# RFP 2021-102 CARNEGIE LIBRARY ROOF REPAIR & RESTORATION

#### CONTACTS

#### Owner:

City of Beaufort 1911 Boundary Street Beaufort, SC 29902

#### **Architect:**

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PO Box 21758
Charleston, South Carolina 29413
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### **DRAWING LIST**

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#### PROJECT DATA

#### 1. General Information

Address: Carnegie Library 701 Craven Street

701 Craven Street Beaufort, SC 29902

Property ID: R120 004 000 0819 0000

Flood Zone:

Flood Insurance Map Panel #450026 0005D

Site Area: 3,659 SF (.08 Acres)

#### PROJECT DESCRIPTION

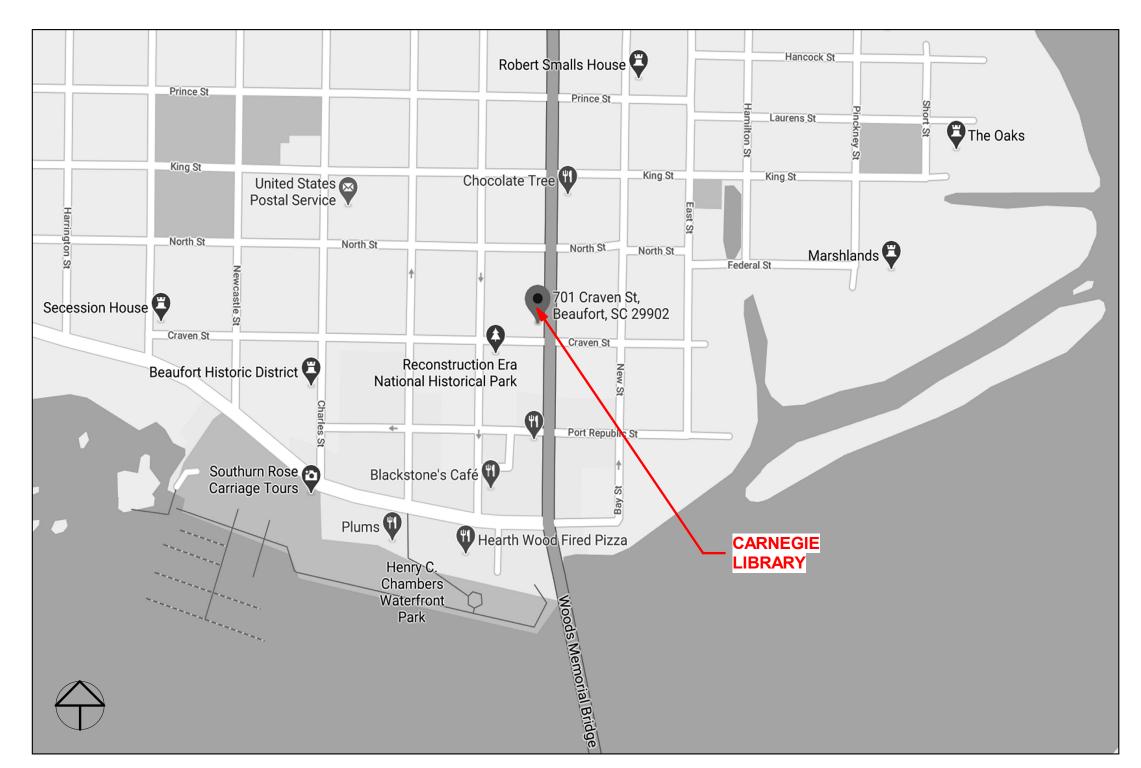
The Carnegie Library is a local historic site and a contributing structure in the City of Beaufort's National Historic Landmark District. The exterior scope of work for this project includes the repair of the existing terracotta roof, new dormer flashing, repair of the built-in-gutter liner, exterior wood repair, paint removal, painting, replacement of the addition roof on the east side of the building, and new underground drainage from the downspouts to the street. The interior scope of work is limited to interior repairs associated with water damage from previous and current roof leaks. Water damage has resulted in damage to historic plaster.

#### PROJECT ALTERNATES:

- 1. <u>Alternate 1:</u> Remove existing downspouts and install new copper downspouts. Paint to match the building (add alternate, not to be included in base bid).
- 2. <u>Alternate 2:</u> Restore landscape stucco masonry walls and paint (add alternate, not to be included in base bid).
- 3. Alternate 3: Addition roof, substitute specified copper flashing, downspout, and leaderhead with PVC coated flashing and prefinished downspout and leaderhead; compatible with flashing (credit)
- 4. <u>Alternate 4</u>: Structural repairs (add alternate, not to be included in base bid).



**EXISTING SOUTH ELEVATION** 



LOCATOR MAP- 701 CRAVEN STREET BEAUFORT, SC

S I N C E 1 9 8 4

2811 AZALEA DRIVE 
CHARLESTON, 
843.723.8

2. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

3. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.

4. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.

 BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

6. IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

7. THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.

8. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.

THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.

SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.

10. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.

11. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.

12. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF TWO (2) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.

14. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS. AND SURPLUS MATERIALS. AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.

15. CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.

16. CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.

17. NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.

18. DO NOT SCALE OFF DRAWINGS.

19. THESE DOCUMENTS ARE THE COPYRIGHTED AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.

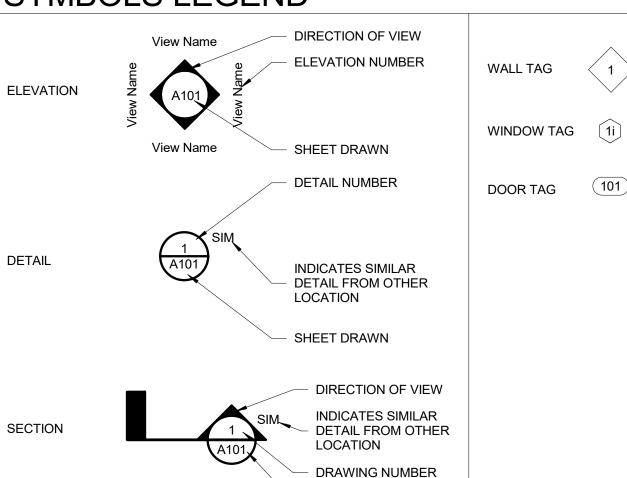
20. NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.

21. ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.

22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.

23. COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.

SYMBOLS LEGEND APPLICABLE CODES



SHEET DRAWN

Code Compliance with the Following:
International Building Code (IBC), 2021 Edition with
South Carolina Modifications
International Existing Building Code (IEBC), 2021 Edition
(Work Area Compliance Method, Repairs)
International Fire Code (IFC), 2021 Edition with South

Carolina Modifications
International Mechanical Code (IMC), 2021 Edition
International Plumbing Code (IPC), 2021 Edition
National Electrical Code, 2020 Edition, NFPA 70
International Energy Conservation Code (IECC) 2009
ICC/ANSI A117.1 2017 Edition

This project utilizes compliance with IEBC provisions for the Repair of an Existing Historic Building as detailed in Chapters 4 & 12 of the 2021 International Existing Building Code.

# GENERAL DEMOLITION NOTES

View Name

1/8" = 1'-0" - SCALE DRAWN

VIEW NUMBER

DRAWING TITLE

A. PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. THESE PLANS DO NOT SHOW EACH ITEM THAT IS REQUIRED TO BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.

REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF SCHEDULED FINISHES.

THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OR REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.

D. EXISTING STRUCTURAL SYSTEM SHALL NOT BE REMOVED OR MODIFIED UNLESS APPROVED IN ADVANCE BY THE ARCHITECT AND/OR ENGINEER.

REMOVE EXISTING ITEMS AS REQUIRED FOR REUSE IN THE NEW PLAN OR NEW FINISH. CATALOG AND STORE ITEMS IN A SAFE STORAGE AREA SUBJECT TO THE OWNER'S APPROVAL UNTIL THE TIME OF REINSTALLATION. LOST ITEMS SHALL BE REPLACED WITH COMPARABLE NEW ITEM AT NO COST TO THE OWNER.

F. DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.

G. SALVAGED MATERIAL: DOCUMENT ITEMS TO BE SALVAGED BEFORE PERFORMING ANY WORK. ITEMS TO BE MARKED WITH A REMOVABLE LABEL DESIGNATING ORIGINAL LOCATION AND STORED IN AN AREA TO PROTECT THEM FROM DAMAGE OR THEFT.

H. EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.

ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.

J. ANY ITEMS NOT TO BE RETAINED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.

K. COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.

.. PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.

M. CLEAN AND RETURN EACH SPACE TO PRE-CONSTRUCTION CONDITION READY FOR USE BY OWNER PRIOR TO PROCEEDING TO NEXT WORK AREA.

N. AVOID DAMAGE TO INTERIOR FINISHES DURING THE COURSE OF WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE HISTORIC MATERIALS.

O. NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.

P. PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.

Q. REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)

# ABBREVIATIONS LEGEND

&	AND AT	KDAT	KILN DRIED AFTER TREATMENT
@ ACOUS ACT ADA AFF ALT ALUM	ACOUSTICAL	LT WT LLH LLV LP LVL	LIGHT WEIGHT LONG LEG HORIZONTAL LONG LEG VERTICAL LOW POINT LAMINATED VENEER LUMBER
_	APPROXIMATE ARCHITECTURAL	MAT'L MAX MECH	MATERIAL MAXIMUM MECHANICAL
BLDG BLKG BM B.O.	BUILDING BLOCKING BEAM BOTTOM OF	MFR MIN MISC MO MTL	MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING METAL
CAT CJ CL CLG CMU COL	CATALOGUE CONTROL JOINT CENTERLINE CEILING CONCRETE MASONRY UNIT COLUMN	NIC NOM NON-COM NTS	NOT IN CONTRACT NOMINAL NON-COMBUSTIBLE NOT TO SCALE
CONC CONN CONST CONT	CONCRETE CONNECTION CONSTRUCTION CONTINUOUS	OC OPNG OPP	ON CENTER OPENING OPPOSITE
DET / DTI DIAG DIA DIM DN DR		PLUMB PR PRE-FAB PT PT PVB	PLUMBING PAIR PRE-FABRICATED PAVER TILE PRESSURE-TREATED POLY VAPOR BARRIER
DS DWGS	DOWNSPOUT DRAWINGS	RAD RD REF	RADIUS ROOF DRAIN REFERENCE
EA EJ ELEV EOS EQ		REINF REQ'D REV RO	REINFORCING REQUIRED REVISION ROUGH OPENING
EQUIP	EQUIPMENT F EXISTING	SCHED SEC SECT SIM	SCHEDULE SECURE / SECURITY SECTION SIMILAR
FACP FD FDN FE FEC FFE FIG FIN	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER & CABINET FURNITURE, FIXTURES, & EQUIPMENT FIGURE FINISH		SPECIFICATIONS SQUARE SQUARE FEET STANDARD
FLR FRP FTG	FLOOR FIBERGLASS REINFORCED PLASTIC FOOTING	TEMP THK'NS T.O.	TEMPORARY THICKNESS TOP OF
GALV GA GYP BD GIR	GALVANIZED GAUGE OR GAGE GYPSUM BOARD GIRDER	TRTD T.T.W. TYP	TREATED
GRD BM	GRADE BEAM	UNO	UNLESS NOTED OTHERWISE
H/C HB HM HORIZ HP	HANDICAPPED HOSE BIB HOLLOW METAL HORIZONTAL HIGH POINT	VCT VERT VIF VL	VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD VINYL
HT HVAC	HEIGHT HEATING, VENTILATION, & AIR CONDITIONING	W/ W/O WP WS	WITH WITHOUT WATER STOR
INSUL INTR INV	INSULATION INTERIOR INVERT	WT	WATER STOP WEIGHT

# GENERAL SPECIFICATIONS NOTES

THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.

ADDITIONAL NOTES:

\*\*\* Contractor is responsible to verify all dimensions and relevant bidding criteria

# PROJECT ALTERNATES

**JOINT** 

- 1. <u>ALTERNATE 1:</u> REMOVE EXISTING DOWNSPOUTS AND INSTALL NEW COPPER DOWNSPOUTS.
- PAINT TO MATCH THE BUILDING (ADD ALTERNATE, NOT TO BE INCLUDED IN BASE BID).

  2. ALTERNATE 2: RESTORE LANDSCAPE STUCCO MASONRY WALLS AND PAINT (ADD

ALTERNATE, NOT TO BE INCLUDED IN BASE BID).

3. <u>ALTERNATE 3:</u> ADDITION ROOF, SUBSTITUTE SPECIFIED COPPER FLASHING, DOWNSPOUT, AND LEADERHEAD WITH PVC COATED FLASHING AND PREFINISHED DOWNSPOUT AND LEADERHEAD; COMPATIBLE WITH FLASHING. (CREDIT).

. <u>ALTERNATE 4</u>: STRUCTURAL REPAIRS (ADD ALTERNATE, NOT TO BE INCLUDED IN BASE BID).

CARNEGIE LIBRARY
ROOF REPAIR AND
RESTORATION
701 CRAVEN STREET
BEAUFORT, SC 29902

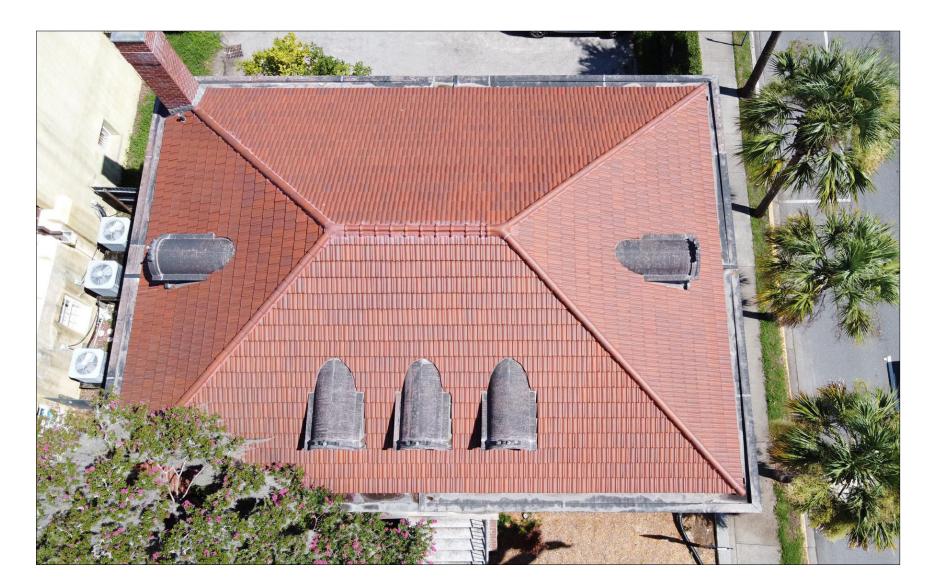
BID DOCUMENTS

PROJ. 23-0050 ISSUE DATE: 02/19/2024

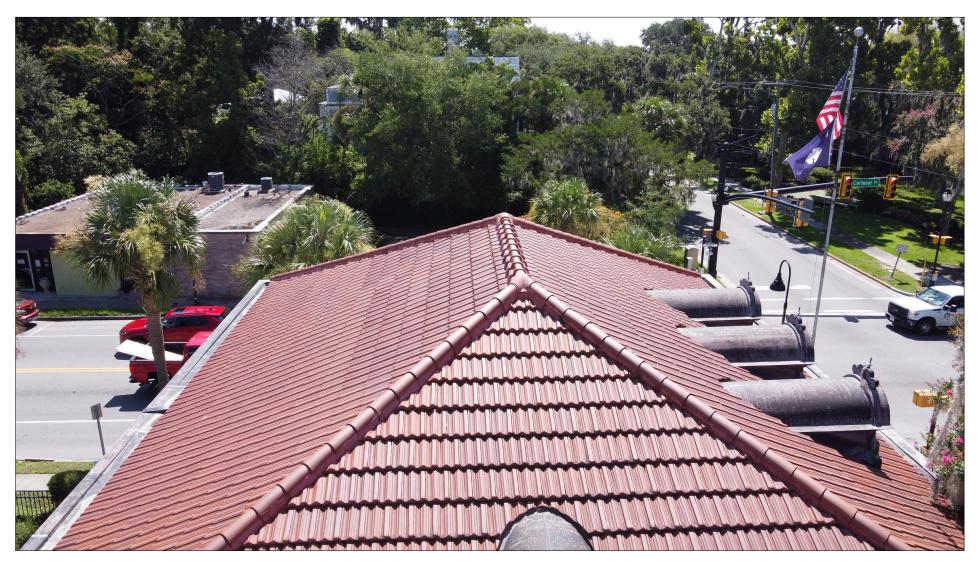
# DATE NOTES

NOTES & SPECIFICATIONS

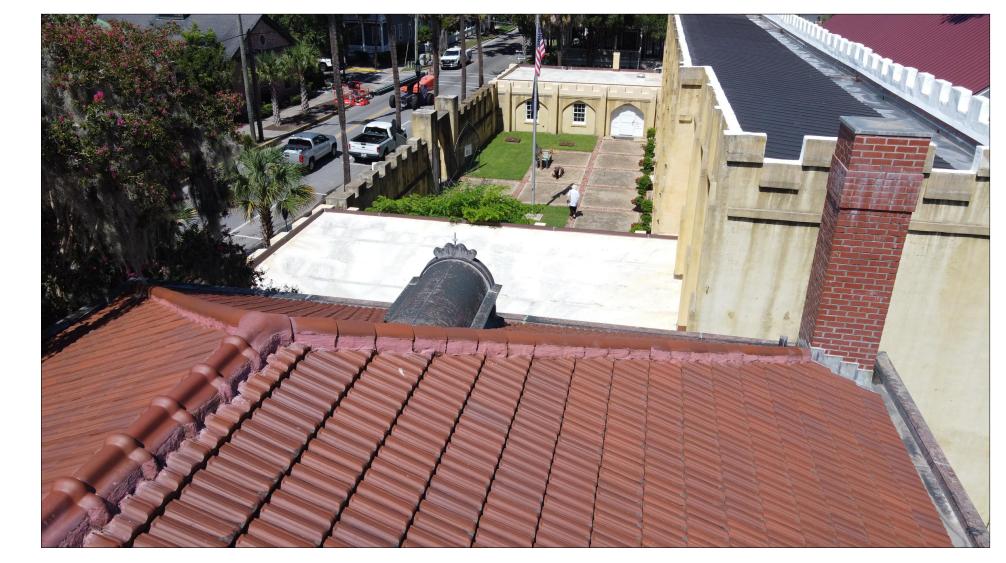
# EXISTING CONDITIONS- TERRACOTTA ROOF ON ORIGINAL STRUCTURE



EXISTING CONDITIONS- OVERALL VIEW OF ROOF FROM ABOVE.



EXISTING CONDITIONS- VIEW OF ROOF LOOKING EAST.



EXISTING CONDITIONS- DETAILED VIEW OF ROOF RIDGE AND HIP.



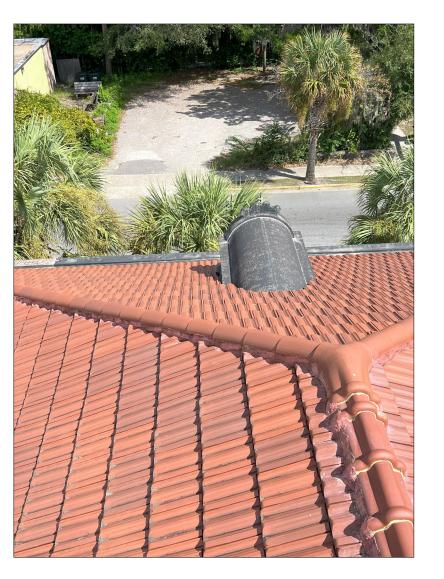
**EXISTING CONDITIONS- VIEW OF SOUTH ELEVATION** DORMERS.



EXISTING CONDITIONS- DETAILED VIEW OF SOUTH ELEVATION DORMERS FROM THE SIDE.



**EXISTING CONDITIONS-**DETAILED VIEW OF DORMER FRONT AT SOUTH ELEVATION.



**EXISTING CONDITIONS-**DETAILED VIEW OF EXISTING RIDGE TILES AND TERMINALS.



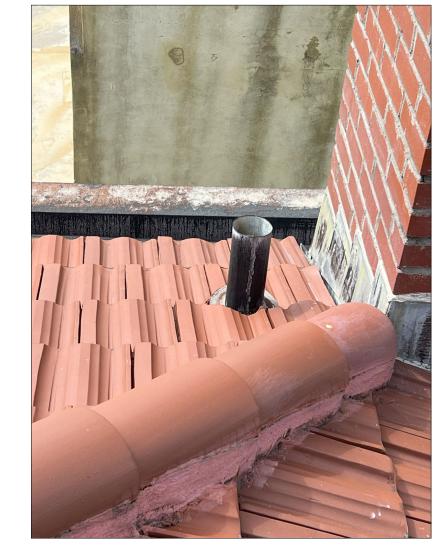
**EXISTING CONDITIONS-**DETAILED VIEW OF RIDGE TILES.



EXISTING CONDITIONS- VIEW LOOKING SOUTH, DETAILED VIEW OF BUILT IN GUTTER AND FRENCH TERRACOTTA TILES.

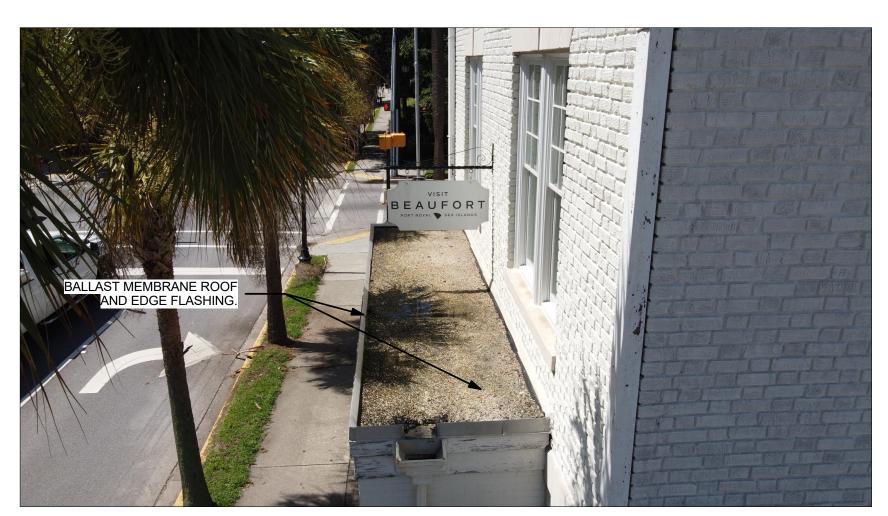


**EXISTING CONDITIONS- VIEW AT NORTHWEST** CORNER, DETAILED VIEW OF CHIMNEY PENETRATION AT ROOF.

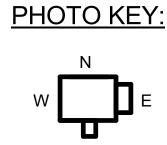


**EXISTING CONDITIONS- VIEW** AT NORTHWEST CORNER, DETAILED VIEW OF RIDGE AND VENT.

# **EXISTING CONDITIONS- BALLAST** MEMBRANE ROOF ON SIDE ADDITION



EXISTING CONDITIONS- EAST ELEVATION ADDITION ROOF.



**EXISTING** CONDITIONS-

**DOCUMENTS** 

DATE NOTES

# **EXISTING CONDITIONS- DOWNSPOUT LOCATIONS**



EXISTING CONDITIONS- SOUTHEAST CORNER DOWNSPOUT.



EXISTING CONDITIONS- SOUTHWEST CORNER DOWNSPOUT.



EXISTING CONDITIONS- DOWNSPOUTS ON NORTH SIDE OF THE EAST ELEVATION. CONDUCTOR HEAD/LEADERHEAD ON THE LEFT IS PART OF THE WATER DRAINAGE SYSTEM FOR THE ADDITION ROOF.



EXISTING CONDITIONS- NORTHEAST CORNER DOWNSPOUT. DOWNSPOUT AND CONDUCTOR/LEADER HEAD AT THE SIDE ADDITION CAN BE SEEN IN THE BACKGROUND.



EXISTING CONDITIONS- NORTHWEST CORNER DOWNSPOUT.

CARNEGIE LIBRARY
ROOF REPAIR AND
RESTORATION

BID DOCUMENTS

REVISIONS

# DATE NOTES

PHOTO KEY:

GENERAL NOTES: PHOTO PROGRESSION

PHOTOS ARE TAKEN COUNTERCLOCKWISE,
STARTING AT THE FRONT ENTRANCE ON THE SOUTH
ELEVATION.

EXISTING CONDITIONS-DOWNSPOUTS

**EXISTING CONDITIONS- WEST ELEVATION** 

**EXISTING CONDITIONS- NORTH ELEVATION & ROOF** 

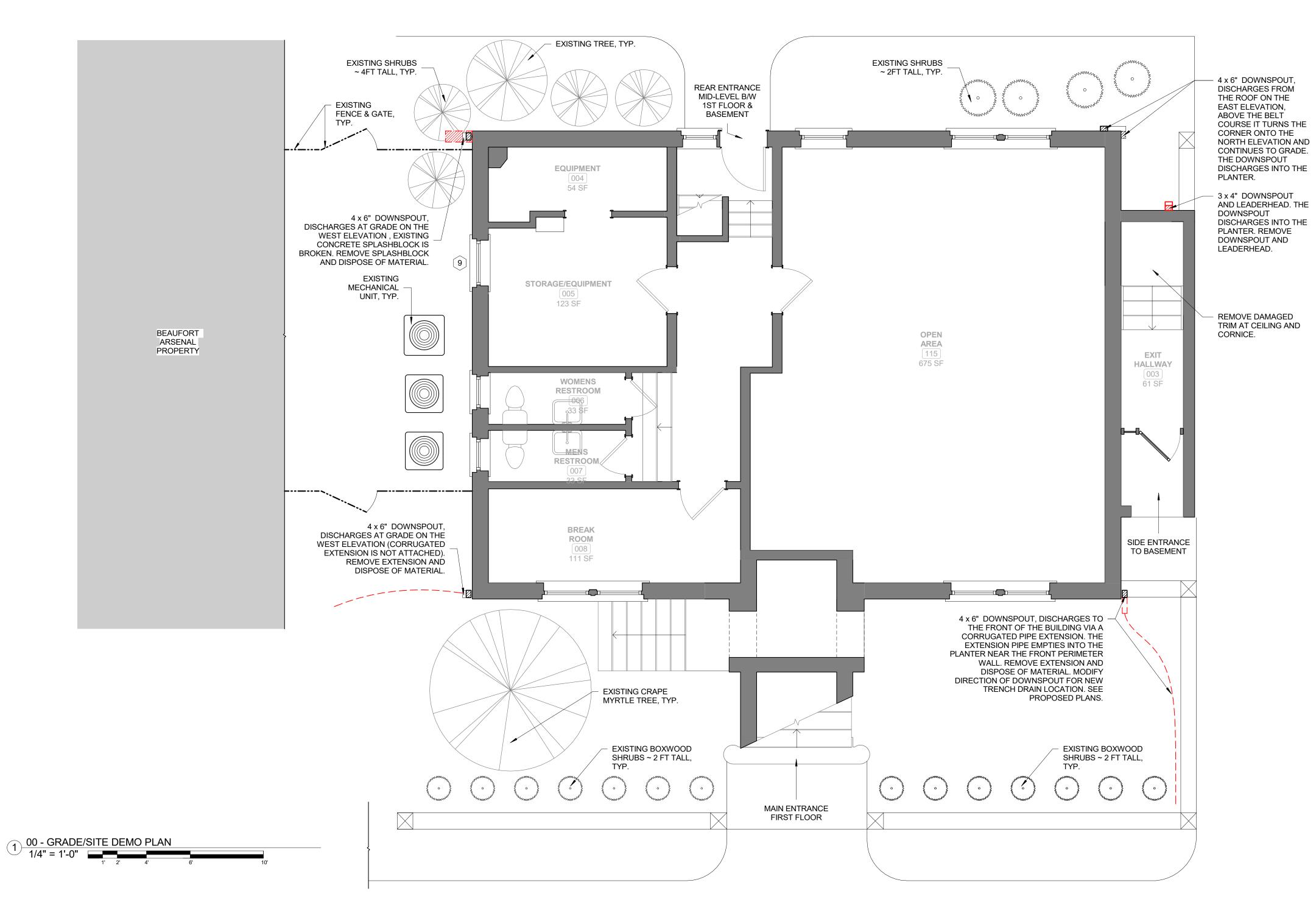
EXISTING CONDITIONS- NORTHEAST ELEVATION

NOT TO SCALE

NOT TO SCALE

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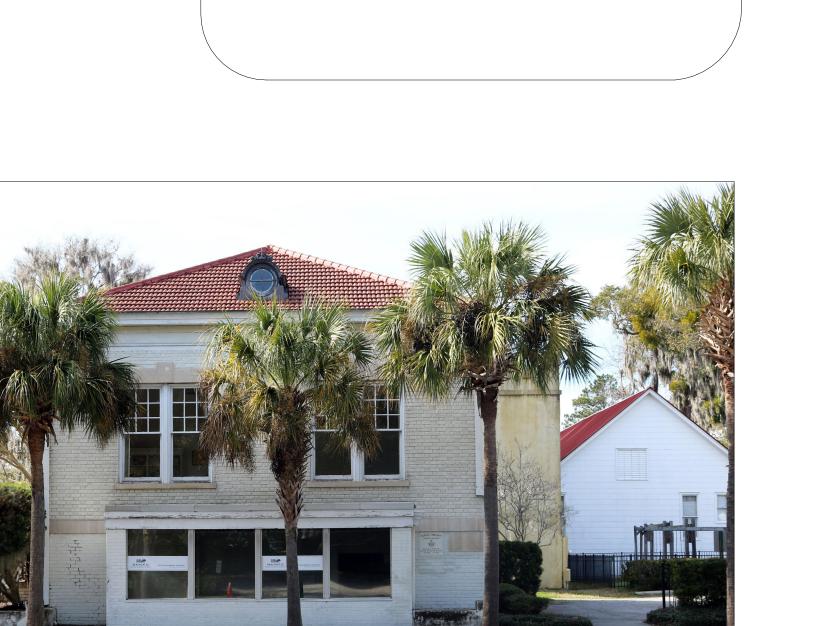
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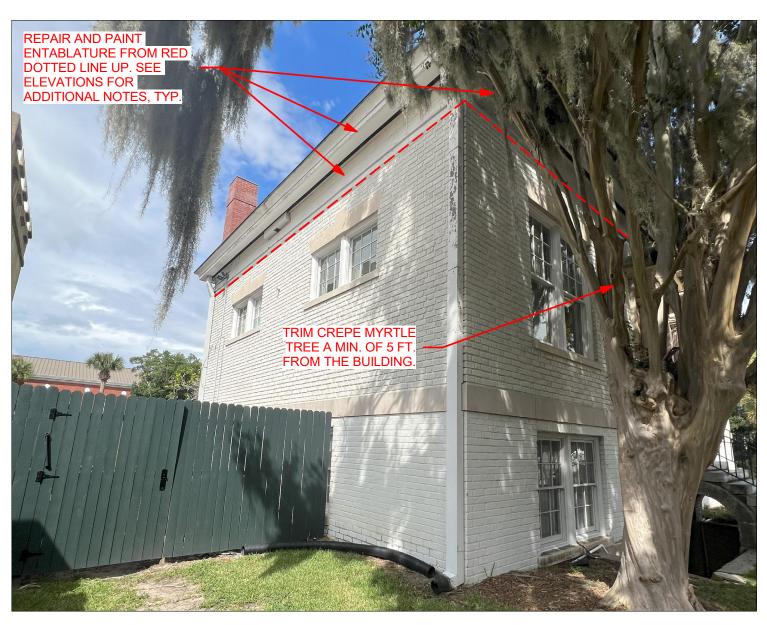
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**EXISTING CONDITIONS- SOUTH ELEVATION** 

NOT TO SCALE

NOT TO SCALE



**EXISTING CONDITIONS- WEST ELEVATION** 

NOT TO SCALE



**EXISTING CONDITIONS- NORTH ELEVATION & ROOF** NOT TO SCALE



EXISTING CONDITIONS- NORTHEAST ELEVATION

NOT TO SCALE

SITE/GRADE PROPOSED PLAN

DOCUMENTS

REVISIONS

# DATE NOTES

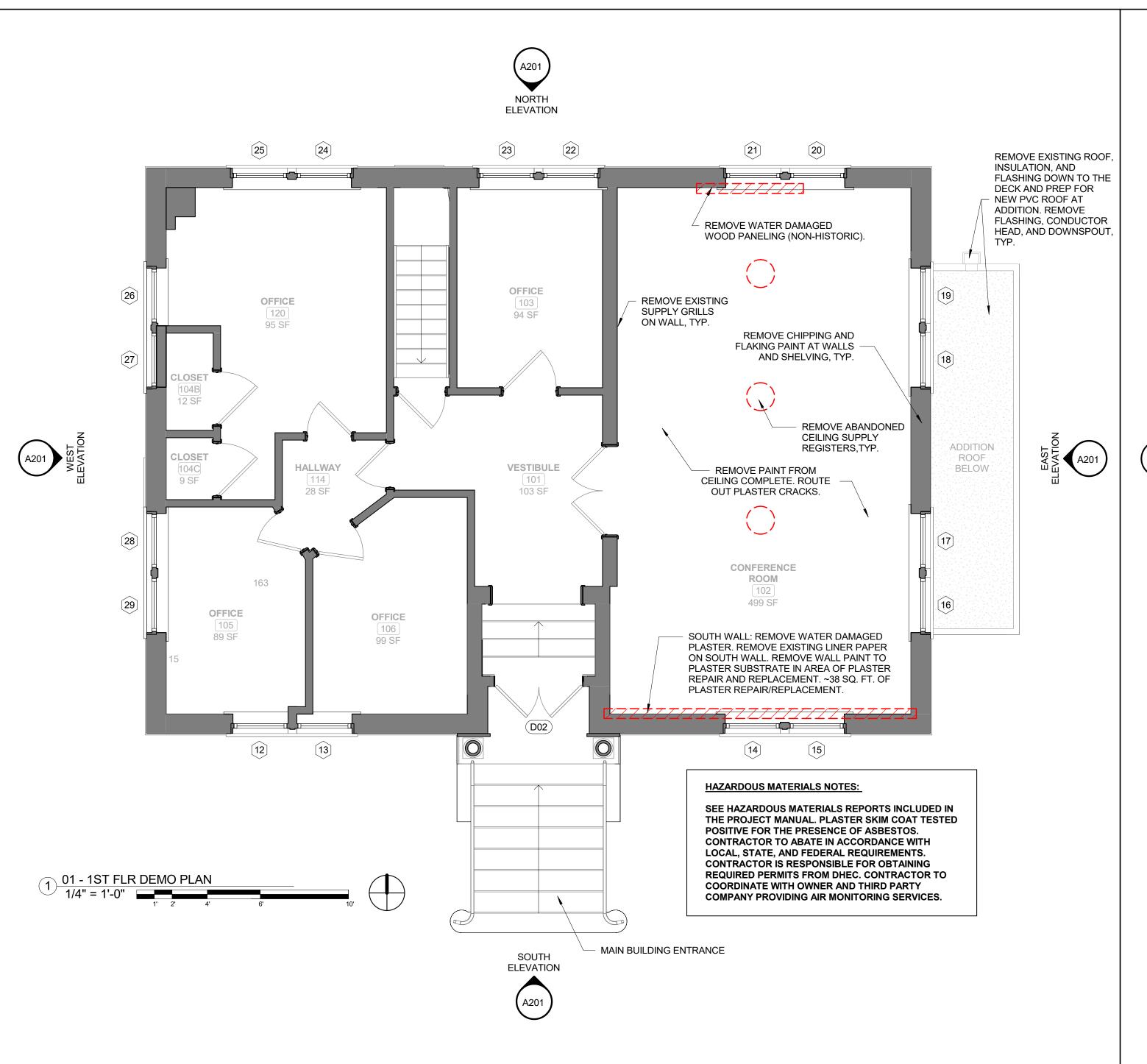
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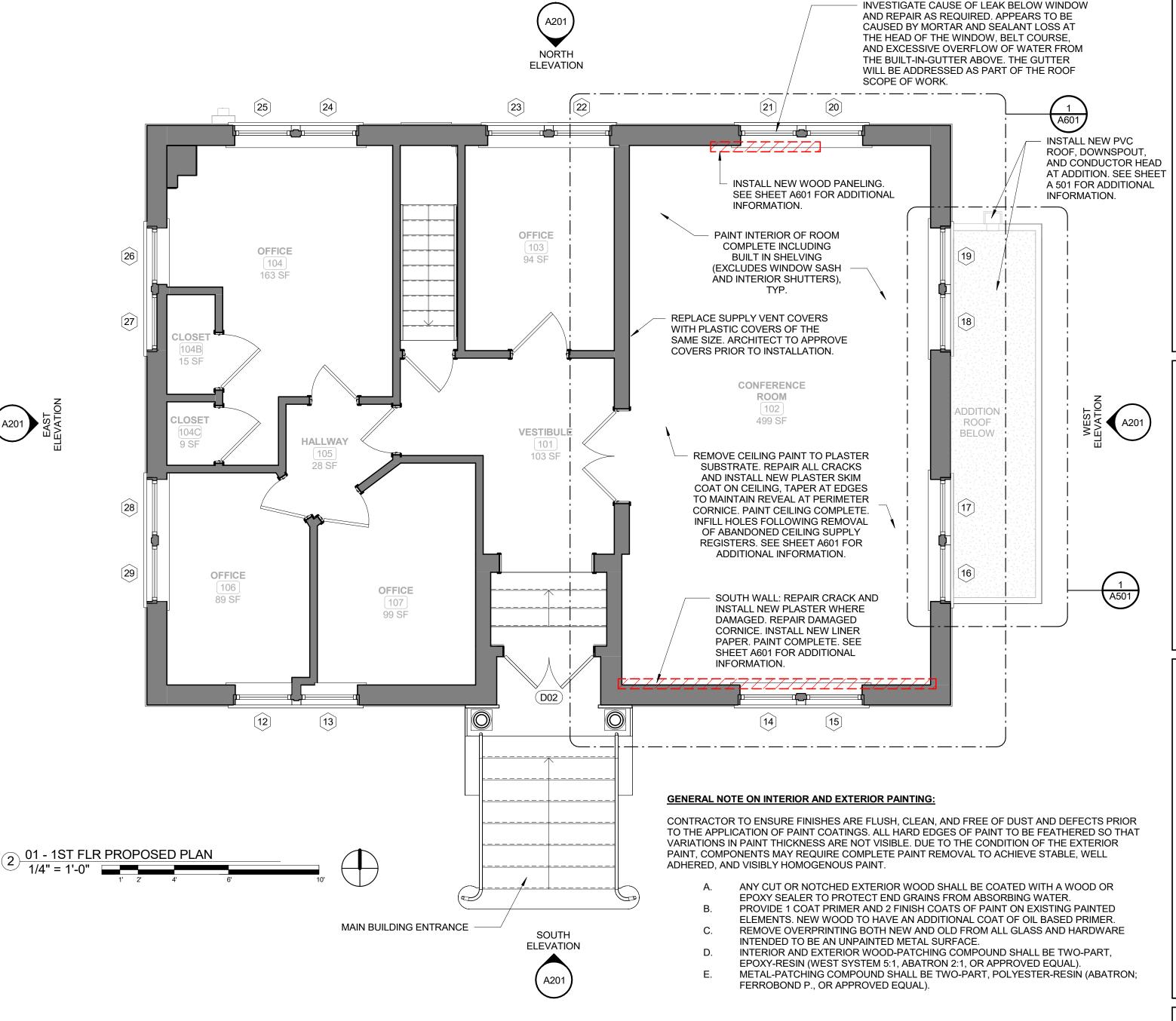
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PROJ.

ISSUE DATE:

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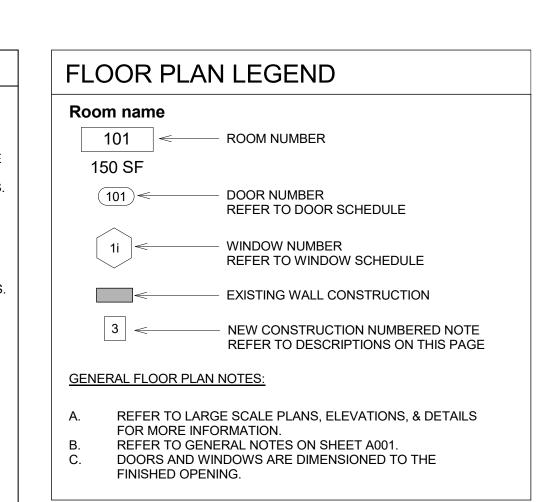
#### GENERAL DEMOLITION NOTES

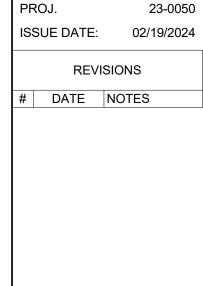
PRIOR TO STARTING ANY WORK.

- 1. THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES, INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPS.
  - A. ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
  - B. INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
  - C. PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- 2. THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR
- 3. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- 4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- 5. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF
- 6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED
- 7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

### GENERAL CONSTRUCTION NOTES

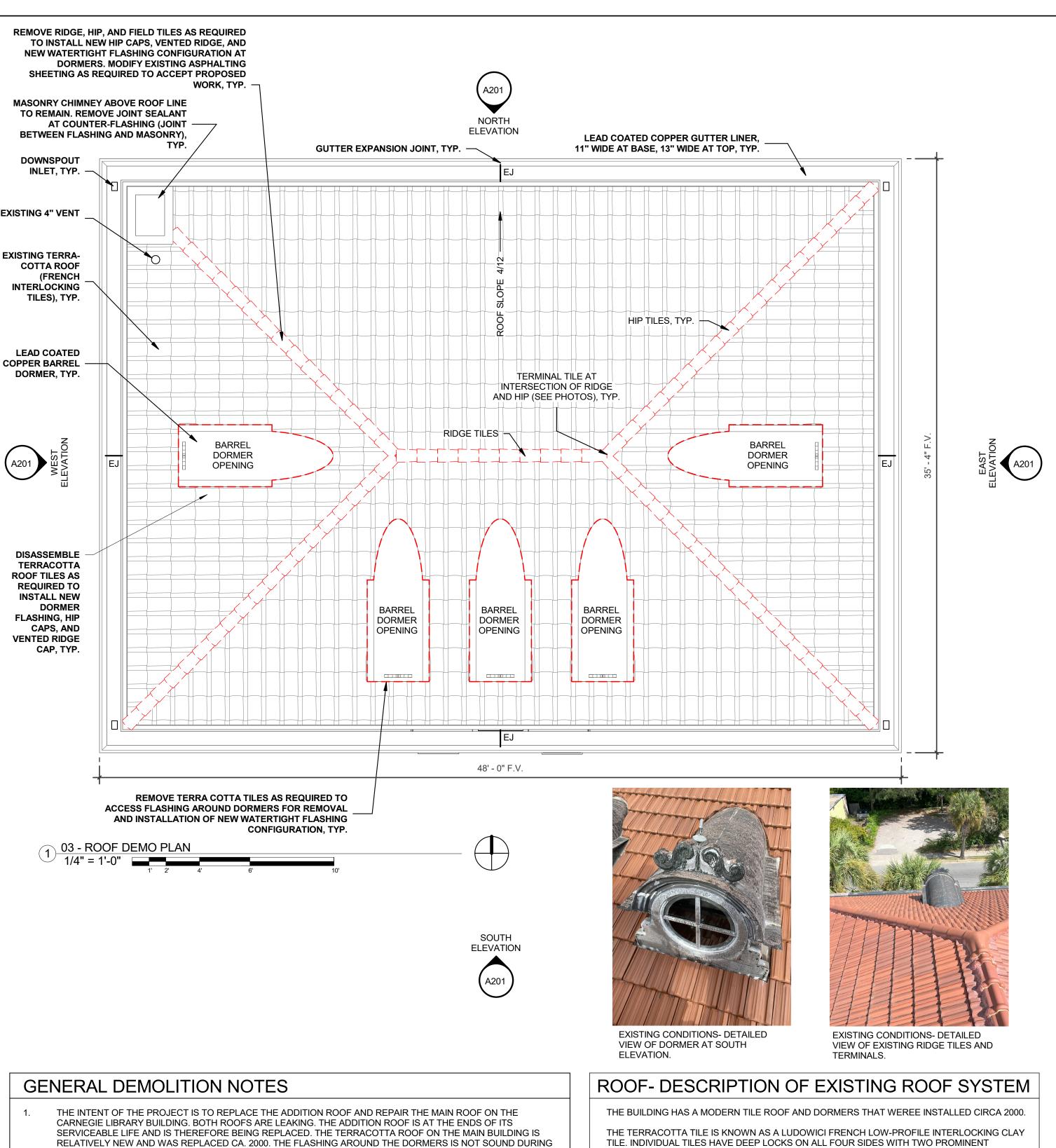
- 1. THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES, INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPS.
  - A. ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
     B. INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
     C. PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- 2. THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- 3. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- 6. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION
- 7. COORDINATE ALL WORK WITH EXISTING CONDITIONS. ALL DIMENSIONS TO BE FIELD VERIFIED.
- 8. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
- 9. PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION RELATED ACTIVITIES.
- 0. CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.





**DOCUMENTS** 

1ST FLR DEMO 8 PROPOSED PLANS



- HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES, INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE
  - REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPS. ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE
  - DAMAGED INTERIOR SURFACES. INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO
  - STREET CURB. PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO

BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

FLUTES.

THE TILES ARE INSTALLED ON TWO LAYERS OF ASPHALT SHEET FASTENED TO THE ORIGINAL HORIZONTAL WOOD ROOF SHEATHING.

THE ROOF TILES OVERHANG THE ROOF EAVE OVER THE CONCEALED BUILT-IN GUTTER WITH A LEAD COATED COPPER LINER.

THE RIDGES ARE CAPPED WITH HIP ROLL TILES AND RIDGE TILES WITH CORNER TERMINALS AT THE INTERSECTION OF THE HIP AND RIDGE. RED MORTAR SEALS THE GAPS BETWEEN THE TILES. THE ROOF'S EAVES ARE VENTED, BUT THE RIDGE IS CURRENTLY SEALED WITH MORTAR.

THE ROOF CURRENTLY LEAKS AROUND THE DORMERS AND AT THE RIDGE WHERE THE MORTAR IS RELEASING.

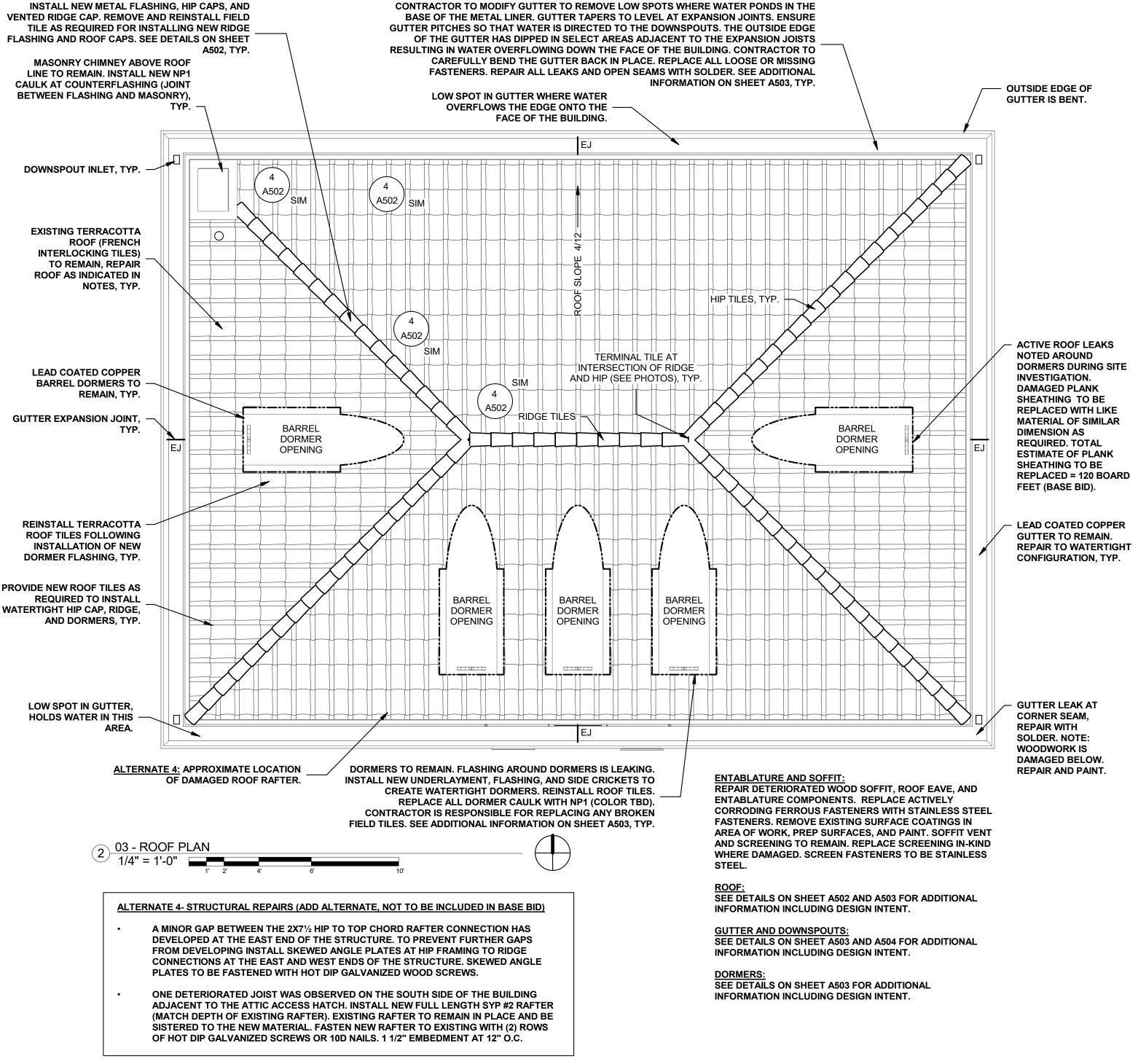
THE BUILT-IN-GUTTER LINER ALSO HAS DEFICIENCIES.

SEE REFERENCE PHOTOS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

REFERENCE CARNEGIE LIBRARY CONDITIONS ASSESSMENT REPORT DATED 09/26/2023 FOR ADDITIONAL INFORMATION ON THE CURRENT CONDITION AND IDENTIFIED ROOF AND BUILDING

#### TERRACOTTA TILE- LUDOWICI FRENCH LOW-PROFILE INTERLOCKING CLAY TILE.

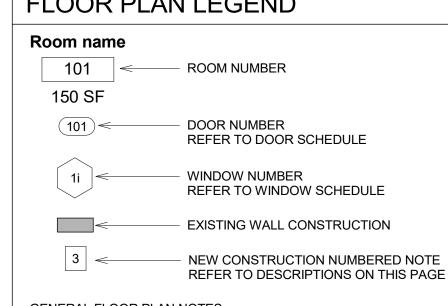
- TWO LAYERS OF ASPHALT SHEET UNDERLAYMENT.
- 7/8" PLANK WOOD ROOF DECK. SLOPE OF EXISTING ROOF IS APPROXIMATELY 4" PER 12".



#### **GENERAL CONSTRUCTION NOTES**

- THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES, INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPS.
- ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES. INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
- PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. I' SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION
- COORDINATE ALL WORK WITH EXISTING CONDITIONS. ALL DIMENSIONS TO BE FIELD VERIFIED.
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- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION RELATED ACTIVITIES.
- CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS

#### FLOOR PLAN LEGEND



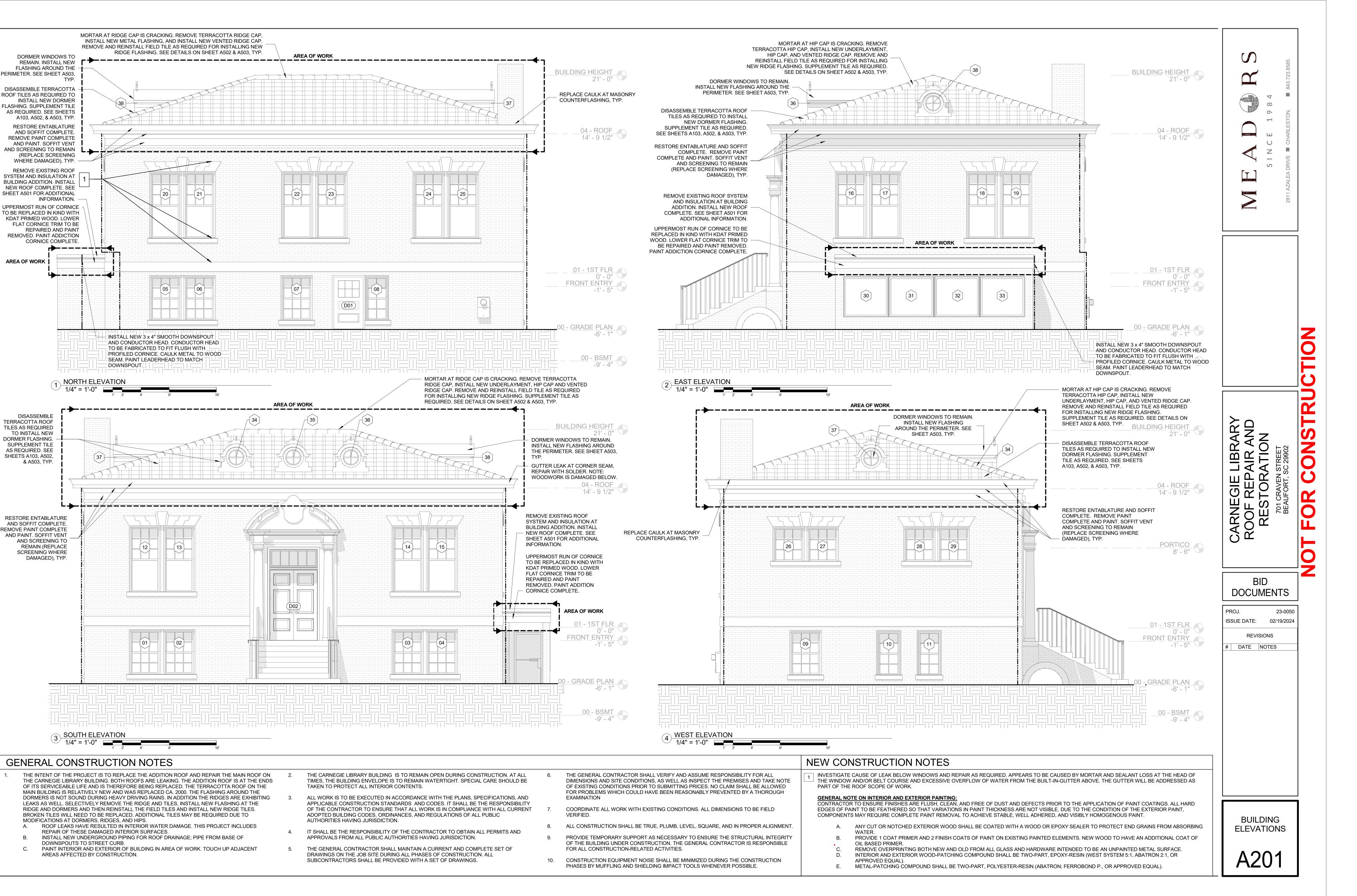
#### **GENERAL FLOOR PLAN NOTES:**

- REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
- REFER TO GENERAL NOTES ON SHEET A001. DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.

**ROOF DEMO 8 PROPOSED PLANS** 

**DOCUMENTS** PROJ. 23-0050 ISSUE DATE: 02/19/2024 REVISIONS

DATE NOTES



PROJ.

**PVC ROOF** DETAILS

UPPERMOST RUN OF CORNICE TO BE REPLACED IN KIND WITH KDAT PRIMED WOOD. LOWER FLAT CORNICE TRIM TO BE PVC ROOF NOTES REPAIRED AND PAINT REMOVED. PAINT ADDITION CORNICE COMPLETE.

THE INTENT OF THE PROJECT IS TO PROVIDE A COMPLETE, WATERTIGHT ROOFING SYSTEM FOR THE ONE-STORY

**GENERAL ROOF NOTES:** 

ADDITION (SINGLE PLY MEMBRANE ROOF). ALL ELEMENTS OF THE ROOFING SYSTEM IS TO BE PROVIDED INCLUDING BUT NOT LIMITED TO ALL FLASHINGS, ACCESSORIES AND TERMINATIONS. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. 3RD PARTY INSPECTIONS PROVIDED BY THE OWNER MAY BE REQUIRED.

- PVC SINGLE PLY MEMBRANE ROOFING TO BE INSTALLED IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS AND AS CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS.
- SPECIAL CARE SHOULD BE TAKEN TO NOT DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS AND NEW WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS AND NEW WORK. PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
- 16 OZ. COPPER FLASHING TO BE UTILIZED FOR ALL FLASHING AND COUNTER-FLASHING @ ADDITION ROOF. COPPER IS TO BE SOLDERED AT ALL SEAMS, CORNERS, AND CONNECTIONS. INSTALL WITH COPPER OR STAINLESS STEEL FASTENERS. SOLDER AS REQUIRED TO CREATE WATERTIGHT FLASHING DETAILS. HEM EDGES WHERE SPECIFIED.

ALTERNATE 3: ADDITION ROOF, SUBSTITUTE SPECIFIED COPPER FLASHING, DOWNSPOUT, AND LEADERHEAD WITH PVC COATED FLASHING AND PREFINISHED DOWNSPOUT AND LEADERHEAD (COMPATIBLE WITH FLASHING).

#### **PVC ROOF NOTES:**

- ROOF: REMOVE EXISTING ROOF AND FLASHINGS COMPLETE. REPLACE DECKING AS REQUIRED (BASE BID 50%), PREP SUBSTRATE, AND INSTALL NEW PVC ROOFING SYSTEM AND FLASHING. INSTALL NEW CAP FLASHING AROUND PERIMETER OF ROOF.
- INSULATION: INSTALL COVER BOARD AND NEW INSULATION. HEIGHT OF SINGLY PLY MEMBRANE ROOF@ HIGHEST POINT TO MAINTAIN ABILITY TO PROPERLY COUNTER-FLASH. MAXIMIZE THICKNESS OF BOARD INSULATION ASSEMBLY (RIGID AND TAPERED). INSULATION TO BE A MINIMUM OF R-20 AT THE LOW POINT OF ROOF. NOTIFY ARCHITECT IF INSULATION THICKNESS CANNOT BE ACHIEVED DUE TO DEPTH CONSTRAINTS.

INSTALL NEW COPPER 3 x 4" SMOOTH DOWNSPOUT AND CONDUCTOR HEAD. CONDUCTOR HEAD TO BE FABRICATED TO FIT FLUSH WITH PROFILED CORNICE. APPLY JOINT SEALANT AT METAL TO WOOD SEAM. PAINT LEADERHEAD TO MATCH DOWNSPOUT. ALL FASTENERS TO BE STAINLESS STEEL, RIVETS TO BE

WOOD CANT FASTENED -TO WOOD NAILERS

APPLY URETHANE CAULK AND BAKER ROD FULL LENGTH OF REGLET. NEW 20 OZ COPPER COUNTERFLASHING. HEM EDGE OF FLASHING AND INSTALL SPRING LOCK IN REGLET. EXTEND FLASHING A MIN. 4" PAST THE EDGE OF ROOF.

INSTALL REGLET. REPAIR MASONRY AS REQUIRED FOLLOWING REMOVAL OF

EXISTING FLASHING. PAINT MASONRY IN AREA OF NEW WORK (AREAS OF PAINT

APPLY BASE FLASHING PER MANUFACTURER'S INSTRUCTIONS

WOOD SHEATHING (BASE BID: REPLACE 50%)

LOSS AND NEW MORTAR).

SINGLE-PLY PVC MEMBRANE, INSTALL PER MANUFACTURERS

INSTRUCTIONS

WOOD SHEATHING (BASE BID: REPLACE 50%)

RIGID INSULATION, TYP.

TAPERED INSULATION, SLOPE PER PLAN 1/2" COVER BOARD

REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

RAISED PERIMETER EDGE WITH FLASHING FASCIA CAP

ADDITION ROOF SCUPPER IS OPEN AT THE TOP.

SEALANT SECURED TO WALL AND WOOD BLOCKING-SEE NOTES 4 AND 5 MEMBRANE FLASHING SEALANT

SEALANT WATER BLOCK - SPRAY POLYURETHANE BONDING ADHESIVE -ROOF DECK—PREPARE AS OPTIONAL: WOOD BLOCKING --REQUIRED PREPARE AS REQUIRED

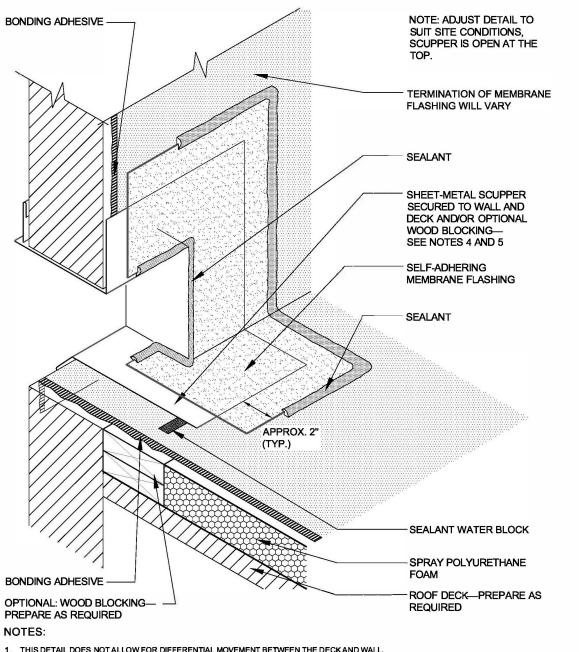
 THIS DETAIL DOES NOT ALLOW FOR DIFFERENTIAL MOVEMENT BETWEEN THE DECKAND WALL.
 CONDUCTOR HEAD TO BE 1 INCH MINIMUM BELOW BOTTOM OF THROUGH-WALL SCUPPER.
 REFER TO MANUFACTURERS' SPECIFICATIONS FOR SPECIFIC BASE FLASHING REQUIREMENTS. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION AND AIR LEAKAGE CONTROL, AND REROOFING FOR DESIGN, JOINERY AND SECUREMENT OPTIONS FOR SCUPPERS. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

BASE FLASHING AT THROUGH-WALL SCUPPER NOT DRAWN TO SCALE REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS,

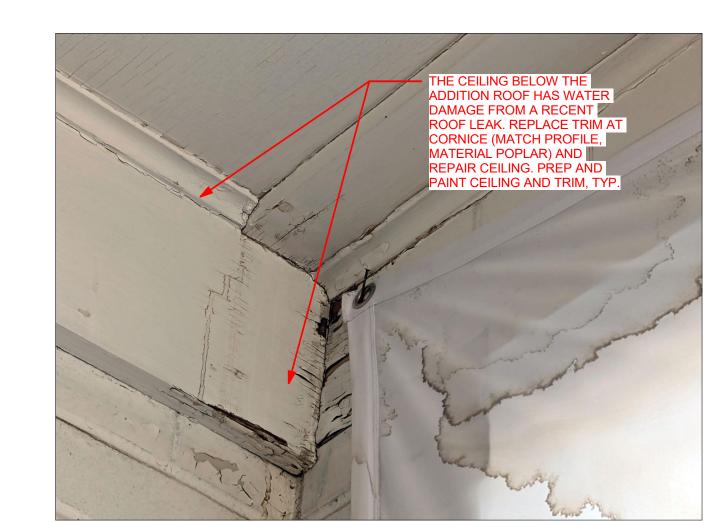
EXTEND A MIN. OF 4" BEYOND

**EXISTING CONDITIONS- EAST ELEVATION ADDITION ROOF** 

NOT TO SCALE



**CEILING BELOW ADDITION ROOF** NOT TO SCALE

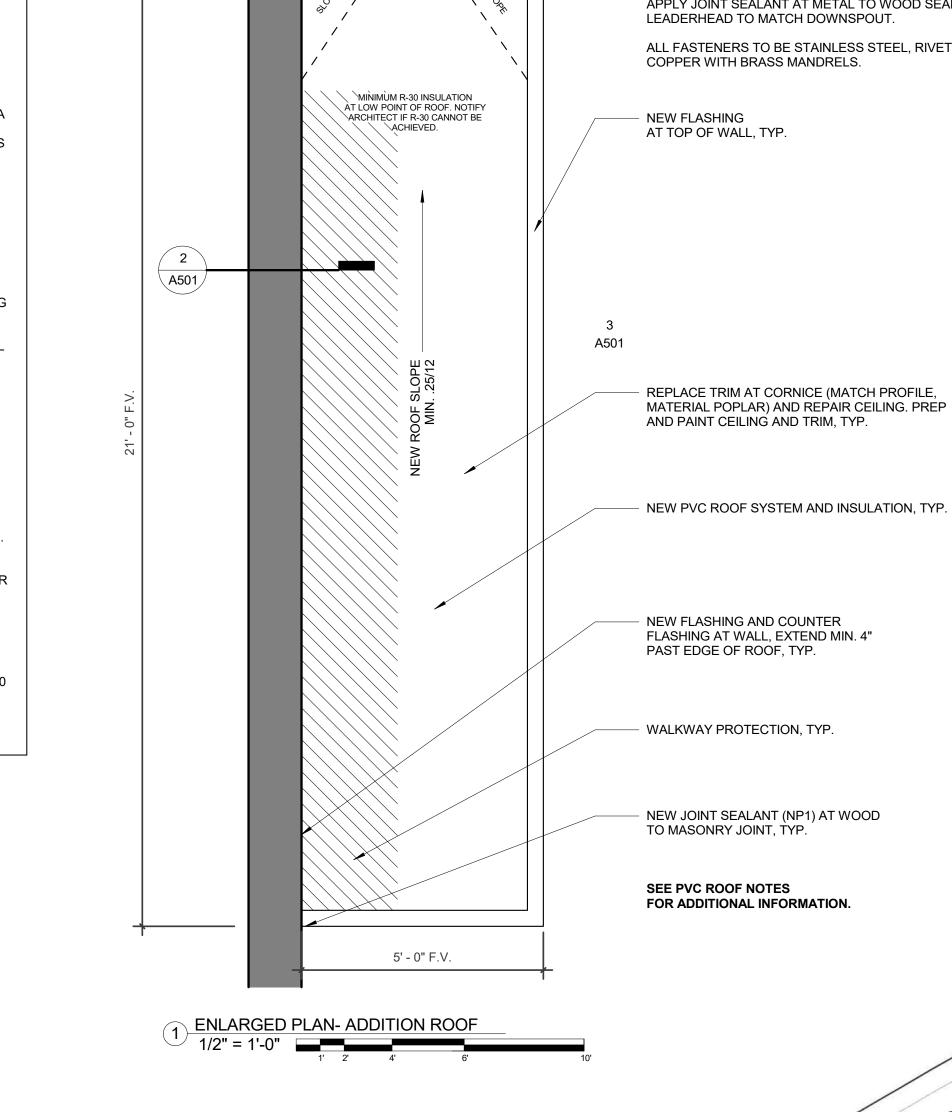


IE CEILING BELOW THE ADDITION ROOF HAS WATER DAMAGE FROM A RECENT

ROOF LEAK.

TRIM DAMAGE AT CEILING BELOW ADDITION ROOF

NOT TO SCALE



- SHEET-METAL FASCIA CAP--SEE NOTES 2 AND 3 - SELF-ADHERED OR HOT-AIR-WELDED FLASHING MEMBRANE (EXTENDED APPROX. 3" BEYOND CANT) SEALANT (IF REQUIRED FOR THE SPECIFIC SYSTEM) OPTIONAL: SEAM PLATES AND FASTENERS--SEE NOTE 1 MEMBRANE EXTENDED BELOW BLOCKING BONDING ADHESIVE - FASTENERS APPROX. 12" O.C. — 2 X 6 MIN. WOOD NAILER ATTACHED TO SUBSTRATE--OVERALL THICKNESS TO MATCH INSULATION

REFER TO SECTION 10.1--INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ALTERNATIVE BASE SECUREMENT OPTIONS. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING--2010 FOR DESIGN, JOINERY AND SECUREMENT OPTIONS FOR FASCIA CAPS.
 REFER TO SECTION 10.1--INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

RAISED PERIMETER EDGE WITH METAL FLASHING [FASCIA CAP] NOT DRAWN TO SCALE

4 BASE FLASHING AT THROUGH WALL SCUPPER

EXISTING

CONSTRUCTION

#### **GENERAL ROOF NOTES:**

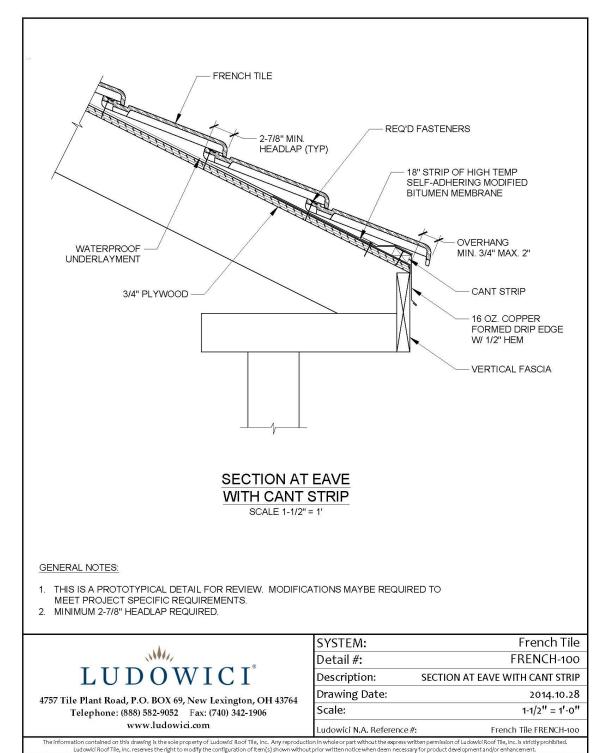
- THE INTENT OF THE TERRACOTTA ROOF REPAIR IS TO PROVIDE A COMPLETE, WATERTIGHT ROOFING SYSTEM FOR THE MAIN ROOF. ALL ELEMENTS OF THE ROOFING SYSTEMS ARE TO BE PROVIDED INCLUDING BUT NOT LIMITED TO ALL TILE, FLASHINGS, ACCESSORIES AND TERMINATIONS. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. 3RD PARTY INSPECTIONS PROVIDED BY THE OWNER MAY BE REQUIRED.
- TERRACOTTA ROOFING TO BE INSTALLED IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS AND AS CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS.
- SPECIAL CARE SHOULD BE TAKEN TO NOT DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS AND NEW WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS AND NEW WORK. PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
- 20 OZ. COPPER FLASHING TO BE UTILIZED FOR ALL FLASHING AND COUNTER-FLASHING. COPPER IS TO BE SOLDERED AT ALL SEAMS, CORNERS, AND CONNECTIONS. INSTALL WITH COPPER OR STAINLESS STEEL FASTENERS. SOLDER AS REQUIRED TO CREATE WATERTIGHT FLASHING DETAILS. HEM EDGES WHERE SPECIFIED.
- HIGH TEMPERATURE SELF-ADHERING UNDERLAYMENT TO BE USED FOR ALL NEW UNDERLAYMENT AT HIPS, RIDGES, AND DORMERS. NEW HT SELF-ADHERING UNDERLAYMENT TO LAP EXISTING ASPHALT SHEET UNDERLAYMENT. UNDERLAYMENT (OLD AND NEW) TO LAP SO THAT ANY WATER REACHING THE UNDERLAYMENT FLOWS POSITIVELY DOWN THE ROOF.
- REPLACE DAMAGED PLANK SHEATHING AROUND DORMERS. USE IN-KIND MATERIAL OF THE SAME WIDTH AND DIMENSION (BASE BID: 120 BOARD FEET).

#### **TERRACOTTA ROOF NOTES:**

- RIDGE AND HIP- INSTALL PER MANUFACTURERS DETAILS. PROVIDE APPROPRIATE RIDGE COVERS, TERMINALS, STARTERS, INSECT SCREENS, FLASHING, AND UNDERLAYMENT.
- A. SEE REFERENCE DETAILS.B. INSTALL FRENCH INTERLOCKING TILE ROOF IN ACCORDANCE WITH
- LUDOWICI INTERLOCKING TILE INSTALLATION MANUAL.

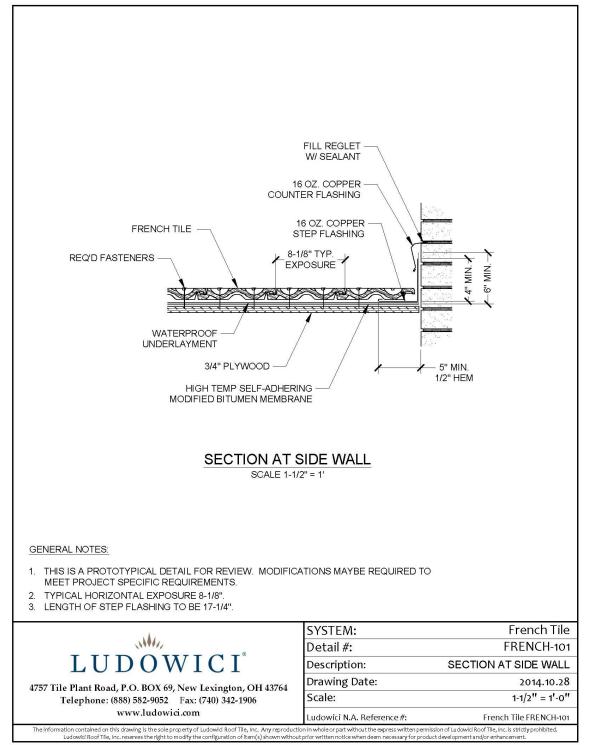
  C. ALL FASTENERS TO BE STAINLESS STEEL.
- ALL FLASHINGS TO BE 20 OZ COPPER. LEAD COATED COPPER MATERIALS TO BE USED AT DORMER IF POSSIBLE.
  - a. EXISTING FLASHINGS AND DORMERS ARE FABRICATED FROM LEAD COATED COPPER.
- SEE DETAILS AND ADDITIONAL INFORMATION ON SHEET A503 FOR DORMER DESIGN INTENT.

# REFERENCE DETAILS FOR TERRACOTTA ROOF- LUDOWICI

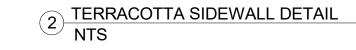


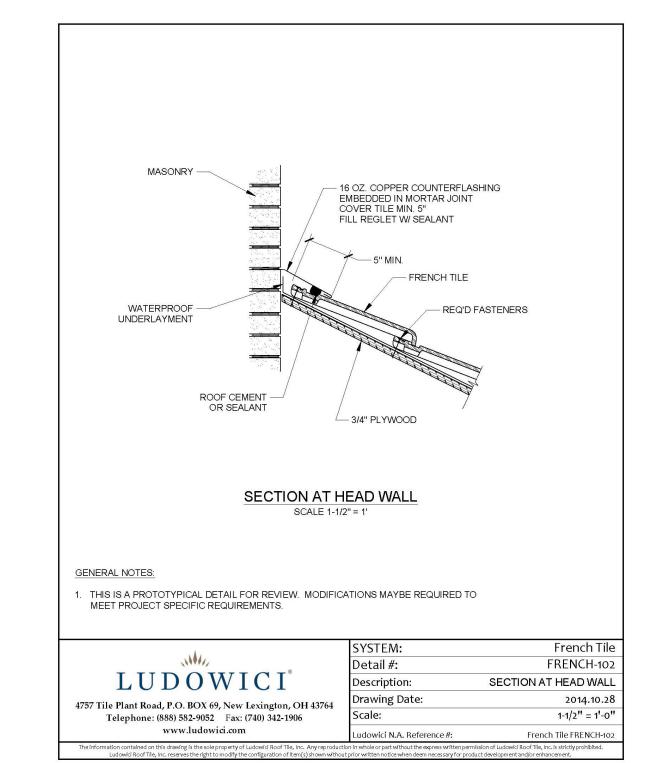
REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS





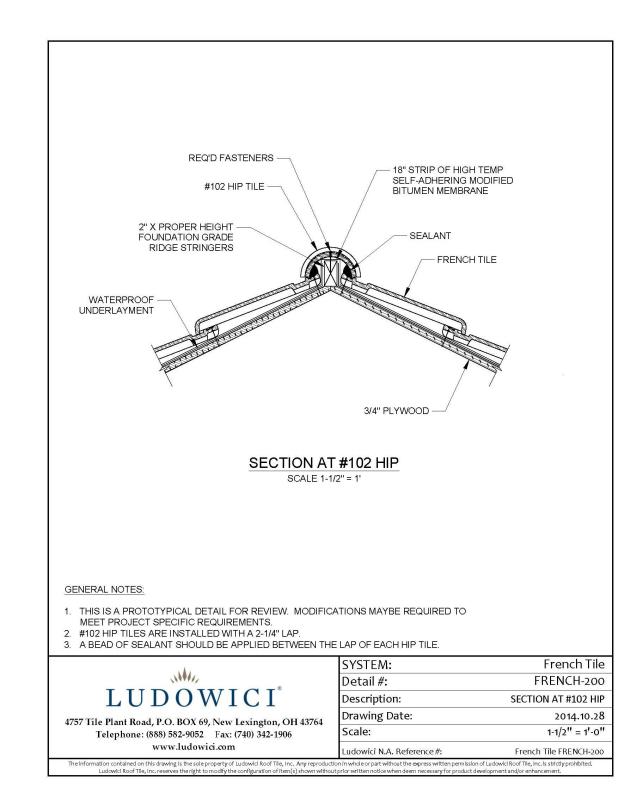
REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS



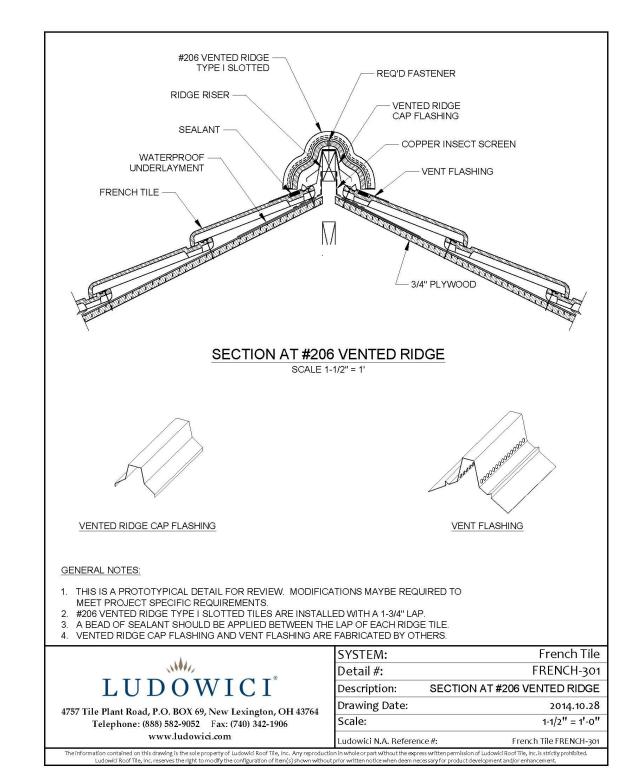


REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

3 TERRACOTTA HEAD WALL DETAIL



REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS



REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS



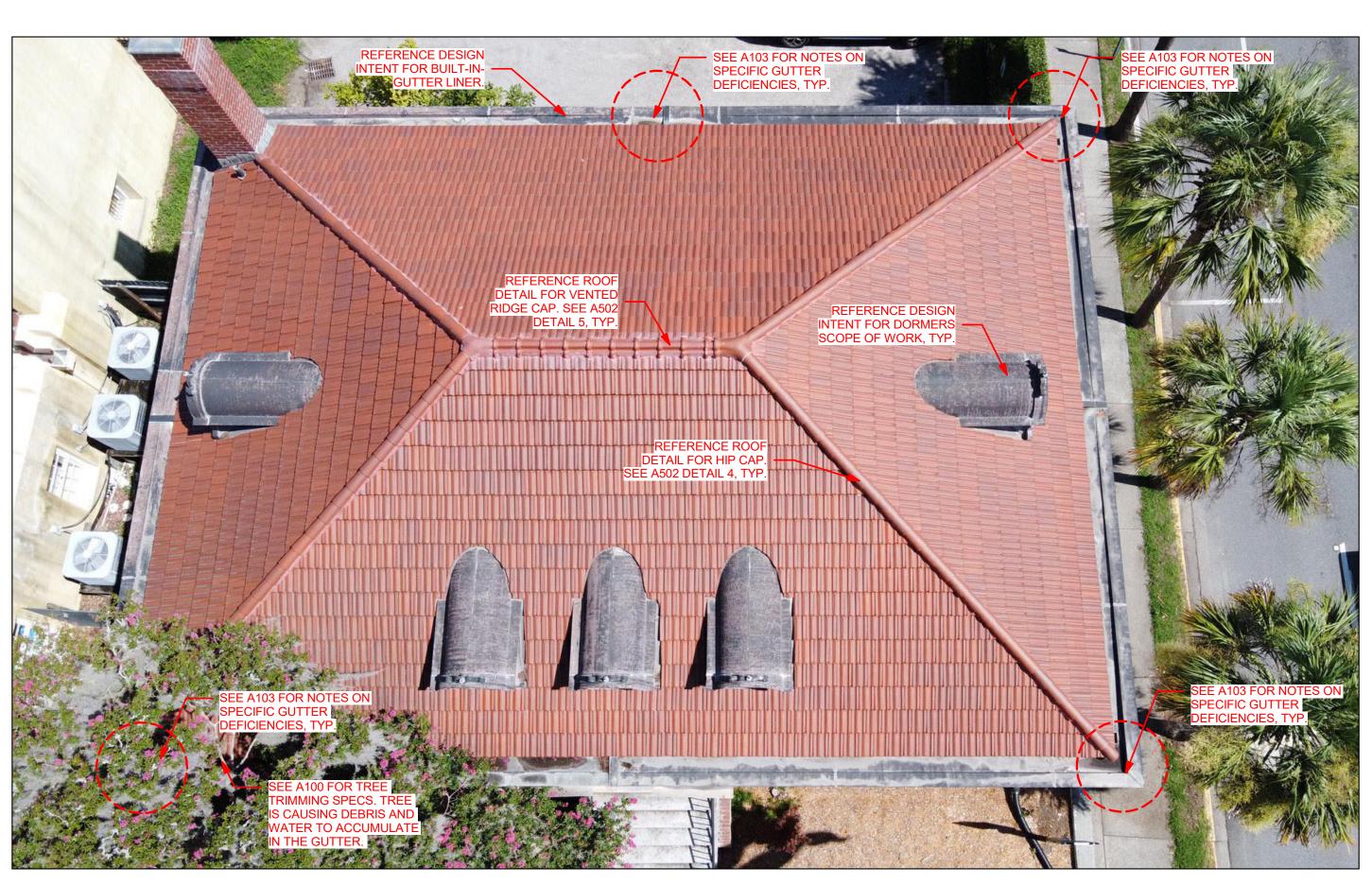
REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

TERRACOTTA HIP DETAIL

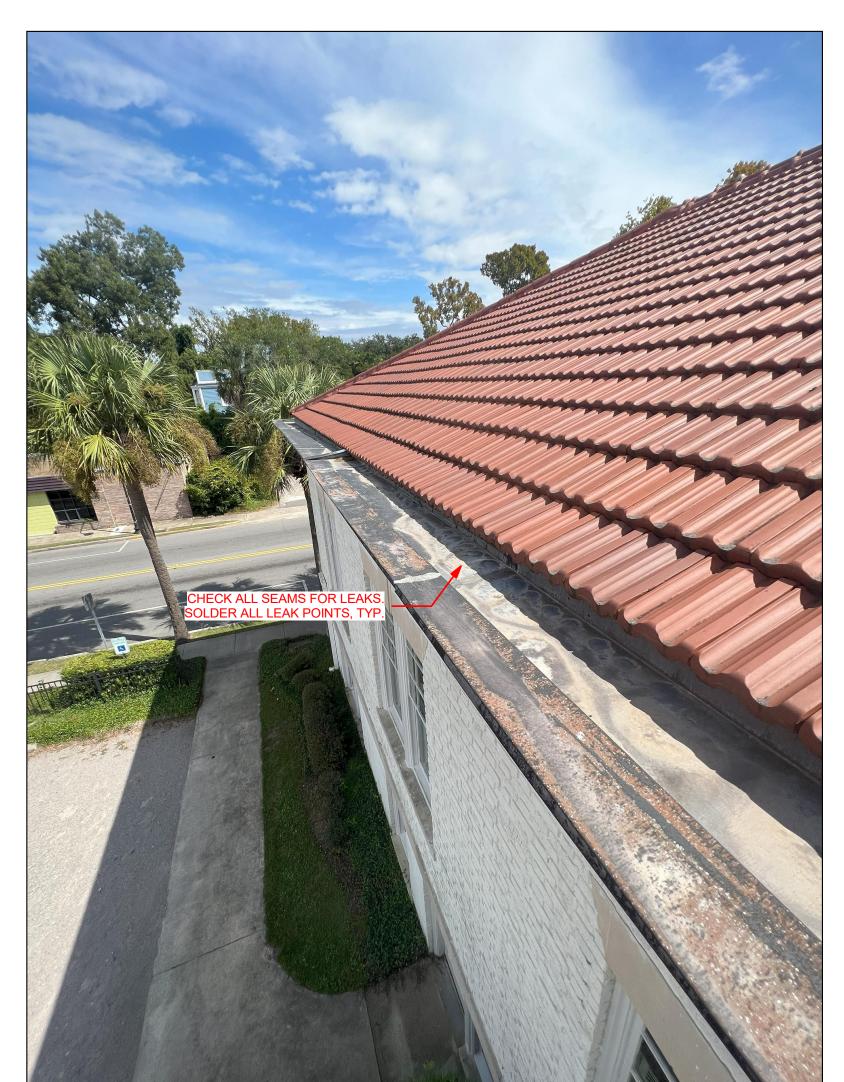
5 TERRACOTTA VENTED RIDGE DETAIL

6 TERRACOTTA FRENCH INTERCONNECTING TILE NTS

SINCE 1984



AERIAL VIEW OF MAIN ROOF





# DETAIL VIEWS OF LEAD COATED COPPER LINER AT BUILT-IN-GUTTER

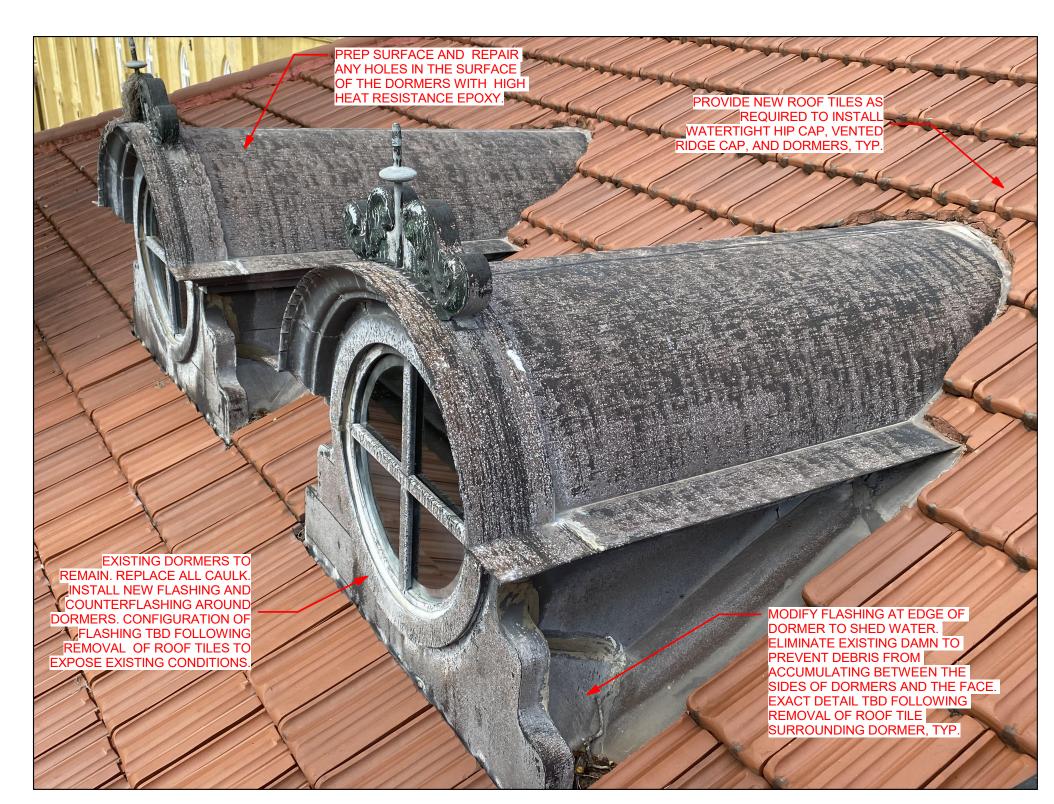
#### **BUILT-IN-GUTTER DESIGN INTENT:**

CONTRACTOR TO MODIFY GUTTER TO REMOVE LOW SPOTS WHERE WATER PONDS IN THE BASE OF THE METAL LINER. GUTTER TAPERS TO LEVEL AT EXPANSION JOINTS. ENSURE GUTTER PITCHES SO THAT WATER IS DIRECTED TO THE DOWNSPOUTS. THE OUTSIDE EDGE OF THE GUTTER HAS DIPPED IN SELECT AREAS ADJACENT TO THE EXPANSION JOISTS RESULTING IN WATER OVERFLOWING DOWN THE FACE OF THE BUILDING. CONTRACTOR TO CAREFULLY BEND THE GUTTER BACK IN PLACE. REPLACE ALL LOOSE OR MISSING FASTENERS WITH NON-FERROUS FASTENERS OR RIVETS (COPPER WITH BRASS MANDRELS), CAP WITH SOLDER. REPAIR ALL LEAKS AND OPEN SEAMS WITH SOLDER. SEE ADDITIONAL INFORMATION ON SHEET A102, PLAN 2.

CAULK CANNOT BE USED TO REPAIR THE LEAD COATED COPPER GUTTER LINER.

CONTRACTOR TO WATER TEST GUTTER TO IDENTIFY LEAKS AND ENSURE REPAIRS ARE WATERPROOF.

GUTTER LINER TO BE WATERTIGHT AT THE COMPLETION OF THE PROJECT.



#### DETAIL VIEW OF LEAD COATED COPPER DORMERS

#### **DORMER FLASHING DESIGN INTENT:**

CONTRACTOR TO SUBMIT SHOP DRAWINGS OF PROPOSED FLASHING DETAILS AT DORMERS. DETAILS TO BE DEVELOPED AFTER DORMERS AND FLASHING HAVE BEEN EXPOSED FOLLOWING ROOF TILE REMOVAL.

CONTRACTOR SHOULD ACCOUNT FOR ALTERING EXISTING TWO-LAYERS OF ASPHALT SHEET TO LAP NEW FLASHING, HIGH TEMPERATURE SELF-ADHERING UNDERLAYMENT IN AREA OF WORK, ROSIN SLIP SHEET AS REQUIRED, NEW DORMER FLASHING COMPATIBLE FOR SOLDERING TO EXISTING LEAD COATED COPPER MATERIAL (HEM EDGES AS REQUIRED), IN-KIND MATERIAL IF AVAILABLE), HIGH TEMPERATURE SELF-HEALING COUNTERFLASHING AROUND EACH DORMER, NEW CAULK, REPAIR OF DORMER SURFACE WITH COLOR MATCHED HEAT RESISTANCE EPOXY, RE-INSTALLATION OF ROOF TILES REMOVED FOR FLASHING ACCESS, AND PROVIDING ADDITIONAL TILE WHERE REQUIRED. CONTRACTOR TO PROVIDE WATERTIGHT CONFIGURATION AT ALL DORMERS. WATERTIGHTNESS TO BE ACHIEVED WITH FLASHING. CAULK IS NOT CONSIDERED A WATERTIGHT ASSEMBLY.

- PROPOSED DORMER ASSEMBLY:
  1. TERRACOTTA TILE- LUDOWICI FRENCH LOW-PROFILE INTERLOCKING CLAY TILE (ADJACENT TO DORMERS).

  - SELF-ADHERING COUNTERFLASHING.
    METAL FLASHING AND CRICKET INTEGRATED WITH EXISTING METAL DORMER.
    HIGH TEMPERATURE SELF-ADHERED UNDERLAYMENT. INTEGRATE NEW UNDERLAYMENT WITH EXISTING TWO LAYERS OF ASPHALT SHEET
- UNDERLAYMENT. 7/8" PLANK WOOD ROOF DECK.

FLASHING & **GUTTER DETAILS** 

DOCUMENTS

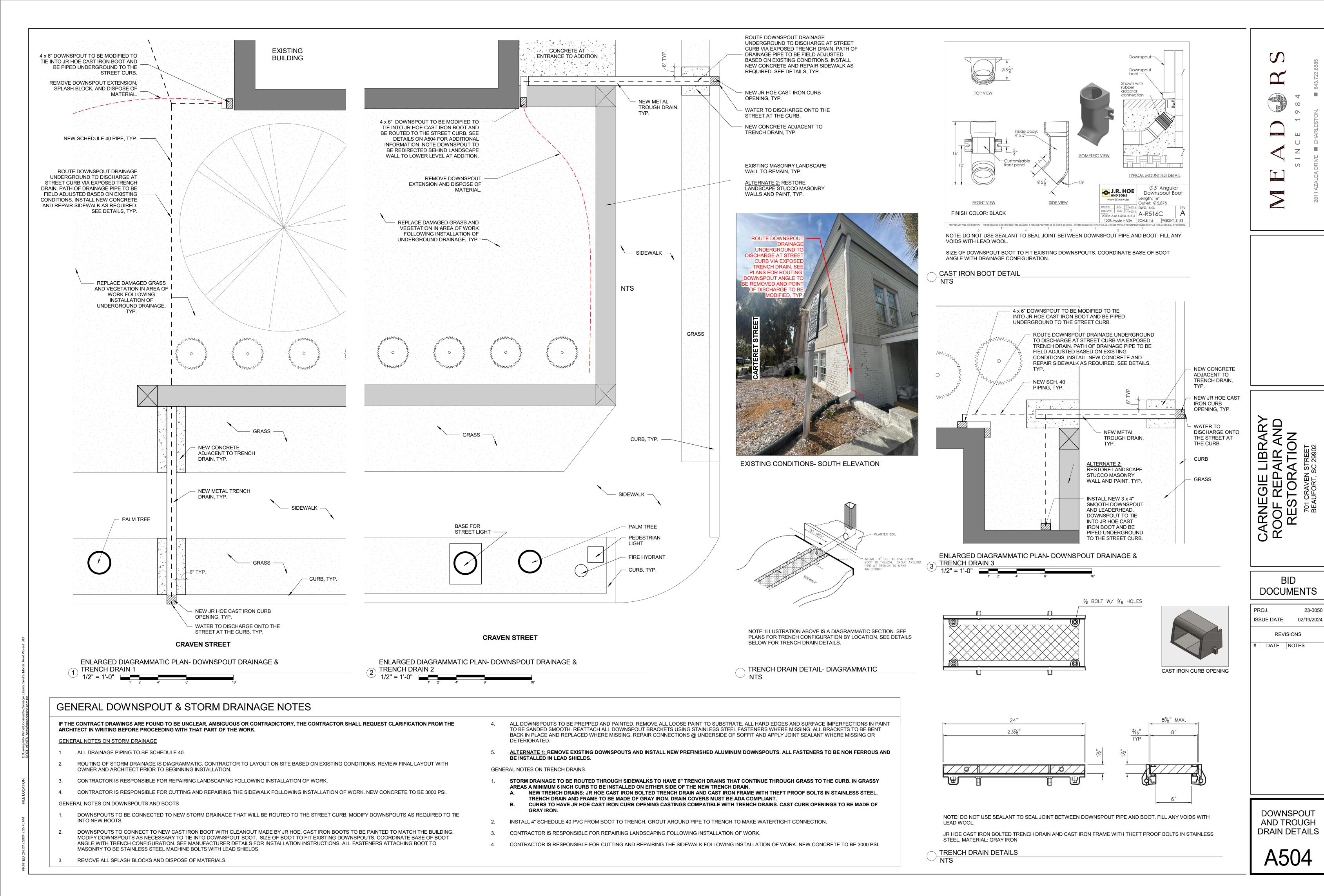
REVISIONS

# DATE NOTES

ISSUE DATE:

23-0050

02/19/2024



OT FOR CONSTRUCTION

INTERIOR

FINISHES-

PLASTER

**REPAIRS** 

PROJ. ISSUE DATE: 02/19/2024

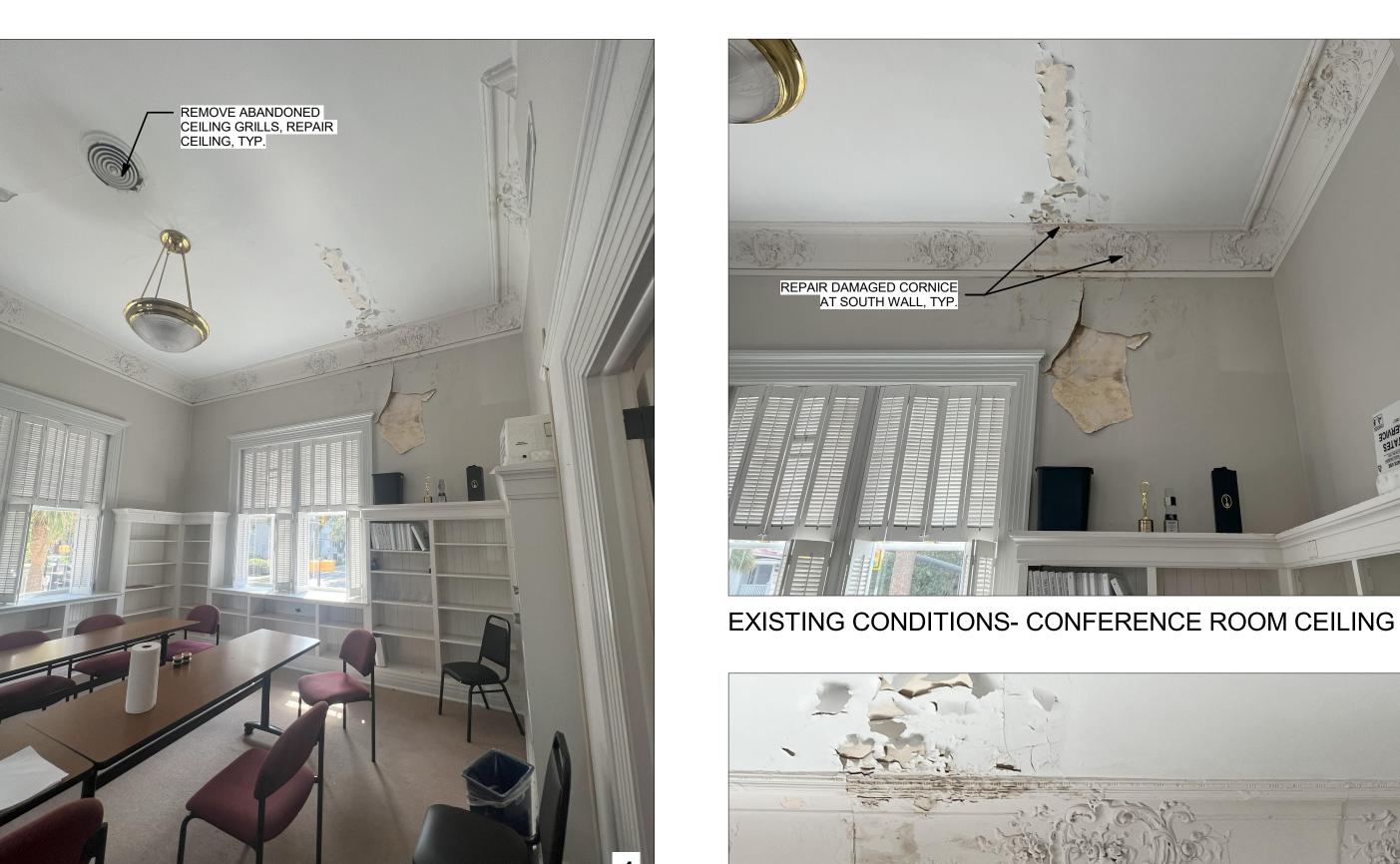
**DOCUMENTS** 

23-0050

REMOVE AND REINSTALL LIGHTING AS REQUIRED 🏾 TO ACCOMPLISH CEILING REPAIRS, TYP.

EXISTING CONDITIONS- CONFERENCE ROOM CEILING

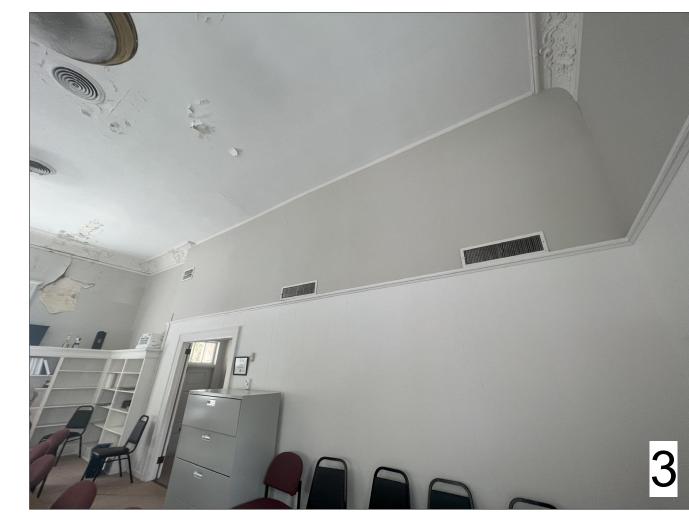
EXISTING CONDITIONS- CONFERENCE ROOM CEILING



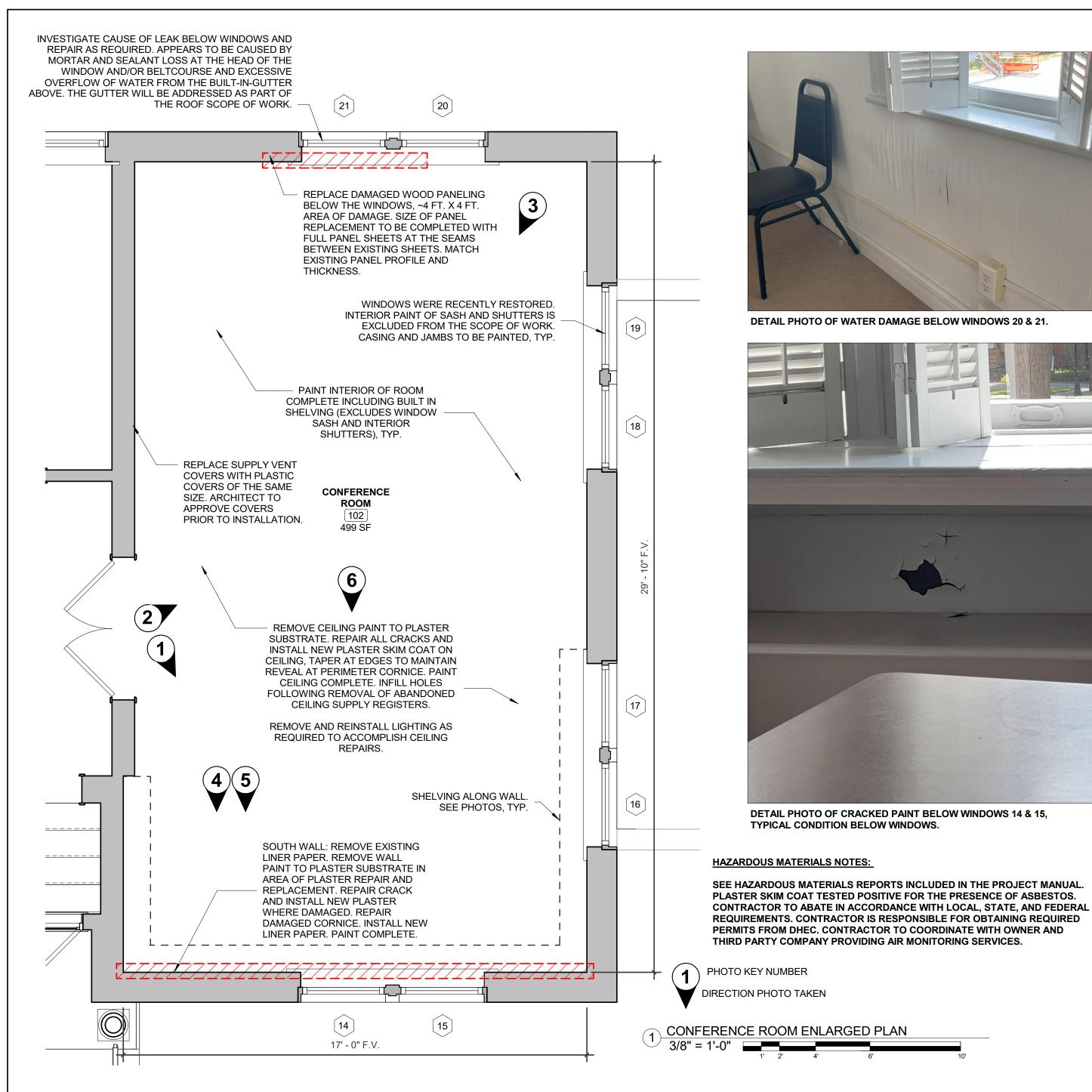
**EXISTING CONDITIONS- CONFERENCE ROOM** 



**EXISTING CONDITIONS- CONFERENCE ROOM** 



**EXISTING CONDITIONS- CONFERENCE ROOM** 



# **GENERAL PLASTER NOTES**

GENERAL NOTES ON FURNITURE AND CONTENTS OF SHELVING

- 1. OWNER IS RESPONSIBLE FOR REMOVING ITEMS FROM THE SHELVES. CONTRACTOR TO COORDINATE SCHEDULE WITH OWNER AND TENANT.
- CONTRACTOR IS RESPONSIBLE FOR MOVING TABLES AND CHAIRS TO PROVIDE ACCESS. PROTECT TABLE AND CHAIRS FROM DAMAGE THROUGH OUT CONSTRUCTION.

# GENERAL NOTES ON INTERIOR SCOPE OF WORK

- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH OF EXISTING ORIGINAL MATERIALS AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND **INSTALLATION METHOD.**
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. REFERENCE HAZARDOUS MATERIALS REPORT FOR LOCATION OF HAZARDOUS MATERIALS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL WHERE RELEVANT TO SCOPE OF WORK. PLASTER SKIM COAT CONTAINS ASBESTOS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

#### **INTERIOR FINISH NOTES**

- DESIGN INTENT: REPAIR ALL INTERIOR FINISH SURFACES IN THE CONFERENCE ROOM. REMOVE ALL EXTRANEOUS AND ABANDONED HARDWARE AND FASTENERS.
  - REMOVE ALL ABANDONED MECHANICAL VENT COVERS IN THE CEILING.
- PAINT INTENT: PREP AND PAINT THE ROOM, INCLUDING SHELVING, CASINGS, AND JAMBS FOR THE WINDOWS AND DOORS. WINDOWS WERE RECENTLY RESTORED. SASH AND INTERIOR SHUTTERS ARE EXCLUDED FROM THE PAINT SCOPE OF WORK.
- CONTRACTOR TO ENSURE THAT FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. COMPONENTS MAY REQUIRE HEAVY SCRAPING AND SANDING TO ACHIEVE STABLE, WELL ADHERED, AND **VISIBLY HOMOGENOUS PAINT.** 
  - PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT INTERIOR AND SURFACES. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
  - INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
  - METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).