

# RFP 2021-102

## CARNEGIE LIBRARY ROOF REPAIR & RESTORATION

### CONTACTS

#### Owner:

City of Beaufort  
1911 Boundary Street  
Beaufort, SC 29902

#### Architect:

Meadors Inc.  
PO Box 21758  
Charleston, South Carolina 29413  
Tel: 843.723.8585  
Fax: 843.577.3107

Betty Prime, AIA  
Project Architect  
Email: betty@meadorsinc.com

Kalen McNabb  
Conservator  
Email: kalen@meadorsinc.com

### PROJECT DATA

#### 1. General Information

Address: Carnegie Library  
701 Craven Street  
Beaufort, SC 29902

Property ID: R120 004 000 0819 0000  
Flood Zone: A11  
Flood Insurance Map Panel #450026 0005D

Site Area: 3,659 SF (.08 Acres)

### PROJECT DESCRIPTION

The Carnegie Library is a local historic site and a contributing structure in the City of Beaufort's National Historic Landmark District. The exterior scope of work for this project includes the repair of the existing terracotta roof, new dormer flashing, repair of the built-in-gutter liner, exterior wood repair, paint removal, painting, replacement of the addition roof on the east side of the building, and new underground drainage from the downspouts to the street. The interior scope of work is limited to interior repairs associated with water damage from previous and current roof leaks. Water damage has resulted in damage to historic plaster.

#### PROJECT ALTERNATES:

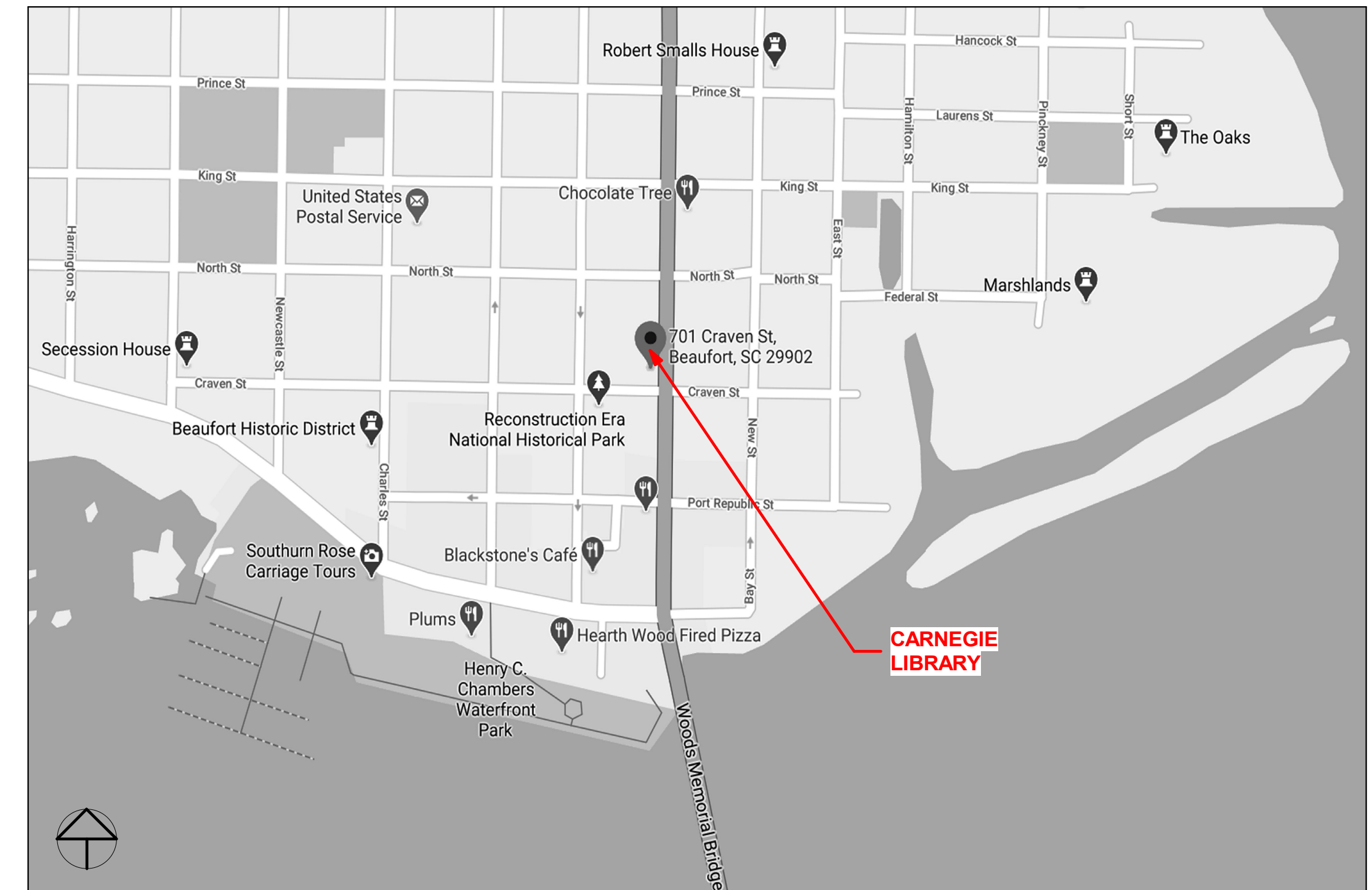
- Alternate 1: Remove existing downspouts and install new copper downspouts. Paint to match the building (add alternate, not to be included in base bid).
- Alternate 2: Restore landscape stucco masonry walls and paint (add alternate, not to be included in base bid).
- Alternate 3: Addition roof, substitute specified copper flashing, downspout, and leaderhead with PVC coated flashing and prefinished downspout and leaderhead; compatible with flashing (credit)
- Alternate 4: Structural repairs (add alternate, not to be included in base bid).

### DRAWING LIST

A000	COVER/TITLE SHEET
A001	NOTES & SPECIFICATIONS
A002	EXISTING CONDITIONS- ROOFS
A003	EXISTING CONDITIONS- DOWNSPOUTS
A100	SITE/GRADE DEMO PLAN
A101	SITE/GRADE PROPOSED PLAN
A102	1ST FLR DEMO & PROPOSED PLANS
A103	ROOF DEMO & PROPOSED PLANS
A201	BUILDING ELEVATIONS
A501	PVC ROOF DETAILS
A502	TERRACOTTA ROOF DETAILS
A503	FLASHING & GUTTER DETAILS
A504	DOWNSPOUT AND TROUGH DRAIN DETAILS
A601	INTERIOR FINISHES- PLASTER REPAIRS



EXISTING SOUTH ELEVATION



LOCATOR MAP- 701 CRAVEN STREET BEAUFORT, SC

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION

701 CRAVEN STREET  
BEAUFORT, SC 29902

BID  
DOCUMENTS

PROJ. 23-0050  
ISSUE DATE: 02/19/2024

REVISIONS

#	DATE	NOTES

COVER/TITLE  
SHEET

A000

NOT FOR CONSTRUCTION



# EXISTING CONDITIONS- TERRACOTTA ROOF ON ORIGINAL STRUCTURE



EXISTING CONDITIONS- OVERALL VIEW OF ROOF FROM ABOVE.



EXISTING CONDITIONS- VIEW OF ROOF LOOKING EAST.



EXISTING CONDITIONS- DETAILED VIEW OF ROOF RIDGE AND HIP.



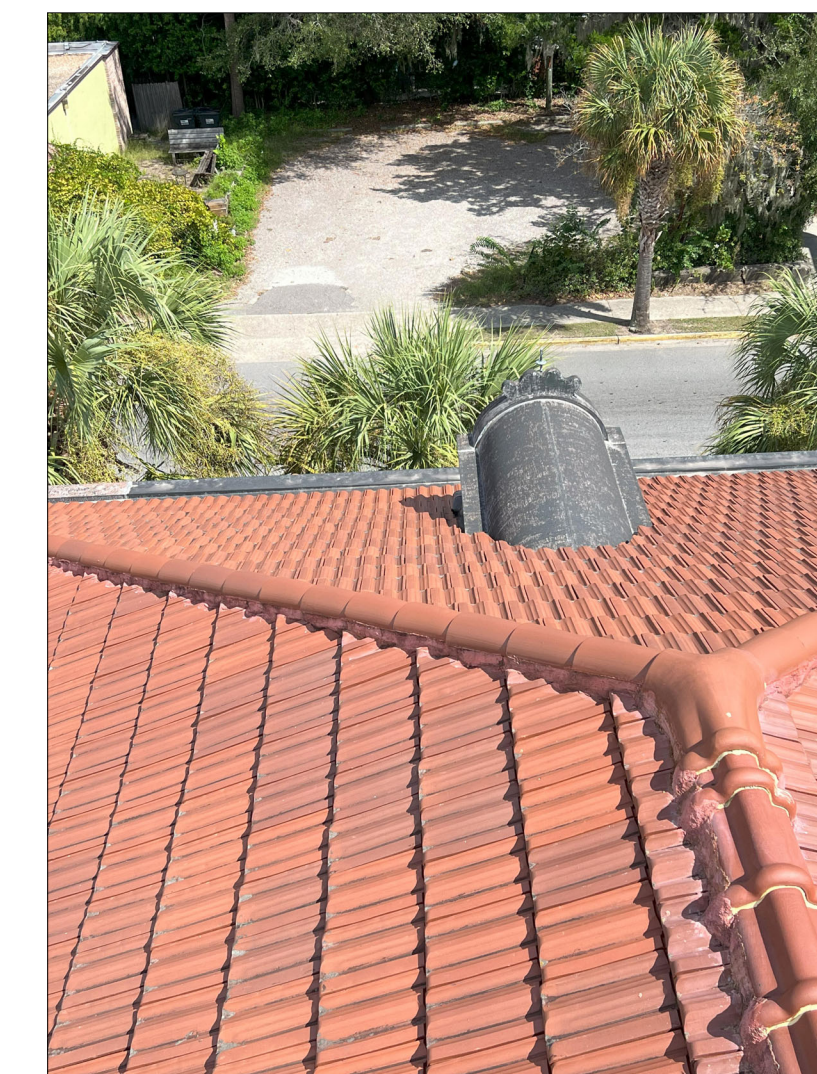
EXISTING CONDITIONS- VIEW OF SOUTH ELEVATION DORMERS.



EXISTING CONDITIONS- DETAILED VIEW OF SOUTH ELEVATION DORMERS FROM THE SIDE.



EXISTING CONDITIONS- DETAILED VIEW OF DORMER FRONT AT SOUTH ELEVATION.



EXISTING CONDITIONS- DETAILED VIEW OF EXISTING RIDGE TILES AND TERMINALS.



EXISTING CONDITIONS- DETAILED VIEW OF RIDGE TILES.



EXISTING CONDITIONS- VIEW LOOKING SOUTH, DETAILED VIEW OF BUILT IN GUTTER AND FRENCH TERRACOTTA TILES.



EXISTING CONDITIONS- VIEW AT NORTHWEST CORNER, DETAILED VIEW OF CHIMNEY PENETRATION AT ROOF.



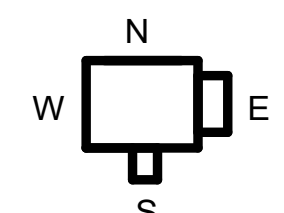
EXISTING CONDITIONS- VIEW AT NORTHWEST CORNER, DETAILED VIEW OF RIDGE AND VENT.

## EXISTING CONDITIONS- BALLAST MEMBRANE ROOF ON SIDE ADDITION



EXISTING CONDITIONS- EAST ELEVATION ADDITION ROOF.

PHOTO KEY:



**MEADORS**

SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.6585

**CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION**

701 CRAVEN STREET  
BEAUFORT, SC 29902

BID  
DOCUMENTS

PROJ. 23-0050  
ISSUE DATE: 02/19/2024

REVISIONS

#	DATE	NOTES

EXISTING  
CONDITIONS-  
ROOFS

**A002**

**NOT FOR CONSTRUCTION**

# EXISTING CONDITIONS- DOWNSPOUT LOCATIONS



EXISTING CONDITIONS- SOUTHEAST CORNER DOWNSPOUT.



EXISTING CONDITIONS- DOWNSPOUTS ON NORTH SIDE OF THE EAST ELEVATION. CONDUCTOR HEAD/LEADERHEAD ON THE LEFT IS PART OF THE WATER DRAINAGE SYSTEM FOR THE ADDITION ROOF.



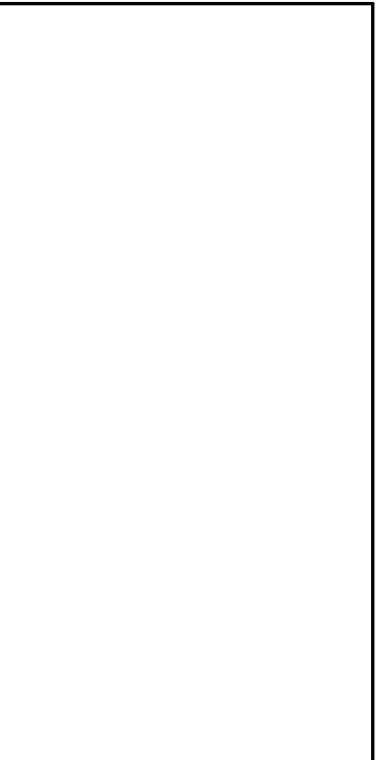
EXISTING CONDITIONS- NORTHEAST CORNER DOWNSPOUT. DOWNSPOUT AND CONDUCTOR/LEADER HEAD AT THE SIDE ADDITION CAN BE SEEN IN THE BACKGROUND.



EXISTING CONDITIONS- NORTHWEST CORNER DOWNSPOUT.



EXISTING CONDITIONS- SOUTHWEST CORNER DOWNSPOUT.



CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION  
701 CRAVEN STREET  
BEAUFORT, SC 29902

BID  
DOCUMENTS

PROJ. 23-0050  
ISSUE DATE: 02/19/2024

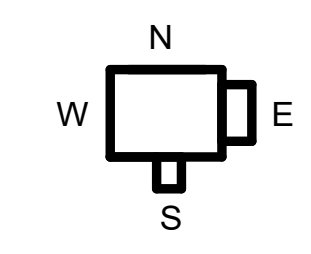
REVISIONS

#	DATE	NOTES

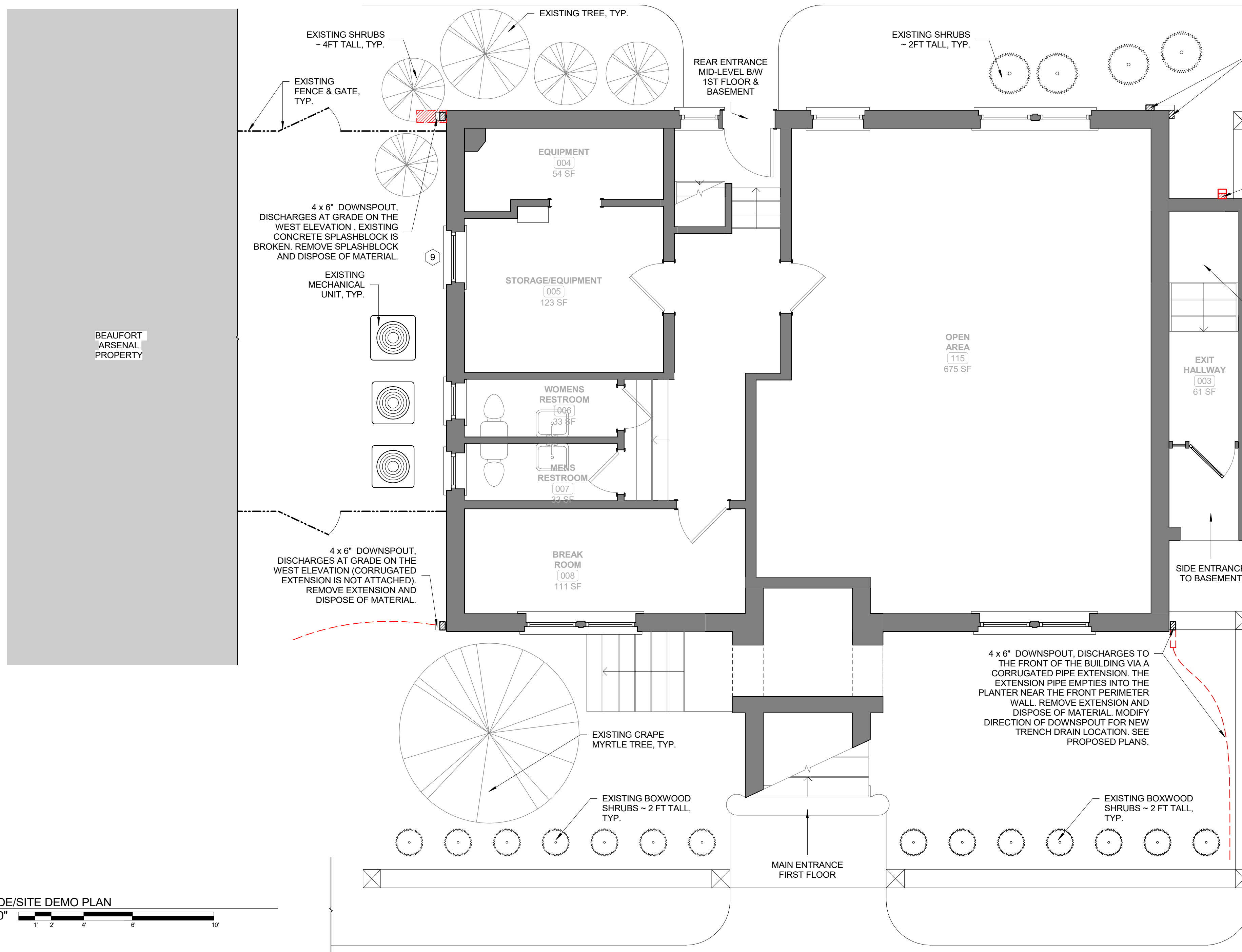
EXISTING  
CONDITIONS-  
DOWNSPOUTS  
**A003**

**NOT FOR CONSTRUCTION**

PHOTO KEY:



GENERAL NOTES: PHOTO PROGRESSION  
PHOTOS ARE TAKEN COUNTERCLOCKWISE,  
STARTING AT THE FRONT ENTRANCE ON THE SOUTH  
ELEVATION.



EXISTING CONDITIONS- WEST ELEVATION

NOT TO SCALE



EXISTING CONDITIONS- NORTH ELEVATION & ROOF

NOT TO SCALE



EXISTING CONDITIONS- SOUTH ELEVATION

NOT TO SCALE



EXISTING CONDITIONS- EAST ELEVATION

NOT TO SCALE



EXISTING CONDITIONS- NORTHEAST ELEVATION

NOT TO SCALE

MEADORS

SINCE 1984

2811 AZALEA DRIVE CHARLESTON, SC 29405

CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION

701 CRAVEN STREET  
BEAUFORT, SC 29902

NOT FOR CONSTRUCTION

BID DOCUMENTS

PROJ. 23-0050

ISSUE DATE: 02/19/2024

REVISIONS

#	DATE	NOTES

SITE/GRADE DEMO PLAN

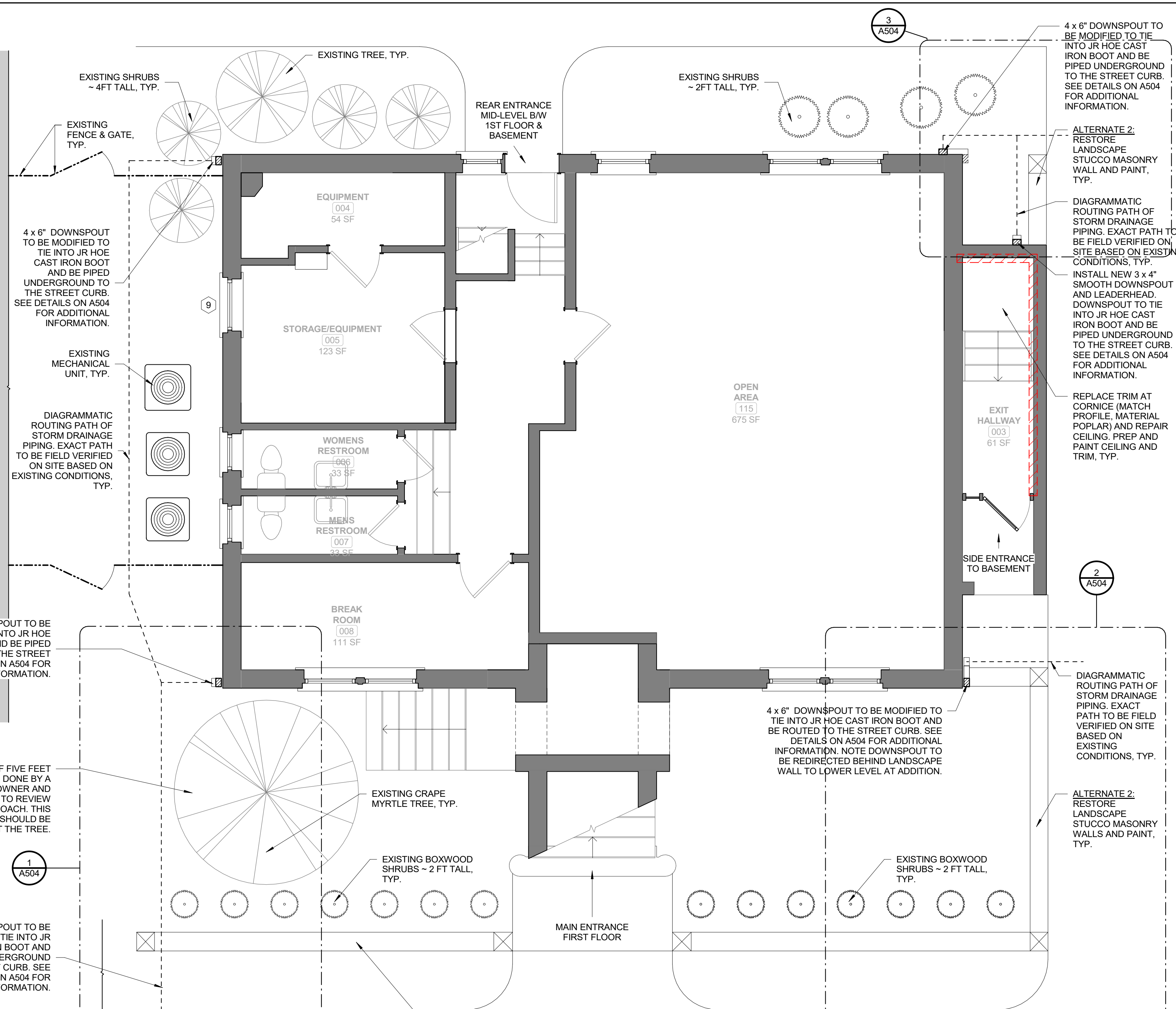
A100

**GENERAL NOTE ON INTERIOR AND EXTERIOR PAINTING:**

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENEOUS PAINT.

- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- B. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW WOOD TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER.
- C. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- D. INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
- E. METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON, FERROBOND P., OR APPROVED EQUAL).

BEAUFORT ARSENAL PROPERTY



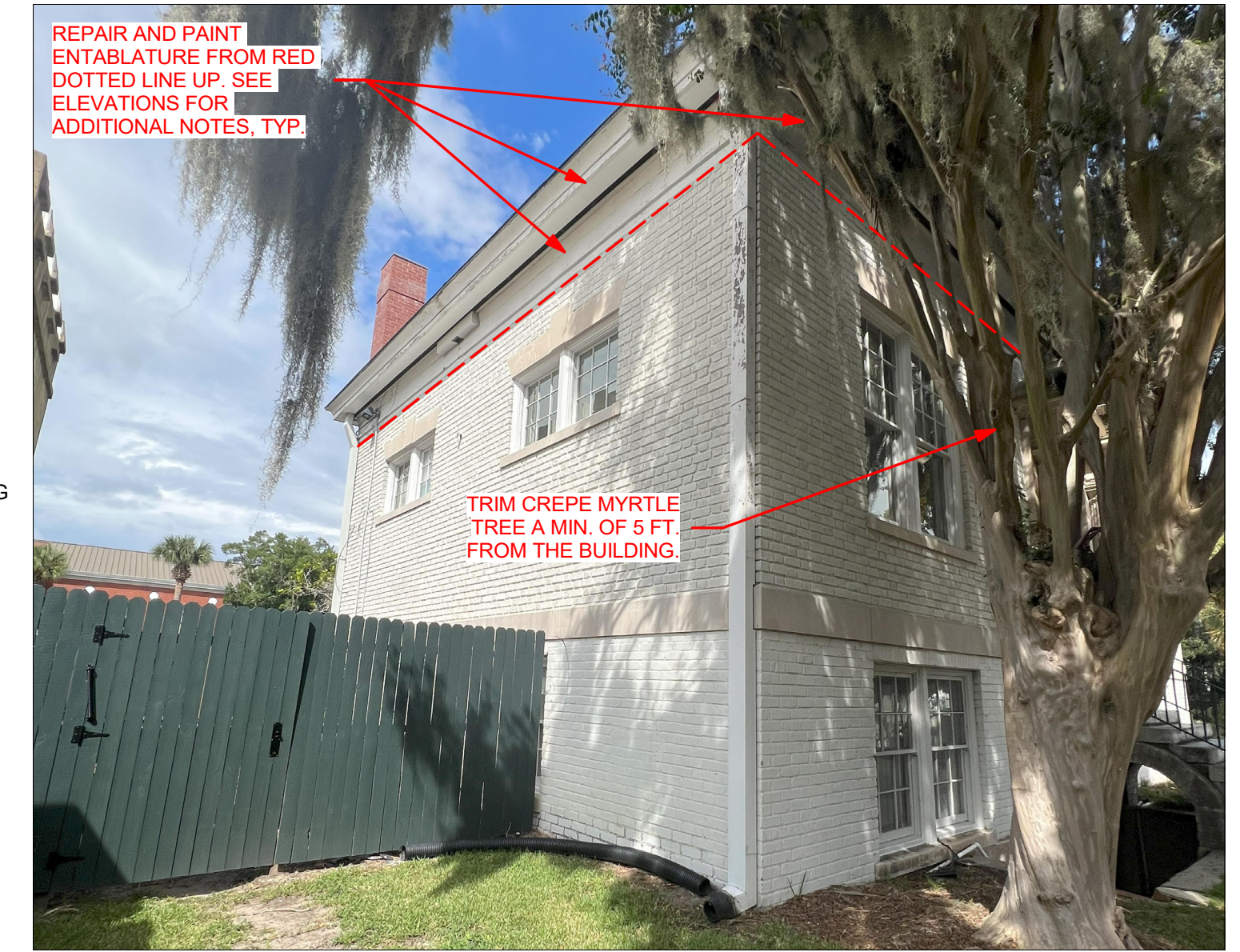
1 00 - GRADE/SITE PROPOSED PLAN  
1/4" = 1'-0"



EXISTING CONDITIONS- SOUTH ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- EAST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- WEST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- NORTH ELEVATION & ROOF  
NOT TO SCALE



EXISTING CONDITIONS- NORTHEAST ELEVATION  
NOT TO SCALE

MEADORS

SINCE 1984

2811 AZALEA DRIVE CHARLESTON, SC 29405

CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION  
701 CRAVEN STREET  
BEAUFORT, SC 29902

BID DOCUMENTS

PROJ. 23-0050  
ISSUE DATE: 02/19/2024

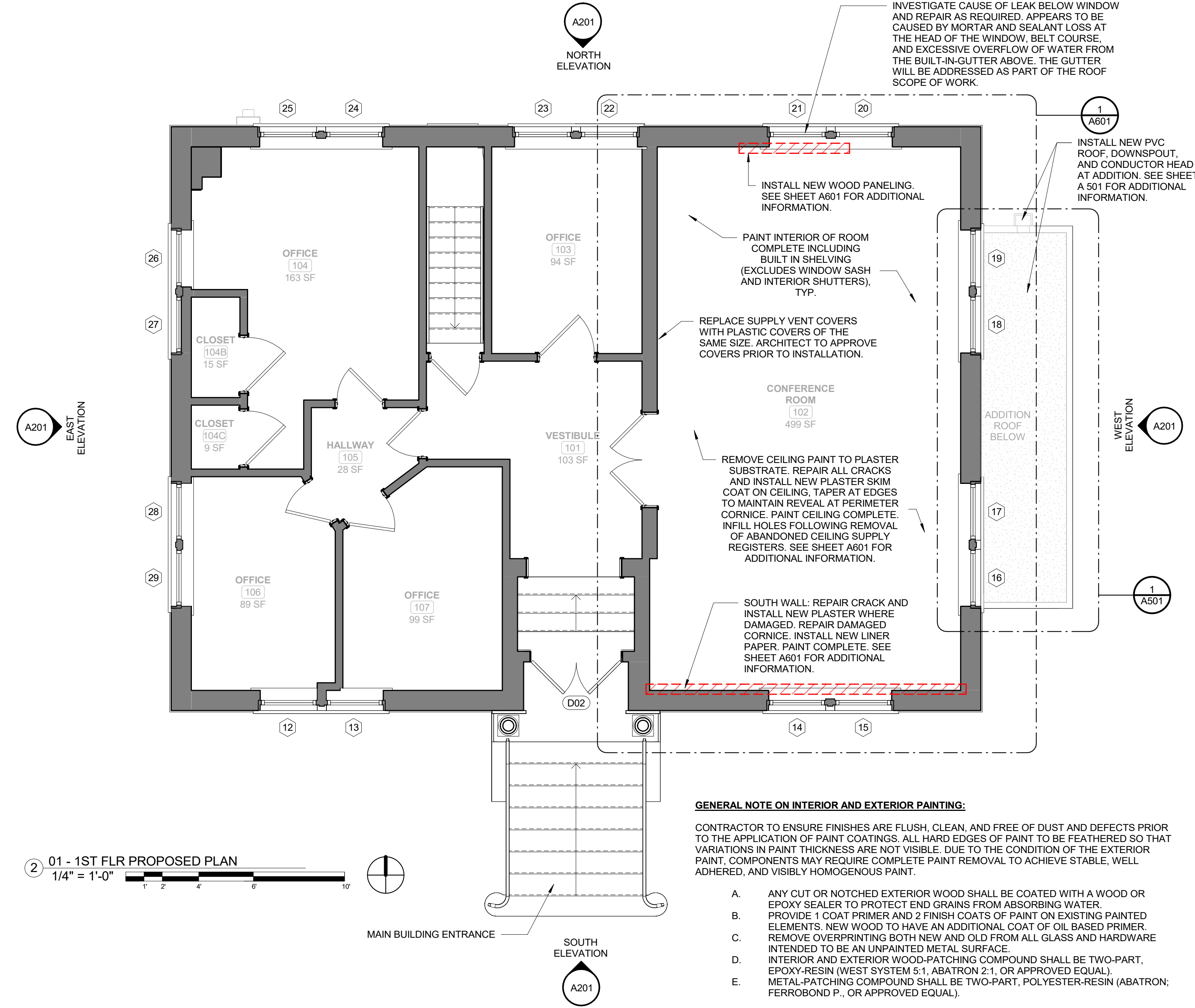
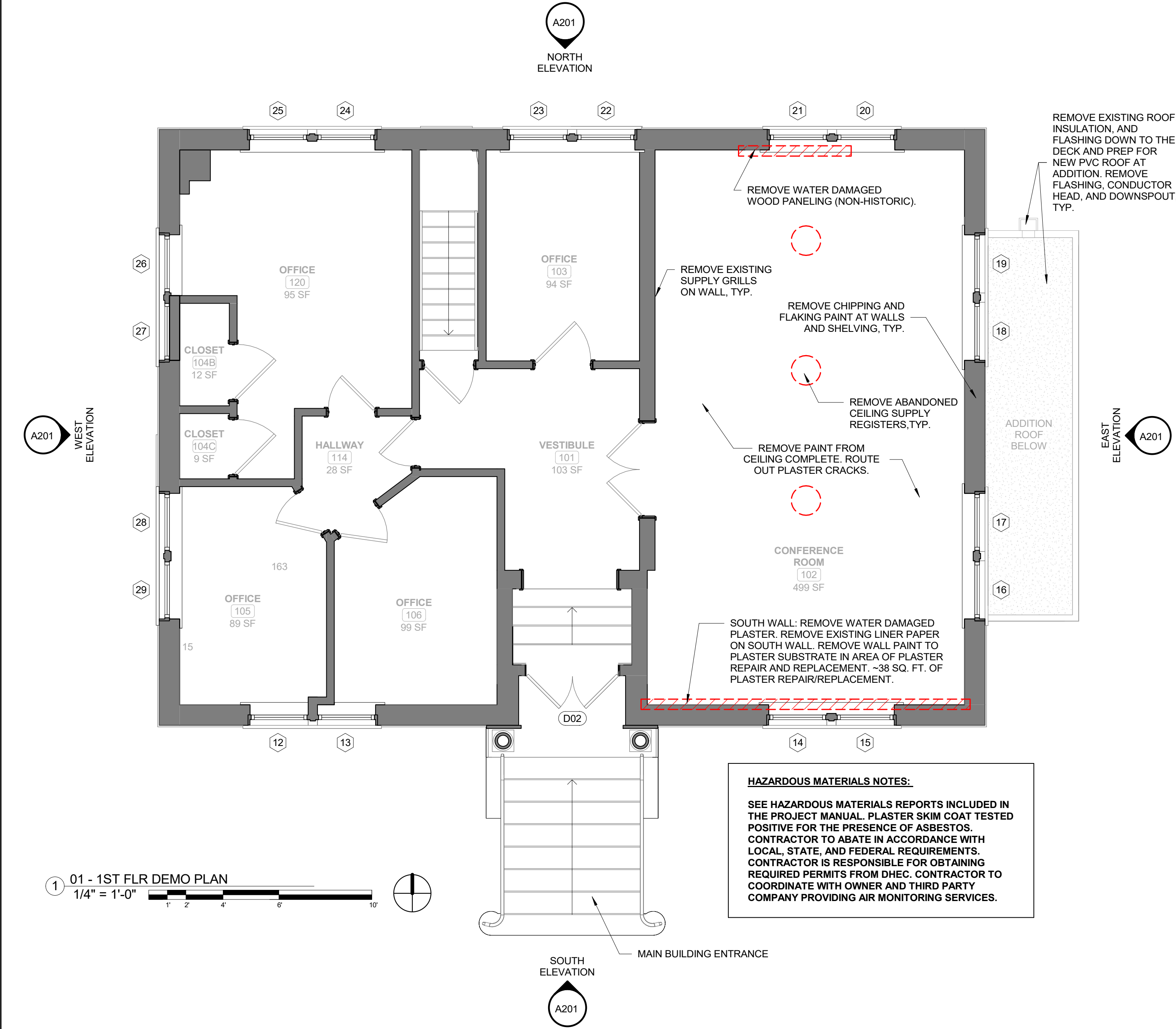
REVISIONS

#	DATE	NOTES

SITE/GRADE PROPOSED PLAN

A101

NOT FOR CONSTRUCTION



**GENERAL DEMOLITION NOTES**

- THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES. INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPS.
  - ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
  - INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
  - PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANYALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

**GENERAL CONSTRUCTION NOTES**

- THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES. INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPS.
  - ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
  - INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
  - PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- COORDINATE ALL WORK WITH EXISTING CONDITIONS. ALL DIMENSIONS TO BE FIELD VERIFIED.
- ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION RELATED ACTIVITIES.
- CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

**FLOOR PLAN LEGEND**

**Room name**

101 ← ROOM NUMBER  
150 SF

101 ← DOOR NUMBER  
REFER TO DOOR SCHEDULE

11 ← WINDOW NUMBER  
REFER TO WINDOW SCHEDULE

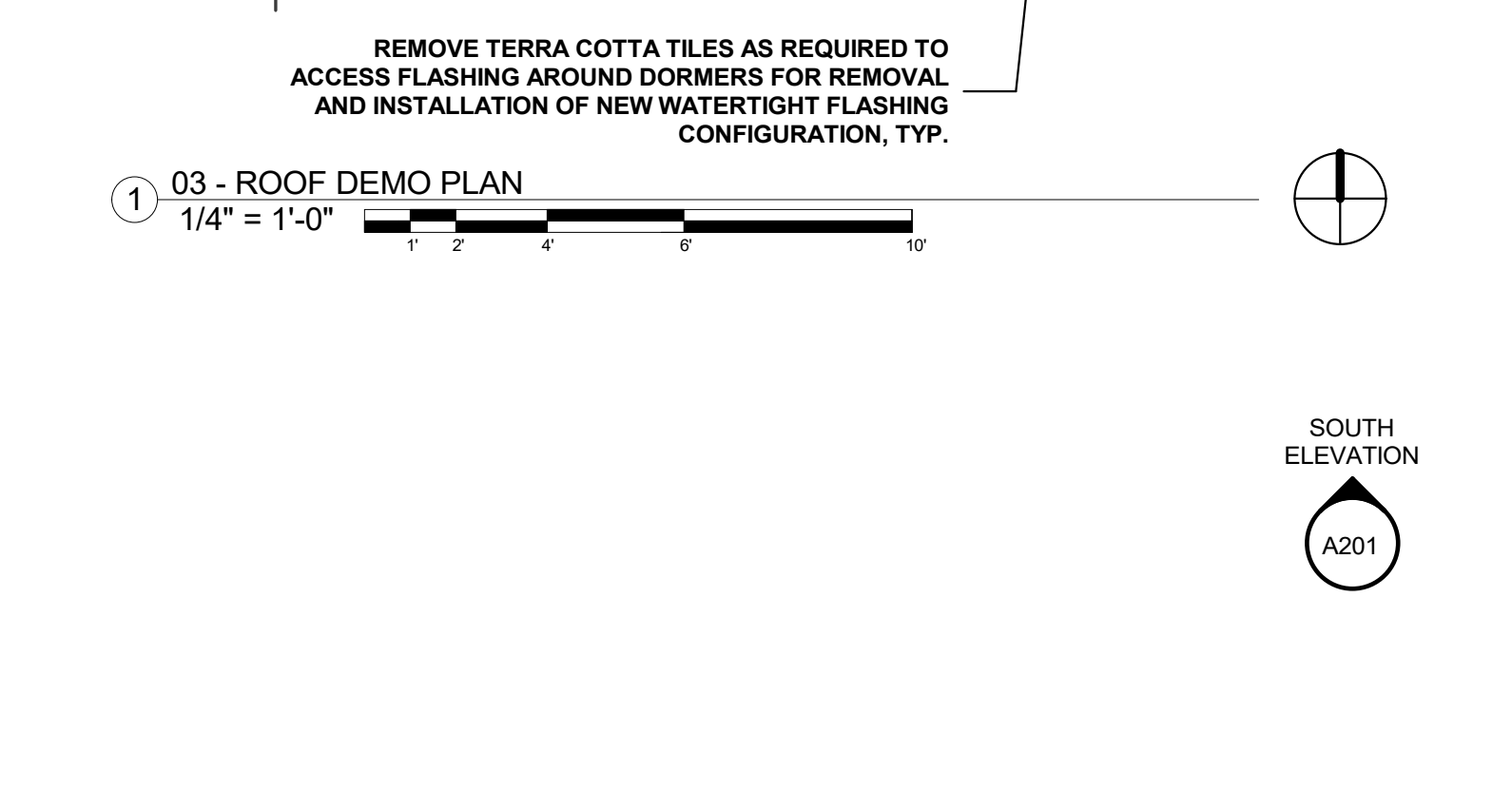
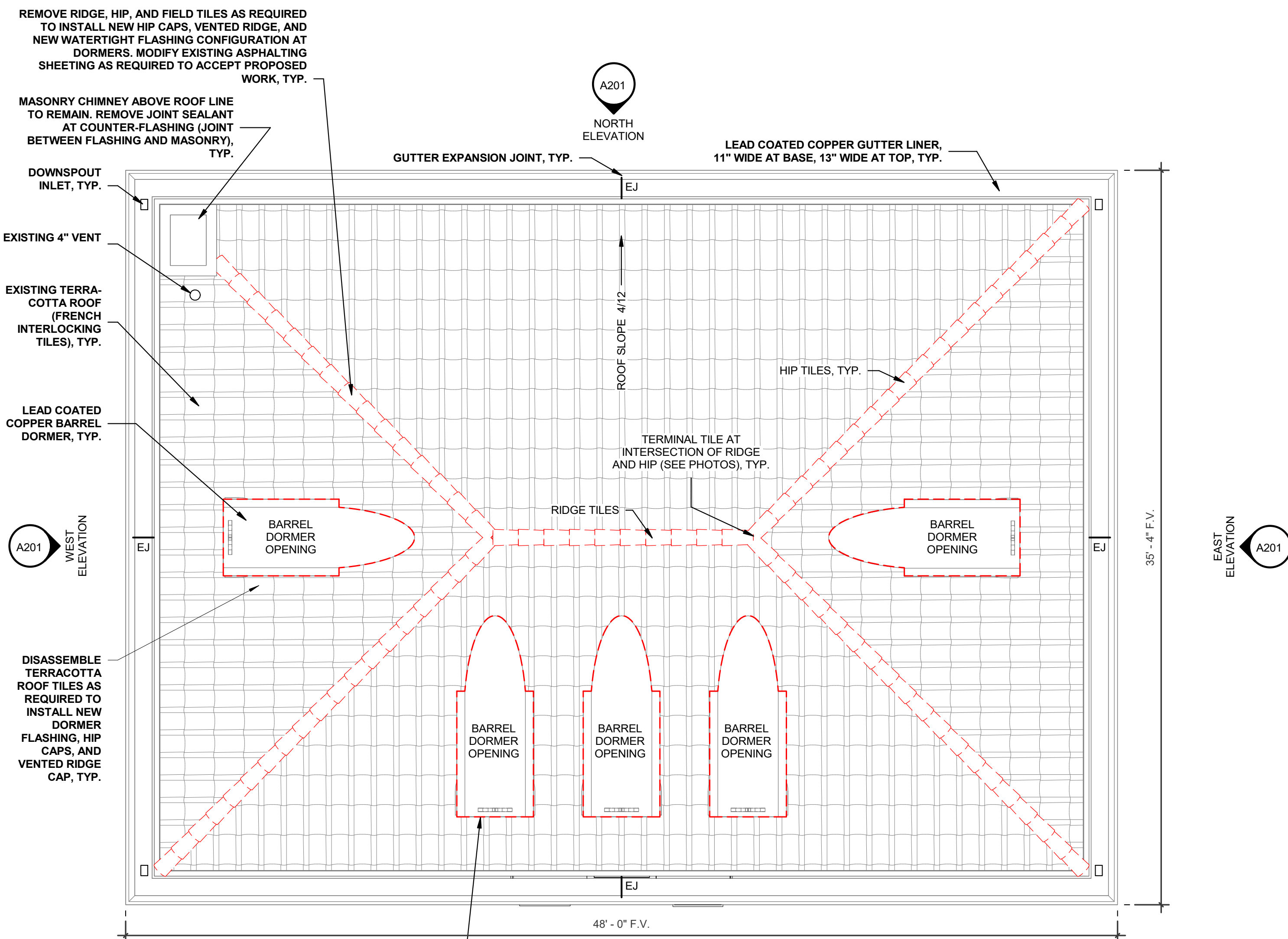
← EXISTING WALL CONSTRUCTION

3 ← NEW CONSTRUCTION NUMBERED NOTE  
REFER TO DESCRIPTIONS ON THIS PAGE

**GENERAL FLOOR PLAN NOTES:**

- REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
- REFER TO GENERAL NOTES ON SHEET A001.
- DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.

**NOT FOR CONSTRUCTION**



### GENERAL DEMOLITION NOTES

- THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES. INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPs.
  - ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
  - INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
  - PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

### ROOF- DESCRIPTION OF EXISTING ROOF SYSTEM

THE BUILDING HAS A MODERN TILE ROOF AND DORMERS THAT WERE INSTALLED CIRCA 2000.

THE TERRACOTTA TILE IS KNOWN AS A LUDOWICI FRENCH LOW-PROFILE INTERLOCKING CLAY TILE. INDIVIDUAL TILES HAVE DEEP LOCKS ON ALL FOUR SIDES WITH TWO PROMINENT FLUTES.

THE TILES ARE INSTALLED ON TWO LAYERS OF ASPHALT SHEET FASTENED TO THE ORIGINAL HORIZONTAL WOOD ROOF SHEATHING.

THE ROOF TILES OVERHANG THE ROOF EAVE OVER THE CONCEALED BUILT-IN GUTTER WITH A LEAD COATED COPPER LINER.

THE RIDGES ARE CAPPED WITH HIP ROLL TILES AND RIDGE TILES WITH CORNER TERMINALS AT THE INTERSECTION OF THE HIP AND RIDGE. RED MORTAR SEALS THE GAPS BETWEEN THE TILES. THE ROOF'S EAVES ARE VENTED, BUT THE RIDGE IS CURRENTLY SEALED WITH MORTAR.

THE ROOF CURRENTLY LEAKS AROUND THE DORMERS AND AT THE RIDGE WHERE THE MORTAR IS RELEASING.

THE BUILT-IN-GUTTER LINER ALSO HAS DEFICIENCIES.

SEE REFERENCE PHOTOS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

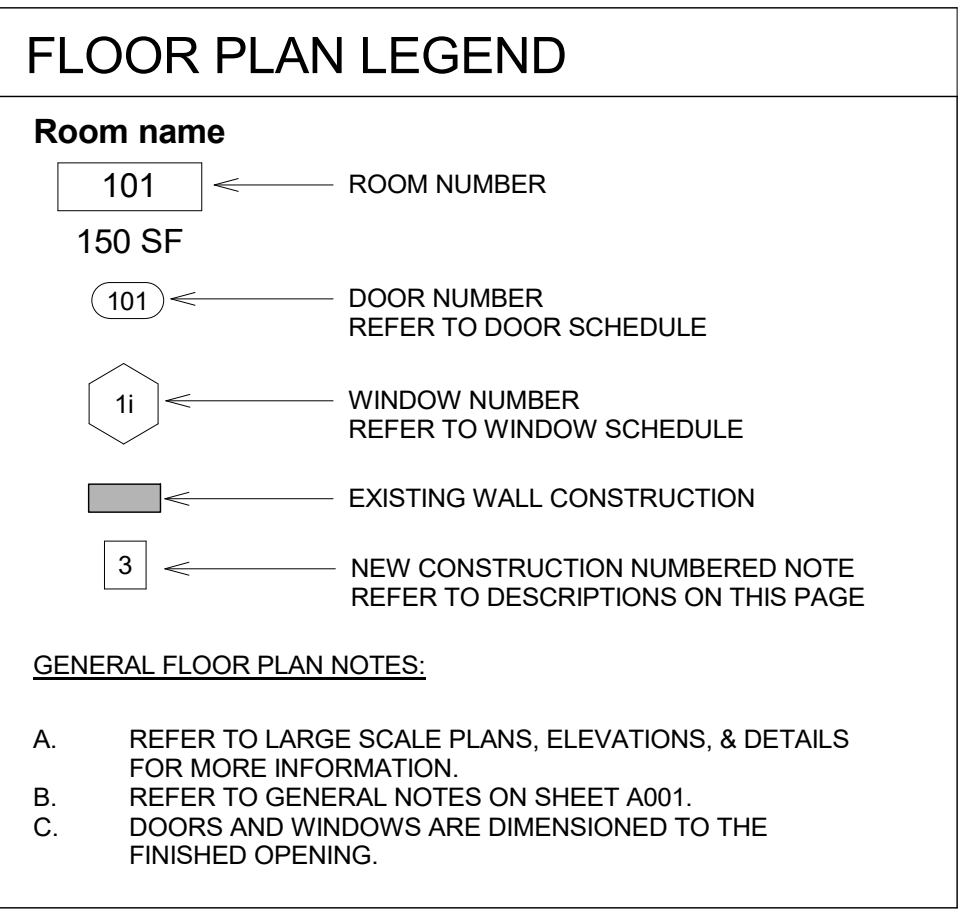
REFERENCE CARNEGIE LIBRARY CONDITIONS ASSESSMENT REPORT DATED 09/26/2023 FOR ADDITIONAL INFORMATION ON THE CURRENT CONDITION AND IDENTIFIED ROOF AND BUILDING DEFICIENCIES.

**EXISTING ROOF ASSEMBLY:**

- TERRACOTTA TILE- LUDOWICI FRENCH LOW-PROFILE INTERLOCKING CLAY TILE.
- TWO LAYERS OF ASPHALT SHEET UNDERLAYMENT.
- 7/8" PLANK WOOD ROOF DECK
- SLOPE OF EXISTING ROOF IS APPROXIMATELY 4" PER 12".

### GENERAL CONSTRUCTION NOTES

- THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES, INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPs.
  - ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
  - INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
  - PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- COORDINATE ALL WORK WITH EXISTING CONDITIONS. ALL DIMENSIONS TO BE FIELD VERIFIED.
- ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION RELATED ACTIVITIES.
- CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.



**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.6585

**CARNEGIE LIBRARY ROOF REPAIR AND RESTORATION**  
701 CRAVEN STREET  
BEAUFORT, SC 29902

**BID DOCUMENTS**

PROJ. 23-0050  
ISSUE DATE: 02/19/2024

REVISIONS

#	DATE	NOTES

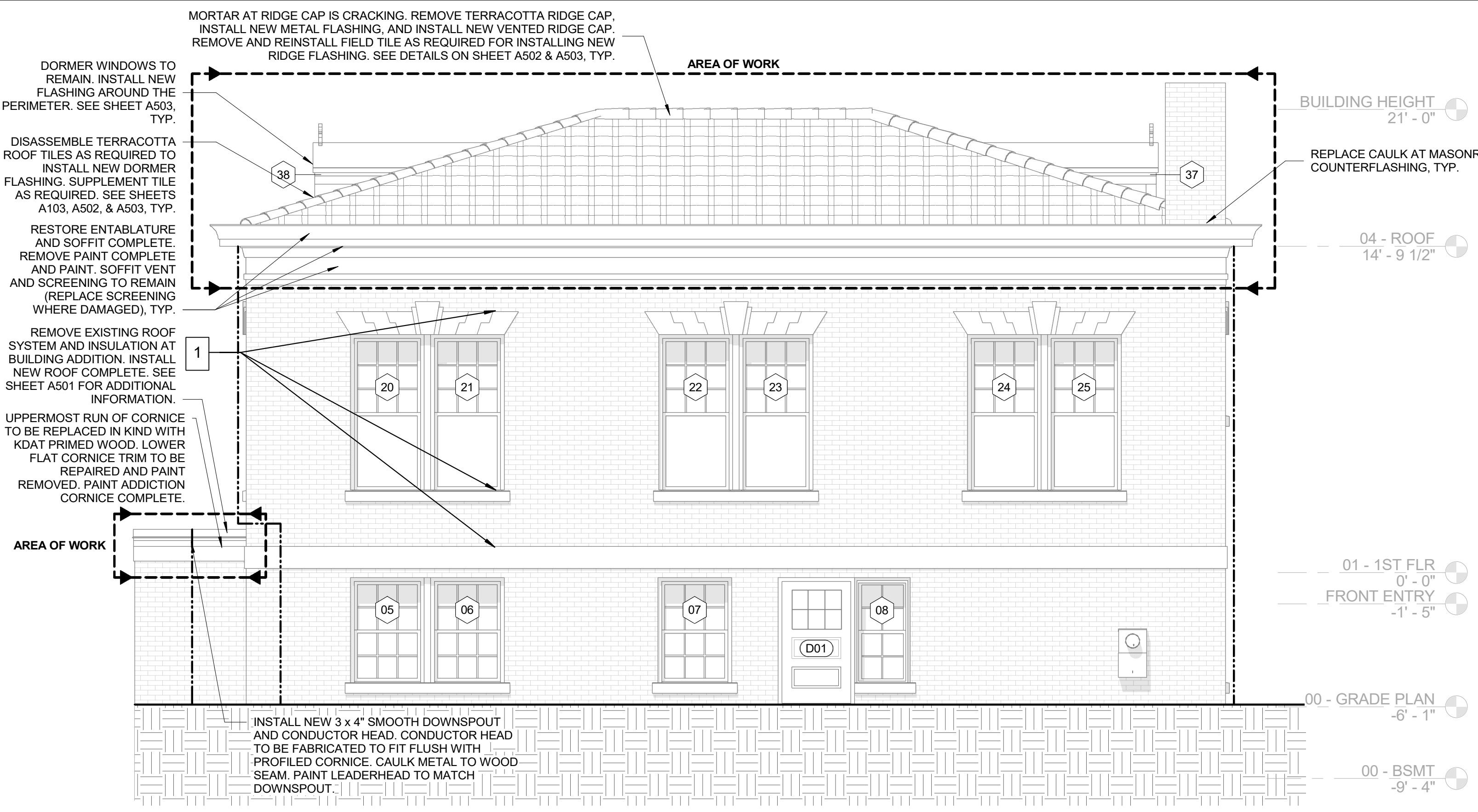
**ROOF DEMO & PROPOSED PLANS**

**A103**

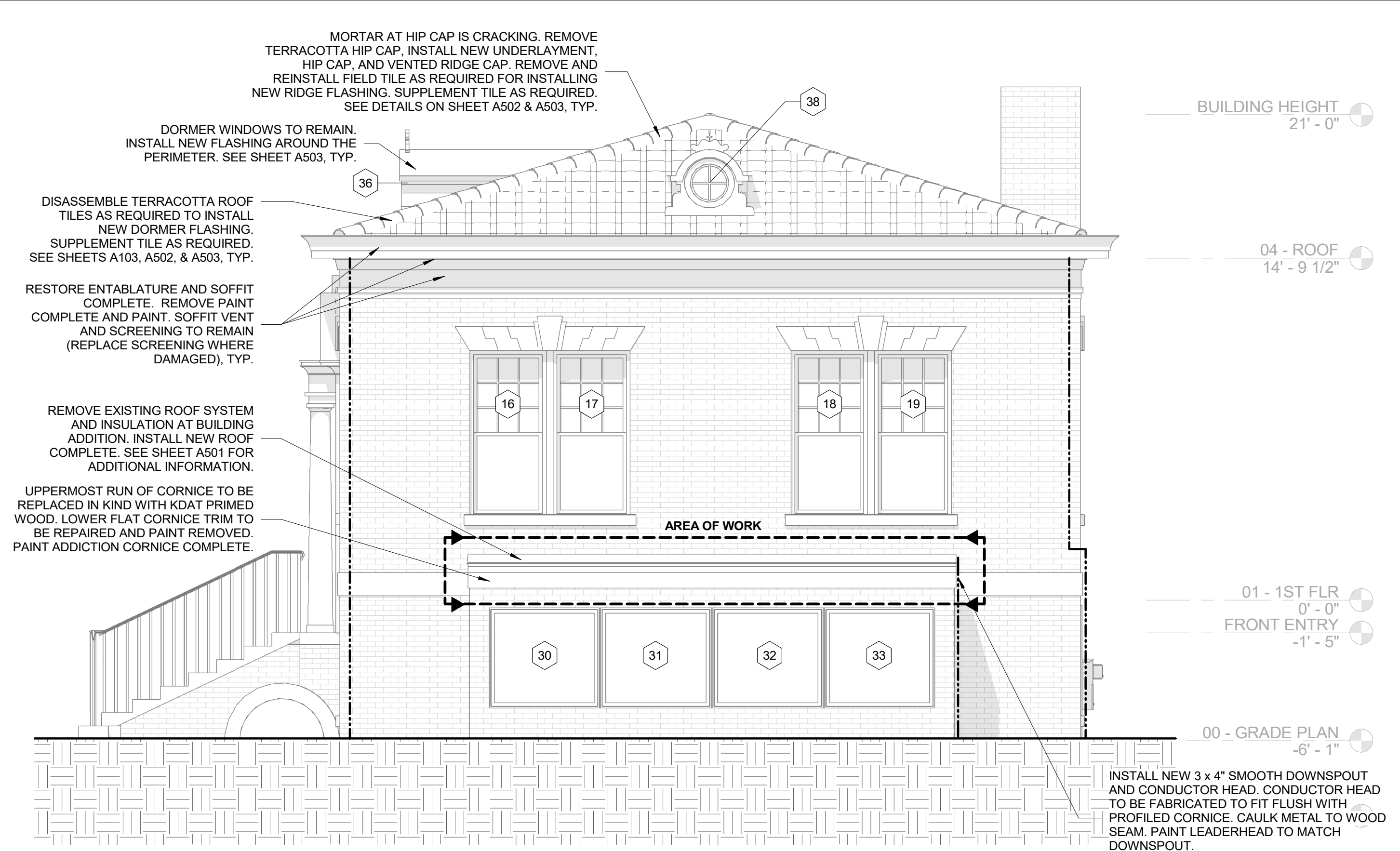
**NOT FOR CONSTRUCTION**

FILE LOCATION: C:\Users\mead\OneDrive\Documents\Carnegie Library Roof Project\BID DOCUMENTS\A103\A103.dwg  
PRINTED ON 2/19/2024 2:24:53 PM





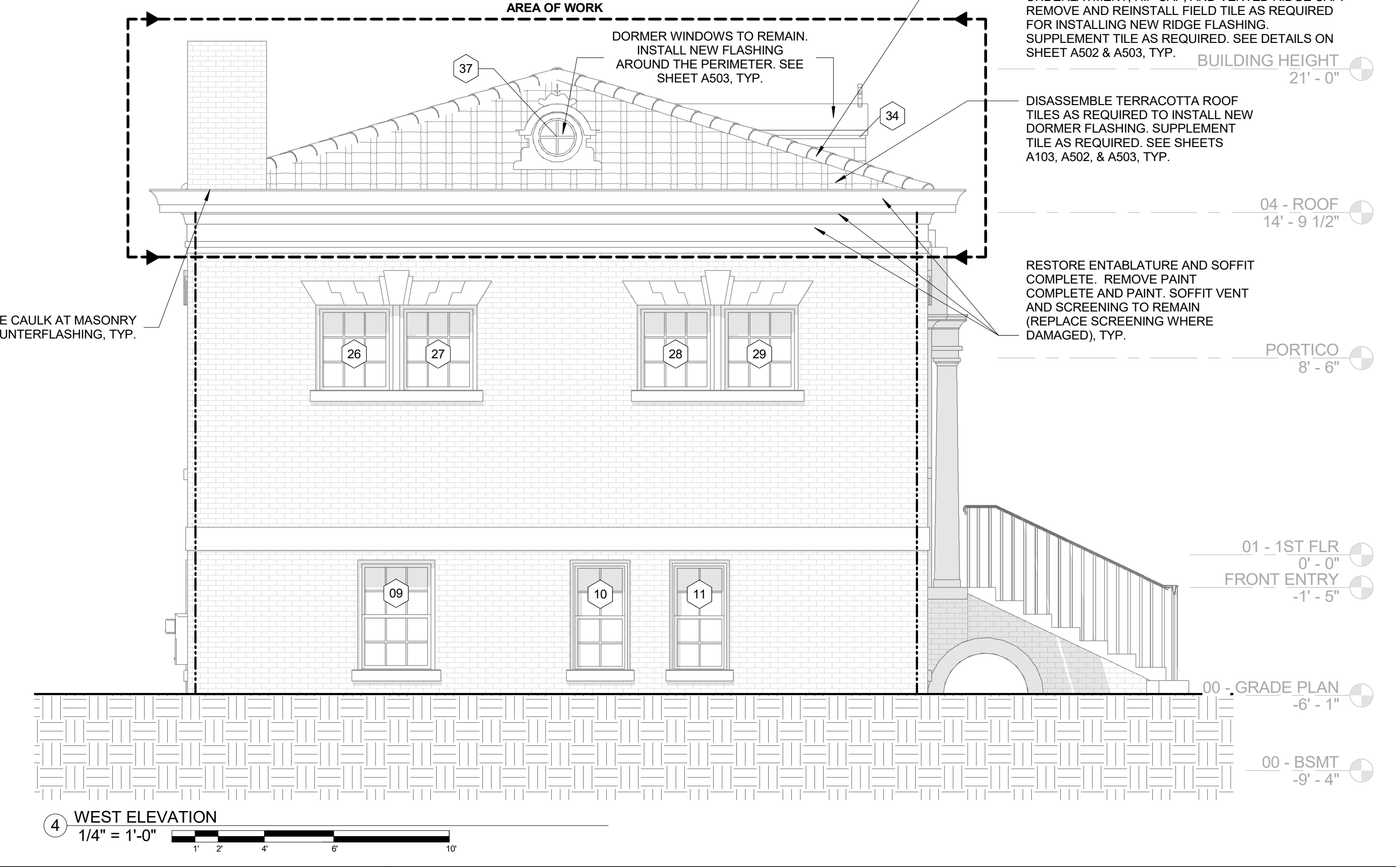
1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1/4" = 1'-0"



4 WEST ELEVATION  
1/4" = 1'-0"

**GENERAL CONSTRUCTION NOTES**

- THE INTENT OF THE PROJECT IS TO REPLACE THE ADDITION ROOF AND REPAIR THE MAIN ROOF ON THE CARNEGIE LIBRARY BUILDING. BOTH ROOFS ARE LEAKING. THE ADDITION ROOF IS AT THE ENDS OF ITS SERVICEABLE LIFE AND IS THEREFORE BEING REPLACED. THE TERRACOTTA ROOF ON THE MAIN BUILDING IS RELATIVELY NEW AND WAS REPLACED CA. 2000. THE FLASHING AROUND THE DORMERS IS NOT SOUND DURING HEAVY DRIVING RAINS. IN ADDITION THE RIDGES ARE EXHIBITING LEAKS AS WELL. SELECTIVELY REMOVE THE RIDGE AND TILES. INSTALL NEW FLASHING AT THE RIDGE AND DORMERS AND THEN REINSTALL THE FIELD TILES AND INSTALL NEW RIDGE TILES. BROKEN TILES WILL NEED TO BE REPLACED. ADDITIONAL TILES MAY BE REQUIRED DUE TO MODIFICATIONS AT DORMERS, RIDGES, AND HIPPS.
  - ROOF LEAKS HAVE RESULTED IN INTERIOR WATER DAMAGE. THIS PROJECT INCLUDES REPAIR OF THESE DAMAGED INTERIOR SURFACES.
  - INSTALL NEW UNDERGROUND PIPING FOR ROOF DRAINAGE; PIPE FROM BASE OF DOWNSPOUTS TO STREET CURB.
  - PAINT INTERIOR AND EXTERIOR OF BUILDING IN AREA OF WORK. TOUCH UP ADJACENT AREAS AFFECTED BY CONSTRUCTION.
- THE CARNEGIE LIBRARY BUILDING IS TO REMAIN OPEN DURING CONSTRUCTION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION
- COORDINATE ALL WORK WITH EXISTING CONDITIONS. ALL DIMENSIONS TO BE FIELD VERIFIED.
- ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
- CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

**NEW CONSTRUCTION NOTES**

- INVESTIGATE CAUSE OF LEAK BELOW WINDOWS AND REPAIR AS REQUIRED. APPEARS TO BE CAUSED BY MORTAR AND SEALANT LOSS AT THE HEAD OF THE WINDOW AND/OR BELT COURSE AND EXCESSIVE OVERFLOW OF WATER FROM THE BUILT-IN-GUTTER ABOVE. THE GUTTER WILL BE ADDRESSED AS PART OF THE ROOF SCOPE OF WORK.
 

**GENERAL NOTE ON INTERIOR AND EXTERIOR PAINTING:**  
CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

  - ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
  - PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW WOOD TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER.
  - REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
  - INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5-1, ABATRON 2-1, OR APPROVED EQUAL).
  - METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).

**NOT FOR CONSTRUCTION**

**PVC ROOF NOTES**

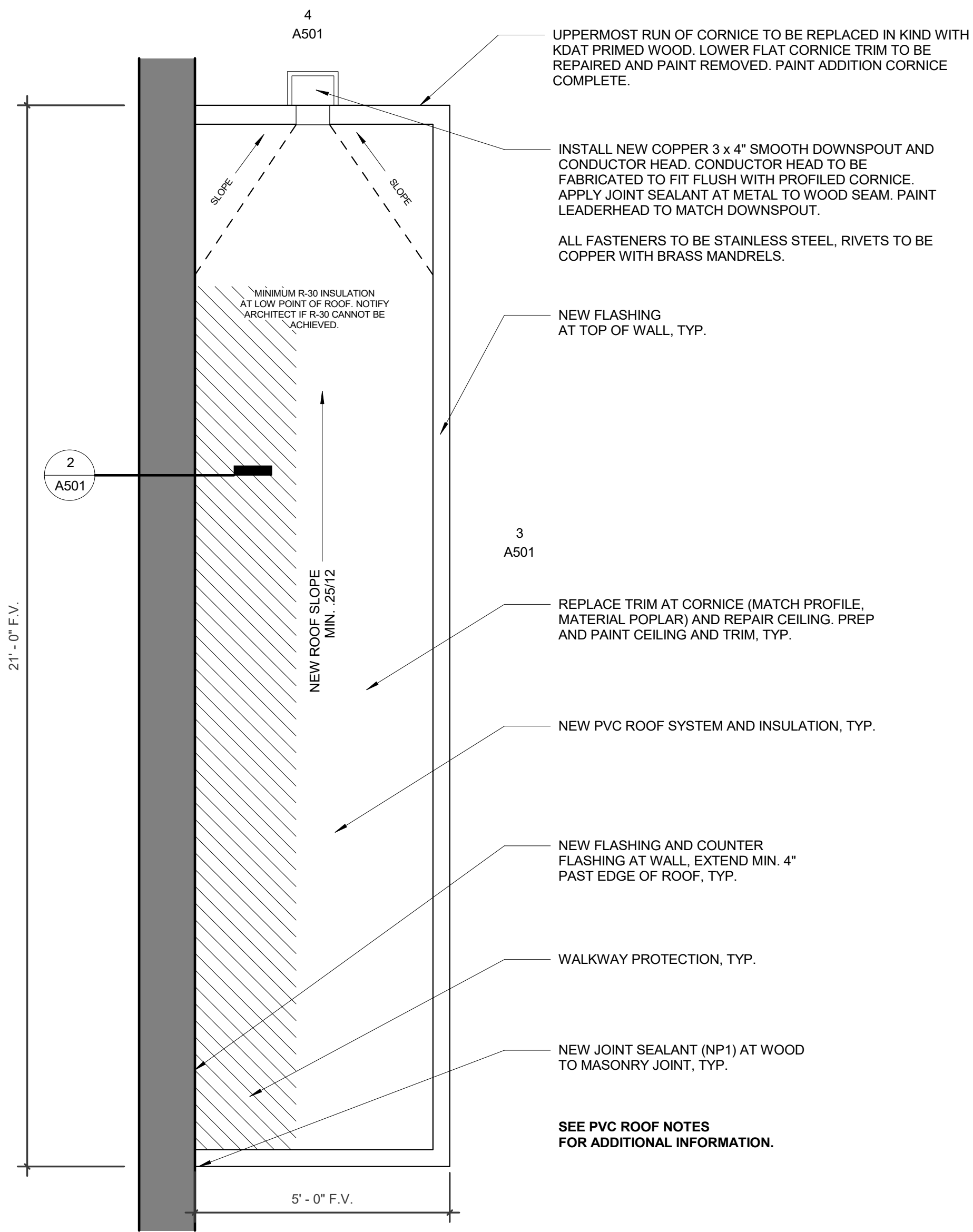
**GENERAL ROOF NOTES:**

1. THE INTENT OF THE PROJECT IS TO PROVIDE A COMPLETE, WATERTIGHT ROOFING SYSTEM FOR THE ONE-STORY ADDITION (SINGLE PLY MEMBRANE ROOF). ALL ELEMENTS OF THE ROOFING SYSTEM IS TO BE PROVIDED INCLUDING BUT NOT LIMITED TO ALL FLASHINGS, ACCESSORIES AND TERMINATIONS. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. 3RD PARTY INSPECTIONS PROVIDED BY THE OWNER MAY BE REQUIRED.
2. PVC SINGLE PLY MEMBRANE ROOFING TO BE INSTALLED IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS AND AS CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS.
3. SPECIAL CARE SHOULD BE TAKEN TO NOT DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS AND NEW WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS AND NEW WORK. PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
4. 16 OZ. COPPER FLASHING TO BE UTILIZED FOR ALL FLASHING AND COUNTER-FLASHING @ ADDITION ROOF. COPPER IS TO BE SOLDERED AT ALL SEAMS, CORNERS, AND CONNECTIONS. INSTALL WITH COPPER OR STAINLESS STEEL FASTENERS. SOLDER AS REQUIRED TO CREATE WATERTIGHT FLASHING DETAILS. HEM EDGES WHERE SPECIFIED.

**ALTERNATE 3: ADDITION ROOF, SUBSTITUTE SPECIFIED COPPER FLASHING, DOWNSPOUT, AND LEADERHEAD WITH PVC COATED FLASHING AND PREFINISHED DOWNSPOUT AND LEADERHEAD (COMPATIBLE WITH FLASHING).**

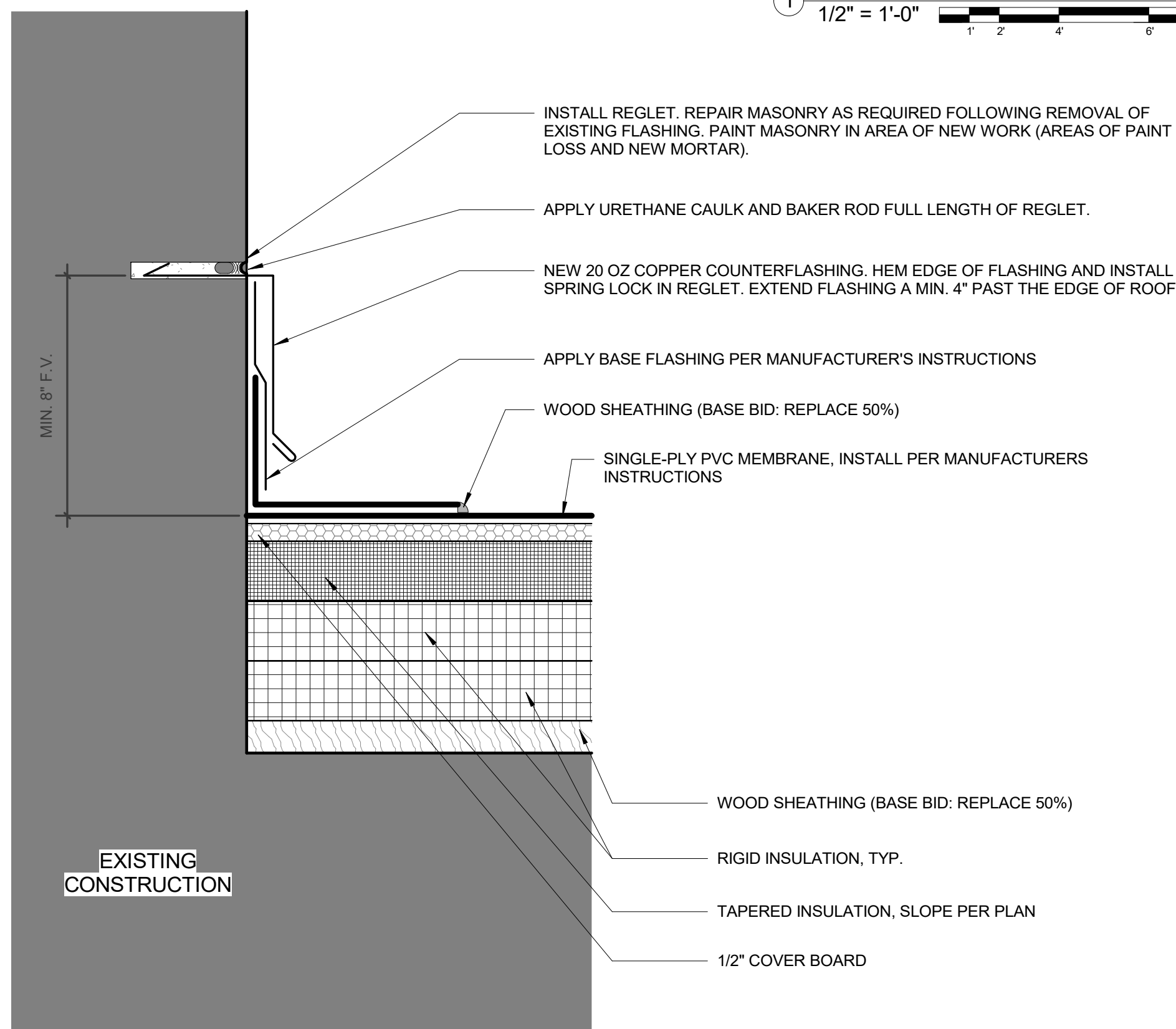
**PVC ROOF NOTES:**

1. ROOF: REMOVE EXISTING ROOF AND FLASHINGS COMPLETE. REPLACE DECKING AS REQUIRED (BASE BID 50%). PREP SUBSTRATE, AND INSTALL NEW PVC ROOFING SYSTEM AND FLASHING. INSTALL NEW CAP FLASHING AROUND PERIMETER OF ROOF.
2. INSULATION: INSTALL COVER BOARD AND NEW INSULATION. HEIGHT OF SINGLE PLY MEMBRANE ROOF @ HIGHEST POINT TO MAINTAIN ABILITY TO PROPERLY COUNTER-FLASH. MAXIMIZE THICKNESS OF BOARD INSULATION ASSEMBLY (RIGID AND TAPERED). INSULATION TO BE A MINIMUM OF R-20 AT THE LOW POINT OF ROOF. NOTIFY ARCHITECT IF INSULATION THICKNESS CANNOT BE ACHIEVED DUE TO DEPTH CONSTRAINTS.



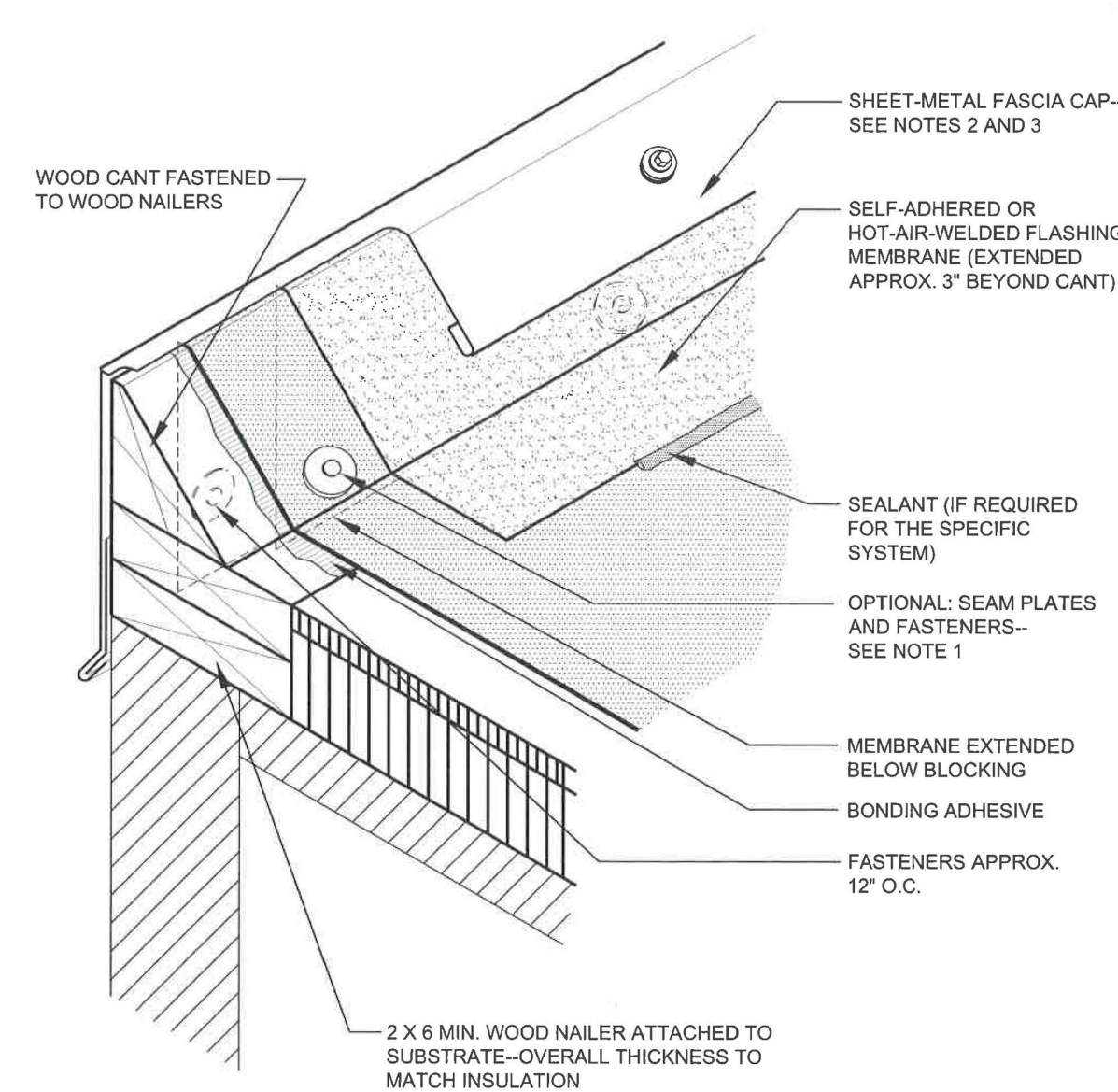
EXISTING CONDITIONS- EAST ELEVATION ADDITION ROOF

NOT TO SCALE



PVC ROOF- VERTICAL WALL FLASHING DETAIL

3" = 1'-0"



NOTES:

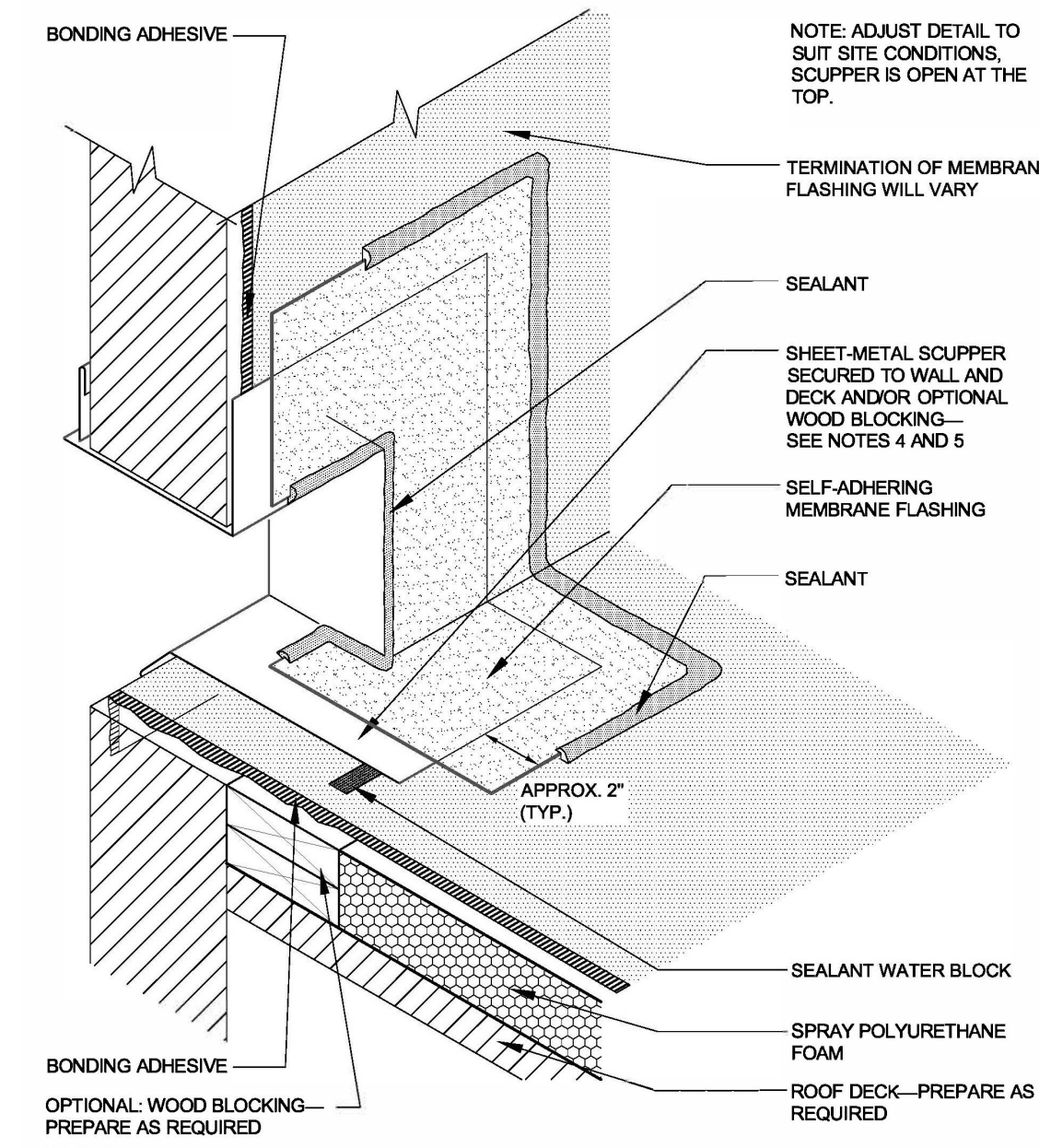
1. REFER TO SECTION 10.4- INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ALTERNATIVE BASE SECUREMENT OPTIONS.
2. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL, AND REROOFING-2010 FOR DESIGN, JOINTERY AND SECUREMENT OPTIONS FOR FASCIA CAPS.
3. REFER TO SECTION 10.5- INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

**RAISED PERIMETER EDGE WITH METAL FLASHING (FASCIA CAP)**

2011 NOT DRAWN TO SCALE SP-2

RAISED PERIMETER EDGE WITH FLASHING FASCIA CAP

NOTS



NOTES:

1. THIS DETAIL DOES NOT ALLOW FOR DIFFERENTIAL MOVEMENT BETWEEN THE DECK AND WALL.
2. CONDUCTOR HEAD TO BE 1" HIGH MINIMUM BELOW BOTTOM OF THROUGH-WALL SCUPPER.
3. REFER TO MANUFACTURER'S SPECIFICATIONS FOR SPECIFIC BASE FLASHING REQUIREMENTS.
4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL ARCHITECTURAL METAL FLASHING, CONDENSATION AND AIR LEAKAGE CONTROL, AND REROOFING FOR DESIGN, JOINTERY AND SECUREMENT OPTIONS FOR SCUPPERS.
5. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.

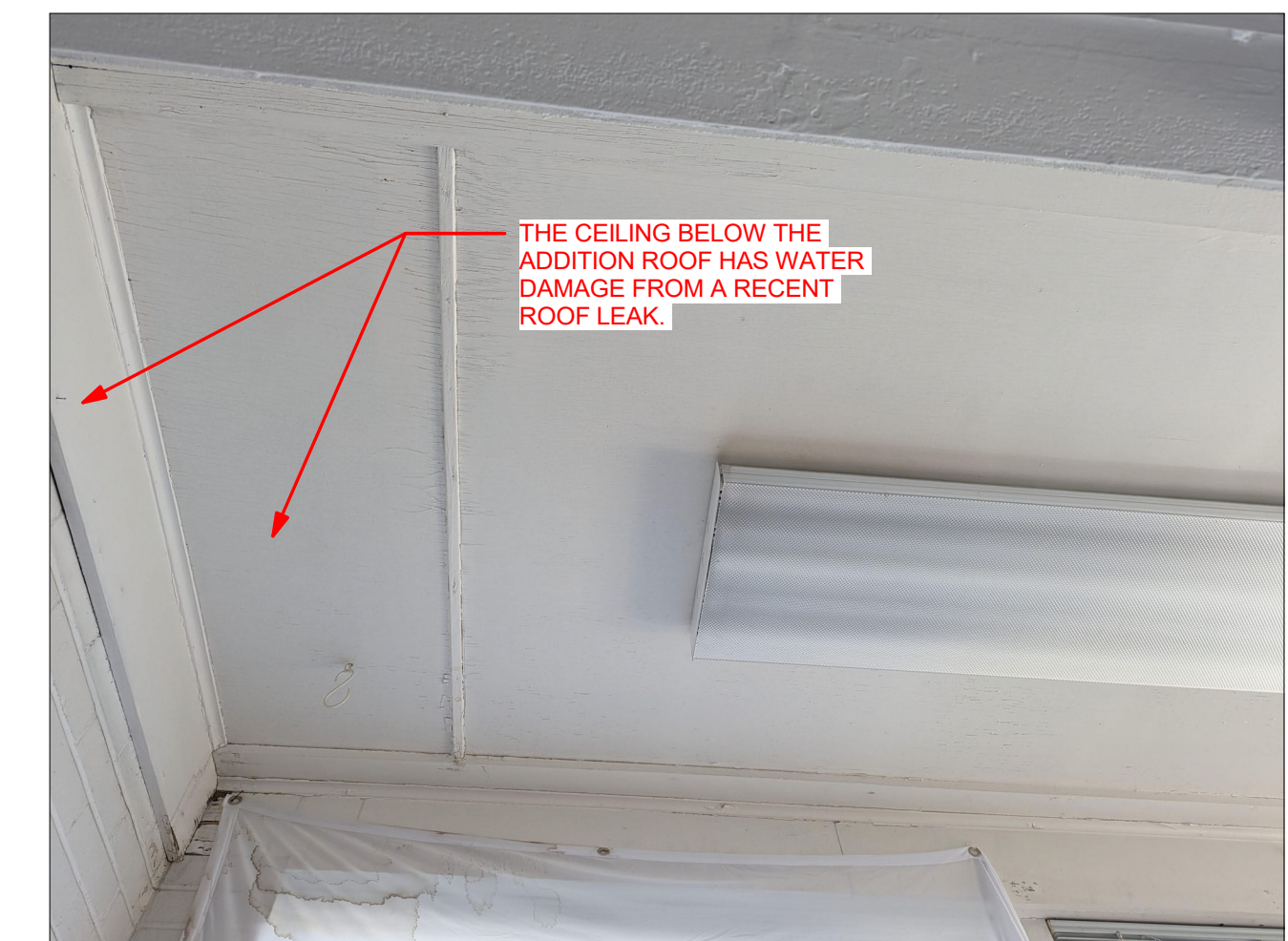
**BASE FLASHING AT THROUGH-WALL SCUPPER**

2016 NOT DRAWN TO SCALE SPF(FB)-25

REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS, ADDITION ROOF SCUPPER IS OPEN AT THE TOP.

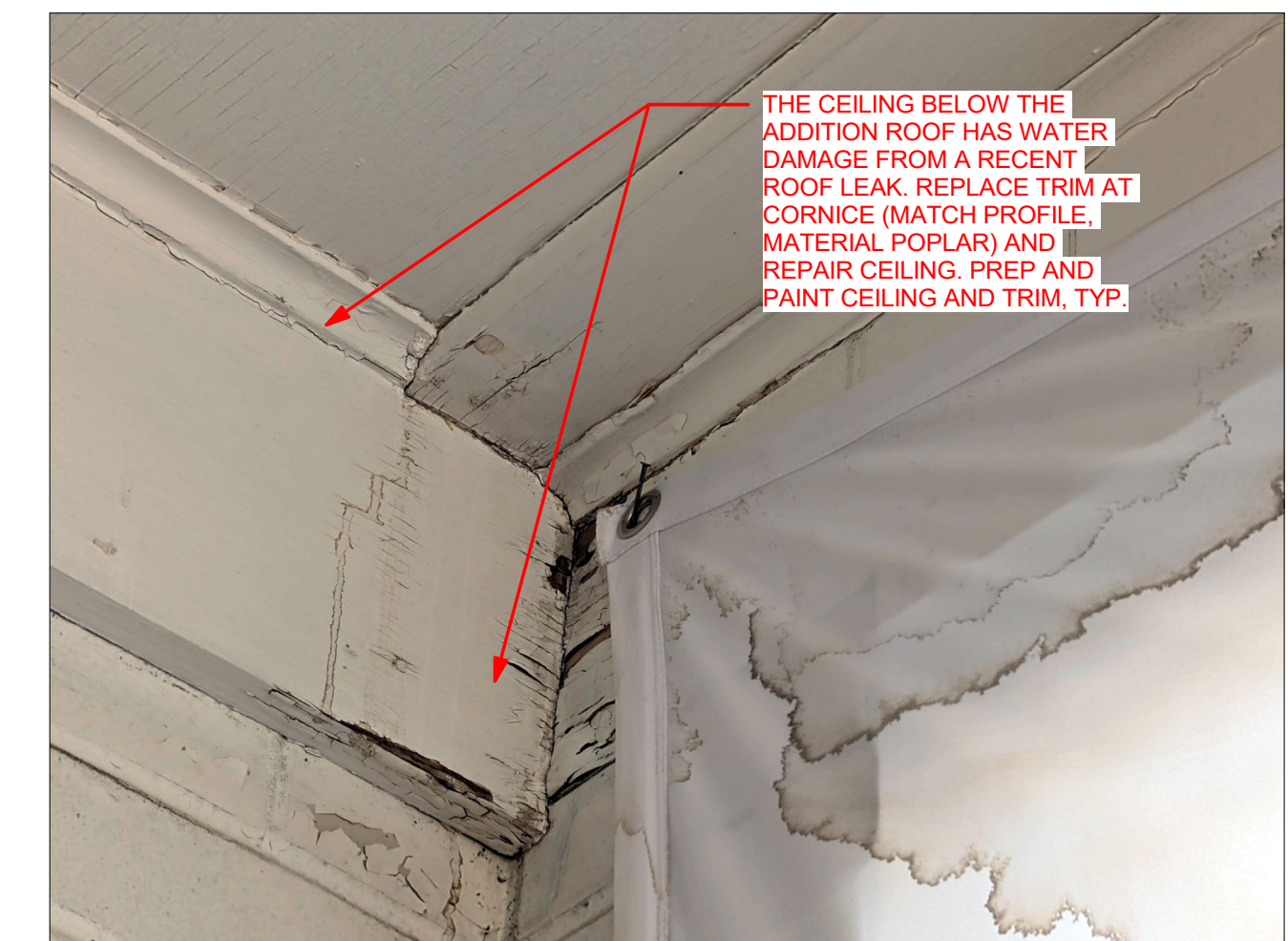
BASE FLASHING AT THROUGH WALL SCUPPER

NTS



CEILING BELOW ADDITION ROOF

NOT TO SCALE



TRIM DAMAGE AT CEILING BELOW ADDITION ROOF

NOT TO SCALE

MEADORS

SINCE 1984

2811 AZALEA DRIVE CHARLESTON, SC 29405

CARNEGIE LIBRARY ROOF REPAIR AND RESTORATION

701 CRAVEN STREET BEAUFORT, SC 29902

BID DOCUMENTS

PROJ. 23-0050

ISSUE DATE: 02/19/2024

REVISIONS

#	DATE	NOTES

PVC ROOF DETAILS

A501

NOT FOR CONSTRUCTION

**TERRACOTTA ROOF NOTES**

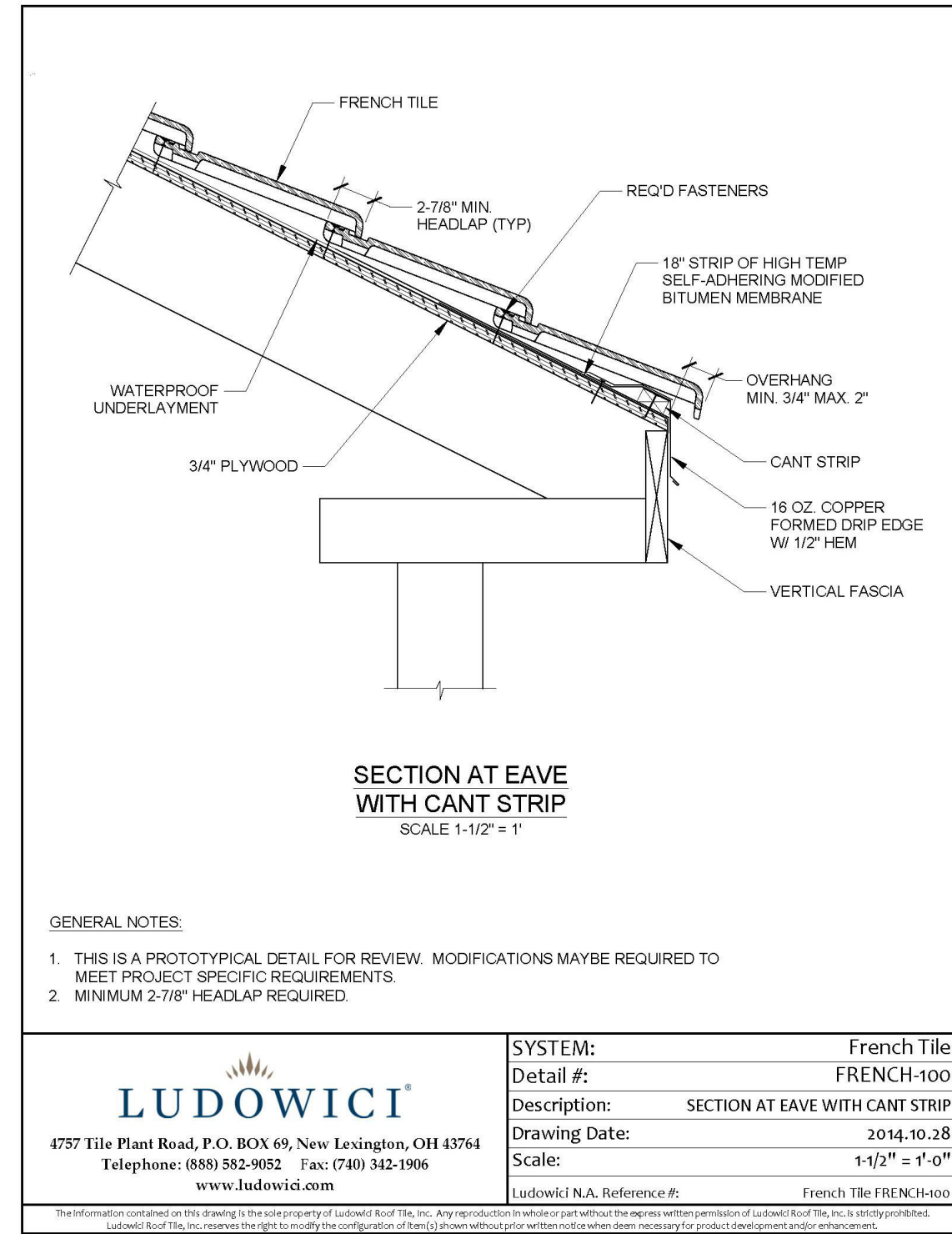
**GENERAL ROOF NOTES:**

1. THE INTENT OF THE TERRACOTTA ROOF REPAIR IS TO PROVIDE A COMPLETE, WATERTIGHT ROOFING SYSTEM FOR THE MAIN ROOF. ALL ELEMENTS OF THE ROOFING SYSTEMS ARE TO BE PROVIDED INCLUDING BUT NOT LIMITED TO ALL TILE, FLASHINGS, ACCESSORIES AND TERMINATIONS. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES. 3RD PARTY INSPECTIONS PROVIDED BY THE OWNER MAY BE REQUIRED.
2. TERRACOTTA ROOFING TO BE INSTALLED IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS AND AS CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS.
3. SPECIAL CARE SHOULD BE TAKEN TO NOT DAMAGE THE EXTERIOR OF THE BUILDING DURING REPAIRS AND NEW WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO AREAS DAMAGED ON THE BUILDING DURING THE COURSE OF REPAIRS AND NEW WORK. PAINT TO BE TOUCHED UP ON ALL SURFACES AFFECTED BY THE INSTALLATION OF NEW FLASHING.
4. 20 OZ. COPPER FLASHING TO BE UTILIZED FOR ALL FLASHING AND COUNTER FLASHING. COPPER IS TO BE SOLDERED AT ALL SEAMS, CORNERS, AND CONNECTIONS. INSTALL WITH COPPER OR STAINLESS STEEL FASTENERS. SOLDER AS REQUIRED TO CREATE WATERTIGHT FLASHING DETAILS. HEM EDGES WHERE SPECIFIED.
5. HIGH TEMPERATURE SELF-ADHERING UNDERLAYMENT TO BE USED FOR ALL NEW UNDERLAYMENT AT HIPS, RIDGES, AND DORMERS. NEW HT SELF-ADHERING UNDERLAYMENT TO LAP EXISTING ASPHALT SHEET UNDERLAYMENT. UNDERLAYMENT (OLD AND NEW) TO LAP SO THAT ANY WATER REACHING THE UNDERLAYMENT FLOWS POSITIVELY DOWN THE ROOF.
6. REPLACE DAMAGED PLANK SHEATHING AROUND DORMERS. USE IN-KIND MATERIAL OF THE SAME WIDTH AND DIMENSION (BASE BID: 120 BOARD FEET).

**TERRACOTTA ROOF NOTES:**

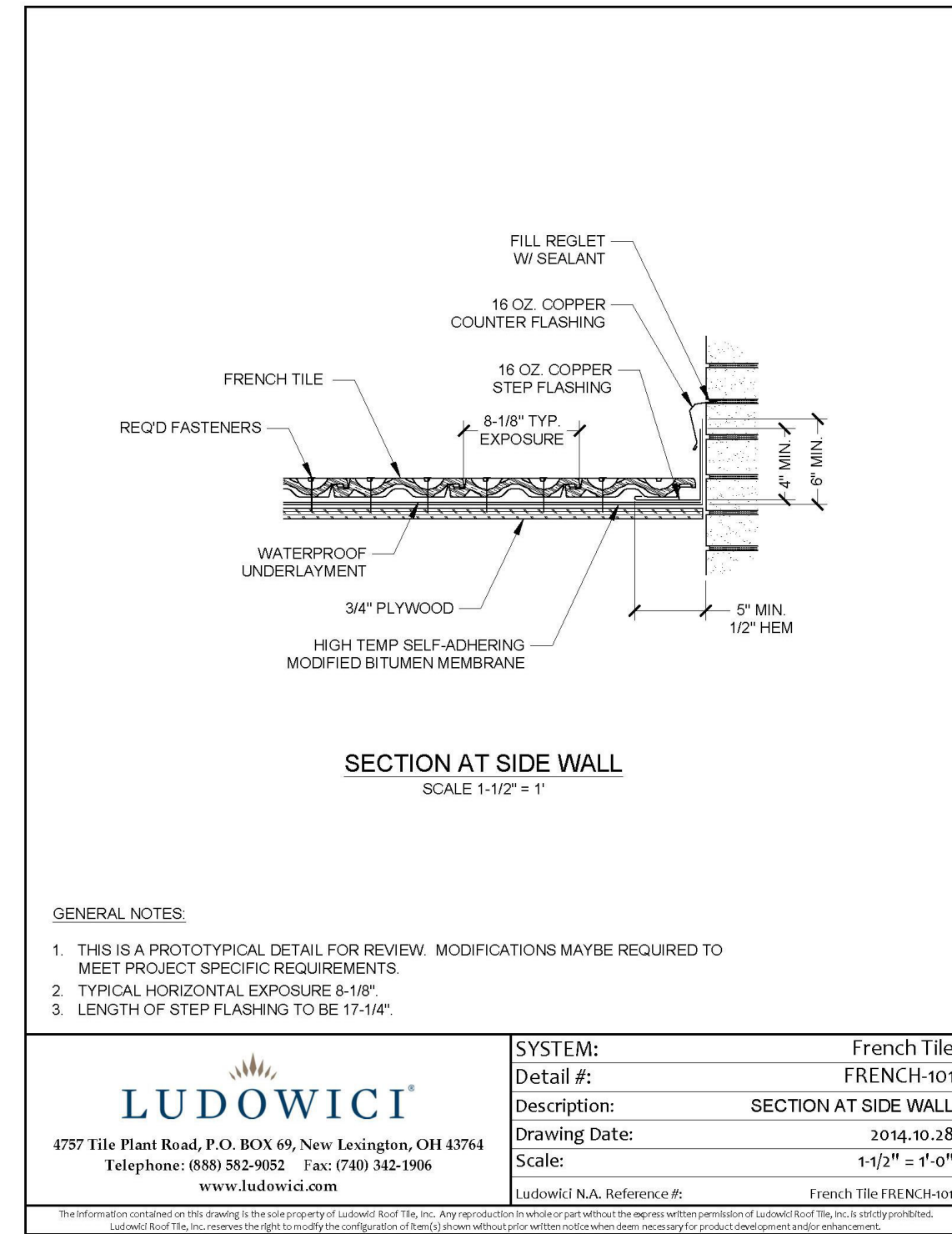
1. RIDGE AND HIP- INSTALL PER MANUFACTURERS DETAILS. PROVIDE APPROPRIATE RIDGE COVERS, TERMINALS, STARTERS, INSECT SCREENS, FLASHING, AND UNDERLAYMENT.
  - A. SEE REFERENCE DETAILS.
  - B. INSTALL FRENCH INTERLOCKING TILE ROOF IN ACCORDANCE WITH LUDOWICI INTERLOCKING TILE INSTALLATION MANUAL.
  - C. ALL FASTENERS TO BE STAINLESS STEEL.
  - D. ALL FLASHINGS TO BE 20 OZ COPPER. LEAD COATED COPPER MATERIALS TO BE USED AT DORMER IF POSSIBLE.
    - a. EXISTING FLASHINGS AND DORMERS ARE FABRICATED FROM LEAD COATED COPPER.
2. SEE DETAILS AND ADDITIONAL INFORMATION ON SHEET A503 FOR DORMER DESIGN INTENT.

**REFERENCE DETAILS FOR TERRACOTTA ROOF- LUDOWICI**



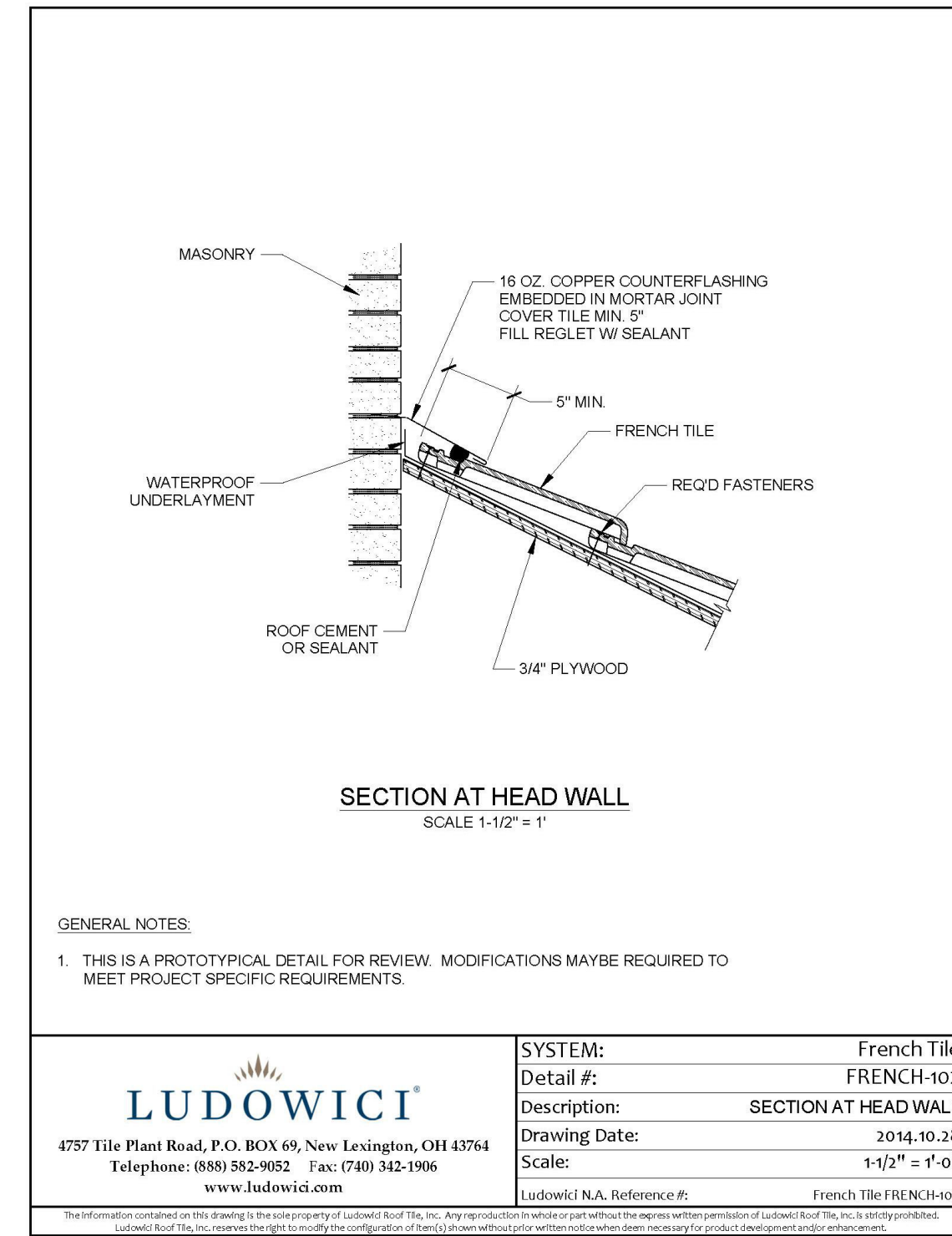
REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

1 TERRACOTTA EAVE DETAIL  
NTS



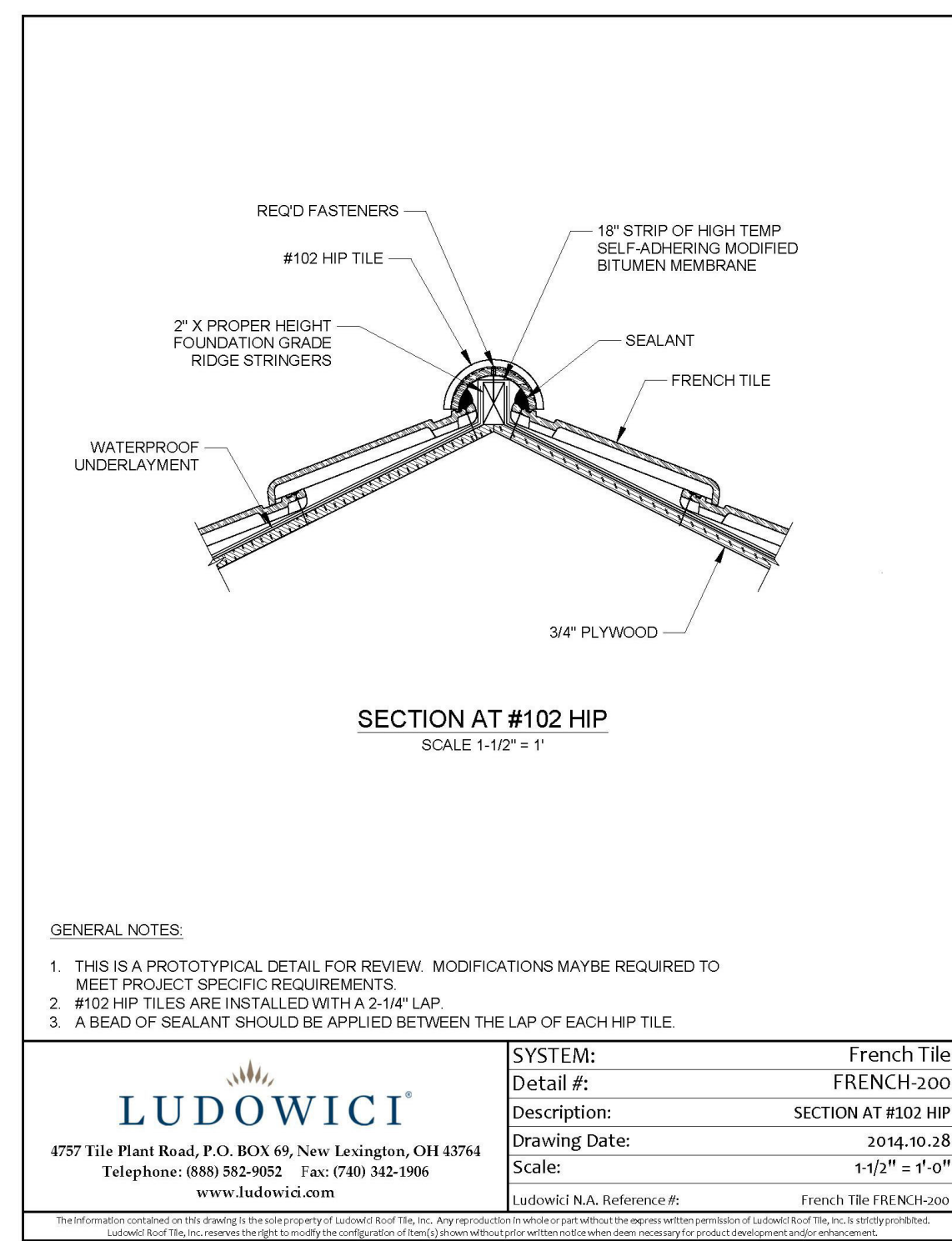
REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

2 TERRACOTTA SIDEWALL DETAIL  
NTS



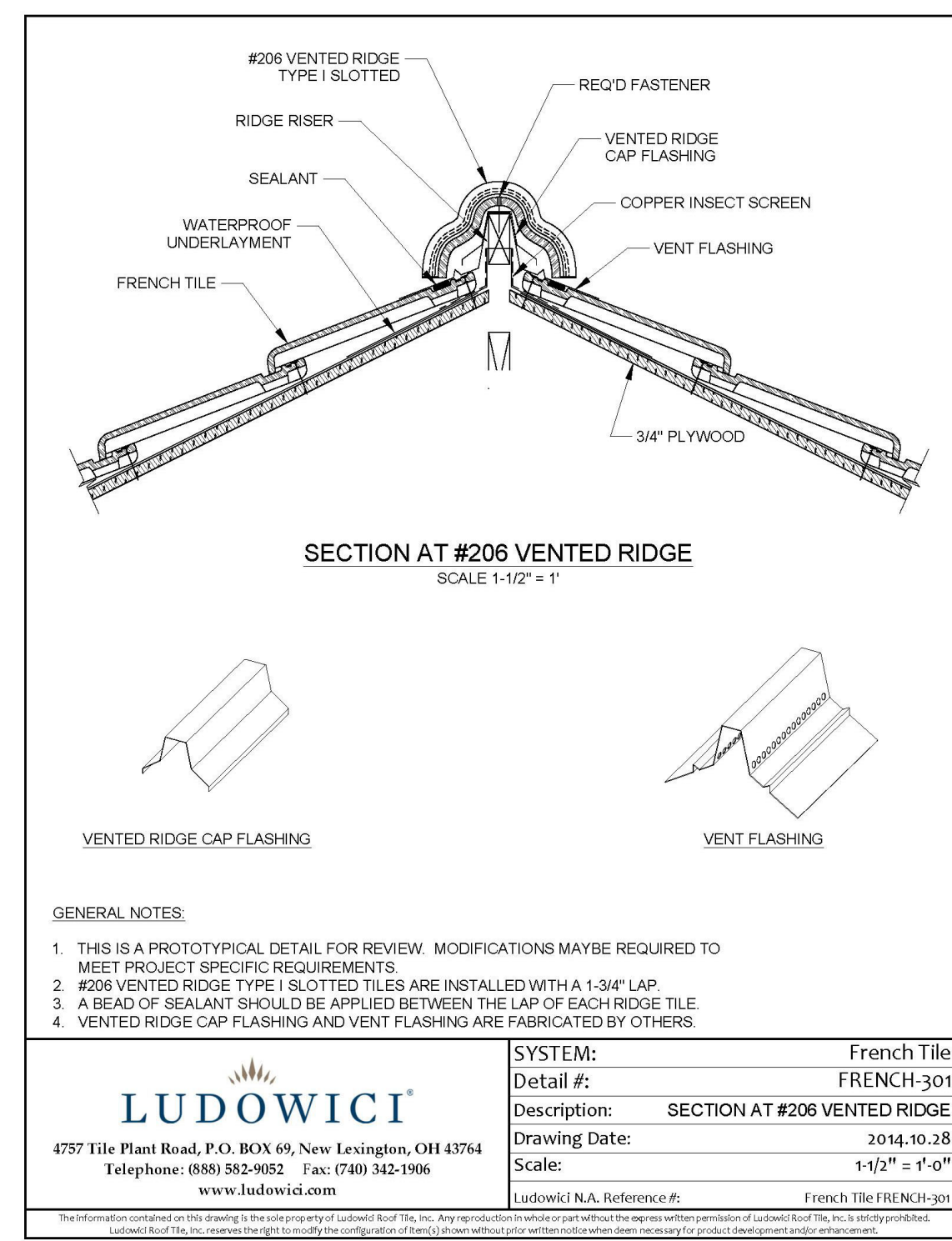
REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

3 TERRACOTTA HEAD WALL DETAIL  
NTS



REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

4 TERRACOTTA HIP DETAIL  
NTS



REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

5 TERRACOTTA VENTED RIDGE DETAIL  
NTS



REFERENCE DETAIL, EXACT CONFIGURATION WILL VARY BASED ON EXISTING CONDITIONS

6 TERRACOTTA FRENCH INTERCONNECTING TILE  
NTS

**MEADORS**

SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585

**CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION**

701 CRAVEN STREET  
BEAUFORT, SC 29502

**BID  
DOCUMENTS**

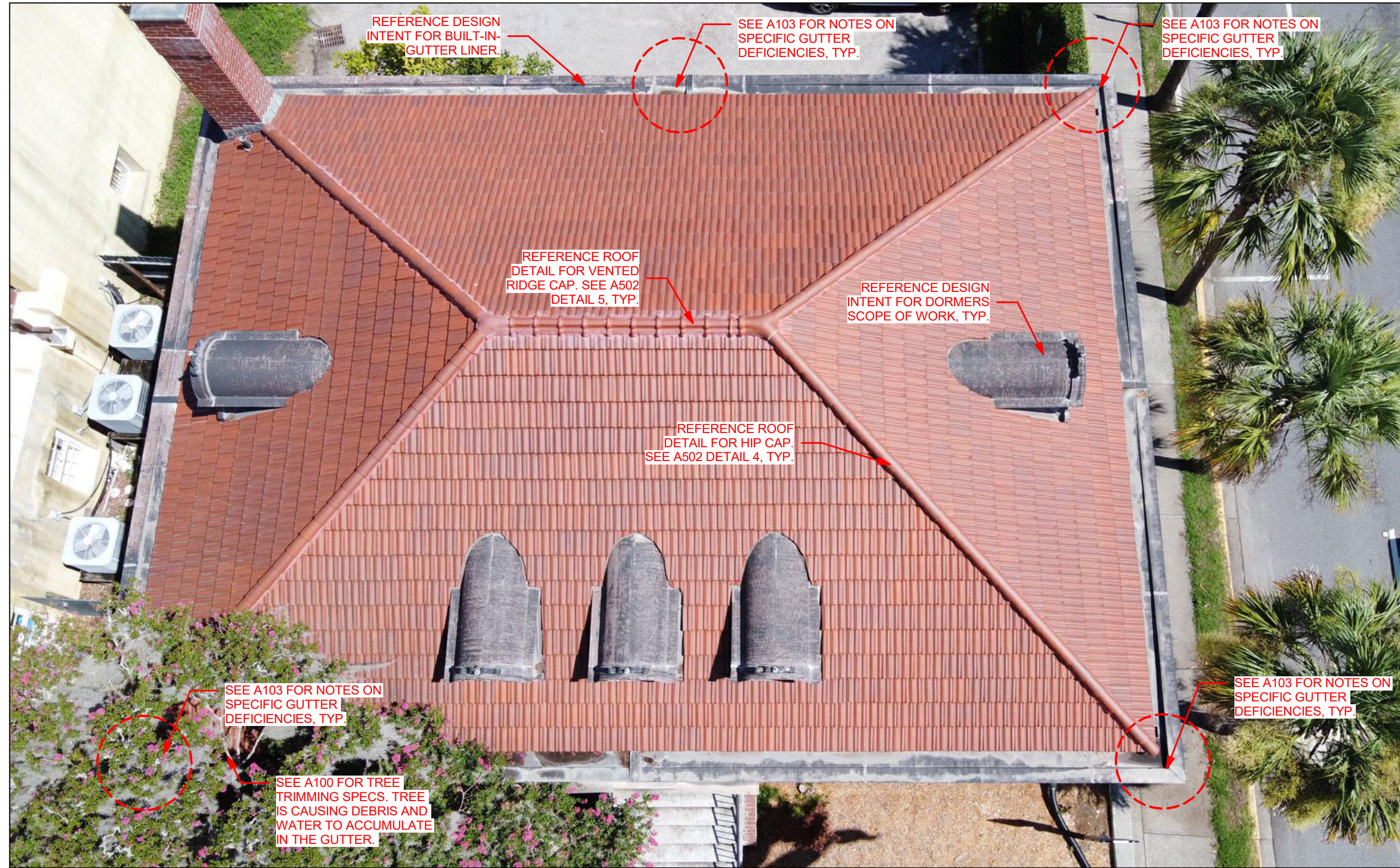
PROJ. 23-0050  
ISSUE DATE: 02/19/2024

REVISIONS  
# DATE NOTES

**TERRACOTTA  
ROOF DETAILS**

**A502**

**NOT FOR CONSTRUCTION**



AERIAL VIEW OF MAIN ROOF



DETAIL VIEWS OF LEAD COATED COPPER LINER AT BUILT-IN-GUTTER

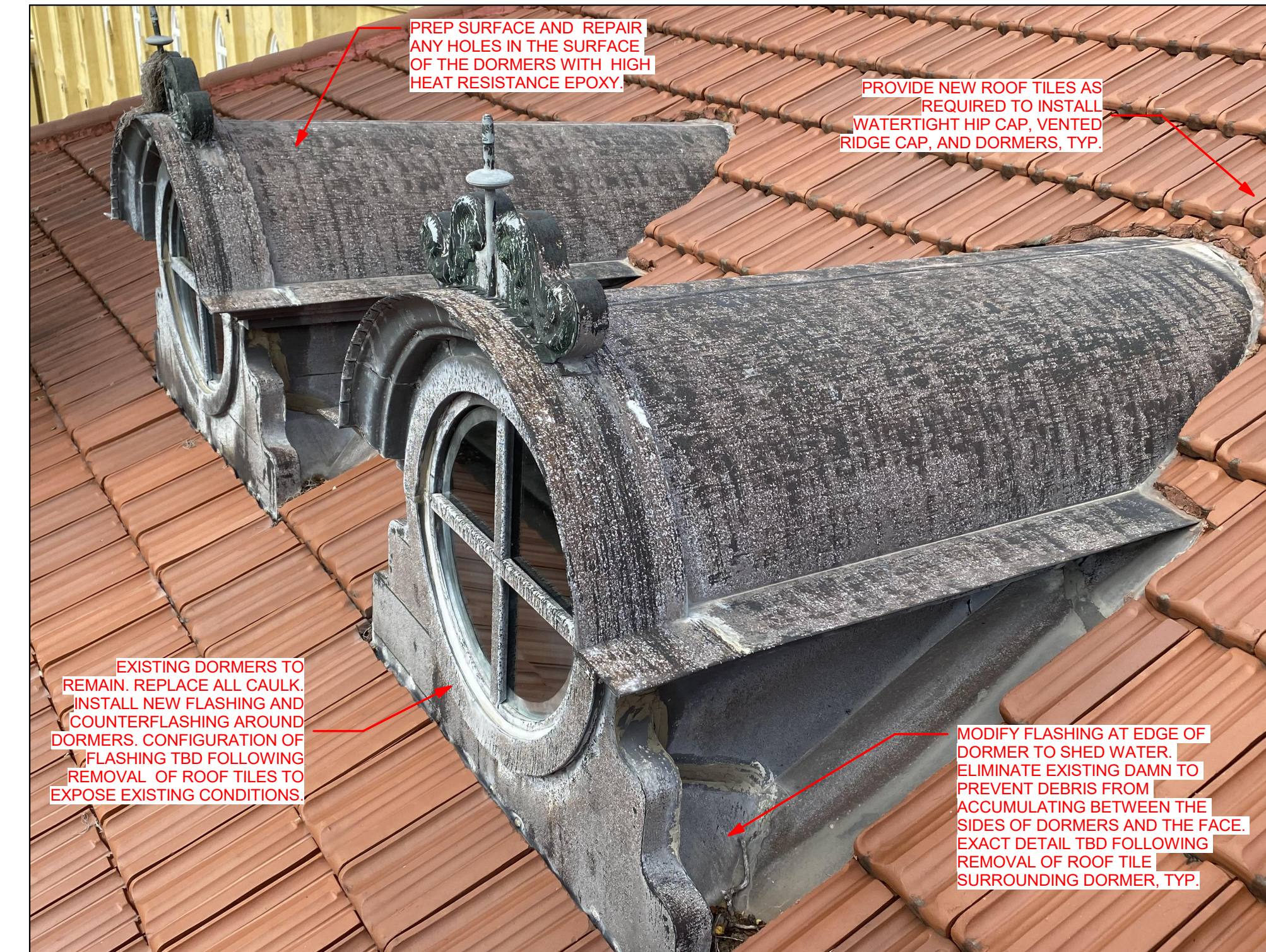
**BUILT-IN-GUTTER DESIGN INTENT:**

CONTRACTOR TO MODIFY GUTTER TO REMOVE LOW SPOTS WHERE WATER PONDS IN THE BASE OF THE METAL LINER. GUTTER TAPERS TO LEVEL AT EXPANSION JOINTS. ENSURE GUTTER PITCHES SO THAT WATER IS DIRECTED TO THE DOWNSPOUTS. THE OUTSIDE EDGE OF THE GUTTER HAS DIPPED IN SELECT AREAS ADJACENT TO THE EXPANSION JOISTS RESULTING IN WATER OVERFLOWING DOWN THE FACE OF THE BUILDING. CONTRACTOR TO CAREFULLY BEND THE GUTTER BACK IN PLACE. REPLACE ALL LOOSE OR MISSING FASTENERS WITH NON-FERROUS FASTENERS OR RIVETS (COPPER WITH BRASS MANDRELS), CAP WITH SOLDER. REPAIR ALL LEAKS AND OPEN SEAMS WITH SOLDER. SEE ADDITIONAL INFORMATION ON SHEET A102, PLAN 2.

CAULK CANNOT BE USED TO REPAIR THE LEAD COATED COPPER GUTTER LINER.

CONTRACTOR TO WATER TEST GUTTER TO IDENTIFY LEAKS AND ENSURE REPAIRS ARE WATERPROOF.

GUTTER LINER TO BE WATERTIGHT AT THE COMPLETION OF THE PROJECT.



DETAIL VIEW OF LEAD COATED COPPER DORMERS

**DORMER FLASHING DESIGN INTENT:**

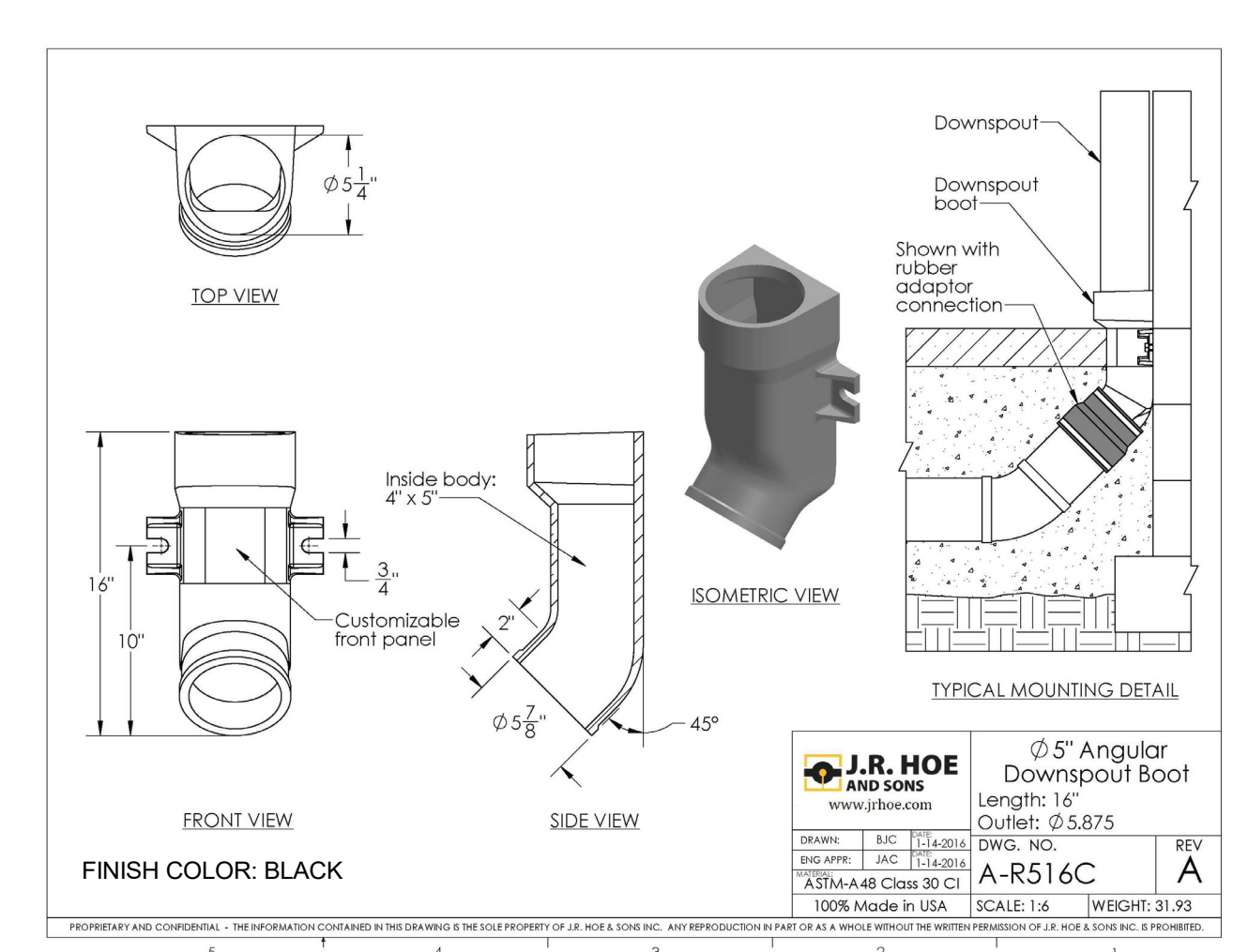
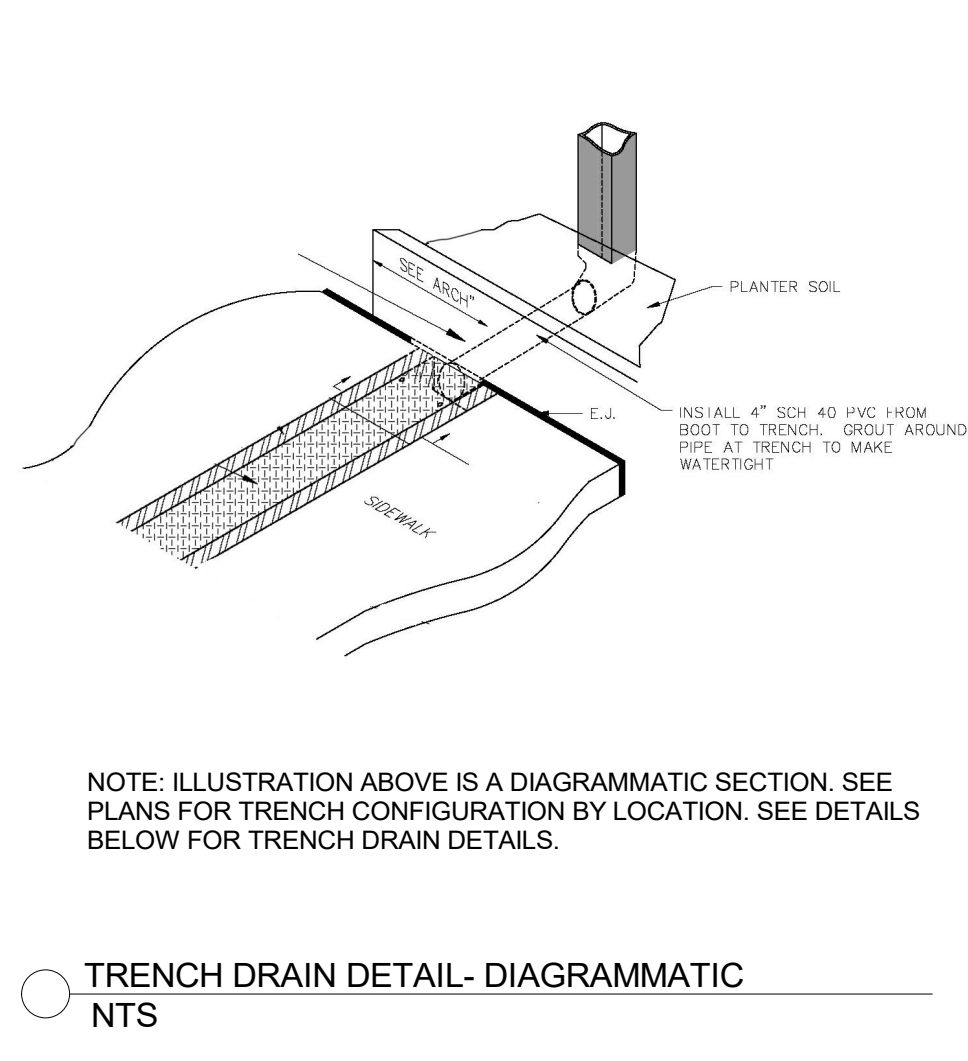
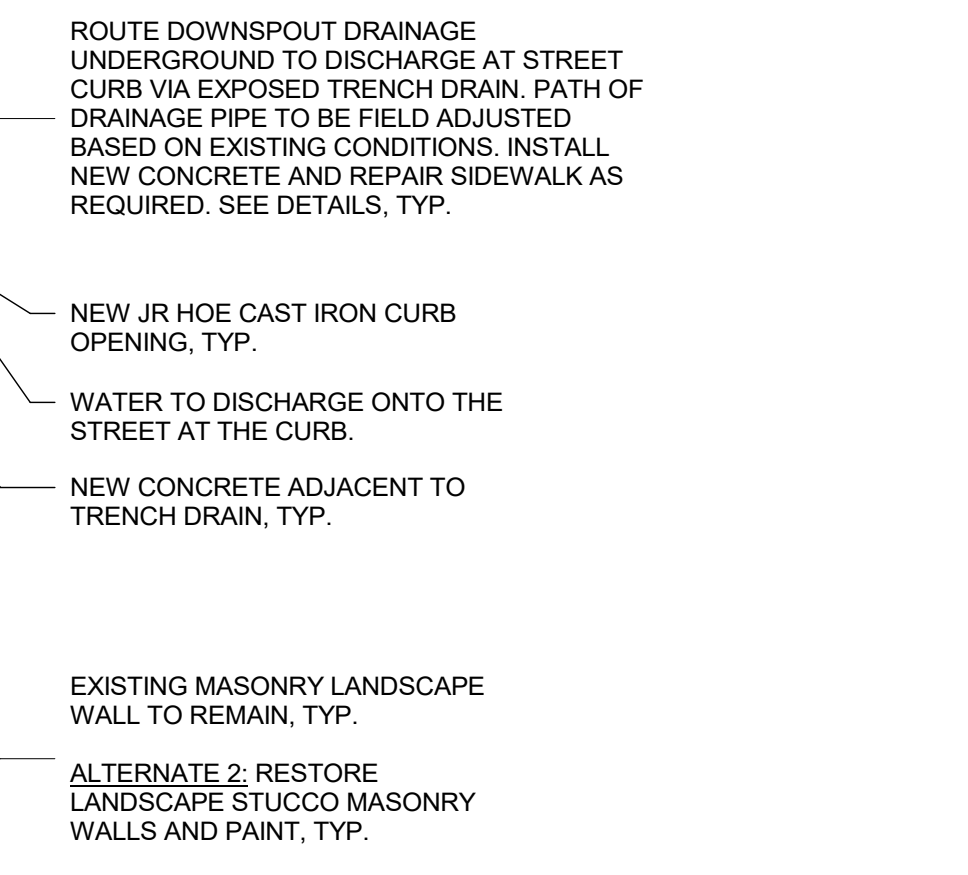
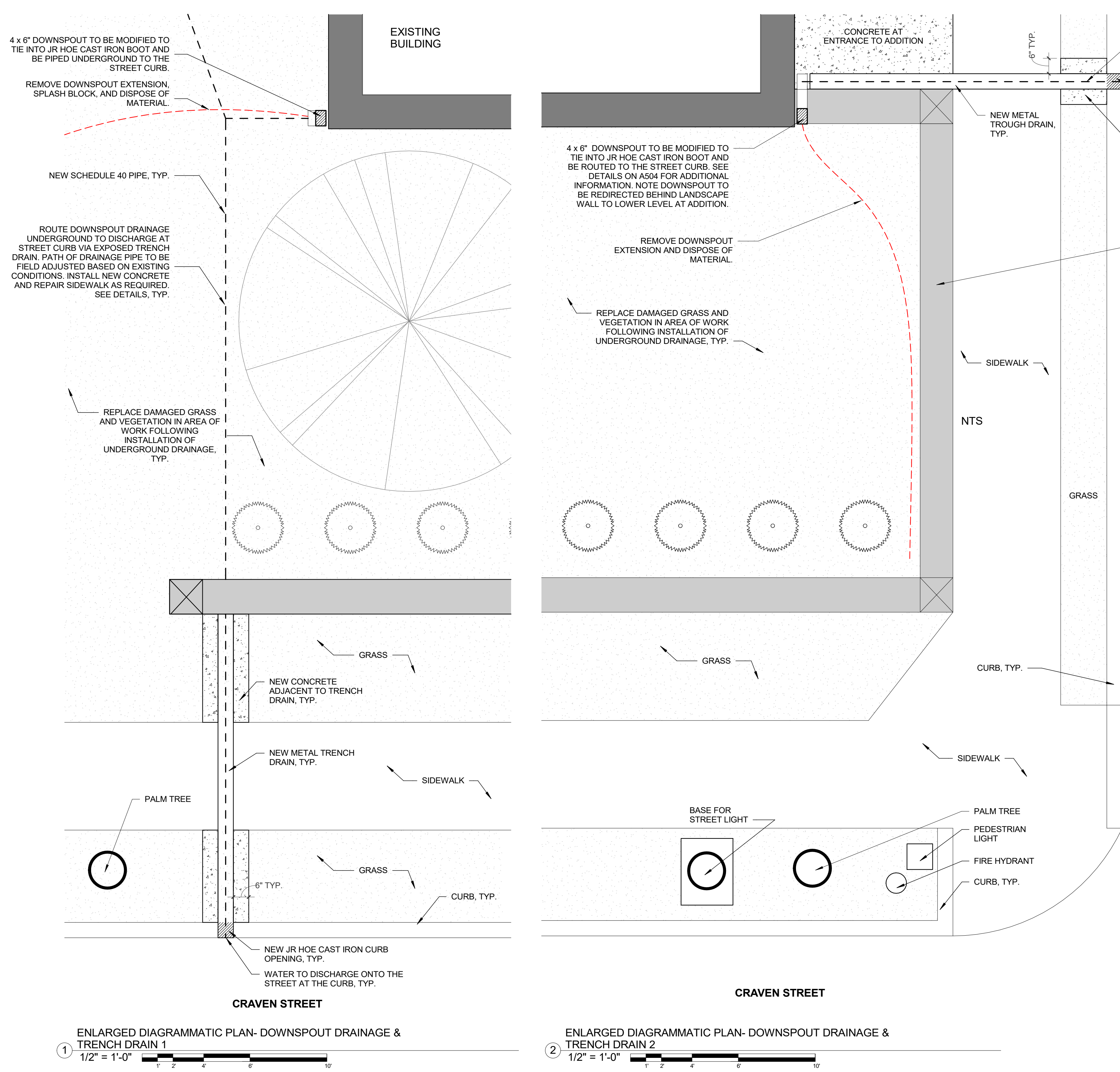
CONTRACTOR TO SUBMIT SHOP DRAWINGS OF PROPOSED FLASHING DETAILS AT DORMERS. DETAILS TO BE DEVELOPED AFTER DORMERS AND FLASHING HAVE BEEN EXPOSED FOLLOWING ROOF TILE REMOVAL.

CONTRACTOR SHOULD ACCOUNT FOR ALTERING EXISTING TWO-LAYERS OF ASPHALT SHEET TO LAP NEW FLASHING, HIGH TEMPERATURE SELF-ADHERING UNDERLAYMENT IN AREA OF WORK. ROSIN SLIP SHEET AS REQUIRED, NEW DORMER FLASHING COMPATIBLE FOR SOLDERING TO EXISTING LEAD COATED COPPER MATERIAL (HEM EDGES AS REQUIRED), IN-KIND MATERIAL IF AVAILABLE, HIGH TEMPERATURE SELF-HEALING COUNTERFLASHING AROUND EACH DORMER, NEW CAULK, REPAIR OF DORMER SURFACE WITH COLOR MATCHED HIGH TEMPERATURE RESISTANCE EPOXY, RE-INSTALLATION OF ROOF TILES REMOVED FOR FLASHING ACCESS, AND PROVIDING ADDITIONAL TILE WHERE REQUIRED. CONTRACTOR TO PROVIDE WATERTIGHT CONFIGURATION AT ALL DORMERS. WATERTIGHTNESS TO BE ACHIEVED WITH FLASHING. CAULK IS NOT CONSIDERED A WATERTIGHT ASSEMBLY.

**PROPOSED DORMER ASSEMBLY:**

1. TERRACOTTA TILE- LUDOWICI FRENCH LOW-PROFILE INTERLOCKING CLAY TILE (ADJACENT TO DORMERS).
2. SELF-ADHERING COUNTERFLASHING.
3. METAL FLASHING AND CRICKET INTEGRATED WITH EXISTING METAL DORMER.
4. HIGH TEMPERATURE SELF-ADHERED UNDERLAYMENT. INTEGRATE NEW UNDERLAYMENT WITH EXISTING TWO LAYERS OF ASPHALT SHEET UNDERLAYMENT.
5. 7/8" PLANK WOOD ROOF DECK.

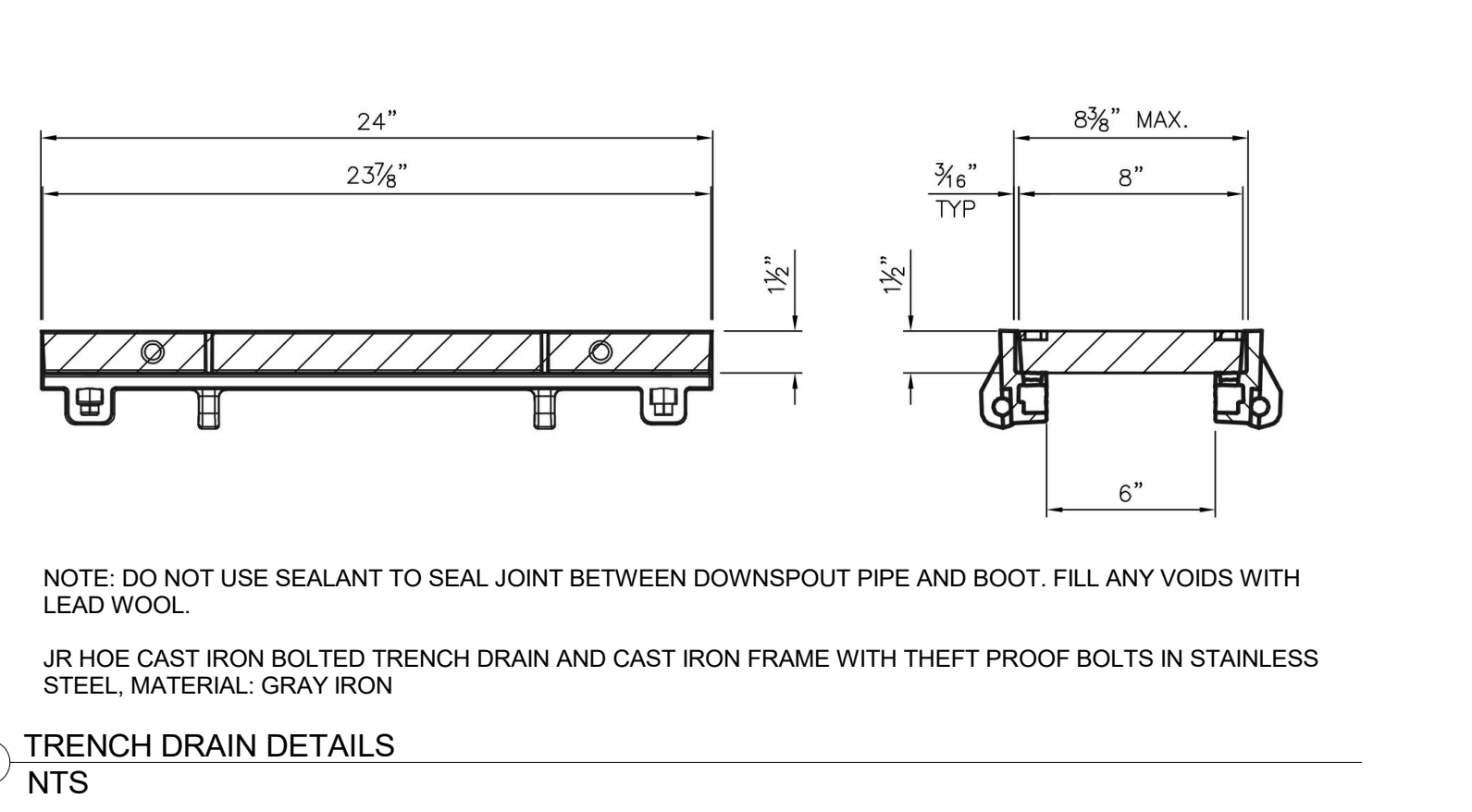
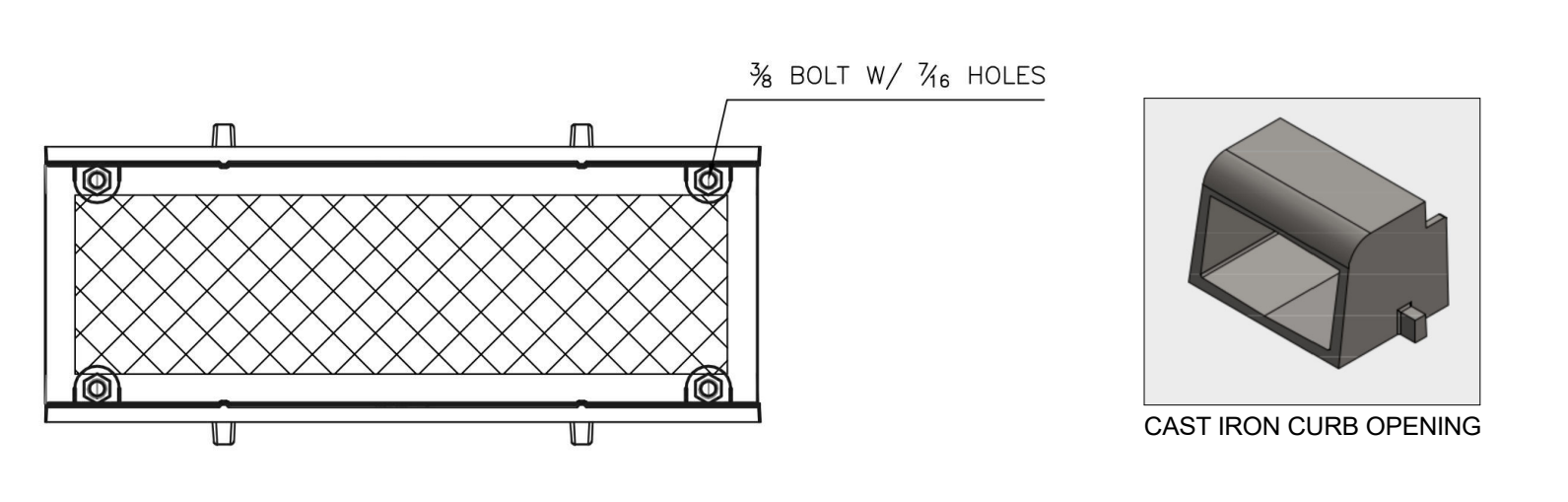
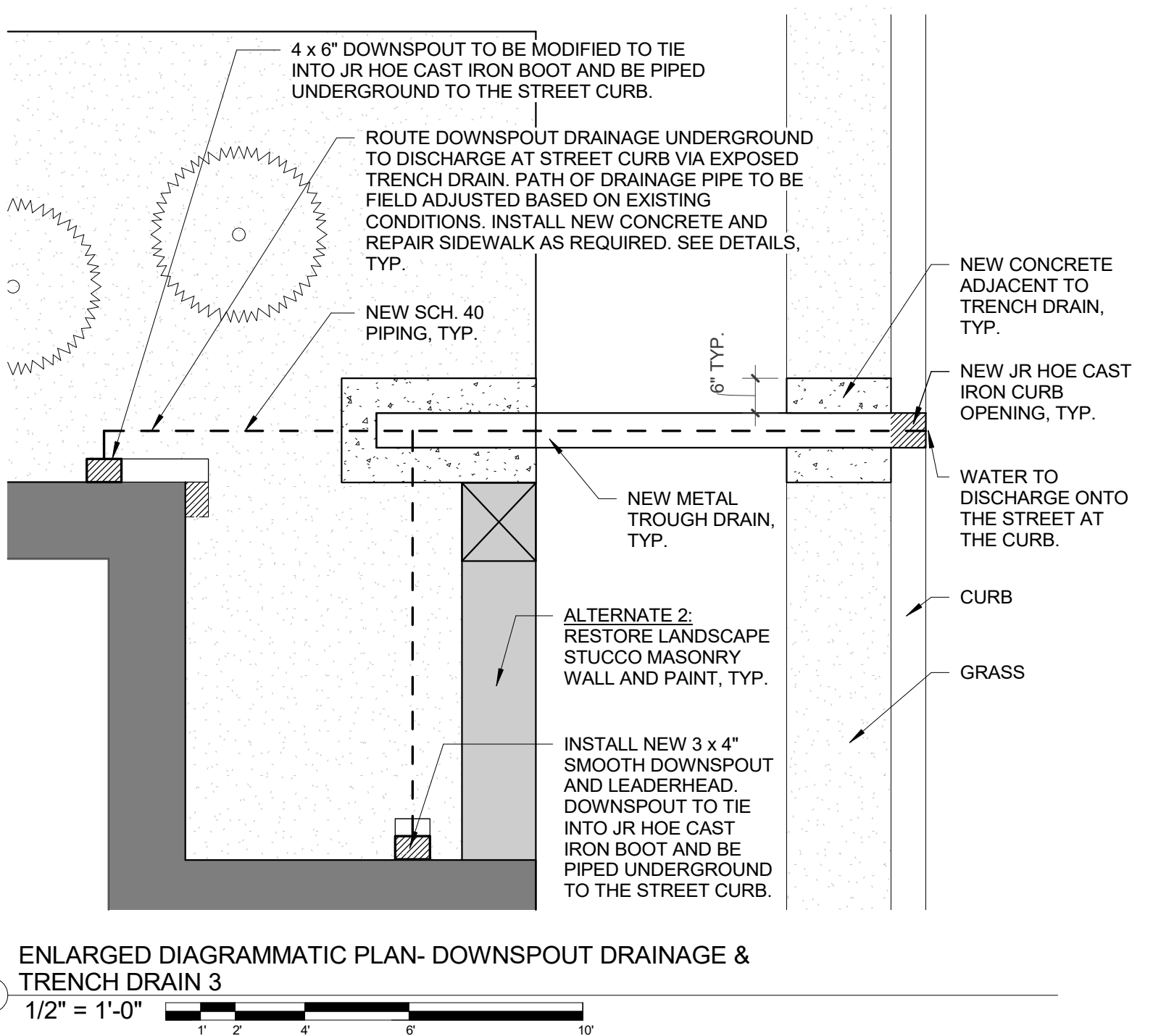
NOT FOR CONSTRUCTION



**NOTE: DO NOT USE SEALANT TO SEAL JOINT BETWEEN DOWNSPOUT PIPE AND BOOT. FILL ANY VOIDS WITH LEAD WOOL.**

**SIZE OF DOWNSPOUT BOOT TO FIT EXISTING DOWNSPOUTS. COORDINATE BASE OF BOOT ANGLE WITH DRAINAGE CONFIGURATION.**

**CAST IRON BOOT DETAIL**  
NTS



**GENERAL DOWNSPOUT & STORM DRAINAGE NOTES**

**IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.**

**GENERAL NOTES ON STORM DRAINAGE**

- ALL DRAINAGE PIPING TO BE SCHEDULE 40.
- ROUTING OF STORM DRAINAGE IS DIAGRAMMATIC. CONTRACTOR TO LAYOUT ON SITE BASED ON EXISTING CONDITIONS. REVIEW FINAL LAYOUT WITH OWNER AND ARCHITECT PRIOR TO BEGINNING INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING LANDSCAPING FOLLOWING INSTALLATION OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR CUTTING AND REPAIRING THE SIDEWALK FOLLOWING INSTALLATION OF WORK. NEW CONCRETE TO BE 3000 PSI.

**GENERAL NOTES ON DOWNSPOUTS AND BOOTS**

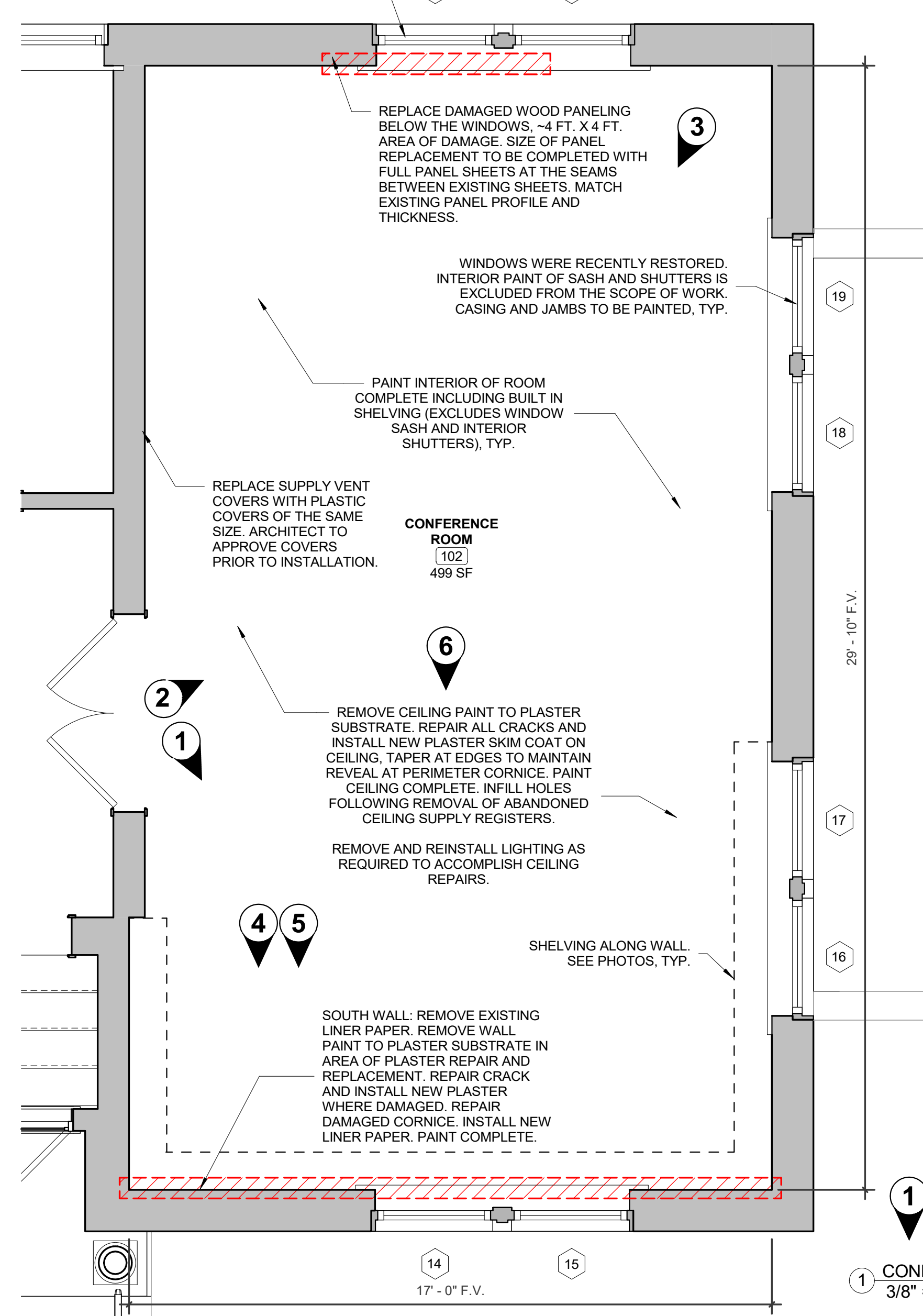
- DOWNSPOUTS TO BE CONNECTED TO NEW STORM DRAINAGE THAT WILL BE ROUTED TO THE STREET CURB. MODIFY DOWNSPOUTS AS REQUIRED TO TIE INTO NEW BOOTS.
- DOWNSPOUTS TO CONNECT TO NEW CAST IRON BOOT WITH CLEANOUT MADE BY JR HOE. CAST IRON BOOTS TO BE PAINTED TO MATCH THE BUILDING. MODIFY DOWNSPOUTS AS NECESSARY TO TIE INTO DOWNSPOUT BOOT. SIZE OF BOOT TO FIT EXISTING DOWNSPOUTS. COORDINATE BASE OF BOOT ANGLE WITH TRENCH CONFIGURATION. SEE MANUFACTURER DETAILS FOR INSTALLATION INSTRUCTIONS. ALL FASTENERS ATTACHING BOOT TO MASONRY TO BE STAINLESS STEEL MACHINE BOLTS WITH LEAD SHIELDS.
- REMOVE ALL SPLASH BLOCKS AND DISPOSE OF MATERIALS.

- ALL DOWNSPOUTS TO BE PREPPED AND PAINTED. REMOVE ALL LOOSE PAINT TO SUBSTRATE. ALL HARD EDGES AND SURFACE IMPERFECTIONS IN PAINT TO BE SANDED SMOOTH. REATTACH ALL DOWNSPOUT BRACKETS USING STAINLESS STEEL FASTENERS WHERE MISSING. ALL BRACKETS TO BE BENT BACK IN PLACE AND REPLACED WHERE MISSING. REPAIR CONNECTIONS @ UNDERSIDE OF SOFFIT AND APPLY JOINT SEALANT WHERE MISSING OR DETERIORATED.
- ALTERNATE 1: REMOVE EXISTING DOWNSPOUTS AND INSTALL NEW PREFINISHED ALUMINUM DOWNSPOUTS. ALL FASTENERS TO BE NON FERROUS AND BE INSTALLED IN LEAD SHIELDS.**

**GENERAL NOTES ON TRENCH DRAINS**

- STORM DRAINAGE TO BE ROUTED THROUGH SIDEWALKS TO HAVE 6" TRENCH DRAINS THAT CONTINUE THROUGH GRASS TO THE CURB. IN GRASSY AREAS A MINIMUM 6 INCH CURB TO BE INSTALLED ON EITHER SIDE OF THE NEW TRENCH DRAIN.**
  - NEW TRENCH DRAINS: JR HOE CAST IRON BOLTED TRENCH DRAIN AND CAST IRON FRAME WITH THEFT PROOF BOLTS IN STAINLESS STEEL. TRENCH DRAIN AND FRAME TO BE MADE OF GRAY IRON. DRAIN COVERS MUST BE ADA COMPLIANT.**
  - CURBS TO HAVE JR HOE CAST IRON CURB OPENING CASTINGS COMPATIBLE WITH TRENCH DRAINS. CAST CURB OPENINGS TO BE MADE OF GRAY IRON.**
- INSTALL 4" SCHEDULE 40 PVC FROM BOOT TO TRENCH, GROUT AROUND PIPE TO TRENCH TO MAKE WATERTIGHT CONNECTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING LANDSCAPING FOLLOWING INSTALLATION OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR CUTTING AND REPAIRING THE SIDEWALK FOLLOWING INSTALLATION OF WORK. NEW CONCRETE TO BE 3000 PSI.

INVESTIGATE CAUSE OF LEAK BELOW WINDOWS AND REPAIR AS REQUIRED. APPEARS TO BE CAUSED BY MORTAR AND SEALANT LOSS AT THE HEAD OF THE WINDOW AND/OR BELT COURSE AND EXCESSIVE OVERFLOW OF WATER FROM THE BUILT-IN-GUTTER ABOVE. THE GUTTER WILL BE ADDRESSED AS PART OF THE ROOF SCOPE OF WORK.



DETAIL PHOTO OF WATER DAMAGE BELOW WINDOWS 20 & 21.



DETAIL PHOTO OF CRACKED PAINT BELOW WINDOWS 14 & 15, TYPICAL CONDITION BELOW WINDOWS.

**HAZARDOUS MATERIALS NOTES:**

SEE HAZARDOUS MATERIALS REPORTS INCLUDED IN THE PROJECT MANUAL. PLASTER SKIM COAT TESTED POSITIVE FOR THE PRESENCE OF ASBESTOS. CONTRACTOR TO ABATE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FROM DHEC. CONTRACTOR TO COORDINATE WITH OWNER AND THIRD PARTY COMPANY PROVIDING AIR MONITORING SERVICES.

**GENERAL PLASTER NOTES**

GENERAL NOTES ON FURNITURE AND CONTENTS OF SHELVING

- OWNER IS RESPONSIBLE FOR REMOVING ITEMS FROM THE SHELVES. CONTRACTOR TO COORDINATE SCHEDULE WITH OWNER AND TENANT.
- CONTRACTOR IS RESPONSIBLE FOR MOVING TABLES AND CHAIRS TO PROVIDE ACCESS. PROTECT TABLE AND CHAIRS FROM DAMAGE THROUGH OUT CONSTRUCTION.

GENERAL NOTES ON INTERIOR SCOPE OF WORK

- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH OF EXISTING ORIGINAL MATERIALS AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. REFERENCE HAZARDOUS MATERIALS REPORT FOR LOCATION OF HAZARDOUS MATERIALS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL WHERE RELEVANT TO SCOPE OF WORK. PLASTER SKIM COAT CONTAINS ASBESTOS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

INTERIOR FINISH NOTES

- DESIGN INTENT:** REPAIR ALL INTERIOR FINISH SURFACES IN THE CONFERENCE ROOM.
  - REMOVE ALL EXTRANEIOUS AND ABANDONED HARDWARE AND FASTENERS.
  - REMOVE ALL ABANDONED MECHANICAL VENT COVERS IN THE CEILING.
- PAINT INTENT:** PREP AND PAINT THE ROOM, INCLUDING SHELVING, CASINGS, AND JAMBS FOR THE WINDOWS AND DOORS. WINDOWS WERE RECENTLY RESTORED. SASH AND INTERIOR SHUTTERS ARE EXCLUDED FROM THE PAINT SCOPE OF WORK.
  - CONTRACTOR TO ENSURE THAT FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. COMPONENTS MAY REQUIRE HEAVY SCRAPPING AND SANDING TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENEOUS PAINT.
  - PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT INTERIOR SURFACES.
  - REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
  - INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
  - METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).



EXISTING CONDITIONS- CONFERENCE ROOM



EXISTING CONDITIONS- CONFERENCE ROOM



EXISTING CONDITIONS- CONFERENCE ROOM



EXISTING CONDITIONS- CONFERENCE ROOM CEILING



EXISTING CONDITIONS- CONFERENCE ROOM CEILING



EXISTING CONDITIONS- CONFERENCE ROOM CEILING

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.6585

CARNEGIE LIBRARY  
ROOF REPAIR AND  
RESTORATION

701 CRAVEN STREET  
BEAUFORT, SC 29902

BID DOCUMENTS

PROJ. 23-0050

ISSUE DATE: 02/19/2024

REVISIONS

#	DATE	NOTES

INTERIOR FINISHES-  
PLASTER  
REPAIRS

**A601**

**NOT FOR CONSTRUCTION**