

# CITY FIRE TRAINING FACILITY for CITY OF MILTON SEPTEMBER, 2016

**GENERAL NOTES:**

1. ALL ELEVATIONS AND SLOPES PROVIDED IN THESE PLANS ARE TO BE STRICTLY ADHERED TO. THERE CAN BE NO MODIFICATIONS OR REVISIONS TO THESE PLANS WITHOUT PRIOR FIELD INSPECTION AND WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND APPROVAL FROM ALL REGULATORY AGENCIES.
2. ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCIES GOVERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION COMMENCEMENT.
3. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF VARIOUS GOVERNMENTAL APPROVALS AND PERMITS.
4. ALL CONSTRUCTION SHALL COMPLY WITH ALL PERMIT REQUIREMENTS. IF THERE ARE ANY DIFFERENCES, THE MOST STRINGENT SHALL PREVAIL.
5. CONTRACTOR SHALL NOTIFY IN WRITING, ALL AGENCIES, AND THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
6. ALL SUITABLE EXCAVATED MATERIAL IS TO REMAIN ON SITE AND BE STOCK PILED AT LOCATIONS DETERMINED BY THE ENGINEER OF RECORD. UNSUITABLE EXCAVATED MATERIALS ARE TO BE REMOVED FROM THE SITE OR SPREAD EVENLY AT LOCATIONS DETERMINED BY THE ENGINEER OF RECORD.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO BEGINNING AND COMPLETING EACH PHASE OF CONSTRUCTION, I.E. RETENTION POND CONSTRUCTION, SUB-GRADE PREPARATION, BASE WORK, PAVING, CURBING, ETC. FAILURE TO COMPLY WILL CAUSE DELAY OF DISBURSEMENT OF FUNDS TO THE CONTRACTOR AND DELAY OF FINAL CERTIFICATION BY THE ENGINEER OF RECORD.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING IMPROVEMENTS AND/OR FEATURES, INCLUDING PERMANENT SURVEY MARKERS AND BENCHMARKS, WHICH ARE NOT DESIGNATED TO BE REMOVED OR ALTERED ON THE PLANS. WHERE TREES ARE TO BE REMOVED THE CONTRACTOR SHALL ESTABLISH NEW BENCHMARKS PRIOR TO ANY TREE REMOVAL.
9. ALL DIMENSIONS AND GRADES ON THESE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE RE-DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
10. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING FERTILIZER AND MULCH, OR SOD. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER (PRIOR TO INCORPORATION INTO THE PROJECT) A CERTIFICATION FROM THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY STATING THAT THE SOD/ HAY/STRAW/MULCH/SEED MATERIALS ARE FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE. SOD IS THE RECOMMENDED SLOPE STABILIZATION METHOD.
11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPOGRAPHY OF POND, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. THESE DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD A MINIMUM OF 1 WEEK PRIOR TO THE REQUEST FOR FINAL INSPECTION.
12. THE ENGINEER OF RECORD TAKES ABSOLUTELY NO RESPONSIBILITY FOR ANY ITEM LABELED "BY OTHERS" OR FOR SUCH ITEMS AS RETAINING WALLS, BUILDINGS, SUB-SURFACE GEOTECHNICAL CONDITIONS, FOUNDATION DESIGN, OR ANY EXISTING WATER AND SEWER UTILITIES.
13. THE COUNTY, ITS OFFICERS, AND EMPLOYEES SHALL BE HELD HARMLESS FROM ANY DAMAGES TO PERSONS OR PROPERTY WHICH MIGHT RESULT FROM WORK OR ACTIVITY UNDERTAKEN BY THE DEVELOPER AND AUTHORIZED BY THE COUNTY.
14. CONTRACTOR MUST OBTAIN A UTILITY PERMIT FROM SANTA ROSA COUNTY ROAD & BRIDGE PRIOR TO WORK WITHIN THE COUNTY RIGHT-OF-WAY.
15. "INITIAL SUBMITTAL DRAWINGS" ARE FOR REVIEW AND PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ENSURING ACTUAL CONSTRUCTION IS IN ACCORDANCE WITH THE "FINAL CONSTRUCTION DRAWINGS".
16. CONTRACTOR IS ENCOURAGED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER TO DISCUSS SCOPE OF WORK, TESTING REQUIREMENTS, INSPECTION PERIODS, AND THE NOTES & CONDITIONS OUTLINED ON THESE PLANS AS WELL AS STANDARDS THAT MAY NOT BE ON THESE PLANS THAT ARE EXPECTED OF THE CONTRACTOR.
17. DENSITY TESTING IS REQUIRED FOR VARIOUS ASPECTS OF CONSTRUCTION. THERE ARE NOTES THROUGHOUT THESE PLANS REFERRING TO THE TESTING REQUIREMENTS FOR EACH ASPECT. IF THERE ARE ANY QUESTIONS PLEASE CONSULT THE ENGINEER PRIOR TO COVERING QUESTIONABLE SURFACE.
18. THE ENGINEER SUGGESTS THAT ITEMS SUCH AS RETENTION PONDS, INLETS, PIPES, LIFT STATIONS, CULVERTS, MANHOLES, GRAVITY SEWER LINES, AND ALL OTHER ITEMS THAT WILL BE COVERED BY A PERMANENT STRUCTURE OR MATERIAL (I.E. ASPHALT, SOD, ETC.) BE SCHEDULED BY THE CONTRACTOR FOR INSPECTION BY THE ENGINEER BEFORE PLACEMENT OF PERMANENT STRUCTURES/MATERIALS. FAILURE TO SCHEDULE AN INSPECTION PRIOR TO PLACEMENT OF PERMANENT STRUCTURES/MATERIALS WILL RESULT IN REMOVAL OF PERMANENT STRUCTURES/MATERIALS TO REPAIR/REPLACE UNDERLYING DEFECTS IF SUCH DEFECTS ARE FOUND TO EXIST.
19. THE CONTRACTOR SHALL ENSURE THAT THE SITE PLAN PERMIT NUMBER IS PROPERLY DISPLAYED ON SITE PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES. THE SITE PLAN PERMIT NUMBER SHALL BE VISIBLE FROM THE ROAD AND BE DISPLAYED AT ALL TIMES.

**OWNER:**  
CITY OF MILTON  
P.O. BOX 909  
MILTON, FLORIDA 32572  
PHONE: (850) 983-5400 (#1220)

**SITE ADDRESS:**  
MILTON, FLORIDA 32570

**EXISTING SITE DATA:**  
PARCEL NO(s): 28-2N-28-1340-00000-PARK  
TOTAL AREA: ± 4.68 ACRES  
PROJECT AREA: ± 4.68 ACRES  
PARCEL ZONING: R-1AA  
CURRENT LAND USE: MUNICIPAL (008900)  
FUTURE LAND USE: PUB

**PROPOSED SITE DATA:**  
+/- 1,650 S.F. BUILDING  
12 ADDITIONAL PARKING SPACES  
NEW GRAVEL PARKING/DRIVING AREA  
NEW GRAVEL ENTRANCE TO SITE  
LANDSCAPING IN ACCORDANCE WITH SANTA ROSA COUNTY LDC.  
STORMWATER MANAGEMENT SYSTEM

**PERVIOUS / IMPERVIOUS AREAS TABLE:**

IMPERVIOUS and PERVIOUS AREAS TABLE			
PROJECT AREA: +/- 203,722 SQ. FT. - 4.68 ACRES			
AREAS OF CALCULATION	PRE-DEVELOPMENT	INCREASE/REDUCTION	POST-DEVELOPMENT
BUILDING	0 SF	+ 792 SF	792 SF
CONCRETE SIDEWALK	0 SF	+ 400 SF	400 SF
GRAVEL DRIVING SURFACE	0 SF	+ 21,141 SF	21,333 SF
<b>TOTAL IMPERVIOUS AREA</b>	0 SF	+ 22,333 SF	22,333 SF
PERVIOUS AREAS	203,722 SF	- 22,333 SF	181,389 SF
<b>PERCENTAGE OF PERVIOUS AREAS</b>	0 %	-10.9 %	89.1 %

**SHEET INDEX**

SHEET 1	.....	COVER SHEET
SHEET 2	.....	EXISTING - DEMOLITION PLAN
SHEET 3	.....	SITE - SITE, LANDSCAPE & GRADING PLAN
SHEET 4	.....	NOTES & DETAILS
SHEET 5	.....	DETAILS
SHEET 6	.....	DETAILS
SHEET 7	.....	DETAILS



APPROX. SITE LOCATION  
**VICINITY MAP**  
TO SCALE

**LEGAL DESCRIPTION:**

(AS PREPARED BY SOUTHERN SURVEYING, INC.)  
PARK AREA OF GEORGETOWN ESTATES, A RECORDED IN PLAT BOOK "C", PAGE 81, OF THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA.  
(O.R. BOOK 3078, PAGE 230)  
ONE ACRE SQUARE IN THE SOUTHWEST CORNER OF LOT 17 IN JIM SUNDAY SUBDIVISION IN SECTION 28, TOWNSHIP 2 NORTH, RANGE 28 WEST, SANTA ROSA COUNTY, FLORIDA. LESS AND EXCEPT THE EAST 105 FEET THEREOF.

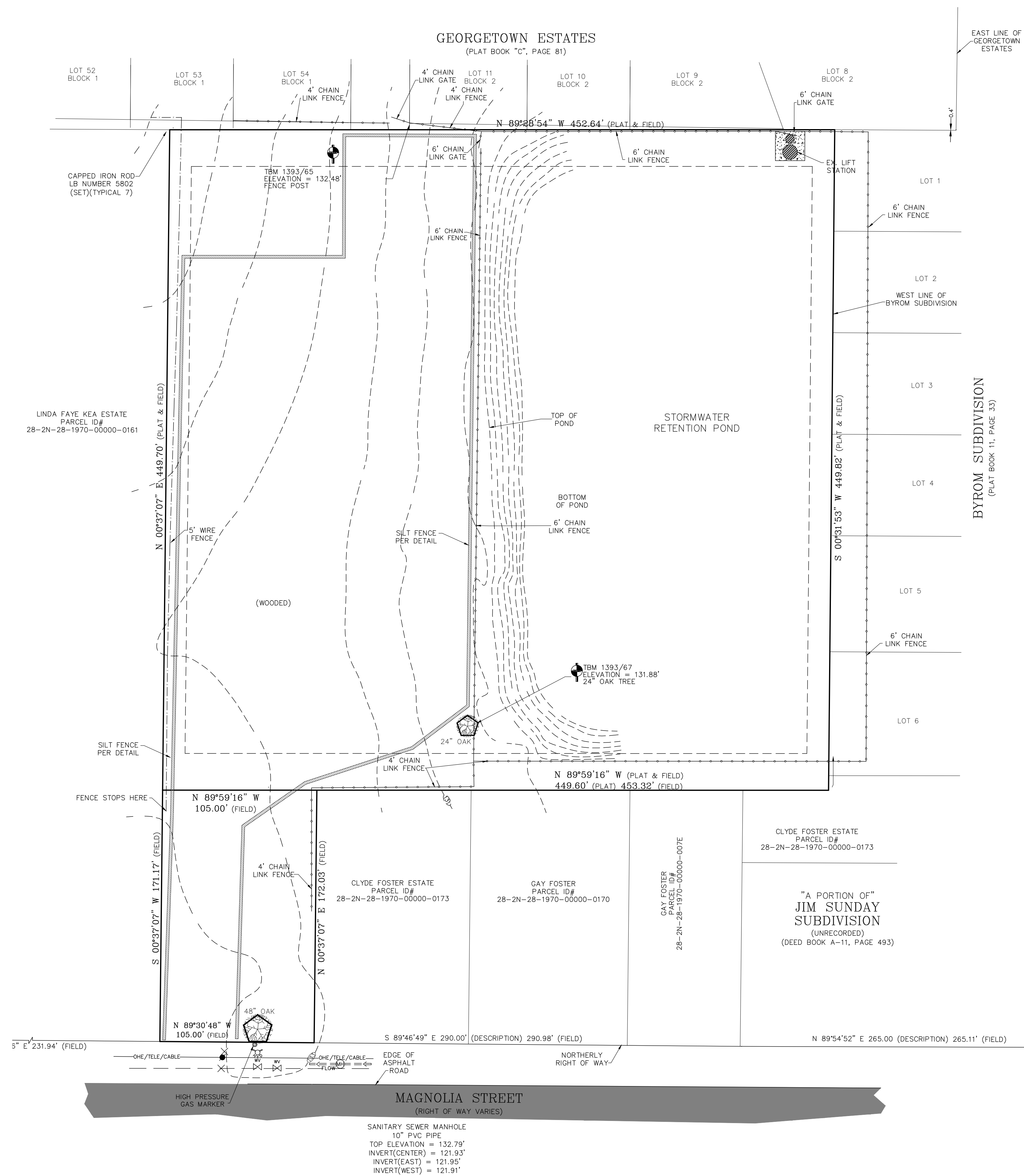
Construction Plans for:  
**FIRE TRAINING FACILITY  
FOR THE CITY OF MILTON**

SOUTHERN SITE & UTILITY DESIGN, INC.  
FLORIDA CERTIFICATE OF AUTHORITY NO. 8983  
6555 CAROLINE STREET MILTON, FLORIDA 32570  
PH: (850) 623-9493 E-MAIL: ssd@bellsouth.net  
EROSION CONTROL PLANS \* POTABLE WATER & SANITARY SEWER  
SITE PLANS \* SUBDIVISIONS \* STORMWATER MANAGEMENT

DRAWN BY: pRp DATE: 9/6/2016  
REVISIONS:  
1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

DATE: \_\_\_\_\_  
PAUL W. LINDSEY, P.E.  
FL LICENSE NO. 55577  
DRAWING NOT VALID UNLESS SIGNED AND SEALED  
BY LICENSEE OF RECORD

# EXISTING CONDITIONS & DEMOLITION PLAN



**LEGEND:**

	UTILITY POLE		PROPOSED SPOT ELEVATION
	TEMPORARY BENCHMARK		EXISTING SPOT ELEVATION
	CONTOUR LINE		TRAFFIC SIGN
	EXISTING CONCRETE		FIRE HYDRANT
	EXISTING ASPHALT		BACKFLOW PREVENTER
	PROPOSED ASPHALT		SILT FENCE
	EXISTING LANDSCAPE AREA		GULLY ANCHOR
	PROPOSED LANDSCAPE AREA		DIRECTION OF WATER FLOW
	GULLY ANCHOR		TRAFFIC FLOW DIRECTION
	DIRECTION OF WATER FLOW		TURN ARROW
	EXISTING TREE		OVERHEAD UTILITY LINES
	NEW TREE		SHRUB
	TREE TO BE PROTECTED		TREE TO BE REMOVED

**PRIOR TO CONSTRUCTION:**

CONTRACTOR MUST OBTAIN A UTILITY PERMIT FROM SANTA ROSA COUNTY ROAD & BRIDGE PRIOR TO WORK WITHIN THE COUNTY RIGHT-OF-WAY.

48 HOURS BEFORE YOU DIG  
**STOP**  
CALL SUNSHINE  
800-432-4770

CONTRACTOR SHALL CONTACT SUNSHINE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

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SITE PLANS \* SUBDIVISIONS \* STORMWATER MANAGEMENT

DRAWN BY: pRp DATE: 9/6/2016

REVISIONS:

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4.	

DATE: 9/6/2016  
PAUL FOSTER, P.E.  
FL LICENSE NO. 56577

DRAWING NOT VALID UNLESS SIGNED AND SEALED  
BY LICENSED PROFESSIONAL ENGINEER

**SHEET**  
2

OVERALL SITE



# SITE, LANDSCAPING & DRAINAGE PLAN

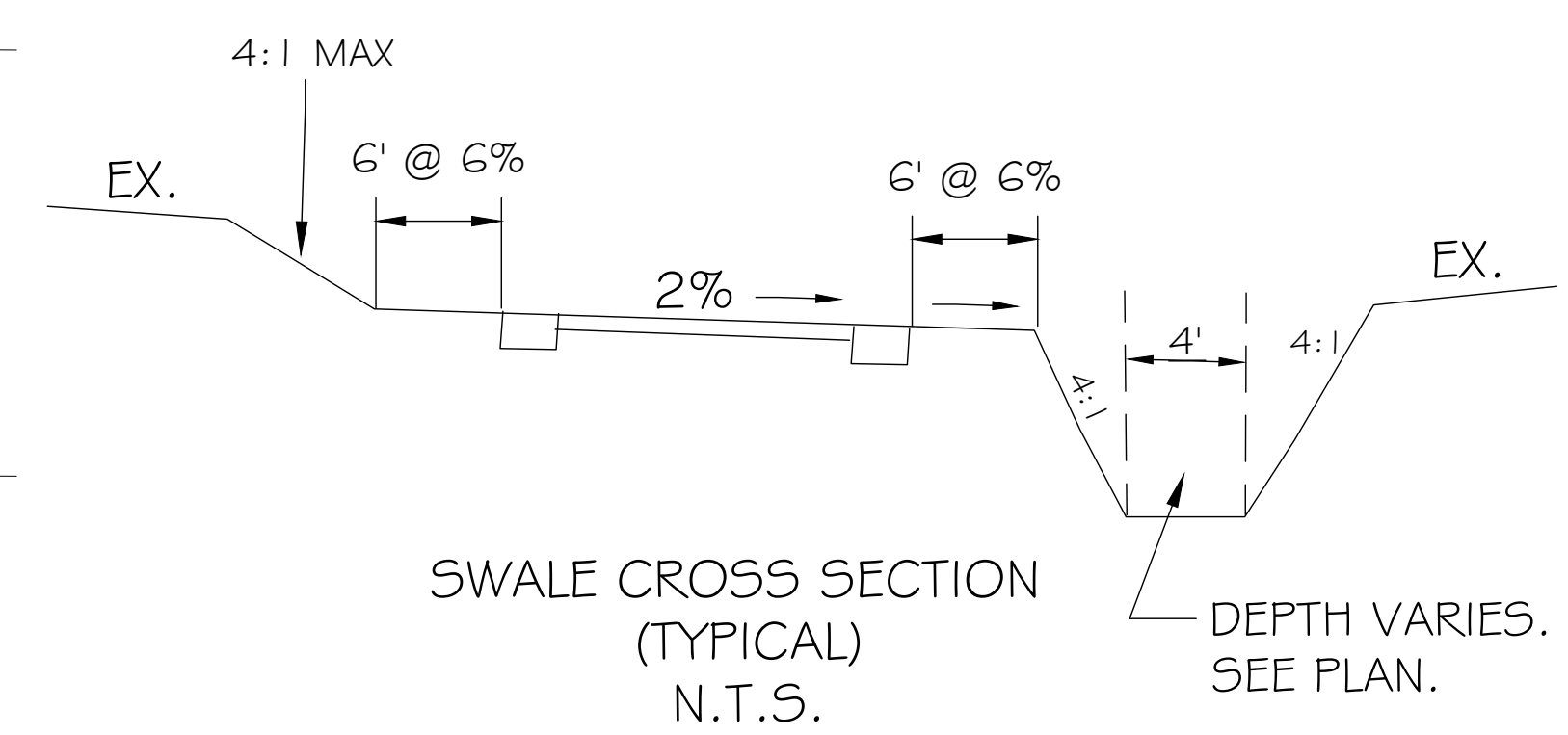
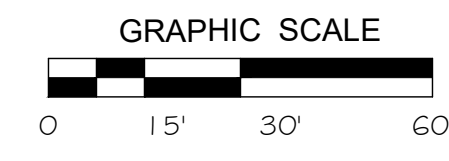
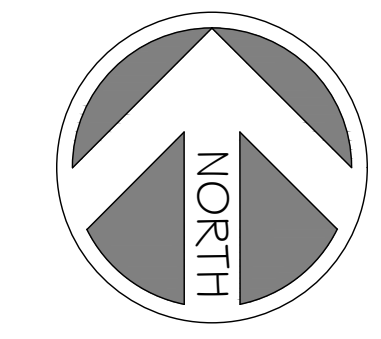
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REVISIONS:  
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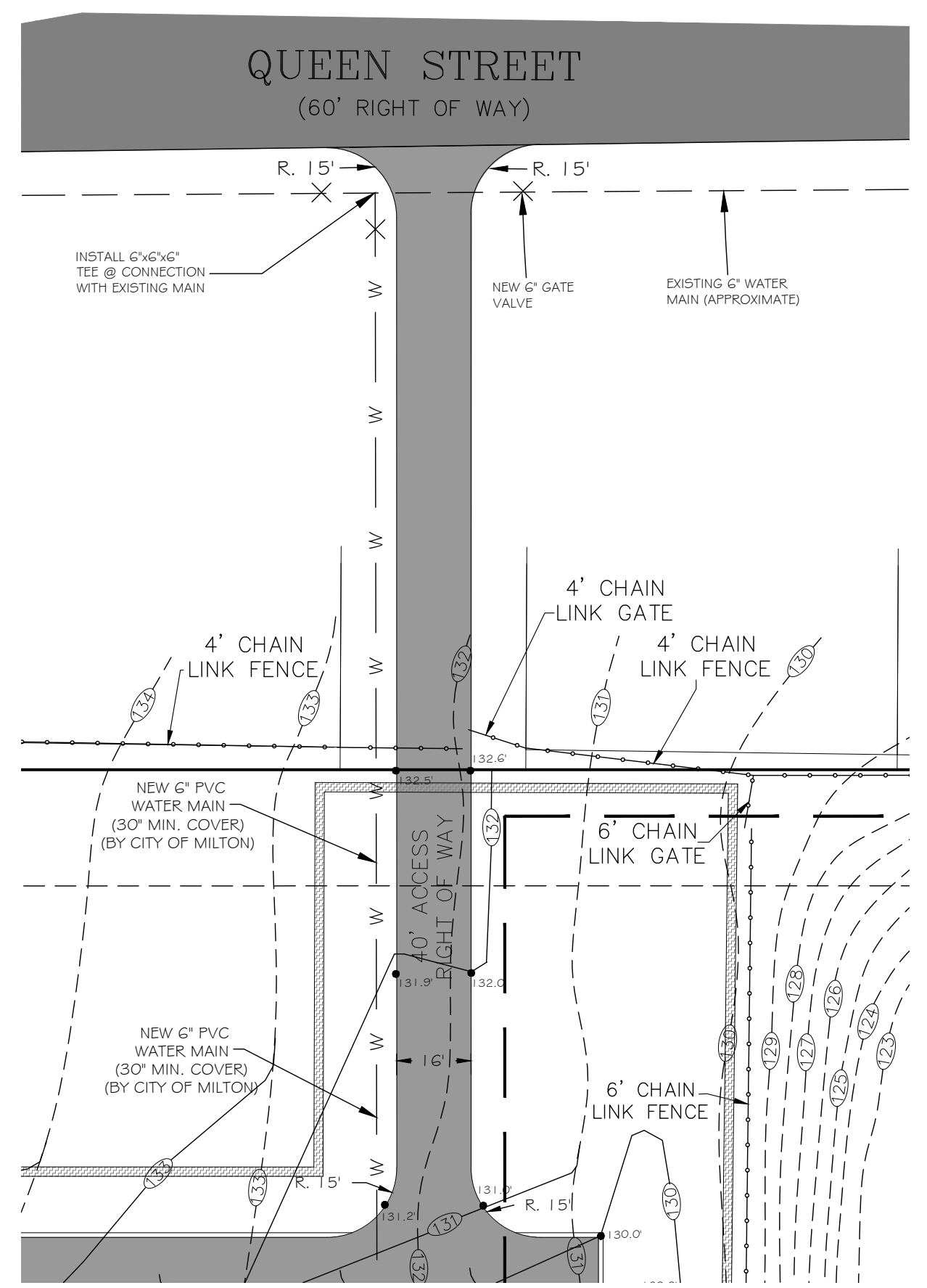
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PAUL W. WALKER, P.E.  
FL LICENSE NO. 55677  
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BY LICENSEE OF RECORD

**SHEET**  
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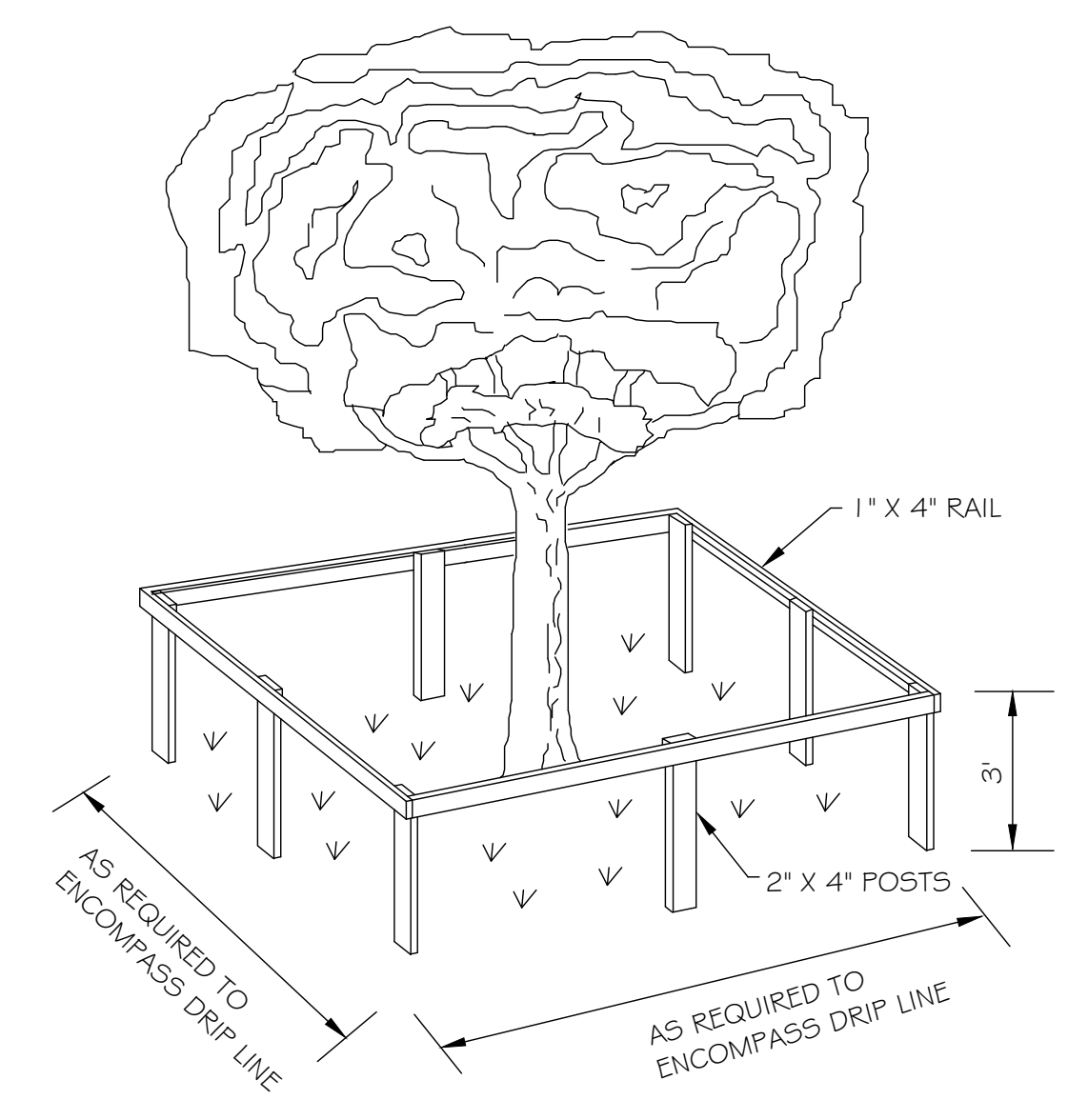


LEGEND	
	DIRECTION OF WATER FLOW
	FIRE HYDRANT
	STORMWATER INLET
	UTILITY POLE
	HIGH PRESSURE GAS MARKER
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	SEWER MANHOLE
	6" WOOD PRIVACY FENCE
	SILT FENCE
	OVERHEAD UTILITY LINES
	STREET SIGN
	PROPOSED CONCRETE
	EXISTING ASPHALT ROADWAY
	PROPOSED ASPHALT ROADWAY
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED CONTOURS
	TREE TO BE PROTECTED

**PRIOR TO CONSTRUCTION:**  
CONTRACTOR MUST OBTAIN A UTILITY PERMIT FROM SANTA ROSA COUNTY ROAD & BRIDGE PRIOR TO WORK WITHIN THE COUNTY RIGHT-OF-WAY.  
  
CONTRACTOR SHALL CONTACT SUNSHINE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY.



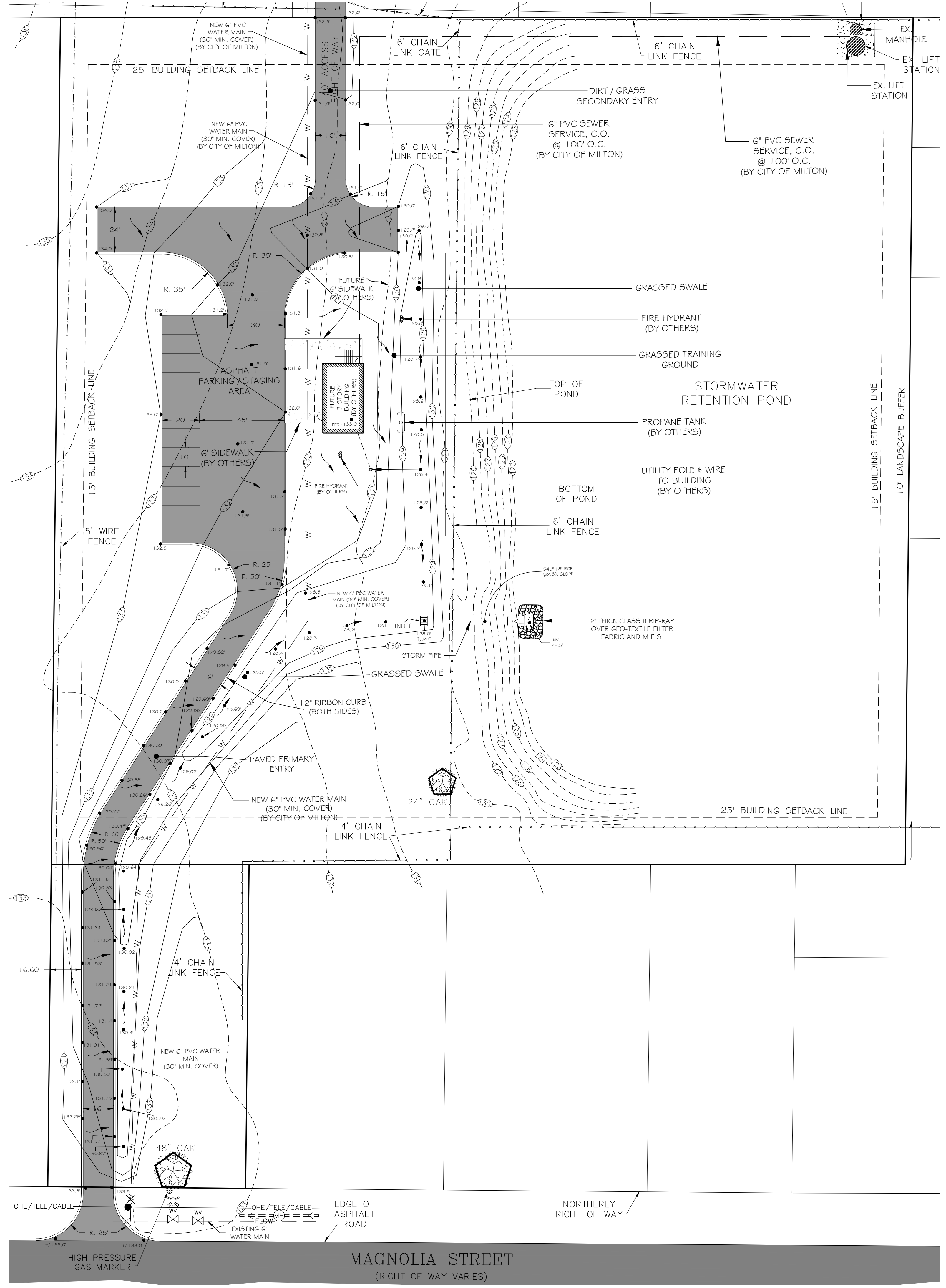
**NORTH ENTRY**



**TREE PROTECTION DETAIL**  
N.T.S.

**LANDSCAPE REQUIREMENTS**

- NO PROTECTED TREES ARE PROPOSED TO BE REMOVED DURING THE CONSTRUCTION OF THIS PROJECT.
- EXISTING TREES WITHIN OR ADJACENT TO THE PROJECT LIMITS SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION PER THE DETAIL.
- EXISTING VEGETATION ON-SITE IS PROPOSED TO BE USED TO MEET ALL LANDSCAPE REQUIREMENTS PER THE CITY OF MILTON LAND DEVELOPMENT CODE.



**MAGNOLIA STREET**  
(RIGHT OF WAY VARIES)

# GENERAL NOTES & DETAILS

## EXISTING CONDITIONS NOTES:

### STORMWATER / EROSION CONTROL NOTES:

1. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL PLACE SILTATION FENCE ON THE SUBJECT PROPERTY WHERE APPLICABLE OR WHERE INDICATED ON THE PLANS. SILTATION FENCE IS TO REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED.
2. CONTRACTOR IS TO ENSURE THAT ALL SEDIMENT CONTROL MEASURES ARE FULLY FUNCTIONAL DURING RAINFALL EVENTS. ALL HAY-BALES AND SILT FENCES SHALL REMAIN INTACT UNTIL CONSTRUCTION IS COMPLETE. SHOULD A PORTION FAIL, THAT PORTION SHALL BE REPAIRED PRIOR TO THE NEXT STORM EVENT IN ACCORDANCE WITH THE DETAILS SHOWN ON THESE PLANS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL TEMPORARY EROSION CONTROL MEASURES AS REQUIRED TO ENSURE NO SEDIMENTS ARE TRANSPORTED OFF-SITE VIA STORMWATER RUN-OFF.
4. IT IS RECOMMENDED THAT ALL SIDE SLOPES AND EMBANKMENTS BE SODDED AND PINNED WITH GRASS WHICH IS FREE FROM NOXIOUS WEEDS. ALL OTHER DISTURBED AREAS SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR SEED AND MULCH. ARGENTINE BAHIA IS THE RECOMMENDED SOD TYPE FOR SLOPES. SEE SEPARATE NOTE REGARDING VEGETATIVE MEASURES.
5. CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN BASINS AND ROADS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
6. AREAS CONTAINING BLOCK SOD SHALL BE PINNED.
7. ON ALL CLEARED AREAS WHICH WILL NOT HAVE ACTIVE CONSTRUCTION UNDERTAKEN FOR A PERIOD OF 90 DAYS OR MORE, A GROUND COVER SHALL BE PLANTED OR OTHER FORMS OF STABILIZATION UTILIZED WITHIN 10 WORKING DAYS.
8. FOR DISTURBED AREAS EQUAL TO OR GREATER THAN 1 ACRE, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND SUBMITTED TO FDEP FOR NPDES PERMITTING. THE SWPPP SHALL BE CONSIDERED A PART OF THESE PLANS AND SHALL BE STRICTLY ADHERED TO. INSPECTIONS ARE REQUIRED ACCORDING TO THIS PERMIT. CONTACT ENGINEER TO ARRANGE INSPECTIONS.
9. AT THE COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDRO-SEED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SEDIMENT CONTROL DEVICES (i.e. SILT FENCES) PRIOR TO CONSTRUCTION. PROVIDE SILTATION FENCES AS SHOWN ALONG THE PROPERTY LINES. SEE DETAIL FOR PROPER INSTALLATION.

## UTILITY GENERAL NOTES:

### GENERAL UTILITY NOTES:

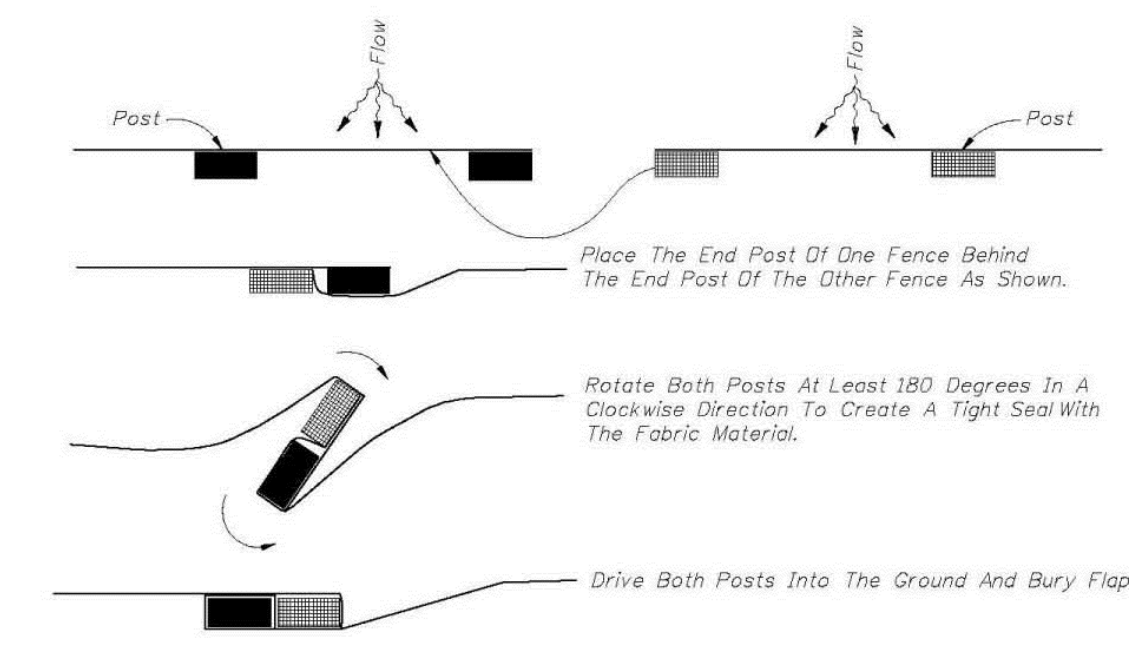
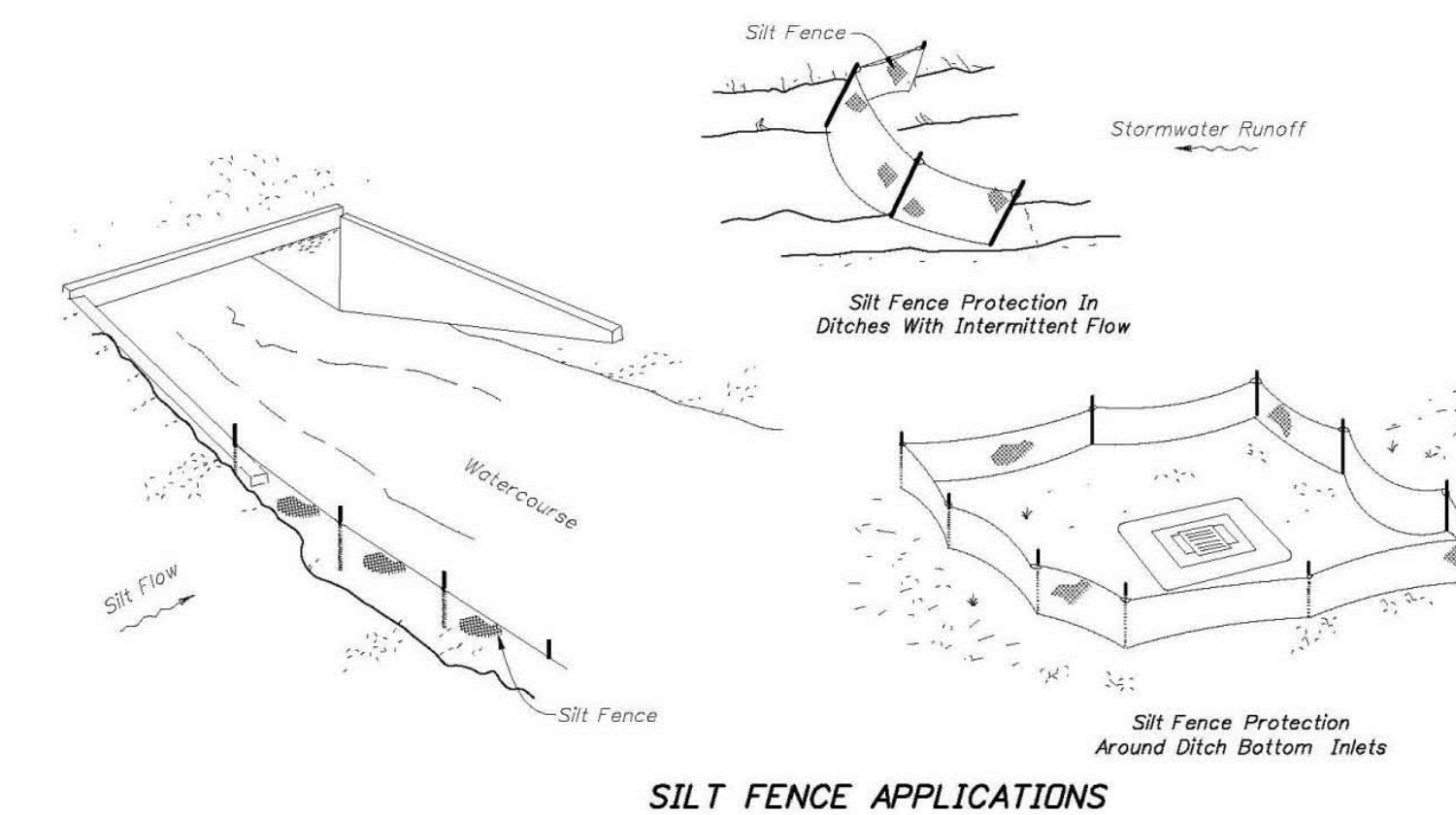
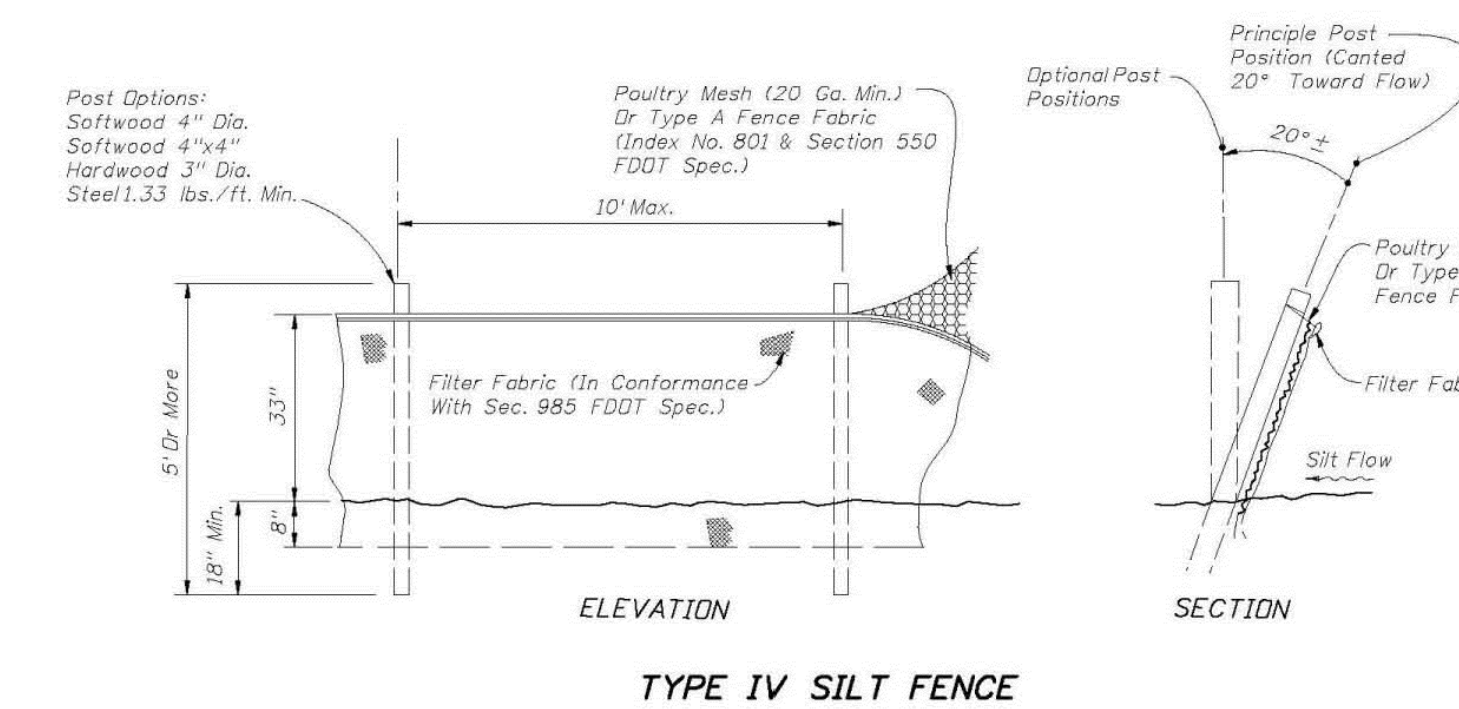
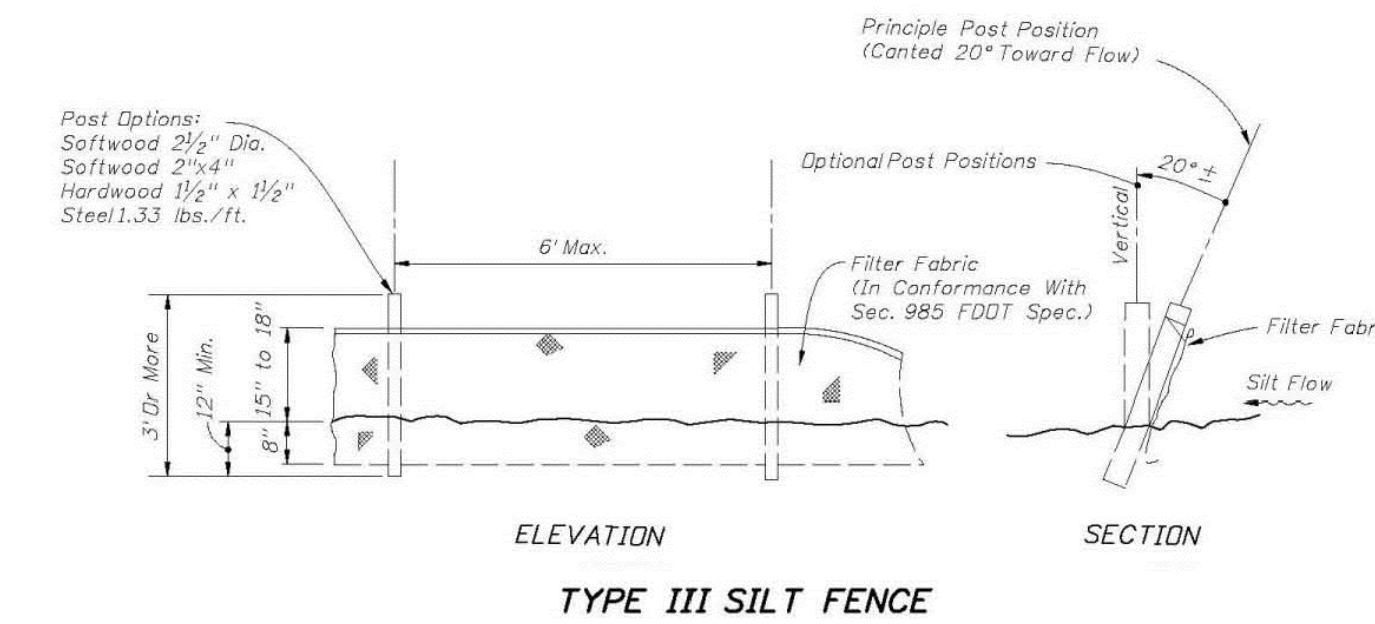
1. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SUNSHINE UTILITIES 48-HOURS PRIOR TO CONSTRUCTION COMMENCEMENT FOR EXISTING UTILITY LOCATION. (SUNSHINE UTILITIES: 1-800-432-4770) EXISTING UTILITIES, WHICH MAY OR MAY NOT BE INDICATED ON THESE PLANS, ARE SHOWN IN THEIR APPROXIMATE HORIZONTAL LOCATION ONLY. VERTICAL LOCATION HAS NOT BEEN PERFORMED.
2. CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COMPENSATION.
3. UTILITY SYSTEM PERSONNEL SHALL BE PRESENT FOR ALL TAPS TO EXISTING UTILITIES. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY SYSTEM AT LEAST 48 HOURS PRIOR TO CONNECTION OF PROPOSED FACILITIES TO EXISTING FACILITIES.
4. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY SYSTEM.
5. SITE/UTILITY CONTRACTOR SHALL COORDINATE INSTALLATION OF THE SEWER SERVICE & WATER SERVICE WITH THE PLUMBING PLANS.
6. ALL ONSITE WATER & SEWER FACILITIES SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.
7. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF EXISTING UTILITIES IF PROPOSED IMPROVEMENTS IMPACT EXISTING UTILITIES.
8. A SEPARATE UTILITY PERMIT MAY BE REQUIRED AND SHALL BE OBTAINED BY THE SITE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.

## GRADING / DRIVEWAY & PARKING AREA NOTES:

1. CONTRACTOR SHALL PREPARE THE SUB-GRADE TO LINE AND GRADES REQUIRED FOR FINISHED ELEVATIONS AS INDICATED ON THESE PLANS. ORGANIC MATERIALS, HARD PANS, AND OTHER UN-SUITABLE SOILS IN THE SUB-GRADE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. COMPACT THE SUB-GRADE TO 95% OF THE MODIFIED PROCTOR AS DETERMINED BY A.S.T.M. D 1557.
2. SEED, FERTILIZE, AND MULCH OR SOD SHOULDERS AND UN-PAVED AREAS. ALL WORK SHALL CONFORM TO THE F.D.O.T. SPECIFICATIONS SECTION 570 AND TO THE SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
3. SIDEWALKS AND CURBING SHALL BE CONSTRUCTED WITH 3,000 P.S.I. CONCRETE (28-DAY BREAK) AND SHALL HAVE A FULL DEPTH, ONE-HALF INCH EXPANSION JOINT AT 50 FOOT INTERVALS OR LESS. EXPANSION JOINT MATERIAL SHALL BE A PREFORMED BITUMINOUS EXPANSION MATERIAL. CONTRACTION JOINTS SHALL BE CUT OR TOOLED, 1/4" WIDE x 1/3 THE CONCRETE DEPTH AND PLACED AT 10 FOOT INTERVALS.
4. COMPACT THE BASE TO 98% OF THE MODIFIED PROCTOR AS DETERMINED BY A.S.T.M. D 1557. MATERIAL SHALL MEET THE REQUIREMENTS OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR THE SELECTED BASE MATERIAL. INSTALLATION SHALL BE IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS, SECTION 240. A MIN. OF 3 DENSITY TESTS SHALL BE PROVIDED TO THE ENGINEER.
5. DRIVING SURFACE SHALL BE CONSTRUCTED PER THE DETAILS.
6. ALL F.D.O.T. INDEX NUMBERS ARE FROM THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS MANUAL.
7. ALL ROADWAY, PARKING LOT, AND TRAFFIC MARKINGS / STRIPING SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE F.D.O.T. STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.
8. TEMPORARY TRAFFIC CONTROL THROUGH THE WORK ZONE SHALL BE IN ACCORDANCE WITH THE F.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
9. ALL NEW BUILDING ROOF DRAINS, DOWNSPOUTS, OR GUTTERS SHALL BE DIRECTED TO CARRY ALL STORMWATER TO A RETENTION POND.
10. ALL COMPONENTS OF THE STORMWATER DRAINAGE SYSTEM AND TRANSPORTATION SYSTEM SHALL BE COMPLETE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.

### NOTES FOR SILT FENCES

1. Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
2. Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
3. Do not construct silt fences across permanent flowing watercourses. Silt fences are to be on upland locations and turbidity barriers used at permanent bodies of water.
4. Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
5. Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (LFI).



## SILT FENCE DETAILS

N.T.S.

Construction Plans for:

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FOR THE CITY OF MILTON**

**SOUTHERN SITE & UTILITY DESIGN, INC.**  
FLORIDA CERTIFICATE OF AUTHORITY NO. 8983  
6555 CAROLINE STREET, MILTON, FLORIDA, 32570  
PH: (850) 623-9493 E-MAIL: ssu@bellsouth.net  
EROSION CONTROL PLANS \* POTABLE WATER & SANITARY SEWER  
SITE PLANS \* SUBDIVISIONS \* STORMWATER MANAGEMENT

DRAWN BY: pRp DATE: 9/6/2016

REVISIONS:

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DATE: \_\_\_\_\_  
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FL LICENSE NO. 55577

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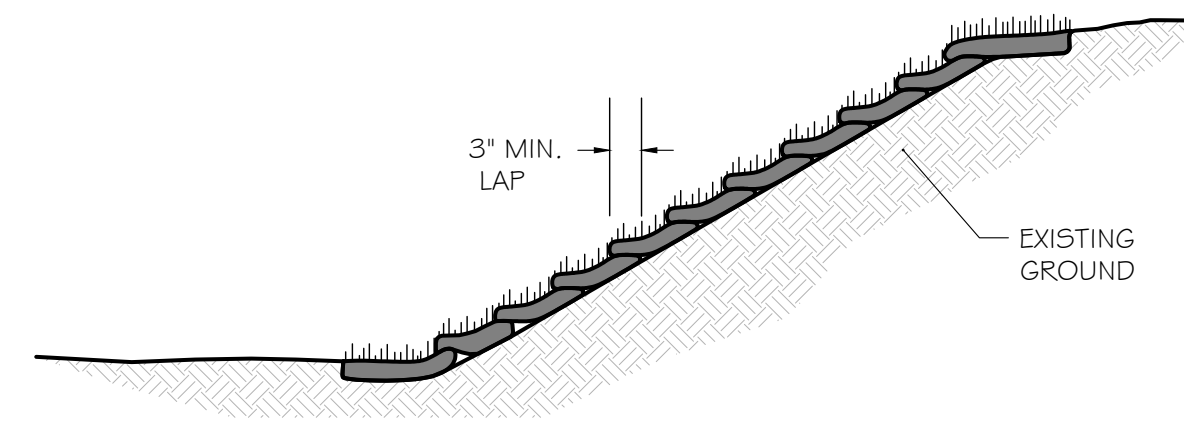
DRAWING NOT VALID UNLESS SIGNED AND SEALED  
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**SHEET**

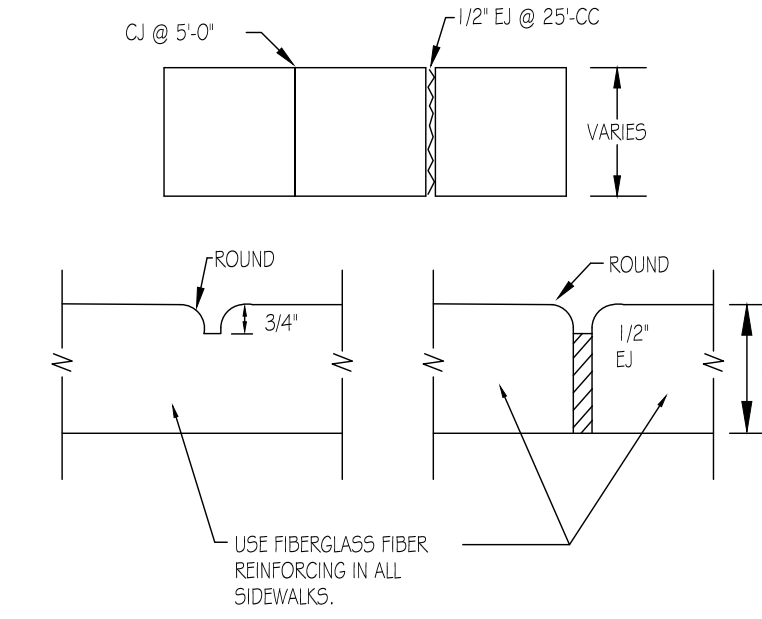
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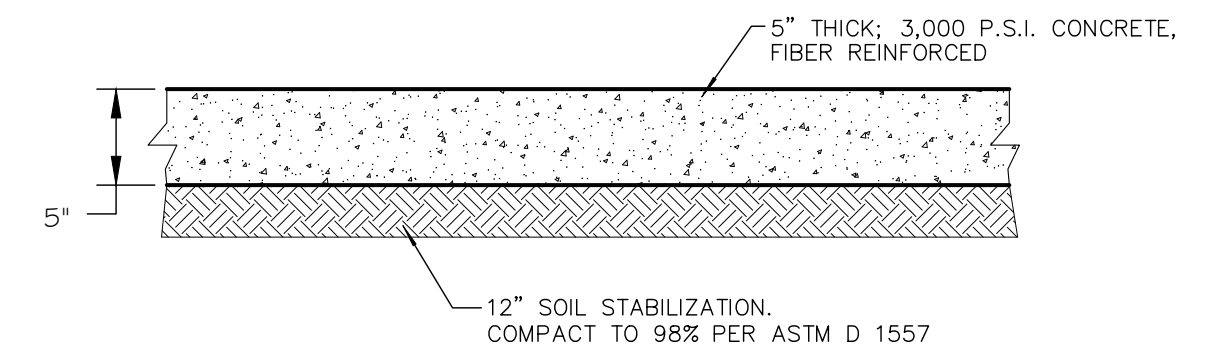
# DETAILS



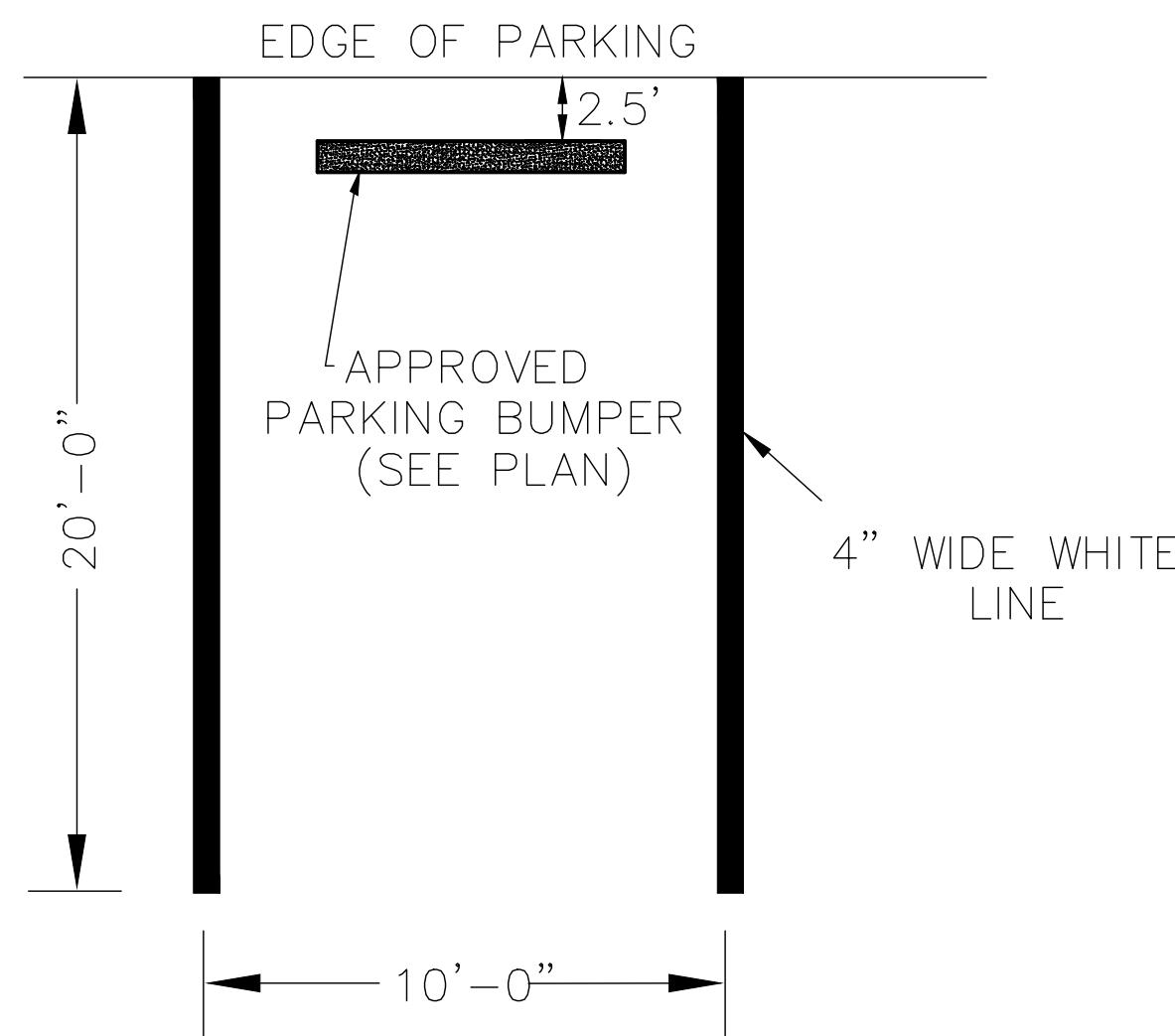
**SOD OVERLAP DETAIL**  
N.T.S.



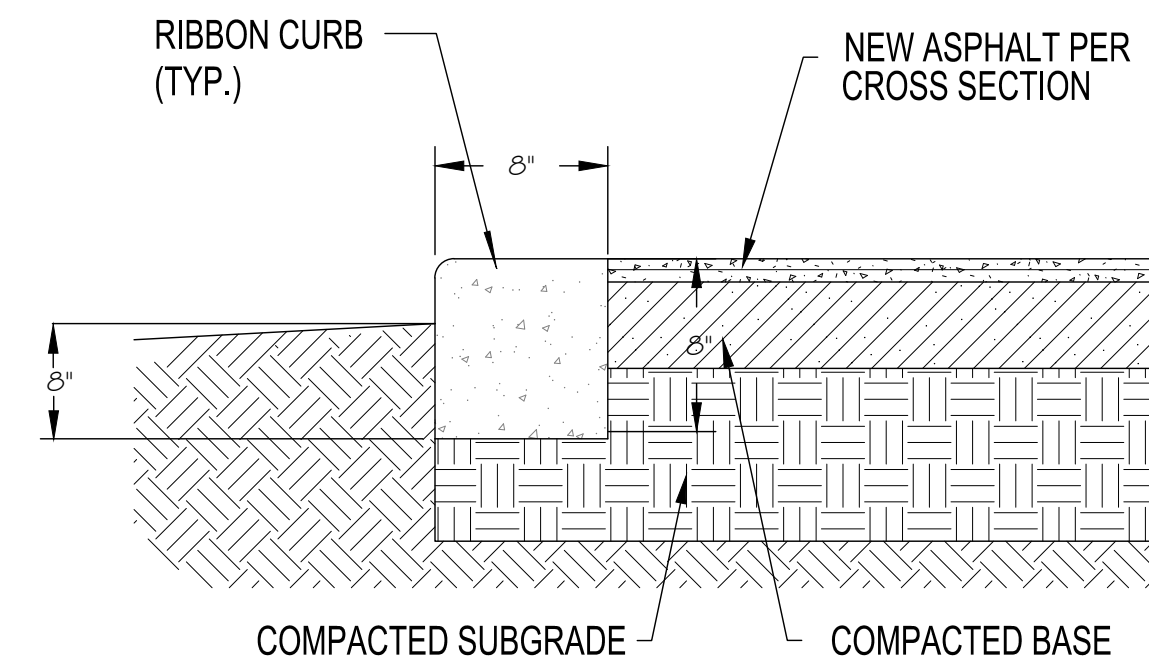
**TYPICAL SIDEWALK DETAIL**  
NOT TO SCALE



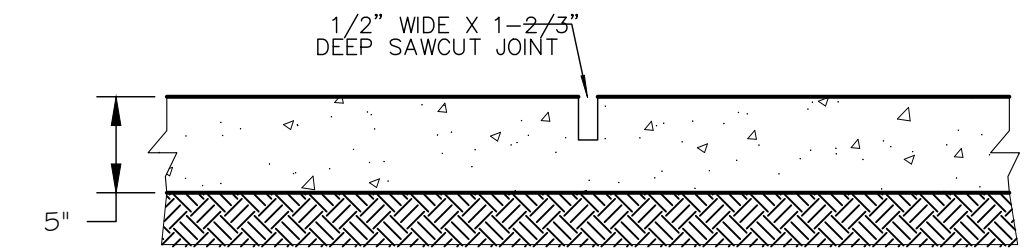
**TYPICAL CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE



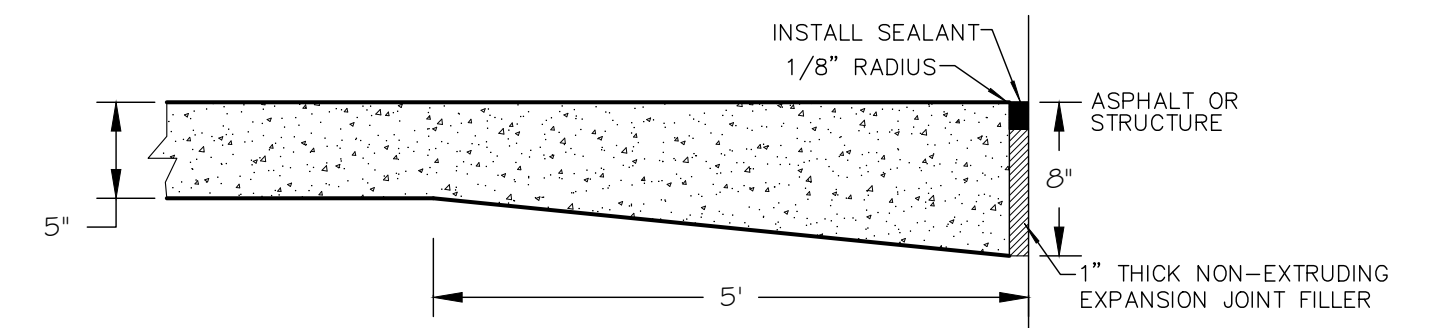
**TYPICAL PARKING SPACE**  
N.T.S.



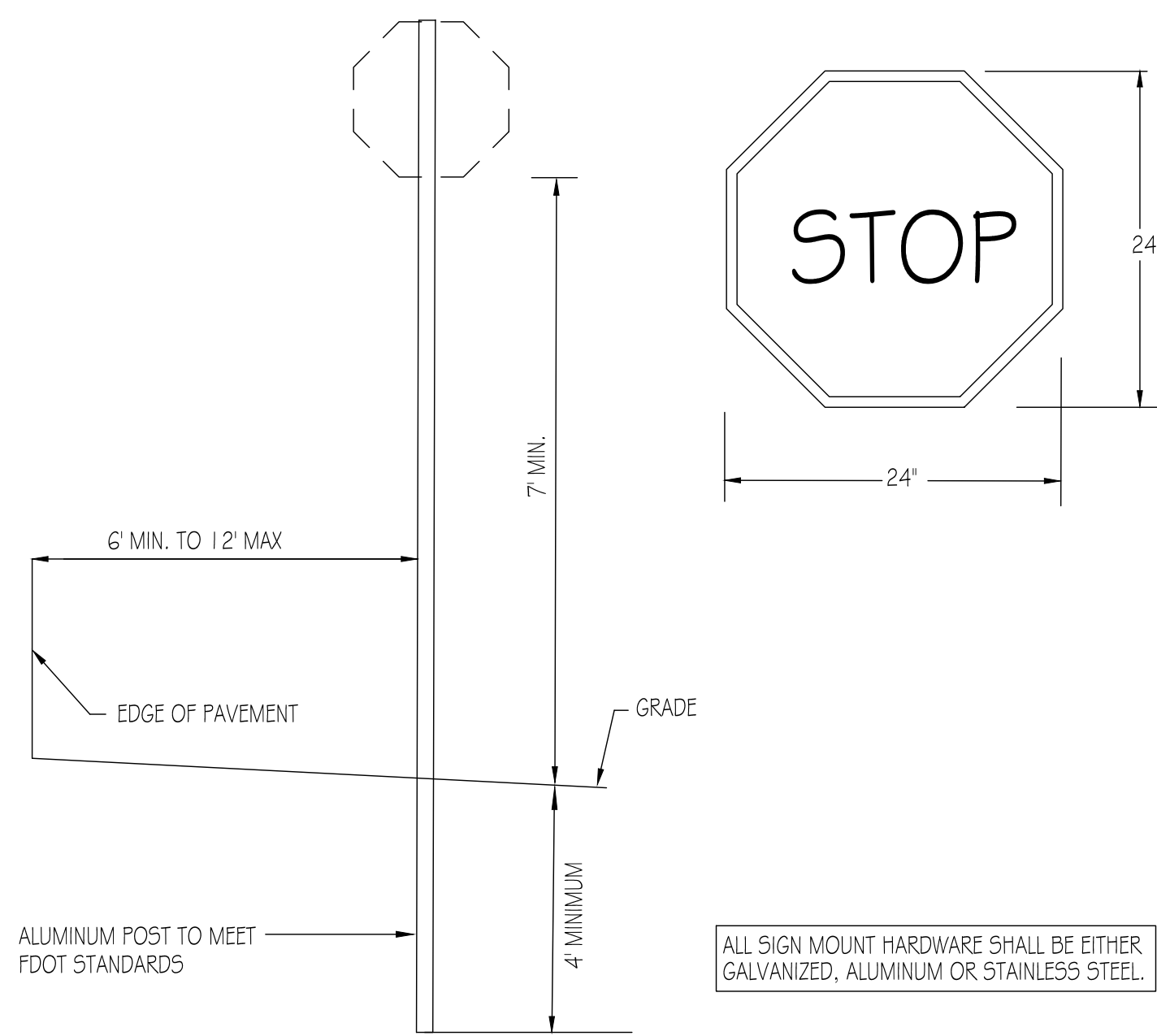
**TYPICAL RIBBON CURB DETAIL**  
N.T.S.



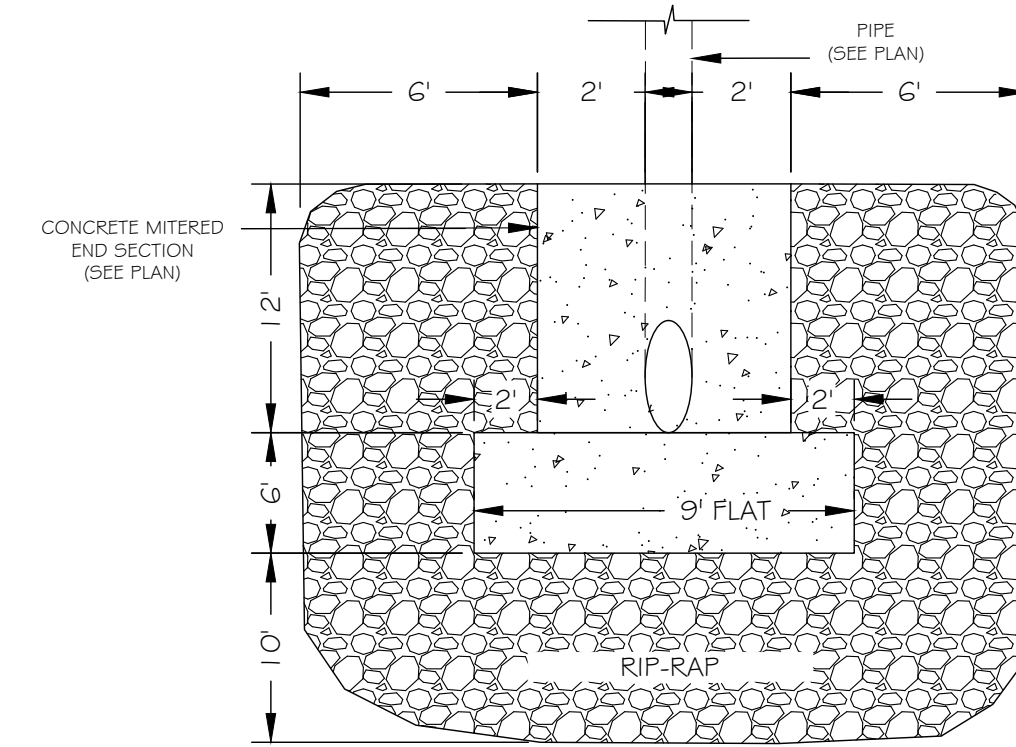
**TYPICAL TYPE A EXPANSION JOINT DETAIL**  
NOT TO SCALE



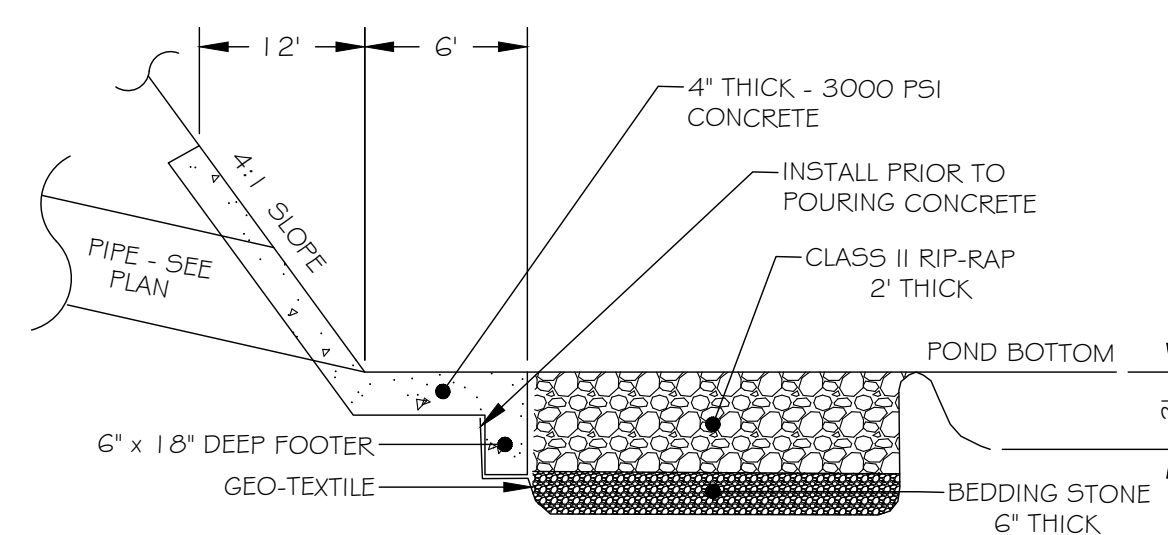
**TYPICAL TYPE B EXPANSION JOINT DETAIL**  
NOT TO SCALE



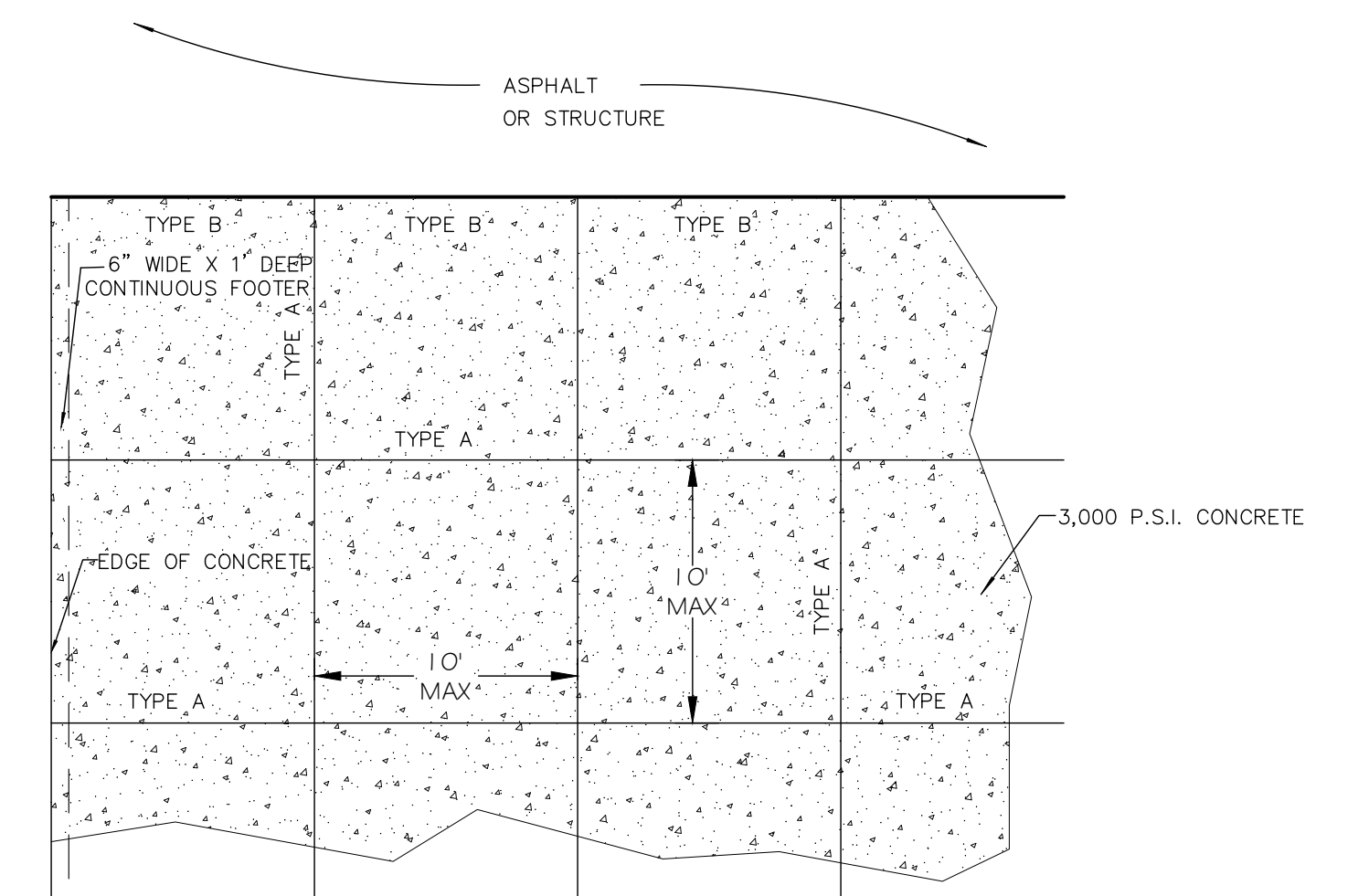
**TYPICAL STOP SIGN DETAIL**  
N.T.S.



**M.E.S. & RIP-RAP DETAIL**  
NTS



**PIPE AT POND BOTTOM DETAIL**  
NTS

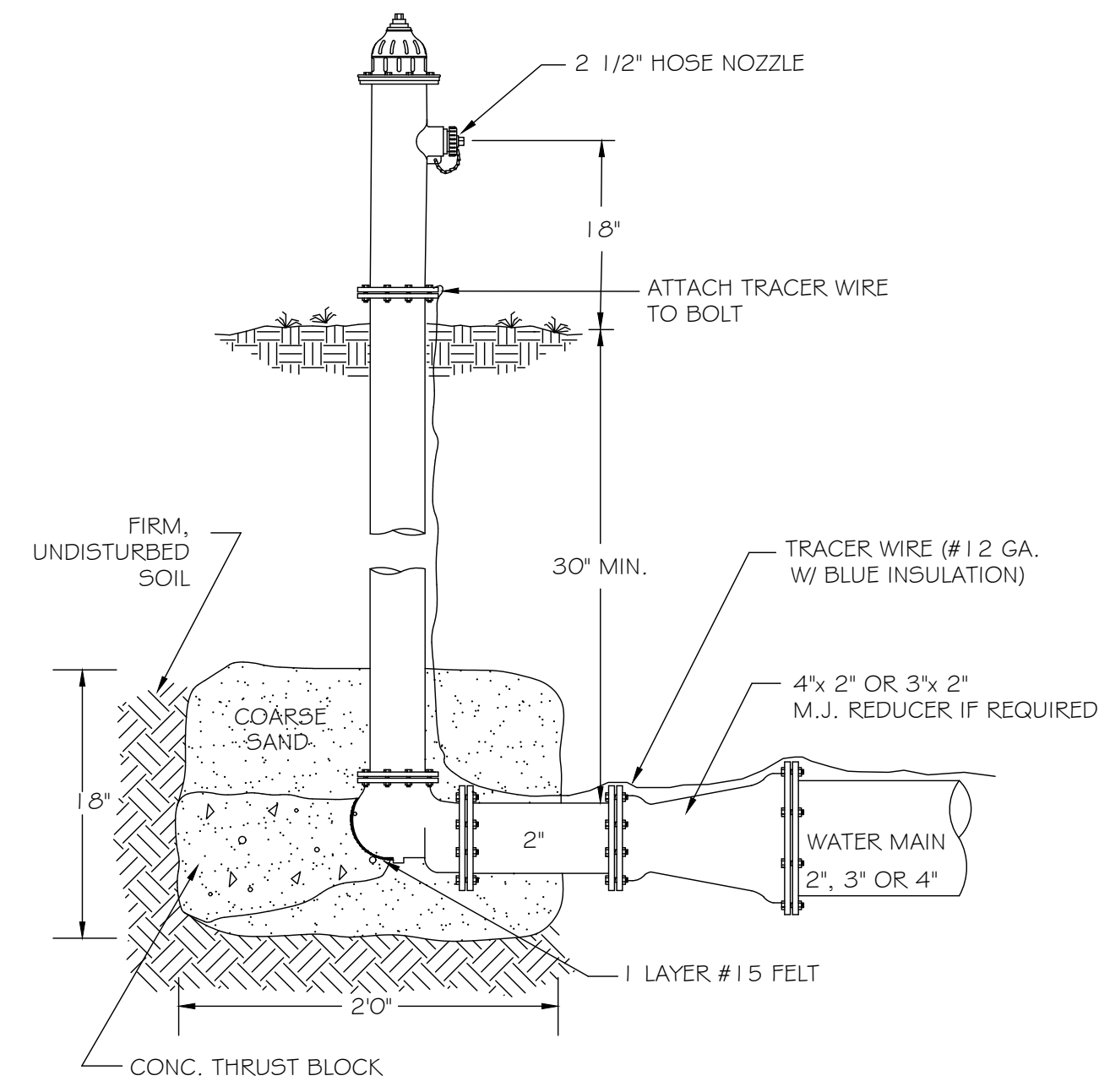


NOTE: DIMENSIONS SHALL BE REDUCED TO ACCOMMODATE GEOMETRY OF SURFACE. SPACING BETWEEN JOINTS SHALL BE THE SAME IN BOTH DIRECTIONS.

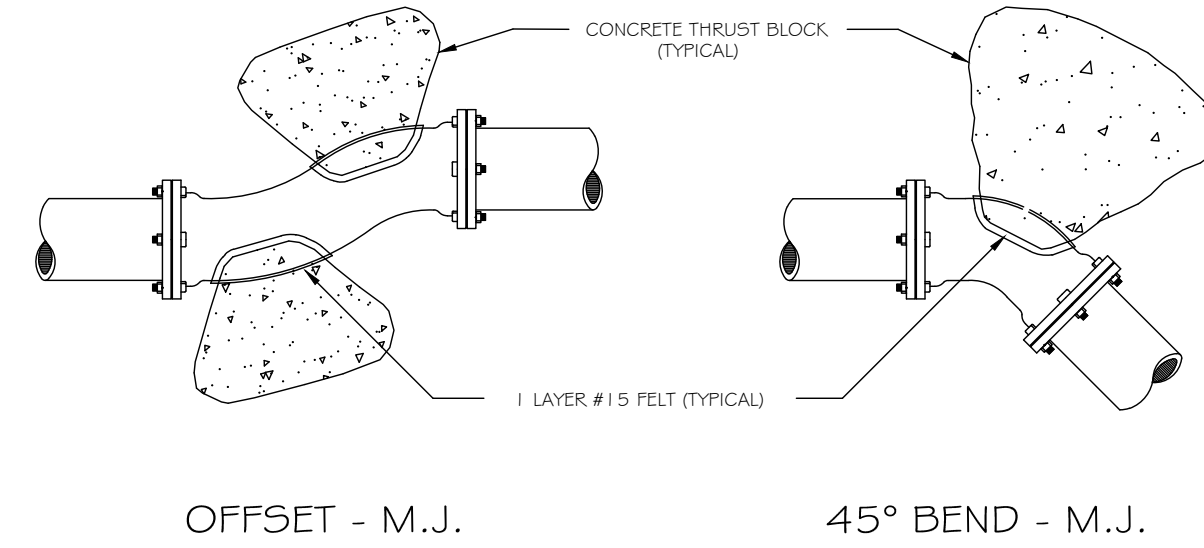
TYPICAL SECTION: 10' X 10' MAXIMUM  
ALL INTERIOR JOINTS - TYPE A  
ALL JOINTS ADJACENT TO ASPHALT AND BUILDINGS - TYPE B

**TYPICAL JOINT PLAN**  
NOT TO SCALE

# DETAILS



TYPICAL 2" FLUSH HYDRANT  
N.T.S.



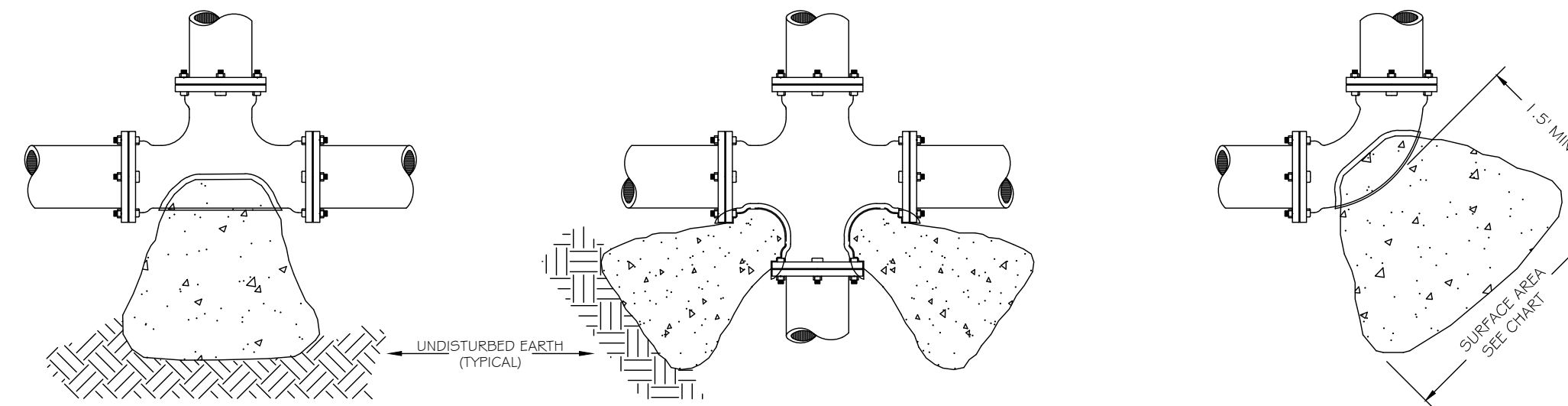
OFFSET - M.J.

45° BEND - M.J.

MINIMUM THRUST BLOCK DIMENSIONS:  
SURFACE AREA AGAINST UNDISTURBED SOIL

FITTING PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND
4"	1' X 2'	1.5' X 1.5'	1' X 1.5'	1' X 1'
6"	2' X 2'	2.5' X 2.5'	2' X 1.5'	1' X 1.5'
8"	2.25' X 3'	3' X 3'	2' X 2.5'	1.5' X 1.5'
10"	3.5' X 3'	4' X 3.75'	2.75' X 3'	2' X 2'
12"	4' X 4'	4' X 5'	3' X 4'	2' X 3'
16"	5' X 5.5'	6' X 6.5'	4' X 5'	3' X 3.5'

- NOTES:
- ONE LAYER OF #15 FELT TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.
  - ALL THRUST BLOCKS TO BE BACKED BY UNDISTURBED SOIL.
  - MATERIAL FOR THRUST BACKING SHALL BE 2000 PSI CONCRETE.

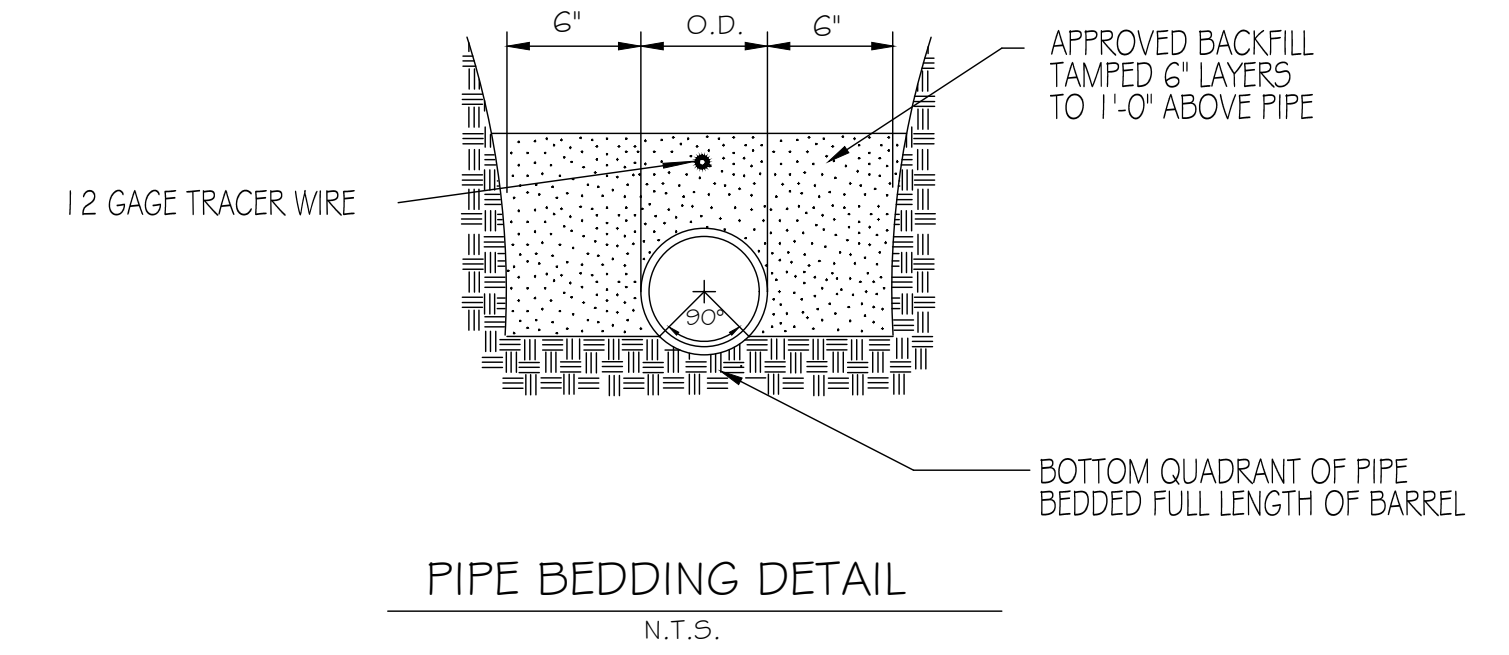


TEE - M.J.

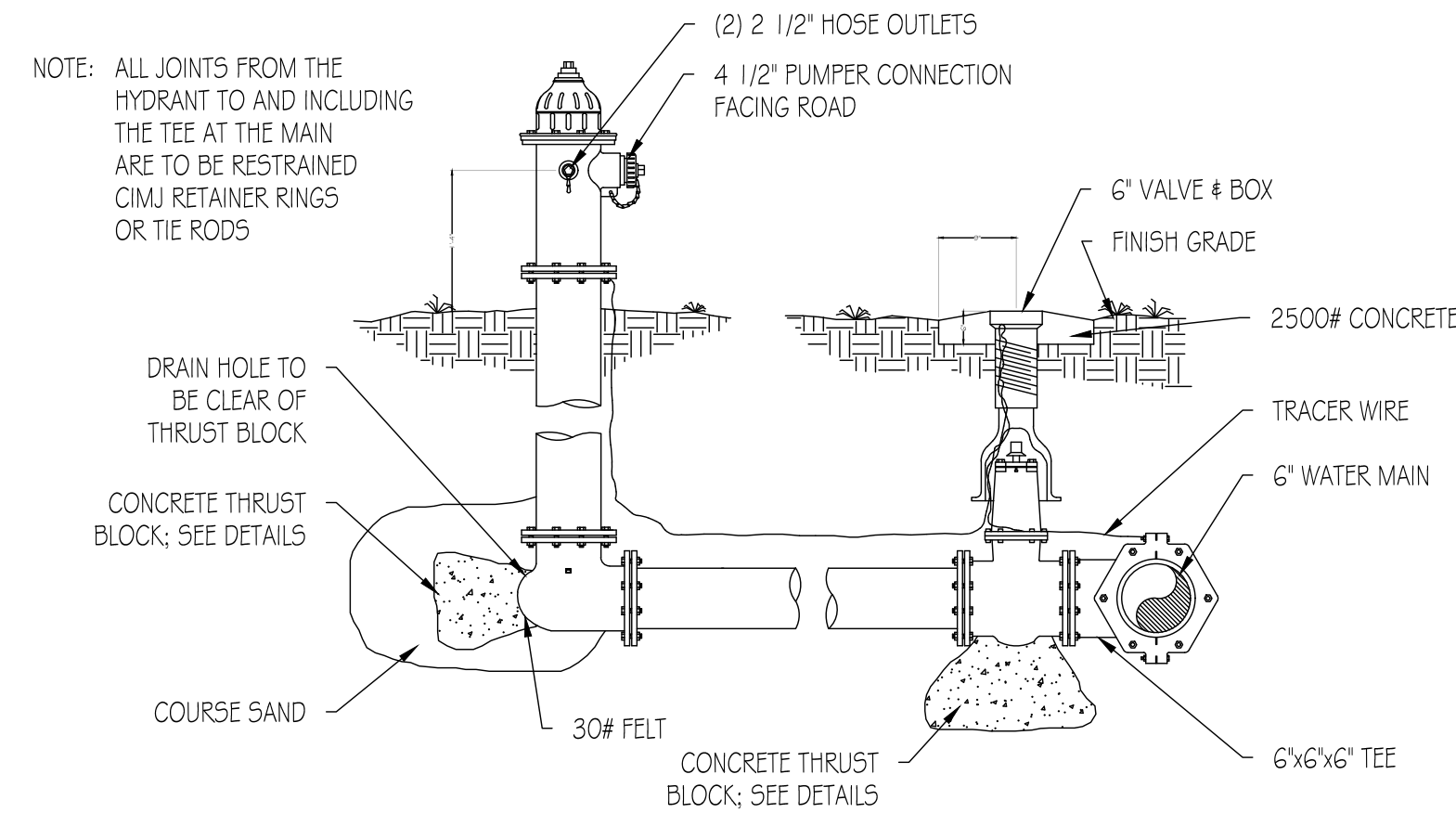
CROSS - M.J.

90° BEND - M.J.

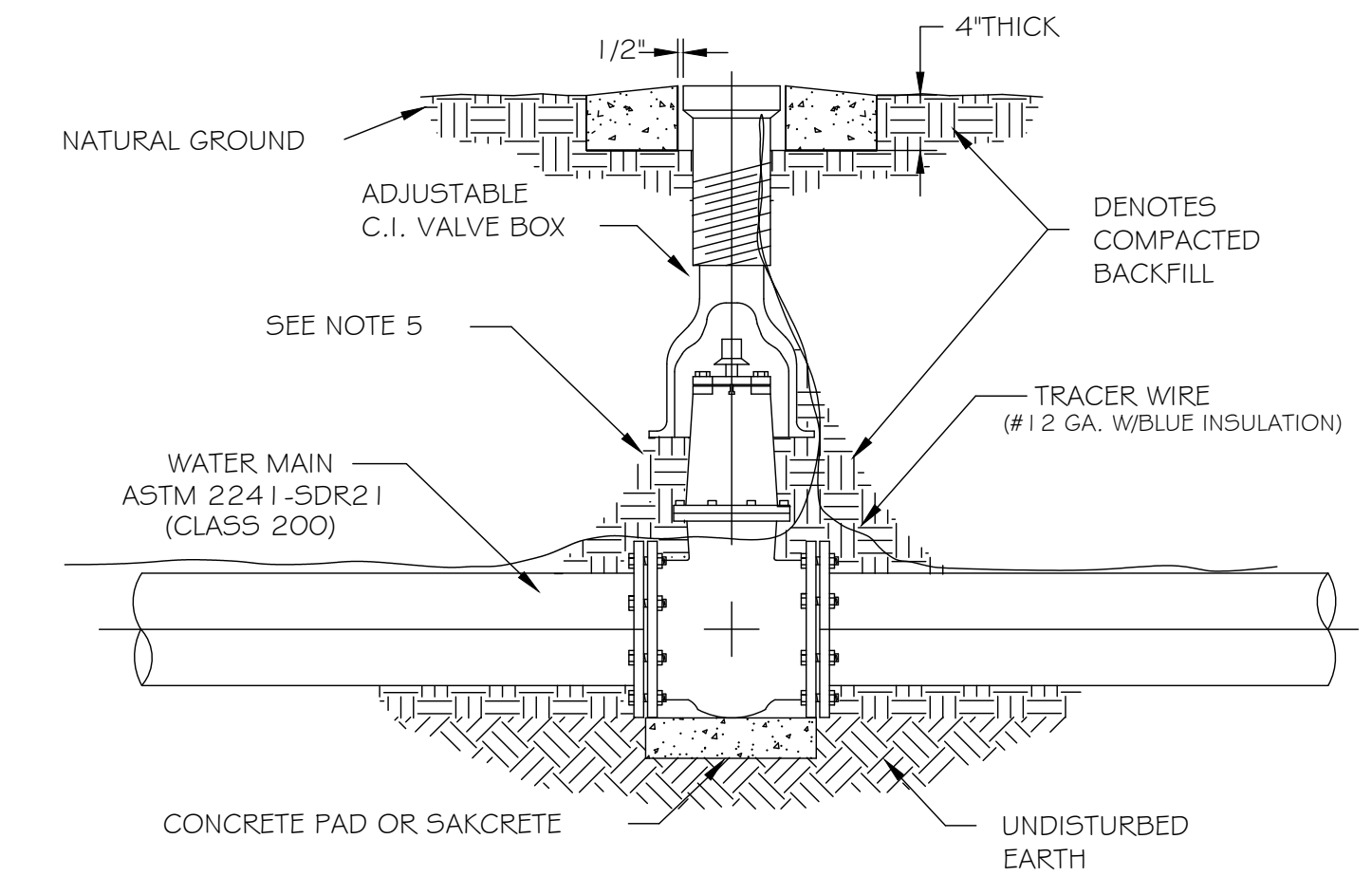
THRUST BLOCK DETAILS  
N.T.S.



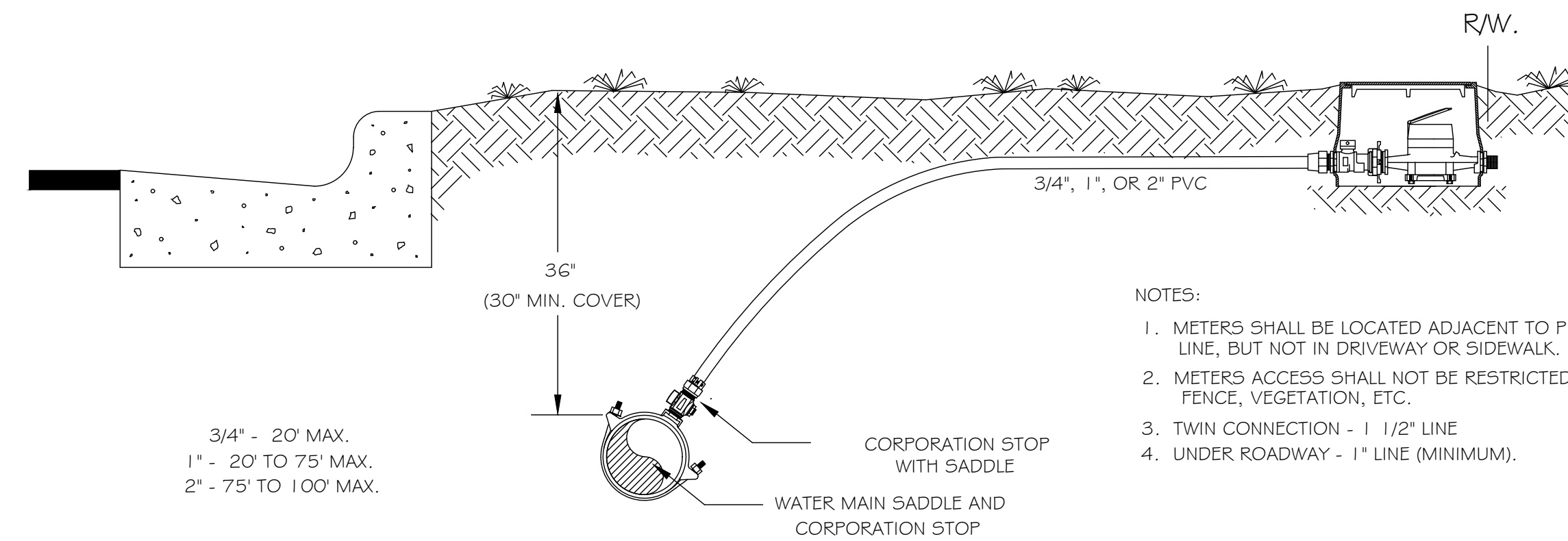
PIPE BEDDING DETAIL  
N.T.S.



TYPICAL FIRE HYDRANT DETAIL  
N.T.S.



TYPICAL VALVE & BOX INSTALLATION  
N.T.S.



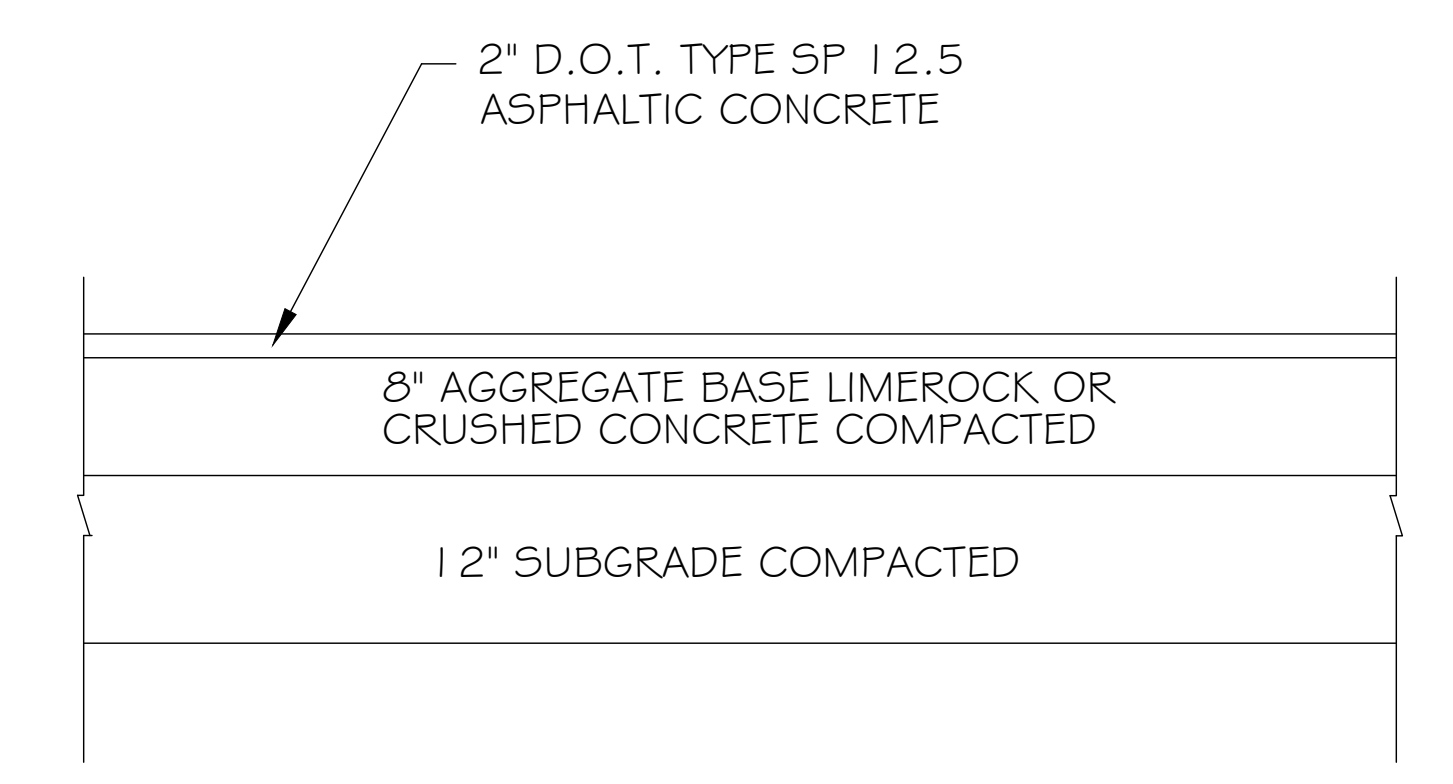
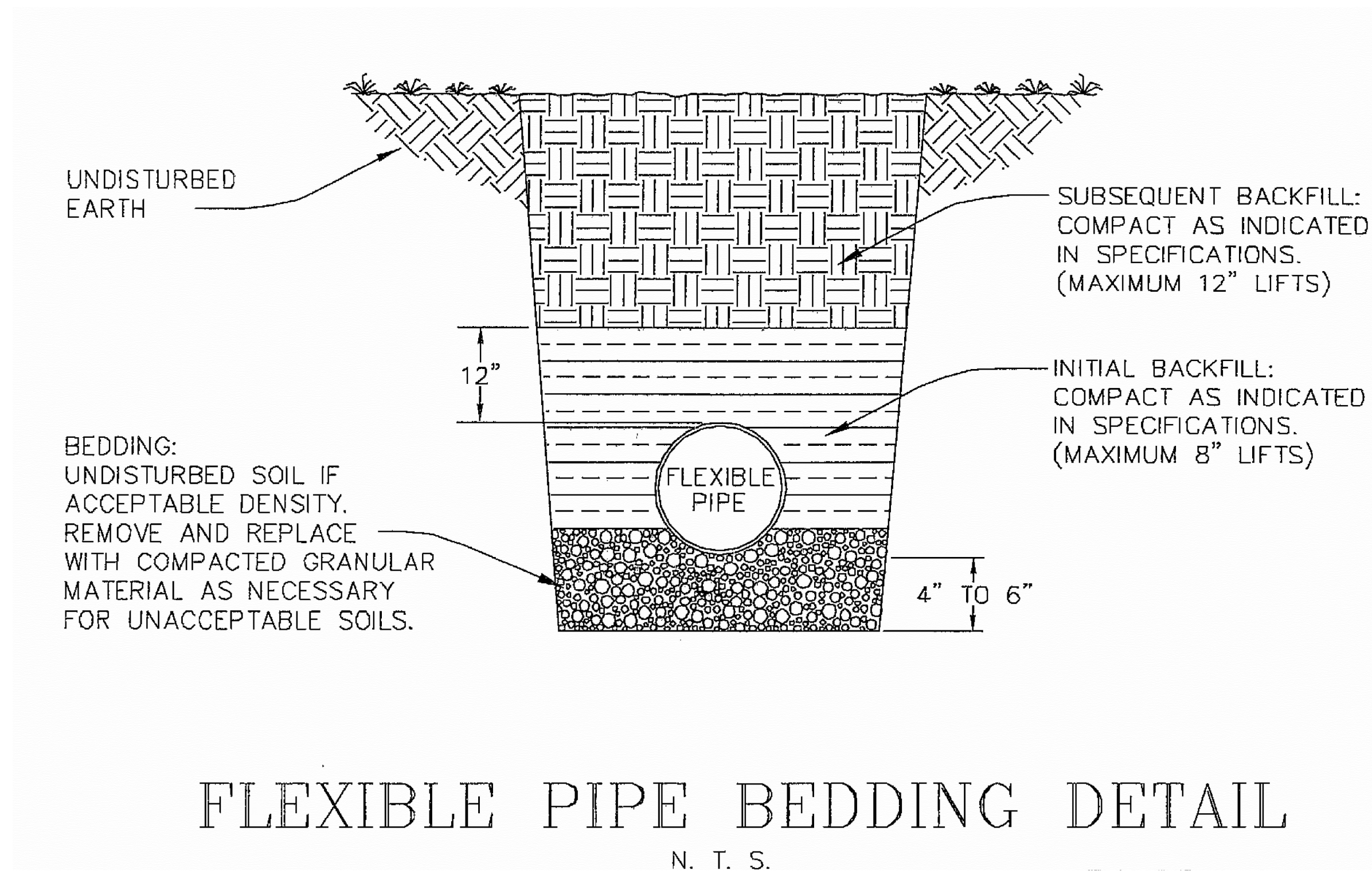
3/4" - 20' MAX.  
1" - 20' TO 75' MAX.  
2" - 75' TO 100' MAX.

TYPICAL SINGLE SERVICE  
N.T.S.

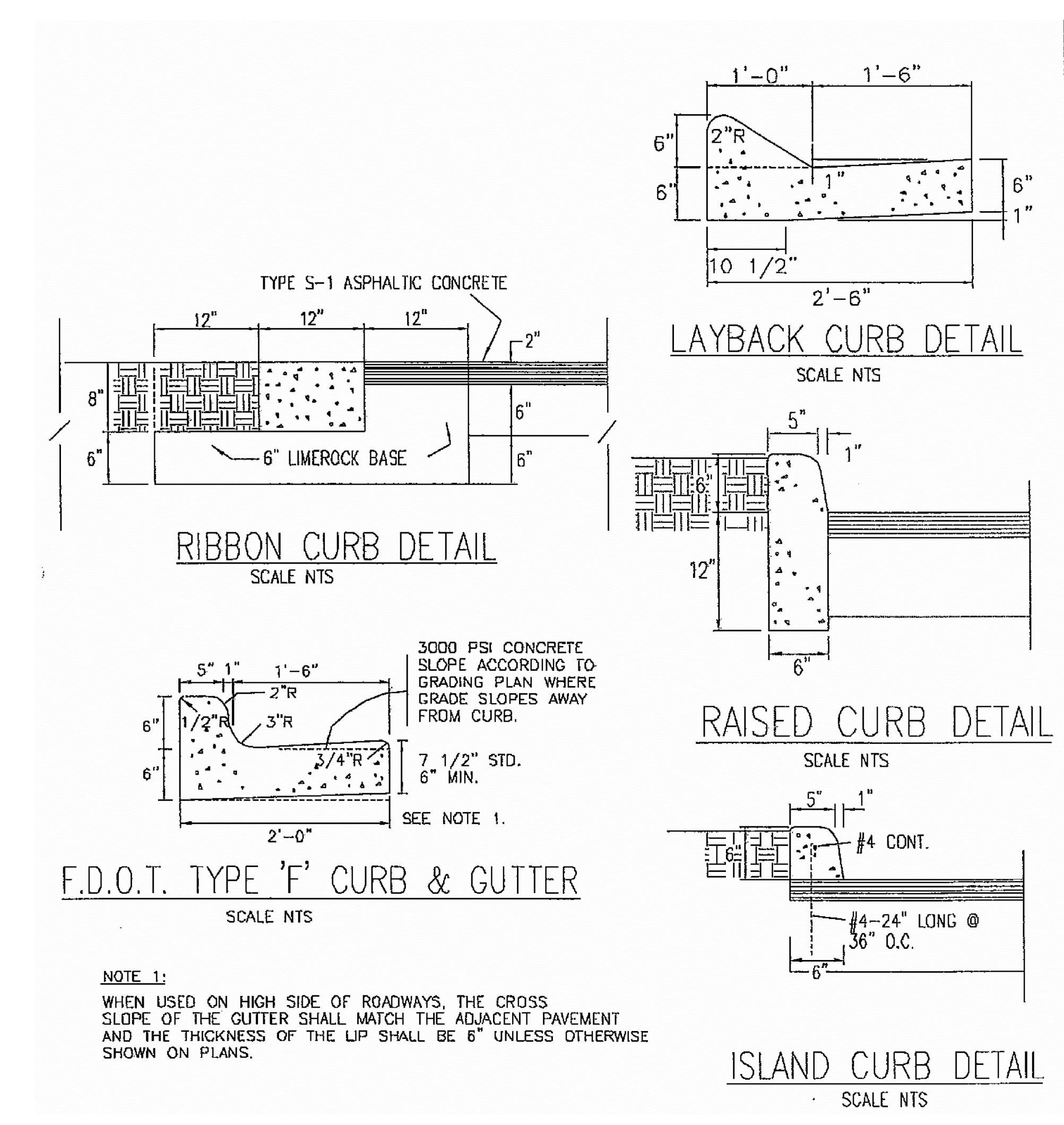
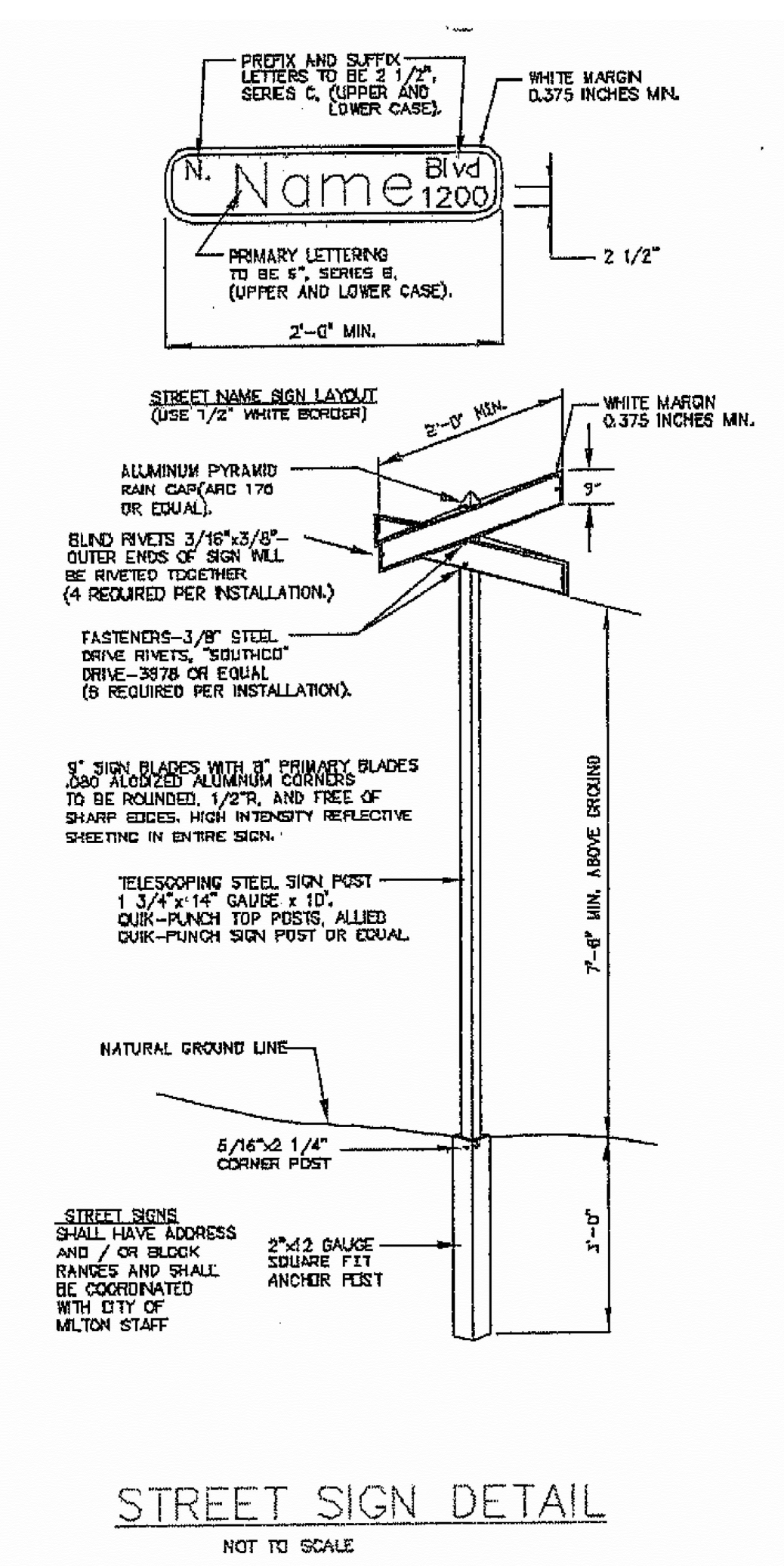
- NOTES:
- METERS SHALL BE LOCATED ADJACENT TO PROPERTY LINE, BUT NOT IN DRIVEWAY OR SIDEWALK.
  - METERS ACCESS SHALL NOT BE RESTRICTED BY FENCE, VEGETATION, ETC.
  - TWIN CONNECTION - 1 1/2" LINE
  - UNDER ROADWAY - 1" LINE (MINIMUM).



# DETAILS



NOTE: PAVEMENT WITHIN MAIN R/W TO BE 2" ASPHALTIC CONCRETE WITH 8" SAND-CLAY BASE. MATERIALS COMPACTED AS SHOWN ABOVE.



Construction Plans for:  
**FIRE TRAINING FACILITY FOR THE CITY OF MILTON**

SOUTHERN SITE & UTILITY DESIGN, INC.  
FLORIDA CERTIFICATE OF AUTHORITY NO. 8983  
6555 CAROLINE STREET MILTON, FLORIDA 32570  
PH: (850) 623-9493 E-MAIL: sss@bell-south.net  
EROSION CONTROL PLANS \* POTABLE WATER & SANITARY SEWER  
SITE PLANS \* SUBDIVISIONS \* STORMWATER MANAGEMENT

DRAWN BY: pRp DATE: 9/6/2016

REVISIONS:

1.	
2.	
3.	
4.	

DATE: 9/6/2016  
DRAWN BY: pRp  
SCALE: N.T.S.  
PROJECT: FIRE TRAINING FACILITY FOR THE CITY OF MILTON  
SHEET NO. 7