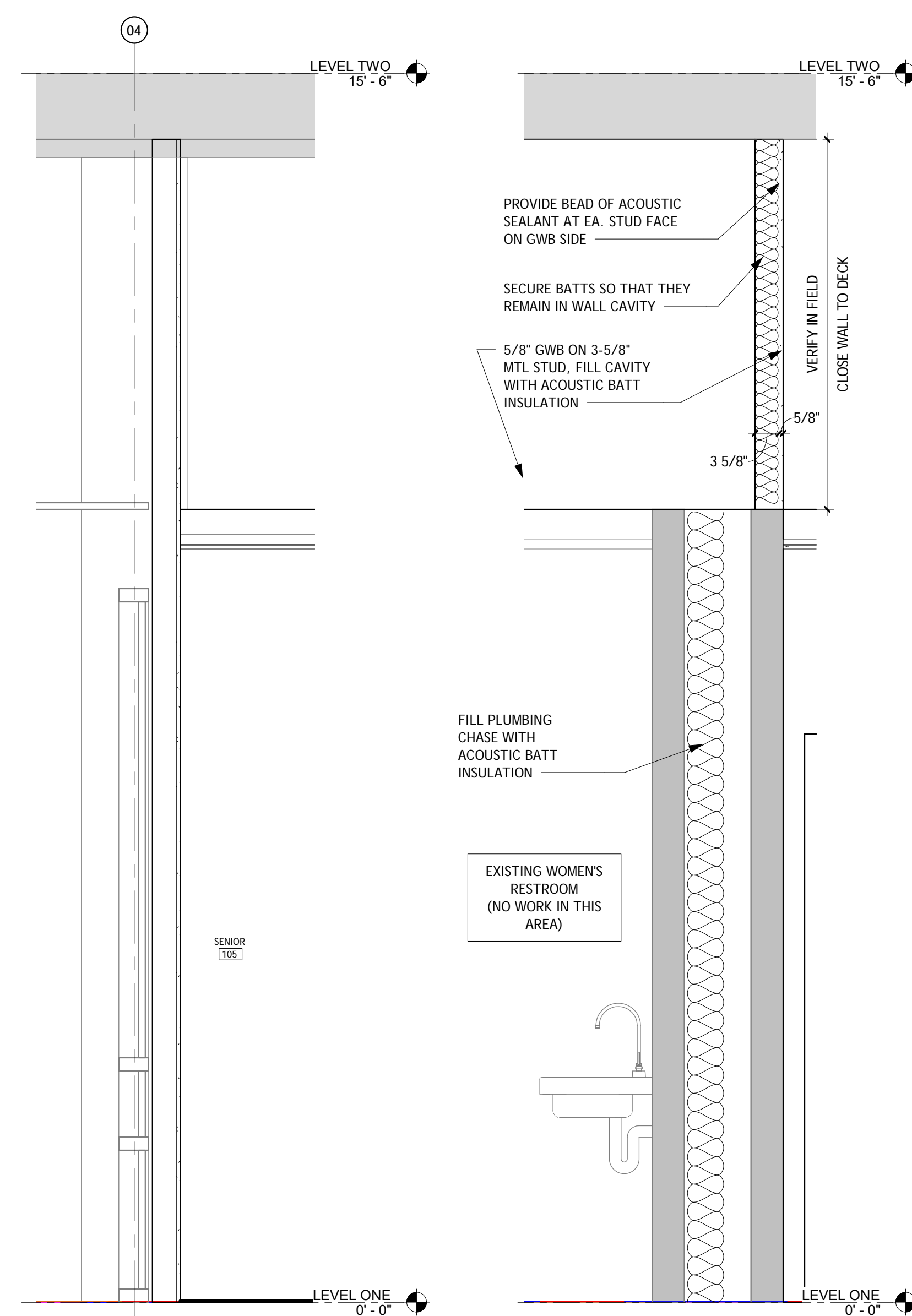
10 NORTH CORRIDOR - SIDE ENTRY
1/4" = 1'-0"



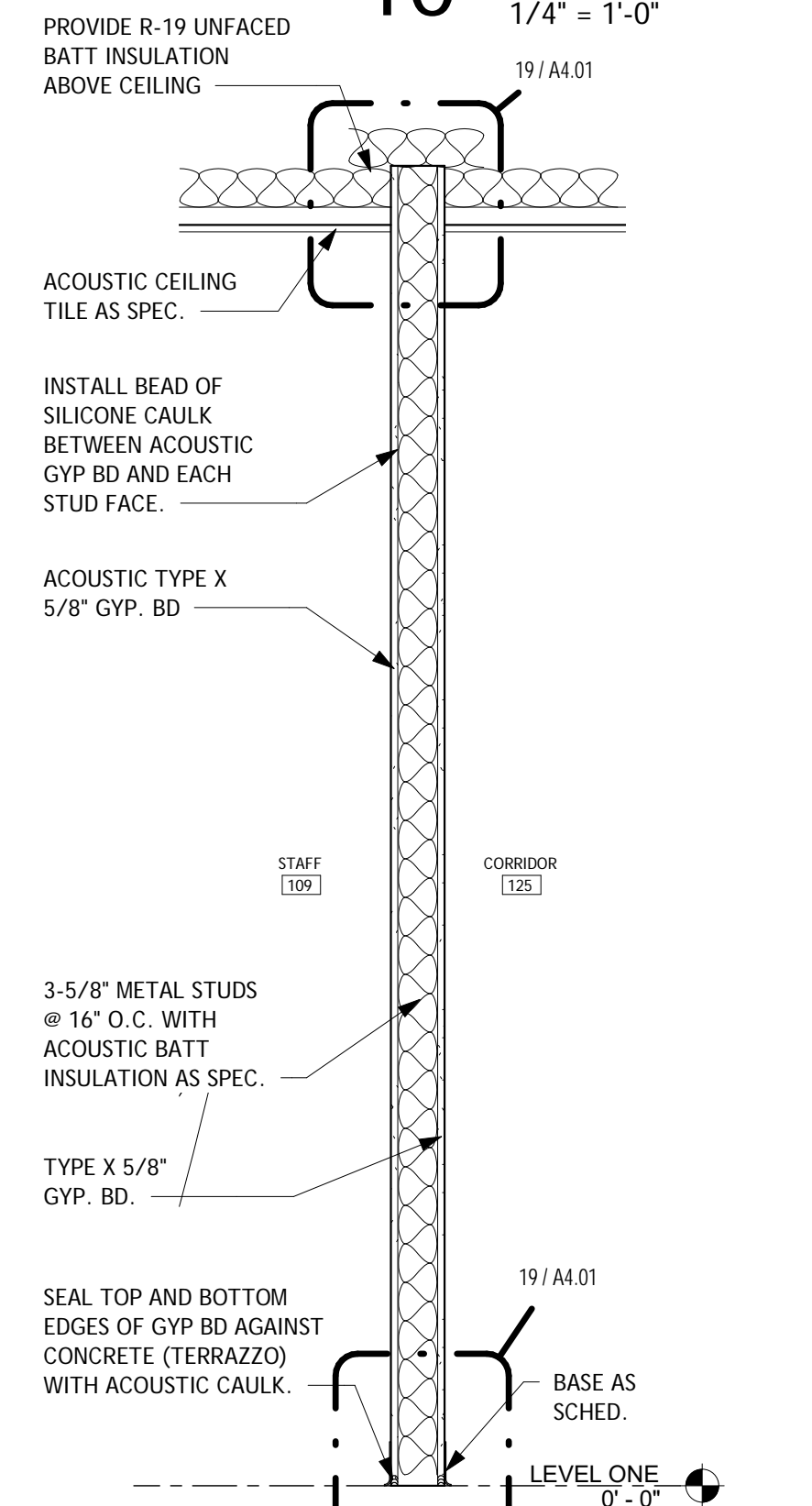
15 EXISTING - ALUMINUM STOREFRONT (CORRIDOR SIDE)
1/4" = 1'-0"

G7 DESIGN INTENT: OPAQUE WINDOW TINTING AT OFFICE SIDE OF EXISTING GLAZING (UPPER AND LOWER PANELS) SO THAT STUD WALLS ARE NOT VISIBLE FROM CORRIDOR SIDE.

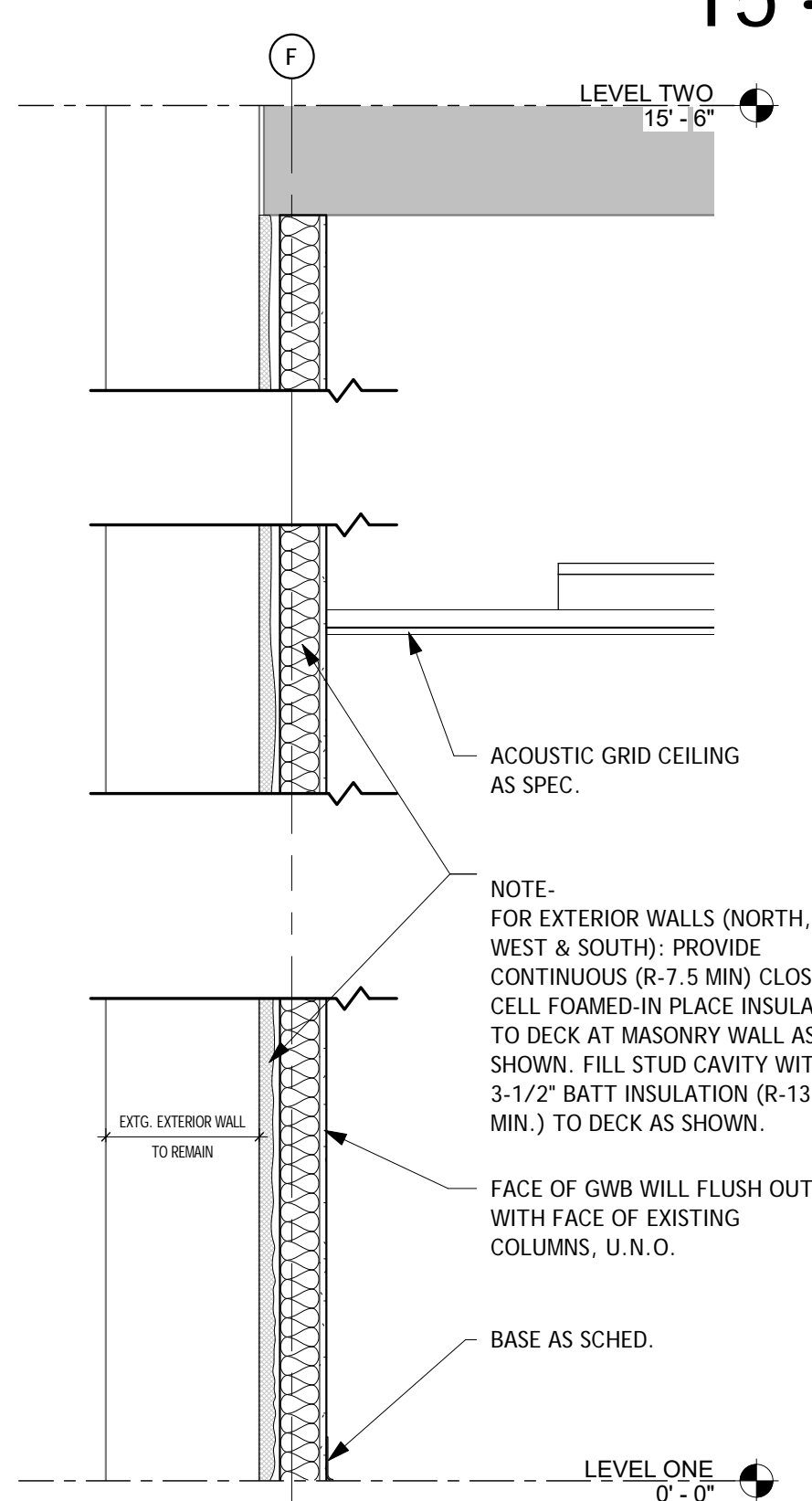
GLAZING KEY:	
G1	- 1/4" GLAZING
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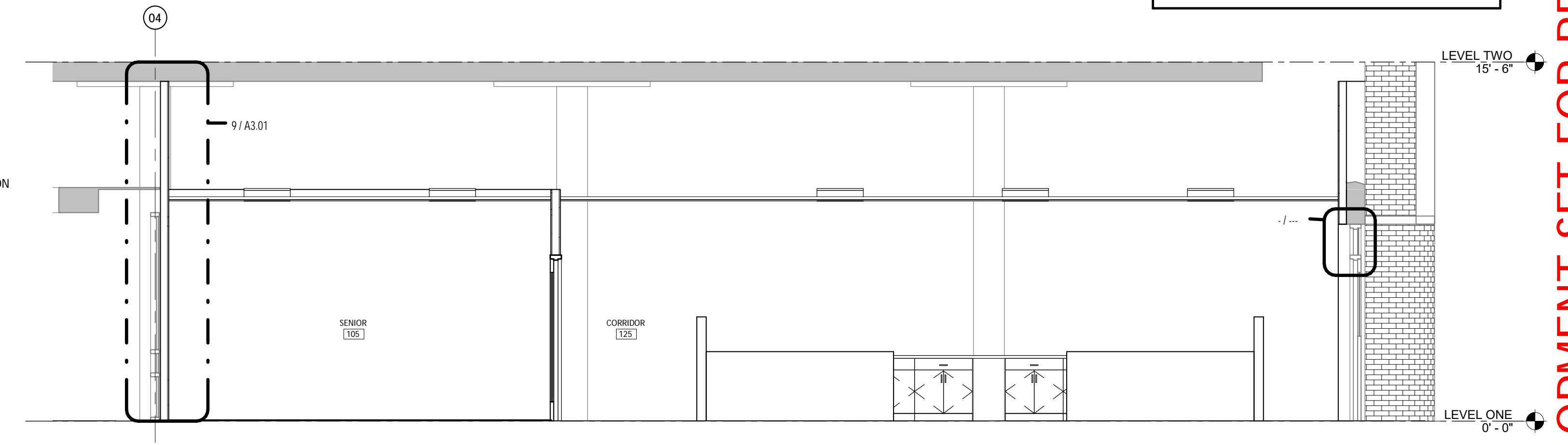
9 STOREFRONT - ACOUSTIC WALL
3/4" = 1'-0"



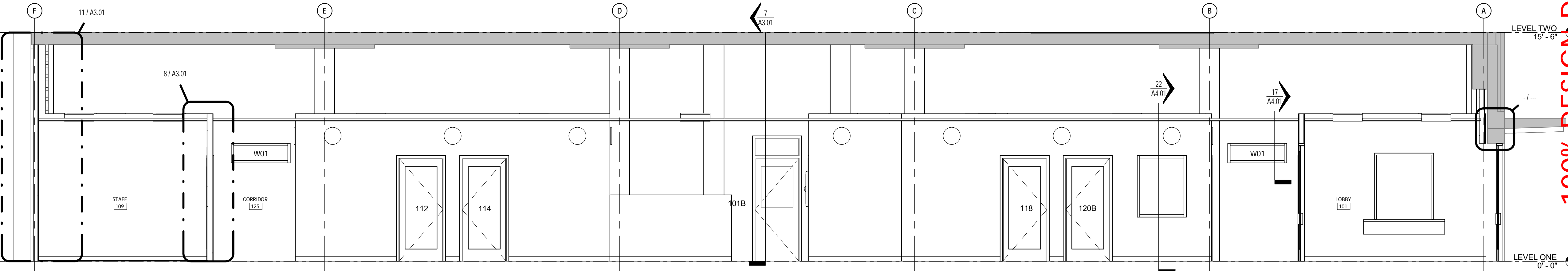
8 TYP. ACOUSTIC WALL DTL
3/4" = 1'-0"



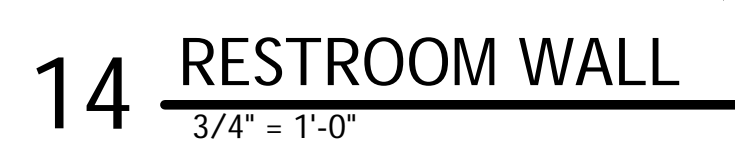
11 TYP. EXTERIOR WALL
3/4" = 1'-0"



7 WEST TO EAST SECTION
1/4" = 1'-0"



4 NORTH TO SOUTH SECTION
1/4" = 1'-0"



14 RESTROOM WALL
3/4" = 1'-0"

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Checked By _____

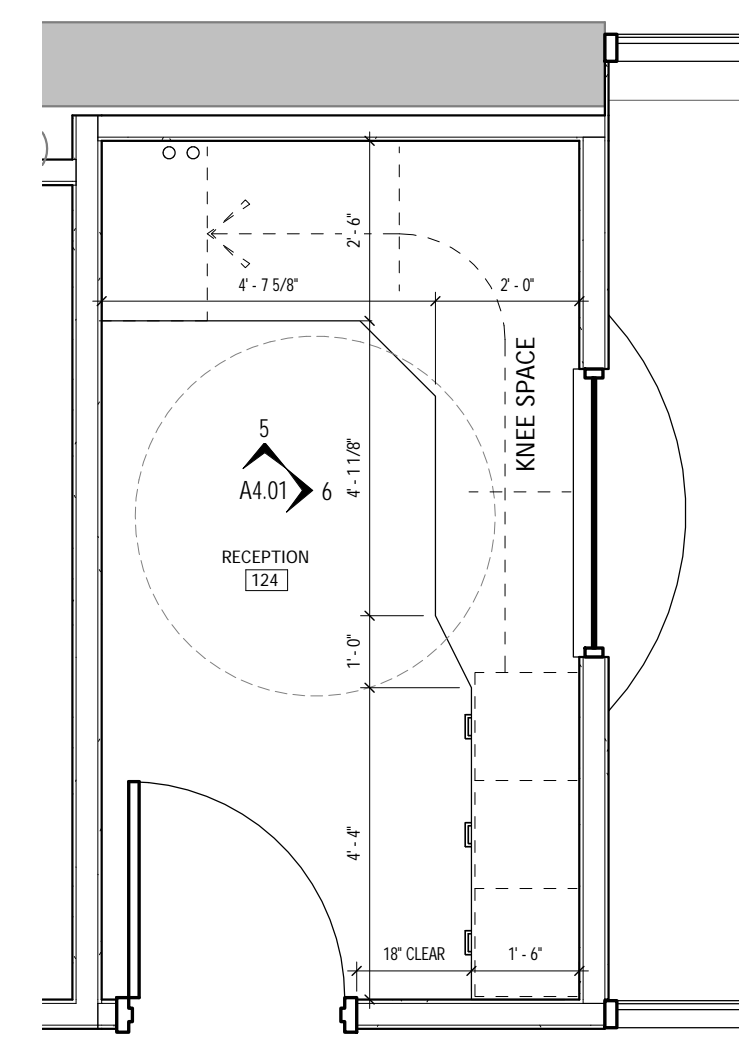
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MEP ENGINEER

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KFWARCHITECTS.COM

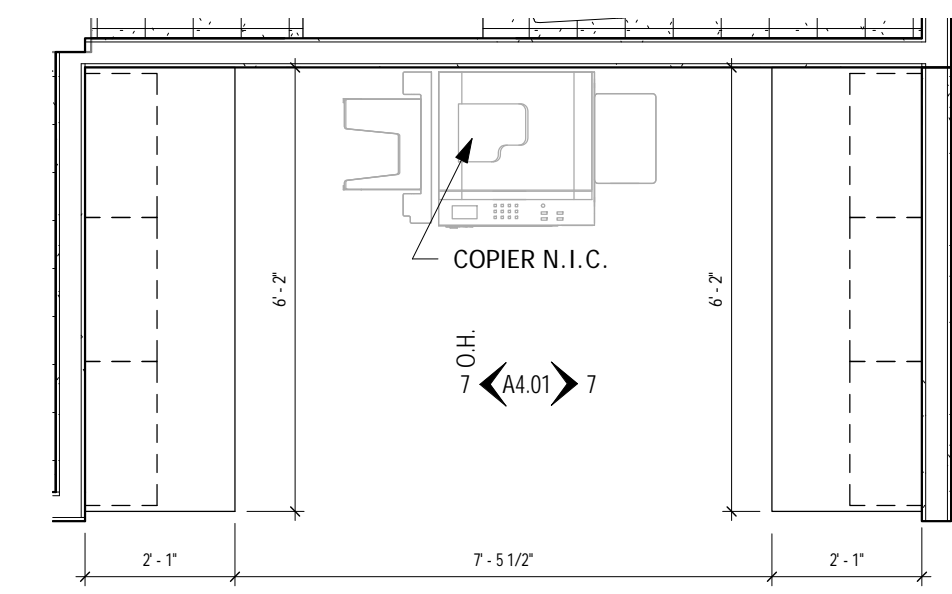
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SAN ANGELO, TEXAS

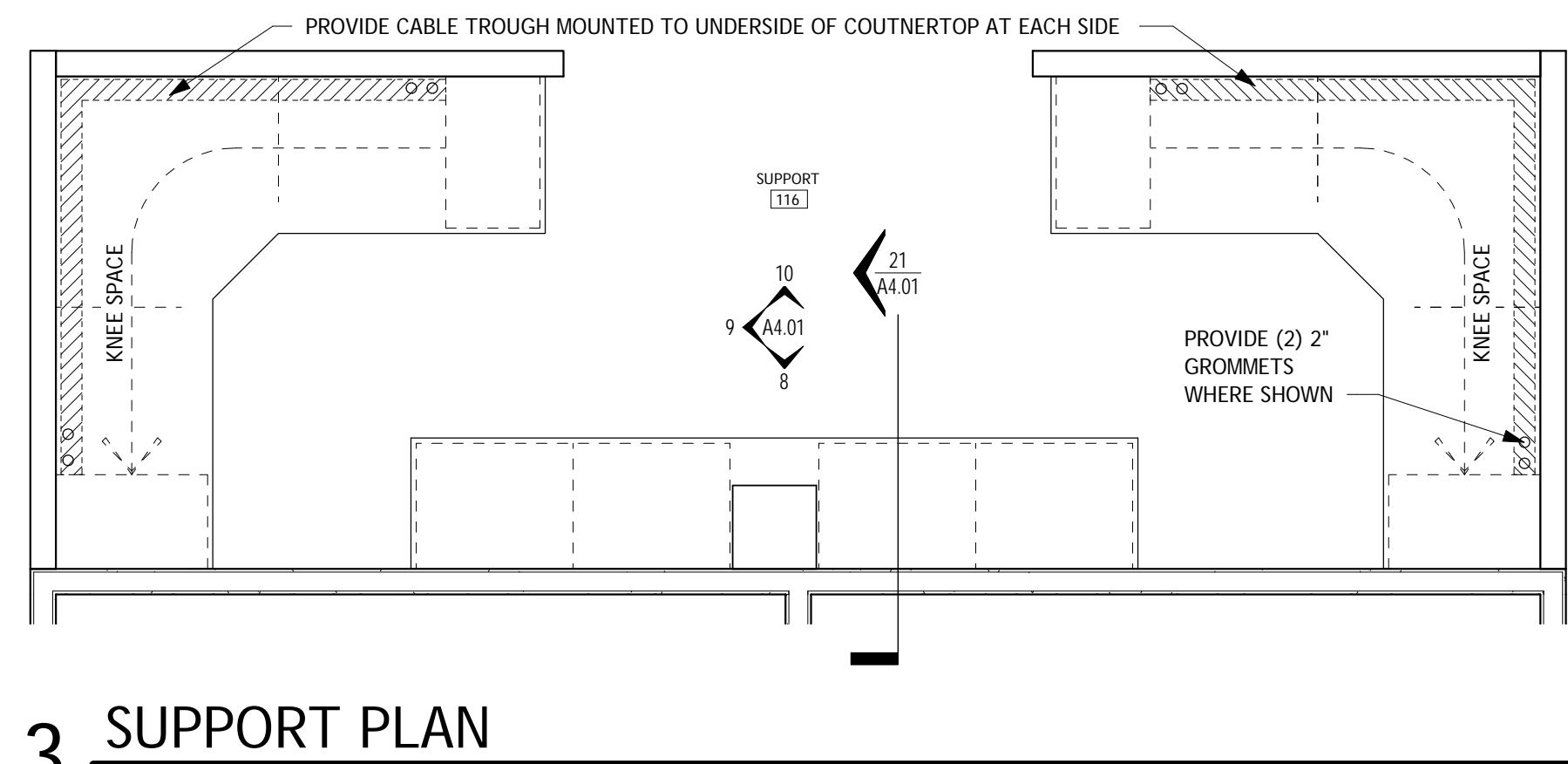
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Date 10/26/21
Sheet Number
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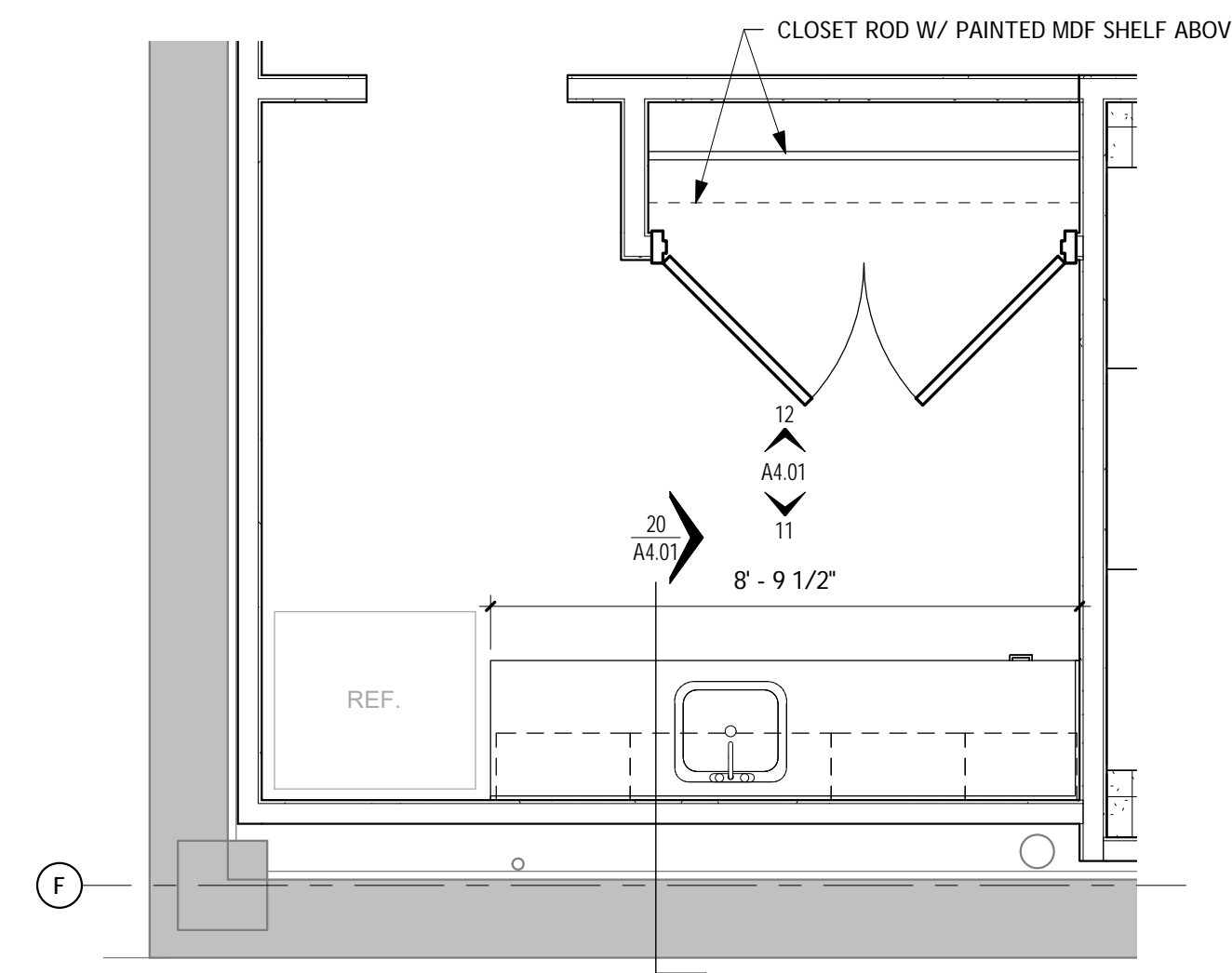
1 RECEPTION PLAN
3/8" = 1'-0"



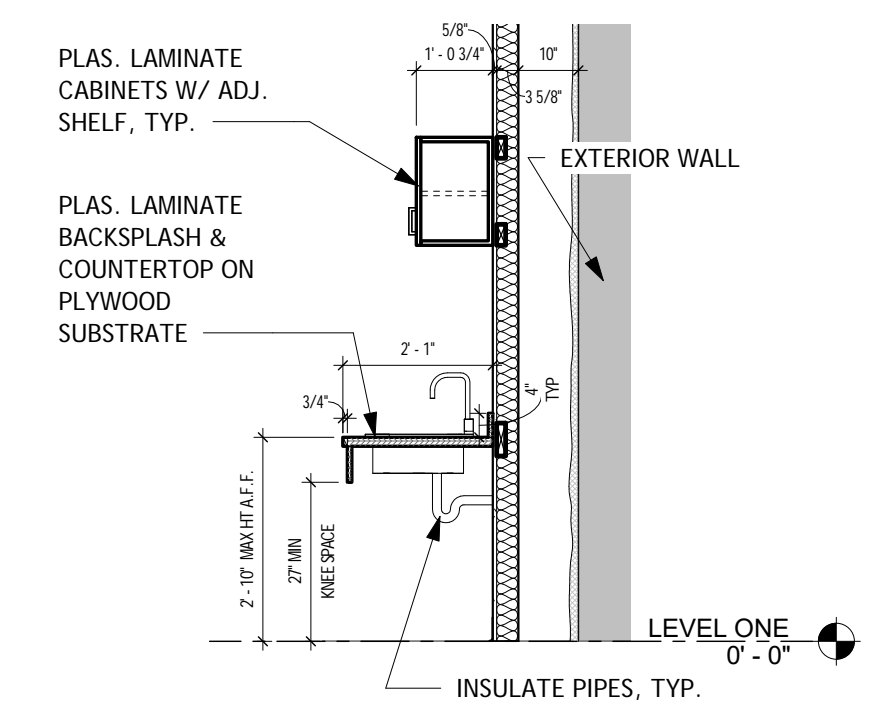
2 COPY PLAN
3/8" = 1'-0"



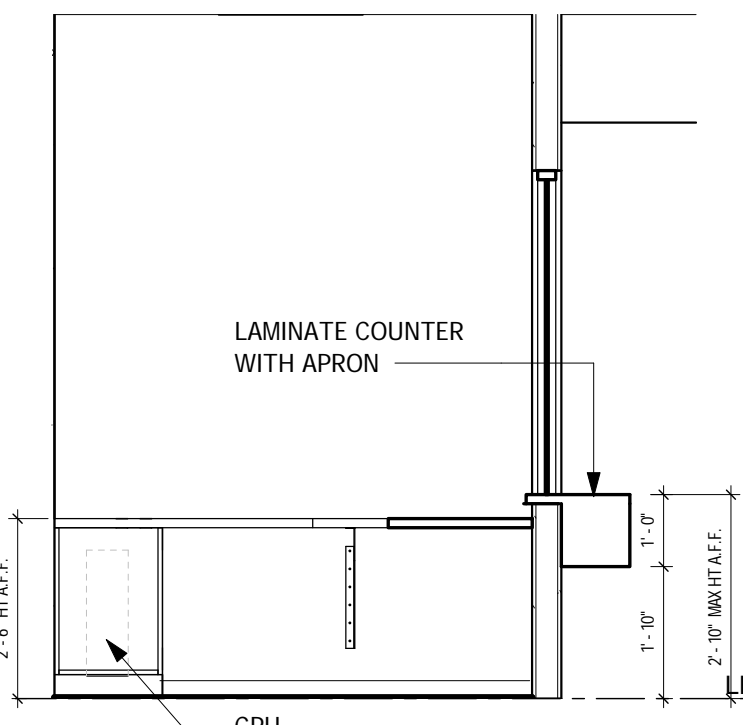
3 SUPPORT PLAN
3/8" = 1'-0"



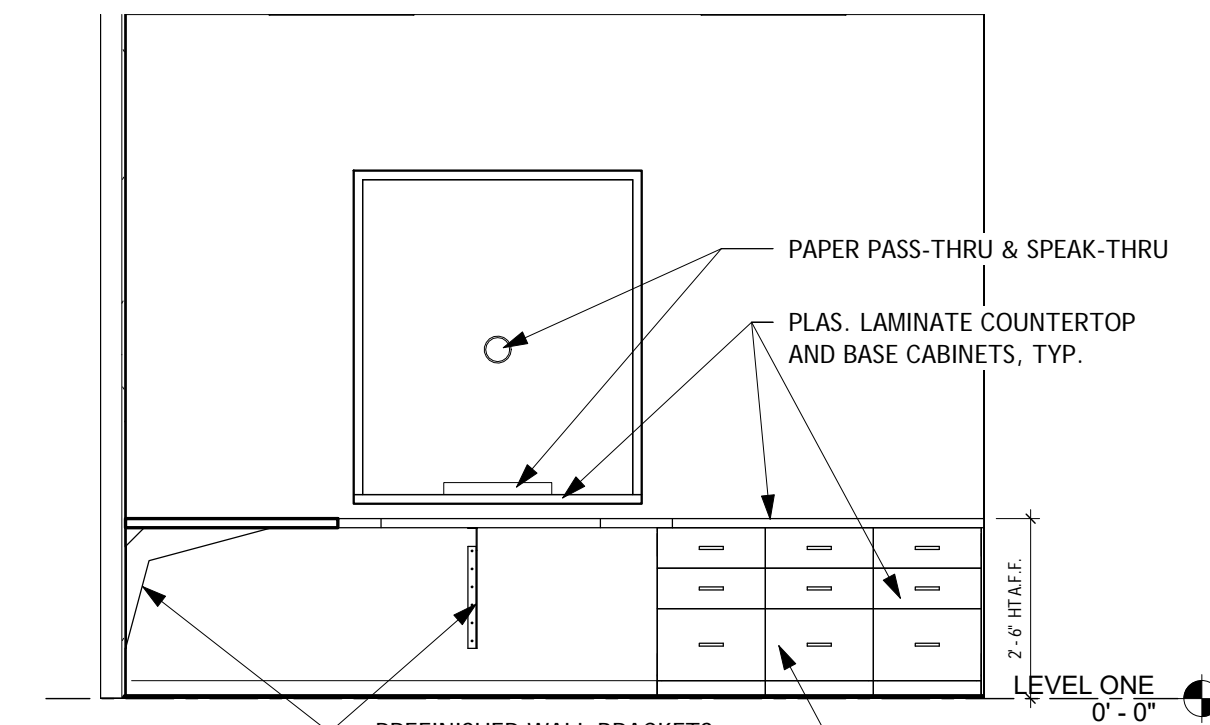
4 BREAKROOM PLAN
3/8" = 1'-0"



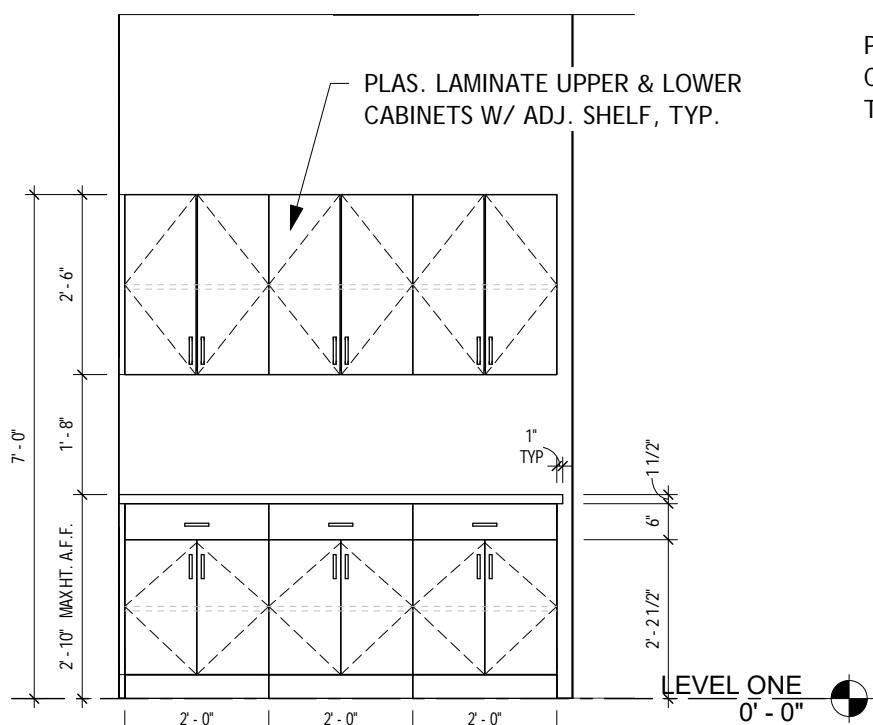
20 BREAKROOM SINK
3/8" = 1'-0"



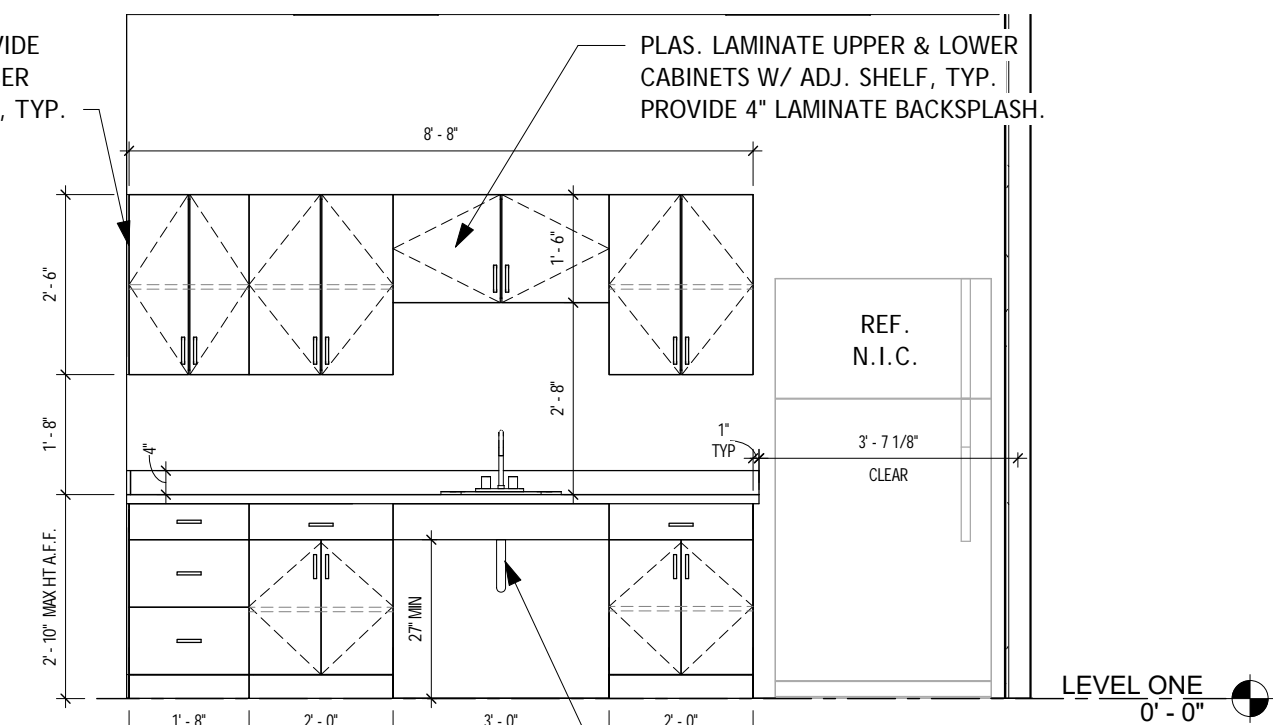
5 RECEPTION NORTH
3/8" = 1'-0"



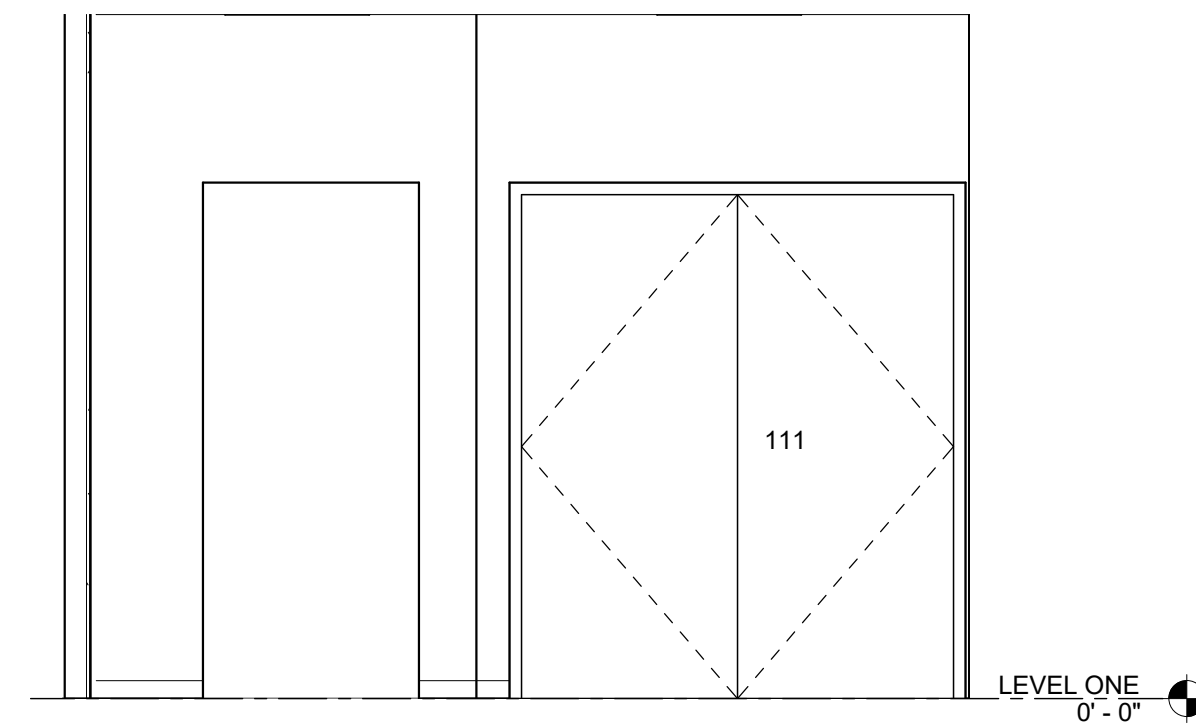
6 RECEPTION WINDOW
3/8" = 1'-0"



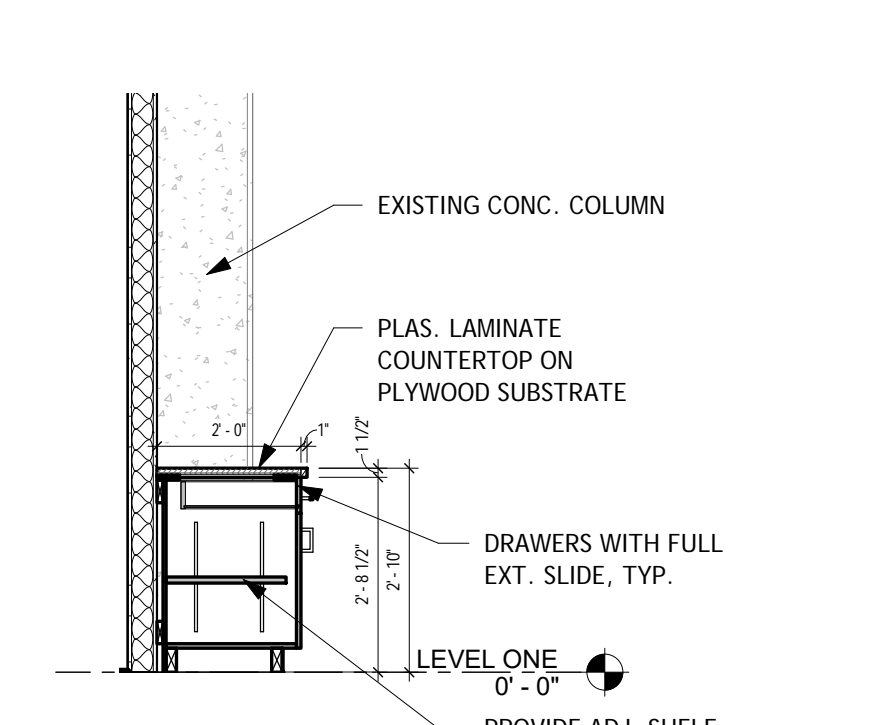
7 COPY COUNTER
3/8" = 1'-0"



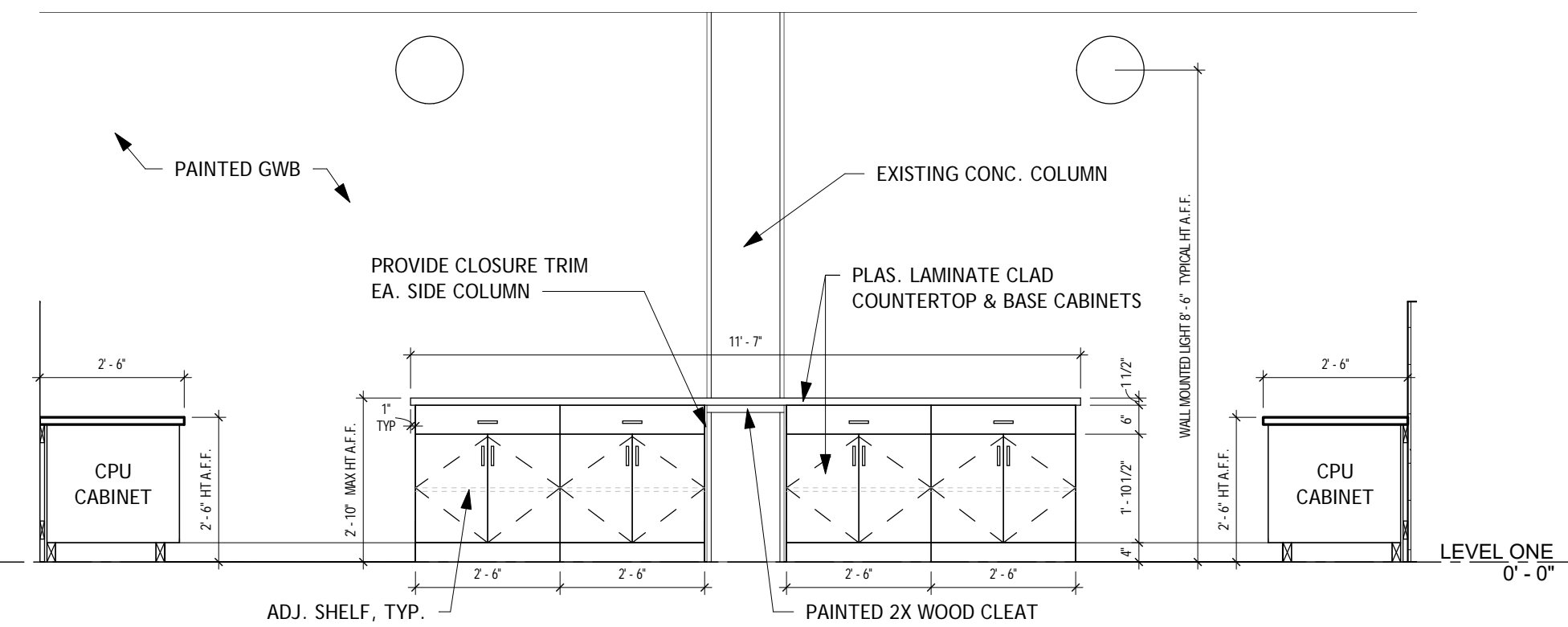
11 BREAKROOM SINK
3/8" = 1'-0"



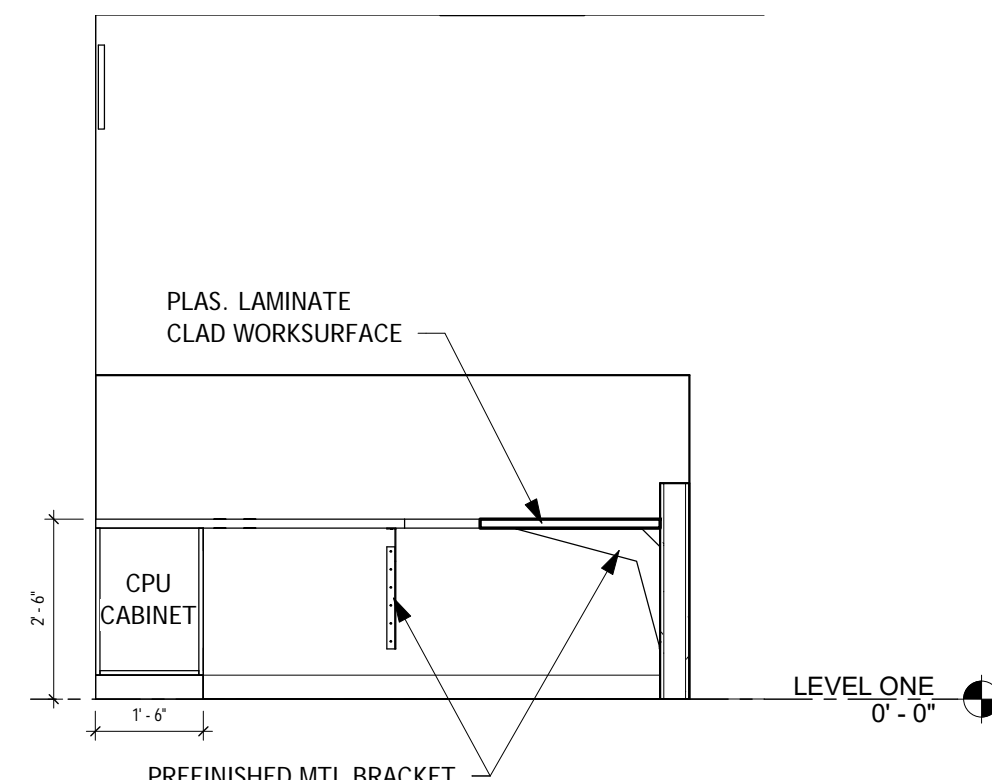
12 BREAKROOM CLOSET
3/8" = 1'-0"



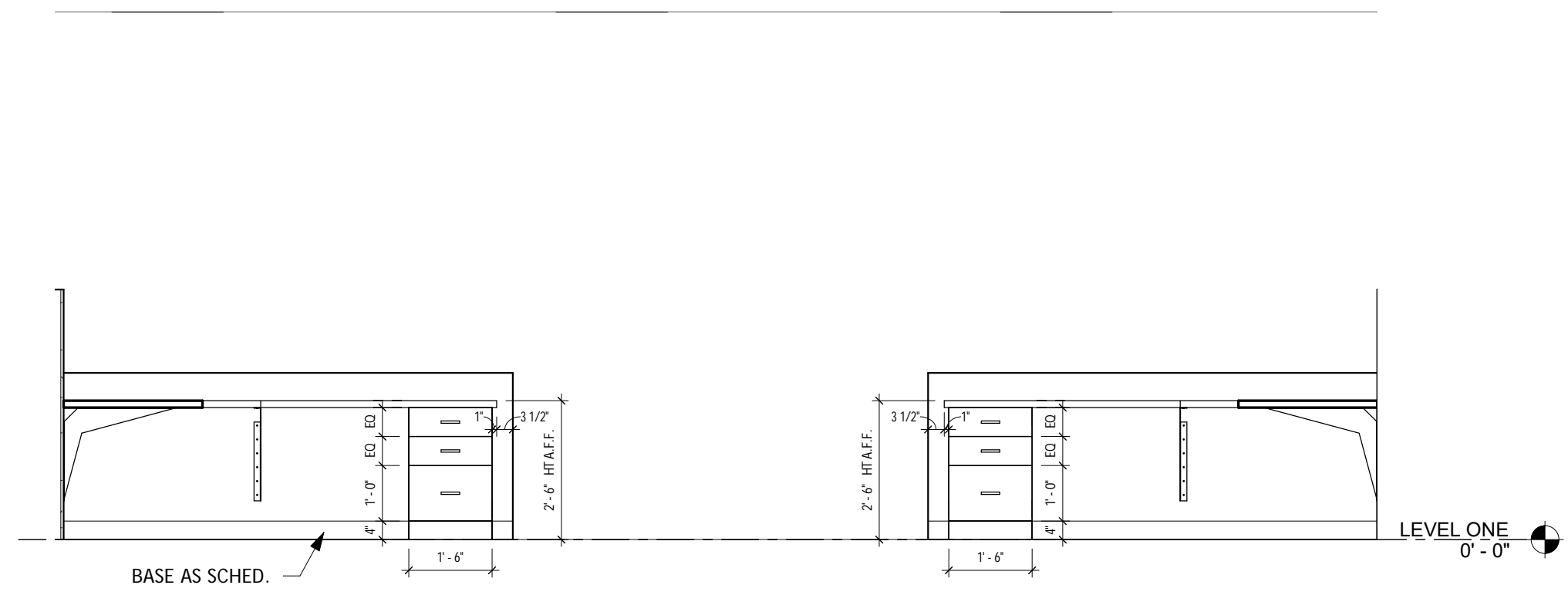
21 SUPPORT - CABINETS
3/8" = 1'-0"



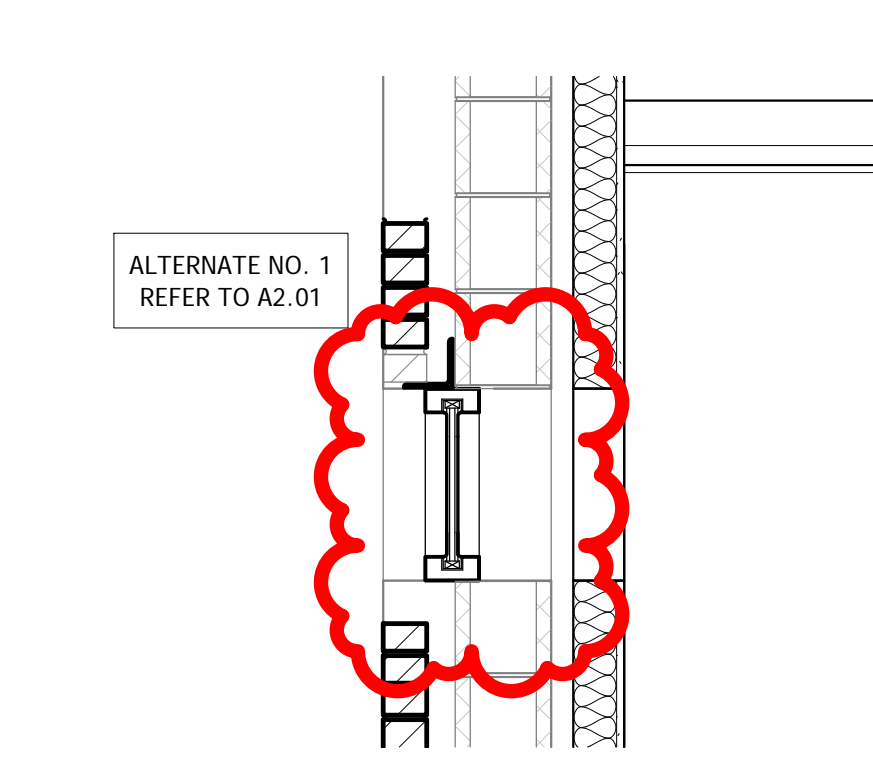
8 SUPPORT - CABINETS ELEVATION
3/8" = 1'-0"



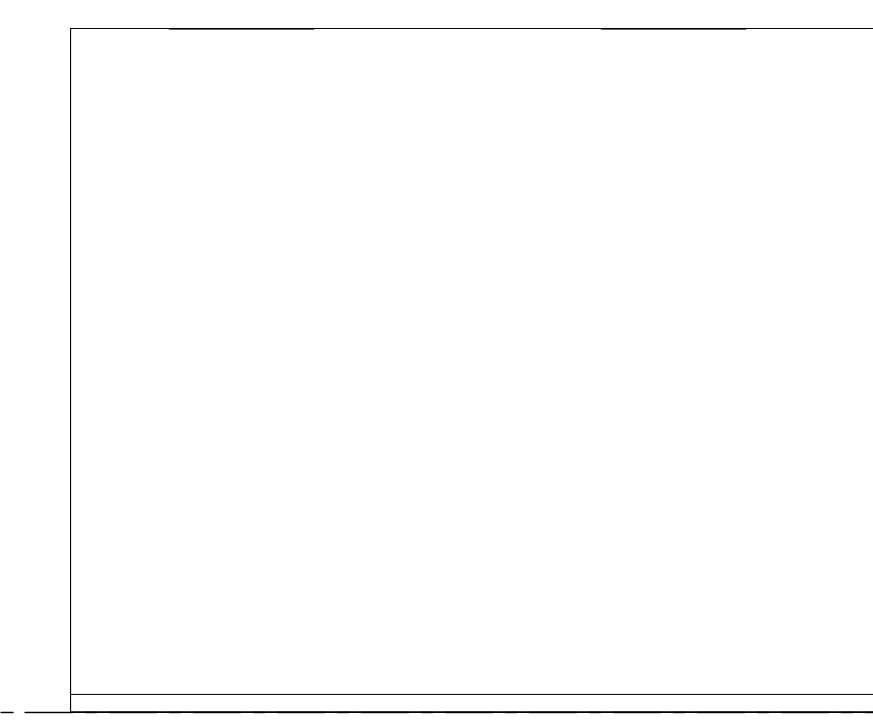
9 SUPPORT - WORKSTATION SIDE
3/8" = 1'-0"



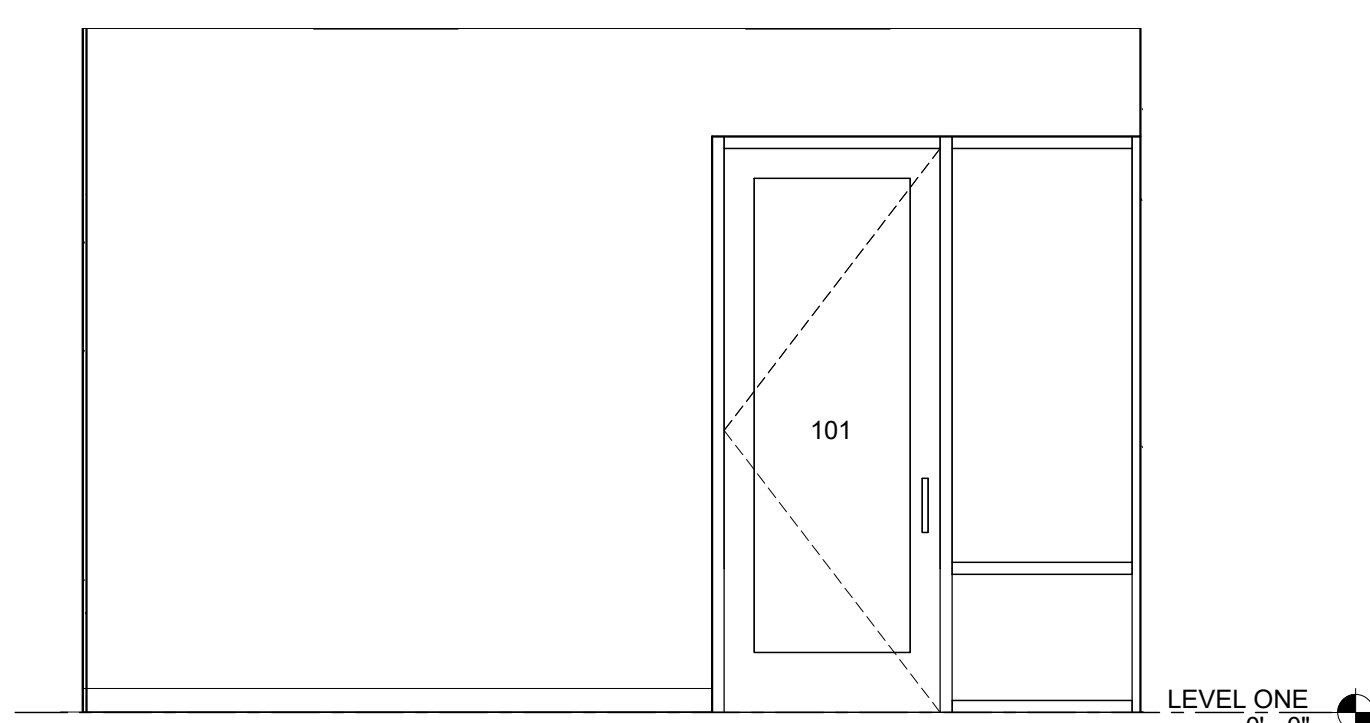
10 SUPPORT - WORKSTATION LOOKING NORTH
3/8" = 1'-0"



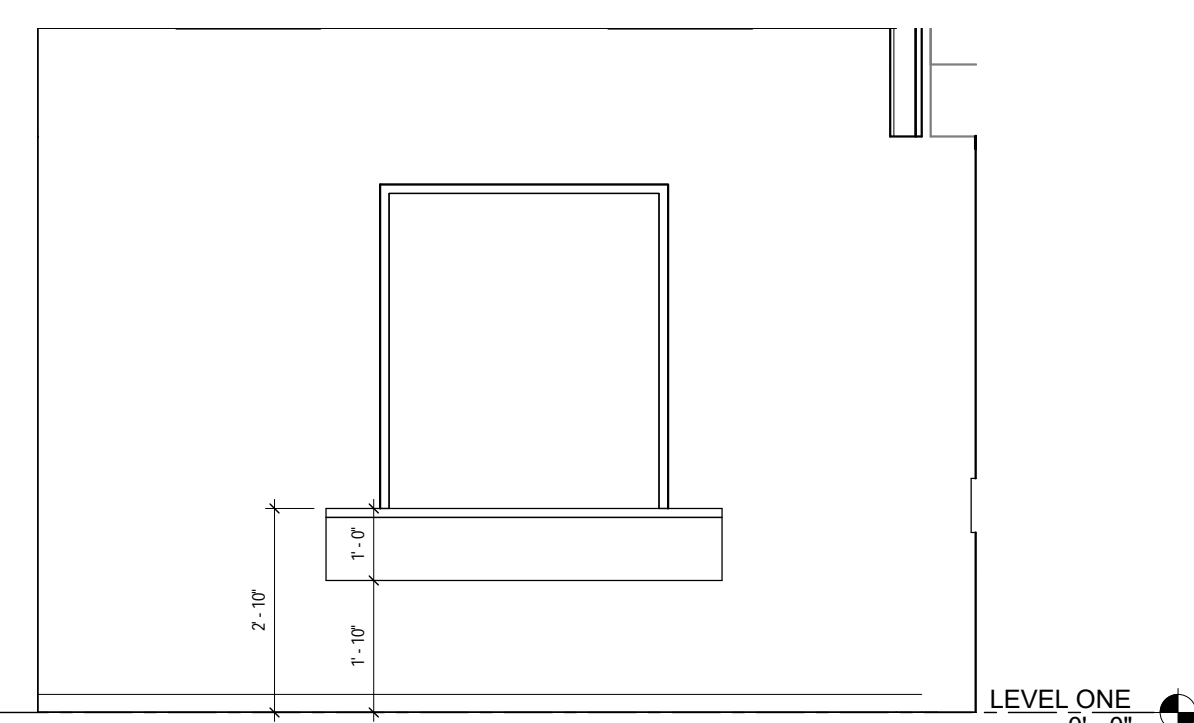
17 WINDOW SECTION
3/4" = 1'-0"



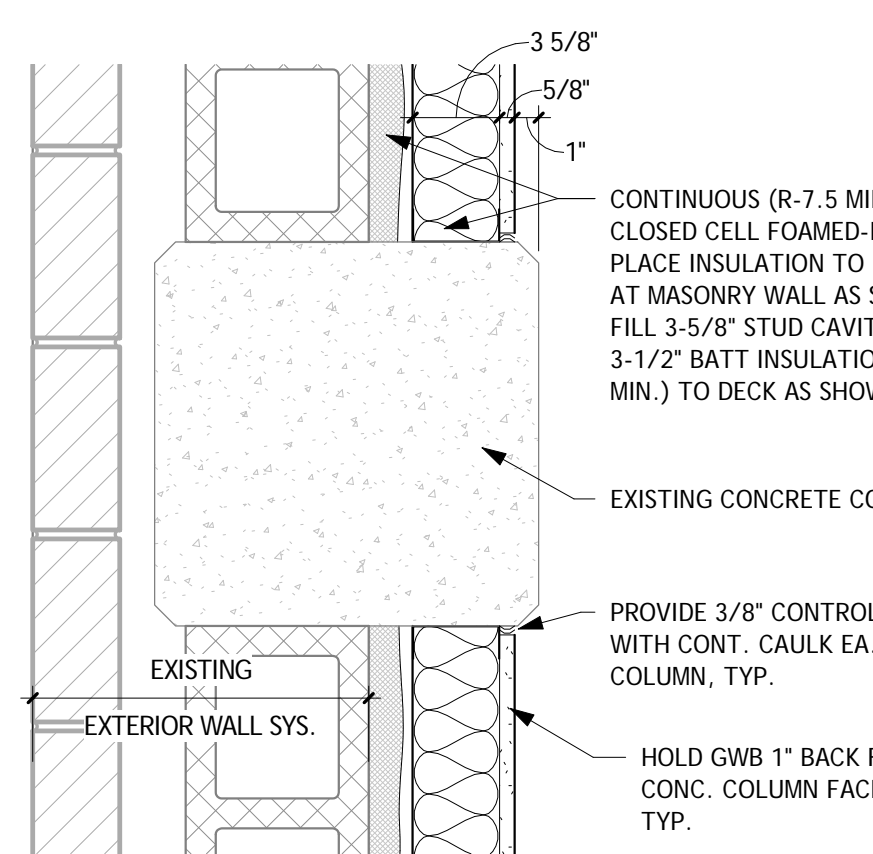
13 LOBBY EAST WALL
3/8" = 1'-0"



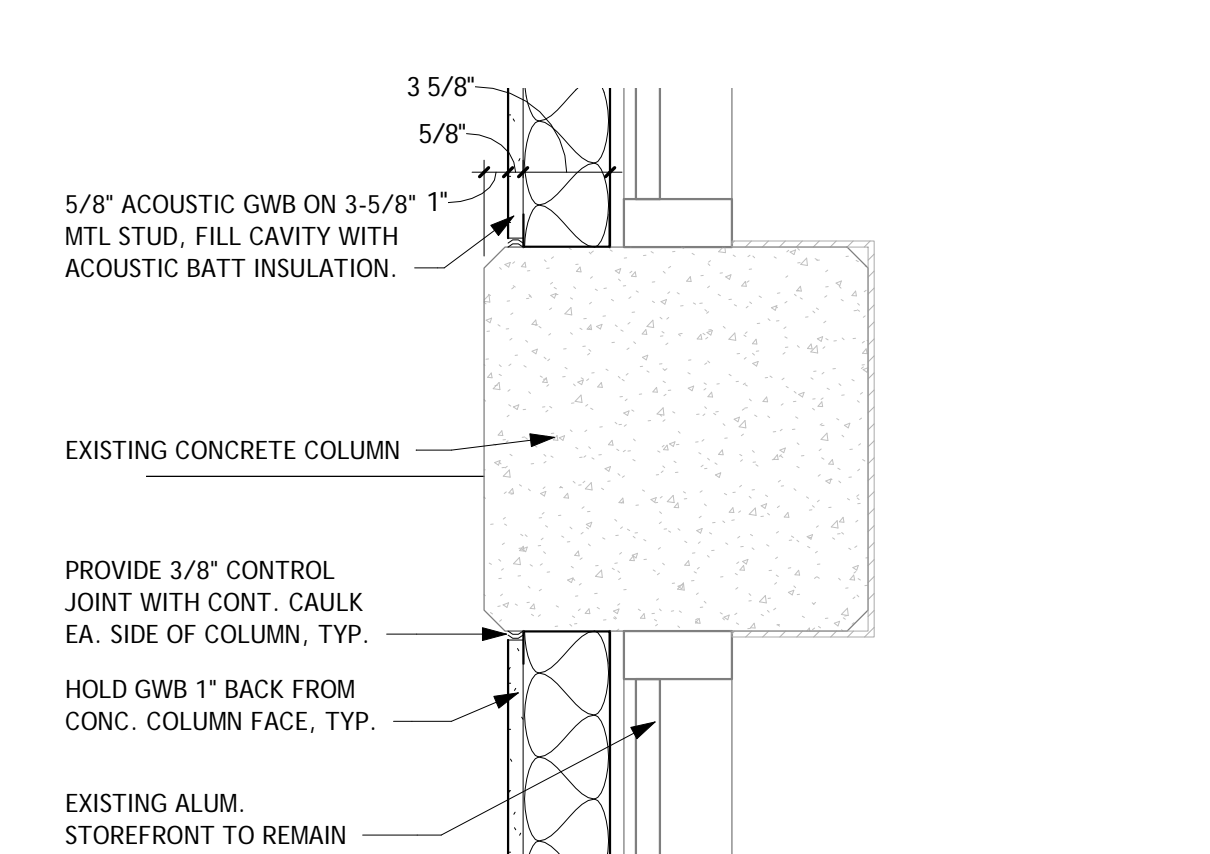
14 LOBBY SOUTH WALL
3/8" = 1'-0"



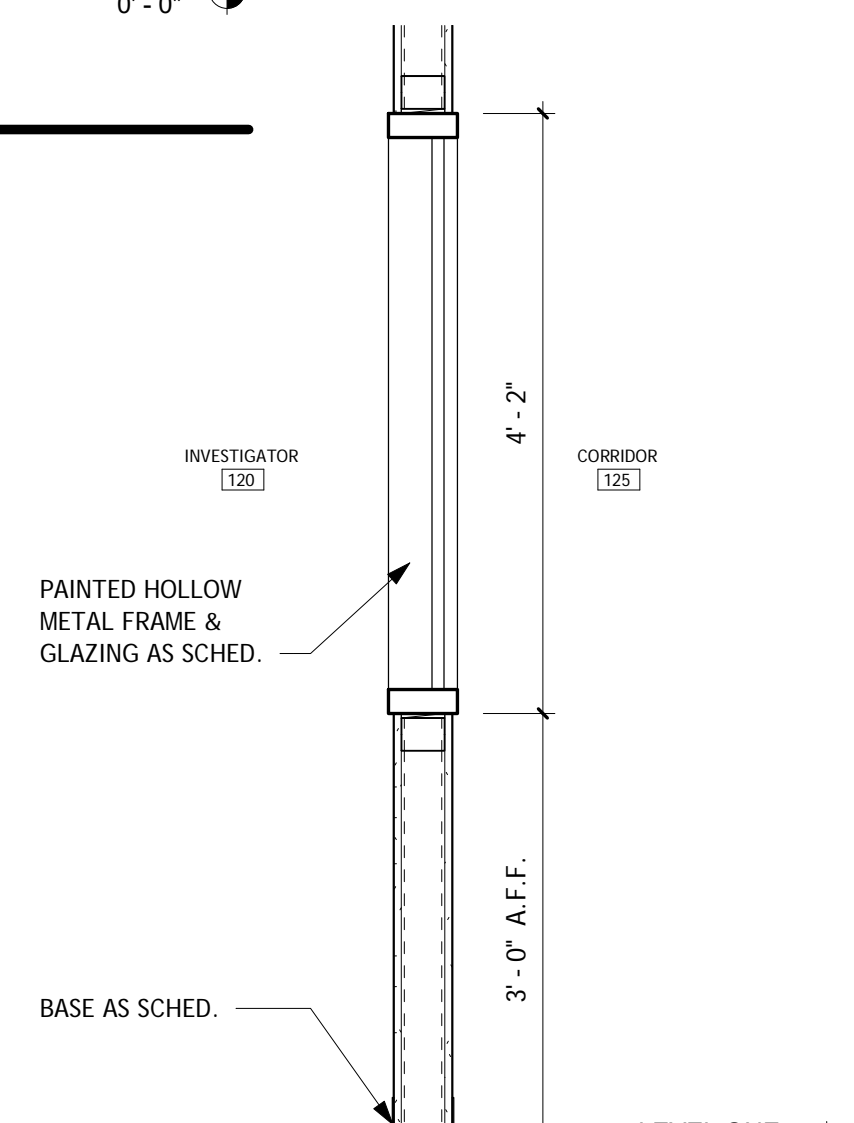
15 LOBBY WEST WALL
3/8" = 1'-0"



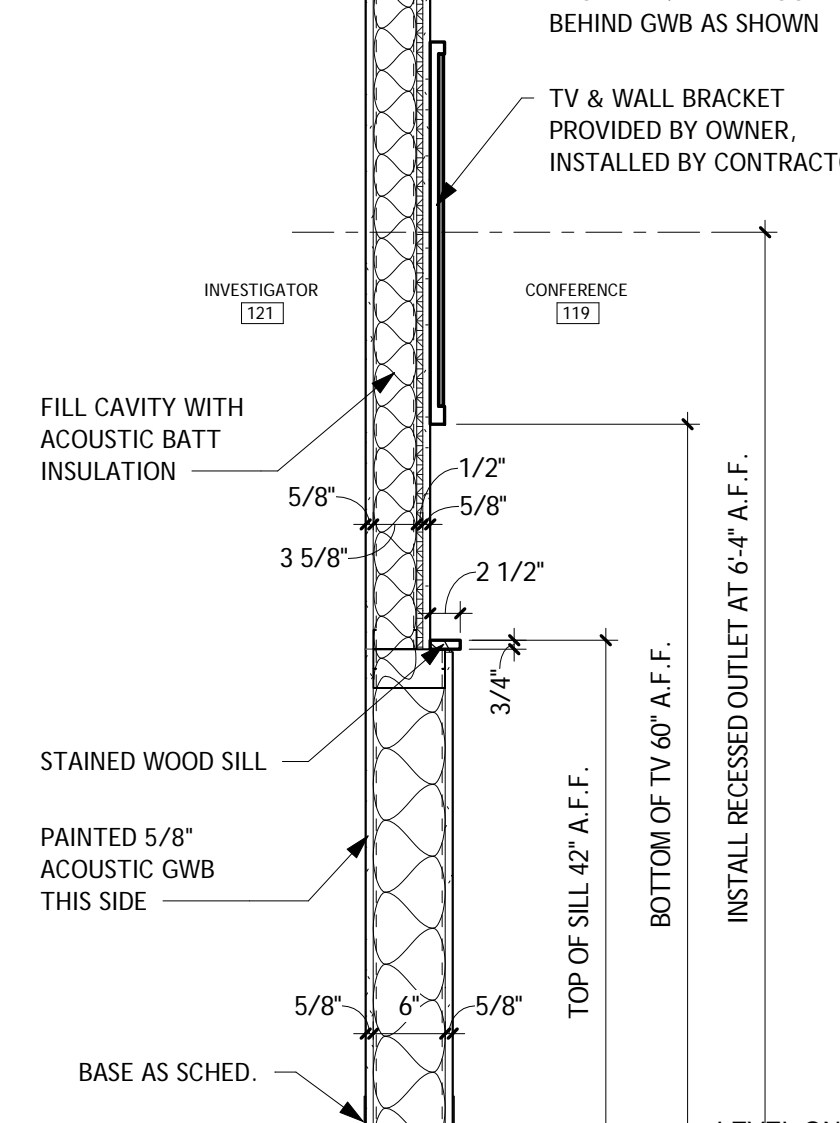
16 EXT. WALL COLUMN DTL
1 1/2" = 1'-0"



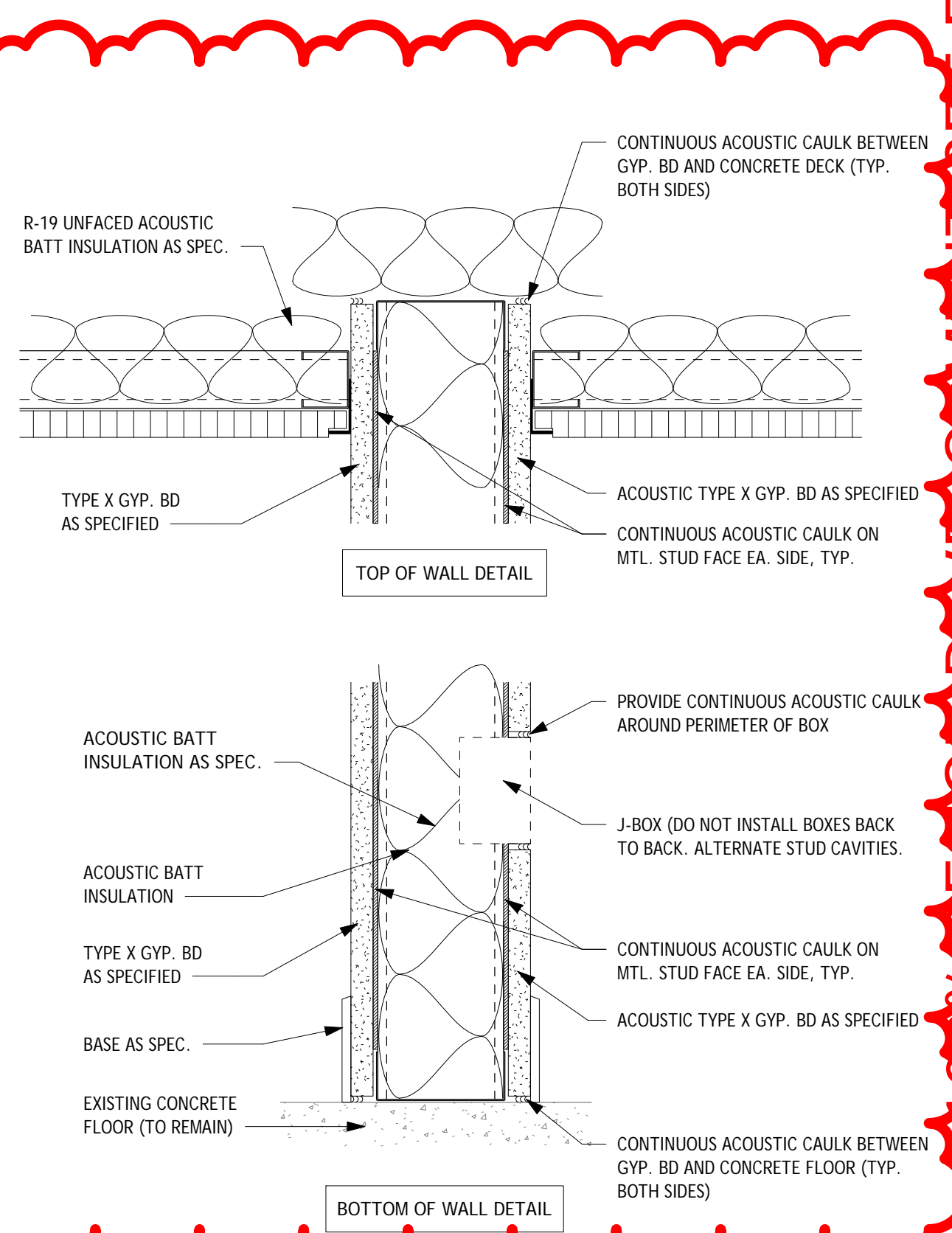
18 COLUMN DTL AT STOREFRONT
1 1/2" = 1'-0"



22 INT. WINDOW SECTION
3/4" = 1'-0"



23 CONFERENCE TV DTL
3/4" = 1'-0"



19 ACOUSTIC WALL DTL
3" = 1'-0"

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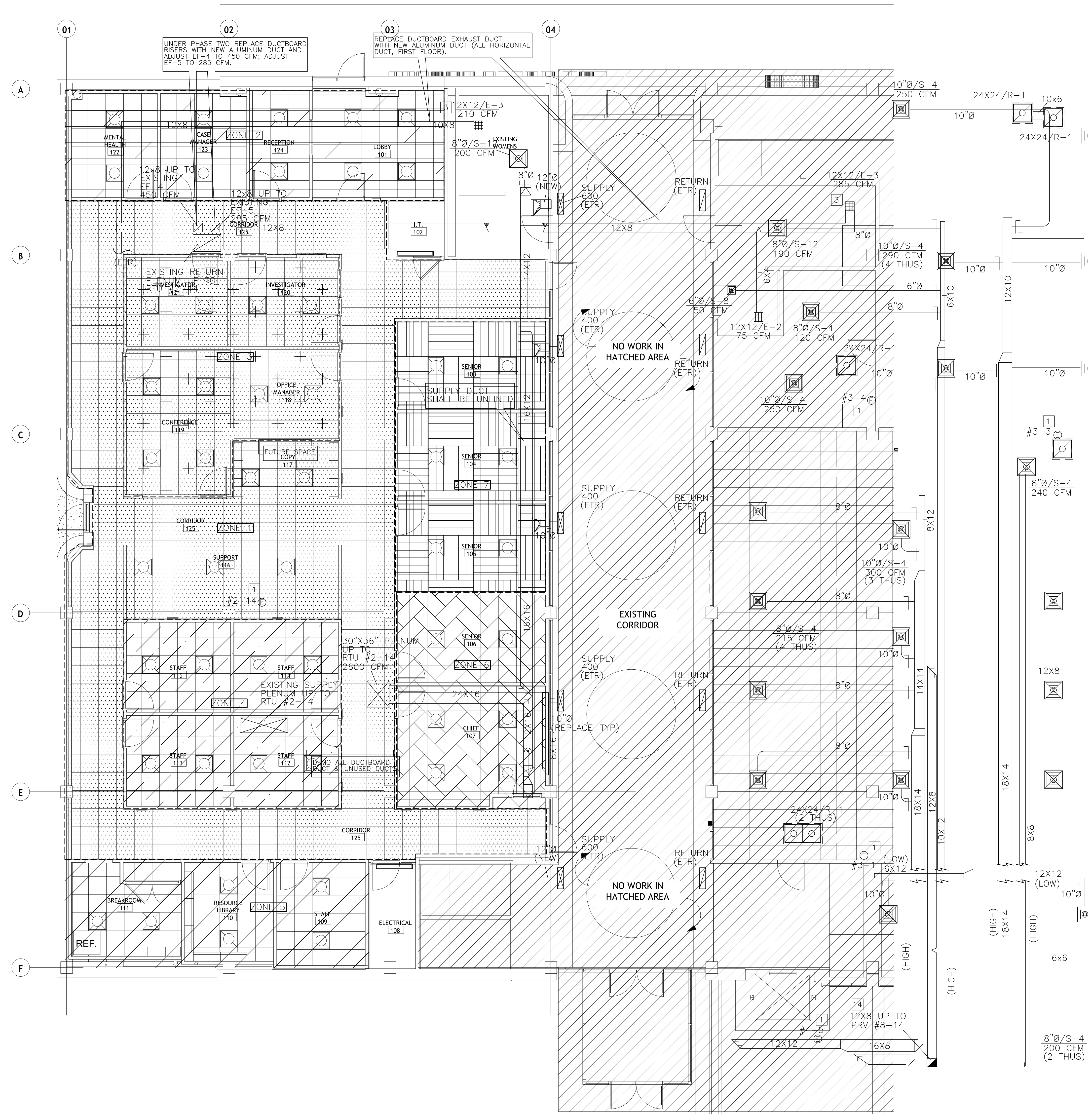
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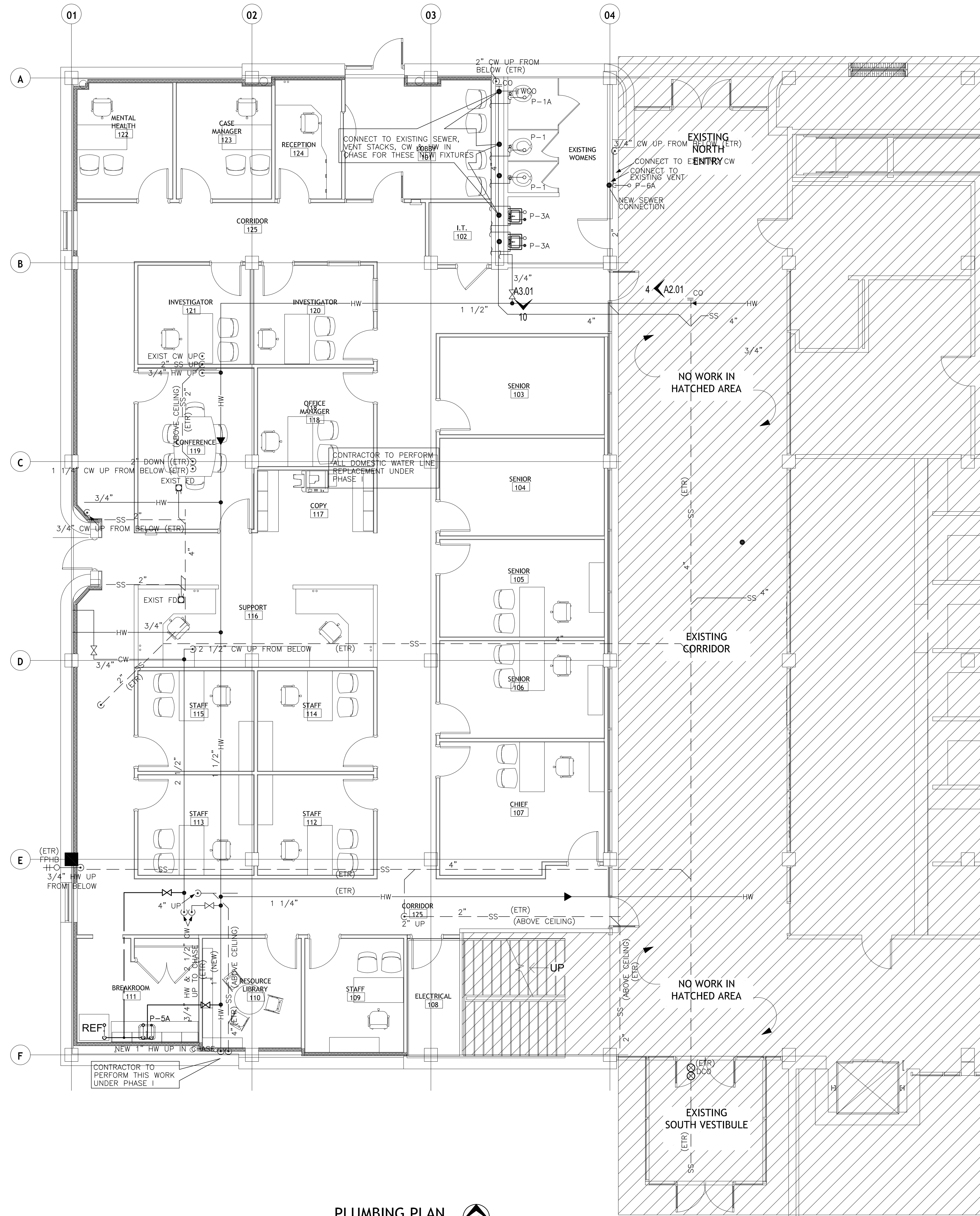


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MECHANICAL PLAN
SCALE: 3/16" = 1'-0"



PLUMBING PLAN
SCALE: 3/16" = 1'-0"



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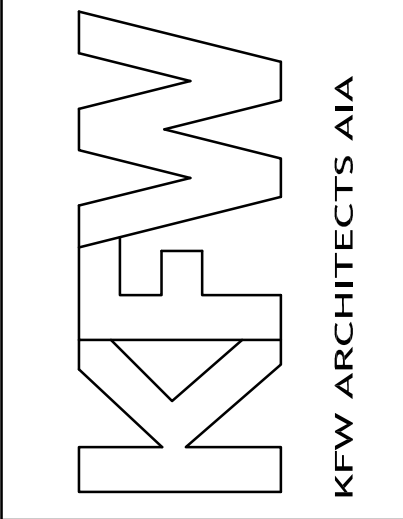
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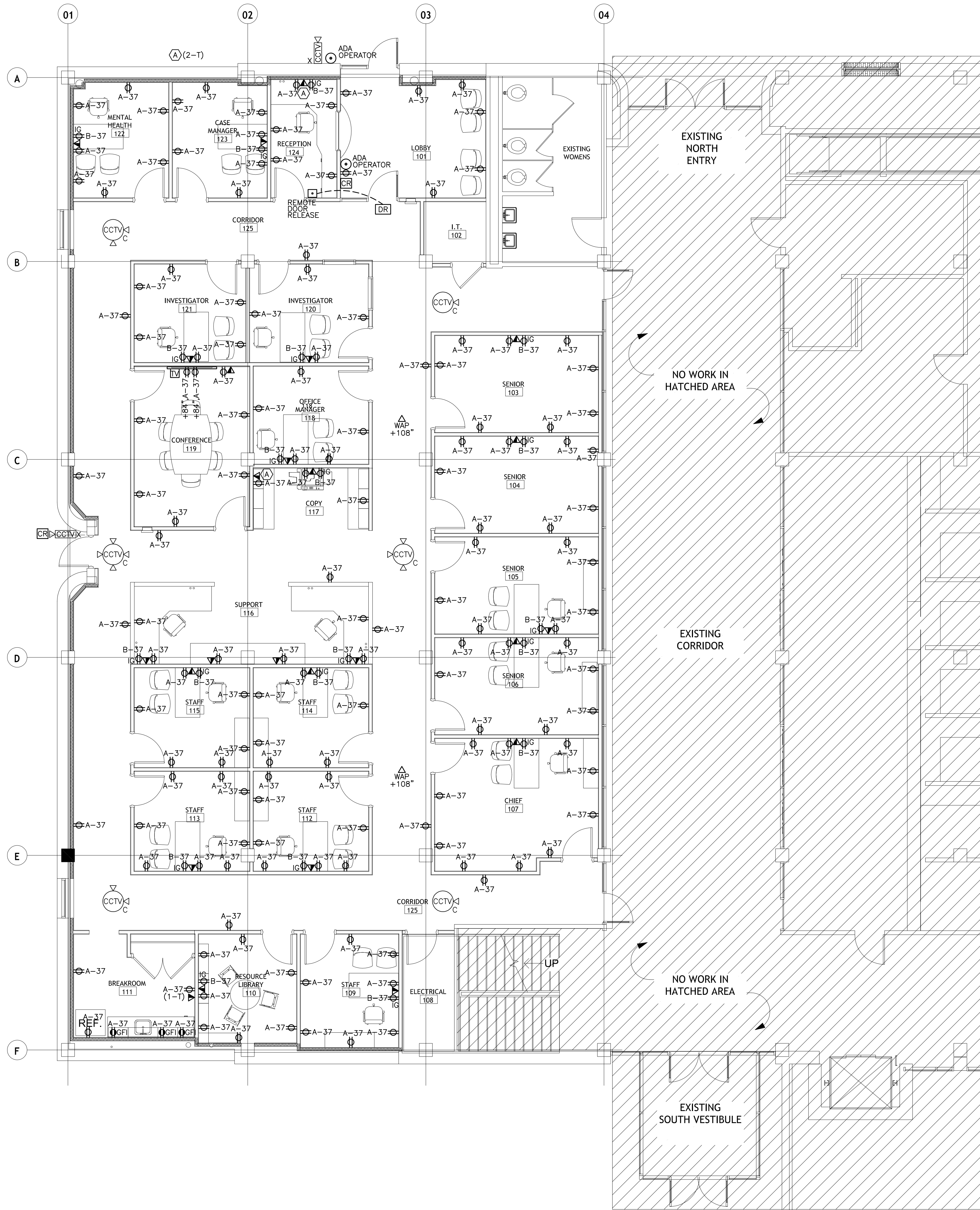
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ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

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LIGHTING PLAN
SCALE: 3/16" = 1'-0"



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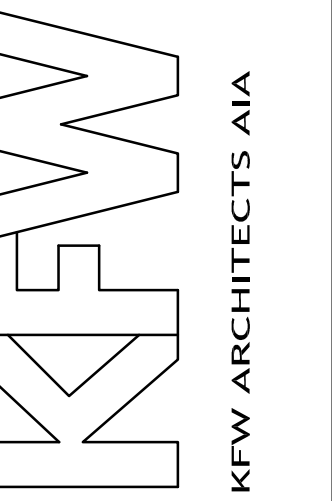
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