

# COVINA-VALLEY UNIFIED SCHOOL DISTRICT BEN LOMOND ELEMENTARY SCHOOL RE-ROOFING PROJECT

BID 108



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

## SYMBOLS

<b>DRAFTING ITEMS</b>	<b>VIEW REFERENCES</b>
DATUM - CONTROL POINT	VIEW REFERENCE
DIMENSION LINE AND TICK	SHEET REFERENCE
MATCHLINE - SEE: 1 / A101	DETAIL VIEW
BREAK LINE	SECTION VIEW
KEYNOTE	ENLARGED VIEW
PROJECT LEVEL MARKER	INTERIOR ELEVATION
COLUMN GRID MARKER	VIEW REFERENCE
REVISION CLOUD	SHEET REFERENCE
REVISION TAG	EXTERIOR ELEVATION
PROJECT NORTH ARROW	

## ABBREVIATIONS

AT CENTER LINE	ID INSIDE DIAMETER
PN PENNY	INSUL INSULATION OR INSULATED
PO POUND	INV INVERT
PERP PERPENDICULAR	LAV LAVATORY
ANG ANGLE	MATL MATERIAL
AB ANCHOR BOLT	MAX MAXIMUM
AC ASPHALTIC CONCRETE	MB MACHINE BOLT
ACT ACOUSTICAL CEILING TILE	MECH MECHANICAL
AFF ABOVE FINISH FLOOR	MFR MANUFACTURE OR MANUFACTURER
ALT ALTERNATE	MH MAN HOLE
ALUM ALUMINUM	MIN MINIMUM
ANOD ANODIZED	MISC MISCELLANEOUS
APPROX APPROXIMATE	MO MASONRY OPENING
ARCH ARCHITECT OR ARCHITECTURAL	N NORTH
BD BOARD	(N) NEW
BLDG BUILDING	NI NOT IN CONTRACT
BL(K)G BLOCKING	NO NUMBER
BOB BOTTOM OF BEAM	NTS NOT TO SCALE
BM BEAM	OC ON CENTER
CB CATCH BASIN	OD OUTSIDE DIAMETER
CJ CAST IRON	OPNG OPENING
CI CONSTRUCTION JOINT	PL PLATE OR PROPERTY LINE
CLG CEILING	PLAM PLASTIC LAMINATE
CLR CLEAR	PLAS PLASTER (NUMBER - SEE SPECS)
CMU CONCRETE MASONRY UNIT	PLYWOOD PLYWOOD
CO CLEAN OUT	PAINT (NUMBER - SEE SPECS) PAINT (NUMBER - SEE SPECS)
COL COLUMN	PTDF PRESSURE TREATED DOUGLAS FIR QUARRY TILE
CONC CONCRETE	QT QUARRY TILE
CONT CONTINUOUS	RD ROOF DRAIN
CSK COUNTERSINK	REF REFRIGERATOR
CW COLD WATER	REINF REINFORCE OR REINFORCING
CHN CHANNEL	ROUND ROUND HEAD
DBL DOUBLE	RM ROOM
DEPT DEPARTMENT	RO ROUGH OPENING
DET DETAIL	RWD REDWOOD
DF DRINKING FOUNTAIN	S SOUTH
DIA DIAMETER	SCH SCHEDULE
DIAG DIAGONAL	SD STORM DRAIN
DN DOWN	SHR SHOWER
DWS DOWNSPOUT	SHT SHEET
DWG DRAWING	SHTG SHEATHING
E EAST	SIM SIMILAR
(E) EXISTING	SMACNA THE ARCH SHEET METAL MANUAL SPECIFICATION
EB EXPANSION BOLT	SQ SQUARE
EJ EXPANSION JOINT	SSTL STAINLESS STEEL
ELEV ELEVATION	STD STANDARD
ELEC ELECTRICAL	STL STEEL
EP EDGE OF PAVING	SUSP SUSPENDED
EQU EQUAL	SYM SYMMETRICAL
EQUIP EQUIPMENT	TOB TOP OF BEAM
FD FLOOR DRAIN	TOC TOP OF CURB OR TOP OF CONCRETE
FE(C) FIRE EXTINGUISHER (& CABINET)	TCB TOP OF CATCH BASIN
FF FINISHED FLOOR	TEL TELEPHONE
FG FINISHED GRADE	TEMP TEMPERATURE OR TEMPERED
FLAT FLAT HEAD OR FIRE HYDRANT	T&G TONGUE & GROOVE
FN FINISH	TP TOP OF PAVING
FLG FLOW LINE	TS STRUCTURAL TUBING
FLSH FLASHING	TV TELEVISION
FLR FLOOR	TYP TOP OF WALL
FOM FACE OF CONCRETE	TYP TYPICAL (ITEMS TYPICAL UNLESS SHOWN OR NOTED OTHERWISE)
FOF FACE OF FINISH	UN UNLESS OTHERWISE NOTED
FOM FACE OF MASONRY	VCT VINYL COMPOSITION TILE
FOS FACE OF STUD	VERT VERTICAL
FRP FIBERGLASS REINFORCED PANEL	VGDF VERTICAL GRAIN DOUGLAS FIR
FT FOOT OR FEET	VTR VENT THRU ROOF
FTG FOOTING	W WEST
GA GAUGE	WC WATER CLOSET
GALV GALVANIZED	W.C. WHEELCHAIR ACCESSIBLE
GB GRAB BAR, GRADE BREAK	WD WOOD
GL GLASS	WF WIDE FLANGE
GLB GLUE LAMINATED BEAM	WH WATER HEATER
GYP GYPSUM	WP WATERPROOF
GWB GYPSUM WALL BOARD	WS WOOD SCREW
HB HOSE BIBB	WSC WAINSCOT
HDR HEADER	WWF WELDED WIRE FABRIC
HGT HEIGHT	W WITH
HORIZ HORIZONTAL	WO WITHOUT
HTR HEATER	
HVAC HEATING/VENTILATING/AIR CONDITIONING	

## GENERAL PROJECT NOTES - K12

- ALL WORK SHALL CONFORM TO 2019 EDITION TITLE 24 CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES TO APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD).
- A CERTIFIED INSPECTOR WITH CLASS 3 SHALL BE EMPLOYED BY THE DISTRICT AND SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, T24, CCR. THE PROJECT INSPECTOR SHALL BE CERTIFIED TO INSPECT.
- APPARENT DISCREPANCIES ON DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ANY DIFFERENCE BETWEEN THE EXISTING CONSTRUCTION AS OBSERVED IN THE FIELD AND AS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND COORDINATING DIMENSIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE SUPERVISION OF THE CONSTRUCTION WORK TO ENSURE THAT IT IS BUILT IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE ARCHITECT WILL PROVIDE ONLY PERIODIC OBSERVATION OF THE WORK.
- ANY DAMAGE DONE TO THE EXISTING CONSTRUCTION DURING THE COURSE OF THIS WORK SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- CUTTING, BORING, SAWCUTTING OR DRILLING THROUGH THE NEW OR EXISTING STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED IN THE DRAWINGS OR ACCEPTED BY THE ARCHITECT AND THE STRUCTURAL ENGINEER WITH THE APPROVAL OF DISTRICT REPRESENTATIVE. ALL WELDING SHALL BE SPECIALLY INSPECTED BY AN AWS-CWI QUALIFIED INSPECTOR. ALL BRACINGS OF DUCTS AND PIPING SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA GUIDELINES. WHERE BRACING DETAILS ARE NOT SHOWN ON THE DRAWINGS OR IN THE GUIDELINES, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT, MECHANICAL ENGINEER AND FIELD ENGINEER. A COPY OF THE GUIDELINES PUBLISHED BY SMACNA SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON THE JOB AT ALL TIMES.
- SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE APPROVED DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, C.C.R., OR SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT BEFORE PROCEEDING WITH THE REPAIR WORK.
- AN ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE SCHOOL DISTRICT SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- ALL WORK (AS APPLICABLE) MUST MEET THE MANDATORY MEASURES OF THE 2019 CALIFORNIA GREEN BUILDING STANDARDS (CAL GREEN) CODE (TITLE 24, PART II).
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH THE TITLE 24 CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION TO BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISH WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR).
- FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION TO COMPLY WITH 2019 CALIFORNIA FIRE CODE CHAPTER 33.
- CONTRACTOR OPERATIONS SHALL NOT BLOCK, HINDER, IMPEDE OR OTHERWISE INHIBIT THE USE OF REQUIRED EXITS AT ANY TIME. CONTRACTOR SHALL MAINTAIN UNOBSTRUCTED ACCESS TO FIRE EXTINGUISHERS, FIRE HYDRANTS, TEMPORARY FIRE PROTECTION FACILITIES, STAIRWAYS, AND OTHER ACCESS ROUTES FOR FIRE-FIGHTING EQUIPMENT AND/OR PERSONNEL.
- CONTRACTOR TO PROVIDE ALL UTILITIES NECESSARY TO CARRY OUT THE SITE SPECIFIC WORK INCLUDING BUT NOT LIMITED TO WATER AND POWER.

## PROJECT DESCRIPTION

PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO INSTALL NEW REPLACEMENT ROOFING TO EXISTING BUILDINGS AND WALKWAYS, INCLUDING, BUT NOT LIMITED TO ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED FOR DEMOLITION AND REMOVAL OF EXISTING ROOFING AND EXISTING ROOFING STRUCTURE, AS NOTED IN DRAWINGS AND RELATED EQUIPMENT, AS INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.

**SCOPE BUILDINGS ALL WALKWAY ROOFS:** COMPLETELY REMOVE & REPLACE EXISTING ROOFING SYSTEM WITH NEW 20-YEAR ROOFING SYSTEM PER SPEC SECTIONS: 07 01 50, 07 52 16 & 07 54 19. REPLACE EXISTING SCUPPER WITH NEW AND ADD NEW LEADERHEAD AND DOWNSPOUT WHERE IDENTIFIED. ADD GUTTER & DOWNSPOUT SYSTEM.

## DEFERRED APPROVALS

NONE.

## APPLICABLE CODES & STANDARDS

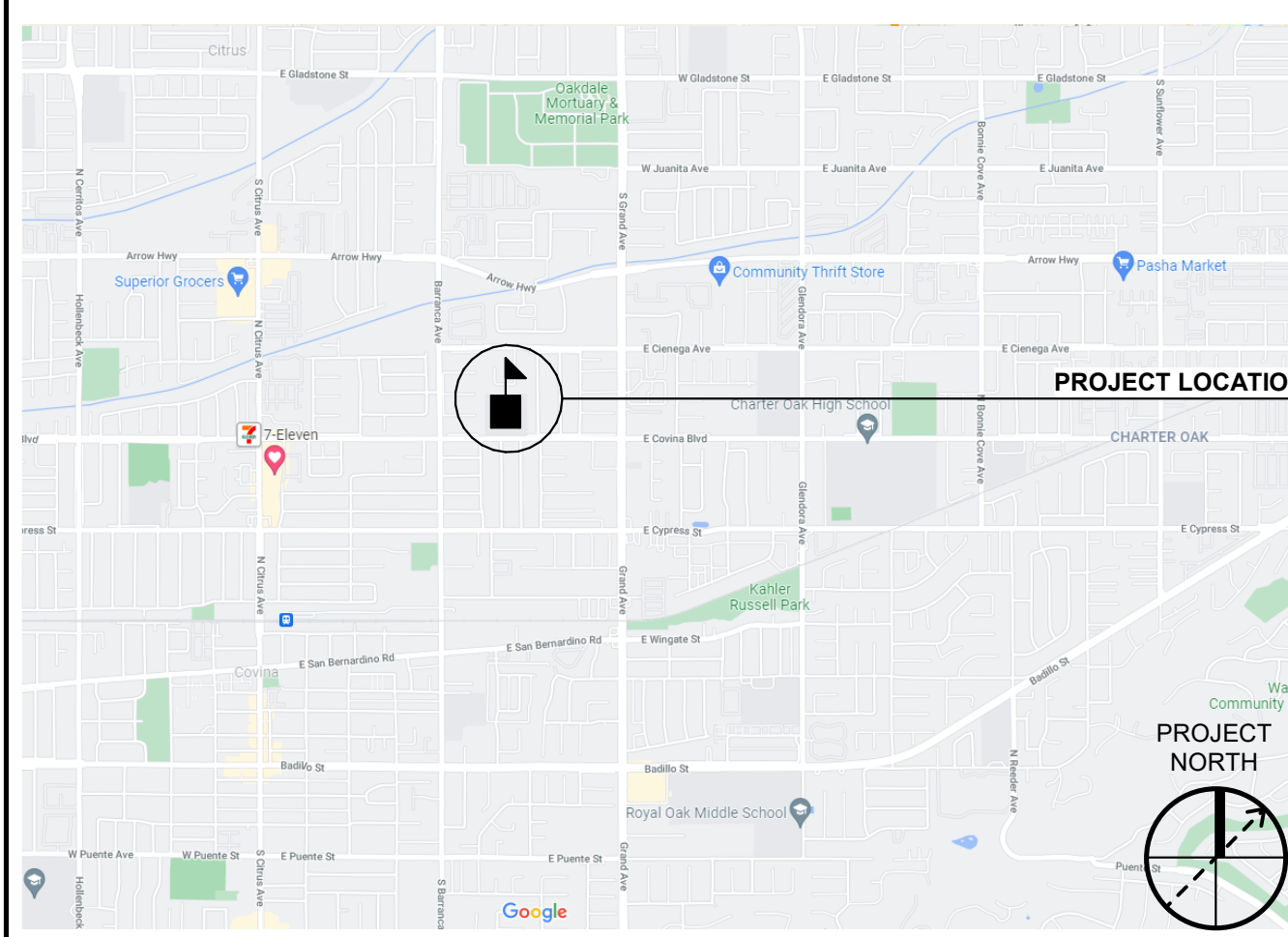
**PARTIAL LIST OF APPLICABLE CODES AS OF JANUARY 1, 2020\***  
 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 CCR  
 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 CCR  
 (2018 INTERNATIONAL BUILDING CODE, VOL. 1 & 2, AND 2019 CALIFORNIA AMENDMENTS)  
 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 CCR  
 (2017 NATIONAL ELECTRICAL CODE AND 2019 CALIFORNIA AMENDMENTS)  
 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 CCR  
 (2018 APMO UNIFORM MECHANICAL CODE AND 2019 CALIFORNIA AMENDMENTS)  
 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR  
 (2018 APMO UNIFORM PLUMBING CODE AND 2019 CALIFORNIA AMENDMENTS)  
 2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 CCR  
 2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 CCR  
 (2018 INTERNATIONAL FIRE CODE AND 2019 CALIFORNIA AMENDMENTS)  
 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 CCR  
 (2018 INTERNATIONAL EXISTING BUILDING CODE AND 2019 CALIFORNIA AMENDMENTS)  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 CCR  
 2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 CCR  
 TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS  
 2016 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS  
 (PER 2019 CBC PART 2 CH 35)  
 NOTE: CALIFORNIA ELEVATOR UNIT ENFORCES CCR TITLE 8 AND USES THE 2004 ASME A17.1 B1 ADOPTION

**PARTIAL LIST OF APPLICABLE STANDARDS**  
 NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED 2016 EDITION)  
 NFPA 14 - STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS (CA AMENDED 2016 EDITION)  
 NFPA 17 - STANDARD FOR DRY CHEMICAL EXTINGUISHING SYSTEMS (2017 EDITION)  
 NFPA 17A - STANDARD FOR WET CHEMICAL EXTINGUISHING SYSTEMS (2017 EDITION)  
 NFPA 20 - STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION (2016 EDITION)  
 NFPA 22 - STANDARD FOR WATER TANKS FOR PRIVATE FIRE PROTECTION (2013 EDITION)  
 NFPA 24 - STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES (CA AMENDED 2016 EDITION)  
 NFPA 72 - NATIONAL FIRE ALARM AND SIGNALING CODE (CA AMENDED 2016 EDITION)  
 NFPA 80 - STANDARD FOR FIRE DOORS AND OTHER OPENING PROTECTIVES (2016 EDITION)  
 NFPA 2001 - STANDARD ON CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CA AMENDED 2015 EDITION)  
 UL 300 - STANDARD FOR FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT (2005-R2010)  
 UL 464 - AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS, INCLUDING ACCESSORIES (2003 EDITION)  
 UL 521 - STANDARD FOR HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS (1999 EDITION)  
 UL 1971 - STANDARD FOR SIGNALING DEVICES FOR THE HEARING IMPAIRED (2002-R2010)  
 ICC 300 - STANDARD FOR BLEACHERS, FOLDING AND TELESCOPIC SEATING, AND GRANDSTANDS (2017 EDITION)

FOR A COMPLETE LIST OF APPLICABLE NFPA STANDARDS REFER TO 2019 CBC (SFM) CHAPTER 35 AND CALIFORNIA FIRE CODE CHAPTER 80.  
 SEE CALIFORNIA BUILDING CODE CHAPTER 35 FOR STATE OF CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS.

\*ALL PARTS OF THE 2019 CALIFORNIA BUILDING CODE BECOME EFFECTIVE JANUARY 1, 2020 EXCEPT THE EFFECTIVE DATE FOR THE USE OF THE 2019 BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24, PART 1, CHAPTER 10) IS JANUARY 8, 2019 AND THE EFFECTIVE DATE FOR THE USE OF THE CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, PART 1, CHAPTER 4) IS JANUARY 8, 2019.

## VICINITY MAP

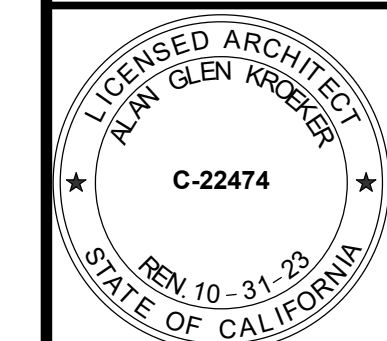


## SHEET INDEX

SHEET #	SHEET NAME	REV #	DATE	SHEET #	SHEET NAME	REV #	DATE
1	OVERALL GENERAL INFORMATION						
G-001	TITLE SHEET						
G-101	SITE PLAN						
GENERAL SHEETS TOTAL: 2							
4. ARCHITECTURAL DRAWINGS							
A01-021	(E) WALKWAY ROOF DEMOLITION PLAN						
A01-221	(E) WALKWAY ROOF PLAN						
A02-021	(E) WALKWAY ROOF DEMOLITION PLAN						
A02-221	(E) WALKWAY ROOF PLAN						
A-701	DETAILS						
ARCHITECTURAL SHEETS TOTAL: 5							
OVERALL SHEET TOTAL: 7							

ARCHITECT STAMP

CONSULTANT STAMP



## REVISIONS

NO.	DATE	DESCRIPTION

THE ARCHITECT DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS ARE SUITABLE FOR ANY SITE OTHER THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE ARCHITECT DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE USED IN WHOLE OR IN PART AT ANY OTHER SITE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT OWNER & TITLE

COVINA-VALLEY UNIFIED  
SCHOOL DISTRICT  
519 E Badillo Street  
Covina, CA 91723

**BEN LOMOND  
ELEMENTARY SCHOOL**  
621 E Covina Blvd  
Covina, CA 91722

SHEET TITLE

**TITLE SHEET**

DRAWN BY: PI JOB NUMBER: 21296

SHEET NO.

**G-001**

DATE: JANUARY 01, 2020





**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.B REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.
- 07.61.A PREP (E) ROOF FOR (N) GUTTER & (N) DOWNSPOUT. REMOVE ALL NECESSARY (E) MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED.
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.63.C DEMO (E) SCUPPER. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK.
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

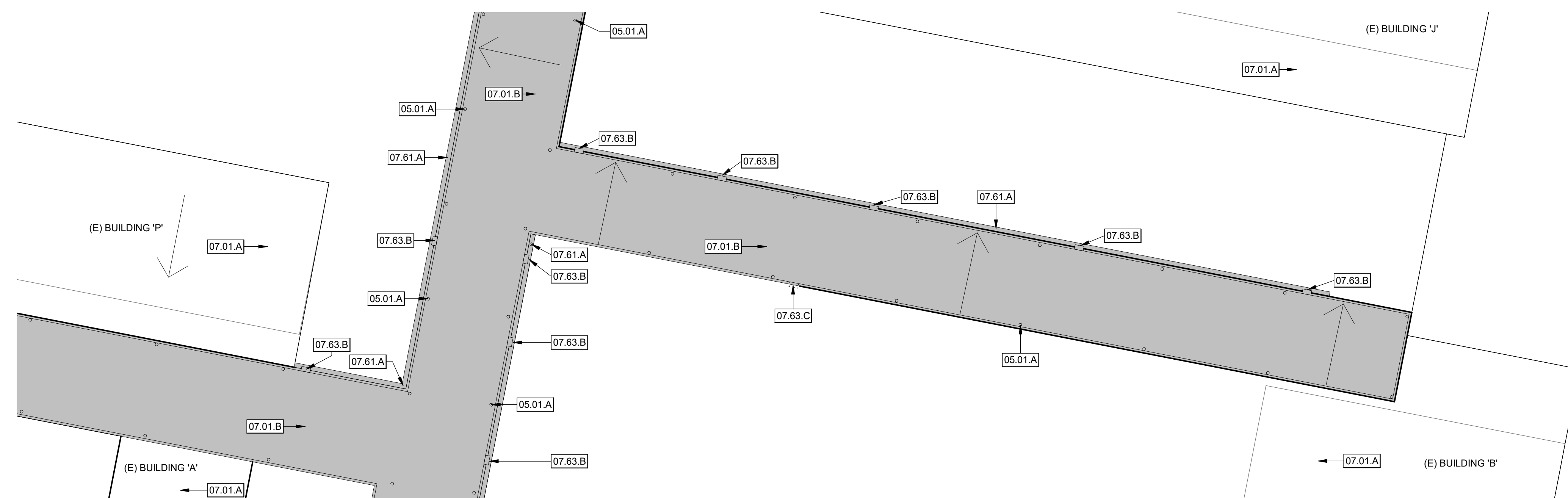
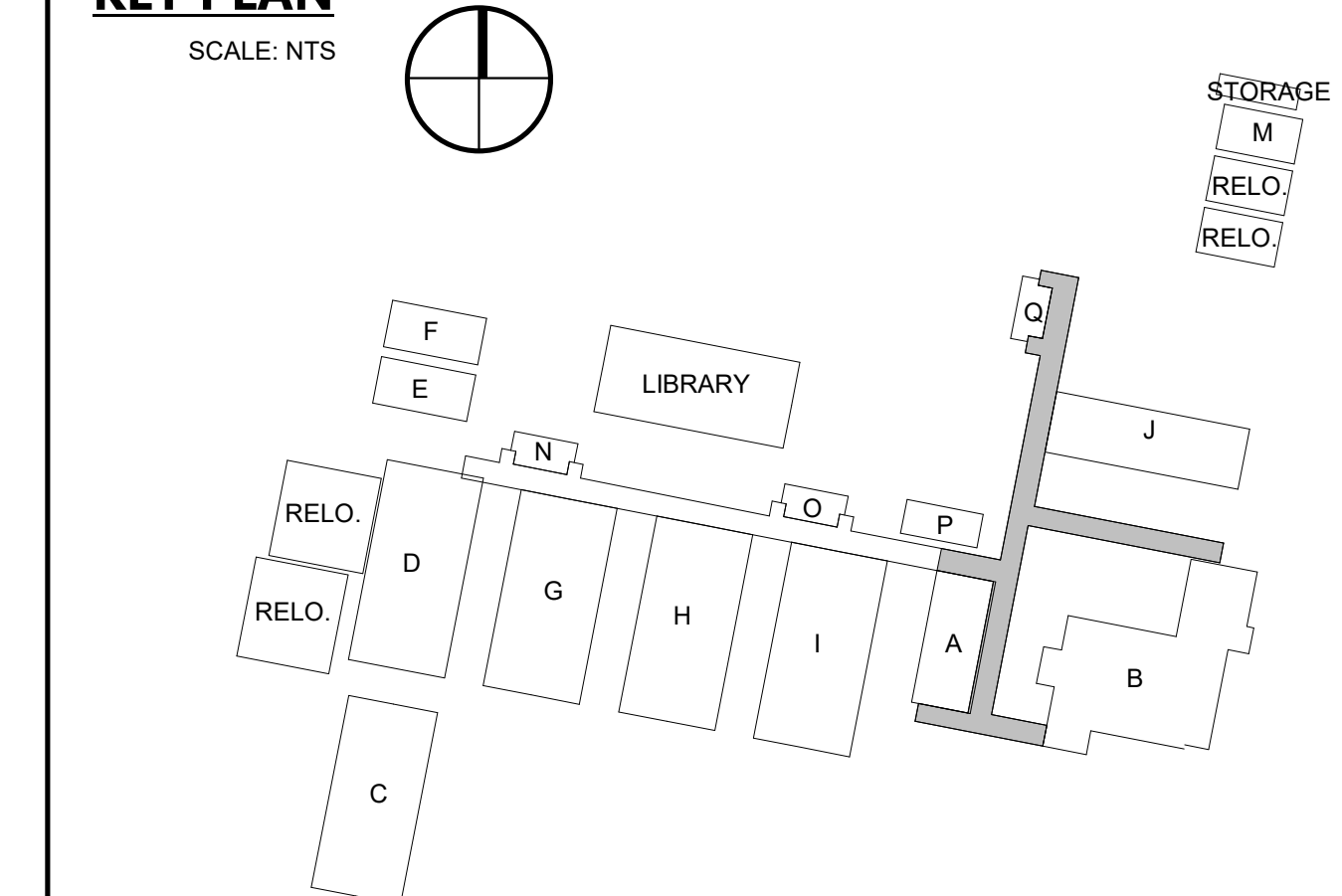
**DEMOLITION LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

**DEMOLITION NOTES**

1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

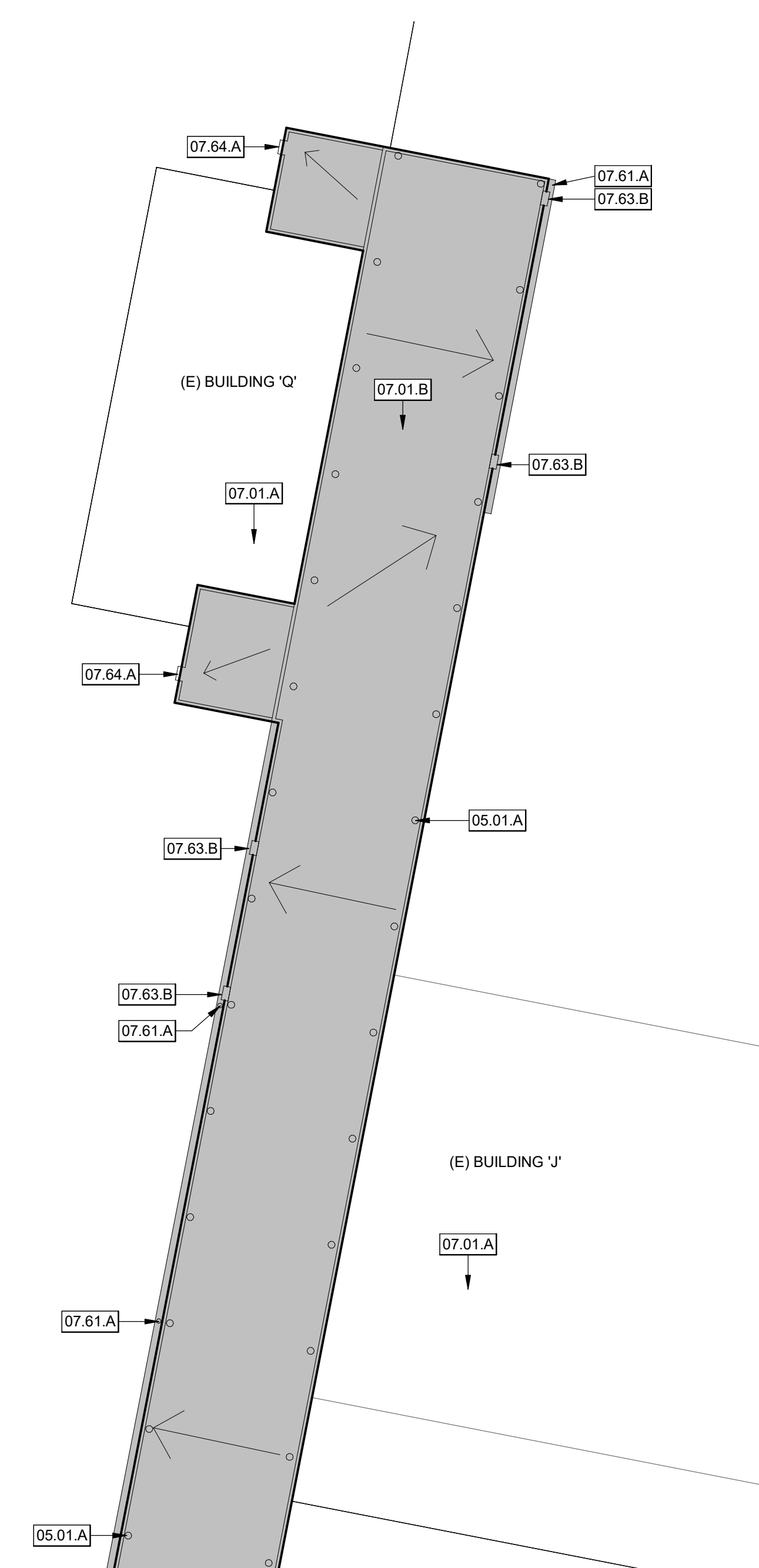
**KEY PLAN**



WALKWAY ROOF DEMOLITION PLAN - Callout 2 1/8" = 1'-0" 2

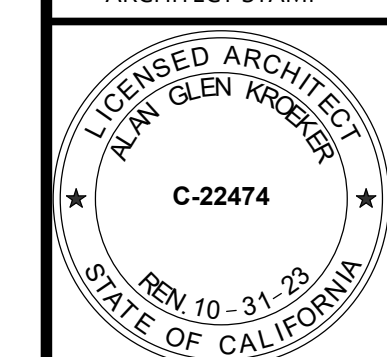


WALKWAY ROOF DEMOLITION PLAN - Callout 1 1/8" = 1'-0" 1



WALKWAY ROOF DEMOLITION PLAN - Callout 3 1/8" = 1'-0" 3

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
COVINA-VALLEY UNIFIED SCHOOL DISTRICT  
519 E Badillo Street  
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**BEN LOMOND ELEMENTARY SCHOOL**  
621 E Covina Blvd  
Covina, CA 91722

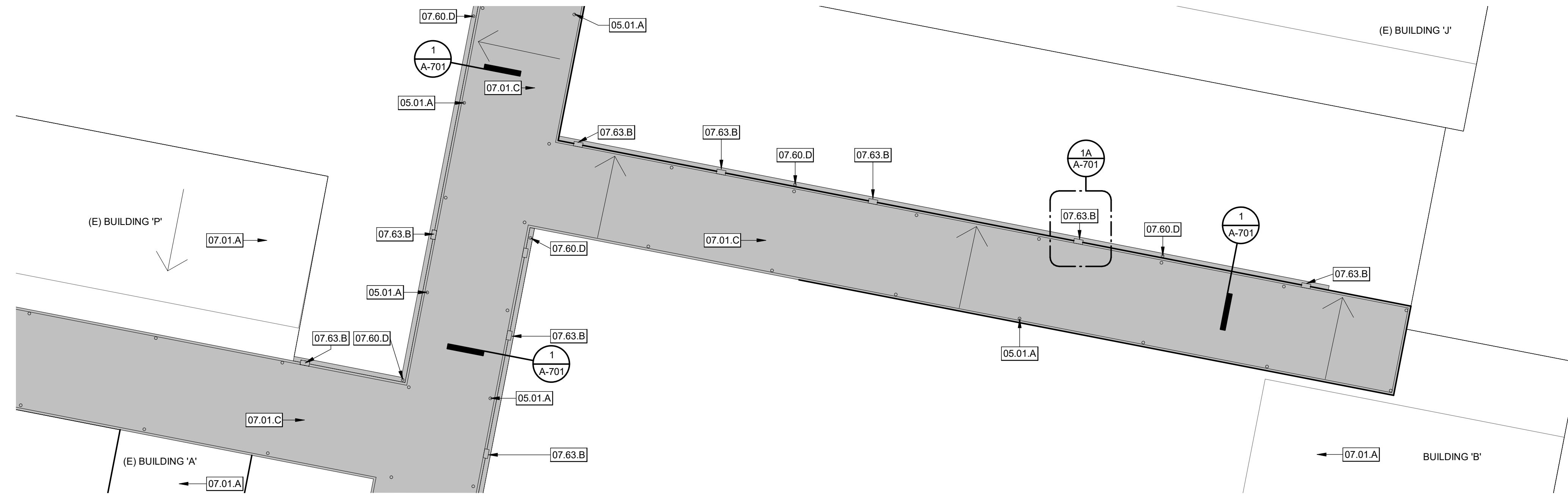
SHEET TITLE  
**(E) WALKWAY ROOF DEMOLITION PLAN**

DRAWN BY: PI JOB NUMBER: 21296

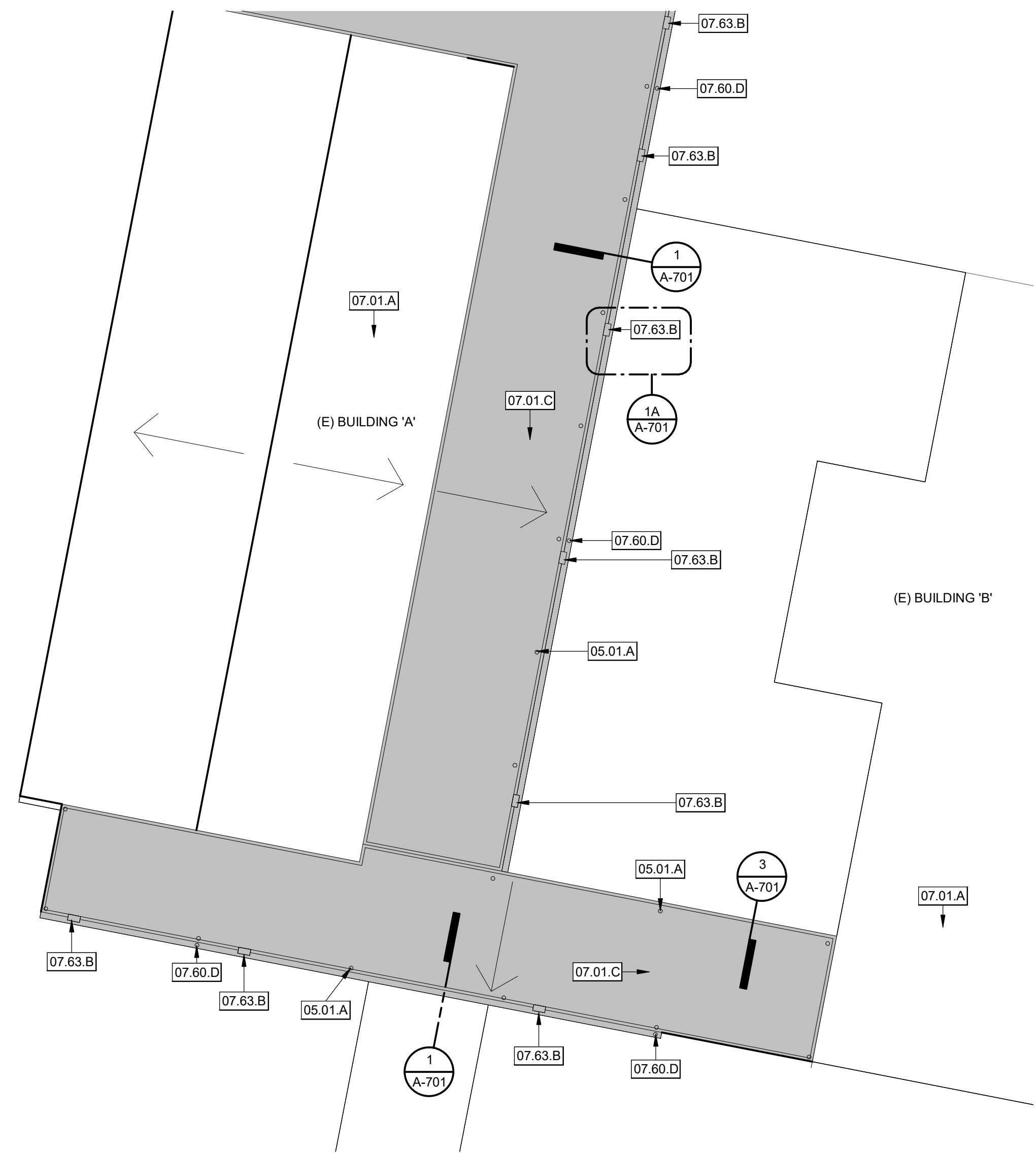
SHEET NO.  
**A01-021**

DATE: JANUARY 01, 2020

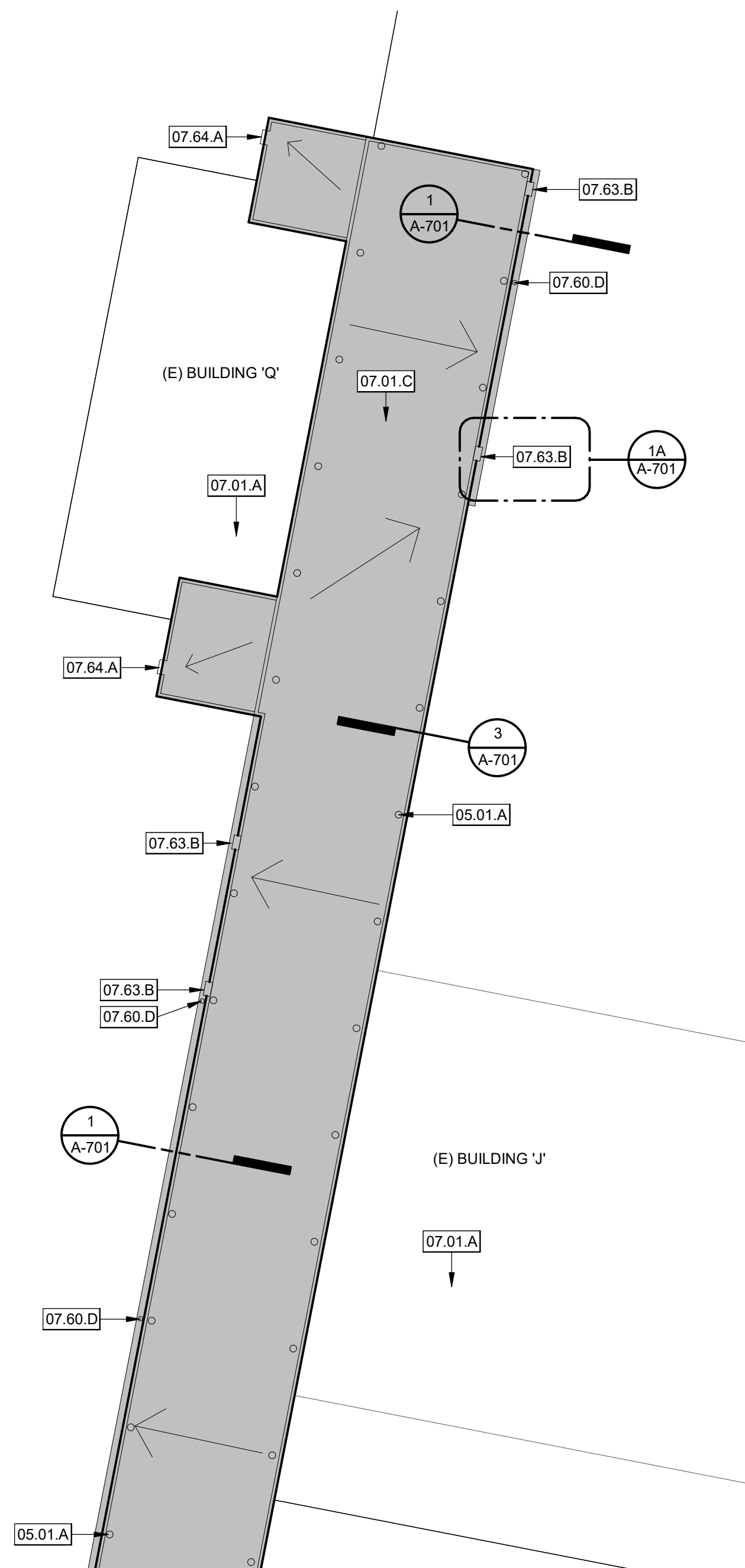
DATE PLOTTED: 2/8/2022 10:40:02 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 2- BEN LOMOND ES\_pbrahm\4KGM.rvt



WALKWAY ROOF PLAN - Callout 2 1/8" = 1'-0" 2



WALKWAY ROOF PLAN - Callout 1 1/8" = 1'-0" 1



WALKWAY ROOF PLAN - Callout 3 1/8" = 1'-0" 3



**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

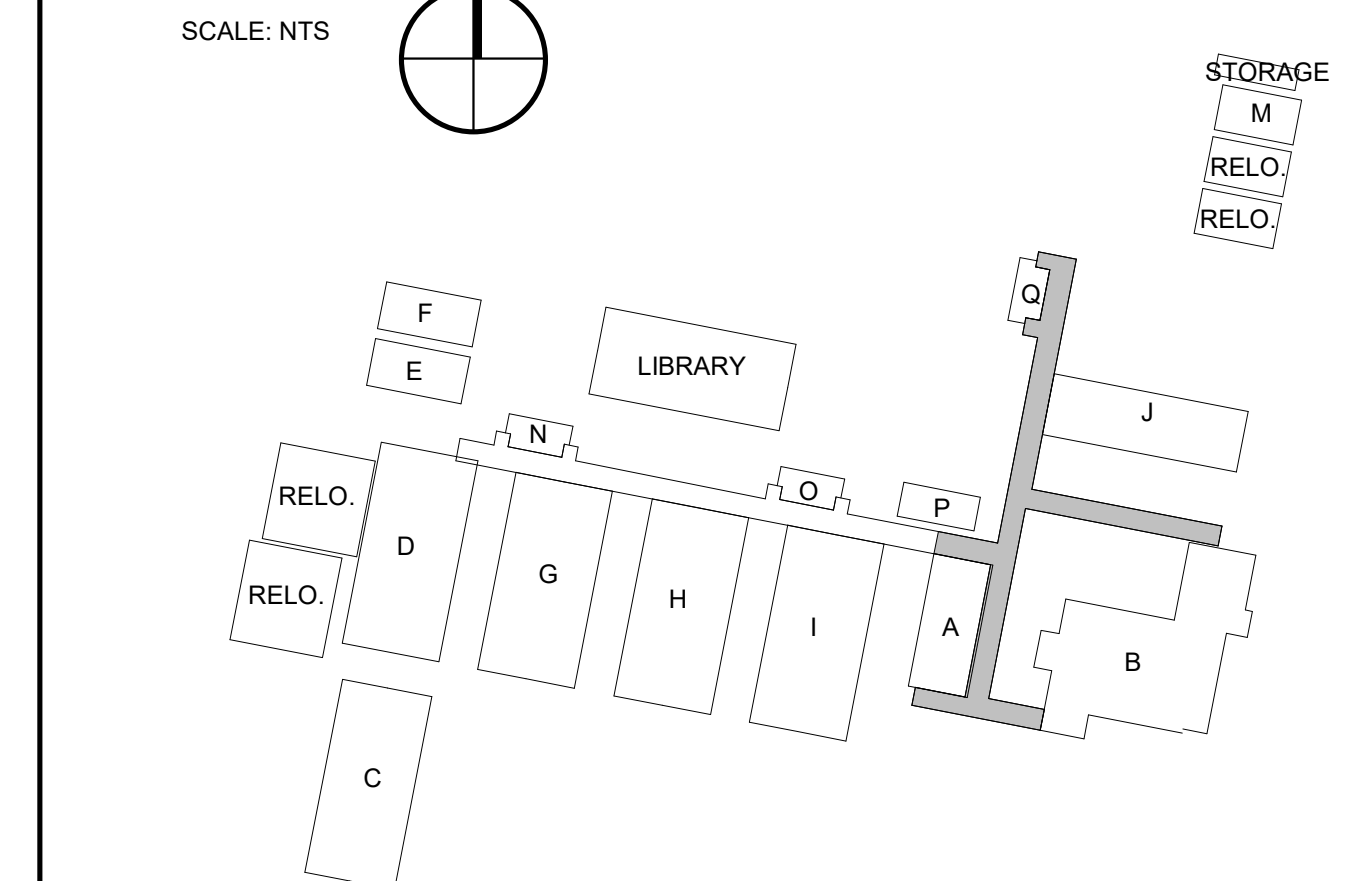
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**



**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo Street  
Covina, CA 91723

**BEN LOMOND ELEMENTARY SCHOOL**  
621 E Covina Blvd  
Covina, CA 91722

SHEET TITLE  
**(E) WALKWAY ROOF PLAN**

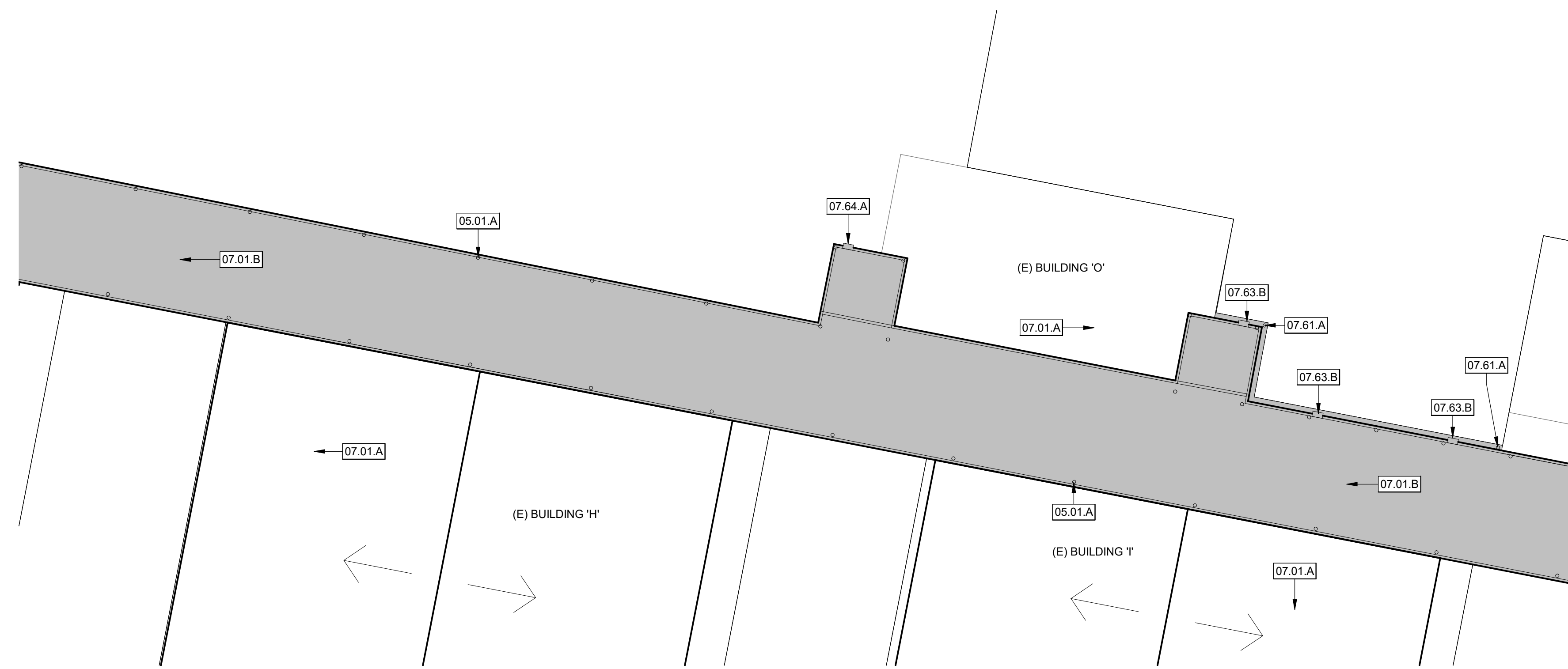
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SHEET NO.  
**A01-221**

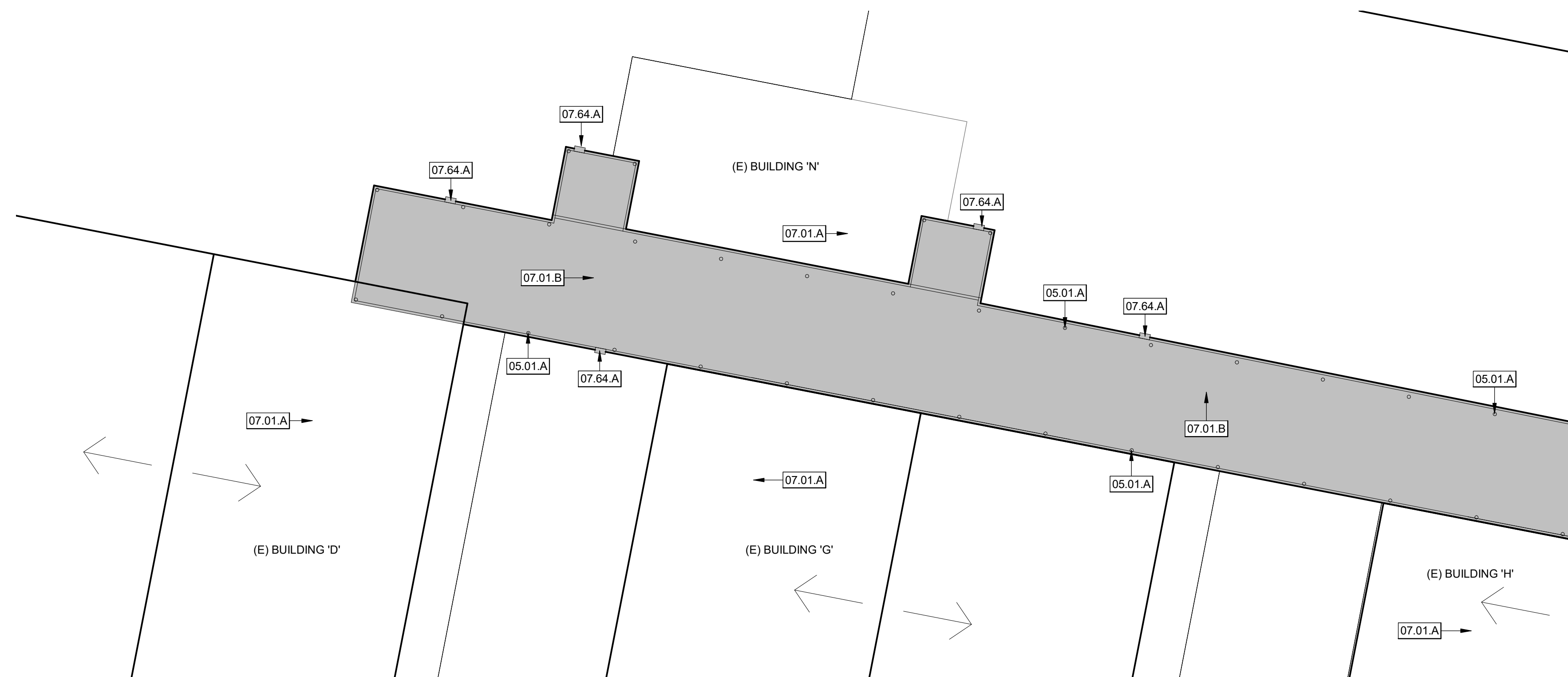
DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 10:40:03 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 2 - BEN LOMOND ES\_pbrahm\4KGM.rvt



WALKWAY ROOF DEMOLITION PLAN - Callout 4 1/8" = 1'-0" 4



WALKWAY ROOF DEMOLITION PLAN - Callout 5 1/8" = 1'-0" 5

**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.B REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.
- 07.61.A PREP (E) ROOF FOR (N) GUTTER & (N) DOWNSPOUT. REMOVE ALL NECESSARY (E) MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED.
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK.
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

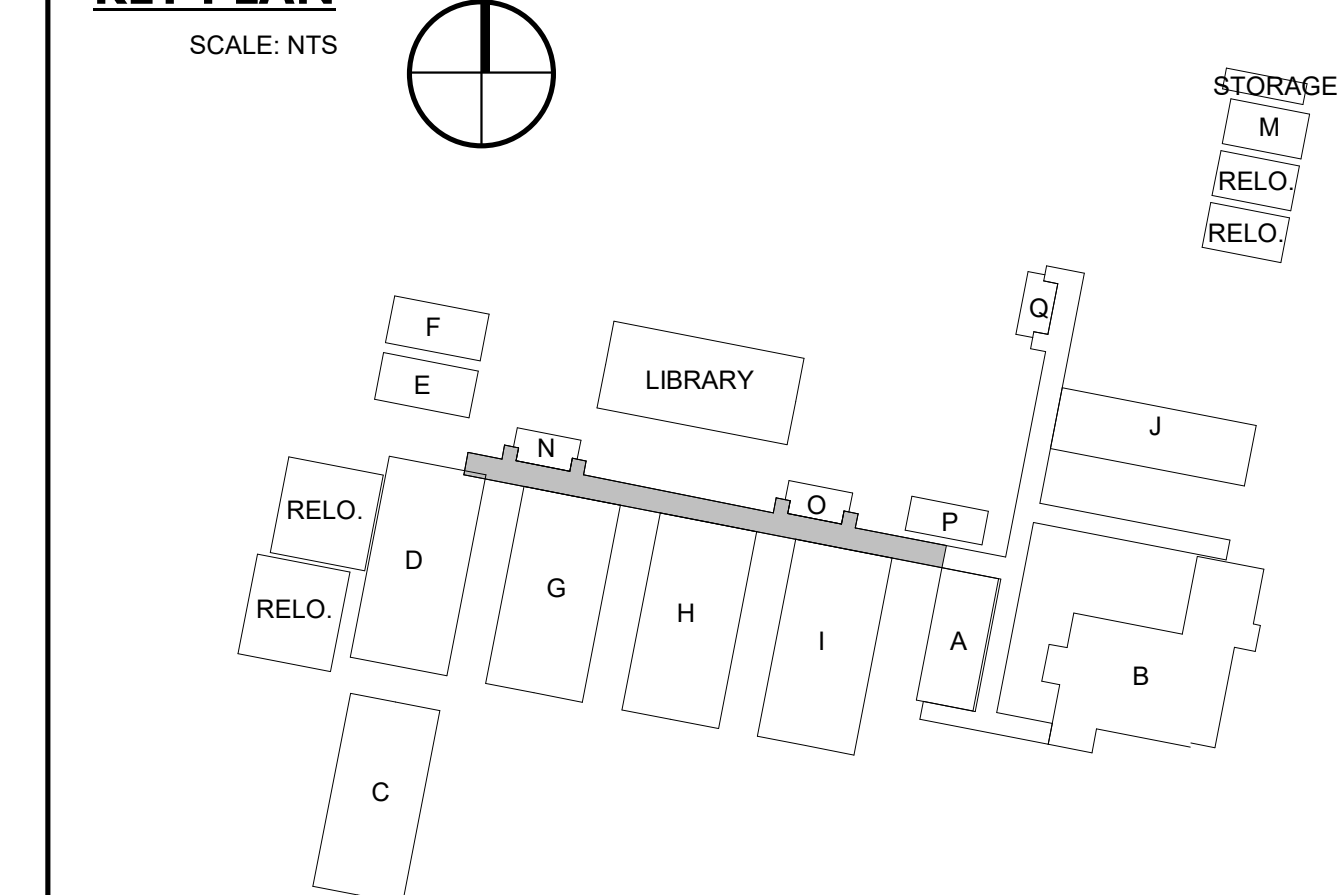
**DEMOLITION LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

**DEMOLITION NOTES**

1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTAGES.
14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**KEY PLAN**



**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo Street  
Covina, CA 91723

**BEN LOMOND ELEMENTARY SCHOOL**  
621 E Covina Blvd  
Covina, CA 91722

SHEET TITLE  
**(E) WALKWAY ROOF DEMOLITION PLAN**

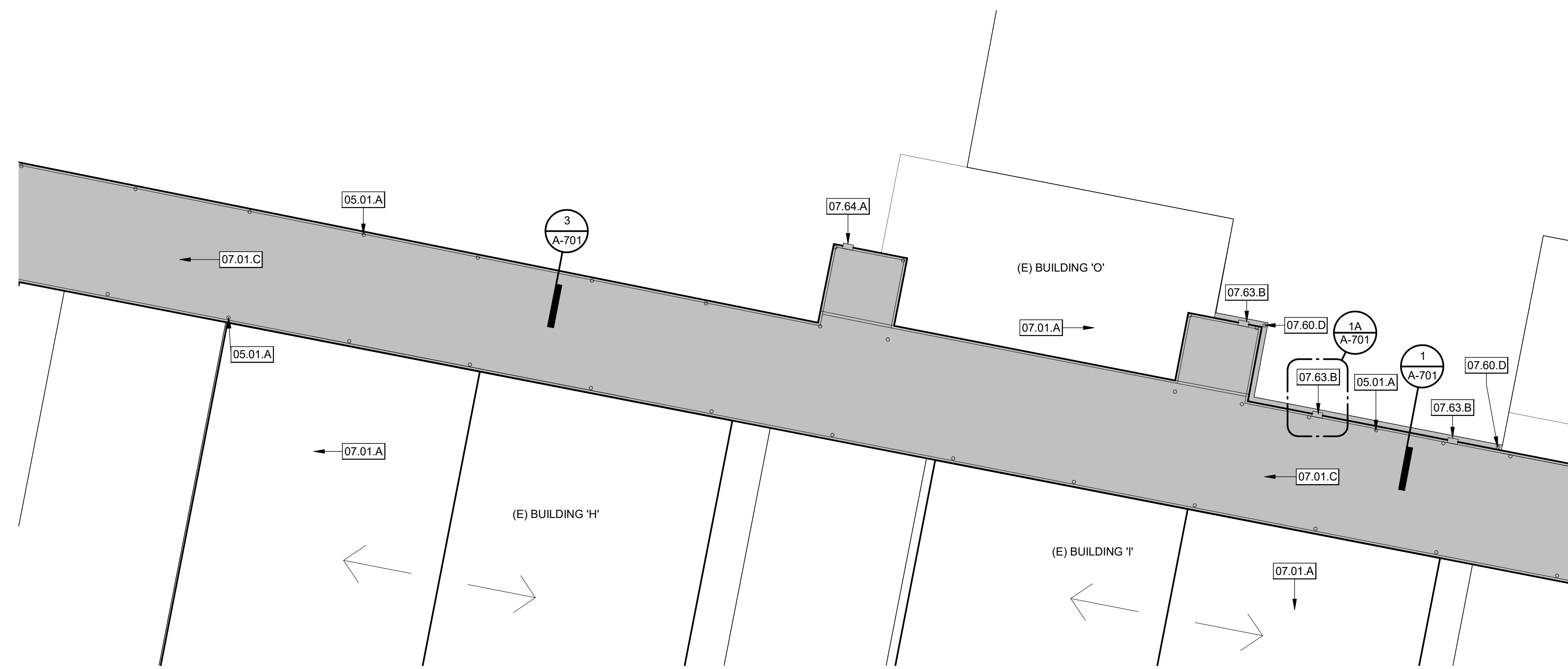
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SHEET NO.  
**A02-021**

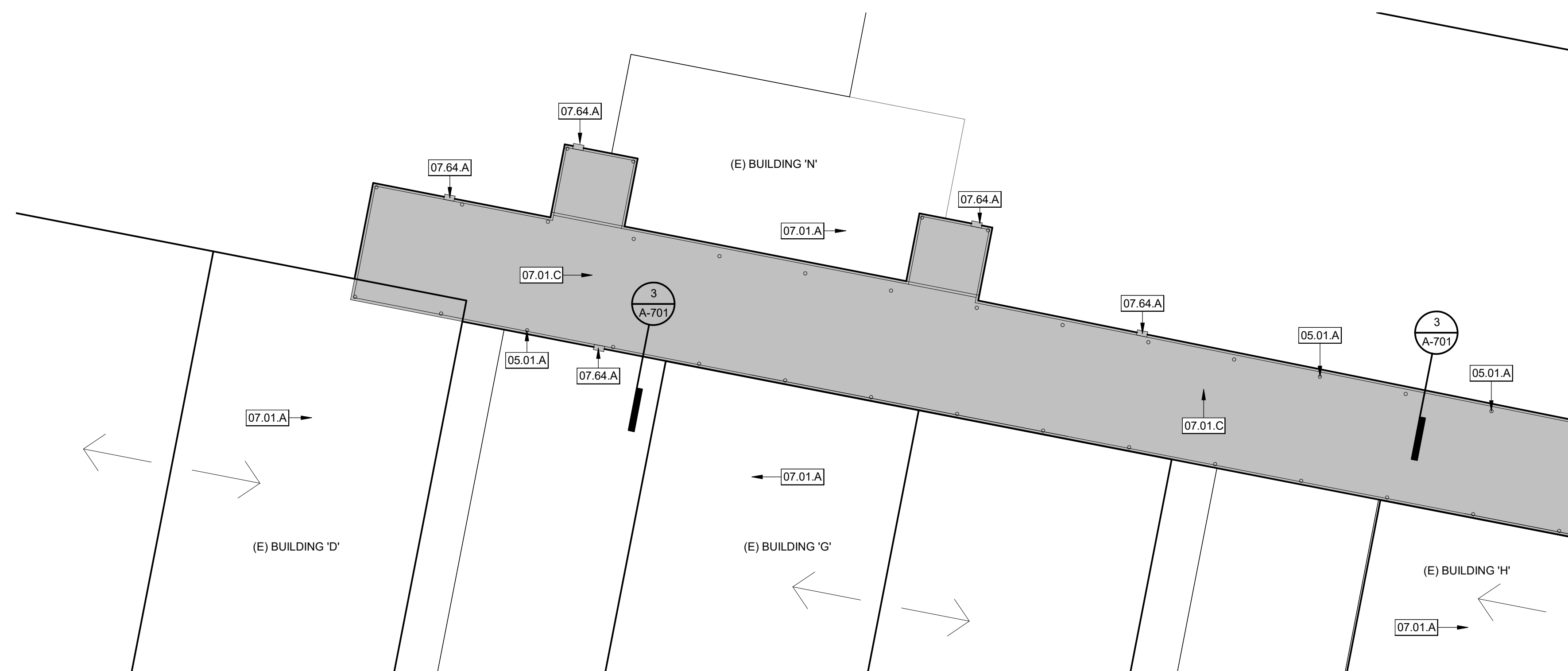
DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 10:40:04 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 2- BEN LOMOND ES\_pbrahm\4KGM.rvt



WALKWAY ROOF PLAN - Callout 4 1/8" = 1'-0" 4



WALKWAY ROOF PLAN - Callout 5 1/8" = 1'-0" 5



**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW. TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

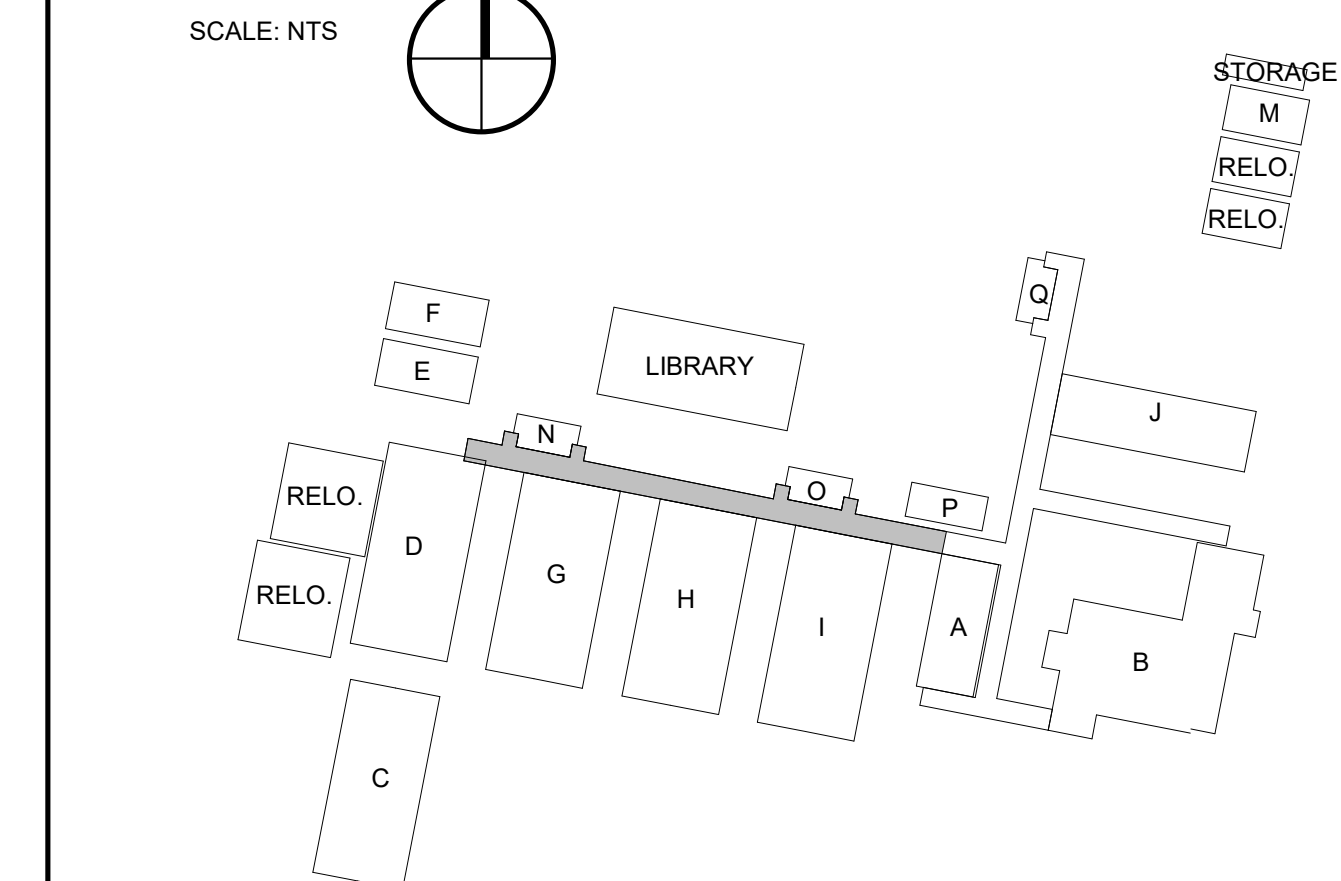
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**



**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo Street  
Covina, CA 91723

**BEN LOMOND ELEMENTARY SCHOOL**  
621 E Covina Blvd  
Covina, CA 91722

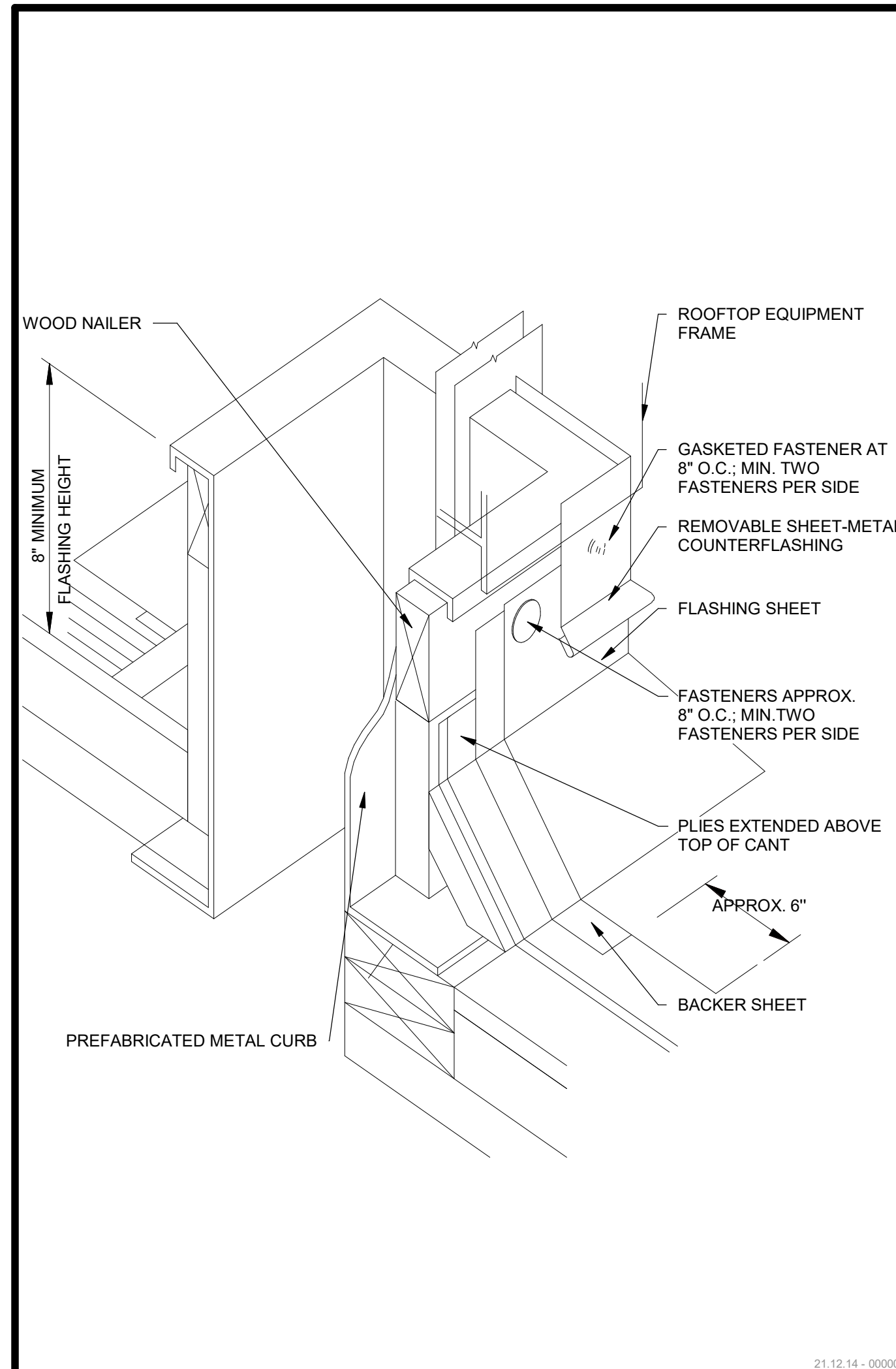
SHEET TITLE  
**(E) WALKWAY ROOF PLAN**

DRAWN BY: PI JOB NUMBER: 21296

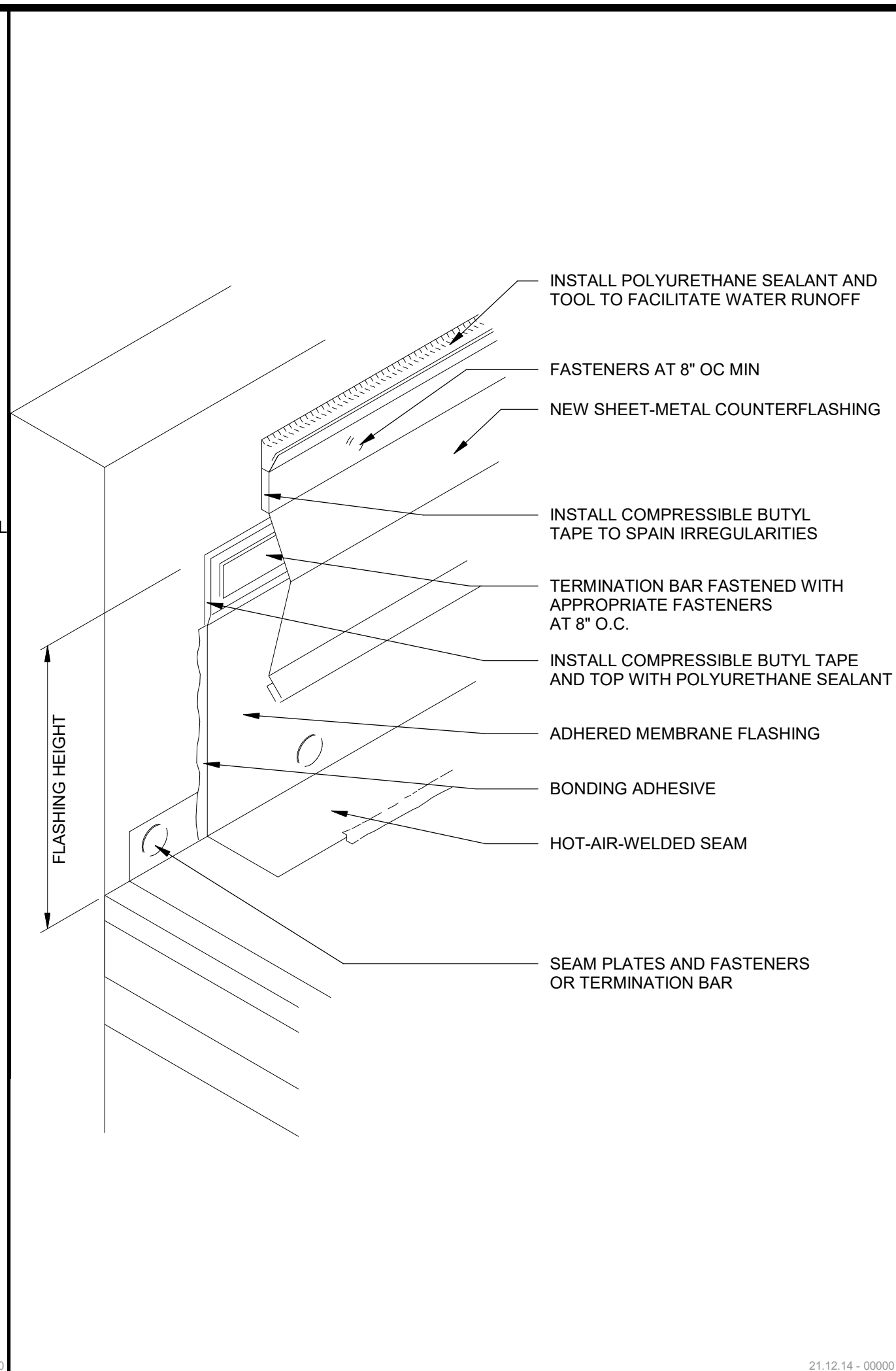
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DATE: JANUARY 01, 2020

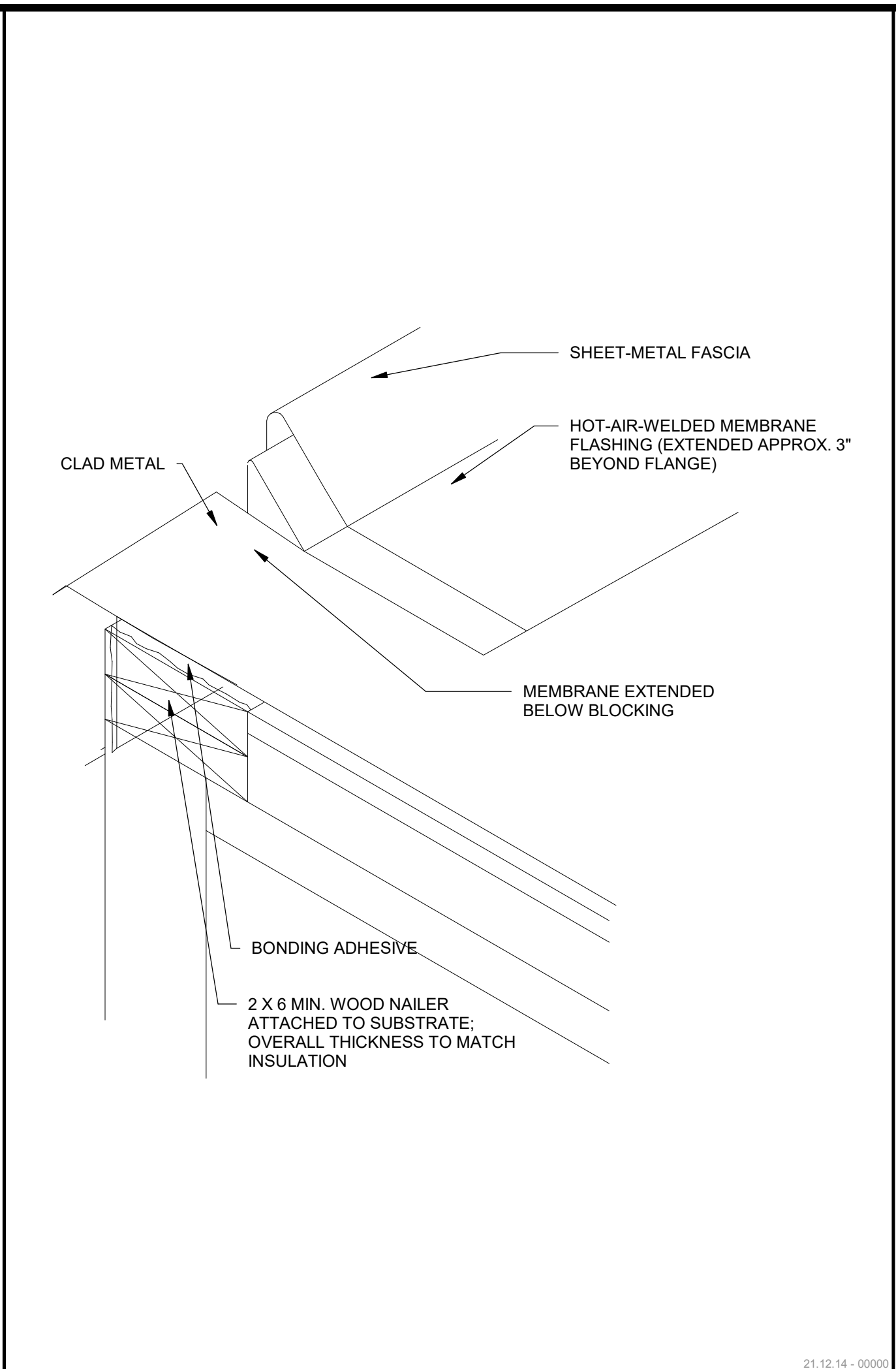
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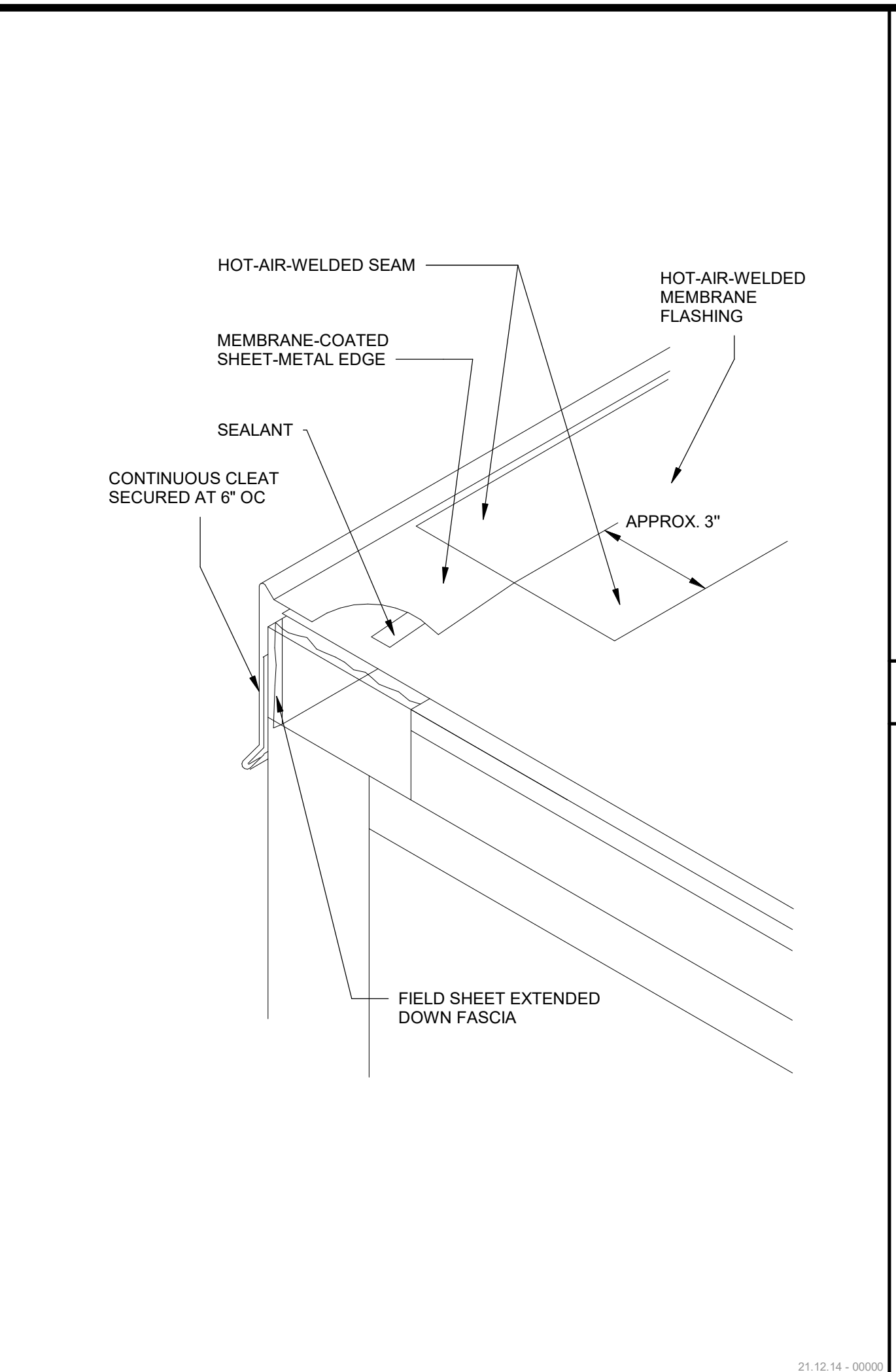
**MB BASE FLASHING** N.T.S. 5



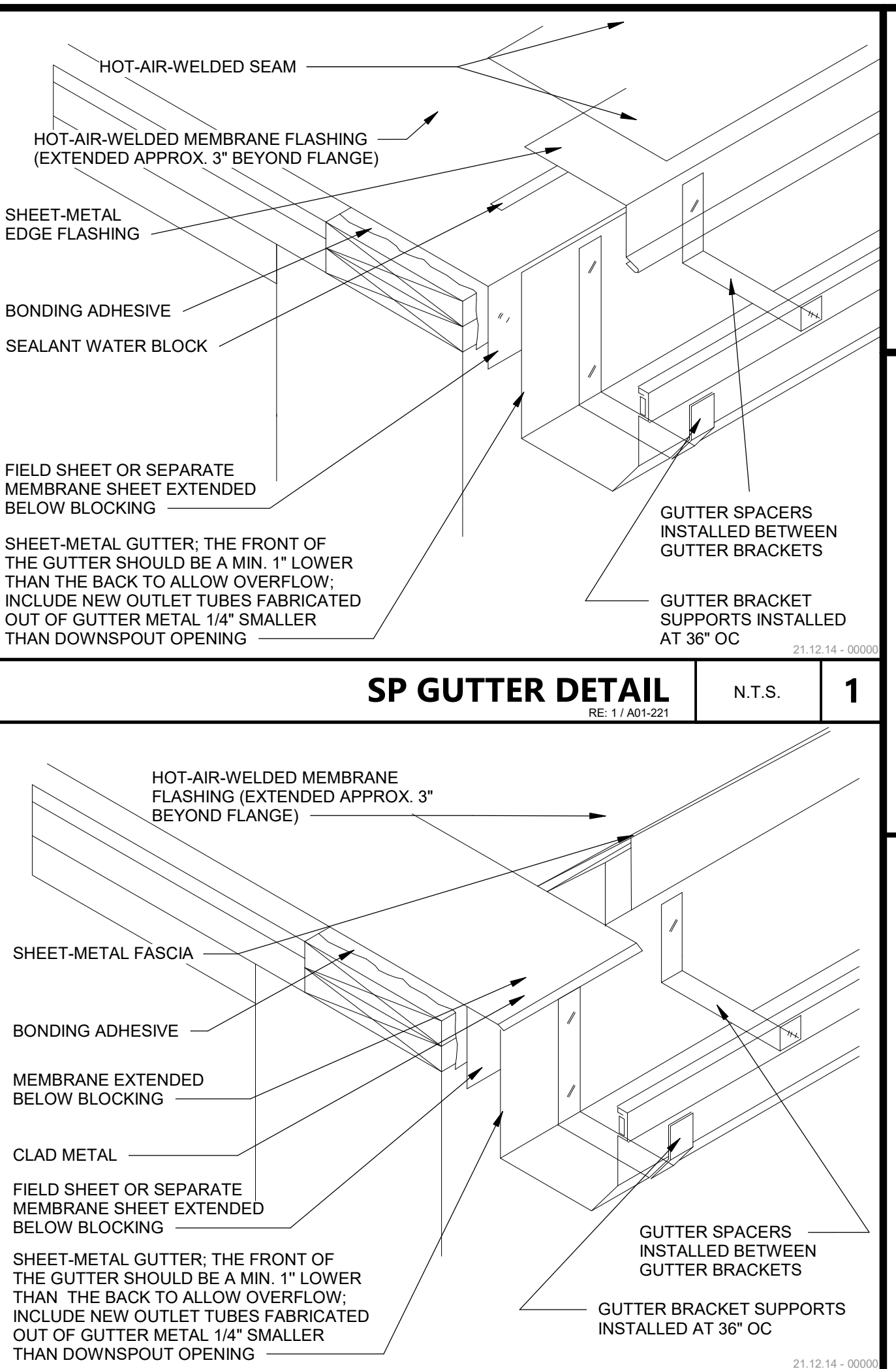
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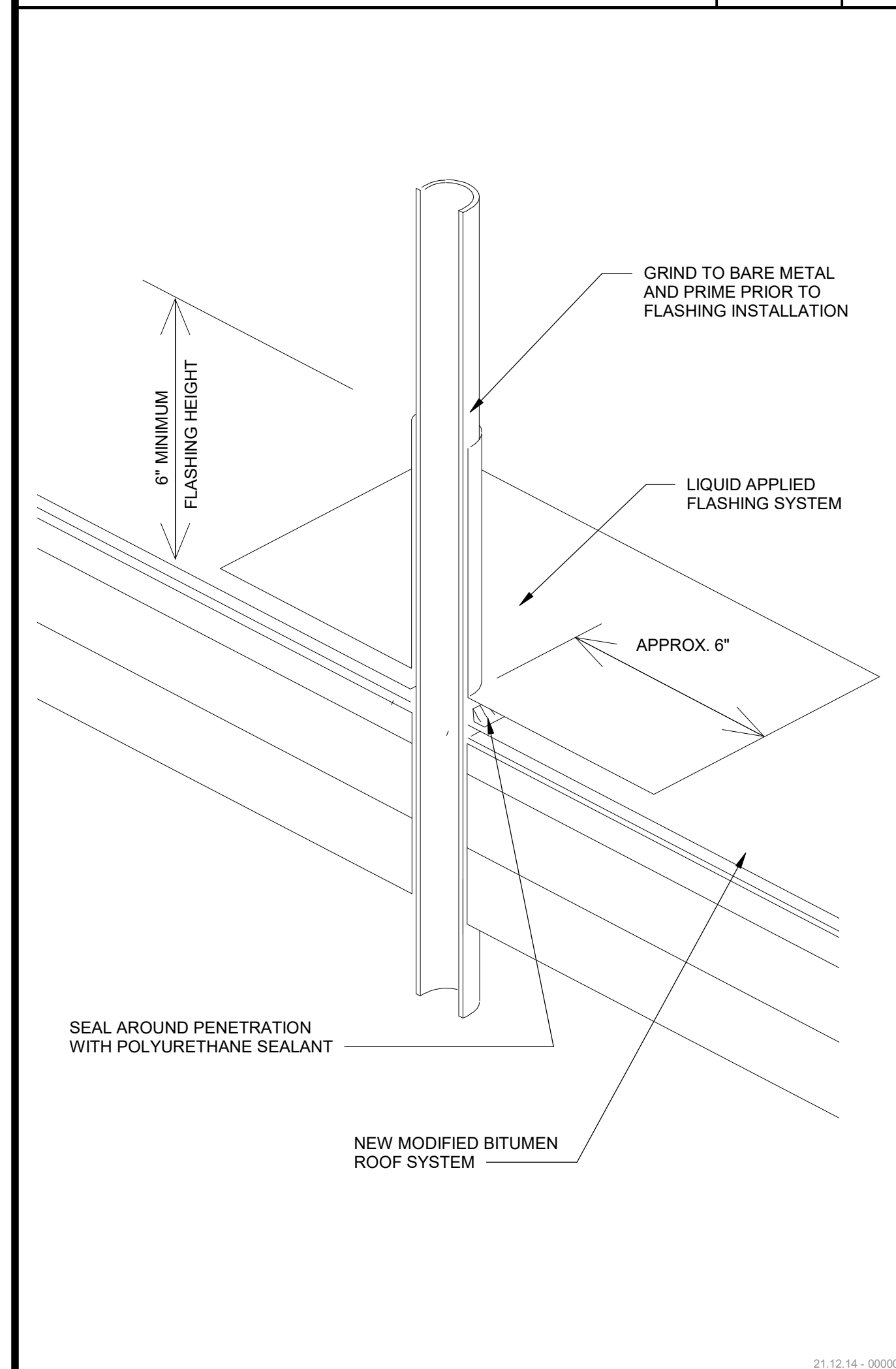
**SP RAISE EDGE WITH FLASHING** N.T.S. 3



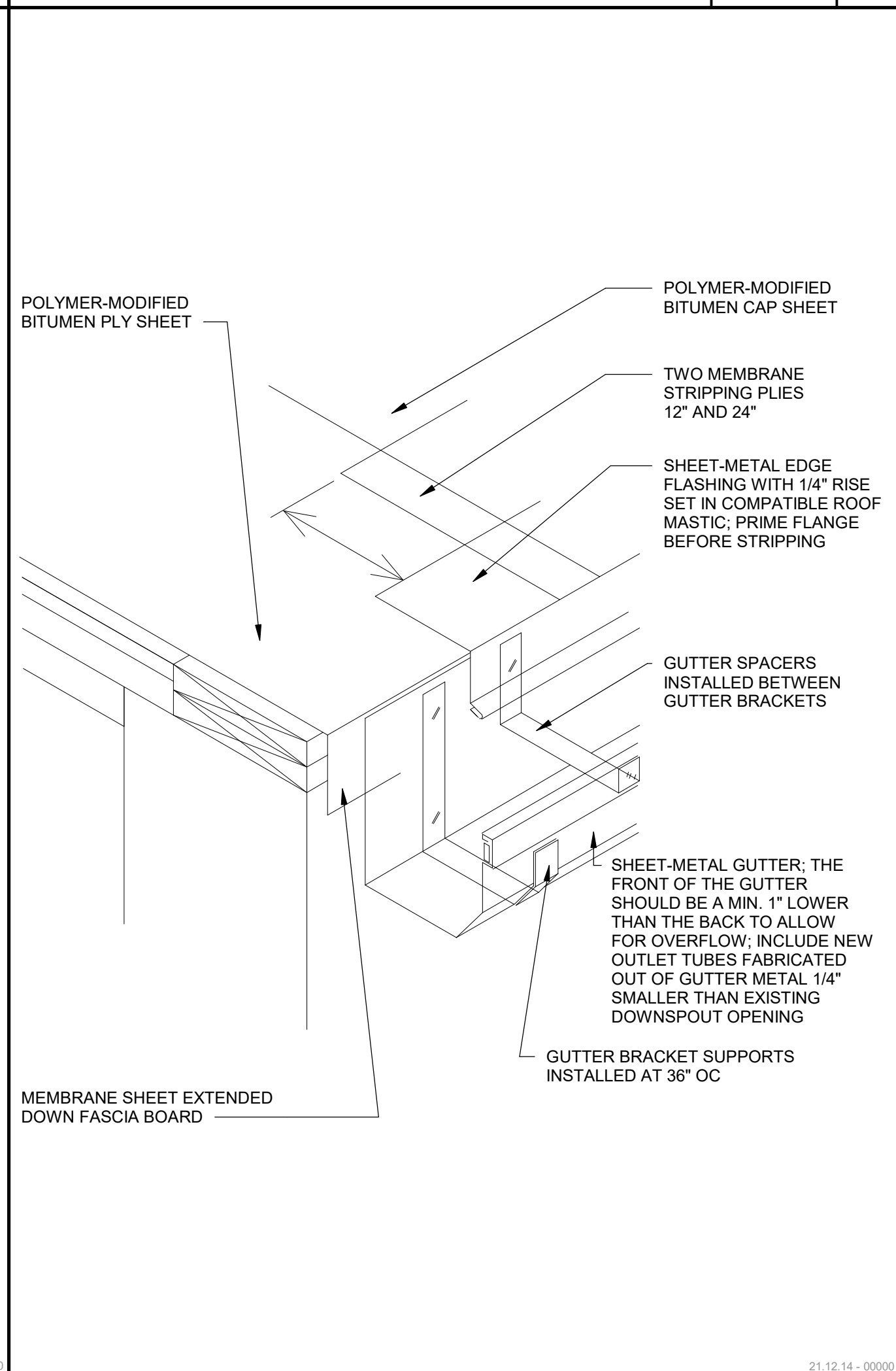
**SP EDGE DETAILING** N.T.S. 2



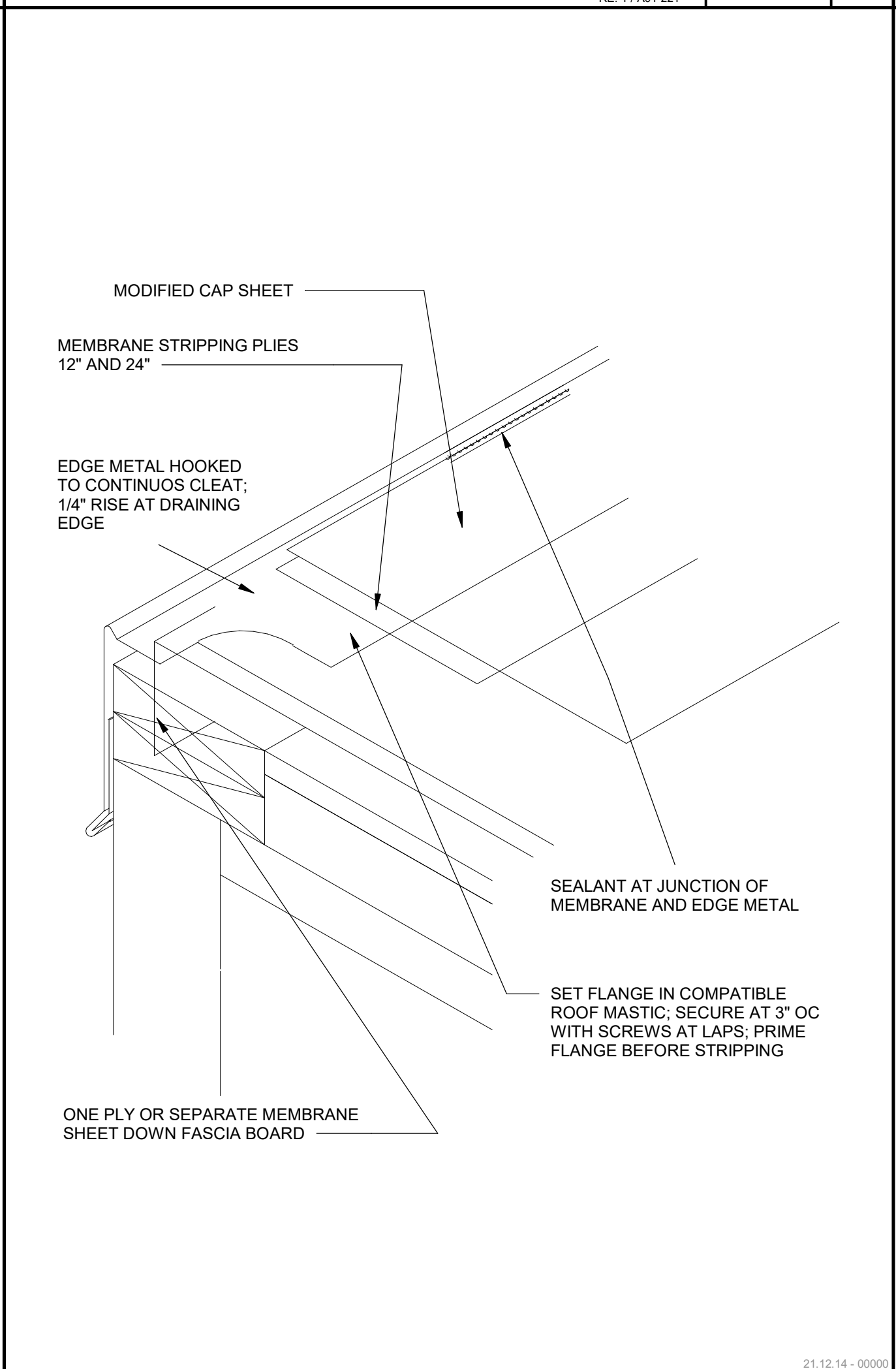
**SP SCUPPER AND GUTTER** N.T.S. 1A



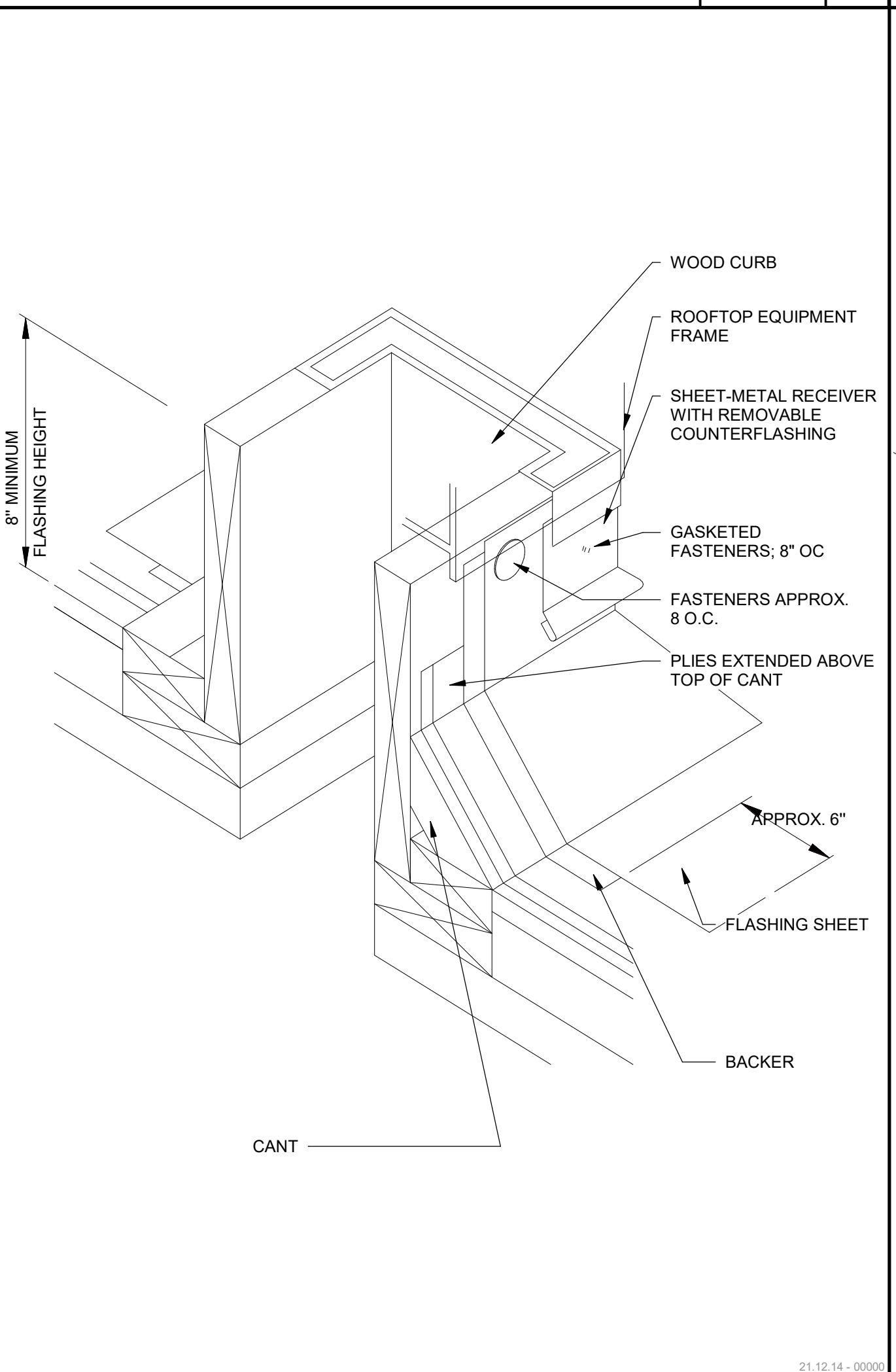
**MB PENETRATION FLASHING** N.T.S. 10



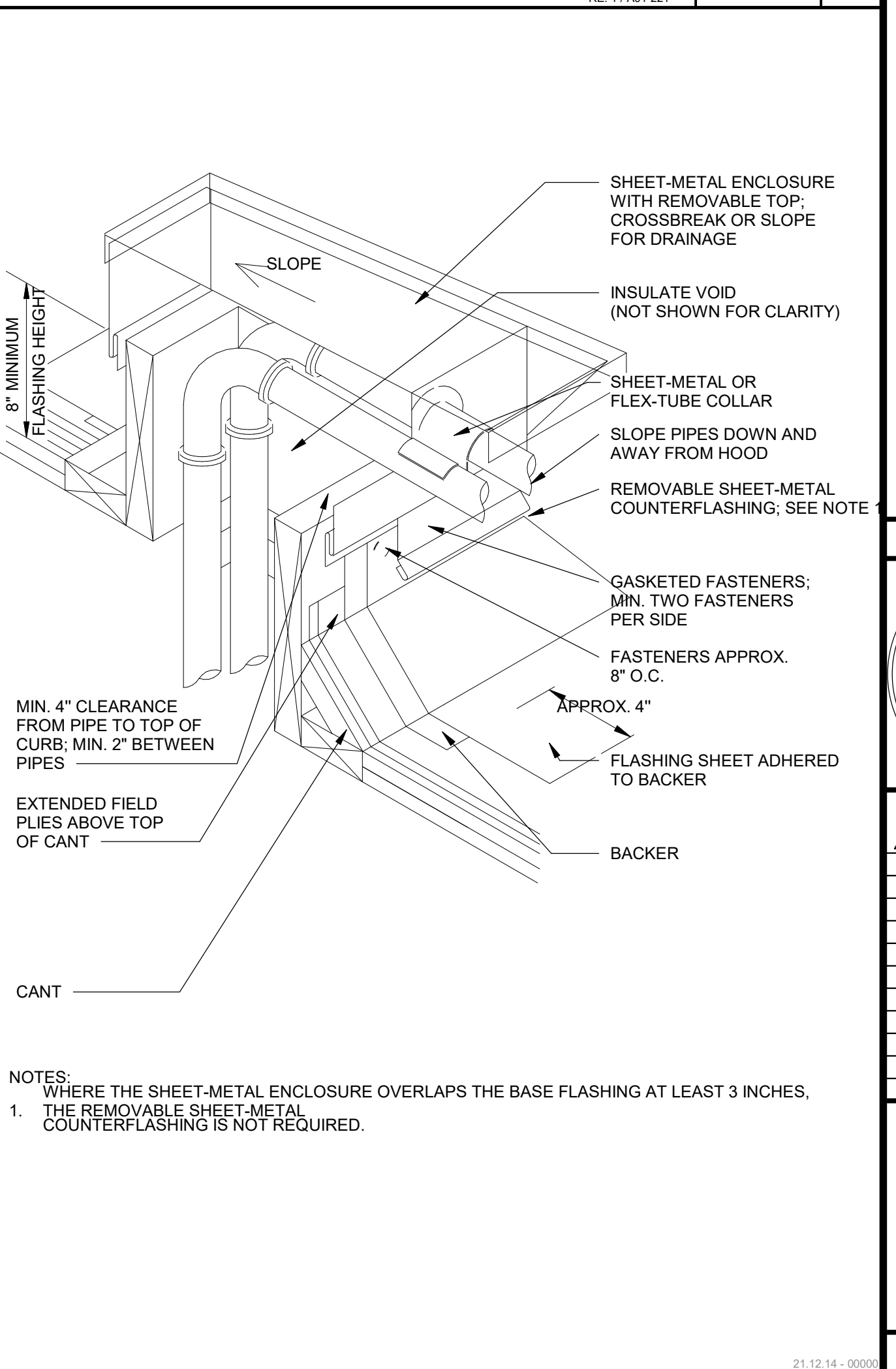
**MB GUTTER DETAIL** N.T.S. 9



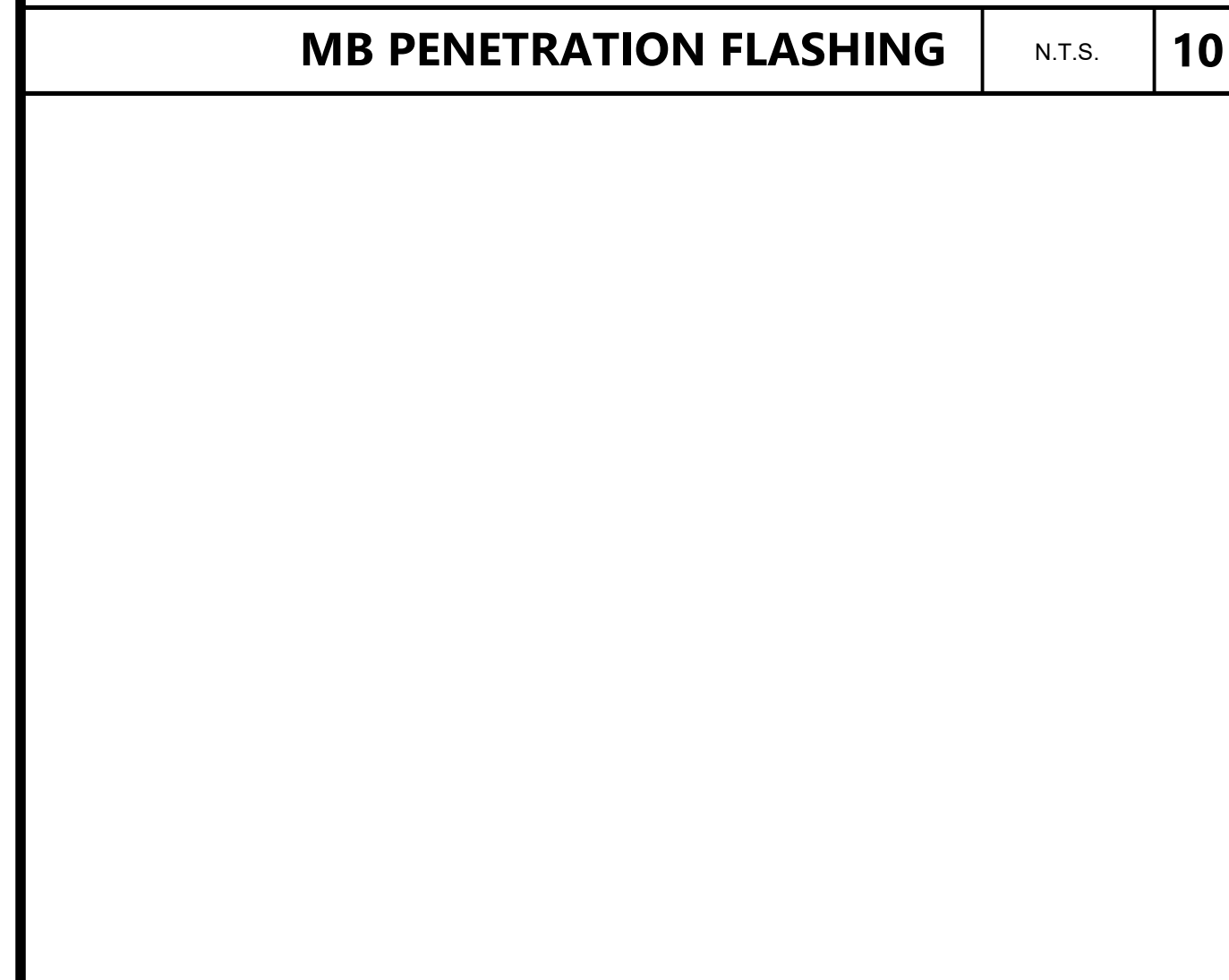
**MB EMBEDDED EDGE-METAL FLASHING** N.T.S. 8



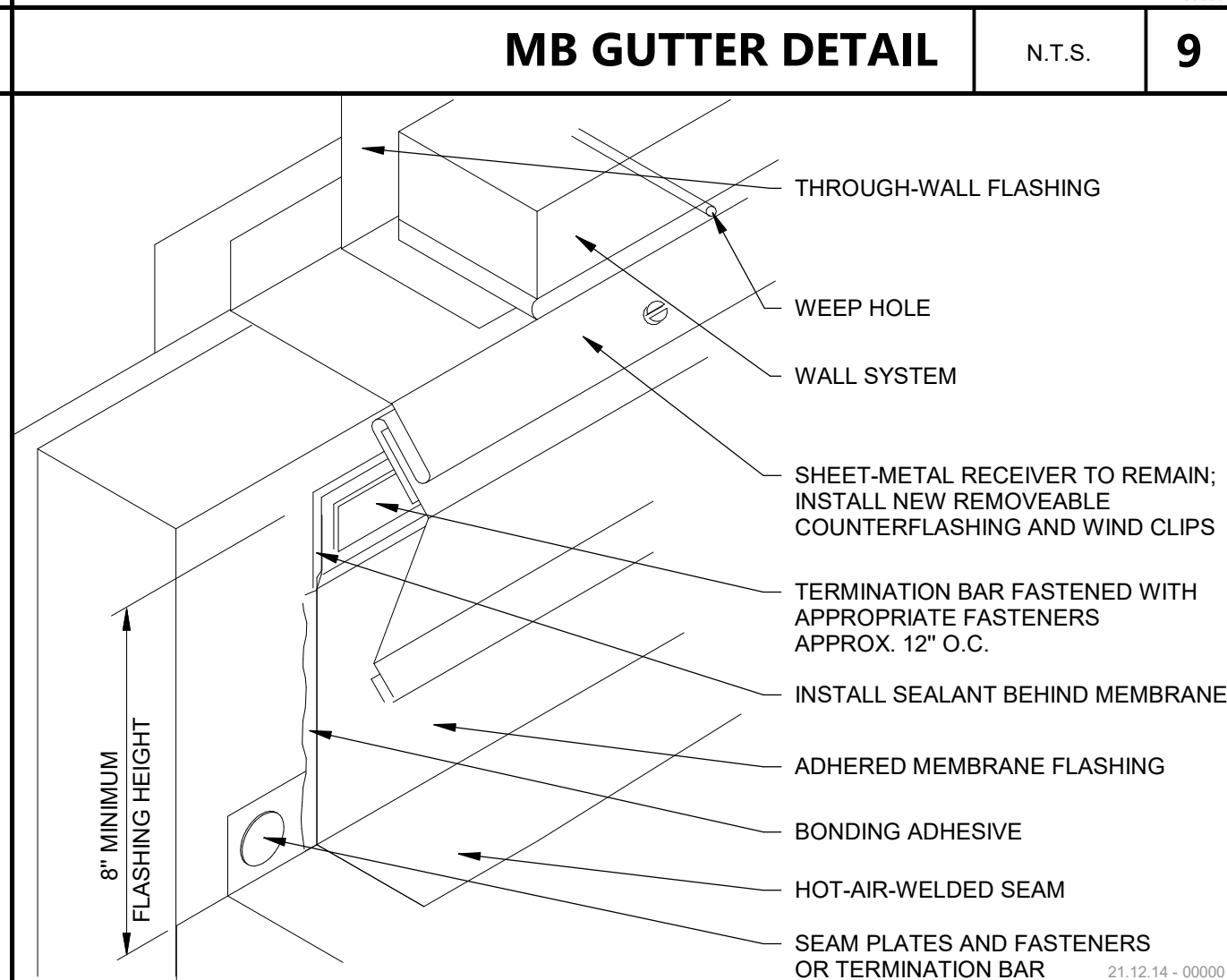
**MB BASE FLASHING AT WOOD CURB** N.T.S. 7



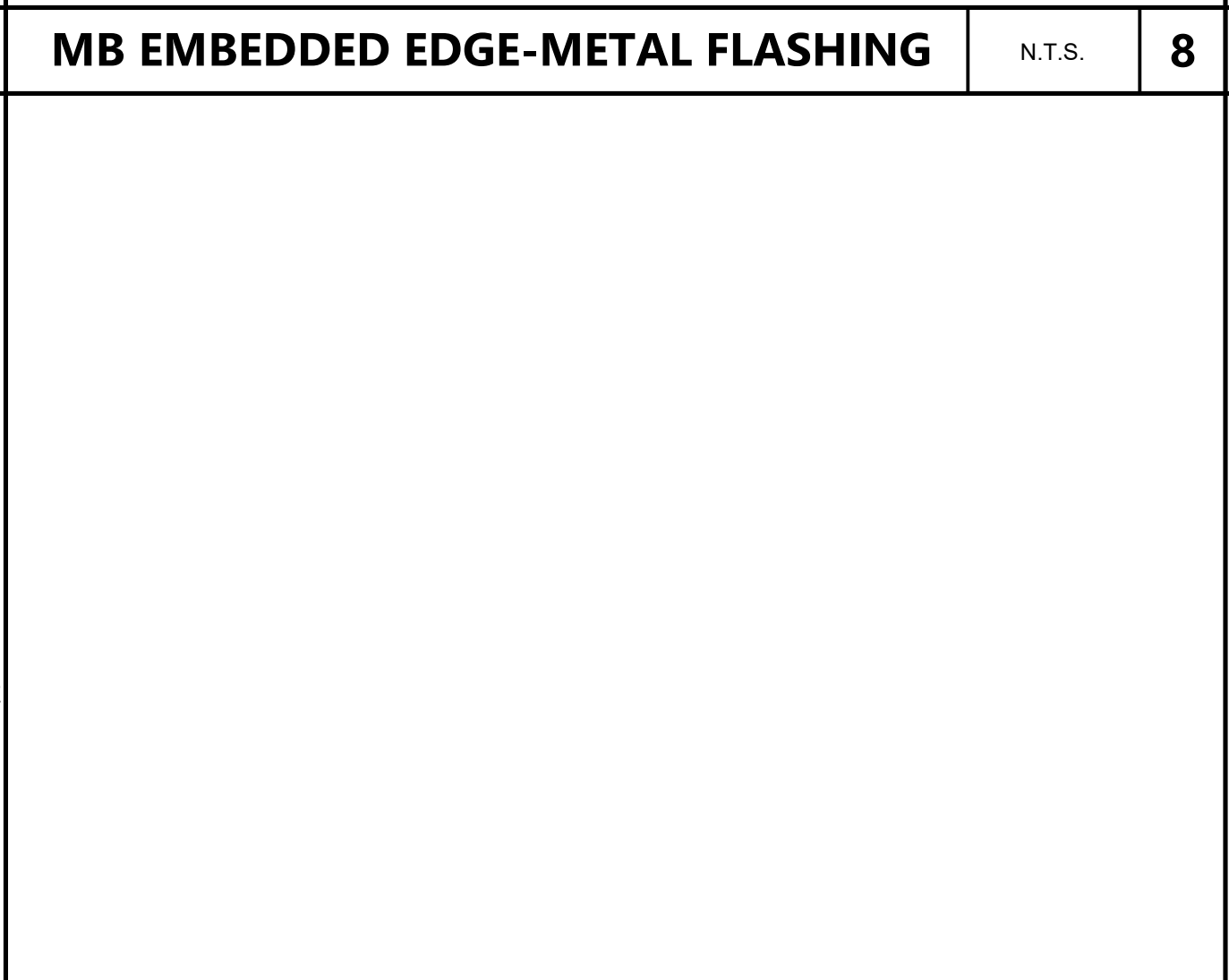
**MB BASE FLASHING AT PIPE** N.T.S. 6



**SHEET-METAL COUNTERFLASHING** N.T.S. 14



**DURA BLOCK** 3" x 1'-0" 12



**ROOF DRAIN AND OVERFLOW** 1" x 1'-0" 11

ARCHITECT STAMP  
CONSULTANT STAMP

LICENSED ARCHITECT  
A-141 ELEN FREDER  
C-22474  
RENEW 10-31-25  
STATE OF CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
COVINA-VALLEY UNIFIED SCHOOL DISTRICT  
519 E Badillo Street  
Covina, CA 91723

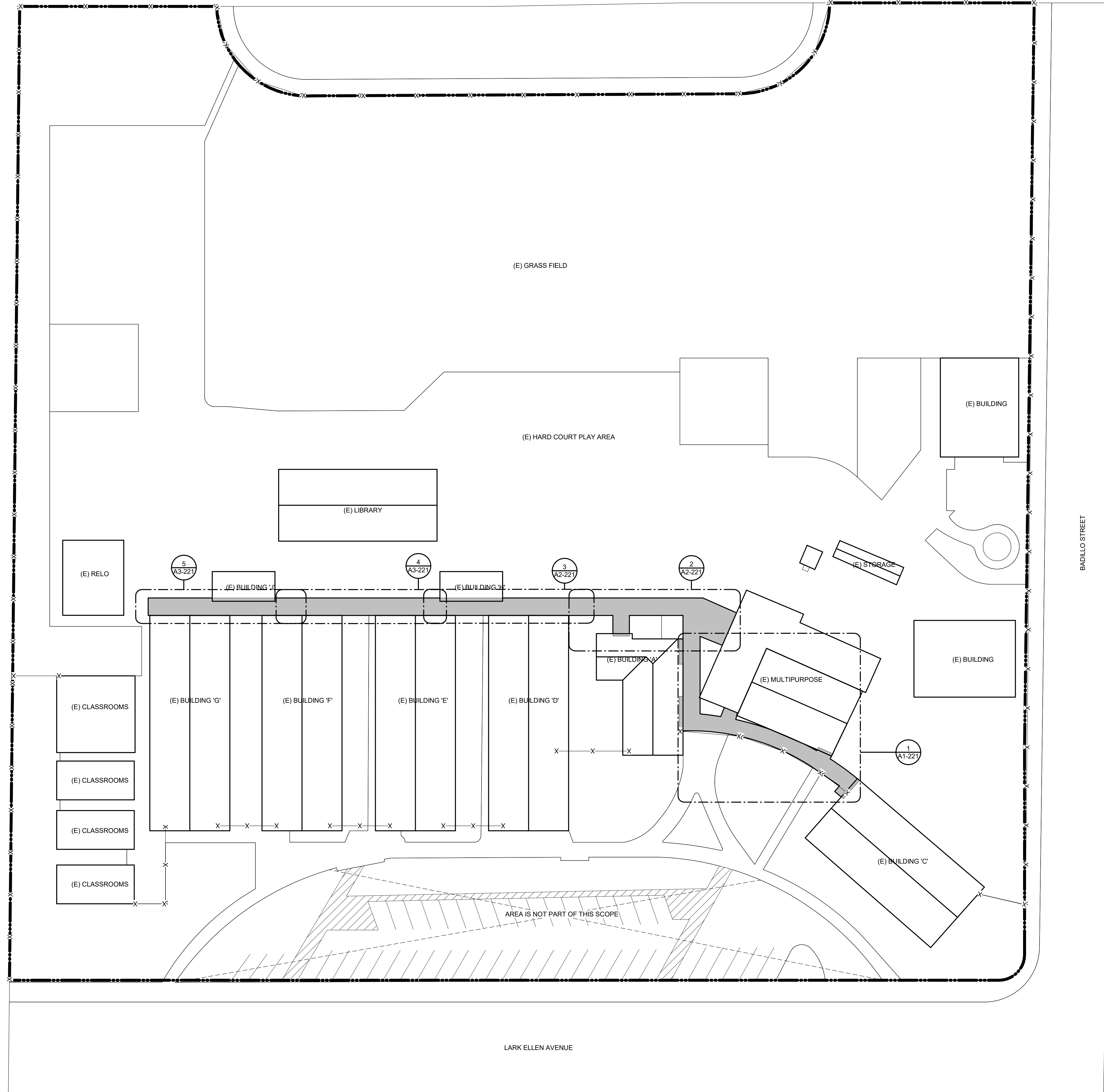
**BEN LOMOND ELEMENTARY SCHOOL**  
621 E Covina Blvd  
Covina, CA 91722

SHEET TITLE  
**DETAILS**  
DRAWN BY: PJ JOB NUMBER: 21296  
SHEET NO.  
**A-701**  
DATE: JANUARY 01, 2020


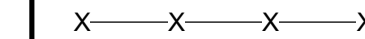




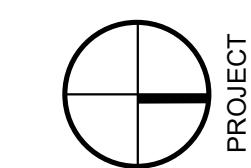


DATE PLOTTED: 2/8/2022 11:42:07 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 4 - GROVECENTER ES\_pbrahm\G4KGM.dwg



**SITE PLAN LEGEND**

-  (E) PROPERTY LINE
-  (E) CHAIN LINK FENCE
-  BUILDING NOT A PART OF THIS SCOPE.
-  REMOVE (E) ROOFING DOWN TO EXISTING ROOF DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING MEMBRANE. THIS INCLUDES BUT IS NOT LIMITED TO THE EXISTING BUILT UP ROOF, ROOFING ALONG THE CURBS AND PARAPET CAPS.



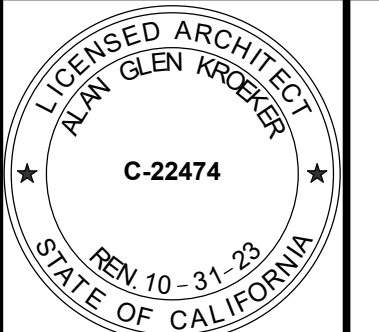
**SITE PLAN** 1" = 30'-0" 1

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS		
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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**GROVECENTER ELEMENTARY SCHOOL**  
775 N Lark Ellen Ave  
West Covina, CA 91791

SHEET TITLE  
**SITE PLAN**

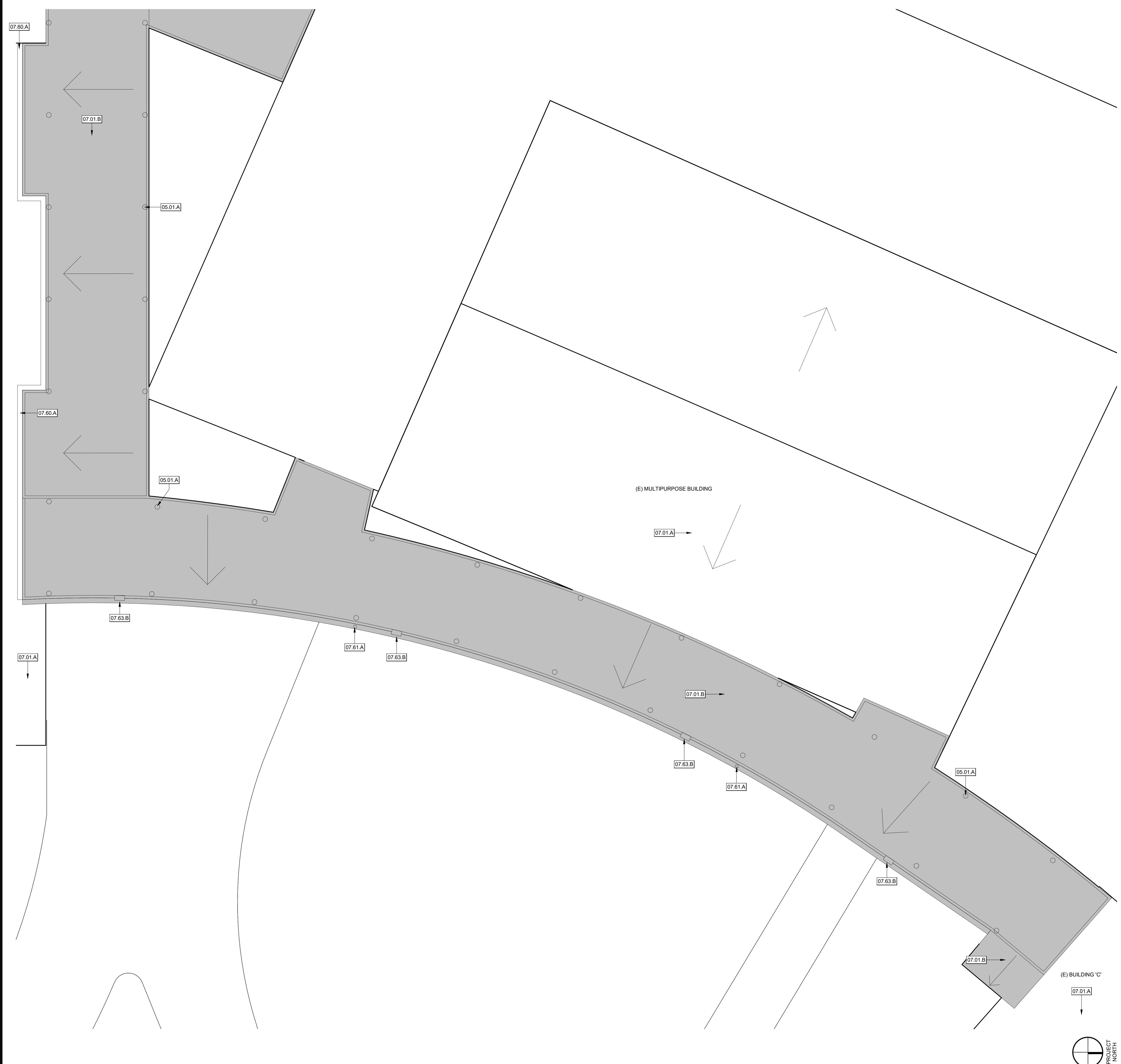
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SHEET NO.  
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DATE: JANUARY 01, 2020

PROJECT STATUS

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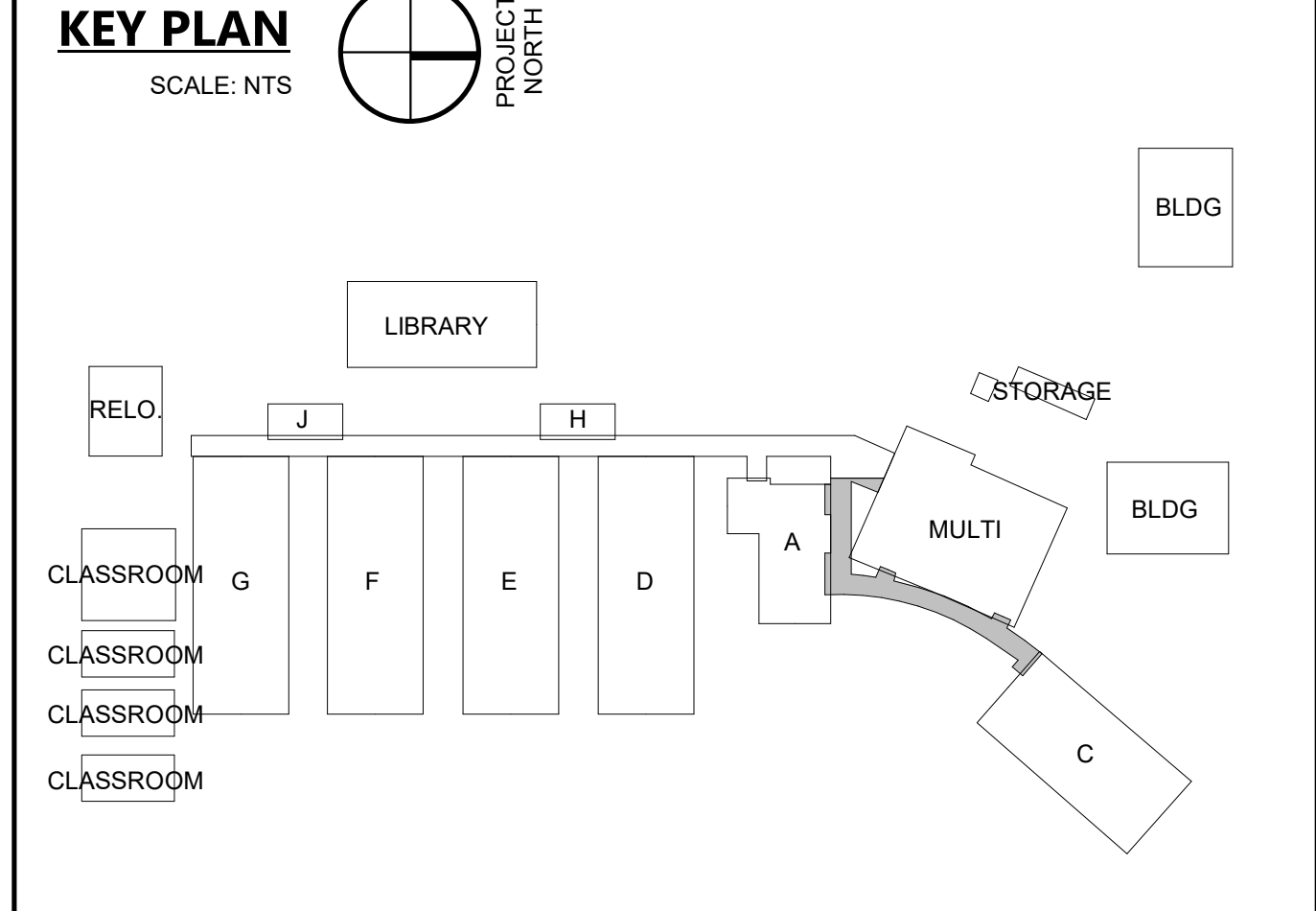
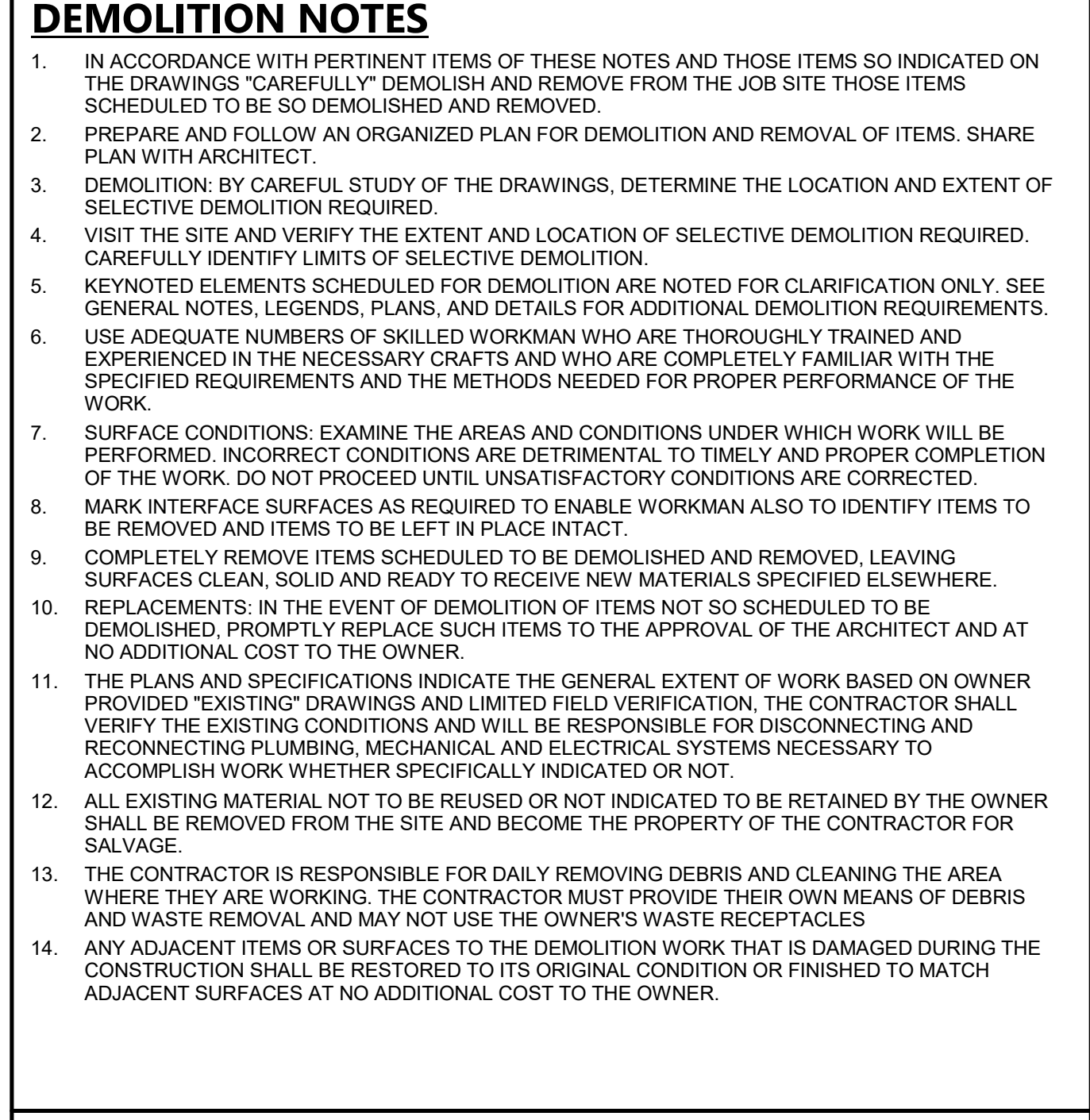
- KEYNOTES**
- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
  - 07.01.A (E) ROOF TO REMAIN
  - 07.01.B REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.
  - 07.60.A (E) GUTTER AND DOWNSPOUT TO REMAIN. PRESSURE CLEAN AND RESTORE.
  - 07.61.A PREP (E) ROOF FOR (N) GUTTER & (N) DOWNSPOUT. REMOVE ALL NECESSARY (E) MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED.
  - 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLE BLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLE BLOCK.
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

- DEMOLITION LEGEND**
- (E) ROOFING MATERIAL TO REMAIN.
  - (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

- DEMOLITION NOTES**
1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
  2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
  3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
  4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
  5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
  6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
  7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
  8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
  9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
  10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
  11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
  12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
  13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
  14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.



**BID 108**

**19.6**  
ARCHITECTS

802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP

CONSULTANT STAMP

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT OWNER & TITLE

**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**GROVECENTER ELEMENTARY SCHOOL**  
775 N Lark Ellen Ave  
West Covina, CA 91791

SHEET TITLE

**(E) WALKWAY ROOF DEMOLITION PLAN**

DRAWN BY: PI JOB NUMBER: 21296

SHEET NO.

**A1-021**

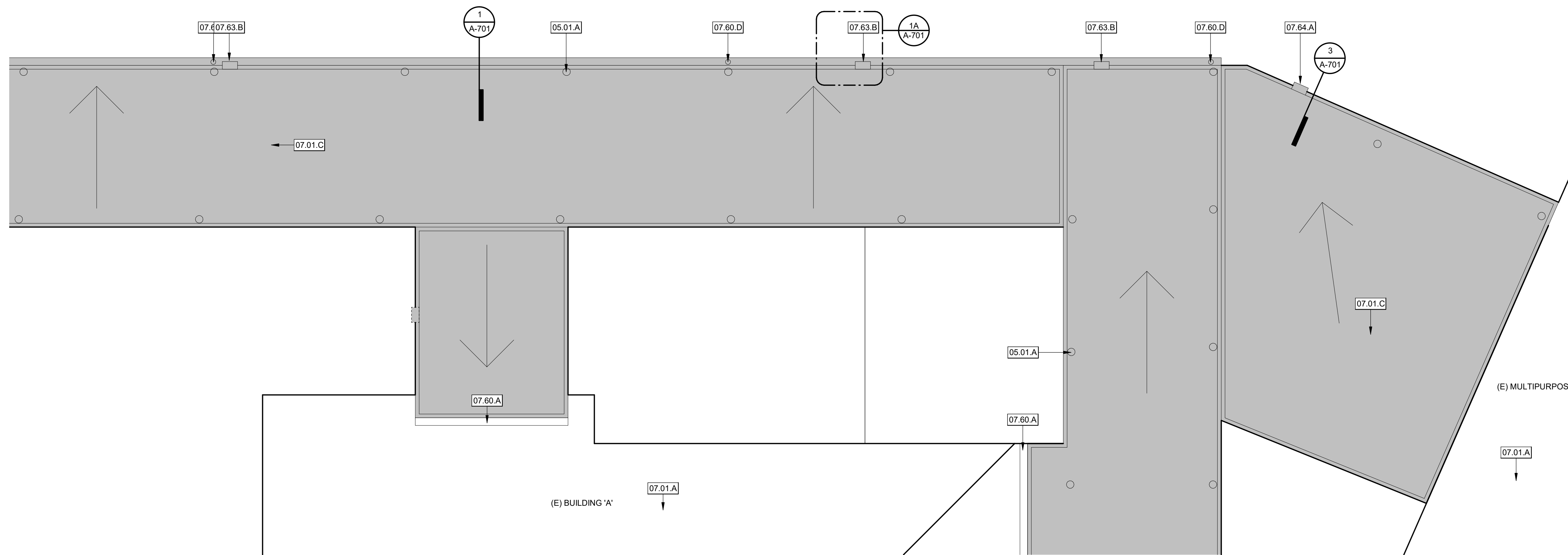
DATE: JANUARY 01, 2020

PROJECT STATUS

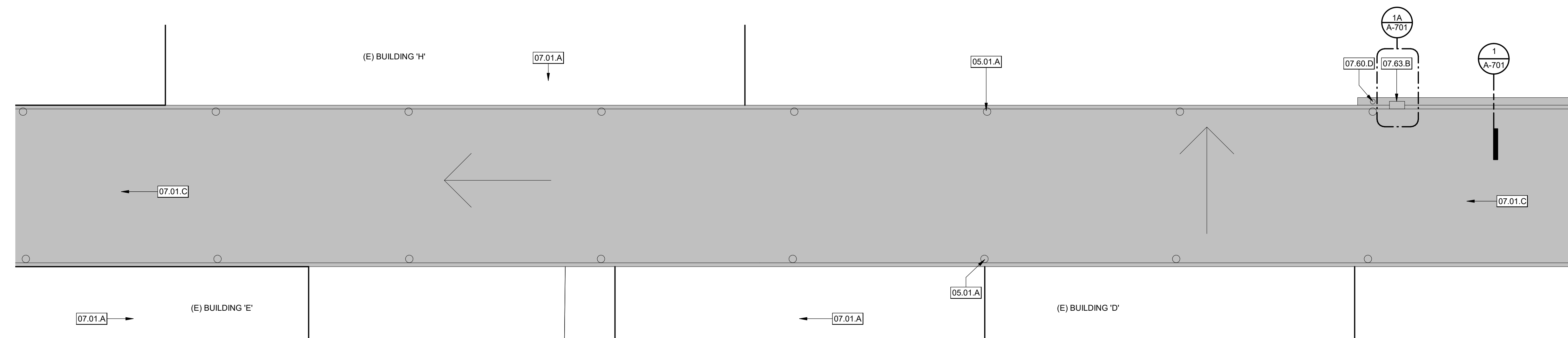




FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 4 - GROVECENTER ES\_pbrahm\G4KGM.rvt  
 DATE PLOTTED: 2/8/2022 11:42:04 AM



WALKWAY ROOF PLAN - Callout 2 1/4" = 1'-0" 2



WALKWAY ROOF PLAN - Callout 3 1/4" = 1'-0" 3



**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.60.A (E) GUTTER AND DOWNSPOUT TO REMAIN. PRESSURE CLEAN AND RESTORE.
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

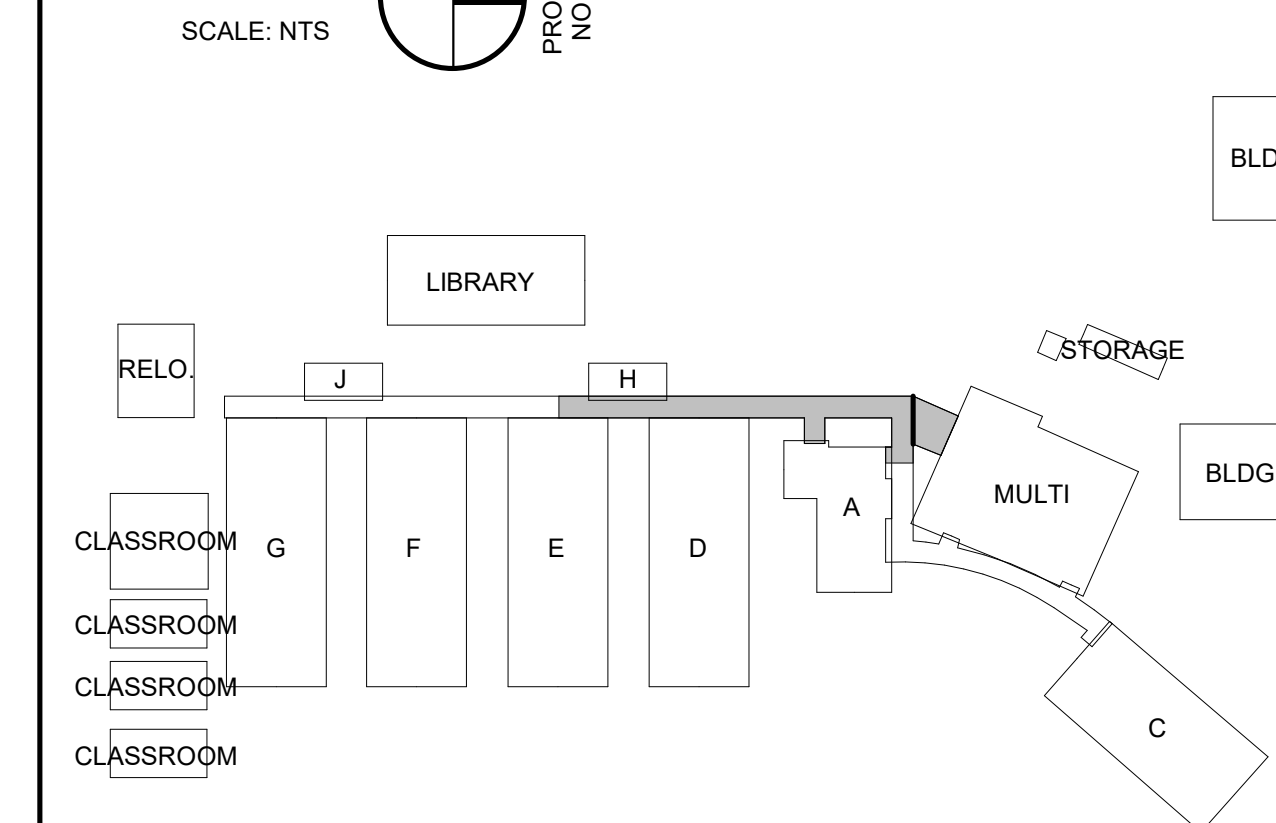
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**



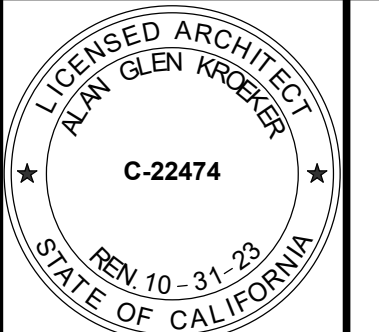
WALKWAY ROOF PLAN - Callout 3 1/4" = 1'-0" 3

**BID 108**



802 EAST COTA STREET, SUITE A  
 SANTA BARBARA, CA 93103  
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ARCHITECT STAMP CONSULTANT STAMP



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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
 519 E Badillo St  
 Covina, CA 91723

**GROVECENTER ELEMENTARY SCHOOL**  
 775 N Lark Ellen Ave  
 West Covina, CA 91791

SHEET TITLE  
**(E) WALKWAY ROOF PLAN**

DRAWN BY: PI JOB NUMBER: 21296

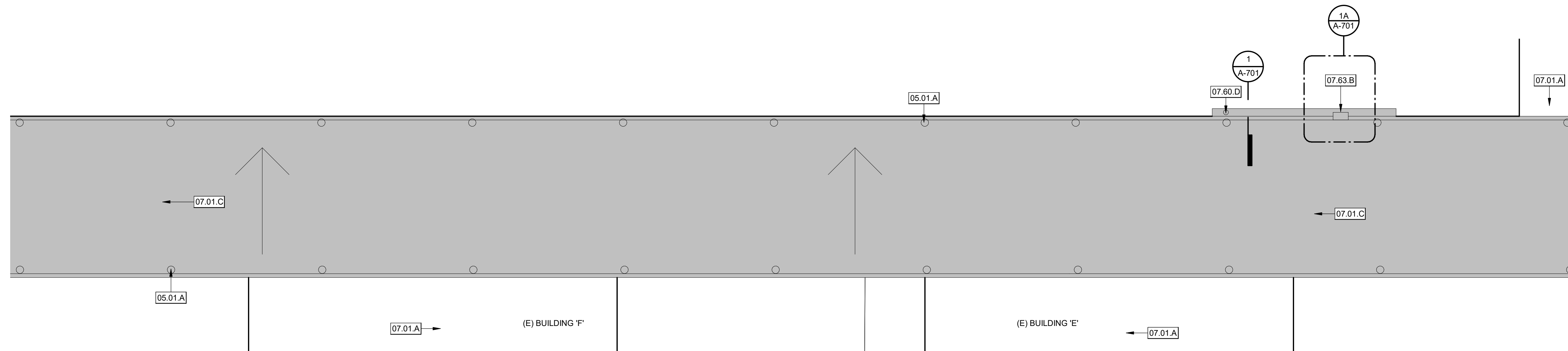
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**A2-221**

DATE: JANUARY 01, 2020

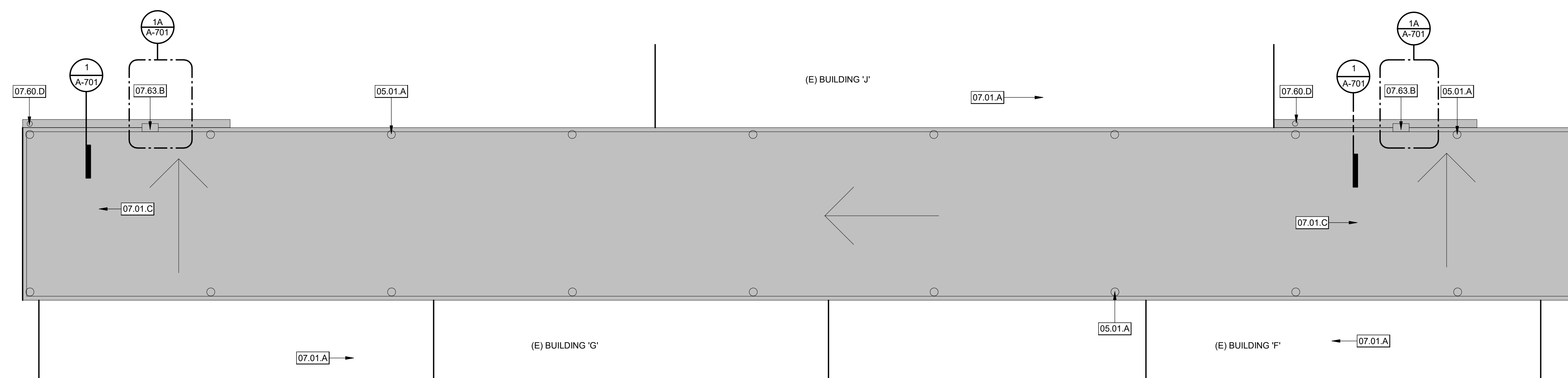
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WALKWAY ROOF PLAN - Callout 4 1/4" = 1'-0" 4



WALKWAY ROOF PLAN - Callout 5 1/4" = 1'-0" 5

**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.

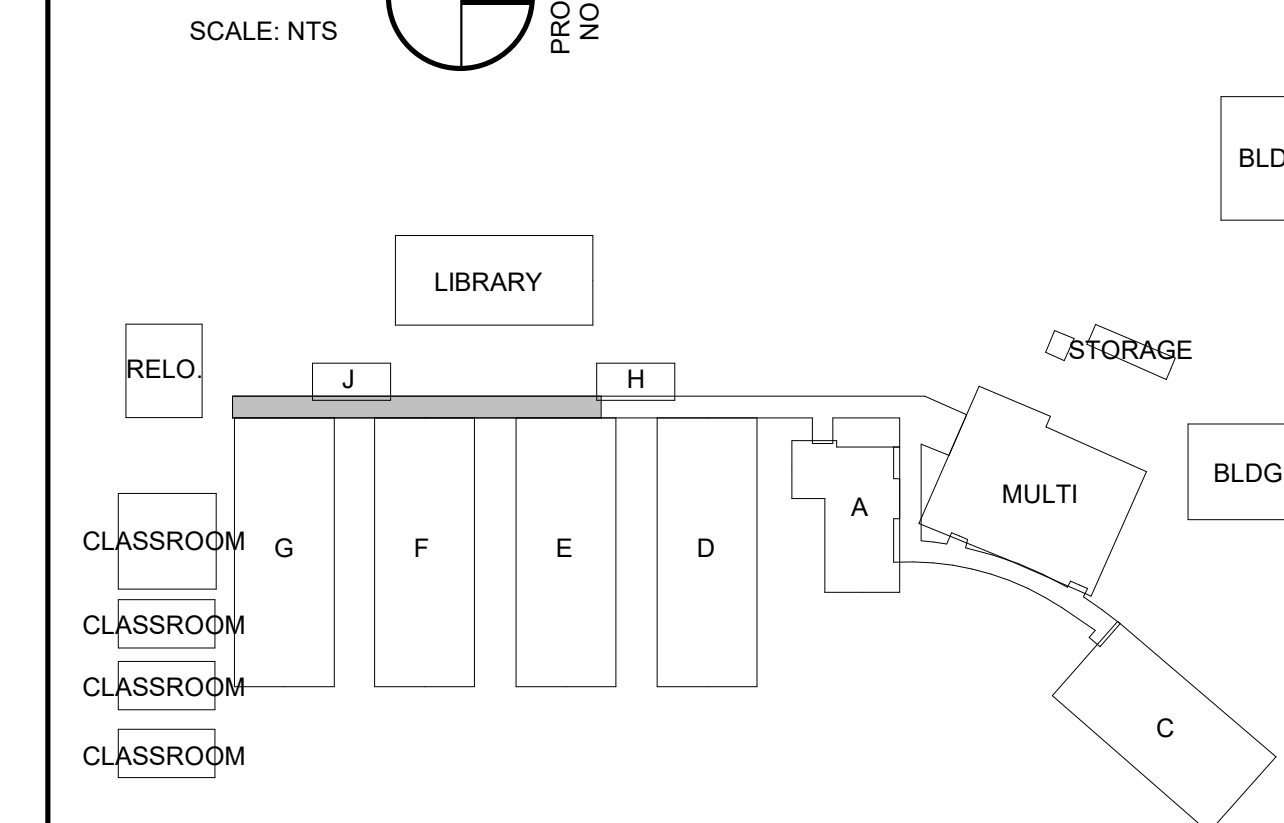
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**



**BID 108**

**196**  
ARCHITECTS

802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**GROVECENTER ELEMENTARY SCHOOL**  
775 N Lark Ellen Ave  
West Covina, CA 91791

SHEET TITLE  
**(E) WALKWAY ROOF PLAN**

DRAWN BY: PI JOB NUMBER: 21296

SHEET NO.

**A3-221**

DATE: JANUARY 01, 2020

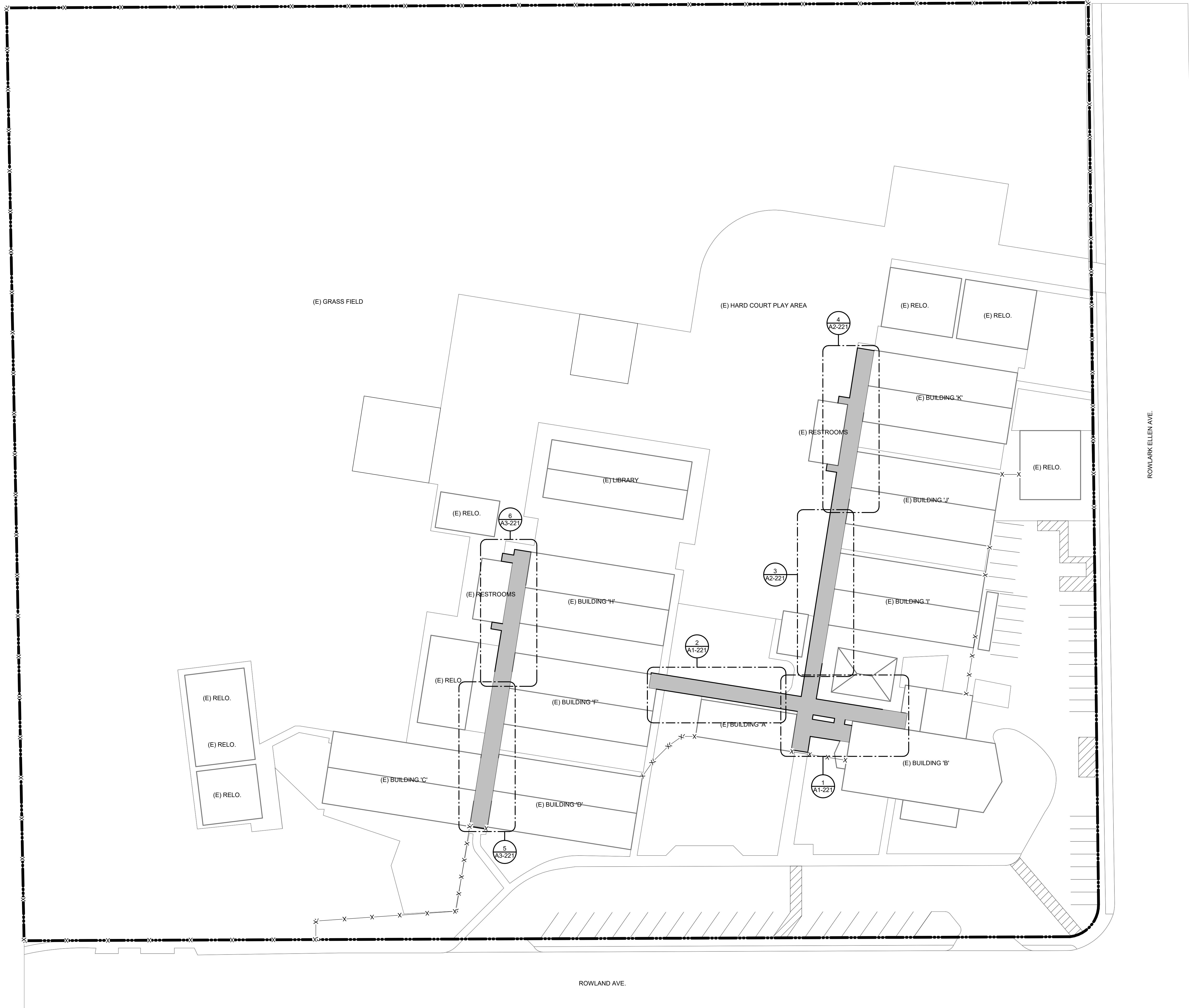
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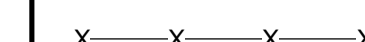
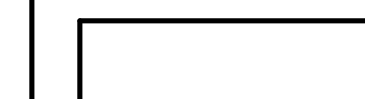



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SITE PLAN 1" = 30'-0" 1

**SITE PLAN LEGEND**

-  (E) PROPERTY LINE
-  (E) CHAIN LINK FENCE
-  BUILDING NOT A PART OF THIS SCOPE.
-  REMOVE (E) ROOFING MATERIAL AND EXISTING ROOF DECK AND PREPARE FOR INSTALLATION OF NEW DECK, FASCIA, AND PARAPET WALL AND SINGLE PLY ROOFING MEMBRANE. THIS INCLUDES BUT IS NOT LIMITED TO THE EXISTING BUILT UP ROOF, ROOFING ALONG THE CURBS AND PARAPET CAPS.

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
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ARCHITECT STAMP CONSULTANT STAMP



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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**ROWLAND ELEMENTARY SCHOOL**  
1355 E Rowland Ave  
West Covina, CA 91790

SHEET TITLE

**SITE PLAN**

DRAWN BY: PI JOB NUMBER: 21296

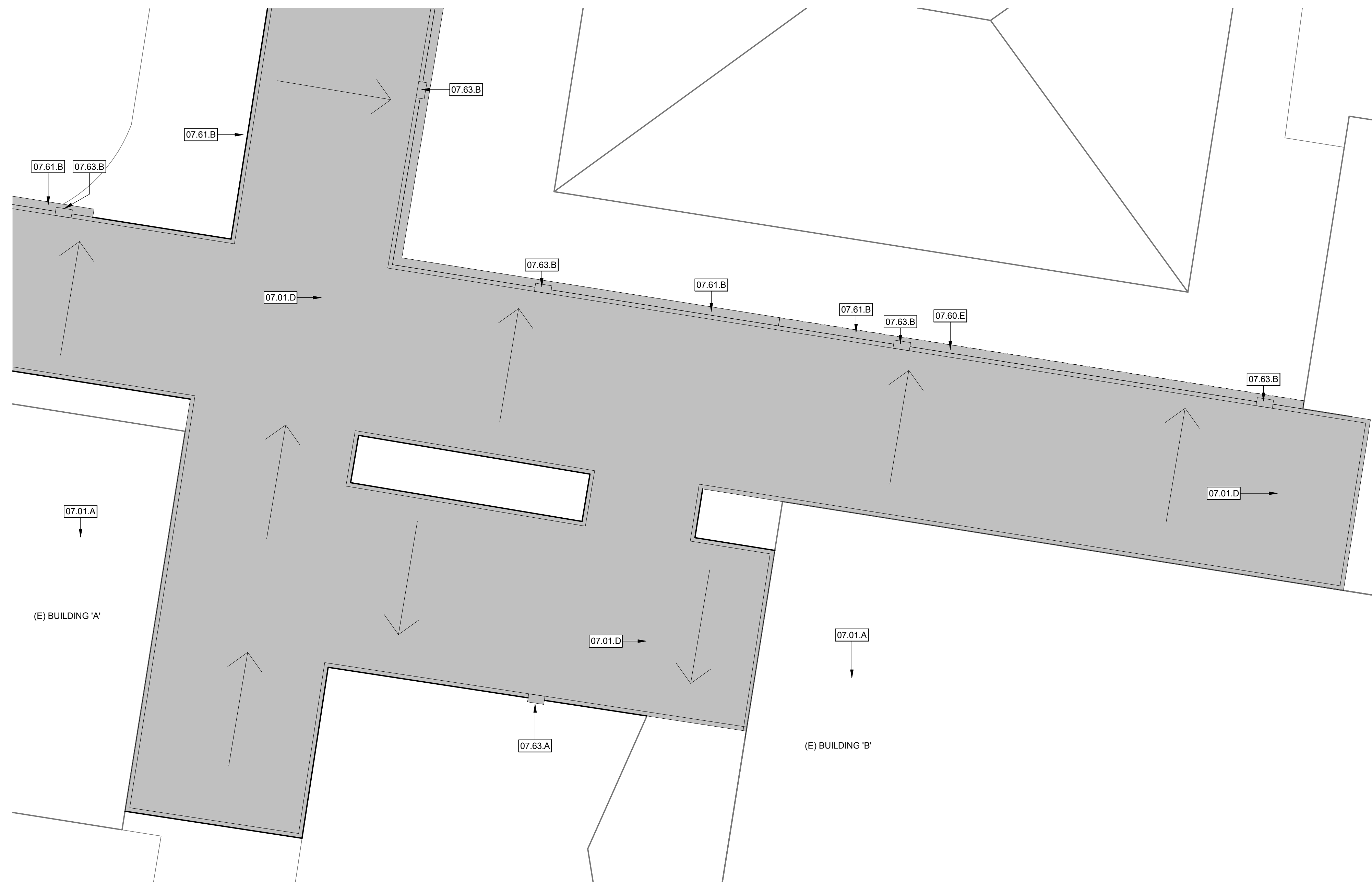
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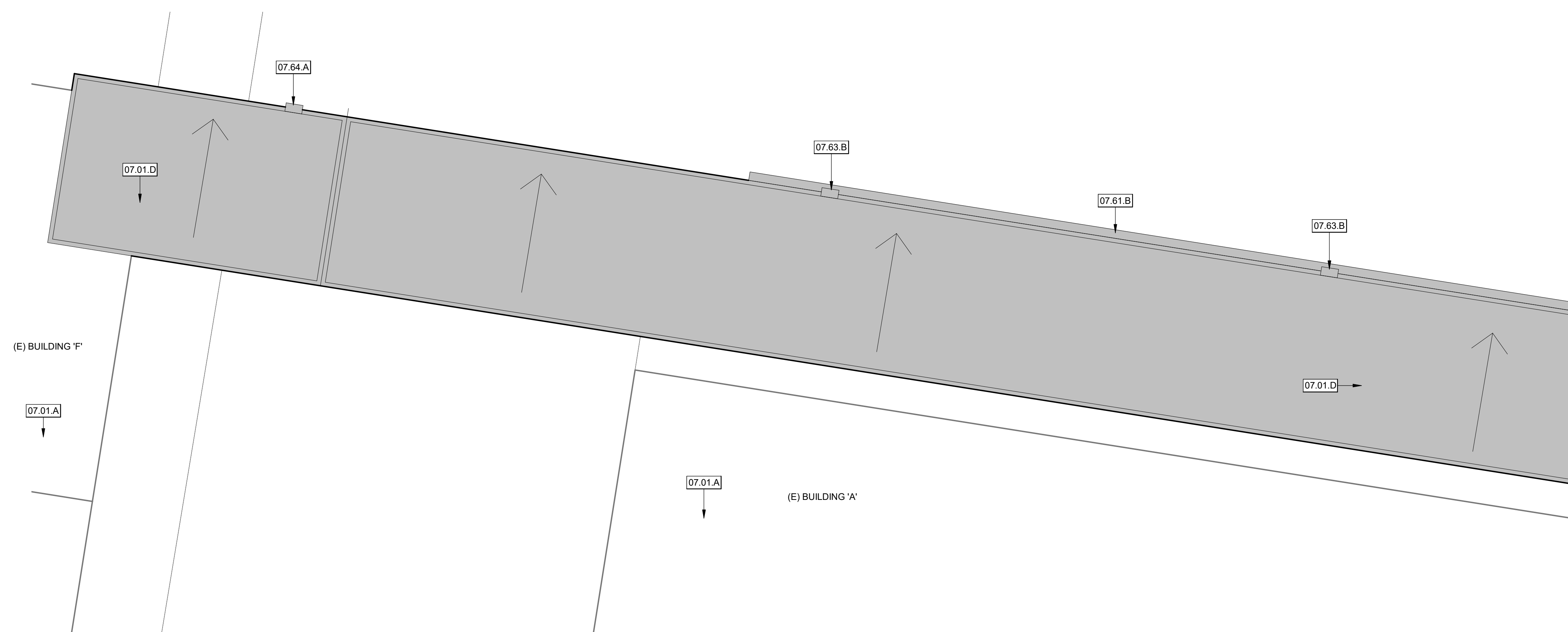
DATE: JANUARY 01, 2020

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(E) WALKWAY ROOF DEMOLITION PLAN - Callout 1 1/4" = 1'-0" 1



(E) WALKWAY ROOF DEMOLITION PLAN - Callout 2 1/4" = 1'-0" 2

**KEYNOTES**

- 07.01.A (E) ROOF TO REMAIN
- 07.01.D REMOVE (E) BUILT-UP ROOFING SYSTEM AND ROOF DECK. (E) STRUCTURE TO PROTECT IN PLACE. REMOVE ROOFING MATERIAL AND EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW DECK, FASCIA, AND PARAPET WALLS AND SINGLE PLY ROOFING.
- 07.60.E REMOVE (E) GUTTER AT ROOF EDGE. REMOVE (E) DOWNSPOUT
- 07.61.B PREP ROOF FOR (N) GUTTER & (N) DOWNSPOUT. REMOVE ALL NECESSARY (E) MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED
- 07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

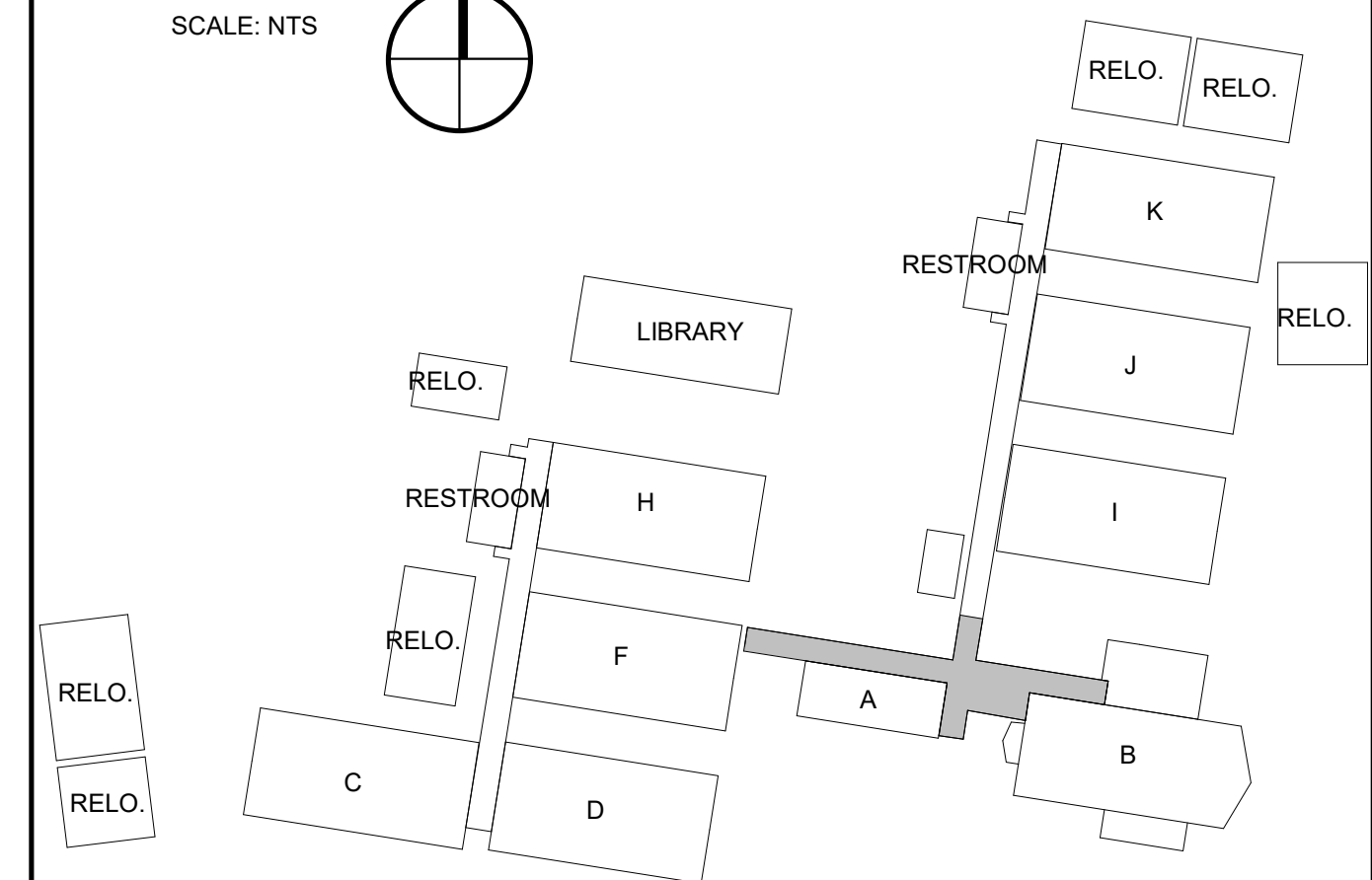
**DEMOLITION LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

**DEMOLITION NOTES**

1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK
7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**KEY PLAN**

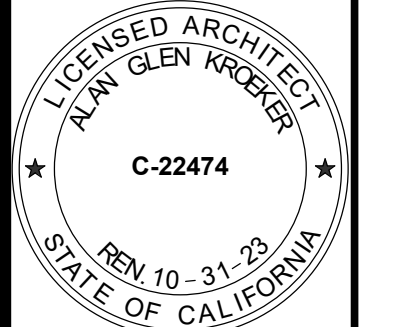


**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**ROWLAND ELEMENTARY SCHOOL**  
1355 E Rowland Ave  
West Covina, CA 91790

SHEET TITLE  
**(E) WALKWAY ROOF DEMOLITION PLAN**

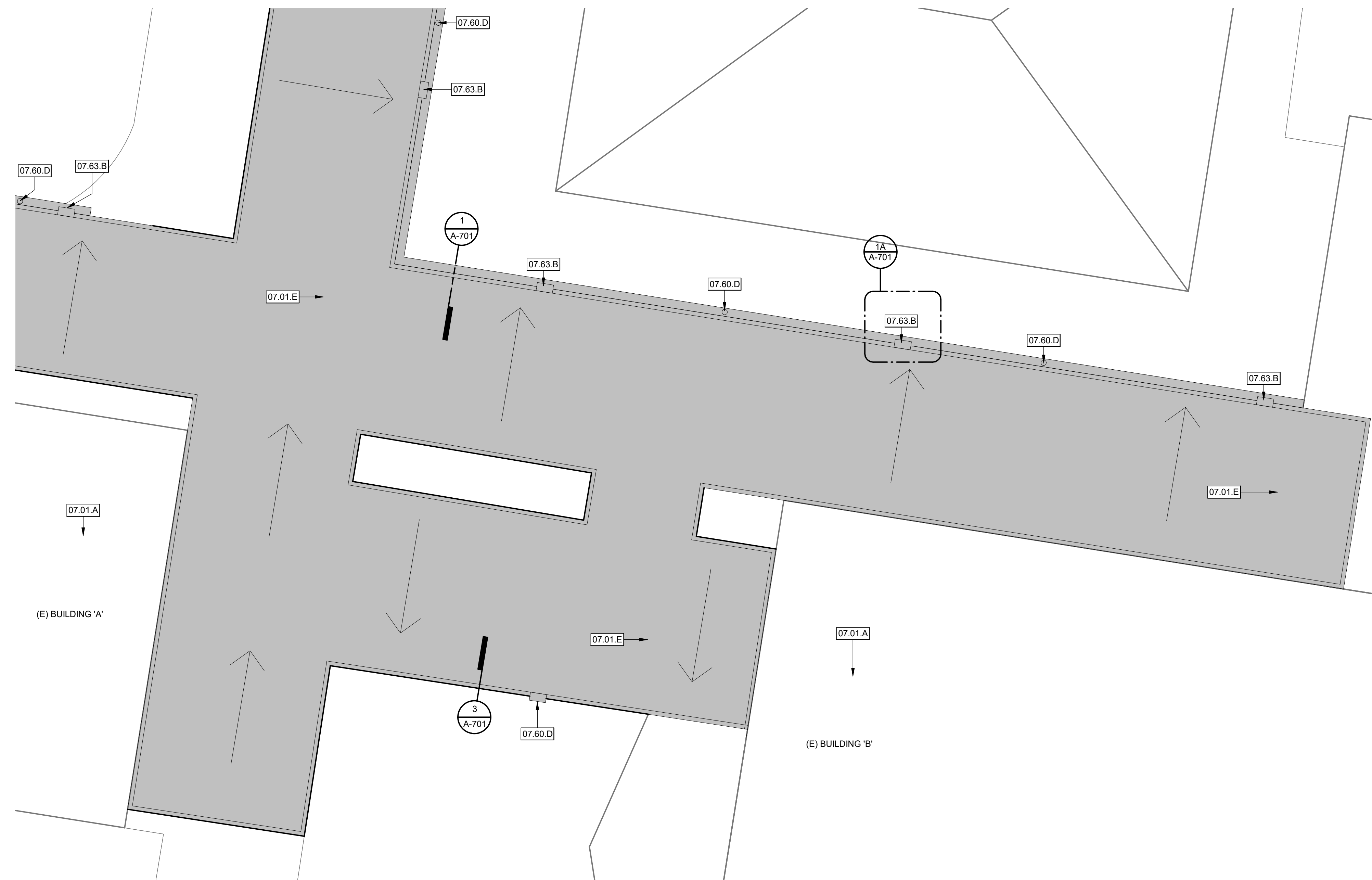
DRAWN BY: PI JOB NUMBER: 21296

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**A1-021**

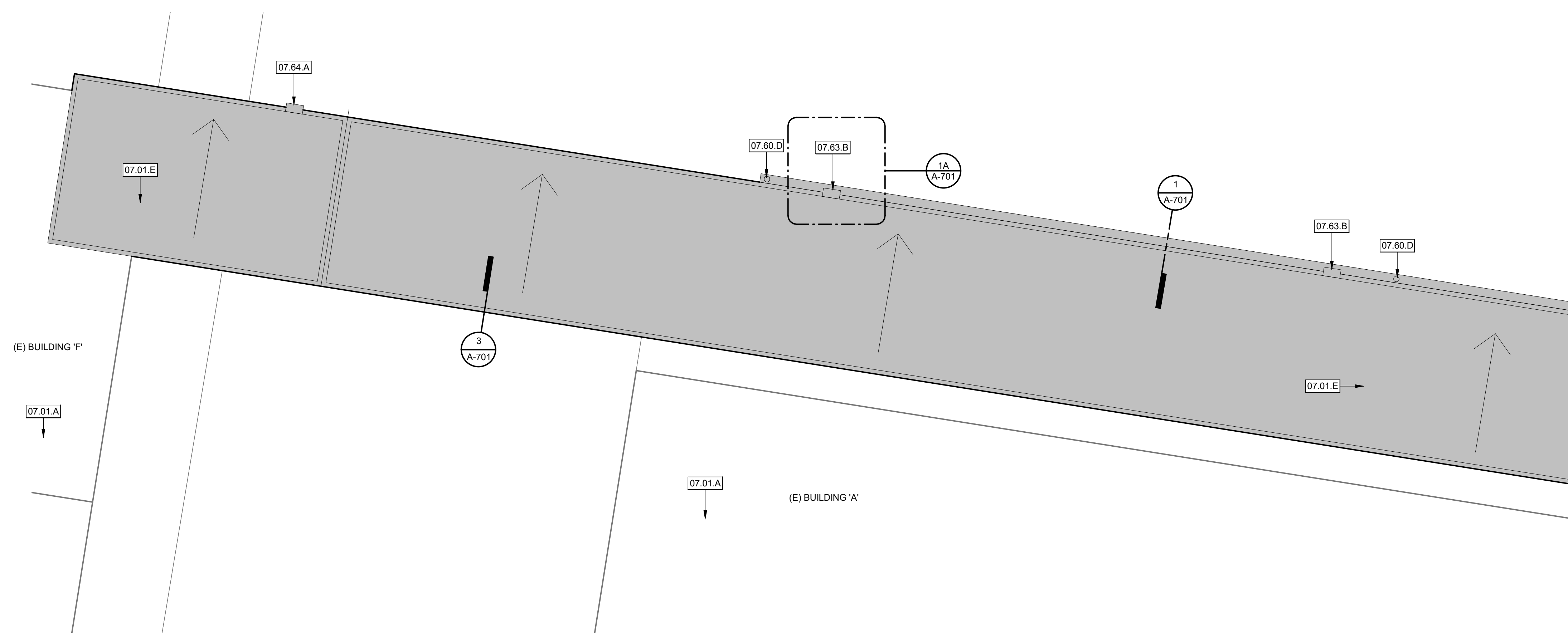
DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:25:11 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 7- ROWLAND ES\_pbrahm\G4KGM.rvt



(E) WALKWAY ROOF PLAN - Callout 1 1/4" = 1'-0" 1



(E) WALKWAY ROOF PLAN - Callout 2 1/4" = 1'-0" 2



**KEYNOTES**

- 07.01.A (E) ROOF TO REMAIN
- 07.01.E INSTALL AND PAINT (N) ROOF DECK, FASCIA, AND PARAPET WALLS TO MATCH (E). INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

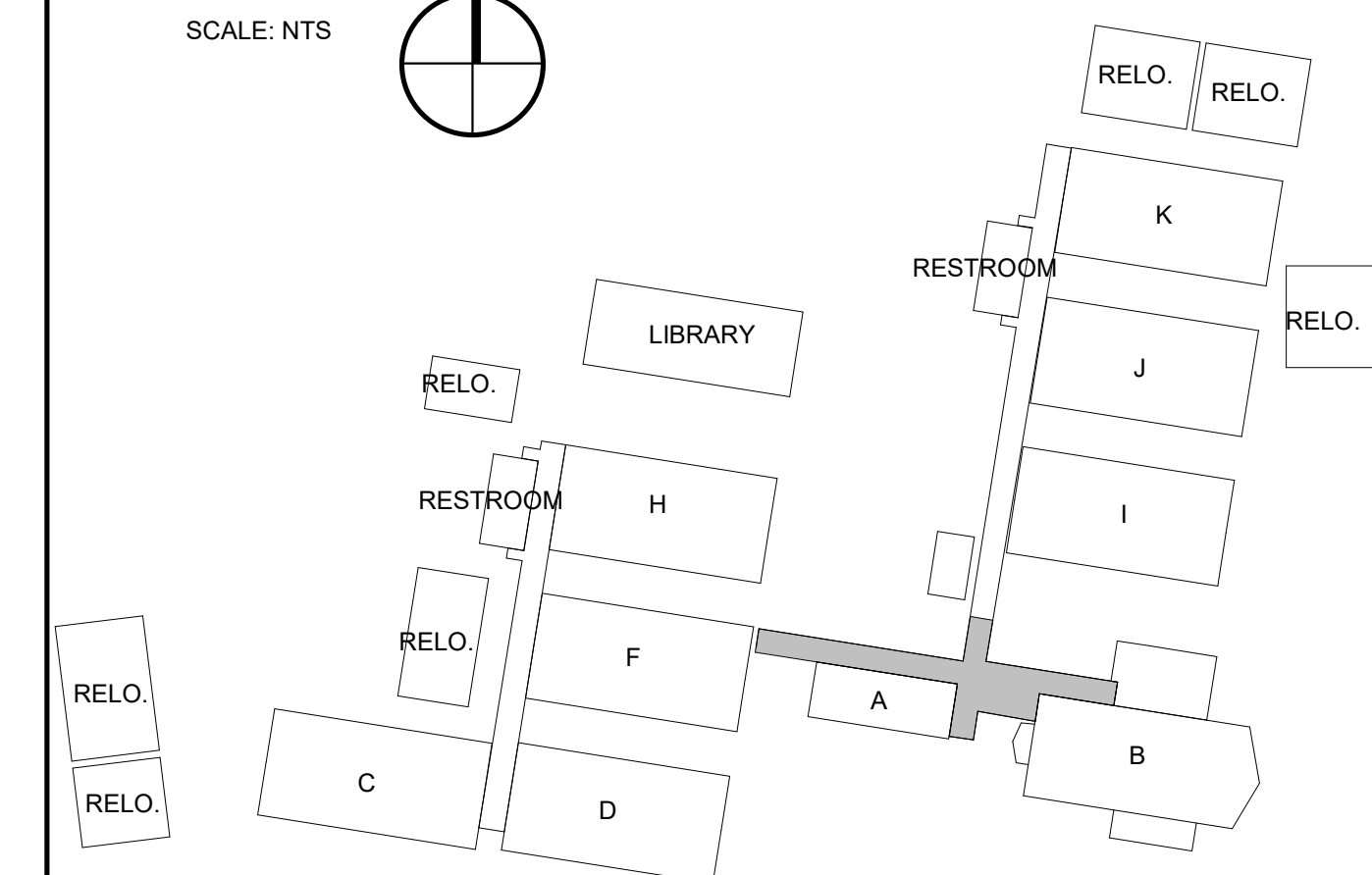
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**

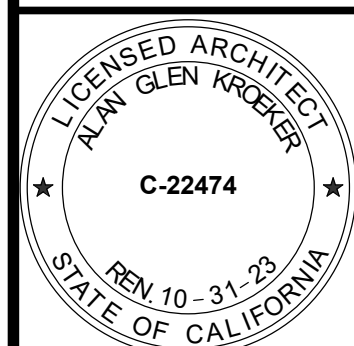


**BID 108**

**19.6**  
ARCHITECTS

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SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**ROWLAND ELEMENTARY SCHOOL**  
1355 E Rowland Ave  
West Covina, CA 91790

SHEET TITLE  
**(E) WALKWAY ROOF PLAN**

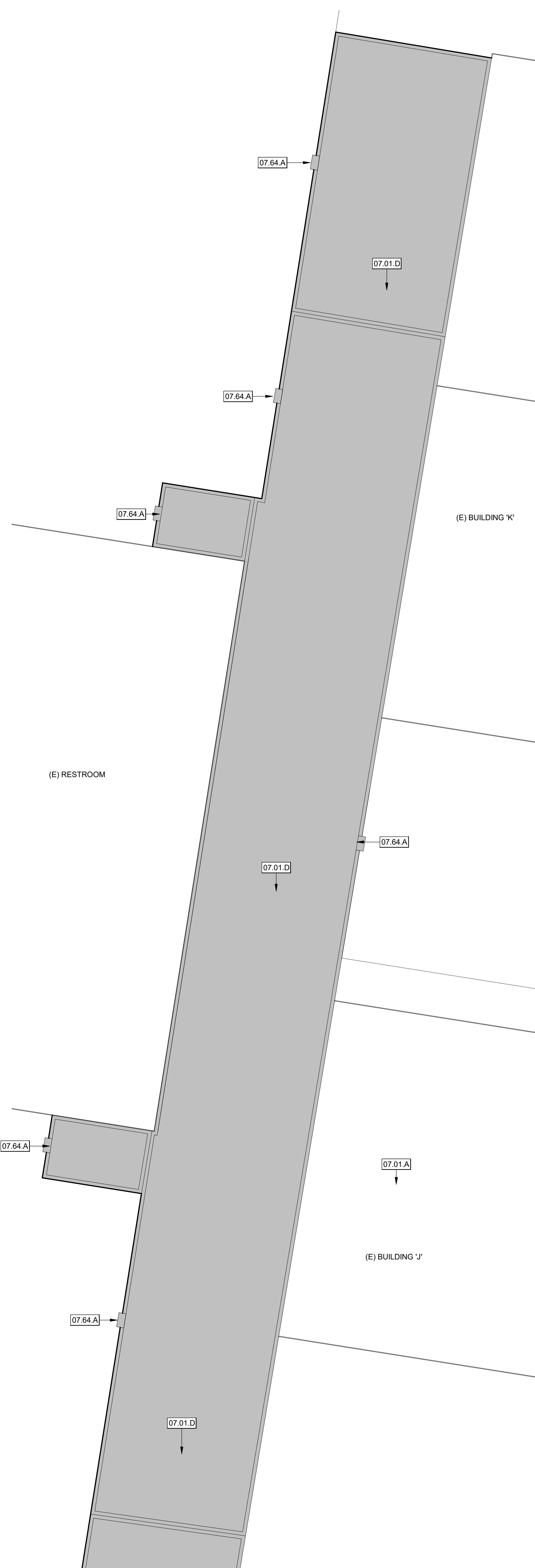
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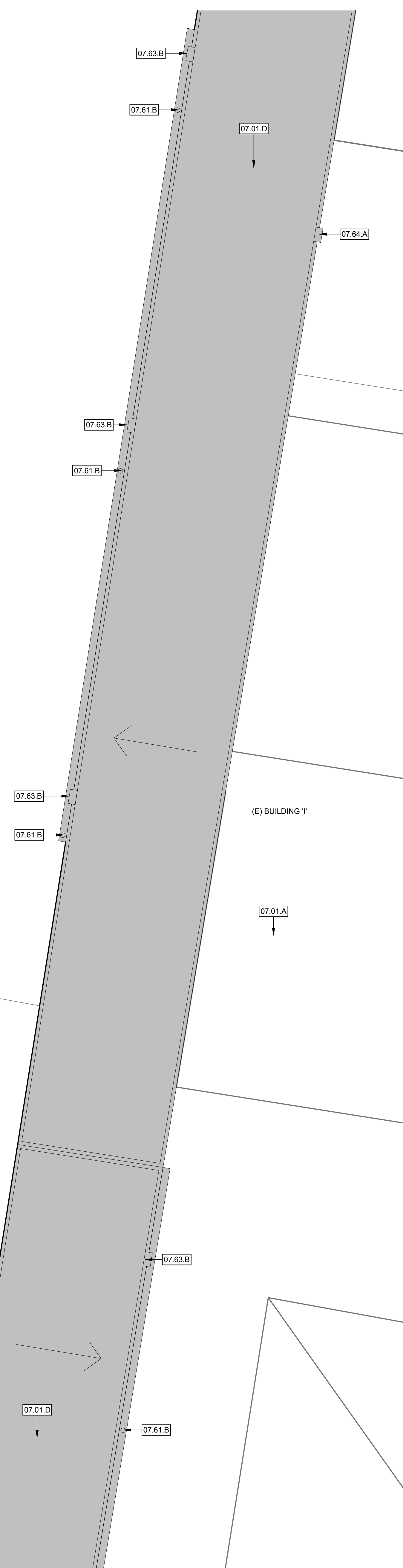
DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:25:11 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 7 - ROWLAND ES\_pbrahm\G4KGM.rvt



(E) WALKWAY ROOF DEMOLITION PLAN - Callout 4 1/4" = 1'-0" 4



(E) WALKWAY ROOF DEMOLITION PLAN - Callout 3 1/4" = 1'-0" 3

**KEYNOTES**

- 07.01.A (E) ROOF TO REMAIN
- 07.01.D REMOVE (E) BUILT-UP ROOFING SYSTEM AND ROOF DECK. (E) STRUCTURE TO PROTECT IN PLACE. REMOVE ROOFING MATERIAL AND EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW DECK, FASCIA, AND PARAPET WALLS AND SINGLE PLY ROOFING.
- 07.61.B PREP ROOF FOR (N) GUTTER & (N) DOWNSPOUT. REMOVE ALL NECESSARY (E) MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED.
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLE BLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLE BLOCK.
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

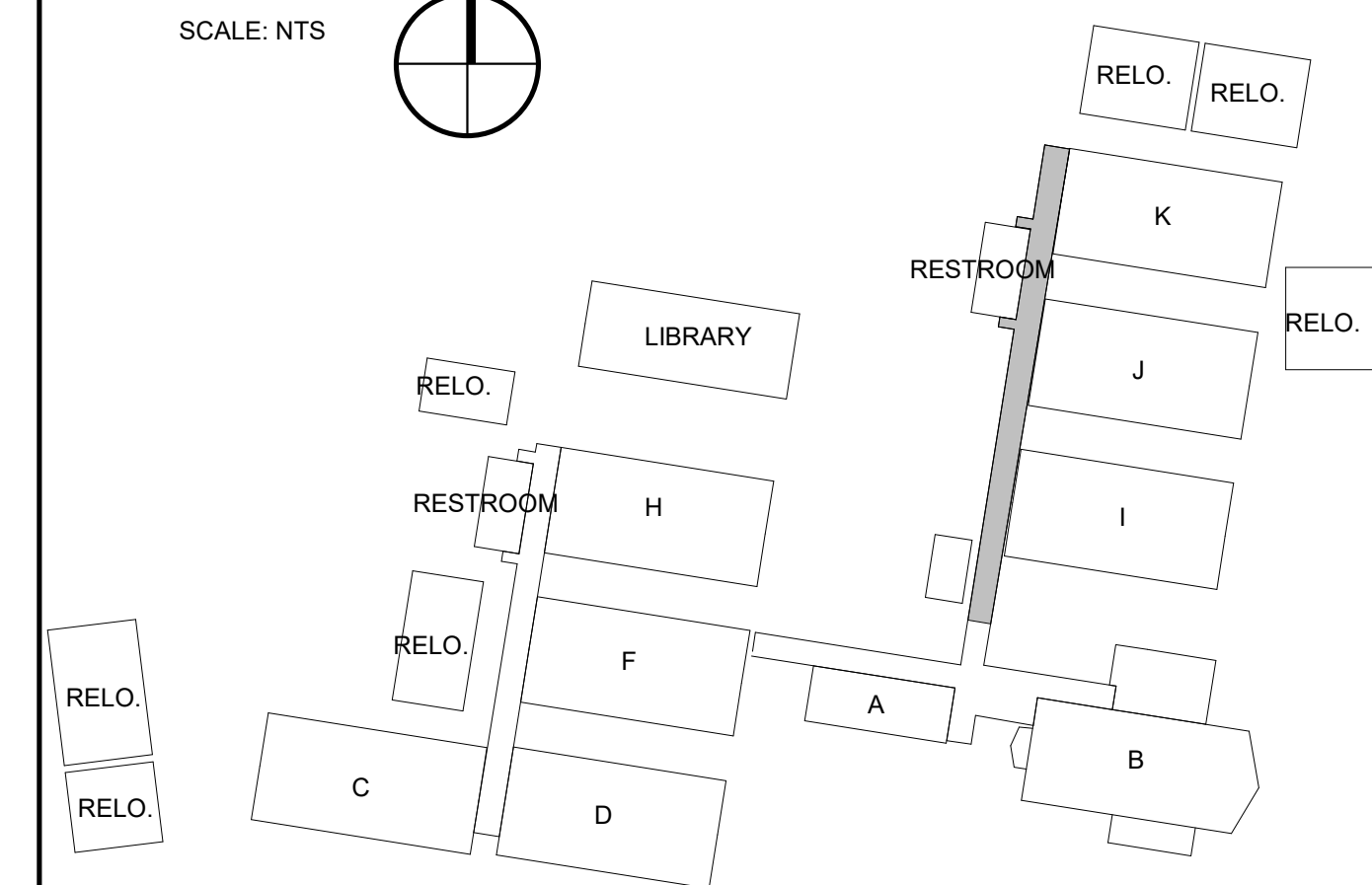
**DEMOLITION LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

**DEMOLITION NOTES**

1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**KEY PLAN**



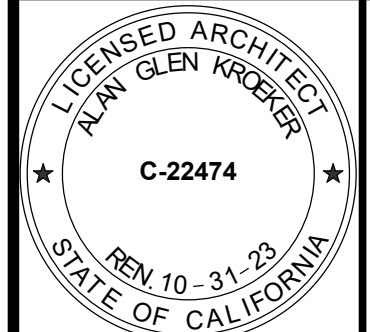
(E) WALKWAY ROOF DEMOLITION PLAN - Callout 3 1/4" = 1'-0" 3

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



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1355 E Rowland Ave  
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**(E) WALKWAY ROOF DEMOLITION PLAN**

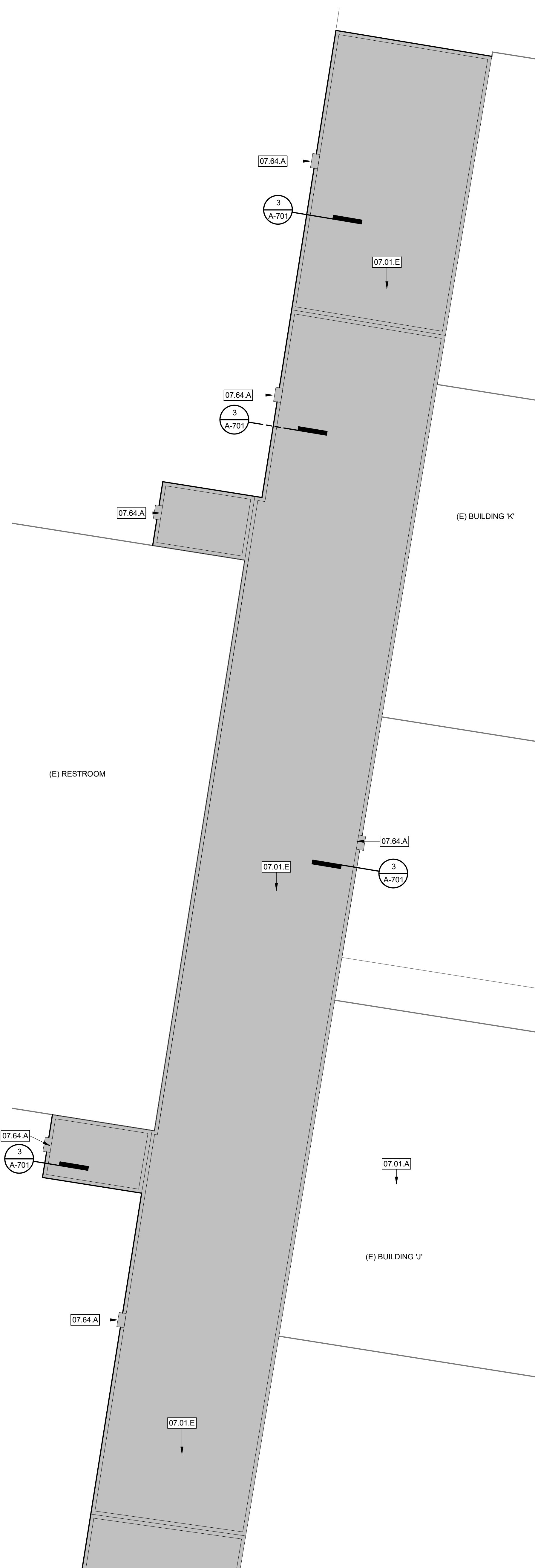
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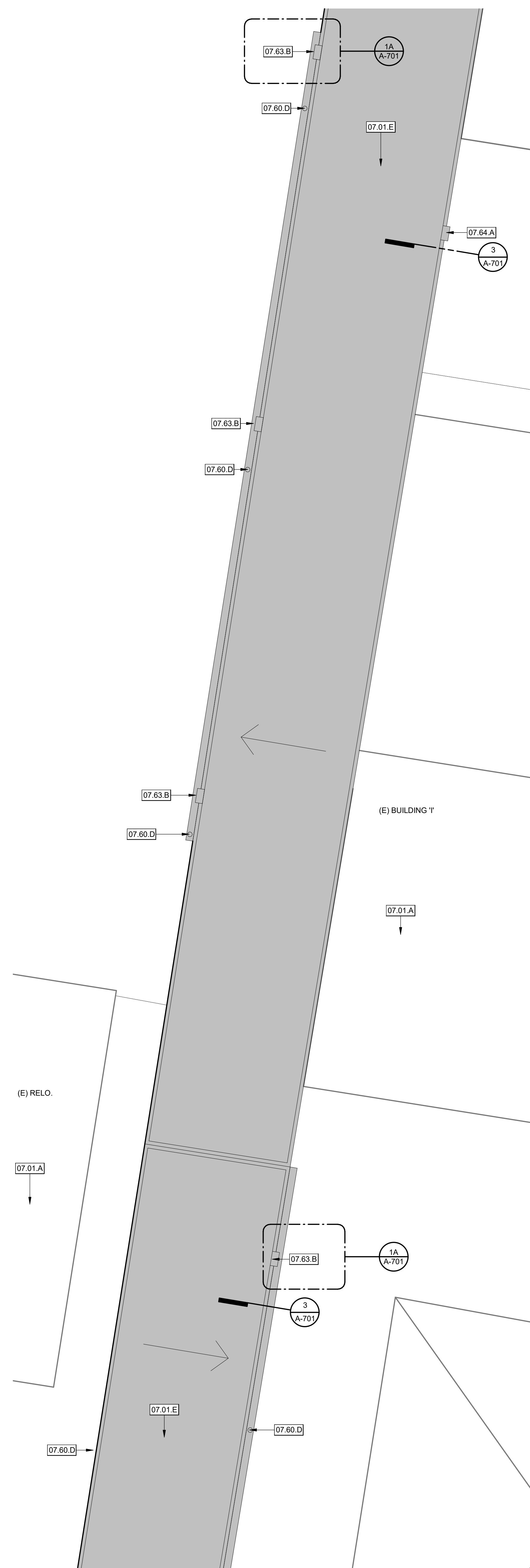
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(E) WALKWAY ROOF PLAN - Callout 4 1/4" = 1'-0" 4



(E) WALKWAY ROOF PLAN - Callout 3 1/4" = 1'-0" 3



**KEYNOTES**

- 07.01.A (E) ROOF TO REMAIN
- 07.01.E INSTALL AND PAINT (N) ROOF DECK, FASCIA, AND PARAPET WALLS TO MATCH (E). INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 07.63.B (E) SCUPPER TO BE REPLACED WITH (N) AT SAME LOCATION.
- 07.64.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. ADD (N) LEADERHEAD AND DOWNSPOUT ATTACHED TO THE NEAREST COLUMN.

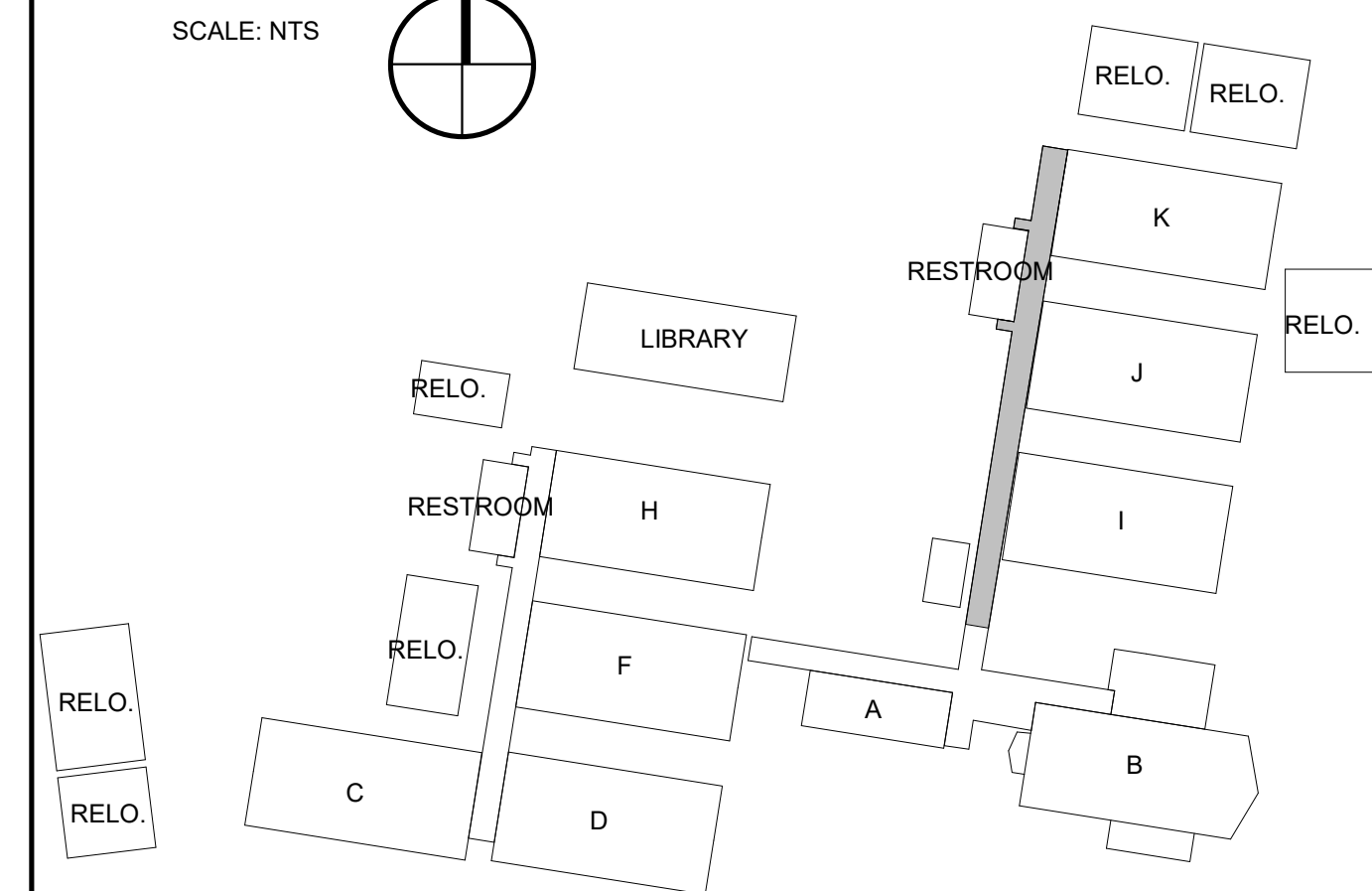
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**

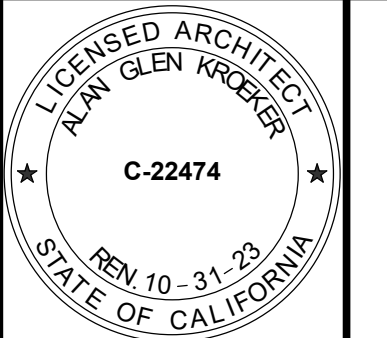


**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



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SHEET TITLE  
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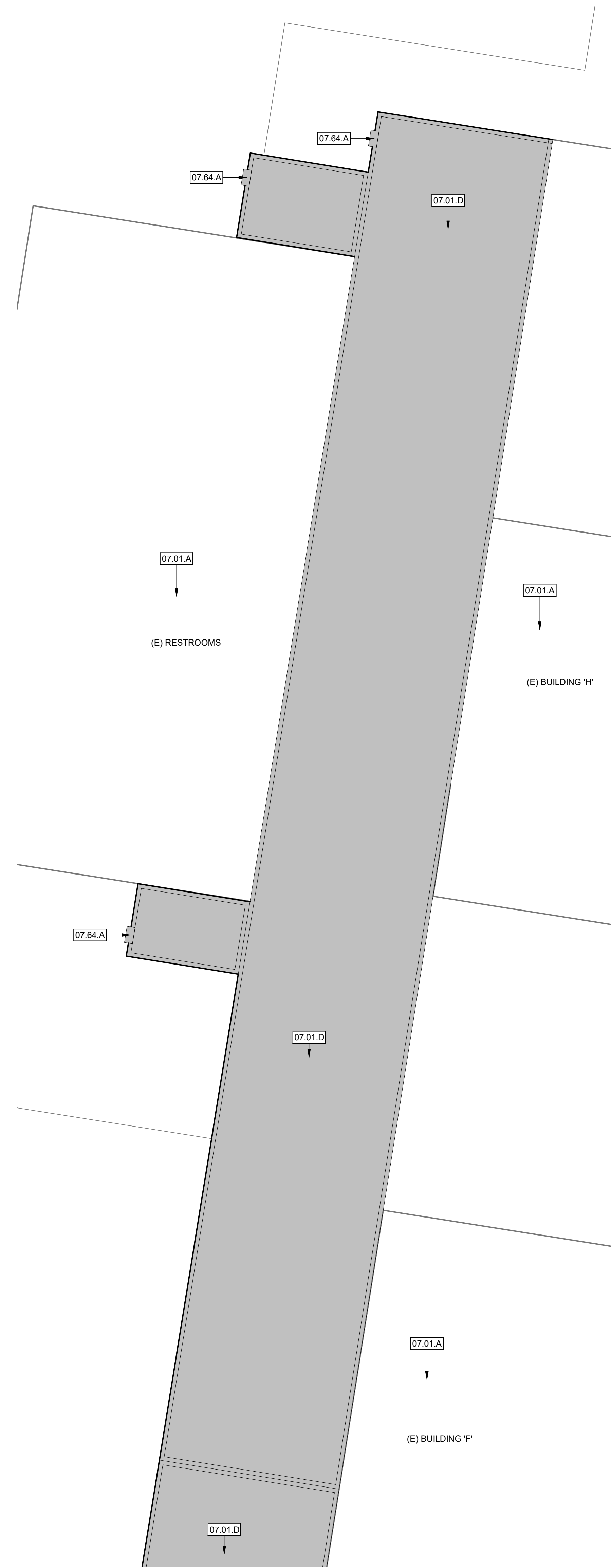
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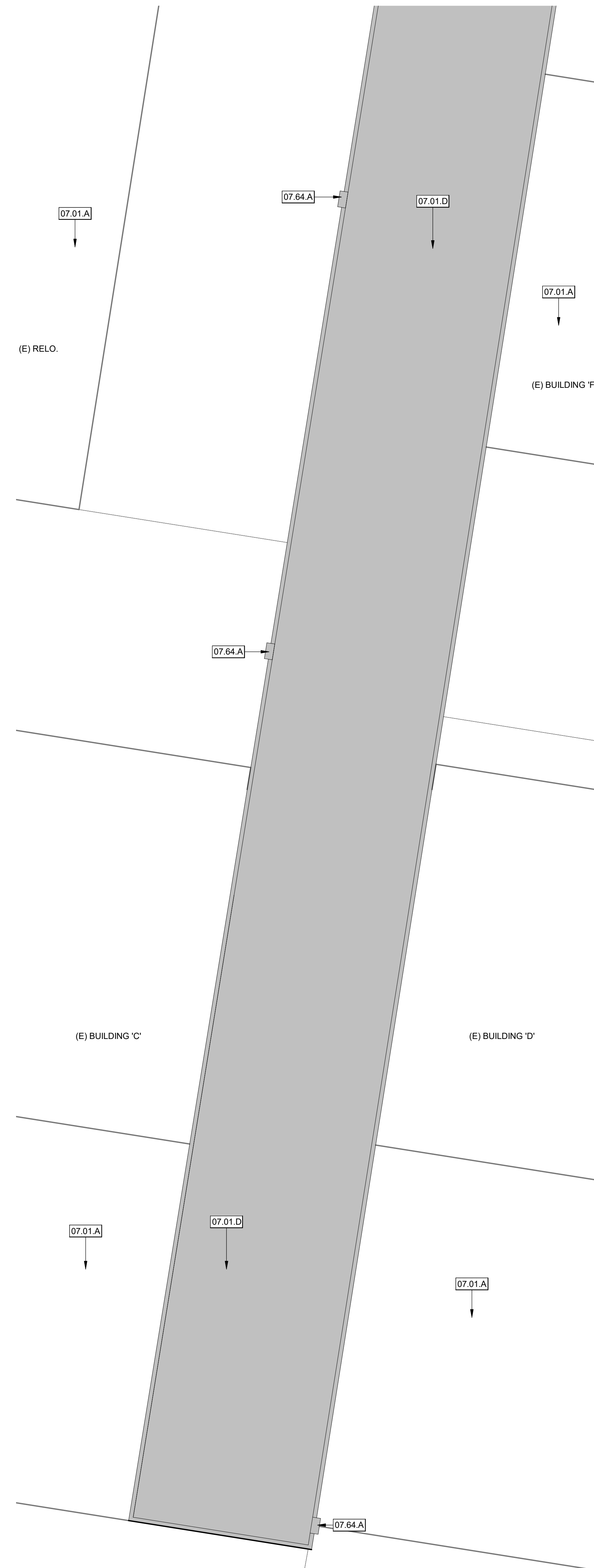
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(E) WALKWAY ROOF DEMOLITION PLAN - Callout 6 1/4" = 1'-0" 6



(E) WALKWAY ROOF DEMOLITION PLAN - Callout 5 1/4" = 1'-0" 5

**KEYNOTES**

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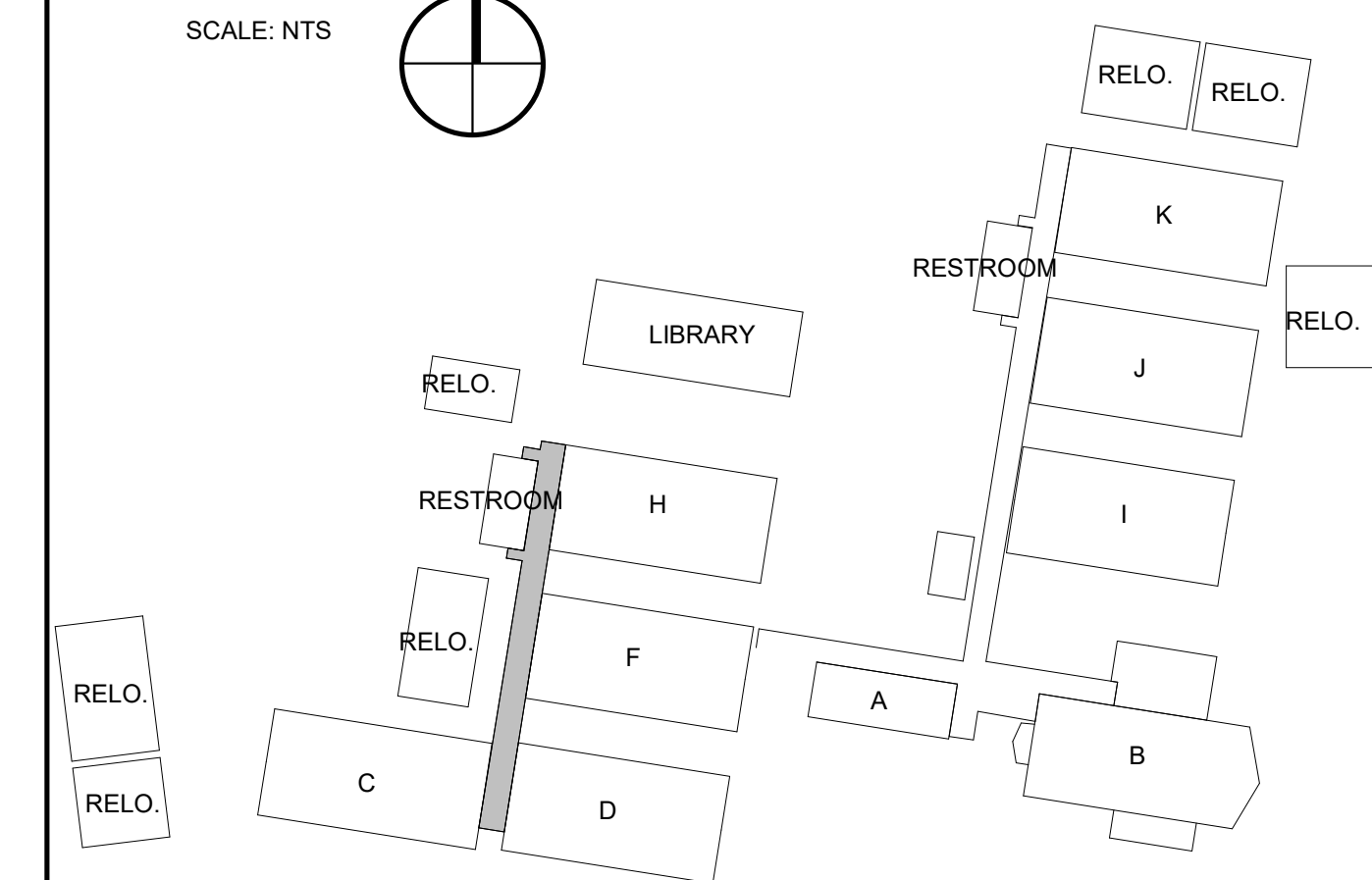
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**KEY PLAN**



**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



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SHEET TITLE  
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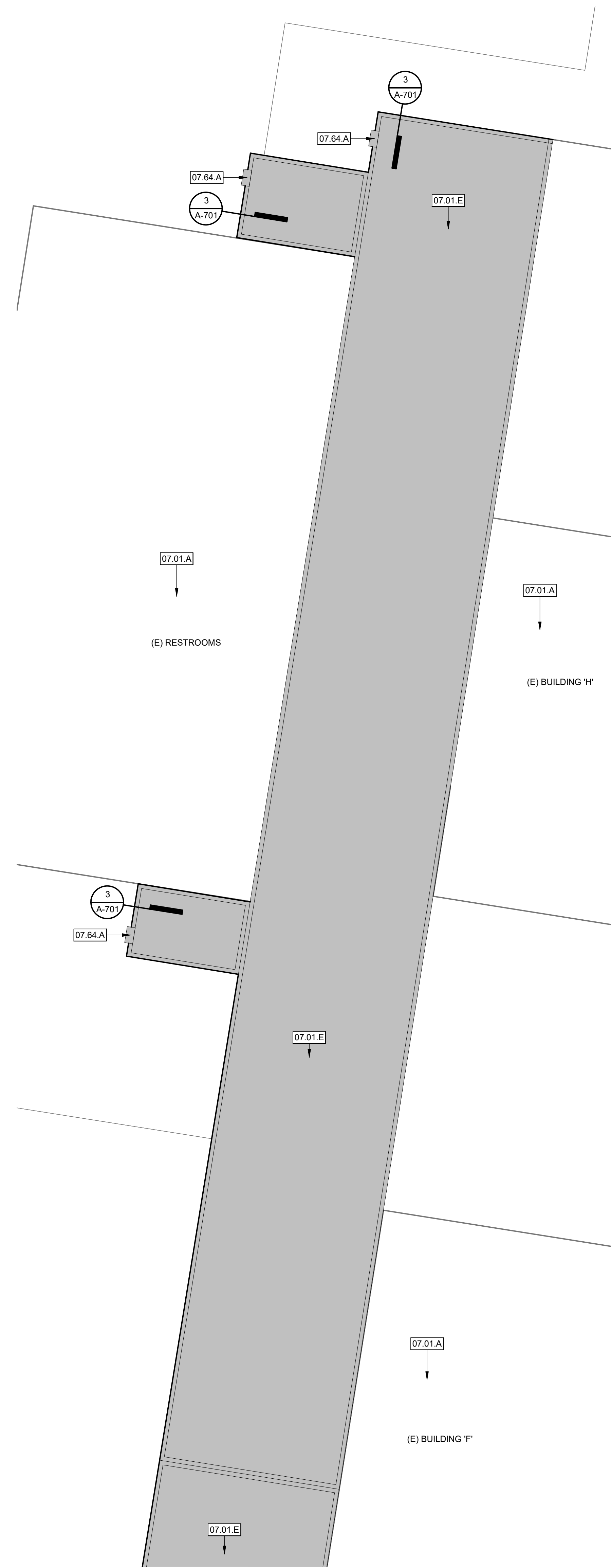
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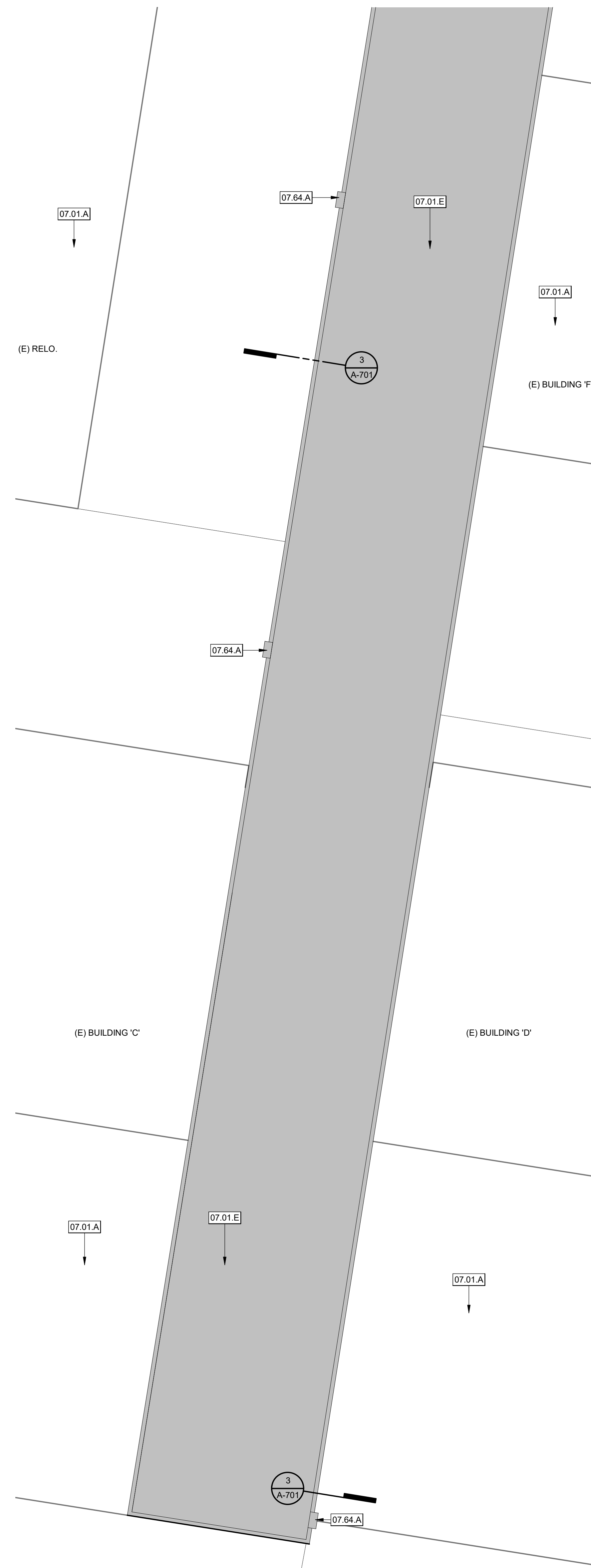
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(E) WALKWAY ROOF PLAN - Callout 6 1/4" = 1'-0" 6



(E) WALKWAY ROOF PLAN - Callout 5 1/4" = 1'-0" 5

**KEYNOTES**

- 07.01.A (E) ROOF TO REMAIN
- 07.01.E INSTALL AND PAINT (N) ROOF DECK, FASCIA, AND PARAPET WALLS TO MATCH (E). INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
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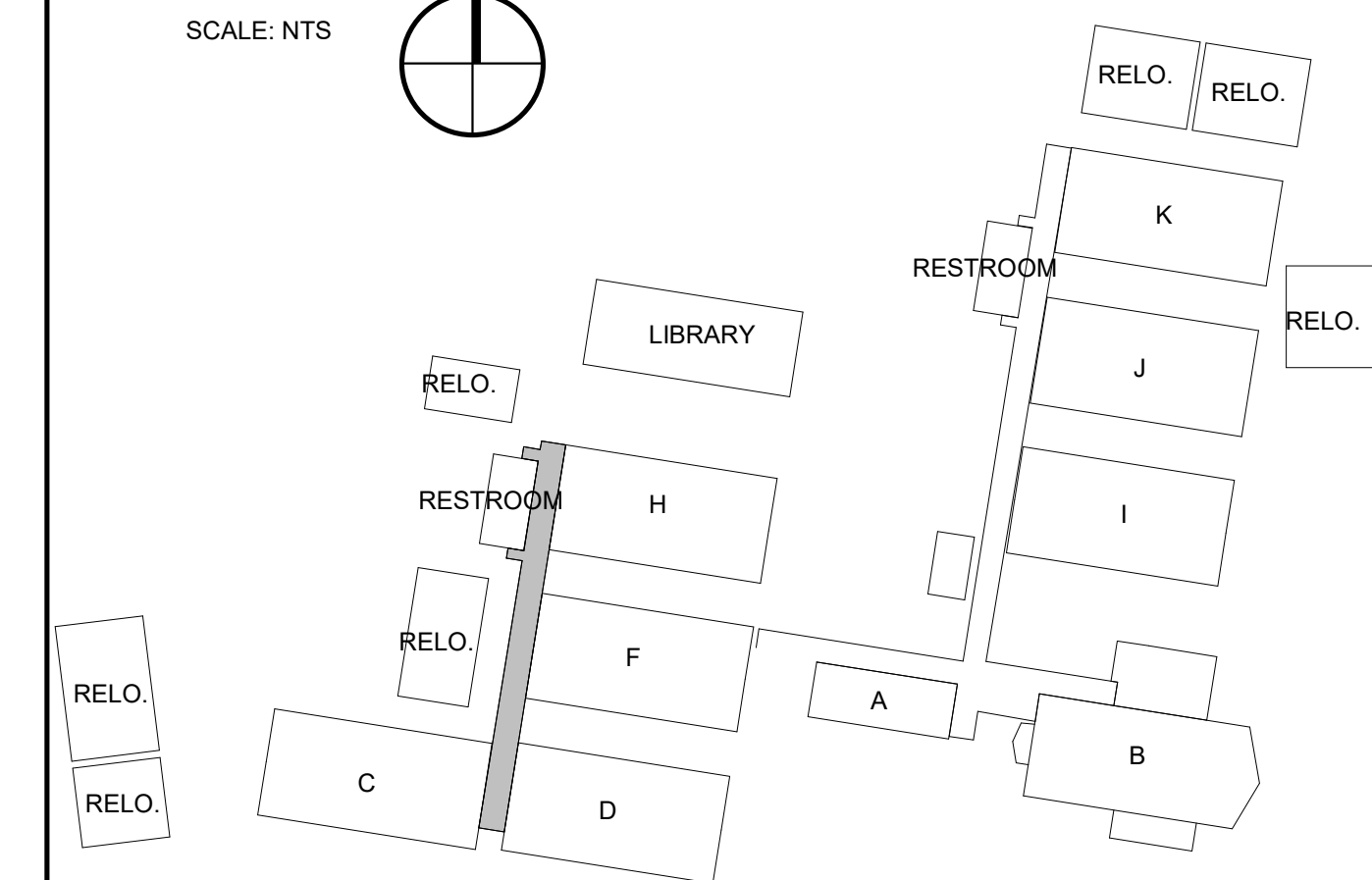
**ROOF PLAN GENERAL NOTES**

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**PLAN LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**

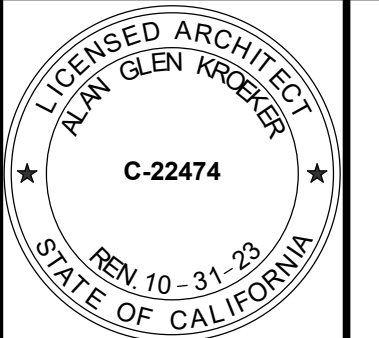


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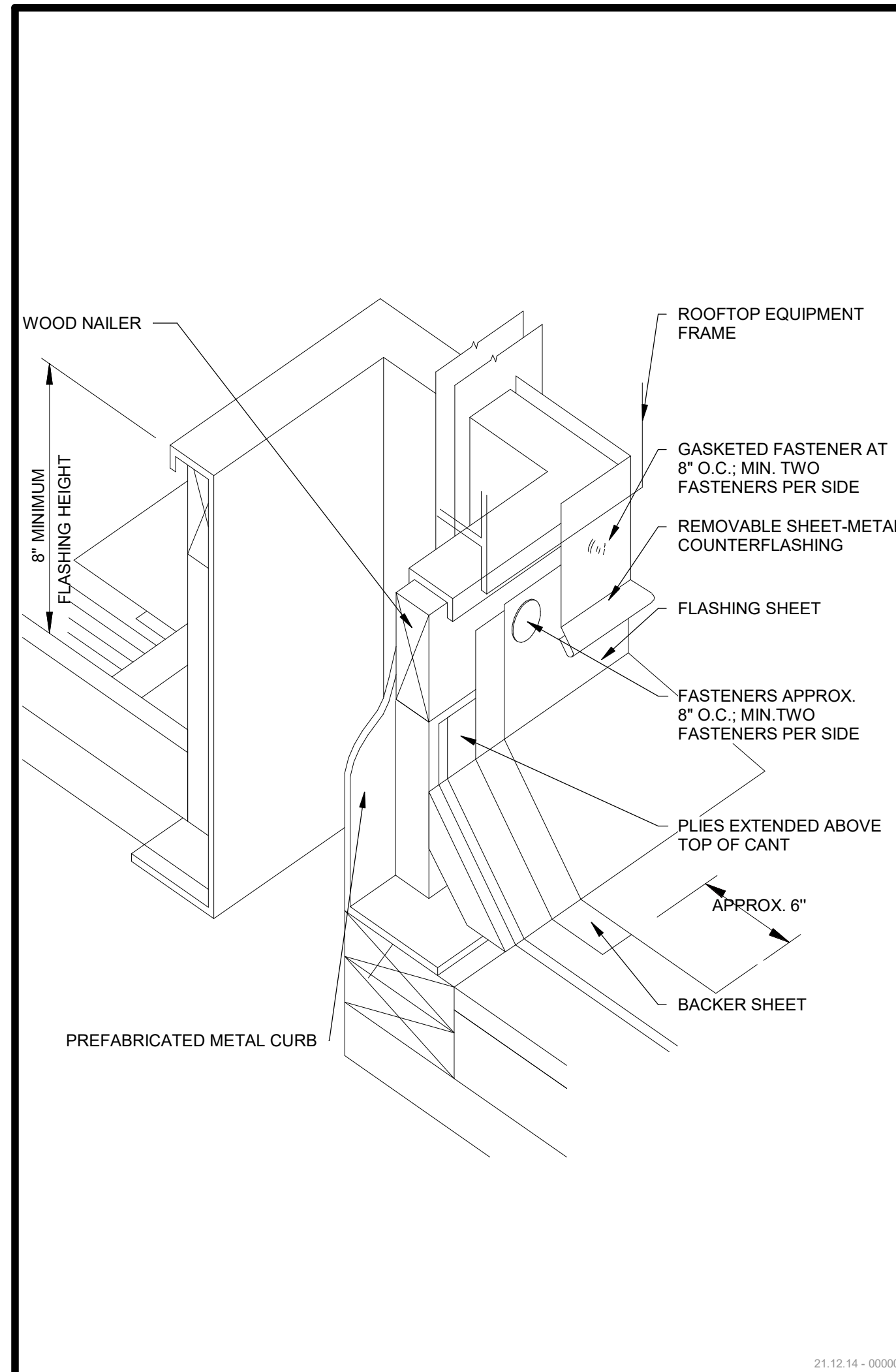
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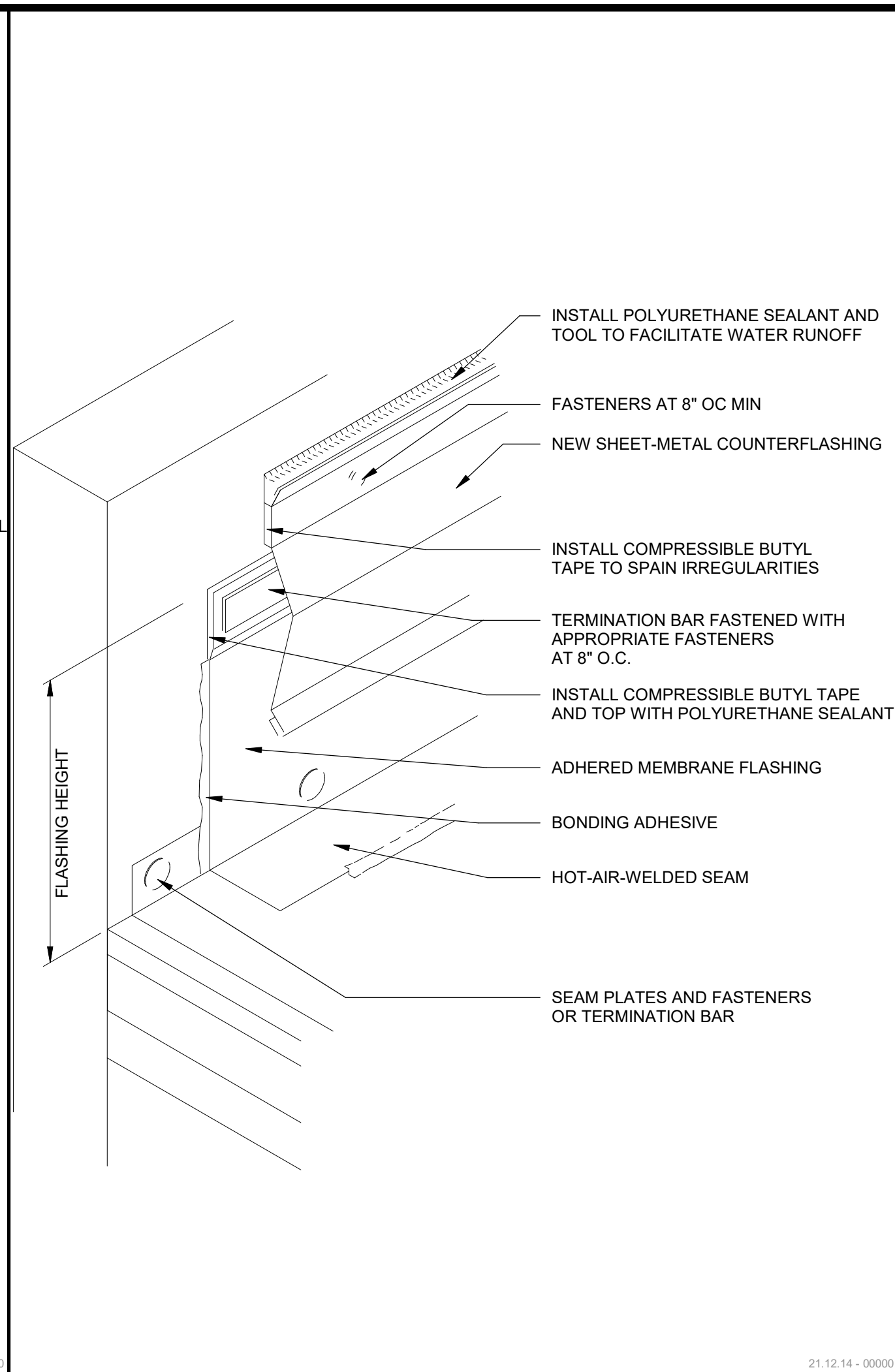


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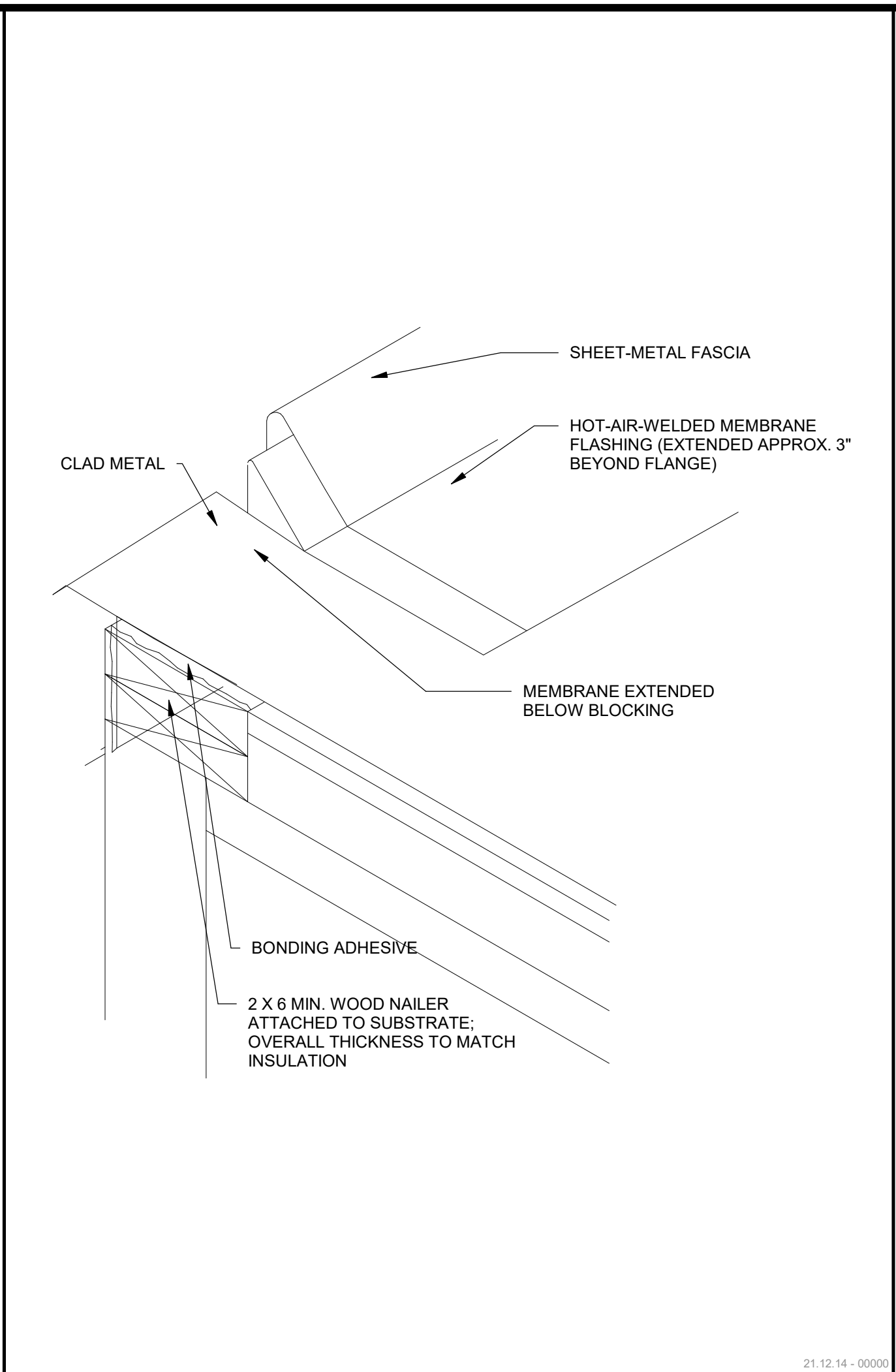
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N.T.S. 5



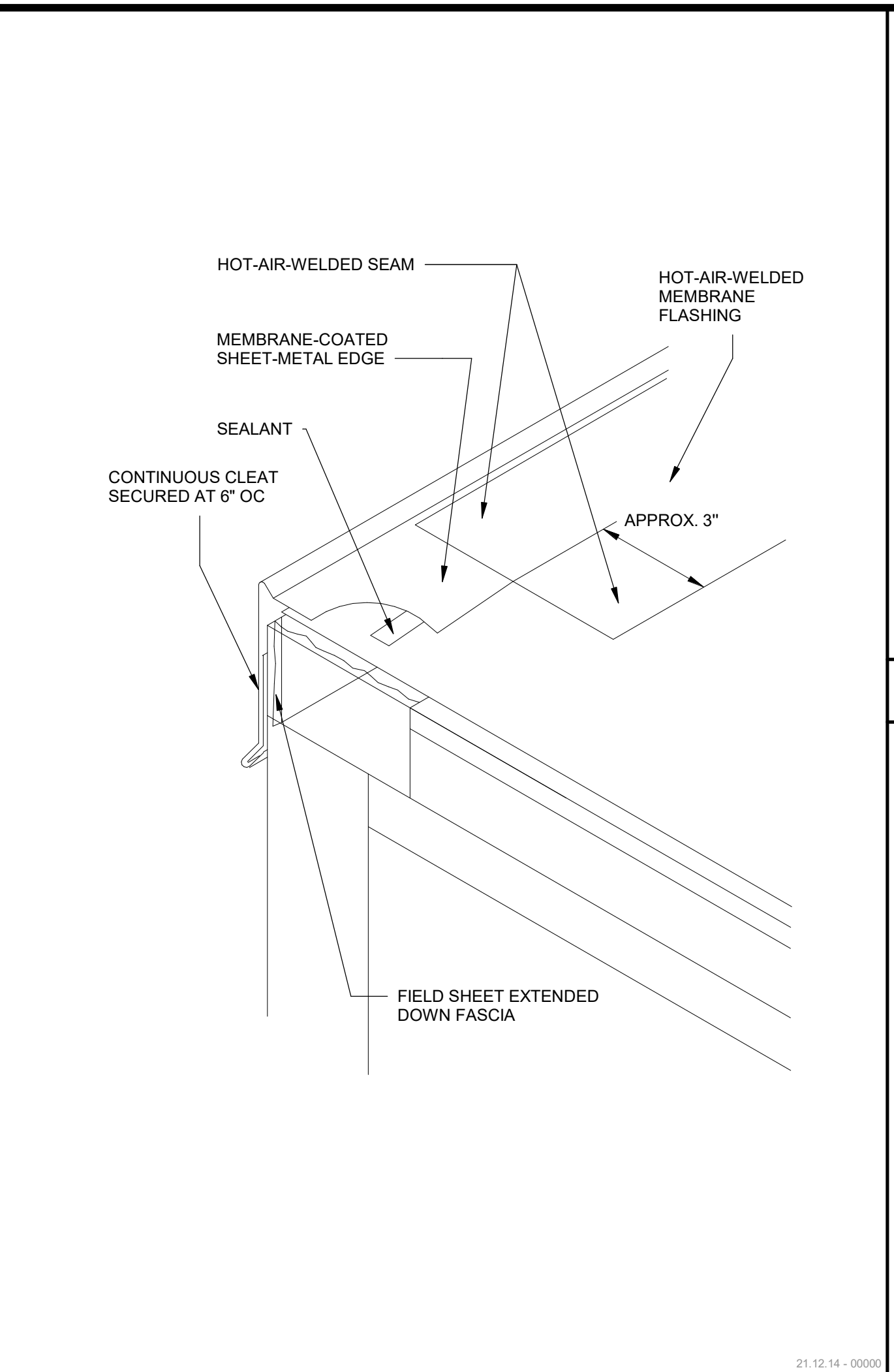
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N.T.S. 4



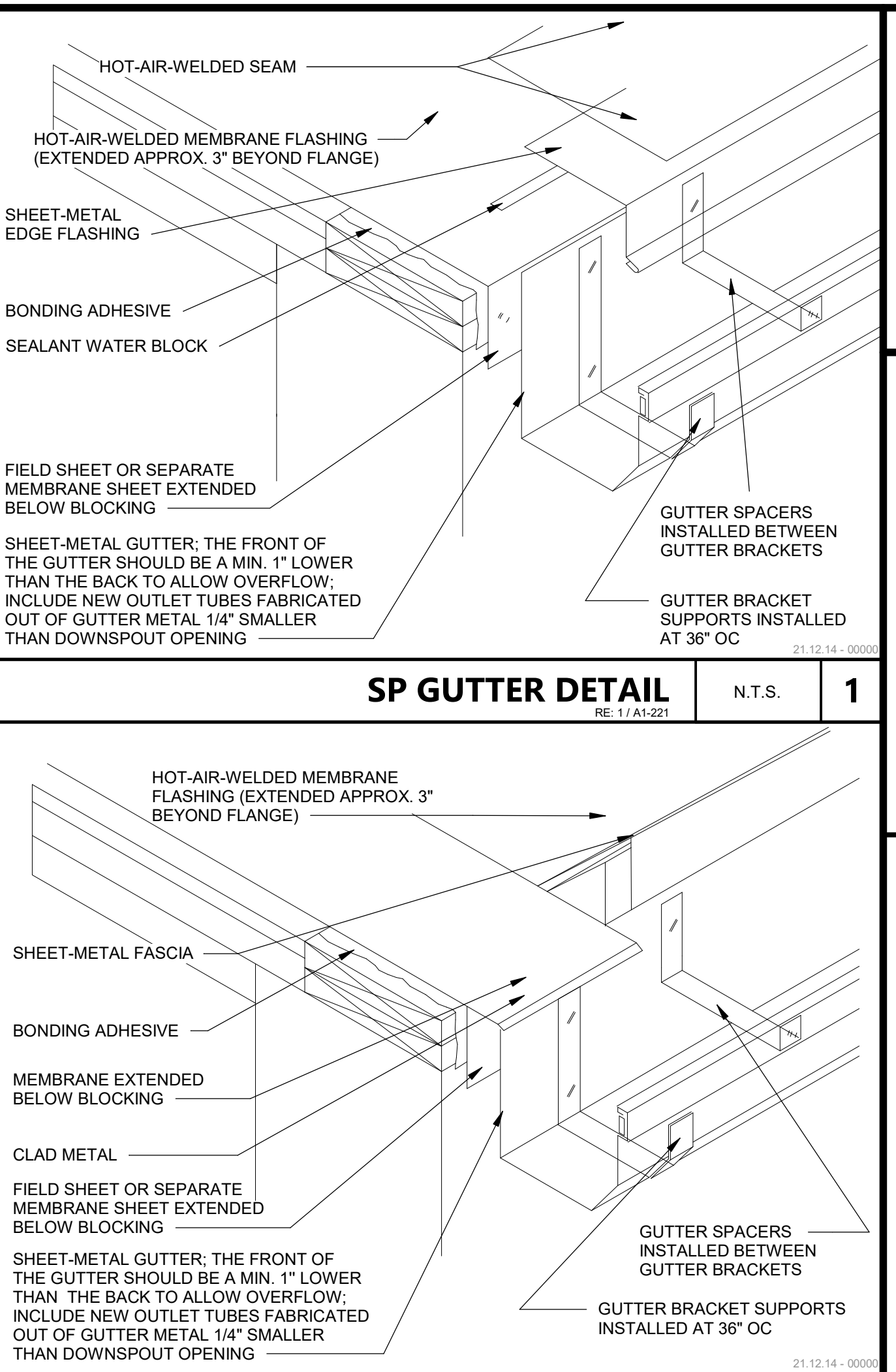
**SP RAISE EDGE WITH FLASHING**

N.T.S. 3



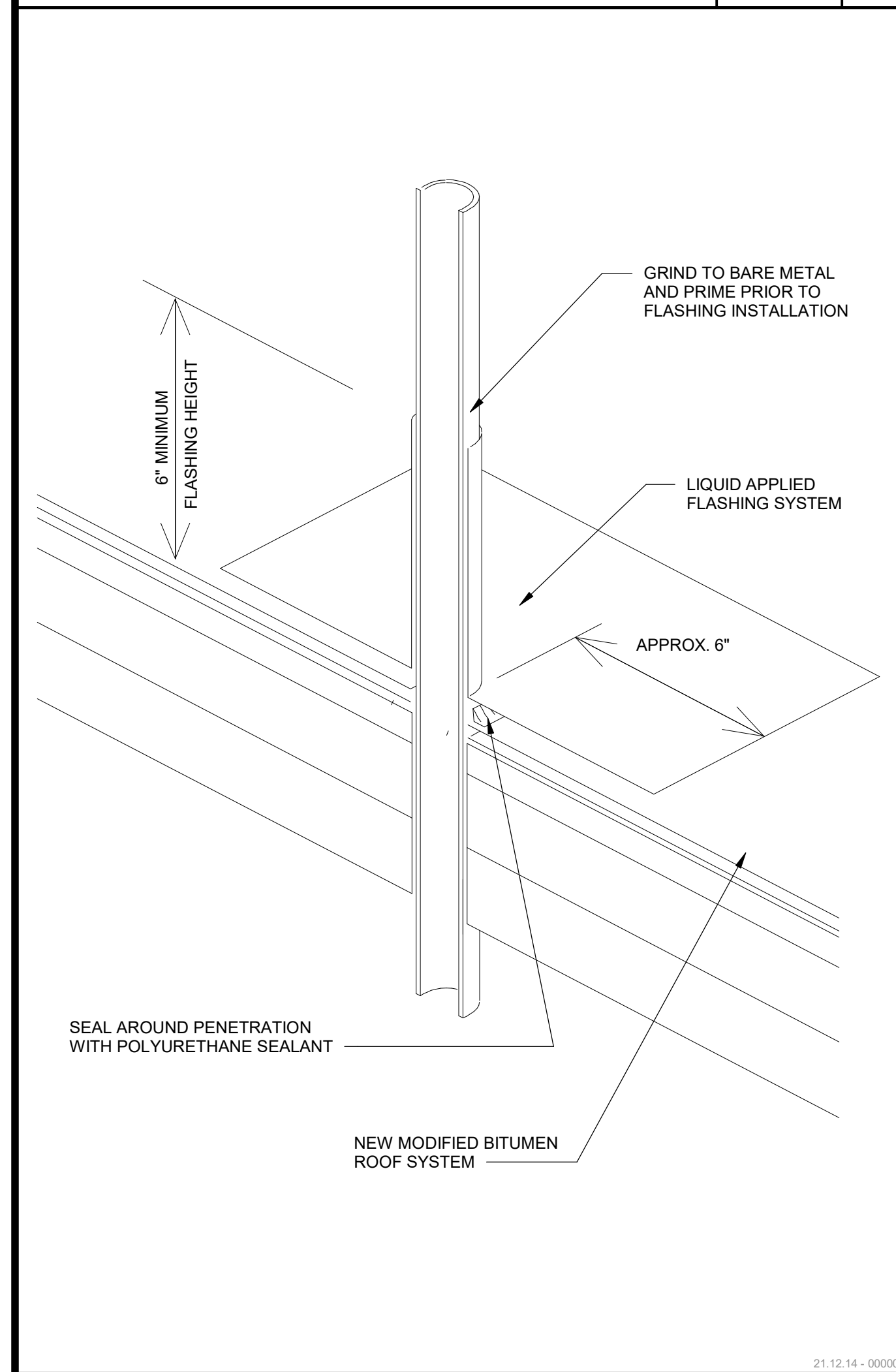
**SP EDGE DETAILING**

N.T.S. 2



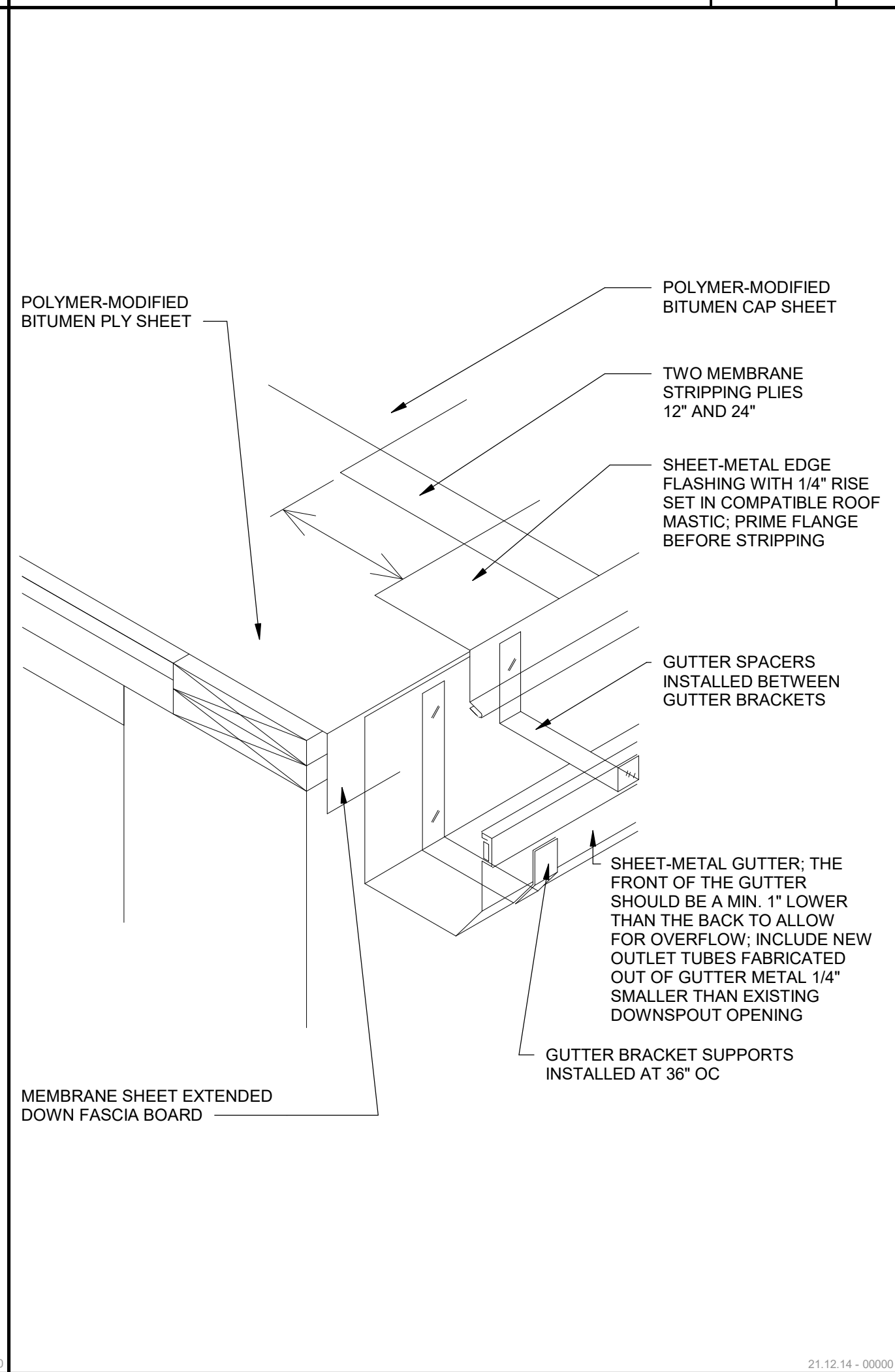
**SP SCUPPER AND GUTTER**

N.T.S. 1A



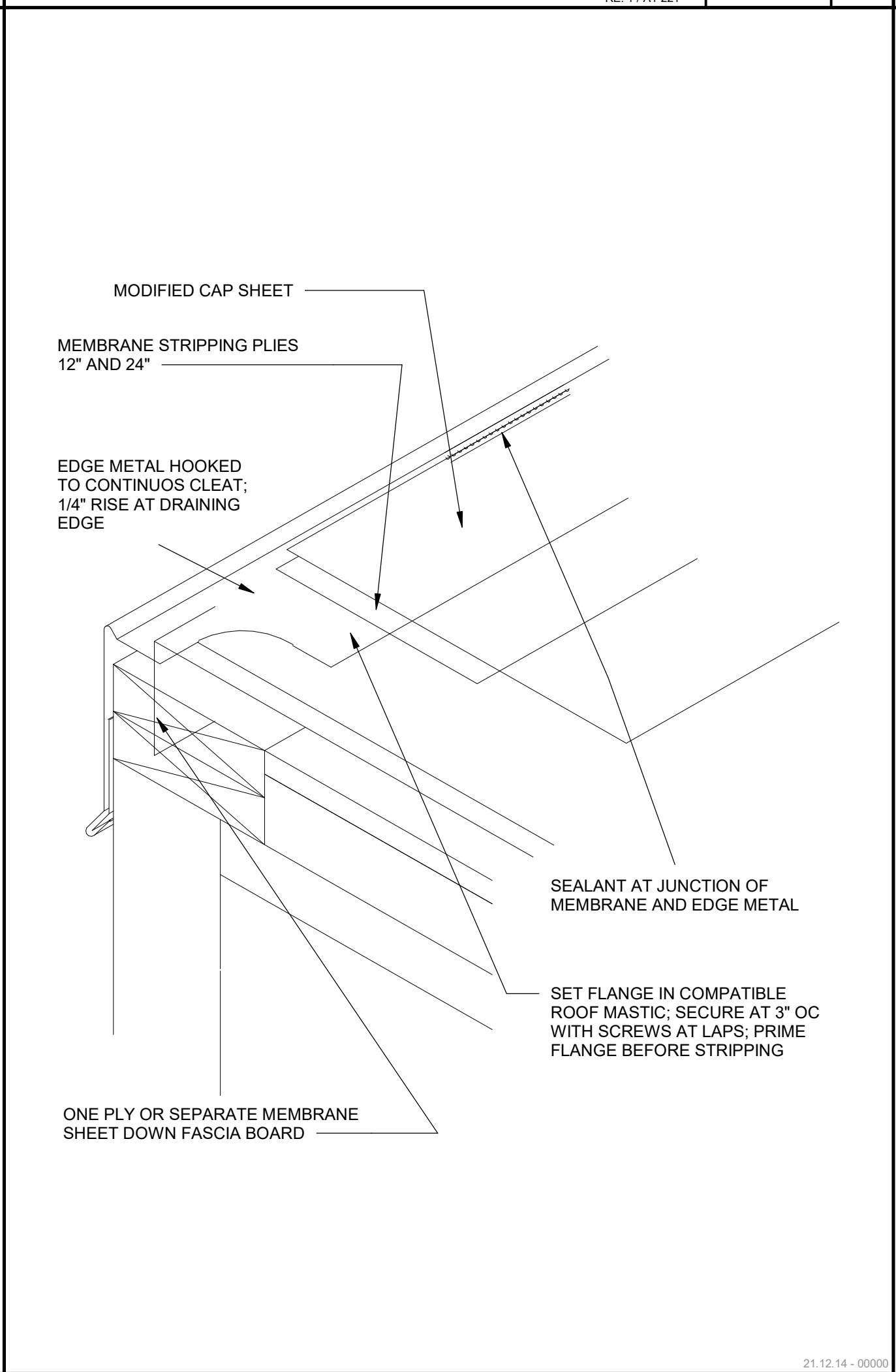
**MB PENETRATION FLASHING**

N.T.S. 10



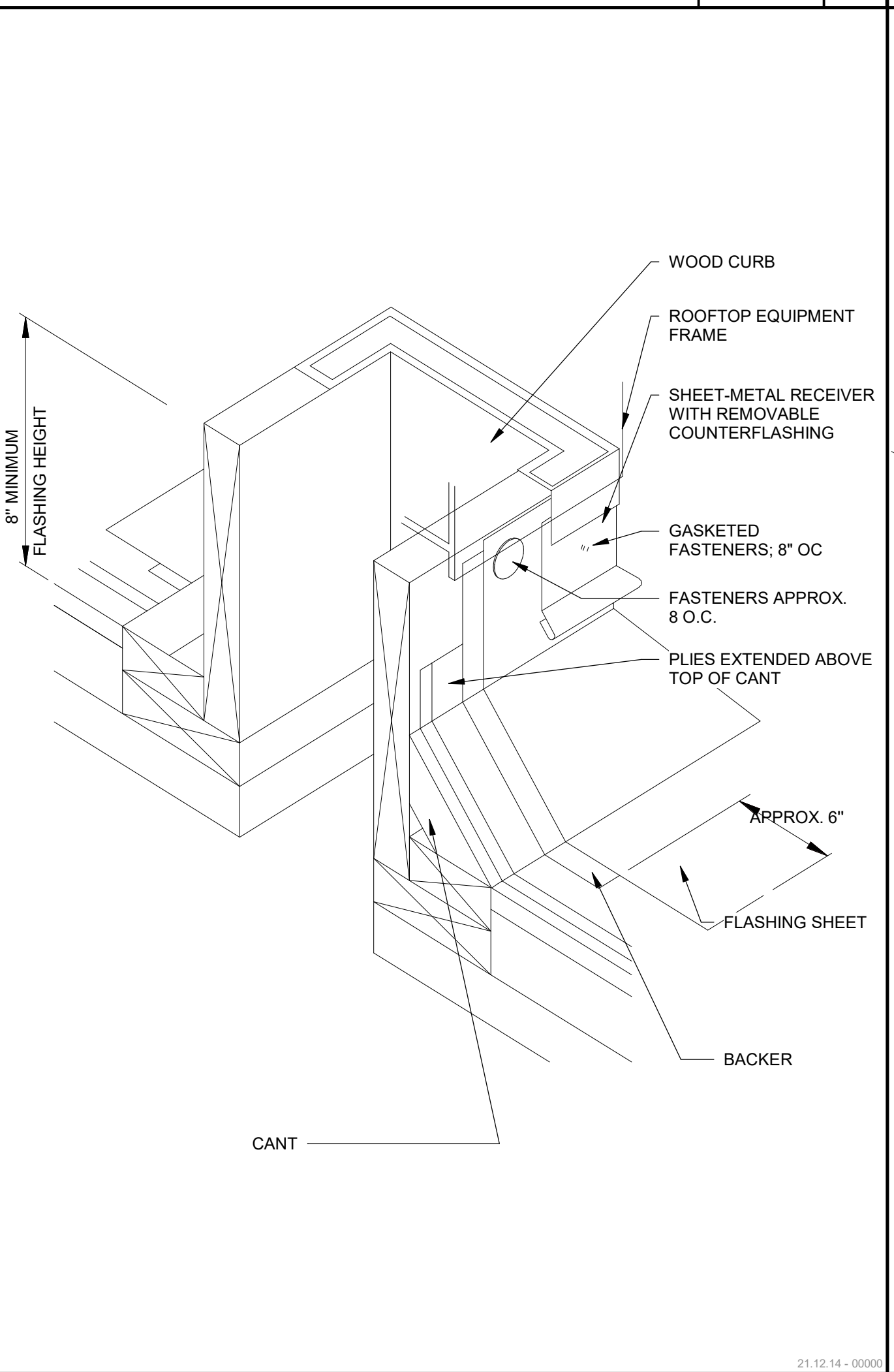
**MB GUTTER DETAIL**

N.T.S. 9



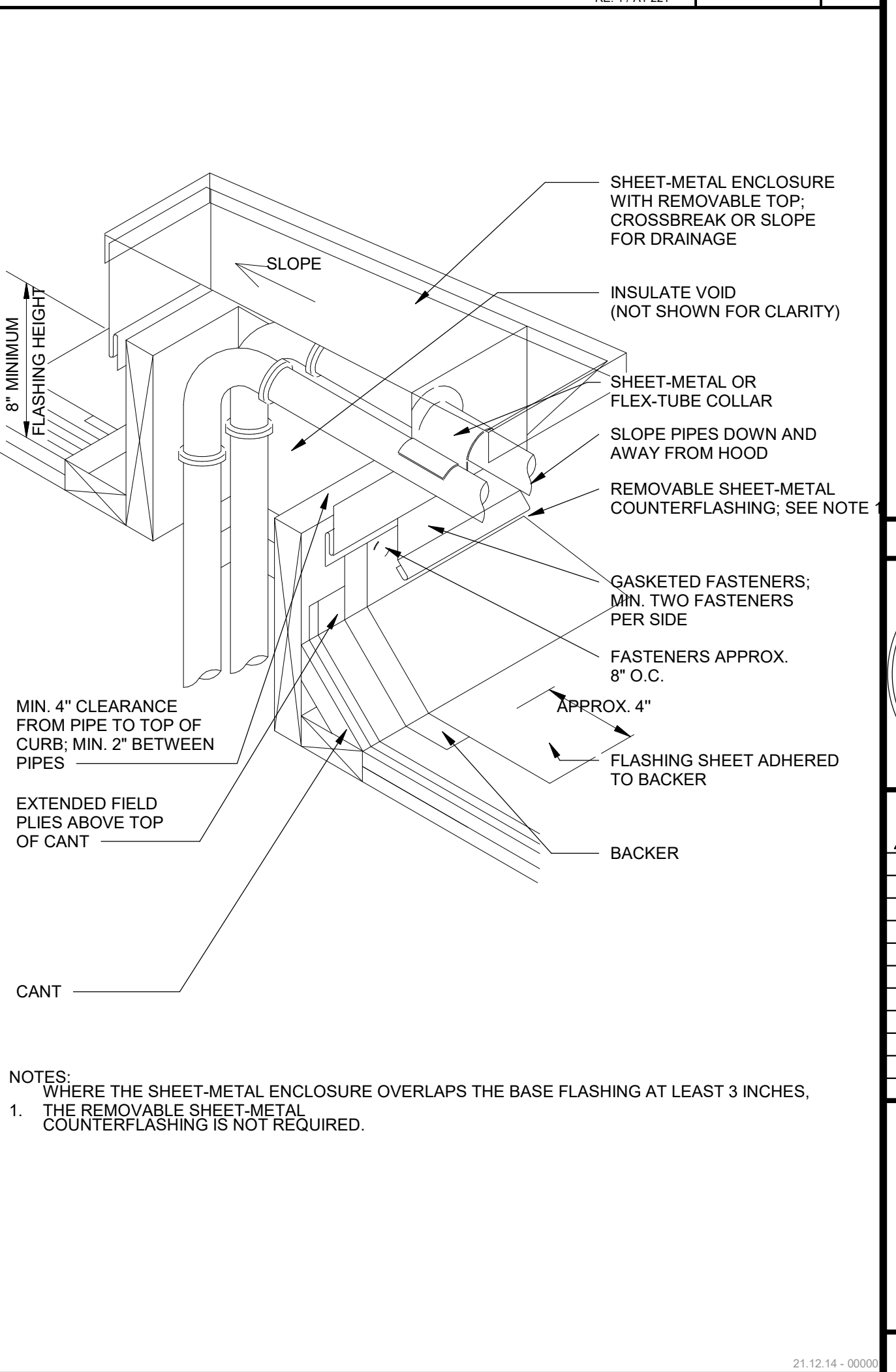
**MB EMBEDDED EDGE-METAL FLASHING**

N.T.S. 8



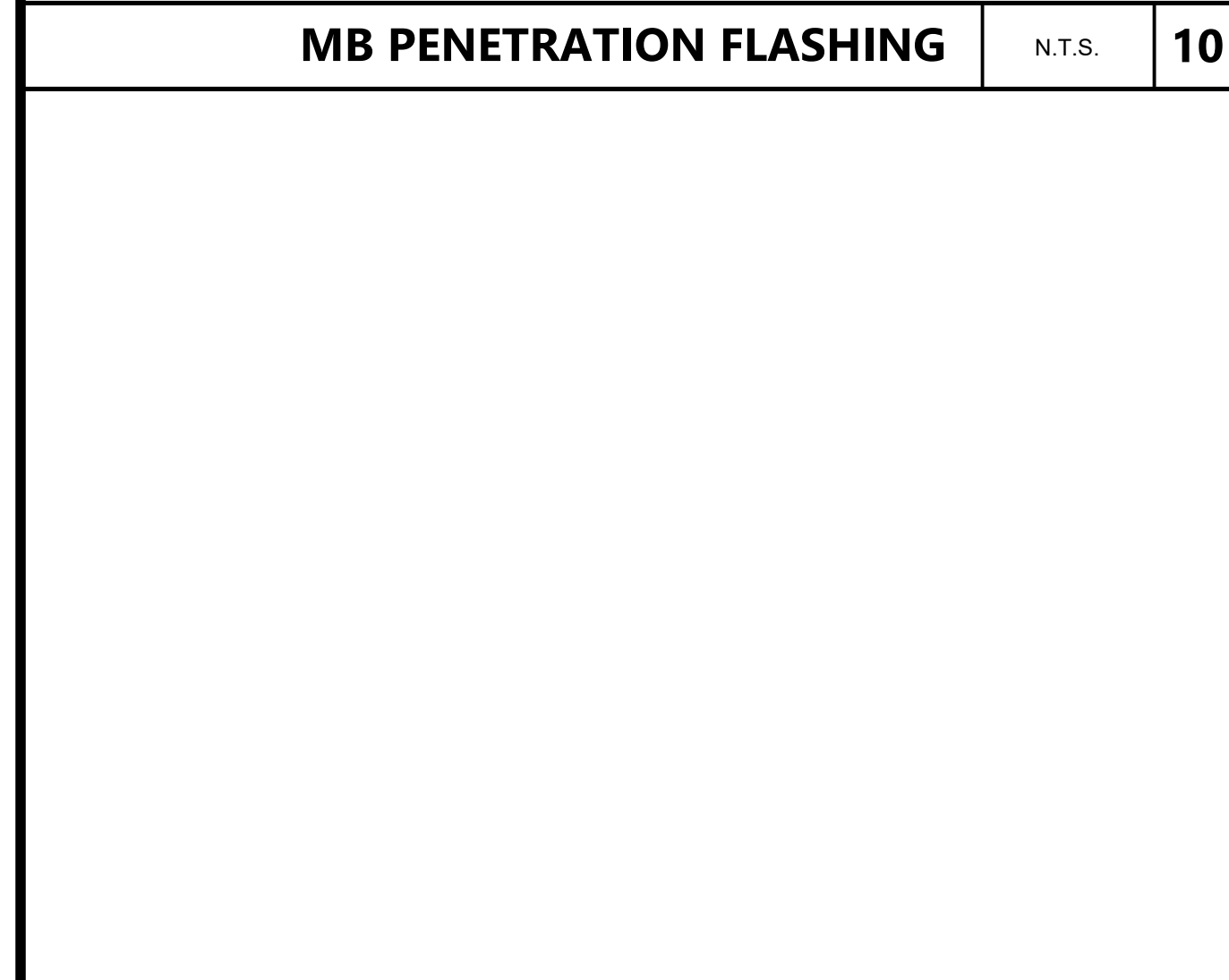
**MB BASE FLASHING AT WOOD CURB**

N.T.S. 7



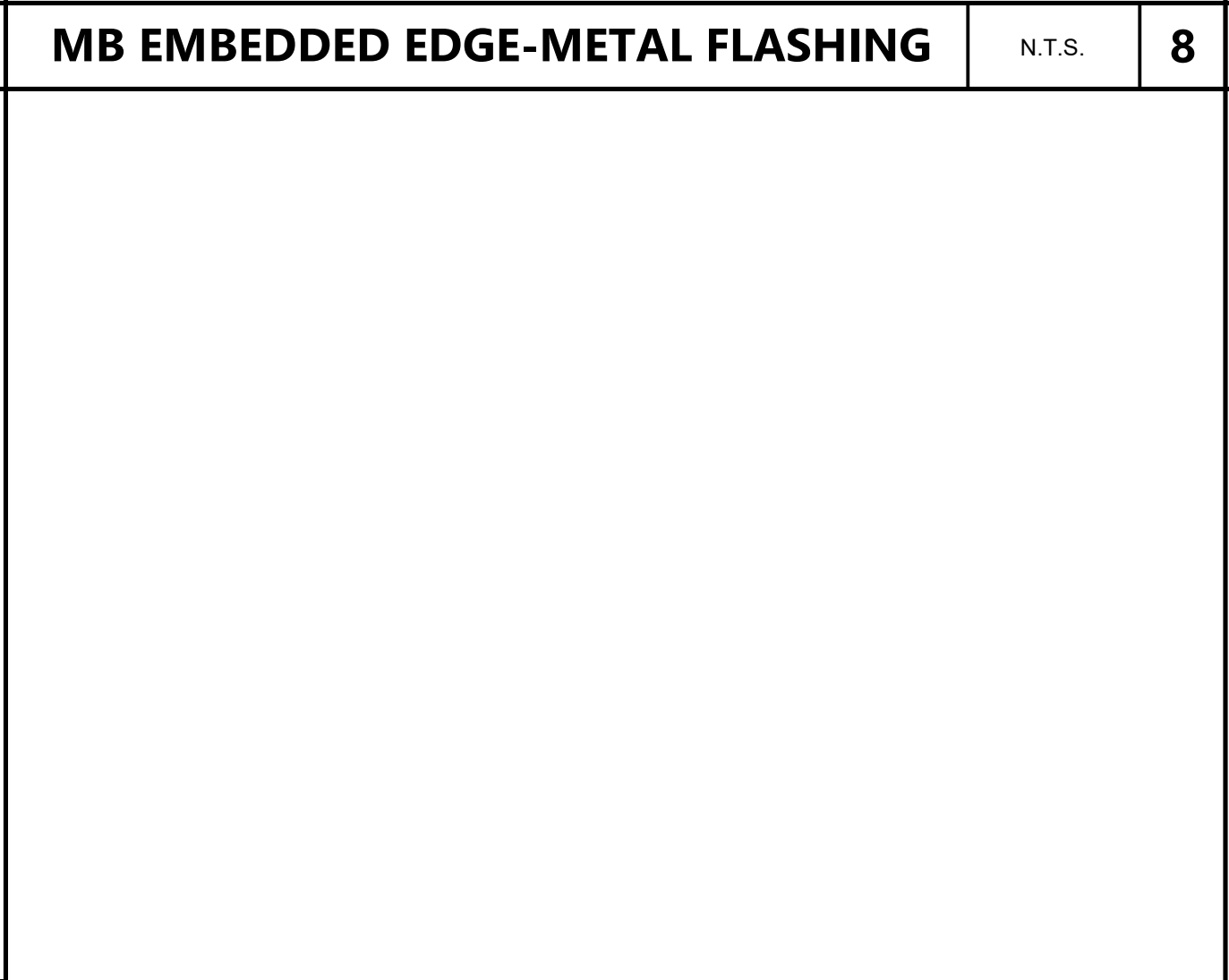
**MB BASE FLASHING AT PIPE**

N.T.S. 6



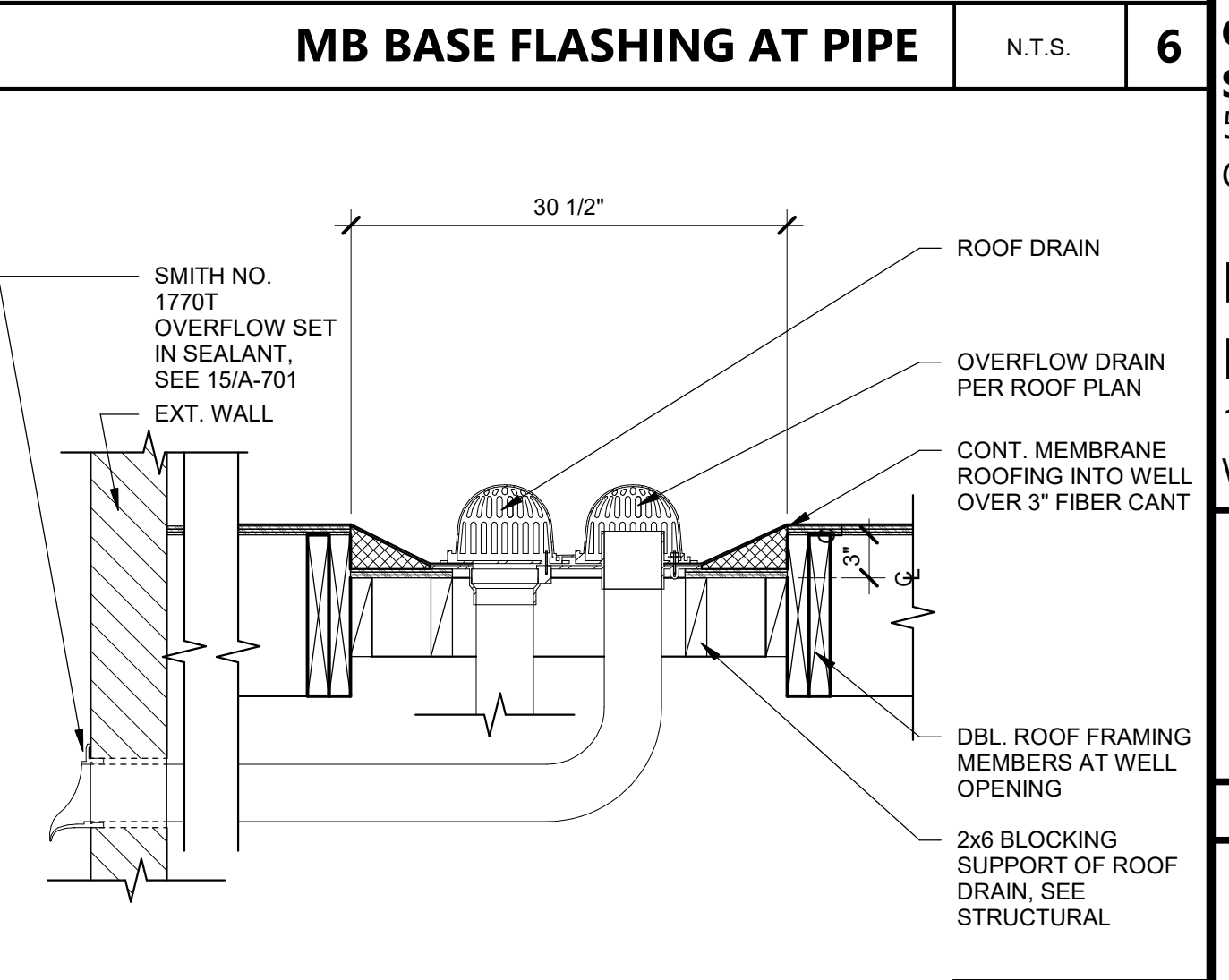
**SHEET-METAL COUNTERFLASHING**

N.T.S. 14



**DURA BLOCK**

3\"/>



**ROOF DRAIN AND OVERFLOW**

1\"/>

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP	CONSULTANT STAMP

REVISIONS		
NO.	DATE	DESCRIPTION

THE ARCHITECT DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS ARE SUITABLE FOR ANY SITE OTHER THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE ARCHITECT DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE USED IN WHOLE OR IN PART AT ANY OTHER SITE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**ROWLAND ELEMENTARY SCHOOL**  
1355 E Rowland Ave  
West Covina, CA 91790

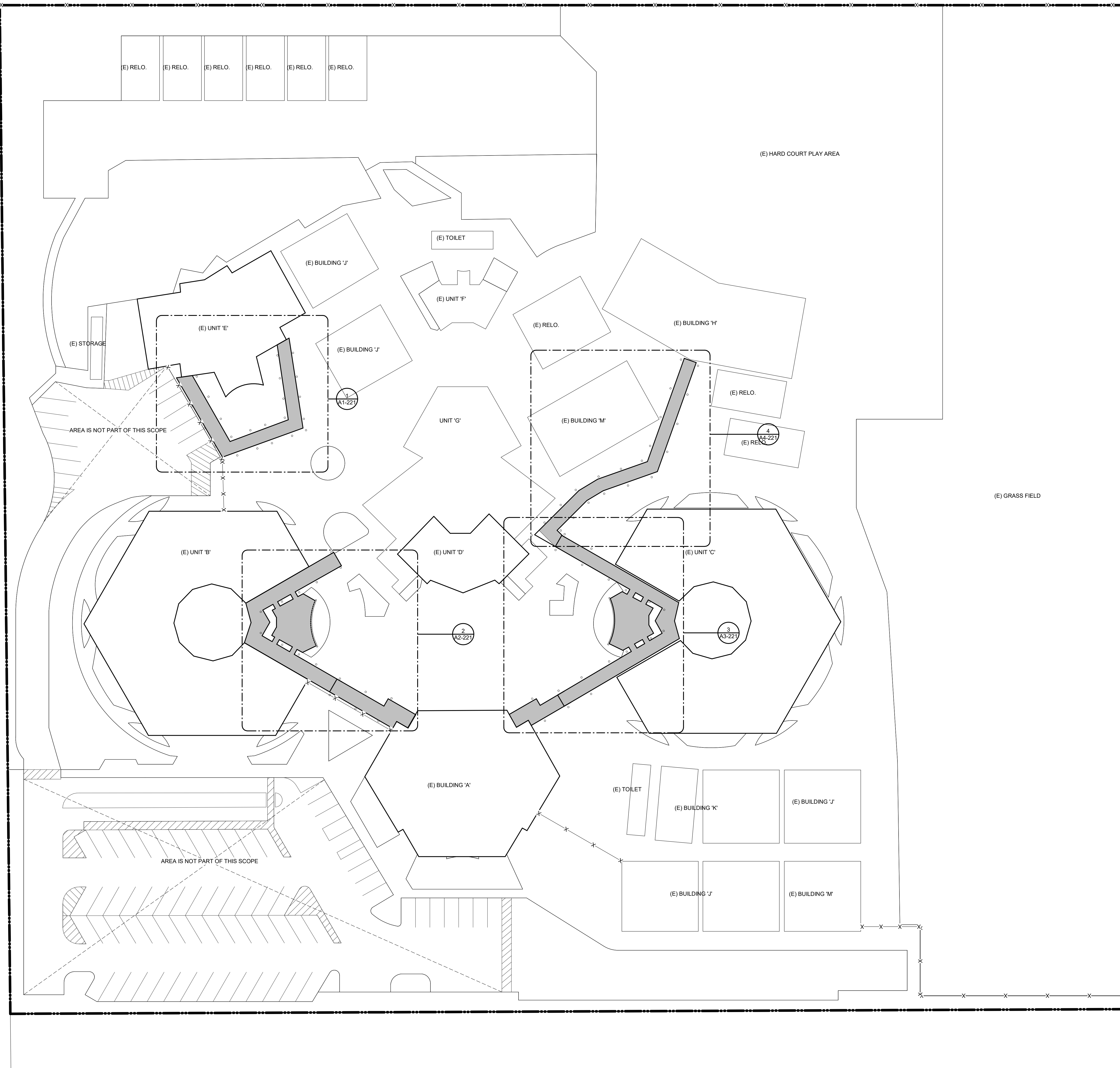
SHEET TITLE  
**DETAILS**

DRAWN BY: PJ JOB NUMBER: 21296  
SHEET NO.  
**A-701**  
DATE: JANUARY 01, 2020





PROJECT STATUS



DATE PLOTTED: 2/8/2022 11:30:36 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 9- SIERRA VISTA MS\_pbrahm\4KGM.rvt




**SITE PLAN LEGEND**

-  (E) PROPERTY LINE
-  (E) CHAIN LINK FENCE
-  BUILDING NOT A PART OF THIS SCOPE.
-  REMOVE (E) ROOFING DOWN TO EXISTING ROOF DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING MEMBRANE. THIS INCLUDES BUT IS NOT LIMITED TO THE EXISTING BUILT UP ROOF, ROOFING ALONG THE CURBS AND PARAPET CAPS.

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP	CONSULTANT STAMP
	

REVISIONS		
NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
777 E Puente St  
Covina, CA 91723

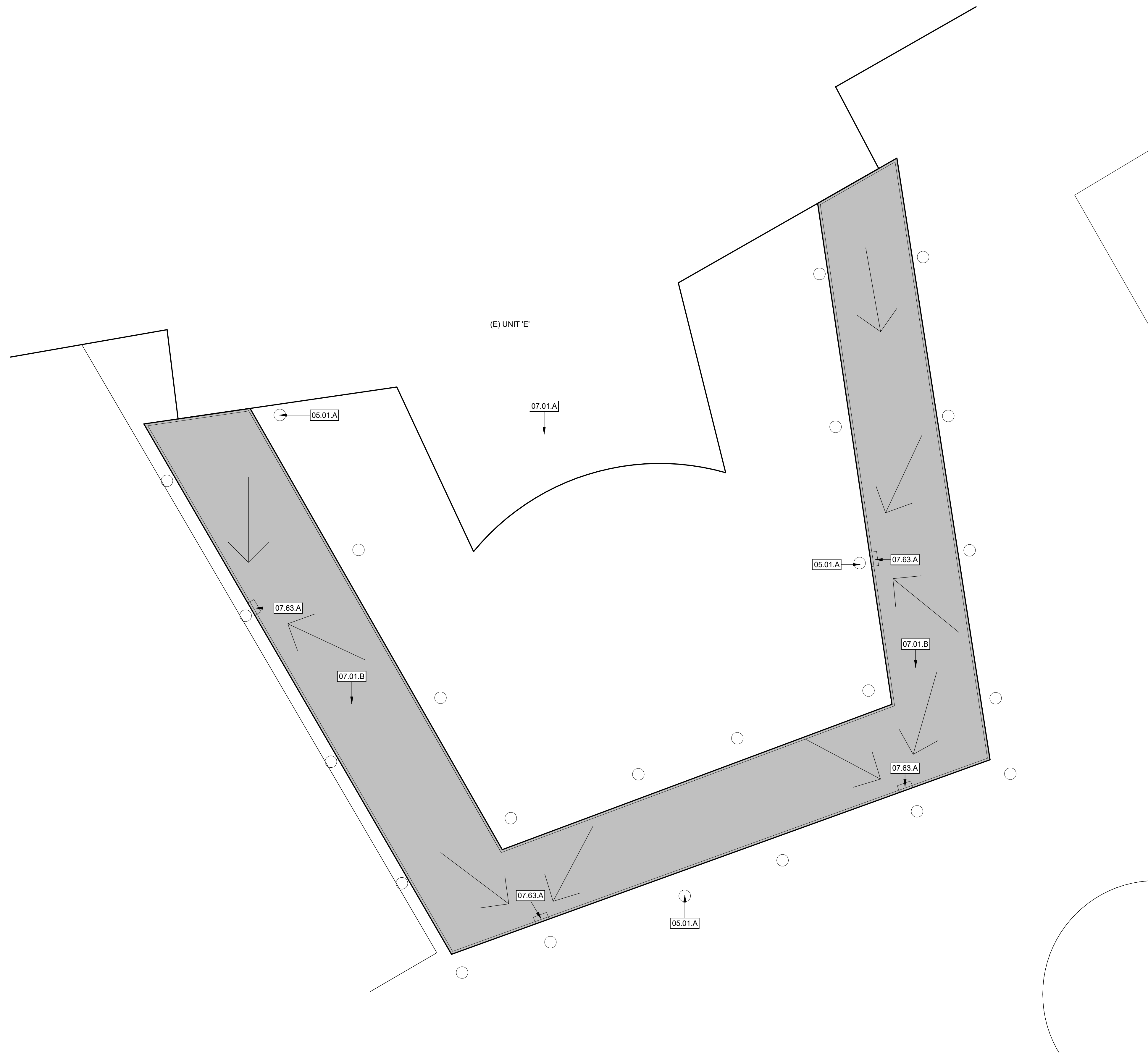
SHEET TITLE  
**SITE PLAN**

DRAWN BY: PI JOB NUMBER: 21296  
SHEET NO.

**G-101**  
DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:30:14 AM FILE LOCATION: C:\Users\pbrahmi\Documents\21296 Covina-Valley School District - SIERRA VISTA MS\_pbrahmi\4KGM.rvt



(E) WALKWAY ROOF DEMOLITION PLAN - Callout 1 1/4" = 1'-0" 1

**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.B REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.
- 07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK.
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

**DEMOLITION LEGEND**

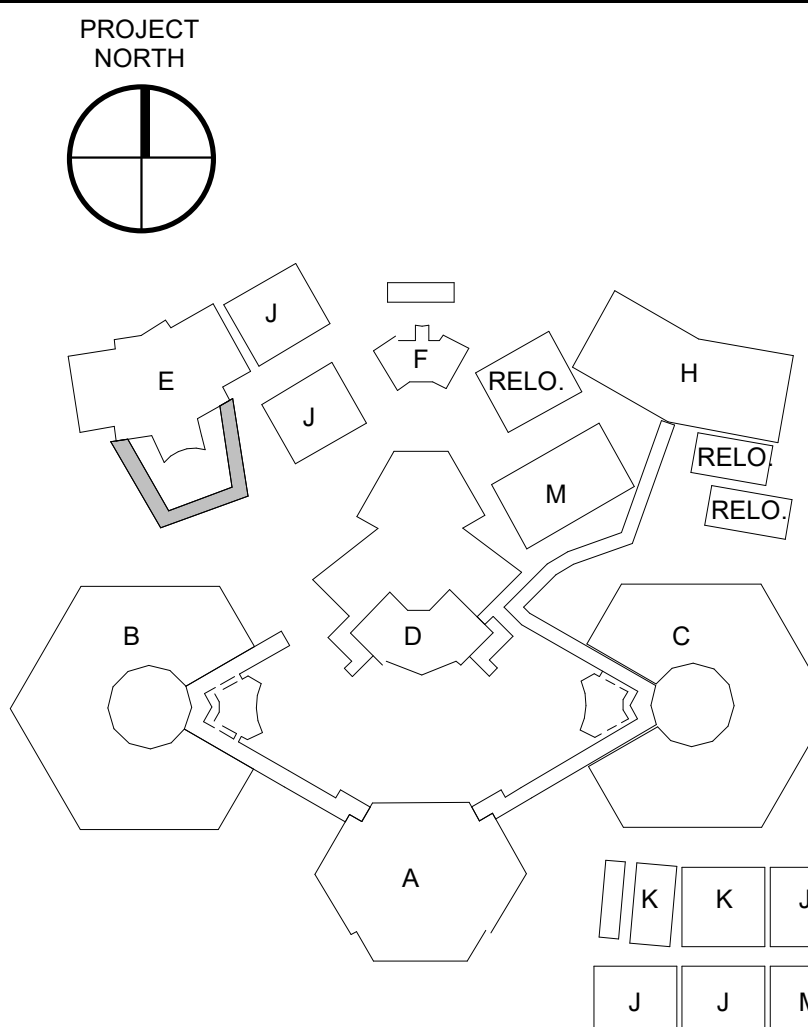
- (E) ROOFING MATERIAL TO REMAIN.
- (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

**DEMOLITION NOTES**

1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**KEY PLAN**

SCALE: NTS

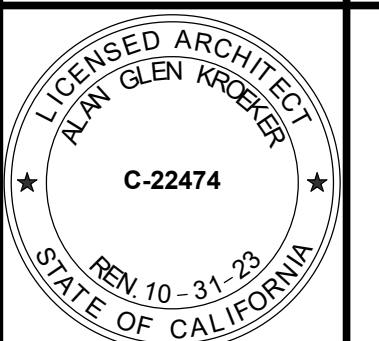


**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
777 E Puente St  
Covina, CA 91723

SHEET TITLE  
**(E) WALKWAY ROOF DEMOLITION PLAN**

DRAWN BY: PI JOB NUMBER: 21296

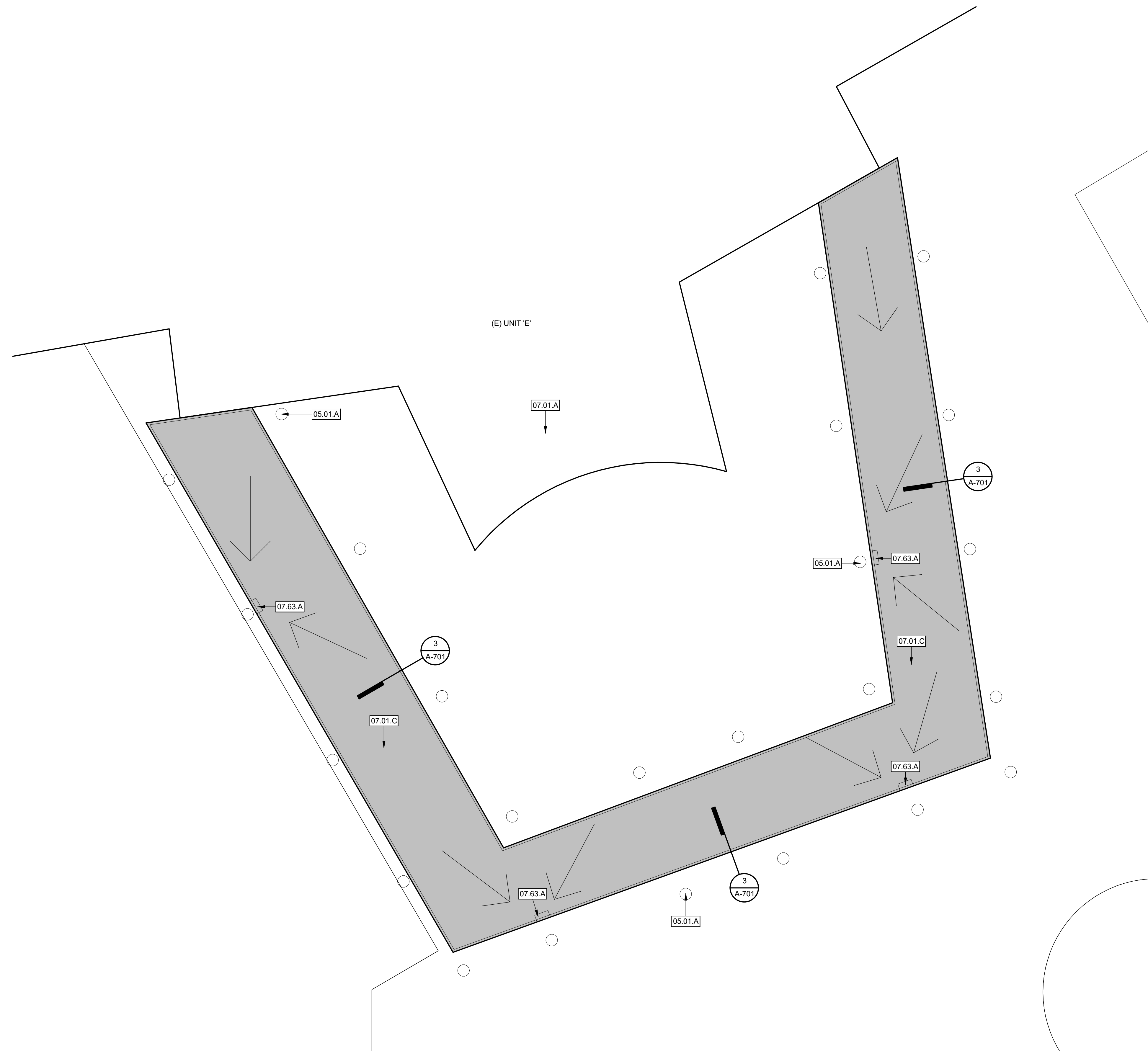
SHEET NO.

**A1-021**

DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:30:15 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 9- SIERRA VISTA MS\_pbrahm\4KGM.rvt



(E) WALKWAY ROOF PLAN - Callout 1 1/4" = 1'-0" 1



**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.

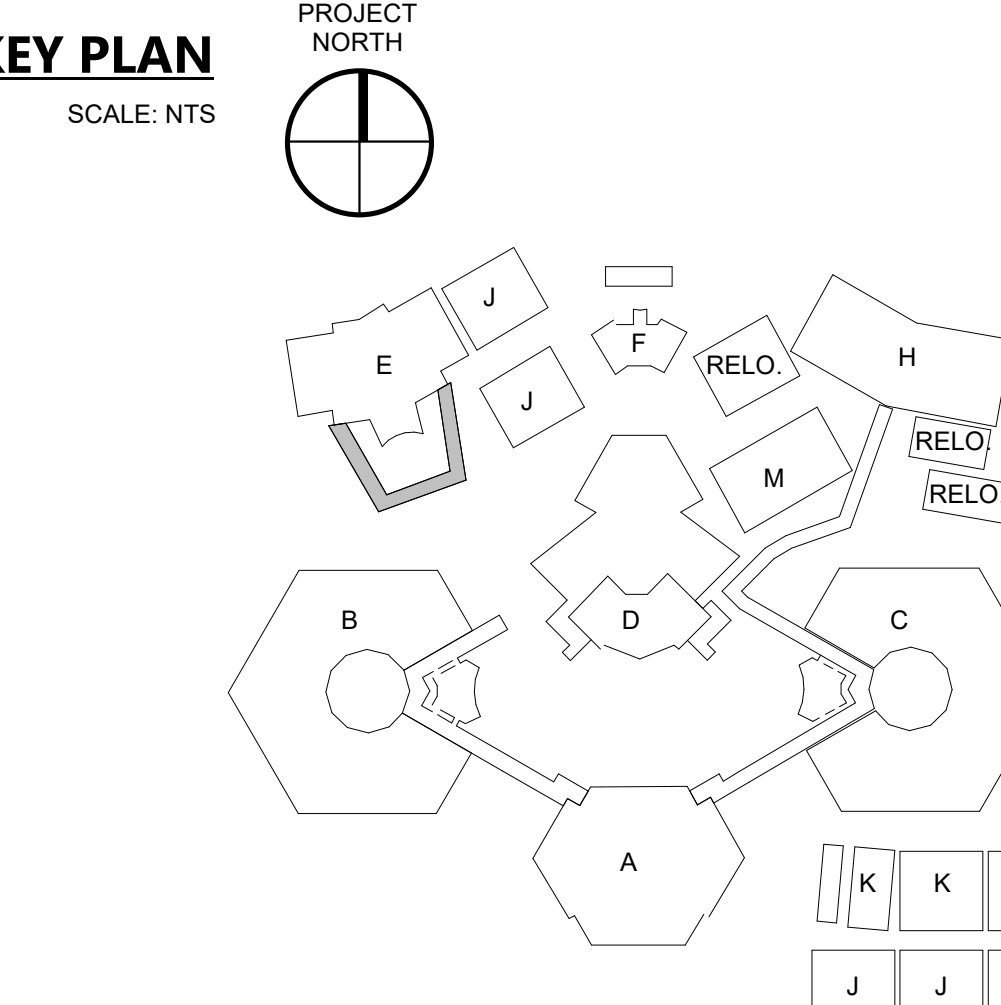
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**

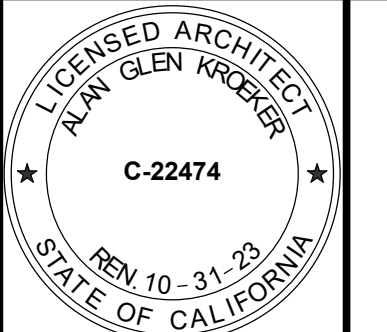


**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



**REVISIONS**

NO.	DATE	DESCRIPTION

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**PROJECT OWNER & TITLE**

**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**

777 E Puente St  
Covina, CA 91723

**SHEET TITLE**

**(E) WALKWAY ROOF PLAN**

DRAWN BY: PI JOB NUMBER: 21296

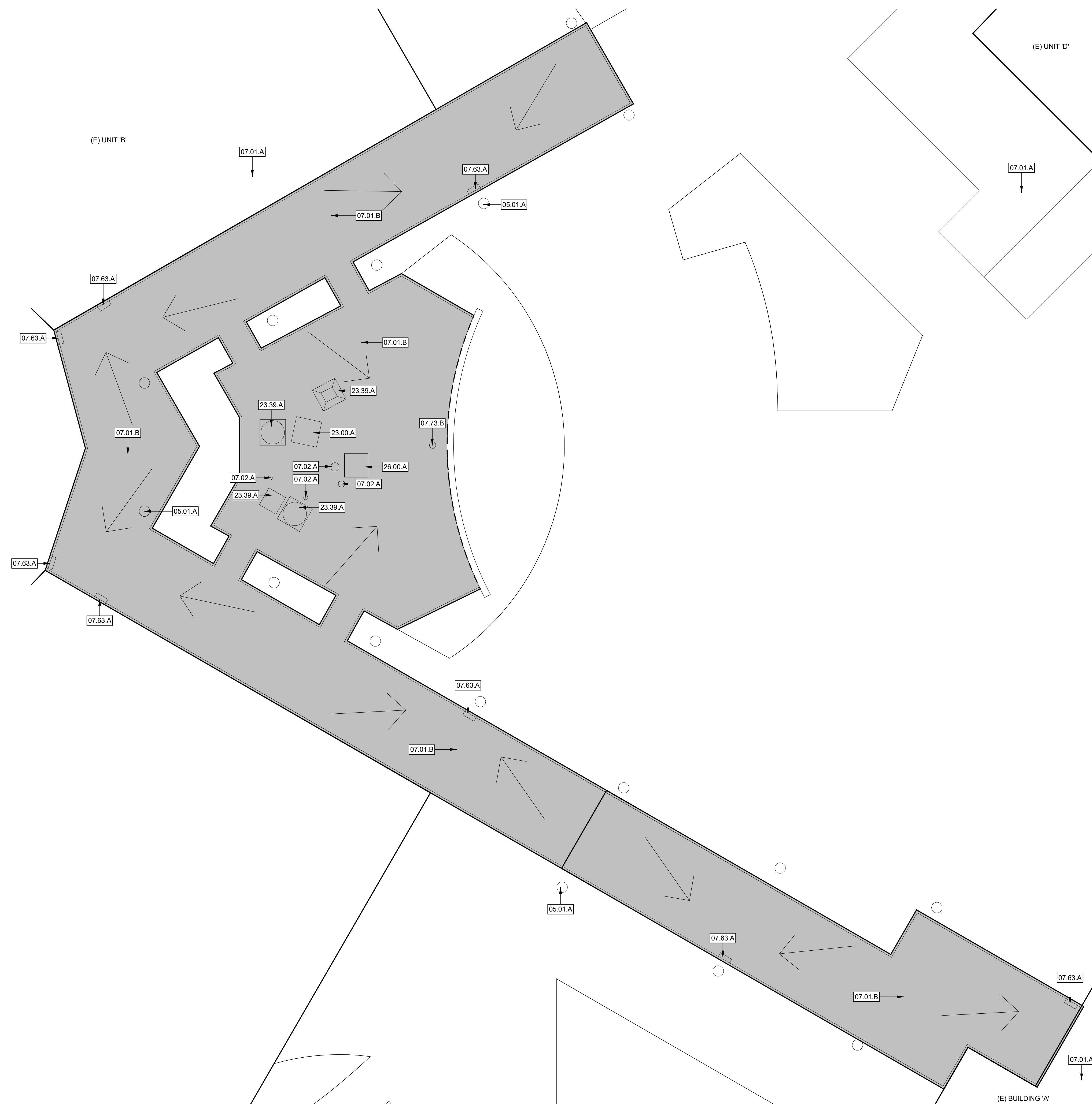
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**A1-221**

DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:30:17 AM FILE LOCATION: C:\Users\pbrahmi\Documents\21296 Covina-Valley School District - SIERRA VISTA MS\_pbrahmi4KGM.rvt



(E) WALKWAY & (E) ELECTRICAL BUILDING ROOF DEMOLITION PLAN - Callout 2 1/4" = 1'-0" 2

**KEYNOTES**

05.01.A	(E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
07.01.A	(E) ROOF TO REMAIN
07.01.B	REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.
07.02.A	PREP (E) PIPE AND VENT PENETRATIONS FOR (N) SEALS. REMOVE ALL NECESSARY ROOFINGS OR (E) SEALANT MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED BY NEW PIPE/VENT PENETRATION SEALS.
07.63.A	(E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.
07.73.B	(E) DRAINS. PROTECT IN PLACE, TYP.
23.00.A	(E) MECHANICAL EQUIPMENT, PROTECT IN PLACE.
23.39.A	(E) EXHAUST FAN. PROTECT IN PLACE
26.00.A	(E) ELECTRICAL EQUIPMENT TO REMAIN

**BID 108**

**19.6**  
ARCHITECTS

802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

- GENERAL NOTES**
- THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  - GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
  - REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLE BLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLE BLOCK.
  - PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
  - CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

**DEMOLITION LEGEND**

	(E) ROOFING MATERIAL TO REMAIN.
	(E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

- DEMOLITION NOTES**
- IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
  - PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
  - DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
  - VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
  - KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
  - USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
  - SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
  - MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
  - COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
  - REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
  - THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
  - ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
  - THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
  - ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**KEY PLAN**  
SCALE: NTS

PROJECT NORTH

PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
777 E Puente St  
Covina, CA 91723

**(E) WALKWAY & (E) ELEC. BUILDING ROOF DEMOLITION PLAN**

JOB NUMBER: 21296

SHEET NO. **A2-021**

DATE: JANUARY 01, 2020

ARCHITECT STAMP

CONSULTANT STAMP

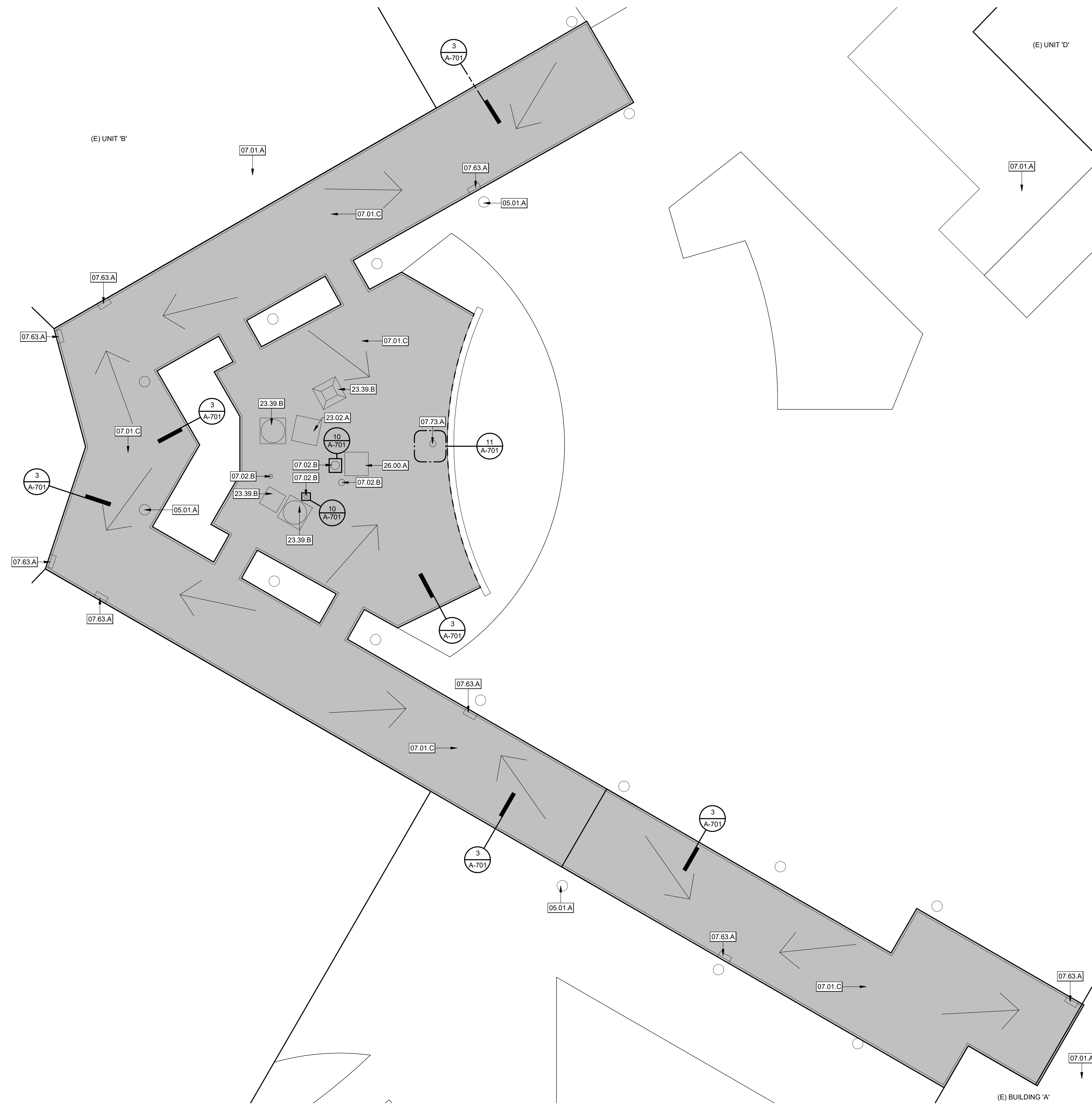
REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:30:18 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 9 SIERRA VISTA MS\_pbrahm\4KGM.rvt



**KEYNOTES**

05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)  
 07.01.A (E) ROOF TO REMAIN  
 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.  
 07.02.B SEAL (E) PIPE & VENT PENETRATIONS  
 07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.  
 07.73.A REMOVE (E) ROOF DRAIN AND OVERFLOW AND REPLACE WITH NEW. PRESSURE CLEAN AND FLUSH OUT ROOF DRAIN AND OVERFLOW PIPING PRIOR TO INSTALLATION OF NEW ROOF DRAIN W/ (N) BASKETS, AND OVERFLOW  
 23.02.A (E) MECHANICAL EQUIPMENT AND CURB, PROTECT IN PLACE.  
 23.39.B (E) EXHAUST FAN, PROTECT IN PLACE.  
 26.00.A (E) ELECTRICAL EQUIPMENT TO REMAIN

**ROOF PLAN GENERAL NOTES**

- REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
- CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
- GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

(E) ROOFING MATERIAL TO REMAIN.  
 (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**  
 SCALE: NTS  
  
 PROJECT NORTH

**PROJECT OWNER & TITLE**  
 COVINA-VALLEY UNIFIED SCHOOL DISTRICT  
 519 E Badillo St  
 Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
 777 E Puente St  
 Covina, CA 91723

**SHEET TITLE**  
 (E) WALKWAY & (E) ELEC. BUILDING ROOF PLAN

**DATE:** JANUARY 01, 2020

**BID 108**

**19.6 ARCHITECTS**

802 EAST COTA STREET, SUITE A  
 SANTA BARBARA, CA 93103  
 TEL (805) 963-1955

ARCHITECT STAMP  
  
 CONSULTANT STAMP

**REVISIONS**

NO.	DATE	DESCRIPTION

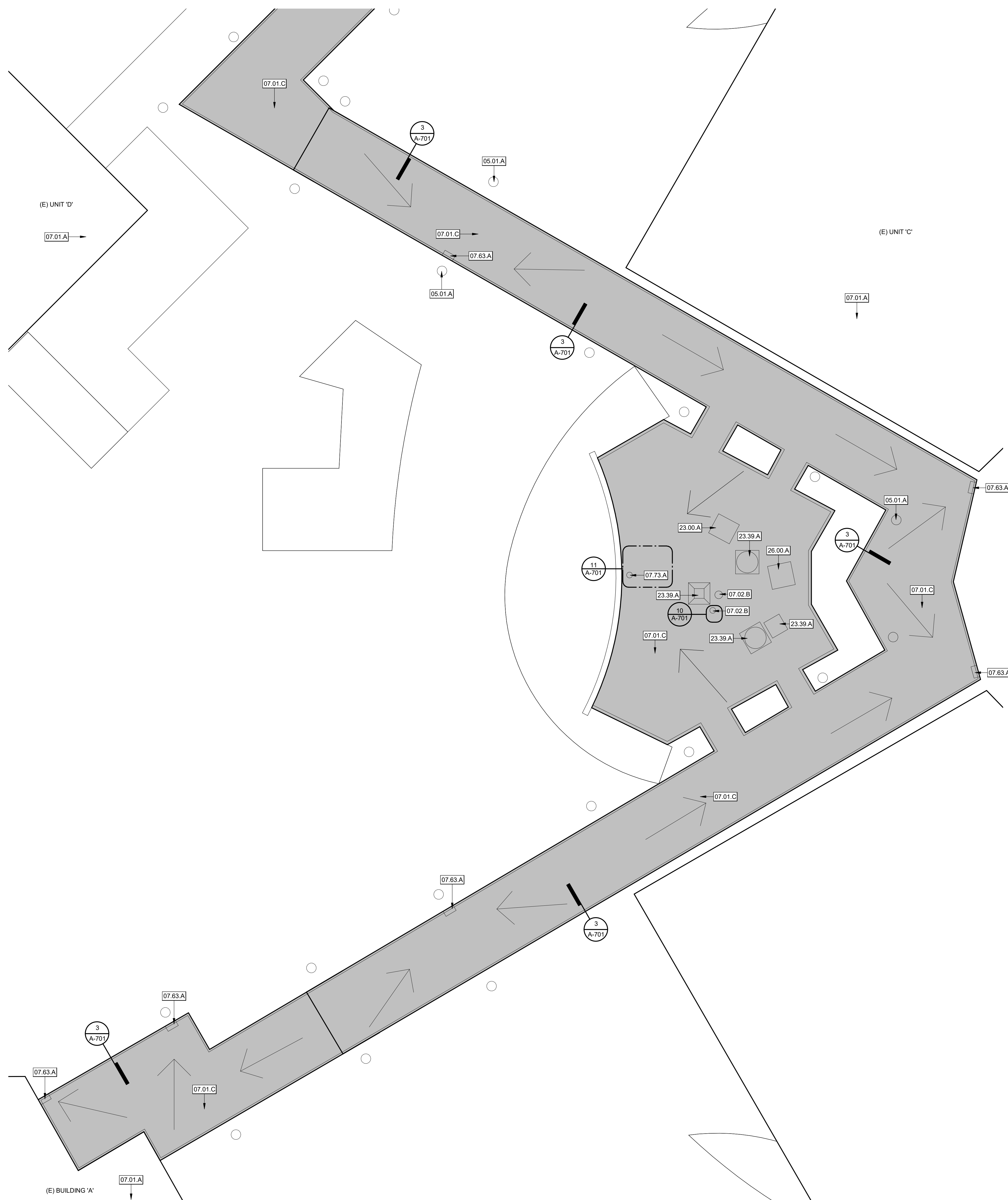
THE ARCHITECT DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS ARE SUITABLE FOR ANY SITE OTHER THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE ARCHITECT DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND SPECIFICATIONS IF THEY ARE USED IN WHOLE OR IN PART AT ANY OTHER SITE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT STATUS





DATE PLOTTED: 2/8/2022 11:30:26 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 9- SIERRA VISTA MS\_pbrahm\4KGM.rvt



**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.02.B SEAL (E) PIPE & VENT PENETRATIONS
- 07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.
- 07.73.A REMOVE (E) ROOF DRAIN AND OVERFLOW AND REPLACE WITH NEW. PRESSURE CLEAN AND FLUSH OUT ROOF DRAIN AND OVERFLOW PIPING PRIOR TO INSTALLATION OF NEW ROOF DRAIN W/ (N) BASKETS, AND OVERFLOW
- 23.00.A (E) MECHANICAL EQUIPMENT, PROTECT IN PLACE.
- 23.39.A (E) EXHAUST FAN, PROTECT IN PLACE
- 26.00.A (E) ELECTRICAL EQUIPMENT TO REMAIN

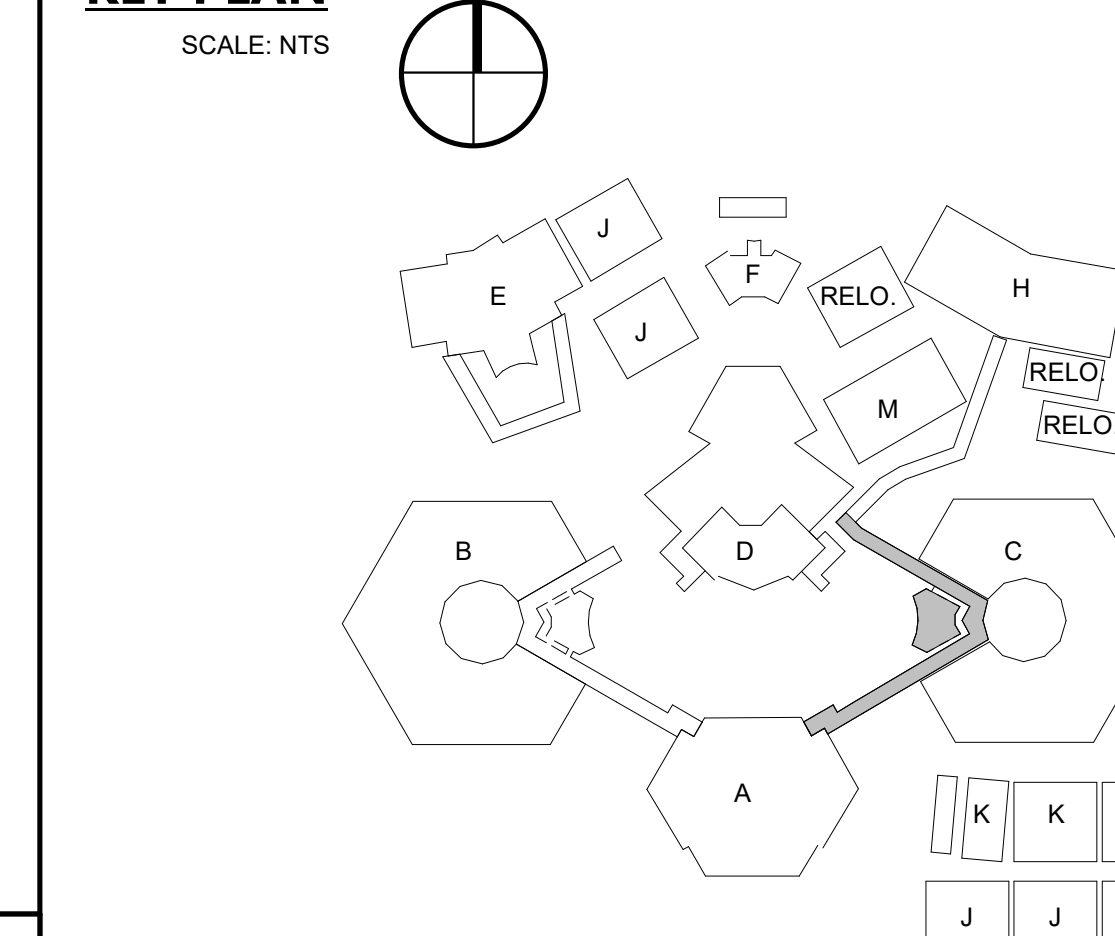
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
2. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THIS SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.
3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**



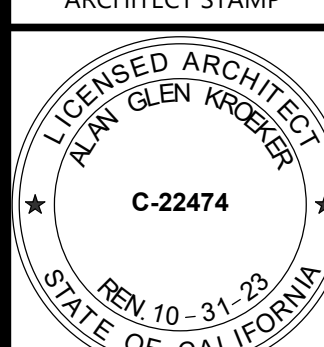
(E) WALKWAY ROOF PLAN - Callout 3 1/4" = 1'-0" 3

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
777 E Puente St  
Covina, CA 91723

SHEET TITLE  
**(E) WALKWAY & (E) ELEC. BUILDING ROOF PLAN**

DRAWN BY: PI JOB NUMBER: 21296

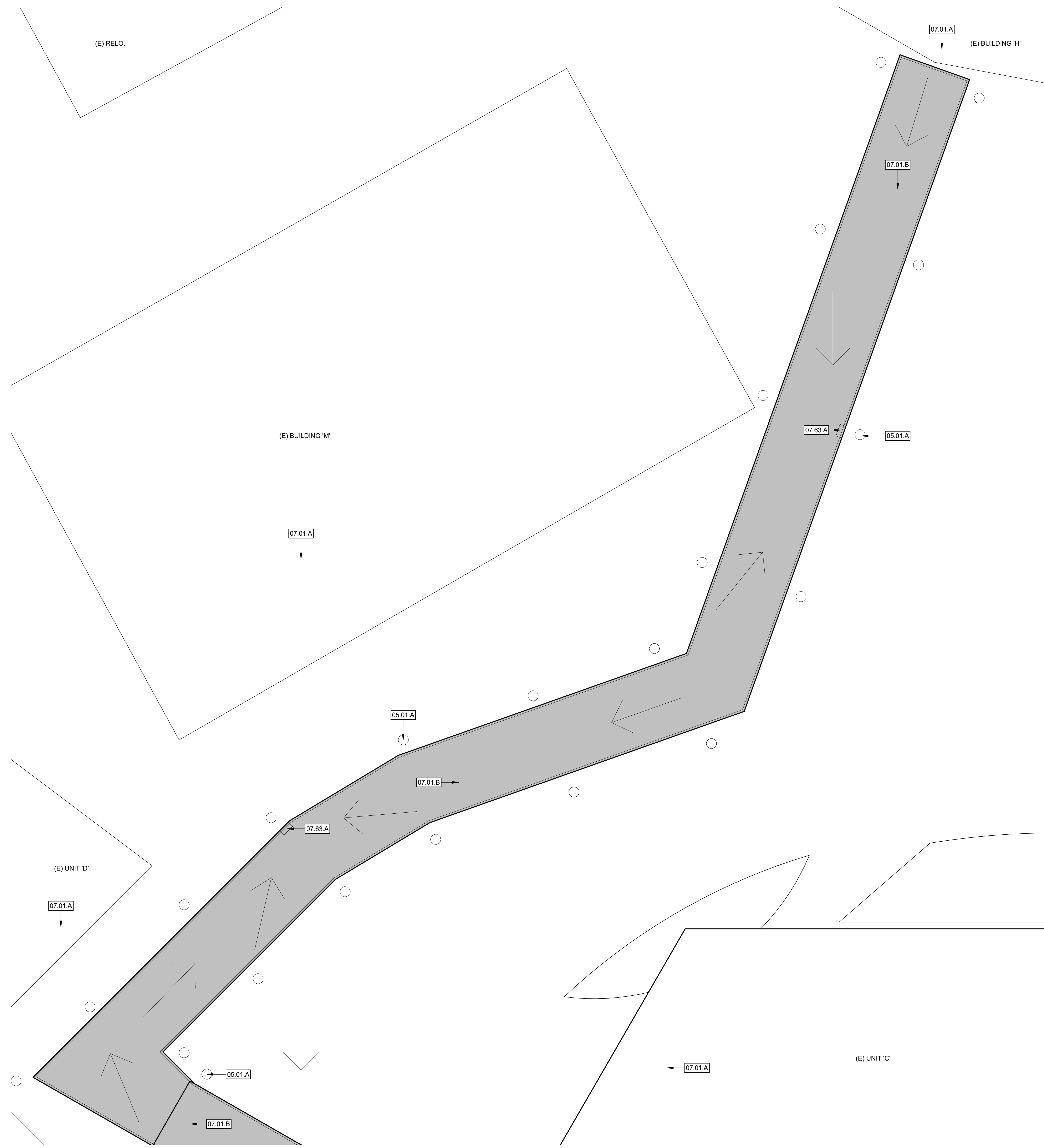
SHEET NO.

**A3-221**

DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:30:29 AM FILE LOCATION: C:\Users\pibrahim\Documents\21296 Covina-Valley School District - SIERRA VISTA MS\_pibrahim4KGM.rvt



(E) WALKWAY ROOF DEMOLITION PLAN - Callout 4 1/4" = 1'-0" 4

**KEYNOTES**

05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)

07.01.A (E) ROOF TO REMAIN

07.01.B REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.

07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.

**GENERAL NOTES**

- THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
- REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK.
- PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
- CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

**DEMOLITION LEGEND**

(E) ROOFING MATERIAL TO REMAIN.

(E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

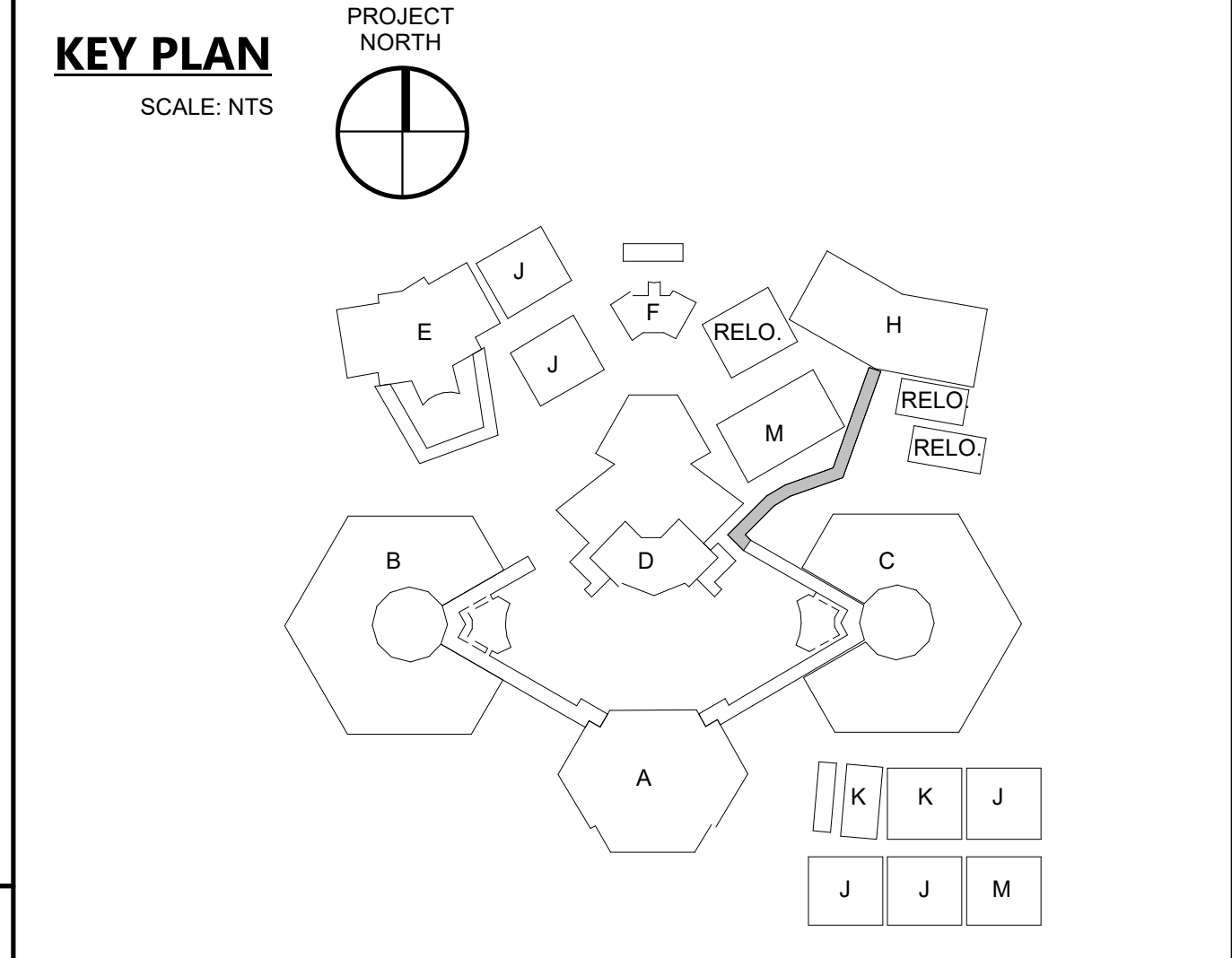
**DEMOLITION NOTES**

- IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
- PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
- DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
- KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
- MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
- COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
- REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
- ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
- ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**DEMOLITION LEGEND**

(E) ROOFING MATERIAL TO REMAIN.

(E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.



**BID 108**

**196**  
ARCHITECTS

802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

NO.	DATE	DESCRIPTION

ARCHITECT STAMP

CONSULTANT STAMP

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PROJECT OWNER & TITLE

**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
777 E Puente St  
Covina, CA 91723

SHEET TITLE

**(E) WALKWAY ROOF DEMOLITION PLAN**

DRAWN BY: PI JOB NUMBER: 21296

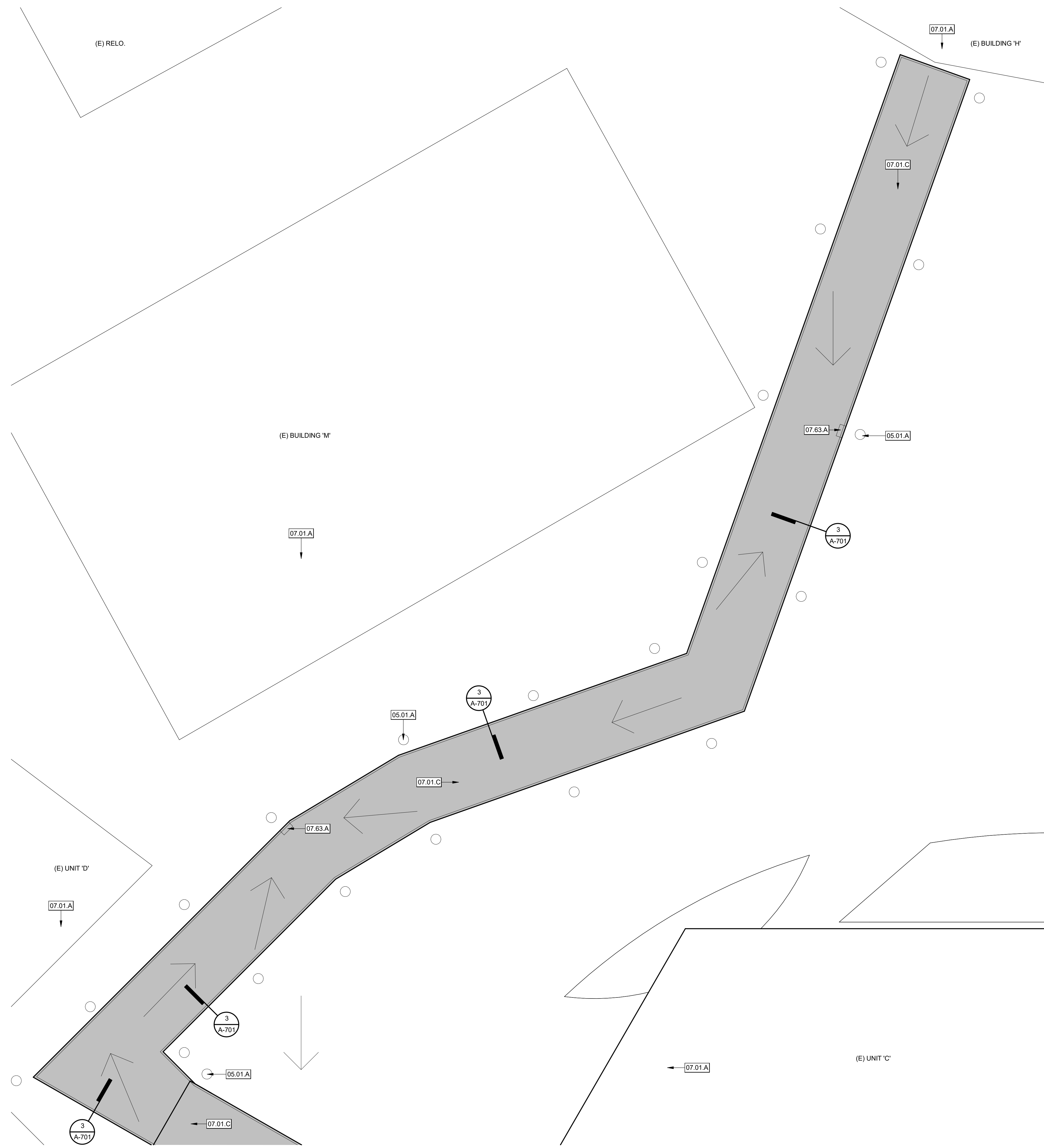
SHEET NO.

**A4-021**

DATE: JANUARY 01, 2020

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:30:31 AM FILE LOCATION: C:\Users\pibrahim\Documents\21296 Covina-Valley School District - 9 SIERRA VISTA MS\_pibrahim4KGM.rvt



(E) WALKWAY ROOF PLAN - Callout 4 1/4" = 1'-0" 4



**KEYNOTES**

- 05.01.A (E) STRUCTURAL COLUMNS BELOW, TYP. (PROTECT IN PLACE)
- 07.01.A (E) ROOF TO REMAIN
- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.63.A (E) SCUPPER TO BE REPLACED WITH (N) AT THE SAME LOCATION. (E) LEADER HEAD TO BE REPLACED WITH (N) TO MATCH EXISTING. (E) DOWNSPOUT PROTECT IN PLACE. PRESSURE CLEAN AND RESTORE.

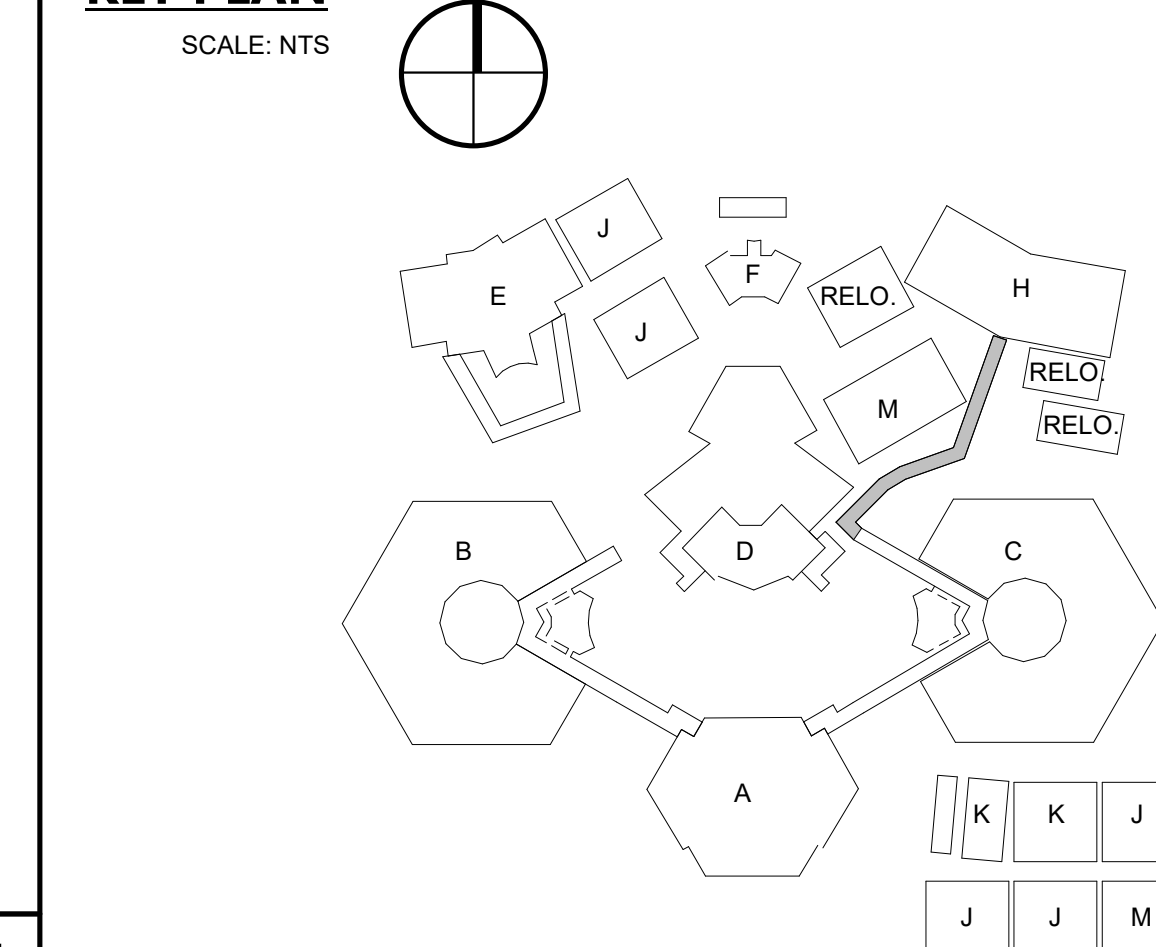
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
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3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.

**KEY PLAN**



**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



**REVISIONS**

NO.	DATE	DESCRIPTION

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**PROJECT OWNER & TITLE**

**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E Badillo St  
Covina, CA 91723

**SIERRA VISTA MIDDLE SCHOOL**  
777 E Puente St  
Covina, CA 91723

SHEET TITLE  
**(E) WALKWAY ROOF PLAN**

DRAWN BY: PI JOB NUMBER: 21296

SHEET NO.  
**A4-221**

DATE: JANUARY 01, 2020

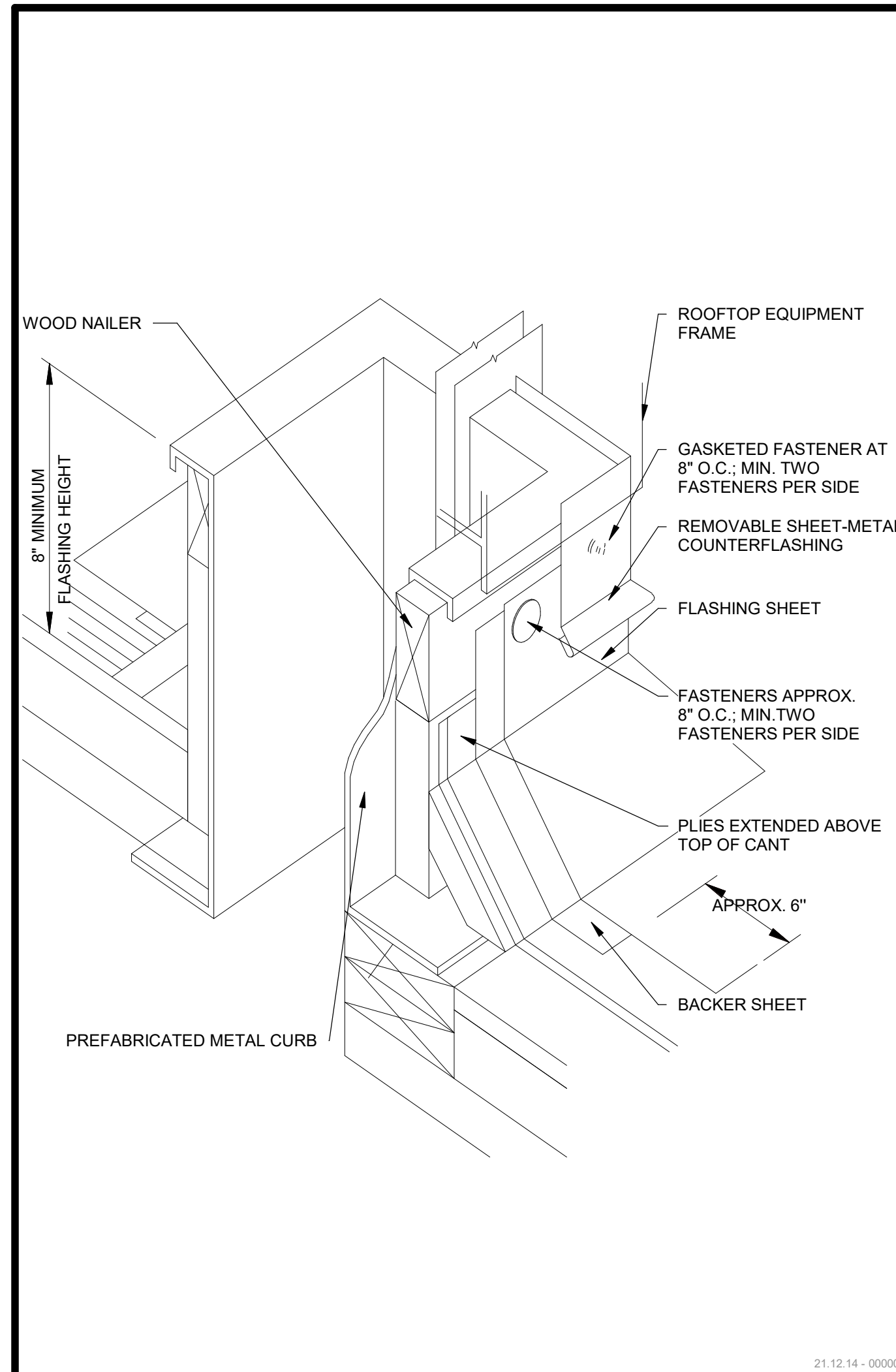
PROJECT STATUS

BID 108

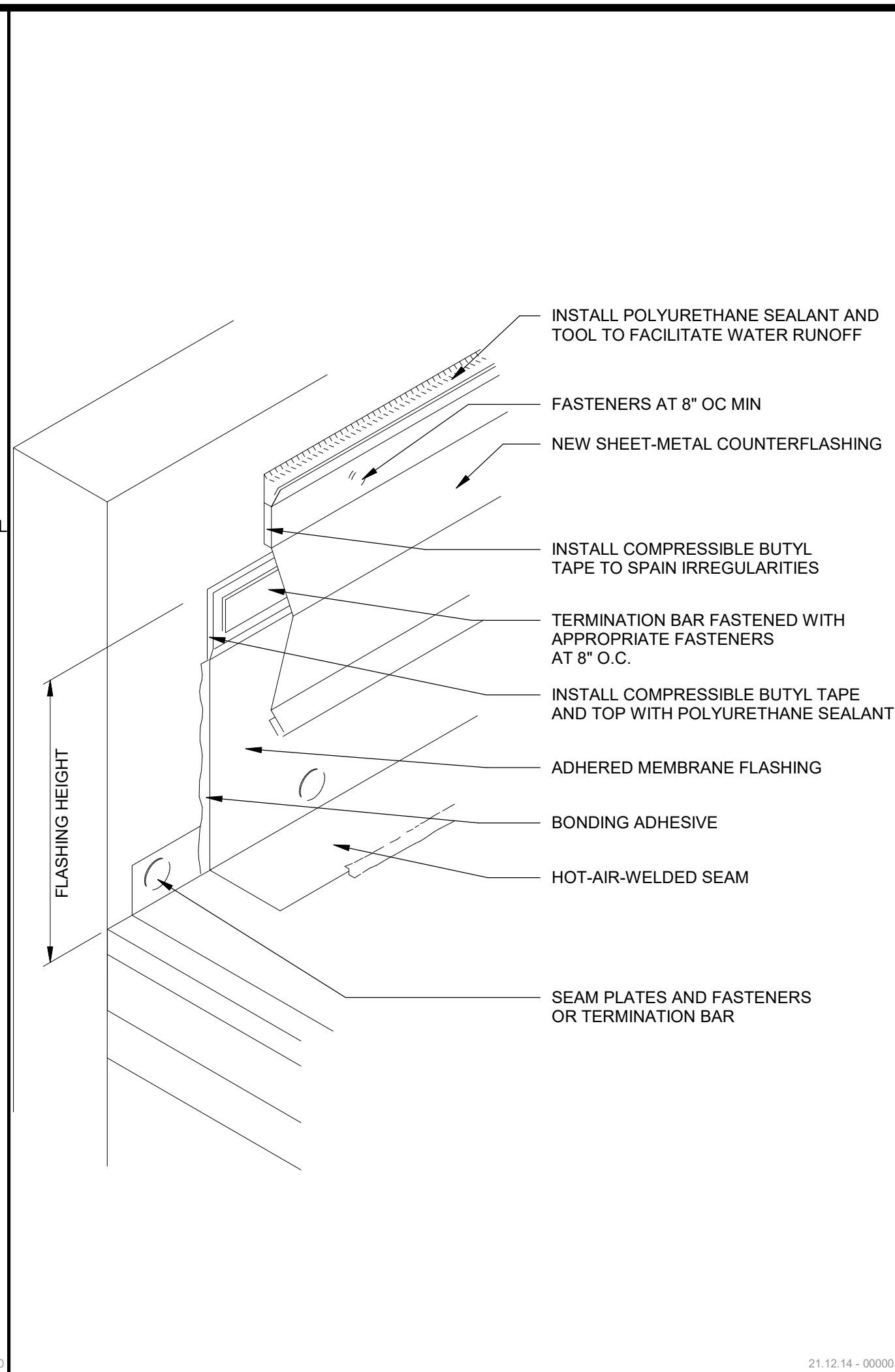


802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

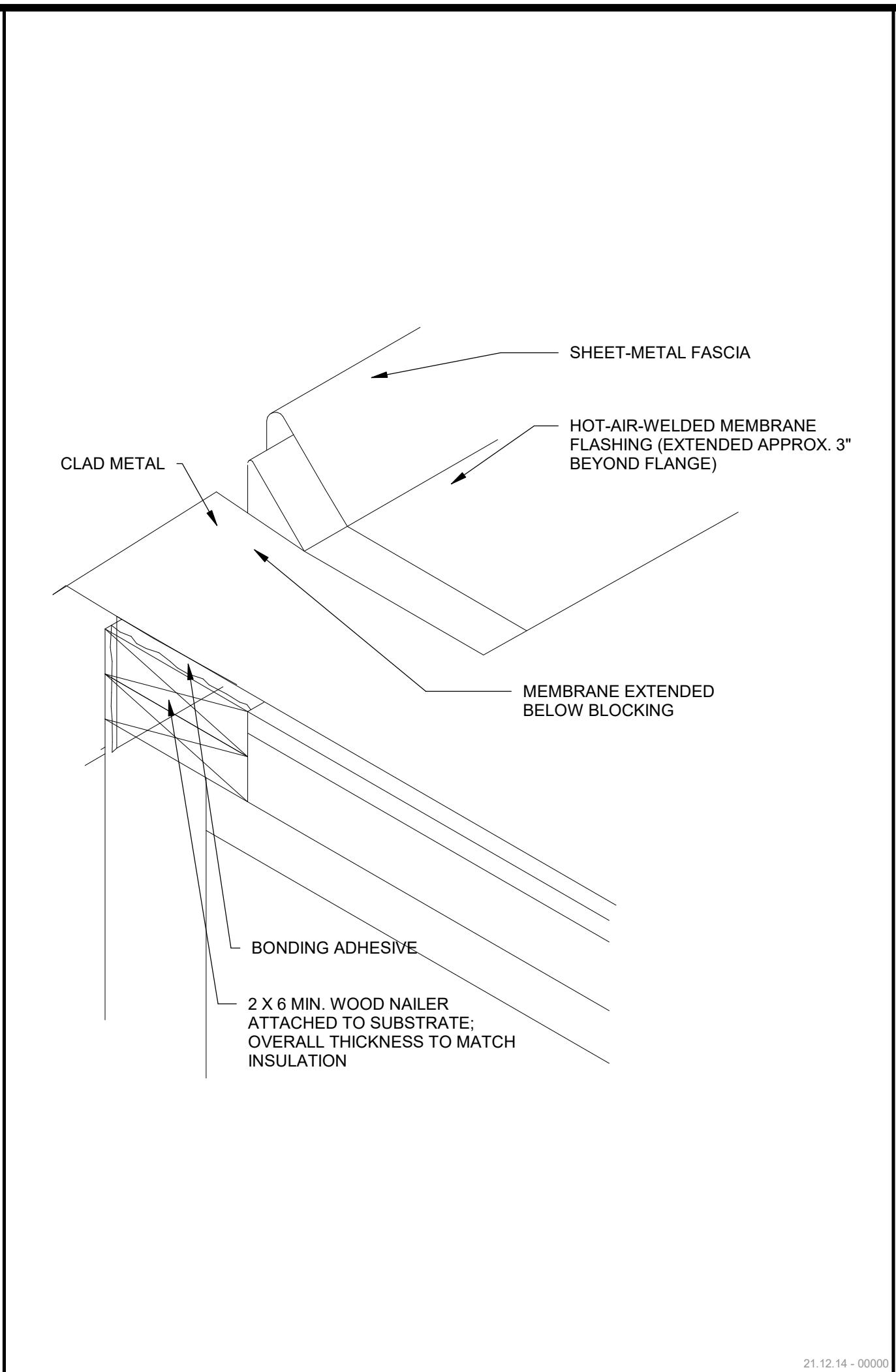
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DATE PLOTTED: 2/8/2022 11:30:32 AM



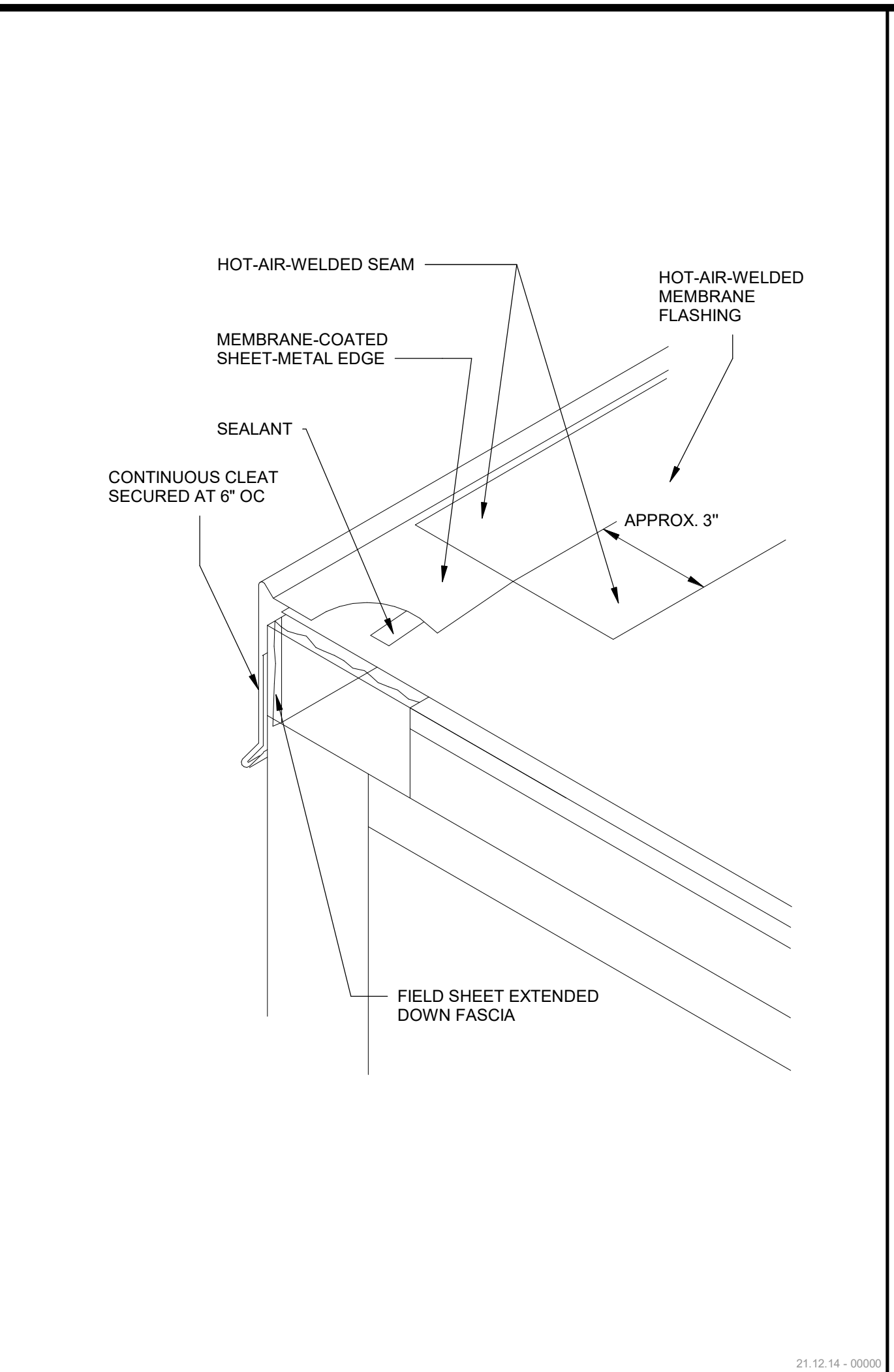
MB BASE FLASHING N.T.S. 5



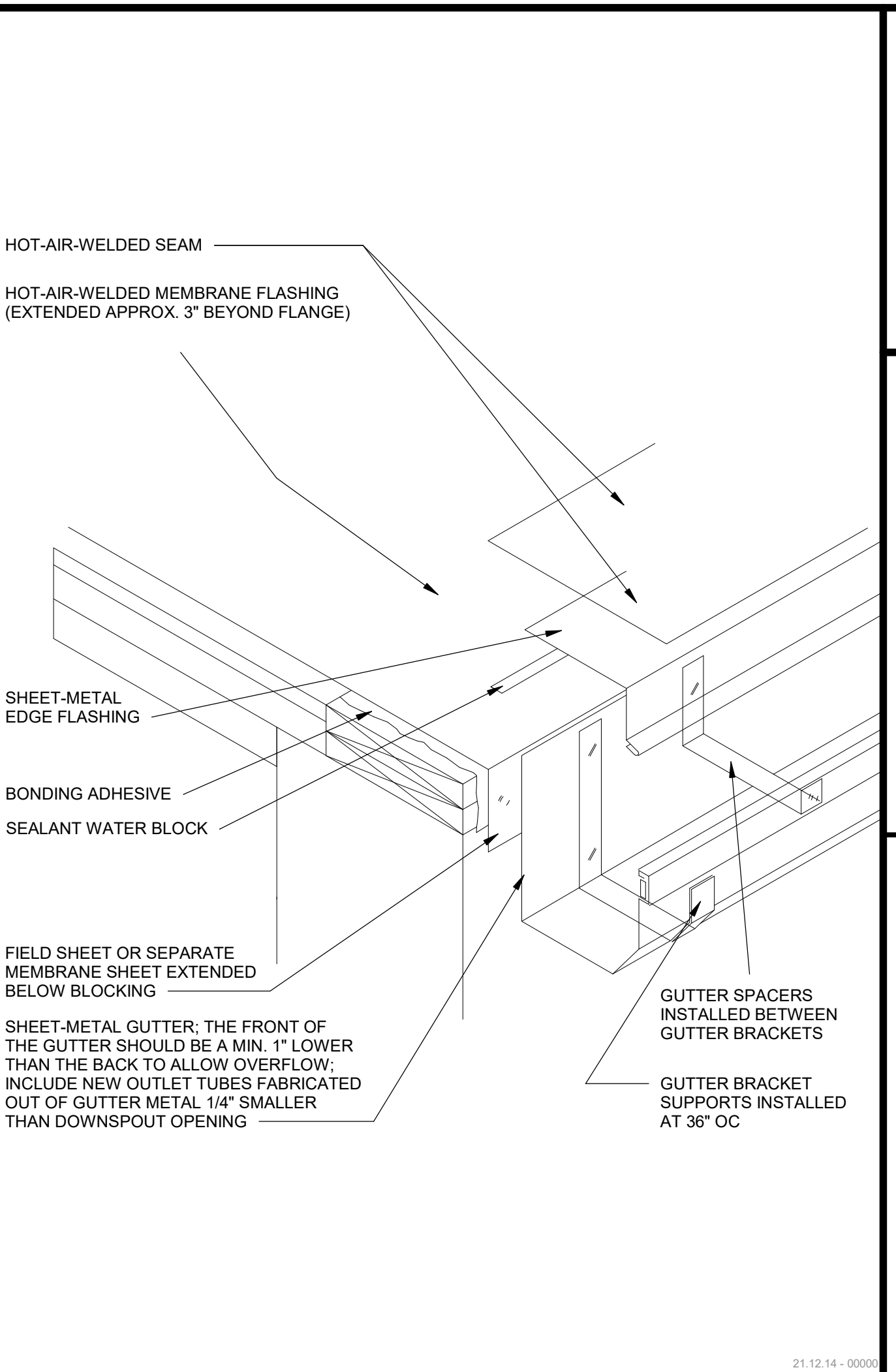
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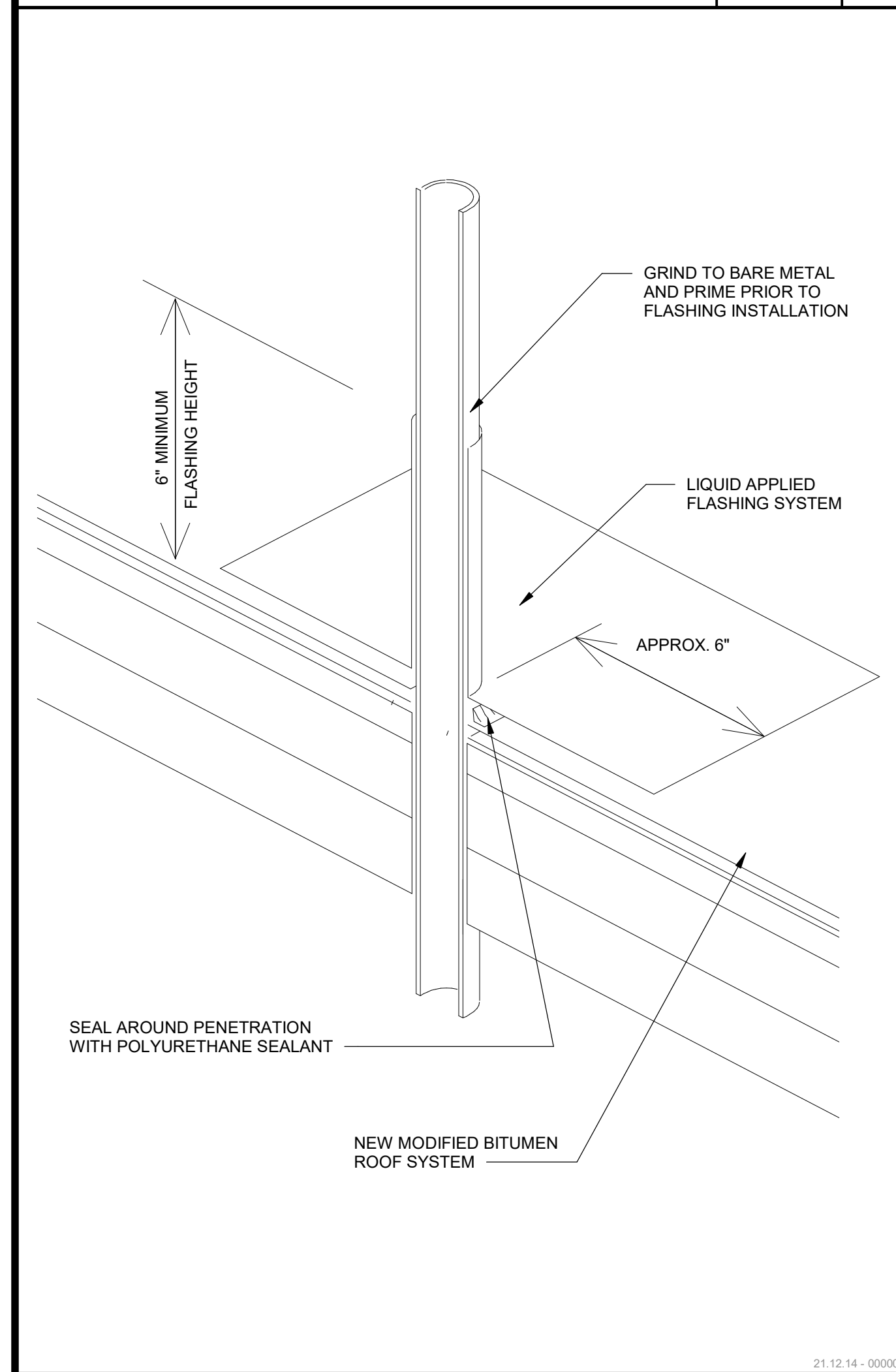
SP RAISE EDGE WITH FLASHING N.T.S. 3



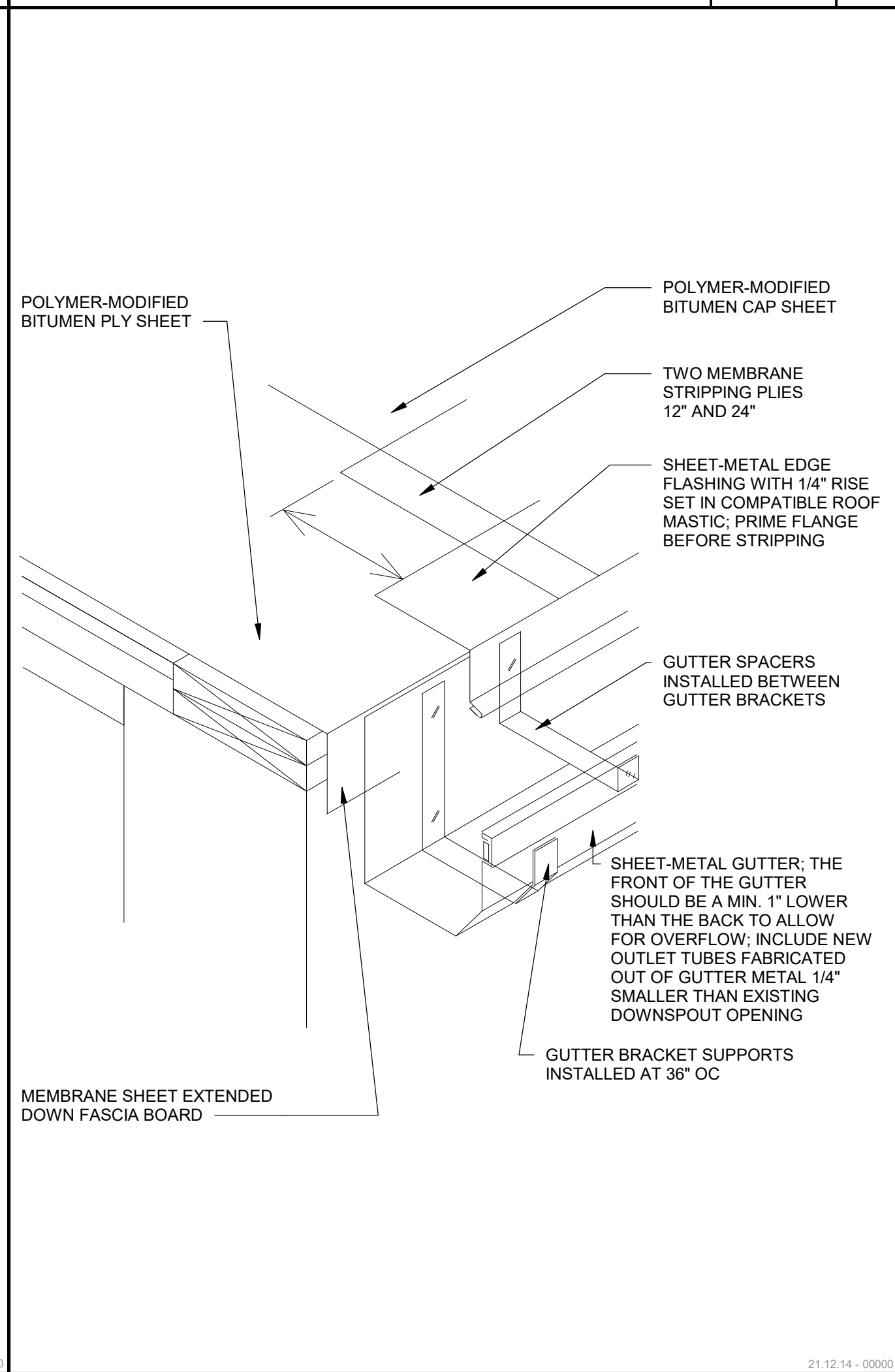
SP EDGE DETAILING N.T.S. 2



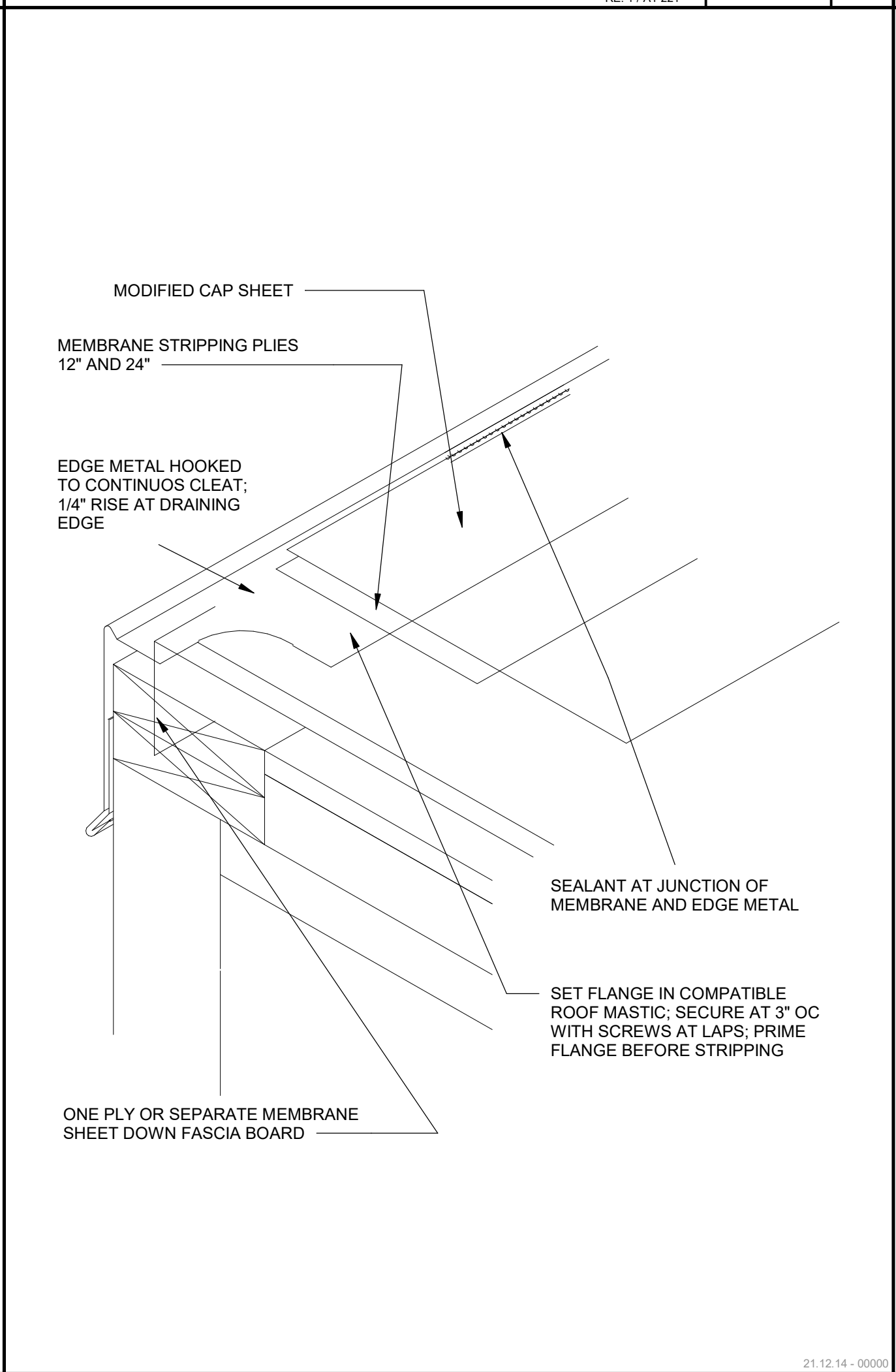
SP GUTTER DETAIL N.T.S. 1



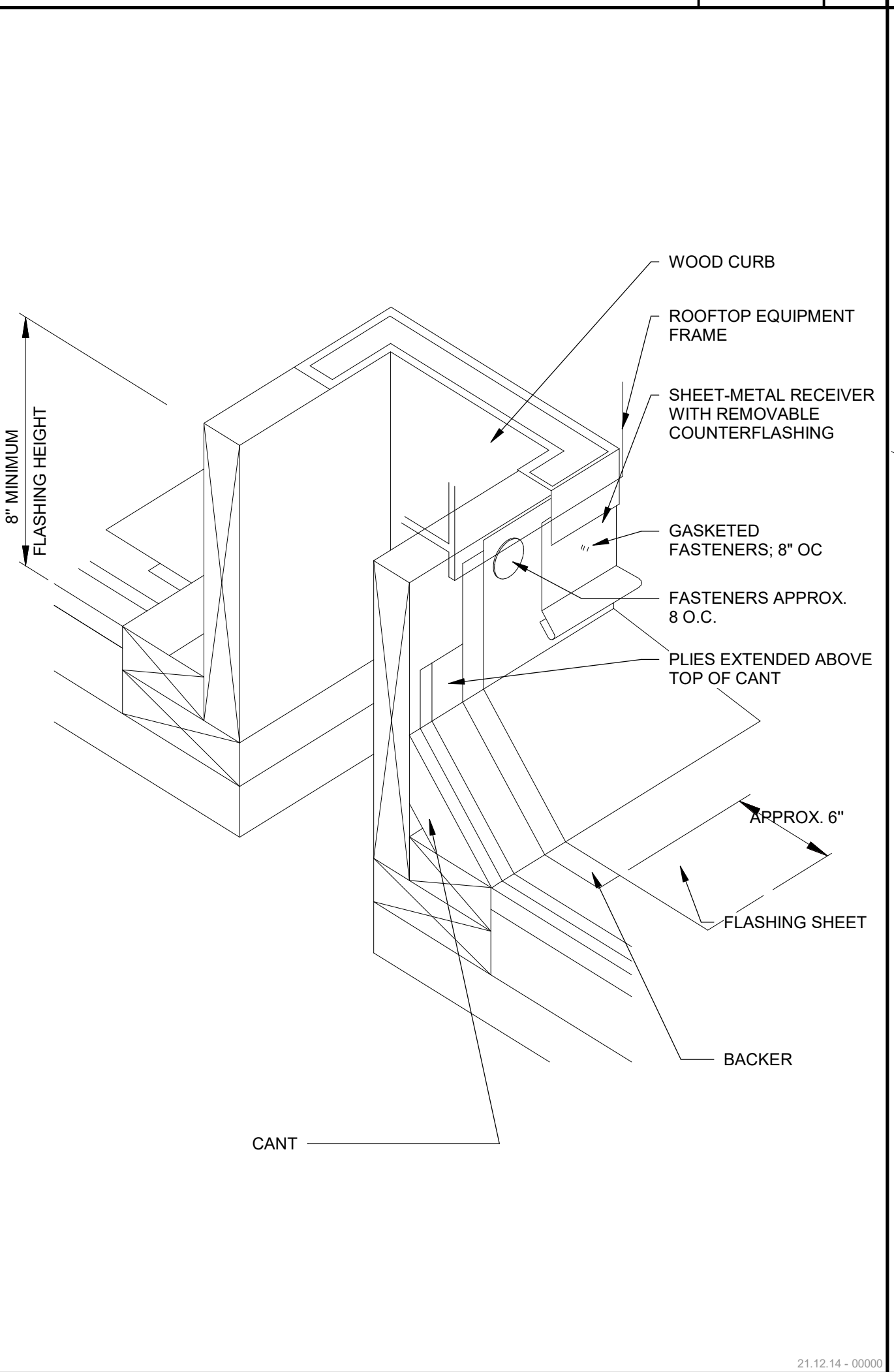
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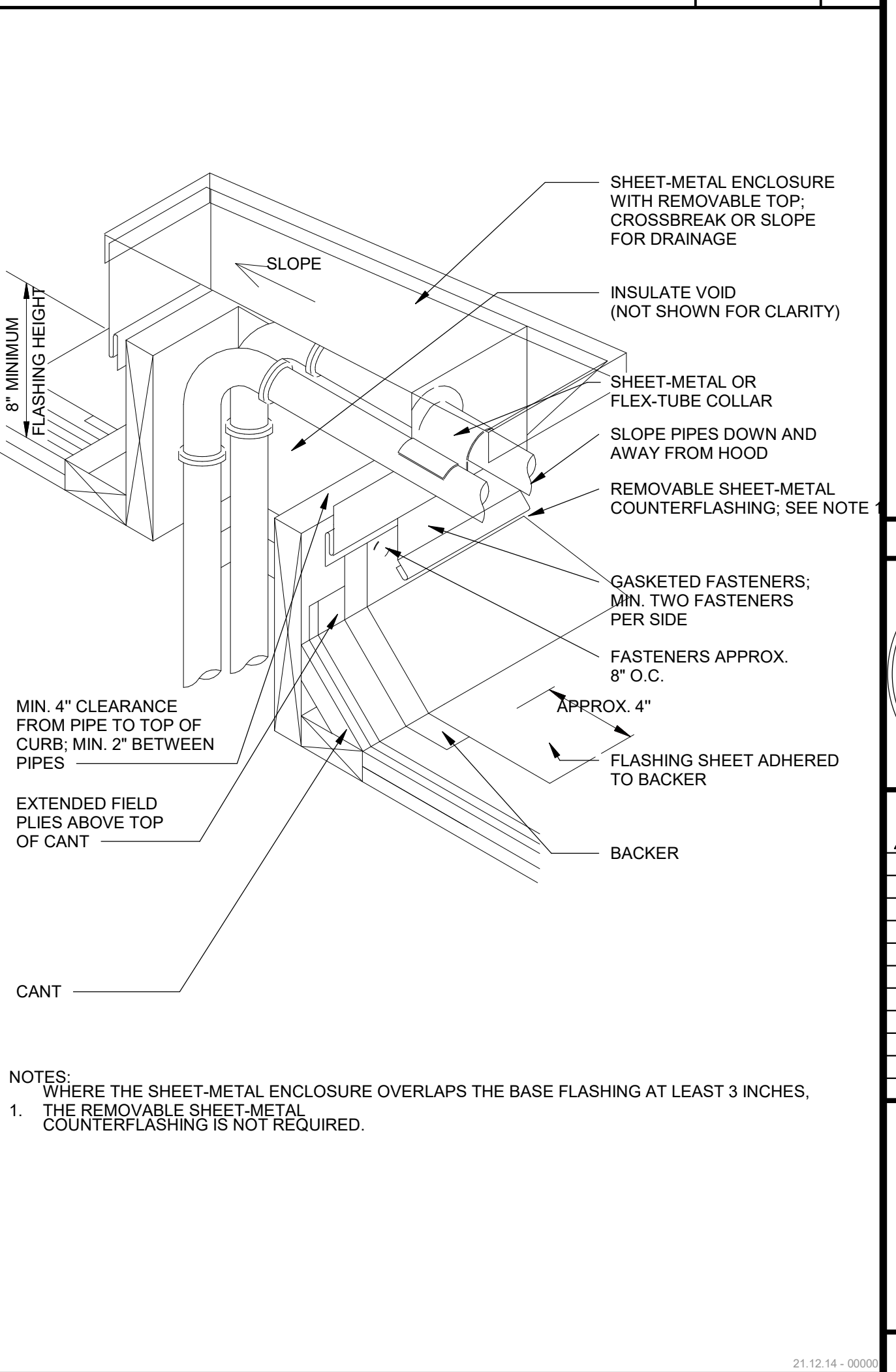
MB GUTTER DETAIL N.T.S. 9



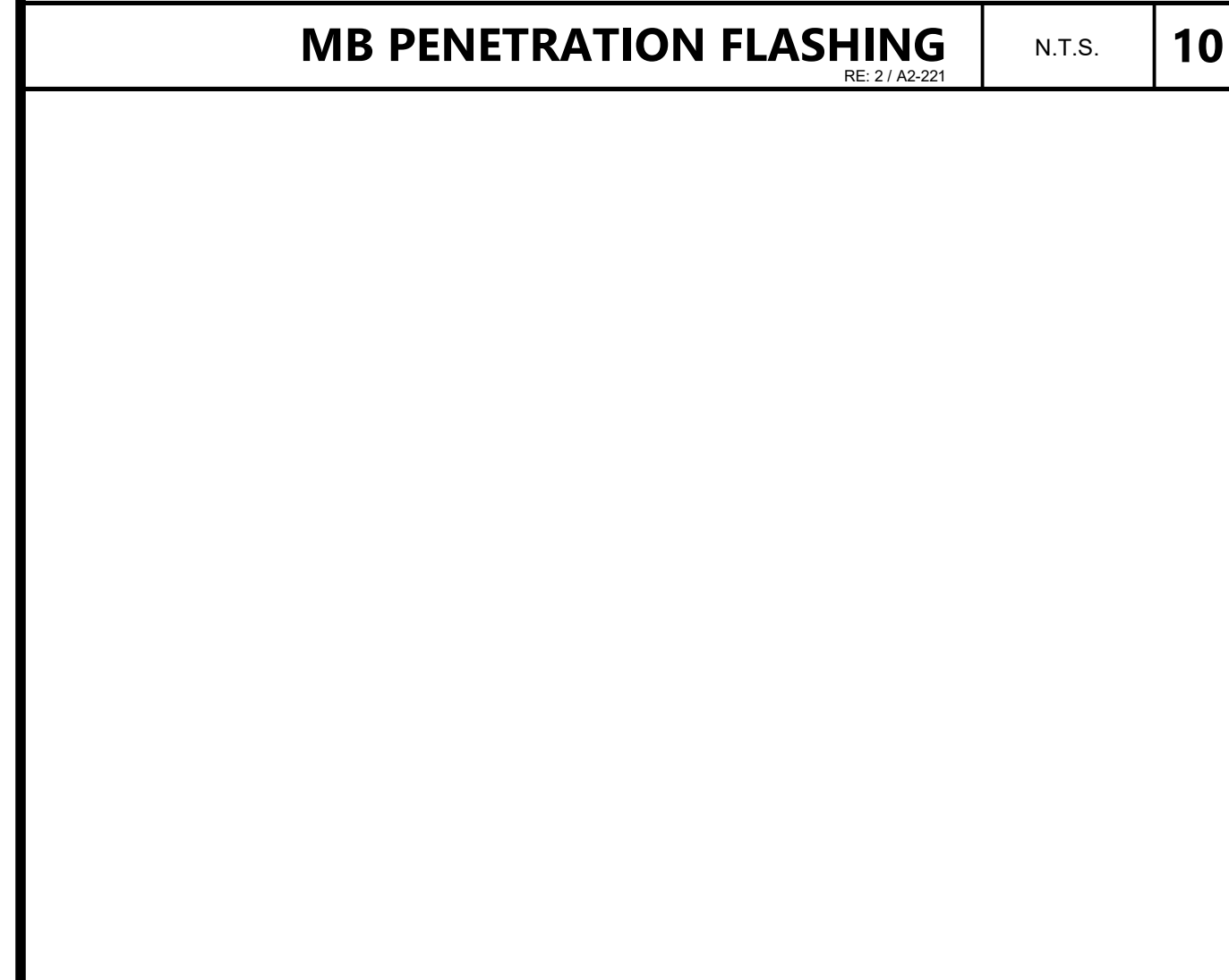
MB EMBEDDED EDGE-METAL FLASHING N.T.S. 8



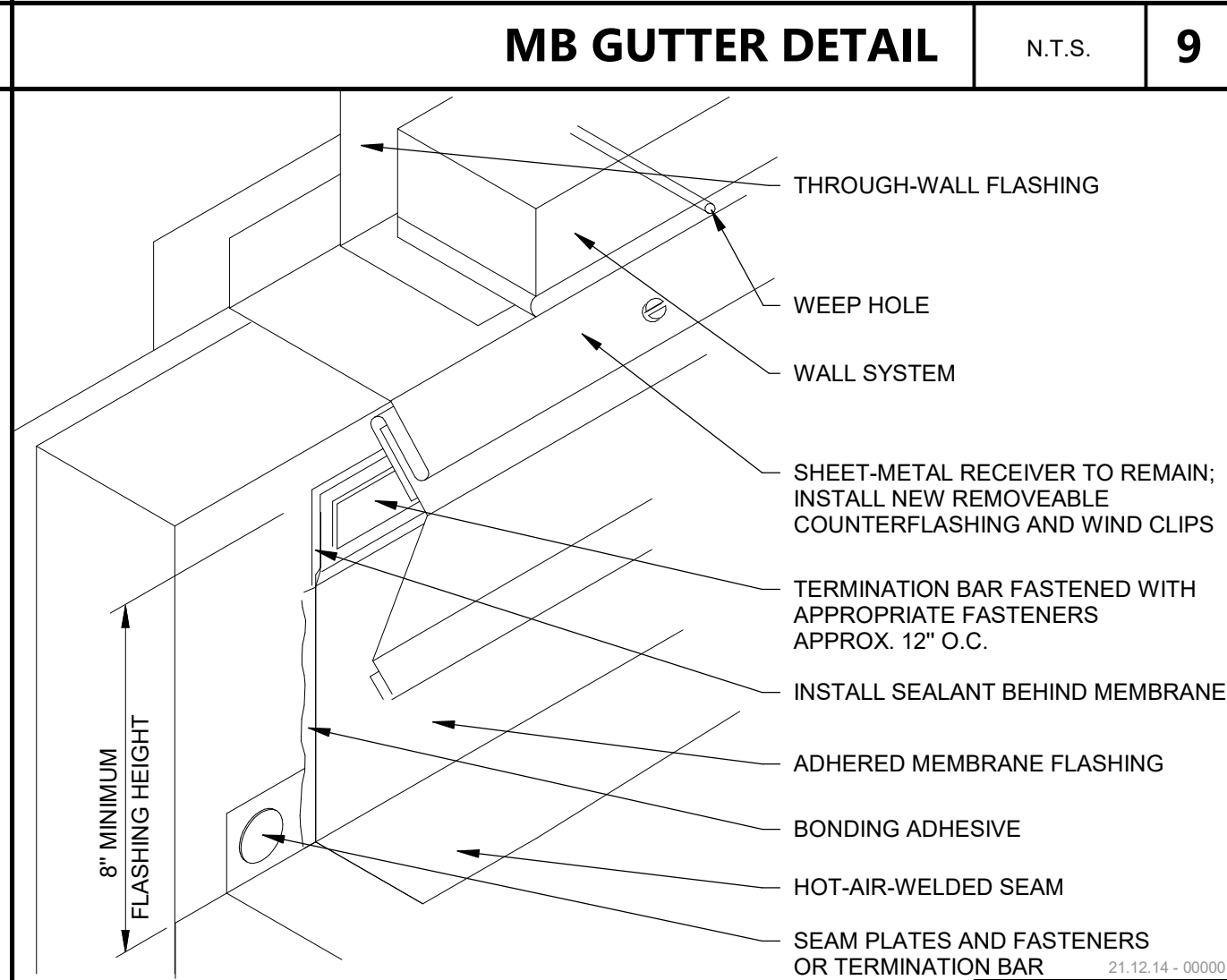
MB BASE FLASHING AT WOOD CURB N.T.S. 7



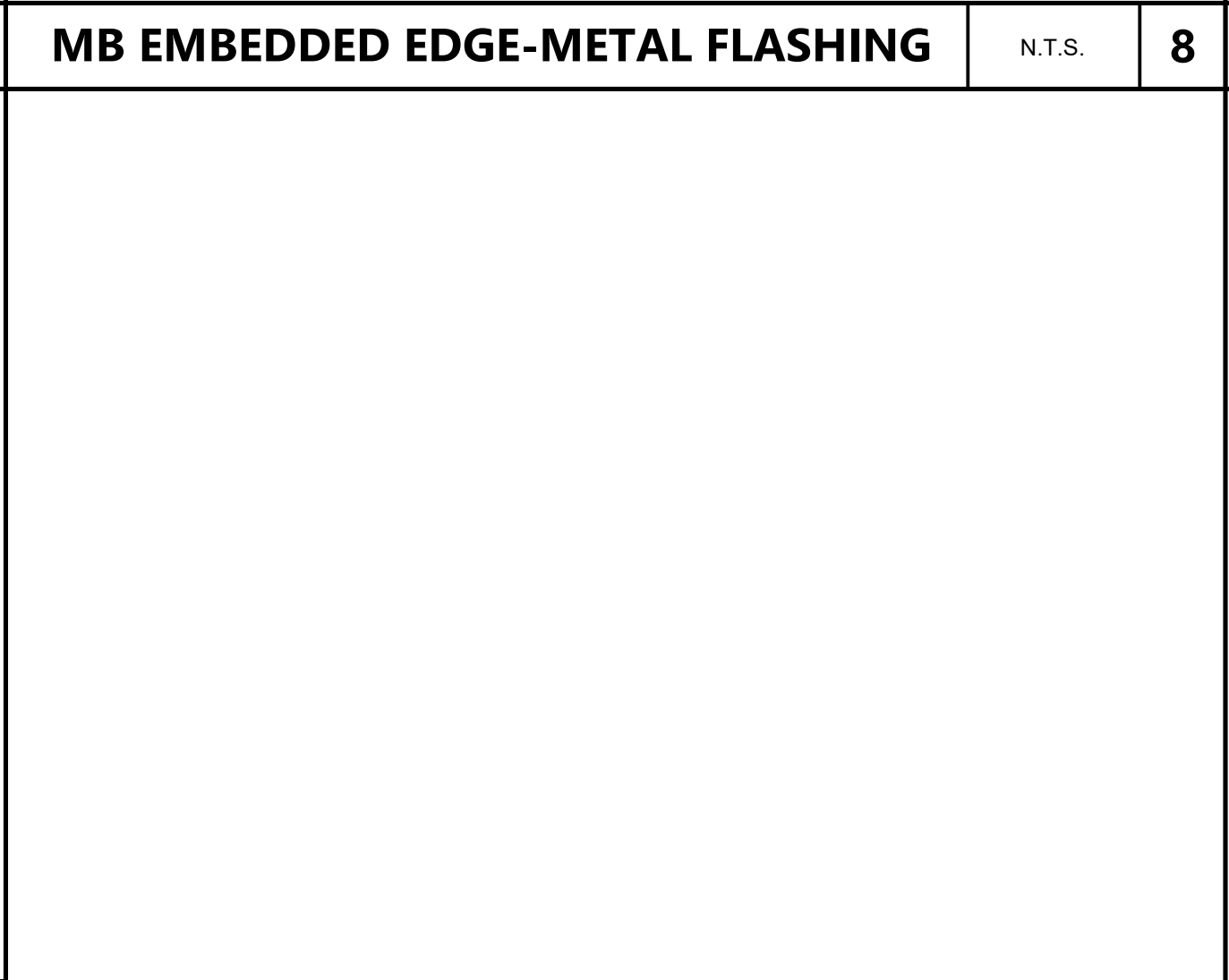
MB BASE FLASHING AT PIPE N.T.S. 6



SHEET-METAL COUNTERFLASHING N.T.S. 14



DURA BLOCK 3" x 1'-0" 12



ROOF DRAIN AND OVERFLOW 1" x 1'-0" 11

ARCHITECT STAMP CONSULTANT STAMP

LICENSED ARCHITECT  
A-111 ELEN PRIBER  
C-22474  
EXPIRES 10-31-25  
STATE OF CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

NOTES:  
1. WHERE THE SHEET-METAL ENCLOSURE OVERLAPS THE BASE FLASHING AT LEAST 3 INCHES.  
2. THE REMOVABLE SHEET-METAL COUNTERFLASHING IS NOT REQUIRED.

PROJECT OWNER & TITLE

COVINA-VALLEY UNIFIED SCHOOL DISTRICT  
519 E Badillo St  
Covina, CA 91723

SIERRA VISTA MIDDLE SCHOOL  
777 E Puente St  
Covina, CA 91723

SHEET TITLE

DETAILS

DRAWN BY: PI JOB NUMBER: 21296

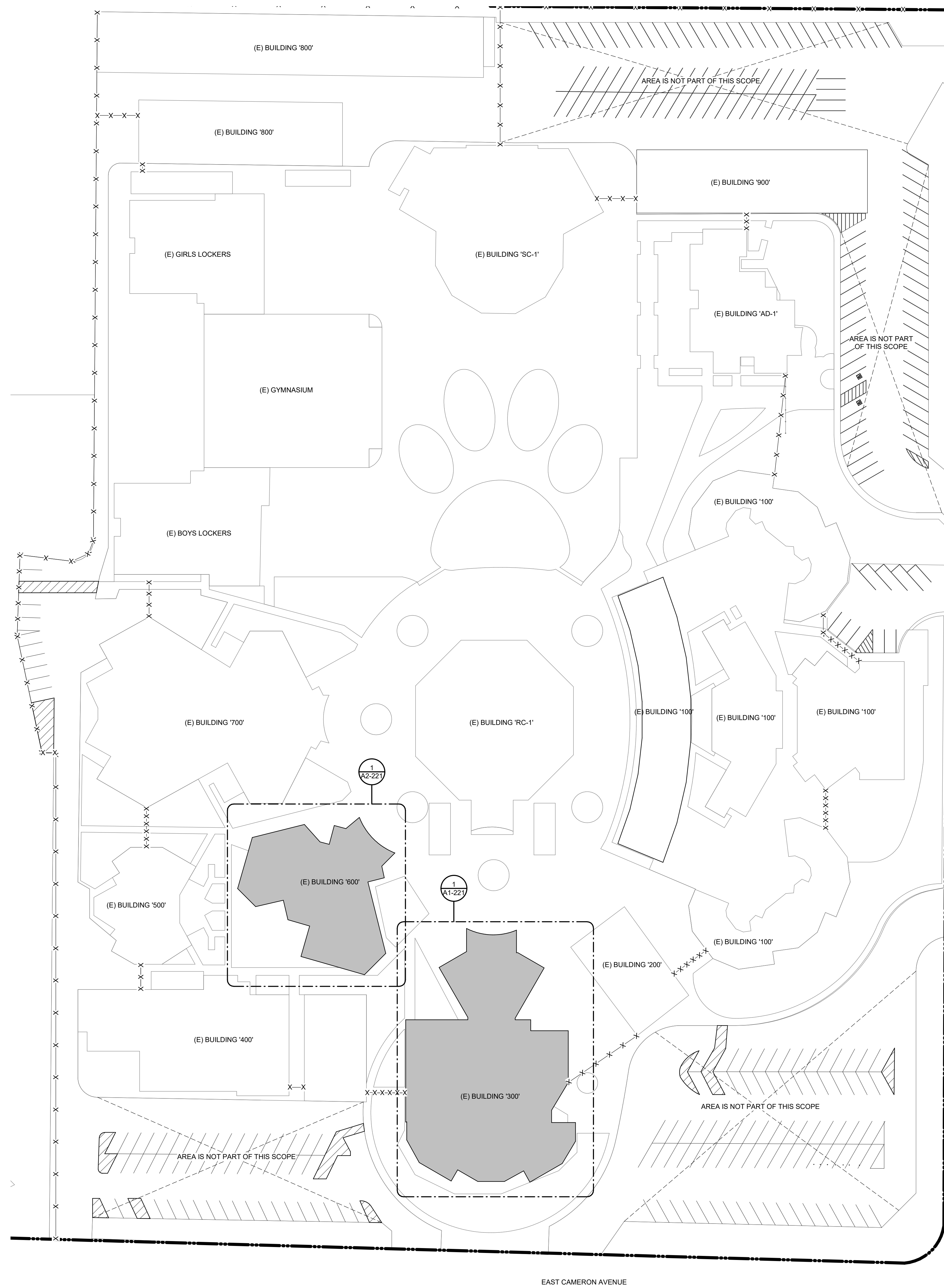
SHEET NO. **A-701**

DATE: JANUARY 01, 2020

PROJECT STATUS

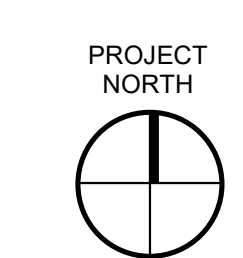


DATE PLOTTED: 2/8/2022 11:51:34 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 12- SOUTH HILLS HS\_pbrahm\G4KGM.rvt



SOUTH BARRANCA STREET

EAST CAMERON AVENUE



SITE PLAN 1" = 40'-0" 1


**SITE PLAN LEGEND**

- (E) PROPERTY LINE
- (E) CHAIN LINK FENCE
- BUILDING NOT A PART OF THIS SCOPE.
- REMOVE (E) ROOFING DOWN TO EXISTING ROOF DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING MEMBRANE. THIS INCLUDES, BUT IS NOT LIMITED TO THE EXISTING BUILT UP ROOF, ROOFING ALONG THE CURBS AND PARAPET CAPS.

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP	CONSULTANT STAMP
	

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E. Badillo St.  
Covina, CA 91723

**SOUTH HILLS HIGH SCHOOL**  
645 Barranca street  
West Covina, CA 91791

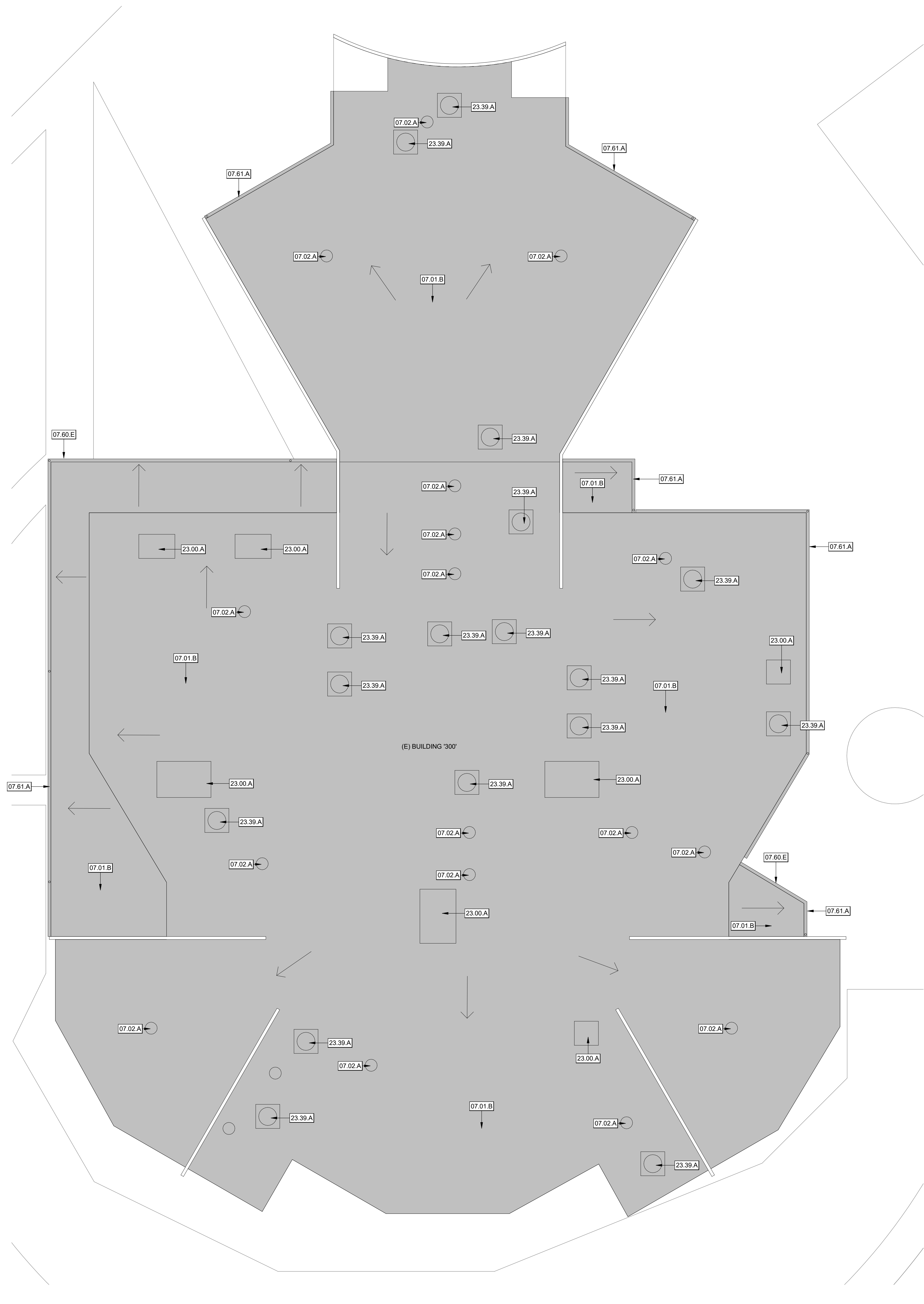
SHEET TITLE  
**SITE PLAN**

DRAWN BY: PI JOB NUMBER: 21296  
SHEET NO.

**G-101**  
DATE: JANUARY 7, 2022

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:51:22 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 12- SOUTH HILLS HS\_pbrahm\4KGM.rvt



**KEYNOTES**

- 07.01.B REMOVE (E) BUILT-UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ROOFING MATERIAL DOWN TO EXISTING DECK AND PREPARE FOR INSTALLATION OF NEW SINGLE PLY ROOFING. REMOVE (E) ROOFING MATERIAL FROM THE PARAPET WALLS. PATCH AND REPAIR PENETRATIONS TO PARAPET WALLS AND DAMAGED DECKING AS REQUIRED.
- 07.02.A PREP (E) PIPE AND VENT PENETRATIONS FOR (N) SEALS. REMOVE ALL NECESSARY ROOFING OR (E) SEALANT MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED BY NEW PIPE/VENT PENETRATION SEALS.
- 07.60.E REMOVE (E) GUTTER AT ROOF EDGE. REMOVE (E) DOWNSPOUT
- 07.61.A PREP (E) ROOF FOR (N) GUTTER & (N) DOWNSPOUT. REMOVE ALL NECESSARY (E) MATERIAL & PROTECT IN PLACE ALL AREAS NOT AFFECTED.
- 23.00.A (E) MECHANICAL EQUIPMENT, PROTECT IN PLACE.
- 23.39.A (E) EXHAUST FAN. PROTECT IN PLACE

**GENERAL NOTES**

1. THE DEMOLITION KEYNOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL SALVAGE MECHANICAL EQUIPMENT, DISCONNECTS AND CONTROLS FOR REINSTALLATION. PROTECT WITHIN LAY DOWN AREA.
3. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
5. CONTRACTOR TO INCLUDE PRICE TO REPLACE 300 LINEAR FEET PER BID PACKAGE FOR REPLACEMENT OF ANY EXISTING FASCIA BOARDS AND 700 SQUARE FEET PER BID PACKAGE FOR REPLACEMENT OF ANY DAMAGED DECKING IN THEIR BASE BID PACKAGE. CONTRACTOR TO FURTHER PROVIDE A UNIT COST PER LINEAR FOOT FOR FASCIA BOARD AND PER SQUARE FOOT OF DECKING ON THE BID SHEET FOR ADDITIONAL REPLACEMENT OR CREDIT BACK TO THE DISTRICT.

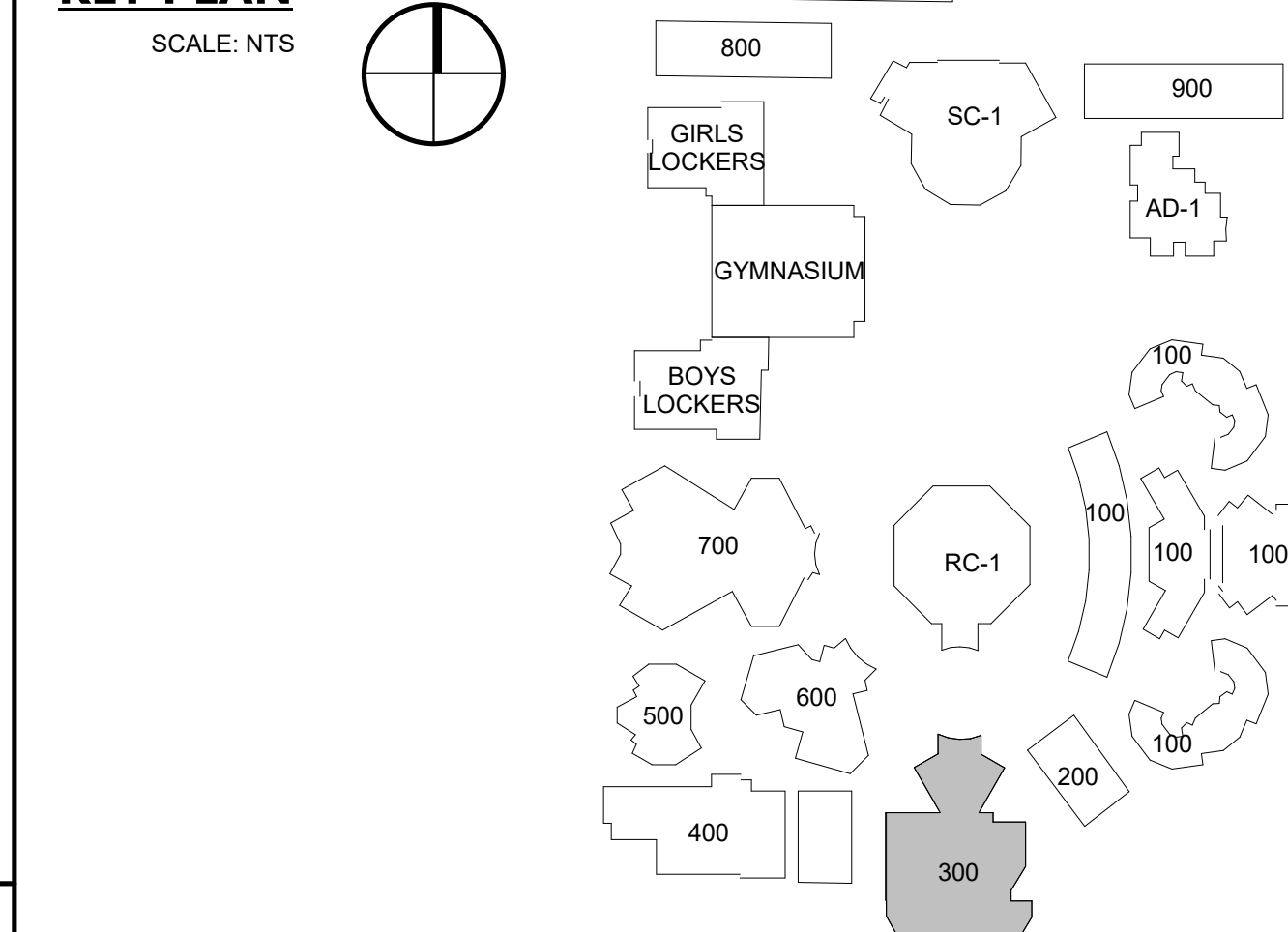
**DEMOLITION LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (E) ROOF SYSTEM, REMOVE IN ITS ENTIRETY.

**DEMOLITION NOTES**

1. IN ACCORDANCE WITH PERTINENT ITEMS OF THESE NOTES AND THOSE ITEMS SO INDICATED ON THE DRAWINGS "CAREFULLY" DEMOLISH AND REMOVE FROM THE JOB SITE THOSE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED.
2. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. SHARE PLAN WITH ARCHITECT.
3. DEMOLITION: BY CAREFUL STUDY OF THE DRAWINGS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
4. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
5. KEYNOTED ELEMENTS SCHEDULED FOR DEMOLITION ARE NOTED FOR CLARIFICATION ONLY. SEE GENERAL NOTES, LEGENDS, PLANS, AND DETAILS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
7. SURFACE CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. INCORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8. MARK INTERFACE SURFACES REQUIRED TO ENABLE WORKMAN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
9. COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
10. REPLACEMENTS: IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF WORK BASED ON OWNER PROVIDED "EXISTING" DRAWINGS AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND WILL BE RESPONSIBLE FOR DISCONNECTING AND RECONNECTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS NECESSARY TO ACCOMPLISH WORK WHETHER SPECIFICALLY INDICATED OR NOT.
12. ALL EXISTING MATERIAL NOT TO BE REUSED OR NOT INDICATED TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND BECOME THE PROPERTY OF THE CONTRACTOR FOR SALVAGE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DAILY REMOVING DEBRIS AND CLEANING THE AREA WHERE THEY ARE WORKING. THE CONTRACTOR MUST PROVIDE THEIR OWN MEANS OF DEBRIS AND WASTE REMOVAL AND MAY NOT USE THE OWNER'S WASTE RECEIPTABLES.
14. ANY ADJACENT ITEMS OR SURFACES TO THE DEMOLITION WORK THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR FINISHED TO MATCH ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.

**KEY PLAN**



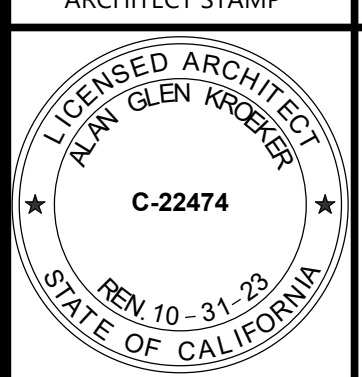
**(E) BUILDING '300' ROOF DEMOLITION PLAN** 1/8" = 1'-0" 1

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP      CONSULTANT STAMP



REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E. Badillo St.  
Covina, CA 91723

**SOUTH HILLS HIGH SCHOOL**  
645 Barranca street  
West Covina, CA 91791

SHEET TITLE  
**(E) BUILDING '300' ROOF DEMOLITION PLAN**

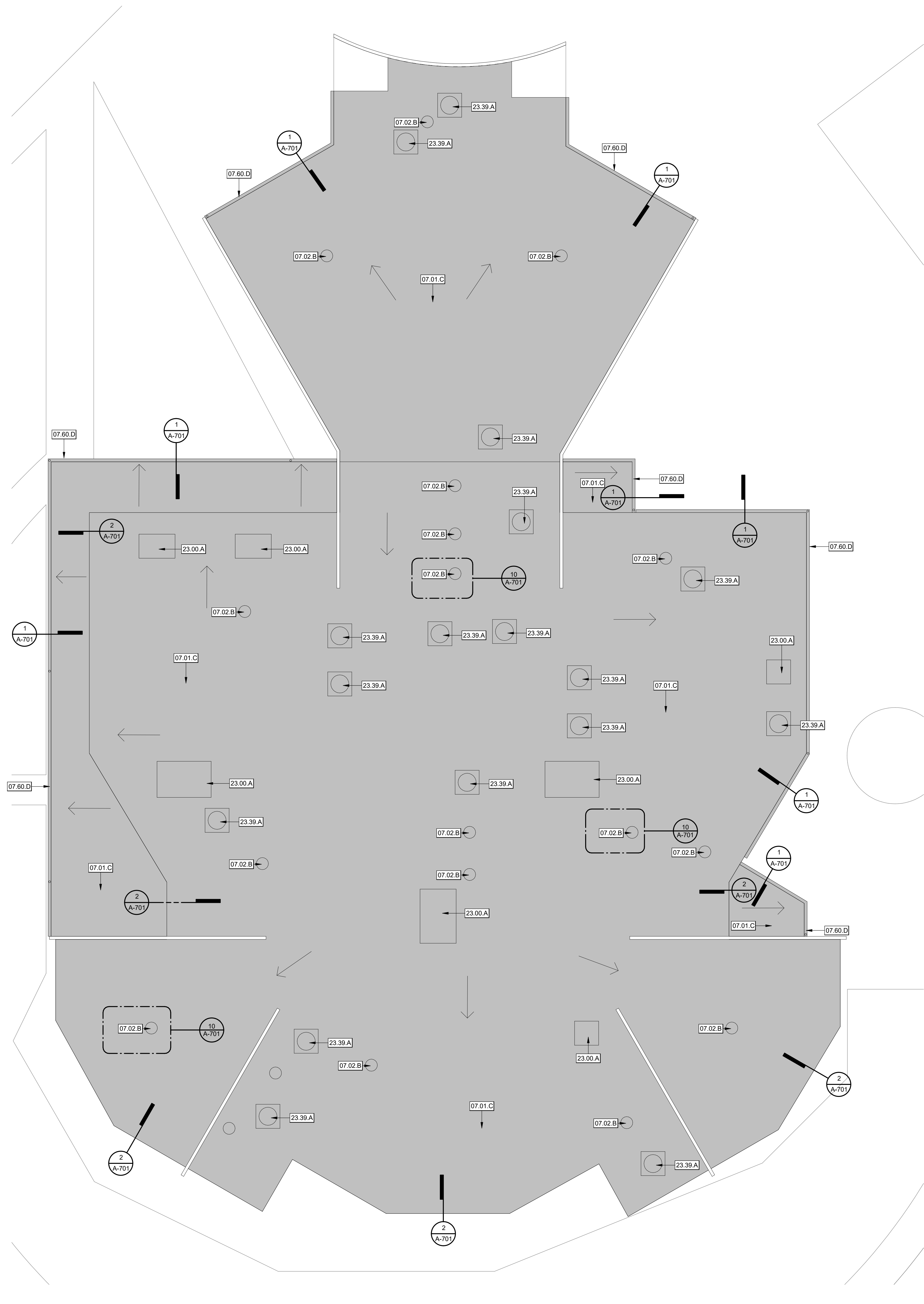
DRAWN BY: PI      JOB NUMBER: 21296

SHEET NO.  
**A1-021**

DATE: JANUARY 7, 2022

PROJECT STATUS

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 DATE PLOTTED: 2/8/2022 11:51:25 AM





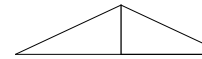
**KEYNOTES**

- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.02.B SEAL (E) PIPE & VENT PENETRATIONS
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
- 23.00.A (E) MECHANICAL EQUIPMENT, PROTECT IN PLACE.
- 23.39.A (E) EXHAUST FAN, PROTECT IN PLACE

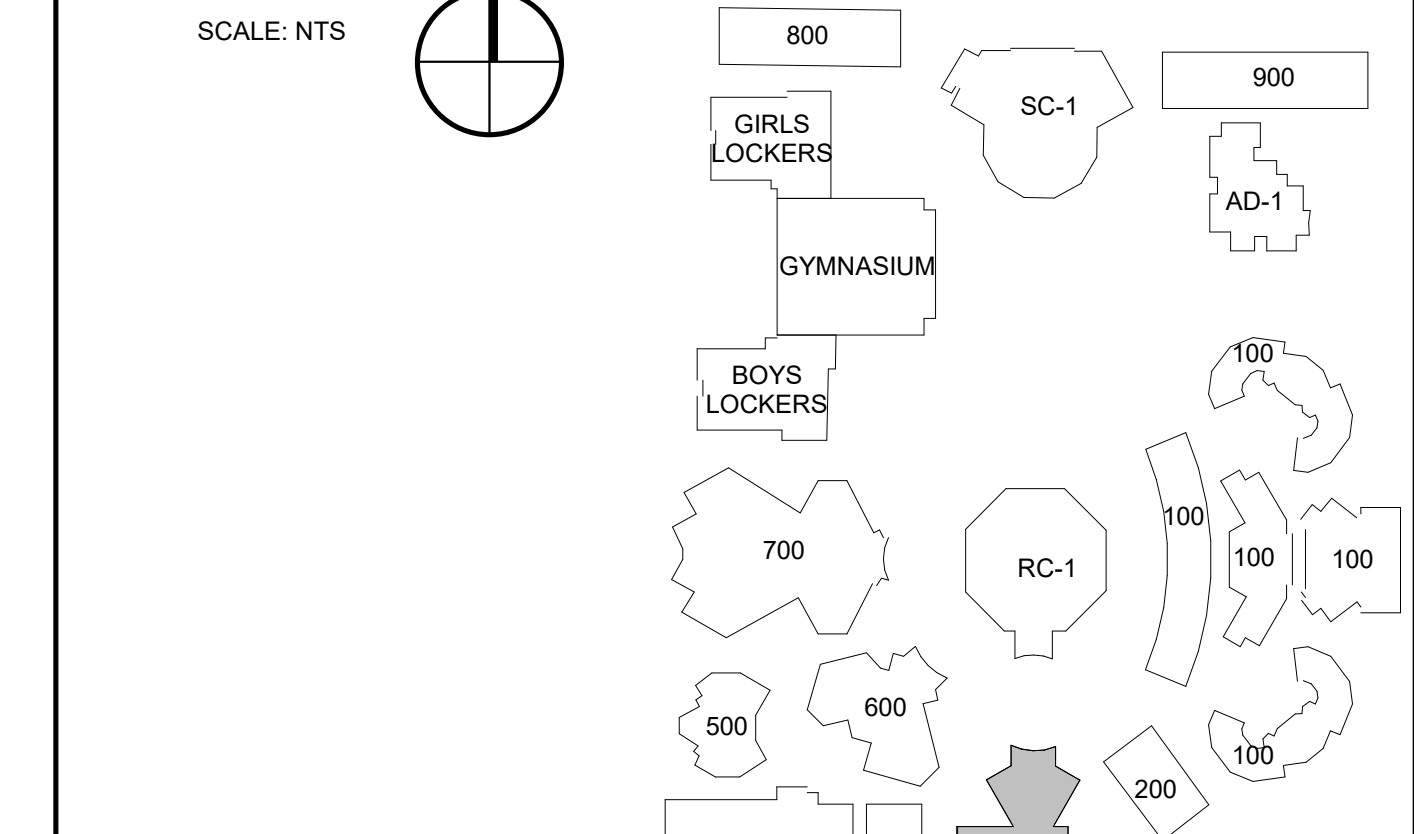
**ROOF PLAN GENERAL NOTES**

1. REPLACE ALL WOOD BLOCKS AND METAL SUPPORTS WITH (N) DURABLOCKS, TYPICAL AT ALL ROOFS. USE REDWOOD BLOCKS SET ON OVERSIZED WALKPAD SECTIONS FOR CONDUITS THAT CANNOT BE LIFTED AT LEAST 5 INCHES TO ACCOMMODATE DURABLOCK
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3. GUTTER STYLES SHALL BE SELECTED BY THE DISTRICT AND ARCHITECT PRIOR TO PLACING ORDER AND INSTALLATION. TO MATCH EXISTING SCHOOL COLORS STANDARDS. SEE PAINTING SPEC SECTION 09 91 00 FOR ADDITIONAL INFORMATION.

**PLAN LEGEND**

-  (E) ROOFING MATERIAL TO REMAIN.
-  (N) ROOF SYSTEM & STRUCTURE EXTENTS.
-  CRICKET


**KEY PLAN**



**BID 108**



802 EAST COTA STREET, SUITE A  
 SANTA BARBARA, CA 93103  
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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
 519 E. Badillo St.  
 Covina, CA 91723

**SOUTH HILLS HIGH SCHOOL**  
 645 Barranca street  
 West Covina, CA 91791

SHEET TITLE  
**(E) BUILDING '300' ROOF PLAN**

DRAWN BY: PI      JOB NUMBER: 21296

SHEET NO.  
**A1-221**  
 DATE: JANUARY 7, 2022

PROJECT STATUS



DATE PLOTTED: 2/8/2022 11:51:27 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 12- SOUTH HILLS HS\_pbrahm64KGM.rvt



**KEYNOTES**

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4. PROTECT IN PLACE ALL (E) ELECTRICAL CONDUITS, TYPICAL OF ALL ROOF CONDITIONS.
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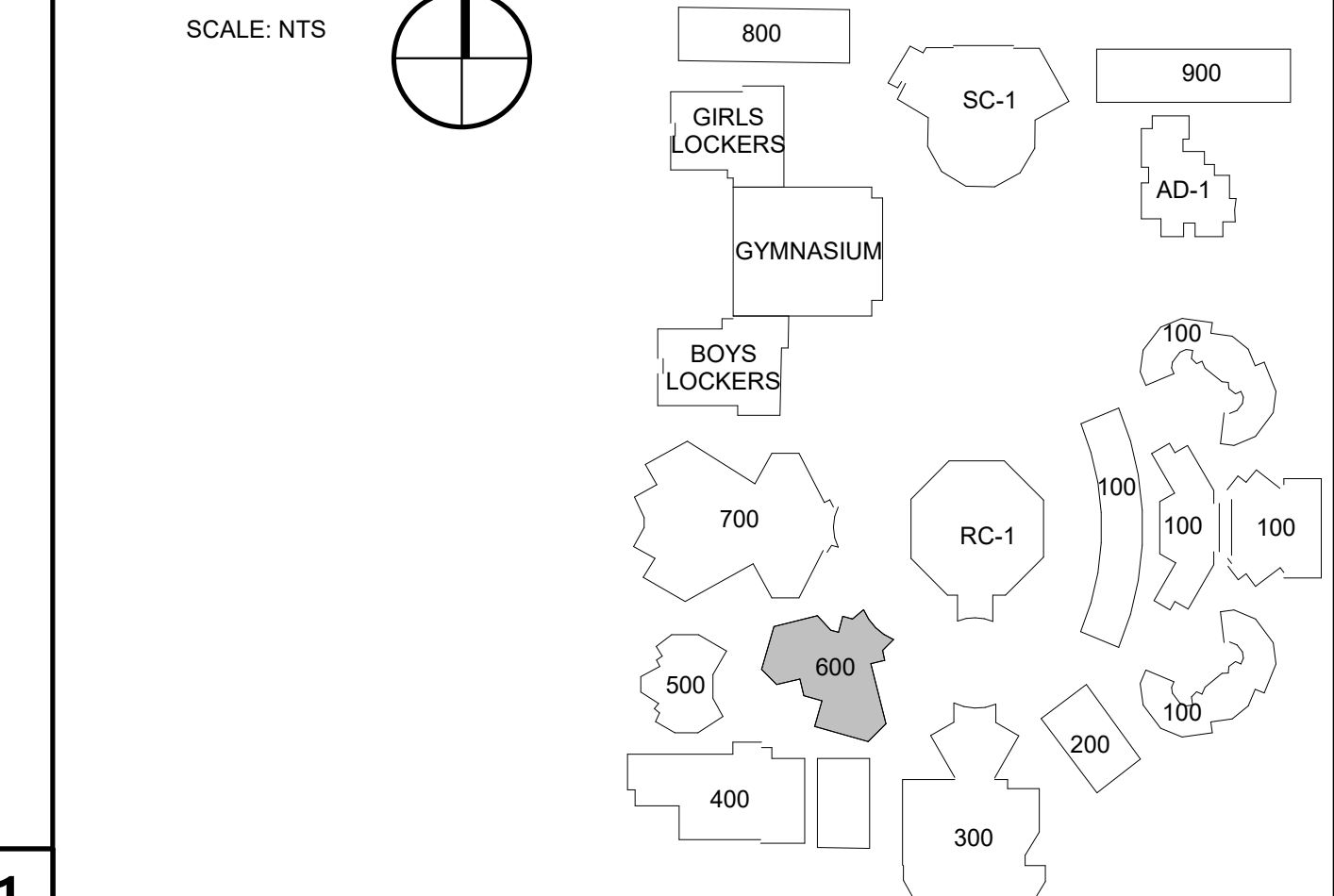
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**KEY PLAN**



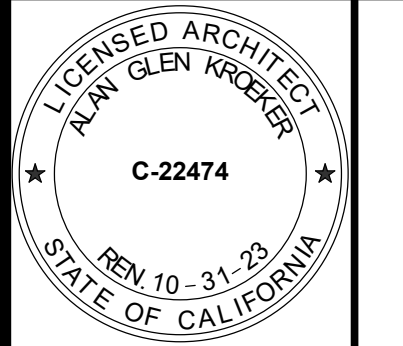
**(E) BUILDING '600' ROOF DEMOLITION PLAN** 1/8" = 1'-0" 1

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP CONSULTANT STAMP



REVISIONS

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PROJECT OWNER & TITLE  
**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E. Badillo St.  
Covina, CA 91723

**SOUTH HILLS HIGH SCHOOL**  
645 Barranca street  
West Covina, CA 91791

SHEET TITLE  
**(E) BUILDING '600' ROOF DEMOLITION PLAN**

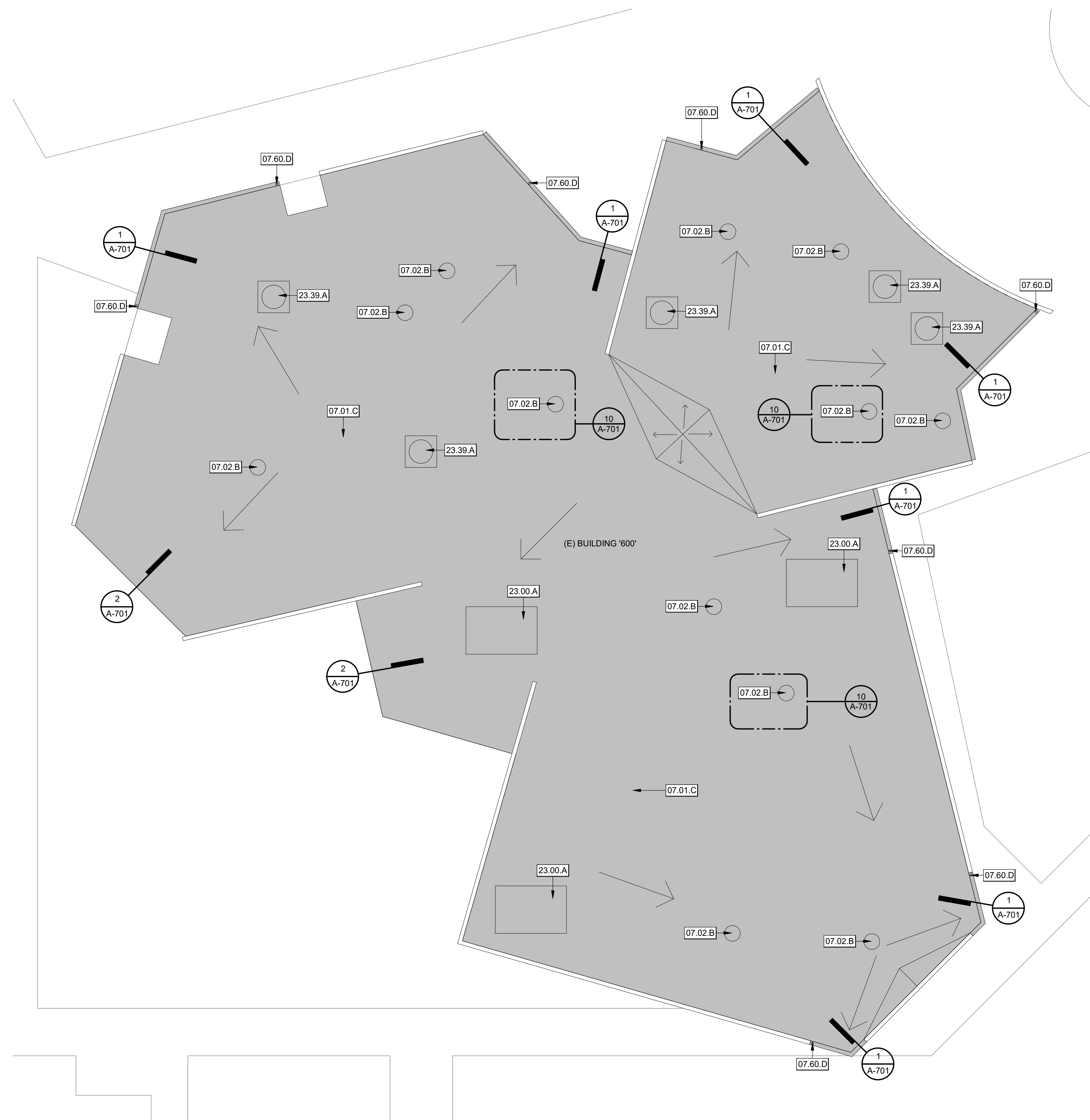
DRAWN BY: PI JOB NUMBER: 21296

SHEET NO.  
**A2-021**

DATE: JANUARY 7, 2022

PROJECT STATUS

DATE PLOTTED: 2/8/2022 11:51:29 AM FILE LOCATION: C:\Users\pbrahm\Documents\21296 Covina-Valley School District - 12- SOUTH HILLS HS\_pbrahm\4KGM.rvt



**KEYNOTES**

- 07.01.C INSTALL FULLY ADHERED SINGLE PLY ROOFING SYSTEM PER MANUFACTURER'S DETAILS, SPECIFICATIONS, AND INSTALLATION GUIDES.
- 07.02.B SEAL (E) PIPE & VENT PENETRATIONS
- 07.60.D (N) GUTTER SYSTEM ATTACHED TO (N) DOWNSPOUTS
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- 23.39.A (E) EXHAUST FAN, PROTECT IN PLACE

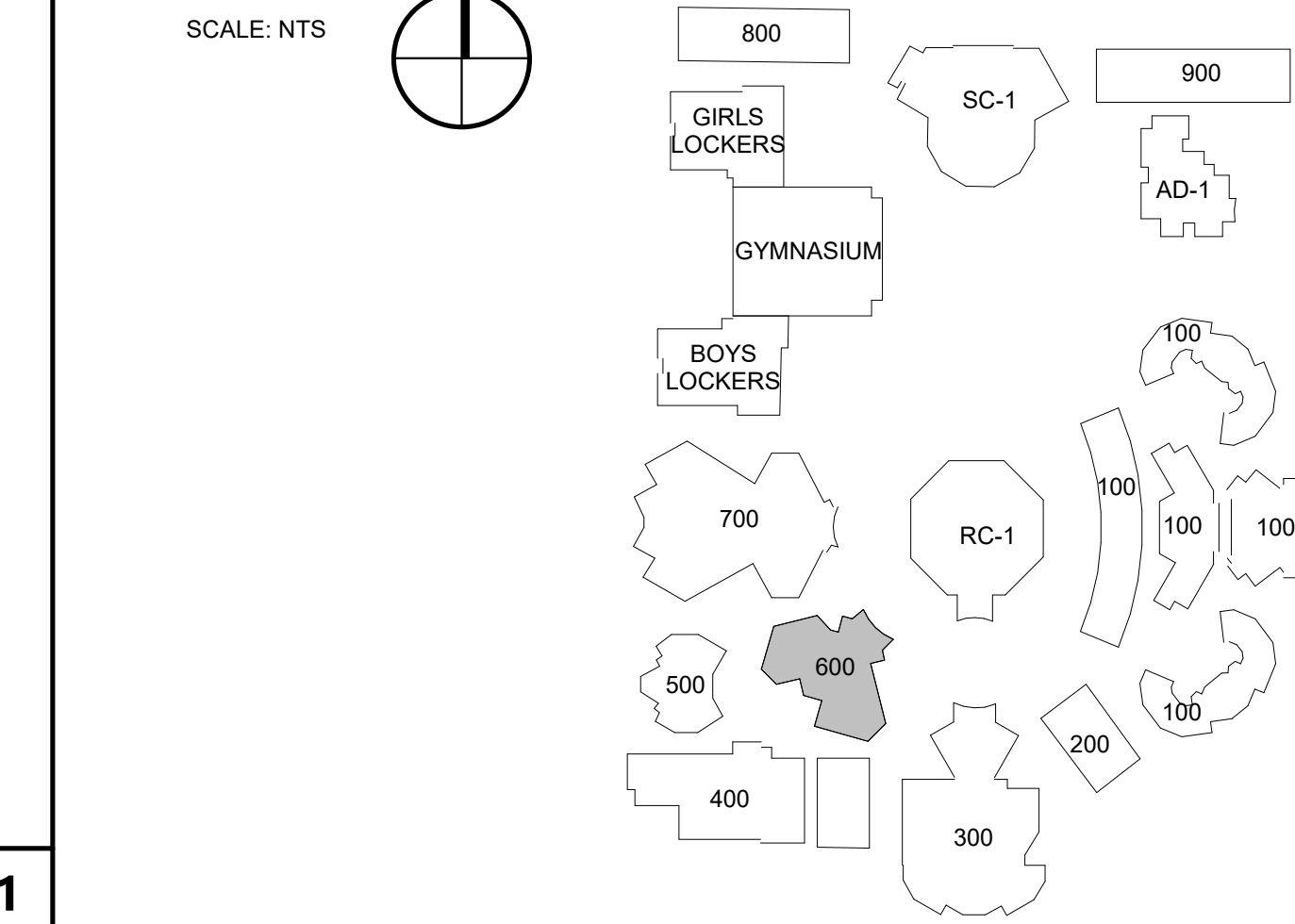
**ROOF PLAN GENERAL NOTES**

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**PLAN LEGEND**

- (E) ROOFING MATERIAL TO REMAIN.
- (N) ROOF SYSTEM & STRUCTURE EXTENTS.
- CRICKET

**KEY PLAN**



**(E) BUILDING '600' ROOF PLAN** 1/8" = 1'-0" 1

**BID 108**



802 EAST COTA STREET, SUITE A  
SANTA BARBARA, CA 93103  
TEL (805) 963-1955

ARCHITECT STAMP	CONSULTANT STAMP

REVISIONS

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**COVINA-VALLEY UNIFIED SCHOOL DISTRICT**  
519 E. Badillo St.  
Covina, CA 91723

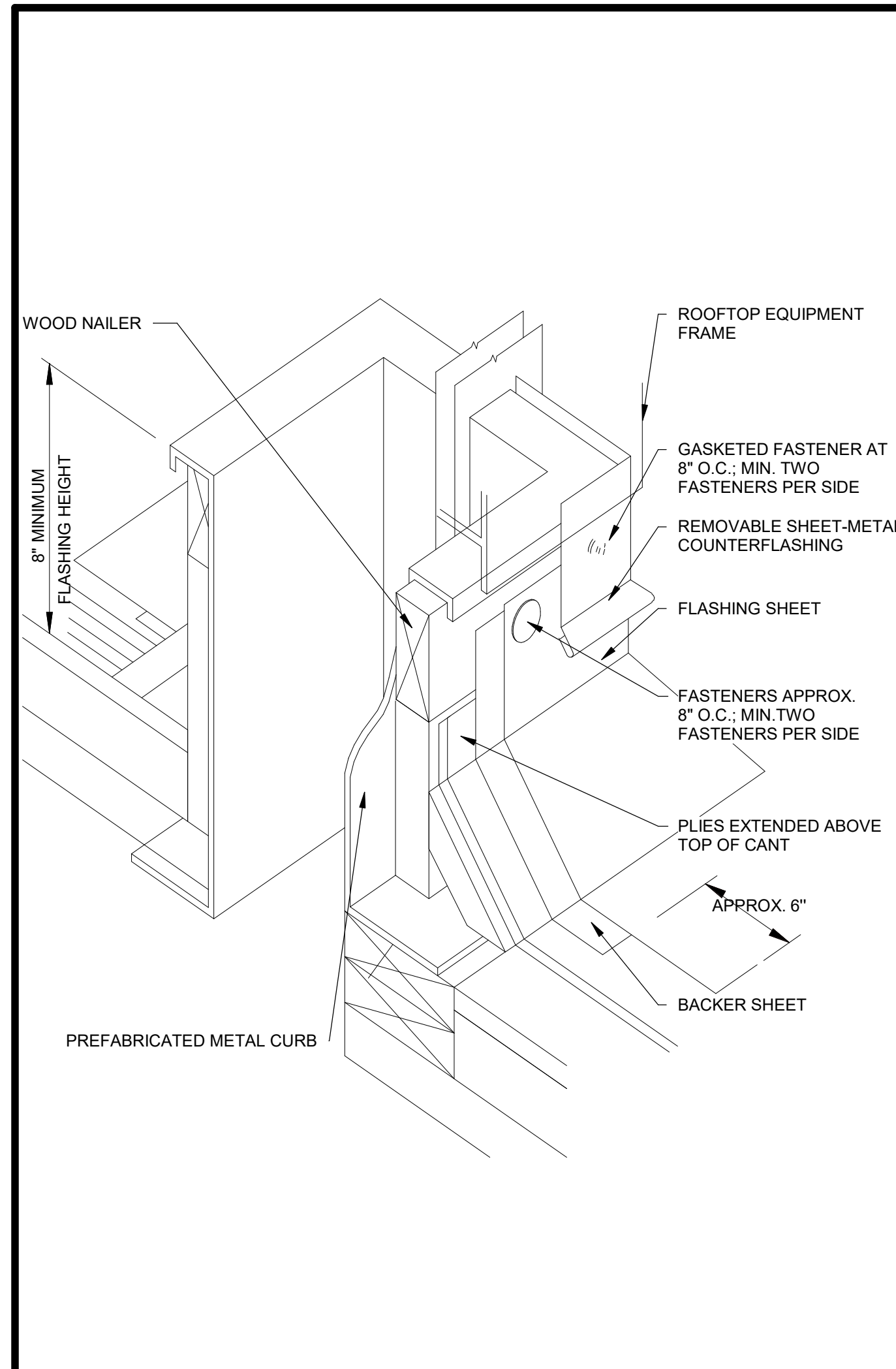
**SOUTH HILLS HIGH SCHOOL**  
645 Barranca street  
West Covina, CA 91791

SHEET TITLE  
**(E) BUILDING '600' ROOF PLAN**

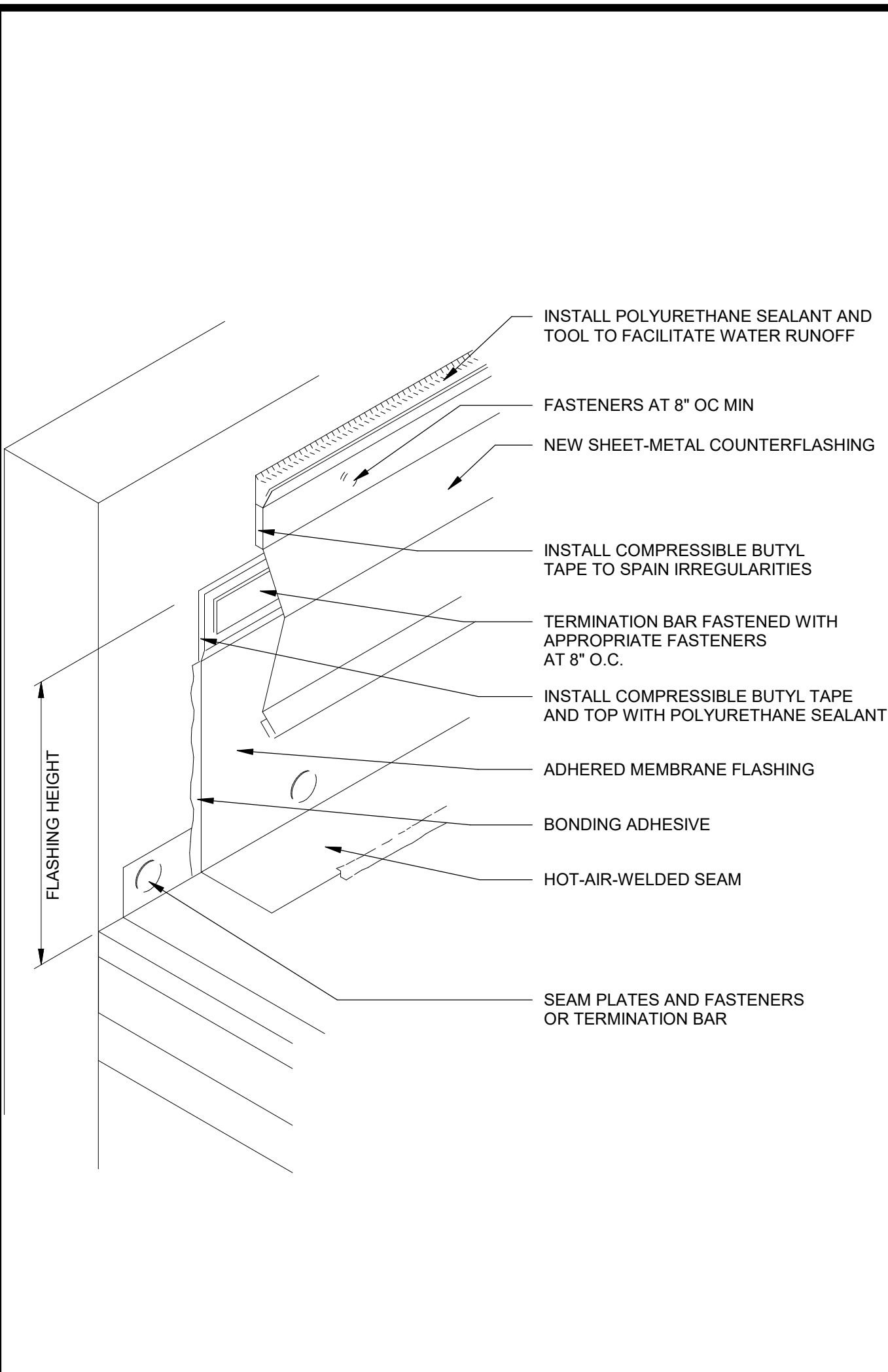
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**A2-221**  
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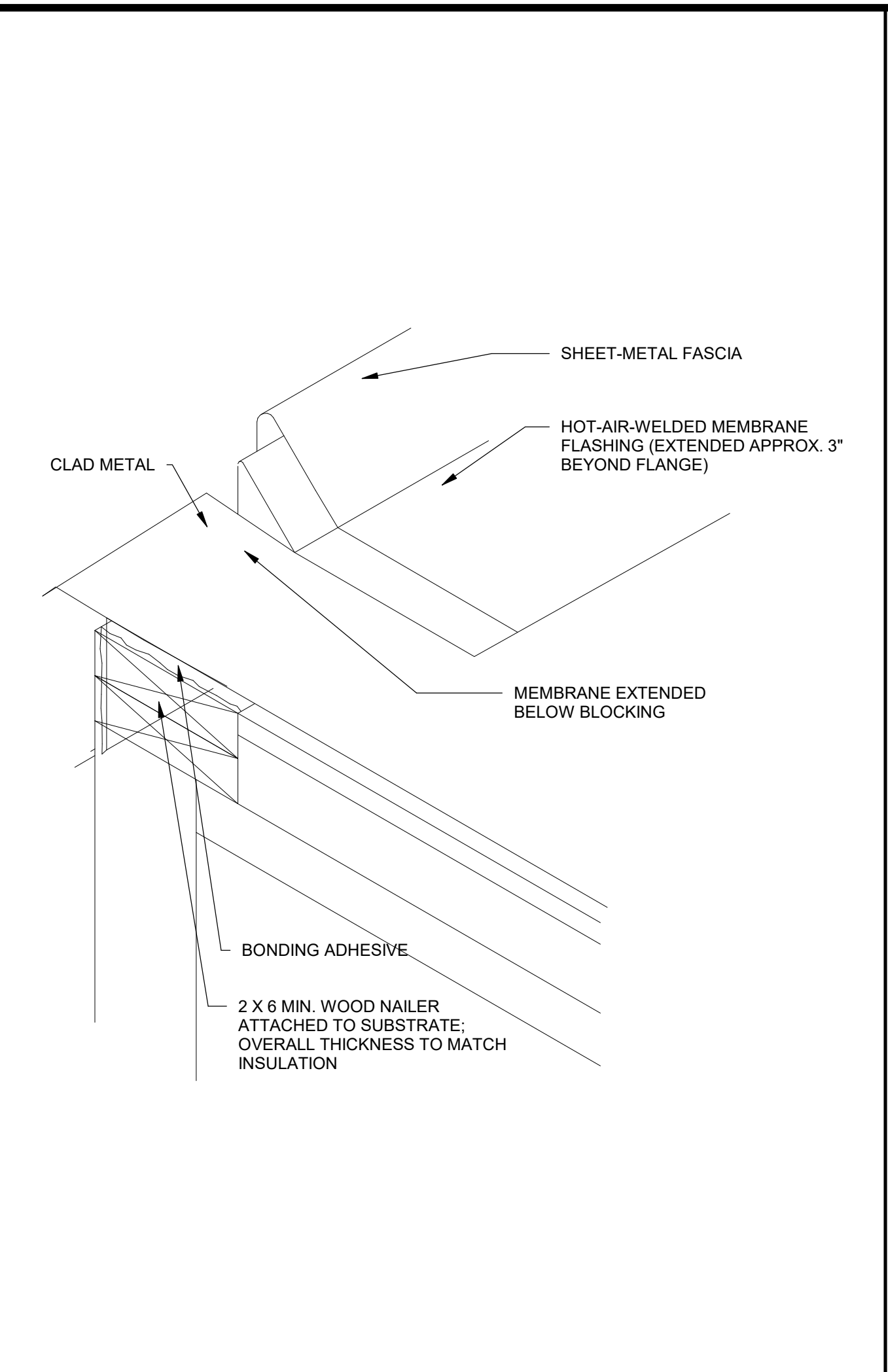
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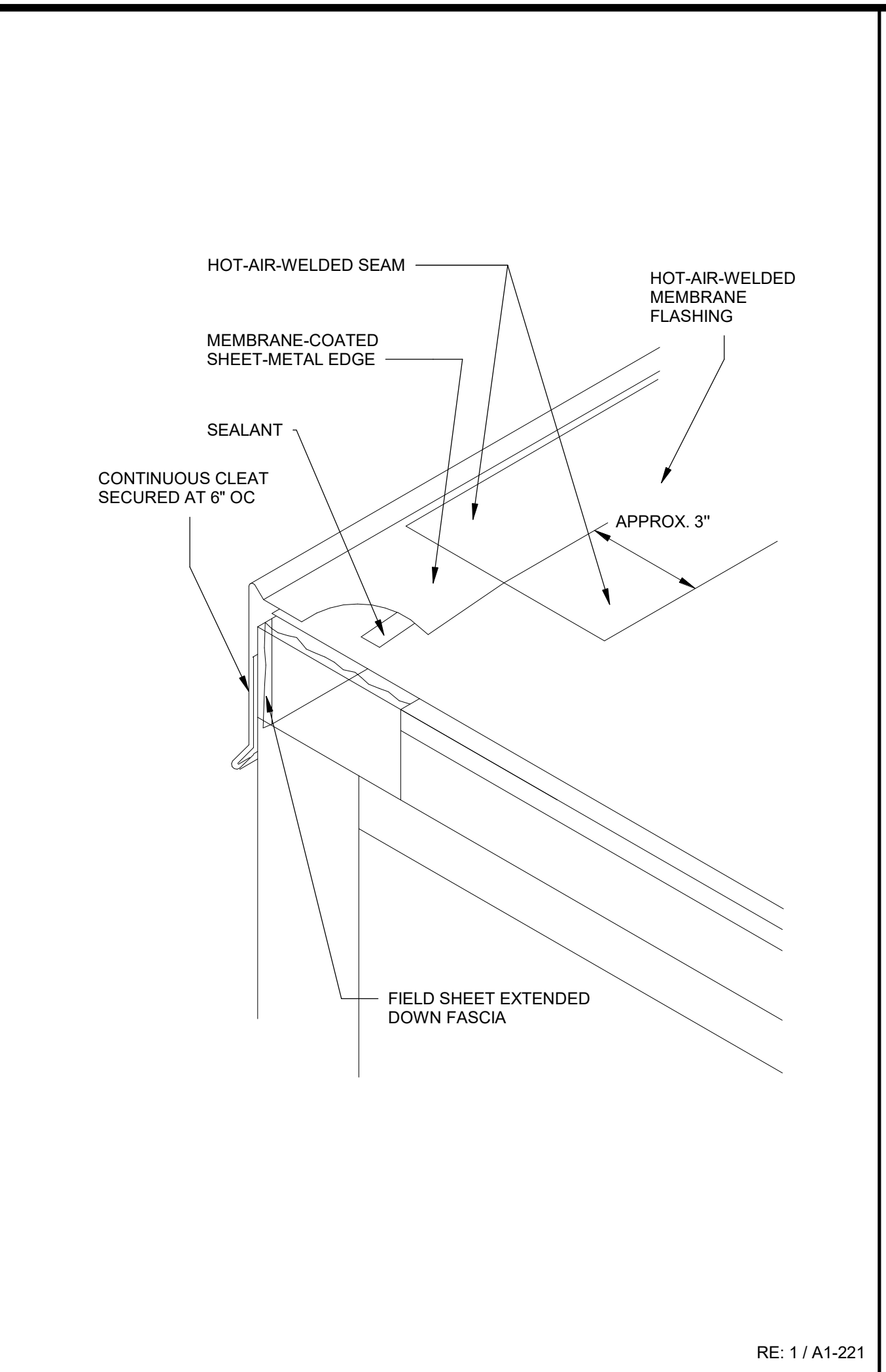
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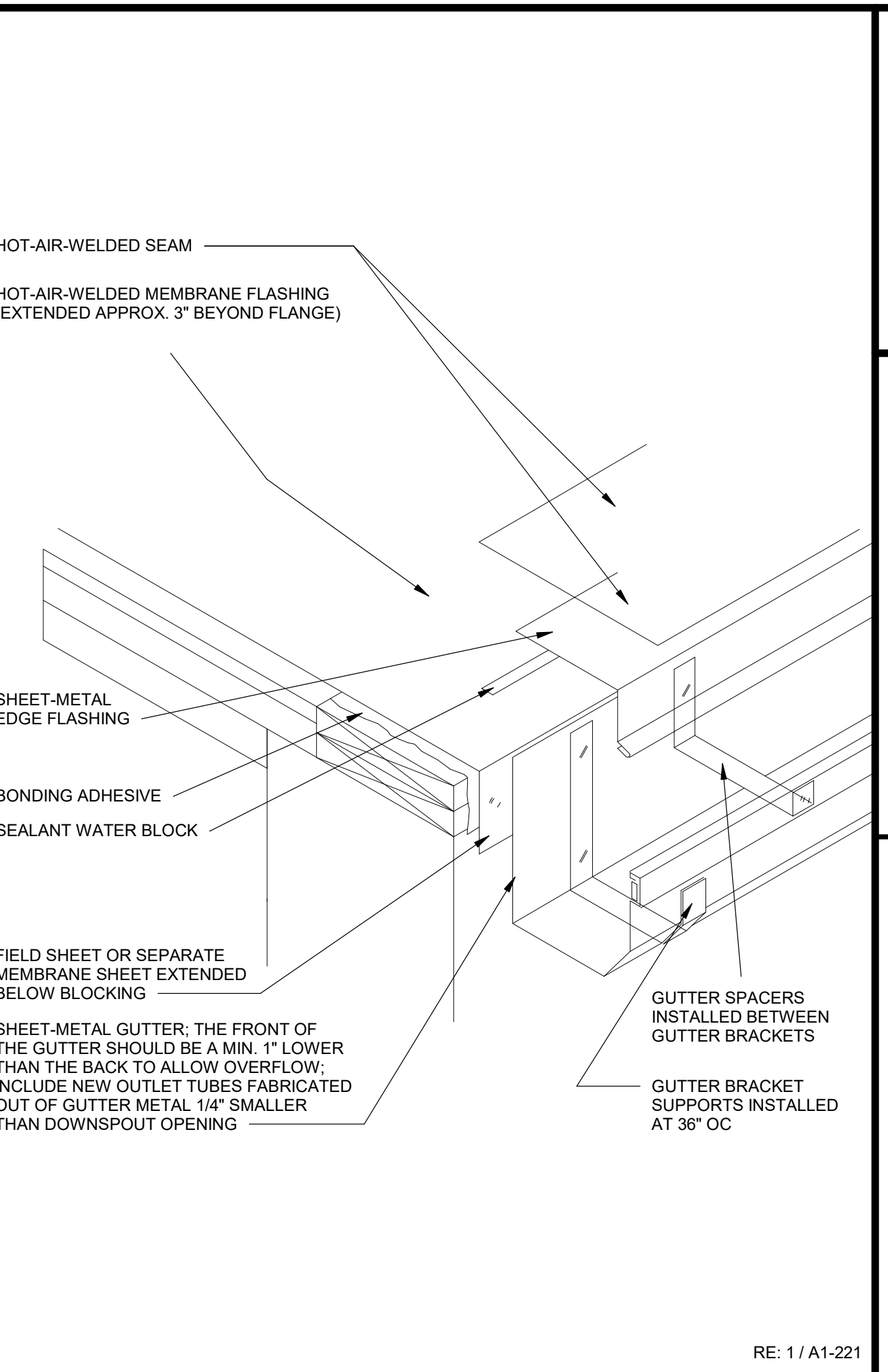
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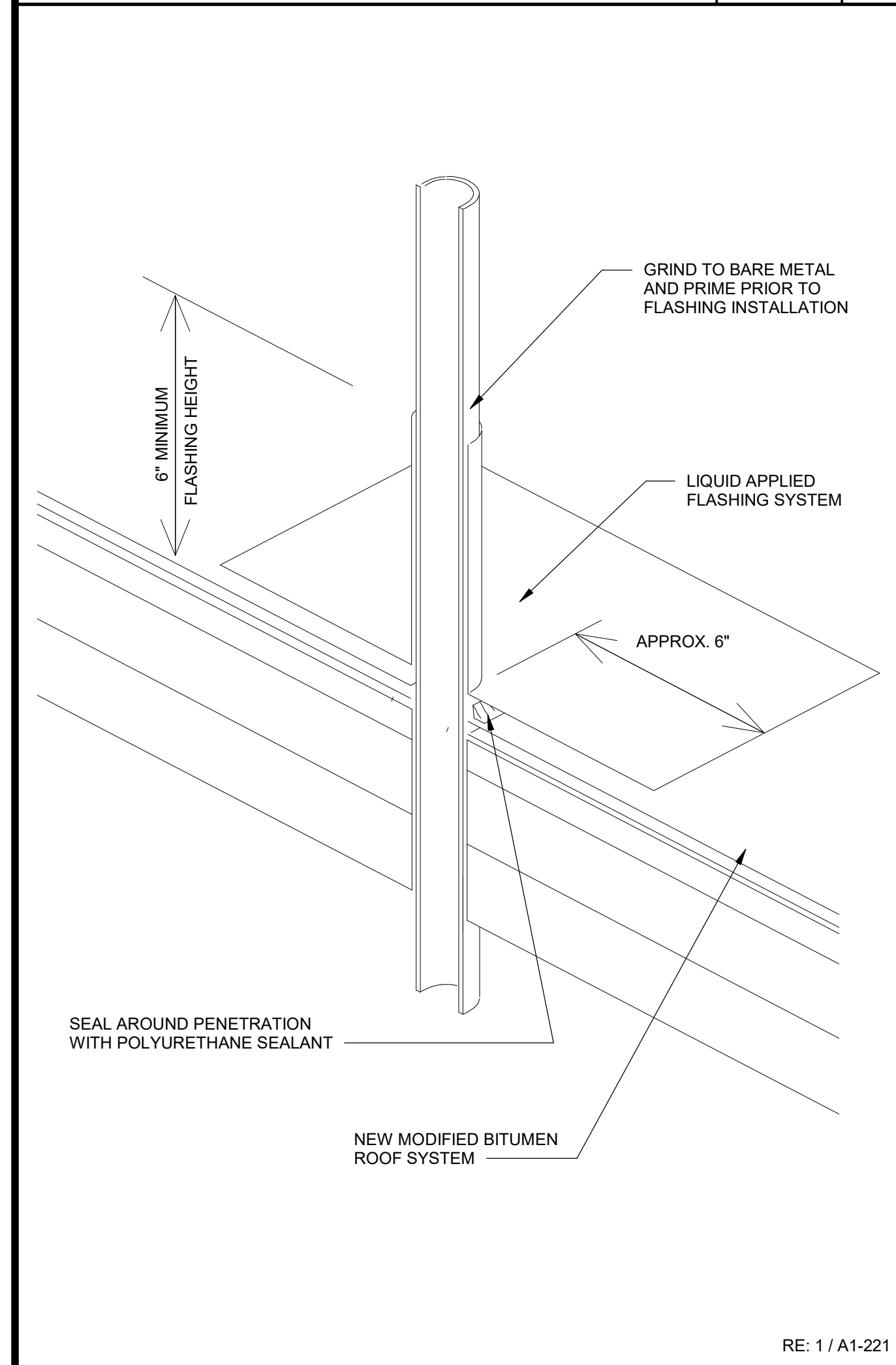
**SP RAISE EDGE WITH FLASHING** N.T.S. 3



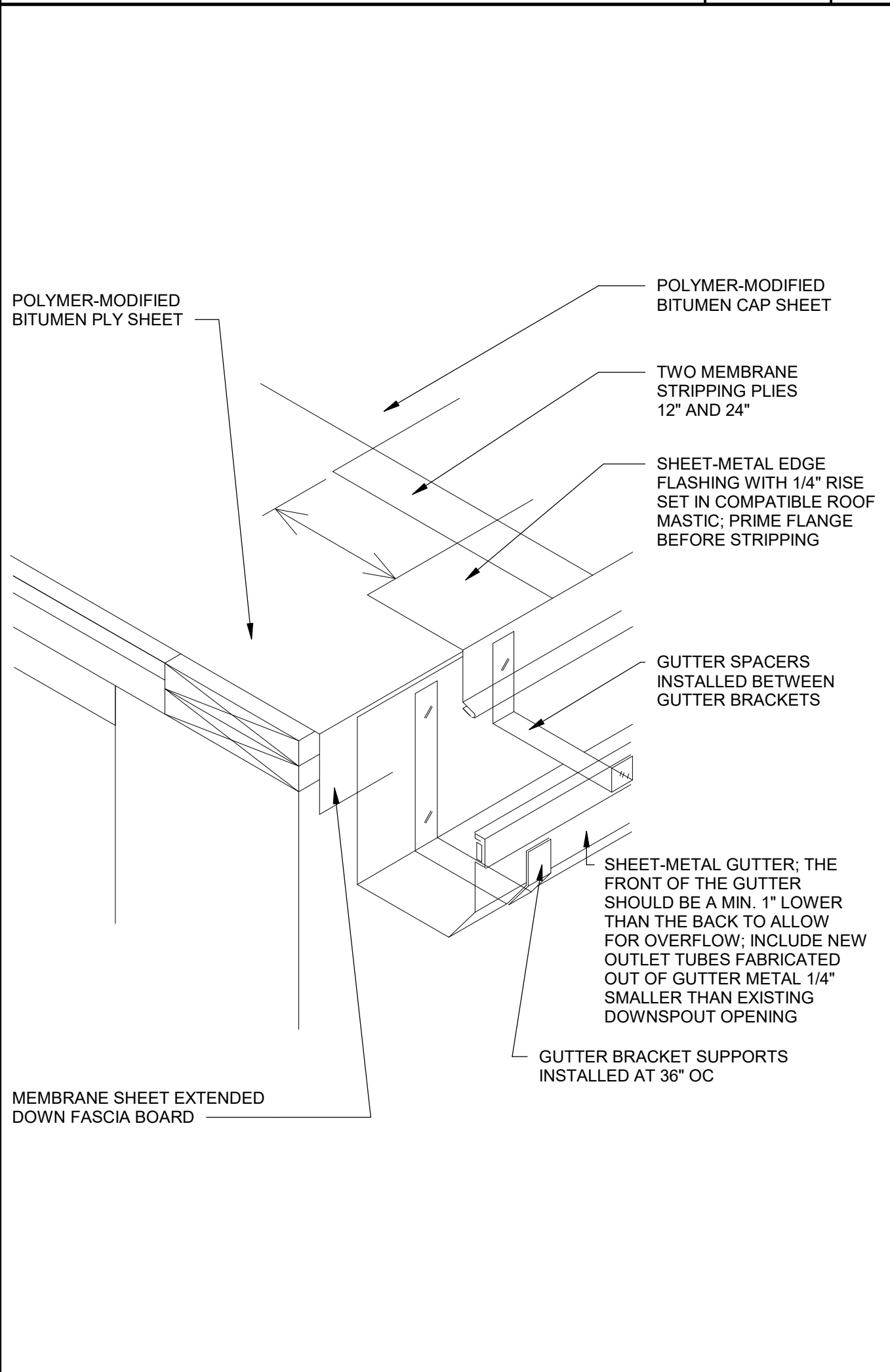
**SP EDGE DETAILING** N.T.S. 2



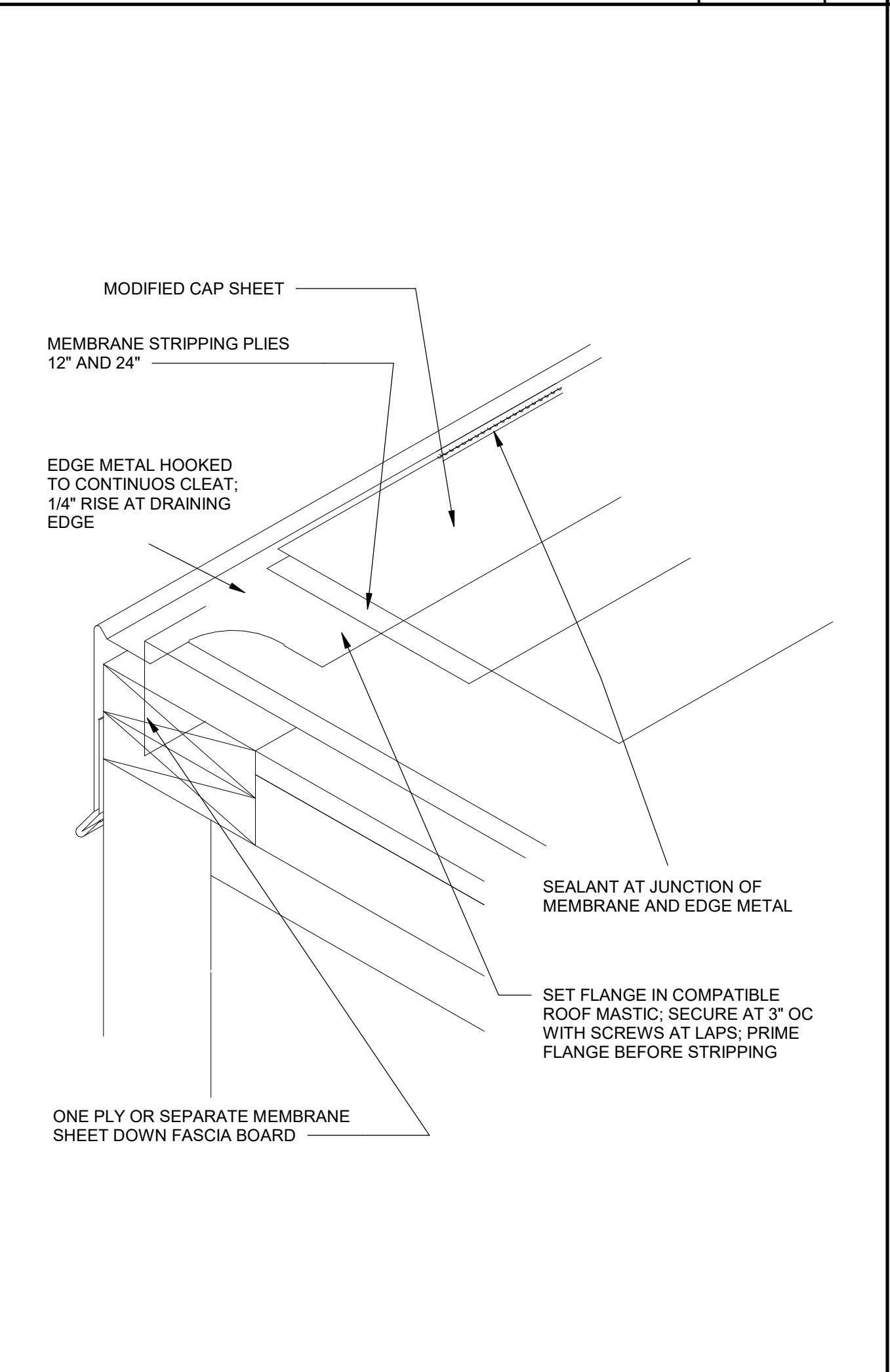
**SP GUTTER DETAIL** N.T.S. 1



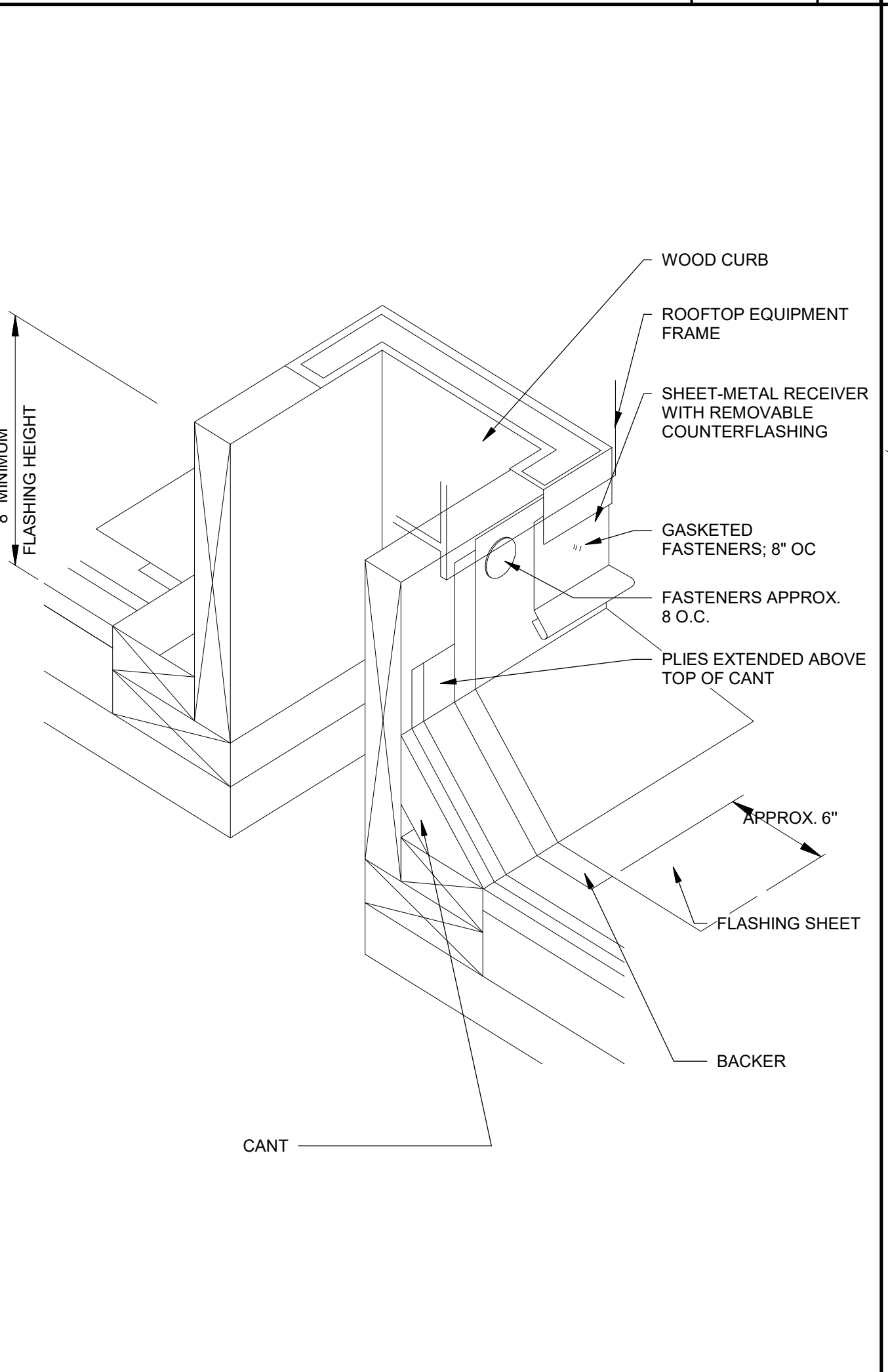
**MB PENETRATION FLASHING** N.T.S. 10



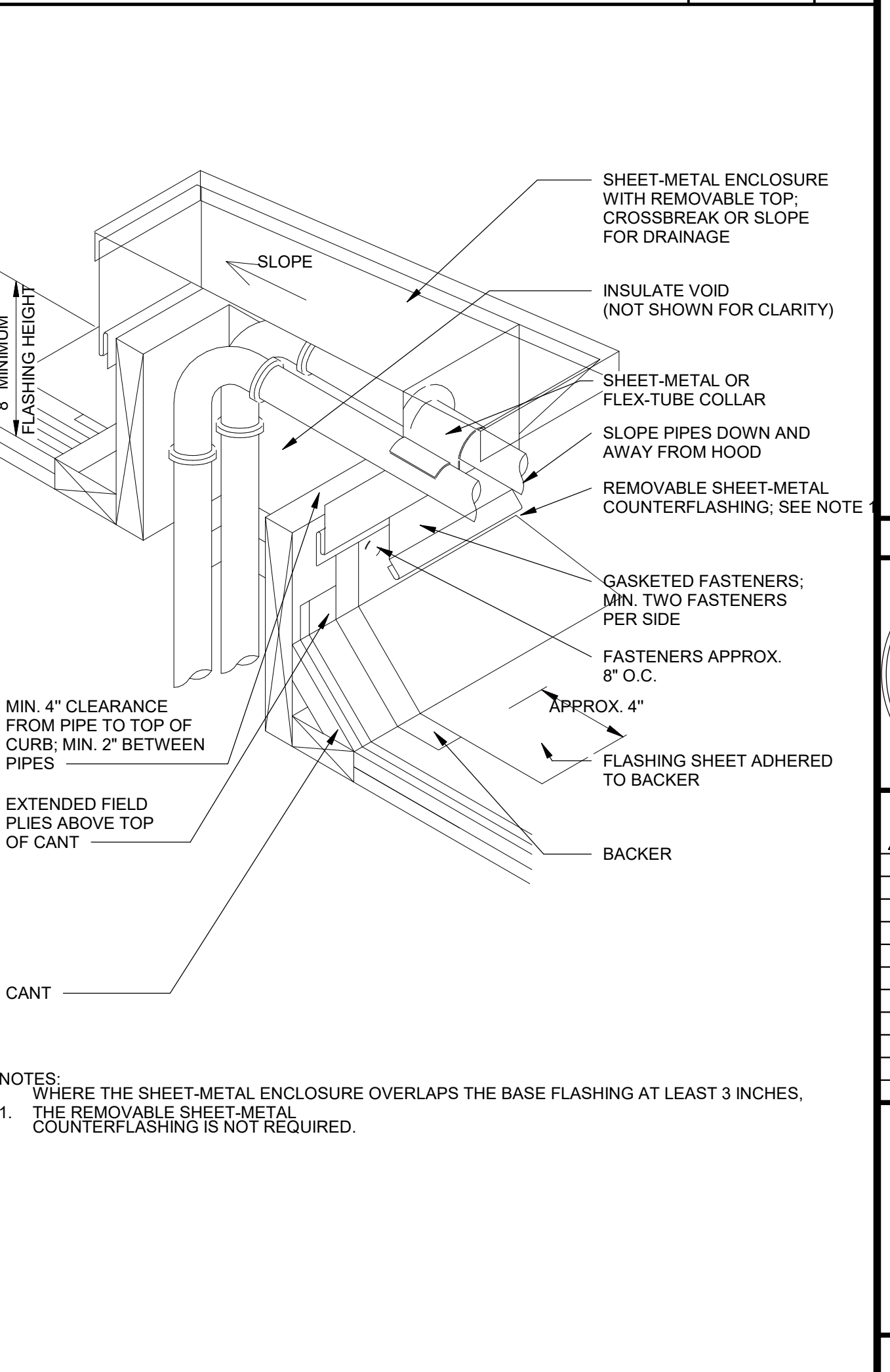
**MB GUTTER DETAIL** N.T.S. 9



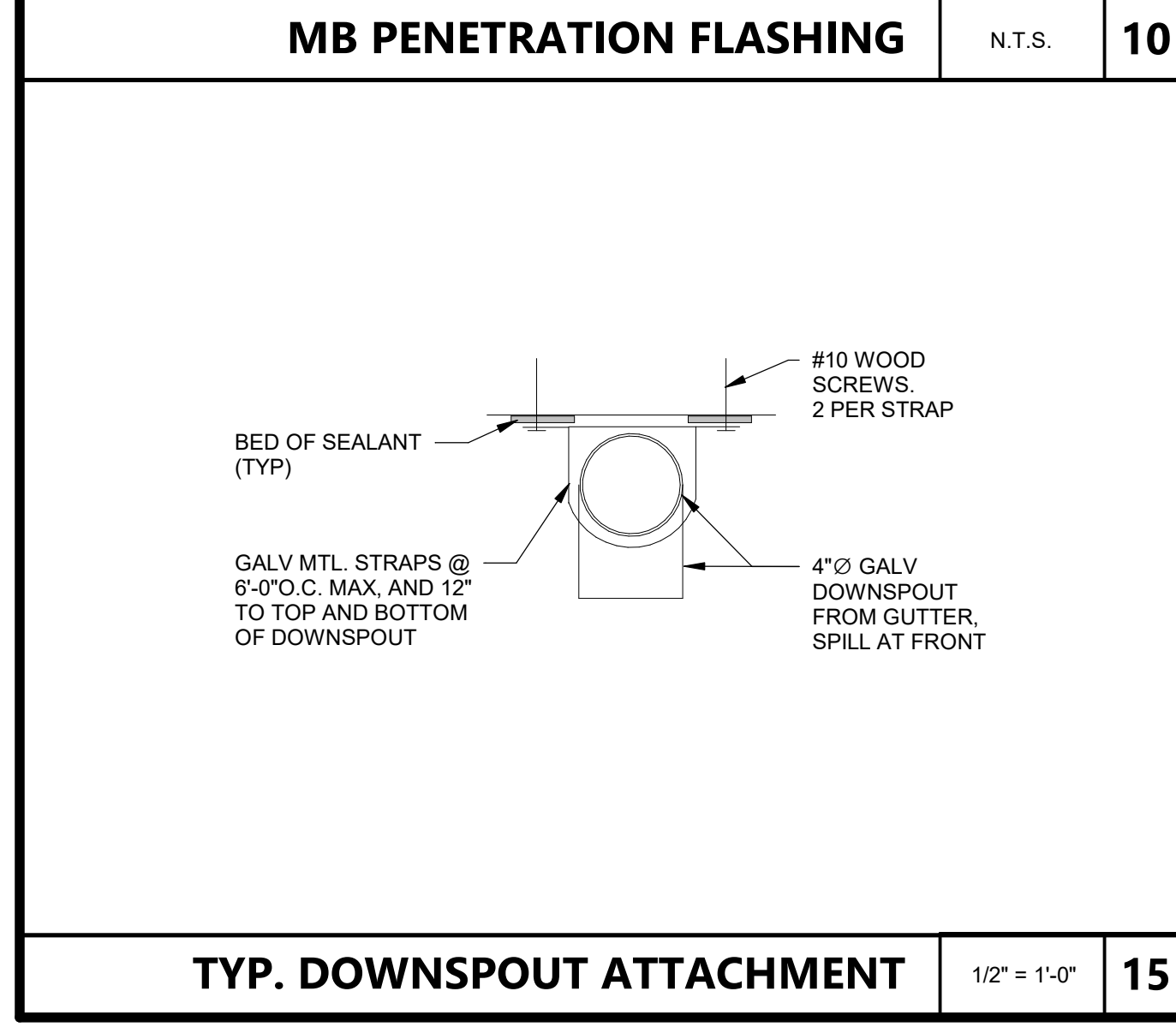
**MB EMBEDDED EDGE-METAL FLASHING** N.T.S. 8



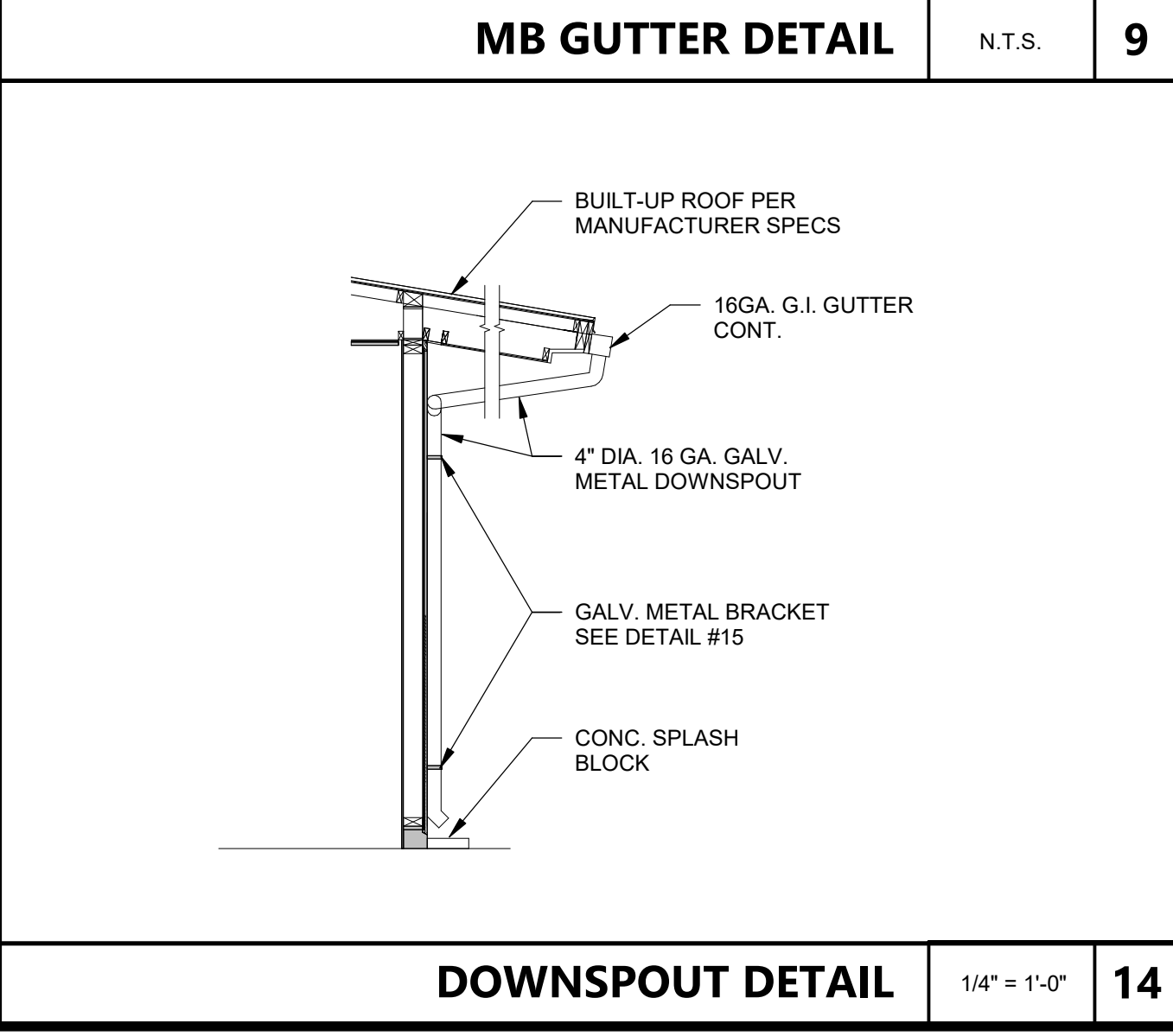
**MB BASE FLASHING AT WOOD CURB** N.T.S. 7



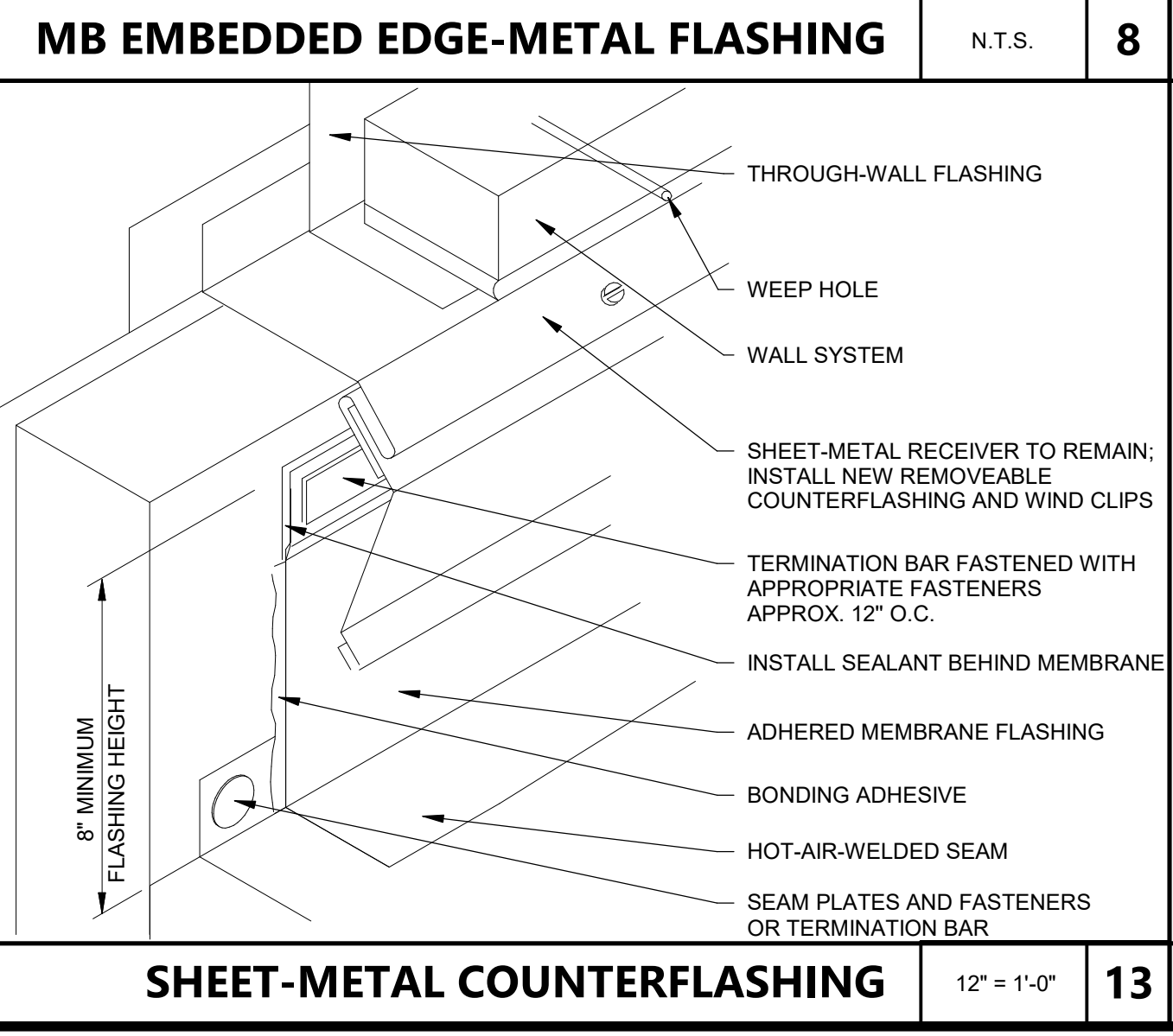
**MB BASE FLASHING AT PIPE** N.T.S. 6



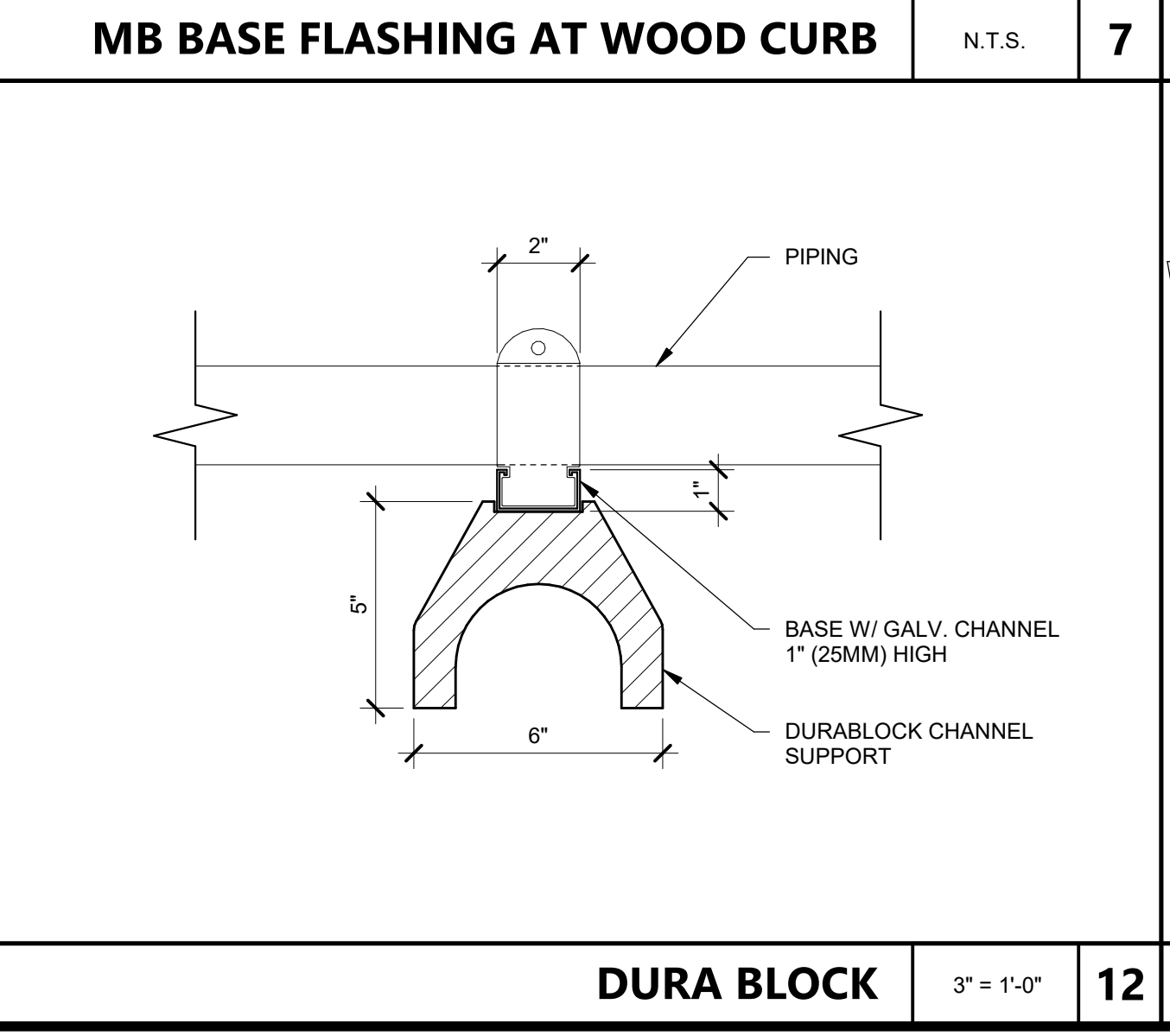
**TYP. DOWNSPOUT ATTACHMENT** 1/2\"/>



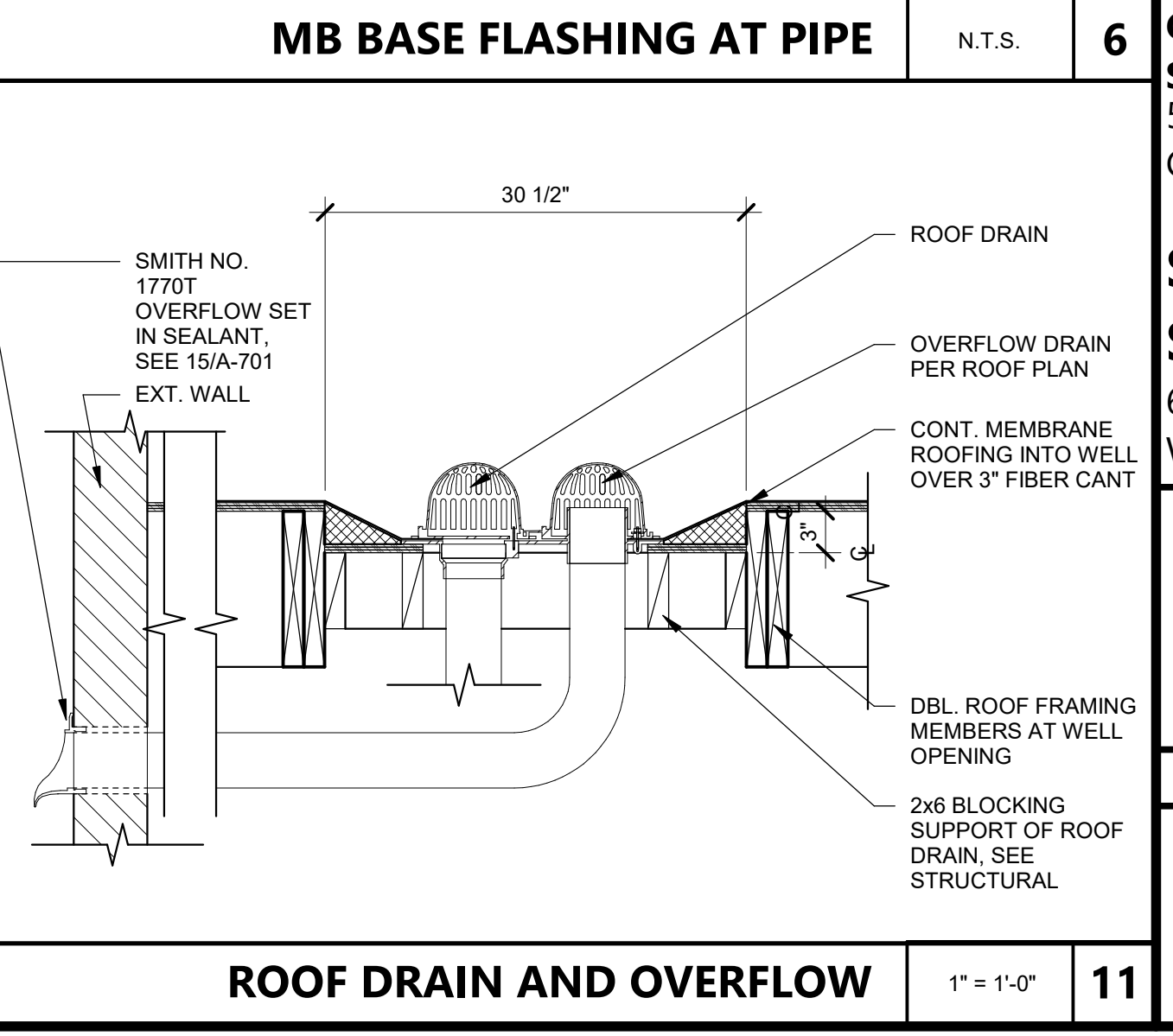
**DOWNSPOUT DETAIL** 1/4\"/>



**SHEET-METAL COUNTERFLASHING** 1/2\"/>



**DURA BLOCK** 3\"/>



**ROOF DRAIN AND OVERFLOW** 1\"/>

ARCHITECT STAMP CONSULTANT STAMP

LICENSED ARCHITECT  
A-111 ELEN PRIBER  
C-22474  
EXPIRES 10-31-25  
STATE OF CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

NOTES:  
1. WHERE THE SHEET-METAL ENCLOSURE OVERLAPS THE BASE FLASHING AT LEAST 3 INCHES.  
2. THE REMOVABLE SHEET-METAL COUNTERFLASHING IS NOT REQUIRED.

PROJECT OWNER & TITLE

COVINA-VALLEY UNIFIED SCHOOL DISTRICT  
519 E. Badillo St.  
Covina, CA 91723

SOUTH HILLS HIGH SCHOOL  
645 Barranca street  
West Covina, CA 91791

SHEET TITLE

**DETAILS**

DRAWN BY: PJ JOB NUMBER: 21296

SHEET NO.

**A-701**

DATE: JANUARY 7, 2022